

32 Fieldway Drive

331

SFR

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 331

Date 12-17-72

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner MRS. JOSH M. SULLIVAN Present Address _____ Ph _____

General Contractor SYLVESTER CONST. INC. Address BOX 963 STUART Ph 283-2200

Where licensed STUART License No. _____

Plumbing Contractor LINDSEY License No. _____

Electrical Contractor ALDINE ELECT. License No. _____

Street building will front on FIELDWAY DR.

Subdivision INDIALUCIA Lot No. 9 Area _____

Building area, inside walls (excluding garage, carport, porches) Sq ft 2280 #

Other Construction (Pools, additions, etc.) _____

Contract Price (excluding land, rugs, appliances, landscaping) \$ 46,000 ⁰⁰

Total cost of permit \$ 250.00

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

[Signature]
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

[Signature]
Signed by Owner

Note: Speculative Builders will be required to sign both statements.

TOWN RECORD

Date submitted 5/17/72

Date approved 5/19/72

Certificate of Occupancy issued _____ Date

842

POOL



TOWN OF
SEWALL'S POINT
FLORIDA

Permit No. 842
Date 6-8-78

APPLICATION FOR BUILDING PERMIT

This application must be accompanied by three sets of complete plans, to scale (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections, plumbing and electrical layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house construction.

-Owner A.H. Johnson Present address 32 Fieldway Drive

Phone 283 7029

-General contractor Louder Pooks address 4306 S. US one

Phone 465 2700

Where licensed _____ License No. CPCO 10400

-Plumbing contractor _____ License No. _____

-Electrical contractor _____ License No. _____

-Street the building will front on _____

Subdivision _____ Lot No. 9 Area Block 1

Plat Book 4 Page 77

-Building area, inside walls (excluding garage, carport, porches, etc.)..square feet _____

-Other construction (pools, additions, etc.) 520 Square FT

-Contract price (excluding land, carpeting, appliances, landscaping, etc) \$ 6055.00

-Total cost of permit \$ 35.00

-Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building must be completed in accordance with the approved plan, and that the site will be clean and rough-graded within the 12-month period.

[Signature]
General Contractor

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood.

Owner

Note: speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted _____

Approved: [Signature] Building Inspector Date 6/9/78

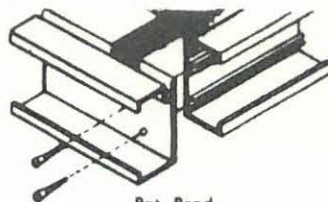
Approved: [Signature] Commissioner Date 9 June 1978

Certificate of Occupancy issued 8/17/78 [Signature] #842 Date _____



CLIMATROL FLORIDA CORPORATION

529 S. Industry Road
COCOA, FLORIDA, 32922
Phone 632-0264
Melbourne 727-2600 ✓
Orlando 422-2646



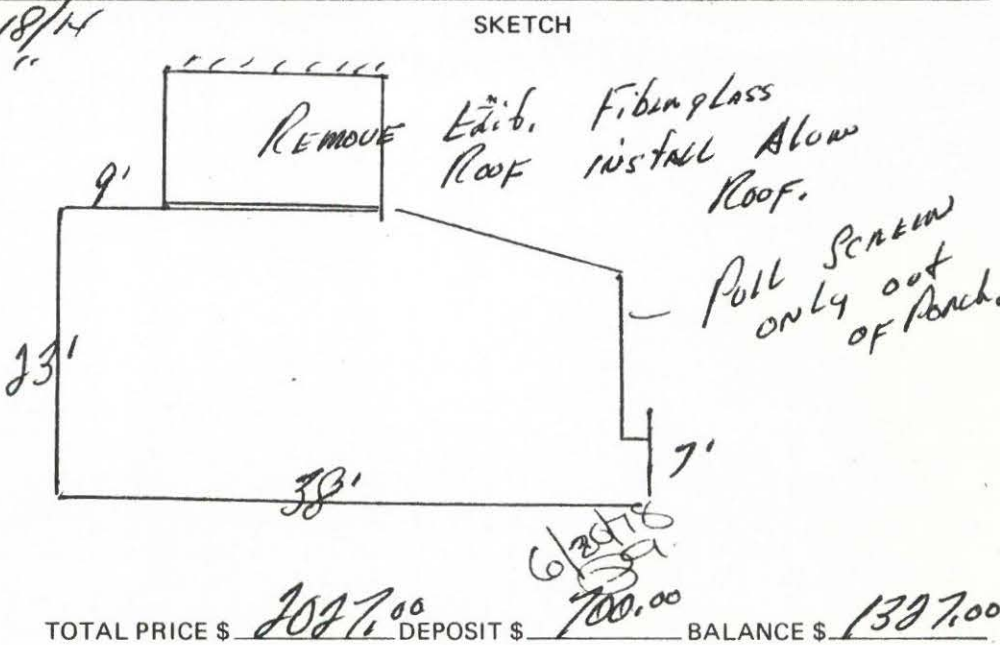
Pat. Pend.
Originators and Manufacturers of
Extruded Aluminum Patio, Pool
and Screen House Enclosures.

Louden Bldg. Permit # 842

Job No. _____

SOLD TO Art Johnson PHONE 283-7029 DATE 6/13 1978
ADDRESS 32 Fieldway dr. CITY Indialucia
INSTALLATION ADDRESS _____ CITY Swalls Pt.
TERMS & FINANCE Payment on Completion DELIVERY DATE _____

- SCREEN WALLS COLOR: Chan. 18/14
- SCREEN ROOF COLOR: " "
- FLAT GABLE BUBBLE
- DIVING DOME -
- BEAMS 603
- ALUM. ROOF 9'x13'
- VINYL STRIPS
- CHAIR RAIL 16" 24" (36)
- FLA. GLASS -
- KICK PLATE - SIZE
- DOORS - NONE
- GUTTERS YES 56' 20.S.
- COLUMNS -
- WINDOWS - TYPE
- CABLEBRACES YES
- ENGINEER DRAWINGS -
- PERMIT YES.
- LOT _____ BLOCK _____



THIS PRICE IS BASED ON DIMENSIONS SHOWN IN THE ABOVE SKETCH

MATERIAL & WORKMANSHIP GUARANTEED FOR 1 YEAR

1. For the total price including tax the seller agrees to fabricate, deliver and install the screen enclosure described above.
2. This proposal does not become a contract until accepted and signed by an officer of the seller-company, and if not accepted, any cash payment will be returned.
3. Price terms and other elements of this proposal are good for 90 days from date _____ and void thereafter at the seller's option.
4. No statement, warranty, implied or expressed, representation or agreement, written or verbal, not appearing upon the face of this contract shall be binding upon the parties hereto.
5. Seller expressly reserves all contractors, mechanics and material man's lien which may be asserted under any provision of law to secure payment of the contract price and may assert and fix the same as lien upon the real property on which installation is made.
6. In the event payment on this contract is enforced through attorneys or by suit or in bankruptcy or probate proceedings, seller may recover and purchaser hereby agrees to pay reasonable attorney fees and costs of court.
7. All sums not paid as due shall bear interest at 8% per annum and unless otherwise stated all sums become due and payable upon completion of work.
8. Seller agrees to take all reasonable steps to insure the fulfillment of orders received, but our performance is subject to delays or cancellations caused by war, accident strikes, inability to secure labor and raw materials, fires, embargoes, transportation shortages and delays, government conscription, priorities, and restraint, failure on your part to give notice of your requirements and/or proper measurements and other information and all other causes whether of the same or different class affecting the whole or any part of seller's obligation hereunder.
9. Contractor or owner agrees to supply electrical power at job site.
10. Climatrol Florida Corporation will retain title until full payment of obligation of indebtedness is met.

I/WE have read the foregoing proposed contract and accept the same on the terms and conditions stated above.

PURCHASER Art Johnson CLIMATROL FLORIDA CORPORATION
DATE JUNE 16, 1978 By Bob Mike

(Send this one)

RECEIVED
JUL 7 1978

#852

852

SCREEN

ENCLOSURE

TOWN OF
SEWALL'S POINT
FLORIDA

Permit No. 852
Date 7/18/78

APPROVED
JUL 7 1978

APPLICATION FOR BUILDING PERMIT

This application must be accompanied by three sets of complete plans, to scale (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections, plumbing and electrical layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house construction.

-Owner Johnson Present address 32 FIELDWAY DR.
Phone 283-7029

-General contractor CLIMAX FLA. CORP. address 529 S. INDUSTRIAL RD
Phone 1727-2600 COCOA FLA.

Where licensed STATE License No. CRC-001786

-Plumbing contractor _____ License No. _____

-Electrical contractor _____ License No. _____

-Street the building will front on 32 FIELDWAY DRIVE

Subdivision INDIALUCIE Lot No. 9 Area Block 1

-Building area, inside walls (excluding garage, carport, porches, etc.)..square feet PLAT BK 4 - P. 77

-Other construction (pools, additions, etc.) Pool Screened Enclosures

-Contract price (excluding land, carpeting, appliances, landscaping, etc) \$ 2027.00

-Total cost of permit \$ 15.00

-Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building must be completed in accordance with the approved plan, and that the site will be clean and rough-graded within the 12 month period.

Agent [Signature]
General Contractor

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood.

Owner

Note: speculation builders will be required to sign both of the above statements.

TOWN RECORD Date submitted _____

Approved: [Signature] Building Inspector Date 7/12/78

Approved: [Signature] Commissioner Date 7/13/78

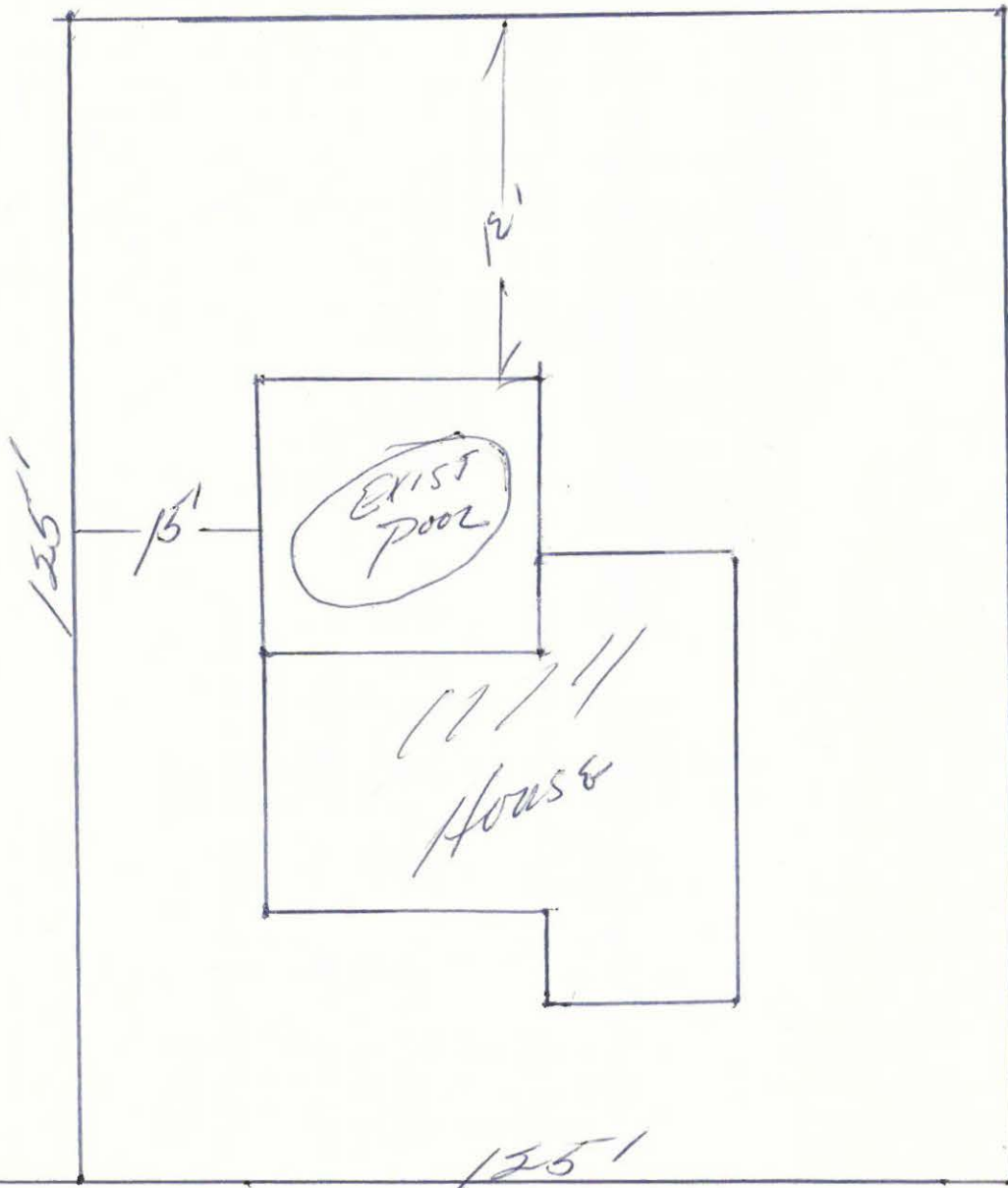
Certificate of Occupancy issued Completed 8/19/78 Date _____

#852

#852

JOHNSON - 32 FIELDWAY DRIVE

Approval of these plans in NO WAY
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances and the South
Florida Building Code.

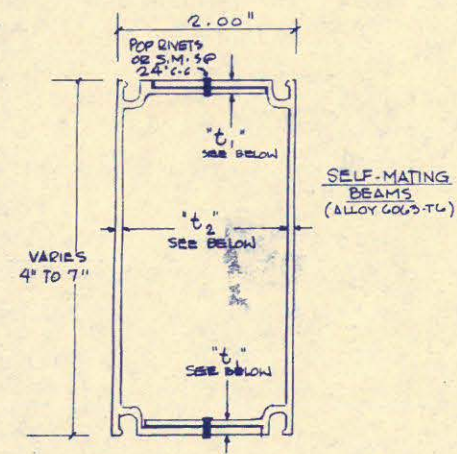
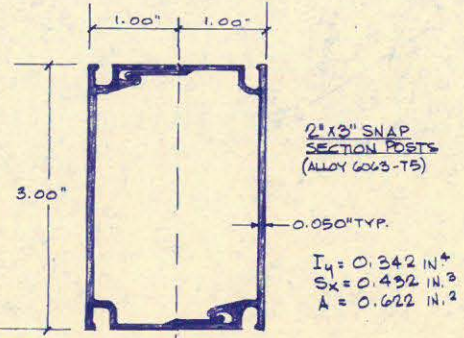
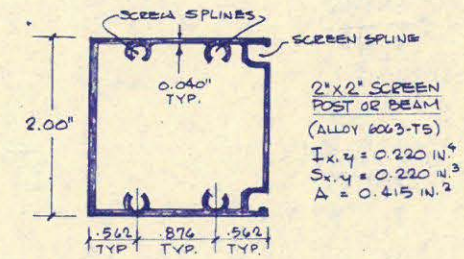
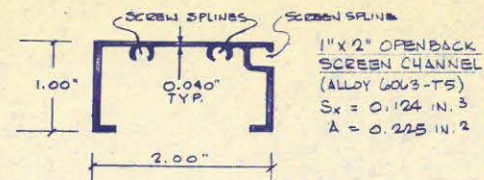


FIELDWAY DRIVE

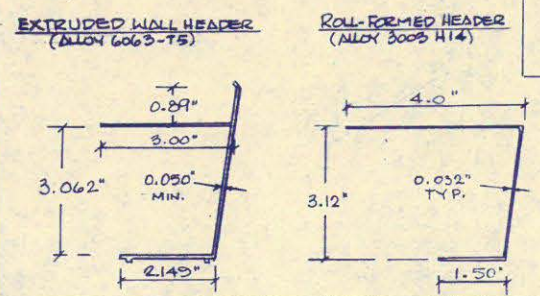
APPROVED
JUL 7 1978
TOWNSHIP

JOB COPY #852 JOHNSON SCREEN ENCL

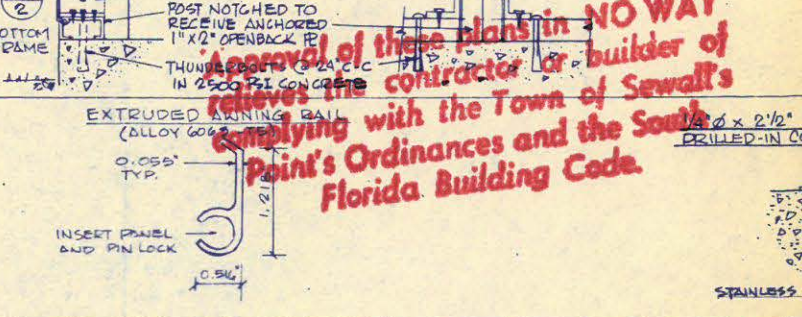
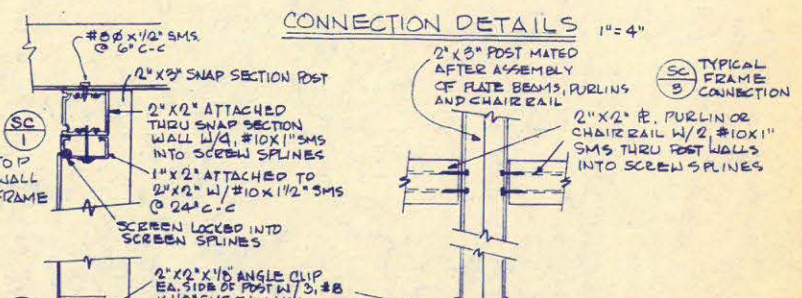
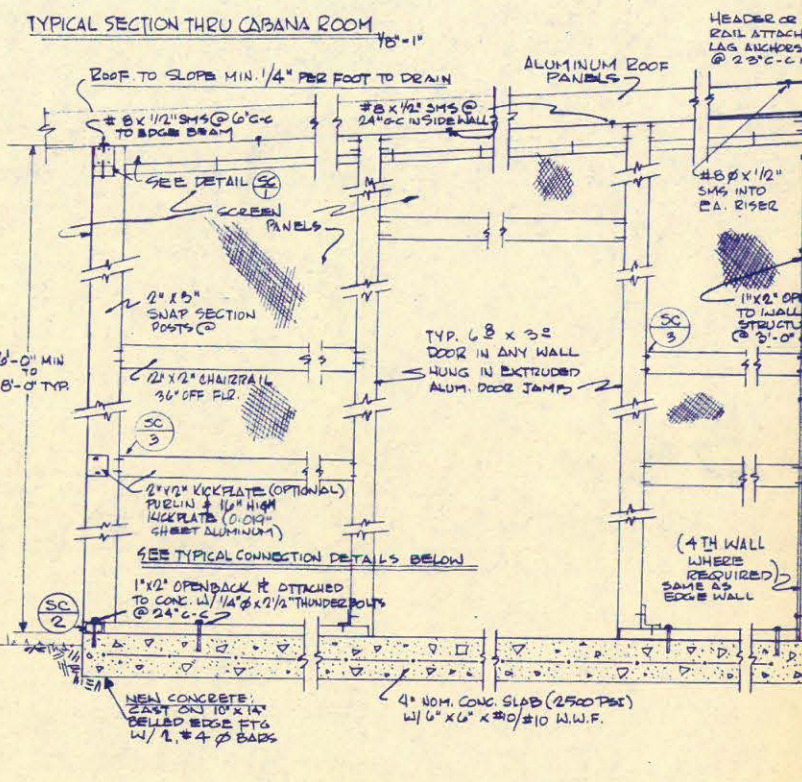
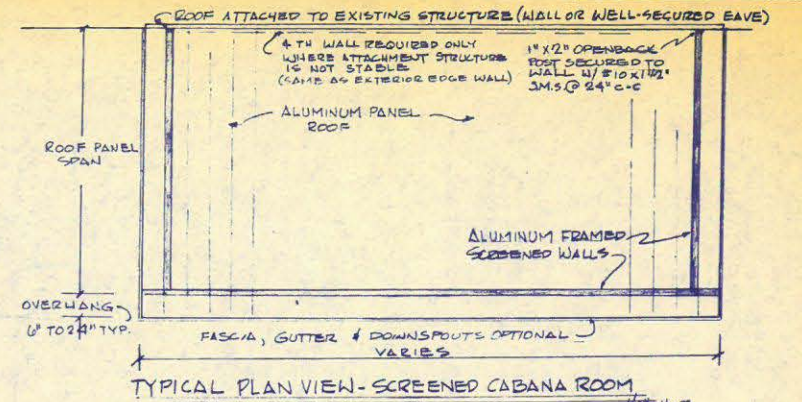
EXTRUDED POST AND BEAM SECTIONS



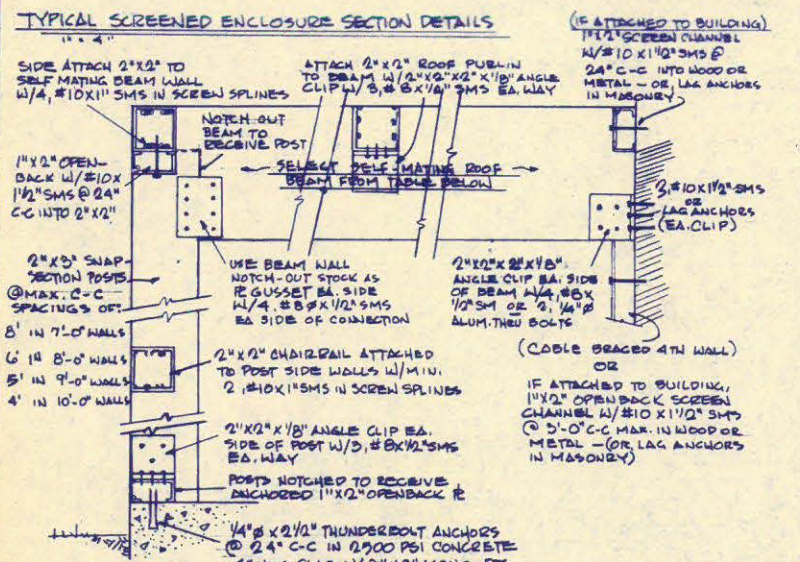
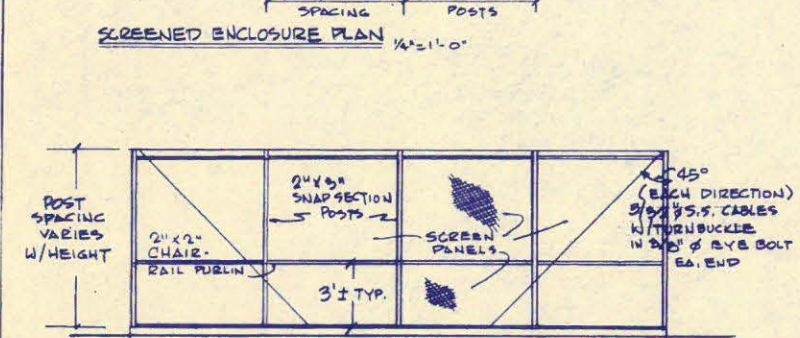
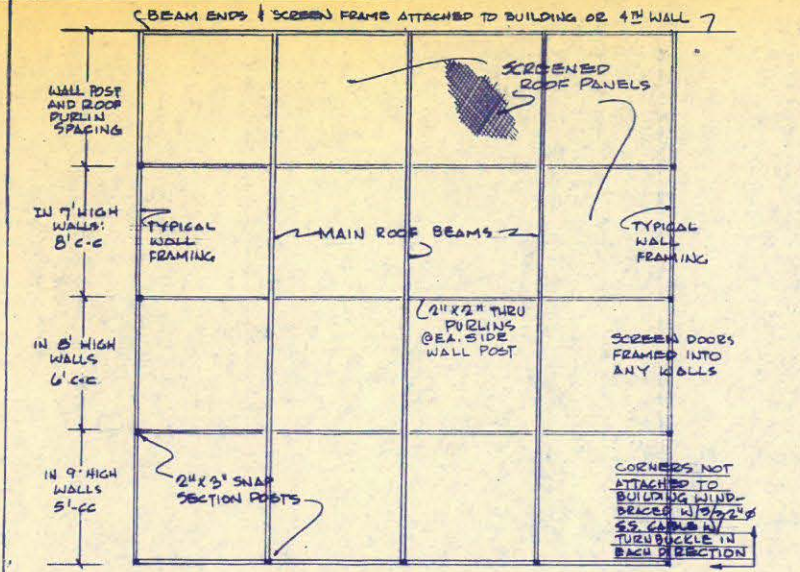
DEPTH	b ₁	b ₂	S _x	I _y
4"	0.115"	0.045"	1.08 in.³	0.48 in.⁴
6"	0.109"	0.055"	1.86 in.³	0.75 in.⁴
7"	0.225"	0.055"	3.69 in.³	0.98 in.⁴



SCREENED CABANA ROOM DETAILS

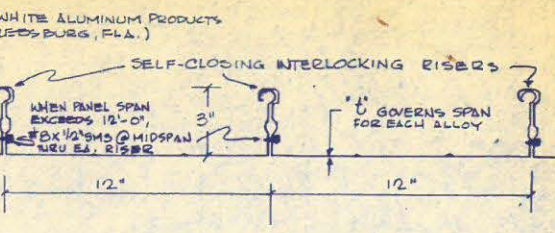


SCREEN ENCLOSURE DETAILS



BEAM SIZE	MAXIMUM CLEAR SPANS FOR BEAMS SPACED AS SHOWN, CENTER TO CENTER					
	4'-0" C-C	5'-0" C-C	6'-0" C-C	7'-0" C-C	8'-0" C-C	9'-0" C-C
2" x 4" SELF-MATING	25'-0"	22'-6"	21'-6"	20'-0"	19'-0"	18'-6"
2" x 6" SELF-MATING	32'-10"	29'-6"	28'-3"	26'-0"	25'-0"	24'-4"
2" x 7" SELF-MATING	46'-0"	41'-0"	39'-10"	36'-10"	35'-4"	34'-0"

ALUMINUM ROOF PANEL SYSTEM (ALLOY 3003-H14 OR 3003-H16)



ALLOY	"c" = 0.092"	"c" = 0.026"
3003 H14	14'-0"	12'-0"
3003 H16	14'-9"	12'-7"

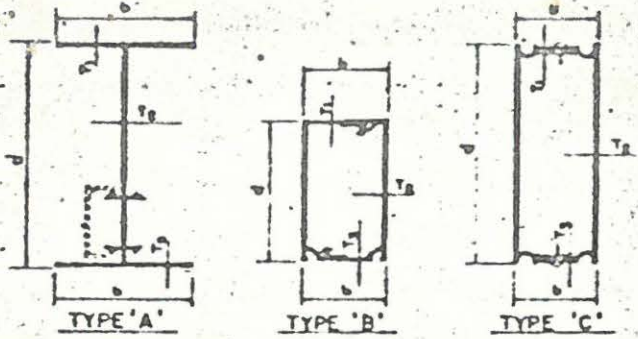
(* EXCEPT WHERE FURTHER LIMITED BY LOCAL ORDINANCE.) SAFE LOAD-CARRYING PROPERTIES AND SPANS FOR THESE ROOF PANELS HAVE BEEN VERIFIED BY LOAD TESTS ON ROOF ASSEMBLIES CONDUCTED UNDER THE SUPERVISION OF THE UNDERSIGNED ENGINEER. DEFLECTION IS LIMITED TO L/80 OR LESS AT 20 PSF LL IN ALL CASES. SHEET METAL SCREWS (SMS) SHALL BE STAINLESS OR CADMIUM PLATED STEEL. ALUMINUM BOLTS SHALL BE ALLOY 2024-T4.

ENGINEERING NOTE: STRUCTURES DETAILED IN THESE PLANS WERE DESIGNED IN ACCORDANCE WITH SOUTHERN STANDARD BUILDING CODE 1974 AMENDMENTS. DESIGN LOADS CONSIDERED: DL + 20 PSF LL 120 MPH WIND VELOCITY PRESSURES. WHERE LOCAL ORDINANCES IMPOSE FURTHER LIMITATIONS OF SPANS OR PROTECTIONS, SUCH ORDINANCES SHOULD BE ADHERED TO IN APPLICATION OF THE DESIGN.

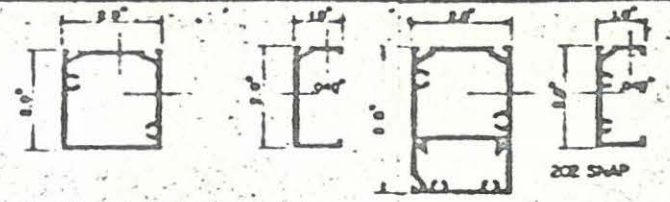
CHARLES R. CLINE, P.E.
FLORIDA REG. NO. 12255

Approval of these plans in NO WAY relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances and the South Florida Building Code.

HARLAN ENGINEERING LABORATORIES, INC. P.O. BOX 5050 LAKELAND, FLORIDA 32805
MASTER PLAN FOR SCREENED CABANA ROOMS & ENCLOSURES FOR CLIMATROL, INC. 529 SOUTH INDUSTRY ROAD COCOA, FLORIDA 32922
JOB NO. E-736-LTG DATE: 7/17/76



BEAMS AND COLUMNS



MISCELLANEOUS COMPONENTS

BEAM AND COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX. BEAM SPAN SPACED E-E			REMARKS
		b	d	b'	T ₁	T ₂	T ₃	6'-0"	7'-0"	8'-0"	
603	A	300	600	300	.094	.060	.094	16'-0"	24'-0"	22'-0"	W/2-1X2'S SNAPPED ON
703	A	300	700	300	.125	.066	.125	22'-0"	24'-0"	28'-0"	DO
804	A	400	800	400	.125	.070	.125	22'-0"	24'-0"	33'-0"	DO
1004	A	400	1000	400	.140	.096	.140	43'-0"	45'-0"	45'-0"	DO
302	B	200	300		.050	.050	.050	12'-0"	11'-0"	10'-0"	
202	MSC	200	200		.040	.040	.040	8'-0"	8'-0"	7'-0"	
402	E	200	400		.04	.04	.04	13'-0"	12'-0"	11'-0"	#10X1/2" SMS AT 24" O-C
602	C	200	600		.04	.050	.04	24'-0"	24'-0"	28'-0"	DO
702	C	200	700		.04	.04	.04	23'-0"	21'-0"	24'-0"	DO

COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX. COLUMN HT. SPACED E-E			REMARKS
		b	d	b'	T ₁	T ₂	T ₃	6'-0"	7'-0"	8'-0"	
302	B	200	300		.050	.050	.050	9'-0"	9'-0"	8'-0"	
402	C	200	400		.060	.050	.120	18'-0"	11'-0"	12'-0"	

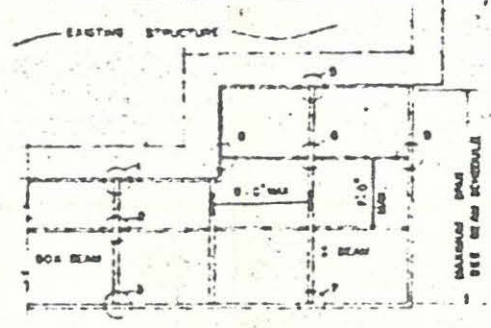
MISCELLANEOUS FASTENING SCHEDULE		
MEMBER	DESCRIPTION	FASTENER
202	STRUT TO R2 AT BEAM	20# X 3/4" SMS
202	STRUT TO EAVE SECTION	DO
202	CHAIR RAIL TO COLUMN	DO
1X2	PERIMETER MEM JOINED	DO
1X2	PERIMETER MEM TO COL	DO
1X2	PERIMETER MEM TO CONC	ANCHOR AT 24" O-C
1X2	PERIMETER MEM TO WOOD	#10X2 1/2" SMS 24" O-C

SCREEN WALL CABLE SCHEDULE			
SPAN	CABLES	SPAN	CABLES
6'-0"	1 SET (2 CABLES)	12'-0"	2 SETS (4 CABLES)
8'-0"	1 SET (2 CABLES)	14'-0"	2 SETS (4 CABLES)
10'-0"	1 SET (2 CABLES)	16'-0"	2 SETS (4 CABLES)
12'-0"	1 SET (2 CABLES)	18'-0"	2 SETS (4 CABLES)

ANCHORS TO CONCRETE & MASONRY SHALL BE 1/4" X 2 1/2" THREADED BOLTS, #10 X 2 1/2" SMS, IN JORDAN 1020 ANCHOR OR APPROVED EQUAL.

DESIGN CRITERIA		
WALLS	DESIGN WIND LOAD IN & OUT	10 PSF
	TEST LOAD WIND IN & OUT	15 PSF
ROOF	DESIGN LIVE LOAD DOWN	20 PSF
	DESIGN WIND LOAD UP	15 PSF
	TEST LOAD UP & DOWN	9 PSF
RECOVERY AT TEST LOAD		90% MIN

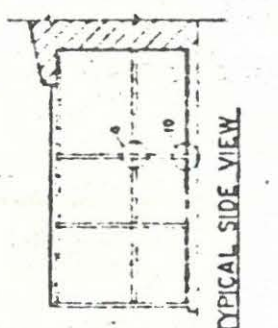
- NOTES:
- ROOF & SIDES SHALL BE COVERED WITH SCREEN CLOTH BEING 60% OR GREATER OPEN. THE ADDITION OF SOLID ROOFING OR SIDING IS NOT COVERED BY THIS SHEET.
 - THE EXISTING STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED SCREEN ENCLOSURE.
 - CABLES TO ALLOW ALLOY BEAMS WILL BEAR IDENTIFICATION 1 FT. FROM EACH END OF BEAM.
 - USE ADDITIONAL SETS OF CABLES WHERE BEAM SPANS EXCEED THOSE SHOWN IN CABLE SCHEDULE.
 - A TOLERANCE OF 0.002" IS ALLOWED WHERE WALL THICKNESS EXCEEDS .005".
 - WIND FASTENERS SHALL BE NON-MAGNETIC STAINLESS STEEL OR ALUM. EXCEPT CABLE FASTENERS MAY BE HOT-DIP GALV. STEEL.
 - MASONRY ANCHORS SHALL BE MADE OF NON-CORROSIVE METALIC CONCT OR OF VIRGIN PVC PLASTIC.



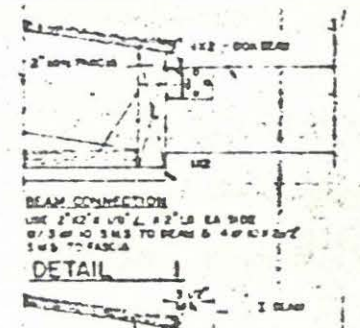
TYPICAL ROOF PLAN



TYPICAL ELEVATION



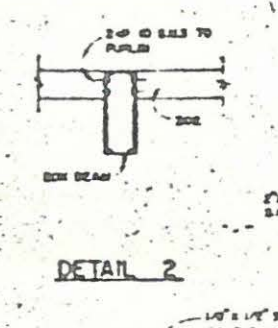
TYPICAL SIDE VIEW



DETAIL 1



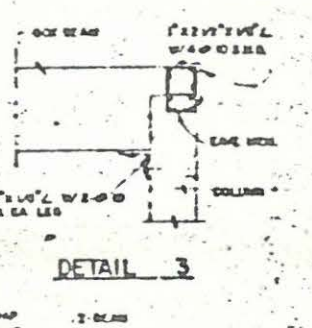
DETAIL 2



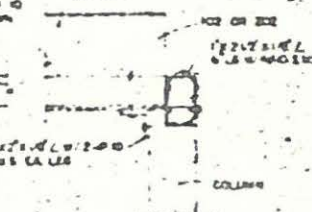
DETAIL 3



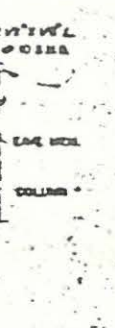
DETAIL 4



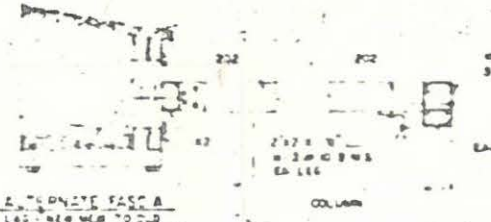
DETAIL 5



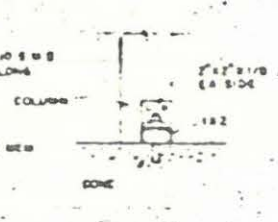
DETAIL 6



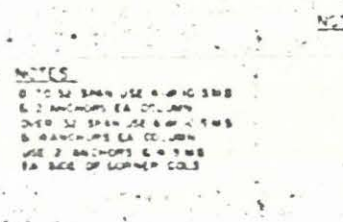
DETAIL 7



DETAIL 8



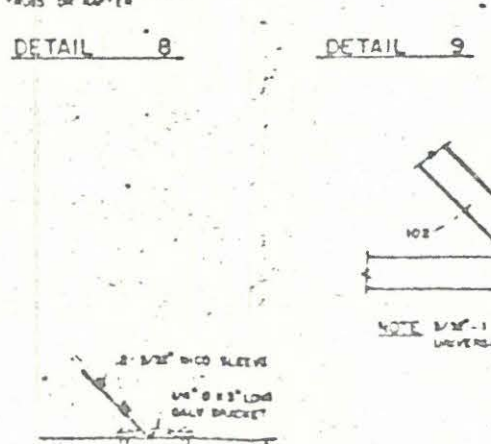
DETAIL 9



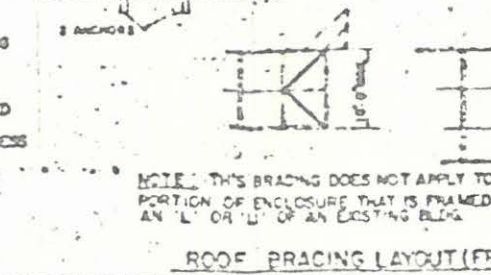
DETAIL 10



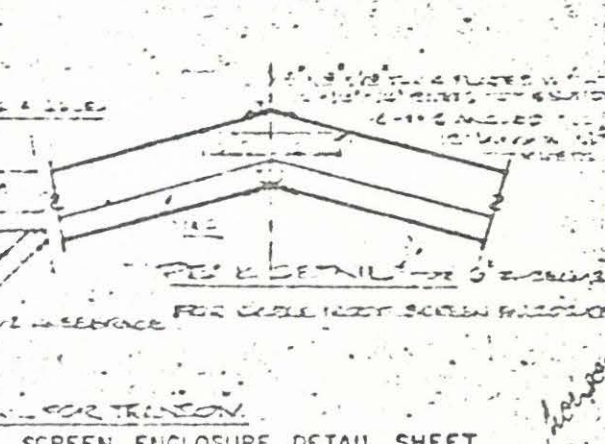
102 BRACING SCHEDULE



WIND BRACING DETAILS



ROOF BRACING LAYOUT (FREE STANDING & FASCIA ATTACHED ENCLOSURES)



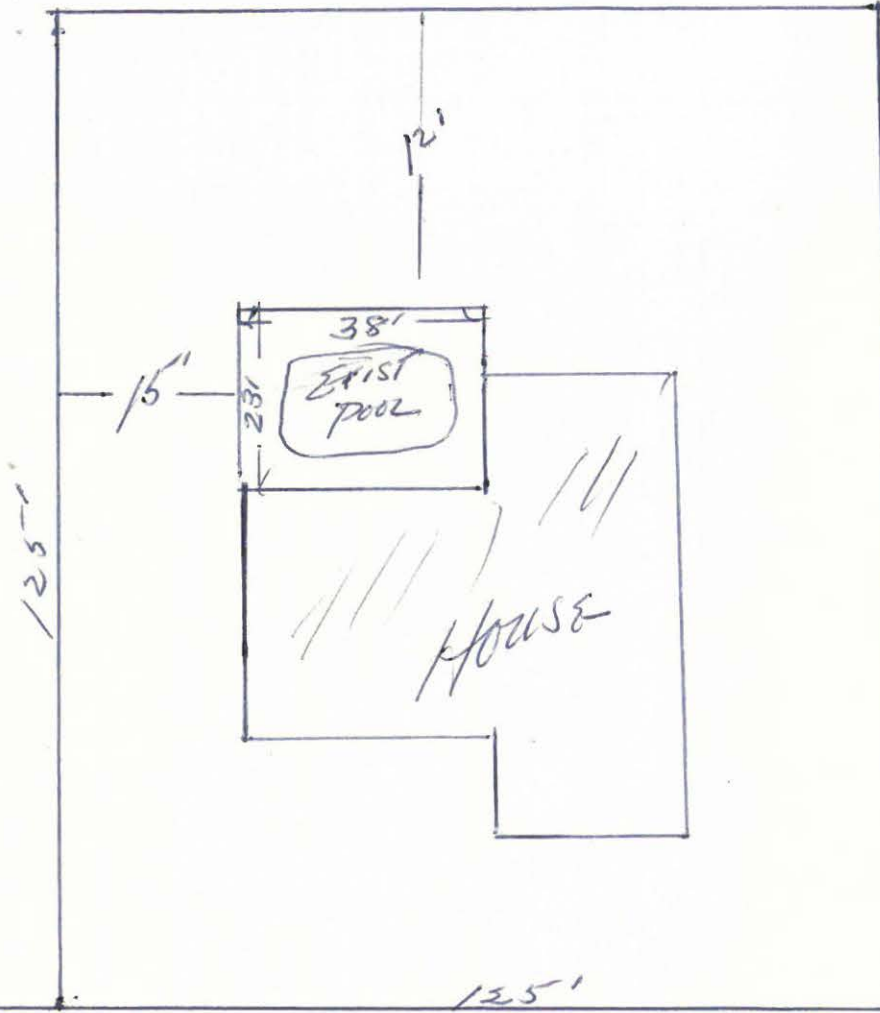
SCREEN ENCLOSURE DETAIL SHEET

CLIMATROL FLORIDA CORP
 509 SO. NOBILITY ROAD, CORAL GABLES, FLORIDA
 ENGINEER ROBERT S. WILSON JR.
 DATE: JAN 15, 1975
 REVISED: MAY 27, 1975

#852

Johnson - 32 Fieldway Drive

Approval of these plans in NO WAY
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances and the South
Florida Building Code.



FIELDWAY DRIVE

RECEIVED
JUL 7 1989

TOWN HALL COPY #852 JOHNSON SCREEN ENCL

county

#852

STATE OF FLORIDA Department of Professional And Occupational Regulation
CONSTRUCTION INDUSTRY LICENSING BOARD

DATE: **05/29/77** FILE NO. **CR C001786** BATCH NO. **300**

THE CERTIFIED RESIDENTIAL CONTRACTOR
NAMED BELOW IS CERTIFIED
UNDER THE PROVISIONS OF CHAPTER 468 FOR
THE YEAR EXPIRING JUNE 30, 1979

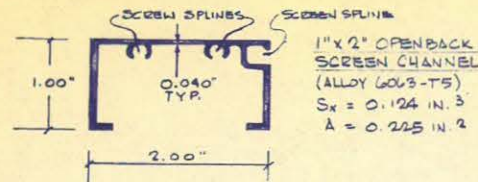
**FAPORE, SALVATORE
CLIMATROL FLORIDA CORP
529 S INDUSTRY ROAD
COCOA FL 32922**

Robert L. Carter
GOVERNOR

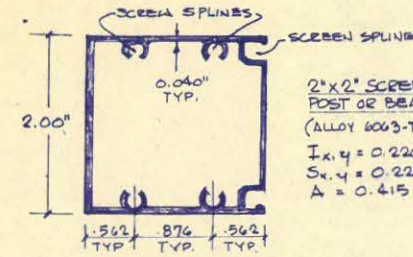
DISPLAY IN A CONSPICUOUS PLACE

Joseph W. Johnson
SECRETARY OF PROFESSIONAL AND
OCCUPATIONAL REGULATION

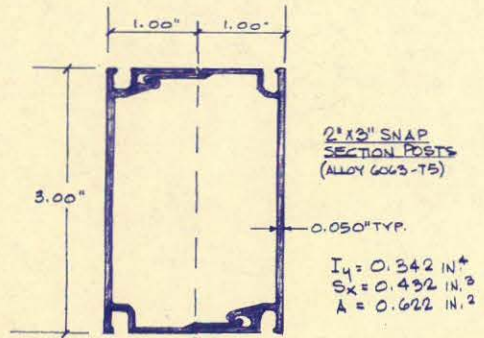
EXTRUDED POST AND BEAM SECTIONS



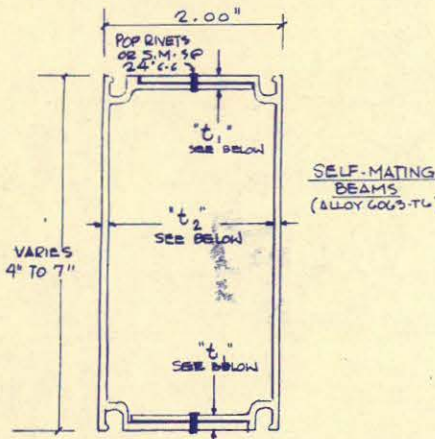
1" x 2" OPENBACK SCREEN CHANNEL (ALLOY 6063-T5)
 $S_x = 0.124 \text{ IN.}^3$
 $A = 0.225 \text{ IN.}^2$



2" x 2" SCREEN POST OR BEAM (ALLOY 6063-T5)
 $I_x = 0.220 \text{ IN.}^4$
 $S_x = 0.220 \text{ IN.}^3$
 $A = 0.415 \text{ IN.}^2$



2" x 2" SNAP SECTION POSTS (ALLOY 6063-T5)
 $I_x = 0.342 \text{ IN.}^4$
 $S_x = 0.432 \text{ IN.}^3$
 $A = 0.622 \text{ IN.}^2$

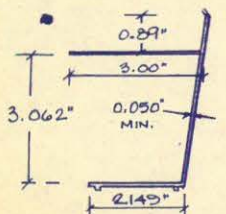


SELF-MATING BEAMS (ALLOY 6063-T6)

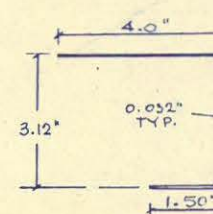
PROPERTIES OF SELF-MATING BEAMS

DEPTH	b ₁	b ₂	S _x	I _y
4"	0.115"	0.045"	1.08 IN. ³	0.48 IN. ⁴
6"	0.109"	0.055"	1.86 IN. ³	0.75 IN. ⁴
7"	0.225"	0.055"	3.69 IN. ³	0.98 IN. ⁴

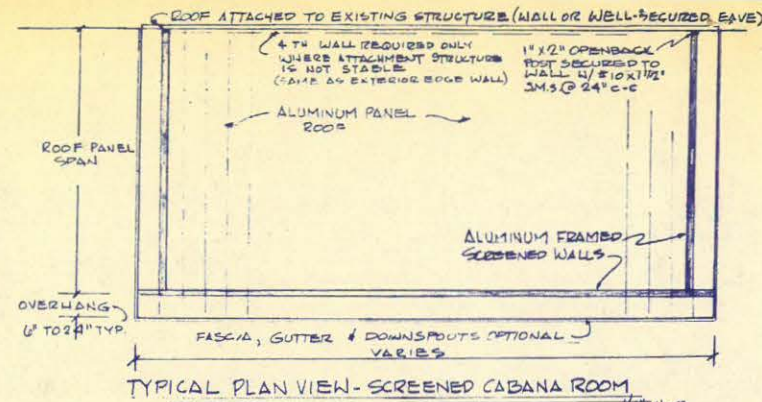
EXTRUDED WALL HEADER (ALLOY 6063-T5)



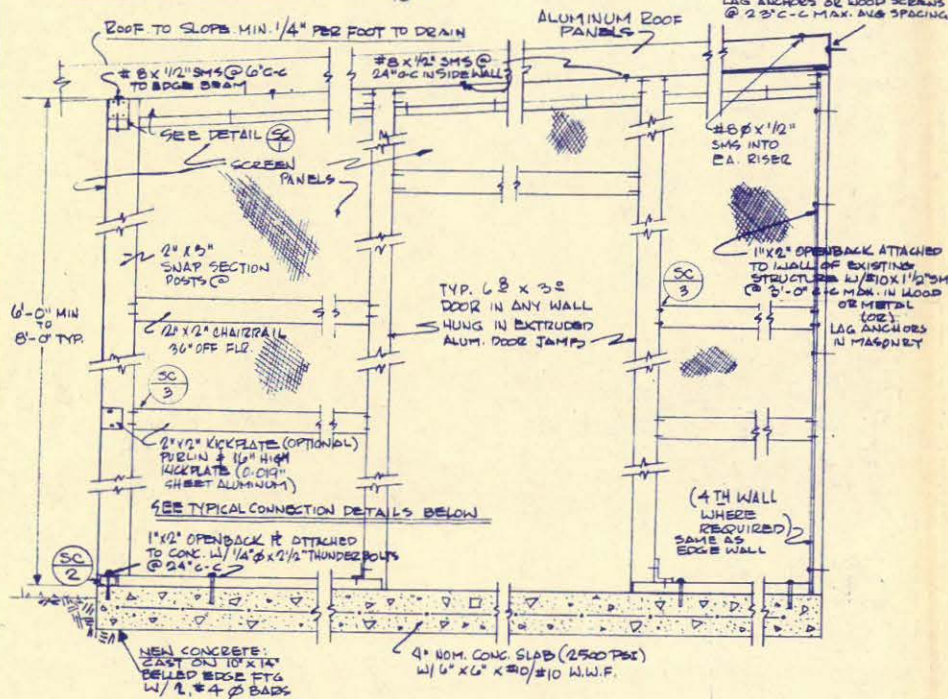
ROLL-FORMED HEADER (ALLOY 3003 H14)



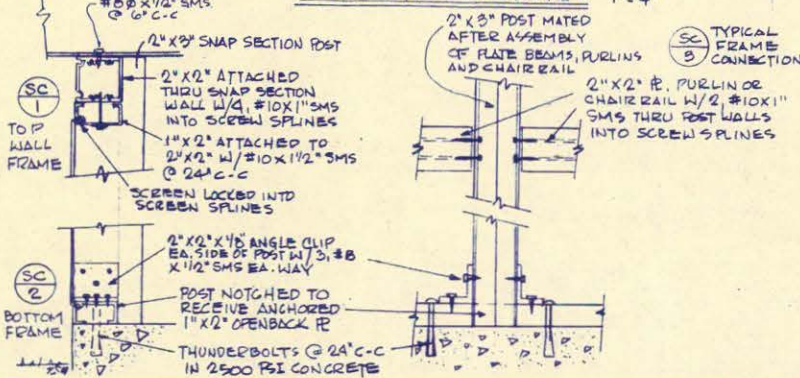
SCREENED CABANA ROOM DETAILS



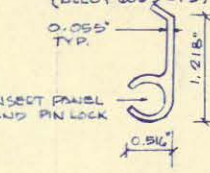
TYPICAL SECTION THRU CABANA ROOM



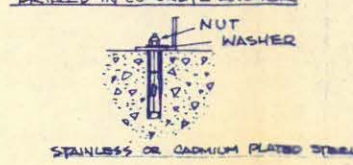
CONNECTION DETAILS



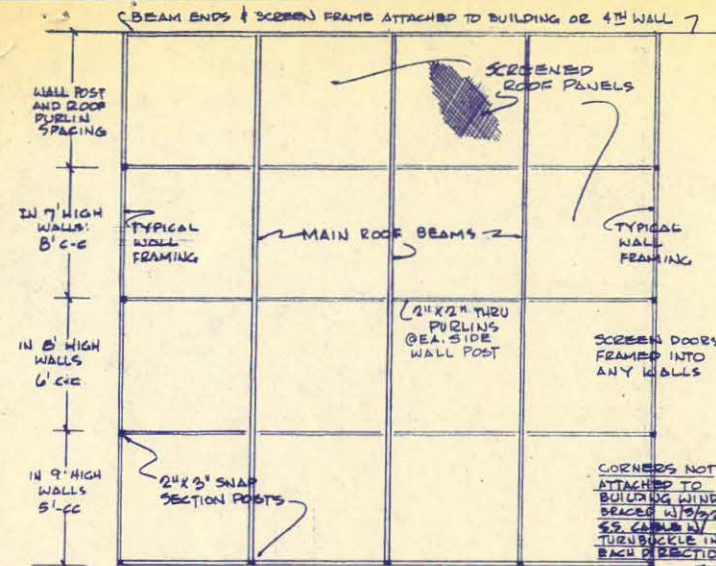
EXTRUDED AWNING RAIL (ALLOY 6063-T5)



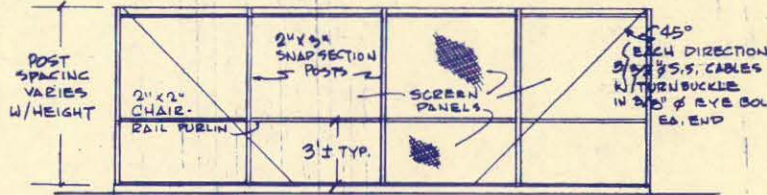
1/4" x 2 1/2" THUNDERBOLT DRILLED-IN CONCRETE ANCHOR



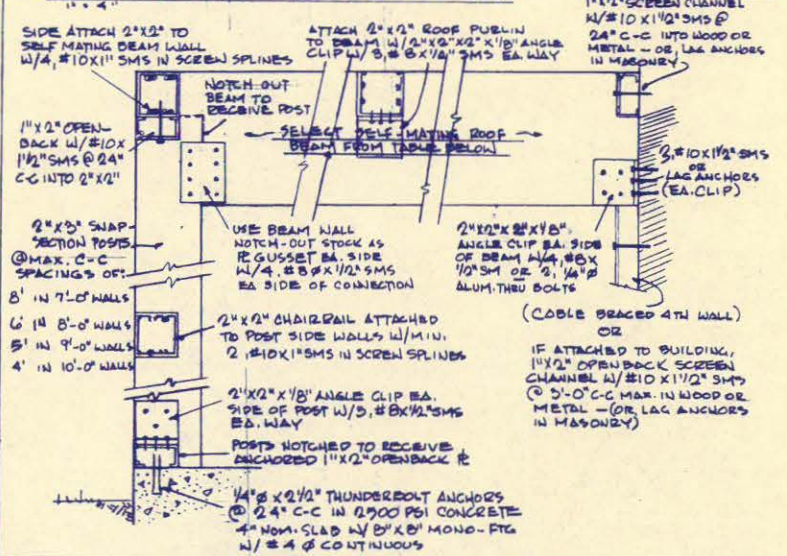
SCREEN ENCLOSURE DETAILS



SCREENED ENCLOSURE PLAN



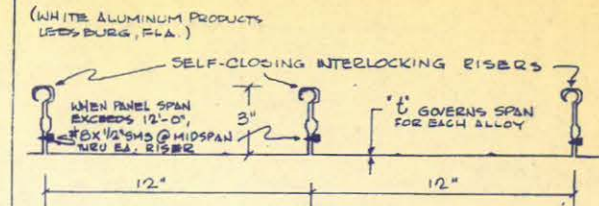
TYPICAL SCREENED ENCLOSURE SECTION DETAILS



SCREENED ROOF BEAM SPAN TABLE

BEAM SIZE	MAXIMUM CLEAR SPANS FOR BEAMS SPACED AS SHOWN, CENTER TO CENTER					
	4'-0" C-C	5'-0" C-C	5'-6" C-C	6'-0" C-C	6'-6" C-C	7'-0" C-C
2" x 4" SELF-MATING	25'-0"	22'-6"	21'-6"	20'-0"	19'-0"	18'-6"
2" x 6" SELF-MATING	32'-10"	29'-6"	28'-3"	26'-0"	25'-0"	24'-4"
2" x 7" SELF-MATING	46'-0"	41'-0"	39'-10"	36'-10"	35'-4"	34'-0"

ALUMINUM ROOF PANEL SYSTEM (ALLOY 3003-H14 OR 3003-H16)



MAXIMUM SPANS* FOR 120 MPH WIND - 20 PSF LL

ALLOY	"b" = 0.032"	"b" = 0.026"
3003 H14	14'-0"	12'-0"
3003 H16	14'-9"	12'-7"

(* EXCEPT WHERE FURTHER LIMITED BY LOCAL ORDINANCE.)
 SAFE LOAD-CARRYING PROPERTIES AND SPANS FOR THESE ROOF PANELS HAVE BEEN VERIFIED BY LOAD TESTS ON ROOF ASSEMBLIES CONDUCTED UNDER THE SUPERVISION OF THE UNDERSIGNED ENGINEER. DEFLECTION IS LIMITED TO L/80 OR LESS AT 20 PSF LL IN ALL CASES.
 SHEET METAL SCREWS (SMS) SHALL BE STAINLESS OR CADMIUM PLATED STEEL.
 ALUMINUM BOLTS SHALL BE ALLOY 2024-T4.

ENGINEERING NOTE

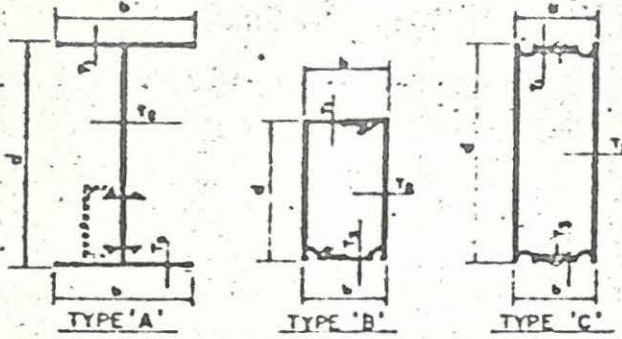
STRUCTURES DETAILED IN THESE PLANS WERE DESIGNED IN ACCORDANCE WITH SOUTHERN STANDARD BUILDING CODE 1974 AMENDMENTS.
 DESIGN LOADS CONSIDERED:
 DL + 20 PSF LL
 120 MPH WIND VELOCITY PRESSURES
 WHERE LOCAL ORDINANCES IMPOSE FURTHER LIMITATIONS OF SPANS OR PROJECTIONS, SUCH ORDINANCES SHOULD BE ADHERED TO IN APPLICATION OF THE DESIGN.

CHARLES R. CLINE, P.E.
 FLORIDA REG. NO. 12255

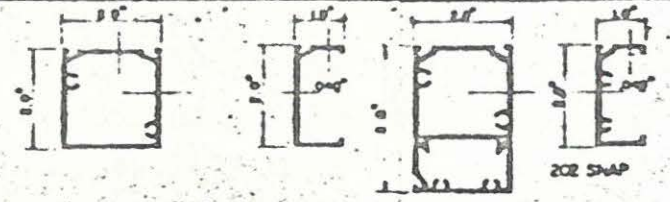
HARLAN ENGINEERING LABORATORIES, INC.
 P.O. BOX 5050
 LAKELAND, FLORIDA 32803

JOB NO. E-756-LTG
 DATE: 7/17/76

MASTER PLAN FOR SCREENED CABANA ROOMS & ENCLOSURES FOR CLIMATROL, INC.
 529 SOUTH INDUSTRY ROAD
 COCOA, FLORIDA 32922



BEAMS AND COLUMNS



MISCELLANEOUS COMPONENTS

BEAM AND COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX. BEAM SPAN SPACED E-E			REMARKS
		b	d	b'	T ₁	T ₂	T ₃	6'-0"	7'-0"	8'-0"	
603	A	300	600	300	.094	.060	.094	16'-0"	24'-0"	32'-0"	W/2-1X2'S SNAPPED ON
703	A	300	700	300	.125	.066	.125	20'-0"	24'-0"	28'-0"	DO
804	A	400	800	400	.125	.070	.125	20'-0"	24'-0"	28'-0"	DO
1004	A	400	1000	400	.140	.096	.140	48'-0"	48'-0"	48'-0"	DO
302	B	200	300		.050	.050	.050	12'-0"	11'-0"	10'-0"	
202	MSC	200	200		.040	.040	.040	8'-0"	8'-0"	7'-0"	
402	B	200	400		.050	.050	.050	14'-0"	12'-0"	11'-0"	#10X1/2" SMS AT 24" OC
602	C	200	600		.040	.040	.040	16'-0"	24'-0"	28'-0"	DO
702	C	200	700		.040	.040	.040	22'-0"	21'-0"	24'-0"	DO

COLUMN SCHEDULE											
MARK	TYPE	SIZE			THICKNESS			MAX. COLUMN HT. SPACED E-E			REMARKS
		b	d	b'	T ₁	T ₂	T ₃	6'-0"	7'-0"	8'-0"	
302	B	200	300		.050	.050	.050	9'-0"	8'-0"	8'-0"	
402	C	200	400		.060	.050	.120	18'-0"	11'-0"	12'-0"	

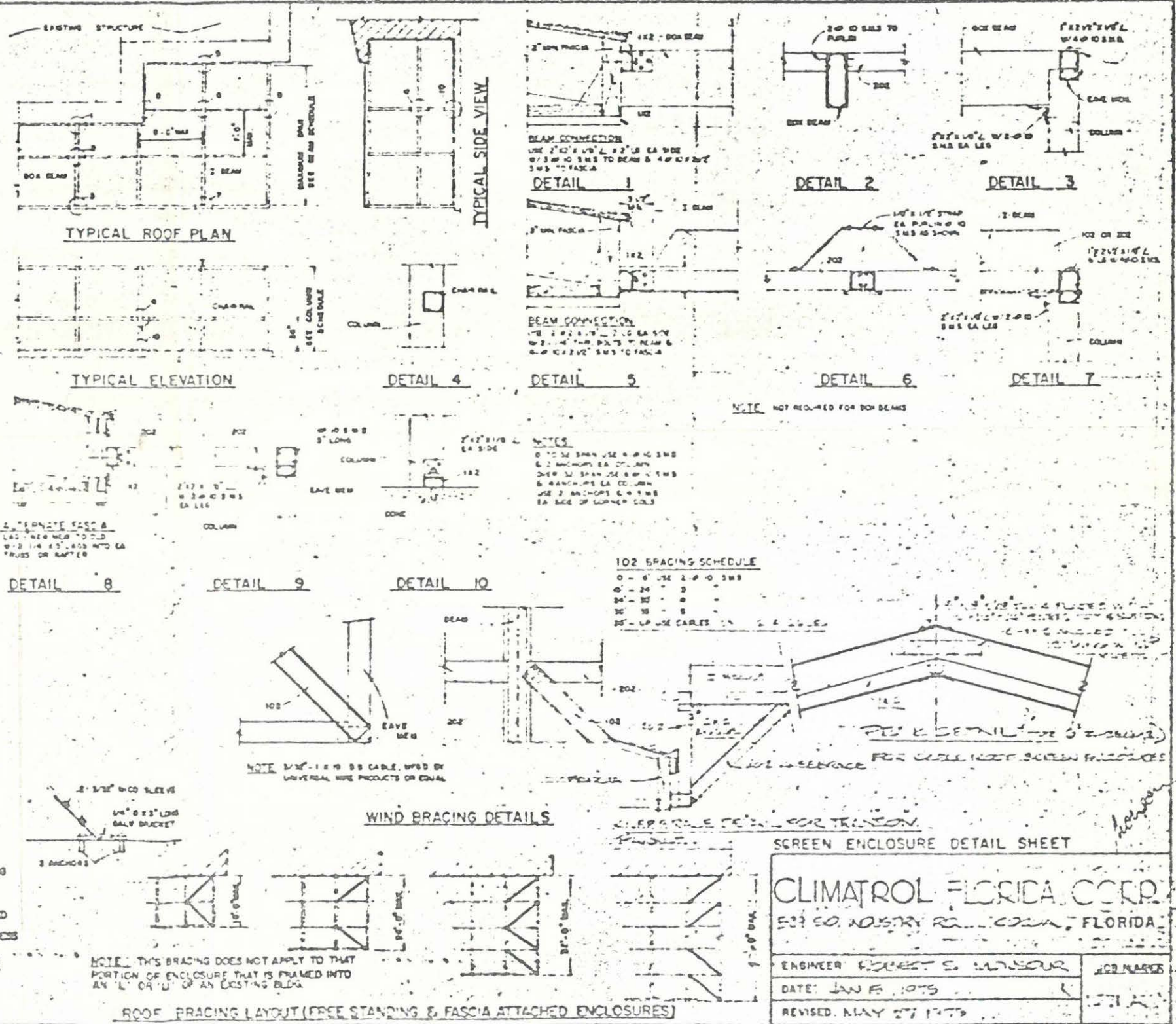
MISCELLANEOUS FASTENING SCHEDULE		
MEMBER	DESCRIPTION	FASTENER
202	STRUT TO R2 AT BEAM	20# X 3/4" SMS
202	STRUT TO EAVE SECTION	DO
202	CHAIR RAIL TO COLUMN	DO
1X2	PERIMETER MEM JOINED	DO
1X2	PERIMETER MEM TO COL	DO
1X2	PERIMETER MEM TO CONC	ANCHOR AT 24" C-C
1X2	PERIMETER MEM TO WOOD	#10X2 1/2" SMS 24" CC

SCREEN WALL CABLE SCHEDULE			
SPAN	HEIGHT	CABLES	SPACING
6'-0"	12'-0"	1 SET (2 CABLES)	2 SETS (4 CABLES)
8'-0"	12'-0"	1 SET (2 CABLES)	2 SETS (4 CABLES)
10'-0"	12'-0"	1 SET (2 CABLES)	2 SETS (4 CABLES)
12'-0"	12'-0"	1 SET (2 CABLES)	2 SETS (4 CABLES)

ANCHORS TO CONCRETE & MASONRY SHALL BE 1/4" X 2 1/2" THREADED BOLT, #10 X 2 1/2" SMS IN JOINT 1020 ANCHOR OR APPROVED EQUAL.

DESIGN CRITERIA		
WALLS	DESIGN WIND LOAD IN & OUT	10 PSF
	TEST LOAD WIND IN & OUT	15 PSF
ROOF	DESIGN LIVE LOAD DOWN	20 PSF
	DESIGN WIND LOAD UP	12 PSF
	TEST LOAD UP & DOWN	19 PSF
RECOVERY AT TEST LOAD		90% MIN

- NOTES:
- ROOF & SIDES SHALL BE COVERED WITH SCREEN CLOTH BEING 60% OR GREATER OPEN. THE ADDITION OF SOLID ROOFING OR SIDING IS NOT COVERED BY THIS SHEET.
 - THE EXISTING STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED SCREEN ENCLOSURE.
 - BEAMS TO ALLOW ALLOY BEAMS WILL BEAR IDENTIFICATION 1 FT FROM EACH END OF BEAM.
 - USE ADDITIONAL SETS OF CABLES WHERE BEAM SPANS EXCEED THOSE SHOWN IN CABLE SCHEDULE.
 - A TOLERANCE OF 0.06" IS ALLOWED WHERE WALL THICKNESS IS 1/2" OR LESS.
 - FASTENERS SHALL BE NON-MAGNETIC STAINLESS STEEL OR ALUM EXCEPT CABLE FASTENERS MAY BE HOT-DIP GALV STEEL.
 - MASONRY ANCHORS SHALL BE MADE OF NON-CORROSIVE METALLIC CONCT OR OF VIRGIN PVC PLASTIC.



3811

RE-ROOF

TAX FOLIO NO. _____

DATE _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3811

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Frank Regensburg Present address 32 Fieldway Dr
Phone 283-6656

Contractor Jim's Roofing Address 1004 NW 16th Pl
Phone 692-1870 Stuart Fl

Where licensed State of Fla License number @CC04/295

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Re roofing

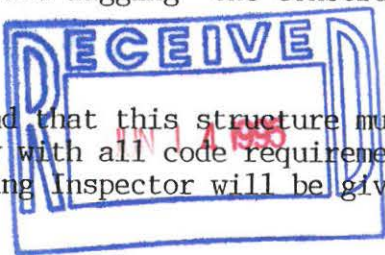
State the street address at which the proposed structure will be built:

Subdivision Indian Lucie Lot Number 9 Block Number 1

Contract price \$ 7200⁰⁰ Cost of permit \$ 100⁰⁰

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.



Contractor James Conkey

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Frank Regensburg

TOWN RECORD

Date submitted _____

Approved: Dale Brown
Building Inspector Date

Approved: [Signature]
Commissioner Date

Final approval given: _____
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____

NOTICE OF COMMENCEMENT

STATE OF _____
COUNTY OF _____

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13, Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT. This notice shall be void and of no force and effect if construction is not commenced within 30 days of recordation.

DESCRIPTION OF PROPERTY:

General description of improvements: Re-roof

Owner: Frank Regensburg
Address: 32 Feldway St Stuart Fl

Owner's interest in site of the improvement: New Roof

Contractor: Jim's Roofing
Address: 1004 NW 16th Pl Stuart Fl

Surety (if any): _____
Address: _____
Amount of Bond: _____

Lender : _____
Address: _____

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name: _____
Address: _____

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.06(2)(b), Florida Statutes:

Name: _____
Address: _____

Frank Regensburg

Sworn to and subscribed before me this 14th day of June, 1995

Joan H. Barrow

(NOTARY SEAL)

I am a Notary Public of the STATE OF Florida AT LARGE, and My Commission Expires: 11-30-98

STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
BY Wood D.C.
DATE 6-14-95



7745

A/C CHANGE OUT

TOWN OF SEWALL'S POINT

Date 8/24/05

BUILDING PERMIT NO. 7745

Building to be erected for STECK

Type of Permit ALC CHANGE

Applied for by ADVANTAGE ALC (Contractor)

Building Fee /

Subdivision INDIAWICIE Lot 9 Block 1

Radon Fee /

Address 32 FIELDWAY DRIVE

Impact Fee /

Type of structure SFR

AC Fee 35.00

Parcel Control Number:

3537410020010009090000

Electrical Fee /

Plumbing Fee /

Roofing Fee /

Amount Paid 35.00 Check # 4065 Cash _____ Other Fees (_____)

Total Construction Cost \$ 4300.

TOTAL Fees 35.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

UNDERGROUND PLUMBING _____

UNDERGROUND MECHANICAL _____

STEMWALL FOOTING _____

SLAB _____

ROOF SHEATHING _____

TRUSS ENG/WINDOW/DOOR BUCKS _____

ROOF TIN TAG/METAL _____

PLUMBING ROUGH-IN _____

MECHANICAL ROUGH-IN _____

FRAMING _____

FINAL PLUMBING _____

FINAL MECHANICAL _____

FINAL ROOF _____

UNDERGROUND GAS _____

UNDERGROUND ELECTRICAL _____

FOOTING _____

TIE BEAM/COLUMNS _____

WALL SHEATHING _____

LATH _____

ROOF-IN-PROGRESS _____

ELECTRICAL ROUGH-IN _____

GAS ROUGH-IN _____

EARLY POWER RELEASE _____

FINAL ELECTRICAL _____

FINAL GAS _____

BUILDING FINAL _____

Renewal for Final \$35
Pd 6/27/07 CC # 1616

C

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/24/05

BUILDING PERMIT NO. 7745

Building to be erected for STECK

Type of Permit A/C CHANGED

Applied for by ADVANTAGE A/C (Contractor)

Building Fee /

Subdivision INDIALUCIE Lot 9 Block 1

Radon Fee /

Address 32 FIELDWAY DRIVE

Impact Fee /

Type of structure SFR

A/C Fee 3500

Parcel Control Number:
3537410020010009090000

Electrical Fee /

Plumbing Fee /

Roofing Fee /

Amount Paid 35.00 Check # 4065 Cash _____ Other Fees (_____)

TOTAL Fees 35.00

Total Construction Cost \$ 4300.

Signed C.J. Jones
Applicant

Signed Jane Simmons
Town Building Official

ADVANTAGE AIR CONDITIONING OF THE TREASURE COAST, INC.

01-95

1616

OPERATING ACCT
PH. 772-465-1606
601 S. MARKET AVE

TOWN OF SEWALL'S POINT

DATE 06/27/2007

63-4/630 FL
1163

PAY
TO THE
ORDER OF

Seventy 70 DOLLARS

Bank of America



ACR.RVT.063100277

Samuel J. DeLeon

FOR





Town of Sewall's Point BUILDING PERMIT APPLICATION

Date: _____ Permit Number: _____

OWNER/TITLEHOLDER NAME: Bruce Steck Phone (Day) 287-3851 (Fax) _____

Job Site Address: 32 Fieldway Drive City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: change out of All equipment

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 4300.00
(Notice of Commencement needed over \$2500)
Estimated Fair Market Value prior to improvement: \$ _____

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: Advantage A/C Phone: (772) 465-1606 Fax: 772-465-4945

Street: 601 S. Market Ave City: Fort Pierce State: FL Zip: 34982

State Registration Number: CAC039664 State Certification Number: CAC039664 Martin County License Number: CAC039664

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) Bruce Steck CONTRACTOR SIGNATURE (required) Samuel T. Durham

State of Florida, County of MARTIN On State of Florida, County of: St. Lucie

This the 22nd day of AUGUST, 2005 This the 22nd day of AUGUST, 2005

by BRUCE F. STECK who is personally by SAMUEL T. DURHAM who is personally

known to me or produced _____ known to me or produced _____

as identification. _____ As identification. Anne E. Cabral

My Commission Expires _____
LAURA J. PARRIN
MY COMMISSION # DD 205961
EXPIRES: April 28, 2007
Bonded Thru NSP Public Underwriters

My Commission Expires _____
Anne E. Cabral, Public
My Commission DD083862
Expires January 21, 2006

35-37-41-000-001-00090-9



Notice of Commencement

To Whom It May Concern:


The undersigned hereby informs all concerned that improvements will be made to certain real property and in accordance with section 713.13 of the Florida Statutes; the following information is stated in this NOTICE OF COMMENCEMENT.

Legal Description of property (include street address if available):

32 Fieldway Drive INDIALUCIE, LOT 9 BLK 1
Stuart, FL 34996

General Description of improvements:

A/C Change Out


INSTR # 1866244
OR BK D2051 PG 1154
RECORDED 08/22/2005 01:29:23 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY T Copus (asst mar)

Owner Bruce Steck
Address 32 Fieldway Drive

Owner's interest in site of the improvement: _____

Fee Simple Title holder (if other than owner)

Name _____
Address _____

Contractor ADVANTAGE A/C OF THE TREASURE COAST, INC.
Address 601 S. MARKET AVE FT. PIERCE FL 34982

Surety (if any) _____
Address _____ Amount of bond \$7,300.00

Any person making a loan for the construction of the improvements:

Name _____
Address _____

Person within the State of Florida designated by owner upon who notices or other documents may be served:

Name _____
Address _____

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (h), Florida Statutes. (Fill in at Owner's Option).

Name _____
Address _____

STATE OF FLORIDA This space for recorder's use only.
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK



BY: T COPUS D.C.
DATE: 8-22-05

Bruce Steck
Owner

Sworn to and subscribed before me this 22nd
day of August 2005

Anne E. Cabral
My Commission DD083862
Expires January 21, 2006



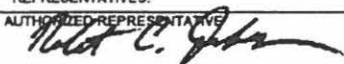
ACORD CERTIFICATE OF LIABILITY INSURANCE		OP ID LE ADVA-11	DATE (MM/DD/YYYY) 07/27/05
PRODUCER R. V. Johnson Agency, Inc. (JCK) 2041 S.E. Ocean Blvd. Stuart FL 34996 Phone: 772-287-3366 Fax: 772-287-4439		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED Advantage A/C & Heating Inc Advantage A/C of the Treasure Coast 601 S Market Av Ft. Pierce FL 34982		INSURERS AFFORDING COVERAGE	NAIC #
		INSURER A: Old Dominion Insurance Co.	40231
		INSURER B: Everest National Insurance Co	
		INSURER C: National Grange Insurance Co	14788
		INSURER D:	
		INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

WSR ADD'L LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GENL AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC	MPG69132	03/15/05	03/15/06	EACH OCCURRENCE \$ 1,000,000
					DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 500,000
					MED EXP (Any one person) \$ 10,000
					PERSONAL & ADV INJURY \$ 1,000,000
	GENERAL AGGREGATE \$ 2,000,000				PRODUCTS - COMP/OP AGG \$ 2,000,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	B1G69132	03/15/05	03/15/06	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE (Per accident) \$
	COMP DED \$250 COLL DED \$250				
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO	NOT COVERED W/THIS AGENCY			AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
A	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$10,000	CUG69132	03/15/05	03/15/06	EACH OCCURRENCE \$ 1,000,000
					AGGREGATE \$ 1,000,000
					\$
					\$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER	2700007473051	03/04/05	03/04/06	WC STATUTORY LIMITS <input type="checkbox"/> OTHER <input checked="" type="checkbox"/>
					E L EACH ACCIDENT \$ 500000
					E L DISEASE - EA EMPLOYEE \$ 500000
					E L DISEASE - POLICY LIMIT \$ 500000
C	Property	FRG69132	03/15/05	03/15/06	Contents \$20000
	A Inland Marine	MPG69132	03/15/05	03/15/06	Contr Eqp \$110000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
30 days notice of cancellation for workers compensation coverage.
Companies have the option to cancel 10 days for non-payment.

CERTIFICATE HOLDER <p style="text-align: center;">TOWN024</p> Town of Sewalls Point 1 S. Sewalls Point Road Stuart FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10*</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
--------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

ADVANTAGE AIR CONDITIONING OF THE TREASURE COAST, INC.

601 South Market Avenue – Fort Pierce, Florida 34982

State Certification #CAC039664

772-465-1606 772-335-3339 800-232-1817 Fax: 772-465-4945

www.advantageairconditioning.com

June 1, 2004

Town of Sewall's Point
Building Permit Department

RE: Signing Permit

To Whom It May Concern:

Advantage Air Conditioning of the Treasure Coast, Inc. gives Samuel T. Durham II authority to sign for permit.

Sincerely,

A handwritten signature in cursive script that reads "Samuel T. Durham".

Samuel T. Durham
Advantage Air Conditioning
President

2004-2005

ST. LUCIE COUNTY OCCUPATIONAL LICENSE

BOB DAVIS, CPA, CGFO, CPC, ST. LUCIE COUNTY TAX COLLECTOR

ACCOUNT 1711-00001820

EXPIRES SEP 30, 2005

FACILITIES
OR
MACHINES
TYPE OF
BUSINESS
BUSINESS
LOCATION

ROOMS

SEATS

EMPLOYEES 21+

1711 AIR CONDITIONING CONTRACTOR

601 S Market Ave
St Lucie County

NAME
MAILING
ADDRESS

Samuel Durham
Advantage Air Cond & Heating
Durham, Samuel T
601 S Market Ave
Fort Pierce FL 34982
CAC039664

X RENEWAL
NEW LICENSE
TRANSFER
ORIGINAL TAX 25.00

AMOUNT
PENALTY
COLLECTION COST
TOTAL 25.00

COPY

Please see back for additional information

PAID 08/20/2004

99-20040820-071195

25.00

AC# 1469913

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04070200471

DATE	BATCH NUMBER	LICENSE NBR
07/02/2004	040006408	CAC039664

The CLASS A AIR CONDITIONING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 488
Expiration date: AUG 31, 2006

DURHAM, SAMUEL T
ADVANTAGE A/C OF THE
601 S MARKET AVE
FORT PIERCE

THE TREASURE COAST
FL 34982



JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR
SECRETARY



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 32 FIELDWAY

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same

A/C CHANGE OUT

SEAL BOTTOM OF REF. LINE CHASE.

INSULATE SUCTION LINE.

CHANGE BREAKER TO 30A
MAX ALLOWABLE BY
EQUIP. MANU.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 7/2/07

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7-2, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8162	McCormick	Final	PASS	CLOSE
6	59 N River Rd Advantage Pool			INSPECTOR: <i>[Signature]</i>
8577	Crispin	Final	PASS	CLOSE
1	30 E High Pt East Elect			INSPECTOR: <i>[Signature]</i>
8427	Hepworth	Final	PASS	READY FOR CO.
3	8 Rio Vista Sand Castle	11:00 A.M.	PASS	INSPECTOR: <i>[Signature]</i>
8630	Dalton	Final	PASS	CLOSE
4	6 Rio Vista Advantage AC			INSPECTOR: <i>[Signature]</i>
7700	Cooper	Final	PASS	CLOSE
2	33 W High Pt Advantage AC	AC replacement		INSPECTOR: <i>[Signature]</i>
7745	Steck	Final	FAIL	
7	32 Fieldway Dr Advantage AC	AC changeout		INSPECTOR: <i>[Signature]</i>
8533	Went	Final	PASS	CLOSE
5	7 Palmetto Dr Olb			INSPECTOR:
OTHER	20 RIDGEVIEW STEVE CONWAY		FINAL	FAIL

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7-11, 2007 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
2638 4	McKinley 48 Riv Vista Monterey Glass	windows ^{BUCK}	FAIL	INSPECTOR: <i>OM</i>
7748	Steck	Final	PASS	CLOSE
9	32 Fieldway Dr Advantage AC			INSPECTOR: <i>OM</i>
8642 6	Vant Pasch 8 Lagoon Isl. Ct OB	Plumbing	PASS	SOLDERED PIPES UNDER SLAB - OK. INSPECTOR: <i>OM</i>
8144	Lingamfelter	Final dock		NO WORK DONE
1	17 Mandala Way OB	Do you want copy of permit? Renew permit		INSPECTOR: <i>OM</i>
2	Van Vanno 15 S Ridgeway	Pool equipment pad	FAIL	NEW PAD IS IN SET BACK Investigate? See photos INSPECTOR: <i>OM</i>
8440 3	Tidikis 12 Cranes Nest AG Pool	Final	FAIL	INSPECTOR: <i>OM</i>
7113 7	DeBerard 37 N River Rd Blue Water Marine	Final-dock repair		NO WORK DONE ABANDONED INSPECTOR: <i>OM</i>

OTHER

8042

REMODEL

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 2/6/06

BUILDING PERMIT NO. 8042

Building to be erected for STECK

Type of Permit Interior Renovation

Applied for by O/B

(Contractor) Building Fee \$63,900 x 9.60/1000 = 613.44

Subdivision INDIALUCIE Lot 9 Block 1

Radon Fee _____

Address 32 FIELDWAY DRIVE

Impact Fee _____

Type of structure SFR

A/C Fee _____

Electrical Fee 35.00

Plumbing Fee 35.00

Parcel Control Number:

3537410020010009090000

Amount Paid 939.72 Check # 198 Cash _____

Roofing Fee _____
10% P.E. 68.34
Other Fees (25% O.B.) 187.94

Total Construction Cost \$ 63,900

TOTAL Fees 939.72

Signed Bruce Steck
Applicant

Signed Gene Simmons (R)
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # 353741002001000909

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

INDIANWIE LOT 9, BL 1

GENERAL DESCRIPTION OF IMPROVEMENT: HURRICANE DAMAGE - screen enclosure interior Renovations

OWNER: BRUCE STECK

ADDRESS: 32 Fieldway Dr. Stuart, FL 34996

PHONE #: 287-3851 FAX #: _____

CONTRACTOR: owner builder

ADDRESS: _____

PHONE #: _____ FAX #: _____

SURETY COMPANY (IF ANY) _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Bruce Steck
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 30th DAY OF JANUARY 2006 BY BRUCE F. STECK

OR
PERSONALLY KNOWN
PRODUCED ID'S 320066 492940
TYPE OF ID FID x 8/14/11

Laura L. O'Brien
NOTARY SIGNATURE
LAURAL O'BRIEN
MY COMMISSION # DD 205961
EXPIRES: April 28, 2007
Notary Public Underwriters
/data/gmd/bzd/bldg_forms/Notc.aw



THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARCHA EWING, CLERK
BY Copus D.C.
DATE 26/06

INSTR # 1908242 DR BK 02109 PG 0535 RECD 02/06/2006 10:53:35 AM
Pg 0535 (109)
MARCHA EWING MARTIN COUNTY DEPUTY CLERK T Copus (asst mgr)

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 2/3/06

Permit Number: _____

OWNER/TITLEHOLDER NAME: BRUCE + ANN STECK Phone (Day) 287-3851 (Fax) SAME

Job Site Address: 32 Fieldway Dr. City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Interior Renovations

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 63,900
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carpot: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Bruce Steck

State of Florida, County of: Martin

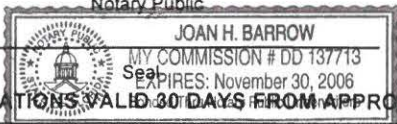
This the 3 day of February, 2006

by Bruce Steck who is personally

known to me or produced Fl. d. l.

as identification. Joan H. Barrow

Notary Public



My Commission Expires: _____

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____

This the _____ day of _____, 200__

by _____ who is personally

known to me or produced _____

As identification. _____

Notary Public

My Commission Expires: _____

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

RECEIVED
1/30/06

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 1/30/06 Permit Number: _____

OWNER/TITLEHOLDER NAME: BRUCE & ANN STECK Phone (Day) 287-3851 (Fax) SAME

Job Site Address: 32 Fieldway Drive City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Interior Renovations

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 163,900
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Bruce Steck

State of Florida, County of: MARTIN

This the 30th day of JANUARY, 2006

by BRUCE F STECK who is personally

known to me or produced FLOYD S32006649294-0

as identification. [Signature] 287-3851

My Commission Expires: _____



CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____

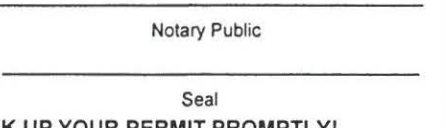
This the _____ day of _____, 200_____

by _____ who is personally

known to me or produced _____

As identification. _____

My Commission Expires: _____



TOWN OF SEWALL'S POINT

ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT

(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Bruce Steck Date: 1/30/06

Signature: Bruce Steck

Address: 32 Fieldway DR.

City & State: STUART, FL.

Permit No. _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/3, 2006

Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8063	STECK	Gas Rough	PASS	
12	32 FIELDWAY DR			INSPECTOR: <i>OW</i>
	MARTIN CY PROpane			
7958	LEIGHTON	Final FR Door	PASS	CLOSE
2	43 W. High Point Rd			INSPECTOR: <i>OW</i>
	O/B			
8042	STECK	Pump Rough	PASS	
12	32 FIELDWAY DR			INSPECTOR: <i>OW</i>
	O/B			
7795	HOLLAND	WINDOWS.	PASS	CLOSE
	9 MANAALAY.			INSPECTOR: <i>OW</i>
	GULF STREAM			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>OW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>OW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>OW</i>

OTHER: _____



8042

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 32 FIELDWAY

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

PLUMBING/ELECTRICAL ROUGH

SECURE SH. H.D. AT DROP EAR ELL.
SEAL WATER PIPES AT FLOOR LINE.

INSTALL J. BOXES FOR DISPOSAL/DW
WIRE NOT ALL ELEC. CABLES
USED FOR U.C. LIGHTS &
FLOURESCENTS. & NOT IN J. BOXES.
CHECK J. BOX FOR B - #12 CABLE
SPLICES. BOX 4X4X1/4.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/8



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/8, 2006 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8012	TRAN TER	TINTAG & METAL	PASS	
2	9 MIDDLE ROAD PARKS & Co/All AMER			INSPECTOR: <i>OM</i>
7813	PARKS	DRY-IN	PASS	
6	3 MINDORO All AMERICAN P&A			INSPECTOR: <i>OM</i>
7764	ROGGS	SUBSIDING	CANCEL	
15	20 N. SEWALLS Pt MASTER BRUCE	WINDOW & DOOR BRUCE TRUSS ENG		INSPECTOR: <i>OM</i>
8082	DESANTIS	FINAL TIE HUR	FAIL	
10	82 S. SEWALLS Pt O/B			\$40 FEE INSPECTOR: <i>OM</i>
Tree	MURPHY	TREE	PASS	
18	14 KNOWLES			INSPECTOR: <i>OM</i>
6812	MADER	PUMBINA TOP DR	PASS	
5	106 HOBIE COURT MASTER PUMBINA	FRAMING	PASS	INSPECTOR: <i>OM</i>
8042	STECK	Plumbing	FAIL	
14	32 FIELDWAY De O/B	Elec	FAIL	INSPECTOR: <i>OM</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/10, 2006

Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	FENDER	TREE	PASS	
7	3 OAKWOOD DR			INSPECTOR: <i>OW</i>
6975	AUMAN	FINAL FENCE	PASS	CLOSE
8	45 RIO VISTA O/B			INSPECTOR: <i>OW</i>
8075	MORROW	DEADMAN	FAIL	NO PERMIT FEE
10	24 S. SEWALL'S Pt HARBOR BAY MARINE	SEAWALL ANCHOR 485-2298		#40 FEE INSPECTOR: <i>OW</i>
7221	CLEMENTS	FINAL RETAINING WALL	PASS	CLOSE
1	11 W. HIGH POINT RD WILCO CONS			INSPECTOR: <i>OW</i>
8088	MADER	ROUGH GAS	PASS	
4	106 ABBIE COURT FERRELL GAS			INSPECTOR: <i>OW</i>
8042	STECK	PLUMBING	PASS	
11	32 FIELDWAY DR O/B	ELECTRIC ?EARLY	PASS	INSPECTOR: <i>OW</i>
7220	CLEMENTS	FINAL DOCK	FAIL	
1	11 W. HIGH POINT WILCO CONST.			INSPECTOR: <i>OW</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

8069

Date of Inspection: Mon Wed Fri 4/26, 2006

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8042	STECK	Stucco work	PASS	
1	32 Fieldway DR O/B	ROOF DRY IN 1st or early	PASS	INSPECTOR:
FREE	SCHNABEL	TREE	DUPLICATION	
X	122 S.S.P.R.			INSPECTOR:
8100	Daly	IN PROGRESS	CANCEL	
3	5 WORTH COURT ALL AMERICAN Pkg	LATE		INSPECTOR:
TREE	POOLE	TREE	PASS	\$15 FEE
10	94 N. Sewall Pt			INSPECTOR:
TREE	Schnabel	Tree	PASS	
2	1225 Sewall Pt			INSPECTOR:
tree	VanLinnsterdam	Tree	PASS	
1A	2 E High Pt Rd			INSPECTOR:
7584	Schedonic	Insulation	PASS	
7	12 S. Sewall Pt Driftwood Homes			INSPECTOR:
OTHER:				
117 N.S.P.R. DOG WORK?				



8042

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 302 FIELDWAY

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL

NEED OFCI RECEPTACLES
AT ALL KITCHEN LOCATIONS

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/9

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri June 9, 2006

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8104	Miraglia	Final roof	PASS	CLOSE
1	66 NSP	Fee		
	Pacific Roof.	8:30 Am	Plumber	INSPECTOR: <i>[Signature]</i>
7945	Rivera	stucco	FAIL	\$40 FEE
7	3 Emaita			
	OB	'not ready'		INSPECTOR: <i>[Signature]</i>
8042	STECK	Final- ^{INTERIOR} Remodel	FAIL	
3	8069 32 Fieldway DR	STUCCO+ROOF	PASS	CLOSE
	OB			INSPECTOR: <i>[Signature]</i>
7832	Schmader	Final gas	PASS	CLOSE
6	102 Henry Sewalls Way			
	Elite Gas			INSPECTOR: <i>[Signature]</i>
8091	Rosario	Final	PASS	CLOSE
5	137 SRK			
	JA Taylor Roof.	Does roofers have to be there? 772-466-4040		INSPECTOR: <i>[Signature]</i>
8177	Vitali	Below seat rough plumbing	PASS	
2	13 Knowles Rd			
	Quick Coat			INSPECTOR: <i>[Signature]</i>
Tree	Gillen	Tree	PASS	
8	5 Palmetto			
	Tropical Palm			INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7-3, 2006

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8105	Galinis	slab-reinsp.	PASS	
1	26 SSPRd Driftwood	1 st Phase		INSPECTOR: <i>OM</i>
8080	Slater	Final -	FAIL	
3	4 NE Pagon Isl. Propane Disc			INSPECTOR: <i>OM</i>
Tree	Stemle	Trees	PASS	
4	across from 49 NSPR O/B			INSPECTOR: <i>OM</i>
M.C 0049	VANCE	OTM - IN	PASS	
2	12 WENDY LN BRONIE CONTR.			INSPECTOR: <i>OM</i>
M.C 0037	WYCKOFF	REPLACE WINDOW	PASS	
5	26 N. RIVER RD. BRONIE CONTR.			INSPECTOR: <i>OM</i>
8042	STECK	FINAL	PASS	<u>CLOSE</u>
6	32 FIELDWAY O/B			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

8063

GAS TANK

W/LINES

TOWN OF SEWALL'S POINT

Date 2/21/06

BUILDING PERMIT NO. 8063

Building to be erected for STEEL

Type of Permit UG GAS TANK + LINES EXT + INTER.

Applied for by MARTIN COUNTY PROPANE (Contractor)

Building Fee 35.00

Subdivision INDIAWUCIE Lot 9 Block 1

Radon Fee _____

Address 32 FIELDWAY DRIVE

Impact Fee _____

Type of structure _____

A/C Fee _____

Parcel Control Number:

3537410020010009090000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 35.00 Check # 1231 Cash _____ Other Fees (_____)

TOTAL Fees 35.00

Total Construction Cost \$ 800.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- | | | |
|-------------------------------------------|----------------------------------------------|-----------------------------------------|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input checked="" type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |



Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: BRUCE & ANN STECK Phone (Day) _____ (Fax) _____

Job Site Address: 32 FIELDWAY DR City: SEWALL'S PT State: FLA. Zip: _____

Legal Description of Property: LOT 4 BLOCK 1 Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: BURY 250GAL TANK. INTERIOR GAS LINE TO COOK-TOP.

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: MARTIN CO. PROPANE Phone: 287-1900 Fax: 287-1119

Street: P.O. Box 306 City: Palm City State: FLA Zip: 34990

State Registration Number: _____ State Certification Number: 05594 Martin County License Number: 19118

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 800.- (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Bruce Steck

State of Florida, County of: MARTIN

This the 16 day of FEB, 2006

by BRUCE STECK who is personally

known to me or produced

as identification. Sarah Ludwig

Notary Public

My Commission Expires: _____

NOTARY PUBLIC STATE OF FLORIDA

Sarah Ludwig

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Expires: NOV. 28, 2009

Bonded Thru Atlantic Bonding Co., Inc.

CONTRACTOR SIGNATURE (required)

Danny Culberson

On State of Florida, County of: MARTIN

This the 16 day of FEB, 2006

by DANNY CULBERSON who is personally

known to me or produced

As identification. Danny Culberson

Notary Public

My Commission Expires: _____

NOTARY PUBLIC STATE OF FLORIDA

Sarah Ludwig

Commission # DD494312

Expires: NOV. 28, 2009

Bonded Thru Atlantic Bonding Co., Inc.

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
05/19/2005

PRODUCER
AON RISK SERVICES OF FLORIDA
1001 BRICKELL BAY DRIVE, SUITE 1100
MIAMI, FL 33131
(305) 372-9950

Serial # 603821

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY
A ZURICH AMERICAN INSURANCE COMPANY

COMPANY
B

COMPANY
C

COMPANY
D

INSURED
Oasis Outsourcing, Inc., Alt. Emp.:
Como Oil Co Of Fla DBa Martin County
Propane
4400 N Congress Ave., Suite 250
West Palm Beach, FL 33407-3288

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES, LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT				GENERAL AGGREGATE \$ PRODUCTS - COMPI/OP AGG \$ PERSONAL & ADV INJURY \$ EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
A	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR, PARTNERS/EXECUTIVE OFFICERS ARE: <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL	WC 29-38-687-03	06/01/05	06/01/06	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER EL EACH ACCIDENT \$ 100000 EL DISEASE - POLICY LIMIT \$ 100000 EL DISEASE - EA EMPLOYEE \$ 100000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS
ONLY THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF:
COMO OIL COMPANY OF FLORIDA DBA MARTIN COUNTY PROPANE

CERTIFICATE HOLDER

TOWN OF SEWELLS POINT
1 S SEWELLS POINT RD
SEWELLS POINT, FL 31956

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE OF INDEPENDENT INSURANCE AGENCY

Joseph Featangelo

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID SE DATE (MM/DD/YYYY)
MCPET-1 01/03/06

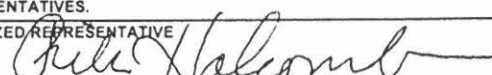
PRODUCER Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 772-286-4334 Fax: 772-286-9389	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.												
INSURED COMO OIL CO OF FLORIDA DBA MARTIN COUNTY PETROLEUM AND PROPANE P.O. Box 386 Palm City FL 34991	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width:80%;">INSURERS AFFORDING COVERAGE</th> <th style="width:20%;">NAIC #</th> </tr> <tr> <td>INSURER A: Empire Fire & Marine</td> <td></td> </tr> <tr> <td>INSURER B: St Paul Surplus Lines Ins</td> <td></td> </tr> <tr> <td>INSURER C: AIG Group</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table>	INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: Empire Fire & Marine		INSURER B: St Paul Surplus Lines Ins		INSURER C: AIG Group		INSURER D:		INSURER E:	
INSURERS AFFORDING COVERAGE	NAIC #												
INSURER A: Empire Fire & Marine													
INSURER B: St Paul Surplus Lines Ins													
INSURER C: AIG Group													
INSURER D:													
INSURER E:													

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	ADD'L	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> INCLUDE POLLUTION GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	CP300371	01/01/06	01/01/07	EACH OCCURRENCE \$ 1000000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100000 MED EXP (Any one person) \$ 5000 PERSONAL & ADV INJURY \$ 1000000 GENERAL AGGREGATE \$ 2000000 PRODUCTS - COMP/OP AGG \$ 2000000
A		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	CP300371	01/02/06	01/02/07	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
B		EXCESS/UMBRELLA LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$10,000	QY06825129	01/02/06	01/02/07	EACH OCCURRENCE \$ 3,000,000 AGGREGATE \$ 3,000,000 \$ \$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATU-TORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
C		OTHER POLLUTION LIAB	FPL4808748#2	01/01/06	01/01/07	POLLUTION 1000000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER TOWNS - 1 Town of Sewalls Point FAX: 220-4765 1 S Sewalls Point Road Stuart FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
---------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

2005-2006 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Brien, Tax Collector, P.O. Box 6013, Stuart, FL 34985
(772) 288-0804

LICENSE 1971-249-002 CERT _____

PHONE 1561 1267-1900 Chg no 221210

LOCATION:
3586 SW MARTIN HWY MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	_____	LIC. FEE \$	_____
\$	_____	PENALTY \$	_____
\$	_____	COL. FEE \$	_____
\$	_____	TRANSFER \$	_____
TOTAL			25.00



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF
GAS/OIL/PROPANE

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

10 DAY OF SEPTEMBER 05
AND ENDING SEPTEMBER 2005

RANDY/PRESIDENT*
COMO OIL COMPANY OF FLORIDA
MARTIN COUNTY PETROLEUM & PROPANE
PO BOX 386
PALM CITY FL 34990
12 05091302 006216



POST LICENSE
CONSPICUOUSLY

State of Florida
Department of Agriculture and Consumer Services

Division of Standards
Bureau of Liquefied Petroleum Gas
(850) 621-8001
Tallahassee, Florida

License Number: 06594
Expiration Date: August 31, 2006
Date of Issue: September 1, 2005
License Fee: \$425.00
Type and Class: 0601

Liquefied Petroleum Gas License
CATEGORY I LP GAS DEALER

GOOD FOR ONE LOCATION

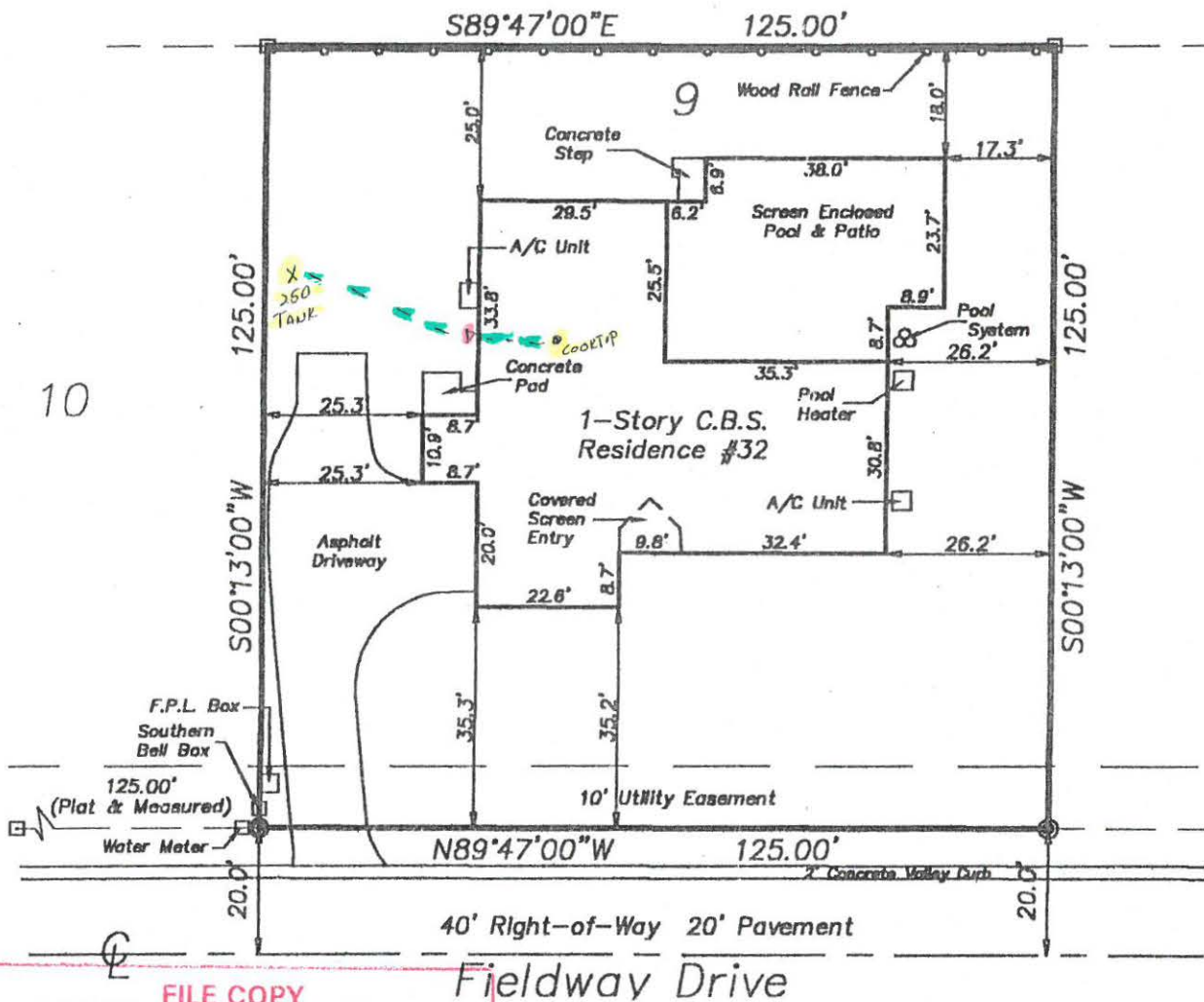
This license is issued under authority of Section 527.02, Florida Statutes, for:


MARTIN COUNTY PROPANE
3586 SW MARTIN HWY
PALM CITY, FL 34990-8140

Charles H. Bronson
CHARLES H. BRONSON
COMMISSIONER OF AGRICULTURE

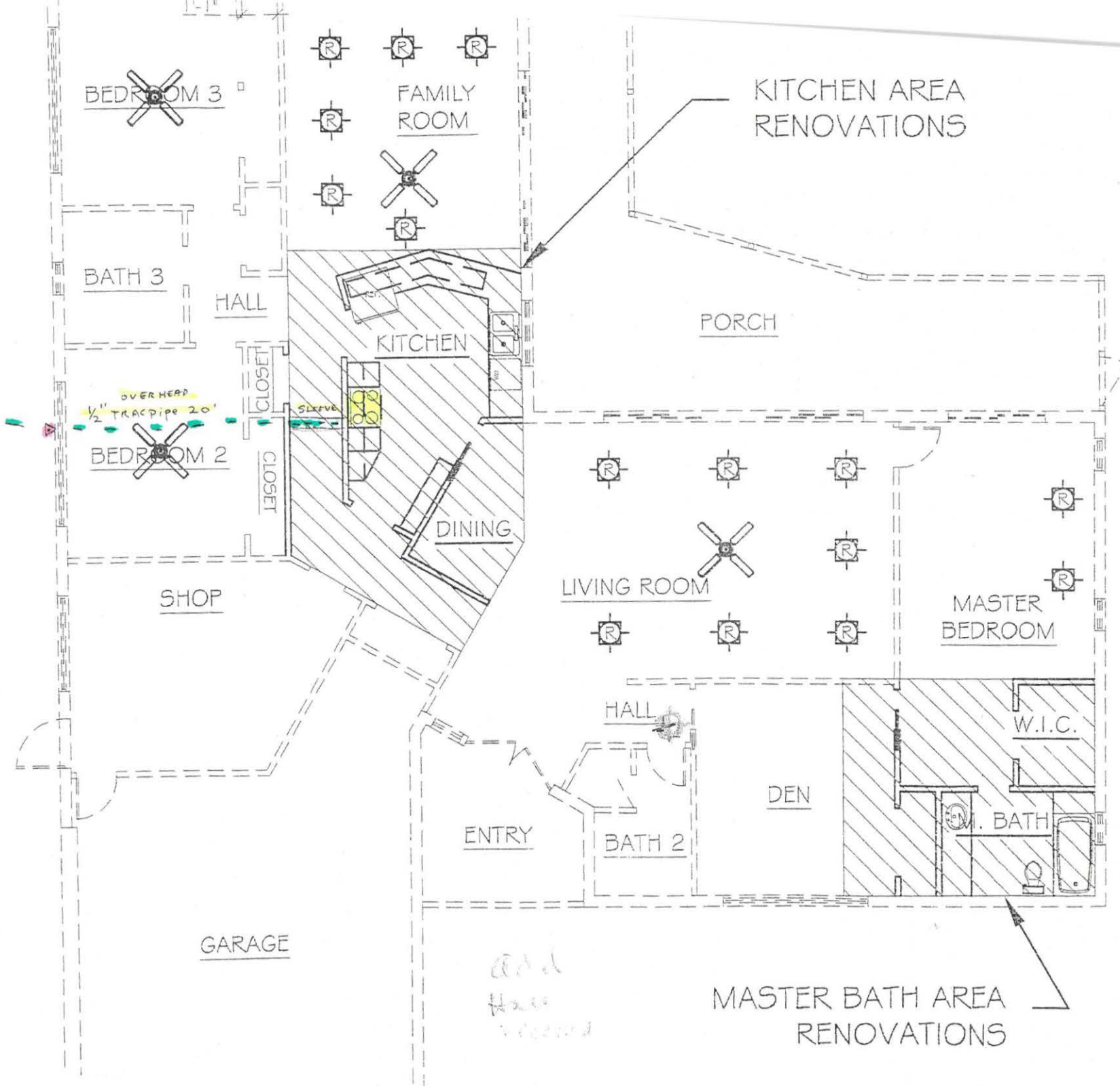
Boundary Survey

Note: Bearings & Distances
Are As Per Plat Unless Noted
Otherwise.



FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 2/17/06

BUILDING OFFICIAL
 Gene Simmons

X 25' 1/2" CTS
250 TANK



BEDROOM 3

FAMILY ROOM

KITCHEN AREA RENOVATIONS

BATH 3

HALL

PORCH

KITCHEN

BEDROOM 2

CLOSET

CLOSET

DINING

LIVING ROOM

MASTER BEDROOM

SHOP

W.I.C.

HALL

DEN

ENTRY

BATH 2

M. BATH

GARAGE

add
Hall
recessed

MASTER BATH AREA RENOVATIONS



8063

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 32 FIELDWAY

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

GAS ROUGH - INTERIOR

SECURE GAS PIPING IN ATTIC TO TRUSSES.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/24

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2/24, 2006 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7934	PARKS	POOL PUMPING	FAIL	
7	3 MINDORO ST			\$40 FEE
	OLYMPIC POOLS			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7777	CATHEY	FRAMING	FAIL	
10	47 S. SEWALL'S PK RD	STRAPPING	PASS	
	DRIFTWOOD HOMES			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7718	SCHOPPE	CHIMNEY TIE BEAM	PASS	
6	9 PALM ROAD			
	A&P CONST.			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7958	LEIGHTON	FR. DOOR BUZE		WILL RESCHEDULE
4	43 W. HIGH POINT			
	O/B			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8063	STEEL	LARGE TANK +		
1	32 FIELDWAY DR	CAS TROUGH	FAIL	
	MARTIN COUNTY PROANE			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8067	TOWN PARK-	FINAL FENCE REPAIR	PASS	
14	HERITAGE WAY			
	STUART FENCE			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7809	D'ALESSANDRO	FINAL ROOF		WILL RESCHEDULE
13	4 EMARITA WAY	WINDOWS	PASS	
	O/B			INSPECTOR: <i>OM</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/3, 2006

Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8063	STECK	Gas Rough	PASS	
12	32 FIELDWAY DR MARTIN CY PROPANE			INSPECTOR: <i>OPW</i>
7958	LEIGHTON	Final FR Door	PASS	CLOSE
2	43 W. HIA 4 POINT RD O/B			INSPECTOR: <i>OPW</i>
8042	STECK	Pump Rough	PASS	
12	32 FIELDWAY DR O/B			INSPECTOR: <i>OPW</i>
7795	HOLLAND 9 MANAALAY. GULF STREAM	WINDOWS.	PASS	CLOSE INSPECTOR: <i>OPW</i>
				INSPECTOR: <i>OPW</i>
				INSPECTOR: <i>OPW</i>
				INSPECTOR: <i>OPW</i>
				INSPECTOR: <i>OPW</i>
				INSPECTOR: <i>OPW</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/15, 2006

Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8080	SLATEK	INGRTANK&LINES	FAIL	
7A	4 LAGOON ISLAND PROPANE DISCOUNTERS			INSPECTOR: <i>[Signature]</i>
8111	RONAN	SE ENCL FINAL	PASS	CLOSE
3	14 COPAIRE RD OIB			INSPECTOR: <i>[Signature]</i>
7584	SCHERODNIC	TEUSS ENG	CANCEL	
4	125. SEWALLS PT DRIFTWOOD HOMES	STRAPPING		WILL RESCHEDULE
8066	WARNER	IN PROGRESS	PASS	
	4 DELANO ALL-AMERICAN	ROOF		INSPECTOR: <i>[Signature]</i>
8063	STECK	U.6 TANK	PASS	
	32 FIELWAY	& LINES		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri June 9, 2006

Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
M.C.	XXXXXXXXXX BROWN	SCREEN ENCL.	PASS	
4	7 FIELDWAY NEW DIMENSIONS	BP01-20060006		INSPECTOR: <i>[Signature]</i>
8063	STUCK	Final	PASS	CLOSE
	32 Fieldway Dr. Mc. Propane			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

8069

ROOF AND

SIDING REPAIR

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 2/23/06

BUILDING PERMIT NO. **8069**

Building to be erected for STECK

Type of Permit ROOF SHEATHING

Applied for by O/B

(Contractor) Building Fee \$ 35.00 REPAIR

Subdivision INDIANWICIE Lot 1 Block 9

Radon Fee _____

Address 32 FIELDWAY DRIVE

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

3537410020010009090000

Electrical Fee _____

Plumbing Fee _____

Amount Paid 35.00 Check # 207 Cash _____ Other Fees (_____) 1

Roofing Fee 35.00

Total Construction Cost \$ 2300.00

TOTAL Fees 35.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED
2/22/06

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 2/2/06 Permit Number: _____

OWNER/TITLEHOLDER NAME: Bruce Steck Phone (Day) 287-3851 (Fax) _____

Job Site Address: 32 Fieldway DR. City: Sewall's Pt State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Roof Repair

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2300
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Bruce Steck

State of Florida, County of: MARTIN

This the 22nd day of FEBRUARY, 2006

by Bruce Steck who is personally known to me or produced _____

as identification. [Signature]
Notary Public

My Commission Expires: _____

CONTRACTOR SIGNATURE (required)

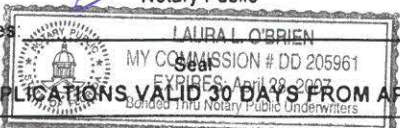
On State of Florida, County of: _____

This the _____ day of _____, 200

by _____ who is personally known to me or produced _____

As identification. _____
Notary Public

My Commission Expires: _____



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Bruce Steck Date: 2/22/06

Signature: Bruce Steck


Address: 32 Fieldway Dr.

City & State: Stuart, FL 34996

Permit No. _____

Roofing Materials List

Item	Type	Quantity	Notes
Shingles:	Oakridge PRO 50 AR	3.5 sq	
Sheathing	40/20, 19/32, exposure 1, 324 PRD-108 HUD-UM-40	as needed	
Clips	PSCL 19/32	as needed	
Nails	Bostitch electro galv 1 ¼"	as needed	shingles
Nails	# 8 galv 2 ½"	as needed	sheathing
Cement	Black Jack	as needed	
Drip Edge	6" gal FHD	40'	
Waterproofing	Grace Ice & Water Shield	3 rolls	(Miami-Dade approved)

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 2/23/06

BUILDING OFFICIAL
 Gene Simmons



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Owens Corning
One Owens Corning Parkway
Toledo, OH 43659

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County or Florida Building Code.

DESCRIPTION: Oakridge PRO 50 AR

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 3.

The submitted documentation was reviewed by Frank Zuloaga, RRC



NOA No: 01-1127.09
Expiration Date: 07/19/06
Approval Date: 01/31/02
Page 1 of 3

ROOFING SYSTEM APPROVAL

Category: Roofing
Sub-Category: 07310 Asphalt Shingles
Materials: Laminate

1. Scope:

This revises a roofing system using Owens Corning Oakridge PRO 50 AR. Asphalt shingles manufactured by Owens Corning Corporation as described in this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County.

2. PRODUCT DESCRIPTION

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Oakridge PRO 50 AR	13 1/4" x 39 3/4"	PA 110	A heavy weight, fiberglass reinforced four tab asphalt shingle.

3. LIMITATIONS:

- 3.1 Fire classification is not part of this acceptance, refer to current Approved Roofing Materials Directory for fire rating of this product.
- 3.2 Shall not be installed on roof mean heights in excess of 33 ft.

4. INSTALLATION:

- 4.1 Shingles shall be installed in compliance with Miami-Dade County Product Control Shingle Installation Procedure No. 115.
- 4.2 Flashings shall be in accordance with Section 9.3 Option 'B' (stop-flashing) of Miami-Dade County Product Control Shingle Installation Procedure No. 115.
- 4.3 The manufacturer shall provide clearly written application instructions.
- 4.4 Exposure and course layout shall be in compliance with Detail 'A', attached.
- 4.5 Nailing shall be in compliance with Detail 'b', attached.

5. LABELING:

- 5.1 Shingles shall be labeled with the Miami-Dade Logo or the wording "Miami-Dade County Product Control Approval".

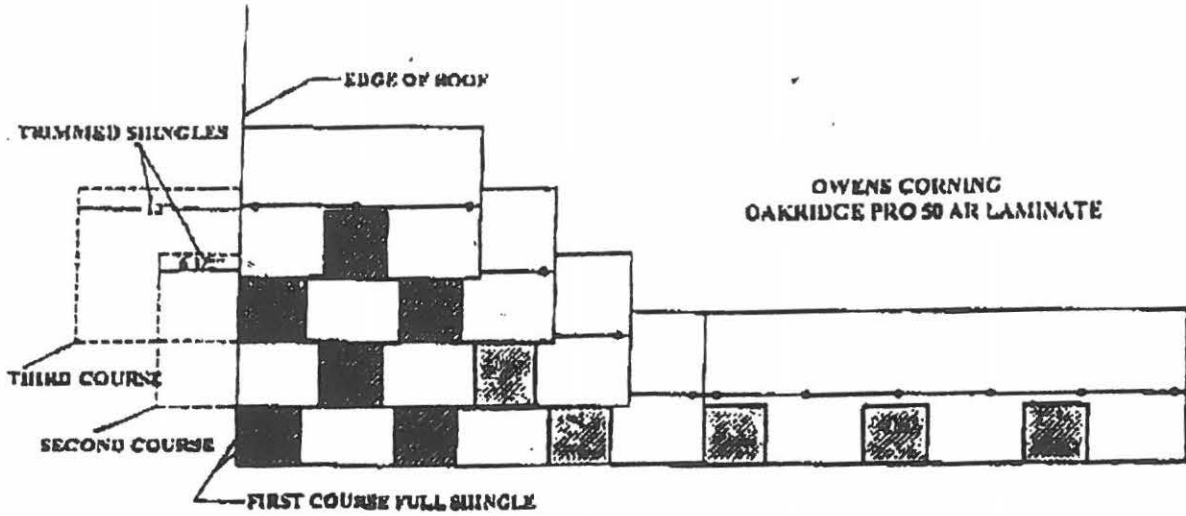
6. BUILDING PERMIT REQUIREMENTS:

- 6.1 Application for building permit shall be accompanied by copies of the following:
 - 6.1.1 This Notice of Acceptance
 - 6.1.2 Any other documents required by Building Official or the Applicable Code in order to properly evaluate the installation of this system.

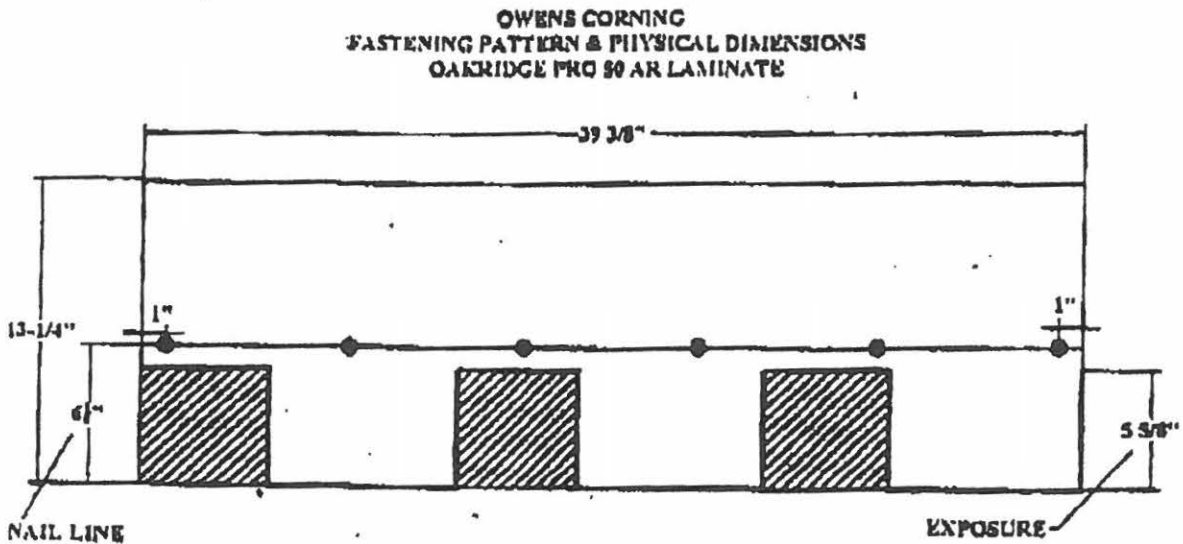


NOA No.: 01-1127.09
Expiration Date: 07/19/06
Approval Date: 01/31/02
Page 2 of 3

DETAIL A



DETAIL B



END OF THIS ACCEPTANCE



NOA No.: 01-1127.09
Expiration Date: 07/19/06
Approval Date: 01/31/03
Page 3 of 3

*** TOTAL PAGE.03 ***

*** TOTAL PAGE.03 ***

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri June 9, 2006

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8104	Miraglia	Final roof	PASS	CLOSE
1	66 NSP	Fee		
	Pacific Roof.	8:30 Am	FAIL Please	INSPECTOR: <i>[Signature]</i>
7945	Rivera	stucco	FAIL	\$40 FEE
7	3 Emaita			
	OB	'not ready'		INSPECTOR: <i>[Signature]</i>
8042	STECK	Final - ^{INTERIOR} Remodel	FAIL	
3	8069 32 Fieldway DR	Stucco + Roof	FAIL PASS	CLOSE
	OB			INSPECTOR: <i>[Signature]</i>
7832	Schmader	Final gas	PASS	CLOSE
6	102 Henry Sewall Way			
	Elite Gas			INSPECTOR: <i>[Signature]</i>
8091	Rosario	Final	PASS	CLOSE
5	137 SR			
	JA Taylor Roof.	Does roof have to be there? 772-466-4040		INSPECTOR: <i>[Signature]</i>
8177	Vitali	Below seat rough plumbing	PASS	
2	13 Knowles Rd			
	Quick Coat			INSPECTOR: <i>[Signature]</i>
Tree	Gillen	Tree	PASS	
8	5 Palmetto			
	Tropical Palm			INSPECTOR: <i>[Signature]</i>

OTHER: _____

8219

SCREEN

ENCLOSURE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 4-27-06

BUILDING PERMIT NO. 8219

Building to be erected for Steck

Type of Permit Pool Enclosure & Footer

Applied for by Ocean Breeze Alum.

(Contractor) Building Fee 120.00

Subdivision Indialucie Lot 9 Block _____

Radon Fee _____

Address 32 Fieldway Drive

Impact Fee _____

Type of structure SFR

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

353741-002-001-00090-90000

Plumbing Fee _____

Amount Paid \$120 Check # 1864 Cash _____

Other Fees (_____) _____

Total Construction Cost \$ 13000

TOTAL Fees 120.00

Signed Raj Butts
Applicant

Signed Gene Simmons
Town Building Official

PERMIT

- | | | |
|---------------------------------------------------------------|----------------------------------------------|----------------------------------------|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input checked="" type="checkbox"/> SCREEN ENCLOSURE & Footer | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | | | |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF TIN TAG/METAL | _____ | ROOF-IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | EARLY POWER RELEASE | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

RECEIVED
4-25-06

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 4/24/06 Permit Number: _____

OWNER/TITLEHOLDER NAME: BRUCE + ANN STECK Phone (Day) 287-3851 (Fax) _____

Job Site Address: 32 FIDOWAY DRIVE City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) INDIAN WOOD LOT 9 BLOCK 1 Parcel Number: 35-37-41-002-001-00090.90000

Owner Address (if different): SAME City: _____ State: _____ Zip: _____

Description of Work To Be Done: CONCRETE FOOTING + POOL ENCLOSURE

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 13,000.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ 4,000.00

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: COMPETITIVE PRICING

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: OCEAN BUREAU ALUMINUM, INC. Phone: 223-5094 Fax: 287-8115

Street: 3201 SE. SLATON ST. BAY #1 City: STUART State: FL Zip: 34997

State Registration Number: _____ State Certification Number: _____ Martin County License Number: SP02390

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: N/A State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT: _____ Lic. #: _____ Phone Number: _____

Street: N/A City: _____ State: _____ Zip: _____

ENGINEER: _____ Lic. #: _____ Phone Number: _____

Street: N/A City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: 950

Carport: _____ Total Under Roof: _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Bruce Steck
State of Florida, County of: Martin
This the 25 day of April, 2006
by Bruce Steck who is personally

known to me or produced as identification: Pl. g. l. Joan H. Barrow

My Commission Expires: Notary Public
JOAN H. BARROW
MY COMMISSION # DD 137713
EXPIRES November 30, 2006

CONTRACTOR SIGNATURE (required)

Raymond G. Burton
On State of Florida, County of: Martin
This the 24 day of April, 2006
by Raymond Burton who is personally

known to me or produced as identification: Pl. g. l. Joan H. Barrow

My Commission Expires: Notary Public
JOAN H. BARROW
MY COMMISSION # DD 305267
EXPIRES November 30, 2006

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITALS
FOR SCREEN ENCLOSURES**

IMPORTANT NOTICE: All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number
6. Scope of Work!
7. Estimated cost of construction.
8. Original signature of owner and notarized
9. Original signature of Contractor and notarized.

Submittals (2 copies)

1. Survey containing the following information:
 - a. Legal Description of Lot
 - b. Lot dimensions and bearings
 - c. Street and Waterway names
 - d. Proposed enclosure location with dimensions off property line
 - e. Easements
 - f. Setbacks
 - g. Road Right-Of-Ways
 - h. Canals, Ponds, or Riverfront locations
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. Application for tree removal or relocation (attach tree survey and removal or relocation plan)
5. A certified copy of the Notice of Commencement for any work over \$2500.00
6. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
7. Copy of Workmen's Compensation
8. Copy of Liability Insurance

The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. Manufactures specifications or shop drawings for screen enclosure
2. Verification that existing footing is capable of supporting and resisting uplift of enclosure

ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE

Reginal A. Butts

(SIGNATURE OF APPLICANT)

DATE SUBMITTED:

4/23/06

INSTR # 1927025 OR BK 02134 PG 1959 RECD 04/20/2006 02:10:13 PM
Pg 1959 (1pg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK T Copus (asst mgr)

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

35-37-41-002-001-00090, 90001

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): INDIA LOCIE LOT 9 BLK 1
32 FIROWAY DRIVE, STUART, FL. 34996

GENERAL DESCRIPTION OF IMPROVEMENT: POOL ENCLOSURE

OWNER: BRUCE STECK

ADDRESS: 32 FIROWAY DRIVE, STUART, FL. 34997

PHONE #: 287-3851 FAX #: _____

INTEREST IN PROPERTY: Owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: OCEAN BREEZE ALUMINUM, INC.

ADDRESS: 3201 SE SLATER ST. STUART, FL. 34997

PHONE #: 287-5094 FAX #: 287-8115

SURETY COMPANY (IF ANY) N/A

ADDRESS: _____

PHONE #: _____ FAX #: _____

BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY N/A

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____

OF _____ TO RECEIVE A COPY OF THE LIENOR'S

NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

THE EXPIRATION DATE IS ONE YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Bruce Steck
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 20th DAY OF April 2006

BY BRUCE STECK

PERSONALLY KNOWN _____
OR PRODUCED ID _____
TYPE OF ID _____

Laura L. O'Brien
NOTARY SIGNATURE



CAPTEC Engineering, Inc.

100 S.W. St. Lucie Avenue, Stuart, FL 34994

772.692.4344 * Fax: 772.692.4341 -

captec1@aol.com



Friday, May 19, 2006

Invoice

AO 8219
Must be paid prior to inspection
5/19/06
6/12 mailed Mayor

Invoice Number: 9150

To: Steck Residence
32 Fieldway Drive
Sewall's Point, FL 34996

Project: 932.18 Town of Sewall's Point Permit Application Review: 32 Fieldway Drive

Professional Services for the Period: 5/1/2006 to 5/18/2006

Task 2: Plan Review

Professional Services

<u>Task 2: Plan Review</u>	<u>Bill Hours</u>	<u>Charge</u>
Office Manager	0.25	16.25
Project Coordinator	0.25	13.75
Design Manager	2.00	190.00
Task 2: Plan Review Total:	2.50	\$220.00
Professional Services Totals:		\$220.00

***** Total Project Invoice Amount: \$ 220.00**

Aged Receivables: Please note - All project work will stop if receivables reach 60 days.

<u>Current</u>	<u>+30 Days</u>	<u>+60 Days</u>	<u>+90 Days</u>	<u>120 Days +</u>
\$220.00	\$0.00	\$0.00	\$0.00	\$0.00

Joe Capra
Mayor asked if you would write this off - called + left mess on vm.
6/14/06

Joe Capra called & said he will wash this off - 11:50 AM 6/14/06

Valerie Meyer

From: "Dan Morris" <corsaircapital@bellsouth.net>
To: "Valerie Meyer" <builddpt@sewallspoint.martin.fl.us>
Sent: Friday, May 19, 2006 3:57 PM
Subject: Steck residence. 32 Fieldway Drive

8219

Ms. Ann Steck telephoned me. She reports that she was not advised by Captec that they would be charging a fee for services relating to their pool screen and its footers. Ms. Steck said she had called Captec at Phil's suggestion to discuss a problem of an encroachment of a newly poured footer, and she later was told of a fee of \$220 from Captec. She thinks she should have been advised beforehand by Captec about the charge for the phone consultation on how to deal with the encroachment.

Would you please speak to Joe Capra about this, or ask Joe to give me a ring.

CAPTEC Engineering, Inc.
 300 S.W. St. Lucie Avenue, Stuart, FL 34994
 772.692.4344 * Fax: 772.692.4341 -
 captec1@aol.com



Invoice

Friday, May 19, 2006

Invoice Number: 9150

*PO 8219
 Must be paid
 prior to
 inspection
 5/19/06
 @*

To: Steck Residence
 32 Fieldway Drive
 Sewall's Point, FL 34996

Project: 932.18 Town of Sewall's Point Permit Application Review: 32 Fieldway Drive

Professional Services for the Period: 5/1/2006 to 5/18/2006

Task 2: Plan Review

Professional Services

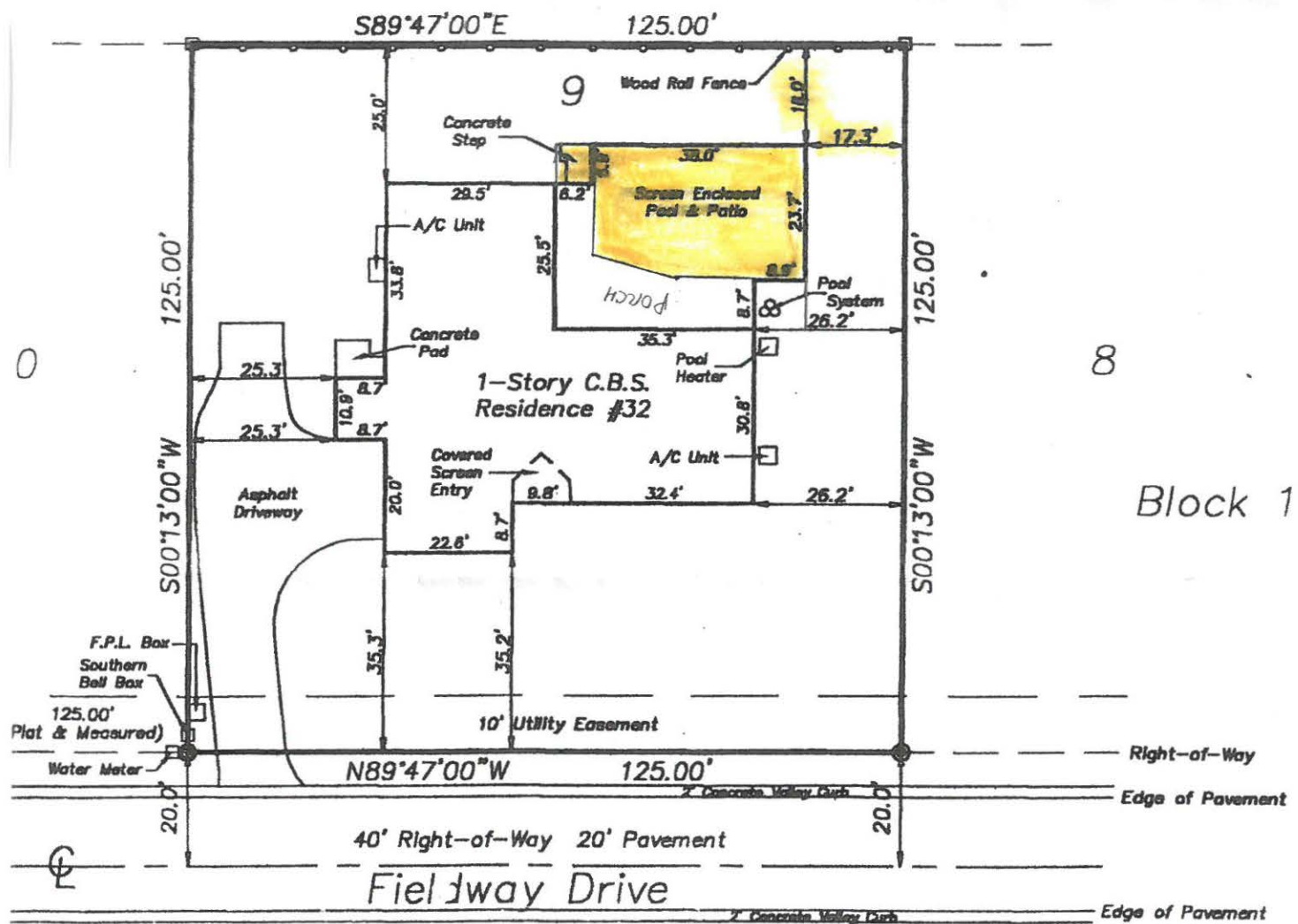
<u>Task 2: Plan Review</u>	<u>Bill Hours</u>	<u>Charge</u>
Office Manager	0.25	16.25
Project Coordinator	0.25	13.75
Design Manager	2.00	190.00
Task 2: Plan Review Total:	2.50	\$220.00
Professional Services Totals:		\$220.00

***** Total Project Invoice Amount: \$ 220.00**

Aged Receivables: Please note - All project work will stop if receivables reach 60 days.

<u>Current</u>	<u>+30 Days</u>	<u>+60 Days</u>	<u>+90 Days</u>	<u>120 Days +</u>
\$220.00	\$0.00	\$0.00	\$0.00	\$0.00

Scale 1" = 30'



Block 1

ADDRESS: 32 Fieldway Drive
Stuart, Florida

NOTE: Water Service

REPAIR WORK FOR HURRICANE DAMAGE

DESCRIPTION:

Block 1, PLAT OF TRACTS "A" & "B" IN PLAT OF INDIALUCIE, according to the Plat thereof, as in Plat Book 4, Page 85 of the Public Records of Martin County, Florida.

TO:
ECK AND ANN STECK;
ROTHERS BANK, ITS SUCCESSORS AND/OR ASSIGNS;
SEWELL, SOPKO & LEVENSTEIN, P.A.;
S' TITLE INSURANCE FUND, INC.

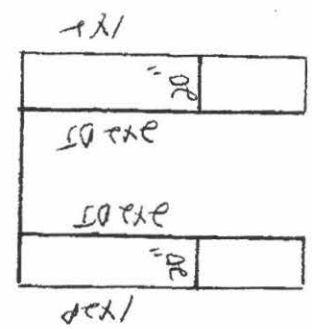
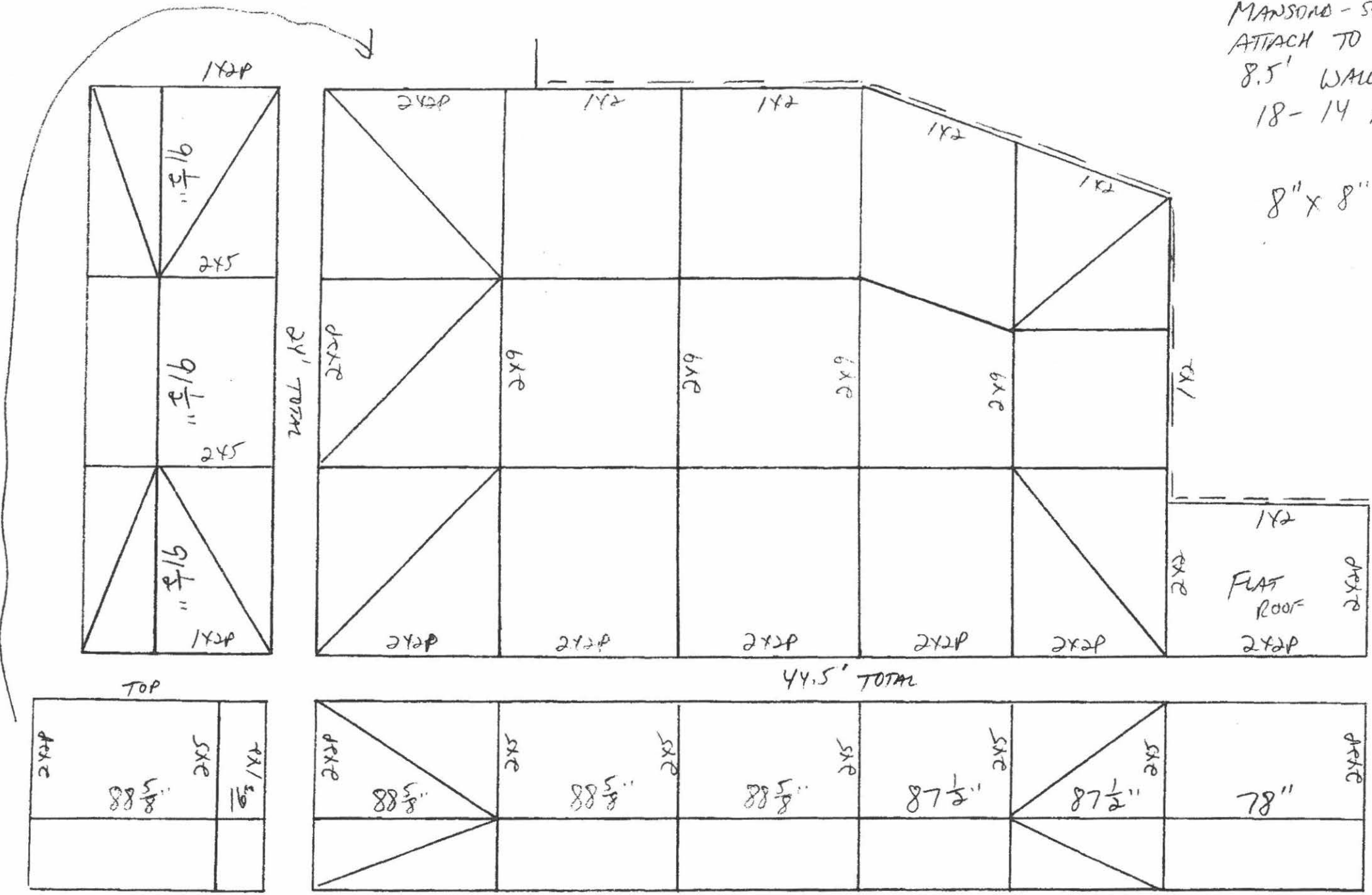
FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 4/27/06
[Signature]
BUILDING OFFICIAL
Gene Simmons

Flood Zones "B" & "C"

Bearings hereon are referred to an assumed value of North 89°47'00" West for

MANSION-STYLE SCREEN ROOF
 ATTACH TO SUPPL-GUTTER
 8.5' WALL HEIGHT 32" CHANNEL
 18-14 MESH SCREEN

8" x 8" FOOTING 1 #5 RE-BAR



GENERAL NOTES AND DESIGN PARAMETERS:

1. THIS OVERALL DESIGN COMPLIES WITH THE GUIDELINES DEFINED IN CHAPTER 16 AND CHAPTER 20, FLA. BLDG. CODE 2004, AND IS BASED ON THE FOLLOWING PARAMETERS:

- WIND SPEED: 140 M.P.H., 3-SECOND GUST
 - EXPOSURE CATEGORY: 'B'
 - DESIGN PRESSURES: SIMULTANEOUS LOADING WITH ROOF @ 6 P.S.F., WALLS @ 18 P.S.F. (PER TABLE #2002.4, F.B.C. 2004)
 - MAXIMUM HEIGHT: 30' 0" (LARGER JOBS REQUIRE SITE-SPECIFIC DESIGN BY THE ENGINEER OF RECORD, AND MAY BE SUBJECT TO MORE STRENGENT DESIGN PARAMETERS)
 - ALLOWABLE DEFLECTION: 'L' / 60 (AS SPECIFIED IN TABLE #1610.1, FOR NON-HIGH VELOCITY HURRICANE ZONES)
 - CONTINUOUS LOAD PATH IS PROVIDED
2. MATERIALS (UNLESS OTHERWISE SPECIFIED BY THE ENGINEER OF RECORD)
- ALL EXTRUSIONS: ALUMINUM ALLOY #6063-T6 (NOTE: SPLICE PLATE MATERIAL MAY BE EXTRUDED FROM ALUMINUM ALLOY #6061-T6, IF THIS ALLOY IS MORE READILY AVAILABLE TO THE CONTRACTOR).
 - FASTNERS: ALUMINUM ALLOYS #2024-T4 & #1075-T6, DOUBLE CAD-PLATED STEEL, HOT-DIPPED GALVANIZED STEEL, OR 300-SERIES STAINLESS STEEL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE FOR SEPARATION OF DISSIMILAR MATERIALS AS THEY ARE DEFINED IN SECTION #2003.8.4. HE / SHE MAY IMPLEMENT ANY OF THE MEANS LISTED IN THESE SECTIONS. ANY ALTERNATE MEANS MUST BE REVIEWED AND APPROVED IN WRITING, BY THE ENGINEER OF RECORD, PRIOR TO ANY INSTALLATIONS UTILIZING THE SUBJECT METHOD.
 - SCREEN CLOTH: SHALL BE VINYL-COATED, WOVEN FIBERGLASS, MAXIMUM DENSITY OF 18 x 14 (58% OPEN, MINIMUM).
3. ALL FASTENERS THAT PASS THROUGH ANY EXTRUSION INTO CONCRETE, MASONRY, WOOD, OR OTHER ALUMINUM EXTRUDED FRAME MEMBER, MUST HAVE A 5/8-INCH DIAMETER WASHER (MINIMUM), AND BE NO MORE THAN 24 INCHES CENTER-TO-CENTER SPACING (UNLESS OTHERWISE SPECIFIED BY THE ENGINEER OF RECORD).
4. ALL FASTENERS ADJACENT TO COLUMNS THAT DO NOT REQUIRE REINFORCING ANGLE CLIPS, MUST BE PLACED WITHIN 4 INCHES OF THE UPRIGHT (ON BOTH SIDES). (REFER TO GENERAL NOTE #3 FOR SPACING SPECIFICATIONS)
5. ANY SCREEN ROOF ENCLOSURE THAT MEETS ANY OF THE FOLLOWING PARAMETERS SHALL REQUIRE THAT THE SITE-SPECIFIC / LAYOUT DRAWING BE REVIEWED AND SEALED BY THE ENGINEER OF RECORD (THIS SHALL SERVE THE PURPOSE OF ENSURING THAT THERE ARE NO EXTREME PARAMETERS THAT MAY EXCEED THE LIMITATIONS OF THE GENERAL DESIGN SPECIFICATIONS CONTAINED WITHIN THIS DESIGN DOCUMENT).
- ANY SCREEN ROOF ENCLOSURE THAT CONTAINS ANY ROOF BEAMS THAT EXCEED A SPAN OF 40 FEET.
 - ANY SCREEN ROOF ENCLOSURE THAT CONTAINS WALL COLUMNS THAT EXCEED 12 FEET IN HEIGHT (AT ANY POINT ON THE ENCLOSURE)
 - ANY SCREEN ROOF ENCLOSURE THAT CONTAINS ANY ROOF BEAMS THAT ARE NOT SUPPORTED ON ONE END BY THE HOST STRUCTURE (ANY 'FREESTANDING' BEAMS).
 - ANY SCREEN ROOF ENCLOSURE THAT UTILIZES ANY CARRIER BEAMS (BEAMS THAT SUPPORT THE ENDS OF ANY OF THE OTHER ROOF BEAMS).
 - ANY SCREEN ROOF ENCLOSURE THAT IS BEING INSTALLED ONTO AN EXISTING SOLID ALUMINUM ROOF STRUCTURE OR IN COMBINATION WITH A PROPOSED SOLID ALUMINUM ROOF STRUCTURE (IN WHICH THE EXISTING OR PROPOSED ALUMINUM ROOF STRUCTURE EITHER PARTIALLY OR WHOLLY SUPPORTS ANY PART OF THE SCREEN ROOF ENCLOSURE).
6. IF A PROPOSED SCREEN ROOF ENCLOSURE IS FULLY SUPPORTED (TO ITS FULL HEIGHT) ON TWO SIDES, BY THE HOST STRUCTURE, THERE WILL BE NO LATERAL WIND BRACING (ROOF OR WALLS) REQUIRED. (PLEASE NOTE THAT ALL OF THE CRITERIA SPECIFIED IN GENERAL NOTE #5 ABOVE, STILL APPLY, EVEN WHEN THE PROPOSED ENCLOSURE IS FULLY SUPPORTED TO ITS FULL HEIGHT ON TWO SIDES)
7. SCREEN DOOR(S) MAY BE LOADED INTO ANY SCREEN WALL PANEL, EXCEPT FOR THOSE THAT CONTAIN DIAGONAL 'K' BRACING (AS PER OWNER SELECTION). ALL SCREEN DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING.
8. COPIES OF THIS ENGINEERING DESIGN DETAIL SPECIFICATION DRAWING (ALL SHEETS) ARE ONLY TO BE VALID FOR PERMITTING PURPOSES OR FOR DESIGN CERTIFICATION PURPOSES WHEN ALL SHEETS OF ANY SUBMITTED SET BEAR THE ENGINEER'S ORIGINAL SIGNATURE (IN BLUE INK) UNDER HIS EMBOSSED SEAL. NO SETS OF THESE SPECIFICATION DRAWINGS SHOULD BE ACCEPTED, OR CONSIDERED VALID IF THE DATE UNDER THE EMBOSSED SEAL IS MORE THAN 90 DAYS OLD.
9. ANY ORIGINAL SIGNED (IN BLUE INK) AND SEALED SITE-SPECIFIC DESIGN DRAWINGS, ALONG WITH ITS SITE-SPECIFIC SPECIFICATIONS, SHALL ONLY SUPERCEDE THESE DESIGN SPECIFICATION DRAWINGS, WHEN IT IS SPECIFICALLY STATED ON THE SITE DRAWING AND THAT SITE DRAWING IS DEFINED AS A 'SITE-SPECIFIC' DESIGN.

INTERNAL CONNECTION SPECIFICATION (UTILIZING SCREW BOSSES)

ALL INTERNAL CONNECTIONS UTILIZING THE EXTRUDED SCREW BOSSES SHALL HAVE A MINIMUM OF TWO (2) #10 SMS SCREWS, WITH A MINIMUM EMBEDMENT INTO THE SCREW BOSS OF 1 3/4" (UNLESS OTHERWISE SPECIFIED ON THE CONNECTION DETAILS THAT ARE SPECIFIED ON ANY PAGE OF THIS DESIGN DOCUMENT).

SCREEN PANEL INSTALLATION SPECIFICATION:

PLEASE NOTE THAT ALL SCREEN PANEL OPENINGS (BOTH ROOF AND WALLS) SHALL BE INSTALLED ON ALL FOUR SIDES WITH SPLINE (INDEPENDANT OF ALL SURROUNDING PANELS). THE ONLY FRAMING COMPONENTS THAT ARE NOT REQUIRED TO HAVE SPLINE INSTALLED IN THEM ARE ALL OF THE DIAGONAL WALL AND ROOF BRACING.

CONCRETE ANCHOR SPECIFICATIONS:

ALL CONCRETE ANCHORS SPECIFIED ON THIS DETAIL SHEET ARE MANUFACTURED BY 'RED HEAD' ANCHORING SYSTEMS, AS ALL LOAD CAPABILITIES ARE BASED ON TEST DATA FURNISHED BY RED HEAD IN THEIR PRODUCT AND RESOURCE BOOK. NO SUBSTITUTIONS OF ANY OTHER MANUFACTURER'S CONCRETE ANCHORS IS PERMITTED WITHOUT SUBMITTAL OF THE COMPANY'S TEST DATA (TO VERIFY EQUIVALENT LOAD CAPACITIES) AND A WRITTEN, SIGNED AND SEALED LETTER OF AUTHORIZATION FROM THE ENGINEER OF RECORD. ANY UNAUTHORIZED ANCHOR SUBSTITUTION SHALL BE DEEMED NON-COMPLIANT WITH THIS DESIGN. THE ANCHORS TO BE USED FOR APPLICATIONS SPECIFIED IN THIS ENGINEERING DESIGN PLAN ARE AS FOLLOWS:

1/4" DIA FASTNERS: RED HEAD ITW TAPCON (SEE INDIVIDUAL DETAILS FOR MINIMUM EMBEDMENT DEPTH INTO CONCRETE)

3/8" DIA. FASTNERS: (OPTIONS) 3/8" TRU BOLT WEDGE ANCHOR (SEE INDIVIDUAL DETAILS FOR QUANTITY OF FASTENERS NEEDED) (MINIMUM EMBEDMENT SHALL BE 3' INTO CONCRETE UNLESS OTHERWISE SPECIFIED IN ANY DETAIL)

3/8" LARGE DIAMETER TAPCON (LDT) (SEE INDIVIDUAL DETAILS FOR QUANTITY OF FASTENERS NEEDED) (MINIMUM EMBEDMENT SHALL BE 2 1/2' INTO CONCRETE UNLESS OTHERWISE SPECIFIED IN ANY DETAIL)

PLEASE REFER TO RED HEAD RESOURCE MANUAL FOR ACTUAL LOAD CAPABILITIES AND MINIMUM EDGE AND CENTER-TO-CENTER DISTANCES, AS THESE VALUES ARE THE BASIS FOR ALL DESIGN SPECIFICATIONS SHOWN ON THIS DESIGN DETAIL.

FOR BRICK PAVER INSTALLATION:

FOR INSTALLATION ON A BRICK PAVER DECK, THE ONLY FASTNERS THAT WILL MEET THE DESIGN CRITERIA INDICATED WITHIN THESE DESIGN SPEC'S ARE THE RED HEAD TRU BOLT WEDGE ANCHOR (3/8" x 1"), WHICH BASED ON 1/8" ANGLE, 1 x 2 O.B., 2 1/8" THICK BRICK PAVER AND A MAXIMUM MORTAR BED THICKNESS OF 3/4". THIS SCENARIO WILL STILL MEET THE MINIMUM FASTENER EMBEDMENT. IF ANY OF THESE CONTRIBUTING FACTORS EXCEED THE DIMENSIONAL BREAKDOWN INDICATED, THE JOB MUST BE PRESENTED TO THE ENGINEER OF RECORD FOR SITE-SPECIFIC ANCHORING DESIGN.

SCREW SPACING AND EDGE DISTANCE SPEC'S

THIS TABLE IS BASED ON THE PROPERTIES OF C-1022 LOW CARBON STEEL SMS AND SELF-DRILLING (TEK) SCREWS, WHICH ARE AN INDUSTRY STANDARD SCREW.

SCREW SIZE	NOMINAL SCREW DIAMETER (IN.)	MIN. EDGE DISTANCE	MIN. CENTER-TO-CENTER DISTANCE
#8	0.156	5/16"	7/16"
#10	0.188	3/8"	1/2"
#12	0.219	1/2"	5/8"
#14	0.250	5/8"	3/4"

MINIMUM FOOTER TABLES

MONO FOOTER	MAX. BM. SPAN	ISOLATED FOOTER(*)	MAX. BM. SPAN
8' x 8' WITH (1) #5 @ CONT.	UP TO 38'	12' x 12' WITH (2) #5 @ CONT.	UP TO 30'
8' x 12' WITH (1) #5 @ CONT.	UP TO 41'	12' x 16' WITH (2) #5 @ CONT.	31' TO 39'
10' x 12' WITH (1) #5 @ CONT.	UP TO 48'	14' x 16' WITH (2) #5 @ CONT.	40' TO 44'
12' x 12' WITH (2) #5 @ CONT.	UP TO 55'	16' x 16' WITH (2) #5 @ CONT.	44' TO 52'

IF A JOB EXCEEDS THESE PARAMETERS, THE FOUNDATION MUST BE SITE-SPECIFICALLY DESIGNED BY THE ENGINEER

MONOLITHIC FTG. LOAD CAPACITIES ARE BASED ON A MIN. OF 3 FEET OF CONT. CONCRETE, 2,500 PSI MINIMUM, W/ WIRE OR FIBERMESH REINFORCEMENT

(*) ISOLATED FOOTERS MAY BE USED ON EDGE OF EXIST. CONC. SLAB OR UNDERNEATH THE PERIMETER OF BRICK PAVER DECK (ALL SIDES)

SNAP / LAP JOINT CONNECTION NOTE:

ALL FRAMING MEMBERS ON ANY ENCLOSURE THAT UTILIZE SNAP OR LAP JOINT IN THEM SHALL HAVE #12 TEK'S INSTALLED THRU THE SNAP OR LAP CONNECTION AT 18 INCHES ON CNTR. (TYP). THESE TEK SCREWS ARE TO BE PLACED ON BOTH EDGES OF THE UPRIGHT (BOTH THE INNER AND THE OUTER EDGE) IN ALL CASES. THIS SPECIFICATION APPLIES TO UPRIGHTS AND BEAMS BOTH.

GIRT (CHAIR RAIL) AND PURLIN SPACING SPECIFICATION NOTE:

ALL 2 x 2 H GIRTS (CHAIR RAILS) LOCATED IN THE SCREEN WALLS AND ALL PURLINS LOCATED IN THE SCREEN ROOF SHALL NOT EXCEED 8' 0" CENTER-TO-CENTER SPACING

EXIST. HOUSE FASCIA NOTES:

- THE EXISTING HOUSE FASCIA OVERHANG SHALL NOT EXCEED 2' 0" (24 INCHES) FOR THIS INSTALLATION. IF THE HOUSE OVERHANG EXCEEDS THIS DIMENSION, THE JOB MUST BE PRESENTED TO THE ENGINEER OF RECORD FOR SITE-SPECIFIC FASCIA REINFORCEMENT DESIGN.
- IT SHALL BE THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO INSPECT AND INSURE THE CONDITION OF THE EXISTING FASCIA, TO DETERMINE IF IT IS IN GOOD ENOUGH CONDITION TO SUPPORT THE PROPOSED SCREEN ENCLOSURE (PRIOR TO ITS INSTALLATION)

DWAYNE DOWDY
DATE: 01/25/05
APPROVED:
D. A. DOWDY, P.E.
DWG. NO. 04-140-XB
LAST REV. 08/30/05

NOTE TO BUILDING OFFICIALS:
THIS ENGINEERING IS ONLY VALID FOR BUILDING PERMIT PURPOSES WHEN IT BEARS THE ORIGINAL SIGNATURE AND RAISED / EMBOSSED SEAL FROM THE ENGINEER OF RECORD (PHOTOCOPIES ARE NOT TO BE ACCEPTED OR CONSIDERED AS VALID FOR PERMITTING) (RE: GEN. NOTE #8)

POOL / PATIO ENCLOS.
WITH SCREEN ROOF
140 MPH, EXP #B"
(SHEET 1 OF 4)

D. A. DOWDY, P.E.

B.D.Q., INC.
P. O. BOX 20207
WEST PALM BEACH, FL 33416
D. A. DOWDY, P.E.
FL REG. NO. 22763
FLA. ENG. CERT. OF AUTH. NO. 8238

BEAM SPANS AND COLUMN SIZES ON THIS SHEET ARE BASED ON SIMULTANEOUS LOADING, AS DEFINED IN TABLE 2002.4, F.B.C. 2004, FOR 140 MPH WINDS, FOR EXPOSURE CATEGORY 'B' (18 P.S.F. WALLS, 6 P.S.F. ROOF, 10 P.S.F. LIVE LOAD)

BEAM SPAN CALCULATION NOTE:
THE SPANS IN THESE TABLES ARE BASED ON BOTH THE HOST STRUCTURE MOUNTING POINT AND WALL HEIGHT BEING THE SAME MEASUREMENT

FLAT (SIMPLE) ROOF BEAM SCHEDULE FOR FLAT BEAMS, L80 MAX. (140 MPH, EXPOS. 'B')

SIZE	DIMENSION		ROOF PANEL WIDTH vs BEAM SPAN (FOR MAX. WALL HEIGHT OF 16' 0")									
	Tf	Tw	8' 0"	7' 6"	7' 0"	6' 6"	6' 0"	5' 6"	5' 0"	4' 6"	4' 0"	
2x2 SN	.044	.044	4' 10"	5' 0"	5' 3"	5' 5"	5' 8"	5' 10"	6' 2"	6' 6"	6' 11"	
2x3 SN	.055	.055	7' 1"	7' 4"	7' 7"	7' 11"	8' 3"	8' 6"	9' 0"	9' 6"	10' 0"	
2x4 SN	.045	.045	7' 11"	8' 2"	8' 6"	8' 9"	9' 2"	9' 6"	10' 0"	10' 6"	11' 2"	
2x4 L	.100	.045	10' 9"	11' 2"	11' 6"	12' 0"	12' 5"	13' 0"	13' 7"	14' 4"	15' 3"	
2x5 L	.116	.050	13' 1"	13' 6"	14' 0"	14' 6"	15' 1"	15' 9"	16' 6"	17' 5"	18' 5"	
2x6 L	.120	.050	13' 7"	14' 0"	14' 6"	15' 0"	15' 8"	16' 4"	17' 1"	18' 0"	19' 1"	
2x7 L	.120	.057	14' 9"	15' 2"	15' 9"	16' 4"	17' 0"	17' 9"	18' 7"	19' 7"	20' 9"	
2x8 L	.224	.072	18' 0"	18' 7"	19' 2"	19' 11"	20' 8"	21' 7"	22' 7"	23' 9"	25' 2"	
2x9 L (L)	.209	.072	21' 9"	22' 5"	23' 2"	24' 0"	25' 0"	26' 1"	27' 3"	28' 8"	30' 4"	
2x9 L (H)	.308	.082	26' 9"	27' 8"	28' 7"	29' 8"	30' 9"	32' 1"	33' 7"	35' 3"	37' 3"	
2x10 L	.389	.092	31' 7"	32' 7"	33' 8"	34' 9"	36' 2"	37' 8"	39' 5"	41' 5"	43' 8"	

MANSARD / CENTER PEAK (GABLE) ROOF BEAM SCHEDULE L80 MAX. (140 MPH, EXP. 'B')

THIS SPAN TABLE IS LIMITED TO A MAXIMUM VERTICAL RISE OF 3' 0" (36")

SIZE	DIMENSION		ROOF PANEL WIDTH vs BEAM SPAN (FOR MAX. WALL HEIGHT OF 8' 0")									
	Tf	Tw	8' 0"	7' 6"	7' 0"	6' 6"	6' 0"	5' 6"	5' 0"	4' 6"	4' 0"	
2x4 SN	.045	.045										
2x4 L	.100	.045									9' 8"	
2x5 L	.116	.050						9' 3"	11' 0"	12' 8"	16' 6"	
2x6 L	.120	.050					9' 0"	10' 7"	12' 2"	13' 9"	17' 1"	
2x7 L	.120	.057	8' 2"	9' 6"	10' 9"	12' 2"	13' 7"	15' 1"	16' 7"	18' 6"	20' 4"	
2x8 L	.224	.072	15' 7"	16' 8"	17' 9"	19' 1"	20' 4"	21' 9"	23' 4"	25' 2"	27' 3"	
2x9 L (L)	.209	.072	21' 9"	22' 6"	23' 2"	24' 1"	25' 0"	26' 1"	27' 3"	28' 8"	30' 4"	
2x9 L (H)	.308	.082	26' 9"	27' 8"	28' 7"	29' 8"	30' 9"	32' 1"	33' 6"	35' 3"	37' 3"	
2x10 L	.389	.092	31' 6"	32' 6"	33' 7"	34' 9"	36' 1"	37' 7"	39' 6"	41' 5"	43' 8"	

WALL COLUMN SCHEDULE (COLUMN SIZES VS. WALL PANEL WIDTH)
L/60 MAX. ALLOWABLE DEFLECTION (140 MPH, EXP. 'B', 18 P.S.F. DESIGN LOAD)

SIZE	DIMENSION		WALL PANEL WIDTH vs COLUMN HEIGHT (DESIGN PRESSURE = 18 PSF)									
	Tf	Tw	8' 0"	7' 6"	7' 0"	6' 6"	6' 0"	5' 6"	5' 0"	4' 6"	4' 0"	
2x3 SN	.055	.055	5' 9"	5' 11"	6' 1"	6' 4"	6' 7"	6' 11"	7' 3"	7' 8"	8' 1"	
2x3 L	.055	.055	5' 9"	5' 11"	6' 1"	6' 4"	6' 7"	6' 11"	7' 3"	7' 8"	8' 1"	
2x4 SN	.045	.045	6' 4"	6' 7"	6' 10"	7' 1"	7' 4"	7' 8"	8' 1"	8' 6"	9' 0"	
2x4 L	.100	.045	8' 2"	8' 5"	8' 9"	9' 1"	9' 5"	9' 10"	10' 4"	10' 11"	11' 7"	
2x5 L	.116	.050	10' 2"	10' 6"	10' 10"	11' 3"	11' 8"	12' 3"	12' 10"	13' 6"	14' 4"	
2x6 L	.120	.050	11' 7"	12' 0"	12' 5"	12' 10"	13' 5"	14' 0"	14' 8"	15' 6"	16' 5"	
2x7 L	.120	.057	13' 2"	13' 7"	14' 1"	14' 7"	15' 2"	15' 10"	16' 8"	17' 7"	18' 7"	
2x8 L	.224	.072	14' 11"	15' 5"	15' 11"	16' 6"	17' 2"	18' 0"	18' 10"	19' 10"	21' 0"	
2x9 L (L)	.209	.072	16' 10"	17' 4"	17' 11"	18' 8"	19' 5"	20' 3"	21' 3"	22' 5"	23' 9"	
2x9 L (H)	.308	.082	22' 1"	22' 9"	23' 7"	24' 6"	25' 6"	26' 8"	27' 10"	29' 5"	31' 3"	
2x10 L	.389	.092	26' 0"	26' 10"	27' 9"	28' 10"	30' 0"	31' 4"	32' 10"	34' 8"	36' 9"	

MANSARD / CENTER PEAK (GABLE) ROOF BEAM SCHEDULE L80 MAX. (140 MPH, EXP. 'B')

THIS SPAN TABLE IS LIMITED TO A MAXIMUM VERTICAL RISE OF 3' 0" (36")

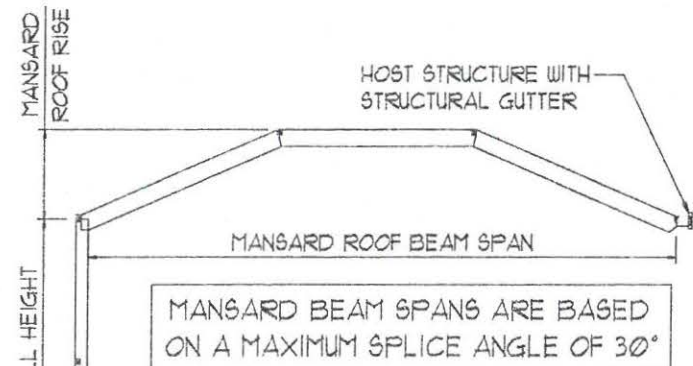
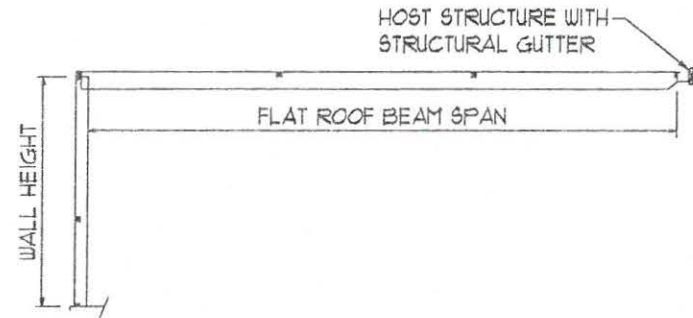
SIZE	DIMENSION		ROOF PANEL WIDTH vs BEAM SPAN (FOR MAX. WALL HEIGHT OF 12' 0")									
	Tf	Tw	8' 0"	7' 6"	7' 0"	6' 6"	6' 0"	5' 6"	5' 0"	4' 6"	4' 0"	
2x4 SN	.045	.045										
2x4 L	.100	.045									8' 1"	
2x5 L	.116	.050									11' 3"	
2x6 L	.120	.050									10' 0"	
2x7 L	.120	.057							9' 1"	11' 7"	14' 0"	
2x8 L	.224	.072	10' 0"	11' 7"	13' 2"	14' 9"	16' 7"	18' 3"	20' 2"	22' 3"	24' 7"	
2x9 L (L)	.209	.072	19' 6"	20' 8"	22' 2"	23' 8"	25' 5"	27' 4"	29' 4"	31' 8"	34' 6"	
2x9 L (H)	.308	.082	26' 9"	27' 8"	28' 7"	29' 8"	30' 9"	32' 1"	33' 6"	35' 3"	37' 3"	
2x10 L	.389	.092	31' 6"	32' 6"	33' 7"	34' 9"	36' 1"	37' 7"	39' 6"	41' 5"	43' 8"	

MANSARD / CENTER PEAK (GABLE) ROOF BEAM SCHEDULE L80 MAX. (140 MPH, EXP. 'B')

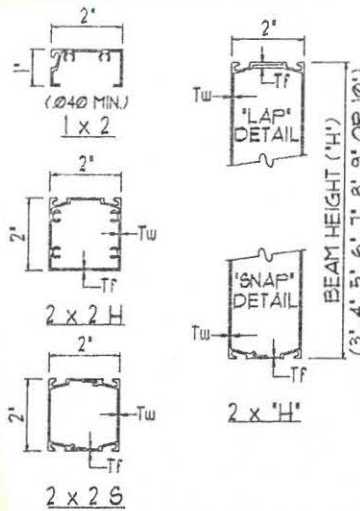
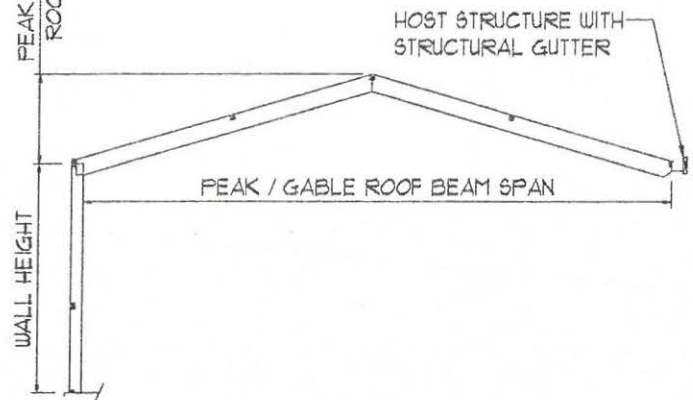
THIS SPAN TABLE IS LIMITED TO A MAXIMUM VERTICAL RISE OF 3' 0" (36")

SIZE	DIMENSION		ROOF PANEL WIDTH vs BEAM SPAN (FOR MAX. WALL HEIGHT OF 16' 0")									
	Tf	Tw	8' 0"	7' 6"	7' 0"	6' 6"	6' 0"	5' 6"	5' 0"	4' 6"	4' 0"	
2x4 SN	.045	.045										
2x4 L	.100	.045										
2x5 L	.116	.050										
2x6 L	.120	.050										
2x7 L	.120	.057									11' 4"	
2x8 L	.224	.072				8' 9"	11' 6"	14' 0"	16' 4"	18' 9"	21' 7"	
2x9 L (L)	.209	.072	13' 8"	15' 4"	17' 2"	19' 0"	21' 0"	23' 0"	25' 2"	27' 7"	30' 3"	
2x9 L (H)	.308	.082	24' 3"	25' 9"	27' 4"	29' 2"	31' 0"	33' 1"	35' 4"	38' 0"	40' 9"	
2x10 L	.389	.092	31' 6"	32' 6"	33' 7"	34' 9"	36' 1"	37' 7"	39' 6"	41' 5"	43' 8"	

MANSARD BEAM SPANS OF LESS THAN 8' 0" ARE OMITTED FROM THIS TABLE

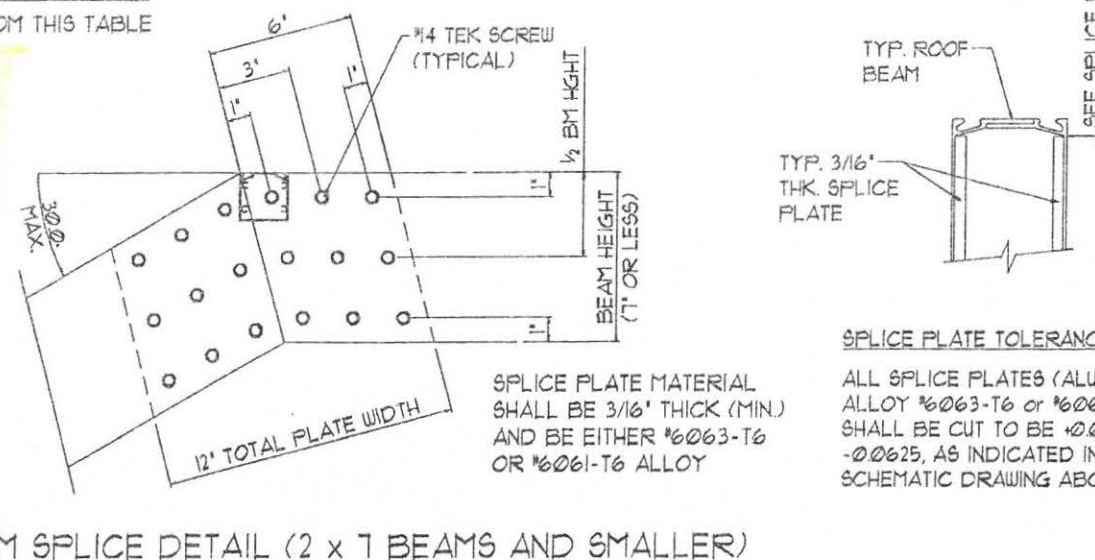
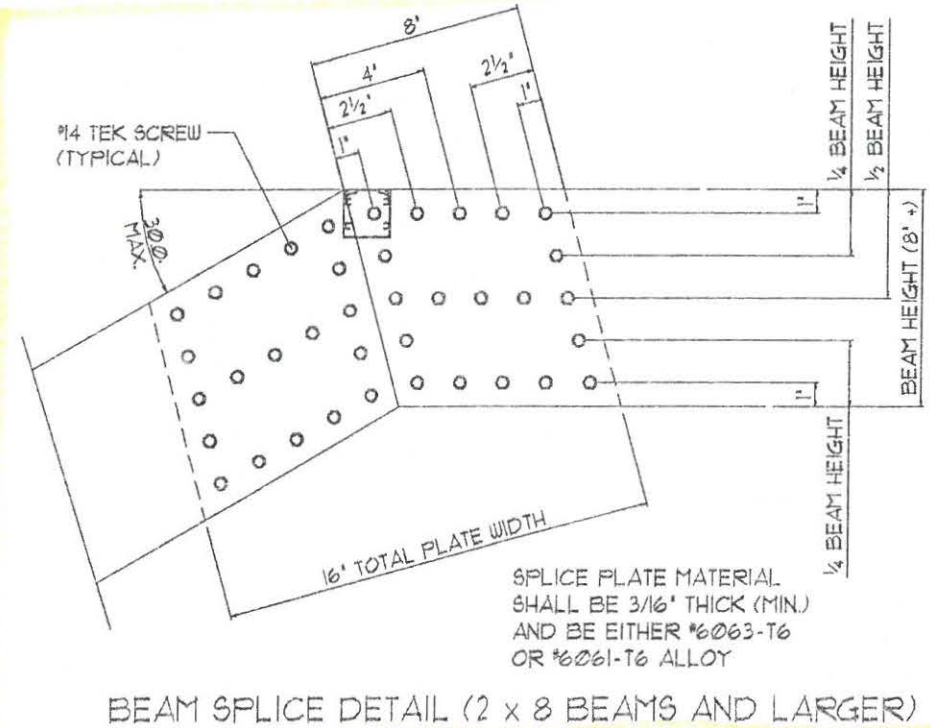


FOR HALF-MANSARD BEAM SPANS, USE VALUES SHOWN IN 'MANSARD BEAM SPAN TABLE (SAME MAX. SPLICE ANGLE (30°) APPLIES TO HALF-MANSARD BEAMS)



ALL 'TUBE' SHAPES SPECIFIED ON THE DETAILS WITHIN THESE DETAIL SHEETS SHALL HAVE THE SPECIFIED WALL THICKNESSES ON ALL FOUR WALLS

SECONDARY FRAMING MEMBER WALL THICKNESS
1 x 2 O.B. @ .044
2 x 2 H @ .044
2 x 2 SNAP @ .044




DWN: E. DOWDY
DATE: 01/28/05
APPROVED:
D. A. DOWDY, P.E.
DWG. NO. 04-140-XB
LAST REV. 08/30/05

NOTE TO BUILDING OFFICIALS:
THIS ENGINEERING IS ONLY VALID FOR BUILDING PERMIT PURPOSES WHEN IT BEARS THE ORIGINAL SIGNATURE AND RAISED / EMBOSSED SEAL FROM THE ENGINEER OF RECORD (PHOTOCOPIES ARE NOT TO BE ACCEPTED OR CONSIDERED AS VALID FOR PERMITTING) (RE: GEN. NOTE #8)

POOL / PATIO ENCLOS. WITH SCREEN ROOF
140 MPH, EXP 'B'
(SHEET 2 OF 4)

[Signature]

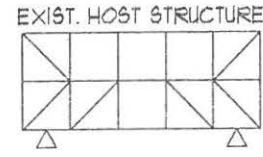
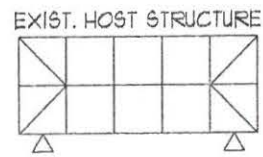
B.D.Q., INC.
P. O. BOX 20207
WEST PALM BEACH, FL 33416
D. A. DOWDY, P.E.
FL REG. NO. 22763
FLA. ENG. CERT. OF AUTH. NO. 8238

 - INDICATES WALL PANEL THAT SHALL HAVE DIAGONAL "K"-BRACING IN IT

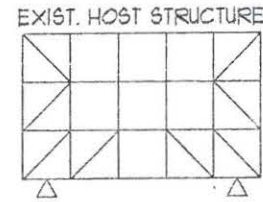
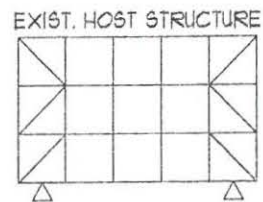
UP TO 8' WALL HGHT

8' TO 12' WALL HGHT

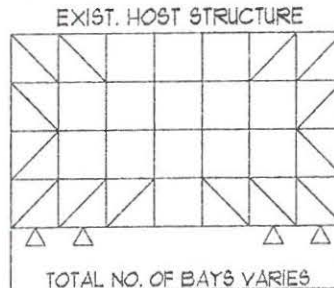
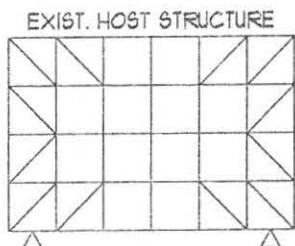
UP TO 16' BEAM SPAN



16' TO 24' BEAM SPAN

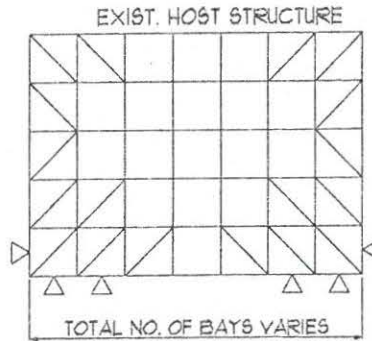
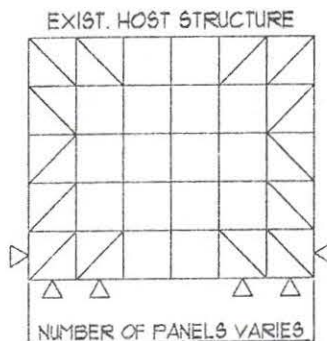


24' TO 32' BEAM SPAN



TOTAL NO. OF BAYS VARIES
THREE (3) BAYS ON EACH
END OF OUTER-MOST WALL
SHALL HAVE DIAG. BRACING

32' TO 40' BEAM SPAN

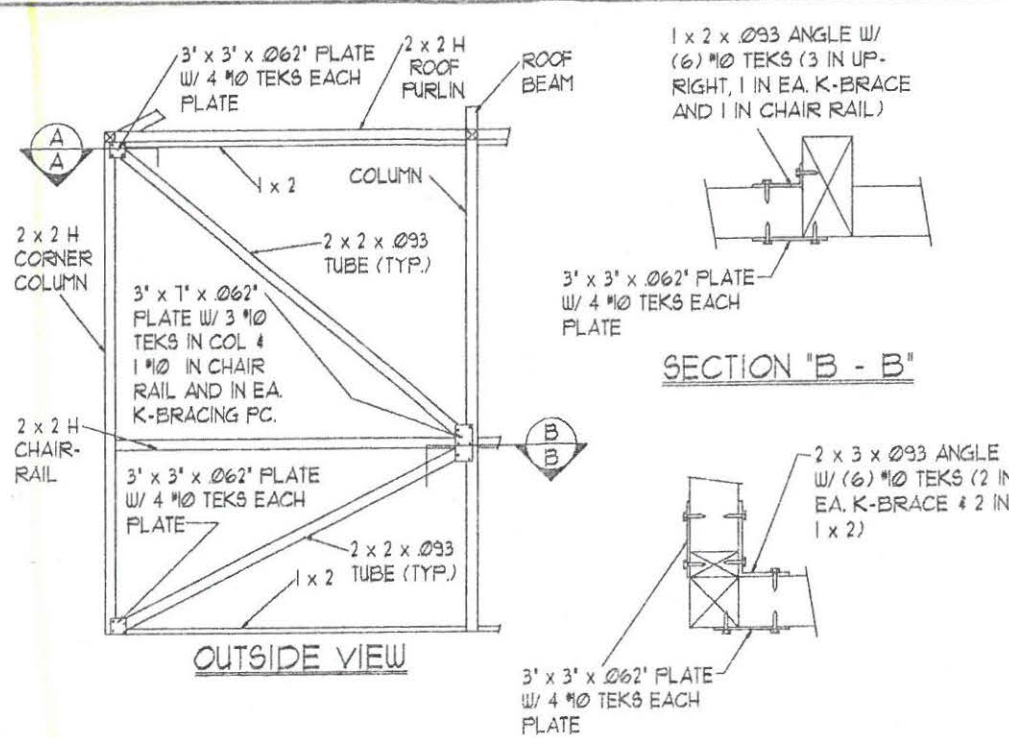


TOTAL NO. OF BAYS VARIES
THREE (3) BAYS ON EACH END OF
OUTER-MOST PANELS AND TWO (2)
PANELS IN SECOND OUTER-MOST
ROW OF PANELS SHALL HAVE THE
DIAGONAL BRACING (AS SHOWN)

DESIGN NOTES:

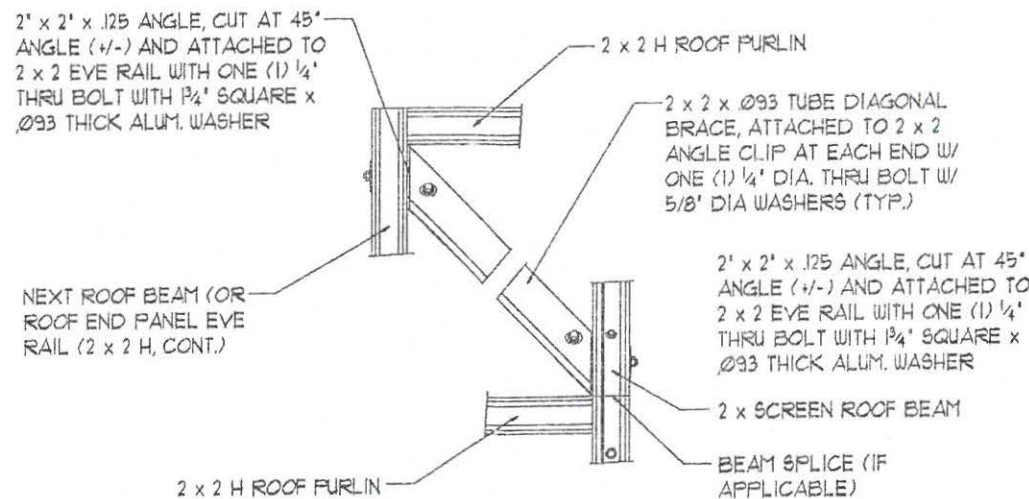
ALL DIAGONAL BRACING, USED EITHER IN THE ROOF OR AS "K"-BRACING IN THE WALLS SHALL BE 2" x 2" x .093 WALL THICKNESS TUBE, AND SHALL BE CUT TO FIT SNUG, WITH NO PLAY OR SHIFT IN THE BRACING. SEE DETAILS AT RIGHT FOR CONNECTION SPECIFICATIONS

THE BRACING SCHEMATICS SHOWN ABOVE ARE THE SAME BRACING CONFIGURATION, REGARDLESS OF ROOF TYPE (MANSARD, PEAK, DOME, FLAT, ETC.)

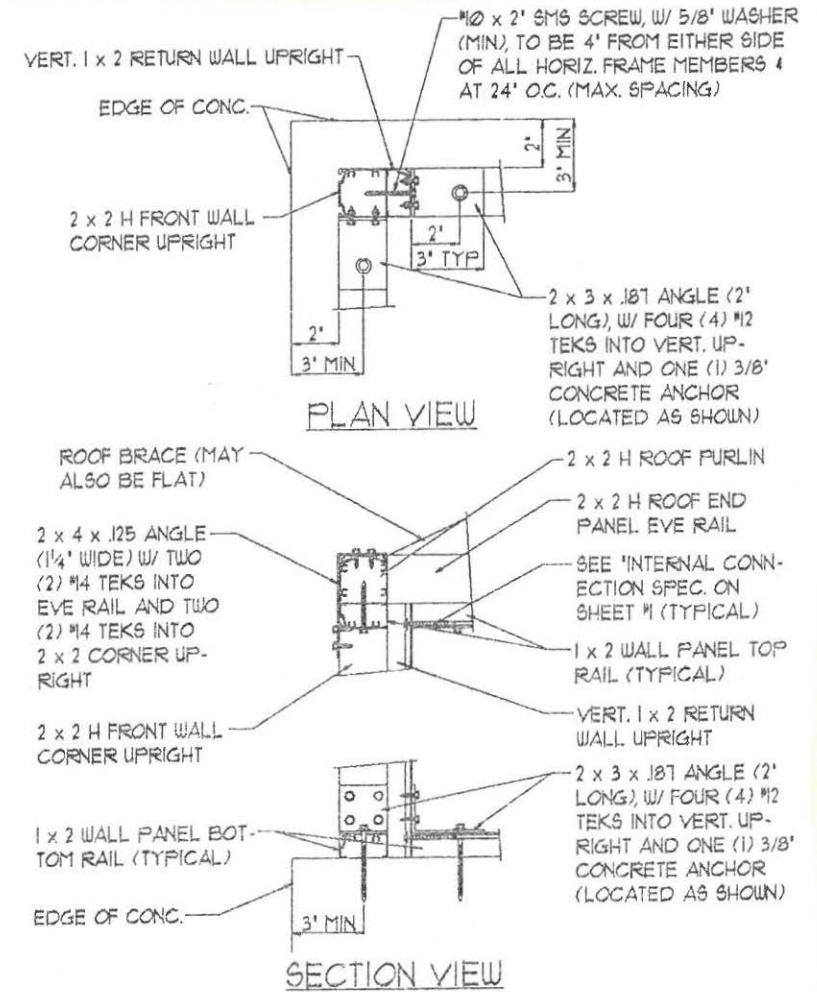


DIAGONAL "K" BRACING DETAIL

DESIGN NOTE: ALL THRU-BOLTS PASSING THROUGH ANY ALUMINUM MATL. WITH A WALL THICKNESS LESS THAN .090, SHALL HAVE EITHER A 1/8"-INCH (OUTSIDE DIA.) FENDER WASHER (SEE GEN. NOTE #2 ON SHEET 1 REGARDING SEPARATION OF DISSIMILAR METALS) OR A 1/4" SQUARE x .090 THICK ALUMINUM WASHER (#6063-T6) INSTALLED ON EITHER OR BOTH ENDS, AS DETERMINED BY THE MATERIAL THICKNESS. THE EXCEPTION IS THRU-BOLTS USED TO INSTALL THE BRACE CUPS (SEE DETAIL AT RIGHT) (#3003-H14, .063 THK.) MAY BE INSTALLED (ON THE CUP SIDE OF THE BOLT ONLY) WITH A STANDARD 3/8"-INCH (OUTSIDE DIA.) WASHER, WHICH IS STRUCTURALLY ADEQUATE.

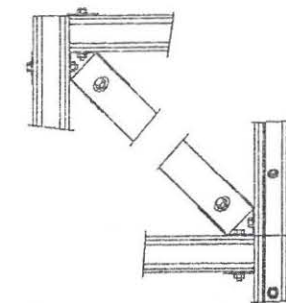


DIAGONAL ROOF BRACING DETAIL



SCREEN WALL CORNER ANCHOR DETAILS

ALTERNATE ROOF BRACING CONNECTION DETAIL (APPLICABLE ONLY FOR CORNER BRACES IN A MANSARD-STYLE ROOF), UTILIZING A STAMPED DIAGONAL BRACE ATTACHMENT CUP, WHICH IS STAMPED FROM ALUMINUM ALLOY #3003 H-14 (.063 THICKNESS). THESE CUPS SHALL BE ATTACHED WITH TWO (2) 1/4" DIA. THRU BOLTS PER CUP (AS INDICATED BELOW). NOTE THAT THE SAME DESIGN NOTE FOR APPLICATION OF MINIMUM WASHER SIZE REQUIREMENTS SHALL ALSO APPLY TO THESE CUPS, AS THEY ARE LESS THAN .090 THICK. THE 2 x 2 x .093 DIAG. BRACE SHALL BE ATTACHED TO THE CUP AT EACH END WITH ONE (1) 1/4" DIA. THRU BOLT, W/ THE APPROPRIATE WASHERS



NOTE TO BUILDING OFFICIALS:

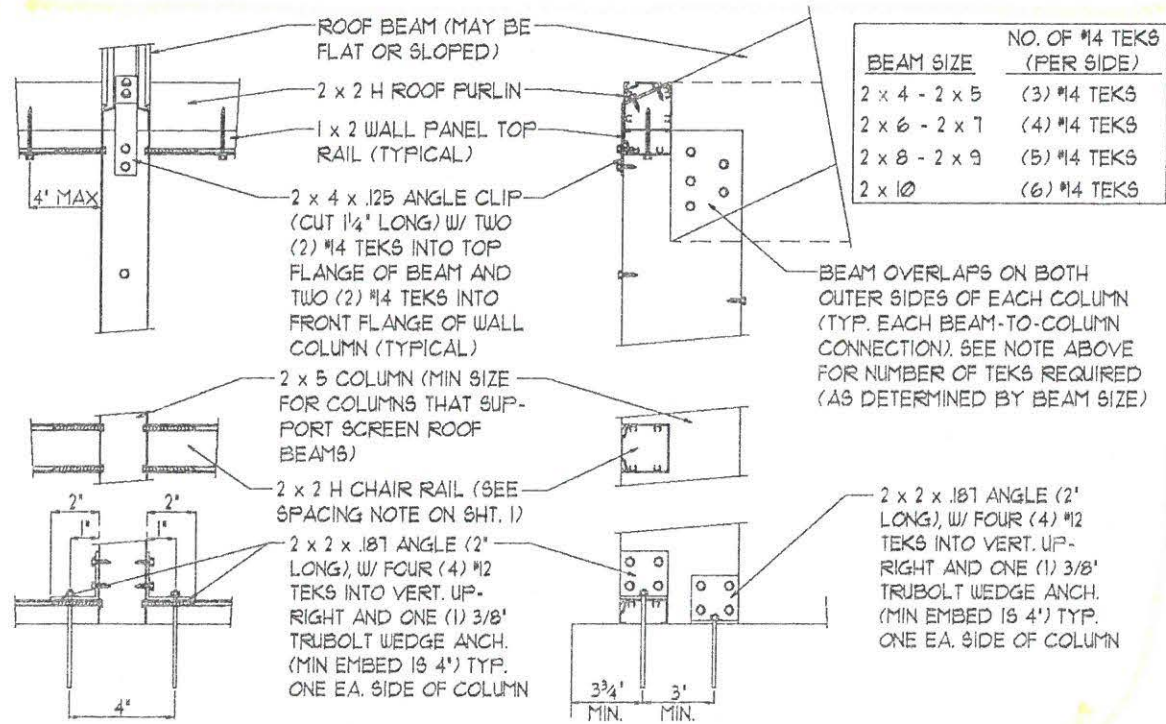
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POOL / PATIO ENCLOS.
WITH SCREEN ROOF
140 MPH, EXP "B"
(SHEET 3 OF 4)



B.D.Q., INC.
P. O. BOX 20207
WEST PALM BEACH, FL 33416
D. A. DOWDY, P.E.
FL REG. NO. 22763
FLA. ENG. CERT. OF AUTH. NO. 6238

DWN: E. DOWDY
DATE: 01/28/05
APPROVED:
D. A. DOWDY, P.E.
DWG. NO. 04-140-XB
LAST REV. 03/30/05

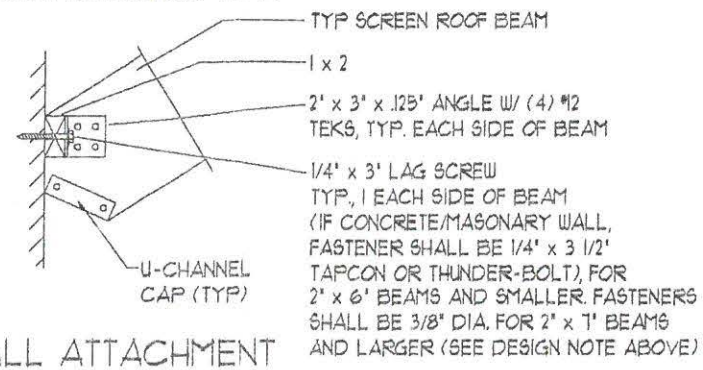


BEAM SIZE	NO. OF #14 TEKS (PER SIDE)
2 x 4 - 2 x 5	(3) #14 TEKS
2 x 6 - 2 x 7	(4) #14 TEKS
2 x 8 - 2 x 9	(5) #14 TEKS
2 x 10	(6) #14 TEKS

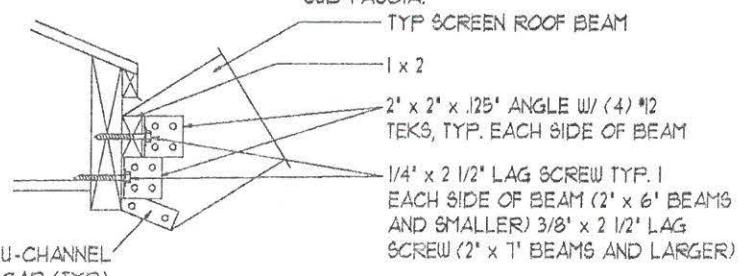
DESIGN NOTE: THE 3-INCH LEG OF THE ANGLE SHALL BE PLACED AGAINST THE 1 x 2. THIS ALLOWS A MIN. EDGE DISTANCE FOR THE FASTENERS (FROM THE EDGE OF THE ANGLE) OF ONE-INCH, AND MAINTAINS A SIX-INCH MIN. CENTER-TO-CENTER DISTANCE FOR THE MAX. SIZED CONCRETE ANCHORS (3/8" x 3 1/2")

NOTE: FOR WOOD FRAMING, AT LEAST ONE OF THE LAG SCREWS MUST ANCHOR INTO A STUD IN THE WALL FRAMING.

NOTE: FASCIA ATTACHMENT REQUIRES A 2 x FASCIA BOARD (MINIMUM). A 1 x FASCIA IS ONLY ADEQUATE FOR THIS INSTALLATION WHEN THERE IS A 2 x SUB-FASCIA BEHIND IT. IN THIS CASE, THE LAGS MUST PENETRATE THE SUB-FASCIA 1/2" (MIN. EMBEDMENT). IT SHALL BE THE RESPONSIBILITY OF THE SCREEN CONTRACTOR TO VERIFY THE PRESENCE OF THIS SUB-FASCIA.



WALL ATTACHMENT



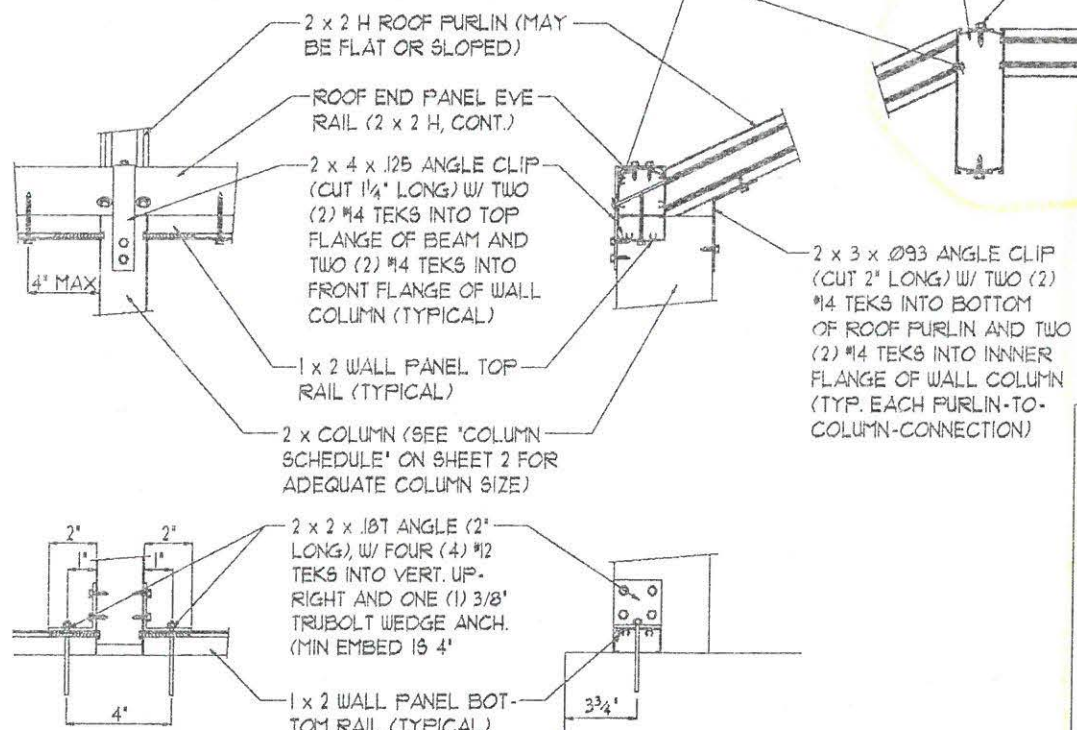
FASCIA ATTACHMENT

SCREEN ROOF ENCLOSURE-TO-HOST STRUCTURE ATTACHMENT DETAIL

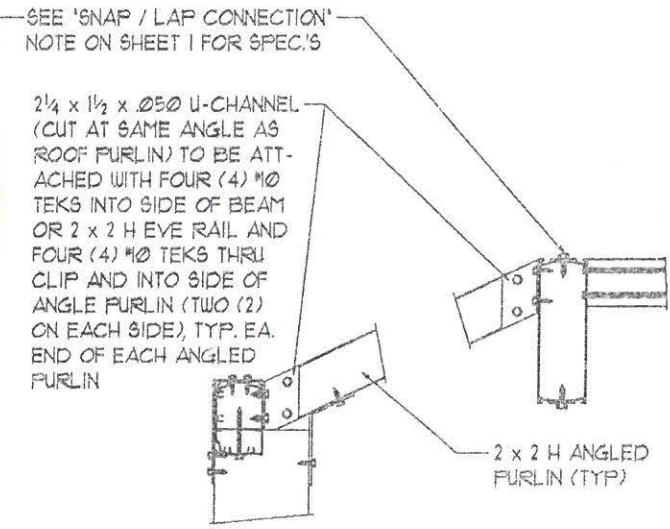
(WITH NO STRUCTURAL GUTTER)

TYPICAL MAIN BEAM-TO-COLUMN -TO-FOUNDATION DETAIL

ANY #10 SMS. SCREWS USED TO INTERNALLY ATTACH AN 'ANGLED' ROOF FURLIN (AS SHOWN) MUST HAVE A 5/8" (MIN.) WASHER INSTALLED ON THE SCREW PRIOR TO INSTALLATION INTO THE SCREW BOSS (SEE 'INTERNAL CONNECTION SPEC.' ON SHEET 1 FOR EMBEDMENT REQUIREMENTS)



TYPICAL ROOF END PANEL-TO-RETURN WALL PANEL-TO-FOUNDATION CONNECTION DETAIL

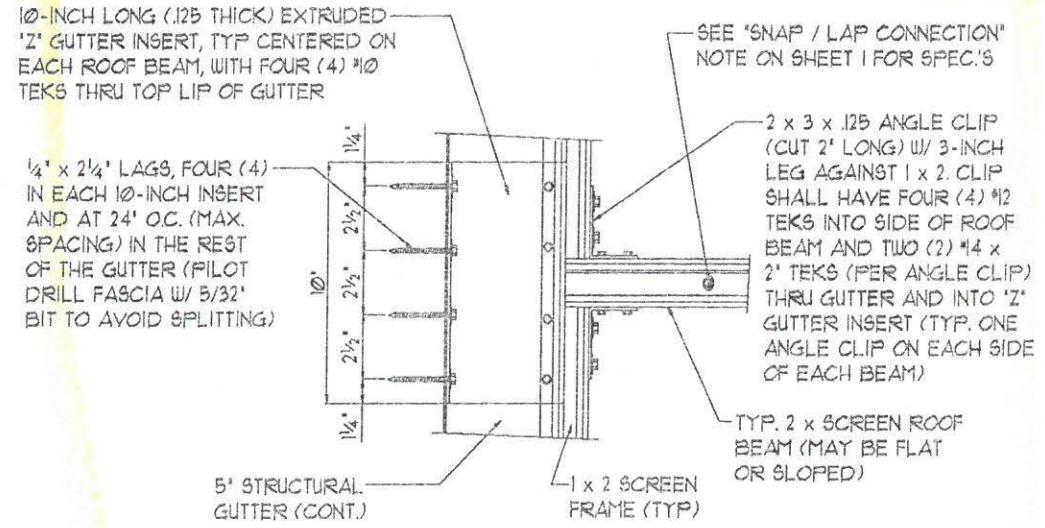


ALTERNATE ANGLED FURLIN CONNECTION DETAIL

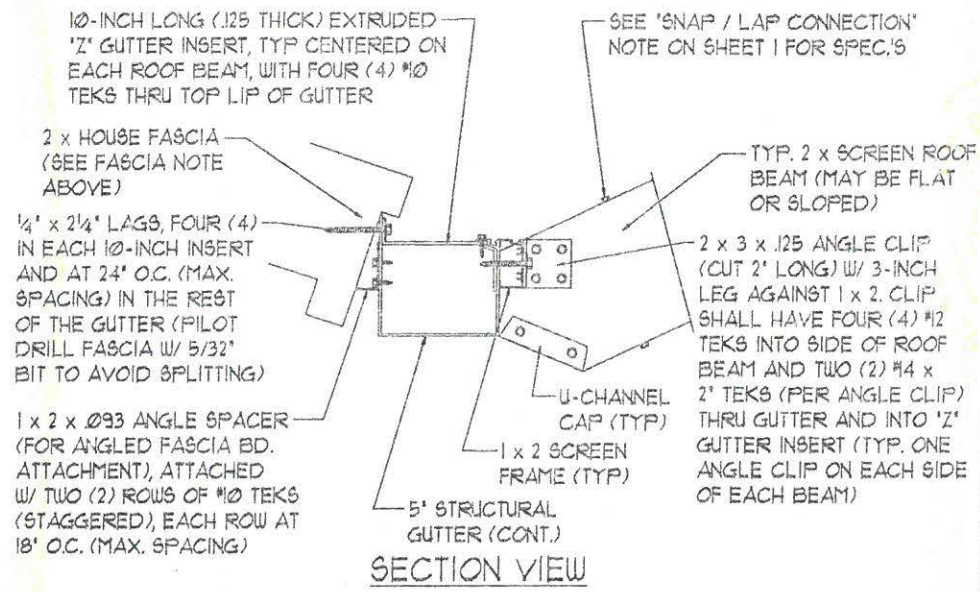
NOTE: THIS ATTACHMENT DETAIL ALSO APPLIES TO A 2 x 2 SCREEN FRAME, W/ THE FASTENER BEING 4" IN LENGTH, TO MAINTAIN A 2" MIN. EMBED.

MIN. EMBEDMENT FOR ALL TAPCONS SHALL BE 2" INTO CONCRETE.

NOTE: ALL FASTENERS SPECIFIED IN 'COLUMN-TO-FOUNDATION' DETAILS PERTAIN ONLY TO THE FASTENERS TO BE PLACED ON EITHER SIDE OF COLUMNS. THIS DETAIL IS FOR ALL INTERMEDIATE FASTENERS FOR 1 x 2 SCREEN FRAME TO EITHER CONC. DECK OR C.B.S. MASONRY WALL. THIS SAME DETAIL ALSO APPLIES TO WOOD FRAME WALLS, COLUMNS OR BEAMS WITH THE SUBSTITUTION OF 1/4" x 2 1/2" LAG SCREWS INSTEAD OF THE ABOVE SPECIFIED TAPCONS.



PLAN VIEW



SECTION VIEW

STRUCTURAL GUTTER CONNECTION DETAIL

DWN: E. DOWDY
 DATE: 01/26/05
 APPROVED:
 D. A. DOWDY, P.E.
 DWG. NO. 04-140-XB
 LAST REV. 08/20/05

NOTE TO BUILDING OFFICIALS:
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POOL / PATIO ENCLOS.
 WITH SCREEN ROOF
 140 MPH, EXP "B"
 (SHEET 4 OF 4)

B.D.Q., INC.
 P. O. BOX 20207
 WEST PALM BEACH, FL 33415
 D. A. DOWDY, P.E.
 FL REG. NO. 22763
 FLA. ENG. CERT. OF AUTH. NO. 8238

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)

1/12/06

PRODUCER

Kearns Agency of Florida, Inc.
P.O. Box 1849
Jensen Beach, FL 34958

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED

Ocean Breeze Aluminum, Inc.
3201 SE Slater Street, Bay #1
Stuart FL 34997

INSURER A: Southern Owners Insurance

INSURER B:

INSURER C:

INSURER D:

INSURER E:


COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	20664302	1-28-06	1-28-07	EACH OCCURRENCE \$1,000,000
					FIRE DAMAGE (Any one fire) \$ 100,000
					MED EXP (Any one person) \$ 10,000
					PERSONAL & ADV INJURY \$1,000,000
					GENERAL AGGREGATE \$1,000,000
					PRODUCTS - COMP/OP AGG \$1,000,000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	20664302	1-28-06	1-28-07	COMBINED SINGLE LIMIT (Ea accident) \$ 300,000
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$
					OTHER THAN AUTO ONLY: EA ACC \$
					AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$
					AGGREGATE \$
					\$
					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS OTH-ER
					E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Aluminum Screen Installation - State of Florida

CERTIFICATE HOLDER	ADDITIONAL INSURED; INSURER LETTER:	CANCELLATION
Town Of Sewall's Point 1 Sewall's Point Rd. Stuart, FL 34996		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
		AUTHORIZED REPRESENTATIVE Lawrence E. Kearns 

ACORD™ CERTIFICATE OF LIABILITY INSURANCE Date
12/8/2005

Producer: Lion Insurance Company
2739 U.S. Highway 19 N.
Holiday, FL 34691
Phone: 727-938-5562 Fax: 727-937-2138

This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.

Insured: South East Personnel Leasing, Inc.
2739 U.S. Highway 19 N.
Holiday, FL 34691
Phone : (727)938-5562

Insurers Affording Coverage		NAIC #
Insurer A:	Lion Insurance Company	11075
Insurer B:		
Insurer C:		
Insurer D:		
Insurer E:		

Coverages

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

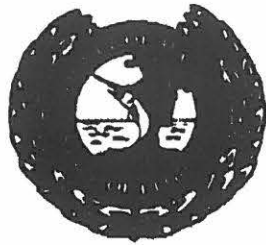
INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits	
		GENERAL LIABILITY <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence	\$
						Damage to rented premises (EA occurrence)	\$
						Med Exp	\$
						Personal Adv Injury	\$
						General Aggregate	\$
						Products - Comp/Op Agg	\$
		AUTOMOBILE LIABILITY <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident)	\$
						Bodily Injury (Per Person)	\$
						Bodily Injury (Per Accident)	\$
						Property Damage (Per Accident)	\$
		GARAGE LIABILITY <input type="checkbox"/> Any Auto				Auto Only - Ea Accident	\$
						Other Than EA Acc.	\$
						Autos Only: AGG.	\$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible <input type="checkbox"/> Retention				Each Occurrence	
						Aggregate	
A		Workers Compensation and Employers' Liability Any proprietor/partner/executive officer/member excluded? If Yes, describe under special provisions below.	WC 71949	01/01/2006	01/01/2007	X WC Statutory Limits	OTH-ER
						E.L. Each Accident	\$1000000
						E.L. Disease - Ea Employee	\$1000000
						E.L. Disease - Policy Limits	\$1000000

Other 0866653
Ocean Breeze Aluminum, Inc. **COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED, NOT TO SUBCONTRACTORS.**

Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions: **ADD ON DATE: 6/2/2005**
 COVERAGE APPLIES ONLY IN THE STATE OF FLORIDA TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF Ocean Breeze Aluminum, Inc. *
 FAX: 772-287-8115 & 772-220-4765 / ISSUE 08-30-05 (TD)

Lion Insurance Company is A.M. Best Company rated A- (Excellent). AMB # 12616

CERTIFICATE HOLDER	CANCELLATION
TOWN OF SEWAL'S POINT 1 SOUTH SEWALL'S POINT ROAD SEWALL'S POINT FL 34996	Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives <i>Jed H. Brown</i>

**Martin County Building Department**

2401 SE Monterey Road
Stuart, FL 34998
(772) 288-5482
Fax (772) 288-5911

BUTTON, RAYMOND A
OCEAN BREEZE ALUMINUM INC
3201 SE SLATER ST BAY 1 & 2
STUART, FL 34997

NOTICE TO ALL CONTRACTORS

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

PROHIBITED ACTIVITIES:

43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter, please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency

ALUMINUM/CONCRETE CONTRACTOR

License Number SP02390 Expires: 30-SEP-2007

BUTTON, RAYMOND A
OCEAN BREEZE ALUMINUM INC
3201 SE SLATER ST BAY 1 & 2
STUART, FL 34997



8219

TOWN OF SEWALL'S POINT
One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 32 FIELDWAY DR.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SCREEN ENCL. FTG.

FOOTER ENCLOSES SET BACK
BEHIND NON-CONFORMING
EDGE OF SLAB.

ENGR. JOE CAPRA
692-4344

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 5/10

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/10, 2006 Page 1 of 5

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8090	Stenhaj	Final ROOF	PASS	CLOSE
12	106 Hillcrest Dr JA Taylor - Karen - Call when		772-466-4040	Phil Taylor INSPECTOR: <i>[Signature]</i>
8091	Rossario	Dry-In	WED	please PASS
4	137 S. River JA Taylor		PASS	INSPECTOR: <i>[Signature]</i>
7895	Poole	Inspection		need letter to confirm Prop is demolished
22	94 N SPR OB	allusion 334-8273	PASS	INSPECTOR: 349-3020 <i>[Signature]</i>
8202	Poole	Temp Power Pole	PASS	CALL F.P.C.
22				INSPECTOR: <i>[Signature]</i>
8219	Stark - 287-3851	Footer	FAIL	
25	32 Fuldway Dr Ocean Breeze alum	223-5094		INSPECTOR: <i>[Signature]</i>
1576	Silas	Patio Slab		CANCEL
24	10 Castle H. Way Statewide Eng.	Gene 772-473-0271		INSPECTOR:
8193	Cubella	Plywood in Progress	PASS	
20	8 N. SPR Chabot 283-1505	Katie	SCHEDULE FOR 5/11	INSPECTOR:

OTHER:

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5-19, 2006 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7675	DR. Kuhns	Final	PASS	CLOSE
4	94 S River Arroyo Enter	772-465-6363 Dan		INSPECTOR: <i>[Signature]</i>
6965	Jensterer	Patio door	PASS	
5	71 S SPR OB	Framing & Strapping		INSPECTOR: <i>[Signature]</i>
8218	Gulick	Final	PASS	
2	10 Island Rd L+W Roof			INSPECTOR: <i>[Signature]</i>
8196	Dunn	Final roof insp.	PASS	
9	29 N River Rd True Quality Const			INSPECTOR: <i>[Signature]</i>
8219	Steck	Footer	PASS	
8	32 Fieldway Dr Ocean Breeze Alu			INSPECTOR: <i>[Signature]</i>
MC	Hollans	Dry-In	FAIL	
1	116 N Ridgewood All County	(1st please)		INSPECTOR: <i>[Signature]</i>
7736	Stamford	Dock repair	PASS	
10 8117	73 N. River Rd OB	ELECTRIC	FAIL	INSPECTOR: <i>[Signature]</i>

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 32 FIELDWAY


I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

POOL ENCLOSURE

RESCHEDULE AND MAKE PERMIT
& ENGR. DRAWINGS
ACCESSIBLE - ATTACH TO
SCREEN ENCLOSURE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 8/16



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8-16, 2006 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0082	DeStephan	Sheeting	PASS	
<u>Last</u> <u>10</u>	68 S Sewalls Tuttle			INSPECTOR: <i>QW</i>
8219	Steck	Final	FAIL	
9	327ildway Dr Ocean Breeze			INSPECTOR: <i>QW</i>
1576	Silas	Final	PASS	NEED COST AFFIDAVIT.
6	10 Castle Hill Statewide			INSPECTOR: <i>QW</i>
1806	Silas	Final	PASS	CLOSE
6	10 Castle Hill Mirage Pool			INSPECTOR: <i>QW</i>
8105	Galiniis	tie beam	FAIL	
5	26 S Sewalls Pt Driftwood			INSPECTOR: <i>QW</i>
7054	Tapper	Final	FAIL	
1	22 Island Rd Winchip			INSPECTOR: <i>QW</i>
				INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 32 FIELDWAY

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SCREEN ENCL.

VERIFY THROUGH ANCHORS @
COLUMNS & AT TRACK ON EACH
SIDE OF COL. HAVE MIN
4" EMBEDMENT PER ENGR.
DETAILS.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 8/21


INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8-21, 2006 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8219	Steck	Final	FAIL	CLOSE
3	32 Fieldway Ocean Breeze		PASS	REINSPECTED & OK DISCUSSED W/ CONTRACTOR INSPECTOR: [Signature]
7054	Tapper	Final	PASS	PENDING FINAL BLDG HEIGHT SURVEY INSPECTOR: [Signature]
1	22 Island Rd Winchip			
Tree	Lippo	Tree	PASS	
2	5 Copaine Rd Shade Tree			INSPECTOR: [Signature]
7870	Tapper	Final	PASS	CLOSE
1	22 Island Rd Terrelgas			INSPECTOR: [Signature]
0033		FOOTER/SCAB	FAIL	
4	27 NORTH RIVER			INSPECTOR: [Signature]
TREE	BARCIC	TREE	PASS	
2A	24 N. VIA LUCINDA			INSPECTOR: [Signature]
				INSPECTOR:

OTHER: _____

8810

A/C CHANGE OUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8810	DATE ISSUED:	FEBRUARY 1, 2008
SCOPE OF WORK:	AC CHAGNEOUT		
CONDITIONS :			
CONTRACTOR:	ADVANTAGE AC		
PARCEL CONTROL NUMBER:	353741002001000909	SUBDIVISION	INDIALUCIE, LOT 9, BL 1
CONSTRUCTION ADDRESS:	32 FIELDWAY DR		
OWNER NAME:	STECK		
QUALIFIER:	SAM DURHAM	CONTACT PHONE NUMBER:	772-465-1606

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	8810		
ADDRESS	32 FIELDWAY DR		
DATE:	2/1/08	SCOPE:	AC CHANGEOUT

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned on			

**ADVANTAGE AIR CONDITIONING
 OF THE TREASURE COAST, INC.**
 OPERATING ACCT.
 PH. 772-465-1606
 601 S. MARKET AVE.
 FORT PIERCE, FL 34982-8216

01-95

1824

63-4/630, FL
 1163

DATE 02-1-2008

\$ 80.00

TOWN OF SEWALL'S POINT

DOLLARS

PAY TO THE ORDER OF

Eighty

Bank of America

Samuel T. Durham



BUILDING PERMIT FEE:

\$

ACCESSORY PERMIT	Declared Value:	\$	<u>5300.00</u>
Total number of inspections @ \$75.00 each	1	\$	75.00
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5.00
TOTAL ACCESSORY PERMIT FEE:		\$	80.00



Date: 2/01/2008 Town of Sewall's Point **BUILDING PERMIT APPLICATION** Permit Number: _____

OWNER/TITLEHOLDER NAME: STECK Phone (Day) _____ (Fax) _____

Job Site Address: 32 Fieldway Dr. City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: 35-37-41-0002-001-0000-9

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work: Change out of a like for like 2 1/2 ton ~~split~~ split A/C system

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO _____

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES:
Estimated Value of Construction or Improvements: \$ 5,300.00
(Notice of Commencement required over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____
(FOR ADDITIONS AND REMODEL APPLICATIONS ONLY)
Method of Determining Fair Market Value: _____

CONTRACTOR/Company: Advantage A/C Phone: (772) 465-1606 Fax: (772) 465-4945

Street: 601 S Market Ave City: Ft Pierce State: FL Zip: 34982

State Registration Number: _____ State Certification Number: CAL034664 Municipality License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE (SEWER & ELECTRIC): Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

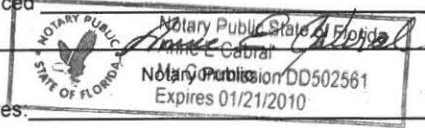
NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS ORIGINALLY COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5. I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.
***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

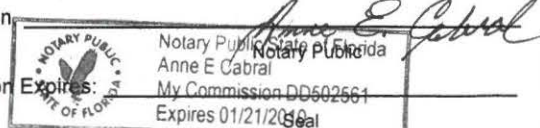
OWNER OR AUTHORIZED AGENT SIGNATURE (required)
Bruce Steck
State of Florida, County of: St. Lucie
This the 1st day of Feb, 2008
by Bruce Steck who is personally

CONTRACTOR SIGNATURE (required)
Samuel T. Durham
On State of Florida, County of: St. Lucie
This the 1st day of Feb, 2008
by Samuel T. Durham who is personally

known to me or produced as identification. _____
My Commission Expires: _____
Seal



known to me or produced as identification. _____
My Commission Expires: _____



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com

Summary

print Owner 1 of 6

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
35-37-41-002-001-00090-9	32 FIELDWAY DR	9421	Owner	0	1

Summary

Property Location 32 FIELDWAY DR
Tax District 2200 Sewall's Point
Account # 9421
Land Use 101 0100 Single Family
Neighborhood 120500
Acres 0.359

Legal Description
Property Information
 INDIALUCIE, LOT 9 BLK 1

Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 STECK, BRUCE & ANN

Mail Information
 32 FIELDWAY DR
 STUART FL 34996

Assessment Info
Front Ft. 0.00

Market Land Value \$250,000
Market Impr Value \$229,730
Market Total Value \$479,730

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$220,000

Sale Date 8/23/2000
Book/Page 1501 2605

[Print](#) | [Back to List](#) | << [First](#) < [Previous](#) [Next](#) > [Last](#) >>

[Legal disclaimer / Privacy Statement](#)

Data updated on 01/29/2008





TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 32 FIELD WAY # 8810

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

1. CONDENSER BLOCKS WORKING
CLEARANCE AT EQUIPMENT DISCONNECT

2. ALSO CHECK MFG. CLEARANCE
REQUIREMENTS FOR SPACE
AROUND UNIT - TYP 1 FT MIN.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2-7-08

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon ~~Thurs~~ Fri 2-7, 2008 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8810	Steck	Final		
2	32 Feldway Advantage AC		FAIL	INSPECTOR: <i>[Signature]</i>
8811	Gilbert	dry-in		RE-NAIL AFFIDAVIT
5	3 Mandalay Stuart Roofing		PASS	INSPECTOR: <i>[Signature]</i>
8745	Nelson	hurricane down		CANCEL
4	3 Marquerita Nelson Homes	window & door buck		INSPECTOR:
8808	Hershey	Final		NEED SIGNED
1	100 N Sewalls Roof Tech		FAIL	AFFIDAVIT INSPECTOR: <i>[Signature]</i>
8672	Fernando	Final		CANCEL
3	4 Kingston Ct Gulick	REMODEL BED & BATH		NOO READY INSPECTOR:
		INVESTIGATE		
	106 N. SPR	TIRI HUD ON SAME		INSPECTOR:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2-15, 2008

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8811	Gilbert	in-progress	PASS	
2	8 Mandalay Stuart Roofing	NEED MITIGATION REPORT.		INSPECTOR: <i>[Signature]</i>
8815	O'Neill	Final	PASS	CLOSE
8	9 Lifting Way Lawn Fence			INSPECTOR: <i>[Signature]</i>
8810	Steck	Final	PASS	CLOSE
9	32 Feldway Advantage A/C			INSPECTOR: <i>[Signature]</i>
7356	Burkey	Final	PASS	CLOSE
10	15 Banyan Rd Heaton Roof			INSPECTOR: <i>[Signature]</i>
8492	Vasko	Same as	FAIL	
3	98 S River Rd G&G Homes			INSPECTOR: <i>[Signature]</i>
8159	Lulak	Final	PASS	CLOSE
1	20 E High Pt Advantage Inc			INSPECTOR: <i>[Signature]</i>
8808	Prensky	Final	PASS	CLOSE
7	100 N Sewalls Roof Tech			INSPECTOR: <i>[Signature]</i>

OTHER: _____

9501

SHUTTERS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9501	DATE ISSUED:	JULY 8, 2010
SCOPE OF WORK:	15 ACCORDIAN SHUTTERS		
CONDITIONS :			
CONTRACTOR:	EXPERT SHUTTER		
PARCEL CONTROL NUMBER:	353741-002-001-000909	SUBDIVISION	INDIALUCIE, L9, BL 1
CONSTRUCTION ADDRESS:	32 FIELDWAY DR		
OWNER NAME:	STECK		
QUALIFIER:	MICHAEL HEISSENBERG	CONTACT PHONE NUMBER:	871-1915

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9501		
ADDRESS	32 FIELDWAY DR		
DATE:	7/8/10	SCOPE:	15 ACCORDIAN SHUTTERS

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Initial Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	

EXPERT SHUTTER SERVICES, INC. 02-94
 1626 S.W. BILTMORE ST.
 PORT ST. LUCIE, FL 34984
 (772) 871-1915 OR 1 (800) 749-9056

RIVERSIDE NATIONAL BANK
 OF FLORIDA
 PORT ST LUCIE, FL 34952
 63-1114/670

4073

7/8/10

PAY TO THE ORDER OF

Town of Sewall's Point

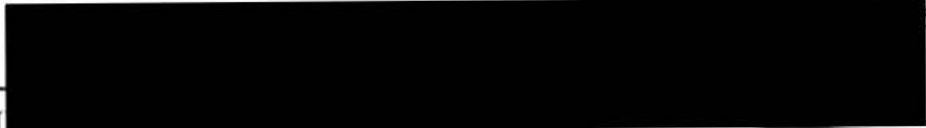
eighty dollars 00/100

\$ 80.00

DOLLARS

MEMO

PERMIT



[Signature]

TOTAL BUILDING PERMIT FEE:

ACCESSORY PERMIT	Declared Value:	\$	8791
Total number of inspections @ \$75.00 each		\$	75
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	80

Pa
CR#4073

© 2005 INTUIT INC. # 785 1-800-433-8810

Town of Sewall's Point

Date: 6/20/10 BUILDING PERMIT APPLICATION Permit Number: 9501

OWNER/TITLEHOLDER NAME: BRUCE STECK Phone (Day) 287-3851 (Fax)

Job Site Address: 32 FIELDWAY DR. City: STUART State: FL Zip: 34996

Legal Description: INDIALUCIE LOT 9 BLK 1 Parcel Control Number: 35-37-41-002-001-0000-9

Owner Address (if different): City: State: Zip:

Scope of work (please be specific): INSTALLATION OF IS A SCORPION SHUTTERS

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO X Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 8791.00 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: EXPERT SHUTTER Phone: 871-1915 Fax: 871-0990

Street: 1626 SW BILTMORE ST. City: PORT ST LUCIE State: FL Zip: 34984

State License Number: OR: Municipality: MARTIN CO License Number: SP 01515

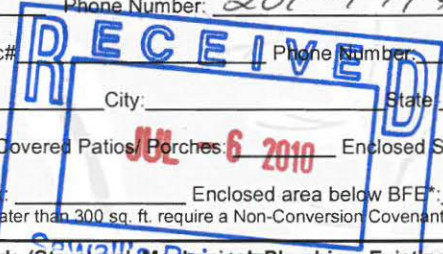
LOCAL CONTACT: MIKE HETSSENBERG Phone Number: 201-1714

DESIGN PROFESSIONAL: Lic# Phone Number:

Street: City: State: Zip:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/Porches: 6 2010 Enclosed Storage:

Carport: Total under Roof Elevated Deck Enclosed area below BFE: * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS: 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) Bruce Steck

State of Florida, County of: Martin This the 6th day of July, 2010 by Bruce Steck who is personally known to me or produced as identification. PI - License

Notary Public My Commission Expires: 4/5/13 Betty Jean Leonard

CONTRACTOR SIGNATURE: (required) Michael Heissenberg

On State of Florida, County of: This the 6th day of July, 2010 by Michael Heissenberg who is personally known to me or produced As identification.

Notary Public My Commission Expires: 4/5/13 Betty Jean Leonard

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Commission # DD873799 Expires: APR. 08, 2013 BONDING THRU ATLANTIC BONDING CO., INC.

NOTARY PUBLIC STATE OF FLORIDA Betty Jean Leonard Commission # DD873799 Expires: APR. 08, 2013 BONDING THRU ATLANTIC BONDING CO., INC.



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com T1.12

Summary

print Owner 1 of 6

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
35-37-41-002-001-00090-9	32 NE FIELDWAY DR	9421	Owner	0	1

Summary

Property Location 32 NE FIELDWAY DR
Tax District 2200 Sewall's Point
Account # 9421
Land Use 101 0100 Single Family
Neighborhood 120500
Acres 0.359

Legal Description
Property Information
 INDIALUCIE, LOT 9 BLK 1

Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 STECK, BRUCE & ANN

Mail Information
 32 FIELDWAY DR
 STUART FL 34996

Assessment Info
Front Ft. 0.00

Market Land Value \$170,000
Market Impr Value \$176,590
Market Total Value \$346,590

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$220,000

Sale Date 8/23/2000
Book/Page 1501 2605

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/29/2010



INSTR # 2220310 OR BK 02463 PG 1690 RECD 07/06/2010 11:59:00 AM
Pg 1690 (1ps)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Hunter

PERMIT NUMBER:

NOTICE OF COMMENCEMENT

The undersigned hereby given notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes the following information is provided in the Notice of Commencement

35-37-41-002-

1. DESCRIPTION OF PROPERTY (Legal description and street address, if available) TAX FOLIO NUMBER: 001-00090-9
SUBDIVISION INDIA LUCIE BLOCK 1 TRACT _____ LOT 9 BLDG _____ UNIT _____

2. GENERAL DESCRIPTION OF IMPROVEMENT: Installing hurricane shutters
STATE OF FLORIDA
MARTIN COUNTY

3. OWNER INFORMATION: a. Name Bruce Steek
b. Address 32 Fieldway Dr. Stuart, FL 34916
c. Interest in property _____

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

d. Name and address of fee simple titleholder (if other than Owner) _____
4. CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER: Expert Shutter Services, INC
11626 SW Billmore Street Port St. Lucie, FL 34984 (772)871-1915

BY: [Signature]
DATE: 7.6.10



5. SURETY'S NAME, ADDRESS AND PHONE NUMBER AND BOND AMOUNT: _____

6. LENDER'S NAME, ADDRESS AND PHONE NUMBER: _____

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:
NAME, ADDRESS AND PHONE NUMBER: _____

8. In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes:
NAME, ADDRESS AND PHONE NUMBER: _____

9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified): _____, _____, 20__

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

X [Signature]
Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager

X Bruce Steek
Print Name and Provide Signatory's Title/Office

State of Florida
County of _____

The foregoing instrument was acknowledged before me this 4 day of June, 2010

By Bruce Steek, as _____, (type of authority,.... e.g. officer, trustee, attorney in fact)

For _____ (name of party on behalf of whom instrument was executed)

Personal Notary Public State of Florida

Betty-Jean Leonard
Commission # DD873799
EXPIRES: APR 18, 2013
BONDED THRU ATLANTIC BONDING CO., INC.

FL # 5320-066-49-294-0
[Signature]
(Signature of Notary Public)

Under Penalties of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief (Section 92.525, Florida Statutes).

X [Signature]
Signature(s) of Owner(s) or Owner's Authorized Officer/Director/Partner/Manager who signed above:
By _____

**ALL WIND LOADS DESIGNED IN ACCORDANCE WITH ASCE 7-05
ROOF PITCH IS GREATER THAN 2"/12" OR >= 10 DEGREES**

PROJECT NAME:	BRUCE STACK
ADDRESS	32 FIELDWAY DRIVE
CITY/STATE	STUART, FL 34996
CLADDING TYPE:	STUCCO

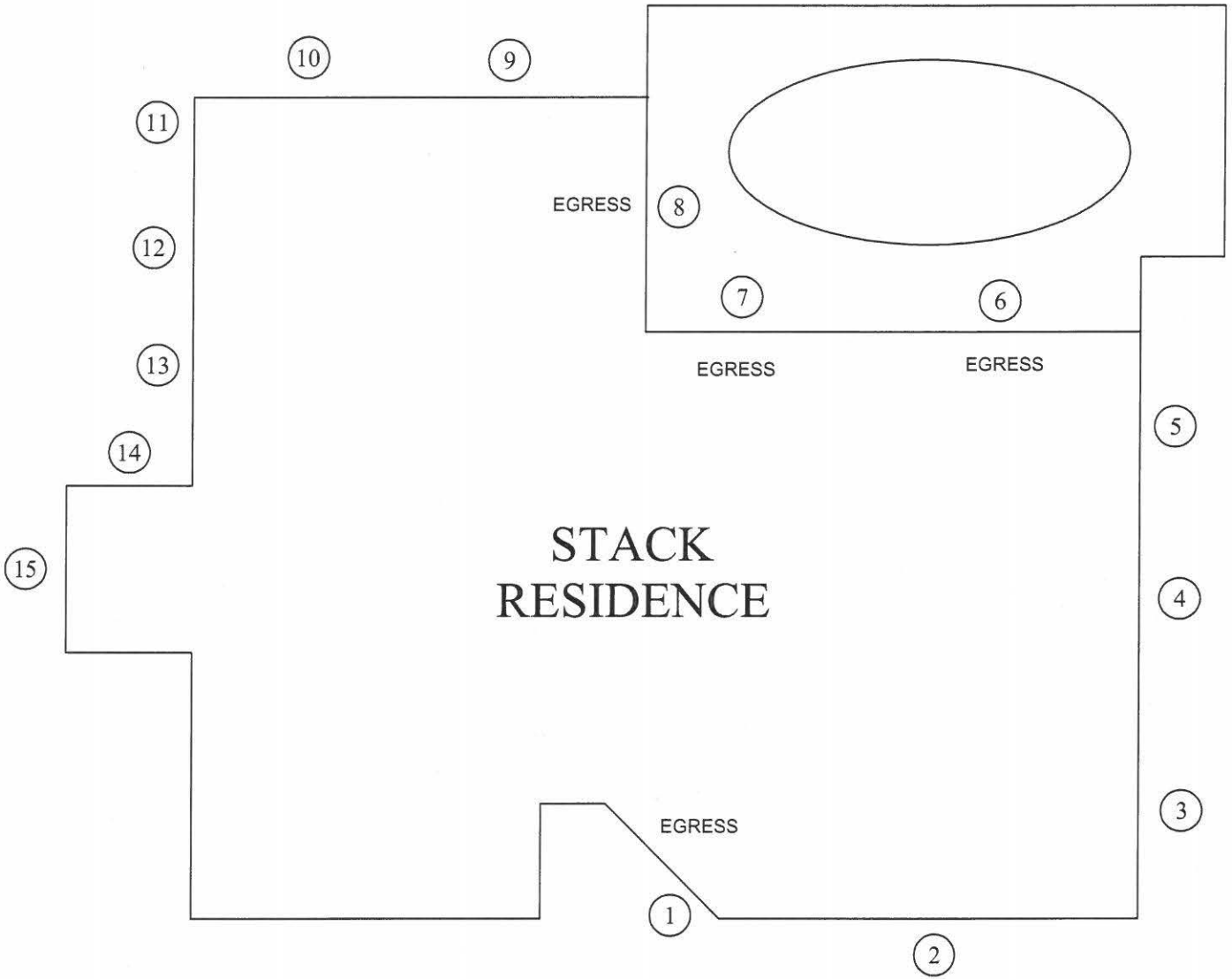
COMPONENTS AND CLADDING OF WALLS

BASIC WIND SPEED(MPH)	140
EXPOSURE	C
IMPORTANCE FACTOR	1.00
MEAN ROOF HEIGHT	15
TOP OF WINDOW OR SHUTTER HEIGHT	7
WIND DIRECTIONALITY FACTOR	0.85

TRIBUTARY AREAS

ENCLOSED BUILDING GC _{pi} = +0.18	<=10 SF	10 SF=><=20 SF	20 SF=><=50 SF
POSITIVE PRESSURE (ZONE 4+5)	36.4	34.4	32.2
NEGATIVE PRESSURE (INTERIOR ZONE 4)	-46.3	-44.5	-40.9
NEGATIVE PRESSURE (END ZONE 5)	-57.2	-52.3	-47.1
PARTIALLY ENCLOSED BUILDING GC _{pi} = +0.55	<=10 SF	10 SF=><=20 SF	20 SF=><=50 SF
POSITIVE PRESSURE (ZONE 4+5)	47.8	45.8	43.6
NEGATIVE PRESSURE (INTERIOR ZONE 4)	-59.7	-57.9	-54.3
NEGATIVE PRESSURE (END ZONE 5)	-70.6	-65.7	-60.5

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 7-7-10
BUILDING OFFICIAL



FLORIDA DEPARTMENT OF Community Affairs



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Product Approval

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**

- ▶ COMMUNITY PLANNING
- ▶ HOUSING & COMMUNITY DEVELOPMENT
- ▶ EMERGENCY MANAGEMENT
- ▶ OFFICE OF THE SECRETARY

FL #
 Application Type
 Code Version
 Application Status
 Comments
 Archived

FL11354
 New
 2007
 Approved



Product Manufacturer
 Address/Phone/Email

American Shutter Systems
 4268 Westroads Drive
 West Palm Beach, FL 33407
 (561) 841-5480
 bfeeley@easternmetal.com

Authorized Signature

Bill Feeley
 lrodriguez@easternmetal.cc

Technical Representative
 Address/Phone/Email

Quality Assurance Representative
 Address/Phone/Email

Category
 Subcategory

Shutters
 Accordion

Compliance Method

Evaluation Report from a FL
 Florida Professional Engineer
 Evaluation Report - Har

Florida Engineer or Architect Name who
 developed the Evaluation Report

Walter A. Tillit, JR.

GENERAL NOTES:

1. BERTHA H.V. ACCORDION SHUTTER SYSTEM SHOWN ON THIS PRODUCT EVALUATION DOCUMENT (P.E.D.) HAS BEEN VERIFIED FOR COMPLIANCE IN ACCORDANCE WITH THE 2007 EDITION OF THE FLORIDA BUILDING CODE.
THIS ACCORDION SHUTTER SYSTEM SHALL NOT BE INSTALLED AT HIGH VELOCITY HURRICANE ZONES. DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 1609 OF THE ABOVE MENTIONED CODE FOR A BASIC WIND SPEED AS REQUIRED BY THE JURISDICTION WHERE SHUTTER WILL BE INSTALLED, AND FOR A DIRECTIONALITY FACTOR $K_d=0.85$, IN ACCORDANCE WITH ASCE 7-05 STANDARD. IN ORDER TO VERIFY THAT COMPONENTS AND ANCHORS ON THIS P.E.D., AS TESTED, WERE NOT OVER STRESSED, A 33 % INCREASE IN ALLOWABLE STRESS FOR WIND LOADS WAS NOT USED IN THEIR ANALYSIS. HOWEVER, A WIND DURATION FACTOR $C_D = 1.60$ WAS USED FOR VERIFICATION OF FASTENERS IN WOOD.
BERTHA H.V. ACCORDION SHUTTER SYSTEM'S ADEQUACY FOR WIND AND LARGE MISSILE IMPACT LOAD HAS BEEN VERIFIED IN ACCORDANCE WITH SECTION 1609.1.2 OF THE ABOVE MENTIONED CODE AS PER ATL REPORTS:
-HV BLADE ① #0214.01-03, #0715.01-03, #1004.01-05, #1214.01-05 AND 0317.02-06 AS PER TAS 201, TAS 202 AND TAS 203 PROTOCOLS AND ASTM E-1886 AND E-1996 STANDARDS (MISSILE LEVEL D, WIND ZONES 1, 2, 3 & 4).
-HV WINDOW BLADE ② #0505.01-08 AS PER TAS 201, TAS 202 AND TAS 203 PROTOCOLS AND ASTM E-1886 AND E-1996 (MISSILE LEVEL D, WIND ZONES 1, 2, 3 & 4).
-HV BLADE ② #0422.01-05 AS PER TAS 201, TAS 202 AND TAS 203 PROTOCOLS.
2. HV BLADE ① AND HV BLADE ② ARE ENGINEERED TO WORK IN UNISON WITH EACH OTHER IN AREAS WHERE THE DESIGN PRESSURES TRANSITION FROM END ZONE 5 TO INTERIOR ZONE 4. EACH WIND ZONE MUST BE CLEARLY IDENTIFIED IN ACCORDANCE WITH SECTION 6, OF ASCE 7-05 STANDARD. ALL MOUNTING CONDITIONS AND FASTENER TYPES SCHEDULES MUST BE APPLIED TO THE CORRESPONDING WIND ZONE. THIS SHALL INCLUDE REQUIREMENTS FOR MIN. SEPARATION TO GLASS, DELIMITATION OF WIND ZONES 4 AND 5 AS WELL AS VALIDITY OF COMPONENTS FOR HV BLADE 1 & 2 ACCORDION SHUTTERS SYSTEMS FOR EITHER WIND ZONE SHALL BE PREPARED AND CERTIFIED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT BASED ON BUILDING CONFIGURATION AND ASCE 7-05 STANDARD, AND SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AT THE TIME PERMIT IS APPLIED FOR.
HV BLADE ① AND HV WINDOW BLADE ② ARE ENGINEERED TO WORK IN UNISON WITH EACH OTHER UNDER THE GENERAL LIMITATIONS AND CONDITIONS OF USE INDICATED ON SHEET 28.
3. BERTHA H.V. ACCORDION PINS (HV SCREWS), USED AT BLADES KNUCKLE AND FOR DIRECT MOUNT CONNECTION TO TRACKS SHALL BE # 14X2.75 AND # 14X1.75 RESPECTIVELY, 410-HT MINIMUM SERIES STAINLESS STEEL SCREWS WITH 135.0 ksi YIELD STRENGTH AND 180 ksi TENSILE STRENGTH. PINS SHALL BE COATED WITH BERTHA HV DACROSHIELD COATING SYSTEM AS MANUFACTURED BY APPROVED COATING APPLICATORS, REGISTERED WITH AMERICAN SHUTTER SYSTEMS ASSOCIATION. PINS MUST BEAR THE HV MARKING ON THEIR HEAD.
4. ALL ALUMINUM EXTRUSIONS SHALL BE ALUMINUM ASSOCIATION ALLOY AND TEMPER AS INDICATED ON SHEETS 2 AND 3. MINIMUM YIELD STRENGTH FOR 6063-T6 ALLOY IS 31.7 ksi AND 35.7 ksi FOR 6005-T5 ALLOY.
5. ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 AISI SERIES OR CORROSION RESISTANT COATED CARBON STEEL AS PER DIN 50018 WITH 50 ksi MIN. YIELD STRENGTH AND 90 ksi MIN. TENSILE STRENGTH.
6. BOLTS TO BE ASTM A-307 GALVANIZED STEEL, OR AISI 304 OR 316 SERIES STAINLESS STEEL WITH 35 ksi MINIMUM YIELD STRENGTH.
7. SEE THE FOLLOWING SHEETS FOR ANCHOR SPECIFICATIONS: HV BLADE ① : 13,14,15,16 AND 17
HV BLADE ② : 26.
HV BLADE ① & ② WORKING IN UNISON: 13, 14 & 16
8. THIS BERTHA H.V. ACCORDION SHUTTER SYSTEM BEARS A U.S. PATENT #6779,582. COMPONENTS OF THIS APPROVAL ARE COVERED, IN WHOLE OR IN PART BY U.S. PATENT #5'458,170 ISSUED TO EASTERN METAL SUPPLY, INC.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHUTTER IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE. CONTRACTOR TO SEAL/CAULK ALL SHUTTER COMPONENT EDGES WHICH REMAIN, THRU FASTENING IN CONTINUOUS CONTACT WITH THE BUILDING TO PREVENT WIND/RAIN INTRUSION.
10. EACH UNIT MUST BEAR PERMANENT LABEL IN A VISIBLE PLACE WITH WARNING NOTE: DURING PERIODS OF HURRICANE WARNINGS HOME OWNER, TENANT, OR OTHERS, MUST PROPERLY CLOSE ALL HV AND HD CENTERMATES AND ENGAGE OR LOCK ALL HV AND HD LOCKS.
11. SHUTTER MANUFACTURER'S LABEL SHALL BE LOCATED ON A READILY VISIBLE LOCATION AT ACCORDION SHUTTER IN ACCORDANCE WITH SECTION 1714.8.3 OF FLORIDA BUILDING CODE. ONE LABEL SHALL BE PLACED FOR EVERY OPENING. LABELING TO COMPLY WITH SECTION 1714.8.2 OF THE FLORIDA BUILDING CODE.:
12. BERTHA H.V. ACCORDION SHUTTER SYSTEM'S INSTALLATION SHALL COMPLY WITH SPECS INDICATED IN THIS DRAWING PLUS ANY BUILDING AND ZONING REGULATIONS PROVIDED BY THE JURISDICTION WHERE PERMIT IS APPLIED TO.
13. (a) THIS P.E.D. PREPARED BY THIS ENGINEER IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PROJECT; I.E. WHERE THE SITE CONDITIONS DEVIATE FROM THE P.E.D.
(b) CONTRACTOR TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION INCLUDING LIFE SAFETY OF THIS PRODUCT, BASED ON THIS P.E.D., PROVIDED HE/SHE DOES NOT DEVIATE FROM THE CONDITIONS DETAILED ON THIS DOCUMENT. CONSTRUCTION SAFETY AT SITE IS THE CONTRACTOR'S RESPONSIBILITY.
(c) THIS P.E.D. WILL BE CONSIDERED INVALID IF ALTERED BY ANY MEANS.
(d) SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT WHICH WILL BECOME THE ENGINEER OF RECORD (E.O.R.) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE P.E.D. ENGINEER OF RECORD, ACTING AS A DELEGATED ENGINEER TO THE P.E.D. ENGINEER SHALL SUBMIT TO THIS LATTER THE SITE SPECIFIC DRAWINGS FOR REVIEW.
(e) THIS P.E.D. SHALL BEAR THE DATE AND ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT.

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F.B.C.(Non High Velocity Hurricane Zone)

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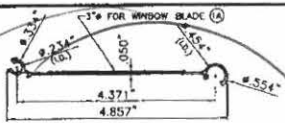
BERTHA HV™
Accordion Shutter System

REV. No	DESCRIPTION	DATE	DRAWN BY: M.C.V./T.E./L.D
1	OLD 05-364	07/25/08	DATE: 07/25/08
2			DRAWING No
3			08-152
4			SHEET
5			1 OF 28
6			



TILTECO INC.
TILLIT TESTING & ENGINEERING COMPANY
2355 N.W. 30th St. Ste 305, VIRGINIA GARDENS, FLORIDA 33180
Phone : (305)871-1530 Fax : (305)871-1531
e-mail: tilteco@aol.com
EB-0005719
WALTER A. TILLIT JR. P.E.
FLORIDA Lic. # 44167

A.S.S.A.
American Shutter Systems
Association, Inc.
426B West Road Drive
West Palm Beach, FL 33407
Phone: (800)432-2204 Fax: (561)209-8380

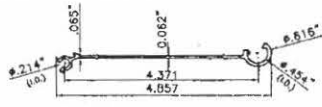


1 HV SOLID BLADE

COVERED UNDER US PATENT # 5458179

1A HV WINDOW BLADE*

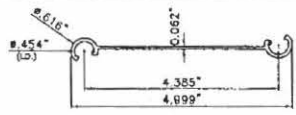
*SEE LIMITATIONS OF USE OF BLADE 1A ON SHEET 28
6063-T6 ALLOY AND TEMPER



2 HV BLADE

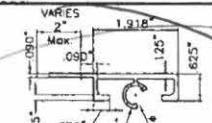
COVERED UNDER US PATENT # 5458179

6005-T5 ALLOY AND TEMPER



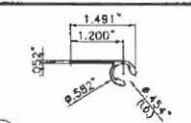
3 HV UNIVERSAL FLOATER

QUALIFIED FOR USE W/ HV BLADE 1 & 2
6005-T5 ALLOY AND TEMPER



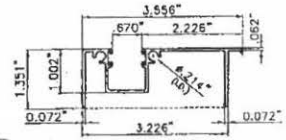
4 HV DIRECT MOUNT

QUALIFIED FOR USE W/ HV BLADE 1 & 2
6063-T6 ALLOY AND TEMPER



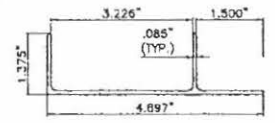
5 HV 90°/180° STARTER

QUALIFIED FOR USE W/ HV BLADE 1 & 2
6063-T6 ALLOY AND TEMPER



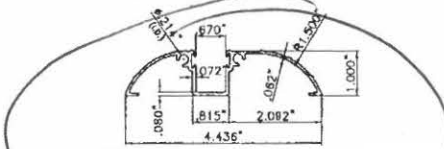
6 HV ADJ. FLOOR TRACK

QUALIFIED FOR USE W/ HV BLADE 1 & 2
6063-T6 ALLOY AND TEMPER



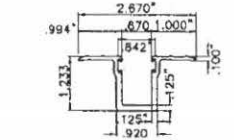
7 HV ADJ. ADAPTER W/LIP

QUALIFIED FOR USE W/ HV BLADE 1 & 2
6063-T6 ALLOY AND TEMPER



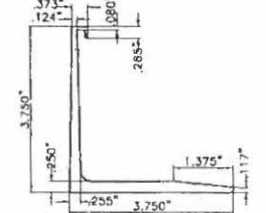
8 HV WALK-OVER TRACK

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6063-T6 ALLOY AND TEMPER



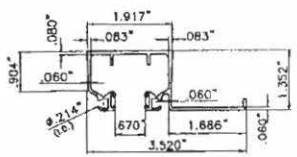
9 HV TRENCH TRACK

QUALIFIED FOR USE W/ HV BLADE 2 ONLY.
6063-T6 ALLOY AND TEMPER



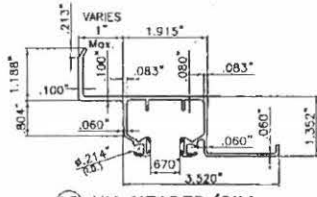
10 HV RAINGUARD

QUALIFIED FOR USE W/ HV BLADE 1 & 2
6063-T6 ALLOY AND TEMPER



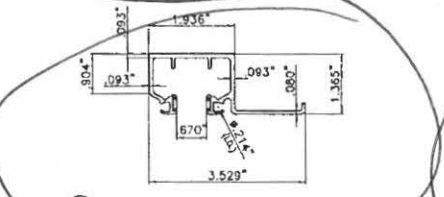
11 HV CEILING HEADER

QUALIFIED FOR USE W/ HV BLADE 1 ONLY.
SEE SECTIONS FOR VALIDITY.
6063-T6 ALLOY AND TEMPER



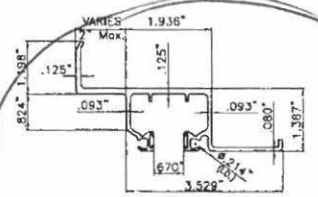
12 HV HEADER/SILL

QUALIFIED FOR USE W/ HV BLADE 1 ONLY
6063-T6 ALLOY AND TEMPER



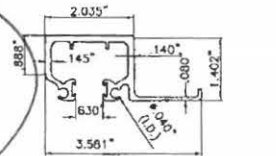
13 HD CEILING HEADER/SILL

QUALIFIED FOR USE W/ HV BLADE 1
SEE SECTIONS FOR VALIDITY
6063-T6 ALLOY AND TEMPER



14 HD WALL HEADER/SILL

QUALIFIED FOR USE W/ HV BLADE 1 ONLY.
6063-T6 ALLOY AND TEMPER



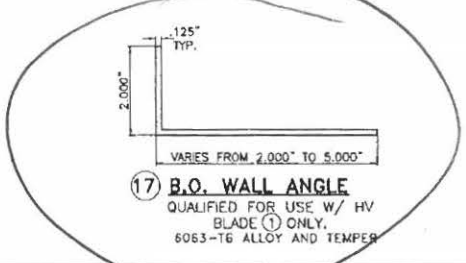
15 SHD CEILING HEADER/SILL

QUALIFIED FOR USE W/ HV BLADE 1 & 2
6063-T6 ALLOY AND TEMPER

X	Y	t
1"	1"	0.062"
1"	2"	0.062"
2"	2"	0.062"
2"	3"	0.062"
2"	4"	0.062"
2"	5"	0.062"

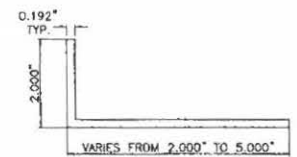
16 SIDE ANGLES

QUALIFIED FOR USE W/ HV BLADE 1 & 2
6063-T6 ALLOY AND TEMPER



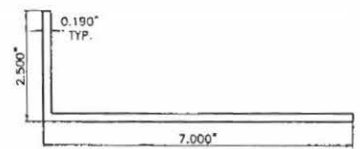
17 B.O. WALL ANGLE

QUALIFIED FOR USE W/ HV BLADE 1 ONLY.
6063-T6 ALLOY AND TEMPER



18 B.O. WALL ANGLE

QUALIFIED FOR USE W/ HV BLADE 2
6063-T6 ALLOY AND TEMPER



19 7" B.O. WALL ANGLE

QUALIFIED FOR USE W/ HV BLADE 1 ONLY.
6063-T6 ALLOY AND TEMPER

X	Y	t
2"	2"	0.125"
3"	3"	0.090"

20 CORNER POSTS

QUALIFIED FOR USE W/ HV BLADE 1 & 2
6063-T6 ALLOY AND TEMPER

F.B.C. (Non High Velocity Hurricane Zone)

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West Palm Beach, FL 33407
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BERTHA HV™
Accordion Shutter System

REV. No.	DESCRIPTION	DATE	DRAWN BY: M.C.V./J.P.
1	OLD 05-364	07/25/08	DATE: 07/25/08
2			
3			
4			
5			
6			

DRAWING No
08-152
SHEET
2 OF 28

SHUTTER ASSEMBLY SCHEDULE FOR HV ①, HV ①A AND HV ② BLADES.

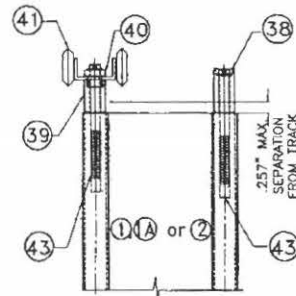
①	HV BLADE 1
①A	HV BLADE 1A
②	HV BLADE 2
③8	HV LONG RECESSED NYLON BUSHING
③9	HV SHORT RECESSED NYLON BUSHING
④0	HV NYLON HAT WASHER
④1	HV WHEEL CARRIAGE AISI 302-303 SERIES ø.870"x3/16" THICK NYLON WHEEL. 0.188"ø AISI 302 SERIES S.S. RIVETS
④2	HV 1 3/4" ACCORDION PIN W/ #8 HEAD *
④3	HV 2 3/4" ACCORDION PIN W/ #8 HEAD *
④4	POLYCARBONATE IMPACT RESISTANT HV WINDOW (SEE SHEET 27)

*** HV PIN REQUIREMENTS AT EXTERIOR BLADE KNUCKLE FOR HV ①, HV ①A & HV ② BLADES.**

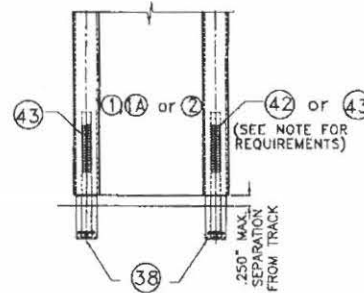
(1) HV PIN ④3 SHALL ALWAYS BE USED AT ALL EXTERIOR BOTTOM KNUCKLES OF HV ACCORDION SYSTEM W/ HV ① OR HV ①A BLADE.

(2) HV PIN ④2 MAY BE USED IN LIEU OF ④3 AND ONLY AT EXTERIOR BOTTOM KNUCKLES OF HV ACCORDION SYSTEM W/ HV ② BLADE WHEN CORRESPONDING TO INSTALLATIONS "CC" AND "DD", SHEET 22.

(3) HV PIN ④2 OR ④3 W/ 1/2" O.D. 1/16" THICK S.S. WASHER SHALL BE USED FOR DIRECT MOUNT INSTALLATION PER DETAIL X, SHEETS 11 & 24.

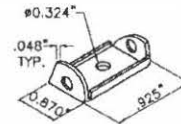


EXTERIOR



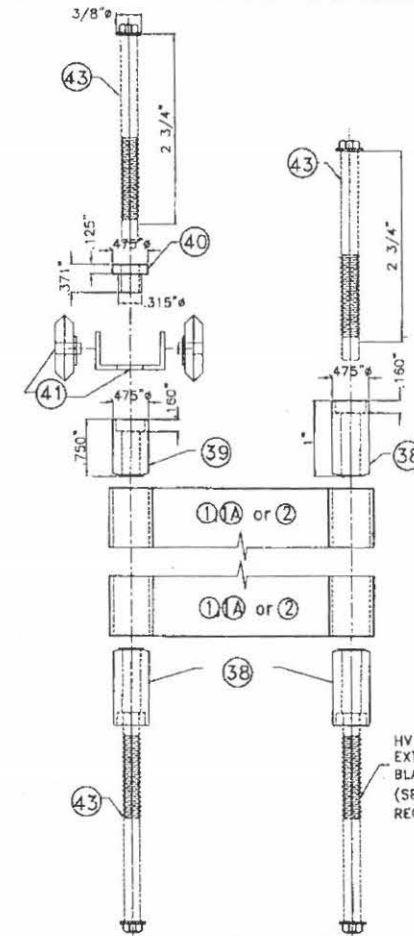
TYPICAL SHUTTER ASSEMBLY

SCALE: 3/8" = 1"



WHEEL CARRIAGE DETAIL

N.T.S.



EXTERIOR

HV PIN ④2 OR ④3 AT EXTERIOR BLADE'S KNUCKLE. (SEE NOTE * FOR REQUIREMENTS)

ASSEMBLY LAYOUT

N.T.S.

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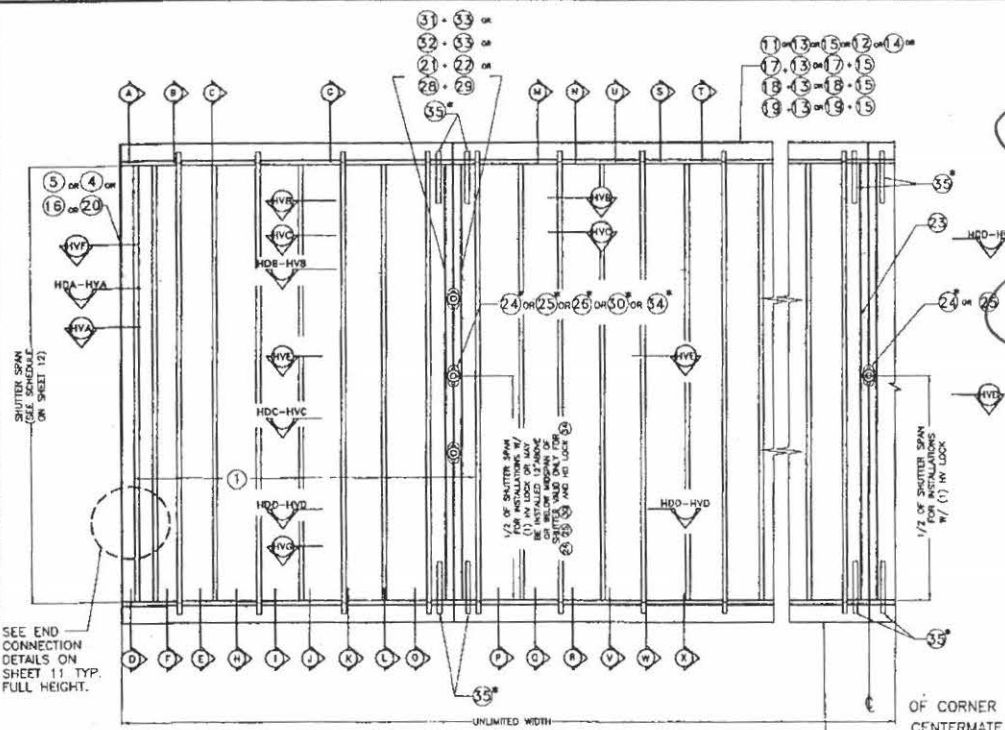
TILTECO INC.
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BERTHA HV™
Accordion Shutter System

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1	OLD 05-364	07/25/08	DATE: 07/25/08
2			
3			
4			DRAWING No 08-152
5			SHEET
6			4 OF 28



TYPICAL ① HV BLADE SHUTTER ELEVATION
N.T.S.

- * NOTES ON HV LOCKS AND CENTERMATES:**
- MANDATORY CONDITION #1:** ONE HV LOCK 24 or 25 SHALL BE USED AT 1/2 OF SHUTTER SPAN FOR ANY SPAN OR 12" ABOVE OR BELOW 1/2 OF SHUTTER SPAN FOR SPANS UP TO 105", AND FOR INSTALLATIONS AT ANY ELEVATION. HV LOCK 24 OR 25 MAY BE USED AS AN INSIDE OR OUTSIDE LOCK, ATTACHED TO 21 OR 22 CENTERMATES W/ (2) 1/4"Ø-20 x 1/2" LONG FLAT HEAD S.S. M.S. LOCATION OF LOCK SHALL BE AS INDICATED ON TYPICAL SHUTTER ELEVATION.
 - OPTIONAL CONDITION #1:** IF DESIRED, FOR BETTER PERFORMANCE OR FOR SECURITY PURPOSES, UP TO TWO HV LOCKS 24, 25 OR 26 MAY BE USED AS AN INSIDE OR OUTSIDE LOCK. CONNECTION OF LOCKS TO CENTERMATES 21 OR 22 SHALL BE AS INDICATED ON NOTE (1) ABOVE. LOCATION OF LOCKS SHALL BE AS INDICATED ON TYPICAL SHUTTER ELEVATION.
 - OPTIONAL CONDITION #2 (VALID ONLY WHEN MANDATORY CONDITION #1 OR LIMITED MANDATORY CONDITION #2 IS USED W/ TWO HV LOCKS):** LOCKING RODS 35 ARE NOT REQUIRED AT HURRICANE POSITION, BUT MAY BE USED IF DESIRED TO ENHANCE SHUTTER PERFORMANCE. LOCKING RODS 35 OR AN ALTERNATIVE DEVICE MAY ALSO BE USED AT STACKING POSITION (NON HURRICANE POSITION).
 - MANDATORY CONDITION #2:** ONE HV LOCK 24 OR 25 SHALL BE USED AT CORNER CENTERMATES FOR ANY SPAN AND INSTALLATIONS AT ANY ELEVATION. HV LOCK 24 OR 25 SHALL BE USED AS AN OUTSIDE OR INSIDE LOCK, ATTACHED TO 23 CORNER CENTERMATE W/ (2) 1/4"Ø-20 x 1/2" LONG FLAT HEAD S.S. M.S. TWO LOCKING RODS 35 AT TOP & BOTTOM SHALL BE USED. LOCATION OF LOCK SHALL BE AS INDICATED ON TYPICAL SHUTTER ELEVATION. MAXIMUM SHUTTER SPAN SHALL BE DETERMINED AS PER SCHEDULES SHOWN ON SHEET 12.
 - FIRST ALTERNATE TO MANDATORY CONDITION #1 VALID ONLY FOR HV LOCK 26 W/ SYMMETRICAL CENTERMATES 21 OR 22:** ONE ALTERNATE HV LOCK 26 MAY BE USED IN LIEU OF HV LOCK 24 OR 25 FOR ANY SPAN AND INSTALLATIONS AT ANY ELEVATION. ALTERNATE LOCK 26 MAY BE USED AS AN INSIDE OR OUTSIDE LOCK, ATTACHMENT OF 1/4"Ø-20x3/4" S.S. THUMBSCREW TO 21 OR 22 CENTERMATES SHALL BE MADE W/ 1/4"Ø-20x3/4" ALUM. RIVNUT AS SHOWN ON SECTION HVE, SHEET B. ONE LOCK SHALL BE USED AT 1/2 OF SHUTTER SPAN OR TWO LOCKS AT 1/3 OF SHUTTER SPAN.

- *NOTES ON HV "T" LOCKS AND CENTERMATES:**
- SECOND ALTERNATE TO MANDATORY CONDITION #1 VALID ONLY FOR HV "T" LOCK 30 AND CENTERMATES 26 AND 29:** ONE ALTERNATE HV "T" LOCK 30 MAY BE INSTALLED IN LIEU OF HV LOCKS 24 OR 25 FOR ANY SPAN AND INSTALLATION AT ANY ELEVATION. ALTERNATE LOCK 30 MAY BE USED AS AN INSIDE OR OUTSIDE LOCK. ATTACHMENT OF LOCK 30 INCLUDES USING REINFORCING LOCKER 27, AS SHOWN ON SECTION HVG, SHEET 9, WHICH MUST BE CONNECTED TO CENTERMATES 26 AND 29 W/ 1/4"Ø-20 x 1/2" LONG S.S. THREADED BOLT W/ 7/8"Ø x 3/32" WINGNUT OR W/ 1/4"Ø-20x1" S.S.M.S. INTO A 1/4"Øx 5/8" RIVNUT. LOCK MAY BE INSTALLED AT MIDSPAN OR 12" MAXIMUM ABOVE AND BELOW MIDSPAN. USE OF TWO LOCKING RODS 35 TOP AND BOTOM IS MANDATORY.

- *NOTES ON HD LOCKS & CENTERMATES:**
- HD LOCK 34 W/ HD CENTERMATES 31 OR 32 W/ 33:** ONE ALTERNATE HD LOCK 34 MAYBE USED IN LIEU OF HV LOCKS 24 OR 25 FOR ANY SPAN AND INSTALLATIONS AT ANY ELEVATION. ALTERNATE HD LOCK 34 MAY BE USED AS AN INSIDE OR OUTSIDE LOCK. ATTACHMENT OF HD LOCK 34 TO 33 IS W/ 3/8 x 3/8" F.H. S.S.M.S., AND INCLUDES REINFORCEMENT INSERT 33 AS SHOWN ON SECTIONS HDB-HVB AND HDC-HVC, SHEET 10. LOCK MAY BE INSTALLED AT MIDSPAN OR 12" MAXIMUM BELOW OR ABOVE MIDSPAN. USE OF LOCKING RODS 35 IS COMPLETELY OPTIONAL.

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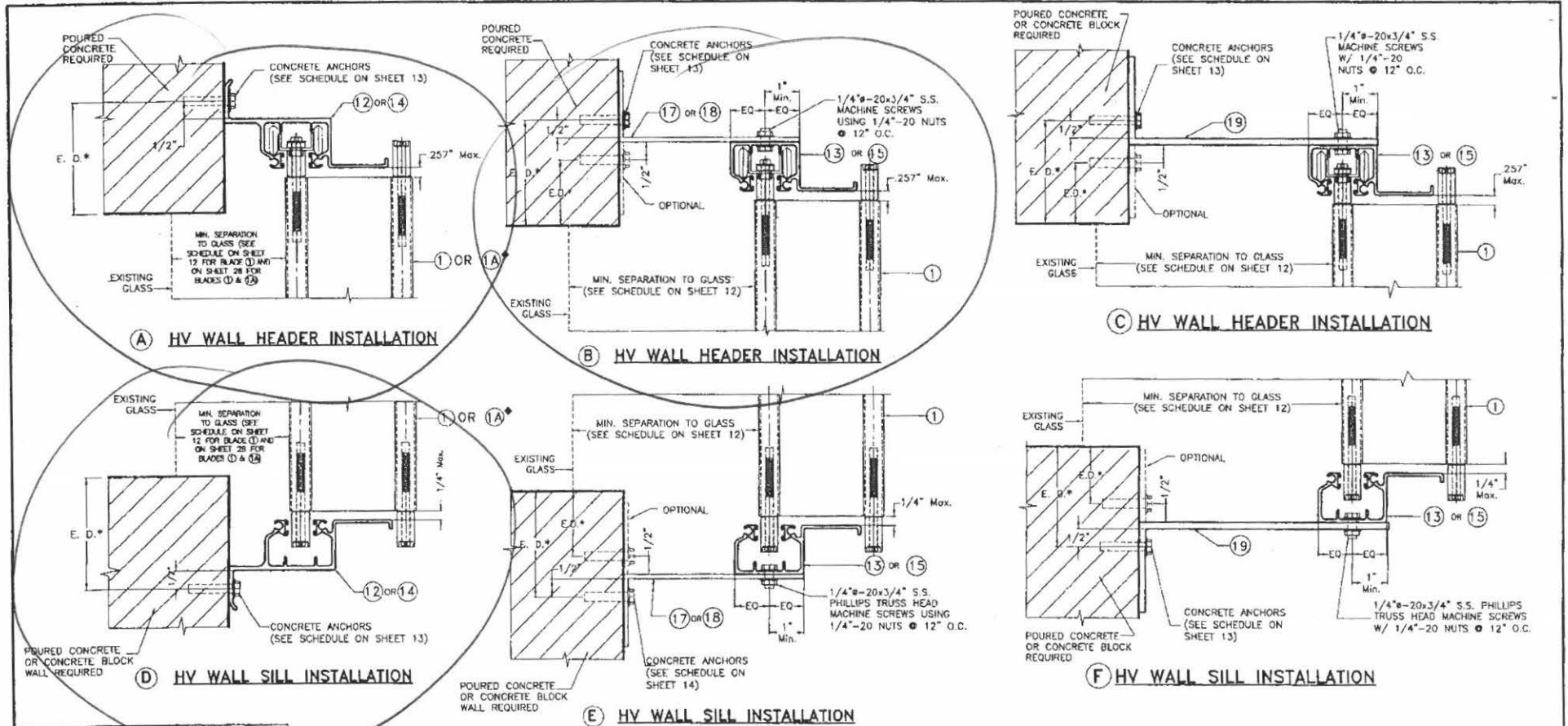
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BERTHA HV™ Accordion Shutter System			
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1	OLD 05-364	07/25/08	DATE: 07/25/08
2			DRAWING No
3			08-152
4			SHEET
5			5 OF 28
6			



NOTE FOR COMBINATION OF SECTIONS:
 1- SEE SHEET 4 FOR TYPICAL SHUTTER ASSEMBLY
 2- MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

E. D. = EDGE DISTANCE
 (SEE SPECIFICATIONS ON SHEET 14)

SEE LIMITATIONS OF USE FOR BLADE (A) ON SHEET 28

INSTALLATION DETAILS W/
 ① HV BLADE

F.B.C. (Non High Velocity Hurricane Zone)

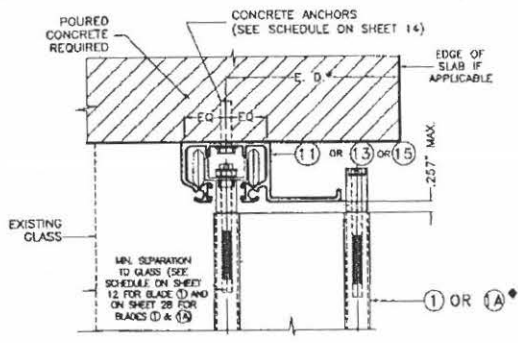
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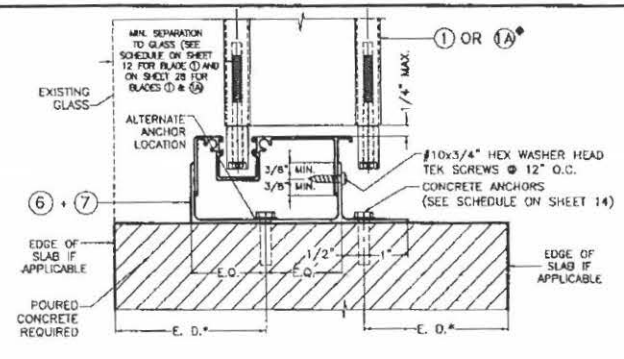
TILECO INC.
 TILLIT TESTING & ENGINEERING COMPANY
 3455 N.W. 38th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166
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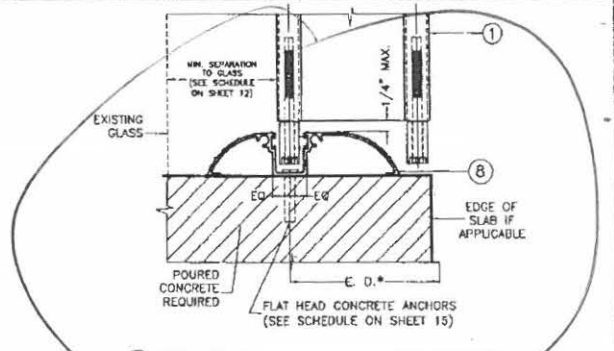
BERTHA HV™ Accordian Shutter System			
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1	OLD 05-384	07/25/08	DATE: 07/25/08
2			DRAWING No
3			08-152
4			SHEET
5			6 OF 28
6			



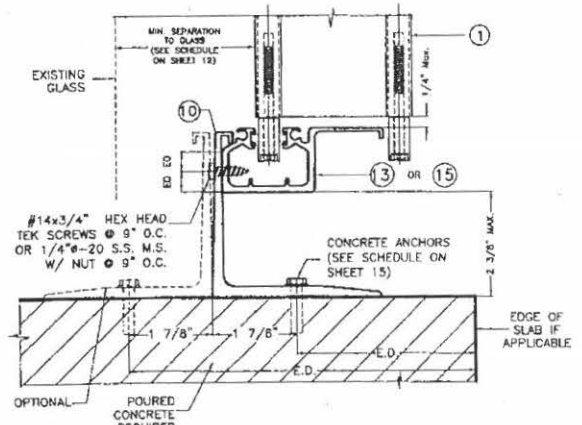
(G) HV CEILING INSTALLATION



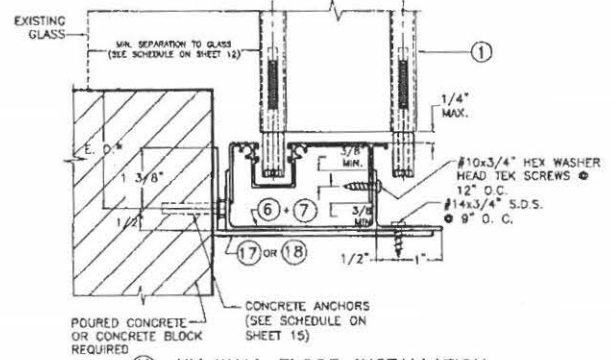
(H) HV FLOOR INSTALLATION †



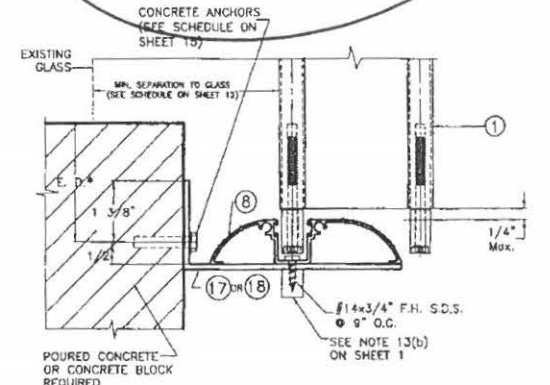
(I) HV WALK-OVER INSTALLATION



(J) HV RAINGUARD INSTALLATION †



(K) HV WALL FLOOR INSTALLATION



(L) HV WALL WALK-OVER INSTALLATION

NOTE FOR COMBINATION OF SECTIONS:
 1- SEE SHEET 4 FOR TYPICAL SHUTTER ASSEMBLY
 2- MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

* E. D. = EDGE DISTANCE (SEE SPECIFICATIONS ON SHEET 14)

NOTE:
 † THIS INSTALLATION SHALL BE REMOVABLE WHEN PERFORMED ADJACENT TO AN OPERABLE EXIT OR ENTRANCE

• SEE LIMITATIONS OF USE FOR BLADE (A) ON SHEET 28

INSTALLATION DETAILS W/

(1) HV BLADE

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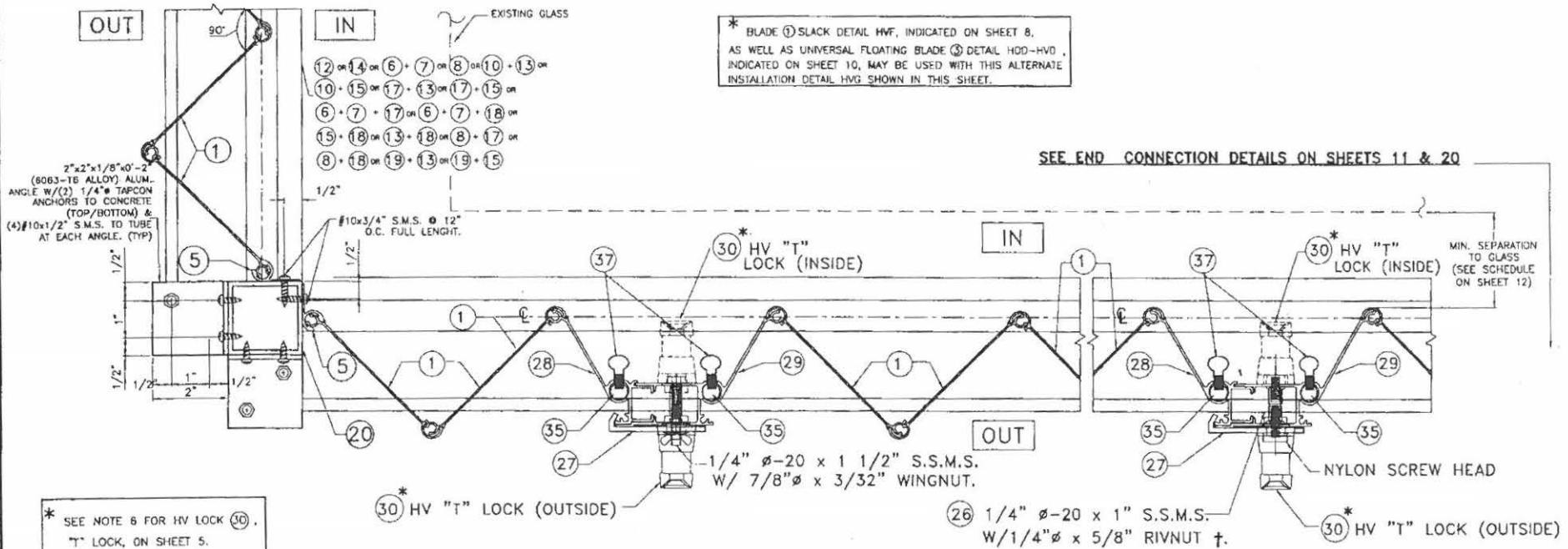
TILTECO INC.
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BERTHA HV™			
Accordion Shutter System			
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1	OLD 05-364	07/25/08	DATE: 07/25/08
2			
3			
4			DRAWING No 08-152
5			SHEET
6			7 OF 28

ALTERNATE INSTALLATION W/HV "T" LOCK (30), HV MALE/FEMALE "T" LOCKS CENTERMATES (28), (29) & LOCKERS (27) W/ (1) HV BLADE *

SEE END CONNECTION DETAILS ON SHEETS 11 & 20



* BLADE (1) SLACK DETAIL HWF, INDICATED ON SHEET 8, AS WELL AS UNIVERSAL FLOATING BLADE (3) DETAIL HOD-HVD, INDICATED ON SHEET 10, MAY BE USED WITH THIS ALTERNATE INSTALLATION DETAIL HVG SHOWN IN THIS SHEET.

SEE END CONNECTION DETAILS ON SHEETS 11 & 20

* SEE NOTE 6 FOR HV LOCK (30), "T" LOCK, ON SHEET 5.

† SERIES 9444 ALUMINUM (2024-T3 ALLOY) LARGE FLANGE THIN SHEET NUTSERT, PART # 0820, AS MANUFACTURED BY AVEL CHERRY TEXTORN, PARSIPPENY, NEW JERSEY 07054 OR EQUAL.

HVG*

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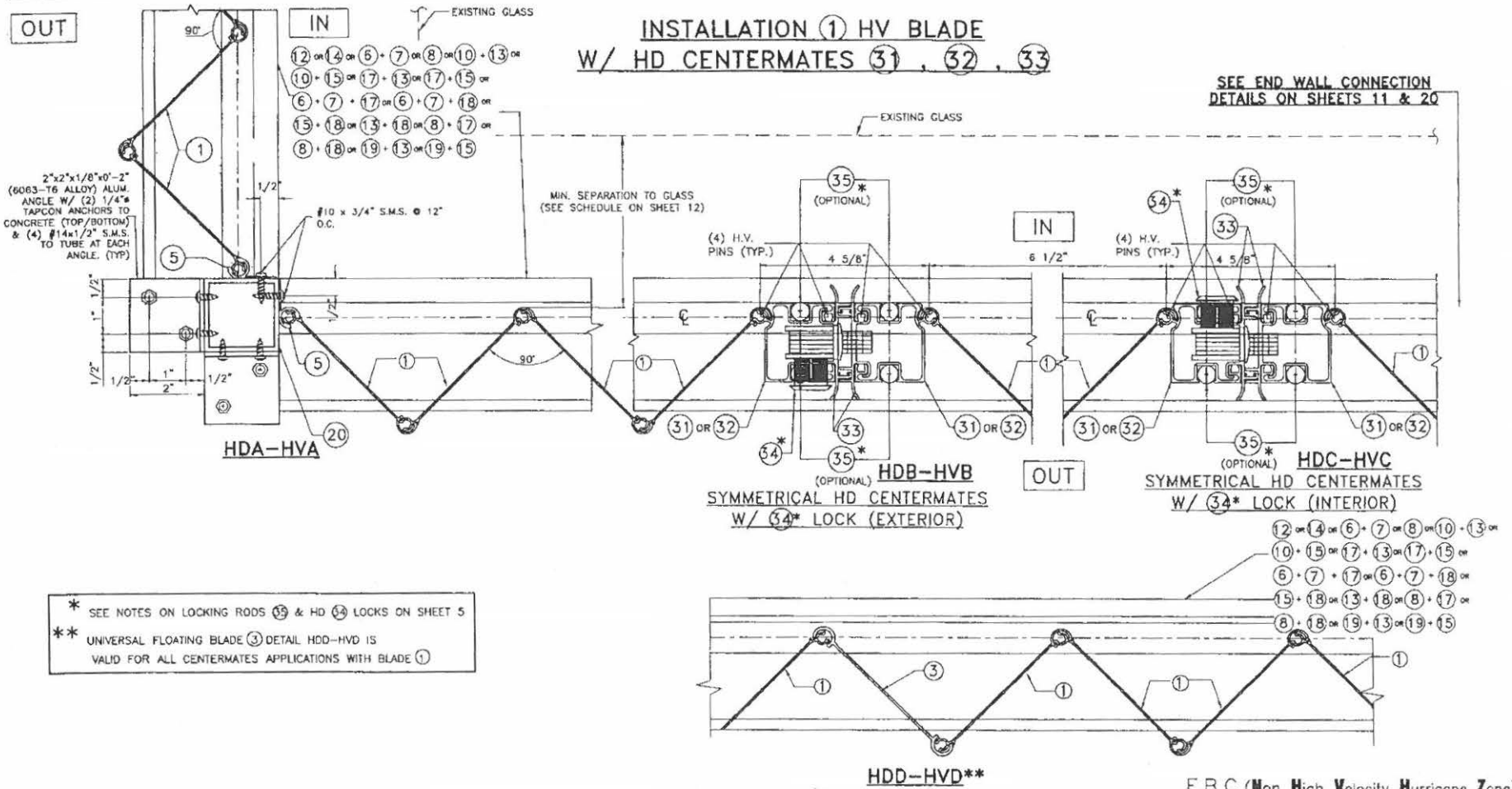
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1	OLD 05-364	07/25/08	DATE: 07/25/08
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SHEET
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SEE END WALL CONNECTION DETAILS ON SHEETS 11 & 20



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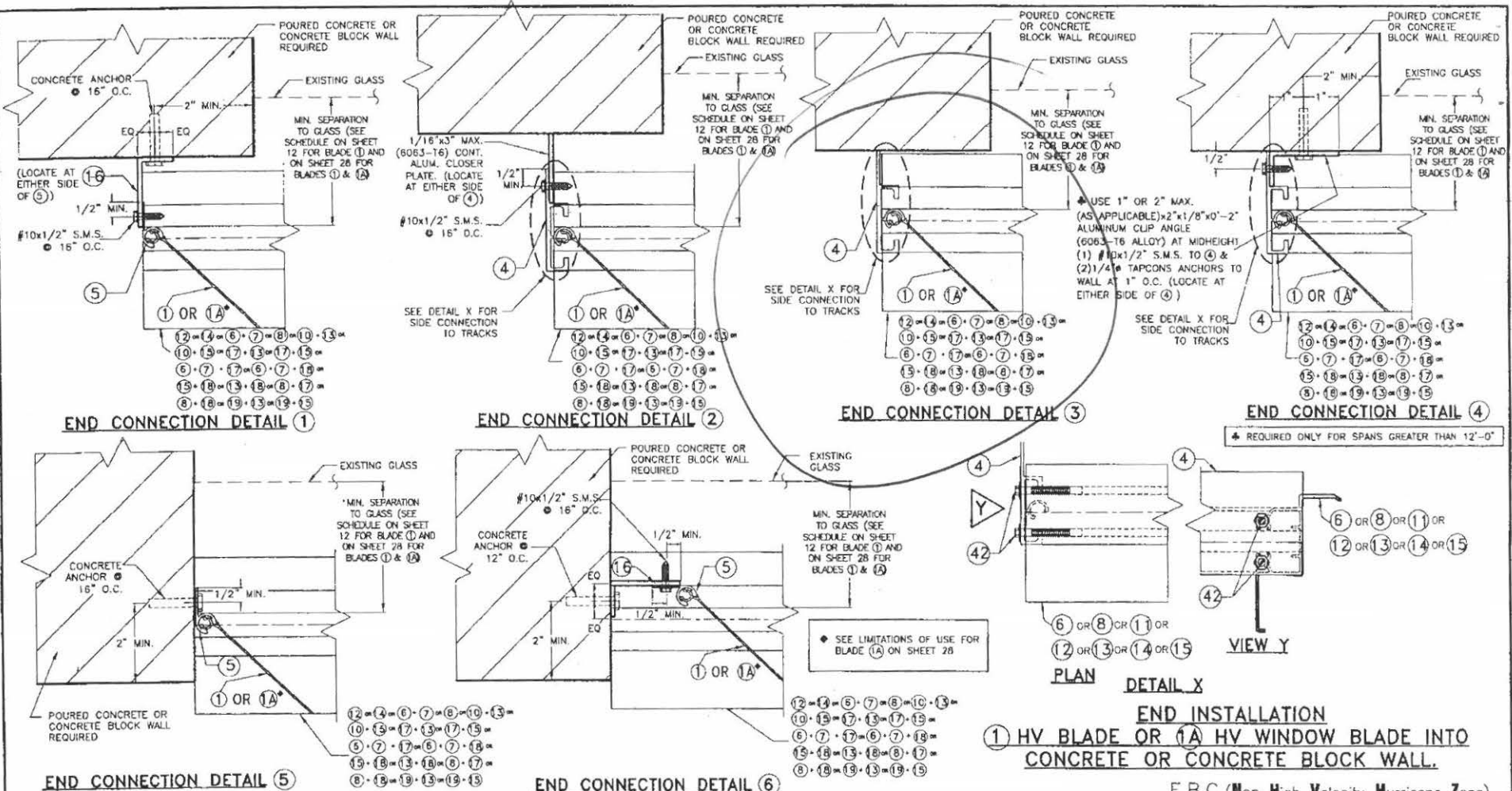
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2			
3			
4			
5			
6			

DRAWING No
08-152
SHEET
10 OF 28



END INSTALLATION
 ① HV BLADE OR ①A HV WINDOW BLADE INTO
 CONCRETE OR CONCRETE BLOCK WALL.

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1	OLD 05-384	07/25/08	DATE: 07/25/08
2			
3			
4			
5			
6			

DRAWING No
08-152
 SHEET
11 OF 28

MAXIMUM SHUTTER SPAN* "L+" OR "L-" (ft.). FOR INSTALLATIONS W/ SYMMETRICAL CENTERMATES, #3 & #2 or #1 or #2 W/ ONE H.V. LOCK #29 or #23 or #28 or HD LOCK #34 W/ NO LOCKING RODS #35 or CENTERMATES #28 & #29 W/ ONE HV LOCK #30 W/TWO LOCKING RODS #33 TOP & BOTTOM (SEE NOTE †)

MAXIMUM DESIGN LOAD (psf) (+ or -)	CONCRETE & WOOD INSTALLATIONS ▲			
	WALL MOUNTING		FLOOR/CEILING MOUNTING	
	L+ (ft)	L- (ft)	L+ (ft)	L- (ft)
30 OR LESS	16'-0"	16'-0"	16'-0"	16'-0"
35	14'-10"	14'-10"	15'-2"	16'-0"
40	13'-10"	13'-10"	14'-2"	15'-2"
45	13'-1"	13'-1"	13'-4"	14'-3"
50	12'-5"	12'-5"	12'-8"	13'-7"
55	11'-10"	11'-10"	12'-1"	12'-11"
60	11'-4"	11'-4"	11'-7"	12'-4"
65	10'-10"	10'-10"	11'-1"	11'-11"
70	10'-6"	10'-6"	10'-9"	11'-5"
75	10'-1"	10'-1"	10'-4"	11'-1"
80	9'-10"	9'-10"	10'-0"	10'-9"
85	9'-6"	9'-6"	9'-9"	10'-5"
90	9'-3"	9'-3"	9'-5"	10'-1"
95	9'-0"	8'-9"	9'-2"	9'-10"
100	8'-9"	8'-4"	9'-0"	9'-7"
105	8'-7"	7'-11"	8'-9"	9'-4"
110	8'-4"	7'-7"	8'-7"	9'-2"
115	8'-2"	7'-3"	8'-4"	8'-11"
120	8'-0"	6'-11"	8'-2"	8'-9"
125	7'-10"	6'-8"	8'-0"	8'-5"
130	7'-8"	6'-5"	7'-10"	8'-1"
135	7'-7"	6'-2"	7'-9"	7'-8"
140	7'-5"	5'-11"	7'-7"	7'-6"
145	7'-3"	5'-9"	7'-5"	7'-3"
150	7'-2"	5'-7"	7'-4"	7'-0"
155	7'-0"	5'-5"	7'-2"	6'-9"
160	6'-11"	5'-2"	7'-1"	6'-7"
165	6'-10"	5'-1"	7'-0"	6'-4"
170	6'-9"	4'-11"	6'-11"	6'-2"
175	6'-7"	4'-9"	6'-9"	6'-0"
180	6'-6"	4'-8"	6'-8"	5'-10"
185	6'-5"	4'-6"	6'-7"	5'-8"
190	6'-4"	4'-5"	6'-6"	5'-6"
195	6'-3"	4'-3"	6'-5"	5'-5"
200	6'-2"	4'-2"	6'-4"	5'-3"
205	6'-1"	4'-1"	6'-3"	5'-1"

MAXIMUM SHUTTER SPAN* "L+" OR "L-" (ft.) FOR INSTALLATIONS W/ OPPOSING CENTERMATES, #1 & #2 ONE HV LOCK #29 or #23 or #28 W/ NO LOCKING RODS #33 (SEE NOTE †)

MAXIMUM DESIGN LOAD (psf) (+ or -)	CONCRETE & WOOD INSTALLATIONS ▲	
	WALL MOUNTING & FLOOR/CEILING MOUNTING	
	L+ (ft)	L- (ft)
30	16'-0"	16'-0"
35	14'-10"	14'-10"
40	13'-10"	13'-10"
45	13'-1"	13'-1"
50	12'-5"	12'-5"
55	11'-10"	11'-10"
60	11'-4"	11'-4"
65	10'-10"	10'-10"
70	10'-6"	10'-6"
75	10'-1"	10'-1"
80	9'-10"	9'-10"
85	9'-6"	9'-6"
90	9'-3"	9'-3"
95	9'-0"	8'-9"
100	8'-9"	8'-4"
105	8'-7"	7'-11"
110	8'-4"	7'-7"
115	8'-2"	7'-3"
120	8'-0"	6'-11"
125	7'-10"	6'-8"
130	7'-8"	6'-5"
135	7'-7"	6'-2"
140	7'-5"	5'-11"
145	7'-3"	5'-9"
150	7'-2"	5'-7"
155	7'-0"	5'-5"
160	6'-11"	5'-2"
165	6'-10"	5'-1"
170	6'-9"	4'-11"
175	6'-7"	4'-9"
180	6'-6"	4'-8"
185	6'-5"	4'-6"
190	6'-4"	4'-5"
195	6'-3"	4'-3"
200	6'-2"	4'-2"
205	6'-1"	4'-1"

INSTALLATION LEGEND		
	CONCRETE & MANSORY	WOOD
WALL MOUNTING	A, B, C, D, E, F, K & L	M, N, O, P, Q, R, S, & V.
FLOOR/CEILING MOUNTING	G, H, I & J	T, U, W & X

▲ MAXIMUM SHUTTER SPAN "L+" OR "L-" FOR INSTALLATIONS INTO WOOD SHALL BE LIMITED TO 105 psf. DESIGN LOAD.

† HV CORNER CENTERMATE #3 MAY BE USED AT ALL MOUNTING INSTALLATIONS. LOCKING SPECIFICATIONS SHALL BE AS INDICATED ON MANDATORY CONDITION #2 NOTE #5, SHEET 5.

WIND ZONE ASTM E-1996	MINIMUM SEPARATION TO GLASS
1 THRU 3	1"
4	4"

① HV BLADE

* NOTES:
 (1) L+ MAXIMUM ALLOWABLE SPAN FOR A GIVEN POSITIVE DESIGN LOAD.
 L- MAX. ALLOWABLE SPAN FOR A GIVEN NEGATIVE DESIGN LOAD.
 (2) PROCEDURE TO DETERMINE MAXIMUM SPAN FOR WALL MOUNTINGS (TOP/BOTTOM) OR FLOOR/CEILING:
 GIVEN A POSITIVE DESIGN LOAD, DETERMINE MAXIMUM SPAN "L+" FROM SCHEDULE.
 GIVEN A NEGATIVE DESIGN LOAD, DETERMINE MAXIMUM SPAN "L-" FROM SCHEDULE.
 FINAL MAXIMUM ALLOWABLE SPAN IS EQUAL TO THE MINIMUM DETERMINED SPAN BETWEEN "L+" AND "L-".
 (3) PROCEDURE TO DETERMINE MAXIMUM SPAN FOR COMBINATIONS IN BETWEEN WALL MOUNTINGS W/ FLOOR/CEILING MOUNTINGS:
 FOR A GIVEN POSITIVE DESIGN LOAD:
 DETERMINE:
 L1+ = MAX. SPAN FOR WALL MOUNTING INSTALLATIONS.
 L2+ = MAX. SPAN FOR FLOOR/CEILING MOUNTING INSTALLATIONS.
 FOR A GIVEN NEGATIVE DESIGN LOAD:
 DETERMINE:
 L1- = MAX. SPAN FOR WALL MOUNTING INSTALLATIONS.
 L2- = MAX. SPAN FOR FLOOR/CEILING MOUNTING INSTALLATIONS.
 FINAL MAXIMUM ALLOWABLE SPAN IS EQUAL TO THE MINIMUM BETWEEN "L1+", "L2+", "L1-" AND "L2-".
 (4) GO TO ANCHOR SCHEDULE WITH FINAL MAXIMUM ALLOWABLE SPAN AND NEGATIVE DESIGN LOAD TO DETERMINE MAXIMUM ANCHOR SPACING.

F.B.C. (Non High Velocity Hurricane Zone)

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BERTHA HV™ Accordion Shutter System			
REV. No	DESCRIPTION	DATE	DRAWN BY: M.C.V./L.G.
1	OLD 05-364	07/25/08	DATE: 07/25/08
2			
3			
4			
5			
6			

DRAWING No
08-152
SHEET
12 OF 28

ANCHORS SPACING LEGEND

TAPCON
ALL POINTS SOLID-SET
WEDGE-BOLT

MAXIMUM DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING (in.) SCHEDULE FOR A GIVEN MAX. SHUTTER SPAN, DESIGN NEGATIVE LOAD AND A CORRESPONDING MOUNTING TYPE FOR CONCRETE & CONCRETE BLOCK INSTALLATIONS
(SEE MOUNTINGS E, G, & H ON SHEETS 6 & 7).

MAXIMUM SPAN (ft.)	POURED CONCRETE/CONCRETE BLOCK												POURED CONCRETE												
	E WALL SILL MOUNTING						G CEILING MOUNTING						H FLOOR MOUNTING												
	NEGATIVE DESIGN LOAD (psf)						NEGATIVE DESIGN LOAD (psf)						NEGATIVE DESIGN LOAD (psf)												
	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	
3'-0" OR LESS	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	
	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	
	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	
4'-0"	14	12	10	9	8	7.5	5.5	3.5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	5	
	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	5.5	
	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	
5'-0"	14	12	10	9	8	6	4	-	14	12	10	9	8	8	6	5	14	12	10	9	8	8	7	5	4
	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	5.5	14	12	10	9	8	8	6	5	4.5
	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	
6'-0"	14	12	10	8	7	5	-	-	14	12	10	9	8	7.5	5.5	4	14	12	10	9	7.5	5.5	4	3	
	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	5	14	12	10	9	8	6.5	5	3.5	
	14	12	10	9	8	8	5	3	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	5.5	
7'-0"	14	12	9	7	6	3.5	-	-	14	12	10	9	8	6	4.5	3.5	14	12	10	8	6.5	5	3.5	-	
	14	12	10	9	8	8	5	3.5	14	12	10	9	8	7	5	4	14	12	10	9	7.5	5.5	4	3	
	14	12	10	9	8	6.5	3.5	-	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	4.5	
8'-0"	14	11.5	7.5	6	5	-	-	-	14	12	10	9	7.5	5.5	4	-	14	12	8.5	7	5.5	4	3	-	
	14	12	10	9	8	6.5	4	-	14	12	10	9	8	6	4.5	-	14	12	10	8	6.5	5	3.5	-	
	14	12	10	9	8	5	3	-	14	12	10	9	8	8	6	6	14	12	10	9	8	8	7	5	
9'-0"	13.5	10	7	5.5	4	-	-	-	14	12	10	8	6.5	5	-	-	14	11.5	7.5	6	5	3.5	-	-	
	14	12	10	9	8	5.5	-	-	14	12	10	9	7.5	5.5	-	-	14	12	8.5	7	5.5	4	-	-	
	14	12	10	9	7	4	-	-	14	12	10	9	8	8	-	-	14	12	10	9	8	8	-	-	
10'-0"	12	9	6	4.5	3	-	-	-	14	12	9	7	6	4.5	-	-	14	10.5	7	5.5	4.5	3.5	-	-	
	14	12	10	9	7.5	-	-	-	14	12	10	8	6.5	5	-	-	14	12	8	6	5	4	-	-	
	14	12	10	8	5.5	-	-	-	14	12	10	9	8	7	-	-	14	12	10	9	7.5	5.5	-	-	
11'-0"	11	8.5	5.5	3.5	-	-	-	-	14	12	8	6.5	5	4	-	-	12.5	9.5	6	5	4	3	-	-	
	14	12	10	9	-	-	-	-	14	12	9	7	6	4.5	-	-	14	10.5	7	5.5	4.5	3.5	-	-	
	14	12	10	6.5	-	-	-	-	14	12	10	9	8	6.5	-	-	14	12	10	8	7	5	-	-	
12'-0"	10	7.5	5	-	-	-	-	-	14	11	7.5	6	5	-	-	-	11.5	8.5	5.5	4.5	3.5	-	-		
	14	12	10	-	-	-	-	-	14	12	8	6.5	5.5	-	-	-	13	10	8.5	5	4	-	-		
	14	12	9	5.5	-	-	-	-	14	12	10	9	8	-	-	-	14	12	9.5	7.5	6	-	-		
13'-0"	9.5	7	4	-	-	-	-	-	13.5	10	6.5	5.5	4.5	-	-	-	10.5	8	5	4	3.5	-	-		
	14	12	10	-	-	-	-	-	14	11.5	7.5	6	5	-	-	-	12	9	6	4.5	4	-	-		
	14	12	7.5	-	-	-	-	-	14	12	10	8.5	7	-	-	-	14	12	8.5	7	6	-	-		
14'-0"	8.5	6.5	3.5	-	-	-	-	-	12.5	9.5	6	5	-	-	-	-	10	7.5	5	4	-	-	-		
	14	12	9	-	-	-	-	-	14	10.5	7	5.5	-	-	-	-	11	8.5	5.5	4.5	-	-	-		
	14	12	6.5	-	-	-	-	-	14	12	10	8	-	-	-	-	14	12	8	6.5	-	-	-		
15'-0"	8	6	-	-	-	-	-	-	12	9	6	-	-	-	-	-	9	7	4.5	-	-	-	-		
	14	12	-	-	-	-	-	-	13.5	10	6.5	-	-	-	-	-	10.5	8	5	-	-	-	-		
	14	11	-	-	-	-	-	-	14	12	9.5	-	-	-	-	-	14	11.5	7.5	-	-	-	-		
16'-0"	7.5	-	-	-	-	-	-	-	11	8	5.5	-	-	-	-	-	8.5	6.5	4	-	-	-	-		
	14	-	-	-	-	-	-	-	12.5	9.5	6	-	-	-	-	-	10	7.5	5	-	-	-	-		
	14	-	-	-	-	-	-	-	14	12	9	-	-	-	-	-	14	10.5	7	-	-	-	-		

***SPECIFICATIONS ON ANCHOR REQUIREMENTS: POURED CONCRETE OR CONCRETE BLOCK SUBSTRATES**

1. ANCHORS TO WALL SHALL BE AS FOLLOWS:
- (A) TO EXISTING POURED CONCRETE: (Min. f'c = 3 ksi)
 - 1/4" TAPCON ANCHORS, AS MANUFACTURED BY I.T.W. RAMSET/ RED HEAD.
 - 1/4" x 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.
 - 1/4" WEDGE-BOLT ANCHORS AS MANUFACTURED BY POWERS FASTENING, INC.
- NOTES:
- A.1) MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON ANCHORS IS 1 3/4", AND 2" FOR WEDGE-BOLT ANCHORS.
 - A.2) MINIMUM EMBEDMENT OF 1/4" x 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE 7/8" INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
 - A.3) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, PAVERS OR ANY VENEER BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SAID WALL FINISHES. ANCHORAGE SHALL BE AS INDICATED ON NOTES A.1) & A.2) ABOVE. FOR INSTALLATIONS ON VINYL SIDING OR EIFS CONSULT THIS ENGINEER.
 - (B) TO EXISTING CONCRETE BLOCK WALL:
 - 1/4" TAPCON ANCHORS, AS MANUFACTURED BY I.T.W. RAMSET/ RED HEAD.
 - 1/4" x 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.
 - 1/4" WEDGE-BOLT W/ 1/4" BLOCK-PLUG ANCHORS AS MANUFACTURED BY POWERS FASTENING, INC.
- NOTES:
- B.1) MINIMUM EMBEDMENT INTO CONCRETE BLOCK OF TAPCON & WEDGE-BOLT ANCHORS, IS 1 1/4".
 - B.2) MINIMUM EMBEDMENT OF 1/4" x 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE CONCRETE BLOCK. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
 - B.3) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, PAVERS OR ANY VENEER BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SAID WALL FINISHES. ANCHORAGE SHALL BE AS INDICATED ON NOTES B.1) & B.2) ABOVE. FOR INSTALLATIONS ON VINYL SIDING OR EIFS CONSULT THIS ENGINEER.
- (C) ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.
- (D) SEE SCHEDULE BELOW FOR EDGE DISTANCE (E.D.) VERSUS SPACING RELATIONSHIP FOR ANCHORS.

EDGE DISTANCE VERSUS SPACING FOR ANCHORS

MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE FOR 1/4" TAPCON AND SOLID SET AND WEDGE-BOLT FOR E. D. LESS THAN THE ABOVE MENTIONED, REDUCE ANCHOR SPACING BY MULTIPLYING SPACING SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (NOTE : MIN. E. D. FOR ALL POINT SOLID SET ANCHORS IS 3"). REQUIRED SPACING OBTAINED USING FACTOR SHALL NOT BE LESS THAN MINIMUM SPACING INDICATED FOR EACH ANCHOR TYPE.

ACTUAL E. D.	FACTOR		
	WEDGE-BOLT MIN. SPACING = 3"	1/4" TAPCON MIN. SPACING = 3"	SOLID SET MIN. SPACING = 3.5"
3"	0.83	-	0.78
2 1/2"	0.66	-	-
2"	0.50	-	-
1 1/2"	-	0.35	-

◆ SEE LIMITATIONS OF USE FOR BLADE (A) ON SHEET 28

① HV BLADE OR ① HV BLADE W/
①A HV WINDOW BLADE WORKING IN UNISON ◆

F.B.C. (Non High Velocity Hurricane Zone)

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Phone: (800)432-2204 . Fax: (561)209-8360

BERTHA HV™
Accordion Shutter System

REV. No	DESCRIPTION	DATE	DRAWN BY: M.C.V./F.P.
1	OLD 03-384	07/25/08	DATE: 07/25/08
2			
3			
4			DRAWING No 08-152
5			SHEET
6			14 OF 28

ANCHORS SPACING LEGEND

TAPCON
ALL POINTS SOLID-SET
WEDGE-BOLT

MAXIMUM DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR* SPACING (in.) SCHEDULE FOR A GIVEN MAX. SHUTTER SPAN, DESIGN NEGATIVE LOAD AND A CORRESPONDING MOUNTING TYPE FOR CONCRETE & CONCRETE BLOCK INSTALLATIONS
(SEE MOUNTINGS I, J, K & L ON SHEET 7).

MAXIMUM SPAN (ft.) OR LESS	POURED CONCRETE												POURED CONCRETE/CONCRETE BLOCK																				
	I WALK OVER MOUNTING						J RAINGUARD MOUNTING						K WALL/FLOOR MOUNTING						L WALL/WALK OVER MOUNTING														
	NEGATIVE DESIGN LOAD (psf)						NEGATIVE DESIGN LOAD (psf)						NEGATIVE DESIGN LOAD (psf)						NEGATIVE DESIGN LOAD (psf)														
	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	
3'-0" OR LESS	14	12	10	9	8	8	8	6	12	12	12	12	12	11	8	6	7	7	7	7	7	7	7	6	5	5	5	5	5	5	5	5	
4'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	10.5	7	7	7	7	7	7	7	7	5	5	5	5	5	5	5	5	
5'-0"	14	12	10	9	8	8	6	6	12	12	12	12	11	8	6	4.5	7	7	7	7	7	7	5.5	4.5	5	5	5	5	5	5	5	4.5	
6'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	10	8	7	7	7	7	7	7	7	7	5	5	5	5	5	5	5	5
7'-0"	14	12	10	9	8	8	6	6	12	12	12	12	10.5	8.5	6.5	5	3.5	7	7	7	7	7	6	5.5	4.5	5	5	5	5	5	5	5	3.5
8'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	10	7.5	5.5	4	7	7	7	7	7	7	7	7	5	5	5	5	5	5	5	5
9'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	11	8	6.5	7	7	7	7	7	7	7	6.5	5	5	5	5	5	5	5	5	
10'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	10	7	7	7	7	7	7	7	7	5	5	5	5	5	5	5	5
11'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	10	7	7	7	7	7	7	7	7	5	5	5	5	5	5	5	5
12'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	10	7	7	7	7	7	7	7	7	5	5	5	5	5	5	5	5
13'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	10	7	7	7	7	7	7	7	7	5	5	5	5	5	5	5	5
14'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	10	7	7	7	7	7	7	7	7	5	5	5	5	5	5	5	5
15'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	10	7	7	7	7	7	7	7	7	5	5	5	5	5	5	5	5
16'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	10	7	7	7	7	7	7	7	7	5	5	5	5	5	5	5	5

① HV BLADE

F.B.C. (Non High Velocity Hurricane Zone)

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BERTHA HV™ Accordion Shutter System				
REV. No	DESCRIPTION	DATE	DRAWN BY:	M.C.V.
1	OLD 05-384	07/25/08		
2				
3				
4				
5				
6				
			DRAWING No 08-152	
			SHEET 15 OF 28	

**MAXIMUM DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR⁺ SPACING (in.) SCHEDULE FOR
A GIVEN MAX. SHUTTER SPAN, NEGATIVE DESIGN LOAD AND A CORRESPONDING MOUNTING TYPE.**
(SEE MOUNTINGS ON SHEETS 18 & 19).

MAXIMUM SPAN (ft)	SUBSTRATE																																									
	SOUTHERN PINE No. 2 W/ MIN. G=0.55, DOUGLAS FIR W/ MIN. G=0.50										SPRUCE PINE FIR NORTH W/ MIN. G=0.43										SPRUCE PINE FIR SOUTH W/ MIN. G=0.36										1/2" MIN. CDX PLYWOOD											
	WALL MOUNTINGS M, N, O & R					CEILING MOUNT T FLOOR MOUNTINGS W & X					WALL MOUNTINGS M, N, O & R					CEILING MOUNT T FLOOR MOUNTINGS W & X					WALL MOUNTINGS M, N, O & R					CEILING MOUNT T FLOOR MOUNTINGS W & X					WALL MOUNTINGS P & Q											
	NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)											
	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105						
3'-0" OR LESS	12	10	10	9	8	8	6	6	6	6	6	6	12	10	10	9	8	8	6	6	6	6	6	6	12	10	10	9	8	8	6	6	6	6	6	6	6	5	4	4	4	3
4'-0"	12	10	10	9	8	8	6	6	6	6	6	6	12	10	10	9	8	8	6	6	6	6	6	6	12	10	10	9	8	8	6	6	6	6	6	6	6	5	4	4	4	3
5'-0"	12	10	10	9	8	8	6	6	6	6	6	5.5	12	10	10	9	8	8	6	6	6	6	6	5	12	10	10	9	8	7	6	6	6	6	6	5	6	5	4	4	4	3
6'-0"	12	10	10	9	8	6.5	6	6	6	6	5.5	4.5	12	10	10	9	8	5	6	6	6	5.5	5	4.5	12	10	10	9	6	3.5	6	6	6	6	5	4.5	6	5	4	4	3.5	-
7'-0"	12	10	10	9	6.5	4	6	6	6	5.5	4.5	4	12	10	10	9	5	3	6	6	6	5	4	3.5	12	10	10	7	3.5	-	6	6	6	5	4	3.5	6	5	4	4	-	-
8'-0"	12	10	10	7.5	4.5	3	6	6	6	5	4	3.5	12	10	10	6	3.5	-	6	6	5	4.5	3.5	3	12	10	10	4	-	-	6	6	5	4.5	3.5	3	6	5	4	-	-	-
9'-0"	12	10	10	5	3.5	-	6	6	5.5	4.5	3.5	3	12	10	9	4	-	-	6	6	4.5	4	3	3	12	10	4	3	-	-	6	6	4.5	4	3	3	6	5	3.5	-	-	-
10'-0"	12	10	7.5	4	-	-	6	6	5	4	3	-	12	10	6	3	-	-	6	6	4	3.5	3	-	12	10	3	-	-	-	6	6	4	3.5	3	-	6	5	-	-	-	-
11'-0"	12	10	5.5	-	-	-	6	6	4.5	-	-	-	12	10	4.5	-	-	-	6	5.5	3.5	-	-	-	12	10	-	-	-	-	6	5.5	4	-	-	-	6	5	-	-	-	-
12'-0"	12	10	4.5	-	-	-	6	6	4	-	-	-	12	10	3.5	-	-	-	6	5	3.5	-	-	-	12	10	-	-	-	-	6	5	3.5	-	-	-	6	5	-	-	-	-
13'-0"	12	10	-	-	-	-	6	6	-	-	-	-	12	10	-	-	-	-	6	4.5	-	-	-	-	12	7.5	-	-	-	-	6	4.5	-	-	-	-	6	4.5	-	-	-	-
14'-0"	12	10	-	-	-	-	6	5.5	-	-	-	-	12	7	-	-	-	-	5.5	4.5	-	-	-	-	12	7	-	-	-	-	5.5	4.5	-	-	-	-	6	3	-	-	-	-
15'-0"	12	-	-	-	-	-	6	-	-	-	-	-	12	-	-	-	-	-	5	-	-	-	-	-	12	-	-	-	-	-	5	-	-	-	-	-	6	-	-	-	-	-
16'-0"	12	-	-	-	-	-	6	-	-	-	-	-	12	-	-	-	-	-	5	-	-	-	-	-	11.5	-	-	-	-	-	5	-	-	-	-	-	6	-	-	-	-	-

+ NOTES ON ANCHORS REQUIREMENTS: WOOD SUBSTRATES.

- ANCHORS TO WALL, FLOOR OR SOLID WOOD SOFFIT SHALL BE AS FOLLOWS:
- 1/4" TAPCON ANCHORS, AS MANUFACTURED BY I.T.W. BUILDEX W/ MINIMUM EMBEDMENT AS INDICATED AT EACH SECTION ON SHEETS 18 & 19.
EXCEPTION: SEE NOTE 2 BELOW.
- ANCHORS TO HOLLOW CEILING SHALL BE AS PER MOUNTING TYPE U, SHEET 19 AND SHALL CONSIST OF LAG SCREWS AS PER NDS 2005 SPECIFICATIONS.
- SUBSTRATE SHALL CONSIST OF THE FOLLOWING:
-SOUTHERN PINE No. 2 W/ G=0.55 (N.D.S.)
-DOUGLAS FIR W/ G=0.50 (N.D.S.)
-SPRUCE PINE FIR NORTH W/ G=0.43 (N.D.S.)
-SPRUCE PINE FIR SOUTH W/ G=0.36 (N.D.S.)
-MIN. 1/2" CDX PLYWOOD (1988 APA)
- ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.

**① HV BLADE OR ① HV BLADE W/
①A HV WINDOW BLADE WORKING IN UNISON**

♦ SEE LIMITATIONS OF USE FOR
BLADE ①A ON SHEET 28

F.B.C. (Non High Velocity Hurricane Zone)



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REV. No	DESCRIPTION	DATE	DRAWN BY: M.C.V./F.P.
1	OLD 05-364	07/23/06	DATE: 07/25/08
2			DRAWING No
3			08-152
4			SHEET
5			16 OF 28
6			

MAXIMUM DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR[†] SPACING (in.) SCHEDULE FOR A GIVEN MAX. SHUTTER SPAN, NEGATIVE DESIGN LOAD AND A CORRESPONDING MOUNTING TYPE.

(SEE MOUNTINGS ON SHEETS 19).

MAXIMUM SPAN (ft)	SUBSTRATE																	
	SOUTHERN PINE No. 2 W/ MIN. G=0.55, DOUGLAS FIR W/ MIN. G=0.50						SPRUCE PINE FIR NORTH W/ MIN. G=0.43						SPRUCE PINE FIR SOUTH W/ MIN. G=0.36					
	B.O. WALL MOUNTINGS S & V						B.O. WALL MOUNTINGS S & V						B.O. WALL MOUNTINGS S & V					
	NEGATIVE DESIGN LOAD (psf)						NEGATIVE DESIGN LOAD (psf)						NEGATIVE DESIGN LOAD (psf)					
	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105
3'-0" OR LESS	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12
4'-0"	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12
5'-0"	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	10.5
6'-0"	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	10
7'-0"	12	12	12	12	12	12	12	12	12	12	10.5	12	12	12	10.5	8.5	7.5	6.5
8'-0"	12	12	12	12	12	12	12	12	12	12	11	9.5	12	12	11.5	9	7.5	6.5
9'-0"	12	12	12	12	12	10.5	12	12	12	11.5	9.5	8.5	12	12	10	8	6.5	5.5
10'-0"	12	12	12	12	11.5	9.5	12	12	12	10.5	8.5	7.5	12	12	9	7	6	5
11'-0"	12	12	12	12	10	8.5	12	12	12	9.5	8	7	12	12	8	6.5	5.5	4.5
12'-0"	12	12	12	11.5	9.5	8	12	12	11	8.5	7	6	12	11.5	7.5	6	5	4
13'-0"	12	12	12	10.5	8.5	7.5	12	12	10	8	6.5	5.5	12	10.5	7	5.5	4.5	4
14'-0"	12	12	12	9.5	8	6	12	12	9.5	7.5	6	4.5	12	9.5	6.5	5	4	3
15'-0"	12	12	11	9	7.5	5	12	12	8.5	7	6	4	12	9	6	5	4	-
16'-0"	12	12	10.5	8.5	6.5	4	12	12	8	6.5	5	3	11.5	8.5	5.5	4.5	3.5	-

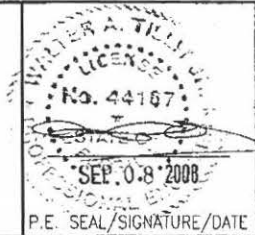
① HV BLADE

† NOTES ON ANCHORS REQUIREMENTS: WOOD SUBSTRATES.

- ANCHORS TO WALL, FLOOR OR SOLID WOOD SOFFIT SHALL BE AS FOLLOWS:
- 1/4" TAPCON ANCHORS, AS MANUFACTURED BY I.T.W. BUILDEX W/ MINIMUM EMBEDMENT AS INDICATED AT EACH SECTION ON SHEETS 18 & 19.
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- SOUTHERN PINE No. 2 W/ G=0.55 (N.D.S.)
- DOUGLAS FIR W/ G=0.50 (N.D.S.)
- SPRUCE PINE FIR NORTH W/ G=0.43 (N.D.S.)
- SPRUCE PINE FIR SOUTH W/ G=0.36 (N.D.S.)
- MIN. 1/2" CDX PLYWOOD (1988 APA)
- ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.

F.B.C. (Non High Velocity Hurricane Zone)

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e-mail: tilteco@aol.com
EB-0006719
WALTER A. TILLUT JR. P.E.
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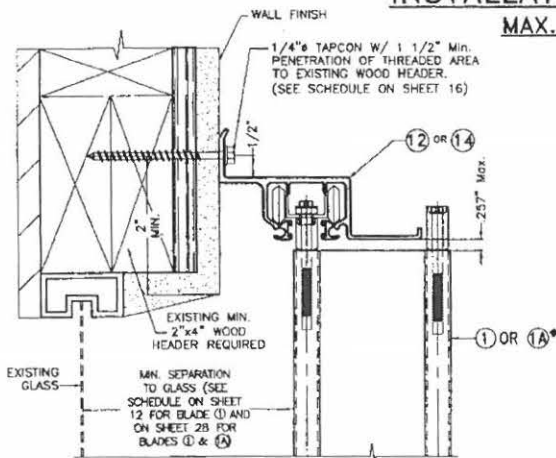
A.S.S.A.
American Shutter Systems
Association, Inc.
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West Palm Beach, FL 33407
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BERTHA HV™ Accordion Shutter System			
REV. No.	DESCRIPTION	DATE	DRAWN BY: M.C.V./E.P.
1	OLD 05-364	07/25/08	DATE: 07/25/08
2			
3			DRAWING No
4			08-152
5			SHEET
6			17 OF 28

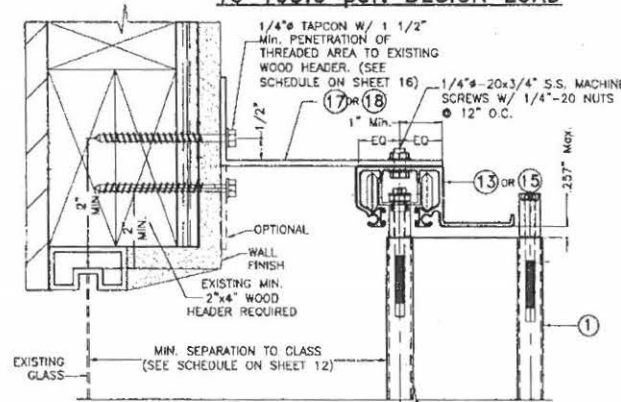
INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS FOR HV BLADE

MAX. SHUTTER SPAN L+ OR L- FOR INSTALLATIONS INTO WOOD SHALL BE LIMITED TO 105.0 psf. DESIGN LOAD

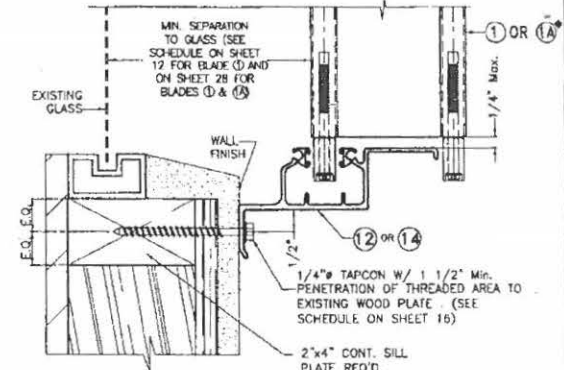
NOTE:
1-SEE SHEET 4 FOR TYPICAL SHUTTER ASSEMBLY
2-MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



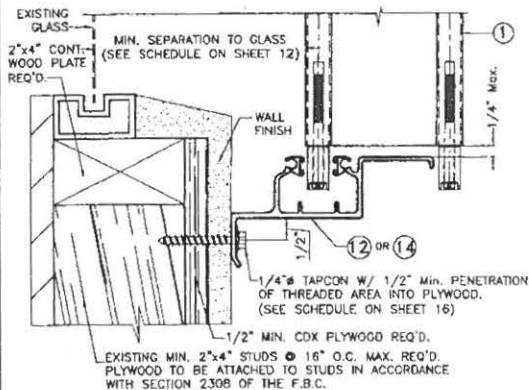
(M) HV WALL HEADER INSTALLATION



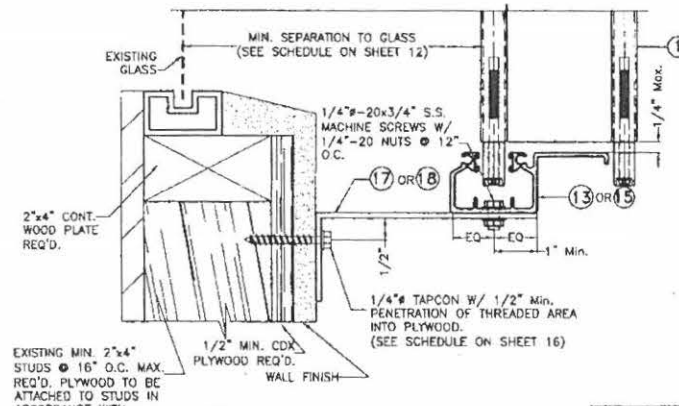
(N) HV WALL HEADER INSTALLATION



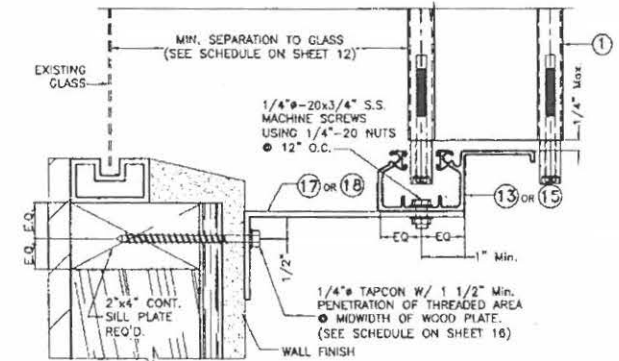
(O) HV WALL SILL INSTALLATION



(P) HV WALL SILL INSTALLATION



(Q) HV WALL SILL INSTALLATION



(R) HV WALL SILL INSTALLATION

♦ SEE LIMITATIONS OF USE FOR BLADE (2) ON SHEET 28

F.B.C. (Non High Velocity Hurricane Zone)

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SEP 08 2008
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e-mail: tilteco@aol.com
ES-0008719
WALTER A. TILIT, JR., P.E.
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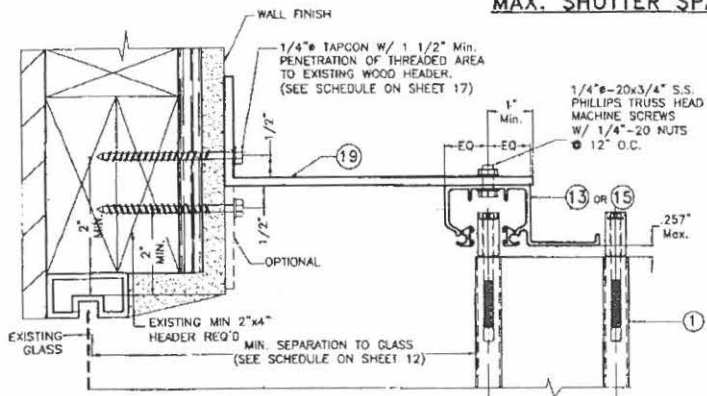
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4268 West Roads Drive
West Palm Beach, FL 33407
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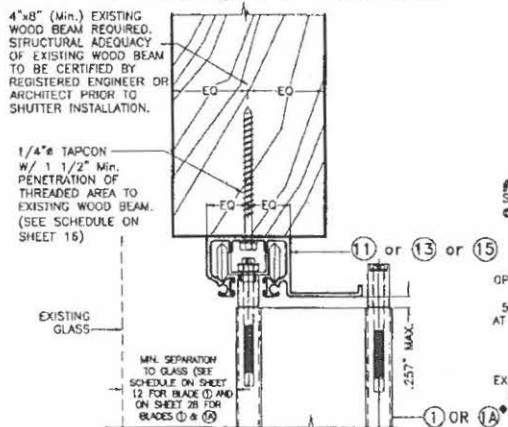
BERTHA HV™
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REV. No	DESCRIPTION	DATE	DRAWN BY: M.C.V./P.S./L.B.
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2			DRAWING No
3			08-152
4			SHEET
5			18 OF 28
6			

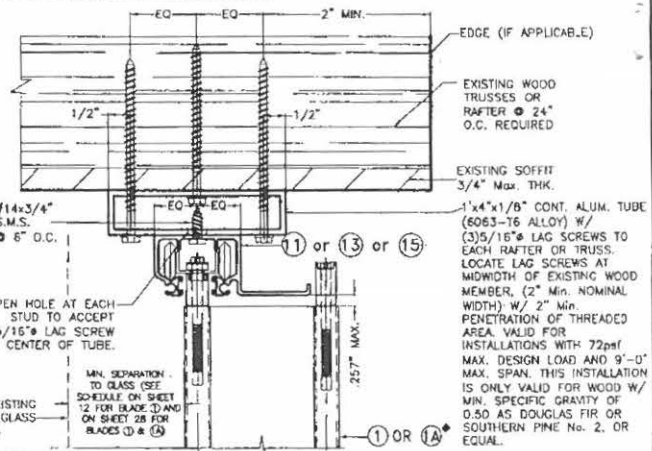
INSTALLATION DETAILS ON EXISTING WOOD BLDGS. FOR (1) HV BLADE
MAX. SHUTTER SPAN L+ OR L- FOR INSTALLATIONS INTO WOOD SHALL BE LIMITED
TO 105.0 psf. DESIGN LOAD



(S) HV WALL HEADER INSTALLATION

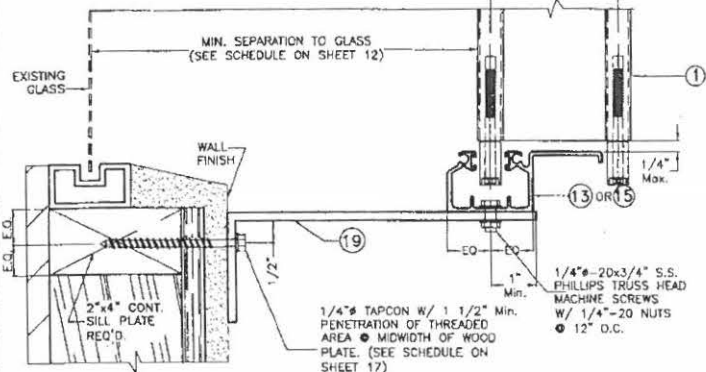


(T) HV CEILING INSTALLATION

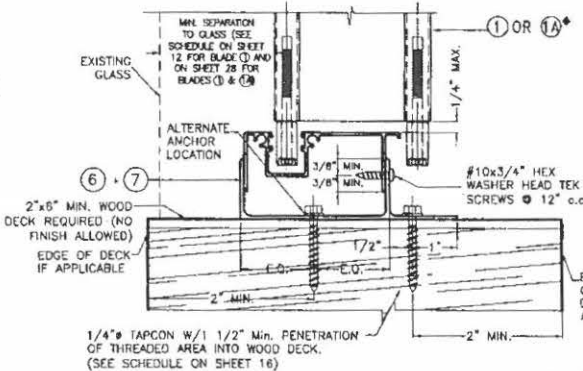


(U) HV CEILING INSTALLATION

NOTES:
 1-SEE SHEET 4 FOR TYPICAL SHUTTER ASSEMBLY
 2-MOUNTING SECTIONS CAN BE COMBINED
 IN ANY WAY TO SUIT ANY INSTALLATION.

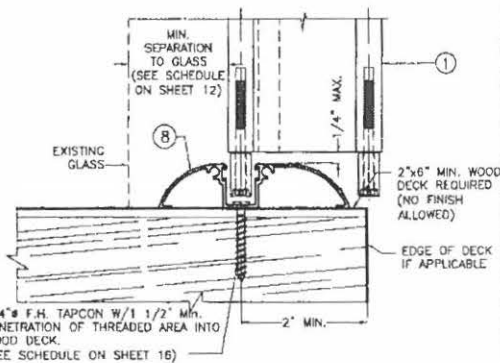


(V) HV WALL SILL INSTALLATION



(W) HV FLOOR INSTALLATION

♦ SEE LIMITATIONS OF USE FOR BLADE (A) ON SHEET 28



(X) HV WALK-OVER INSTALLATION

F.B.C. (Non High Velocity Hurricane Zone)

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 e-mail: tillit@aol.com
 EB-0006719
 WALTER A. TILLIT JR., P.E.
 FLORIDA Lic. # 44187

A.S.S.A.

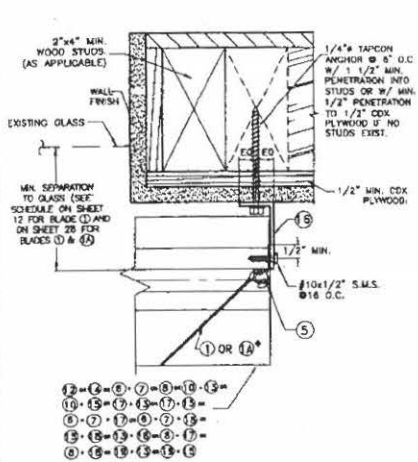
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 West Palm Beach, FL 33407
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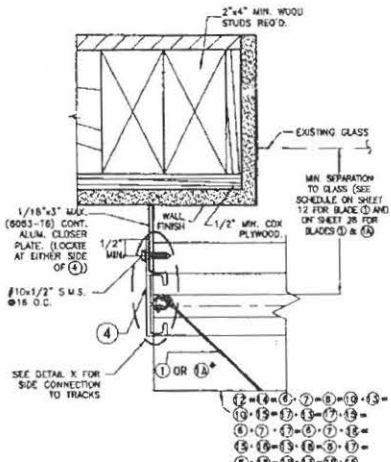
REV. No	DESCRIPTION	DATE	DRAWN BY: M.S.V./T.P./J.C.
1	OLD 05-364	07/25/08	DATE: 07/25/08
2			
3			
4			
5			
6			

DRAWING No
08-152
 SHEET
19 OF 28

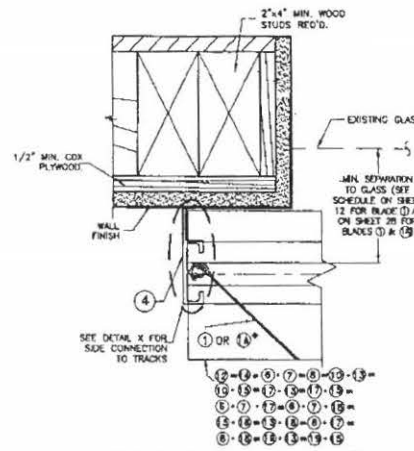
END INSTALLATIONS (1) HV BLADE OR (1A) WINDOW BLADE INTO 2"x4" MIN. WOOD STUDS



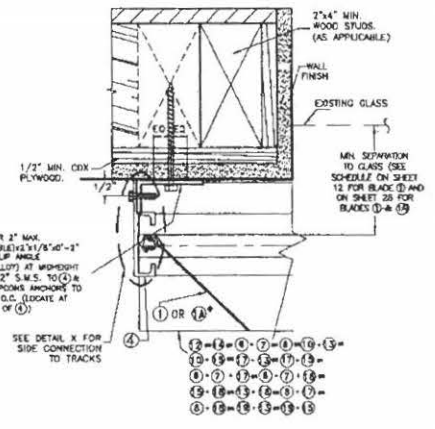
END CONNECTION DETAIL 7



END CONNECTION DETAIL 8



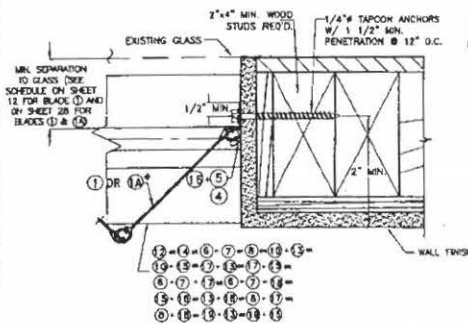
END CONNECTION DETAIL 9



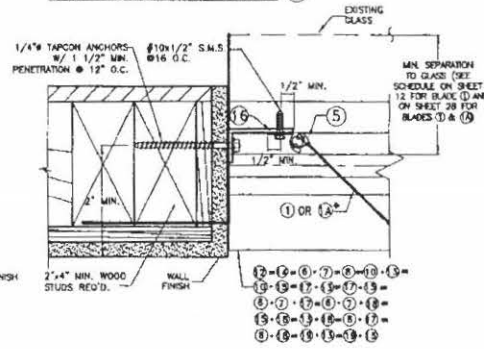
END CONNECTION DETAIL 10

T REQUIRED ONLY FOR SPANS GREATER THAN 12'-0"

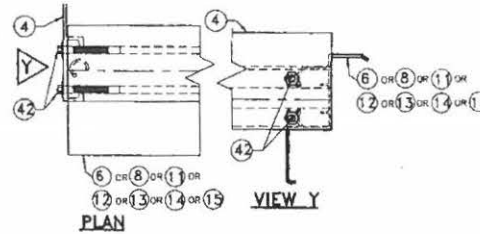
♦ SEE LIMITATIONS OF USE FOR BLADE (1A) ON SHEET 28



END CONNECTION DETAIL 11



END CONNECTION DETAIL 12



DETAIL X

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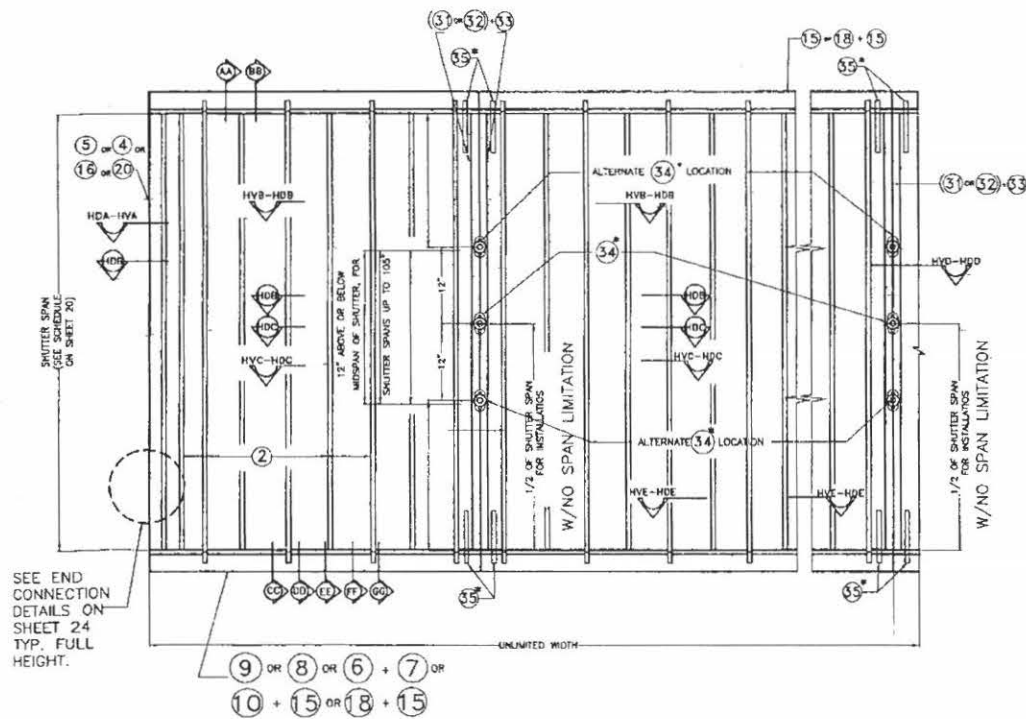
TILECO INC.

TILLIT TESTING & ENGINEERING COMPANY
 6305 N.W. 38th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33168
 Phone : (305)871-1530 . Fax : (305)871-1531
 e-mail: tiltco@aol.com
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 4266 West Roads Drive
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BERTHA HV™ Accordion Shutter System			
REV. No	DESCRIPTION	DATE	DRAWN BY: M.C.V./P.P./L.Z
1	OLD 05-384	07/25/08	DATE: 07/25/08
2			
3			
4			DRAWING No 08-152
5			SHEET
6			20 OF 28



TYPICAL ② HV BLADE SHUTTER ELEVATION

N.T.S.

* NOTES ON HD LOCKS AND CENTERMATES:

- MANDATORY CONDITION # 1:** ONE ③④ H.D. LOCK SHALL BE USED FOR ANY SPAN AND INSTALLATION AT HEAVY DUTY SYMMETRICAL CENTERMATES. ③① OR ③②+③③ AND AT ANY ELEVATION. ③④ H.D. LOCK MAY BE USED AS AN INSIDE OR OUTSIDE LOCK, ATTACHED TO ③③ HEAVY DUTY SYMMETRICAL CENTERMATES WITH (3) #8 x 3/8" LONG FLAT HEAD S.S. M.S. LOCKING RODS ③⑤ ARE NOT MANDATORY, i.e. THEY ARE COMPLETELY OPTIONAL.
- MANDATORY CONDITION # 2:** LOCATION OF ③④ H.D. LOCK SHALL BE AS INDICATED ON SHUTTER ELEVATION, i.e., FOR SHUTTER SPANS UP TO 105". ③④ H.D. LOCK MAY BE INSTALLED AT MID HEIGHT OF SHUTTER OR AT 12" ABOVE OR BELOW MID HEIGHT OF SHUTTER. FOR SHUTTER SPANS GREATER THAN 105", ③④ H.D. LOCK SHALL BE INSTALLED AT MID HEIGHT OF SHUTTER.

F.B.C.(Non High Velocity Hurricane Zone)

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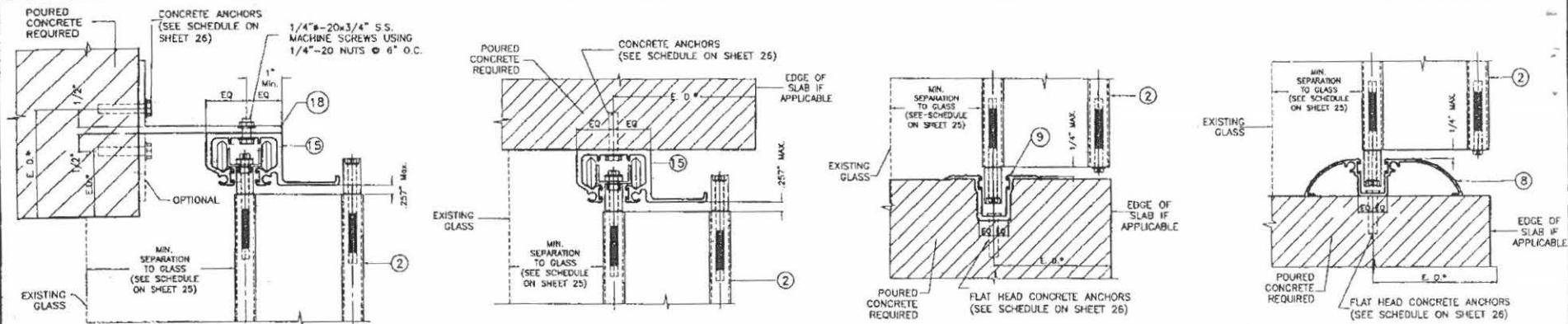
TILLIT TESTING & ENGINEERING COMPANY
 6355 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33168
 Phone : (305)871-1530 . Fax : (305)871-1531
 e-mail: tlteco@aol.com
 EB-0009719
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A.S.S.A.

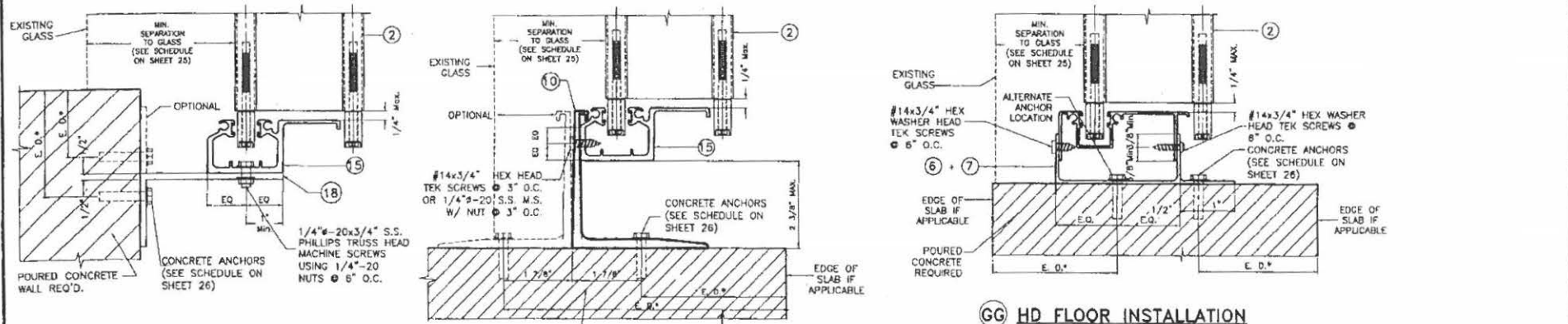
American Shutter Systems
 Association, Inc.
 4268 West Roads Drive
 West Palm Beach, FL 33407
 Phone: (800)432-2204 . Fax: (561)209-8380

BERTHA HV™
 Accordion Shutter System

REV. No	DESCRIPTION	DATE	DRAWN BY: M.C.V.
1	OLD 05-364	07/25/08	DATE: 07/25/08
2			DRAWING No
3			08-152
4			SHEET
5			21 OF 28
6			



AA HD WALL HEADER INSTALLATION BB HD CEILING INSTALLATION CC HD TRENCH INSTALLATION DD HD WALK-OVER INSTALLATION



EE HD WALL SILL INSTALLATION FF HD RAINGUARD INSTALLATION GG HD FLOOR INSTALLATION

INSTALLATION DETAILS W/ ② HV BLADE
 SCALE: 3/8"=1"

NOTE FOR COMBINATION OF SECTIONS:
 1- SEE SHEET 21 FOR TYPICAL SHUTTER ASSEMBLY
 2- MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

* E. D. = EDGE DISTANCE
 (SEE SPECIFICATIONS ON SHEET 26)

F.B.C. (Non High Velocity Hurricane Zone)

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TILTECO INC.
 TILLIT TESTING & ENGINEERING COMPANY
 6355 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166
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2			
3			
4			
5			
6			

DRAWING No
08-152
 SHEET
22 OF 28

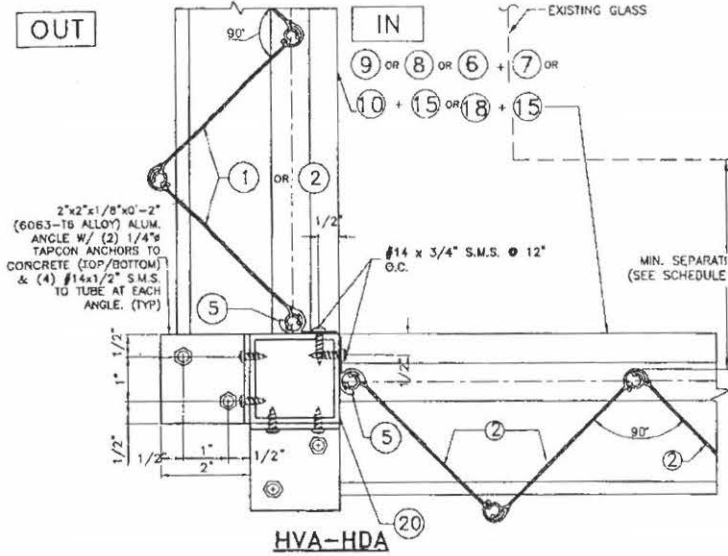
SEE END WALL CONNECTION DETAILS ON SHEET 24

INSTALLATION

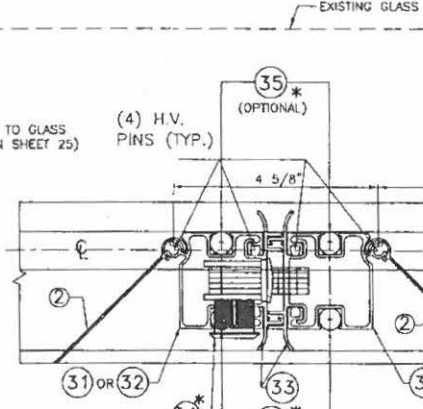
② HV BLADE

SEE END WALL CONNECTION
DETAILS ON SHEET 24

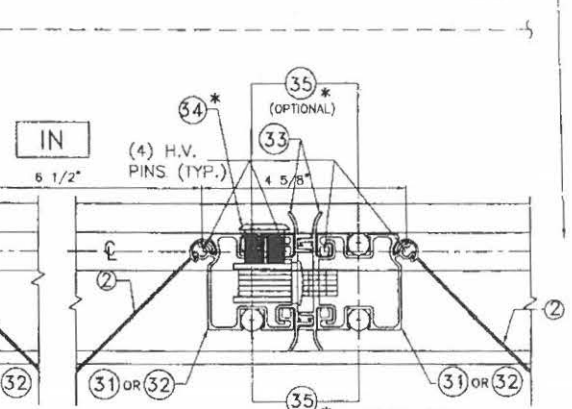
* SEE NOTES ON LOCKING RODS ③③ & HD ③④ LOCKS ON SHEETS 21



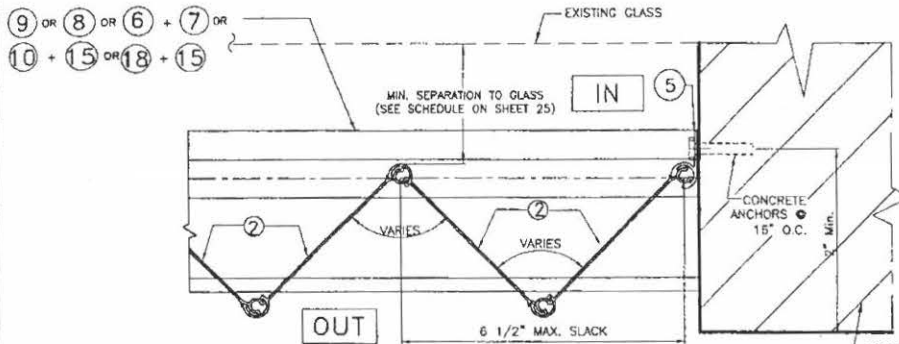
HVA-HDA



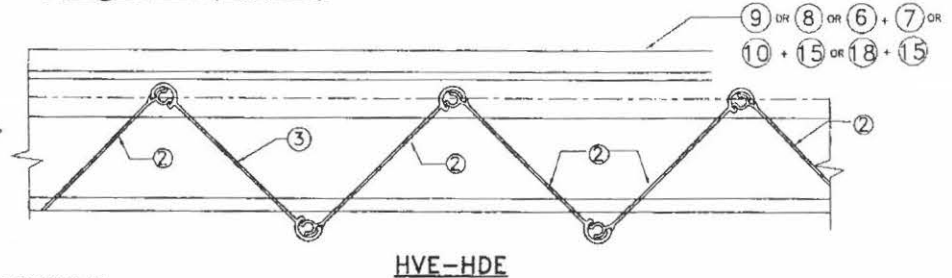
HVB-HDB
SYMMETRICAL HD CENTERMATES
W/ ③④* LOCK (EXTERIOR)



HVC-HDC
SYMMETRICAL HD CENTERMATES
W/ ③④* LOCK (INTERIOR)



HVD-HDD



HVE-HDE

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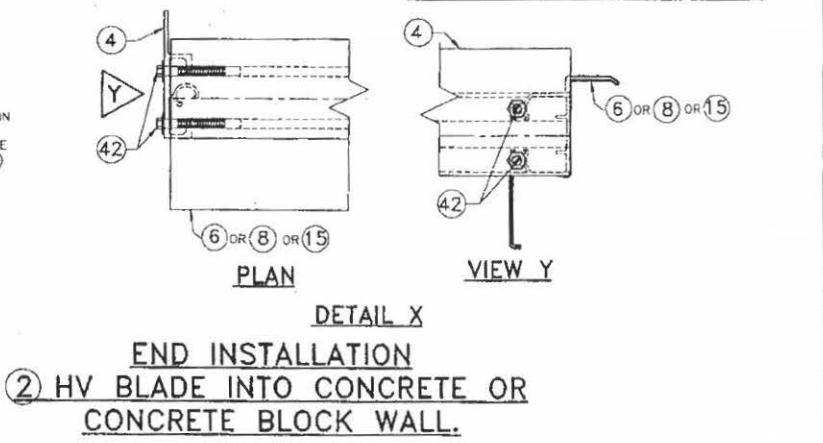
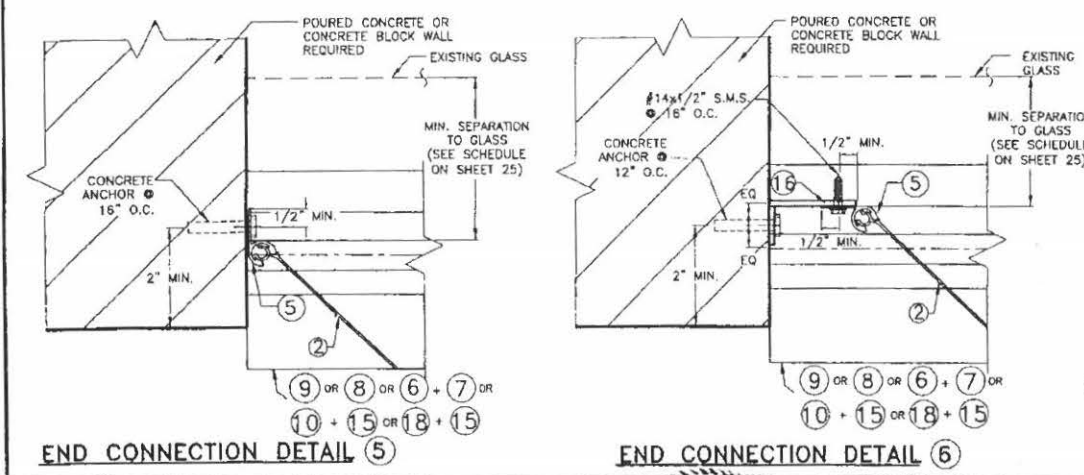
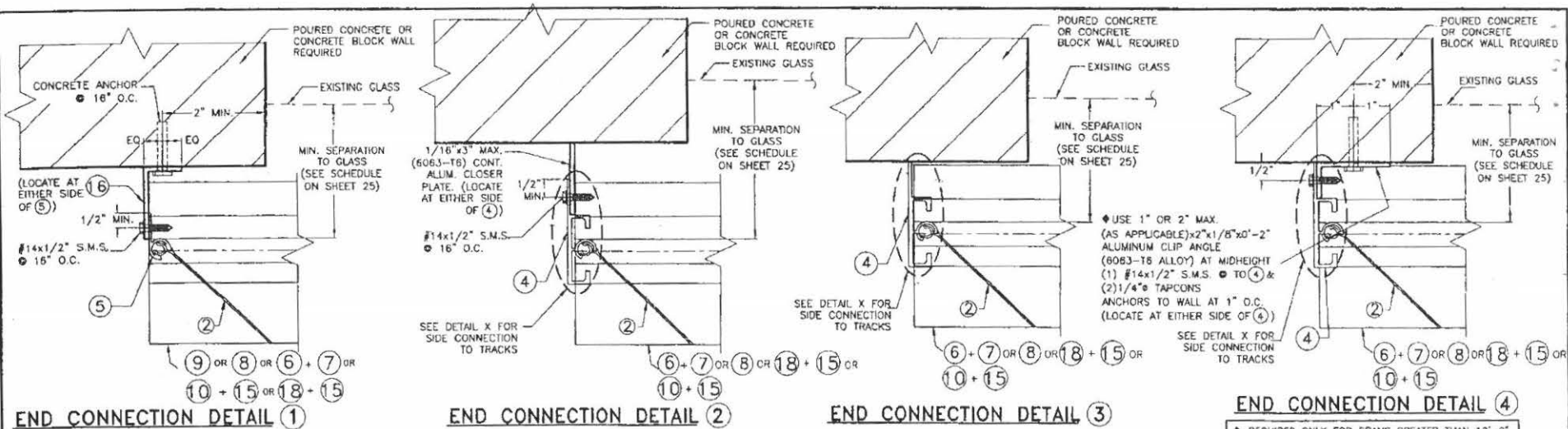
WALTER A. TILIT, JR.
LICENSE
No. 44167
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BERTHA HV™ Accordion Shutter System			
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6			

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SHEET
23 OF 28



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DRAWING No
08-152

SHEET
24 OF 28

MAXIMUM SHUTTER SPAN*
 "L+" OR "L-" (ft.)
 INSTALLATIONS W/ SYMMETRICAL
 HD CENTERMATES, (1) OR (2),
 W/ ONE H.D. (3) LOCK & NO
 LOCKING RODS (4) ♦

MAXIMUM DESIGN LOAD (p.s.f.) (+ OR -)	CONCRETE & CONCRETE BLOCK INSTALLATIONS	
	ALL MOUNTING CONDITIONS	
	L+ (ft)	L- (ft)
30 OR LESS	18'-0"	18'-0"
35	18'-0"	18'-0"
40	17'-4"	17'-10"
45	16'-4"	17'-8"
50	15'-6"	17'-0"
55	14'-10"	16'-10"
60	14'-2"	16'-2"
65	13'-8"	15'-6"
70	13'-2"	14'-11"
75	12'-8"	14'-5"
80	12'-3"	14'-0"
85	11'-11"	13'-7"
90	11'-8"	13'-2"
95	11'-3"	12'-10"
100	10'-6"	12'-6"
105	10'-0"	12'-2"
110	9'-6"	11'-11"
115	9'-1"	11'-8"
120	8'-9"	11'-5"
125	-	11'-2"
130	-	10'-11"
135	-	10'-9"
140	-	10'-6"
145	-	10'-4"
150	-	10'-2"
155	-	10'-0"
160	-	9'-10"
165	-	9'-9"
170	-	9'-7"
175	-	9'-5"
180	-	9'-4"
185	-	9'-2"
190	-	9'-0"
195	-	8'-9"

* NOTES:

(1) L+: MAXIMUM ALLOWABLE SPAN FOR A GIVEN POSITIVE DESIGN LOAD.
 L-: MAX. ALLOWABLE SPAN FOR A GIVEN NEGATIVE DESIGN LOAD.

(2) PROCEDURE TO DETERMINE MAXIMUM SPAN FOR WALL MOUNTINGS OR FLOOR/CEILING:
 GIVEN A POSITIVE DESIGN LOAD, DETERMINE MAXIMUM SPAN "L+" FROM SCHEDULE.
 GIVEN A NEGATIVE DESIGN LOAD, DETERMINE MAXIMUM SPAN "L-" FROM SCHEDULE.
 FINAL MAXIMUM ALLOWABLE SPAN IS EQUAL TO THE MINIMUM DETERMINED SPAN BETWEEN "L+" AND "L-".

(3) PROCEDURE TO DETERMINE MAXIMUM SPAN FOR COMBINATIONS IN BETWEEN WALL W/ FLOOR/CEILING MOUNTINGS:
 FOR A GIVEN POSITIVE DESIGN LOAD:
 DETERMINE:
 L1+ = MAX. SPAN FOR WALL MOUNTING INSTALLATIONS.
 L2+ = MAX. SPAN FOR FLOOR/CEILING MOUNTING INSTALLATIONS.
 FOR A GIVEN NEGATIVE DESIGN LOAD:
 DETERMINE:
 L1- = MAX. SPAN FOR WALL MOUNTING INSTALLATIONS.
 L2- = MAX. SPAN FOR FLOOR/CEILING MOUNTING INSTALLATIONS.
 FINAL MAXIMUM ALLOWABLE SPAN IS EQUAL TO THE MINIMUM BETWEEN "L1+", "L2+", "L1-" AND "L2-".

(4) GO TO ANCHOR SCHEDULE WITH FINAL MAXIMUM ALLOWABLE SPAN AND MAXIMUM DESIGN LOAD TO DETERMINE MAXIMUM ANCHOR SPACING.

INSTALLATION LEGEND	
SUBSTRATE MOUNTINGS	POURED CONCRETE (SHEET 22)
WALL MOUNTING	AA & EE
FLOOR/CEILING MOUNTING	BB, CC, DD, FF & GG

WIND ZONE ASTM E-1996	MINIMUM SEPARATION TO GLASS
1 THRU 3	1"
4	3"

② HV BLADE

F.B.C. (Non High Velocity Hurricane Zone)

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DRAWING No
08-152
 SHEET
25 OF 28

ANCHORS SPACING LEGEND		MAXIMUM DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR* SPACING (in.) SCHEDULE FOR A GIVEN MAX. SHUTTER SPAN, MAXIMUM DESIGN LOAD AND A CORRESPONDING MOUNTING TYPE FOR CONCRETE INSTALLATIONS				
		POURED CONCRETE				
MAXIMUM SPAN (ft)	ALL MOUNTINGS AA THRU GG (SHEET 22)					
	USE MAXIMUM VALUES BETWEEN POSITIVE AND NEGATIVE LOADS					
	50 OR LESS	>50 TO 90	>90 TO 120	>120 TO 160	>160 TO 195	
8'-9" OR LESS	8"	4 1/2"	3 1/2"	-	-	
	12"	8"	6"	4"	3 3/4"	
>8'-9" UP TO 12'-1"	6"	3"	-	-	-	
	10"	6"	4"	4"	-	
>12'-1" UP TO 18'-0"	4"	3"	-	-	-	
	7 1/2"	5 1/2"	4"	-	-	

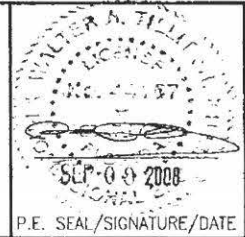
***SPECIFICATIONS ON ANCHOR REQUIREMENTS: POURED CONCRETE SUBSTRATE**

- (A) ANCHORS TO WALL SHALL BE AS FOLLOWS:
- A.1) TO EXISTING POURED CONCRETE: (Min. f'c = 3350 psi)
 - 1/4" TAPCON ANCHORS, AS MANUFACTURED BY I.T.W. RAMSET/ RED HEAD. MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON IS 1 3/4".
 - A.2) TO EXISTING POURED CONCRETE: (Min. f'c = 2899 psi)
 - 5/16" TAPCON XL ANCHORS, AS MANUFACTURED BY I.T.W. BUILDEX. MINIMUM EMBEDMENT INTO POURED CONCRETE OF 5/16" TAPCON XL ANCHORS IS 2 1/4".
 - A.3) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, PAVERS OR ANY VENEER BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SAID WALL FINISHES. ANCHORAGE SHALL BE AS INDICATED ON NOTE A.1) ABOVE. FOR INSTALLATIONS ON VINYL SIDING OR EIFS CONSULT THIS ENGINEER.
- (B) ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.
- (C) SEE SCHEDULE BELOW FOR MINIMUM REQUIRED EDGE DISTANCE FOR ANCHORS.

MINIMUM REQUIRED EDGE DISTANCE FOR ANCHORS
 MAXIMUM ANCHOR SPACINGS ARE VALID FOR
 3" EDGE DISTANCE FOR 1/4" TAPCON AND
 3 5/8" EDGE DISTANCE FOR 5/16" TAPCON XL.

② HV BLADE

F.B.C. (Non High Velocity Hurricane Zone)



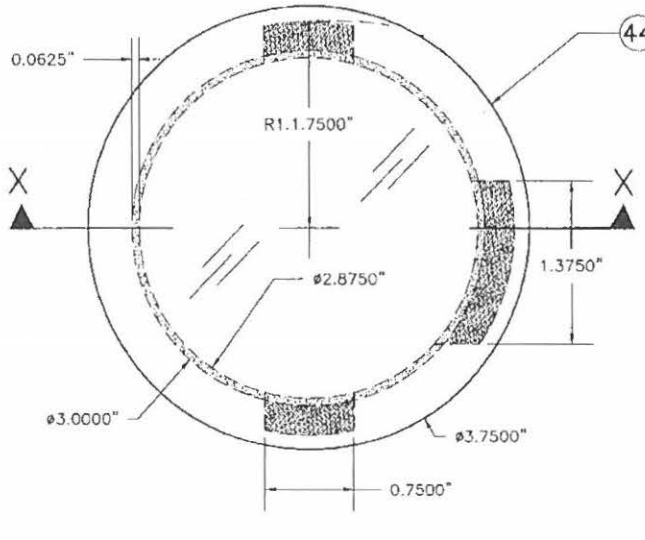
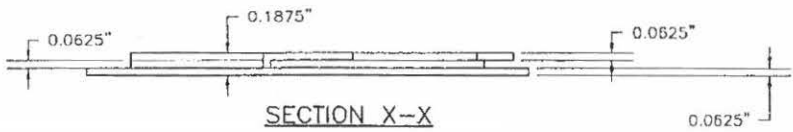
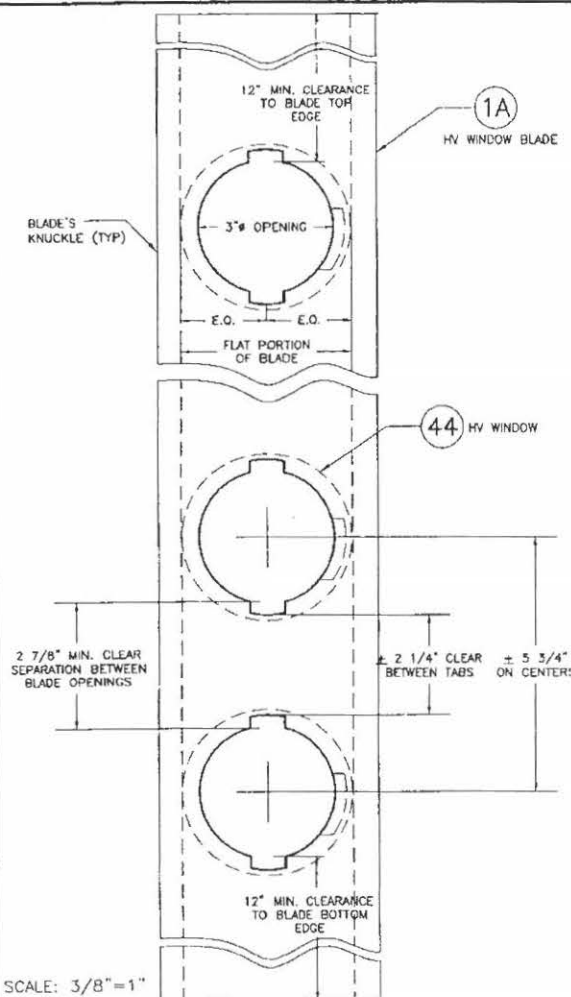
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2			DRAWING No
3			08-152
4			SHEET
5			26 OF 28
6			



44 POLYCARBONATE IMPACT RESISTANT HV WINDOW
 BAYER MAKROLON 3103 POLYCARBONATE
 RESINS, UV-STABILIZED GRADE

BAYER MATERIAL/SCIENCE LLC. MAKROLON 3103:		
TYPICAL PROPERTIES	APPLICABLE STANDARD REFERENCE	RESULT
PHYSICAL:		
SPECIFIC GRAVITY	ASTM D792	0.043 lb/in ³
MECHANICAL:		
TENSILE YIELD STRENGTH	ASTM D638	9,400 p.s.i.
FLEXURAL STRENGTH AT YIELD	ASTM D790	12,500 p.s.i.
FLEXURAL MODULUS	ASTM D790	340,000 p.s.i.
IMPACT:		
NOTCHED IZOD	ASTM D256	18 FT-lb/in
FIRE BURNING CHARACTERISTICS:		
SMOKE DENSITY	ASTM D2843	47.2 %
RATE OF BURNING	ASTM D635	C-1 CLASS
SELF IGNITION	ASTM D1929	1040 °F
WEATHERING:		
TENSILE STRENGTH AFTER WEATHERING	ASTM G38	9302 p.s.i.
TENSILE STRESS BEFORE WEATHERING	ASTM G38	8461 p.s.i.

EXTERIOR ELEVATION
 SCALE: 1" = 1"

TYPICAL HV WINDOW BLADE (1A) AND
 POLYCARBONATE HV WINDOW DETAIL

SCALE: 3/8"=1"

F.B.C. (Non High Velocity Hurricane Zone)

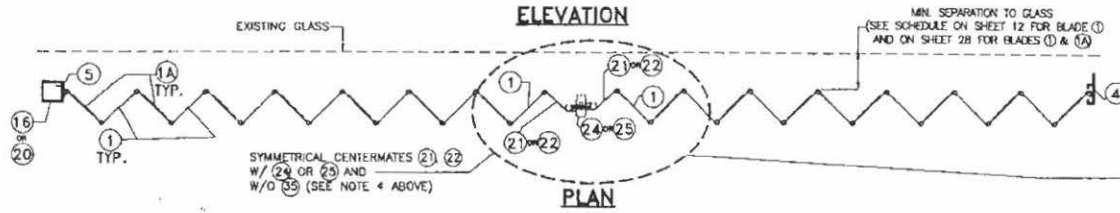
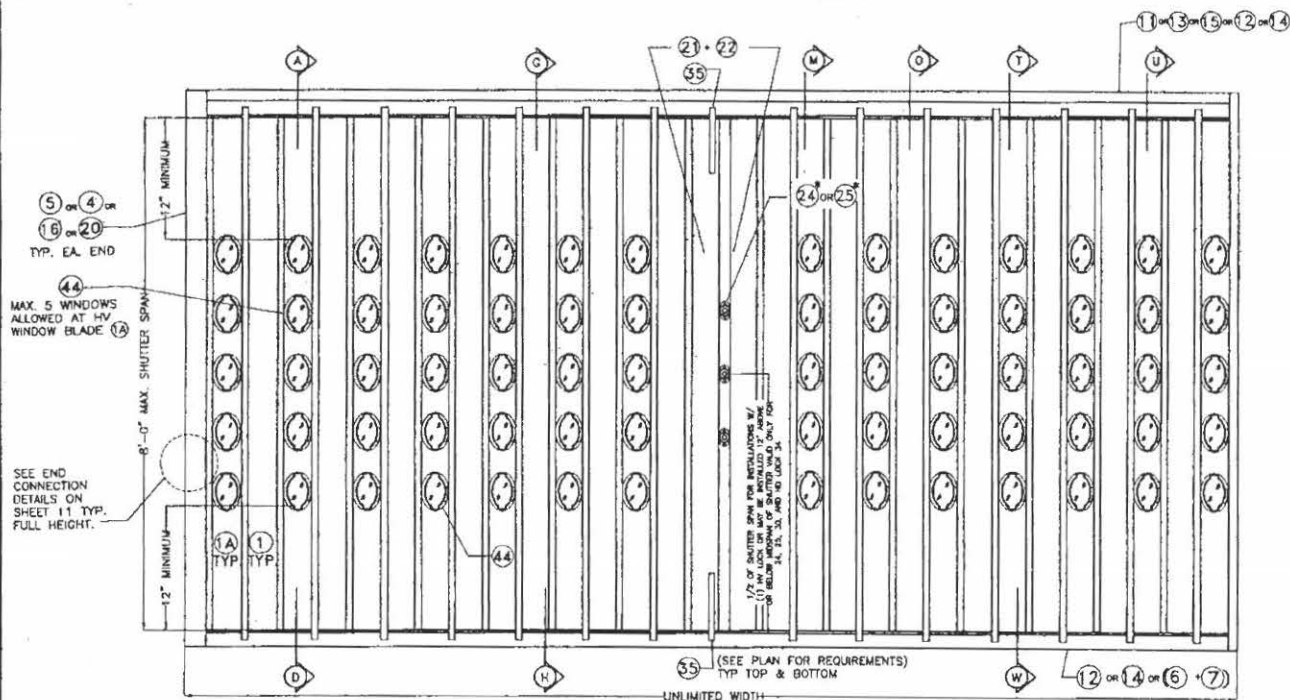
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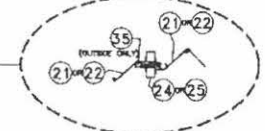


TYPICAL (1) HV BLADE WORKING IN UNISON WITH HV WINDOW BLADE (1A) SHUTTER*
N.T.S.

- * GENERAL LIMITATIONS AND CONDITIONS OF USE FOR BERTHA HV (1) HV BLADE ACCORDION SHUTTER SYSTEM WORKING IN UNISON WITH HV WINDOW BLADE (1A)**
- MAX. DESIGN PRESSURE RATING: +110, - 110 p.s.f.
 - MAX. SHUTTER SPAN: 96"
 - ALLOWED MOUNTINGS: A, D, G & H ON SHEETS 6, 7; AS WELL AS MOUNTINGS M, O, T, U & W ON SHEETS 18 & 19.
 - ONLY CENTERMATES (21) (22) (BOTH W/ (24) OR (25)) ARE ALLOWED WITH (21) (22) ARRANGED IN A SYMMETRICAL OR OPPOSING LAYOUT. IN CASE OF OPPOSING LAYOUT, (55) MUST BE INCLUDED ONLY AT EXTERIOR ACCESS SIDE OF CENTERMATE.
 - (A) HV WINDOW BLADE (1A) SHALL ONLY ALLOW A MAXIMUM OF 5 OPENINGS (3" HOLES) FOR (44) PER BLADE AT SPACINGS SHOWN ON SHEET 27.
(B) MIN. CLEARANCE FROM TOP OR BOTTOM EDGE OF HV WINDOW BLADE (1A) OF ANY 3" HOLE FOR (44) SHALL BE 12".
(C) FIRST OR LAST BLADE COMING OUT FROM STARTERS AT ENDS MAY BE HV WINDOW BLADE (1A)
(D) HV WINDOW BLADE (1A) MUST BE USED ALTERNATE TO A SOLID HV BLADE (1) THROUGHOUT SHUTTER'S WIDTH.
(E) CENTERMATES SHALL ALWAYS BE INSTALLED ADJACENT TO A SOLID HV BLADE (1) AT EITHER SIDE OF THEM.
(F) POLYCARBONATE HV WINDOW (44) SHALL BE INSTALLED SO THAT TABS FACE THE INTERIOR OF THE OPENING BEING PROTECTED. HV WINDOW (44) MUST BE ONLY INSTALLED AND LOCKED USING A HV SETTING TOOL PROVIDED BY ASSA, INC.
 - SEE ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS ON SHEET 16, AS LIMITED BY SPAN AND DESIGN LOAD (SEE NOTES 1 & 2 ABOVE).
 - SEE ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO POURED CONCRETE OR CONCRETE BLOCK WALL ON SHEETS 13 & 14 AS LIMITED BY SPAN AND DESIGN LOAD (SEE NOTES 1 & 2 ABOVE).
 - MINIMUM SEPARATION TO GLASS SCHEDULE, PER ASTM E-1998:

WIND ZONE	MINIMUM SEPARATION TO GLASS
1 THRU 3	1"
4	6.25"

ALTERNATE OPPOSING CENTERMATES (21) (22) W/ (55) (EXTERIOR ONLY) AND W/ (24) OR (25) (SEE NOTE 4 ABOVE)



F.B.C. (Non High Velocity Hurricane Zone)

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5			28 OF 28
6			

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-13 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9486	FERRARO	ROVERA		
6	10 MIDDLE RD	PLUMB	PASS	
	Agency Const	RE INSPECT		INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9506	KRAMSEN			287-1596
3	23 RIDGLAND DR	FINAL	PASS	CALL B4
	R RAUSS & CRANE	AC		INSPECTOR <i>AF</i> <i>Close</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9501	STECK			
2	32 FIELDWAY	FINAL SMOOTH	PASS	Close
		EXPEND SMOOTH		
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
1	POTTER			
TREE	4 PORRIWINKLE Cir		OK	
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9489	HINNEY			
5	8 RIVER VIEW	UG PLUMB	PASS	
	FREEDOM H.B			INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9492	RZ PROPS			
4	13 PALM RD	FINAL	PASS	Close
	AQUAMAZIC TIER	TIER 6		INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9464	DURMO	Final		Rec'd Eng letter
	30 N River Rd	Fence	PASS	Close
	Stuart Fence			INSPECTOR <i>AF</i>

OR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Bruce Steck Address 32 Fieldway Dr Phone 287-3851

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Species: Queen Palm

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

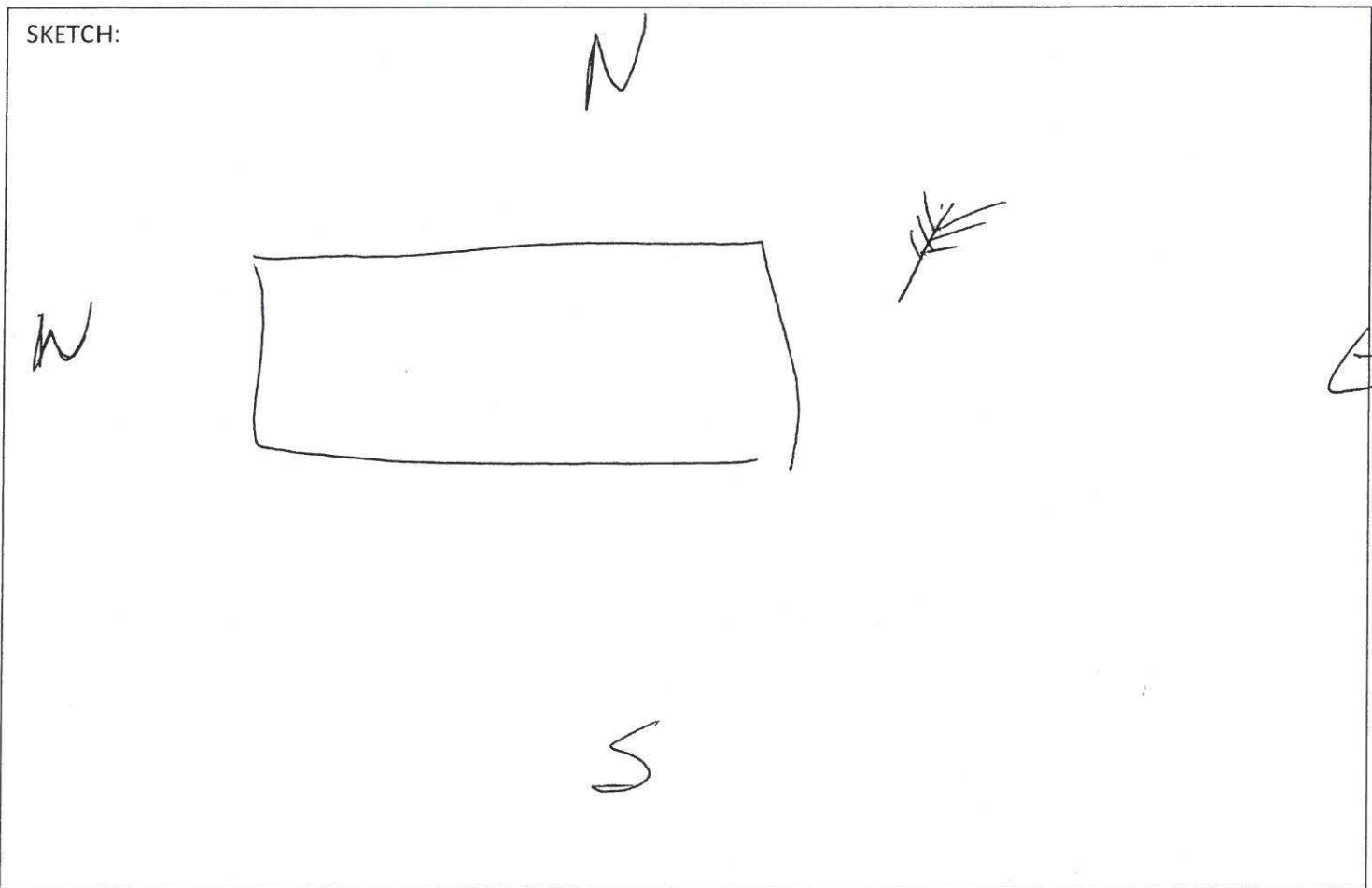
ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

Reason for tree removal /relocation (See notice above) DEAD/DISEASED

Signature of Property Owner Bruce Steck Date 1/15/09

Approved by Building Inspector: [Signature] Date 1/15 Fee: -

NOTES: _____



9803

GARAGE

DOOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9803	DATE ISSUED:	JUNE 1, 2011
SCOPE OF WORK:	REPLACE GARAGE DOOR		
CONDITIONS :			
CONTRACTOR:	AMERICAN PALM BEACH GARAGE DOOR		
PARCEL CONTROL NUMBER:	353741002-001-000909	SUBDIVISION	INDIALUCIE, L9, BL 1
CONSTRUCTION ADDRESS:	32 FIELDWAY DR		
OWNER NAME:	STECK		
QUALIFIER:	FRED MAFERA	CONTACT PHONE NUMBER:	283-4566

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9803		
ADDRESS	32 FIELDWAY DR - STECK		
DATE:	6/1/11	SCOPE:	REPLACE GARAGE DOOR

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$
------------------------------------	----------------	----

Plan Submittal Fee (\$350.00 SED)	63-4/630	4303
-----------------------------------	----------	------

DATE	INVOICE	AMOUNT
6/2/11	Steck permit	

AMERICAN - PALM BEACH
 GARAGE DOOR CORPORATION
 2201 SE INDIAN STREET #H-2
 STUART, FL 34997
 (772) 283-0419

PAY Eighty four TO THE ORDER OF Town of Sewalls Point

CHECK NO. 4303

DATE	GROSS AMOUNT	DISCOUNT	CHECK AMOUNT
6/2/11			84.00

AMERICAN - PALM BEACH
 GARAGE DOOR CORPORATION

[Signature]



TOTAL BUILDING PERMIT FEE:	\$
----------------------------	----

ACCESSORY PERMIT	Declared Value:	\$	
Total number of inspections @ \$75.00 each		\$	75
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 minimum)		\$	2
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 minimum)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	84

pd 6-2-11
ck# 4303

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: 9803

Date: 5/26/11

OWNER/TITLEHOLDER NAME: Bruce Steck Phone (Day) 772 287-3837 (Fax) _____

Job Site Address: 32 Fiedway Dr. City: Stuart State: FL Zip: 34995

Legal Description Initialude Lot 9 Bk 1 Parcel Control Number: 353741002001000909

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): REPLACE GARAGE DOOR

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 1,325.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: American Palm Beach Garage Door Corp Phone: 772 283-4566 Fax: 772-219-0576

Street: 2201 SE Indian St, H-2 City: Stuart State: FL Zip: 34997

State License Number: _____ OR: Municipality: Martin County License Number: SPO 1904

LOCAL CONTACT: _____ Phone Number: _____

DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: 112' Covered Patios/ Porches: MAY 27 2011 Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - 5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

Bruce Steck
State of Florida, County of: Martin
This the 27th day of May, 2011
by Bruce Steck who is personally

known to me or produced FL DL S32806649290
as identification. FL Drivers License

Notary Public
My Commission Expires: Josephine A. Seaman

CONTRACTOR SIGNATURE: (required)

Fred Maffera III
On State of Florida, County of: Martin
This the 26th day of May
by Fred Maffera III who is personally

known to me or produced _____
As identification. _____

Notary Public
My Commission Expires: Magancauca

JOSEPHINE A. SEAMAN
Notary Public, State of Florida
Commission# DD747384
My comm. expires Apr. 04, 2011

NOTARY PUBLIC
STATE OF FLORIDA
Magancauca
My Commission Expires 1/4/2013





Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1,13

Summary

Owner
 7 of 8

Tabs

Summary

Print View

Land

Improvements

Assessments &
 Exemptions

Sales

Taxes →

NEW: Navigator

Parcel Map →

Parcel Map (To be
 phased out 6/1/11) →

Trim Notice →

Searches

Parcel ID

Owner

Address

Account #

Use Code

Legal Description

Neighborhood

Sales

NEW: Navigator

Maps →

Maps (To be phased
 out 6/1/11) →

Functions

Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
35-37-41-002-001-00090-9	9421	32 FIELDWAY DR, STUART	\$277,900	5/21/2011

Owner Information

Owner(Current)	STECK BRUCE & ANN
Owner/Mail Address	32 FIELDWAY DR STUART FL 34996
Sale Date	8/23/2000
Document Book/Page	1501 2605
Document No.	JMB
Sale Price	220000

Location/Description

Account #	9421	Map Page No.	SP-03
Tax District	2200	Legal Description	INDIALUCIE, LOT 9 BLK 1
Parcel Address	32 FIELDWAY DR, STUART		
Acres	.3590		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120500 Melody Hill,India Lucie

Assessment Information

Market Land Value	\$138,000
Market Improvement Value	\$139,900
Market Total Value	\$277,900

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

**TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY**

TABLE 1609.6(2)

ADJUSTMENT FACTOR FOR BUILDING HEIGHT AND EXPOSURE. (a)

MEAN ROOF HEIGHT (feet)	EXPOSURE		
	B	C	D
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.36	1.61
30	1.00	1.40	1.66
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.56	1.81
55	1.19	1.59	1.84
60	1.22	1.62	1.87

For SI: 1 foot = 304.8mm.

FORMULA FOR DESIGN PRESSURES

Example: 25 ft mean roof height, exposure C
 16 X 7 Door 140mph.

Pressure	Exposure C multiplier	Req. Design Pressure
29.7	X 1.35	= +40.095
-33.1	X 1.35	= -44.685

Garage Door must be rated at +40.1/-44.68 minimum. **This formula must be completed for exposure C:**

Pressure	Exposure C multiplier	Req. Design Pressure
29.7	X 1.21	= 35.94 (+)
33.1	X 1.21	= 40.05 (-)

TABLE 1609.6(1)

GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf)

EFFECTIVE WIND AREA		Basic Wind Speed V (mph - 3 second gust)															
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150								
Roof Angle 0-10 degrees																	
8	8	10.5	-11.9	11.7	-13.3	14.5	-16.4	17.6	-19.9	20.9	-23.6	24.5	-27.7	28.4	-32.2	32.6	-36.9
10	10	10.1	-11.4	11.4	-12.7	14.0	-15.7	17.0	-19.0	20.2	-22.7	23.7	-26.6	27.5	-30.8	31.6	-35.4
14	14	10.0	-10.7	10.8	-12.0	13.3	-14.8	16.1	-17.6	19.2	-21.4	22.5	-25.1	26.1	-29.1	30.0	-33.4
Roof Angle > 10																	
9	7	11.4	-12.9	12.8	-14.5	15.8	-17.9	19.1	-21.0	22.8	-25.8	26.7	-30.2	31.0	-35.1	35.6	-40.2
16	7	10.9	-12.2	12.3	-13.7	15.2	-16.9	18.3	-20.4	21.8	-24.3	25.6	-28.5	29.7	-33.1	34.1	-38.0

For SI: 1 square foot = 0.929 Sqm, 1 mph = 0.447 m/s, 1 psf = 47.88 N/m².

- For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
- Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1609.2D.
- Plus and minus signs signify pressures acting toward and away from the building surfaces.
- Negative pressures assume door has 2 feet of width in building's end zone.

1609.6 Garage doors. Pressures from Table 1609.6(1) for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.

DAB #824 +36PSF-44PSF
MAX SIZE =10'2" x 10'0"



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 372-6339

NOTICE OF ACCEPTANCE (NOA)

www.miamidadegov/buildingcode

DAB Door Company, Inc.
12195 NW 98th Avenue
Hialeah Gardens, FL 33018

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: 16'-2" Wide x 16' High Steel Sectional Garage Door w/ Window Lite Option

APPROVAL DOCUMENT: Drawing No. 02-21, titled "Sectional Garage Door", dated 09/10/02, with last revision E dated 01/06/10, sheets 1 through 5 of 5, prepared by Al-Farooq Corporation, signed and sealed by Arshad Viqar, P.E., bearing the Miami-Dade County Product Control renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 09-0128.02 and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Carlos M. Utrera, P.E.



Carlos M. Utrera
03/11/10

NOA No. 10-0216.04
Expiration Date: July 21, 2015
Approval Date: March 31, 2010
Page 1

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Drawing No. **02-21**, titled "Sectional Garage Door", dated 09/10/02, with last revision E dated 01/06/10, sheets 1 through 5 of 5, prepared by Al-Farooq Corporation, signed and sealed by Arshad Viqar, P.E.

B. TESTS

1. Test Report on Large Missile Impact Test and Cyclic Wind Pressure Test, of "Sectional Residential Door with Windows", prepared by Hurricane Engineering & Testing Inc., Report No. **HETI 03-1328**, dated 07/15/03, signed and sealed by Rafael E. Droz-Seda, P.E.
2. Test Report on Uniform Static Air Pressure Test, of "Sectional Residential Door" prepared by Hurricane Engineering & Testing Inc., Report No. **HETI 03-1329**, dated 07/15/03, signed and sealed by Rafael E. Droz-Seda, P.E.
3. Test Report on Tensile Test per ASTM E-8 of "Sectional Residential Door (skin)", prepared by Hurricane Engineering & Testing Inc, Report No. **HETI 03-T078**, dated 10/31/03, signed and sealed by Rafael E. Droz-Seda, P.E.
"Submitted under NOA # 05-0228.02"
4. Test report on Salt Spray (Corrosion) Test per ASTM B 117 of a painted G-40 steel panels, prepared by Celotex Corporation, Test Report No. **258592**, dated 08/17/98, signed by W. A. Jackson, P.E.
"Submitted under NOA # 03-0210.04"

C. CALCULATIONS

1. Anchor verification calculations prepared by Al-Farooq Corporation, complying with F.B.C 2007, dated 12/19/08, signed and sealed by Humayoun Farooq, P.E.
"Submitted under NOA # 09-0128.02"

D. QUALITY ASSURANCE

1. Miami Dade Building Code Compliance Office (BCCO)



03/11/10

Carlos M. Utrera, P.E.
Product Control Examiner
NOA No. 10-0216.04
Expiration Date: July 21, 2015
Approval Date: March 31, 2010

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

E. MATERIAL CERTIFICATIONS

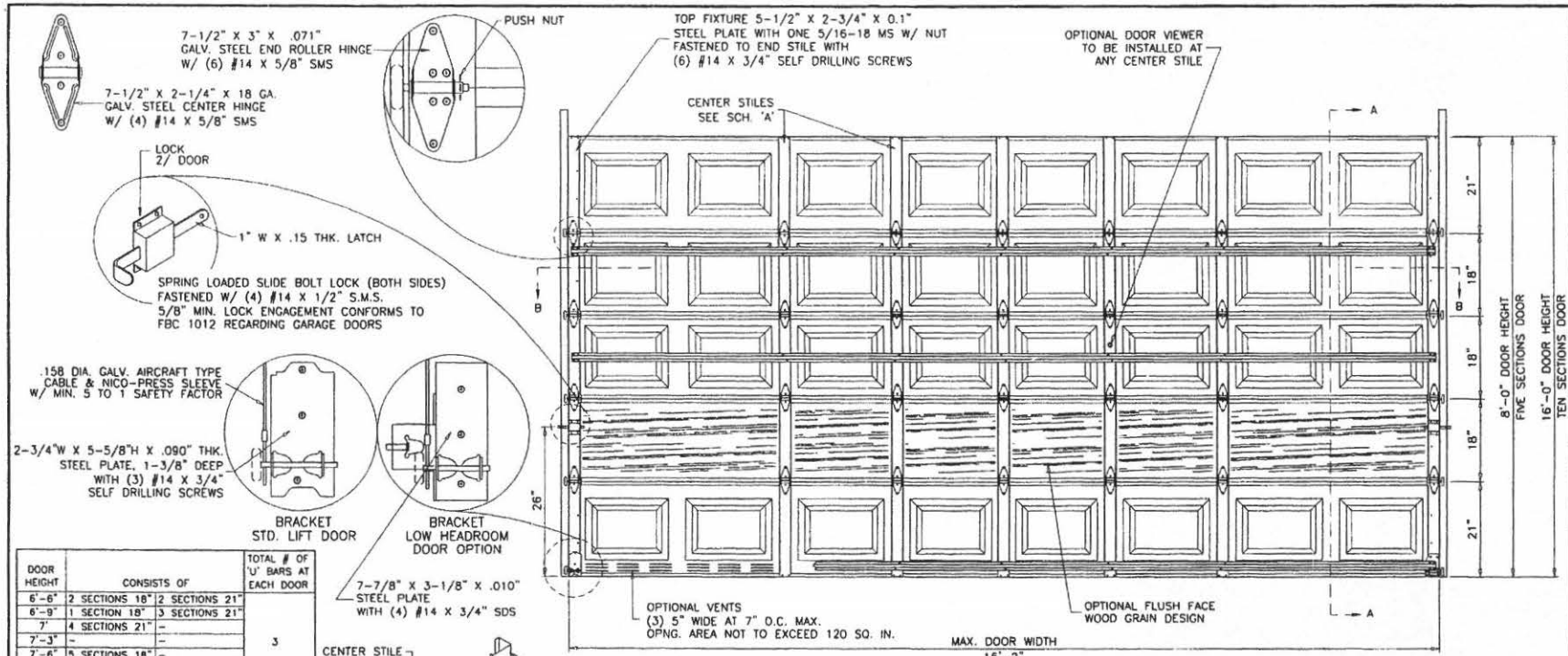
1. Notice of Acceptance No. **08-0305.02**, issued to SABIC Innovative Plastics, for their Lexan Sheet Products, approved on 04/24/08 and expiring on 07/17/13.
 2. Notice of Acceptance No. **07-1016.07**, issued to Insulfoam, LLC, for their Insulfoam Expanded Polystyrene Insulation, approved on 11/29/07 and expiring on 11/29/12.
 3. Notice of Acceptance No. **07-1107.08**, issued to Dyplast Products, LLC, for their Expanded Polystyrene Block Type Insulation, approved on 02/28/08 and expiring on 01/11/12.
 4. Notice of Acceptance No. **07-0301.10**, issued to Dyplast Products, LLC, for their Dyplast ISO-C1 Polyisocyanurate Insulation, approved on 06/07/07 and expiring on 01/11/12.
-
1. Test Report on Accelerated Weathering Using Xenon Arc Light Apparatus Test per ASTM G155 of "PVC Extrusion Material", prepared by Hurricane Engineering & Testing, Inc., Report No. **HETI 04-A002**, dated 09/27/04, signed and sealed by Rafael E. Droz-Seda, P.E.
 2. Test Reports on Tensile Test per ASTM D638 of "PVC Extrusion Material", prepared by Hurricane Engineering & Testing Inc., Report No. **HETI 04-T251**, dated 11/29/04 signed and sealed by I. Ghia, P.E.
 3. Test Report on Self-Ignition Temperature Test, Rate of Burn Test and Smoke Density Test of "REHAU non-foam PVC extrusion material", prepared by ETC Laboratories, Report No. **04-761-15019.0**, dated 05/06/04, signed and sealed by J. L. Doldan, P.E.
"Submitted under NOA # 05-0228.02"

F. STATEMENTS

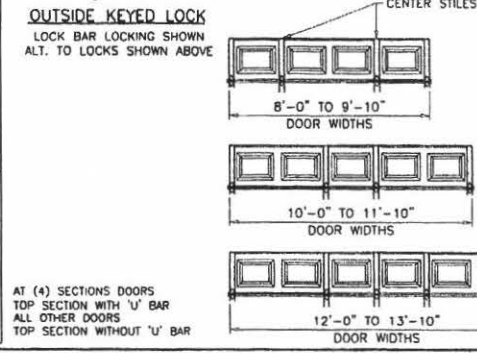
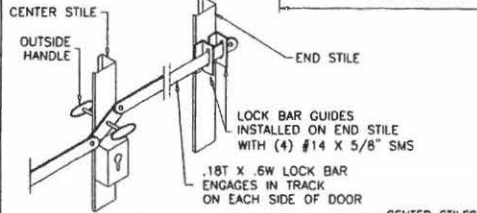
1. Change of engineer letter issued by Al-Farooq Corporation, dated 01/08/10, signed and sealed by Arshad Viqar, P.E.
 2. No change to product letter issued by DAB Door Company, Inc, dated 02/09/10, signed by Roseanne Berger.
-
1. Statement letter of code conformance issued by Al-Farooq Corporation, dated 12/05/08, signed and sealed by Humayoun Farooq, P.E.
 2. Statement letter of no financial interest issued by Al-Farooq Corporation, dated 12/05/08, signed and sealed by Humayoun Farooq, P.E.
"Submitted under NOA # 09-0128.02"



Carlos M. Utrera, P.E.
Product Control Examiner
NOA No. 10-0216.04
Expiration Date: July 21, 2015
Approval Date: March 31, 2010

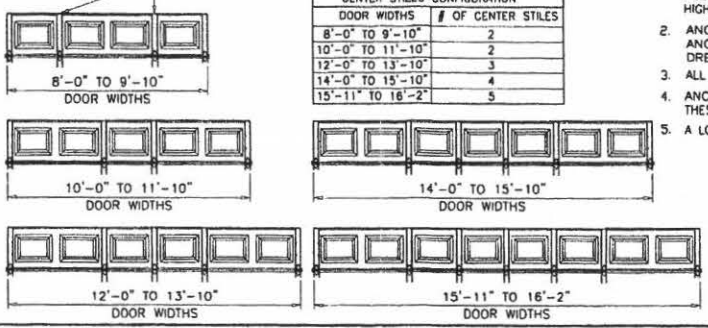


DOOR HEIGHT	CONSISTS OF		TOTAL # OF 'U' BARS AT EACH DOOR
6'-6"	2	SECTIONS 18" 2 SECTIONS 21"	3
6'-9"	1	SECTION 18" 3 SECTIONS 21"	
7'	4	SECTIONS 21"	
7'-3"	3	SECTIONS 18" 1 SECTION 21"	
7'-6"	5	SECTIONS 18"	
7'-9"	4	SECTIONS 18" 1 SECTION 21"	
8'	3	SECTIONS 18" 2 SECTIONS 21"	4
8'-3"	2	SECTIONS 18" 3 SECTIONS 21"	
8'-6"	1	SECTION 18" 4 SECTIONS 21"	
8'-9"	5	SECTIONS 21"	
9'	6	SECTIONS 18"	
9'-3"	5	SECTIONS 18" 1 SECTION 21"	
9'-6"	4	SECTIONS 18" 2 SECTIONS 21"	
9'-9"	3	SECTIONS 18" 3 SECTIONS 21"	
10'	2	SECTIONS 18" 4 SECTIONS 21"	
10'-3"	1	SECTION 18" 5 SECTIONS 21"	
10'-6"	6	SECTIONS 21"	
10'-9"	6	SECTIONS 18" 1 SECTION 21"	6
11'	5	SECTIONS 18" 2 SECTIONS 21"	
11'-3"	4	SECTIONS 18" 3 SECTIONS 21"	
11'-6"	3	SECTIONS 18" 4 SECTIONS 21"	
11'-9"	2	SECTIONS 18" 5 SECTIONS 21"	
12'	1	SECTION 18" 6 SECTIONS 21"	
12'-3"	7	SECTIONS 21"	
12'-6"	6	SECTIONS 18" 2 SECTIONS 21"	7
12'-9"	5	SECTIONS 18" 3 SECTIONS 21"	
13'	4	SECTIONS 18" 4 SECTIONS 21"	
13'-3"	3	SECTIONS 18" 5 SECTIONS 21"	
13'-6"	2	SECTIONS 18" 6 SECTIONS 21"	
13'-9"	1	SECTION 18" 7 SECTIONS 21"	
14'	8	SECTIONS 21"	
14'-3"	6	SECTIONS 18" 3 SECTIONS 21"	8
14'-6"	5	SECTIONS 18" 4 SECTIONS 21"	
14'-9"	4	SECTIONS 18" 5 SECTIONS 21"	
15'	3	SECTIONS 18" 6 SECTIONS 21"	
15'-3"	2	SECTIONS 18" 7 SECTIONS 21"	
15'-6"	1	SECTION 18" 8 SECTIONS 21"	
15'-9"	9	SECTIONS 21"	
16'	8	SECTIONS 18" 4 SECTIONS 21"	



SCHEDULE 'A'

CENTER STILES CONFIGURATION	
DOOR WIDTHS	# OF CENTER STILES
8'-0" TO 9'-10"	2
10'-0" TO 11'-10"	2
12'-0" TO 13'-10"	3
14'-0" TO 15'-10"	4
15'-11" TO 16'-2"	5



INSIDE ELEVATION
RAISED PANEL EMBOSSED DOOR

DAB DOOR MODEL 824
MAX. SIZE 16'-2" WIDE X 16'-0" HIGH
24 GA. ROLL FORMED STEEL

DESIGN PRESSURE RATING = + 36.0 PSF
- 44.0 PSF

THIS PRODUCT IS RATED FOR LARGE MISSILE IMPACT

GENERAL NOTES

1. THIS PRODUCT HAS BEEN DESIGNED AND TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2007 EDITION INCLUDING HIGH VELOCITY HURRICANE ZONE.
2. ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
3. ALL BOLTS, NUTS AND WASHERS SHALL BE ZINC PLATED CARBON STEEL.
4. ANCHORING OR LOADING CONDITIONS OTHER THAN THOSE SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.
5. A LOAD DURATION INCREASE IS USED IN DESIGN OF ANCHORS INTO WOOD ONLY.

Engr: ARSHAD VIQAR
CIVIL
F.I.A. PE # 38863
C.A.N. 3538

Arshad Viqar

JAN 08 2010

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 10-0216.04
Expiration Date 07/21/2015

By: *[Signature]*
Miami Dade Product Control
Division

afC

AL-FAROQ CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT
12335 S.W. 87 AVE
MIAMI, FLORIDA 33174
TEL: (305) 264-8100 FAX: (305) 262-8978

SECTIONAL GARAGE DOOR

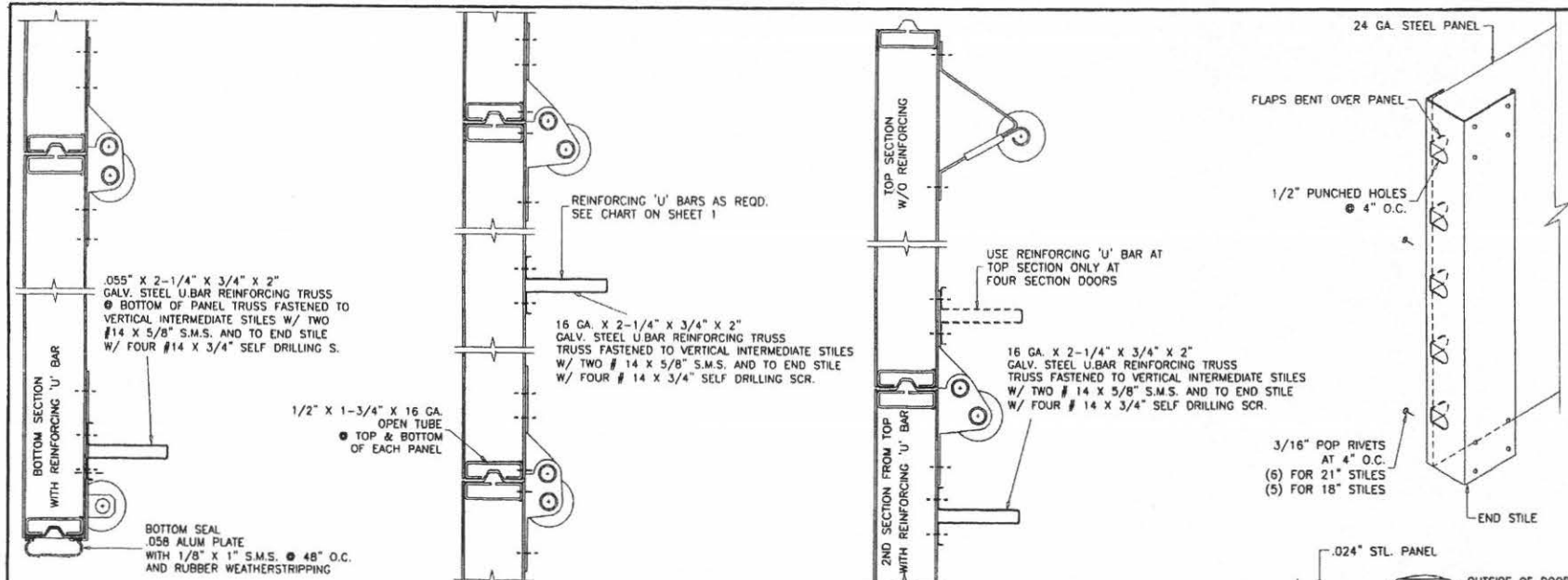
DAB DOORS INC.
12195 N.W. 98 TH. AVE
HIALLEAH GARDENS, FL. 33018
TEL: (305) 556 - 6624

REVISIONS:

NO	DATE	DESCRIPTION	BY
A	12/09/02	REV. PER BECC COMMENTS	
B	01/19/05	DOORS W/ WOV. OPTION ADDED	
C	05/20/05	REV. PER BECC COMMENTS	
D	12/17/08	UPDATED FOR 2007 FBC	
E	01/06/10	ENGR. NAME CHANGED	

Date: 09-10-02
Scale: 1/2"=1'-0"
Dr. by: HAND
Chk. by:

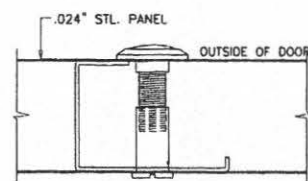
drawing no. **02-21**
sheet 1 of 5



1ST SECTION (BOTTOM)

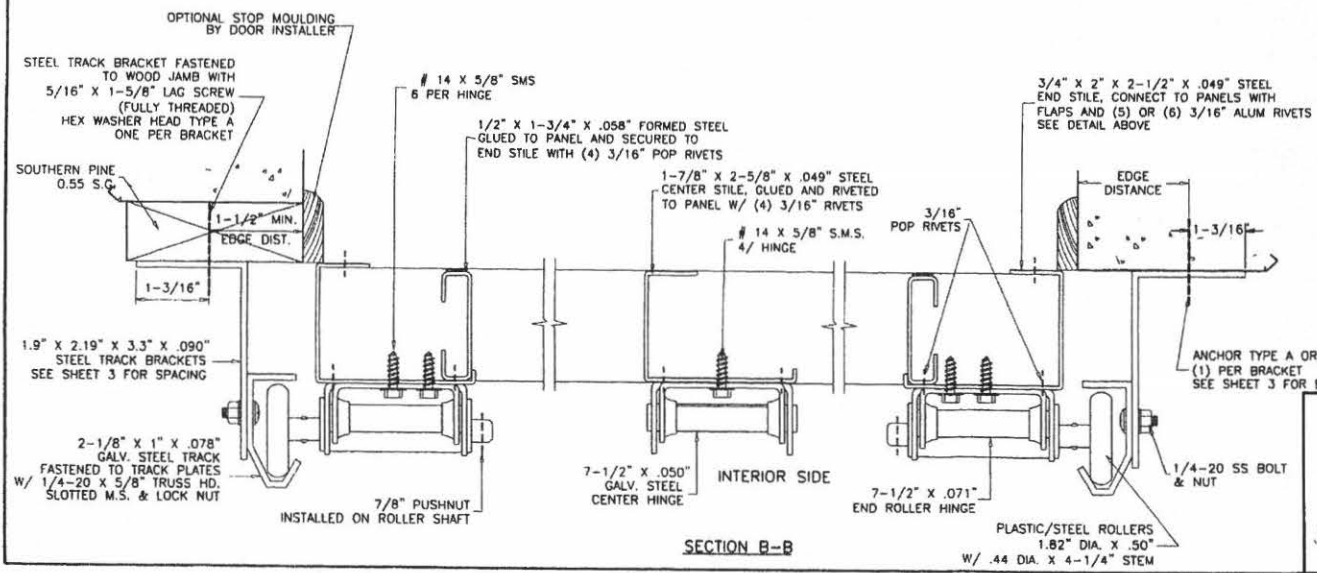
INTERMEDIATE SECTION
WITH OR W/O REINFORCING

TOP SECTION



SOLID BRASS DOOR VIEWER

BY 'SCHLAGE SECURITY HARDWARE'
INSTALLED IN 9/16" DIA. HOLES IN CENTER STILE
POSITIONED AT EYE LEVEL



SECTION B-B

Engr: ARSHAD VIQAR
CIVIL
FLA. PE # 38863
C.A.N. 3538

Am

JAN 08 2010

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No 10-0716-04
Expiration Date 8/1/2015

By: *[Signature]*
Miami Data Product Control
Division

af c

AL-FAROOG CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT
12335 S. FLORIDA 33174
MIAMI, FLORIDA 33174
TEL: (305) 264-8100 FAX: (305) 262-6978
GARAGE\02-21DAB

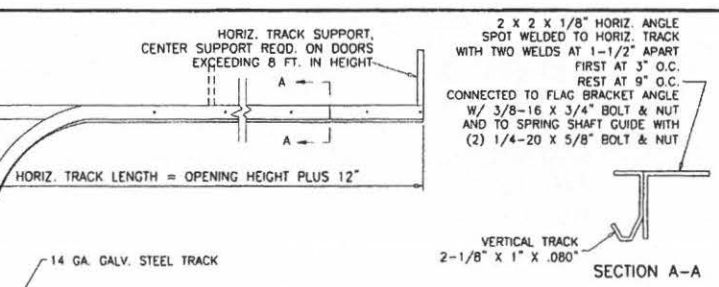
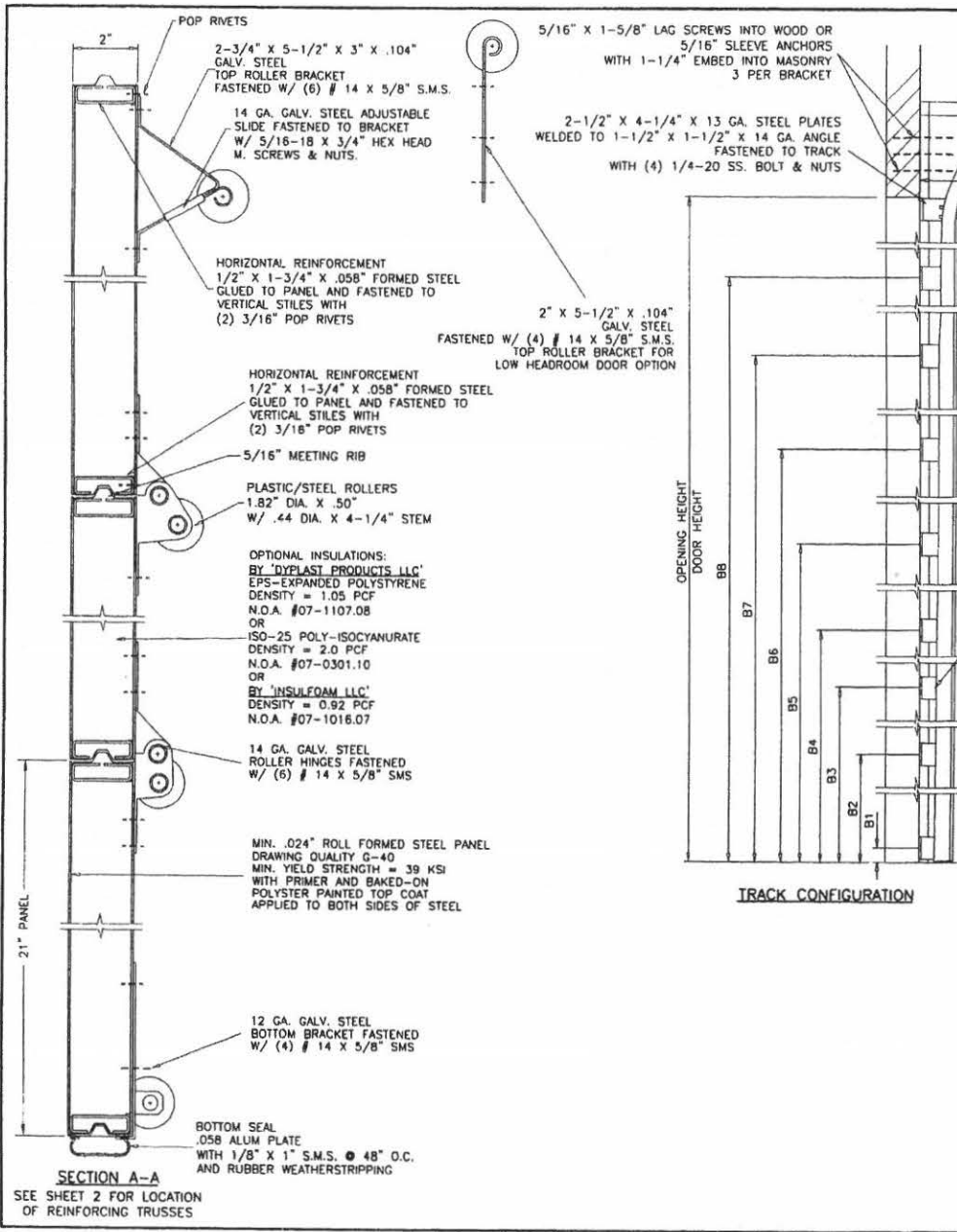
SECTIONAL GARAGE DOOR
DAB DOORS INC.
12195 N.W. 98 TH. AVE.
HIALEAH GARDENS, FL. 33018
TEL: (305) 556 - 6624

REV. NO.	DATE	DESCRIPTION
A	12/29/02	REV. PER BECC COMMENTS
B	01/19/05	NO CHANGE THIS SHEET
C	05/20/05	REV. PER BECC COMMENTS
D	12/17/08	UPDATED FOR 2007 FBC
E	01/08/10	ENGR NAME CHANGED

date: 09-10-02
scale: -
dr. by: HAMD
ch. by:

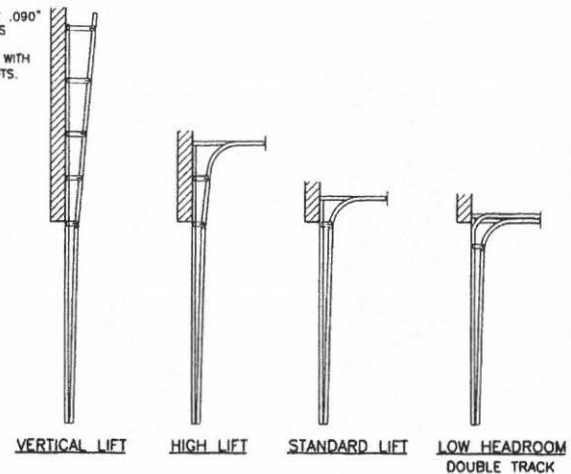
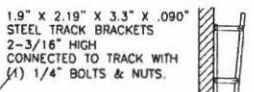
drawing no.
02-21

sheet 2 of 5



DOOR HEIGHT	* SECTION HEIGHTS					BRACKET PLACEMENTS							
	1ST	2ND	3RD	4TH	5TH	B1	B2	B3	B4	B5	B6	B7	B8
6'-0"	18"	18"	18"	18"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
6'-6"	21"	18"	18"	18"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
7'-0"	21"	21"	21"	21"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
7'-6"	18"	18"	18"	18"	18"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"
8'-0"	21"	18"	18"	18"	21"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"

*-SECTIONS ARE NUMBERED STARTING AT THE BOTTOM FOR DOORS MORE THAN 8 FT. HIGH, USE ADDITIONAL TRACK BRACKETS AT 10" O.C.



AVAILABLE TRACK OPTIONS

Engr: ARSHAD VOAR
CIVIL
FLA. PE # 38863
C.A.N. 3536

By: *[Signature]*
Miami Trade Product Control
Exhibitor

PRODUCT RENEWED as complying with the Florida Building Code
Acceptance No. 12-0216-09
Expiration Date 07/24/2015

JAN 08 2010

af c
AL-FAROQQ CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT
13335 S.W. 87 AVE.
MIAMI, FLORIDA 33174
TEL (305) 264-8100 FAX (305) 262-6878
GARAGE_D02-21.DWG

SECTIONAL GARAGE DOOR
DAB DOORS INC.
12195 N.W. 98 TH. AVE.
HIALEAH GARDENS, FL. 33018
TEL (305) 556 - 6624

Revisions:

NO.	DATE	BY	DESCRIPTION
A	12.09.02	REV. PER BCCO COMMENTS	NO CHANGE THIS SHEET
B	01.19.05	REV. PER BCCO COMMENTS	UPDATED FOR 2007 FBC
C	05.20.05	ENGR NAME CHANGED	
D	12.17.08		
E	01.08.10		

date: 09-10-02
scale: -
dr. by: HAMID
c.n. by:
drawing no. **02-21**
sheet 3 of 5

no.	date	by	description
A	12.09.02	REV. PER BCCO COMMENTS	
B	01.19.05	NO CHANGE THIS SHEET	
C	05.20.05	REV. PER BCCO COMMENTS	
D	12.17.08	UPDATED FOR 2007 FBC	
E	01.06.10	ENGR. NAME CHANGED	

date:	09-10-02
scale:	1
dr. by:	HAMID
ch. by:	
drawing no.	02-21
sheet 4 of 5	

WOOD FRAME BUILDINGS

STUD WALLS OR DOOR OPENING (NOT BY DAB DOORS) SHALL BE FRAMED SOLID BY NOT LESS THAN (3) 2X6 PRESSURE TREATED GRADE 2 SYP OR BETTER WOOD STUDS.
 STUD WALLS TO BE CONT. FROM FOOTING TO THE BEAM.
 ENGINEER OF RECORD TO VERIFY ADEQUACY OF THE SUPPORTING STRUCTURE.

WOOD BUCK CONNECTION TO MASONRY

TRACK SHALL BE SECURED WITH CONT. STEEL ANGLE TO PRESSURE TREATED 2X6 SYP WOOD JAMBS WHICH SHALL BE ANCHORED TO GROUDED REINFORCED MASONRY BLOCK WALL OR CONC. COLUMN WITH

- 1/4" ULTRACON BY 'ELCO' WITH SPACING OF 16" O.C. INTO BLOCK WALL, WITH 2-1/4" MIN. EMBED
- 13" O.C. INTO 3000 PSI CONCRETE, WITH 1-3/4" MIN. EMBED
- 2-1/2" MIN. EDGE DISTANCE

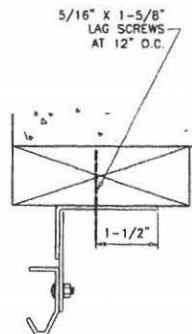
- 1/4" TAPPER BY 'POWERS' WITH SPACING OF 11" O.C. INTO BLOCK WALL, WITH 1-1/2" MIN. EMBED
- 13" O.C. INTO 3000 PSI CONCRETE, WITH 1-3/4" MIN. EMBED
- 3" MIN. EDGE DISTANCE

- 3/8" CONFLX BY 'ELCO' OR 3/8" LDT BY 'ITW' WITH SPACING OF 23" O.C. INTO 3000 PSI CONCRETE, WITH 2-1/2" MIN. EMBED
- 3" MIN. EDGE DISTANCE

- 3/8" HLC SLEEVE BY 'HILTI' WITH SPACING OF 13" O.C. INTO BLOCK WALL, WITH 1-1/4" MIN. EMBED, 4" MIN. EDGE DIST.
- 15" O.C. INTO 3000 PSI CONCRETE, WITH 1-1/4" MIN. EMBED AND 2-1/2" MIN. EDGE DISTANCE

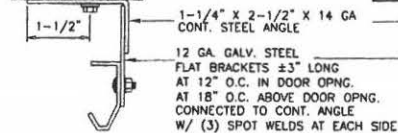
THE BLOCK WALL CELLS SHALL BE GROUT FILLED AND REINFORCED WITH FOUR # 5 BARS EXTENDING INTO FOOTING AND INTO THE BEAMS. ALL BARS SHALL BE CONTINUOUS FROM THE BEAMS TO FOOTING.

PREPARATION OF JAMBS BY OTHERS



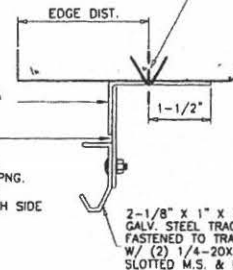
STEEL STRUCTURE BY OTHERS MUST SUPPORT THE LOADS IMPOSED BY DOOR SYSTEM

5/16" DIA. BOLTS WITH WASHER & NUT AT 12" O.C. MAX.



ANCHOR SPACING				
ANCHORS	STRUCTURE	EMBED	SPACING	EDGE DIST.
3/8" HLC SLEEVE BY 'HILTI'	CONC.	1-1/4"	8"	2"
3/8" HLC SLEEVE BY 'HILTI'	FILLED BLOCK	1-1/4"	8"	4"
3/8" DYNABOLT BY 'ITW'	CONC.	1-1/2"	8"	2-1/2"
3/8" DYNABOLT BY 'ITW'	FILLED BLOCK	1-1/2"	8"	3-3/4"
3/8" POWER-BOLT BY 'POWERS'	CONC.	2"	8"	2"
3/8" SLEEVE-ALL BY 'SIMPSONS'	CONC.	1-1/2"	8"	3"

CONCRETE f'c = 3000 PSI MIN.
 C-90 GROUT FILLED BLOCK f'm = 2000 PSI MIN.

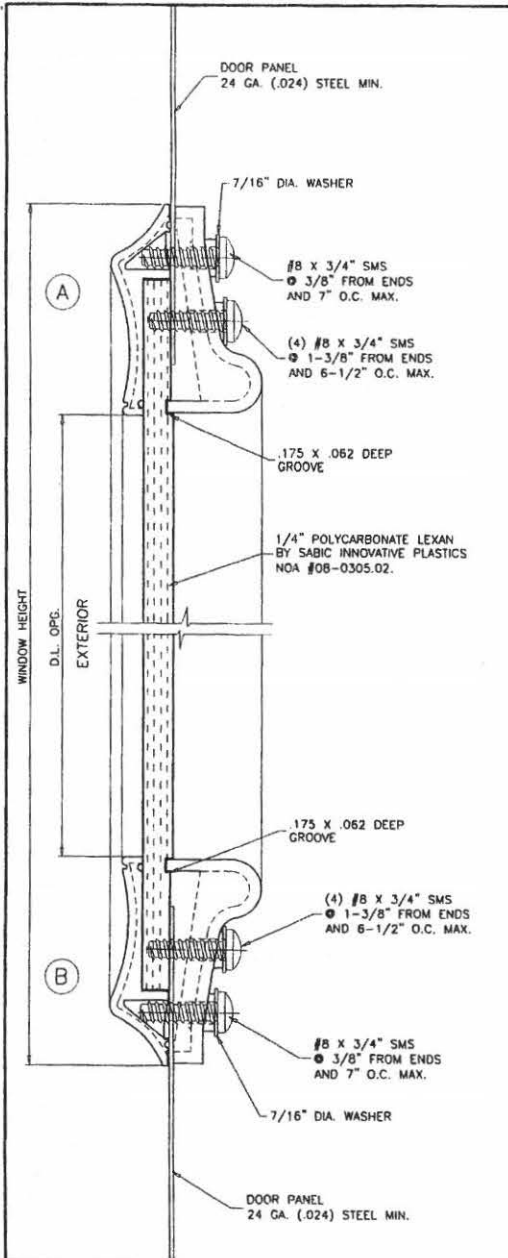


ALTERNATE TRACK INSTALLATION

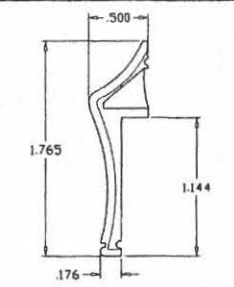
Engr: ARSHAD IQBAR
 CIVIL
 FLA PE # 38863
 C.A.N. 3538

 JAN 08 2010

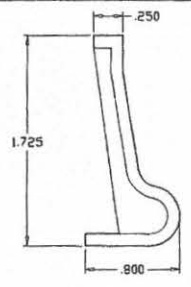
PRODUCT RENEWED
 as complying with the Florida
 Building Code
 Acceptance No 10-0216.04
 Expiration Date 07/21/2015
 By:
 Miami-Dade Product Control
 Division



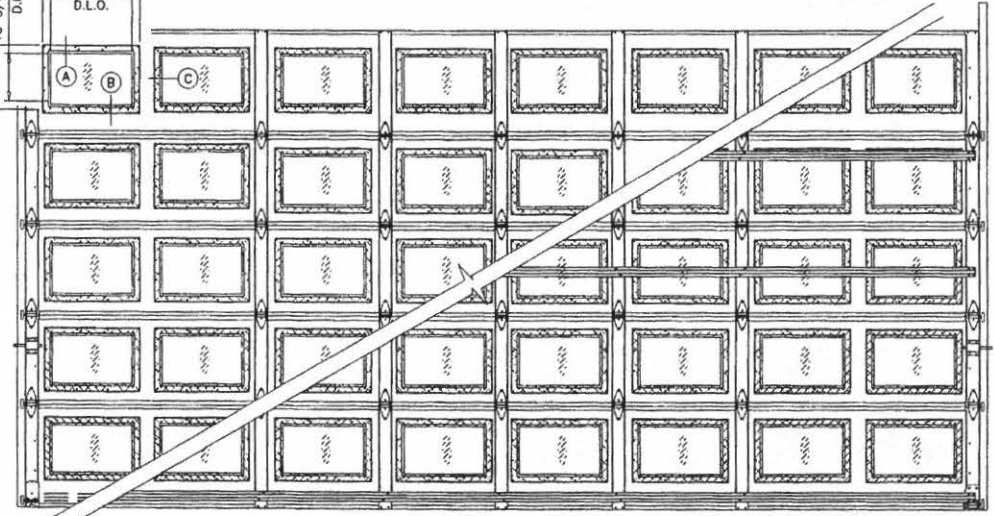
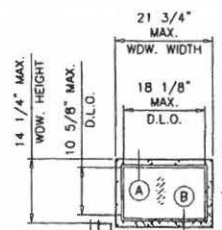
* PLASTIC COMPLIES WITH SECTION 2612 OF FBC 2007 SEE EVIDENCE PAGE



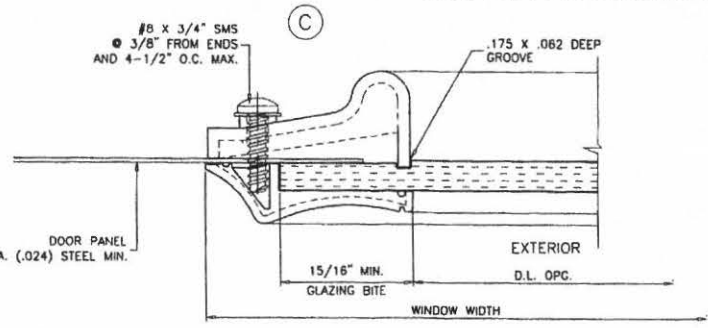
* EXTERIOR FRAME
RIGID PVC ONE PIECE INJECTION



* INTERIOR FRAME
RIGID PVC ONE PIECE INJECTION



INSIDE ELEVATION
RAISED PANEL EMBOSSED DOOR WITH OPTIONAL WINDOWS



Engr. ARSHAD VOAR
CIVIL
FLA. PE # 38863
C.A.N. 3538

Ar

JAN 08 2010

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 10-001-09
Expiration Date 01/01/2015

By *[Signature]*
Miami Made Product Control
Division

a f c

AL-FAROQ CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT
1236 S.W. 87 AVE
MIAMI, FLORIDA 33174
TEL. (305) 264-8100 FAX. (305) 262-6978
GARAGE 02-21DAB

SECTIONAL GARAGE DOOR

DAB DOORS INC.
12195 N.W. 98 TH. AVE.
HIALEAH GARDENS, FL. 33018
TEL. (305) 556 - 6624

no	date	description
B	01.19.05	DOORS W/ WIN. OPTION ADDED
C	05.20.05	REV. PER BCCD COMMENTS
D	12.17.08	UPDATED FOR 2007 FBC
E	01.06.10	ENGR. NAME CHANGED

date: 09-10-02
scale: -
dr. by: HAMD
chk. by:

drawing no.
02-21

sheet 5 of 5



AL-FAROOQ CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT

July 10, 2008

Mr. Allen Berger
DAB Doors, Inc.
12195 NW 98th Avenue
Hialeah Gardens, FL 33016

Re: Bracket for Garage Doors


Dear Mr. Berger,

Please be advised that there is a typo error where bracket B8 is not required for a 7'-0" high garage door in the following drawings:

DRAWING #	DOOR WIDTH
01-05	9'-4"
01-09	9'-4"
00-18	16'-2"
01-19	16'-2"
02-21	16'-2"
98-05	16'-2"
99-24	18'-2"
05-03	18'-2"

If you have any questions, please feel free to call our office.

Very truly yours,


JUL 10 2008
Dr. Humayoun Farooq, PE
President

SC:\1. AlFarooq\My Documents\2008\DAB Doors\B8Bracket1-02.doc



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

GARAGE DOOR REPLACEMENT CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

_____ **1 Copy** Completed permit application including,

- Legal Description
- Notarized signature of owner & contractor
- Proof of ownership (Recorded warranty deed or tax bill)

_____ **2 Copies** Manufacturer's product approval w/design pressures shown.
(**Indicate the size of the proposed replacement garage)

_____ **2 Copies** FBC 2007 table 1609.6(2) & 1609.6(1) (attached) – Circle or Hi-light the appropriate height & exposure adjustment coefficient *Table 1609.6(2)) and the appropriate +/- minimum pressures required (Table 1609.6(1)). (NOTE: The values arrived in these charts are the minimum design pressures required for the replacement garage door)

_____ **1 Copy** Notice of Commencement, if replacement value is over \$2500.00. Must be submitted prior to the first inspection.

_____ **1 Copy** Owner/Builder Application, if applicable

SPECIFICATIONS AND PRODUCT APPROVALS

- Specs. For all garage doors must be tested by an approved testing lab and design pressures stated
- Garage doors cannot have any glazed openings unless the glazed openings are impact resistant glass.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-8-11 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9803	Steck 32 Fieldway Palm Beach	Final Garage Door	Pass	Close INSPECTOR <i>[Signature]</i>
Tree	Terraw 10 Middle Rd	Tree	DEPARTED	INSPECTOR <i>[Signature]</i>
9806	Whitwell 1 Marguerite Rd Nislin	Final AC	Pass	Close INSPECTOR <i>[Signature]</i>
9802	Zucker 18 E High Pt Turrell Gas -	Gas tank Mark Cell 834-9659	<i>[Signature]</i>	INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR

10931

UNDERGROUND

UTILITIES



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10931	DATE ISSUED:	7/9/2014
SCOPE OF WORK:	REPLACE UG FACILITIES		
CONTRACTOR:	REEL CTELECOMMUNICATIONS SERV.		
PARCEL CONTROL NUMBER:		SUBDIVISION	
CONSTRUCTION ADDRESS:	32 FIELDWAY DR		
OWNER NAME:	COMCAST		
QUALIFIER:	LES SMITH	CONTACT PHONE NUMBER:	772-781-0003

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10931
ADDRESS:	32 FIELDWAY DR
DATE ISSUED:	7/9/2014
SCOPE OF WORK:	REPLACE UG FACILITIES

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
-------------------------------------------	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 700.00
Total number of inspections: @ \$ 100.00 per insp. # insp			
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5 min.)			

TOTAL ACCESSORY PERMIT FEE:			N/C
------------------------------------	--	--	-----

#025

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 6-20-14

OWNER/LESSEE NAME: COMCAST Phone (Day) 561-22-4127 (Fax) 561-454-5899

Job Site Address: 32 FIELDWAY DR City: SEWALLS PT State: FL Zip: 34996

Legal Description _____ Parcel Control Number: _____

Fee Simple Holder Name: _____ Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

*SCOPE OF WORK (PLEASE BE SPECIFIC):

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO XX

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 6700.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: REEL TELECOMMUNICATIONS SERV.LLC Phone: 772-781-0003 Fax: _____

Qualifiers name: LES SMITH Street: 7854 ELLISPE WY City: STUART State: FL Zip: 34997

State License Number: ES00000619 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: LES SMITH Phone Number: 772-781-0003

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

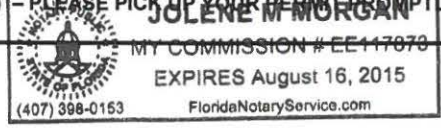
AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
 Wade Hagerly Comcast
 State of Florida, County of Palm Beach
 On This the 27th day of June, 2014
 by Wade Hagerly who is personally
 known to me or produced N/A
 As identification: Juno L. Lattin
 Notary Public
 My Commission Expires: 05/16/2016

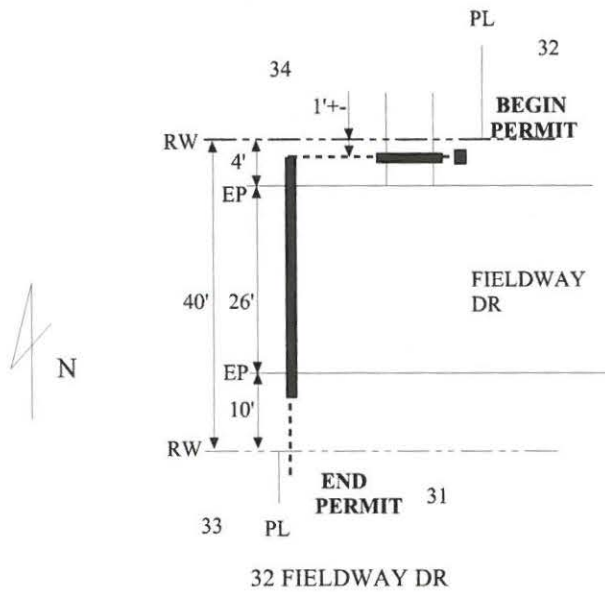
CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

 State of Florida, County of: Martin
 On This the 30th day of June, 2014
 by Les Smith (who is personally
 known to me or produced _____
 As identification: Jolene M Morgan
 Notary Public
 My Commission Expires: 08-16-2015

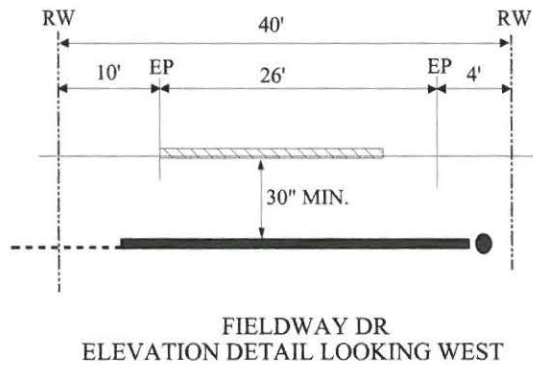
SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



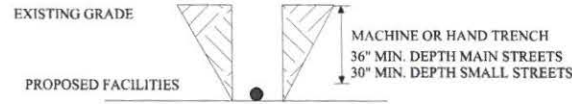
RECEIVED
JUL - 1 2014
Sewall's Point Town Hall



PROPOSED REPLACE UG FACILITIES PARALLEL TO AND 2" MISSILE BORE CROSSING CITY RW.
 TOTAL LENGTH OF PERMITTED FACILITIES 100'+-
 REPAIR TO EXISTING FACILITIES

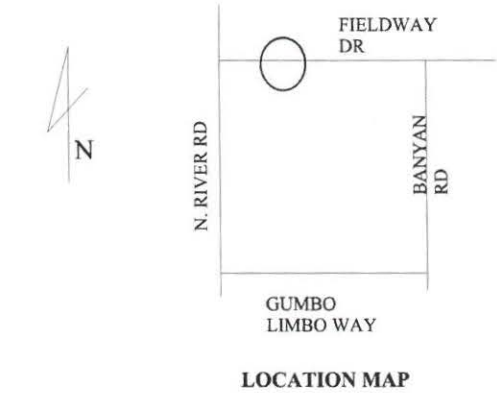


TRENCH SURFACE TO BE RESTORED TO IT'S ORIGINAL CONDITION.



NOTE: AT ALL TIMES DURING EXCAVATION OPERATIONS IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL AND MAINTAIN ALL SHORING INCLUDING ALL TRENCH SAFETY APPURTENANCES REQUIRED TO OPERATE IN STRICT ACCORDANCE WITH "OSHA" STANDARDS AND THE "FLORIDA TRENCH SAFETY ACT".

TOWN OF SEWALLS POINT
 BUILDING DEPARTMENT
 FILE COPY



NOTES:

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH APPLICABLE CONSTRUCTION AUTHORITY.
2. ACTUAL LOCATION OF EXISTING UTILITIES TO BE DETERMINED IN THE FIELD AT THE TIME OF CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED DURING CONSTRUCTION.
4. CALL 1-800-432-4770 FOR UTILITY LOCATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE THE AREA TO THE SAME OR BETTER CONDITION.
6. ALL DRIVEWAY BORES TO BE 2" MISSILE BORES.

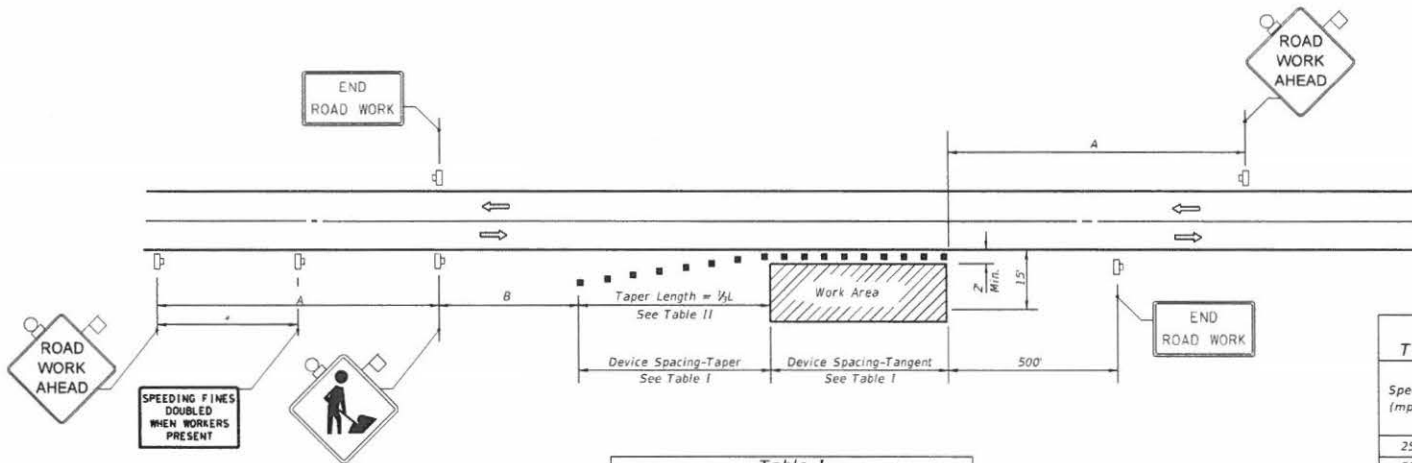
IT IS THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR TO MAINTAIN TRAFFIC CONTROL IN ACCORDANCE WITH THE FDOT 2014 DESIGN AND ROADWAY STANDARDS INDEX.

COMCAST

10435 IRONWOOD RD
 PALM BEACH GARDENS, FL 33410

32 N RIVER-FIELDWAY-1136	PROJECT NAME: SYSTEM MAINTENANCE	
DATE: 6-20-14	PERMIT TYPE: SEWALLS POINT	
DRAFT: KK	7661022	
SCALE: NTS	NODE: S21981	
N RIVER 32-FIELDWAY-1136	DWG: 1	DWG: 1

- EXISTING PEDESTAL
- PROPOSED BORE
- - - PROPOSED TRENCHING



Speed	Spacing (ft.)	
	A	B
40 mph or less	200	200
45 mph	350	350
50 mph or greater	500	500

*Midway between signs.

Speed (mph)	Max. Distance Between Devices (ft.)			
	Cones or Tubular Markers		Type I or Type II Barricades or Vertical Panels or Drums	
	Taper	Tangent	Taper	Tangent
25	25	50	25	50
30 to 45	25	50	30	50
50 to 70	25	50	50	100

Speed (mph)	1/2 L (ft)			Notes
	8' Shldr.	10' Shldr.	12' Shldr.	
25	28	35	42	L = $\frac{WS^2}{60}$
30	40	50	60	
35	55	68	82	
40	72	90	107	
45	120	150	180	L = WS
50	133	167	200	
55	147	183	220	
60	160	200	240	
65	173	217	260	
70	187	233	280	

B' = minimum shoulder width

1/2 L = Length of shoulder taper in feet

W = Width of total shoulder in feet (combined paved and unpaved width)

S = Posted speed limit (mph)

SYMBOLS

- Work Area
- Sign With 18" x 18" (Min.) Orange Flag And Type B Light
- Channelizing Device (See Index No. 600)
- Work Zone Sign
- Lane Identification + Direction of Traffic

GENERAL NOTES

- When four or more work vehicles enter the through traffic lanes in a one hour period or less (excluding establishing and terminating the work area), the advanced FLAGGER sign shall be substituted for the WORKERS sign. For location of flaggers and FLAGGER signs, see Index No. 603.
- SHOULDER WORK sign may be used as an alternate to the WORKER symbol sign only on the side where the shoulder work is being performed.
- When a side road intersects the highway within the TTC zone, additional TTC devices shall be placed in accordance with other applicable TCZ Indexes.
- For general TCZ requirements and additional information, refer to Index No. 600.

DURATION NOTES

- Signs and channelizing devices may be omitted if all of the following conditions are met:
 - Work operations are 60 minutes or less.
 - Vehicles in the work area have high-intensity, rotating, flashing, oscillating, or strobe lights operating.

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCR OACH THE AREA CLOSER THAN 15' BUT NOT CLOSER THAN 2' TO THE EDGE OF TRAVEL WAY.

C:\Users\jperkins\Documents\2014\2014\0600-000002-01.dgn 6/24/2013 6:30:36 PM

LAST REVISION
07/01/12

REVISION
DESCRIPTION:



FDOT 2014
DESIGN STANDARDS

TWO-LANE, TWO-WAY, WORK ON SHOULDER

INDEX NO.
602

SHEET NO.
1 of 1

Martin County, Florida
Laurel Kelly, C.F.A

generated on 7/9/2014 2:12:46 PM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
35-37-41-002-001-00090-9	9421	32 FIELDWAY DR, STUART	\$289,730	6/21/2014

Owner Information

Owner(Current)	STECK BRUCE & ANN
Owner/Mail Address	32 FIELDWAY DR STUART FL 34996
Sale Date	8/23/2000
Document Book/Page	1501 2605
Document No.	JMB
Sale Price	220000

Location/Description

Account #	9421	Map Page No.	SP-03
Tax District	2200	Legal Description	INDIALUCIE, LOT 9 BLK 1
Parcel Address	32 FIELDWAY DR, STUART		
Acres	.3590		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120500 Melody Hill,India Lucie

Assessment Information

Market Land Value	\$180,000
Market Improvement Value	\$109,730
Market Total Value	\$289,730

VARIANCE

APPLICATION TO
THE TOWN OF SEWALL'S POINT
BOARD OF ZONING ADJUSTMENT

PLEASE TYPE OR PRINT

I, Arthur H. Johnson of
Name of Applicant

Sewall's Point, Jensen Beach Florida 33457
City State Zip Code

do hereby make application to the Town of Sewall's Point Board of Zoning Adjustment on the following property legally described as:

Lot 9, Block 1, Subdivision Indialucie,
according to map or Plat Book 4, Page 77, Section _____,
Township _____ South, Range _____ East, of the public records of
Martin County, Florida, or property otherwise described as metes and bounds.
(Please include current street address) (long legal description may be attached
separately)

32 Fieldway Drive, Sewall's Point, Jensen Beach, Fl. 33457

for the purpose of CONSIDERING 18' REAR SETBACK FOR
(indicate the specific section of Zoning Regulations, Zoning
Resolution, Zoning Ordinance)

POOL ENCLOSURE INSTEAD OF 25' AS PROVIDED
IN ORD. #95, VI B (3)

VariANCES

To authorize upon appeal such variance from the terms of zoning ordinance as will not be contrary to the public interest when, owing to special conditions, a literal enforcement of the provisions of the zoning ordinance would result in unnecessary and undue hardship.

In order to authorize a variance, an application must be submitted which demonstrates:

1. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;
2. That the special conditions and circumstances do not result from the actions of the applicant;
3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings, or structures in the same zoning district;
4. That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant;
5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;
6. That the grant of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

In granting any variance, the board of adjustment may prescribe appropriate conditions and safeguards in conformity with this ordinance. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of the ordinance.

The board of adjustment may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed or both.

No non-conforming use of the neighboring lands, structures or buildings in the same district and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Notice of Public Hearing shall be posted on the property for which the variance

is sought and upon the Town Hall bulletin board, Notice shall be published at least eighteen (18) days prior to the public hearing in the Jensen Beach Mirror, or other newspaper of general circulation printed in Martin County, and Notice shall be sent by certified mail, return receipt requested, by applicant and at applicant's expense, to owners of record of real property located within three hundred (300) feet of any part of the real property involved in said request, with the mailing of said notices being at least eighteen (18) days prior to the date of the hearing.

This certifies that the above statement is correct and accurate. It is also certified that existing deed restrictions or covenants on this property will be adhered to and that if this request is granted, all necessary permits will be obtained and that all order, codes, conditions, rules, regulations and ordinances pertaining to the use of the above described property will be complied with. It is further certified that I have read the instructions on the attached sheet and fully understand the conditions set forth and will comply fully with them knowing that failure to comply or omission thereof may result in no action being taken by the Board.

Arthur H. Johnson
(Signature of Applicant or Attorney)

April 12, 1978
(Date)

DO NOT WRITE BELOW THIS LINE

Date Application Filed Apr 13/78 - Check # 112 - 75⁰⁰ rec'd.
Checked for completeness by Harold Lartaud Date 21 Apr 1978
Date copies to Board and Commissioners 4/21/78 all Members of both (12)
Date sign posted 4/21/78 Checked by CHARLES DURVEA
Legal Notice published - Date 5/21/78 Paper Stuart News
Letters to nearby owners checked - Date 4/21/78 By HAROLD LARDAUD
Date of Public Hearing MAY 15, 1978 / 2ND JUNE 5, 1978
Disposition of Case - Approved Not Approved _____
Resolution Signed - Date _____ Not Required _____
Follow up date if approval was conditional 6 months to start construction / 6 Dec 78
Follow up date entered in Town calendar - Date _____ By D
Copies of Board Chairman's report to Commissioners - Date Dwg 6 June 78
Closed File _____

⊗

2ND Hearing & notices Required as 1ST meeting not held on date specified in notices to Public & Adjacent property owners. Dwg

Letter with copy of Resolution to John Blakely Atty 6/29/78

April 11, 1978

Mr. LARRY & JUDY CLARK

33 FIELDWAY DR.

Jensen Beach, Fl. 33457

Re: Legal description of the property as on Application,
accompanied by a location Map

Dear Mr.

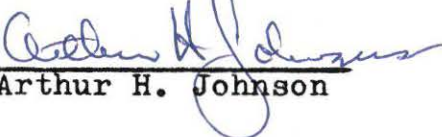
Please be advised as owners of property within 300 feet of the above described property, you are hereby, in accordance with the provisions of Ordinance No. 95 Town of Sewall's Point, put on notice that a public hearing will be held at 7:30 p.m. or as soon thereafter as the matter may be heard, on the 12th day of April, 1978, at the Sewall's Point Town Hall, by the Sewall's Point Board of Zoning Adjustment to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Section _____.

This application is being made to the Board of Zoning Adjustment in order to allow the rear wall of screen enclosed to be 18 feet from property line.

You are invited to attend and be heard or to write in care of the Sewall's Point Board of Adjustment, Town Hall, 1 South Sewall's Point Road, Jensen Beach, Florida, 33457.

No objection.
Larry E. Clark
Judith A. Clark

Sincerely,


Arthur H. Johnson

-BANYAN
1, 4, 5, 6, 7, 8, 10, 11, 12
F. M. ANDREWS

April 11, 1978

Mr.

Mr + Mrs E. H. O'Keefe

29 Fielkway

Jensen Beach, Fl. 33457

Re: Legal description of the property as on Application,
accompanied by a location Map

Dear Mr.

Please be advised as owners of property within 300 feet of the above described property, you are hereby, in accordance with the provisions of Ordinance No. 95 Town of Sewall's Point, put on notice that a public hearing will be held at 7:30 p.m. or as soon thereafter as the matter may be heard, on the 12th day of April, 1978, at the Sewall's Point Town Hall, by the Sewall's Point Board of Zoning Adjustment to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Section _____.

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*No objections
Edie H O'Keefe
Emile O'Keefe*

Sincerely,

Arthur H. Johnson

Arthur H. Johnson

April 11, 1978

30 Fieldway Drive

Mr. W^m. T. WALLIS

Jensen Beach, Fl. 33457

Re: Legal description of the property as on Application,
accompanied by a location Map

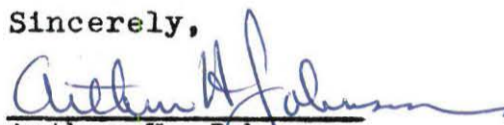
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Sincerely,


Arthur H. Johnson

*No objection
W.T. Wallis
James Shellis*

April 11, 1978

28 Fieldway Dr.

Mr. Joseph Greenlee

Jensen Beach, Fl. 33457

Re: Legal description of the property as on Application,
accompanied by a location Map

Dear Mr.

Please be advised as owners of property within 300 feet of the above described property, you are hereby, in accordance with the provisions of Ordinance No. 95 Town of Sewall's Point, put on notice that a public hearing will be held at 7:30 p.m. or as soon thereafter as the matter may be heard, on the 12th day of April, 1978, at the Sewall's Point Town Hall, by the Sewall's Point Board of Zoning Adjustment to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Section _____.

This application is being made to the Board of Zoning Adjustment in order to allow the rear wall of screen enclosed to be 18 feet from property line.

You are invited to attend and be heard or to write in care of the Sewall's Point Board of Adjustment, Town Hall, 1 South Sewall's Point Road, Jensen Beach, Florida, 33457.

Sincerely,

Arthur H. Johnson
Arthur H. Johnson

No objection
J. Greenlee

April 11, 1978

Mr. John Williams

36 Fieldway Dr

Jensen Beach, Fl. 33457

Re: Legal description of the property as on Application,
accompanied by a location Map

Dear Mr.

Please be advised as owners of property within 300 feet of the above described property, you are hereby, in accordance with the provisions of Ordinance No. 95 Town of Sewall's Point, put on notice that a public hearing will be held at 7:30 p.m. or as soon thereafter as the matter may be heard, on the 12th day of April, 1978, at the Sewall's Point Town Hall, by the Sewall's Point Board of Zoning Adjustment to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Section _____.

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You are invited to attend and be heard or to write in care of the Sewall's Point Board of Adjustment, Town Hall, 1 South Sewall's Point Road, Jensen Beach, Florida, 33457.

*No objection
William*

Sincerely,

Arthur H. Johnson
Arthur H. Johnson

BLAKELY & GETTYS
ATTORNEYS AT LAW
LAWYERS BUILDING
COVINGTON, KENTUCKY 41011

JAMES BLAKELY (1804-1882)
LAURIE J. BLAKELY (1844-1917)
STEPHENS L. BLAKELY (1878-1959)
JOHN R. BLAKELY
ROBERT P. GETTYS

431-2130
AREA CODE 606

May 2, 1978

Sewall's Point Board of Adjustment
Town Hall, 1 South Sewall's Point Road
Jensen Beach, Florida 33457

RE: Arthur H. Johnson
Application

Gentlemen:

Mr. Frank M. Andrews of Ft. Thomas, Kentucky, whom we represent, has handed us a letter from Mr. Arthur H. Johnson, dated April 19, 1978, relative to an application to the Board of Zoning Adjustment to allow the construction of a swimming pool and screened enclosure at 32 Fieldway Drive (Lot 8, Block 1) in the Indialucie area, Sewall's Point, Jensen Beach, Florida 33457.

Mr. Andrews has directed us, in his behalf to oppose the application. Mr. Andrews owns the house and acreage abutting on the rear lots 5 through 12, Block 1, of the Indialucie Subdivision. Installation of such a swimming pool would infringe on existing zoning requirements of your town which require any structure to be located at least 25 feet from the rear property line, and would materially decrease the value of Mr. Andrews' property. The breakdown of the zoning restrictions would, in effect, open a Pandora's Box for future encroachments.

Mr. Johnson's letter cites the fact that Lot 8 in Block 1 and Lot 11 in Block 1 each have swimming pool enclosures encroaching within the 25 feet limit, apparently in justification of his application. Please be informed that Mr. Andrews has never, at any time, received any notification of an application for a zoning variance by the owners of either of these lots. Had he received such notification, he would have filed a formal protest with your board.

C
O
P
Y

May 2, 1978

Sewall's Point Board of Adjustment

PAGE TWO

Please give this protest your consideration at the meeting scheduled for May 10, 1978, and let us know your final decision in the matter. Because of previous commitments, Mr. Andrews will be unable to personally attend.

Your consideration in the matter is greatly appreciated.

Yours truly,

JOHN R. BLAKELY

JRB/jf

c.c.: Mr. Frank M. Andrews
Mr. Arthur H. Johnson

May 16, 1978

Dear Sir,

Please refer to my letter of April 19, 1978 concerning my application to the Board of Zoning Adjustment for approval of a variance to permit the construction of a swimming pool and screened enclosure on my property.

Because that letter did not list a specific date for the public hearing, you are hereby advised that a new hearing date has been set at 7:30 P.M. on the 5th day of June, 1978, at the Sewall's Point Town Hall by the Sewall's Point Board of Zoning Adjustment to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Sec. 6-G-3.

This application is being made to the Board of Zoning Adjustment in order to allow the construction of a swimming pool and screened enclosure at 32 Fieldway Drive, (Lot 9, block 1) in the Indialucie area, Sewall's Point, Jensen Beach, Florida, 33457. The overall dimensions of the pool are 15' by 30'. The plan, as shown on the attached sheet, infringes on existing zoning requirements which require a variance consideration if a structure is located less than 25 feet from the rear property line. As proposed, the rear screened wall will be 18 feet from the rear property line requiring approval of a seven foot variance. The side of the screened enclosure is approximately 17 feet from the property line which complies with the ordinance of 15 feet on side construction.

You are invited to attend and be heard or write in care of the Sewall's Point Board of Adjustment, Town Hall, 1 South Sewall's Point Road, Jensen Beach, Florida, 33457.

Sincerely,

Arthur H. Johnson

BEFORE THE BOARD OF ZONING ADJUSTMENT
TOWN OF SEWALL'S POINT, FLORIDA

RESOLUTION NO. 78-1

RE: APPLICATION FOR VARIANCE TO
TOWN OF SEWALL'S POINT
ZONING ORDINANCES

Lot 9, Block 1, INDIALUCIE, according to the plat thereof recorded in Plat Book 4, page 85, public records of Martin County, Florida.

WHEREAS, MR. and MRS. ARTHUR H. JOHNSON the owners of the above described real property, applied to the TOWN OF SEWALL'S POINT for a variance to allow the construction of a swimming pool and screen enclosure within 25 feet of their rear property line, which would not comply with Section VI, Paragraph G(3) of Appendix B - Zoning, of the Town Code, and

WHEREAS, notice of the public hearing on the variance application was duly published and mailed in accordance with the provisions of the Town Code, and a public hearing thereon was held on June 5, 1978, at 7:30 P.M. at the Town Hall of the Town of Sewall's Point, and

WHEREAS, the public hearing was duly held on June 5, 1978, and all five members of the Board of Zoning Adjustment of the Town of Sewall's Point were in attendance, and

WHEREAS, the Board of Zoning Adjustment having considered the application for variance as presented by Mr. & Mrs. Arthur H. Johnson and having considered the written comments from adjoining property owners with respect to the requested variance, granted the request for variance on a vote of three members in favor of the variance and two members opposed to the variance.

NOW, THEREFORE, be it resolved by the Board of Zoning Adjustment of the Town of Sewall's Point that:

1. The grant of the variance is consistent with the requirements of the Florida Statutes and the Town Code.
2. Special conditions exist with respect to Mrs. Johnson's health which dictate that a denial of this variance

TOWN of SEWALL'S POINT

FILE

One Sewall's Point Road South, Jensen Beach, Florida 33457 Telephone 287-2455

COMMISSIONERS

EDWARD H. GLUCKLER, Mayor
ROBERT C. RUSSELL, Vice Mayor
EARL R. CRAWFORD
E. CLINTON TOWL
JOHN C. GUENTHER

MARGARET MILLER TAIBL
Town Clerk
Telephone 287-2455

June 6, 1978

FROM: Donald W. Graham, Chairman, Board of Zoning Adjustment

TO: Mayor and Commissioners


SUBJECT: Hearing - June 5, 1978 - Johnson Case - Pool Set Back
Lot 9, Block 1, Indialucie 18' vs. Legal 25'

Two hearings were required as the first did not take place on the date of the notice. A resolution at that time could have resulted in successful litigation by opponents if a favorable finding had resulted as "due process" was not followed.

The Board approved with members Lartaud, Murray, Hutchinson approving, Graham and Connolly opposed. A six months to start limitation was imposed.

Subject property was constructed under Ordinance #65, and purchased by Johnson this year. He stated he was told by owner and builder that it was designed for a pool. He consulted no one concerning the ordinances governing. Therefore those opposing considered the case to be one of self caused hardship. The Attorney also took this position. Those approving considered, among other things, the ordinance to be unduly restrictive, the fact that one family member had a medical reason not to swim in the sun, that Mr. O'Brien had a covered pool approved by a previous Board with only five feet set back on a nearby site, and that only one adjacent property owner had objected.

Unless construction begins in six months the variance will be void.


Donald W. Graham, Chairman
Board of Zoning Adjustment

DWG:M

Encl. Letter May 18, 1978
re O'Brien Case

Copy to: All Commissioners and Board Members

April 11, 1978

Mr. GERARD M. GREENE

Jensen Beach, Fl. 33457

34 FIELDWAY
SEWALL'S Pt, FLA 33457

Re: Legal description of the property as on Application,
accompanied by a location Map

Dear Mr.

Please be advised as owners of property within 300 feet of the above described property, you are hereby, in accordance with the provisions of Ordinance No. 95 Town of Sewall's Point, put on notice that a public hearing will be held at 7:30 p.m. or as soon thereafter as the matter may be heard, on the 12th day of April, 1978, at the Sewall's Point Town Hall, by the Sewall's Point Board of Zoning Adjustment to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Section _____.

This application is being made to the Board of Zoning Adjustment in order to allow the rear wall of screen enclosed to be 18 feet from property line.

You are invited to attend and be heard or to write in care of the Sewall's Point Board of Adjustment, Town Hall, 1 South Sewall's Point Road, Jensen Beach, Florida, 33457.

NO
OBJECTION
Gerard M. Greene

Sincerely,

Arthur H. Johnson
Arthur H. Johnson

FILE: JOHNSON CASE, B.O.F.A.

TOWN of SEWALL'S POINT

One Sewall's Point Road South, Jensen Beach, Florida 33457 Telephone 287-2455

COMMISSIONERS

EDWARD H. GLUCKLER, Mayor
ROBERT C. RUSSELL, Vice Mayor
EARL R. CRAWFORD
E. CLINTON TOWL
JOHN C. GUENTHER

MARGARET MILLER TAIBL
Town Clerk
Telephone 287-2455

May 18, 1978

MEMO TO: Donald W. Graham, Chairman, Board of Adjustment
FROM: John C. Guenther, Building Commissioner
SUBJECT: Pool Setback - Lot 8, Block 1, Indialucie

Reference is made to your memorandum, above subject, dated May 18, 1978 and to questions you asked about the subject pool and its rear setback.

Mr. Gerald O'Brien, owner of Lot 8, Block 1, Indialucie, applied on May 29, 1973 for permission to build a swimming pool with a rear set-back of only five feet. The site plan showed this set-back. The plan was approved on June 4, 1973 by the Building Inspector, at the time this application was made there was no mention made of enclosing the pool in any fashion.

On June 27, 1973 Mr. O'Brien applied to the Variance Board for permission to screen the pool, now completed. The Board met on July 12, 1973 and approved the screening, noting the five-foot rear set-back. On July 18th the necessary permit was issued by the Building Inspector.


John C. Guenther, Commissioner
Building

JCG:M

Copy to: Board of Adjustment Members
Town Attorney
Mayor Gluckler

August 2, 1978

STATEMENT OF ACCOUNT

Mr. & Mrs. Arthur H. Johnson,
32 Fieldway Drive,
Jensen Beach, Florida 33457.

Filing Fee with application for Variance April 13, 1978 75.00

Thurlow & Thurlow:	May 15, 1978	125.00	
"	June 5, 1978	75.00	
Stuart News:	April 27, 1978	6.45	
	May 21, 1978	<u>6.10</u>	<u>212.55</u>

AMOUNT DUE.....\$ 137.55

Please make your check payable to Town of Sewall's Point.

Thank you.

BLAKELY & GETTYS
ATTORNEYS AT LAW
LAWYERS BUILDING
COVINGTON, KENTUCKY 40011

JAMES BLAKELY (1804-1882)
LAURIE J. BLAKELY (1844-1917)
STEPHENS L. BLAKELY (1878-1959)
JOHN R. BLAKELY
ROBERT P. GETTYS

431-2130
AREA CODE 606

May 25, 1978

Sewall's Point Board of Adjustment
Town Hall, 1 South Sewall's Point Road
Jensen Beach, Florida 33457

RE: Arthur H. Johnson
Application

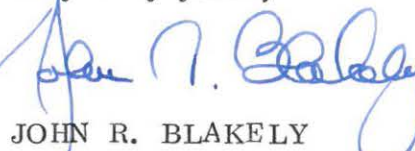
Gentlemen:

We are informed this application for approval of a variance, originally set for May 10, 1978 has been reset for June 5, 1978 at 7:30 P.M. Mr. Andrews will be unable to personally attend this meeting but has asked us to send along this letter and enclosure in his behalf.

A copy of our letter, addressed to your board on May 2, 1978, is enclosed herewith.

We will appreciate your letting us know of your disposition of the matter.

Very truly yours,



JOHN R. BLAKELY

JRB/jf
Enclosure

JOHN J. WILLIAMS, D.D.S.
31 EAST OSCEOLA STREET
STUART, FLORIDA 33494
Telephone 287-8463



April 24, 1978

Sewall's Point Board of Adjustment
Town Hall, 1 S. Sewall's Point Road
Jensen Beach, Fla. 33457

SUBJECT: Zoning Adjustment lot 9 block 1
Indialucie sub-division

Gentlemen:

One comment on a letter I received from Mr. Arthur Johnson, lot 9 block 1 of Indialucie; Mr. Johnson makes an erroneous statement concerning my pool location. My pool complies to the letter in regard to existing Ordinance 95 and ordinance in effect at the time the house was constructed. That is, my pool and patio are 25' from my rear property line.

I cannot speak for lot 8 block 1 for this house was finished just before mine. Possibly your minutes will show when, where, and if a variance was obtained.

Sincerely,

A handwritten signature in cursive script that reads "John J. Williams, D.D.S." with a stylized flourish at the end.

JOHN J. WILLIAMS, D.D.S.

EHB

A notice must be published

(date) 5 June, 0730 PM

(if you're) (other use same) leave out the
bit about a son thereof.

Just

6/11/2

RC Mark

James P
Mann

6/11/2

The Stuart News

Established as the Stuart Times, April 18, 1913

STUART, MARTIN COUNTY, FLORIDA



STATE OF FLORIDA
COUNTY OF MARTIN

Before the undersigned authority appearedThomas E. Weber, Jr.
who on oath says that he isEditor..... of the Stuart News, a daily newspaper
published at Stuart in Martin County, Florida, that the attached copy of advertisement, being a
.....Notice of Public Hearing.....
in the matter ofapplication of Arthur H. & Shirley R.
.....Johnson for zoning variance.....
.....
in the Court, was published in said newspaper in
the issues ofApril 27, 1978.....

Affiant further says that the said The Stuart News is a newspaper published at Stuart, in said
Martin County, Florida and that the said newspaper has heretofore been continuously published in
said Martin County, Florida, each week and has been entered as second class matter at the post office
in Stuart in said County, Florida, for a period of one year next preceding the first publication of the
attached copy of advertisement; and affiant further says that he has neither paid nor promised any
person, firm or corporation any discount, rebate, commission or refund for the purpose of securing
this advertisement for publication in the said newspaper.

Thomas E. Weber, Jr.

Sworn to and subscribed before me
this1..... day ofMay.....
A.D. 19.....78.....
Helen Powell
[SEAL] NOTARY PUBLIC

NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES SEPT. 6 1979
BONDED THROUGH GENERAL INSURANCE UNDERWRITERS

NOTICE OF PUBLIC HEARING

Matter: Application of Arthur H. Johnson and Shirley R. Johnson of 32 Fieldway Drive, Sewall's Point, seeking a variance from the setback requirement of Ordinance 95, Town of Sewall's Point.

Description: Construction of swimming pool and enclosure on rear of property resulting in an encroachment of seven (7) feet over setback line.

JUNE 4
Time and Date: 7:30 p.m. —
May 15, 1978, ~~or as soon after~~
such time as the matter may
be heard.

Place: Sewall's Point Town Hall, 1 South Sewall's Point Road.

Written comments may be sent to the Board of Zoning Adjustment, Town of Sewall's Point, 1 South Sewall's Point Road, Jensen Beach, Florida 33457.

This notice dated this 23 day of April, 1978.

BOARD OF ZONING ADJUSTMENT
BY: Harold Lartaud
Vice Chairman

Pub.: April 27, 1978

SN 2727

PLAT OF TRACTS "A" & "B"

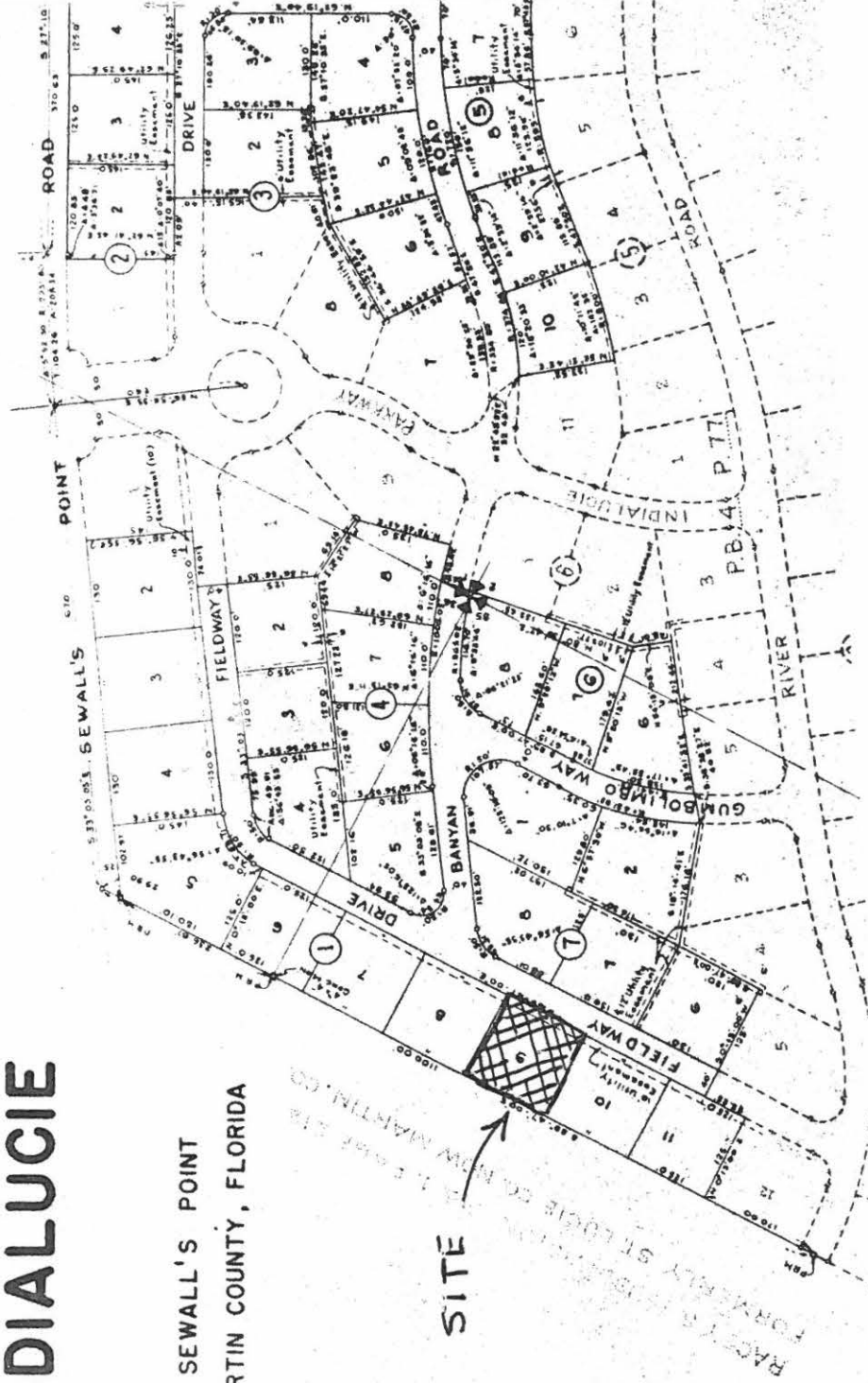
IN

PLAT OF

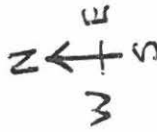
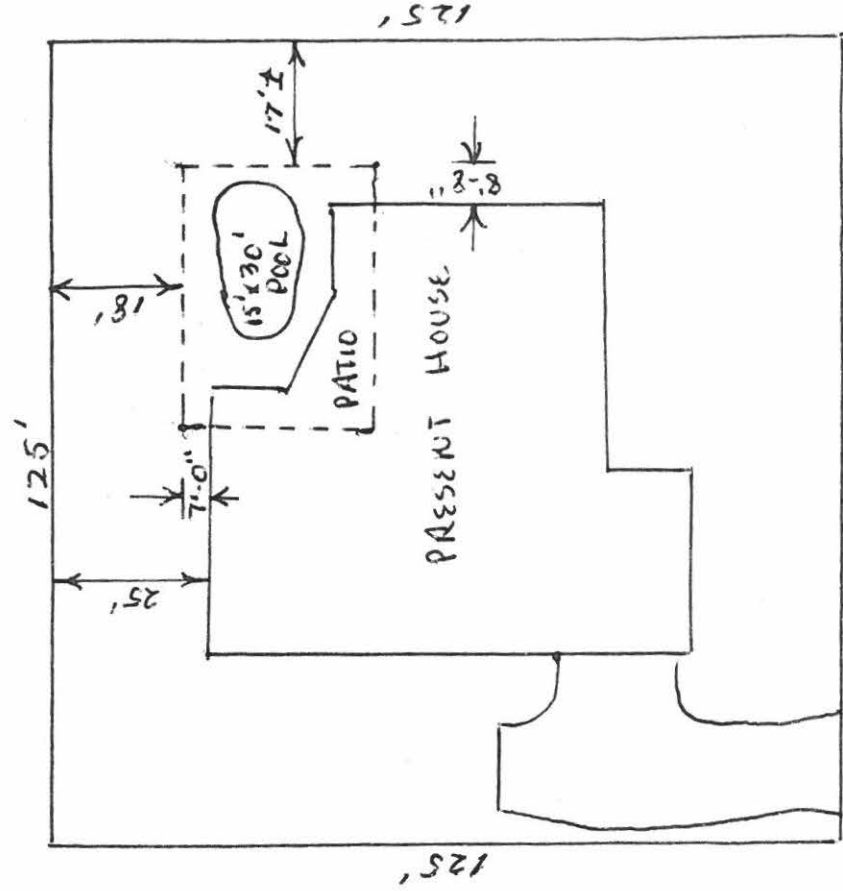
INDIALUCIE

SEWALL'S POINT

MARTIN COUNTY, FLORIDA



SITE



32 FIELDWAY DRIVE

LOT #9 Block 1

INDIALUCIE, SEWALLS POINT

JENSENS BEACH FL. 33457

May 16, 1978

Dear Sir,

Please refer to my letter of April 19, 1978 concerning my application to the Board of Zoning Adjustment for approval of a variance to permit the construction of a swimming pool and screened enclosure on my property.

Because that letter did not list a specific date for the public hearing, you are hereby advised that a new hearing date has been set at 7:30 P.M. on the 5th day of June, 1978, at the Sewall's Point Town Hall by the Sewall's Point Board of Zoning Adjustment to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Sec. 6-G-3.

This application is being made to the Board of Zoning Adjustment in order to allow the construction of a swimming pool and screened enclosure at 32 Fieldway Drive, (Lot 9, block 1) in the Indialucie area, Sewall's Point, Jensen Beach, Florida, 33457. The overall dimensions of the pool are 15' by 30'. The plan, as shown on the attached sheet, infringes on existing zoning requirements which require a variance consideration if a structure is located less than 25 feet from the rear property line. As proposed, the rear screened wall will be 18 feet from the rear property line requiring approval of a seven foot variance. The side of the screened enclosure is approximately 17 feet from the property line which complies with the ordinance of 15 feet on side construction.

You are invited to attend and be heard or write in care of the Sewall's Point Board of Adjustment, Town Hall, 1 South Sewall's Point Road, Jensen Beach, Florida, 33457.

Sincerely,

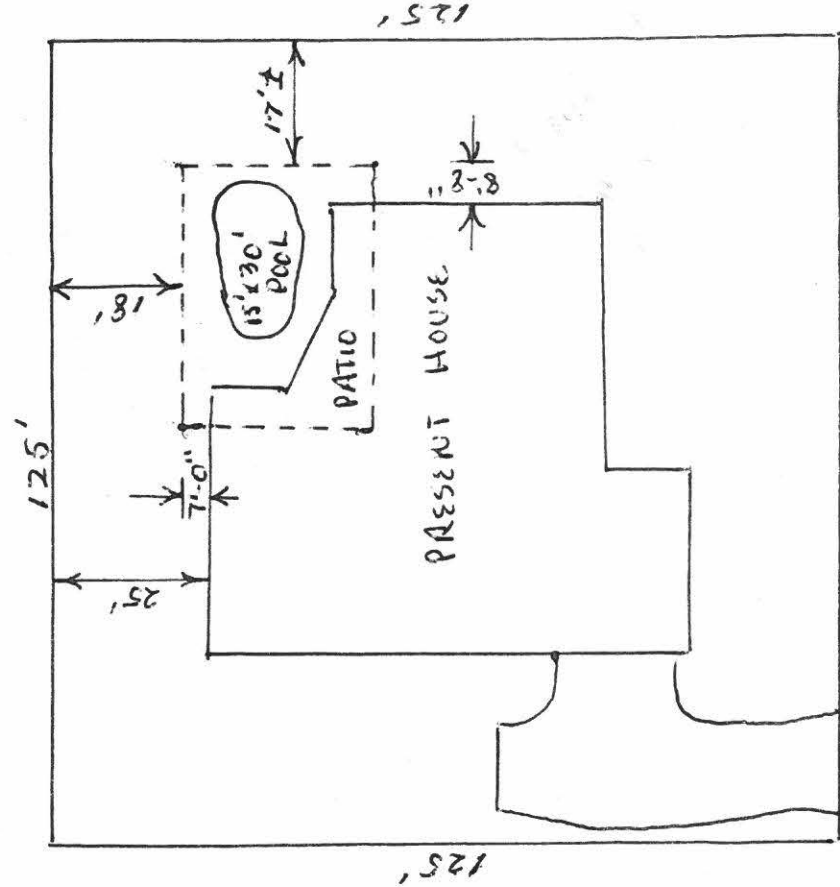
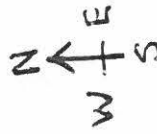
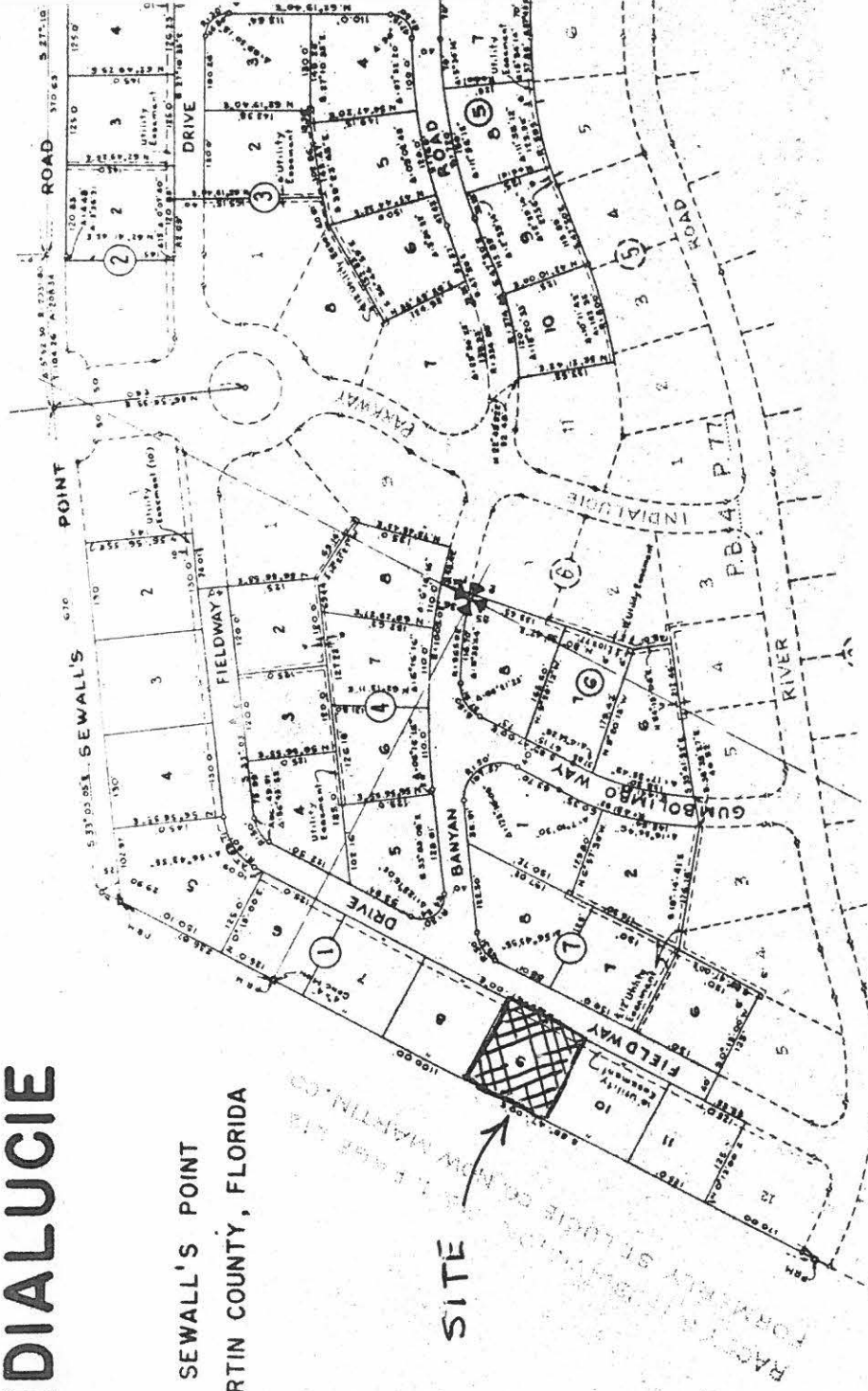
Arthur H. Johnson

PLAT OF TRACTS 'A' & 'B'

IN

INDIALUCIE

SEWALL'S POINT
MARTIN COUNTY, FLORIDA



32 FIELDWAY DRIVE

LOT #9 Block 1
INDIALUCIE, SEWALLS POINT
JENSENS BEACH FL. 33457

FILE

May 18, 1978

MEMO TO: Building Commissioner John C. Guenther

FROM: Donald W. Graham, Chairman, Board of Adjustment

SUBJECT: Pool Setback - Lot 8, Block 1, Indialucie

Mr. Johnson (Lot 9, Block 1, Indialucie), in violation of our guidelines, stated that Lot 8 and Lot 11 had encroaching pool installations. The owner of Lot 11 has replied to the Board that he is in full (25') compliance.

The second instance needs clarification. What is the status: Under variance, if so when granted; Improper approval by the Town: Built without any approval; Built under some other Town requirement and thus in compliance.

The Board need not be influenced by other existing situations. However, it always is helpful to know the facts. Your co-operation is appreciated.

Our next hearing of this case is June 5, 1978.

DWG:M

D. W. Graham, Chairman
Board of Adjustment

Copy to: Board of Adjustment Members
Town Attorney
Mayor Gluckler

1
Memo To Building Comm.

From, eh. BotAdj

Subject - Proj Setback - Lots B&C-1, (Indred Lucie

Mr. Johnson, in violation of our guidelines stated that Lots B and C-1-1 had encroaching poor installations.

The owner of Lot 1-1 has applied to the Bd that he is in full (25') compliance.

A The second lot owner needs clarification. What is the status, under variance, if so when granted; Improper approval by the Town - Built without any approval. Built under some other Town requirement and thus in compliance.

A The Board needs not be influenced by other existing situations. However it always is helpful to know the facts. Your cooperation is appreciated. Our next hearing of this case is ~~in~~ ^{on} June 25.

S/Duf

cc. Bd Members.

Alix.

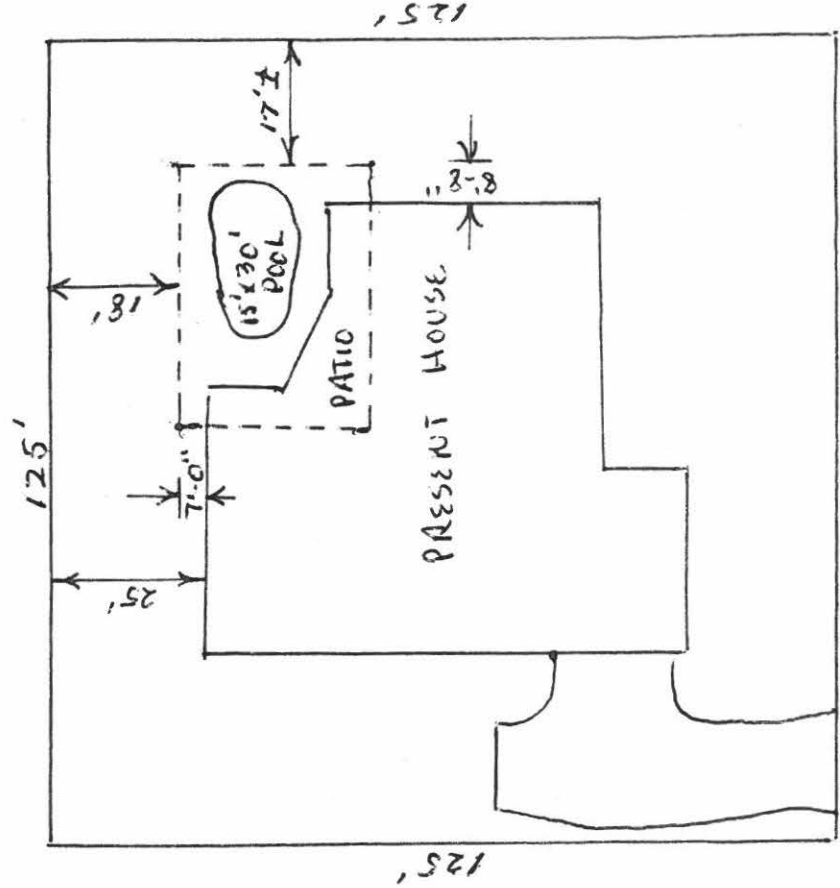
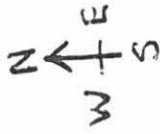
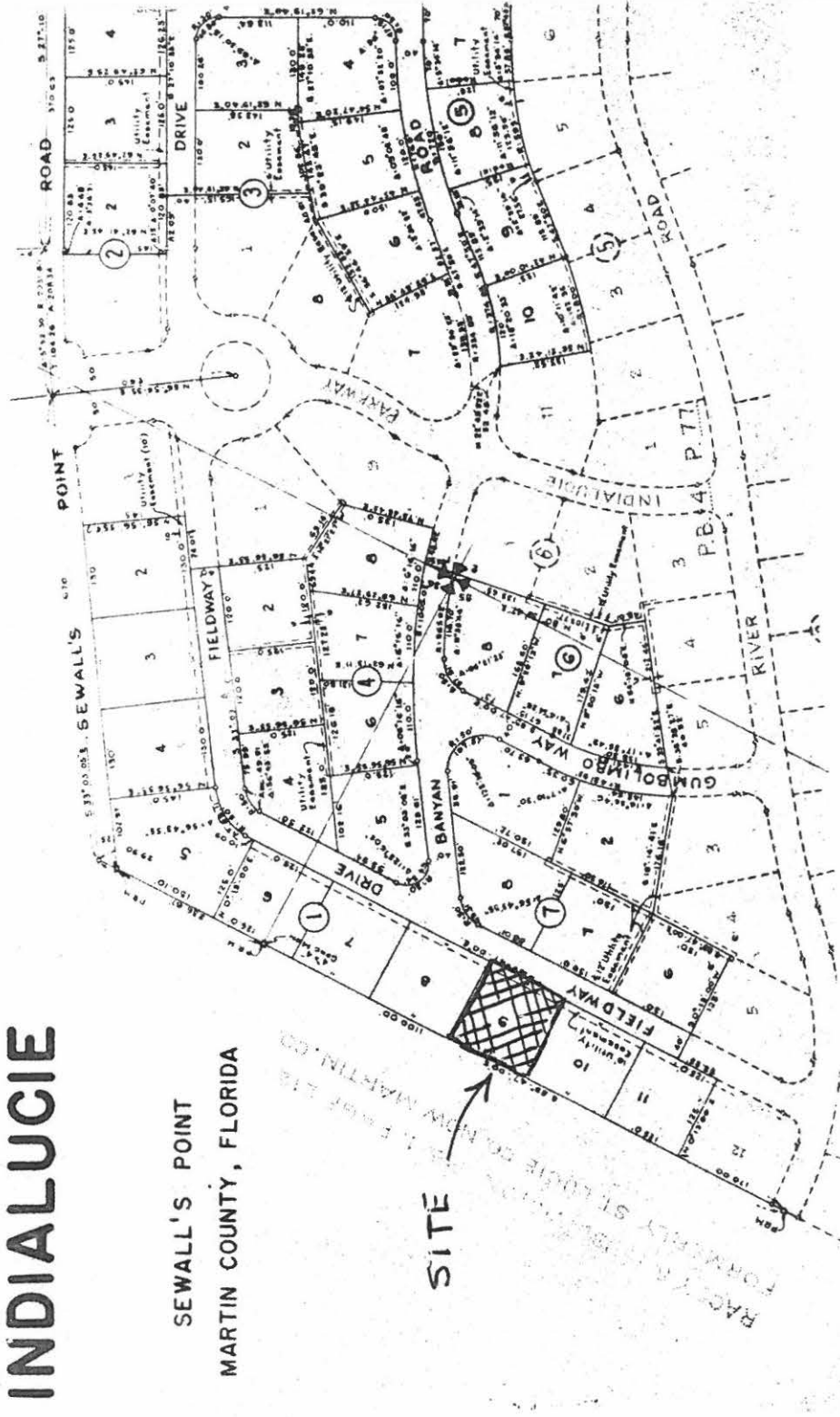
Mayor

PLAT OF TRACTS 'A' & 'B'

IN

INDIALUCIE

SEWALL'S POINT
MARTIN COUNTY, FLORIDA



32 FIELDWAY DRIVE
 LOT #9 Block 1
 INDIALUCIE, SEWALLS POINT
 JENSENS BEACH FL. 33457

TOWN of SEWALL'S POINT

One Sewall's Point Road South, Jensen Beach, Florida 33457 Telephone 287-2455

COMMISSIONERS

EDWARD H. GLUCKLER, Mayor
ROBERT C. RUSSELL, Vice Mayor
EARL R. CRAWFORD
E. CLINTON TOWL
JOHN C. GUENTHER

MARGARET MILLER TAIBL
Town Clerk
Telephone 287-2455

MEMO FOR RECORD

SUBJECT: Johnson Variance Hearing, May 15, 1978

Two letters of notification to adjacent holders were sent by Mr. Johnson. First was defective in that it included statements about other pool installations that by themselves are not allowed by the guidelines for Preparation of Applications, and that further were not factual. The second letters issued by applicant were approved by Board Member Lartaud but were also rendered defective when the meeting did not take place on the date specified, May 12, 1978.

Due process of law was not provided. Therefore the Board heard the merits of the case but reserved judgement until the total defect was remedied. The applicant recognized the risk of future court upset of any finding at this time and will issue a new notice letter citing the defect and providing the new date which the Board set as June 5, 1978.

The attorney for the Town agreed to check Mr. Johnson's new letter by phone for compliance and completeness with our instructions.

Unless the same Board members are present at the next hearing, the entire matter will need to be heard.


D. W. Graham, Chairman
Board of Zoning Adjustment

DWG:M

Copy to: Mayor Gluckler
Board Members
Attorney McCarthy

ZONING BOARD
FILE COPIES
Arthur H. Johnson

May 16, 1978

Dear Sir,

Please refer to my letter of April 19, 1978 concerning my application to the Board of Zoning Adjustment for approval of a variance to permit the construction of a swimming pool and screened enclosure on my property.

Because that letter did not list a specific date for the public hearing, you are hereby advised that a new hearing date has been set at 7:30 P.M. on the 5th day of June, 1978, at the Sewall's Point Town Hall by the Sewall's Point Board of Zoning Adjustment to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Sec. 6-G-3.

This application is being made to the Board of Zoning Adjustment in order to allow the construction of a swimming pool and screened enclosure at 32 Fieldway Drive, (Lot 9, block 1) in the Indialucie area, Sewall's Point, Jensen Beach, Florida, 33457. The overall dimensions of the pool are 15' by 30'. The plan, as shown on the attached sheet, infringes on existing zoning requirements which require a variance consideration if a structure is located less than 25 feet from the rear property line. As proposed, the rear screened wall will be 18 feet from the rear property line requiring approval of a seven foot variance. The side of the screened enclosure is approximately 17 feet from the property line which complies with the ordinance of 15 feet on side construction.

You are invited to attend and be heard or write in care of the Sewall's Point Board of Adjustment, Town Hall, 1 South Sewall's Point Road, Jensen Beach, Florida, 33457.

Sincerely,

Arthur H. Johnson

NOTICE OF PUBLIC HEARING

Matter: Application of Arthur H. Johnson and Shirley R. Johnson of 32 Fieldway Drive, Sewall's Point, seeking a variance from the setback requirement of Ordinance 95, Town of Sewall's Point.

Description: Construction of swimming pool and enclosure on rear of property resulting in an encroachment of seven (7) feet over setback line.

Time and Date: 7:30 p.m. - May 15, 1978, or as soon after such time as the matter may be heard.

Place: Sewall's Point Town Hall, 1 South Sewall's Point Road.

Written comments may be sent to Board of Zoning Adjustment, Town of Sewall's Point, 1 South Sewall's Point Road, Jensen Beach, Florida 33457.

This notice dated this 25 day of April, 1978

BOARD OF ZONING ADJUSTMENT

BY: Harold Lartaud
Vice Chairman

C E R T I F I C A T E T O R O L L

I, the undersigned, hereby certify that I am the duly qualified and acting Property Appraiser in and for MARTIN County, Florida; as such I have satisfied myself that all property included or includable on the REAL & PERSONAL (real, tangible personal) Property Assessment Roll for the aforesaid county is properly taxed so far as I have been able to ascertain; that the said roll was certified and delivered to me by the Board of Tax Adjustment on the 31st day of AUGUST, 19 77; and that all required extensions on the above described roll to show the tax attributable to all taxable property included therein have been made pursuant to law.

I further certify that upon completion of this certificate and the attachment of same to the herein described Assessment Roll as a part thereof, that said Assessment Roll will be delivered to the Tax Collector of this county.

In witness whereof, I have subscribed this certificate and caused the same to be attached to and made a part of the above described Assessment Roll this the 9th day of NOVEMBER, 19 77.

AD Augie Maynard

Property Appraiser of MARTIN COUNTY

County, Florida

LIST OF PROPERTY OWNERS WITHIN 300 FEET OF 32 FIELDWAY DRIVE (LOT 9,
BLOCK 1), INDIALUCIE, SEWALL'S POINT, JENSEN BEACH, FLORIDA, 33457

<u>Lot No.</u>	<u>Block No.</u>		
6	689642	1	Louis J. & Marion T. Tadrina 26 Fieldway Dr. Jensen Beach Fl 33457
OK 7	689651	1	J. F. & D.N. Greenlees 28 Fieldway Dr. Jensen Beach Fl. 33457
OK 8	689644	1	William T. & JoAnn Wallis 30 Fieldway Dr. Jensen Beach, Fl. 33457
OK 10	689643	1	Gerard M. & Veronica Greene 34 Fieldway Dr. Jensen Beach, Fl. 33457
OK 11	689650	1	John J. & Joan Williams 36 Fieldway Dr. Jensen Beach, Fl. 33457
NAY 12	689649	1	Eric G. & E. L. Anderson 251 Coe Road, Claredon, Il. 60514
1	689648	7	Ivan M. & Ann D. Bernson Rte. 1, Overlook Dr. Cadillac, Mich. 49601
2	689647	7	Julian & Clara George 6 Gum Bolinbo Way, Jensen Beach, Fl. 33457
3	689648	7	Jean C. & Vivian Parant No. River Road, Indialucie Jensen Beach, Fl. 33457
4	689645	7	Irving Stuart, Inc. 1830 Palm Beach Ave. Stuart, Fl. 33494
5	689660	7	Renold R. & J.M. Beck 2865 Glenvale Dr. Fairfax, Va. 22020
OK 6	689659	7	L.F. CLARK Emma T. Ashley 33 FIELDWAY DR P.O. Box 987, Stuart Fl. 33494 JENSEN BEACH, FL.
7	689658	7	S.T. & NANCY W. MCGRAW P. J. & L.E. Slazinski 2982 S.E. FAIRWAY WEST 4955 Colony Dr. Algonac, Mi. 48001 STUART FL 33494
OK 8	689657	7	Edmund M. & E. M. O'Keefe 29 Fieldway Dr. Jensen Beach, Fl. 33457
5	689656	4	Herman M. & S. Murray 27 Fieldway Dr. Jensen Beach F.l. 33457
6	689655	4	James P. & Charmaine A. Truitt 22 Banya Road Jensen Beach, Fl. 33457
3	689654		RAceys s/d Frank M. Andrews Jr. 115 Burnet Ridge, Fort Thomas, Ky. 41075
25	Knowles	S/d Bessemer Securit	317 Royal Poinci, Palm Beach, Fl. 33480
26	"	" "	317 Royal Poinci, Palm Beach, Fl. 33480
29	"	" "	317 Royal Poinci, Palm Beach, Fl. 33480

Lot No. Block No.

30	Knowles S/D	Bessemer Securit	317 Royal Poinci, Palm Beach Fl. 33480
31	689652	Joseph S. Jr. & Beth M. Konkus	424 Bryant Dr. Jupiter, Fl. 33458
32	"	Bessemer Securit	317 Royal Poinci, Palm Beach Fl. 33480

April 19, 1978

Re: Legal description of the property as on Application,
accompanied by a location map.

Dear Mr.

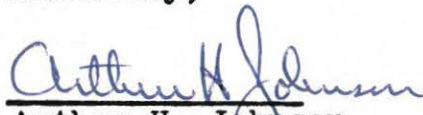
Please be advised as owners of property within 300 feet of the above described property, you are hereby, in accordance with the provisions of Ordinance No. 95 Town of Sewall's Point, put on notice that a public hearing will be held at 7:30 P.M. or as soon thereafter as the matter may be heard, on or about the 10th day of May, 1978, at the Sewall's Point Town Hall, by the Sewall's Point Board of Zoning Adjustment to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Section 6 - G - 3.

This application is being made to the Board of Zoning Adjustment in order to allow the construction of a swimming pool and screened enclosure at 32 Fieldway Drive (Lot 9, block 1) in the Indialucie area, Sewall's Point, Jensen Beach, Florida, 33457. The overall dimensions of the pool are 15' by 30'. The contractor recommends that the pool be located not less than five feet from the house foundation with a three foot walking area between the pool and the outside rear screened wall. The plan, as shown on the attached sheet, infringes on existing zoning requirements which require a variance consideration if a structure is located less than 25 feet from the rear property line. As proposed, the rear screened wall will be 18 feet from the rear property line requiring approval of a seven foot variance. The side of the screened enclosure is approximately 17 feet from the property line which complies with the ordinance of 15 feet on side construction.

It should be noted in considering this request that the adjoining lot 8, block 1 property has a swimming pool enclosure approximately 6 feet from the rear property line, and lot 11, block 1 has one approximately 15 feet from the rear property line.

You are invited to attend and be heard or to write in care of the Sewall's Point Board of Adjustment, Town Hall, 1 South Sewall's Point Road, Jensen Beach, Florida, 33457.

Sincerely,


Arthur H. Johnson

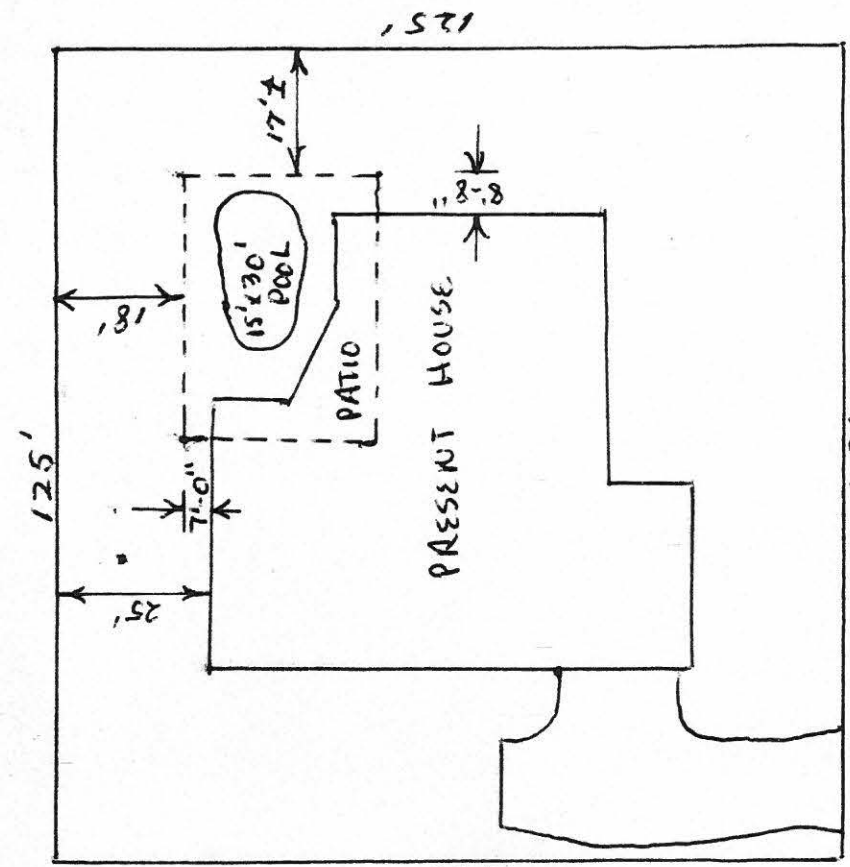
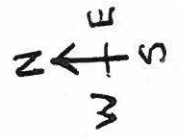
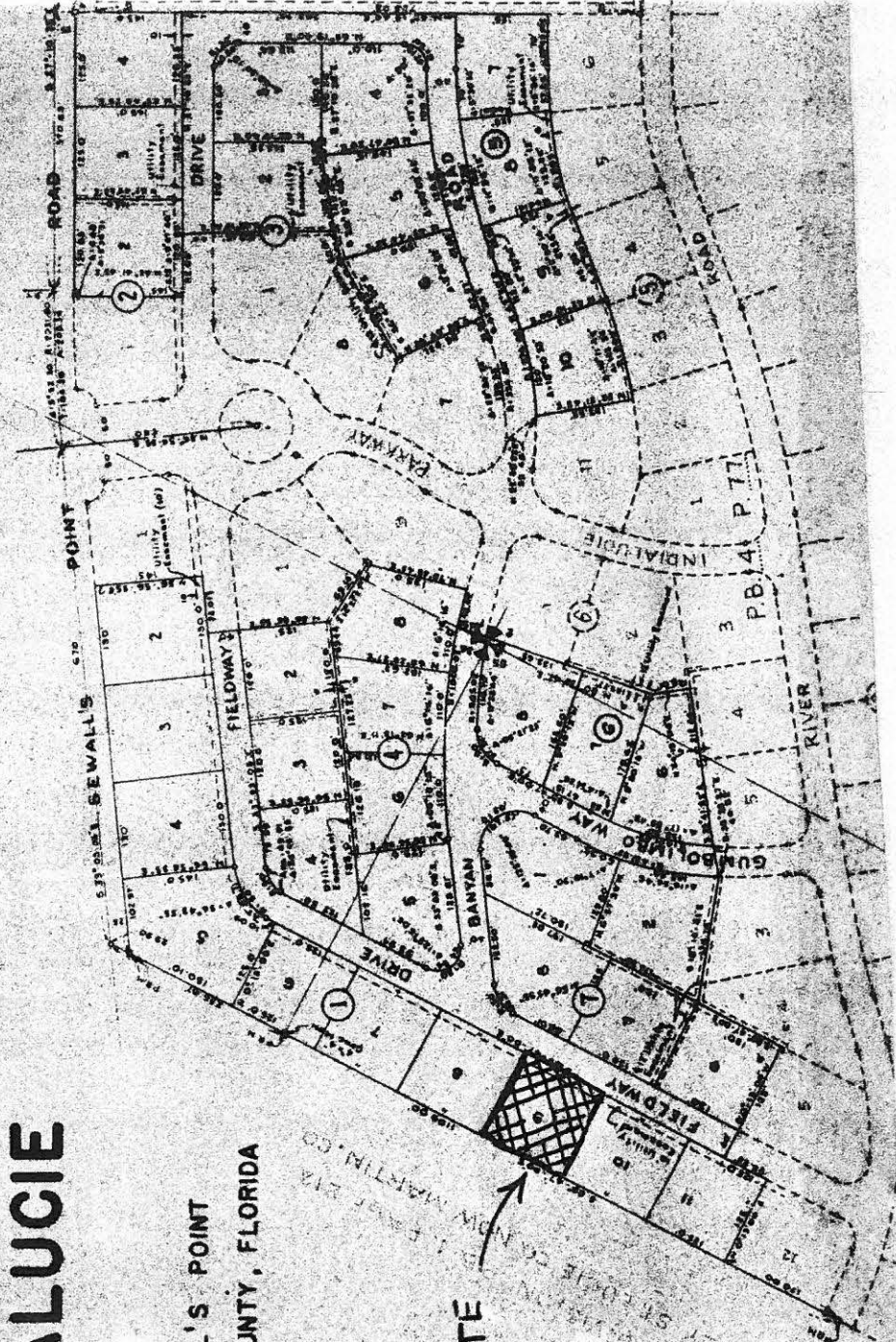
PLAT OF TRACTS 'A' & 'B'
IN
PLAT OF

INDIALUCIE

SEWALL'S POINT
MARTIN COUNTY, FLORIDA

FOR MARTIN COUNTY, FLORIDA
BY J. EARL MARTIN, CO.

SITE



32 FIELDWAY DRIVE
LOT #9 BLOCK 1
INDIALUCIE, SEWALLS POINT
JENSENS BEACH FL. 33457

ADVERTISEMENT

Town of S-P-

Notice of Public Hearing

Matter: Application of ^{Arthur} A. H. Johnson
and Shirley R. Johnson of 32 Fieldway
Dring Sewalls Point, seeking a
variance from the setback requirement
~~setback~~ of Ordinance 95, Town
of Sewalls Point

Description: Construction of
swimming pool and enclosure on
rear of property resulting in an
encroachment of 7 feet onto setback
line.

Time and Date: 7:30 PM on May 15, 1978,
or as soon after such ~~the~~ time
as the matter may be heard.

Place: Sewalls Point Town Hall,
1 South Sewalls Point Road, Sewalls
Point, Florida

Written comments may be sent to
Board of Zoning Adjustment, Town
of Sewalls Point, 9 South Sewalls
Point Road, Sewalls Beach, Florida,
33457

This Notice Dated this 23rd day of April,
1978

Board of Zoning Adjustment

By: Harold S. Farlow
Vice Chairman

Part-Time Building Inspector

Town of Sewall's Point seeks qualified building inspector to review plans, inspect works progress, grant approvals and maintain records. Hours 8AM to noon

Mondays through Fridays. Call Town

Clerk at 287-2455 or write to Sewall's

Point Town Hall Jensen Beach 33457

STUART NEWS FRI.-SAT.

J.B. MIRROR - WED.

APPLICATION TO
THE TOWN OF SEWALL'S POINT
BOARD OF ZONING ADJUSTMENT

PLEASE TYPE OR PRINT

I, Arthur H. Johnson of
Name of Applicant

Sewall's Point, Jensen Beach Florida 33457
City State Zip Code

do hereby make application to the Town of Sewall's Point Board of Zoning Adjustment on the following property legally described as:

Lot 9, Block 1, Subdivision Indialucie,
according to map or Plat Book 4, Page 77, Section
Township _____ South, Range _____ East, of the public records of
Martin County, Florida, or property otherwise described as metes and bounds.
(Please include current street address) (long legal description may be attached
separately)

32 Fieldway Drive, Sewall's Point, Jensen Beach, Fl. 33457

for the purpose of CONSIDERING 18' REAR SETBACK FOR
(indicate the specific section of Zoning Regulations, Zoning
Resolution, Zoning Ordinance)

POOL ENCLOSURE INSTEAD OF 25' AS PROVIDED
IN ORD. #95, VI G (3)

Variances

To authorize upon appeal such variance from the terms of zoning ordinance as will not be contrary to the public interest when, owing to special conditions, a literal enforcement of the provisions of the zoning ordinance would result in unnecessary and undue hardship.

In order to authorize a variance, an application must be submitted which demonstrates:

1. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;
2. That the special conditions and circumstances do not result from the actions of the applicant;
3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings, or structures in the same zoning district;
4. That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant;
5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;
6. That the grant of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

In granting any variance, the board of adjustment may prescribe appropriate conditions and safeguards in conformity with this ordinance. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of the ordinance.

The board of adjustment may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed or both.

No non-conforming use of the neighboring lands, structures or buildings in the same district and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Notice of Public Hearing shall be posted on the property for which the variance

The Stuart News

POST OFFICE BOX 396
STUART, FLORIDA 33494

SN#2799

IN ACCOUNT WITH

SEWALL'S POINT TOWN HALL
1 SOUTH SEWALL'S POINT ROAD
JENSEN BEACH, FLA. 33457

copy

PLEASE DETACH AND RETURN THIS STUB WITH REMITTANCE. CHECK RETURNED BY BANK IS YOUR RECEIPT.
DETACH HERE *5/21/78*

KEEP THIS PORTION AS YOUR RECORD

DATE	SECTION PAGE NO.	*CODE	UNITS	RATE	CHARGES	CREDITS	BALANCE
					LEGAL PUB. MAY 21, 1978 RE: CONST. OF SWIMMING POOL		\$6.10

LEGAL ADVERTISEMENT

NOTICE OF PUBLIC HEARING

Matter: Application of Arthur H. Johnson and Shirley R. Johnson of 32 Fieldway Drive, Sewall's Point, seeking a variance from the setback requirement of Ordinance 95, Town of Sewall's Point.

Description: Construction of swimming pool and enclosure on rear of property resulting in an encroachment of seven (7) feet over setback line.

Time and Date: 7:30 p.m. — June 5, 1978, or as soon after such time as the matter may be heard.

Place: Sewall's Point Town Hall, 1 South Sewall's Point Road.

Written comments may be sent to the Board of Zoning Adjustment, Town of Sewall's Point, 1 South Sewall's Point Road, Jensen Beach, Florida 33457.

This notice dated this 15 day of May, 1978.

BOARD OF ZONING ADJUSTMENT
BY: D.W. GRAHAM
Chairman

Pub.: May 21, 1978
SN 2799

PLEASE PAY LAST AMOUNT IN THIS COLUMN

* DESCRIPTION OF CODES AND UNITS:

- CODES: 1-DISPLAY
2-LEGAL
3-CLASSIFIED (WANT-ADS)
4-CHURCH PAGE
5-OTHER
6-COLOR PREM
7-INSERT
8-ADJUSTMENT

UNITS ARE COLUMN INCHES, LINES OR WORDS

The Stuart News

POST OFFICE BOX 396
STUART, FLORIDA 33494

PHONE:
DISPLAY ADVERTISING 287-1550
CLASSIFIED ADVERTISING 283-5252

PS Form 3811, Apr. 1977

RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered.
 Show to whom, date, and address of delivery.
 RESTRICTED DELIVERY Show to whom and date delivered.
 RESTRICTED DELIVERY. Show to whom, date, and address of delivery. \$
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 IRVING STUART INC.
 1830 PALM BEACH AVE
 STUART FL 33494

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 689645

(Always obtain signature of addressee or agent)
 I have received the article described above.
 SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY: 4/24/78 POSTMARK: APR 25 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS

GPO : 1977-O-234-337

PS Form 3811, Apr. 1977

RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

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 Show to whom and date delivered.
 Show to whom, date, and address of delivery.
 RESTRICTED DELIVERY Show to whom and date delivered.
 RESTRICTED DELIVERY. Show to whom, date, and address of delivery. \$
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 JOSEPH KONKUS
 424 BRYANT DR
 JUPITER FL 33458

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 689652

(Always obtain signature of addressee or agent)
 I have received the article described above.
 SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY: POSTMARK: APR 25 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS

GPO : 1977-O-234-337

PS Form 3811, Apr. 1977

RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

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 Show to whom and date delivered.
 Show to whom, date, and address of delivery.
 RESTRICTED DELIVERY Show to whom and date delivered.
 RESTRICTED DELIVERY. Show to whom, date, and address of delivery. \$
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 S.T. MCGRAW
 2982 S.E. FAIRWAY WEST
 STUART FL 33494

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 689658

(Always obtain signature of addressee or agent)
 I have received the article described above.
 SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY: APR 22 1978 POSTMARK: APR 22 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS

GPO : 1977-O-234-337

PS Form 3811, Apr. 1977

RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered.
 Show to whom, date, and address of delivery.
 RESTRICTED DELIVERY Show to whom and date delivered.
 RESTRICTED DELIVERY. Show to whom, date, and address of delivery. \$
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 J.C. PARANT
 100 RIVER RD
 JUPITER BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 689646

(Always obtain signature of addressee or agent)
 I have received the article described above.
 SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY: 4/22/78 POSTMARK: APR 22 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS

GPO : 1977-O-234-337

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered. _____¢
 Show to whom, date, and address of delivery. _____¢
 RESTRICTED DELIVERY
 Show to whom and date delivered. _____¢
 RESTRICTED DELIVERY.
 Show to whom, date, and address of delivery. \$ _____
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 H.M. MORRAY DRIVE
 27 FIELD WAY
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. | CERTIFIED NO. | INSURED NO.
 | 689656 | |

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
X Shuley Murray

4. DATE OF DELIVERY | POSTMARK
 2/22/78 | [APR 22 1978]

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: | CLERK'S INITIALS

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered. _____¢
 Show to whom, date, and address of delivery. _____¢
 RESTRICTED DELIVERY
 Show to whom and date delivered. _____¢
 RESTRICTED DELIVERY.
 Show to whom, date, and address of delivery. \$ _____
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 Mr. & Mrs. H. TADRIMA
 26 FIELD WAY DR
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. | CERTIFIED NO. | INSURED NO.
 | 689642 | |

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
X Louis Tadrima

4. DATE OF DELIVERY | POSTMARK
 4/22/78 | [APR 22 1978]

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: | CLERK'S INITIALS

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered. _____¢
 Show to whom, date, and address of delivery. _____¢
 RESTRICTED DELIVERY
 Show to whom and date delivered. _____¢
 RESTRICTED DELIVERY.
 Show to whom, date, and address of delivery. \$ _____
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 W.T. WALLIS
 30 FIELDWAY DR
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. | CERTIFIED NO. | INSURED NO.
 | 689644 | |

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
X W. Wallis

4. DATE OF DELIVERY | POSTMARK
 4/22/78 | [APR 22 1978]

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: | CLERK'S INITIALS

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered. _____¢
 Show to whom, date, and address of delivery. _____¢
 RESTRICTED DELIVERY
 Show to whom and date delivered. _____¢
 RESTRICTED DELIVERY.
 Show to whom, date, and address of delivery. \$ _____
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 Mr. & Mrs. GERARD GREENE
 34 FIELDWAY DR.
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. | CERTIFIED NO. | INSURED NO.
 | 689643 | |

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
X Bernice Shean

4. DATE OF DELIVERY | POSTMARK
 4/22/78 | [APR 22 1978]

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: | CLERK'S INITIALS

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one):

Show to whom and date delivered. _____¢

Show to whom, date, and address of delivery. _____¢

RESTRICTED DELIVERY
Show to whom and date delivered. _____¢

RESTRICTED DELIVERY.
Show to whom, date, and address of delivery. \$ _____
(CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
FRANK A ANDREWS JR.
115 BURNET RIDGE
FORT THOMAS KY 41075

3. ARTICLE DESCRIPTION:
REGISTERED NO. CERTIFIED NO. INSURED NO.
689654

(Always obtain signature of addressee or agent)

I have received the article described above.
SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY POSTMARK
4-24-78 APR 24 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one):

Show to whom and date delivered. _____¢

Show to whom, date, and address of delivery. _____¢

RESTRICTED DELIVERY
Show to whom and date delivered. _____¢

RESTRICTED DELIVERY.
Show to whom, date, and address of delivery. \$ _____
(CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
E.G. ANDERSON
251 COE ROAD
CLAREDDON ILL 60514

3. ARTICLE DESCRIPTION:
REGISTERED NO. CERTIFIED NO. INSURED NO.
689649

(Always obtain signature of addressee or agent)

I have received the article described above.
SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY POSTMARK
4-24-78 APR 24 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one):

Show to whom and date delivered. _____¢

Show to whom, date, and address of delivery. _____¢

RESTRICTED DELIVERY
Show to whom and date delivered. _____¢

RESTRICTED DELIVERY.
Show to whom, date, and address of delivery. \$ _____
(CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
J.F. GREENLEES
28 FIELDWAY DR
JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
REGISTERED NO. CERTIFIED NO. INSURED NO.
689651

(Always obtain signature of addressee or agent)

I have received the article described above.
SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY POSTMARK
APR 24 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one):

Show to whom and date delivered. _____¢

Show to whom, date, and address of delivery. _____¢

RESTRICTED DELIVERY
Show to whom and date delivered. _____¢

RESTRICTED DELIVERY.
Show to whom, date, and address of delivery. \$ _____
(CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
I.M. BERNSON
RTE 1, OVERLOOK DRIVE
CADILLAC MICH 49601

3. ARTICLE DESCRIPTION:
REGISTERED NO. CERTIFIED NO. INSURED NO.
689648

(Always obtain signature of addressee or agent)

I have received the article described above.
SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY POSTMARK
4-24-78 APR 24 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS

PS Form 3811, Apr. 1977

RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

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 Show to whom and date delivered. _____
 Show to whom, date, and address of delivery. _____
 RESTRICTED DELIVERY
 Show to whom and date delivered. _____
 RESTRICTED DELIVERY.
 Show to whom, date, and address of delivery. \$ _____
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 R. R. BECK
 2865 GLENVALE DR
 FAIR FAX VA 22020

3. ARTICLE DESCRIPTION:
 REGISTERED NO. | CERTIFIED NO. | INSURED NO.
 | 689660 | |

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
J. Beck

4. DATE OF DELIVERY | POSTMARK
 4-25-78 | [Stamp]

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: | CLERK'S INITIALS

PS Form 3811, Apr. 1977

RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered. _____
 Show to whom, date, and address of delivery. _____
 RESTRICTED DELIVERY
 Show to whom and date delivered. _____
 RESTRICTED DELIVERY.
 Show to whom, date, and address of delivery. \$ _____
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 MR. JULIAN GEORGE
 6 GUM BOW WAY
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. | CERTIFIED NO. | INSURED NO.
 | 689647 | |

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
J. George

4. DATE OF DELIVERY | POSTMARK
 4/22/78 | [Stamp]

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: | CLERK'S INITIALS

PS Form 3811, Apr. 1977

RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered. _____
 Show to whom, date, and address of delivery. _____
 RESTRICTED DELIVERY
 Show to whom and date delivered. _____
 RESTRICTED DELIVERY.
 Show to whom, date, and address of delivery. \$ _____
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 BESSEMER SECURIT
 312 ROYAL POINCI
 PALM BEACH FL 33480

3. ARTICLE DESCRIPTION:
 REGISTERED NO. | CERTIFIED NO. | INSURED NO.
 | 689653 | |

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
Lee Wilson

4. DATE OF DELIVERY | POSTMARK
 APR 24 1978 | [Stamp]

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: | CLERK'S INITIALS

PS Form 3811, Apr. 1977

RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

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 Show to whom and date delivered. _____
 Show to whom, date, and address of delivery. _____
 RESTRICTED DELIVERY
 Show to whom and date delivered. _____
 RESTRICTED DELIVERY.
 Show to whom, date, and address of delivery. \$ _____
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 J. P. TRUITT
 22 BANYA ROAD
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. | CERTIFIED NO. | INSURED NO.
 | 689655 | |

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
J. P. Truitt

4. DATE OF DELIVERY | POSTMARK
 4/22/78 | [Stamp]

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: | CLERK'S INITIALS

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

- 1. The following service is requested (check one).
[] Show to whom and date delivered.
[] Show to whom, date, and address of delivery.
[] RESTRICTED DELIVERY Show to whom and date delivered.
[] RESTRICTED DELIVERY Show to whom, date, and address of delivery.

2. ARTICLE ADDRESSED TO:
E. M. O'KEEFE
29 FIELDWAY DR.
JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
REGISTERED NO. CERTIFIED NO. INSURED NO.
689657

(Always obtain signature of addressee or agent)
I have received the article described above.
SIGNATURE [] Addressee [] Authorized agent

4. DATE OF DELIVERY POSTMARK
4/22/78 APR 22 1978

5. ADDRESS (Complete only if requested)

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

- 1. The following service is requested (check one).
[X] Show to whom and date delivered.
[] Show to whom, date, and address of delivery.
[] RESTRICTED DELIVERY Show to whom and date delivered.
[] RESTRICTED DELIVERY Show to whom, date, and address of delivery.

2. ARTICLE ADDRESSED TO:
BESSEMER SECURIT
317 ROYAL POWEL
PALM BEACH FL 33480

3. ARTICLE DESCRIPTION:
REGISTERED NO. CERTIFIED NO. INSURED NO.
744821

(Always obtain signature of addressee or agent)
I have received the article described above.
SIGNATURE [] Addressee [] Authorized agent

4. DATE OF DELIVERY POSTMARK
MAY 19 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

- 1. The following service is requested (check one).
[] Show to whom and date delivered.
[] Show to whom, date, and address of delivery.
[] RESTRICTED DELIVERY Show to whom and date delivered.
[] RESTRICTED DELIVERY Show to whom, date, and address of delivery.

2. ARTICLE ADDRESSED TO:
L. E. CLARK
33 FIELDWAY DR
JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
REGISTERED NO. CERTIFIED NO. INSURED NO.
689659

(Always obtain signature of addressee or agent)
I have received the article described above.
SIGNATURE [] Addressee [] Authorized agent

4. DATE OF DELIVERY POSTMARK
4/22/78 APR 22 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

- 1. The following service is requested (check one).
[X] Show to whom and date delivered.
[] Show to whom, date, and address of delivery.
[] RESTRICTED DELIVERY Show to whom and date delivered.
[] RESTRICTED DELIVERY Show to whom, date, and address of delivery.

2. ARTICLE ADDRESSED TO:
FRANK M. ANDREWS
115 BURNET RIDGE
THOMAS, KENTUCKY 41075

3. ARTICLE DESCRIPTION:
REGISTERED NO. CERTIFIED NO. INSURED NO.
744819

(Always obtain signature of addressee or agent)
I have received the article described above.
SIGNATURE [] Addressee [] Authorized agent

4. DATE OF DELIVERY POSTMARK
5-19-78

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS

PS Form 3811, Apr. 1977 RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered¢
 Show to whom, date, and address of delivery¢
 RESTRICTED DELIVERY Show to whom and date delivered¢
 RESTRICTED DELIVERY Show to whom, date, and address of delivery . \$ _____ (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 JAMESTROUTT
 22 BANAYA ROAD
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744822

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY 5/18/78 POSTMARK JENSEN BEACH MAY 18 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS CR

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered¢
 Show to whom, date, and address of delivery¢
 RESTRICTED DELIVERY Show to whom and date delivered¢
 RESTRICTED DELIVERY Show to whom, date, and address of delivery . \$ _____ (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 S.T. MCGRAW
 2982 S.E. FAIRWAY WEST
 STUART FL 33484

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744824

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY 5/18/78 POSTMARK JENSEN BEACH MAY 18 1978 USED

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS CR

PS Form 3811, Apr. 1977 RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered¢
 Show to whom, date, and address of delivery¢
 RESTRICTED DELIVERY Show to whom and date delivered¢
 RESTRICTED DELIVERY Show to whom, date, and address of delivery . \$ _____ (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 EDMUND D. KEEFE
 29 FIELDWAY DRIVE
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744818 1

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY 5/18/78 POSTMARK JENSEN BEACH MAY 18 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS CR

PS Form 3811, Apr. 1977 RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered¢
 Show to whom, date, and address of delivery¢
 RESTRICTED DELIVERY Show to whom and date delivered¢
 RESTRICTED DELIVERY Show to whom, date, and address of delivery . \$ _____ (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 L. E. CLARK
 33 FIELDWAY DR
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744825

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY 5/18/78 POSTMARK JENSEN BEACH MAY 18 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS CR

PS Form 3811, Apr. 1977
RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered ¢
 Show to whom, date, and address of delivery ¢
 RESTRICTED DELIVERY Show to whom and date delivered ¢
 RESTRICTED DELIVERY Show to whom, date, and address of delivery . \$ _____ (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 RONALD BECK
 2865 GLENDALE DR
 FAIRFAX VA 22031

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744817

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
 J. Beck

4. DATE OF DELIVERY 5-20-78 POSTMARK [Stamp]

5. ADDRESS (Complete only if requested)

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered ¢
 Show to whom, date, and address of delivery ¢
 RESTRICTED DELIVERY Show to whom and date delivered ¢
 RESTRICTED DELIVERY Show to whom, date, and address of delivery . \$ _____ (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 IRVING STUART INC
 1830 PALM BEACH AVE
 STUART FL 33494

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744826

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
 Brook Williams

4. DATE OF DELIVERY 5/18/78 POSTMARK [Stamp]

5. ADDRESS (Complete only if requested)

PS Form 3811, Apr. 1977
RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

1. The following service is requested (check one).
 Show to whom and date delivered ¢
 Show to whom, date, and address of delivery ¢
 RESTRICTED DELIVERY Show to whom and date delivered ¢
 RESTRICTED DELIVERY Show to whom, date, and address of delivery . \$ _____ (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 JULIAN GEORGE
 6 GUM BUSH WAY
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744816

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
 Julian George

4. DATE OF DELIVERY MAY 26 1978 POSTMARK [Stamp]

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS CR

● SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

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 Show to whom, date, and address of delivery ¢
 RESTRICTED DELIVERY Show to whom and date delivered ¢
 RESTRICTED DELIVERY Show to whom, date, and address of delivery . \$ _____ (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 ERIC ANDERSON
 251 COE ROAD
 CHANDLER FL 33414

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744815

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
 Eric Anderson

4. DATE OF DELIVERY 5-19 POSTMARK [Stamp]

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS 2051

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

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 RESTRICTED DELIVERY Show to whom and date delivered ¢
 RESTRICTED DELIVERY Show to whom, date, and address of delivery . \$ _____ (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 IVAN M BERSON
 RTE 1 OVERLOOK DRIVE
 CADILLAC MICH. 49601

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744828

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY POSTMARK
 5-19-78

5. ADDRESS (Complete only if requested)

PS Form 3811, Apr. 1977 RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

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 RESTRICTED DELIVERY Show to whom, date, and address of delivery . \$ _____ (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 SEAN PARANT
 NO. RIVER RD. INDIANOCIE
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744827

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY POSTMARK
 5/18/78

5. ADDRESS (Complete only if requested)

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

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 RESTRICTED DELIVERY Show to whom and date delivered ¢
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2. ARTICLE ADDRESSED TO:
 GERARD GREENE
 30 FIELDWAY DR
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744829

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY POSTMARK
 5/18/78

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS
 CR

PS Form 3811, Apr. 1977 RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

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2. ARTICLE ADDRESSED TO:
 W.T. WALKER
 30 FIELDWAY DR
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744830

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent

4. DATE OF DELIVERY POSTMARK
 5/18/78

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS
 CR

PS Form 3811, Apr. 1977
RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

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 RESTRICTED DELIVERY
 RESTRICTED DELIVERY
 Show to whom and date delivered \$
 RESTRICTED DELIVERY
 Show to whom, date, and address of delivery \$
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 JOHN WILLIAMS
 36 FIELDWAY DR.
 JENSEN BEACH FLA 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744814

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
John Williams

4. DATE OF DELIVERY: 5/18/78
 POSTMARK: JENSEN BEACH, FLA. MAY 18 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE:

PS Form 3811, Apr. 1977
RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

SENDER: Complete items 1, 2, and 3. Add your address in the "RETURN TO" space on reverse.

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 Show to whom and date delivered \$
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 RESTRICTED DELIVERY
 RESTRICTED DELIVERY
 Show to whom and date delivered \$
 RESTRICTED DELIVERY
 Show to whom, date, and address of delivery \$
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 J. F. GREENLEES
 28 FIELDWAY DRIVE
 JENSEN BEACH FLA 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 904798

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
J. F. Greenlees

4. DATE OF DELIVERY: 5-18-78
 POSTMARK: JENSEN BEACH, FLA. MAY 18 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS

PS Form 3811, Apr. 1977
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 RESTRICTED DELIVERY
 RESTRICTED DELIVERY
 Show to whom and date delivered \$
 RESTRICTED DELIVERY
 Show to whom, date, and address of delivery \$
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 L. TADRIMA
 26 FIELDWAY DR.
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 744831

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
Marion Thormine

4. DATE OF DELIVERY: 5/18/78
 POSTMARK: JENSEN BEACH, FLA. MAY 18 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS
 CR

PS Form 3811, Apr. 1977
RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

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 Show to whom and date delivered \$
 RESTRICTED DELIVERY
 Show to whom, date, and address of delivery \$
 (CONSULT POSTMASTER FOR FEES)

2. ARTICLE ADDRESSED TO:
 JOHN WILLIAMS
 36 FIELDWAY DRIVE
 JENSEN BEACH FL 33457

3. ARTICLE DESCRIPTION:
 REGISTERED NO. CERTIFIED NO. INSURED NO.
 689650

(Always obtain signature of addressee or agent)

I have received the article described above.
 SIGNATURE Addressee Authorized agent
John Williams

4. DATE OF DELIVERY: 4/22/78
 POSTMARK: JENSEN BEACH, FLA. APR 22 1978

5. ADDRESS (Complete only if requested)

6. UNABLE TO DELIVER BECAUSE: CLERK'S INITIALS
 19

TREE

ok



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Bruce Steek/Ann Address 32 Fieldway Dr Phone 772-287-3851
Contractor Lawn, Tree Landscaping by Tristan Inc Address 2303 P. Rd. Phone 335-9274
No. of Trees: REMOVE 1 Species: Queen Palm Pt St Lucie FL
No. of Trees: RELOCATE _____ Species: _____
No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) Dangerously close to house - can cause major damage in storm to house/roof

Signature of Property Owner Ann Steek Date 8/1/13

Approved by Building Inspector: _____ Date _____ Fee: _____

NOTES: TREE IS A HEALTHY SABAL PALM PROTECTED SPECIES - REQUIRES CONDEMNATION BY CERTIFIED ARBORIST

SKETCH:

