

**34 Fieldway Drive**



633

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SFR

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☒ BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.



## TOWN OF SEWALL'S POINT, FLORIDA

## APPLICATION FOR BUILDING PERMIT

OCT 14 1976

Permit No. #633

Date 10/18/76

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of property Deed required for new home construction.

GERARD M. + VERONICA GREENE

(Will advise) (in Transit)

Owner Gerry Greene Present Address \_\_\_\_\_ Ph \_\_\_\_\_General Contractor Paul Davis Systems Address 10800 N. Military Trail Ph 622-6200  
Palm Beach GardensWhere licensed State of Florida License No. CR005391

Plumbing Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Electrical Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Street building will front on 34 Fieldway DriveSubdivision Indalucie Lot No. 10 Area 1Building area, inside walls (excluding garage, carport, porches) Sq ft 2,691Other Construction (Pools, additions, etc.) None RESIDENCE ONLYContract Price (excluding land, rugs, appliances, landscaping) \$ 50,000

Total cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked 250  
20  
270

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Paul W. Palmer - Paul Davis Systems Inc.  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Veronica Greene  
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

## TOWN RECORD

Date submitted \_\_\_\_\_

Date approved 10/15/76 Charles A. Dwyer

Certificate of Occupancy issued 10/15/76 Joe R. Rumba Date \_\_\_\_\_

c/o 2/4/77

#633



BUILDING PERMIT REQUIREMENTS

Permit No. 633

Date Issued 10/18/76

REQUEST FOR PERMIT TO BUILD: RESIDENCE ONLY

COPY OF DEED: O.R. Book 407 Page 677

THREE COPIES PLANS Received 10/14/76 - Revised & rec'd 10/15/76

CERTIFIED BY Bessemer - W J Field Date 10/5/76  
(If necessary re deed restrictions)

COUNTY SEWAGE DISPOSAL PERMIT # HD 76-562

90 request - 10/14/76

#633  
GREENE



BESSEMER PROPERTIES

A DIVISION OF

BESSEMER SECURITIES CORPORATION

249 ROYAL PALM WAY

PALM BEACH, FLORIDA 33480

October 5, 1976

Mr. and Mrs. Gerry Greene  
Fieldway Drive  
Sewall's Point  
Jensen Beach, Florida 33457

Re: Lot 10, Block 1, Indialucie

Dear Mr. and Mrs. Greene:

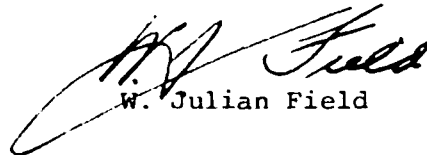
I am returning herewith plans for a proposed residence for you to be located on Lot 10, Block 1, Indialucie. These plans are shown as sheets 1 through 5 prepared by Richard Wensing, Architect.

In approving these plans it is understood that the residence contains a floor area of not less than 2,000 square feet, not including the area of porches unless roofed and closed in on three sides, carports or outbuildings and shall cost not less than \$25,000. It is also understood that you will comply with the Zoning Code and Ordinances of the Town of Sewall's Point.

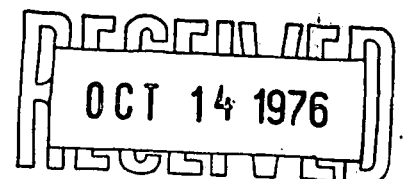
It is also understood that the plans are corrected to show concrete tile for the roof in lieu of asphalt shingles. This change has been initialed by Mr. Jack W. Palmer.

Will you please forward us one set of plans reflecting these changes so that we can keep a set in our file.

Sincerely yours,

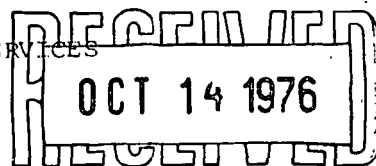
  
W. Julian Field

WJF:ms  
Enclosures





DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES  
DIVISION OF HEALTH  
Application and Permit  
of  
Individual Sewage Disposal Facilities



Section I - Instructions:

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call \_\_\_\_\_ and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.) Field Way Drive  
Lot 10 Block 1 Subdivision India-Lucie  
Date Recorded PRIOR TO 72 Directions to Job Enter Subdivision off of Indian River Drive - turn R onto Field Way Drive- 3rd Lot from the end - R side
2. Owner or Builder Paul Davis Systems (305-622-6200)  
P.O. Address 10800 North Military Trail - Plam Beach Gardens, Fla.
3. Specifications

Tank \_\_\_\_\_ Drainfield \_\_\_\_\_  
Gals. \_\_\_\_\_ ft. of 6" clay tile  
or 5" perforated  
plastic drain in a  
3' trench or  
900 Gals. 275 ft. of 4" clay drain  
or 4" perforated  
plastic drain in an  
18" trench

Scale 1" = 50'

(Rear)

4. House to be constructed:  
Check one: \_\_\_\_\_ FHA  
\_\_\_\_\_ VA \_\_\_\_\_ Conventional

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

(Owner)

Applicant: Paul Davis Systems/Mr. Green

Please Print

Signature: Alexander H. Fraser, P.E. Date: October 8, 1976

SEE ENGINEER'S REPORT

(Front)

(Name of Street or State Road)

\*\*\*\*\* DO NOT WRITE BELOW THIS LINE \*\*\*\*\*

Section III - Application Approval & Construction Authorization

Installation subject to following special conditions: Trenches only

The above signed application has been found to be in compliance with Chapter 17-13, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By: Russell H. Miller R.S. County Health Dept. Martin Date 10/14/76

Section IV - Final Construction Approval

Construction of installation approved: \_\_\_\_\_ Yes \_\_\_\_\_ No

Date: \_\_\_\_\_ By: \_\_\_\_\_

FHA No. \_\_\_\_\_ VA No. \_\_\_\_\_

#633



DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES  
DIVISION OF HEALTH  
Application and Permit  
of  
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Please Print

Signature: by Alexander H. Fraser, P.E. Date: October 8, 1976

SEE ENGINEER'S REPORT

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By: Russell A. Miller, P.E. County Health Dept. Martin Date 10/14/26

Section IV - Final Construction Approval

Construction of installation approved: \_\_\_\_\_ Yes \_\_\_\_\_ No

Date: \_\_\_\_\_ By: \_\_\_\_\_

FHA No. \_\_\_\_\_ VA No. \_\_\_\_\_



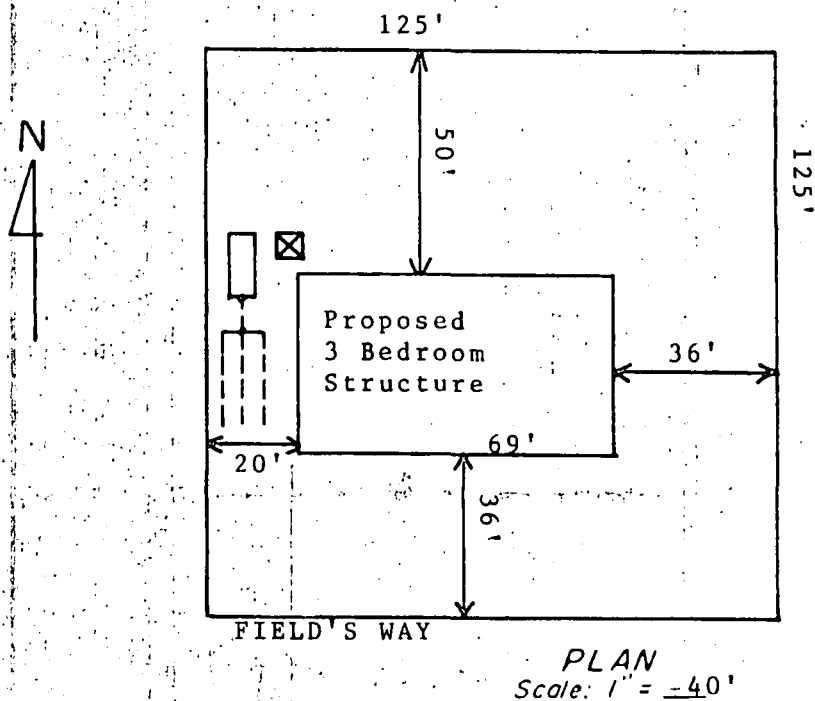
# ENGINEER'S REPORT

## INDIVIDUAL SEWAGE DISPOSAL FACILITIES DATA SHEET

(Owner)

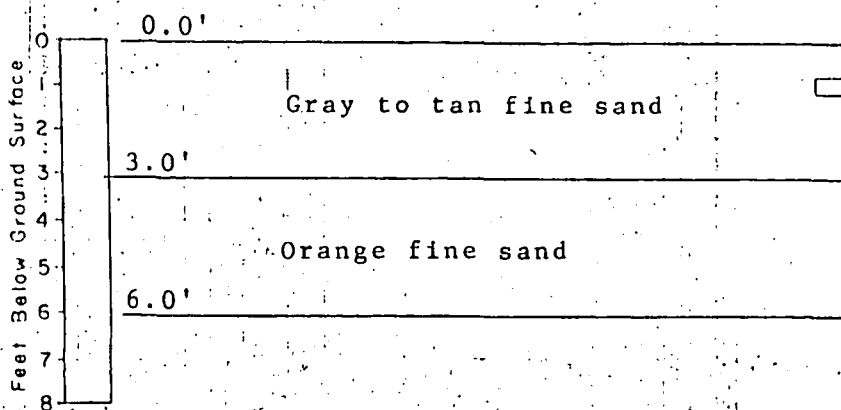
Location: Field Way Drive Applicant: Paul Davis Systems/Mr. Green  
India Lucie Subdivision County: MARTIN

**NOTE:** This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.



Plot plan must show all data required in IOD-603 2(a) and all other pertinent data.

### SOIL DATA



### LEGEND

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

### SOIL BORING LOG

Soil Identification: CLASS I&II GROUP SP  
 Soil Characteristics Fine Sand

Percolation Rate 1 min/inch

Water Table Depth Below 6.0'

Water Table Depth During Wet Season Below 3.0'

Compacted Fill Of 0.0' Req'd

Compacted Fill Checked By: \_\_\_\_\_

Date \_\_\_\_\_

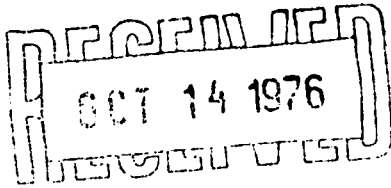
CERTIFIED BY: Alexander H. Fraser, P.E.

FLORIDA PROFESSIONAL No. 16178

Date 10-8-76 Job No. 13188

Sheet \_\_\_\_\_ of \_\_\_\_\_





TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 10/14/76

This is to request that a Certificate of Approval for Occupancy be issued to PAUL DAVIS SYSTEMS INC.

For property built under Permit No. 633 Dated October 18, 1976  
when completed in conformance with the Approved Plans.

Jack W. Thomas  
Signed PAUL DAVIS SYSTEMS, INC.

\*\*\*\*\*

RECORD OF INSPECTIONS

Item	Date	Approved by
Footings & slabs	10/26/76	11/2/76 Charles Duryea
Rough plumbing	10/30/76	"
Perimeter beam	11/5/76	"
Rough electric	12/13/76	"
Close in	12/13/76	"
Final plumbing	2/7/77	"
Final electric	2/4/77	"

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Charles Duryea 2/4/77 date

Approved by Town Commission Joe Foster 2/4/77 date

Utilities notified 8:16 a.m. 2/4/77 date

Original Copy sent to Paul Davis Systems, Inc. 10800 N. Military Trail  
Palm Beach Gardens  
(Keep carbon copy for Town files)

#633



TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 633

This is to request that a Certificate of Approval for  
Occupancy be issued to Paul Green

For property built under Permit No. 633 Dated Druid Station

when completed in conformance with the Approved Plans.

Signed \_\_\_\_\_

\*\*\*\*\*

RECORD OF INSPECTIONS

Item	Date	Approved by
<u>Quarry - 10-20-76</u>	<u>11/2/76</u>	<u>SLAB</u> ✓
Footings		
Rough plumbing	<u>10/30/76</u>	✓
Perimeter beam	<u>11/5/76</u>	✓
Rough electric	<u>12/13/76</u>	✓
Close in		
Final plumbing	<u>2/4/77</u>	✓
Final electric		

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Charles (Jensen) 2/4/77 date

Approved by Town Commission Joe Rouben 2/4/77 date

Utilities notified 2/4/77 Joe Rouben date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)



1397

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Porch

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☒ BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.



#

Rec'd 9/9/81

RECEIVED SEP 8 1981

TOWN OF SEWALL'S POINT FLORIDA

Permit No.

1397

Date

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner GERARD GREENE Present address 34 Fieldway DrPhone 283-2489Contractor Reller Const. Co. Address Box 113Phone 286-2557 Palm City Fla.Where licensed STATE OF FLA. License number CRC-011665Electrical contractor Port St. Louis Elec License number 102Plumbing contractor South Palm Elec License number 49-110270Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: ADDITION OF A SCREENED POOL

State the street address at which the proposed structure will be built:

34 Fieldway DrSubdivision INDIAN LUCYLot No. 10 Block 1Contract price \$ 15,000Cost of Permit \$ 95.00Plans approved as submitted ☒

Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor

Charles Keller

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner

Veronica Greene

TOWN RECORD

Date submitted

Approved:

J. Maggusca  
Building Inspector9/10/81  
Date

Approved:

G. E. Struble  
Commissioner9/15/81  
Date

Final Approval given:

Date

Certificate of Occupancy issued

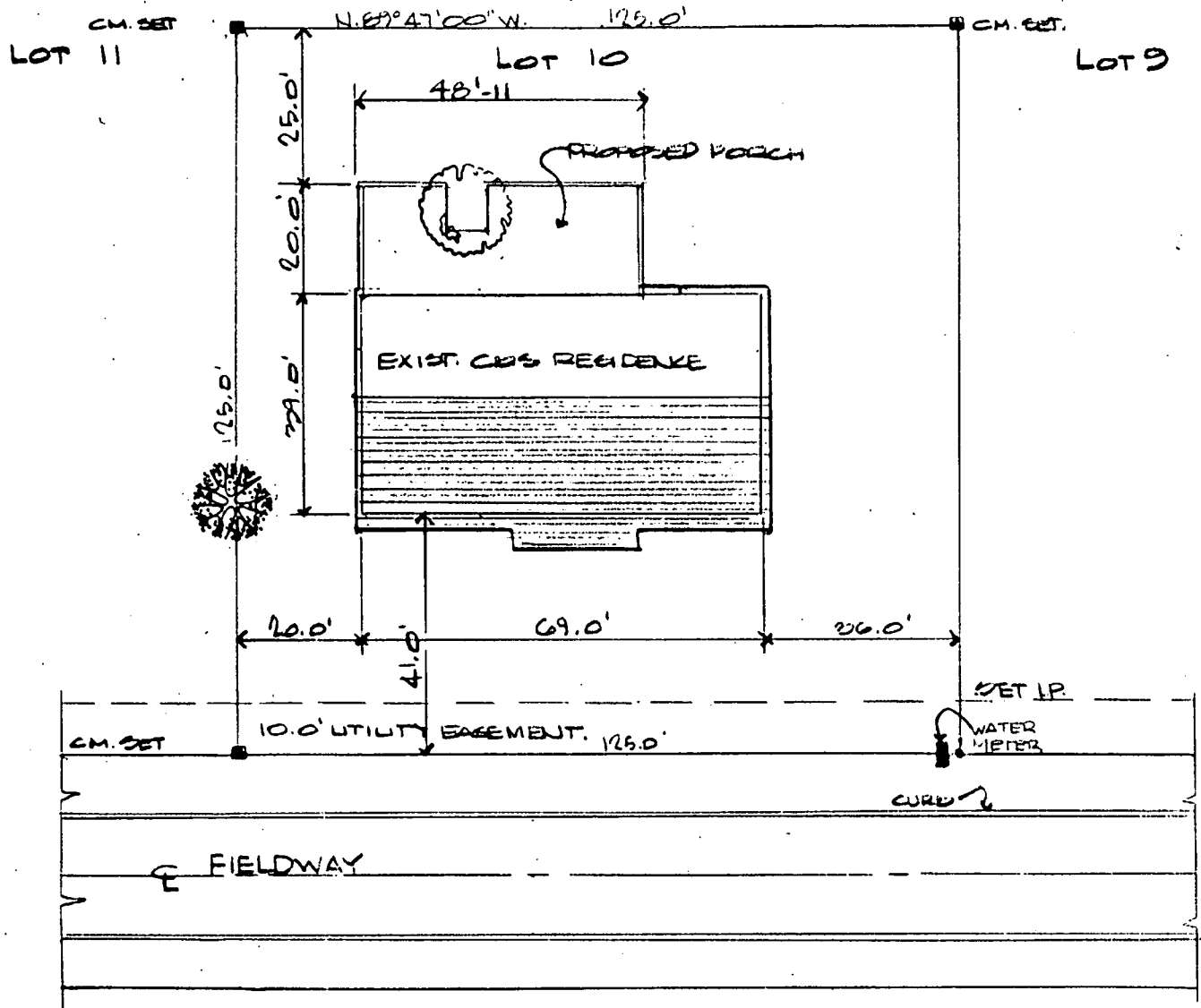
Date

SP/1-79

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

# 1397





# PLOT PLAN

**LEGAL DESCRIPTION**  
 TOWN OF SEWALLS POINT  
 LOT 10, BLK 1, INDIALUCIE, PLAT BOOK 4  
 PG 85, PUBLIC RECORDS OF MARTIN CO., FLA.  
 SURVEY DONE BY LEEBROOK P.E. RLS  
 ENGINEERING & SURVEYING 10/10/76

RECEIVED SEP 8 1981

A PLOT PLAN FOR MR. & MRS GREENE		
<b>RELLER CONST. INC.</b>		
DATE: AUG 10, 1981	SCALE: 1" = 200.0'	SHEET NO 1P OF 1



TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 11/12/81  
G. Greene

This is to request that a Certificate of Approval for Occupancy be issued to  
For property built under Permit No. 1397 Dated 9/11/81 when completed in  
conformance with the Approved Plans.

Signed \_\_\_\_\_

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	<u>9/25/81</u>	
Rough plumbing		
Slab	<u>9/25/81</u>	
Perimeter beam		
Close-in, roof and rough electric	<u>Hurricane Clep 10/20/81</u>	
Final Plumbing	<u>Final-ins OK.</u>	
Final Electric		

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector J. Amazzucra date 11/12/81

Approved by Building Commissioner \_\_\_\_\_ date \_\_\_\_\_

Utilities notified Had Reg date \_\_\_\_\_

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)



3383

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Re Roof

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☐ BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.



TAX FOLIO NO. 35-37-41-002-001-001007DATE 2-24-93

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

3338  
This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner George Friedlander.Present Address 34 Fieldway Dr.

Phone \_\_\_\_\_

Sewall's PointContractor Heaton Enterprises, Inc.Address P.O. Box 1143 Palm City FLPhone 287-0116.Where licensed StateLicense Number CCC036970Electrical Contractor -License Number -Plumbing Contractor -License Number -Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Reroof:34 Fieldway Dr.

State the street address at which the proposed structure will be built:

34 Fieldway Dr.Subdivision Indian LucieLot Number 7Block Number 1Contract Price \$ 7,000.<sup>00</sup>Cost of Permit \$ 100.<sup>00</sup>Plans approved as submitted NA

Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector of Town Commissioner "Red-Tagging" the construction project.

Contractor Paul Heaton, Pres

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner x George S. Friedlander

TOWN RECORD

Date submitted 2/25/93Approved: Dale Brown 2/25/93

Building Inspector

Date

Approved: [Signature] 2/25/93

Commissioner

Date

Final Approval given: 2/25/93

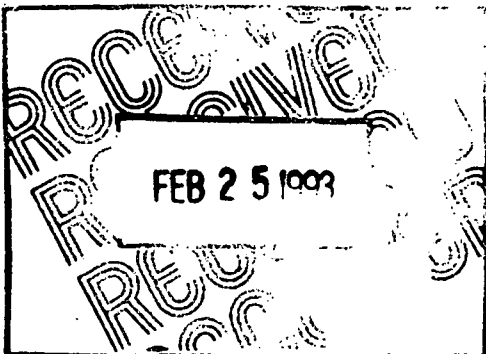
Date

Certificate of Occupancy issued(if applicable) \_\_\_\_\_

Date

SP1282

Permit No. \_\_\_\_\_





6408

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DRIVEWAY PAU

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☐ BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.



MASTER PERMIT NO. \_\_\_\_\_

## TOWN OF SEWALL'S POINT

Date 9/2/03

BUILDING PERMIT NO. 6408

Building to be erected for LYONS

Type of Permit PAVERS

Applied for by CHITWOOD COMPANY

(Contractor) 17,864 x 9.60/1000 = 171.49

Subdivision INDIANWICH Lot 10 Block 1

Radon Fee \_\_\_\_\_

Address 34 FIELDWAY DRIVE

Impact Fee \_\_\_\_\_

Type of structure SFR DRIVENWAY

A/C Fee \_\_\_\_\_

Parcel Control Number:

Electrical Fee \_\_\_\_\_

353741002 001 0010070000

Plumbing Fee \_\_\_\_\_

Amount Paid 171.49 Check # 354 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Roofing Fee \_\_\_\_\_

Total Construction Cost \$17,864.00

TOTAL Fees 171.49

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- ☐ BUILDING
- ☐ PLUMBING
- ☐ DOCK/BOAT LIFT
- ☐ SCREEN ENCLOSURE
- ☐ FILL
- ☐ TREE REMOVAL

- ☐ ELECTRICAL
- ☐ ROOFING
- ☐ DEMOLITION
- ☐ TEMPORARY STRUCTURE
- ☐ HURRICANE SHUTTERS
- ☐ STEMWALL

- ☐ MECHANICAL
- ☐ POOL/SPA/DECK
- ☐ FENCE
- ☐ GAS
- ☐ RENOVATION
- ☐ ADDITION
- ☒ PAVEMENT DRIVE

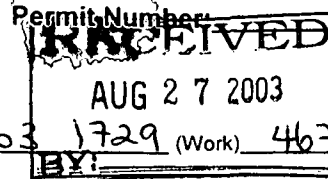
## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_



Town of Sewall's Point  
BUILDING PERMIT APPLICATION



OWNER/TITLEHOLDER NAME: John & Alice Lyons Phone (Home) 263 1729 (Work) 467 2075

Job Site Address: 34 FIELDWAY DRIVE City: STUART State: FL Zip: 34996

Legal Description of Property: LOT 10 BLOCK 1 Parcel Number: 3537410020010010070000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: saunder Zip: \_\_\_\_\_

Description of Work To Be Done: REPLACE EXISTING ASPHALT DRIVEWAY WITH PAVERS

WILL OWNER BE THE CONTRACTOR?: Yes ☐ No ☒ (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company Name: CHITWOOD & COMPANY Phone Number: 220 1767

Street: 545 S.E. CENTRAL PARKWAY City: STUART State: FL Zip: 34994

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: SFO1859

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 17864.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof: \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of: MARTIN

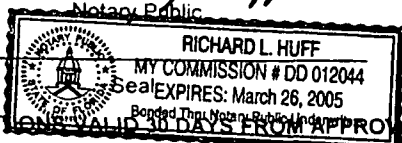
This the 11<sup>TH</sup> day of AUGUST, 2003

by JOHN LYONS who is personally

known to me or produced

as identification. Richard L. Huff

My Commission Expires:



CONTRACTOR SIGNATURE (required)

On State of Florida, County of: MARTIN

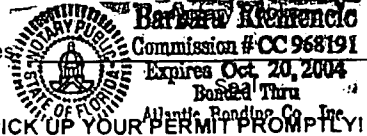
This the 6<sup>th</sup> day of August, 2003

by D. Chitwood who is personally

known to me or produced personally known

As identification. Barbara Klemmer

My Commission Expires:



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # 353741 002 001 001 007 0000

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

LOT 10, BLOCK 1 - 34 FIELDWAY DRIVE, SEWALL'S POINT, FL 34996

GENERAL DESCRIPTION OF IMPROVEMENT: REPLACE EXISTING ASPHALT DRIVEWAY WITH  
sandset PAVERS

OWNER: JOHN & ANICE LYONS

ADDRESS: 34 FIELDWAY DRIVE, STUART, FL 34996

PHONE #: 263 1729

FAX #: 546 4598 (WK)

INTEREST IN PROPERTY: \_\_\_\_\_

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

CONTRACTOR: CHITWOOD & COMPANY

ADDRESS: 545 S.E. CENTRAL PARKWAY, STUART, FL 34994

PHONE #: 220 1767

FAX #: 781 1357

STATE OF FLORIDA  
MARTIN COUNTY

SURETY COMPANY (IF ANY) \_\_\_\_\_

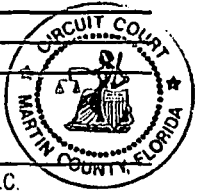
ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

THIS IS TO CERTIFY THAT THE  
FAX # FOREGOING PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.

Marsha Ewing Clerk  
D.C.



LENDER/MORTGAGE COMPANY \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

FAX # DATE 8/12/03

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_

OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S

NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

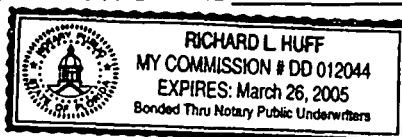
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

John M. Lyons  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 11<sup>TH</sup> DAY OF August 2003  
BY John Lyons

PERSONALLY KNOWN ✓  
OR PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_

Richard L. Huff  
NOTARY SIGNATURE





$$125 \times 140 = 17500^d$$

$$\text{TOTAL LOT} \times 40\%$$

$$\underline{7000^d}$$

EXISTING DRIVE  
TO BE REPLACED  
SAND SET PAVES = 3100<sup>d</sup>

$$\begin{array}{r} 39 \times 69.04 \quad 2692.56 \\ 8 \times 3 \quad 24 \\ 20 \times 24.5 \quad 490 \\ 10 \times 10 \quad 100 \\ 11.5 \times 17 \quad 195.5 \\ \hline 3502.06 \end{array}$$

$$40\% = 7000^d$$

$$\text{HOUSE} = -3502.06$$

$$\text{DRIVE} = -3100$$

$$\hline 397.94^d \text{ REMAIN}$$



## ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID SB  
CHITM-1DATE (MM/DD/YYYY)  
03/06/03

## PRODUCER

Stuart Insurance, Inc.  
3070 S W Mapp  
Palm City FL 34990  
Phone: 772-286-4334 Fax: 772-286-9389

## INSURED

Marvin Chitwood dba Chitwood &  
Company  
545 SE Central Parkway  
Stuart FL 34994

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION  
ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE  
HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR  
ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

## INSURERS AFFORDING COVERAGE

NAIC #

INSURER A: Hanover Insurance Company

22292

INSURER B:

INSURER C:

INSURER D:

INSURER E:

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING  
ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR  
MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH  
POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L TR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	ODJ5741536	03/08/03	03/08/04	EACH OCCURRENCE	\$ 1,000,000
	DAMAGE TO RENTED PREMISES (Ea occurrence)				\$ 100,000	
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				MED EXP (Any one person)	\$ 10,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				PERSONAL & ADV INJURY	\$ 1,000,000
	Contractual				GENERAL AGGREGATE	\$ 2,000,000
	Liability				PRODUCTS - COMP/OP AGG	\$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:					
	POLICY <input checked="" type="checkbox"/> PRO- JECT <input type="checkbox"/> LOC					
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
	ANY AUTO				BODILY INJURY (Per person)	\$
	ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	HIRFD AUTOS					
	NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	ANY AUTO				OTHER THAN AUTO ONLY: EA ACC	\$
	EXCESS/UMBRELLA LIABILITY				AGG	\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				EACH OCCURRENCE	\$
	DEDUCTIBLE				AGGREGATE	\$
	RETENTION \$					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU- TORY LIMITS	OTH- ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
	If yes, describe under SPECIAL PROVISIONS below:				E.L. DISEASE - EA EMPLOYEE	\$
	OTHER				E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS  
Driveways Installation / State of Florida

## CERTIFICATE HOLDER

## CANCELLATION

TOWSP-1

Town of Sewalls Point  
1 South Sewalls Point Road  
Sewalls Point FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION  
DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN  
NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL  
IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR  
REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE



**Certificate of Insurance**

This certificate is issued as a matter of information only and confers no rights upon you the certificate holder. This certificate is not an insurance policy and does not amend, extend, or alter the coverage afforded by the policies listed below.

**Named Insured(s):**

Gevity HR, Inc and its wholly owned subsidiaries including Gevity HR, LP; Gevity HR IV, LP; Gevity HR IX, LP; Gevity HR X, LP

600 301 Boulevard West  
Bradenton, Florida 34205

**MARSH****Insurer Affording Coverage**

American Home Assurance Co.,  
Member of American International Group, Inc. (AIG)

**Coverages:**

The policy(ies) of insurance listed below have been issued to the insured named above for the policy period indicated. The insurance afforded by the policy(ies) described herein is subject to all the terms, exclusions and conditions of such policy(ies).

Type of Insurance	Certificate Exp. Date <input type="checkbox"/> Continuous <input type="checkbox"/> Extended <input checked="" type="checkbox"/> Policy Term	Policy Number	Limits
			Employers Liability
Workers' Compensation	1-1-2004	RMWC0977182 RMWC0977183 RMWC0977184 RMWC0977185 RMWC0977186	Bodily Injury By Accident \$ 1,000,000 Each Accident
			Bodily Injury By Disease \$ 1,000,000 Policy Limit
			Bodily Injury By Disease \$ 1,000,000 Each Person

**Other:****Employees Leased To:****Effective Date:** 1/1/03

9322 Chitwood & Company  
Marvin Chitwood DBA

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer.

\*If the certificate expiration date is continuous or extended term, you will be notified if coverage is terminated or reduced before the certificate expiration date. However, you will not be notified annually of the continuation of coverage.

**Notice of Cancellation:** Should any of the policies described herein be cancelled before the expiration date thereof, the insurer affording coverage will endeavor to mail 30 days written notice to the certificate holder named herein, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer affording coverage, its agents or representatives.

**Certificate Holder:****Michael C. Weiss**

Authorized Representative of Marsh USA Inc.

Town of Sewall Point  
1 S Sewalls Point Rd  
Stuart, FL 34996-6736

(866) 443-8489  
Phone

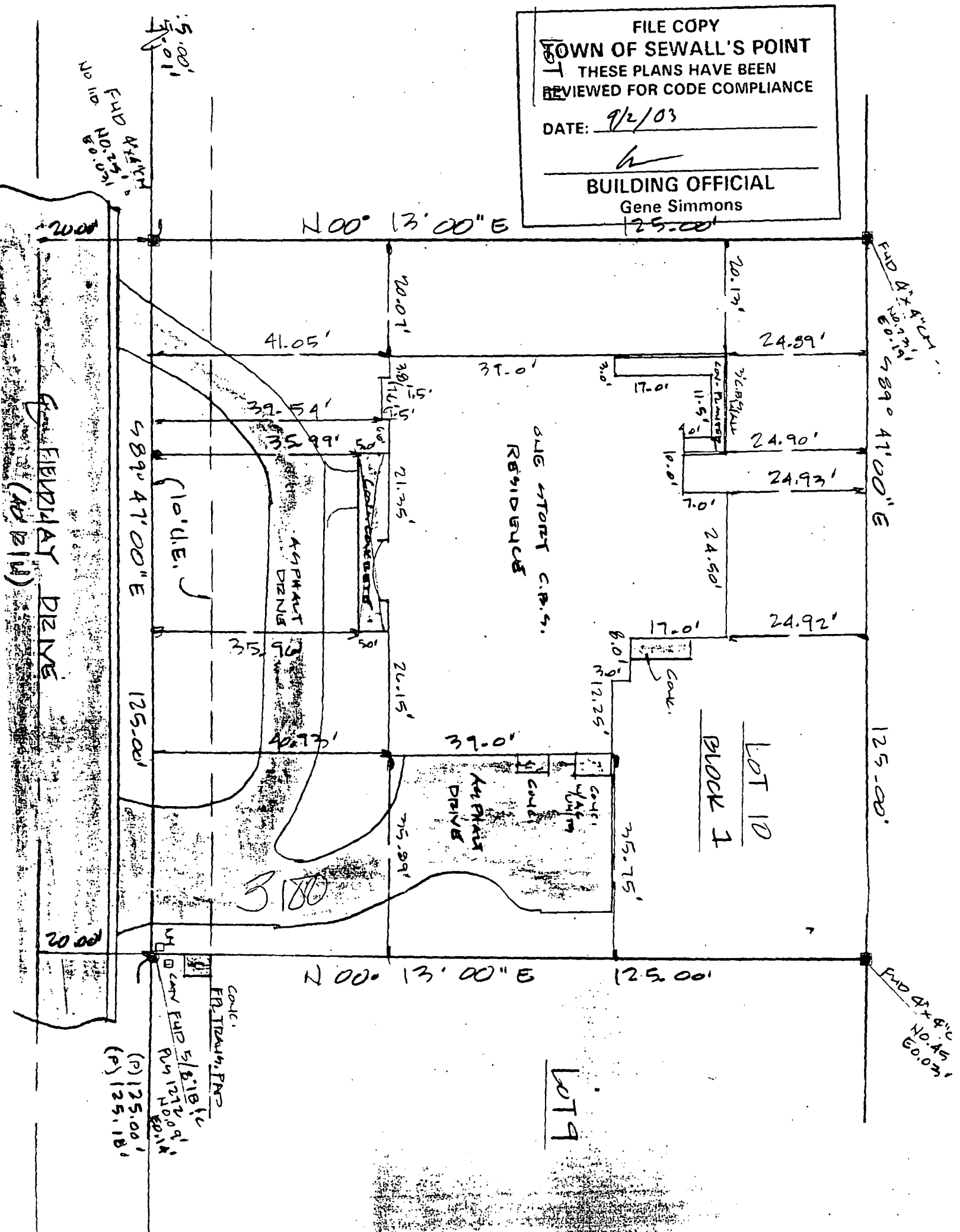
12/9/2002  
Date Issued



FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

DATE: 9/2/03

BUILDING OFFICIAL  
Gene Simmons





# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection: ☒ Mon ☐ Wed ☐ Fri 2/29, 20013 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
<del>1000</del>	BARSANTI	TREE	FAIL	ON SITE
	141 S. RIVER	NO TREE		INSPECTOR: PLG
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6408	LYONS	FINAL POWER	PASS	CLOSE
	34 FIELDWAY DR	DRIVE		FILE
	CHITWOOD			INSPECTOR: PLG
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6232	MOORE	COLG-BM	PASS	REAR SUB-
	5 OAK HILL WAY			FORBES
	AR MARTIN			INSPECTOR: PLG
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:

OTHER:



7524

Patio Pavers

☐ BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.



MASTER PERMIT NO. \_\_\_\_\_

## TOWN OF SEWALL'S POINT

Date 4/29/05

BUILDING PERMIT NO. 7524

Building to be erected for LYONS

Type of Permit Paver Patio

Applied for by CHITWOOD + CO.

(Contractor)

Building Fee 35.00

Subdivision INDIANWATER Lot 10 Block 1

Radon Fee \_\_\_\_\_

Address 34 FIELDWAY DRIVE

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:

Plumbing Fee \_\_\_\_\_

3537410020010010070000

Roofing Fee \_\_\_\_\_

Amount Paid \$35.00 Check # 4558 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 3000.00

TOTAL Fees 35.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- ☐ BUILDING
- ☐ PLUMBING
- ☐ DOCK/BOAT LIFT
- ☐ SCREEN ENCLOSURE
- ☐ FILL
- ☐ TREE REMOVAL

- ☐ ELECTRICAL
- ☐ ROOFING
- ☐ DEMOLITION
- ☐ TEMPORARY STRUCTURE
- ☐ HURRICANE SHUTTERS
- ☐ STEMWALL

- ☐ MECHANICAL
- ☐ POOL/SPA/DECK
- ☐ FENCE
- ☐ GAS
- ☐ RENOVATION
- ☐ ADDITION
- ☒ PATIO

## INSPECTIONS

UNDERGROUND PLUMBING \_\_\_\_\_

UNDERGROUND MECHANICAL \_\_\_\_\_

STEMWALL FOOTING \_\_\_\_\_

SLAB \_\_\_\_\_

ROOF SHEATHING \_\_\_\_\_

TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_

ROOF TIN TAG/METAL \_\_\_\_\_

PLUMBING ROUGH-IN \_\_\_\_\_

MECHANICAL ROUGH-IN \_\_\_\_\_

FRAMING \_\_\_\_\_

FINAL PLUMBING \_\_\_\_\_

FINAL MECHANICAL \_\_\_\_\_

FINAL ROOF \_\_\_\_\_

UNDERGROUND GAS \_\_\_\_\_

UNDERGROUND ELECTRICAL \_\_\_\_\_

FOOTING \_\_\_\_\_

TIE BEAM/COLUMNS \_\_\_\_\_

WALL SHEATHING \_\_\_\_\_

LATH \_\_\_\_\_

ROOF-IN-PROGRESS \_\_\_\_\_

ELECTRICAL ROUGH-IN \_\_\_\_\_

GAS ROUGH-IN \_\_\_\_\_

EARLY POWER RELEASE \_\_\_\_\_

FINAL ELECTRICAL \_\_\_\_\_

FINAL GAS \_\_\_\_\_

BUILDING FINAL \_\_\_\_\_



APR 15 2005

FY:

# **Town of Sewall's Point BUILDING PERMIT APPLICATION**

Date: 4/11/05 Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Lyons Phone (Day) 287 (Fax) 9297

Job Site Address: 34 FIELDWAY DRIVE City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) INDIAN LAGO LOT 10 Block 1 Parcel Number: 35-37-41-002-001-00100-70000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: 500/sq. FT. ~~TO RESTRUCTURE~~ AT BACK OF HOUSE

## **WILL OWNER BE THE CONTRACTOR?:**

YES ☐ NO ☒

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

## **COST AND VALUES:**

Estimated Cost of Construction or Improvements: \$ 3,000.00  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is Improvement cost 50% or more of Fair Market Value? YES ☐ NO ☐

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: CHITWOOD & COMPANY LLC Phone: (772) 220 1767 Fax: 781 1357

Street: 545 SE CENTRAL PARKWAY City: STUART State: FL Zip: 34994

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: SP01859

## **SUBCONTRACTOR INFORMATION:**

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, PANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

## **CODE EDITIONS IN EFFECT AT TIME OF APPLICATION:**

National Electrical Code: 2002

Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001

Florida Energy Code: 2001

Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

## **OWNER OR AGENT SIGNATURE (required)**

Alice Lyons

State of Florida, County of: MARTIN

This the 14 day of April, 2005

by ALICE LYONS who is personally

known to me or produced

as identification. Mary Vasilas

My Commission Expires: MY COMMISSION # DD 302586

EXPIRES: May 12, 2008

Bonded Thru Notary Public Underwriters

## **CONTRACTOR SIGNATURE (required)**

D. Chitwood

On State of Florida, County of: Martin

This the 12th day of April, 2005

by Dee Chitwood who is personally

known to me or produced

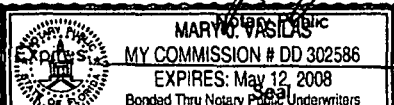
as identification. Carolyn King

My Commission Expires: Commission # DD303217

Expires: Mar 24, 2008

Bonded Thru

Atlas Bonding Co., Inc.



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT #

TAX FOLIO # 35-37-41-002-001-00100-70000

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 718, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE)

34 FIELDWAY DRIVE, SUITE R 34996 Indian Lake Lot 10 Block 1

GENERAL DESCRIPTION OF IMPROVEMENT 500/59 FT TURFSTONE AT BACK OF HOME

OWNER: Lyons, John & Alice

ADDRESS: 34 FIELDWAY DRIVE SUITE R 34996

PHONE #: 287 9297

FAX #:

CONTRACTOR: CHIDWELL & COMPANY, LLC

ADDRESS: 545 SE CENTRAL PARKWAY SUITE R 34994

PHONE #: 220 1767

FAX #: 781 1357

SURETY COMPANY (IF ANY)

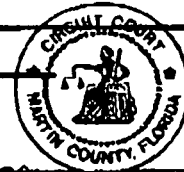
ADDRESS:

STATE OF FLORIDA  
MARTIN COUNTY

PHONE #

THIS IS TO CERTIFY THAT THE  
FAX FOREGOING PAGE IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK



BOND AMOUNT:

LENDER:

BY: LYONS

ADDRESS:

DATE: 4/8/05

PHONE #:

FAX #:

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 718.18(1)(a)(7), FLORIDA STATUTES:

NAME:

ADDRESS:

PHONE #:

FAX #:

IN ADDITION TO HIMSELF, OWNER DESIGNATES

OF TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 718.18(1)(b), FLORIDA STATUTES.

PHONE #:

FAX #:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT:

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Alice Lyons  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 15 DAY OF April 2005 BY ALICE LYONS

PERSONALLY KNOWN

Mary Kavilac  
NOTARY SIGNATURE



/data/gmd/bzd/bldg/forms/Noc.aw

12/01/99

INSR # 1832498 OR BK 02005 PG 0923 RECD 04/21/2005 12:05:38 PM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK T Coeue (asst msp)



**Chitwood & Company**  
**545 S.E. Central Parkway**  
**Stuart, Fl 34994**  
 Office: (772) 220-1767  
 Fax: (772) 781-1357

## Fax Transmittal Form

To: Town of Sewall's Point  
 Name: Gene  
 CC:  
 Phone:  
 Fax: 2204765

From: Debra Chitwood  
 Date Sent: 4.19.05

Number of Pages: 2 plus cover  
 sheet

## Message:

RE: LYONS RESIDENCE

LOT SIZE 16,375/SQ.FT. X 40% = 6,550/SQ.FT.

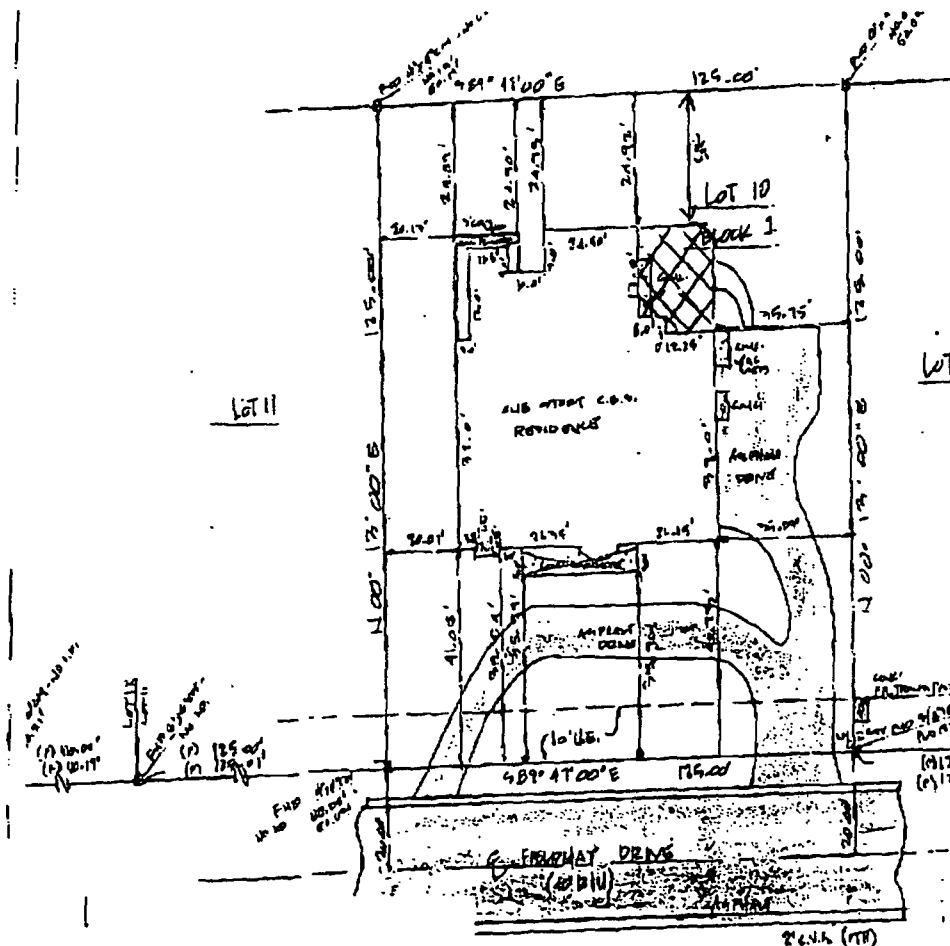
EXISTING DRIVEWAY	LESS	2,565/SQ.FT.	}	6,480/SQ.FT. = 393%
EXISTING HOUSE	LESS	3,485/SQ.FT.		
PROPOSED PAVING	LESS	400/SQ.FT.		
LEAVES		100/SQ.FT.		

FILE COPY  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE

DATE: 4/20/05

Gene Simmons  
 BUILDING OFFICIAL  
 Gene Simmons





LOCATION MAP

LEGAL DESCRIPTION

LG 10, BLOCK 1, INDIALUCIE, AS RECORDED  
 IN .AT BOOK 4, PAGE 85, PUBLIC RECORDS  
 OF MARTIN COUNTY, FLORIDA

BOUNDARY SURVEY  
 PREPARED FOR: LYONS

STEPHEN BROWN, INC.  
 SURVEYORS & DESIGNERS - LANDPLANNERS  
 4499 INDEPENDENCE BLVD. SUITE 100  
 SEASIDE, FLORIDA 32081-4994  
 (772) 220-4765

STONE  
 NEEDS  
 PREVIOUS/  
 IMPROVEMENTS  
 CALCULATIONS  
 PROPER  
 CERTIF

NOT VALID WITHOUT THE SIGNATURE AND THE  
 ORIGINAL RAISED SEAL OF A FLORIDA LICENSED  
 SURVEYOR AND MAPPER.

STEPHEN J. BROWN INC.

STEPHEN J. BROWN, PROFESSIONAL SURVEYOR AND MAPPER  
 REGISTRATION NO. 4049, STATE OF FLORIDA

NOTES:

1. Survey of description furnished by Client.
2. Locals shown herein are not constructed for easements and/or rights-of-way of record.
3. All bearings are in the direction of survey and are relative to the centerline of the road shown as S 89° 47' 00" E.
4. Easements shown are relative to National Geodetic Vertical Datum of 1929, and based on bench mark.
5. There are no easements or encroachments, unless otherwise shown.
6. The National Flood Insurance Program designation as indicated on the FEMA Map No. 13005-01-0000, dated 12/04/02, locates the parcel in a Zone II, Flood Hazard Area; subject to any revision of interpolation factors associated with mapping of this area.
7. Underground facilities are shown and located unless shown.

Date of this survey:  
 4/23/03

DATE	4/23/03
SCALE	1" = 20'
NO.	2429-25-01
ONE	





## LEGAL DESCRIPTION

BOUNDARY SURVEY  
PREPARED FOR: LYONS

STEPHEN J. BROWN, INC.

**SURVEYORS • DESIGNERS • LANDPLANNERS**  
6619 EAST 5TH STREET; STUART, FLORIDA 34994

Date of field survey:  
4/23/03

1. Survey of description furnished by Client.  
2. Lands shown here were not abstracted for easements and/or rights-of-way of record.  
3. All bearings are related to the centerline of Fieldway Drive and all other bearings being relative thereto.  
4. Elevations shown are relative to National Geodetic Vertical Datum of 1929, and based on bench mark.  
5. There are no above and below ground encroachments, unless otherwise shown.  
6. The National Flood Insurance Program designation as indicated on the F.E.M.A. Map No. 95C0154 F, dated 10/04/02, locates the parcel in a X base flood elevation N/A feet; and interpolation factors associated with mapping of this area.  
7. Underground found utilities & utilities not located unless shown.

STEPHEN J. BROWN INC.

DRAWN  
S. J. B.  
CHECKED  
S. J. B.  
DATE  
4/23/03  
SCALE  
1" = 20'  
JOB NO.  
2429-25-01  
SHEET  
ONE  
OF ONE SHEETS



<b>PRODUCER</b> Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 772-286-4334 Fax: 772-286-9389	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
<b>INSURED</b>  Chitwood & Company LLC 545 SE Central Parkway Stuart FL 34994	<b>INSURERS AFFORDING COVERAGE</b> INSURER A: <b>Hartford</b> INSURER B: INSURER C: INSURER D: INSURER E:	<b>NAIC #</b> 22357

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.						
INSR ADD'L LTR INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <b>Contractual Liability</b> GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	21SBABN1326	09/16/04	09/16/05	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000	
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$	
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$	
	<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$	
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATU- TORY LIMITS <input type="checkbox"/> OTH- ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$	
	OTHER					

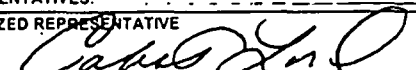
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Driveways Installation / State of Florida

## CERTIFICATE HOLDER

TOWSP-1  Town of Sewalls Point 1 South Sewalls Point Road Sewalls Point FL 34996
--

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
---



**Certificate of Insurance**

This certificate is issued as a matter of information only and confers no rights upon you the certificate holder. This certificate is not an insurance policy and does not amend, extend, or alter the coverage afforded by the policies listed below.

**Named Insured(s):**

Gevity HR, Inc and its wholly owned subsidiaries including but not limited to Gevity HR, LP; Gevity HR II, LP; Gevity HR III, LP; Gevity HR IV, LP; Gevity HR V, LP; Gevity HR VI, LP; Gevity HR VII, LP; Gevity HR VIII, LP; Gevity HR IX, LP; Gevity HR X, LP; Gevity HR XI, LLC; Gevity HR XII Corp.  
600 301 Boulevard West  
Bradenton, Florida 34205

**MARSH****Insurer Affording Coverage**

American Home Assurance Co.,  
Member of American International Group, Inc. (AIG)

**Coverages:**

The policy(ies) of insurance listed below have been issued to the insured named above for the policy period indicated. The insurance afforded by the policy(ies) described herein is subject to all the terms, exclusions and conditions of such policy(ies).

Type of Insurance	Certificate Exp. Date <input type="checkbox"/> Continuous <input type="checkbox"/> Extended <input checked="" type="checkbox"/> Policy Term	Policy Number	Limits	
			<b>Employers Liability</b>	
Workers' Compensation	1-1-2006	RMWC330470 RMWC330495	Bodily Injury By Accident \$ 2,000,000	Each Accident
			Bodily Injury By Disease \$ 2,000,000	Policy Limit
			Bodily Injury By Disease \$ 2,000,000	Each Person

**Other:****Employees Leased To:****Effective Date: 1/1/05**

9322 Chitwood & Company Llc  
Marvin Chitwood DBA

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer.

\*If the certificate expiration date is continuous or extended term, you will be notified if coverage is terminated or reduced before the certificate expiration date. However, you will not be notified annually of the continuation of coverage.

**Notice of Cancellation:** Should any of the policies described herein be cancelled before the expiration date thereof, the insurer affording coverage will endeavor to mail 30 days written notice to the certificate holder named herein, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer affording coverage, its agents or representatives.

**Certificate Holder:**

Town of Sewall Point  
1 S Sewalls Point Rd  
Stuart, FL 34996-6736



Michael C. Weiss  
Authorized Representative of Marsh USA Inc.

(866) 443-8489

Phone

1/1/2005

Date Issued



2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE  
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 495-2004

LICENSE 1992-529-143 SP01859  
PHONE 772-270-1767  
LOCATION 545 SE CENTRAL PKWY MA  
SIC NO 234110

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	.00	LIC. FEE \$	
\$	.00	PENALTY \$	
\$	.00	COL. FEE \$	
\$	.00	TRANSFER	25.00
TOTAL			



MARVIN (QUALIFIED)  
& COMPANY LLC  
CENTRAL PARKWAY  
ST 34994

RECEIPT OF PAYMENT

1992-529-143  
LARRY C. O'STEEN  
99 09/14/2004 0011 1000  
1992-529-143  
0230040914002447

IS HEREBY RECEIVED TO BE PAID TO THE COUNTY OF MARTIN FOR OCCUPATIONAL  
INTERLOCK BRICK PAVERS

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

21 SEPTEMBER 04  
DAY OF 2005  
AND ENDING SEPTEMBER 30

2004-2005

ST. LUCIE COUNTY OCCUPATIONAL LICENSE

BOB DAVIS, Tax Collector, P.O. Box 9013, Stuart, FL 34995

ROOMS

7299 INSTAL OF INTERLOCK BRICK PAVERS

545 SE Central Pkwy  
Out of County

Chitwood & Co LLC  
Chitwood, Marvin  
545 SE Central Pkwy  
Stuart, FL 34994

ACCOUNT 7299-00910347

EXPIRES SEP 30, 2005

RENEWAL  
NEW LICENSE  
TRANSFER  
ORIGINAL TAX 13.75

AMOUNT  
PENALTY  
COLLECTION COST  
TOTAL 13.75

COPY

Please see back for additional information

PAID 09/14/2004

99-20040914-072462

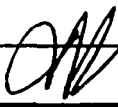

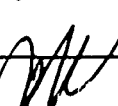


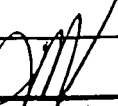
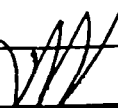
13.75



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection: ☐ Mon ☐ Wed ☒ Fri 6/17, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	TEVITT	Tree	PASS	
5	39 S. RIVER RD			INSPECTOR: 
7439	DIMITRIU	IN Prog Flat	FAIL	
6	6 BANYAN RD FEAZEL ROOFING			INSPECTOR: 
7623	SANDS	DRY-IN	FAIL	\$10 FEE
2	82 S. RIVER RD PACIFIC ROOFING			INSPECTOR: 
7522	ZECHIEL	FINAL ELEC	PASS	CLOSE
1	1 RIVERVIEW	PLUMB	PASS	"
	HOME SAFE	BATH Remodel	PASS	INSPECTOR: 
7112	PACKER	FINAL SCREEN	PASS	CLOSE
9	12 KNOWLES R TROPICAL SCREEN			INSPECTOR: 
7524	LYONS	FINAL DRIVEWAY	PASS	CLOSE
7	34 FIELDWAY DR CHITWOOD + CO			INSPECTOR: 
7520	MAREK	IN Prog ROOFING	PASS	NAILING ONLY
8	1 FIELDWAY FEAZEL ROOFING			INSPECTOR: 

OTHER: \_\_\_\_\_



7865

---

GARAGE DOOR

---

☐ BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.



MASTER PERMIT NO. \_\_\_\_\_

## TOWN OF SEWALL'S POINT

Date 11-3-05

BUILDING PERMIT NO. 7865

Building to be erected for LYONS

Type of Permit GARAGE DOOR

Applied for by TREASURE COAST GARAGE DOOR CONTRACTOR

Building Fee 35.00

Subdivision INDIAN WOOD Lot 10 Block 1

Radon Fee \_\_\_\_\_

Address 34 FIELDWAY DRIVE

Impact Fee \_\_\_\_\_

Type of structure SFL

A/C Fee \_\_\_\_\_

Parcel Control Number:

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

3537410020010010070000

Roofing Fee \_\_\_\_\_

Amount Paid 35.00 Check # 9372 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 1367.00

TOTAL Fees 35.00

Signed Mark Wagner  
Applicant

Signed Gene Simmons  
Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL          |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK       |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE               |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS                 |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION          |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input checked="" type="checkbox"/> ADDITION |
|   |  | <u>X GARAGE DOOR</u>                         |

## INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____



Date: 10-6-05

RECEIVED  
TOWN OF SEWALL'S POINT

Permit Number: \_\_\_\_\_

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

OWNER/TITLEHOLDER NAME: LYONS, John & Alice Phone (Day) 283-0090 (Fax) \_\_\_\_\_

Job Site Address: 34 Fieldway Drive City: SEWALL'S POINT State: FL Zip: 34996

Legal Description of Property: INDIA LUCIE, LOT 10 BLK 1 Parcel Number: 35-37-41-007

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: REPLACE OVERHEAD GARAGE DOOR

WILL OWNER BE THE CONTRACTOR?: Yes ☐ No ☒ (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: TREASURE COAST GARAGE DOORS, INC. Phone: 879-0457 Fax: 879-0281

Street: 1421 SW B. W. MORE ST. City: PORT ST. LUCIE State: FL Zip: 34983

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: SPD2444

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 1367.00 (Notice of Commencement needed over \$2500)

**SUBCONTRACTOR INFORMATION:**

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof: \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Alice Lyons

State of Florida, County of: Martin

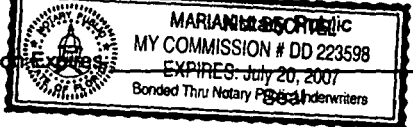
This the 12 day of OCTOBER, 2005

by Alice Lyons who is personally

known to me or produced

as identification Marianne Bechtel

My Commission Expires: \_\_\_\_\_



CONTRACTOR SIGNATURE (required)

Mark Wagner

On State of Florida, County of: ST. LUCIE

This the 28 day of OCTOBER, 2005

by MARK WAGNER who is personally

known to me or produced

As identification Jennifer L. Puetto

My Commission Expires: \_\_\_\_\_





# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID KR  
TREC004

DATE (MM/DD/YYYY)  
06/27/05

## PRODUCER

\*Huckleberry Sibley & Harvey\*  
1020 N Orlando Ave. Suite 200  
Maitland FL 32751  
Phone: 800-300-6641 Fax: 407-628-1635

## INSURED

Treasure Coast Garage Door Inc  
Hellen Wagner  
1421 SW Billimore  
Port St Lucie FL 34983

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

## INSURERS AFFORDING COVERAGE

## NAIC #

INSURER A: BusinessFirst Insurance Co.  
INSURER B: Auto-Owners Insurance Company  
INSURER C:  
INSURER D:  
INSURER E:

18988

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
B	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	0446122064863805	02/21/05	02/21/06	EACH OCCURRENCE \$ 1000000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100000 MED EXP (Any one person) \$ 10000 PERSONAL & ADV INJURY \$ 1000000 GENERAL AGGREGATE \$ 2000000 PRODUCTS - COMP/OP AGG \$ 2000000
B	<b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	4493838200	02/21/05	02/21/06	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
B	<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$10,000	4493838201	02/21/05	02/21/06	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000 \$ \$ \$
A	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER	521-00807	07/09/05	07/09/06	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 100000 E.L. DISEASE - EA EMPLOYEE \$ 100000 E.L. DISEASE - POLICY LIMIT \$ 500000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Fax 772-220-4785

## CERTIFICATE HOLDER

TOWOFS1

Town of Sewalls Point  
One South Sewalls Point Road  
Sewalls Point FL 34996

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

B. C. [Signature]





**MARTIN COUNTY, FLORIDA**  
**Construction Industry Licensing Board**  
**Certificate of Competency**

**GARAGE DOOR**

License Number SP02444 Expires: 30-SEP-07

WAGNER, MARK J

TREASURE COAST GARAGE DOORS IN

1421 SW BILTMORE ST

PORT ST LUCIE, FL 34983





**MARTIN COUNTY, FLORIDA**  
**Construction Industry Licensing Board**  
**Certificate of Competency**

***GARAGE DOOR***

License Number SP02444 Expires: 30-SEP-07

**WAGNER, MARK J**

**TREASURE COAST GARAGE DOORS IN**

**1421 SW BILTMORE ST**

**PORT ST LUCIE, FL 34983**

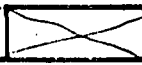


# Treasure Coast Garage Doors, Inc. (772) 879-0487

## Field Survey

Date: 10-7-05	
Customer:	Phone:
Owner: LYONS, ALICE	Phone: 287-9297
Address: 34 FIELD WAY DRIVE	Fax:
STUART FL. 34996	Cell:

W x H	MFG	Model	Zone	Exp.	Design P.S.F	Test P.S.F
16x7	DAB	824	140	C	+48 1-52	+72 1-78
Building Style		SINGLE STORY				
Wall Construction		Vertical Jambs		Header		Spring Pad
(CMU) / Wood		2x6		NA		NA
Required Anchors		3/8x5" Wedge Anchors PER DRAWINGS.				
Remarks						



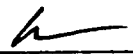
Existing Wall

**Floor Plan**  
**FILE COPY**


**TOWN OF SEWALL'S POINT**

THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

DATE: 11/2/05



**BUILDING OFFICIAL**  
Gene Simmons



Existing Wall

Notes:

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Attach tracks with \_\_\_\_\_" x \_\_\_\_\_" Lags & additional track brackets (as required) to secure thru existing \_\_\_\_\_" x \_\_\_\_\_" jamb with a minimum of 1 1/2" embedment into existing stud wall.



**TABLE 1606.2C**  
**ROOF OVERHANG COMPONENT AND CLADDING DESIGN WIND PRESSURES**  
**FOR A BUILDING WITH MEAN ROOF HEIGHT OF 30 FEET LOCATED IN**  
**EXPOSURE B (per)**

Zone	Effective Wind Area (ft <sup>2</sup> )	Basic Wind Speed V (mph - 3 second gust)						
		90	100	110	120	130	140	150
Roof Angle > 0-10 degrees								
2	10	-21.0	-25.9	-31.4	-37.3	-43.8	-50.8	-58.3
2	20	-20.6	-25.5	-30.8	-36.7	-43.0	-49.9	-57.3
2	100	-19.8	-24.4	-29.5	-35.1	-41.2	-47.8	-54.9
3	10	-34.8	-42.7	-51.6	-61.5	-72.1	-83.7	-96.0
3	20	-27.1	-33.5	-40.5	-48.3	-56.6	-65.7	-75.4
3	100	-10.0	-12.2	-14.8	-17.6	-20.6	-23.9	-27.4
Roof Angle > 10 - 30 degrees								
2	10	-27.2	-33.5	-40.6	-48.3	-56.7	-65.7	-75.5
2	20	-27.2	-33.5	-40.6	-48.3	-56.7	-65.7	-75.5
2	100	-27.2	-33.5	-40.6	-48.3	-56.7	-65.7	-75.5
3	10	-45.7	-56.4	-68.3	-81.2	-95.3	-110.6	-126.9
3	20	-40.5	-50.0	-60.5	-72.0	-84.5	-98.0	-112.5
3	100	-28.4	-35.1	-42.4	-50.5	-59.3	-68.7	-78.9
Roof Angle > 30 - 45 degrees								
2	10	-24.7	-30.5	-36.9	-43.9	-51.5	-59.8	-68.6
2	20	-24.0	-29.6	-35.8	-42.6	-50.0	-58.0	-66.5
2	100	-22.2	-27.4	-33.2	-39.5	-46.4	-53.8	-61.7
3	10	-24.7	-30.5	-36.9	-43.9	-51.5	-59.8	-68.6
3	20	-24.0	-29.6	-35.8	-42.6	-50.0	-58.0	-66.5
3	100	-22.2	-27.4	-33.2	-39.5	-46.4	-53.8	-61.7

For SI: 1 psf = 47.88 N/m<sup>2</sup>, 1 ft<sup>2</sup> = 0.0929 m<sup>2</sup>, 1 mph = 0.447 m/s.

Note: For effective areas between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.

**TABLE 1606.2D**  
**HEIGHT AND EXPOSURE ADJUSTMENT COEFFICIENTS**

Mean Roof Height (ft)	Exposure		
	B	C	D
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.56	1.81
55	1.19	1.59	1.84
60	1.22	1.62	1.87

Note: All table values shall be adjusted for other exposures and heights by multiplying by the above coefficients.

**TABLE 1606.2E**  
**GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf)**

Effective Wind Area Width (ft)      Height (ft)		Basic Wind Speed V (mph - 3 second gust)							
		85	90	100	110	120	130	140	150
Roof Angle 0 - 10 degrees									
8	8	10.5 - 14.9	11.7 - 13.3	14.5 - 16.4	17.5 - 19.9	20.9 - 23.6	24.5 - 27.7	28.4 - 32.2	32.6 - 36.9
10	10	10.1 - 11.4	11.4 - 12.7	14.0 - 15.7	17.0 - 19.0	20.2 - 22.7	23.7 - 26.6	27.5 - 30.8	31.6 - 35.4
14	14	10.0 - 10.7	10.8 - 12.0	13.3 - 14.8	16.1 - 17.9	19.2 - 21.4	22.5 - 25.1	26.1 - 29.1	30.0 - 33.4
Roof Angle > 10 degrees									
9	7	11.4 - 12.9	12.8 - 14.5	15.8 - 17.9	19.1 - 21.6	22.8 - 25.8	26.7 - 30.2	31.0 - 35.1	35.6 - 40.1
15	7	10.9 - 12.2	12.3 - 13.7	15.2 - 16.9	18.3 - 20.4	21.8 - 24.3	25.6 - 28.5	29.7 - 33.4	34.0 - 38.0

For SI: 1 sq ft = 0.0929 sq m, 1 mph = 0.447 m/s, 1 psf = 47.88 N/sq m



[Table 1606.2E continued]

1. For effective areas or wind speeds between those given above, the load may be interpolated, otherwise use the load associated with the lower effective area.
2. Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1606.2D
3. Plus and minus signs signify pressures acting toward and away from the building surfaces.
4. Negative pressures assume door has 2 feet of width in building's end zone.

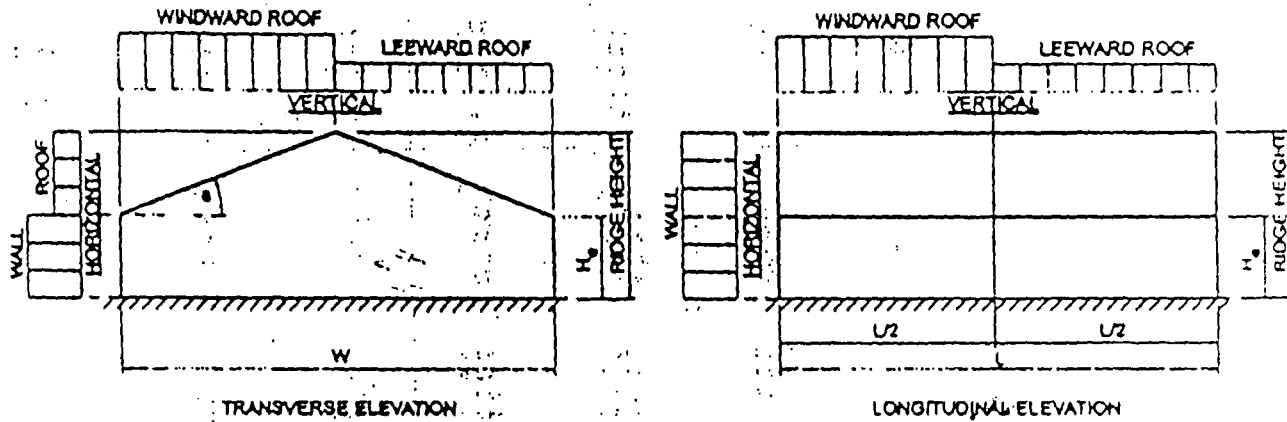


FIGURE 1606.2a  
APPLICATION OF MAIN WIND FORCE RESISTING SYSTEM  
LOADS FOR SIMPLE DIAPHRAGM BUILDINGS

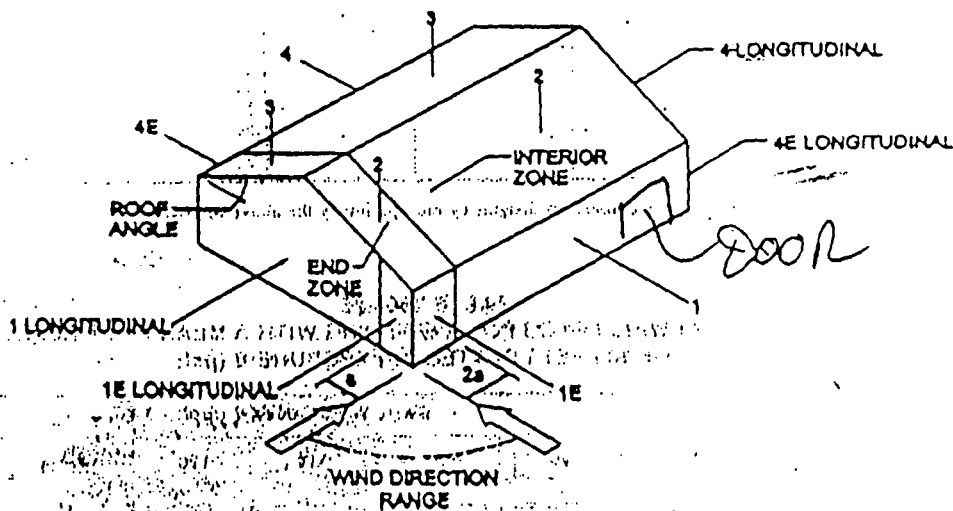


FIGURE 1606.2b  
MAIN WIND FORCE LOADING DIAGRAM





BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908  
[www.buildingcodeonline.com](http://www.buildingcodeonline.com)

## NOTICE OF ACCEPTANCE (NOA)

DAB DOORS INC.  
12195 NW 98<sup>th</sup> Ave.  
Hialeah Gardens, FL 33018

**SCOPE:** This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee (BCPRC) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCPRC reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone.

**DESCRIPTION:** Sectional Residential Garage Door 16' Wide.

**APPROVAL DOCUMENT:** Drawing No. 98-05, Sheets 1 through 4 of 4, titled "Sectional Residential Garage Door," dated 02/23/98, with last revision on 05/20/05, prepared by Al-Farooq Corporation, signed and sealed by H. Farooq, PE. bearing the Miami-Dade County Product Control Approval stamp with the NOA number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** Large & Small Missile.

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved or MDPCA", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

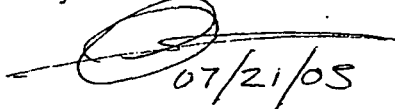
**LIMITATION:** This approval requires the manufacturer to do testing of all coils used to fabricate door panel under this Notice of Acceptance. A minimum of 2 specimens shall be cut from each coil and tensile tested according to ASTM E-8 by a Miami-Dade County approved laboratory selected and paid by the manufacturer. Every 3 months, four times a year, the manufacturer shall mail to this office: a copy of the tested reports with confirmation that the specimens were selected from coils at the manufacturer production facilities, and a notarized statement from the manufacturer that only coils with yield strength of 39,000 psi or more shall be used to make panels for Miami Dade County under this Notice of Acceptance.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page, evidence page as well as approval document mentioned above.

The submitted documentation was reviewed by **Candido F. Font PE.**

  
07/21/05



NOA No: 05-0217.02  
Expiration Date: July 21, 2010  
Approval Date: July 21, 2005  
Page 1



**NOTICE OF ACCEPTANCE: EVIDENCE PAGE**

**A DRAWINGS**

1. Drawing prepared by Al-Farooq Corporation titled "Sectional Residential Garage Door", Drawing No. 98-05, dated 02/23/98 with latest revision on 05/20/05 Sheets 1 through 4 of 4 signed and sealed by H. Farooq, PE.

**B TEST**

1. Test Report on Large Missile Impact Test and Cyclic Wind Pressure Test, of "Sectional Residential Door with Windows" prepared by Hurricane Engineering & Testing Inc. Report No. HETI 03-1328 dated 07/15/03, signed and sealed by R. E. Droz-Seda, PE.
2. Test Report on Uniform Static Air Pressure Test, of "Sectional Residential Door" prepared by Hurricane Engineering & Testing Inc., report No. HETI 03-1329, dated 07/15/03 signed and sealed by R. E. Droz-Seda PE.
3. Test Report on Tensile Test per ASTM E-8 of "Sectional Residential Door (skin)" prepared by Hurricane Engineering & Testing Inc, report No. HETI 03-T078 dated 10/31/03, signed and sealed by R. E. Droz-Seda PE.

**C CALCULATIONS**

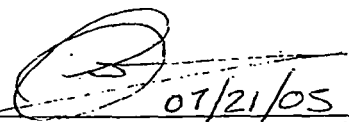
1. Anchor calculations, prepared by Al-Farooq Corporation on 05/10/01, Sheets 1 through 4 signed and sealed by H. Farooq, PE.

**D MATERIAL CERTIFICATION**

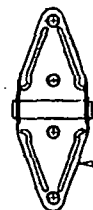
1. Test Report on Accelerated Weathering Using Xenon Arc Light Apparatus Test per ASTM G155 of "PVC Extrusion Material" prepared by Hurricane Engineering & Testing, Inc Report No. HETI 04-A002, dated 09/27/04 signed and sealed by R. E. Droz-Seda PE.
2. Test Reports on Tensile Test per ASTM D638 of "PVC Extrusion Material" prepared by Hurricane Engineering & Testing Inc. Report No. HETI 04-T251 dated 11/29/04 signed and sealed I. Ghia PE.
3. Test Report on Self-Ignition Temperature Test, Rate of Burn Test and Smoke Density Test of "REHAU non-foam PVC extrusion material" prepared by ETC Laboratories Report No. 04-761-15019.0 dated 05/06/04 signed and sealed by J. L. Doldan PE.

**E STATEMENTS**

1. Letter of Code compliance prepared by Al-Farooq Corporation, dated 01/25/05, Signed and sealed by H. Farooq, PE.
2. Letter of No financial interest prepared by Al-Farooq Corporation, dated 01/25/05, signed and sealed by H. Farooq, PE and notarized by V. Bencid.

  
07/21/05  
Candido F. Font PE.  
Sr. Product Control Examiner  
NOA No 05-0217.02  
Expiration Date: July 21, 2010  
Approval Date: July 21, 2005

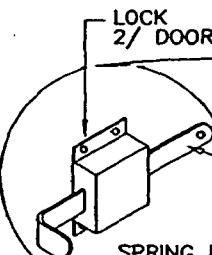




7-1/2" X 3" X .071"  
GALV. STEEL END ROLLER HINGE  
W/ (6) #14 X 5/8" SMS



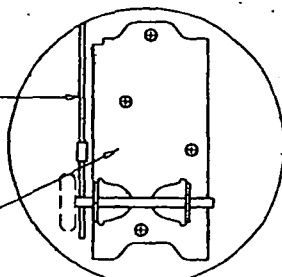
7-1/2" X 3" X .071"  
GALV. STEEL CENTER HINGE  
W/ (4) #14 X 5/8" SMS



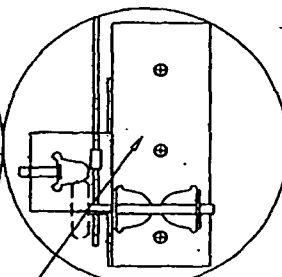
LOCK  
2/ DOOR

1" W X .15 THK. LATCH

SPRING LOADED SLIDE BOLT LOCK (BOTH SIDES)  
FASTENED W/ (4) #14 X 1/2" S.M.S.  
5/8" MIN. LOCK ENGAGEMENT CONFORMS TO  
FBC 1012 REGARDING GARAGE DOORS



BRACKET  
STD. LIFT DOOR

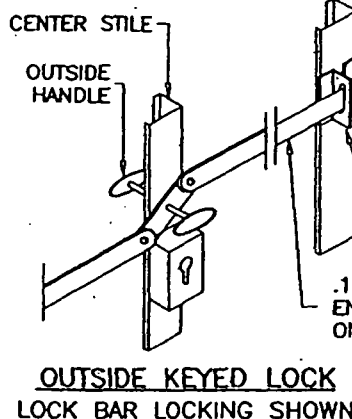


BRACKET  
LOW HEADROOM  
DOOR OPTION

.158 DIA. GALV. AIRCRAFT TYPE  
CABLE & NICO-PRESS SLEEVE  
W/ MIN. 5 TO 1 SAFETY FACTOR

7" X 3" X 0.1"  
STEEL PLATE  
WITH (4) #14 X 3/4"  
SELF DRILLING SCREWS

DOOR HEIGHT	CONSISTS OF	
6'-6"	2 SECTIONS 18"	2 SECTIONS 21"
6'-9"	1 SECTION 18"	3 SECTIONS 21"
7'	4 SECTIONS 21"	-
7'-3"	-	-
7'-6"	5 SECTIONS 18"	-
7'-9"	4 SECTIONS 18"	1 SECTION 21"
8'	3 SECTIONS 18"	2 SECTIONS 21"
8'-3"	2 SECTIONS 18"	3 SECTIONS 21"
8'-6"	1 SECTION 18"	4 SECTIONS 21"
8'-9"	5 SECTIONS 21"	-
9'	6 SECTIONS 18"	-
9'-3"	5 SECTIONS 18"	1 SECTION 21"
9'-6"	4 SECTIONS 18"	2 SECTIONS 21"
9'-9"	3 SECTIONS 18"	3 SECTIONS 21"
10'	2 SECTIONS 18"	4 SECTIONS 21"
10'-3"	1 SECTION 18"	5 SECTIONS 21"
10'-6"	6 SECTIONS 21"	-
10'-9"	6 SECTIONS 18"	1 SECTION 21"
11'	5 SECTIONS 18"	2 SECTIONS 21"
11'-3"	4 SECTIONS 18"	3 SECTIONS 21"
11'-6"	3 SECTIONS 18"	4 SECTIONS 21"
11'-9"	2 SECTIONS 18"	5 SECTIONS 21"
12'	1 SECTIONS 18"	6 SECTIONS 21"
12'-3"	7 SECTIONS 21"	-
12'-6"	6 SECTIONS 18"	2 SECTIONS 21"
12'-9"	5 SECTIONS 18"	3 SECTIONS 21"
13'	4 SECTIONS 18"	4 SECTIONS 21"
13'-3"	3 SECTIONS 18"	5 SECTIONS 21"
13'-6"	2 SECTIONS 18"	6 SECTIONS 21"
13'-9"	1 SECTION 18"	7 SECTIONS 21"
14'	8 SECTIONS 21"	-
14'-3"	6 SECTIONS 18"	3 SECTIONS 21"
14'-6"	5 SECTIONS 18"	4 SECTIONS 21"
14'-9"	4 SECTIONS 18"	5 SECTIONS 21"
15'	3 SECTIONS 18"	6 SECTIONS 21"
15'-3"	2 SECTIONS 18"	7 SECTIONS 21"
15'-6"	1 SECTION 18"	8 SECTIONS 21"
15'-9"	9 SECTIONS 21"	-
16'	6 SECTIONS 18"	4 SECTIONS 21"

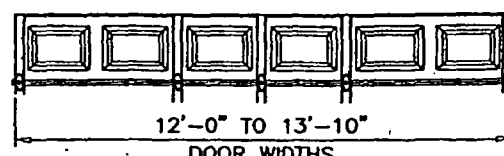
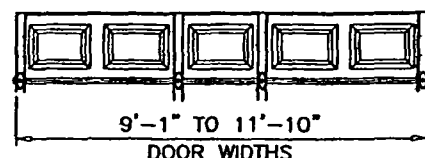
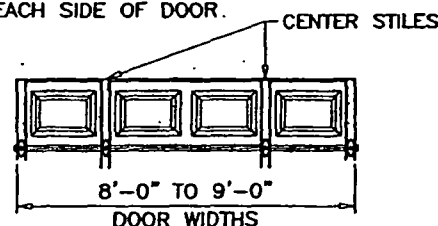


OUTSIDE KEYED LOCK  
LOCK BAR LOCKING SHOWN

7-7/8" X 3-1/8" X .010"  
STEEL PLATE  
WITH (4) #14 X 3/4" SDS

LOCK BAR GUIDES  
INSTALLED ON END STILE  
WITH (4) #14 X 5/8" SMS

.18T X .6W LOCK BAR  
ENGAGES IN TRACK  
ON EACH SIDE OF DOOR.



CENTER STILES

8'-0" TO 9'-0"  
DOOR WIDTHS

9'-1" TO 11'-10"  
DOOR WIDTHS

12'-0" TO 13'-10"  
DOOR WIDTHS

OPTIONAL VENTS  
(3) 5" WIDE AT 7" O.C. MAX.  
OPNG. AREA NOT TO EXCEED 120 SQ. IN.

OPTIONAL DOOR VIEWFR  
TO BE INSTALLED AT  
ANY CENTER STILE

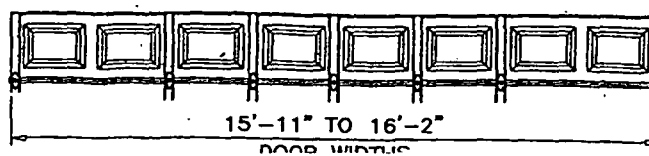
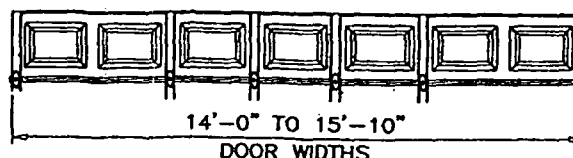
CENTER STILES  
'SEE SCH. 'A'

TOP FIXTURE 5-1/2" X 2-3/4" X 0.1"  
STEEL PLATE WITH ONE 5/16-18 MS W/ NUT  
FASTENED TO END STILE WITH  
(6) #14 X 3/4" SELF DRILLING SCREWS

INSIDE ELEVATION  
RAISED PANEL EMBOSSED DOOR

THIS PRODUCT IS RATED FOR LARGE MISSILE IMPACT

SCHEDULE 'A' CENTER STILES CONFIGURATION	
DOOR WIDTHS	# OF CENTER STILES
8'-0" TO 9'-0"	2
9'-1" TO 11'-10"	2
12'-0" TO 13'-10"	3
14'-0" TO 15'-10"	4
15'-11" TO 16'-2"	5



MAX. DOOR WIDTH  
16'-2"

OPTIONAL FLUSH FACE  
WOOD GRAIN DESIGN

DAB DOOR MODEL 824  
MAX. SIZE 16'-2" WIDE X 16'-0" HIGH  
24 GA. ROLL FORMED STEEL

DESIGN PRESSURE RATING  
+ 43.0 PSF  
- 52.0 PSF

### GENERAL NOTES

1. THIS PRODUCT HAS BEEN DESIGNED AND TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2004 EDITION INCLUDING HIGH VELOCITY HURRICANE ZONE.
2. ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS, ANCHORS EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
3. ALL BOLTS, NUTS AND WASHERS SHALL BE ZINC PLATED CARBON STEEL.
4. ANCHORING OR LOADING CONDITIONS NOT SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.
5. A 33% INCREASE IN ALLOWABLE STRESS IS USED IN DESIGN OF WOOD ANCHORS ONLY.

Engr. DR. HUMAYOUN FAROOQ  
STRUCTURES  
FLA. PE # 16557  
C.A.N. 3538

JUN 06 2005

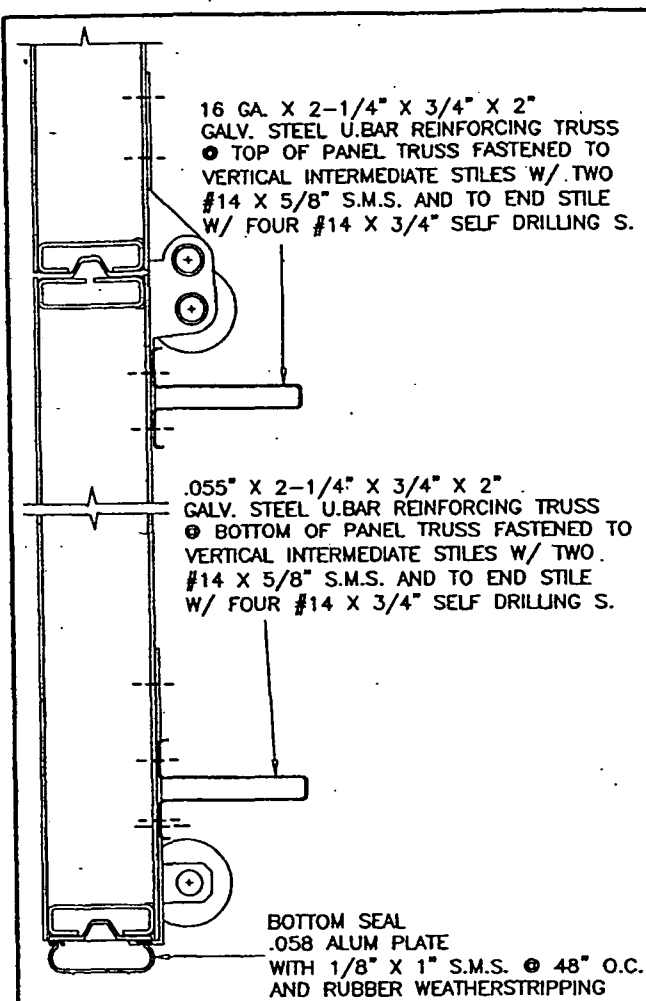
Approved as complying with the  
Florida Building Code  
Date 07/21/05  
NOA# 03-01702  
Miami Dade Product Control  
Division  
By

AL-FAROOQ CORPORATION  
ENGINEERS, PLANNERS & PRODUCT DESIGN  
1235 SW 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-8100 FAX. (305) 262-6978  
GARAGE 98-05DAB-NEW

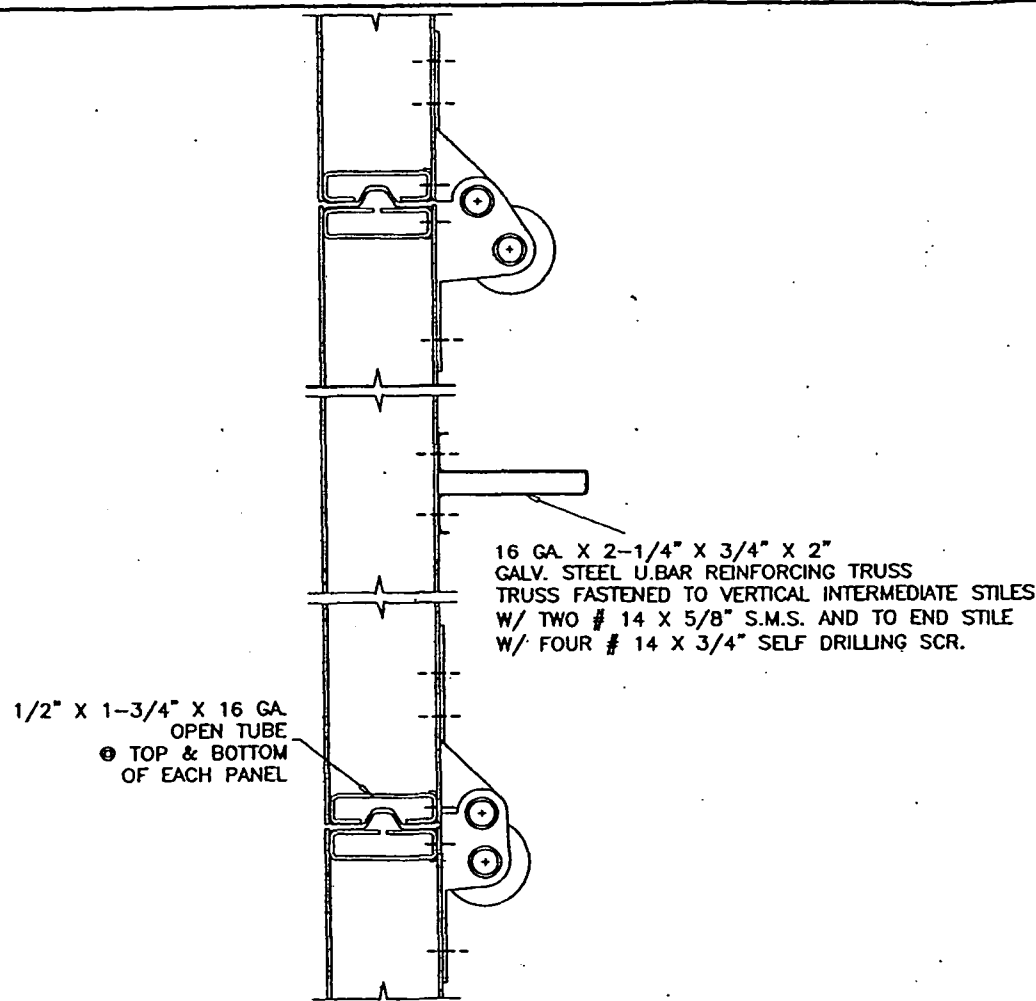
SECTIONAL RESIDENTIAL GARAGE DOOR  
DAB DOORS INC.  
12195 N.W. 98 TH. AVE.  
HIALEAH GARDENS, FL. 33018  
TEL. (305) 556 - 6624

REVISIONS:		NO.	DATE	DESCRIPTION
A	07.08.98	GENERAL REVISION		
B	08.24.98	OPT. INSULATION ADDED		
C	10.24.03	GENERAL REVISION		
D	05.20.05	REV. PER BCCO COMMENTS		
date: 02-23-98		scale: 1/2"=1'-0"	dr. by: HAMID	chk. by:
drawing no.		98-05		

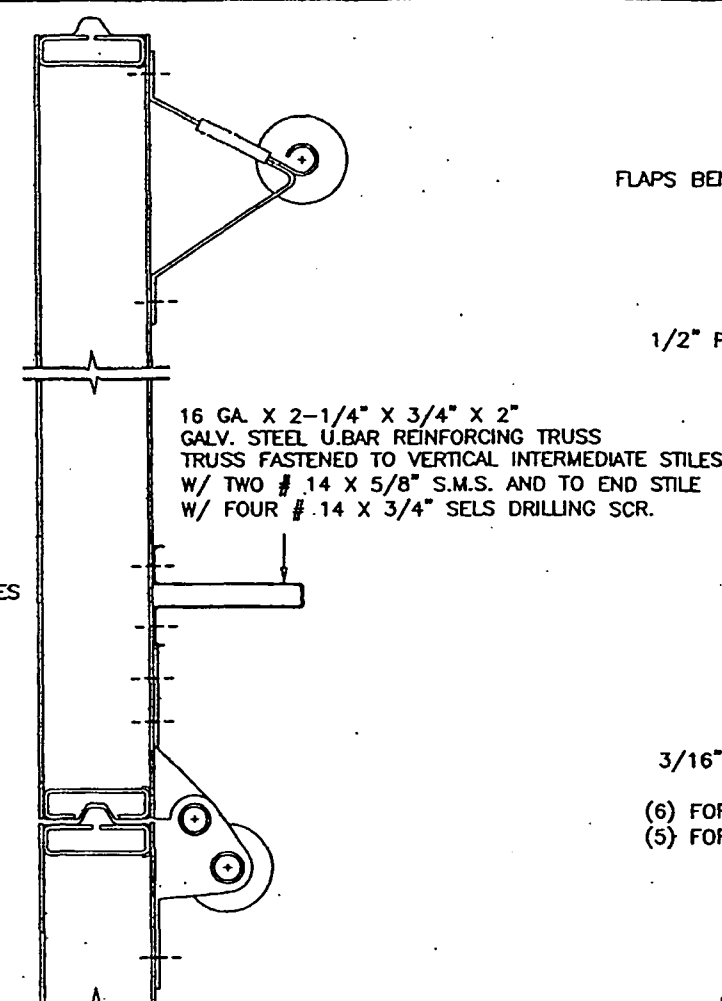




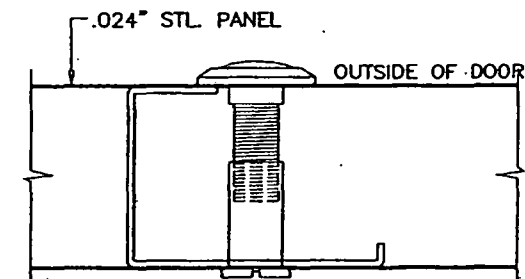
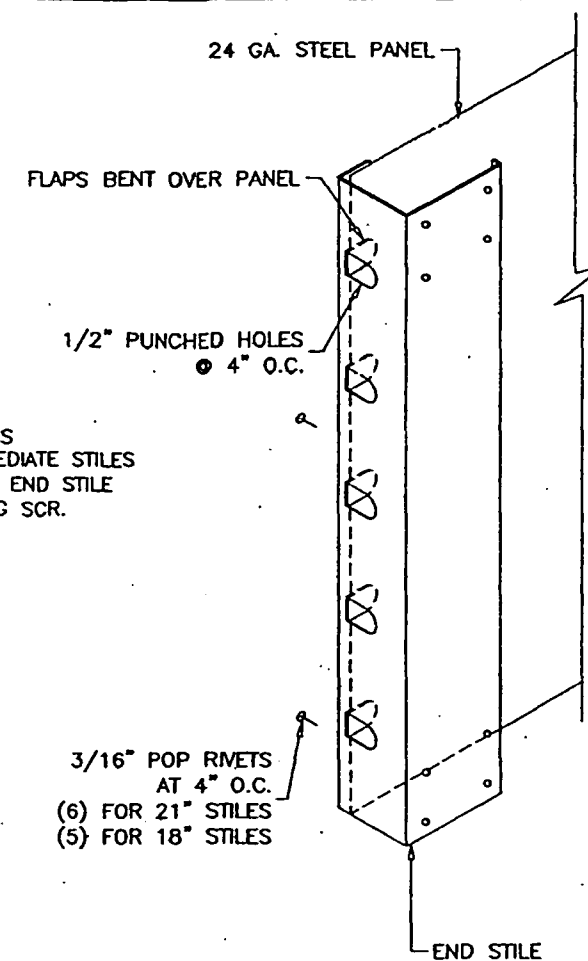
1ST SECTION (BOTTOM)  
REINFORCING



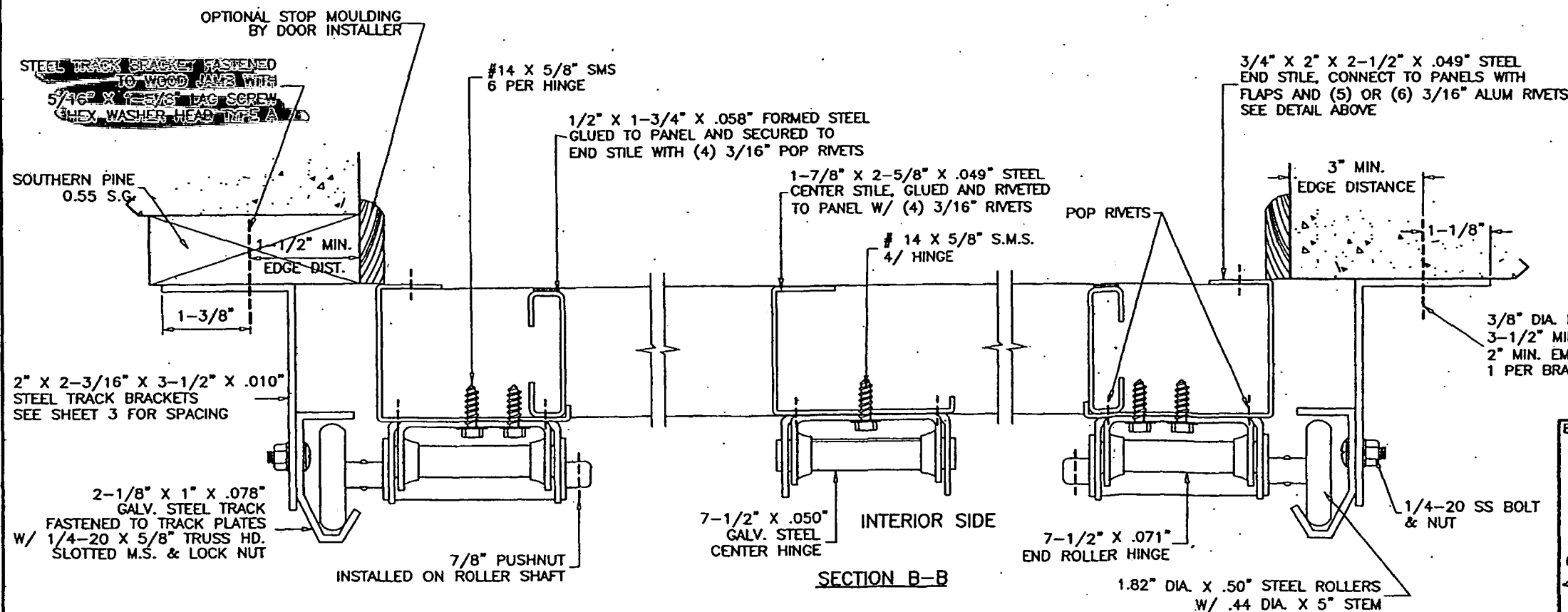
INTERMEDIATE SECTIONS  
REINFORCING



TOP SECTION  
REINFORCING



SOLID BRASS DOOR VIEWER  
BY 'SCHLAGE SECURITY HARDWARE'  
INSTALLED IN 9/16" DIA. HOLES IN CENTER STILE  
POSITIONED AT EYE LEVEL



SECTION B-B

Engr. DR. HUMAYOON FAROOQ  
STRUCTURES  
FLA. PE # 16357  
C.A.N. 3538

JUN 06 2005

Approved as complying with the  
Florida Building Code  
Date 07/21/05  
NOA# 05-0217.02  
Miami Dade Product Control  
Division

**afc**

**AL-FAROOQ CORPORATION**  
ENGINEERS, PLANNERS & PRODUCT DESIGN  
1235 SW 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-8100 FAX. (305) 262-6978  
GARAGE\98-05DAB-NEW

SECTIONAL RESIDENTIAL GARAGE DOOR

**DAB DOORS INC.**  
12195 N.W. 98 TH. AVE.  
HIALEAH GARDENS, FL. 33018  
TEL. (305) 556 - 6624

revisions:	
no.	description
C 10.24.03	GENERAL REVISION
D 05.20.05	REV. PER BCCO COMMENTS

date: 02-23-98

scale: -

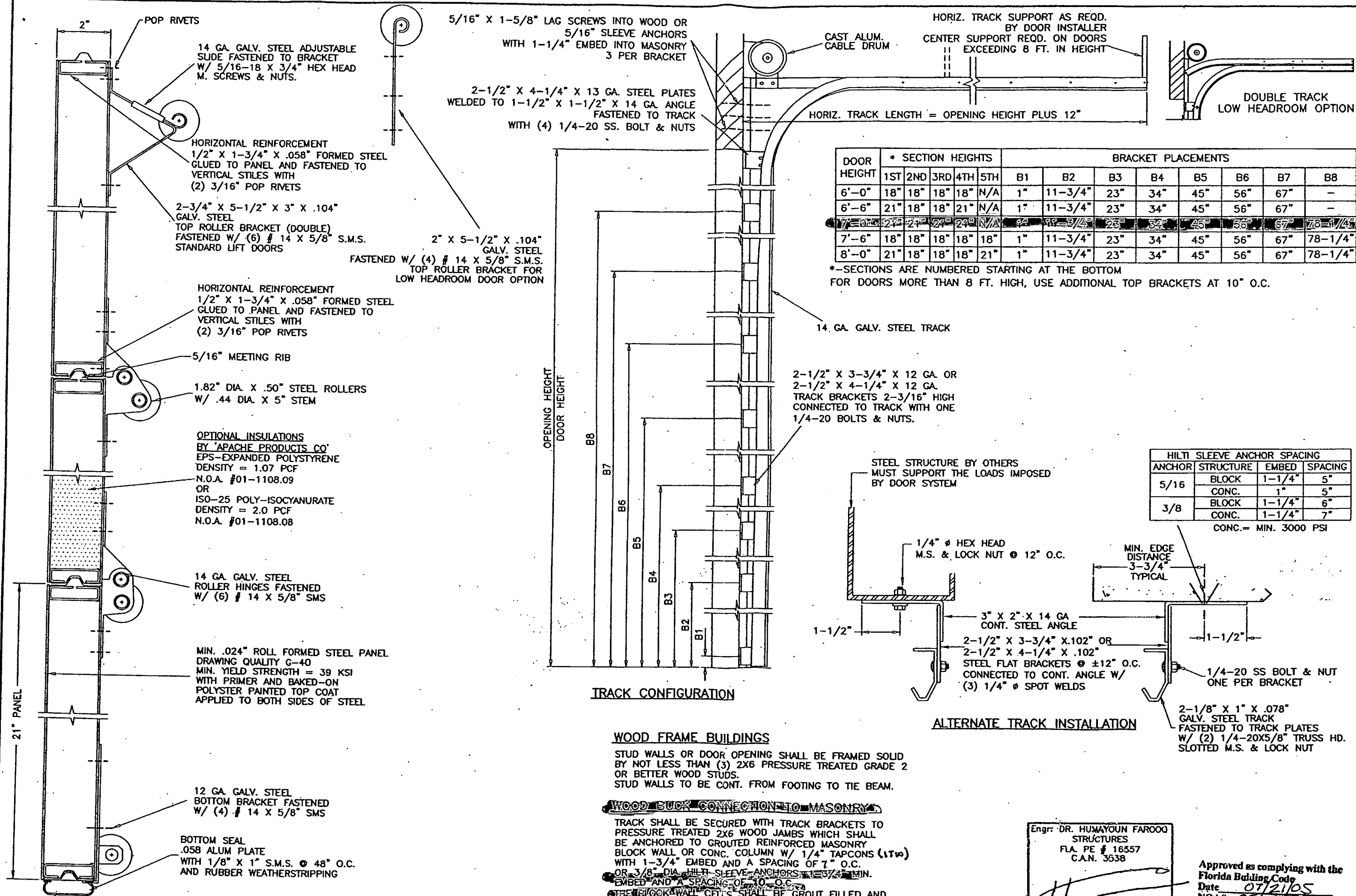
dr. by: HAMID

chk. by:

drawing no.  
**98-05**

sheet 2 of 4





**AL-FAROOQ CORPORATION**  
ENGINEERS, PLANNERS & PRODUCT DESIGN.  
1235 SW 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-8100 FAX. (305) 262-6978  
GARAGE\98-05DAB-NEW

**SECTIONAL RESIDENTIAL GARAGE DOOR**  
**DAB DOORS INC.**  
12195 N.W. 98 TH. AVE.  
HIALEAH GARDENS, FL. 33018  
TEL. (305) 556 - 6624

revisions:	no	date	by	description
	C	10.24.03		GENERAL REVISION
	D	05.20.05		REV. PER BCCO COMMENTS

date: 02-23-98

scale: -

dr. by: HAMID

chk. by:

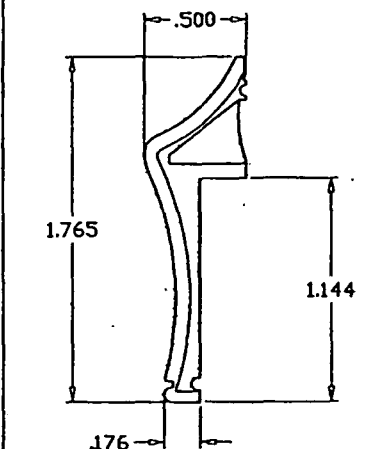
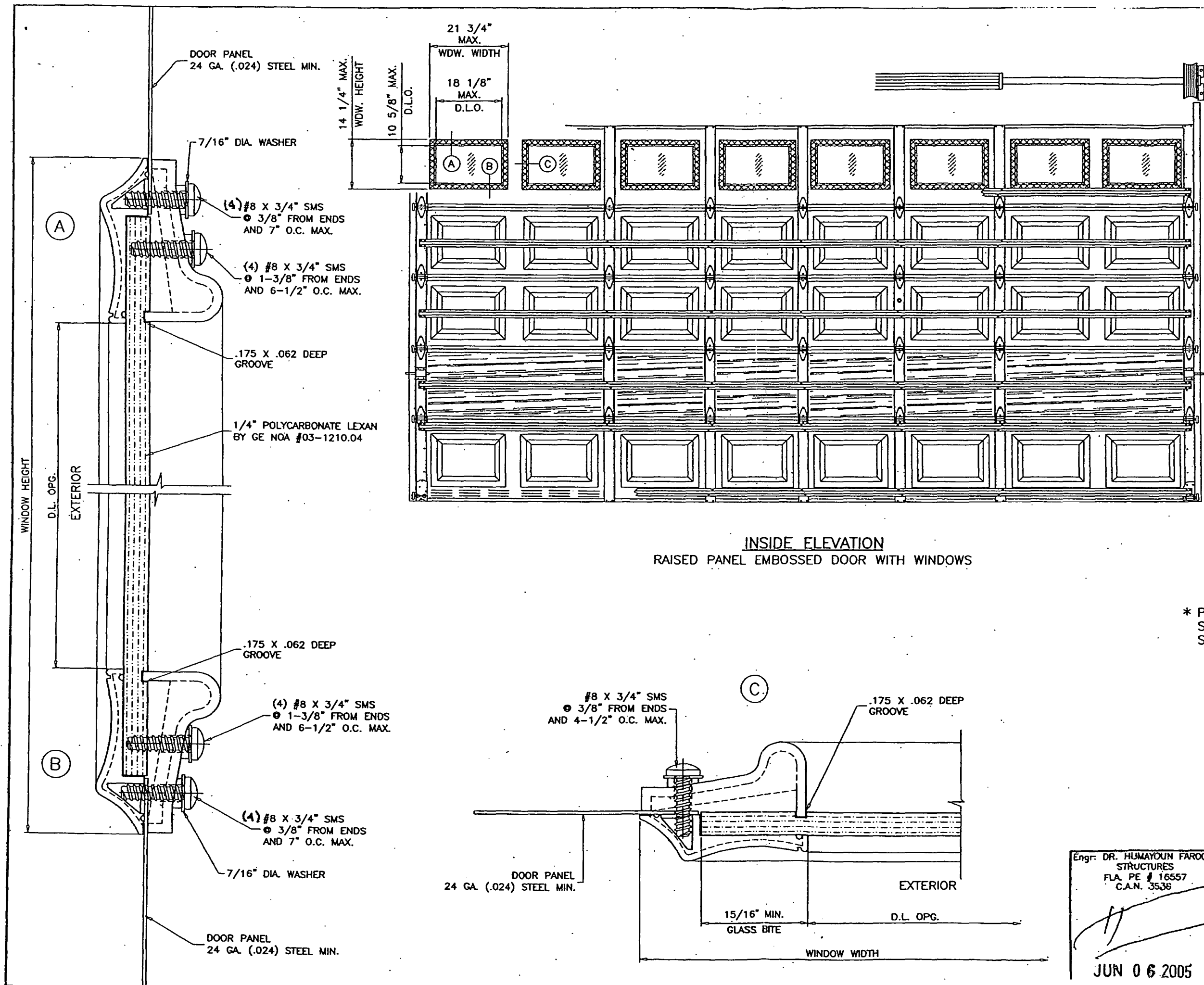
Engr: DR. HUMAYOUN FAROOQ  
STRUCTURES  
FLA. PE # 16557  
C.A.N. 3538

**JUN 06 2005**

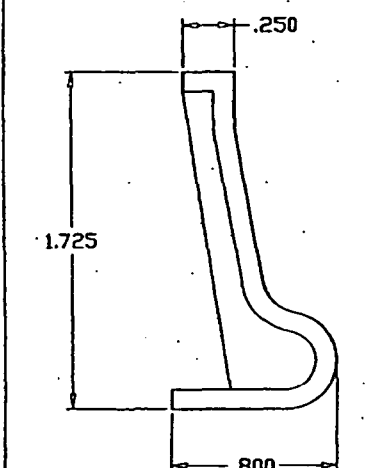
Approved as complying with the  
Florida Building Code  
Date: 07/21/05  
NOA# 05-021762  
Miami Dade Product Control  
Division

drawing no. 98-05





\* EXTERIOR FRAME  
RIGID PVC ONE PIECE INJECTION



\* INTERIOR FRAME  
RIGID PVC ONE PIECE INJECTION

\* PLASTIC COMPLIES WITH  
SECTION 2605.2 OF FBC 2001  
SEE EVIDENCE PAGE

Engr. DR. HUMAYOUN FAROOQ  
STRUCTURES  
FLA. PE # 16557  
C.A.N. 3538

JUN 06 2005

Approved as complying with the  
Florida Building Code  
Date 07/21/05  
NOAH 03-0217.02  
Miami Dade Product Control  
Division  
By

**AL-FAROOQ CORPORATION**  
ENGINEERS, PLANNERS & PRODUCT DESIGN  
1235 SW 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-8100 FAX. (305) 262-6978  
GARAGE 98-05DAB-NEW

---

**SECTIONAL RESIDENTIAL GARAGE DOOR**

**DAB DOORS INC.**  
12195 N.W. 98 TH. AVE.  
HALEAH GARDENS, FL. 33018  
TEL. (305) 556 - 6624

no	date	by	description
C	10.24.03		SHEET ADDED
D	05.20.05		REV. PER BCCO COMMENTS

date: 02-23-98	scale: FULL	dr. by: HAMID	chk. by:
----------------	-------------	---------------	----------

drawing no.  
**98-05**



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection: ☐ Mon ☒ Wed ☐ Fri 11/9, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7576	Silas	1st Floor Electrical	FAIL	
6	10 Castle Hill Way	Mechanical	FAIL	
	Statewide Eng.	Framing	FAIL	INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7865	Alice Lyons	Final	PASS	CLOSE
5	34 Field Way Dr.	Garage Door Inspe		
	Treasure Coast Garage Doors			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7870	TAPPER	ROUGH GAS	PASS	
	22 ISLAND			
	FERRELL GAS			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
	TAPPER	FRAMING	PASS	
	22 IS. ROAD	ELEC. ROUGH	PASS	
	WINCHIP	MECH. ROUGH	PASS	INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_



8925

---

Re Roof

---

☐ BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**

One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**BUILDING PERMIT CARD**

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN  
VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8925	DATE ISSUED:	JUNE 16, 2008
SCOPE OF WORK:	REROOF		
CONDITIONS :			
CONTRACTOR:	STUART ROOFING		
PARCEL CONTROL NUMBER:	353741002001001007	SUBDIVISION	INDIALUCIE, LOT 10, BL 1
CONSTRUCTION ADDRESS:	34 FIELDWAY DR		
OWNER NAME:	LYONS		
QUALIFIER:	JOHN TURNER	CONTACT PHONE NUMBER:	692-9854

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

**REQUIRED INSPECTIONS**

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT RECEIPT

PERMIT NUMBER:	8925
ADDRESS	34 FIELDWAY DR
DATE:	6/16/08

14489

63-515/670  
07

SINGLE FAMILY HOME

STUART ROOFING, INC.  
P.O. BOX 2556 772-286-2317  
STUART, FL 34995

DATE 6-16-08

\$ 237.00  
00/100 DOLLARS

PAY  
TO THE  
ORDER OF

SEWELL'S POINT  
Two hundred Thirty Seven



FOR

Ra

DB: Licensing Fee: (\$.005 per sq. ft. under roof)

Road impact assessment: (.04% of construction value - \$5.00 min.)

Martin County Impact Fee:

TOTAL BUILDING PERMIT FEE:

ACCESSORY PERMIT

Declared Value:

\$

30,000

Total number of inspections @ \$75.00 each

3

\$

225

Road impact assessment: (.04% of construction value - \$5.00 min.)

\$

12

TOTAL ACCESSORY PERMIT FEE:

\$

237



PERMIT #: \_\_\_\_\_ TAX FOLIO #: 35-37-41-002-001-00100-7

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

INDIALUCIE, LOT 10 BLK 1 34 FIELDWAY DRIVE

GENERAL DESCRIPTION OF IMPROVEMENT: REEROOF

OWNER NAME: LYONS, JOHN + ALICE

ADDRESS: 34 FIELDWAY DR. STUART, FL 34996

PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

INTEREST IN PROPERTY: \_\_\_\_\_

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: STUART ROOFING INC.

ADDRESS: 140 NE DIXIE HWY. STUART FL 34994

PHONE NUMBER: 692-9854 FAX NUMBER: 692-9856

SURETY COMPANY (IF ANY): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF

FLORIDA STATUTES. \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),

PHONE NUMBER: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT:

(THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

X Alice L Lyons

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

OWNER

SIGNATORY'S TITLE/OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4 DAY OF JUNE, 2008

BY: Alice L Lyons AS

OWNER

FOR

NAME OF PERSON

TYPE OF AUTHORITY

NAME OF PARTY ON BEHALF OF  
WHOM INSTRUMENT WAS EXECUTED

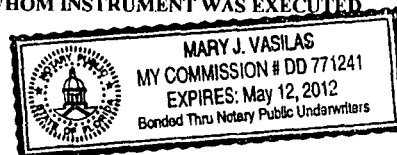
PERSONALLY KNOWN X OR PRODUCED IDENTIFICATION \_\_\_\_\_

TYPE OF IDENTIFICATION PRODUCED

Mary J. Vasilas

NOTARY SIGNATURE

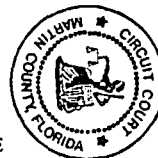
NOTARY SEAL



UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

X Alice L Lyons  
(Signature of Natural Person Signing Above)

STATE OF FLORIDA  
MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL  
MARSHA EWING, CLERK



INSTR # 2087968 OR BK 02332 PG 1075 RECD 06/04/2008 02:19:10 PM  
Pg 1075 (1pg)  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK K Wintercorn



RECEIVED  
DATE: 6-9-08  
TOWN OF SEWALL'S POINT

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Date: \_\_\_\_\_ Permit Number: \_\_\_\_\_  
OWNER/TITLEHOLDER NAME: LYONS Phone (Day) 283-0090 (Fax) \_\_\_\_\_  
Job Site Address: 34 FIELDWAY DRIVE City: STUART State: FL Zip: 34996  
Legal Desc. Property (Subd/Lot/Block) INDIALUCIE LOT 10 BLK 1 Parcel Number: 35-37-41-002-001-00100-7  
Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Scope of work: REEROOF

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO X

Has a Zoning Variance ever been granted on this property?  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 30,000.00  
(Notice of Commencement required when over \$2500 prior to first inspection)

Is subject property located in flood hazard area? V A9 A8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ 174,330

Fair Market Value of the Primary Structure only (Minus the land value)

\*\*\* PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION \*\*\*

CONTRACTOR/Company: STUART ROOFING INC. Phone: 692-9854 Fax: 692-9856  
Street: 140 NE DIXIE HWY. City: STUART State: FL Zip: 34994  
State Registration Number: \_\_\_\_\_ State Certification Number: CCC-024411 Municipality License Number: \_\_\_\_\_  
PROJECT SUPERINTENDANT: JOHN TURNER CONTACT NUMBER: 349-2772

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQ. FOOTAGE (W/SEWER & ELECTRIC): Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof 46 # Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

CODE EDITIONS IN EFFECT FOR THIS APPLICATION: Florida Building Code - Res., Build, Mech., Plmb., Fuel Gas: 2004 (W/2006 Rev.)  
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Prevention Code 2004

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .6.  
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

OWNER'S SIGNATURE (required)

Alice L. Lyons

State of Florida, County of: MARTIN

This the 5 day of July

by Alice L. Lyons

known to me or produced

as identification.

My Commission Expires:

Mary J. Vasilas

MY COMMISSION # DD 771241  
EXPIRES: May 12, 2012  
Bonded Thru Notary Public Underwriters

CONTRACTOR SIGNATURE (required)

John W. Turner

On State of Florida, County of: MARTIN

This the 9 day of July 2008

by John W. Turner

known to me or produced

As identification.

My Commission Expires:

DENISE DOGGETT

Notary Public - State of Florida  
My Commission Expires Mar 28, 2011  
Commission # DD 624712  
Bonded Through National Notary Assn.

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!





## Martin County, Florida

### Laurel Kelly, C.F.A

Site Provided by...  
governmax.com T1.14

### Summary

print Owner  
10 of 22

#### Parcel Info

##### Summary

Land

Residential

Improvement

Commercial

Image

Sales & Transfers

Assessments →

Taxes →

Exemptions →

Parcel Map →

Full Legal →

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
35-37-41-002-001-00100-7	34 FIELDWAY DRIVE	9422	Owner	0	1

##### Summary

**Property Location** 34 FIELDWAY DRIVE

**Tax District** 2200 Sewall's Point

**Account #** 9422

**Land Use** 101 0100 Single Family

**Neighborhood** 120500

**Acres** 0.359

##### Legal Description

##### Property Information

INDIALUCIE, LOT 10 BLK 1

#### Search By

Parcel ID

##### Owner

Address

Account #

Use Code

Legal Description

Neighborhood

Sales

Map →

##### Owner Information

##### Owner Information

LYONS, JOHN M & ALICE L.,

##### Mail Information

34 FIELDWAY DR  
STUART FL 34996

##### Assessment Info

Front Ft. 0.00

**Market Land Value** \$250,000

**Market Impr Value** \$174,330

**Market Total Value** \$424,330

#### Site Functions

##### Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

##### Recent Sale

**Sale Amount** \$325,000

**Sale Date** 4/21/2003

**Book/Page** 1758 0624

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[Legal disclaimer](#) / [Privacy Statement](#)

Data updated on 05/01/2008

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**MANATRON**





**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**RESIDENTIAL REROOF WINDSTORM LOSS  
 MITIGATION CERTIFICATION  
 (FLORIDA STATUTE 553.844)**

FILE COPY
<b>TOWN OF SEWALL'S POINT</b>
THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE
DATE <u>6-10-08</u>
<b>BUILDING OFFICIAL</b>

The following information is to be provided by roofing contractor or owner/builder on all re-roof applications for the purpose of obtaining compliance with recent changes to the Florida Building Code "Hurricane Mitigation Manual". Effective date: October 1, 2007.

**Note: These requirements apply to residential structures built prior to implementation of the FBC on March 1, 2002.**

- Value: show proof of insured value of residential structure or a copy of the ad-valorem tax value.
- Provide copy of contract

All re-roofs regardless of value shall comply with the following:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

7

All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-mopped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.





## TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road

Sewall's Point, Florida 34996

Tel 772-287-2455 Fax 772-2204765

## ROOFING MATERIAL LIST

NO	MATERIAL	QUANTITY	UNIT	REMARKS
0	GAF Timberline 30 shingles	25	SQ	EXAMPLE
20	rolls 30# ARM felt			
10	rolls 15# felt			
36	squares 1" standing seam 16" wide (color regal white)			
15	rolls 4" modified self adhering tape FLAT 4 ply - built up			
13	squares 1 1/2" iso insulation			
13	squares 1/2" perlite insulation			
5	rolls fiberglass base sheet			
7	rolls glass ply 4			
14	modified rubber 170 GAF white			
26	sticks asphalt type 4			

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY





**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

### RE-ROOF PERMIT CERTIFICATION

PERMIT # \_\_\_\_\_

CONTRACTOR'S NAME: STUART ROOFING PHONE #: 692-9854 FAX: 692-9856

OWNER'S NAME: LYONS

CONSTRUCTION ADDRESS: 34 FIELDWAY DR CITY STUART STATE FL

RE-ROOF: ☒ RESIDENTIAL (SINGLE FAMILY)

☐ COMMERCIAL \*\*--REMOVED/REINSTALL ROOF TOP HVAC EQUIP ☐ YES ☐ NO

\*\*...DISCONNECT/RECONNECT HVAC ELECTRIC ☐ YES ☒ NO

\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F.S. ☒ YES ☒ NO - INSURED VALUE OF RESIDENCE 174,330.00

RE-ROOF INSPECTION AFFIDAVIT TO BE PROVIDED IN LIEU OF BUILDING DEPARTMENT INSPECTION ☒ YES ☐ NO

ROOF TYPE: ☐ HIP ☐ BOSTON-HIP ☐ GABLE ☐ FLAT ☐ OTHER

ROOF PITCH: 5 /12 SLOPE

ROOF DECK: \* ☐ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

☐ RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

☐ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

☒ EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: SHINGLE EXISTING COVERING TO BE REMOVED? YES ☐ NO ☐

PROPOSED NEW ROOF COVERING: METAL

MANUFACTURER METAL SALES PRODUCT NAME IMAGE II PRODUCT APPR # 05-0919-03

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)  
 MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: ☒ GALV/STEEL ☐ ALUMINUM ☐ COPPER ☐ OTHER

RIDGE VENT TO BE INSTALLED: ☐ YES ☒ NO

DESCRIPTION OF WORK: TEAR OFF EXISTING ROOF DOWN TO PLYWOOD, RENAILED TO CODE,  
2x4-IN w/ 30# FELT, INSTALL 15# FELT BARRIER SHEET, INSTALL STANDING SEAM  
METAL ROOF SYSTEM.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR

DATE: 6-9-08

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

### RE-ROOF PERMIT CERTIFICATION

PERMIT # \_\_\_\_\_

CONTRACTOR'S NAME: STUART ROOFING PHONE #: 692-9854 FAX: 692-9856

OWNER'S NAME: LYONS

CONSTRUCTION ADDRESS: 34 FIELDWAY DR. CITY STUART STATE FL

RE-ROOF: ☒ RESIDENTIAL(SINGLE FAMILY)

\_\_\_\_\_ COMMERCIAL \*\*--REMOVE/REINSTALL ROOF TOP HVAC EQUIP \_\_\_\_\_ YES \_\_\_\_\_ NO

\*\*--DISCONNECT/RECONNECT HVAC ELECTRIC \_\_\_\_\_ YES ☒ NO

\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. ☒ YES \_\_\_\_\_ NO - INSURED VALUE OF RESIDENCE 174,330

RE-ROOF INSPECTION AFFIDAVIT TO BE PROVIDED IN LIEU OF BUILDING DEPARTMENT INSPECTION ☒ YES \_\_\_\_\_ NO

ROOF TYPE: HIP BOSTON-HIP \_\_\_\_\_ GABLE ☒ FLAT \_\_\_\_\_ OTHER \_\_\_\_\_

ROOF PITCH: \_\_\_\_\_/12 SLOPE

ROOF DECK: \* \_\_\_\_\_ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

\_\_\_\_\_ RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

☒ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

☒ EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: FLAT EXISTING COVERING TO BE REMOVED? YES ☒ NO \_\_\_\_\_

PROPOSED NEW ROOF COVERING: FLAT

MANUFACTURER JOHN MANVILLE PRODUCT NAME MODIFIED BITUMEN PRODUCT APPR # 06-0626.04

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)  
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: ☒ GALV./STEEL \_\_\_\_\_ ALUMINUM \_\_\_\_\_ COPPER \_\_\_\_\_ OTHER \_\_\_\_\_

RIDGEVENT TO BE INSTALLED: \_\_\_\_\_ YES ☒ NO

DESCRIPTION OF WORK: FIBERGLASS BASE SHEET TIN TAG NAILED TO SHEETING, INSTALL

1 1/2" ISO INSULATION OVER BASE SHEET SET IN HOT ASPHALT. INSTALL 1/2" PERLITE INSULATION OVER ISO INSULATION. 2 PLYS OF FIBERGLASS HOT ASPHALT MAPPED OVER BASE SHEET. I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN MODIFIED BITUMEN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING. ELASTOMERIC ASPHALT ROOF SYSTEM W/ WHITE GRANULATED SURFACE

SIGNATURE OF CONTRACTOR \_\_\_\_\_

DATE: 6-9-08

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY





BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

### **NOTICE OF ACCEPTANCE (NOA)**

Metal Sales Manufacturing Corporation  
7800 State Road 60  
Sellersburg, IN 47172

#### **SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

#### **DESCRIPTION: Image II Metal Roofing System**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

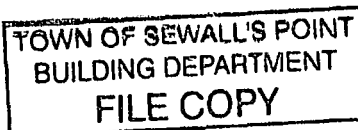
**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This revises NOA # 05-0919.03 and consists of pages 1 through 4.  
The submitted documentation was reviewed by Alex Tigera.



NOA No 07-0118.08  
Expiration Date: 08/08/08  
Approval Date: 02/07/08  
Page 1 of 4



**ROOFING SYSTEM APPROVAL:**

Category: Roofing  
Sub-Category: Metal, Panels (Non-Structural)  
Material: Steel  
Deck Type: Wood  
Maximum Design Pressure See Table A herein

**TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:**

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Image II Metal Roof	l = varies' w = 12" and 16" h = 1" min. Thickness 0.019 inch	TAS 110	Corrosion resistant, galvanized, preformed, coated, prefinished, metal panels.
Trim Pieces	l = varies w = varies min. Thickness 0.019 inch.	TAS 110	Standard flashing and trim pieces. Manufactured for each panel width.

**EVIDENCE SUBMITTED:**

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Akzo Coatings		ASTM G 23 ASTM B 117	
Valspar Corporation		ASTM G 23 ASTM B 117	
PRI Construction Materials	MSMS-006-02-01 MSMS-006-02-02	Sealant Weathering	09/12/07 11/14/07
Architectural Testing	01-43798.01	TAS 100	03/05/03
PRI Construction Materials	MSMC-005-02-01	TAS-100	06/06/07
Farabaugh Engineer & Testing, Inc.	T183-05	TAS 125	08/09/05
Farabaugh Engineer & Testing, Inc.	T241-07	TAS 125	07/23/07

MIAMI-DADE COUNTY  
 APPROVED

NOA No 07-0118.08  
 Expiration Date: 08/08/08  
 Approval Date: 02/07/08  
 Page 2 of 4



**APPROVED ASSEMBLIES:****SYSTEM A:** IMAGE II Metal Roof Panel 12" or 16" wide panel.**Deck Type:** Wood, Non-insulated**Deck Description:** New Construction  $1\frac{9}{32}$ " or greater plywood or wood plank.**Maximum Uplift Pressure:** See Table A below**Deck Attachment:** In accordance with applicable Building Code, but in no case shall it be less than 8d ring shank nails spaced 6" o.c. In reroofing, where the deck is less than  $1\frac{9}{32}$ " thick (Minimum  $1\frac{5}{32}$ " ) the above attachment method must be in addition to existing attachment.**Underlayment:** Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1  $\frac{1}{4}$ " annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll. Or, any approved underlayment having a current NOA.**Valleys:** Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with Metal Sales Manufacturing Corporation's current published installation instructions.**Fire Barrier Board:** Any approved fire barrier having a current NOA. Or for class A or B fire rating, install minimum  $\frac{1}{4}$ " thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or  $\frac{5}{8}$ " water resistant type X gypsum sheathing with treated core and facer.**Metal Panels and Accessories:**

Install the "IMAGE II Panels" and accessories in compliance with Metal Sales Manufacturing Corporation's current, published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.

Panels shall be fastened to substrate at the male end with one corrosion resistant #10 PHWS fasteners sufficient length (but not less than 1") to penetrate through the sheathing a minimum of  $\frac{3}{16}$ ", at a spacing not exceed 6" o.c. (See detail herein). Fasteners shall be placed parallel to the roof slope.

TABLE A		
	Field	Perimeter and Corner <sup>1</sup>
Maximum Design Pressure	-102.7 psf	-139.1 psf
Enhanced Fastening	None	3/8" bead of Sarnafil-Morehead SM9200 JAWS adhesive in the sidejoint. (See detail herein)
1. Extrapolation shall not be allowed		

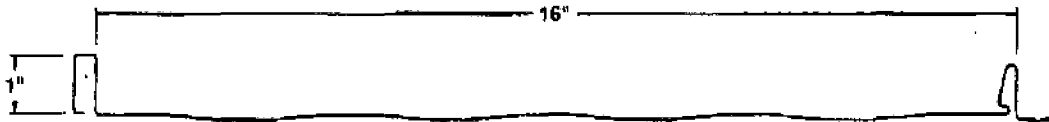
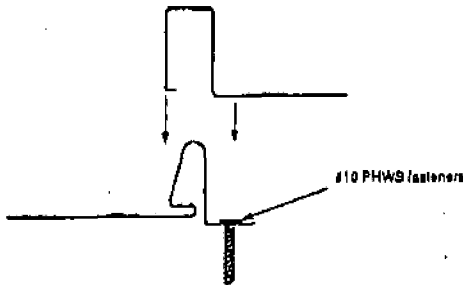
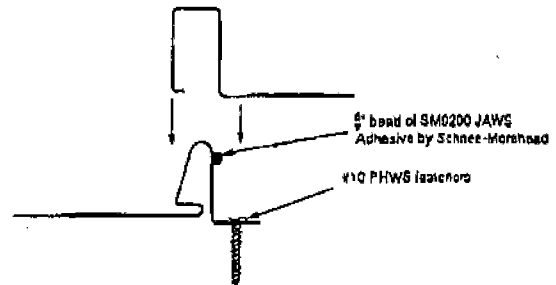

 MIAMI-DADE COUNTY  
APPROVED

 NOA No 07-0118.08  
 Expiration Date: 08/08/08  
 Approval Date: 02/07/08  
 Page 3 of 4



**SYSTEM LIMITATIONS**

1. Fire Classification is not part of this acceptance. Refer to an Approved Roofing Material Fire Directory for fire classification of this product.
2. Neither rational analysis, nor extrapolation shall be permitted for the maximum design pressures listed in the "Perimeter and Corner" roof areas as noted in Table "A" herein.
3. Panel shall be roll formed in continuous lengths from eave to ridge. Maximum lengths shall be described in the Roofing Application Standard RAS 133.
4. All panels shall be permanently labeled with the manufacturer's name and/or logo, and the following statement: "Miami-Dade County Product Control Approved."

**PROFILE DRAWING:****IMAGE II METAL ROOF PANEL****DETAIL A  
16" WIDE PANEL****16" Wide Panel  
Field Condition Details****16" Wide Panel  
Perimeter and Corner Condition Details****END OF THIS ACCEPTANCE**

NOA No 07-0118.08  
Expiration Date: 08/08/08  
Approval Date: 02/07/08  
Page 4 of 4





BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

## NOTICE OF ACCEPTANCE (NOA)

Johns Manville Corporation  
717 17<sup>th</sup> Street  
Denver, CO 80202

### SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

### DESCRIPTION: Johns Manville Modified Bitumen Roofing Systems Over Wood Decks

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 04-0401.05 and consists of pages 1 through 24.  
The submitted documentation was reviewed by Jorge L. Acebo.



TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

NOA No.: 06-0626.04  
Expiration Date: 07/19/11  
Approval Date: 08/10/06  
Page 1 of 24



## ROOFING ASSEMBLY APPROVAL

**Category:** Roofing  
**Sub-Category:** SBS Modified Bitumen  
**Deck Type:** Wood  
**Maximum Design Pressure** -60 psf  
**Fire Classification:** See General Limitation #1

### TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

TABLE 1

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
DynaBase	54'-10" x 36"; roll weight: 88 lbs.	ASTM D 6163 Type I Grade S	An SBS modified bitumen coated, fiber glass reinforced base sheet.
DynaWeld Base	39'-3/8" x 32'-10"; roll weight: 90 lbs	ASTM D 6163 Type I Grade S	An SBS modified bitumen coated, fiberglass reinforced base sheet for heat welded applications.
DynaFlex	3 x 25	ASTM D 6163 Type I Grade S	A flexible polyester/glass scrim reinforced, granular-surfaced flashing sheet.
DynaGlas	39-3/8" x 32'-10"; roll weight: 100 lbs.	ASTM D 6163 Type I Grade G	An SBS modified bitumen membrane surfaced with granules for application in hot asphalt.
DynaWeld Cap FR	39'-3/8" x 32'-10" roll weight: 110 lbs.	ASTM D 6163 Type I Grade G	A fire resistant SBS modified bitumen membrane surfaced with granules for heat weld applications.
DynaGlas 30 FR	39-3/8" x 32'-10"; roll weight: 90 lbs.	ASTM D 6163 Type I Grade G	A fire resistant SBS modified bitumen membrane surfaced with granules for application in hot asphalt.
DynaGlas FR	39-3/8" x 32'-10"; roll weight: 101 lbs.	ASTM D 6163 Type I Grade G	A fire resistant SBS modified bitumen membrane surfaced with granules for application in hot asphalt.
DynaKap	39-3/8" x 32'-10"; roll weight: 115 lbs.	ASTM D 6162 Type II Grade G	A fiberglass/polyester reinforced SBS modified bitumen membrane surfaced with granules for application in hot asphalt.
DynaKap FR	39-3/8" x 32'-10"; roll weight: 115 lbs.	ASTM D 6162 Type II Grade G	A fire resistant, fiberglass/ polyester reinforced SBS modified bitumen membrane surfaced with granules for application in hot asphalt.
DynaLastic 180	39-3/8" x 32'-10"; roll weight: 101 lbs.	ASTM D 6164 Type I Grade G	A polyester reinforced SBS modified bitumen membrane surfaced with granules for application in hot asphalt.
DynaLastic 180 FR	39-3/8" x 32'-10"; roll weight: 101 lbs.	ASTM D 6164 Type I Grade S	A 180 gram polyester mat reinforced, granular-surfaced, modified bitumen cap sheet for use in fire-rated systems.
DynaLastic 180S	37" x 36'-9" roll weight: 90 lbs.	ASTM D 6164 Type I Grade S	A 180 gram polyester mat reinforced, modified bitumen cap sheet for use in fire-rated systems.
DynaPly	39-3/8" x 32'-10"; roll weight: 90 lbs.	ASTM D 6162 Type II Grade S	A polyester reinforced SBS modified bitumen ply sheet for use in conventional and modified bitumen built-up roof systems.



NOA No.: 06-0626.04  
 Expiration Date: 07/19/11  
 Approval Date: 08/10/06  
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<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
DynaLastic 250	39-3/8" x 32'-10"; roll weight: 114 lbs.	ASTM D 6164 Type II Grade G	A 250 gram polyester mat reinforced, granular-surfaced, modified bitumen cap sheet.
DynaLastic 250 FR	39-3/8" x 32'-10"; roll weight: 115 lbs.	ASTM D 6164 Type II Grade G	A 250 gram polyester mat reinforced, granular-surfaced, modified bitumen cap sheet for use in fire-rated systems.
DynaMax	39-3/8" x 32'-10"; roll weight: 99 lbs.	ASTM D 6162 Type III Grade G	A fiberglass/polyester reinforced SBS modified bitumen membrane surfaced with granules for application in hot asphalt or heat weld.
DynaMax FR	39-3/8" x 32'-10"; roll weight: 116 lbs.	ASTM D 6162 Type III Grade G	A fire resistant, fiberglass/ polyester reinforced SBS modified bitumen membrane surfaced with granules for application in hot asphalt. □
DynaClad	39-3/8" x 33'-6"; roll weight: 101 lbs.	ASTM D 6298	A foil faced, glass reinforced, SBS modified membrane for application in hot asphalt.
DynaBase XT	39-3/8" x 49'-2"	ASTM D 6163 Type II Grade S	A heavyweight glass reinforced SBS Base/Ply sheet.
DynaGlas FR XT	39-3/8" x 32'-10";	ASTM D 6163 Type II Grade S	A heavyweight glass reinforced granular surfaced SBS Cap sheet.
Ventsulation Felt	36" x 36'	ASTM D 4897 Type II	Heavy duty fiber glass base sheet impregnated and coated on both sides with asphalt with or without fine mineral stabilizer. Surfaced on the bottom side with coarse mineral granules embedded in asphaltic coating.
GlasBase Plus	36" x 108'; roll weight: 84 lbs.	ASTM D 4601	Type II asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
GlasPly IV	36" x 200'	ASTM D 2178 Type IV	Type IV asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.
GlasPly Premier	36" x 180'	ASTM D 2178 Type VI	Type VI asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.
PermaPly 28	36" x 108'; roll weight: 72 lbs.	ASTM D 4601 Type II	Type II asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
FesCant Plus Cant Strips, and Taper Edge	various	ASTM C 728	Factory pre-fabricated cant strips and taper edge, manufactured from expanded perlite insulation.
MBR Flashing Cement Base and Activator	N/A	Proprietary	A two component elastomeric, cold application adhesive, consisting of a modified proprietary compound with an asphalt base.
MBR Utility Cement	N/A	ASTM D 4586	General purpose trowel grade, cutback bitumen cement mixture including inorganic fibers and mineral stabilizers.
MBR Bonding Cement and Activator	N/A	proprietary	A two component, elastomeric, cold application adhesive.
Bestile Industrial Roof Cement	various	ASTM D 4586, type I	A trowel grade, cutback bitumen flashing grade cement mixture including inorganic fibers and mineral stabilizers.





<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Flex-I-Drain	various	BOCA 76-61 SBCCI 89204 UBC 3236	Two piece flexible drain system composed of a Noryl deck flange, a flexible neoprene bellows and no hub connection. Available in various sizes and styles for most retro-fit applications.
PC/PET RetroDrain	various	N/A	Engineered resin copolymer fabricated drain for retrofit applications.
USII RetroDrain	various	N/A	One piece, aluminum fabricated drain for retrofit applications.
SuperDome RetroDrain	various	N/A	Cast aluminum, heavy-duty drain for retrofit applications.
FP-10 Vents	10" deck flange, base diameter of 4" and a height of 6"	N/A	One-way roof vent, designed for use in various roof systems, for the release of pressure created by gases or moisture vapor trapped within the roofing system.
Expand-O-Guard	various	N/A	Elastomeric expansion joint cover for vertical expansion and seismic joints. Manufactured from non-reinforced, form-supported elastomeric bellows with a bifurcated waterproof attachment to metal flanges.
Expand-O-Flash	various	N/A	Expansion joint covers manufactured from non-reinforced, form-supported elastomeric bellows with a bifurcated waterproof attachment to metal flanges.
Presto-Lok Fascia and Flashing System	various	TAS 114	A multi-piece fascia and flashing system for built-up and modified bitumen roofing systems manufactured from aluminum or steel.
DynaTred & DynaTred Plus Roof Walkway	various	N/A	Preformed, skid-resistant boards.

#### APPROVED INSULATIONS:

TABLE 2

<u>Product Name</u>	<u>Product Description</u>	<u>Manufacturer (With Current NOA)</u>
ENRGY 2, ENERGY 3, PSI-25	Isocyanurate Insulation.	Johns Manville
ENRGY 2 Composite	Polyisocyanurate insulation laminated to perlite.	Johns Manville
ENRGY 2 Plus	Polyisocyanurate insulation laminated to wood fiber.	Johns Manville
Fesco Foam, DuraFoam	Isocyanurate Insulation with perlite facer	Johns Manville
Retro-Fit Board, DuraBoard	A high-density perlite roof insulation.	Johns Manville
Fesco Board	Rigid perlite roof insulation board.	Johns Manville
Fiber Glass Roof Insulation	Fiberglass roof insulation.	Johns Manville



NOA No.: 06-0626.04  
Expiration Date: 07/19/11  
Approval Date: 08/10/06  
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## APPROVED INSULATIONS:

TABLE 2

Product Name	Product Description	Manufacturer (With Current NOA)
Millox	Isocyanurate Insulation with wood fiberboard facer	Apache Products Co.
Pyrox, White Line	Isocyanurate Insulation	Apache Products Co.
ACFoam Composite	Isocyanurate Insulation with perlite facer	Atlas Roofing Corp.
ACFoam II	Isocyanurate Insulation	Atlas Roofing Corp.
Styrofoam	Extruded polystyrene insulation	Dow
Dens Deck	Silicon treated gypsum	G-P Products
Sturdi-Top	Wood fiber insulation board.	G-P Products
Wood Fiberboard	Regular wood fiber insulation	Generic
High Density Wood Fiberboard	High Density Wood Fiber insulation board.	Generic
Perlite Insulation Board	Perlite Insulation	Generic
Type X Gypsum	Gypsum Wallboard	Generic
XPS	Extruded polystyrene	Generic
Structodeck	High Density Wood Fiber insulation board.	Masonite
Fiber Base	Asphalt coated wood fiber insulation	Temple Inland Forest Products Corp.

## APPROVED FASTENERS:

TABLE 3

Fastener Number	Product Name	Product Description	Dimensions	Manufacturer (With Current NOA)
1.	UltraFast	Insulation fastener for wood and steel.		Johns Manville
2.	UltraFast ASAP	Pre-assembled Insulation fastener and plate		Johns Manville
3.	UltraFast Metal Plate	Galvalume AZ55 steel plate	3" square & 3" round	Johns Manville
4.	UltraFast Plastic Plate	High Density Polyolefin round plate	3" round	Johns Manville
5.	Olympic Fastener #12 & #14	Insulation fastener		Olympic Mfg. Group
6.	Olympic Fastener ASAP	Pre-assembled Insulation fastener and plate		Olympic Mfg. Group
7.	Olympic Polypropylene	Polypropylene plastic plate	3.25" round	Olympic Mfg. Group



NOA No.: 06-0626.04  
 Expiration Date: 07/19/11  
 Approval Date: 08/10/06  
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**APPROVED FASTENERS:****TABLE 3**

<b>Fastener Number</b>	<b>Product Name</b>	<b>Product Description</b>	<b>Dimensions</b>	<b>Manufacturer (With Current NOA)</b>
8.	Olympic G-2	3.5" round galvalume AZ55 steel plate	3.5" round	Olympic Mfg. Group
9.	Olympic Standard	3" round galvalume AZ50 steel plate	3" round	Olympic Mfg. Group

**EVIDENCE SUBMITTED:**

<b>Test Agency/Identifier</b>	<b>Name</b>	<b>Report</b>	<b>Date</b>
Factory Mutual Research	J.I. # 3001482	FM Class 4470	08.11.98
	J.I. # 3001629	FM Class 4470	09.10.98
	J.I. # 0Z8A9.AM		
	J.I. # 3D4A4.AM	FM Class 4470	09.28.98
	J.I. # 3000949		
	3007148	FM Class 4450	04.19.00
	3009499	FM Class 4470	04.04.01
	3011248	FM Class 4470	11.01.02
	3001457	FM Class 4470	04.04.02
	3014090	FM Class 4470	09.05.02
Exterior Research & Design	3012974	FM Class 4450	06.03.02
	#4361-2.04.97-1	TAS 114	02.04.97
	#10390A-12.97-1	TAS 114	12.00.97
	10391.01.03		01.29.03
IRT, Inc.	#99004	TAS 114	03.00.99
Atlantic & Caribbean Roof Consulting, LLC	ACRC 03017	TAS 114	09/30/03
IRT-ARCON Inc	02-026	TAS 114	07/26/02
	02-011		02/06/02





## APPROVED ASSEMBLIES

**Membrane Type:** SBS

**Deck Type II:** Wood, Insulated

**Deck Description:**  $\frac{19}{32}$ " or greater plywood or wood plank, fastened with #8 screws.

**System Type A(1):** Anchor sheet mechanically fastened; all layers of insulation fully adhered with approved asphalt.

All General and System limitations apply.

One or more layers of any of the following insulations:

Insulation Layer	Insulation Fasteners (Table 3)	Fastener Density/ft <sup>2</sup>
ENRGY 2, ENRGY 3 Minimum 1.3" thick	N/A	N/A
Fesco Foam, DuraFoam Minimum 1.5" thick	N/A	N/A
Fesco Board Minimum $\frac{3}{4}$ " thick	N/A	N/A
Retro-Fit Board, DuraBoard Minimum $\frac{1}{2}$ " thick	N/A	N/A

**Note:** All insulation shall be adhered to the anchor sheet in full mopping of approved hot asphalt within the EVT range and at a rate of 20-40 lbs/100 ft<sup>2</sup>. Please refer to Roofing Application Standard RAS 117 for insulation attachment. Insulation listed as base layer only shall be used only as base layers with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side facing down.

**Anchor Sheet:** One ply of GlasPly Premier, PermaPly 28 or Ventsulation fastened to the deck as described below:

**Fastening:** Anchor sheet shall be lapped 3" and fastened with 12 ga. annular ring shank nails and 1-5/8" diameter tin caps 9" o.c. in the lap and two rows staggered in the center of the sheet 9" o.c.

**Base Sheet:** (Optional) One ply of PermaPly 28, DynaBase, DynaBase XT, DynaBase PR or GlasBase Plus adhered to the insulated substrate in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. If base sheet is applied directly to polyisocyanurate insulation, only a spot or strip mopped application as detailed in this approval is approved; see General Limitation #4.

**Ply Sheet:** (Optional) One or more plies of GlasPly Premier, Glas Ply IV, DynaLastic 180S, DynaBase, DynaBase XT, DynaBase PR or DynaPly adhered to the a base sheet or perlite top layer with approved mopping of asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Base heat welded.



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**Membrane:** One or more plies of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaGlas 30 FR XT, DynaLastic 180, DynaLastic 180 FR, DynaLastic 180 S, DynaLastic 250, DynaLastic 250FR or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Cap FR heat welded. (See application instructions for approved method of installation).

Or

(Only with a modified Base or Ply sheet) GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Surfacing:** (Optional) Install one of the following:

1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq.. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.
3. GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Maximum Design Pressure:**

-60 (See General Limitation #7).





**Membrane Type:** SBS

**Deck Type II:** Wood, Insulated

**Deck Description:** <sup>19</sup>/<sub>32</sub>" or greater plywood or wood plank, fastened with #12-3" Olympic STD screws @ 6" o.c.

**System Type A(2):** Anchor sheet mechanically fastened; all layers of insulation fully adhered with approved asphalt.

**All General and System limitations apply.**

One or more layers of any of the following insulations:

<b>Insulation Layer</b>	<b>Insulation Fasteners (Table 3)</b>	<b>Fastener Density/ft<sup>2</sup></b>
<b>ENRGY 2, ENRGY 3 Minimum 1.3" thick</b>	N/A	N/A
<b>Fesco Foam, DuraFoam Minimum 1.5" thick</b>	N/A	N/A
<b>Fesco Board Minimum ¾" thick</b>	N/A	N/A
<b>Retro-Fit Board, DuraBoard Minimum ¾" thick</b>	N/A	N/A

**Note:** All insulation shall be adhered to the anchor sheet in full mopping of approved hot asphalt within the EVT range and at a rate of 20-40 lbs/100 ft<sup>2</sup>. Please refer to Roofing Application Standard RAS 117 for insulation attachment. Insulation listed as base layer only shall be used only as base layers with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side facing down.

**Anchor Sheet:** One ply of GlasPly Premier, PermaPly 28 or Ventsulation fastened to the deck as described below:

**Fastening:** Anchor sheet shall be lapped 3" and fastened with 2 ¼" Ultrafast screws and 3" plates, 8" o.c. at the lap and three rows staggered in the center of the sheet 8" o.c..

**Base Sheet:** (Optional) One ply of PermaPly 28, DynaBase, DynaBase XT, DynaBase PR or GlasBase Plus adhered to the insulated substrate in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. If base sheet is applied directly to polyisocyanurate insulation, only a spot or strip mopped application as detailed in this approval is approved; see General Limitation #4.

**Ply Sheet:** (Optional) One or more plies of GlasPly Premier, Glas Ply IV, DynaLastic 180S, DynaBase, DynaBase XT, DynaBase PR or DynaPly adhered to the a base sheet or perlite top layer with approved mopping of asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Base heat welded.



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**Membrane:** One or more plies of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaGlas 30 FR XT, DynaLastic 180, DynaLastic 180 FR, DynaLastic 180 S, DynaLastic 250, DynaLastic 250FR or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Cap FR heat welded. (See application instructions for approved method of installation).

Or

(Only with a modified Base or Ply sheet) GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Surfacing:** (Optional) Install one of the following:

1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq.. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.
3. GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Maximum Design Pressure:**

-52.5 (See General Limitation #7).





**Membrane Type:** SBS

**Deck Type II:** Wood, Insulated

**Deck Description:**  $1\frac{5}{32}$ " or greater plywood or wood plank

**System Type A(3):** Anchor sheet mechanically fastened; all layers of insulation fully adhered with approved asphalt.

**All General and System limitations apply.**

One or more layers of any of the following insulations:

<b>Insulation Layer</b>	<b>Insulation Fasteners (Table 3)</b>	<b>Fastener Density/ft<sup>2</sup></b>
<b>ENRGY 2, ENRGY 3 Minimum 1.3" thick</b>	N/A	N/A
<b>Fesco Foam, DuraFoam Minimum 1.5" thick</b>	N/A	N/A
<b>Fesco Board Minimum <math>\frac{3}{4}</math>" thick</b>	N/A	N/A
<b>Retro-Fit Board, DuraBoard Minimum <math>\frac{1}{2}</math>" thick</b>	N/A	N/A

**Note:** All insulation shall be adhered to the anchor sheet in full mopping of approved hot asphalt within the EVT range and at a rate of 20-40 lbs/100 ft<sup>2</sup>. Please refer to Roofing Application Standard RAS 117 for insulation attachment. Insulation listed as base layer only shall be used only as base layers with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side facing down.

**Anchor Sheet:** Two plies of PermaPly 28, DynaBase, GlasBase Plus, or Ventsulation fastened to the deck as described below:

**Fastening:** Anchor sheet shall be lapped 4" and fastened with approved roofing nails and tin caps 9" o.c. at the lap and two rows staggered in the center of the sheet 12" o.c.

**Base Sheet:** (Optional) One ply of PermaPly 28, DynaBase, DynaBase XT, DynaBase PR or GlasBase Plus adhered to the insulated substrate in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. If base sheet is applied directly to polyisocyanurate insulation, only a spot or strip mopped application as detailed in this approval is approved; see General Limitation #4.

**Ply Sheet:** (Optional) One or more plies of GlasPly Premier, Glas Ply IV, DynaLastic 180S, DynaBase, DynaBase XT, DynaBase PR or DynaPly adhered to the a base sheet or perlite top layer with approved mopping of asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Base, DynaWeld Base PR or DynaWeld 180S heat welded.





**Membrane:** One or more plies of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaGlas 30 FR XT, DynaLastic 180, DynaLastic 180 FR, DynaLastic 180 S, DynaLastic 250, DynaLastic 250FR or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Cap FR heat welded. (See application instructions for approved method of installation).

Or

(Only with a modified Base or Ply sheet) GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Surfacing:** (Optional) Install one of the following:

1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.
3. GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Maximum Design Pressure:**

-52.5 (See General Limitation #7).





**Membrane Type:** SBS

**Deck Type II:** Wood, Insulated

**Deck Description:**  $1\frac{1}{32}$ " or greater plywood or wood plank

**System Type A(4):** Anchor sheet mechanically fastened; all layers of insulation fully adhered with approved asphalt.

**All General and System limitations apply.**

One or more layers of any of the following insulations:

<b>Insulation Layer</b>	<b>Insulation Fasteners (Table 3)</b>	<b>Fastener Density/ft<sup>2</sup></b>
<b>ENRGY 2, ENRGY 3</b> Minimum 1.3" thick	N/A	N/A
<b>Fesco Foam, DuraFoam</b> Minimum 1.5" thick	N/A	N/A
<b>Fesco Board</b> Minimum $\frac{3}{4}$ " thick	N/A	N/A
<b>Retro-Fit Board, DuraBoard</b> Minimum $\frac{1}{2}$ " thick	N/A	N/A

**Note:** All insulation shall be adhered to the anchor sheet in full mopping of approved hot asphalt within the EVT range and at a rate of 20-40 lbs/100 ft<sup>2</sup>. Please refer to Roofing Application Standard RAS 117 for insulation attachment. Insulation listed as base layer only shall be used only as base layers with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side facing down.

**Anchor Sheet:** One ply of PermaPly 28, DynaBase, GlasBase Plus or Ventsulation fastened to the deck as described below:

**Fastening:** Anchor sheet shall be lapped 4" and fastened with approved roofing nails and tin caps 9" o.c. at the lap and three rows staggered in the center of the sheet 12" o.c..

**Base Sheet:** (Optional) One ply of PermaPly 28, DynaBase, DynaBase XT, DynaBase PR or GlasBase Plus adhered to the insulated substrate in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. If base sheet is applied directly to polyisocyanurate insulation, only a spot or strip mopped application as detailed in this approval is approved; see General Limitation #4.

**Ply Sheet:** (Optional) One or more plies of GlasPly Premier, Glas Ply IV, DynaLastic 180S, DynaBase, DynaBase XT, DynaBase PR or DynaPly adhered to the a base sheet or perlite top layer with approved mopping of asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Base heat welded.



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- Membrane:** One or more plies of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaGlas 30 FR XT, DynaLastic 180, DynaLastic 180 FR, DynaLastic 180 S, DynaLastic 250, DynaLastic 250FR or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Cap FR heat welded. (See application instructions for approved method of installation).  
Or  
(Only with a modified Base or Ply sheet) GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.
- Surfacing:** (Optional) Install one of the following:
1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
  2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.
  3. GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.
- Maximum Design Pressure:** -45 psf (See General Limitation #9).





**Membrane Type:** SBS

**Deck Type 1I:** Wood, Insulated

**Deck Description:**  $1\frac{9}{32}$ " or greater plywood or wood plank

**System Type B:** Base layer of insulation mechanically attached, top layer fully adhered with approved asphalt.

**All General and System limitations apply.**

One or more layers of any of the following insulations:

<b>Base Insulation Layer</b>	<b>Insulation Fasteners (Table 3)</b>	<b>Fastener Density/ft<sup>2</sup></b>
<b>E'NRG'Y 2</b>		
<b>Minimum 1.2" thick</b>	1, 2, 5 or 6	1:2 ft <sup>2</sup>
<b>Fesco Foam</b>		
<b>Minimum 1.5" thick</b>	1, 2, 5 or 6	1:2 ft <sup>2</sup>
<b>Fesco</b>		
<b>Minimum <math>\frac{3}{4}</math>" thick</b>	1, 2, 5 or 6	1:2 ft <sup>2</sup>
<b>Retro-Fit Board</b>		
<b>Minimum <math>\frac{1}{2}</math>" thick</b>	1, 2, 5 or 6	1:2 ft <sup>2</sup>

**Note:** Base layer shall be mechanically attached with fasteners and density described. Insulation panels listed are minimum sizes and dimensions; if larger panels are used the number of fasteners per board shall be increased maintaining the same fastener density (See Roofing Application Standard RAS 117 for fastening details).

<b>Top Insulation Layer (Optional)</b>	<b>Insulation Fasteners (Table 3)</b>	<b>Fastener Density/ft<sup>2</sup></b>
<b>Any insulation listed for Base Layer, above</b>		
<b>Retro-Fit Board</b>		
<b>Minimum <math>\frac{1}{2}</math>" thick</b>	N/A	N/A

**Note:** Optional top layer of insulation shall be adhered with approved asphalt within the EVT range and at a rate of 20-40 lbs/100 ft<sup>2</sup>. Please refer to Roofing Application Standard RAS 117 for insulation attachment. Composite insulation boards used as a top layer shall be installed with the polyisocyanurate face down.

**Base Sheet:** (Optional) One ply of PermaPly 28, DynaBase, DynaBase XT, DynaBase PR or GlasBase Plus adhered to the insulated substrate in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. If base sheet is applied directly to polyisocyanurate insulation, only a spot or strip mopped application as detailed in this approval is approved; see General Limitation #4.

**Ply Sheet:** (Optional) One or more plies of DynaBase, DynaBase XT, DynaBase PR, GlasBase Plus, PermaPly 28, GlasPly Premier, Glas Ply IV, DynaLastic 180S or DynaPly adhered to the a base sheet or perlite top layer with approved mopping of asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Base heat welded.



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**Membrane:** One or more plies of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaGlas 30 FR XT, DynaLastic 180, DynaLastic 180 FR, DynaLastic 180 S, DynaLastic 250, DynaLastic 250FR or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Cap FR heat welded. (See application instructions for approved method of installation).

Or

(Only with a modified Base or Ply sheet) GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Surfacing:** (Optional) Install one of the following:

1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.
3. GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Maximum Design Pressure:**

-45 psf (See General Limitation #9).





**Membrane Type:** SBS

**Deck Type II:** Wood, Insulated

**Deck Description:**  $1\frac{9}{32}$ " or greater plywood or wood plank

**System Type C:** All layers of insulation simultaneously mechanically fastened.

All General and System limitations apply.

One or more layers of any of the following insulations:

Base Insulation Layer	Insulation Fasteners (Table 3)	Fastener Density/ft <sup>2</sup>
ENRGY 2, ENRGY 3 Minimum 1" thick	N/A	N/A
Fesco Foam, DuraFoam Minimum 1.5" thick	N/A	N/A
Fesco Board Minimum $\frac{3}{4}$ " thick	N/A	N/A
Retro-Fit Board, DuraBoard Minimum $\frac{1}{2}$ " thick	N/A	N/A

**Note:** Both layers of insulation shall be simultaneously mechanically fastened; see top layer below for fasteners and density.

Top Insulation Layer	Insulation Fasteners (Table 3)	Fastener Density/ft <sup>2</sup>
Retro-Fit Board, DuraBoard Minimum $\frac{1}{2}$ " thick	1, 2, 5 or 6	1:2 ft <sup>2</sup>
Fesco Foam, DuraFoam Minimum 1.5" thick	1, 2, 5 or 6	1:2 ft <sup>2</sup>
Fesco Board Minimum $\frac{3}{4}$ " thick	1, 2, 5 or 6	1:2 ft <sup>2</sup>

**Note:** All layers of insulation shall be mechanically attached using the fastener density listed above. The insulation panels listed are minimum sizes and dimensions; if larger panels are used, the number of fasteners shall be increased maintaining the same fastener density. Insulation fasteners shall be tested for withdrawal resistance in compliance with Testing Application Standard TAS 105 to confirm compliance with the wind load requirements. Please refer to Roofing Application Standard RAS 117 for insulation attachment.

**Base Sheet:** (Optional) One ply of PermaPly 28, DynaBase, DynaBase XT, DynaBase PR or GlasBase Plus adhered to the insulated substrate in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. If base sheet is applied directly to polyisocyanurate insulation, only a spot or strip mopped application as detailed in this approval is approved; see General Limitation #4.



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- Ply Sheet:** (Optional) One or more plies of DynaBase, DynaBase XT, DynaBase PR, GlasBase Plus, PermaPly 28, GlasPly Premier, Glas Ply IV, DynaLastic 180S or DynaPly adhered to the a base sheet or perlite top layer with approved mopping of asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Base heat welded.
- Membrane:** One or more plies of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaGlas 30 FR XT, DynaLastic 180, DynaLastic 180 FR, DynaLastic 180 S, DynaLastic 250, DynaLastic 250FR or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Cap FR heat welded. (See application instructions for approved method of installation).  
Or  
(Only with a modified Base or Ply sheet) GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.
- Surfacing:** (Optional) Install one of the following:
1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
  2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.
  3. GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.
- Maximum Design Pressure:** -45 psf (See General Limitation #9).





**Membrane Type:** SBS

**Deck Type II:** Wood, Insulated

**Deck Description:**  $1\frac{9}{32}$ " or greater plywood or wood plank, fastened with #12-3" Olympic STD screws @ 6" o.c.

**System Type D:** All layers of insulation and base sheet simultaneously mechanically fastened.

**All General and System limitations apply.**

One or more layers of any of the following insulations:

<b>Insulation Layer</b>	<b>Insulation Fasteners (Table 3)</b>	<b>Fastener Density/ft<sup>2</sup></b>
<b>ENRGY 2, ENRGY 3 Minimum 1.3" thick</b>	N/A	N/A
<b>Fesco Foam, DuraFoam Minimum 1.5" thick</b>	N/A	N/A
<b>Fesco Board Minimum <math>\frac{3}{4}</math>" thick</b>	N/A	N/A
<b>Retro-Fit Board, DuraBoard Minimum <math>\frac{1}{2}</math>" thick</b>	N/A	N/A

**Note:** Top layer shall have preliminary attachment, prior to the installation of the base/anchor sheet, at a minimum application rate of two fasteners per board for insulation boards having no dimension greater than 4 ft., and four fasteners for any insulation board having no dimension greater than 8 ft. All layers of insulation and base sheet shall be simultaneously fastened. See base/anchor sheet below for fasteners and density.

**Base Sheet:** One ply of GlasPly Premier, PermaPly 28 or Ventsulation fastened to the deck as described below:

**Fastening :** Fasten base sheet with UltraFast screws and 3" metal plates at 8" o.c. in the lap and three additional rows in the field at 8" o.c.

**Ply Sheet:** (Optional) One or more plies of DynaBase, DynaBase XT, DynaBase PR, GlasBase Plus, PermaPly 28, GlasPly Premier, Glas Ply IV, DynaLastic 180S or DynaPly adhered to the a base sheet or perlite top layer with approved mopping of asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Base heat welded.

**Membrane:** One or more plies of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaGlas 30 FR XT, DynaLastic 180, DynaLastic 180 FR, DynaLastic 180 S, DynaLastic 250, DynaLastic 250FR or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Cap FR heat welded. (See application instructions for approved method of installation).  
Or  
(Only with a modified Base or Ply sheet) GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.





**Surfacing:**

(Optional) Install one of the following:

1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.
3. GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Maximum Design  
Pressure:**

-52.5 psf (See General Limitation #7).





**Membrane Type:** SBS  
**Deck Type 1:** Wood, Non-insulated  
**Deck Description:** 1<sup>9</sup>/<sub>32</sub>" or greater plywood or wood plank decks  
**System Type E(1):** Base sheet mechanically fastened.

**All General and System limitations apply.**

**Base Sheet:** Two plies of PermaPly No. 28, DynaBase, GlasBase Plus or Ventsulation fastened to the deck as described below:

**Fastening:** Base sheet shall be lapped 4" and fastened with approved roofing nails and tin caps 9" o.c. in the lap and two rows staggered in the center of the sheet 12" o.c..

**Ply Sheet:** (Optional) One or more plies of DynaBase, DynaBase XT, DynaBase PR, GlasBase Plus, PermaPly 28, GlasPly Premier, Glas Ply IV, DynaLastic 180S or DynaPly adhered to the a base sheet or perlite top layer with approved mopping of asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Base heat welded.

**Membrane:** One or more plies of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaGlas 30 FR XT, DynaLastic 180, DynaLastic 180 FR, DynaLastic 180 S, DynaLastic 250, DynaLastic 250FR or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Cap FR heat welded. (See application instructions for approved method of installation).  
Or  
(Only with a modified Base or Ply sheet) GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Surfacing:** (Optional) Install one of the following:

1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.
3. GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Maximum Design Pressure:** -52.5 psf (See General Limitation #7).





**Membrane Type:** SBS

**Deck Type 1:** Wood, Non-insulated

**Deck Description:**  $\frac{19}{32}$ " or greater plywood or wood plank, fastened with #12-3" Olympic STD screws @ 6" o.c.

**System Type E(2):** Base sheet mechanically fastened.

**All General and System limitations apply.**

**Base Sheet:** One ply of GlasPly Premier, PermaPly 28 or Ventsulation fastened to the deck as described below:

**Fastening:** Base sheet shall be lapped 3" and fastened with UltraFast screws and 3" plates 8" o.c. in the lap and three rows staggered in the center of the sheet 8" o.c..

**Ply Sheet:** (Optional) One or more plies of DynaBase, DynaBase XT, DynaBase PR, GlasBase Plus, PermaPly 28, GlasPly Premier, Glas Ply IV, DynaLastic 180S or DynaPly adhered to the a base sheet or perlite top layer with approved mopping of asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Base heat welded.

**Membrane:** One or more plies of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaGlas 30 FR XT, DynaLastic 180, DynaLastic 180 FR, DynaLastic 180 S, DynaLastic 250, DynaLastic 250FR or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Cap FR heat welded. (See application instructions for approved method of installation).

Or

(Only with a modified Base or Ply sheet) GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Surfacing:** (Optional) Install one of the following:

1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.
3. GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Maximum Design Pressure:**

-52.5 psf (See General Limitation #7).



NOA No.: 06-0626.04  
Expiration Date: 07/19/11  
Approval Date: 08/10/06  
Page 22 of 24



**Membrane Type:** SBS

**Deck Type 1:** Wood, Non-insulated

**Deck Description:** <sup>19</sup>/<sub>32</sub>" or greater plywood or wood plank, fastened with #8 screws.

**System Type E(3):** Base sheet mechanically fastened.

**All General and System limitations apply.**

**Base Sheet:** One ply of GlasPly Premier, PermaPly 28 or Ventsulation fastened to the deck as described below:

**Fastening:** Base sheet shall be lapped 3" and fastened with 12 ga. annular ring shank nails and 1-5/8" diameter tin caps 9" o.c. in the lap and two rows staggered in the center of the sheet 9" o.c.

**Ply Sheet:** (Optional) One or more plies of DynaBase, DynaBase XT, DynaBase PR, GlasBase Plus, PermaPly 28, GlasPly Premier, Glas Ply IV, DynaLastic 180S or DynaPly adhered to the a base sheet or perlite top layer with approved mopping of asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Base heat welded.

**Membrane:** One or more plies of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaGlas 30 FR XT, DynaLastic 180, DynaLastic 180 FR, DynaLastic 180 S, DynaLastic 250, DynaLastic 250FR or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or one ply DynaWeld Cap FR heat welded. (See application instructions for approved method of installation).  
Or  
(Only with a modified Base or Ply sheet) GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Surfacing:** (Optional) Install one of the following:

1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.
3. GlasKap Adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Maximum Design Pressure:**

-60 psf (See General Limitation #7).



NOA No.: 06-0626.04  
Expiration Date: 07/19/11  
Approval Date: 08/10/06  
Page 23 of 24



## WOOD DECK SYSTEM LIMITATIONS:

1. A slip sheet is required with Ply 4 and Ply 6 when used as a mechanically fastened base or anchor sheet.

## GENERAL LIMITATIONS:

1. Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer
3. All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
4. An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used the base sheet shall be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each side lap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq. **Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf.**
5. Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with Testing Application Standard TAS 105. If the fastener value, as field-tested, are below 275 lbf. Insulation attachment shall not be acceptable.
6. Fastener spacing for mechanical attachment of anchor/base sheet or membrane attachment is based on a minimum fastener resistance value in conjunction with the maximum design value listed within a specific system. Should the fastener resistance be less than that required, as determined by the Building Official, a revised fastener spacing, prepared, signed and sealed by a Florida Registered Engineer, Architect, or Registered Roof Consultant may be submitted. Said revised fastener spacing shall utilize the withdrawal resistance value taken from Testing Application Standards TAS 105 and calculations in compliance with Roofing Application Standard RAS 117.
7. If mechanical attachment to the structural deck through the lightweight insulating concrete is proposed, a field withdrawal resistance testing shall be performed to determine equivalent or enhanced fastener patterns and density. All testing and fastening design shall be in compliance with Testing Application Standard TAS 105 and Roofing Application Standard RAS 117, calculations shall be signed and sealed by a Florida Registered Engineer, Architect, or Registered Roof Consultant. **(When this limitation is specifically referred within this NOA, General Limitation #9 will not be applicable.)**
8. All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform to Roofing Application Standard RAS 111 and applicable wind load requirements.
9. The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners). **(When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.)**
10. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.

## END OF THIS ACCEPTANCE



NOA No.: 06-0626.04  
Expiration Date: 07/19/11  
Approval Date: 08/10/06  
Page 24 of 24





## TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 34 FIELDWAY.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

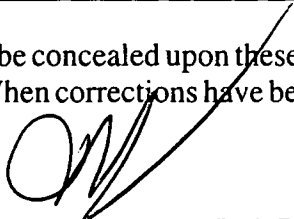
NOY-IN

SUBMIT 2 COPIES PRODUCT  
APPROVAL FOR SKYLITE  
DOMES-

SUBMIT CONTRACTOR DOOPING  
AFFIDAVIT.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/18



INSPECTOR

**DO NOT REMOVE THIS TAG**



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection: ☐ Mon ☒ Wed ☐ Fri 6-18, 2008

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8877	Brush	Final	FAIL	
4	2 Mindow Everlast Screens			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8813	Hepworth	meter	FAIL	
2	3 Riverview Sand Castle			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8145	Gessinger	meter final	PASS	
10	8 Castle Hill OB			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
		<del>Fence</del>		
CE	15 Palm Rd	No Permit	Thurs	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
		<del>Tree removal</del>		
CE	5 Middle Rd	No Permit	Thurs.	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
58135	Stark	slab-Equipment	PASS	
before 10	815 River Emil LaViola			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8923	<del>Vigors</del>	<del>Shooting</del>	<del>FAIL</del>	
1	34 Fieldway Stuart Roof			INSPECTOR: <i>OM</i>

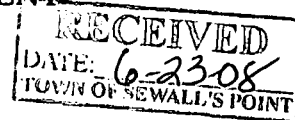
OTHER:





## TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

RE: Permit # 8925Date 6-23-08**Inspection Affidavit**

I JOHN W TURNER, licensed as a(n) Contractor /Engineer/Architect,  
(please print name and circle Lic. Type) FS 468 Building Inspector\*

License #: CCC-024411

On or about June 18, 08, I did personally inspect the roof  
(Date & time)

deck nailing and/or secondary water barrier work at 34 FIELDWAY DRIVE,  
(circle one) (Job Site Address)

Based upon that examination I have determined the installation was done according to the  
Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

[Signature]  
Signature

STATE OF FLORIDA

COUNTY OF

Sworn to and subscribed before me this 23 day of June, 2008By John W. Turner

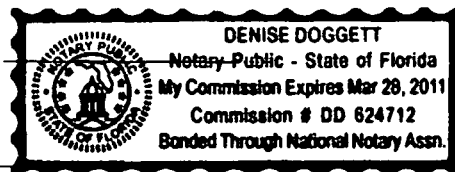
Notary Public, State of Florida

[Signature]  
(Print, type or stamp name)

Commission No.:

Personally known ☒ orProduced Identification ☐

Type of identification produced. \_\_\_\_\_



\* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection.



PERMIT #8925  
34 FIELDWAY DRIVEBUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISIONMIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908[www.miamidade.gov](http://www.miamidade.gov)**NOTICE OF ACCEPTANCE (NOA)**Maxim Industries, Inc.  
1630 Terre Colony Court  
Dallas, TX 75212

Scope: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Dade Curb-Mount & Self-Flashing Skylight.

**APPROVAL DOCUMENT:** Drawing No. DCM-1 & DSF-1, titled "Dade Curb Mount & Dade Self Flashing", sheets No. 1 and 2 of 2, prepared by Maxim Industries, Inc., dated 04/01/03 with no revisions, signed and sealed by Richard Boyette, P.E. on 04/10/2003, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and the approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** Large & Small Missile Impact

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein and the dome shall be properly marked by Sheffield Plastics.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 03-0224.11 and consists of this page 1, evidence submitted page E-1 as well as approval document mentioned above.

The submitted documentation was reviewed by Helmy A. Makar, P.E., M.S.

*Helmy A. Makar*  
04/24/2008NOA No. 08-0219.02  
Expiration Date: 05/15/2013  
Approval Date: 04/24/2008  
Page 1



**Maxim Industries, Inc.****NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

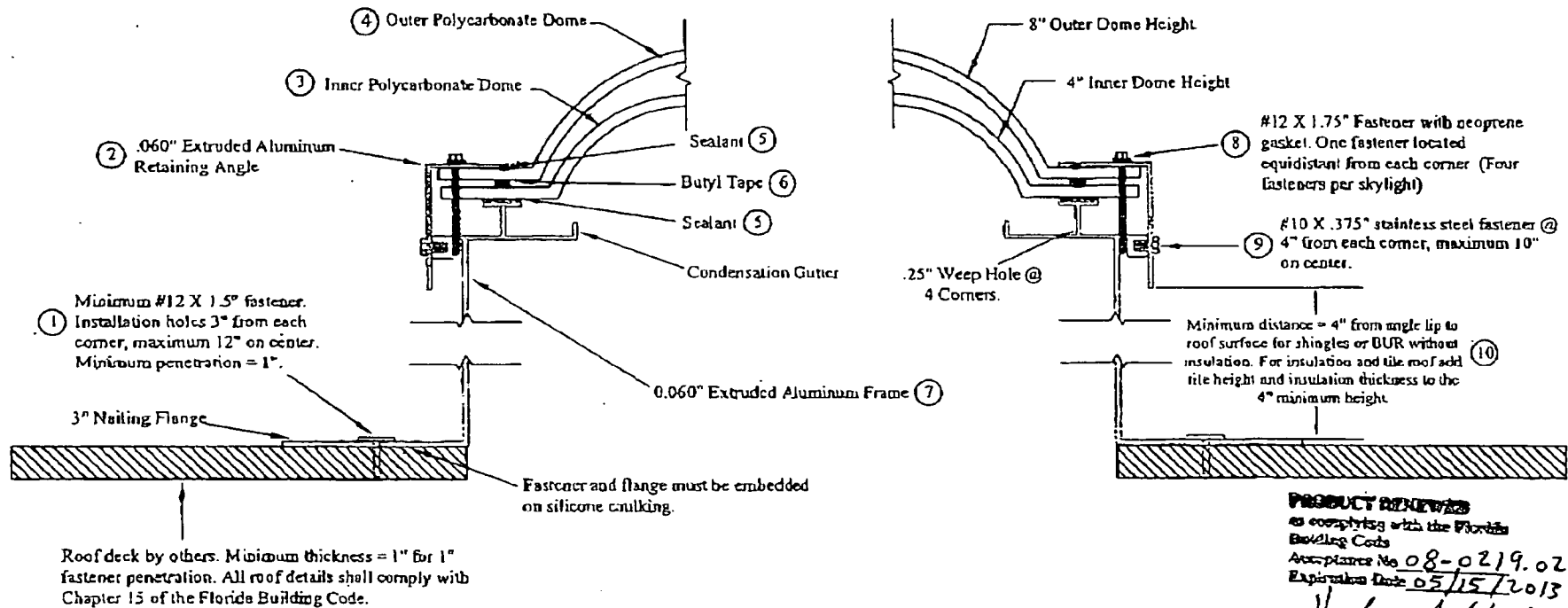
- 1. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #03-0224.11**
- A. DRAWINGS**
  1. *Drawing No. DCM-1 & DSF-1, sheet 1 and 2 of 2, titled "Dade Curb Mount & Dade Self Flashing", prepared by Maxim Industries, Inc, dated 04/01/03, with no revision, signed and sealed by R. Boyette, P.E.*
- B. TESTS**
  1. *Test report on Large Missile Impact Test per TAS 201, Cyclic Load Test per TAS 203 and Uniform Static air Pressure Test per TAS 202 on "Dade Self-Flashing, Dade Curb mount", prepared by Architectural Testing, Inc, report No. 01-43381.01 issued on 01/29/03, signed and sealed by S. M. Uric, P.E.*
- C. CALCULATIONS**
  1. *Anchor calculations prepared by Richard Burette, signed and sealed by R. Burette on 02/11/03*
- D. MATERIAL CERTIFICATIONS**
  1. *Notice of Acceptance No. 01-0709.07 issued to Sheffield Plastics, Inc. on 08/23/01, expiring on 08/27/06.*
- E. STATEMENTS**
  1. *Code compliance letter issued by Richard Burette, P.E. on 02/11/03, signed and sealed by R. Boyette, P.E.*
- 2. NEW EVIDENCE SUBMITTED**
- A. DRAWINGS**
  1. *None.*
- B. TESTS**
  1. *None.*
- C. CALCULATIONS**
  1. *None.*
- D. QUALITY ASSURANCE**
  1. *By Miami-Dade County Building Code Compliance Office.*
- E. MATERIAL CERTIFICATIONS**
  1. *None.*



Henry A. Makar, P.E., M.S.  
Product Control Examiner  
NOA No. 08-0219.02  
Expiration Date: 05/15/2013  
Approval Date: 04/24/2008



- ① Minimum #12 X 1.5" fastener by others. Pre-punched installation holes 3" from each corner, maximum 12" on center. Minimum penetration = 1".
- ② .060" X 1.5" X 1.75" 6063-T5 extruded aluminum retaining angle. Aluminum angle mitered and welded @ 4 corners.
- ③ 49" X 97" X .118" Hyzod inner polycarbonate dome @ 4" height. NOA: #01-0709-07.
- ④ 49" X 97" X .118" Hyzod outer polycarbonate dome @ 8" height. NOA: #01-0709-07.
- ⑤ OSI PR 256 urethane sealant. Located between aluminum angle retainer and top dome & between bottom dome and aluminum frame.
- ⑥ Butyl tape: 1" X .125" located between top and bottom domes.
- ⑦ 6063-T5 Extruded Aluminum Frame. 0.060" shape mitered and welded @ 4 corners.
- ⑧ #12 X 1.75" Fastener. One fastener located equidistant from each corner. (Four fasteners per skylight)
- ⑨ #10 X .375" stainless steel fastener @ 4" from each corner, maximum 10" on center.
- ⑩ Minimum distance = 4" from angle lip to roof surface for shingles or BUR without insulation. For insulation and tile roof add tile height and insulation thickness to the 4" minimum height.
- ⑪ All units equal to or less than 32 square feet will be accepted under this NOA.



## Dade Self Flashing Model

**PRODUCT REVIEW**  
 as complying with the Florida  
 Building Code  
 Acceptance No. 08-0219.02  
 Expiration Date 05/15/2013  
 By: *Heather A. Miller*  
 Field Dade Product Control  
 Division

Date: 04/01/03 Draw. #DSF-1  
 Drawing: Dade Self Flashing  
 Sheet#: 2 of 2  
 Design Pressure: 60psf +/-  
 Max. Skylight ID: 48" X 96"

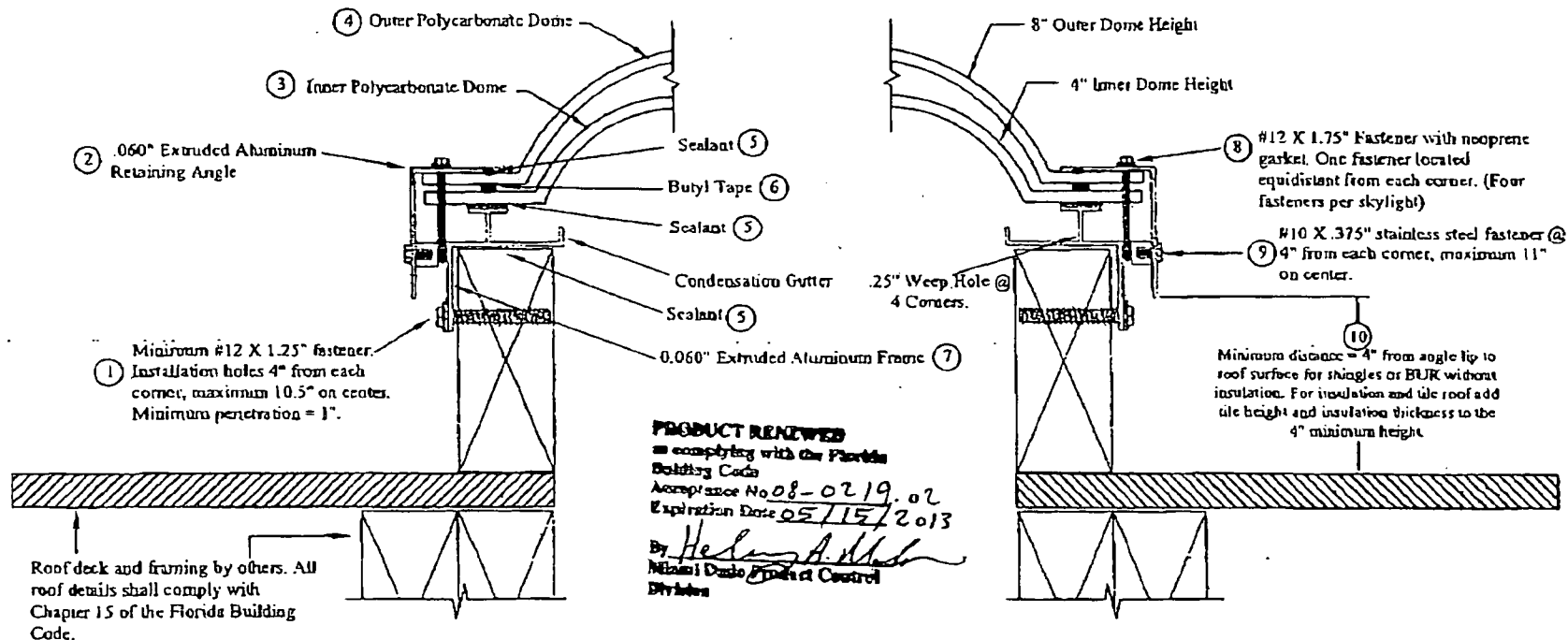
Approved as complying with the  
 Florida Building Code  
 Date: 05/15/03  
 NOA: 08-0224-11  
 Michael Dade Product Control  
 Division

RICHARD BOYETTE  
 FL PE # 42485  
 4031 COCONUT BLVD  
 ROYAL PALM BCH FL 334  
 561-790-5766

**MAXIM INDUSTRIES, INC**  
 6170 Vanderbilt Avenue Dallas, TX 75214  
 Phone: 214-824-1557 Fax: 214-371-7345



- ① Minimum #12 X 1.25" fastener by others. Pre-punched installation holes 4" from each corner, maximum 10.5" on center. Minimum penetration = 1".
- ② .060" X 1.5" X 1.75" 6063-T6 extruded aluminum retaining angle. Aluminum angle mitered and welded @ 4 corners.
- ③ 52.5" X 100.375" X .118" Hyzod inner polycarbonate dome @ 4" height. NOA: #01-0709-07.
- ④ 52.5" X 100.375" X .118" Hyzod outer polycarbonate dome @ 8" height. NOA: #01-0709-07.
- ⑤ OSI PR 256 urethane sealant. Located between aluminum angle retainer and top dome & between bottom dome and aluminum frame.
- ⑥ Butyl tape: 1" X .125" located between top and bottom domes.
- ⑦ 6063-T5 Extruded Aluminum Frame. 0.060" shape mitered and welded @ 4 corners.
- ⑧ #12 X 1.75" Fastener. One fastener located equidistant from each corner. (Four fasteners per skylight)
- ⑨ #10 X .375" stainless steel fastener @ 4" from each corner, maximum 11" on center.
- ⑩ Minimum distance = 4" from angle lip to roof surface for shingles or BUR without insulation. For insulation and tile roof add tile height and insulation thickness to the 4" minimum height.
- ⑪ All units equal to or less than 32 square feet will be accepted under this NOA.



## Dade Curb Mount Model

RICHARD BOYETTE

Date: 04/01/03 Draw. #DCM-1

Drawing: Dade Curb Mount

Sheet#: 1 of 2

Design Pressure: 60psf +/-

Max. Skylight ID: 51.75" X 99.75"

Approved as complying with the Florida Building Code  
 Date: 05/15/03  
 NOA: 03-0224.01  
 Miami Dade Product Control Division

FL PE # 42485  
 4031 COCONUT BLVD  
 ROYAL PALM BCH FL 33411  
 561-790-5756

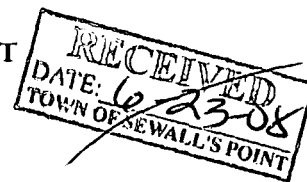
**MAXIM INDUSTRIES, INC**

6170 Vanderbilt Avenue Dallas, TX 75214  
 Phone: 214.824.1557 Fax: 214.371.7345





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765



RE: Permit # 8925 FILE

Date 6-23-08

### Inspection Affidavit

I JOHN W. TURNER, licensed as a(n) Contractor\* /Engineer/Architect,  
(please print name and circle Lic. Type) FS 468 Building Inspector\*

License #: CCC-024411

On or about June 18, 08, I did personally inspect the roof  
(Date & time)

deck nailing and/or secondary water barrier work at 34 FIELDWAY DRIVE  
(circle one) (Job Site Address)

Based upon that examination I have determined the installation was done according to the Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

[Signature]  
Signature

STATE OF FLORIDA  
COUNTY OF

Sworn to and subscribed before me this 23 day of June, 2008

By John W. Turner

Notary Public, State of Florida

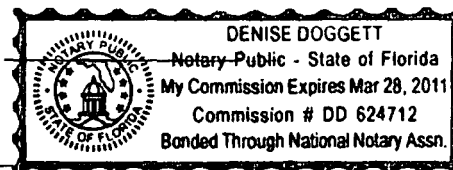
[Signature]  
(Print, type or stamp name)

Commission No.:

Personally known ☒ or

Produced Identification       

Type of identification produced       



\* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection.



PERMIT # 8925  
34 FIELDWAY DRIVEBUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISIONMIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908[www.miamidade.gov](http://www.miamidade.gov)**NOTICE OF ACCEPTANCE (NOA)**Maxim Industries, Inc.  
1630 Terre Colony Court  
Dallas, TX 75212

Scope: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Dade Curb-Mount & Self-Flashing Skylight.

**APPROVAL DOCUMENT:** Drawing No. DCM-1 & DSF-1, titled "Dade Curb Mount & Dade Self Flashing", sheets No. 1 and 2 of 2, prepared by Maxim Industries, Inc., dated 04/01/03 with no revisions, signed and sealed by Richard Boyette, P.E. on 04/10/2003, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and the approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** Large & Small Missile Impact

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein and the dome shall be properly marked by Sheffield Plastics.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 03-0224.11 and consists of this page 1, evidence submitted page E-1 as well as approval document mentioned above.

The submitted documentation was reviewed by Helmy A. Makar, P.E., M.S.

*Helmy A. Makar*  
04/24/2008NOA No. 08-0219.02  
Expiration Date: 05/15/2013  
Approval Date: 04/24/2008  
Page 1



**Maxim Industries, Inc.****NOTICE OF ACCEPTANCE; EVIDENCE SUBMITTED****1. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #03-0224.11****A. DRAWINGS**

1. *Drawing No. DCM-1 & DSF-1, sheet 1 and 2 of 2, titled "Dade Curb Mount & Dade Self Flashing", prepared by Maxim Industries, Inc, dated 04/01/03, with no revision, signed and sealed by R. Boyette, P.E.*

**B. TESTS**

1. *Test report on Large Missile Impact Test per TAS 201, Cyclic Load Test per TAS 203 and Uniform Static air Pressure Test per TAS 202 on "Dade Self-Flashing, Dade Curb mount", prepared by Architectural Testing, Inc, report No. 01-43381.01 issued on 01/29/03, signed and sealed by S. M. Uric, P.E.*

**C. CALCULATIONS**

1. *Anchor calculations prepared by Richard Burette, signed and sealed by R. Burette on 02/11/03*

**D. MATERIAL CERTIFICATIONS**

1. *Notice of Acceptance No. 01-0709.07 issued to Sheffield Plastics, Inc. on 08/23/01, expiring on 08/27/06.*

**E. STATEMENTS**

1. *Code compliance letter issued by Richard Burette, P.E. on 02/11/03, signed and sealed by R. Boyette, P.E.*

**2. NEW EVIDENCE SUBMITTED****A. DRAWINGS**

1. *None.*

**B. TESTS**

1. *None.*

**C. CALCULATIONS**

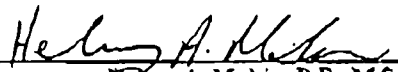
1. *None.*

**D. QUALITY ASSURANCE**

1. *By Miami-Dade County Building Code Compliance Office.*

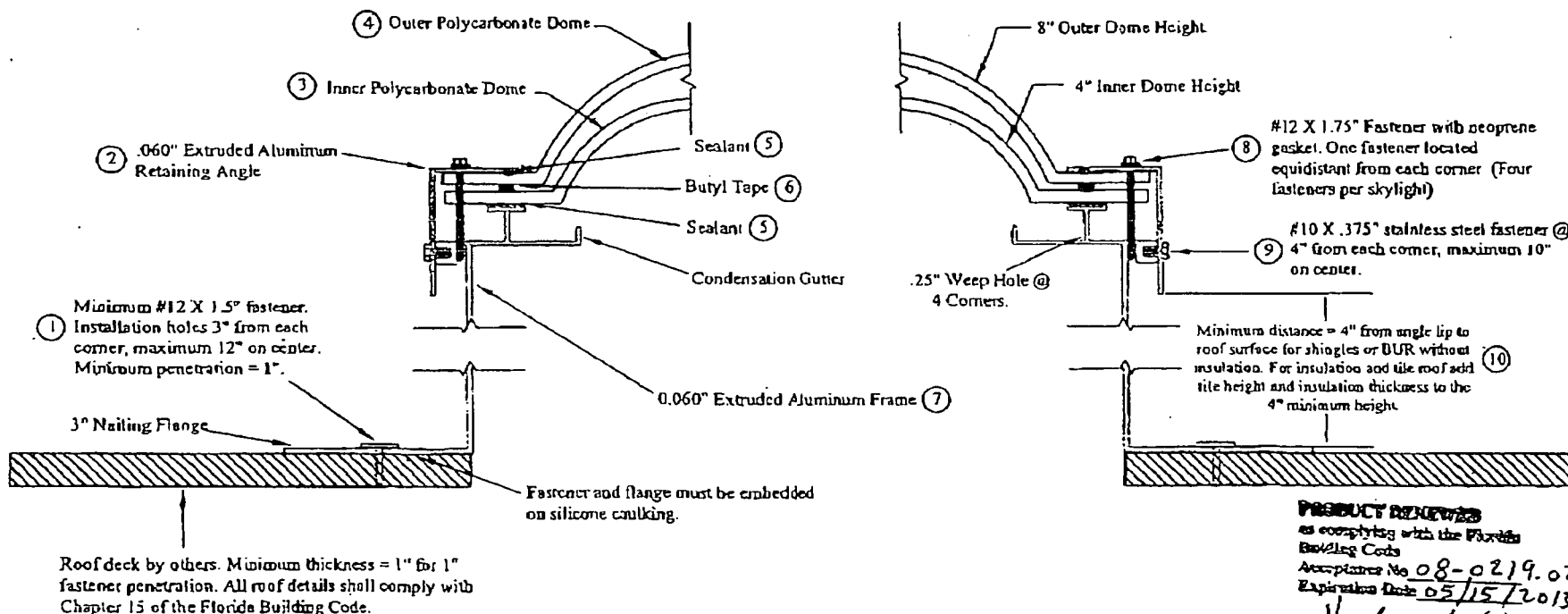
**E. MATERIAL CERTIFICATIONS**

1. *None.*

**Henry A. Makar, P.E., M.S.****Product Control Examiner****NOA No. 08-0219.02****Expiration Date: 05/15/2013****Approval Date: 04/24/2008**



- ① Minimum #12 X 1.5" fastener by others. Pre-punched installation holes 3" from each corner, maximum 12" on center. Minimum penetration = 1".
- ② .060" X 1.5" X 1.75" 6063-T6 extruded aluminum retaining angle. Aluminum angle mitered and welded @ 4 corners.
- ③ 49" X 97" X .118" Hyzod inner polycarbonate dome @ 4" height. NOA: #01-0709-07.
- ④ 49" X 97" X .118" Hyzod outer polycarbonate dome @ 8" height. NOA: #01-0709-07.
- ⑤ OSI PR 256 urethane sealant. Located between aluminum angle retainer and top dome & between bottom dome and aluminum frame.
- ⑥ Butyl tape: 1" X .125" located between top and bottom domes.
- ⑦ 6063-T6 Extruded Aluminum Frame. 0.060" shape mitered and welded @ 4 corners.
- ⑧ #12 X 1.75" Fastener. One fastener located equidistant from each corner. (Four fasteners per skylight)
- ⑨ #10 X .375" stainless steel fastener @ 4" from each corner, maximum 10" on center.
- ⑩ Minimum distance = 4" from angle lip to roof surface for shingles or BUR without insulation. For insulation and tile roof add tile height and insulation thickness to the 4" minimum height.
- ⑪ All units equal to or less than 32 square feet will be accepted under this NOA.



**PRODUCT REVIEWED**  
 as complying with the Florida  
 Building Code  
 Acceptance No. 08-0219.02  
 Expiration Date 05/15/2013  
 By: *Heather A. Walsh*  
 Miami Dade Product Control  
 Division

## Dade Self Flashing Model

Date: 04/01/03 Draw. #DSF-1  
 Drawing: Dade Self Flashing  
 Sheet#: 2 of 2  
 Design Pressure: 60psf +/-  
 Max. Skylight ID: 48" X 96"

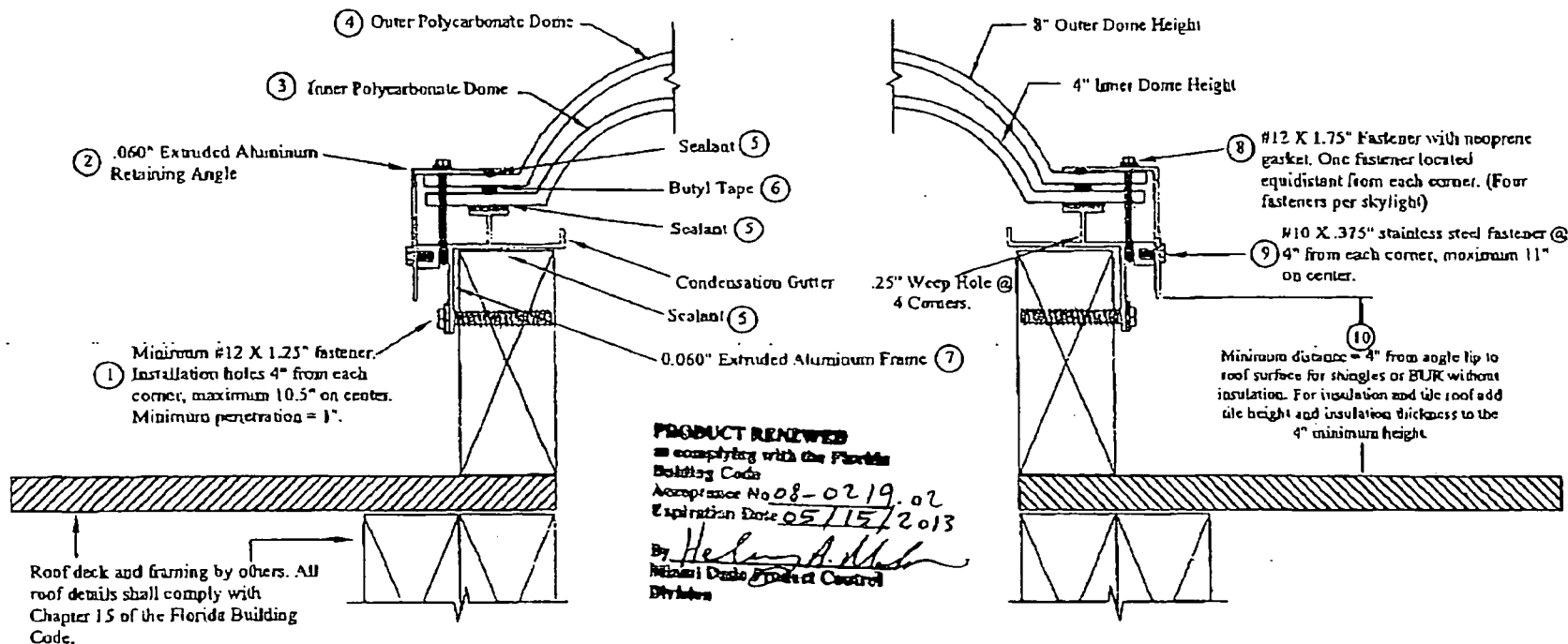
Approved as complying with the  
 Florida Building Code  
 Date: 05/15/03  
 NOA: 08-0224.11  
 Miami Dade Product Control  
 Division

RICHARD BOYETTE  
 FL PE # 42485  
 4031 COCONUT BLVD  
 ROYAL PALM BCH FL 334  
 561-790-5766

**MAXIM INDUSTRIES, INC**  
 6170 Vanderbilt Avenue Dallas, TX 75214  
 Phone: 214-824-1557 Fax: 214-371-7345



- ① Minimum #12 X 1.25" fastener by others. Pre-punched installation holes 4" from each corner, maximum 10.5" on center. Minimum penetration = 1".
- ② .060" X 1.5" X 1.75" 6063-T6 extruded aluminum retaining angle. Aluminum angle mitered and welded @ 4 corners.
- ③ 52.5" X 100.375" X .118" Hyzod inner polycarbonate dome @ 4" height. NOA: #01-0709-07.
- ④ 52.5" X 100.375" X .118" Hyzod outer polycarbonate dome @ 8" height. NOA: #01-0709-07.
- ⑤ OSI PR 256 urethane sealant. Located between aluminum angle retainer and top dome & between bottom dome and aluminum frame.
- ⑥ Butyl tape: 1" X .125" located between top and bottom domes.
- ⑦ 6063-T5 Extruded Aluminum Frame. 0.060" shape mitered and welded @ 4 corners.
- ⑧ #12 X 1.75" Fastener. One fastener located equidistant from each corner. (Four fasteners per skylight)
- ⑨ #10 X .375" stainless steel fastener @ 4" from each corner, maximum 11" on center.
- ⑩ Minimum distance = 4" from angle lip to roof surface for shingles or BUR without insulation. For insulation and tile roof add tile height and insulation thickness to the 4" minimum height.
- ⑪ All units equal to or less than 32 square feet will be accepted under this NOA.



## Dade Curb Mount Model

RICHARD BOYETTE

Date: 04/01/03 Draw. #DCM-1

Drawing: Dade Curb Mount

Sheet#: 1 of 2

Design Pressure: 60psf +/-

Max. Skylight ID: 51-75" X 99-75"

Approved: *[Signature]*  
 Florida Building Code  
 Date: 05/15/03  
 NOA: 03-0274.0  
 Miami Dade Product Control  
 Division

FL PE # 42485  
 4031 COCONUT BLVD  
 ROYAL PALM BCH FL 33411  
 561-790-5766

**MAXIM**  
 INDUSTRIES, INC  
 6170 Vanderbilt Avenue Dallas, TX 75214  
 Phone: 214.824.1557 Fax: 214.371.7345



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection: ☐ Mon ☒ Wed ☐ Fri 6-25, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8919	Majewski	Form+steel	PASS	
1	24 El High Pt A+G Pools	SPA		INSPECTOR: <i>[Signature]</i>
6570	Majewski	Ac Final	PASS	CLOSE
1	24 E High Pt N/Air			INSPECTOR: <i>[Signature]</i>
8803	Tenatien	Final	PASS	CLOSE
4	71 S Sewalls Terrells			INSPECTOR: <i>[Signature]</i>
8844	Poch	Final	PASS	CLOSE
5	14 S Sewalls Harbor Bay	pool deck panels.		INSPECTOR: <i>[Signature]</i>
8813	Hepworth	meter	FAIL	
3	3 Riverview Sand Castle			INSPECTOR: <i>[Signature]</i>
8725	Lupino	dry in meter in progress	PASS	INSPECTOR: <i>[Signature]</i>
6	34 Fieldway Stuart Roofing	10:00		INSPECTOR: <i>[Signature]</i>
8766	Dressler	rough plumb.	PASS	
2	12 Island Rd A+G Pools			INSPECTOR: <i>[Signature]</i>
OTHER:	8709 Durante	in-progress	PASS	
	48 S Sewalls			
	Latitude 27			



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection: ☐ Mon ☒ Wed ☐ Fri 7-2, 2008

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
88047	Geller	strapping	PASS	PARTIAL
LATE	10 Palmetto Ken Wendell			INSPECTOR: <i>[Signature]</i>
8870	Bruce	final	PASS	CLOSE
2	2 Mindow St Parks Co	(stemmed)		INSPECTOR: <i>[Signature]</i>
8917	Mann	final	PASS	CLOSE
4	5 Palama Seagate			INSPECTOR: <i>[Signature]</i>
8925	<del>Don</del>	<del>final</del>	<del>PASS</del>	<del>CLOSE</del>
5	34 Highway Stuart Roofing			INSPECTOR: <i>[Signature]</i>
8911	<del>William</del>	<del>Electric rough</del>	<del>PASS</del>	<del>CLOSE</del>
3	3400th Ct Eric Johnson	Electric rough	PASS	INSPECTOR: <i>[Signature]</i>
8820	Deschane	turns eng	PASS	
6	64 N River Rd JMC	all trades	PASS	INSPECTOR: <i>[Signature]</i>
		WINDON/DONALDSON	PASS	
CE	4 Riverview	work w/o permit		INSPECTOR:
OTHER:	CE. 4 VIA LOREINDA OVERGROWN			



9553

---

AC CHANGE

---

☐ BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9553	DATE ISSUED:	AUGUST 31, 2010
SCOPE OF WORK:	AC CHANGEOUT		
CONDITIONS:			
CONTRACTOR:	PARAGON INDOOR AIR		
PARCEL CONTROL NUMBER:	353741-002-001-001007	SUBDIVISION	INDIALUCIE, L 10, BL 1
CONSTRUCTION ADDRESS:	34 FIELDWAY DR		
OWNER NAME:	LYONS		
QUALIFIER:	KEVIN SHARKEY	CONTACT PHONE NUMBER:	220-2487

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**

One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**BUILDING PERMIT RECEIPT**

PERMIT NUMBER:	9553		
ADDRESS	34 FIELDWAY DR		
DATE:	8/31/10	SCOPE:	AC CHANGEOUT

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s.f.	

DOCUMENT IS PRINTED ON CHEMICALLY REACTIVE PAPER - THE BACK OF THIS DOCUMENT INCLUDES A TAMPER EVIDENT CHEMICAL WASH WARNING BOX

THE COOL GUYS, LLC  
D/B/A PARAGON INDOOR AIR QUALITY  
7862 SW ELLIPSE WAY  
STUART, FL 34997

GULFSTREAM BUSINESS BANK  
FLORIDA'S BUSINESS BANK  
2400 S.E. MONTEREY ROAD  
STUART, FL 34996

6092

PAY TO THE  
ORDER OF

*City of Sewall's Point*  
*Eighty*

63 4712/670  
01

*8/31/10*

*\$ 80.00*

DOLLARS

MEMO

AUTHORIZED SIGNATURE



ACCESSORY PERMIT	Declared Value:	\$	5558
Total number of inspections @ \$75.00 each		\$	75
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	80

*ck# 6092*



**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Date: 8/28/10

Permit Number: 9553

OWNER/TITLEHOLDER NAME: John + Alice Lyons Phone (Day) 288-5386 (Fax) 288-5316

Job Site Address: 34 Fieldway Dr City: Stuart State: FL Zip: 34996

Legal Description Indialucie, Lot 10 Blk 1 Parcel Control Number: 35-37-41-002-001-00100-7

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work (please be specific): AC Change out

**WILL OWNER BE THE CONTRACTOR?**

(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO ☒

Has a Zoning Variance ever been granted on this property?

YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO ☒  
(Must include a copy of all variance approvals with application)

**COST AND VALUES: (Required on ALL permit applications)**

Estimated Value of Improvements: \$ 5558.00  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 ☐ AE9 ☐ AE8 ☒ **FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: The Cool Guys LLC Paragon Phone: 772-220-2487 Fax: 772-220-3787

Street: 7802 SW Ellipse Way City: Stuart State: FL Zip: 34997

State License Number: CAC049289 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: Kevin Sharkey Phone Number: 772-260-0179

DESIGN PROFESSIONAL: \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof: \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFB: \_\_\_\_\_  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007  
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

**NOTICES TO OWNERS AND CONTRACTORS:**

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)  
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

Alice L. Lyons  
State of Florida, County of: Martin  
This the 27th day of August, 2010  
by Alice L. Lyons who is personally  
known to me or produced  
as identification. Jeanine M. Tyner

Notary Public

My Commission Expires: \_\_\_\_\_

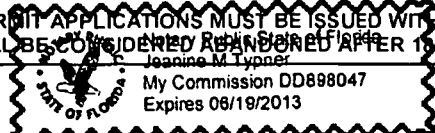
CONTRACTOR SIGNATURE: (required)

Kevin Sharkey  
On State of Florida, County of: Martin  
This the 27th day of August, 2010  
by Kevin Sharkey who is personally  
known to me or produced  
as identification. Elizabeth Obannon

My Commission Expires: \_\_\_\_\_

**ELIZABETH OBANNON**  
Notary Public  
MY COMMISSION # DD874286  
EXPIRES March 25, 2013

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!  
APPLICATIONS WILL BE CONSIDERED REINQUIRED AFTER 150 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!







# **Martin County, Florida** **Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com T1.11

## **Summary**

print Owner  
 23 of 25

### **Tabs**

#### **Summary**

Print View

Land

Improvements

Assessments &

Exemptions

Sales

Taxes →

Parcel Map →

### **Searches**

Parcel ID

**Owner**

Address

Account #

Land Use

Legal Description

Neighborhood

Sales

Maps →

### **Functions**

Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
35-37-41-002-001-00100-7	9422	34 NE FIELDWAY DR,	\$257,210	08/28/2010

**Owner Information**

**Owner(Current)** LYONS JOHN M & ALICE L

**Owner/Mail Address** 34 FIELDWAY DR  
 STUART FL 34996

**Transfer Date** 04/21/2003

**Document Number** 1654504

**Document Reference No.** 1758 0624

Location/Description	
<b>Account #</b>	9422
<b>Tax District</b>	2200
<b>Parcel Address</b>	34 NE FIELDWAY DR,
<b>Acres</b>	.3590
<b>Map Page No.</b>	
<b>Legal Description</b>	INDIALUCIE, LOT 10 BLK 1

#### **Parcel Type**

**Land Use** 0100 Single Family  
**Neighborhood** 120500 Melody Hill,India Lucie

#### **Assessment Information**

<b>Market Land Value</b>	\$138,000
<b>Market Improvement Value</b>	\$119,210
<b>Market Total Value</b>	\$257,210

Print Back to List First Previous Next Last

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**MANATRON**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

FILE COPY  
**TOWN OF SEWALL'S POINT**  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE 8-31-10  
**BUILDING OFFICIAL**

**Air Conditioning Change out Affidavit**

Residential ☒ Commercial ☐  
Package Unit ☐ Yes ☒ No (Use Condenser side of form below for equipment listing)  
Duct Replacement ☐ Yes ☒ No - Refrigerant line replacement ☐ Yes ☒ No  
Flushing Existing Refrigerant lines ☒ Yes ☐ No - Adding Refrigerant Drier ☒ Yes ☐ No  
Rooftop A/C Stand Installation ☐ Yes ☒ No - Curb Installation ☐ Yes ☒ No  
Smoke Detector in Supply (over 2000 CFM) ☐ Yes ☒ No

**One form required for each A/C system installed**

**REPLACEMENT SYSTEM COMPONENTS**

<b>Air handler:</b> Mfg: <u>TRANE</u> Model# <u>4TTE304</u>	<b>Condenser:</b> Mfg <u>TRANE</u> Model# <u>4TTR5036</u>
Volts <u>208/230</u> CFM's <u>1150</u> Heat Strip <u>10</u> Kw	Volts <u>208/230</u> SEER/EER <u>16</u> BTU's <u>35,200</u>
Min. Circuit Amps <u>50</u> Wire gauge <u>6</u>	Min. Circuit Amps <u>20</u> Wire gauge <u>10</u>
Max. Breaker size <u>60</u> Min. Breaker size <u>50</u>	Max. Breaker size <u>30</u> Min. Breaker size <u>    </u>
Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>
Refrigerant type <u>410A</u>	Refrigerant type <u>410A</u>
Location: Existing <input checked="" type="checkbox"/> New <input type="checkbox"/>	Location: Existing <input checked="" type="checkbox"/> New <input type="checkbox"/>
Attic/Garage/Closet (specify) <u>ATTIC</u>	Left/Right/Rear/Front/Roof <u>RIGHT</u>
Access: <u>    </u>	Condensate Location <u>SAME</u>

**EXISTING SYSTEM COMPONENTS**

<b>Air handler:</b> Mfg: <u>RH5E01</u> Model# <u>4EAB1410</u>	<b>Condenser:</b> Mfg <u>RH5E01</u> Model# <u>UAJA036</u>
Volts <u>208/230</u> CFM's <u>1150</u> Heat Strip <u>10</u> Kw	Volts <u>208/230</u> SEER/EER <u>?</u> BTU's <u>35,000</u>
Min. Circuit Amps <u>50</u> Wire gauge <u>6</u>	Min. Circuit Amps <u>50</u> Wire gauge <u>6</u>
Max. Breaker size <u>60</u> Min. Breaker size <u>50</u>	Max. Breaker size <u>    </u> Min. Breaker size <u>    </u>
Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>
Refrigerant type <u>R-22</u>	Refrigerant type <u>R-22</u>
Location: Ext. <input checked="" type="checkbox"/> New <input type="checkbox"/>	Location: Ext. <input checked="" type="checkbox"/> New <input type="checkbox"/>
Attic/Garage/Closet (specify) <u>ATTIC</u>	Left/Right/Rear/Front/Roof <u>RIGHT</u>
Access: <u>    </u>	Condensate Location <u>SAME</u>

**Certification:**

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N) 1107 & 1108

[Signature]  
Signature

8-30-10  
Date



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

☐ Mon

☒ Tue

☐ Wed

☐ Thur

☐ Fri

8-31

2010

Page

1 of

1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9319	Balfoot	Insulation	Pass	
	103 Hillcrest			
	Balfoot Cont.			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9478	Genser	showering	Pass	
	535 Sewalls	mail		
	James Thomas			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9507	Sharfi	tie beam	Pass	
	73 N. Sewalls	(Tennis Pavilion)		
	Mosley	& Columns		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9553	<del>LYONS</del>	<del>A/C FINISH</del>	<del>Pass</del>	<del>INSPECTOR <i>[Signature]</i></del>
	<del>34 FIELDWAY</del>	<del>PARAGON</del>		
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	11 EMIRATA -	VACANT?		
				INSPECTOR <i>[Signature]</i>



10217

Ac change

☐ BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10217	DATE ISSUED:	SEPTEMBER 13, 2012
SCOPE OF WORK:	AC CHANGEOUT		
CONTRACTOR:	JENSEN BEACH A/C		
PARCEL CONTROL NUMBER:	353741002-001-001007	SUBDIVISION	INDIALUCIE, L 10, BL 1
CONSTRUCTION ADDRESS:	34 FIELDWAY DR		
OWNER NAME:	LYONS		
QUALIFIER:	GREG HALL	CONTACT PHONE NUMBER:	334-3200

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____
UNDERGROUND MECHANICAL	_____
STEM-WALL FOOTING	_____
SLAB	_____
ROOF SHEATHING	_____
TIE DOWN /TRUSS ENG	_____
WINDOW/DOOR BUCKS	_____
ROOF DRY-IN/METAL	_____
PLUMBING ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____
FRAMING	_____
FINAL PLUMBING	_____
FINAL MECHANICAL	_____
FINAL ROOF	_____

UNDERGROUND GAS	_____
UNDERGROUND ELECTRICAL	_____
FOOTING	_____
TIE BEAM/COLUMNS	_____
WALL SHEATHING	_____
INSULATION	_____
LATH	_____
ROOF TILE IN-PROGRESS	_____
ELECTRICAL ROUGH-IN	_____
GAS ROUGH-IN	_____
METER FINAL	_____
FINAL ELECTRICAL	_____
FINAL GAS	_____
BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10217
ADDRESS	34 FIELDWAY DR - LYONS
DATE 9/13/12	SCOPE OF WORK AC CHANGEOUT

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
------------------------------------	----------------	----	--

JENSEN BEACH AIR CONDITIONING, INC.  
940 NE DIXIE HWY.  
JENSEN BEACH, FL 34957  
(772) 334-3200

Bank of America.

ACH R/T 063100277

63-4-630

9/6/2012

PAY TO THE  
ORDER OF

TOWN OF SEWALLS POINT

\$ \*\*84.00

Eighty-Four and 00/100\*\*\*\*\*

DOLLARS

TOWN OF SEWALLS POINT  
1 S SEWALLS POINT RD  
STUART, FL 34996

OPERATING ACCOUNT

*[Signature]*  
AUTHORIZED SIGNATURE

MEMO

TOTAL BUILDING PERMIT FEE:

\$

ACCESSORY PERMIT

Declared Value:

\$

3250

Total number of inspections @ \$75.00 each

75

Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)

\$

2

DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)

\$

2

Road impact assessment: (.04% of construction value - \$5.00 min.)

\$

5

TOTAL ACCESSORY PERMIT FEE:

\$

84

*[Signature]*  
CK# 17606



Town of Sewall's Point  
BUILDING PERMIT APPLICATION Permit Number: 10217  
Date: 9.06.2012  
OWNER/TITLEHOLDER NAME: JOHN & ALICE LYONS Phone (Day) 207.9297 (Fax)  
Job Site Address: 34 FIELDWAY DRIVE City: STUART State: FL Zip: 34996  
Legal Description: INDIALLOCIE, LOT 10 Parcel Control Number: 35.37.41.002.001.00100.7  
Owner Address (if different): BLK 1 City: State: Zip:

SCOPE OF WORK (PLEASE BE SPECIFIC): AC CHANGE OUT

WILL OWNER BE THE CONTRACTOR?  
(If yes, Owner Builder questionnaire must accompany application)  
YES NO  
Has a Zoning Variance ever been granted on this property?  
YES (YEAR) NO  
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 3,250  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 AE9 AE8 X  
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:  
Estimated Fair Market Value prior to improvement: \$  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: JENSEN BEACH A/C Phone: 334.3200 Fax: 334.3201  
Qualifiers name: Gregory Hall Street: 940 NE DIXIE City: JENSEN BEACH State: FL Zip: 31957  
State License Number: CAC014451 OR: Municipality: License Number:  
LOCAL CONTACT: Gregory Hall Phone Number: 334.3200  
DESIGN PROFESSIONAL: Fl. License#  
Street: City: SEP 7 2012 State: Zip: Phone Number:  
AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/Porches: Enclosed Storage:  
Carport: Total under Roof Enclosed area below BFE\*  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 600 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007-2010  
National Electrical Code: 2005 (2008 after 6/1/09) Florida Energy Code: 2007 Florida Accessibility Code: 2007 Florida Fire Prevention Code: 2007

### NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1. 105.4.1.1 - .5.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.)  
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

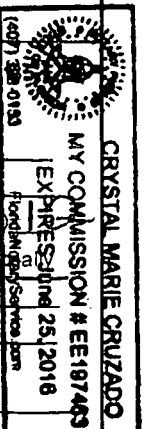
X  
State of Florida, County of: Martin  
On This the day of , 20  
by who is personally  
known to me or produced  
As identification.

Notary Public

My Commission Expires:

CONTRACTOR NOTORIZED SIGNATURE: (required per 713

X  
State of Florida, County of: Martin  
On This the 14th day of September 2012  
by Gregory Hall who is personally  
known to me or produced  
As identification: Crystal Cruzado  
Notary Public  
My Commission Expires: 06.25.2016



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

## A/C PERMIT APPLICATION

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

1 1 Copy Completed permit application

2 2 Copies of the following:

- ✓ a. Manufacturer's data sheet to include make, model, seer/eer, tonnage, electrical requirements, refrigerant piping size, and AHRI listing page.
- ✗ b. Replacing ductwork requires Manual D layout plan with grille sizes
- ✗ c. Replacing entire system including ductwork requires Manual J and Energy calculations.
- ✓ d. Condenser tie down and Air Handler mounting details
- ✓ e. A/C change out affidavit

- MANUAL J LOAD CALCULATION

COMMERCIAL APPLICATIONS ADDITIONALLY REQUIRE

\_\_\_\_\_ 2 Copies A/C Stand NOA or Engineers letter to retrofit to existing mounts.

\_\_\_\_\_ Smoke Detectors in supply duct for units over 2000 CFM



**Jensen Beach Air Conditioning, Inc.****PROPOSAL**

940 NE Dixie Hwy.  
Jensen Beach, FL 34957  
(772) 334-3200  
Fax (772) 334-3201

Date

7/30/2012

Name / Address

JOHN LYONS  
34 FIELDWAY DRIVE  
STUART, FL 34996

All material is guaranteed to be as specified. All work is to be completed in a workman-like manner according to standard practices. If it becomes necessary to collect the herein described sums, or any part thereof, the purchaser agrees to pay all the cost thereof, including attorney's fees. All agreements are contingent upon strikes, accidents or delays beyond our control. Owner is to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance. Signature authorizes work as specified and agreement on prices, specifications and conditions. Payment will be made as outlined below.

## Description

INSTALLATION OF ONE 2 TON 16.5 SEER RHEEM REMOTE AIR CONDITIONING SYSTEM COMPLETE WITH 5 KW ELECTRIC HEAT & USING OZONE FRIENDLY 410A REFRIGERANT.

CONDENSING UNIT MODEL # 14AJM24A01  
BLOWER COIL MODEL # RHLL-HM2417JA

EXISTING A/C EQUIPMENT TO BE REMOVED.

PRICE INCLUDES SALES TAX, DIGITAL HEAT/COOL THERMOSTAT, FLOAT SWITCH ON DRAIN LINE, SECONDARY DRAIN PAN, HURRICANE TIE DOWN STRAPS ON THE OUTSIDE UNIT, TOWN OF SEWALLS POINT A/C PERMIT, MANUAL J LOAD CALCULATION (REQUIRED FOR PERMIT), ONE YEAR LABOR WARRANTY, AND TEN YEAR MANUFACTURES PARTS & COMPRESSOR WARRANTY.

PRICE: \$3,250.00  
LESS FPL REBATE: \$405.00  
LESS SERVICE CALL CHARGE: \$75.00  
TOTAL PRICE: \$2,770.00

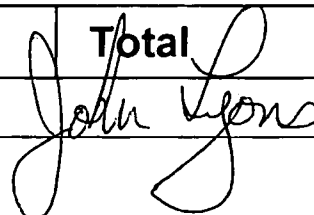
OPTION- 10 YEAR EXTENDED LABOR WARRANTY. \$400

DUE ON COMPLETION. CASH OR CHECK

Total

**\$2,770.00**

Acceptance Signature







TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

### Air Conditioning Change out Affidavit

Residential ☒ Commercial ☐  
Package Unit ☐ Yes ☒ No (Use Condenser side of form below for equipment listing)  
Duct Replacement ☐ Yes ☒ No - Refrigerant line replacement ☐ Yes ☒ No  
Flushing Existing Refrigerant lines ☒ Yes ☐ No - Adding Refrigerant Drier ☒ Yes ☐ No  
Rooftop A/C Stand Installation ☐ Yes ☒ No - Curb Installation ☐ Yes ☒ No  
Smoke Detector in Supply (over 2000 CFM) ☐ Yes ☒ No

**One form required for each A/C system installed**

#### REPLACEMENT SYSTEM COMPONENTS

<b>Air handler:</b> Mfg: <u>RHEEM</u> Model# <u>RHLHM24</u>	<b>Condenser:</b> Mfg: <u>RHEEM</u> Model# <u>14AJM24</u>
Volts <u>230</u> CFM's <u>800</u> Heat Strip <u>5</u> Kw	Volts <u>230</u> SEER/EER <u>16.5</u> BTU's <u>24,400</u>
Min. Circuit Amps <u>20</u> <del>Wire gauge #10</del>	Min. Circuit Amps <u>18</u> <del>Wire gauge</del> <u>10</u>
Max. Breaker size <u>30</u> Min. Breaker size <u>27</u>	Max. Breaker size <u>30</u> Min. Breaker size <u>25</u>
Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>
Refrigerant type <u>R410A</u>	Refrigerant type <u>R410A</u>
Location: Existing <input checked="" type="checkbox"/> New <input type="checkbox"/>	Location: Existing <input checked="" type="checkbox"/> New <input type="checkbox"/>
Attic/Garage/Closet (specify) <u>ATTIC</u>	<u>Left/Right/Rear/Front/Roof</u>
Access: <u>pull down stairs</u>	<del>Condensate Location</del> <u>Left side</u>

**(Contractor must provide ladder if required)**

#### EXISTING SYSTEM COMPONENTS

<b>Air handler:</b> Mfg: <u>Ruid</u> Model# <u>UEAB1005</u>	<b>Condenser:</b> Mfg: <u>Ruid</u> Model# <u>UAHC-024SA</u>
Volts <u>230</u> CFM's <u>800</u> Heat Strip <u>5</u> Kw	Volts <u>230</u> SEER/EER <u>n/a</u> BTU's <u>n/a</u>
Min. Circuit Amps <u>20</u> <del>Wire gauge #10</del>	Min. Circuit Amps <u>18</u> <del>Wire gauge</del> <u>10</u>
Max. Breaker size <u>30</u> Min. Breaker size <u>27</u>	Max. Breaker size <u>30</u> Min. Breaker size <u>25</u>
Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>
Refrigerant type <u>R22</u>	Refrigerant type <u>R22</u>
Location: Ext. <input checked="" type="checkbox"/> New <input type="checkbox"/>	Location: Ext. <input checked="" type="checkbox"/> New <input type="checkbox"/>
Attic/Garage/Closet (specify) <u>ATTIC</u>	<u>Left/Right/Rear/Front/Roof</u>
Access: <u>pull down stairs</u>	<del>Condensate Location</del> <u>left side</u>

#### Certification:

I herby certify that the information entered on this form accurately represents the equipment installed and further affirm that this equipment is considered matched as required by FBC - R (N)1107 & 1108

Signature

Date

Larry Hall

September 6, 2012





# DesignStar Load Calculation

Results are intended for use with Rheem heating and cooling systems only

The New Degree of Comfort™

## Customer Information

### Location:

Street Address 34 FIELDWAY DR, MARTIN, FL 34996

Latitude, Longitude 26.6726°, -80.0706°

House Square Footage: 1050 sq. ft.

Name: JOHN & ALICE LYONS

Phone: 772.287.9297

Email:

## House Information

SHR .75

Number of residents 4

Ceiling height 9

Wall U-value | R-value 0.09 | 11

Floor U-value | R-value 0.2 | 5

Ceiling U-value | R-value 0.05 | 19

Window U-value 1.0

Window SHGF 0.85

Moisture grains 0.85

Duct loss % 10

Duct gain % 10

Cooling infiltration (ACH) 0.6

Heating infiltration (ACH) 0.8

Winter ventilation 0

Summer ventilation 0



## Design Conditions

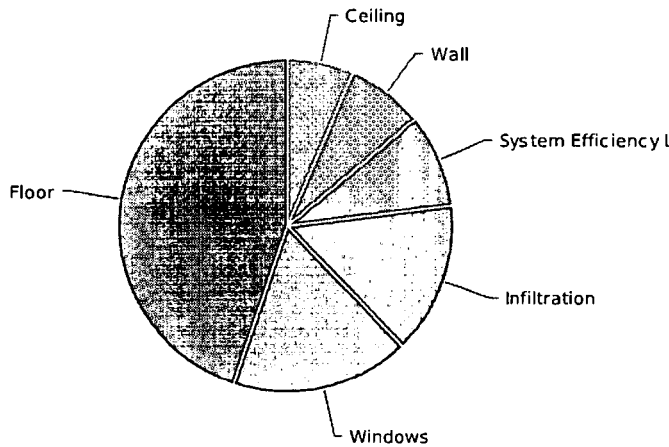
Outdoor	Heating	Cooling
Dry bulb (°F)	47	90
Daily range		M
Relative humidity		50%
Moisture difference		64
Indoor	Heating	Cooling
Indoor temperature (°F)	70	75
Design temperature difference(°F)	23	15



# Heating Loads

Area	Btuh	% of load
Wall	1498	7.5
Floor	8970	44.8
Ceiling	1280	6.4
Windows	3473	17.4
Infiltration	2965	14.8
System Efficiency Loss	1819	9.1
Total	20005	

Heating Loads  
20,005 BTU/hr

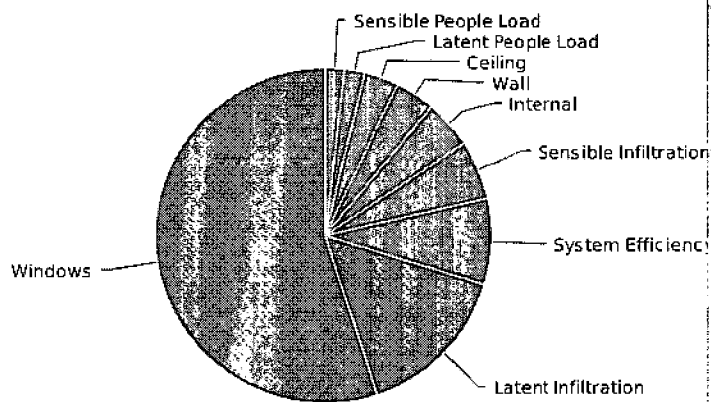




## Cooling Loads

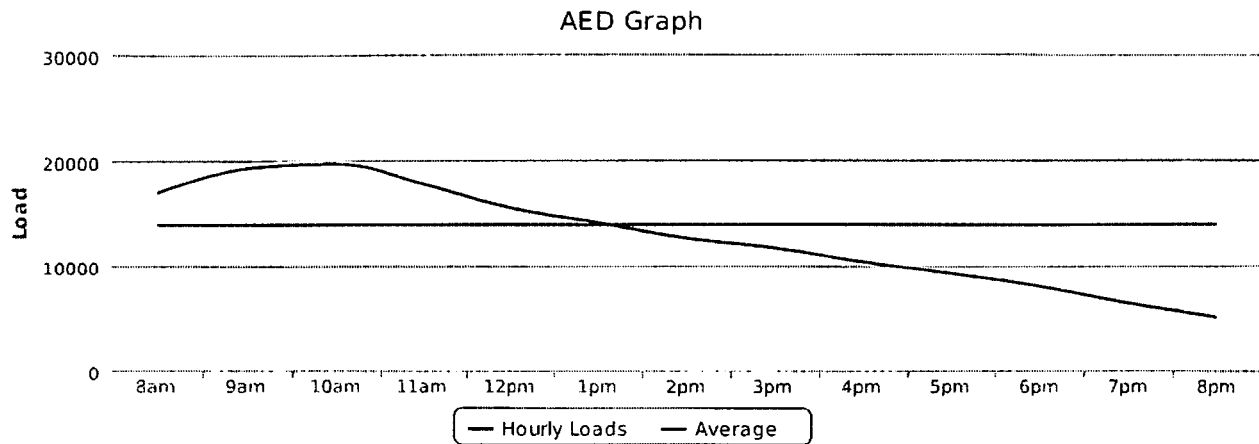
Area	Btuh	% of load
Wall	977	3.9
Ceiling	835	3.3
Windows	13862	55
Sensible Infiltration	1450	5.8
Latent Infiltration	3825	15.2
System Efficiency Gain	2095	8.3
Internal	1178	4.7
Sensible People Load	483	1.9
Latent People Load	483	1.9
Total	25188	
Sensible load	20880	
Latent load	4308	
SHR	0.83	
Capacity at .75 SHR	2.32 Tons	

Cooling Loads  
25,188 BTU/hr





## Adequate Exposure Diversity



## ACCA Manual S

System equipment selection will be made using the following Manual S derived values.

Summer Outdoor	90°F
Summer Wet Bulb	78°F
Summer Indoor	75°F
Summer Design Grains	50%
Winter Outdoor	47°F
Winter Indoor	70°F
Sensible Cooling	20,880 Btuh
Latent Cooling	4,308 Btuh
Required Cooling Airflow	949 CFM
Sensible Heating	20,005 Btuh
Required Heating Airflow	260 CFM

All calculations are based upon approved hvac industry standards and procedures, and comply with all local, state and federal code requirements. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree





This combination qualifies for a Federal Energy  
Efficiency Tax Credit when placed in service  
between Feb 17, 2009 and Dec 31, 2011.

# Certificate of Product Ratings

AHRI Certified Reference Number: 3412307

Date: 9/6/2012

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 14AJM24

Indoor Unit Model Number: RHLL-HM2417+RCSL-H\*2417

Manufacturer: RHEEM MANUFACTURING COMPANY

Trade/Brand name: RHEEM 14AJM SERIES

Manufacturer responsible for the rating of this system combination is RHEEM MANUFACTURING COMPANY

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	24400
EER Rating (Cooling):	13.50
SEER Rating (Cooling):	16.50

\* Ratings followed by an asterisk (\*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

## DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at [www.ahridirectory.org](http://www.ahridirectory.org).

## TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

## CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at [www.ahridirectory.org](http://www.ahridirectory.org), click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



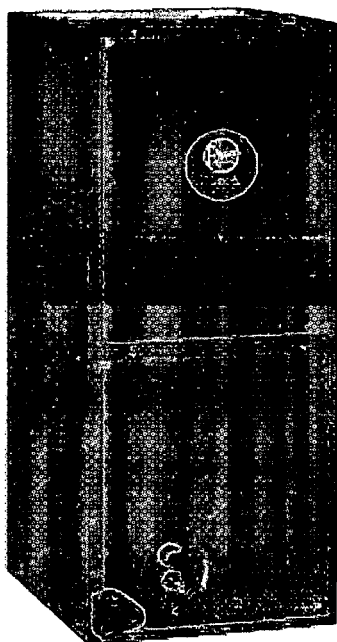
Air-Conditioning, Heating,  
and Refrigeration Institute

©2012 Air-Conditioning, Heating, and Refrigeration Institute

CERTIFICATE NO.: 129914081078755757



# Rheem SALES FACT SHEET



## Classic<sup>®</sup> Plus

### AIR HANDLERS

**RHLA- High Efficiency**  
featuring R-22 Refrigerant

**RHLL- High Efficiency**  
featuring Earth-Friendly  
R-410A Refrigerant

**R-410A**

### Features

- RHLA/RHLL models feature GE's new X-13 motor which provides enhanced SEER performance with most Rheem outdoor units.
- 1½ ton [5.3 kW] through 5 ton [17.6 kW] models are between 42½ to 55½ inches [1080 to 1410 mm] tall and 22 inches [559 mm] deep.
- Versatile 4-way convertible design for upflow, downflow, horizontal left and horizontal right applications.
- Factory-installed high efficiency indoor coil.
- All models meet or exceed 330 to 400 CFM [156 to 189 L/s] per ton at .3 inches [.7 kPa] of external static pressure.
- Enhanced airflow up to .7" external static pressure.
- Sturdy construction with 1.0 inch [.24 kPa] of reinforced foil faced jacket insulation for excellent thermal and sound insulation.
- Field-installed auxiliary electric heater kits provide exact heat for indoor comfort. Kits include circuit breakers which meet UL and cUL requirements for service disconnect.
- The most compact unit design available, all standard heat air handler models only 42½ to 55½ inches [1079 to 1409 mm] high.
- Attractive pre-painted cabinet exterior.
- Rugged wall steel cabinet construction, designed for added strength and versatility.

### GENERAL TERMS OF LIMITED WARRANTY

Rheem will furnish a replacement for any part of this product which fails in normal use and service within the applicable period stated, in accordance with the terms of the limited warranty.

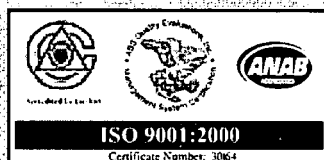
Indoor Coils leaks caused by factory defects ..... Five (5) Years  
Electric Heating Element ..... Five (5) Years  
Any Other Part ..... Five (5) Years

For Complete Details of the Limited Warranty, including Applicable Terms & Conditions, See Your Local Installer or Contact the Manufacturer for a Copy.

<u>R</u>	<u>H</u>	<u>L</u>	<u>A</u> — <u>HM</u>	<u>24</u>	<u>17</u>	<u>J</u>	<u>A</u>	
RHEEM	<u>CLASSIFICATION</u>	<u>L =</u>	<u>REFRIGERANT</u>	<u>A/C OR HP</u>	<u>CAPACITY</u>	<u>CABINET</u>	<u>VOLTAGE</u>	<u>DESIGN</u>
	H =	HI-EFFICIENCY	A = R-22	POSITION	24 = 18,000/24,000 BTU/HR	SIZE	A = 115/1/60	<u>VARIATION</u>
	AIR HANDLER	(X-13 MOTOR)	L = R-410A	VERTICAL	[5.27/7.03 kW]	17 = 17.5" [431.8 mm]	J = 208/240/1/60	A =
				UPFLOW/	36 = 30,000/36,000 BTU/HR	(800-1200 CFM)		1ST DESIGN
				HORIZONTAL	[6.79/10.55 kW]	21 = 21" [533.4 mm]		
				LEFT IS THE	48 = 42,000/48,000 BTU/HR	(1400-1600 CFM)		
				FACTORY	[12.31/14.07 kW]	24 = 24.5" [609.6 mm]		
				CONFIGURATION)	60 = 60,000 BTU/HR	(1600-1800 CFM)		
					[17.58 kW]			

Price

Starting at:  
\$



"CERTIFIED UNDER THE  
A.R.I. CERTIFICATION PROGRAM—A.R.I.  
STANDARDS 210/240-84"





## RHLA/RHLL Electrical Data – with Electric Heat

Installation of the U.L. Listed original equipment manufacturer provided heater kits listed in the table below is recommended for all auxiliary heating requirements.

Nominal Cooling Capacity Tons/ Cabinet Size	Rheem Model No.	Heater KW 208/240V	PH/HZ	No. Elements - KW Per	Type Supply Circuit Single Circuit Multiple Circuit	Circuit Amps.	Motor Ampacity	Minimum Circuit Ampacity	Maximum Circuit Protection
1 1/2 & 2 1/7	RXBH-1724B03J/RXBH-17A03J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	1.6	16/18	20/20
	RXBH-1724B05J/RXBH-17A05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	1.6	24/27	25/30
	RXBH-1724B07J/RXBH-17A07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	1.6	35/40	35/40
	RXBH-1724B10J/RXBH-17A10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	1.6	46/52	50/60
	RXBH-17A13J	9.4/12.5	1/60	3 - 4.17	SINGLE	45.1/52.1	1.6	59/68	60/70
	RXBH-17A13J	3.1/4.2	1/60	1 - 4.17	MULTIPLE CKT 1	15.0/17.4	1.6	21/24	25/25
		6.3/8.3	1/60	2 - 4.17	MULTIPLE CKT 2	30.1/34.7	0	38/44	40/45
	RXBH-17A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	1.6	21/24	25/25
	RXBH-17A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	1.6	27/31	30/35
2 1/2 & 3/ 17	RXBH-17A13C	9.4/12.5	3/60	3 - 4.17	SINGLE	26.1/30.1	1.6	35/40	35/40
	RXBH-17A03J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	2.7	17/19	20/20
	RXBH-17A05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	2.7	25/29	25/30
	RXBH-17A07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	2.7	36/41	40/45
	RXBH-17A10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	2.7	47/54	50/60
	RXBH-17A13J	9.4/12.5	1/60	3 - 4.17	SINGLE	45.1/52.1	2.7	60/69	60/70
		3.1/4.2	1/60	1 - 4.17	MULTIPLE CKT 1	15.0/17.4	2.7	23/26	25/30
	RXBH-17A13J	6.3/8.3	1/60	2 - 4.17	MULTIPLE CKT 2	30.1/34.7	0	38/44	40/45
		10.8/14.4	1/60	3 - 4.8	SINGLE	51.9/60.0	2.7	69/79	70/80
	RXBH-17A15J	3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	2.7	25/29	25/30
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0	44/50	45/50
	RXBH-17A18J	12.8/17.0	1/60	3 - 5.68	SINGLE	61.6/70.8	2.7	81/92	90/100
	RXBH-17A18J	4.3/5.7	1/60	1 - 5.68	MULTIPLE CKT 1	20.5/23.6	2.7	29/33	30/35
		8.5/11.3	1/60	2 - 5.68	MULTIPLE CKT 2	41.1/47.2	0	52/59	60/60
	RXBH-17A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	2.7	23/25	25/25
	RXBH-17A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	2.7	29/33	30/35
	RXBH-17A13C	9.4/12.5	3/60	3 - 4.17	SINGLE	26.1/30.1	2.7	36/41	40/45
	RXBH-17A15C	10.8/14.4	3/60	3 - 4.8	SINGLE	30.0/34.6	2.7	41/47	45/50
	RXBH-17A18C	12.8/17.0	3/60	3 - 5.68	SINGLE	35.5/41.0	2.7	48/55	50/60
3 1/2 & 4/ 21	RXBH-1724B05J/RXBH-24A05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	3.8	27/30	30/30
	RXBH-1724B07J/RXBH-24A07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	3.8	38/43	40/45
	RXBH-1724B10J/RXBH-24A10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	3.8	48/55	50/60
	RXBH-24A15J	10.8/14.4	1/60	3 - 4.8	SINGLE	51.9/60.0	3.8	70/80	70/80
		3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	3.8	27/30	30/30
	RXBH-24A15J	7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
		12.8/17	1/60	4 - 4.26	SINGLE	61.6/70.8	3.8	82/94	90/100
	RXBH-24A18J	6.4/8.5	1/60	2 - 4.26	MULTIPLE CKT 1	30.8/35.4	3.8	44/49	45/50
		6.4/8.5	1/60	2 - 4.26	MULTIPLE CKT 2	30.8/35.4	0.0	39/45	40/45
	RXBH-24A20J	14.4/19.2	1/60	4 - 4.8	SINGLE	69.2/80	3.8	92/105	100/110
	RXBH-24A20J	7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 1	34.6/40.0	3.8	48/55	50/60
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
	RXBH-24A25J	18.0/24.0	1/60	6 - 4.0	SINGLE	86.4/99.9	3.8	113/130	125/150
	RXBH-24A25J (4-ton only)	6.0/8.0	1/60	2 - 4.0	MULTIPLE CKT 1	28.8/33.3	3.8	41/47	45/50
		6.0/8.0	1/60	2 - 4.0	MULTIPLE CKT 2	28.8/33.3	0.0	36/42	40/45
		6.0/8.0	1/60	2 - 4.0	MULTIPLE CKT 3	28.8/33.3	0.0	36/42	40/45
	RXBH-24A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	3.8	24/27	25/30
	RXBH-24A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	3.8	30/34	30/35
	RXBH-24A15C	10.8/14.4	3/60	3 - 4.8	SINGLE	30.0/34.6	3.8	43/48	45/50
	RXBH-24A18C	12.8/17.0	3/60	3 - 2.84	SINGLE	35.6/41.0	3.8	50/56	50/60
	RXBH-24A20C*	14.4/19.2	3/60	3 - 3.2	SINGLE	40.0/46.2	3.8	55/63	60/70
	RXBH-24A20C	7.2/9.6	3/60	3 - 3.2	MULTIPLE CKT 1	20.0/23.1	3.8	30/34	30/35
		7.2/9.6	3/60	3 - 3.2	MULTIPLE CKT 2	20.0/23.1	0.0	25/29	25/30
	RXBH-24A25C*	18.0/24.0	3/60	6 - 4.0	SINGLE	50.0/57.8	3.8	68/77	70/80
	RXBH-24A25C (4-ton only)	9.0/12.0	3/60	3 - 4.0	MULTIPLE CKT 1	25.0/28.9	3.8	36/41	40/45
		9.0/12.0	3/60	3 - 4.0	MULTIPLE CKT 2	25.0/28.9	0.0	32/37	35/40

- \* Values only. No single point kit available.
- Supply circuit protective devices may be fused or "HACR" type circuit breakers.
- If non-standard fuse size is specified, use next size larger standard fuse size.
- If the kit is listed under both single and multiple circuits, the kit is shipped from factory as multiple circuits. For single phase application, Jumper bar kit RXBJ-A21 and RXBJ-A31 can be used to convert multiple circuits to a single supply circuit. Refer to Accessory Section for details.
- Largest motor load is included in single circuit or circuit 1 of multiple circuit.
- Heater loads are balanced on 3 PH. models with 3 or 6 heaters only.

- Electric heater BTUH - (heater watts + motor watts) x 3.414 (see airflow table for motor watts.)
- No electrical heating elements are permitted to be used with "A" voltage (115V) air handler.
- J voltage (208/240V) single phase air handler is designed to be used with single or three phase 208/240V volt electric heaters. In the case of connecting 3 phase power to air handler terminal block without the heater, bring only two leads to terminal block. Cap, insulate and fully secure the third lead.
- Do not use 480V electrical heaters on 208/240V air handlers.
- Do not use 208/240V electrical heaters on 480V air handlers.





## Electrical and Physical Data

Model Number 14AJM	ELECTRICAL							PHYSICAL						
	Phase Frequency (Hz) Voltage (Volts)	Compressor		Fan Motor Full Load Amperes (FLA)	Minimum Circuit Ampacity Amperes	Fuse or HACR Circuit Breaker		Outdoor Coil			Refrig. Per Circuit Oz. [g]	Weight		
		Rated Load Amperes (RLA)	Locked Rotor Amperes (LRA)			Minimum Amperes	Maximum Amperes	Face Area Sq. Ft. [m²]	No. Rows	CFM [L/s]		Net Lbs. [kg]	Shipping Lbs. [kg]	
Rev. 6/14/2012														
19	1-60-208/230	9/9	46	0.5	12/12	15/15	20/20	11.82 [1.10]	1	2805[1324]	87 [2466]	140 [63.5]	157 [71.2]	
25	1-60-208/230	13.6	58.3	.36	18/18	25/25	30/30	13.72 [1.27]	1	2805[1324]	91 [2580]	154 [69.9]	171 [77.6]	
30	1-60-208/230	12.8/12.8	64	1.4	18/18	25/25	30/30	16.39 [1.52]	1	2915[1376]	112 [3175]	157 [71.2]	175 [79.4]	
36	1-60-208/230	16.7/16.7	79	1.9	23/23	30/30	35/35	21.85 [2.03]	1	3435[1621]	130.4 [3697]	181 [82.1]	201 [91.2]	
42	1-60-208/230	17.9/17.9	112	2.8	26/26	30/30	40/40	21.85 [2.03]	1	3550[1675]	145.12 [4114]	205 [93]	225 [102]	
48	1-60-208/230	21.8/21.8	117	2.8	31/31	40/40	50/50	21.85 [2.03]	2	4310[2034]	216 [6124]	249 [112.9]	269 [122]	
49	1-60-208/230	19.9/19.9	109	1.9	27/27	35/35	45/45	21.85 [2.03]	2	3615[1706]	213 [6039]	249 [112.9]	269 [122]	
56	1-60-208/230	21.4/21.4	135	1.9	29/29	35/35	50/50	21.85 [2.03]	2	3615[1706]	241 [6832]	254 [115.2]	274 [124.3]	
60	1-60-208/230	26.4/26.4	134	2.8	36/36	45/45	60/60	21.85 [2.03]	2	4310[2034]	240 [6804]	254 [115.2]	274 [124.3]	

NOTE: Factory Refrigerant Charge includes refrigerant for 15 feet of standard line set.

[ ] Designates Metric Conversions







## Condensing Unit Refrigerant Line Size Information

Liquid Line Sizing (R-410A)														
System Capacity	Liquid Line Connection Size (Inch I.D.)	Line Size (Inch O.D.) (mm)	Liquid Line Size – Outdoor Unit Above Indoor Coil (Cooling Only—Does not apply to Heat Pumps)						Liquid Line Size – Outdoor Unit Below Indoor Coil					
			Total Equivalent Length—Feet (m)						Total Equivalent Length—Feet (m)					
			25 (7.62)	50 (15.24)	75 (22.86)	100 (30.48)	125 (38.10)	150 (45.72)	25 (7.62)	50 (15.24)	75 (22.86)	100 (30.48)	125 (38.10)	150 (45.72)
			Minimum Vertical Separation—Feet (m)						Maximum Vertical Separation—Feet (m)					
1½ Ton	3/8" [9.53]	1/4 [6.35]	0	0	0	0	8 [2.44]	24 [7.32]	25 [7.62]	40 [12.19]	25 [7.62]	9 [2.74]	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	62 [18.90]	58 [17.68]	53 [16.15]	49 [14.94]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	72 [21.95]	70 [21.34]	68 [20.73]
2 Ton	3/8" [9.53]	1/4 [6.35]	0	3 [0.91]	29 [8.84]	55 [16.76]	81 [24.69]	108 [32.92]	23 [7.01]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	36 [10.97]	29 [8.84]	23 [7.01]	16 [4.88]	9 [2.74]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	72 [21.95]	70 [21.34]	68 [20.73]	65 [19.81]
2½ Ton	3/8" [9.53]	1/4 [6.35]	0	14 [4.27]	56 [17.07]	98 [29.87]	N/A	N/A	25 [7.62]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	49 [14.94]	38 [11.58]	27 [8.23]	17 [5.18]	6 [1.83]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	65 [19.81]	62 [18.90]	58 [17.68]
3 Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	0	0	9 [2.74]	25 [7.62]	50 [15.24]	37 [11.28]	22 [6.71]	7 [2.13]	N/A
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	63 [19.20]	58 [17.68]	53 [16.15]
3½ Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	16 [4.88]	35 [10.67]	54 [16.46]	25 [7.62]	23 [7.01]	4 [1.22]	N/A	N/A	N/A
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	43 [13.11]	36 [10.97]	30 [9.14]	24 [7.32]
4 Ton	3/8" [9.53]	3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	46 [14.02]	38 [11.58]	30 [9.14]	22 [6.71]	15 [4.57]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	55 [16.76]	53 [16.15]	52 [15.85]
5 Ton	3/8" [9.53]	3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	44 [13.41]	32 [9.75]	20 [6.10]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	81 [24.69]	79 [24.08]	76 [23.16]

NOTES: \*Standard line size  
N/A = Application not recommended.

Suction Line Length/Size versus Capacity Multiplier (R-410A)								
Unit Size	1 1/2 Ton	2 Ton	2 1/2 Ton	3 Ton	3 1/2 Ton	4 Ton	5 Ton	
Suction Line Connection Size	3/4" [19.05] I.D.				7/8" [22.23] I.D.			
Suction Line Run—Feet (m)	5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard*		5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard* 7/8" [22.23 mm] O.D. Optional		3/4" [19.05 mm] O.D. Optional 7/8" [22.23 mm] O.D. Standard*		7/8" [22.23 mm] O.D. Optional 1 1/8" [28.58 mm] O.D. Standard*	
25' [7.62]	Optional Standard Optional	1.00 1.00 —	1.00 1.00 —	1.00 1.00 1.00	1.00 1.00 —	1.00 1.00 —	1.00 1.00 —	1.00 1.00 —
50' [15.24]	Optional Standard Optional	.98 .99 —	.98 .99 —	.96 .98 .99	.98 .99 —	.99 .99 —	.99 .99 —	.99 .99 —
100' [30.48]	Optional Standard Optional	.95 .96 —	.95 .96 —	.94 .96 .97	.96 .97 —	.96 .98 —	.96 .98 —	.97 .98 —
150' [45.72]	Optional Standard Optional	.92 .93 —	.92 .94 —	.91 .93 .95	.94 .95 —	.94 .96 —	.95 .96 —	.94 .97 —

NOTES: \*Standard line size  
Using suction line larger than shown in chart will result in poor oil return and is not recommended.  
3 Ton Suction Line Connection is 3/4"

[ ] Designates Metric Conversions





# THE METAL SHOP

Custom Metal Manufacturer

## ANCHOR CLIPS Installer's Guide

Consulting Engineer:

Douglas W. Lowe, P.E.  
FLA# 13355

1206 Millenium Parkway  
Brandon, FL 33511

**WARNING: HAZARDOUS VOLTAGE. DISCONNECT POWER BEFORE SERVICING**

### PART NUMBER

#771 (4 pk)  
#772 (100 box)  
#770 (4 pk including hardware)

### CONSTRUCTION

16 gauge galvanized steel, G-90 rated for  
corrosion coastal applications.

### PACKAGING DETAILS

All anchor clips are supplied as per  
package quantities described above.

### INSTALLATION

Minimum of 4 clips required per condenser unit.  
Minimum of 3 #14 x 3/4" screws with neoprene washer  
required to fasten clip to condenser unit.  
1/4" x 1 3/4" Tapcon screw required to fasten clip  
to condenser pad.

Locate the anchor clips to fit comfortably between  
condenser unit and pad.

Adjust clip accordingly to fit on condenser unit and  
screw together, at the same time ensuring that the  
base of the clip is still in contact with the pad.  
All hardware must be fastened prior to connecting  
refrigerant lines and electrical power to the unit.  
Suitable for ground mounted units.

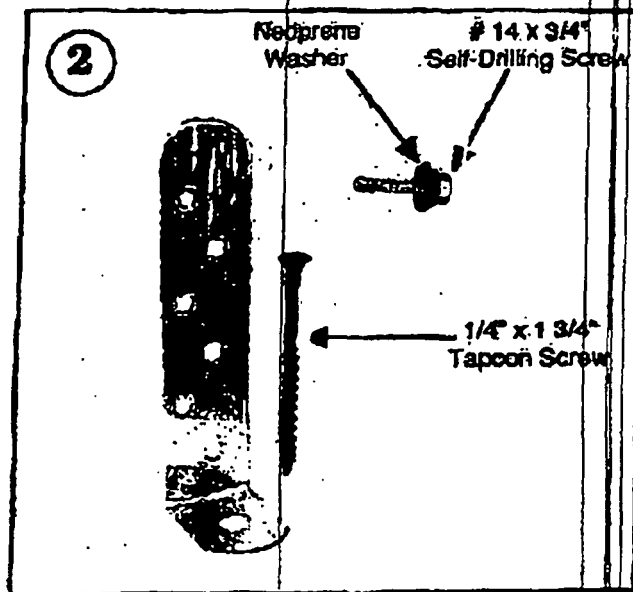
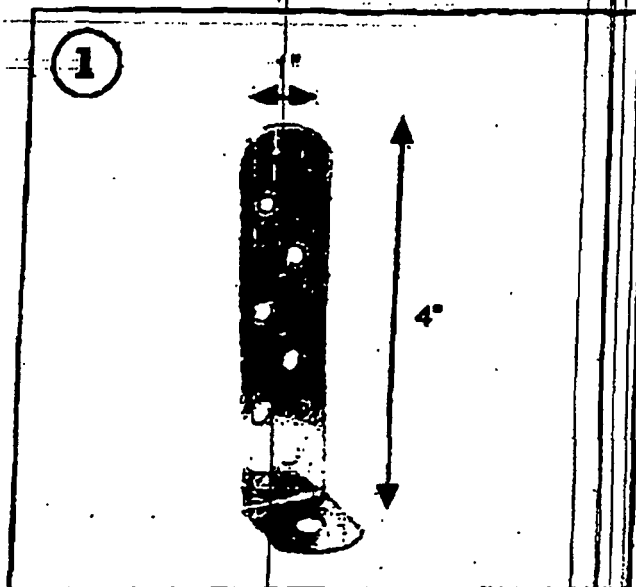
Anchor clip design meets requirements of  
The Florida Building Code 2007 (Building)  
chapter 301.12 for wind resistance up to 140 MPH.

### FEATURES

The use of "sized to fit" screw holes compared to  
slots means that security is never compromised.  
A tight, secure fit between pad and condenser  
ensures security for the condenser and offers great  
assurance during extreme weather conditions.

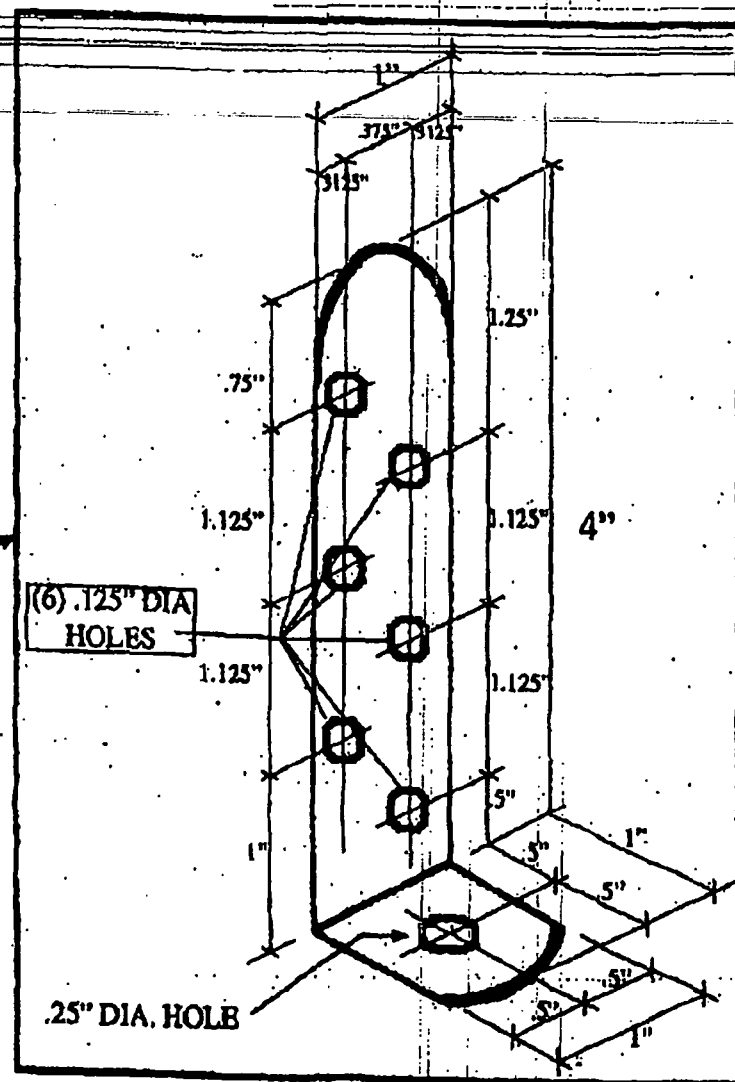
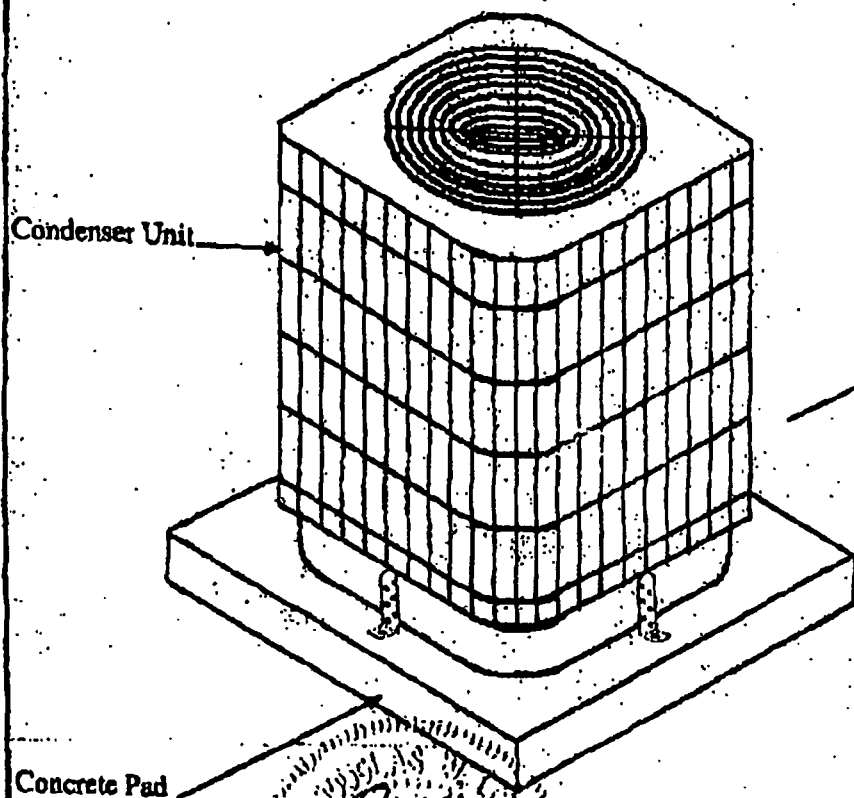
### NOTE

Above installation instruction suitable for up to  
5 ton units.





#771 4000/10772000000 Anchor Clip



Metal thickness = 16 gauge

The Metal Shop  
1139 Eldridge Street  
Clearwater  
FL 33755

Ph: (727) 441-2492  
Fax: (727) 442-8493  
Web: www.metalsshop.org

Consulting Engineer:  
Douglas W. Lowe, P.E.  
FLA # 13355  
1206 Millenium Parkway  
Brandon, FL 33511

Revision Date:  
2/14/08

Drawn by:  
K.P.R.

Page:  
1 of 1

Scale - Not to scale



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

☐ Mon

☐ Tue

☐ Wed

☒ Thur

☐ Fri

9-20-12

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10204	Enriquez 1 Kingston Ct Service Am	Final AC	PASS	CLOSE INSPECTOR GA
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10201 10:00	Tawcett 20 Palm Rd KUSTOM US	FINAL Remodel	PASS	CLOSE INSPECTOR GA
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10217 2:00	L YONS 34 FLEETOWN JENSEN BEACH AC.	FINAL AC	PASS	CLOSE INSPECTOR GA
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10222 PM	Handman 12 Riverview Dr J. Howen Inc	Final Garage DOOR	FAIL	NOT Per PLANS INSPECTOR GA
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10192 PM	Vasko 11 Emmita OB	rough electric	WALLS PASS	INSPECTOR GA
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR



10220

New Breaker

☐ BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10220	DATE ISSUED:	SEPTEMBER 14, 2012
SCOPE OF WORK:	INSTALL NEW PANEL & NEW GROUND RODS		
CONTRACTOR:	ARLINGTON ELECTRIC		
PARCEL CONTROL NUMBER:	353741002-001-001007	SUBDIVISION	INDIALUCIE, L 10, BL 1
CONSTRUCTION ADDRESS:	34 FIELDWAY DR		
OWNER NAME:	LYONS		
QUALIFIER:	JP WILLIAMS	CONTACT PHONE NUMBER:	287-1353

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE**  
**CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**

One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**BUILDING PERMIT RECEIPT**

PERMIT NUMBER:	10220
ADDRESS	34 FIELDWAY DR - LYONS
DATE 9/14/12	SCOPE OF WORK INSTALL NEW PANEL & NEW GROUND RODS

SINGLE FAMILY OR ADDITION /REMODEL. Declared Value \$ |||

THIS CHECK IS PRINTED ON CHEMICAL REACTIVE PAPER WHICH CONTAINS A WATERMARK. HOLD UP TO A LIGHT TO VIEW.

**ARLINGTON**

ELECTRICAL

**ELECTRIC INC.**

CONTRACTORS

LICENSE # EC 127  
P.O. BOX 63 • 3251 SE DIXIE HIGHWAY • STUART, FLORIDA 34995  
(772) 287-1353 • FAX: (772) 221-8814

CONTROL NO. CHECK DATE

9-14-2013



Seacoast  
NATIONAL BANK  
STUART, FLORIDA 34955

CHECK NUMBER

082945

CHECK AMOUNT

84.00

Eighty four dollars and <sup>00</sup>/<sub>100</sub>

PAY  
TO THE  
ORDER OF

**TOWN OF SEWALL'S POINT**

AUTHORIZED SIGNATURE

Road impact assessment: (.04% of construction value - \$5.00 min.)

Martin County Impact Fee:

**TOTAL BUILDING PERMIT FEE:****ACCESSORY PERMIT**

Declared Value:

\$

1774

Total number of inspections @ \$75.00 each

75

Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)

\$

2

DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)

\$

2

Road impact assessment: (.04% of construction value - \$5.00 min.)

\$

5

**TOTAL ACCESSORY PERMIT FEE:**

\$

84

pd  
ck# 082945





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10220	
ADDRESS	34 FIELDWAY DR - LYONS	
DATE 9/14/12	SCOPE OF WORK	INSTALL NEW PANEL & NEW GROUND RODS

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)	s.f.		
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)	s.f.		
Total square feet remodel with new trusses: @ \$90.78 per sq. ft.		\$	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	1774
Total number of inspections @ \$75.00 each			75
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	84

*pd*  
*ck # 082945*



**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Date: 9/11/12

Permit Number: 10220

OWNER/LESSEE NAME: John Lyons Phone (Day) 287-9297 (Fax) \_\_\_\_\_

Job Site Address: 34 Fielding Way Drive City: Sewall's Pt State: FL Zip: 34996

Legal Description: Indian Lake Lot 103LK1 Parcel Control Number: 35-37-41-002-001-00100-7

Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):** Installing new Parcel to replace old one w/ new

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO X

**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 1774.00  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10: AE9 AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Arlington Electric Phone: 772-287-1353 Fax: 772-287-2380

Qualifiers name: James P Williams Street: 325 SE Dixie Hwy City: Stuart State: FL Zip: 34997

State License Number: EC0000129 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: Gregg Robinson Phone Number: 772-287-1353

DESIGN PROFESSIONAL: \_\_\_\_\_ License# \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: 3096 Garage: \_\_\_\_\_ Covered Patios Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof: \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE: \_\_\_\_\_

\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code: 2010 Florida Mechanical, Plumbing, Existing, Gas: 2010  
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE:

X \_\_\_\_\_  
State of Florida, County of \_\_\_\_\_  
On This the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
by \_\_\_\_\_ who is personally  
known to me or produced \_\_\_\_\_  
As identification, \_\_\_\_\_

Notary Public

My Commission Expires: \_\_\_\_\_

CONTRACTOR / LICENSEE NOTARIZED SIGNATURE:

\_\_\_\_\_ James P. Williams  
State of Florida, County of: MARTIN  
On This the 11 day of SEPT., 2012  
by J P Williams who is personally  
known to me or produced \_\_\_\_\_  
As identification, \_\_\_\_\_  
Commission # DD910962  
Expires: AUG. 12, 2013

My Commission Expires: \_\_\_\_\_

**SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!**





EC #127

## PROPOSAL

PO BOX 63  
STUART, FLORIDA 34995  
(772) 287-1354 X 1220  
(772) 287-2380 FAX

TO: John Lyons  
34 Fielding Way Drive  
Sewall's Point, Florida 34996

DATE:  
September 11, 2012

RE: Electric Panel change

---

Install a new 200Amp single phase main breaker panel to replace the old one complete with new breakers and grounding. The meter is existing and will not be replaced unless it is bad after we get inside when the power is turned off. (Permit included)

We propose hereby to complete job in accordance with the above specifications, for the sum of:

Price \$1,774.00

Payment to be made as follows:

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Worker's Compensation Insurance. All work has a one year warranty.

David Piscitelli, Service Manager

Authorized Signature

Note: This proposal may be withdrawn by us if not accepted  
Within 30 days.

**Acceptance of Proposal** - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above

Date of Acceptance: 9/11/12

Signature:



**Martin County, Florida  
Laurel Kelly, C.F.A***generated on 9/13/2012 8:52:22 AM EDT***Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
35-37-41-002-001-00100-7	9422	34 FIELDWAY DR, STUART	\$241,690	9/10/2012

---

**Owner Information**

Owner(Current)	LYONS JOHN M & ALICE L
Owner/Mail Address	34 FIELDWAY DR STUART FL 34996
Sale Date	4/21/2003
Document Book/Page	1758 0624
Document No.	1654504
Sale Price	325000

---

**Location/Description**

Account #	9422	Map Page No.	
Tax District	2200	Legal Description	INDIALUCIE, LOT 10 BLK 1
Parcel Address	34 FIELDWAY DR, STUART		
Acres	.3590		

---

**Parcel Type**

Use Code	0100 Single Family
Neighborhood	120500 Melody Hill,India Lucie

---

**Assessment Information**

Market Land Value	\$145,000
Market Improvement Value	\$96,690
Market Total Value	\$241,690

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TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel: 972-287-1353 Fax: 972-287-2380

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

## Electrical Load Calculations

Electrical Contractor: Arlington Electric License No. EC0000127  
Phone #: 972-287-1353 Fax #: 972-287-2380  
Project: John Lyons Location: 34 Fielding Way Drive  
Existing Service Feeder Size: 210 cu Existing Panel Size: 200 Amp  
Main Breaker Size: 200 A Number of Breakers: 30

### Existing Loads

<u>3,096</u> Sq. Ft. X 3 watts per sq. ft.....	<u>9288</u> watts
<u>2</u> Appliance cir. @1500 watts each.....	<u>3000</u> watts
<u>1</u> Laundry cir. @ 1500 watts each.....	<u>1500</u> watts
<u>1</u> Range @ 8 kw.....	<u>8000</u> watts
<u>1</u> Dishwasher and disposal @ 1500 watts each.....	<u>3000</u> watts
<u>1</u> Microwave @ 2000 watts.....	<u>2000</u> watts
<u>1</u> Water heater @ 4.5 kw.....	<u>4500</u> watts
<u>1</u> Tank less water heater.....	_____ watts
<u>1</u> Dryer @ 5 kw.....	<u>5000</u> watts
<u>1</u> Refrigerator @ 1500 watts.....	<u>1500</u> watts
<u>2.5</u> Bathroom 1 @ 1500 watts.....	<u>3750</u> watts
Sprinkler Pump .....	_____ watts
Other .....	_____ watts
Other .....	_____ watts
Other .....	_____ watts
	<u>41538</u> Subtotal Watts

### New Loads

Pool pump.....	_____ watts
Pool light.....	_____ watts
Heat pump.....	_____ watts
Chlorine generator.....	_____ watts
Blower.....	_____ watts
Boatlift.....	_____ watts
Other .....	_____ watts
Other .....	_____ watts
Other .....	_____ watts

41538 Total Watts

First 10 kw @ 100%.....	<u>10000</u> watts
Remainder @ 40%.....	<u>12615</u> watts
A/C heat @ 100%.....	<u>10000</u> watts

Total watts 32615 Divided by 240 volts = 136 Amps 200 Amp service provided

Prepared by: \_\_\_\_\_ Date: \_\_\_\_\_





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point Florida 34996  
Tel 813-486-1111 Fax 813-486-1112

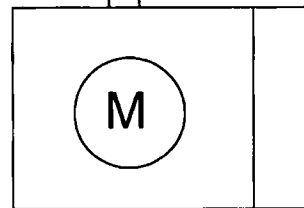
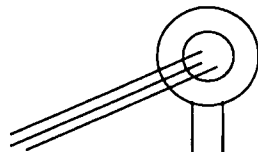
## ELECTRICAL RISER PLAN

For Temporary Power Pole and Single Family Service Change Only

ALL NEW SERVICES (INCLUDING SERVICE CHANGES) MUST BE INSTALLED AT OR ABOVE THE BASE FLOOD ELEVATION. IF YOU ARE UNSURE OF THE BFE ON IN THE AREA OF YOUR PROJECT, PLEASE CALL THE BUILDING

TYPE OF SERVICE:  
☐ OVERHEAD SERVICE

☐ UNDERGROUND



Service size 200 Amps

Conductor size 2/0 cu

Meter Main \_\_\_\_\_

Meter Can only \_\_\_\_\_

Service Change \_\_\_\_\_

New Installation \_\_\_\_\_

Grounding Electrode Conductor  
Size

- ☐ # 6  
☒ # 4  
☐ # 2  
☐ Other \_\_\_\_\_



*New panel and two new ground rods only.*





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 888-444-4444 Fax 888-444-4444

## ELECTRICAL CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

**Please make sure you have ALL required copies before submitting permit application**

The following minimum requirements must be provided for permitting and inspections:

☒ 1 Copy Completed application

☒ 2 Copies Electrical Load Calculations

☐ 2 Copies Electrical Riser Plan - Service Change and Temp Pole only on sketch provided, please provide an appropriate electrical riser for all other new electrical work.

**PLEASE DO NOT SUBMIT THIS FORM FOR NEW GENERATOR INSTALLATIONS. USE  
STANDBY GENERATOR APPLICATION FORMS ONLY.**



**Valerie Meyer**

---

**From:** Valerie Meyer [vmeyer@sewallspoint.martin.fl.us]  
**Sent:** Wednesday, October 03, 2012 2:08 PM  
**To:** FPL (tc\_inspections@fpl.com)  
**Subject:** 34 Fieldway Drive Service Change

<b>Tracking:</b>	<b>Recipient</b>	<b>Read</b>
	FPL (tc_inspections@fpl.com)	Read: 10/3/2012 2:13 PM

Inspection complete and passed – Please install meter at the following residence:

Lyons - 34 Fieldway Drive– Sewall's Pt, FL

Please contact me if you have any questions.

Thank you,

*Valerie Camlet*  
*BUILDING DEPT*  
*TOWN OF SEWALL'S POINT*  
*772-287-2455 EXT 13*



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection ☐ Mon ☐ Tue ☒ Wed ☐ Thur ☐ Fri 10-3-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10106	Field	Final alarm	Pass	close
9:00 AM	14 Ridgeland DR ADT	530-0097-call if you		to be late off INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10220	6401 S			E-MAILED EPL ✓
1-2 PM	34 PINE DUNE	SEWAGE PUMP	Pass	close
	ARLINGTON			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10088	GIACOMO			
10:00	11 RIO VISTA	FINAL	Pass	close
	GLUMMAN	Bath + Bed Add'n		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10218	Birdsall	- FRAMING	Pass	
AM	49 N. RIVER RD	- SLAB	Pass	
	Just Solutions			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10226	SUBIN	Window/Door		
	8 PALM CT.	FINAL	Pass	close
	DRIETWOOD			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	SPINELLI AIR 561 741-2825			INSPECTOR



Tree

Replace, Relax, Remove

☐ BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.



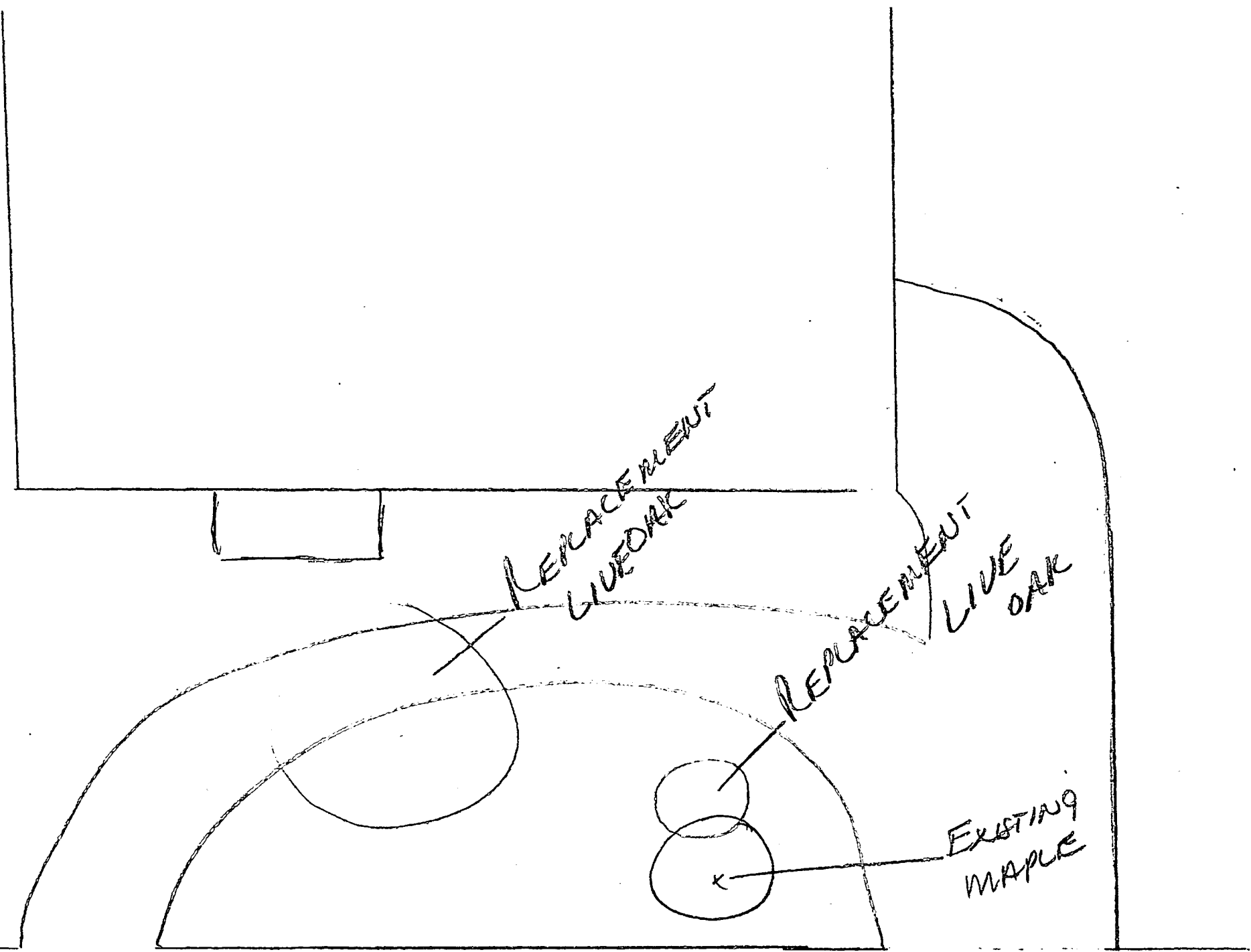
**FILE**

PP  
 CK # 203  
 \$ 30.00  
 5

REMARKS \_\_\_\_\_



Ed Arnold



34 Fieldway Dr





Landscape Architecture  
Public and Private Garden Design

MAY 14, 2001

Mr. Ed Arnold, Building Official  
Sewall's Point Building & Zoning Department  
Town Hall  
One South Sewall's Point Road  
Sewall's Point, FL 34996

**FILE**

**RE: TREE REMOVAL PERMIT - 34 FAIRWAY DRIVE**

Dear Mr. Arnold:

Due to a lack of clear communication between Collective Design, Inc. and our sub-contractor, P.B.I., a maple tree with a BHD of just 8 inches was removed from the island on the south side of the property prior to permit approval. We have replaced the maple tree with two (2) native Live Oak trees (*Quercus virginiana*) with a combined BHD of 8 inches total (3-3/4 " and the other at 4-1/4") in the same general area of the property. Per your phone conversation today with M.J. Decker, enclosed please find our check #3883 in the amount of \$30 representing the fee you requested. ✓ OK

We apologize for any inconvenience we may have caused your department. We will most certainly avoid this type of miscommunication in the future.

Sincerely,

Meg Whitmer, RLA, ASLA  
Principal

Enclosure: Check #3883

revo.  
A

5/23/01 'AFTER PAID' PERMIT  
ISSUED (TR PN 0450)

A



5/7 1:30 12: FRIEDLANDER  
rec'd call from  
M.J. OBLER  
COLLECTIVE DESIGN  
223-5000

TOWN OF SEWALL'S POINT

OR TREE REMOVAL, RELOCATION, REPLACEMENT

RECEIVED

APR 30 2001

BY: *[Signature]*

Permit # \_\_\_\_\_

Date Issued \_\_\_\_\_

written statement giving reasons for removal, relocation  
which shall include the dimensional location on a survey,  
aph, superimposed with lot lines to scale, of all  
improvements and site uses, location of affected trees  
and number, etc.

Address 34 Fieldway Dr Phone 2968464

Address \_\_\_\_\_ Phone \_\_\_\_\_

Number of trees to be removed (list kinds of trees) \_\_\_\_\_

1 - Oak

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

1 - swamp maple

Number of trees to be replaced (list kinds of trees):

Permit Fee \$25.00 first tree plus \$10.00 - each additional tree - not  
to exceed \$100.00. \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement  
& are required to be removed in order to provide utility service, nor for a tree which  
is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant M.J. Friedlander Date submitted 5/1/01

Approved by Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Approved by Building Commissioner \_\_\_\_\_ Date \_\_\_\_\_

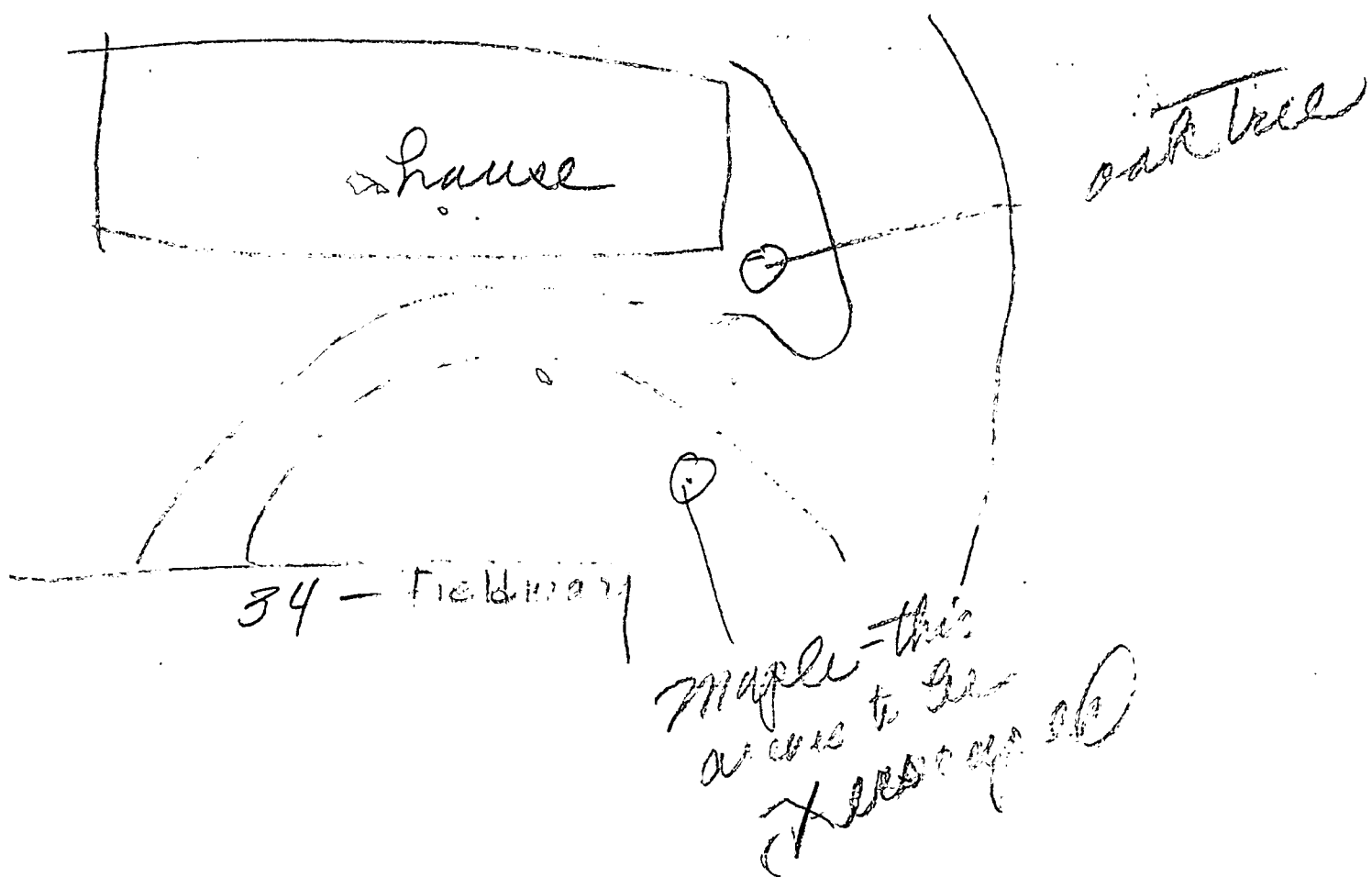
Completed \_\_\_\_\_ Date \_\_\_\_\_ Checked by \_\_\_\_\_

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~PERMIT~~ FEE. BRAZILIAN  
PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS  
PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH  
HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

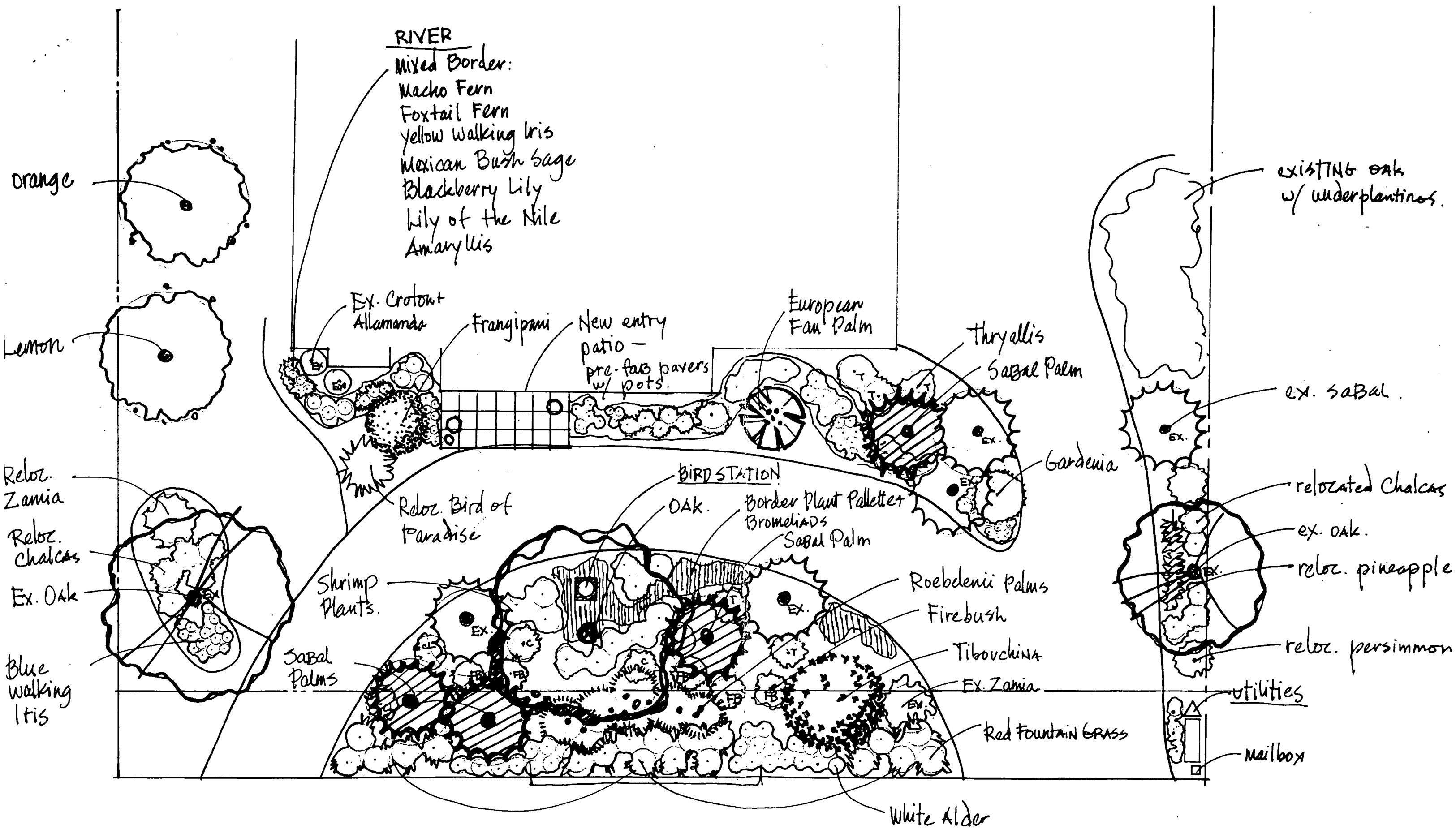
THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER,  
FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?



part of the property owned by the state









# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection: ☐ Mon ☒ Wed ☐ Fri May 2, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5229	Seely	Pool deck	Passed	878 8806
(4)	37 NE Lofting Way Harbor Bay Pools			INSPECTOR: <u>J S/2</u> ✓
5192	RAO	INSULATION	Passed	ceiling: blown? ✓
(5)	30 CASTLE HILL WAY A.R. MARTIN (JOHN-260-0574)			INSPECTOR: <u>J S/2</u> ✓
T/R	FRIEDLANDER	FIELD VERIF.	Under review	Signat. obtained T.B. Discussed
(7)	34 FIELDWAY DR. O/B 286-8464			INSPECTOR: <u>J</u>
5302	<del>NOHELE</del>	<del>UNDERGROUND</del>	<del>X</del>	<del>late as possible</del>
X	<del>6 N. RIDGEVIEW</del> <del>MASTER</del>	<del>PLUMB.</del>	<del>X</del>	<del>CHUCK BY CONTR 5/1 12:36</del>
4990	ELDER	ROUGH ELECT	Passed	
(1)	4 EMARITA WAY O/B	+ PLUMBING		INSPECTOR: <u>J S/2</u> ✓
5317	NEARING	REROOF - FINAL	Passed	
(2)	5 LANTANA COOPER			INSPECTOR: <u>J S/2</u> ✓
T/R	GUNZEL	FIELD VERIFICATION	Passed	Sign appl. (not home)
(3)	19 N. VIA LUCINDIA O/B			INSPECTOR: <u>J S/2</u> ✓

OTHER: CODE ENFORCEMENT COMPLAINT: DECK/TERRACE w/o PERMIT; SETBACK VIOLATION  
 (8) 1) 9'x6' w 2x6 EXT = 66" (EAST) 2) SIDE RAB 22 SIMARA (APPT. 1:30 P.M.)  
 (2) 2x9'x8' = 72" (WEST) 1) USP. w/OWNER  
 5/2/01 1:30 PM - VERIFIED COMPLAINT; REVD PERMISSION FOR P.D. TO PHOTOGRAPH



## TOWN OF SEWALL'S POINT

## APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

revised  
submitted  
w/ repl. trees

RECEIVED

MAY - 8 2001

BY: g

Permit # \_\_\_\_\_

Date Issued \_\_\_\_\_

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner MAYNUS GEORGE FRIEDLANDER Address 34 FIELDWAY DR Phone 286-8464  
STUART, FL

Contractor Collective Design Inc Address 151 SW FLAGLER BL Phone 223-5000  
STUART

Number of trees to be removed (list kinds of trees) 1 MAPLE

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

2 LIVE OAK / QUERCUS VIRGINIANA  
Number of trees to be replaced (list kinds of trees):

"AFTER FACT" DOUBLE PER

Permit Fee \$ 30.00 ~~(\$25.00 first tree plus \$10.00 - each additional tree - to exceed \$100.00 \$15.00)~~

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted ✓ SEE LTR 5/14/01 Plans approved as marked \_\_\_\_\_

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Helen Friedlander Date submitted 5-8-01

Approved by Building Inspector [Signature] Date 5/23/01

Approved by Building Commissioner \_\_\_\_\_ Date \_\_\_\_\_

Completed \_\_\_\_\_

Date

Checked by

**FEE.**

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