

12 Admirals Walk

1080
SFR

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 5/8/80

This is to request that a Certificate of Approval for Occupancy be issued to Mr. Herrich
 For property built under Permit No. 1080 Dated 12/11/79 when completed in
 conformance with the Approved Plans.

[Signature]
 Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	12/21/79	} <u>[Signature]</u>
Rough plumbing	12/20/79	
Slab	12/21/79	
Perimeter beam	1/8/80	
Close-in, roof and rough electric	2/19/80	
Final Plumbing	5/7/80	
Final Electric	5/7/80	
Insulation	2/21/80	
Final Inspection for Issuance of Certificate for Occupancy.		
Approved by Building Inspector	<u>[Signature]</u>	date <u>5/6/80</u>
Approved by Building Commissioner	<u>[Signature]</u>	date <u>5/6/80</u>
Utilities notified	<u>May 7, 1980</u>	date
Original Copy sent to _____		

(Keep carbon copy for Town files)

1080

TOWN OF SEWALL'S POINT FLORIDA

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner ROBERT HERRICK Present address SEWALLS PT.

Phone _____

General contractor RON COURTNEY Address 675 HIDDEN RIVER DR

Phone 878-1830 PART ST. LOUIS, FLA.

Where licensed _____ License No. _____

Plumbing contractor MILLER License No. 1117

Electrical contractor WOLEY License No. 60069

Air-conditioning contractor H & M License No. CA-0012777

Describe the building, or alteration to existing building CONST. SING.

1 STORY C.B.S. RESIDENCE

Name the street on which the building, its front building line and its front yard will face ADMIRALS WALK (address 12 Admiral's Walk)

Subdivision RIO VISTA Lot No. 57 Area _____

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 1840

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 64,400

Cost of permit \$ 355.00 Plans approved as submitted _____ or, as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-prepare a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing for trash, scrap building materials and other debris, such debris being gathered and at least once a week, or oftener when necessary, removing same from the property approved for all utility services. Failure to comply with the above requirements will result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor Ron Courtney

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Building Code and the Model Energy Efficiency Building Code.

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued. I agree that within 90 days after the property has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner Robert Herrick

Note: Speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted _____

Approved by Building Inspector (date) Dec. 5, 1979 Inspector's initials JAM

Approved by Town Commissioner (date) 7 Dec '79 Commissioner's initials JEG

Certificate of Occupancy issued (date) May 7, 1980

1080

Application/Permit No. HD 79-902

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES DIVISION OF HEALTH Application and Permit of Individual Sewage Disposal Facilities

RECEIVED

NOV 26 1979

MARTIN COUNTY HEALTH DEPT.

Section I - Instructions:

- 1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.

- 5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

Notes:

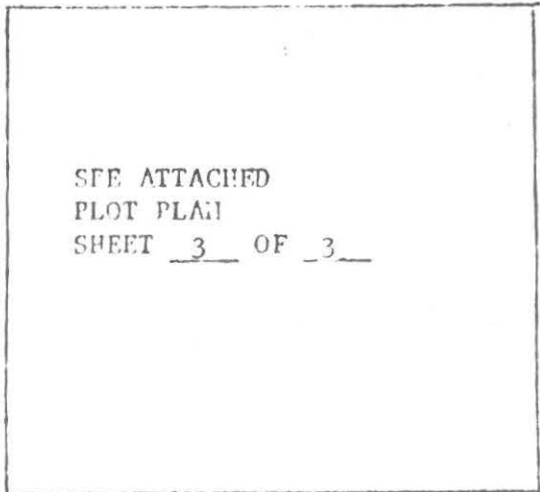
- 1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call 287-2277 and give this office a 24-hour notice when ready for inspection

Section II - Information:

- 1. Property Address (Street & House No.) ADMIRAL'S WALK Lot 57 Block - Subdivision RIO VISTA Date Recorded - Directions to Job EAST ON EAST OCEAN BLVD TO SEWELL POINT SOUTH FROM SEWELL POINT ROAD.
2. Owner or Builder ROBERT HERRICK P.O. Address 14 PALM CT City (JACKSON) BEACH
3. Specifications 3 BORN

Tank Drainfield Scale 1" = 50'
Gals. ft. of 6" Clay tile or 5" perforated plastic drain in a 3' trench or
900 Gals. 255 ft. of 4" clay drain or 4" perforated plastic drain in an 18" trench

- 4. House to be constructed: Check one: FHA VA Conventional



SPE ATTACHED PLOT PLAN SHEET 3 OF 3

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Price Engineering Co. for: Applicant: ROBERT HERRICK Please Print

(Front) (Name of Street or State Road)

Signature: [Handwritten Signature]

Date: 10/19/79

*****DO NOT WRITE BELOW THIS LINE*****

Section III - Application Approval & Construction Authorization

Installation subject to following special conditions:

The above signed application has been found to be in compliance with Chapter 17-1 Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By: Robert Washburn County Health Dept. MARTIN Date 11-26-79

Section IV - Final Construction Approval

Construction of installation approved: Yes No

Date: By:

FHA No. VA No.

DEPARTMENT OF HEALTH AND REHABILITATIVE
SERVICES

DIVISION OF HEALTH

INDIVIDUAL WASTE DISPOSAL FACILITIES
DATA SHEET

Price Engineering Co. for:

Location: BIO VISTA (LOT 57) applicant ROBERT HERRICK
(ADMIRAL'S WALK) county MARTIN

NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.

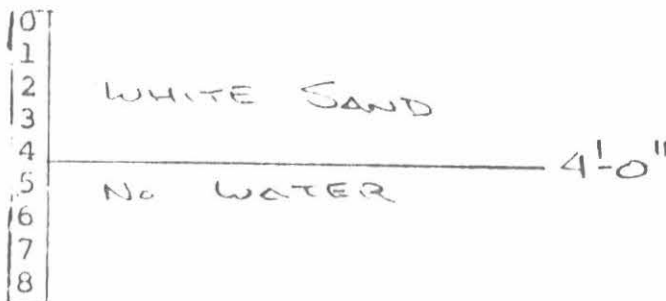
See Attached Plot Plan
(Sht. 3 of 3)

Plot plan must show all data required in 10D-60. 2(a) and all other pert. data.

NOTE: Contractor is responsible for verifying all demen: shown in the above note prior to installation of septic tank system.

PLAN
Scale: 1"= _____

SOIL DATA



LEGEND

Drainage Pattern
Proposed Septic Tank
and Drainfield
Proposed Water Supply
Well
Existing Water Supply W
Soil Boring & Percolati
Test Location:

Soil Boring Log:

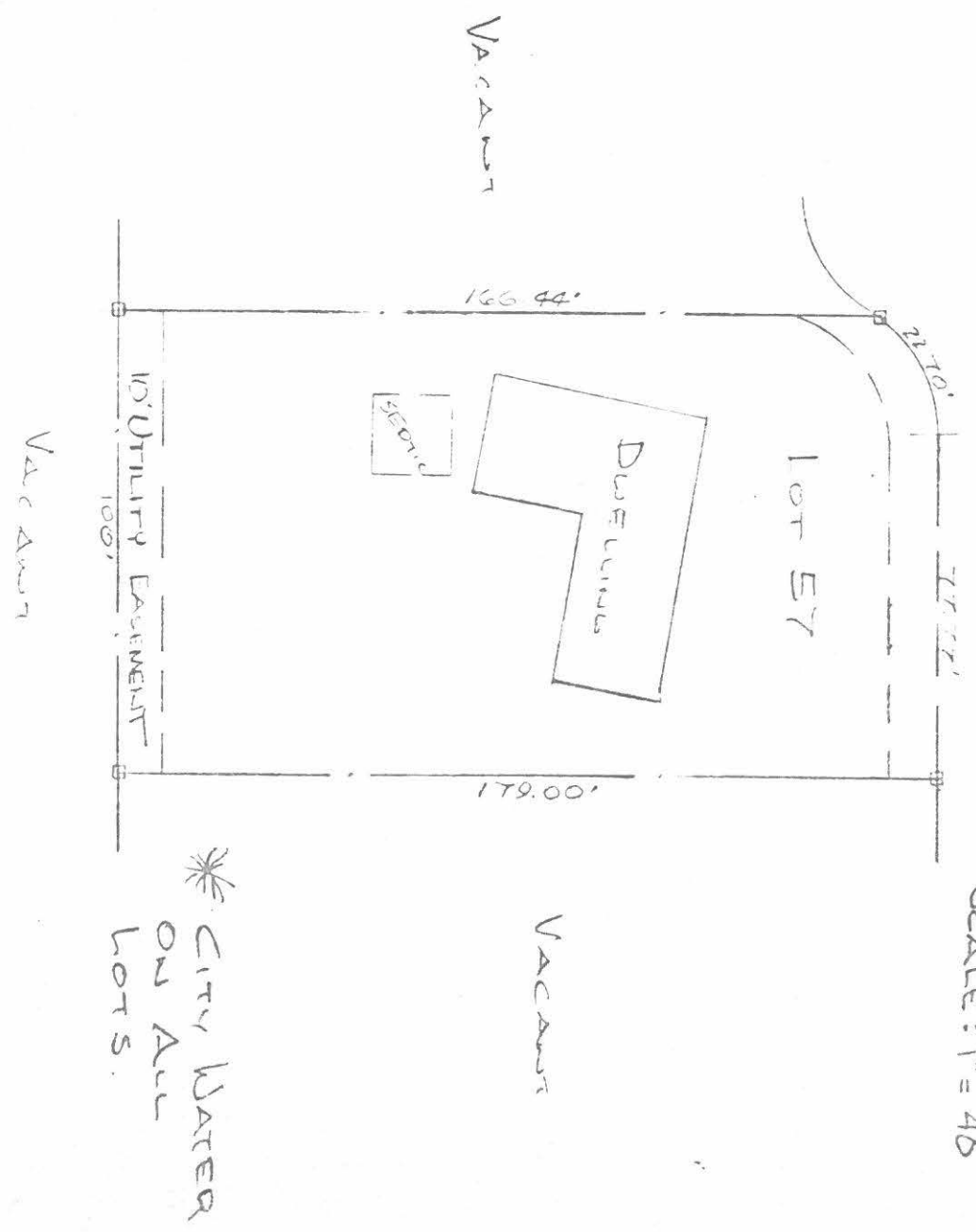
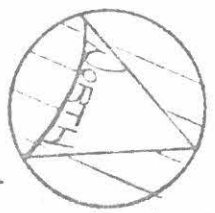
As Shown Above
Soil Identification: CLASS _____ GROUP _____
Soil Characteristics Sandy
Percolation rate 1 min/inch
Water Table Depth 4'-0"
Water Table Depth
During Wet Season 4'-0"
Compacted Fill of _____ Req'd
Compacted Fill Checked By: _____
Date _____

CERTIFIED BY: Ronald J. Price
Florida Professional
Number 17788
Date 10/19/78 Job # 79-31
Sheet 2 Of 3

NO OBSTRUCTIONS

ADMIRALS WALK.

SCALE: 1" = 40'



PREPARED BY:
PRICE ENGINEERING CO.
STUART, FLORIDA

PREPARED FOR:
ROBERT HERRICK.


- PLOT PLAN -

DESCRIPTION -
 " Rio Vista "
 BEING KNOWN AS LOT 57 BLOCK -
 AS RECORDED IN PLAT BOOK 6
 PAGE 95, PUBLIC RECORDS OF
 MARTIN COUNTY FLA.

SLAB ON GRADE PERIMETER	EDGE INSULATION PERIMETER	WPM	GWP
	R0 - 2.9	28.3	
	R3 - 5.9	20.4	
	R6 & UP	12.4	

SS	OR	AREA	SINGLE	DOUBLE	WOF	GWP	SS	OR	AREA	SINGLE		DOUBLE		S OF	GSP
										CLR.	TIN.	CLR.	TIN.		
	N	72	55.4	38.5	1	3989		N	72	204	176	163	139	1	14688
	NE		55.4	38.5				NE		309	264	258	218		
	E	77	55.4	38.5	.86	3669		E	77	425	360	362	304	.95	31089
	SE		55.4	38.5				SE		418	354	355	298		
	S	124	55.4	38.5	.86	5908		S	124	346	294	287	242	.92	39472
	SW		55.4	38.5				SW		418	354	355	298		
	W	40	55.4	38.5	1	2716		W	40	425	360	362	304	.95	16150

FORM 900-789 FACING N



FLORIDA MODEL ENERGY EFFICIENCY CODE
FOR BUILDING CONSTRUCTION
SECTION 9 GOVERNOR'S ENERGY OFFICE
POINTS METHOD LEX HESTER, DIRECTOR

BOB GRAHAM GOVERNOR
 PREPARED BY: BRABHAM KUHNS DEBAY-CONSULTING ENGINEERS

RECEIVED DEC 3 1979

PROJECT NAME AND NUMBER	
BUILDER OWNER	RON COURTNEY

STATISTICAL DATA

ZONE:	FLOOR AREA	ROOF R-VALUE	HEATING SYSTEM TYPE				
7	1750 sqft	R- 19	STRIP: <input checked="" type="checkbox"/>	HT.PUMP: <input type="checkbox"/>	GAS: <input type="checkbox"/>	OIL: <input type="checkbox"/>	SOLAR: <input type="checkbox"/>
EPI	WALL AREA	WALL R-VALUE	HOT WATER SYSTEM TYPE				
97	1069 sqft	R- 36	ELECTRIC: <input checked="" type="checkbox"/>	HT.REC.: <input type="checkbox"/>	GAS: <input type="checkbox"/>	OIL: <input type="checkbox"/>	SOLAR: <input type="checkbox"/>
A/C SYSTEM	GLASS AREA	WALL CONSTRUCTION	NUMBER OF UNITS PER STRUCTURE				
EER- 8.0	313 sqft.	CBS: <input checked="" type="checkbox"/> FRAME: <input type="checkbox"/>	SING.FAM: <input checked="" type="checkbox"/>	DUPLEX: <input type="checkbox"/>	TRIPLEX: <input type="checkbox"/>	OVER 3: <input type="checkbox"/>	

THIS DATA TO BE SENT TO THE GOVERNOR'S ENERGY OFFICE

TOTAL HOUSE POINTS	CERTIFIED BY <i>R. Sabryal</i>	FLORIDA HOME INSULATION INC.
EPI- 97		

Fewer total points mean greater energy savings.

SOLAR WATER HEATER CALCULATION

NUMBER OF BEDROOMS IN HOUSE	
HOT WATER TANK CAPACITY	
TANK CAPACITY PER BEDROOM (=tank capacity ÷ number of bedrooms)	
DCR OF COLLECTOR (daily collection rate in Btu's at 122°F, from Mfr. data)	
DCR PER BEDROOM (=DCR ÷ number of bedrooms)	
HOT WATER POINTS (from table 9c)	

Attach copy of collector rating certificate. Collector must be mounted within 30° of south.

HEAT RECOVERY UNIT CALCULATION

NUMBER OF BEDROOMS IN HOUSE	
HOT WATER TANK CAPACITY	
TANK CAPACITY PER BEDROOM (= tank capacity ÷ number of bedrooms)	
HRU CERTIFIED RATING (In Btuh per ton)	
BACK-UP SYSTEM (electric or gas)	
HOT WATER POINTS (from table 9c)	

Attach copy of HRU's rating certificate indicating output in Btuh/ton when operating with proposed A/C system.

TAX FOLIO NO. _____

DATE 8-2-96

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

4029

Owner John Thastie Harkin Present address 12 Admirals Walk

Phone 286-5210 Sewalls Point

Contractor JA Taylor Roofing Address 302 Metrow Dr.

Phone 440-4040

Where licensed FT. Pierce License number CCC057019

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: ReRoof

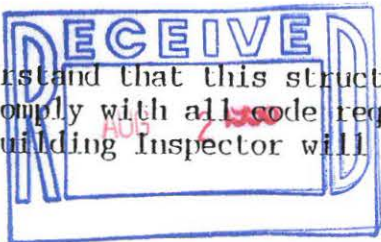
State the street address at which the proposed structure will be built:

Subdivision RioVista Lot Number 57 Block Number 9

Contract price \$ 24,000 Cost of permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.



Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted _____

Approved: [Signature] Building Inspector Date

Approved: [Signature] Commissioner Date

Final approval given: _____ Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____ Date

PERMIT NO. _____

9F WINTER OVERHANG FACTORS (WOF)								
FEET	N	NE	E	SE	S	SW	W	NW
0-99	1.00	0.99	0.85	0.75	0.83	0.98	1.00	1.00
1-1.99	1.00	0.99	0.85	0.76	0.84	0.98	1.00	1.00
2-2.99	1.00	0.99	0.86	0.77	0.86	0.99	1.00	1.00
3-3.99	1.00	0.99	0.87	0.80	0.87	0.99	1.00	1.00
4-4.99	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00
5-5.99	1.00	0.99	0.91	0.86	0.92	1.00	1.00	1.00
6-6.99	1.00	0.99	0.92	0.90	0.94	1.00	1.00	1.00
7-7.99	1.00	1.00	0.94	0.92	0.96	1.00	1.00	1.00
8-8.99	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00
9-9.99	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00
10-10.99	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00
11&UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

9F SUMMER OVERHANG FACTORS (SOF)								
FEET	N	NE	E	SE	S	SW	W	NW
0-99	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.99	1.00	1.00	0.99	0.99	0.99	0.99	0.99	1.00
2-2.99	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.98
3-3.99	1.00	0.99	0.89	0.87	0.86	0.87	0.89	0.95
4-4.99	1.00	0.99	0.84	0.81	0.80	0.81	0.84	0.91
5-5.99	0.99	0.88	0.80	0.76	0.76	0.76	0.80	0.88
6-6.99	0.99	0.85	0.76	0.72	0.72	0.72	0.76	0.85
7-7.99	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83
8-8.99	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81
9-9.99	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-10.99	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78
11-11.99	0.97	0.76	0.63	0.61	0.65	0.61	0.63	0.76
12&UP	0.97	0.76	0.62	0.59	0.64	0.59	0.62	0.76

9A HEATING SYSTEM MULTIPLIER (HSM)									
HEAT PUMP	COP	2.0-2.19	2.2-2.39	2.4-2.59	2.6-2.79	2.8-2.99	3.0-3.19	3.2-3.39	3.4&UP
	HSM	0.50	0.45	0.42	0.38	0.36	0.33	0.31	0.29
SOLAR HEAT	(1-% CAPACITY) X (BACKUP SYSTEM HSM)								
GAS HEAT	0.50								
OIL HEAT	0.70								
ELECTRIC STRIP HEAT	1.00								

9B COOLING SYSTEM MULTIPLIER (CSM)													
ELECTRIC	EER	6.0-6.49	6.5-6.99	7.0-7.49	7.5-7.99	8.0-8.49	8.5-8.99	9.0-9.49	9.5-9.99	10.0-10.49	10.5-10.99	11.0-11.99	12.0&UP
	CSM	1.08	1.00	0.93	0.87	0.81	0.76	0.72	0.68	0.65	0.62	0.59	0.54
GAS	COP	0.40-0.44	0.45-0.49	0.50-0.54	0.55-0.59	0.60-0.65	0.65-0.69	0.70&UP					
	CSM	1.50	1.25	1.20	1.09	1.00	92	.89					

Note: EER = cooling mode COP x 3.413 = ARI rated cooling output in Btuh ÷ total watts consumed

9C HOT WATER CREDIT POINTS (HWP)		
ELECTRIC		0.0
GAS		13.1
SOLAR	MINIMUM CERTIFIED DCR OF 6,000 BTU PER BEDROOM AND 15 GALLONS STORAGE PER BEDROOM	19.6
	MINIMUM CERTIFIED DCR OF 9,000 BTU PER BEDROOM AND 20 GALLONS STORAGE PER BEDROOM	22.8
	MINIMUM CERTIFIED DCR OF 12,000 BTU PER BEDROOM AND 27 GALLONS STORAGE PER BEDROOM	24.5
A/C HEAT RECOVERY UNIT	MINIMUM CERTIFIED RATING OF 1500 BTUH/TON	16.3
	MINIMUM CERTIFIED RATING OF 2500 BTUH/TON	17.9

Note: Daily collection rate (DCR) is measured at 122°F using FSEC Standard Florida Solar Day

9D SPECIAL DESIGN CREDIT POINTS (CP)		
CEILING FANS IN CONDITIONED SPACE - 5 POINTS MAX.		1 PER FAN
MULTIZONING A/C (Zones must be separated by operable door.) - 5 POINTS MAX PER RESIDENCE		5
WINDOWS ON TWO OR MORE SIDES OF A ROOM (Excluding inoperable or corner windows and bathrooms.) - 5 POINTS MAX.		1 PER ROOM

9E SPECIAL DESIGN PENALTY POINTS (PP)		
WASHER & DRYER IN CONDITIONED SPACE.		3
MAXIMUM OPENING OF GLASS LESS THAN 50% OF TOTAL GLASS AREA		5

8271
SCREEN
ENCLOSURE



MARTIN COUNTY BUILDING PERMIT

**CARD MUST BE POSTED IN A CONSPICUOUS PLACE ON THE FRONT OF THE
PREMISES WITHIN VIEW OF THE STREET BEFORE WORK IS STARTED.**

Permit Number: SP01 - 20060039
Permit Type: SEWALLS POINT
Date Issued: 12-JUN-06
Project:
Scope of Work: Construct mansard style roof pool enclosure

Applicant/Contact:	MCPHETRES, JAMES L /	
Parcel Control Number:	12-38-41-002-000-0057.0-70000	
Subdivision:	RIO VISTA	
Construction Address:	12 ADMIRAL'S WALK	
Location Description:		
Owner Name:	MCCLURE, CHARLES H JR	
Prime Contractor:	MCPHETRES, JAMES L 443 SE LANGFIELD AVE PSL, FL 34984	AVAILABLE ALUMINUM INC 772-343-1034 License No.: SP02970

In consideration of the granting of this permit, it is agreed that in all respects the work will be performed and completed in accordance with the permitted plans and the applicable codes for Martin County, Florida. This permit may be revoked at any time upon the violation of any of the provisions of said laws, ordinances or rules and regulations or upon any change in the plans and specifications unauthorized by this department. Permit expires one hundred eighty (180) days from the date of issuance if work is not started or if work is suspended for a period of six months. Per FBC Section 3305, sanitary facilities shall be provided during construction, remodeling, or demolition activities.

"NOTICE: IN ACCORDANCE TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES."

"WARNING TO OWNER; YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."
A CERTIFIED COPY OF RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE ISSUING AUTHORITY PRIOR TO THE FIRST INSPECTION.

ALL REINSPECTIONS OR ADDITIONAL INSPECTIONS WILL BE CHARGED AT A RATE ESTABLISHED BY THE BOARD OF COUNTY COMMISSION. NOTICE: DO NOT ORDER CONCRETE UNTIL INSPECTION IS APPROVED.

UPON COMPLETION OF WORK, A FINAL INSPECTION MUST BE CALLED FOR BY THE CONTRACTOR. FAILURE TO DO SO WILL RESULT IN A DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR.

INSPECTIONS

Phone 221-2364 (interactive voice) or 288-5489 for inspections. 24 hour notice is required.
The inspections listed below may not represent all necessary required inspections for the scope of work.

6099 Residential Final _____

**MARTIN COUNTY
BUILDING PERMIT CONDITIONS**

Conditions

Martin County #SP01-
MASTER PERMIT NO. 2006 0039

TOWN OF SEWALL'S POINT

Date 6-15-06 **Receipt**
BUILDING PERMIT NO. 8271
Building to be erected for McClure Type of Permit Screen Enclosure
Applied for by Available Alum. (Contractor) Building Fee 120-
Subdivision Riv Vista Lot 57 Block _____ Radon Fee _____
Address 12 Admirals Walk Impact Fee _____
Type of structure SFR A/C Fee _____
Electrical Fee _____
Parcel Control Number: 1238-41-002-000-00570-70000 Plumbing Fee _____
Roofing Fee _____
Amount Paid \$120- Check # 7731 Cash _____ Other Fees (_____) _____
Total Construction Cost \$ 10305- TOTAL Fees 120-

Signed Chad McClure Applicant
Signed Valerie Meyer Town Building Dept Clerk

Hurricane Damage

RECEIVED 6-2-06

Town of Sewall's Point BUILDING PERMIT APPLICATION

Date: Permit Number: OWNER/TITLEHOLDER NAME: Charles McClure Phone (Day) (Fax) Job Site Address: 12 Admirals Walk City: Stuart State: FL Zip: 34996 Legal Desc. Property (Subd/Lot/Block): Rio Visto S/D Lot 57 Parcel Number: 12-38-41-002-000-00570-7 Owner Address (if different): Same City: State: Zip: Description of Work To Be Done: construct mansard style roof pool enclosure

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 10,305.00 (Notice of Commencement needed over \$2500) Estimated Fair Market Value prior to improvement: \$

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value:

CONTRACTOR/Company: Available Aluminum Inc. Phone: 343-1034 Fax: 343-1037 Street: 1362 SW Biltmore St. City: Ft. St. Lucie State: FL Zip: 34983 State Registration Number: RX1106830 State Certification Number: Martin County License Number: SP02970

SUBCONTRACTOR INFORMATION:

Electrical: State: License Number: Mechanical: State: License Number: Plumbing: State: License Number: Roofing: State: License Number:

ARCHITECT: N/A Lic. #: Phone Number: Street: City: State: Zip:

ENGINEER: Do Kim PE Lic. #: 49497 Phone Number: 813-874-5900 Street: 3300 Henderson Blvd City: Tampa State: FL Zip: 33609

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Pool enclosure 1039' Screened Porch: Carport: Total Under Roof Wood Deck Accessory Building:

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

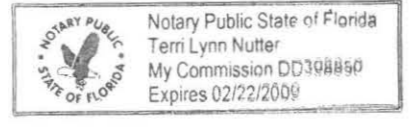
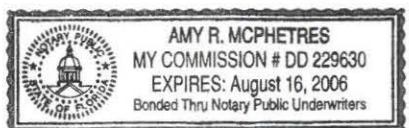
CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) Charles H. McClure Jr. State of Florida, County of: St. Lucie This the 24 day of May, 2006 by Charles H. McClure Jr. who is personally known to me or produced as identification: Notary Public My Commission Expires: 8-16-06

CONTRACTOR SIGNATURE (required) James L. McPhetres State of Florida, County of: St. Lucie This the 31 day of May, 2006 by James L. McPhetres who is personally known to me or produced as identification: Terri Lynn Nutter Notary Public My Commission Expires: 2/22/2009

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



CERTIFICATE OF INSURANCE



This certifies that

- STATE FARM FIRE AND CASUALTY COMPANY, Bloomington, Illinois
- STATE FARM GENERAL INSURANCE COMPANY, Bloomington, Illinois
- STATE FARM FIRE AND CASUALTY COMPANY, Scarborough, Ontario
- STATE FARM FLORIDA INSURANCE COMPANY, Winter Haven, Florida
- STATE FARM LLOYDS, Dallas, Texas

Policyholder: AVAILABLE ALUMINUM INC

Address of policyholder: 1507 W. ALUMINUM BL, BENTON, IL 61810, IL, 61810

Location of operations: STATE

Description of operations: SCREEN

The policies listed below have been issued to the policyholder for the policy periods shown. The insurance described in these policies is subject to all the terms, exclusions, and conditions of those policies. The limits of liability shown may have been reduced by any paid claims.

POLICY NUMBER	TYPE OF INSURANCE	POLICY PERIOD		LIMITS OF LIABILITY (at beginning of policy period)
		Effective Date	Expiration Date	
88-26-5910-5 a This insurance includes:	Comprehensive Business Liability	11/16/05	11/16/06	BODILY INJURY AND PROPERTY DAMAGE
	<input checked="" type="checkbox"/> Products - Completed Operations <input checked="" type="checkbox"/> Contractual Liability <input checked="" type="checkbox"/> Personal Injury <input checked="" type="checkbox"/> Advertising Injury <input type="checkbox"/> <input type="checkbox"/>			Each Occurrence \$ 1,000,000 General Aggregate \$ 2,000,000 Products - Completed Operations Aggregate \$ 2,000,000
	EXCESS LIABILITY	POLICY PERIOD		BODILY INJURY AND PROPERTY DAMAGE
	<input type="checkbox"/> Umbrella <input type="checkbox"/> Other	Effective Date	Expiration Date	(Combined Single Limit)
				Each Occurrence \$ Aggregate \$
	Workers' Compensation and Employers Liability	POLICY PERIOD		Part I - Workers Compensation - Statutory
		Effective Date	Expiration Date	Part II - Employers Liability
				Each Accident \$ Disease - Each Employee \$ Disease - Policy Limit \$
POLICY NUMBER	TYPE OF INSURANCE	POLICY PERIOD		LIMITS OF LIABILITY
		Effective Date	Expiration Date	(at beginning of policy period)

THE CERTIFICATE OF INSURANCE IS NOT A CONTRACT OF INSURANCE AND NEITHER AFFIRMATIVELY NOR NEGATIVELY AMENDS, EXTENDS OR ALTERS THE COVERAGE APPROVED BY ANY POLICY DESCRIBED HEREIN.

Name and Address of Certificate Holder
 STATE FARM
 1507 W. ALUMINUM BL
 BENTON, IL 61810
 FAX (772) 220-4765

If any of the described policies are canceled before written notice to the certificate holder 30 days before cancellation. If however, we fail to mail such notice, no obligation or liability will be imposed on State Farm or its agents or representatives.

W.A. Arnoldy C. The Dorman
 Signature of Authorized Representative
 AGENT 6547603267 05/24/2006
 Title Date

Agent Name
 Telephone Number 772-335-4626

Agent Code 6719
 AFO Code 1607

ACORD, CERTIFICATE OF LIABILITY INSURANCE		DATE(MM/DD/YYYY) 5/24/2006
PRODUCER Michael Gee Inc 1514 7th Ave West Bradenton, FL, 34205 941-746-1892	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED AVAILABLE ALUMINUM, INC. 1362 BILTMORE ST. PORT ST. LUCIE, FL 34984 (772) 242-1024	INSURERS AFFORDING COVERAGE INSURER A: AMCOMP PREFERRED INS CO INSURER B: INSURER C: INSURER D: INSURER E:	NAIC#

COVERAGES
THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INER ADD'L LTR INBRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE(MM/DD/YY)	POLICY EXPIRATION DATE(MM/DD/YY)	LIMITS
	GENERAL LIABILITY COMMERCIAL GENERAL LIABILITY CLAIMSMADE <input type="checkbox"/> OCCUR <input type="checkbox"/> GEN'L AGGREGATE LIMIT APPLIES PER: POLICY <input type="checkbox"/> PRO. REV. <input type="checkbox"/> LOC <input type="checkbox"/>				EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/PROP AGG \$
	AUTOMOBILE LIABILITY ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	APRIVATE LIABILITY ANY AUTO				AUTO ONLY - EX ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ ACC \$
	EXCESS/UMBRELLA LIABILITY OCCUR <input type="checkbox"/> CLAIMSMADE <input type="checkbox"/> DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE SPECIAL PROVISIONS below OTHER	WCV-7058301	02/14/06	02/14/07	WC STAY: 1 (DYS) 1 (DYS) 1 (DYS) E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / ILLUSTRATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER TOWN OF SEWALL'S POINT ATTN: VALERIE 1 SOUTH SEWALL'S POINT RD. STUART (SEWALL'S POINT), FL 34996 TEL (772) 220-6765	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL NOTICE <u>30</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT. ANY FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>Michael C. Gee</i>
---	--

AC# 2015313

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L05060100742

DATE	BATCH NUMBER	LICENSE NBR
06/01/2005	040954195	RX11066830

The SPECIALTY STRUCTURE CONTRACTOR
Named below HAS REGISTERED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2007
(INDIVIDUAL MUST MEET ALL LOCAL LICENSING
REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA)

MCPHETRES, JAMES L
AVAILABLE ALUMINUM INC
1930 SW BILTMORE STREET
FORT ST LUCIE FL 34984

JEB BUSH
GOVERNOR

DIANE CARR
SECRETARY

DISPLAY AS REQUIRED BY LAW




MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency

ALUMINUM/CONCRETE CONTRACTOR

License Number SP02970 Expires: 30-SEP-07

MCPHETRES, JAMES L
AVAILABLE ALUMINUM INC
443 SE LANGFIELD AVE
PSL, FL 34984



STATE OF FLORIDA AC# 2015313
DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION

RX11066830 06/01/05 040954195

REGISTERED SPECIALTY CONTRACTOR
MCPHETRES, JAMES L
AVAILABLE ALUMINUM INC
(INDIVIDUAL MUST MEET ALL LOCAL
LICENSING REQUIREMENTS PRIOR
TO CONTRACTING IN ANY AREA)

HAS REGISTERED under the provisions of ch. 489
Expiration date: AUG 31, 2007 L05060100742

GRAHAME, PETER H & AILEEN E

14568 N LAKE BLVD, WEST PALM BEACH, FL, 33412

Owners:

Permit Number: **SP01 20060037** SEWALLS POINT Entered: 02-JUN-2006
Project: Issued: 12-JUN-2006

Status: DONE/COMPLETE

Proposed Development: Replace existing front stairway window

Applicant: WYCKOFF, JOHN S

Related Permit: SP01 T37

Contractor: OWNER, CONTACT OWNER

Value: \$2,000.00 Sqft.: Number Units:

Parcel: 35-37-41-002-006-0005.0-60000 Blk: 006 Lot: 0005 Subd: INDIALUCIE

Address: 26 N RIVER ROAD

Owners: WYCKOFF, JOHN S 26 NORTH RIVER ROAD SEWALL'S POINT, STUART, FL, 34

Permit Number: **SP01 20060038** SEWALLS POINT Entered: 02-JUN-2006
Project: Issued: 12-JUN-2006

Status: OPEN

Proposed Development: Tear off & re-roof due to hurricane damage

Applicant: RICHARDS, CHARLES W

Related Permit: SP01 T39

Contractor: RICHARDS, CHARLES W, ALL AREA ROOFING & WATERPROOFING INC

Value: \$55,100.00 Sqft.: Number Units:

Parcel: 01-38-41-012-000-0001.0-60000 Blk: 000 Lot: 0001 Subd: ST LUCIE BUILDING CONDO

Address: 3601 SE OCEAN BLVD A-002

Owners: GRANFIELD, BRADLEY S 3601 SE OCEAN BLVD, STUART, FL, 34996

Permit Number: **SP01 20060039** SEWALLS POINT Entered: 02-JUN-2006
Project: Issued: 12-JUN-2006

Status: DONE/COMPLETE

Proposed Development: Construct mansard style roof pool enclosure

Applicant: MCPHETRES, JAMES L

Related Permit: SP01 T40

Contractor: MCPHETRES, JAMES L, AVAILABLE ALUMINUM INC

Value: \$10,305.00 Sqft.: Number Units:

Parcel: 12-38-41-002-000-0057.0-70000 Blk: 000 Lot: 0057 Subd: RIO VISTA

Address: 12 ADMIRAL'S WALK

Owners: MCCLURE, CHARLES H JR 12 ADMIRALS WALK, STUART, FL, 34996

Permit Number: **SP01 20060040** SEWALLS POINT Entered: 02-JUN-2006
Project: Issued: 13-JUN-2006

Status: OPEN

Proposed Development: bury 500 gal. tank, run gas line to generator

Applicant: CULBERSON, DANNY J

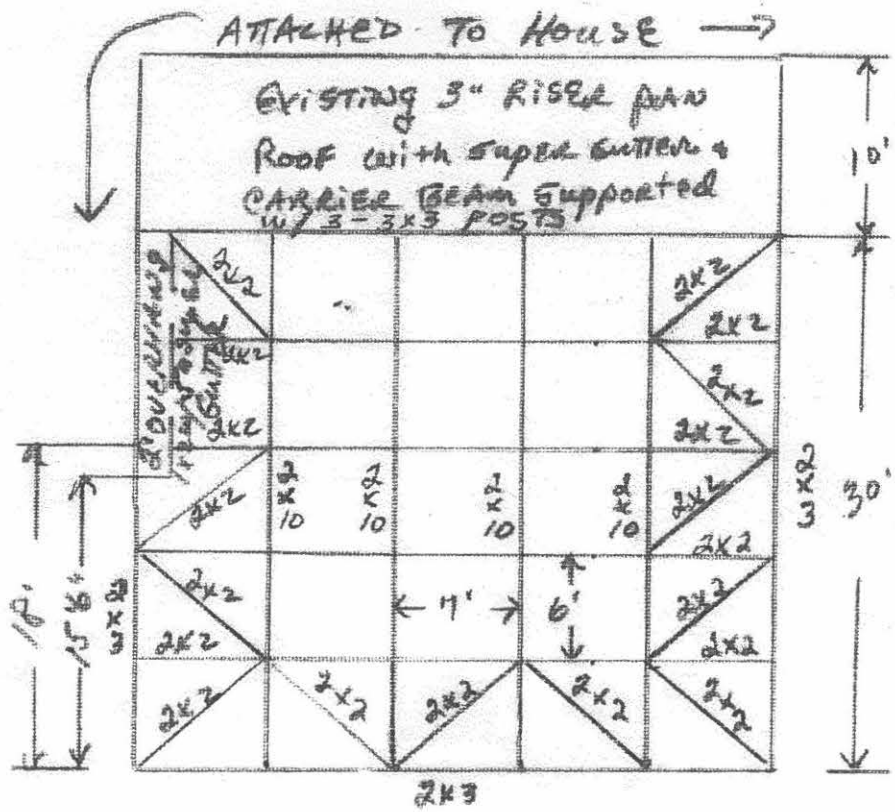
Related Permit: SP01 T35

Contractor: CULBERSON, DANNY J, MARTIN COUNTY PROPANE

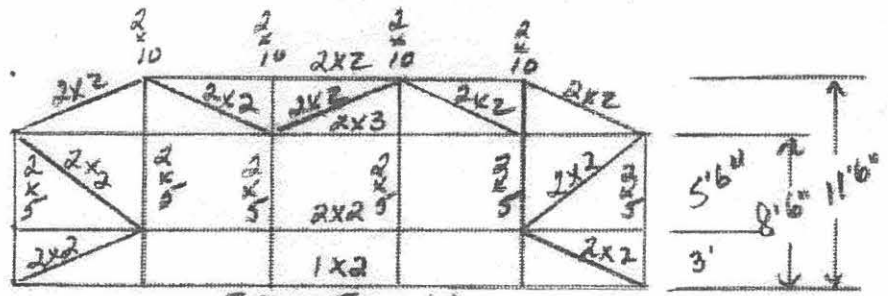
Value: \$800.00 Sqft.: Number Units:

Parcel: 13-38-41-001-000-0035.0-20000 Blk: 000 Lot: 0035 Subd: ARCHIPELAGO

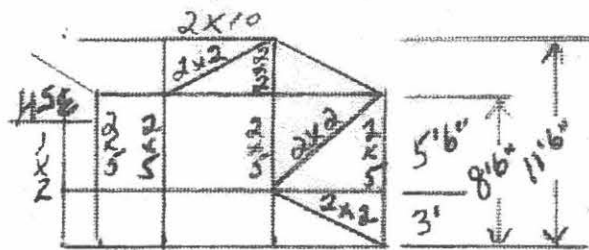
Address: 26 S SIMARA ST



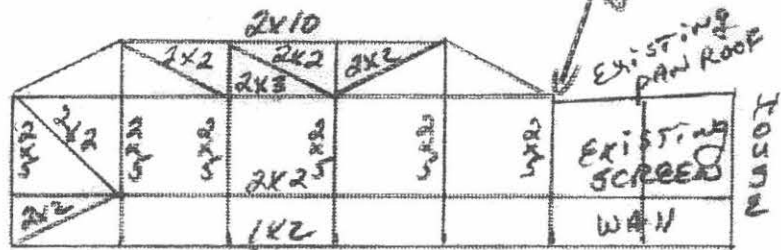
35'6"



FRONT VIEW



LEFT VIEW



RIGHT VIEW

FRAME PLAN

McClure
 12 ADMIRALS WALK
 #32 = 1 FOOT
 AVAILABLE ALUMINUM INC.
 5/25/06

EXISTING CARRIER
 BEAM & SUPER
 EAVE
 EXISTING
 PAN ROOF

EXISTING
 SCREEN
 WALL
 FORM

DO KIM & ASSOCIATES, LLC
CONSULTING STRUCTURAL ENGINEERS

3300 Henderson Blvd., Suite 108
 Tampa, FL 33609
 Tel: (813) 874-5900
 Fax: (813) 874-5959

Rev./Date	Description
3/27/2008	ISSUED

General Notes and Specifications:

- Contractor shall field verify all dimensions before construction and shall notify engineer of discrepancies for immediate consideration.
- Concrete shall be minimum 28 day compressive strength of $f'_{c} \geq 2500$ psi, and be in accordance with the requirements of ACI 318. Reinforcing steel shall have a min. yield strength of 40,000 psi (grade 40) and be provided with cover in accordance with ACI 318. If existing concrete slabs/footings are deemed satisfactory, it may be incorporated into new slab/footing by observing the following procedure:
 - Clean and scabble all connecting edges.
 - Drill and epoxy embed #5 reinforcing placed @ 12" O.C. mid depth. The rebar should be embedded a min. of 7" (using H&H HY 150 Epoxy or equal approved), leaving 24" exposed to be incorporated into new slab/footing.
- All dimensions are provided by contractor, DO Kim & Associates, LLC have made interpretations where necessary.
- The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good condition and of sufficient strength to hold the proposed addition. If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.
- Screen density shall be a maximum of 20 x 20 mesh.
- Connections using screw bosses shall have minimum (4)-#10x1" per connection unless shown otherwise.
- Screws that penetrate the water channel of the super gutter shall have ends clipped off for safety of cleaning the gutter and the heads of screws through the gutter into the fascia shall be caulked.
- Every panel of screen mesh shall be fastened securely in place with spine. Each panel shall be fastened at all sides, independent of surrounding panels. This requirement shall include purlins and chair/kickplate rails. Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.
- Unless otherwise shown, screws shall have minimum edge distance and center-to-center distances as shown in this table.

C-1022 Low Carbon Steel SMS & Self-Drilling (TEK) Screws (Industry Standard Screws)			
Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#10	0.188	1/2"	3/4"
#12	0.219	1/2"	3/4"
#14 (1/4")	0.250	3/2"	1 1/4"
- Project is sited where the basic wind speed is 130 mph or 140 mph (3-sec gust), $I_{w} = 0.77$ for screen enclosures. Exposure B. Design wind pressures are from 2004 FBC. Minimum design pressure is 10 psf. Pressures are based on wind tunnel testing with main wind force resisting system coefficient, C_{p} , of $+/-0.25$ for screen roof and 0.7-1.25 for walls. Contractor shall determine basic wind speed per local building department and identify appropriate tables for use in accordance to these engineering specifications.
- All concrete anchors shall be Simpson Strong-Tie Wedge All Anchors or Titan Screws or approved equal.
- Maximum spacing of Purlins & Chairrails shall be less than 7'-0" o.c.
- Diagonal bracing shall be installed on all roof screen panels that have at least one side adjacent to an exterior screen wall.

Beam Stitching Screw for all S.M.B.'s	
Beam Size	Beam Stitching Screw @ 24" o.c.
2" x 4" x 0.046 x 0.100	#8 x 3/4"
2" x 5" x 0.050 x 0.116	#8 x 3/4"
2" x 6" x 0.050 x 0.120	#10 x 3/4"
2" x 7" x 0.055 x 0.120	#10 x 3/4"
2" x 8" x 0.072 x 0.224	#12 x 3/4"
2" x 9" x 0.072 x 0.224	#12 x 3/4"
2" x 9" x 0.082 x 0.306	#14 x 3/4"
2" x 10" x 0.092 x 0.389	#14 x 3/4"

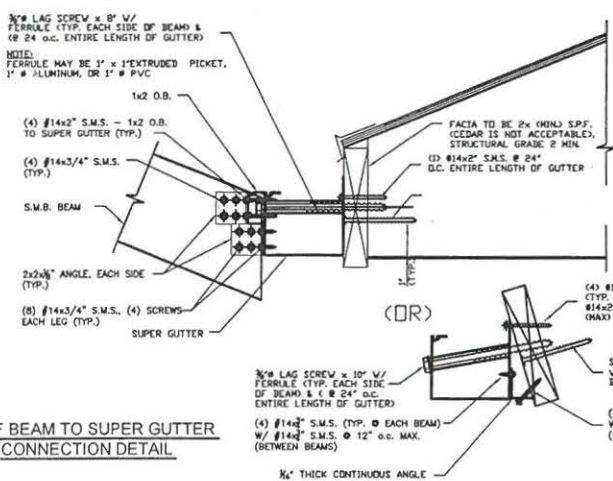
CLIENT: Available Aluminum, INC

DESCRIPTION:
Screen Enclosure Details

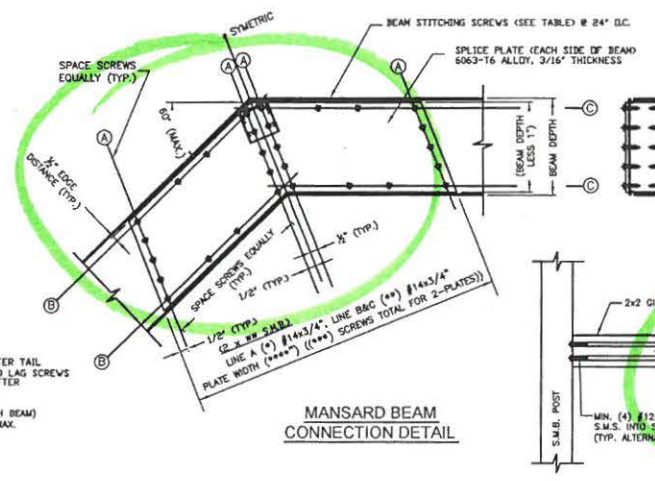
DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	3/27/08

DO YEON KIM, P.E.
 P.A. REG. NUMBER 49497
 DO KIM & ASSOCIATES, INC
 3300 HENDERSON BLVD., SUITE 108
 TAMPA, FL 33604

[Signature]

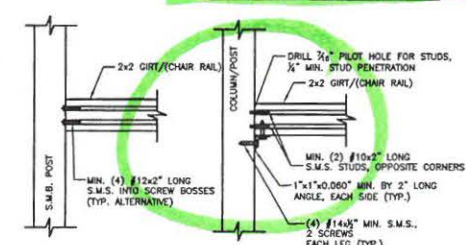


ROOF BEAM TO SUPER GUTTER CONNECTION DETAIL



MANSARD BEAM CONNECTION DETAIL

BEAM	#14x3/4\"/>		
	LINE #	LINE #	PLATE WIDTH
2x4	3	2	24 12"
2x5	3	3	32 14"
2x6	4	3	40 14"
2x7	5	4	56 16"
2x8	5	5	64 16"
2x9	5	6	72 18"
2x9(HW)	6	7	88 18"
2x10	7	7	96 18"



CHAIR RAIL / GIRT TO POST CONNECTION DETAIL

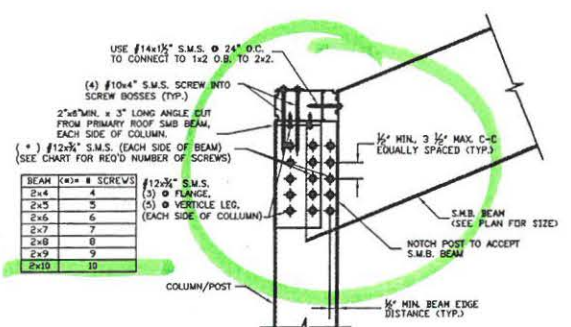
DO KIM & ASSOCIATES, LLC
 CONSULTING STRUCTURAL ENGINEERS
 3300 Henderson Blvd., Suite 106
 Tampa, FL 33609
 Tel: (813) 874-5900
 Fax: (813) 874-5969

Rev./Date	Description
007/2008	ISSUED

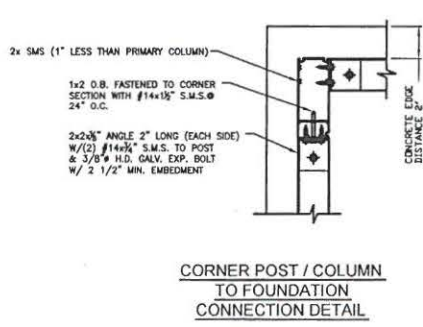
CLIENT: Available Aluminum, INC
 DESCRIPTION: Screen Enclosure Details
 DRAWN BY: DYK
 CHECKED BY: DYK
 SCALE: AS SHOWN
 DATE: 3/27/08

DO YEON KIM, P.E.
 FLA. REG. NUMBER 49497
 DO KIM & ASSOCIATES, LLC
 CAM 26887
 3300 HENDERSON BLVD., SUITE 106
 TAMPA, FL 33604
 4/24/06

Drawing No. - 060327
 SHEET 2 OF 4



MAIN POST / COLUMN TO ROOF BEAM CONNECTION DETAIL



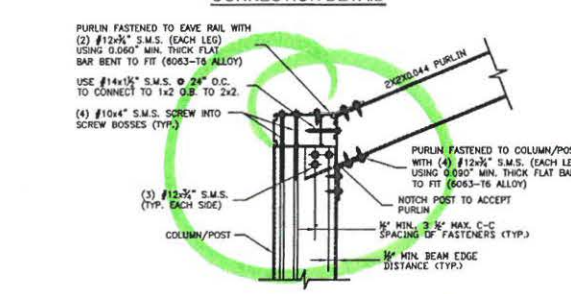
CORNER POST / COLUMN TO FOUNDATION CONNECTION DETAIL

BEAM	SPAN (FT)
2x4 S.M.B.	7.0
2x5 S.M.B.	9.0
2x6 S.M.B.	13.5
2x7 S.M.B.	16.5
2x8 S.M.B.	22.5
2x9 S.M.B.	24.5
2x9(HW) S.M.B.	28.5
2x10 S.M.B.	35.0

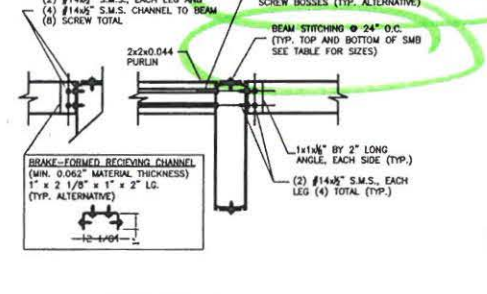
* COLUMN SPACING - (7'-0" MAX.)
 * 150 H.P.H. - EXP. "B"

COLUMN	HEIGHT (FT)
2x4x0.050 (HOLLOW)	9.0
2x5x0.062 (HOLLOW)	12.0
2x6 S.M.B.	14.5
2x7 S.M.B.	17.0
2x8 S.M.B.	20.0

* COLUMN SPACING - (7'-0" MAX.)
 * 150 H.P.H. - EXP. "B"



SIDEWALL POST / COLUMN TO PURLIN CONNECTION DETAIL



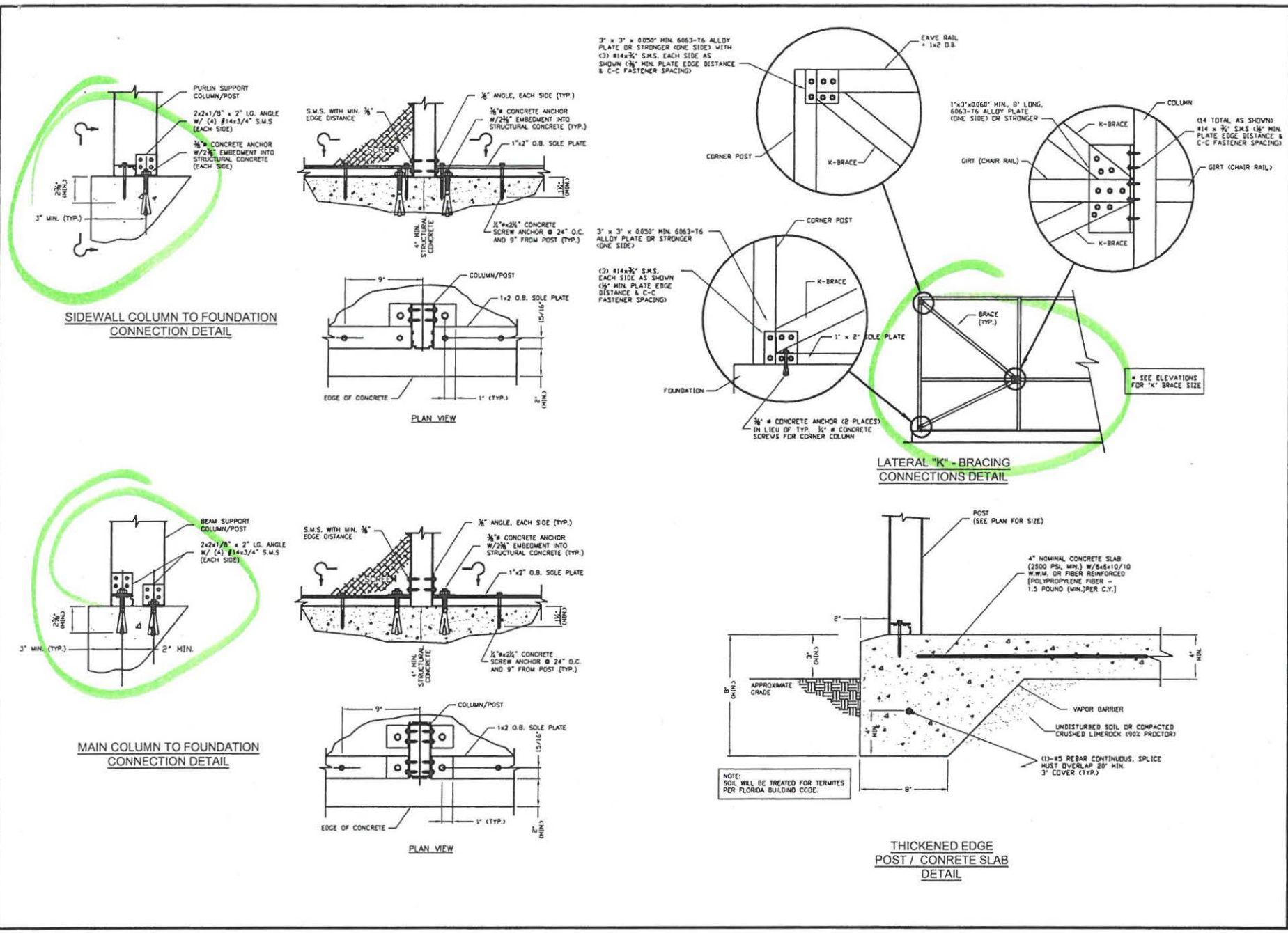
PURLIN TO ROOF BEAM CONNECTION DETAIL

BEAM	SPAN (FT)
2x4 S.M.B.	6.5
2x5 S.M.B.	8.5
2x6 S.M.B.	12.5
2x7 S.M.B.	14.5
2x8 S.M.B.	20.5
2x9 S.M.B.	22.5
2x9(HW) S.M.B.	25.5
2x10 S.M.B.	32.5

* COLUMN SPACING - (7'-0" MAX.)
 * 150 H.P.H. - EXP. "B"

COLUMN	HEIGHT (FT)
2x4x0.050 (HOLLOW)	8.0
2x5x0.062 (HOLLOW)	11.0
2x6 S.M.B.	13.0
2x7 S.M.B.	16.0
2x8 S.M.B.	19.0

* COLUMN SPACING - (7'-0" MAX.)
 * 150 H.P.H. - EXP. "B"



DO KIM & ASSOCIATES, LLC
 CONSULTING STRUCTURAL ENGINEERS

3300 Henderson Blvd., Suite 108
 Tampa, FL 33609
 Tel: (813) 874-5900
 Fax: (813) 874-5999

Rev./Date	Description
3/27/2024	ISSUED

CLIENT: Available Aluminum, INC
 DESCRIPTION: Screen Enclosure Details

DRAWN BY: DYK
 CHECKED BY: DYK
 SCALE: AS SHOWN
 DATE: 3/27/24

DO YEON KIM, P.E.
 F.L.A. REG. NUMBER 49497

DO KIM & ASSOCIATES, LLC
 3300 HENDERSON BLVD., SUITE 108
 TAMPA, FL 33609

Drawing No. - 060327
 SHEET 3 OF 4

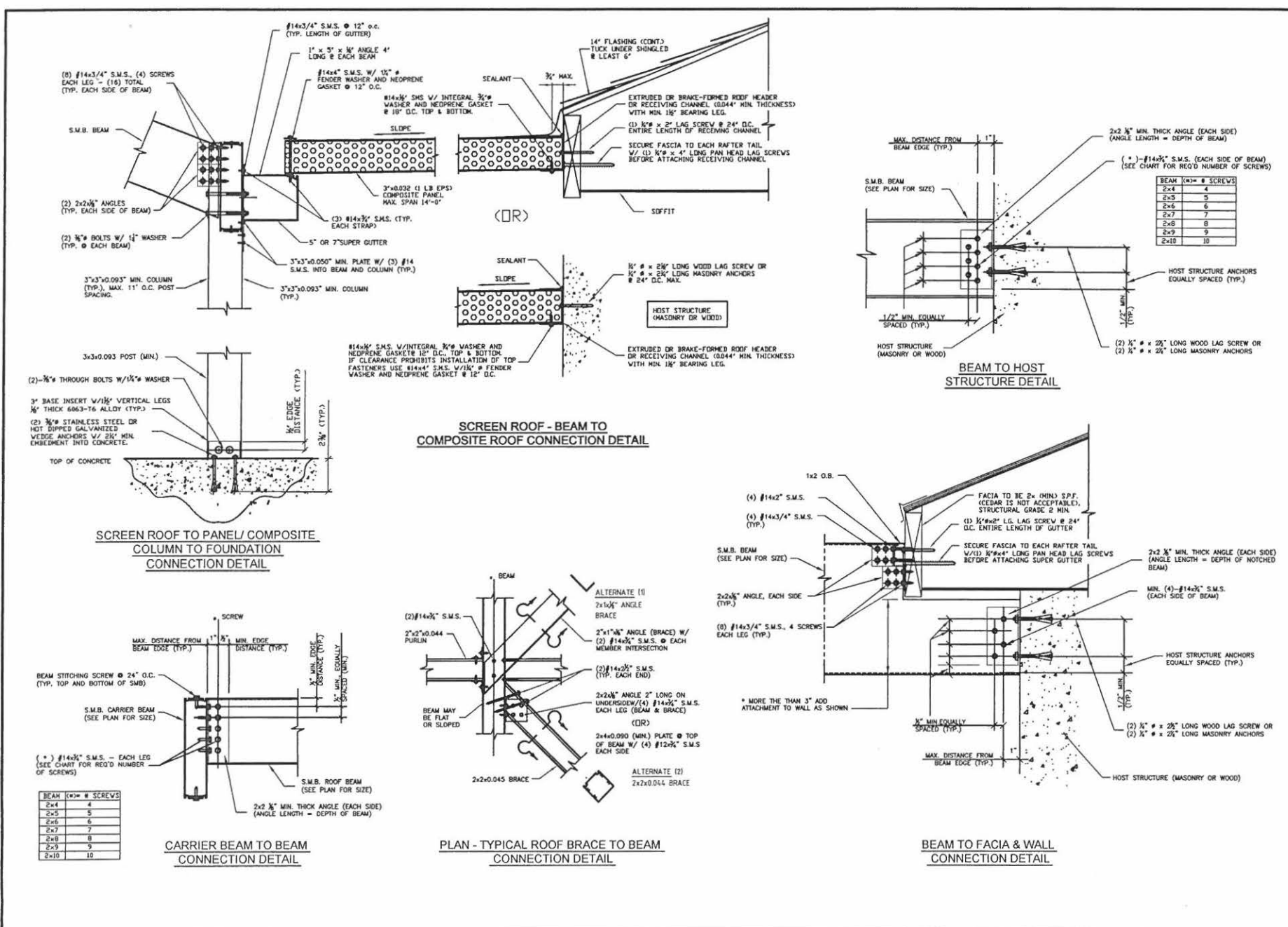
3300 Henderson Blvd., Suite 100
 Tampa, FL 33609
 Tel: (813) 874-5900
 Fax: (813) 874-5959

Rev./Date	Description
007/2008	ISSUED

CLIENT: Available Aluminum, INC
 DESCRIPTION: Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	3/27/06

DO YEON KIM, P.E.
 REG. NUMBER 49497
 DO KIM & ASSOCIATES, LLC
 CA# 000567
 3300 HENDERSON BLVD.,
 SUITE 100
 TAMPA, FL 33684
 4/24/06



BEAM (x) = # SCREWS	
2x4	4
2x5	5
2x6	6
2x7	7
2x8	8
2x9	9
2x10	10

BEAM (x) = # SCREWS	
2x4	4
2x5	5
2x6	6
2x7	7
2x8	8
2x9	9
2x10	10

BEAM (x) = # SCREWS	
2x4	4
2x5	5
2x6	6
2x7	7
2x8	8
2x9	9
2x10	10

NOTICE OF COMMENCEMENT

Unit No. _____
City of Florida

Tax ID # 12-38-41-002-000-00570-17
County Of Martin

UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property and street address, if available Rio Vista S/D Lot 57

General description of improvements construct mansard style roof pool enclosure
Owner Charles McClure
Address 12 Admirals Walk Stuart, FL 34994
Owner's interest in site of improvement N/A

Simple Title holder (if other than owner) N/A
Address _____

Contractor Available Aluminium Inc. Phone # 343-1034
Address 1362 SW Biltmore St. Port St. Lucie, FL 34983 Fax # 343-1037

City N/A Phone # _____
Address _____ Fax # _____
Amount of Bond \$ _____

Order N/A Phone # _____
Address _____ Fax # _____

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

Name _____ Phone # _____
Address _____ Fax # _____

In addition to himself, owner designates _____ of _____ (Phone # _____) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

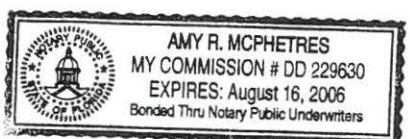
Expiration date of notice of commencement is one year from the date of recording unless a different date is specified. (Date) _____

Charles H. McClure Jr.
OWNERS SIGNATURE

known to me this 24 day of May, 2006, by Charles H. McClure Jr. who is personally known to me or who has produced DL as identification.

Amy R. McPhetres
SIGNATURE OF NOTARY
TYPE OR PRINT NAME OF NOTARY

NOTARY PUBLIC TITLE
0022163 COMMISSION NUMBER



(seal)

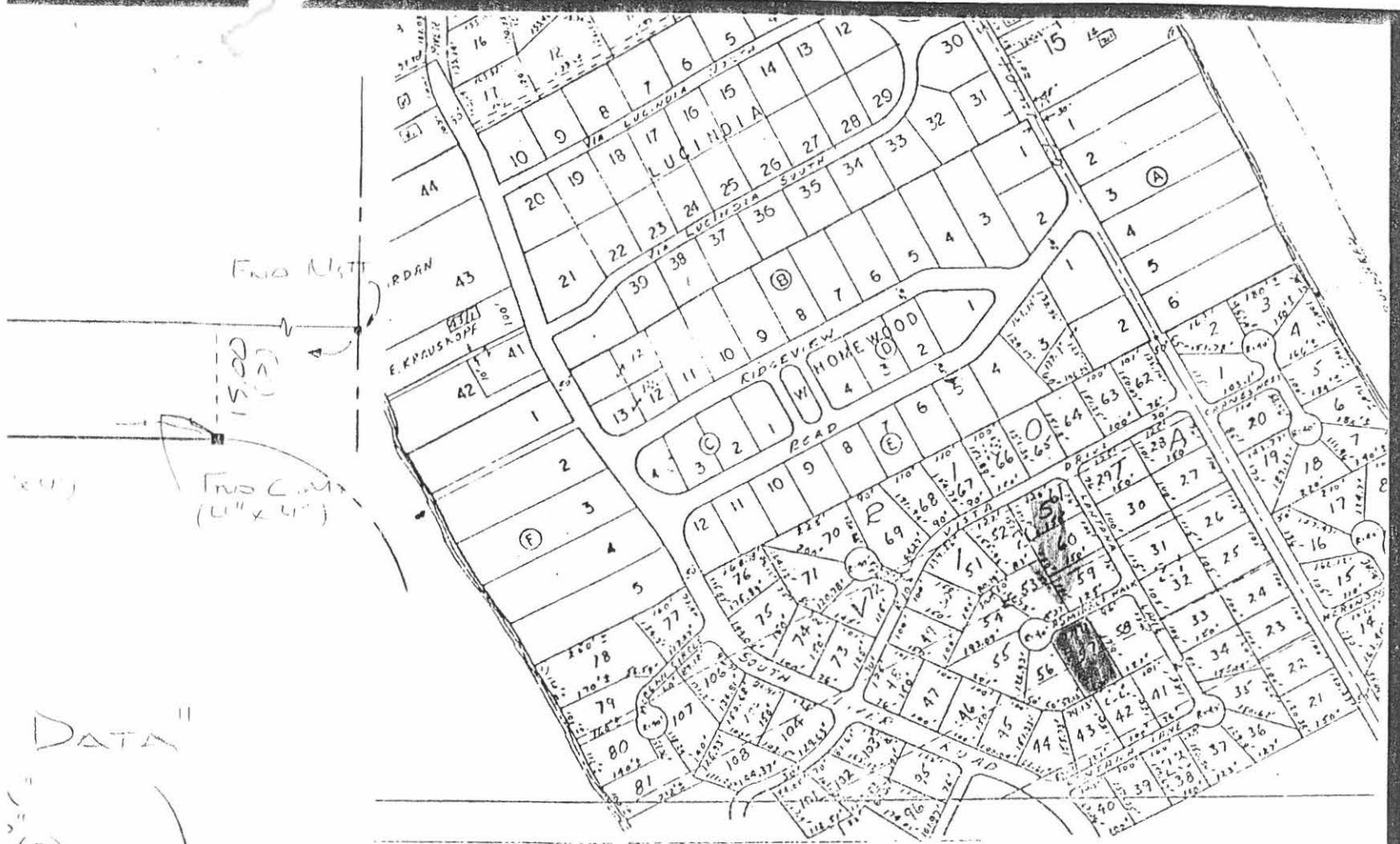
STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.



MARSHA EWING, CLERK
BY: T. Copes D.C.
DATE: 6-1-04

INSTR # 1927322 DR BK 02148 PG 1201 RECD 06/01/2006 12:06:38 PM
Pg 1201 of 109
MARSHA EWING MARTIN COUNTY DEPUTY CLERK T Copes (asst Mar)



LOCATION MAP

LEGAL DESCRIPTION

LOT 57, RIO VISTA, AS RECORDED IN PLAT BOOK 6, PAGE 95, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

SURVEYOR'S CERTIFICATE

WE HEREBY CERTIFY THAT THE BOUNDARY SURVEY AS SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS SURVEYED UNDER OUR DIRECTION. WE FURTHER CERTIFY THAT IT MEETS THE MINIMUM TECHNICAL STANDARDS UNDER RULE 61G17-6 FLA. ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027 FLA. STATUTES. **NOT VALID, UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.**

STEPHEN J. BROWN INC.

Stephen J. Brown PROFESSIONAL LAND SURVEYOR

REVISIONS
UPDATE BOUNDARY SURVEY 3/18/02
PERIODIC REVISIONS 4/4/02

BOUNDARY SURVEY
 PREPARED FOR: MCCLURE
 STEPHEN J. BROWN INC. LICENSED BUSINESS NUMBER: 6484
 SURVEYORS • DESIGNERS • LAND PLANNERS • CONSULTANTS

DRAWN S.J.B.
CHECKED S.J.B.
DATE 11/9/88
SCALE 1" = 20'
JOB NO. 939-45-01
SHEET ONE

DATA
15.00 (P)
2.00 (P)
8.00 (P)

58

ent
ed for easements
tion as furnished.
ument of record
National Geodetic
on bench mark.

- DRAINAGE FLOW
- MANHOLE

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7-28, 2006 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
MCO04	Kremer	Dryln	PASS	
1st	23 Ridgeland Dr Regency Roof.			INSPECTOR: <i>AM</i>
MCO0	McClure	Final	PASS	
39 3	12 Admirals Walk Available Alum			INSPECTOR: <i>AM</i>
7975	Roberts Law	Final	PASS	CLOSE
2	15 Island Rd All Am Roof.	(will clean up on thurs)		INSPECTOR: <i>AM</i>
7726	Walker	wire lath @ rear of house	FAIL	
5	6 Crane's Nest Janiero	+ mending pouring front	FAIL	RESCHEDULE 7/31 INSPECTOR: <i>AM</i>
8040	Goldman	generator	PASS	
9	4 Summer Ln. O/B	final		INSPECTOR: <i>AM</i>
7562	Clifford	final roof	PASS	
11	20 N. River Rd. Tuttle	as late as possible		INSPECTOR: <i>AM</i>
0007		FINAL ELEC.	PASS	
	9' WORKING WAY	(CONDUIT @ WALL)		INSPECTOR: <i>AM</i>

OTHER: _____

10315

REPLACE SIDE

DOOR IN GARAGE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10315	DATE ISSUED:	DECEMBER 28, 2012
SCOPE OF WORK:	REPLACE SIDE DOOR IN GARAGE		
CONTRACTOR:	LOWES		
PARCEL CONTROL NUMBER:	123841002000-005707	SUBDIVISION	RIO VISTA - LOT 57
CONSTRUCTION ADDRESS:	12 ADMIRALS WALK		
OWNER NAME:	KINGSTON		
QUALIFIER:	PETER CAFARO	CONTACT PHONE NUMBER:	561-768-9425

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10315
ADDRESS	12 ADMIRALS WALK - KINGSTON
DATE 12/28/12	SCOPE OF WORK REPLACE SIDE DOOR IN GARAGE

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$121.75 per sq ft)			

- Total square fee
- Total square feet re
- Total Construction
- Building fee: (2% o
- Building fee: (1% of
- Total number of insp
- Dept. of Comm. Affa
- DBPR Licensing Fee:
- Road impact assessme
- Martin County Impact

63-8413/2670 13208

**The Permit Group
BoCorp Inc**
 16188 74th Ave N
 Palm Beach Gardens, FL 33418
 561-768-9425

12/28 2012

PAY TO THE ORDER OF Town of Sewall's Point \$ 159.50

ONE FIFTY NINE AND 50/100 DOLLARS

JPMorgan Chase Bank
 3399 PGA Blvd Ste 100
 Palm Beach Gardens, FL 33410

[Signature]

TOTAL BUILDING PERMIT FEE: \$

ACCESSORY PERMIT	Declared Value:	\$	1139.73
Total number of inspections @ \$75.00 each	2		150.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2.25
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2.25
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5.00
TOTAL ACCESSORY PERMIT FEE:		\$	159.50

[Handwritten signature]
 CR# 13208

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 10315

Date: _____
 OWNER/LESSEE NAME: Kingston, David Phone (Day) _____ (Fax) _____
 Job Site Address: 12 Admiral Walk City: Sewalls Pt State: FL Zip: _____
 Legal Description: Riviera S/D lot 57 Parcel Control Number: 12-38-41-002-000-00570-7
 Fee Simple Holder Name: _____ Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** change out/ Replac 1 door

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO X
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 113073
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 _____ X _____
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Lowes Home Centers Phone: 561-768-9425 Fax: 561-768-9426
 Qualifiers name: Pete Cafaro Street: PO Box 781993 City: Orlando State: FL Zip: 32787
 State License Number: CGC1508417 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Mitch Boccook Phone Number: 561-721-5611

DESIGN PROFESSIONAL: _____ Fla. License# _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

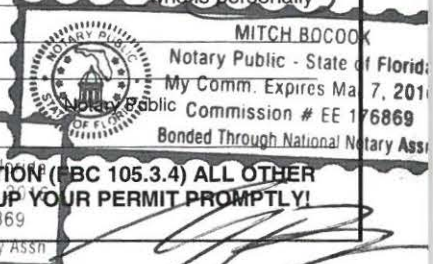
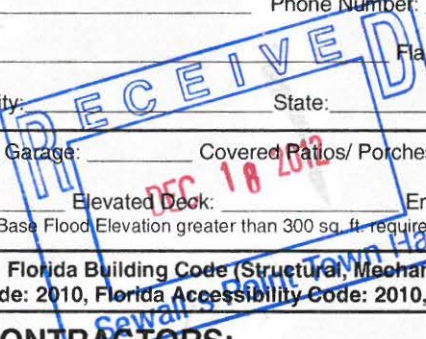
******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
 X David M. Kingston
 State of Florida, County of: Martin
 On This the 11TH day of December, 2012
 by David Kingston who is personally known to me or produced FLDC
 As identification: [Signature]
 My Commission Expires: _____

CONTRACTOR/LICENSSEE NOTARIZED SIGNATURE:
 X _____
 State of Florida, County of: POL
 On This the 12TH day of October, 2012
 by Pete Cafaro who is personally known to me or produced _____
 As identification: _____
 My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 195.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



[Signature]

**Martin County, Florida
Laurel Kelly, C.F.A**
generated on 12/18/2012 12:41:18 PM EST
Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00570-7	27570	12 ADMIRALS WALK, SEWALL'S POINT	\$228,710	12/15/2012

Owner Information

Owner(Current)	KINGSTON DAVID M & JILL
Owner/Mail Address	1679 SUPPLEE RD LANSDALE PA 19446
Sale Date	11/8/2012
Document Book/Page	2611 2940
Document No.	2361252
Sale Price	360000

Location/Description

Account #	27570	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 57
Parcel Address	12 ADMIRALS WALK, SEWALL'S POINT		
Acres	.4090		

Parcel Type

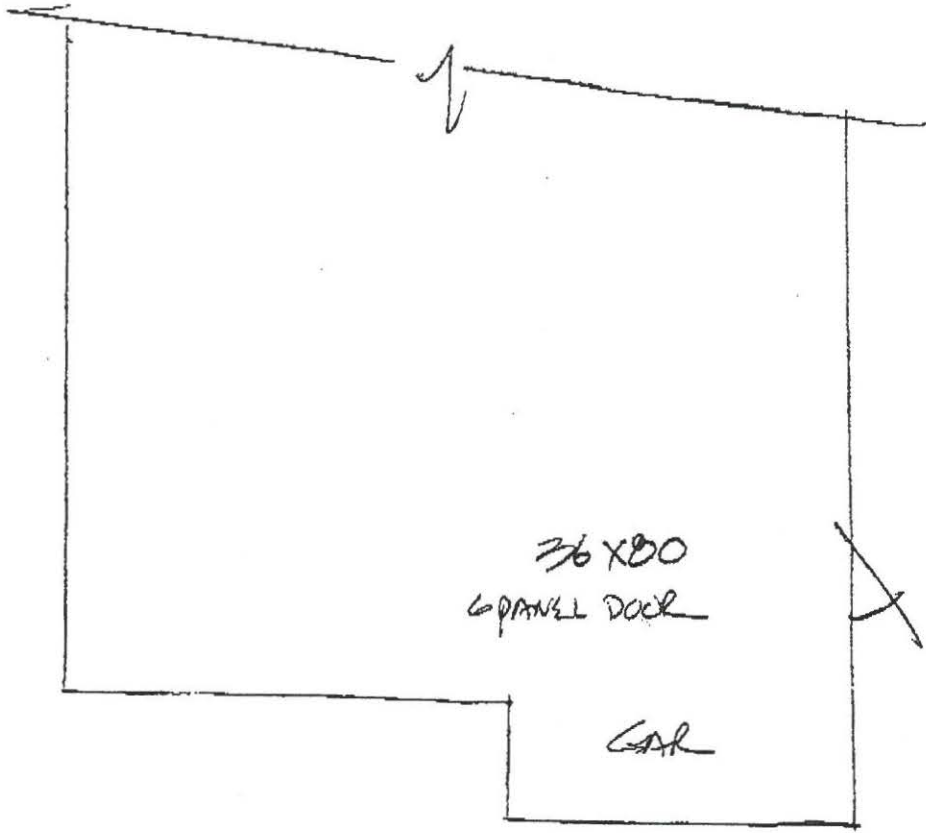
Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

Market Land Value	\$120,000
Market Improvement Value	\$108,710
Market Total Value	\$228,710

DAVID KINGSTON
12 ADRIAN WAY
SUMMIT, IL

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



FRONT

Product Approval

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**

FL # **FL13459-R2**
 Application Type Revision
 Code Version **2010**
 Application Status Approved
 *Approved by DCA. Approvals by DCA shall be reviewed and ratified by the POC and/or the Commission if necessary.

Comments
 Archived

Product Manufacturer Therma-Tru Corporation
 Address/Phone/Email 118 Industrial Drive
 Edgerton, OH 43517
 (419) 298-1740
 rickw@rwbldgconsultants.com

Authorized Signature Vivian Wright
 rickw@rwbldgconsultants.com

Technical Representative
 Address/Phone/Email

Quality Assurance Representative
 Address/Phone/Email

Category **Exterior Doors**
 Subcategory **Swinging Exterior Door Assemblies**

Compliance Method Certification Mark or Listing

Certification Agency National Accreditation & Management Institute,
 Validated By Ryan J. King, P.E.
 Validation Checklist - Hardcopy Received

Referenced Standard and Year (of Standard)	Standard	Year
	ASTM D1929	1996
	ASTM D2843	1999
	ASTM D635	2003
	ASTM D638	1996
	ASTM E1886	2002
	ASTM E1996	2002
	ASTM E330	2002
	ASTM E84	2000
	ASTM G26	1995
	TAS 201, 202, 203	1994

Equivalence of Product Standards
 Certified By Florida Licensed Professional Engineer or Architect
[FL13459_R2_Equiv_of_Standards.pdf](#)

Product Approval Method Method 1 Option A

Date Submitted 02/27/2012
 Date Validated 05/30/2012
 Date Pending FBC Approval
 Date Approved 06/19/2012

Summary of Products		
FL #	Model, Number or Name	Description
13459.1	a. Benchmark by Therma-Tru	6'8 "Smooth Surface" or "Wood Grain" Fiberglass Single Door - (X) Inswing or Outswing Configuration
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: See INST 13459.1 for Design Pressure Ratings, any additional use limitations, installation instructions and product particulars.		Certification Agency Certificate FL13459_R2_C_CAC_13459.1_NAMI_Certs.pdf Quality Assurance Contract Expiration Date 03/31/2016 Installation Instructions FL13459_R2_II_Inst_13459.1.pdf Verified By: Lyndon F. Schmidt, P.E. 43409 Created by Independent Third Party: Yes Evaluation Reports FL13459_R2_AE_Eval_13459.1.pdf FL13459_R2_AE_TT-Plastics.1.pdf Created by Independent Third Party: Yes

Benchmark

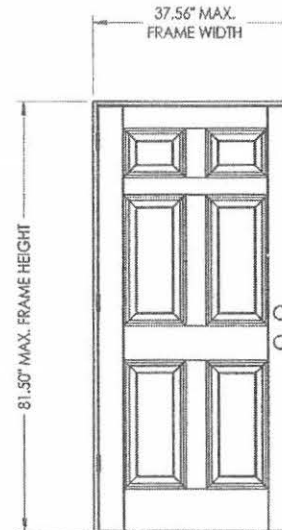
by THERMA-TRU

118 INDUSTRIAL DR., EDGERTON, OH 43517

"Smooth Surface" and "Wood Grain" FIBERGLASS DOOR INSWING / OUTSWING "IMPACT"

GENERAL NOTES

1. This product has been evaluated and is in compliance with the 2010 Florida Building Code (FBC) structural requirements including the "High Velocity Hurricane Zone" (HVHZ). See the Certification Agency Certificate for sizes, specifications and ratings.
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
3. When used in the "HVHZ" this product complies with section 1626 of the Florida Building Code and does not require an impact resistant covering.
4. When used in areas outside of the "HVHZ" requiring wind borne debris protection this product complies with Section 1609.1.2 of the 2010 FBC and does not require an impact resistant covering. This product meets missile level "D" and includes Wind Zone 4 as defined in ASTM E 1996 and Section 1609.1.2.4 of the FBC.
5. For 2x stud framing construction, anchoring of these units shall be the same as that shown for 2x buck masonry construction.
6. Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.
7. Outswing configurations using the high water dam threshold item #4 meet water infiltration requirements for "HVHZ".
8. Inswing configurations and outswing configurations using sill item #3 do not meet the water infiltration requirements for the "HVHZ" and shall be installed only in non-habitable areas or at habitable locations protected by an overhang or canopy such that the angle between the edge of canopy or overhang to sill is less than 45 degrees



DOOR TYPE	SWING	OVERALL FRAME DIMENSION	DESIGN PRESSURE (PSF)	
			POSITIVE	NEGATIVE
"Smooth Surface" & "Wood Grain"	INSWING	37.56" x 81.50"	+75.0	-80.0
	OUTSWING	37.56" x 80.50"	+80.0	-80.0

TABLE OF CONTENTS	
SHEET #	DESCRIPTION
1	Typical elevations, design pressures & general notes
2	Door panel details
3	Horizontal cross sections
4	Vertical cross sections
5	Buck & frame anchoring
6	Bill of materials & components

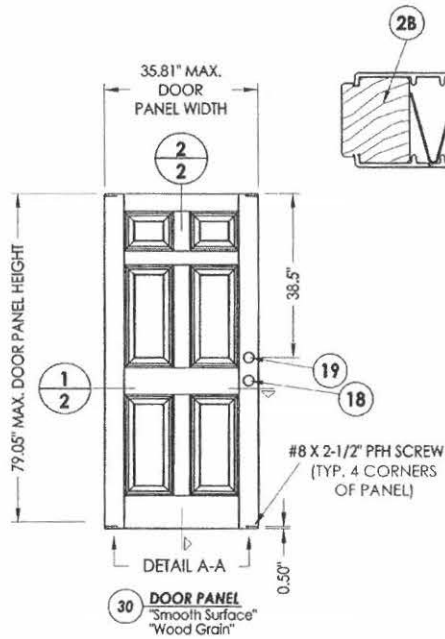
Documents Prepared By:
RW BUILDING CONSULTANTS, INC.
 P.O. Box 230 Vero Beach, FL 33595
 Phone No.: 813.659.8197
 Florida Board of Professional Engineers
 Certificate Of Authorization No. 9813
 Lyndon F. Schmidt, P.E. No. 43409

PRODUCT: BENCHMARK BY THERMA-TRU FIBERGLASS DOOR

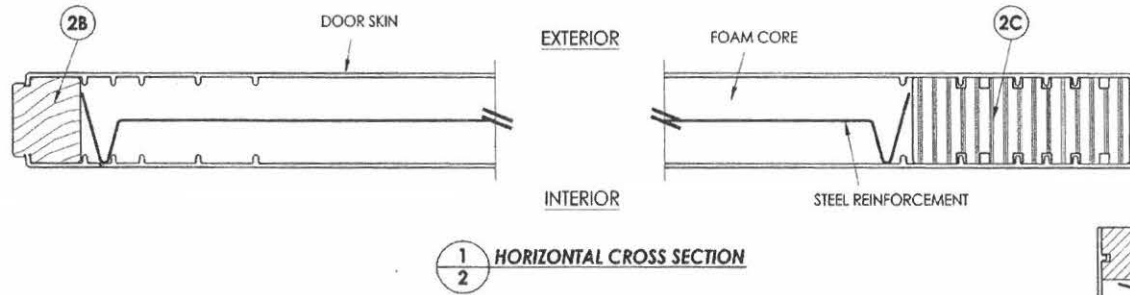
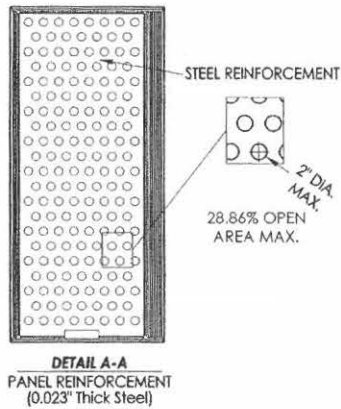
PART OR ASSEMBLY: TYPICAL ELEVATION, DESIGN PRESSURES & GENERAL NOTES

NO.	DATE	REVISIONS
1	3/6/12	REVISED TO CERT. MARK METHOD

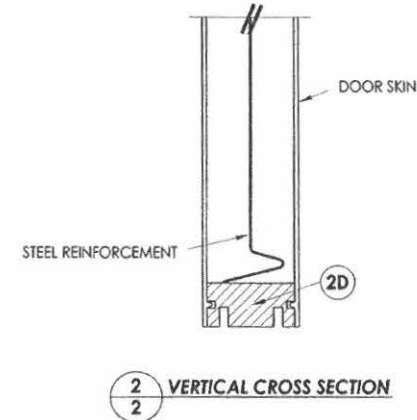
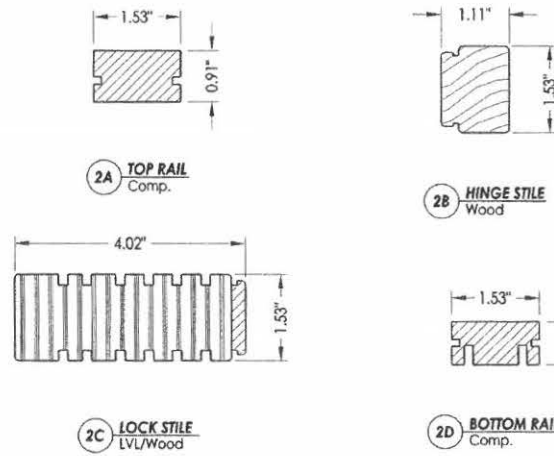
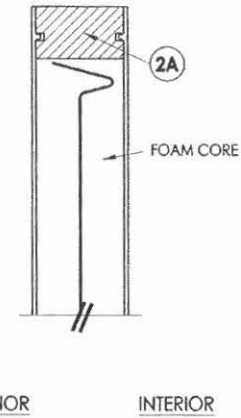
DATE: 1/25/10
 SCALE: N.T.S.
 DWG. BY: AL
 CHK. BY: LFS
 DRAWING NO.: FL-13459.1
 SHEET 1 OF 6



DOOR SKIN 0.070" THK. (F_y = 6,000 PSI MIN.)
CORE MATERIAL: POLYURETHANE FOAM
(PUR, 1.9lbs. MIN. DENSITY)



LOCK & DEADBOLT RATINGS CHART		
MANUFACTURER	MODEL	ITEM #
KWIKSET	LOCK: SIGNATURE SERIES	18
	DEADBOLT: SIGNATURE SERIES (780)	19



Documents Prepared By:
RW BUILDING CONSULTANTS, INC.
 P.O. Box 230 Vero Beach, FL 33595
 Phone No.: 813.659.9197
 Florida Board of Professional Engineers
 Certificate of Authorization No. 9913
 Lyndon F. Schmitt, P.E. No. 43409

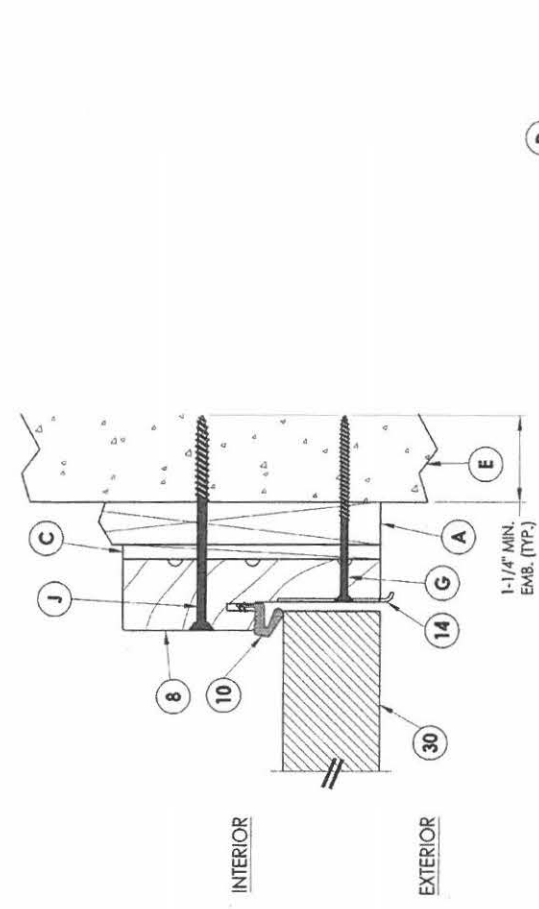
PRODUCT: BENCHMARK BY THERMA-TRU FIBERGLASS DOOR
 PART OR ASSEMBLY: DOOR PANEL DETAILS

NO.	DATE	REVISIONS	BY
1	3/6/12	REVISED TO CERT. MARK METHOD	LFS

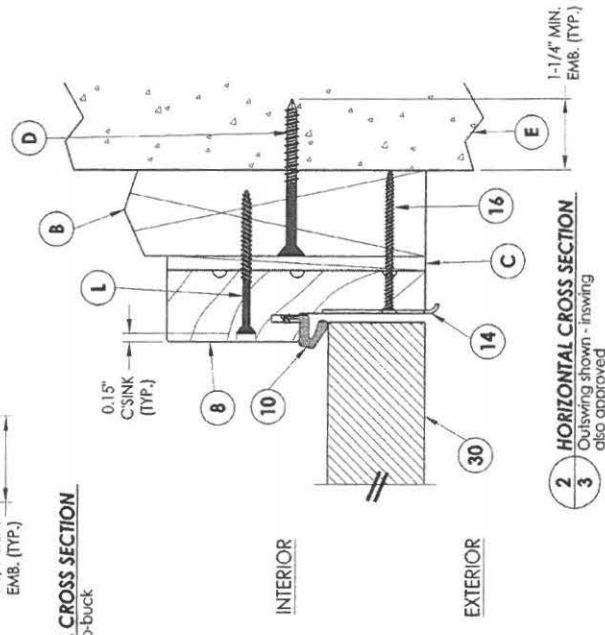
DATE: 1/25/10
 SCALE: N.T.S.
 DWG. BY: AL
 CHK. BY: LFS
 DRAWING NO.: FL-13459.1
 SHEET 2 OF 6

© 2010 R.W. BUILDING CONSULTANTS INC.

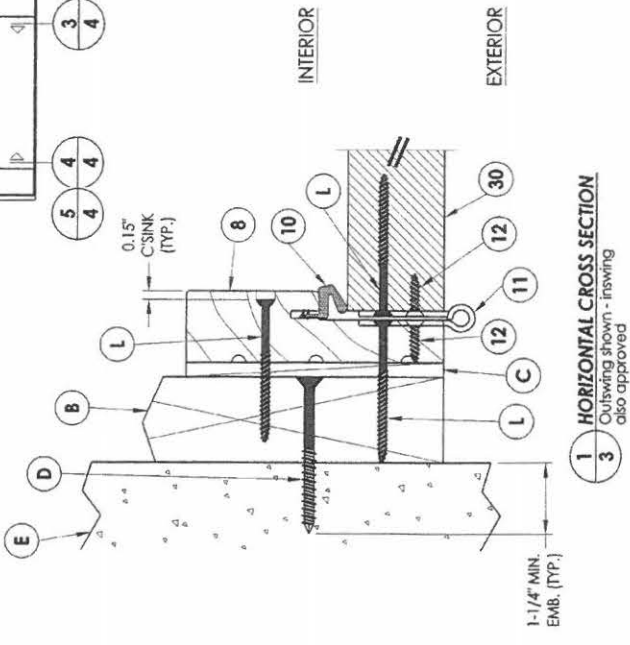
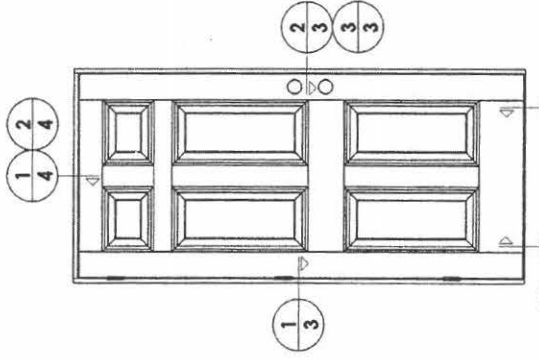
BUILDING CONSULTANTS, INC. P.O. Box 230 Venice FL 33595 Phone No.: 813.659.9197 Florida Board of Professional Engineers Certificate Of Authorization No. 9813 Lyndon F. Schmidt, P.E. No. 43409 3-7-12		REVISIONS NO. DATE REVISED TO CERT. MARK METHOD LFS BY	
PRODUCT: BENCHMARK BY THERMA-TRU FIBERGLASS DOOR		PART OR ASSEMBLY:	
CROSS SECTIONS HORIZONTAL		DATE: 1/25/10 SCALE: N.T.S. DWG. BY: AL CHK. BY: LFS DRAWING NO.: FL - 13459.1 SHEET 3 of 6	



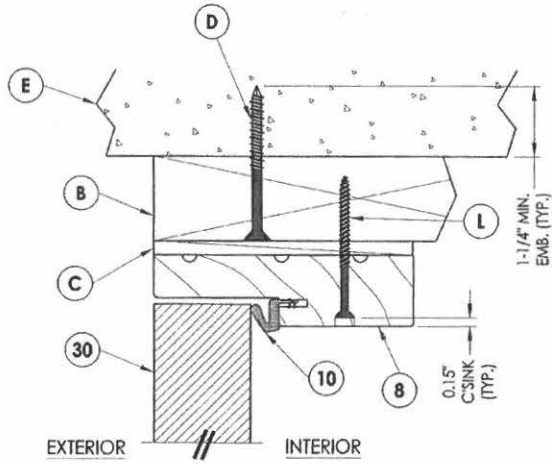
3 HORIZONTAL CROSS SECTION
3 Shown w/1X sub-back



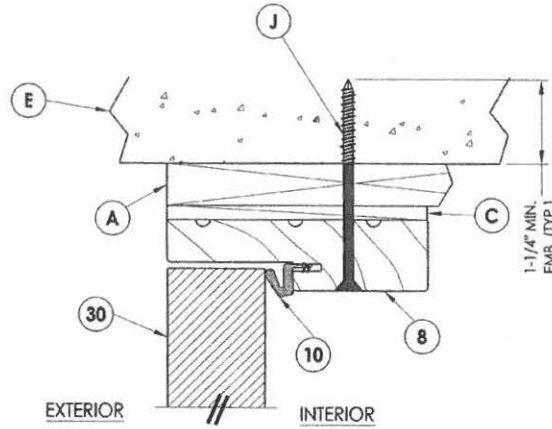
2 HORIZONTAL CROSS SECTION
3 Outswing shown - inswing also approved



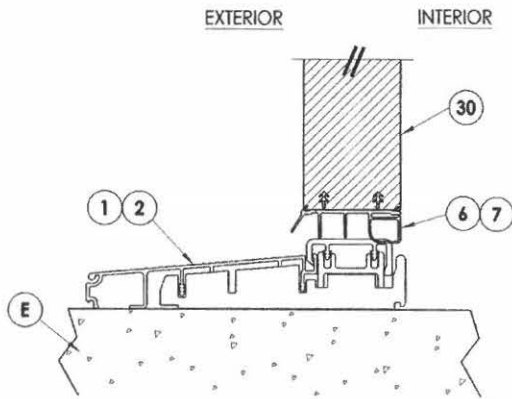
1 HORIZONTAL CROSS SECTION
3 Outswing shown - inswing also approved



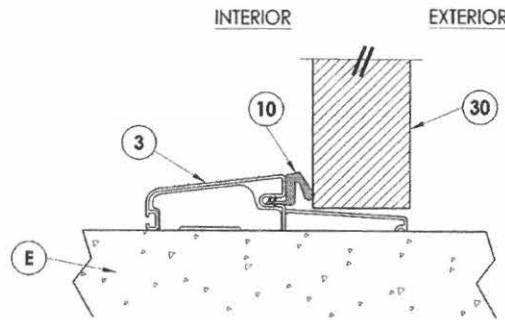
1 VERTICAL CROSS SECTION
4 Outswing shown - inswing also approved



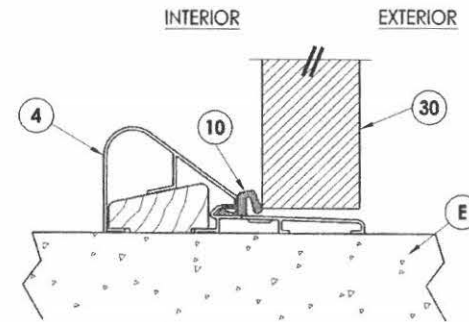
2 VERTICAL CROSS SECTION
4 Shown w/TX sub-buck



3 VERTICAL CROSS SECTION
4 Inswing configuration see general notes, sheet 1 for "HVHZ" water infiltration requirements



4 VERTICAL CROSS SECTION
4 Outswing configuration see general notes, sheet 1 for "HVHZ" water infiltration requirements



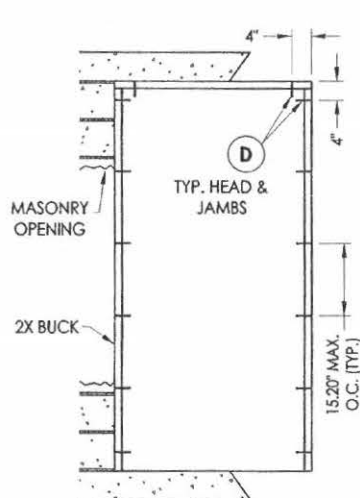
5 VERTICAL CROSS SECTION
4 Outswing configuration see general notes, sheet 1 for "HVHZ" water infiltration requirements

Documents Prepared By:
RW BUILDING CONSULTANTS, INC.
 P.O. Box 230 Venice, FL 33595
 Phone No. 813.659.9197
 Florida Board of Professional Engineers
 Certificate of Registration No. 9873
 12/23/12
 Lyndon F. Schmidt, P.E. No. 43409

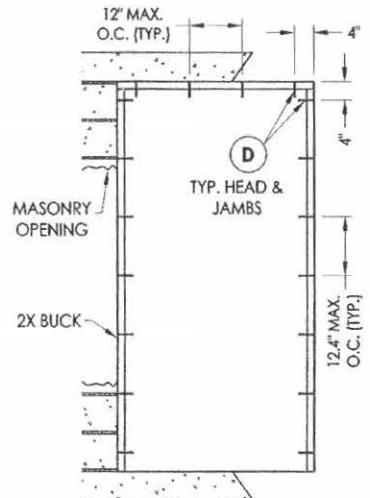
PRODUCT: BENCHMARK BY THERMA-TRU
 FIBERGLASS DOOR
 PART OR ASSEMBLY: VERTICAL
 CROSS SECTIONS

NO.	DATE	REVISIONS	MARK	METHOD	LFS	BY
1	3/6/12	REVISED TO CERT.				

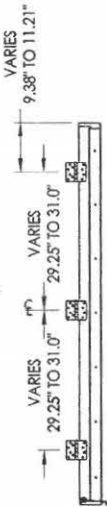
DATE: 1/25/10
 SCALE: N.T.S.
 DWG. BY: AL
 CHK. BY: LFS
 DRAWING NO.: FL-13459.1
 SHEET 4 OF 6



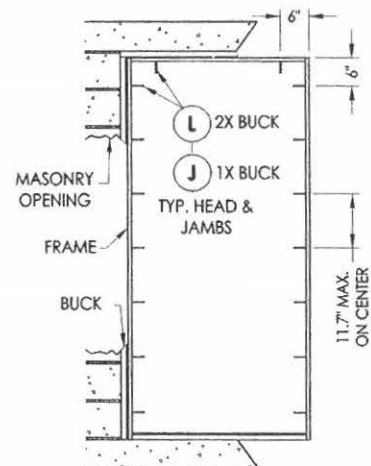
BUCK ANCHORING
DP <= 50 psf



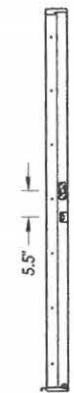
BUCK ANCHORING
50 psf < DP <= 80 psf



HINGE JAMB



FRAME ANCHORING
Masonry Construction

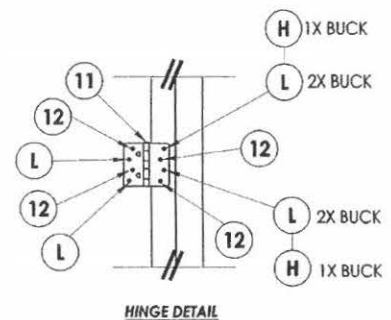


STRIKE JAMB

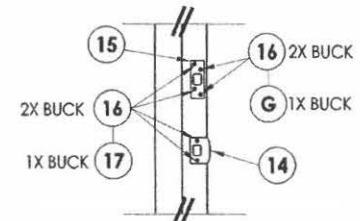
CONCRETE ANCHOR NOTES:

1. Substitution of equal concrete anchors from a different supplier may have different edge distance and center distance requirements.
2. Concrete anchor locations at the corners may be adjusted to maintain the min. edge distance to mortar joints. If concrete anchor locations noted as "MAX. ON CENTER" must be adjusted to maintain the min. edge distance to mortar joints, additional concrete anchors may be required to ensure the "MAX. ON CENTER" dimensions are not exceeded.
3. Concrete anchor table:

ANCHOR TYPE	ANCHOR SIZE	MIN. EMBEDMENT	MIN. CLEARANCE TO MASONRY EDGE	MIN. CLEARANCE TO ADJACENT ANCHOR
ITW	1/4"	1-1/4"	2-1/2"	3"
ELCO	1/4"	1-1/4"	1"	4"
ITW	3/16"	1-1/4"	2-5/8"	2-1/4"



HINGE DETAIL



LATCH & DEADBOLT DETAIL

Documents Prepared By:
RW BUILDING CONSULTANTS, INC.
 P.O. Box 230 Valrico FL 33595
 Phone No.: 813.659.9197
 Florida Board of Professional Engineers
 Certificate Of Authorization No. 9813
 Lyndon F. Schmidt, P.E. No. 43409

PRODUCT:
 BENCHMARK BY THERMA-TRU
 FIBERGLASS DOOR

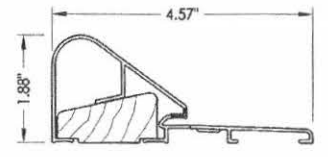
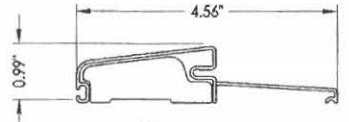
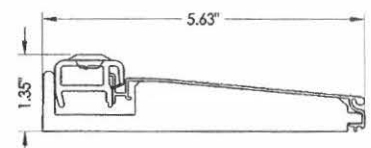
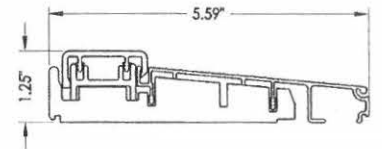
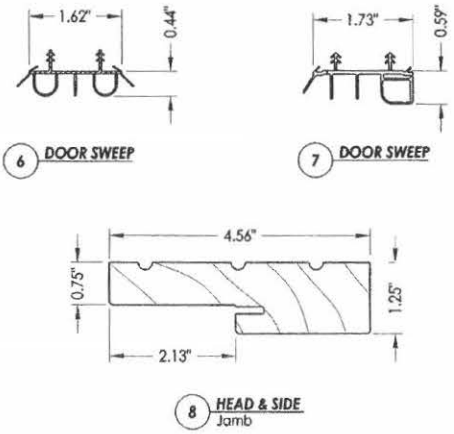
PART OR ASSEMBLY:
 BUCK & FRAME ANCHORING

NO.	DATE	REVISED TO CERT.	MARK	METHOD	LFS	BY
1	3/6/12	REVISED TO				

DATE: 1/25/10
 SCALE: N.T.S.
 DWG. BY: AL
 CHK. BY: LFS
 DRAWING NO.: FL-13459.1
 SHEET 5 OF 6

© 2010 R.W. BUILDING CONSULTANTS INC.

BILL OF MATERIALS		
ITEM	DESCRIPTION	MATERIAL
A	1X BUCK SG >= 0.55	WOOD
B	2X BUCK SG >= 0.55	WOOD
C	MAX. 1/4" SHIM SPACE	WOOD
D	1/4" X 2-3/4" PFH ELCO OR ITW CONCRETE SCREW	STEEL
E	MASONRY - 3,192 PSI MIN. CONCRETE CONFORMING TO ACI 301 OR HOLLOW BLOCK CONFORMING TO ASTM C90	CONCRETE
G	3/16" X 3-1/4" PFH ITW CONCRETE SCREW	STEEL
H	1/4" X 3-1/4" PFH ITW CONCRETE SCREW	STEEL
J	1/4" X 3-3/4" PFH ITW CONCRETE SCREW	STEEL
L	#10 X 2-1/2" PFH WOOD SCREW	STEEL
1	INSWING ADJUSTABLE THRESHOLD (BMTI)	ALUM./COMP.
2	INSWING ADJUSTABLE THRESHOLD (RB)	ALUM./COMP.
3	OUTSWING BUMPER THRESHOLD (RB & BMTI)	ALUM./COMP.
4	OUTSWING HIGH WATER DAM THRESHOLD	ALUM./COMP.
6	DOOR BOTTOM SWEEP	VINYL
7	DOOR BOTTOM SWEEP	VINYL
8	JAMB (PINE) SG >= 0.42	WOOD
10	WEATHERSTRIP	FOAM
11	HINGE (4" X 4")	STEEL
12	#10 X 3/4" PFH SCREW	STEEL
14	LATCH STRIKE PLATE	STEEL
15	SECURITY STRIKE PLATE	STEEL
16	#8 X 2-1/2" PFH SCREW	STEEL
17	#8 X 3/4" PFH SCREW	STEEL
30	SMOOTH SURFACE/WOOD GRAIN DOOR - SEE DOOR PANEL DETAIL SHEET	STEEL



Documents Prepared By:
R.W. BUILDING CONSULTANTS, INC.
 P.O. Box 230 Vairico FL 33595
 Phone No.: 813.659.9197
 Florida Board of Professional Engineers
 Certificate of Authorization No. 9813
R.W.
 Lyndon F. Schmidt, P.E. No. 43409

PRODUCT:
 BENCHMARK BY THERMA-TRU
 FIBERGLASS DOOR

PART OR ASSEMBLY:
 BILL OF MATERIALS &
 COMPONENTS

NO.	DATE	REVISED TO CERT.	MARK METHOD	LFS	BY
1	3/6/12	REVISED TO CERT.	MARK METHOD	LFS	BY

REVISIONS

DATE: 1/25/10
 SCALE: N.T.S.
 DWG. BY: AL
 CHK. BY: LFS
 DRAWING NO.:
 FL-13459.1
 SHEET 6 OF 6

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TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **1-14-13** Page **1** of **2**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10308	Higgins	Final		
	18 S. Via Lucinda	Patio	PASS	Close
	Avery Lawers			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	Moscattello	Tree		
	1 Worth Ct		OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10283	Grenico	Final		
	15 Lantana	Fence	PASS	Close
	Stuart Fence			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9997	Burkhardt	electrical		Reason For
	106 S Sewalls	Final	PASS	FPL ✓
	Twiftwood	Meter		INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	Ceccarelli	Tree		SEE NOTE
	19 Rio Vista Dr		OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10317	Goodman			
	6 OAKWOOD DR	P Pour D way	PASS	
	Mosley			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10315	Kingston	Door		
	12 ADMIRALS WALK	ROUGH	PASS	
	Lowe's			INSPECTOR <i>JA</i>

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 1-16-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10315	Kingston	Final		
1st	12 Admirals Walk Lowe's	Door (Mother-in-law well used door used for deck work)	Pass	Close INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10144	MURPHY/BAKSH	METER		
	8 HERONS NEST	FINAL	CANCEL	NOT READY
	BROWNIE			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10280	FRISOLI	EQUIPOTENTIAL		
	50 S Sewalls	POND	Pass	
	50 H Custom Pools			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

ADMINISTRATIVE
VARIANCE

INSTR # 1673789
OR BK 01787 PG 1108
RECORDED 07/10/2003 12:57:23 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY C Burkey

RESOLUTION NO. 589

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, GRANTING THE APPLICATION OF CHARLES McCLURE AND JANE McCLURE, HIS WIFE, FOR A VARIANCE OF AN ENCROACHMENT ON LOT 57, RIO VISTA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 95, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

WHEREAS, Charles McClure and Jane McClure, his wife ("Applicants"), the owners of the above-described property, have applied for an administrative variance under the Code; and

WHEREAS, the Town Building Department received, reviewed and recommended approval of the Applicants' application for a variance of the 1.0 foot encroachment on the NE corner of the residence; and

WHEREAS, the Applicants filed a variance request pursuant to the Town Code; and

WHEREAS, the Town Commission held a public hearing on the variance on April 15, 2003; and

WHEREAS, notice of the public hearing was posted at the Town Hall bulletin board and notice of the public hearing was sent by certified mail, return receipt requested, by the Applicants, to all record owners of property located adjacent to the property involved in the variance and the date of the mailing was at least fifteen (15) days before the date of the hearing (or notice was waived by the adjacent owners); and

WHEREAS, the Applicants at the public hearing presented proof of the identity and address of the persons entitled to receive notice by mail and of the mailing of the notice to those persons (or their waiver); and

WHEREAS, the Town Commission at the public hearing made the finding that: The Applicants demonstrated an extreme hardship, which justified a variance of the Town Code.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, AS FOLLOWS:

1. The Applicants' variance is hereby conditionally granted by the Town Commission of the Town of Sewall's Point, Florida;
2. This variance is expressly conditioned on the application for the variance being signed by the Applicants;
3. This variance is expressly conditioned upon the Applicants reimbursing the Town for all professional expenses of the Town incurred in connection with the application, pursuant to Section 46-31, Town of Sewall's Point Code of Ordinances;
4. The Town Building Department, upon the payment of the appropriate permit application fee and professional fees, shall issue a variance permit for the encroachment listed above, at 12 Admirals Walk, Sewall's Point, Florida, in accordance with the plans and specifications reviewed by the Town Commission at the public hearing (Exhibit "A" attached); and
5. This Resolution shall not constitute permission or a license, either now or in the future, to conduct any activity other than the variance of the encroachment listed above as

proposed by the Applicants in their permit application. Any material deviation in the encroachment permit, survey, drawings, plans, or other application materials provided by the Town Building Department by the Applicants, shall revoke the approval granted by this resolution and shall be a violation of the Town of Sewall's Point Code of Ordinances.

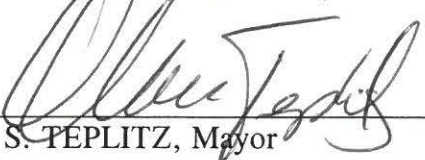
6. This Resolution shall be recorded by the Applicants in the Martin County, Florida Public Records at the Applicants' expense.

The vote was as follows:

	AYE	NAY
MARC S. TEPLITZ, Mayor	✓	_____
JAMES D. BERCAW, Vice Mayor	✓	_____
RICHARD L. BARON, Commissioner	✓	_____
THOMAS P. BAUSCH, Commissioner	✓	_____
E. DANIEL MORRIS, Commissioner	absent	_____


The Mayor thereupon declared this Resolution approved and adopted by the Town Commission of the Town of Sewall's Point on this 15th day of April, 2003.

TOWN OF SEWALL'S POINT, FLORIDA




MARC S. TEPLITZ, Mayor

ATTEST:

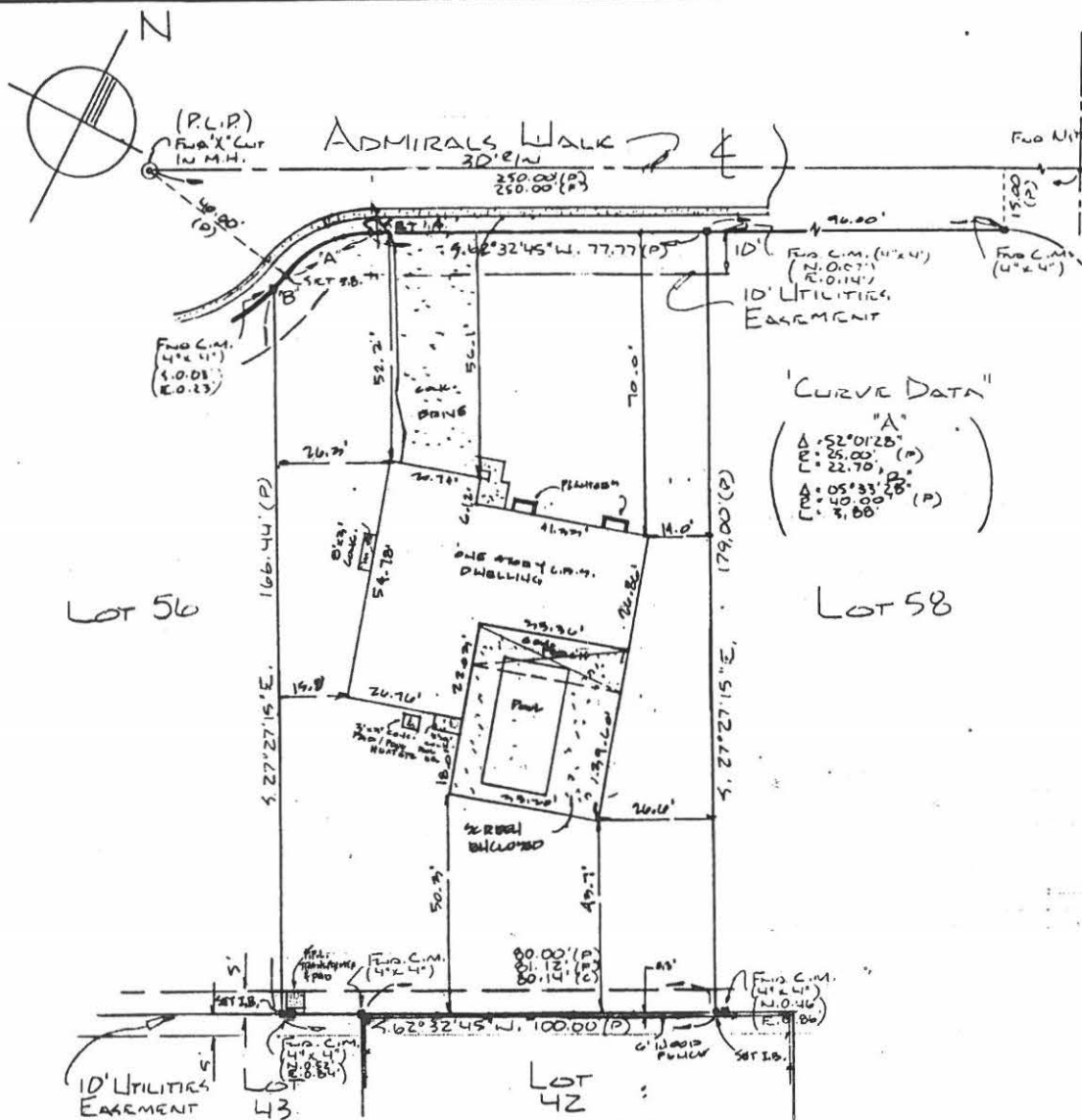

Joan H. Barrow, Town Clerk

(TOWN SEAL)





Tim B. Wright, Town Attorney
Approved as to form and
legal sufficiency



LOCATION MAP

LEGAL DESCRIPTION

LOT 57, RIO VISTA, AS RECORDED IN PLAT BOOK 6, PAGE 95, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

SURVEYOR'S CERTIFICATE

WE HEREBY CERTIFY THAT THE BOUNDARY SURVEY AS SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS SURVEYED UNDER OUR DIRECTION. WE FURTHER CERTIFY THAT IT MEETS THE MINIMUM TECHNICAL STANDARDS UNDER RULE 61G17-6 FLA. ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027 FLA. STATUTES. NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

STEPHEN J. BROWN INC.

Stephen J. Brown PROFESSIONAL LAND SURVEYOR
REGISTRATION No. 4045, STATE OF FLORIDA

- PROPERTY LOCATED WITHIN FLOOD ZONE: "3"
- PROPERTY ADDRESS: 12 ADMIRAL'S WALK
- CERTIFIED TO: CHARLES & JANE MCCLURE
BAUER & TWOHEY, P.A.
ATTORNEYS: TITLE INSURANCE FUND, INC.

THE TOWN-OF SEWALL'S POINT

- NOTES:**
- Survey of description as furnished by Client.
 - Lands shown hereon were not abstracted for easements and/or rights-of-way of record.
 - (P) Denotes distance or bearing by description as furnished.
 - (M) Denotes measured distance or bearing.
 - (C) Denotes calculated distance or bearing.
 - All bearings are referenced to the instrument of record as shown hereon, unless otherwise noted.
 - Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.

- SET I.B. - SET 5/8 IRON BAR & CAP #4049
F.M.O. - FOUND OBJECT
I.P. - IRON PIPE
C.M. - CONCRETE MONUMENT
I.B. - IRON BAR
P.K. - P.K. NAIL
R.R.S. - RAILROAD SPIKE
M. & W. - MAIL & WASHER
M. & T.F. - MAIL & TIM TAB
DRAINAGE FLOW
H.H. - HAINHOLE
P.P. - POWER POLE
C.B. - CATCH BASIN
8.50
* - EXISTING ELEVATION

REVISIONS	BY
UPDATE BOUNDARY	ADA
REVISION 11/10/00	
REVISION 4/6/02	DAK

BOUNDARY SURVEY
PREPARED FOR: MCCLURE

STEPHEN J. BROWN INC.
LICENSED BUSINESS NUMBER: 6484
SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS
619 EAST 5TH STREET, STUART, FLORIDA 34994
(888) 288-7175

DRAWN	S.J.B.
CHECKED	S.J.B.
DATE	11/9/88
SCALE	1" = 20'
SHEET NO.	939-45-01
SHEET	ONE

OF ONE SHEETS

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

THOMAS P. BAUSCH
Mayor

MARC S. TEPLITZ
Vice Mayor

E. DANIEL MORRIS
Commissioner

JAMES D. BERCAW
Commissioner

RICHARD L. BARON
Commissioner



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

To: Mayor and Commissioners

Fm: 
Gene Simmons
Building Official

Ref: Request for Administrative Variance by Charles and Jane McClure

Date: March 11, 2003

Attached for your review and approval is an application for an administrative variance requested by Mr. & Mrs. McClure residing at 12 Admirals Walk.

The encroachments, which need to be addressed, are as follows:

1. NE corner of residence – existing side setback of 14.0 feet - required 15.0 feet side setback. An encroachment of 1.0 foot exists.

Per Administrative Ordinance No. 292 dated November 19, 2002 the applicant has met the following requirements as outline in the ordinance:

1. The setback violation(s) for the encroachment(s) shown on the survey was/were a good faith error(s) and was/were not intentional.
2. I have inspected the file of 12 Admirals Walk and have determined that the residence for which this variance is applied, was permitted under one permit number 1080 dated May 6, 1980.
3. I have received surveys (24" X 36" and one 8 ½" X 11" for recording) containing all pertinent information.
4. Letters of No Objection or proof of service filed at least 15 days prior to the town meeting.
5. The encroachments are less than 30% of the setback requirements.

If any other information is requested please do not hesitate to contact me at 287-2455.



Sewall's Point Road, Sewall's Point, Florida 34996

Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org

Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

TOWN OF SEWALL'S POINT ADMINISTRATIVE VARIANCE APPLICATION

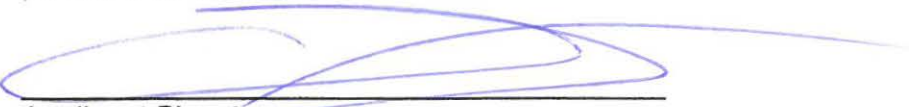
1. Owner of Property: Charles and Jane McClure
2. Address of Property: 12 Admirals Walk, Stuart, FL 34996
3. Address of Applicant: 12 Admirals Walk, Stuart, FL 34996
4. Phone Number of Applicant: c/o Christopher Twohey, Esq. (772) 221-8221
5. Length and location (front, rear, & side) of encroachment (if more than one, please list separately):
Side; Northeast corner of the home encroaches
1.0' into the 15' side setback

6. The following items must accompany this application:
 - A. \$400.00 Filing Fee (non-refundable).
 - B. Certificate of Ownership (copy of warranty deed or tax receipt).
 - C. A list certifying the name and address of all adjacent property owners as shown in the Official Records of the Martin County Tax Collector's Office.
 - D. A building permit or building permit application with the building permit number indicated on it.
 - E. Original permit drawings, plans or surveys.
 - F. Current surveys (six each) 24" X 36" and one (1) 8 1/2" X 11".
Surveys must be:
 - (1). Prepared by a licensed surveyor registered in Florida in accordance with the minimum technical standards established by the Florida Board of Professional Surveyors and Mappers.
 - (2). Contain the address of the property, including street name and number, and show the proximity of all boundary streets.
 - (3). Show the location of all buildings, structures, and above-ground encroachments and improvements.
 - (4). Show all setback requirements under the Town of Sewall's Point Code of Ordinances.
 - (5). Show location and identification of all encroachments into setbacks under this code, including the type of improvement comprising the encroachments and specifically identifying any encroachment that is the subject of the application.
 - (6). Contain a certification to the Town of Sewall's Point.
 - (7). Contain any other information the Town Commission may require to show whether the setback encroachment is entitled to an administrative variance.
 - G. Letters of No Objection from all adjacent property owners or proof that a copy of the administrative variance application has been sent to all adjacent property owners by certified mail with a written notice informing

them that any objections to the requested administrative variance must be filed with the Town Clerk within fifteen days of the date that the notice was mailed.

7. The Town Commission may grant the variance if the Town Commission finds that:
 - A. The encroachment is less than or equal to thirty (30) percent of the setback requirement in effect on the date that the encroachment was created.
 - B. Either letters of no objection have been filed by the applicant for all adjacent property owners, or 15 days have passed since the mailing to adjacent neighbors informing them of their right to file an objection with the town clerk, and no letter of objections to the administrative variance application have been filed.
 - C. The structure(s) for which a variance is sought was constructed under a valid permit. This requirement does not apply to variances with encroachments of less than twenty (20) inches.
 - D. The setback violation was a good faith error and was not intentional.

I hereby certify that all of the information above and the application materials I have provided are true and correct.


Applicant Signature / Attorney Christopher J. Twohey

Dated this 28 of February 2003

Lot 42 Rio Vista
Richard and Joan Gibbons
22 Lantana Lane

Lot 43 Rio Vista
John and Helen Labosky
24 Lantana Lane

Lot 56 Rio Vista
Joan Dozier
10 Admiral's Walk

Lot 58 Rio Vista
Town of Sewall's Point

BAUER & TWOHEY, P.A.

ATTORNEYS AT LAW

312 Denver Avenue, Stuart, FL 34994

Sherwood "Chip" Bauer, Jr.*
Christopher J. Twohey

**Also Admitted in Connecticut*

Telephone: (561) 221-8221
Facsimile: (561) 221-8225

February 27, 2003

VIA HAND DELIVERY

Gene Simmons
Town of Sewall's Point
1 S. Sewall's Point Road
Sewall's Point, Florida 34996

RE: ADMINISTRATIVE VARIANCE APPLICATION
APPLICANTS: CHARLES and JANE McCLURE
PROPERTY ADDRESS: 12 ADMIRAL'S WALK, STUART, FL 34996

Dear Gene:

In connection with the referenced Administrative Variance Application, enclosed please find the following:

- * Town of Sewall's Point Administrative Variance Application Form;
- * This firm's trust account check in the amount of \$400.00;
- * Proof that a copy of the Administrative Variance Application has been sent to all Adjacent Owners by certified mail; and
- * Survey (8 originals and 1 reduced copy).

Please note the lot to the east of the Property is owned by the Town of Sewall's Point. I did not send a letter to the Town but can if necessary. If there are any other documents or information you require to consider the Application do not hesitate to give me a call. Thank you for your time and assistance.

Very truly yours,
BAUER & TWOHEY, P.A.


Christopher J. Twohey

CJT/jsm

Enclosure

C:\OFFICE\WPWIN\WPDOCS\CJT\AAA\VARIANCE\MCCCLURE\ADMIN.LTR

BAUER & TWOHEY, P.A.
ATTORNEYS AT LAW

312 Denver Avenue, Stuart, FL 34994

Sherwood "Chip" Bauer, Jr.*
Christopher J. Twohey

Telephone: (772) 221-8221
Facsimile: (772) 221-8225

**Also Admitted in Connecticut*

February 27, 2003

VIA CERTIFIED and U.S. Mail

Joan S. Dozier
10 Admiral's Walk
Stuart, Florida 34996

**RE: TOWN OF SEWALL'S POINT ADMINISTRATIVE VARIANCE APPLICATION
PROPERTY OWNER: CHARLES and JANE McCLURE
PROPERTY ADDRESS: 12 ADMIRAL'S WALK, STUART, FL 34996**

Dear Joan:

I represent Charles and Jane McClure who reside at 12 Admiral's Walk. When the McClures purchased the property, they discovered that the home encroaches 1.0' into the 15' side setback. The adjacent lot is owned by the Town of Sewall's Point. Charles and Jane are requesting a variance from the Town of Sewall's Point and the Town requires either a letter of No Objection from the adjacent property owners or proof of written notification. The McClures request that you execute the enclosed Letter of No Objection for filing with the Application.

If you have no objection, please execute the letter and return it to me in the enclosed self-addressed, stamped envelope. If you have any questions or comments, or wish to discuss the application, please do not hesitate to give me a call. Thank you.

Very truly yours,
BAUER & TWOHEY, P.A.



Christopher J. Twohey

CJT/jsm
Enclosure

cc: Sewall's Point Board of Zoning Adjustment

LETTER OF NO OBJECTION

Town of Sewall's Point
1 S. Sewall's Point Road
Sewall's Point, Florida 34996

**RE: APPLICATION FOR ADMINISTRATIVE VARIANCE PURSUANT TO
APPENDIX B- ZONING SECTION VII.F, TOWN OF SEWALL'S POINT
CODE OF ORDINANCES FILED BY CHARLES and JANE McCLURE**

Dear Town of Sewall's Point:

I/We have received the Administrative Variance Application filed by Charles and Jane McClure with the Town of Sewall's Point. I am an adjacent property owner to the Property, which is subject of the Administrative Variance, and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,

Date: _____

JOAN S. DOZIER
10 Admiral's Walk
Stuart, Florida 34996

CERTIFICATE OF OWNERSHIP

For: Town of Sewall's Point

I HEREBY CERTIFY that **CHARLES and JANE McCLURE**, whose address is 12 Admirals Walk, Stuart, Florida 34996, is the apparent title holder of the parcel of land being described as:

Lot 57, RIO VISTA SUBDIVISION, according to the map or plat thereof as recorded in Plat Book 6, Page(s) 95, Public Records of Martin County, Florida.

DATED this 5 day of March, 2003.



CHRISTOPHER J. TWOHEY
Attorney for Applicants
BAUER & TWOHEY, P.A.
312 Denver Avenue
Stuart, Florida 34994
(772) 221-8221

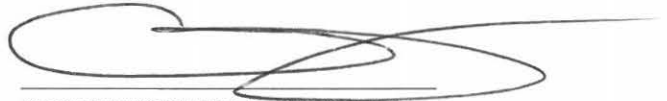
CERTIFICATE OF OWNERSHIP

For: Town of Sewall's Point

I HEREBY CERTIFY that **JOAN S. DOZIER**, whose address is 12 Admirals Walk, Stuart, Florida 34996, is the apparent title holder of the parcel of land being described as:

Lot 56, RIO VISTA SUBDIVISION, according to the map or plat thereof as recorded in Plat Book 6, Page(s) 95, Public Records of Martin County, Florida.

DATED this 5 day of March, 2003.



CHRISTOPHER J. TWOHEY
Attorney for Applicants
BAUER & TWOHEY, P.A.
312 Denver Avenue
Stuart, Florida 34994
(772) 221-8221

INSTR # 1566728
OR BK 01639 PG 0262
RECORDED 04/19/2002 09:18:22 AM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
DEED DOC TAX 2,275.00
RECORDED BY S Phoenix

After Recording Return To:
Christopher J. Twohey, Esq.
BAUER & TWOHEY, P.A.
451 SE Riverside Drive
Stuart, Florida 34994
(561) 221-8013

Parcel ID Number: 12-38-41-002-000-0057.0-70000

Grantee #1 TIN:

Grantee #2 TIN:

Warranty Deed

This Indenture, Made this 15th day of April, 2002 A.D., Between
John T. Larkin and Lesley D. Larkin, husband and wife

of the County of Martin, State of Florida, grantors, and
Charles H. McClure, Jr. and Jane S. McClure, husband and wife

whose address is: 12 Admirals Walk, Stuart, FL 34996

of the County of Martin, State of Florida, grantees.

Witnesseth that the GRANTORS, for and in consideration of the sum of
-----TEN DOLLARS (\$10)----- DOLLARS,
and other good and valuable consideration to GRANTORS in hand paid by GRANTEEES, the receipt whereof is hereby acknowledged, have
granted, bargained and sold to the said GRANTEEES and GRANTEEES' heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of Martin, State of Florida, to wit:
Lot 57, RIO VISTA, according to the map or plat thereof as recorded
in Plat Book 6, Page 95, Public Records of Martin County, Florida.

SUBJECT TO:

1. Taxes for the year 2002 and all subsequent years;
2. Zoning restrictions, prohibitions and other requirements imposed by governmental authority;
3. Restrictions, and matters appearing on the plat or otherwise common to the subdivision; and
4. Public utility easements of record, if any.

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

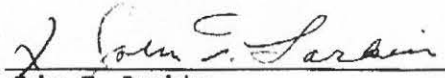
Signed, sealed and delivered in our presence:


Christopher J. Twohey

Witness as to Both


Printed Name: Wendy Bentley

Witness as to Both

 (Seal)
John T. Larkin

P.O. Address: 2402 SW Request Club Drive, Palm City, FL 34990

 (Seal)

Lesley D. Larkin
P.O. Address: 2402 SW Request Club Drive, Palm City, FL 34990

STATE OF Florida
COUNTY OF Martin

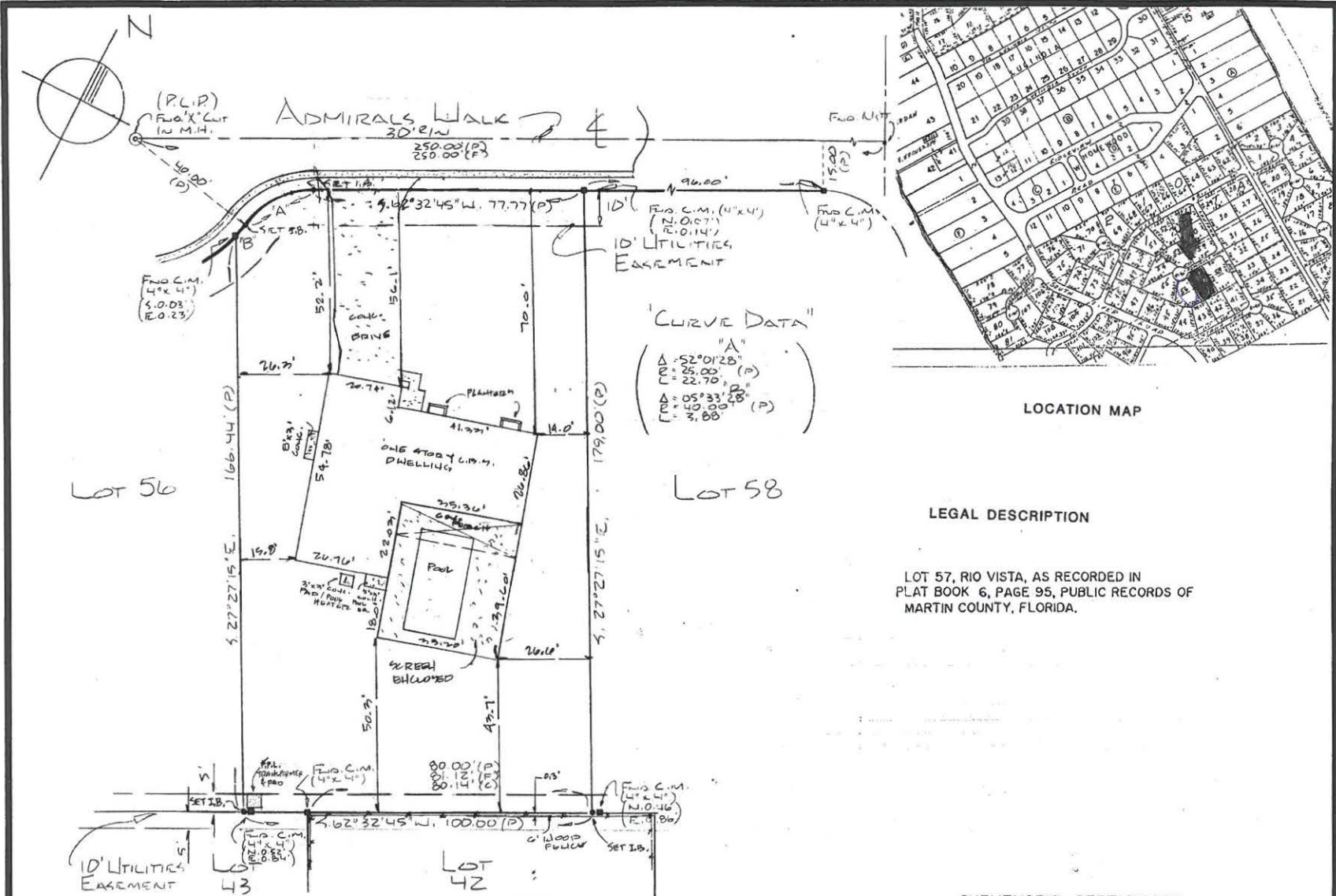
The foregoing instrument was acknowledged before me this 15 day of April, 2002 by
John T. Larkin and Lesley D. Larkin, husband and wife

who are personally known to me or who have produced their Florida driver's license as identification.



Christopher J. Twohey
MY COMMISSION # CC951017 EXPIRES
July 28, 2004
BONDED THIRD PARTY FIN. INSURANCE, INC.


Christopher J. Twohey
Notary Public
My Commission Expires: 07/28/04



'CURVE DATA'

"A"
 $\Delta = 52^{\circ}01'28''$ (P)
 $R = 25.00'$ (P)
 $L = 22.70'$ (P)

"B"
 $\Delta = 05^{\circ}33'28''$ (P)
 $R = 40.00'$ (P)
 $L = 3.68'$ (P)

LOCATION MAP

LEGAL DESCRIPTION

LOT 57, RIO VISTA, AS RECORDED IN PLAT BOOK 6, PAGE 95, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

1. PROPERTY LOCATED WITHIN FLOOD ZONE: "B"
2. PROPERTY ADDRESS: 12 ADMIRAL'S WALK
3. CERTIFIED TO: CHARLES & JANE MCCLURE
BAUER & TWOHEY, P.A.
ATTORNEYS: TITLE INSURANCE FUND, INC.

THE TOWN-OF SEWALL'S POINT

- NOTES:**
1. Survey of description as furnished by Client.
 2. Lands shown hereon were not abstracted for easements and/or rights-of-way of record.
(P) Denotes distance or bearing by description as furnished.
(F) Denotes measured distance or bearing.
(C) Denotes calculated distance or bearing.
 3. All bearings are referenced to the Instrument of record as shown hereon, unless otherwise noted.
 4. Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.

SET I.B. - SET 5/8 IRON BAR & CAP #4049
 FND. - FOUND OBJECT
 I.P. - IRON PIPE
 C.M. - CONCRETE MONUMENT
 I.B. - IRON BAR
 P.K. - P.K. NAIL
 R.R.S. - RAILROAD SPIKE
 N. & W. - NAIL & WASHER
 N. & TT - NAIL & TIN TAB

- DRAINAGE FLOW
 N.H. - MANHOLE
 P.P. - POWER POLE
 C.B. - CATCH BASIN
 8.50
 X - EXISTING ELEVATION

SURVEYOR'S CERTIFICATE

WE HEREBY CERTIFY THAT THE BOUNDARY SURVEY AS SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS SURVEYED UNDER OUR DIRECTION. WE FURTHER CERTIFY THAT IT MEETS THE MINIMUM TECHNICAL STANDARDS UNDER RULE 61G17-6 FLA. ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027 FLA. STATUTES. **NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.**

STEPHEN J. BROWN INC.

Stephen J. Brown PROFESSIONAL LAND SURVEYOR
 REGISTRATION No. 4049, STATE OF FLORIDA

REVISIONS	BY
UPDATE BOUNDARY MONUMENT 01/18/03	ADA
GENERAL REVISIONS 4/4/02	SPC

BOUNDARY SURVEY
 PREPARED FOR: MCCLURE

STEPHEN J. BROWN INC. LICENSED BUSINESS NUMBER: 6484
 SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS

619 EAST 5TH STREET • STUART, FLORIDA 34994 (561) 288-7176

DRAWN	S.J.B.
CHECKED	S.J.B.
DATE	11/9/88
SCALE	1" = 20'
JOB NO.	939-45-01
SHEET	ONE
OF ONE SHEETS	

LETTER OF NO OBJECTION

Town of Sewall's Point
1 S. Sewall's Point Road
Sewall's Point, Florida 34996

**RE: APPLICATION FOR ADMINISTRATIVE VARIANCE PURSUANT TO
APPENDIX B- ZONING SECTION VII.F, TOWN OF SEWALL'S POINT
CODE OF ORDINANCES FILED BY CHARLES and JANE McCLURE**


Dear Town of Sewall's Point:

I/We have received the Administrative Variance Application filed by Charles and Jane McClure with the Town of Sewall's Point. I am an adjacent property owner to the Property, which is subject of the Administrative Variance, and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,

Date:

3/05/03


JOAN S. DOZIER
10 Admiral's Walk
Stuart, Florida 34996

FAX TRANSMISSION

BAUER & TWOHEY, P.A.

312 DENVER AVENUE
STUART, FLORIDA 34994
(772) 221-8221
FAX: (772) 221-8225

To: Gene Simmons
Town of Sewall's Point

Date: March 12, 2003

Fax #: (772) 220-4765

Pages: 2, including this cover sheet

From: Jennifer S. Martinez
Legal Secretary for the Firm

Re: **McCLURE ADMINISTRATIVE VARIANCE**

ITEM(S) TRANSMITTED: CERTIFICATE OF OWNERSHIP

COMMENTS:

As per your request, enclosed are two (2) Certificates of Ownership for Lot 42 & Lot 43. We hand delivered Letters of No Objection for their execution. I will provide you with a copy as soon as I receive them.

If you have any questions or comments, do not hesitate to give me a call.

Thank you,
Jennifer
Jennifer

- PLEASE READ AND CALL IMMEDIATELY
- PLEASE HANDLE. THANK YOU.
- PLEASE FORWARD TO: _____
- FOR YOUR INFORMATION
- OTHER, SEE COMMENTS

The information contained in this facsimile transmission is attorney privileged and confidential information intended only for the use of the recipient named above. If the reader is not the intended recipient, you are hereby notified that any dissemination, distribution, or copy of this communication is prohibited. If you have received this transmission in error, please notify us immediately by telephone. Thank you. BAUER & TWOHEY, P.A.

CERTIFICATE OF OWNERSHIP

For: Town of Sewall's Point

I HEREBY CERTIFY that **RICHARD F. and JOAN B. GIBBONS**, whose address is 22 Lantana Lane, Stuart, Florida 34996, is the apparent title holder of the parcel of land being described as:

Lot 42, RIO VISTA SUBDIVISION, according to the map or plat thereof as recorded in Plat Book 6, Page(s) 95, Public Records of Martin County, Florida.

DATED this 17 day of March, 2003.



CHRISTOPHER J. TWOHEY
Attorney for Applicants
BAUER & TWOHEY, P.A.
312 Denver Avenue
Stuart, Florida 34994
(772) 221-8221

CERTIFICATE OF OWNERSHIP

For: Town of Sewall's Point

I HEREBY CERTIFY that **JOHN W. and HELEN J. LABOSKY**, whose address is 24 Lantana Lane, Stuart, Florida 34996, is the apparent title holder of the parcel of land being described as:

Lot 43, RIO VISTA SUBDIVISION, according to the map or plat thereof as recorded in Plat Book 6, Page(s) 95, Public Records of Martin County, Florida.

DATED this 11 day of March, 2003.



CHRISTOPHER J. TWOHEY
Attorney for Applicants
BAUER & TWOHEY, P.A.
312 Denver Avenue
Stuart, Florida 34994
(772) 221-8221

LETTER OF NO OBJECTION

Town of Sewall's Point
1 S. Sewall's Point Road
Sewall's Point, Florida 34996

**RE: APPLICATION FOR ADMINISTRATIVE VARIANCE PURSUANT TO
APPENDIX B- ZONING SECTION VII.F, TOWN OF SEWALL'S POINT
CODE OF ORDINANCES FILED BY CHARLES and JANE McCLURE**

Dear Town of Sewall's Point:

I/We have received the Administrative Variance Application filed by Charles and Jane McClure with the Town of Sewall's Point. I am an adjacent property owner to the Property, which is subject of the Administrative Variance, and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

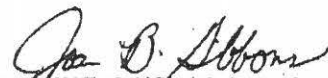
Sincerely yours,

Date: 3/16/03



RICHARD F. GIBBONS
22 Lantana Lane
Stuart, FL 34996

Date: 3/16/03



JOAN B. GIBBONS
22 Lantana Lane
Stuart, FL 34996

LETTER OF NO OBJECTION

Town of Sewall's Point
1 S. Sewall's Point Road
Sewall's Point, Florida 34996

**RE: APPLICATION FOR ADMINISTRATIVE VARIANCE PURSUANT TO
APPENDIX B- ZONING SECTION VII.F, TOWN OF SEWALL'S POINT
CODE OF ORDINANCES FILED BY CHARLES and JANE McCLURE**

Dear Town of Sewall's Point:

I/We have received the Administrative Variance Application filed by Charles and Jane McClure with the Town of Sewall's Point. I am an adjacent property owner to the Property, which is subject of the Administrative Variance, and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,

Date: 3/13/03

John W. Labosky
JOHN W. LABOSKY
24 Lantana Lane
Stuart, FL 34996

Date: 3/13/03

Helen J. Labosky
HELEN J. LABOSKY J.W.L.
24 Lantana Lane
Stuart, FL 34996

TREE
REMOVAL

TOWN OF SEWALL'S POINT, FLORIDA

Date July 28 ~~19~~ 2004 TREE REMOVAL PERMIT No 2308

APPLIED FOR BY McClure (Contractor or Owner)

Owner 12 Admiral's Walk

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 3 1 Ficus 2 SCHERRA

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

FEE \$ 0

Signed, _____ Applicant

Signed, [Signature] Town Clerk

Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

[Empty lines for project description]

REMARKS _____

[Empty lines for remarks]



**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Charles H. McClure Address 12 Admiral Walk Phone 283-7866

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1/2 Type: Ficus/SHEFFLERIA

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Over Septic Tank

Signature of Applicant Charles H. McClure Date 7-27-04

Approved by Building Inspector: [Signature] Date 7/28 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked:

TOWN OF SEWALL'S POINT, FLORIDA

Date April 21, 2006 TREE REMOVAL PERMIT No 2666
APPLIED FOR BY Tropical Palms (Contractor or Owner)
Owner 12 Admirals Walk

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 3 oak, palm & fruit

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simmons Town Clerk
Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspect
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Mr McBlure Address #12 Admirals St Phone 772-283-7866

Contractor Tropical Palms Address PO Box 2104 Phone 781-2979

No. of Trees: REMOVE 3 ^{Trees} stake Type: Dead Oak tree Tagged

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: Dead Fruit tree Tagged

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: Sable palm Dead Fruit tree

Written statement giving reasons: Dead Oak / Dead Fruit tree / Sable palm in way of growth of Oak tree & to a stake

Signature of Property Owner Charles H. McBlure Jr. Date 4/19/06

Approved by Building Inspector: [Signature] Date 4/21 Fee: 0
Plans approved as submitted _____ Plans approved as revised/marked: _____

Please call Contractor when Ready for pick up

ok



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Charles H. McClure Jr. Address 12 Admirals Walk Phone 283-7866

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 3 Type: Queen Palm

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Reason for tree removal/relocation too close to home

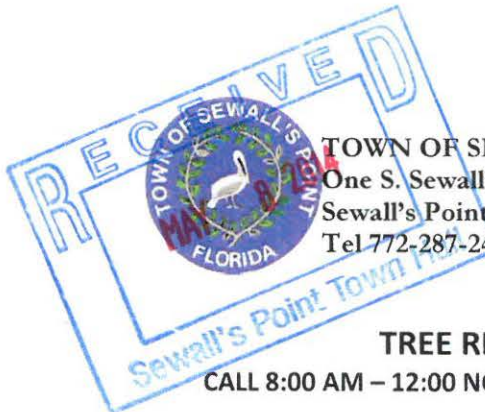
Signature of Property Owner Charles H. McClure Jr. Date 3-4-08

Approved by Building Inspector: [Signature] Date 3/5/08 Fee: -

NOTES: _____

SKETCH:

A hand-drawn sketch within a rectangular border. It shows a horizontal rectangle with the word "Home" written inside in cursive. Below the rectangle, the word "FRONT" is written in blue capital letters. To the left of the rectangle, there are three small black dots arranged vertically, possibly representing trees or landscaping.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM – 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM – NO SUNDAYS

Owner DAVID KINGSTON Address 12 ADMIRALS WALK Phone 215-872-2287
2390 SW WYNEWOOD ST
 Contractor TROPICAL ART LANDSCAPING Address PORT ST LUCIE FL Phone 772-336-3227
34953
 No. of Trees: REMOVE 2 Species: BRAZILIAN PEPPER TREES
 No. of Trees: RELOCATE _____ Species: _____
 No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) Invasive species. They have been marked with red paint

Signature of Property Owner David M. Kingston Date 5/1/14

Approved by Building Inspector: [Signature] Date 5-8-14 Fee: N/C

NOTES:

⊗ location of trees to be removed

*5/9/14
Advised*