

**19 Via Lucindia Dr South**

Per. no. 39

TOWN OF SEWALL'S POINT  
Florida

Fee \$ 7.60

BUILDING DEPARTMENT

APPLICATION FOR PERMIT TO INSTALL ELECTRICAL EQUIPMENT

Date 3-8-62 Permit Number \_\_\_\_\_

Owner JACK P. ESSAM

Street and Number LUCINDIA SEWALL'S POINT

Electrician \_\_\_\_\_ City License Number \_\_\_\_\_

Work: New  Old  Additional

DISTRIBUTION

*Temp pole*

S. Switches _____	Number of Generators <u>0</u>	1.00
Number of Motors <u>Two</u>	Water Heater <u>One</u>	.30
Stoves <u>one</u>	Outlets <u><del>7</del> 11</u>	1.20
Receptacles <u>33</u>	Wall Heater _____	3.30
Sub Feed _____	Size of Panel <u>150 AMP</u>	1.00
Wire: Romex <input checked="" type="checkbox"/> Conduit <input checked="" type="checkbox"/>	Number of Fixtures <u>8</u>	80
Size of Main Disconnect <u>150 AMP</u>		<u>7.60</u>

Jack P. Essam  
Signed: Contractor

TOWN OF SEWALL'S POINT  
Florida

BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

*54.00 pd 11/12/61*  
*7.60 pd 3/9/62*  
*no elec -*  
*no plumb -*

Date \_\_\_\_\_

Owner JACK P. ESSAM

Address 3940 55 AVE N. ST. PETE, FLA.

Architect CHARLES BRANT GOLDSMITH A.I.A.

Address 1444A GULF TO BAY BLVD. CLEARWATER

Contractor Sub.

Address \_\_\_\_\_

Building to be constructed on:

Lot 39 Block V Subdivision Lucindia

Address \_\_\_\_\_

Purpose of Building Residential Type of Work \_\_\_\_\_

Estimated cost of Building or Improvements \$ 18,000

Type of Construction Block Roofing Covering Pat. Trusses

Type of Roof Mop, White Marble<sup>chip</sup> Foundation Poured Concrete

Size of Building Lot 122 X 118

Square Feet in Building 1889

Zoning \_\_\_\_\_

Permit Number 39 Permit Fee \$ \_\_\_\_\_

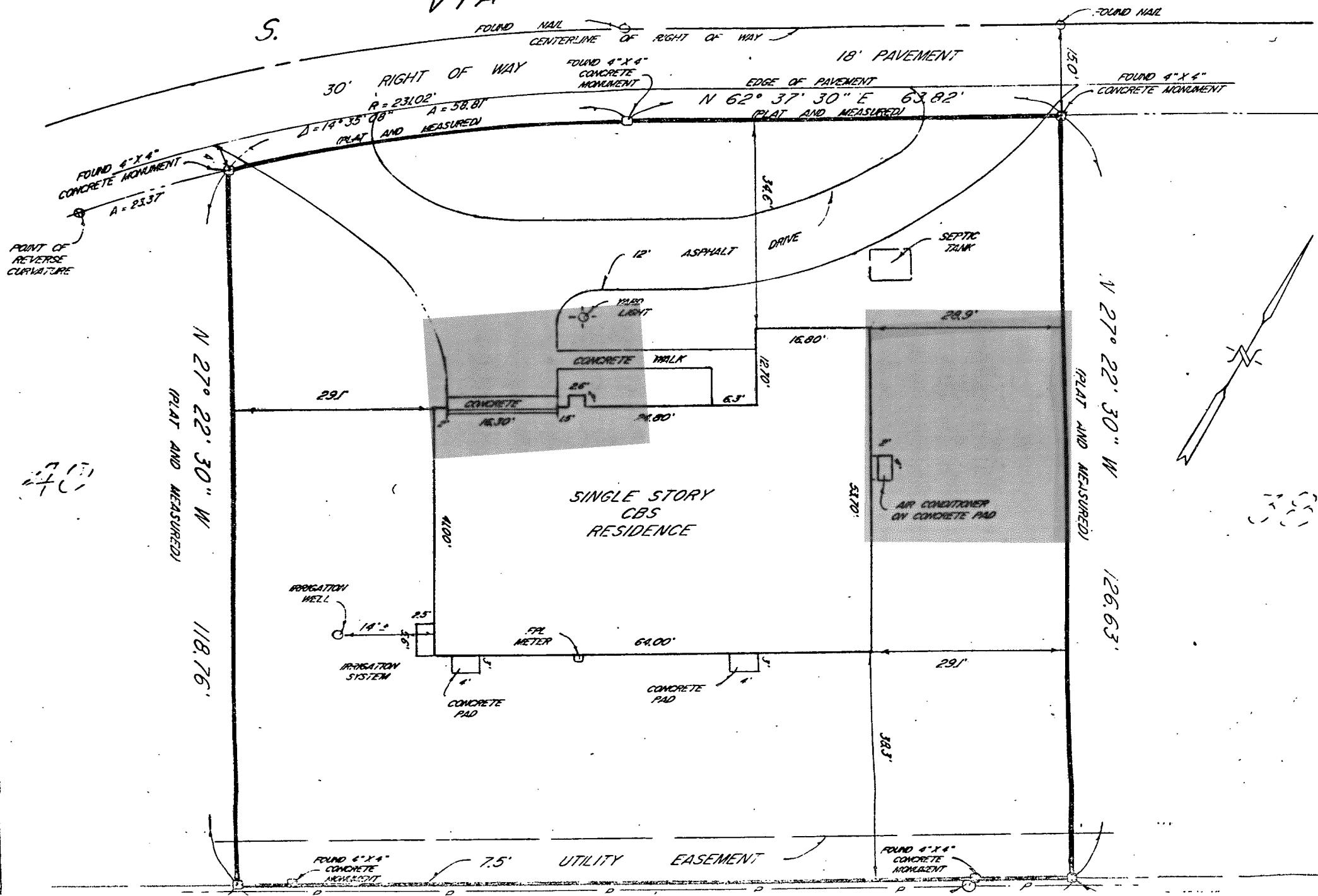
Clean-up Bond Number \_\_\_\_\_ Clean-up Fee \$ \_\_\_\_\_

Jack P. Essam  
Signed: Contractor

39

# VIA LUCINDIA

S.



FAX 561-684-8168 PHONE 561-471-3033

**Challenger Pools**

**Fax**

195. VIA WEIDMA  
**FILE** lot file  
FOR INFO  
ONLY

RECEIVED  
MAR - 1 2000  
BY: *E*

To: *Ed Arnold* From: *Julia W.*  
Fax: Date: *3/1/00*  
Phone: Pages: *(7)*  
Re: *Kohler swim pool permit* CC:

7  
no appl.  
in file

For Review  Please Comment  Please Reply  Please Recycle

**Comments:**

Please start to review following pool permit -  
I will mail you a double sets of sealed plans soon.

3/1 11:45  
called  
Cater  
& advised  
of 25'  
near  
set back  
(to face of rock)

Please telephone at the above phone if you do not receive all pages as noted:

*NOTE:  
THIS WAS ORIG.  
SUBMITTED  
TO M.C. (PER JULIA).  
PER SITE PLAN -  
CAN'T BUILD HERE!*

*NO FURTHER  
ACTION REQ*

*COPY W.C. & INS  
TO FILE FOR FUTURE  
PROJECTS*

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
02/28/2000

**PRODUCER**  
Serial # A1080  
NETWORK INSURANCE AGENCY  
3818 JAG ROAD  
LAKE WORTH, FL 33467  
(801)453-2215

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT ALTER, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

INSURER A: AMERICAN EQUITY INSURANCE CO.  
INSURER B: PROGRESSIVE INSURANCE CO.  
INSURER C: PINNACLE ASSURANCE  
INSURER D: AMERICAN EQUITY INSURANCE CO.  
INSURER E:

**INSURED**  
CHALLENGER POOLS  
CHALLENGER POOLS OF S. FLORIDA, INC.  
945 MILITARY TRAIL  
WEST PALM BEACH, FL 33415

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

TYPE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE	POLICY EXPIRATION DATE	LIMITS	
					DESCRIPTION	AMOUNT
A	<input checked="" type="checkbox"/> GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS MADE <input checked="" type="checkbox"/> OCCUR  GEN. AGGREGATE LIMIT APPLIES PER: POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	ACC0704711	04/08/99	04/08/00	EACH OCCURRENCE	\$ 1,000,000
					FIRE DAMAGE (Any occurr)	\$ 50,000
B	<input type="checkbox"/> AUTOMOBILE LIABILITY ANY AUTO ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS	CA 04042159-2	06/09/99	06/09/00	COMBINED SINGLE LIMIT (Per occurr)	\$ 1,000,000
					BODILY INJURY (Per person)	\$
					BODILY INJURY (Per occurr)	\$
					PROPERTY DAMAGE (Per occurr)	\$ 1,000,000
	<input type="checkbox"/> SPACE LIABILITY ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
					OTHER THAN AUTO ONLY:	EA ACC \$ AGG \$
	<input type="checkbox"/> EXCESS LIABILITY OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> DEDUCTIBLE RETENTION \$				EACH OCCURRENCE	\$
					AGGREGATE	\$
C	<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	407-7315-02	10/09/99	10/09/00	<input type="checkbox"/> WC STATU-TORY LIMITS E.L. EACH ACCIDENT	\$ 100,000
					E.L. DISEASE - EA EMPLOYEE	\$ 100,000
					E.L. DISEASE - POLICY LIMIT	\$ 500,000
D	<input checked="" type="checkbox"/> COMMERCIAL PROPERTY	ACC07047B	04/08/99	04/08/00	BUILDING \$50,000 BUSINESS PER. PROP. \$135,000	

DESCRIPTION OF OPERATIONS, LOCATIONS, HOLES, ETC. LIMITS ADDED BY ENDORSEMENTS/SPECIAL PROVISIONS  
FLORIDA OPERATIONS ONLY IN REGARD TO THE WORKERS COMP.

CERTIFICATE HOLDER  ADDITIONAL INSURED: INSURER LETTER

SEWALL'S POINT  
BUILDING DEPT.  
1 SOUTH SEWALL'S POINT ROAD  
SEWALLS POINT, FL 34986

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

*[Signature]*  
COND CORPORATION 1984



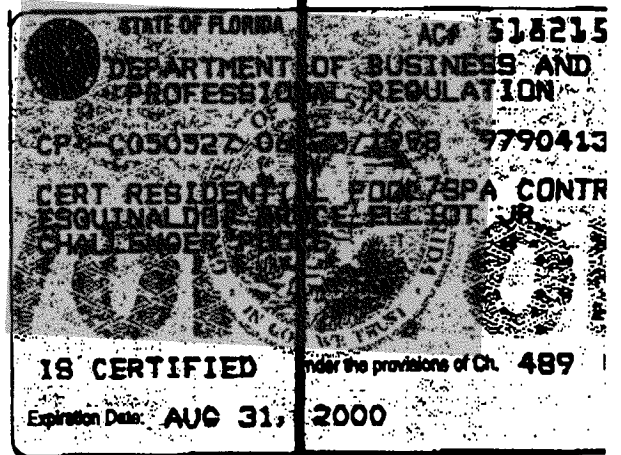
STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD  
7960 ARLINGTON EXPRESSWAY  
SUITE 300  
JACKSONVILLE FL 32211-7467

(904) 727-6530

ESQUINALDO, BRUCE ELLIOT JR  
CHALLENGER POOLS  
945 N MILITARY TRAILL  
WEST PALM BCH FL 33415



DETACH HERE

AC# 5182155

STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
05/23/1998	97904137	CP-050527

The RESIDENTIAL POOL/SPA CONTRACTOR  
Name of Licensee: IS CERTIFIED  
Under the provisions of Chapter 489, F.S.  
Expiration Date: AUG 31, 2000

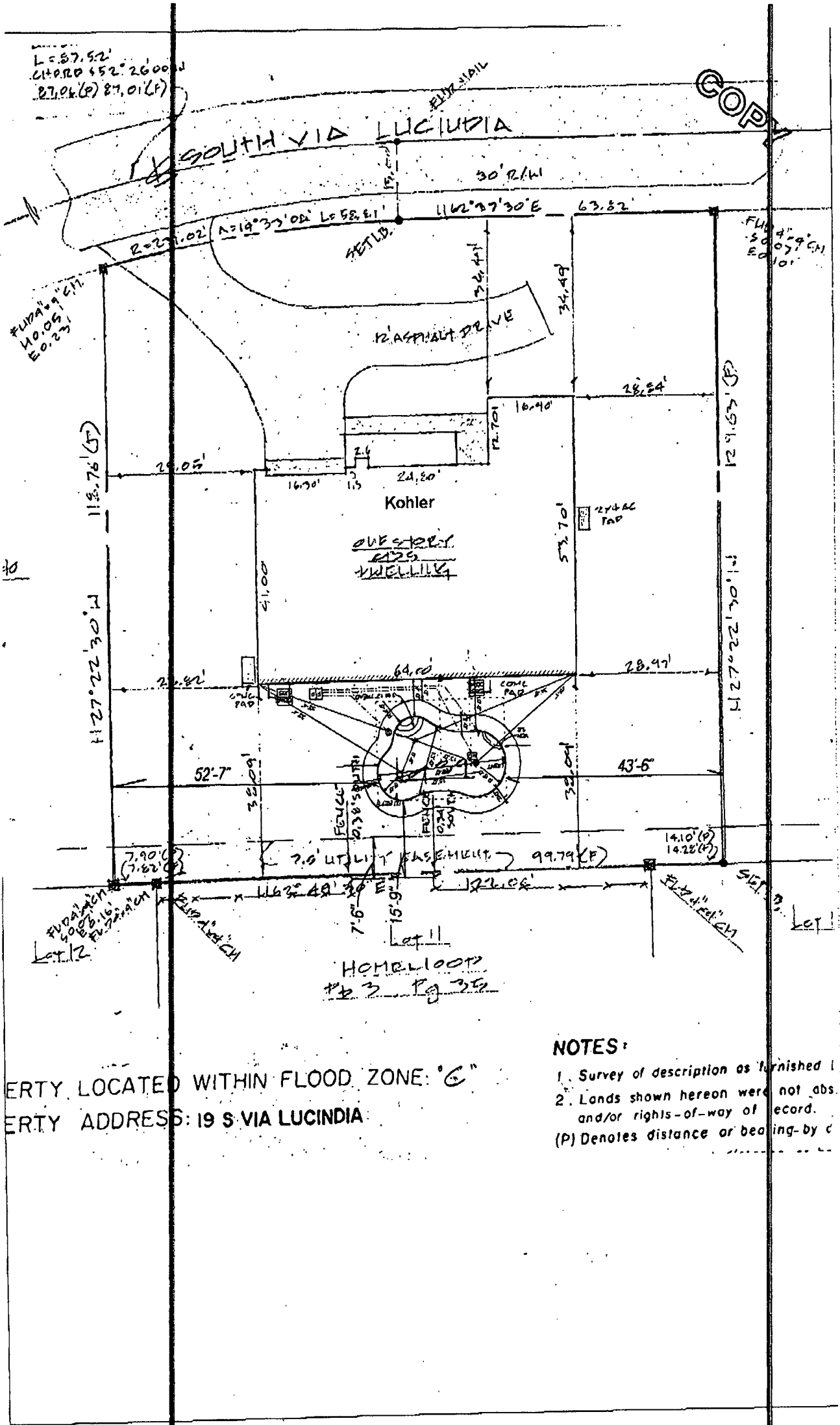
ESQUINALDO, BRUCE ELLIOT JR  
CHALLENGER POOLS  
945 N MILITARY TRAILL  
WEST PALM BCH FL 33415

LAWTON CHILES  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARRELL  
SECRETARY

VOID VOID VOID



COPY

PROPERTY LOCATED WITHIN FLOOD ZONE: 'G'  
 PROPERTY ADDRESS: 19 S VIA LUCINDIA

- NOTES:**
1. Survey of description as furnished
  2. Lands shown hereon were not absolute and/or rights-of-way of record.
- (P) Denotes distance or bearing-by-curve



THIS APPROVED DRAWING MUST BE SIGNED AND ON FILE IN OUR OFFICE BEFORE CONSTRUCTION OF YOUR POOL CAN BEGIN.  
**APPROVED BY HOMEOWNER**

Signature \_\_\_\_\_  
 Date \_\_\_\_\_

**PLUMBING SCHEDULE**  
 MAIN DRAIN: 2" PVC  
 SKIMMER: 1-1/2" PVC OR 2" PVC  
 RETURNS AND JETS: 1-1/2" PVC

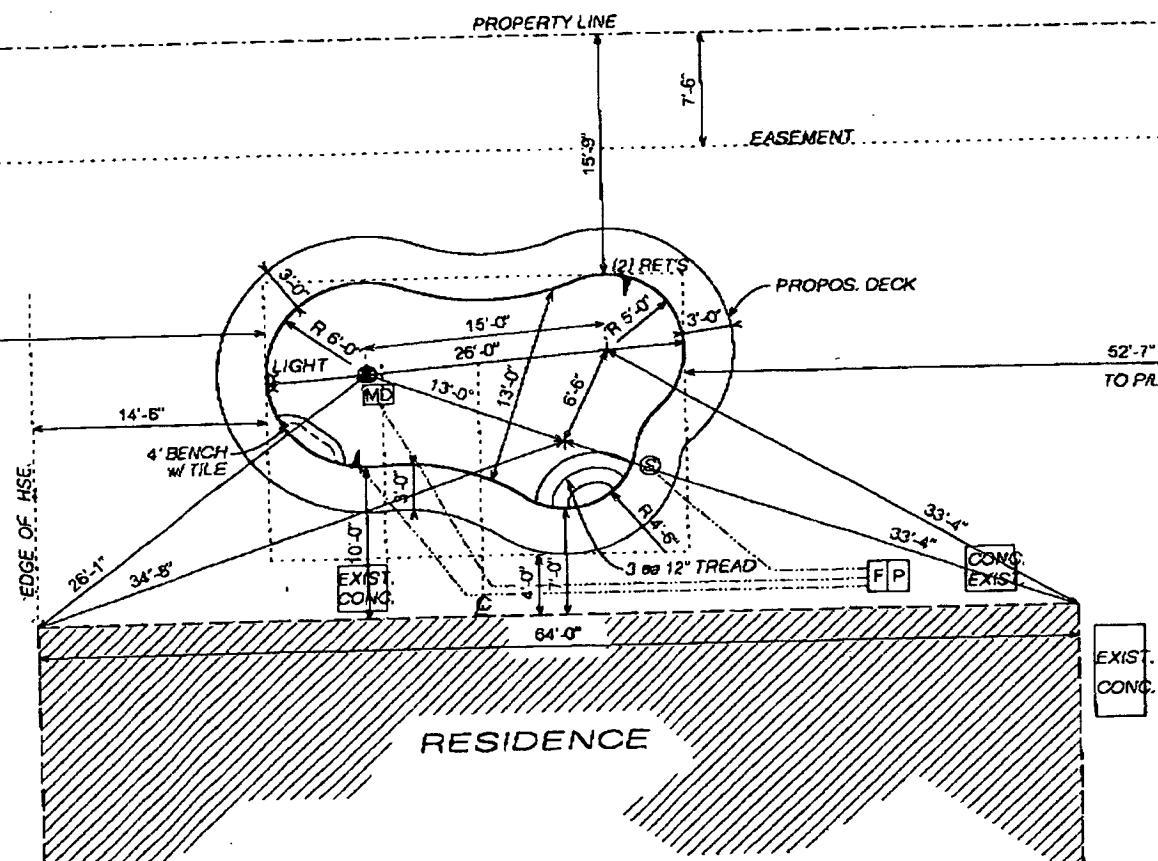


**GENERAL SPECIFICATIONS**

JOB NO. 002	SHAPE MODIFIED ALTADENAN		
SIZE 13' x 26'	DEPTH 3' TO 5'		
# 292	PER 68	CALL 8,760	T.D. RATE 2.2 HRS
MTR. _____	ELEG. _____	CAS. _____	
FILTER CART. 80 FT. 50	PUMP 3/4 HP.		
TILE # STAND.	BRICK SQUARE		
DECKING: B/C SQ.FT. 201	SO.FT. TOPPING: _____		

ASERS: _____	LF 8 FT
POOL FINISH: DIAMOND BRITE	FLL TANKS _____
FOOTERS: _____	O.O.D. _____
LIGHT POOL: 1 75 W SPN	HALOGEN <input checked="" type="checkbox"/> PYREXITE <input type="checkbox"/>
SWIMOUT: _____	BENCH 4 FT
LADDER _____	HANDRAIL _____
SKIMMER INC	MAIN DRAIN INC
RETURN LINES/WALL CITY: 2	
ELECTRICAL HOOKUP: INC.	
POOL CLEANER: MANUAL	SUCT LINE _____
CHLORINATOR: _____	
SPA SIZE: _____	SOFT: _____ RAISED: _____ JETTS: _____
STEPS: _____	GLASS BLK: _____ HAND HOLD: _____
FENCE: R & R BY PURCHASER	STUMPS: _____
SCREEN: _____	DRS: _____
GUTTER: _____	
SHORING & OR COMPACTION: _____	
MUNICIPALITY: MARTIN COUNTY	
SET BACK: _____	R >10' R >10'
NOTES: HAUL //	

*New 2/28*



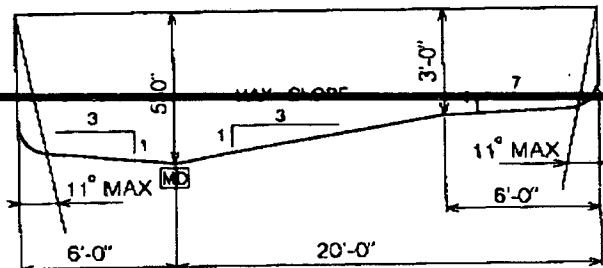
SCALE: 1/8" = 1'-0"

<b>SWIMMING POOL</b>	
DESIGNER JOHN D	DATE 02/00 MJS
Name MARIAN KOHLER	
Address 19 S VIA LUCINDIA	
City STUART, FL	Zip 34996
Phone Home 223-0053	Work _____
LEGAL DESCRIPTION	LUCINDIA
BOOK 3	PAGE 130
CO. LOCATION	MARTIN

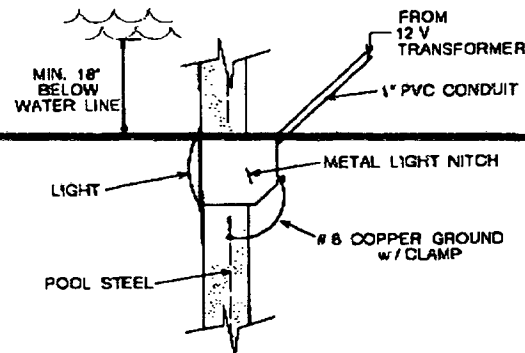
# CHALLENGER POOLS

KOHLER DETAIL SHEET 1 OF 2 M.S.

### SHALLOW POOL



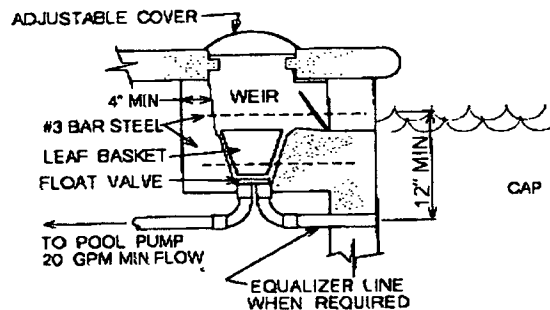
### LIGHT NITCH DETAIL



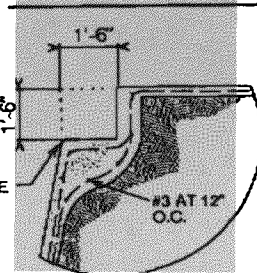
### GENERAL NOTES

- 1) ALL POOL CONSTRUCTION SHALL CONFORM TO SBBC1 1997 EDITION & P.B.C. SWIMMING POOL CODE, AND THE 1994 NATIONAL ELECTRIC POOL CODE.
- 2) CONCRETE MAY BE PNEUMATICALLY APPLIED IN POOL FLOOR, WALL AND STEPS. CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 4,000 P.S.I. IN 28 DAYS.
- 3) ALL REINFORCEMENT STEEL SHALL CONFORM TO ASTM 615, GRADE 40.
- 4) ALL PIPING SHALL BE N.S.F. APPROVED AND SHALL BE SCHEDULE 40 PVC. SHORT 90 DEGREE BENDS ARE NOT PERMITTED IN SUCTION LINES.
- 5) DISPOSAL OF WATER TO CONFORM WITH CHAPTER 15 (SECTION 501-1-6-1) OF 1994 SWIMMING POOL CODE AND ALL APPLICABLE STANDARDS.
- 6) ALL METALLIC POOL FITTINGS WITHIN 5 FEET OF THE INSIDE WALL AND THE DECK REINFORCEMENT STEEL SHALL BE BONDED TO THE POOL REINFORCEMENT STEEL WITH A #8 AWG COPPER WIRE. THE POOL NITCH SHALL BE BONDED TO THE POOL REINFORCING STEEL WITH A #8 AWG COPPER WIRE. COMPLETION OF THE POOL GROUNDING SYSTEM TO THE POOL EQUIPMENT SHALL BE BY A CERTIFIED ELECTRICAL CONTRACTOR.
- 7) WATER SUPPLY AND DISPOSAL SHALL BE SO ARRANGED TO INSURE AGAINST CONTAMINATION OF WATER SUPPLY.
- 8) PROVIDE PERMANENT DEPTH MARKERS ON THE SWIMMING SIDE OF THE POOL.
- 9) STRUCTURAL DESIGN IS BASED ON ALLOWABLE SOIL BEARING CAPACITY OF 2000 P. S. F.

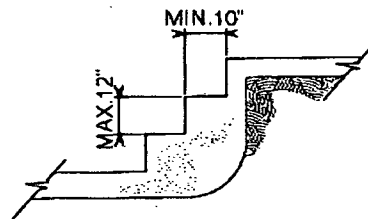
### SKIMMER DETAIL



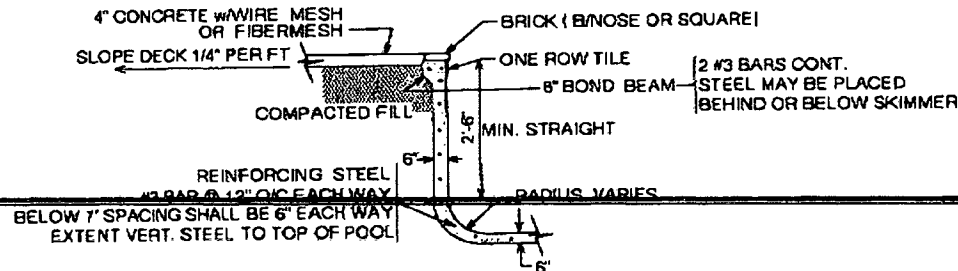
### SWIM-OUT / BENCH DETAIL



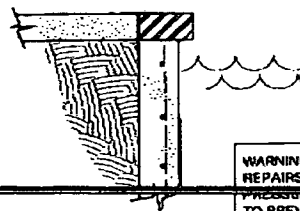
### STEP DETAIL



### TYPICAL WALL SECTION DETAIL



### SQUARE BRICK



WARNING: TO EMPTY POOL AFTER CONSTRUCTION FOR REPAIRS OR ANY OTHER REASON THE HYDROSTATIC UPLIFT PRESSURE BENEATH THE POOL MAY CAUSE THE POOL TO FLOAT UPWARD. TO PREVENT THE POOL FROM FLOATING UPWARD, THE OWNER MUST CONSULT A POOL CONTRACTOR EXPERIENCED IN ELIMINATING UPLIFT PRESSURES.

**TYPE "0" POOL**  
DIVING PROHIBITED

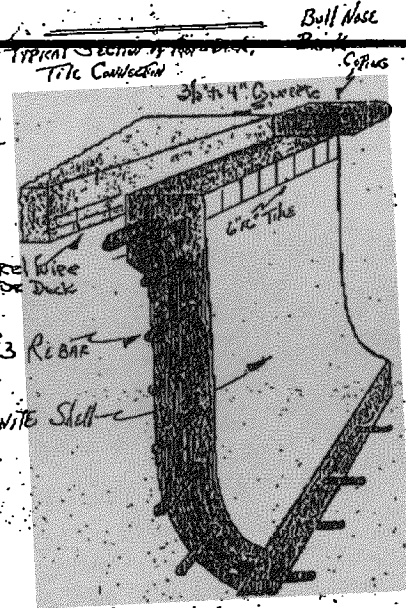
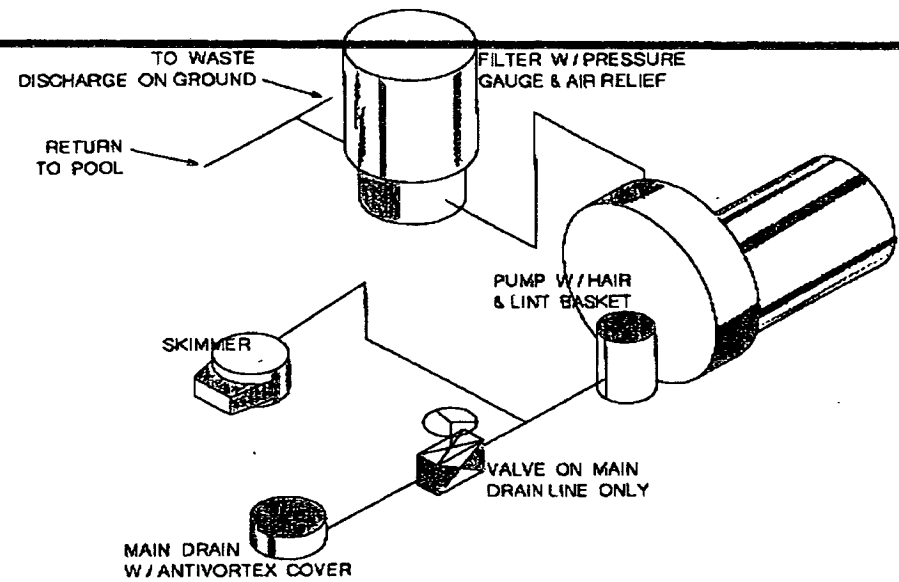
EAST COAST TESTING AND ENGINEERING INC.  
D. MARK LeBLANC, P.E. #35683

# CHALLENGER POOLS

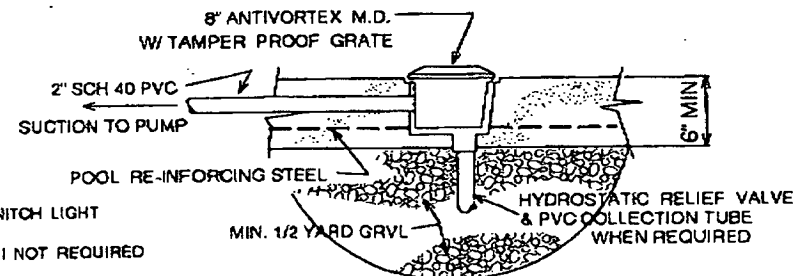
KOHLER DETAIL SHEET 2 OF 2 U.S.

For: Martin County Bldg. Dept.

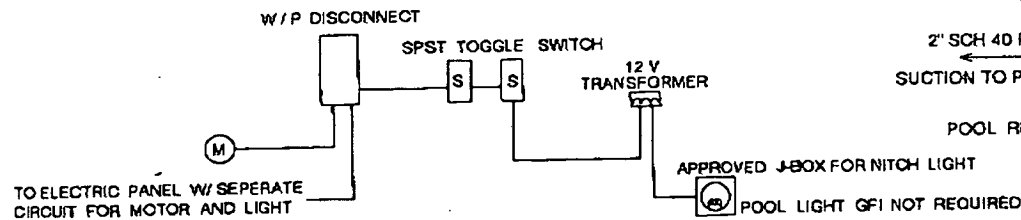
## PIPING SCHEMATIC



## MAIN DRAIN DETAIL



## ELECTRICAL DIAGRAM



- 1) ALL ELECTRICAL TO COMPLY WITH ART. 690 OF THE N.E.C.
- 2) 3/4" 120v WIRE IN 3/4" HIGH IMPACT SCH 40 PVC IN POOL AREA.
- 3) GROUND ALL BOXES, MOTORS, LIGHT AND ECT. W/ #8 SOLID BARE OR COVERED COPPER.

EAST COAST TESTING AND ENGINEERING INC.  
 D. MARK LeBLANC, P.E. #35683

Town of Sewall's Point

P.I.N. \_\_\_\_\_

Date

1/30/97

ACCESSORY STRUCTURE PERMIT APPLICATION

to construct:

- DOCK requires prerequisite approval from State and Army Corps of Engineers.
- BULKHEAD requires prerequisite approval from State and Army Corps of Engineers.
- DETACHED GARAGE     SWIMMING POOL     WALL
- SOLAR WATER HEATER     SCREENED ENCLOSURE
- FENCE may not require sealed drawings.
- OTHER: Deck

Owner's Name

MAMON KOHLER

Owner's Address

19 SD, VIA LUCINDIA STUART

Fee Simple Titleholder's Name (If other than owner)

Fee Simple Titleholder's Address (If other than owner)

City

State

Zip

Contractor's Name

Contractor's Address

City

State

Zip

Job Name

Job Address

City

County

Legal Description

Bonding Company

Bonding Company Address

City

State

Architect/Enginee's Name

Architect/Engineer's Address

Mortgage Lender's Name

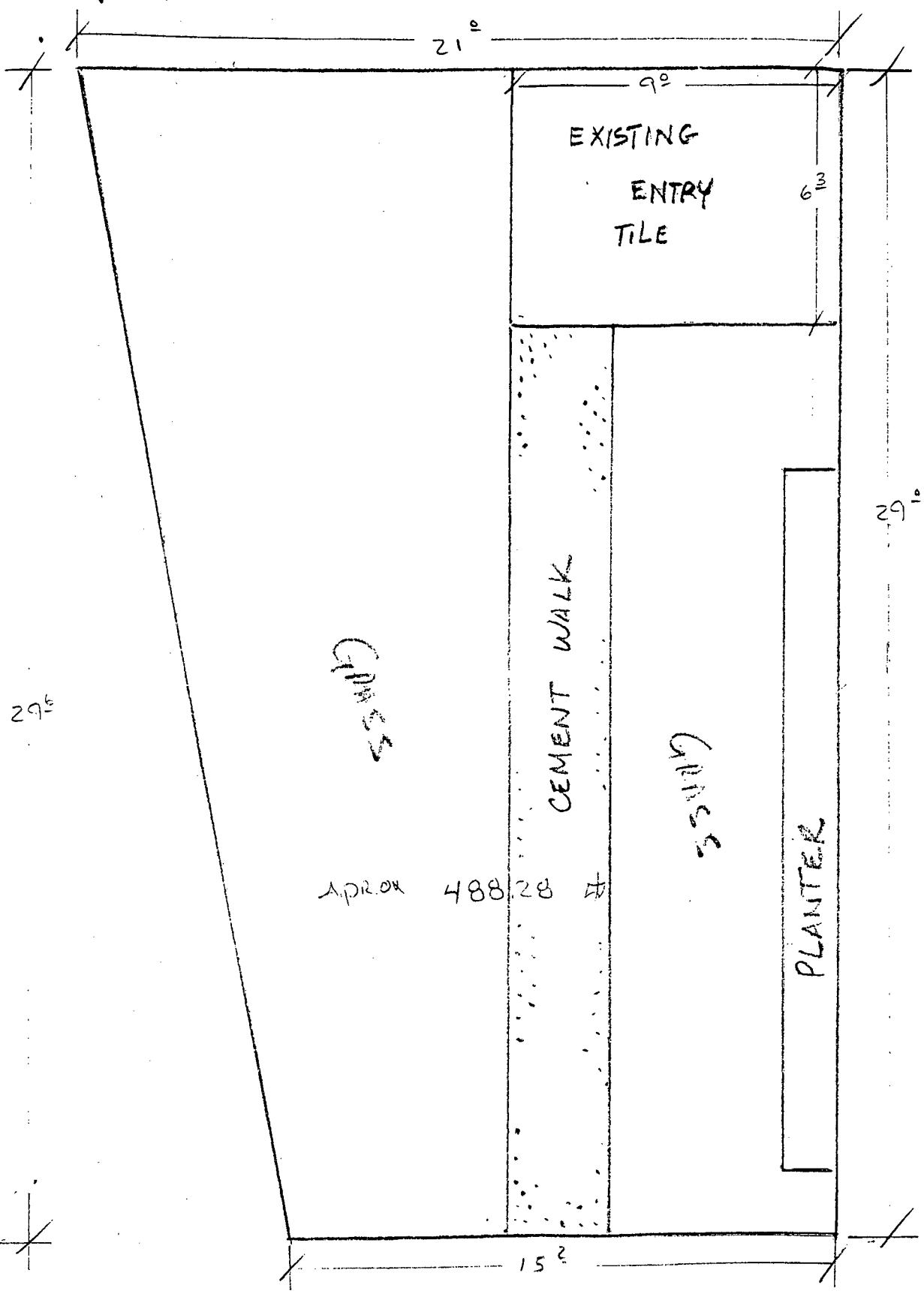
Mortgage Lender's Address

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

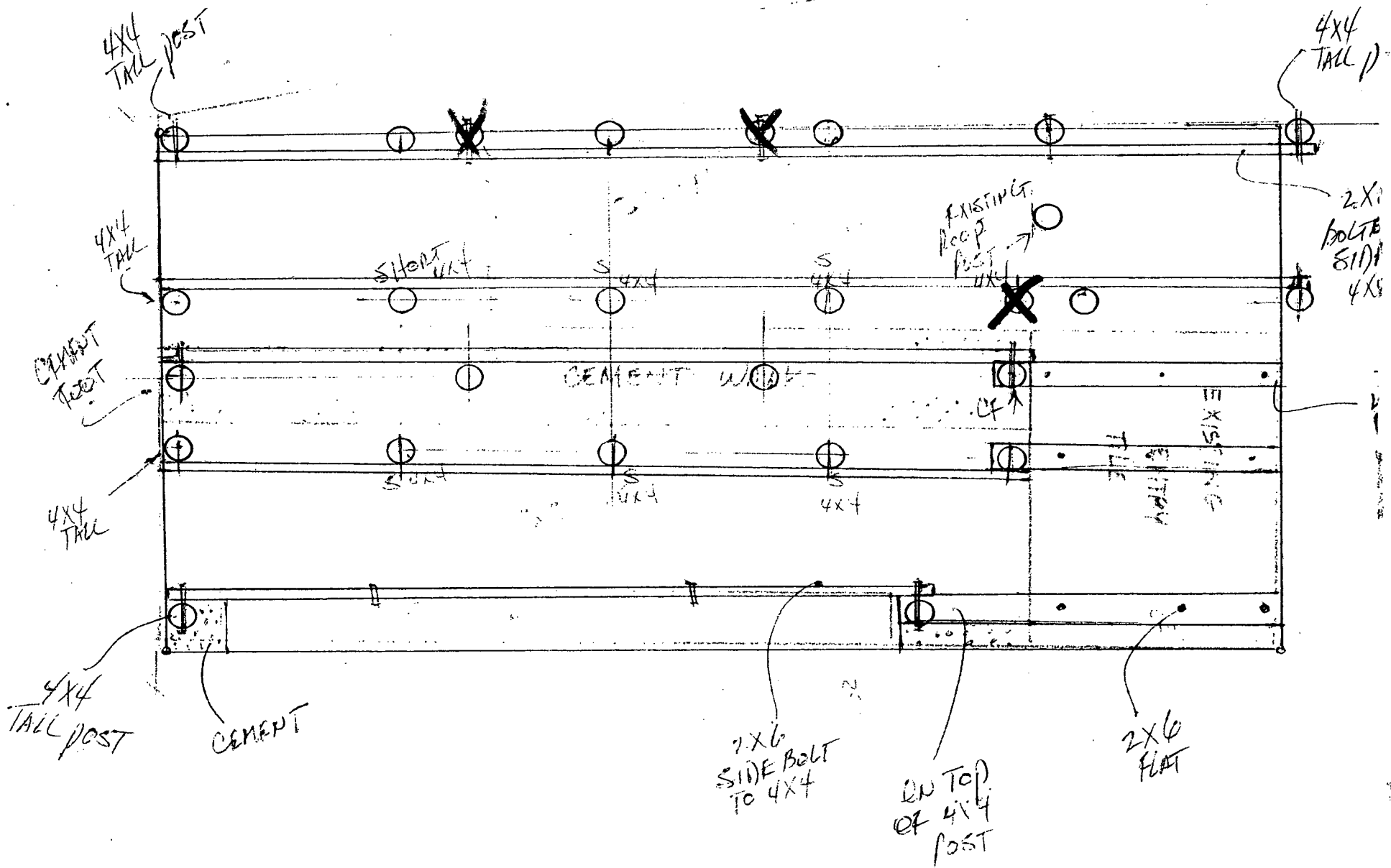


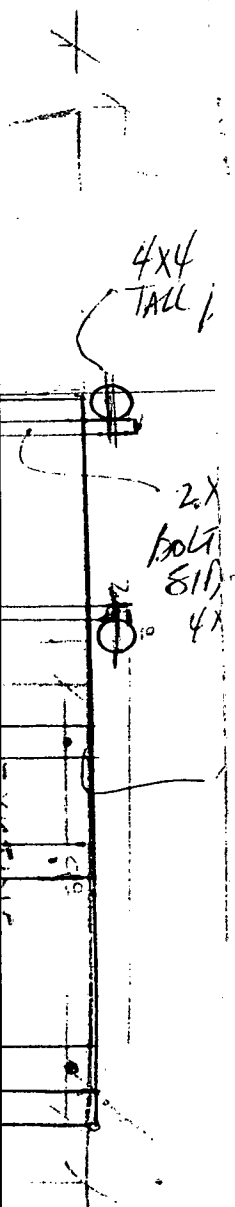
4235

4810  
X  
X  
X  
X  
X



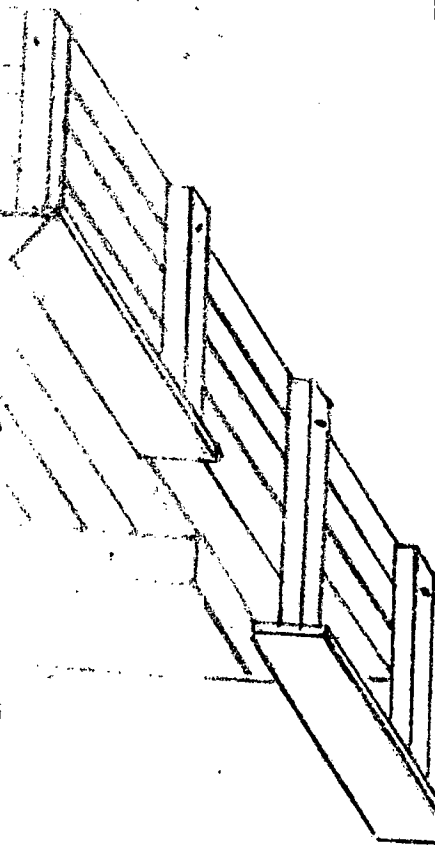
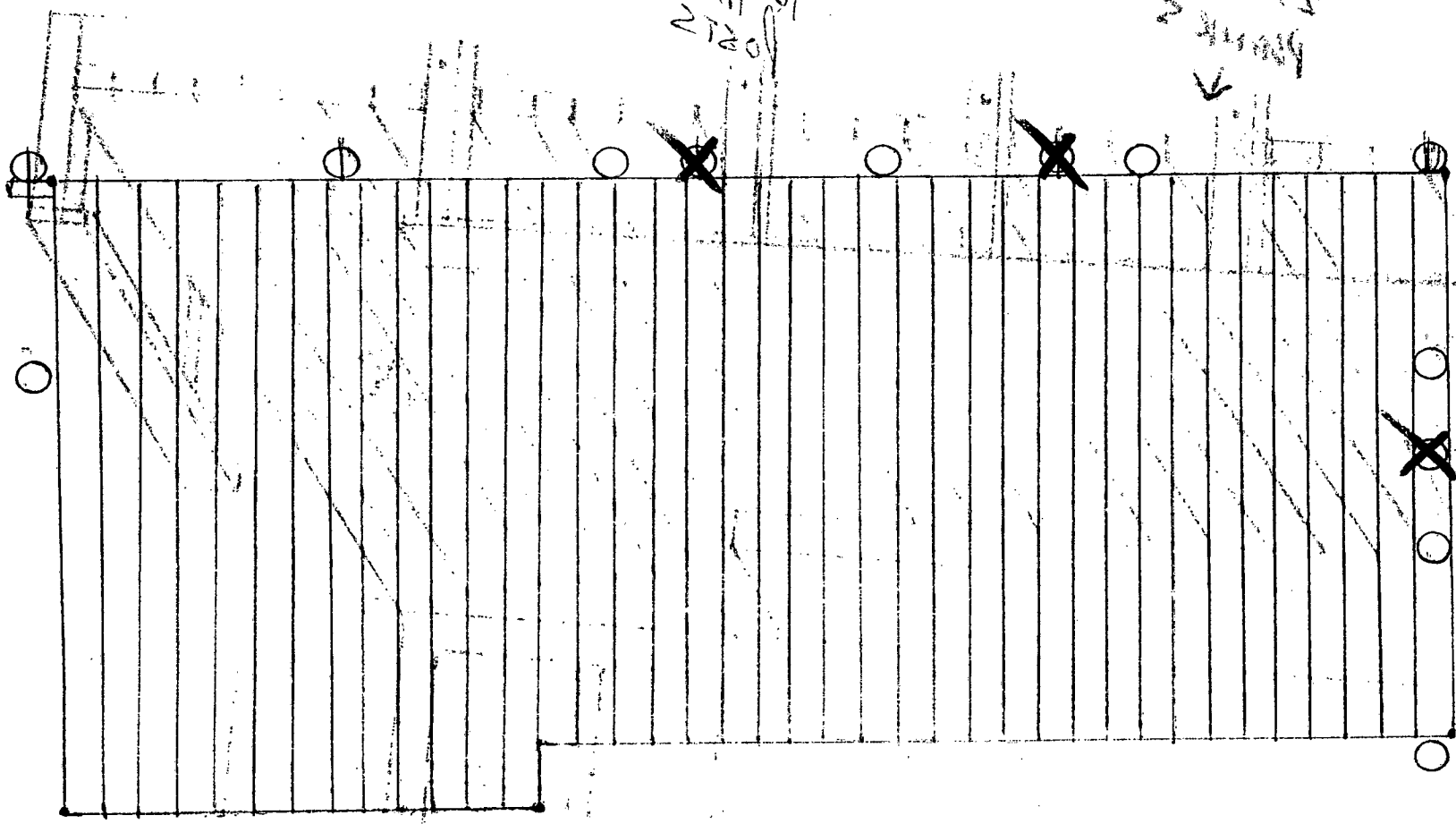
patio Detail 1/4 scale

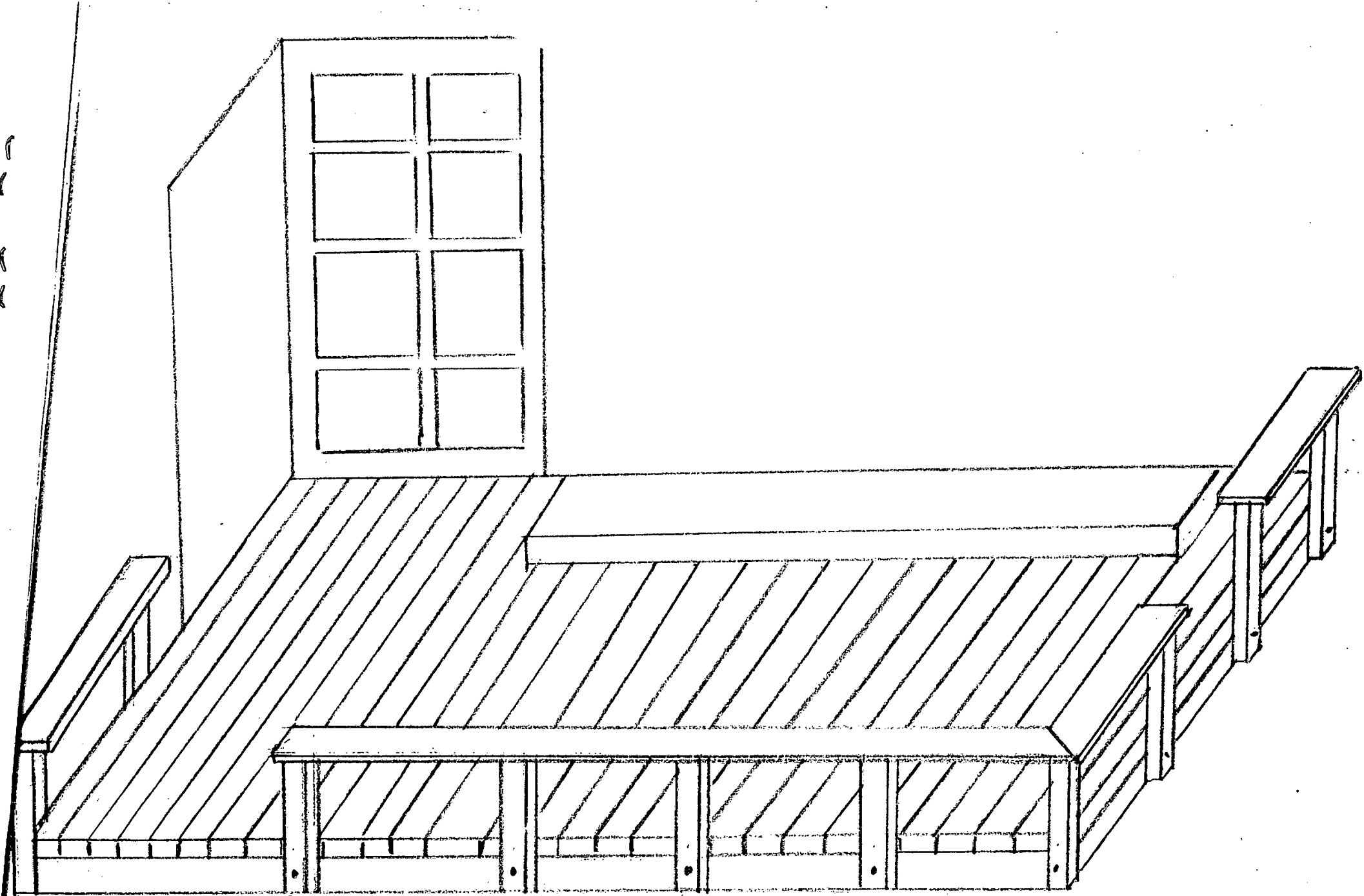




4x4  
TALL

2x  
bolt  
811  
4x







MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 8/11/97

BUILDING PERMIT NO. 4235

Building to be erected for MARION KOHLER Type of Permit \_\_\_\_\_

Applied for by SAM (Contractor) Building Fee 25<sup>-</sup>

Subdivision LUCINDA Lot \_\_\_\_\_ Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 19 SOUTH LUCINDA Impact Fee \_\_\_\_\_

Type of structure WOOD DECK A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_ Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 25<sup>-</sup> Check # \_\_\_\_\_ Cash  Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 700<sup>-</sup> TOTAL Fees 25

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Inspector

MASTER PERMIT NO. N/A

**TOWN OF SEWALL'S POINT**

Date 2/22/01

BUILDING PERMIT NO. 5275

Building to be erected for MARION KOHLER

Type of Permit FENCE

Applied for by O/B

(Contractor)

Building Fee \$30.00

Subdivision LUCINDIA Lot 39 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 19 S. VIA LUCINDIA

Impact Fee \_\_\_\_\_

Type of structure S.F.R.

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:

Plumbing Fee \_\_\_\_\_

1-38-41-007-000-00390-30000

Roofing Fee \_\_\_\_\_

Amount Paid \$30.00

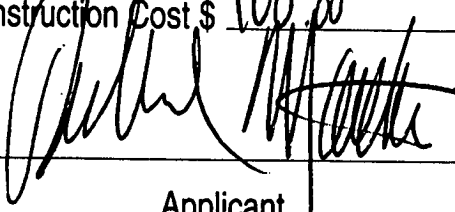
Check # -

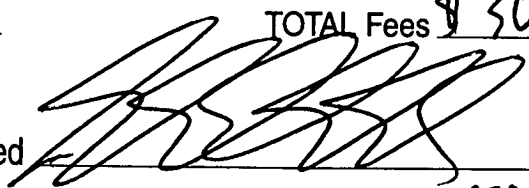
Cash \$30.00

Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 100.00

TOTAL Fees \$30.00

Signed  Applicant

Signed  Town Building Inspector OFFICINE

# FENCE PERMIT

### INSPECTIONS

SETBACKS  
FOOTINGS

DATE \_\_\_\_\_  
DATE \_\_\_\_\_

HEIGHT  
FINAL

DATE \_\_\_\_\_  
DATE 3/23/01

**24 HOURS NOTICE REQUIRED FOR INSPECTIONS.**

**CALL 287-2455**

**WORK HOURS - 8:00 AM UNTIL 5:00 PM**

**MONDAY THROUGH SATURDAY**

**New Construction**    **Remodel**    **Addition**    **Demolition**

**This permit must be visible from the street, accessible to the inspector.  
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,  
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.  
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

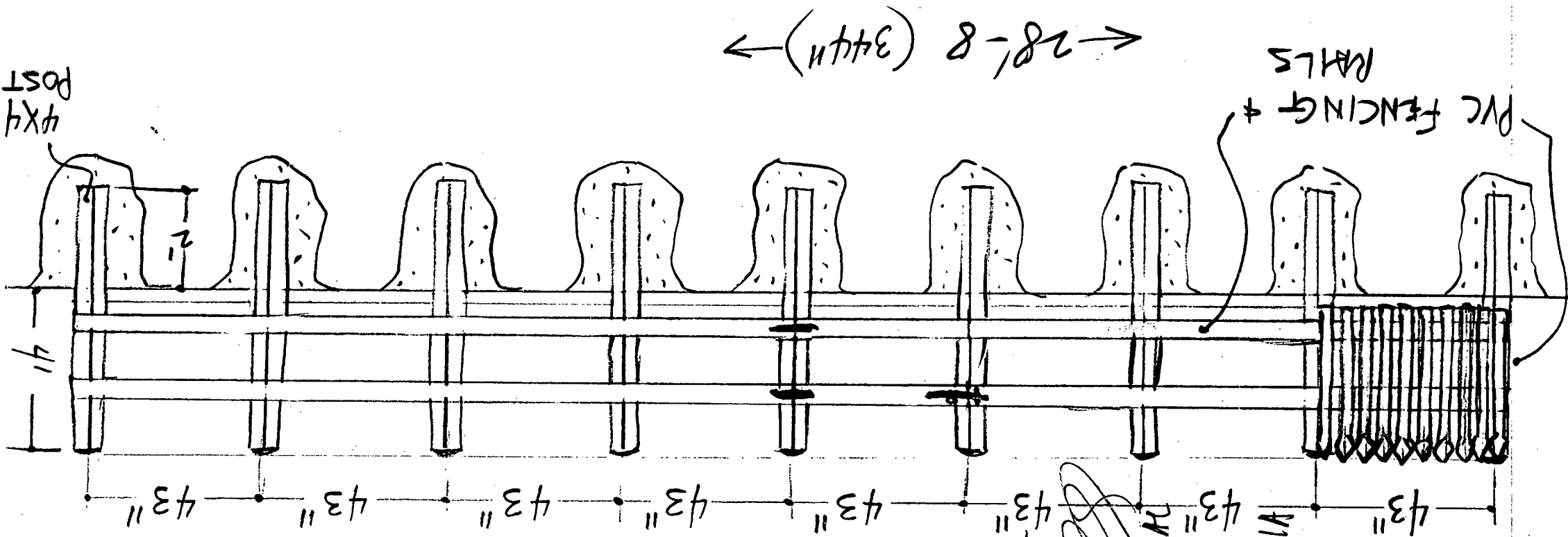
# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri MARCH 23, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 4895	SEELY	PRE-C.O.	→	roll over
✓ ⑥	37 N.E. LOFTING WAY GRIBBEN CONST.	WALK THRU		INSPECTOR:
✓ 5284	St. Lucie Bldg. Cards	Sheathing	Failed	(Rollover fr. 3/21)
⑪	3601 E Ocean A+W Roofing	T Tag + Metal	Passed	Insufficient tags/nails INSPECTOR: 3/23
✓ 5271	GELSINGER	FINAL - REWORK	Passed	
✓ ⑦	8 CASTLE HILL WAY A&W RFG.			INSPECTOR: 3/23
✓ 5275	KOHLER	FENCE - FINAL	Passed	
⑤	195. VIA LUCINDIA O/B			INSPECTOR: 3/23
✓ T/R	ASHBY/MEADE	FIELD VERIFICATION	Passed	S/D ASSOC. APPROVAL REQ'D (PORTION IN COMMON AREA)
⑧	3/5 RIVERCREST CT. MONTE'S TREE SERVICE			INSPECTOR: 3/23
✓ 5192	RAO	DRY IN	Failed	insuff. nailed
✓ ⑨	30 CASTLE HILLWAY A+W	METAL		INSPECTOR: 3/23
✓ 5301	SUNTON	FENCE - FINAL		
⑩	33 N. RIVER RD COASTAL ALUM.			INSPECTOR:

OTHER: LIBITSKY/3 RD VISTA/QUALITY HOME; PN 5279 - PERMIT DOCUMENTS TO JOB SITE.

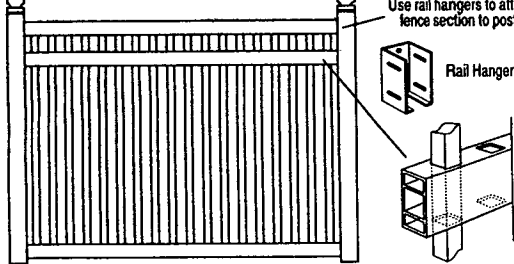


← 28'-8" (344") →

2/19/01 TOWN OF SEAKRIS POINT  
 REVIEW: [Signature]  
 HUNG OFFICIAL

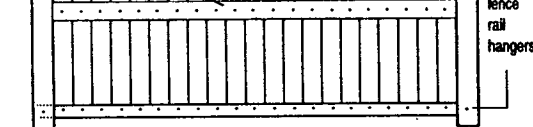
FILE TOWN COPY  
 195. VIA LUCINDIA

PN 5275



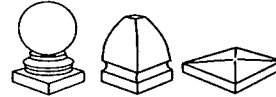
- Qty. Material List**
- 18- 1-3/8" x 1-3/8" 72" Pickets
  - 2- 1-3/4" x 2-3/4" 96" Top/Bottom Rail
  - 1- 1-3/4" x 2-3/4" 96" Center Rail
  - 1- 60 pc. Bag of 3/4" Screws
  - 6- Rail Hangers
  - 2- 1-3/4" x 96" Steel Supports
  - 1- 4 oz. Vinyl Cement

- You will need one 5" x 5" 98" post for every section of fence.
- Set posts 101" on center
- Place 1-3/4" steel supports in top & bottom rails.
- Attach top/center/bottom rail with screws in every other picket.
- Rails attach to the posts with 1-3/4" rail hangers (see rail hanger instructions).



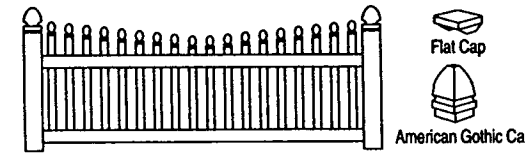
- Qty. Material List**
- 22- 3/4" x 4-1/4" 70" Board
  - 1- 3/4" x 4-1/4" 96" Board
  - 2- 1-3/4" x 2-3/4" 96" Quick Rail Top/Bottom
  - 1- 1-3/4" x 2-3/4" 96" Quick Rail Center Rail
  - 6- 1-3/4" x 2-3/4" Rail Hangers
  - 1- 150 pc. Bag of 1-3/8" Screws
  - 1- 60 pc. Bag of 3/4" Screws (6 per Bracket)

- You will need one 5" x 5" 98" post for every section.
- Allow 101" between posts.
- Cut lower boards 56-1/4" & topper boards to 10" & slide into grooves of the rail.
- Leave 1/8" space between each board.
- Snap last 2 end boards into grooves once section is in place.



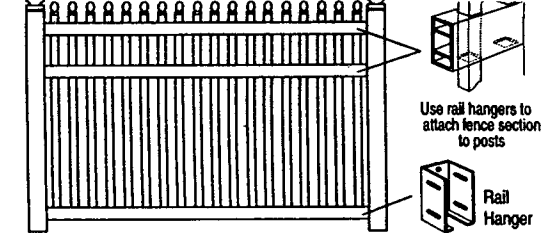
**CHOOSE FROM BALL, GOTHIC OR BEVEL POST TOPS**

**SCALLOPED 3'x8'**



- Qty. Material List**
- 9- 1-3/8" x 1-3/8" 72" Pickets (Cut 18 - 36")
  - 1- 1-3/4" x 2-3/4" 96" Top/Bottom Rail
  - 1- 1-3/4" x 2-3/4" 96" Center Rail
  - 18- 1-3/8" Gothic Picket Caps
  - 1- 60 pc. Bag of 1-3/8" Screws
  - 1- 1-3/4" x 96" Steel Support
  - 1- 4 oz. Vinyl Cement
  - 4- Rail Hangers
  - 1- 60 pc. Bag of 3/4" Screws

- You will need one 3-1/2" x 3-1/2" x 72" post for every section of fence.
- Place steel support in bottom rail.
- Trim all pickets with a 1/2" difference from the longest to the shortest.
- Rails attach to the posts with 1-3/4" rail hangers (see rail hanger instructions).

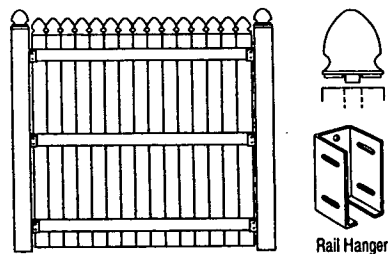


- Qty. Material List**
- 18- 1-3/8" x 1-3/8" 72" Pickets
  - 1- 1-3/4" x 2-3/4" 96" Top & Bottom Rail
  - 2- 1-3/4" x 2-3/4" 96" Center Rail
  - 18- 1-3/8" American Gothic Picket Caps
  - 1- 60 pc. Bag of 3/4" Screws
  - 1- 1-3/4" x 96" Steel Support
  - 1- 4 oz. Vinyl Cement
  - 6- Rail Hangers

- You will need one 5" x 5" 98" post for every section of fence.
- Place steel supports in bottom rail.
- Attach top/center/bottom rail with screws in every other picket.
- Rails attach to the posts with 1-3/4" rail hangers (see rail hanger instructions).

**6" U-BUILD-IT FENCING 6'x6' FENCES SHOULD BE INSTALLED ON 5X5 POSTS 72" ON CENTER.**

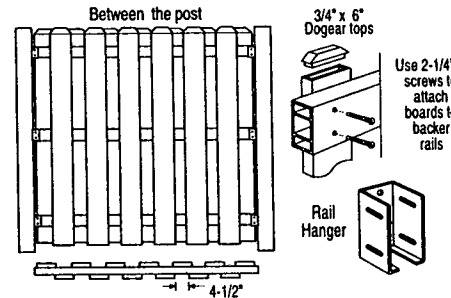
**4" GOTHIC PRIVACY 6'x6'**



- Qty. Material List**
- 15- 3/4" x 4-1/4" 70" Board
  - 3- 2" x 3" 68" Rails
  - 15- 4" American Gothic Tops
  - 2- Bags of 60 Pc. 2-1/4" Screws
  - 6- Rail Hanger Brackets
  - 1- Bag of 60 Pc. 3/4" Screws
  - 1- 4 oz. Vinyl Cement

- You will need one 5" x 5" 98" post for every section of fence.
- Set posts 72" on center
- Rails attach to the posts with 1-3/4" rail hangers (see rail hanger instructions).

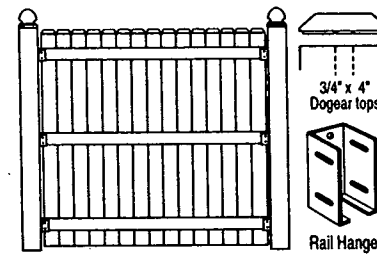
**GOOD NEIGHBOR SHADOWBOX 6'x6'**



- Qty. Material List**
- 13- 3/4" x 6" 70" Boards
  - 3- 2" x 3" 68" Rails
  - 13- 6" Dogeared tops
  - 2- Bags of 60 Pc. 2-1/4" Screws
  - 6- Rail Hanger Brackets
  - 1- Bag of 60 Pc. 3/4" Screws
  - 1- 4 oz. Vinyl Cement

- You will need one 5" x 5" 98" post for every section of fence.
- Set posts 72" on center
- Rails attach to the posts with 1-3/4" rail hangers (see rail hanger instructions).

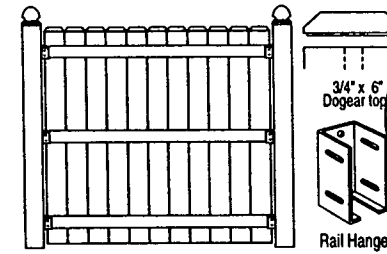
**4" DOGEAR PRIVACY 6'x6'**



- Qty. Material List**
- 15- 3/4" x 4-1/4" 70" Boards
  - 3- 2" x 3" 68" Rails
  - 15- 4" Dogear Tops
  - 2- Bags of 60 Pc. 2-1/4" Screws
  - 6- Rail Hanger Brackets
  - 1- Bag of 60 Pc. 3/4" Screws
  - 1- 4 oz. Vinyl Cement

- You will need one 5" x 5" 98" post for every section of fence.
- Set posts 72" on center
- Rails attach to the posts with 1-3/4" rail hangers (see rail hanger instructions).

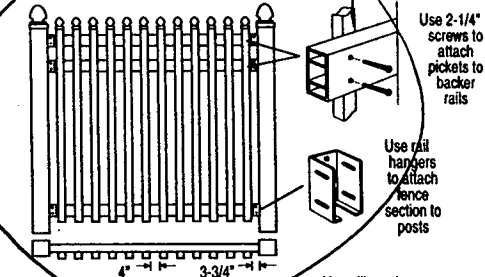
**6" BOARD PRIVACY 6'x8'**



- Qty. Material List**
- 11- 3/4" x 4-1/4" 70" Boards
  - 3- 2" x 3" 68" Rails
  - 11- 4" Dogear Tops
  - 2- Bags of 60 Pc. 2-1/4" Screws
  - 6- Rail Hanger Brackets
  - 1- Bag of 60 Pc. 3/4" Screws
  - 1- 4 oz. Vinyl Cement

- You will need one 5" x 5" 98" post for every section of fence.
- Set posts 72" on center
- Rails attach to the posts with 1-3/4" rail hangers (see rail hanger instructions).

**CLASSIC GOTHIC 6'x6'**



- Qty. Material List**
- 12- 1-3/8" x 1-3/8" 72" Pickets
  - 3- 2" x 3" 68" Rails
  - 12- 1-3/8" American Gothic Picket Caps
  - 2- Bags of 60 Pc. 2-1/4" Screws
  - 6- Rail Hanger Brackets
  - 1- Bag of 60 Pc. 3/4" Screws
  - 1- 4 oz. Vinyl Cement

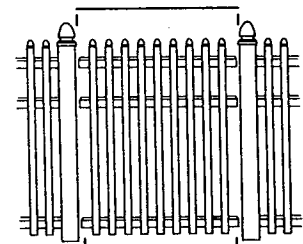
- You will need one 5" x 5" 98" post for every section of fence.
- Set posts 72" on center
- Space the pickets 4" apart.
- Rails attach to the posts with 1-3/4" rail hangers (see rail hanger instructions).



- White coated Aluminum guaranteed never to rust
- Fully Adjustable
- 180° Swing
- Reversible - Left or Right Side Installation
- Wrap Around Hinge for Superior Strength

- White coated Aluminum guaranteed never to rust
- Adjustable Latch
- Built In Handle
- Left or Right Side Installation
- Finger Tip Release
- Lock Can Be Added

**GATE OPENINGS BETWEEN POSTS MUST BE 1-1/4" WIDER THAN GATE.**



**SPACE BETWEEN POSTS AND GATE SHOULD BE 5/8" ON EACH SIDE.**

**PRE-BUILT SPECIAL ORDER GATES ARE MADE TO FIT A 42" GATE OPENING. ACTUAL WIDTH OF GATE IS 40-3/4".**

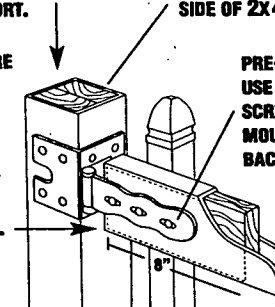
**5X5 GATE POSTS**  
Insert 2 Pressure Treated 2x4's inside post. Keep the 2x4 flush to the hinge mounting side of post for added strength.

**4X4 GATE POSTS**  
Insert 2 Pressure Treated 2x4's inside post to mount hinges for added strength. Rip 1/2" off wide side of 2x4's.

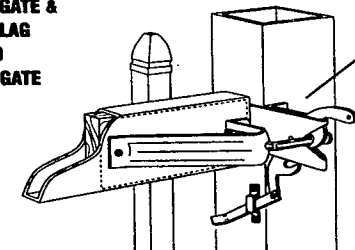
**INSERT 2 PRESSURE TREATED 2X4'S INSIDE POST TO MOUNT HINGES FOR ADDED SUPPORT.**

**RIP 1/2" OFF WIDE SIDE OF 2X4.**

**WOOD INSERTS ARE ON ALL GATE BACKRAILS. INSERTS ARE 8" IN FROM END OF RAIL FOR LEFT OR RIGHT HINGE OR LATCH MOUNT.**



**PRE-DRILL GATE & USE HINGE LAG SCREWS TO MOUNT TO GATE BACKRAIL.**



**PRE-DRILL & USE LATCH SCREWS ON POST.**

**CONSULT YOUR LOCAL BUILDING DEPARTMENT FOR LOCAL CODE REQUIREMENTS...**

# HOW TO BUILD AND INSTALL ALL STYLES OF VINYL FENCE

Read the instructions all the way through before beginning installation. Consult the fence expert where you purchased your fence for any unique installations or styles not covered on these instructions.

The first step in planning a fence is to check with your local building department for codes regarding: height restrictions, property line set backs, good neighbor side face out, or any other construction requirements.

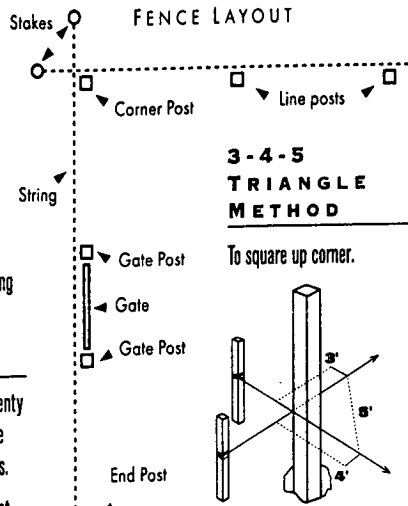
Step 2 is to be sure of any boundary lines to avoid altering or moving your fence.

## FENCE LAYOUT

It is very important that you work carefully and allow plenty of time for laying out the fence. Begin by staking out the fence. Locate all fence corners, gate posts and end posts.

Mark these locations by driving a stake into the ground at each one. When a fence must turn a corner, square the corner using the 3-4-5 Triangular method.

After making sure the corners are square, tie string tightly between each stake to establish your fence line. Measure and locate the position of each line post.



**CONSULT YOUR LOCAL BUILDING DEPARTMENT FOR LOCAL CODE REQUIREMENTS...**

## SETTING THE POSTS

Now that you have marked all your post locations it is time to dig your holes and set your posts.

Begin by digging or drilling all post holes 12" in diameter. The recommended hole depth for installing an 8" post is 30" deep for a height of 6' high fence.

Use hollow center posts for all line posts. For the corner, gate and end posts use the posts with the wood core insert for added strength. Plum and level each and every post.

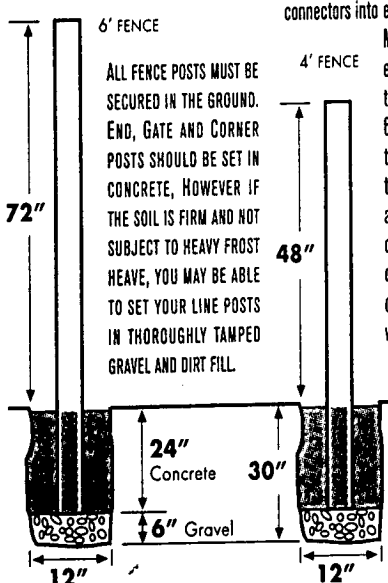
## SETTING THE LINE POSTS

Pour 6" of gravel into the bottom of hole. Pour concrete over the gravel to fill the hole. Tap the hollow 8" post into the concrete so the concrete fills the center portion of the post in the hole. Tap the post down 24" to the top of the gravel.

## SETTING CORNER, GATE & END POSTS

Pour 6" of gravel into the bottom of the 12" x 30" hole. Set the corner, gate or end post with wood core insert in the hole. Fill the hole with concrete all around the post.

Finish all posts with concrete collar sloped away from the post to allow water to drain away. Concrete should be allowed to set for 24-48 hours.



## HOW TO BUILD A TRADITIONAL STYLE FENCE

The distance from each corner post must be 96" on center between each post. Drive stakes at each location, but be careful not to disturb your string line.

**NOTE: ON CENTER MEANS THAT WHEN SETTING THE POSTS YOU SHOULD MEASURE FROM THE CENTER OF THE POST TO THE CENTER OF THE NEXT. ANY ODD SPACE LEFT AT THE END OF EACH RUN CAN BE USED FOR A GATE OR A SHORTER FENCE SECTION. PLAN CAREFULLY, MOST FENCE STYLES REQUIRE 96" ON CENTER POST PLACEMENT, HOWEVER, SOME MAY REQUIRE LESS.**

Start by attaching all the back rails to the posts. Use the 96" back rails, or cut to the distance on center. Place a steel support into the large opening of each of the back rails. Use 3 back rails for fences over 48" and 2 back rails on sections under 48". Be sure the steel support goes all the way into the back rail and is set back 1-1/2" from each end. Slide two rail connectors into each end of the rails.

Measure and mark each post down from the top at 6", 33" for 6' fences. Place the top of the rail at these marks and attach. Make sure the flat side of the rail connector is flat against the post and pre-drill a 3/32" hole thru the back rail, rail connector and post. Attach rails to posts with aluminum screws. Tighten screws enough to create a dimple in the rail.

This will allow the vertical boards to lay flat against the back rails.

Now you are ready to begin attaching the boards to the rails. See specific fence styles for instructions on attaching boards and tops.

## VINYL FENCE COMPONENTS

**BOARD TOPS**

3/4" x 4-1/4" BOARDS  
3/4" x 6" BOARDS  
1-3/8" x 1-3/8" PICKETS  
1-3/4" x 2-3/4" RAILS  
1-3/4" x 5-1/4" RAILS  
1-3/4" x 2-3/4" TOP & BOTTOM RAIL NOTCHED 1 SIDE

3/4" x 4-1/4" DOGEAR  
3/4" x 4-1/4" FLAT  
3/4" x 6" DOGEAR  
3/4" x 4-1/4" GOTHIC  
3/4" x 6" FLAT

**BOARD CAPS**

1-3/4" x 2-3/4"  
1-3/4" x 5-1/4"

**PICKET CAPS**

FLAT CAP  
AMERICAN GOTHIC

**POST TOPS**

1-3/4" x 2-3/4" CENTER RAIL NOTCHED 2 SIDES  
1-3/4" x 2-3/4" QUICK RAILS TOP & BOTTOM  
1-3/4" x 2-3/4" QUICK RAILS CENTER  
4" x 4" GOTHIC TOP  
4" x 4" BALL TOP  
4" x 4" BEVEL TOP  
5" x 5" BEVEL TOP

**FENCE RAIL HANGERS**

1-3/4" x 2-5/8"  
1-3/4" x 5-1/4"

**RAIL BRACKETS**

5" x 5" POSTS CORNER/END GATE  
RAIL CONNECTOR  
CORNER BRACKET

**ALUMINUM SCREWS**

19	3/4"	60 PC.
20	1-3/8"	60 PC.
21	1-3/8"	500 PC.
22	1-3/8"	150 PC.
23	2 1/4"	60 PC.

**STEEL SUPPORTS**

3/4" x 93"  
1-3/8" x 96"  
1-3/4" x 96"

**VINYL CEMENT**

PVC VINYL FENCE CEMENT



EDWIN B. ARNOLD, AIA, CBO  
Building Official

IA

TOWN OF SEWALL'S POINT

D.

Town Hall  
One South Sewall's Point Road  
Sewall's Point, Florida 34996

Phone (561) 287-2455  
Fax (561) 220-4765

Disclosure Statement

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is in violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name MARION K. KAHLER Date 2/14/01  
Signed Marion K. Kehler  
Address 19 South Via WINDIA  
City & State STUART FL 34996  
Permit No. 5275

This form is for all permits except electrical.  
Revised October 25, 1995

8/25

doors put in  
back - said you  
told him this was  
a standard form to  
be signed as he  
was doing the work  
himself.

N.

8/25

NANCY:

PLS PULL PERMIT FILE  
- GET OWNER TEL. NO.

- ASK MRS. KOHLER  
WHAT THIS DOCUMENT  
WAS SUBMITTED FOR.

THANKS SP





**EDWIN B. ARNOLD, AIA, CBO**  
**Building Official**

**RECEIVED**  
 AUG 24 2000  
 BY: EA 8/25

**TOWN OF SEWALL'S POINT**

Town Hall  
 One South Sewall's Point Road  
 Sewall's Point, Florida 34996

Phone (561) 287-2455  
 Fax (561) 220-4765

7  
 (OUTSTANDING  
 PERMIT - NOC PD 4899  
 - CHALLENGER POOLS)

**Disclosure Statement**

State law requires electrical contracting to be done by licensed electrical contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own electrical contractor even though you do not have a license. You may install electrical wiring for a farm outbuilding or a single-family or duplex residence. You may install electrical wiring in a commercial building the aggregate construction costs of which are under \$25,000. The home or building must be for your own use or occupancy. It may not be built for sale or lease. If you sell or lease more than one building you have wired yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your electrical contractor. Your construction shall be done according to building codes and zoning regulations. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Florida Statute 489.503(6).

I have read the above and agree to comply with the provisions as stated.

Name Marion Kohler Date 8/23/00  
 Signed Marion K. Kohler  
 Address 19 SO. VIA WINDIA  
 City & State STUART FL 34996  
 Permit No. \_\_\_\_\_

This form is to be used for electrical permits only.  
 Revised October 26, 1995



RECEIVED  
OCT 09 2000  
BY: [Signature]

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Binnings Pan American  
2805 N.E. 185 St.  
Miami FL 33163

Your application for Product Approval of:  
*Series PA-9, Models A, B, and C Aluminum Sliding Glass Door*  
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: *Applicant, along with Drawing No. PA-09-DC, Sheets 1 thru 6 of 6. (This NOA renews NOA No. 95-0831.01.)*

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-1110.06  
Expires: 11/16/01

[Signature]  
Raul Rodriguez  
Product Control Supervisor

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

**BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

10/9/00 TOWN OF STEVENSON'S DEPT  
REVIEW  
BDCG OFFICIAL  
REVISED SUBMITTAL

[Signature]  
Charles Danger, P.E.  
Director  
Building Code Compliance Dept.  
Metropolitan Dade County

Approved: 12/03/98

FILE <sup>-1-</sup> TOWN COPY 19 VIA WDCOMM-5.

Internet mail address: [postmaster@buildingcodeonline.com](mailto:postmaster@buildingcodeonline.com) Homepage: <http://www.buildingcodeonline.com>

PN 5079

12/11/98 FRI 14:32 FAX 305 3726339

BCCD PRODUCT CONTROL

001

002

Binnings Pan American

ACCEPTANCE No. : 98-1110.06

APPROVED : DEC 03 1998

EXPIRES : November 16, 2001

**NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS**

**1. SCOPE**

1.1 This renews the Notice of Acceptance No. 95-0831.01, which was issued on November 16, 1995. It approves an aluminum sliding glass door, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings, and the following statement: "Miami-Dade County Product Control Approval", or as specifically stated in the approved drawings.

**2. PRODUCT DESCRIPTION**

2.1 The Series PA-9 Aluminum Sliding Glass Door, Models A, B and C, and its components shall be constructed in strict compliance with the following documents: Drawing No. PA-09-DC, Sheets 1 through 6, titled "PA-9 Sliding Glass Door Model A, Model B and Model C" prepared by Robt. E. Fisher WM M. Meyers P.E. Consulting Engineers, dated 10/26/98, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

**3. LIMITATIONS**

- 3.1 This approval applies to single unit applications only, as shown in approved drawings.
- 3.2 Head receptor is not allowed to be used in this installation.

**4. INSTALLATION**


- 4.1 The aluminum sliding glass door and its components shall be installed in strict compliance with the approved drawings.
- 4.2 The installation of this product will require a hurricane protection system.

**5. LABELING**

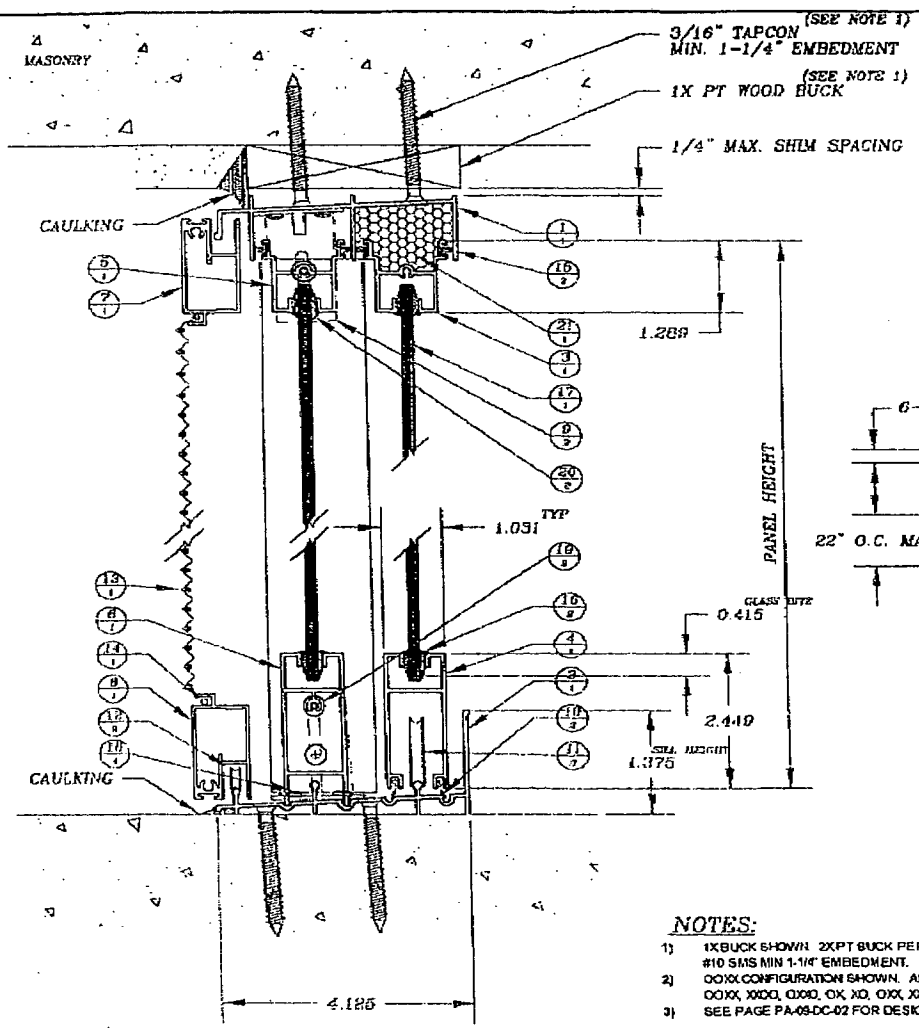
5.1 Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", the Notice of Acceptance number and date. It shall be done in accordance with the approved drawings.

**6. BUILDING PERMIT REQUIREMENTS**

- 6.1 Application for building permit shall be accompanied by copies of the following:
  - 6.1.1 This Notice of Acceptance.
  - 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.
  - 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

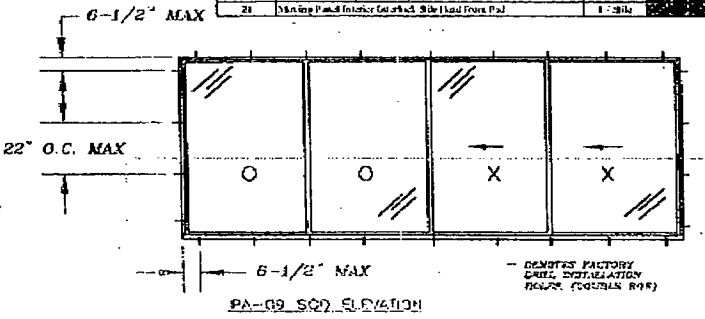
  
 Manuel Perez, P.E., Product Control Examiner  
 Product Control Division  
 Miami-Dade County  
 Product Control Division

OCT 09 2000 08:24 FR BINNINGS PAN AMERICAN305 681 0454 TO 1561233297 P.04/09



**Vertical Section Bill of Material**

Part Number	Item Description	Quantity	Extension Number	Part Number	Alt/Id	Remarks
1	Frame Head	1 Draw	9-101	9-101-1	600 T-3	
2	Frame Sill	1 Draw	9-37	9-37-1	600 T-3	
3	Moving Panel Head	1 Panel	9-22	9-22-1	600 T-3	
4	Moving Panel Sill	1 Panel	9-34	9-34-1	600 T-3	
5	Fixed Panel Head	1 Panel	0-06	9-06-1	600 T-3	
6	Fixed Panel Sill	1 Panel	9-140	9-140-1	600 T-3	
7	Screen Head	1 Draw	9-120	9-120-1	600 T-3	
8	Screen Sill	1 Draw	9-120	9-120-1	600 T-3	
9	Fixed Panel Interlock Angle Bracket	2 Sills	9-144		600 T-3	
10	Moving Panel Return Rod Weatherstripping	2 Panel		9-200	Var	
11	Roller Assembly	2 Panel		9-091	Var	
12	Screen Molar Assembly	2 Screen		4-12-002	Var	
13	Screen	1 Screen		18316	Fiberglass	
14	Screen spline	1 Screen	9-090		Var	
15	Top Ball Weatherstripping	2 Panel		9-201	FA	
16	3/16\" Glass Vinyl	2 Panel		9-207	Var	
17	3/16\" Tempored Gazing	1 Panel			Glass	
18	Fixed Panel Interlock Side Angle Bracket 1/4\" X 1 1/2\" 303	4 Sills		9-301	Std	
19	Fixed Panel Interlock Side Corner Construction 1/4\" X 1 1/2\" 303	2 Sills		9-301	Std	
20	Fixed Panel Interlock Side Angle Bracket 1/4\" X 1 1/2\" 303	2 Sills		9-300	Std	
21	Moving Panel Interlock Side Head Frame Pad	1 Sill		9-201	Form	



APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
 DATE November 19 98  
 BY [Signature]  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 98-110-06

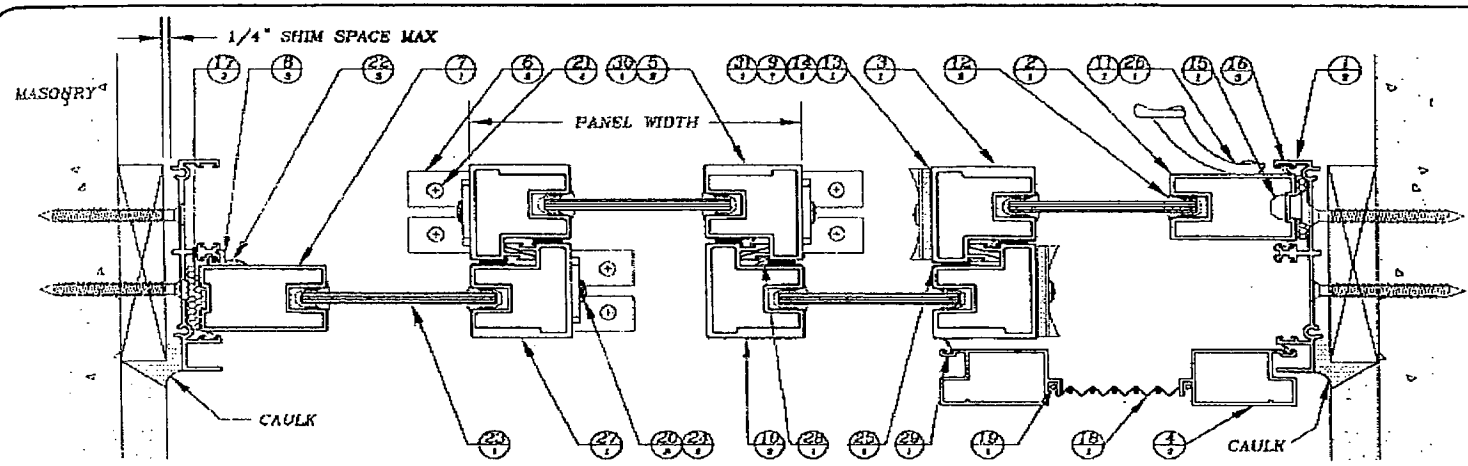
- NOTES:**
- 1) 1XBUCK SHOWN 2XPT BUCK PERMISSIBLE WITH #10 SMS MIN 1-1/4\" EMBEDMENT.
  - 2) OXXX CONFIGURATION SHOWN. APPLIES TO OXXX, XXXX, OXXX, OX, XO, OXX, XXO, XX.
  - 3) SEE PAGE PA-09-DC-02 FOR DESIGN PRESSURES

*Max Morgan*  
 12/15  
*Standard*  
 12/10/99

**VERTICAL SECTION PA-09 SGD**  
 HALF SCALE

		P.O. Box 630038 2805 N.E. 185th Street Miami, Florida 33163 (305)931-2350	
Division: ASSY Part Name: DC Part Category: SGD Series/Model: PA-09 Item: N/A Sheet: 1 OF 6	PA-9 SLIDING GLASS DOOR MODEL 'A' VERTICAL CROSS SECTION		
Designer: William Myers Drawn By: [Blank] Date Drawn: 10/06/98	Part Number: N/A Drawing Number: PA-09-DC	Revision Details: [Blank]	

FROM: 305 681 0454 P04 10-09-99 08:10 TO: STUART 6314



**2 HORIZONTAL SECTION PA-09 SGD**  
HALF SCALE

Door Height	Panel Width	+ DP	- DP
80	24	45.33	-70.13
80	28	45.33	-62.06
80	30	45.33	-58.91
80	32	45.33	-56.16
80	34	45.33	-53.77
80	36	45.33	-51.68
80	38	45.33	-47.29
80	40	40.96	-40.96
80	42	35.76	-35.76
80	44	31.47	-31.47
96	24	45.33	-65.63
96	28	45.33	-49.18
96	30	45.33	-46.51
96	32	44.18	-44.18
96	34	42.15	-42.15
96	36	40.35	-40.35
96	38	38.76	-38.76
96	40	37.34	-37.34
96	42	36.07	-36.07
96	44	34.93	-34.93

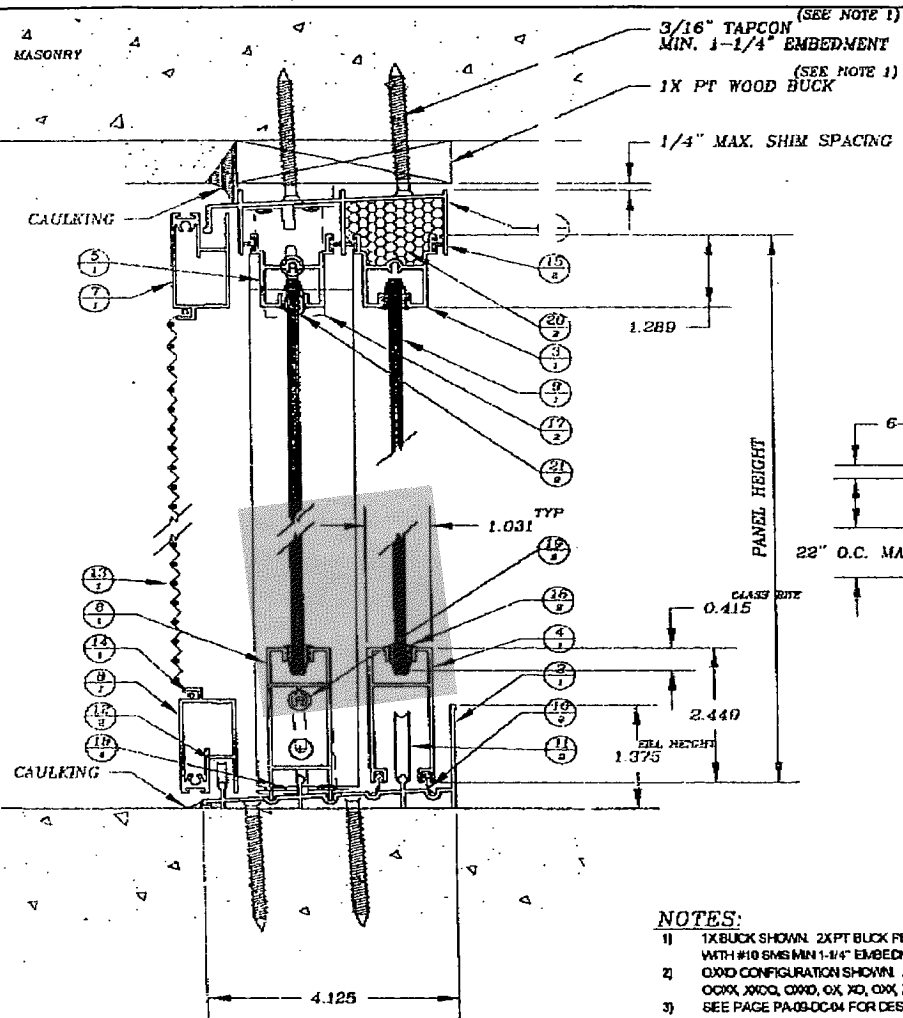
- NOTES:**
- 1) 1X BUCK SHOWN. 2X PT BUCK PERMISSIBLE WITH #10 SMS MIN 1-1/4" EMBEDMENT.
  - 2) OXXX CONFIGURATION SHOWN. APPLIES TO OXXX, XXOO, OXXO, OX, XO, OXX, XXO, XX.

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
 DATE November 16, 1998  
 BY Mauro J. ...  
 PRODUCT ENGINEER  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 98-1110-06

*W. M. ...*  
 17755  
 Glendale  
 12/10/99

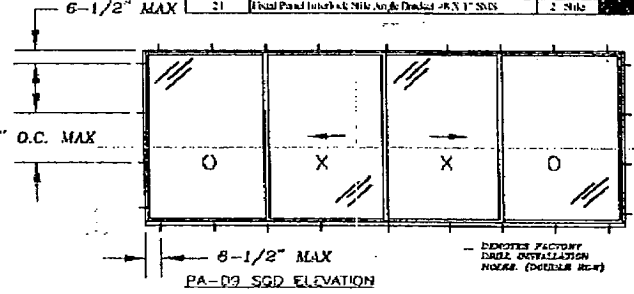
Part Number	Item Description	Quantity	Extrusion Number	Part Number	Material	Remarks
1	Frame Lmb	2 / Door	9-36	9-86-1	6063 T-5	
2	Moving Panel Lock Sill	1 / Panel	9-13	9-13-1	6063 T-5	
3	Moving Panel Interior Interlock Sill	1 / Panel	9-132	9-132-1	6063 T-5	
4	Moving Panel Screen Sill	2 / Screen	9-121	9-121-1	6063 T-5	
5	Fixed Panel Interior Interlock Sill	2 / Panel	9-132	9-132-2	6063 T-5	
6	Fixed Panel Interior Sill Angle Bracket	2 / Sill	9-141		6063 T-5	
7	Fixed Panel Side Sill	1 / Panel	9-83	9-83-1	6063 T-5	
8	Fixed Panel Retainer Anchor	3 / Door	9-11	9-11-1	6063 T-5	
9	Moving Panel Scape	1 / Panel	9-42A		6063 T-5	
10	Moving Panel Exterior Interlock Sill	2 / Panel	9-132	9-132-3	6063 T-5	
11	Moving Panel Lock Assembly Handle	1 / Panel		9-302P		
12	3-16" Glazing Gasket	2 / Panel		9-2007	Vinyl	
13	Moving Panel Sweep Pad	1 / Panel		9-2025A		
14	Moving Panel Sweep Weatherstrip	1 / Panel		9-2011	Vinyl	
15	Frame Lmb Lock Kicker	1 / Door		16-6002		
16	Frame Lmb Weatherstrip	3 / Door		9-2019	Vinyl	
17	Frame Lmb Foam Pad	2 / Lmb		9-2023	Foam	
18	Screen	1 / Screen		18X16	Fiberglass	
19	Screen Splice	1 / Screen	82000		Vinyl	
20	Fixed Panel Interlock Sill #8 X 1" SNS	2 / Sill		9-8009	Steel	
21	Fix Panel Interlock Sill #10 X 1 1/2" SNS	4 / Sill		9-8010	Steel	
22	#6 X 3 1/2" TEK Screws	3 / Door		9-8004	Steel	
23	3 1/2" Composite Glazing	1 / Panel			Glass	
24	Fixed Panel Interlock Sill #8 X 7 1/2" SNS	2 / Sill		9-8001	Steel	
25	Interlock Sill Pad	1 / Sill		9-2026	Pile	
26	Moving Panel Interlock Lock Assembly	1 / Panel		9-6028		
27	Fixed Panel Exterior Interlock Sill	1 / Panel	9-132	9-132-2	6063 T-5	
28	Interlock Sill Weatherstrip	1 / Sill		9-2019	Vinyl	
29	Screen Sill Weatherstrip	1 / Sill		9-2019	Vinyl	
30	Fixed Panel Interlock Sill Foam Pad	1 / Sill		9-2024	Foam	
31	Moving Panel Sweep #8 X 1" SNS	1 / Sill		9-8009	Steel	

Revision Files:			P.O. Box 630038 2805 N.E. 185th Street Miami, Florida 33163 (305)931-2350		
Drive Glass ASSY	Part Class: DC	Prod Category: SGD	Series/Model: PA-09	Qty: N/A	Sheet: 2 OF 8
PA-9 SLIDING GLASS DOOR MODEL 'A' HORIZONTAL CROSS SECTION					
Part Number: N/A	Drawing Number: PA-09-DC	Revision Level:			



**Vertical Section Bill of Material**

Part Number	Item Description	Quantity	Extrusion Number	Part Number	Material	Remarks
1	Frame Head	1	9-16L	9-101-1	6063 T-5	
2	Frame Sill	1	9-8T	9-8T-1	6063 T-5	
3	Moving Panel Head	1	9-22	9-22-1	6063 T-5	
4	Moving Panel Sill	1	9-34	9-34-1	6063 T-5	
5	Fixed Panel Head	1	9-09	9-09-1	6063 T-5	
6	Fixed Panel Sill	1	9-14G	9-14G-1	6063 T-5	
7	Screen Head	1	9-120	9-120-1	6063 T-5	
8	Screen Sill	1	9-120	9-120-1	6063 T-5	
9	1/16\" Temp Seal Clamping	1			Clear	
10	Moving Panel Bottom Rail Weatherstripping	2		9-206	Vinyl	
11	Moving Panel Weatherstripping	2		9-603T	Vinyl	
12	Screen Water Assembly	2		4512-1012	Vinyl	
13	Screen	1		BR16	FRP/Alum	
14	Screen spline	1	82000		Vinyl	
15	Top Rail Weatherstripping	2		9-204	Pile	
16	3/16\" Weatherstripping	2		9-207	Vinyl	
17	Fixed Panel Angle Bracket	2		9-14B	6063 T-5	
18	Fixed Panel Interlock Nite Angle Head at 120 X 1 1/2\" SWS	4		9-8010	Stad	
19	Fixed Panel Interlock Nite Construction Corner 1 1/2 X 7 1/2\" SWS	2		9-8011	Stad	
20	Moving Panel Interlock Steel Head Base Pad	1		9-2024	Iron	
21	Fixed Panel Interlock Nite Angle Bracket -R,N 1\" SWS	2		9-8012	Stad	



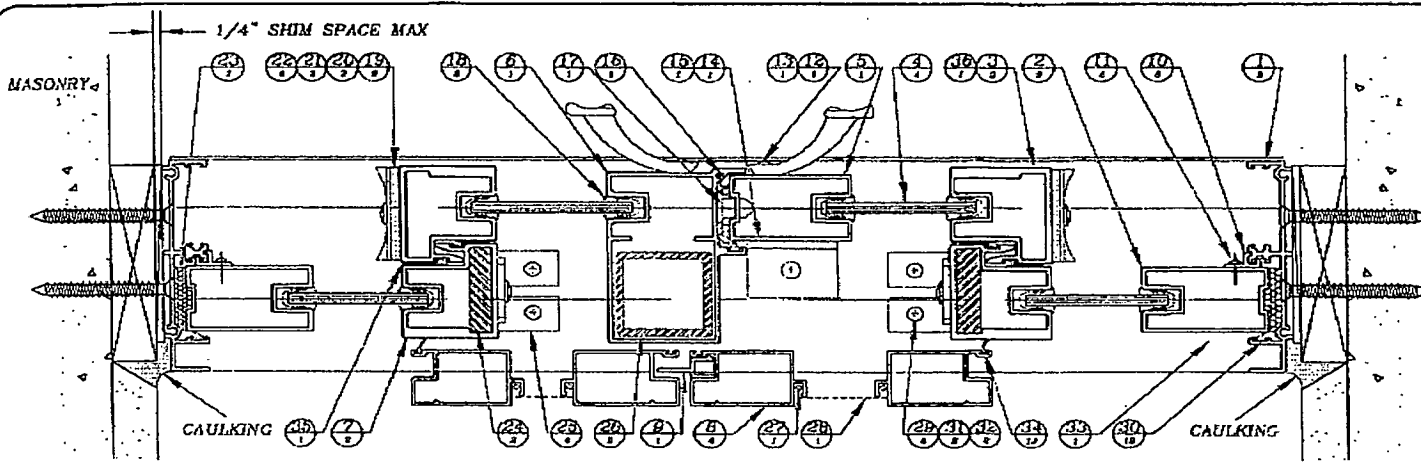
APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
 DATE November 16, 1998  
 BY Jeffrey S. King  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 98-1110.06

- NOTES:**
- 1) 1X BUCK SHOWN. 2X PT BUCK PERMISSIBLE WITH #10 SWS MIN 1-1/4\" EMBEDMENT.
  - 2) OXXX CONFIGURATION SHOWN APPLIES TO OXXX, XXXO, OXXX, OX, XO, OXX, XXXXX.
  - 3) SEE PAGE PA-09-DC-04 FOR DESIGN PRESSURES.

**1 VERTICAL SECTION PA-09 SGD**  
 HALF SCALE

		P.O. Box 630038 2805 N.E. 185th Street Miami, Florida 33163 (305)931-2350	
Designer: William Byers Design By: WJB Revised By: ---	Date Created: 10/28/98 Date Revised: ---	Prod. Category: SGD Series/Model: PA-09 Term: N/A Sheet: 3 OF 8	Part Number: N/A Drawing Number: PA-09-DC Revision Level: ---

**PA-9 SLIDING GLASS DOOR MODEL 'B'  
 VERTICAL CROSS SECTION**



Door Height	Panel Width	+ DP	- DP
80	24	61.33	-106.01
80	28	61.33	-93.85
80	30	61.33	-89.05
80	32	61.33	-84.90
80	34	61.33	-81.28
80	36	61.33	-78.11
80	38	61.33	-71.49
80	40	61.33	-61.91
80	42	54.06	-54.06
80	44	47.56	-47.56
80	46	37.57	-37.57
96	24	61.33	-84.54
96	28	61.33	-74.35
96	30	61.33	-70.30
96	32	61.33	-66.79
96	34	61.33	-63.71
96	36	60.99	-60.99
96	38	58.59	-58.59
96	40	56.44	-56.44
96	42	54.52	-54.52
96	44	52.80	-52.80
96	46	43.37	-43.37

**2 HORIZONTAL SECTION PA-09 SGD**

**Horizontal Section Bill of Material**

Part Number	Item Description	Quantity	Extension Number	Part Number	Material	Remarks
1	Frame Inset	2	0-66	0-66-1	6063 T-3	
2	Fixed Panel Side Sill	2	0-63	0-63-1	6063 T-3	
3	Moving Panel Interlock Sill	2	0-632	0-112-2	6063 T-3	
4	1/4\"	1	0-637	0-637-1	6063 T-3	
5	Moving Panel Lock Sill	1	0-62	0-11-7	6063 T-3	
6	Moving Panel From the Adjuster Sill	1	0-100	0-100-2	6063 T-3	
7	Fixed Panel Interlock Sill	2	0-152	0-152-2	6063 T-3	
8	Moving Panel Screen Sill	2	0-128	0-121-1	6063 T-3	
9	Screen Runners	1	0-122	0-122-1	6063 T-3	
10	Fixed Panel Retainer Anchor	1	0-11	0-102-1	6063 T-3	
11	1/4\"	1	0-637	0-637-1	6063 T-3	
12	Moving Panel Lock Assembly	1	0-62	0-62-1	6063 T-3	
13	Moving Panel Lock Assembly Handle	1	0-100	0-100-2	6063 T-3	
14	Moving Panel Lock Tube Angle Bracket	2	0-152	0-152-2	6063 T-3	
15	1/4\"	1	0-637	0-637-1	6063 T-3	
16	Moving Panel From the Adjuster W. weatherstrip	1	0-100	0-100-2	6063 T-3	
17	Lock Keeper	1	0-100	0-100-2	6063 T-3	
18	1/4\"	2	0-637	0-637-1	6063 T-3	
19	Moving Panel Inset Pad	1	0-202	0-202-1	6063 T-3	
20	Moving Panel Inset Weatherstrip	1	0-202	0-202-1	6063 T-3	
21	Moving Panel Inset	1	0-202	0-202-1	6063 T-3	
22	Moving Panel Inset 26 X 1 1/2\"	1	0-202	0-202-1	6063 T-3	
23	Frame Inset From Pad	2	0-100	0-100-2	6063 T-3	
24	Fixed Panel 3/8\"	1	0-637	0-637-1	6063 T-3	
25	Fixed Panel Angle Bracket	2	0-144	0-144-1	6063 T-3	
26	Panel Adjuster 1 1/2\"	1	0-637	0-637-1	6063 T-3	
27	Screen Inset	1	0-100	0-100-2	6063 T-3	
28	Screen	1	0-100	0-100-2	6063 T-3	
29	Fixed Panel Angle Bracket 4 1/2\"	1	0-100	0-100-2	6063 T-3	
30	Frame Inset	1	0-100	0-100-2	6063 T-3	
31	Fixed Panel Angle Bracket 4 1/2\"	1	0-100	0-100-2	6063 T-3	
32	Fixed Panel Angle Bracket 4 1/2\"	1	0-100	0-100-2	6063 T-3	
33	Interlock Sill Weatherstrip	1	0-100	0-100-2	6063 T-3	
34	Screen Weatherstrip	2	0-100	0-100-2	6063 T-3	
35	Interlock Sill Film Pad	1	0-100	0-100-2	6063 T-3	
36	Interlock Sill Foam Pad	1	0-100	0-100-2	6063 T-3	

**NOTES:**

- 1) 1X BUCK SHOWN 2X FT BUCK PERMISSIBLE WITH 810 SWS MIN 1-1/4\"
- 2) OXXX CONFIGURATION SHOWN. APPLIES TO OXXX, XX00, OXXX, OX, XO, OXX, XXO, XX.

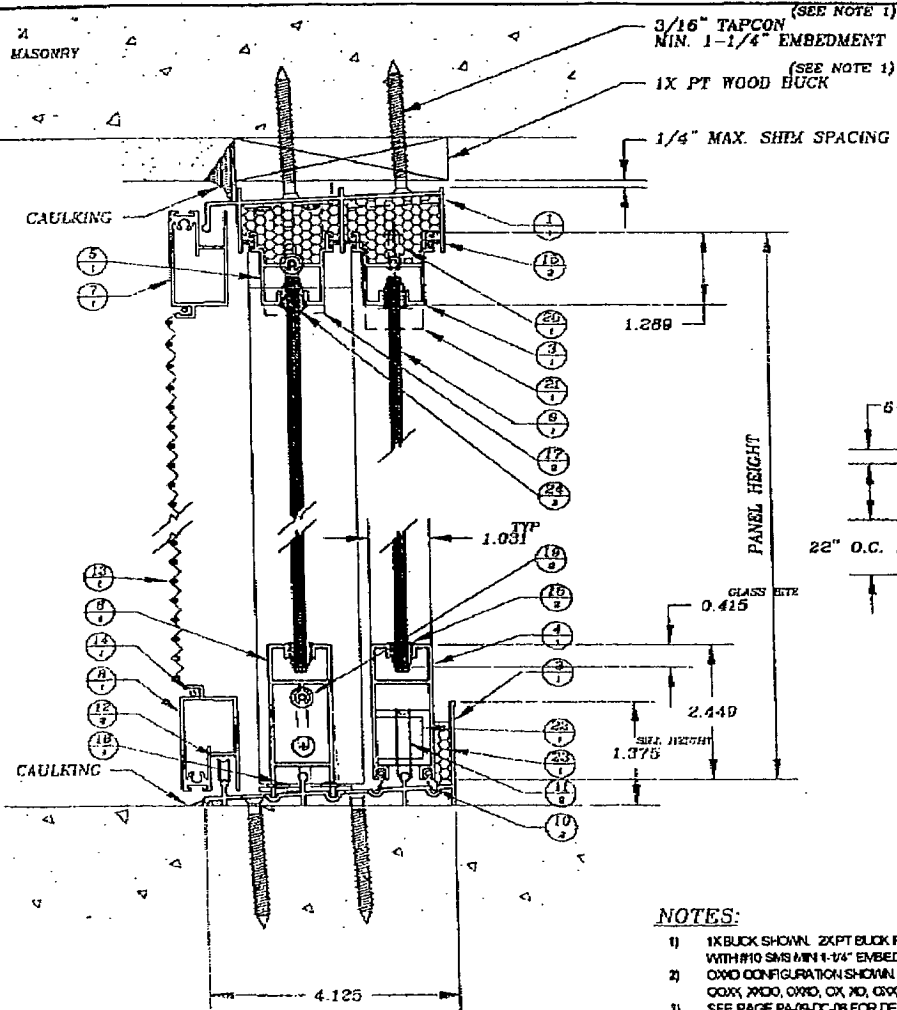
APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
 DATE November 16, 1998  
 BY Maureen King  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 98-1110-06

Revision Note  
 --- MAA M. King  
11/16/98  
Structural  
12/10/98



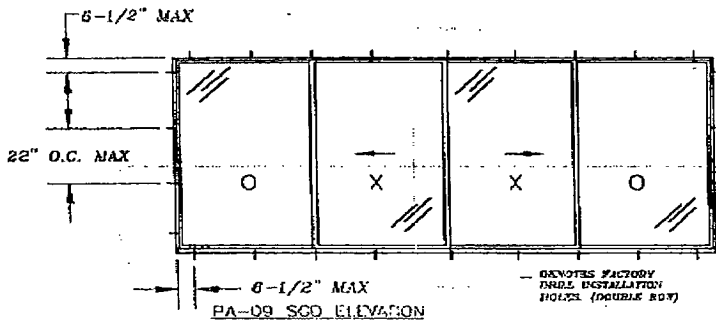
P.O. Box 630033  
 2805 N.E. 185th Street  
 Miami, Florida 33163  
 (305)931-2350

Drawn By ASSY	Part Class OC	Part Category SGD	Order/Notes PA-09	Rev N/A	Sheet 4 OF 6
<b>PA-8 SLIDING GLASS DOOR MODEL 'B'</b>					
<b>HORIZONTAL CROSS SECTION</b>					
Part Number N/A	Drawing Number PA-09-DC	Revision Level			



**Vertical Section Bill of Material**

Part Number	Item Description	Quantity	Extrusion Number	Part Number	Material	Remarks
1	Frame Head	1	9-101	9-101-1	6061 E-4	
2	Frame Sill	1	9-102	9-102-1	6061 E-3	
3	Moving Panel Head	1	9-103	9-103-1	6061 E-4	
4	Moving Panel Sill	1	9-104	9-104-1	6061 E-3	
5	Fixed Panel Head	1	9-105	9-105-1	6061 E-3	
6	Fixed Panel Sill	1	9-106	9-106-1	6061 E-3	
7	Screen Head	1	9-107	9-107-1	6061 E-3	
8	Screen Sill	1	9-108	9-108-1	6061 E-3	
9	3/16\" Temporal Glass	1			Glass	
10	Moving Panel Uniton Rail Workholding	1		9-200n	Steel	
11	Moving Panel Rollin Assembly	2		9-40-01	Steel	
12	Screen Rollin Assembly	2		1512-1142	Steel	
13	Screen	1		18321	Aluminum	
14	Screen Splice	1		82140	Steel	
15	Top Rail Workholding	1		9-200t	Steel	
16	3/16\" Glazing Vinyl	2		9-200v	Steel	
17	Panel Panel Angle Bracket	2		9-200a	Steel	
18	Fixed Panel Angle Bracket #1 1/2\" 3/8\"	4		9-200b	Steel	
19	Fixed Panel Angle Bracket #2 3/8\" 3/8\"	2		9-200c	Steel	
20	Interlock Side Head From P-1	1		9-200d	Steel	
21	Interlock Side Sill From P-1	1		9-200e	Steel	
22	Moving Panel Bottom Rail Workholding	1		9-200f	Steel	
23	Moving Panel Lock From P-1	1		9-200g	Steel	
24	Fixed Panel Angle Bracket #3 3/8\" 3/8\"	2		9-200h	Steel	



APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
 DATED November 1998  
 BY William Myers  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 98-1110.06

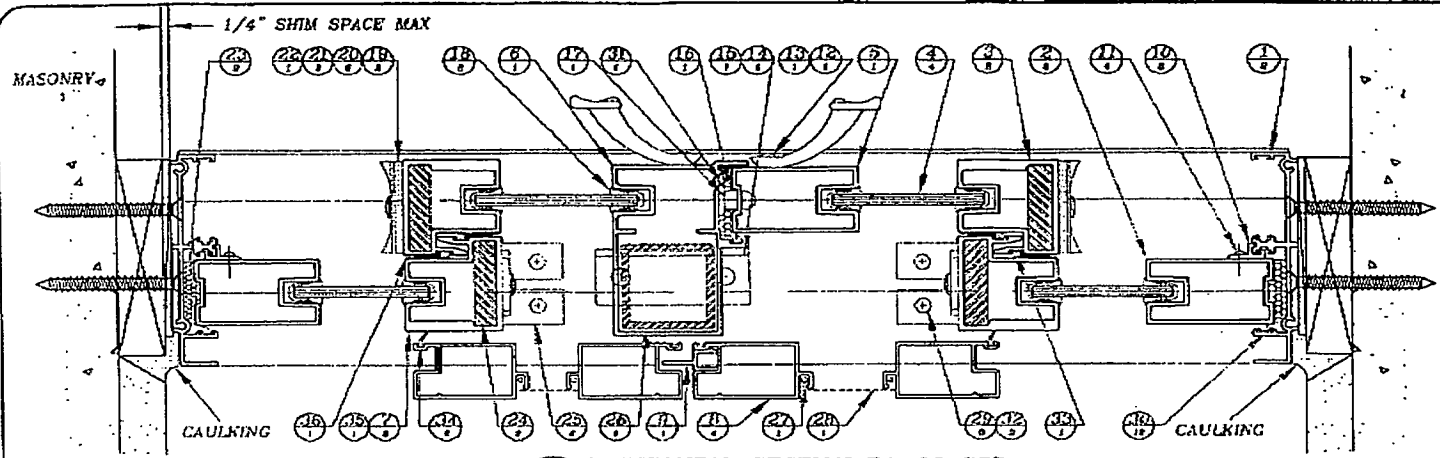
- NOTES:**
- 1) 1X BUCK SHOWN. 2XPT BUCK PERMISSIBLE WITH #10 SMS MIN 1-1/4\" EMBEDMENT.
  - 2) OXID CONFIGURATION SHOWN APPLIES TO OXIX, XOXO, OXOX, OX XO, OXOX, XOXOX.
  - 3) SEE PAGE PA-09-DC-08 FOR DESIGN PRESSURES.

**1 VERTICAL SECTION PA-09 SCD**  
 HALF SCALE

<p>Revision Date:</p>				<p>P.O. Box 630039                  2805 N.E. 185th Street                  Miami, Florida 33163                  (305) 931-2350</p>	
<p>Project:</p>	<p>Client:</p>	<p>Product Category:</p>	<p>Series/Model:</p>	<p>Form:</p>	<p>Sheet:</p>
<p>Project Name:</p>	<p>Project Address:</p>	<p>Product Code:</p>	<p>Model Name:</p>	<p>Form Name:</p>	<p>Sheet Number:</p>
<p>Project No.:</p>	<p>Project Date:</p>	<p>Product Code:</p>	<p>Model Name:</p>	<p>Form Name:</p>	<p>Sheet Number:</p>
<p>Project No.:</p>	<p>Project Date:</p>	<p>Product Code:</p>	<p>Model Name:</p>	<p>Form Name:</p>	<p>Sheet Number:</p>



OCT 09 2000 08:27 FR BINNINGS PAN AMERICAN 681 0454 TO 15612233297 P. 09/09



**2 HORIZONTAL SECTION PA-09 SGD**  
HALF SCALE

**Model C Design Pressures (Comparative Analysis)**

Door Height	Panel Width	+ DP	- DP
80	24	63.00	-63.00
80	28	69.33	-128.44
80	30	69.33	-113.70
80	32	69.33	-107.89
80	34	69.33	-102.86
80	36	69.33	-98.48
80	38	69.33	-94.64
80	40	69.33	-88.61
80	42	69.33	-75.01
80	44	65.50	-65.50
80	48	57.63	-57.63
96	24	45.52	-45.52
96	28	69.33	-102.42
96	30	69.33	-80.07
96	32	69.33	-85.17
96	34	69.33	-80.92
96	36	69.33	-77.18
96	38	69.33	-73.90
96	40	69.33	-70.98
96	42	68.38	-68.38
96	44	66.05	-66.05
96	48	63.96	-63.96

- NOTES:**
- 1) 1XBUCK SHOWN. 2X PT BUCK PERMISSIBLE WITH #10 SMS MIN 1-1/4" EMBEDMENT.
  - 2) OXXX CONFIGURATION SHOWN. APPLIES TO O0XX, X000, OXXX, OX, XD, OXX, XXO, XX

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
 DATE November 16, 1998  
 BY Mauro Siqueira  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 35-1110-06

**Horizontal Section Bill of Material**

Part Number	Item Description	Quantity	Revision Number	Part Number	Material	Remarks
1	Frame Jamb	2 - Door	9-86	9-26-4	6067 T-3	
2	Fixed Panel Side Sill	1 - Panel	9-83	9-23-1	6067 T-3	
3	Moving Panel Interlock Sill	2 - Panel	9-112	9-112-2	6063 T-1	
4	2x6" Tempered Glazing	1 - Panel			Glass	
5	Moving Panel Male Lock Sill	1 - Panel	9-83	9-38-1	6063 T-3	
6	Moving Panel Female Astragal Sill	1 - Panel	9-800	9-100-1	6063 T-3	
7	Fixed Panel Interlock Sill	1 - Panel	9-832	9-112-1	6063 T-3	
8	Moving Panel Screen Sill	2 - Screen	9-821	9-111-1	6063 T-3	
9	Screen Retainer	1 - Door	9-822	9-112-1	6063 T-3	
10	Fixed Panel Retainer Anchor	2 - Jamb	9-11	9-11-1	6063 T-3	
11	4x4x8" TIE SCREW	2 - Jamb		9-180-1	Steel	
12	Moving Panel Lock Assembly	1 - Panel		9-402-2		
13	Moving Panel Lock Assembly Handle	1 - Panel		9-302-9		
14	Astragal Side Angle Bracket	1 - Panel	9-843		6063 T-3	
15	410 X 1" SMS	2 - Door		9-811-3	Steel	
16	Moving Panel Female Astragal Weatherstrip	1 - Panel		03-2003C	Vinyl	
17	Lock Keeper	1 - Door		18-6002	6063 T-3	
18	3/16" Glazing Wedge	2 - Panel		9-2003	Vinyl	
19	Moving Panel Dacry Pad	1 - Panel		9-2921A		
20	Moving Panel Dacry Weatherstrip	1 - Panel		9-2913	Vinyl	
21	Moving Panel Dacry	1 - Panel	9-42A		6067 T-1	
22	Moving Panel Interlock Sill #8 X 1" SMS	1 - Panel		9-8009	Steel	
23	Frame Jamb Foam Pad	2 - Jamb		9-2021	Foam	
24	Interlock Sill 3/8" X 1/2" X 3-1/2" Steel Bar	1 - Sill		9-8027	Steel	
25	Fixed Panel Angle Bracket	2 - Panel	9-341		6063 T-3	
26	1/2" X 1/2" X 1/2" X 1/2" Steel Tube	1 - Panel		9-4026	Steel	
27	Screen Spline	1 - Screen	83000			
28	Screen	1 - Screen		18716	Fiberglass	
29	Interlock Sill Angle Bracket 410 X 1/2" SMS	1 - Sill		9-4018	Steel	
30	Frame Jamb Weatherstrip	1 - Jamb		9-2819	Vinyl	
31	Astragal Foam Pad	1 - Panel		9-2023	Foam	
32	Fixed Panel Interlock Side Angle Bracket #8 X 1/2" SMS	2 - Sill		9-8004	Steel	
33	Interlock Sill Weatherstrip	1 - Sill		9-2018	Vinyl	
34	Screen Sill Weatherstrip	2 - Screen		9-2019	Vinyl	
35	Interlock Sill Foam Head Pad	1 - Sill		9-2024	Foam	
36	Interlock Sill Pile Pad	1 - Sill		9-2024	Foam	

Section Title PA-9 SLIDING GLASS DOOR MODEL 'C' HORIZONTAL CROSS SECTION		<b>BINNINGS AMERICAN</b> P.O. Box 630038 2805 N.E. 185th Street Miami, Florida 33163 (305)931-2350	
Design Date 12/11/98	Date Drawn 10/28/98	Part Name N/A	Drawing Number PA-09-DC
Part Number N/A	Revision Level ---	Sheet 8 OF 8	

\*\* TOTAL PAGE.09 \*\* FROM: 305 681 0454 P.09

10-09-00 08:13 TO:STUART 6314

MASTER PERMIT NO. N/A

### TOWN OF SEWALL'S POINT

Date 8/29/00

BUILDING PERMIT NO. 5079

Building to be erected for MARION KOHLER

Type of Permit PTL WINDOW REPL

Applied for by O/B

(Contractor) Building Fee \$37.50

Subdivision LUCINDIA Lot 39 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 19 S. VIA LUCINDIA

Impact Fee \_\_\_\_\_

Type of structure S.F.R.

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Amount Paid \$41.25 Check # 1378 Cash \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Other Fees ( PLAT ) 3.75

Total Construction Cost \$2,000.00

TOTAL Fees \$41.25

Signed [Signature]

Applicant

Signed [Signature]

Town Building Inspector OFFICIAL

## BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE <u>2/9/01</u>

FLOOD ZONE \_\_\_\_\_

LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

# WORK HOURS – 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

- New Construction     Remodel     Addition     Demolition

**This permit must be visible from the street, accessible to the inspector.**  
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,**  
**NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**  
**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

# TOWN OF SEWALL'S POINT

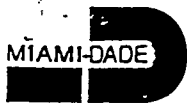
## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 2/9/01, 2000 Page 1 of    

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
V S ⑨	5013 DENNIS 16 RIDGELAND FL. FINEST (RON)	PTL. ROOF (DRY-IN)	Passed	2/9
V S ⑫	5079 KOHLER 19 S. VIA LUCINDIA OIB	FINAL - WINDOW REPL. GSD (2)	Passed	2/9
V S ④	4978 RIMER 29 S. RIVER RD.	1ST FLOOR COLUMNS ENTRY SLAB + STEPS - STEPS TO GARAGE	Passed	2/9
V S ③	5122 KEARNY 12 N. RIVER RD. PARKER	ROUGH PLUMBING (POOL)	Passed	2/9
V S ⑩	5226 GRIFFIS 140 S. SEWALLS PT RD FOLDING SHUTTER	FINAL - SHUTTER INSP.	Nobody home no pane ls installed	2/9
V S ⑤	5251 INNES 113 HILLCREST PACIFIC	SHEATHING Td. + w/olal		2/9
		CANCEL		

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_



MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

T.M. Window & Door Co.  
601 N.W. 12th Ave.  
Pompano Beach FL 33069

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

*Series 230 Outswing Alum. French Door w/Sidelites(reinforced)*

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 99-0902.02

Expires: 06/29/2003

Raul Rodriguez  
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL  
CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.  
Director

Miami-Dade County  
Building Code Compliance Office

Approved: 06/29/2000

T. M. Window & Door Company

ACCEPTANCE No.: 99-0902.02

APPROVED : JUN 29 2000

EXPIRES : JUN 29 2003

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. **SCOPE**
  - 1.1 This approves an aluminum outswing French door, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code (SFBC), 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.
2. **PRODUCT DESCRIPTION**
  - 2.1 The Series 230 Outswing Aluminum French Door w/ Sidelites (Reinforced) and its components shall be constructed in strict compliance with the following documents: Drawing No PA99230, titled "Series 230 French Door" Sheets 1 through 9 of 9 dated 10-21-99, latest revised on 04-28-00, signed and sealed by Ballard L. Argus, P.E., bearing the Miami-Dade County Product Control approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.
3. **LIMITATIONS**
  - 3.1 This approval applies to single unit application of pair of doors and single door with or without reinforced sidelites, as shown in approved drawings. Single door unit shall include all components described in the active leaf of this approval.
4. **INSTALLATION**
  - 4.1 The aluminum outswing French doors and its components shall be installed in strict compliance with the approved drawings.
  - 4.2 Hurricane protection system (shutters): the installation of this unit will require a hurricane protection system.
5. **LABELING**
  - 5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".
6. **BUILDING PERMIT REQUIREMENTS**
  - 6.1 Application for building permit shall be accompanied by copies of the following:
    - 6.1.1 This Notice of Acceptance
    - 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.
    - 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

Ishaq I. Chanda  
Ishaq I. Chanda, P.E. Product Control Examiner  
Product Control Division

T. M. Window & Door Company

ACCEPTANCE No.: 99-0902.02

APPROVED : JUN 29 2000

EXPIRES : JUN 29 2003

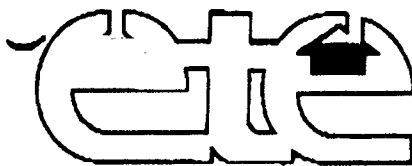
NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
  - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
  - b) The product is no longer the same product (identical) as the one originally approved;
  - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
  - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
  - a) Unsatisfactory performance of this product or process.
  - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

Ishaq I. Chanda  
Ishaq I. Chanda, P. E., Product Control Examiner  
Product Control Division

END OF THIS ACCEPTANCE

PERMIT # 220-4765



Kohler

### EASTCOAST TESTING & ENGINEERING, INC.

4100 North Powerline Rd. - Suite G-1  
 Pompano Beach, Florida 33073  
 Broward (954) 972-7645 (SOIL) - Dade (305) 947-4768

4361 Okeechobee Blvd. - Suite A-5  
 West Palm Beach, Florida 33409  
 (800) 329-7645 (SOIL) - (561) 471-8220

FACSIMILE #954-9718872

ESTABLISHED 1981

## PROCTOR COMPACTION TEST

PERMIT #	N/A		PO#:	N/A	
CLIENT:	CHALLENGER POOLS		LABORATORY #:	204716P	
PROJECT:	19 SOUTH VILLA LUCINDIA - SEWELLS POINT - STUART, FL				
SAMPLE LOCATION:	PROPOSED POOL DECK				
DATE:	JUNE 20, 2000				
SAMPLED BY:	C. SMITH	ON:	JUNE 19, 2000		
TESTED BY:	C. SMITH	ON:	JUNE 20, 2000		
SAMPLE DESCRIPTION:	LIGHT GRAY FINE GRAINED SAND				
CONTRACTOR:	CHALLENGER POOLS				

**RESULTS OF TEST:** THE FOLLOWING PROCTOR TEST WAS PERFORMED IN ACCORDANCE WITH ASTM DESIGNATION D1557 USING A 10 POUND RAMMER AND AN 18 INCH DROP: AASHTO T-180

	PERCENT MOISTURE	WET DENSITY - PCF	DRY DENSITY LBS/CUBIC FT
POINT #1	6.9	112.1	104.8644
POINT #2	8.7	114.0	104.8758
POINT #3	10.7	116.8	105.5104
POINT #4	12.2	119.7	106.6845
POINT #5	14.0	119.0	104.3860

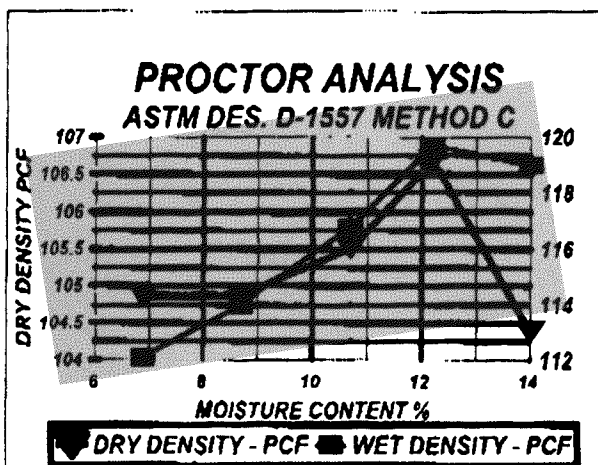
MAXIMUM DRY DENSITY PCF:	106.7	SPECIFIC GRAVITY:	N/A
OPTIMUM MOISTURE CONTENT %:	12.2	SOIL CLASSIFICATION:	A-3

NOTES:REMARKS: POOL DECK - PROPOSED - 0-12"

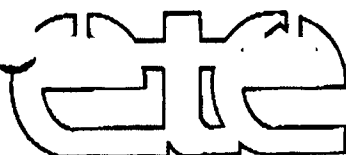
RESPECTFULLY SUBMITTED,  
 EASTCOAST TESTING & ENGINEERING INC.,

*Craig S. Smith*  
 CRAIG S. SMITH, PRESIDENT

*D. Mark Le Blanc*  
 D. MARK LE BLANC, P.E.  
 STATE OF FLORIDA #35683  
 SPECIAL INSPECTOR #1177



PERMIT # 220-4765



Kohler

**EASTCOAST TESTING & ENGINEERING, INC.**

4100 North Powerline Rd. - Suite G-1  
 Pompano Beach, Florida 33073  
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4361 Okeechobee Blvd. - Suite A-5  
 West Palm Beach, Florida 33409  
 (800) 329-7645 (SOIL) - (561) 471-8220

Facsimile No (954) 971-8872

ESTABLISHED 1981  
**FIELD DENSITY TEST**

LABORATORY NUMBER: 204716      CUSTOMER #: \_\_\_\_\_  
 CLIENT FAX NUMBER: \_\_\_\_\_      PO NUMBER: \_\_\_\_\_  
 CLIENT: CHALLENGER POOLS  
 PROJECT: 19 S VILLA LUCINDIA, SEWELLS POINT (POOL DECK)  
 CONTRACTOR: CHALLENGER POOLS  
 SOIL DESCRIPTION: LIGHT GRAY FINE SAND  
 PERFORMED BY: C.SMITH      ON: 06/19/2000  
 REPORTED TO: 2 - CLIENT      ON: 06/21/2000

PROCTOR VALUE: PCF:	106.7	OPTIMUM MOISTURE %	12.2	LAB #	204716P
PROCTOR VALUE #2 - PCF:		OPTIMUM MOISTURE %		LAB #	

**RESULTS OF TESTS:**

TEST #	LIFT #	TEST LOCATIONS	PROBE INCHES	MOISTURE PERCENT	DRY DENSITY PCF	% FIELD COMPACTION	PERCENT REQUIRED
1	POOL DECK	WEST END CENTER	12	9.3	105.2	98.6	98
2	POOL DECK	EAST END NE CORNER	12	6.4	105.8	99.0	98
3	POOL DECK	SOUTH SIDE CENTER	12	8.1	106.3	99.6	98
4						0.0	
5						0.0	
6						0.0	
7						0.0	
8						0.0	
9						0.0	
10						0.0	
11						0.0	
12						0.0	
13						0.0	
14						0.0	
15						0.0	

CONCLUSION: THE ABOVE TEST RESULTS DO COMPLY WITH PROJECT SPECIFICATIONS UNLESS NOTED \*

A: BACKFILL      B: SUBGRADE      C: BASE COURSE      D: PAD FILL      E: OTHER      F: FOOTINGS

NOTE: STANDARDS FOR METHOD OF TEST: ASTM D2922

TEST RESULTS INDICATE THE TOTAL DEPTH BELOW EXISTING GRADE AT MOIST DEPTH ONLY AND DOES NOT REFLECT THE SOILS DRAINING CAPACITY FOR FOUNDATION DESIGN AS STANDARD PENETRATION TEST BORINGS WOULD BE REQUIRED.

RESPECTFULLY SUBMITTED,  
 EASTCOAST TESTING & ENGINEERING, INC.,

*Craig S. Smith*  
 CRAIG S. SMITH, PRESIDENT

*D. Mark LeBlanc*  
 D MARK LEBLANC, V.P., P.E.  
 STATE OF FLORIDA #35683  
 SPECIAL INSPECTOR #1177



MASTER PERMIT NO. N/A

**TOWN OF SEWALL'S POINT**

Date 4/10/00

BUILDING PERMIT NO. 4899

Building to be erected for MARION KOTTLER

Type of Permit POOL/DECK

Applied for by CHALLENGER POOLS, INC.

(Contractor) Building Fee \$ 240.00

Subdivision LUCINDIA Lot 39 Block 3

Radon Fee \_\_\_\_\_

Address 19 S. VIA LUCINDIA

Impact Fee \_\_\_\_\_

Type of structure S.F.P.

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:

Plumbing Fee \_\_\_\_\_

01-38-41-007-000-00390-3

Roofing Fee \_\_\_\_\_

Amount Paid \$240.00 Check # 4211 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 7,800.00 TOTAL Fees \$ 240.00

Signed Norman Stein  
Applicant

Signed [Signature]  
Town Building Inspector OFFICIAL

# POOL / SPA PERMIT

### INSPECTIONS

SETBACKS DATE \_\_\_\_\_  
COMPACTION TESTS DATE \_\_\_\_\_  
GROUND ROUGH DATE \_\_\_\_\_  
STEEL & BOND DATE \_\_\_\_\_  
LIGHT NITCHE DATE \_\_\_\_\_

DECK DATE \_\_\_\_\_  
ENCLOSURE & LATCH DATE \_\_\_\_\_  
DOOR ALARM(S) DATE \_\_\_\_\_  
FINAL DATE \_\_\_\_\_

DATE \_\_\_\_\_  
DATE \_\_\_\_\_  
DATE \_\_\_\_\_  
DATE 10/2/00

**24 HOURS NOTICE REQUIRED FOR INSPECTIONS.**

**CALL 287-2455**

**WORK HOURS - 8:00 AM UNTIL 5:00 PM**

**MONDAY THROUGH SATURDAY**

New Construction    Remodel    Addition    Demolition

**This permit must be visible from the street, accessible to the inspector.  
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,  
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.  
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-2, 2000; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4990	Elder	after block	PASSED	
S ④	4 Emerita Way owner/bldr.	rebar pre-pour	↗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4956 ✓	Foglia (STARLITE POOLS)	pool deck	PASSED	
S 4803 ✓	101 H. Sewall Foglia	driveway	PASSED	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4899	Kohler	pool	PASSED	INSPECTION PERFORMED 9/30/00
S 9/30	19 S. Via Lucinda Challenger	final	↗	RES. POOL SAFETY ACT COMPL. NOT REQUIRED
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5013	Dennis	pl. gr.	PASSED	- NO PLUMB'G SUB PERMIT
S ②	16 Ridgeland Fla's Finest ROY 288-1715	rough	↗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5096	Chontos	dry-in	9:15	NOT-REPLY; REUS. 1:10
S ③	83 S S.P. Rd. A & W CHRIS 260-2731 (M); JOHN 260-2505 (M); 283-7100	metal	CANCEL	by call 10/2 12:30
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: Q - NO IN ATTIC; P/U ON SITE M-F?

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9-15, 2000; Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S 5063	Robinson 173 So. River Rd. Driftwood/Morris	footing (REINSPECTION)	PASSED S	9/14/00 COMP. TEST RCVB - COPY TO FIELD 9/15
✓ S 4803	Foglia 101 H. Sewall Way Foglia	shutter (incl. in base permit)	FAILED S	① PANEL BUMPING - WRONG M.F.F. ② KAPPA SHUTTERS - FULL SUBMITAL REQ. ③ SHUTTER IN SLABS RE. @ VIBRATED DESIGN PRESSURE
✓ S 4899	Kohler 19 S. Via Lucindie Challenger	pool final	INCOMPLETE S	FINAL SURVEY ROAD 9/14/00
✓ S 4843	Tidikis 6 Kingston Court DJS	dry wall screw	PASSED S	
✓ N 4877	Loyola 20 Castle Hill Way Buford	knoll-off roof sheathing tie down truss	FAILED S	REINSPECTION REQUIRED (NO PERM)
✓ N 4723	Koch 71 N. River Rd. Brown	deck around pool (REINSPECT)	PASSED S	2' PERIMETER (GUTS IN EDGES - ONLY)
T/R	ANSPECT	FIELD VERIFICATION (2000 INSPECTION)	PASSED S	- all trees marked (per owner 9/15) app. as submitted.

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 7-28-00, 2000; Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4755	Clements 6 Middle Rd. Campbell	rough framing	Reject W/Fee Bg	No one home Can't Get in. Locked.
4877	Loyola/Osborne 20 Castle Hill Way Buford	tie beam <del>epicore</del> → deck	OK Bg. Need	Beams Only, Revision for Deck Pour in noon.
4899	Kohler 19 Via Lucindia So. Challenger	deck + Bond	OK Bg	re-inspect paid fee
4986	Murray 27 Fieldway A & W	bracket metal	OK Bg.	
4691	Wattles 20 No. Pridaevicw Driftwood	final	Set up Called SAID TO	FOR Monday. Allan MORRIS BRING Elec. Panel
				Keys Back TO office Today. Wayne - Electric Got them this MORNING

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 7-26-00, 2000; Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S ✓ 4899	Kohler 19 S. Via Lucindia Challenger Pools	pool deck & Bond. 286-4099	Reject w/fee BG.	Received Composites Test. No Steel 1w thicken Edge + Bond w/
N ✓ 4856	Heitriegel 11 Castle Hill Way Advantage Pools	form board pool Deck & Bond.	OK BG.	Need Termito Spray.
S ✓ 4781	Foglia 110 H. Sewall Way StarLite Pools	final pool	OK BG.	
N ✓ 4813	Follweiler 11 Lofting Way Ark	form & steel & Bond	OK BG.	
S ✓ 4887	Woods 116 S. River Larrick	electrical	<del>OK</del> Cancel	NO ONE OW Job. Don't Know what to inspect.
N ✓ 4775	Campo 5 Paloma Way Seagate	metal & lin lag	OK BG.	
N ✓ 4983	Ashby 3 River Crest Pro-Tec Shutters	final storm shutters	Reject w/fee Bg	NO ONE HOME GATE LOCKED. NO SPECS. Spoke with Susa.

OTHER: 335-3000

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 2-5-00, 2000; Page 1 of    

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4996	Villa	electrical		as late
S (4)	24 S.S.P. Rd. RMR Electric	change		as possible
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4965	Danielson	service	OK	
S (3A)	161 S. River Rd. D. Miller <small>SMALL &amp; MILLER ELECT.</small>	change SUB PN 4967	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4965	Danielson	a/c pad	OK	REVISED DUE TO CONTR.
S (3B)	161 S. River Rd. D. Miller (Will Brown - Revised plan to ED. ARNOLD)		BG.	Add WALL ON BOTH ENDS.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4899	KOHLER	PLUMBING/PIPING.	OK	
S (1)	19 S. VIA LUCINDIA CHALLENGER POOLS		BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4984	WUER	T/T & MTL.	Reject	with Fee.
S (2)	3 MIDDLE RD. PACIFIC REG.		BG.	Spoke with Reb No Ladder on Jo
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: T/R 19 CASTLE HILL WAY; DERMARKIAN/PALM COAST

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 6-12-00, 2000; Page 1 of   

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4912	Chico's	screws	Passed	
①	3230 E. Ocean	for dry wall 2nd phase	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4957	Nicklas	pool	Passed	
②	21 Castle Hill Way	enclosure final	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4857	CONWAY	SPOT CK - CONST	BG.	- NEED SUB PERM - PLUMBING
③	4 OAK HILL WAY CONWAY CONST 220-0064	INSPECTION STATUS		- " BLDG CERT (FL, SL Gave to Steve
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4854	KENNEDY	RE ROOF - STATUS	Passed	DRY-IN (SHED) 3/20
⑤	111 N. SEWALL'S POINT RD A&P RFG. (COSTA 220-7505)	VERIFICATION (FINAL?)	BG.	MTC 3/22 Called Roofers left message to case off
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4851	MCKINNEY	PERMIT STATUS VERIF	Passed	FRAMING 3/22/00
⑥	24 SIMPSON (O/B) 288-5092	- SLDG. DOOR REPL. (FINAL?)	BG.	MISSING - owe scr owner will call
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4565	KENNEDY	FINAL *		DELIVER SURVEY NOTE
④	3 OAK HILL WAY L&B RES. CONST. (JEFF 220-1745)	(REINSPE. REQUIRE.)		- PERMIT RENEWAL RE. (EXP. 6/9/00)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
*	4565	Called Jeff - Left message to call OFFICE. Not on Job.		
⑦	PS VIL LUCIANA MA CHALLENGER POOLS	STEEL (REINSPECT)	BG PASSED	INSPTO SITE w/ CONTR FORMED. SURVEY RECD

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 6-7, 2000; Page 1 of 2

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PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4930	Keller	tin-tag	Rejected	PERMIT ISSUED 5/15/00
⑥	14 Crane's Nest PACIFIC RFG	metal	BG.	NO RECORD OF SHEATHING INSPECTION. T/T CONTR
4861	Carlson	rough el.	Passed	*SUBS MUST OBTAIN PERMITS PRIOR TO INSP.
④	7 Kingston GLEN HUTCHINS	fr. pl.	BG.	Did NOT SIGN OFF TILL Sub Correction
4955	Rica	driveway	Passed	Rear Section
②	5 Banyan BUWALDAS CONC.	Partial	BG.	
4937	Oakley	inspect fence	Passed	Danny says "don't shake too hard - look but don't touch."
③	99 S.S.P. Rd. JUSTWOOD FENCE	concrete in holes	BG	(FINAL CHECKS)
4904	Miranda	stem wall	Passed	FORMWORKED SWAY TO SITE.
①	34 Castle Hill o/B Way	Partial - main house only	BG.	NO GARAGE OR PORCH AREAS.
4907	Fredrick	final garage door	Passed.	
⑦	32 S.S.P. Rd. TREAS. CONST GAR. DOORS		BG.	
4882	Woods	Partial straps	Passed	ELECT/RFG SUBS MUST OBTAIN PERMITS
⑤	116 So. River Rd. EMMICK CONST.	anchors	BG.	
		2nd Fl. Only		

OTHER: \* 4930 Removed felt in several areas. Metal not nailed properly. Rejected.

PN 4899 (BG) SHORING VERIFICATION; 19 S. VIA LUCINDA KONKER (CHANGING GAR DOORS 471-3033)

INSPECTOR (Name/Signature): \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri MAY 22, 2000; Page 1 of 1.

NO SURVEY  
CANCELLED

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
<del>4899</del>	<del>KOLLER</del>	<del>POOL SET/MAINT DR.</del>		<del>VERIFY FORMER POOL SURVEY ON PL</del>
<del>(2)</del>	<del>19 S. VIA LUCINDA CHALLENGER 471-3033</del>	<del>ALUMINUM 561 692 9091 mobile TED OFFICE 471-3033</del>		<del>SHORING - Pool - 2'-8" ANGLE of Repose.</del>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4872	GLOVER	ROOF FINAC	Passed	\$30.00 REINSP. FEE PER.
4875	16 RIVERVIEW	(REINSP.)	BG	EARLY A.M. INSP
(1)	COOPER RFG			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4771	VAN WARDER	FRAMING-	Passed	
(5)	3 PALAMA WAY	ALL TRADES	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4732	Tetamenti	check gas	Reject	0 - PRESSURE.
(4)	19 Lofting Way Hufnagel	valve	BG w/Fee	Main House Side
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4797	KENNEDY 111 N. SEWALL'S POINT RD. A & G CONC. 878-7752	DECK INSP		<b>CANCEL - RESCHED 5/24</b>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4929	Delaney	roof sheathing	Passed	- RAINING -
(6)	116 S.S.P. Rd.		BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4895	Sealy	nail-off	Passed	Main House
(3)	37 Lofting Way Gribben	roof	BG	

OTHER: A. T/R PERMIT APPL; SMITH - O/B, 11 SIAGRA ✓ TREE DOWN - NO PERMIT.  
 B. " " " ; SINTON - O/B, 33 N. RIVER RD ✓ APPROVED

Miles - 94176 to 94188 = 12 miles.

INSPECTOR (Name/Signature): \_\_\_\_\_



MASTER PERMIT NO. N/A C

**TOWN OF SEWALL'S POINT**

Date 4/10/00

BUILDING PERMIT NO. 4899

Building to be erected for MARION KOTTLER

Type of Permit POOL/DECK

Applied for by CHALLENGER POOLS, INC. (Contractor)

Building Fee \$240.00

Subdivision LUCINDIA

Lot 39

Block 3

Radon Fee \_\_\_\_\_

Address 19 S. VIA LUCINDIA

Impact Fee \_\_\_\_\_

Type of structure S.F.P.

A/C Fee \_\_\_\_\_

Parcel Control Number:

01-38-41-007-000-00390-30000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid \$240.00

Check # 4211

Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 7,800.00

TOTAL Fees \$240.00

Signed \_\_\_\_\_

*Norman Stein*  
Applicant

Signed \_\_\_\_\_

*[Signature]*

Town Building Inspector OFFICIAL

8/23  
P/C FROM  
NOBLE ROLLINS  
@ CHALLENGER  
12' INSP. STATUS  
561-471-3033  
- research &  
call back  
8/24

PHONE CALL

FOR EA DATE 8-28 TIME 10:00 A.M.  
 M Bob Bloomster  
 OF \_\_\_\_\_  
 PHONE 334-0868 FAX \_\_\_\_\_  
 MESSAGE  
re: Kohler survey  
- full final or built key  
- call coverage  
re: 20: Normaliana  
 SIGNED PK or flood zone Adams 1154

TELEPHONED  
 RETURNED YOUR CALL  
 PLEASE CALL  
 WILL CALL AGAIN  
 CAME TO SEE YOU  
 WANTS TO SEE YOU

PHONE CALL

FOR EA DATE 9-7 TIME 10:20 P.M.  
 M Julia  
 OF W.P.B.  
 PHONE 561-471-3033 FAX \_\_\_\_\_  
 MESSAGE  
re: Kohler survey  
PK 10:40  
9/7 10:40  
PK 10:40  
PK 10:40  
 SIGNED \_\_\_\_\_ Adams 1154

TELEPHONED  
 RETURNED YOUR CALL  
 PLEASE CALL  
 WILL CALL AGAIN  
 CAME TO SEE YOU  
 WANTS TO SEE YOU

ROBERT M. WIENKE  
Mayor

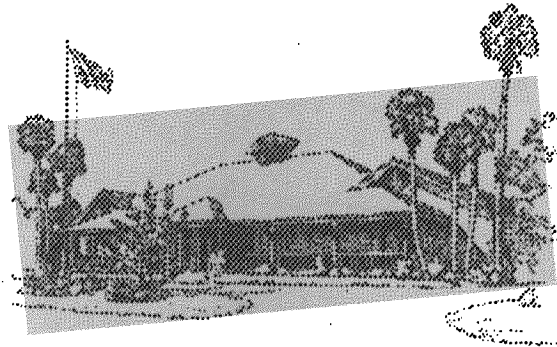
MARC S. TEPLITZ  
Vice Mayor

DAWSON C. GLOVER, III  
Commissioner

THOMAS P. BAUSCH  
Commissioner

E. DANIEL MORRIS  
Commissioner

# TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY  
Town Manager

JOAN H. BARROW  
Town Clerk

LARRY McCARTY  
Chief of Police

EDWIN B. ARNOLD  
Building Official

JOSE TORRES, JR.  
Maintenance

## NOTICE OF RESIDENTIAL POOL SAFETY REQUIREMENTS

To: Challenger Pools, Inc.  
945 N. Military Trail  
West Palm Beach, FL 33415  
From: Edwin B. Arnold, Building Official *EBA*  
Subj: Preston de Ibern/McKenzie Merriam  
Residential Swimming Pool Safety Act  
Date: Sept. 1, 2000

COPY

Section 515.27 of the subject law provides in part as follows:

**(1) In order to pass final inspection and receive a certificate of completion, a residential swimming pool must meet at least one of the following requirements relating to pool safety features:**

**(a) The pool must be isolated from access to a home by an enclosure that meets the pool barrier requirements of s. 515.29;**

**(b) The pool must be equipped with an approved safety pool cover;**

**(c) All doors and windows providing direct access from the home to the pool must be equipped with an exit alarm that has a minimum sound pressure rating of 85 dB A at 10 feet; or**

**(d) All doors and windows providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with a release mechanism placed no lower than 54 inches from the floor.**

Department records indicate you have the following outstanding pool permit in our jurisdiction:

PN 4899      19 S. Via Lucindia      Kohler

The effective date of this statute is October 1, 2000. All pools completed on or after that date will be required to fully comply with the provisions of the statute. Please contact me if you have any questions.



One South Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: [clerk@sewallspoint.org](mailto:clerk@sewallspoint.org)  
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: [police@sewallspoint.org](mailto:police@sewallspoint.org)

Marsha Stiller  
Martin County Clerk of Circuit Court  
P.O. BOX 9016 Stuart, Florida 34995  
General Receipting

Transaction: PAYMENT  
NOT A RECEIPT WITHOUT PROPER VALIDATION

Receipt Number: 00 014934                      INVOICE NO: 00 000000  
Cashier - Dept: 11CAV-06552                      Date/Time : 03/21/00-14:01

Received from : CHALLENGER POOLS

:  
:  
:

00000 0000

Qt	Item---Description	Total--Amount	Comments
0001	COPIES \$1.00	1.00	
0000		.00	
0000		.00	
0000		.00	
0000		.00	

Receivable Amt :	\$1.00
Cash :	\$1.00
Other:Check/MD :	\$ .00
Escrow Charge :	\$ .00
Total Applied :	\$1.00
Overpay Amount :	\$ .00
Refund Amount :	\$ .00
New Balance :	\$ .00
Amount Tendered:	\$1.00
Change :	\$ .00

Comments: NOTICE OF COMMENCEMENT

Receipt 00-014934 Validated for

VALIDATION:  
\$1.00 by 11CAV 03/21/00 14:01  
CASH

*Job # 002 -*  
*Merian Kollm*

PERMIT # \_\_\_\_\_

TAX FOLIO # 1-38-41-007-000-00390, 30000

### NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

19 S VIA LUCINDIA - Lot 39, Block 3 - Page 130, Martin County

GENERAL DESCRIPTION OF IMPROVEMENT: In Ground Pool And ELEC.

OWNER: MARION K KOHLER

ADDRESS: 19 VIA LUCINDIA DRIVE S - SUITE FLORIDA 34996

PHONE #: 223-0053 FAX #: \_\_\_\_\_

CONTRACTOR: CHALLENGER POOLS, INC.

ADDRESS: 945 N. Military Trail, West Palm Beach 33415

PHONE #: 471-3033 FAX #: 604-8168

SURETY COMPANY (IF ANY) \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: MA

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7, FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

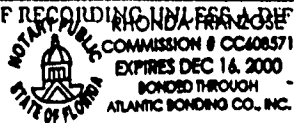
IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(D), FLORIDA STATUTES.

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Marion K. Kohler  
SIGNATURE OF OWNER



SWORN TO AND SUBSCRIBED BEFORE ME THIS 21 DAY OF Feb. 192000 BY MARION K. KOHLER

OR PERSONALLY KNOWN PRODUCED ID TYPE OF ID DL #

Rhonda Franzose  
NOTARY SIGNATURE, Rhonda Franzose

Atlantic Bonding Co., Inc. CC608571

Return To

RECORDED & VERIFIED BY

60 FEB 28 PM 2:07

MARION K. KOHLER  
CLERK OF CIRCUIT COURT  
MARTIN COUNTY, FLORIDA

01419360



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD  
7960 ARLINGTON EXPRESSWAY  
SUITE 300  
JACKSONVILLE

FL 32211-7467

(904) 727-6530

ESQUINALDO, BRUCE ELLIOT JR  
CHALLENGER POOLS  
945 N MILITARY TRAILL  
WEST PALM BCH FL 33415

STATE OF FLORIDA AC# 518215  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CP -C050527-06/23/1998 9790413  
 CERT RESIDENTIAL POOL/SPA CONTR  
 ESQUINALDO, BRUCE ELLIOT JR  
 CHALLENGER POOLS  
 IS CERTIFIED under the provisions of Ch. 489  
 Expiration Date: AUG 31, 2000

DETACH HERE

AC# 5182155

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/23/1998	97904137	CP -C050527

The RESIDENTIAL POOL/SPA CONTRACTOR  
 Named below IS CERTIFIED  
 Under the provisions of Chapter 489 FS.  
 Expiration date: AUG 31, 2000

ESQUINALDO, BRUCE ELLIOT JR  
CHALLENGER POOLS  
945 N MILITARY TRAILL  
WEST PALM BCH FL 33415

LAWTON CHILES  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FAR  
SECRETARY



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/29, 2002 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7384	Regal	Final window	PASS	BUCKS INSPECTED
8	6 Mandalay	<u>CLOSE</u>		PER PICTURES TAKEN BY INSTALLER INSPECTOR: <i>[Signature]</i>
7500	TRUITY	DRY-IN	PASS	ROOF SHEATH ONLY
16	59 S. RIVER RD ANCHOR ROOFING	11:30-12 (last please)		WILL CALL FOR DRY IN INSPECTION INSPECTOR: <i>[Signature]</i>
7496	Mc KAY	FINAL REEROOF	PASS	<u>CLOSE</u>
13	19 S. VIA LUCINDIA FLORIDA REEROOFING			INSPECTOR: <i>[Signature]</i>
6632	SCHERLENG	FINAL SFR	—	RECHECKED
6	110 ABBIE COURT O/B			NO ONE AT SITE INSPECTOR: <i>[Signature]</i>
7477	SCHUTTS	DRY-IN	PASS	
10B	40 RIO VISTA DR REEROOF AMERICA			INSPECTOR: <i>[Signature]</i>
TREE	VAN AMSTERDAM	TREE	PASS	
1	2 E. HIGH BINT			INSPECTOR: <i>[Signature]</i>
TREE	SCHMADER	TREE	FAIL	
7	102 HENRY SEWALL			INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 4/19/05

BUILDING PERMIT NO. 7496

Building to be erected for McKay Type of Permit Reroof

Applied for by 19 Via <sup>Florida Roofing Inc</sup> Lucindia South (Contractor) Building Fee \_\_\_\_\_

Subdivision \_\_\_\_\_ Lot 39 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 19 Via Lucindia South Impact Fee \_\_\_\_\_

Type of structure SFR A/C Fee \_\_\_\_\_

Parcel Control Number:

138410070000039030000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee 120<sup>00</sup>

Amount Paid \$120<sup>00</sup> Check # 1013 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) 0

Total Construction Cost \$ 9480 TOTAL Fees 120<sup>00</sup>

Signed Cubie Dickey  
Applicant

Signed Gene Simmons  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

APR 14 2005

BY: \_\_\_\_\_

### Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 4-14-05

OWNER/TITLEHOLDER NAME: Kevin McKay Phone (Day) 475 5741 (Fax) \_\_\_\_\_

Job Site Address: 19 Via Lucindia South City: Sewall's Point State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Lot 39 Lucindia, Plat Book 3, p.130 Parcel Number: 01-38-41-007-000-00390-3

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Re-roof

#### WILL OWNER BE THE CONTRACTOR?:

YES  NO

#### COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 9480<sup>00</sup>  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Florida Re Roofing Phone: 232 0701 Fax: 232 0702

Street: 2650 NE Dixie Hwy City: Jensen Beach State: FL Zip: 34957

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

#### SUBCONTRACTOR INFORMATION:

Electrical: _____	State: _____	License Number: _____
Mechanical: _____	State: _____	License Number: _____
Plumbing: _____	State: _____	License Number: _____
Roofing: _____	State: _____	License Number: _____

ARCHITECT \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carpport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
Kevin McKay  
State of Florida, County of MARTIN  
This the 13th day of April, 2005  
by Kevin M. McKay who is personally known to me or produced Florida Drivers License as identification. Rosalind M. Green  
Notary Public

CONTRACTOR SIGNATURE (required)  
Chris Wicks  
On State of Florida, County of: Martin  
This the 14 day of April, 2005  
by \_\_\_\_\_ who is personally known to me or produced \_\_\_\_\_ as identification. Katherine C. Nappi  
Notary Public

My Commission Expires \_\_\_\_\_

My Commission Expires \_\_\_\_\_

PERMIT APPROVAL  
ROSA LIND M. GREEN  
MY COMMISSION # DD 209368  
Expires: July 25, 2007  
Notary Public Underwriters

KATHERINE C. NAPPI  
Notary Public, State of Florida  
My comm. expires Nov. 30, 2008  
No. DD 375903

INSTR # 1830154 OR BK 02002 PG 1011 RECD 04/14/2005 10:24:49 AM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK T Copus (asst mgr)

NOTICE OF COMMENCEMENT

Permit No. \_\_\_\_\_  
State of Florida

Property Tax ID No. \_\_\_\_\_  
\* County of 01-38-41-007-000-00390-3

The Undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

\* Legal Description of property and address if available Lot 39, Lucindia, Plat Book 3, Page 130  
public records Martin Co.

General description of improvements Re-roof

Owner Elizabeth & Kevin McKay

Address 19 Via Lucindia Dr. South

Owner's interest in site of improvement \_\_\_\_\_

Fee Simple Title holder (if other than owner) \_\_\_\_\_

Address \_\_\_\_\_

Contractor FLORIDA RE-ROOFING Phone # 772 232 0701

Address 2650 NE DIXIE HWY Jensen Beach Fax # 772 232 0702

Surety \_\_\_\_\_ Phone # \_\_\_\_\_

Address \_\_\_\_\_ Fax # \_\_\_\_\_

Amount of Bond \_\_\_\_\_

Lender \_\_\_\_\_ Phone # \_\_\_\_\_

Address \_\_\_\_\_ Fax # \_\_\_\_\_

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (a) 7., Florida Statutes:

Name \_\_\_\_\_ Phone # \_\_\_\_\_

Address \_\_\_\_\_ Fax # \_\_\_\_\_

In addition to himself, owner designates \_\_\_\_\_ of \_\_\_\_\_  
Phone # \_\_\_\_\_ Fax # \_\_\_\_\_

to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes. Expiration date of notice of commencement is one year from the date of recording unless a different date is specified.

\* Kevin McKay  
Owner Signature

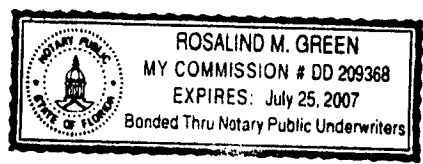
State of Florida, County of MARTIN  
Acknowledged before me this 13th, day of April, 2005, by Kevin M. McKay,  
who is personally known to me or who has produced Florida Driver License as identification.

Rosalind M. Green  
Signature of Notary

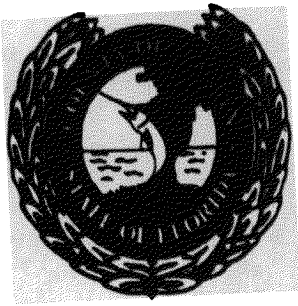
Rosalind M. Green  
Type or Print Name of Notary (Seal)

Title: Notary Public STATE OF FLORIDA  
MARTIN COUNTY Commission Number July 25, 2007

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.



MARSHA EWING, CLERK  
BY: T Copus D.C.  
DATE: 4.14.05



## Martin County Building Department

2401 SE Monterey Road

Stuart, Fl 34996

(772) 288-5482

Fax (772) 288-5911

DICKEY, CURTIS E  
FLORIDA RE-ROOFING INC/TEXXON RE-ROOF  
503 BRUCE CT  
OVILLA, TX 75154

### NOTICE TO ALL CONTRACTORS

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

#### PROHIBITED ACTIVITIES:

43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



MARTIN COUNTY, FLORIDA  
Construction Industry Licensing Board  
Certificate of Competency

**ROOFING CONTRACTOR**

License Number CRFG4049 Expires: 03-MAY-05

DICKEY, CURTIS E  
FLORIDA RE-ROOFING INC/TEXXON RE-ROOF  
503 BRUCE CT  
OVILLA, TX 75154



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**Elk Corporation of Alabama  
4600 Stillman Blvd.  
Tuscaloosa, AL 35401**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County or Florida Building Code.

**DESCRIPTION: Prestique 25, Prestique 30, Elk Raised Profile, or Prestique**

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 3.

The submitted documentation was reviewed by Frank Zuloaga, RRC



**FILE COPY**  
**TOWN OF SEWALL'S POINT**  
**THESE PLANS HAVE BEEN**  
**REVIEWED FOR CODE COMPLIANCE**

DATE: 4/18/05

*[Signature]*

---

**BUILDING OFFICIAL**  
**Gene Simmons**

NOA No.: 01-1226.04  
Expiration Date: 07/12/06  
Approval Date: 02/14/02  
Page 1 of 3

**NOTICE OF ACCEPTANCE:EVIDENCE SUBMITTED**  
*(For File ONLY. Not part of NOA.)*

**EVIDENCE SUBMITTED**

<b><u>Test Agency</u></b>	<b><u>Test Identifier</u></b>	<b><u>Test Name/Report</u></b>	<b><u>Date</u></b>
Center for Applied Engineering	PA 100	Uplift and wind driven rain resistance.	06/30/94
Underwriters Laboratories, Inc.	PA 107 ASTM 3462	Wind uplift resistance Material Properties	12/20/93 08/20/97

**C.CALCULATIONS: <enter calculations received for use of coefficients>**

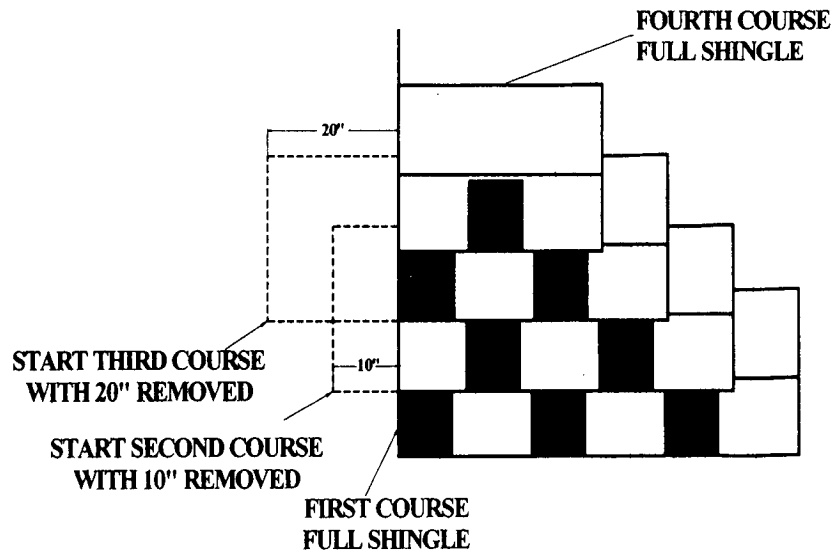
**D.MATERIAL CERTIFICATIONS: NONE**

**E.STATEMENTS: NONE**

**F. OTHER**

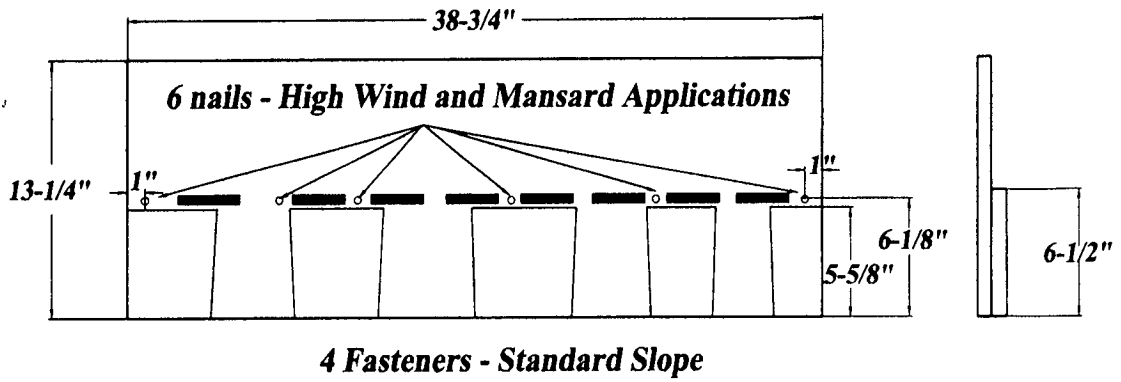
1. Association member <enter name of association and its approval document number>  
*Notice of Acceptance number 00-0720.03*

**DETAIL A**



**DETAIL B**

**Elk Prestique 25, Prestique 30, Elk Raised Profile, and Prestique**



END OF THIS ACCEPTANCE



NOA No.: 01-1226.04  
Expiration Date: 07/12/06  
Approval Date: 02/14/02  
Page 3 of 3



# ROOFING SYSTEM APPROVAL

**Category:** Roofing  
**Sub Category:** Shingles  
**Materials:** Laminate

## 1. SCOPE

This revises Elk Prestique 25, Prestique 30, Elk Raised Profile, or Prestique Fiberglass manufactured by Elk Corporation of Alabama described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County.

## 2. PRODUCT DESCRIPTION

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
EIK Prestique 25, Prestique 30, Elk Raised Profile, or Prestique	13 1/4" x 38 3/4"	PA 110	A heavy weight laminated asphalt shingle with a propriatery profile.

## 3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- 3.2 Shall not be installed on roof mean heights in excess of 33 ft.

## 4. INSTALLATION

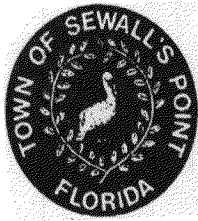
- 4.1 Shingles shall be installed in compliance with Miami-Dade County Product Control Shingle Installation Procedure No. 115.
- 4.2 Flashing shall be in accordance with Section 9.3 Option "B" (Step-flashing) of Miami-Dade County Product Control Shingle Installation Procedure No. 115
- 4.3 The manufacturer shall provide clearly written application instructions.
- 4.4 Exposure and course layout shall be in compliance with Detail 'A', attached.
- 4.5 Nailing shall be in compliance with Detail 'B', attached.

## 5. LABELING

- 5.1 Shingles shall be labeled with the Miami-Dade Logo or the wording "Miami-Dade County-Dade Product Control Approved".

## 6. BUILDING PERMIT REQUIREMENTS

- 6.1 Application for building permit shall be accompanied by copies of the following:
  - 6.1.1 This Notice of Acceptance.
  - 6.1.2 Any other documents required by the Building Official or the Applicable Building Code in order to properly evaluate the installation of this system



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

1496

**CORRECTION NOTICE**

ADDRESS: 19 S. VIA LUCINDIA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DRY - IN

HEAD LAPS ARE NOT PROPERLY  
NAILED IN AREAS

DRIP EDGES NOT PROPERLY  
NAILED ALONG REAR @ SE  
CORNER

BULL IN @ DRIP EDGES -  
@ RIDGE ESPECIALLY

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/22

OK

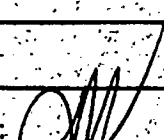

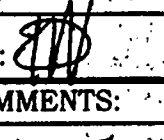

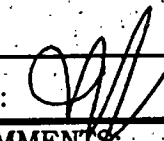
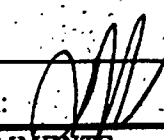
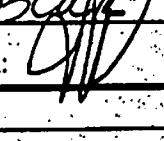
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

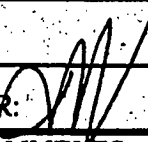
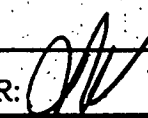
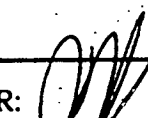
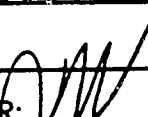
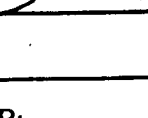
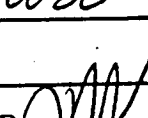
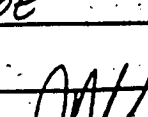
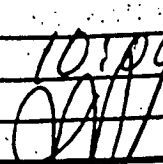
Date of Inspection:  Mon  Wed  Fri 4/22, 20015 Page 3 of     

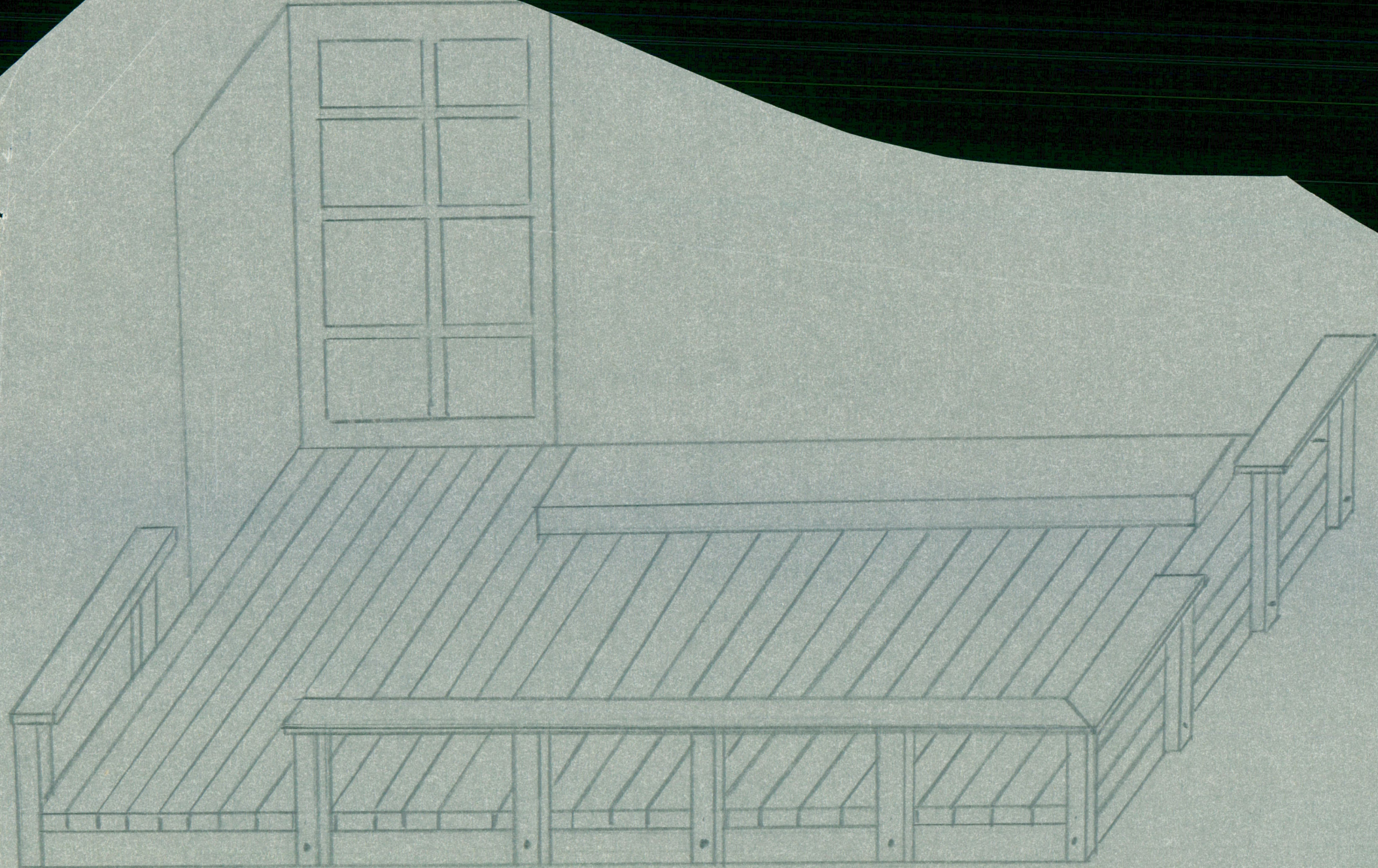
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	Fenstermaker	Tree	PASS	
10	71 S. Sewall St			INSPECTOR: 
6865	Fenstermaker	STRAPPING	PASS	
10	71 S. Sewall's OIB			INSPECTOR: 
7428	Boucher	FINAL ROOF	PASS	CLOSE
1	21 MIDDLE RD Dennis Cons			INSPECTOR: 
7446	BURKE	FINAL ROOF	PASS	CLOSE
16	7 MIRAMAR RD CODE RED ROOFERS			INSPECTOR: 
Tree	DIMITRIU	TREE	PASS	
17	6 BANYAN DR			INSPECTOR: 
7496	MACKAM	DRY-IN	FAIL	
11	19 S. VIA LUCINDA FLORIDA PEREOP			INSPECTOR: 
7494	VAN T BOSCH	GAS TANK & LINES	FAIL	7 TANK ON
12	36 S. RIVER RD PROPANE DISCOUNTERS			CMU BLOCK INSPECTOR: 
<b>OTHER:</b> _____				

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

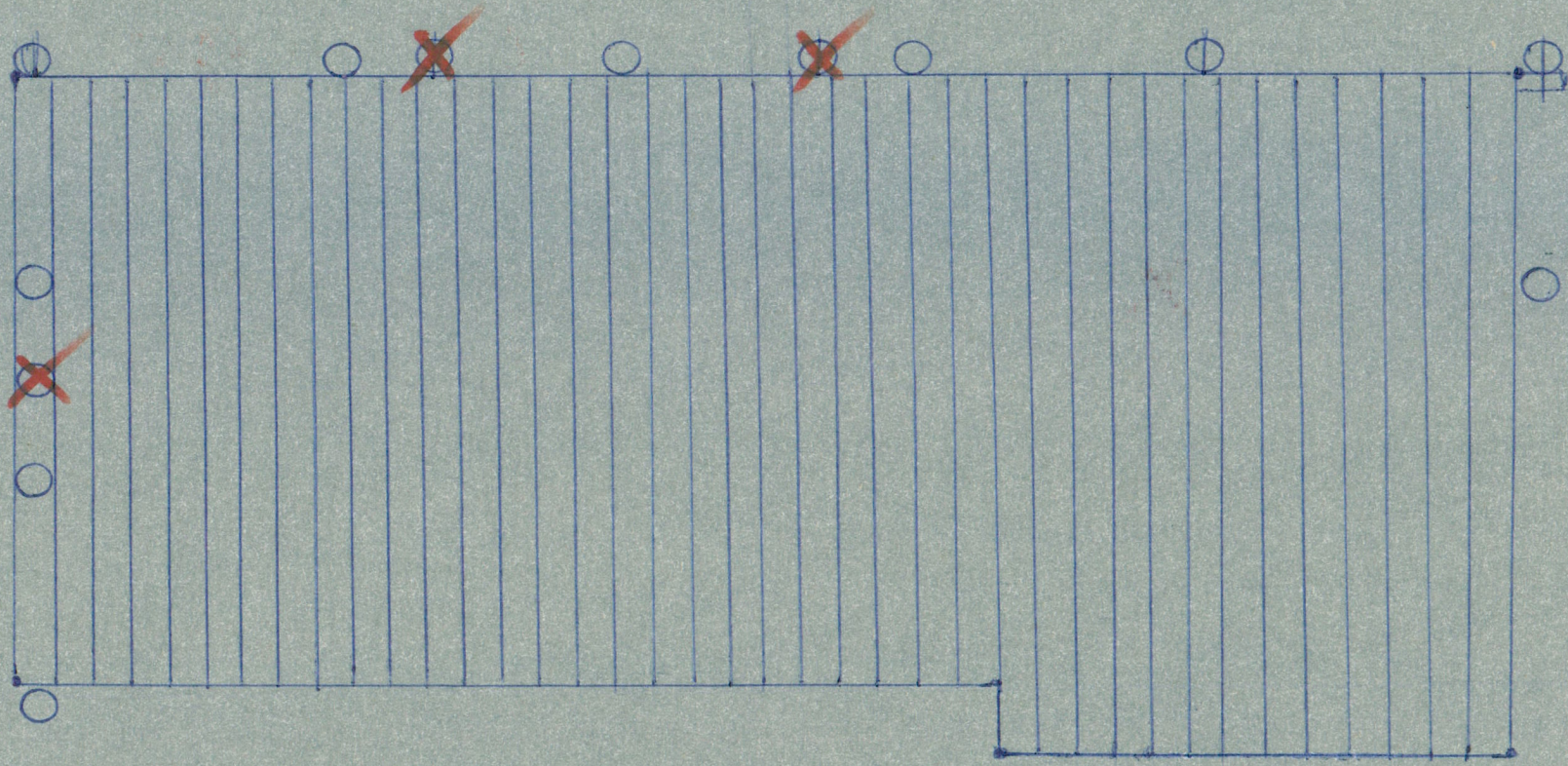
Date of Inspection:  Mon  Wed  Fri 4/25, 2008 Page 2 of     

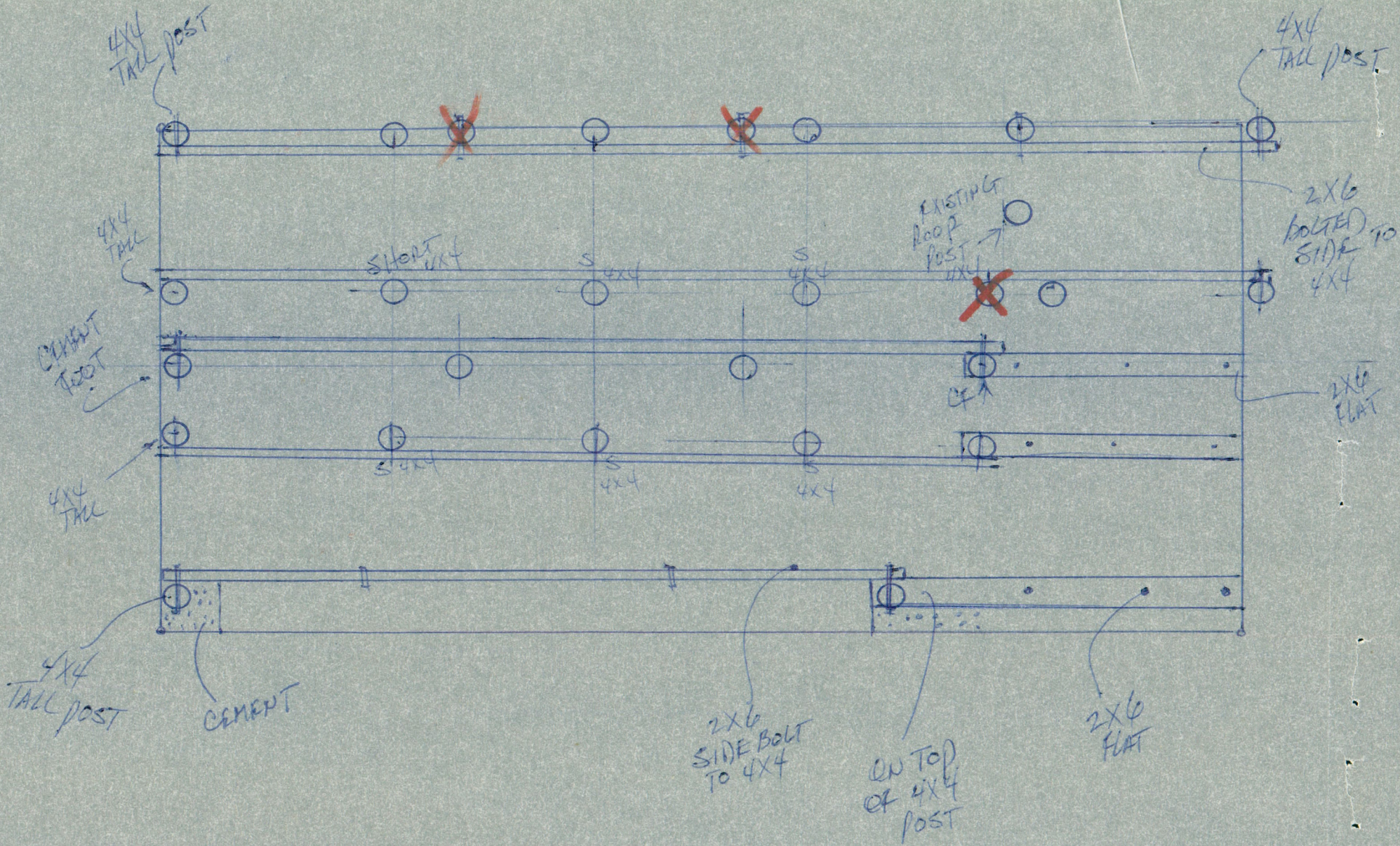
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7141	Johansen 34 W. High Point Masterpiece Bldrs.	Gas Tank + Lines	PASS	CLOSE
				INSPECTOR: 
7087	Johansen 34 W. High Point Masterpiece Bldrs	Repl Windows Porch Encl.	FAIL	
				INSPECTOR: 
TREE	Peterson 49 Rio Vista	Tree	PASS	
5				INSPECTOR: 
7037	STANFORD 73 N. RIVER RD O/B	FINAL ROOF FINAL	PASS	CLOSE
12				INSPECTOR: 
<del>6614</del>	<del>MUFSON</del> 17 S. RIVER RD ADVANTAGE POOLS	<del>FOUNTAIN</del>		<del>CXL</del>
10				INSPECTOR: 
7421	SWORT 10 N. RIVER RD CHITWOOD & CO.	FINAL DRIVEWAY PATIO, STEPS	PASS	CLOSE
11				INSPECTOR: 
7389	WALKER 6 CRANE'S NEST JONIERO	FINAL ROOF	PASS	CLOSE
6				INSPECTOR: 
OTHER:				
7496	19 S. VIA LUCINDA	ROOF	PASS	10:09 A.M.
				

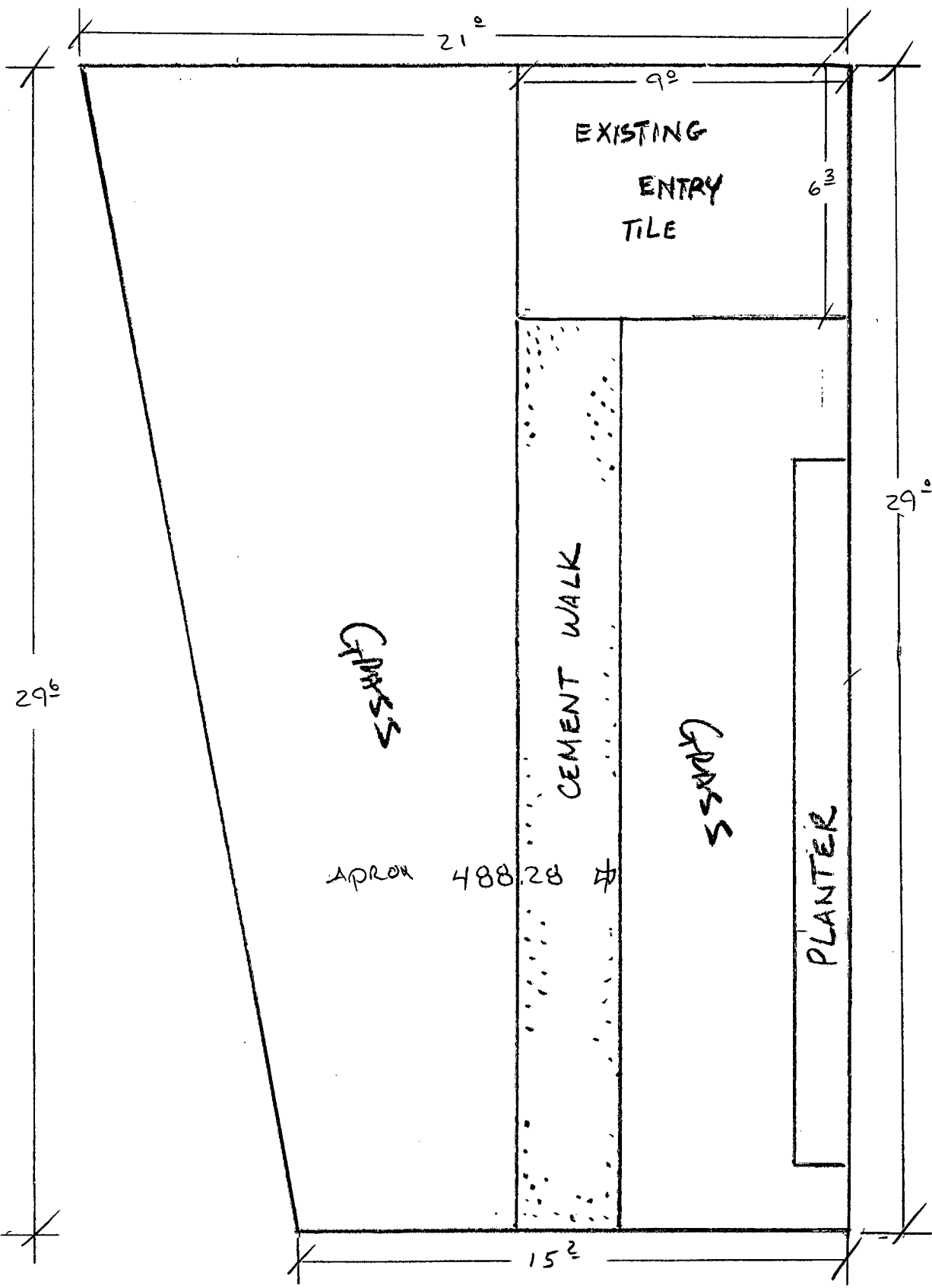


2x16  
Planks  
↓

10 TALL  
POSTS







patio Detail 1/4 scale



**CONSTRUCTION PERMIT ONLY**

Martin County Health  t. No. 10-12

Name of Owner Robt. Lear

Owner's Address Sowell Point

Installation at LOT 24 22 *RHL*

Installation by Contractor

Date of Application 7/14/61

NOTE: Installation must accord with requirements of Chapter V of the Florida State Sanitary Code (1956 Rev.) and satisfactory final inspection must be made before work is covered.

Septic Tank Capacity, Minimum Recommended: 700 gallons.

Drain Field Data 133' x 18"

Remove impervious material to a depth of 6' in drain field area.

Date of Issuance of this Construction Permit 7/14/61

Permit Issued By R. H. Reed Supv  
(Name) (Title)

Florida State Board of Health

**SEPTIC TANK PERMIT**  
San - 428  
Rev. 5-15-56

# TOWN OF SEWALL'S POINT, FLORIDA

## BUILDING DEPARTMENT

### Construction and Inspection Record

Name of Owner JACK P ESSAM Phone No. ....

Address .....

Name of Contractor ..... Phone No. ....

Address .....

Legal Description of Property: Lot 39 Block .....

Subdivision Lucindia

Inspections	Footers	<u>11/14/61 OK</u>	Date	Lintel	<u>015 12/22/61</u>	Date
	Rough Electric	<u>3/10/62 OK</u>	Date	Final Electric	<u>OK</u>	Date
	Rough Plumbing	<u>2/17/61 OK</u>	Date	Final Plumbing	<u>OK</u>	Date
	Close In	<u>3/10/62 OK</u>	Date	Final	<u>OK</u>	Date

Clean Up Bond \$ ..... Date ..... No.: .....

Certificate of Credit Rating ..... Date Filed .....

Superior ..... Good ..... Poor .....

Certificate of Insurance ..... Date Filed .....

Agent ..... Company .....

Certificate of Occupancy Issued ..... Date .....

No.: .....

Permit and Job No. # 39

Charles A. Dwyer  
Building Dept.

4899

# Town of Sewall's Point

Date 3/20/2000

RECEIVED  
MAR 20 2000  
BY: 34990

## PERMIT APPLICATION

Owner's Name: Marion Kohler Phone No. 223-0053  
Owner's Present Address: 19 S. VIA LUCINDIA, STUART, FL 34990  
Fee Simple Titleholder's Name & Address if other than owner: \_\_\_\_\_

Location of Job Site: 19 S. VIA LUCINDIA, STUART, FL 34990 566  
TYPE OF WORK TO BE DONE: SWIMMING POOL W/DECKING Call-Norman 692-9091  
CONTRACTOR INFORMATION  
Contractor/Company Name: Challenger Pools, Inc Phone No. 561 471-3033  
COMPLETE MAILING ADDRESS: 945 N. Military Trail, WPB, FL 33415  
State Registration CPC050527 State License CPC050527  
Legal Description of Property LOT 39, LUCINDIA, BK 3, PG 130, MARTIN CO.  
Parcel Number 01-38-41-007-000-00390-3

### ARCHITECT/ENGINEER INFORMATION

Architect: NA Phone No. \_\_\_\_\_  
Address: \_\_\_\_\_  
Engineer: EAST COAST TESTING & ENGINEERING Phone No. 800 529-7045  
Address: 400 N Powerline Rd, G-1, Pompano 33073  
Area Square Footage: Living Area \_\_\_\_\_ Garage Area \_\_\_\_\_ Carport \_\_\_\_\_  
Accessory Bldg. \_\_\_\_\_ Covered Patio \_\_\_\_\_ Scr. Porch \_\_\_\_\_ Wood Deck \_\_\_\_\_  
Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
NEE electrical SERVICE SIZE 200 AMPS

### FLOOD HAZARD INFORMATION

NA  
flood zone \_\_\_\_\_ minimum Base Flood Elevation (BFE) \_\_\_\_\_ NGVD  
proposed finish floor elevation \_\_\_\_\_ NGVD (minimum 1 foot above BFE)  
Cost of construction or improvement 7500.00/00  
Fair Market Value (FMV) prior to improvement \_\_\_\_\_  
Substantial Improvement 50% of FMV yes \_\_\_\_\_ No \_\_\_\_\_  
Method of determining FMV \_\_\_\_\_

### SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical Quinn Electric State License ER 0010708  
Mechanical \_\_\_\_\_ State License# \_\_\_\_\_  
Plumbing Challenger Pools Inc State License# CPC050527  
Roofing \_\_\_\_\_ State License# \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

### OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE Marion Kohler  
Sworn to and subscribed before me this 10th day of March, 1998 by Marion Kohler who is personally known to me or has produced or has produced \_\_\_\_\_ and who did (did not) take an oath.

CONTRACTOR SIGNATURE \_\_\_\_\_  
Sworn to and subscribed before me this 8 day of March, 1998-2000 by Bruce Esquivalde, JR who is personally known to me or has produced \_\_\_\_\_ and who did (did not) take an oath.

Notary Seal: Joan H. Barrow  
NOTARY COMMISSION # CC763645 EXPIRES  
November 30, 2002 48-745-0  
BONDED THROUGH TROY FAIN INSURANCE, INC.

Notary Seal: RHONDA FRANZOSE  
COMMISSION # CC608571  
EXPIRES DEC 16, 2000  
BONDED THROUGH  
ATLANTIC BONDING CO., INC.

CC608571

**TREE REMOVAL (Attach sealed survey)**

No. of trees to be removed \_\_\_\_\_ No. to be retained \_\_\_\_\_ No. to be planted \_\_\_\_\_  
 Specimen tree removed \_\_\_\_\_ Fee \_\_\_\_\_ Authorized/Date \_\_\_\_\_  
 DEVELOPMENT ORDER # \_\_\_\_\_

**1. ALL APPLICATIONS REQUIRE:**

- A. Property Appraiser's Parcel Number.
- B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- C. Contractor's name, address, phone number & license numbers.
- D. Name all sub-contractors (properly licensed).
- E. Current Survey
- F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
  1. Floor Plan
  2. Foundation Details
  3. Elevation Views - Elevation Certificate due after slab inspection.
  4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
  5. Truss layout
  6. Vertical Wall Sections (one detail for each wall that is different)
  7. Fireplace drawing: If prefabricated submit manufacturer's data.

**ADDITIONAL Required Documents are:**

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
8. Replat required upon completion of slab or footing inspection and prior to any further inspections.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.  
 Approved by Building Official \_\_\_\_\_  
 Approved by Town Engineer \_\_\_\_\_

223-0053  
Phone No. (608) 223 0053

Owner or Titleholder's Name MARION KOHLER  
Street: 19 SOUTH VIA WINDIA City: STUART State: FL Zip: 34999

Legal Description of Property: KNOWAS LOT 39, WINDIA AS RECORDED IN PLAT BOOK PAGE 130, PUBLIC RECORDS OF MARTIN CO Parcel Number: \_\_\_\_\_

Location of Job Site: \_\_\_\_\_

TYPE OF WORK TO BE DONE: \_\_\_\_\_

CONTRACTOR/Company Name: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration: \_\_\_\_\_ State License: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:

Living Area: \_\_\_\_\_ Garage Area: \_\_\_\_\_ Carport: \_\_\_\_\_ Accessory Bldg: \_\_\_\_\_

Covered Patio: \_\_\_\_\_ Scr. Porch: \_\_\_\_\_ Wood Deck: \_\_\_\_\_

Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_

New Electrical Service Size: \_\_\_\_\_ AMPS

**FLOOD HAZARD INFORMATION**

Flood zone: \_\_\_\_\_ Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD

Proposed first habitable floor finished elevation: \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

**COSTS AND VALUES**

Estimated cost of construction or improvement: \$ 100,000

Estimated Fair Market Value (FMV) prior to improvement: \$ \_\_\_\_\_

If improvement, is cost greater than 50% of Fair Market Value? YES \_\_\_\_\_ NO \_\_\_\_\_

Method of determining Fair Market Value: \_\_\_\_\_

**SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)**

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)  
Marion K. Kohler

State of Florida, County of: Martin On this the 14<sup>th</sup> day of February, 2001 by M. Kohler who is personally known to me or produced Fl-d-1 as identification.

Joan H. Barrow  
Notary Public

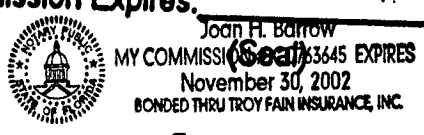
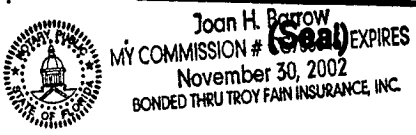
My Commission Expires: \_\_\_\_\_

CONTRACTOR SIGNATURE (Required)  
Marion K. Kohler

State of Florida, County of: Martin On this the 14<sup>th</sup> day of February, 2001 by M. Kohler who is personally known to me or produced Fl-d-1 as identification.

Joan H. Barrow  
Notary Public

My Commission Expires: \_\_\_\_\_



Number of trees to be removed: \_\_\_\_\_ Number of trees to be retained: \_\_\_\_\_ Number of trees to be planted: \_\_\_\_\_ Number of Specimen trees removed: \_\_\_\_\_  
Fee: \$ \_\_\_\_\_ Authorized/Date: \_\_\_\_\_

DEVELOPMENT ORDER # \_\_\_\_\_

MAR 01 2003

1. ALL APPLICATIONS REQUIRE
  - a. Property Appraisers Parcel Number.
  - b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
  - c. Contractors name, address, phone number & license numbers.
  - d. Name all sub-contractors (properly licensed).
  - e. Current Survey
2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:
  - a. Floor Plan
  - b. Foundation Details
  - c. Elevation Views - Elevation Certificate due after slab inspection,
  - d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
  - e. Truss layout
  - f. Vertical Wall Sections (one detail for each wall that is different)
  - g. Fireplace drawing: If prefabricated submit manufacturers data

**ADDITIONAL Required Documents are:**

1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official: \_\_\_\_\_ Date: \_\_\_\_\_

Approved by Town Engineer (If required) \_\_\_\_\_ Date: \_\_\_\_\_



**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Bldg. Permit Number: \_\_\_\_\_  
AUG 15 2000

Owner or Titleholder's Name MARION KOHLER Phone No. 561 223 0053  
Street: 19 SOUTH VIA WINDIA City STUART State: FL Zip 34996  
Legal Description of Property: LOT 39, WINDIA, IN PLAT BOOK 3, PAGE 130,  
MARTIN COUNTY Parcel Number: \_\_\_\_\_

Location of Job Site: \_\_\_\_\_

TYPE OF WORK TO BE DONE: REPLACING WINDOW 2 WITH DOORS

CONTRACTOR/Company Name: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
Street: \_\_\_\_\_ City \_\_\_\_\_ State: \_\_\_\_\_ Zip \_\_\_\_\_  
State Registration: \_\_\_\_\_ State License: \_\_\_\_\_

ARCHITECT: BRADEN & BRADEN AIA, PA. Phone No. (561) 287 8258  
Street: 417 COCONUT AVE. City STUART State: FL Zip 34996

ENGINEER: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
Street: \_\_\_\_\_ City \_\_\_\_\_ State: \_\_\_\_\_ Zip \_\_\_\_\_

**AREA SQUARE FOOTAGE - SEWER - ELECTRIC:**

Living Area: \_\_\_\_\_ Garage Area: \_\_\_\_\_ Carport: \_\_\_\_\_ Accessory Bldg: \_\_\_\_\_  
Covered Patio: \_\_\_\_\_ Scr. Porch: \_\_\_\_\_ Wood Deck: \_\_\_\_\_  
Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
New Electrical Service Size: \_\_\_\_\_ AMPS

**FLOOD HAZARD INFORMATION**

Flood zone: \_\_\_\_\_ Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD  
Proposed first habitable floor finished elevation: \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

**COSTS AND VALUES**

Estimated cost of construction or Improvement: \$ 2000.00  
Estimated Fair Market Value (FMV) prior to improvement: \$ \_\_\_\_\_  
If Improvement, is cost greater than 50% of Fair Market Value? YES \_\_\_\_\_ NO \_\_\_\_\_  
Method of determining Fair Market Value: \_\_\_\_\_

**SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)**

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

**OWNER or AGENT SIGNATURE (Required)**

Marion Kandy Kohler

Owner  
State of Florida, County of: Martin On  
this the 8<sup>th</sup> day of August, 2000,  
by M. Kohler who is personally  
known to me or produced Fl. d.l.  
as identification.

Joan H. Barrow

Notary Public

My Commission Expires: \_\_\_\_\_



Joan H. Barrow  
MY COMMISSION # CC743645 EXPIRES  
November 30, 2002  
BONDED THRU TROY FAIR INSURANCE, INC.

**CONTRACTOR SIGNATURE (Required)**

\_\_\_\_\_

Contractor  
State of Florida, County of: \_\_\_\_\_ On  
this the \_\_\_\_\_ day of \_\_\_\_\_, 2000,  
by \_\_\_\_\_ who is personally  
known to me or produced \_\_\_\_\_  
as identification.

\_\_\_\_\_

Notary Public

My Commission Expires: \_\_\_\_\_

(Seal)

**TREE REMOVAL (Attach sealed survey)**

Number of trees to be removed: \_\_\_\_\_ Number of trees to be retained: \_\_\_\_\_ Number of trees to be planted: \_\_\_\_\_ Number of Specimen trees removed: \_\_\_\_\_  
Fee: \$ \_\_\_\_\_ Authorized/Date: \_\_\_\_\_

**DEVELOPMENT ORDER # \_\_\_\_\_**

1. **ALL APPLICATIONS REQUIRE**
  - a. Property Appraisers Parcel Number.
  - b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
  - c. Contractors name, address, phone number & license numbers.
  - d. Name all sub-contractors (properly licensed).
  - e. Current Survey
2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:
  - a. Floor Plan
  - b. Foundation Details
  - c. Elevation Views - Elevation Certificate due after slab inspection,
  - d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
  - e. Truss layout
  - f. Vertical Wall Sections (one detail for each wall that is different)
  - g. Fireplace drawing: If prefabricated submit manufacturers data

**ADDITIONAL Required Documents are:**

1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

**NOTICE:** In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required' from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official: \_\_\_\_\_ Date: \_\_\_\_\_  
Approved by Town Engineer \_\_\_\_\_ Date: \_\_\_\_\_  
(If required)



DATE 12/11/95

TAX FOLIO NO. \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner DON GOODNOUGH & NANCY MORRIS Present address 19 S. VIA LUCINDIA

Phone 407 223 8165 + 407 692-2921 STUART 34996

Contractor HOME OWNER + INDIAN RIVER FENCE Address CO. ABOVE # 705 SW AIROSO BLVD

Phone ABOVE + 340-1045 PORT ST. LUCIE

Where licensed MARTIN COUNTY License number # SPO 1809

Electrical Contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: FENCE CHAIN LINK SIDES, WOOD LATTIS FRONTS

State the street address at which the proposed structure will be built:

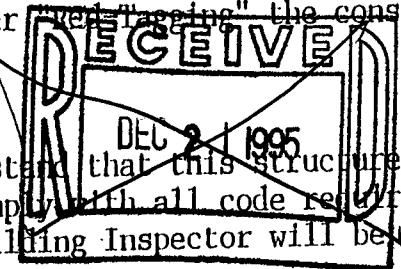
19 S. VIA LUCINDIA STUART FL 34996

Subdivision LUCINDIA Lot Number 39 Block Number Plot Book 3

Contract price \$ 1000.00 Cost of permit \$ 25.00 Pg. 130

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "tagging" the construction project.



Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

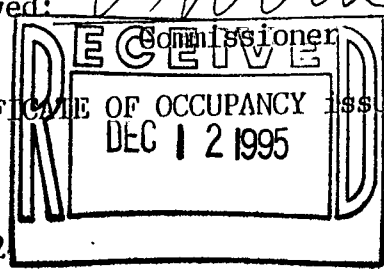
Date submitted \_\_\_\_\_

Approved: Dale Brown 12/12/95  
Building Inspector Date

Approved: [Signature] \_\_\_\_\_  
Commissioner Date

Final approval given: \_\_\_\_\_ Date

CERTIFICATE OF OCCUPANCY issued (if applicable) \_\_\_\_\_ Date



PERMIT NO. \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

3538

Owner Don Goodnowett Present Address 19 S. VIA LUCINDIA

Phone 223-9913 Stuart, Fl. 34996

Contractor Homeowner Address \_\_\_\_\_

Phone 223-9913

Where licensed \_\_\_\_\_ License Number \_\_\_\_\_

Electrical Contractor \_\_\_\_\_ License Number \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License Number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Cement wall w/ trellis overhang, cement

slab w/ Mexican tile:

State the street address at which the proposed structure will be built:

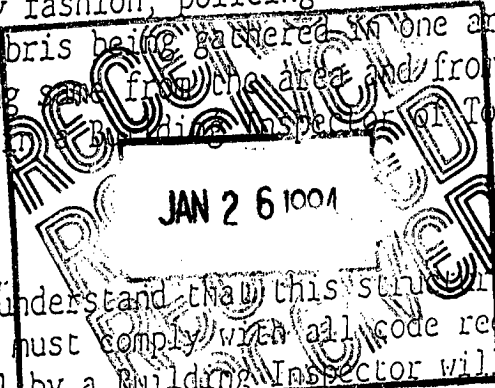
19 S. VIA LUCINDIA

Subdivision VIA LUCINDIA Lot Number 39 Block Number \_\_\_\_\_

Contract Price \$ 500<sup>00</sup> Cost of Permit \$ 24<sup>00</sup>

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in the Building Inspector or Town Commissioner "Red Tagging" the construction project.



Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

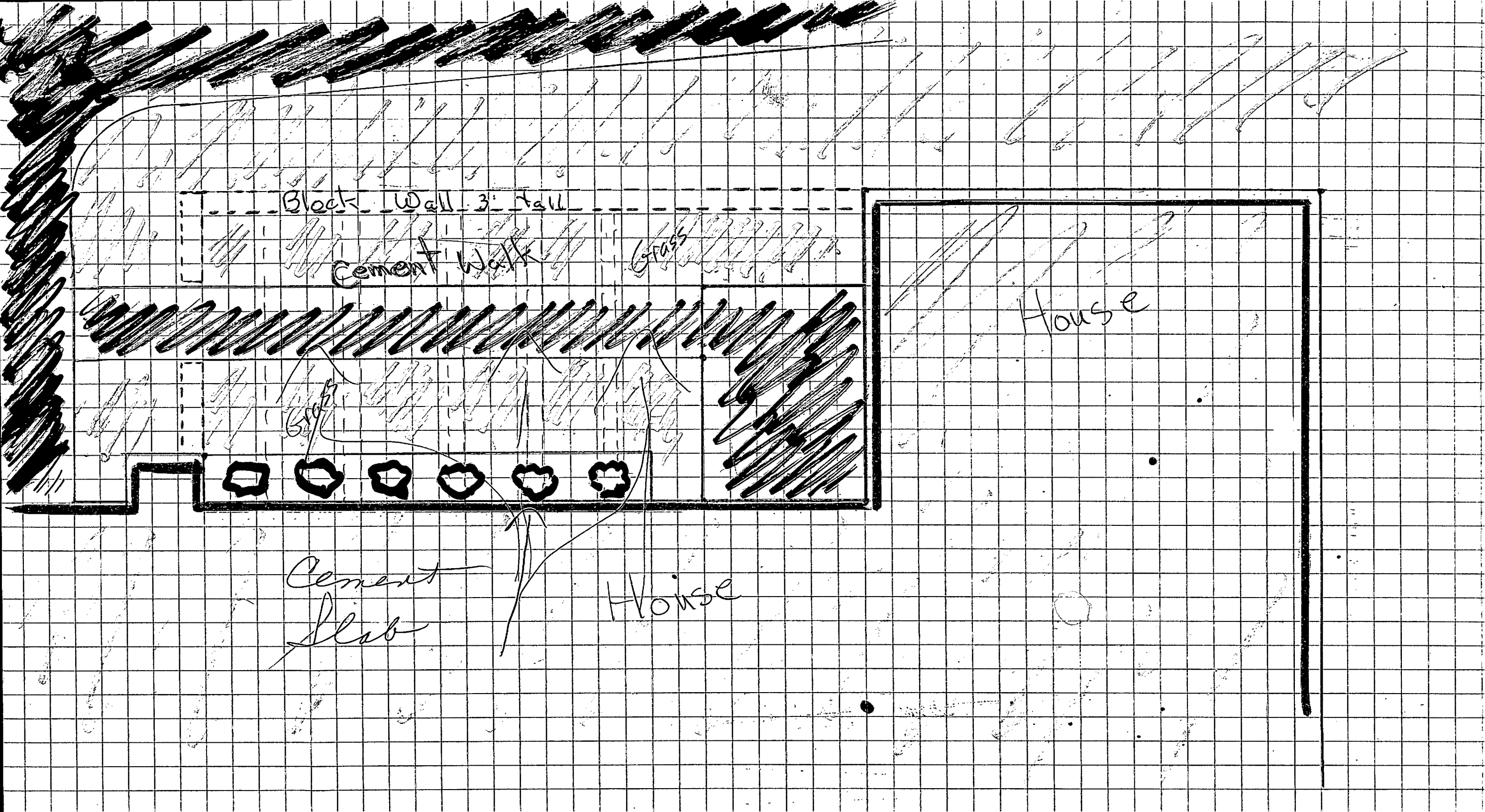
TOWN RECORD

Date submitted \_\_\_\_\_ Approved: [Signature] 1/26/94  
Building Inspector Date

Approved: [Signature] 1/27/94 Final Approval given: \_\_\_\_\_  
Commissioner Date Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date

Permit No. \_\_\_\_\_



Block Wall 3' tall

Cement Walk

Grass

House

Cement Slab

House

3'6" Block wall  
Cement Slab

3'6" Block wall

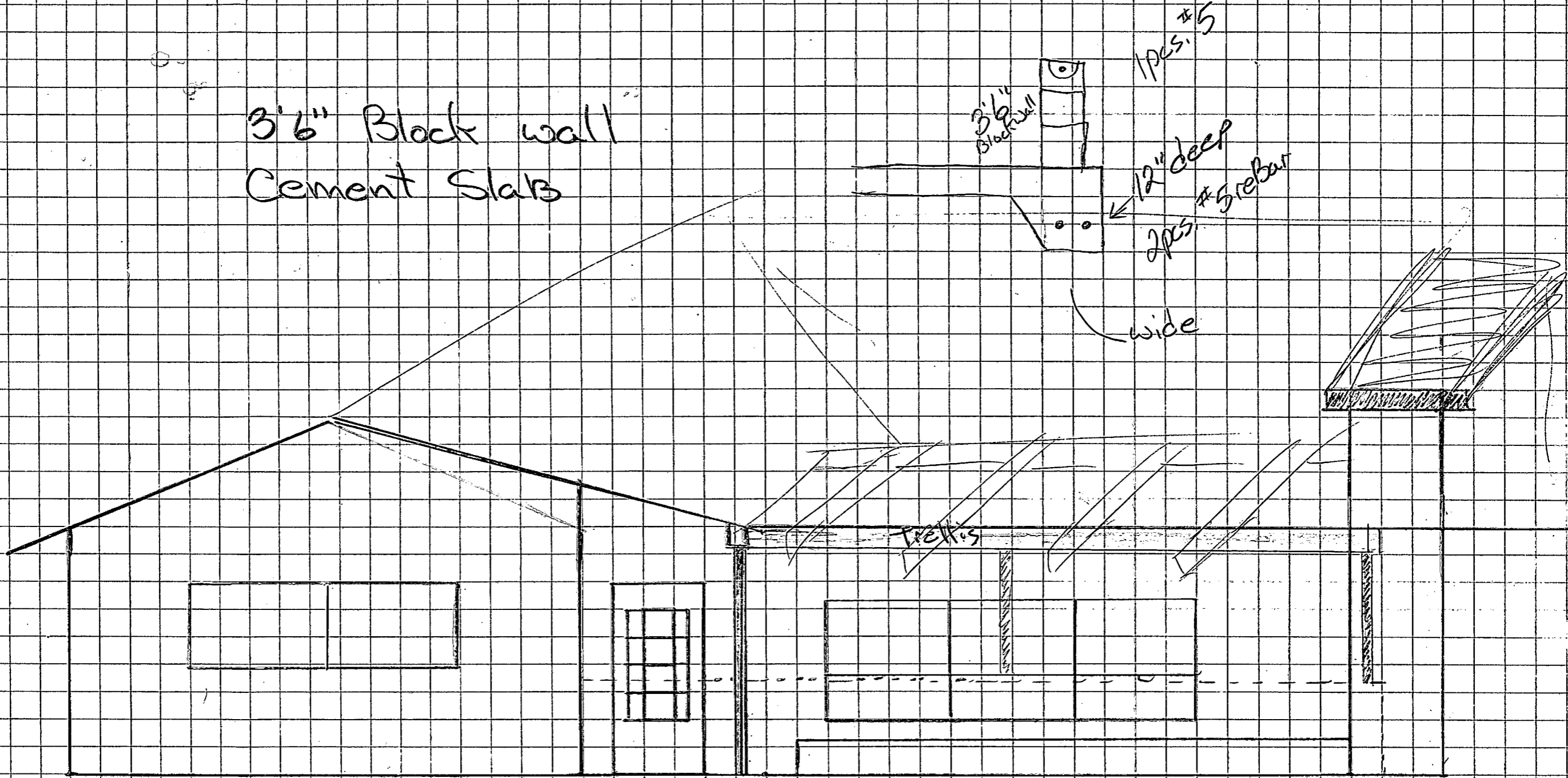
1 pcs #5

12" deep

2 pcs #5 rebar

wide

Trellis



TAX FOLIO NO. \_\_\_\_\_

DATE 9/5/95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Nancy Morris & Don Goodnough Present address 1950 Via Lucinda

Phone 223-9913

Contractor Self Address \_\_\_\_\_

Phone \_\_\_\_\_

Where licensed \_\_\_\_\_ License number \_\_\_\_\_

Electrical Contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Roof

State the street address at which the proposed structure will be built:

Subdivision VIA Lucinda Lot Number 39 Block Number \_\_\_\_\_

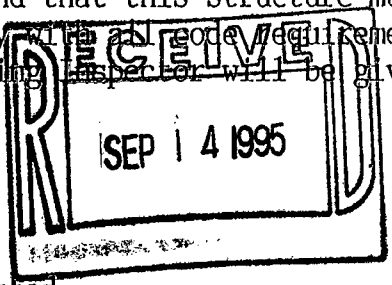
Contract price \$ 1000.00 Cost of permit \$ 100.00

Plans approved as submitted N/A Plans approved as marked N/A

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.



Owner [Signature]

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: [Signature] Building Inspector Date

Approved: [Signature] Commissioner Date Final approval given: \_\_\_\_\_ Date

CERTIFICATE OF OCCUPANCY issued (if applicable) \_\_\_\_\_ Date

PERMIT NO. \_\_\_\_\_