

5 Worth Court

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued _____

311

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner JOANNE CANTOZZI Address #5 WORTH CT Phone 288. 1733

Contractor PACIFIC ROOFING Address 1501 DECKER AVE 503 ^{UNIT #} Phone 283. 7663

Number of trees to be removed (list kinds of trees) ① ONE PARTIAL OAK

SHRUBS
Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

0

Number of trees to be replaced (list kinds of trees):

Permit Fee \$ 25.00 (\$25.00 - first tree plus \$10.00 - each additional tree - not to exceed \$100.00.

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

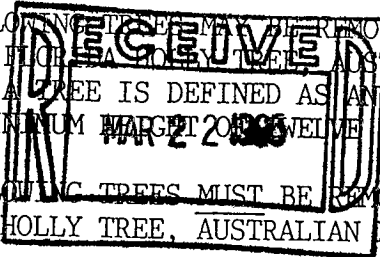
Signature of applicant [Signature] Date submitted 3.22.95

Approved by Building Inspector Dale Brown Date 3/22/95

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM TRUNK DIAMETER OF TWELVE (12) FEET.



THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

PRINTS

Permit No. _____

Date 3/20/91

2945

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GAZEBO OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MR. + MRS. G. FANTOZZI Present Address 5 NORTH COURT

Phone 288-1733

Contractor OWNER-BUILDER Address SAME

Phone SAME

Where licensed _____ License number _____

Electrical contractor RIVERSIDE ELECT License number 00016

Plumbing contractor N/A License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: _____

CLOSE-IN PART OF REAR PORCH (AS PER PLAN)

State the street address at which the proposed structure will be built:

5 NORTH COURT

Subdivision Ridgeland Lot number 11 Block number _____

Contract price \$ 4,500.00 Cost of permit \$ 75.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Joann Fantozzi

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Joann Fantozzi

TOWN RECORD

Date submitted _____

Approved: Dale Brown 3/20/91
Building Inspector Date

Approved: _____ Date _____ Final Approval given: _____ Date _____
Commissioner Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

Warranty Deed

(STATUTORY FORM—SECTION 689.02 F.S.)

This Indenture, Made this 23 day of May 19 86, Between

MARTIN K. HARIWELL AND MAUREEN L. HARIWELL, his wife

of the County of _____, State of Michigan, grantor*, and

GEORGE V. FANTOZZI AND JOANN D. FANTOZZI, his wife

whose post office address is 10205 S. W. 130 Lane, Miami, Florida 33176

of the County of Dade, State of Florida, grantee*,

Witnesseth. That said grantor, for and in consideration of the sum of TEN AND NO/100 Dollars,
(\$10.00)

and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 11, of RIDGELAND, a subdivision in the Town of Sewall's Point, Florida, according to the Plat thereof, on file and of record in the Office of the Clerk of the Circuit Court, in and for Martin County, Florida, in Plat Book 8, Page 3.

SUBJECT to reservations, restrictions, easements and limitations of record, if any, and to taxes for the year 1986 (and subsequent years.

JS
P/2: 44

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.
Signed, sealed and delivered in our presence:

Mary Alice Hagen
MARY ALICE HAGEN
Sandra E. Hawkins
SANDRA E. HAWKINS

Martin K. Hariwell (Seal)
MARTIN K. HARIWELL
Maureen L. Hariwell (Seal)
MAUREEN L. HARIWELL

STATE OF FLORIDA
DOCUMENTARY STAMP TAX
DEPT. OF REVENUE
340.00

STATE OF MICHIGAN
COUNTY OF Oakland

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared
MARTIN K. HARIWELL AND MAUREEN L. HARIWELL, His wife

to me known to be the persons described in and who executed the foregoing instrument and acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 23 day of May 1986.

My commission expires:

July 12, 1987

Mary Alice Hagen
MARY ALICE HAGEN Notary Public

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

PERMIT # 92
DATE ISSUED 11/13/86

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photographs, (superimposed with lot lines to scale), of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc..

Owner GROEVE FANTOZZI Address FOX LAKE Telephone ---

Contractor JOHN J HILL Address 736 NE BACK HENDERSON WAY Telephone 692-2889

Number of trees to be removed (list kinds of trees) PALM'S

Number of trees to be relocated within 30 days (no fee) (list kinds of trees) NONE

Number of trees to be replaced within 30 days (list kinds of trees) NONE

Permit Fee \$ --- (\$5. for first tree plus \$1. for each additional tree - not to exceed \$25.)

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted --- Plans approved as marked ---

Permit good for one year. Fee for renewal of expired permit \$5.

Signature of applicant John J Hill Date submitted 11-13-86

Approved by Building Inspector Dale Brown Date 11/13/86

Approved by Building Commissioner GC Strubell Date 11/13/86

Completed ---
Date --- Checked by ---

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSES OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOOD OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY, AUSTRALIAN PINE AND MELALEUCCA.

603906

Return to:
This instrument was prepared by:
JOSEPH C. SIMS, Attorney
BLACKWELL, WALKER, GRAY,
POWERS, FLICK & HOEHL
P. O. Box 3880
WEST PALM BEACH, FLORIDA 33402

Warranty Deed (STATUTORY FORM—SECTION 689.02 F.S.)

This Indenture, Made this 23 day of May 19 86, Between

MARTIN K. HARTWELL AND MAUREEN L. HARTWELL, his wife

of the County of _____, State of Michigan, grantor*, and

GEORGE V. FANTOZZI AND JOANN D. FANTOZZI, his wife

whose post office address is 10205 S. W. 130 Lane, Miami, Florida 33176

of the County of Dade, State of Florida, grantee*,

Witnesseth, That said grantor, for and in consideration of the sum of TEN AND NO/100 Dollars,
(\$10.00)

and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 11, of RIDGELAND, a subdivision in the Town of Sewall's Point, Florida, according to the Plat thereof, on file and of record in the Office of the Clerk of the Circuit Court, in and for Martin County, Florida, in Plat Book 8, Page 3.

SUBJECT to reservations, restrictions, easements and limitations of record, if any, and to taxes for the year 1986 and subsequent years.

JS
P12: 44

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Mary Alice Hazen
MARY ALICE HAZEN
Sandra E. Hawkins
SANDRA E. HAWKINS

Martin K. Hartwell (Seal)
MARTIN K. HARTWELL
Maureen L. Hartwell (Seal)
MAUREEN L. HARTWELL

STATE OF MICHIGAN
COUNTY OF Oakland

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared MARTIN K. HARTWELL AND MAUREEN L. HARTWELL, His wife

to me known to be the persons described in and who executed the foregoing instrument and acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 23 day of May 1986.

My commission expires:

July 12, 1987

Mary Alice Hazen
MARY ALICE HAZEN Notary Public

BOOK 676 PAGE 1861

STATE OF FLORIDA
DOCUMENTARY STAMP TAX
DEPT. OF REVENUE
340.00

MARTIN COUNTY PUBLIC HEALTH UNIT
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

HENRLIN DEINARD

AUG 0 1 1986

PERMIT NUMBER: AD86-906

NAME OF APPLICANT: JOHN J. HILL CONSTRUCTION
HERRLIN DEINARD DEV. HOME PHONE: 692-2889

MAILING ADDRESS OF APPLICANT: 736 N.W. BUCK HENDRY WAY
P.O. Box 897 STUART, FL. 334984 WORK PHONE: 287-6000

LOT 11 BLOCK N/A SUBDIVISION RIDGELAND S/D
PLAT BOOK 8 PAGE 3 DATE SUBDIVIDED DEC. 1979

RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 3
HEATED OR COOLED AREA OF HOME 2418 SQUARE FEET

COMMERCIAL: TYPE OF BUSINESS PROPOSED _____ NUMBER PEOPLE _____

AFFIDAVIT

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE:

X Linda W. Hill
Deborah M. Hill

\$50

WELL FEE IF WELL NOT INSTALLED AT TIME OF SEPTIC SYSTEM INSPECTION

INSTALLATION SPECIFICATIONS

SEPTIC TANK CAPACITY 1050 GALLONS
DRAINFIELD SIZE 400 SQUARE FEET

MINIMUM SETBACK REQUIRED FROM PROPERTY LINES TO DRAINFIELD ROCK IS 8

TOP OF SEPTIC TANK IS REQUIRED TO BE A MINIMUM ELEVATION OF FINISHED SOIL GRADE
NOT TO EXCEED 18" OF COVER OVER DRAINFIELD ROCK

THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

ISSUED BY: Daniel M. Koskowsky
ENVIRONMENTAL HEALTH SPECIALIST

DATE: 7-28-86

PLEASE NOTE:

1. THIS PERMIT EXPIRES ONE YEAR FROM DATE OF ISSUANCE.
2. IF BUILDING STUBOUT IS MORE THAN 20 FEET FROM SEPTIC TANK AND DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
3. IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
4. IF ANY INFORMATION ON THIS PERMIT CHANGES, PLEASE SUBMIT AN UPDATED APPLICATION TO THIS OFFICE.
5. IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

Inspection Results Will be Posted on Building Permit or on Electrical Box.

FINAL INSPECTION

CONSTRUCTION APPROVED BY: _____ DATE: _____
ENVIRONMENTAL HEALTH SPECIALIST

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE

MARTIN COUNTY PUBLIC HEALTH UNIT
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

SITE INFORMATION

1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? NO
2. IS THERE A PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
3. IS THERE A LIMITED USE NON-COMMUNITY OR OTHER PUBLIC WELL WITHIN 100 FEET OF PROPOSED SEPTIC SYSTEM? NO
4. IS THERE A PUBLIC WELL WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
5. IS THERE A PUBLIC SEWER WITHIN 100 FEET OF THE PROPOSED LOT? NO
6. IS THERE A LAKE, STREAM, WETLAND, OR OTHER BODY OF WATER WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
7. IS THERE A PROPOSED OR EXISTING PUBLIC WATER LINE WITHIN TEN FEET OF THE PROPOSED SEPTIC SYSTEM? NO
8. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? NO
9. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? NO
10. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
11. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
12. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDINGS OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? YES
13. THERE IS 2068 SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA.

ELEVATIONS

1. CROWN OF ROAD ELEVATION 10. SHOW LOCATION ON PLOT PLAN.
IF ROAD IS NOT PAVED, BENCHMARK ELEVATION _____ SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 10.
SHOW LOCATION ON PLOT PLAN.
3. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? _____ IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? _____ NGVD 1929 (ELEVATION OPTIONAL)

NOTE: MUST BE CERTIFIED BY REGISTERED SURVEYOR OF ENGINEER IN THE STATE OF FLORIDA.

CERTIFIED BY: Edwin [Signature]
FL. PROFESSIONAL NO: 3954
DATE: 7/22/86 JOB NO: _____

SITE DIRECTIONS

ATTACH SITE LOCATION MAP OR EXPLAIN DIRECTION TO SITE BELOW

AUG 0 1 1986

STUBOUT ELEVATION AND FILL CERTIFICATION

CONSTRUCTION CORPORATION

APPLICANT: ~~HERRLIN DEINARD DEV.~~ JOHN J. HILL CONSTRUCTION

LEGAL DESCRIPTION: LOT 11 RIDGE CREEK

SEPTIC TANK PERMIT NUMBER: HD 86-106

The items noted below must be certified by a surveyor or engineer and returned to the Health Department prior to the first plumbing inspection by the Building Department.

- 1. Building Permit Number: _____
- 2. I certify that the elevation of the top of the lowest plumbing stubout is at or above the approved elevation as shown on septic tank permit application.
Date elevation checked: _____
- 3. I certify that the top of the lowest building plumbing stubout is _____ feet above the crown of road.
- 4. I certify that all severe limited soil has been removed from an area of _____ feet by _____ feet to a minimum depth of six (6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.

Date observed: _____

- NOTE:
- a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
 - b. Drainfield must be centered in the excavated area. Please set stakes to identify the excavated area boundaries. Drainfield will not be approved if severe limited soils are not removed.

CERTIFIED BY: _____ As applicant or applicant's representative, I understand the above requirements.

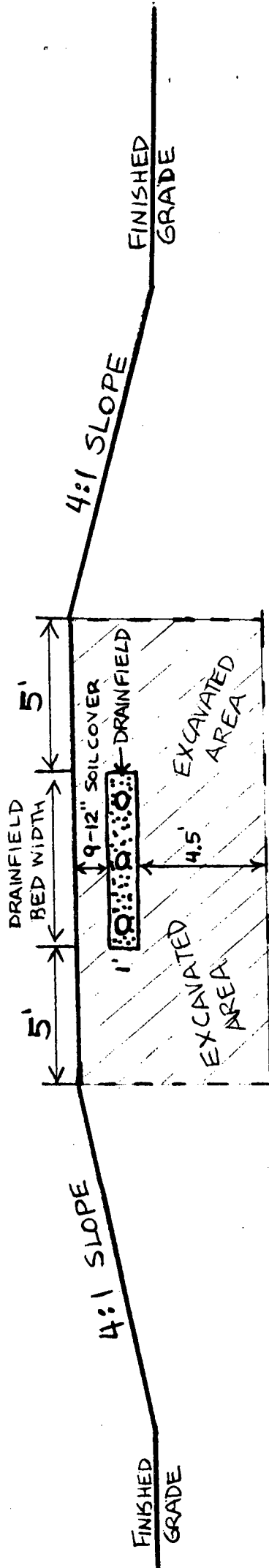
Florida Professional Number: _____
Date: _____ Job Number: _____ J.M.
(Signature)

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

(Signature of Environmental Health Specialist)

(Date)

DRAINFIELD MOUND REQUIREMENTS

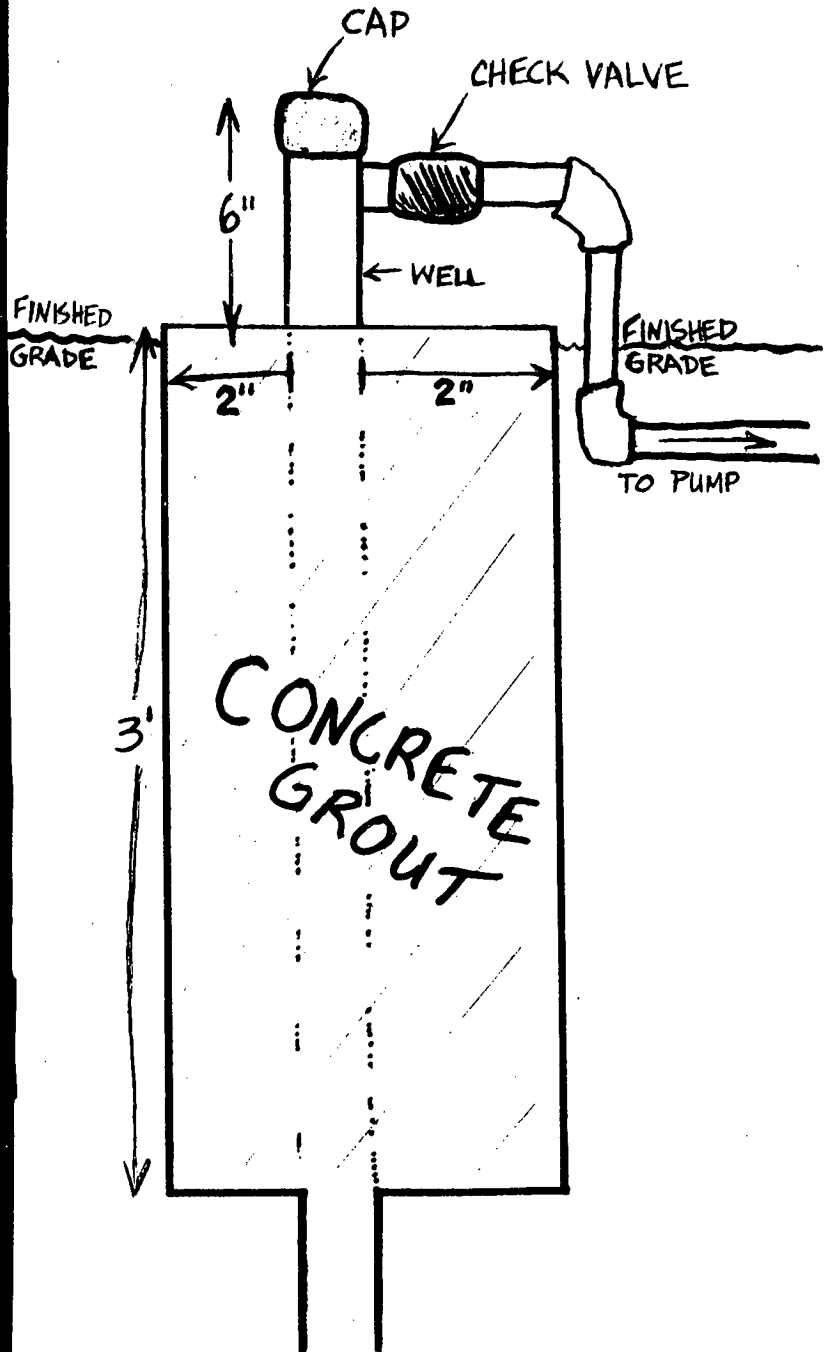


NOTE: THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL.

MMC 4/85

WELL REQUIREMENTS

NOTE: ALL WELLS MUST BE GROUTED AT LEAST 2" AROUND WELL CASING TO A DEPTH OF 3'. WELL CASING MUST EXTEND 6" ABOVE FINISHED GRADE AS SHOWN BELOW. NOTE LOCATION OF CHECK VALVE.

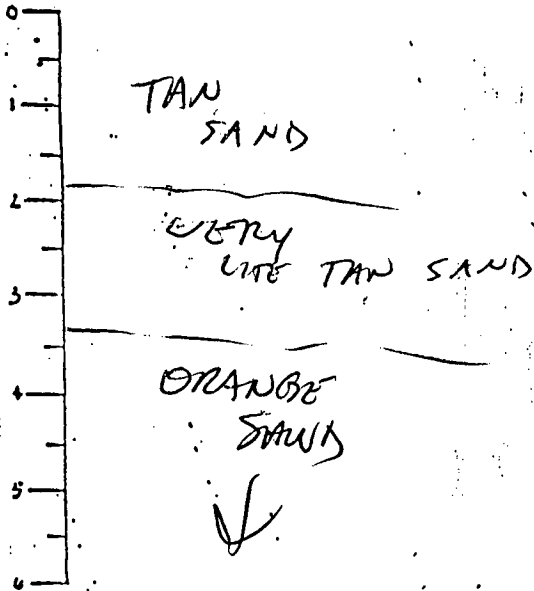


MARTIN COUNTY PUBLIC HEALTH UNIT
131 East 7th Street
Stuart, Florida 33497
287-2277

SITE EVALUATION

APPLICANT: ~~HERRIN DETIARD DEV.~~ JOHN J. HILL CONST.
LEGAL DESCRIPTION: LOT 11 RIDGE CANY S/D

SOIL PROFILE



USDA SOIL TYPE PAOLA
USDA SOIL NUMBER 4

Impervious soils are present at
>6 feet below natural grade.

PRESENT WATER DEPTH BELOW NATURAL GRADE 76 FEET.
WET SEASON RANGE PER SOIL SURVEY 76 FEET.
ESTIMATED WET SEASON WATER DEPTH BELOW NATURAL GRADE 76 FEET
INDICATOR VEGETATION PRESENT CABBAGE PALM - SCUMB Hickory
IS BENCHMARK LOCATED ON PLOT PLAN AND PRESENT ON SITE? YES
APPROXIMATE AMOUNT OF FILL ON NEIGHBORING LOTS -18"

OTHER FINDINGS:

EVALUATION BY: Daniel Markowski
DATE: 7-25-86

RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 6/10/87

This is to request that a Certificate of Approval for Occupancy be issued to Fantozzi

For property built under Permit No. 2037 Dated 11/3/86 when completed in conformance with the Approved Plans.

Item		Signed	Approved by
1. LOT STAKES/SET BACKS			
2. TERMITE PROTECTION	<u>12/20/86</u>		
3. FOOTING - SLAB	<u>12/22/86 DB</u>		
4. ROUGH PLUMBING	<u>12/19/86 DB</u>		
5. ROUGH ELECTRIC	<u>2/3/87 DB</u>		
6. LINTEL	<u>1/15/87 DB</u>		
7. ROOF			
8. FRAMING	<u>2/3/87 DB</u>		
9. INSULATION	<u>3/13/87 DB</u>		
10. A/C DUCTS	<u>2/23/87 DB</u>		
11. FINAL ELECTRIC	<u>6/10/87 DB</u>		
12. FINAL PLUMBING	<u>6/10/87 DB</u>		
13. FINAL CONSTRUCTION	<u>6/10/87 DB</u>		

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Dale Brown 4/10/87 date

Approved by Building Commissioner G.C. Strubell date

Utilities notified FPL 6/10/87 date

Original Copy sent to J. Hill

(Keep carbon copy for Town files)

Permit No. **2193**

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing 'set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner GEORGE FANTOZZI Present Address 2465 S.E. FOX LANE

Phone 288-1733 STUART, FL. 33452

Contractor LOUDEM POOLS INC. Address 4306 S. U.S. 1

Phone 286-5760 FORT PIERCE, FL. 33482

Where licensed STATE License number CPCO 11421

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: _____

SWIMMING POOL

State the street address at which the proposed structure will be built: _____

5 WORTH COURT

Subdivision RIDGECLAND Lot number 11 Block number _____

Contract price \$ 12,456 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Joann G. Fantozzi

TOWN RECORD

Date submitted _____ Approved: Dale Brown 3/20/87
Building Inspector Date

Approved: _____ Date Final Approval given: _____ Date
Commissioner Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

2037
TOWN OF SEWALL'S POINT, FLORIDA

Application for a Permit to Build a House or Commercial Building

PERMIT NO. _____

DATE 11-12-86

To obtain this permit, the following documents are necessary:

1. Florida certification of Builder and Sub-contractors.
2. Certificate of insurance from Contractor or owner builder for liability and workmen's compensation.
3. Three sets of building plans which include:
1/4" scale for building drawings, plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable.
4. Warranty deed to the property.
5. Septic tank permit and one set of plans with Health Dept. seal.
6. Energy code calculations.
7. Notorized copy of the attached affidavit which states that all Brazilian Pepper, Australian Pine, and Melaluca have been permanently removed from the property.
8. If trees other than in Item 7 are to be removed, a separate tree removal permit.
9. Designation of the Flood Control Zone in which the property is located as defined by the latest Flood Control Map. If the location is questionable, it must be certified by a licensed surveyor. If in "A" Zone, the proposed slab elevation should be specified. If in "V-13", the proposed elevation of the top of pier or piling is required.
10. A manufacturer's window schedule with symbols of sizes.

Owner George & Joann Fantozzi Present Address 2465 S.E. Fox Lane

Phone 288-1733 Stuart, Fl. 33494

General Contractor John J. Hill Construction Address 736 N.W. Buck Hendry Way

Phone 692-2889 Stuart, Fl. 33494

Where Licensed State of Florida License No. William J. McGraw #CGC024800

Plumbing Contractor Tropic Plumbing License No. _____

Electrical Contractor Clarence Evans Electric License No. _____

Roofing Contractor Stuart Roofing License No. _____

Air-Conditioning Contractor Personalized A/C License No. _____

Describe the building, or alteration to existing building _____

Single Family Residence

Name the street on which the building, its front building line and its front yard will face 5 Worth Court

Subdivision Ridgeland Lot No. 11 Area _____

Building area, inside walls 3257

Area of garage-carport-porch-square feet 1174

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 200,000.00

Cost of permit \$ _____ Plans approved as submitted _____ or, as marked

In addition, the following are understood by owner and contractor:

1. The building area inside walls is required to show conformance to the ordinance requiring a minimum of 1500 sq. ft.
2. The contract price is the expected cost of the building including all but land, carpeting, appliances and landscaping. The permit fee is calculated at \$5.00 per thousand of this. If no contract is submitted as proof, it will be based on a cost of \$60.00 per sq.ft. for inside walls; \$25.00 per sq.ft. for any other area. In addition, a \$10.00 fee for each subcontractor is included in the permit fee.
3. Before a C.O. is issued the following are necessary:
 - a. An owner's affidavit of building cost. A standard form is available. Any discrepancy between original permitfee and new fee based on affidavit will be adjusted here.
 - b. If property is in "A" flood zone, an affidavit from a licensed surveyor showing slab elevation.
If property is in "V" zone, an affidavit from a licensed surveyor showing elevation of top of piers or pilings.
In addition, certification by a qualified engineer or architect of the structural adequacy of dwelling. Elevation is distance above mean sea level. A standard affidavit form is available.
 - c. Rough grading and clean-up of grounds.
 - d. Approval by the Health Dept. of Septic installation.
4. The South Florida Building Code latest revision is part of the Town's ordinance.
5. Building permits are issued for 1 year's duration. If construction takes longer, a full year's renewal fee is required. Construction must be started within 180 days of issuance or the permit is subject to revocation with the forfeiture of fee.
6. Any changes in plan must be approved by the Building Inspector.
7. Work hours are from 8:00 AM to 5:00 PM Monday through Saturday.
8. Portable toilet must be provided.
9. The grounds should be policed each day to clean up trash and scrap building material. A dumpster should be provided to contain these.
10. Inspections are performed from Monday through Friday from 8:00 AM to Noon. Twenty-four hours notice is required.
11. To facilitate set-back inspection at the start of the project, lines shall be strung along the property lines of the lot.
12. Within 90 days after a C.O. is issued, the grounds must be landscaped to be compatible with the neighborhood.
13. THIS SUMMARY IS NOT A SUBSTITUTE FOR TOWN ORDNANCES. APPROVAL OF THE BUILDING PLANS IN NO WAY RELIEVES THE OWNER OR BUILDER FROM COMPLIANCE WITH TOWN ORDNANCES.

Signed Contractor *John J. Hill*

Owner *Dean Fantozzi*

Approved by Building Inspector *Dale Brown*

Approved by Commissioner *J. C. Strubell*

Certificate of Occupancy issued *Dale Brown*

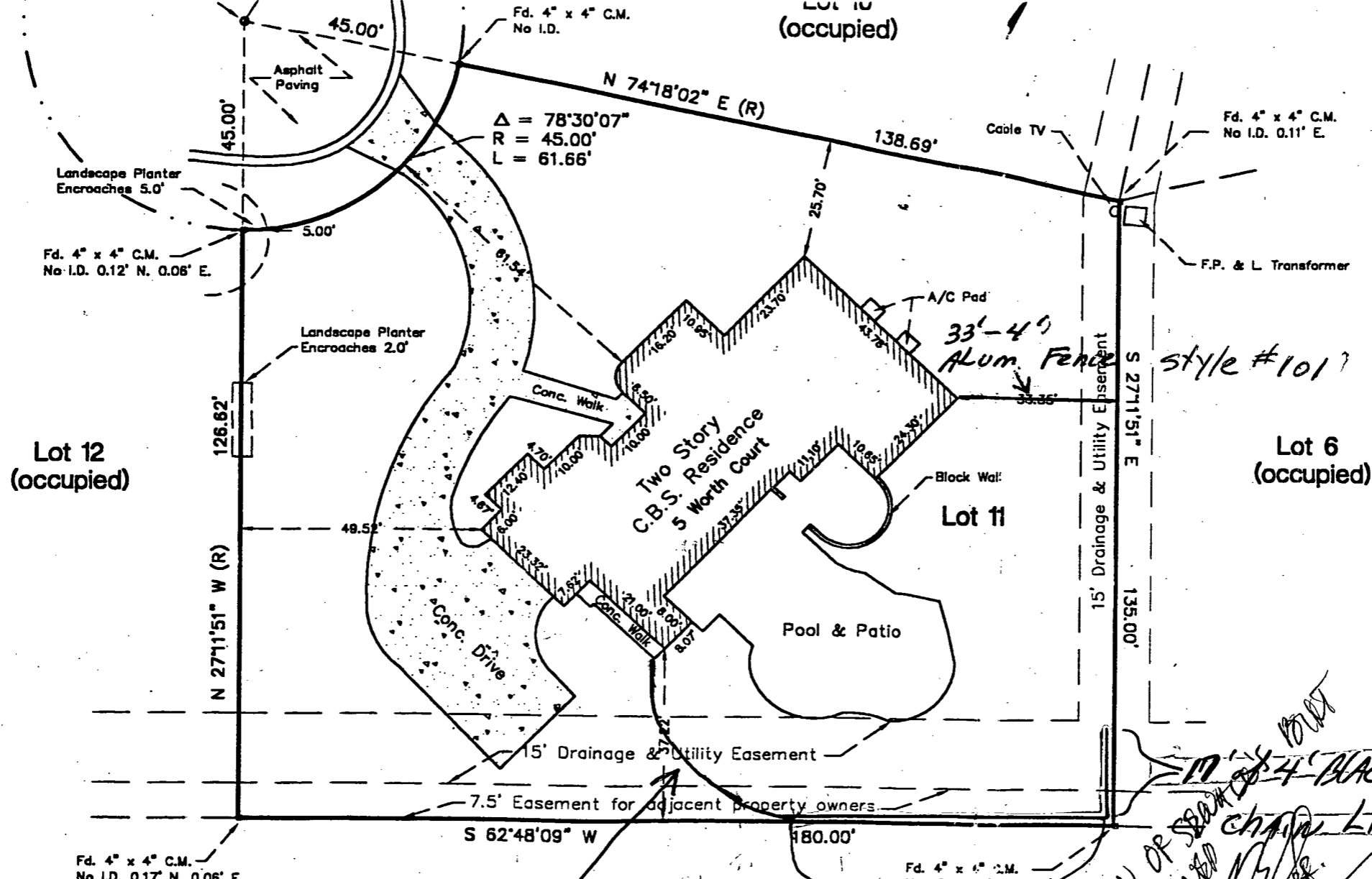
Date *12/2/86*

Date *12/2/86*

Date *6/10/87*

25

$$\begin{array}{r}
 33 \\
 60 \\
 \hline
 1980
 \end{array}
 \qquad
 \begin{array}{r}
 12 \\
 50 \\
 25 \\
 \hline
 300
 \end{array}$$



Fd. — Found
 R/W — Right-of-way line
 PCP — Permanent Control Point
 CM — Concrete Monument
 PP — Power Pole
 (C) — Calculated Data
 ORB — Official Records Book
 ID — Identification Number

General

1. The bearings shown hereon are referred to a bearing of N 4°00'00" E, according to the certificate.
2. All above ground fixed improvements, including but not limited to, fences, walls, and structures, are shown as they exist on the date of this survey.
3. Underground utilities and utility services are shown as they exist on the date of this survey.
4. Flood Note: By graphic plotting only, Insurance Rate Map, Community Panel 1978 (revised 6/16/32). The exact date of certificate.

Certificate

(Not valid unless sealed with the seal of the Surveyor)

I HEREBY CERTIFY to Anne [Name] that the survey hereon was completed under my direction and is true and correct to the best of my knowledge and belief, and that the same is in accordance with the standards and practices of the Surveying Profession in Florida.

I FURTHER CERTIFY that this survey was made in accordance with the Standards as set forth by the Florida Board of Professional Engineers, Chapter 472.027, Florida State Statutes. No search of the records of the Surveying Board was made. This survey is based on information furnished to me by the client and is not a representation of the Surveyor.

Date of Signature: 4/27/99
 Signature: [Signature]
 Richard W. Bussell, Inc.
 Professional Surveyor
 State of Florida

45' of 4' Alum. Fencing style #101 5 Worth Ct
 Lucindia (P.B. 3, Pg. 130, M.C.)

65'-4" BLACK CHAIN LINK
 TOWN OF SEASIDE REVISOR 7/19/99 PLUG OFF. TOWN COPY

Richard W. Bussell, Inc.
 Survey Sciences, Mapping & Consulting
 1320 S. Federal Highway, Suite 101
 Stuart, Florida 34994
 Phone (888) 220-3360 Fax (888) 220-2317

A Fence to Fit Every Need

There are ten standard Jerith fence styles available in three colors and five heights. This variety assures that there will be a combination to enhance the beauty of your home, pool or yard.

#101 - This traditional wrought iron design has its points even across the top.

#100 - Modification of Style #101 with staggered picket tops for something a little more distinct.

#111 - This version of Style #101 is built to accept Imperial or Majestic finials on the pickets instead of the standard spear points. (See Page 7 for information about finials.)

#301 - Similar to Style #101 but with a 1⁵/₈" space between pickets. This fence will keep most pets in your yard. The narrow spacing also makes it difficult for children to obtain a foothold on the fence.

#202 - A classic design with a smooth rail on top rather than points. Also available in a 54" height which is modified slightly so the pickets do not extend through the bottom rail to meet certain pool codes without installing a 5' high fence.

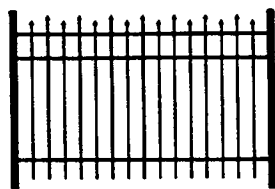
#200 - Variation of Style #202 which combines the safety of a top rail with traditional spear points below. A modified 54" version is available in this style too.

#302 - Smooth top version of #301 for those who do not want exposed points on their fence, but want the added security of a narrow space between pickets.

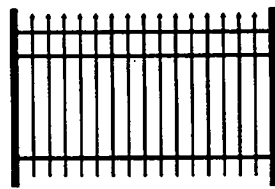
Lexington - This distinguished wrought iron design has elegant curves connecting the pickets. Available with standard points or finials centered in the arch.

Concord - Similar to the Lexington, but with pickets between each arch, as well as inside. Pickets may have either standard points or finials.

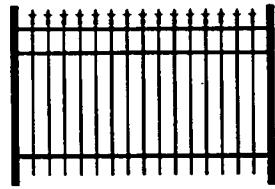
Ovation - This two rail fence has a simple design that was specifically created to meet the swimming pool enclosure code drafted by the U.S. Consumer Product Safety Commission. (See Page 10 for more information about pool codes.)



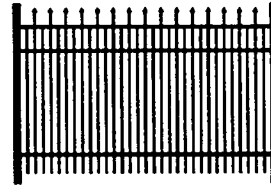
#100



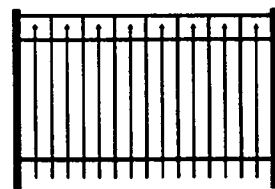
#101



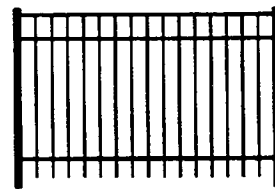
#111 with Majestic Finials



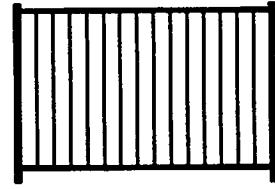
#301



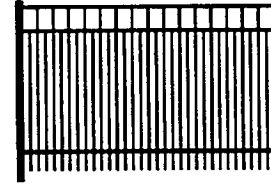
#200



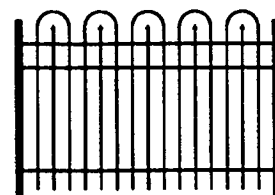
#202



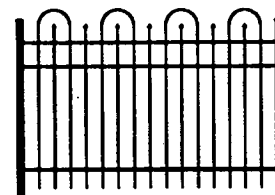
Ovation



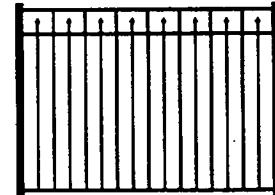
#302



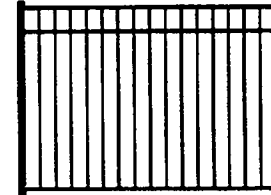
Lexington



Concord



Modified #200



Modified #202



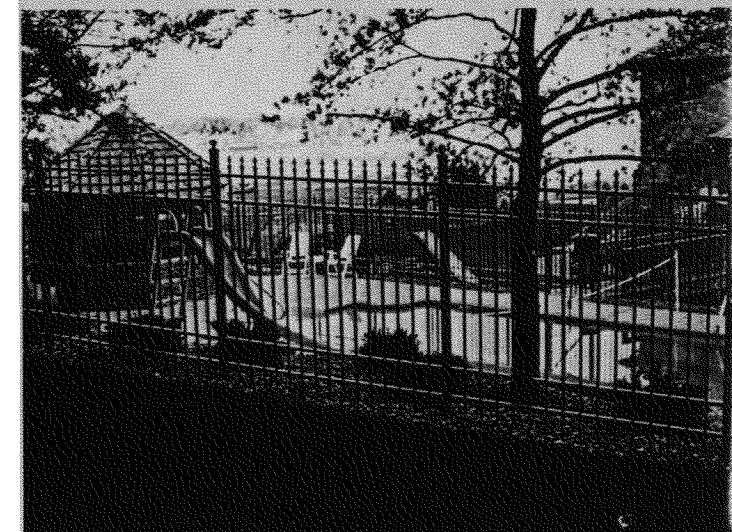
Majestic Finials



Majestic Finials



Style #202 with SS-

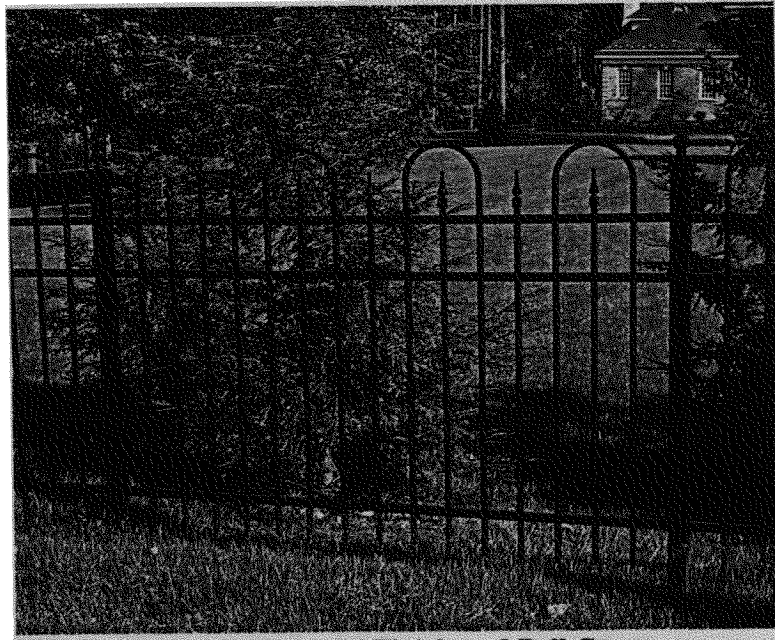


Style #111 with Majestic Finials

(Note: All standard styles except Lexington, Concord and Ovation are also available in Industrial Strength.)



Standard Jerith Gate Latch



Concord Style with Imperial Finials and Ball Caps



Style #202

**Jerith vs. the Competition:
Check It Out for Yourself!**

Component Sizes	Residential Strength	Ovation	Industrial Strength
Pickets	5/8" sq. x .050" thick	3/4" sq. x .050" thick	1" sq. x .062" thick
Rails:			
Top Wall	1" x .055" thick	1" x .055" thick	1 5/8" x .070" thick
Side Walls	1" x .082" thick	1 1/2" x .082" thick	1 5/8" x .100" thick
Standard Posts	2" sq. x .060" thick	2" sq. x .060" thick	2 1/2" sq. x .075" thick
Gate Posts	2" sq. x .125" thick 4" sq. x .125" thick	2" sq. x .125" thick	4" sq. x .125" thick 6" sq. x .125" thick
Spacing Between Pickets	3 13/16" (1 5/8" for #301, #302)	3 31/32"	4" (1 1/2" for #301, #302)
Post Spacing	72 1/2" on center	72" on center	71 1/2" on center
Heights Available *	36", 42", 48", 60", 72"	48"	48", 60", 72", 84", 96"
Standard Colors	Black, White, Bronze	Black, White, Bronze	Black, White, Bronze
Weight Supported	350+ lbs. per section	350+ lbs. per section	1,000+ lbs. per section

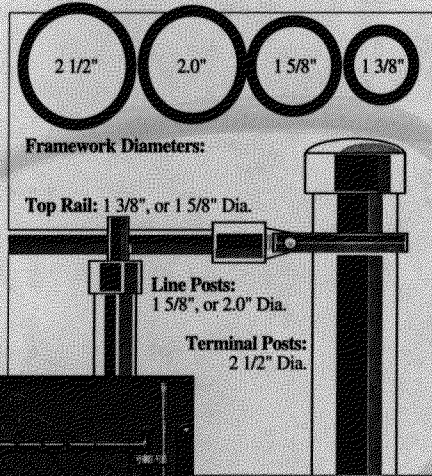
* Residential fence is also available in a 54" height as a modified Style #200 and #202.

	A	B	C	D	<i>Jerith</i>	E	F	G	H
25+ Years Experience in the Fence Industry with Aluminum Ornamental					✓				
Welded Gates Capable of Supporting 300 lbs.					✓				
25,000 psi Yield Strength for Pickets					✓				
Coating Passes 3 Year Florida Fade Test					✓	✓			
Polyester Powder Coating with 2H Hardness & 2 Mil Thickness					✓	✓			✓
Cast Aluminum Accessories Only				✓	✓	✓	✓		
35,000 psi Yield Strength for Posts				✓	✓	✓	✓	✓	✓
35,000 psi Yield Strength for Rails			✓	✓	✓	✓		✓	✓
Lifetime Warranty		✓	✓	✓	✓		✓	✓	
Fabricated with Stainless Steel Screws	✓	✓	✓	✓	✓		✓		✓
All Posts and Sections Completely Assembled	✓	✓	✓	✓	✓	✓	✓		✓
Winner of the American Business Ethics Award					✓				

Note: Data in this chart is based upon other manufacturers' 1995 literature.

Framework:
Selecting what's right for you.

Southeastern offers fence framework with outstanding anti-corrosion properties. Your Southeastern Dealer can help you select the framework and the fabric that's best for you.



Portable Dog-Run:

Modular Dog-Runs are constructed from, strong, long lasting, galvanized framework and fabric. The Dog-Run is easy to assemble, no special tools are required.

Portable Dog-Runs are available in many sizes. A typical Dog-Run will consist of three (3) prefabricated side panels and one (1) prefabricated gate panel. The most popular sizes are as follows:

Height	Width	Length
6'	6'	8', 10', & 12'

Standard runs are constructed with galvanized framework and fabric; however vinyl coated fabric is optional.

Strength factors:	Fabric Wire Ga.	Diamond Size	Framework (Wall Size)	
			Wall Thickness	Diameter
Medium	11 1/2	2 3/8"	.047	1 3/8"
Strong	11 1/2	2 3/8"	.055	1 3/8"
Heavy Duty	9	2"	.065	1 3/8"

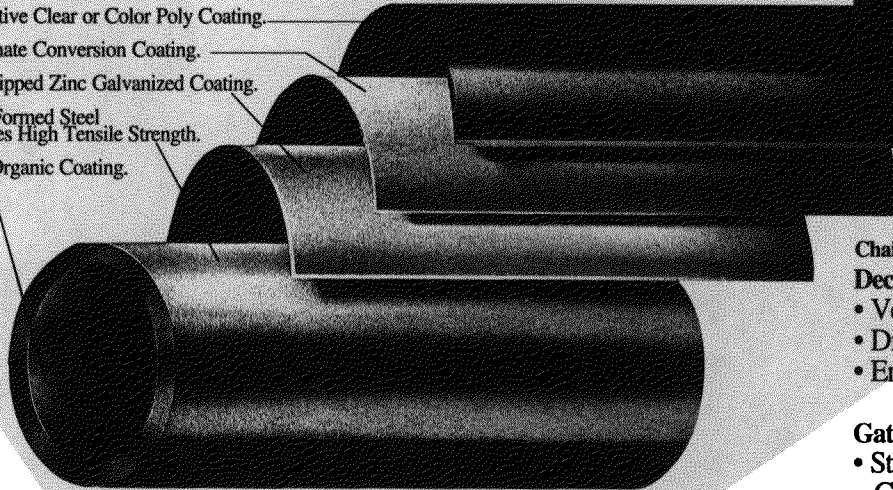
Standard Gate Openings:

Walk	Driveway
36", 42", 48"	10', 12', 14'

C. Spectra

The Framework:

1. Protective Clear or Color Poly Coating.
2. Chromate Conversion Coating.
3. Hot-Dipped Zinc Galvanized Coating.
4. Cold Formed Steel Provides High Tensile Strength.
5. Zinc Organic Coating.



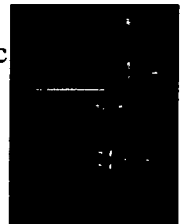
Chain Link Fence Accessories:

Decorative Privacy Screening:

- Vertical Privacy Slats
- Diagonal Aluminum Lattice
- Enviroscreen Fabric Screen

Gate Closers & Latches:

- Sta-Klos Automatic Gate Closer
- Auto-Latch Automatic Gate Latch
- Quick-Lock Gate Locking Device

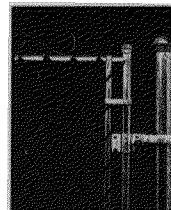


Auto-Latch

STANLEY

Automatic Gate Opener

From the same manufacturer of quality American built garage door openers.

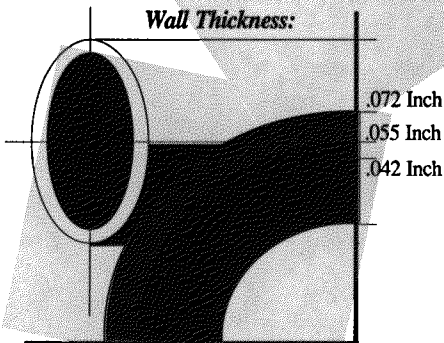


Your local Southeastern dealer can assist you in making the right selections.

Quick-Lock Gate Locking Device with Key.

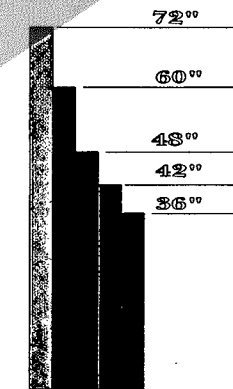
Framework:

Select framework from heavy duty to light duty to fit your needs.



Fence Heights:

Select the fence height to suit your needs. 72", 60", 48", 42", or 36".





Materials:

by: **Southeastern Wire**

Chain Link Fencing:

One of the most popular types of fencing is chain link fencing. This fence is an excellent boundary marker and provides security, while also being one of the most economical types of fence systems. There are three (3) types of chain link fence systems manufactured by Southeastern Wire. Each is a product ideally suited for specific applications.

Galaxy™

A. Galaxy.

Basic galvanized chain link fabric installed on galvanized framework. This is the most economical system. It offers a good combination of durability and economic value.

B. Galaxy-Plus. Vinyl coated over galvanized steel chain link fabric installed on galvanized framework. Standard fabric colors are green, brown, black and white. This system offers some additional corrosion protection and color softening qualities to your landscaping, while increasing your cost only moderately.

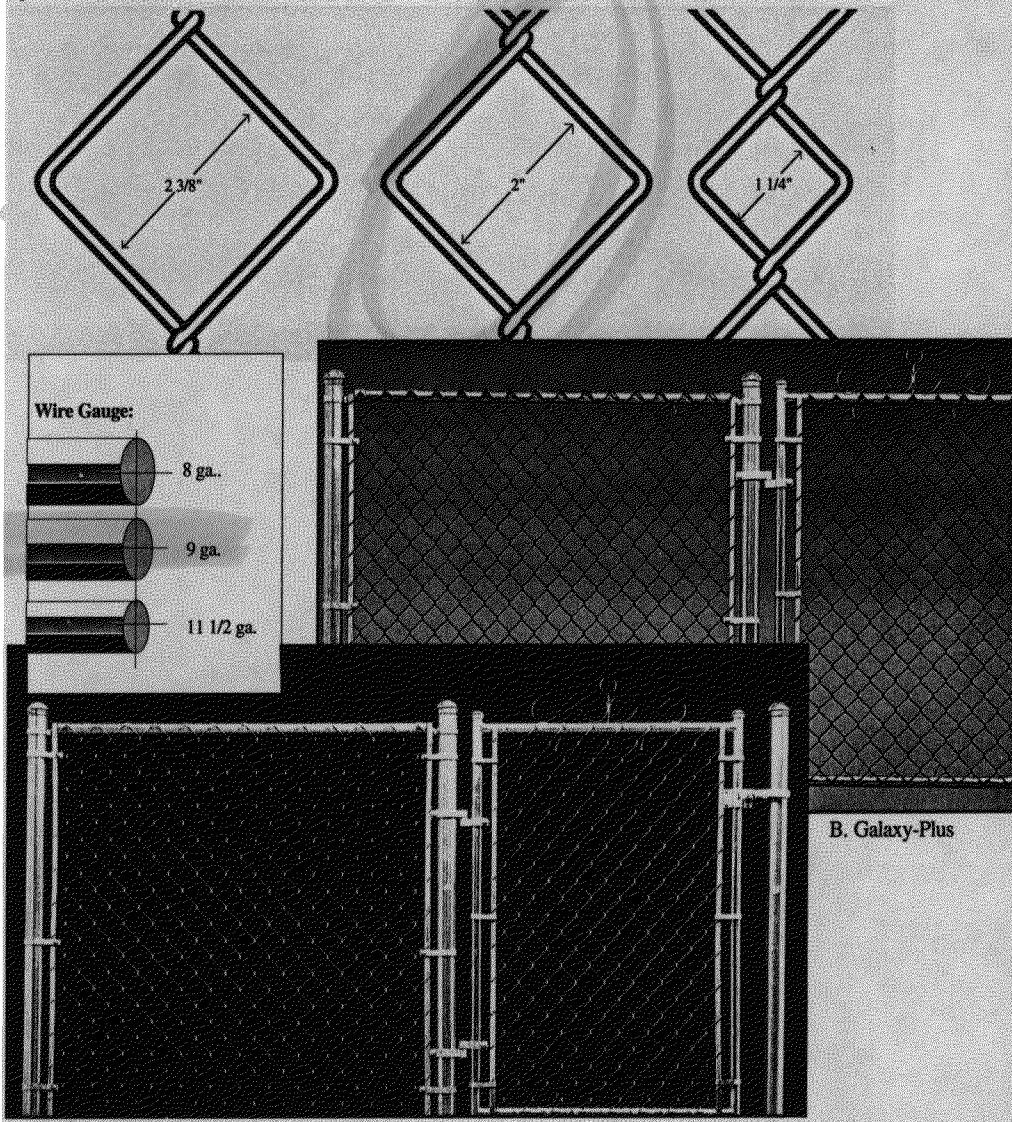
SPECTRA™

C. Spectra. This is a complete poly-coated color fence system which increases the durability and service life of the fence system while enhancing the beauty of the surrounding landscape. This is a premium product and will cost more money. The Spectra System features a tough durable poly-coating of black, forest green or brown. It is thermally extruded, bonded, or electrostatically applied to all galvanized steel or aluminum components of the system including the fabric, the framework and the fittings. This smooth, rich, glossy coating resists the most severe weather conditions.

Chain Link Fabric:

Fabric is available from 11 1/2 gauge to 8 gauge material. Diamond sizes range from 2 3/8" to 1". The smaller the gauge number and the smaller the diamond, the stronger the fence system.

Unless privacy slats (fence fillers) are utilized, the U. S. Consumer Products Safety Commission has recommended 1 1/4" maximum (childguard) diamonds for swimming pool areas. Many localities now require these specifications.



Chain Link Fence Systems by Strength Factor:

A. Galaxy- Galvanized Chain Link Systems						
Strength factors	Wire Ga.	Diamond Size	Framework (Wall Thickness)			
			Term Post	Line Post	Top Rail	
Medium	11 1/2	2 3/8"	.047	.047	.042	
Strong	11 1/2	2 3/8"	.055	.055	.047	
Heavy Duty	9	2"	.076	.072	.055	

B. Galaxy-Plus. Galvanized Framework with Vinyl Coated Chain Link Fabric.						
Strength factors	Wire Ga.	Diamond Size	Framework (Wall Thickness)			
			Term Post	Line Post	Top Rail	
Medium	9	2"	.055	.055	.047	
Strong	9	2"	.065	.065	.055	
Heavy Duty	8 or 9	2"	.076	.072	.055	

C. Spectra . Color Poly-Coated Chain Link Fence System.						
Strength factors	Wire Ga.	Diamond Size	Framework (Wall Thickness)			
			Term Post	Line Post	Top Rail	
Medium	9	2"	.065	.065	.055	
Strong	9	2"	.072	.072	.055	
Heavy Duty	8	2"	.072	.072	.055	

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

BUILDING PERMIT NO. 4644

Date 7/9/99

Building to be erected for ANNE MORRIS Type of Permit FENCE

Applied for by TREASURE COAST FENCE (Contractor) Building Fee 30.00

Subdivision RIDGELAND Lot 11 Block _____ Radon Fee _____

Address 5 WORTH CT. Impact Fee _____

Type of structure S.F.R. A/C Fee _____

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Parcel Control Number: _____

Amount Paid \$ 30.00 Check # 0646 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 2,400.00 TOTAL Fees \$30.00

Signed [Signature]
Applicant

Signed [Signature] bcng off.
Town Building Inspector

FENCE PERMIT

INSPECTIONS

SETBACKS
FOOTINGS

DATE _____
DATE _____

HEIGHT
FINAL

DATE _____
DATE 7/9/99
7/23/99

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS - 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

- New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4595	105 Hillcrest Ct	FRAME All	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4580	23 Castle Hill Way	INSULATION	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4511	33 N. River Rd	All Trades	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4613	8 Palm Ct	BEAM		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4635	46 S. Sewall's Pt Rd	Roof	OK	No PERMIT on site FOUND PERMIT
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4644	5 Worth Ct	FENCE FINAL		OK
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4636	38 E. Hi Pt	Dock FINAL	OK	

OTHER: _____

INSPECTOR: _____

R L Moore

RECEIVED
DATE: JUL 23 '99

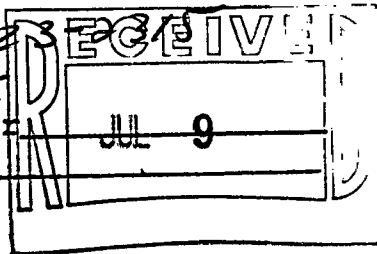
Bldg. Pmt# 4644
7/9/99

Town of Sewall's Point

Date 7/9/99

BUILDING PERMIT APPLICATION

Owner's Name: ANNE MORRIS Phone No. 223
Owner's Present Address: 5 WORTH CT., SEWALLS PT.
Fee Simple Titleholder's Name & Address if other than owner _____



Location of Job Site: 5 WORTH CT., SEWALLS PT.
TYPE OF WORK TO BE DONE: fencing

CONTRACTOR INFORMATION
Contractor/Company Name: TREASURE COAST FENCE Phone No. 286-6694
COMPLETE MAILING ADDRESS: 2340 SW DEEPWOOD PASS PALM CITY, FLA
State Registration _____ State License SP01861
Legal Description of Property Lot 11 Ridgeland BOOK 8 PAGE 3
Parcel Number 01 38 41 011 000 001 106 00

~~ARCHITECT/ENGINEER INFORMATION~~
~~Architect _____ Phone No. _____~~
~~Address _____~~
~~Engineer _____ Phone No. _____~~
~~Address _____~~
~~Area Square Footage: Living Area _____ Garage Area _____ Carport _____~~
~~Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____~~
~~Type Sewage: _____ Septic Tank Permit # from Health Dept. _____~~
~~NEW electrical SERVICE SIZE _____ AMPS~~

~~FLOOD HAZARD INFORMATION~~
~~flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD~~
~~proposed finish floor elevation _____ #NGVD (minimum 1 foot above BFE)~~
~~Cost of construction or Improvement \$2400.00~~
~~Fair Market Value (FMV) prior to improvement _____~~
~~Substantial Improvement 50% of FMV yes _____ No _____~~
~~Method of determining FMV _____~~

~~SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)~~
~~Electrical _____ State License _____~~
~~Mechanical _____ State License# _____~~
~~Plumbing _____ State License# _____~~
~~Roofing _____ State License# _____~~

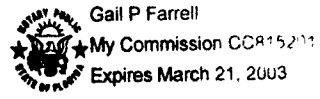
Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE Gary A. Kasperowski
Sworn to and subscribed before me this 9th day of July, 1999 by GARY KASPERAWSKI who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.
CONTRACTOR SIGNATURE Gary A. Kasperowski
Sworn to and subscribed before me this 8th day of July, 1999 by GARY KASPERAWSKI who is personally known to me or has produced _____ and who did (did not) take an oath.

Gail P. Farrell
Notary



TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____

Specimen tree removed _____ Fee _____ Authorized/Date _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE:

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's, or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

DO NOT REMOVE UNTIL JOB IS COMPLETED

OWNER George Fantozzi
CONTRACTOR J. Hill
LOT 11 BLOCK _____ SUB Redland
NO. _____ St. or Ave. _____

NO. 2037 Date Issued 11/3/86

Call 287-2455 From 8:00 A.M. - 12:00 Noon and
1:00 P.M. - 4:00 P.M. For Inspections of Items 1 thru 13.

TOWN OF SEWALL'S POINT BUILDING PERMIT

- * REQUESTS FOR INSPECTIONS REQUIRE AT LEAST 24 HOURS NOTICE.
- * ALL WORK MUST BE IN COMPLIANCE WITH THE TOWN OF SEWALL'S POINT ORDINANCES, THE SOUTH FLORIDA BUILDING CODE, THE STATE OF FLORIDA ENERGY EFFICIENCY BUILDING CODE AND ELEVATIONS BASED ON THE LATEST FLOOD INSURANCE RATE MAP.
- * WORKING HOURS ARE FROM 8:00 to 5:00 P.M. MONDAY THRU SATURDAY. PORTABLE TOILET FACILITIES MUST BE ON JOB SITE BEFORE INITIAL INSPECTION.

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
1. LOT STAKES/SET BACKS		
2. TERMITE PROTECTION	<i>ABSOLUTE PEST CONTROL 12/20/86</i>	<i>[Signature]</i>
3. FOOTING - SLAB	<i>OK 12/22/86</i>	<i>DB</i>
4. ROUGH PLUMBING	<i>OK 12/19/86</i>	<i>DB</i>
5. ROUGH ELECTRIC	<i>OK 2/23/87</i>	<i>DB</i>
6. LINTEL	<i>OK 1/15/87</i>	<i>DB</i>
7. ROOF		
8. FRAMING	<i>OK 2/23/87</i>	<i>DB</i>
9. INSULATION	<i>OK 3/13/87</i>	<i>DB</i>
10. A/C DUCTS	<i>OK 2/23/87</i>	<i>DB</i>
11. FINAL ELECTRIC		
12. FINAL PLUMBING		
13. FINAL CONSTRUCTION		

TO CONSTRUCT New Home

REMARKS:

MARTIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY
KASPEROWSKI, GARY A
TREASURE COAST FENCE
2340 SW DEEPWOOD PASS
PALM CITY, FL 34990

EXPIRES SEPTEMBER 30, 19 99

AUDIT CONTROL NUMBER	34047	CERTIFICATE NUMBER	SP01861
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MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Tamko Roofing Products
220 West Fourth Street,

Joplin MO 64801

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

SBS Modified Roll Roofing

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 99-0604.05

Expires: 07/22/2002

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

1 of 21

Handwritten notes:
Town of Gainesville
Town of...
220 West Fourth Street

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

Approved: 07/22/1999

PN 4675



**PRODUCT CONTROL NOTICE OF ACCEPTANCE
ROOFING SYSTEM APPROVAL**

Applicant:
Tamko Roofing Products, Inc.
 220 West Fourth Street
 P.O. Box 1404
 Joplin, MO 64801

Product Control No.: 99-0604.05

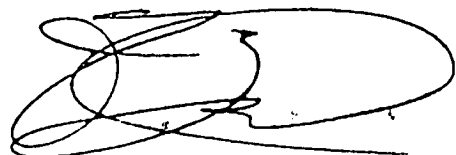
Approval Date: 07/22/1999

Expiration Date: 07/22/2002

Category: Membrane Roofing System
Sub-Category: Built-Up Roofing
Type: Modified Bitumen
Sub-Type: SBS/APP

**TRADE NAMES OF PRODUCTS MANUFACTURED OR
LABELED BY APPLICANT**

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Awaplan 170 FR	Roll weight: 98 lbs.; 33' 11" x 39 3/8"	ASTM D 5147	A 180 g/m ² polyester reinforced SBS modified bitumen membrane surfaced with granules and treated for additional fire resistance. Applied in hot asphalt or cold adhesive.
Awaplan 170™	Roll weight: 98 lbs.; 33' 11" x 39 3/8"	ASTM D 5147	A 180 g/m ² polyester reinforced SBS modified bitumen membrane surfaced with granules. Applied in hot asphalt or cold adhesive.
Awaplan Heat Welding™	Roll weight: 96 lbs.; 25' 5" x 39 3/8"	ASTM D 5147	A 250 g/m ² polyester reinforced SBS modified bitumen membrane surfaced with granules. Applied by torch and also used as a walkway material.
Awaplan Premium FR™	Roll weight: 101 lbs.; 33' 11" x 39 3/8"	ASTM D 5147	A 250 g/m ² polyester reinforced modified bitumen membrane surfaced with granules. Applied by hot asphalt and also used as a walkway material.
Awaplan Premium™	Roll weight: 101 lbs.; 33' 11" x 39 3/8"	ASTM D 5147	A 250 g/m ² polyester reinforced SBS modified bitumen membrane surfaced with granules. Applied in hot asphalt or cold adhesive, and also used as a walkway material.



Frank Zuloaga, RRC
 Roofing Product Control Examiner

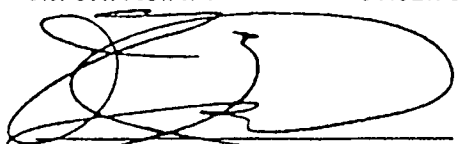
<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Awaflex	Roll weight: 76 lbs; 35.9' x 36"	ASTM D 5147	SBS modified cap sheet constructed with a 155gm/m ² non- woven polyester mat saturated with asphalt, coated on both sides with SBS rubber modified asphalt and surfaced with ceramic granules for UV protection.
Awaflex FR	Roll weight: 76 lbs; 35.9' x 36"	ASTM D 5147	SBS FR modified cap sheet constructed with a 155gm/m ² non- woven polyester mat saturated with asphalt, coated on both sides with SBS rubber modified asphalt, FR treated, and surfaced with ceramic granules for UV protection.
Awaplan Versa-Smooth	Roll weight: 100 lbs. 33' 11" x 39 ³ / ₈ "	ASTM D 5147	A 180 g/m ² polyester reinforced SBS modified bitumen membrane. Applied in hot asphalt, by torch, or mechanically fastened, as a base ply in 2 ply modified systems.
Awaplan Versa-Flex	Roll weight: 76 lbs; 33' 11" x 39-3/8"	ASTM D 5147	A 190 g/m ² nonwoven polyester reinforced SBS modified bitumen membrane. Applied in hot asphalt, as a base ply in 2 ply modified systems.
Base-N-Ply®	Roll weight: 72 lbs.; 108' x 36"	ASTM D 4601	Type II asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Glass-Base™	Roll weight: 72 lbs.; 108' x 36";	ASTM D 4601	Type II asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Tam-Cap™	Roll weight: 83 lbs.; 36' x 36"	ASTM D 228 Type I	Asphalt impregnated and coated felt surfaced with mineral granules used as the top ply in conventional built-up roof membranes.
Tam-Glass Premium™	Roll weight: 53 lbs.; 180' x 36"	ASTM D 2178 Type VI	Type VI asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.
Tam-Ply IV™	Roll weight: 44 lbs.; 180' x 36"	ASTM D 2178 Type IV	Type IV asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.
Type 43 Base Sheet	Roll weight: 85 lbs.; 72' x 36"	ASTM D 2626	An organic felt reinforced asphalt base sheet. Applied in hot asphalt or mechanically fastened.



<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Vapor-Chan™	Roll weight: 86 lbs.; 36' x 36"	ASTM D 4897	Heavy duty fiber glass base sheet impregnated and coated on both sides with asphalt with or without a fine mineral stabilizer. Surfaced on the bottom side with coarse mineral granules embedded in hot asphaltic coating.
Versa Flash 160	Roll weight: 89 lbs; 33'4" x 36"	ASTM D 5147	Flashing material reinforced with 180 g/m ² polyester mat saturated with asphalt and coated on both sides with Kraton SBS rubber modified asphalt; surfaced with ceramic granules for protection from ultraviolet degradation.
Versa-Base FR™	Roll weight: 60 lbs.; 54' x 36"	ASTM D 5147	Asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Versa-Base™	Roll weight: 94 lbs.; 54' x 36"	ASTM D 5147	Asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Versa-Cap FR™	Roll weight: 87 lbs.; 36' 4" x 36"	ASTM D 5147	A fiberglass reinforced, mineral surfaced, SBS modified bitumen top membrane.
Tam-Pro Fibered Emulsion	5 gallon	ASTM D 1227, type IV	Protective coating.
Tam-Pro Primer	5 gallon	ASTM D 41	Asphalt based primer
Tam-Pro Fire Rated Fibered Aluminum Roof oating	5 gallons	ASTM D2824, type III	Flame retardant protective coating

EVIDENCE SUBMITTED

<u>Test Agency/Identifier</u>	<u>Name</u>	<u>Report</u>	<u>Date</u>
Factory Mutual Research Corporation	Class I Fire; I-90 Windstorm Classification	J.I. 0Q8A7.AM	10.04.90
	Class I Fire; I-90 Windstorm Classification	J.I. 1K2A9.AM	11.27.85
	Class I Fire; I-90 Windstorm Classification	J.I. 0F0A7.AM	07.08.81
	Class I Fire; I-90 Windstorm Classification	J.I. 1X1A5.AM	07.19.93
	Class I Fire; I-90 Windstorm Classification	J.I. 2TOA2.AM	01.21.91
	Class I Fire; I-90 Windstorm Classification	J.I. 0R9A6.AM	01.02.90


 Frank Zuloaga, RRC
 Roofing Product Control Examiner

<u>Test Agency/Identifier</u>	<u>Name</u>	<u>Report</u>	<u>Date</u>
	Comparative Rupture Testing	J.I. 4D0A7.AM	10.21.98
	Class 1 Fire	J.I. 0Z4A3.AM	08.27.97
	Class 1 Fire; 1-90 Windstorm	J.I. 1D4A7.AM	10.20.97
	Classification		
	Class 1 Fire; 1-90 Windstorm	J.I. 3B5A9.AM	08.27.97
	Classification		
Southern Building Code Congress International	Wind Uplift and Fire Classification	#8318	03.10.83
Tamko Letter	Certified Physical Property Data		07.13.81
Underwriters Laboratories, Inc.	Fire Classification -- see current directory	R3225	Published Annually
	Wind Uplift Resistance	R3225-1 through 13	02.17.94
Dynatech Engineering Corporation	Wind Uplift Testing	4440.05.95-2	05.01.95
	Wind Uplift Testing	4440.05.95-1	05.01.95
Exterior Research & Design, LLC.	Wind Uplift Testing	4444.06.98-1	06.15.98



SYSTEMS

- Deck Type II:** Wood, Insulated, New Construction
- Deck Description:** 19/32" or greater plywood or wood plank
- System Type A:** Anchor sheet mechanically fastened; all layers of insulation adhered with approved asphalt.

All General and System Limitations apply.

Anchor Sheet: One ply of Tamko Glass-Base, Vapor-Chan or Base-N-Ply fastened to the deck as described below:

Fastening: *(Option #1)* Attach anchor sheet using 11 ga. annular ring shank nails and 1-5/8" diameter tin caps spaced 9" o.c. in a 4" lap and 9" o.c. in two staggered rows in the center of the sheet. *(-52.5 psf, See General Limitation #7.)*

(Option #2) Attach anchor sheet using CF Dekfast or #14 Dekfast Fasteners with CF Hex Plates, SFS #12 or HD Insulfixx S, or Buildex Accutrax Fasteners and 3" Square Plates spaced 12" o.c. in a 4" lap and 12" o.c. in two staggered rows in the center of the sheet. *(-60.0 psf, See General Limitation #7.)*

<u>Insulation Base Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
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One or more layers of any of the following insulations:

Approved Type(s): **ACFoam II**
 Minimum: 3' x 4' x 1.2" N/A N/A N/A N/A

Approved Type(s): **E"NRG"Y-2, PSI-25**
 Minimum: 3' x 4' x 1.4" N/A N/A N/A N/A

Approved Type(s): **UltraGard Gold**
 Minimum: 3' x 4' x 1.3" N/A N/A N/A N/A

<u>Insulation Base or Top Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
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Approved Type(s): **Celotherm, ConPerl, GAFTEMP Permalite, Fesco Board**
 Minimum: 2' x 4' x 3/4" N/A N/A N/A N/A

Approved Type(s): **High Density Wood Fiberboard, Structodek FS**
 Minimum: 2' x 4' x 1/2" N/A N/A N/A N/A



Note: All insulation shall be adhered to the anchor sheet in full moppings of approved hot asphalt within the EVT range and at a rate of 20-40 lbs. Please refer to Miami-Dade County Roofing Application Standard RAS 117 for insulation attachment. Insulations listed as base layer only shall be used only as base layers with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side facing down.

- Base Sheet:** One ply of Tam-Ply IV, Tam-Glass Premium, Glass-Base, Base-N-Ply, Versa-Base, Versa-Smooth, Awaplan VersaFlex, or Vapor-Chan adhered to the substrate with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.
- Ply Sheet:** (Optional) One, two, three or four plies of Tam-Glass Premium, Tam-Ply IV, Base-N-Ply, Awaplan VersaFlex, or Versa-Base adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq..
- Membrane:** Awaplan Premium, Awaplan Premium FR, Awaplan 170, Awaflex, Awaflex FR., Awaplan 170 FR, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Cap FR adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.; or Awaplan Heat Welding or Versa-Smooth adhered by torch.
- Surfacing:** Optional for mineral surfaced Membranes. Required for smooth surfaced membranes:
1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq..
 2. Tam-Pro FR Aluminum Coating, Henry 520, or Karnak 97AF applied at 1½ gal./sq., or Grundy Fibered Asphalt Emulsion, or Tam-Pro Fibered Emulsion at 3 gal./sq.
- Maximum Design Pressure:** See *Anchor Sheet Fastening Options above.*
- Maximum Fire Classification:** See General Limitation #1.
- Maximum Slope:** See General Limitation #1.



Deck Type II: Wood, Insulated, New Construction

Deck Description: 19/32" or greater plywood or wood plank

System Type B(1): Base layer of insulation mechanically fastened; optional top layer adhered with approved asphalt.

All General and System Limitations apply.

<u>Insulation Base Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
Approved Type(s): ACFoam II				
Minimum: 3' x 4' x 1.2"	Dekfast S	[2]	6	1:2 ft. ²
Minimum: 3' x 4' x 1.2"	Olympic S	[2]	6	1:2 ft. ²
Minimum: 3' x 4' x 1.2"	Roofgrip S	[2]	6	1:2 ft. ²
Minimum: 3' x 4' x 1.2"	Tru-Fast S	[2]	6	1:2 ft. ²
Minimum: 3' x 4' x 1.4"	Dekfast S	[2]	3	1:4 ft. ²
Minimum: 3' x 4' x 1.4"	Olympic S	[2]	3	1:4 ft. ²
Minimum: 3' x 4' x 1.4"	Roofgrip S	[2]	3	1:4 ft. ²
Minimum: 3' x 4' x 1.4"	Tru-Fast S	[2]	3	1:4 ft. ²
Approved Type(s): E"NRG"Y-2, PSI-25				
Minimum: 3' x 4' x 1.4"	Dekfast S	[2]	6	1:2 ft. ²
Minimum: 3' x 4' x 1.4"	Olympic S	[2]	6	1:2 ft. ²
Minimum: 3' x 4' x 1.4"	Roofgrip S	[2]	6	1:2 ft. ²
Minimum: 3' x 4' x 1.4"	Tru-Fast S	[2]	6	1:2 ft. ²
Approved Type(s): Hy-Therm White Line				
Minimum: 4' x 4' x 1.2"	Dekfast S	[3]	8	1:2 ft. ²
Minimum: 4' x 4' x 1.2"	Olympic S	[3]	8	1:2 ft. ²
Minimum: 4' x 4' x 1.2"	Roofgrip S	[3]	8	1:2 ft. ²
Minimum: 4' x 4' x 1.2"	Tru-Fast S	[3]	8	1:2 ft. ²
Approved Type(s): UltraGard Gold				
Minimum: 3' x 4' x 1.3"	Dekfast S	[2]	6	1:2 ft. ²
Minimum: 3' x 4' x 1.3"	Olympic S	[2]	6	1:2 ft. ²
Minimum: 3' x 4' x 1.3"	Roofgrip S	[2]	6	1:2 ft. ²
Minimum: 3' x 4' x 1.3"	Tru-Fast S	[2]	6	1:2 ft. ²
Approved Type(s): ACFoam Composite				
Minimum: 4' x 4' x 1.5"	Dekfast S	[3]	4	1:4 ft. ²
Minimum: 4' x 4' x 1.5"	Olympic S	[3]	4	1:4 ft. ²
Minimum: 4' x 4' x 1.5"	Roofgrip S	[3]	4	1:4 ft. ²
Minimum: 4' x 4' x 1.5"	Tru-Fast S	[3]	4	1:4 ft. ²



Approved Type(s): Celotherm, ConPerl, GAFTEMP Permalite, Fesco Board

Minimum: 2' x 4' x 1"	Dekfast S	[1]	4	1:2 ft. ²
Minimum: 2' x 4' x 1"	Olympic S	[1]	4	1:2 ft. ²
Minimum: 2' x 4' x 1"	Roofgrip S	[1]	4	1:2 ft. ²
Minimum: 2' x 4' x 1"	Tru-Fast S	[1]	4	1:2 ft. ²

Approved Type(s): Armor Board Regular, Esgard, Celotex Fiberboard, GAFTEMP Fiberboard, Huebert Fiberboard, Kop-R Wood Fiber

Minimum: 2' x 4' x 1"	Dekfast S	[1]	4	1:2 ft. ²
Minimum: 2' x 4' x 1"	Olympic S	[1]	4	1:2 ft. ²
Minimum: 2' x 4' x 1"	Roofgrip S	[1]	4	1:2 ft. ²
Minimum: 2' x 4' x 1"	Tru-Fast S	[1]	4	1:2 ft. ²

Approved Type(s): Structodek

Minimum: 8' x 4' x 1"	Dekfast S	[4]	16	1:2 ft. ²
Minimum: 8' x 4' x 1"	Olympic S	[4]	16	1:2 ft. ²
Minimum: 8' x 4' x 1"	Roofgrip S	[4]	16	1:2 ft. ²
Minimum: 8' x 4' x 1"	Tru-Fast S	[4]	16	1:2 ft. ²

Note: Base layer shall be mechanically attached with fasteners and density described above. Insulation panels listed are minimum sizes and dimensions; if larger panels are used the number of fasteners per board shall be increased maintaining the same fastener density (See Miami-Dade County Roofing Application Standard RAS 117 for fastening details).

<u>Insulation</u> <u>(Optional) Top Layer</u>	<u>Fastener</u> <u>Type</u>	<u>Fastening</u> <u>Detail No.</u>	<u>Fasteners</u> <u>Per Board</u>	<u>Fastener</u> <u>Density</u>
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Approved Type(s): Celotherm, ConPerl, GAFTEMP Permalite, Fesco Board

Minimum: 2' x 4' x 3/4"	N/A	N/A	N/A	N/A
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Approved Type(s): ACFoam Composite

Minimum: 4' x 4' x 1.5"	N/A	N/A	N/A	N/A
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Note: Apply top layer of insulation in a full mopping of any approved mopping asphalt within the EVT range and at a rate of 20-40 lbs. Please refer to Miami-Dade County Roofing Application Standard RAS 117 for insulation attachment. Insulations listed as Base Layer only shall be used only as base layers with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side facing down.

Base Sheet: One ply of Tam-Ply IV, Tam-Glass Premium, Glass-Base, Base-N-Ply, Versa-Base, Versa-Smooth, Awaplan VersaFlex, or Vapor-Chan adhered to the substrate with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.



- Ply Sheet:** (Optional) One, two, three or four plies of Tam-Glass Premium, Tam-Ply IV, Base-N-Ply, Awaplan VersaFlex, or Versa-Base adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq..
- Membrane:** Awaplan Premium, Awaplan Premium FR, Awaplan 170, Awaflex, Awaflex FR., Awaplan 170 FR, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Cap FR adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.; or Awaplan Heat Welding or Versa-Smooth adhered by torch.
- Surfacing:** Optional for mineral surfaced Membranes. Required for smooth surfaced membranes:
1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq..
 2. Tam-Pro FR Aluminum Coating, Henry 520, or Karnak 97AF applied at 1½ gal./sq., or Grundy Fibered Asphalt Emulsion, or Tam-Pro Fibered Emulsion at 3 gal./sq.
- Maximum Design Pressure:** -45 psf (See General Limitation #9.)
- Maximum Fire Classification:** See General Limitation #1.
- Maximum Slope:** See General Limitation #1.



- Deck Type II:** Wood, Insulated, New Construction
- Deck Description:** 1 9/32" or greater plywood or wood plank. Plywood shall be attached to 2" x 4" wood supports spaced 24" o.c. using wood screws spaced 6" o.c. at perimeters and intermediate supports.
- System Type B(2):** Base layer of insulation mechanically fastened; top layer adhered with approved asphalt.

All General and System Limitations apply.

<u>Insulation Base Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
Approved Type(s): ACFoam II, E'NRG'Y-2, PSI-25				
Minimum: 4' x 4' x 1.5"	Olympic S	[3]	12	1:1.33 ft. ²
Minimum: 4' x 4' x 1.5"	SFS Insulfixx S	[3]	12	1:1.33 ft. ²

Note: Base layer shall be mechanically attached with fasteners and density described above. Insulation panels listed are minimum sizes and dimensions; if larger panels are used the number of fasteners per board shall be increased maintaining the same fastener density (See Miami-Dade County Roofing Application Standard RAS 117 for fastening details).

<u>Insulation Top Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
Approved Type(s): Celotex High Density Wood Fiberboard				
Minimum: 2' x 4' x 1/2"	N/A	N/A	N/A	N/A

Note: Apply top layer of insulation in a full mopping of any approved mopping asphalt within the EVT range and at a rate of 20-40 lbs. Please refer to Miami-Dade County Roofing Application Standard RAS 117 for insulation attachment. Insulations listed as Base Layer only shall be used only as base layers with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side facing down.

- Base Sheet:** One ply of Tam-Ply IV, Tam-Glass Premium, Glass-Base, Base-N-Ply, Versa-Base, Versa-Smooth, Awaplan VersaFlex, or Vapor-Chan adhered to the substrate with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.
- Ply Sheet:** (Optional) One, two, three or four plies of Tam-Glass Premium, Tam-Ply IV, Base-N-Ply, Awaplan VersaFlex, or Versa-Base adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq..



- Membrane: Awaplan Premium, Awaplan Premium FR, Awaplan 170, Awaflex, Awaflex FR., Awaplan 170 FR, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Cap FR adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.; or Awaplan Heat Welding or Versa-Smooth adhered by torch.
- Surfacing: Optional for mineral surfaced Membranes. Required for smooth surfaced membranes:
1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq..
 2. Tam-Pro FR Aluminum Coating, Henry 520, or Karnak 97AF applied at 1½ gal./sq., or Grundy Fibered Asphalt Emulsion, or Tam-Pro Fibered Emulsion at 3 gal./sq.
- Maximum Design Pressure: -60 psf (See General Limitation #7.)
- Maximum Fire Classification: See General Limitation #1.
- Maximum Slope: See General Limitation #1.



Deck Type II: Wood, Insulated, New Construction

Deck Description: 1 9/32" or greater plywood or wood plank

System Type C: All layers of insulation simultaneously mechanically fastened.

All General and System Limitations apply.

<u>Insulation Base Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
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One or more layers of any of the following insulations:

Approved Type(s): AC Foam II

Minimum: 3' x 4' x 1.2"	N/A	N/A	N/A	N/A
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Approved Type(s): E"NRG"Y-2, PSI-25

Minimum: 3' x 4' x 1.4"	N/A	N/A	N/A	N/A
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Approved Type(s): Hy-Therm White Line

Minimum: 4' x 4' x 1.2"	N/A	N/A	N/A	N/A
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Approved Type(s): UltraGard Gold

Minimum: 3' x 4' x 1.3"	N/A	N/A	N/A	N/A
-------------------------	-----	-----	-----	-----

Note: All layers shall be simultaneously attached; see top layer below for fasteners and density.

<u>Insulation Top Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
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Approved Type(s): Celotherm, ConPerl, GAFTEMP Permalite, Fesco Board

Minimum: 2' x 4' x 1"	Dekfast S	[1]	4	1:2 ft. ²
Minimum: 2' x 4' x 1"	Olympic S	[1]	4	1:2 ft. ²
Minimum: 2' x 4' x 1"	Roofgrip S	[1]	4	1:2 ft. ²
Minimum: 2' x 4' x 1"	Tru-Fast S	[1]	4	1:2 ft. ²

Approved Type(s): Armor Board Regular, Esgard, Celotex Fiberboard, GAFTEMP Fiberboard, Huebert Fiberboard, Kop-R Wood Fiber

Minimum: 2' x 4' x 1"	Dekfast S	[1]	4	1:2 ft. ²
Minimum: 2' x 4' x 1"	Olympic S	[1]	4	1:2 ft. ²
Minimum: 2' x 4' x 1"	Roofgrip S	[1]	4	1:2 ft. ²
Minimum: 2' x 4' x 1"	Tru-Fast S	[1]	4	1:2 ft. ²



Note: All layers of insulation shall be mechanically attached using the fastener density listed above. The insulation panels listed are minimum sizes and dimensions; if larger panels are used, the number of fasteners shall be increased maintaining the same fastener density. Insulation fasteners shall be tested for withdrawal resistance in compliance with Miami-Dade County Protocol TAS 105 to confirm compliance with the wind load requirements set forth in Chapter 23 of the S.F.B.C. Please refer to Miami-Dade County Roofing Application Standard RAS 117 for insulation attachment.

- Base Sheet:** One ply of Tam-Ply IV, Tam-Glass Premium, Glass-Base, Base-N-Ply, Versa-Base, Versa-Smooth, Awaplan VersaFlex, or Vapor-Chan adhered to the substrate with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.
- Ply Sheet:** (Optional) One, two, three or four plies of Tam-Glass Premium, Tam-Ply IV, Base-N-Ply, Awaplan VersaFlex, or Versa-Base adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq..
- Membrane:** Awaplan Premium, Awaplan Premium FR, Awaplan 170, Awaflex, Awaflex FR,, Awaplan 170 FR, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Cap FR adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.; or Awaplan Heat Welding or Versa-Smooth adhered by torch.
- Surfacing:** Optional for mineral surfaced Membranes. Required for smooth surfaced membranes:
1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq..
 2. Tam-Pro FR Aluminum Coating, Henry 520, or Karnak 97AF applied at 1½ gal./sq., or Grundy Fibered Asphalt Emulsion, or Tam-Pro Fibered Emulsion at 3 gal./sq.
- Maximum Design Pressure:** -45 psf (See General Limitation #9.)
- Maximum Fire Classification:** See General Limitation #1.
- Maximum Slope:** See General Limitation #1.



Deck Type II: Wood, Insulated, New Construction
Deck Description: 19/32" or greater plywood or wood plank
System Type D: Base sheet attached over insulation.

All General and System Limitations apply.

<u>Insulation Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
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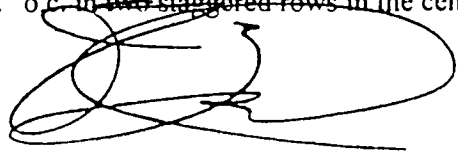
One or more layers of any of the following insulations adhered to deck:

Approved Type(s): ACFoam II Minimum: 3' x 4' x 1.2"	N/A	N/A	N/A	N/A
Approved Type(s): E"NRG"Y-2, PSI-25 Minimum: 3' x 4' x 1.4"	N/A	N/A	N/A	N/A
Approved Type(s): Hy-Therm White Line Minimum: 4' x 4' x 1.2"	N/A	N/A	N/A	N/A
Approved Type(s): UltraGard Gold Minimum: 3' x 4' x 1.3"	N/A	N/A	N/A	N/A
Approved Type(s): Celotherm, ConPerl, GAFTEMP Permalite, Fesco Board Minimum: 2' x 4' x 3/4"	N/A	N/A	N/A	N/A
Approved Type(s): Armor Board Regular, Esgard, Celotex Fiberboard, GAFTEMP Fiberboard, Huebert Fiberboard, Kop-R Wood Fiber Minimum: 2' x 4' x 1/2"	N/A	N/A	N/A	N/A
Approved Type(s): Structodek Minimum: 4' x 8' x 1/2"	N/A	N/A	N/A	N/A

Note: Top layer shall have preliminary attachment, prior to the installation of the base/anchor sheet, at an application rate of two fasteners per board for insulation boards having no dimension greater than 4 ft., and four fasteners for any insulation board having no dimension greater than 8 ft. All layers of insulation and base sheet shall be simultaneously fastened. See base/anchor sheet below for fasteners and density.

Base Sheet: One ply of Tamko Glass-Base, Vapor-Chan or Base-N-Ply fastened to the deck as described below:

Fastening: Attach anchor sheet using CF Dekfast or #14 Dekfast Fasteners with CF Hex Plates, SFS #12 or HD Insulfixx S, or Buildex Accutrac Fasteners and 3" Square Plates spaced 12" o.c. in a 4" lap and 12" o.c. in two staggered rows in the center of the sheet.



- Ply Sheet:** (Optional) One, two, three or four plies of Tam-Glass Premium, Tam-Ply IV, Base-N-Ply, Awaplan VersaFlex, or Versa-Base adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq..
- Membrane:** Awaplan Premium, Awaplan Premium FR, Awaplan 170, Awaflex, Awaflex FR., Awaplan 170 FR, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Cap FR adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.; or Awaplan Heat Welding or Versa-Smooth adhered by torch.
- Surfacing:** Optional for mineral surfaced Membranes. Required for smooth surfaced membranes:
1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq..
 2. Tam-Pro FR Aluminum Coating, Henry 520, or Karnak 97AF applied at 1½ gal./sq., or Grundy Fibered Asphalt Emulsion, or Tam-Pro Fibered Emulsion at 3 gal./sq.
- Maximum Design Pressure:** -60 psf (See General Limitation #7.)
- Maximum Fire Classification:** See General Limitation #1.
- Maximum Slope:** See General Limitation #1.



Deck Type 1: Wood, Non-insulated

Deck Description: 1 9/32" or greater plywood or wood plank decks

System Type E: Base sheet mechanically fastened.

All General and System Limitations apply.

Anchor Sheet: One ply of Tamko Glass-Base, Vapor-Chan or Base-N-Ply fastened to the deck as described below:

Fastening: *(Option #1)* Attach anchor sheet using 11 ga. annular ring shank nails and 1-5/8" diameter tin caps spaced 9" o.c. in a 4" lap and 9" o.c. in two staggered rows in the center of the sheet. *(-52.5 psf, See General Limitation #7.)*
(Option #2) Attach anchor sheet using CF Dekfast or #14 Dekfast Fasteners with CF Hex Plates, SFS #12 or HD Insulfixx S, or Buildex Accutracc Fasteners and 3" Square Plates spaced 12" o.c. in a 4" lap and 12" o.c. in two staggered rows in the center of the sheet. *(-60.0 psf, See General Limitation #7.)*

Ply Sheet: (Optional) One, two, three or four plies of Tam-Glass Premium, Tam-Ply IV, Base-N-Ply, Awaplan VersaFlex, or Versa-Base adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq..

Membrane: Awaplan Premium, Awaplan Premium FR, Awaplan 170, Awaflex, Awaflex FR,, Awaplan 170 FR, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Cap FR adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.; or Awaplan Heat Welding or Versa-Smooth adhered by torch.

Surfacing: Optional for mineral surfaced Membranes. Required for smooth surfaced membranes:

1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq..
2. Tam-Pro FR Aluminum Coating, Henry 520, or Karnak 97AF applied at 1 1/2 gal./sq., or Grundy Fibered Asphalt Emulsion, or Tam-Pro Fibered Emulsion at 3 gal./sq.

Maximum Design Pressure: See *Base Sheet Fastening Options above*

Maximum Fire Classification: See General Limitation #1.

Maximum Slope: See General Limitation #1.



Membrane Type: SBS
Deck Type 1: Wood, Non-insulated
Deck Description: $\frac{19}{32}$ " or greater plywood or wood plank
System Type: AwaplanTile Underlayment, Base Sheet mechanically attached.

All General and System Limitations shall apply.

Anchor sheet: Tamko No. 30 UL, Type 43 Coated Base, Base-N-Ply®, Vapor-Chan™, or Versa-Base™ base sheet applied with a minimum 2" side lap and a minimum 6" end lap. Base sheet may be applied at a right angle (90°) to the slope of the deck with approved annular ring shank nails and tin caps at a fastener spacing of 6" o.c. at the 2" side lap, and two 12" o.c. staggered rows along the center of the sheet.

Ply Sheet: (Optional) one, or more plies Tam-Ply IV™ or Tam-Glass Premium™ sheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq..

Membrane: One ply Awaplan Premium™, Awaplan 170™, or Awaflex membrane may be applied at a right angle (90°) to the slope of the deck* adhered in a full mopping of Type IV asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. Membrane shall be back nailed to deck with approved annular ring shank nails and tin caps at a maximum fastener spacing of 6" o.c. No nails or tincaps shall be exposed

* Membrane may also be installed parallel to the slope of the roof (i.e. strapping). If membrane is strapped, then anchor sheet and ply sheet must also be strapped.

Maximum Design Pressure: Must comply with Miami-Dade County Roofing Application Standard PA 115.

Maximum Fire Classification: Must comply with Tile System Fire Classification

Maximum Slope: Must Comply with Metro-Dade County Roofing Application Standard RAS 118, RAS 119, RAS 120



WOOD DECK SYSTEM LIMITATIONS

1
A slip sheet is required with Ply 4 and Ply 6 when used as a mechanically fastened base or anchor sheet.



GENERAL LIMITATIONS

- 1 Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- 2 Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer
- 3 All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
- 4 An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used the base sheet shall be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each sidelap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq. **Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf.**
- 5 Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with TAS 105. If the fastener value, as field-tested, are below 275 lbf. insulation attachment shall not be acceptable.
- 6 Fastener spacing for mechanical attachment of anchor/base sheet or membrane attachment is based on a minimum fastener resistance value in conjunction with the maximum design value listed within a specific system. Should the fastener resistance be less than that required, as determined by the Building Official, a revised fastener spacing, prepared, signed and sealed by a Florida Registered Engineer or Architect may be submitted. Said revised fastener spacing shall utilize the withdrawal resistance value taken from Miami-Dade County Protocol TAS 105 and calculations in compliance with Miami-Dade Roofing Application Standard RAS 117.
- 7 Perimeter and corner areas shall comply with the enhanced uplift pressure of these areas, as calculated in compliance with Chapter 23 of the South Florida Building Code. Fastener densities shall be increase for both insulation and base sheet as calculated in compliance with Miami-Dade County Roofing Application Standard RAS 117. **(When this limitation is specifically referred within this NOA, General Limitation #9 will not be applicable.)**
- 8 All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform with Miami-Dade County Roofing Application Standard RAS 111 and the wind load requirements of Chapter 23 of the South Florida Building Code.
- 9 The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners). **(When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.)**



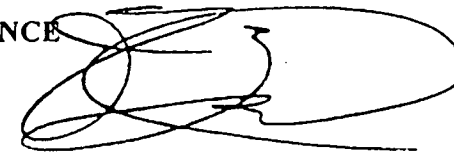
Tamko Roofing Products, Inc.
220 West Fourth St.
P.O. Box 1404
Joplin, MO 64801

ACCEPTANCE NO: 99-0604.05
APPROVED : 07/22/1999
EXPIRES : 07/22/2002

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 1 through 21.

END OF THIS ACCEPTANCE



PHONE CALL

FOR	EA	DATE	10-6	TIME	1:25	AM PM
M	Mrs. Morris		9	WOLFHAM	RFG	
OF	Dotwood					TELEPHONED
PHONE	220-2315		10/7	9:05	RT	RETURNED OUR CALL
FAX#	5 WORTH CT.					PLEASE CALL
MESSAGE	bad roof repairs (ask me about this please)					WILL CALL AGAIN
						CAME TO SEE YOU WANTS TO SEE YOU
				SIGNED	TREU AETON	

PERMIT OPEN; ADVISED HER TO ALLOW CONTR. TO FINISH WORK

SWP 2

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date AUGUST 27, 1999

BUILDING PERMIT NO. 4675

Building to be erected for PREMIER REALTY

Type of Permit RE-ROOF (FLAT)

Applied for by WILFRAM CONST.

(Contractor) Building Fee _____

Subdivision RIDGELAND Lot 11

Block _____ Radon Fee _____

Address ~~210 SEWALL'S POINT RD~~ 5 WOODST CT

Impact Fee _____

Type of structure ~~COMM'L.~~

S.F.P. A/C Fee _____

Parcel Control Number: _____

^{8/30/99} Electrical Fee _____

Plumbing Fee 120.00

Roofing Fee _____

Amount Paid \$120.00 Check # 3329A Cash _____

Other Fees (_____) _____

Total Construction Cost \$ 1,475.00

TOTAL Fees \$ 120.00

Signed Paul Stelly

Applicant

Signed [Signature]

Town Building Inspector

RE-ROOFING PERMIT

INSPECTIONS

DRY IN
PROGRESS

DATE _____
DATE _____

PROGRESS
FINAL

DATE _____
DATE _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.

FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,

NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.

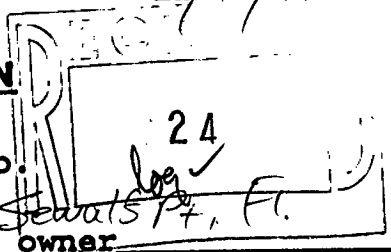
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

Bldg. Pmt# 4675
8/27/99

Town of Sewall's Point

Date 8/12/99

BUILDING PERMIT APPLICATION



Owner's Name: Premier Realty Group Phone No. _____
Owner's Present Address: 2 N Sewalls Point Rd Sewall's Pt., FL
Fee Simple Titleholder's Name & Address if other than owner _____

Location of Job Site: 5 Worth's Court Sewall's Pt.
TYPE OF WORK TO BE DONE: Replace Flat Roof
CONTRACTOR INFORMATION
Contractor/Company Name: Wilfram Const. Phone No. 546-0300
COMPLETE MAILING ADDRESS: 9077 SE Pine Cone Ln Hobe Sound, FL 33455
State Registration RC 0048030 State License MA
Legal Description of Property 5 Worth's court Sewall's Pt. Ridgeland lot 11
Parcel Number 1384 101100 000 1106 000

ARCHITECT/ENGINEER INFORMATION

Architect N/A Phone No. _____
Address _____
Engineer N/A Phone No. _____
Address _____

Area Square Footage: Living Area _____ Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement 1,475.00
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No _____
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

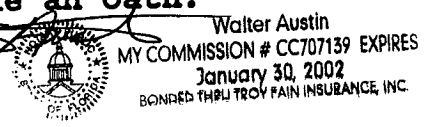
Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing X State License# RC 0048030

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE _____
Sworn to and subscribed before me this 20 day of August, 1999 by Ronald Wilson who is personally known to me or has produced or has produced N/A and who did (did not) take an oath.
CONTRACTOR SIGNATURE _____
Sworn to and subscribed before me this 20 day of August, 1999 by Ronald Wilson who is personally known to me or has produced N/A and who did (did not) take an oath.



TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____

Specimen tree removed _____ Fee _____ Authorized/Date _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

- 1. Floor Plan
- 2. Foundation Details
- 3. Elevation Views - Elevation Certificate due after slab inspection.
- 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
- 5. Truss layout
- 6. Vertical Wall Sections (one detail for each wall that is different)
- 7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

- 1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
- 2. Well Permit or information on existing well & pump.
- 3. Flood Hazard Elevation (if applicable).
- 4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
- 5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
- 6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
- 7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
- 9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One South Sewall's Point Road
Sewall's Point, Florida 34996
Tel: (561) 287-2455
Fax: (561) 220-4765

PAX TO CONTR.
546-2660 ✓
8/27
8:30

PLAN REVIEW NOTES

SINGLE FAMILY RESIDENCE; ADDITION; DOCK; POOL; FENCE; RE-ROOF (PLAT) ^{COMM'L.}

OWNER: PREMIER REALTY; ADDRESS: 2 N. SEWALL'S POINT RD.

PROJECT ADDRESS: SAME; LEGAL: LOT 11 BLK. SUB RIDGELAND

GENERAL CONTRACTOR: WILFRAM CONST.; LIC/CERT NO. RC 0048030

ADDRESS: 9077 SE PINE CREEK W. HOBBESAW; TEL 546-0300; FAX 546-2660

ARCHITECT OR ENGINEER: N/R; LIC/REG. NO.

ADDRESS: ; TEL ; FAX

Review of the application, supporting documents, plans and specifications submitted on the above project indicate the following items are required for submittal and/or revision:

2ND REVIEW (M/DC NOT. OF ACCEPT. RCVD)

ROOF
SHEATH

~~1. IDENTIFY PRODUCTS FROM ACCEPTANCE TO BE USED ON THIS PROJECT (HIGHLIGHT ON DOCS.)~~

REVD
8/27

~~2. NEED COPIES OF LICENSE & INS. (LIAB/WYC) W/ TOWN AS CERTIFICATE HOLDER~~

* THIS CAN BE DONE WHEN YOU COME IN TO PICKUP PERMIT.
- PERMIT CAN BE ISSUED TODAY; PERMIT FEE \$120.00

Prepared By: [Signature] Title: BCMG OFFICIAL Date: 8/27/99

Proposal

Page No.

of

Pages

WILFRAM CONSTRUCTION

9027 SE Pine Cone Lane
HOBE SOUND, FLORIDA 33455
(561) 546-0300

Emergency Beeper (561) 221-6188

11041

PROPOSAL SUBMITTED TO PREMIER REALTY GROUP		PHONE (561) 287-1777	DATE 03/22/99
STREET 2 N SEWALLS POINT ROAD		JOB NAME ANN MORRIS	
CITY, STATE AND ZIP CODE SEWALLS POINT FL 34996		JOB LOCATION 5 WORTH SCOURT	843.237.1735
ARCHITECT ATTN: JENNY BROOKS	DATE OF PLANS	FAX (561) 287-2767	JOB PHONE

We hereby submit specifications and estimates for:
REMOVAL AND DISPOSAL OF REAR FLAT DECK. FLAT DECK TO RECEIVE 1 PLY MODIFIED BITUMEN, OVER 1 PLY BASE SHEET, TIN-TAGGED TO EXISTING SHEATHING. FLASHINGS TO BE REPLACED WITH COPPER.

	\$ 1,475.00
REPLACEMENT OF APPROXIMATELY 120 BROKEN OR LOOSE TILES	\$ 295.00
REPLACEMENT OF 3 SKYLIGHT BUBBLES	\$ 375.00
REPLACEMENT OF 2 POWER VENTILATORS	\$ 500.00

THANK YOU FOR THE CONFIDENCE YOU HAVE EXPRESSED IN ALLOWING US THE OPPORTUNITY TO BID YOUR WORK. IF WE CAN BE OF ANY FURTHER SERVICE, PLEASE DON'T HESITATE TO CALL.

In connection with any litigation arising out of this agreement, the prevailing party shall be entitled to recover all costs incurred, including reasonable attorney fees.

We Propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of:
TWO THOUSAND SIX HUNDRED FORTY FIVE DOLLARS AND NO CENTS dollars (\$ 2,645.00).

Payment to be made as follows: **NO SERVICES WILL BEGIN UNTIL THIS COPY OF THIS PROPOSAL IS SIGNED AND RETURNED WITH DEPOSIT CHECK FOR 50% OF CONTRACT PRICE. REMAINDER DUE UPON COMPLETION. 1.5 PERCENT PER MONTH FINANCE CHARGE WILL BE COLLECTED ON ALL UNPAID BALANCES AFTER THIRTY DAYS.**

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature Steph Freeth

Note: This proposal may be withdrawn by us if not accepted within 20 days

Acceptance of Proposal — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____
 Signature _____

Date of Acceptance: _____

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 3/9/06

BUILDING PERMIT NO. **8100**

Building to be erected for DALY

Type of Permit PERROOF

Applied for by AN AMERICAN ROOFING (Contractor)

Building Fee 120.00

Subdivision RIDGELAND Lot 11 Block _____

Radon Fee _____

Address 5 WORTH COURT

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

13841011000001060000

Electrical Fee _____

Plumbing Fee _____

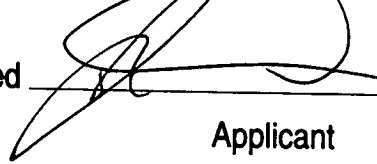
Roofing Fee _____

Amount Paid 120.00 Check # 6179 Cash _____

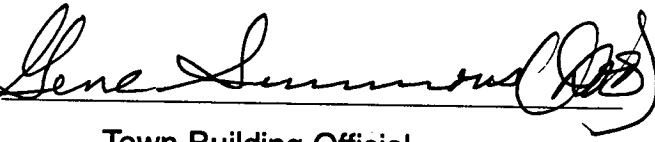
Other Fees (_____) _____

Total Construction Cost \$ 41399

TOTAL Fees 120.00

Signed 

Applicant

Signed 

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED
Date: 3/7/06

Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Daly, Thomas A Phone (Day) _____ (Fax) _____

Job Site Address: 5 WORTH COURT City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) RIDGELAND LOT 11 Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: RE-ROOF

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: ALL AMERICAN ROOFING OF THE TREASURE COAST, INC. Phone: 463-8055 Fax: 463-8054

Street: 3006 SE WAALER ST. City: _____ State: _____ Zip: _____

State Registration Number: STUART, FL 34997 State Certification Number: CC058118 Martin County License Number: 2002-513-008

COST AND VALUES: Estimated Cost of Construction or Improvements: \$41,399.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof 6000 Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

[Signature]

State of Florida, County of: MARTIN

This the 7th day of MARCH, 2006

by _____ who is personally

known to me or produced FL DL

as identification. Kendra S. Bramble

Notary Public

My Commission Expires: 11/24/06

Seal

CONTRACTOR SIGNATURE (required)

[Signature]

On State of Florida, County of: MARTIN

This the 7th day of MARCH, 2006

by PAUL D. WILKINS who is personally

known to me or produced

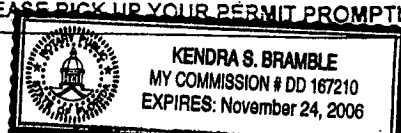
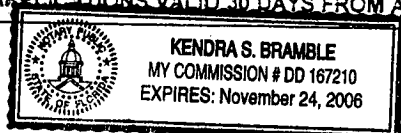
As identification. Kendra S. Bramble

Notary Public

My Commission Expires: 11/24/06

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



INSTR # 1916591 OR BK 02120 PG 0457 RECD 03/09/2006 03:05:40 PM
Pg 0457 (1pg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # 01-38-41-011-000-
00110-6

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): 5 WORTH COURT
RIDGELAND LOT II

GENERAL DESCRIPTION OF IMPROVEMENT: RE-ROOF

OWNER: DALY, THOMAS A
ADDRESS: 5 WORTH COURT, STUART, FL 34996
PHONE #: _____ FAX #: _____

INTEREST IN PROPERTY: _____

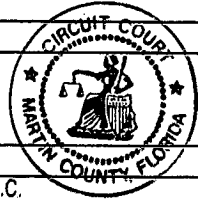
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: ALL AMERICAN ROOFING
ADDRESS: OF THE TREASURE COAST, INC.
PHONE #: 772-463-8055 3006 SE WAALER ST. STUART FL 34997 FAX #: 772-463-8054

SURETY COMPANY (IF ANY) _____
ADDRESS: _____
PHONE # _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY _____
ADDRESS: _____
PHONE #: _____

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK
BY [Signature]
DATE 3-9-06 FAX #: _____ D.C.



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.
PHONE #: _____ FAX #: _____

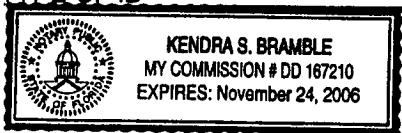
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 7th DAY OF MARCH 20 06
BY THOMAS DALY

PERSONALLY KNOWN _____
OR PRODUCED ID _____
TYPE OF ID _____

[Signature]
NOTARY SIGNATURE





MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

J.M. Metals
1505 Cox Road
Cocoa, FL 32926

Your application for Notice of Acceptance (NOA) of:
JM "SV" Crimp Architectural Metal Roof System
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0622.02
EXPIRES: 08/16/2006

Raul Rodriguez
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

FILE COPY	
TOWN OF SEWALL'S POINT	
THESE PLANS HAVE BEEN	
REVIEWED FOR CODE COMPLIANCE	
APPROVED: <u>08/16/2001</u>	<u>3/18/06</u>
DATE:	
BUILDING OFFICIAL	
Gene Simmons	



JMM METALS

Acceptance No.: 01-0622.02

ROOFING SYSTEM APPROVAL:

<u>Category:</u>	Roofing	Approval Date: <u>August 16, 2001</u>
<u>Sub-Category:</u>	Metal, Panels (Non-Structural)	Expiration Date: <u>August 16, 2006</u>
<u>Material:</u>	Steel	
<u>Deck Type:</u>	Wood	
<u>Maximum Design Pressure</u>	-85 psf.	

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
5V Steel Roofing Panel	l = varies w = 26" h = 1/2" Min. Thickness 0.019"	PA 110	Metal Roof panel coated with Fluropon®.

TRADE NAMES OF PRODUCTS MANUFACTURED BY OTHERS:

<u>Product</u>	<u>Dimensions</u>	<u>Product Description</u>	<u>Manufacturer</u>
Fasteners (Panel)	#9-15 HH	Corrosion resistant, sharp point hex-head screws with 1/2" EPDM Bonded Steel sealing washer.	generic

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
The Valspar Corporation	Lab Test Certification	ASTM B-117 ASTM G-23	
PRI Asphalt Technologies, Inc.	JMM-001-01-01	PA 100	05/10/01
Underwriters Laboratories, Inc.	01NK5594	UL 580	01/15/01

Page 2



Frank Zuloaga, RRC
Roofing Product Control Examiner

JM METALS

Acceptance No.: 01-0622.02

APPROVED SYSTEMS:

- SYSTEM:** 5V Steel Roofing Panel
- Deck Type:** Wood, Non-insulated
- Deck Description:** New Construction or Re-roof
 $1\frac{9}{32}$ " or greater plywood or wood plank.
- Slope Range:** 2":12" or greater
- Maximum Uplift Pressure:** The maximum allowable design pressure -85 psf
- Deck Attachment:** In accordance with applicable building code, but in no case shall it be less than 8d ring shank nails spaced 6" o.c. In reroofing, where the deck is less than $1\frac{9}{32}$ " thick (Minimum $1\frac{5}{32}$ ") The above attachment method must be in addition to existing attachment.
- Underlayment:** Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1 $\frac{1}{4}$ " annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll.
- Valleys:** Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with JM Metals '5V Steel Roofing Panel' current published installation instructions.
- Fire Barrier Board:** For class A or B fire rating, install minimum $\frac{1}{4}$ " thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or $\frac{3}{8}$ " water resistant type X gypsum sheathing with treated core and facer.
- Metal Panels and Accessories:** Install the "5V Steel Roofing Panel" and accessories in compliance with JM Metals' current published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.

5V Roofing Panels shall be fastened with a minimum of #9-15 HH corrosion resistant fasteners with sealing washer. Fasteners shall of sufficient length to penetrate through the sheathing a minimum of $\frac{3}{16}$ ". Fasteners shall be place in accordance with fastener detail herein as follows:

Fasteners shall be installed at a maximum of 12" o.c. at side laps perpendicular to roof slope and at a maximum of 12" o.c. in the center of the panel at the field perpendicular to roof slope. Fastener shall be placed at high points of panel ribs.

Page 3



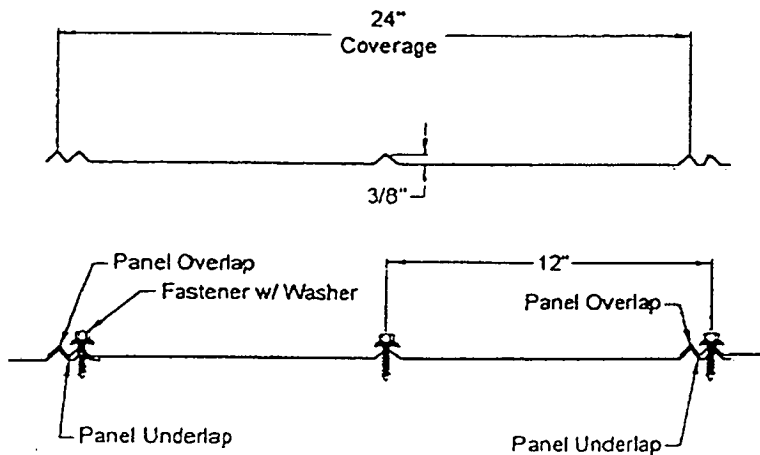
Frank Zuloaga, RRC
Roofing Product Control Examiner

JM METALS

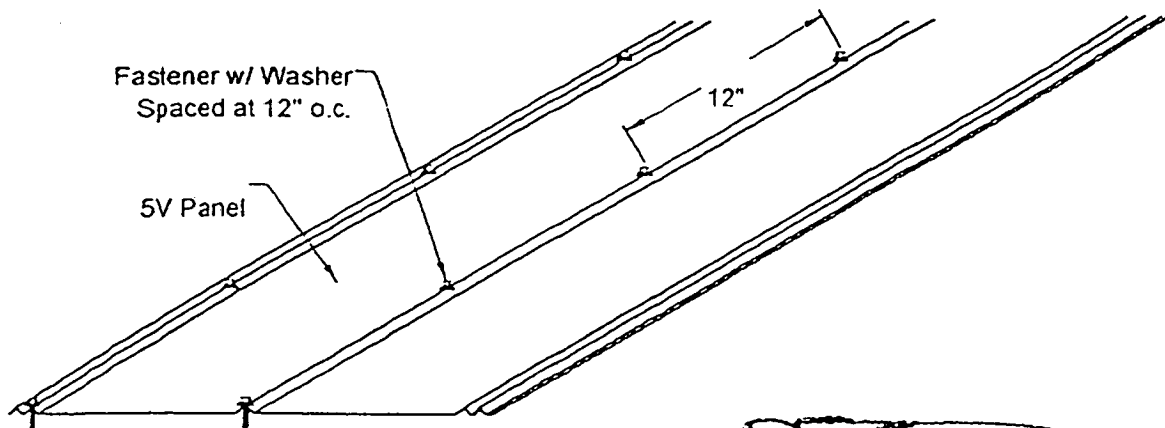
Acceptance No.: 01-0622.02

SYSTEM LIMITATIONS:

1. Increased design pressures at perimeter and corner areas, in compliance with applicable building code may be met through rational analysis by increasing the number of attachment points in these areas. The maximum fastener spacing noted in the "Systems Description" section of this approval shall not be exceeded. All rational analysis computation shall be prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant.
2. Panels shall be roll formed in continuous lengths from eave to ridge. Maximum lengths shall be as described in Miami-Dade County Roofing Application Protocol RAS 133.
3. All panels shall be permanently labeled with the manufacturer's name or logo, and the following statement: "Miami-Dade County Product Control Approved."



5V STEEL ROOFING PANEL



Frank Zuloaga, RRC
Roofing Product Control Examiner

JM METALS

Acceptance No.: 01-0622.02

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 1 through 5.

END OF THIS ACCEPTANCE

Page 5



Frank Zuloaga, RRC
Roofing Product Control Examiner

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/10, 2006

Page 4 of 5

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8192	Trick	Tank in-line	PASS	WED
5	21 Palm Rd Propane Disc		PASS	INSPECTOR: <i>[Signature]</i>
1782	Schoppe	Deck	FAIL	WED
6	9 Palm Rd Schiller Pools	287-0768		\$40 FEE INSPECTOR: <i>[Signature]</i>
8135	Schnabel -	Mrs Schnabel	Called	transformer on PPL
9	122 S. SPR Stuart Fence	Prop-Stuart fence	installed	8" from bay S/B 10' work to be able to open door - INSPECTOR: <i>[Signature]</i>
8100	Daly	partial dry-in Metal		WED
10	5 Swoosh Ct All Am Roofing	Kendra - 463-8035	PASS	INSPECTOR: <i>[Signature]</i>
7873	Noheyl - 220-1561	C.O. Final	removed	PASS
3	26 W. High Pt Rd Roof (O/B)		PASS	INSPECTOR: <i>[Signature]</i>
8228	Jaxso	Underground	apartment line map -	CANCELLED will RESCHEDULE
16	11 Heritage Way	are devices -		INSPECTOR: <i>[Signature]</i>
8229	McCormick	Roof tinting	PASS	
8238	59 N. River Rd			INSPECTOR: <i>[Signature]</i>
26	Heaton Roof. (Steve)			

OTHER: _____

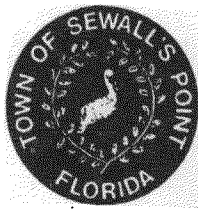
TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5-19, 2006 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	Ulber	Tree	PASS	
7	12 Ridgeland Dr OB			INSPECTOR: <i>[Signature]</i>
8100	Daly	Framing	PASS	
6 sub 8235	5 Worth Ct Conway	Tie down		INSPECTOR: <i>[Signature]</i>
8210	Madden	Elec for Gen.	FAIL	
3	1100 S Rwei Rd OB			INSPECTOR: <i>[Signature]</i>
8100	Daly	In progress steady on flat deck	PASS	
6	5 Worth Ct William Roof.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>

OTHER: _____



8100

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 5 NORTH CT

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ROOF IN PROG

SUBMITT 2 COPIES PRODUCT
APPROVAL FOR SKYLIGHT
DOMES

acid

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 5/26


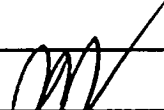

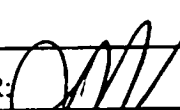

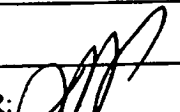
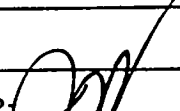
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department Inspection Log

Date of Inspection: Mon Wed Fri 5-26, 2006 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8100	DALY	ROOF IN PROG.	PASS	
1	5 WORTH			INSPECTOR: 
	ALL-AMER.			
8184	TAPPER	Plumbing	PASS	
2	22 Island Rd			INSPECTOR: 
	Advantage Pools			
8216	Cary	Rough gas	PASS	
8	76 S River Rd			INSPECTOR: 
	Propane Disc.			
8112	Mackay	Final	FAIL	Close
4	2 Oakwood Dr			INSPECTOR: 
	Superior Roof.			
8183	Zigler	Tin Tag +	PASS	
7	17 Emmita Way	Metal 10:00		INSPECTOR: 
	Ralph Wilson Roof.	215-4460- must be here		
Tree	Wilson	Tree	PASS	
9	5 St. Lucie Ct			INSPECTOR: 
	M Trees			
Tree	Wilson	Tree	PASS	
5	11 Kiverview Dr			INSPECTOR: 
	Accurate Tree			

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5-19, 2006 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	Weber	Tree	PASS	
7	12 Ridgeland Dr o/B			INSPECTOR: <i>[Signature]</i>
8100	Daly	Framing	PASS	
6 Sub 8235	5 Worth Ct Conway	Tie down		INSPECTOR: <i>[Signature]</i>
8210	Madden	Elec for Gen.	FAIL	
3	1100 S River Rd o/B			INSPECTOR: <i>[Signature]</i>
8100	Daly	In progress sheath on flat deck	PASS	
6	5 Worth Ct William Roof.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>

OTHER: _____

MASTER PERMIT NO. 8100

TOWN OF SEWALL'S POINT

Date 5-17-06

BUILDING PERMIT NO. 8235

Building to be erected for Daily

Type of Permit Sub-Contractor

Applied for by American Roofing Stephen Conroy

Building Fee 144.00

Subdivision Ridgeland Lot 11 Block 15x900

Radon Fee _____

Address 5 Woods Ct

Impact Fee _____

Type of structure SFR

A/C Fee _____

Emergency termite repair

Electrical Fee _____

Parcel Control Number:
0138410110000011060000

Plumbing Fee _____

Roofing Fee _____

Amount Paid \$144 Check # _____ Cash _____ Other Fees (_____)

Total Construction Cost \$ 15000

TOTAL Fees 144.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Dept Clerk

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED
15-17-06

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 5-16-06

OWNER/TITLEHOLDER NAME: Tom DALY Phone (Day) _____ (Fax) _____

Job Site Address: 5 WORTH COURT City: SEWALLS PT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) LOT 11 RIDGE/LAND Parcel Number: D1384101100000 NO 6

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: REPLACE TERRACE DAMAGED BEAMS, WALL, RE STUCCO

WILL OWNER BE THE CONTRACTOR?:

COST AND VALUES:

YES NO PERMIT

Estimated Cost of Construction or Improvements: \$ 15,000
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____
Is improvement cost 50% or more of Fair Market Value? YES NO

ADDITION TO ALL AMERICAN ROOFING
(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: Stephen P. Conway LLC Phone: 220-0064 Fax: 220-8601

Street: 900 E OCEAN BLVD D-232 City: STUART State: FL Zip: 34994

State Registration Number: _____ State Certification Number: CRC053742 Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: COOK ELECTRIC State: _____ License Number: ER0008060
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT MA CARSON & ASSOC Lic.#: AA2971 Phone Number: 223-8227
Street: 800 SE OCEAN BLVD City: STUART State: FL Zip: 34994

ENGINEER _____ Lic# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required): _____

CONTRACTOR SIGNATURE (required): _____

State of Florida, County of: Martin

On State of Florida, County of: _____

This the 16 day of May, 2006

This the _____ day of _____, 2006

by _____ who is personally

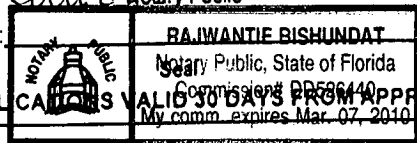
by _____ who is personally

known to me or produced _____

known to me or produced _____

as identification. _____
My Commission Expires: _____

As identification. _____
My Commission Expires: _____



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # 013841011000001106

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

LOT 11 RIDGELAND / 5 WORTH COURT SEWALLS POINT, FL

GENERAL DESCRIPTION OF IMPROVEMENT: REPLACE TERMITE DAMAGED BEAMS

OWNER: TOM DALY

ADDRESS: 5 WORTH COURT SEWALLS POINT, FL 34996

PHONE #: _____ FAX #: _____

CONTRACTOR: STEPHEN P. CONWAY LLC

ADDRESS: 900 E OCEAN BLVD D-232 STUART FL 34994

PHONE #: 220-0064 FAX #: 220-8601

SURETY COMPANY (IF ANY) _____

ADDRESS: _____ STATE OF FLORIDA

PHONE # _____ FAX #: _____ MARTIN COUNTY

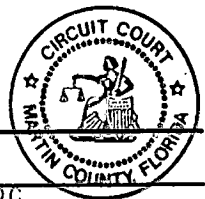
BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARTIN EWING, CLERK
BY: [Signature] D.C.
DATE: 5/17/06



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

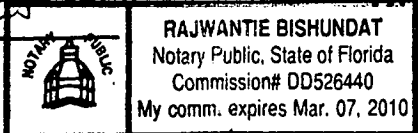
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 16 DAY OF May, 2006
19 _____ BY _____

PERSONALLY KNOWN Y
OR PRODUCED ID _____
TYPE OF ID _____

[Signature]
NOTARY SIGNATURE



INSIR # 19336644 OR BK 20143 PG 208 RECD 05/17/2006 09:01:19 AM
Pg 208 (1 of 1)
MARTIN EWING MARTIN COUNTY DEPUTY CLERK C W15H

1457207

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L04062100884

DATE	BATCH NUMBER	LICENSE NBR
12/21/2004	030729136	CRC053742

he RESIDENTIAL CONTRACTOR
named below IS CERTIFIED
under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2006

CONWAY, STEPHEN P
STEPHEN P CONWAY LLC
OAK HILL WAY
DUART
FL 34996

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR
SECRETARY



Martin County Tax Record

Property Information

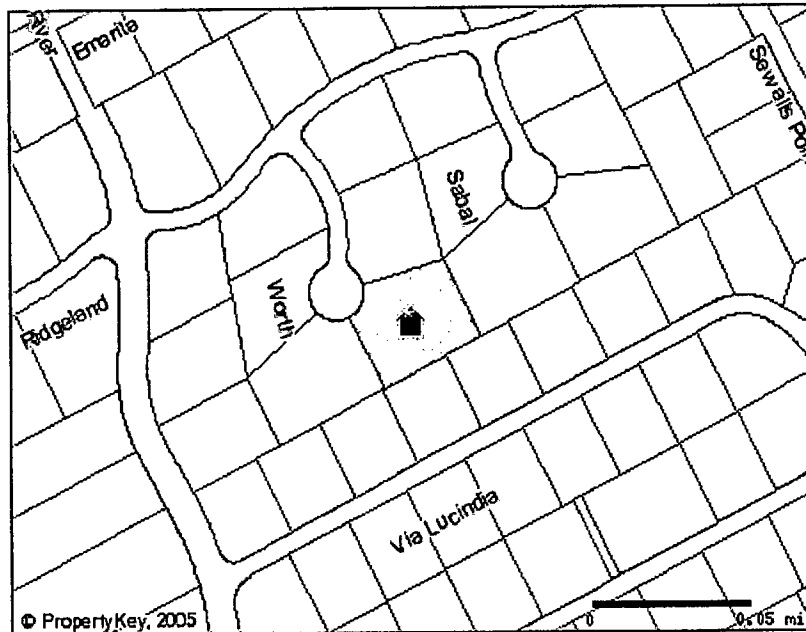
Parcel ID #
01-38-41-011-000-00110-6
Property Type: Residential
Property Address:
5 WORTH CT
STUART, FL 34996-6439

Land Use: 101 (100)
Single Family

Lot Size: 0.00 acres
(100 frontage, 0 depth)

Subdivision:
RIDGELAND
Legal Description:
RIDGELAND LOT 11
Sec./Twn./Rng. 01 / 38 / 41

Phone: 772-286-1519



<input type="checkbox"/> Residential	<input type="checkbox"/> Agricultural	<input type="checkbox"/> Government	<input type="checkbox"/> Water
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Other	<input type="checkbox"/> Condo

Current Owner

DALY, THOMAS A
5 WORTH CT
STUART, FL 34996-6439

Recent Sales

Sale Date	05/01/2003	07/15/1999
Sale Price	\$580,000	\$382,000
Book/Page	1761 / 2048	1410 / 0131

Property Value Information

Land Value	\$225,000	Assessed Value	\$500,650	Taxes (2005)	\$7,386.95
Improved Value	\$275,650	Exempt Value	\$5,000	Millage Code	2200
Market Value	\$500,650	Taxable Value	\$500,650	Millage Rate	16.1522

Building Information

Year Built	1987	Exterior Wall	CONCR BLOCK STUCCO EXTERIOR
Building Area	5,171 sf	Interior Wall	
Living Area	3,566 sf	Roof Structure	HIP GABLE
Bedrooms	4	Roof Cover	CONCRETE TILE ROOF
Bathrooms	3.5	Floor	CARPET & HARD TILE FLOORING
Stories		Foundation	SLAB
Heat Type	HEAT A/C	AC Type	HEAT A/C

Building Subareas

1. FIN OP PORCH CONC FLOOR (30 sq. ft.)
2. FIN OP PORCH CONC FLOOR (598 sq. ft.)
3. FINISHED UPPER STRY (895 sq. ft.)
4. UNF OPEN PORCH NO ROOF CONCRETE (342 sq. ft.)
5. MAIN LIVING AREA (2,669 sq. ft.)

Property Features

Code	Description	Quantity	Code	Description	Quantity
PL2	POOL	98	FNC- AL	FENCE ALUMINUM ALUMINUM FENCE RESIDENTIAL	0
ELAV	ELECTRIC, AVERAGE CONSTRUCTION DETAIL	1	PBAT	AVERAGE, TILED PLUMBING	1
FR2	FIREPLACE,GOOD	1			

Flood Zone Classification

X AREA THAT IS DETERMINED TO BE OUTSIDE THE 1% AND 0.2% CHANCE FLOODPLAINS.

©2005 IMAPP, Inc. Information is believed accurate but not guaranteed.

13'-4"

0'-4"

11'-8"

4'-8" 8"

REPLACE EXIST. GLUELAM BM. W/ NEW
3 1/8" x 13 1/2" GLUELAM
SIMPSON HZ. SA CLIP @ EA.
JOIST (WHEN AVAILABLE)

SYL
BUCKET

(2) MSTA24
STRAPS - BM.
TO POST.

BRG.
EXIST.

EXIST.
BRG.

2x10 PT Joists / taper for slope

2x8 rafters

EXIST.
BRG.

top of beam 8

13'-2" span

7'-0"

H1

H9

H11

H13

13'-6" mono gable

2x12 ceiling joist
2x6 rafters
24" o.c.

TOWN OF SEWALL
FILE COPY
REVIEWED FOR COMPLIANCE
DATE: 5/8/06
BY: [Signature]
BRIDGING

REV. 5/8/06

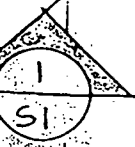
M.A. CORSON & ASSOCIATES, INC.
ARCHITECTURE • STRUCTURAL DESIGN
844 E. Ocean Blvd., Suite C Stuart, FL 34994
(772) 223-8227 • Fax 223-8234

DALY RESIDENCE
5 WORTH CT.

2x12 joist 16" o.c.

1x3 x bridging 8' o.c.

12 truss





DALY
5 WORTH CT
PERMIT # 8100

[Faint, illegible text, possibly a permit or address label]



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE: 5-26-06

BUILDING OFFICIAL

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Maxim Industries, Inc.
6170 Vanderbilt Avenue
Dallas, TX 75214

Scope: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Dade Curb-Mount & Self-Flashing Skylight.

APPROVAL DOCUMENT: Drawing No. DCM-1 & DSF-1, titled "Dade Curb Mount & Dade Self Flashing ", sheets No 1 and 2 of 2, prepared by Maxim Industries, Inc dated 04/01/03 with no revisions bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large & Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein and the donee shall be properly marked by Sheffield. Plastics.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 & approval document mentioned above
The submitted documentation was reviewed by Candido F. Font, P.E.

5/15/03



NOA No 03-0224.11
Expiration Date: May 15, 2008
Approval Date: May 15, 2003
Page 1

Maxim Industries, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

(For File ONLY. Not part of NOA)

A. DRAWINGS

1. Drawing No. DCM-1 & DSF-1, sheet 1 and 2 of 2, titled "Dade Curb Mount & Dade Self Flashing", prepared by Maxim Industries, Inc, dated 04/01/03, with no revision, signed and sealed by R. Boyette, P.E.

B. TESTS

1. Test report on Large Missile Impact Test per TAS 201, Cyclic Load Test per TAS 203 and Uniform Static air Pressure Test per TAS 202 on "Dade Self-Flashing, Dade Curb mount", prepared by Architectural Testing, Inc, report No. 01-43381.01 issued on 01/29/03, signed and sealed by S. M. Uric, P.E.

C. CALCULATIONS

1. Anchor calculations prepared by Richard Burette, signed and sealed by R. Burette on 02/11/03

D. MATERIAL CERTIFICATIONS

1. Notice of Acceptance No. 01-0709.07 issued to Sheffield Plastics, Inc on 08/23/01, expiring on 08/27/06.

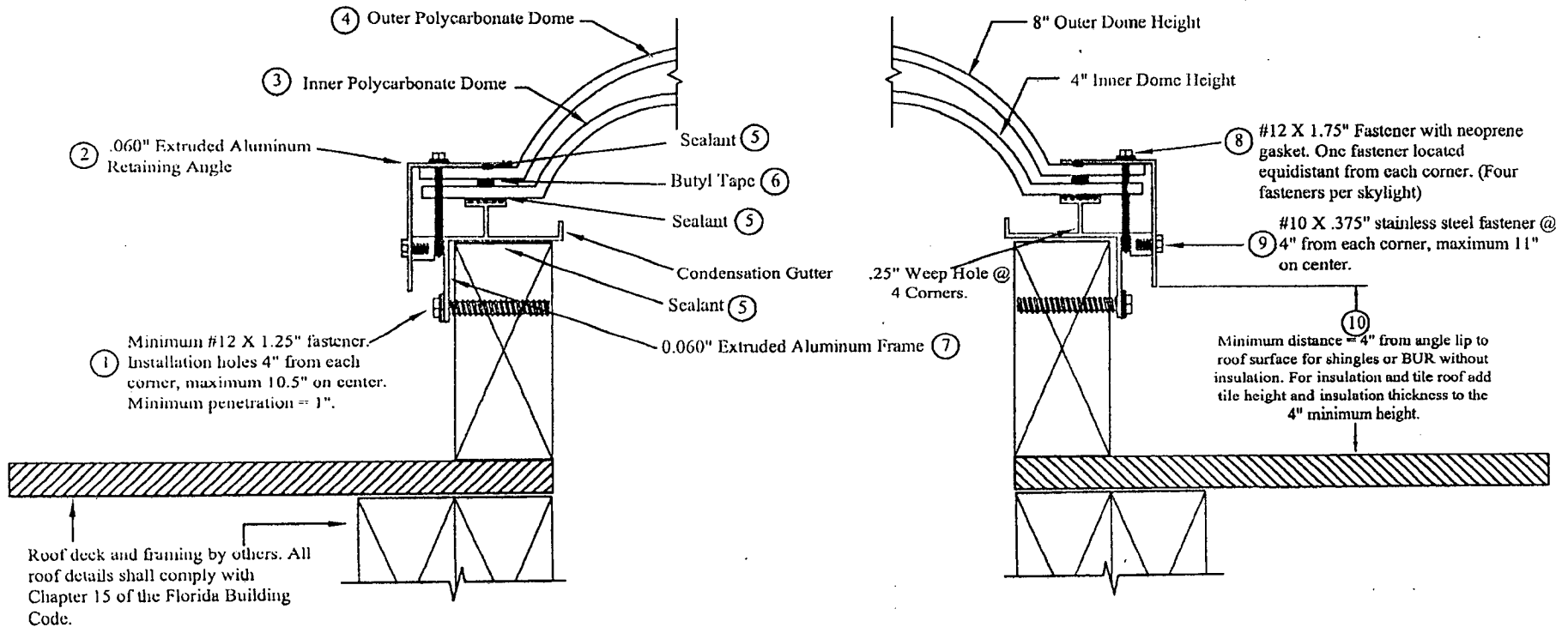
E. STATEMENTS

1. Code compliance letter issued by Richard Burette, PE on 02/11/03, signed and sealed by R. Boyette, PE.



Candido F, Font, P. E.
Senior Product Control Examiner
NOA No 03-0224.11
Expiration Date: May 15, 2008
Approval Date: May 15, 2003

- ① Minimum #12 X 1.25" fastener by others. Pre-punched installation holes 4" from each corner, maximum 10.5" on center. Minimum penetration = 1".
- ② .060" X 1.5" X 1.75" 6063-T6 extruded aluminum retaining angle. Aluminum angle mitered and welded @ 4 corners.
- ③ 52.5" X 100.375" X .118" Hyzod inner polycarbonate dome @ 4" height. NOA: #01-0709-07.
- ④ 52.5" X 100.375" X .118" Hyzod outer polycarbonate dome @ 8" height. NOA: #01-0709-07.
- ⑤ OSI PR 256 urethane sealant: Located between aluminum angle retainer and top dome & between bottom dome and aluminum frame.
- ⑥ Butyl tape: 1" X .125" located between top and bottom domes.
- ⑦ 6063-T5 Extruded Aluminum Frame. 0.060" shape mitered and welded @ 4 corners.
- ⑧ #12 X 1.75" Fastener. One fastener located equidistant from each corner. (Four fasteners per skylight)
- ⑨ #10 X .375" stainless steel fastener @ 4" from each corner, maximum 11" on center.
- ⑩ Minimum distance = 4" from angle lip to roof surface for shingles or BUR without insulation. For insulation and tile roof add tile height and insulation thickness to the 4" minimum height.
- ⑪ All units equal to or less than 32 square feet will be accepted under this NOA.



Dade Curb Mount Model

RICHARD BOYETTE

Date: 04/01/03 Draw. #DCM-1

Drawing: Dade Curb Mount

Sheet#: 1 of 2

Design Pressure: 60psf +/-

Max. Skylight ID: 51.75" X 99.75"

Approved as complying with the Florida Building Code

Date: 05/15/03
 NOA# 07-0224 II
 Miami Dade Project Control
 Division
 By: [Signature]

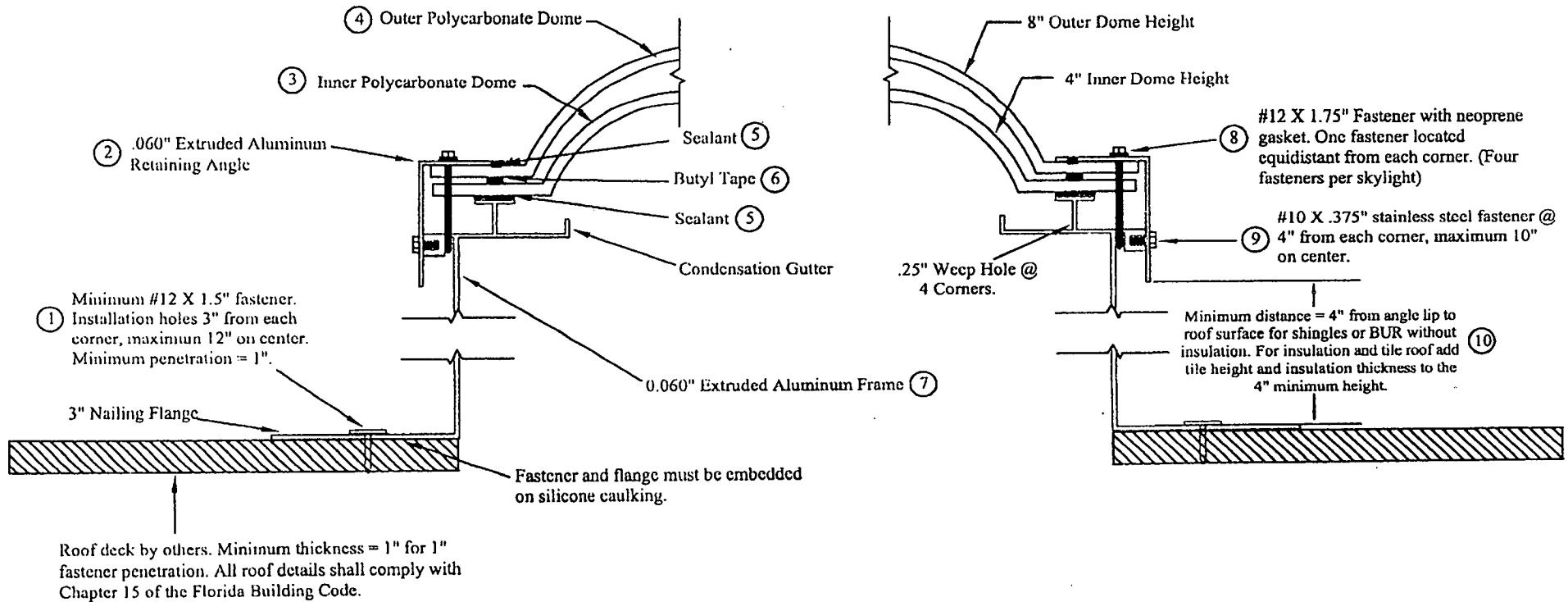
FL PE # 42485
 4031 COCONUT BLVD
 ROYAL PALM BCH FL 33411
 561-790-5766

[Signature]

MAXIM INDUSTRIES, INC

6170 Vanderbilt Avenue Dallas, TX 75214
 Phone: 214.824.1557 Fax: 240.371.7345

- ① Minimum #12 X 1.5" fastener by others. Pre-punched installation holes 3" from each corner, maximum 12" on center. Minimum penetration = 1".
- ② .060" X 1.5" X 1.75" 6063-T6 extruded aluminum retaining angle. Aluminum angle mitered and welded @ 4 corners.
- ③ 49" X 97" X .118" Hyzod inner polycarbonate dome @ 4" height. NOA: #01-0709-07.
- ④ 49" X 97" X .118" Hyzod outer polycarbonate dome @ 8" height. NOA: #01-0709-07.
- ⑤ OSI PR 256 urethane sealant: Located between aluminum angle retainer and top dome & between bottom dome and aluminum frame.
- ⑥ Butyl tape: 1" X .125" located between top and bottom domes.
- ⑦ 6063-T5 Extruded Aluminum Frame. 0.060" shape mitered and welded @ 4 corners.
- ⑧ #12 X 1.75" Fastener. One fastener located equidistant from each corner. (Four fasteners per skylight)
- ⑨ #10 X .375" stainless steel fastener @ 4" from each corner, maximum 10" on center.
- ⑩ Minimum distance = 4" from angle lip to roof surface for shingles or BUR without insulation. For insulation and tile roof add tile height and insulation thickness to the 4" minimum height.
- ⑪ All units equal to or less than 32 square feet will be accepted under this NOA.



Dade Self Flashing Model

Date: 04/01/03 Draw. #DSF-1
 Drawing: Dade Self Flashing
 Sheet#: 2 of 2
 Design Pressure: 60psf +/-
 Max. Skylight ID: 48" X 96"

Approved as complying with the
 Florida Building Code
 Date: 05/15/03
 NOA# 03-0224-11
 Miami Dade Product Control
 Division
 By: *[Signature]*

RICHARD BOYETTE
 FL PE # 42485
 4031 COCONUT BLVD
 ROYAL PALM BCH FL 33411
 561-790-5766

[Signature]
[Signature]
 5/15/03

MAXIM
 INDUSTRIES, INC

6170 Vanderbilt Avenue Dallas, TX 75214
 Phone: 214.824.1557 Fax: 240.371.7345

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5-31, 2006 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8206	<i>[Signature]</i>	Elec-Final on generator	PASS	
4	11 Heritage Way O/B			INSPECTOR: <i>[Signature]</i>
8100	Daley	Final roof	PASS	CLOSE
8235	5 Wouth Ct	termite	PASS	CLOSE
2	All Am. roof.			INSPECTOR: <i>[Signature]</i>
7883	Dennison	Final roof	PASS	CLOSE
1	49 W High Pt Rd Stuart Roofing			INSPECTOR: <i>[Signature]</i>
7390	Goldman	mechanical Final HVAC	PASS	
5	4 Summer Ln OB	708-1266		INSPECTOR: <i>[Signature]</i>
Tree	Connolly	Tree	PASS	
3	23 N. Ridgewood OB			INSPECTOR: <i>[Signature]</i>
6705	ANDERSON	FINAL	PASS	CLOSE
	9 PALMETTO PALM BCH. CREAT.			INSPECTOR: <i>[Signature]</i>
8019	ANTONELLI	FINAL FRAMING	PASS	CLOSE
	10 15 ROAD F.F.D.			INSPECTOR: <i>[Signature]</i>
OTHER:	LAMB.	FILL.		
	110 S.S.P.R.			