

108 Abbie Court



MARTIN COUNTY
BUILDING AND ZONING DEPARTMENT
BUILDING DIVISION

DESIGN CERTIFICATION FOR WIND LOAD
COMPLIANCE BY ARCHITECT OR ENGINEER
OF RECORD

PROJECT NAME AND ADDRESS

KIMMELMAN RESIDENCE

BUILDING DIVISION USE ONLY

BLDG. PERMIT # _____
OCCUPANCY TYPE _____
CONST. TYPE: _____
COMMENTS: _____

STATEMENT

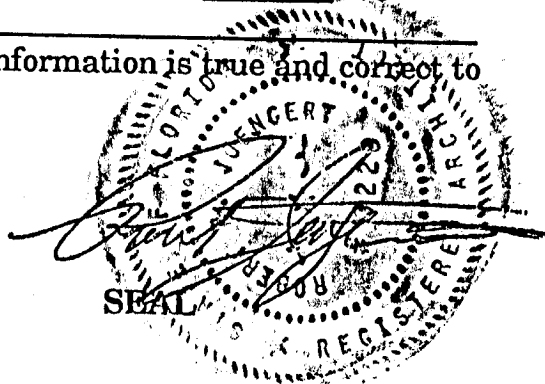
I certify that, to the best of my knowledge and belief, these plans and specifications have been designed to comply with the applicable structural portion of the Building Codes currently adopted and enforced by Martin County Building Division. I also certify that the structural elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I hereby accept responsibility for the structural design.

DESIGN PARAMETERS AND ANALYSIS

CODE EDITIONS: _____ 1997 SBC ASCE 7-88 _____ OTHER
BUILDING DESIGN AS: PARTIALLY ENCLOSED _____ ENCLOSED
OPEN _____
BASIC WIND SPEED 110 m.p.h. _____ 140 m.p.h.
IMPORTANCE/USE FACTOR 1.0
DESIGN WIND PRESSURE: MWFRS: 1/2 psf COMPONENTS AND CLADDING DESIGN PRESSURES SCHEDULED ON PLANS YES _____ NO
MINIMUM SOIL BEARING PRESSURE 2500 psf
EXPOSURE D
BUILDING HEIGHT 24'
FLOOR LOADS 50 PSF
ROOF DEAD LOAD 25 PSF
ROOF LIVE LOAD 30 PSF
SHEAR WALL CONSIDERED YES _____ NO
CONTINUOUS LOAD PATH PROVIDED YES _____ NO
COMPONENTS AND CLADDING DETAILS PROVIDED YES _____ NO

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge and belief.

NAME ROBERT P. JUENGERT
CERTIFICATION # AA 9229
DATE 1-29-99
DESIGN FIRM MCKLEY / JUENGERT BLDG DESIGN
OTHER _____



***** THIS FORM MUST INCLUDE THE PLAN REVIEW CHECKLIST IF IN THE "FAST TRACK" PERMIT PROGRAM. *****

MCBD FCRM #100

FIRST

Department of Community Affairs
 FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

SN: 4444

FORM 600A-93 Residential Whole Building Performance Method A SOUTH
 PROJECT NAME: SINGLE FAMILY BUILDER: M. MILLER & CO.
 AND ADDRESS: LEXINGTON MDL. PERMITTING CLIMATE
 PLM BCH CO., FL. OFFICE: GA-KMLMN ZONE: 7 | 8 | 9 |
 OWNER: KIMMELMAN PERMIT NO. JURISDICTION NO. CK

1. New construction or addition	1. New Construction
2. Single family detached or Multifamily attached	2. Single-Family
3. If Multifamily-No. of units	3. 0
4. If Multifamily, is this a worst case (yes/no)	4.
5. Conditioned floor area (sq. ft.)	5. 2761.00
6. Predominant eave overhang (ft.)	6. 1.60
7. Porch overhang length (ft.)	7. 16.00
8. Glass area and type:	Single Pane Double Pane
a. Clear Glass	8a. 0.0sqft 0.00sqft
b. Tint, film or solar screen	8b. 652.8sqft 0.00sqft
9. Floor type and insulation:	
a. Slab on grade (R-value, perimeter)	9a. R= 0.00 , 301.50 ft
10. Net Wall type area and insulation:	
a. Exterior 1. Concrete (Insulation R-value)	10a-1 R= 4.20, 2053.10sqft
b. Adjacent 2. Wood frame (Insulation R-value)	10b-2 R=11.00, 316.30sqft
11. Ceiling type area and insulation:	
a. Under attic (Insulation R-value)	11a. R=19.00 , 2886.00sqft
12. Air distribution systems	
a. Ducts (Insulation & Location)	12a. R= 6.00 , uncond
13. Cooling system	13. Type: Central A/C SEER: 11.50
14. Heating System:	14. Type: Strip Heat COP: 1.00
15. Hot water system:	15. Type: Electric EF: 0.88
16. Hot Water Credits: (HR-Heat Recover, DHP-Dedicated Heat Pump)	16.
17. Infiltration practice: 1, 2 or 3	17. 2
18. HVAC Credits: (CF-Ceiling Fan, CV-Cross vent, HF-Whole house fan, RB-Attic radiant barrier, MZ-Multisone)	18. CF
19. EPI (must not exceed 100 points)	19. 99.70
a. Total As-Built points	19a. 49102.58
b. Total Base points	19b. 49251.82

I Hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance in accordance with Section 553.908 F.S.

PREPARED BY: *Thomas H. Adams*
 DATE: 2 FEB 99

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER/AGENT: *[Signature]*
 DATE: 2/1/99

BUILDING OFFICIAL: *[Signature]*
 DATE: 2-29-99

**** INFILTRATION REDUCTION PRACTICE COMPLIANCE CHECKLIST ****

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
PRACTICE #1	606.1	COMPLY WITH ALL INFILTRATION PRESCRIPTIVES.	
Windows	606.1	Maximum of 0.34 CFM per linear foot of operable sash crack (includes sliding glass doors).	
Exterior & Adjacent Doors	606.1	Maximum of 0.5 CFM per sq. ft. of door area; solid core, wood panel, insulated or glass doors only.	
Exterior Joints & Cracks	606.1	To be caulked, gasketed, weather-stripped or otherwise sealed.	
PRACTICE #2	606.1	COMPLY WITH PRACTICE #1 AND THE FOLLOWING:	
Exterior Walls & Floors	606.1	Top plate penetrations sealed. Infiltration barrier installed. Sole plate/floor joint caulked or sealed.	
Exterior Walls & Ceilings	606.1	Penetrations, joints and cracks on interior surface caulked, sealed or gasketed.	
Ductwork	606.1	Ductwork in unconditioned space must be sealed.	
Fireplaces	606.1	Equipped with outside combustion air, doors and flue dampers.	
Exhaust Fans	606.1	Equipped with dampers. Combustion devices see 606.1.A.2.	
Combustion Heating	606.1	Combustion space and water heating systems provided with outside combustion air, except direct vent appliances.	
** OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.) **			
Water Heaters	612.1	Comply with efficiency requirements in Table 6-11. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas and heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78 percent.	
Shower Heads	612.1	Water flow must be restricted to no more than 3 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics must be insulated to a minimum of R-6. Air handlers shall not be installed in attics unless in mechanical closet.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1 602.1	Ceilings minimum R-19. Common Walls - Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

 SUMMER CALCULATIONS

BASE

AS-BUILT

GLASS				AS-BUILT								
ORIEN	AREA	x	BSPM = POINTS	TYPE	SC	ORIEN	AREA	x	SPM	x	SOP	= POINTS
N	62.00		109.7 6801.4	SGL TINT		N	4.0		65.2		.71	185.0
				SGL TINT		N	46.4		65.2		.87	2632.0
NE	48.00		109.7 5265.6	SGL TINT		N	11.6		65.2		.87	658.0
E	271.20		109.7 29750.6	SGL TINT		NE	48.0		94.5		.76	3447.4
				SGL TINT		E	39.0		133.9		.90	4682.6
				SGL TINT		E	18.0		133.9		.34	819.0
				SGL TINT		E	72.0		133.9		.43	4149.1
				SGL TINT		E	36.0		133.9		.59	2844.0
				BGL TINT		E	15.3		133.9		.68	1402.6
				SGL TINT		E	58.5		133.9		.93	7284.3
S	155.50		109.7 17058.3	SGL TINT		E	32.4		133.9		.87	3774.4
				SGL TINT		S	20.0		132.5		.81	2382.4
				SGL TINT		S	19.5		132.5		.86	2213.4
				SGL TINT		S	40.0		132.5		.90	4775.9
				SGL TINT		S	36.0		132.5		.30	1481.0
W	116.10		109.7 12736.2	SGL TINT		S	40.0		132.5		.30	1590.0
				SGL TINT		W	6.7		133.9		.86	768.5
				SGL TINT		W	12.0		133.9		.34	546.3
				SGL TINT		W	39.0		133.9		.59	3081.0
				SGL TINT		W	12.0		133.9		.34	546.3
				SGL TINT		W	26.4		133.9		.59	2085.5
				SGL TINT		W	20.0		133.9		.86	2284.2

.15 x COND. FLOOR / TOTAL GLASS * ADJ. x GLASS * ADJ GLASS	AREA	AREA	FACTOR	POINTS	POINTS	POINTS
.15	2,761.00	652.80	.634	71,612.16	45,432.26	53,364.63

NON GLASS		BSPM = POINTS		R-VALUE		AREA x SPM = POINTS	
AREA	x				AREA	x	
WALLS							
Ext	2053.1	1.6	3285.0	Ext NormWtBlock In	4.2	2053.1	2.28 4681.1
Adj	316.3	1.0	316.3	Adj Wood Frame	11.0	316.3	1.00 316.3
DOORS							
Ext	61.2	6.4	391.7	Ext Wood		61.2	9.40 575.3
Adj	18.0	2.6	46.8	Adj Insulated		18.0	2.60 46.8
CEILINGS							
UA	2761.0	.8	2208.8	Under Attic	19.0	2886.0	1.50 4329.0
FLOORS							
Slb	301.5	-20.0	-6030.0	Slab-on-Grade	.0	301.5	-20.00 -6030.0
INFILTRATION							
	2761.0	14.7	40586.7	Practice #2		2761.0	14.70 40586.7

TOTAL SUMMER POINTS	86,237.50	97,869.80
TOTAL x SYSTEM = COOLING		TOTAL x CAP x DUCT x SYSTEM x CREDIT = COOLING

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ENERGYMANAGEMENT

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SUM PTS	MULT	POINTS	COMPON	RATIO	MULT	MULT	MULT	POINTS
86,237.50	37	31,907.88	97,869.80	1.00	1.100	.300	.860	27,775.45

 ***** WINTER CALCULATIONS *****

BASE

AS-BUILT

GLASS ORIENT	AREA	X	BWPM =	POINTS	TYPE	SC	ORIENT	AREA	X	WPM	X	WOF	= POINTS
N	62.00		-.4	-24.8	SGL TINT		N	4.0		3.7		1.13	16.8
					SGL TINT		N	46.4		3.7		1.06	182.0
NE	48.00		-.4	-19.2	SGL TINT		N	11.6		3.7		1.06	45.5
E	271.20		-.4	-108.5	SGL TINT		NE	48.0		2.9		1.21	168.4
					SGL TINT		E	39.0		.2		5.25	25.3
					SGL TINT		E	18.0		.2		22.04	79.9
					SGL TINT		E	72.0		.2		16.61	239.2
					SGL TINT		E	36.0		.2		11.04	79.5
					SGL TINT		E	15.3		.2		6.38	25.7
					SGL TINT		E	58.5		.2		2.58	30.2
S	155.50		-.4	-62.2	SGL TINT		E	32.4		.2		3.78	24.5
					SGL TINT		S	20.0		-1.8		.76	-27.3
					SGL TINT		S	19.5		-1.8		.83	-29.1
					SGL TINT		S	40.0		-1.8		.90	-64.5
					SGL TINT		S	36.0		-1.8		-1.92	124.1
W	116.10		-.4	-46.4	SGL TINT		S	40.0		-1.8		-1.92	138.2
					SGL TINT		W	6.7		.2		4.06	5.8
					SGL TINT		W	12.0		.2		22.04	52.9
					SGL TINT		W	39.0		.2		11.04	86.1
					SGL TINT		W	12.0		.2		22.04	52.9
					SGL TINT		W	26.4		.2		11.04	58.3
					SGL TINT		W	20.0		.2		4.06	16.2

15 x COND. FLOOR / TOTAL GLASS	AREA	AREA	= ADJ. FACTOR	x	GLASS POINTS	=	ADJ GLASS POINTS	GLASS POINTS
15	2,761.00	652.80	.634	x	-261.12	=	-165.66	1,329.92

NON GLASS AREA	X	BWPM =	POINTS	TYPE	R-VALUE	AREA	X	WPM =	POINTS
WALLS									
Ext	2053.1	.3	615.9	Ext NonWtBlock In	4.2	2053.1	1.02	2094.2	
Adj	316.3	.5	158.1	Adj Wool Frame	11.0	316.3	.50	158.1	
DOORS									
Ext	61.2	1.8	110.2	Ext Wood		61.2	2.80	171.4	
Adj	18.0	1.3	23.4	Adj Insulated		18.0	1.30	23.4	
CEILINGS									
UA	2761.0	.1	276.1	Under Attic	19.0	2886.0	.30	865.8	
FLOORS									
Slb	301.5	-2.1	-633.1	Slab-on-Grade	.0	301.5	-2.10	-633.1	
INFILTRATION									
	2761.0	1.2	3313.2	Practice #2		2761.0	1.20	3313.2	

TOTAL WINTER POINTS	3,698.13							7,322.81
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TOTAL x SYSTEM = HEATING	TOTAL x CAP x DUCT x SYSTEM x CREDIT = HEATING
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ENERGYMANAGEMENT

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WIN PTS	MULT	POINTS	COMPO	RATIO	MULT	MULT	MULT	POINTS
3,698.13	1	4,067.94	7,321.84	1.00	1.100	1.000	1.000	8,058.13

ENERGY GUIDE

For detailed information of the EPI rating number or for any ITEM listed, ask your Builder for DCA Form 600A-93 or Form 600B-93

EPI = 99.7

0 10 20 30 40 50 60 70 80 90 100

The maximum allowable EPI is 100. The lower the EPI the more efficient the home.

RESIDENTIAL ENERGY PERFORMANCE RATING SHEET

ITEM	HOME VALUE	Low Efficiency	High Efficiency
WINDOWS.....	Single Tirt	SINGL CLR	DEL TINT
INSULATION.....			
Ceiling R-Value.....	19.0	R-10	R-30
Wall R-Value.....	4.2	R-0	R-7
Floor R-Value.....	0.0	R-0	R-19
AIR CONDITIONER.....			
SEER.....	11.5	10.0 SEER	17.0
HEATING SYSTEM.....			
Electric COP.....	1.0	2.50 COP	4.19
WATER HEATER.....			
Electric EF.....	0.88	0.88	0.96
Gas EF.....	0.00	0.54	0.90
Solar EF.....		0.40	0.80
OTHER FEATURES.....			

I certify that these energy saving features required for the Florida Energy Code have been installed in this house.

Address: _____ Builder Signature: _____ Date: _____

City/Zip _____
Florida Energy Code for Building Construction - 1993
Florida Department of Community Affairs

FL-EPL CARD93

*** MC^2 Engineering Software - Program RL5M ***

Computerized Energy Management

* < ACCA MANUAL "J" COOLING AN HEATING LOAD > *

C.E.M.
401 JOG RD. N.
W.P.B., FL 30413

Telephone: 1-516-686-5616
Contact: THOMAS ABBOTT

Computer Calculated Cooling/Heating Loads
for

KIMMELMAN

Date of
Inquiry

LEXINGTON MDL
PLM BCH CO., FL, SYSTEM-1
Job Number GA-KMLMN-1

Date job
Calculated:
Feb. 03, 1999

* AIR CONDITIONING *

Total Sensible Gain	32,810 BTUH
Rating Multiplier	1.00
Total Sensible Load for Sizing	32,810 BTUH
Latent Load	6,137 BTUH
Total Cooling Equip. Sizing Load	38,947 BTUH

* HEATING *

Total Sensible Heating Load	30,234 BTUH
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*** MC^2 Engineering Software - Program RL5M ***

Computerized Energy Management

* < ACCA MANUAL "J" COOLING AND HEATING LOAD > *

C.E.M. Telephone: 1-561-686-5616
401 JOG RD. N. Contact: THOMAS ABBOTT
W.P.B., FL. 33413

Computer Calculated Cooling/Heating Loads
for

KIMMELMAN

Date of
Inquiry:

LEXINGTON MDL.
PLM BCH CO., FL, SYSTEM-2
Job Number GA-KMLMN-2

Date job
Calculated:
Feb. 03, 1999

* AIR CONDITIONING *

Total Sensible Gain	10,333	BTUH
Rating Multiplier	1.00	
Total Sensible Load for sizing	10,333	BTUH
Latent Load	3,488	BTUH
Total Cooling Equip. Sizing Load	13,821	BTUH

* HEATING *

Total Sensible Heating Load

C.E.M.
401 JOG RD. N.
W.P.B., FL. 33413

<< LOAD DETAILS >>

KIMMELMAN
LEXINGTON MDL.
PLM BCH CO., FL, SYSTEM-2

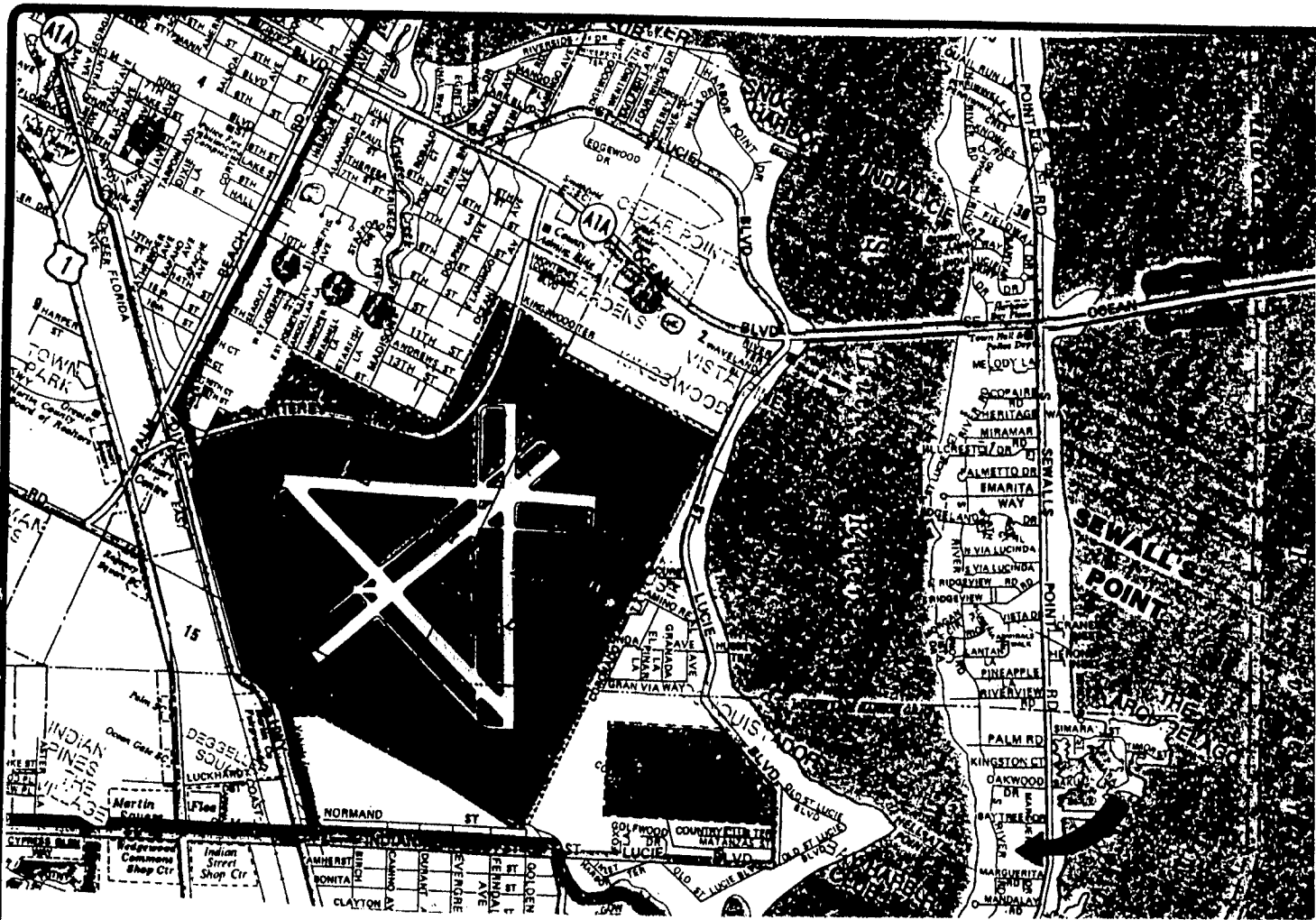
Run date - Feb. 03, 1999

Cooling Load

	Load Detail
Glass	890
Doors	486
Walls	3552
Roof	2012
Floor	0
Infil/Ventil	1254
People/Appli	1200
Duct Gains	939
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Tot. Sensible	10333
x Rating Mult	10333
Tot. Latent	3488
Tot. Clg. Load	13821
Air @ 329 CFM/T	283

Heating Load

	Load Detail
Glass	1258
Doors	612
Walls	1840
Roof	1259
Floor	2977
Infil/Ventil	3919
Duct Losses	1187
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Tot. Sensible	13051
Req Air (CFM)	237



LOCATION MAP

Approximate Scale: 1"=3600'



DESCRIPTION:

LOT 19, SEAWALL'S MEADOW, ACCORDING TO THE PLAT THEREOF AS RECORD IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR MARTIN COUNTY, FLORIDA, AS RECORDED IN PALT BOOK 14, PAGE 12.

THIS SURVEY IS ALSO CERTIFIED TO:
THE TOWN OF SEAWALL'S POINT

BOUNDARY SURVEY FOR:

JOEL AND SANDRA KIMMELMAN
MARTIN COUNTY, FLORIDA

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON WAS PERFORMED UNDER MY SUPERVISION AND IT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 61G17.6 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND FURTHER THAT THERE ARE NO VISIBLE ABOVE GROUND ENCROACHMENTS UNLESS SHOWN OR NOTED.

NOTE:

This drawing is not valid without embossed seal of Surveyor.

Survey is based upon description as furnished by client. Only filed plat data is shown, unless stated otherwise.

Richard N. Dean
RICHARD N. DEAN
Registered Surveyor & Mapper
Florida Certificate No. 4406 EG15
LB 6071

THE SUBJECT PROPERTY IS LOCATED IN A FLOOD ZONE "C" AS GRAPHICALLY SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 120162 0002 D.

DATE	1-25-99
AS NOTED	99-110
CHECKED	
DRAWN	
BY	
2	

DEAN SURVEYING & MAPPING, INC.
THE MEASURING LINE SHALL GO FORTH - JER. 31:39

P.O. BOX 10642
RIVIERA BEACH, FL. 33419
224 SOUTH OLD DIXIE HIGHWAY, JUPITER, FL. 33458
(561) 625-8748

REVISIONS	
BY	

4573

ELEVATION
CERTIFICATE

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

SECTION A - PROPERTY OWNER INFORMATION			For Insurance Company Use:
BUILDING OWNER'S NAME Joel and Sandra Kimmelman			Policy Number
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 108 Abbie Court			Company NAIC Number
CITY Sewall's Point	STATE FI	ZIP CODE 34996	
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 19, SEWALL'S MEADOW, PLAT BOOK 14, PAGE 32			
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use Comments section if necessary.) Residential			
LATITUDE/LONGITUDE (OPTIONAL) (##° - ##' - ##.###" or ##.#####°)		HORIZONTAL DATUM: <input checked="" type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983	SOURCE: <input type="checkbox"/> GPS (Type): <input type="checkbox"/> USGS Quad Map <input checked="" type="checkbox"/> Other:

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER Sewall's Point 120164		B2. COUNTY NAME Martin		B3. STATE FI	
B4. MAP AND PANEL NUMBER 0002	B5. SUFFIX D	B6. FIRM INDEX DATE 6-16-92	B7. FIRM PANEL EFFECTIVE/REVISED DATE 10-19-96	B8. FLOOD ZONE(S) A8/C	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) 8

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.
 FIS Profile FIRM Community Determined Other (Describe):

B11. Indicate the elevation datum used for the BFE in B9: NGVD 1929 NAVD 1988 Other (Describe):

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
Designation Date

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Building Diagram Number 1 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO
Complete Items C3a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.
Datum _____ Conversion/Comments _____

Elevation reference mark used _____ Does the elevation reference mark used appear on the FIRM? Yes No

a) Top of bottom floor (including basement or enclosure) 11.30 ft.(m)

b) Top of next higher floor n/a. ft.(m)

c) Bottom of lowest horizontal structural member (V zones only) n/a. ft.(m)

d) Attached garage (top of slab) 10.97 ft.(m)

e) Lowest elevation of machinery and/or equipment servicing the building n/a. ft.(m)


f) Lowest adjacent grade (LAG) 10.2 ft.(m)

g) Highest adjacent grade (HAG) 10.5 ft.(m)

h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade n/d

i) Total area of all permanent openings (flood vents) in C3h n/d sq. in. (sq. cm)

License Number, Embossed Seal, Signature, and Date



PSW #4406 FLORIDA

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.
I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.
I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME Richard N. Dean LICENSE NUMBER PSM #4406

TITLE Professional Land Surveyor and Mapper	COMPANY NAME Dean Surveying and Mapping
ADDRESS 5114 Okeechobee Blvd.	CITY West Palm beach
SIGNATURE	STATE FL
	ZIP CODE 33417
	DATE 10-27-99
	TELEPHONE (561) 625-8748

From: mamiller20 <mamiller20@email.msn.com>
To: clerk@sewallspoint.org <clerk@sewallspoint.org>
Date: Thursday, December 09, 1999 5:16 PM
Subject: Permit #4573 Kimmelman Residence

Mr Edwin Arnold:

We have until December 15 to install the exhaust fan in the garage of this house. We have the sensor but the fan has been on order since the day after your approval. The shipper says it should be here on Tues or Wed (12/14 or 12/15). If this is the case we may not be able to make the 15th. Is there a way to get a few days extension in order to comply?

I called this afternoon, but you were in a meeting. So I thought maybe something in writing would be better. If you would like to meet with me, just let me know when.

Thank you for your consideration.


Bob Wiegenstein, Controller
M. Miller and Company, Inc.
561-748-4500
561-748-4433 Fax
mamiller20@msn.com

12/12/99

12/10/97

I HAVE LEFT A PHONE MESSAGE @ YOUR OFFICE THIS MORNING ADVISING THAT COMPLIANCE DEADLINE FOR PIDAL INSPECTION OF THE GARAGE VENTILATION WAS ESTABLISHED AS 12/17/99 (REFER TO FIELD COPY OF APPROVED SUBMITTAL)

I UNDERSTAND THIS TO BE SUFFICIENT DESPITE DELIVERY DELAYS.


BLAQ OFFICER

4646
POOL

MASTER PERMIT NO. ~~N/A~~ 4573

TOWN OF SEWALL'S POINT

Date 7/9/99

BUILDING PERMIT NO. 4646

Building to be erected for JOEL KIMMELMAN

Type of Permit POOL

Applied for by OLYMPIC POOLS OF STUART

(Contractor)

Building Fee \$240.00

Subdivision SEWALLS MEADOWS Lot 19

Block

Radon Fee

Address 108 ABBLE COURT

Impact Fee

Type of structure SFR (UNDER CONSTRUCTION)

A/C Fee

Electrical Fee

Parcel Control Number:

Plumbing Fee

Roofing Fee

Amount Paid \$240.00 Check # 2742 Cash

Other Fees ()

Total Construction Cost \$ 20,000.00

TOTAL Fees \$240.00

Signed [Signature] Applicant

Signed [Signature] TOWN BUILDING INSPECTOR

POOL / SPA PERMIT

INSPECTIONS			
SETBACKS	DATE _____	DECK	DATE _____
COMPACTION TESTS	DATE _____	ENCLOSURE & LATCH	DATE _____
GROUND ROUGH	DATE _____	DOOR ALARM(S)	DATE _____
STEEL & BOND	DATE _____	FINAL	DATE 7/15/99
LIGHT NITCHE	DATE _____		

INSP. RECORD ATTACHED

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector. FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT, NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE. DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!



2

1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

Wed, 12-15-99

PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4589	De Gioia 130 N.S.P. Rd.	mechanical ELECT. PLUMBING (FRANK - SUBJ. ALL)	PASSED	PM prefer - REINSPECT REQUIRED GROUND FLOOR
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4658	Foglia 103 H. Sewall	truss eng.	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4673	Foglia 110 H. Sewall	tie beam	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4565	Kennedy 3 Oak Hill Way	driveway form	PASSED	AM prefer
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4701	Foglia 103 H. Sewall Way	main drain steel & bonding	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4646	Kimmelman 19 Abbie Lane	pool final	PASSED	- SAMPLE FOR POOL SCREEN ENCLOSURE PERMIT STATUS
4753	108 ABBIE CT.	POOL SCREEN ENCL	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4527	Seeley 37 Lofling	slab	PASSED (PTC)	- REINSPECTION REQUIRED ALL PAD FTGS.

OTHER: _____

[Signature]



1998 - 1999
Town of Sewall's Point
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 Wed, 9-29-99

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4684	Laraway 15 Middle Rd. (Hi Pt.)	steel (pool)	CANCEL	REV. EDGR'G NOT RCD (OWNER ADVISED 9/28/99)
4542	Wulfleff 9 Simara St. (Archipelago)	roof final (REINSPECTION PER OWNER REQUEST) FINAL 3/10/99	VERIFIED RIDAC INSP.	- SEVERAL AREAS OF POOR WORKMANSHIP - EXPOSED EAST. (INSUFFICIENT TILE LAP)
4535	Gulick 7 S Sewall's Pt. Rd.	wall sheathing	PASSED	
4574	Giimes 15 C. Williams Way	sheathing (WALL)	PASSED	RECEIVED 2 SETS W/DTY WINDOW/DOOR PROD. APPL. FOR REVIEW
4676	Zotta 23 Castle Hill Way	deck (pool)	FAILED - NO ONE ON SITE TO CORRECT)	FORWARD SURVEY RCD 9/28 CC TO JOB SITE @ INSP. NEED ADD'L STR. CL. & 1/2" @ STEP
4676	Kimmelman 19 Abbie (Sew. Meadow)	pool deck	PASSED	- DECK EXCHANGED; REV. EDGR. W/DTY (SEALER) REQUIRED PROX TO FINAL
4657	Foglio 105 H. Sewall Way	underground electric	PASSED	
4657B	103 " " (Sew. Meadow)	" "	PASSED	

OTHER: 1. BETHANA - 3602 SE OCEAN: DELIVER 3 SETS (ALL) OF FIRE ALARM PERMIT APPL. DRAWINGS TO LARRY MASSING @ STUART F.D. 288-5363
 800 M.L. KING DRIVE
 11:30 AM

OK ✓ 2. STUKEL - 7 LAUTANA LN. T/R INSP. (OFF RIO VISTA)
 REPAIR SINK 3. ARMSTRONG - 41 W. HIGH POINT (INSP. RE: PENDING POOL REPAIR APPL.) 220-0670

INSPECTOR: _____ **DATE:** _____



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log
 Fri., 9-24-99 PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4683	Bruno/Andre's	final	FAILED	PM NOT READY - RESCHEDULE 9/27 AM (1ST) (NO REINSPECTION FEE)
	2710 E Ocean Harbour Bay			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4640	Amos	final dock	PASSED	* 7662
(DOCK)	42 S. Sewalls	1/2 dock	(PRIOR USP)	code for gate
(ELECT)	114	electric	PASSED	
4654				
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4659	Conway	pl. (rough)	PASSED	AAA REQUEST AM (9/24 8:50)
	17 N.E. Lofing	10:30 PVC-ACC? REINSPECTION WIFE 1:00 (QUEST CONCL.) PM	(ACC)	FIELD COPY (FORWARDED SURV) TO SITE (COMPLETION TESTS ON FILE) C
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
C 4553	Fadden	all trades	PASSED	2:00 PM C
	16 S. Sewalls	260-3342	(FULL FRAMING)	
	Ho. Rd.	JRPP		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4590	Gibbert	pl, e.c.	ELECT. PASSED	9:00 P.M.; REINSPECT. LATE AM
	2 E Hi Pt	HVIC/PLMB	FAIL	CALL FOR REINSPECT (NO FEE) CONTR. REP ON SITE
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4616	Kimmelmann	pool deck	FAILED	PM (1:00) INCOMPLETE - NO ONE ON SITE
	19 Abbie			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4665	Nicholas	slab	PASSED	AAA FORWARDED SURV. ON FILE NEEDS CONAP. / SOL. STER. REQUEST 1:00 - 1:30 (9/24 8:45)
	21 Castle Hill			

OTHER: _____

INSPECTOR: [Signature] **DATE:** 9/24/99



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

Mon. 8/23/99

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4534	Boston 1 Castle Hill Bay	Water/Tel. / Roof	???	METER 5C 83 608 62 817 846 Real 8319613 FPL 98 In place
4453	Schlumpf 10 Oak Hill Bay Castle Hill	Final	FAILED	INSPECTION REPORT & NOTICE OF NON-COMPLIANCE ISSUED.
4453	Fadden 1/5 Sewall's Pt. in Porch	Partial Elec	DID NOT PERFORM INSPECTION	FRAMING INSP. TEST REQUIRED; NO PLANS / TRUSS EAGER ON SITE. NO RECORD OF PRIOR INSPECTION.
4126	Abbey Ln 108 ABBIE CT. SEWALL'S MEADOW	partial plumbing inspect	Passed	OLYMPIC - 280-6070

OTHER: _____

INSPECTOR: _____ **DATE:** _____

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 7/9/99 BUILDING PERMIT NO. 4646
 Building to be erected for JOEL KIMMELMAN Type of Permit POOL
 Applied for by OLYMPIC POOLS OF STUART (Contractor) Building Fee \$240.00
 Subdivision SEWALLS MEADOWS Lot 19 Block _____ Radon Fee _____
 Address 108 ABIE COURT Impact Fee _____
 Type of structure SFR A/C Fee _____
 Electrical Fee _____
 Plumbing Fee _____
 Roofing Fee _____

Parcel Control Number: _____

Amount Paid \$240.00 Check # 2742 Cash _____ Other Fees (_____)
 Total Construction Cost \$ 20,000.00 TOTAL Fees \$240.00

Signed [Signature] Applicant
 Signed [Signature] Town Building Inspector

POOL / SPA PERMIT

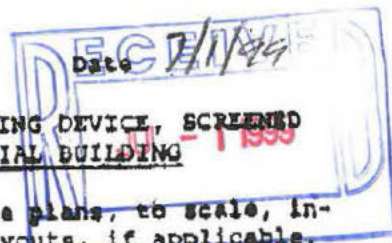
INSPECTIONS

SETBACKS	DATE _____	DECK	DATE _____
COMPACTION TESTS	DATE _____	ENCLOSURE & LATCH	DATE _____
GROUND ROUGH	DATE _____	DOOR ALARM(S)	DATE _____
STEEL & BOND	DATE _____	FINAL	DATE _____
LIGHT NITCHE	DATE _____		

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS – 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

- New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!



Permit No. _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Joel Kimmelman Present Address 163 Pepper Lane

Phone 485-8464 Jensen Bch, FL

Contractor Olympic Pools of Stuart Address 1565 SW. Martha Hwy

Phone 286-0070 Palm City, FL 34990

Where licensed State of Florida License number CA-039888

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition, or alteration to an existing structure, for which this permit is sought: Swimming Pool w/ Spa + Decking

Abbie Court 108 ABBIE COURT

State the street address at which the proposed structure will be built:

Subdivision Sewalls Meadows 19 Lot number _____ Block number _____

Contract price \$ 20,000 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner ~~red-tacking~~ the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted _____ Approved: _____
Building Inspector _____ Date _____

Approved: _____
Commissioner _____ Date _____ Final Approval given: _____
Date _____

Certificate of Occupancy issued (if applicable) _____

EXHIBIT "A"

Legal Description

Lot 19, SEWALL'S MEADOW, according to the Plat thereof, recorded in Plat Book 14, Page 2 of the Public Records of Martin County, Florida.

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
MADE BY _____

[Handwritten Signature]
2009





STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD
7960 ARLINGTON EXPRESSWAY
SUITE 300
JACKSONVILLE FL 32211-7467

(904) 727-6530

SMITH, KIM S
OLYMPIC POOLS OF STUART CORP
1565 SW MARTIN HWY
PALM CITY FL 34990-3390



STATE OF FLORIDA

AC# 51731

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CP -C039888 06/17/1998 979040

CERT COMMERCIAL POOL/SPA CONTR
SMITH, KIM S
OLYMPIC POOLS OF STUART CORP

IS CERTIFIED under the provisions of Ch. 489

Expiration Date: AUG 31, 2000

DETACH HERE

AC# 5173165

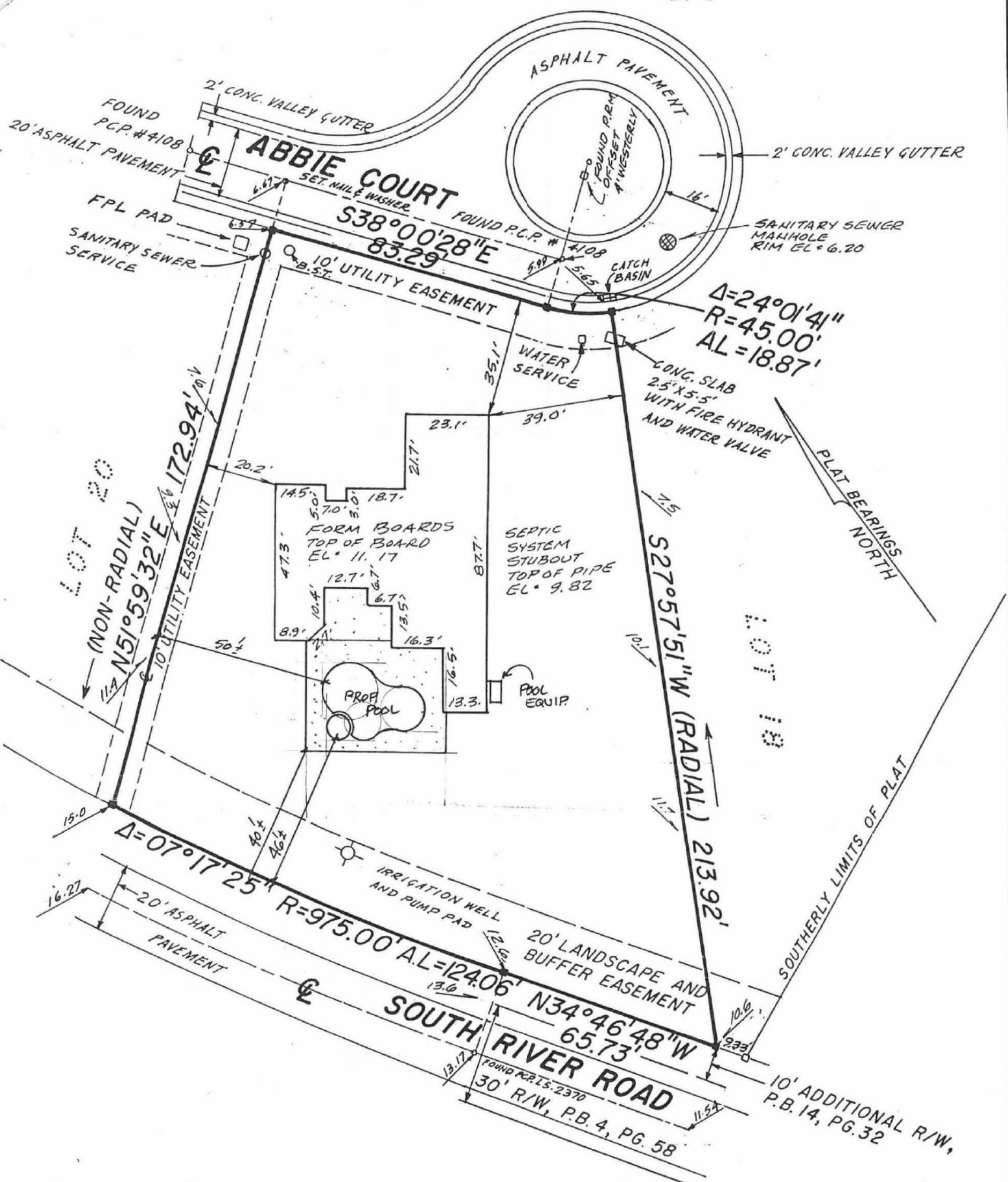
STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/17/1998	97904058	CP -C039888

The COMMERCIAL POOL/SPA CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2000

SMITH, KIM S
OLYMPIC POOLS OF STUART CORP
1565 SW MARTIN HWY
PALM CITY FL 34990-3390



LEGEND:

- INDICATES 1/2" IRON ROD & CAP L.S. #4406 SET BY THIS SURVEY
- INDICATES NAIL & WASHER SET IN CENTERLINE OF ROAD
- INDICATES WATER SERVICE
- INDICATES CABLE T.V. PEDESTAL
- INDICATES SANITARY SEWER SERVICE
- INDICATES OVERHEAD UTILITY LINE
- INDICATES ELEVATIONS AS EXPRESSED IN FEET AND DECIMAL PARTS THEREOF AS BASED UPON NATIONAL GEODETIC VERTICAL DATUM OF 1929, U.S.C. & G.S. "Q-236"
- INDICATES FOUND 4" X 4" CONCRETE MONUMENT
- B.S.T. INDICATES BELL SOUTH TELEPHONE PEDESTAL

X REVISION: FORM BOARD TIE-IN 4/26/99

BOUNDARY SURVEY FOR:
JOEL AND SANDRA KIMMELMAN
 MARTIN COUNTY, FLORIDA

DATE	2
SHEET	2
SCALE	1" = 30'
JOB NO.	99-110
DRAWN BY	JP
CHECKED BY	RND
DATE	

DEAN SURVEYING & DRAFTING
 THE MEASURING LINE SHALL GO FORTH - JER. 31:39
 P.O. BOX 10642
 RIVIERA BEACH, FL. 33419
 224 SOUTH OLD DIXIE HIGHWAY, JUPITER, FL. 33458
 (561) 625-8748

REVISIONS	BY

4718
SCREEN
ENCLOSURE

Phone 4680288
FAX 4680287

Town of Sewall's Point

PLN 4718
11/3/99

Date 10-28-99

BUILDING PERMIT APPLICATION

to construct:

NEW CONSTRUCTION ADDITION ALTERATION DEMOLITION

RESIDENTIAL COMMERCIAL _____ SF 28 CF

OTHER: Pool Enclosure CONTRACT PRICE 4000.00

Owner's Name Kimmelman, Joel & Sandra

Owner's Address 163 Pepper Lane Jensen Beach, FL 34957

Fee Simple Titleholder's Name (If other than owner) _____

Fee Simple Titleholder's Address (If other than owner) _____

City _____ State _____ Zip _____

Contractor's Name Coastal Aluminum Construction Inc.

Contractor's Address 4205 Metzger Rd

City Ft. Pierce State FL Zip 34947

Job Name M. Miller

Job Address 108 Abbie Ct.

City Sewall's Point State FL Zip _____

Legal Description Lot 19 Sewall's Meadow (PB14 PG32)

Bonding Company _____

Bonding Company Address _____

City _____ State _____ Zip _____

Architect/Engineer's Name Lawrence E. Bennett, P.E.

Architect/Engineer's Address PO Box 4368 S. Daytona, FL 32121

Mortgage Lender's Name _____

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES BOY FOR LEADERS TALKER

1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

FRI - 12-12-99

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4743 Master 4718	4718 Kimmelmann . 108 Abbey Ct.	final inspect pool etel.	PASSED	PM (INSY & SIGNOFF 12/15/99)
	4573 →	GARAGE CODE COMPL.		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4657	Foglia 105 H. Sewall	rough mech CANCEL (RA)	NO SEPARATE ? SUB TRIMME FRAMING INSP.	separate insp. ?
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4762	Foglia 105 H. Sewall	main drain bonding & steel	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4619	P.O.O.S 8 Quail Run	mech tens POWER	PASSED	1:00 called FPL w/ meter w/ (left message - l heri) 223-4208
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4768	SHAFFER 36 CASTLE HILL WAY	FINAL (C.O.)	PASSED	9:10 AM
4765		FINAL-STORM SHOTTER	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4628	Helmigel 11 C. Hill Way	tie beam	CANCEL (RAIN)	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR: _____

DATE: 12/17/99

2

1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

Wed, 12-15-99

PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4589	De Gioia 130 N.S.P. Rd.	mechanical ELECT. PLUMBING (FRANK - SUB) ALL	PASSED	PM prefer - REINSPECT REQUIRED GROUND FLOOR
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4658	Foglia 103 H. Sewall	truss eng.	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4673	Foglia 110 H. Sewall	tie beam	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4565	Kennedy 3 Oak Hill Way	driveway form	PASSED	AM prefer
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4761	Foglia 103 H. Sewall Way	main drain steel & bonding	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4646	Kimmelman 19 Abbie Lane	pool final	PASSED	- SA FILE FOR POOL SCREEN ENCLOSURE REMAIN STATUS
4753	108 ABBIE CT.	POOL SCREEN ENCL	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
V 4527	Seeley 37 Lofting	slab	PASSED (PTL)	- REINSPECTION REQUIRED ALL PAD FTGS.

OTHER:

INSPECTOR:

Table 1.6 Minimum Upright Sizes and Number of Screws for Connection of Roof Beams To Wall Uprights or Beam Splicing

Beam Size	Upright Size	Deck Anchors	Notes	* Minimum Number of Screws		
				#8 x 1/2"	#10 x 1/2"	#12 x 1/2"
2" x 3"	2" x 3"	2	No Splice	6	4	4
2" x 4"	2" x 3"	2		8	6	4
2" x 6"	2" x 3"	4	Full Lap	10	8	6
2" x 6"	2" x 4"	4	Partial Lap	10	8	6
2" x 7"	2" x 4"	4		14	12	10
2" x 8"	2" x 6"	6		16	14	12
2" x 9"	2" x 6"	6		18	16	14

Screw Size	Minimum Distance and Spacing of Screws	
	Edge To Center	Center To Center
#8	5/16"	5/8"
#10	3/8"	3/4"
#12	1/2"	1"

* Refers to each side of the connection of the beam and upright.

Note:

Use full lap cut detail for 2" x 6" beam to 2" x 3" upright.
 Connection of 2" x 6" to 2" x 3" not allowed for partial lap connections.
 For beam to beam splice size and number of fasteners is per side per end of splice.
 Spans are based on 120 M P H wind load. Multiply spans/heights by 0.85 to obtain spans/heights for 140 M P H.
 Deck anchors are based on rawl tapper load data for 2500 p.s.i. concrete.

Table 1.7 Minimum Size Screen Enclosure Knee Braces And Anchoring Required
 Aluminum 6063 T-6

Brace Length	Extrusion	Anchoring System
0' - 2'-0"	2" x 2" x 0.044"	2" H-Channel With (3) #10 x 1/2" EACH SIDE
To 3'-0"	2" x 3" x 0.050"	2" H-Channel With (3) #10 x 1/2" EACH SIDE
To 4'-6"	2" x 4" x 0.044" x 0.12"	Notch S M B. Over Beam And Upright (4) #10 x 1/2" Each Side

(See Table 1.6 For Number And Size Of Screws)

Note:

- For Required Knee Braces Greater Than 4'-6" Contact Engineer For Specifications And Details.
- Cantilever beam detail shown on page shall be used for host structure attachment when knee brace length exceeds 4'-6"

Lawrence E. Bennett, P.E.

CIVIL ENGINEER - DEVELOPMENT CONSULTANT
 P. O. BOX 4368, SOUTH DAYTONA, FL 32121
 TELEPHONE (904) 767-4774
 FAX (904) 767-6556



COASTAL ALUMINUM
 CONSTRUCTION, INC.
 1423 SW MACEDO BLVD
 PORT ST. LUCIE, FL 34984
 (407) 871-0223

SEAL

PAGE

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NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF LAWRENCE E. BENNETT, P. E.

MASTER PERMIT NO. 4573

TOWN OF SEWALL'S POINT

Date 11/3/99

BUILDING PERMIT NO. 4718

Building to be erected for JOEL KIMMELMAN

Type of Permit POOL ENCL.

Applied for by COASTAL ALUMINUM CONST.

(Contractor) Building Fee \$38.40

Subdivision SEWALL'S MEADOW Lot 9 Block _____

Radon Fee _____

Address 108 ABBIE COURT

Impact Fee _____

Type of structure S.F.R. (UPPER CONST.)

A/C Fee _____

Parcel Control Number: _____

Electrical Fee _____

Amount Paid \$42.24 Check # 5272 Cash _____

Plumbing Fee _____

Total Construction Cost \$4,000.00

Roofing Fee _____

Other Fees (PLUMB REVIEW) 3.84

TOTAL Fees \$42.24

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector

SCREEN ENCLOSURE PERMIT

INSPECTIONS

SETBACKS DATE _____

STEEL & BOND
FINAL

DATE _____
DATE 12/15/99 JK

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.

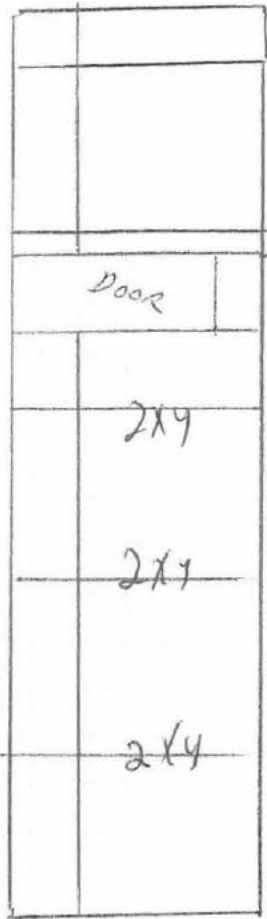
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

Coastal Aluminum Construction, Inc.
 4205 Metzger Rd., Fort Pierce, FL 34947

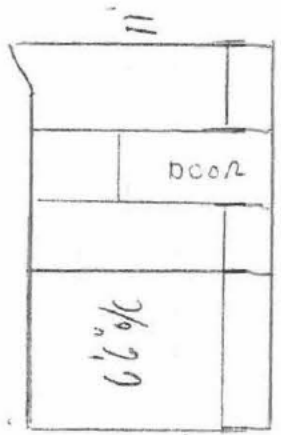
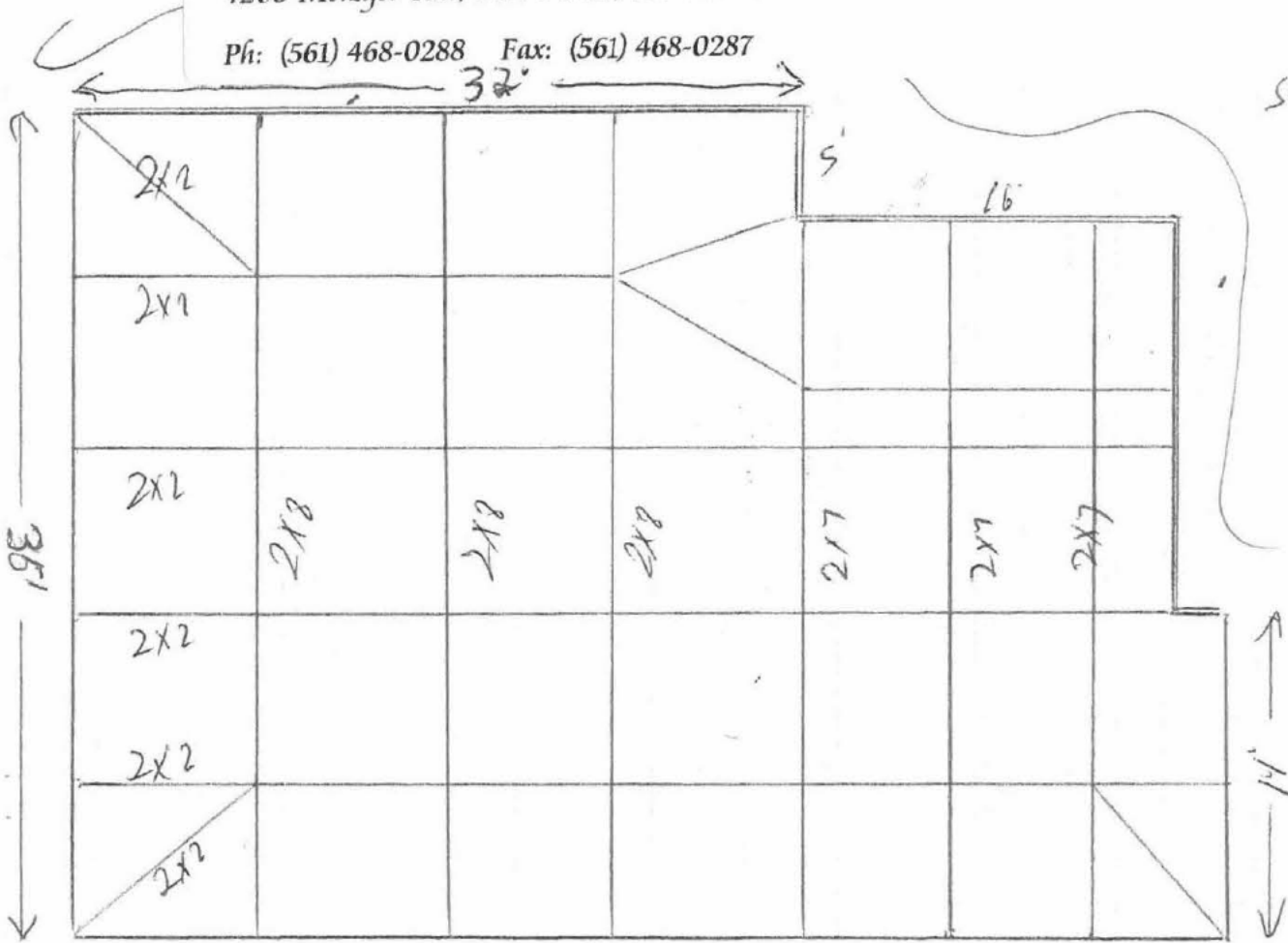
Ph: (561) 468-0288 Fax: (561) 468-0287

Mark Miller Co

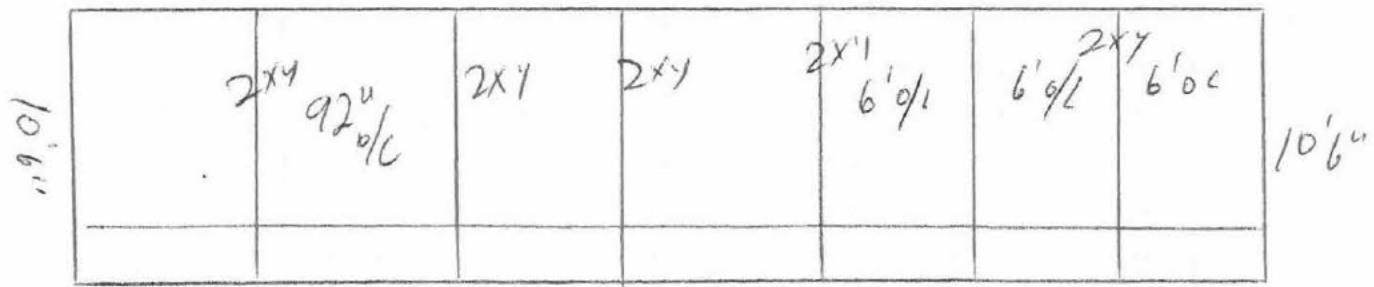
Sewall's Meade



10'6"



10'6"



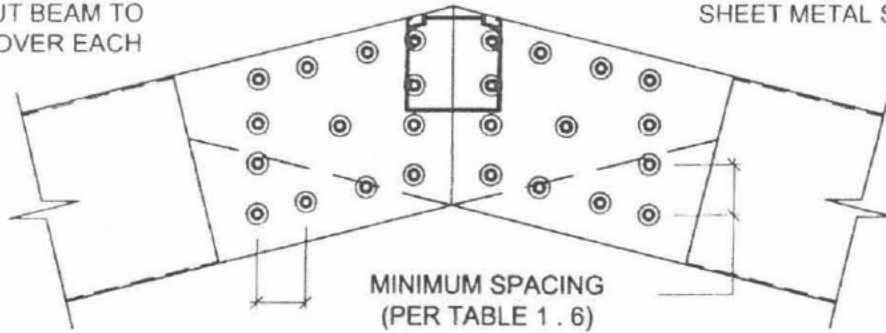
10'0"

10'6"

CONNECTION (PLATE INSIDE BEAM) OTHER OR CUT FOR GUSSET PLATE CUT BEAM TO SLIDE OVER EACH

2" x 2" PURLINS ATTACHED TO BEAM WITH (2) #10 x 1 1/2" SHEET METAL SCREWS

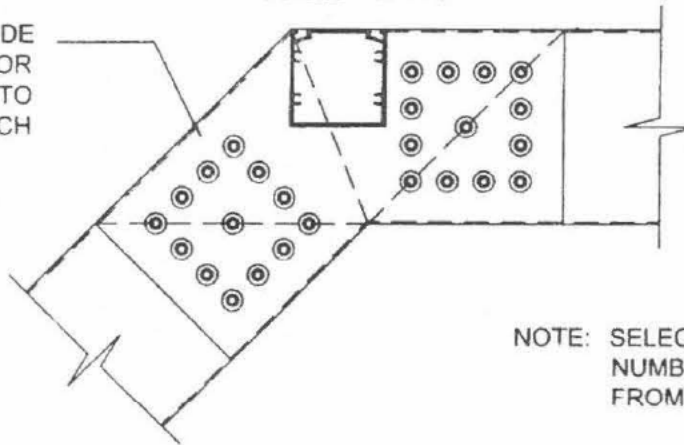
GUSSET PLATE TO BE SAME THICKNESS AS BEAM WEB



TYPICAL SIDE PLATE CONNECTION

SCALE: 1/4" = 1"

CONNECTION (PLATE INSIDE BEAM) OTHER OR CUT FOR GUSSET PLATE CUT BEAM TO SLIDE OVER EACH



NOTE: SELECT FASTENER SIZE, NUMBER AND SPACING FROM TABLE 1.6

TYPICAL SIDE PLATE CONNECTION - MANSARD ROOF

SCALE: 1/4" = 1"

d = HEIGHT OF BEAM
BEAM SPLICE SHALL BE MIN. d-50" HEIGHT
2 x (d - .50") LENGTH

SPLICE TO BE LOCATED 1/4 TO 1/3 BEAM SPAN AND STAGGERED EACH SIDE OF SELF MATING BEAM

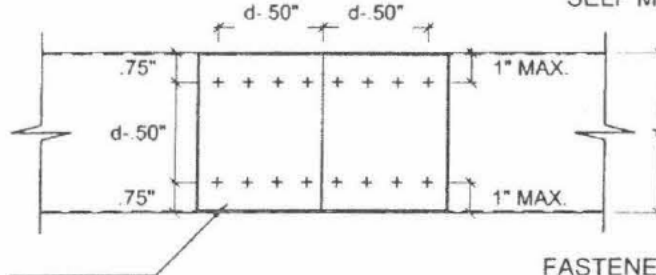


PLATE CAN BE INSIDE OR OUTSIDE BEAM OR LAP CUT DENOTES SCREW PATTERN NOT NUMBER OF SCREWS

FASTENER SIZE, NUMBER AND SPACING (SEE TABLE 1.6)

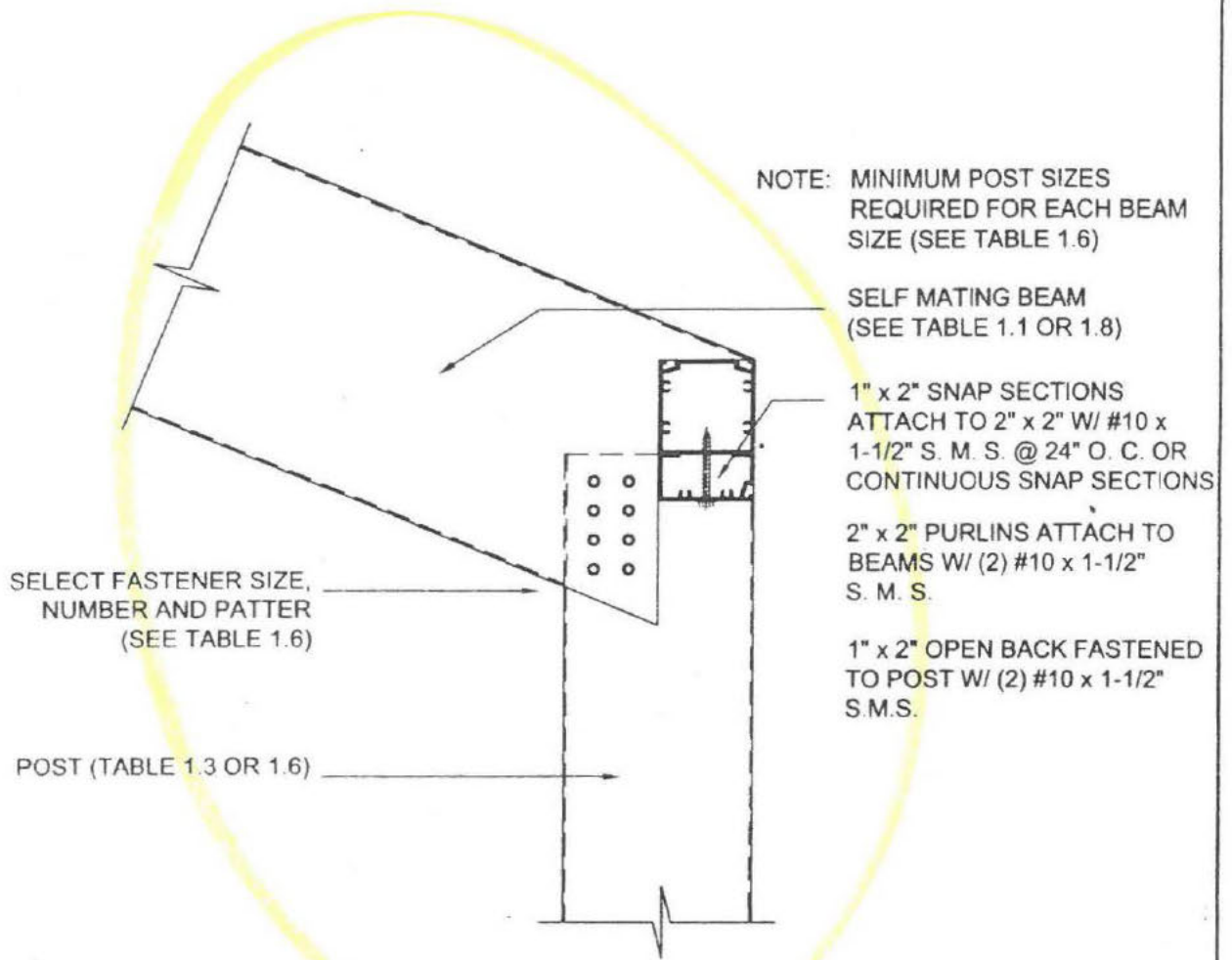
TYPICAL BEAM SPLICE DETAIL

SCALE: 1/4" = 1"

SEAL

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P.O. BOX 4368, SOUTH DAYTONA, FL 32121
TELEPHONE (904) 767-4774
FAX (904) 767-6556

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SLOPING BEAM TO UPRIGHT CONNECTION DETAIL (PARTIAL LAP)

SCALE: 1/4" = 1"

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Table 1.1 Allowable Spans For Primary Screen Roof Members
 Aluminum Alloy 6063 T-6
 For areas with wind loads 120 M.P.H. or less and
 Latitudes below 30° North

Hollow Sections	Load Width "W" = Beam Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Span "L"						
2" x 2" x 0.032"	11'-4"	9'-10"	8'-10"	8'-0"	7'-5"	6'-11"	6'-7"
2" x 2" x 0.036"	12'-5"	10'-9"	9'-8"	8'-10"	8'-2"	7'-7"	7'-2"
2" x 2" x 0.044"	13'-7"	11'-9"	10'-6"	9'-7"	8'-11"	8'-4"	7'-10"
2" x 2" x 0.055"	14'-10"	12'-10"	11'-6"	10'-6"	9'-9"	9'-1"	8'-7"
2" x 3" x 0.050"	20'-5"	17'-8"	15'-10"	14'-5"	13'-4"	12'-6"	11'-9"
2" x 4" x 0.050"	25'-3"	21'-10"	19'-7"	17'-10"	16'-6"	15'-5"	14'-7"

Self-Mating Sections	Load Width "W" = Beam Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Span "L"						
2" x 4" x 0.038" x 0.100"	26'-7"	23'-1"	20'-7"	18'-10"	17'-5"	16'-4"	15'-4"
2" x 6" x 0.050" x 0.120"	39'-4"	34'-1"	30'-6"	27'-10"	25'-9"	24'-1"	22'-9"
2" x 7" x 0.055" x 0.120"	44'-11"	38'-11"	34'-10"	31'-10"	29'-5"	27'-7"	25'-11"
2" x 8" x 0.072" x 0.120"	57'-9"	50'-0"	44'-9"	40'-10"	37'-10"	35'-4"	33'-4"
2" x 9" x 0.072" x 0.224"	63'-2"	54'-8"	48'-11"	44'-8"	41'-4"	38'-8"	36'-6"
2" x 9" x 0.082" x 0.310"	68'-11"	59'-8"	53'-5"	48'-9"	45'-1"	42'-2"	39'-9"

Snap Sections	Load Width "W" = Beam Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Span "L"						
2" x 2" x 0.041"	15'-7"	13'-6"	12'-1"	11'-1"	10'-3"	9'-7"	9'-0"
2" x 3" x 0.045"	20'-3"	17'-7"	15'-8"	14'-4"	13'-3"	12'-5"	11'-8"
2" x 4" x 0.045"	25'-1"	21'-9"	19'-5"	17'-9"	16'-5"	15'-5"	14'-6"
2" x 6" x 0.062"	42'-7"	36'-11"	33'-0"	30'-2"	27'-11"	26'-1"	24'-7"
2" x 7" x 0.052"	47'-9"	41'-4"	36'-11"	33'-9"	31'-3"	29'-3"	27'-7"

Example:

If beam spacing "W" = 4'-0"

Maximum "L" for a 2" x 4" x 0.038" x 0.100" Self-Mating Beam =

23'-1"

Interpolation of tables is allowed

Above spans do not include length of knee brace. Add horizontal length of knee brace to above spans for total beam spans

Purlin spacing shall not exceed 7'-0". For beam spans greater than 40'-0" the beam at the center purlin and one purlin for each 14'-0" on each side of the center purlin shall include lateral bracing as shown in detail (48'-0") span with purlins at 7'-0" o.c. center purlin and (2) purlins each side of center purlin need lateral bracing

Note:

It is recommended that the engineer be consulted on any screen enclosure that spans more than 55'-0" and as a minimum the upright used for screen enclosures over 55'-0" shall be one self-mating section smaller than the beam section.

Spans are based on 120 M.P.H. wind load. Multiply spans/heights by 0.85 for 140 M.P.H.

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 PORT ST. LUCIE, FL 34984
 (407) 871-0223

Lawrence E. Bennett, P.E.
 CIVIL ENGINEER - DEVELOPMENT CONSULTANT
 P.O. BOX 4368, SOUTH DAYTONA, FL 32121
 TELEPHONE (904) 767-4774
 FAX (904) 767-6556

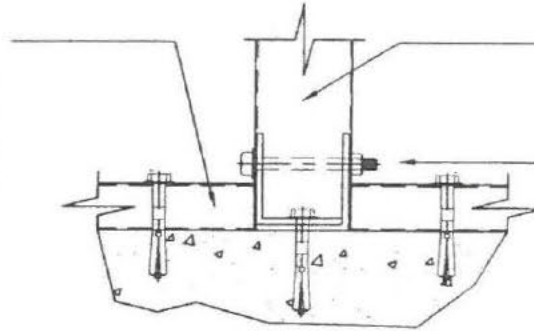
SEAL

SECTION 1

SCREENED ENCLOSURES

1" x 2" EXTRUSION

ANCHOR 1" x 2" x 0.044" PLATE TO CONCRETE W/ 1/4" x 2-1/2" CONCRETE ANCHORS WITHIN 6" OF EACH SIDE OF EACH POST @ 24" O.C. MAX. OR THROUGH ANGLE @ 24" O.C. MAX.



POST SIZE
(SEE ENGINEERING TABLES)

1/4" DIAMETER THRU-BOLTS

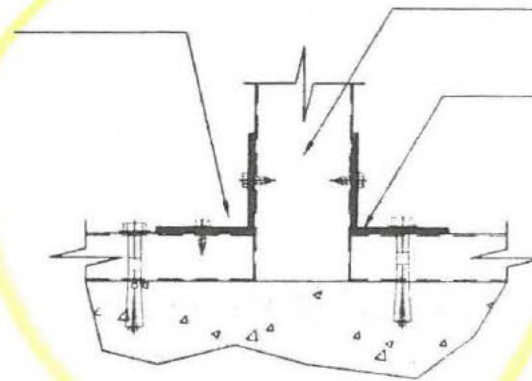
MIN. 3-1/2" SLAB 2500 P.S.I. CONCRETE 6 x 6 - 10 x 10 WELDED WIRE MESH OR FIBER MESH CONCRETE VAPOR BARRIER UNDER CONCRETE

POST TO PLATE TO CONCRETE DETAIL

SCALE: 1/4" = 1"

1" x 2" EXTRUSION

ANCHOR 1" x 2" x 0.044" PLATE TO CONCRETE W/ 1/4" x 2-1/2" CONCRETE ANCHORS WITHIN 6" OF EACH SIDE OF EACH POST @ 24" O.C. MAX. OR THROUGH ANGLE @ 24" O.C. MAX.



POST SIZE
(SEE ENGINEERING TABLES)

2" x 2" x 1/8" ANGLE EACH SIDE ATTACH TO POST AND CONCRETE @ LOAD BEARING WALL W/ (2) MIN. #10 x 1/2" S.M.S. EACH SIDE

ANGLES AS SHOWN ABOVE MAY BE USED TO CONNECT CHAIRRAILS AND PURLINS

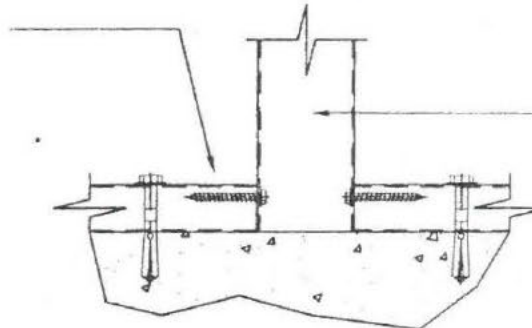
VAPOR BARRIER UNDER CONCRETE

ALTERNATE POST TO BEAM AND PLATE TO CONCRETE DETAIL

SCALE: 1/4" = 1"

1" x 2" EXTRUSION

ANCHOR 1" x 2" x 0.044" PLATE TO CONCRETE W/ 1/4" x 2-1/4" CONCRETE ANCHORS WITHIN 6" OF EACH SIDE OF EACH POST @ 24" O.C. MAX.



POST SIZE
(SEE ENGINEERING TABLES)

VAPOR BARRIER UNDER CONCRETE

SIDE WALL POST TO PLATE TO CONCRETE DETAIL

SCALE: 1/4" = 1"

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TELEPHONE (904) 767-4774
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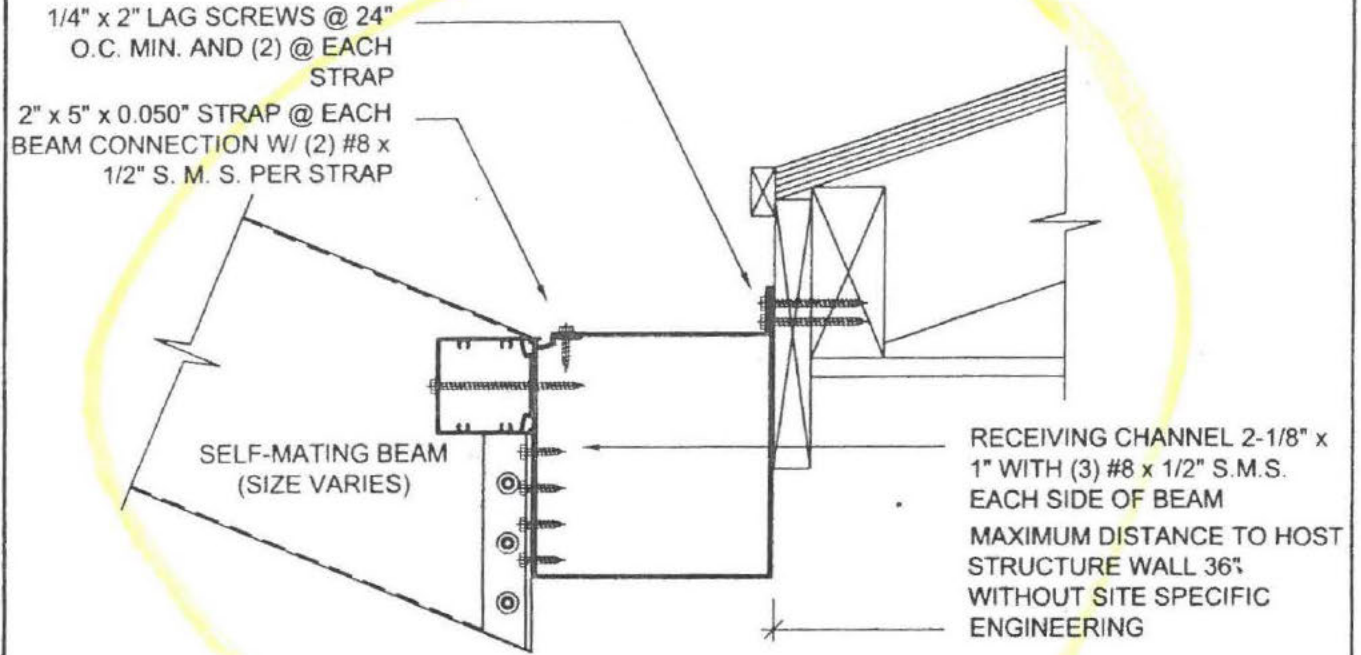
SEAL

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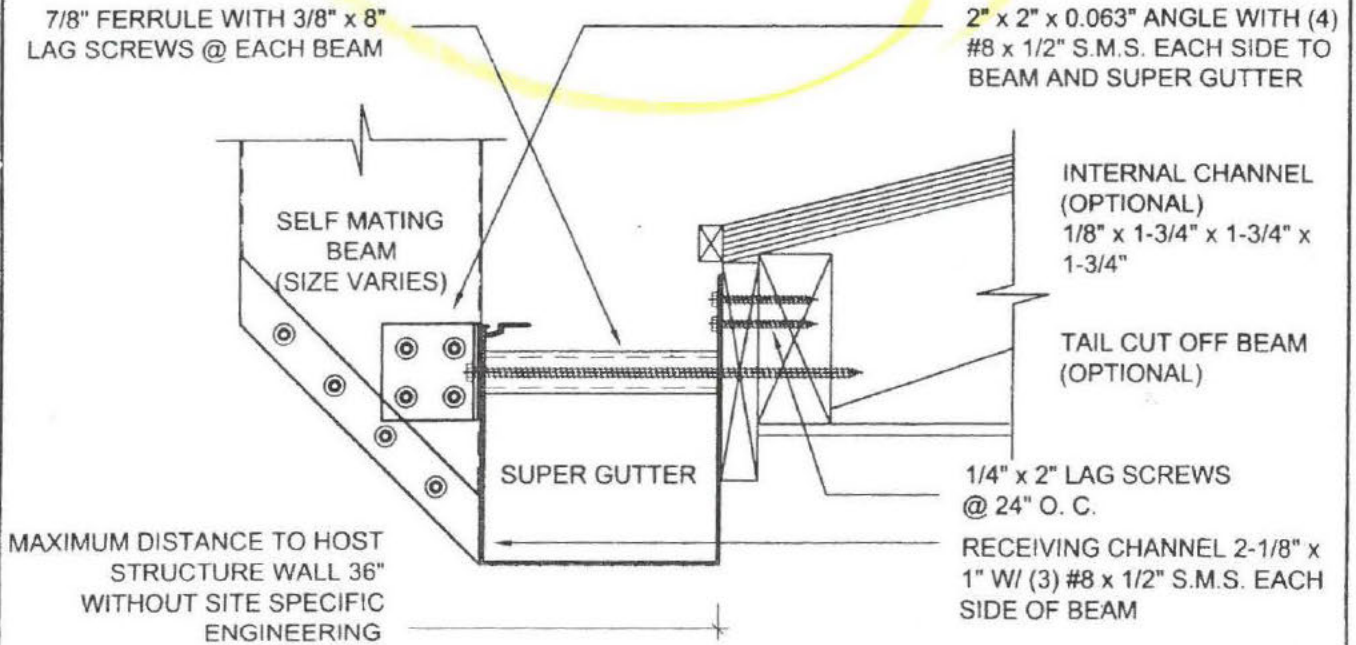
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SELF MATING BEAM CONNECTION TO SUPER GUTTER

SCALE: 1/4" = 1"



TYPICAL SELF MATING BEAM AND GUTTER CONNECTION

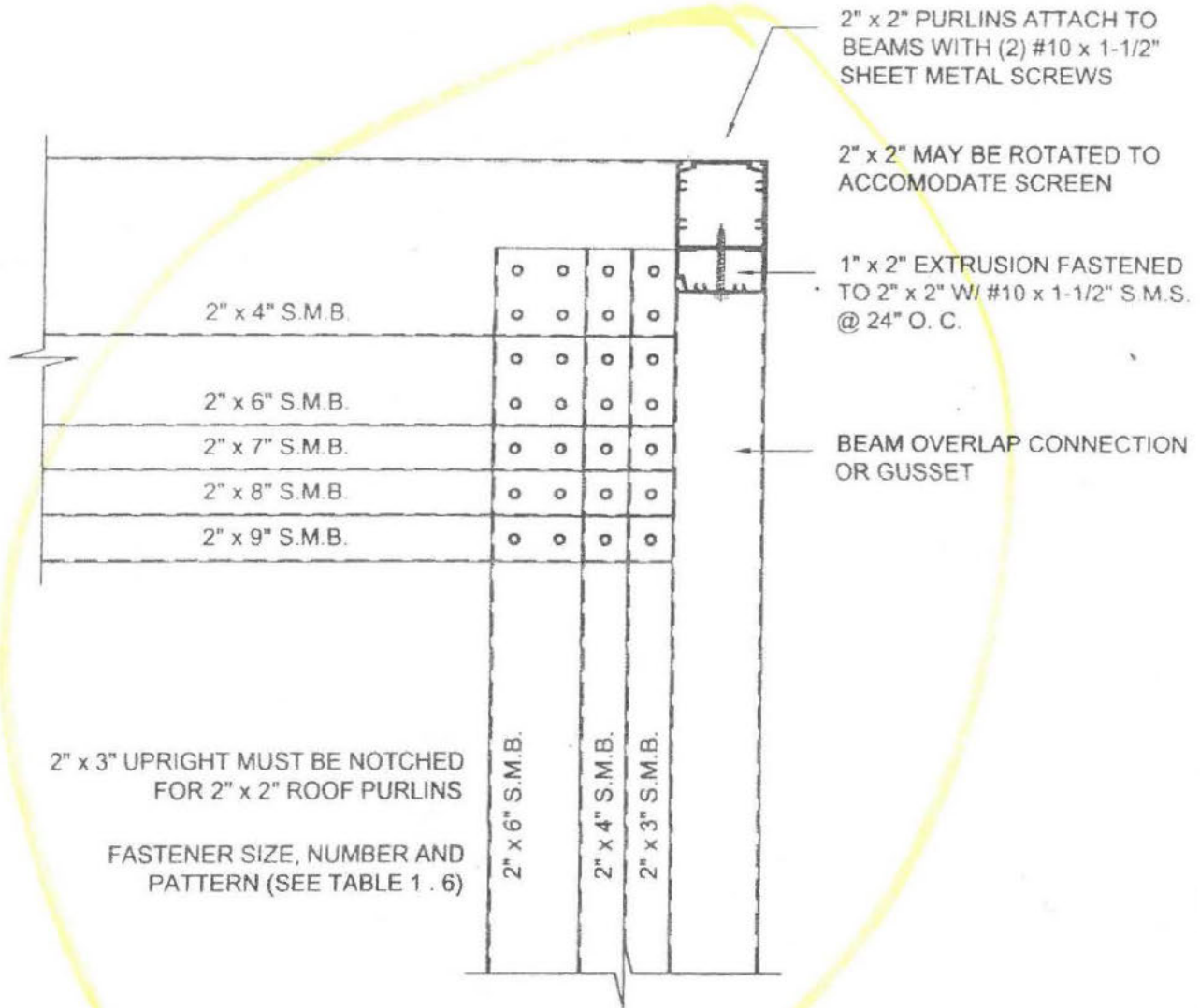
SCALE: 1/4" = 1"

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NOTE: MINIMUM POST SIZES REQUIRED FOR EACH BEAM SIZE (SEE TABLE 1.6)



HORIZONTAL BEAM TO UPRIGHT CONNECTION DETAIL (PARTIAL LAP)

SCALE: 1/4" = 1"

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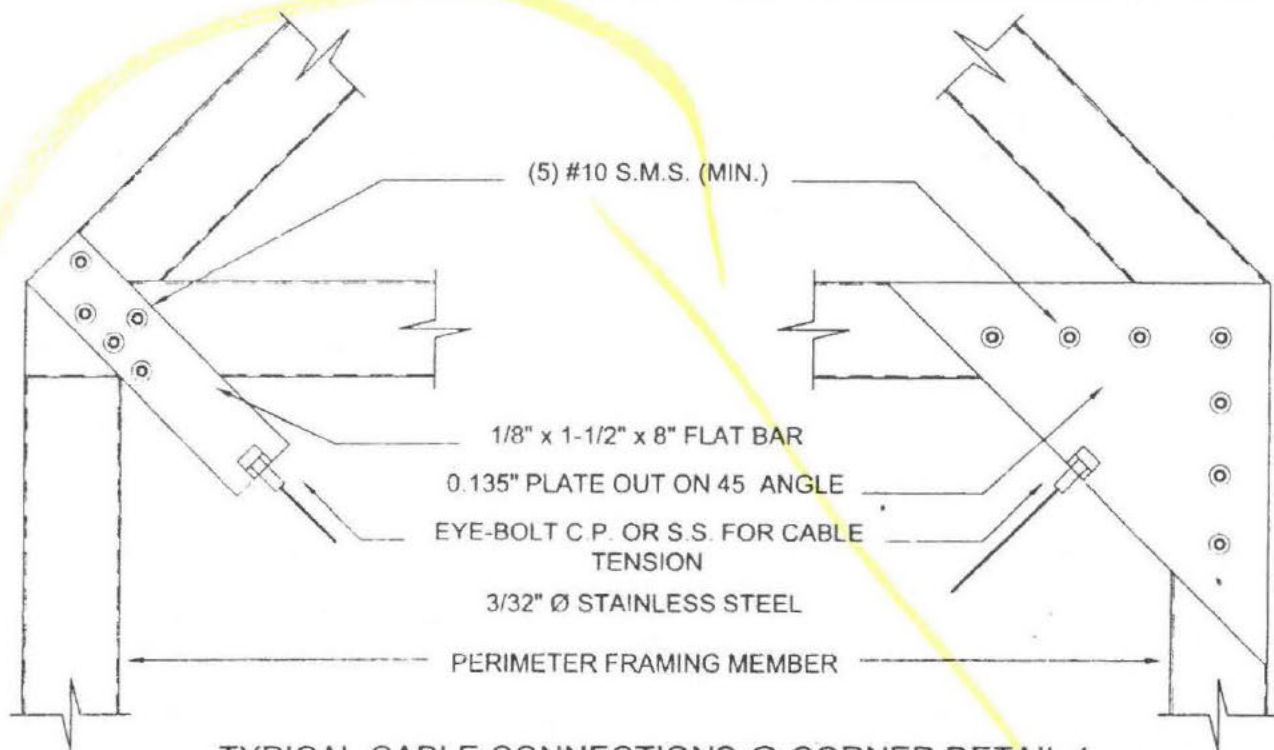
SEAL

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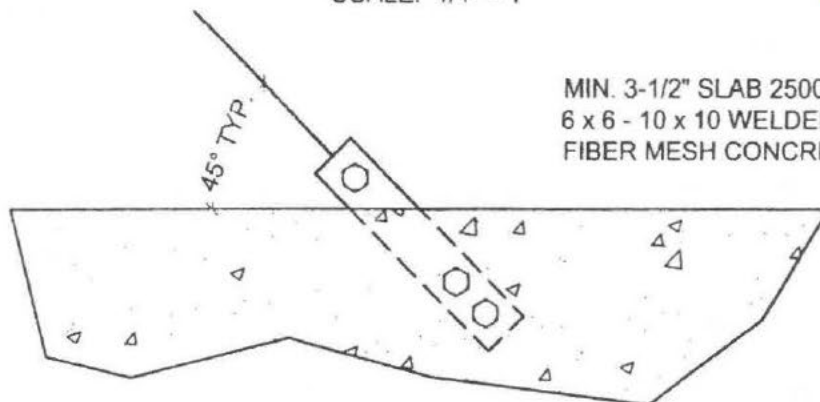
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TYPICAL CABLE CONNECTIONS @ CORNER DETAIL 1

SCALE: 1/4" = 1"



MIN. 3-1/2" SLAB 2500 P.S.I. CONCRETE
6 x 6 - 10 x 10 WELDED WIRE MESH OR
FIBER MESH CONCRETE

TYPICAL CABLE CONNECTIONS @ FOUNDATION DETAIL 2

SCALE: 1/4" = 1"

NOTE: SIDE WALL CABLES ARE NOT REQUIRED ON POOL CAGES THAT DO NOT EXTEND MORE THAN THREE PANEL WIDTHS OR 29'-0" FROM THE MAIN STRUCTURE. END WALL CABLES ARE REQUIRED IF THE SCREENED ENCLOSURE EXTENDS MORE THAN ONE PANEL WIDTH OR 9'-0" FROM THE MAIN STRUCTURE. THE USE OF BLIND OR INTERNAL SCREW CONNECTIONS IN THE CONSTRUCTION OF SCREENED ENCLOSURES IS ACCEPTABLE. (1) PAIR OF CABLES REQUIRED FOR EACH 300 SQ. FT. OF WALL AREA

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P.O. BOX 4368, SOUTH DAYTONA, FL 32121
TELEPHONE (904) 767-4774
FAX (904) 767-6556



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SECTION 1

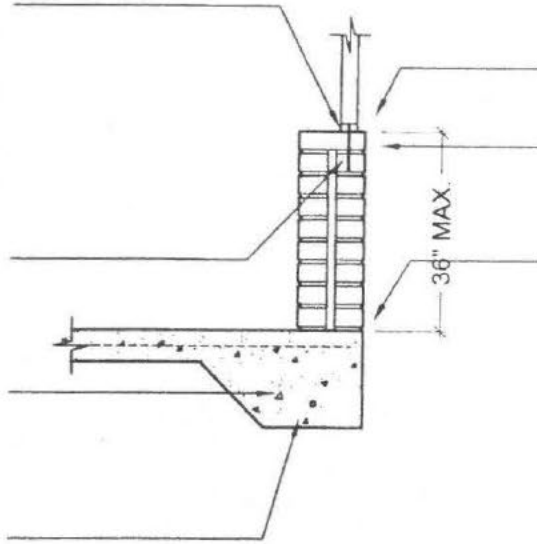
SCREENED ENCLOSURES

5/16"Ø GALVANIZED 'ALL THREAD' OR 'THREAD ALL' EMBEDDED IN CONCRETE OR FASTENED TO CONCRETE W/ APPROVED CONCRETE ANCHOR @ 24" O.C. MAX. AND WITHIN 6" OF EACH UPRIGHT OR APPROVED ALTERNATE

1/4" x 6" RAWL TAPPER THROUGH 1" x 2" AND ROWLOCK INTO FIRST COURSE OF BRICKS

4" (NOMINAL) PATIO CONCRETE SLAB W/ 6 x 6 - 10 x 10 WELDED WIRE MESH OR FIBER MESH CONCRETE

(1) #5 Ø BARS W/ 3" COVER (TYPICAL)



ALUMINUM FRAME SCREEN WALL

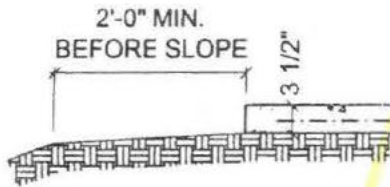
ROWLOCK

BRICK KNEEWALL TYPE S MORTAR REQUIRED FOR LOAD BEARING BRICK WALL

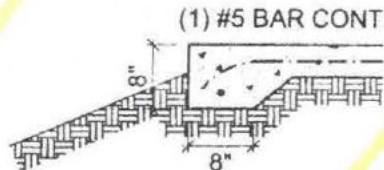
ALTERNATE CONNECTION OF SCREENED ENCLOSURE FOR BRICK OR OTHER NON-STRUCTURAL KNEE WALL 1" WIDE x 0.063" STRAP @ EACH POST FROM POST TO FOOTING W/ (2) #10 x 3/4" S. M. S. STRAP TO POST AND (1) 1/4" x 1-3/4" TAPCON TO SLAB OR FOOTING

BRICK KNEEWALL AND FOUNDATION FOR SCREEN WALLS

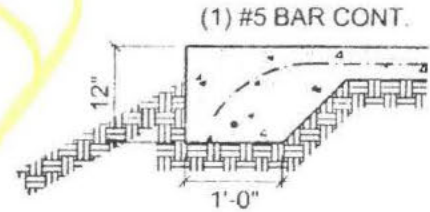
SCALE: 1/2" = 1'-0"



TYPE I
FLAT SLOPE / NO FOOTING
0-2' / 12"



TYPE II
MODERATE SLOPE FOOTING
2' / 12" - 1'-10"



TYPE III
STEEP SLOPE FOOTING
> 1'-10"

NOTES:

1. NO FOOTING REQUIRED EXCEPT WHEN ADDRESSING EROSION UNTIL THE COMBINED BEAM LENGTH AND UPRIGHT HEIGHT OF THE ENCLOSURE EXCEEDS 55'-0" THEN A TYPE II FOOTING IS REQUIRED.
2. MONOLITHIC SLABS AND FOOTINGS SHALL BE MINIMUM 2,500 PSI CONCRETE WITH 6x6-10x10 WELDED WIRE MESH OR FIBER MESH MAY BE USED IN LIEU OF MESH.
3. IF LOCAL BUILDING CODES REQUIRE A MINIMUM FOOTING USE TYPE II FOOTING OR FOOTING SECTIONS REQUIRED BY LOCAL CODE. LOCAL CODE GOVERNS.

SLAB-FOOTING DETAILS

SCALE: 1/2" = 1'-0"

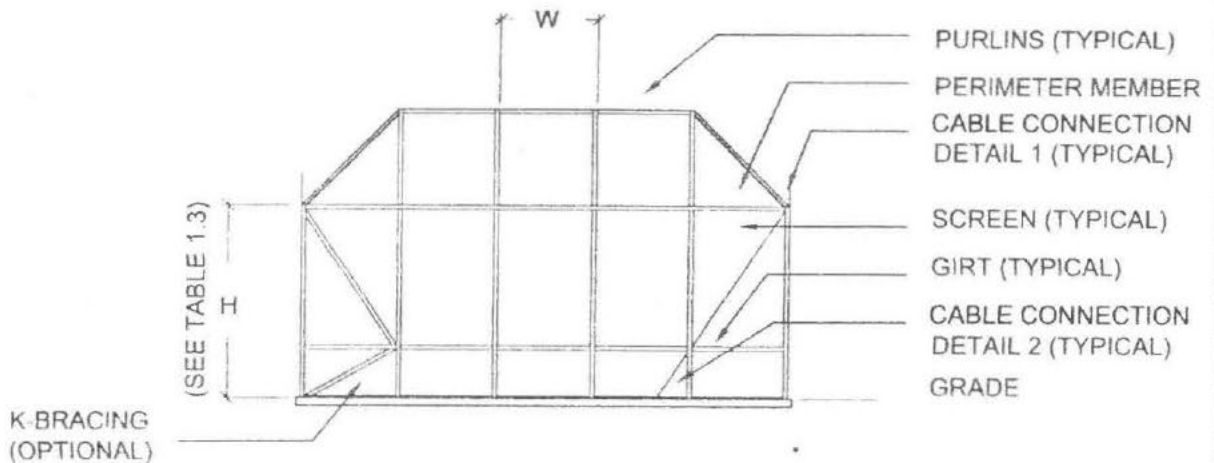
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CIVIL ENGINEER - DEVELOPMENT CONSULTANT
P.O. BOX 4368, SOUTH DAYTONA, FL 32121
TELEPHONE (904) 767-4774
FAX (904) 767-6556

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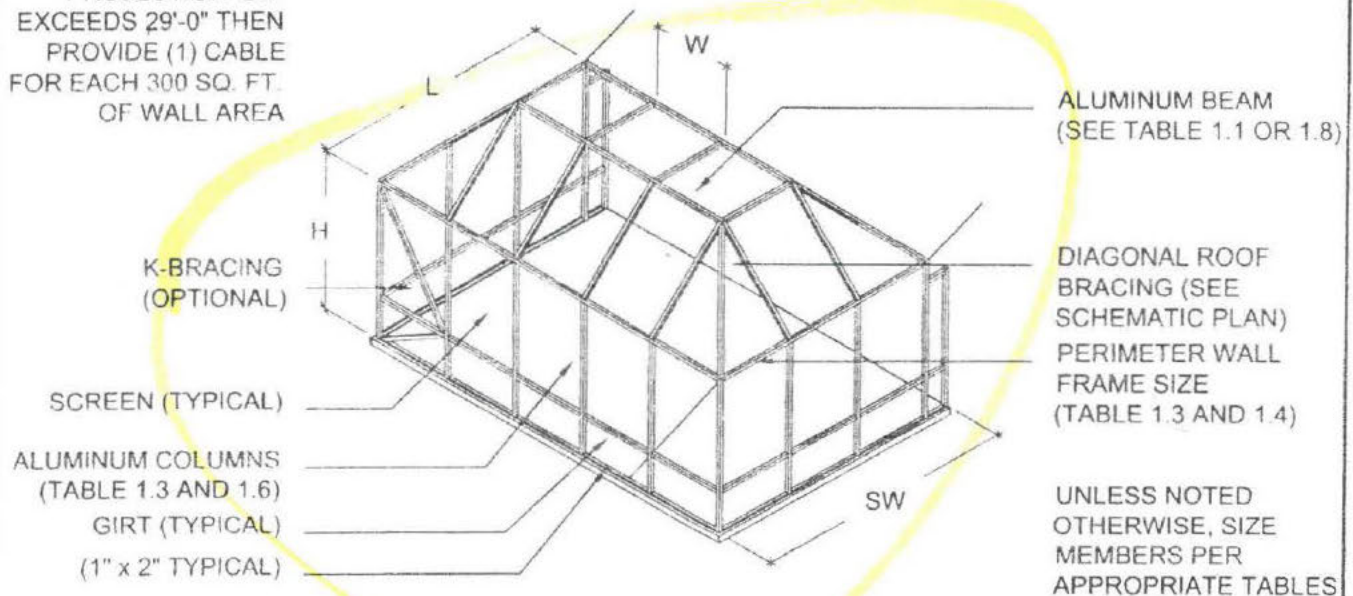
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TYPICAL MANSARD ROOF ELEVATION

SCALE: 1/8" = 1'-0"

SIDE WALL CABLES
 ARE REQUIRED WHEN
 PROJECTION 'SW'
 EXCEEDS 29'-0" THEN
 PROVIDE (1) CABLE
 FOR EACH 300 SQ. FT.
 OF WALL AREA



TYPICAL MANSARD ROOF ISOMETRIC

SCALE: 1/8" = 1'-0"

Lawrence E. Bennett, P.E.
 CIVIL ENGINEER - DEVELOPMENT CONSULTANT
 P.O. BOX 4368, SOUTH DAYTONA, FL 32121
 TELEPHONE (904) 767-4774
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Table 1.3 Allowable Spans For Primary Screen Wall Members (Uprights)
(Post / Upright Height)
Aluminum Alloy 6063 T-6

Hollow Sections	Load Width = Upright Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Height "H"						
2" x 2" x 0.032"	8'-4"	7'-3"	6'-6"	5'-11"	5'-6"	5'-1"	4'-10"
2" x 2" x 0.036"	9'-2"	7'-11"	7'-1"	6'-5"	5'-11"	5'-7"	5'-3"
2" x 2" x 0.044"	9'-11"	8'-8"	7'-9"	7'-1"	6'-6"	6'-1"	5'-9"
2" x 2" x 0.055"	10'-11"	9'-5"	8'-5"	7'-8"	7'-2"	6'-8"	6'-3"
2" x 3" x 0.055"	14'-11"	12'-11"	11'-7"	10'-7"	9'-10"	9'-2"	8'-8"
2" x 4" x 0.050"	18'-5"	16'-0"	14'-4"	13'-1"	12'-1"	11'-4"	10'-8"

Self Mating Sections	Load Width = Upright Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Height "H"						
2" x 4" x 0.038" x 0.100"	19'-6"	16'-11"	15'-2"	13'-10"	12'-9"	11'-11"	11'-3"
2" x 5" x 0.050" x 0.120"	28'-10"	25'-0"	22'-4"	20'-5"	18'-11"	17'-8"	16'-8"
2" x 7" x 0.055" x 0.120"	33'-0"	28'-7"	25'-7"	23'-4"	21'-7"	20'-3"	19'-1"
2" x 8" x 0.072" x 0.224"	42'-4"	36'-8"	32'-10"	29'-11"	27'-9"	25'-11"	24'-6"
2" x 9" x 0.072" x 0.224"	46'-4"	40'-2"	35'-11"	32'-9"	30'-4"	28'-5"	26'-9"
2" x 9" x 0.082" x 0.306"	50'-7"	43'-10"	39'-2"	35'-9"	33'-1"	30'-11"	29'-2"

Snap Sections	Load Width = Upright Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Height "H"						
2" x 2" x 0.041"	11'-6"	9'-11"	8'-11"	8'-1"	7'-6"	7'-0"	6'-7"
2" x 3" x 0.045"	14'-10"	12'-11"	11'-6"	10'-6"	9'-9"	9'-1"	8'-7"
2" x 4" x 0.045"	18'-5"	15'-11"	14'-3"	13'-0"	12'-1"	11'-3"	10'-8"
2" x 6" x 0.062"	31'-3"	27'-1"	24'-3"	22'-1"	20'-6"	19'-2"	18'-1"
2" x 7" x 0.052"	35'-0"	30'-4"	27'-2"	24'-9"	22'-11"	21'-5"	20'-3"

Using screen panel width "W" select upright length "H"

Spans are based on 120 M.P.H. wind load. Multiply spans/heights by 0.85 for 140 M.P.H.

Above spans do not include length of knee brace. Add horizontal length of knee brace to above spans for total beam spans.

Example:

Screen panel width "W" = 4'-0"

Maximum "H" for a 2" x 4" x 0.038" x 0.100" Self Mating Beam =

16'-11"



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1623 SW MACEDO BLVD
PORT ST. LUCIE, FL 34984
(407) 871-0223

Lawrence E. Bennett, P.E.
CIVIL ENGINEER - DEVELOPMENT CONSULTANT
P.O. BOX 4368, SOUTH DAYTONA, FL 32121
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SEAL

7212
FENCE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 1/19/05 **BUILDING PERMIT NO.** 7212
 Building to be erected for KIMMELMAN Type of Permit FENCE
 Applied for by LAWRENCE FENCE (Contractor) Building Fee 30.00
 Subdivision SEWALL'S MEADOW Lot 19 Block _____ Radon Fee _____
 Address 108 Abbie Court Impact Fee _____
 Type of structure SFR A/C Fee _____
 Electrical Fee _____
 Plumbing Fee _____
 Roofing Fee _____
 Parcel Control Number:
1338410130000019010000
 Amount Paid 30.00 Check # 22424 Cash _____ Other Fees (_____) _____
 Total Construction Cost \$ 3600.00 TOTAL Fees 30.00

Signed Margaret Kelly Applicant Signed Gene Simmons (DOB) Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

JAN 11 2005

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Building Permit Number: _____

Owner or Titleholder Name: Joel & Sandra Kimmelman City: Stuart State: FL Zip: 34996

Legal Description of Property: Lot 19 Sewall's Meadow Parcel Number: 13-38-41-013-000-00190-J

Location of Job Site: 108 Abbie Court Type of Work To Be Done: Aluminum Fence
100'-4' ht. 2-48" Gates

CONTRACTOR/Company Name: Lawrence Fence Corporation Phone Number: 561-747-4228

Street: 211 Commerce Way #4-8 City: Jupiter State: FL Zip: 33458

State Registration Number: U-17143 State Certification Number: _____ Martin County License Number: _____

ARCHITECT: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

Type Sewage: _____ Septic Tank Permit Number From Health Dept. _____ Well Permit Number: _____

FLOOD HAZARD INFORMATION Flood Zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD

Proposed First Floor Habitable Floor Finished Elevation: _____ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: 3600.00 Estimated Fair Market Value (FMV) Prior

To Improvements: _____ If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES _____ NO _____

SUBCONTRACTOR INFORMATION

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) South Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____

National Electrical Code _____ Florida Energy Code _____

Florida Accessibility Code _____

THEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required)

State of Florida, County of: Palm Bchs.

This the 3 day of Jan., 2005

by Joel Kimmelman who is personally

known to me or produced _____

as identification. _____

My Commission Expires: _____

Notary Public Stephanie Kelly

Commission # DD257637

Expires Oct. 9, 2007

Bonded Thru Atlantic Bonding Co., Inc.

Seal

CONTRACTOR SIGNATURE (Required)

On State of Florida, County of: Palm Bchs.

This the 3 day of Jan., 2005

by Stephanie Kelly who is personally

known to me or produced _____

As identification. _____

My Commission Expires: _____

Notary Public Stephanie Kelly

Commission # DD257637

Expires Oct. 9, 2007

Bonded Thru Seal Atlantic Bonding Co., Inc.

Seal

- 1st

INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE
6285	Harte	3 E. High Pt.	Driveway	AM 7/12
7661	Litchey	5 Middle Rd	AC changeout	
6313		5 Middle Rd	Fence	AM 7/12
7254	Carelli	4 Middle Rd	Fence repair	AM 7/12
6730	Carelli	4 Middle Rd	Fence	AM 7/12
7603	Becker	16 E High Pt	Reroof	AM 7/12
7061	Taylor	22 E High Pt	Dock repair - ^{one} piling	AM 7/12
7531	Granfield	15 W. High Pt	Intert. gas lines	NO ACCESS
7124	McKeige	31 W. High Pt	Paver driveway	AM 7/12
7194	Greiner	37 E. High Pt	Reroof.	AM 7/12
7125	McCarty	45 W High Pt	Dock repair	WORK NOT DONE
7142	Shaughnessy	3 Delano La	Lowers on pool deck + patio	AM 7/12
7033	Tidikis	6 Kingston Ct	Fence repair	AM 7/12
7212	Kummelman	108 Abbie Ct	Fence	AM 7/12
7633	Thomas	10 Palm Rd	Replace windows	NO ACCESS
7485	Engle	14 Palm Rd	Reroof - (final)	AM 7/12
7086	Rohloff	20 Riverview	Repair retaining wall	
7007	Analer	3 Simara St	Water repair	
195A	Pudonk	20 Riverview	Repair dock	

NOTICE OF COMMENCEMENT

STATE OF FL

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

108 Abbie Court, Sewalls Point, FL 34996, Lot 19 Sewalls Meadow

GENERAL DESCRIPTION OF IMPROVEMENT: 100'-4' ht. Aluminum Fence, 2-48" Gates

OWNER: Joel & Sandra Kimmelman

ADDRESS: 108 Abbie Court, Sewalls Point, FL 34996

PHONE #: _____ FAX #: _____

CONTRACTOR: Lawrence Fence Corporation

ADDRESS: 211 Commerce Way, Jupiter, FL 33458

PHONE #: 561-747-4228 FAX #: 561-747-4416

SURETY COMPANY (IF ANY): _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

BOND AMOUNT: NA

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES Above Named Contractor OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 3 DAY OF Jan. 2005 BY Joel Kimmelman

OR PERSONALLY KNOWN PRODUCED ID TYPE OF ID _____

[Signature]
NOTARY SIGNATURE

Margaret Fillinger
Commission # DD257637
Expires Oct. 9, 2007
Bonded Thru
Atlantic Bonding Co., Inc.

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOLLOWING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL

MARSHA EWING
BY [Signature] D.C.
DATE 1/11/05



10/28/99

INSTR # 1805822 OR BK 01972 PG 0471 RECD 01/11/2005 09:14:23 AM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK M Felschke

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
03/29/04

PRODUCER
FRANK H. FURMAN, INC.
FRANK H. FURMAN #A091425
P. O. BOX 1927
POMPANO BEACH, FL 33061

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

INSURED
LAWRENCE FENCE CORP
211 COMMERCE WAY BAYS #4-8
JUPITER FL 33458

COMPANY A TRANSPORTATION INS CO
COMPANY B BRIDGEFIELD EMPLOYERS INS CO
COMPANY C
COMPANY D

RECEIVED
BY: _____

COVERAGES
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT	B2049051490	2/04/04	2/04/05	GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 PERSONAL & ADV INJURY \$1,000,000 EACH OCCURRENCE \$1,000,000 FIRE DAMAGE (Any one fire) \$ 100,000 MED EXP (Any one person) \$ 10,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
A	EXCESS LIABILITY <input checked="" type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM	2063996931	3/01/04	3/01/05	EACH OCCURRENCE \$1,000,000 AGGREGATE \$1,000,000
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/ PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL	83029897	3/01/04	3/01/05	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER EL EACH ACCIDENT \$1,000,000 EL DISEASE-POLICY LIMIT \$1,000,000 EL DISEASE-EA EMPLOYEE \$1,000,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS
FAX: 561-220-4765; 561-747-4416

CERTIFICATE HOLDER
TOWN OF SEWALL'S POINT
ATTN: BUILDING DEPT,
1 S. SEWALL'S POINT ROAD
SEWALL'S POINT, FL 34996

CANCELLATION
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
JH A
© ACORD CORPORATION 1988

Contractor's Licensing Division of the Martin County Building Department.



MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency

FENCE ERECTION

License Number SP02962 Expires: 30-SEP-05

LAWRENCE, GLORIA J
LAWRENCE FENCE CORP
211 COMMERCE WAY #4-8
JUPITER, FL 33458

2000-23983

STATE OF FLORIDA
PALM BEACH COUNTY
OCCUPATIONAL LICENSE
EXPIRES: SEPTEMBER - 30 - 2005

CW-008
CLASSIFICATION

LAWRENCE FENCE CORP
LAWRENCE GLORIA J

** LOCATED AT

C/WIDE \$185.85

211 COMMERCE WAY #4-8
JUPITER FL 33458

TOTAL \$185.85

Is hereby licensed at above address for the period beginning on the first day of October and ending on the thirtieth day of September to engage in the business, profession or occupation of:

FENCE ERECTION CONTRACTOR

U17143

THIS IS NOT A BILL - DO NOT PAY

PAID. PBC TAX COLLECTOR
\$185.85 OCC 049 34719 08-26-2004

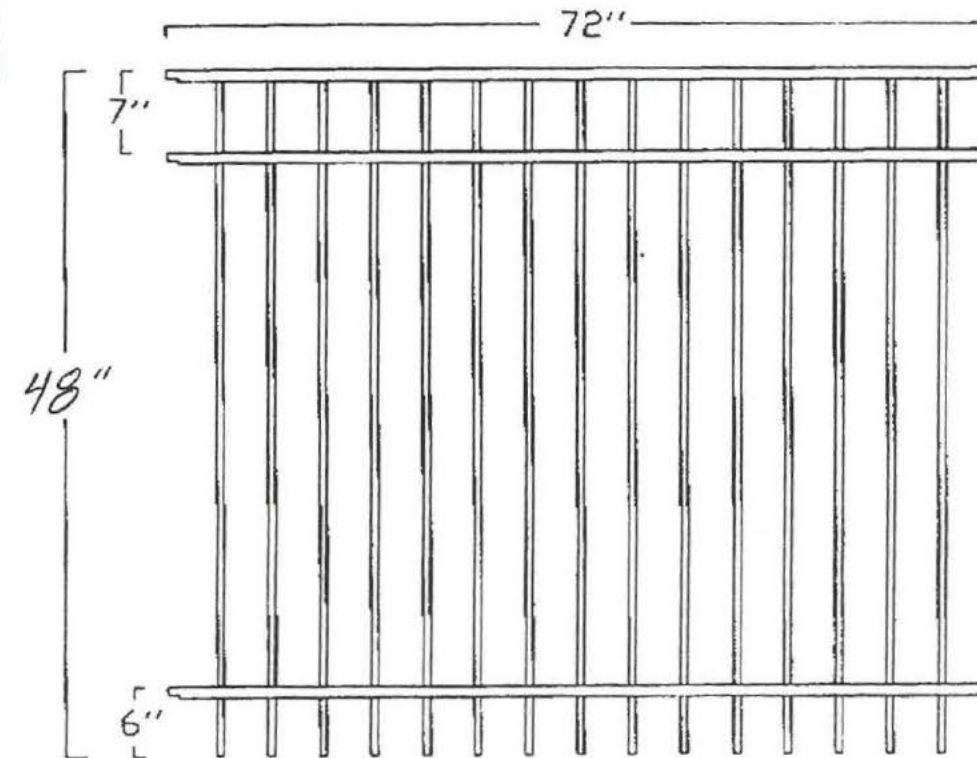
JOHN K. CLARK, CFC
TAX COLLECTOR, PALM BEACH COUNTY

THIS LICENSE VALID ONLY WHEN RECEIPTED BY
TAX COLLECTOR

LAWRENCE FENCE CORP.
211 Commerce Way, #4-8
Jupiter, FL 33458
561-747-4228 Fax: 561-747-4416

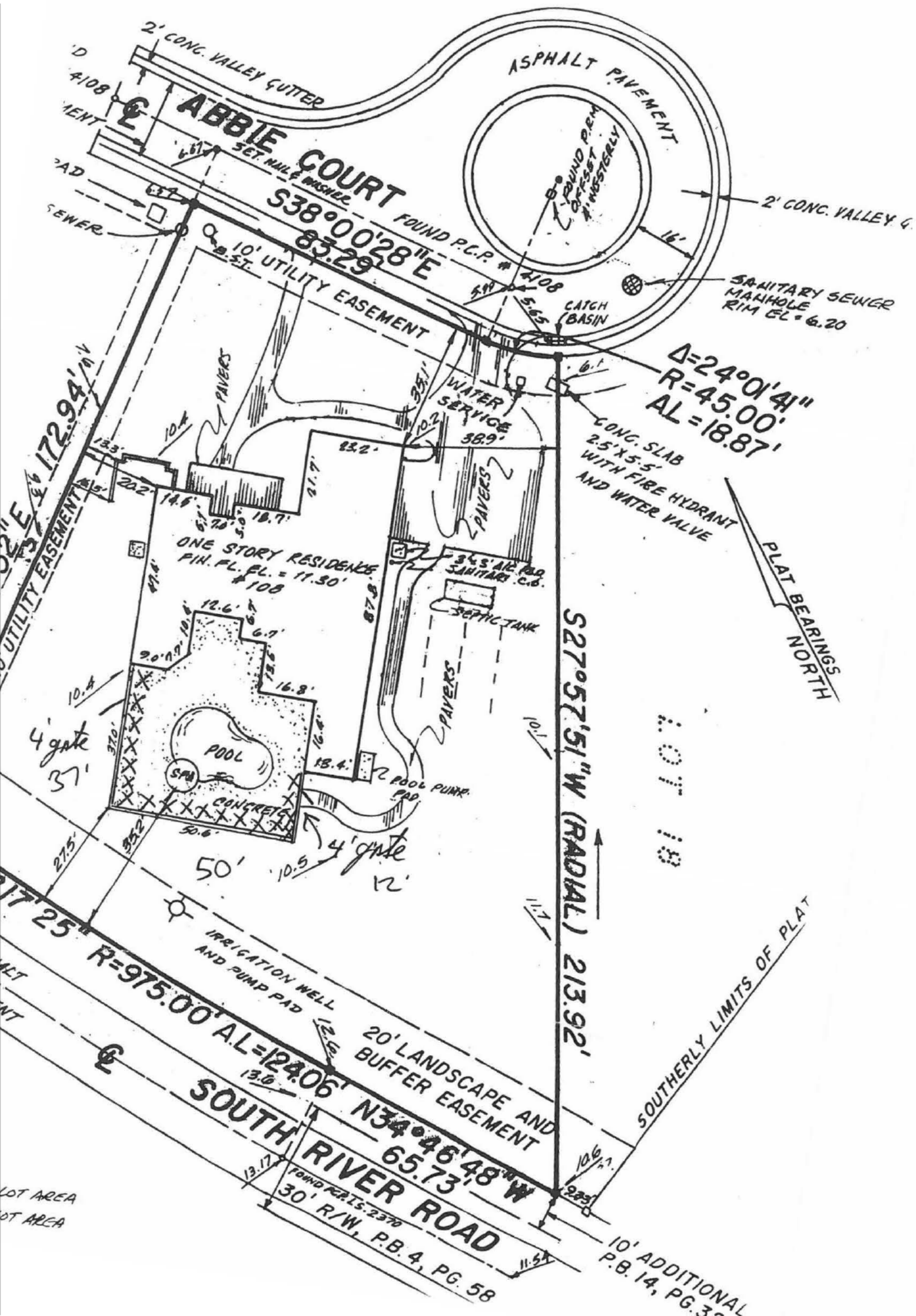
PICKETS: 5/8" SQ. X .050
RAILS: TOP WALL 1 1/16" X .062
SIDE 1" X .072

STYLE #300 LONGISLANDER



FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR COMPLIANCE
DATE: 11/10/05
BUILDING OFFICIAL
Gene Simmons

100'-4" ht. Aluminum Fence
 2 48" Gates to self close and self latch.



CONC. VALLEY GUTTER

17" RY SEWER
HOLE
DL = 6.20

2' 4 1/2"
20'
27'

PLAT BEARINGS NORTH

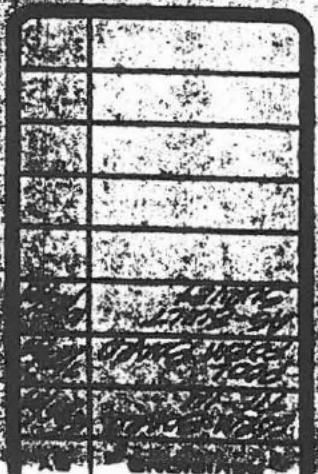
EARLY LIMITS OF PLAT

WEYING
INC
HALL 60 FORTH - JER. 28-39
10642
H, FL. 33419
2, W.P.B., FL. 33417
-8748

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON WAS PERFORMED UNDER MY SUPERVISION AND I COMPLY WITH THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, IN ACCORDANCE WITH SECTION 472.027, FLORIDA STATUTES, AND FURTHER THAT THE ABOVE MENTIONED STANDARDS HAVE BEEN MET AS FAR AS POSSIBLE, AS SHOWN ON THIS PLAN.

NOTE:
This drawing is not valid without approval of the Surveyor.
Survey is based upon description as furnished by client. Only those points shown in brown, unless stated otherwise.


RICHARD R. DEAN
REGISTERED SURVEYOR & MAPPER
FLORIDA CERTIFICATE NO. 44005
LTD 67936



DESCRIPTION:

LOT 19, SEAWALL'S MEADOW, ACCORDING TO THE PLAT THEREOF AS RECORD IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR MARTIN COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 14, PAGE 32.

THIS SURVEY IS ALSO CERTIFIED TO:

THE TOWN OF SEAWALL'S POINT
NATIONSBANK MORTGAGE CORPORATION, its successors and/or assigns
KRAMER, SEWELL, SOPKA & LEVINSTEIN, P.A.
AMERICAN PIONEER TITLE INSURANCE COMPANY

BOUNDARY SURVEY FOR:

JOEL AND SANDRA KIMMELMAN

ADDRESS: 108 ABBIE COURT, SEWALL'S POINT, FL. 34996

MARTIN COUNTY, FLORIDA

AS, EL=8

THE SUBJECT PROPERTY IS LOCATED IN A FLOOD ZONE "C" AS GRAPHICALLY SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 120164 0002 D.

LEGEND:

- INDICATES 1/2" IRON ROD & CAP
L.S. #4406 SET BY THIS SURVEY
- INDICATES NAIL & WASHER SET IN
CENTERLINE OF ROAD
- INDICATES WATER SERVICE
- △ INDICATES CABLE T.V. PEDestal
- INDICATES SANITARY SEWER SERVICE
- INDICATES OVERHEAD UTILITY LINE
- INDICATES ELEVATIONS AS EXPRESSED
IN FEET AND DECIMAL PARTS THEREOF
AS BASED UPON NATIONAL GEODESIC
VERTICAL DATUM OF 1929, U.S.C.G.S. "Q-296"
- INDICATES FOUND 4" X 4" CONCRETE MONUMENT
- B.S.T. INDICATES BELL SOUTH TELEPHONE PEDESTAL