

9 Emarita Way

TOWN OF SEWALL'S POINT, FLORIDA

BUILDING DEPARTMENT

Construction and Inspection Record

Name of Owner MR + MRS PRESCOTT Phone No.....

Address

Name of Contractor B. H. HEAR Phone No.....

Address PO BOX 1484 STUART

Legal Description of Property: Lot 22 Block

Subdivision EMIL BETA

Footers 7/25/61 OK Date Lintel 8/5/61 OK Date

Rough Electric 9/19/61 OK Date Final Electric 10/19/61 OK Date

Rough Plumbing 7/28/61 OK Date Final Plumbing 10/19/61 OK Date

Close In 9/19/61 OK Date Final 10/19/61 OK Date

Clean Up Bond \$..... Date..... No.:

Certificate of Credit Rating..... Date Filed.....

Superior..... Good..... Poor.....

Certificate of Insurance..... Date Filed.....

Agent..... Company.....

Certificate of Occupancy Issued..... Date.....

No.:

Permit and Job No. # 38

Charles A. Duryea Building Dept.

Inspections

TOWN OF SEWALL'S POINT
Florida

BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

14,500
43,500
8.75
6.00
58.25

Mrs. Lear
AT 7-0635

Date 7-30-61

Owner MR & MRS PRESCOTT

Address SEWALL'S POINT FLA

Architect NONE

Address —

Contractor R. H. LEAR

Address PO BOX 1984 STUART FLA

Building to be constructed on:

Lot 22 Block — Subdivision EMIRETA

Address SEWALL'S POINT

Purpose of Building Dwelling Type of Work CBS

Estimated cost of Building or Improvements \$ 14,500.00

Type of Construction CBS Roofing Covering CEMENT TILE

Type of Roof GABLE Foundation CONC. 10X16 w/2#5


Size of Building Lot 110 X

Square Feet in Building 1830 SF

Zoning R-1 RESIDENTIAL

Permit Number — Permit Fee \$ —

Clean-up Bond Number — Clean-up Fee \$ —


Signed: Contractor

TOWN OF SEWALL'S POINT
Florida

BUILDING PERMIT

Fee \$ 6.00

APPLICATION FOR PLUMBING AND GAS PERMIT

Date _____ Permit Number _____
Owners Name CLARENCE PRESCOTT
Street and Number LOT 22 EMIRITA SD.
Plumber MILLERS PLUMBING CO. City License Number _____
Gas Fitter SOUTHEASTERN NATURAL GAS CO.
What is the size of main soil pipe? 4"
Of what material is soil pipe? CI

FIXTURES - PLUMBING

Septic Tanks 730 GAL Water Closets ✓
Bath Tubs 1 Lavatories ✓
Sinks 1 Urinals - 0 -
Garbage Drains - 0 - Shower Baths 1 & 1 WITH TUB
Heater (Electrical) 4X 1-30 GAL Well 1
Washing Machine Drains 1

FIXTURES - GAS

Stoves - 0 - Burners - 0 -
Heaters (water) - 0 - Heaters (space) - 0 -
Other Appliances GAS FIRED FORCED HOT AIR -
CENTRAL SYSTEM.


Signed: Contractor

TOWN OF SEWALL'S POINT
Florida

BUILDING DEPARTMENT

Fee \$ 8.75

APPLICATION FOR PERMIT TO INSTALL ELECTRICAL EQUIPMENT

Date JULY 25 61 Permit Number _____

Owner _____

Street and Number _____

Electrician KRAUSS & CRANE INC City License Number 3869 ^{STUART}

Work: New Old Additional

DISTRIBUTION

S. Switches	<u>14</u>	Number of Generators	_____	1.40		
Number of Notors	<u>1 WATER PUMP</u>	Water Heater	<u>1</u>	20		
Stoves	<u>2-OVEN & COOK TOP</u>	Outlets	_____	20		
Receptacles	<u>35</u>	Wall Heater	_____	3.50		
Sub Feed	_____	Size of Panel	<u>100 AMP 14 CIR</u>	1.00		
Wire: Romex	<input checked="" type="checkbox"/>	Conduit	<input type="checkbox"/>	Number of Fixtures	<u>7</u>	.70
Size of Main Disconnect	<u>100 AMP</u>					
<u>1 TEMP CONST POLE</u>						1.00
						8.00
						75
						8.75


Signed: Contractor

TOWN OF SEWALL'S POINT
Florida

BUILDING DEPARTMENT

Fee \$ 8.75

APPLICATION FOR PERMIT TO INSTALL ELECTRICAL EQUIPMENT

Date JULY 25 61 Permit Number _____

Owner _____

Street and Number _____

Electrician KRAUSS & CRANE INC City License Number 3869 ^{STUART}

Work: New Old Additional

DISTRIBUTION

S. Switches <u>14</u>	Number of Generators _____	1.40
Number of Motors <u>1 WATER PUMP</u>	Water Heater <u>1</u>	20
Stoves <u>2-OVEN & COOK TOP</u>	Outlets _____	20
Receptacles <u>35</u>	Wall Heater _____	3.50
Sub Feed _____	Size of Panel <u>100 Amp 14 Cir</u>	1.00
Wire: Romex <input checked="" type="checkbox"/> Conduit <input type="checkbox"/>	Number of Fixtures <u>7</u>	.70
Size of Main Disconnect <u>100 AMP</u>		
<u>1 TEMP CONST POLE</u>		1.00
		<hr/> 8.00
		75
		<hr/> 8.75


Signed: Contractor

946

POOL

RECEIVED JAN 18 1979
TOWN OF SEWALL'S POINT FLORIDA

946

Permit No. 946

Date 2/16/79

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner C. H. PRESCOTT Present address 9 EMARITA WAY

Phone 287-4855

Contractor IMPERIAL POOL OF STUART Address 109 ATLANTA AVE

Phone 287-1148

Where licensed MARTIN COUNTY License number 0043

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: INSTALL A 14 X 28 SWIMMING POOL WITH

STEEL WALLS AND A VINYL LINER

State the street address at which the proposed structure will be built:

9 EMARITA WAY

Subdivision AREBELLA WEST, SEWALL'S POINT Lot No. 22

Contract price \$ 5,800 Cost of Permit \$ 30.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Guy Label

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Prescott

TOWN RECORD

Date submitted _____

Approved: J. Amey
Building Inspector

2/20/79
Date

Approved: John Guenther
Commissioner

20 Feb 179
Date

Final Approval given: _____
Date 3/19/79

Certificate of Occupancy issued _____
Date 3/19/79

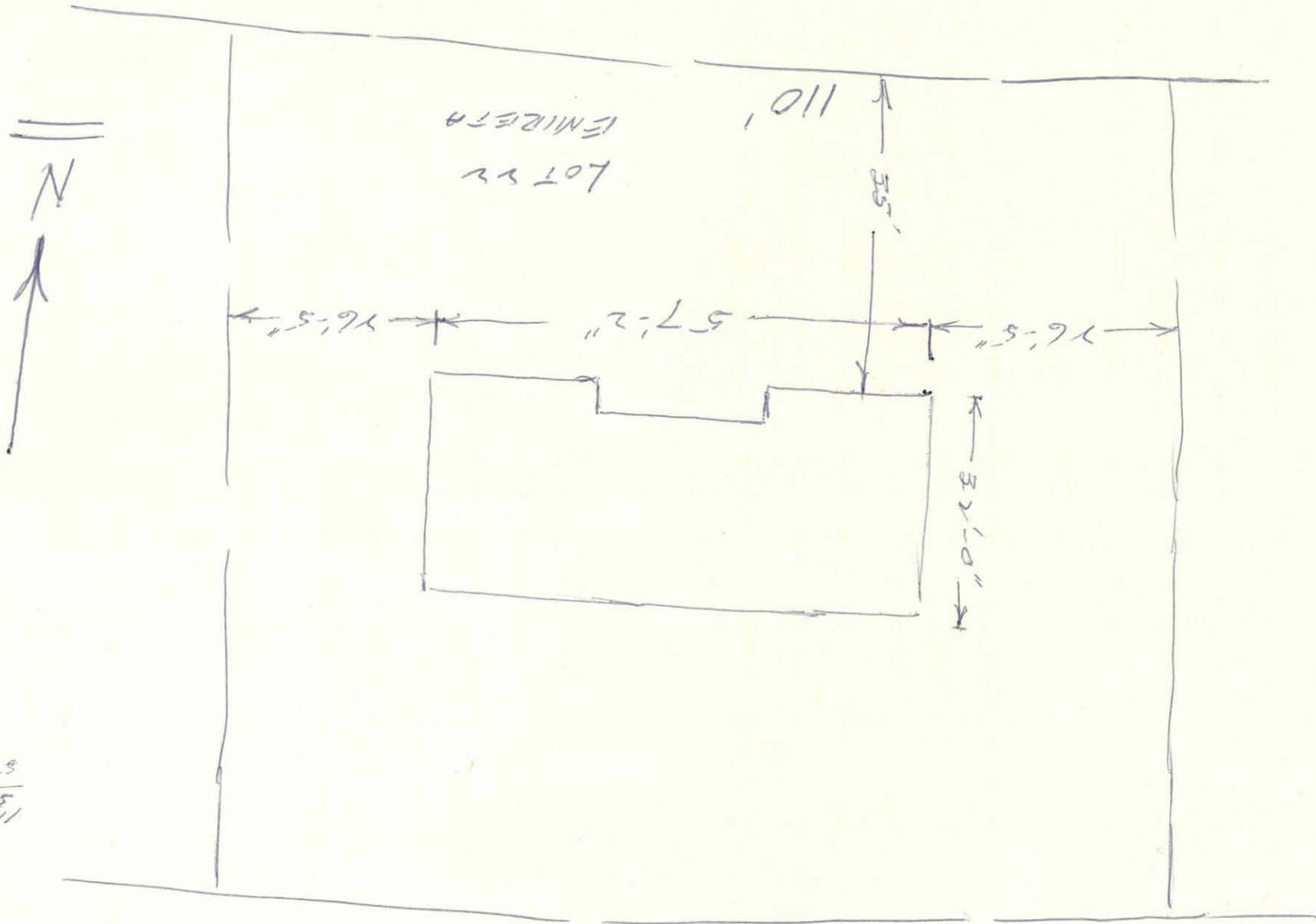
Completion date Jan

SP/1-79

#946

946

STREET
RIGHT OF WAY

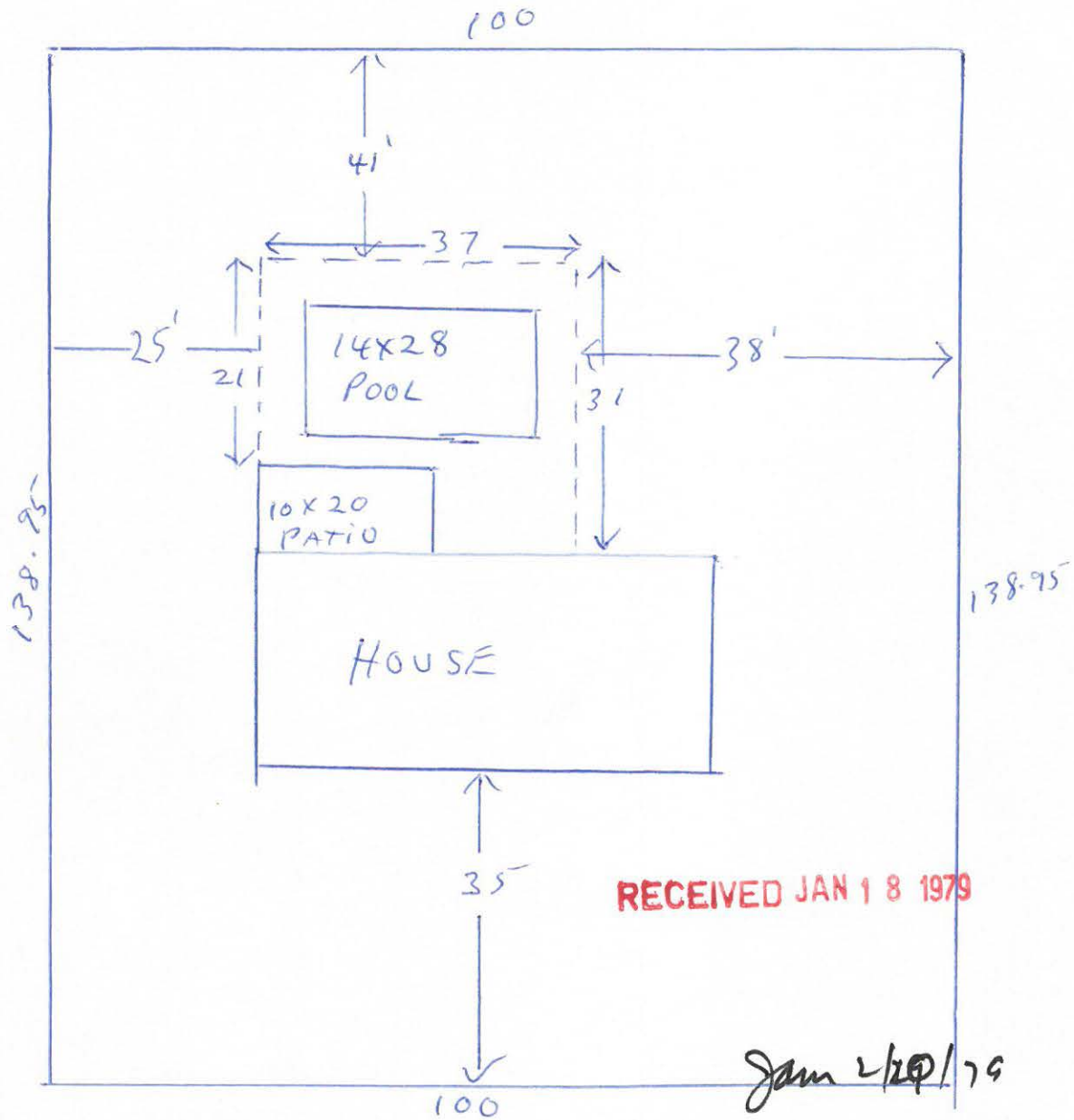


110
57.2
52.8

C. H. PRES COTT
9. EMARITA WAY
SEWALL'S POINT
287-4855

LOT 22
AREBELLA WEST
SEWALLS POINT

013841005000 00 220-6



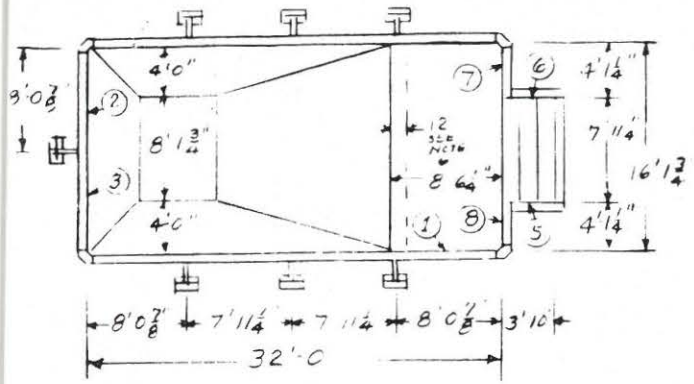
RECEIVED JAN 18 1979

Jan 21/1979

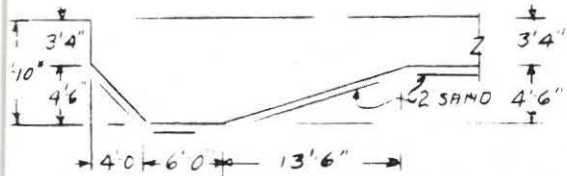
EMARITA WAY

Approval of these plans in **NO WAY**
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances and the South
Florida B. & C. Code.

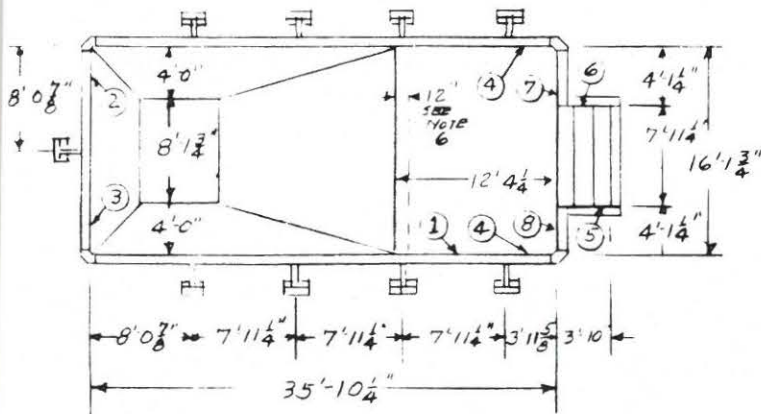
John Guendler
20 Feb 179



16x32 POOL



TYPICAL SECTION 16' WIDE POOLS
INSIDE FINISHED DIMENSIONS



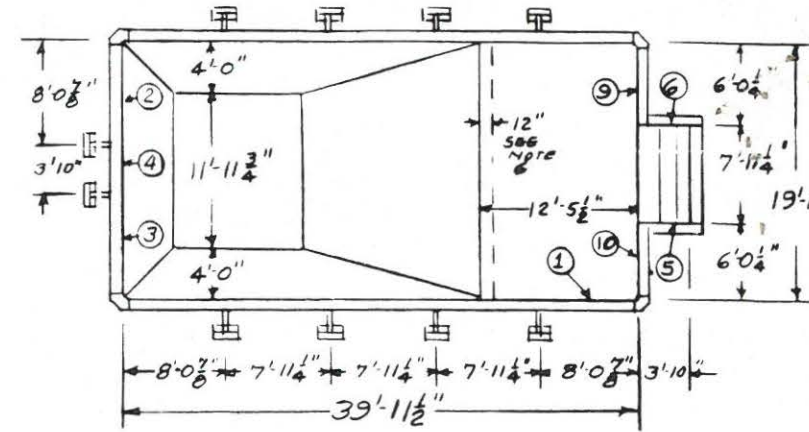
- WALL FINISHES
- ① PLAIN - 7'-11 1/4"
 - ② RETURN - 7'-11 1/4"
 - ③ SKIMMER-SUCTION - 7'-11 1/4"
 - ④ PLAIN - 3'-10"
 - ⑤ STAIR - L.H.
 - ⑥ STAIR - R.H. RETURN
 - ⑦ RIGHT - 3'-11 5/8"
 - ⑧ LEFT - 3'-11 5/8"
 - ⑨ RIGHT - 5'-10 5/8"
 - ⑩ LEFT - 5'-10 5/8"

RECEIVED JAN 18 1979

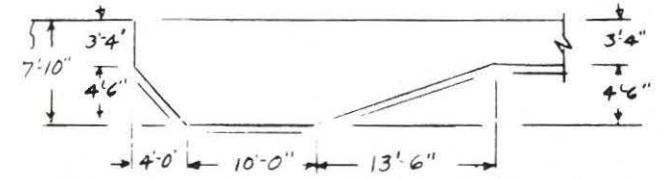
Jan 20/79

Approval of these plans in NO WAY
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances and the South
Florida Building Code.

John C. Grenier
20 Feb '79



20x40 POOL



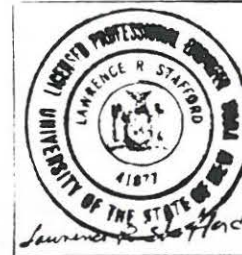
TYPICAL SECTION 20' WIDE POOLS
INSIDE FINISHED DIMENSIONS

NOTES

1. SEE DRAWING 978 FOR DETAILS AND TYPICAL SECTIONS.
2. THESE POOLS ARE INTENDED FOR USE BELOW GRADE ONLY.
3. BACKFILLING - DO NOT ALLOW THE HEIGHT OF THE BACKFILL TO EXCEED THE HEIGHT OF THE WATER IN THE POOL BY MORE THAN 6", NOR THE WATER TO EXCEED THE HEIGHT OF THE TAMPED BACK FILL BY MORE THAN 6".
4. WORK THIS DRAWING WITH DRAWING 978 AND WITH "IMPERIAL" INSTALLATION AND INSTRUCTIONS FOR IN-GROUND POOLS.
5. STAIRS ARE OPTIONAL ON ALL POOLS.
6. PERMANENTLY ATTACHED SAFETY LINE. (SEE NOTE 4)
7. ALL DIMENSIONS ARE NOMINAL

NSPI - CLASS 2
DIVING TYPE POOLS

RE: N.Y.S. EDUCATION LAW §7209(2)
ONLY A LICENSED PROFESSIONAL ENGINEER
MAY LEGALLY ALTER THIS DOCUMENT



IMPERIAL POOLS,
1967 CENTRAL AVI
COLONIE, N. Y. 1221

SERIES 800
IN-GROUND POOLS

Lawrence R. Stafford DWG NO 800
JAN 20 1973

957

SCREEN

ENCLOSURE

~~957~~
RECEIVED FEB 23 1979
Date 3/19/79

TOWN OF SEWALL'S POINT FLORIDA

Permit No. 957

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner C. H. Prescott Present address 9 Emarita Way

Phone 287-4855

Contractor Vero Aluminum Address 2414 2nd PL SW Vero Beach Fl. 32960

Phone 461-8384

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Construct Pool Screen Enclosure on Existing Pool Slab.

State the street address at which the proposed structure will be built: #9 Emarita Way.

Subdivision Sewall's Point Fla. Lot No. 22

Contract price \$ 1789⁰⁰ Cost of Permit \$ 9.00⁰⁰ ?

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor _____

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Prescott

TOWN RECORD

Date submitted _____

Approved: J. Amazzuca Building Inspector Date 2/29/79

Approved: John Guendau Commissioner Date 26 Feb 179

Final Approval given: 4/16/79 Date Jan

Certificate of Occupancy Issued _____ Date _____

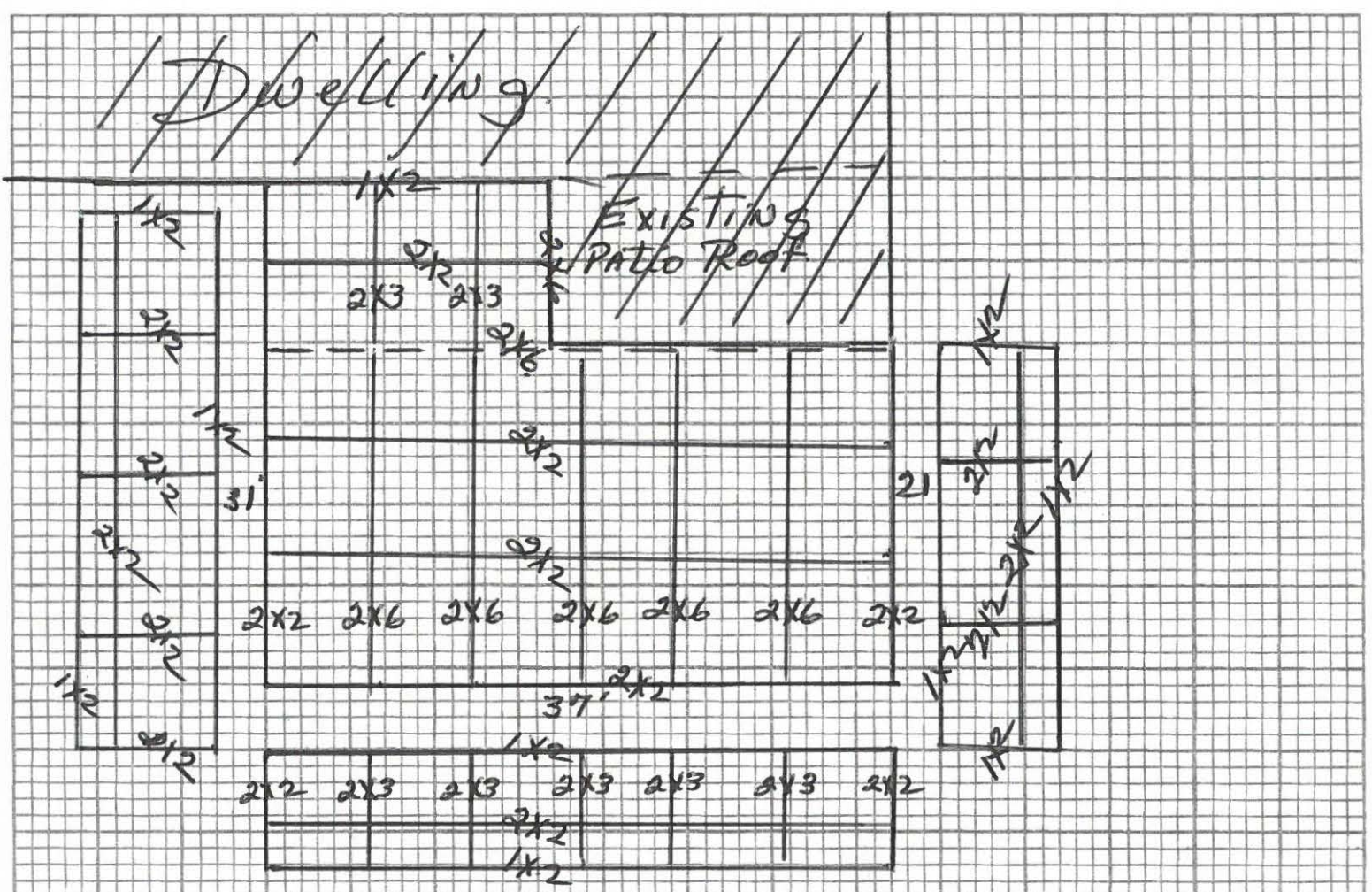
~~957~~
#957

Job Name Mr & Mrs C. H. Prescott
 Job Address #9 EMARITA WAY.
 Lot 22. Block _____
 Subdivision SEWALL'S POINT Fla.

Date Issued _____
 Date Wanted _____
 Beams 1 x _____
 Color Roof _____
 Sides _____
 Ch. Rl. _____

RATE _____

SKETCH



Pool screen Enclosure
 constructed on existing Pool slab.
 Flat screen Roof.
 Alum frame.
 Fiberglass screen.

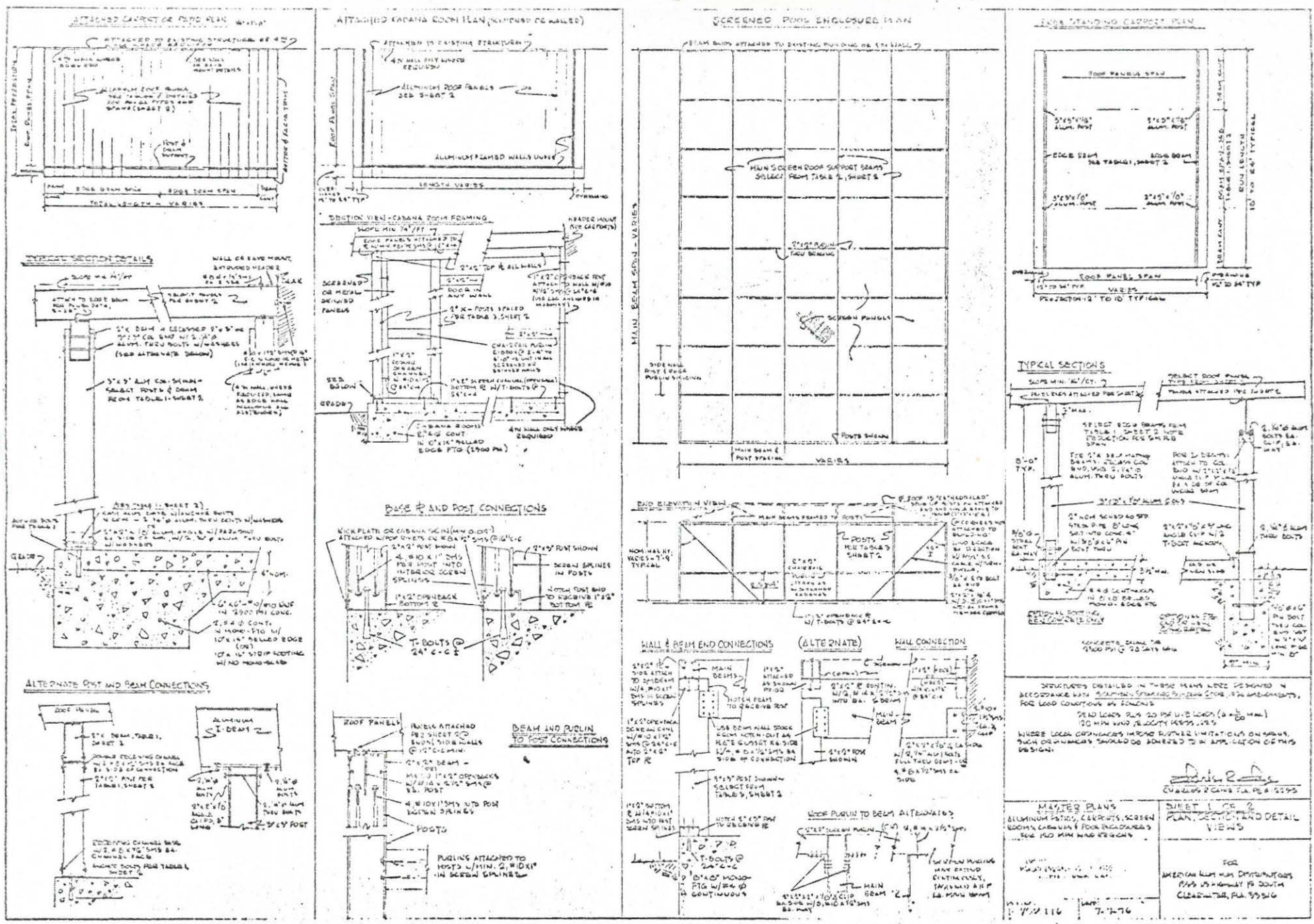
RECEIVED FEB 23 1979

Jam 2/29/79

Approval of these plans in NO WAY
 relieves the contractor or builder of
 complying with the Town of Sewall's
 Point's Ordinances and the South
 Florida Building Code.

John Guendler
 26 Feb 1979

June 2/29/79
RECEIVED FEB 23 1979
Approval of these plans in NO WAY relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances and the South Florida Building Code.



STRUCTURES DETAILLED IN THESE PLANS WERE DESIGNED IN ACCORDANCE WITH RELEVANT STATE AND LOCAL CODES, REGULATIONS, AND ORDINANCES, FOR LOAD CONDITIONS AS FOLLOWS:
DEAD LOADS PLUS 20 PSF LIVE LOAD (5 PSF MIN.)
120 MPH WIND RESISTANT PER ASCE 7-88
WHERE LOCAL ORDINANCES IMPOSE FURTHER LIMITATIONS OR STRENGTHEN SUCH REQUIREMENTS, CONTRACTOR SHALL BE RESPONSIBLE FOR APPLICATION OF THIS DESIGN.

MASTED PLANS
ALUMINUM POSTS, CABINETS, SCREEN ROOMS, CASABA & POOL ENCLOSURES
SEE PG. 100 FOR WINDOW SCHEDULE

SHEET 1 OF 2
PLAN, SECTION, AND DETAIL VIEWS

FOR
AMERICAN HALL MAN DISTRIBUTION
P.O. BOX 15
CLEARWATER, FLA. 34616

DATE: 7-2-76
SCALE: 1/4" = 1'-0"

2301

REMODEL

Permit No. 2301

Date 5-11-88

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Robert J. Watson/Ann Coade Present Address 13905^S Indian River Dr. #201

Phone 229-~~754~~ 0535 Jensen Beach, FL

Contractor # Flint Bldg, Inc. Address 116 West 6th St.

Phone 220-0424 Stuart, FL

Where licensed Martin Co. License number MC-00082

Electrical contractor Waters Elec. License number _____

Plumbing contractor White Plumbg. License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 548 # Addition

Master Bedroom, closets, & bath

State the street address at which the proposed structure will be built:

9 Emarita Way.

Subdivision Emarita Lot number 22 Block number _____

Contract price \$ 42,000 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor William A. Flint, Inc.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted _____ Approved: Dale Brown 5/12/88
Building Inspector Date

Approved: [Signature] 7/12/88
Commissioner Date Final Approval given: _____ Date

Certificate of Occupancy issued (if applicable) _____
Date

SPL282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

2397

SCREEN

ENCLOSURE

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

2397

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Robert Watson Present Address 9 Emerita

Phone _____

Contractor Anchor Awnings & Screens Address 10243 SE Leeward Rd

Phone 335-1471 P.S.L. 34952

Where licensed Martin License number SP00709

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Pool Enclosure
9 Emerita

State the street address at which the proposed structure will be built: _____

Subdivision Emerita Lot number 22 Block number _____

Contract price \$ 32,000.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner ~~red-tacking~~ the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted _____ Approved: Dale Brown 9/15/88
Building Inspector Date

Approved: _____ Commissioner Date Final Approval given: _____ Date

Certificate of Occupancy issued (if applicable) _____ Date

SP1282

Permit No. _____

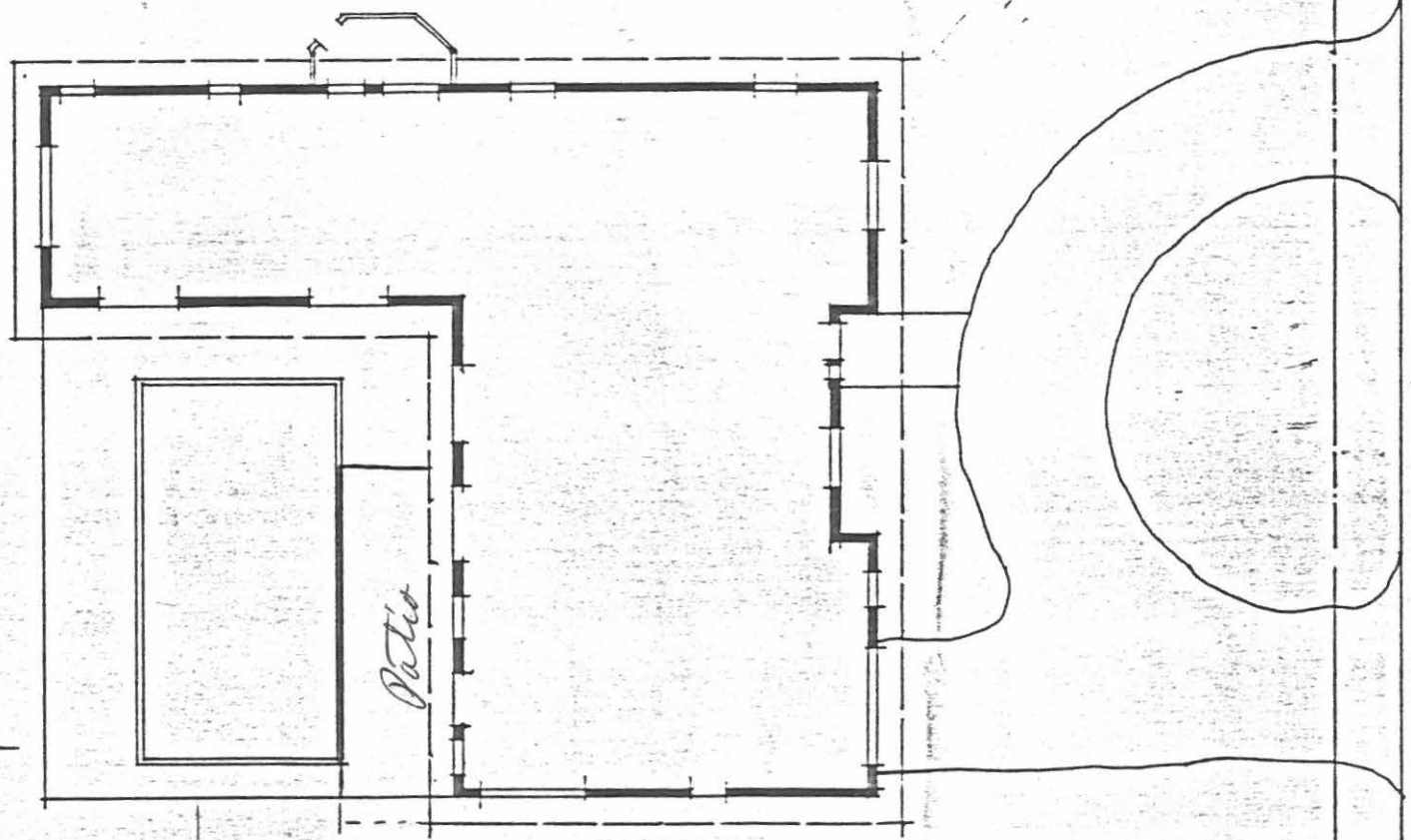
Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

1/10

1/10

15'

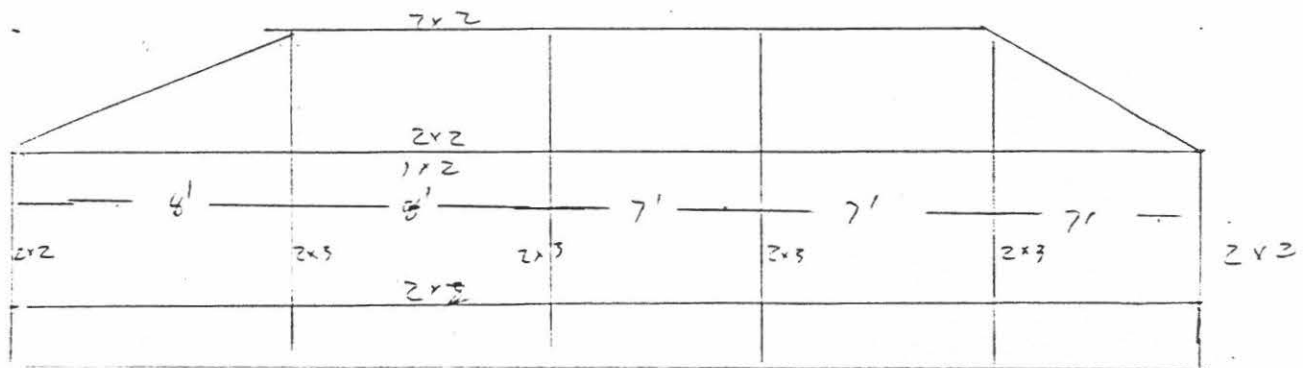
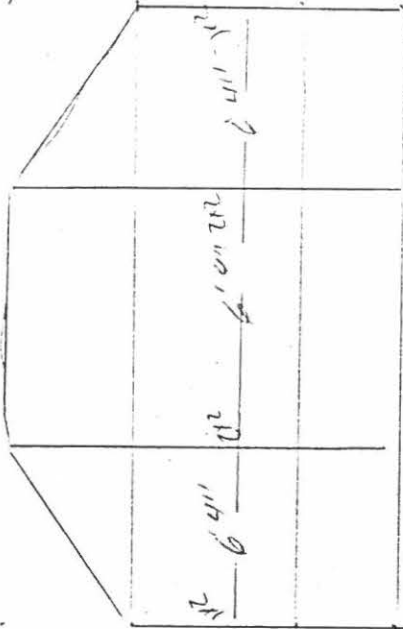
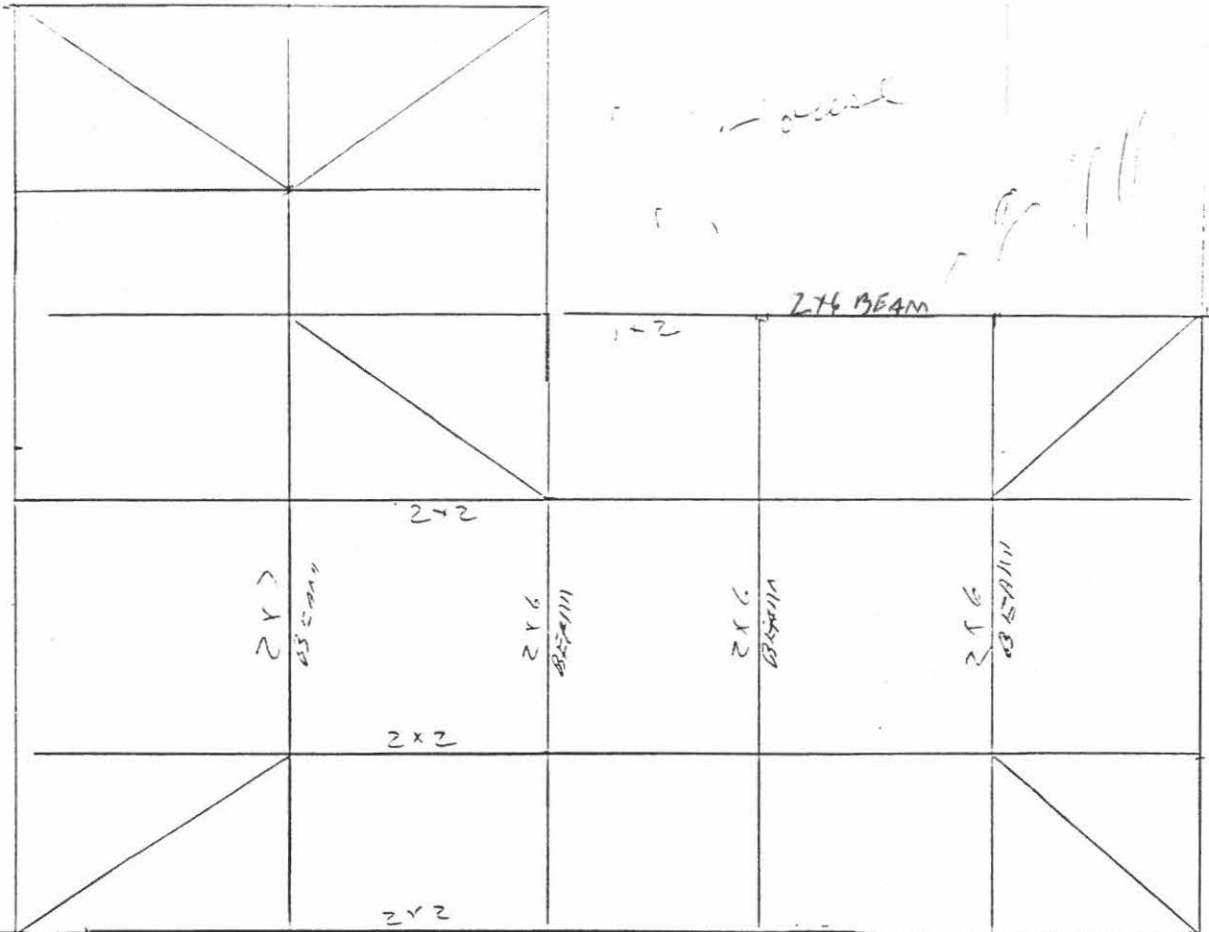
Patio



Handwritten initials or signature.

House

FRONT



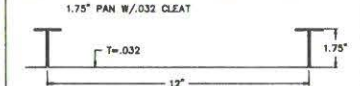
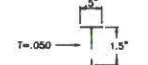
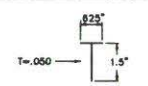
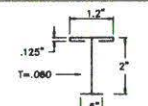
MARCH 1988

TREASURE COAST CHAPTER, INC
OF THE ALUMINUM ASSOCIATION
OF FLORIDA





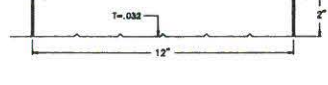
PREPARED BY:

NASH ENGINEERING, INC.
810 SATURN ST. SUITE 16
JUPITER, FLORIDA 33477
(305)747-7254

ROOF PAN (ALLOY 3003 H-16)	PAN THICKNESS	Sx	MAX. SPAN @ WIND VELOCITIES SHOWN		
1.75" PAN W/ .032 CLEAT			100MPH	110MPH	120MPH
	.032	.236in ³			10'
CLEAT ALTERNATIVES FOR 1-3/4" PAN					
T-BAR 	.032				11'
T-BAR 	.032				11'
EXTRUDED "T" CLEAT 	.032				13'

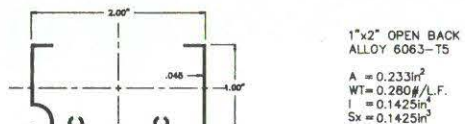
NOTE: PANS MAY OVERHANG 1/3 OF SIMPLE SPAN. SPANS MAY BE INCREASED 2% FOR EACH 12" OF OVERHANG UP TO 3'-0". CONSULT AN ENGINEER FOR GREATER OVERHANG.

CLEATED ROOF PANS

ROOF PAN (ALLOY 3003 H-16)	PAN THICKNESS	Sx	MAX. SPAN @ WIND VELOCITIES SHOWN		
3" INTERLOCKING PANEL			100MPH	110MPH	120MPH
	.024	.450in ³			13'-4"
	.032	.608in ³			15'-6"
	.032	.346in ³			11'-0"

NOTE: PANS MAY OVERHANG 1/3 OF SIMPLE SPAN. SPANS MAY BE INCREASED 2% FOR EACH 12" OF OVERHANG UP TO 3'-0". CONSULT AN ENGINEER FOR GREATER OVERHANG.

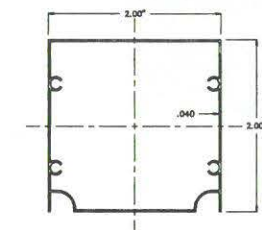
INTERLOCKING ROOF PANS



1"x2" OPEN BACK
ALLOY 6063-T5
A = 0.233in²
WT = 0.280#/L.F.
I = 0.1425in⁴
Sx = 0.1425in³

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	8'-6"	7'-4"	4'-6"	4'-0"
4'	7'-4"	6'-2"	3'-10"	3'-6"
5'	6'-7"	5'-2"	3'-6"	3'-2"
6'	6'-0"	5'-0"	3'-2"	2'-10"
7'	5'-8"	4'-8"	2'-11"	2'-8"
8'	5'-2"	4'-4"	2'-9"	2'-6"
9'	4'-10"	4'-2"	2'-6"	2'-4"
10'	4'-8"	3'-10"	2'-5"	2'-3"



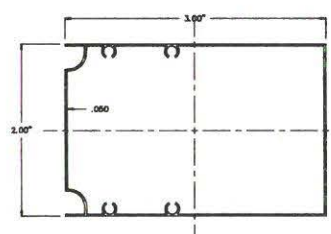
2"x2" PATIO BEAM
ALLOY 6063-T5
A = 0.412in²
WT = 0.494#/L.F.
I = 0.2133in⁴
Sx = 0.2133in³

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	10'-5"	8'-8"	5'-6"	5'-0"
4'	9'-0"	7'-6"	4'-9"	4'-4"
5'	8'-0"	6'-9"	4'-3"	3'-10"
6'	7'-4"	6'-2"	3'-10"	3'-6"
7'	6'-10"	5'-8"	3'-8"	3'-4"
8'	6'-4"	5'-4"	3'-4"	3'-0"
9'	6'-0"	5'-0"	3'-2"	2'-11"
10'	5'-8"	4'-9"	3'-0"	2'-9"

1"x2" OPEN BACK

2"x2" PATIO BEAM

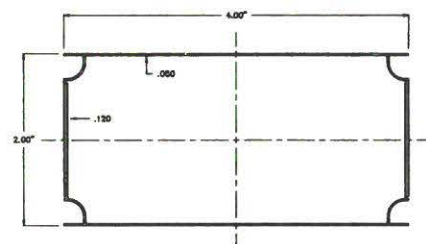


2"x3" PATIO BEAM
ALLOY 6063-T5
A = 0.85in²
WT = 0.78#/L.F.
I = 0.741in⁴
Rx = 1.068in
Sb = 0.4359in³
Sx = 0.57in³

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	16'-5"	13'-9"	8'-8"	8'-0"
4'	14'-3"	11'-11"	7'-6"	6'-11"
5'	12'-9"	10'-8"	6'-9"	6'-2"
6'	11'-8"	9'-9"	6'-2"	5'-7"
7'	10'-9"	9'-1"	5'-8"	5'-2"
8'	10'-1"	8'-5"	5'-4"	4'-10"
9'	9'-6"	7'-11"	5'-0"	4'-7"
10'	9'-1"	7'-6"	4'-9"	4'-4"

2"x3" PATIO BEAM

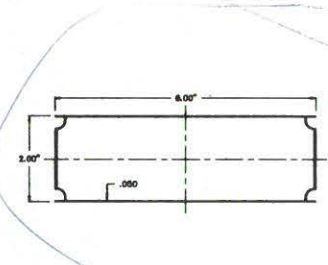


2"x4" SELF MATING BEAM
ALLOY 6063-T6
WALL = .050
FLANGE = .120
A = 0.950in²
WT = 1.14#/L.F.
I = 2.45in⁴
Sx = 1.25in³

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	25'-0"	20'-11"	13'-3"	12'-0"
4'	21'-8"	18'-1"	11'-5"	10'-5"
5'	19'-4"	16'-2"	10'-3"	9'-4"
6'	17'-8"	14'-9"	9'-4"	8'-8"
7'	16'-4"	13'-8"	8'-8"	7'-11"
8'	15'-3"	12'-10"	8'-0"	7'-4"
9'	14'-4"	12'-0"	7'-8"	7'-0"
10'	13'-8"	11'-5"	7'-3"	6'-7"

2"x4" SELF MATING BEAM

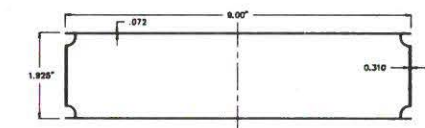


2"x6" SELF MATING BEAM
ALLOY 6063-T6
A = 1.396in²
WT = 1.67#/L.F.
I = 8.46in⁴
Sx = 2.82in³

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	37'-10"	31'-8"	20'-0"	18'-3"
4'	32'-9"	27'-5"	17'-4"	15'-10"
5'	29'-4"	24'-6"	15'-6"	14'-2"
6'	26'-9"	22'-5"	14'-2"	12'-11"
7'	24'-9"	20'-8"	13'-1"	12'-0"
8'	23'-2"	19'-5"	12'-3"	11'-2"
9'	21'-10"	18'-3"	11'-6"	10'-8"
10'	20'-9"	17'-4"	11'-0"	10'-0"

2"x6" SELF MATING BEAM

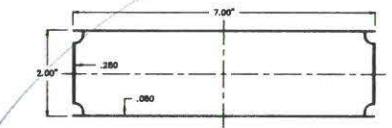


2"x9" SELF MATING BEAM
ALLOY 6063-T6
A = 2.630 S.I.
WT = 1.578#/L.F.
Sx = 7.21in³

MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS AT VARIOUS BEAM SPACING

5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
---	---	52'-6"	50'-0"	48'-8"	47'-0"	45'-6"

2"x9" SELF MATING BEAM



2"x7" SELF MATING BEAM
ALLOY 6063-T6
A = 1.782in²
WT = 2.14#/L.F.
I = 17.13in⁴
Sx = 4.89in³

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	49'-4"	41'-4"	26'-2"	23'-10"
4'	42'-9"	35'-9"	22'-8"	20'-8"
5'	38'-3"	32'-0"	20'-3"	18'-5"
6'	35'-0"	29'-2"	18'-6"	16'-10"
7'	32'-4"	27'-0"	17'-1"	15'-7"
8'	30'-3"	25'-3"	16'-0"	14'-7"
9'	28'-6"	23'-10"	15'-0"	13'-9"
10'	27'-0"	22'-8"	14'-4"	13'-0"

2"x7" SELF MATING BEAM

DATE	BY	DESCRIPTION
4-8-88	JC	MOVED DETAILS AROUND ON ALL 5 PAGES
4-25-88	JC	ADDED SPAN DEFINITION SHOTS
REVISIONS		

TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA

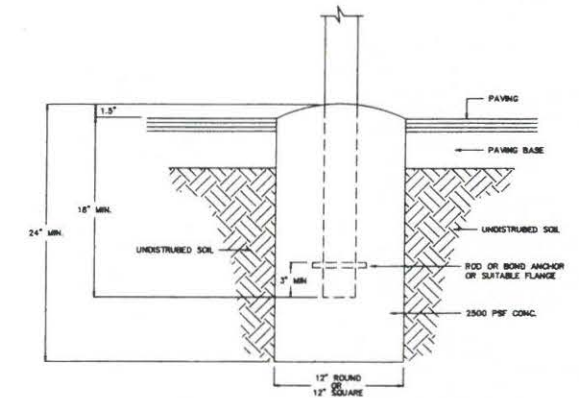
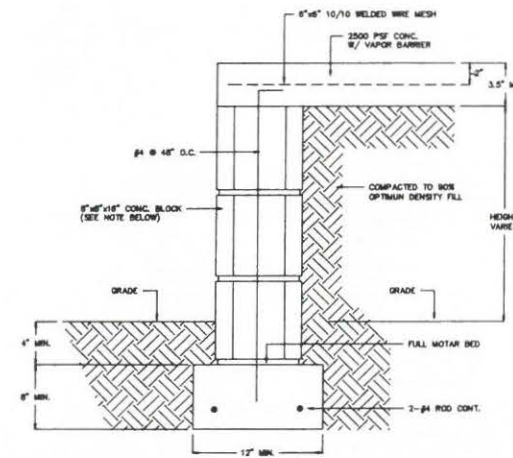
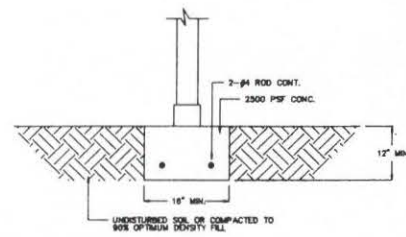
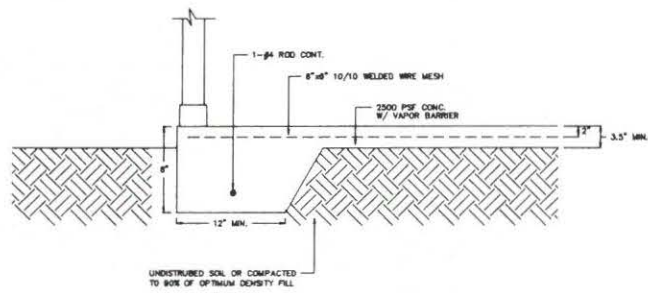


ALUMINUM CONSTRUCTION
DETAILS

DRAWN	COMPTON
CHECKED	NASH
SCALE	NT.S.
DATE	MARCH 1988
JOB NO.	88015

[Signature]
SEAL

SHEET
1
OF FIVE SHEETS



(NEW) SLAB ON GRADE

ALUMINUM SCREEN ROOMS, GLASS ROOMS, PATIO COVERS AND CARPORTS

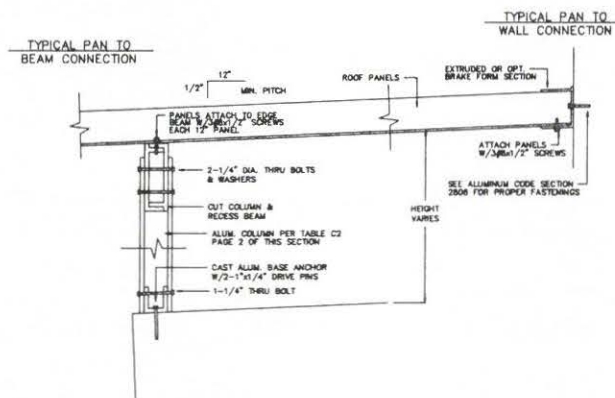
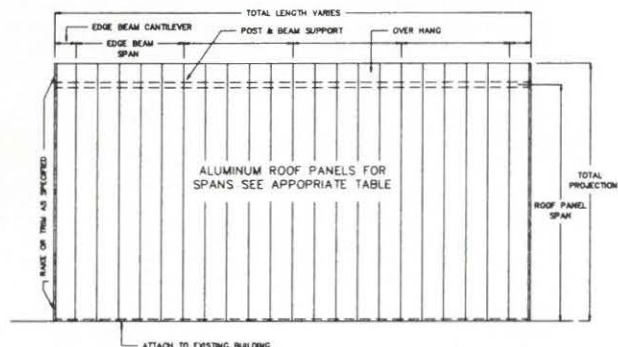
CONTINUOUS WALL FOOTING

FOR ALUMINUM ENCLOSURES WITH SOLID ALUMINUM ROOFS

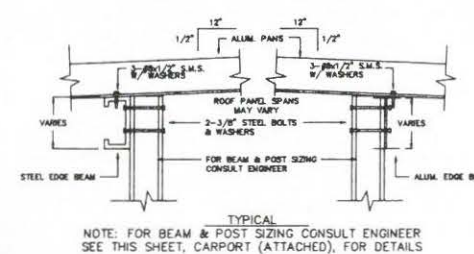
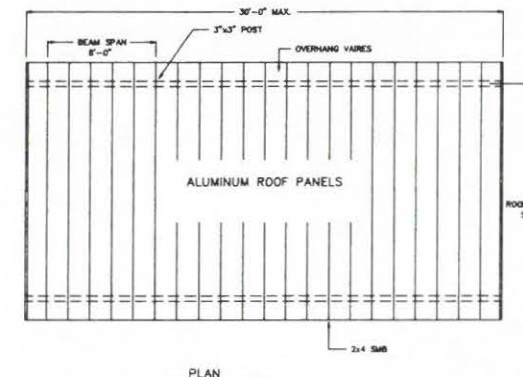
RAISED SLAB

WITH 8" CONG. BLOCK FOR ALUMINUM SCREEN ROOMS, GLASS ROOMS AND PATIO COVERS

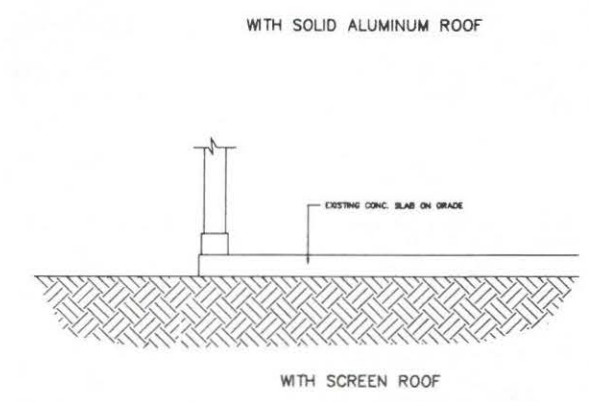
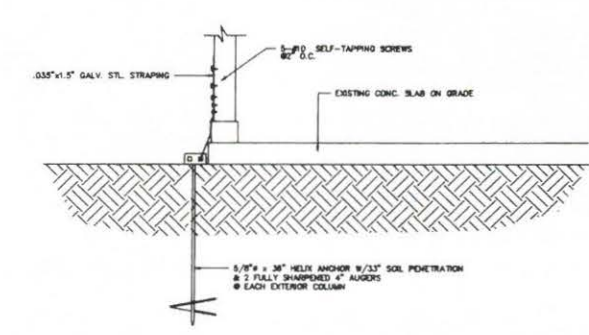
PIER TYPE FOOTING



BEAM SIZE AND SHAPE	MAXIMUM CLEAR BEAM SPANS CONT. EDGE BEAM FOR ROOF SPANS BELOW					TYPICAL POST SIZE & NO. OF BASE ANCHORS
	10'	12'	14'	15'	16'	
	4'-10"	4'-5"	4'-0"	3'-11"	3'-10"	2"x12"x.040\"/> POST W/2.25\"/> DIA. ANCHORS
	6'-4"	5'-10"	5'-4"	5'-2"	5'-0"	FLAG POST W/2.25\"/> DIA. ANCHORS
	5'-5"	5'-0"	4'-8"	4'-5"	4'-3"	
S.M. BEAM	10'-0"	8'-1"	8'-8"	8'-3"	8'-0"	2"x13"x.050\"/> OR 3"x13\"/> POST W/4 MIN. OF 2-3/8\"/> ANCHOR BOLTS (OR) 4-25\"/> BOLTS
S.M. BEAM W/INSERT	12'-0"	11'-0"	10'-11"	9'-8"	9'-8"	2"x13\"/> POST W/4 MIN. OF 2-3/8\"/> ANCHOR BOLTS 4-25\"/> ANCHOR BOLTS
S.M. BEAM	13'-3"	12'-1"	11'-3"	10'-3"	10'-0"	
S.M. BEAM	20'-0"	18'-3"	17'-0"	16'-4"	15'-8"	
S.M. BEAM W/INSERT	22'-8"	20'-10"	19'-3"	18'-8"	18'-0"	
I BEAM	17'-8"	16'-0"	14'-10"	14'-4"	14'-0"	
I BEAM W/SHAP	18'-3"	14'-8"	13'-8"	13'-3"	12'-0"	
I BEAM W/SHAP	20'-0"	18'-11"	18'-10"	16'-3"	15'-8"	



NOTE: FOR BEAM & POST SIZING CONSULT ENGINEER SEE THIS SHEET, CARPORT (ATTACHED), FOR DETAILS



CARPORT
(ATTACHED)

EDGE BEAM & POST SPAN TABLE C-1
(ATTACHED ROOFS ONLY)

CARPORT
(FREE STANDING)

EXISTING SLAB ON GRADE
(ALL ALUMINUM CONSTRUCTION ENCLOSURE)

DATE	BY	DESCRIPTION
3-24-88	JC	DETAILS 2-1, 2-2, 2-3, 2-4 UPDATED
4-8-88	JC	MOVED DETAILS AROUND ON ALL 5 PAGES
4-25-88	JL	ADDED SPAN DEFINITION SHTS
REVISIONS		

TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA



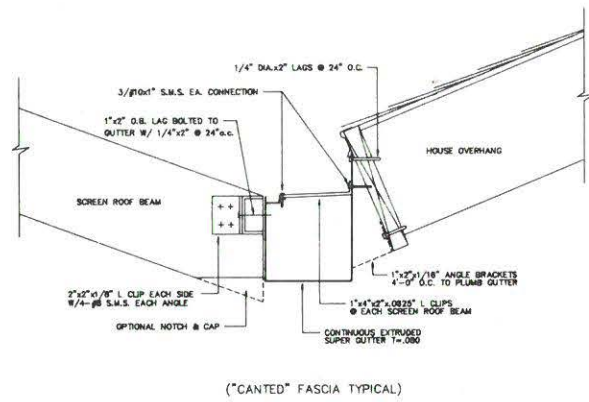
810 SATURN ST., SUITE 16 JUPITER FL. 33477 (305)747-7254

ALUMINUM CONSTRUCTION
DETAILS

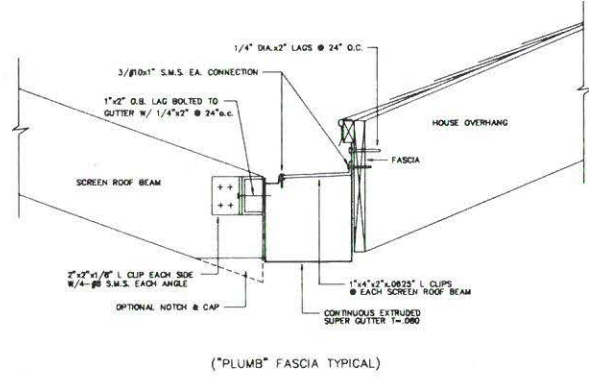
DRAWN	COMPTON
CHECKED	NASH
SCALE	NT.S.
DATE	MARCH 1988
JOB NO.	88018

SEAL
4/27/88

SHEET
2
OF FIVE SHEETS

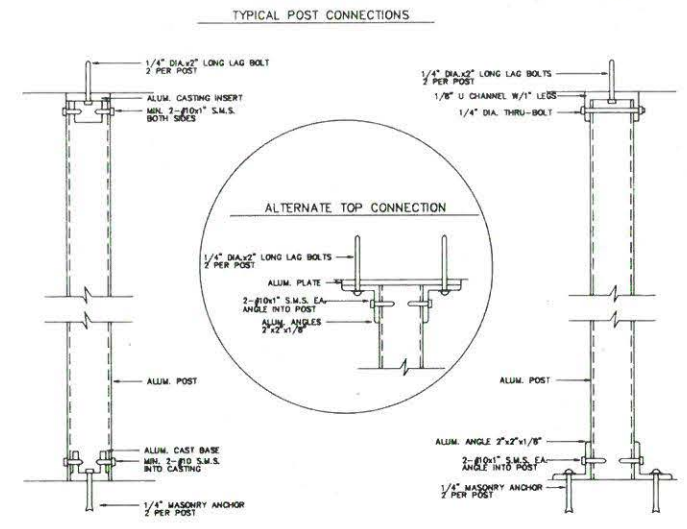


(*GATED* FASCIA TYPICAL)



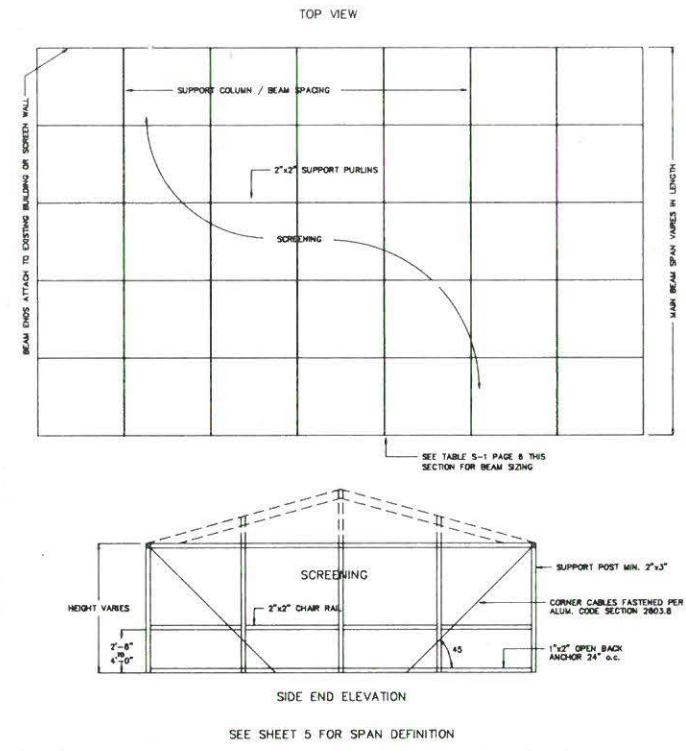
(*PLUMB* FASCIA TYPICAL)

SUPER GUTTER - FASCIA ATTACHMENT

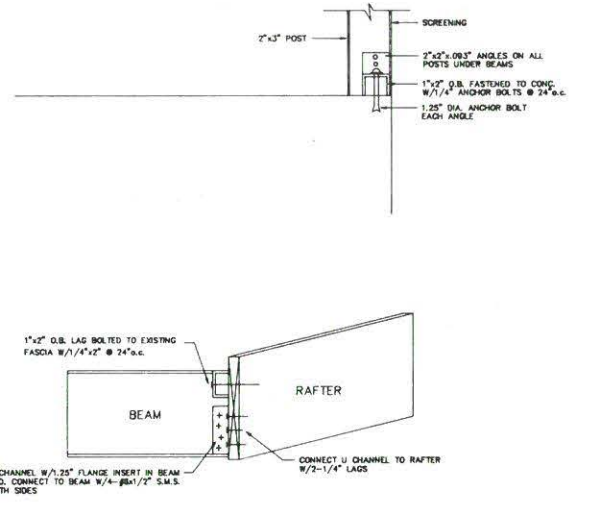


NOTE: ANGLES MAY HAVE 1 LEG INSIDE POST

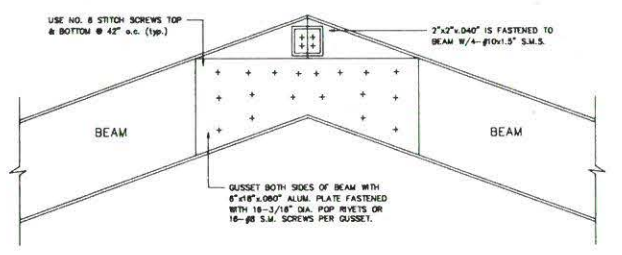
SCREEN ROOM (UNDER WOOD ROOF)



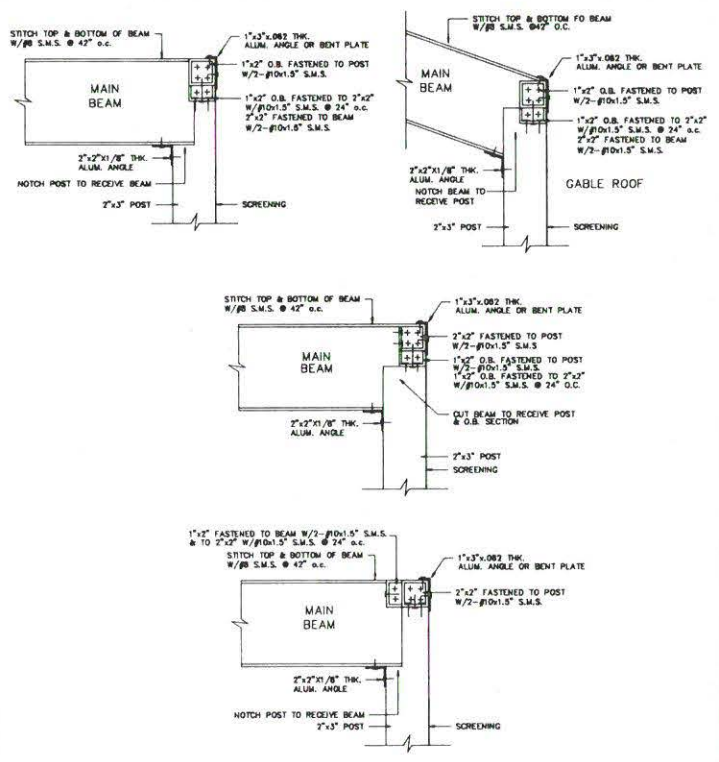
POOL ENCLOSURE (TYPICAL)



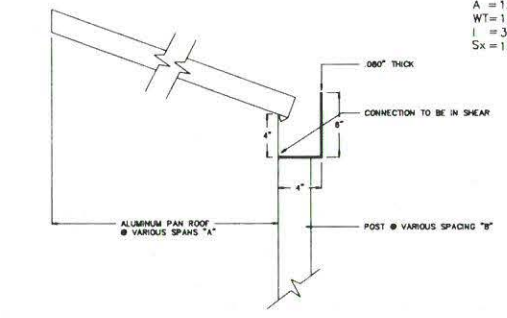
POOL ENCLOSURE & SCREEN ROOM WITH SCREEN ROOF



POOL ENCLOSURE (CONNECTION TYPICALS)



POOL ENCLOSURE (POST TO BEAM TYPICALS)



SPAN TABLE - FOR SUPER GUTTER AS EDGE BEAM

GUTTER/EDGE BEAM SPAN B	VARIOS SPANS OF PAN ROOF A				
	8'	10'	12'	14'	16'
	13'-9"	12'-4"	11'-3"	10'-5"	9'-9"

SUPER GUTTER AS EDGE BEAM SPAN TABLE C-2

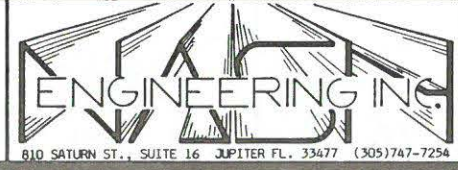
BEAM SIZE	MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS @ VARIOUS SPACING							
	4'-0" C-C	5'-0" C-C	5'-6" C-C	6'-0" C-C	6'-6" C-C	7'-0" C-C	7'-6" C-C	8'-0" C-C
2"x4" S.M. BEAM Sx = 1.25	21'-8"	19'-4"	18'-6"	17'-8"	17'-0"	16'-4"	15'-10"	15'-3"
2"x4" S.M. BEAM W/ INSERT Sx = 1.785	25'-5"	22'-9"	21'-9"	20'-9"	20'-0"	19'-3"	18'-8"	18'-0"
2"x6" S.M. BEAM Sx = 2.82	32'-9"	29'-4"	28'-0"	26'-9"	25'-9"	24'-9"	24'-0"	23'-2"
2"x7" S.M. BEAM Sx = 4.09	42'-9"	38'-3"	36'-7"	35'-0"	33'-8"	32'-4"	31'-4"	30'-3"
2"x7" S.M. BEAM W/ INSERT Sx = 5.35	49'-2"	44'-0"	42'-0"	40'-2"	38'-8"	37'-2"	36'-0"	34'-9"
3"x7" I BEAM W/ SNAP Sx = 2.09	25'-10"	25'-0"	24'-3"	23'-7"	23'-0"	22'-5"	21'-11"	21'-5"
3"x7" I BEAM W/ SNAP Sx = 3.19	34'-10"	31'-1"	29'-10"	28'-6"	27'-5"	26'-4"	25'-5"	24'-8"
4"x8" I BEAM W/ SNAP Sx = 4.93	42'-10"	38'-4"	36'-8"	35'-0"	33'-9"	32'-5"	31'-5"	30'-4"
2"x9" S.M. BEAM Sx = 7.21	---	---	---	52'-6"	50'-0"	48'-8"	47'-0"	45'-6"

NOTE: THIS TABLE IS BASED ON:
WINDLOAD OF 120 MPH | LIVELOAD = 7 LBS/SQ. FT. | SCREEN MESH 18x14

SCREEN ROOF BEAM - SPAN TABLE S-1

DATE	BY	DESCRIPTION
3-24-88	JC	DETAIL 3-4 UPDATED
4-8-88	JC	MOVED DETAILS AROUND ON ALL 5 PAGES
4-25-88	JC	ADDED SPAN DEFINITION TO SHT. 5
REVISIONS		

TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA



ALUMINUM CONSTRUCTION
DETAILS

DRAWN	COMPTON
CHECKED	NASH
SCALE	N.T.S.
DATE	MARCH 1988
JOB NO.	88017

SEAL
4/28/88

SHEET
3
OF FIVE SHEETS

SUPER GUTTER
ALLOY 6063-T6
A = 1.20in²
WT = 1.44#/L.F.
I = 3.946in⁴
Sx = 1.973in³

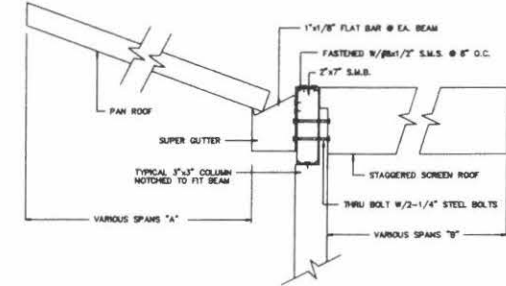
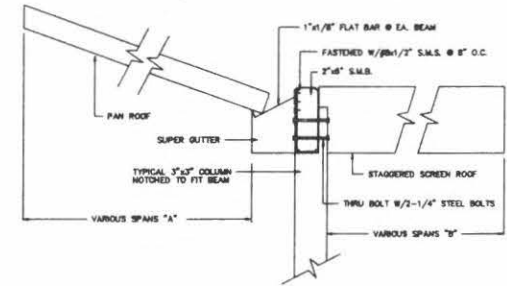
2"x6" S.M.B.
ALLOY 6063-T6
A = 1.396in²
WT = 1.67#/L.F.
I = 8.46in⁴
Sx = 2.82in³

SUPER GUTTER
ALLOY 6063-T6
A = 1.20in²
WT = 1.44#/L.F.
I = 3.946in⁴
Sx = 1.973in³

2"x7" S.M.B.
ALLOY 6063-T6
A = 1.782in²
WT = 2.14#/L.F.
I = 7.139in⁴
Sx = 4.89in³

COMBINATION Sx = 4.80in³

COMBINATION Sx = 6.87in³



SPAN TABLE - FOR COMBINATION - SUPER GUTTER + 2"x6" S.M.B.

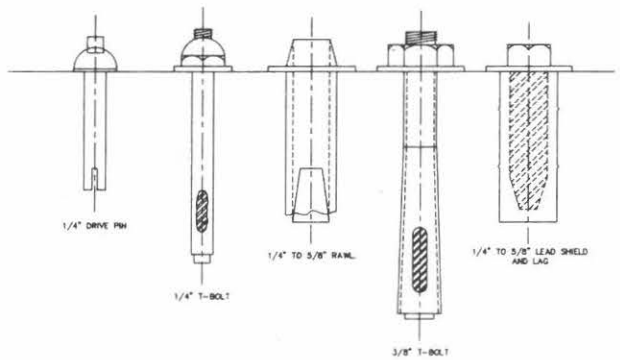
SPAN TABLE - FOR COMBINATION - SUPER GUTTER + 2"x7" S.M.B.

VARIOUS SPANS OF ROOF PANS "A"	VARIOUS SPANS OF SCREEN ROOFS "B"												
	18'	20'	22'	24'	26'	28'	30'	32'	34'	36'	38'	40'	42'
4'-0"	30'-8"	18'-10"	18'-4"	18'-10"	18'-4"	17'-10"	17'-8"	17'-1"	18'-8"	18'-2"	15'-10"	15'-8"	
6'-0"	18'-5"	18'-0"	17'-8"	17'-2"	18'-10"	18'-4"	18'-2"	15'-10"	15'-7"	15'-4"	15'-1"	14'-10"	14'-7"
8'-0"	17'-0"	15'-8"	15'-3"	15'-0"	15'-8"	15'-5"	15'-2"	14'-11"	14'-8"	14'-5"	14'-2"	14'-0"	13'-10"
10'-0"	15'-8"	15'-8"	15'-3"	15'-0"	14'-8"	14'-5"	14'-2"	14'-0"	13'-10"	13'-8"	13'-5"	13'-3"	13'-1"
12'-0"	14'-10"	14'-7"	14'-4"	14'-2"	14'-0"	13'-8"	13'-6"	13'-4"	13'-2"	13'-0"	12'-10"	12'-8"	12'-6"
14'-0"	14'-0"	13'-10"	13'-7"	13'-5"	13'-5"	13'-0"	12'-11"	12'-10"	12'-8"	12'-4"	12'-3"	12'-0"	11'-8"

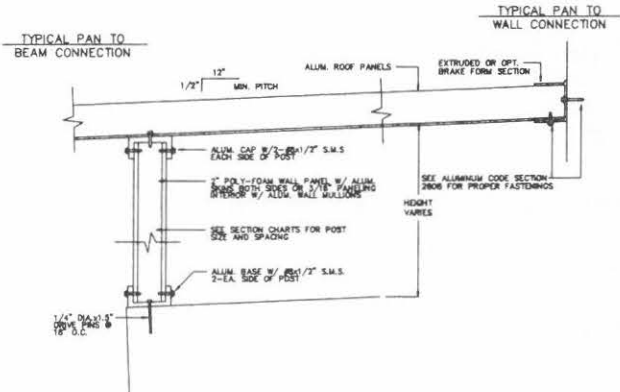
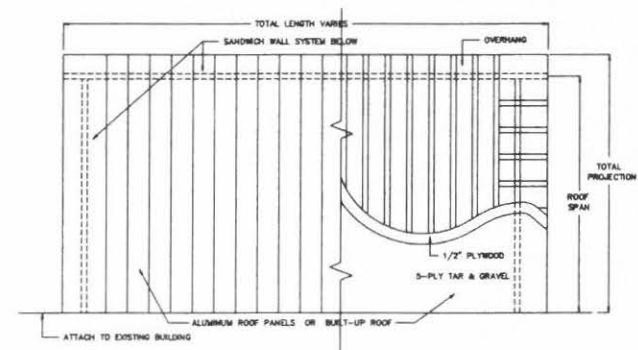
VARIOUS SPANS OF ROOF PANS "A"	VARIOUS SPANS OF SCREEN ROOFS "B"												
	18'	20'	22'	24'	26'	28'	30'	32'	34'	36'	38'	40'	42'
4'-0"	24'-8"	23'-8"	23'-0"	22'-8"	22'-0"	21'-8"	21'-0"	20'-8"	20'-0"	19'-7"	18'-7"	18'-11"	18'-7"
6'-0"	22'-0"	21'-8"	21'-0"	20'-7"	20'-2"	19'-8"	19'-3"	18'-0"	18'-5"	18'-0"	18'-4"	18'-0"	17'-8"
8'-0"	20'-3"	19'-11"	19'-8"	19'-2"	18'-10"	18'-5"	18'-1"	17'-10"	17'-8"	17'-3"	17'-0"	16'-8"	16'-4"
10'-0"	18'-10"	18'-7"	18'-3"	18'-0"	17'-8"	17'-4"	17'-1"	16'-10"	16'-7"	16'-4"	16'-2"	16'-0"	15'-8"
12'-0"	17'-8"	17'-5"	17'-1"	16'-11"	16'-8"	16'-4"	16'-0"	15'-10"	15'-7"	15'-5"	15'-3"	15'-1"	14'-9"
14'-0"	16'-8"	16'-4"	16'-0"	15'-10"	15'-8"	15'-5"	15'-1"	15'-1"	14'-11"	14'-8"	14'-7"	14'-4"	14'-2"

CARRIER BEAM - SPAN TABLE S-2
(SUPER GUTTER & 2"x6" S.M.B.)

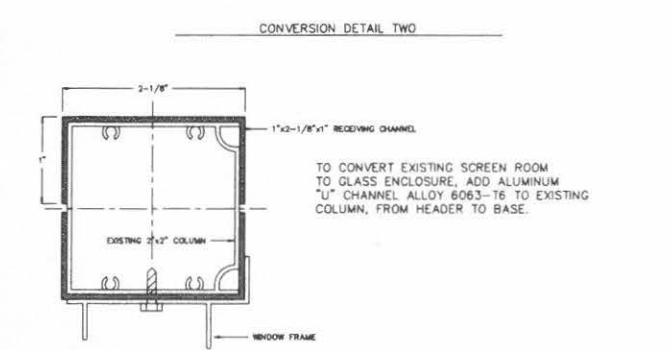
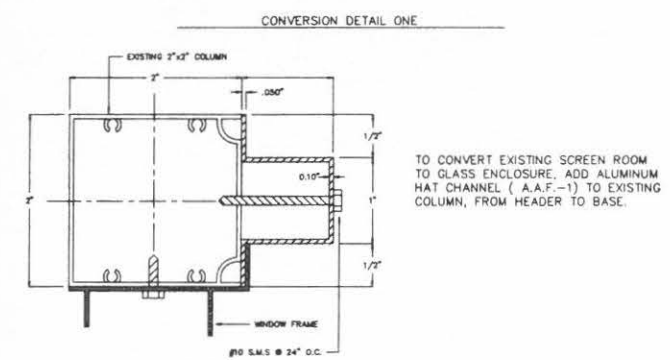
CARRIER BEAM - SPAN TABLE S-3
(SUPER GUTTER & 2"x7" S.M.B.)



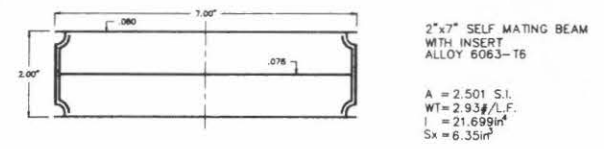
MASONRY - CONCRETE FASTENERS



GLASS ROOMS
(SANDWICH SYSTEM)



GLASS ROOM "HAT"
(REINFORCEMENT OF .040 POST)



SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	56'-9"	47'-6"	30'-0"	27'-5"
4'	49'-2"	41'-2"	26'-0"	23'-9"
5'	44'-0"	36'-10"	24'-3"	21'-3"
6'	40'-2"	33'-6"	21'-3"	19'-4"
7'	37'-2"	31'-1"	19'-8"	17'-11"
8'	34'-9"	29'-0"	18'-5"	16'-0"
9'	32'-9"	27'-5"	17'-4"	15'-10"
10'	31'-0"	26'-0"	16'-5"	15'-0"

2"x7" S.M.B. WITH INSERT

DATE	BY	DESCRIPTION
3-23-88	JC	DETAILS 4-1, 4-2, 4-6 UPDATED
4-8-88	JC	MOVED DETAILS AROUND ON ALL 5 PAGES
4-15-88	JL	ADDED SPAN DEFINITION SHIT S
REVISIONS		

TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA

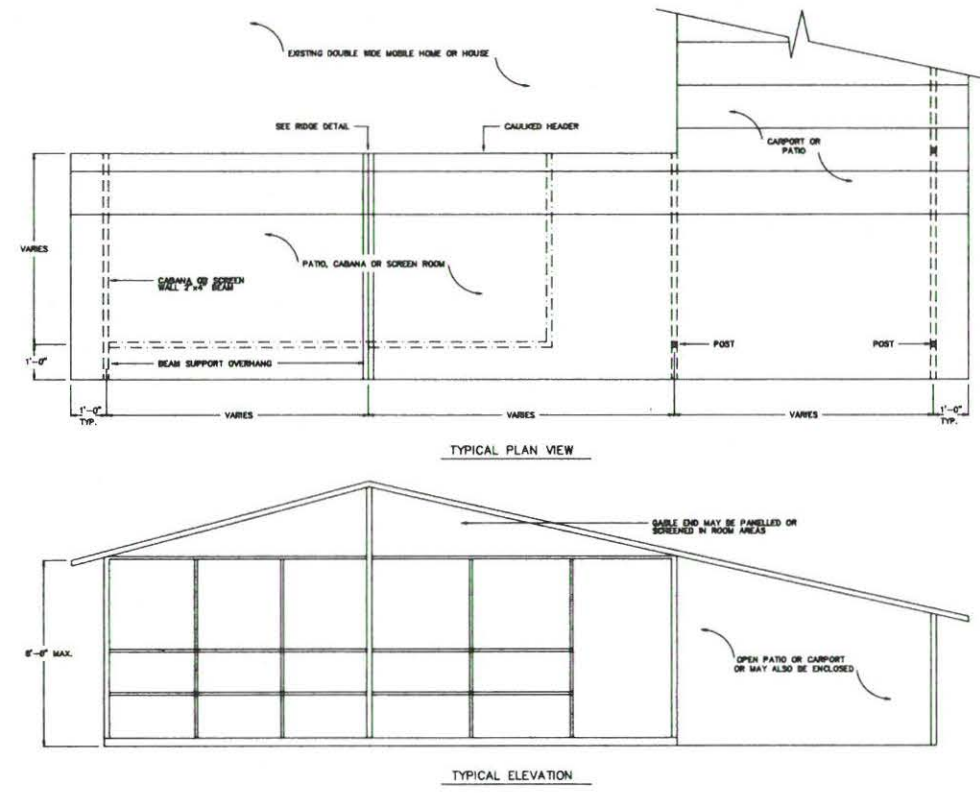


ALUMINUM CONSTRUCTION
DETAILS

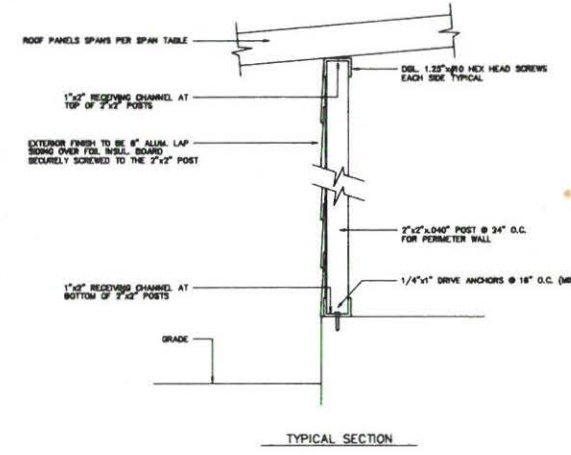
DRAWN	COMPTON
CHECKED	NASH
SCALE	NT.S.
DATE	MARCH 1988
JOB NO.	88018

Seal and signature of Tom Paul, dated 4/27/88.

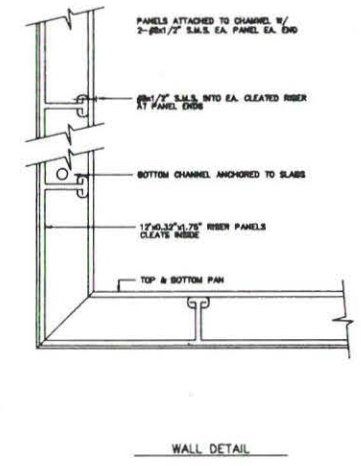
SHEET
4
OF FIVE SHEETS



ATTACHED A-FRAME COMBINATION PATIO-CABANA OR CARPORT



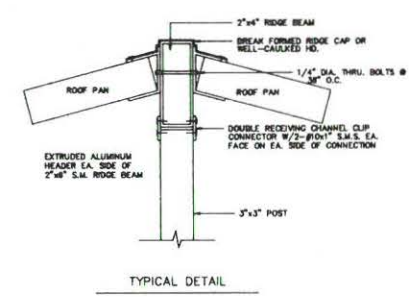
TYPICAL SECTION



WALL DETAIL

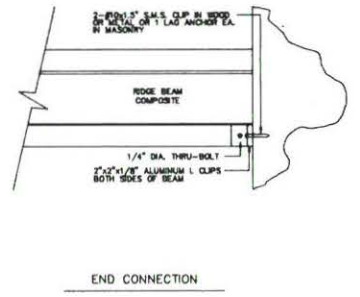
TYPICAL UTILITY ROOM

TYPICAL UTILITY ROOM



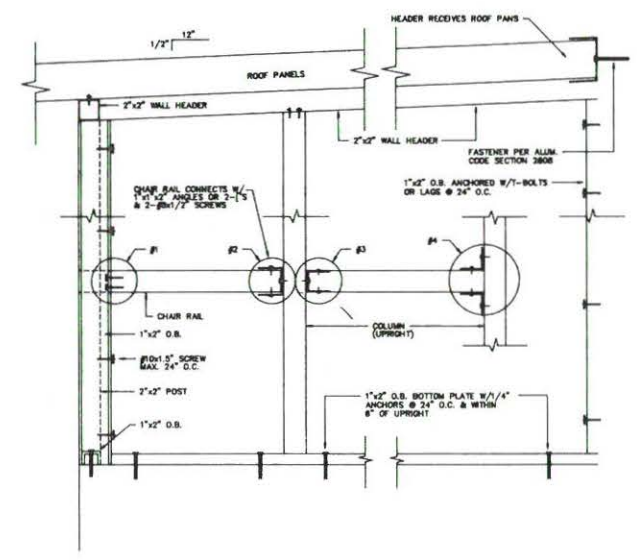
TYPICAL DETAIL

RIDGE BEAM



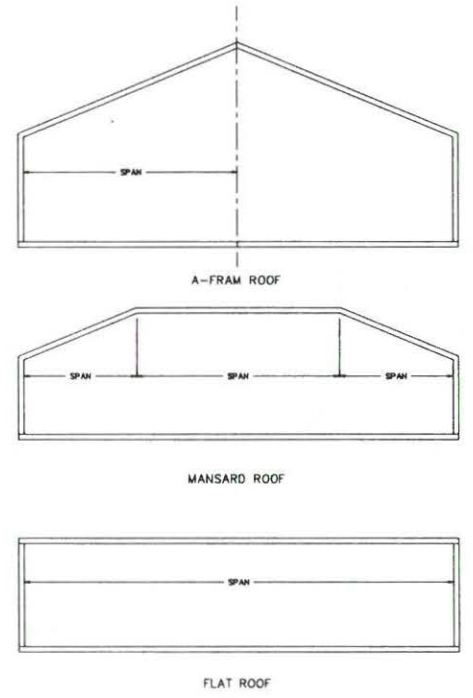
END CONNECTION

RIDGE BEAM



CHAIR RAIL CONNECTION ALTERNATIVES (PER CHAP. XXVII SECTION 2803.)
 1. INTERNAL SCREWS
 2. EXTERNAL SCREWS
 3. INTERNAL "U" CHANNEL
 4. EXTERNAL ANGLES

SCREEN ROOM (WITH ALUMINUM ROOF)



SPAN DEFINITION

DATE	BY	DESCRIPTION
3-23-88	JC	DETAIL 5-6 UPDATED & DETAIL 5-7 ADDED
4-8-88	JC	MOVED DETAILS AROUND ON ALL 5 PAGES
4-25-88	JC	ADDED SPAN DEFINITION TO SHT. 5
REVISIONS		

TREASURE COAST CHAPTER, INC.
 OF THE ALUMINUM ASSOCIATION
 OF FLORIDA



ALUMINUM CONSTRUCTION
 DETAILS

DRAWN	COMPTON
CHECKED	NASH
SCALE	NT.S.
DATE	MARCH 1988
JOB NO.	88018

John Nash
 4/27/88
 SEAL

SHEET
 5
 OF FIVE SHEETS

4045

POOL SHELL

TAX FOLIO NO.

4045

DATE 8-26-96

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mr + Mrs Watson Present address 9 Emarita way

Phone 288-1880

Contractor Robert Dean Schiller Address 3265 SE Dixie Hwy

Phone 287-0768 Stuart

Where licensed Martin County License number SP00936

Electrical Contractor N/A License number _____

Plumbing Contractor N/A License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: pool shell only

Emarita sub Division

State the street address at which the proposed structure will be built:

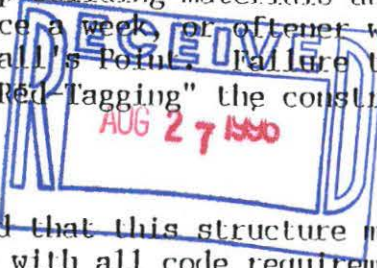
9 Emarita way

Subdivision Sewalls Pt. Lot Number _____ Block Number _____

Contract price \$ 10,500⁰⁰ Cost of permit \$ 200⁰⁰

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.



Contractor R.D. Schiller

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted _____ Approved: [Signature] Building Inspector Date

Approved: [Signature] Commissioner Date Final approval given: _____ Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____ Date PERMIT NO. _____

4068

SHED

4068

TAX FOLIO NO. _____

DATE _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner ROBERT WATSON Present address 9 EMARITA WAY
Phone (561) 288-7348 SEWALL'S POINTContractor _____ Address _____
Phone _____

Where licensed _____ License number _____

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

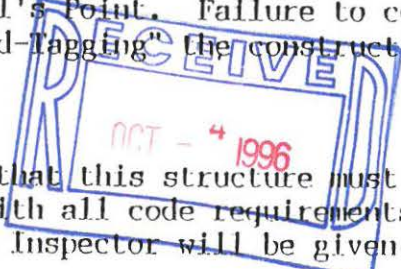
Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: REPLACE EXISTING TOOL SHED / PUMP HOUSE

State the street address at which the proposed structure will be built:

9 EMARITA WAYSubdivision EMARITA Lot Number 22 Block Number XContract price \$ 1400⁰⁰ Cost of permit \$ 24^{XX}

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted _____

Approved: [Signature]
Building Inspector DateApproved: [Signature]
Commissioner DateFinal approval given: _____
DateCERTIFICATE OF OCCUPANCY issued (if applicable) _____
DatePERMIT NO. 4068

Master on File

ROBIN BUILDERS, INC.

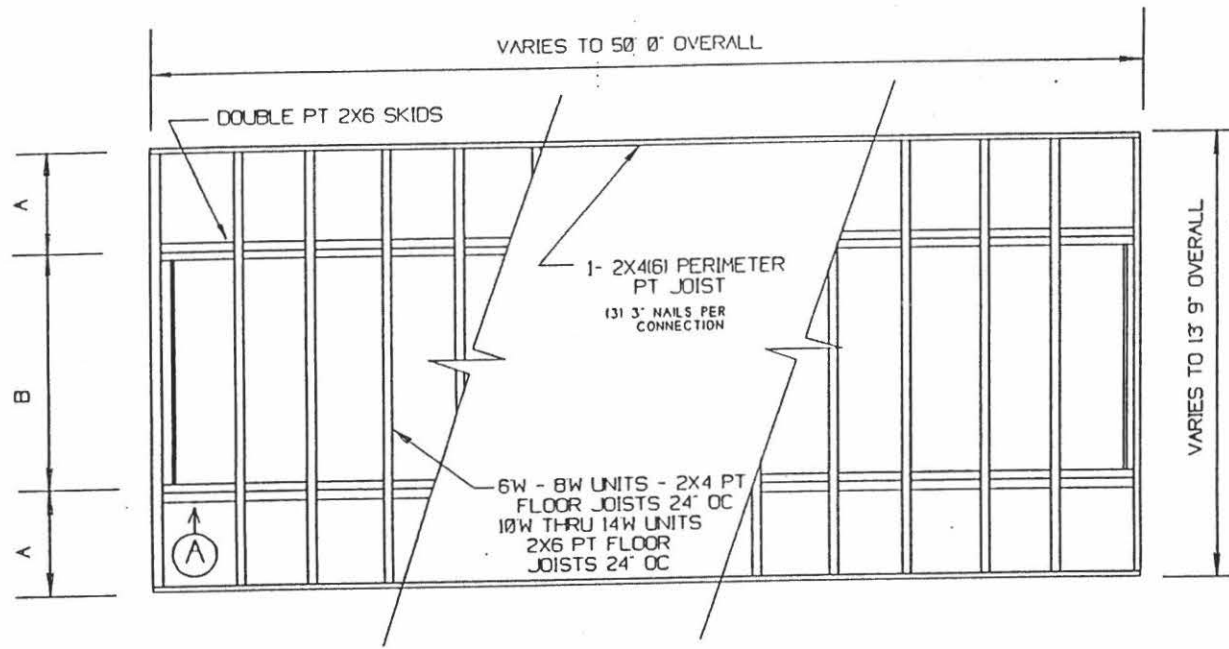
LAKE WALES, FLORIDA

GENERAL NOTES

1. THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH STATE OF FLORIDA DEPARTMENT OF COMMUNITY AFFAIRS APPROVAL, SBCC 1991
2. ALL MATERIALS AND LABOR SHALL BE IN ACCORDANCE WITH THE ABOVE CODE AND ALL OTHER APPLICABLE CODES
3. BUILDING CLASSIFIED AS RESIDENTIAL LAWN STORAGE/LIGHT COMMERCIAL STORAGE. 50/125 PSF FLOOR LOAD. (NOT FOR HABITATION)
4. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
5. OUTSIDE OVERALL DIMENSIONS CAN VARY BETWEEN LIMITS SHOWN BUT MEMBER SPACING SHALL NOT EXCEED LIMITS AS INDICATED.
6. TRUSS LUMBER SHALL BE STRESS GRADED NO 2 SYPKD IFB-1500 PSI
7. ALL OTHER LUMBER SHALL BE STRESS GRADED SYPKD IFB-1500 PSI
8. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
9. TRUSS DESIGNED TO SUPPORT DL + LL = 35 PSF.
10. SEE TRUSS DETAILS FOR TRUSS PLATES.
11. ALL ALUMINUM SIDING/ROOFING TO BE 3004 ALLOY CONFORMING TO ASTM B-209. 32,000 PSI MINIMUM YIELD STRENGTH.
12. USE #8 X 3/4" TYPE A SHEET METAL SCREW FOR ALL CONNECTIONS BETWEEN ALUMINUM SIDING/ROOFING AND FRAME, SPACING AS FOLLOWS:
 ROOF - PERIPHERAL MEMBERS 2 1/2" OC.
 ROOF - INTERIOR MEMBERS 5" OC.
 SIDING - 5" OC.
13. DOOR SHALL BE 2 1/4" X 11/16" ALUMINUM EXTRUDED FRAME WITH AN ALUMINUM PANE INSERT. ALUMINUM TRIM AND ALUMINUM PIANO HINGE ATTACHED WITH ALUMINUM RIVETS. DOOR ATTACHED TO VERTICAL 2X4. OPTIONAL DOORS INCLUDE DOUBLE ALUMINUM DOORS. GARAGE DOORS AND PREHUNG STEEL DOORS.
14. ALL WIRE SHALL BE #12 COPPER WITH GROUND. WIRING PROTECTED PER NEC 1991 ED.
15. ELECTRICAL WIRING FIXTURE LOCATIONS AND TYPE MAY VARY.
16. FOUNDATION, FOOTING AND ANCHORING OF UNIT WILL BE THE OWNERS RESPONSIBILITY TO CHECK WITH THE LOCAL CODE AUTHORITY TO VERIFY SPECIFIC REQUIREMENTS AFFECTING THE INSTALLATION. SETUP AND UTILITY CONNECTIONS TO THIS BUILDING. THE PURCHASER ASSUMES ALL RESPONSIBILITY FOR COMPLIANCE WITH LOCAL COUNTY OR MUNICIPAL CODE REQUIREMENTS FOR THIS STRUCTURE.
17. ALUMINUM WINDOWS - TYPE, SIZE AND QUANTITY MAY VARY.
18. OPTIONAL EXTERIOR WALL COVERINGS INCLUDE CORRUGATED ALUMINUM MESA ALUMINUM 4" LAP ALUMINUM 5/8" T-III SIDING. VINYL SIDING WITH ENERGY BRACE BACKER. FLEKO STUCCO ON 5/8" CDX PLYWOOD. ROOF COVERINGS INCLUDE CORRUGATED OR LAP ALUMINUM SHINGLE ROOF OVER 5/8 CDX PLYWOOD W/2 LAYERS 15 LB. FELT.
19. ALL WOOD WITHIN 6" OF GRADE SHALL BE TREATED FOR GROUND CONTACT IN ACCORDANCE WITH AWPB - LP -22.
20. USE 1/2 X 1 1/2 STAPLE FOR ALL CONNECTIONS BETWEEN WOOD SIDING/ROOF AND FRAME. SPACING 6" OC
21. 1X4 SYPKD T&G FLOORING OR 3/4 PLYWOOD SURFACED STAPLED WITH .5 X 1.5" STAPLES 4" OC.

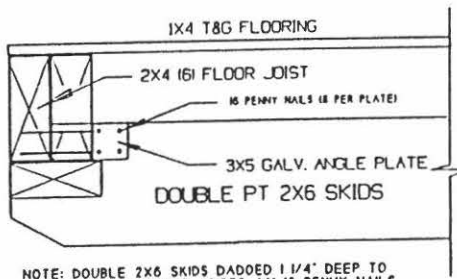
ROBIN BUILDERS, INC. LAKE WALES, FLORIDA		LISTING AGENCY APPROVAL			
		THESE PLANS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODES AND ADHERE TO THE FOLLOWING CRITERIA:			
CONSTRUCTION TYPE:	W	FREE PATE EXT WALL:	0	PLANNING:	RCA93
OCCUPANCY:	R/SAC	ALLOW FLP LOAD:	50/125	APPROVAL DATE:	10-25-93
WIND VELOCITY:	115	MANUFACTURER:	ROBIN BUILDERS, PO BOX 1067 LAKE WALES, FL 33853	PLANS APPROVED BY:	FSC
DWN BY:	LH	REVISION:			
DATE:	9-5-93				
SCALE:	1/8" = 1'-0"				
PLAN NO.:	RCA93				
PAGE NO.:	1				

DATE 10-25-93 CERT. NO. 751
 PLAN NUMBER RCA93
 APPROVED BY [Signature]



NOTE: ADDITIONAL SKID PLACED UNDER EACH OUTSIDE WALL ON 13' 9" WIDE

TYPICAL FLOOR FRAMING
N.T.S.



NOTE: DOUBLE 2X6 SKIDS DADOED 1 1/4" DEEP TO RECEIVE FLOOR JOISTS. (4) 16 PENNY NAILS AT EACH CONNECTION.

FLOOR DETAIL A
N.T.S.

FLOOR JOIST @ 16" OC OR 24" OC WILL SUPPORT UP TO AND INCLUDING 50 PSF LIVE & DEAD FLOOR LOADING.

UNIT WIDTH	6' 0"	8' 0"	10' 0"	11' 9"	13' 9"
FLOOR JOIST	2X4	2X4	2X6	2X6	2X6
OC. SPACING	24"	24"	24"	24"	24"
"A"	16'	18'	18'	28.5'	40.5'
"B"	40'	60'	84'	84'	84'

FOR 125 PSF LIVE LOAD, 16" OC OR 24" OC FLOOR JOISTS MAY BE USED SO LONG AS DIMENSION "B" IS DIVIDED EQUALLY @ 42" AND AN EXTRA SKID IS PLACED UNDER THE OUTSIDE WALLS.

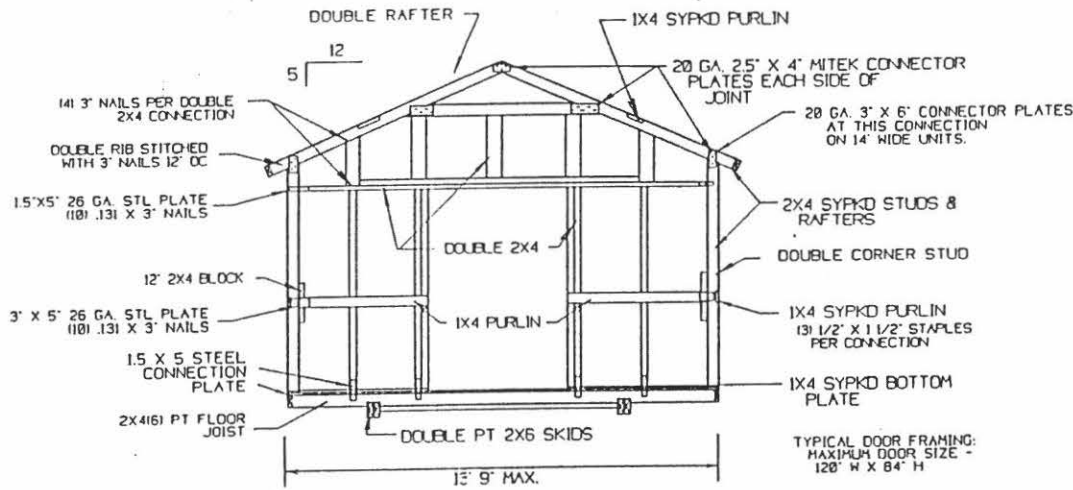
ROBIN BUILDERS, INC.
LAKE WALES, FLORIDA

LISTING AGENCY APPROVAL

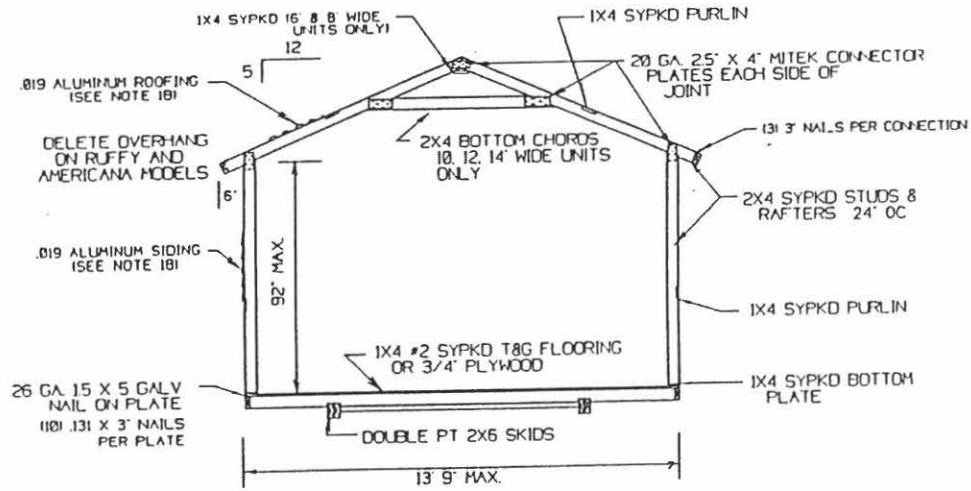
THESE PLANS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODES AND ADHERE TO THE FOLLOWING CRITERIA:

CONSTRUCTION TYPE:	M	FIRE RATE EXT. WALL:	0
OCCUPANCY:	RES/C	PLAN NO.:	RCA93
ALLOW. NO. FLRS.:	1	ALLOW. FLR. LOAD:	50/125
WIND VELOCITY:	115	APPROVAL DATE:	10-25-97
MANUFACTURER:	ROBIN BUILDERS, PO BOX 1067, LAKE WALES, FL. 33853		
PLANS APPROVED BY:	FEX		

DWN. BY:	LH	DATE:	9-9-93
SCALE:	NONE	PLAN NO.:	RCA93
REVISION:	1	PAGE NO.:	1
			10/25/97



END WALL FRAMING
N.T.S.



CROSS SECTION DETAIL
N.T.S.

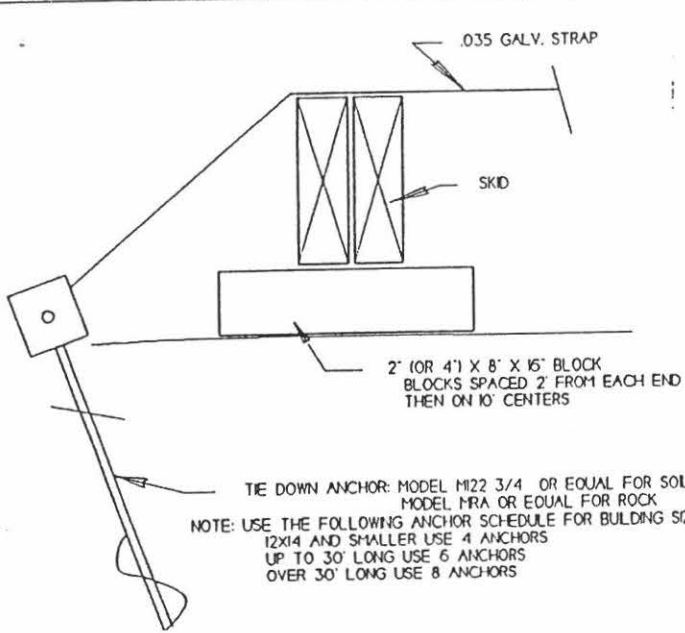
LISTING AGENCY APPROVAL

THESE PLANS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODES AND ADHERE TO THE FOLLOWING CRITERIA:

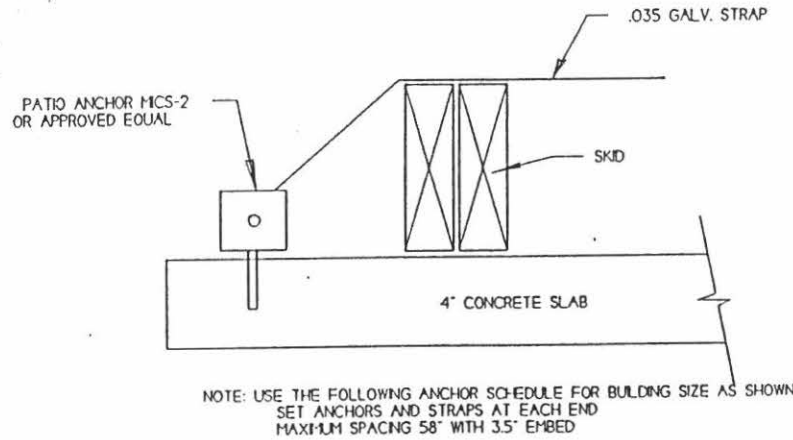
CONSTRUCTION TYPE:	M	FIRE RATE EXT WALL:	0
OCCUPANCY:	RES/AC	PLAN NO.:	RCA93
ALLOW. NO. FLRS.:	1	ALLOW. FLR. LOAD:	50/125
WIND VELOCITY:	15	APPROVAL DATE:	10-25-93
MANUFACTURER:	ROBIN BUILDERS, PO BOX 1067, LAKE WALES, FL 33853	PLANS APPROVED BY:	FSC
DWN. BY:	LH	PAGE NO.:	3
DATE:	9-6-93	<i>Red Boardwell 10/25/93</i>	
SCALE:	NONE		
PLAN NO.:	RCA93		
ROBIN BUILDERS, INC. LAKE WALES, FLORIDA		CLASSIC AMERICANA	

RUFFY
CLASSIC
AMERICANA

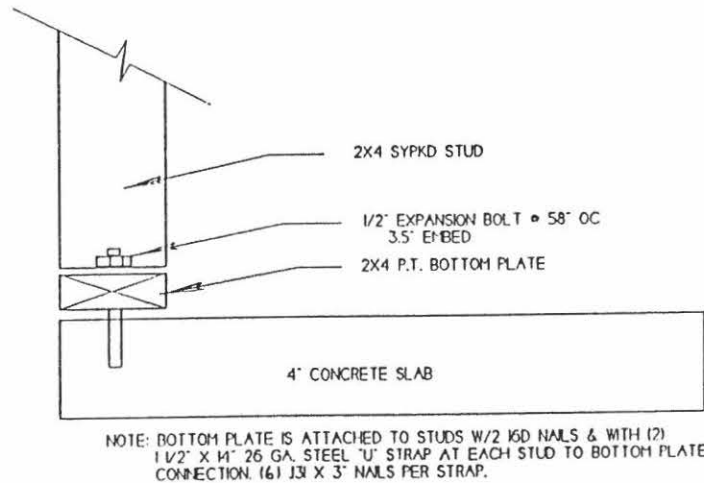
REVISION:



TIE DOWN TO GROUND
NTS



TIE DOWN TO SLAB
NTS



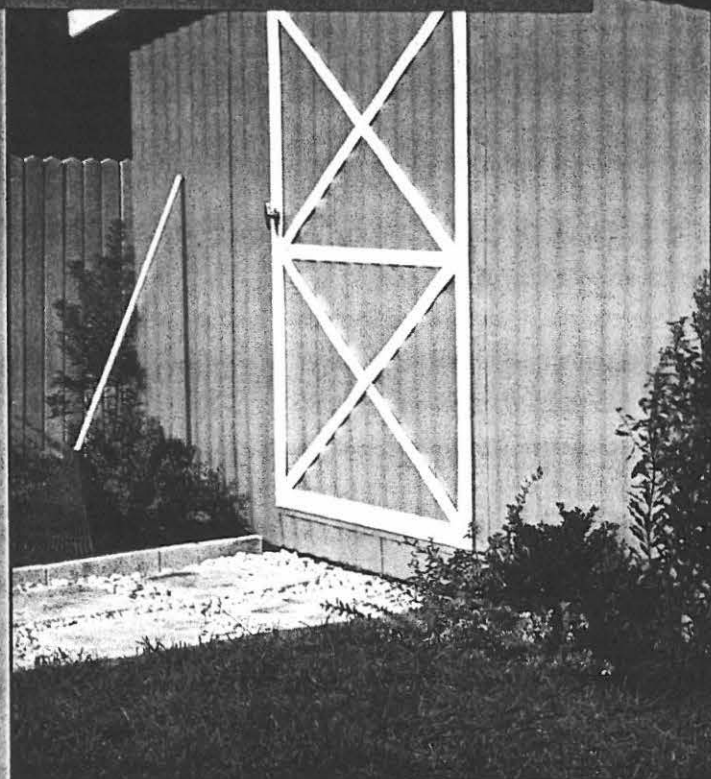
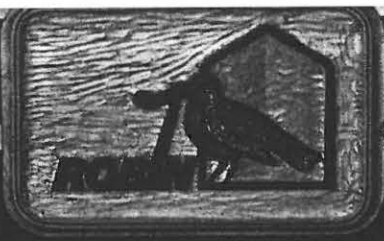
TIE DOWN WITHOUT FLOOR
NTS

ROBIN BUILDERS, INC. LAKE WALES, FLORIDA		LISTING AGENCY APPROVAL			
		THESE PLANS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1970 CONSTRUCTION CODES AND ADHERE TO THE FOLLOWING CRITERIA:			
RUFFY CLASSIC AMERICANA	DWN. BY:	LH	VI	FRE RATE EXT WALL:	0
	DATE:	9-15-93	R/S/C	PLAN NO.:	RCA93
	SCALE:	NONE	1	ALLOW. FLR. LOAD:	50/125
	PLAN NO.:	RCA93	115	APPROVAL DATE:	10-25-93
REVISION:	PAGE NO.:	4	MANUFACTURER:	ROBIN BUILDERS, PO BOX 067, LAKE WALES, FL. 33853	
10/25/93		PLANS APPROVED BY: FSC			

Shed & Topper Country, Inc.

STORAGE SHEDS • TRUCK TOPPERS & ACCESSORIES
 BEDLINERS • HITCHES • LADDER RACKS
 Hours: M-F 8:30-5:00, Sat. 9-5
 1227 S.E. Federal Highway
 Stuart, Florida 34994
 Office: (407) 225-9305
 Fax: (407) 225-1467

ence



The Suburban is available with 2" Mesa deluxe aluminum siding (shown above) and the Lap Suburban with 4" lap-style aluminum siding (shown at right).

Both come in a range of decorative colors, sizes, and options.



Don't let the Suburban good looks fool you. Under that durable all-aluminum exterior is a building built to last.

Engineered with the **Secure-It T™** Framing System that only Robin can offer, your Suburban has the same secure truss construction as a home, and a rugged foundation resistant to termites, rain and moisture.

So whether you're looking for a versatile multi-purpose building...or simply solid, secure storage, consider the Suburban.

The beauty isn't only on the surface.

Suburban

Pretty and peppy, but built for strength

6x8	8x8	10x10	12x12	14x16
6x10	8x10	10x12	12x14	14x20
6x12	8x12	10x14	12x16	14x24
	8x14	10x16	12x20	14x30
	8x16	10x20	12x24	14x40
		10x24	12x30	

8x10 \$1,075

(2) 18x27 Windows

(1) 45" Door

8x12 \$1,220.

Anchor Kit \$40.00

Shed & Topper Country, Inc.



1221 SE Federal Highway, Stuart, Florida 34994 ☐ Tel (561)223-9505 Fax (561)223-1669

Robin Builder's Specifications:

- 100% state approved
 - Sustain 115 wind loading
 - KD19 yellow pine framing
 - All interior end walls are doubled-up and clipped with Secure-itT framing system
 - 1 x 4 tongue & groove yellow pine load capacity 50 lbs. per square foot
 - or 3/4" pressure treated painted plywood
 - Skids interlocked 1/2 " with floor joists
 - 20 year ground contact pressure treated floor joists and skids
 - Ribbed mill finished roof - reflects 85% heat
 - Boxed frame door (45" or 61")
 - Full piano door hinge
 - All eaves and overhangs are boxed-in with aluminum soffit
 - Buildings are pre-wired in conduit with ceramic light
 - 30 year guarantee against aluminum rust and corrosion
 - Buildings are custom built to customer's needs
 - Robin Builder's has been manufacturing buildings for 35 years
-

SHED ORDER FORM

SHED & TOPPER COUNTRY, INC.

1221 So. Federal Highway
 Stuart, Florida 34994
 Tel. (407) 223-9505
 Fax (407) 223-1669

Date:	9/19/96
Invoice Number:	
Sold By:	Alm
Proposed Delivery Date:	

BILL TO: BOB WATSON
 Address: 9 EMARITA WAY
STUART, FL

SHIP TO: _____
 Address: _____

Phone: (W) 288-1880
 (H) 288-7348

Directions: _____

STOCK NO.	COLOR	DESCRIPTION	QTY	PRICE/UNIT	TOTAL AMOUNT
	COL/POLAR	8x14 SUB LAP 2 windows 1 light 1 outlet 1 48" door	1	1330 ⁰⁰	1330 ⁰⁰
		Anchor Kit	4	\$10.00	\$40.00

PAYMENT:

Cash: _____
 Check No.: _____
 Credit Card: _____
 Account No.: _____
 Exp. Date: _____
 Financing: _____

Subtotal:	1330 ⁰⁰
6% Sales Tax:	43.10
Total:	1423.10
20% Deposit:	
Balance Due:	

w/ RAMP 1487.30

PLEASE READ BEFORE SIGNING

- Price of building includes normal delivery.
- Customer assures Shed & Topper Country, Inc. there is adequate access to site where shed is to be placed and accepts additional charges that may be necessary for removal of fences, trees, old sheds, etc.
- If crane is required for delivery, additional charge is to be paid by the customer.
- Local building codes require a permit for the installation of a storage shed. All permits are the responsibility of the customer.
- Orders cancelled are subject to deposit forfeiture.
- Shed & Topper Country, Inc. is not responsible for damage to underground utilities.

X _____
 ACCEPTED BY CUSTOMER

TO: ROBIN BUILDERS, INC.
FROM: SHED & TOPPER COUNTRY, INC.

CUSTOMER NAME: _____

DATE ORDERED: _____

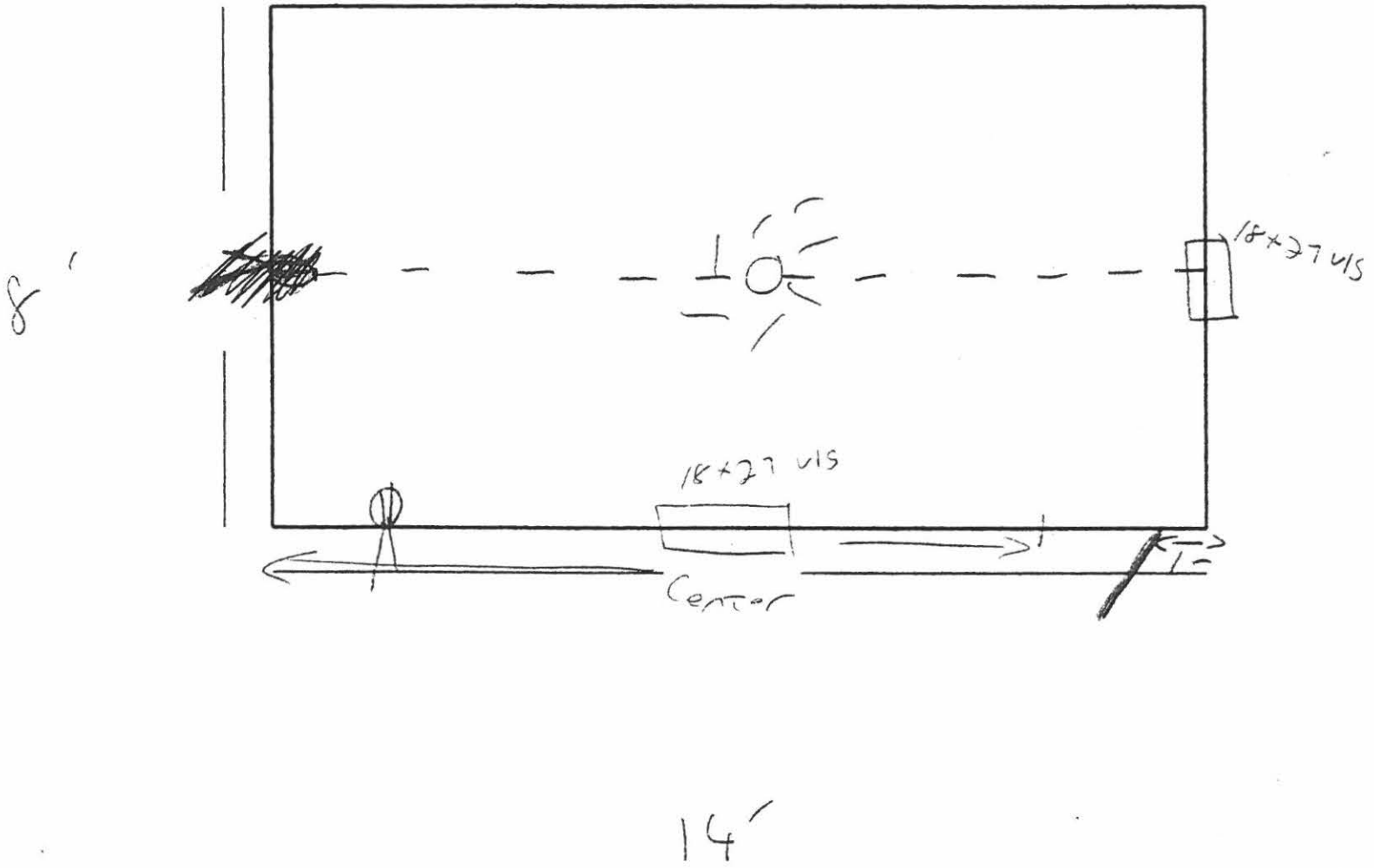
DATE REQUESTED: _____

SIZE: 8x14 STYLE: Suburban Lap COLOR: Clonial 1 Polar

DOOR: R 45 WT SPECIAL: _____
 L 61 TUBE
 BOND

WINDOWS: _____ WIRE: _____

SPECIAL INSTRUCTIONS: _____

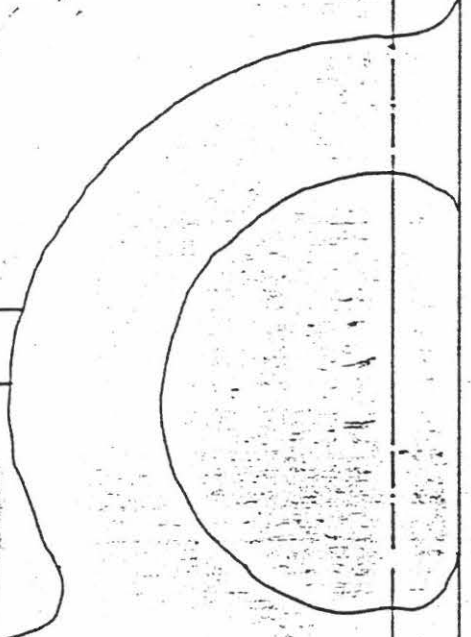
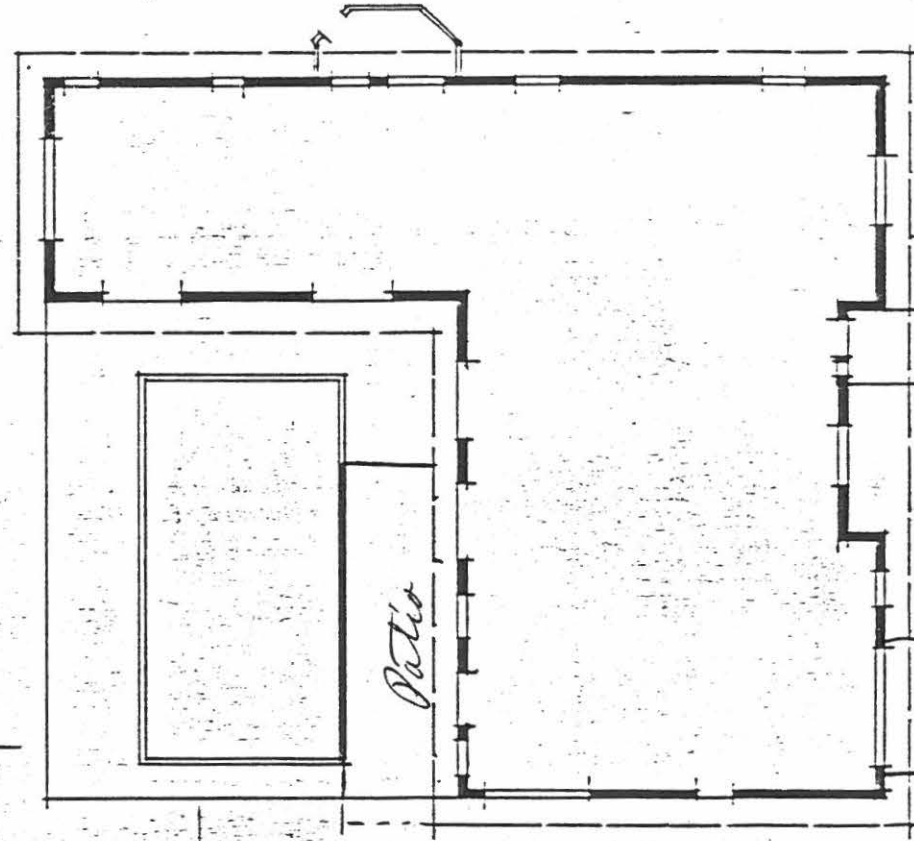




1010

1017

15'



A hand-drawn symbol or signature consisting of a circle with a vertical line through it and a horizontal line at the bottom.

5588

RE-ROOF

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 11/6/01

BUILDING PERMIT NO. 5588

Building to be erected for ANN GOODE

Type of Permit RE-ROOF

Applied for by Jimi Roofing

(Contractor) Building Fee _____

Subdivision EMARITA Lot 22 Block 3

Radon Fee _____

Address 9 EMARITA WAY

Impact Fee _____

Type of structure S.I.P.R.

A/C Fee _____

Parcel Control Number:

Electrical Fee _____

1384100500000 72010000

Plumbing Fee _____

Amount Paid 120.00 Check # 9598 Cash _____

Roofing Fee 120.00

Other Fees (_____) _____

Total Construction Cost \$ 12,250

TOTAL Fees 120.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector
OFFICIAL

RE-ROOFING PERMIT

INSPECTIONS

DRY IN
PROGRESS

DATE _____
DATE _____

PROGRESS
FINAL

DATE _____
DATE 11/21/01

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS – 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Monier Lifetile LLC
135 NW 20 St.
Boca Raton FL 33431

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

Villa & Roll Capri Low Profile Tile

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 99-1012.02 (Revises No.: 97-1124.16)

Expires: 12/16/2002

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

FILE
APPROVED FOR CODE COMPLIANCE
11/6/01

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

Approved: 12/30/1999

1 of 9

COPY

This instrument prepared by Ann M. Goade, Esquire Stuart, Florida

QUIT-CLAIM DEED / Property Appraisers Parcel Identification (Folio) Number(s): 138410050000022010000
SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS QUIT-CLAIM DEED, Executed this 16th day of March, 2001, by ROBERT J. WATSON, a single man, first party, whose address is: 3601 SE Ocean Boulevard, #4, Stuart, Florida, 34996 to second party: ANN M. GOADE a single woman, whose address is 9 Emarita Way, Stuart, Florida 34996.

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires).

WITNESSETH That the said first party, for and in consideration of the sum of TEN DOLLARS (\$10.00) in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Martin, State of Florida, to wit:

Legal Description: Lot 22, Bk 3, Pg 86, of the Public Records of Martin County, Florida.
Physical Address: 9 Emarita Way, Stuart, Martin County, Florida.

THIS DEED WAS PREPARED WITHOUT BENEFIT OF A TITLE EXAMINATION

THIS DEED IS GIVEN IN COMPLIANCE WITH A FINAL JUDGMENT OF DISSOLUTION OF MARRIAGE BETWEEN THE PARTIES

IN WITNESS WHEREOF, The said first party has signed and sealed these presents the day and year first above written.
Signed, sealed and delivered in the presence of:

Karen E. Wynne
Witness Signature (as to Grantor)

Karen E. Wynne
Printed Name

Janice M. Thomas
Witness Signature (as to Grantor)

JANICE M. THOMAS
Printed Name

Robert J. Watson LS
Grantor Signature

ROBERT J. WATSON
Printed Name
3601 SE Ocean Blvd #4
Address
Stuart, FL 34996

STATE OF: FLORIDA

COUNTY OF MARTIN

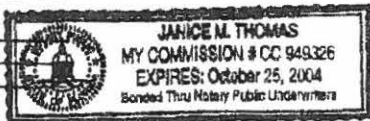
I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared ROBERT J. WATSON, known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that he executed the same, that I relied upon the following form of identification of the above-named person: _____ and that an oath (was) (was not) taken.

Witness my hand and official seal in the County and State last aforesaid this 16th day of March, 2001.

Janice M. Thomas
Notary Public, State of Florida

Printed Name: _____
My Commission Expires: _____
My Commission No.: _____

(NOTARY SEAL)



Town of Sewall's Point

BUILDING PERMIT APPLICATION

Owner or Titleholder Name: Ann Good Building Permit Number:
City: Stuart State: FL Zip: 34994
Legal Description of Property: Lot 22 blk 3 Pg 86 Parcel Number: 138410050000022010000
Location of Job Site: 9 Emerald Way Type of Work To Be Done: Reroof tile to tile

CONTRACTOR/Company Name: Jim's Roofing Phone Number: 287-1874
Street: 1004 NW 16th Pl City: Stuart State: FL Zip: 34994
State Registration Number: State Certification Number: CEC 04/295 Martin County License Number:

ARCHITECT: Phone Number:
Street: City: State: Zip:

ENGINEER: Phone Number:
Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: ScreenedPorch:
Carport: Total Under Roof Wood Deck: Accessory Building:
Type Sewage: Septic Tank Permit Number From Health Dept. Well Permit Number:

FLOOD HAZARD INFORMATION Flood Zone: Minimum Base Flood Elevation (BFE): NGVD
Proposed First Floor Habitable Floor Finished Elevation: NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: 12,250.00 Estimated Fair Market Value (FMV) Prior
To Improvements: If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES NO

SUBCONTRACTOR INFORMATION

Electrical: State: License Number:
Mechanical: State: License Number:
Plumbing: State: License Number:
Roofing: State: License Number:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS,
HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE
REMOVAL AND RELOCATIONS.

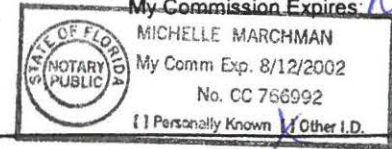
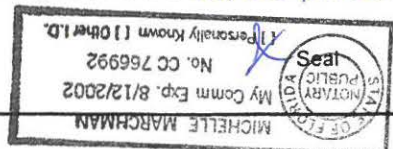
CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) South Florida Building Code (Structural, Mechanical, Plumbing, Gas)
National Electrical Code Florida Energy Code
Florida Accessibility Code

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY
KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required) Ann M. Good CONTRACTOR SIGNATURE (Required) Jim's Roofing
State of Florida, County of: Martin On State of Florida, County of: Martin
This the 6th day of November, 2001 This the 10th day of November 2001
by Ann M. Good who is personally by FC DL who is personally
known to me or produced known to me or produced 152445530970
as identification: Michelle Marchman As identification:

My Commission Expires: 8/12/2002 My Commission Expires: Michelle Marchman
Notary Public Notary Public



Seal



FLORIDA ROOFING, SHEET METAL & AIR CONDITIONING CONTRACTORS ASSOCIATION, INC.

SELF INSURERS FUND

P.O. BOX 4907 • WINTER PARK, FL 32793 • (407) 671-FRSA
1-800-767-3772 • FAX (407) 671-2520

CERTIFICATE OF INSURANCE

ISSUED TO:

COPY PROVIDED TO:

Town of Sewalls Point
1 Sewalls Pt. Road
Stuart FL 34996

James P. Conkling, Inc.
dba Jim's Roofing
1004 N.W. 16th Place
Stuart FL 34994

Date: 03/21/2001

This is to certify that James P. Conkling, Inc. dba Jim's Roofing
1004 N.W. 16th Place
Stuart FL 34994

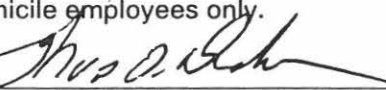
being subject to the provisions of the Florida Workers' Compensation Act, has secured the payment of compensation by insuring their risk with the FLORIDA ROOFING, SHEET METAL & AIR CONDITIONING CONTRACTORS ASSOCIATION SELF INSURERS FUND.

COVERAGE NUMBER:	<u>870-032935</u>	<u>LIMITS</u>	
EFFECTIVE DATE:	<u>03/20/2001</u>	Workers' Compensation	Statutory - State of Florida
EXPIRATION DATE:	<u>01/01/2002</u>	Employers' Liability	\$100,000 - Each Accident \$100,000 - Disease, Each Employee \$500,000 - Disease, Policy Limit

REMARKS: Non-cancelable without 30 days prior written notice.

Employers Liability Limits amended as follows:
\$500,000/\$500,000/\$500,000

This certificate is not a policy and of itself does not afford any insurance. Nothing contained in this certificate shall be constructed as extending coverage not afforded by the policy(ies) shown above or as affording insurance to any insured not named above. This provides coverage for Florida policyholders and Florida domicile employees only.

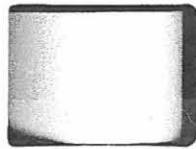
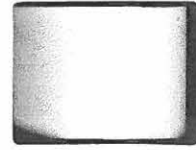
By: 

Tom Drake, Administrator
FRSA-SIF

By: 

Debbie Kemmerer - SIF Accounts Representative
FRSA-SIF

STATE OF FLORIDA AC# 5886543
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CC -C041295 06/19/2000 99902266
CERTIFIED ROOFING CONTRACTOR
CONKLING, JAMES PATRICK
JIM'S ROOFING
IS CERTIFIED under the provisions of Ch. 489 FS
Expiration Date: AUG 31, 2002



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri NOV 9, 2001; Page 1 of .








PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5302	NOHEJL	TEMP. POWER	FAILED	
3	6 RIDGE VIEW DR. RAYMOND CONST.			INSPECTOR: <u> </u>
5254	WIGKAM	PLUMBING	PASSED	
1	101 N. SEWALLS PT RD. BU FORD	FRAMING	PASSED	INSPECTOR: <u> </u>
5352	CLEMENTS	STRAP + ANCHOR	RE-SCHEDULED	
4	11 W. HIGHPOINT MOLTER		CANCELLED	INSPECTOR: <u> </u>
5588	GOODE	SHEATHING	PASSED	MUST REPLACE CORNER RAFTER
2	9 EMARITA WAY JIM'S ROOFING	TIN TAG		INSPECTOR: <u> </u>
5213	ENRIQUEZ	DRIVE.	PASSED	
3	1 KINGSTON CT. DRIFTWOOD BLDG'S	TEMP. FUEL	PASSED	INSPECTOR: <u> </u>
5515	WALKER	SLAB	PASSED	
	6 CRANE'S NEST. IANIERO.			INSPECTOR: <u> </u>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <u> </u>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri November 21, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5549	Thorne 208 Periwinkle Lane Jupiter Alum.	Shutter Final	Passed	late layout on hand
(7)				INSPECTOR: 
5588	GOODY. 9 EMIRATA WY. JMS ROOFING	FURN ROOF	Passed	
(1)				INSPECTOR: 
5569	WEBER 4 MANDALAY AL-PHASE	TEMP. POLE	Passed	called FPL 6/45
(8)				INSPECTOR: 
5584	BATTS. 2 COPAIRE. PACIFIC	SHEATHING + TIN TAG	Passed	
(2)				INSPECTOR: 
5483	VITALE 13 KNOWLES PACIFIC	TIN TAG + Net.	Passed	Cricket installed!
(6)				INSPECTOR: 
5586	LARSEN 11 LANTANA LANE GRAND ENTRY	DRIVEWAY - FINAL	Passed	
(2)				INSPECTOR: 
5123	Piceu 85 S. River Rd. Seagate	Insulation	Passed	
(4)				INSPECTOR: 

OTHER: _____

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK

BY M. Marchman D.C.
DATE 11/16/01



TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____ TAX FOLIO # 1384100500002201000

NOTICE OF COMMENCEMENT

STATE OF FL COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

lot 22 Bl 3 9 Emanta way Stuart FL

GENERAL DESCRIPTION OF IMPROVEMENT: _____

OWNER: Ann Hoode

ADDRESS: 9 Emanta Way Stuart FL

PHONE #: _____ FAX #: _____

CONTRACTOR: Jain's Roofing

ADDRESS: 1104 NW 16th Pl Stuart FL

PHONE #: 561-287-1874 FAX #: _____

SURETY COMPANY (IF ANY) _____

ADDRESS: _____

PHONE # _____ FAX #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Ann Hoode
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 16th DAY OF November 2001 BY _____

PERSONALLY KNOWN
OR
PRODUCED ID _____
TYPE OF ID _____

Michelle Marchman
NOTARY SIGNATURE

