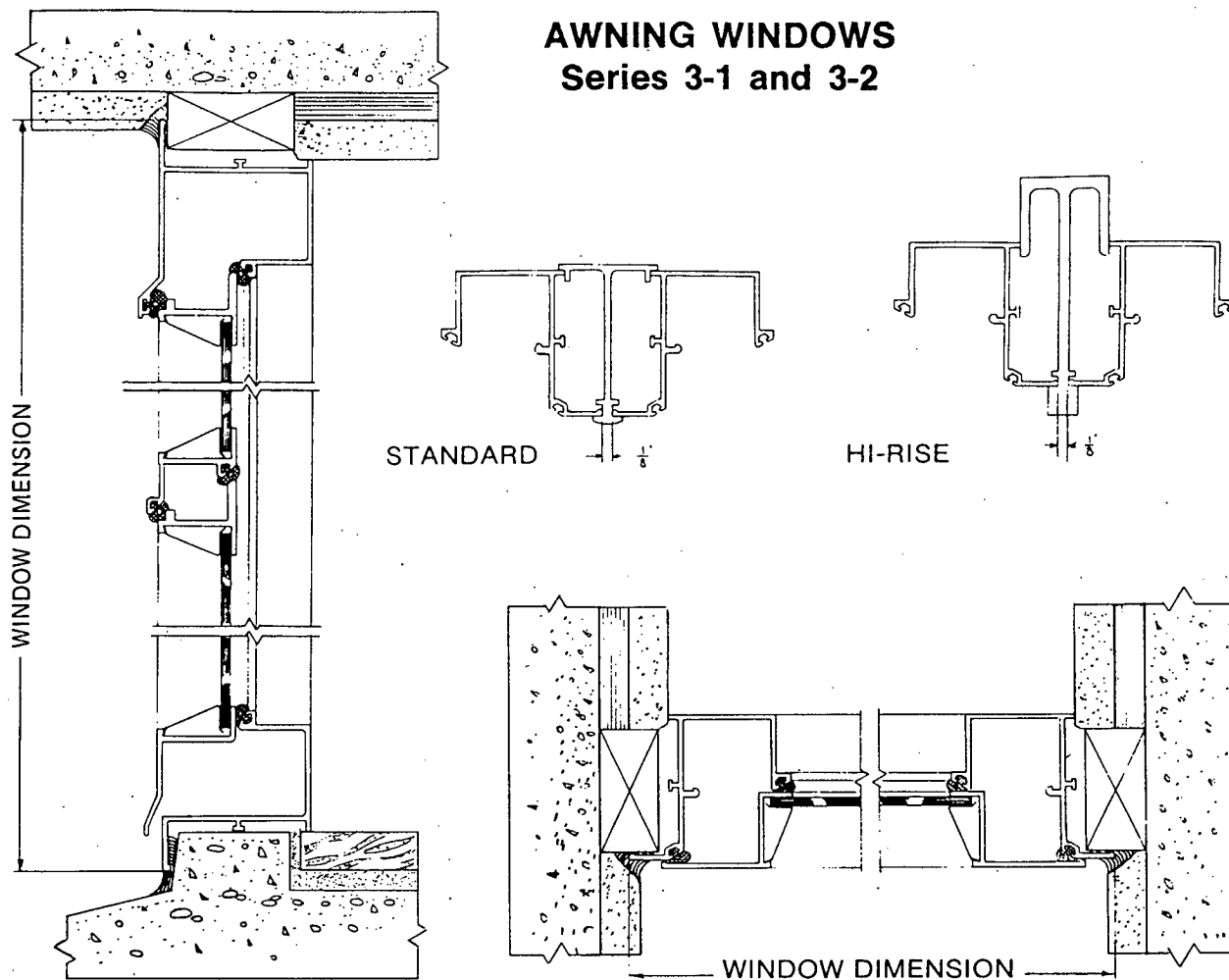


**16 Via Lucindia Dr South**

## AWNING WINDOWS Series 3-1 and 3-2



### SPECIFICATIONS

**GENERAL:** Windows shall be awning type as manufactured Binning's Pan American, Miami, Florida and shall meet A-A2-HP specifications.

**MATERIAL:** All sections shall be extruded 6063T-5 aluminum alloy and shall have a wall thickness of .062 inches to .093 inches. Depth of frame section shall be 1 7/8" and vent 1".

**CONSTRUCTION:** Windows shall be assembled in a workman-like manner with all corners of frame and vents mortised and tenoned to assure tight joints. Entire perimeter of frame and vents shall have double vinyl weatherstripping: one at interior and one at exterior contact points. Nylon bushings or guides shall be used to prevent any metal to metal contact on moving parts. Vents shall be easily removed for glazing. All vents shall automatically lock tightly to frame when closed.

**OPERATION AND HARDWARE:** Operator shall have heat-treated steel gears and shall transmit power equally to both sides of window by means of a concealed torque tube.

**FINISH:** All windows shall be mill finish. (Special finishes available.)

**ERECTION (by others):** All windows shall be installed and securely anchored in openings which are plumb, level and square. Suitable caulking shall be applied.

**GLAZING:** All factory glazed windows shall be glazed with suitable back bead glazing compound and snap-in aluminum glazing bead. Glazing by others shall be as specified by architect.

**DISTRIBUTED BY:**

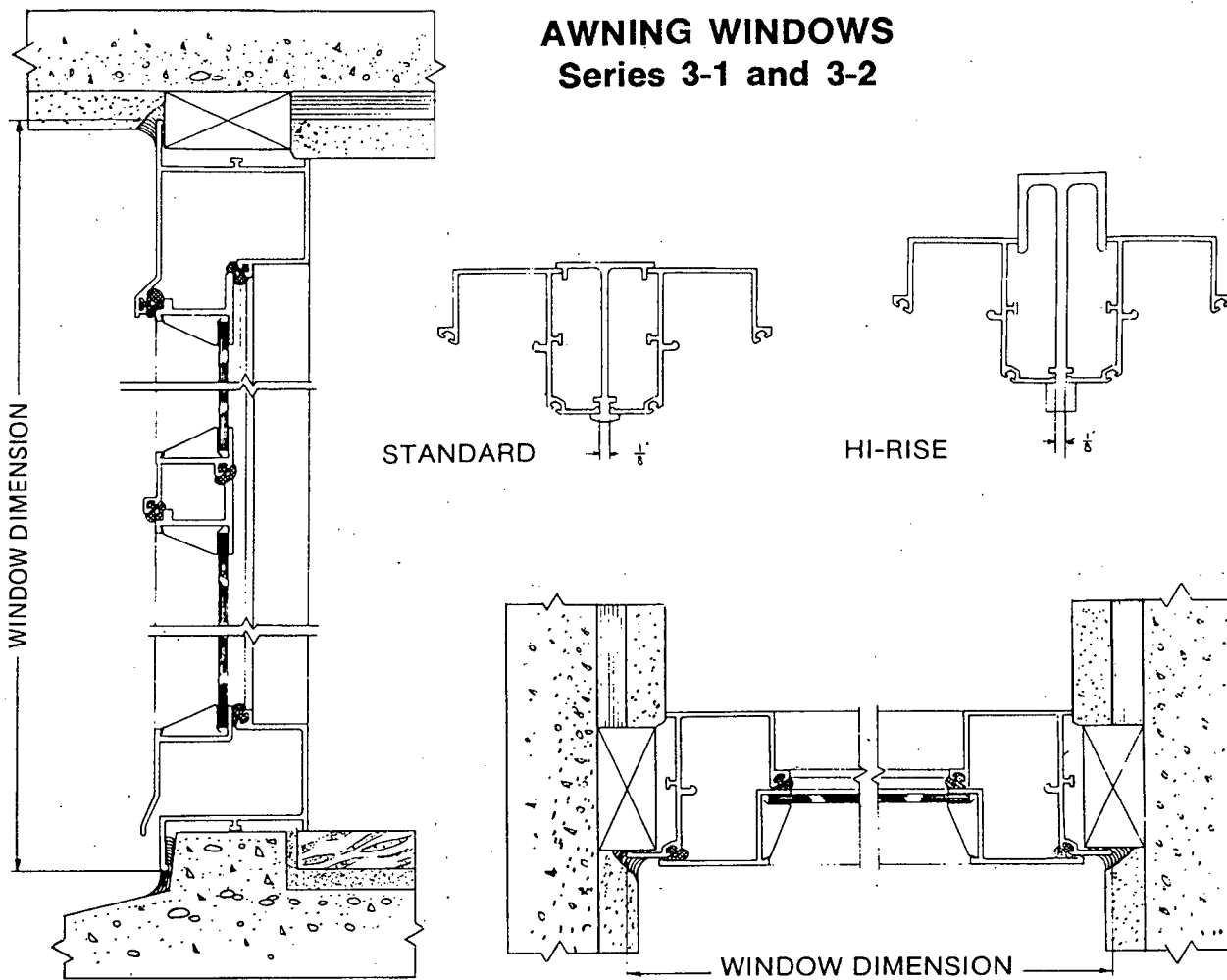
***Binning's Pan American***

2805 N. E. 185th STREET, MIAMI, FLORIDA

Mail: POST OFFICE BOX 630038, MIAMI, FLORIDA 33163

TELEPHONE: (305) 931-2350

## AWNING WINDOWS Series 3-1 and 3-2



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2805 N. E. 185th STREET, MIAMI, FLORIDA

Mail: POST OFFICE BOX 630038, MIAMI, FLORIDA 33163

TELEPHONE: (305) 931-2350

Expedient service  
Conscientious testing

# MIAMI TESTING LABORATORY, INC.

Formerly BBB Engineering Services, Inc.

July 17, 1975  
File Number 75-204  
Report Number 3  
C-3057

## TEST OF ALUMINUM AWNING WINDOW

Client: Pan American Aluminum Corporation  
Project: Various  
Sample: Laboratory Number 7388 Aluminum Awning Window  
Sampled by: Your representative and received June 19, 1975  
Reported to: Pan American Aluminum Corporation  
P. O. Box 38; Miami, Florida 33163  
Attention: Mr. Mike Mauer

### Description of Test Unit:

Series PA-3 Aluminum Awning Window, 4'-5 1/8" by 9'-1/4" high overall. Six vents, five 4'-4 1/8" by 1'-6" high and one 4'-4 1/8" by 1'-6 5/8" high. Exterior glazed with 1/8" annealed glass using adhesive bedding compound and rolled aluminum snap in glazing bead. No muntins. One roto operator at lower right frame corner. Automatic locks at jamb rails of each vent. Single vinyl bulb weatherstripping on interior of frame head and sill, interior and exterior of frame jambs and bottom rail of each vent except none at bottom rail of bottom vent. Single vinyl bulb with flap on exterior of frame head. No weepholes. Bottom rail of bottom vent was offset. (HP rail).

### Results of Tests:

ANSI A134.1  
A-A2-HP Spec.

2.2.4.1	Air Infiltration Test	0.14 cfm/ft.	0.50 maximum
2.2.4.2	Water Resistance Test; no leakage at	11 psf	2.86 minimum
2.2.4.4	Uniform Load Structural test	40 psf	40 minimum
2.2.4.5	Hardware Load Test	20 psf	20 minimum
3.1.2.1	Water Resistance Test; no leakage at	11 psf	3.33 minimum
3.1.2.2	Exterior Wind Load Test	61 psf	50 minimum
	Interior Wind Load Test	34 psf	25 minimum
	Permanent Deformation	0.076 inches	0.209 maximum

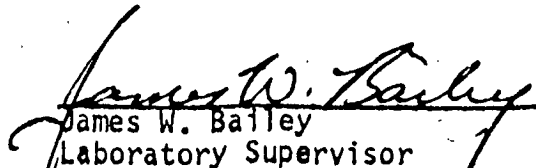
Test completed - July 9, 1975

Remarks: The above test results indicate compliance with the performance requirements, paragraph 2.2.4 and 3.1.2 of the ANSI A134.1-1972 Specifications (61 psf HP).

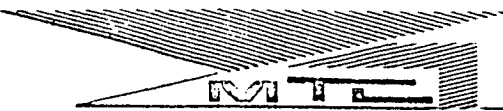
Witnessed by:  
Mr. Mike Mauer

Miami Testing Laboratory, Inc.

2-2-4 American

  
James W. Bailey  
Laboratory Supervisor





Expedient service  
Conscientious testing

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July 17, 1975  
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### Results of Tests:

ANSI A134.1  
A-A2-HP Spec.

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2.2.4.2	Water Resistance Test; no leakage at	11 psf	2.86 minimum
2.2.4.4	Uniform Load Structural test	40 psf	40 minimum
2.2.4.5	Hardware Load Test	20 psf	20 minimum
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Witnessed by:  
Mr. Mike Mauer

Miami Testing Laboratory, Inc.

2-2-4 American

*James W. Bailey*  
James W. Bailey  
Laboratory Supervisor



## STUART ROOFING

P.O. Box 2556  
 STUART, FL 34995  
 (407) 286-2317

PROPOSAL SUBMITTED TO <b>George Thomson</b>		PHONE <b>283-4133</b>	DATE <b>May 15, 1992</b>
STREET <b>18 S Via Lucinda</b>		JOB NAME <b>Sewall's Point</b>	
CITY, STATE AND ZIP CODE <b>Stuart, FL 34996</b>		JOB LOCATION	
ARCHITECT	DATE OF PLANS	JOB PHONE	

We hereby submit specifications and estimates for:

We propose to tear off flat roof down to sheeting and haul away all trash and debris.  
 Dry in roof with 43# base sheet tin tag nailed to sheeting, 3 plies of 15# fiberglass  
 felt hot asphalt mopped, Uniform coat with asphalt then paint with aluminum fibrated  
 paint, Tie into existing tile roof,  
 Reroofing permit,

PRICE: \$ 1,055.00

NOTE\* Any rotten wood needing to be replaced will be done on a time at a rate of \$35.00  
 per man hour and material bases and not included in above price.

NOTE\* Replace approximately 40 broken tiles and included in bid.

We propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of:

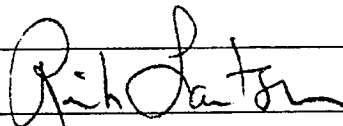
One Thousand Fifty-Five and 00/100 - - - - - dollars (\$ 1,055.00 ).

Payment to be made as follows:

50% when job is started, balance in full upon completion of job.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized Signature



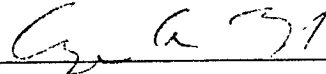
Note: This proposal may be withdrawn by us if not accepted within 30 days.

**Acceptance of Proposal** — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance:

5-21-92

Signature



Signature



MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 1/11/06

BUILDING PERMIT NO. 8002

Building to be erected for THOMAS

Type of Permit PARTIAL PAPER WALK + DRIVE

Applied for by O/B

(Contractor) Building Fee \$4,600 x 9.60/1000 = 44.16

Subdivision LUCINDIA Lot 24 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 16 S. VIA LUCINDIA

Impact Fee \_\_\_\_\_

Type of structure WALK + DRIVE

A/C Fee \_\_\_\_\_

Parcel Control Number:  
138410076000024050000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid \_\_\_\_\_ Check # \_\_\_\_\_ Cash \_\_\_\_\_

Other Fees (10% P.B.) 4.42

Total Construction Cost \$ 4600.

TOTAL Fees 48.58

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION
- PAPER DRIVE

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_



Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Date: 1-4-06

Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Cameron Thomas Phone (Day) 223 7040 (Fax) same

Job Site Address: 10 S. VIA LUCINDIA City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Legal Desc. Property (Subd/Lot/Block) \_\_\_\_\_ Parcel Number: \_\_\_\_\_

Owner Address (if different): 10 Palm RD City: Stuart State: FL Zip: 34996

Description of Work To Be Done: PAVER WALKWAY, DRIVEWAY - partial

WILL OWNER BE THE CONTRACTOR?:

YES  NO

(If no, fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 4600.00  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: Chitwood Phone: 220-1767 Fax: 781-1357

Street: 545 Central Parkway City: Stuart State: FL Zip: 34994

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carpport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Energy Code: 2004 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) \_\_\_\_\_

CONTRACTOR SIGNATURE (required) \_\_\_\_\_

State of Florida, County of: MARTIN  
This the 4th day of JANUARY, 2006

On State of Florida, County of: \_\_\_\_\_  
This the \_\_\_\_\_ day of \_\_\_\_\_, 200

by Cameron Moore Thomas, who is personally known to me or produced FUDITS20 (1) 265-244-0 x 7/4/08

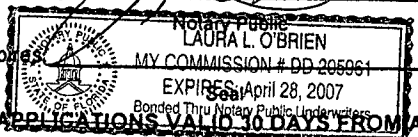
by \_\_\_\_\_ who is personally known to me or produced \_\_\_\_\_

as identification. \_\_\_\_\_

As identification. \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Notary Public  
My Commission Expires: \_\_\_\_\_



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**CHITWOOD AND COMPANY LLC**

545 S.E. Central Parkway  
Stuart, Florida 34994

Office: (772) 220 1767

Fax: (772) 781 1357

Marvin B. Chitwood

Deirdre L. Chitwood

CONTRACT

HOMEOWNER: Mr. Cameron Thomas  
ADDRESS: 10 Palm Road  
Stuart, Fl 34996

DATE: 12.14.05

TEL.NO. (772) 223 7040

SITE: 16 Sth Via Lucinda  
Stuart, Fl 34996

Using products by U.S. Paverscape in Old Chicago Brown (white cement based) color in 4x8 Brick Shape Tumbled:

THREE ENTRYWAYS – approx 230/sq.ft. - \$2,800.00.

WALKWAY – approx. 150/sq.ft. - \$1,800.00.

The price includes preparing grade.

Homeowner agrees to obtain Notice of Commencement and Planning Permit from Sewall's Point Town Hall.

Four thousand six hundred (Dollars)  
\$4,600.00

**AGREEMENT TERMS, CONDITIONS AND PROVISIONS**

1. Chitwood & Company agrees to supply all labor, materials -pavers/bricks, bedding sand (screenings) and equipment to complete construction.
2. The work as specified includes compacted sub-base, furnish and install one and half to two inches screening sand, compacting of screening sand, installation of above pavers, making necessary cuts. All cuts to be neat fitting. Install a free-form, subsurface, restraining concrete curb around perimeter. Pavers to be swept clean of all debris. Fill all voids with fine sand, compact installed pavers to finished grade and sweep clean. The work does not include any other details of work unless stated in this contract.

**INTERLOCKING PAVER INSTALLATION**

License Nos. Martin County SP 01859/ Palm Beach County U-16933/ Insured

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # Parcel ID 13841007000024050000

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):**

LUCINDIA LOT 24

**GENERAL DESCRIPTION OF IMPROVEMENT:** \_\_\_\_\_

OWNER: CAMERON THOMAS

ADDRESS: 16 S. VIA LUCINDIA SEWALL'S POINT, FL 34996

PHONE #: 223-7040 FAX #: \_\_\_\_\_

CONTRACTOR: Chitwood + Co.

ADDRESS: 545 Central Pkwy. Stuart 34984

PHONE #: 220-1267 FAX #: \_\_\_\_\_

**SURETY COMPANY (IF ANY):** \_\_\_\_\_

ADDRESS: STATE OF FLORIDA MARTIN COUNTY

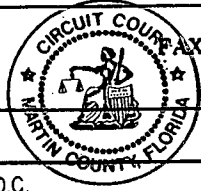
PHONE # \_\_\_\_\_

BOND AMOUNT: 1 FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL

LENDER: MARSHA EWING, CLERK

ADDRESS: BY [Signature] D.C. DATE 1-11-06

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_



INSTR # 1902454  
OR BK 02101 PG 2328  
Pg 2328f (1pg)  
RECORDED 01/11/2006 03:34:10 PM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
RECORDED BY S Phoenix

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 11th DAY OF JANUARY 2006 BY CAMERON MOORE THOMAS

PERSONALLY KNOWN \_\_\_\_\_ PRODUCED ID FLDL 7520-113-65-244-0 TYPE OF ID \_\_\_\_\_ x 7/14/08

[Signature]  
NOTARY SIGNATURE



# TOWN OF SEWALL'S POINT

ONE SOUTH SEWALL'S POINT ROAD  
SEWALL'S POINT, FLORIDA 34996

## TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT

(To be submitted if permit is to be pulled by Owner/Builder)

### DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: \_\_\_\_\_

Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Address: \_\_\_\_\_

City & State: \_\_\_\_\_

Permit No. \_\_\_\_\_

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # Parcel ID 13841007000024050000

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

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FAX #: \_\_\_\_\_

CONTRACTOR: Chitwood + Co.

ADDRESS: 545 Central Pkwy. Stuart 34994

PHONE #: 220-1767

FAX #: \_\_\_\_\_

SURETY COMPANY (IF ANY): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_



INSTR # 1902454  
OR BK 02101 PG 2328  
Pg 2328; (1pg)  
RECORDED 01/11/2006 03:34:10 PM  
MARSHA ENING  
CLERK OF MARTIN COUNTY FLORIDA  
RECORDED BY S Phoenix

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 14th DAY OF JANUARY 2006 BY CAMERON MOORE THOMAS

OR

PERSONALLY KNOWN  
PRODUCED ID FDL 1520-113-65-244-0  
TYPE OF ID X 7/14/08

NOTARY SIGNATURE



12/01/99

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/12, 2006 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
783	MORAN	FINAL Minor Demolition	PASS	CLOSE
4	2 Palm Road O/B	REPAIRS		INSPECTOR: <i>[Signature]</i>
784	THOMAS	FINAL FENCE	PASS	CLOSE
5	10 Palm Road O/B			INSPECTOR: <i>[Signature]</i>
8002	THOMAS	FINAL Paver Walk & Drive	PASS	CLOSE
9	16 S. Via Lucinda O/B			INSPECTOR: <i>[Signature]</i>
7584	SCHECOONIC	ROUGH A/C	PASS	
1	12 S. Sewall's Pt Driftwood	Elec 1st Phase?	FAIL	INSPECTOR: <i>[Signature]</i>
7837	<del>W. K. KAPIT</del> 4 Rio Vista Builder Concept	Underground Plumbing	PASS	INSPECTOR: <i>[Signature]</i>
6705	ANDERSON	FINAL Removal	FAIL	
11	9 Palmetto Dr Palm Beach Creative			INSPECTOR: <i>[Signature]</i>
8134	WLOTT	Ret. & Walkway	<del>PASS</del>	
17	20E High Point Sea Gate Builders	LATE AM Phase	FAIL	INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**

One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**BUILDING PERMIT CARD**

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK. A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9231	DATE ISSUED:	AUGUST 13, 2009
SCOPE OF WORK:	CONCRETE DRIVEWAY		
CONDITIONS:			
CONTRACTOR:	PARKER CONSTRUCTION		
PARCEL CONTROL NUMBER:	013841007-000-002405	SUBDIVISION	LUCINDIA - LOT 24
CONSTRUCTION ADDRESS:	16 S VIA LUCINDIA		
OWNER NAME:	CONWAY		
QUALIFIER:	MICHAEL PARKER	CONTACT PHONE NUMBER:	260-7881

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE**  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY

**REQUIRED INSPECTIONS**

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

RECEIVED

DATE: 8/11/09 TOWN OF SEWALL'S POINT

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 8/11/09

OWNER/TITLEHOLDER NAME: David & Wendy Conway

Phone (Day) 305-849-1491 (Fax) \_\_\_\_\_

Job Site Address: 16 S. Via Lucinda Dr.

City: Sewells Point State: FL Zip: 34996

Legal Description: Lot 24 of Lucindia

Parcel Control Number: 01-38-41-007-000-00240-5

Owner Address (if different): \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work (please be specific): Replace existing gravel Driveway w/ CONCRETE

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)

YES \_\_\_\_\_ NO [X]

Has a Zoning Variance ever been granted on this property?

YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 1,000.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 [X]

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Parker Construction & Flooring Phone: 772-225-5481 Fax: \_\_\_\_\_

Street: 4165 NE Carol Ct.

City: Jensen Beach State: FL Zip: 34957

State License Number: CBC1254583

OR: Municipality: \_\_\_\_\_

License Number: \_\_\_\_\_

LOCAL CONTACT: Michael Parker

Phone Number: 562-2260-7881

DESIGN PROFESSIONAL: \_\_\_\_\_

Lic# \_\_\_\_\_

Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_

\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007

National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)

OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

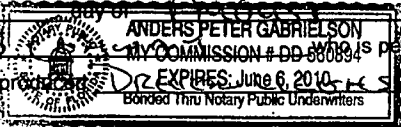
David Conway

State of Florida, County of: MARTIN

This the 11 day of August, 2009

by David Conway personally

known to me or produced as identification.



Notary Public

My Commission Expires: [Signature]

CONTRACTOR SIGNATURE: (required)

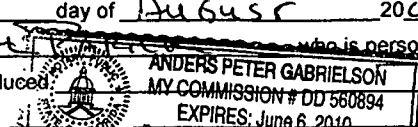
Michael Parker

On State of Florida, County of: MARTIN

This the 11 day of August, 2009

by Michael Parker personally

known to me or produced as identification.



Notary Public

My Commission Expires: [Signature]

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
governmentmax.com T1.14

### Summary

print | [ ] | [ ] | [ ] | [ ] | [ ] | [ ] | [ ] | [ ] | [ ] | Owner  
6 of 27

#### Parcel Info

- Summary**
- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
01-38-41-007-000-00240-5	16 S VIA LUCINDIA	17709	Owner	0	1

**Summary**  
**Property Location** 16 S VIA LUCINDIA  
**Tax District** 2200 Sewall's Point  
**Account #** 17709  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120350  
**Acres** 0.347

**Legal Description**  
**Property Information**  
LUCINDIA LOT 24 OR 351/1642

#### Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
CONWAY, DAVID & WENDY

**Assessment Info**  
**Front Ft.** 0.00

**Mail Information**  
16 VIA LUCINDIA DR  
STUART FL 34996

**Market Land Value** \$223,250  
**Market Impr Value** \$65,240  
**Market Total Value** \$288,490

#### Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
**Sale Amount** \$385,000

**Sale Date** 7/31/2007  
**Book/Page** 2267 2926

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 6/22/2009



# Proposed Concrete Driveway Detail

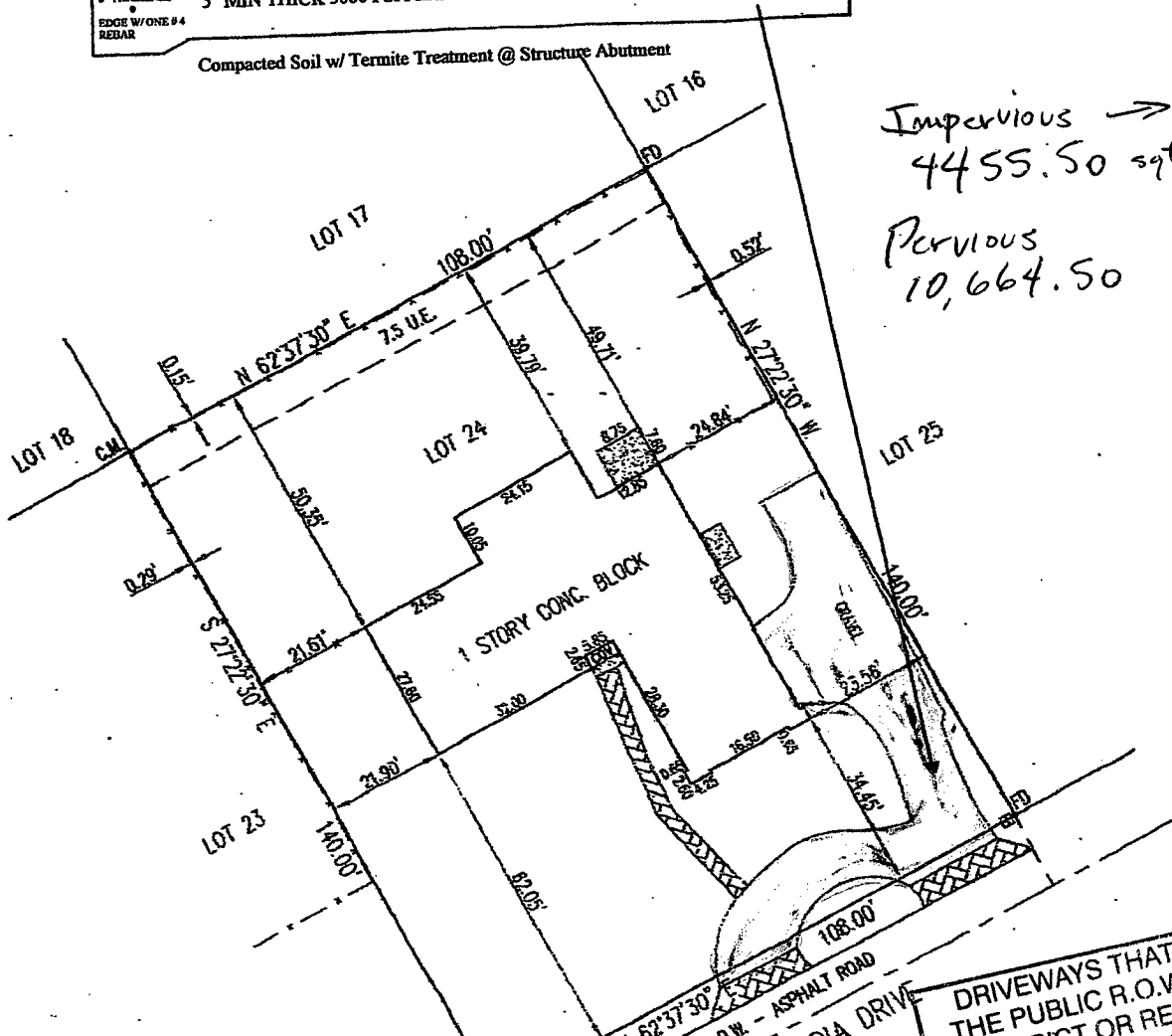
Top of slab and grade to match existing

5" THICKENED EDGE W/ ONE #4 REBAR 5" MIN THICK 3000 PSI FIBER REINFORCED CONCRETE

Compacted Soil w/ Termite Treatment @ Structure Abutment

# BOUNDARY SURVEY

Impervious → Approx 3070  
 4455.50 sqft  
 Pervious  
 10,664.50



DRIVEWAYS THAT TRAVERSE THE PUBLIC R.O.W. MUST NOT RESTRICT OR RE-DIRECT THE FLOW OF STORMWATER - PROVIDE SWALE OR APPROVED CULVERT PIPE - SEE DETAIL

FILE COPY  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE  
 DATE: 8.13.09  
 9  
**BUILDING OFFICIAL**

ADDRESS  
**16 VIA LUCINDIA DRIVE  
 SEWALLS POINT, Florida 34996**

LEGAL DESCRIPTION: (AS FURNISHED)  
 Lot 24 of LUCINDIA according to the Plat thereof as recorded in Plat Book 3, Page 130 of the Public Records of Martin County, Florida

GRAPHIC SCALE  
 0 15 30

PLS #:	RS-07-07-1175
CLIENT #:	1071-1682537
FIELD DATE:	07/18/07
DRAFTER:	AMP
APPROVED:	JAC
SCALE:	1" = 30'

BASIS OF BEARINGS: Centerline of VIA LUCINDIA DRIVE as monumented and platted bearing being N 62° 37' 30"

LIST OF POSSIBLE ENCROACHMENTS: SEE ABOVE  
 SURVEYOR INFORMATION:

Atlantic Land Design of the Treasure Coast, Inc.  
 3353 HWY 101A AVENUE  
 SEVEN SPRINGS, FL 32959  
 (888) 456-0001



**Patriot Stanzetti**  
**REAL ESTATE TEAM**  
 877-223-9991



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **8-18** 2009 Page 1 of    

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9231	Conway	Porch		
1st	16 S Via Lucinda Parker Const		Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9234	Truitt	Final	AM-FAIL	TIGHTEN BOLTS
945	39 S River Rd Professional Inst.	Garage Door	PM Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	Sewalls Meadow POA	Trees	Pass	
	50 Sewalls Pt Rd	Henry Sewal Way		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9193	Allen	in progress	AM FAIL	WRONG NOA
	171 S River Rd On Shore Roof.		PM Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9217	Jochem	Final		Close
	22 Ridgeland Dr Country Const.	roof repair	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9000	CO2	insulation		
10 AM	4 River Oak Pl SOH		FAIL	RE SCHEDULE
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	Jabinsky	Tree		
	10 Mandalay		<i>[Signature]</i>	INSPECTOR <i>[Signature]</i>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection:  Mon  Wed  Thur  Fri 9-9 2009 Page 1 of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9175	ROBSON	FINAL		
9:00	2 CASTLE HILL DRIFTWOOD	REMODEL	PASS	lose INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9189	Hooker	final		
	6 Morgan Cir Driftwood	stairs-balcony walkway-pad	CANCEL	INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9233	Fredrick	Final		ELECTRICAL
	325 Sewalls Appt Owners	POOL FILL	FAIL	NOT PERMITTED INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9181	Harden	tie beam		
1PM	27 S River Stratton		PASS	INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9231	Coneway	Final		Close
	16 <sup>south</sup> Via Lucinda Parker Const	driveway	PASS	INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8812	DATE ISSUED:	FEBRUARY 1, 2008
			RENEWED 8/14/09 \$150 CK #127
SCOPE OF WORK:	KITCHEN REMODEL, INSTALL 2 FRENCH DOORS& WINDOWS		
CONDITIONS :			
CONTRACTOR:	O/B		
PARCEL CONTROL NUMBER:	1384100700002405	SUBDIVISION	LUCINDIA – LOT 24
CONSTRUCTION ADDRESS:	16 S VIA LUCINDIA		
OWNER NAME:	CONWAY		
QUALIFIER:	O/B	CONTACT PHONE NUMBER:	305-304-2586

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

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 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

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 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8812	DATE ISSUED:	FEBRUARY 1, 2008
SCOPE OF WORK:	KITCHEN REMODEL, INSTALL 2 FRENCH DOORS& WINDOWS		
CONDITIONS :			
CONTRACTOR:	O/B		
PARCEL CONTROL NUMBER:	13841007000002405	SUBDIVISION	LUCINDIA - LOT 24
CONSTRUCTION ADDRESS:	16 S VIA LUCINDIA		
OWNER NAME:	CONWAY		
QUALIFIER:	O/B	CONTACT PHONE NUMBER:	305-304-2586

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### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

*6-9-09 left mers      7-17-09 left mers -*



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 8812

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: DAVE CONWAY

CONSTRUCTION ADDRESS: 16 S. VIA LUCINDIA SEWALLS PT. FL.

PERMIT TYPE: [X] RESIDENTIAL [ ] COMMERCIAL

- [ ] ELECTRIC
[ ] PLUMBING
[X] HVAC
[ ] IRRIGATION
[ ] FUEL GAS

TYPE OF SERVICE: [ ] NEW SERVICE [ ] EXISTING SERVICE [ ] OTHER

SCOPE OF WORK: REPLACE DUCT WORK

VALUE OF CONSTRUCTION \$ T & M

Form box containing: LOW VOLTAGE, TYPE OF EQUIPMENT: [ ] SECURITY [ ] VACUUM [ ] SOUND SYSTEM [ ] LANDSCAPE [ ] OTHER, SCOPE OF WORK: VALUE

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Signature of licensed contractor: [Signature] ADDRESS OF CONTRACTOR: 11763 SW VALENCIA CT. PALM CITY FL

COMPANY OR QUALIFIER'S NAME: JIM KEEBLER AK

TELEPHONE NO: 772-287-7782 FAX NO: [ ] PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: SP 00033 NATION CO.

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED:

PARCEL CONTROL #:

SUBDIVISION: LOT: BLK: PHASE:

SITE ADDRESS:

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Date: 11/15/07 Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: DAVID CONWAY Phone (Day) <sup>305</sup> 364 2586 (Fax) \_\_\_\_\_

Job Site Address: 16 S. VIA LUCINDIA DR. City: SEWALL'S PT. State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) LUCINDIA LOT 24 Parcel Number: 01-38-41-007-000-0024,0-5-0000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work: Kitchen remodel & install two french doors + windows

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES  NO

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 20,000.00  
(Notice of Commencement required when over \$2500 prior to first inspection)

Has a Zoning Variance ever been granted on this property?  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO   
(Must include a copy of all variance approvals with application)

**FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY:**  
SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE: V \_\_\_\_\_ A9 \_\_\_\_\_ A8 \_\_\_\_\_ X \_\_\_\_\_  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Municipality License Number: \_\_\_\_\_

ARCHITECT M.A. CORSON Lic.# AR91665 Phone Number: (772) 223 8227

Street: 844 E. OCEAN BLVD City: STUART State: FL Zip: 34994

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQ. FOOTAGE (W /SEWER & ELECTRIC): Living: 1800 Garage: 500 Covered Patios: - Screened Porch: 200

Carport: 0 Total Under Roof: 2500 Wood Deck: 0 Accessory Building: 0

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.)  
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

**NOTICES TO OWNERS AND CONTRACTORS:**  
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.  
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.  
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.  
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AUTHORIZED AGENT SIGNATURE (required)  
David Conway

State of Florida, County of: MARTIN

This the 15 day of NOV, 2007

by DAVID CONWAY who is OWNER

known to me or produced as identification. [Signature]

My Commission Expires: 10/15/08

CONTRACTOR SIGNATURE (required)  
David Conway

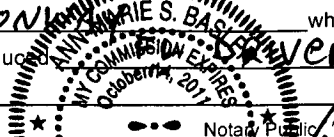
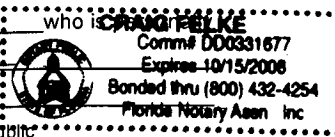
On State of Florida, County of: MARTIN

This the 19 day of NOV, 2007

by DAVID CONWAY who is personally

known to me or produced as identification. [Signature]

My Commission Expires: \_\_\_\_\_



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE REAPPLY FOR PERMIT PROMPTLY!





INSTR # 2029831  
 OR BK 02267 PG 2926  
 Pgs 2926 - 2927 (2pgs)  
 RECORDED 07/31/2007 03:43:17 PM  
 MARSHA EWING  
 CLERK OF MARTIN COUNTY FLORIDA  
 DEED DOC TAX 2,695.00  
 RECORDED BY L Wood

Prepared by  
 Michelle Leacock, an employee of  
 First American Title Insurance Company  
 729 South Federal Highway, Suite 103  
 Stuart, Florida 34994  
 (772)286-0850

Return to: Grantee

File No.: 1071-1682587

**WARRANTY DEED**

This indenture made on **July 30, 2007 A.D.**, by

**Cameron M. Thomas and Katherine W. Thomas, husband and wife**

whose address is: **10 Palm Road, Stuart, FL 34996**  
 hereinafter called the "grantor", to

**David Conway and Wendy Conway, husband and wife**

whose address is: **16 Via Lucindia Drive South, Stuart, FL 34996**  
 hereinafter called the "grantee":

(Which terms "Grantor" and "Grantee" shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in **Martin County, Florida**, to-wit:

Lot 24 of LUCINDIA, according to the Plat thereof as recorded in Plat Book 3, Page(s) 130, of the Public Records of Martin County, Florida.

Parcel Identification Number: **01-38-41-007-000-0024.0-5-0000**

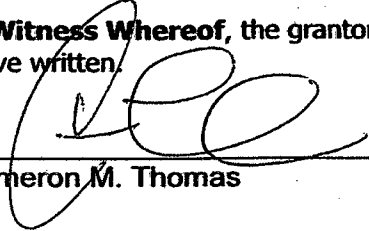
**Subject to** all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

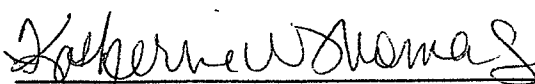
**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining,

**To Have and to Hold**, the same in fee simple forever.


And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31st of 2006.

In Witness Whereof, the grantor has hereunto set their hand(s) and seal(s) the day and year first above written.

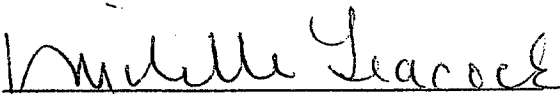
  
Cameron M. Thomas

  
Katherine W. Thomas

Signed, sealed and delivered in our presence:

  
Witness Signature Karen D Noel

Print Name: Michelle Leacock

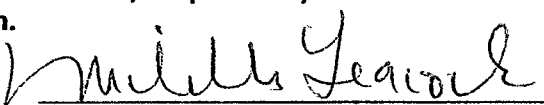
  
Witness Signature

Print Name Michelle Leacock

State of **FL**

County of **Martin**

The Foregoing Instrument Was Acknowledged before me on July 30, 2007, by Cameron M. Thomas and Katherine W. Thomas, husband and wife who is/are personally known to me or who has/have produced a valid driver's license as identification.

  
\_\_\_\_\_

NOTARY PUBLIC

Michelle Leacock

Notary Print Name

My Commission Expires: \_\_\_\_\_





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**SUBCONTRACTORS LIST**  
**RESIDENTIAL, ADDITIONS, COMMERCIAL**

APPLICANT'S NAME DAVID CONWAY BLDG. PERMIT # \_\_\_\_\_

MAILING ADDRESS 16 S. VIA LUCINDIA DR. STUART FL 34996

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. **WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION.** USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. *(NOT OCCUPATIONAL LICENSE NUMBERS)*

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM		
CFI	- FINISH		
BM	BLOCK MASON		
CB	COLUMNS & BEAMS		
CA	CARPENTRY ROUGH	DOUG WOODWORTH	07-1042115
GD	GARAGE DOOR		
DH	DRYWALL - HANG		
DF	- FINISH		
IN	INSULATION		
LA	LATHING		
FI	FIREPLACE		
PAV	PAVERS		
AL	ALUMINUM		
LP	LP GAS		
PAV	PAINTING		
PL	PLASTER & STUCCO		
ST	STAIRS & RAILS		
RO	ROOFING		
TM	TILE & MARBLE		
WD	WINDOWS & DOORS		
PLU	* PLUMBING		
AC	* HARV	JIM KEEBLER AC + HEAT	SP00033
EL	* ELECTRICAL	FRANK FITZPATRICK	EC* 0000915

*OK*  
*Found*  
*Found*  
*OK*

*Alfred Brennan Elect - OK*



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

AL	* LOW VOLTAGE BURGLAR ALARM		
VS	VACUUM SOUND		
IR	* IRRIGATION		
SH	SHUTTERS		

\* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

David Conway

SIGNATURE OF CONTRACTOR  
(OR OWNER BUILDER IF APPLICABLE)

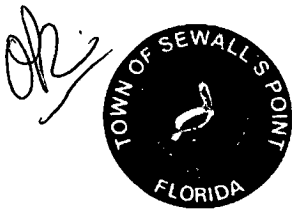
STATE OF FLORIDA  
 COUNTY OF MARTIN

SWORN TO AND SUBSCRIBED before me this 15th day  
 of November, 20 07

[Signature]  
 NOTARY PUBLIC

MY COMMISSION EXPIRES: 10/15/08





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR PERMIT

BUILDING PERMIT NUMBER: \_\_\_\_\_

OWNERS NAME: DAVID CONWAY

CONSTRUCTION ADDRESS: 16 S. VIA LUCINDIA DR. SEWALL'S POINT 34996

PERMIT TYPE:  RESIDENTIAL \_\_\_\_\_ COMMERCIAL

- |  |  |
|--|--|
| <input type="checkbox"/> ELECTRIC        | <input type="checkbox"/> ROOFING                 |
| <input type="checkbox"/> PLUMBING        | <input type="checkbox"/> CONCRETE FORM AND PLACE |
| <input checked="" type="checkbox"/> HVAC | <input type="checkbox"/> MASONRY                 |
| <input type="checkbox"/> IRRIGATION      | <input type="checkbox"/> CARPENTRY               |
| <input type="checkbox"/> FUEL GAS        | <input type="checkbox"/> OTHER (SPECIFY) _____   |

FOR GAS OR ELECTRIC: TYPE OF SERVICE: \_\_\_\_\_ NEW SERVICE  EXISTING SERVICE \_\_\_\_\_ OTHER

SCOPE OF WORK: relocate HVAC air handler; relocate HVAC ducts

VALUE OF CONSTRUCTION \$ \$4,000.00

_____ LOW VOLTAGE	
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER	
SCOPE OF WORK: _____	VALUE: _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Horace Keebler  
 SIGNATURE OF LICENSED CONTRACTOR

Jim Keebler A/C  
11763 SW VALENCIA CT PALM CITY 34990  
 ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: HORACE KEEBLER

TELEPHONE NO: 772-287-7782 FAX NO: \_\_\_\_\_  
PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: \_\_\_\_\_

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT. \*\*\*\*\*

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED: \_\_\_\_\_

PARCEL CONTROL #: \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ BLK: \_\_\_\_\_ PHASE: \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_

SEND OR FAX TO: TOWN OF SEWALL'S BUILDING DEPARTMENT

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR PERMIT

BUILDING PERMIT NUMBER: \_\_\_\_\_

OWNERS NAME: DAVID CONWAY

CONSTRUCTION ADDRESS: 16 S. VIA LUCINDIA DR.

PERMIT TYPE:  RESIDENTIAL \_\_\_\_\_ COMMERCIAL

- ELECTRIC \_\_\_\_\_ ROOFING
- \_\_\_\_\_ PLUMBING \_\_\_\_\_ CONCRETE FORM AND PLACE
- \_\_\_\_\_ HVAC \_\_\_\_\_ MASONRY
- \_\_\_\_\_ IRRIGATION \_\_\_\_\_ CARPENTRY
- \_\_\_\_\_ FUEL GAS \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

FOR GAS OR ELECTRIC: TYPE OF SERVICE: \_\_\_\_\_ NEW SERVICE  EXISTING SERVICE \_\_\_\_\_ OTHER

SCOPE OF WORK: Relocate outlets, install & wire ceiling fixtures [new]

VALUE OF CONSTRUCTION \$ \$4,000.00

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Frank Bressan Frank Bressan  
 SIGNATURE OF LICENSED CONTRACTOR ADDRESS OF CONTRACTOR  
1825 N 1/2 Acapulco Dr Jensen Beach

COMPANY OR QUALIFIER'S NAME: Bressan Bldg

TELEPHONE NO: 334-4162 PLEASE PRINT FAX NO: Same

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: 12C0000915

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT. \*\*\*\*\*

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED: \_\_\_\_\_

PARCEL CONTROL #: \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ BLK: \_\_\_\_\_ PHASE: \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_

SEND OR FAX TO: TOWN OF SEWALL'S BUILDING DEPARTMENT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT  
 MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE**

**APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES  
 AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE**

NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.

ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"

Owner/Builder Applicant Name: DAVID CONWAY

Site address of the proposed building work: 16 S. VIA LULINDIA DR.

Name of legal title owner of the address above: DAVID CONWAY

Describe the scope of work for the proposed new construction: Kitchen remodel and installation of two french doors + window install

Name of Architect of Record: \_\_\_\_\_ Structural Engineer of Record: \_\_\_\_\_

Who will supervise the trade work to meet the applicable code? DAVID CONWAY

What provisions have you made for Liability and Property Damage Insurance? NONE

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? NONE

What previous Owner/Builder improvements have you done in the State of Florida?

Location: Ø Scope of Work Done: \_\_\_\_\_ Year: \_\_\_\_\_

Location: Ø Scope of Work Done: \_\_\_\_\_ Year: \_\_\_\_\_

What code books do you have available for reference? Building: —

Electric: — Plumbing: — HVAC: —

Other: \_\_\_\_\_

I have internet access and will view The Florida Building code at [www.floridabuilding.org](http://www.floridabuilding.org) YES  NO

Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site?  (yes/no)

Have you consulted with your Homeowner's Insurance Agent?  Lender?  Attorney? \_\_\_\_\_

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. dc (initials).



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**OWNER/BUILDER DISCLOSURE STATEMENT**

**NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:**

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT.

13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE.

14. AS AN OWNER/BUILDER, YOU ARE LIABLE TO AND RESPONSIBLE FOR THOSE PEOPLE HIRED TO ASSIST YOU. SUCH LIABILITY AND RESPONSIBILITY MAY INCLUDE, BUT IS NOT LIMITED TO, COMPLIANCE WITH APPLICABLE LAWS RELATING TO LIENS, WORKERS' COMPENSATION, SOCIAL SECURITY, UNEMPLOYMENT, FEDERAL WITHHOLDING TAX, AND PUBLIC LIABILITY.

15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT.

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT. **OWNER/BUILDER APPLICANTS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT APPLICATION.**

PHOTO ID IS REQUIRED FOR PERSON SUBMITTING PERMIT APPLICATION.

PERSON'S NAME SUBMITTING APPLICATION DAVID CONWAY

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PROPERTY ADDRESS 16 S. VIA LUCINDIA DR.

CITY SEWALL'S POINT STATE FL ZIP 34996

David Conway  
 SIGNATURE OF OWNER/BUILDER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 15 DAY OF Nov. 2007

BY \_\_\_\_\_

PERSONALLY KNOWN \_\_\_\_\_

OR PRODUCED ID \_\_\_\_\_

TYPE OF ID FF-PL



NOTARY SIGNATURE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**CONTRACTOR, OWNER /BUILDER ASBESTOS NOTIFICATION STATEMENT**

Date: 10/9/07 Building Permit # \_\_\_\_\_  
 Site Address: 16. S. VIA LUCINDIA DR. SEWALL'S POINT FL 34996

**FBC 104.1.10 Asbestos.** The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's or operator's responsibility to comply with the provisions of s. 469.003 Florida Statutes and to notify the Department of Environmental Protection of her or his intentions to remove asbestos, when applicable, in accordance with state and federal law.

- 469.003 License required.--
- (1) No person may conduct an asbestos survey, develop an operation and maintenance plan, or monitor and evaluate asbestos abatement unless trained and licensed as an asbestos consultant as required by this chapter.
  - (2)(a) No person may prepare asbestos abatement specifications unless trained and licensed as an asbestos consultant as required by this chapter.
  - (b) Any person engaged in the business of asbestos surveys prior to October 1, 1987, who has been certified by the Department of Labor and Employment Security as a certified asbestos surveyor, and who has complied with the training requirements of s. 469.013(1)(b), may provide survey services as described in s. 255.553(1), (2), and (3). The Department of Labor and Employment Security may, by rule, establish violations, disciplinary procedures, and penalties for certified asbestos surveyors.
  - (3) No person may conduct asbestos abatement work unless licensed by the department under this chapter as an asbestos contractor, except as otherwise provided in this chapter.

**FBC 105.3.6 Asbestos removal. (Owner /Builder Exemption)**

Moving, removal or disposal of asbestos-containing materials on a residential building where the owner occupies the building, the building is not for sale or lease, and the work is performed according to the owner-builder limitations provided in this paragraph. To qualify for exemption under this paragraph, an owner must personally appear and sign the building permit application. The permitting agency shall provide the person with a disclosure statement in substantially the following form: **Disclosure Statement:** State law requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

Contractor or  Owner/Builder Signature David Conway

Subscribed and sworn to before me this 15<sup>th</sup> day of NOVEMBER, 2007, personally appeared

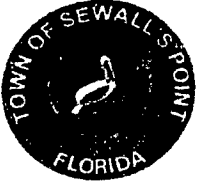
DAVID CONWAY who is personally known to me or produced FL Driver's as

identification, and who did/did not take an oath.

Notary Public Signature [Signature]



Seal



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

COPY

**WINDOW/DOOR SCHEDULE**

ID NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	72 X 24		SL	X		GARAGE <del>25</del>
2	72 X 24		SL	X		GARAGE
3	2'2 1/8 X 5' 7 1/8		DH	X		BEDROOM
4	"		DH	X		"
5	"		DH	X		"
6	"		DH	X		"
7	6'0 X 6'8"		SW DOOR	X		DINING ROOM
8	6'0 X 6'8"		SW DOOR	X		LIVING ROOM
9	2'0 5/8 X 3'0 1/2"		FIX	X		KITCHEN
10	2'0 5/8 X 3'0 1/2"		FIX	X		KITCHEN
11	106" X 45"		SL	X		Kitchen Slider
12						
13						
14						
15						
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TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

TOTAL GLAZED OPENING AREA FOR STRUCTURE: 285 S.F.

\*PERCENTAGE OF NEW GLAZED AREA: 75 %  
 (TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2004 FBC EXISTING BUILDING 507.3.

**\* TYPE WINDOWS**

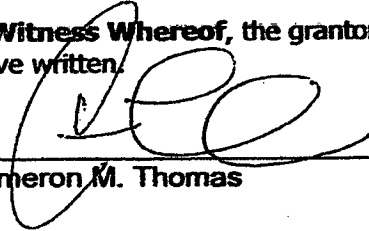
SH - SINGLE HUNG  
 DH - DOUBLE HUNG

AWN - AWNING  
 CAS - CASEMENT

SL - SLIDING  
 FIX - FIXED

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31st of 2006.

In Witness Whereof, the grantor has hereunto set their hand(s) and seal(s) the day and year first above written.

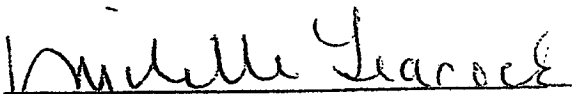
  
Cameron M. Thomas

  
Katherine W. Thomas

Signed, sealed and delivered in our presence:

  
Witness Signature Karen Orbel

Print Name: Michelle Leacock

  
Witness Signature

Print Name: Michelle Leacock

State of FL

County of Martin

The foregoing instrument was acknowledged before me on July 30, 2007, by Cameron M. Thomas and Katherine W. Thomas, husband and wife who is/are personally known to me or who has/have produced a valid driver's license as identification.



NOTARY PUBLIC

Michelle Leacock

Notary Print Name

My Commission Expires: \_\_\_\_\_



**FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION**  
 Residential Whole Building Performance Method A

FORM 600A-04R SOUTH 789

<b>PROJECT NAME: AND ADDRESS:</b>	Conway Interior Renovation	<b>BUILDER:</b> Owner	<b>CLIMATE ZONE:</b> 7 <input type="checkbox"/> 8 <input checked="" type="checkbox"/> 9 <input type="checkbox"/>
<b>OWNER:</b>	David Conway	<b>PERMITTING OFFICE:</b>	<b>JURISDICTION NO.:</b>
		<b>PERMIT NO.:</b>	

1. New construction or addition
2. Single-family detached or Multiple-family attached
3. If Multiple-family—No. of units covered by this submission
4. Is this a worst case? (yes/no)
5. Conditioned floor area (sq. ft.)
6. Predominant eave overhang (ft.)
7. Glass type<sup>1</sup> and area: (Label required by 13-104.4.5 if not default)
  - a. U-factor: (or Single- or Double-Pane DEFAULT)
  - b. SHGC: (or Clear or Tint DEFAULT)
8. Floor type and insulation:
  - a. Slab-on-grade (R-value + perimeter)
  - b. Wood, raised (R-value + sq. ft.)
  - c. Concrete, raised (R-value)
9. Net Wall type, area and insulation:
  - a. Exterior:
    1. Concrete block (Insulation R-value)
    2. Wood frame (Insulation R-value)
    3. Steel frame (Insulation R-value)
    4. Log (Insulation R-value)
    5. Other: \_\_\_\_\_
  - b. Adjacent:
    1. Concrete block (Insulation R-value)
    2. Wood frame (Insulation R-value)
    3. Steel frame (Insulation R-value)
    4. Log (Insulation R-value)
10. Ceiling type, area and insulation:
  - a. Under attic (Insulation R-value)
  - b. Single assembly (Insulation R-value)
  - c. Radiant barrier, IRCC or white roof installed?
11. Air distribution system:
  - a. Ducts (Insulation + Location)
  - b. Air Handler (Location)
12. Cooling system: (Types: central-split, central-single pkg., room unit, PTAC, gas, none)
13. Heating system: (Types: heat pump, elec. strip, nat. gas, LP Gas, gas h.p., room or PTAC, none)
14. Hot water system: (Types: elec., natural gas, solar, LP gas, none)
15. Hot water credits
  - a. Heat Recovery (HR)
  - b. Dedicated Heat Pump (DHP)
  - c. Solar
16. HVAC credits (Use: CF-Ceiling Fan, CV-cross vent, PT-programmable thermostat, HF-whole house fan, MZ-Multizone)
17. COMPLIANCE STATUS: (PASS if As-Built Pts. Are less than Base Pts.)
  - a. Total As-Built Points
  - b. Total Base Points

	Please Type	CK
1.	Renovation	_____
2.	Single family	_____
3.		_____
4.	No	_____
5.	1850 sq. ft.	_____
6.	90 ft.	_____
<b>Description Area</b>		
7a.	LowE 100 sq. ft.	_____
7b.	Clear 100 sq. ft.	_____
8a.	R = 10, 300 l. ft.	_____
8b.	R = _____, _____ sq. ft.	_____
8c.	R = _____, _____ sq. ft.	_____
9a-1	R = 1.1, 1850 sq. ft.	_____
9a-2	R = _____, _____ sq. ft.	_____
9a-3	R = _____, _____ sq. ft.	_____
9a-4	R = _____, _____ sq. ft.	_____
9b-1	R = <del>10</del> , _____ sq. ft.	_____
9b-2	R = _____, _____ sq. ft.	_____
9b-3	R = _____, _____ sq. ft.	_____
9b-4	R = _____, _____ sq. ft.	_____
10a.	R-10 1850 sq. ft.	_____
10b.	_____ sq. ft.	_____
10c.	white roof.	_____
11a.	R = 10, <sup>bock hull</sup> _____ (nom. Assumed)	_____
11b.	R = 12, <sup>closet</sup> _____ (nom. Assumed)	_____
12a.	Type: Central Single	_____
12b.	SEE/EER/COP: 13	_____
12c.	Capacity: 3 TON	_____
13a.	Type: electric	_____
13b.	HSPFCOP/AEUE: 100	_____
13c.	Capacity: 3 TON	_____
14a.	Type: Electric	_____
14b.	EF: +91	_____
15a.	_____	_____
15b.	_____	_____
15c.	_____	_____
16.	<del>10</del>	_____
17.	_____	_____
17a.	_____	17b. _____

**TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY**

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code. PREPARED BY: <u>David Conway</u> DATE: <u>11/16/07</u> I hereby certify that this building is in compliance with the Florida Energy Code. OWNER AGENT: <u>David Conway</u> DATE: <u>11/16/07</u>	Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S. BUILDING OFFICIAL: _____ DATE: _____
---	--



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**ADDITION/REMODEL APPLICATION CHECKLIST**

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient Documents are included. This review sheet must accompany the application submittal.

**Please make sure you have ALL required copies before submitting permit application**

- ✓ 1 COPY COMPLETED PERMIT APPLICATION INCLUDING:
  - ✓ LEGAL DESCRIPTION
  - ✓ NOTARIZED SIGNATURE OF OWNER AND CONTRACTOR
  - ✓ PROOF OF OWNERSHIP (RECORDED WARRANTY DEED OR TAX BILL)
  
- N/A 2 COPIES CURRENT SURVEYS (DATED 2006 OR NEWER) SHOWING THE FOLLOWING:  
**\*\*ADDITIONS OR SUBSTANTIAL IMPROVEMENT(GREATER THAT 50% OF FAIR MARKET VALUE) ONLY\*\***
  - CURRENT FLOOD ZONES PER LOCAL FLOOD INSURANCE RATE MAP (FIRM)
  - NGVD ELEVATIONS AT ALL CORNERS, MID POINTS AND AVERAGE CROWN OF ROAD
  - ALL EXISTING STRUCTURES ON PROPERTY AND PROPOSED SETBACKS FROM THE PROPERTY LINE TO ALL SIDES OF THE PROPOSED ADDITION.
  - ELEVATION OF PROPOSED ADDITION
  - DRAINAGE ARROWS AND PERVIOUS/IMPERVIOUS CALCS. TO SHOW PROPOSED STORMWATER RETENTION**\*\*\*DO NOT SUBMIT PREVIOUSLY STAMPED SITE PLANS\*\*\***
  
- N/A 2 COPIES SEPTIC TANK PERMIT, IF APPLICABLE (PLANS MUST BE STAMPED BY HEALTH DEPT.).  
**(\*\*ADDITIONS W/ LIVING SPACE ONLY\*\*)**
- ✓ 2 COPIES COMPLETE SETS OF PLANS WITH ALL REQUIRED PAGES SIGNED & SEALED BY A FLORIDA REG. ARCHITECT OR ENGINEER. MAXIMUM SIZE PLANS 24" X 36".
- ✓ 2 COPIES THE FLORIDA ENERGY CODE FOR THE "SOUTH" ZONE 8, FORM 600A-04R (VERSION 4.0 OR LATER) OR 600C-04R. MUST BE SIGNED & DATED.
- N/A 2 COPIES MANUAL "J" (ADDITIONS OVER 600 S.F. OR ENCLOSED AREAS PREVIOUSLY UNCONDITIONED)
- ✓ 2 COPIES WINDLOAD CERTIFICATION SIGNED & SEALED BY A FLORIDA REG. ARCHITECT OR ENGINEER OR INDICATE ON THE PLANS. LEVEL 3 ALTERATIONS REQUIRES STRUCTURAL ANALYSIS BY ARCH/ENG
- ✓ 2 COPIES PRODUCT APPROVAL CHECKLIST SIGNED & SEALED BY THE ARCHITECT OR ENGINEER OR INDICATE ON THE PLANS.
- ✓ 1 COPY NOTICE OF COMMENCEMENT, IF VALUE IS OVER \$2500.00. MUST BE SUBMITTED PRIOR TO THE FIRST INSPECTION.
- ✓ 1 COPY ASBESTOS NOTIFICATION STATEMENT

**SPECIFICATIONS AND PRODUCT APPROVALS**

- SPECS. FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, SHUTTERS, SIDING, ROOF COVERING AND SIMILAR ENVELOPE ELEMENTS MUST BE ON-SITE FOR INSPECTIONS. THESE PRODUCTS MUST BE TESTED BY AN APPROVED TESTING LAB AND DESIGN PRESSURES STATED. MUST HAVE ARCHITECT/ENGINEER OF RECORD REVIEW, TO VERIFY THAT IT MEETS DESIGN.
- ROOF COVERING SPECIFICATIONS/DADE COUNTY OR FLORIDA APPROVAL MUST INCLUDE MANUFACTURER/PRODUCT NAME AND TEST NUMBER.
- SHUTTERS MUST BE DESIGNED IN ACCORDANCE WITH ASCE 7-02 AND SSTD-12. SPECIFICATIONS MUST BE HIGHLIGHTED AS TO WHICH MOUNT, DESIGN PRESSURE, FASTENER, AND FASTENER SPACING THAT WILL BE USED.

**IMPACT PROTECTION FOR ALL EXTERIOR GLAZED OPENINGS REQUIRED PER F.B.C. 2004 W/2006 REVISIONS 1609.1.4 (IMPACT RESISTANT GLASS OR APPROVED SHUTTERS)**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~Thu~~ Thurs 3-20, 2008

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8823	Sebastianu	tie beam	FAIL	
1	6 W High Pt O/B	215-5410	PASS	RECEIVED EXP LTR LATE 2008 INSPECTOR: <i>[Signature]</i>
8812	Conway	doors +	FAIL	
3	16 S Via Luinda OB	electric	PASS	INSPECTOR: <i>[Signature]</i>
	River Oaks	retaining wall beam	PASS	INSPECTOR: <i>[Signature]</i>
8791	Lerner	final	PASS	CLOSE
2	37 E High Pt Heaton Roofing			INSPECTOR: <i>[Signature]</i>
C.E.	JOSEPH JONES -	CONDITION OF PROP.		
	51 S.S.P.R.	(TAKE PHOTOS)		INSPECTOR:
8830	GIACHINO	FINAL FILL	PASS	CLOSE
4	19 SIMARA E. HUBBINS			INSPECTOR: <i>[Signature]</i>
C.E.	AKRAWI, ANIS Y	NEEDS PAINTING		
	36 S. RIVER RD. (LOT 1 RIDGELAND)	53 S.S.P.R.		INSPECTOR:
OTHER:	STARIC			
8535	87 Seward	UG electric	PASS	
late	Emil Lau.			<i>[Signature]</i>

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4-4, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8589	Hardin	partial electric		CANCEL
6 1130	27 Skinner Stratton	" sprinkler under porch roof		CANCEL INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8812	Conway	doors	PASS	
3	16 S Via Lucinda (reinspect) OB	ELEC. ROUGH	PASS	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8755	Durante	bathe	PASS	
1st	48 S Sewalls O/B	(PARTIAL)		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8441	Dressler	Meter Final	FAIL	
2	12 Island Rd <del>Kent</del> /Harbor Course			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8763	Hogel	WINDOW/DOOR	FAIL	
5	22 N.S.P.R. CDR	9:30-10:00		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8851	Santoramo	electric	PASS	CLOSE
4	1915 Ridgeway Rd Zoo Center	Final (PAPERWORK ON FENCE TO BACKYARD)		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
CEI		DEBRIS @		
AA	19 CANTANA	CURBSIDE		INSPECTOR:

OTHER: \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4-11, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8812	Conway	insulation	PASS	
2B	116 S Via Lucinda OB			INSPECTOR: <i>[Signature]</i>
<del>8818</del>	<del>Hepworth</del>	<del>Engineering</del>		
<i>after 12:30</i>	<del>3 Lawrence</del>	<del>roof in progress</del>		Postponed to Mon
	<del>and Castle</del>			INSPECTOR:
8589	Hardin	sprinkler	FAIL	
3	275 Seward Station	partial electric	PASS	INSPECTOR: <i>[Signature]</i>
8804	Kuulander	Final	PASS	CLOSE
1	176 S Seward OB			INSPECTOR: <i>[Signature]</i>
	<del>Thurante</del>			
	<del>4819 Seward</del>			
				INSPECTOR:
Tree	Diaz	Tree	PASS	
2A	15 Palm Rd Bernie's			INSPECTOR: <i>[Signature]</i>
8763	Hogel	inspect windows & doors	PASS	
4	22 N Sewalls COR			INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection:  Mon  Tue  Wed  Thur  Fri **6-15** 2009 Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9078	Masterpiece	home all	FAIL	
1	1 Marguerita	plumbing	↓	
	Masterpiece	gas & electric		
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9064	Masterpiece	Final	PASS	CLOSE
1	1 Marguerita	Land clearing		
	Masterpiece			
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8812	CONWAY	FINAL	FAIL	
	16 S. VIA LUCINDIA			
	O.B.			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
			NEED MORE	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 12/29/2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9000	LD 2 4 RIVERDALE PL	SITE WORK- LANDSCAPING WATER THROUGH	OK	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9321 after 10	Watson 16 Riverview DR On Shore	dry in	Pass	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8812	Conway 116 S. Via Lucinda OB	Final	Pass	Close INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

### TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner DAVID + WENDY CONWAY Address 16 S. VIA LUCINDIA Phone H 772 286 4002 - 305 304 2586

Contractor IMAGE ONE Address 205 KILLANE DR JUPITER Phone 561 575 5753

No. of Trees: REMOVE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: RELOCATE 2 Species: Sable Palms

No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

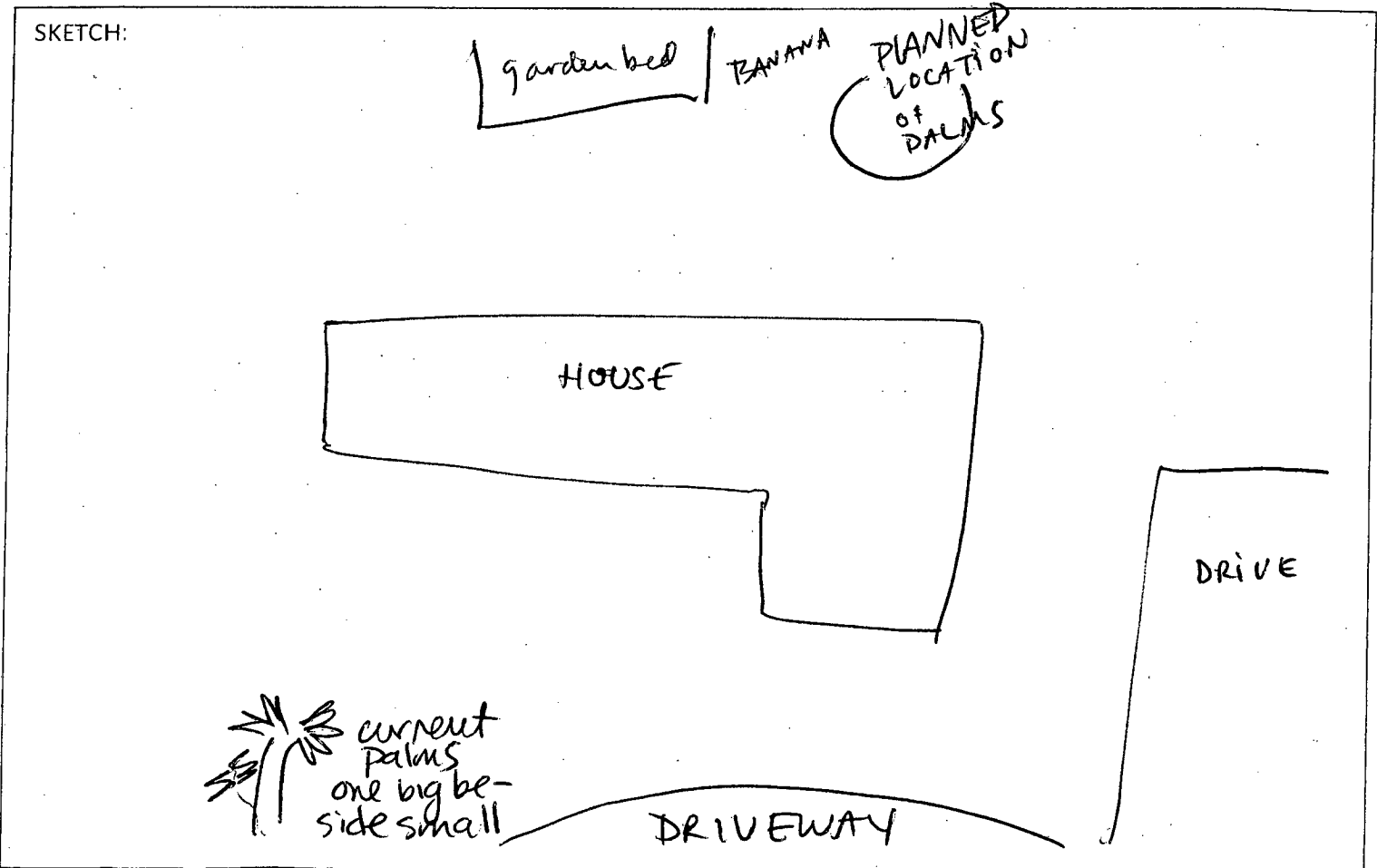
\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

Reason for tree removal /relocation (See notice above) Landscape Improvements being made and a pool area will be planned for the near location of palms

Signature of Property Owner D Conway Date 10/5/10

Approved by Building Inspector: [Signature] Date 10-6-10 Fee: N/A

NOTES: \_\_\_\_\_



OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

### TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner DAVID + WENDY CONWAY Address 16 S. VIA LUCINDIA Phone 305) 304 2586

Contractor Constantino Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 1 Species: FICUS

No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

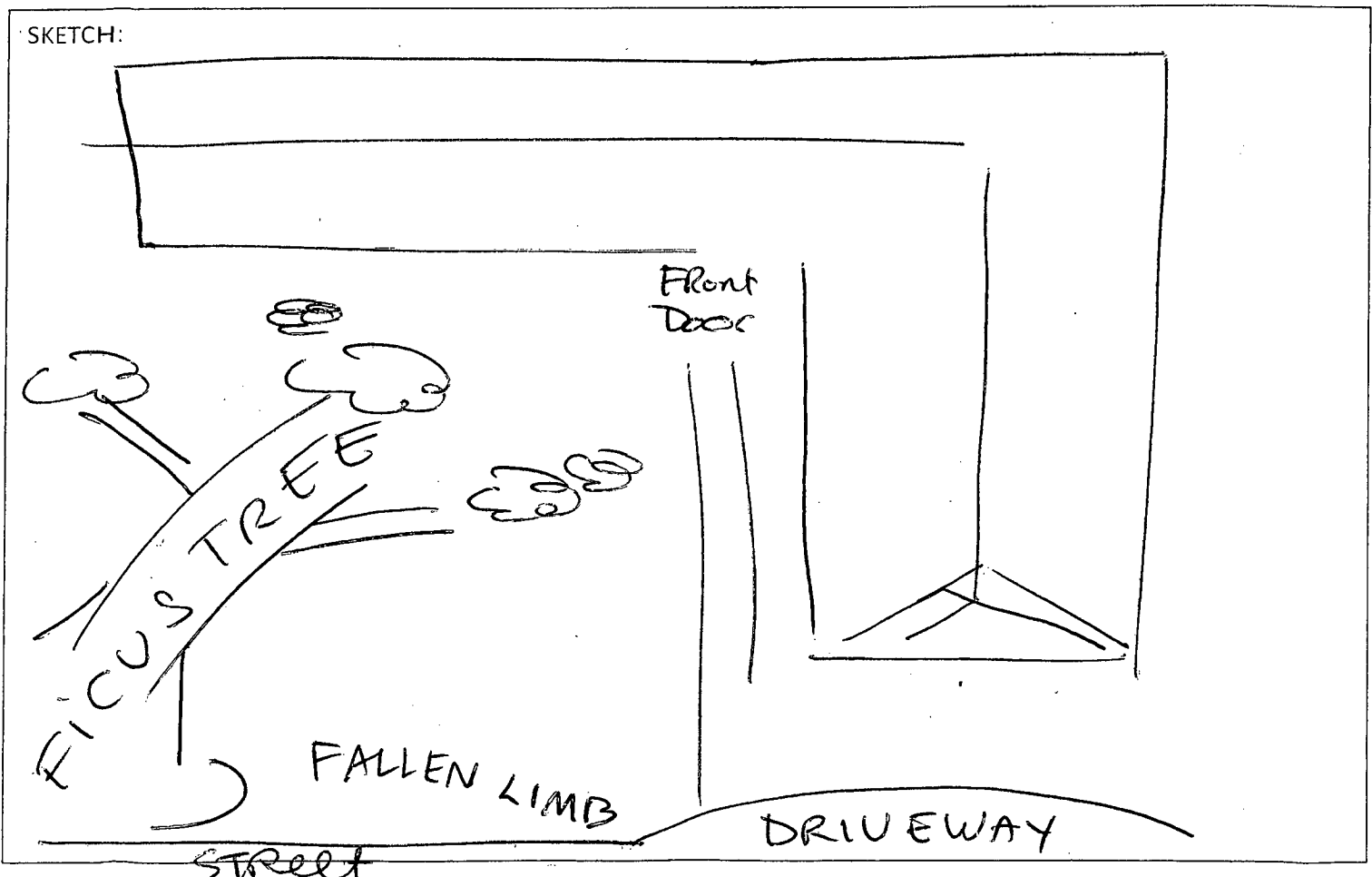
\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

Reason for tree removal/relocation (See notice above) PART OF TRUNK & HUGE LIMB SHEERED OFF DURING recent storm; other large limbs overhang street

Signature of Property Owner David Conway Date 6/8/10

Approved by Building Inspector: [Signature] Date 6-8-10 Fee: N/C

NOTES: \_\_\_\_\_





### Clear Choice Tax & Lien Service

7310 West McNab Road, Suite 205  
Tamarac, Florida 33321

Jason Talley  
President

Telephone: 954-597-7141  
Fax: 954-597-7253

Date July 6, 2007

City of Sewall's Point  
FAX: 772-220-4765

Re: Kindly advise of any existing Violations, Permits and Code Violations.

File Reference: 77-4170  
Owner: Thomas, Cameron  
Property Address: 16 South Via Lucinda Drive  
Sewalls Point, FL 34996  
Folio: 01-38-41-007-000-00240-5  
Legal: LUCINDIA LOT 24 OR 351/1642

Town records indicate that the Town of Sewall's Point has no Liens or assessments on the Referenced property. However, it should be noted that the complete record of liens and assessments on this property is on file with the Martin County Clerk of Circuit Court, PO Box 9016, Stuart, Florida 34995-9016.

*7-6-07 Valerie Sawyer*

Pending Liens / Assessments      YES (    )      No (    )  
Code Violations                      YES (    )      No (    )  
Open & Expired Permits            YES (    )      No (  )

To Whom It May Concern:

Upon completion of the enclosed permit searches please forward them to the company fax number listed above.

Sincerely,

Jason Talley  
President

JT/enclosures

**Dell® MFP Laser 3115cn**  
**Monitor Report**

Local Name :  
 Company Logo :

Total Pages Scanned : 1  
 Total Pages Sent : 1

Transmission Information

No.	Job#	Remote Station	Start Time	Dura.	Pages	Mode	Contents	Result
1	0856	19545977253	07-06:15:48	14"	1/1	SG3		Done

The documents were sent.

From: Clear Choice Tax & Lien      954 597 7253      07/06/2007 10:24      #298 P.001/001



**Clear Choice Tax & Lien Service**  
 7310 West McNab Road, Suite 205  
 Tamarac, Florida 33321

Jason Talley  
 President

Telephone: 954-597-7141  
 Fax: 954-597-7253

Date July 6, 2007

City of Sewall's Point  
 FAX: 772-220-4765

Re: Kindly advise of any existing Violations, Permits and Code Violations.

File Reference: 77-4170  
 Owner: Thomas, Cameron  
 Property Address: 16 South Via Lucinda Drive  
 Sewalls Point, Fl. 34996  
 Folio: 01-38-41-007-000-00240-5  
 Legal: LUCINDIA LOT 24 OR 351/1642

Town records indicate that the Town of Sewall's Point has no Liens or assessments on the Referenced property. However, it should be noted that the complete record of liens and assessments on this property is on file with the Martin County Clerk of Circuit Court, PO Box 9016, Stuart, Florida 34995-9016.

*Handwritten signature: Valerius*

Pending Liens / Assessments    YES ( )    No ( )  
 Code Violations                    YES ( )    No ( )  
 Open & Expired Permits            YES ( )    No ( X )

To Whom It May Concern:

Upon completion of the enclosed permit searches please forward them to the company fax number listed above.

Sincerely,

Jason Talley  
 President

JT/enclosures

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

### TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner DAVID + WENDY CONWAY Address 16 S. VIA LUCINDIA Phone H 772 286 4002 - 305 304 2586  
Contractor IMAGE ONE Address 205 KILLANE DR JUPITER Phone 561 575 5753

No. of Trees: REMOVE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: RELOCATE 2 Species: Sable Palms

No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

Reason for tree removal /relocation (See notice above) Landscape Improvements being made and 2 poincarnas will be planned for the near location of palms

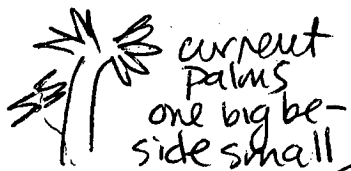
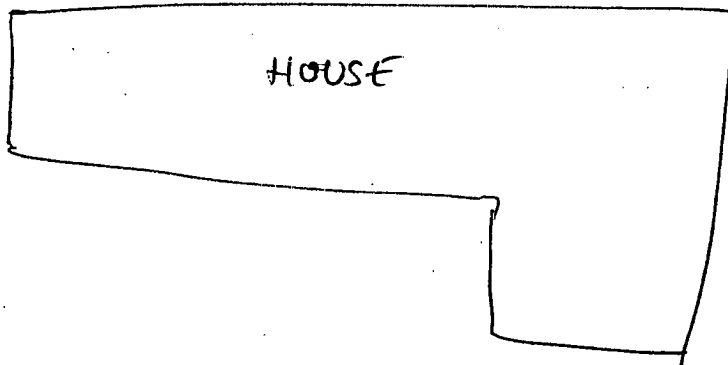
Signature of Property Owner D Conway Date 10/5/10

Approved by Building Inspector: [Signature] Date 10-6-10 Fee: N/A

NOTES: \_\_\_\_\_

SKETCH:

garden bed BANANA  
PLANNED LOCATION of PALMS  
[Signature]  
10-12-10



DRIVEWAY

DRIVE



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 10-12-2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9535	Greenspan 3 Oak Hill Way Coastal Ac	Fence Ac	PASS	Close INSPECTOR <i>JA</i>
9399	Greenspan 3 Oak Hill Way Raising the Bar	Fence	PASS	Close INSPECTOR <i>JA</i>
9479	Akrawi 53 S Sewalls James Thomas	tie down dry-in	Pass Pass	Pool Sizes INSPECTOR <i>JA</i>
9051 1st	Beritana 3602 SE Ocean Comm Contr.	partial rough duct	PASS	INSPECTOR <i>JA</i>
9478	AKRAWI 53 S SEWALLS JAMES THOMAS	STRAPPING R. ELECTRIC	PASS PASS	REMODEL INSPECTOR <i>JA</i>
	SWANF1 93 N. SPY RD	Canal		INSPECTOR
	Tree Brennan Carlson 7 Kingston Ct	Tree	OK	
	Tree 165 Via Lucinda	Relocate trees		INSPECTOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9596	DATE ISSUED:	OCTOBER 6, 2010
SCOPE OF WORK:	NEW DECK		
CONDITIONS :			
CONTRACTOR:	OB		
PARCEL CONTROL NUMBER:	013841007-000-002405	SUBDIVISION	LUCINDIA - LOT 24
CONSTRUCTION ADDRESS:	16 S VIA LUCINDIA		
OWNER NAME:	CONWAY		
QUALIFIER:	OB	CONTACT PHONE NUMBER:	305-304-2586

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Permit Number: 9596

Date: 9/27/10

OWNER/TITLEHOLDER NAME: David Conway

Phone (Day) 3053042586 (Fax) \_\_\_\_\_

Job Site Address: 16 S. Via Lucindia Dr.

City: Stuart State: FL Zip: 34996

Legal Description: Lucindia Lot 24

Parcel Control Number: 01-38-41-007-000-0024.0-5-0000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

SCOPE OF WORK (PLEASE BE SPECIFIC):  **NEW DECK**

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES  NO \_\_\_\_\_  
**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO   
(Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 2000.80  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10  AE9  AE8  X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: \_\_\_\_\_

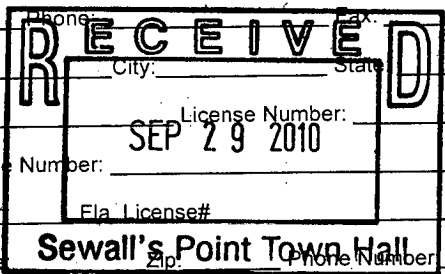
Qualifiers name: \_\_\_\_\_ Street: \_\_\_\_\_

State License Number: \_\_\_\_\_ OR: Municipality: \_\_\_\_\_

LOCAL CONTACT: \_\_\_\_\_ Phone Number: \_\_\_\_\_

DESIGN PROFESSIONAL: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_



AREAS SQUARE FOOTAGE: Living: 1800 Garage: 500 Covered Patios/ Porches: 200 Enclosed Storage: \_\_\_\_\_

Carport:  Total under Roof 2500 Elevated Deck:  Enclosed area below BFE\*: \_\_\_\_\_  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007  
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

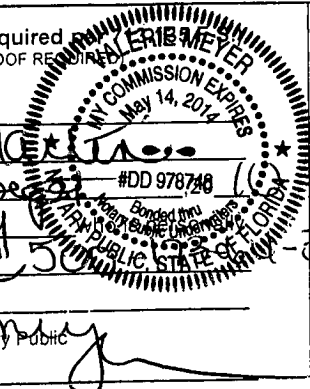
**NOTICES TO OWNERS AND CONTRACTORS:**

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\***

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.)  
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)  
X David Conway  
State of Florida, County of: Martin  
On This the 29 day of September  
by DAVID CONWAY  
known to me or produced FD# 50  
As identification: Valley  
My Commission Expires: \_\_\_\_\_  
Notary Public



CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)  
X \_\_\_\_\_  
State of Florida, County of: \_\_\_\_\_  
On This the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_  
by \_\_\_\_\_ who is personally  
known to me or produced \_\_\_\_\_  
As identification: \_\_\_\_\_  
Notary Public  
My Commission Expires: \_\_\_\_\_

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com 1.13

**Summary**

print Owner 1 of 27

**Tabs**

**Summary**

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- Parcel Map →
- Trim Notice →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
01-38-41-007-000-00240-5	17709	16 S VIA LUCINDIA, SEWALL'S POINT	\$185,070	10/2/2010

**Owner Information**

<b>Owner(Current)</b>	CONWAY DAVID & WENDY
<b>Owner/Mail Address</b>	16 VIA LUCINDIA DR STUART FL 34996
<b>Sale Date</b>	07/31/2007
<b>Document Number</b>	2029831
<b>Document Reference No.</b>	2267 2926
<b>Sale Price</b>	385000

**Searches**

- Parcel ID
- Owner**
- Address
- Account #
- Land Use
- Legal Description
- Neighborhood
- Sales
- Maps →

Location/Description			
<b>Account #</b>	17709	<b>Map Page No.</b>	SP-04
<b>Tax District</b>	2200	<b>Legal Description</b>	LUCINDIA LOT 24 OR 351/1642
<b>Parcel Address</b>	16 S VIA LUCINDIA, SEWALL'S POINT		
<b>Acres</b>	.3470		

**Parcel Type**

<b>Land Use</b>	0100 Single Family
<b>Neighborhood</b>	120350 LUCINDIA

**Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Assessment Information**

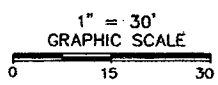
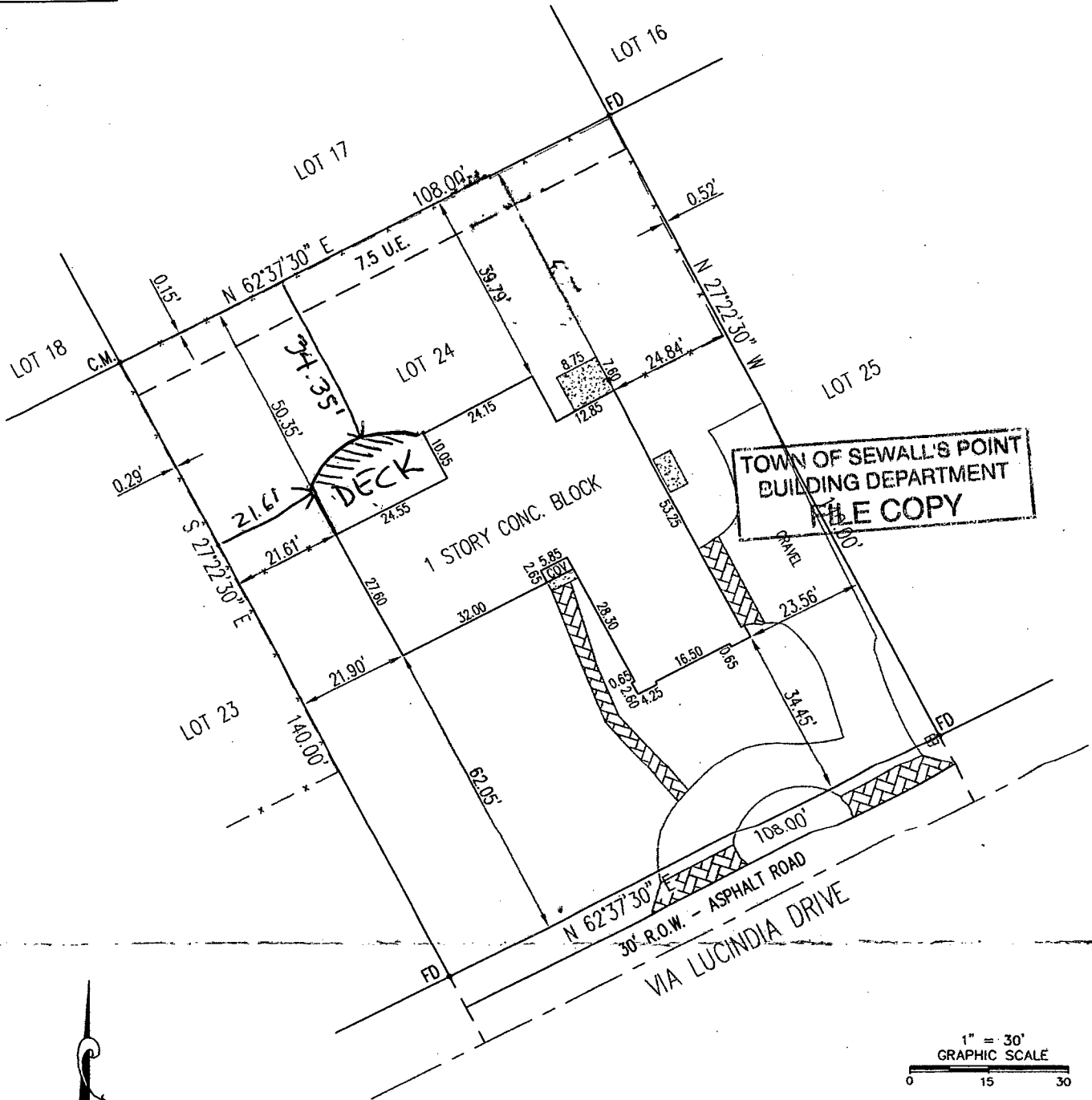
<b>Market Land Value</b>	\$142,000
<b>Market Improvement Value</b>	\$43,070
<b>Market Total Value</b>	\$185,070

Print Back to List First Previous Next Last

*Legal Disclaimer / Privacy Statement*



**Boundary Survey**



RLS #:	R: 07-07-1176
CLIENT #:	1071-1682587
FIELD DATE:	07/18/07
DRAFTER:	AWP
APPROVED:	JAC
SCALE:	1" = 30'

ADDRESS  
**16 VIA LUCINDIA DRIVE**  
**SEWALLS POINT, Florida 34996**

LEGAL DESCRIPTION: (AS FURNISHED)  
Lot 24 of LUCINDIA, according to the Plat thereof as recorded in Plat Book 3, Page(s) 130, of the Public Records of Martin County, Florida.

BASIS OF BEARINGS: Centerline of VIA LUCINDIA DRIVE as monumented and platted bearing being N 62°37'30" E

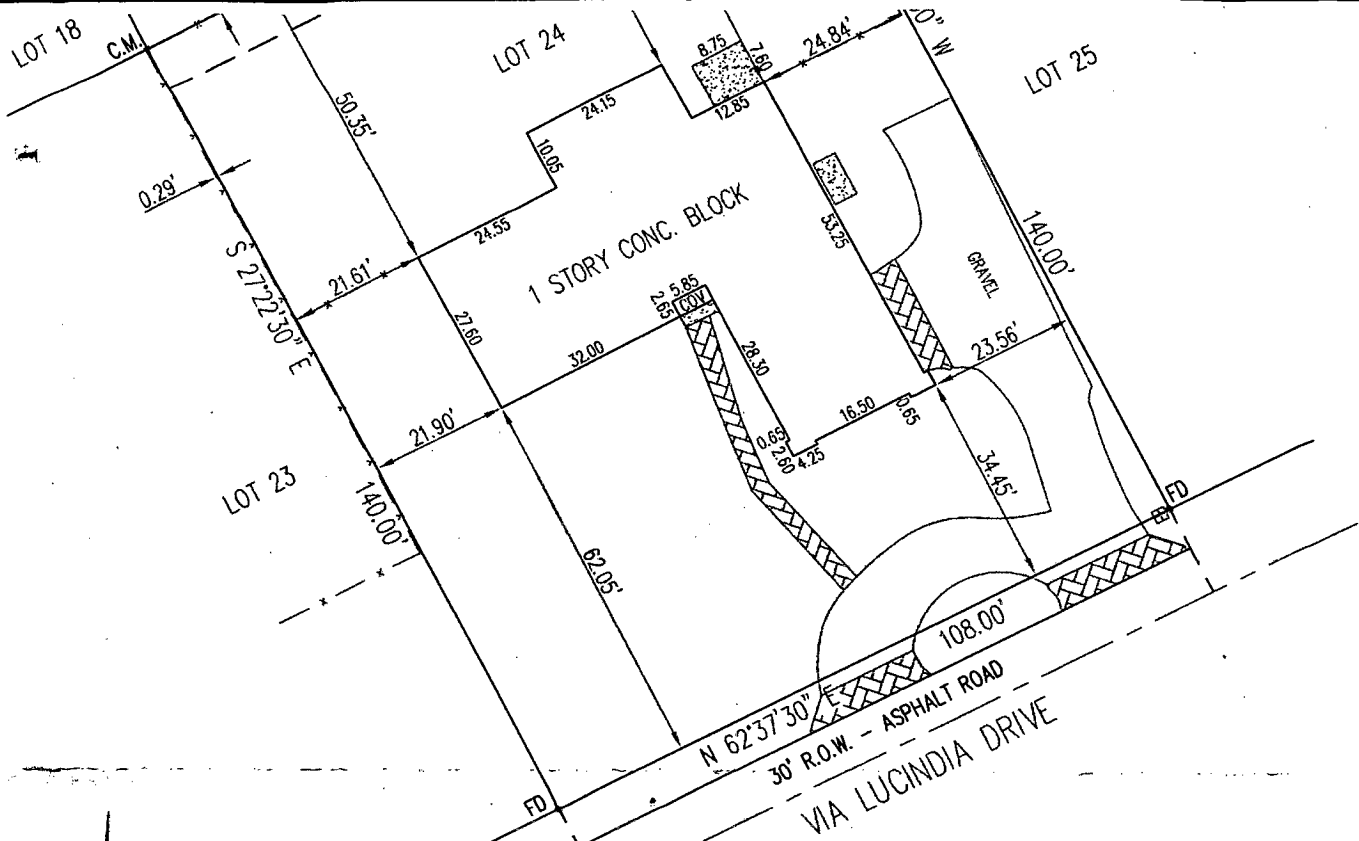
LIST OF POSSIBLE ENCROACHMENTS: SEE ABOVE  
SURVEYOR INFORMATION:

Atlantic Land Designs of the Treasure Coast, Inc.  
3353 NW MAIN AVENUE  
Jensen Beach, FL, 34957  
(772) 398-4290

**First American**  
Title Insurance Company

**Patrick Stracuzzi**  
REAL ESTATE TEAM  
(772) 283-9991  
www.stracuzzi.com

**See My New Home!**



1" = 30'  
GRAPHIC SCALE

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

RLS #:	R: 07-07-1176
CLIENT #:	1071-1682587
FIELD DATE:	07/18/07
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(772) 398-4290



First American  
Title Insurance Company



(772) 283-9991  
www.stracuzzi.com



SURVEYOR FILE NUMBER: 2007-0742

The Certified Registered Professional Land Surveyor signing this survey alone certifies the accuracy and sufficiency of the survey provided hereon.

CERTIFIED TO: (AS FURNISHED)

First American Title Insurance Company  
Flagstar Bank, F.S.B.  
David Conway and Wendy Conway

NOTES

- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE
- UNDERGROUND UTILITY INSTALLATIONS, UNDERGROUND IMPROVEMENTS, FOUNDATIONS AND/OR OTHER UNDERGROUND STRUCTURES WERE NOT LOCATED BY THIS SURVEY.
- UNLESS NOTED OR DEPICTED OTHERWISE, ALL PROPERTY CORNERS SHOWN HAVE NO L.S. OR L.B. IDENTIFICATION.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

LEGEND

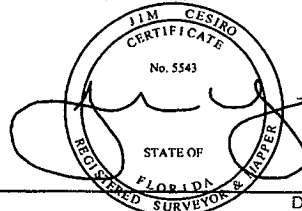
- A/C: AIR CONDITIONER
- ⊗: BELLSOUTH BOX
- ⊕: BENCHMARK
- BLDG.: BUILDING
- (C): CALCULATED
- C.B.: CHORD BEARING
- CBW: CONCRETE BLOCK WALL
- C: CENTERLINE
- CONC.: CONCRETE
- COV.: COVERED
- C/S: CONCRETE SLAB
- (D): DESCRIPTION
- D/W: DRIVEWAY
- FD: FOUND 5/8" REBAR
- FFE: FINISHED FLOOR ELEVATION
- (M): MEASURED
- N&D: NAIL & DISK
- OHU: OVERHEAD UTILITY LINE
- (P): PLATTED
- P.C.: POINT OF CURVATURE
- P.C.P.: PERMANENT CONTROL POINT
- P.O.B.: POINT OF BEGINNING
- P.O.C.: POINT OF COMMENCEMENT
- ⊗: POWER POLE
- P.R.M.: PERMANENT REFERENCE MONUMENT
- R.W.: RIGHT OF WAY
- ⊕: WATER METER
- ⊙: WELL
- X-X-: CHAIN LINK FENCE
- O-O-: WOOD FENCE

FLOOD ZONE

(FOR INFORMATIONAL PURPOSES ONLY)  
SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "X", AREA OF MINIMAL FLOODING, PER F.I.R.M. PANEL NUMBER 12085C0154F, LAST REVISION DATE: 10/4/02  
THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

SURVEYOR'S CERTIFICATE

I hereby certify that the survey represented hereon meets the minimum technical standards for land surveys in Florida. As set forth in Chapter 61G 17-6, Florida administrative code, Pursuant to Chapter 472.027, Florida statutes.



James A. Cesiro  
DATED: 07/19/07  
NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL

DATE	REVISION	DATE	REVISION



FOR ALL INQUIRIES CONTACT:  
RLS, INC.  
info@rlsnow.com  
(405)701-1100 Form 6.7FL

Reviewed & Accepted by: \_\_\_\_\_ Date \_\_\_\_\_ / \_\_\_\_\_ Date \_\_\_\_\_



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT  
 MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE**

**APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES  
 AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE**

**NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.**

**ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"**

Owner/Builder Applicant Name: David Conway  
 Site address of the proposed building work: 16 S. Via Lucindia Dr.  
 Name of legal title owner of the address above: David Conway  
 Describe the scope of work for the proposed new construction: Deck

Name of Architect of Record: \_\_\_\_\_ Structural Engineer of Record: \_\_\_\_\_  
 Who will supervise the trade work to meet the applicable code? David Conway  
 What provisions have you made for Liability and Property Damage Insurance? None

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? None

What previous Owner/Builder improvements have you done in the State of Florida? Kitchen Remodel/  
 Location: SAME Scope of Work Done: Door/Window Install Year: 11/07

Location: \_\_\_\_\_ Scope of Work Done: \_\_\_\_\_ Year: \_\_\_\_\_

What code books do you have available for reference? Building: \_\_\_\_\_  
 Electric: \_\_\_\_\_ Plumbing: \_\_\_\_\_ HVAC: \_\_\_\_\_  
 Other: \_\_\_\_\_

I have internet access and will view The Florida Building code at [www.floridabuilding.org](http://www.floridabuilding.org) YES  NO

Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site? yes (yes/no)

Have you consulted with your Homeowner's Insurance Agent?  Lender?  Attorney? \_\_\_\_\_

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. PC (initials).



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**OWNER/BUILDER DISCLOSURE STATEMENT**

**NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:**

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)





**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT.

13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE.

14. ANY PERSON WORKING ON YOUR BUILDING WHO IS NOT LICENSED MUST WORK UNDER YOUR DIRECT SUPERVISION AND MUST BE EMPLOYED BY YOU, WHICH MEANS THAT YOU MUST DEDUCT F.I.C.A. AND WITHHOLDING TAX AND PROVIDE WORKERS' COMPENSATION FOR THAT EMPLOYEE, ALL AS PRESCRIBED BY LAW.

15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT.

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT.

ON THIS 29 DAY OF Sept., 2010.

PROPERTY ADDRESS 16 S. VIA LUCINDIA DR.

CITY STUART STATE FL ZIP 34996

David Conway

SIGNATURE OF OWNER/BUILDER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 29 DAY OF Sept 2010

BY DAVID CONWAY

PERSONALLY KNOWN \_\_\_\_\_

OR PRODUCED ID

TYPE OF ID FDL # C500-173-64-322-0

Valerie Meyer

NOTARY SIGNATURE



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 10-18 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9600	Coates	in-progress		
<u>1PM</u>	116 S River Rd Stuart Roofing		Pass	INSPECTOR <u>A</u>
9604	Portiornick	Final-Ac		
<u>1SE</u>	24 Emmita Way Atlantic A/C		Pass	CLOSE INSPECTOR <u>AS</u>
9601	Fusco	Final skylight		
	17 N River Rd Gary Mayo		Pass	CLOSE INSPECTOR <u>A</u>
9592	Walser	Final Garage		
	102 S River D+D Garage		Fail	INSPECTOR <u>A</u>
9596	Conway	<del>Roof</del> FRAMING		
	16 S Via Lucinda OB		Fail	Not Ready EAK CONTRACTOR INSPECTOR <u>A</u>
9605	LIPPI SA			
	18 Riverview Atlantic Const & Roof	ROOF FINAL	Pass	CLOSE INSPECTOR
9586	Boorbt	INSULATION		
	6 Morgan Cir OB		Pass	<u>Boorbt</u> INSPECTOR <u>A</u>

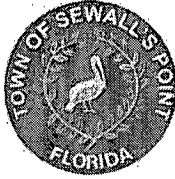


**TOWN OF SEWALLS POINT**

**BUILDING DEPARTMENT - INSPECTION LOG**

Date of Inspection  Mon  Tue  Wed  Thur  Fri 10/2/2010 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9588	Ligas	Final AC		
1st	4 Island Rd Krauss & Crane		Pass	Close INSPECTOR <i>A</i>
<del>9388</del>	Sharfi	sidewalk		
9388	73 N Sewalls Mosley		Pass	INSPECTOR <i>A</i>
8436	Tooman	Final		
2nd	31 W High Pt Florida's Finest	addition remodel	Pass	Close! INSPECTOR <i>A</i>
8837	Tooman	Final		
	37 W High Pt Florida's Finest	pooldeck	Pass	Close! INSPECTOR <i>A</i>
8860	Tooman	Final		
	37 W High Pt Florida's Finest	retaining wall	Pass	Close! INSPECTOR <i>A</i>
9596	Conway	Final		
	16 S Via Lucinda OB	deck	Pass	Close INSPECTOR <i>A</i>
9590	Stern	Final		
3rd	9 Lentane Ln DHD Garage	Garage	Pass	PENDING ENG INSPECTOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner DAVID/WENDY CONWAY Address 16 S. VIA LUCINDIA Phone cell 305 304 2586 - DAVID  
305 849 1491 - Wendy  
 Contractor Sampson Tree Address 14920 Orange Ave FT Pierce Phone 772) 336-3456

No. of Trees: REMOVE 1 Species: gumbo limbo  
 No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_  
 No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

**ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY**

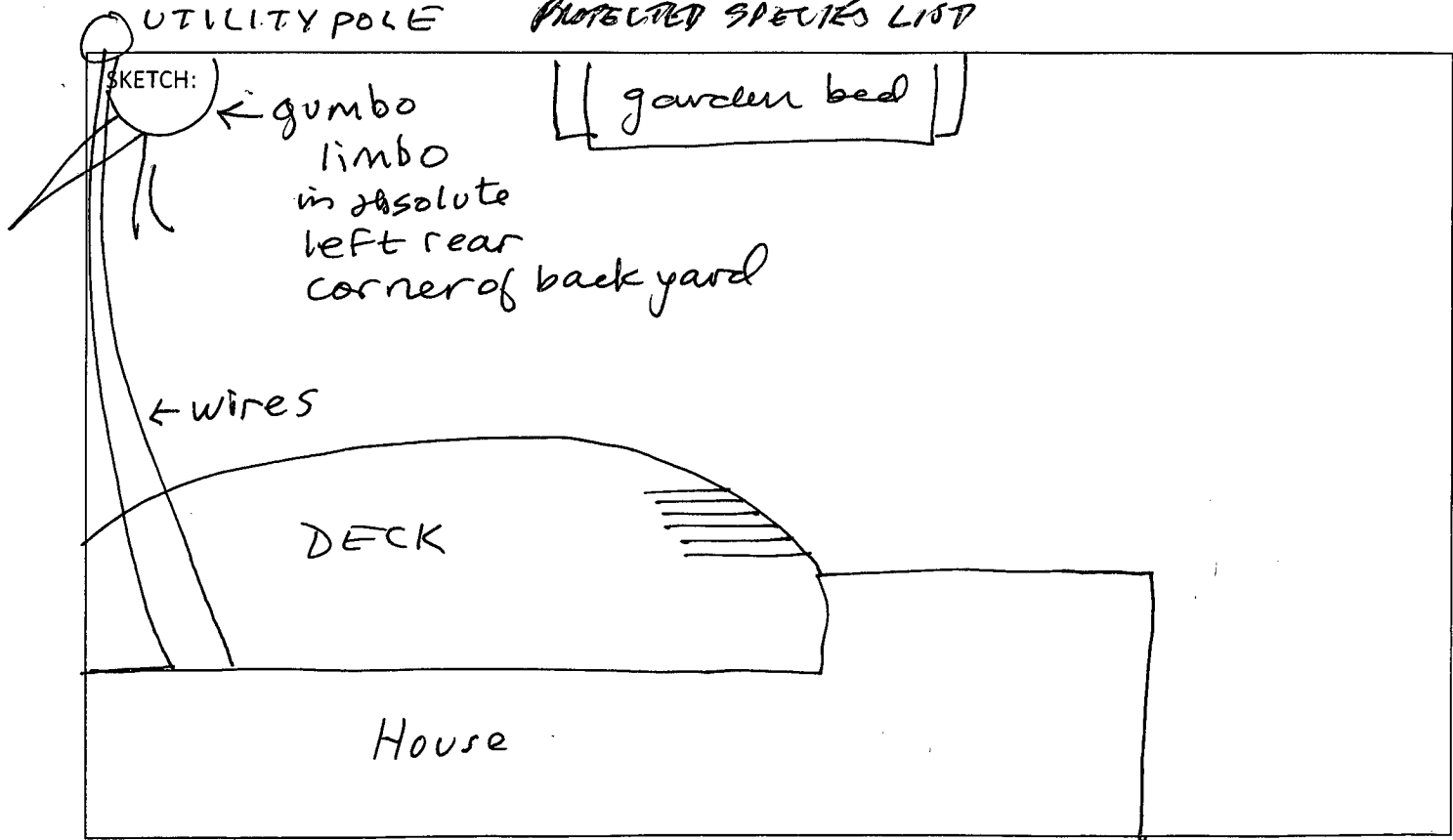
Reason for tree removal /relocation (See notice above) The trees limbs are growing into the utility wires and when wind blows it pulls wires and creates  
creating noises in house

Signature of Property Owner David Conway Date 2/9/14

Approved by Building Inspector: WITH NOTE OF Date 8-14-14 Fee: N/R

NOTES: TREE MUST BE MITIGATED WITH ANOTHER TREE LISTED ON

UTILITY POLE PROTECTED SPECIES LIST





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**APPLICATION FOR TREE REMOVAL, RELOCATION OR  
REPLACEMENT PERMIT ON DEVELOPED RESIDENTIAL PROPERTY**

**No permit required for:**

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Removal of trees with a diameter of less than two inches.
3. Removal of citrus or non-native fruit trees.

**Sec. 70-22. Permit required for tree removal.**

A permit as provided for in this chapter shall be required for the removal (or transplant) of any tree with a two-inch caliber or more upon any parcel upon which there is a residence under a validly issued permit. Permit requirements are outlined under article V Town Ordinances. **If the town has to procure the services of a suitable professional licensed in the State of Florida to ascertain the condition or type of a tree(s) prior to or after removal of the tree(s) then the cost of such will be borne by the property owner. (Ord. No. 303, 7-20-04)**

**Application procedures:**

1. Complete application information including sketch below.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and posted on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

**Permit Fee:**

1. Tree permits are \$15.00.
2. Permit - No fees are assessed for tree which is dead, diseased, injured, hazardous to life or property, or listed as a prohibited species by the Florida Department of Environmental Protection.

**NOTICE:**

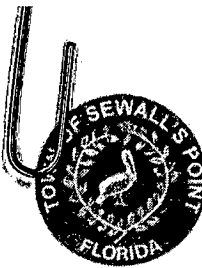
**A PERMIT WILL NOT BE ISSUED FOR THE REMOVAL ANY NATIVE SPECIES TREES UNLESS ONE OR MORE OF THE FOLLOWING CONDITIONS EXIST: (SEC. 70-87. PERMIT ISSUANCE OR DENIAL TOWN ORDINANCES).**

- A. THE VEGETATION IS LOCATED IN AN AREA WHERE STRUCTURES, UTILITIES OR IMPROVEMENTS MAY BE PLACED ACCORDING TO THE TOWN CODE; AND TO PRESERVE THE VEGETATION WOULD UNREASONABLY RESTRICT THE ECONOMIC ENJOYMENT OF THE PROPERTY; AND THE VEGETATION CANNOT BE RELOCATED ON THE SITE BECAUSE OF AGE, TYPE OR SIZE.
- B. THE VEGETATION IS DISEASED, INJURED, LOCATED TOO CLOSE TO THE EXISTING OR PROPOSED STRUCTURES, INTERFERES WITH EXISTING UTILITY SERVICE, OR CREATES UNSAFE VISUAL OBSTRUCTION. (A PROFESSIONAL ARBORIST'S OPINION WILL BE REQUIRED)
- C. THE VEGETATION IS TO BE MOVED TO ANOTHER LOCATION ON THE OWNER'S PROPERTY OR IS TO BE REPLACED BY ANOTHER TREE OR SHRUB ON THE OWNER'S PROPERTY, REGARDLESS OF LOCATION.

IF THE PERMIT IS DENIED, THE DEPARTMENT SHALL NOTIFY THE APPLICANT IN WRITING OF THE BASIS FOR DENIAL USING THE CRITERIA LISTED IN THIS SECTION.

**\*\*\*THE FOLLOWING SPECIES ARE CONSIDERED NATIVE, PROTECTED SPECIES\*\*\*:**

**BLACK IRONWOOD, BLACK MANGROVE, BLOLLY, BUTTONWOOD, CABBAGE (SABLE) PALM, COCOPLUM (RED TIP AND GREEN TIP), CORAL BEAN, DEER MOSS, GRAY TWIG, GOPHER APPLE, GUMBO LIMBO, INKWOOD, LAUREL OAK, LEATHER FERN, LIVE OAK, MAHOGANY, MARLBERRY, MASTIC, MULBERRY, MYRTLE OAK, PARADISE TREE, PIGEON PLUM, POND APPLE, PRICKLY PEAR, RED MANGROVE, RED MAPLE, RED BAY, SAFFRON PLUM, SAND PINE, SCRUB PINE, SATINLEAF, SAW PALMETTO, SCRUB HICKORY, SEA GRAPE, SEA OXEYE, SLASH PINE, STOPPERS, WILD LIME, SUMAC (SOUTHERN), SUGAR BERRY (HACKBERRY), TORCHWOOD, WILD COFFEE, VARNISH LEAF, WATER OAK, WAX MYRTLE, WEST INDIAN CHERRY, WHITE MANGROVE.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

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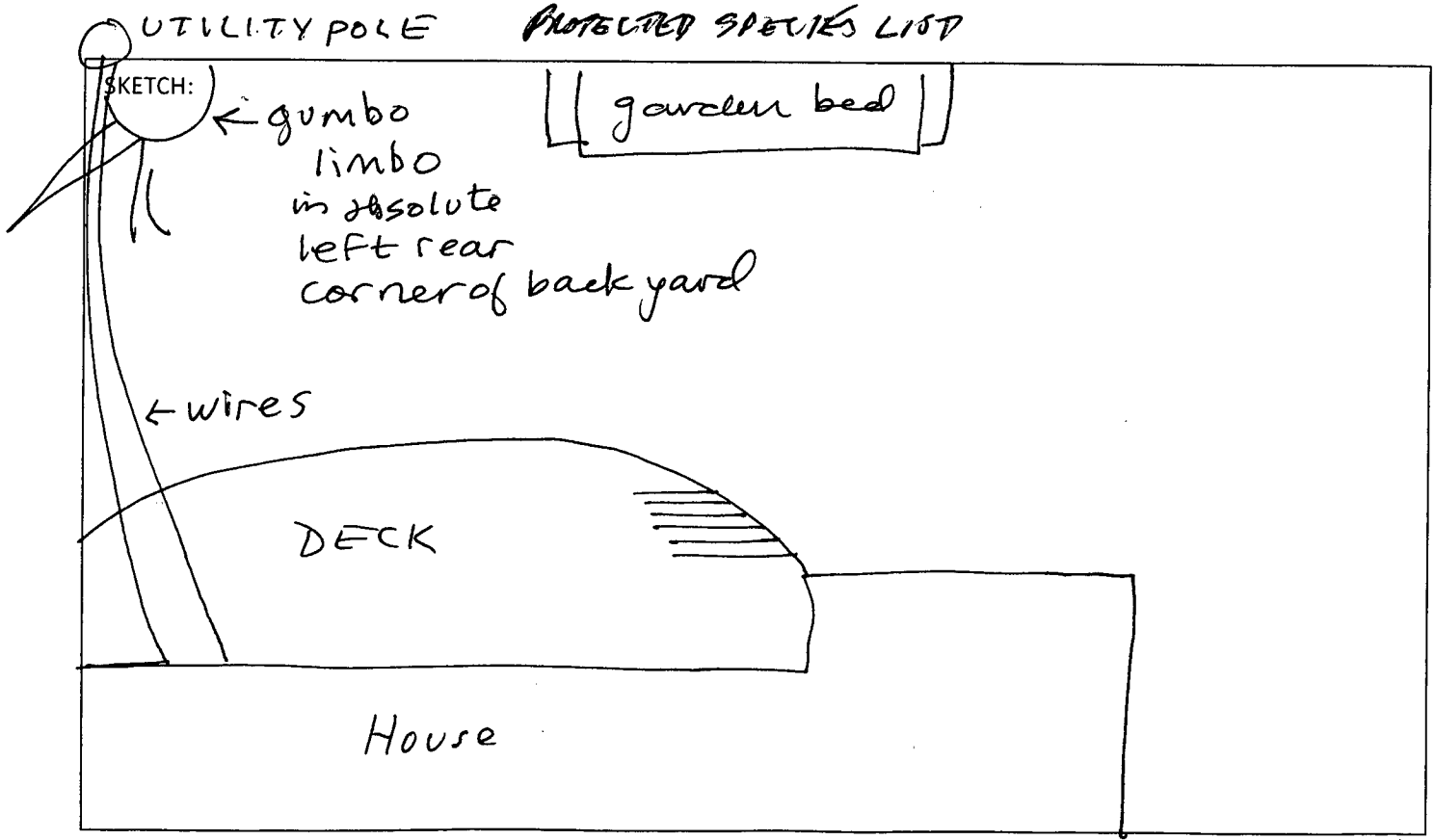
**ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY**

Reason for tree removal /relocation (See notice above) The trees limbs are growing into the utility wires and when wind blows it pulls wires and creates

Signature of Property Owner creating noises in house Date 2/9/14  
David Conway

Approved by Building Inspector: WITH NOTE Date 8-14-14 Fee: N/C

NOTES: TREE MUST BE MITIGATED WITH ANOTHER TREE LISTED ON



# Town of Sewall's Point

## BUILDING PERMIT APPLICATION

Date: June 8, 2015 Permit Number: \_\_\_\_\_

OWNER/LESSEE NAME: Dave and Wendy Conway Phone (Day) 305-849-1491 (Fax) \_\_\_\_\_

Job Site Address: 16 S Via Lucindia City: Stuart State: FL Zip: 34996

Legal Description LUCINDIA LOT 24 OR 351/1642 Parcel Control Number: 01-38-41-007-000-00240-5

Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):** Window Replacement

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES  NO

**Has a Zoning Variance ever been granted on this property?**  
YES  (YEAR) \_\_\_\_\_ NO

(Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on All permit applications)  
Estimated Value of Improvements: \$ 15,000.00 <sup>15,000.00</sup>  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10  AE9  AE8   
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ 56,470.00  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

**Construction Company:** Advanced Hurricane Protection Phone: 772-220-1200 Fax: \_\_\_\_\_

Qualifiers name: John Zervopoulos Street: 4517 SE Commerce Ave City: Stuart State: FL Zip: 34997

State License Number: CBC1259339 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

**LOCAL CONTACT:** John Zervopoulos Phone Number: 772-220-1200

**DESIGN PROFESSIONAL:** GARY POWELL Fla. License# \_\_\_\_\_

Street: 10 S RIVER RD City: STUART State: FL Zip: 34996 Phone Number: 772-223-1755

**AREAS SQUARE FOOTAGE:** Living: 1805 Garage: 506 Covered Patios/ Porches: 240 Enclosed Storage: 0

Carport: 0 Total under Roof: 2311 Elevated Deck: 451 Enclosed area below BFE\*: 0  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

**CODE EDITIONS IN EFFECT THIS APPLICATION:** Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**

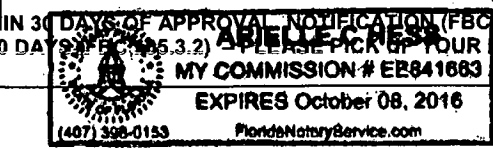
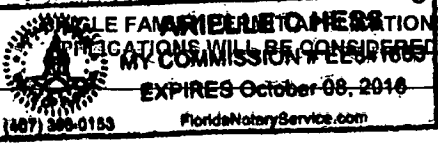
- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

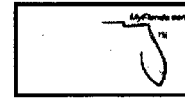
**OWNER/AGENT/LESSEE NOTARIZED SIGNATURE:**  
X Wendy Conway  
State of Florida, County of: Martin  
On This the 13 day of July, 2015  
by Wendy Conway who is personally known to me or produced D.C.  
As identification: Arielle C. Hess  
Notary Public  
My Commission Expires: Oct 8, 2016

**CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:**  
X John Zervopoulos  
State of Florida, County of: Martin  
On This the 13 day of July, 2015  
by John Zervopoulos who is personally known to me or produced \_\_\_\_\_  
As identification: Arielle C. Hess  
Notary Public  
My Commission Expires: Oct 8, 2016





*Wall wall  
in Florida Room*



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Florida Department of  
**Business & Professional Regulation**



**Product Approval**  
USER: Public User

License efficiently. Regulate fairly.

Product Approval Menu > Product or Application Search > Application List > Application Detail



FL #	FL12225-R2								
Application Type	Revision								
Code Version	2010								
Application Status	Approved								
Comments									
Archived	<input type="checkbox"/>								
Product Manufacturer	Elite Aluminum Corporation								
Address/Phone/Email	4650 Lyons Technology Parkway Coconut Creek, FL 33073 (954) 949-3200 dk@dokimengineering.net								
Authorized Signature	Do Kim dk@dokimengineering.net								
Technical Representative	Dan Cooke								
Address/Phone/Email	1801 NW 64th Street Ft. Lauderdale, FL 33309 (954) 491-3700 elitealum@aol.com								
Quality Assurance Representative									
Address/Phone/Email									
Category	Structural Components								
Subcategory	Structural Wall								
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received								
Florida Engineer or Architect Name who developed the Evaluation Report	Do Kim								
Florida License	PE-49497								
Quality Assurance Entity	CI Professional Services								
Quality Assurance Contract Expiration Date	12/31/2015								
Validated By	James L. Buckner, P.E. at CBUCK Engineering <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received								
Certificate of Independence	<a href="#">FL12225 R2 COI Elite Cert of Indep.pdf</a>								
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th>Standard</th> <th>Year</th> </tr> </thead> <tbody> <tr> <td>TAS 201</td> <td>1994</td> </tr> <tr> <td>TAS 202</td> <td>1994</td> </tr> <tr> <td>TAS 203</td> <td>1994</td> </tr> </tbody> </table>	Standard	Year	TAS 201	1994	TAS 202	1994	TAS 203	1994
Standard	Year								
TAS 201	1994								
TAS 202	1994								
TAS 203	1994								
Equivalence of Product Standards Certified By									
Sections from the Code									

Product Approval Method

Method 1 Option D

Date Submitted 06/21/2012  
 Date Validated 06/27/2012  
 Date Pending FBC Approval 06/29/2012  
 Date Approved 08/07/2012  
 Date Revised 04/30/2015

**Summary of Products**

FL #	Model, Number or Name	Description
12225.1	3" (min.) x0.032"x2# Aluminum Composite Panel	Aluminum skin, EPS Core, composite panel system
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> +43/-70 <b>Other:</b> Wall panels shall be max. 48" wide with "H" mullion between wall panels.		<b>Installation Instructions</b> <a href="#">FL12225_R2_II_FL12225_2010_FBC-HVHZ_Elite_Panel_Installation_Dwg.pdf</a> Verified By: Do Kim, P.E. 49497 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL12225_R2_AE_FL12225-R2_2010_FBC_Eval_Report_Elite_HVHZ_Composite_Panel.pdf</a> Created by Independent Third Party: Yes
12225.2	3" (min.) x0.032"x2# Aluminum Composite Panel	Elite 1 hour fire rated panel
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> +43/-70 <b>Other:</b> Panels shall be max. 48" wide with "H" mullion between panels.		<b>Installation Instructions</b> <a href="#">FL12225_R2_II_FL12225-R2_2010_FBC_Installation_dwg.pdf</a> Verified By: Do Kim, P.E. P.E. 49497 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL12225_R2_AE_FL12225-R2_2010_FBC_Eval_Report_Elite_HVHZ_Composite_Panel.pdf</a> Created by Independent Third Party: Yes

[Back](#) [Next](#)

Contact Us :: 1940 North Monroe Street, Tallahassee FL 32399 Phone: 850-487-1824

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Under Florida law, email addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact the office by phone or by traditional mail. If you have any questions, please contact 850.487.1395. \*Pursuant to Section 455.275(1), Florida Statutes, effective October 1, 2012, licensees licensed under Chapter 455, F.S. must provide the Department with an email address if they have one. The emails provided may be used for official communication with the licensee. However email addresses are public record. If you do not wish to supply a personal address, please provide the Department with an email address which can be made available to the public. To determine if you are a licensee under Chapter 455, F.S., please click [here](#).

Product Approval Accepts:

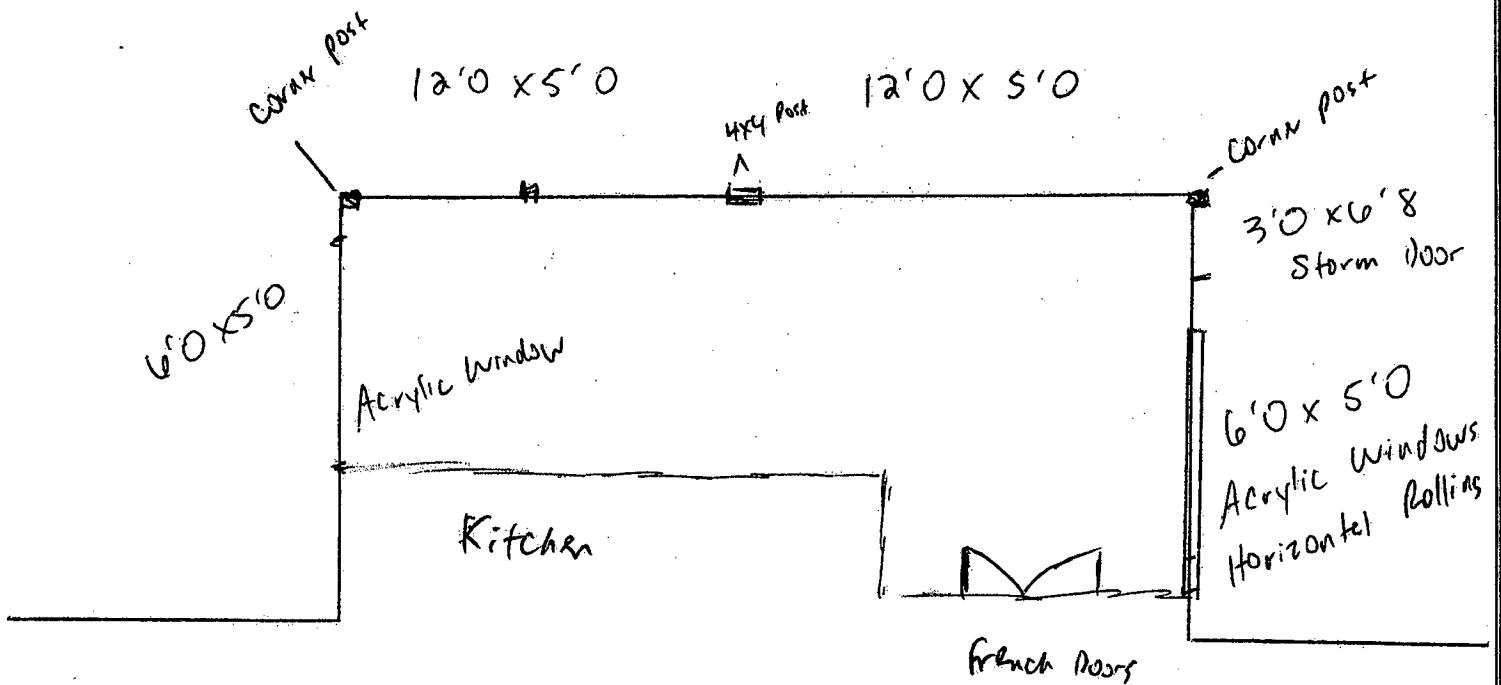


**ADVANCED  
HURRICANE  
PROTECTION**

165 Via Lucinda

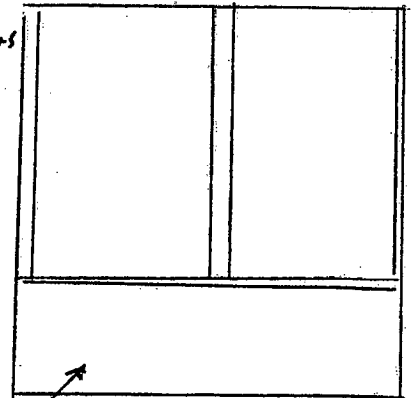
Florida Room / Patio

4 sets Acrylic Windows with a 2x2 mullion



Replace existing Awning windows with new Horizontal rolling windows.  
Elite panel will be used as a knee wall.  
Existing structure.

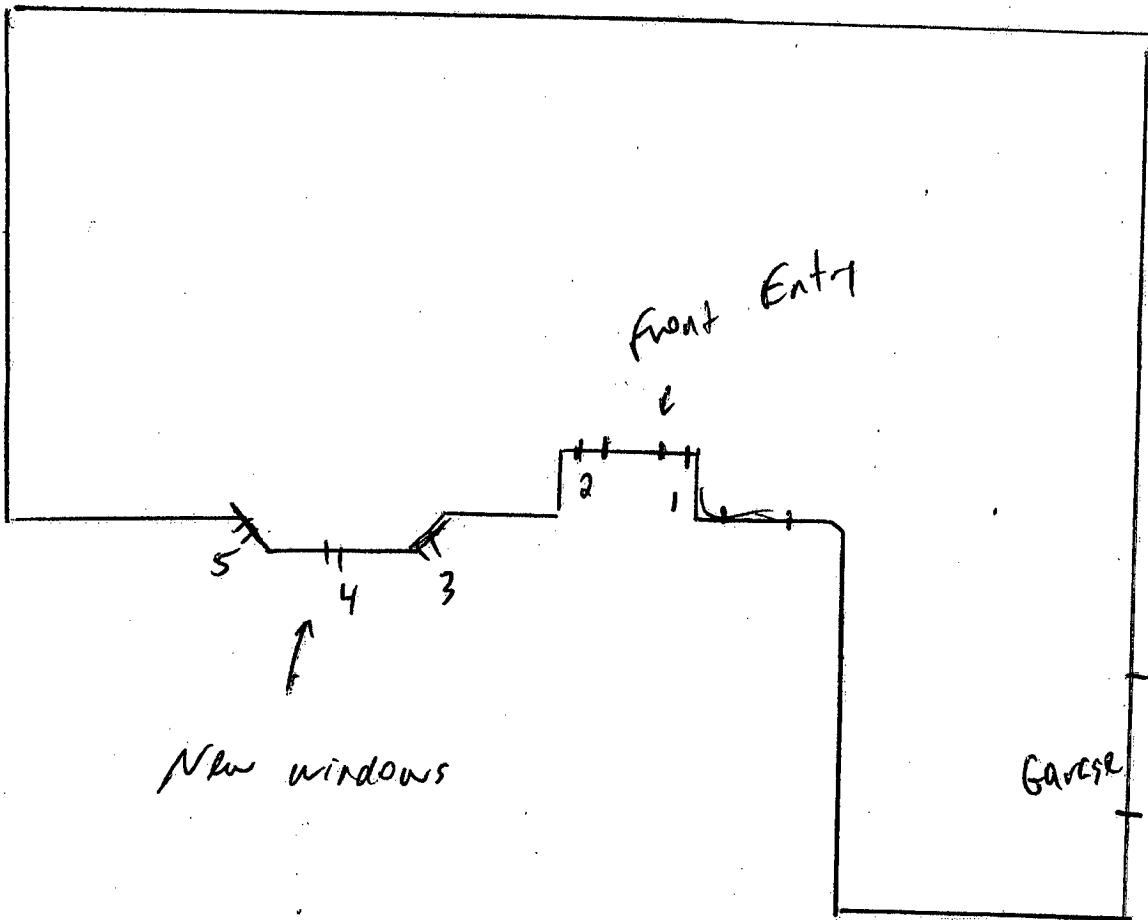
Acrylic Windows



Elite wall

4517 SE Commerce Ave  
Stuart Fl 34997  
PHONE: (772) 220-1200  
CBC: 1259339

16 5 Via Lucinda

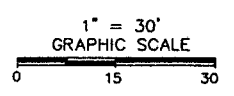
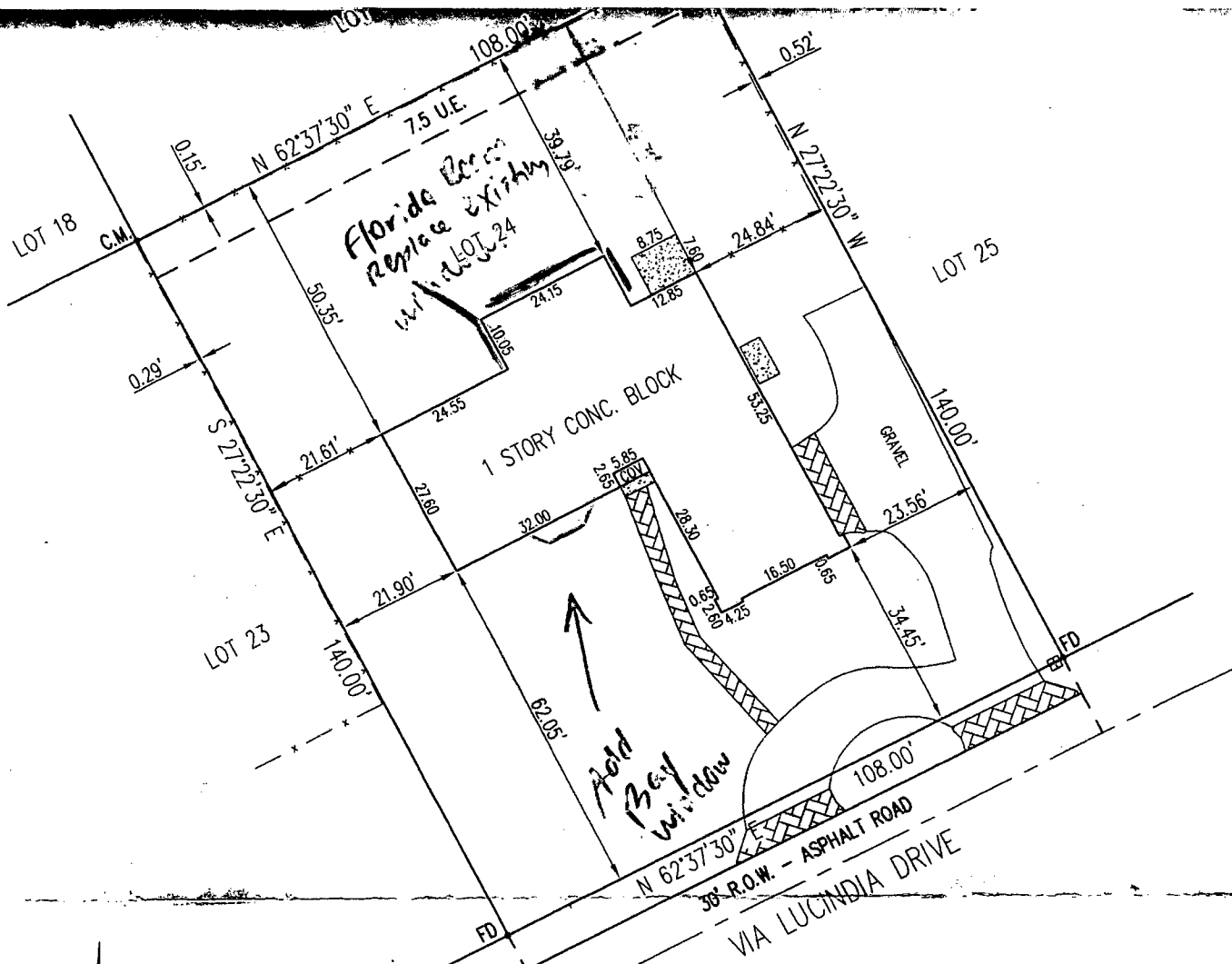


4517 SE Commerce Ave  
Stuart Fl 34997  
PHONE: (772) 220-1200  
CBC: 1259339

### Single Hung Standard Impact Insulated Glass Energy Values

Product	Glass Pack	U-Factor	SHGC	VLT
Vinyl Bertha 176 SH	1" Nominal O.A.: 3/16" Clr - Air - 5/16" Clr Impact	0.46	0.54	0.6
	1" Nominal O.A.: 3/16" Gry - Air - 5/16" Clr Impact	0.46	0.49	0.41
	1" Nominal O.A.: 3/16" LoE - Argon - 5/16" Clr Impact	0.28	0.21	0.48
Vinyl 2451/2461 SH	3/4" Nominal O.A.: 1/8" Clr - Air - 5/16" Clr Impact	0.49	0.56	0.62
	3/4" Nominal O.A.: 1/8" Gry - Air - 5/16" Clr Impact	0.51	0.46	0.37
	3/4" Nominal O.A.: 1/8" LoE - Argon - 5/16" Clr	0.33	0.22	0.49
FWI1000 SH	11/16" Nominal O.A.: 1/8" Clr - Air - 5/16" Clr Impact	0.78	0.58	0.63
	11/16" Nominal O.A.: 1/8" Gry - Air - 5/16" Clr Impact	0.78	0.46	0.43
	11/16" Nominal O.A.: 1/8" LoE - Argon - 5/16" Clr	0.65	0.2	0.3
	13/16" Nominal O.A.: 1/8" Clr - Air - 7/16" Clr Impact	0.77	0.57	0.62
	13/16" Nominal O.A.: 1/8" Gry - Air - 7/16" Clr Impact	0.74	0.45	0.42
	13/16" Nominal O.A.: 1/8" LoE - Argon - 7/16" Clr	0.59	0.23	0.48

Windows



ADDRESS  
**16 VIA LUCINDA DRIVE  
SEWALLS POINT, Florida 34996**

LEGAL DESCRIPTION: (AS FURNISHED)

Lot 24 of LUCINDIA, according to the Plat thereof as recorded in Plat Book 3, Page(s) 130, of the Public Records of Martin County, Florida.

BASIS OF BEARINGS: Centerline of VIA LUCINDA DRIVE as monumented and platted bearing being N 62°37'30" E

LIST OF POSSIBLE ENCROACHMENTS: SEE ABOVE

RLS #:	R: 07-07-1176
CLIENT #:	1071-1682587
FIELD DATE:	07/18/07
DRAFTER:	AWP
APPROVED:	JAC
SCALE:	1" = 30'

**SURVEYOR INFORMATION:**

**SURVEYOR FILE NUMBER: 2007-0742**  
The Certified Registered Professional Land Surveyor signing this survey alone certifies the accuracy and sufficiency of the survey provided hereon.

**CERTIFIED TO: (AS FURNISHED)**

First American Title Insurance Company  
Flagstar Bank, F.S.B.  
David Conway and Wendy Conway

**NOTES**

1. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE
2. UNDERGROUND UTILITY INSTALLATIONS, UNDERGROUND IMPROVEMENTS, FOUNDATIONS AND/OR OTHER UNDERGROUND STRUCTURES WERE NOT LOCATED BY THIS SURVEY.
3. UNLESS NOTED OR DEPICTED OTHERWISE, ALL PROPERTY CORNERS SHOWN HAVE NO LS OR LB IDENTIFICATION.
4. THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

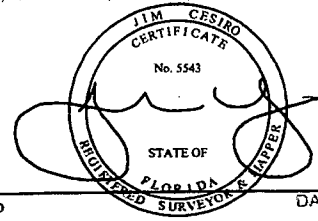
- LEGEND**
- (A/C): AIR CONDITIONER
  - (B): BELLSOUTH BOX
  - (B.M.): BENCHMARK
  - (B.L.G.): BUILDING
  - (C): CALCULATED
  - (C.B.): CHORD BEARING
  - (C.B.W.): CONCRETE BLOCK WALL
  - (C.L.): CENTERLINE
  - (C.O.N.C.): CONCRETE
  - (C.O.V.): COVERED
  - (C.S.): CONCRETE SLAB
  - (D): DESCRIPTION
  - (D.W.): DRIVEWAY
  - (F.C.): FOUND 5/8" REBAR
  - (F.F.E.): FINISHED FLOOR ELEVATION
  - (M): MEASURED
  - (N&D): NAIL & DISK
  - (O.H.U.): OVERHEAD UTILITY LINE
  - (P): PLATTED
  - (P.C.): POINT OF CURVATURE
  - (P.C.P.): PERMANENT CONTROL POINT
  - (P.O.B.): POINT OF BEGINNING
  - (P.O.C.): POINT OF COMMENCEMENT
  - (P.O.P.): POWER POLE
  - (P.R.M.): PERMANENT REFERENCE MONUMENT
  - (R.W.): RIGHT OF WAY
  - (W): WATER METER
  - (WELL): WELL
  - (X-X): CHAIN LINK FENCE
  - (W.O.O.F.): WOOD FENCE

**FLOOD ZONE**  
(FOR INFORMATIONAL PURPOSES ONLY)  
SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "X", AREA OF MINIMAL FLOODING PER F.F.I.M. PANEL NUMBER 1208500154F. LAST REVISION DATE 10/2004. THE SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL FLOODING AGENCY SHOULD BE CONTACTED FOR VERIFICATION.

**RESIDENTIAL LAND SERVICES, INC.**  
FOR ALL INQUIRIES CONTACT:  
RLS, INC.  
info@rlsinc.com  
(405)701-1100

**SURVEYOR'S CERTIFICATE**

I hereby certify that the survey represented hereon meets the minimum technical standards for land surveys in Florida. As set forth in Chapter 61G 17-6, Florida administrative code, Pursuant to Chapter 472.027, Florida statutes.



James A. Cesiro DATED 07/19/07

NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL

DATE	REVISION	DATE	REVISION

Reviewed & Accepted by: \_\_\_\_\_ Date \_\_\_\_\_ / \_\_\_\_\_ Date \_\_\_\_\_



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

**CONTRACTOR OR OWNER /BUILDER ASBESTOS NOTIFICATION STATEMENT**

Date: 7/13/15

Building Permit # \_\_\_\_\_

Site Address: 10 S Via Lucinda

**FBC 104.1.10 Asbestos.** The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's or operator's responsibility to comply with the provisions of s. 469.003 Florida Statutes and to notify the Department of Environmental Protection of her or his intentions to remove asbestos, when applicable, in accordance with state and federal law. 469.003 License required.--

- (1) No person may conduct an asbestos survey, develop an operation and maintenance plan, or monitor and evaluate asbestos abatement unless trained and licensed as an asbestos consultant as required by this chapter.
- (2)(a) No person may prepare asbestos abatement specifications unless trained and licensed as an asbestos consultant as required by this chapter.
- (b) Any person engaged in the business of asbestos surveys prior to October 1, 1987, who has been certified by the Department of Labor and Employment Security as a certified asbestos surveyor, and who has complied with the training requirements of s. 469.013(1)(b), may provide survey services as described in s. 255.553(1), (2), and (3). The Department of Labor and Employment Security may, by rule, establish violations, disciplinary procedures, and penalties for certified asbestos surveyors.
- (3) No person may conduct asbestos abatement work unless licensed by the department under this chapter as an asbestos contractor, except as otherwise provided in this chapter.

**FBC 105.3.6 Asbestos removal. (Owner /Builder Exemption)**

Moving, removal or disposal of asbestos-containing materials on a residential building where the owner occupies the building, the building is not for sale or lease, and the work is performed according to the owner-builder limitations provided in this paragraph. To qualify for exemption under this paragraph, an owner must personally appear and sign the building permit application. The permitting agency shall provide the person with a disclosure statement in substantially the following form: **Disclosure Statement:** State law requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

\_\_\_\_ Contractor or \_\_\_\_ Owner/Builder Signature [Signature]

Subscribed and sworn to before me this 13 day of July, 2015, personally appeared

John Zervopoulos who is personally known to me or produced \_\_\_\_\_ as

identification, and who did/did not take an oath.

Notary Public Signature Arielle C. Hess



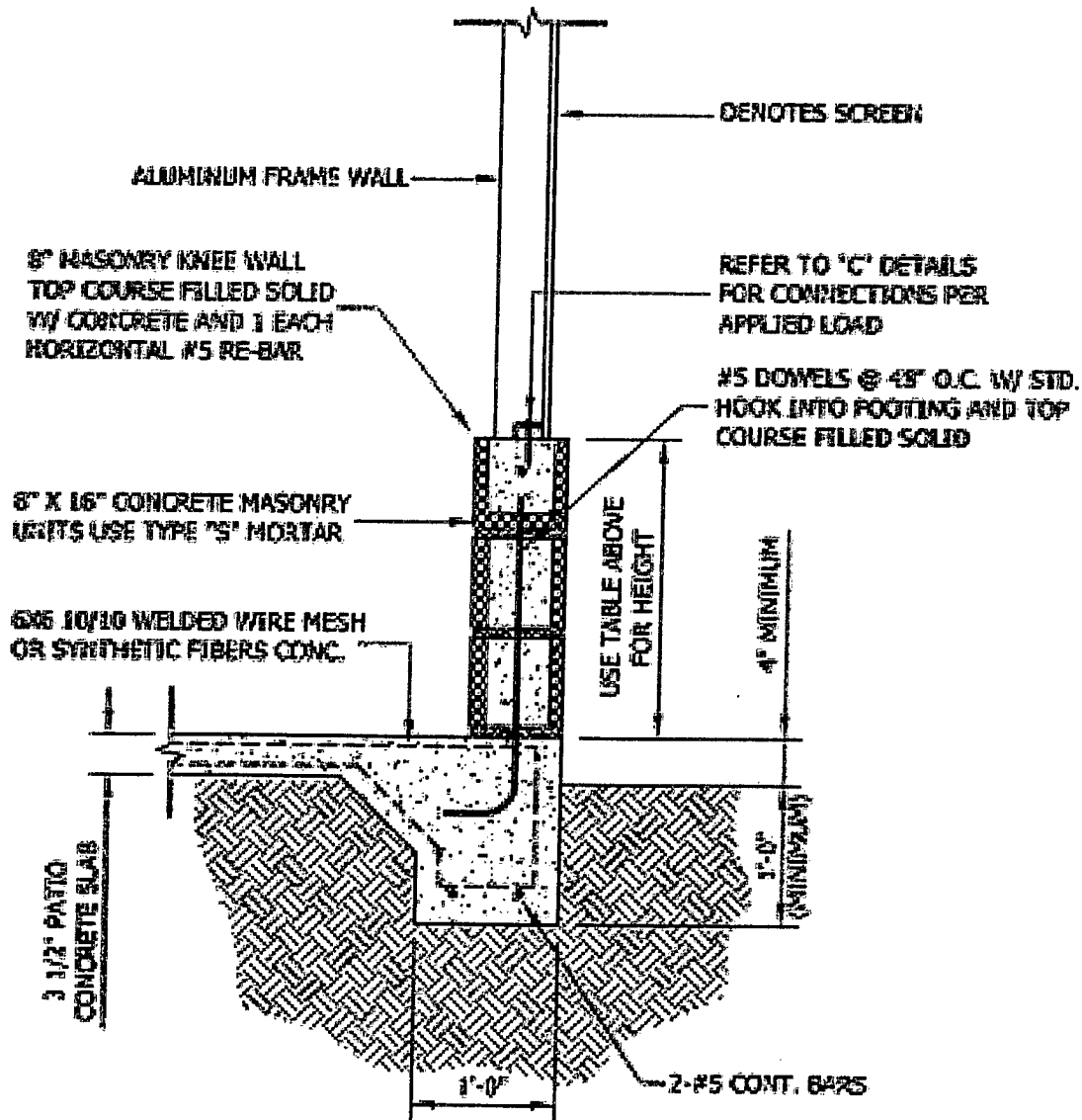
## Chapter 2 - Screen Rooms

Allowable Wall Heights (feet)  
8" CMU Knee-Walls in Screen Rooms  
by Exposure B Wind Zone

Wall Heights:	100/110	120	130	140
8" CMU:	6	5	5	4
Aluminum:	10	8	9	9
Height Overall:	16	14	14	13

Allowable Wall Heights (feet)  
8" CMU Knee-Walls in Screen Rooms  
by Exposure C Wind Zone

Wall Heights:	100/110	120	130	140
8" CMU:	5	5	4	4
Aluminum:	9	7	8	7
Height Overall:	14	12	12	11



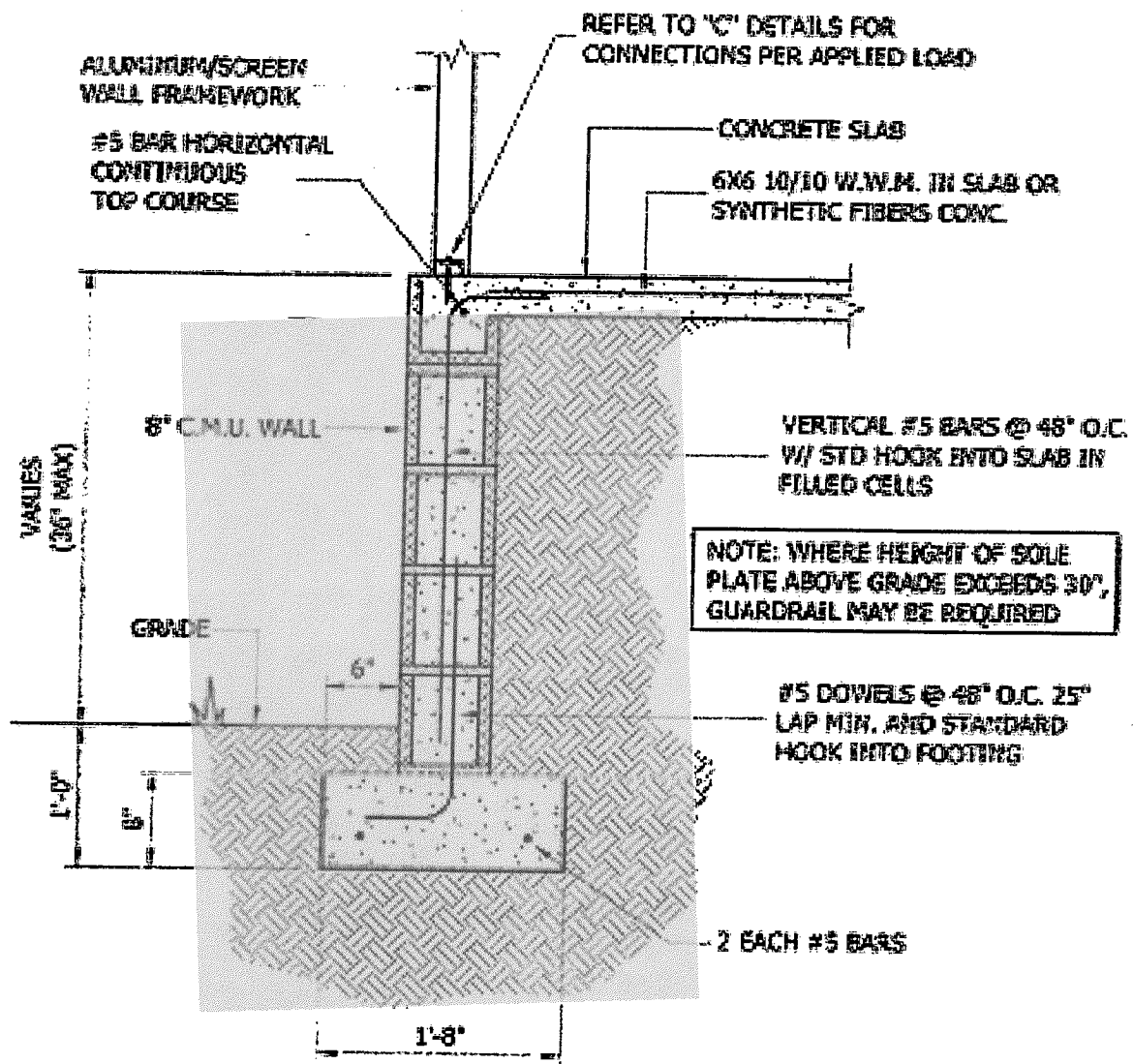
### WALL BEARING ON BLOCK KNEE WALL

(BLOCK KNEE WALL ALSO KNOWN AS  
8" CMU WALL OR APRON WALL)

F4  
2

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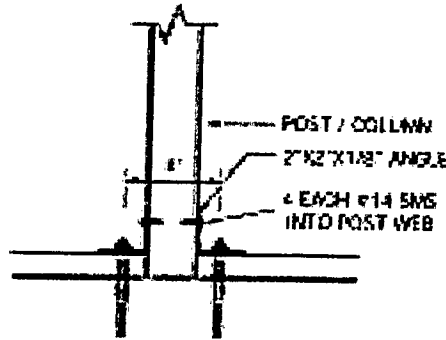
STEMWALL / FOOTING / RETAINING WALL



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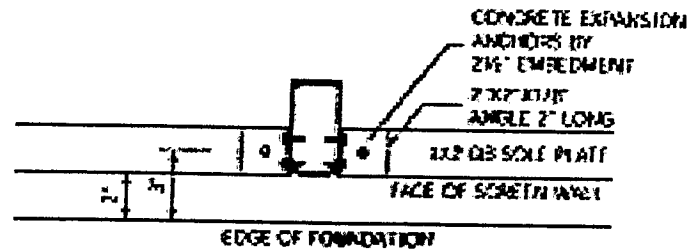
## Chapter 2 - Screen Rooms

DETAIL C1 UTILIZED FOR FOUNDATION CONNECTIONS WHERE NUMERIC VALUE IN PARENTHESIS FOR ALLOWABLE SPAN (TABLE 203) OF POST IS 1; AND, DOES NOT EXCEED SPACING VALUES IN TABLE 207 (TYPE I OR TYPE II). C1(a) IS A SPECIAL CASE WHERE SCREEN WALL IS FASTENED TO THE TOP OF A MASONRY WALL (REFER TO C1(a) NOTES BELOW). TO PLACE A POST ON A MASONRY WALL, IT MUST SATISFY TABLE 203, TABLE 207 AND TABLE 215. COLUMNS (POSTS/UPRIGHTS) MUST NOT EXCEED ALLOWABLE SPANS IN TABLE 203. NUMBER IN PARENTHESIS IN TABLE 203 INDICATES THE APPROPRIATE LOAD CONDITION DETAIL (C1 OR C2).



WALL FACE PARTIAL ELEVATION  
TYPICAL C1 POST/COLUMN AT FOUNDATION

C1  
2

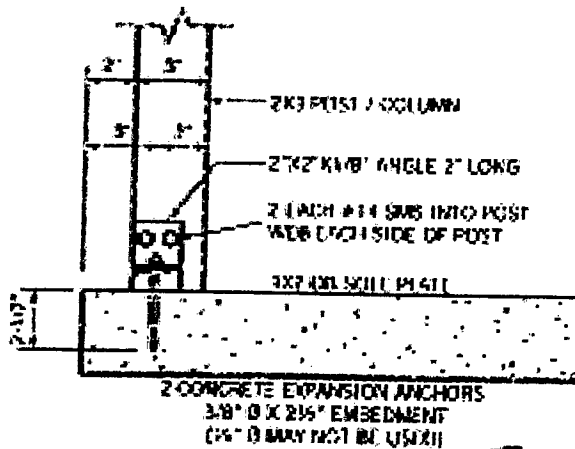


PLAN VIEW SECTION (NW 1X2 SOLE PLATE)  
TYPICAL C1 POST/COLUMN AT FOUNDATION

C1  
2

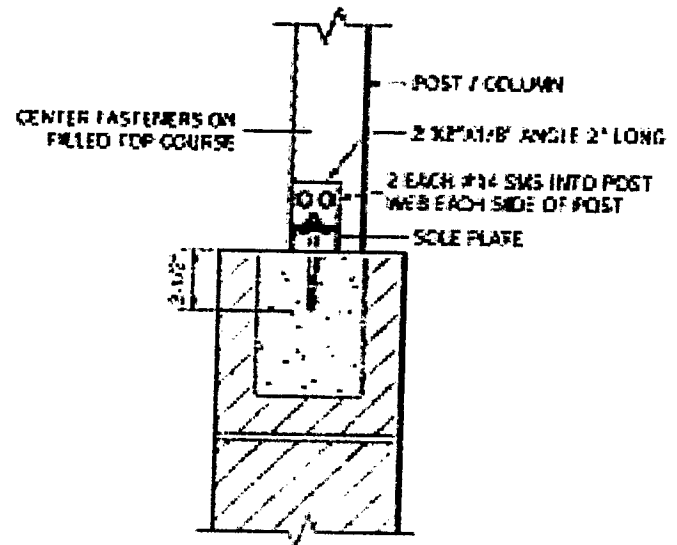
**NOTES FOR CONNECTION C1(a):**

- 1) C1(a) CONNECTION WITH ONLY 2 EACH 3/8" Ø CONCRETE FASTENERS;
- 2) COLUMNS MUST SATISFY BOTH COLUMN SPAN TABLE 203 AND 215 (THE LESSER OF THE TWO);
- 3) A 1X3 OSB MAY BE SUBSTITUTED FOR THE 1X2 SOLE PLATE SHOWN.



SECTION / SIDE ELEVATION

C1  
2



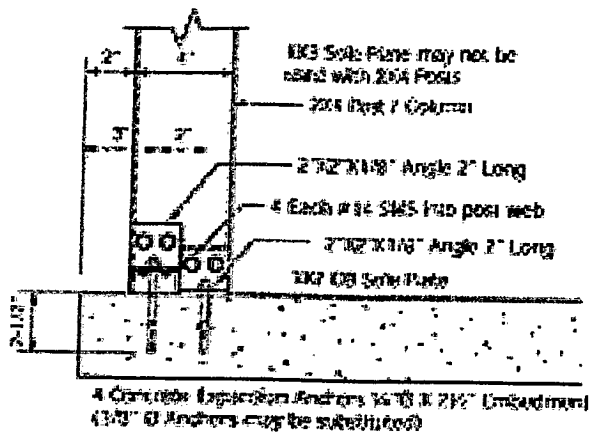
TYPICAL C1 POST / COLUMN  
CONNECTION DETAIL FOR 8" CMU WALL

C1  
2

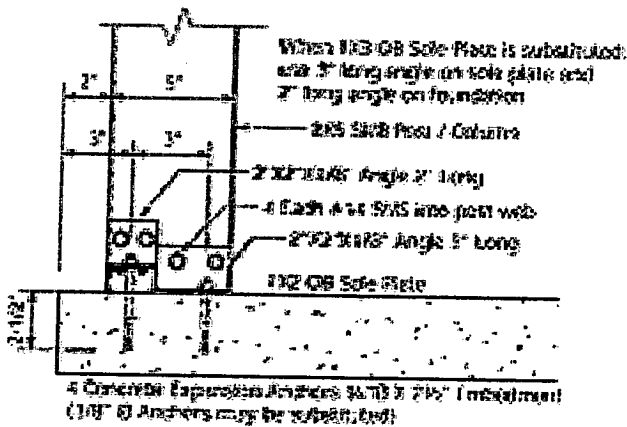
Allowable Post Heights (Spans [ft]) for 2 Each 3/8" Ø Concrete Fasteners								
Table 215		Post Spacing in Inet (Load Width)						
zone	psf	5.0	5.5	6.0	6.5	7.0	7.5	8.0
110	13	28.5	19.8	15.4	14.2	13.2	12.3	11.5
120	15	26.0	18.5	13.3	12.3	11.4	10.7	10.0
130	18	23.3	16.1	11.1	10.3	9.5	8.9	8.3
140	21	21.4	14.4	9.5	8.8	8.2	7.6	7.1

# Chapter 2 - Screen Rooms

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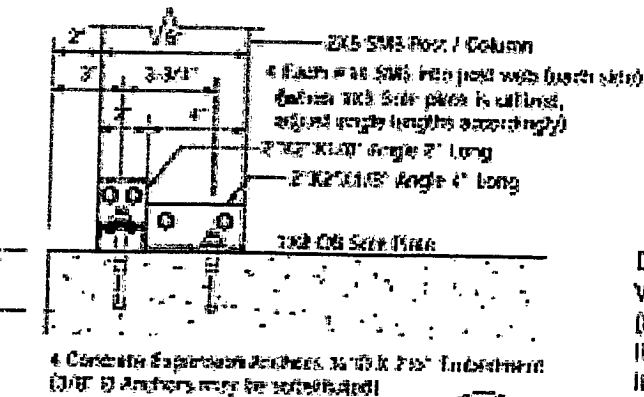


Section / Side Elevation / 2X4 Post (C2)  
2

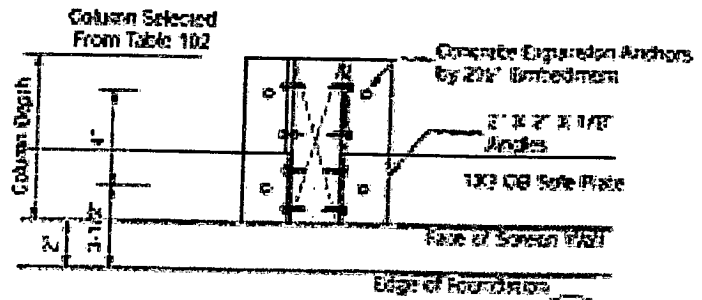


Section / Side Elevation / 2X6 Post (C2)  
2

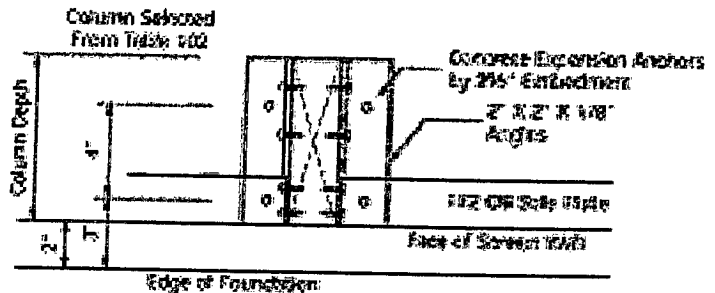
EMBEDMENT SHOWN IS 2 1/2" TO ACCOMMODATE 3/8" RATIO SLAB. ANCHORS MAY BE EMBEDDED TO A DEPTH OF 60% OF CONCRETE DEPTH



Section / Side Elevation / 2X6 Post (C2)  
2

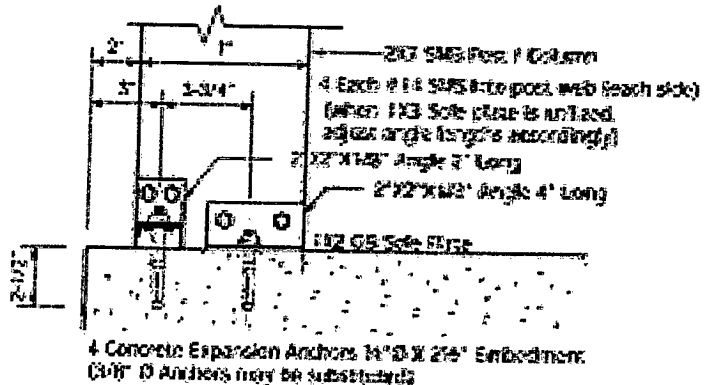


Plan View Section (w/ 1X3 Sole Plate) Typical C2 Post/Column at Foundation (C2)  
2



Plan View Section (w/ 1X2 Sole Plate) Typical C2 Post/Column at Foundation (C2)  
2

EMBEDMENT SHOWN IS 2 1/2" TO ACCOMMODATE 3/8" RATIO SLAB. ANCHORS MAY BE EMBEDDED TO A DEPTH OF 60% OF CONCRETE DEPTH



Section / Side Elevation / 2X7 SWS Post (C2)  
2

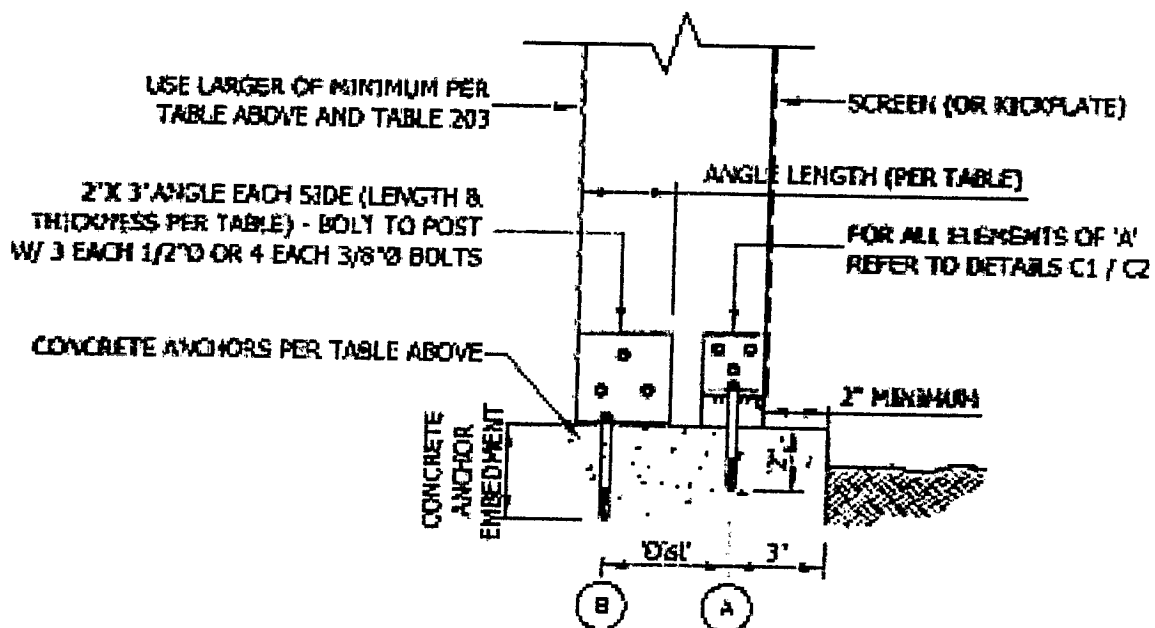
2X7 SWS Connection Detail C1 also applies to larger columns (indicate required component sizes and fastener spacings)

DETAIL C2 SHOWS THE FOUNDATION CONNECTIONS FOR VARIOUS DEPTH COLUMNS (POSTS/UPRIGHTS). COLUMNS (POSTS/UPRIGHTS) MUST NOT EXCEED ALLOWABLE SPANS IN TABLE 203. NUMBER IN PARENTHESIS IN TABLE 203 INDICATES THE APPROPRIATE LOAD CONDITION AND CONNECTION DETAIL (C1 OR C2). FOR CARRIER BEAMS SUPPORT CONNECTIONS, REFER TO TABLE 212.

Chapter 2 - Screen Rooms

Fastening Details/Carrier Beam Foundation Connections Table 212

Particulars	Carrier Beam Load Designations				e
	a	b	c	d	
Minimum Post Size:	As Per Detail C1	As Per Detail C2	2x6 SMB	2x7SMB	Requires Site Specific Engineering
Connecting Angles:					
Thickness:			3/8"	1/2"	
Length:			3'	4-1/2'	
Concrete Anchors:					
Diameter:			3/8"	1/2"	
Embedment:			2-3/4"	3"	
Spacing ("List"):			4'	5'	
Connection Capacity (#)			1800	2000	



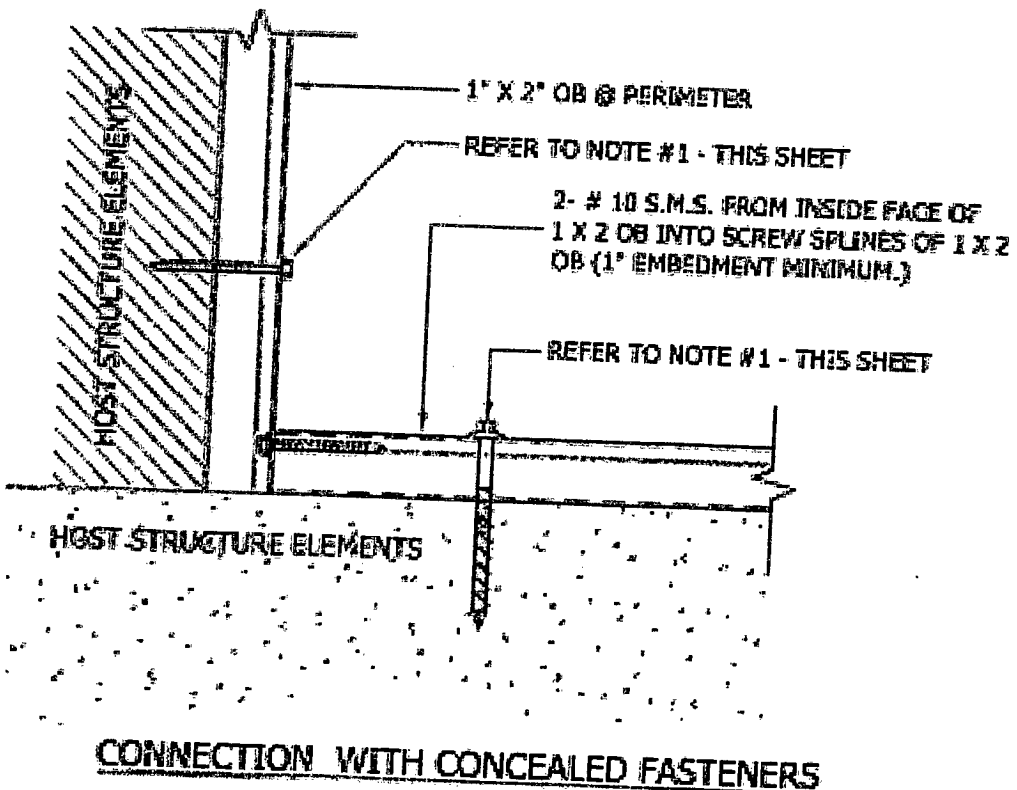
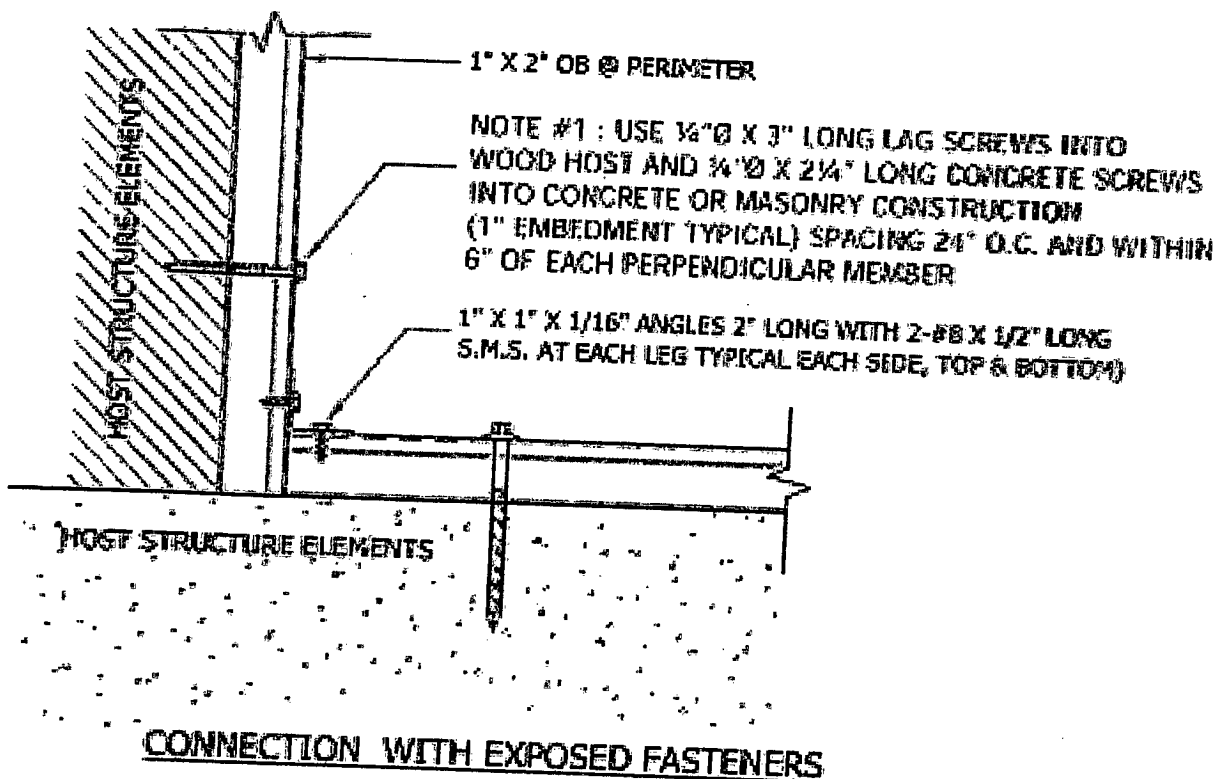
**COLUMN / FOUNDATION FASTENINGS FOR BEAM SUPPORT POSTS**

NOTES:

- 1) THIS DETAIL TO BE USED FOR INTERMEDIATE BEAMS AND/OR CARRIER BEAMS IN SCREEN ROOMS.
- 2) MINIMUM COLUMN FOR THIS CONNECTION BY TABLE ABOVE.
- 3) COLUMN SIZE TO BE DETERMINED BY TABLE 203 BY WIND ZONE.
- 4) FASTENING AT 1X2 (MARK 'A') REFER TO DETAIL C1 OR C2.

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Chapter 2 - Screen Rooms



PARTIAL ELEVATIONS / 1" X 2" TO 1" X 2" CONNECTIONS

C3  
2

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**ADVANCED  
HURRICANE  
PROTECTION**

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

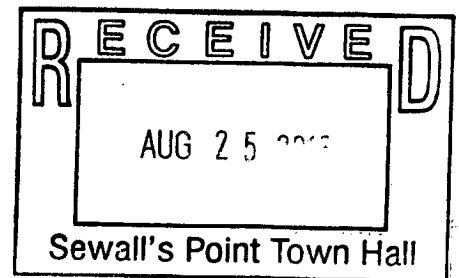
Conway residence:  
16 South Via Lucindia  
Sewall's Point

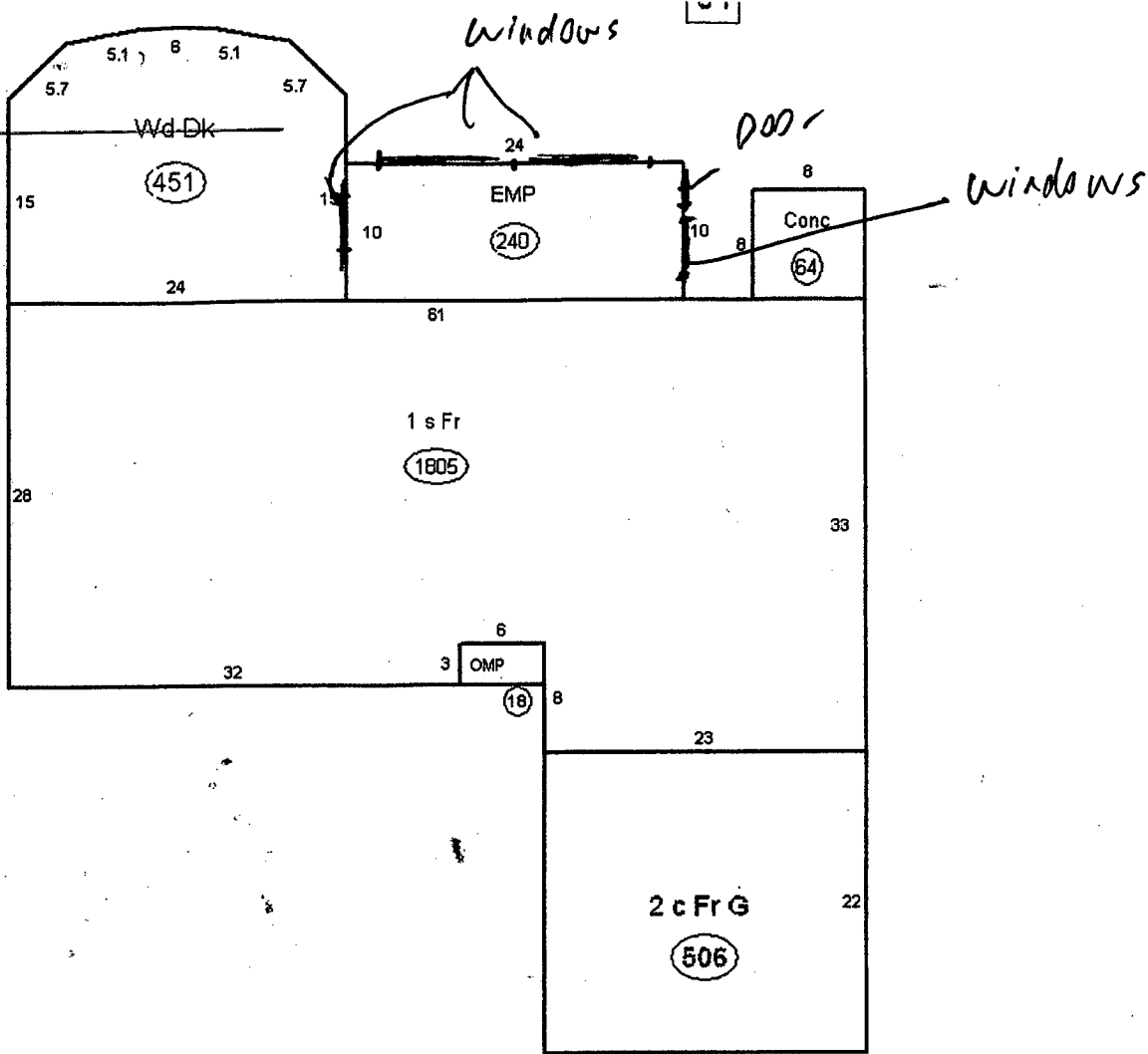
The improvements are as followed:

- 1.) Remove the existing entry door and side-lights and replace with a hurricane impact rated door and impact resistant side-lights
  - a. The replacement unit will be a pre-hung door with two side-lights that match the configuration of the opening, the size of the opening will not be altered
  - b. Product approvals for the door and side-lights were submitted.
- 2.) Remove three single hung windows on the front elevation. The windows are to the immediate left of the entry and are in the living room; replace the windows with three impact rated windows in a bay window configuration.
  - a. Square footage is not being added to the home, the bay window will be a window seat, the drawing illustrates the demolition plans to remove the windows and a portion of the wall. The roof will remain as is and the overhang structure will remain as is.
- 3.) The attached diagram shows an enclosed masonry porch
  - a. The porch is 24'x10' at 240 square feet
  - b. This porch is existing and is shown on the property appraiser's website, no square footage is going to be added to the porch
  - c. Currently the porch is enclosed with aluminum awning windows and an aluminum storm door. The knee wall is sheet metal attached to aluminum 2x2 frame work which is fastened to the slab and existing structure.
  - d. The windows and the door will be removed. A knee wall will be installed using Elite panels, which will be fastened to the concrete slab and the existing structure with an aluminum u-channel. The wall thickness is 3". The aluminum channel will be perimeter caulked once the installation is complete.
  - e. No electric or A/C will be added to the room
  - f. The new windows will be horizontal rolling windows, they are non-impact, and do not meet wind load requirements for habitable space, these are to be removed in a wind storm
  - g. The door is a common storm door with an acrylic window

WHERE IS THIS?

4517 SE Commerce Ave  
Stuart FL 34997  
PHONE: (772) 220-1200  
CBC: 1259339





16 S Via Lucinda



Florida Department of Business & Professional Regulation

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Product Approval  
USER: Public User

License efficiently. Regulate fairly.

Product Approval Menu > Product or Application Search > Application List > Application Detail



FL #	FL12225-R3								
Application Type	Revision								
Code Version	2014								
Application Status	Approved								
Comments									
Archived	<input type="checkbox"/>								
Product Manufacturer	Elite Aluminum Corporation								
Address/Phone/Email	4650 Lyons Technology Parkway Coconut Creek, FL 33073 (954) 949-3200 dk@dokimengineering.net								
Authorized Signature	Do Kim dk@dokimengineering.net								
Technical Representative	Dan Cooke								
Address/Phone/Email	1801 NW 64th Street Ft. Lauderdale, FL 33309 (954) 491-3700 elitealum@aol.com								
Quality Assurance Representative									
Address/Phone/Email									
Category	Structural Components								
Subcategory	Structural Wall								
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received								
Florida Engineer or Architect Name who developed the Evaluation Report	Do Kim								
Florida License	PE-49497								
Quality Assurance Entity	Quality Auditing-Institute Ltd.								
Quality Assurance Contract Expiration Date	12/31/2020								
Validated By	James L. Buckner, P.E. at CBUCK Engineering <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received								
Certificate of Independence	<a href="#">FL12225_R3_COI_Elite_Cert_of_Indep.pdf</a>								
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th><b>Standard</b></th> <th><b>Year</b></th> </tr> </thead> <tbody> <tr> <td>TAS 201</td> <td>1994</td> </tr> <tr> <td>TAS 202</td> <td>1994</td> </tr> <tr> <td>TAS 203</td> <td>1994</td> </tr> </tbody> </table>	<b>Standard</b>	<b>Year</b>	TAS 201	1994	TAS 202	1994	TAS 203	1994
<b>Standard</b>	<b>Year</b>								
TAS 201	1994								
TAS 202	1994								
TAS 203	1994								
Equivalence of Product Standards Certified By									
Sections from the Code									



Product Approval Method

Method 1 Option D

Date Submitted

04/30/2015

Date Validated

05/01/2015

Date Pending FBC Approval

05/10/2015

Date Approved

06/22/2015

**Summary of Products**

FL #	Model, Number or Name	Description
12225.1	3" (min.) x0.032"x2# Aluminum Composite Panel	Aluminum skin, EPS Core, composite panel system
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> +43/-70 <b>Other:</b> Nominal allowable pressure listed. Wall panels shall be max. 48" wide with "H" mullion between wall panels.		<b>Installation Instructions</b> <a href="#">FL12225_R3_II_FL12225-R3 2014 FBC- HVHZ Elite Panel Spans Install.dwg.pdf</a> Verified By: Do Kim, P.E. 49497 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL12225_R3_AE_FL12225 -R3 2014 FBC-Eval Report Elite HVHZ Composite Panels.pdf</a> Created by Independent Third Party: Yes
12225.2	3" (min.) x0.032"x2# Aluminum Composite Panel	Elite 1 hour fire rated panel
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> +43/-70 <b>Other:</b> Nominal allowable pressure listed. Panels shall be max. 48" wide with "H" mullion between panels.		<b>Installation Instructions</b> <a href="#">FL12225_R3_II_FL12225-R3 2014 FBC- HVHZ Elite Panel Spans Install.dwg.pdf</a> Verified By: Do Kim, P.E. P.E. 49497 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL12225_R3_AE_FL12225 -R3 2014 FBC-Eval Report Elite HVHZ Composite Panels.pdf</a> Created by Independent Third Party: Yes

[Back](#)[Next](#)

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**Product Approval Accepts:**

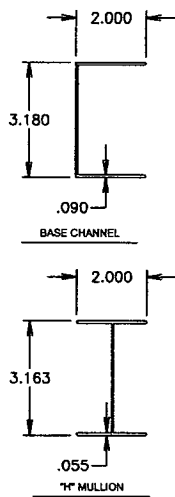
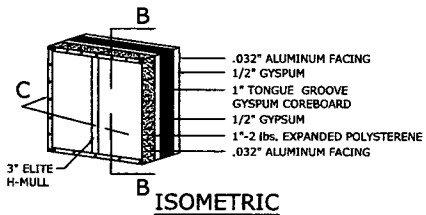


4650 Lyons Technology Pkwy  
Coconut Creek, FL 33073  
1-954-949-3200

3"(MIN) x 0.032" x 2.0-LB EPS PANEL (ALLOWABLE CLEAR SPAN CHARTS)		
MAX. ULTIMATE DESIGN PRESSURE* (PSF)	MAX. ALLOWABLE SPAN (FT)	
+7.77-116.7	L/80	L/120
	9.0	9.0

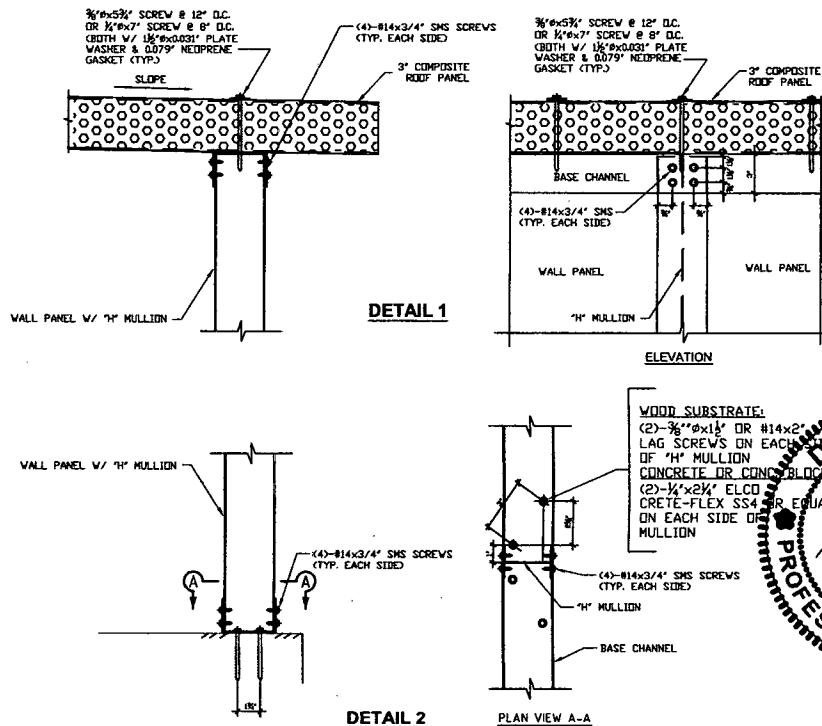
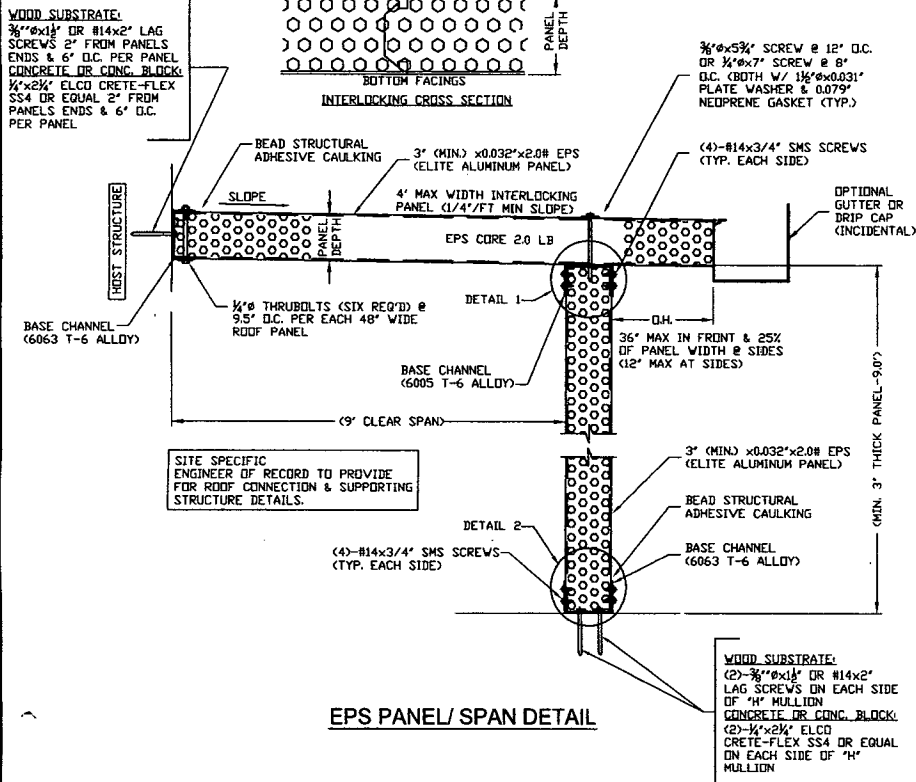
\*P<sub>u</sub> = 4.3 PSF CORRESPONDS P<sub>u</sub>(+7.71) PSF; P<sub>u</sub>(-116.7) PSF CORRESPONDS P<sub>u</sub>(-116.7) PSF

### ELITE 1 HOUR FIRE RATED PANEL



### GENERAL NOTES

- Composite panels shall be constructed using type 3105-H154 or 3003-H154 aluminum facings, 2 PCF ASTM C-578 carpenter brand EPS adhere to aluminum facings with Ashland Chemical 2020D ISO grip. Fabrication to be by Elite panel products only in accordance with approved fabrication methods.
- Elite roof panels maintain a UL 1715 (int) class 'B' (ext) rating and are NER-501 approved.
- Elite 1 hour fire rated panel exceeds the structural and impact capacity of the standard 3"x0.032"x 1-lb EPS panel. Double 1 hour panel to achieve 2 hour fire rating wall.
- This specification has been designed and shall be fabricated in accordance with the requirements of the Florida Building Code 5th Edition (FBC), composite panels comply with Chapter 7 Section 720, Chapter 8 Section 803, Class A interior finish, and Chapter 26 Section 2603. All local building code amendments shall be adhered to as required.
- The designer shall determine by accepted engineering practice the allowable loads for site specific load conditions (including load combinations) using the data from the allowable loads tables and spans in this approval.
- Deflection limits and allowable spans have been listed to meet FBC including the HVHZ.
- Testing has been conducted in accordance to TAS 201-94, TAS 202-94 (including water), TAS 203-94, and ASTM E72.
- Reference test report number 97-044 from Construction Testing Corporation, 13873 N.W. 19th Avenue, Miami, FL 33054.
- In the HVHZ, all fasteners to be austenitic stainless steel or coated or plated carbon steel with a Rockwell hardness less than C35 in the load bearing portion of the shank. Screws shall be zinc coated per ASTM A123, A641, or B633 or nickel/chromium plated per ASTM B456. Type SC per Aluminum Design Manual-Part 1.
- Panels with fan beams shall be considered equivalent to similar panels without fan beams. Design professionals may include the strength of the fan beam to exceed shown figures as part of site-specific engineering.
- Products meet the FBC deflection limits including the HVHZ (L/80 for spans ≤ 12'-0" in HVHZ and L/120 in non-HVHZ per Chapter 16 Table 1604.3.
- In HVHZ regions, the L/80 deflection limit is for use in Group R3 occupancies with roof projection not exceeding 12 feet and where the structures are not to be considered living areas per FBC Section 1616.3.1 #7.
- Roof panels may be interlocked to unlimited width within the limitations of the site specific engineering. Walls panels shall be maximum 48" wide with "H" mullion between wall panels.
- Wall and roof panels may be used in site-specific engineered sunroom systems utilizing glazed openings as allowed by the engineer of record. Engineer of record may specify equivalent alternate connection details.
- Concrete substrate shall be 3350 PSI minimum. Concrete block shall be 2070 PSI minimum. Wood shall have specific gravity (G) of 0.36 minimum.



**DO KIM & ASSOCIATES, LLC**

**CONSULTING STRUCTURAL ENGINEERS**

PO Box 10039  
Tampa, FL 33679  
Tel: (813) 857-9955

Rev./Date	Description
2/25/2009	ISSUED FOR PRODUCT APPROVAL
2/21/2012	ISSUED FOR 2010 FBC PRODUCT APPROVAL
4/21/2012	ISSUED FOR 2010 FBC PRODUCT APPROVAL - RR PANEL ADDED
4/25/2015	ISSUED FOR FBC 5th Edition PRODUCT APPROVAL

Elite Aluminum Corporation  
4650 Lyons Technology Pkwy  
Coconut Creek, FL 33073

EPS FOAM CORE COMPOSITE PANELS  
ALUMINUM ALUMINUM SKIN  
FLORIDA STATEWIDE PRODUCT APPROVAL

DRAWN BY: DYK  
CHECKED BY: DYK  
SCALE: AS SHOWN  
DATE: 2/19/09

**DO Y. KIM**  
LICENSE  
No. 22222  
FLA. REG. NUMBER 1645  
DO Y. KIM & ASSOCIATES, LLC  
P.O. Box 28887  
Tampa, FL 33628  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
4-29-15

Drawing No. - 090227-R2  
SHEET 1 OF 1

**ELITE PANEL SPAN TABLES:** 1. Net allowable loads are permitted to be multiplied by 1.67 to derive ultimate loads (psf).

**3' x 0.024 x 1 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)**

NET ALLOWABLE LOAD (PSF) <sup>1</sup>	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	16.17	15.76	15.03	14.10
20	13.44	13.44	12.22	10.35
30	10.78	10.78	9.41	6.60
40	9.22	9.22	6.60	2.85
50	8.17	8.17	3.79	-
60	7.40	6.39	0.98	-
70	6.81	4.51	-	-
80	6.33	2.64	-	-

**3' x 0.032 x 1 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)**

NET ALLOWABLE LOAD (PSF) <sup>1</sup>	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	17.50	17.50	16.91	15.96
20	16.64	15.96	14.06	12.16
30	15.17	14.06	11.21	8.36
40	13.69	12.16	8.36	4.56
50	12.22	10.26	5.51	0.76
60	10.75	8.36	2.66	-
70	9.27	6.46	-	-
80	7.80	4.56	-	-

**3' x 0.024 x 2 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)**

NET ALLOWABLE LOAD (PSF) <sup>1</sup>	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	19.33	18.95	18.31	17.66
20	18.11	17.66	16.36	15.06
30	16.80	16.36	14.41	12.46
40	15.49	15.06	12.46	9.86
50	14.18	13.76	10.51	7.26
60	12.87	12.46	8.57	4.67
70	11.57	11.16	6.62	2.07
80	10.26	9.86	4.67	-

**3' x 0.030 x 2 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)**

NET ALLOWABLE LOAD (PSF) <sup>1</sup>	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	20.11	20.03	19.42	18.81
20	19.02	18.81	17.58	16.35
30	17.93	17.58	15.73	13.89
40	16.83	16.35	13.89	11.43
50	15.74	15.12	12.05	8.97
60	14.64	13.89	10.21	6.52
70	13.55	12.66	8.36	4.06
80	12.46	11.43	6.52	1.60

**4' x 0.024 x 1 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)**

NET ALLOWABLE LOAD (PSF) <sup>1</sup>	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	19.00	19.00	17.17	16.53
20	15.01	15.01	15.01	13.95
30	12.50	12.50	12.50	11.38
40	10.97	10.97	10.97	8.80
50	9.92	9.92	9.44	6.22
60	9.13	9.13	7.51	3.64
70	8.52	8.52	5.58	1.07
80	8.02	8.02	3.64	-

**4' x 0.032 x 1 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)**

NET ALLOWABLE LOAD (PSF) <sup>1</sup>	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	20.50	20.50	20.11	19.24
20	19.61	19.24	17.49	15.74
30	18.17	17.49	14.87	12.24
40	16.72	15.74	12.24	8.74
50	15.28	13.99	9.62	5.25
60	13.84	12.24	7.00	1.75
70	12.40	10.49	4.38	-
80	10.95	8.74	1.75	-

**4' x 0.024 x 2 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)**

NET ALLOWABLE LOAD (PSF) <sup>1</sup>	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	21.97	21.97	21.52	20.97
20	20.77	20.77	19.86	18.76
30	19.57	19.57	18.21	16.55
40	18.36	18.36	16.55	14.34
50	17.16	17.16	14.89	12.13
60	15.96	15.96	13.24	9.93
70	14.75	14.75	11.58	7.72
80	13.55	13.55	9.93	5.51

**4' x 0.030 x 2 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)**

NET ALLOWABLE LOAD (PSF) <sup>1</sup>	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	24.17	24.17	24.17	24.17
20	23.64	23.64	23.41	23.11
30	22.57	22.57	21.90	21.01
40	21.51	21.51	20.39	18.91
50	20.45	20.45	18.88	16.80
60	19.39	19.39	17.37	14.70
70	18.33	18.33	15.86	12.59
80	17.26	17.26	14.35	10.49

**6' x 0.024 x 1 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)**

NET ALLOWABLE LOAD (PSF) <sup>1</sup>	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	23.00	21.24	21.47	20.85
20	18.06	18.06	18.06	18.06
30	15.13	15.13	15.13	15.13
40	13.34	13.34	13.34	13.34
50	12.10	12.10	12.10	10.91
60	11.17	11.17	11.17	8.43
70	10.44	10.44	10.30	5.95
80	9.85	9.85	8.43	3.47

**6' x 0.032 x 1 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)**

NET ALLOWABLE LOAD (PSF) <sup>1</sup>	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	24.00	24.00	24.00	23.48
20	23.34	23.21	21.88	20.23
30	22.10	21.63	19.43	17.02
40	20.86	20.05	17.02	13.83
50	19.63	18.47	14.63	10.62
60	18.38	16.89	12.22	7.42
70	17.14	15.30	9.82	4.22
80	15.91	13.72	7.42	1.02

**6' x 0.024 x 2 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)**

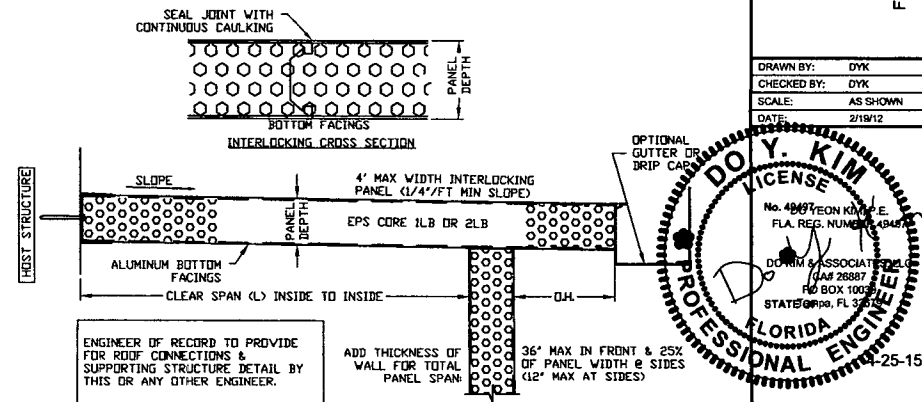
NET ALLOWABLE LOAD (PSF) <sup>1</sup>	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	23.93	23.93	23.88	23.60
20	23.20	23.20	23.03	22.46
30	22.47	22.47	22.18	21.33
40	21.75	21.75	21.33	20.20
50	21.02	21.02	20.49	19.07
60	20.29	20.29	19.64	17.94
70	19.57	19.57	18.79	16.81
80	18.84	18.84	17.94	15.68

**6' x 0.030 x 2 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)**

NET ALLOWABLE LOAD (PSF) <sup>1</sup>	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	24.00	24.00	24.00	23.84
20	23.65	23.65	23.34	22.84
30	22.94	22.94	22.59	21.85
40	22.23	22.23	21.85	20.85
50	21.53	21.53	21.10	19.86
60	20.82	20.82	20.36	18.87
70	20.11	20.11	19.61	17.87
80	19.40	19.40	18.87	16.88

**GENERAL NOTES**

- Composite panels shall be constructed using type 3003-H154 aluminum facings, 1 or 2 PCF ASTM C-578 carpenter brand EPS adhere to aluminum facings with Ashland Chemical 2020D ISO grip. Fabrication to be by Elite panel products only in accordance with approved fabrication methods.
- Elite roof panels maintain a UL 1715 (int) class 'B' (ext) rating and are NER-501 approved.
- This specification has been designed and shall be fabricated in accordance with the requirements of the Florida Building Code 5th Edition (FBC), composite panels comply with Chapter 7 Section 720, Chapter 8 Section 803, Class A interior finish, and Chapter 26 Section 2603. All local building code amendments shall be adhered to as required.
- The designer shall determine by accepted engineering practice the allowable loads for site specific load conditions (including load combinations) using the data from the allowable loads tables and spans in this approval.
- Deflection limits and allowable spans have been listed to meet FBC including the HVHZ. In HVHZ, this product shall be used in structures "not to be considered living areas" per Section 1616 unless impact resistance in accordance to the HVHZ requirements are met.
- Safety factor of 2.0 has been used to develop allowable loads and spans from testing in accordance to the Guidelines for Aluminum Structures Part 1 and conforms to the FBC Chapter 16 and 20.
- Testing has been conducted in accordance to ASTM E72-05: Strength Test of Panels for Building Construction.
- Reference test reports: HETI-05-1988, HETI-06-2104, HETI-06-2066, HETI-06-2105, HETI-06-2067, HETI-05-1002, HETI-06-2107, HETI-05-1987, HETI-06-2069, HETI-06-2070, HETI-06-2071, HETI-05-1994, HETI-05-1991, HETI-06-2072, HETI-06-2073, HETI-06-2074, HETI-05-1996, HETI-05-1989, HETI-05-1993, HETI-05-1985, HETI-05-1995, HETI-05-1990, HETI-05-1997, HETI-05-2037, HETI-05-2029, HETI-05-2039, HETI-05-2030, HETI-05-2041, HETI-05-2048, HETI-05-2036, HETI-05-2031, HETI-05-2038, HETI-05-2065, HETI-05-2040, HETI-05-2042.
- Linear interpolation shall be allowed for figures within the tables shown.
- Panels with fan beams shall be considered equivalent to similar panels without fan beams. Design professionals may include the strength of the fan beam to exceed shown figures as part of site-specific engineering.



**EPS ROOF PANEL/SPAN DESCRIPTION**

**DO KIM & ASSOCIATES, LLC**  
CONSULTING STRUCTURAL ENGINEERS

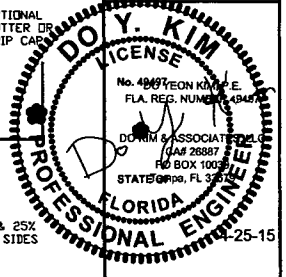
PO BOX 10039  
Tampa, FL 33678  
Tel: (813) 857-9955

Rev./Date	Description
02/2005	ISSUED FOR PRODUCT APPROVAL
02/2008	ISSUED FOR 2007 PRODUCT APPROVAL
2/20/2012	ISSUED FOR 2010 FBC PRODUCT APPROVAL
3/20/2015	ISSUED FOR FBC 5th Edition PRODUCT APPROVAL

Elite Aluminum Corporation  
4650 Lyons Technology Parkway  
Coconut Creek, FL 33073

EPS FOAM CORE COMPOSITE PANELS  
ALUMINUM/ALUMINUM SKIN  
FLORIDA STATEWIDE PRODUCT APPROVAL

DRAWN BY: DYK  
CHECKED BY: DYK  
SCALE: AS SHOWN  
DATE: 2/19/12



Drawing No. - FL-1001  
SHEET 1 OF 1



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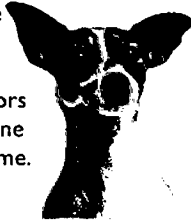
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# ACRYLIC PANE SLIDERS

## A BEAUTIFUL AND SIMPLE SOLUTION.

Open an entire wall with our ACRYLIC Multi-Track Sliding Door Panels to give great viewing, lighting and breeze possibilities or close the panels to have more privacy or to simply keep out the weather. Need somewhere else to keep your pets for awhile? Then this just may be the right option for you and your pet. ▶

You won't have to worry about your pet breaking through screen because these doors are ACRYLIC and are as tough as single pane glass and come with a sturdy aluminum frame.

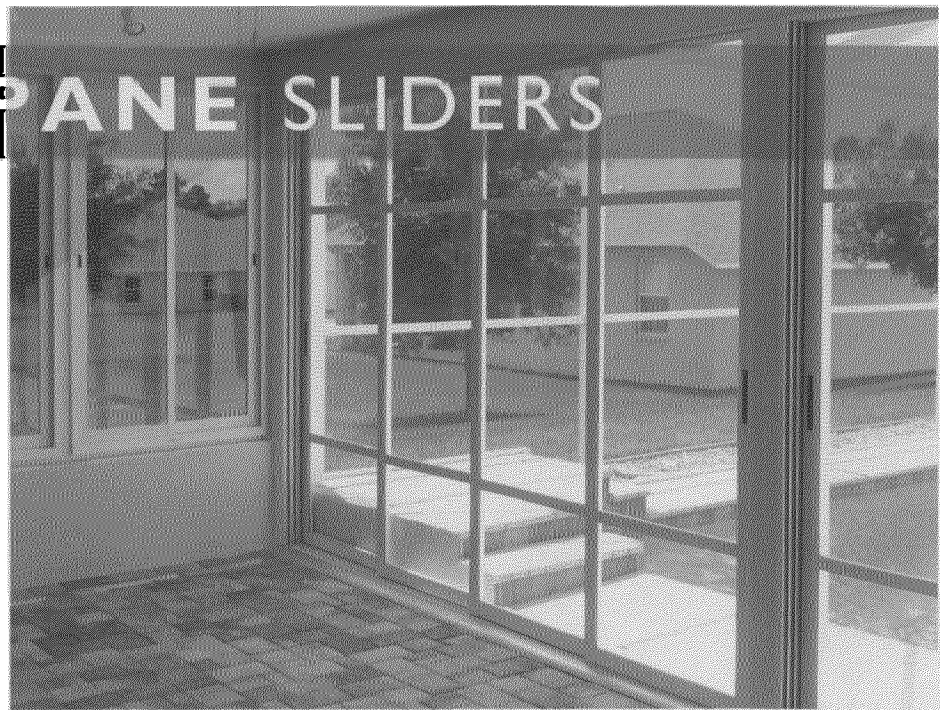


## 5200 Horizontal Sliding Panels

Lightweight multi-track horizontal sliding windows can be moved left or right, effortlessly, to ventilate up to 50% of the screened area. Vents can be removed for total ventilation. Removable screens available (outside mount version only) Maximum of 4 panels and 2 tracks

## 5250 Multi-Vent Sliding Panels

Lightweight multi-track horizontal sliding windows can be moved left or right, effortlessly, to ventilate up to 50% of the screened area. Vents can be removed for total ventilation. Can expand to 288" wide All panels can move No screens available Maximum of 8 panels and 4 tracks



## BENEFITS & OPTIONS

- ✓ Powder coated aluminum frames
- ✓ Better insulation than single pane glass
- ✓ Stronger than annealed glass
- ✓ Durable, weather resistant, 4-mil (3/16") acrylic
- ✓ Close the sliding panels to block out the elements
- ✓ Custom made to fit a large variety of openings
- ✓ Inside mount or outside mount  
(Screens available on outside mount units only)
- ✓ Simple pushbutton handles ▶



## FRAME COLORS



## ACRYLIC COLORS



REMEMBER: Clean only with Soap and Water. Ammonia based cleaners will harm acrylic and void warranty.

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L5008 (September 2014)

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CREATE THE PERFECT ARCHITECTURAL STATEMENT



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Enjoy your porch enclosure the way you have always imagined, in beautiful natural light. ▶



## GLASS COLLECTION

### 6200 **HORIZONTAL SLIDING WINDOWS**

Lightweight horizontal sliding panels can be moved to the left or right effortlessly to ventilate up to 50% of the screened area.

Vents can be removed allowing total screen room ventilation.

Insulated or Single Glazed Glass

Also available as a 2P-3T Multi-Vent Sliding Door

### 9000 **SLIDING PATIO DOORS**

Lightweight, beveled interlock on 9000 Series

Heavier, straight edge interlock on 9200 Series

Pocket doors available (9200 Series)

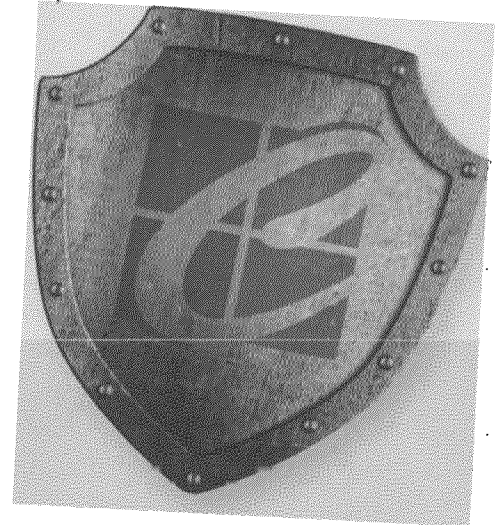
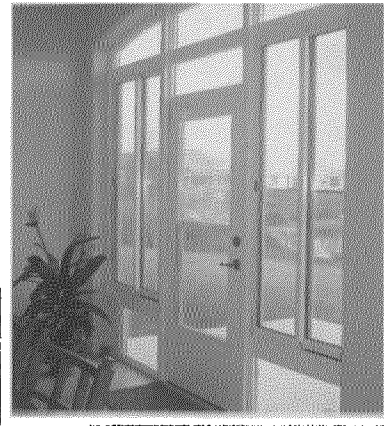
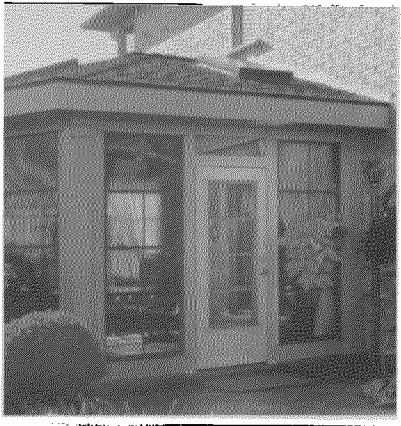
All panels can move up to 4 panels



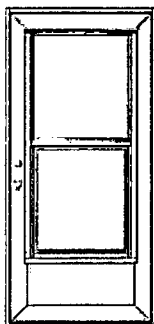
# THE GUARDIAN™ PRIME DOORS

WE OFFER A PREMIER DOOR TO MATCH ANY STYLE

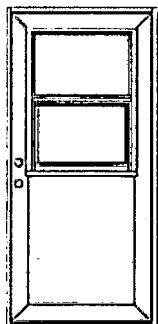
Custom Window Systems proudly presents THE GUARDIAN™, its premier line of prime doors. Designed to complement any style home, THE GUARDIAN™ comes in a wide variety of configurations and has many hidden features allowing for greater performance for many years. Compare the quality of our GUARDIAN™ line of doors. We are sure you will recognize the value. ▶



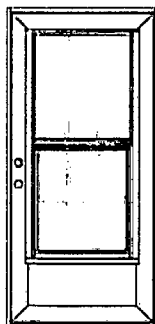
## CONFIGURATIONS



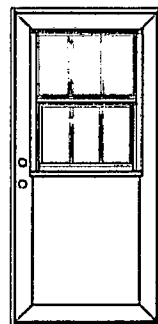
FULL SINGLE HUNG



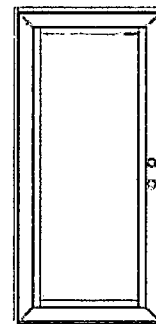
HALF SINGLE HUNG



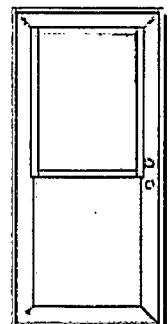
COLONIAL FULL SINGLE HUNG



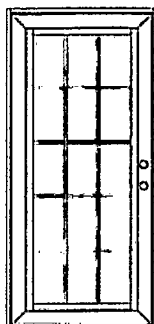
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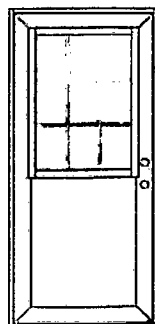
FULL VIEW



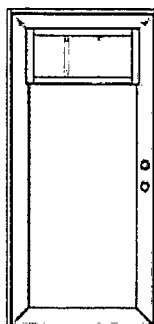
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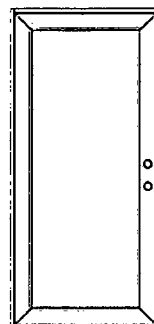
COLONIAL FULL VIEW



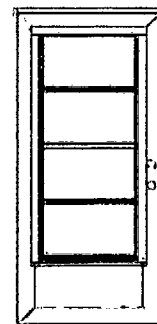
COLONIAL HALF VIEW



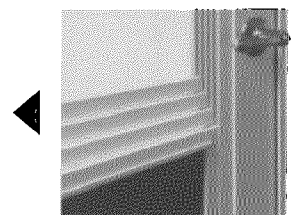
COLONIAL PLAIN



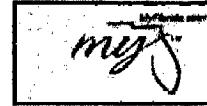
SOLID CORE



4 TRACK VERTICAL VINYL



4 Track configuration gives you multiple opening options



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**Product Approval**  
USER: Public User

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FL #	FL16412-R1
Application Type	Revision
Code Version	2014
Application Status	Approved

\*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.

Comments  
 Archived

Product Manufacturer	Eastern Architectural Systems
Address/Phone/Email	16341 Domestic Ave. Ft. Myers, FL 33912 (800) 432-2204 Ext 4314 thoard@easternmetal.com

Authorized Signature	Timothy Hoard thoard@easternmetal.com
----------------------	--

Technical Representative	Timothy J. Hoard
Address/Phone/Email	10030 Bavaria Road Fort Myers, FL 33913 (800) 432-2204 Ext 4314 thoard@easternmetal.com

Quality Assurance Representative  
 Address/Phone/Email

Category	Windows
Subcategory	Single Hung

Compliance Method	Certification Mark or Listing
-------------------	-------------------------------

Certification Agency	National Accreditation & Management Institute
Validated By	National Accreditation & Management Institute,

Referenced Standard and Year (of Standard)	<u>Standard</u>	<u>Year</u>
	AAMA/WDMA/CSA 101/I.S.2/A440	2005
	AAMA/WDMA/CSA 101/I.S.2/A440	2008
	ASTM E 1886	2005
	ASTM E 1996	2005
	ASTM E 1996	2009
	TAS201	1994
	TAS202	1994
	TAS203	1994

Equivalence of Product Standards  
 Certified By



Product Approval Method Method 1 Option A  
 Date Submitted 06/26/2015  
 Date Validated 06/30/2015  
 Date Pending FBC Approval  
 Date Approved 07/09/2015

**Summary of Products**

FL #	Model, Number or Name	Description
16412.1	176 Vinyl Impact Single Hung	176 Vinyl Impact Single Hung
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Design Pressures are as follows: Fin Window +70.0/-85.0psf, Flange Window+70.0/-85.0psf. Maximum Size: 54" x 77"		<b>Certification Agency Certificate</b> <a href="#">FL16412 R1 C CAC NI012195.pdf</a> <b>Quality Assurance Contract Expiration Date</b> 06/30/2018 <b>Installation Instructions</b> <a href="#">FL16412 R1 II 08-02538A.pdf</a> Verified By: Louis R. Lomas, P.E. 62514 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL16412 R1 AE 13-0328 09-COMP.pdf</a> <a href="#">FL16412 R1 AE 13-0328.09 Dupont SentryGlas.pdf</a> <a href="#">FL16412 R1 AE 513311A.pdf</a> <a href="#">FL16412 R1 AE Deceuninck PVC NOA 13-1203.02.PDF</a> Created by Independent Third Party: Yes
16412.2	Series HD2451/Series HD2461 Single Hung	Series HD2451/Series HD2461 Vinyl Impact Single Hung
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +65.0/-65.0 Other: Maximum Size: 44" x 84", Nailing Fin or Flange Frame		<b>Certification Agency Certificate</b> <a href="#">FL16412 R1 C CAC NI011536-signed.pdf</a> <b>Quality Assurance Contract Expiration Date</b> 09/30/2016 <b>Installation Instructions</b> <a href="#">FL16412 R1 II 08-01933A.pdf</a> Verified By: Luis R. Lomas, P.E. 62514 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL16412 R1 AE 512641A.pdf</a> <a href="#">FL16412 R1 AE Deceuninck PVC NOA 13-1203.02.PDF</a> <a href="#">FL16412 R1 AE NOA 14-0423.17.PDF</a> Created by Independent Third Party: Yes

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Product Approval Accepts:



REVISIONS			
REV	DESCRIPTION	DATE	APPROVED
A	REVISED INSTALLATION DETAILS	06/23/15	R.L.


NOTES:

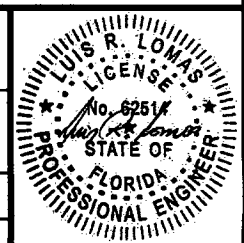
1. THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE INCLUDING THE HVHZ.
2. WOOD FRAMING AND MASONRY OPENING TO BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO STRUCTURE. FRAMING AND MASONRY OPENING IS THE RESPONSIBILITY OF THE ARCHITECT OR ENGINEER OF RECORD.
3. 1X BUCK OVER MASONRY/CONCRETE IS OPTIONAL.
4. WHERE SHIM OR BUCK THICKNESS IS LESS THAN 1-1/2" WINDOW UNITS MUST BE ANCHORED THROUGH THE FRAME IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS. ANCHORS SHALL BE SECURELY FASTENED DIRECTLY INTO MASONRY, CONCRETE OR OTHER STRUCTURAL SUBSTRATE MATERIAL.
5. WHERE WOOD BUCK THICKNESS IS 1-1/2" OR GREATER, BUCK SHALL BE SECURELY FASTENED TO MASONRY, CONCRETE OR OTHER STRUCTURAL SUBSTRATE. WINDOW UNITS MAY BE ANCHORED THROUGH FRAME TO SECURED WOOD BUCK IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS.
6. WHERE 1X BUCK IS NOT USED DISSIMILAR MATERIALS MUST BE SEPARATED WITH APPROVED COATING OR MEMBRANE. SELECTION OF COATING OR MEMBRANE IS THE RESPONSIBILITY OF THE ARCHITECT OR ENGINEER OF RECORD.
7. BUCKS SHALL EXTEND BEYOND WINDOW INTERIOR FACE SO THAT FULL FRAME SUPPORT IS PROVIDED.
8. FOR FIN INSTALLATION SHIM AS NEEDED. FOR FRAME INSTALLATION SHIM AS REQUIRED AT EACH ANCHOR LOCATION WITH LOAD BEARING SHIM. SHIM WHERE SPACE OF 1/16" OR GREATER OCCURS. MAXIMUM ALLOWABLE SHIM STACK TO BE 1/4".
9. SHIMS SHALL BE LOCATED, APPLIED AND MADE FROM MATERIALS AND THICKNESS CAPABLE OF SUSTAINING APPLICABLE LOADS.
10. WIND LOAD DURATION FACTOR Cd=1.6 WAS USED FOR WOOD ANCHOR CALCULATIONS.
11. FRAME MATERIAL: EXTRUDED RIGID PVC.
12. UNITS MUST BE GLAZED PER ASTM E1300-04, SEE SHEET 2 FOR GLASS OPTIONS.
13. APPROVED IMPACT PROTECTIVE SYSTEM IS NOT REQUIRED FOR THIS PRODUCT IN WIND BORNE DEBRIS REGIONS.
14. FOR FIN INSTALLATION INTO WOOD FRAMING OR 2X BUCK USE #10 WOOD SCREWS WITH SUFFICIENT LENGTH TO ACHIEVE A 1 1/4" MINIMUM EMBEDMENT INTO SUBSTRATE. LOCATE ANCHORS AS SHOWN IN ELEVATIONS AND INSTALLATION DETAILS.

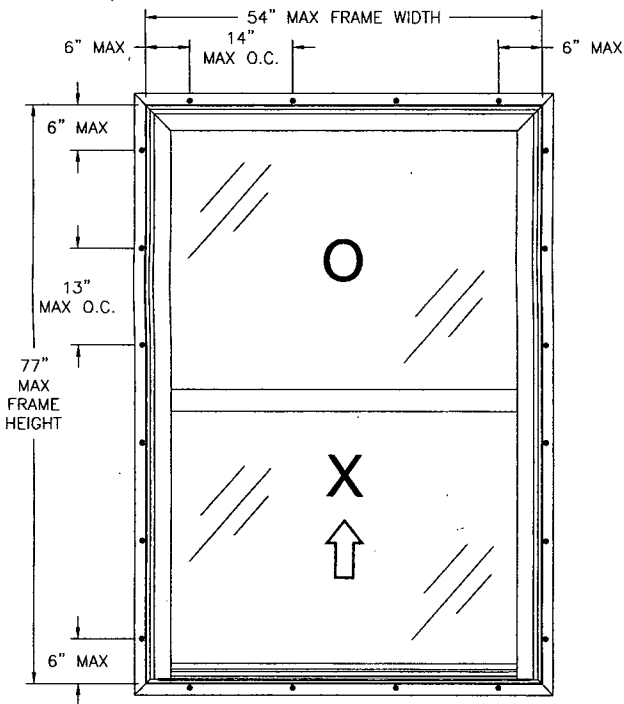
15. FOR FRAME ANCHORING INTO WOOD FRAMING OR 2X BUCK USE #10 WOOD SCREWS WITH SUFFICIENT LENGTH TO ACHIEVE A 1 1/4" MINIMUM EMBEDMENT INTO SUBSTRATE. LOCATE ANCHORS AS SHOWN IN ELEVATIONS AND INSTALLATION DETAILS.
16. FOR FRAME ANCHORING INTO MASONRY/CONCRETE USE 3/16" TAPCONS WITH SUFFICIENT LENGTH TO ACHIEVE A 1 1/4" MINIMUM EMBEDMENT INTO SUBSTRATE WITH 2 1/2" MINIMUM EDGE DISTANCE. LOCATE ANCHORS AS SHOWN IN ELEVATIONS AND INSTALLATION DETAILS.
17. FOR FRAME ANCHORING INTO METAL STRUCTURE USE #10 SMS OR SELF DRILLING SCREWS WITH SUFFICIENT LENGTH TO ACHIEVE 3 THREADS MINIMUM BEYOND STRUCTURE INTERIOR WALL. LOCATE ANCHORS AS SHOWN IN ELEVATIONS AND INSTALLATION DETAILS.
18. ALL FASTENERS TO BE CORROSION RESISTANT.
19. INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BELOW:
  - A. WOOD - MINIMUM SPECIFIC GRAVITY OF G=0.42
  - B. CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 3,192 PSI.
  - C. MASONRY - STRENGTH CONFORMANCE TO ASTM C-90, GRADE N, TYPE 1 (OR GREATER).
  - D. METAL STRUCTURE: STEEL 18GA, 33KSI OR ALUMINUM 6063-T5 1/8" THICK MINIMUM
20. UNITS MAY BE INSTALLED WITH OR WITHOUT FLANGE, OUTSIDE THE HVHZ.

SIGNED: 06/24/2015

TABLE OF CONTENTS	
SHEET NO.	DESCRIPTION
1	NOTES
2 - 3	ELEVATIONS
4 - 7	INSTALLATION DETAILS

 <b>Eastern</b> <small>ARCHITECTURAL SYSTEMS A DIVISION OF EASTERN METAL SUPPLY</small> <small>1541 DOMESTIC AVE FORT MYERS, FLORIDA 33912 800-432-2204</small>		EASTERN ARCHITECTURAL SYSTEMS A DIVISION OF EASTERN METAL SUPPLY	
SERIES 176 SH VINYL SINGLE HUNG WINDOW IMPACT 54" X 77" NOTES			
DRAWN:		DWG NO.	
N.G.		08-02538	
SCALE NTS		DATE 11/17/14	SHEET 1 OF 7
		REV	A





**SERIES 176 SH VINYL SINGLE HUNG WINDOW**  
EXTERIOR VIEW  
FIN INSTALLATION

DESIGN PRESSURE RATING	IMPACT RATING
+70.0/-85.0PSF	LARGE MISSILE IMPACT

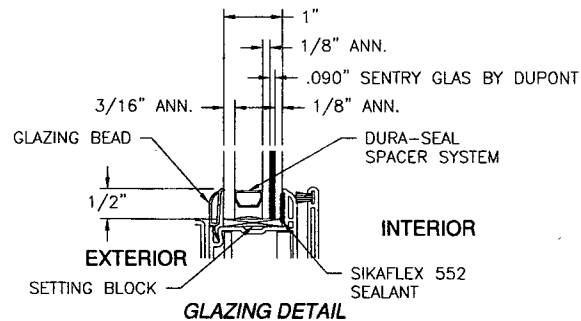
MISSILE LEVEL D, WIND ZONE 4 AND HVHZ


**NOTES:**

1. MAXIMUM SASH SIZE: 50 3/8" X 37 3/4".
2. MAXIMUM D.L.O.: 49 1/8" X 34 3/4".
3. (2) WEEPS WITH COVER (97-03) AT SILL FACE 2" FROM EACH CORNER.
4. (2) 1 1/2" X 1/4" WEEP SLOT AT SILL FACE 2" FROM EACH CORNER.
5. (2) 1/2" X 1/8" WEEP SLOT AT SILL BEHIND GLAZING LEG.

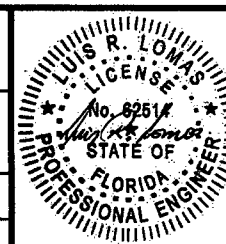
REVISIONS			
REV	DESCRIPTION	DATE	APPROVED
A	REVISED INSTALLATION DETAILS	06/23/15	R.L.

HARDWARE SCHEDULE	
A.	(4) ASHLAND DUAL KEEPERS (13999) AT KEEPER RAIL 8" FROM EACH JAMB
B.	(4) ASHLAND DUAL LOCKS (D2100AL/R) AT KEEPER RAIL 8" FROM EACH JAMB
C.	(2) CALDWELL COIL BALANCE SYSTEM (880) ONE AT EACH JAMB
D.	(2) CALDWELL TILT LATCH (20F00041) 1 1/2" FROM EACH SASH TOP RAIL CORNER
E.	(2) CALDWELL PIVOT BAR (16Y513) ONE AT EACH END OF OPERABLE SASH BOTTOM RAIL

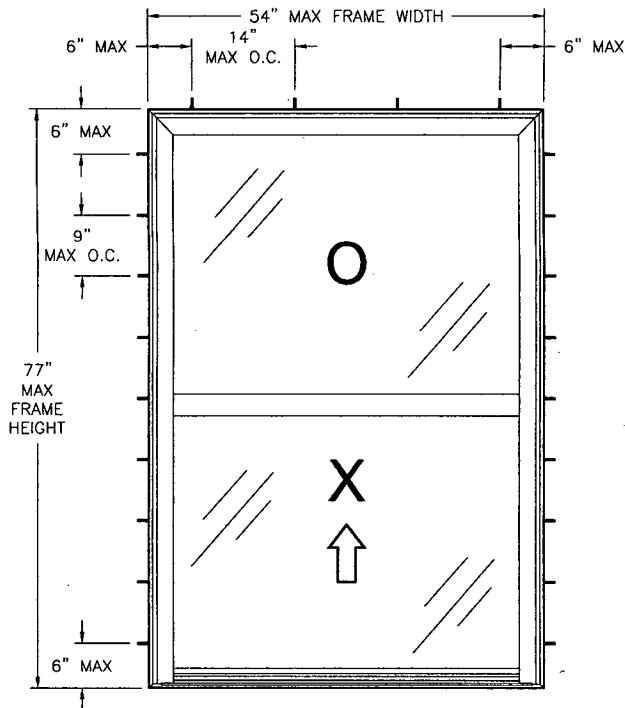


 <b>Eastern</b> <small>ARCHITECTURAL SYSTEMS A DIVISION OF EASTERN METAL SUPPLY</small> <b>ALUMINUM AND VINYL IMPACT WINDOWS AND DOORS</b>		<small>EASTERN ARCHITECTURAL SYSTEMS A DIVISION OF EASTERN METAL SUPPLY 16341 DOMESTIC AVE. FORT MYERS, FLORIDA 33912 800-432-2204</small>
<b>SERIES 176 SH VINYL SINGLE HUNG WINDOW</b> <b>IMPACT 54" X 77"</b> <b>ELEVATIONS</b>		
<small>DRAWN:</small> <b>N.G.</b>	<small>DWG NO.</small> <b>08-02538</b>	<small>REV</small> <b>A</b>
<small>SCALE</small> NTS	<small>DATE</small> 11/17/14	<small>SHEET</small> 2 OF 7

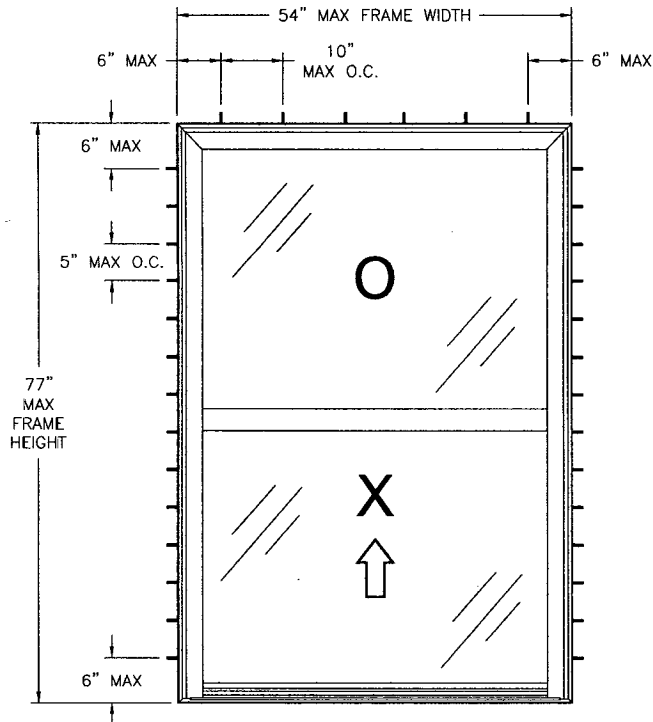
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**SERIES 176 SH VINYL SINGLE HUNG WINDOW**  
 EXTERIOR VIEW  
 THROUGH FRAME INSTALLATION  
 FOR MASONRY AND METAL STRUCTURE




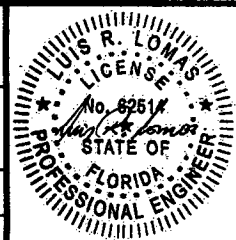
**SERIES 176 SH VINYL SINGLE HUNG WINDOW**  
 EXTERIOR VIEW  
 THROUGH FRAME INSTALLATION  
 FOR WOOD FRAMING

DESIGN PRESSURE RATING	IMPACT RATING
+70.0/-85.0PSF	LARGE MISSILE IMPACT

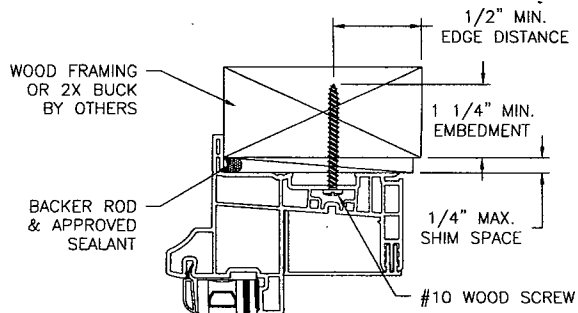
MISSILE LEVEL D, WIND ZONE 4 AND HVHZ

SIGNED: 06/24/2015

 <b>Eastern</b> <small>ARCHITECTURAL SYSTEMS</small> <b>ALUMINUM AND VINYL</b> <small>IMPACT WINDOWS AND DOORS</small>		<small>EASTERN ARCHITECTURAL SYSTEMS          A DIVISION OF          EASTERN METAL SUPPLY          16341 DOMESTIC AVE          FORT MYERS, FLORIDA 33912          800-432-2204</small>
<b>SERIES 176 SH VINYL SINGLE HUNG WINDOW</b> IMPACT 54" X 77" ELEVATIONS		
DRAWN: N.G.	DWG NO. 08-02538	REV A
SCALE NTS	DATE 11/17/14	SHEET 3 OF 7

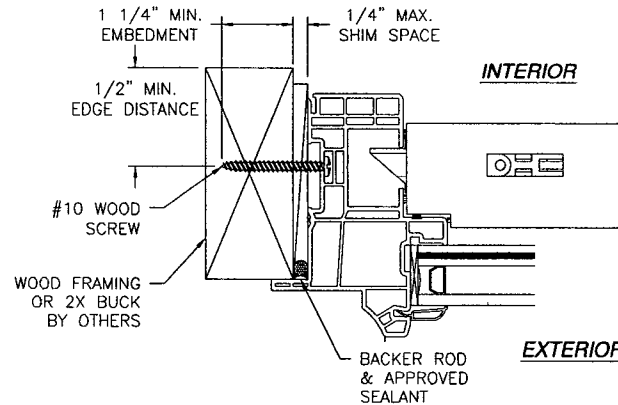


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**EXTERIOR**

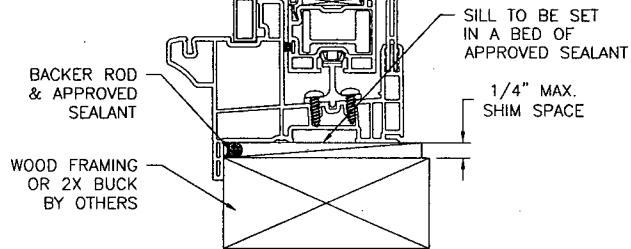
**INTERIOR**



**INTERIOR**

**EXTERIOR**

**JAMB INSTALLATION DETAIL**  
WOOD FRAMING OR 2X BUCK INSTALLATION

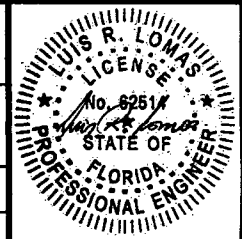


**VERTICAL CROSS SECTION**  
WOOD FRAMING OR 2X BUCK INSTALLATION

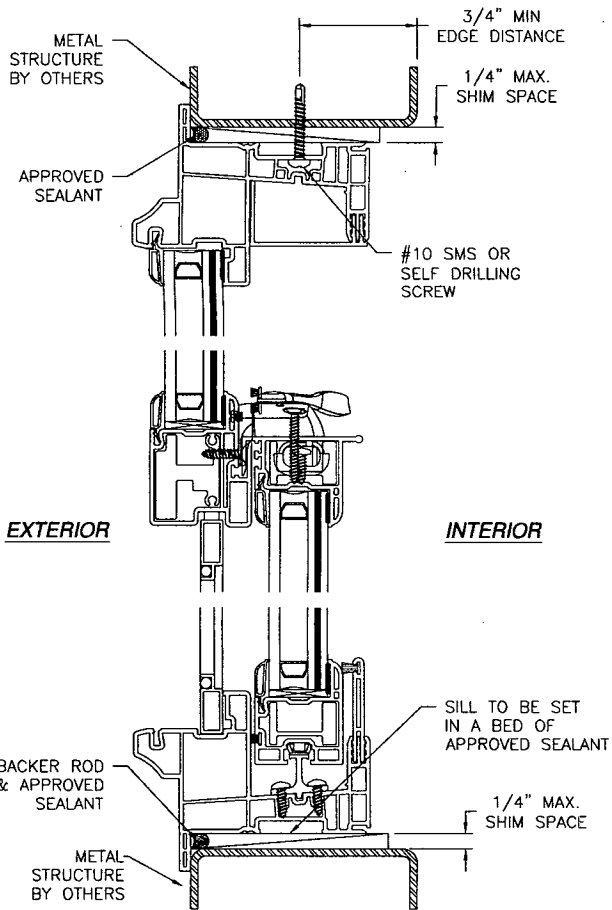
- NOTES:**
1. INTERIOR AND EXTERIOR FINISHES, BY OTHERS, NOT SHOWN FOR CLARITY.
  2. PERIMETER AND JOINT SEALANT BY OTHERS TO BE DESIGNED IN ACCORDANCE WITH ASTM E2112

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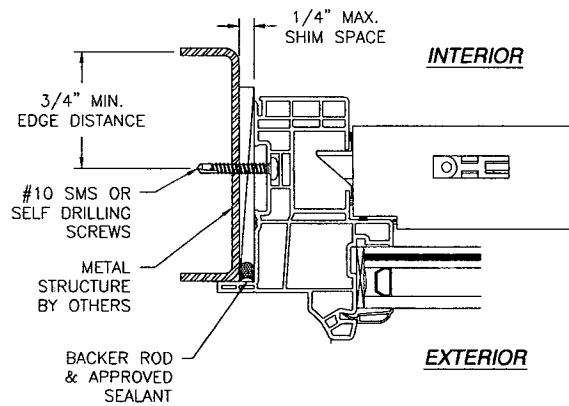
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<b>SERIES 176 SH VINYL SINGLE HUNG WINDOW</b> IMPACT 54" X 77" INSTALLATION DETAILS			
DRAWN:		DWG NO.	
N.G.		08-02538	
SCALE NTS		DATE 11/17/14	SHEET 4 OF 7
		REV	A



REVISIONS			
REV	DESCRIPTION	DATE	APPROVED
A	REVISED INSTALLATION DETAILS	06/23/15	R.L.




**VERTICAL CROSS SECTION**  
METAL STRUCTURE INSTALLATION

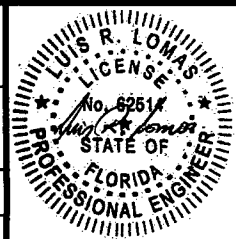


**JAMB INSTALLATION DETAIL**  
METAL STRUCTURE INSTALLATION

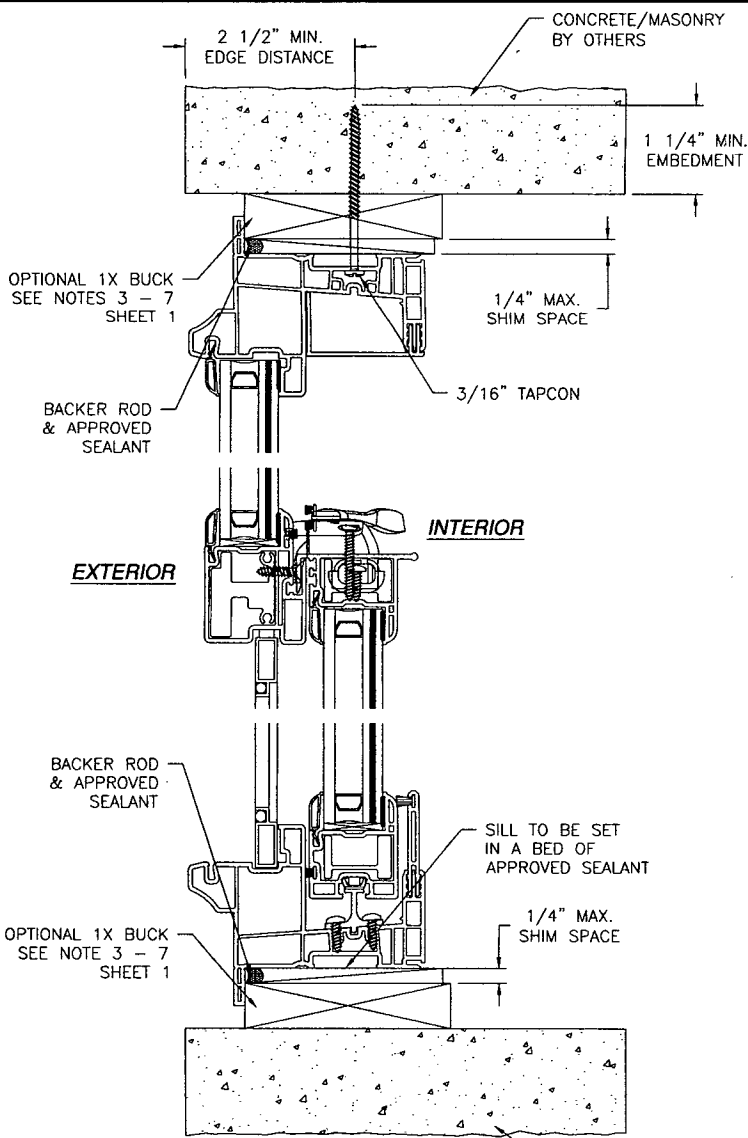
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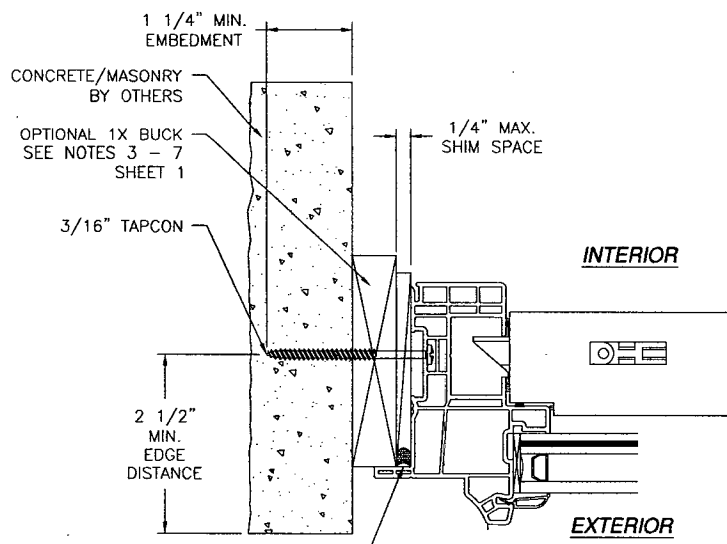
		EASTERN ARCHITECTURAL SYSTEMS A DIVISION OF EASTERN METAL SUPPLY 16341 DOMESTIC AVE. FORT MYERS, FLORIDA 33912 800-432-2204	
<b>SERIES 176 SH VINYL SINGLE HUNG WINDOW</b> IMPACT 54" X 77" INSTALLATION DETAILS			
DRAWN: N.G.	DWG NO. 08-02538	REV A	
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**VERTICAL CROSS SECTION**  
CONCRETE/MASONRY INSTALLATION

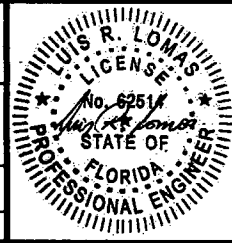


**JAMB INSTALLATION DETAIL**  
CONCRETE/MASONRY INSTALLATION

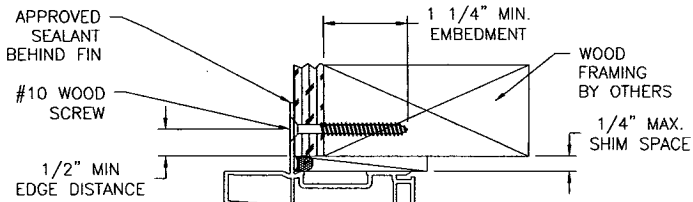
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  2. PERIMETER AND JOINT SEALANT BY OTHERS TO BE DESIGNED IN ACCORDANCE WITH ASTM E2112

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<b>SERIES 176 SH VINYL SINGLE HUNG WINDOW</b> <b>IMPACT 54" X 77"</b> <b>INSTALLATION DETAILS</b>			
<small>DRAWN:</small> <b>N.G.</b>	<small>DWG NO.</small> <b>08-02538</b>	<small>REV</small> <b>A</b>	
<small>SCALE</small> <b>N.TS</b>	<small>DATE</small> <b>11/17/14</b>	<small>SHEET</small> <b>6 OF 7</b>	

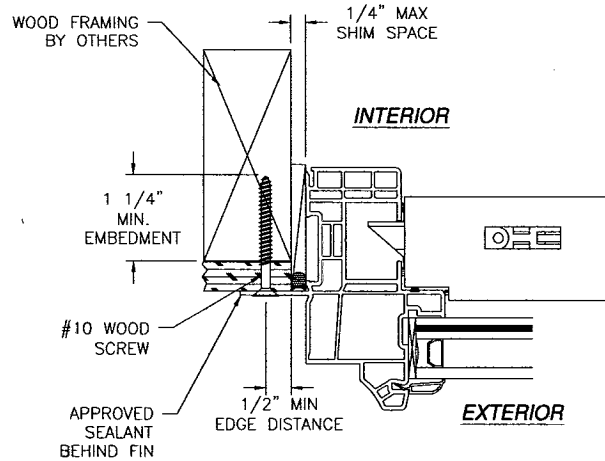


REVISIONS			
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A	REVISED INSTALLATION DETAILS	06/23/15	R.L.



EXTERIOR

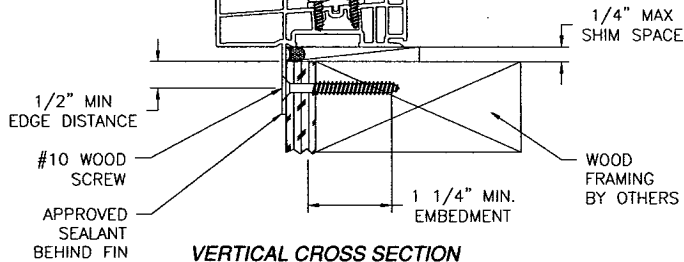
INTERIOR



INTERIOR

EXTERIOR

**JAMB INSTALLATION DETAIL**  
WOOD FRAMING OR 2X BUCK INSTALLATION

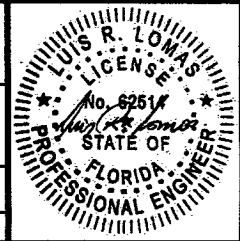


**VERTICAL CROSS SECTION**  
WOOD FRAMING OR 2X BUCK INSTALLATION

- NOTES:
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  2. PERIMETER AND JOINT SEALANT BY OTHERS TO BE DESIGNED IN ACCORDANCE WITH ASTM E212

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<b>SERIES 176 SH VINYL SINGLE HUNG WINDOW</b> <b>IMPACT 54" X 77"</b> <b>INSTALLATION DETAILS</b>			
<small>DRAWN:</small> N.G.	<small>DWG NO.</small> 08-02538	<small>REV</small> A	
<small>SCALE</small> NTS	<small>DATE</small> 11/17/14	<small>SHEET</small> 7 OF 7	







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Florida Department of  
Business & Professional  
Regulation



**Product Approval**  
USER: Public User

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Product Approval Menu > Product or Application Search > Application List > Application Detail



FL #	FL15180-R0																
Application Type	New																
Code Version	2010																
Application Status	Approved																
Comments																	
Archived	<input type="checkbox"/>																
Product Manufacturer Address/Phone/Email	Plastpro Inc. / Nanya Plastics Corp. 5200 W CENTURY BLVD. LOS ANGELES, CA 90045 (440) 969-9773 Ext 16 rickw@rwbdgconsultants.com																
Authorized Signature	Vivian Wright rickw@rwbdgconsultants.com																
Technical Representative Address/Phone/Email	Scott Johnson 5200 W Century Blvd. Los Angeles, CA 90045 (440) 969-9773 Ext 18 scottjohnson@plastproinc.com																
Quality Assurance Representative Address/Phone/Email	Ron O'Connell 5200 W Century Blvd. Los Angeles, CA 90045 (440) 969-9773 Ext 16 ronoconnell@plastpro.com																
Category	Exterior Doors																
Subcategory	Swinging Exterior Door Assemblies																
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received																
Florida Engineer or Architect Name who developed the Evaluation Report	Lyndon F. Schmidt, P.E.																
Florida License	PE-43409																
Quality Assurance Entity	National Accreditation and Management Institute																
Quality Assurance Contract Expiration Date	12/31/2018																
Validated By	Ryan J. King, P.E. <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received																
Certificate of Independence	<a href="#">FL15180 R0 COI Certificate Of Independence.pdf</a>																
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th>Standard</th> <th>Year</th> </tr> </thead> <tbody> <tr> <td>ASTM D1929</td> <td>1996</td> </tr> <tr> <td>ASTM D2843</td> <td>1999</td> </tr> <tr> <td>ASTM D635</td> <td>1998</td> </tr> <tr> <td>ASTM D638</td> <td>2003</td> </tr> <tr> <td>ASTM E84</td> <td>2005</td> </tr> <tr> <td>ASTM G26</td> <td>1995</td> </tr> <tr> <td>TAS 201, 202, 203</td> <td>1994</td> </tr> </tbody> </table>	Standard	Year	ASTM D1929	1996	ASTM D2843	1999	ASTM D635	1998	ASTM D638	2003	ASTM E84	2005	ASTM G26	1995	TAS 201, 202, 203	1994
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ASTM D638	2003																
ASTM E84	2005																
ASTM G26	1995																
TAS 201, 202, 203	1994																

<p><b>Limits of Use</b>  <b>Approved for use in HVHZ:</b> Yes  <b>Approved for use outside HVHZ:</b> Yes  <b>Impact Resistant:</b> Yes  <b>Design Pressure:</b> N/A  <b>Other:</b> See INST 15180.5 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.</p>		<p><b>Installation Instructions</b>  <a href="#">FL15180_RO_II_Inst_15180.5.pdf</a>                  Verified By: Lyndon F. Schmidt, P.E. 43409                  Created by Independent Third Party: Yes  <b>Evaluation Reports</b>  <a href="#">FL15180_RO_AE_EVAL_15180.5.pdf</a>                  Created by Independent Third Party: Yes</p>
<p>15180.6</p>	<p>f. Smooth/Wood Grain Series N Fiberglass Door</p>	<p>8'0 "Impact" Glazed Fiberglass Single Door - Outswing (X - Configuration)</p>
<p><b>Limits of Use</b>  <b>Approved for use in HVHZ:</b> Yes  <b>Approved for use outside HVHZ:</b> Yes  <b>Impact Resistant:</b> Yes  <b>Design Pressure:</b> N/A  <b>Other:</b> See INST 15180.6 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.</p>		<p><b>Installation Instructions</b>  <a href="#">FL15180_RO_II_Inst_15180.6.pdf</a>                  Verified By: Lyndon F. Schmidt, P.E. 43409                  Created by Independent Third Party: Yes  <b>Evaluation Reports</b>  <a href="#">FL15180_RO_AE_EVAL_15180.6.pdf</a>                  Created by Independent Third Party: Yes</p>
<p>15180.7</p>	<p>g. Smooth/Wood Grain Series N Fiberglass Door</p>	<p>8'0 "Impact" Glazed Fiberglass Single Door with "Impact" Sidelite - Outswing (OX or XO - Configuration)</p>
<p><b>Limits of Use</b>  <b>Approved for use in HVHZ:</b> Yes  <b>Approved for use outside HVHZ:</b> Yes  <b>Impact Resistant:</b> Yes  <b>Design Pressure:</b> N/A  <b>Other:</b> See INST 15180.7 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.</p>		<p><b>Installation Instructions</b>  <a href="#">FL15180_RO_II_Inst_15180.7.pdf</a>                  Verified By: Lyndon F. Schmidt, P.E. 43409                  Created by Independent Third Party: Yes  <b>Evaluation Reports</b>  <a href="#">FL15180_RO_AE_EVAL_15180.7.pdf</a>                  Created by Independent Third Party: Yes</p>
<p>15180.8</p>	<p>h. Smooth/Wood Grain Series N Fiberglass Door</p>	<p>8'0 "Impact" Glazed Fiberglass Single Door with "Impact" Sidelites - Outswing (OXO - Configuration)</p>
<p><b>Limits of Use</b>  <b>Approved for use in HVHZ:</b> Yes  <b>Approved for use outside HVHZ:</b> Yes  <b>Impact Resistant:</b> Yes  <b>Design Pressure:</b> N/A  <b>Other:</b> See INST 15180.8 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.</p>		<p><b>Installation Instructions</b>  <a href="#">FL15180_RO_II_Inst_15180.8.pdf</a>                  Verified By: Lyndon F. Schmidt, P.E. 43409                  Created by Independent Third Party: Yes  <b>Evaluation Reports</b>  <a href="#">FL15180_RO_AE_EVAL_15180.8.pdf</a>                  Created by Independent Third Party: Yes</p>
<p>15180.9</p>	<p>i. Smooth/Wood Grain Series N Fiberglass Door</p>	<p>8'0 "Impact" Glazed Fiberglass Double Door - Outswing (XX - Configuration)</p>
<p><b>Limits of Use</b>  <b>Approved for use in HVHZ:</b> Yes  <b>Approved for use outside HVHZ:</b> Yes  <b>Impact Resistant:</b> Yes  <b>Design Pressure:</b> N/A  <b>Other:</b> See INST 15180.9 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.</p>		<p><b>Installation Instructions</b>  <a href="#">FL15180_RO_II_Inst_15180.9.pdf</a>                  Verified By: Lyndon F. Schmidt, P.E. 43409                  Created by Independent Third Party: Yes  <b>Evaluation Reports</b>  <a href="#">FL15180_RO_AE_EVAL_15180.9.pdf</a>                  Created by Independent Third Party: Yes</p>
<p>15180.10</p>	<p>j. Smooth/Wood Grain Series N Fiberglass Door</p>	<p>8'0 "Impact" Glazed Fiberglass Double Door with "Impact" Sidelites - Outswing (OXXO - Configuration)</p>
<p><b>Limits of Use</b>  <b>Approved for use in HVHZ:</b> Yes  <b>Approved for use outside HVHZ:</b> Yes  <b>Impact Resistant:</b> Yes  <b>Design Pressure:</b> N/A  <b>Other:</b> See INST 15180.10 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.</p>		<p><b>Installation Instructions</b>  <a href="#">FL15180_RO_II_Inst_15180.10.pdf</a>                  Verified By: Lyndon F. Schmidt, P.E. 43409                  Created by Independent Third Party: Yes  <b>Evaluation Reports</b>  <a href="#">FL15180_RO_AE_EVAL_15180.10.pdf</a>                  Created by Independent Third Party: Yes</p>
<p>15180.11</p>	<p>k. Smooth/Wood Grain/Rustic/Mahogany Series N Fiberglass Door</p>	<p>6'8 "Impact" Opaque Fiberglass Single Door - Inswing/Outswing (X - Configuration)</p>
<p><b>Limits of Use</b>  <b>Approved for use in HVHZ:</b> Yes  <b>Approved for use outside HVHZ:</b> Yes  <b>Impact Resistant:</b> Yes  <b>Design Pressure:</b> N/A  <b>Other:</b> See INST 15180.11 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.</p>		<p><b>Installation Instructions</b>  <a href="#">FL15180_RO_II_Inst_15180.11.pdf</a>                  Verified By: Lyndon F. Schmidt, P.E. 43409                  Created by Independent Third Party: Yes  <b>Evaluation Reports</b>  <a href="#">FL15180_RO_AE_EVAL_15180.11.pdf</a>                  Created by Independent Third Party: Yes</p>
<p>15180.12</p>	<p>l. Smooth/Wood Grain/Rustic/Mahogany Series N Fiberglass Door</p>	<p>6'8 "Impact" Opaque Fiberglass Single Door with "Impact" Sidelite - Outswing (OX or XO - Configuration)</p>

<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> N/A <b>Other:</b> See INST 15180.5 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.		<b>Installation Instructions</b> <a href="#">FL15180_R0_II_Inst_15180.5.pdf</a> Verified By: Lyndon F. Schmidt, P.E. 43409 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL15180_R0_AE_EVAL_15180.5.pdf</a> Created by Independent Third Party: Yes
15180.6	f. Smooth/Wood Grain Series N Fiberglass Door	8'0 "Impact" Glazed Fiberglass Single Door - Outswing (X - Configuration)
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> N/A <b>Other:</b> See INST 15180.6 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.		<b>Installation Instructions</b> <a href="#">FL15180_R0_II_Inst_15180.6.pdf</a> Verified By: Lyndon F. Schmidt, P.E. 43409 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL15180_R0_AE_EVAL_15180.6.pdf</a> Created by Independent Third Party: Yes
15180.7	g. Smooth/Wood Grain Series N Fiberglass Door	8'0 "Impact" Glazed Fiberglass Single Door with "Impact" Sidelite - Outswing (OX or XO - Configuration)
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> N/A <b>Other:</b> See INST 15180.7 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.		<b>Installation Instructions</b> <a href="#">FL15180_R0_II_Inst_15180.7.pdf</a> Verified By: Lyndon F. Schmidt, P.E. 43409 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL15180_R0_AE_EVAL_15180.7.pdf</a> Created by Independent Third Party: Yes
15180.8	h. Smooth/Wood Grain Series N Fiberglass Door	8'0 "Impact" Glazed Fiberglass Single Door with "Impact" Sidelites - Outswing (OXO - Configuration)
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> N/A <b>Other:</b> See INST 15180.8 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.		<b>Installation Instructions</b> <a href="#">FL15180_R0_II_Inst_15180.8.pdf</a> Verified By: Lyndon F. Schmidt, P.E. 43409 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL15180_R0_AE_EVAL_15180.8.pdf</a> Created by Independent Third Party: Yes
15180.9	i. Smooth/Wood Grain Series N Fiberglass Door	8'0 "Impact" Glazed Fiberglass Double Door - Outswing (XX - Configuration)
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> N/A <b>Other:</b> See INST 15180.9 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.		<b>Installation Instructions</b> <a href="#">FL15180_R0_II_Inst_15180.9.pdf</a> Verified By: Lyndon F. Schmidt, P.E. 43409 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL15180_R0_AE_EVAL_15180.9.pdf</a> Created by Independent Third Party: Yes
15180.10	j. Smooth/Wood Grain Series N Fiberglass Door	8'0 "Impact" Glazed Fiberglass Double Door with "Impact" Sidelites - Outswing (OXXO - Configuration)
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> N/A <b>Other:</b> See INST 15180.10 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.		<b>Installation Instructions</b> <a href="#">FL15180_R0_II_Inst_15180.10.pdf</a> Verified By: Lyndon F. Schmidt, P.E. 43409 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL15180_R0_AE_EVAL_15180.10.pdf</a> Created by Independent Third Party: Yes
15180.11	k. Smooth/Wood Grain/Rustic/Mahogany Series N Fiberglass Door	6'8 "Impact" Opaque Fiberglass Single Door - Inswing/Outswing (X - Configuration)
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> N/A <b>Other:</b> See INST 15180.11 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.		<b>Installation Instructions</b> <a href="#">FL15180_R0_II_Inst_15180.11.pdf</a> Verified By: Lyndon F. Schmidt, P.E. 43409 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL15180_R0_AE_EVAL_15180.11.pdf</a> Created by Independent Third Party: Yes
15180.12	l. Smooth/Wood Grain/Rustic/Mahogany Series N Fiberglass Door	6'8 "Impact" Opaque Fiberglass Single Door with "Impact" Sidelite - Outswing (OX or XO - Configuration)

Front Entry and Side-lites



5200 W. CENTURY BLVD.  
LOS ANGELES, CA 90045

**Smooth / Wood Grain / White Wood Grain**  
**Rustic / Mahogany**  
**Series N Fiberglass Door**  
**OUTSWING**  
**"IMPACT"**

GENERAL NOTES

1. This product has been evaluated and is in compliance with the 2010 Florida Building Code (FBC) structural requirements including the "High Velocity Hurricane Zone" (HVHZ).
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
3. When used in the "HVHZ" this product complies with section 1626 of the Florida Building Code and does not require an impact resistant covering.
4. When used in areas outside of the "HVHZ" requiring wind borne debris protection this product complies with Section 1609.1.2 of the 2010 FBC and does not require an impact resistant covering. This product meets missile level "D" and includes Wind Zone 4 as defined in ASTM E1996 and Section 1609.1.2.4 of the FBC.
5. For 2x stud framing construction, anchoring of these units shall be the same as that shown for 2x buck masonry construction.
6. Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.
7. This product meets water infiltration requirements for "HVHZ".

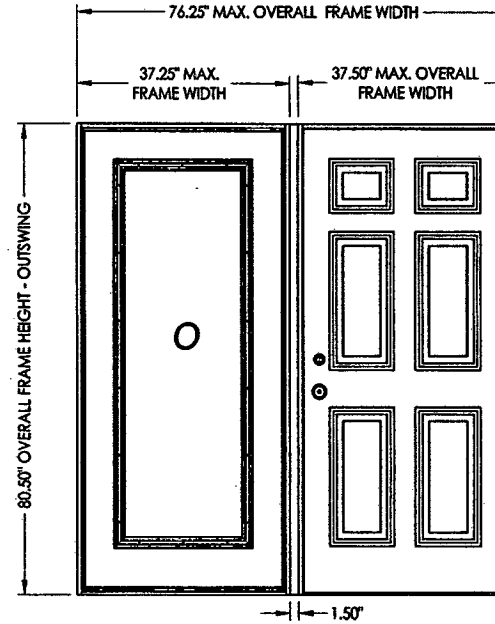


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SHEET #	DESCRIPTION
1	Typical elevation, design pressures, & general notes
2	Door panel details
3	Side-lite panel details and glazing detail
4	Horizontal cross sections
5	Vertical cross sections
6	Vertical cross sections
7	Buck anchoring
8	Frame anchoring
9	Bill of materials and components

OVERALL FRAME DIMENSION	OVERALL D.L.O. DIMENSION	GLASS TYPE	DESIGN PRESSURE (PSF)	
			POSITIVE	NEGATIVE
76.25" X 80.50"	20.50" X 62.63"	G1	+50.0	-50.0

Documents Prepared By: **RW**  
BUILDING CONSULTANTS, INC.  
P.O. Box 230 Valrico FL 33595  
Phone No.: 813.659.9197  
Florida Board of Professional Engineers  
Certificate Of Authorization No. 9813  
**RW** 2-27-12  
Lyndon F. Schmidt, P.E. No. 43409

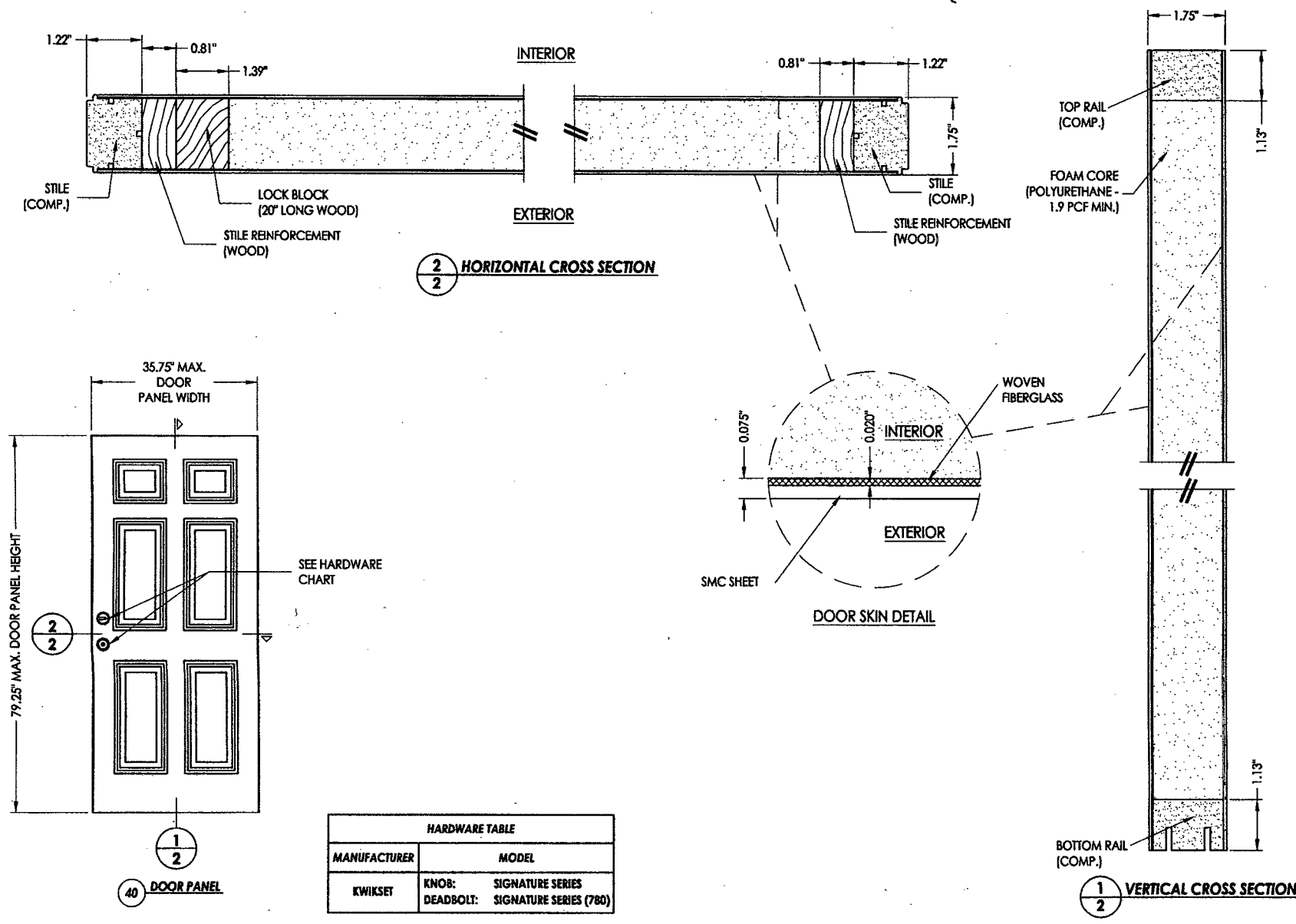
PRODUCT: PLASTPRO INC. FIBERGLASS DOOR  
PART OR ASSEMBLY:  
TYPICAL ELEVATION, DESIGN PRESSURES & GENERAL NOTES

NO.	DATE	BY	REVISIONS

DATE: 02/21/12  
SCALE: N.T.S.  
DWG. BY: JK  
CHK. BY: LFS  
DRAWING NO.: FL-15180.12  
SHEET 1 OF 9

RVA - Projects\Project Folders\Proj\_1601\_1700\PE\_1697AD\_RWBC\_Drawing\FL-15180.12-20.dwg, FL-15180.12

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**2/2 HORIZONTAL CROSS SECTION**

**DOOR SKIN DETAIL**

**1/2 VERTICAL CROSS SECTION**

**1/2 DOOR PANEL**

HARDWARE TABLE	
MANUFACTURER	MODEL
KWIKSET	KNOB: SIGNATURE SERIES DEADBOLT: SIGNATURE SERIES (780)

SEE HARDWARE CHART

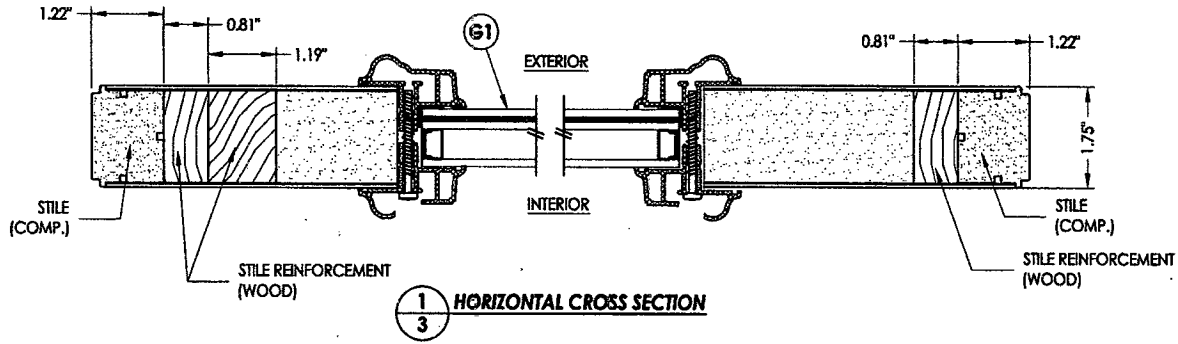
Documents Prepared By: **RW** BUILDING CONSULTANTS, INC.  
 P.O. Box 230 Vairoco FL 33595  
 Phone No.: 813.659.8187  
 Florida Board of Professional Engineers  
 Certificate of Authorization, No. 9813  
 Lyndon F. Schmidt, P.E. No. 43409

DATE: 02/21/12  
 SCALE: N.T.S.  
 DWG. BY: JK  
 CHK. BY: LFS  
 DRAWING NO.: FL-15180.12  
 SHEET 2 OF 9

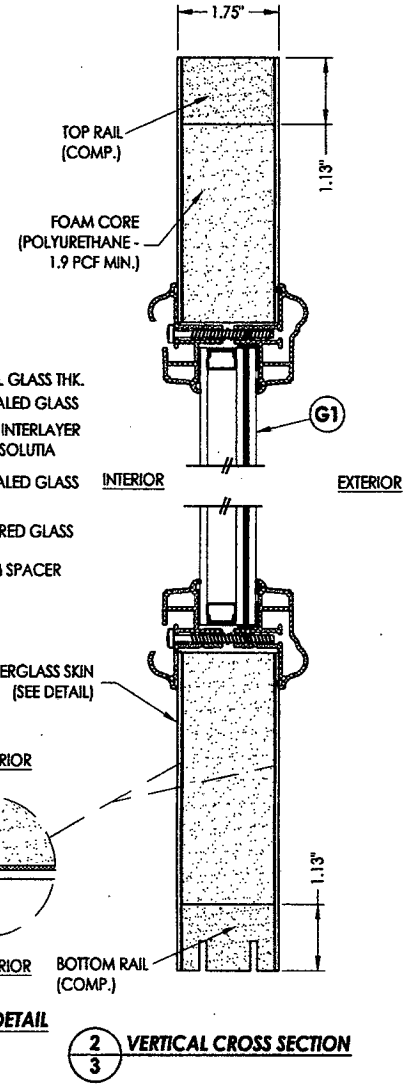
NO.	DATE	BY	REVISIONS

PRODUCT: PLASTPRO INC. FIBERGLASS DOOR  
 PART OR ASSEMBLY: DOOR PANEL DETAILS

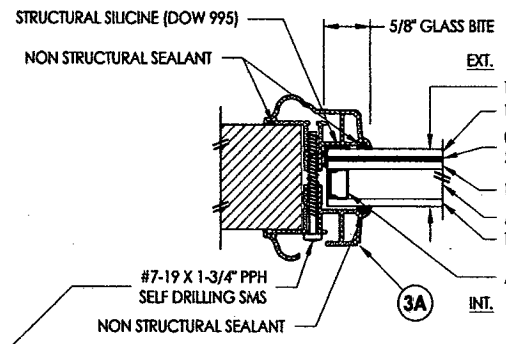
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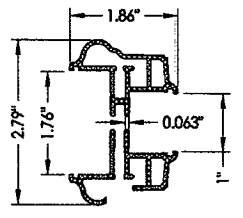
**1**  
**3** HORIZONTAL CROSS SECTION



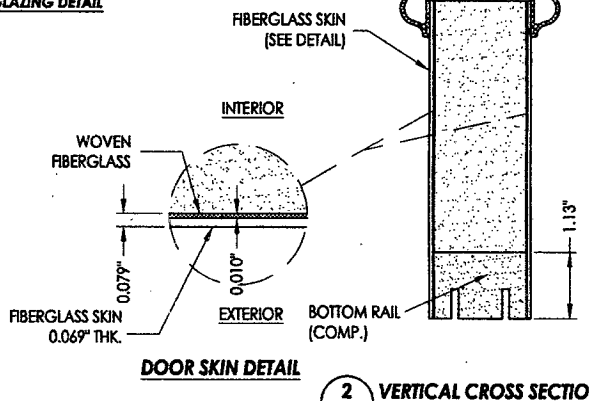
**2**  
**3** VERTICAL CROSS SECTION



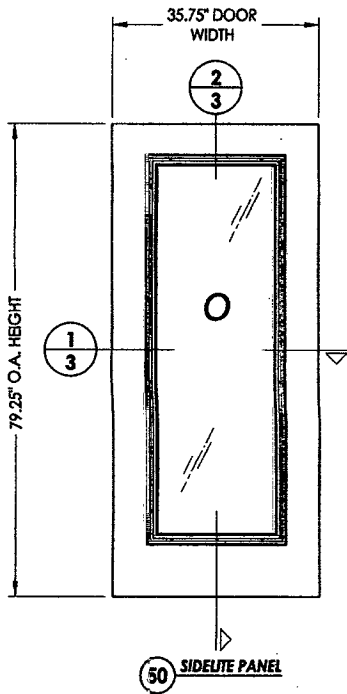
**G1** GLAZING DETAIL



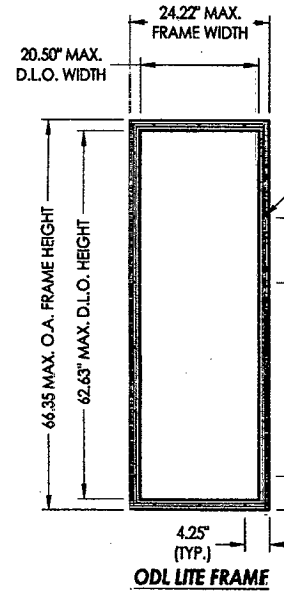
**3A** ODL LITE FRAME (Alum.)



DOOR SKIN DETAIL



**50** SIDELITE PANEL



ODL LITE FRAME

Documents Prepared By: **RW** BUILDING CONSULTANTS, INC.  
 P.O. Box 230 Vero Beach, FL 33595  
 Phone No.: 813.859.8187  
 Florida Board of Professional Engineers  
 Certificate of Authorization No. 9813  
 Lyndon F. Schmidt, P.E. No. 43409

PRODUCT: **PLASTPRO INC. FIBERGLASS DOOR**  
 PART OR ASSEMBLY: **SIDELITE PANEL DETAILS AND GLAZING DETAIL**

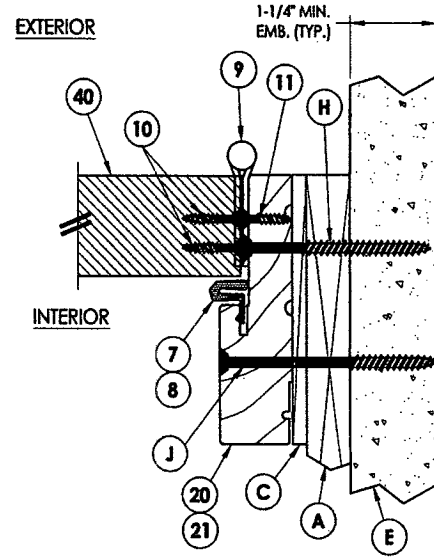
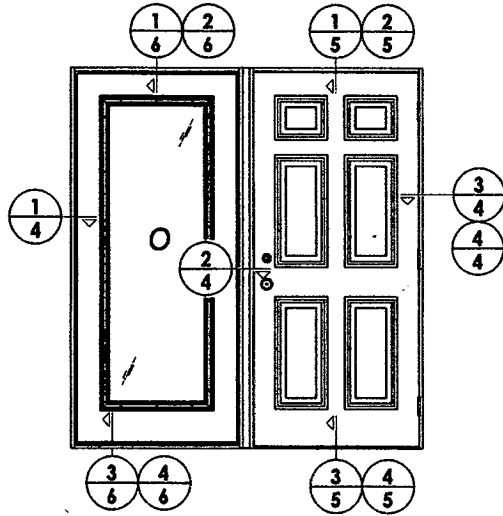
NO.	DATE	BY	REVISIONS

DATE: 02/21/12  
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 DWG. BY: JK  
 CHK. BY: LFS  
 DRAWING NO.: FL-15180.12  
 SHEET 3 OF 9

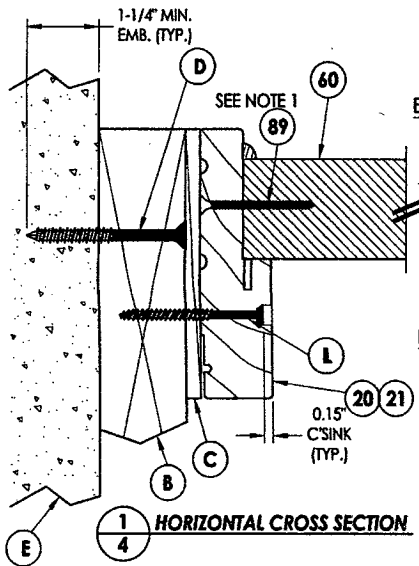
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**NOTE**

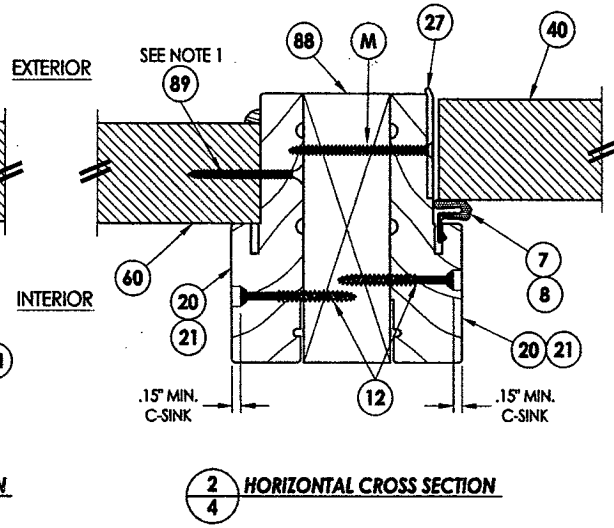
1. SIDELITE PANELS ANCHORED TO FRAME 6" FROM TOP OF FRAME THEN 10" ON CENTER. 8 SCREWS TOTAL EACH JAMB.



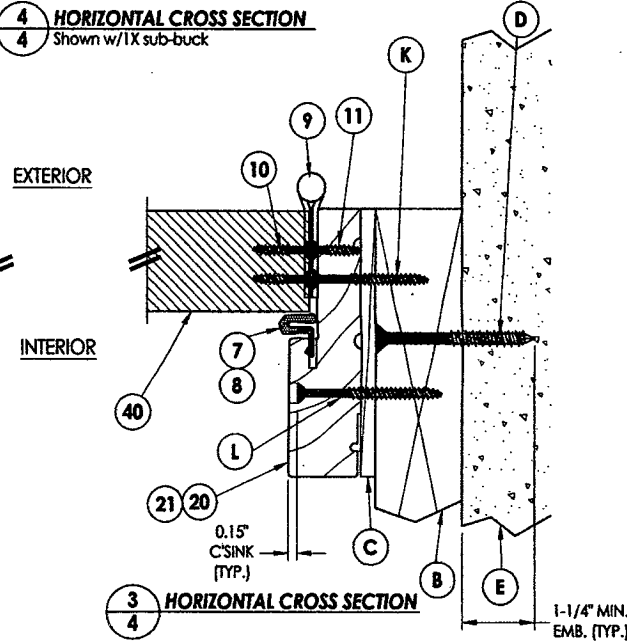
**4** HORIZONTAL CROSS SECTION  
4 Shown w/IX sub-buck



**1** HORIZONTAL CROSS SECTION  
4



**2** HORIZONTAL CROSS SECTION  
4



**3** HORIZONTAL CROSS SECTION  
4

Documents Prepared By: **RW** BUILDING CONSULTANTS, INC.  
P.O. Box 230 Volrico FL 33995  
Phone No.: 813.899.9197  
Florida Board of Professional Engineers  
Certificate Of Authorization No. 9813  
Lynden F. Schmidt, P.E. No. 43409

PRODUCT: PLASTIPRO INC. FIBERGLASS DOOR PART OR ASSEMBLY

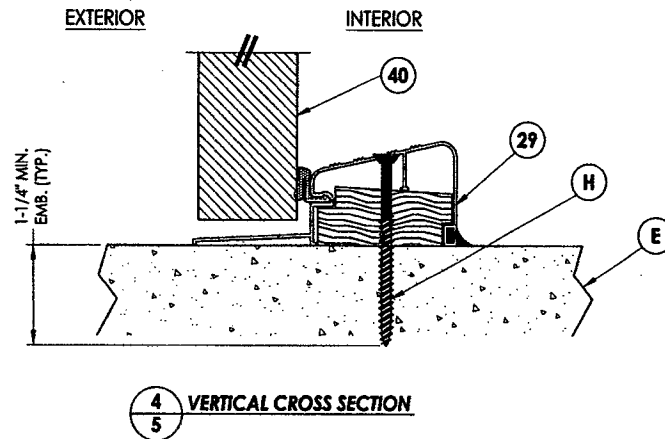
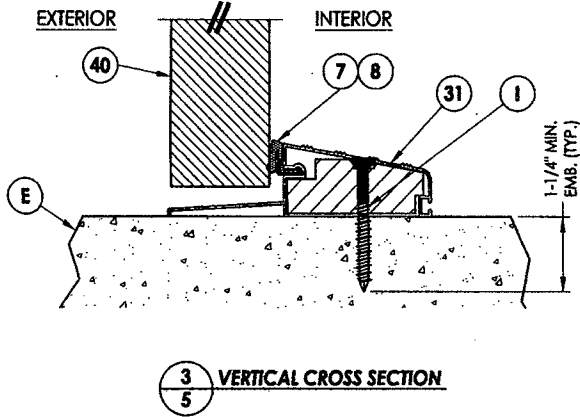
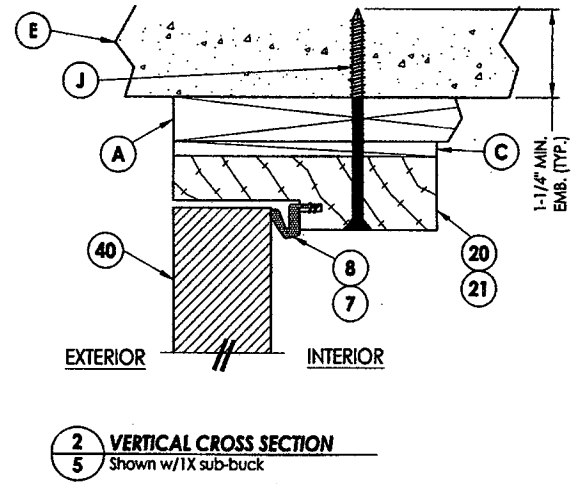
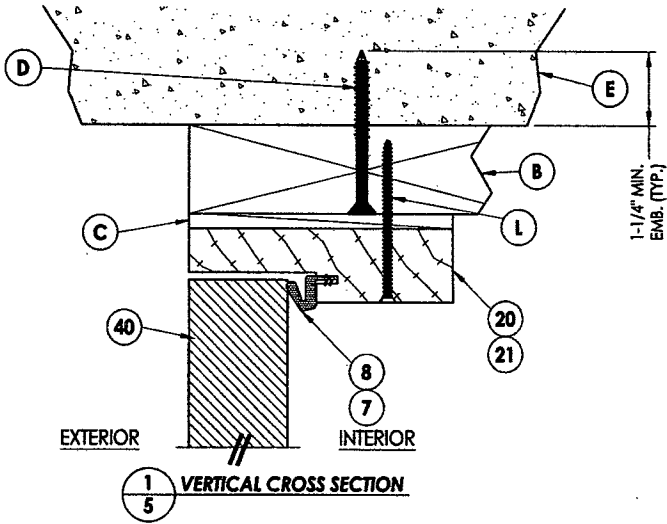
NO. DATE BY

REVISIONS

DATE: 02/21/12  
SCALE: N.T.S.  
DWG. BY: JK  
CHK. BY: LFS  
DRAWING NO.: FL-15180.12  
SHEET 4 OF 9

HORIZONTAL CROSS SECTIONS

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Documents Prepared By:  
**RW** BUILDING CONSULTANTS, INC.  
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 Phone No.: 813.659.8187  
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 Certificate of Authorization No. 9813  
 Lyndon F. Schmitt, P.E. No. 43409

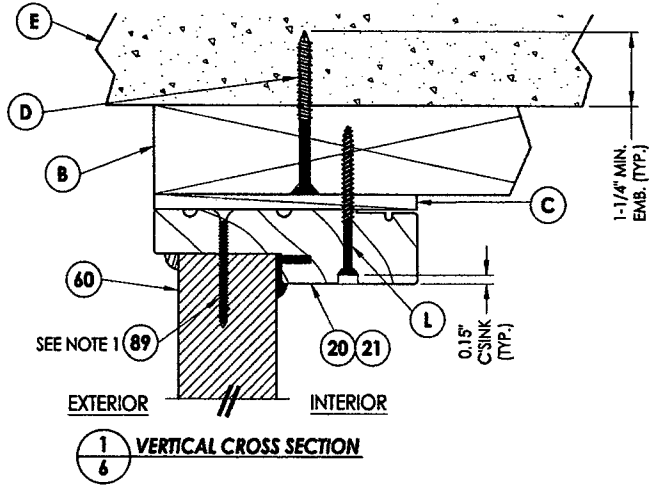
PRODUCT: **PLASTPRO INC. FIBERGLASS DOOR**  
 PART OR ASSEMBLY: **VERTICAL CROSS SECTIONS**

NO.	DATE	BY	REVISIONS

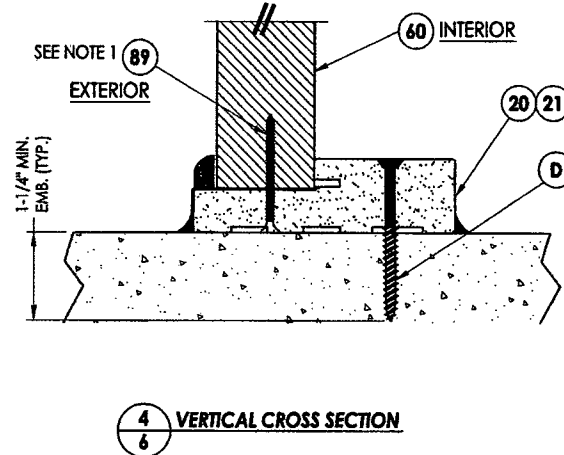
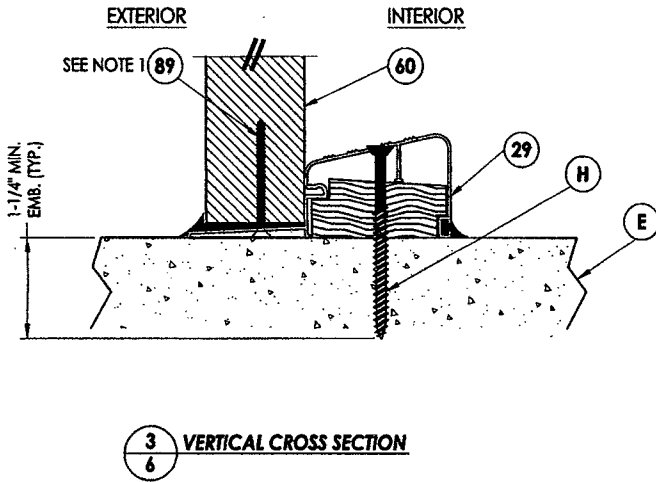
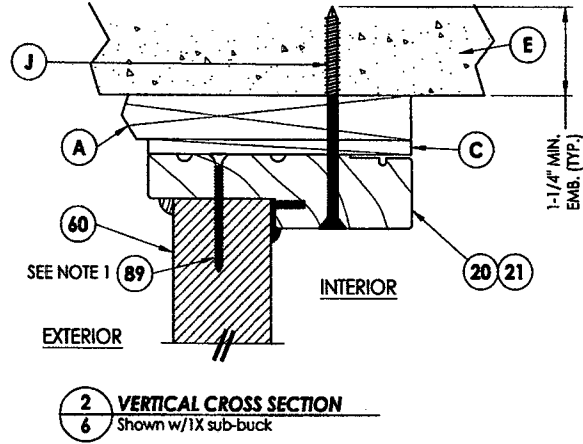
DATE: 02/21/12  
 SCALE: N.T.S.  
 DWG. BY: JK  
 CHK. BY: LFS  
 DRAWING NO.: FL-15180.12  
 SHEET 5 OF 9

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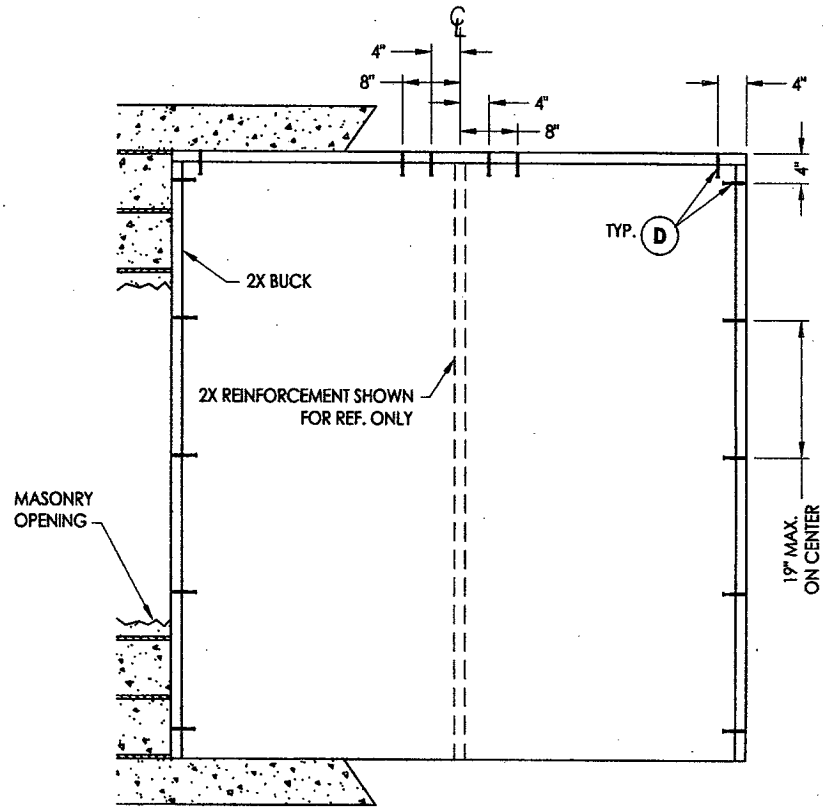




**NOTE**  
1. SIDELITE PANELS ANCHORED TO FRAME 6" FROM EACH END AND AT CENTERLINE.



Documents Prepared By: <b>R.W.</b> BUILDING CONSULTANTS, INC. P.O. Box 230 Vairolo FL 33595 Phone No.: 813.659.9197 Florida Board of Professional Engineers Certificate of Authorization No. 9813 <i>LFS</i> 2-23-12 Lyndon F. Schmidt, P.E. No. 43409	
PRODUCT: PLASTPRO INC. FIBERGLASS DOOR	VERTICAL CROSS SECTIONS
PART OR ASSEMBLY:	BY
NO.	DATE
REVISIONS	
DATE: 02/21/12	
SCALE: N.T.S.	
DWG. BY: JK	
CHK. BY: LFS	
DRAWING NO.: FL-15180.12	
SHEET 6 of 9	



**BUCK ANCHORING**

**CONCRETE ANCHOR NOTES:**

1. Substitution of equal concrete anchors from a different supplier may have different edge distance and center distance requirements.
2. Concrete anchor locations at the corners may be adjusted to maintain the min. edge distance to mortar joints. Concrete anchor locations noted as "MAX. ON CENTER" must be adjusted to maintain the min. edge distance to mortar joints, additional concrete anchors may be required to ensure the "MAX. ON CENTER" dimension are not exceeded.
3. Concrete anchor table:

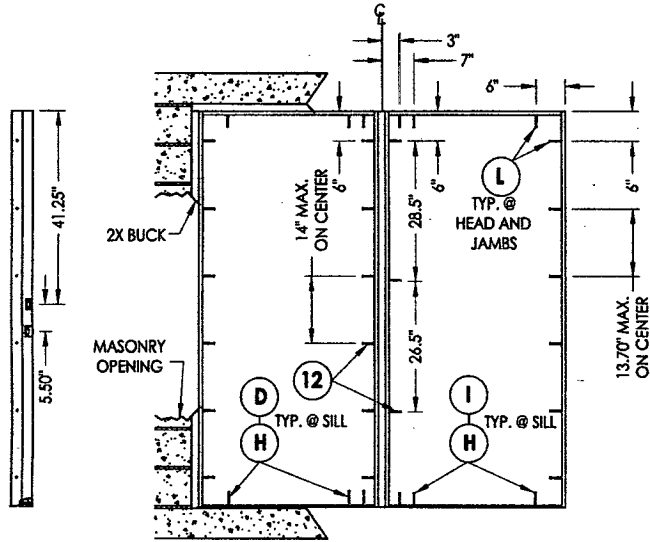
ANCHOR TYPE	ANCHOR SIZE	MIN. EMBEDMENT	MIN. CLEARANCE TO MASONRY EDGE	MIN. CLEARANCE TO ADJACENT ANCHOR
ITW	1/4"	1-1/4"	2-1/2"	3"
ELCO	1/4"	1-1/4"	1"	4"

Documents Prepared By:  
**RW** BUILDING CONSULTANTS, INC.  
 P.O. Box 230 Vero Beach, FL 33595  
 Phone No.: 813.659.8187  
 Florida Board of Professional Engineers  
 Certificate of Authorization No. 9813  
 Lyndon F. Schmidt, P.E. No. 43409

PRODUCT:  
 PLASTPRO INC.  
 FIBERGLASS DOOR  
 PART OR ASSEMBLY:  
 BUCK ANCHORING

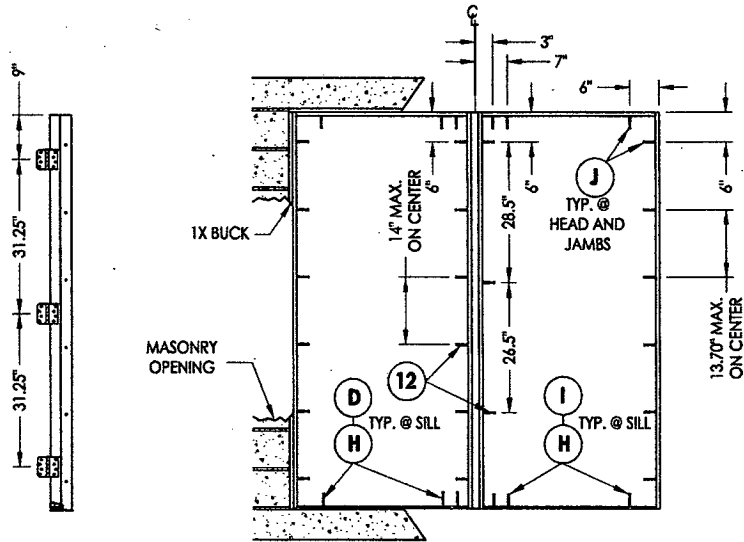
NO.	DATE	BY	REVISIONS

DATE: 02/21/12  
 SCALE: N.T.S.  
 DWG. BY: JK  
 CHK. BY: LFS  
 DRAWING NO.:  
 FL-15180.12  
 SHEET 7 of 9



**STRIKE JAMB**

**FRAME ANCHORING**  
Masonry 2X buck construction



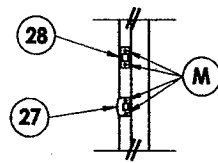
**HINGE JAMB**

**FRAME ANCHORING**  
Masonry 1X buck construction

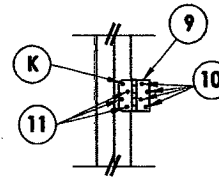
**CONCRETE ANCHOR NOTES:**

1. Substitution of equal concrete anchors from a different supplier may have different edge distance and center distance requirements.
2. Concrete anchor locations at the corners may be adjusted to maintain the min. edge distance to mortar joints. Concrete anchor locations noted as "MAX. ON CENTER" must be adjusted to maintain the min. edge distance to mortar joints, additional concrete anchors may be required to ensure the "MAX. ON CENTER" dimension are not exceeded.
3. Concrete anchor table:

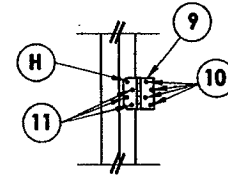
ANCHOR TYPE	ANCHOR SIZE	MIN. EMBEDMENT	MIN. CLEARANCE TO MASONRY EDGE	MIN. CLEARANCE TO ADJACENT ANCHOR
ITW	1/4"	1-1/4"	2-1/2"	3"
ELCO	1/4"	1-1/4"	1"	4"



**LATCH & DEADBOLT DETAIL**



**HINGE DETAIL**  
2X Buck



**HINGE DETAIL**  
1X Buck

Documents Prepared By:  
**RW** BUILDING CONSULTANTS, INC.  
 P.O. Box 230 Vero Beach FL 33585  
 Phone No.: 813.659.9187  
 Florida Board of Professional Engineers  
 Certificate Of Authorization No. 9813  
 6-23-12  
 Lynden F. Schmidt, P.E. No. 43409

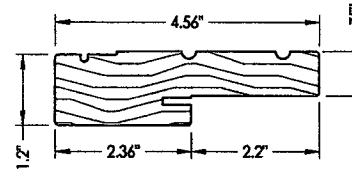
PRODUCT: PLASTPRO INC. FIBERGLASS DOOR  
 PART OR ASSEMBLY: FRAME ANCHORING

NO.	DATE	BY	REVISIONS

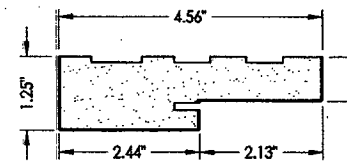
DATE: 02/21/12  
 SCALE: N.T.S.  
 DWG. BY: JK  
 CHK. BY: LFS  
 DRAWING NO.: FL-15180.12  
 SHEET 8 of 9

**BILL OF MATERIALS**

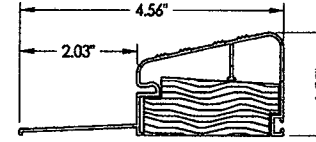
ITEM #	DESCRIPTION	MATERIAL
A	1X BUCK SG >= 0.55	WOOD
B	2X BUCK SG >= 0.55	WOOD
C	1/4" MAX. SHIM SPACE	-
D	1/4" X 2-3/4" ELCO OR ITW CONCRETE SCREW	STEEL
E	MASONRY - 3,192 PSI MIN. CONCRETE CONFORMING TO ACI 301 OR HOLLOW BLOCK CONFORMING TO ASTM C90	CONCRETE
H	1/4" x 3-1/4" PFH ELCO OR ITW CONCRETE SCREW	STEEL
I	1/4" X 2-1/4" PFH ELCO OR ITW CONCRETE SCREW	STEEL
J	1/4" X 3-3/4" PFH ELCO OR ITW CONCRETE SCREW	STEEL
K	#9 X 2-1/2" PFH WOOD SCREW	STEEL
L	#8 X 2-1/2" PFH WOOD SCREW	STEEL
M	#8 X 2" PFH WOOD SCREW	STEEL
7	FORCE 5 WEATHER STRIPPING BY ENDURA	FOAM
8	COMPRESSION WEATHER STRIP QLON 650 BY SCHLEGEL	FOAM
9	4" X 4" BUTT HINGE	STEEL
10	#9 X 1" PFH WOOD SCREW	STEEL
11	#9 X 3/4" PFH WOOD SCREW	STEEL
20	FINGER JOINTED PINE FRAME, HEAD & HINGE JAMBS	WOOD
21	POLY FIBER JAMB	COMP. / VINYL
27	LATCH STRIKE PLATE	STEEL
28	DEADBOLT STRIKE PLATE	STEEL
29	OUTSWING THRESHOLD BY DLP	ALUM./WOOD
31	OUTSWING BUMP THRESHOLD	ALUM.
40	DOOR PANEL - SEE DOOR PANEL DETAIL SHEET FOR CONSTRUCTION DETAILS	-
60	SIDELITE PANEL - SEE SIDELITE PANEL DETAIL SHEET FOR CONSTRUCTION DETAILS	-
88	2X REINFORCEMENT (CLEAR PINE) SG >= 0.49	WOOD
89	#7 X 2" PFH DRYWALL SCREW	STEEL



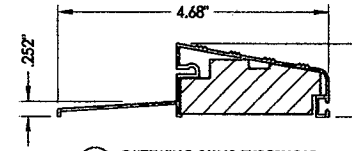
20 HEAD & SIDE Jamb



21 HEAD & SIDE Poly fiber jamb



29 OUTSWING THRESHOLD BY DLP



31 OUTSWING BUMP THRESHOLD

Documents Prepared By: **R.W.** BUILDING CONSULTANTS, INC.  
 P.O. Box 230 Vero Beach, FL 33585  
 Phone No.: 813.658.9197  
 Florida Board of Professional Engineers  
 Certificate Of Authorization No. 9813  
 L.F.S. 2.22.12  
 Lynden F. Schmidt, P.E. No. 43409

PRODUCT: PLASTPRO INC. FIBERGLASS DOOR  
 PART OR ASSEMBLY: BILL OF MATERIALS AND COMPONENTS

NO.	DATE	BY	REVISIONS

DATE: 02/21/12  
 SCALE: N.T.S.  
 DWG. BY: JK  
 CHK. BY: LFS  
 DRAWING NO.: FL-15180.12  
 SHEET 9 of 9

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NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 01-38-41-007-000-00240-5

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

LUCINDIA LOT 24 OR 351/1642 16 S Via Lucindia

GENERAL DESCRIPTION OF IMPROVEMENT: Replace existing patio windows with new acrylic windows, replace the front entry, construct a bay window in place of the living roo

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: Conway, Dave and Wendy
ADDRESS: 16 S Via Lucindia Stuart Fl 34996
PHONE NUMBER: 305-849-1491 FAX NUMBER:
INTEREST IN PROPERTY: Owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: John Zervopoulos

ADDRESS: 4517 SE Commerce Ave Stuart Fl 34997
PHONE NUMBER: 772-220-1200 FAX NUMBER:

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)

ADDRESS:
PHONE NUMBER: FAX NUMBER:
BOND AMOUNT:

LENDER/MORTGAGE COMPANY:

ADDRESS:
PHONE NUMBER: FAX NUMBER:

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b) , FLORIDA STATUTES:

NAME:
ADDRESS:
PHONE NUMBER: FAX NUMBER:

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

SIGNATORY'S TITLE/OFFICE Wendy Conway

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 13 DAY OF July 20 15

BY: Wendy Conway AS TYPE OF AUTHORITY FOR PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION PL TYPE OF IDENTIFICATION PRODUCED P.L.

Arielle C. Hess

NOTARY SIGNATURE/ SEAL



STATE OF FLORIDA MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE.
CAROLYN TIMMANN, CLERK
BY: Carolyn Timmann DATE:

INSTR # 2529516 OR BK 2801 PG 1269 RECD 08/07/2015 11:42:01 AM
(1 Pgs)
CAROLYN TIMMANN MARTIN COUNTY CLERK
DEED DOC \$0.00, HTG DOC \$0.00, INTANGIBLE \$0.00

CONSTRUCTION PERMIT ONLY

Wenton County Health Dept. No. 461-71  
Owner: Wentworth Court  
Address: Lot 24  
Installed By: Compton  
At: Seaside - Seaside Pt.  
Septic Tank Capacity Minimum Rec'd. 1000 Gallons  
Drain Field Data: 200 sq. ft. Stay 10' from water main and 50' from well.

NOTE: Installation must be in accord with requirements of Chapter 170C-4 FAC, Sanitary Code of Florida, and satisfactory final inspection must be made before work is covered. Permit void if not used within one year from date of issue.

Date of Application \_\_\_\_\_ Issue 6/15/71  
Issued By: John A. Barston



P/N: 8812

## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 16 S. VIA LUCINDIA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL

CHECK DINING ROOM CUB-  
FOR LIGHT BUGH IN  
BOX. DRYWALL HAS  
EVIDENTLY COVERED IT.

(Note:  
Must renew permit \$150)

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/15/09

[Signature]

INSPECTOR

**DO NOT REMOVE THIS TAG**



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 16 S. VIA LUCINDIA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DOORS / ROUGH ELEC.

DOOR BUCKS TAPCONS NOT INTO SOLID CONCRETE -

STUD GUARD @ BOTTOM PLATE @ SINK PVC WASTE & VENT.

SECURE INTO POSITION A/C SUPPLY DUCT & REGISTER - COVER OPEN JUNCTION BOX IN ATTIC.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/20

INSPECTOR

**DO NOT REMOVE THIS TAG**



**EXTRUDED ALUMINUM SECTIONS - ALLOY 6063-T5 (WALP SCALE)**

**SECTION PROPERTIES:**

2" x 4" SELF-MATING BEAM

SECTION PROPERTIES:

2" x 6" SELF-MATING BEAM

SECTION PROPERTIES:

2" x 7" SELF-MATING BEAM

SECTION PROPERTIES:

3" x 5" POST

SECTION PROPERTIES:

SINGLE AND DOUBLE RECEIVING CHANNELS

(BASES AND CONNECTOR SECTIONS)

EXTRUDED BOX FACIA - HEADERS

1 1/2" x 3" I-BEAM INSERT FOR ROOF PANELS W/ 1 1/4" RISES

2" x 2" x 1/8" ANGLE (BASES, CLIPS, BRACES)

**EXTRUDED ALUMINUM SECTIONS - ALLOY 6063-T6**

SCALE: 1" = 8'-0"

2" x 4" SELF-MATING BEAM

SECTION PROPERTIES:

2" x 6" SELF-MATING BEAM

SECTION PROPERTIES:

2" x 7" SELF-MATING BEAM

SECTION PROPERTIES:

3" x 5" I-BEAM

SECTION PROPERTIES:

3" x 7" I-BEAM

SECTION PROPERTIES:

4" x 8" I-BEAM

SECTION PROPERTIES:

2" x 6" BOX BEAM

SECTION PROPERTIES:

**ROOF AND BEAM SPAN TABLES**

**TABLE 1 - SPAN TABLE FOR EDGE BEAMS IN CANOPY ROOF STRUCTURES**

BEAM SIZE	MAXIMUM CLEAR SPANS FOR CONTIGUOUS EDGE BEAMS, EDGE SPANS GIVEN BELOW					MINIMUM POST SIZE AND NO. OF BASE ANCHORS
	10'	12'	14'	15'	15.5'	
2" x 2" x 0.040"	5'-7"	5'-2"	4'-10"	4'-8"	4'-6"	2" x 2" POSTS W/ MIN. OF 2" T. BOLTS
2" x 3" S.M. BEAM	11'-0"	10'-3"	9'-6"	9'-4"	9'-3"	2" x 3" x 0.050" OR EITHER 3" x 3" POST W/ MIN. OF 2" T. BOLTS (OR) 4" T. BOLTS
2" x 5" BOX BEAM	12'-0"	11'-7"	10'-10"	10'-6"	10'-4"	2" x 5" POSTS W/ MIN. OF 2" T. BOLTS (OR) 4" T. BOLTS
2" x 6" S.M. BEAM	14'-5"	13'-5"	12'-7"	12'-2"	12'-0"	EITHER 3" x 5" POST W/ MIN. OF 2" T. BOLTS (OR) 6" T. BOLTS
3" x 3" I-BEAM	15'-5"	14'-2"	13'-3"	12'-10"	12'-8"	3" x 3" POSTS W/ MIN. OF 2" T. BOLTS (OR) 4" T. BOLTS
3" x 4" I-BEAM	16'-3"	15'-11"	15'-11"	15'-5"	15'-2"	EITHER 3" x 5" POST W/ MIN. OF 2" T. BOLTS (OR) 6" T. BOLTS
4" x 6" I-BEAM	22'-6"	21'-9"	19'-6"	19'-0"	18'-9"	3" x 5" POSTS (OR) 6" T. BOLTS

REMARKS: INTERPOLATION BETWEEN VALUES IS PERMISSIBLE. BEAM SPANS MAY CAPTURE UP TO 40% OF TABULAR SPANS, FOR SINGLE SPANS SPAN, REDUCE TABULAR VALUE BY 10%.

**TABLE 2 - SPAN TABLE FOR SCREENED ROOF BEAMS**

BEAM SIZE	MAXIMUM CLEAR SPANS FOR SCREENED ROOF BEAMS @ VARIOUS SPACINGS						
	4'-0" C-C	5'-0" C-C	5'-6" C-C	6'-0" C-C	6'-6" C-C	7'-0" C-C	
2" x 4" S.M. BEAM	25'-0"	22'-6"	21'-6"	20'-0"	19'-0"	18'-6"	
2" x 5" BOX BEAM	31'-6"	28'-0"	27'-0"	25'-0"	24'-0"	23'-4"	
4" x 6" S.M. BEAM	32'-10"	29'-6"	28'-3"	26'-0"	25'-0"	24'-2"	
2" x 7" S.M. BEAM	46'-0"	41'-0"	39'-10"	36'-10"	35'-4"	34'-0"	
3" x 6" I-BEAM	34'-3"	31'-4"	30'-0"	27'-9"	26'-8"	25'-3"	
3" x 7" I-BEAM	41'-6"	37'-6"	36'-0"	33'-0"	31'-10"	31'-0"	
4" x 8" I-BEAM	50'-0"	46'-0"	44'-6"	41'-0"	39'-6"	38'-4"	

REMARKS: BEAM SPAN ASSUMES LATERAL BRACING (2" x 2") @ 90° FRAMED ACROSS ROOF @ EACH POST IN SCREENED 3-D BEAM.

**TABLE 3 - POST LENGTHS AND SPACING IN SCREENED OR METAL SKINNED WALLS**

POST SIZE	NOMINAL WALL HEIGHT	SCREENED WALLS		METAL SKINNED WALLS	
		MAXIMUM POST SPACING, C-C	SPACING, INCHES ADJACENT POSTS, C-C	MAXIMUM POST SPACING, C-C	SPACING, INCHES ADJACENT POSTS, C-C
2" x 2" x 0.040"	7'	5'-0"	2'-0"	2'-7"	2'-0"
2" x 3" x 0.050"	8'	6'-0"	2'-0"	2'-0"	2'-0"
2" x 4" x 0.050"	7'	6'-5"	2'-0"	NOT APPLICABLE	NOT APPLICABLE
2" x 5" x 0.060"	8'	7'-8"	2'-0"	2'-4"	2'-4"
2" x 6" x 0.060"	9'	8'-10"	2'-10"	2'-10"	2'-10"
3" MATED CHANNELS 1 1/2" x 0.060"	7'	8'-6"	4'-9"	2'-3"	2'-3"
2" x 3" x 0.050" POST OF EQUIVALENT COMPOSITE SECTION	7'	5'-2"	2'-0"	4'-0"	3'-0"
	8'	6'-2"	2'-0"	5'-0"	4'-0"
	9'	7'-0"	2'-0"	6'-0"	5'-0"
	10'	8'-0"	2'-0"	7'-0"	6'-0"

**DRILLED IN CONCRETE ANCHORS**

**"P" BOLT**  
MOLLY PRECAST PB 35-3  
3/8" x 3" LONG  
(MINUT AND NUMBER)

**"T" BOLT**  
TUNING BOLT  
1/2" x 2 1/2" LONG  
(MINUT AND NUMBER)

STEEL BOLTS AND SHEET METAL SCREWS SHALL BE STAINLESS OR CADMIUM PLATED OF SIZE & NOT SMALLER THAN CALLED FOR.

ALUMINUM BOLTS SHALL BE OF ALLOY 2024-T4.

4" x 400 BOLTS SET INTO 2" x 4" x 4" CONCRETE SHALL DEVELOP 4000 LB.

**ALUMINUM ROOF**

**TYPE A**

**TYPE B**

**ASSEMBLY AND SPAN DATA**

12" x 1 3/4" x 0.032" ALUMINUM PANELS (ALLOY 3003 H16)  
S<sub>x</sub> = 0.220 IN.<sup>2</sup>

MAXIMUM ALLOWABLE SIMPLE SPAN: 5'-0"

MAXIMUM ALLOWABLE SIMPLE SPAN: 15'-0"

MAXIMUM ALLOWABLE SIMPLE SPAN: 12'-0"

REL ASSEMBLY PROPERTIES:  
12" x 3" x 1/2" ALUMINUM INTERLOCKING PANELS (ALLOY 3003 H16)  
0.032" S<sub>x</sub> = 0.608 IN.<sup>2</sup>  
0.032" S<sub>y</sub> = 0.490 IN.<sup>2</sup> (PER FOOT OF WIDTH)

UNDER VARYING LOAD CONDITIONS AND ASSEMBLY BY ACTUAL LOAD TESTS CO UNDER SIGNED BUSINESS THE STRUCTURES WITH ACCORDANCE WITH SOI FOR LOAD CONDITIONS "A"

LOADS (Δ = 1/60 MAX.)  
UNLESS OTHERWISE SPECIFIED, LIMITATIONS ON SPAN, INDICATION OF THIS

MASTER PLANS:  
ALUMINUM PATIOS CARPORTS  
ROOMS, CADENAS & POOL ENCL  
FOR 120 MPH WIND DESIGN

CLINE ASSOCIATES  
ENGINEERING LABORATORY  
3601 A U.S. Highway  
Palm Harbor, Florida 34684

DATE: 10-12-12

**EXTRUDED ALUMINUM SECTIONS - ALLOY 6063-T5 (HALF SCALE)**

**1 1/2" x 2" OPEN BACK BEAM OR POST WITH BEAMS & PLATE**

SECTION PROPERTIES:  
 FOR 1/2" x 0.040"  
 $S_x = 0.184 \text{ in}^3$   $S_y = 0.178 \text{ in}^3$   
 $I_x = 0.124 \text{ in}^4$   $I_y = 0.170 \text{ in}^4$   
 $A = 0.225 \text{ in}^2$   $A_c = 0.592 \text{ in}^2$

**2" x 2" BEAM OR POST WITH BEAMS & PLATE**

SECTION PROPERTIES:  
 FOR 1/2" x 0.040"  
 $S_x = 0.448 \text{ in}^3$   $S_y = 0.596 \text{ in}^3$   
 $I_x = 0.248 \text{ in}^4$   $I_y = 0.396 \text{ in}^4$   
 $A = 0.490 \text{ in}^2$   $A_c = 0.664 \text{ in}^2$

**2" x 2" BEAM OR POST WITH SCREEN SPINE**

SECTION PROPERTIES:  
 FOR 1/2" x 0.030"  
 $S_x = 0.220 \text{ in}^3$   $S_y = 0.370 \text{ in}^3$   $S_z = 0.522 \text{ in}^3$   
 $I_x = 0.120 \text{ in}^4$   $I_y = 0.170 \text{ in}^4$   $I_z = 0.312 \text{ in}^4$   
 $A = 0.419 \text{ in}^2$   $A_c = 0.520 \text{ in}^2$   $A_c = 0.648 \text{ in}^2$

**2" x 3" BEAM OR POST WITH SCREEN SPINE**

SECTION PROPERTIES:  
 $S_x = 0.452 \text{ in}^3$   
 $I_x = 0.342 \text{ in}^4$   
 $A = 0.622 \text{ in}^2$

NOTE: A COMPACT 2" x 3" x 0.050" PLATED W/ 1/2" OPENBACK IS EQUAL (CONTACT W/ 1/2" x 1/2" x 1/2" MAX. 2" x 3")

**3" x 3" POST**

SECTION PROPERTIES:  
 FOR 1/2" x 0.030" SMOOTH  
 $S_x = 0.684 \text{ in}^3$   $S_y = 1.153 \text{ in}^3$   
 $I_x = 1.025 \text{ in}^4$   $I_y = 2.00 \text{ in}^4$   
 $A = 0.71 \text{ in}^2$   $A_c = 1.44 \text{ in}^2$   
 $P = 1.2$

**SINGLE AND DOUBLE RECEIVING CHANNELS (BASE AND CONNECTOR SECTIONS)**

**EXTRUDED BOX FACIA - HUSBERRY**

(FOR ROOF PANELS WITH 1 1/4" HIGH RISERS)

(FOR ROOF PANELS WITH 3" HIGH INTERLOCK RISERS)

**1 1/2" x 3" I-BEAM INSERT FOR ROOF PANELS W/ 1 1/4" RISERS**

**2" x 3" x 1/8" ANGLE (BASES, CLIP & BRACKETS)**

**EXTRUDED ALUMINUM SECTIONS - ALLOY 6063-T5 SCALE: 1" = 1/2"**

**2" x 4" SELF-MATING BEAM**

SECTION PROPERTIES:  
 $S_x = 1.08 \text{ in}^3$   
 $I_y = 0.48 \text{ in}^4$

**2" x 6" SELF-MATING BEAM**

SECTION PROPERTIES:  
 $S_x = 1.86 \text{ in}^3$   
 $I_y = 0.75 \text{ in}^4$

**2" x 7" SELF-MATING BEAM**

SECTION PROPERTIES:  
 $S_x = 3.69 \text{ in}^3$   
 $I_y = 0.98 \text{ in}^4$

**3" x 6" I-BEAM**

$S_x = 2.01 \text{ in}^3$   
 $I_y = 0.450 \text{ in}^4$

**3" x 7" I-BEAM**

$S_x = 3.00 \text{ in}^3$   
 $I_y = 0.905 \text{ in}^4$

**4" x 6" I-BEAM**

$S_x = 4.01 \text{ in}^3$   
 $I_y = 1.533 \text{ in}^4$

**2" x 3" BOX BEAM**

$S_x = 2.082 \text{ in}^3$   
 $I_y = 1.212 \text{ in}^4$

**POST AND BEAM SPAN TABLES**

**TABLE 1 - SPAN TABLE FOR EDGE BEAMS IN CANOPY ROOF STRUCTURES**

BEAM SIZE	MAXIMUM CLEAR BEAM SPANS FOR CONTINUOUS EDGE BEAM FOR ROOF SPANS GIVEN BELOW					MINIMUM POST SIZE AND NO. OF BASE ANCHORS
	10'	12'	14'	15'	15.5'	
2" x 2" x 0.040"	5'-7"	5'-2"	4'-10"	4'-5"	4'-6"	2" x 2" POSTS W/ MIN. OF 2" T. BOLTS
2" x 3" x 0.050"	6'-5"	6'-0"	5'-7"	5'-5"	5'-4"	2" x 3" POSTS W/ MIN. OF 2" T. BOLTS (OR) 4" T. BOLTS
2" x 4" S.M. BEAM	11'-0"	10'-5"	9'-6"	9'-4"	9'-3"	2" x 3" POSTS W/ MIN. OF 2" T. BOLTS (OR) 4" T. BOLTS
2" x 5" BOX BEAM	12'-0"	11'-7"	10'-10"	10'-6"	10'-4"	2" x 3" POSTS W/ MIN. OF 2" T. BOLTS (OR) 4" T. BOLTS
2" x 6" S.M. BEAM	14'-5"	13'-5"	12'-7"	12'-2"	12'-0"	2" x 3" POSTS W/ MIN. OF 2" T. BOLTS (OR) 4" T. BOLTS
2" x 7" S.M. BEAM	20'-0"	18'-6"	17'-4"	16'-10"	16'-6"	EITHER 3" x 3" POST W/ MIN. OF 3" T. BOLTS (OR) 6" T. BOLTS
3" x 6" I-BEAM	15'-5"	14'-2"	13'-5"	12'-10"	12'-8"	3" x 3" POSTS W/ MIN. OF 2" T. BOLTS (OR) 4" T. BOLTS
3" x 7" I-BEAM	18'-5"	16'-11"	15'-11"	15'-5"	15'-2"	EITHER 3" x 3" POST W/ MIN. OF 2" T. BOLTS (OR) 4" T. BOLTS
4" x 6" I-BEAM	22'-6"	21'-9"	19'-6"	19'-0"	18'-9"	3" x 3" POSTS (OR) 6" T. BOLTS

REMARKS: INTERPOLATION BETWEEN VALUES IS PERMISSIBLE. BEAM ENDS MAY CANTILEVER UP TO 40% OF TABULAR SPANS. FOR SINGLE SIMPLY SPANS, REDUCE TABULAR VALUES BY 10%.

SEE ANCHOR DETAILS BELOW

**TABLE 2 - SPAN TABLE FOR SCREENED ROOF BEAMS**

BEAM SIZE	MAXIMUM CLEAR SPANS FOR SCREENED ROOF BEAMS @ VARIOUS SPACINGS					
	4'-0" c-c	5'-0" c-c	5'-6" c-c	6'-0" c-c	6'-6" c-c	7'-0" c-c
2" x 4" S.M. BEAM	25'-0"	22'-6"	21'-6"	20'-0"	19'-0"	18'-6"
2" x 5" BOX BEAM	31'-6"	28'-0"	27'-0"	25'-0"	24'-0"	23'-4"
2" x 6" S.M. BEAM	32'-10"	29'-6"	28'-3"	26'-0"	25'-0"	24'-4"
2" x 7" S.M. BEAM	46'-0"	41'-0"	39'-10"	36'-10"	35'-4"	34'-0"
3" x 6" I-BEAM	34'-9"	31'-4"	30'-0"	27'-9"	26'-8"	25'-5"
3" x 7" I-BEAM	41'-6"	37'-6"	36'-0"	33'-0"	31'-10"	31'-0"
4" x 6" I-BEAM	50'-0"	46'-0"	44'-6"	41'-0"	39'-6"	38'-4"

REMARKS: BEAM SPANS ASSUME LATERAL RIGIDITY (1" x 1/2") @ 90° CRANED ACROSS ROOF @ EACH POST IN SCREENED ROOF WALLS.

**TABLE 3 - POST LENGTHS AND JOISTS IN SCREENED OR METAL SKINNED WALLS**

POST SIZE	MINIMUM WALL HEIGHT	SCREENED WALLS		METAL SKINNED WALLS	
		MAXIMUM POST SPACING, C-C	SPACING, MAX. SPACING, RESIST. ETC.	SPACING, MAX. SPACING, RESIST. ETC.	SPACING, MAX. SPACING, RESIST. ETC.
2" x 2" x 0.040"	7'	5'-5"	2'-7"	2'-7"	2'-7"
2" x 3" x 0.050"	8'	6'-0"	2'-7"	2'-7"	2'-7"
2" x 4" x 0.050"	7'	6'-5"	4'-6"	4'-6"	4'-6"
2" x 5" x 0.060"	7'	7'-8"	7'-8"	5'-9"	5'-9"
2" x 6" x 0.060"	7'	8'-10"	8'-10"	7'-10"	7'-10"
2" x 7" x 0.060"	7'	9'-9"	9'-9"	8'-5"	8'-5"
3" x 6" x 0.060"	7'	8'-6"	8'-6"	7'-4"	7'-4"
3" x 7" x 0.060"	7'	9'-6"	9'-6"	8'-5"	8'-5"
3" x 8" x 0.060"	7'	10'-10"	10'-10"	9'-4"	9'-4"
4" x 6" x 0.060"	7'	11'-11"	11'-11"	10'-4"	10'-4"
4" x 7" x 0.060"	7'	12'-11"	12'-11"	11'-4"	11'-4"

DRILLED IN CONCRETE ANCHORS

**P BOLT**  
 HOLLY OR BOLT PB 55-3  
 3/8" x 3" LONG (W/ NUT AND WASHER)

**T BOLT**  
 THUNDERBOLT  
 1/2" x 2 1/2" LONG (W/ NUT AND WASHER)

STEEL BOLTS AND SHEET METAL SCREWS SHALL BE STAINLESS OR CADMIUM PLATED OR SIZE NOT SMALLER THAN CALLED FOR.

ALUMINUM BOLTS SHALL BE OF QUALITY 2024-T4.

ANCHOR BOLTS SET INTO EXISTING NEW CONCRETE SHALL QUALIFY 1-200

**ALUMINUM ROOF PANEL ASSEMBLY AND SPAN DATA**

**TYPE A**

12" x 1 1/4" x 0.052" ALUMINUM PANELS (ALLOY 3003 H14)  
 $S_x = 0.220 \text{ in}^3$

MAXIMUM ALLOWABLE SIMPLE SPANS: 5'-0"

1 1/2" x 3" x 0.030" ALUM. I-BEAM CLEATS @ 12" C-C

ATTACH PANELS TO EDGE BEAMS W/ #10 x 1/2" x 1/2" @ 12" C-C

MAXIMUM ALLOWABLE SIMPLE SPANS: 15'-0" (EXCEPT WHERE FURTHER LIMITED BY LOCAL ORDINANCES)

1 1/2" x 3" x 0.030" ALUM. I-BEAM CLEATS @ 12" C-C

ATTACH PANELS TO EDGE BEAM W/ #10 x 1/2" x 1/2" @ 12" C-C

MAXIMUM ALLOWABLE SIMPLE SPANS: 12'-0"

ALTERNATE RISERS CLEATED ONLY, ALTERNATE RISERS W/ 1 1/2" x 3" x 0.030" ALUM. I-BEAM CLEATS

ATTACH PANELS TO EDGE BEAMS W/ #10 x 1/2" x 1/2" @ 12" C-C

ALSO SEE SHEET 3 OF 3 FOR ADDITIONAL TYPE A PANEL ASSEMBLY PROPERTIES.

**TYPE B**

12" x 3" x 0.030" ALUM. INTERLOCKING PANELS (ALLOY 3003 H14)  
 $S_x = 0.608 \text{ in}^3$   $S_y = 0.408 \text{ in}^3$   
 $I_x = 0.070 \text{ in}^4$   $I_y = 0.490 \text{ in}^4$  (PER FOOT OF WIDTH)

INTERLOCKED 3" RISERS @ 12" C-C

ATTACH PANELS TO EDGE BEAMS W/ #10 x 1/2" x 1/2" @ 12" C-C

MAX. SIMPLE SPAN IN 120 MPH WIND REGIONS: 11'-6"

MAX. SIMPLE SPAN IN 140 MPH WIND REGIONS: 13'-9"

EXCEPT WHERE FURTHER RESTRICTED BY LOCAL ORDINANCES.

ROOF PANEL NOTE: PANEL SPANS LISTED ABOVE ARE USUALLY SIMPLE AND MAY BE REDUCED 25% FOR EACH 1/2" OF END OVERHANG UP TO MAXIMUM.

PERFORMANCE OF ALUMINUM ROOF PANELS UNDER VARYING LOAD CONDITIONS AND ASSEMBLY ARRANGEMENTS HAS BEEN VERIFIED BY ACTUAL LOAD TESTS CONDUCTED UNDER SUPERVISION OF THE UNDERSIGNED ENGINEER.

THE STRUCTURES DETAIL IN THESE PLANS WERE DESIGNED IN ACCORDANCE WITH SOUTHERN STANDARD BUILDING CODE 1978 AMENDMENT FOR LOAD CONDITIONS AS FOLLOWS:

DEAD LOADS PLUS 20 PSF LIVE LOADS ( $\Delta = 700 \text{ MAX}$ )  
 120 MPH WIND VELOCITY PRESSURES

WHERE LOCAL ORDINANCES IMPOSE FURTHER LIMITATIONS ON SPANS, SUCH ORDINANCES SHOULD BE ADHERED TO IN APPLICATION OF THIS DESIGN.

CHARLES R. CLINE  
 CHARLES R. CLINE, FLA. PE #12293

MASTER PLANS  
 ALUMINUM PATIOS, CARPORTS, SCREEN ROOMS, CANNAS & POOL ENCLOSURES FOR 120 MPH WIND REGIONS

CLINE ASSOCIATES  
 ENGINEERING LABORATORIES  
 3601 A U.S. Highway 19, No Palm Harbor, Florida 33563

REF. NO. E-112-P0(c) DATE: 10-27-80 10-12-77

SHEET 2 OF 3  
 COMPONENT SECTIONS, DATA AND SPAN TABLES

Ashley Aluminum  
 3106 Industrial Av #3  
 Ft. Pierce, FL 33450

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number 1869

Date 11/14/85

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner ELEANOR REID Present Address 16 VIA LUCINDIA  
 Phone 287-2597 South  
 Contractor PENN ALUMINUM Address P.O. Box 1733  
 Phone 692-1296 Stuart 33495  
 Where licensed MARTIN COUNTY License number 00480  
 Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_  
 Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_  
 Roofing contractor \_\_\_\_\_ License number \_\_\_\_\_  
 Air conditioning contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: INSTALL AWNING TYPE WINDOWS (PAN AMERICAN) ON

EXISTING PORCH - ROOF IS SELF SUPPORTING AND EXISTING  
State the street address at which the structure will be built:

16 VIA LUCINDIA South

Subdivision 007 Lot number 24 Block number 0

Contract price \$ 1650.<sup>00</sup> Cost of permit \$ 10.<sup>00</sup>

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Ronald Perlaris

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Eleanor B. Reid

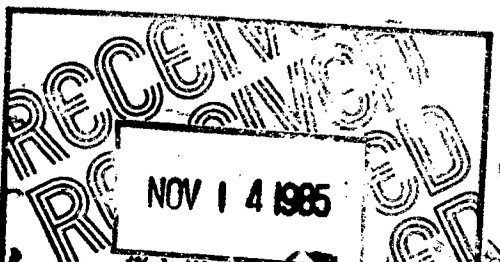
TOWN RECORD

Date submitted 11/14/85 Approved John 11/15/85  
Building Inspector Date

Approved J.C. Strubbe 12/2/85 Final Approval given 12/1/85  
Commissioner Date Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date \_\_\_\_\_

SP1184



Permit Number 1869

TOWN FOLIO NO.

Date 3/88

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner: ~~George Johnson~~ <sup>owner: Mary Johnson</sup> Present Address 18 S. Via Lucinda

Phone 283-4133

Contractor Stuart Roofing Inc. Address P.O. Box 2556, Stuart Fla

Phone 286-2317

Where licensed Martin County License number SP00499

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: partial re-roof - remove flat roof & replace with 4ply built up roof smooth surface

State the street address at which the proposed structure will be built: same as above

Subdivision Lucindia Lot number \_\_\_\_\_ Block number \_\_\_\_\_

Contract price \$ 1055.00 Cost of permit \$ 100.00

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

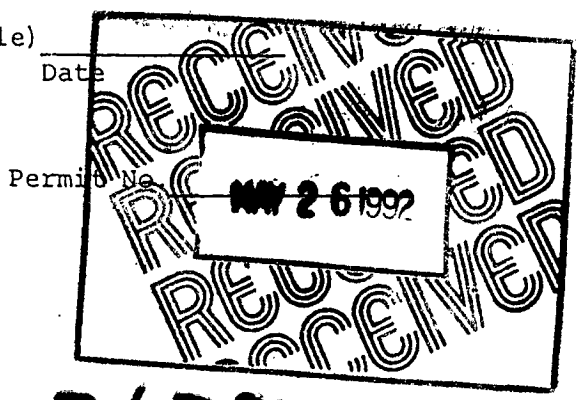
TOWN RECORD P.O.A.  
Approved: Dale Brown 5/28/92  
Building Inspector Date

Date submitted 5/28/92

Approved: [Signature] 5/29/92  
Commissioner Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_

SP1282



3/88

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

TOWN OF SEWALL'S POINT - FLORIDA

Application For Building Permit

Owner MARTINIQUE CURT Present Address INDIAN TOWN Phone 597-2347

Architect \_\_\_\_\_ Address \_\_\_\_\_

General Contractor SANIC Address \_\_\_\_\_ Phone \_\_\_\_\_

Where Licensed CURT License No. 19

Plumbing Contractor MATHEW Where Licensed \_\_\_\_\_ No. \_\_\_\_\_

Electrical Contractor EVANS Where Licensed \_\_\_\_\_ No. \_\_\_\_\_

Property Location LT 24 Subdivision LUCINDIA Lot No. 24

Lot Dimensions 108x140 Lot Area 15000<sup>sq</sup>+ Sq. Ft. \_\_\_\_\_

Purpose of Building RESO. Type of Construction C.B.S.

Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)

Outside of Walls \_\_\_\_\_ Inside of Walls 1720<sup>sq</sup>

Street or Road building will front on SANTA LUCINDIA

Clearances - Front 35 Back 48 Side 30 Side 16 River \_\_\_\_\_

Well Location SIDE Septic Tank Location FRONT

Building elevation (By Ordinance Definition) 18" ABOVE ROAD

Contract Price (Include Plumbing, Electrical, Air Conditioning) 28,000<sup>00</sup>

PERMIT FEE	New Home	Additions	Others
General (\$3.00 per \$1000 or Fraction)	_____	_____	_____
Plumbing (Flat Fee)	\$10.00	\$3.00	_____
Electrical (Flat Fee)	\$10.00	\$3.00	_____
Total (To be paid by General Contractor or Owner)	_____	_____	_____

SIGNED: - General Contractor or Owner Paul E. Luff

Building Inspector Comments: Charles Adinger

\*\*\*\*\*

FOR TOWN RECORDS: Date Drawings submitted \_\_\_\_\_

Date Permit approved \_\_\_\_\_

Date Permit Fee paid \_\_\_\_\_

Date First Inspection \_\_\_\_\_

Date Final Inspection \_\_\_\_\_

Date Occupancy approved \_\_\_\_\_

6/15/77  
# 277

$$\begin{array}{r} 28 \\ 3 \\ \hline 84 \end{array}$$

TAX FOLIO NO. \_\_\_\_\_

DATE 1/25/95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

**3727**

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Eleanor B. Reid Present address 16 Via LucINDIA S.

Phone 407-287-9597 Stuart, Fl. 34996

Contractor JLC Enterprises Inc. Address 3708 Georgia Ave.

Phone 407-832-2846 W.P.B. Fl. 33405

Where licensed State Certified G.C. License number CG C 006199

Electrical Contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: (Kasica, Softfit (Vinyl)) 4" Vinyl Siding

State the street address at which the proposed structure will be built:

Same

18

Subdivision Lucinda Lot Number \_\_\_\_\_ Block Number \_\_\_\_\_

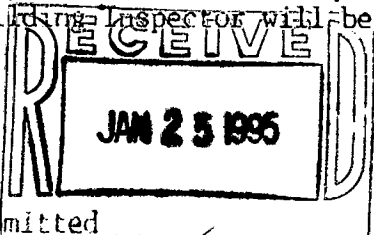
Contract price \$ 4600.<sup>00</sup> Cost of permit \$ 40<sup>00</sup>

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.



Owner Eleanor B Reid

TOWN RECORD

Date submitted \_\_\_\_\_

Approved: Dale Brown 1/25/95  
Building Inspector Date

Approved: [Signature]  
Commissioner Date

Final approval given: \_\_\_\_\_  
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) \_\_\_\_\_  
Date

PERMIT NO. \_\_\_\_\_

SP1282  
3/94

Post-It® Fax Note	7671	Date <u>1-25-94</u>	# of pages <u>1</u>
To <u>Sally</u>	From <u>Dale</u>		
Co./Dept.	<u>Co. Sewall's Point</u>		

GENERAL CONTRACTOR

STATE OF FLORIDA  
PALM BEACH COUNTY

CLASSIFICATION

CG 006199 (96)

# COUNTY OCCUPATIONAL LICENSE

OC-032

THIS LICENSE IS IN ADDITION TO AND NOT IN LIEU OF ANY OTHER LICENSE REQUIRED BY LAW OR MUNICIPAL ORDINANCE AND IS SUBJECT TO REGULATIONS OF ZONING, HEALTH AND ANY OTHER LAWFUL AUTHORITY. COUNTY ORDINANCE NUMBER 72-7

95-09773

J L C ENTERPRISES INC  
COTE JACQUES L  
3708 GEORGIA AVE  
WEST PALM BEACH FL 33405

\*\*LOCATED AT:  
SAME

# 9-30-95

TRNSFR \$3

TOTAL \$3

IS HEREBY LICENSED AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE FIRST DAY OF OCTOBER AND ENDING ON THE THIRTIETH DAY OF SEPTEMBER TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF

CONTRACTOR

JOHN K. CLARK  
TAX COLLECTOR, PALM BEACH COUNTY

THIS IS NOT A BILL - DO NOT PAY

PAID. PBC TAX COLLECTOR CA  
\$3.00 OCC 0310384 01-25-95

THIS LICENSE VALID ONLY WHEN RECEIPTED BY TAX COLLECTOR  
LICENSE MUST BE DISPLAYED CONSPICUOUSLY AT ESTABLISHMENT OR PLACE OF BUSINESS

STATE OF FLORIDA  
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY  
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION  
FROM FLORIDA WORKERS' COMPENSATION LAW

EFFECTIVE DATE OF EXEMPTION 06/25/94  
EXEMPTED INDIVIDUAL NAME COTE JACQUES LOUIS  
SOCIAL SECURITY NUMBER 265-74-5031  
BUSINESS NAME J L C ENTERPRISES INC  
FEDERAL IDENTIFICATION NUMBER 650491614  
BUSINESS ADDRESS 5606 N.W. 47 LN  
TAMARAC, FL 33319

TO BE HERE

NOTE: Pursuant to chapter 440.10(1)(g)2, F.S., a sole proprietor, partner, or officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

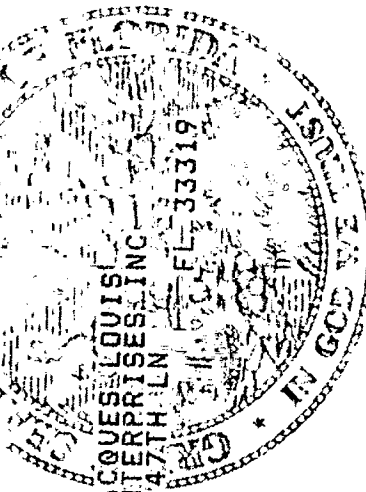
*Russell A. Givoni*

AUTHORIZED SIGNATURE

AC# 2879639  
STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONST INDUSTRY LICENSING BOARD

DATE: 09/12/94  
LICENSE NO.: CG C006199  
BATCH NO.: 94006390

THE CERTIFIED GENERAL CONTRACTOR NAMED BELOW IS CERTIFIED UNDER THE PROVISIONS OF CHAPTER 489 F.S., FOR THE YEAR EXPIRING AUG 31, 1996



COTE, JACQUES LOUIS  
J L C ENTERPRISES INC  
5606 NW 47TH LN  
TAMARAC FL 33319

*George Stewart Jr*  
GEORGE STEWART JR  
SECRETARY, D.B.P.R.

DISPLAY IN A CONSPICUOUS PLACE

OFFICIAL RECEIPT  
CITY OF WEST PALM BEACH  
12/25/95 11:17:10 OP: VJH LOC:01 TER:02  
CPT#: 6445 DEPT: 0003 OCC LICENSES  
CCT#: 12581913694  
TRANS AMT: 60.00  
Inclusive Rcpts: 6445 THRU 6445  
Total Payment Due: 60.00  
CHECK Tended: 60.00

*W.P.B. 000*



APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOME OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable and at least two (2) elevations, as applicable.

Owner Eleanor Reid Present Address 16 So. Vialuncinda  
SEWALLS Pt, FL.

Phone 287-2597  
Contractor Long's Roofing, INC. Address 4430 SE COMMERCIAL AVE.  
STUART, FL.

Phone 407-286-3596

Where licensed MARTIN Co. License Number SP00048

Electrical Contractor License Number \_\_\_\_\_

Plumbing Contractor License Number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which permit is sought: RE-ROOFING, REMOVE EXISTING ROOF, install new

Cement tile roof with 90# SLATE.  
State the street address at which the proposed structure will be built:

Subdivision Lucinda Lot Number 24 Block Number \_\_\_\_\_

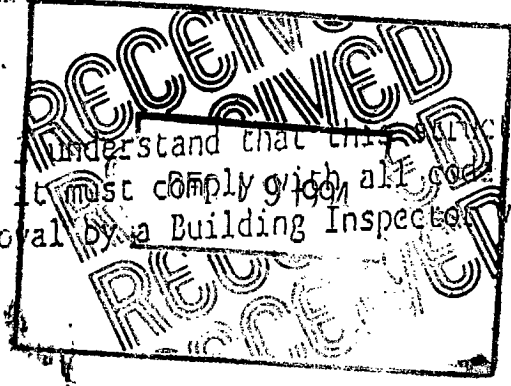
Contract Price ~~17,500.00~~ 14,280.00 Cost of Permit \$ 100.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector of Town Commissioner "Red-Tagging" the construction project.

Contractor Callene Long

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.



Owner Eleanor B Reid

Date submitted \_\_\_\_\_

TOWN RECORD  
Approved: Dale Brown 12/16/94  
Building Inspector Date

Approved: [Signature] Date \_\_\_\_\_  
Commissioner Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_