

**102 Henry Sewall Way**

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BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 2/22/05

BUILDING PERMIT NO. 7328

Building to be erected for SCHMADER Type of Permit SFR

Applied for by STEPHEN P. CONWAY (Contractor) Building Fee 4320.00

Subdivision HENRY SEWALL Lot 9 Block \_\_\_\_\_ Radon Fee 4598.20

Address 102 HENRY SEWALL WAY Impact Fee 50.93

Type of structure SFR A/C Fee 120.00

Parcel Control Number: \_\_\_\_\_ Electrical Fee 120.00

13384101300000094000 Plumbing Fee 120.00

Amount Paid 9929.13 Check # 11670 Cash \_\_\_\_\_ Other Fees (10% PLAN REVIEW) 480.00

Total Construction Cost \$ 450.000 TOTAL Fees 9929.13

Signed Stephen P. Conway  
Applicant

Signed Gene Summers (GMB)  
Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> BUILDING <u>SFR</u> | <input checked="" type="checkbox"/> ELECTRICAL | <input checked="" type="checkbox"/> MECHANICAL |
| <input checked="" type="checkbox"/> PLUMBING            | <input checked="" type="checkbox"/> ROOFING    | <input type="checkbox"/> POOL/SPA/DECK         |
| <input type="checkbox"/> DOCK/BOAT LIFT                 | <input type="checkbox"/> DEMOLITION            | <input type="checkbox"/> FENCE                 |
| <input type="checkbox"/> SCREEN ENCLOSURE               | <input type="checkbox"/> TEMPORARY STRUCTURE   | <input type="checkbox"/> GAS                   |
| <input type="checkbox"/> FILL                           | <input type="checkbox"/> HURRICANE SHUTTERS    | <input type="checkbox"/> RENOVATION            |
| <input type="checkbox"/> TREE REMOVAL                   | <input type="checkbox"/> STEMWALL              | <input type="checkbox"/> ADDITION              |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 2/22/05

BUILDING PERMIT NO. **7328**

Building to be erected for SCHMADEE Type of Permit SFR

Applied for by STEPHEN P. CONWAY (Contractor) Building Fee 4320.00

Subdivision HENRY SEWALL Lot 9 Block \_\_\_\_\_ Radon Fee 4598.20

Address 102 HENRY SEWALL WAY Impact Fee 5093

Type of structure SFR A/C Fee 120.00

Parcel Control Number: \_\_\_\_\_ Electrical Fee 120.00

1338 4101 3000000940000 Plumbing Fee 120.00

Amount Paid 9929.13 Check # 1670 Cash \_\_\_\_\_ Other Fees 120.00  
10% PLAN REVIEW

Total Construction Cost \$ 450.00 TOTAL Fees 9929.13

Signed Stephen P. Conway  
Applicant

Signed Hine Summers (GMS)  
Town Building Official



RENEWAL: \$528.00/mo x 1 mo = \$528.00 #5337 good thru 3/22/06  
RENEWAL: \$528.00/mo x 1 mo = \$528.00 #5429 good thru 4/22/06  
RENEWAL: \$528/mo x 3 mo = 1584.00 CL#5454 MASTER PERMIT NO. 8009 thru 7/22/06

### TOWN OF SEWALL'S POINT

Date 2/22/05 BUILDING PERMIT NO. **7328**  
Building to be erected for SCHMADER Type of Permit SFR  
Applied for by STEPHEN P. CONWAY <sup>226-0004</sup> (Contractor) Building Fee 4320.00  
Subdivision HENRY SEWALL Lot 9 Block \_\_\_\_\_ Radon Fee 4598.20  
Address 102 HENRY SEWALL WAY Impact Fee 5093  
Type of structure SFR AC Fee 120.00  
Parcel Control Number: \_\_\_\_\_ Electrical Fee 120.00  
133841013000000940000 Plumbing Fee 120.00  
Amount Paid 9929.13 Check # 1670 Cash \_\_\_\_\_ Other Fees <sup>10% PLAN REVIEW</sup> 480.00  
Total Construction Cost \$ 450.00 TOTAL Fees 9929.13

Signed Stephen P. Conway Applicant Signed Helen Summers (GWS) Town Building Official

Town Building Official

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Date: 2-17-05 Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: LEONARD SCHMADER Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address: 102 HENRY SEWALL WAY City: SEWALLS POINT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) LOT 9 SEWALLS MEADOW Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: SINGLE FAMILY

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 450,000  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: STEPHEN P. CONWAY Phone 220-0064 Fax 220-8601

Street: PO BOX 2373 City: STUART State: FL Zip: 34995

State Registration Number: CRC 053742 State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: COOK ELECTRIC State: \_\_\_\_\_ License Number: ER 0008060

Mechanical: HEAIR State: \_\_\_\_\_ License Number: CACD 41199

Plumbing: MASTER PLUMBING State: \_\_\_\_\_ License Number: CFC 057528

Roofing: PAULIC ROOFING State: \_\_\_\_\_ License Number: CCC 056793

ARCHITECT JOE McCARTY Lic.#: \_\_\_\_\_ Phone Number: 287-6735

Street: 900 E OSCEOLA STREET City: STUART State: FL Zip: 34995

ENGINEER V.J. Gerley & Assoc Lic# 21422 Phone Number: 334-2600

Street: 3190 NE MARK ST City: JENSEN BEACH State: FL Zip: 334957

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living 2675 Garage: 937 Covered Patios: 330 Screened Porch: \_\_\_\_\_  
Carport: \_\_\_\_\_ Total Under Roof 3942 Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of: \_\_\_\_\_

This the \_\_\_\_\_ day of \_\_\_\_\_, 200

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

as identification. \_\_\_\_\_

Notary Public.

My Commission Expires: \_\_\_\_\_

Seal

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: MARTIN

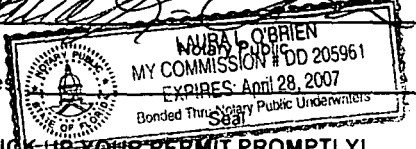
This the 18TH day of February 200

by STEPHEN CONWAY who is personally

known to me or produced \_\_\_\_\_

As identification \_\_\_\_\_

My Commission Expires: \_\_\_\_\_



FEBRUARY 18, 2005  
HYPOLUXO, FL 33462

**SEWALL'S POINT BUILDING DEPARTMENT**

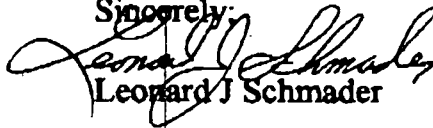
**GENE SIMMONS**  
Fax 772-220-4765

This letter is to inform you that I am withdrawing my owner builder single family residence application for 102 Henry Sewall Way.

Stephen P Conway will be replacing it with his application as a State Certified Contractor. Mr Conway's contact information is.

Stephen P Conway  
4 Oak Hill Way  
Sewall's Point, FL 34996  
Phone 772-220-0064  
Cell 772-285-2673  
Fax 772-220-8601

Sincerely,



Leonard J Schmader

153 N Lakeshore Dr  
Hypoluxo, FL 33462  
Home 561-540-2599  
Work 561-233-4453

Permit Number: \_\_\_\_\_

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION** h) 561-799-9629

OWNER/TITLEHOLDER NAME: LEONARD J SCHMADER Phone (Day) 561-233-4453 (Fax) \_\_\_\_\_

Job Site Address: 102 HENRY SEWALL WAY City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Legal Description of Property: LOT 9 SEWALL'S MEADOW Parcel Number: \_\_\_\_\_

Owner Address (if different): 905 SANCTUARY COVE DRIVE City: N. PALM BEACH State: FL Zip: 33410

Description of Work To Be Done: NEW SINGLE FAMILY HOME

WILL OWNER BE THE CONTRACTOR?:  Yes  No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 275,000 (Notice of Commencement needed over \$2500)  
388,400

**SUBCONTRACTOR INFORMATION:**

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT JOSEPH P MCCARTY ARCHITECT INC Phone Number: 772-287-6735  
Street: 900 EAST OSCEOLA STREET City: STUART State: FL Zip: 34994

ENGINEER V.J. GERLEY AND ASSOCIATES Phone Number: 772-334-2600  
Street: 3190 NE MAPLE AVENUE City: JENSEN BEACH State: FL Zip: 34957

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: 2675 Garage: 937 Covered Patios: 566 Screened Porch: 915  
Carport: 0 Total Under Roof 5093 Wood Deck: 0 Accessory Building: 0

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
Leonard J. Schmader  
State of Florida, County of: Palm Beach  
This the 24<sup>th</sup> day of May, 2004  
by Leonard J. Schmader who is personally  
known to me or produced \_\_\_\_\_  
as identification. IDL 5536530 41 096-0

CONTRACTOR SIGNATURE (required)  
\_\_\_\_\_  
On State of Florida, County of: \_\_\_\_\_  
This the \_\_\_\_\_ day of \_\_\_\_\_, 200\_\_\_\_  
by \_\_\_\_\_ who is personally  
known to me or produced \_\_\_\_\_  
As identification. \_\_\_\_\_

Notary Public  
YLMA M. ULERIO  
Notary Public, State of Florida  
My comm. expires Feb. 2008  
No. DD 290634  
PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Notary Public  
My Commission Expires: \_\_\_\_\_  
Seal



TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):**

102 HENRY SEWALL WAY LOT 9 SEWALL'S MEADOW

**GENERAL DESCRIPTION OF IMPROVEMENT:** SINGLE FAMILY RESIDENCE AND POOL

**OWNER:** LEONARD J SCHMADER

**ADDRESS:** 905 SANCTUARY COVE DR NORTH PALM BEACH, FL 33410

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

**CONTRACTOR:** OWNER BUILDER

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

**SURETY COMPANY (IF ANY):** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

**BOND AMOUNT:** \_\_\_\_\_

**LENDER:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

**NAME:** LEONARD J SCHMADER

**ADDRESS:** 905 SANCTUARY COVE DR NORTH PALM BEACH, FL 33410

**PHONE #:** 561-799-9629 **FAX #:** \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

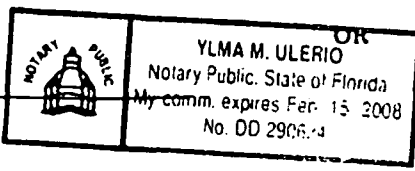
**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

**EXPIRATION DATE OF NOTICE OF COMMENCEMENT:** \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Leonard J Schmader  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 24<sup>th</sup> DAY OF May  
2004 BY Leonard J Schmader

[Signature]  
NOTARY SIGNATURE



PERSONALLY KNOWN  
PRODUCED ID  
TYPE OF ID: FL 553653041096-0  
12/26/02  
EXP 3/16/10

INSTR # 1812549 OR BK 01980 PG 0176 RECD 02/07/2005 11:22:15 AM  
MARSHA EVANG MARTIN COUNTY DEPUTY CLERK S Phosorik

# FILE

FEBRUARY 18, 2005  
HYPOLUXO, FL 33462

## SEWALL'S POINT BUILDING DEPARTMENT

GENE SIMMONS

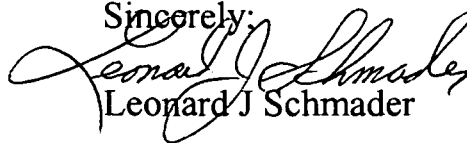
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Stephen P Conway  
4 Oak Hill Way  
Sewall's Point, FL 34996  
Phone 772-220-0064  
Cell 772-285-2673  
Fax 772-220-8601

Sincerely:



Leonard J Schmader

153 N Lakeshore Dr  
Hypoluxo, FL 33462  
Home 561-540-2599  
Work 561-233-4453

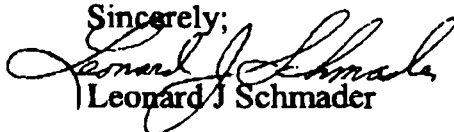
FEBRUARY 17, 2005  
HYPOLUXO, FL 33462

**SEWALL'S POINT BUILDING DEPARTMENT**

**GENE SIMMONS**  
Fax 772-220-4765

This letter is to inform you that I am appointing Steven Conway as my agent and give him the authority to pay for and pick up my building permit for 102 Henry Sewall Way.

Sincerely:

 2-17-05  
Leonard J. Schmader

153 N Lakeshore Dr  
Hypoluxo, FL 33462  
Home 561-540-2599  
Work 561-233-4453

**Town of Sewall's Point  
Building Department  
772-287-2455 ext 13  
772-220-4765 FAX**

# Fax

**To:** MR. SCHMADER      **From:** LAURA / GENE  
**Fax:** 1-561-233-4451      **Date:** 2/3/05  
**Phone:**      **Pages:** 6  
**Re:** PERMIT      **CC:**  
 Urgent       For Review       Please Comment       Please Reply       Please Recycle

IN REVIEW OF YOUR PERMIT APPLICATION,  
MR. SIMMONS NOTED YOU ARE MISSING  
STORMWATER CALCULATIONS, PLEASE  
REFERENCE THE ATTACHED ORDINANCE.  
PERMIT IS READY TO GO AFTER THESE  
ARE RECEIVED + REVIEWED.



**ARTICLE I. GENERAL****Sec. 52-1. Title.**

This chapter shall be known as the Town of Sewall's Point Stormwater Control Ordinance, and may be so cited.

(Ord. No. 301, 7-20-04)

**Secs. 52-2—52-20. Reserved.****ARTICLE II. PURPOSE AND INTENT****Sec. 52-21. Purpose.**

The purpose of this chapter is to promote the health, safety and general welfare of the inhabitants of the Town of Sewall's Point.

(Ord. No. 301, 7-20-04)

**Sec. 52-22. Intent.**

The chapter is intended to comply with federal and state laws and regulations regarding water quality and runoff.

(Ord. No. 301, 7-20-04)

**Sec. 52-23. Definitions.**

The following words and phrases, when used in this chapter, shall have the meanings respectively ascribed to them:

*Authorized official* means a code enforcement officer as defined in section 18-201(a)(b).

*Discharge* means any direct or indirect entry of any solid, liquid or gaseous matter.

*NPDES permit* means National Pollution Discharge Elimination System Permit.

*Person* means any natural individual, corporation, partnership, institution or other entity.

*Stormwater system* means the system of conveyances owned by the town used for collecting, storing and transporting stormwater but not including any facilities intended to be used in accordance with applicable flow for collecting and transporting sanitary or other wastewater.

*Substantial improvement* means, for a structure built prior to the enactment of the ordinance codified in this chapter, any repair, reconstruction or improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure, either before the repair or improvement is started, or, if the structure has been damaged and is being restored, before the damage occurred. For the purposes of this definition, substantial

improvement is considered to occur when the first alteration of any wall, ceiling, floor or other structural part of the building commences, whether or not that alteration affects the external dimensions of the structure. The term does not, however, include either:

- (1) Any project for improvement of a structure to comply with existing state or local health, sanitary, or safety code specifications which are solely necessary to ensure safe living conditions; or
- (2) Any alteration of a structure listed on the National Register of Historic Places or a state inventory of historic places.

(Ord. No. 301, 7-20-04)

**Sec. 52-24. On-site retention.**

(a) *General provisions.* Each new or substantial improvement project and/or site shall maintain on-site stormwater runoff for water quality treatment based on the percentage of impervious surface on the property. The calculation for determining this amount is as follows: volume of retention in cubic yards equals 0.21 times the area of impervious surface divided by 27. This amount is the area required to be built as retention ponds, swales, or with berms to achieve retaining the quantity of water as outlined above prior to discharging to the road rights-of-way, waterways or adjoining properties.

(b) *Specific provisions.* Each new proposed project and/or site over one acre shall obtain a National Pollutant Discharge Elimination System Permit (NPDES) from the Department of Environmental Protection (DEP) to address on-site stormwater retention and discharge during construction of the project.

(Ord. No. 301, 7-20-04)

**Sec. 52-25. Construction site control, disposal, and temporary storage of construction-related material and waste.**

(a) *General prohibitions.* Material or waste such as discarded building materials, concrete truck washouts, chemicals, litter, and sanitary waste that could contaminate the Town's Stormwater System is prohibited.

(Ord. No. 301, 7-20-04)

**Sec. 52-26. Elicit discharges.**

(a) *General prohibitions.* Except as set forth under section 52-26(c) of this chapter or as in accordance with a valid NPDES permit, any discharge to the stormwater system that is not composed entirely of stormwater is prohibited.

(b) *Specific prohibitions.* Any discharge to the stormwater system containing any sewage, individual waste or other waste materials, or containing any materials in violation of federal, state, county, municipal, or other laws, rules, regulations, orders or permits is prohibited.

(c) *Authorized exceptions.* The following discharges are exempt from the general prohibition set forth under section 52-24(a):

- (1) Flows from firefighting;
- (2) Water line flushing and other contributions from potable water sources;
- (3) Landscape irrigation and lawn watering;
- (4) Irrigation water;
- (5) Diverted stream flows;
- (6) Rising groundwater;
- (7) Direct ground infiltration to the stormwater system;
- (8) Uncontaminated pumped groundwater;
- (9) Foundation and footing drains;
- (10) Water from crawl space pumps;
- (11) Air conditioning condensation;
- (12) Springs;
- (13) Individual residential car and boat washings;
- (14) Flows from riparian habitats and wetlands; and
- (15) Dechlorinated swimming pool contributions.

(d) *Illicit connections.* No person may maintain, use or establish any direct or indirect connection to the stormwater system that results in any discharge in violation of this chapter.

(e) *Administrative order.* The authorized official may issue an order to any person to immediately cease any illicit discharge, or any connection to the stormwater system deemed to be in violation of any provision of this chapter, or in violation of federal, state, county, municipal, or other laws, rules, regulations, orders or permits.

(Ord. No. 301, 7-20-04)

#### **Sec. 52-27. Spills and dumping.**

(a) *General prohibitions.* Except as set forth under section 52-26(c) or as in accordance with a valid NPDES permit, any discharge to the stormwater system that is not composed entirely of stormwater is prohibited.

(b) *Specific prohibitions.* Any discharge to the stormwater system containing any sewage, industrial waste or other waste materials, or containing any material in violation of federal, state, county, municipal, or other laws, rules, regulations, orders or permits is prohibited.

(c) *Notification of spills.* As soon as any person has knowledge of any discharge to the stormwater system in violation of this chapter, such person shall immediately notify the authorized official and if such person is directly or indirectly responsible for such discharge, then such person shall also take immediate action to ensure the containment and clean up of such discharge.

(d) *Administrative order.* The authorized official may issue an order to any person to immediately cease any spilling and dumping into the stormwater system to be in the violation of any provision of this chapter or federal, state, county, municipal, or other laws, rules, regulations, orders or permits.

(Ord. No. 301, 7-20-04)

#### **Sec. 52-28. Inspections and monitoring.**

(a) *Authority for inspections.* Whenever necessary to make an inspection to enforce any of the provisions of this chapter, or whenever an authorized official has reasonable cause to believe there exists any condition constituting a violation of any of the provisions of this chapter, any authorized official may enter any property, building or facility at any reasonable time to inspect the same or to perform any duty related to enforcement of the provisions of this chapter or federal, state, county, municipal, or other laws, rules, regulations, orders or permits.

- (1) If such property, building or facility is occupied, such authorized official shall first present proper credentials and request permission to enter; and
- (2) If such property, building or facility is unoccupied, such authorized official shall make a reasonable effort to locate the owner or other person having charge or control of the property, building or facility, and shall request permission to enter. Any request for permission to enter made hereunder shall state that the owner or person in control has the right to refuse entry, and that in such event that entry is refused, the authorized official may enter to make inspection only upon issuance of a search warrant by a duly authorized judge. If the owner or person in control refuses permission to enter after such request has been made, the authorized official is hereby authorized to seek assistance from any court of competent jurisdiction in obtaining entry. Routine or area-wide inspection shall be based upon such reasonable selection processes as may be necessary to carry out the purposes of this chapter, including but not limited to random sampling and sampling in areas with evidence of stormwater contamination, non-stormwater discharges, or similar factors.

(b) *Authority for monitoring and sampling.* Any authorized official may establish on any property such devices as are necessary to conduct sampling or monitoring of discharges to the stormwater system. During any inspection made to enforce the provisions of this chapter, or federal, state, county, municipal, or other laws, rules, regulations, orders or permits, any authorized official may take any samples deemed necessary.

(c) *Requirements for monitoring.* The authorized official may require any person engaging in any activity or owning any property, building or facility to undertake such reasonable monitoring of any discharge(s) to the stormwater system and to furnish periodic reports.

(d) *Requirements for construction site inspections.* Inspections will be carried out to determine compliance with permit conditions for construction site operators to control construction-related materials and waste; and to conduct appropriate enforcement to require effective mitigation of the improper control, disposal and on-site temporary storage of construction related materials and wastes.

(Ord. No. 301, 7-20-04)

**Sec. 52-29. Enforcement.**

(a) *Injunctive relief.* Any violation of any provision of this chapter, or of any regulation or order issued hereunder shall be subject to injunctive relief if necessary to protect the public health, safety or general welfare.

(b) *Continuing violations.* A person shall be deemed guilty of a separate violation for each and every day during any continuing violation of any provision of this chapter, or any regulation or permit issued hereunder.

(c) *Enforcement actions.* The authorized official may take all actions necessary, including the issuance of civil violation citations, the filing of court actions and/or referral of the matter to the town code enforcement board to require and enforce compliance with the provisions of this chapter or federal, state, county, municipal, or other laws, rules, regulations, orders or permits.

(Ord. No. 301, 7-20-04)

LEONARD

CRITIQUE-REVISED

Owner: Henry Schmader  
Contractor: Owner/Builder  
Contractor's Phone Number: 561-233-4453

Date: August 18, 2004

Plan Reviewer: Gene Simmons

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS  
FOR SINGLE FAMILY RESIDENCE LOCATED AT 102 HENRY  
SEWALL'S WAYS

Submittals (2 copies)

- 1. New ordinance just passed requiring stormwater retention on lots. See attached ordinance. Need site engineer to present calculations and design of swales for lot. FAXED
- 2. Notice of Commencement (still not presented) UNRECORDED HERE, IS PREPARED TO BRING RECORDED COPY @ PICKUP
- 3. Application for Tree Removal Permit - the existing survey may be used and attached to the tree removal permit. Application still not presented. NO TREES TO BE REMOVED IN FOOTPRINT

The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

- 1. Foundation Plan containing the following information:
  - a. Since this residence is in a base flood elevation of 9.0 feet, all areas (garage) below that elevation must be vented per FEMA regulations. Need letter from architect indicating amount of square footage of venting and location of vents.

NOTATION ON REVISED ELEVATION PLAN @ GARAGE, ALSO WAS ON ORIGINAL PLAN.

## CRITIQUE-REVISED

Owner: Henry Schmader

Date: August 18, 2004

Contractor: Owner/Builder

Contractor's Phone Number: 561-233-4453 Plan Reviewer: Gene Simmons

### PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR SINGLE FAMILY RESIDENCE LOCATED AT 102 HENRY SEWALL'S WAYS

#### Submittals (2 copies)

1. New ordinance just passed requiring stormwater retention on lots. See attached ordinance. Need site engineer to present calculations and design of swales for lot.
2. Notice of Commencement **(still not presented)**
3. Application for Tree Removal Permit – the existing survey may be used and attached to the tree removal permit. **Application still not presented.**

#### The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. Foundation Plan containing the following information:
  - a. Since this residence is in a base flood elevation of 9.0 feet, all areas (garage) below that elevation must be vented per FEMA regulations. Need letter from architect indicating amount of square footage of venting and location of vents.

**Sec. 52-23. Definitions.**

The following words and phrases, when used in this Chapter, shall have the meanings respectively ascribed to them:

*Authorized Official* means a Code Enforcement Officer as defined in Section 18-201(a)(b).

*Discharge* means any direct or indirect entry of any solid, liquid or gaseous matter.

*NPDES Permit* means National Pollution Discharge Elimination System Permit.

*Person* means any natural individual, corporation, partnership, institution or other entity.

*Stormwater System* means the system of conveyances owned by the Town used for collecting, storing and transporting stormwater but not including any facilities intended to be used in accordance with applicable flow for collecting and transporting sanitary or other wastewater.

*Substantial Improvement* means, for a structure built prior to the enactment of the Ordinance codified in this Chapter, any repair, reconstruction or improvement of a structure, the cost of which equals or exceeds fifty (50) percent of the market value of the structure, either before the repair or improvement is started, or, if the structure has been damaged and is being restored, before the damage occurred. For the purposes of this definition, substantial improvement is considered to occur when the first alteration of any wall, ceiling, floor or other structural part of the building commences, whether or not that alteration affects the external dimensions of the structure. The term does not, however, include either:

- (1) Any project for improvement of a structure to comply with existing state or local health, sanitary, or safety code specifications which are solely necessary to ensure safe living conditions; or
- (2) Any alteration of a structure listed on the National Register of Historic Places or a state inventory of historic places.

**Sec. 52-24. On-Site Retention.**

- (a) *General Provisions.* Each new or substantial improvement project and/or site shall maintain on-site stormwater runoff for water quality treatment based on the percentage of impervious surface on the property. The calculation for determining this amount is as follows: volume of retention in cubic yards equals point two one (0.21) times the area of impervious surface divided by twenty-seven (27). This amount is the area required to be built as retention ponds, swales, or with berms to achieve retaining the quantity of water as outlined above prior to discharging to the road right-of-ways, waterways or adjoining properties.



- (b) *Specific Provisions.* Each new proposed project and/or site over one (1) acre shall obtain a National Pollutant Discharge Elimination System Permit (NPDES) from the Department of Environmental Protection (DEP) to address on-site stormwater retention and discharge during construction of the project.

**Sec. 52-25. Construction Site Control, Disposal, and Temporary Storage of Construction-related Material and Waste.**

- (a) *General Prohibitions.* Material or waste such as discarded building materials, concrete truck washouts, chemicals, litter, and sanitary waste that could contaminate the Town's Stormwater System is prohibited.

**Sec. 52-26. Elicit Discharges.**

- (a) *General Prohibitions.* Except as set forth under Section 52-26(c) of this Chapter or as in accordance with a valid NPDES permit, any discharge to the stormwater system that is not composed entirely of stormwater is prohibited.
- (b) *Specific Prohibitions.* Any discharge to the stormwater system containing any sewage, individual waste or other waste materials, or containing any materials in violation of federal, state, county, municipal, or other laws, rules, regulations, orders or permits is prohibited.
- (c) *Authorized exceptions.* The following discharges are exempt from the general prohibition set forth under Section 52-24(a):
  - (1) Flows from firefighting;
  - (2) Water line flushing and other contributions from potable water sources;
  - (3) Landscape irrigation and lawn watering;
  - (4) Irrigation water;
  - (5) Diverted stream flows;
  - (6) Rising groundwater;
  - (7) Direct ground infiltration to the stormwater system;
  - (8) Uncontaminated pumped groundwater;
  - (9) Foundation and footing drains;
  - (10) Water from crawl space pumps;
  - (11) Air conditioning condensation;
  - (12) Springs;
  - (13) Individual residential car and boat washings;
  - (14) Flows from riparian habitats and wetlands; and
  - (15) Dechlorinated swimming pool contributions.
- (d) *Illicit Connections.* No person may maintain, use or establish any direct or indirect connection to the stormwater system that results in any discharge in violation of this Chapter.
- (e) *Administrative Order.* The authorized official may issue an order to any person to immediately cease any illicit discharge, or any connection to

## PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR SINGLE FAMILY RESIDENTS

**IMPORTANT NOTICE:** All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

### Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (can be found on your deed, survey or Tax Bill)
3. Contractors name, address, phone, fax and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number,
6. Scope of Work
7. Estimated cost of construction.
8. Original signature of owner and notarized
9. Original signature of Contractor and notarized.

### Submittals (2 copies)

1. Current survey containing the following information:
  - a. Legal Description of Lot
  - b. Lot dimensions and bearings
  - c. Street and Waterway names
  - d. Grade elevations (proposed and existing)
  - e. Proposed swale and/or drainage arrows
  - f. Existing and proposed structures, decks, pads, etc.
  - g. Finish Floor Elevations (proposed and existing)
  - h. Crown of road(s)
  - i. Adjacent occupied/unoccupied
  - j. Easements
  - k. Setbacks
  - l. Road Right-Of-Ways
  - m. Well locations (proposed and existing)
  - n. Septic drainfield(s) (proposed and existing)
  - o. Canals, Ponds, or Riverfront locations
  - p. Retention areas (proposed and existing)
  - q. Impervious/Pervious calculations
  - r. Certified to the Town of Sewall's Point
2. Wind Load Certification Form (signed and sealed by Architect/Engineer)
3. Energy Calculations and Compliance Certification.
4. Product approvals from Miami/Dade for the following items:
  - a. Windows
  - b. Exterior Doors
  - c. Roof System
  - d. Garage Door
  - e. Hurricane Shutters

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
10/12/2004

PRODUCER (407)647-7901 FAX (407)647-5604  
**Kraft Insurance Agency**  
 231 North New York Avenue  
 Winter Park, FL 32789

INSURED **Stephen P. Conway, LLC**  
 4 Oakhill Way  
 Stuart, FL 34996

Fax 772-220-0064

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE		NAIC #
INSURER A:	Mid-Continent Casualty Co	
INSURER B:		
INSURER C:		
INSURER D:		
INSURER E:		

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	04GL542376	03/29/2004	03/29/2005	EACH OCCURRENCE	\$ 300,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ Excluded
					PERSONAL & ADV INJURY	\$ 300,000
					GENERAL AGGREGATE	\$ 600,000
					PRODUCTS - COMP/OP AGG	\$ 600,000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS					
	<input type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
					AUTO ONLY: AGG	\$
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
	<input type="checkbox"/> DEDUCTIBLE					\$
	RETENTION \$					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS	OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
	If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$
	OTHER				E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

## CERTIFICATE HOLDER

Town of Seawalls Point  
 Building Dept.  
 1 Seawalls Point Road  
 Stuart, FL 34996

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
 William McCormick

# RE-ISSUANCE

01-07-2004



## STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION

TOM GALLAGHER  
CHIEF FINANCIAL OFFICER

### \*\* RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION \*\*

This certificate exempts the Officer of the Corporation or the Member of the Limited Liability Company listed below from the provision of Florida Workers' Compensation Law for the period indicated below.

EFFECTIVE DATE: 01/01/2004      EXPIRATION DATE: 09/29/2005

CORPORATE OFFICER/  
LLC MEMBER NAME: CONWAY      STEPHEN      P

FEIN: 059425526

BUSINESS NAME AND ADDRESS: STEPHEN P CONWAY LLC  
416 SE CORTEZ AVE  
STUART      FL 34994

SCOPE OF BUSINESS OR TRADE: RESIDENTIAL CONTRACTOR

**IMPORTANT:** Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

QUESTIONS? (850) 488-2333

VC - 253 RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION REVISED 11-03

Please cut out the card below and retain for inspection by any Department of Financial Services representative while conducting work.

<p>STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION</p> <p>** RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION **</p> <p>This certificate exempts the Officer of the Corporation listed below from the provision of Florida Workers' Compensation Law for the period indicated below.</p> <p>EFFECTIVE DATE: 01/01/2004 EXPIRATION DATE: 09/29/2005</p> <p>CORPORATE OFFICER/ LLC MEMBER NAME: CONWAY      STEPHEN</p> <p>FEIN: 059425526</p> <p>BUSINESS NAME AND ADDRESS: STEPHEN P CONWAY LLC 416 SE CORTEZ AVE STUART      FL 34994</p> <p>SCOPE OF BUSINESS OR TRADE: RESIDENTIAL CONTRACTOR</p>	<p><b>IMPORTANT</b></p> <p><b>F</b> This certificate applies only to the corporate officer named on this certificate and applies only within the scope of the business or trade listed hereon.</p> <p><b>O</b></p> <p><b>L</b> A copy of this card or the duplicate above must be carried and available for inspection at all time while conducting any construction work.</p> <p><b>D</b></p> <p><b>H</b> Pursuant to chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.</p> <p><b>E</b></p> <p><b>R</b></p> <p><b>E</b> Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.</p> <p>QUESTIONS? (850) 488-2333</p>
---	--

CUT HERE

AC# 1457207

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04062100884

DATE	BATCH NUMBER	LICENSE NBR
06/21/2004	030729136	CRC053742

The RESIDENTIAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

CONWAY, STEPHEN P  
STEPHEN P CONWAY LLC  
4 OAK HILL WAY  
STUART FL 34996

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR  
SECRETARY

2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-6604

LICENSE 2001-513-005 CERT \_\_\_\_\_  
PHONE (561)220-0064 SIC NO 001521

LOCATION:  
5519 SE REEF WAY ST

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>00</u>
\$	<u>.00</u>	COL. FEE \$	<u>00</u>
\$	<u>.00</u>	TRANSFER \$	<u>00</u>
TOTAL			<u>25.00</u>



CONWAY, STEPHEN P  
STEPHEN P CONWAY  
PO BOX 2373  
STUART FL 34995-2373

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF  
OF **CERT. RESIDENTIAL CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

17 DAY OF SEPTEMBER 04  
AND ENDING SEPTEMBER 30 2005 12 04091701 004052

AC# 1457207

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L04062100884

DATE	BATCH NUMBER	LICENSE NBR
06/21/2004	030729136	CRC053742

The RESIDENTIAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

CONWAY, STEPHEN P  
STEPHEN P CONWAY LLC  
4 OAK HILL WAY  
STUART FL 34996

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR  
SECRETARY

MASTER PERMIT NO. 7328

TOWN OF SEWALL'S POINT

Date 2/22/05

BUILDING PERMIT NO. 7332

Building to be erected for SCHMADEK

Type of Permit SUB-ROOFING

Applied for by Seaman P Conway / Pacific Roofing (Contractor)

Building Fee /

Subdivision Henry Sewall Lot 9 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 107 HENRY SEWALL WAY

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee See

PRINT QUAL NAME: Richard Gomes

Electrical Fee PN 7328

Parcel Control Number: LIC#: CCC 056793

Plumbing Fee \_\_\_\_\_

13841013000000940000

Roofing Fee \_\_\_\_\_

Amount Paid X Check # X Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ \_\_\_\_\_ TOTAL Fees \_\_\_\_\_

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING         | <input checked="" type="checkbox"/> ROOFING  | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |



# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
12/13/2004

PRODUCER (561)746-4546 FAX (561)746-9599  
Tequesta Agency, Inc.  
218 S. US Highway One, Ste 300  
Tequesta, FL 33469  
Debra Hicks-Neumann

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED Pacific Roofing Corp., Inc.  
PO Box 2697  
Stuart, FL 34994

**INSURERS AFFORDING COVERAGE**

NAIC #

INSURER A: **Lexington**

INSURER B:

INSURER C:

INSURER D:

INSURER E:

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	GLB11192004	12/12/2004	12/12/2005	EACH OCCURRENCE	\$ 1,000,000
	DAMAGE TO RENTED PREMISES (Ea occurrence)				\$ 100,000	
					MED EXP (Any one person)	\$ Excluded
					PERSONAL & ADV INJURY	\$ 1,000,000
					GENERAL AGGREGATE	\$ 2,000,000
					PRODUCTS - COMP/OP AGG	\$ 2,000,000
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident)	\$
					BODILY INJURY (Per person)	\$
					BODILY INJURY (Per accident)	\$
					PROPERTY DAMAGE (Per accident)	\$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
					OTHER THAN EA ACC	\$
					AUTO ONLY: AGG	\$
	<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE	\$
					AGGREGATE	\$
						\$
						\$
						\$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER				WC STATU-TORY LIMITS	OTH-ER
					E.L. EACH ACCIDENT	\$
					E.L. DISEASE - EA EMPLOYEE	\$
					E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

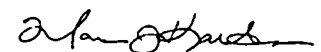
**CERTIFICATE HOLDER**

Sewalls Point Building Dept  
1 Sewalls Point Road  
Sewalls Pont, FL 34996

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
Mark Kasten/DEBBIE



<b>ACORD CERTIFICATE OF LIABILITY INSURANCE</b>		CERTIFICATE NO. / DATE AC04-7900013-176426 12/8/2004 9:42:53 AM
<b>PRODUCER</b> Eisenmann Risk Placements, Inc. 14160 Dallas Parkway, Suite 500 Dallas, TX 75254 (972) 764-0965 Fax: (972) 404-4450	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
<b>INSURERS AFFORDING COVERAGE</b>		
<b>INSURED</b> PACIFIC ROOFING CORPORATION 808 SE DIXIE HWY STUART, FL 34994 (772) 283-7663 Fax: (772) 283-9505	INSURER A: PROVIDENCE PROPERTY & CASUALTY INSURANCE COMPA INSURER B: INSURER C: INSURER D: INSURER E:	

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

TYPE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE	POLICY EXPIRATION DATE	LIMITS
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR <hr/> GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-PRP <input type="checkbox"/> LOC				EACH OCCURRENCE \$ FIRE DAMAGE (Any One Fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMPROP AGG \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (E & A accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY EA ACC \$ AGG \$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <hr/> DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>	WC0100086	12/1/2004	12/1/2005	<input checked="" type="checkbox"/> WC STATL TOBY LIMITS <input type="checkbox"/> OTHER E L EACH ACCIDENT \$ 1000000 E L DISEASE - EA EMPLOYEE \$ 1000000 E L DISEASE - POLICY LIMIT \$ 1000000
	<b>OTHER</b> <hr/> \$ \$				LIMITS \$ LIMITS \$

**DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS**

1. Insured is afforded Workers Compensation & Employers Liability as a co-employer under the policy for employees leased from AMS Staff Leasing, Inc. 2. This certificate remains in effect, provided the client's account is in good standing with AMS. Coverage is not provided for any employee for which the client is not reporting wages to AMS. Applies to 100% of the employees of AMS leased to PACIFIC ROOFING CORPORATION, effective 12/01/2004.  
 \*\*\*PLEASE SEE ATTACHED EMPLOYEE ROSTER.\*\*\*

<b>CERTIFICATE HOLDER</b>	<b>ADDITIONAL INSURED, INSURER LETTER:</b>	<b>CANCELLATION</b>
Sewalls Point Building Department 1 South Sewalls Point Road  Sewalls Point, FL 34996		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>30</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE

**CERTIFICATE OF LIABILITY INSURANCE  
EMPLOYEE ROSTER**

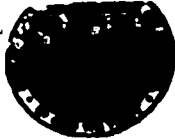
Certificate Number: AC04-7900013-174426

Attached roster includes employees paid through 11/28/2004. To verify employee's who may have been added since 11/28/2004, please call 1-800-728-0623.

\* Please note employee roster for this client is updated on a WEEKLY basis.

**EMPLOYEE LIST:**

AGUILAR, LUIZ O  
ARRANDALE, GLENN T  
ARRANDALE, SHAWN G  
Austin, Robert  
Austin, Terry  
BUCHOLZ, JOHN  
Castro, Reinaldo  
COCKERHAM, BENNIE D  
Conboy, Gary  
Destine, Magelot  
EDGECOMBS, DESMOND C  
ENS, DEANA P  
GOMES, DWAN E  
Gomez, Mario  
Gomez, Richard John  
HERNANDEZ, FREDY  
Hernandez, Martin  
Hernandez, Richard  
JACK, KATIE M  
JAFFRES, CHRISTINE  
JOSEPH, JEAN  
LOPEZ, CESAR  
Lovitt, Bonnie  
MANGILAR, ALFONSO  
MEDINO, REYNE RIO  
MENDOZA, ERICK E  
MEYER, RICHARD P  
Nickerson, James  
Piscitelli, Camerino  
RAMIREZ, JOHNNIE  
RAMOS, JUAN  
RIVAS, JUAN POSADA  
THREEWITTS, LANCE H  
TORRES, JUAN M  
Torres, Pedro  
VALDEZ, VALENTINE  
VELASQUEZ JR., ROBERT  
VOISINET, BRIAN A  
Weaver, Dennis  
WEAVER, RYAN  
WEAVER, SCOTT  
WOODS, GARY S



DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783

(850) 487-1395

GOMES, RICHARD JOHN  
PACIFIC ROOFING CORP  
PO BOX 2697  
STUART

FL 34995

STATE OF FLORIDA AC#1601424  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CCC056793 09/11/04 040233678  
 CERTIFIED ROOFING CONTRACTOR  
 GOMES, RICHARD JOHN  
 PACIFIC ROOFING CORP  
 IS CERTIFIED under the provisions of Ch. 489 FS.  
 Expiration date: AUG 31, 2006 L#4091102194

DETACH HERE

AC#1601424

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04091102194

DATE	BATCH NUMBER	LICENSE NBR
09/11/2004	040233678	CCC056793

The ROOFING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

GOMES, RICHARD JOHN  
PACIFIC ROOFING CORP  
PO BOX 2697  
STUART

FL 34995

JEB BUSH  
GOVERNOR

DIANE CARR

TOTAL P.01



**Development Department**

**121 SW Flagler Avenue - Stuart, Florida 34994-2139**

**Phone (772)288-5326 Fax (772)288-5388**

**PACIFIC ROOFING CORP  
GOMES, RICHARD J  
PO BOX 2697  
STUART FL, 34995**

**Contractor ID: AP01080463  
License Type: CCC  
Expires: September 30, 2005**

MASTER PERMIT NO. 7328

### TOWN OF SEWALL'S POINT

Date 2/22/05

BUILDING PERMIT NO. 7330

Building to be erected for SCHMAOER

Type of Permit SUB-ALC

Applied for by STEVEN P CONWAY / NIS-AIR (Contractor)

Building Fee SEE

Subdivision HENRY SEWALL Lot 9 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 102 HENRY SEWALL WAY

Impact Fee SEE

Type of structure SFR

A/C Fee PN 7328

PRINT QUAL. NAME: PHIL NISA

Electrical Fee \_\_\_\_\_

Parcel Control Number: LC#: CARD 41199

Plumbing Fee \_\_\_\_\_

13384101300000094000

Roofing Fee \_\_\_\_\_

Amount Paid  Check #  Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ \_\_\_\_\_ TOTAL Fees \_\_\_\_\_

Signed Gene Douley  
Applicant

Signed Gene Simmons  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

<b>PRODUCER</b>  Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 772-286-4334 Fax: 772-286-9389	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.												
<b>INSURED</b>  Nisair Air Conditioning Personalized Services Inc dba 3497 SE Lionel Terrace Stuart FL 34997	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width:80%;">INSURERS AFFORDING COVERAGE</th> <th style="width:20%;">NAIC #</th> </tr> <tr> <td>INSURER A: <b>Southern Owners</b></td> <td style="text-align: center;">10190</td> </tr> <tr> <td>INSURER B: <b>Auto Owners Insurance Co</b></td> <td style="text-align: center;">18988</td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table>	INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: <b>Southern Owners</b>	10190	INSURER B: <b>Auto Owners Insurance Co</b>	18988	INSURER C:		INSURER D:		INSURER E:	
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**COVERAGES**

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INSR	ADD'L	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS								
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	20609861	12/20/04	12/20/05	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000								
B		AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	96-826-376	12/20/04	12/20/05	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$								
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$								
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$								
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:50%;">WC STATU-TORY LIMITS</td> <td style="width:50%;">OTH-ER</td> </tr> <tr> <td>E.L. EACH ACCIDENT</td> <td>\$</td> </tr> <tr> <td>E.L. DISEASE - EA EMPLOYEE</td> <td>\$</td> </tr> <tr> <td>E.L. DISEASE - POLICY LIMIT</td> <td>\$</td> </tr> </table>	WC STATU-TORY LIMITS	OTH-ER	E.L. EACH ACCIDENT	\$	E.L. DISEASE - EA EMPLOYEE	\$	E.L. DISEASE - POLICY LIMIT	\$
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E.L. DISEASE - EA EMPLOYEE	\$													
E.L. DISEASE - POLICY LIMIT	\$													
		OTHER												

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS  
**Air Conditioner Contractor - Florida Employees Only**

<b>CERTIFICATE HOLDER</b>  TOWNS-1  Town of Sewalls Point fax 220-4765 1 S Sewalls Point Road Stuart FL 34996	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>Joseph E. Coout</i>
--	---

<b>PRODUCER</b>  The Plastridge Agency-SO 710 S. E. Ocean Blvd. Stuart FL 34994-2427 Phone: 772-287-5532 Fax: 772-287-5572	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW												
<b>INSURED</b>  Nisair Air Conditioning Personalized Services Inc. dba 1501 Decker Avenue #D404 Stuart FL 34994-3964	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width:80%;">INSURERS AFFORDING COVERAGE</th> <th style="width:20%;">NAIC #</th> </tr> <tr> <td>INSURER A: <b>FCCI Insurance Co.</b></td> <td></td> </tr> <tr> <td>INSURER B:</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table>	INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: <b>FCCI Insurance Co.</b>		INSURER B:		INSURER C:		INSURER D:		INSURER E:	
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	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$  BODILY INJURY (Per person) \$  BODILY INJURY (Per accident) \$  PROPERTY DAMAGE (Per accident) \$								
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$  OTHER THAN AUTO ONLY: EA ACC \$ AGG \$								
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$								
<b>A</b>	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	44571	01/01/05	01/01/06	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:50%; text-align: center;">WC STATU-TORY LIMITS</td> <td style="width:50%; text-align: center;">OTH-ER</td> </tr> <tr> <td>E.L. EACH ACCIDENT</td> <td>\$ 500000</td> </tr> <tr> <td>E.L. DISEASE - EA EMPLOYEE</td> <td>\$ 500000</td> </tr> <tr> <td>E.L. DISEASE - POLICY LIMIT</td> <td>\$ 500000</td> </tr> </table>	WC STATU-TORY LIMITS	OTH-ER	E.L. EACH ACCIDENT	\$ 500000	E.L. DISEASE - EA EMPLOYEE	\$ 500000	E.L. DISEASE - POLICY LIMIT	\$ 500000
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	OTHER												

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

<b>CERTIFICATE HOLDER</b>  TOWNSE1  Town of Sewall's Point Dale Brown Building Inspector 1 S Sewall's Point Road Stuart FL 34996	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.  AUTHORIZED REPRESENTATIVE <i>Joanne Neutra</i>
--	---



**AC 445650**

**STATE OF FLORIDA**  
**DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**  
**CONSTRUCTION-INDUSTRY LICENSING BOARD**

**DATE** 06/27/2004 **BAICR NUMBER** 030718685 **LICENSE NBR** 1501 DECKER AVE  
**STUART**


**THE CLASS B AIR CONDITIONING CONTRACTOR**  
**NAMED BELOW IS CERTIFIED**  
**UNDER THE PROVISIONS OF CHAPTER 488, F.S.**  
**EXPIRATION DATE: AUG 31, 2006**

**NISBA PHILIP ANTHONY JR.**  
**NISAIR AIRCONDITIONING**  
**1501 DECKER AVE**  
**FD-404**  
**STUART**

**FL 34994**

**DIANE CARR**  
**SECRETARY**

**DISPLAY AS REQUIRED BY LAW**



2004-2005 MARTIN COUNTY  
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE 1986-518-989 CERT \_\_\_\_\_

PHONE (772)283-0904 SIC NO 235110

LOCATION:  
1501 DECKER AVE MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR \$	<u>.00</u>	LIC FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS PROFESSION OR OCCUPATION  
OF A/C CONTR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

15 DAY OF SEPTEMBER 2004  
AND 2005

12 04091403 003120

NISAIR AIR CONDITIONING  
PERSONALIZED SERVICE INC  
CITY LIC  
1501 DECKER AVENUE D-404  
STUART FL 34994

*for: Jewellers Point to update our records*

*(1)*

TOWN OF SEWALL'S POINT

Date 2/22/05

BUILDING PERMIT NO. 7329

Building to be erected for SCHMADER Type of Permit SUB-ELEC

Applied for by SEAN P CONWAY / COOK ELECTRIC (Contractor) Building Fee /

Subdivision HENRY SEWALL Lot 9 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 102 HENRY SEWALL WAY Impact Fee SEE

Type of structure SFR A/C Fee PN 7328

PRINT REAL NAME: \_\_\_\_\_

Parcel Control Number: Lic#: \_\_\_\_\_ Electrical Fee \_\_\_\_\_

133841013000000940000 Plumbing Fee \_\_\_\_\_

Amount Paid / Check # / Cash \_\_\_\_\_ Other Fees (\_\_\_\_\_) \_\_\_\_\_

Total Construction Cost \$ \_\_\_\_\_ Roofing Fee \_\_\_\_\_

TOTAL Fees /

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input checked="" type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING               | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION            | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE   | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS    | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL              | <input type="checkbox"/> ADDITION      |

INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |


<p>PRODUCER</p> <p>The Plastridge Agency-SO 710 S. E. Ocean Blvd. Stuart FL 34994-2427 Phone: 772-287-5532 Fax: 772-287-5572</p>	<p>THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW</p>												
<p>INSURED</p> <p>Cook Electric Inc. PO Box 1104 Pt. Salerno FL 34992</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width:80%;">INSURERS AFFORDING COVERAGE</th> <th style="width:20%;">NAIC #</th> </tr> <tr> <td>INSURER A: Old Dominion Ins.</td> <td>40231</td> </tr> <tr> <td>INSURER B:</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table>	INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: Old Dominion Ins.	40231	INSURER B:		INSURER C:		INSURER D:		INSURER E:	
INSURERS AFFORDING COVERAGE	NAIC #												
INSURER A: Old Dominion Ins.	40231												
INSURER B:													
INSURER C:													
INSURER D:													
INSURER E:													

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	MPG26908	12/01/04	12/01/05	EACH OCCURRENCE \$ 500000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 500000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 10000
					PERSONAL & ADV INJURY \$ 500000
					GENERAL AGGREGATE \$ 1000000
					PRODUCTS - COMP/OP AGG \$ 1000000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO. JECT <input type="checkbox"/> LOC				
A	AUTOMOBILE LIABILITY	B2G26908	11/30/04	11/30/05	COMBINED SINGLE LIMIT (Ea accident) \$ 500000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> HIRED AUTOS				
	<input type="checkbox"/> NON-OWNED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input type="checkbox"/> RETENTION \$				\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				W/C STAT. TORY LIMITS OTH- ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT \$
	If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE \$
	OTHER				E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

<p><b>CERTIFICATE HOLDER</b></p> <p style="text-align: right;">TOWNSE1</p> <p>Town of Sewall's Point Dale Brown Building Inspector 1 S Sewall's Point Road Stuart FL 34996</p>	<p><b>CANCELLATION</b></p> <p>SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.</p> <p>AUTHORIZED REPRESENTATIVE</p> <div style="text-align: right;">  </div>
--	---

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
02/20/2004

PRODUCER  
WORKERS' COMPENSATION GROUP, INC.  
PO BOX 410  
BOCA RATON FL 33429-0410  
561-392-3300

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED  
COOK ELECTRIC, INC.  
PO BOX 1104  
PORT SALERNO FL 33492

INSURER A: BRIDGEFIELD EMPLOYERS INS. CO.

INSURER B:

INSURER C:

INSURER D:

INSURER E:

**RECEIVED**  
FEB 23 2004  
BY:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS												
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$												
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$												
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$												
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$												
A	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>	830-28722	03-01-04	03-01-05	<table border="1"> <tr> <td>WC STATU-TORY LIMITS</td> <td>X</td> <td>OTH-ER</td> </tr> <tr> <td>E.L. EACH ACCIDENT</td> <td></td> <td>\$500,000</td> </tr> <tr> <td>E.L. DISEASE - EA EMPLOYEE</td> <td></td> <td>\$500,000</td> </tr> <tr> <td>E.L. DISEASE - POLICY LIMIT</td> <td></td> <td>\$500,000</td> </tr> </table>	WC STATU-TORY LIMITS	X	OTH-ER	E.L. EACH ACCIDENT		\$500,000	E.L. DISEASE - EA EMPLOYEE		\$500,000	E.L. DISEASE - POLICY LIMIT		\$500,000
WC STATU-TORY LIMITS	X	OTH-ER															
E.L. EACH ACCIDENT		\$500,000															
E.L. DISEASE - EA EMPLOYEE		\$500,000															
E.L. DISEASE - POLICY LIMIT		\$500,000															
	OTHER																

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

TOWN OF SEWALLS POINT  
BUILDING INSPECTOR  
1 SOUTH SEWALLS POINT ROAD  
STUART FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

ELECTRICAL CONTRACTORS LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783

(850) 487-1395

COOK, MATTHEW ALLEN  
COOK ELECTRIC INC.  
4250 SE COMMERCE AVE  
STUART FL 34997

STATE OF FLORIDA AC# 1460702  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 EC0002265 06/23/04 030729288  
 CERTIFIED ELECTRICAL CONTRACTOR  
 COOK, MATTHEW ALLEN  
 COOK ELECTRIC INC.  
 IS CERTIFIED under the provisions of Ch.489 FS.  
 Expiration date: AUG 31, 2006 L04062302956

DETACH HERE

AC# 1460702

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
ELECTRICAL CONTRACTORS LICENSING BOARD

SEQ# L04062302956

DATE	BATCH NUMBER	LICENSE NBR
06/23/2004	030729288	EC0002265

The ELECTRICAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

COOK, MATTHEW ALLEN  
COOK ELECTRIC INC.  
4250 SE COMMERCE AVE  
STUART FL 34997

JEB BUSH  
GOVERNOR

DIANE CARR  
SECRETARY

DISPLAY AS REQUIRED BY LAW

Attn: Laurie

Copy of Martin Co. license as needed.

Thank You, Matt

2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE  
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34996  
(772) 288-5604

LICENSE 982-508-133 CERT ME00152  
PHONE (772) 287-0938 SIC NO 23530  
LOCATION:  
4250 SE COMMERCE AVE MA 6818

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL		<u>25.00</u>	

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF  
MASTER ELECTRICIAN

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

20 DAY OF AUGUST 04  
AND 2005

COOK, ROBERT C  
COOK ELECTRIC INC  
PO BOX 1104  
PORT SALERNO FL 34992

RECEIPT OF PAYMENT  
LARRY C. O'STEEN  
79 88/28/2004 UCCI NORMAL  
19825888413888  
822048288719ACK  
825.00

MASTER PERMIT NO. 7328

### TOWN OF SEWALL'S POINT

Date 2/22/05

BUILDING PERMIT NO. 7331

Building to be erected for SCHMADER

Type of Permit SUB-PLUMBING

Applied for by SEAN P CONWAY/MASER PUMANA (Contractor)

Building Fee \_\_\_\_\_

Subdivision HENRY SEWALL Lot 9 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 102 HENRY SEWALL WAY

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee SEE

Permit Owner Name Peter Van Ette

Electrical Fee PN 7328

Parcel Control Number: Lot # 1 CF 6057528

Plumbing Fee \_\_\_\_\_

133841013000000940000

Roofing Fee \_\_\_\_\_

Amount Paid  Check #  Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ \_\_\_\_\_ TOTAL Fees \_\_\_\_\_

Signed Peter Van Ette  
Applicant

Signed Gene Simmons  
Town Building Official

## PERMIT

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> BUILDING            | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input checked="" type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT      | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE    | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL                | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL        | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____



# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID SE  
MASTP-1

DATE (MM/DD/YYYY)  
10/11/04

<b>PRODUCER</b> Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 772-286-4334 Fax: 772-286-9389	<b>THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.</b>	
	<b>INSURERS AFFORDING COVERAGE</b>	<b>NAIC #</b>
<b>INSURED</b> Masters Plumbing, Inc. of Martin County dba Master Plumbing 2551 SE Clayton Street Stuart FL 34997-5017	INSURER A: Southern Owners	10190
	INSURER B: Auto Owners Insurance Co	18988
	INSURER C:	
	INSURER D:	
	INSURER E:	

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	20592185	10/09/04	10/09/05	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 10,000
	<input checked="" type="checkbox"/> blnkt contrct				PERSONAL & ADV INJURY	\$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:				GENERAL AGGREGATE	\$ 2,000,000
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				PRODUCTS - COMP/OP AGG	\$ 2,000,000
B	AUTOMOBILE LIABILITY	4248759300	10/09/04	10/09/05	COMBINED SINGLE LIMIT (Ea accident)	\$
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$ 500000
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$ 500000
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$ 500000
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC AGG	\$
B	EXCESS/UMBRELLA LIABILITY	20593643	10/09/04	10/09/05	EACH OCCURRENCE	\$ 2000000
	<input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$ 2000000
	<input type="checkbox"/> DEDUCTIBLE					\$
	<input checked="" type="checkbox"/> RETENTION \$10000					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS	OTHR
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
	If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$
	OTHER				E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS  
 Plumbing Contractor - State of Florida

<b>CERTIFICATE HOLDER</b> TOWSP-1 Town of Sewalls Point 1 South Sewalls Point Road Sewalls Point FL 34996	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>Joseph E. Coour</i>
---	---

# ACORD CERTIFICATE

DATE (MM/DD/YY)  
05/24/2004

**PRODUCER**  
AON RISK SERVICES OF FLORIDA  
C/O AON CLIENT SERVICES  
1330 POST OAK BOULEVARD, SUITE 900  
HOUSTON, TX 77056-3089  
(866) 283-7124

Serial # A1069

**THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.**

### COMPANIES AFFORDING COVERAGE

COMPANY  
**A** ZURICH AMERICAN INSURANCE COMPANY

COMPANY  
**B**

COMPANY  
**C**

COMPANY  
**D**

**INSURED**  
Oasis Outsourcing, Inc.  
Alt. Emp.: Master Plumbing, Inc.  
4400 N Congress Ave., Suite 250  
West Palm Beach, FL 33407-3288

### COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT				GENERAL AGGREGATE \$ PRODUCTS - COMPI/OP AGG \$ PERSONAL & ADV INJURY \$ EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
<b>A</b>	<b>WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY</b> THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL	WC 29-38-687-02	06/01/04	06/01/05	<input checked="" type="checkbox"/> WC STATUTORY LIMITS OTH-ER EL EACH ACCIDENT \$ 1,000,000 EL DISEASE - POLICY LIMIT \$ 1,000,000 EL DISEASE - EA EMPLOYEE \$ 1,000,000
	<b>OTHER</b>				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS  
ONLY THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF:  
MASTER PLUMBING, INC.

### CERTIFICATE HOLDER

TOWN OF SEWALLS POINT  
1 S SEWALLS POINT ROAD  
SEWALLS POINT, FL 34996

### CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE OF INDEPENDENT INSURANCE AGENCY

*Joseph Fratergelo*

AC# 1451538

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04061601613

DATE	BATCH NUMBER	LICENSE NBR
06/16/2004	030728401	CFC057528

The PLUMBING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 490.05  
Expiration date: AUG 31, 2006



VAN ETTEN, PETER J  
MASTERS PLUMBING INC OF MARTIN COUNTY  
2551 SE CLAYTON STREET  
STUART FL 34997

JEB BUSH  
GOVERNOR

DIANE CARR  
SECRETARY

DISPLAY AS REQUIRED BY LAW

*Kuckon*  
*Barber Pipers*

ATTN  
Laura

**2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE**

Larry C. Orban, Tax Collector, P.O. Box 9012, Stuart, FL 34997

License 1977-924-053 Class             
Phone (888) 287-2366 Exp. No. 023511

LOCATION: 2551 BE CLAYTON ST. NAR

**CHARACTER COUNTY OF MARTIN CO.**

PREV. YR.	00	FEES	00
	00	FINES	00
	00	COL. FEE	00
	00	TRANSFER	00
TOTAL			25.00



**PLUMBING  
PLUMBING INC OF MARTIN CO.  
PETER JOHN VAN  
BE CLAYTON  
STUART FL 34997**

15 SEPTEMBER 04 12 04091401 002262

RECEIPT

DATE APRIL 18, 2005 No. 375534

RECEIVED FROM CONWAY / SCHMADER \$ 40.00

Forty and 60/100 DOLLARS

FOR RENT  
 FOR REINSPECTION FEE 7328

ACCOUNT		<input type="radio"/> CASH	FROM		TO	
PAYMENT		<input checked="" type="radio"/> CHECK	BY	<u>[Signature]</u>		
BAL. DUE		<input type="radio"/> MONEY ORDER				

Security Enhanced Document. See back for details. ©

**Stephen P. Conway LLC**  
 State Certified Contractor  
 Ph. (772) 220-0064  
 4 Oakhill Way  
 Stuart, FL 34998

5051

DATE 4-18-05 63-4/630 151

PAY TO THE ORDER OF Team of Sevels Point \$ 40.00

Forty and 60/100 DOLLARS

Bank of America  
 ACH R/T 083100277

FOR Schmader 102 Hwy Sevilleway [Signature]

GUARDIAN • SAFETY



OFFICIAL RECEIPT  
(FOR MONEY RECEIVED)

f  
No. 533471

DATE 5.19, 1904

Legal Svc SCHOOL

RECEIVED FROM Len Schmader \$ 1006.03  
(NAME OR ORGANIZATION)

FOR School impact fee - 102 Henry Sewall Way

FOR DEPOSIT IN \_\_\_\_\_ FUND(S)

H. Falls  
PRINCIPAL OR RESPONSIBLE OFFICER



MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

**Madden Manufacturing**  
1889 NW 22nd Street  
Pompano Beach FL 33069

Your application for Product Approval of:  
**20 Ga. Galvanized Steel Storm Panel Shutter**

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-1110.05

Expires: 05/01/2003

*10/2/00 ALUFAB  
REVC. W/ 00-0128.04  
BXV 07/17/2003*

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

**BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.  
Director

Miami-Dade County  
Building Code Compliance Office

Approved: 06/16/1999

1 of 3





MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1363  
(305) 375-2901 FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

**Vinyl Tech/Progressive Glass Technology**  
**1070 Technology Drive**  
**Nokomis FL 34275**

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2538

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 375-6339

Your application for Product Approval of:  
**SWD-101 Outswing Aluminum French Door**

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

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The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 99-0128.01 (Revises No.: 98-0506.02)

Expires: 11/22/2001

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL  
CONDITIONS**

**BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office

Approved: 02/18/1999

1 of 3







MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

T.M. Window & Door Co.  
601 N.W. 12th Ave.  
Pompano Beach FL 33069

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

*Series 200 Outswing Aluminum French Door w/Sidelites(Heavy Duty Reinforced)*

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

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The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 99-0524.05

Expires: 06/30/2000

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

**BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.  
Director

Miami-Dade County  
Building Code Compliance Office

Approved: 07/15/1999

1 of 3





MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

**DAB Door Company, Inc.**  
12195 NW 98th Avenue  
Hialeah Gardens FL 33016

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:  
*Sectional Residential Garage Door*  
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted b

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-0901.10 (Revises No.: 98-0409.03)

Expires: 08/14/01

Raul Rodriguez  
Product Control Supervisor

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

**BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

Charles Danger, P.E.  
Director  
Building Code Compliance D  
Metropolitan Dade County

Approved: 10/22/98



BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WES. FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901  
FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

**DAB Door Company, Inc.**  
12195 NW 98th Avenue  
Hialeah Gardens FL 33016

PRODUCT CONTROL DIVISION  
(305) 375-2902  
FAX (305) 372-6339

Your application for Product Approval of:  
**24 ga. Raised Panel Embossed Garage Door**  
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: *applicant along with Dab Doors Inc. drawing No. 98-12, issued on 04/03/98, revised on 07/25/98, with Miami- Dade County Product Control Approval Stamp.*

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any amendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-0506.07

Expires: 10/01/01

Raul Rodriguez  
Product Control Supervisor

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

**BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

Charles Danger, P.E.  
Director  
Building Code Compliance Dept.  
Metropolitan Dade County

Approved: 10/01/98



METROPOLITAN DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901  
FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

**Designer Windows of Palm Beaches**  
**6451 E. Rogers Cir.**  
**Boca Raton FL 33487**

PRODUCT CONTROL DIVISION  
(305) 375-2902  
FAX (305) 372-6339

Your application for Product Approval of:

*72" x 72" Rectangular Aluminum Fixed Window*

under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by:

*Applicant, along with Drawing No. W97-001, Sheet 1 of 1.*

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 97-0723.04

Expires: 04/09/01

Raul Rodriguez  
Product Control Supervisor

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

**BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

*Reviewed*  
*[Signature]*  
*5.18.99*

Charles Danger, P.E.  
Director  
Building Code Compliance Dept.  
Metropolitan Dade County

Approved: 04/09/98

-1-





MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

**Binnings Pan American**  
2805 N.E. 185 St.  
Miami FL 33163

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339


Your application for Product Approval of:  
*Series PA-9, Models A, B, and C Aluminum Sliding Glass Door*  
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: *Applicant, along with Drawing No. PA-09-DC, Sheets 1 thru 6 of 6. (This NOA renews NOA No. 95-0831.01.)*

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-1110.06


Expires: 11/16/01

  
Raul Rodriguez  
Product Control Supervisor

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

**BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

  
Charles Danger, P.E.  
Director  
Building Code Compliance Dept.  
Metropolitan Dade County

Approved: 12/03/98



BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901  
FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

**Binnings Pan American**  
2805 N.E. 185 St.  
Miami FL 33163

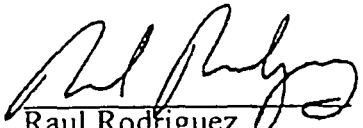
PRODUCT CONTROL DIVISION  
(305) 375-2902  
FAX (305) 372-6339

Your application for Product Approval of:  
*Series PA-14 Aluminum Single Hung Window*  
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: *Applicant, along with Drawing No. PA-14DC-01, Sheets 1 thru 8 of 8.*  
has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

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Acceptance No.: 97-1027.09 (Revises No.: 96-0220.01)

Expires: 07/09/01

  
Raul Rodriguez  
Product Control Supervisor

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**  
**BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

  
Charles Danger, P.E.  
Director  
Building Code Compliance Dept.  
Metropolitan Dade County

Approved: 07/09/98





BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1609  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901  
FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902  
FAX (305) 372-6339

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Southeastern Metals Manufacturing Co., Inc.  
11801 Industry Drive  
Jacksonville, FL 32226

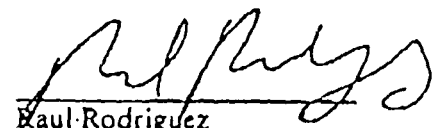
Your application for Product Approval of:  
"5-V Crimp" Metal Roofing Panels

under Chapter 8 of the Miami-Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: Construction Research Laboratory, Inc. and Hurricane Test Laboratory, Inc. has been recommended for acceptance by the Building Code Compliance Office to be used in Dade County, Florida under the specific conditions set forth on pages 2-4 and the standard conditions on page 5.

This approval shall not be valid after the expiration date stated below. The Building Code Compliance Office reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code.

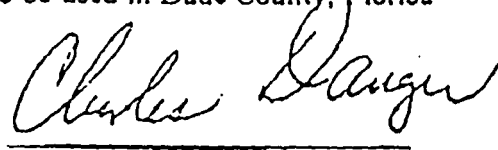
The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 98-0429.09      Renews & Revises: 97-0404.05  
EXPIRES: 06/23/01

  
Paul Rodriguez  
Product Control Supervisor

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**  
**BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Miami-Dade County Building Code Compliance Office and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

  
Charles Danger, P.E.  
Director  
Building Code Compliance Dept.  
Miami-Dade County

APPROVED: 06/23/98



MIAMI-DADE

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDINGBUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Alcoa Building Products, Inc.

2600 Campbell Road

Sidney

OH 454635

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 375-6339

Your application for Product Approval of:

*Exterior Cladding manufactured from PVC Materials*

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

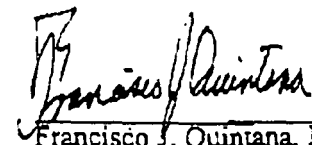
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The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 99-0305.02 (Revises No.: 95-0111.08)Expires: 04/25/2002Raul Rodriguez  
Chief Product Control Division**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL  
CONDITIONS****BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.  
DirectorMiami-Dade County  
Building Code Compliance OfficeApproved: 05/13/1999

1 of 3







RECEIVED  
OCT 04 2000  
BY: [Signature]

LOT 8

PERMIT USP  
1079100 BG

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

FILE JOHN COPY  
107 HENRY STREET

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Alufab Hurricane Shutter, Inc.  
2353 Alibaba Ave.  
Opa Locka FL 33054

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

~~24 gauge Galvanized Steel Storm Panel Shutters~~

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

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The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 00-0128.04

Expires: 07/17/2003

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

**BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.  
Director

Miami-Dade County  
Building Code Compliance Office

Approved: 03/17/2000

1 of 3





RECEIVED  
OCT 04 2000  
BY: [Signature]

LOT 8 PWDAC  
INSP 10/4/02 BG

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

FILE TOWN COPY  
101 HENRY SEBASTIAN WAY

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Alufab Hurricane Shutters, Inc.  
2349 N.W. 147 Street  
Opa Locka FL 33054

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

~~Florida Bahama Shutter~~

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

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The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 99-0208.04

Expires: 03/30/2002

[Signature]  
Raul Rodriguez

Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

**BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

[Signature]  
Francisco J. Quintana

Francisco J. Quintana, R.A.

Director

Miami-Dade County

Building Code Compliance Office

Approved: 03/30/1999

1 of 3





Martin County Health Department  
(772) 221-4090 Fax. (772) 221-4967

TO BUILDING DEPARTMENT INSPECTIONS:

\_\_\_ MARTIN COUNTY (772) 288-5916 FAX: (772) 288-5911 \_\_\_ CITY OF STUART (772) 288-5326 FAX: (772) 288-5388

\_\_\_ JUPITER ISLAND (772) 545-0150 FAX: (772) 545-0188  SEWALLS POINT (772) 287-2455 FAX: (772) 220-4765

FROM: Ray Cross DATE: 06/28/06

SUBJECT: FINAL CONSTRUCTION APPROVAL FOR SEPTIC SYSTEMS

<u>HEALTH DEPT. SEPTIC PERMIT#</u>	<u>BUILDING DEPT. PERMIT #</u>	<u>LOCATION</u>
• 43-SS-0 <u>6156</u>	<u>7390</u>	<u>4 SUMMER LN</u>
• 43-SS-0 <u>8125</u>	<del>7398</del>	<del>1020 N. E. Highway</del> <u>Stuart</u>
• 43-SS-0 _____		
• 43-SS-0 _____		
• 43-SS-0 _____		

**Joseph P. McCarty, Architect**

900 East Osceola Street  
Stuart, Florida, 34994  
772-287-6735 fax: 772-287-4618

---

DPR Registration Number 9639

May 3, 2004

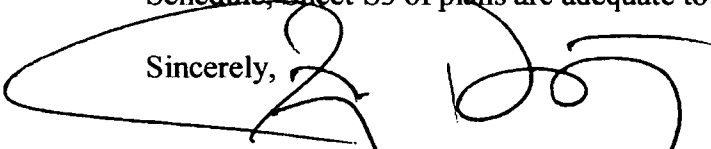
Gene Simmons, CBO  
Town of Sewall's Point  
One South Sewall's Point Road  
Sewalls Point, Florida  
34996

RE: Leonard Schmader Residence, Lot 9, Sewalls Meadow

Dear Gene,

I have reviewed roof truss engineering as provided by W. Kost Roof and Floor Truss Systems on the above referenced job and found that internal bearing points correspond with Architectural Plans, and that uplift connectors as specified on the Connector Schedule, Sheet S3 of plans are adequate to resist uplift loads specified by W. Kost.

Sincerely,



Joseph P. McCarty

WEYANT ENGINEERING, INC.  
CONSULTING ENGINEERS  
CIVIL - STRUCTURAL  
201 SW Port St. Lucie Blvd. Suite 104  
Port St. Lucie, Florida 34984  
(772) 335-0772

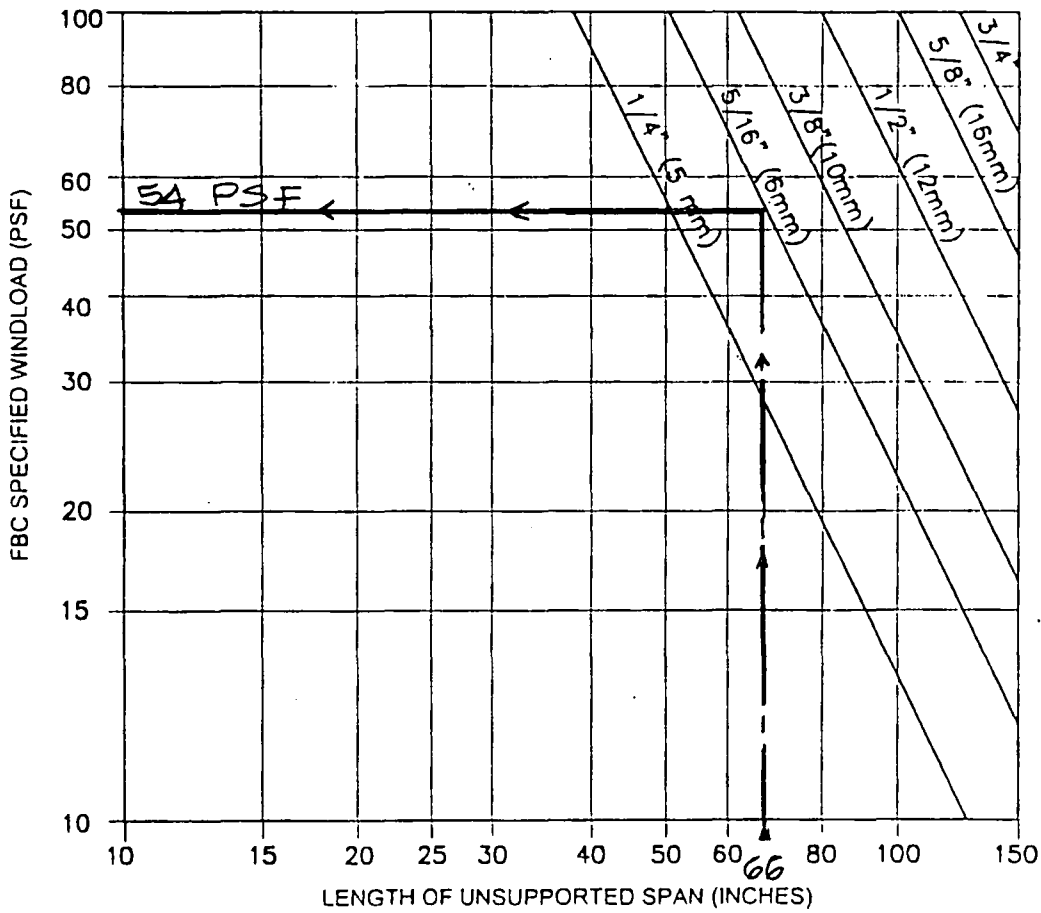
JOB SCMADER RESIDENCE  
SHEET NO. 1 OF 3  
CALCULATED BY DW DATE JULY 6 '04  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_

### BUTT GLASS DETAIL

1. GLAZING PANELS UP TO 6'-8" IN LENGTH SHALL BE 5/16-INCH TEMPERED GLASS WITH POLISHED EDGES.
2. FRAME SHALL BE 1-3/4" X 4" CLOSED BACK ALUMINUM STOREFRONT SASH.
3. FRAME SHALL BE ANCHORED TO THE MASONRY DIRECTLY WITH 1/4" DIAMETER TAPCON ANCHORS AT 12" O.C. OR FASTENED TO 2" X P.T. WOOD BUCKS WITH #14 STAINLESS STEEL FLAT HEAD PHILLIPS SCREWS AT 12" O.C. THE WOOD BUCKS SHALL BE ANCHORED WITH 1/4" DIAMETER TAPCON ANCHORS AT 12" O.C.
4. G.E. SILICONE ADHESIVE SEALANT SHALL BE USED TO CONNECT BUTT GLASS JOINT.
5. GLAZING CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL PROVIDE INSTALLATION IN COMPLIANCE WITH FBC 2001.
6. THIS INSTALLATION SHALL SUSTAIN THE WIND FORCES ATTRIBUTABLE TO A 140 MPH STORM EVENT EXPOSURE "B"

*D. Weyant*  
JUL 06 2004

TEMPERED GLASS

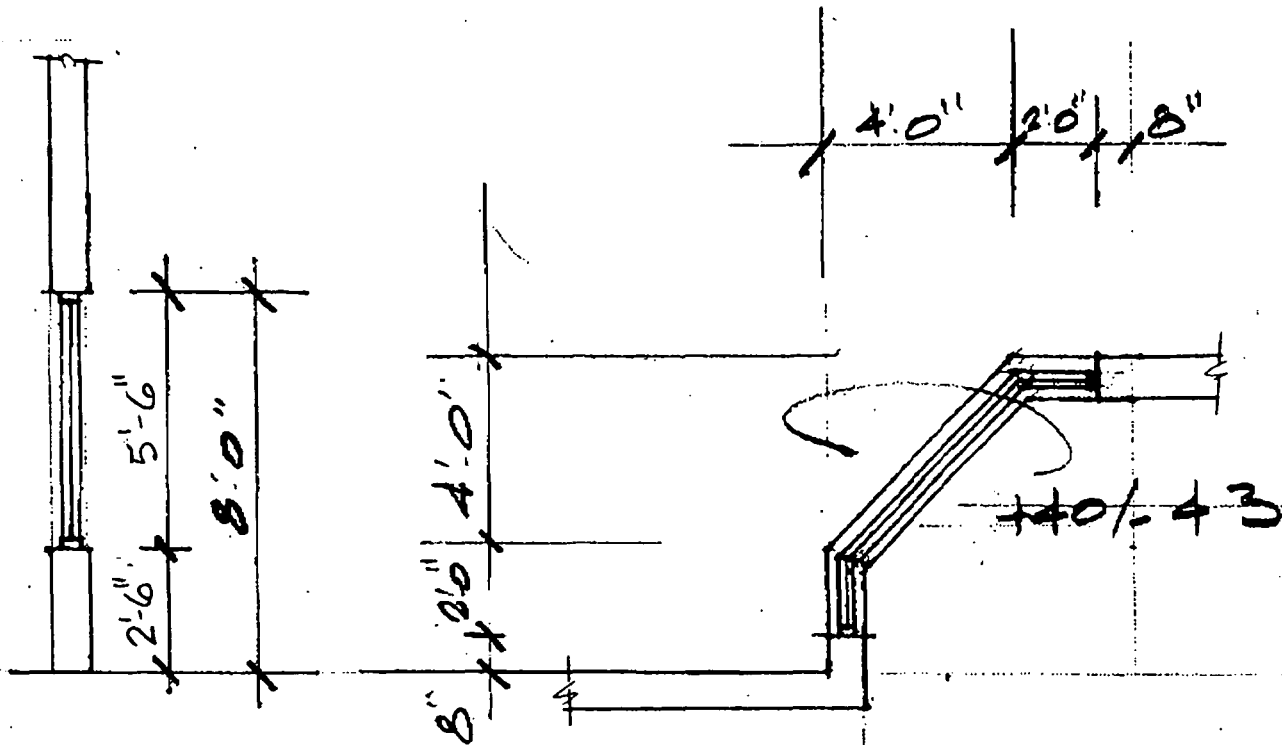


D. Weyant  
JUL 06 2004

WEYANT ENGINEERING, INC.  
CONSULTING ENGINEERS  
CIVIL - STRUCTURAL

201 SW Port St. Lucie Blvd. - Suite 104  
Port St. Lucie, FL 34984  
772-335-0772 - WPB 561-832-9094  
Fax 772-335-0866

JOB SCMADER RESIDENCE  
SHEET NO. 3 OF 3  
CALCULATED BY DW DATE JULY 6 '04  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_



SCMADER RESIDENCE  
LOT 9 SEWALL'S MEADOW

JOSEPH P. McCARTY, ARCHITECT, Inc.  
900 EAST OSCEOLA STREET 287-6735  
STUART FLORIDA  
D.P.R. Registration Number 9639



Jun. 17. 2004 2:13PM, AIA  
 Ronald J. Rickert II, AIA  
 Brian J. Collins, AIA  
 Benjamin Schreier, AIA

No. 4050 P. 2  
 ...KATON - TAMPA

Handwritten marks resembling the number '4' and a checkmark.

Thursday, June 17, 2004

Town of Sewall's Point  
 One South Sewall's Point Road  
 Sewall's Point, FL 34996

RE: 17 S. River Drive, Connection Details

Dear Plan Review:

Please note the following as built field conditions to details 10/ A8 , 3/ A8 and 13/ A8, have been inspected and are acceptable to our office. These conditions are located per the attached plan.

In addition, Ledger attachment detail 19A / A8 is acceptable since the builder has centered the wedge anchors ( 12" apart) on the member coming into the ledger. This has been inspected as well.

Thank you for pointing out these items and your attention to these matters.

Sincerely,


*RJR*

for the firm,

Ronald J. Rickert II, AIA

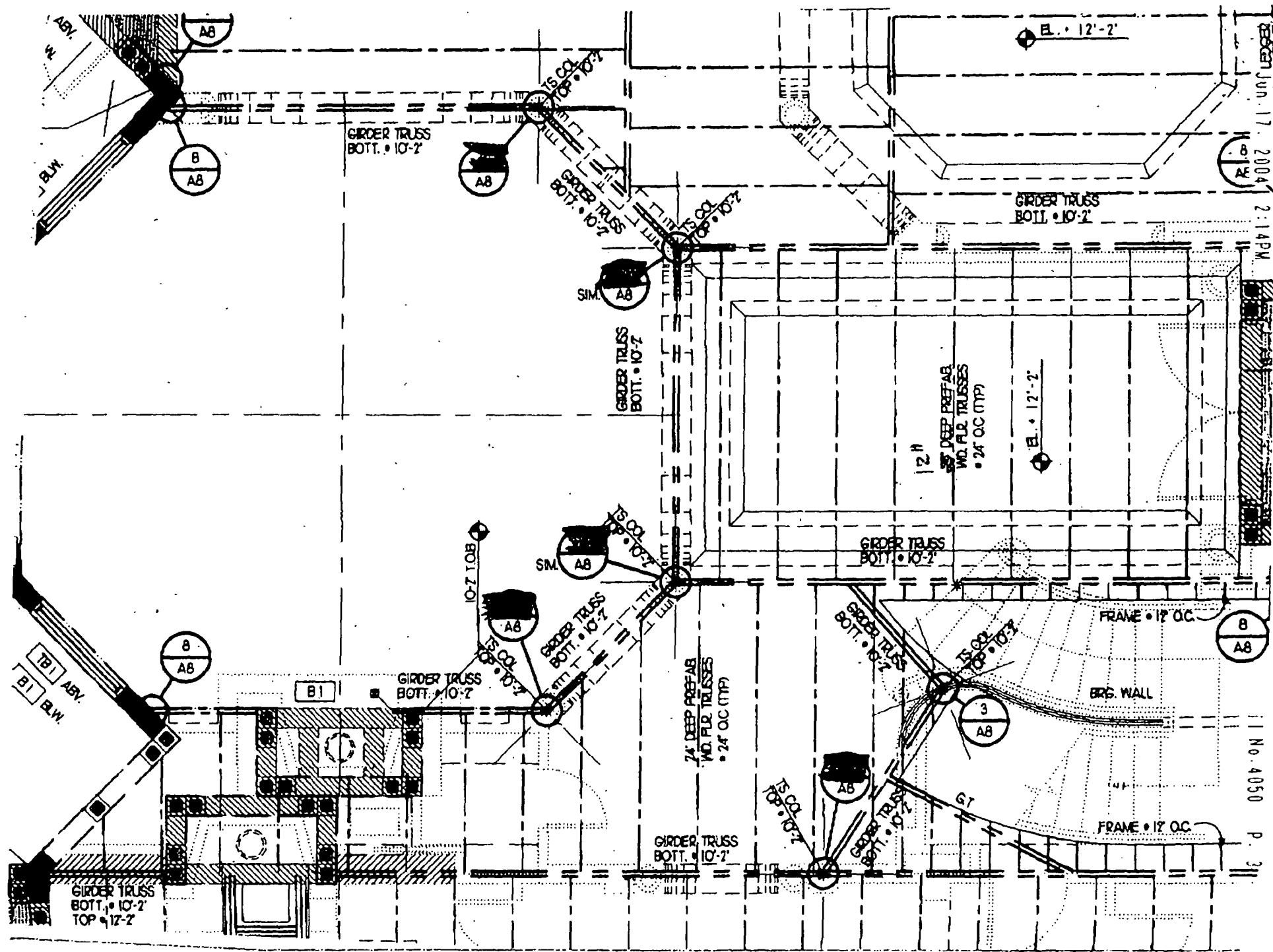
Attachment

7328

<p>FILE COPY  <b>TOWN OF SEWALL'S POINT</b>          THESE PLANS HAVE BEEN          REVIEWED FOR CODE COMPLIANCE          DATE: <u>2/23/05</u>  <hr/>   <hr/> <b>BUILDING OFFICIAL</b>          Gene Simmons</p>
--



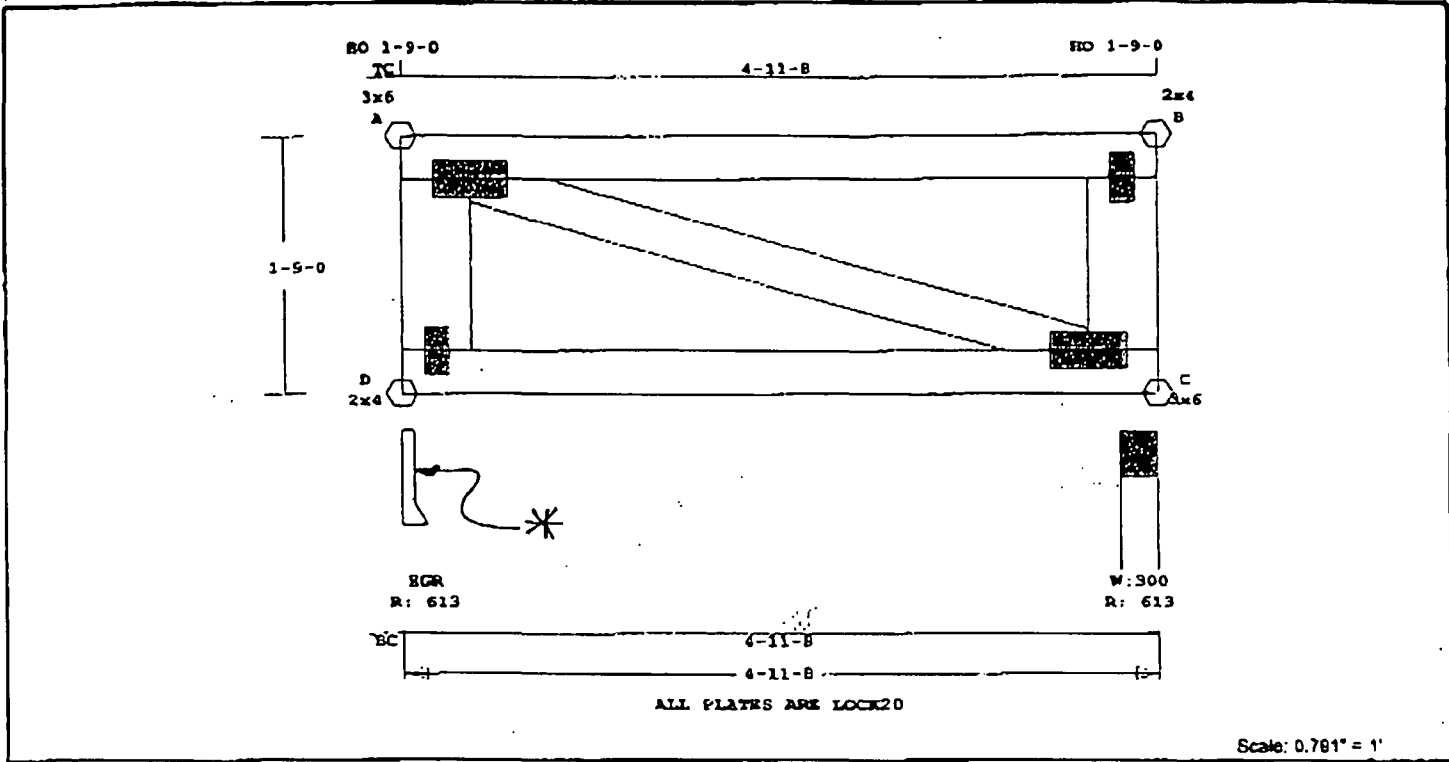




REVISION JUN. 17, 2004 2:14PM  
 B.A.

No. 4050 P. 3

Job <b>6753</b>	Mark <b>FG16</b>	Quan 1+2P	Type FLAT	Span 41108	Pl-H1 10900	Left OH 0	Right OH 0	Engineering
D. A BUFORD/MUFSON RES./#6753/FLOORS								



Scale: 0.781" = 1'

Online Plus -- Version 15.0.007  
RUN DATE: 1- 7-04

\*\*\*\*\*  
\* 2-PLY TRUSS \*  
\*\*\*\*\*

CSI	SIZE LUMBER	FB
TOP 0.78	2X 4 SP-#2	1500
BTM 0.03	2X 4 SP-#2	1500
WBS 0.02	2X 6 SP-#2	1250
EXCEPTIONS:		
A-C	2x 4 SP-#3	850

LATERAL BRACING:  
TOP CHORD - CONTINUOUS  
BTM CHORD - CONTINUOUS  
TRUSS SPACING - 24.0 IN.

STANDARD LOADING

LOADING	LIVE	DEAD (PSF)
TOP CHD	40.0	10.0
BTM CHD	0.0	5.0
TOTAL	40.0	15.0
55.0		

EXCEPTIONS:  
A-B 90.0 28.8

SUPPORT CRITERIA

JT REACT WIDTH	JT REACT WIDTH
LBS IN-SX	LBS IN-SX
D 613 3- 8	C 613 3- 0

LOAD CASE #1 UNBALANCED LOAD

LOADING	LIVE	DEAD (PSF)
TOP CHD	40.0	10.0
BTM CHD	0.0	5.0
TOTAL	40.0	15.0
55.0		

EXCEPTIONS:  
A-B 90.0 28.8

SUPPORT CRITERIA

JT REACT WIDTH	JT REACT WIDTH	WIDTH
LBS IN-SX	LBS IN-SX	IN-SX
D 613 3- 8	C 613 3- 0	*

Robbins Engineering, Inc./Online Plus™

LOAD CASE #2 UNBALANCED LOAD  
LUMBER STRESS INCREASE: 0.0%  
PLATE STRESS INCREASE: 0.0%  
LOADING LIVE DEAD (PSF)  
TOP CHD 40.0 10.0  
BTM CHD 0.0 5.0  
TOTAL 40.0 15.0 55.0

EXCEPTIONS:  
A-B 0.0 28.8

SUPPORT CRITERIA

JT REACT WIDTH	JT REACT WIDTH
LBS IN-SX	LBS IN-SX
D 167 3- 8	C 167 3- 0

MEMBER FORCES - EACH PLY

MEMBER	CSI	P(LBS)	M%1ST	M%2ND
TOP CHORDS				
A-B	0.78	0 T	37	-37
BOTTOM CHORDS				
D-C	0.03	0 T	1	-1
WEBS				
D-A	=	295 C	A-C	= 0 T
C-B	=	295 C		

DL+LL DEPL = 0.13" IN A-B  
LL DEPL < BRG-SPAN/360  
SPAN/DEPL (DL+LL) = 469

\* - DENOTES THIS HANGER (BY OTHERS) SHALL MEET THE MINIMUM BEARING REQUIREMENTS AS NOTED.

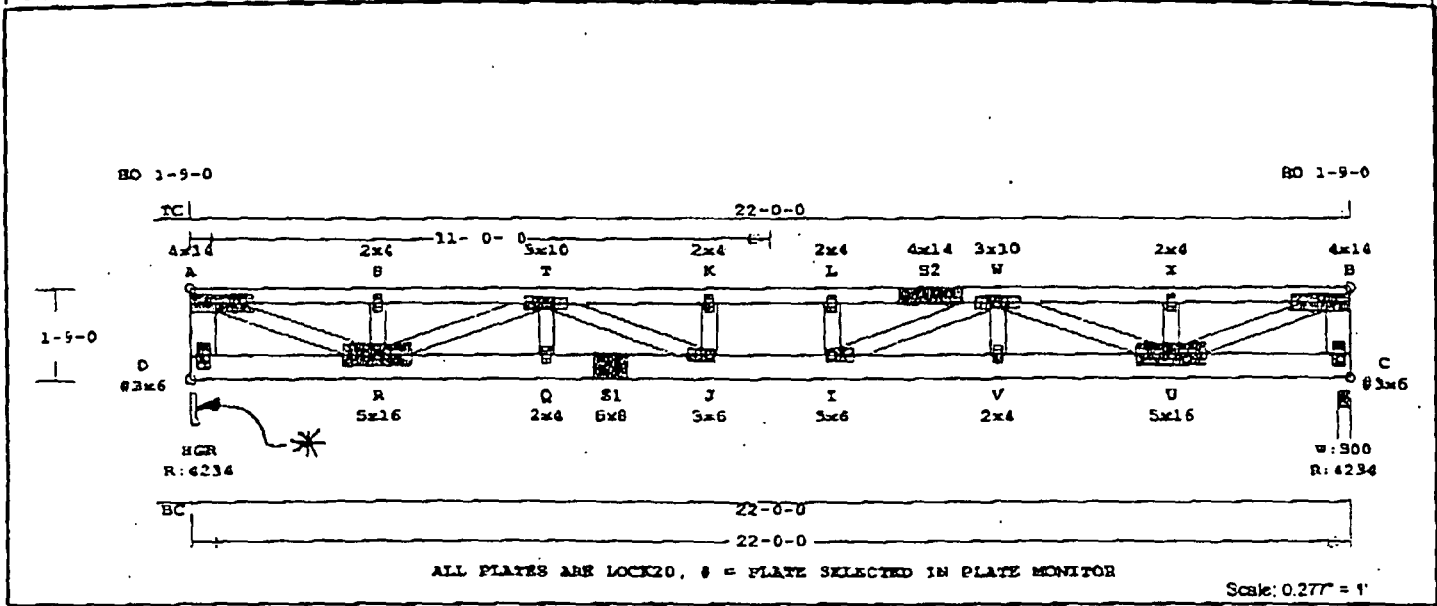
REFER TO ROBBINS INC. GENERAL NOTES AND SYMBOLS SHEET FOR ADDITIONAL SPECIFICATIONS.

- NOTES:
1. TRUSSES MANUFACTURED BY - East Coast Lumber
  2. EMPIRICAL ANALOG IS USED.
  3. UNBALANCED LOADS CHECKED (UNBLM LD FAC = 1.00, 0.00).
  4. PROVIDE DRAINAGE TO PREVENT WATER POOLING.
  5. 2 COMPLETE TRUSSES REQUIRED. FASTEN TRUSSES TOGETHER W/ 10d NAILS AS EACH LAYER IS APPLIED, STAGGERED AS FOLLOWS
- | MEMBER  | ROWS | SPACING (IN) |
|---------|------|--------------|
| TOP CHD | 1    | 11.0         |
| BTM CHD | 1    | 12.0         |
| WEBS    | 2    | 4.0          |
- PLUS CLUSTERS OF NAILS IF SHOWN.

- FABRICATOR NOTES:
1. EAST COAST LUMBER & SUPPLY  
J.C. WEBER P.E.#17455  
5285 ST. LUCIE BLVD.  
FORT PIERCE FL. 34946
  2. !!!CAUTION!!! READ "BCSI-B1 SUMMARY SHEET" BEFORE HANDLING, INSTALLING & BRACING TRUSSES.
  3. SEE ATTACHED DETAIL SHEET FOR: 1-JACK NAILS. 2-TERRACE. 3-BEARING BLOCK.
  4. DESIGNER: NC

*John*  
NOV 16 2004

Job <b>6753</b>	Mark <b>FG3</b>	Quan 1*2P	Type FLAT	Span 220000	P1-H1 10900	Left OH 0	Right OH 0	Engineering
D.A BUFORD/MUFSON RES./#6753/FLOORS								



Online Plus -- Version 15.0.007  
RUN DATE: 07-JAN-04

\*\*\*\*\*  
\* 2-Ply Truss \*  
\*\*\*\*\*

CSI	Size	Lumber
TC	0.81 2x 4	SP-SS
BC	0.89 2x 6	SP-SS
WB	0.60 2x 4	SP-#3
EX D -A	2x 6	SP-#2
EX A -R	2x 4	SP-SS
EX U -B	2x 4	SP-SS
EX C -B	2x 6	SP-#2

Brace truss as follows:

O.C.	From	To
TC Cont.	0- 0- 0	22- 0- 0
BC Cont.	0- 0- 0	22- 0- 0

Loading	Live	Dead	(psf)
TC	40.0	10.0	
BC	0.0	5.0	
Total	40.0	15.0	55.0
Spacing			24.0'
Lumber Stress Increase			0.0%
Plate Stress Increase			0.0%
TC Fb=1.00 Fc=1.00 Ft=1.00			
BC Fb=1.00 Fc=1.00 Ft=1.00			

LC 1 Standard Loading

Lumber Stress Increase	0.0%
Plate Stress Increase	0.0%
plf - Live Dead From To	
TC V	-80 -20 0.0' 22.0'
BC V	0 -10 0.0' 22.0'
TC V	-200 -75 0.0' 22.0'

Plus 2 Unbalanced Load Cases

Jt	React	Oplft	Size	Req'd
	Lbs	Lbs	In-Sx	In-Sx
D	4235	0	3- 8	2- 8
C	4235	0	3- 0	2- 8

Membr	CSI	P	Lbs	M@1st	M@2nd
-----Top Chords-----					
A -S	0.42	8236	C	118	-3466
S -T	0.34	8236	C	3466	-2594
T -K	0.81	15580	C	2594	-514
K -L	0.67	15580	C	514	-513
L -S2	0.81	15580	C	513	3466
S2 -W	0.75	15580	C	-3466	-2594
W -X	0.34	8236	C	2594	-3466

Robbins Engineering, Inc./Online Plus™

X -B	0.42	8236	C	3466	-118
-----Bottom Chords-----					
D -R	0.13	0	T	3	5101
R -Q	0.72	13559	T	-5101	4969
Q -S1	0.75	13559	T	-4969	6432
S1 -J	0.80	13559	T	-6432	8254
J -I	0.89	15580	T	-8254	8256
I -V	0.80	13559	T	-8256	4969
V -U	0.72	13559	T	-4969	5100
U -C	0.13	0	T	-5100	-3
-----Webs-----					
D -A	0.16	4085	C		
A -R	0.53	8939	T		
R -S	0.13	1330	C		
R -T	0.60	5777	C		
Q -T	0.02	123	T		
T -J	0.44	2211	T		
J -K	0.09	956	C		
I -L	0.09	956	C		
I -W	0.44	2210	T		
V -W	0.02	123	T		
W -U	0.60	5777	C		
U -X	0.13	1330	C		
U -B	0.53	8939	T		
C -B	0.16	4085	C		

V LOCK	2.0x 4.0	0.0	0.0	0.49
U LOCK	5.0x16.0	0.0	0.0	1.00
C# LOCK	3.0x 6.0	0.0	0.0	0.39

# = Plate Monitor used

REFER TO ROBBINS ENG. GENERAL NOTES AND SYMBOLS SHEET FOR ADDITIONAL SPECIFICATIONS.

NOTES:  
Trusses Manufactured by:  
East Coast Lumber  
Analysis Conforms To:  
ANSI/TPI 1-2002  
2 COMPLETE TRUSSES REQUIRED.  
Fasten together in staggered pattern. (1/2" bolts -OR- SDS3 screws -OR- 10d nails as each layer is applied.)  
----Spacing (In)----  
Rows Nails Screws Bolts  
TC 1 3 9.5 0  
BC 2 12 24 0  
WS 1 4 4

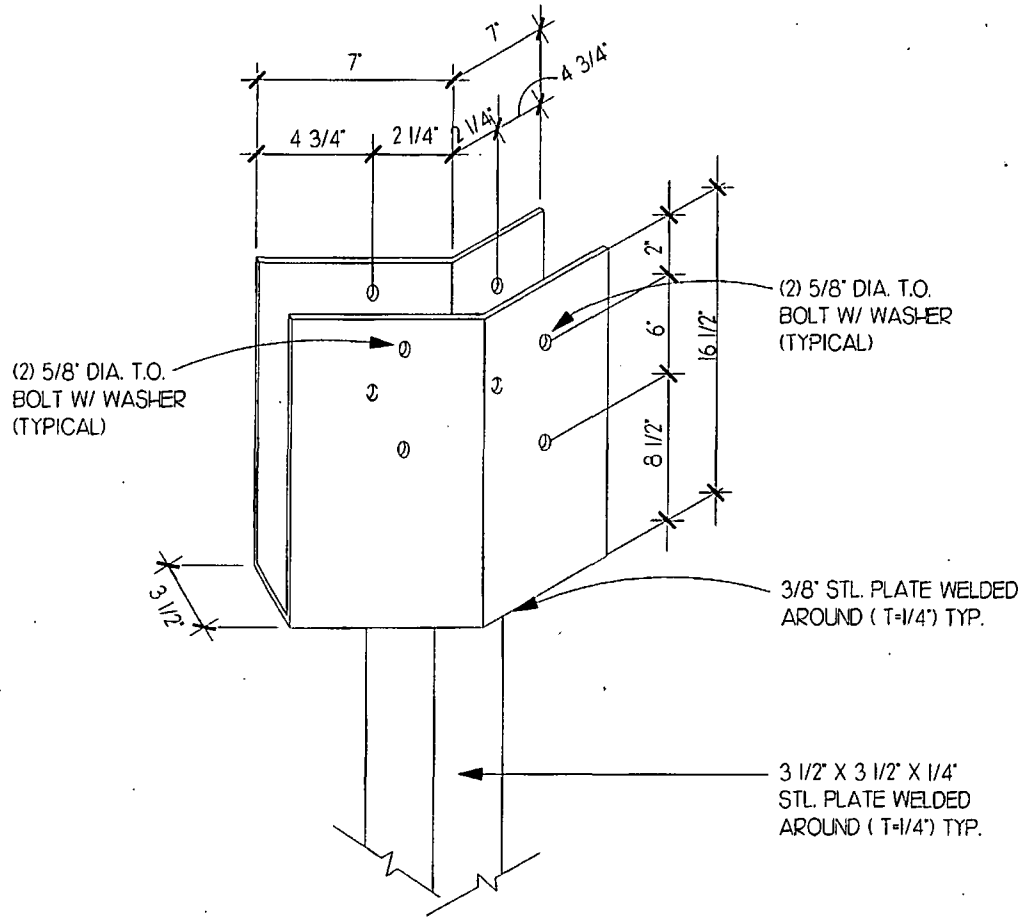
Prevent truss rotation at all bearing locations.  
This truss must be installed as shown. It cannot be installed upside-down.  
Bottom chord of truss should be marked.

NOTE: USER MODIFIED PLATES  
This design may have plates selected through a plate monitor.  
Max comp. force 15580 Lbs  
Quality Control Factor 1.00

- FABRICATOR NOTES:
- EAST COAST LUMBER & SUPPLY  
J.C. WEBER P.E.#17455  
5285 ST. LUCIE BLVD.  
FORT PIERCE FL. 34946
  - !!!CAUTION!!! READ "BCSI-BI SUMMARY SHEET" BEFORE HANDLING, INSTALLING & BRACING TRUSSES.
  - SEE ATTACHED DETAIL SHEET FOR: 1-JACK NAILS. 2-TBRACE. 3-BEARING BLOCK.
  - DESIGNER: MC

\*-DENOTES THIS HANGER (BY OTHERS) SHALL MEET THE MINIMUM BEARING REQUIREMENTS AS NOTED.

*Handwritten signature*  
NOV 16 2004



3  
A8

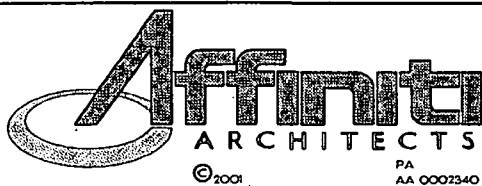
**DETAIL**

N.T.S

**FEB 10 2005**

MODIFICATION DRAWING

BUFORD CONSTRUCTION CO.



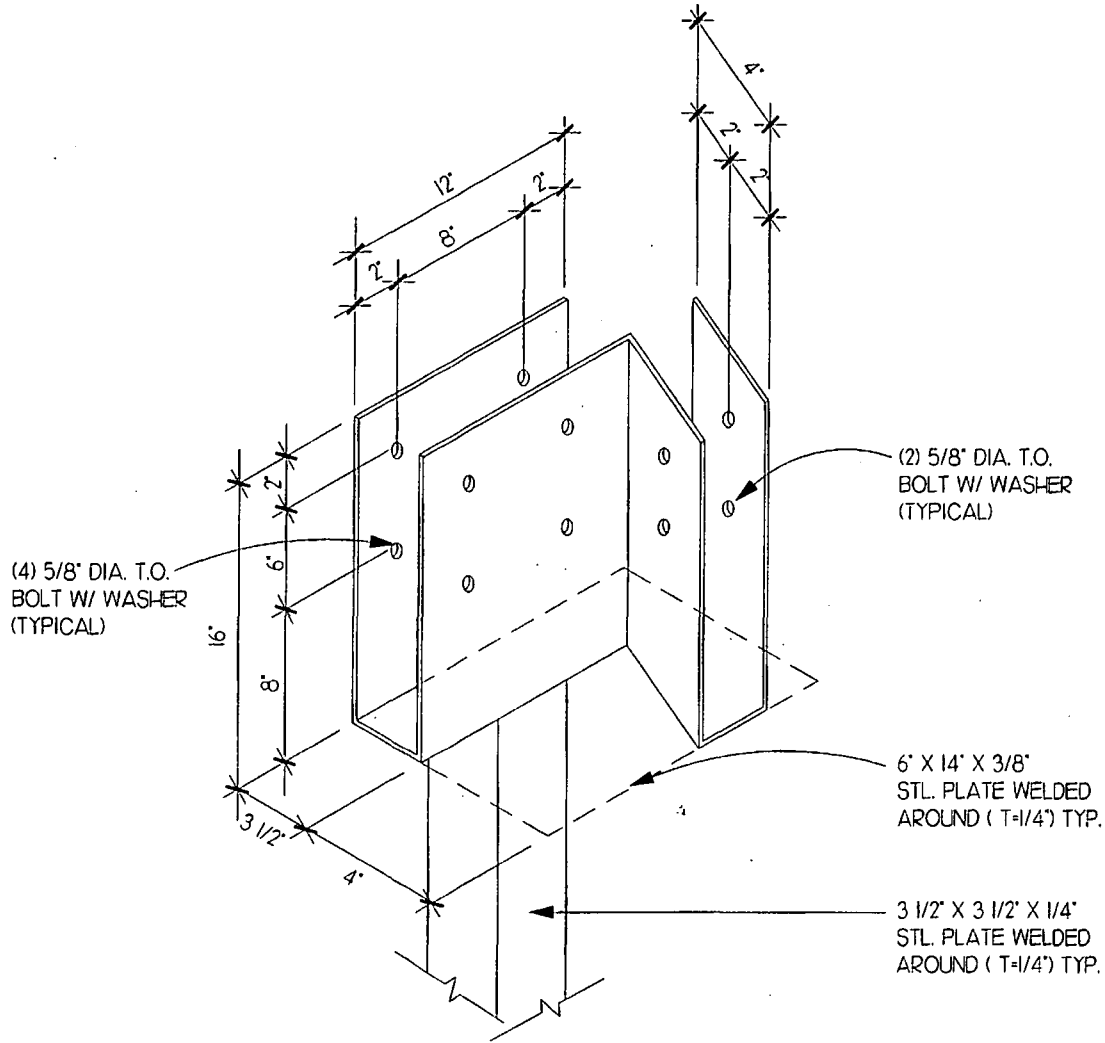
3835 NW BOCA RATON BLVD.  
SUITE 100  
BOCA RATON, FL 33431  
PH (561) 750-0445  
FAX (561) 750-7872

LOT : 9 SOUTH RIVER RD.

DATE	10-12-04	SCALE	AS NOTED	DRWN. BY:	FP
SHEET	A-	DRWG.	SK-1	JOB	O2199
				APPD	RJR

©2001

PA  
AA 0002340



10  
A8

**DETAIL**

N.T.S

*[Handwritten signature]*  
FEB 10 2005

MODIFICATION DRAWING

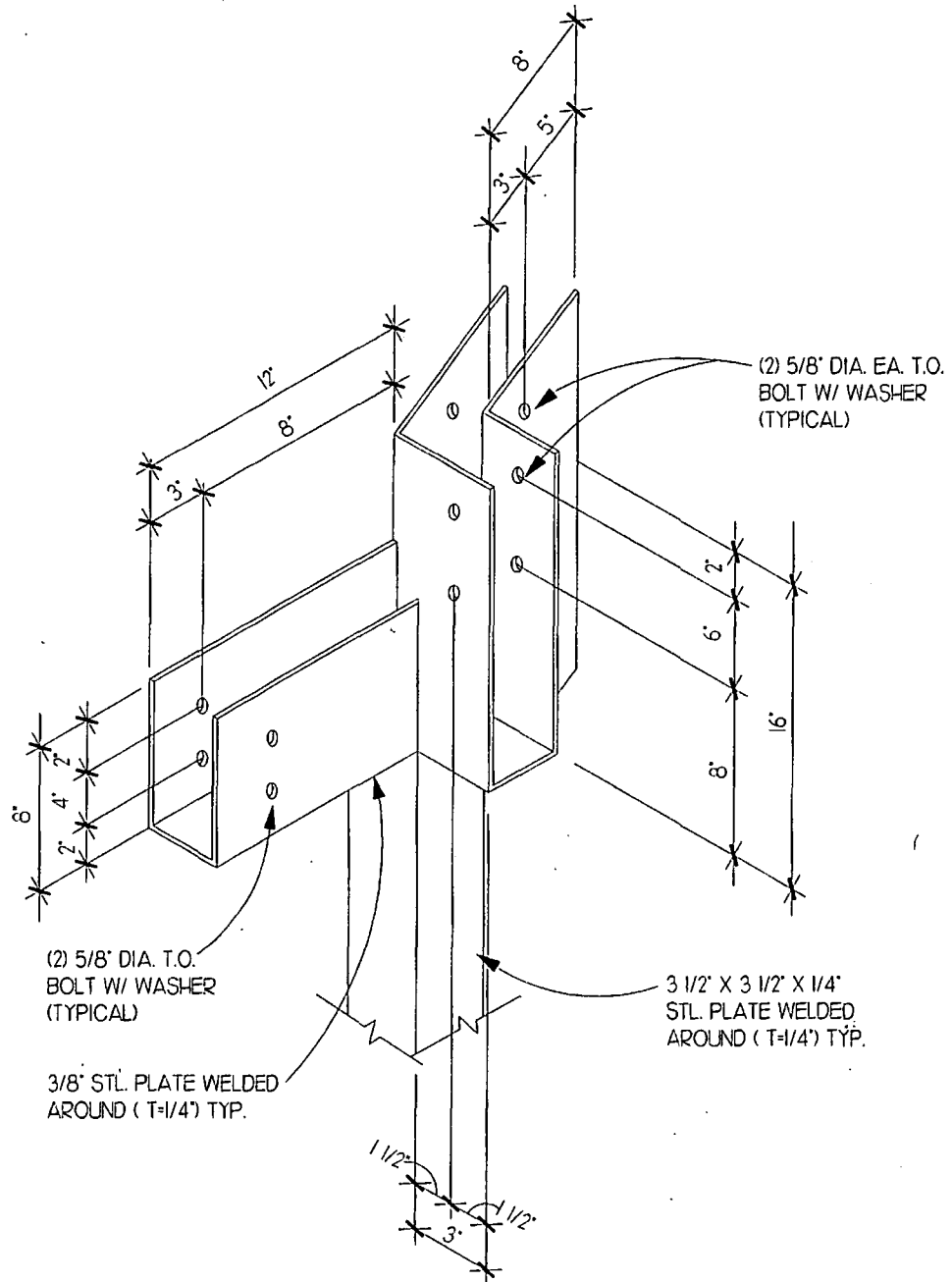
BUFORD CONSTRUCTION CO.



3835 NW BOCA RATON BLVD.  
SUITE 100  
BOCA RATON, FL 33431  
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FAX (561) 750-7872

LOT : 9 SOUTH RIVER RD.

DATE	10-12-04	SCALE	AS NOTED	DRWN BY:	FP
SHEET	A-	DRWG.	SK-1	JOB	O2199
				APPD	RJR



13  
A8

**DETAIL**

NTS

*[Signature]*  
FEB 10 2005

MODIFICATION DRAWING

BUFORD CONSTRUCTION CO.



3835 NW BOCA RATON BLVD.  
SUITE 100  
BOCA RATON, FL 33431  
PH (561) 750-0445  
FAX (561) 750-7872

LOT : 9 SOUTH RIVER RD.

DATE	10-12-04	SCALE	AS NOTED	DRWN. BY:	FP
SHEET	A-	DRWG.	SK-1	JOB	O2199
				APPD	RJR

©2001

PA  
AA 0002340

Ronald J. Rickert II, AIA  
Brian J. Collins, AIA  
Benjamin Schreier, AIA

*Approved -  
Signed & Sealed  
FROM  
ARCHITECT  
&  
JESS ENGINEERS  
MURSON 201-9153*

Thursday, June 17, 2004

Town of Sewall's Point  
One South Sewall's Point Road  
Sewall's Point, FL 34996

RE: 17 S. River Drive, Connection Details

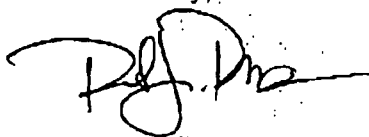
Dear Plan Review:

Please note the following as built field conditions to details 10/ A8 , 3/ A8 and 13/ A8, have been inspected and are acceptable to our office. These conditions are located per the attached plan.

In addition, Ledger attachment detail 19A / A8 is acceptable since the builder has centered the wedge anchors ( 12" apart) on the member coming into the ledger. This has been inspected as well.

Thank you for pointing out these items and your attention to these matters.


Sincerely,



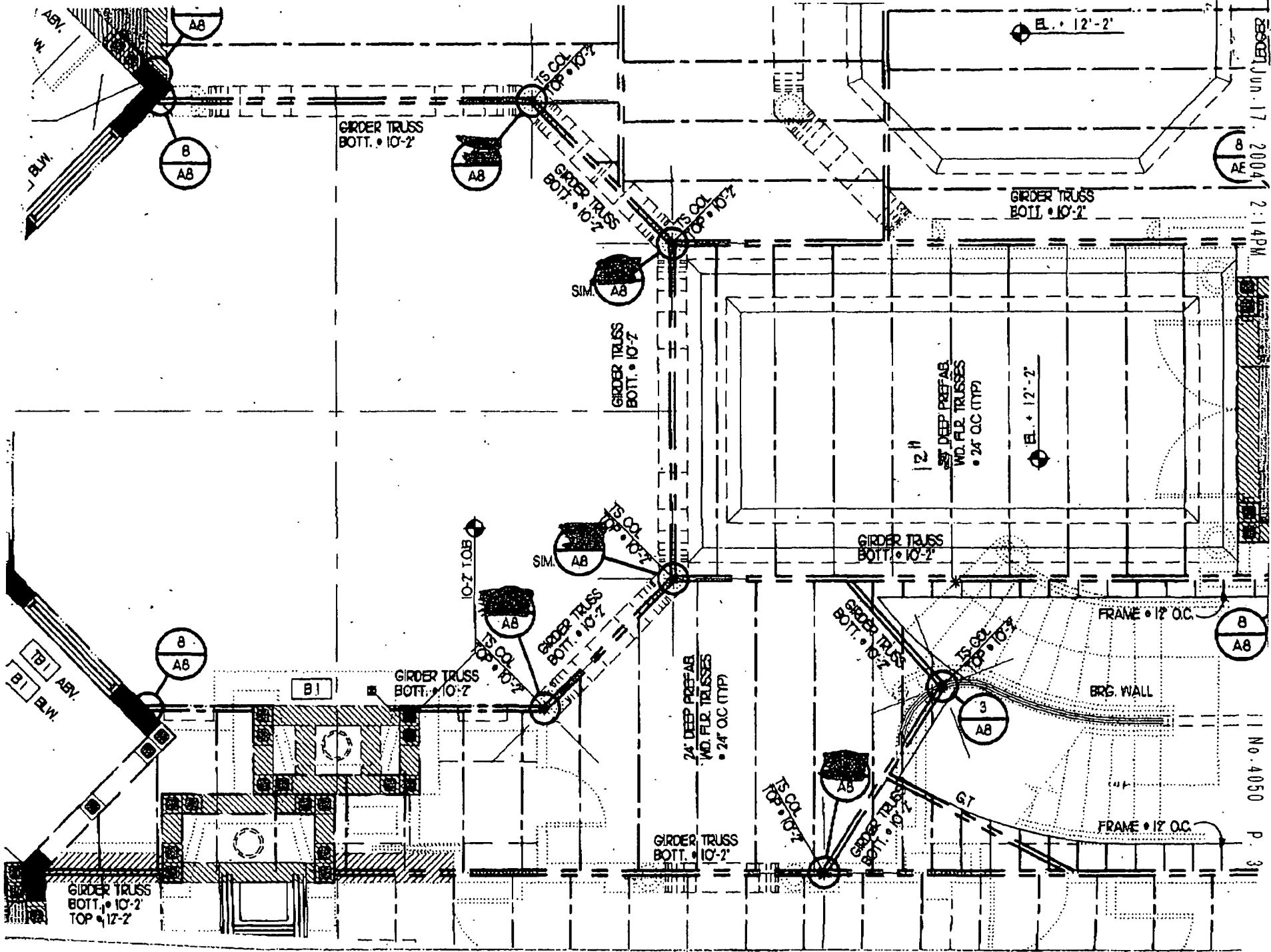
for the firm,

Ronald J. Rickert II, AIA

Attachment

<p>FIELD COPY TOWN OF SEWALL'S POINT THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE DATE: <u>2/23/05</u>  BUILDING OFFICIAL Gen Simmons</p>
--





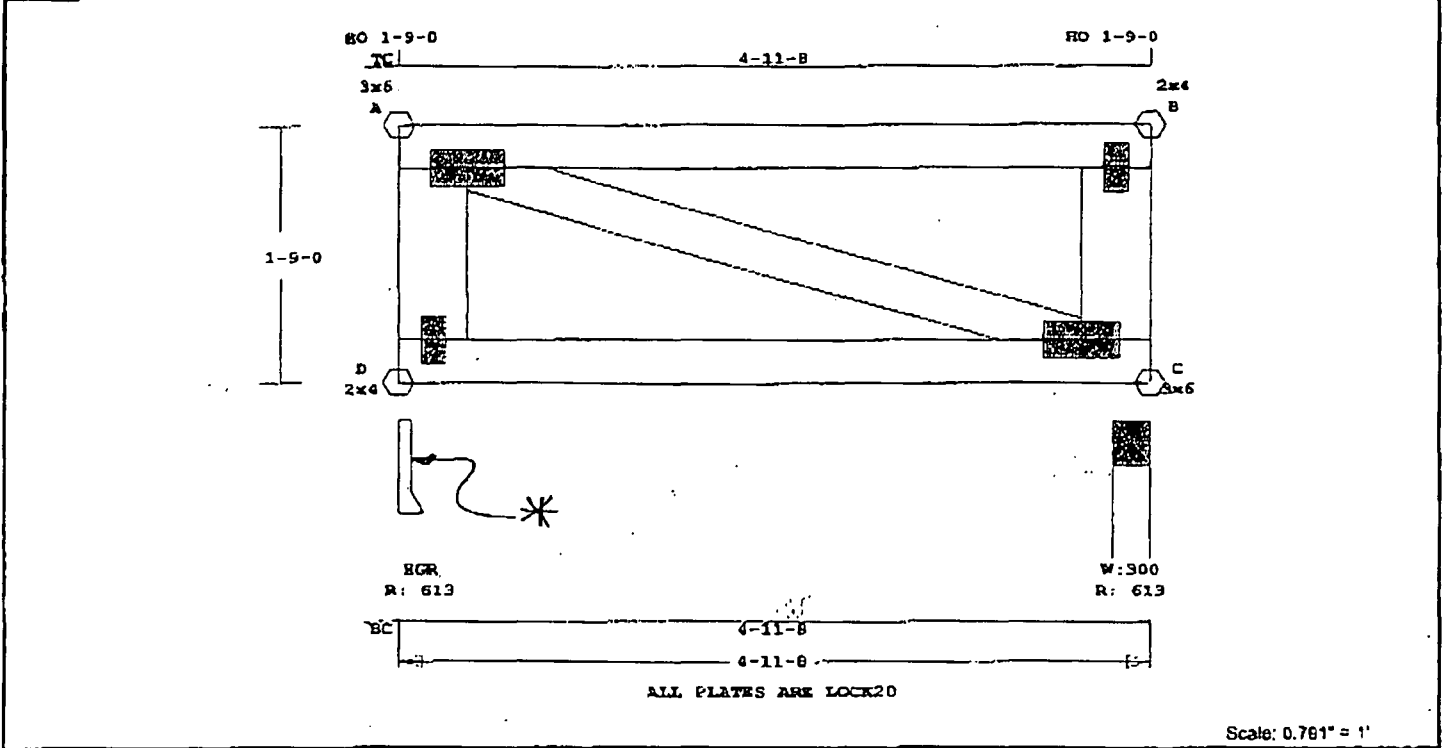
JUN. 17 2004  
 2:14 PM

No. 4050 P. 3



Job <b>6753</b>	Mark <b>FG16</b>	Quan 1*2P	Type FLAT	Span 41108	Pl-H1 10900	Left OH 0	Right OH 0	Engineering
--------------------	---------------------	--------------	--------------	---------------	----------------	--------------	---------------	-------------

D.A BUFORD/MUFSON RES./#6753/FLOORS



Online Plus -- Version 15.0.007  
RUN DATE: 1- 7-04

\*\*\*\*\*  
\* 2-PLY TRUSS \*  
\*\*\*\*\*

CSI	SIZE	LUMBER	FB
TOP 0.78	2X 4	SP-#2	1500
BTM 0.03	2X 4	SP-#2	1500
WBS 0.02	2X 6	SP-#2	1250

EXCEPTIONS:  
A-C 2x 4 SP-#3 850

LATERAL BRACING:  
TOP CHORD - CONTINUOUS  
BTM CHORD - CONTINUOUS  
TRUSS SPACING - 24.0 IN.

STANDARD LOADING  
LUMBER STRESS INCREASE: 0.0%  
PLATE STRESS INCREASE: 0.0%

LOADING	LIVE	DEAD (PSF)
TOP CHD	40.0	10.0
BTM CHD	0.0	5.0
TOTAL	40.0	15.0

EXCEPTIONS:  
A-B 90.0 28.8

SUPPORT CRITERIA

JT REACT WIDTH	JT REACT WIDTH
LBS IN-SX	LBS IN-SX
D 613 3- 8	C 613 3- 0

LOAD CASE #1 UNBALANCED LOAD  
LUMBER STRESS INCREASE: 0.0%  
PLATE STRESS INCREASE: 0.0%

LOADING	LIVE	DEAD (PSF)
TOP CHD	40.0	10.0
BTM CHD	0.0	5.0
TOTAL	40.0	15.0

EXCEPTIONS:  
A-B 90.0 28.8

SUPPORT CRITERIA

JT REACT WIDTH	JT REACT WIDTH	WIDT
LBS IN-SX	LBS IN-SX	IN-SX
D 613 3- 8	C 613 3- 0	*

Robbins Engineering, Inc./Online Plus™  
LOAD CASE #2 UNBALANCED LOAD  
LUMBER STRESS INCREASE: 0.0%  
PLATE STRESS INCREASE: 0.0%

LOADING	LIVE	DEAD (PSF)
TOP CHD	40.0	10.0
BTM CHD	0.0	5.0
TOTAL	40.0	15.0

EXCEPTIONS:  
A-B 90.0 28.8

SUPPORT CRITERIA

JT REACT WIDTH	JT REACT WIDTH
LBS IN-SX	LBS IN-SX
D 167 3- 8	C 167 3- 0

MEMBER FORCES - EACH PLY  
MEMBR CSI P(LBS) M91ST M02ND

TOP CHORDS	BTM CHORDS	WEBS
A-B 0.78 0 T 37 -37	D-C 0.03 0 T 1 -1	D-A = 295 C A-C = 0 T C-B = 295 C

DL+LL DEPL = 0.13" IN A-B  
LL DEPL < BRG-SPAN/360  
SPAN/DEPL (DL+LL) = 469

REFER TO ROBBINS ENG. GENERAL NOTES AND SYMBOLS SHEET FOR ADDITIONAL SPECIFICATIONS.

- NOTES:
1. TRUSSES MANUFACTURED BY - East Coast Lumber
  2. EMPIRICAL ANALOG IS USED.
  3. UNBALANCED LOADS CHECKED (UNBLN LD PAC = 1.00, 0.00).
  4. PROVIDE DRAINAGE TO PREVENT WATER POONDING.
  5. 2 COMPLETE TRUSSES REQUIRED. FASTEN TRUSSES TOGETHER W/ 10d NAILS AS EACH LAYER IS APPLIED, STAGGERED AS FOLLOWS
- | MEMBER  | ROWS | SPACING (IN) |
|---------|------|--------------|
| TOP CHD | 1    | 11.0         |
| BTM CHD | 1    | 12.0         |
| WEBS    | 2    | 4.0          |
- PLUS CLUSTERS OF NAILS IF SHOWN.

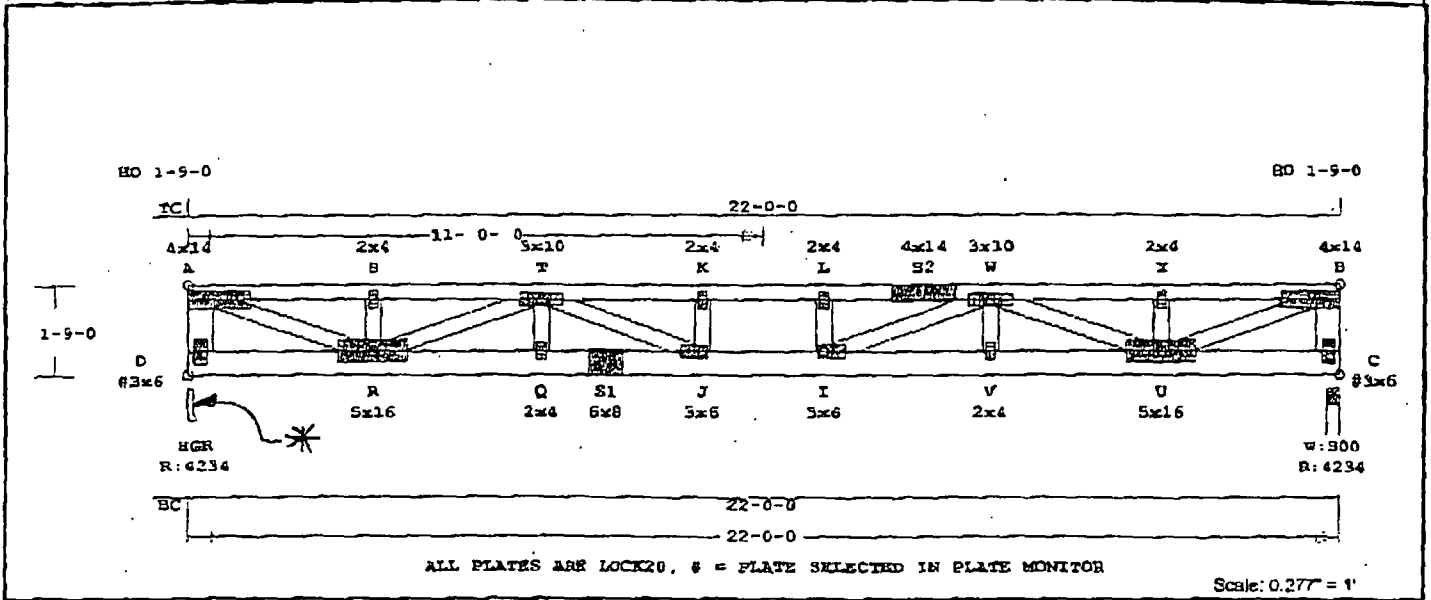
- FABRICATOR NOTES:
1. EAST COAST LUMBER & SUPPLY  
J.C. WEBER P.E.#17455  
5285 ST. LUCIE BLVD.  
FORT PIERCE FL. 34946
  2. !!!CAUTION!!! READ "RCSI-B1 SUMMARY SHEET" BEFORE HANDLING , INSTALLING & BRACING TRUSSES.
  3. SEE ATTACHED DETAIL SHEET FOR: 1-JACK NAILS, 2-TERRACE, 3-BEARING BLOCK.
  4. DESIGNER: NC

\* - DENOTES THIS HANGER (BY OTHERS) SHALL MEET THE MINIMUM BEARING REQUIREMENTS AS NOTED.

*Handwritten signature*  
NOV 16 2004

Job <b>6753</b>	Mark <b>FG3</b>	Quan 1*2P	Type FLAT	Span 220000	P1-H1 10900	Left OH 0	Right OH 0	Engineering
--------------------	--------------------	--------------	--------------	----------------	----------------	--------------	---------------	-------------

D.A. BUFORD/MUFSON RES./#6753/FLOORS



Online Plus -- Version 15.0.007  
RUN DATE: 07-JAN-04

\*\*\*\*\*  
\* 2-Ply Truss \*  
\*\*\*\*\*

CSI	Size	Lumber
TC	0.81 2x 4	SP-SS
BC	0.89 2x 6	SP-SS
WB	0.60 2x 4	SP-#3
EX D -A	2x 6	SP-#2
EX A -R	2x 4	SP-SS
EX U -B	2x 4	SP-SS
EX C -B	2x 6	SP-#2

Brace truss as follows:

O.C.	From	To
TC Cont.	0- 0- 0	22- 0- 0
BC Cont.	0- 0- 0	22- 0- 0

Loading	Live	Dead	(psf)
TC	40.0	10.0	
BC	0.0	5.0	
Total	40.0	15.0	55.0
Spacing			24.0"

Lumber Stress Increase	0.0%
Plate Stress Increase	0.0%
TC Fb=1.00 Fc=1.00 Ft=1.00	
BC Fb=1.00 Fc=1.00 Ft=1.00	

LC 1	Standard Loading	
Lumber Stress Increase	0.0%	
Plate Stress Increase	0.0%	
plf - Live Dead From To		
TC V	-80 -20 0.0' 22.0'	
BC V	0 -10 0.0' 22.0'	
TC V	-200 -75 0.0' 22.0'	
Plus 2 Unbalanced Load Cases		

Jt	React	Oplft	Size	Req'd
	Lbs	Lbs	In-Sx	In-Sx
D	4235	0	3- 8	2- 8
C	4235	0	3- 0	2- 8

Membr	CSI	F Lbs	M01st	M02nd
---Top Chords---				
A -S	0.42	8236 C	118	-3466
S -T	0.34	8236 C	3466	-2594
T -K	0.81	15580 C	2594	-514
K -L	0.67	15580 C	314	-513
L -S2	0.81	15580 C	513	3466
S2 -W	0.75	15580 C	-3466	-2594
W -X	0.34	8236 C	2594	-3466

Robbins Engineering, Inc./Online Plus™

X -B: 0.42 8236 C 3466 -118

-----Bottom Chords-----

D -R 0.13 0 T 3 5101

R -Q 0.72 13559 T -5101 4969

Q -S1 0.75 13559 T -4969 6432

S1 -J 0.80 13559 T -6432 8254

J -I 0.89 15580 T -8254 8256

I -V 0.80 13559 T -8256 4969

V -U 0.72 13559 T -4969 5100

U -C 0.13 0 T -5100 -3

-----Webs-----

D -A 0.16 4085 C

A -R 0.53 8939 T

R -S 0.13 1330 C

R -T 0.60 5777 C

Q -T 0.02 123 T

T -J 0.44 2211 T

J -K 0.09 956 C

K -I 0.09 956 C

I -W 0.44 2210 T

V -W 0.02 123 T

W -U 0.60 5777 C

U -X 0.13 1330 C

U -B 0.53 8939 T

C -B 0.16 4085 C

V LOCK 2.0x 4.0 0.0 0.0 0.49  
U LOCK 5.0x16.0 0.0 0.0 1.00  
C# LOCK 3.0x 6.0 0.0 0.0 0.39

# = Plate Monitor used

REFER TO ROBBINS ENG. GENERAL NOTES AND SYMBOLS SHEET FOR ADDITIONAL SPECIFICATIONS.

NOTES:

Trusses Manufactured by:

East Coast Lumber

Analysis Conforms To:

ANSI/TPI 1-2002

2 COMPLETE TRUSSES REQUIRED.

Fasten together in staggered

pattern. (1/2" bolts -OR-

SDS3 screws -OR- 10d nails

as each layer is applied.)

-----Spacing (In)-----

Rows Nails Screws Bolts

TC 1 3 9.5 0

BC 2 12 24 0

WB 1 4 4

Prevent truss rotation at all

bearing locations.

This truss must be installed

as shown. It cannot be

installed upside-down.

Bottom chord of truss should

be marked.

NOTE: USER MODIFIED PLATES

This design may have plates

selected through a plate

monitor.

Max comp. force 15580 Lbs

Quality Control Factor 1.00

FABRICATOR NOTES:

1. EAST COAST LUMBER & SUPPLY

J.C. WEBER P.E.#17455

5285 ST. LUCIE BLVD.

FORT PIERCE FL. 34946

2. !!!CAUTION!!! READ "BCSI-BI

SUMMARY SHEET" BEFORE

HANDLING, INSTALLING &

BRACING TRUSSES.

3. SEE ATTACHED DETAIL SHEET

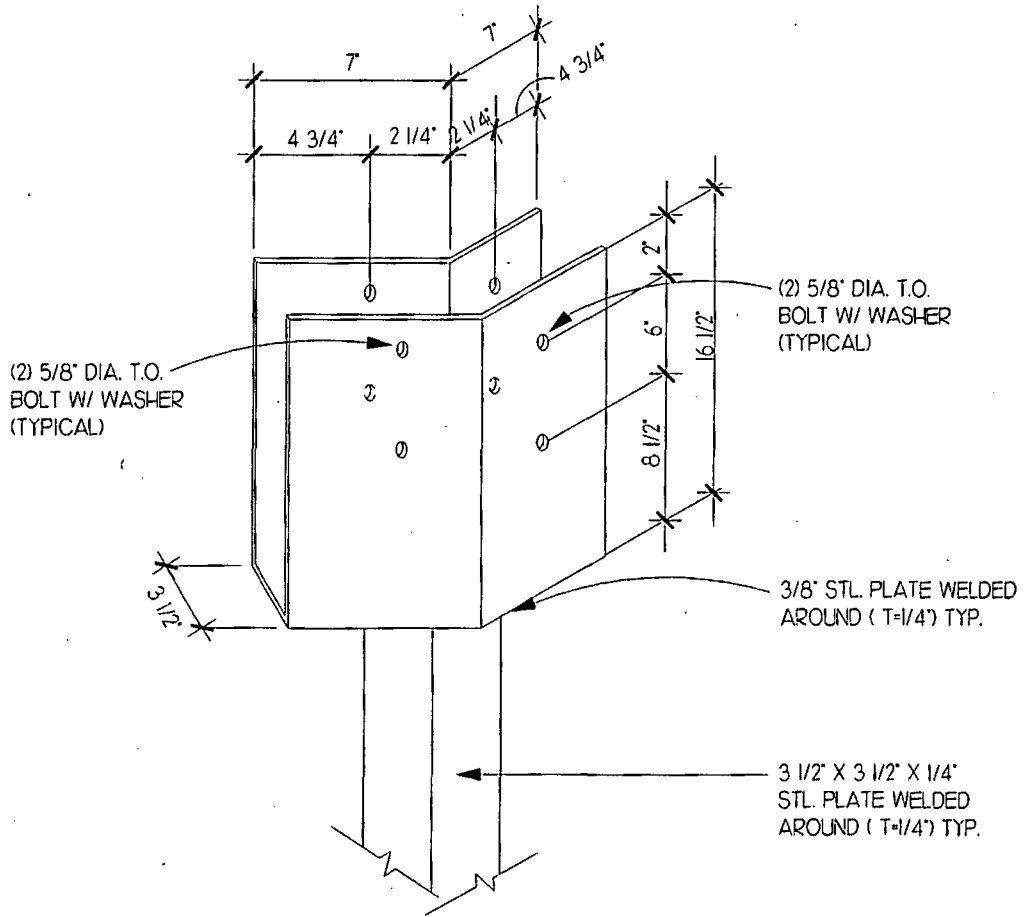
FOR: 1-JACK NAILS.

2-TBRACE. 3-BEARING BLOCK.

4. DESIGNER: MC

\*-DENOTES THIS HANGER (BY OTHERS) SHALL MEET THE MINIMUM BEARING REQUIREMENTS AS NOTED.

*Good*  
NOV 16 2004



3  
A8

**DETAIL**

NTS

FEB 10 2005

MODIFICATION DRAWING

BUFORD CONSTRUCTION CO.



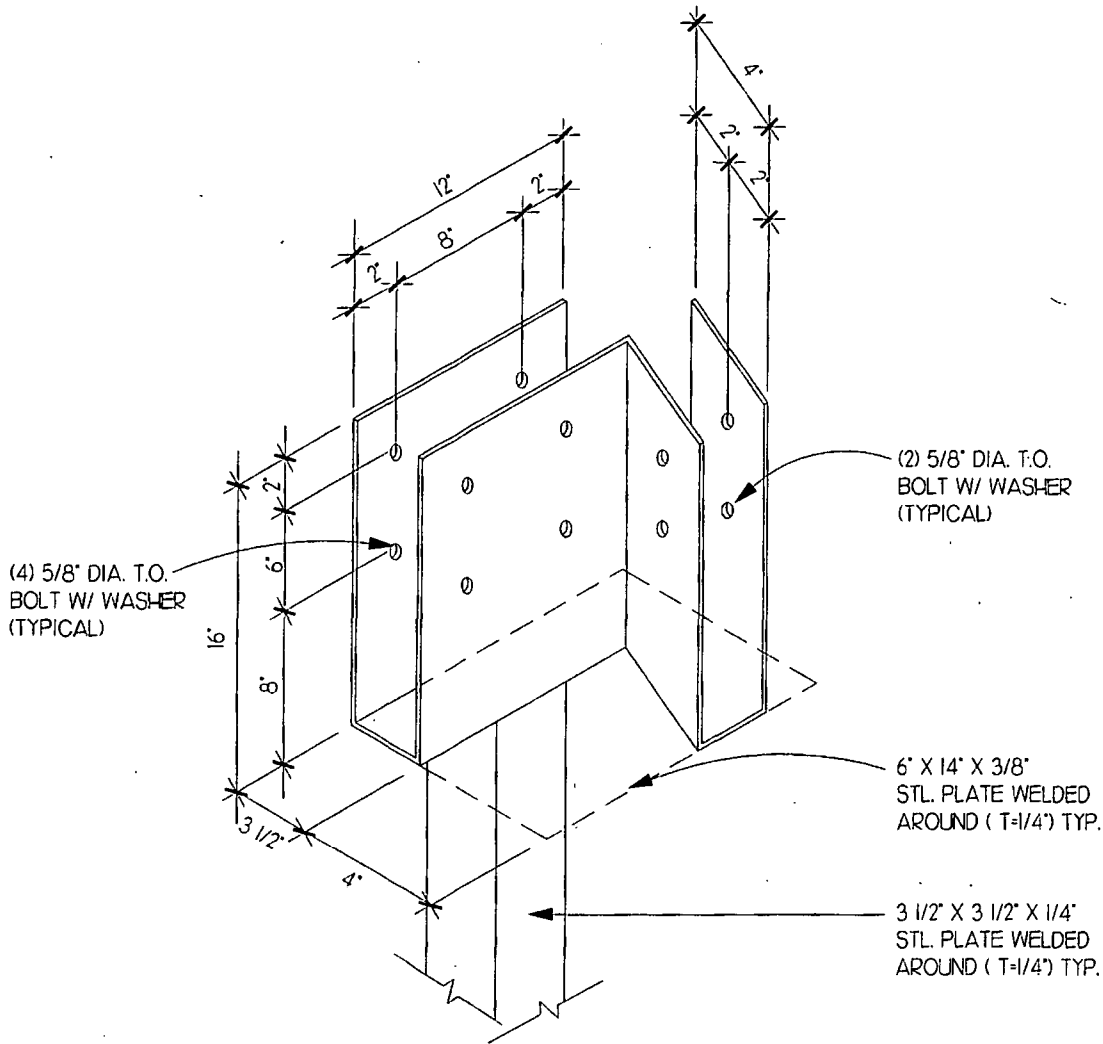
3835 NW BOCA RATON BLVD.  
SUITE 100  
BOCA RATON, FL 33431  
PH (561) 750-0445  
FAX (561) 750-7872

LOT : 9 SOUTH RIVER RD.

DATE	10-12-04	SCALE	AS NOTED	DRWN. BY:	FP
SHEET	A-	DRWG.	SK-1	JOB	O2199
				APPD	RJR

©2001

PA  
AA 0002340



10  
A8

**DETAIL**

NTS

~~Handwritten signature~~  
FEB 17 2005

MODIFICATION DRAWING

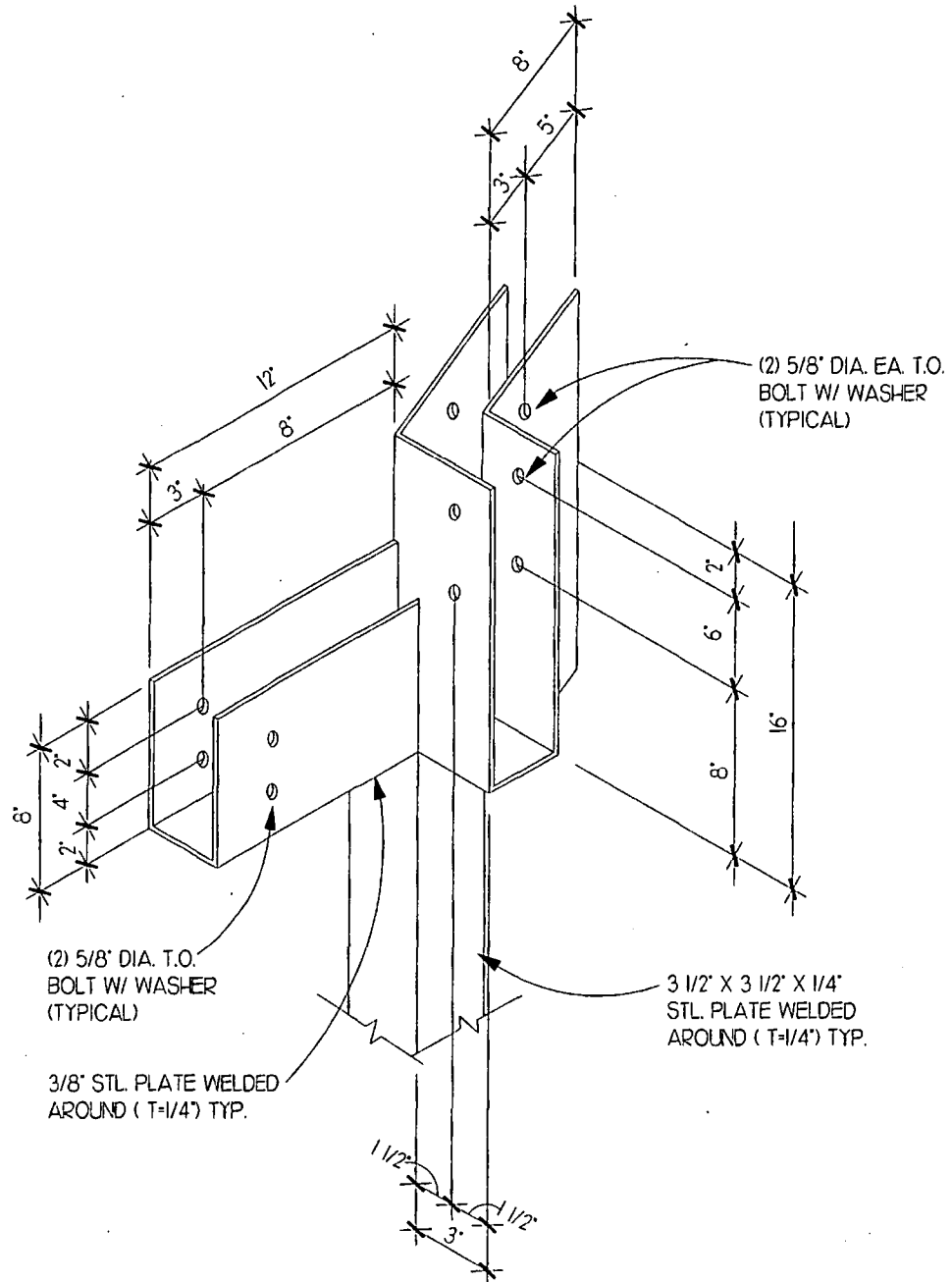
BUFORD CONSTRUCTION CO.



3835 NW BOCA RATON BLVD.  
SUITE 100  
BOCA RATON, FL 33431  
PH (561) 750-0445  
FAX (561) 750-7872

LOT : 9 SOUTH RIVER RD.

DATE	10-12-04	SCALE	AS NOTED	DRWN. BY:	FP
SHEET	A-	DRWG.	SK-1	JOB	O2199
				APPD	RJR



13  
A8

**DETAIL**

NTS

*[Signature]*  
FEB 10 2005

MODIFICATION DRAWING

BUFORD CONSTRUCTION CO.



3835 NW BOCA RATON BLVD.  
SUITE 100  
BOCA RATON, FL 33431  
PH (561) 750-0445  
FAX (561) 750-7872

LOT : 9 SOUTH RIVER RD.










DATE	10-12-04	SCALE	AS NOTED	DRWN. BY:	FP
SHEET	A-	DRWG.	SK-1	JOB	O2199
				APPD	RJR



# The Florida Department of Community Affairs Building Code Information System



**SITE NAVIGATION**

-  Home
-  Florida Building Code
-  Manufact. Buildings
-  Prototype Building
-  Surcharges
-  Training
-  Product Approval
-  License Search
-  Mailing List

**PRODUCT APPROVAL** *Product Type Detail*

[Overview](#)
[Product Search](#)
[Organization Search](#)
[Product Application](#)

**SUPPORT**

- [Log In](#)
- [New User](#)
- [Contact Us](#)
- [About](#)

User: Public User - Not Associated with Organization -

[Need Help ?](#)

Application #: FL603  
 Date Submitted: 10/13/2003  
 Product Manufacturer: Eastern Metal Supply  
 Address/Phone/email: 4268 Westroads Drive  
 West Palm Beach, FL 33407  
  
 Category: Shutters  
  
 Subcategory: Storm Panels  
  
 Evaluation Method: Evaluation Report from a Florida Registered Architect or Florida Professional Engineer  
  
 Referenced Standards from the Florida Building Code:
 

<u>Section</u>	<u>Standard</u>	<u>Year</u>
1606.1.4	SSTD 12-99	2001

  
 Florida Engineer or Architect Name: Walter A. Tillit, Jr.  
  
 Florida License: PE-44167  
  
 Quality Assurance Entity: National Accreditation and Management Institute



Validation Entity: John Henry Kampmann Jr.

Authorized Signature: Bill Feeley  
bfeeley@easternmetal.com

Evaluation/Test Reports Uploaded: [PTID\\_603\\_T\\_1 Product Evaluation Report\(1\).pdf](#)  
[PTID\\_603\\_T\\_2 Certification of Independ.pdf](#)  
[PTID\\_603\\_T\\_3 Drawing 02-056 \(1\).pdf](#)  
[PTID\\_603\\_T\\_4 Test Reports \(2\).pdf](#)  
[PTID\\_603\\_T\\_4a Test Report 789.pdf](#)

Installation Documents Uploaded:

Product Approval Method: Method 1 Option D

Application Status: Approved  
 Date Validated: 05/28/2004

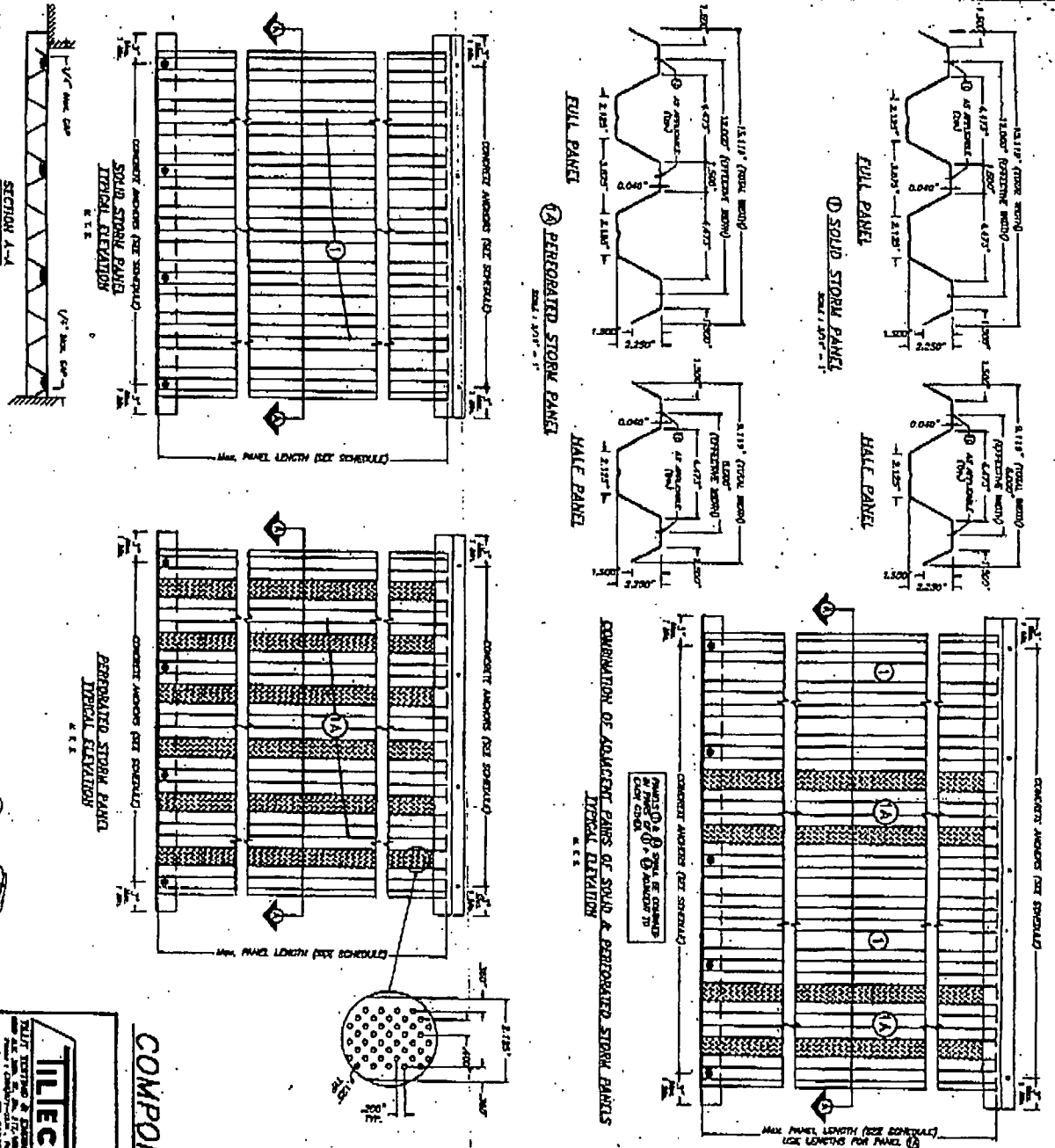
Page: Page 1 / 1  
 Go

App/Seq #	Product Model # or Name	Model Description	Limits of Use
603.1	02.056	0.040" Aluminum Storm Panel	

Next

\*\*\*\*\*  
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**GENERAL NOTES**

1. SHOW ALL DIMENSIONS FOR THE PROJECT MANAGER'S RECORD (P.L.M.) AND RECORD DRAWING. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

**COMPONENTS**

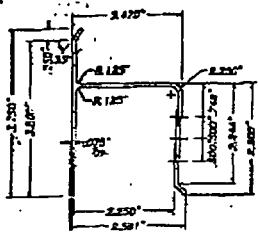
<p><b>TILECO INC.</b>                  TILE TESTING &amp; CONSULTING COMPANY                  1000 W. 10th Street, Suite 100                  Lincoln, NE 68502                  (402) 441-1111                  FAX: (402) 441-1112                  WWW.TILECO.COM</p>	
<p><b>040" SOLID/PERFORATED BERTHA ALUMINUM STORAGE PANEL</b></p>	
<p><b>EASTERN METAL SUPPLY, INC</b>                  4800 WEST 48th STREET                  LINCOLN, NE 68502                  (402) 441-1111</p>	
<p>DATE: 02-05-06</p>	<p>BY: [Signature]</p>
<p>PROJECT: 02-05-06</p>	<p>SHEET: 1 OF 15</p>

**This is NOT a Master Drawing.**

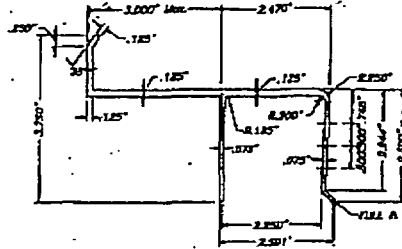
**Valid Only For One Time Purchase**

- A.1) ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- A.2) ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- A.3) ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- A.4) ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- A.5) ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- A.6) ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- A.7) ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- A.8) ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- A.9) ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- A.10) ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

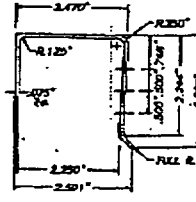




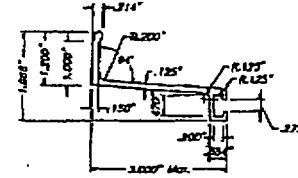
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SCALE: 3/4\"/>



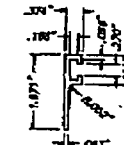
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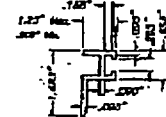
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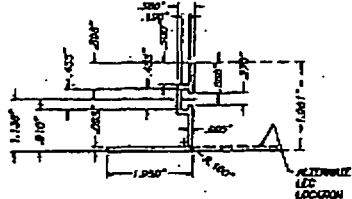
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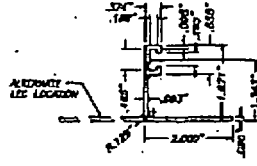
⑥ 3/8\"/>



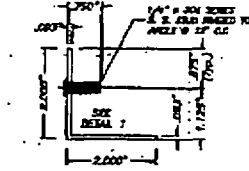
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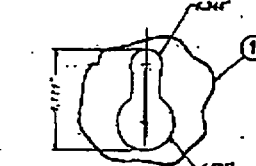
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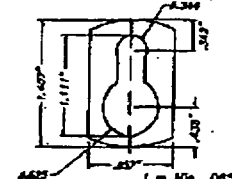
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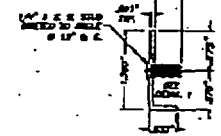
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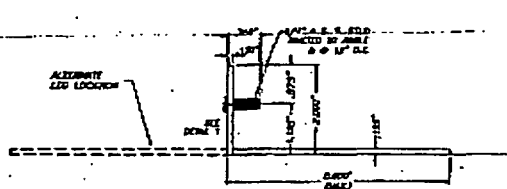
⑩ KEY HOLE AT PANEL



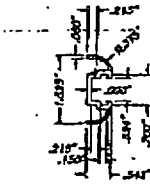
⑪ KEY HOLE WASHER  
SCALE: 3/4\"/>



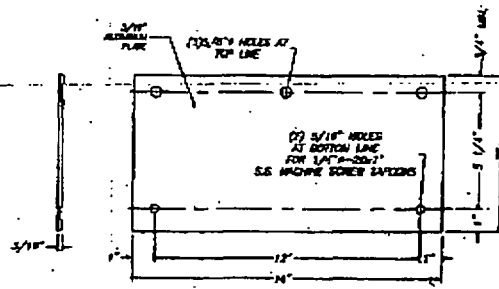
⑫ MINI WALL 1.75\"/>



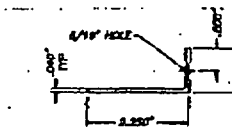
⑬ 2\"/>



⑭ T\"/>

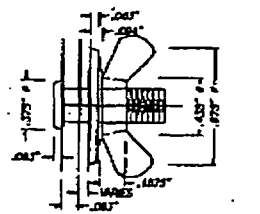


⑯ 3/16\"/>



⑰ 2 1/4\"/>

# COMPONENTS

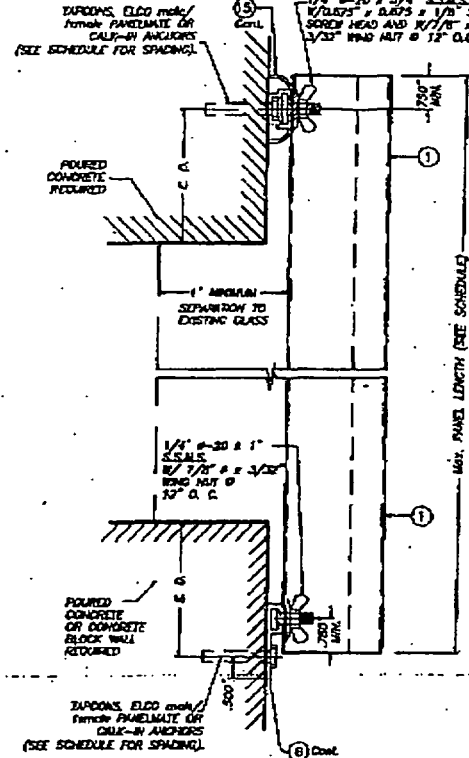
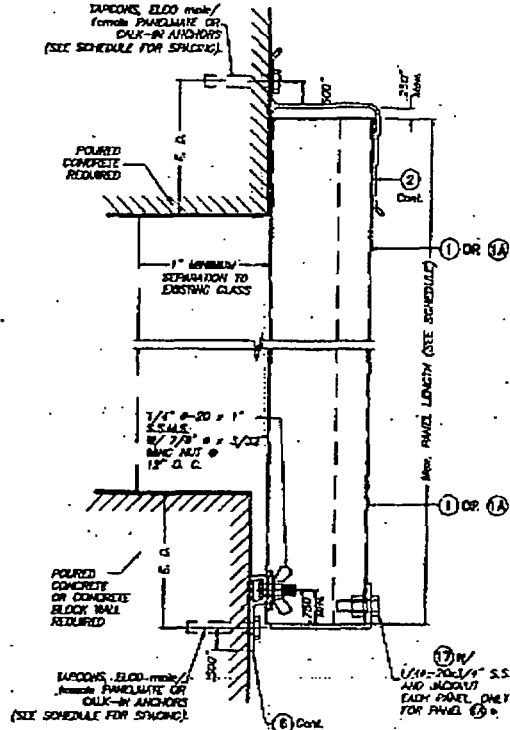
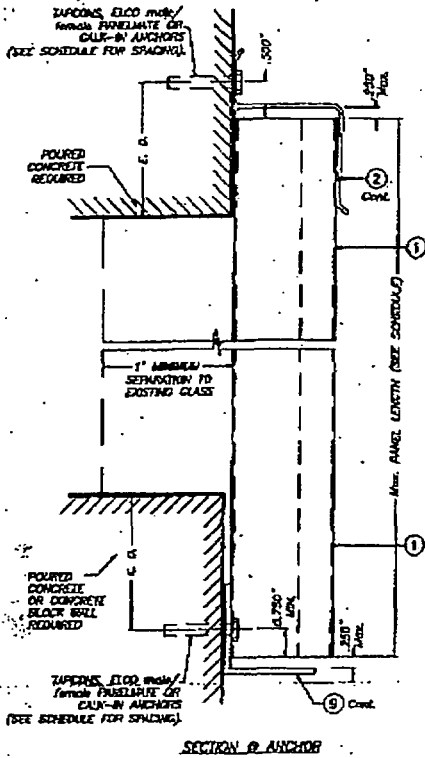


DETAIL 1: 1/2\"/>

This Is Not A Master Drawing.  
Valid Only For One Time Permit.

**TILECO INC.**  
 TALENT TESTING & ENGINEERING COMPANY  
 505 N.W. 22nd St., Box 315, Pompano Beach, FL 33069  
 Phone: 305-967-4342, Fax: 305-967-1217  
 ED-00007719  
 BILLY A. TELLE, P.E., P.L.C.  
 FLORIDA LIC. # 44187

.040\"/>						
				EASTERN METAL SUPPLY, INC 4250 WEST BOND DRIVE POWELL BEACH, FL 32077		
				AS SHOWN SCALE	3/3/02 DATE	
REV. NO.		DESCRIPTION	DATE	REV. BY	APPROVED BY	DATE



**WALL MOUNTING INSTALLATION**

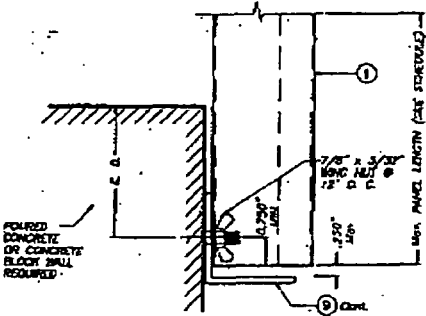
**SECTION 2**

SCALE: 3/8" = 1"

**WALL MOUNTING INSTALLATION**

**SECTION 3**

SCALE: 3/8" = 1"



**SECTION 1**

**WALL MOUNTING INSTALLATION**

SCALE: 3/8" = 1"

E. D. = EDGE DISTANCE (SEE SCHEDULE ON SHEETS 10 OF 13)

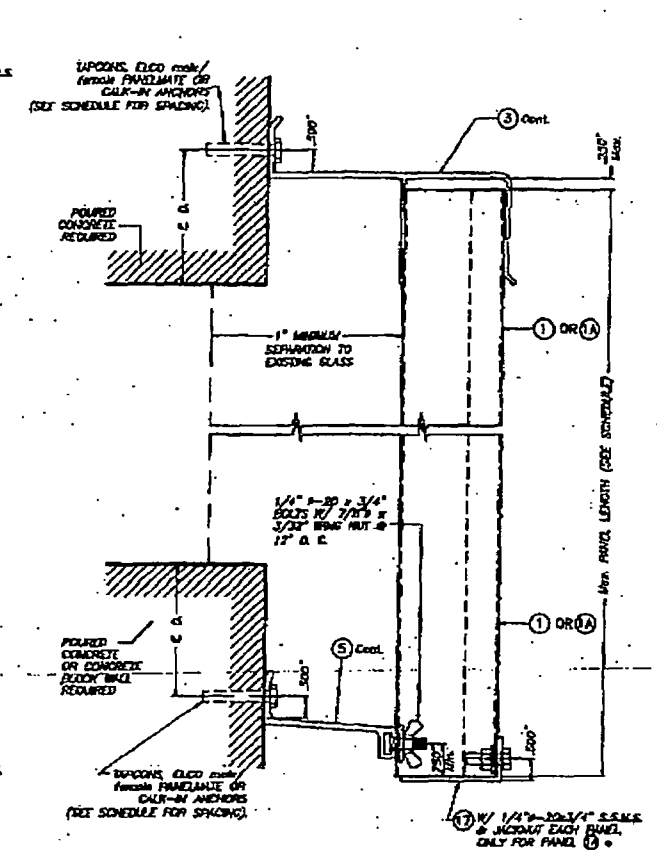
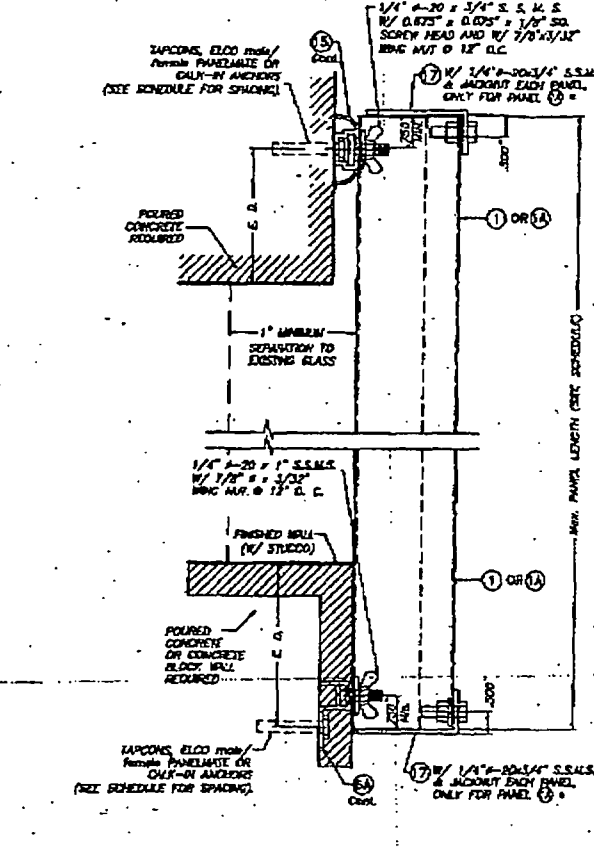
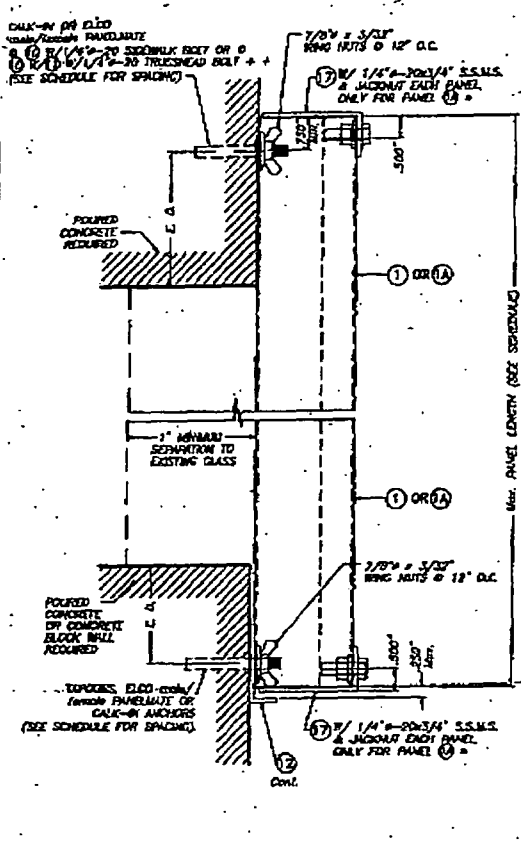
SEE SHEET 10 OF 13 FOR CONDITIONS REQUIRING INSTALLATION OF FLASHING (2) ONLY APPLICABLE TO PANEL (2), IN ORDER TO MAINTAIN HIGH POROSITY CONDITION FOR PANEL.

NOTE FOR COMBINATION OF SECTIONS:  
 WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

This is Not A Master Drawing.  
Valid Only For One Time Permit.

<p>TILECO INC.          TILLY TESTING &amp; ENGINEERING COMPANY          2200 S.W. 10th St., Ste. 272, MIAMI GARDENS, FL 33147          Phone: (305) 476-1633 Fax: (305) 476-1611          (305) 476-1918          WALTER A. TILLY, JR., P. E.          FLORIDA Lic. # 44187</p>		.040" SOLID/PERFORATED BERTHA ALUMINUM STORM PANEL		F.B.C.
		EASTERN METAL SUPPLY, INC 4198 WEST ROADS DRIVE MIAMI GARDENS, FL 33147		AS SHOWN SCALE
		3/8" x 3/8" MET		
		02-056		
		DRAWING IN		
		SHEET 3 OF 13		

APR 8 9 2002



**WALL MOUNTING INSTALLATION**  
**SECTION 4** SCALE: 3/8" = 1"

**WALL MOUNTING INSTALLATION**  
**SECTION 5** SCALE: 3/8" = 1"

**BUILD OUT INSTALLATION**  
**SECTION 6** SCALE: 3/8" = 1"

**This is Not A Master Drawing.**  
**Valid Only For One Time Permit.**

E. D. = EDGE DISTANCE  
 (SEE SCHEDULE ON SHEETS 10 OF 15)

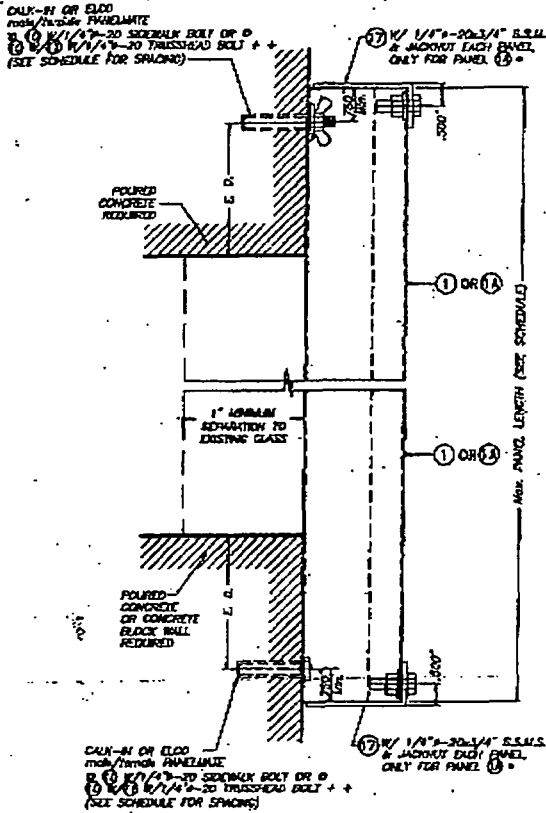
SEE SHEET 10 OF 15 FOR CONDITIONS REQUIRING INSTALLATION OF FLASHING (2) ONLY APPLICABLE TO PANEL (A), IN ORDER TO MAINTAIN HIGH POROSITY CONDITION FOR PANEL.

**NOTE FOR COMBINATION OF SECTIONS:**  
 WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

SEE WALL BOLTS ARE 3/8" x 1/2" THICK HEAD MACHINE SCREW W/ LENGTH AS PER NOTES A.1 & B.1 (SHEET 1)  
 TRUSS HEAD BOLTS ARE 1/2" x 1/2" THICK HEAD MACHINE SCREW W/ LENGTH AS PER NOTES A.2 & B.2 (SHEET 1)

REV D. 9 2002

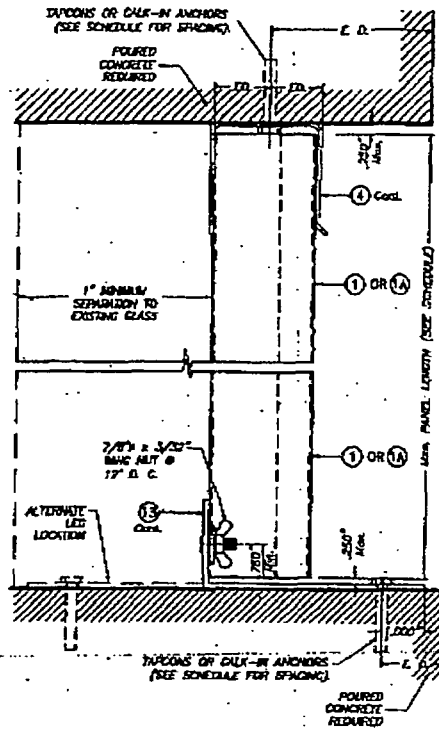
<p>TILECO INC.          TILLY TESTER &amp; ENGINEERING COMPANY          1000 W. 1st St., Ste. 117, Pompano Beach, FL 33062          Phone: (954) 782-2221 Fax: (954) 782-2221          ED-0000719          BUILDED BY TILLY &amp; P. Z.          FLORIDA Lic. # 44127</p>	.040" SOLID/PERFORATED BERTHA ALUMINUM STORM PANEL EASTERN METAL SUPPLY, INC. 6280 WEST BROAD DRIVE POMPANO BEACH, FL 33407	F.B.C. AS SHOWN SCALE 3/8" = 1" 02-056 DRAWING NO. SHEET 4 OF 15												
	<table border="1"> <thead> <tr> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>APPROVED</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV. NO.	DESCRIPTION	DATE	BY	APPROVED	DATE	1						
REV. NO.	DESCRIPTION	DATE	BY	APPROVED	DATE									
1														



**WALL MOUNTING INSTALLATION (D. M.)**

**SECTION 7**

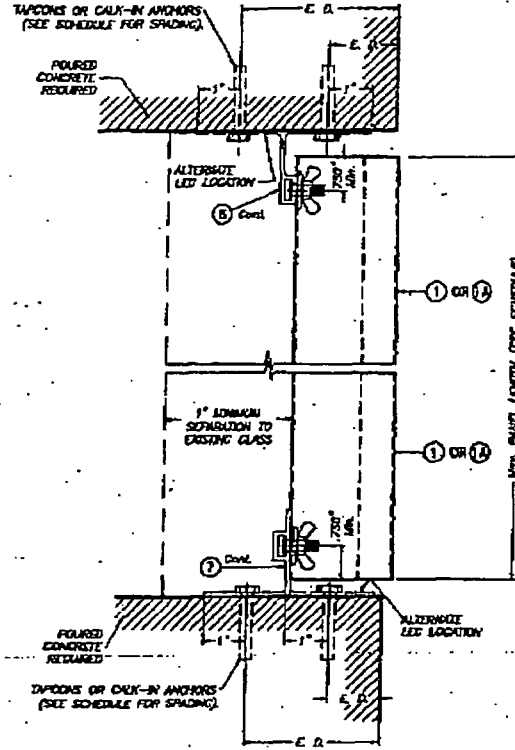
SCALE: 3/8" = 1'



**CEILING & FLOOR MOUNTING**

**INSTALLATION - SECTION 8**

SCALE: 3/8" = 1'



**CEILING & FLOOR MOUNTING**

**INSTALLATION - SECTION 9**

SCALE: 3/8" = 1'

This Is Not A Master Drawing.  
Valid Only For One Time Permit.

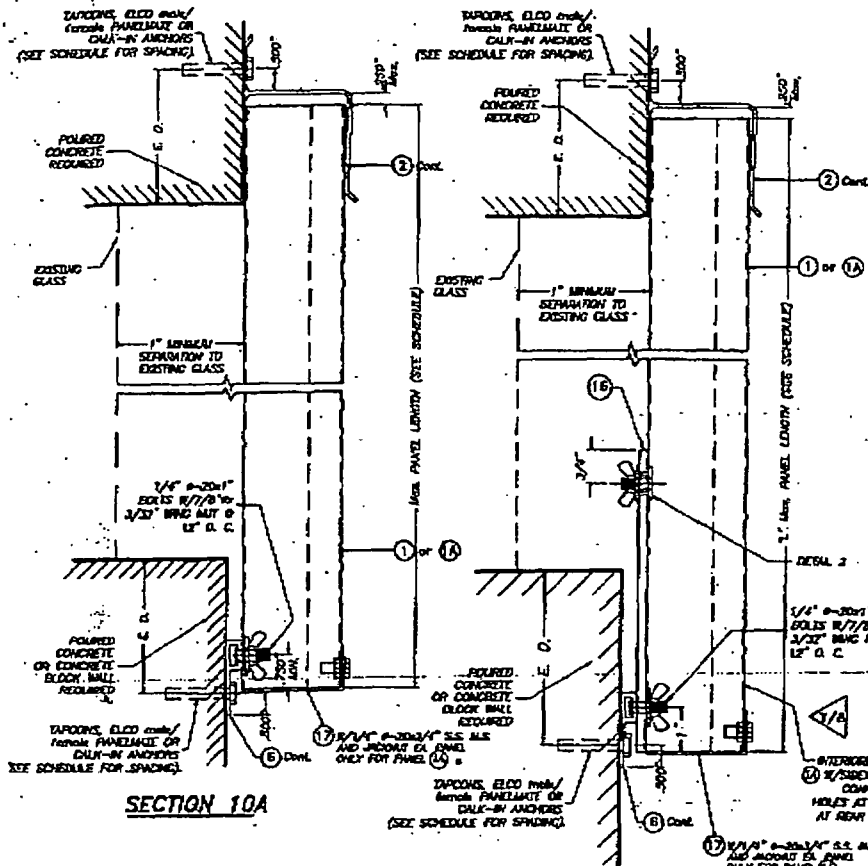
E. D. = EDGE DISTANCE  
(SEE SCHEDULE ON SHEET 10 OF 15)

SEE SHEET 10 OF 15 FOR CONDITIONS REQUIRING INSTALLATION OF FLASHING (3) ONLY APPLICABLE TO PANEL (B), IN ORDER TO MAINTAIN NON POROUS CONDITION FOR PANEL.

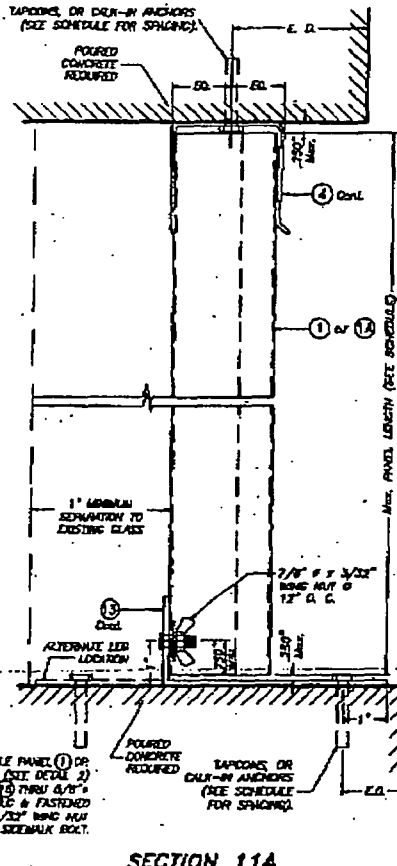
NOTE FOR COMBINATION OF SECTIONS:  
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

\*\*\* SIDE WALL BOLTS ARE 3/4" x 3/8" THICK HEAD MACHINE SCREW 8" LENGTH AS PER NOTES A.3 & B.2 (SHEET 1)  
\*\*\* TRUSS HEAD BOLTS ARE 1/2" x 1/8" THICK HEAD MACHINE SCREW 8" LENGTH AS PER NOTES A.3 & B.2 (SHEET 1)

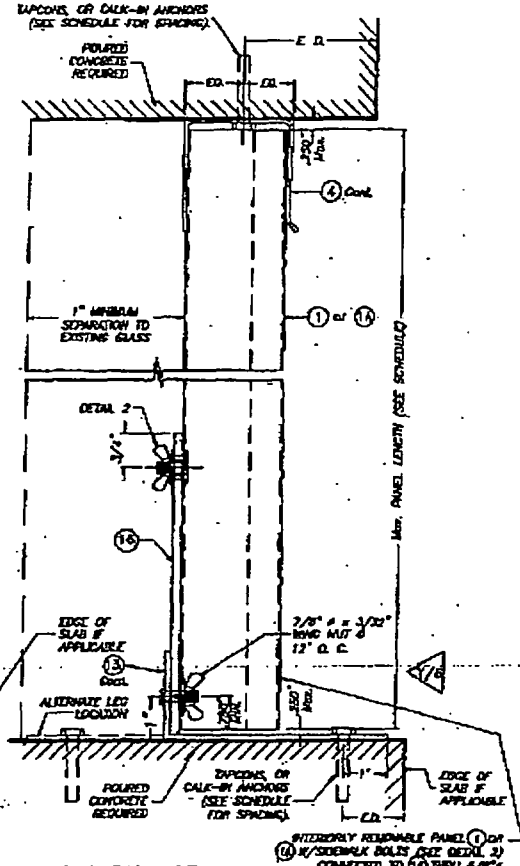
<p>TILECO Inc. TILECO TESTING &amp; ENGINEERING COMPANY 1000 N. W. 11th St., Ft. Lauderdale, FL 33304 Phone: (305) 457-1111 Fax: (305) 457-1110 EJ-0005718 DUNN &amp; TUTTLE, P. A. C. FLOORING, INC. # 44187</p>	.040" SOLID/PERFORATED BERTHA ALUMINUM STORM PANEL		F.B.C.
	EASTERN METAL SUPPLY, INC 4384 WEST ROAD DRIVE MIRAGE BEACH, FL 33407		AS SHOWN SCALE
			3/5/02 DATE
		02-056	SHEET 8 OF 15



SECTION 10A



SECTION 11A



SECTION 11B

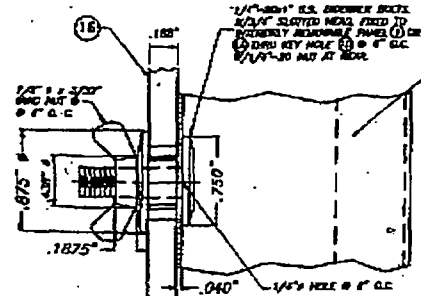
CEILING & FLOOR MOUNTING INSTALLATIONS

SECTIONS 11

SCALE: 3/8" = 1"

This is Not A Master Drawing. Valid Only For One Time Permit.

F.B.C.



DETAIL 2 - INSTALLATION OF 1/4" x 1" SIDEWALK BOLTS ON REMOVABLE PANEL

SCALE: 1" = 1"

SECTION 10B WALL MOUNTING INSTALLATIONS

SECTIONS 10 SCALE: 3/8" = 1"

SEE SHEET 10 OF 15 FOR CONDITIONS REQUIRING INSTALLATION OF FLASHING (1) ONLY APPLICABLE TO PANEL (A) IN ORDER TO MAINTAIN NON POROUS CONDITION FOR PANEL

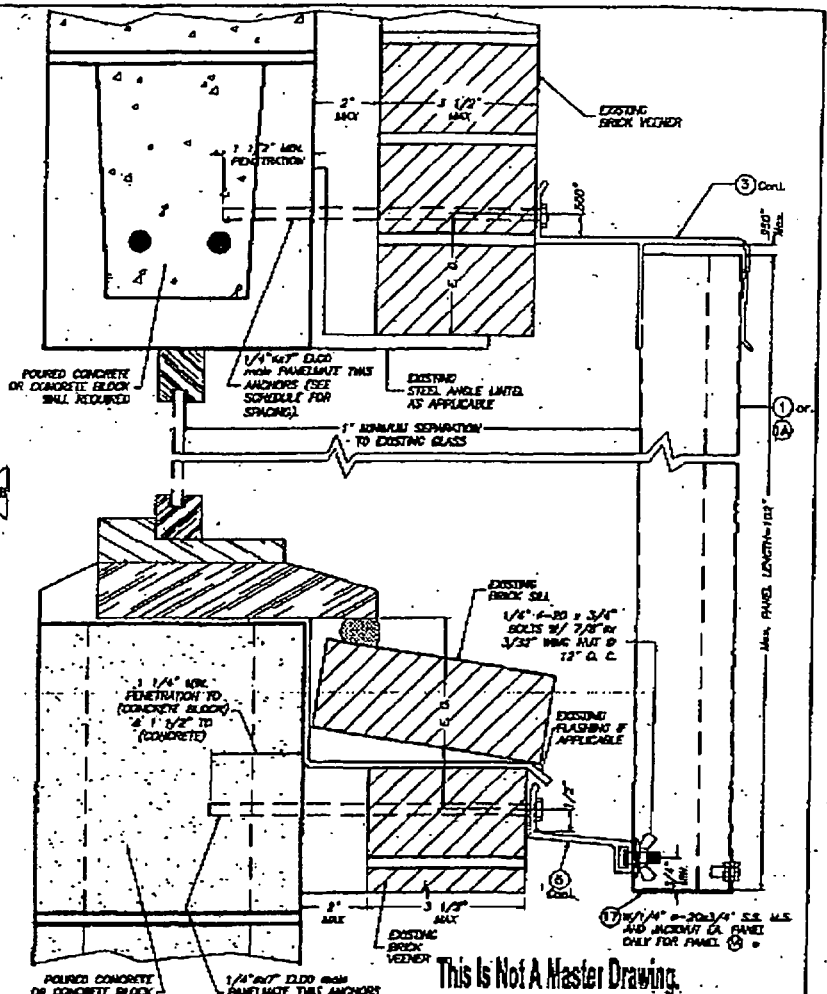
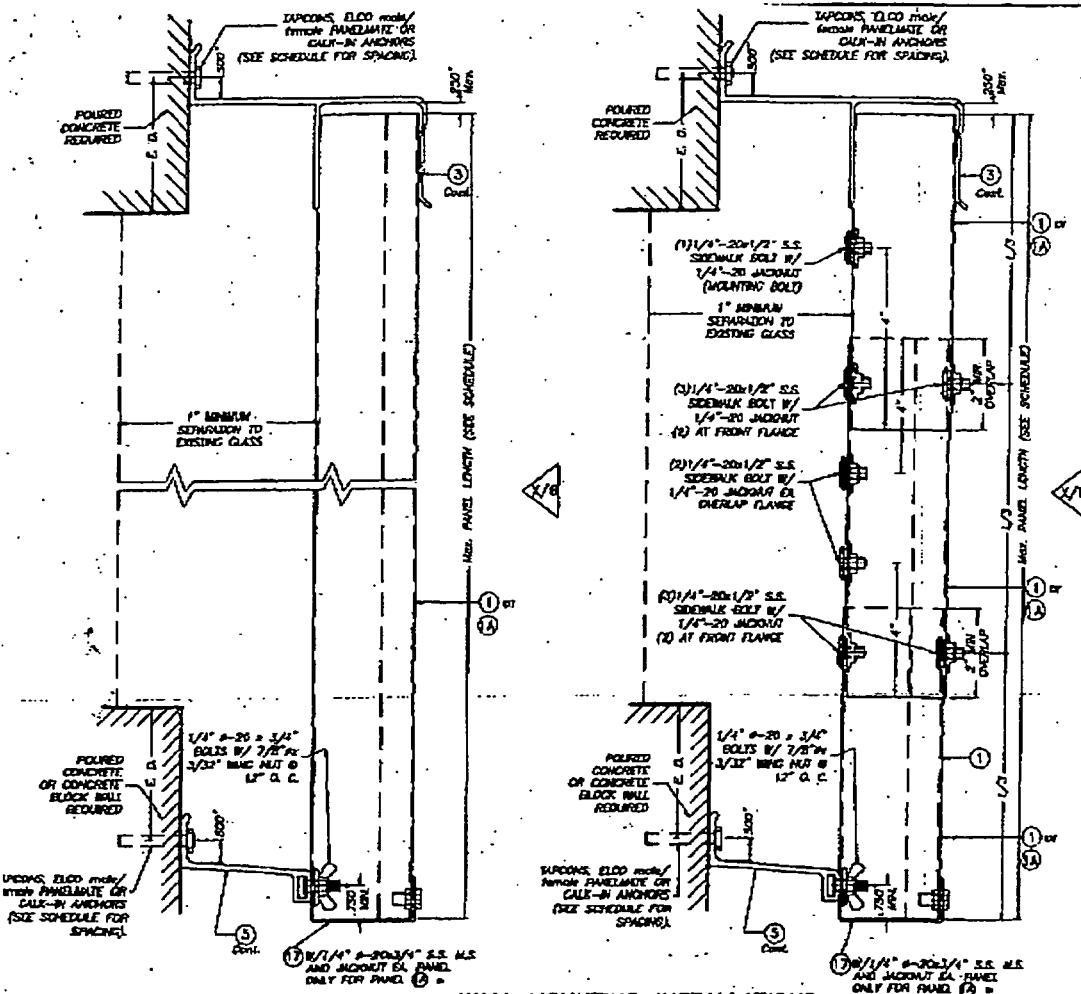
INSTALLATIONS VALID FOR PANELS (1) OR (1A) USED JOINTLY WITH INTERIORLY REMOVABLE PANELS (1) OR (1A)

E. D. = EDGE DISTANCE (SEE SCHEDULE ON SHEET 10 OF 15)

NOTE FOR COMBINATION OF SECTIONS: WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION

<p>TILECO INC. TILE TESTING &amp; ENGINEERING COMPANY 1000 N. W. 10th St. Ft. Lauderdale, FL 33309 Phone: (954) 575-2525 Fax: (954) 575-2525 EID-000719 WALTER A. TILLY &amp; P. C. FLORIDA LIC. # 34187</p>	.040" SOLID/PERFORATED BERTHA ALUMINUM STORM PANEL		AS SHOWN SCALE
	EASTERN METAL SUPPLY, INC 4284 WEST BOUND DRIVE PINEA BEACH, FL 33407		3/4" DIA BOLT
REV. NO.	DESCRIPTION	DATE	BY
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APR 9 9 2002



SECTIONS 12A

WALL MOUNTING INSTALLATIONS

SECTIONS 12B

BUILD OUT INSTALLATION

This Is Not A Master Drawing. Valid Only For One Time Permitt.

SEE SHEET 10 OF 15 FOR CONDITIONS REQUIRING INSULATION OR FLASHING (1) ONLY APPLICABLE TO PANEL (1) IN ORDER TO MAINTAIN NON-POROUS CONDITION FOR PANEL

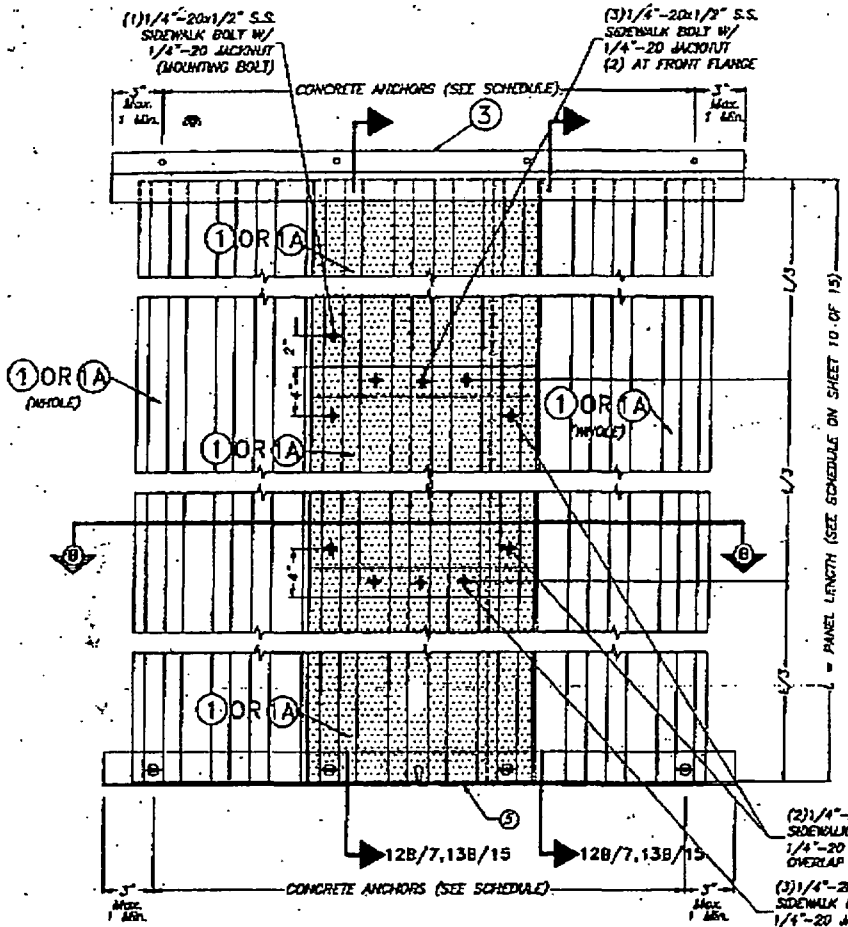
SECTIONS 12C

INSTALLATIONS VALID FOR PANELS (1) OR (1A) USED JOINTLY WITH INTERIORLY REMOVABLE PANELS (1) OR (1A)

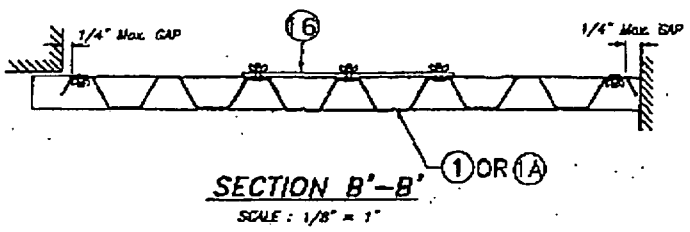
NOTE FOR COMBINATION OF SECTIONS: WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

<p>TILECO INC. TILE &amp; TERRAZZO AN EXPANDED COMPANY 2000 S.W. 10TH AVE. SUITE 100 MIAMI, FL 33135 TEL: 305-441-1111 FAX: 305-441-1111 EQ-0008715 WALTER A. TILLY, INC. P. E. FLORIDA LIC. # 44187</p>	<p>.040" SOLID/PERFORATED BERTHA ALUMINUM STORM PANEL</p>	<p>AT EACH SCALE</p>												
	<p>EASTERN METAL SUPPLY, INC 4325 WEST ROCKS DRIVE MIAMI BEACH, FL 33407</p>	<p>3/8" DIA DATE</p>												
<table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>CHK'D BY</th> <th>REASON</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV	DESCRIPTION	DATE	BY	CHK'D BY	REASON	1						<p>02-056</p>	<p>DRAWING NO</p>
REV	DESCRIPTION	DATE	BY	CHK'D BY	REASON									
1														
		<p>SHEET 7 OF 15</p>												

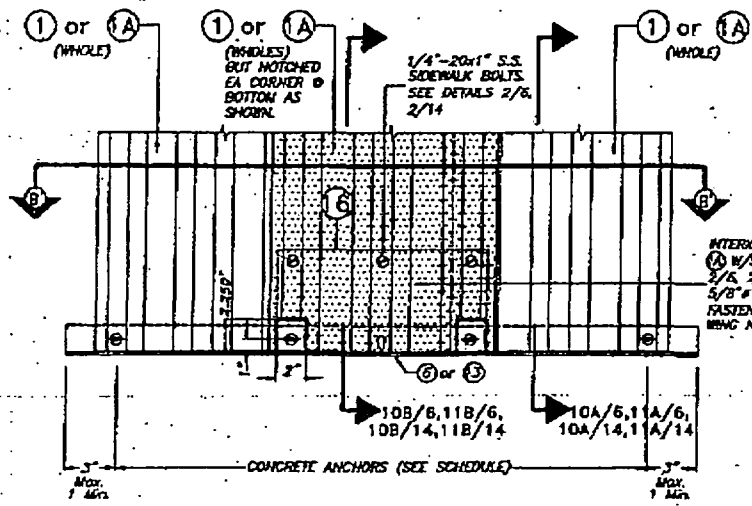
1888 0 0 0000



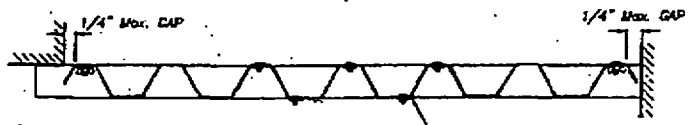
**INTERIORLY REMOVABLE STORM PANEL**  
**ELEVATION X**  
 SCALE : 1/8" = 1"



**SECTION B-B'** ① OR ①A  
 SCALE : 1/8" = 1"



**INTERIORLY REMOVABLE STORM PANEL**  
**PARTIAL ELEVATION Y**  
 SCALE : 1/8" = 1"



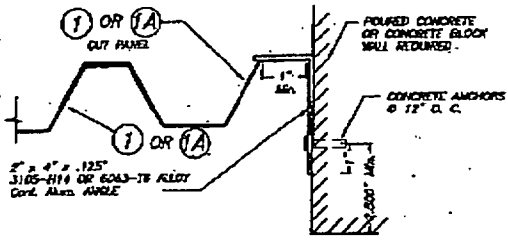
**SECTION B-B'** ① OR ①A  
 1' SPACED PANELS @ 1/3 OF L  
 SCALE : 1/8" = 1"

This Is Not A Master Drawing.  
 Valid Only For One Time Permit.

*[Signature]*  
 APR 23 2002

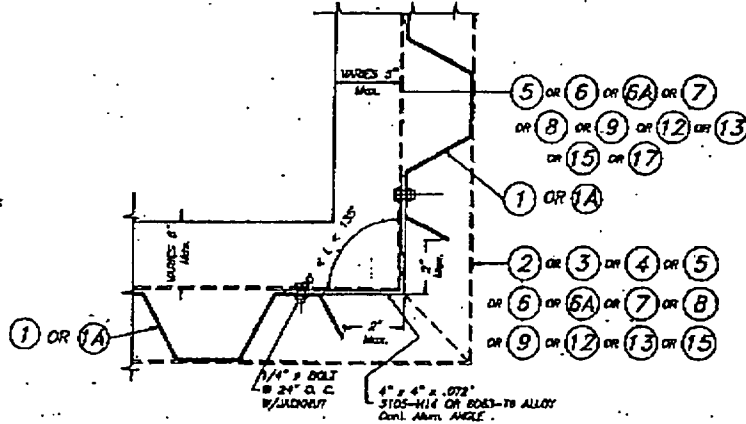
**TILECO INC.**  
 TILECO PERFORMING & ENGINEERING COMPANY  
 4300 N.W. 22ND AVENUE, SUITE 215, MIAMI GARDENS, FL 33169  
 PHONE: 781-247-2222 FAX: 781-247-2211  
 FAX: 781-247-2211  
 1000 W. 11TH AVENUE, P. O. BOX 1000  
 MIAMI, FL 33133

.040" SOLID/PERFORATED BERTHA ALUMINUM STORM PANEL		F.B.C.
EASTERN METAL SUPPLY, INC		AS SHOWN SCALE
4300 WEST ROAD, SUITE 215 MIAMI GARDENS, FL 33169		DATE
		02-056
		DRAWING NO.
REV. NO.	DESCRIPTION	DATE
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		SHEET # OF 13



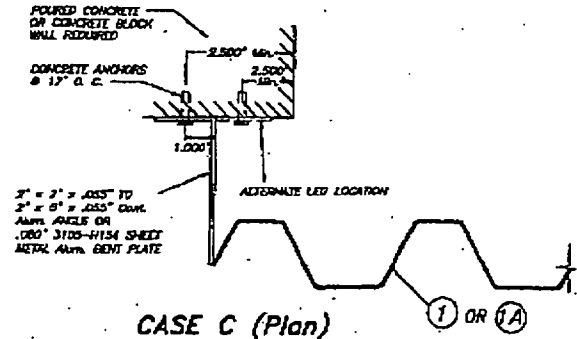
CASE A (Plan)

SCALE 1/4" = 1"



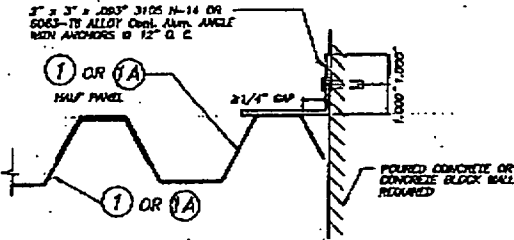
CASE B (Plan)

SCALE 1/4" = 1"



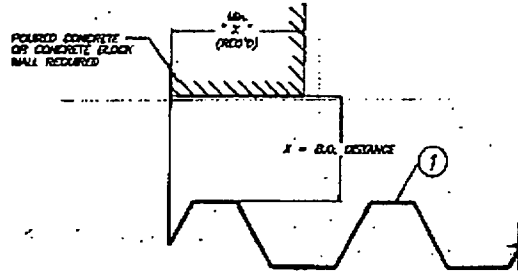
CASE C (Plan)

SCALE 1/4" = 1"



CASE D (Plan)

SCALE 1/4" = 1"



CASE E (Plan) \*

SCALE 1/4" = 1"

END CLOSURES DETAILS

\* ALL INSTALLATIONS PERFORMED WITH THIS CLOSURE DETAIL SHALL REDUCE PANEL (D) LENGTH BY 20% AT EVERY APPLICATION FROM VALLES SHOWN ON SCHEDULE ON THIS SHEET.

This Is Not A Master Drawing.  
Valid Only For One Time Permit.

<p>TILECO INC. TILET PERFORM &amp; ENGINEERING COMPANY 4901 W. 11th St., Ft. Lauderdale, FL 33309 Phone: 754-561-1111 Fax: 754-561-1111 E-mail: tileco@tileco.com WALTER A. TULLO, P. E. FLORIDA LIC. # 24117</p>	.040" SOLID/PERFORATED BERTHA ALUMINUM STORM PANEL	F.B.C. AS SHOWN SCALE												
	EASTERN METAL SUPPLY, INC 4280 WEST BOUND DRIVE PINEHURST, NC 28387	3/8" DIA 02-056 DRAWING NO.												
<table border="1"> <thead> <tr> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>CHKD. BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV. NO.	DESCRIPTION	DATE	BY	CHKD. BY	DATE	1						SHEET 9 OF 13	
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APR 29 2002



**MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) WITH CORRESPONDING MAXIMUM PANEL LENGTH "L" (Ft.) AND CORRESPONDING ANCHOR SPACING "S" (in.) SCHEDULE FOR INSTALLATIONS IN CONCRETE, CONCRETE BLOCK AND WOOD FRAME STRUCTURES \***

MINIMUM DESIGN PRESSURE RATING W (p.s.f.)	MAX. PANEL LENGTH L (Ft.) .040" ALUMINUM PANEL (1) (SOLID PANEL)				MAX. PANEL LENGTH L (Ft.) .040" ALUMINUM PANEL (2) (PERFORATED PANEL)					MAX. ANCHOR SPACING S (in.) PANELS (1), (2) & (3)			
	SECTIONS				SECTIONS								
	1	2	3	4	5	6	7	8	9		10	11	12
+25.0 -25.0	12'-0"	12'-0"	11'-9"	8'-6"	12'-0"	12'-0"	12'-0"	11'-9"	8'-6"	12'			
+25.0 -30.0	12'-0"	11'-5"	10'-9"	8'-6"	11'-5"	10'-11"	12'-0"	10'-0"	8'-4"	12'			
+30.0 -35.0	11'-1"	10'-6"	9'-11"	8'-6"	10'-6"	10'-2"	11'-1"	8'-11"	8'-6"	12'			
+35.0 -40.0	10'-5"	9'-10"	9'-4"	8'-6"	9'-10"	9'-5"	10'-5"	9'-4"	8'-6"	12'			
+40.0 -45.0	8'-10"	8'-4"	8'-9"	8'-6"	8'-4"	8'-11"	9'-10"	8'-9"	8'-6"	12'			
+45.0 -50.0	8'-4"	8'-10"	8'-4"	8'-6"	8'-10"	8'-6"	9'-4"	8'-4"	8'-6"	12'			
+50.0 -55.0	8'-10"	8'-5"	7'-11"	-	8'-5"	8'-1"	8'-10"	7'-11"	-	12'			
+55.0 -60.0	8'-6"	8'-1"	7'-7"	-	8'-1"	7'-9"	8'-6"	7'-7"	-	12'			
+60.0 -65.0	8'-0"	7'-9"	7'-4"	-	7'-9"	7'-5"	8'-0"	7'-4"	-	12'			
+65.0 -70.0	7'-5"	7'-5"	7'-0"	-	7'-5"	7'-2"	7'-5"	7'-0"	-	12'			
+70.0 -75.0	6'-11"	6'-11"	6'-9"	-	6'-11"	6'-11"	6'-11"	6'-9"	-	12'			
+75.0 -80.0	6'-8"	6'-8"	6'-6"	-	6'-8"	6'-8"	6'-8"	6'-6"	-	12'			
+80.0 -85.0	6'-1"	6'-1"	6'-1"	-	6'-1"	6'-1"	6'-1"	6'-1"	-	12'			
+85.0 -90.0	5'-9"	5'-9"	5'-9"	-	5'-9"	5'-9"	5'-9"	5'-9"	-	12'			
+90.0 -95.0	5'-6"	5'-6"	5'-6"	-	5'-6"	5'-6"	5'-6"	5'-6"	-	12'			
+95.0 -100.0	5'-2"	5'-2"	5'-2"	-	5'-2"	5'-2"	5'-2"	5'-2"	-	12'			
+100.0 -105.0	4'-11"	4'-11"	4'-11"	-	4'-11"	4'-11"	4'-11"	4'-11"	-	12'			
+105.0 -110.0	4'-9"	4'-9"	4'-9"	-	4'-9"	4'-9"	4'-9"	4'-9"	-	12'			
+110.0 -115.0	4'-6"	4'-6"	4'-6"	-	4'-6"	4'-6"	4'-6"	4'-6"	-	12'			
+115.0 -120.0	4'-4"	4'-4"	4'-4"	-	4'-4"	4'-4"	4'-4"	4'-4"	-	12'			
+120.0 -125.0	4'-3"	4'-3"	4'-3"	-	4'-3"	4'-3"	4'-3"	4'-3"	-	12'			
+125.0 -130.0	4'-0"	4'-0"	4'-0"	-	4'-0"	4'-0"	4'-0"	4'-0"	-	12'			

\* MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE FOR E. D. LESS THAN 3 1/2". REDUCE ANCHOR SPACING BY MULTIPLYING SPACING SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (NOTE: MIN. E. D. FOR CALK-IN ANCHORS IS 2 1/2"). FOR THIS OPERATION TO BE POSSIBLE, REDUCED SPACING OBTAINED USING FACTOR SHALL NOT BE LESS THAN MINIMUM SPACING INDICATED FOR EACH ANCHOR TYPE AT ANCHORS LEGEND.

ACTUAL E. D.	FACTOR	
	TAPCON/PANELMATES	CALK-IN
3"	.66	.79
2 1/2"	.71	.50
2"	.50	-

**ANCHORS LEGEND**

ANCHORS TYPE	ANCHOR MIN SPACING
TAPCON/PANELMATES	3.0"
CALK-IN	2.5"

\* SEE NOTES ON SHEETS U, THRU IS OF 15 FOR PANEL LENGTH LIMITATIONS FOR FLOOR/CEILING INSTALLATIONS INTO WOOD FRAME BUILDINGS.

**MANDATORY USE OF FLASHING COMPONENT (7) AT STORM PANEL (A) INSTALLATION:**

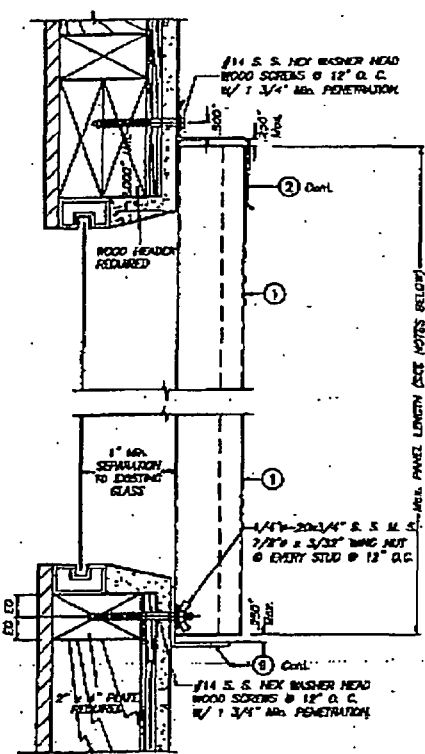
- PANELS INSTALLED DIRECT MOUNTED AT EACH END MUST BE INSTALLED WITH COMPONENT (7) AT EACH END, AS SHOWN ON APPLICABLE SECTIONS OF DRAWING IN ORDER FOR INSTALLATION TO BE VALID FOR EVERY APPLICABLE PANEL LENGTH. PANELS WHERE AT LEAST ONE END IS COVERED WITH COMPONENT (7) MAY BE INSTALLED AS LONG AS PANEL LENGTHS ARE EQUAL OR GREATER THAN 66".
- PANELS INSTALLED DIRECT MOUNTED AT ONE END BUT WITH TRACKS (2), (3), (4), (5), (6), (7), (8), (9), (10), (11) AT THE OTHER END, MAY BE INSTALLED WITHOUT FLASHING (7) AT THE DIRECT MOUNTED END, AS LONG AS PANEL LENGTH IS EQUAL OR GREATER THAN 66". IF FLASHING (7) IS INSTALLED AT DIRECT MOUNTED END, THEN ANY PANEL LENGTH WILL BE VALID AND APPLICABLE.
- PANELS INSTALLED WITH TRACKS (5), (6), (8) AND (9) AT ONE END, BUT WITH TRACKS (2), (3), (4), (7), (8), (9), (10), (11) AT THE OTHER END, MAY BE INSTALLED WITHOUT FLASHING (7) AT FIRST END, AS LONG AS PANEL LENGTH IS EQUAL OR GREATER THAN 66". IF FLASHING (7) IS INSTALLED AT FIRST END, THEN ANY PANEL LENGTH WILL BE VALID AND APPLICABLE.
- PANELS INSTALLED WITH TRACKS (2), (3), (4), (7), (8), (9) AND (10) AT EACH END WILL NOT NEED TO COVER ENDS WITH FLASHING COMPONENT (7), AND ALL PANEL LENGTHS WILL BE VALID AND APPLICABLE.
- PANELS INSTALLED WITH TRACKS (5), (6), (8) AND (9) AT EACH END, MUST COVER EACH END WITH FLASHING (7) FOR ALL PANELS LENGTHS TO BE VALID AND APPLICABLE. IF AT LEAST ONE END IS COVERED, THEN MINIMUM PANEL LENGTH TO BE INSTALLED SHALL BE 66".

**MANDATORY USE OF FLASHING COMPONENT (7) AT COMBINATION STORM PANEL (1) & (A) PAIR INSTALLATION:**

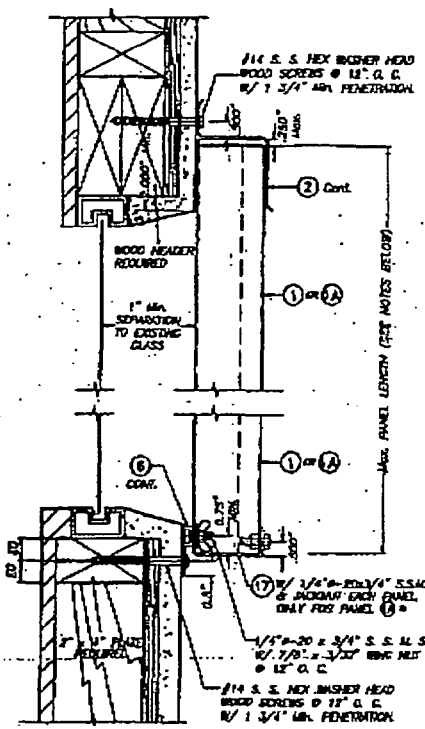
- PAIRS OF PANELS (1) + (A) INSTALLED DIRECT MOUNTED AT EACH END MUST BE INSTALLED WITH COMPONENT (7) AT ONE END, AS SHOWN ON APPLICABLE SECTIONS OF DRAWING IN ORDER FOR INSTALLATION TO BE VALID FOR EVERY APPLICABLE PANEL LENGTH. PANELS MAY BE INSTALLED W/BOTH ENDS OPEN ONLY IF PANEL LENGTHS ARE EQUAL OR GREATER THAN 56".
- PAIRS OF PANELS (1) + (A) INSTALLED WITH TRACKS (2), (3), (4), (7), (8), (9) AND (10) AT ONE END WILL NOT NEED TO COVER THE OTHER END WITH FLASHING COMPONENT (7), AND ALL PANEL LENGTHS WILL BE VALID AND APPLICABLE.
- PAIRS OF PANELS (1) + (A) INSTALLED WITH TRACKS (5), (6), (8) AND (9) AT ONE END, BUT WITH TRACKS (2), (3), (4), (7), (8), (9), (10), (11) AT THE OTHER END, WILL NOT NEED TO COVER ENDS WITH FLASHING COMPONENT (7), AND ALL PANEL LENGTHS WILL BE VALID AND APPLICABLE.
- PAIRS OF PANELS (1) + (A) INSTALLED WITH TRACKS (5), (6), (8) AND (9) AT EACH END, MUST BE INSTALLED ADDITIONALLY WITH FLASHING COMPONENT (7) AT ONE END, AS SHOWN ON APPLICABLE SECTIONS OF DRAWING IN ORDER FOR INSTALLATION TO BE VALID FOR EVERY APPLICABLE PANEL LENGTH. PANELS MAY BE INSTALLED W/ TRACKS (5), (6), (8) AND (9) AT BOTH ENDS & W/OUT FLASHING COMPONENT (7) ONLY IF PANEL LENGTHS ARE EQUAL OR GREATER THAN 56".

This is Not A Master Drawing.  
Valid Only For One Time Permit.

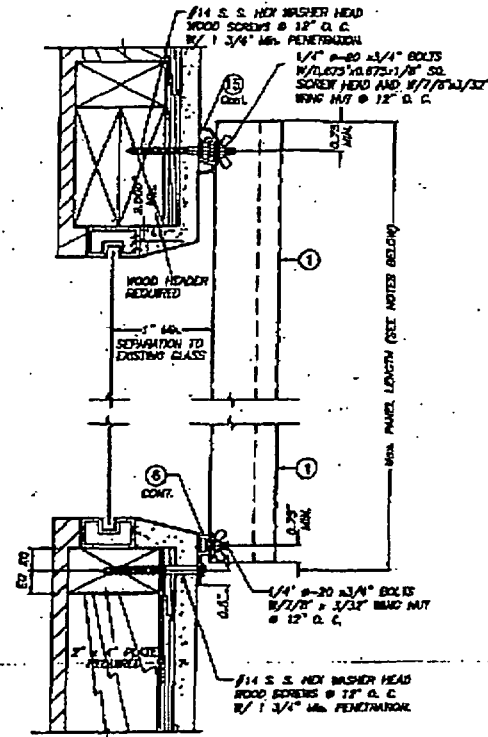
<p>TILECO INC. TILECO PERFORMING &amp; ENGINEERING COMPANY 1000 N.W. 20th St., Ft. Lauderdale, FL 33309 Phone: (561) 522-1122, Fax: (561) 522-1121 EPC-000776 MILITARY &amp; TERRY ST. P.O. BOX FLORENCE, FL 32437</p>	.040" SOLID/PERFORATED BERTHA ALUMINUM STORM PANEL		AS SHOWN SCALE
	EASTERN METAL SUPPLY, INC 4545 WEST ROADS DRIVE TOWN BLDG. FL 32407		J/S/DT DATE <b>02-056</b> DRAWING IN
REV. NO.	DESCRIPTION	DATE	BY
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**WALL MOUNTING INSTALLATION ALTERNATIVE 1**  
SCALE: 1/4" = 1"



**WALL MOUNTING INSTALLATION ALTERNATIVE 2**  
SCALE: 1/4" = 1"



**WALL MOUNTING INSTALLATION ALTERNATIVE 3**  
SCALE: 1/4" = 1"

**NOTE FOR COMBINATION OF SECTIONS:**  
WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:**
- INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS AND MAX. PANEL LENGTHS AS PER SCHEDULES SHOWN ON SHEET 10 OF 15 EXCEPT THAT PANEL'S LENGTHS FOR FLOOR/CEILING INSTALLATIONS SHALL BE LIMITED TO 109"
  - FOR WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, 16/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

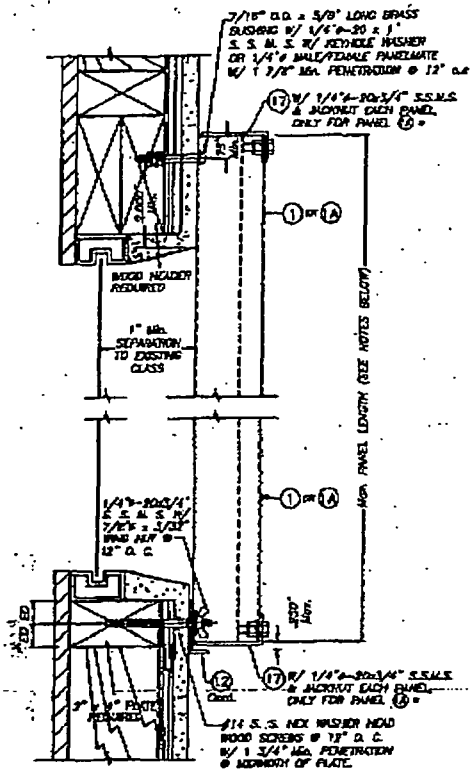
**INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS**

SEE SHEET 10 OF 15 FOR CONDITIONS REQUIRING INSTALLATION OF FLASHING (1) ONLY APPLICABLE TO PANEL (2), IN ORDER TO MAINTAIN NON POROUS CONDITION FOR PANEL.

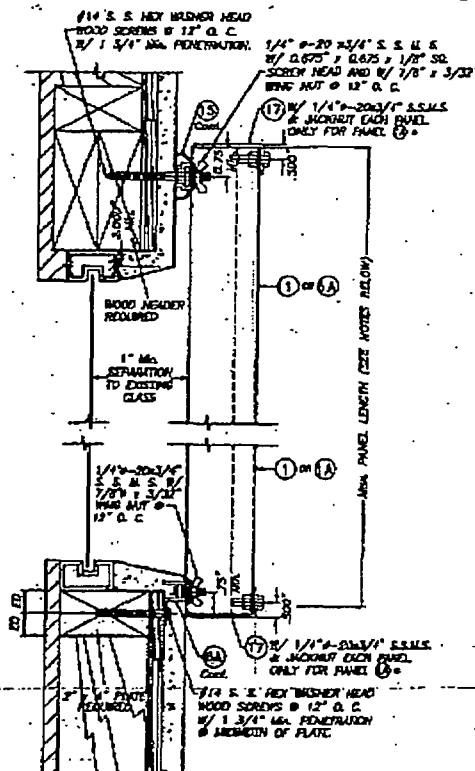
This Is Not A Master Drawing.  
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<p>TILECO INC. TILECO TESTING &amp; ENGINEERING COMPANY 1000 N.W. 10th St., Ft. Lauderdale, FL 33309 Phone: (561) 533-1111, Fax: (561) 533-1111 E-MAIL: tileco@tileco.com</p>	<p>.040" SOLID/PERFORATED BERTHA ALUMINUM STORM PANEL.</p>	F.B.C.
	<p>EASTERN METAL SUPPLY, INC. 4380 WEST ROAD DRIVE MINOR CANON, FL 32047</p>	<p>AS SHOWN SCALE 3/4" = 1" SHEET</p>
<p>02-056</p>		<p>02-056 SHEET 11 OF 15</p>

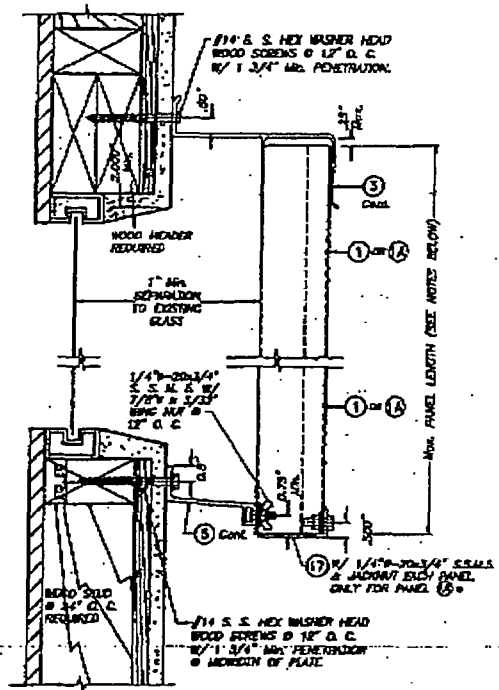
APR 29 2002



**WALL MOUNTING INSTALLATION  
ALTERNATIVE 4** SCALE: 1/4" = 1"



**WALL MOUNTING INSTALLATION  
ALTERNATIVE 5** SCALE: 1/4" = 1"



**BUILD OUT INSTALLATION  
ALTERNATIVE 6** SCALE: 1/4" = 1"

**INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS**

**NOTE FOR COMBINATION OF SECTIONS:**  
WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

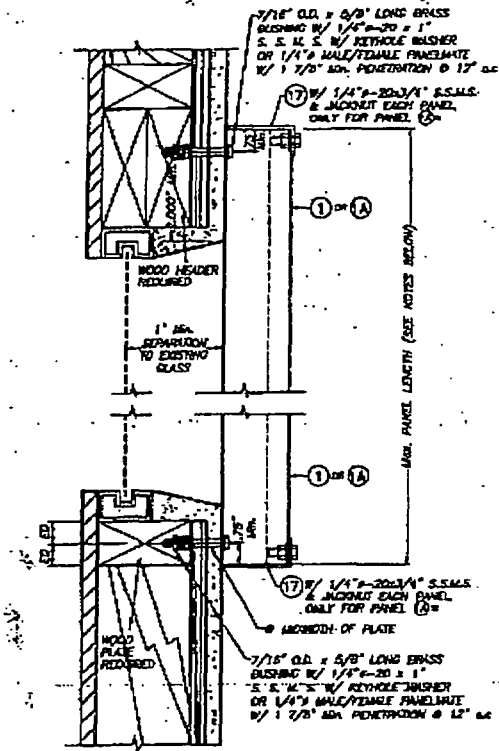
SEE SHEET 10 OF 15 FOR CONDITIONS REQUIRING INSTALLATION OF FLASHING (5) ONLY APPLICABLE TO PANEL (6). IN ORDER TO MAINTAIN NON POROUS CONDITION FOR PANEL.

- NOTES**
- INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS AND MAX. PANEL LENGTH AS PER SCHEDULES SHOWN ON SHEET 10 OF 15 EXCEPT THAT PANEL'S LENGTHS FOR FLOOR/CEILING INSTALLATIONS SHALL BE LIMITED TO 100"
  - FOR WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.53 OR EQUAL.

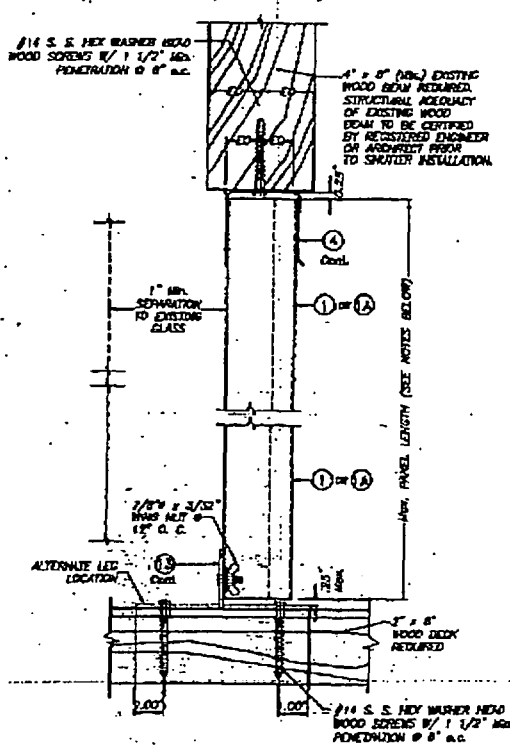
This is Not A Master Drawing,  
Valid Only For One Time Permit.

<p>TILECO INC. TILECO TESTING &amp; ENGINEERING COMPANY 4800 E.R. 20th St., P.O. Box 973, Miramar, Florida, FL 32550 Phone: 1-800-977-1467 Fax: 1-904-297-1467 20-0007719 WALTER A. KELLY, P. E. FLORIDA, U.S.A. # 44187</p>	.040" SOLID/PERFORATED BERTHA ALUMINUM STORM PANEL	AS SHOWN SCALE
	EASTERN METAL SUPPLY, INC 4396 WEST BOYD DRIVE MIRAMAR BEACH, FL 33402	3/8" x 3/8" x 1/2"
		SHEET 12 OF 15

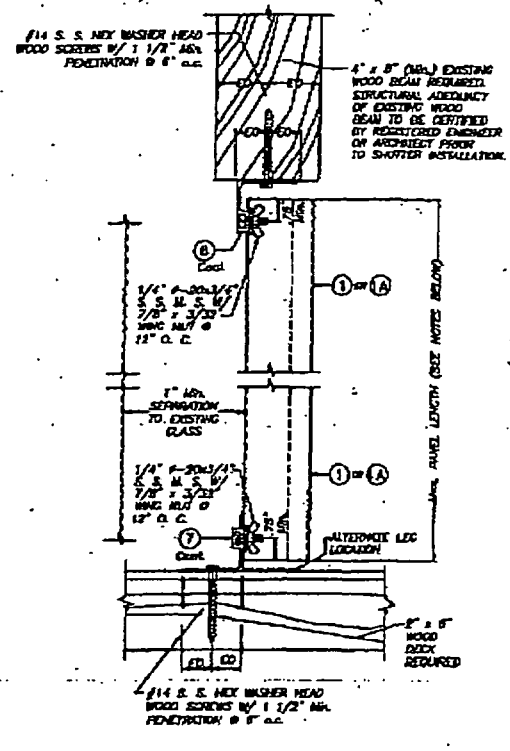
APR 8 9 2002



**WALL MOUNTING INSTALLATION (D. M.)**  
**ALTERNATIVE 7** SCALE: 1/4" = 1"



**CEILING & FLOOR MOUNTING INSTALLATION**  
**ALTERNATIVE 8** SCALE: 1/4" = 1"



**CEILING & FLOOR MOUNTING INSTALLATION**  
**ALTERNATIVE 9** SCALE: 1/4" = 1"

**INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS**

**NOTE FOR COMBINATION OF SECTIONS:**  
 WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

SEE SHEET 10 OF 15 FOR CONDITIONS REQUIRING INSTALLATION OF FLASHING (C) ONLY APPLICABLE TO PANEL (A). IN ORDER TO MAINTAIN HIGH POROSITY CONDITION FOR PANEL.

- NOTES:**
- INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS AND Max. PANEL LENGTH AS PER SCHEDULES SHOWN ON SHEET 10 OF 15 EXCEPT THAT PANEL'S LENGTHS FOR FLOOR/CEILING INSTALLATIONS SHALL BE LIMITED TO 100'
  - FOR WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

This is Not A Master Drawing.  
 Valid Only For One Time Permit.

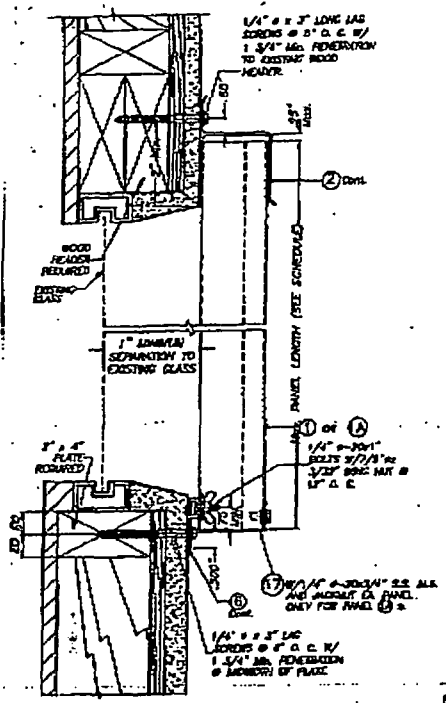
**TILECO INC.**  
 TILT TESTING & ENGINEERING COMPANY  
 2000 AVE. SW, SU. 212, MIAMI BEACH, FL 33134  
 (305) 431-1100 FAX: (305) 431-1101  
 (305) 431-1102  
 BRUNER A. TILIT, S. P. E.  
 LICENSE NO. 24107

**EASTERN METAL SUPPLY, INC.**  
 4200 WEST HOOKS DRIVE  
 FORTA BOUND, FL 32047

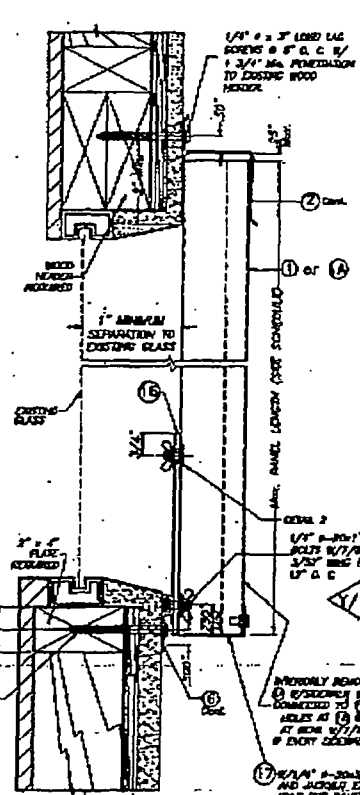
F.B.C.

.040" SOLID/PERFORATED BERTHA ALUMINUM STORM PANEL	AS SHOWN SCALE
DATE	3/6/02
DRAWING NO.	02-056
SHEET 13 OF 18	

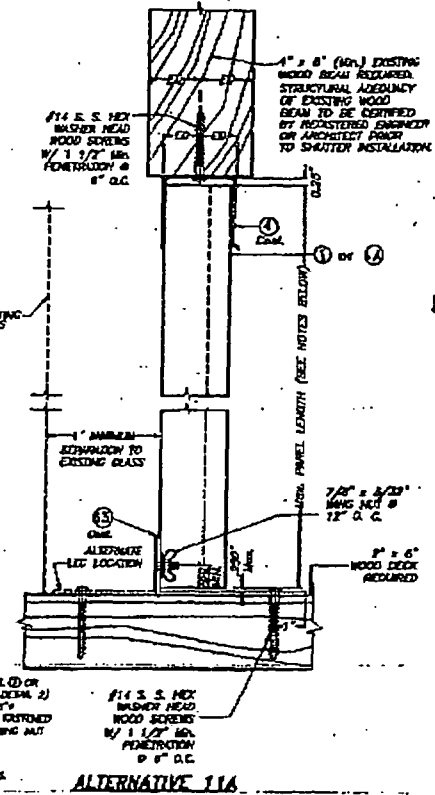
APR 29 2002



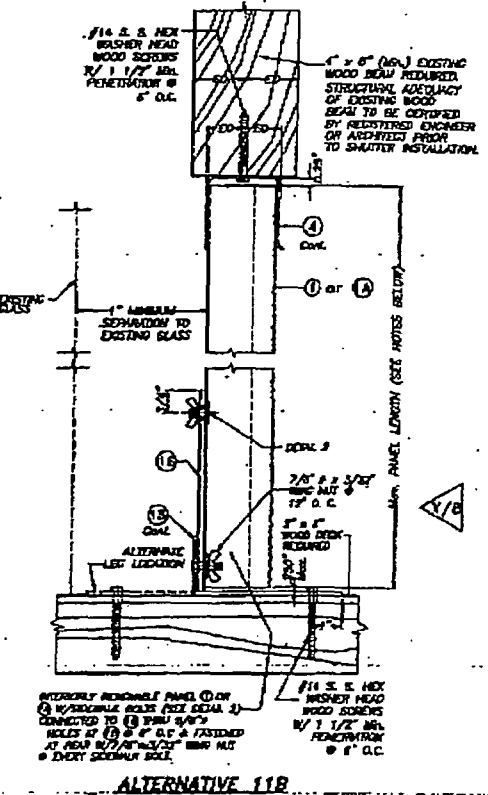
**ALTERNATIVE 10A**  
**WALL MOUNTING INSTALLATIONS**  
**SECTIONS 10**  
 SCALE: 1/4" = 1'



**ALTERNATIVE 10B**  
 SCALE: 1/4" = 1'



**ALTERNATIVE 11A**  
 SCALE: 1/4" = 1'



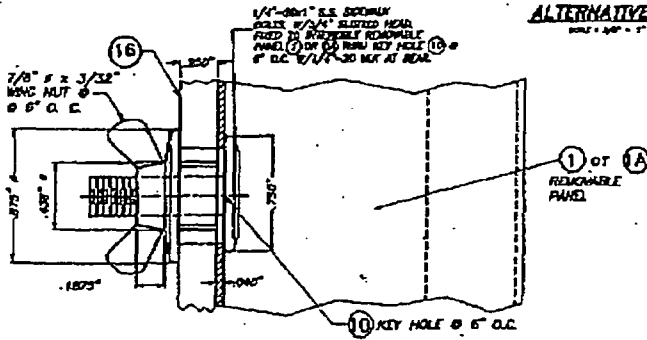
**ALTERNATIVE 11B**  
 SCALE: 1/4" = 1'

**INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS**  
**VALID FOR PANELS (1) OR (A) USED JOINTLY**  
**WITH INTERIORLY REMOVABLE PANELS (1) OR (A)**

- NOTES**
- INSTALLATIONS ARE ONLY VALID FOR DESIGN AND LOADS AND MAX. PANEL LENGTH AS PER SCHEDULES SHOWN ON SHEET 10 OF 15 EXCEPT THAT PANEL'S LENGTHS FOR FLOOR/CEILING INSTALLATIONS SHALL BE LIMITED TO 110".
  - FOR NEW WOOD FRAME CONSTRUCTION WOOD MEMBERS TO BE SOUTHERN PINE NO. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

SEE SHEET 10 OF 15 FOR CONDITIONS REQUIRING INSTALLATION OF FLASHING (17) ONLY APPLICABLE TO PANEL (A) IN ORDER TO MAINTAIN HIGH POROUS CONDITION FOR PANEL.

**NOTE FOR COMBINATION OF SECTIONS:**  
 WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



**DETAIL 2 - INSTALLATION OF 1/4"x1" SIDEWALK BOLTS @ REMOVABLE PANEL**

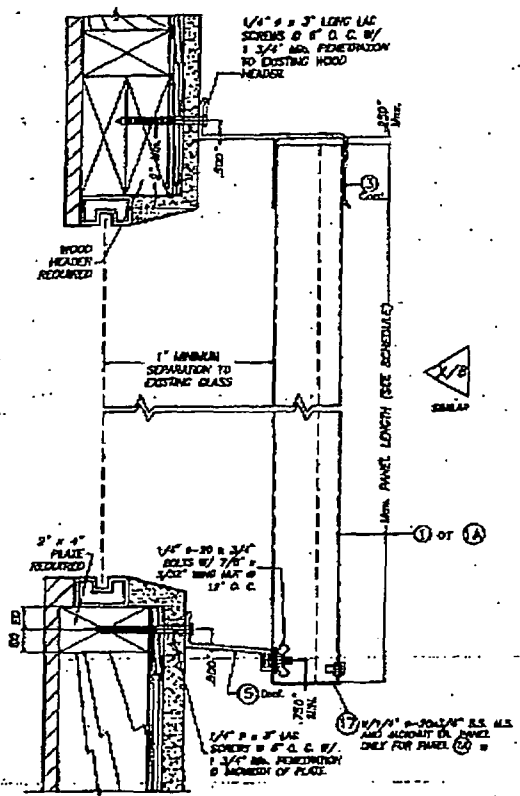
**CEILING & FLOOR MOUNTING INSTALLATIONS**  
**SECTIONS 11**  
 SCALE: 1/4" = 1'

**This Is Not A Master Drawing.**  
**Valid Only For One Time Permit.**

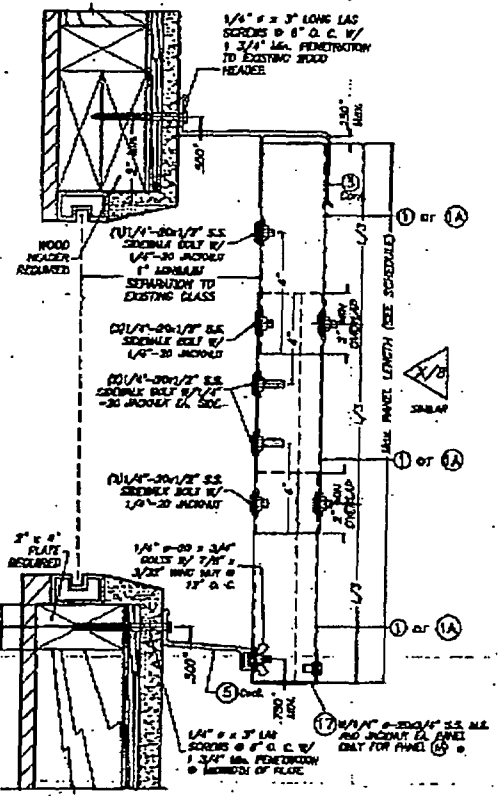


.040" SOLID/PERFORATED BERTHA ALUMINUM STORM PANEL		F.B.C.
EASTERN METAL SUPPLY, INC 4801 WEST BOND DRIVE PALM BEACH, FL 33407		AS SHOWN SCALE
REV. NO. DESCRIPTION DATE BY CHK. JOINTING		3/2/02 GHT
02-056		02-056
SHEET 14 OF 15		

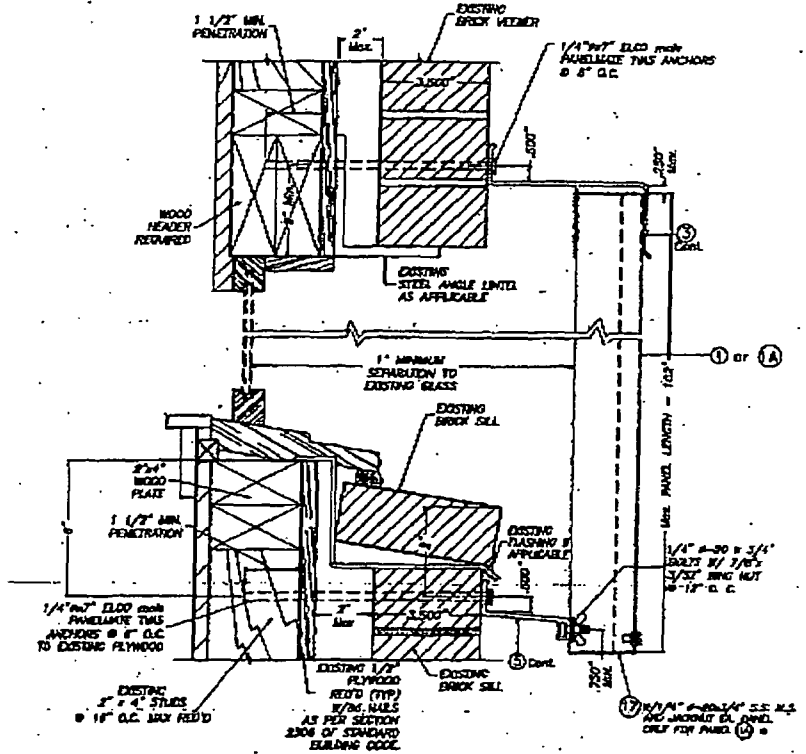
ADD 9 9 7100



ALTERNATIVE 1.3A



ALTERNATIVE 1.3B



ALTERNATIVE 1.4  
BUILD-OUT INSTALLATION  
SCALE: 1/8" = 1"

WALL MOUNTING INSTALLATIONS  
SCALE: 1/8" = 1"

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS  
VALID FOR PANELS 1 OR (A) USED JOINTLY  
WITH INTERIORLY REMOVABLE PANELS (1) OR (A)

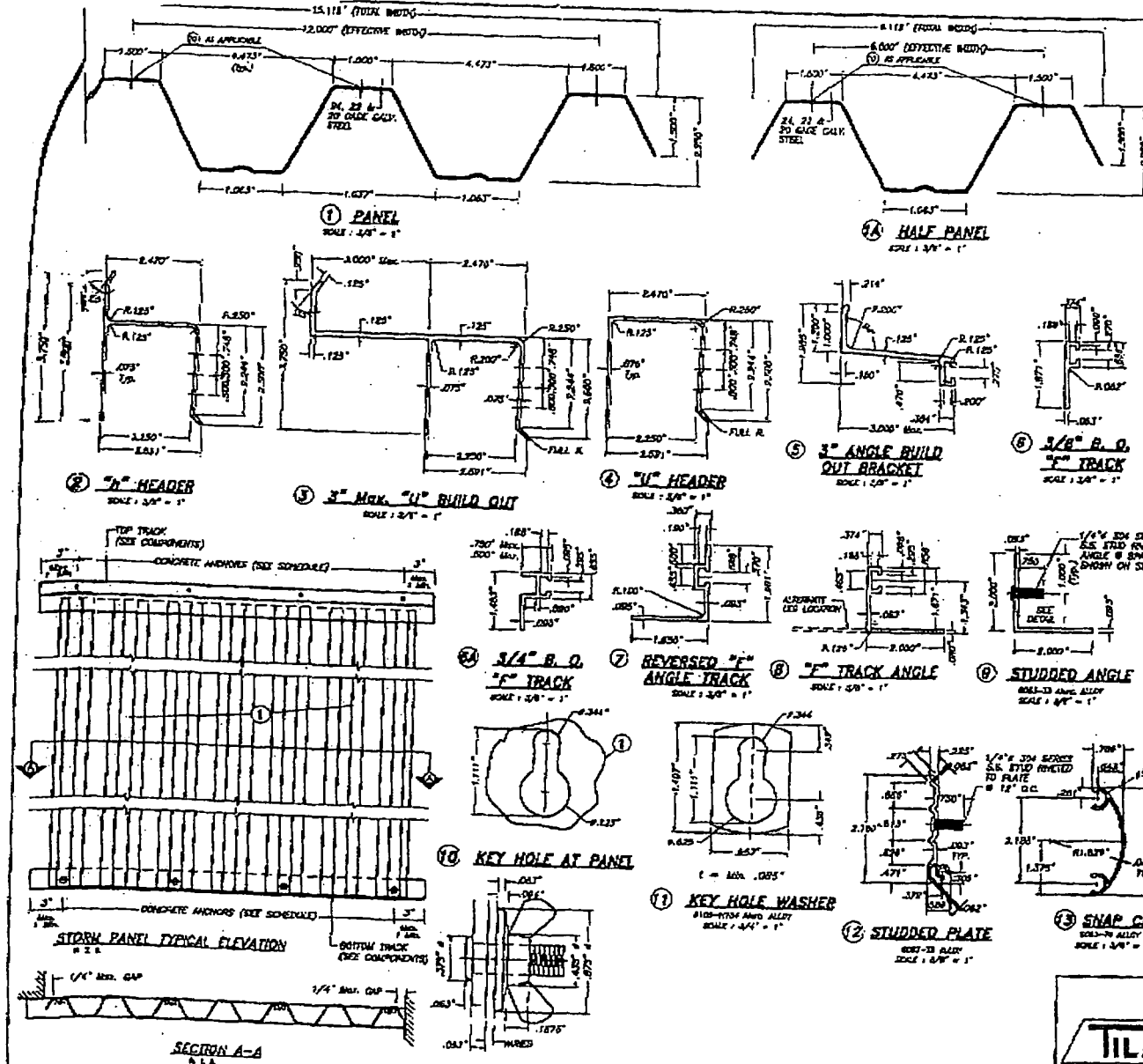
SEE SHEET 10 OF 15 FOR CONDITIONS REQUIRING INSTALLATION OF FLASHING (2) ONLY APPLICABLE TO PANEL (A) IN ORDER TO MAINTAIN NON POROUS CONDITION FOR PANEL

NOTE FOR COMBINATION OF SECTIONS:  
WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:
1. INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS AND MIN. PANEL LENGTH AS PER SCHEDULES SHOWN ON SHEET 10 OF 15 EXCEPT THAT PANEL'S LENGTHS FOR FLOOR/CEILING INSTALLATIONS SHALL BE LIMITED TO 100"
  2. FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

This Is Not A Master Drawing.  
Valid Only For One Time Permit.

<p>TILECO INC. TILE TESTING &amp; ENGINEERING COMPANY 1000 W. 10th St., Box 372, Indian Springs, FL 32130 Phone: 1-813-977-0525 Fax: 1-813-977-0525 FD-000719 WALLEN &amp; TRAFFER, P. E. FLORIDA LIC. # 24127</p>		<p>F.B.C.</p> <p>.040" SOLID/PERFORATED BERTHA ALUMINUM STORM PANEL</p> <p>EASTERN METAL SUPPLY, INC 6208 WEST BOUND CIRCLE ORLANDO, FL 32837</p>		<p>AS SHOWN SCALE</p> <p>3/8/00 DATE</p> <p>02-056 DRAWING NO.</p> <p>SHEET 15 OF 15</p>	
REV. NO.	DESCRIPTION	DATE	BY	CHECKED	DATE
1					
2					



**GENERAL NOTES**

- STORM PANEL SHOWN ON THIS PRODUCT DOCUMENT (P.D.) HAS BEEN VERIFIED FOR COMPLIANCE IN ACCORDANCE WITH THE 2001 EDITION OF THE FLORIDA BUILDING CODE. DESIGN LOADS SHALL BE DETERMINED AS PER SECTION 1.6.3 OF THE ABOVE MENTIONED CODE. FOR A BASIC WIND SPEED AS REQUIRED BY THE JURISDICTION WHERE STORM PANEL WILL BE INSTALLED, AND FOR A BARRICADED FACED PANEL, BY ACCORDANCE WITH SECTION 1.6.3.6. STRUCTURAL QUALITY SHALL BE VERIFIED IN ACCORDANCE WITH SECTION 1.6.3.6.1 OF THE ABOVE MENTIONED CODE AS PER A.C. REPORTS # ST142-88A, # ST142-88B AND # ST142-88C AS PER SECTION 1.6.3.6.2 STANDARD.
- ALL STEEL SHEET METAL PANELS SHALL MEET STRUCTURAL QUALITY ASTM A-424 GRADE 43, WITH G-60 GALVANIZED STEEL DESIGNATION.
- ALL ALUMINUM COMPONENTS SHALL BE ALUMINUM ASSOCIATION 6063-T5 ALLOY & TENSILE YIELD STRENGTH 35,000 PSI.
- ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 AND SERIES OR CORROSION RESISTANT GARDEN EDGE AS PER OR 30011 R/ 20 OR TIED POINT AND SO BE TIGER BRAND.
- BOULTS TO BE ALUMINUM ASSOCIATION 6063-T5 ALLOY & TENSILE ASTM A-307 GALVANIZED STEEL OR AISI 304 STAINLESS STEEL WITH OR AN ALUMINUM WELD PLATE.
- ANCHORS TO BOLT SHALL BE AS FOLLOWS (UNLESS OTHERWISE NOTED)
  - (A) TO EXISTING CONCRETE
    - 1/2" Ø 3048 ANCHORS AS MANUFACTURED BY LEE, BULLOCK
    - 1/2" Ø OF 28-GMP ANCHORS (PERMANENT EPOXY) AS MANUFACTURED BY FRII-FAST CORPORATION
    - 1/2" Ø 3048 MAIN ANCHORS AS MANUFACTURED BY POWER FASTENINGS, INC.
    - 1/2" Ø 1/2" Ø 3048 ANCHORS OF EPOXY RESIN & SAND "WHELMANT" ANCHORS AS MANUFACTURED BY POWER FASTENINGS, INC. AND ALSO EXTRA, RESPECTIVELY.
    - 1/2" Ø RED HEAD DOWEL BOLT ANCHORS AS MANUFACTURED BY LEE, BULLOCK.
  - (B) TO EXISTING CONCRETE BLOCK WALL
    - 1/2" Ø 3048 ANCHORS AS MANUFACTURED BY LEE, BULLOCK
    - 1/2" Ø OF 28-GMP ANCHORS (PERMANENT EPOXY) AS MANUFACTURED BY FRII-FAST CORPORATION
    - 1/2" Ø 3048 MAIN ANCHORS AS MANUFACTURED BY POWER FASTENINGS, INC.
    - 1/2" Ø 1/2" Ø 3048 ANCHORS OF EPOXY RESIN & SAND "WHELMANT" ANCHORS AS MANUFACTURED BY POWER FASTENINGS, INC. AND ALSO EXTRA, RESPECTIVELY.
    - 1/2" Ø RED HEAD DOWEL BOLT ANCHORS AS MANUFACTURED BY LEE, BULLOCK.

**NOTES:**

- ALUMINUM ENCASEMENT INTO REINFORCED CONCRETE OF STORM ANCHORS IS 1/2" FOR 3048 MAIN ANCHORS IS 1/2" FOR EPOXY ANCHORS IS 1/2" FOR RED HEAD DOWEL BOLT ANCHORS IS 1/2"
- 1/2" Ø 3048 ANCHORS SHALL BE FULLY EMBEDDED INTO THE REINFORCED CONCRETE - NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/2" Ø 3048 ANCHORS SHALL BE 1/2" LONG ALUMINUM ENCASED STUCCO EXIST, AND 1" MINIMUM FOR BOLTS WITH NO STUCCO.
- IN CASE THAT PRECAST STUCCO OR PRECAST CONCRETE PANELS BE FOUND ON THE EXISTING WALL, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS, ENCASEMENT SHALL BE AS SPECIFIED ON NOTES A.1) & A.2) ABOVE.
- TO EXISTING CONCRETE BLOCK WALL
  - 1/2" Ø 3048 ANCHORS AS MANUFACTURED BY LEE, BULLOCK
  - 1/2" Ø OF 28-GMP ANCHORS (PERMANENT EPOXY) AS MANUFACTURED BY FRII-FAST CORPORATION
  - 1/2" Ø 3048 MAIN ANCHORS AS MANUFACTURED BY POWER FASTENINGS, INC.
  - 1/2" Ø 1/2" Ø 3048 ANCHORS OF EPOXY RESIN & SAND "WHELMANT" ANCHORS AS MANUFACTURED BY POWER FASTENINGS, INC. AND ALSO EXTRA, RESPECTIVELY.
  - 1/2" Ø RED HEAD DOWEL BOLT ANCHORS AS MANUFACTURED BY LEE, BULLOCK.

**NOTES:**

- MINIMUM ENCASEMENT OF STORM ELDS ANCHORS AND OF 28-GMP ANCHORS INTO CONCRETE BLOCK WALL SHALL BE 1/2" (A.1) 1/2" FOR 3048 MAIN ANCHORS AND 1/2" FOR RED HEAD DOWEL BOLT ANCHORS
- 1/2" Ø 3048 ANCHORS SHALL BE FULLY EMBEDDED INTO THE CONCRETE BLOCK WALL - NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/2" Ø 3048 ANCHORS SHALL BE 1/2" LONG ALUMINUM ENCASED STUCCO EXIST, AND 1" MINIMUM FOR BOLTS WITH NO STUCCO.
- ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHORS MANUFACTURER.

3. PANELS MAY ALSO BE ASSEMBLED IN ACCORDANCE WITH THE FOLLOWING INSTALLATION DETAILS SHOWN ON EDITIONS 1, 2 AND 3 (SEE 2 & 3 OF 8) EXCEPT THAT HEADERS A, B & C SHALL NOT BE USED.

4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE FASTENERS IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE. END FASTENERS SHALL ONLY BE ATTACHED TO CONCRETE BLOCK OF WOOD FRAME BUILDINGS.

5. THE INSTALLATION CONTRACTOR IS TO SOLELY/COMPLETELY ALL FASTENER COMPONENTS (NUTS, WASHERS, BOLTS, SCREWS) CONTACT WITH THE BUILDING TO PREVENT IMPROPER ANCHORAGE. GALVAN AND SEAL FASTENERS TRACES ALL REQUIRED FULL LENGTH.

6. STORM PANEL INSTALLATION SHALL COMPLY WITH SPICES SPECIFIED IN THE DRAWING PLUS ANY BUILDING AND STORM REGULATIONS PROVIDED BY THE JURISDICTION WHERE PERMIT IS APPLIED TO.

7. (A) THIS P.D. PREPARED BY THE DESIGNER OF RECORD AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PERMIT. IN WHERE THE SITE CONSTRUCTION DEVIATE FROM THE P.D.A.

8. CONTRACTOR TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION FOLLOWING LIFE SAFETY OF THE PRODUCT, BASED ON THE P.D. PROVIDED HEREIN. CONTRACTOR NOT BE RESPONSIBLE FOR THE CONSTRUCTION DEVIATE FROM THE DOCUMENT. CONSTRUCTION SAFETY AT SITE IS THE CONTRACTOR'S RESPONSIBILITY.

9. THIS P.D. SHALL BE CONSIDERED VALID IF ALTERED BY ANY MEANS.

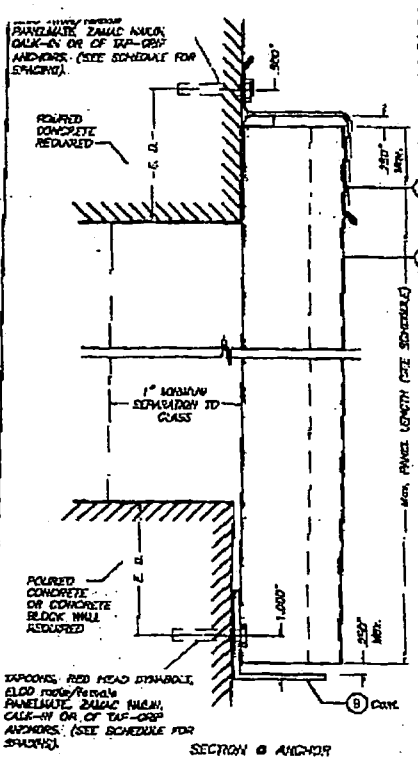
10. ALL SPECIFIC PROVISIONS SHALL BE PROVIDED BY THE DESIGNER OF RECORD OR ARCHITECT WHICH SHALL BECOME THE DESIGNER OF RECORD (DOR) FOR THE PROJECT AND WHO SHALL BE RESPONSIBLE FOR THE PROPER USE OF THE P.D. ENGINEER OF RECORD, EITHER AS A LICENSED ENGINEER TO THE P.D. ENGINEER, SHALL BE RESPONSIBLE TO THE LATTER THE SITE SPECIFIC PROVISIONS FOR REVIEW.

11. THIS P.D. SHALL BEAR THE DATE AND DESIGNER'S SIGN AND SIGNATURE OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT.

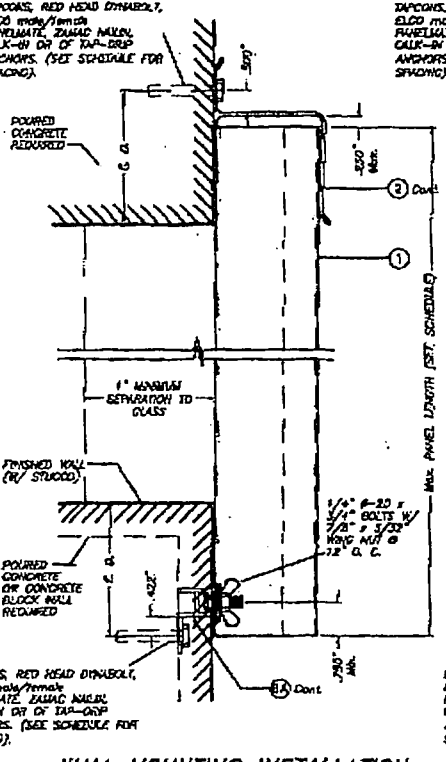
F.B.C.(R.H.M.V.Z.)

<p>TILTECO INC. TILLY TESTING &amp; ENGINEERING COMPANY 600 S.W. 3RD ST., 3RD FLOOR, MIAMI, FL 33134 Phone: (305) 771-1100 Fax: (305) 771-1151 E-mail: TILTECO@TILTECO.COM BOLTER &amp; TILLY JR., P. E. FLORIDA LICENSE # 44167</p>		24 GAUGE GALVANIZED STEEL STORM PANEL	AS SHOWN SCALE			
		<p>EASTERN METAL SUPPLY, INC 4154 WEST ROADS DRIVE BONITA SPRING, FL 33407</p>		3/4/02 DATE		
REV. NO.	REVISION	DATE	BY	DATE	CHK	DRWING NO.
1	REV. WIND & SEWER	4/12/02	J			02-055
2	REV. OF	12/14/02	J			02-055

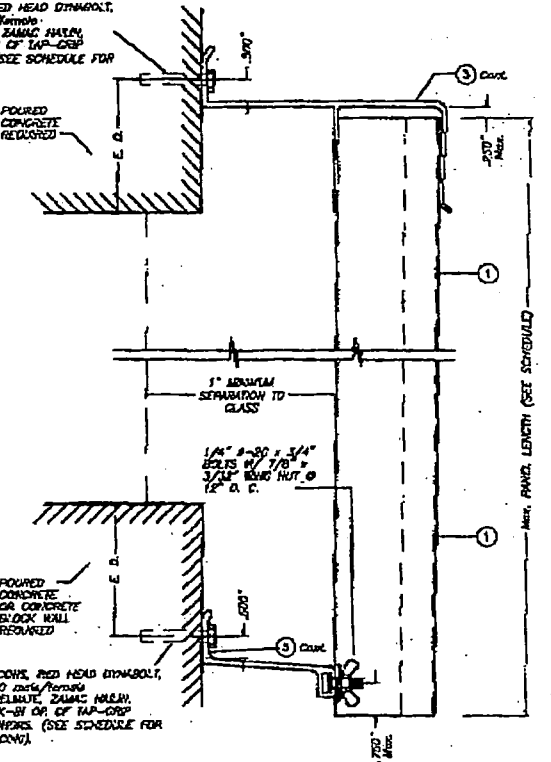
DETAIL 1: STUD W/ DIE CAST ZINC PLATED WIND NUT



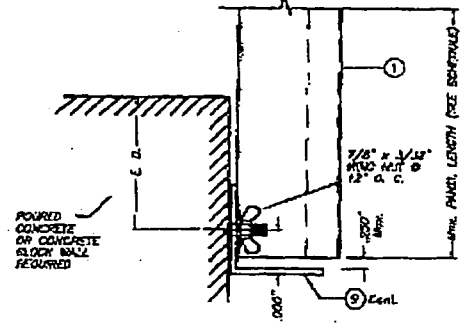
**WALL MOUNTING INSTALLATION SECTION 2**  
SCALE: 3/8" = 1"



**WALL MOUNTING INSTALLATION SECTION 3**  
SCALE: 3/8" = 1"



**BUILD OUT INSTALLATION SECTION 4**  
SCALE: 3/8" = 1"



**WALL MOUNTING INSTALLATION SECTION 1**  
SCALE: 3/8" = 1"

NOTE: DETAILS OF SECTION 1 STUD WOULD ALSO APPLY TO WALL MOUNTING INSTALLATION - SECTION 2 (TOP)

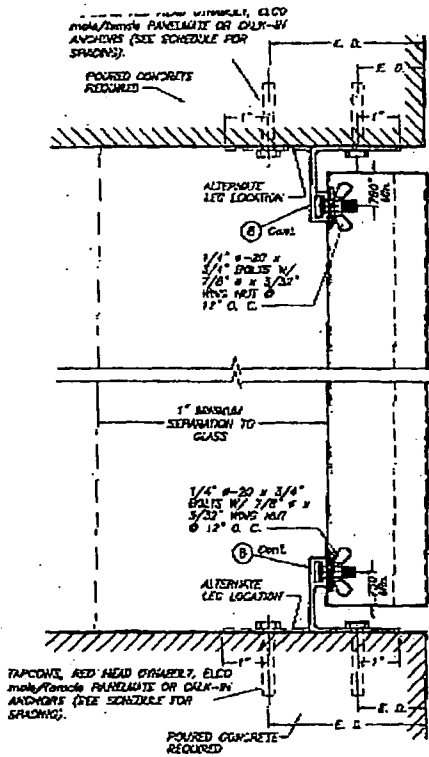
E. D. = EDGE DISTANCE (SEE SCHEDULE ON SHEETS 5 & 6 OF 8)

NOTE FOR COMBINATION OF SECTIONS:  
WALL/FLOOR/CEILING MOUNTING SECTIONS MAY BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

**TILECO INC.**  
TULLY TESTING & ENGINEERING COMPANY  
4001 W. 10th St., Ft. Lauderdale, FL 33309  
Phone: (305) 557-1100 - Fax: (305) 557-1101  
EO-12812  
WALTER TULLY, P.E.  
FLORIDA LIC. # 44187

24 GAGE GALVANIZED STEEL STORM PANEL		F.B.C.(N.H.V.N.Z.)
EASTERN METAL SUPPLY, INC		AS SHOWN SCALE
4800 WEST ROADS DRIVE INVERNA BEACH, FL 33467		3/4/03 DATE
		02-055 DRAWING NO
REV. NO.	DESCRIPTION	SHEET NO. OF 8
1		
2		
3		
4		
5		
6		
7		
8		



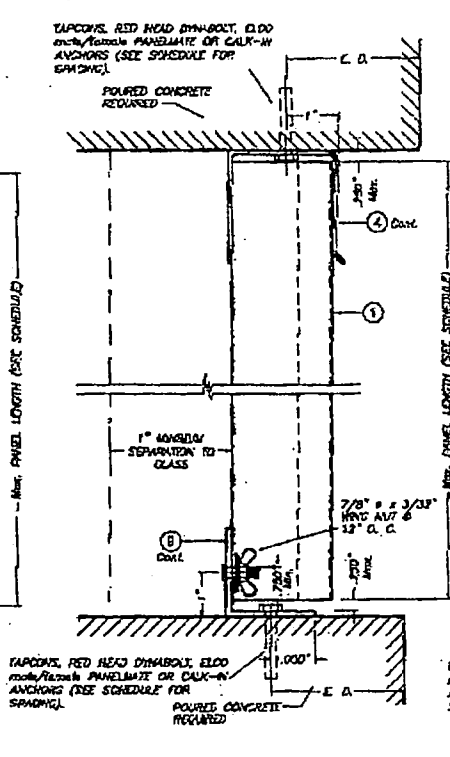


**CEILING & FLOOR MOUNTING  
INSTALLATION - SECTION 5**

SCALE: 3/8" = 1"

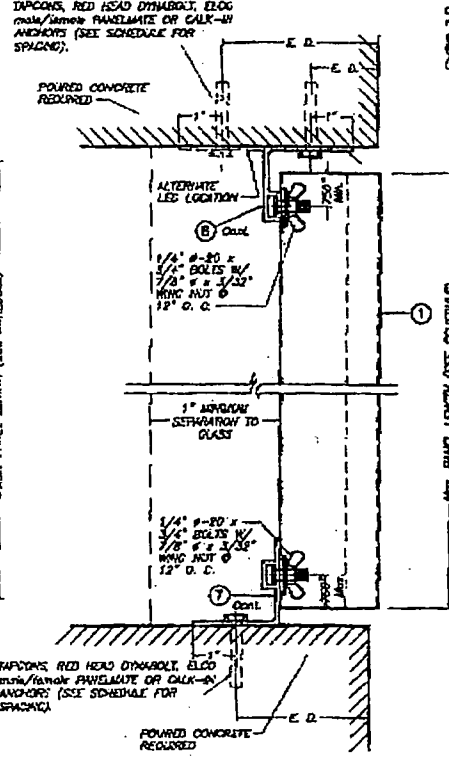
E. D. = EDGE DISTANCE  
(SEE SCHEDULE ON  
SHEET 5 & 6 OF 6)

NOTE FOR COMBINATION OF SECTIONS:  
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE  
COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



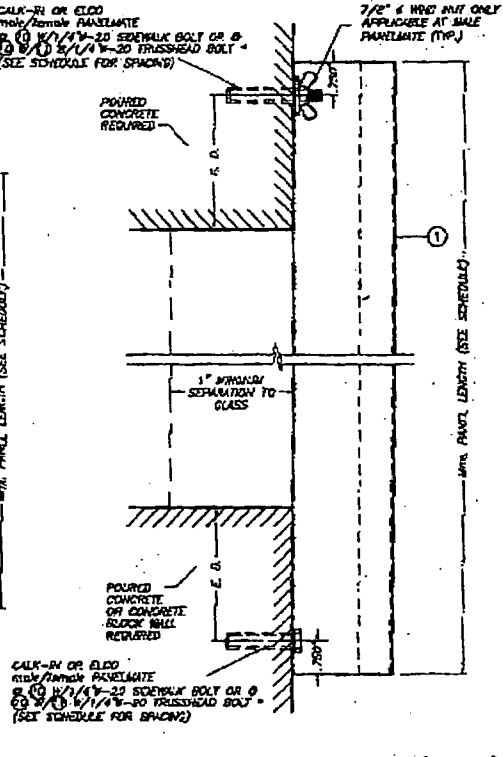
**CEILING & FLOOR MOUNTING  
INSTALLATION - SECTION 6**

SCALE: 3/8" = 1"



**CEILING & FLOOR MOUNTING  
INSTALLATION - SECTION 7**

SCALE: 3/8" = 1"



**WALL MOUNTING INSTALLATION (D. M.)  
- SECTION 8**

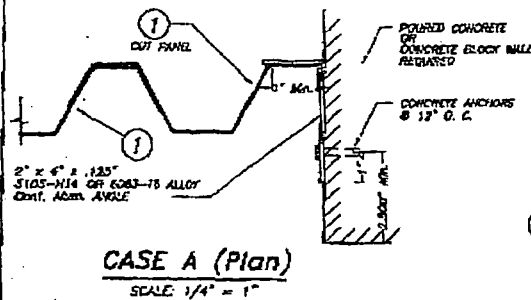
SCALE: 3/8" = 1"

EDGE WALL BOLTS ARE 3/4\"/>

**TILECO INC.**  
TILE TESTING & ENGINEERING COMPANY  
400 N. W. 2nd St. P.O. Box 10000, Ft. Lauderdale, FL 33309  
Phone: (305) 457-1100, Fax: (305) 457-1101  
EPC-0008710  
WALTER A. TILLY, P. E.  
FLORIDA Lic. # 44187

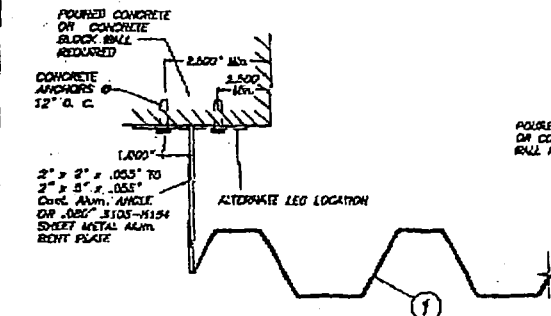
24 GAGE GALVANIZED STEEL STORM PANEL						AS SHOWN SCALE
EASTERN METAL SUPPLY, INC						3/4\"/>
4500 WEST PALMS DRIVE RYDA GARDEN, FL 33407						02-055
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE	DRAWN BY
1			2			
2			2			
						SHEET 3 OF 8

F.B.C.(N.H.V.H.Z.)



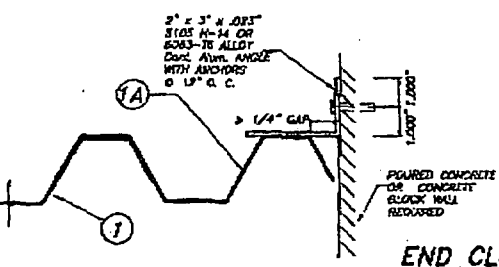
**CASE A (Plan)**

SCALE: 1/4" = 1"



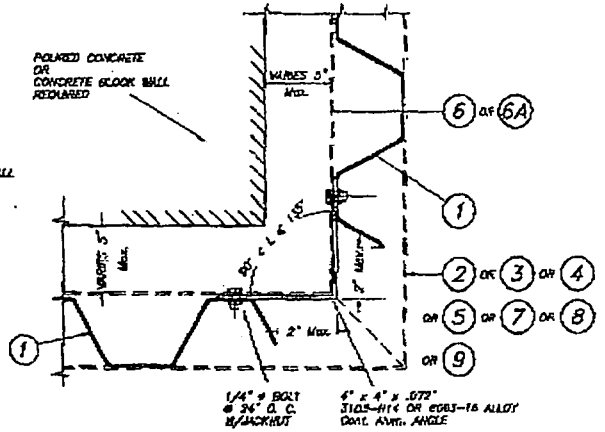
**CASE C (Plan)**

SCALE: 1/4" = 1"



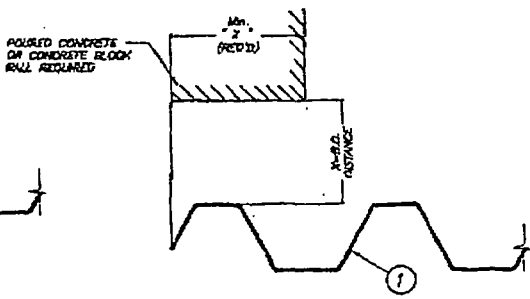
**CASE D (Plan)**

SCALE: 1/4" = 1"



**CASE B (Plan)**

SCALE: 1/4" = 1"



**CASE E (Plan) \***

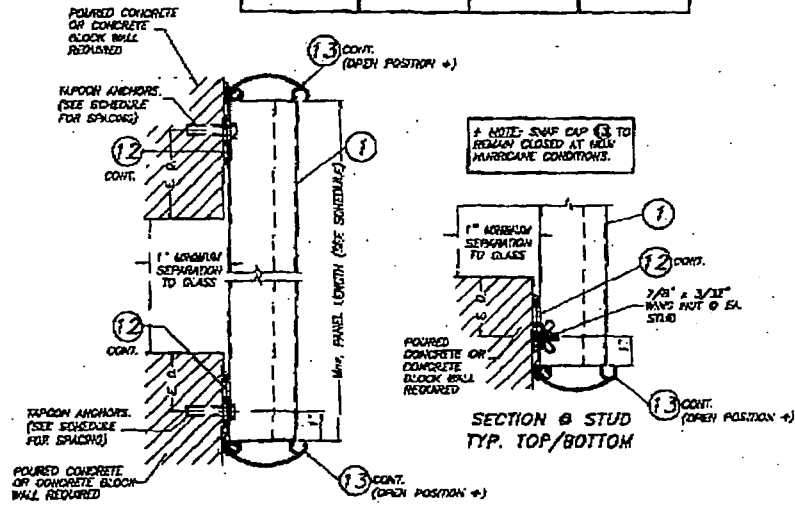
SCALE: 1/4" = 1"

\* ALL INSTALLATIONS PERFORMED WITH THIS CLOSURE DESIGN SHALL REDUCE PANEL LENGTH BY 20% AT EVERY APPLICATION FROM VALUES SHOWN ON SCHEDULE ON THIS SHEET.

**END CLOSURES DETAILS**

**MAXIMUM DESIGN PRESSURE RATING "W"(p.s.f.) AND CORRESPONDING MAXIMUM PANEL LENGTH "L" (FT.) SCHEDULE**

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.)	MAX. PANEL LENGTH "L" (ft.) BY GAGE STEEL		
	MOUNTING W/ 2" W. HEADER (2)	MOUNTING W/ 3" W. HEADER (3)	MOUNTING W/ COMP. (2) & (3)
+40.0, -45.0	9'-8"	9'-8"	9'-8"
+45.0, -50.0	9'-2"	9'-2"	9'-2"
+50.0, -55.0	8'-9"	8'-9"	8'-9"
+55.0, -60.0	8'-4"	8'-4"	8'-4"
+65.0, -70.0	7'-8"	7'-2"	7'-8"
+75.0, -80.0	7'-2"	6'-3"	7'-2"



**WALL MOUNTING INSTALLATION**

**SECTION 9**

SCALE: 3/8" = 1"

F.B.C.(N.H.V.H.Z.)

<p>TILECO TESTING &amp; ENGINEERING COMPANY 1850 S.W. 2ND ST., MIAMI, FLORIDA, FL 33134 Phone: (305) 271-5800, Fax: (305) 271-5811 E-mail: TLECO@TILECO.COM WALTER A. TRAUT, P. E. FLORIDA LIC. # 24127</p>	24 GAGE GALVANIZED STEEL STORM PANEL	AS SHOWN
	<p><b>EASTERN METAL SUPPLY, INC</b> 4008 WEST HURON DRIVE MIRAGE, FLORIDA, FL 33407</p>	
		02-055
		DRAWING No.
		SHEET # OF #

**MAXIMUM DESIGN PRESSURE RATING "W" (D.S.L.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND CONCRETE BLOCK STRUCTURES \***

E. D. = EDGE DISTANCE

MAXIMUM DESIGN LOAD W (D.S.L.)	MAXIMUM ANCHOR SPACING FOR E. D. = 3 1/2" **										APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MINIMUM PANEL LENGTH L" (H.)
	TAPCONS		ZUNC ANCHOR/RED HD. DIMENSION		CALK-IN		PANELMATS		OF TAP-GRUP			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
+40.0 -45.0 OR LESS	12"	-	12"	-	12"	-	12"	-	12"	-	1 & 3 (TOP)	8'-0" OR LESS
	12"	6"	12"	12"	12"	7"	12"	12"	12"	6 1/2"	1, 6" (BOTTOM)	
	12"	-	12"	-	12"	-	12"	-	12"	-	2, 6" (TOP)	
	12"	6"	12"	12"	12"	7"	12"	12"	12"	6 1/2"	2 (BOTTOM)	
	12"	6"	12"	12"	12"	7"	12"	12"	12"	6 1/2"	3 (BOTTOM)	
	12"	-	12"	-	12"	-	12"	-	12"	-	4 (TOP)	
	12"	6"	12"	12"	12"	7"	12"	12"	12"	6 1/2"	4 (BOTTOM)	
	8"	-	11"+	-	10"	-	12"	-	-	-	5 (TOP/BOTT)	
	12"	-	12"+	-	12"	-	12"	-	-	-	6 (TOP)	
	15"	-	12"+	-	11"	-	12"	-	-	-	6 (BOTTOM)	
+40.0 -45.0 OR LESS	12"	-	12"	-	12"	-	12"	-	12"	-	7 (BOTTOM)	> 8'-0" TO 10'-7"
	12"	6"	12"	12"	12"	5"	12"	12"	12"	6 1/2"	7 (TOP)	
	12"	-	12"	-	12"	-	12"	-	12"	-	8 (TOP)	
	12"	6"	12"	12"	12"	5"	12"	12"	12"	6 1/2"	8 (BOTTOM)	
	12"	6"	12"	12"	12"	5"	12"	12"	12"	6 1/2"	9 (BOTTOM)	
	12"	-	12"	-	12"	-	12"	-	12"	-	9 (TOP)	
	12"	6"	12"	12"	12"	5"	12"	12"	12"	6 1/2"	9 (BOTTOM)	
	7"	-	8"+	-	7"	-	10"	-	-	-	10 (TOP/BOTT)	
	10"	-	12"+	-	10"	-	12"	-	-	-	10 (TOP)	
	8"	-	10"+	-	8"	-	11 1/2"	-	-	-	10 (BOTTOM)	
8"	-	9"+	-	8"	-	11"	-	-	-	10 (BOTTOM)		
-	-	-	-	12"	-	12"	6"	-	-	10 (TOP/BOTT)		

MAXIMUM DESIGN LOAD W (D.S.L.)	MAXIMUM ANCHOR SPACING FOR E. D. = 3 1/2" **										APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MINIMUM PANEL LENGTH L" (H.)
	TAPCONS		ZUNC ANCHOR/RED HD. DIMENSION		CALK-IN		PANELMATS		OF TAP-GRUP			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
>+40.0 -45.0 TO +50.0 -60.0	12"	-	12"	-	12"	-	12"	-	12"	-	1 & 3 (TOP)	8'-0" OR LESS
	12"	6"	12"	12"	12"	5"	12"	12"	12"	7"	1, 6" (BOTTOM)	
	12"	-	12"	-	12"	-	12"	-	12"	-	2, 6" (TOP)	
	12"	6"	12"	12"	12"	5"	12"	12"	12"	7"	2 (BOTTOM)	
	12"	6"	12"	12"	12"	5"	12"	12"	12"	7"	3 (BOTTOM)	
	12"	-	12"	-	12"	-	12"	-	12"	-	4 (TOP)	
	12"	6"	12"	12"	12"	5"	12"	12"	12"	7"	4 (BOTTOM)	
	7"	-	8"+	-	7"	-	10 1/2"	-	-	-	5 (TOP/BOTT)	
	10"	-	12"+	-	10"	-	12"	-	-	-	6 (TOP)	
	8"	-	10"+	-	8"	-	12"	-	-	-	6 (BOTTOM)	
>+40.0 -45.0 TO +50.0 -60.0	8"	-	10"+	-	8"	-	11 1/2"	-	-	-	7 (BOTTOM)	> 8'-0" TO 10'-7"
	-	-	-	-	12"	-	12"	6"	-	-	8 (TOP/BOTT)	
	8"	-	7"	-	8"	-	12"	-	5 1/2"	-	1 & 3 (TOP)	
	12"	5"	11"	10"	12"	4"	12"	6 1/2"	9"	5"	1, 6" (BOTTOM)	
	12"	-	11"	-	12"	-	12"	-	9"	-	2, 6" (TOP)	
	12"	5"	11"	10"	12"	4"	12"	6 1/2"	9"	5"	2 (BOTTOM)	
	12"	5"	11"	10"	12"	4"	12"	6 1/2"	9"	5"	3 (BOTTOM)	
	12"	-	11"	-	12"	-	12"	-	8"	-	4 (TOP)	
	12"	6"	11"	10"	12"	4"	12"	6 1/2"	9"	5"	4 (BOTTOM)	
	6"	-	8"+	-	5"	-	7 1/2"	-	-	-	5 (TOP/BOTT)	
+50.0 -60.0	8"	-	8"+	-	7"	-	10 1/2"	-	-	-	6 (TOP)	10'-7"
	8"	-	7"+	-	6"	-	8 1/2"	-	-	-	6 (BOTTOM)	
	6"	-	7"+	-	6"	-	8"	-	-	-	7 (BOTTOM)	
	-	-	-	-	12"	-	12"	6"	-	-	8 (TOP/BOTT)	

ACTUAL E. D.	FACTOR		
	TAPCON/ZUNC ANCHOR/RED HD. DIMENSION/ANCHORED	CALK-IN	OF TAP-GRUP
3"	.88	.75	1.00
2 1/2"	.71	.50	.80
2"	.50	-	-

- + ONLY TAPCON ANCHORS ALLOWED FOR MOUNTING SECTION #.
- + + ANCHORS SPACING ONLY W/LLD FOR RED HEAD DIMENSIONAL ANCHORS.
- \* SEE SHEET 7 & 8 OF 8 FOR ANCHOR TYPE & SPACING FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS.
- \*\* MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE FOR E. D. LESS THAN 3 1/2". REDUCE ANCHOR SPACING BY MULTIPLYING SPACINGS SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (Min. E. D. FOR CALK-IN ANCHORS & ELCO PANELMATS IS 2 1/2").



24 GAGE GALVANIZED STEEL STORM PANEL						F.B.C.(N.H.V.H.Z.)
EASTERN METAL SUPPLY, INC.						AS SHOWN SCALE
4800 WEST ROAD DRIVE RIVERS BEACH, N.J. 08407						DATE
02-055						DRAWING NO.
REV. NO.	DESCRIPTION	DATE	BY	CHECKED	DATE	SHEET 8 OF 8
1	REV. 02	02/05	W			
2						

**MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND CONCRETE BLOCK STRUCTURES**

E. D. = EDGE DISTANCE

MAXIMUM DESIGN LOAD W (p.s.f.)	MAXIMUM ANCHORS SPACING FOR E. D. = 3 1/2" **										APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH "L" (ft.)
	TAPCONS		ZINC ALKYL/RED HD. DYNABOLT		CALK-IN		PANELMATES		CF DA-GRP			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
+55.0 -80.0 TO +75.0 -80.0	6"	-	7"	-	8"	-	12"	-	8"	-	1 & 3 (TOP)	8'-0" OR LESS
	12"	12"	11"	10"	12"	4"	12"	8 1/2"	8"	5"	1, 6" (BOTTOM)	
	12"	-	11"	-	12"	-	12"	-	8"	-	2, 8" (TOP)	
	12"	5"	11"	10"	12"	4"	12"	8 1/2"	8"	5"	2 (BOTTOM)	
	12"	6"	11"	10"	12"	4"	12"	8 1/2"	8"	5"	3 (BOTTOM)	
	12"	-	11"	-	12"	-	12"	-	8"	-	4 (TOP)	
	12"	5"	11"	10"	12"	4"	12"	8 1/2"	8"	5"	4 (BOTTOM)	
	5"	-	6"++	-	5"	-	6"	-	-	-	5 (TOP/BOTT)	
	6"	-	10"++	-	8"	-	10 1/2"	-	-	-	6 (TOP)	
	6"	-	8"++	-	5"	-	8"	-	-	-	6 (BOTTOM)	
6"	-	7"++	-	5"	-	6 1/2"	-	-	-	7 (BOTTOM)		
-	-	-	-	12"	-	12"	6"	-	-	8 (TOP/BOTT)		

MAXIMUM DESIGN LOAD W (p.s.f.)	MAXIMUM ANCHORS SPACING FOR E. D. = 3 1/2" **										APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH "L" (ft.)
	TAPCONS		ZINC ALKYL/RED HD. DYNABOLT		CALK-IN		PANELMATES		CF DA-GRP			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
+55.0 -80.0 TO +75.0 -80.0	6"	-	6"	-	8"	-	9 1/2"	-	6"	-	1 & 3 (TOP)	> 8'-0" TO 8'-6"
	11"	12"	8"	8"	11"	3"	12"	8"	7 1/2"	4"	1, 8" (BOTTOM)	
	11"	-	8"	-	11"	-	12"	-	7 1/2"	-	2, 8" (TOP)	
	11"	4"	8"	8"	11"	3"	12"	8"	7 1/2"	4"	2 (BOTTOM)	
	11"	4"	8"	8"	11"	3"	12"	8"	7 1/2"	4"	3 (BOTTOM)	
	11"	-	8"	-	11"	-	12"	-	7 1/2"	-	4 (TOP)	
	11"	4"	8"	8"	11"	3"	12"	8"	7 1/2"	4"	4 (BOTTOM)	
	4"	-	6"++	-	4"	-	6 1/2"	-	-	-	5 (TOP/BOTT)	
	6"	-	6"++	-	8"	-	8 1/2"	-	-	-	6 (TOP)	
	6"	-	6"++	-	5"	-	7"	-	-	-	6 (BOTTOM)	
6"	-	6"++	-	5"	-	7"	-	-	-	7 (BOTTOM)		
-	-	-	-	5"	-	12"	8"	-	-	8 (TOP/BOTT)		

MAXIMUM DESIGN LOAD W (p.s.f.)	MAXIMUM ANCHORS SPACING FOR E. D. = 3 1/2" **										APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH "L" (ft.)
	TAPCONS		ZINC ALKYL/RED HD. DYNABOLT		CALK-IN		PANELMATES		CF DA-GRP			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
+55.0 -80.0 TO +75.0 -80.0	5"	-	4"	-	5"	-	6"	-	3"	-	1 & 3 (TOP)	> 8'-4" TO 8'-8"
	10"	3"	6"	7"	10"	3"	12"	7"	6 1/2"	3 1/2"	1, 8" (BOTTOM)	
	10"	-	6"	-	10"	-	12"	-	6 1/2"	-	2, 8" (TOP)	
	10"	3"	6"	7"	10"	3"	12"	7"	6 1/2"	3 1/2"	2 (BOTTOM)	
	10"	3"	6"	7"	10"	3"	12"	7"	6 1/2"	3 1/2"	3 (BOTTOM)	
	10"	-	6"	-	10"	-	12"	-	6 1/2"	-	4 (TOP)	
	10"	3"	6"	7"	10"	3"	12"	7"	6 1/2"	3 1/2"	4 (BOTTOM)	
	4"	-	5"++	-	4"	-	6 1/2"	-	-	-	5 (TOP/BOTT)	
	6"	-	7"++	-	6"	-	7 1/2"	-	-	-	6 (TOP)	
	5"	-	5"++	-	5"	-	6 1/2"	-	-	-	6 (BOTTOM)	
4"	-	5"++	-	4"	-	6"	-	-	-	7 (BOTTOM)		
-	-	-	-	6"	6"	12"	-	-	-	8 (TOP/BOTT)		

- + ONLY TAPCON ANCHORS ALLOWED FOR BRACING SECTION 8.
- + ANCHORS SPACING ONLY VALID FOR RED HEAD DYNABOLT ANCHORS.
- \* SEE SHEET 7 & 8 OF 8 FOR ANCHORS TYPE & SPACING FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS.
- \*\* MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE FOR E. D. LESS THAN 3 1/2". REDUCE ANCHOR SPACING BY MULTIPLYING SPACING SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (MAX. E. D. FOR CALK-IN ANCHORS & ELCO PANELMATE IS 3 1/2").

ACTUAL E. D.	FACTOR		
	TAPCON/DYNABOLT/RED HD. DYNABOLT/PANELMATES	CALK-IN	CF DA-GRP
3"	.85	.75	1.00
3 1/2"	.71	.50	.80
2"	.55	-	-



F.B.C.(N.H.Y.N.Z.)

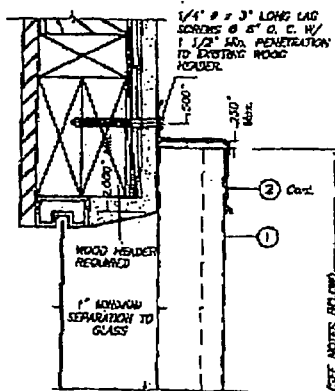
**24 GAGE GALVANIZED STEEL STORM PANEL** AS SHOWN SCALE

**EASTERN METAL SUPPLY, INC**  
4130 WEST BRIDGE DRIVE  
MERRILL BRANCH #1 33467

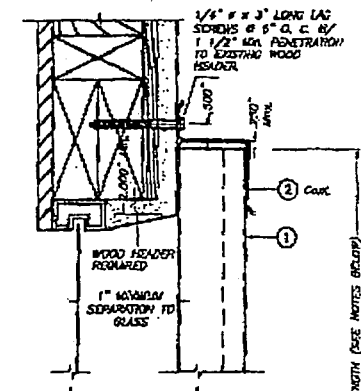
3/4/02 DATE  
02-055 DRAWING #  
SHEET 2 OF 5

REV.	DESCRIPTION	DATE	BY	APPROVED	DATE
1	REV. OF	1/1/02	1		

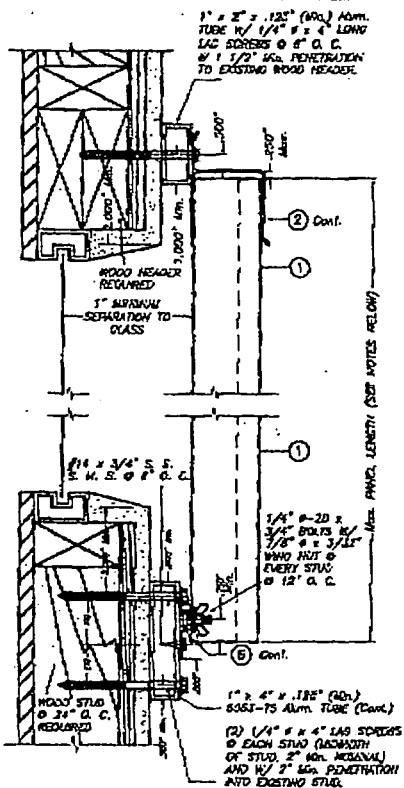
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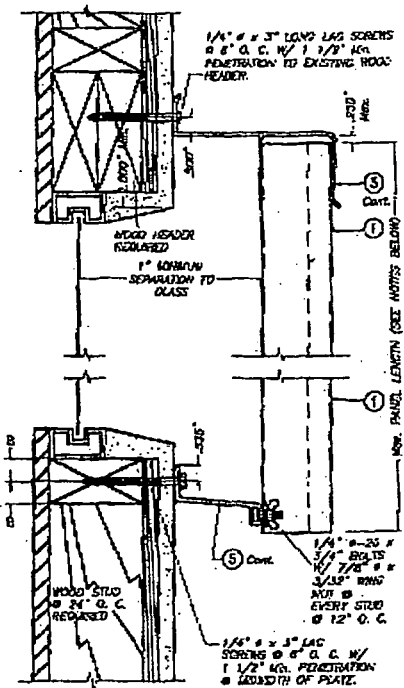
ALTERNATIVE 1



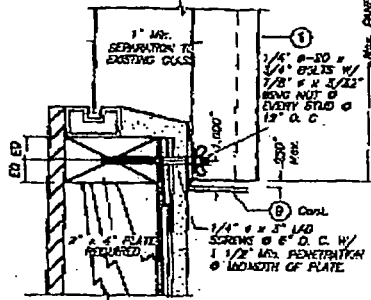
ALTERNATIVE 4



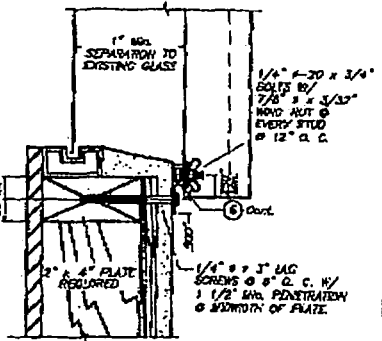
ALTERNATIVE 5



ALTERNATIVE 6



ALTERNATIVE 2



ALTERNATIVE 3

WALL MOUNTING INSTALLATIONS  
SECTIONS A

SCALE: 1/4\"/>

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

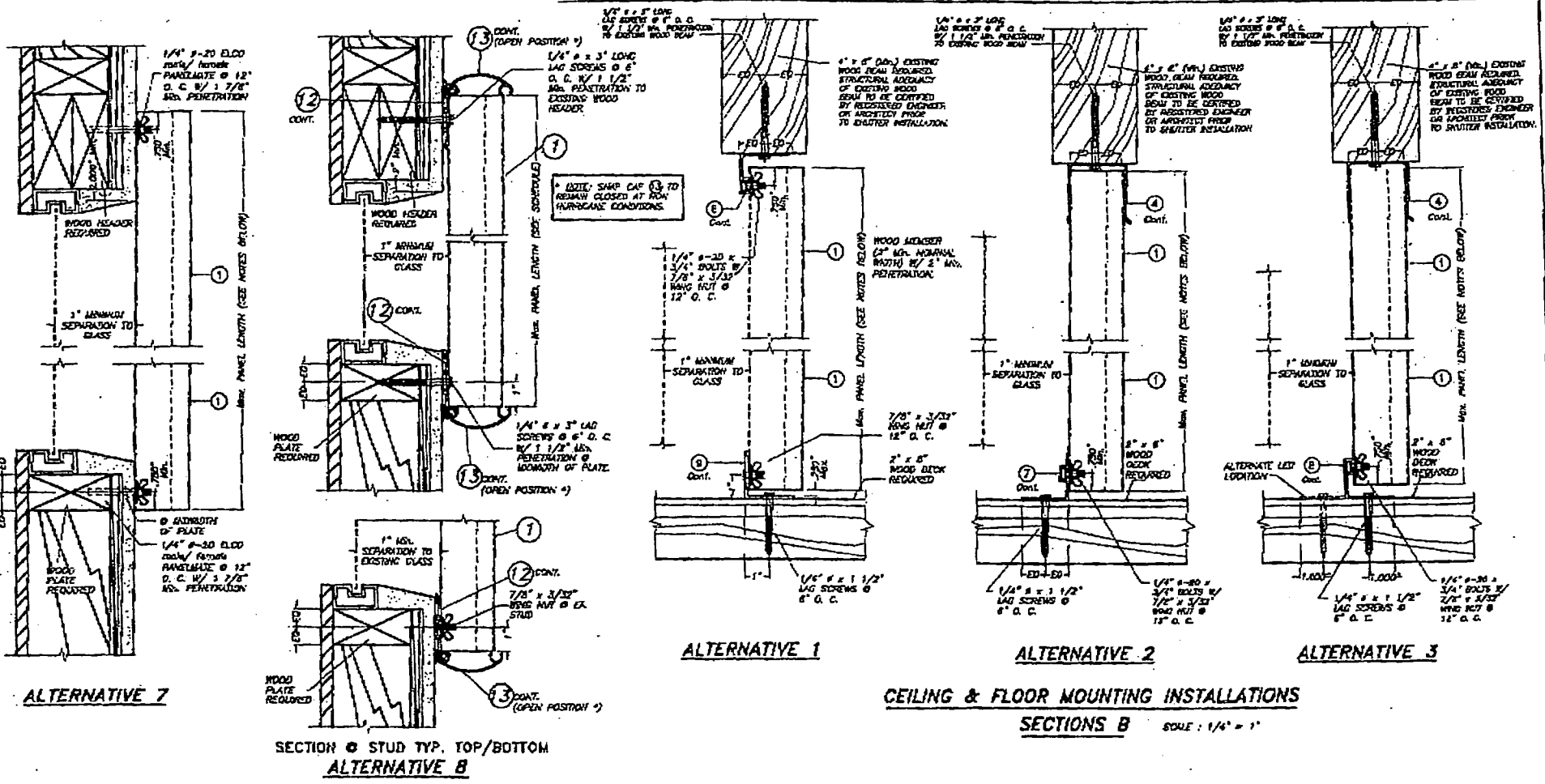
**NOTE FOR COMBINATION OF SECTIONS:**  
WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:**
1. INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0, -70.0 psf AND PANEL'S LENGTHS UP TO 7'-8\"/>
  2. FOR WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

**TILECO INC.**  
TILT TESTING & ENGINEERING COMPANY  
6549 S.W. 22nd St., Ft. Lauderdale, FL 33318  
Phone: (904) 771-1133, Fax: (904) 771-1131  
EQ-0008718  
WALTER A. TILLY, P. E.  
FLORIDA LIC. # 41167

24 GAGE GALVANIZED STEEL STORM PANEL		AS SHOWN SCALE
<b>EASTERN METAL SUPPLY, INC</b> 4800 WEST ROADS DRIVE MYRTLE BEACH, FL 33509		DATE
		02-055
REV. NO.	DESCRIPTION	DATE
1		
2		

F.B.C.(N.H.V.M.Z.)  
DRAWING No  
SHEET 7 OF 8



**NOTE FOR COMBINATION OF SECTIONS:**  
 FLOOR/ WALL/ CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:**
1. INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0, -70.0 psf AND PANEL'S LENGTHS UP TO 7'-8".
  2. FOR WOOD FRAME CONSTRUCTIONS: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

**TILECO INC.**  
 TILECO TESTING & ENGINEERING COMPANY  
 1000 S.W. 10th St., Ft. Lauderdale, FL 33307  
 Phone: (305) 771-1800 - Fax: (305) 771-1817  
 ED-0000019  
 WALTER A. TILLY, P. E.  
 FLORENCE, FL 34432

**24 GAGE GALVANIZED STEEL STORM PANEL** AS SHOWN SCALE

**EASTERN METAL SUPPLY, INC**  
 4180 WEST RIDGE DRIVE  
 MIAMI BEACH, FL 33147

REV. NO.	DESCRIPTION	DATE	BY	APPROVED	DATE
1	ISSUE FOR ESTIMATE	07/14/02			
2					

F.B.C.(N.M.V.M.Z.)

3/4/02 DATE

02-055 DRAWING NO.

SHEET 8 OF 6

**Joseph P. McCarty, Architect**  
900 East Osceola Street  
Stuart, Florida, 34994  
772-287-6735 fax: 772-287-4618

DPR Registration Number 9639

June 21, 2004

Gene Simmons, CBO  
Town of Sewall's Point  
One South Sewall's Point Road  
Sewalls Point, Florida  
34996

SCHMADER RESUBMITTAL	
LEN SCHMADER 561-799-9629	
RECEIVED	
AUG 17 2004	
BY:	

RE: Leonard Schmader, 102 Henry Sewall's Way

Dear Gene,

As follows is response to your critique dated June 7, 2004 on the above referenced project.

1. Modified survey provided
2. Product approval on Hurricane shutters provided.
3. Notice of commencement provided
4. There are no trees to be removed; two small trees are to be relocated.

Drawing comments

- 1.a. Size and location of water heater has been added to sheet A1
- 2.a. Chimney has been modified to meet requirements as per sheets A3 and A4
- 3.a. Information requested has been added to sheet S1
- 4a-d Information requested has been added to sheet A2, new sheet HVAC1 has been added showing HVAC
5. As per new sheet HVAC 1
6. Information requested has been added to sheet S1. As noted all connectors are to be USP TAPL12 unless individually noted.
7. All window bucks are to be 1X PT bucks with windows anchored through buck as per product approval information.

Sincerely,

  
Joseph P. McCarty

## CRITIQUE

Owner: Henry Schmader

Date: June 7, 2004

Contractor: Owner/Builder

Contractor's Phone Number: 561-233-4453 Plan Reviewer: Gene Simmons

### PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR SINGLE FAMILY RESIDENCE LOCATED AT 102 HENRY SEWALL'S WAYS

#### Submittals (2 copies)

1. Current survey (**within one year**) containing the following information:
  - a. Location of all structures proposed and existing along with dimensions from all corners of proposed structures to property lines.
  - b. Proposed finish floor elevation – since this in a AE zone elevation for first finish floor cannot exceed 9.0 and should be marked on plan as such
  - c. Location of driveway and turnabouts with dimensions
  - d. Walkways and planters
  - e. Location of all fences
  - f. Location of all accessory buildings or structures
  - g. Existing or proposed first floor elevation
  - h. Setback requirements
  - i. Easements
  - j. All encroachments into setbacks
  - k. Location of existing septic, wells, retention areas
  - l. Flood Zone line or lines in relationship to structures proposed or existing
  - m. Flood Zone with base floor elevation with current adoption date
  - n. Computation of pervious and impervious areas
  - o. All encroachments must be abated or variances received prior to issuance of building permit.
  - p. Certification to the Town Of Sewall's Point
2. Product approvals (**current**) from Miami/Dade or other testing institutes approved by the Florida Building Code for the following items:
  - a. Hurricane Shutters
3. Notice of Commencement
4. Application for Tree Removal Permit – the existing survey may be used and attached to the tree removal permit:

**The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)**

1. Floor Plan containing the following information:
  - a. Location of water heater and what size



2. Elevation Plan containing the following information:
  - a. Height of chimney from top of proposed highest roof elevation to top of chimney cannot exceed three feet – its not 30 feet overall for roof and chimney
3. Foundation Plan containing the following information:
  - a. Step downs from house to garage missing riser heights and step-down for shower
4. Electrical Plan containing the following information:
  - a. Riser diagram shows one panel yet plans shows two in garage.
  - b. Show all interior GFI's locations
  - c. Riser diagram missing conduit and wire sizes from meter to disconnect and to panel
  - d. Take a/c plan off electrical drawing
5. Heating/Air Conditioning Plan containing the following information:
  - a. Air Handler locations showing kw rating
  - b. Condensing unit locations
  - c. Equipment callouts with name of equipment, model numbers and sizes
6. Truss Plan
  - a. Missing connector callouts for which trusses
7. Section/Detail Drawings and Schedules showing the following information:
  - a. Window buck detail showing type, size, length and spacing of connectors to be used

## CRITIQUE

Owner: Henry Schmader

Date: June 7, 2004

Contractor: Owner/Builder

Contractor's Phone Number: 561-233-4453 Plan Reviewer: Gene Simmons

### PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR SINGLE FAMILY RESIDENCE LOCATED AT 102 HENRY SEWALL'S WAYS

#### Submittals (2 copies)

1. Current survey (**within one year**) containing the following information:
  - a. Location of all structures proposed and existing along with dimensions from all corners of proposed structures to property lines.
  - b. Proposed finish floor elevation – since this in a AE zone elevation for first finish floor cannot exceed 9.0 and should be marked on plan as such
  - c. Location of driveway and turnabouts with dimensions
  - d. Walkways and planters
  - e. Location of all fences
  - f. Location of all accessory buildings or structures
  - g. Existing or proposed first floor elevation
  - h. Setback requirements
  - i. Easements
  - j. All encroachments into setbacks
  - k. Location of existing septic, wells, retention areas
  - l. Flood Zone line or lines in relationship to structures proposed or existing
  - m. Flood Zone with base floor elevation with current adoption date
  - n. Computation of pervious and impervious areas
  - o. All encroachments must be abated or variances received prior to issuance of building permit.
  - p. Certification to the Town Of Sewall's Point
2. Product approvals (**current**) from Miami/Dade or other testing institutes approved by the Florida Building Code for the following items:
  - a. Hurricane Shutters
3. Notice of Commencement
4. Application for Tree Removal Permit – the existing survey may be used and attached to the tree removal permit.

#### The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. Floor Plan containing the following information:
  - a. Location of water heater and what size

2. Elevation Plan containing the following information:
  - a. Height of chimney from top of proposed highest roof elevation to top of chimney cannot exceed three feet – its not 30 feet overall for roof and chimney
  
3. Foundation Plan containing the following information:
  - a. Step downs from house to garage missing riser heights and step-down for shower
  
4. Electrical Plan containing the following information:
  - a. Riser diagram shows one panel yet plans shows two in garage.
  - b. Show all interior GFI's locations
  - c. Riser diagram missing conduit and wire sizes from meter to disconnect and to panel
  - d. Take a/c plan off electrical drawing
  
5. Heating/Air Conditioning Plan containing the following information:
  - a. Air Handler locations showing kw rating
  - b. Condensing unit locations
  - c. Equipment callouts with name of equipment, model numbers and sizes
  
6. Truss Plan
  - a. Missing connector callouts for which trusses
  
7. Section/Detail Drawings and Schedules showing the following information:
  - a. Window buck detail showing type, size, length and spacing of connectors to be used

**Town of Sewall's Point  
Building Department  
772-287-2455 ext 13  
772-220-4765 FAX**

# Fax

**To:** HENRY SCHMADER      **From:** GENE/LAURA  
**Fax:** 561-233-4451      **Date:** 6/17/04  
**Phone:** \_\_\_\_\_      **Pages:** 3  
**Re:** \_\_\_\_\_      **CC:** \_\_\_\_\_

Urgent       For Review       Please Comment       Please Reply       Please Recycle

---

- f. Skylights
  - g. Glass blocks
  - h. Siding
5. Health Department Approval for septic system or information on existing system.
  6. Health Department Well permit or information on existing system.
  7. Statement of Fact (owner/builder affidavit)
  8. Proof of ownership (deed or tax recpt.)
  9. Application for tree removal or relocation (attach 2 tree surveys and removal or relocation plan)
  10. Manufactures specifications or shop drawings for fireplaces, stairs, etc.
  11. A certified copy of the Notice of Commencement for any work over \$2500.00
  12. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
  13. Copy of Workmen's Compensation
  14. Copy of Liability Insurance
  15. If property is over one (1) acre then a copy of the Florida Department of Environmental Protection (DEP) Stormwater Discharge Permit (see attached formwork for DEP)

**The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)**

1. **Floor Plan containing the following information:**
  - a. Square footage calculations
  - b. Scale – minimum ¼" per foot
  - c. All proposed and existing layouts of structures
  - d. Location of all pads/porches and patios
  - e. All dimensions exterior and interior to define design and construction
  - f. Room callouts
  - g. Elevation drops with size, steps, ramps, curbs, dashed outline for second story outline
  - h. Location of all windows and doors with egress requirements
  - i. Tempered glass locations
  - j. Door and window sizes
  - k. Location of all bathroom fixtures
  - l. Location of all kitchen fixtures and appliances
  - m. Water heater location
  - n. Hose bib locations
  - o. Attic access with size of opening
  - p. Beam callouts
  - q. All through wall or ceiling ventilation such as garage vents, dryer vent etc.
  
2. **Elevation Plan containing the following information:**
  - a. Front, Rear, and Side Elevations
  - b. All beam heights and changes in beams heights
  - c. Building heights from finish floor to top of roof (maximum 27 feet)
  - d. Height of chimney from top of roof to top of chimney max. 3 feet

- e. Location of all windows and doors
- f. Roof slope
- g. Wall finishes
- h. Vertical features and horizontal projections with dimensions

**3. Foundation Plan containing the following information:**

- a. Bearing walls exterior and interior
- b. Dimensions of all bearing walls exterior and interior
- c. All footings and pad locations
- d. Dimensions of all footing and pads
- e. Step downs (minimum for residence to garage 7 inches)
- f. Footing and Pad call outs for size (width and depth), steel (size, lap and placement)
- g. Any underslab mechanical duct work or gas piping
- h. Location of any in slab receptacle locations
- i. Column Layout
- j. Columns Schedule

**4. Electrical Plan containing the following information:**

- a. Show all receptacle, switch, and fixture locations
- b. Show all WPGFI's and GFI's locations
- c. Ceiling fan locations
- d. Attic or roof top receptacles and fixtures
- e. Service entrance
- f. Panel layout with circuits, loads, wire, breaker and conduit sizes
- g. Riser diagram with size of service, meter, ground, disconnects feeders and panels
- h. Any specialty lighting requirements
- i. Disconnect locations for residence, pool, pumps, etc.
- j. Load calculations
- k. Panel and sub-panel locations
- l. Meter can location

**5. Heating/Air Conditioning Plan containing the following information:**

- a. Air Handler locations showing kw rating
- b. Condensing unit locations
- c. Duct layout showing sizes of duct and size of diffusers
- d. CFM per outlet
- e. Distribution box locations
- f. Equipment callouts with name of equipment, model numbers and sizes

**6. Plumbing Plan containing the following information:**

- a. Plumbing riser diagram

**7. Truss Layout containing the following information:**

- a. Show location of all trusses

- b. Show location of all girders
- c. Uplift quantities for all trusses
- d. Connectors schedule for all trusses and girders
- e. Location of roof mounted equipment
- f. Location of all structural elements size and reinforcing

**8. Second Floor Framing Plan**

- a. Location of all floor trusses or joists
- b. Size of all structural members and spacing dimensions
- c. Location of all girders

**9. Section/Detail Drawings and Schedules showing the following information:**

- a. Wall section drawings for single and two story sections
- b. Show footings, slab, wall, ceiling and roof construction and insulation
- c. Window and door schedules showing design pressures (+ and - )
- d. Stair details showing riser height and tread width also handrail with baluster and newel post design showing distance between balusters and height of handrail from leading edge of tread
- e. Garage door buck detail showing type, size, length and spacing of connectors to be used
- f. Window buck detail showing type, size, length and spacing of connectors to be used
- g. Framing details of cupolas with connector callouts

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE  
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**

  
\_\_\_\_\_  
(SIGNATURE OF APPLICANT)

DATE SUBMITTED: \_\_\_\_\_

6-2-04

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):**

LOT 9 SEWALL'S MEADOW

**GENERAL DESCRIPTION OF IMPROVEMENT:**

OWNER: LEONARD J SCHMADER

ADDRESS: 905 SANCTUARY COVE DR NORTH PALM BEACH, FL

PHONE #: 561-799-9629 FAX #: 33410

CONTRACTOR: OWNER BUILDER

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

SURETY COMPANY (IF ANY) \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: LEONARD J SCHMADER

ADDRESS: 905 SANCTUARY COVE DR NORTH PALM BEACH, FL

PHONE #: 561-799-9629 FAX #: 33410

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

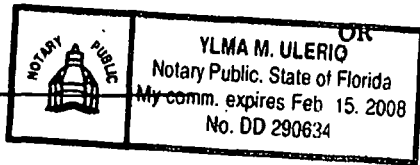
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Leonard J Schmader  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 24th DAY OF May

2004 BY Leonard J Schmader

[Signature]  
NOTARY SIGNATURE



PERSONALLY KNOWN  
PRODUCED ID  
TYPE OF ID DL FL S 536 S3041096-0  
12/26/02  
Exp 3/16/10



# OWNER'S AFFIDAVIT OF BUILDING COSTS

(To be submitted at time of final inspection for Certificate of Occupancy)

STATE OF FLORIDA  
MARTIN COUNTY

BEFORE ME, the undersigned authority, personally appeared the undersigned Affidavit, who, being first duly sworn, under penalty of perjury, deposes and says:

1. That Affidavit is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affidavit's signature.
2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ \_\_\_\_\_.
4. That this Affidavit is made for the purpose of inducing the Building Official of the Town to issue a Certificate of Occupancy for the improvements, with the intention that it be relied upon for that purpose.

Affidavit's Signature:

Leonard J. Schmale

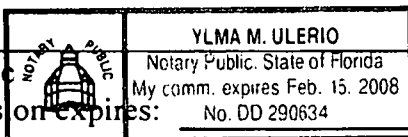
Property Address:

102 HENRY SEWALL WAY

SEWALL'S POINT, FL 34996

SWORN TO and subscribed before me this 24<sup>th</sup> day  
of May, 2008, by Leonard J.  
Schmale, who is personally known to me or  
produced DFL 553653041096-0 as identification.  
12/26/02 - 3/16/10

Notary Public  
My commission expires:



(Notary Seal)

# TOWN OF SEWALL' S POINT BUILDING DEPARTMENT

**Design Certification for Windload Compliance By Architect or Engineer of Record  
(To be submitted with application and construction drawing for permit)**

**PROJECT NAME AND ADDRESS**

**BUILDING DEPARTMENT USE ONLY**

SCHMADER RESIDENCE  
LOT 9 SEWALL'S MEADOW

BLDG. PERMIT # \_\_\_\_\_  
OCCUPANCY TYPE \_\_\_\_\_  
CONSTRUCTION TYPE \_\_\_\_\_

**STATEMENT**

I certify that, to the best of my knowledge and belief, these plans and specification have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced the Town of Sewall's Point Building Department. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I hereby accept responsibility for the structural design.

## BUILDING PARAMETERS AND ANALYSIS

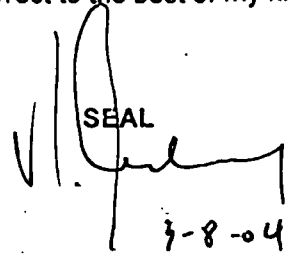
**CODE EDITIONS: 2001 FLORIDA BUILDING CODE  
CHAPTER 6 OF ASCE 7- 98**

Building Design as: Partially Enclosed \_\_\_\_\_ Enclosed  Open \_\_\_\_\_ Wind Tunnel Test \_\_\_\_\_  
 Basic Wind Speed: 140 MPH 3 Second Gusts  Importance/Use Factor 1.0  
 Velocity Pressure: 30 psf Garage Door Design Pressure \_\_\_\_\_ +(psf) (End Zone) -43 psf 37 +psf  
 Door Design Pressure (Int. Zone) 40 +psf 43 -psf (End Zone 40 +psf 52 -psf  
 Window Design Pressure (Int. Zone) 40 +psf 43 -psf (End Zone 40 +psf 52 -psf  
 Minimum Soil Bearing Pressure 2500 psf Exposure B Mean Building Height 21.8  
 Floor Loads N/A Roof Dead Load 20 Shear Wall Considered  Yes \_\_\_\_\_ No \_\_\_\_\_  
 Continuous Load Path Provided  Yes \_\_\_\_\_ No \_\_\_\_\_  
 Components and Cladding Details Provided  Yes \_\_\_\_\_ No \_\_\_\_\_  
 Impact Protection (Exterior Openings): Approved Shutters \_\_\_\_\_ Impact Resistance Glass   
 (Must be indicated on permit documents for all residential/commerical buildings, alterations and renovations)

**NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST ALSO BE INDICATED ON CONSTRUCION PLANS.**

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

NAME: VICTOR J. GERLEY  
 CERTIFICATION# 21422  
 DATE: 3-8-04  
 DESIGN FIRM: V. J. GERLEY & ASSOCIATES

SEAL  
  
3-8-04

**TOWN OF SEWALL'S POINT**  
**ONE SOUTH SEWALL'S POINT ROAD**  
**SEWALL'S POINT, FLORIDA 34996**

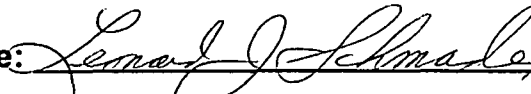
**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
**(To be submitted if permit is to be pulled by Owner/Builder)**

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: LEONARD J SCHMADER Date: MAY-24-2004

Signature: 

Address: 905 SANCTUARY COVE DRIVE

City & State: NORTH PALM BEACH, FL 33410

Permit No. \_\_\_\_\_

SCHOOL BOARD FEE



OFFICIAL RECEIPT  
(FOR MONEY RECEIVED)

No. 536471

DATE 5-19, 1904

Legal Svc SCHOOL

RECEIVED FROM Len Schmader \$ 1006.03  
(NAME OR ORGANIZATION)

FOR School impact fee - 102 Henry Sewall Way

FOR DEPOSIT IN \_\_\_\_\_ FUND(S)

W. Falls  
PRINCIPAL OR RESPONSIBLE OFFICER

SEWALL'S MEADOW HOME OWNERS ASSOCIATION

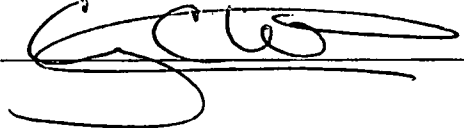
DESIGN REVIEW COMMITTEE

Approval for Leonard J Schmader to build one single family home on lot nine in Sewall's Meadow.

Architectural drawings by Joseph McCarty. Landscape design by Natural Design Studio, Mike Flaugh.

Signed  Date 4/20/04

Signed  Date 5/15/04

Signed  Date 5/18/04

NOTICE OF AD VALOREM TAXES & NON-AD VALOREM ASSESSMENTS

44203

ORIGINAL FOR MARTIN COUNTY REAL ESTATE

AD VALOREM TAXES

I.D. NUMBER: 13-38-41-013-000-00090.00000 2003 TAX DISTRICT: 2200  
 ASSESSED VALUE: 126,000 EXEMPTIONS: 00 TAXABLE VALUE: 126,000

TAXING AUTHORITY	MILLAGE RATE	TAX AMOUNT
COUNTY COUNTY-GENERAL FUND-OP	5.3950	679.77
CNTY-GOVT BONDS 1986	.2340	29.48
CNTY-BONDS LANDS FOR YOU	.1260	15.88
CNTY-F.I.T. BOND	.0520	6.55
SCHOOL SCHOOL-GENERAL FUND	8.2630	1,041.13
CHLD SVC CHILDRENS SERVICES ORDNCS	.3155	39.75
F.I.N.D. FL-INLAND NAVIGATION DIST	.0385	4.85
CITY SEWALLS POINT	1.8890	238.01
S.F.W.M. SOUTH FLA WATER MANAGEMNT	.6970	87.82

TOTAL MILLAGE 17.01000 AD VALOREM TAXES 2,143.24

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	PURPOSE	RATE/BASIS	AMOUNT
COMBINED TAXES & ASSESSMENTS TOTAL:			2,143.24

EXEMPTION: NONE

13 38 41  
 LOT 9 SEWALL'S MEADOW (PB 14 PG  
 32)

PROPERTY  
 ADDRESS: 102 HENRY SEWALL WAY



13-38-41-013-000-00090.00000  
 SCHMADER, LEONARD J (TR)  
 905 SANCTUARY COVE DR  
 WEST PALM BEACH FL 33410-4530

2003

NOV 1-NOV 30 2,057.51    DEC 1-DEC 31 2,078.94    JAN 1-JAN31 2,100.38    FEB 1-FEB29 2,121.81    MAR 1-MAR 31 2,143.24    DELINQUENT ON APRIL 1, 2004

\*SEE REVERSE SIDE FOR INSTRUCTIONS PLEASE DETACH AND RETURN BOTTOM PORTION WITH YOUR PAYMENT\*



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
MARTIN COUNTY HEALTH DEPARTMENT  
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
CONSTRUCTION PERMIT

CENTRAX #: 43-SS-06144  
OSTDSNBR: 03-1215-N

CONSTRUCTION PERMIT FOR:

[ X ] New System [ ] Existing System [ ] Holding Tank [ ] Innovative Other  
[ ] Repair [ ] Abandonment [ ] Temporary [ ] \_\_\_\_\_

APPLICANT: SCHMADER, LEONARD AGENT: 96-1256, BROWN STEPHEN

PROPERTY STREET ADDRESS: LOT 9 HENRY SEWALL Way STUART FL 34994

LOT: 9 BLOCK: \_\_\_\_\_ SUBDIVISION: SEWALLS MEADOW  
[Section/Township/Range/Parcel No.]  
PROPERTY ID #: --- [OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 64E-6, FAC DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC TIME PERIOD. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE OR LOCAL PERMITTING REQUIRED FOR PROPERTY DEVELOPMENT.

SYSTEM DESIGN AND SPECIFICATIONS

(  EXISTING TANK)  
T [ 1050 ] Gallons SEPTIC TANK MULTI-CHAMBERED/IN SERIES: [ Y ]  
A [ 0 ] Gallons MULTI-CHAMBERED/IN SERIES: [ ]  
N [ 0 ] GALLONS GREASE INTERCEPTOR CAPACITY  
K [ 0 ] GALLONS DOSING TANK CAPACITY [ 0 ] GALLONS @ [ 0 ] DOSES PER 24 HRS # PUMPS [ 0 ]

D [ 500 ] SQUARE FEET PRIMARY DRAINFIELD SYSTEM *Trench or*  
R [ 615 ] SQUARE FEET SYSTEM *Bed*  
A TYPE SYSTEM: [ N ] STANDARD [ N ] FILLED [ Y ] MOUND [ N ] \_\_\_\_\_  
I CONFIGURATION: [ Y ] TRENCH *OK* [ Y ] BED [ N ] \_\_\_\_\_  
N

F LOCATION TO BENCHMARK: Manhole Cover In Road 5.52' NGVD  
I ELEVATION OF PROPOSED SYSTEM SITE [ 6.0 ] [ INCHES ] [ BELOW ] BENCHMARK/REFERENCE POINT  
E BOTTOM OF DRAINFIELD TO BE [ 6.0 ] [ INCHES ] [ BELOW ] BENCHMARK/REFERENCE POINT  
L  
D FILL REQUIRED: [ 18.0 ] INCHES NATURAL/ EXISTING SOIL EXCAVATION REQUIRED: [ 30.0 ] INCHES  
OTHER REMARKS: *(See special conditions)*

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), F.A.C. System installation must meet all requirements of Chapter 64E-6, F.A.C. "Fill Required" as noted above must be slightly limited quality in the installation area with a minimum 4' shoulder beyond the drainfield sidewall. (any unsuitable pad fill in the 4' shoulder and under the drainfield area must be removed and replaced with suitable soil). The drainfield must be at least 10 feet from the property line(s). Install an approved outlet filter device in the septic tank. Potable water lines within 10' of system must be sleeved and sealed and cannot be within 2'. Potable water lines must be installed and exposed at time of initial installation inspection. All attached general and special conditions and items above must be completed prior to Final Inspection and Approval.

SPECIFICATIONS BY: Fredette, Michelle *WA 03-0793* TITLE: EH Specialist II

APPROVED BY: Washam, Bob TITLE: Env. Manager Martin CHD

DATE ISSUED: 12/15/2003 EXPIRATION DATE: 6/15/2005

DATE: 6, 03/97 (Obsoletes previous editions which may not be used)  
(Stock Number: 5744-001-4016-0), [ostds\_cons\_4016-1]

\*\* NOTE: See attached Applicant's notice of permitting rights. \*\*

## NOTICE OF RIGHTS

A party whose substantial interest is affected by this order may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. Such proceedings are governed by Rule 28-106, Florida Administrative Code. A petition for administrative hearing must be in writing and must be received by the Agency Clerk for the Department, within twenty-one (21) days from the receipt of this order. The address of the Agency Clerk is 4052 Bald Cypress Way, BIN # A02, Tallahassee, Florida 32399-1703. The Agency Clerk's facsimile number is 850-410-1448.

Mediation is not available as an alternative remedy.

Your failure to submit a petition for hearing within 21 days from receipt of this order will constitute a waiver of your right to an administrative hearing, and this order shall become a 'final order'.

Should this order become a final order, a party who is adversely affected by it is entitled to judicial review pursuant to Section 120.68, Florida Statutes. Review proceedings are governed by the Florida Rules of Appellate Procedure. Such proceedings may be commenced by filing one copy of a Notice of Appeal with the Agency Clerk of the Department of Health and a second copy, accompanied by the filing fees required by law, with the Court of Appeal in the appropriate District Court. The notice must be filed within 30 days of rendition of the final order.



# SEPTIC SYSTEM GENERAL CONDITIONS LIST

PERMIT 43-SS-0 6044

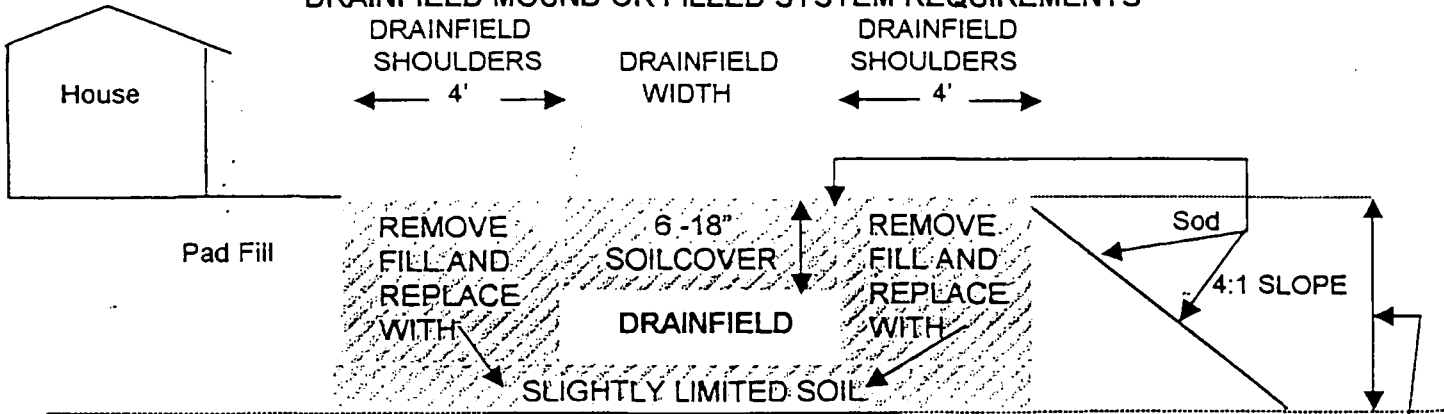
Special conditions marked "X" are in effect

- 1. If the minimum finished floor foundation elevation (F.F.F.E.) is below the drainfield filled elevation of 18 inches (above original grade 5.0NGVD, please contact this office to determine possible setback changes from the drainfield (setback is calculated by adding 4:1 slope, 4-foot shoulder and possible berm). Additionally, if the driveway or sidewalk is proposed to be lower than the drainfield filled elevation, please contact the department to determine possible setback changes. **Note: Local building authority determines minimum F.F.F.E. and stub out requirements. Health Department recommendations are used for drainfield fill and setback requirements only.**
- 2. Driveway and sidewalk elevation must be at least 6" higher than the top of the drainfield elevation. The driveway cannot be constructed within 4 feet of the system's available area.
- 3. Drainfield must be protected from vehicular traffic with permanent barriers.
- 4. A certified well driller, prior to the initial building construction or system inspection, must abandon existing well.
- 5. Prior to final construction approval, the property owner must apply for an operating permit and pay the \$ \_\_\_\_\_ Annual Permit Fee (For \_\_\_ Indust./Manuf. \_\_\_ Aerobic System \_\_\_ Commercial System \_\_\_ Performance-Based).

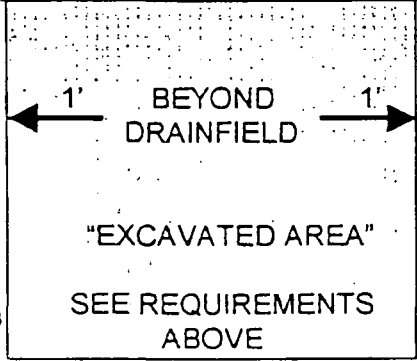
**Excavation requirements: (Note: Excavation refers to removal of natural or existing soils, not pad fill)**

- 1. Excavate one foot beyond drainfield area to a depth of 30 inches below natural existing grade elevation of 5.0 feet N.G.V.D. / Assumed.
- 2. In addition to item #1, 33% of unsuitable soils at depths greater than 30 inches below #1 elevation above must be removed to a depth of slightly limited soils.
- 3. If the proposed drainfield is to be installed within 10 feet of a building foundation or swimming pool structure, the four-foot drainfield shoulder must be filled with suitable soils prior to building construction.
- 4. If a mound or filled drainfield is proposed, see following sketch. An engineer's design is required if a retaining wall is proposed within the drainfield slope areas of a mound system. No boulders or trees are allowed within the drainfield or drainfield shoulder area. Applicant is responsible for replacing excavated soils with a good grade of soil suitable for drainfield installation.

### DRAINFIELD MOUND OR FILLED SYSTEM REQUIREMENTS



**Note:** Soil cover over the drainfield should be slightly limited soil, the same as used on sides and under the drainfield. Moderate limited soil may be use.



NATIVE UNFILLED SOIL  
Fill amount required as specified on permit.

*M. F. ...* 12/15/03  
Completed By \_\_\_\_\_ Date \_\_\_\_\_

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE DISPOSAL SYSTEM  
SITE EVALUATION AND SYSTEM SPECIFICATIONS

# 34435603  
12/15/03

CENTRAX #: 43-SS-06144  
OSTDSNBR : 03-1215-N

APPLICANT: SCHMADER, LEONARD

AGENT: 96-1256 STEPHEN BROWN, SJB

LOT: 9 BLOCK: \_\_\_\_\_ SUBDIVISION: SEWALLS MEADOW ID#: ---

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEER'S MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN:  YES  NO NET USABLE AREA AVAILABLE: .53 ACRES  
TOTAL ESTIMATED SEWAGE FLOW: 400 GALLONS PER DAY [64E-6, TABLE 1]  
AUTHORIZED SEWAGE FLOW: 1325 GALLONS PER DAY [1500GPD/ACRE OR 2500GPD/ACRE]  
UNOBSTRUCTED AREA AVAILABLE: 1400 SQFT UNOBSTRUCTED AREA REQUIRED: 1000/1231 SQFT  
416

BENCHMARK/REFERENCE POINT LOCATION: Manhole Cover in Road 5.52' NGVD  
ELEVATION OF PROPOSED SYSTEM SITE IS 6 [ Inches ] [ below ] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES:  
SURFACE WATER: N/A FT DITCHES/SWALES: N/A FT NORMALLY WET?  YES  NO  
WELLS: PUBLIC: None FT LIMITED USE: None FT PRIVATE: None FT NON-POTABLE: NA FT  
BUILDING FOUNDATIONS: 7 FT PROPERTY LINES: 10 FT POTABLE WATER LINES: 19 FT

SITE SUBJECT TO FREQUENT FLOODING:  YES  NO 10 YEAR FLOODING?  YES  NO  
10 YEAR FLOOD ELEVATION FOR SITE: 9.0 FT NGVD SITE ELEVATION: 5.0 FT NGVD

SOIL PROFILE INFORMATION SITE 1		
Munsell #/Color	Texture	Depth
10YR 4/2 Pt. Gray	Brown Sandy Clay	0 to 30
10YR 3/2v. Dark Gray	Brown Sand	30 to 62
	Refusal (Rock, Root?)	62 to
		to
		to
		to
		to
USDA SOIL SERIES: <u>35 Salerno/41 Jonathan</u>		

SOIL PROFILE INFORMATION SITE 2		
Munsell #/Color	Texture	Depth
10YR 4/2 Pt. Gray	Brown Sandy Clay	0 to 12
	<del>Dark Gray</del>	to
	Refusal - very hard	12 to 14
	"hardpan like" material	14 to
	Dk. Gray Brown Material,	to
	cemented.	to
		to
USDA SOIL SERIES: <u>35 Salerno/41 Jonathan</u>		

OBSERVED WATER TABLE: N/obs INCHES [ BELOW ] EXISTING GRADE TYPE: [ APPARENT ]  
ESTIMATED WET SEASON WATER TABLE ELEVATION: 24 INCHES [ below ] EXISTING GRADE.  
HIGH WATER TABLE VEGETATION:  YES  NO MOTTLING:  YES  NO DEPTH: NA INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: HR 8/105 fine sand replacement/mound DEPTH OF EXCAVATION: 30+ INCHES  
DRAINFIELD CONFIGURATION:  TRENCH  BED  OTHER (SPECIFY) \_\_\_\_\_

REMARKS/ADDITIONAL CRITERIA: \_\_\_\_\_

SITE EVALUATED BY: M Hedlth 03-0753 DATE: 12/15/03



RECEIVED

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ON-SITE SEWAGE TREATMENT SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

MARTIN COUNTY  
HEALTH DEPARTMENT

PERMIT NO. 43-SS-16144  
DATE PAID: 12/11/03  
FEE PAID: 200  
RECEIPT #: 63092

03-1215-N

APPLICATION FOR:

[X] New System [ ] Existing System [ ] Tank [ ] Innovative  
[ ] Repair [ ] Abandonment [ ] Temporary [ ]

APPLICANT: LEONARD SCHMADER

AGENT: G.J.B., INC. TELEPHONE: 208-7176

MAILING ADDRESS: 619 E. 5th St. STUART FL 34994

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 9 BLOCK: SUBDIVISION: GEWALL'S MEADOW PLATTED: 5/8/97

PROPERTY ID #: ZONING: I/M OR EQUIVALENT: [Y] [N]

PROPERTY SIZE: 0.53 ACRES WATER SUPPLY: [ ] PRIVATE PUBLIC [X] <=2000GPD [ ] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y] [N] DISTANCE TO SEWER: 1000 FT

PROPERTY ADDRESS: HENRY SEWALL WAY

DIRECTIONS TO PROPERTY: GEWALL'S POINT - GEWALL'S POINT RD. SOUTH TO HENRY SEWALL WAY - VACANT LOT @ CORNER OF HENRY SEWALL WAY & GEWALL'S POINT RD. - SEE LOCATION MAP

BUILDING INFORMATION [X] RESIDENTIAL [ ] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	MIDDLE FAMILY	3	2075	
2				
3				
4				

[ ] Floor/Equipment Drains [X] Other (Specify) DISPOSAL

SIGNATURE: STEPHEN J. BROWN DATE: 12/1/03

APPLICANT'S NAME: LEONARD SCHMADER

LEGAL DESCRIPTION: LOT 9 GEWALL'S MEADOW

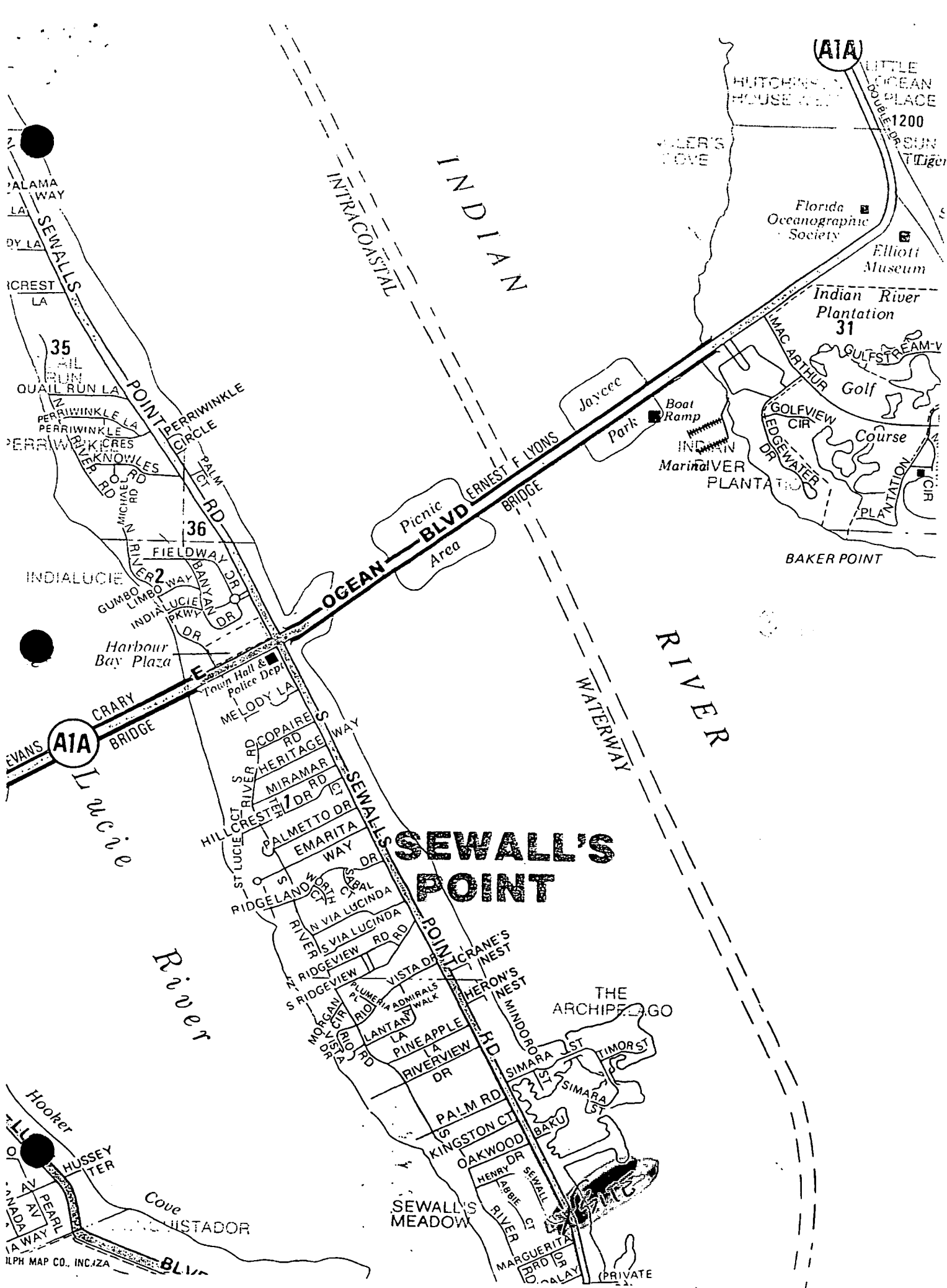
*PROPOSED SEPTIC SYSTEM SITE INFORMATION*

I certify that there are no potable private wells within 75 feet of the available area for the proposed septic system, that there are no non-potable wells within 50 feet of the available area for the proposed septic system, that there are no wells within 25 feet of a pesticide-treated building foundation, that there are no public wells that serve less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system, that there are no public wells that serve more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system, that the water line from the water meter or well to the structure is at least 10 feet from the available area for the proposed septic system unless the plans show the line to be double sleeved, that there is not a gravity sewer line, low pressure sewer line or vacuum sewage line in a public easement or right-of-way that abuts the property, that there are no lakes, streams, wetlands, or surface water within 75 feet of the available area for the proposed septic system unless the property was created prior to 1972, that the septic system is proposed on the side of the lot farthest from surface water, that all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot are shown on the site plan, that all public wells within 200 feet of the applicant's lot are shown on the site plan, and that the location of building or residences, swimming pools, recorded easements, paved areas or driveways, sidewalks, the general slope of the property, filled areas, drainage features, and surface waters such as lakes, ponds, streams, canals, or wetlands are shown on the applicants lot.

The natural grade elevation in the area of the proposed septic system and the benchmark must be shown on the site plan. Please locate the benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: STEPHEN J. BRAWL  
FLORIDA PROFESSIONAL NO.: 4049  
DATE: 12/4/03 JOB NO.: 1308-13-01



# SEWALL'S POINT

# **RESIDENCE FOR LEONARD SCHMADER LOT NINE, SEWALLS MEADOW**

## **DIVISION ONE - GENERAL REQUIREMENTS**

**1.1 Interpretation of Plans** The Architect's services do not include supervision of construction. The Architect divests himself of the responsibility of the work, errors or omissions resulting from the interpretation of the plans. If the Contractor believes he has discovered errors of omissions in the plans, the Contractor shall notify the Architect in writing for clarification before continuing work.

**1.2 Applicable Standards** All work under this Contract or Subcontracts shall conform to recent editions of local, state and national codes, ordinances and regulations pertaining to the work, A.C.I., A.N.S.I., A.S.T.M., O.S.H.A., etc.

### **1.3 General Conditions**

**1.3a Scope of Work.** Contractor shall furnish or provide for all items, articles, materials, operations or methods listed, mentioned or scheduled on drawings and/or herein specified, including all labor, materials, equipment and incidentals necessary and required to perform and complete work as shown in drawings and/or herein specified or as required for a completed project.

**1.3b Verifying Conditions.** Before commencing work, Contractor shall verify measurements and conditions at building site. Any differences between actual measurements and those shown on drawings shall be submitted to the Architect in writing before proceeding.

**1.3c Permits.** Contractor to provide all permits and fees as required from government agencies.

**1.3d Surveying.** Owner to provide original survey and septic application. contractor to provide all surveying as required during construction and shall verify all setbacks and elevations.

**1.3e Coordination.** Contractor to provide for all coordination required between Subcontracts and prime Contract. All chases, cutting, patches, etc. as required to be coordinated by Contractor. All patching shall be done to the satisfaction of the Owner.

**1.3f Job Site.** Contractor to maintain a neat and orderly job site. Individual Subcontractors to clean up after completion of their work. Final cleanup to be provided by Contractor.

**1.3g Workmanship.** All work executed at job site to be performed in a first class and workmanlike manner in accordance with latest accepted standards and practice for trades

involved. None but workmen experienced in work to be performed will be allowed to work.

**1.3h Change Orders.** Changes in work to be accomplished or materials to be furnished shall be done by signed Change Orders as a modification to Agreement. Cost of Change Orders not to exceed cost plus 10%.

**1.3i Temporary Facilities.** Contractor to provide for temporary water, power and sanitary facilities as required by work.

**1.3j Protection of Work and Property.** All material and equipment shall be properly protected and kept in clean condition. all pipe ends and parts of equipment left unconnected shall be capped or plugged. Any work or equipment that is damaged shall be repaired or replaced as required at no cost to Owner.

**1.3k Testing and Laboratory Services.** Inspections or tests required by code, ordinance or as indicated herein or on Drawings shall be the responsibility of and paid for by Contractor.

**1.3l Substitutions.** Any substitutions or approved equal substitutions will be submitted in writing to either Owner or Architect for approval.

**1.3m Guarantees.** General Contractor to provide Owner with all manufacturer supplied guarantees at end of job. General Contractor and all Subcontractors to provide one year guarantees on building and all systems and equipment supplied by Contract for one year after Certificate of Occupancy. Any required repairs will be made without charge to Owner for materials or labor in this period. Air conditioning refrigerant cycles to be guaranteed for five years from CO.

**1.4 Insurance** General Contractor is responsible for insuring that all Subcontractors are licensed and insured. Insurance shall cover property liability and all personal injury. all contract labor must also be so insured. General Contractor shall also cover builder's risk insurance on the project itself until the time of Certificate of Occupancy.

## **DIVISION TWO - SITE WORK**

**2.1 Excavation** Excavate site to levels required for construction. Strip soil of all deleterious material 5' 0" past exterior of building lines.

**2.2 Fill and Compaction** Provide clean, well-graded sand placed in maximum 12" lifts compacted to 95% of modified proctor maximum dry density, ASTM d-1557 at optimum moisture content. Compaction is to be verified by an independent testing laboratory and reported to Architect prior to commencement of foundation construction.

**2.3 Soil Treatment** Treat compacted soil with termite treatment that is convertible to a maintenance policy. Do not treat after heavy rains or when excessively wet.

**2.4 Sod and Sprinkler** by owner

**2.5 Water and Sewer.** Provide 1" water connection to house. Provide septic system as per Health Department permit.

**2.6 Drives and Walks** See site plan for location of walks and drives. Driveway and walks to be paverstone. Style and Color as selected by owner.

### **DIVISION THREE - CONCRETE**

**3.1 Concrete** Structural concrete shall develop a minimum strength of 3000 psi at 28 days. All concrete shall be ready-mixed and in accordance with ASTM C-94. Maximum allowable slump to be 5". All slabs to be 3000 psi at 28 days.

**3.2 Scope** Provide all structural concrete, filled cells, slabs, beams, footings, equipment pads, drives, walks, etc. as shown on drawings or as needed to complete job.

**3.3 Reinforcing** Reinforcing steel shall be deformed, new billet steel in accordance with ASTM A-615, Grade 60. All splices shall be in accordance with Chapter 7 of ACI 318-81, with a minimum splice of 40 bar diameters.

**3.4 Concrete Form Work** Adequate and safe design of form work and shoring is the responsibility of the Contractor. Sleeve slab and footing as required for mechanical and electrical.

**3.5 Crack Control** Provide "Fibermesh" crack control additive per manufacturer's specifications in all slabs, footings and grade beams 1.5 lbs/C.Y.

**3.6 Weatherproof Membrane** Provide .006" polyethylene vapor barrier beneath all slabs..

### **DIVISION FOUR - MASONRY**

**4.1 Unit Masonry** Concrete block units to conform with ASTM C-90. Provide shapes and sizes required to complete the work with a minimum of cutting and piecing. Provide reinforcement of the types shown on the drawings.

**4.2 Mortar** Provide mortar type "S" conforming with ASTM 270.

**4.3 Grout** Provide grout in accordance with ASTM C476.



**4.4 Execution** Except as shown on the drawings, lay up the concrete masonry units in running bond, tooling all joints except where scheduled to be stuccoed.

## **DIVISION FIVE - METALS**

**5.1 Miscellaneous Metals** Contractor shall furnish and install, or furnish for other trades, when required, all miscellaneous metal, steel and metal fabrications including, but not limited to hangers, anchors, bolts, plates, supports, lintels, brackets and other miscellaneous items necessary to frame or support the work.

## **DIVISION SIX - WOOD AND PLASTICS**

**6.1 Lumber** All lumber permanently incorporated into the structure shall be air or kiln-dried and shall contain not more than 19% moisture. Elevate and cover lumber on site to protect from moisture. All lumber and plywood shall be identified by grade stamps.

Furring shall be pressure treated yellow pine, installed as required, using shims, if necessary, to provide a true planer surface for finish materials. Ceiling is to be shimmed for smooth gypsum board finish.

Wood in direct contact with concrete, masonry, or soil shall be pressure treated with the requirements of the standards of the American Wood Preserver's Association.

All carpentry, rough and finish to be a first-class installation. No staples shall be visible in finished job interior or exterior.

**6.2 Wood Trusses** Wood trusses, beams by truss company and floor systems by truss company shall be designed and certified by a Florida Registered Structural Engineer. Installation and temporary field bracing shall be in strict accordance with manufacturer's specifications and applicable codes and standards. Wood trusses to be engineered to 140 MPH wind load.

**6.3 Field Measurements** Truss manufacturer to take measurements in field, as required, to verify or supplement dimensions on drawings and assume responsibility for fit of wood trusses.

**6.4 Rough Carpentry** Select material so that knots and defects will not interfere with placing bolts or proper nailing. Produce joints which are tight, true and well nailed, with members assembled in accordance with the drawings and with pertinent codes and regulations.

Lumber may be rejected by Architect or Owner, whether or not it has been installed, for excessive warp, twist, bow, mildew, mold, as well as for improper cutting or fitting.

All wood stud walls shall be 16" on center and shall be straight, true and plumb to a tolerance of 1/4" in 10 feet. Ceilings to be shimmed as required to level to 1/8" in ten feet.

Provide blocking as required for installation to support all finish or trim items. Provide blocking above all windows and sliding glass doors for installation of drapery hardware.

Comply with the nailing schedule and other fastening requirements contained in the pertinent regulations of governmental agencies having jurisdiction.

**6.5 Finish Carpentry** All trim to be paint grade, full length, non finger joint, except den. Den trim to be cherry. Note: Similar moldings of same dimensions from other companies may be substituted for Palm City Millwork profiles specified. Base - Palm City Millwork 202 (PCM). Window and door trim PCM 116 Window sill PCM 554B (with PCM 116 below) Crown - PCM 412A

## **DIVISION SEVEN - THERMAL AND MOISTURE PROTECTION**

**7.1 Insulation** Supply and install building insulation as required for the Work. Provide the following insulation: **All ceilings** R-30 batt insulation Provide 3/4" furring strips and R-4.2 fi-foil between furring strips on block walls . Provide 3/4" R5 foil faced foam over furring strips with gypsum board applied over foam insulation. Interior sound insulation to be R-11 batt.

**7.2 Roofing** Provide and Install Gerard Tile Gerard Shake per Dade County Product Approval.

**7.3 Flashing and Sheet Metal** Provide flashing and sheet metal not specifically described in other sections of these specifications, but required to prevent penetration of water through the exterior shell of the building complying with pertinent recommendations contained in the current edition of SMAACNA's "Architectural Sheet Metal Manual."

All flashing to be 16 ounce unless otherwise noted. Provide 16 ounce copper pans all doors that have less than a 10' overhang.

**7.4 Sealants and Caulkings** Standard caulking compound shall be a one part acrylic latex compound such as DAP latex caulk or Dewitt latex caulking. Color shall be manufacturer's standard paintable grade.

Provide primers, backup materials, bond-preventative materials, and other materials required for a complete and proper installation.

Joint filler shall be untarred oakum, fiberglass, polyurethane or polyurethane foam. Filler shall be compatible in all respects with caulking compound or sealant.

Standard caulking shall only be used for interior work. Sealant shall be used for all exterior caulking and both sides of expansion joints.

**Exterior sealant to one part Urethane, Tremco Dymonic or Sonneborn NP 1.Ultima.**

## **DIVISION EIGHT - DOORS AND WINDOWS**

**8.0 Impact resistance** Exterior doors and windows to have impact resistant glazing meeting the requirements of SSTD 12.

**8.1 Doors and Frames** Provide all doors and frames hung true and plumb as indicated on schedule. All interior doors to be flush birch, stain grade.

**8.2 Windows** Provide all windows as indicated on schedule. Install per product approval.

**8.3 Door Hardware** Door hardware to be Schlage series "A", style and finish to be selected.

**8.4 Mirrors** Provide clear plate glass mirrors as provided by allowance. Mirrors to be Type I, Class 1 (FS DD-G-451) with silver coating, copper protective coating and two (2) mil thick paint coating, comply with CS27. Provide mirrors as indicated on plans.

## **DIVISION NINE - FINISHES**

### **9.1 Gypsum Wallboard**

9.1a Work shall be done in strict accordance with the standards established in the U.S.G. Drywall Construction Handbook, latest edition, or comparable publication by other manufacturer, particularly in regard to fastener spacing and treatment of joints and corners.

9.1b All walls and ceilings to be slick finish.

9.1c Fasten wallboard with 1-1/4" type W bugle head screws. Space screws 12" on center on ceilings and 16" on center on walls.

9.1d Provide 1/2" gypsum board on all walls and 5/8" gypsum board on ceilings.

9.1e Provide a complete system of vinyl trim, (no metal.) (Corners, J-mold, etc.) Provide bull nose trim at all outside corners, door and window casing. (See Sheet T1)

9.1f All gypsum board in damp locations such as porch ceilings, baths, laundries, etc. to be moisture resistant. Shower surrounds to six feet above floor and tub surrounds to one foot above tub deck to be wonderboard or dens-glass underlayment.

## **9.2 Ceramic, Tile and Marble**

9.2a Comply with recommendations contained in the current edition of "Handbook for Ceramic Tile Installation" of the Tile Council of America.

9.2b Provide the ceramic tiles and marble as shown on drawings. Provide marble thresholds at doors indicated in door schedule. Provide non-slip or abrasive tiles on all floor surfaces. Provide colors and patterns as selected by Owner. Tile price to be covered by allowance.

## **9.3 Painting**

9.3a Prepare substrate and apply paint coatings in strict accordance with recommendations of the manufacturer of the approved paint system.

9.3b All surface shall be covered with the minimum number of coats as listed. Additional coverage shall be provided as required to cover all holidays.

9.3c Protect all exposed floors, porches, patios, walls, windows, etc. as required for full protection.

9.3d Sand with fine sandpaper between all coats applied to wood.

9.3e All coats must be thoroughly dry before application of additional coats.

9.3f Clean all surfaces, sand, putty and spackle as required before painting.

9.3g Finish tops and edges of all doors same as face. If bottom of door is cut, paint this surface.

9.3h Paint residue or overspray shall be removed from adjacent unpainted surfaces by painter.

9.3i Verify all stucco surfaces are properly cured before painting.

9.3j Exterior to receive one base color, one trim color and one ground floor color.

## **PAINTING SCHEDULE**

1. All paints to be Sherwin Williams or approved equal or as noted.
2. Exterior stucco: One (1) coat Mouriz Stucco primer. Two (2) coats Superpaint satin
3. Exterior wood: One (1) coat A100 wood primer; two (2) coats Superpaint gloss.
4. Interior Wallboard: One (1) coat Prepright high build primer, two (2) coats Cashmire medium luster.

5. Interior Ceilings: One (1) coat Prepright quick seal Two (2) coats Promar 200 flat Extra White.
6. Interior Doors and Trim: One (1) coat prep right quick seal, two (2) coats Promar 200 Int alkyd Gloss

## **DIVISION TEN - SPECIALTIES**

Provide specialties and install specialties as noted. Provide all blocking, recesses, etc. as required for installation of specialties.

**10.1 Bath Accessories** As provided by owner, installed by GC

**10.2 Shelving** All shelving closet maid, except master bedroom closets, California Closets by others.

## **DIVISION ELEVEN - EQUIPMENT**

Provide and install equipment as indicated. Provide all blocking, recesses, chases, power, etc. for installation of equipment. Provide Owner with all operation manuals, warranties etc. as provided with all equipment.

**11.2 Built-In Items** Attic access: Provide attic hatch(s) as indicated on plans.

**11.3 Additional Equipment**

**11.3a** Garage door openers: Provide garage door opener(s) as required, 1/3 horse power. Verify manufacturer of garage door openers with owner.

## **DIVISION FIFTEEN - MECHANICAL**

**15.1 Air Conditioning Systems**

**15.1a** Provide systems as shown on drawings, thermostat and controls as required to run system. HVAC contractor shall become familiar with site, documents pertaining to Scope of Work and general construction. He shall read and become familiar with specifications and shall perform his work in full accordance with all applicable paragraphs. Layout, balancing and testing necessary for complete installation of heating, ventilating and air conditioning systems as required by climate, nature of construction and site to the satisfaction of the Owner. This work includes, but is not limited to heating and cooling equipment, duct work, insulation, temperature controls, grilles and other items of equipment for a complete operating system. **SEER = 12.0 minimum.**

**15.1b** All grills to be standard size. Present plan showing grill locations to Architect for approval before fabricating duct work.

15.1c Provide condensate drain, 26 gauge galvanized auxiliary pan and drain to exterior.

15.1d Duct work shall be R-6 flexible duct or duct board.

15.1e Supply grills shall be white painted aluminum with opposed blade dampers. all dampers to have individual controls. all grills to be Metalaire or equal.

15.1f Provide air supply to all walk-in closets.

15.1g The A/C contractor to guarantee the system to maintain 75 degrees F at 91 degrees F outside temperature for cooling and 70 degrees F at 45 degrees F outside for heating.

## **15.2 PLUMBING**

15.2a Provide plumbing system, complete in place, tested and approved, where shown on drawings, as specified herein, and as needed for a complete and proper job.

15.2b All plumbing work and materials shall be in accordance with the latest edition of the Standard Plumbing Code, local ordinances and in compliance with the Energy Conservation Code.

15.2c Hose bibs shall be brass or bronze, fastened securely 18" above grade where shown on drawings. All hose bibs shall have a non-removable anti-syphon device installed.

15.2d Fixtures shall be protected against water hammer with air chambers when required.

15.2e Provide shut-off valves to all mains entering the building and each piece of equipment.

15.2f Install dielectric union at inlet and outlet of water heat. Install water heater in approved pan and provide drain line as required.

15.2g Building sewers, vents and all underground drainage lines shall be schedule 40PVC.

15.2h Water piping to be soft type L copper, under slab, hard above slab.

15.2j Insulation. Provide pipe insulation on refrigerant lines and domestic water lines as per industry standards. Insulation exposed to weather shall be protected as required.

15.2k Gather vents in attic as allowed and vent toward rear of house.

15.21 Provide 3/4" supply lines to master bedroom shower.

## **DIVISION SIXTEEN - ELECTRICAL**

### **Note:**

- 1) All switches and receptacles to be white Decora**
- 2) All dimmers to be slide type**
- 3) All fans to have slide speed controls**

### 16.1 Scope

Furnish all equipment and materials and perform all labor and services necessary to installation for a complete system for lighting and power. Each system shall be complete in all respects and shall be turned over to Owner in a first class operating condition and fully tested and complete with all devices which are normal for intended systems and those required for their safe operation.

### 16.2 Materials and Installation

Materials and manner of installation of electrical system shall be in strict accordance with the requirements of the local governing authorities having jurisdiction and the standards set forth by NFPA, U.L., or other recognized testing laboratories. The installation shall conform to the latest edition of the NEC.

16.3 Equipment mounted on the exterior of the building shall be designed, labeled and installed for exterior, weatherproof service conditions.

### 16.4 Service.

Contractor shall carry out all required arrangements with FPL for installation of the service, permits and inspection.

### 16.5 Telephone and Cable

Contractor shall furnish entrance service and distribution system with receptacles.

### 16.6 HVAC Wiring

Contractor shall provide wiring to air conditioning equipment including power wiring, control wiring and interlocking wiring in accordance with diagram as provided by Mechanical Subcontractor.

### 16.7 Panel Schedule

Panel shall be clearly marked as to all circuits.

Note: All decorative fixtures and ceiling fans to be supplied by Owner and installed by electrical Subcontractor.

Permit Number: \_\_\_\_\_

### Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: LEONARD J SCHMADER Phone (Day) 561-233-4453 (Fax) \_\_\_\_\_

Job Site Address: 102 HENRY SEWALL WAY City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Legal Description of Property: LOT 9 SEWALL'S MEADOW Parcel Number: \_\_\_\_\_

Owner Address (if different): 905 SANCTUARY COVE DRIVE City: N. PALM BEACH State: FL Zip: 33410

Description of Work To Be Done: NEW SINGLE FAMILY HOME

WILL OWNER BE THE CONTRACTOR?:  Yes  No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 275,000 (Notice of Commencement needed over \$2500)

#### SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT JOSEPH P McCARTY ARCHITECT INC Phone Number: 772-287-6735

Street: 900 EAST OSCEOLA STREET City: STUART State: FL Zip: 34994

ENGINEER V.J. GERLEY AND ASSOCIATES Phone Number: 772-334-2600

Street: 3190 NE MAPLE AVENUE City: JENSEN BEACH State: FL Zip: 34957

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: 2675 Garage: 937 Covered Patios: 566 Screened Porch: 915  
Carport: 0 Total Under Roof 5093 Wood Deck: 0 Accessory Building: 0

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
Leonard J. Schmader  
State of Florida, County of: Palm Beach  
This the 24<sup>th</sup> day of May, 2004  
by Leonard J. Schmader who is personally  
known to me or produced \_\_\_\_\_  
as identification. DD 553653041096-0

CONTRACTOR SIGNATURE (required)  
\_\_\_\_\_  
On State of Florida, County of: \_\_\_\_\_  
This the \_\_\_\_\_ day of \_\_\_\_\_, 200\_\_\_\_\_  
by \_\_\_\_\_ who is personally  
known to me or produced \_\_\_\_\_  
As identification. \_\_\_\_\_

Notary Public  
YLMA M. ULERIO  
Notary Public, State of Florida  
My comm. expires Feb. 2008  
No. DD 290634  
2/26/08  
3/16/10

My Commission Expires: \_\_\_\_\_  
Notary Public  
Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



## PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITALS FOR SINGLE FAMILY RESIDENTS

**IMPORTANT NOTICE:** All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

### Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (can be found on your deed, survey or Tax Bill)
3. Contractors name, address, phone, fax and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number,
6. Scope of Work
7. Estimated cost of construction.
8. Original signature of owner and notarized
9. Original signature of Contractor and notarized.

### Submittals (2 copies)

1. Current survey containing the following information:
  - a. Legal Description of Lot
  - b. Lot dimensions and bearings
  - c. Street and Waterway names
  - d. Grade elevations (proposed and existing)
  - e. Proposed swale and/or drainage arrows
  - f. Existing and proposed structures, decks, pads, etc.
  - g. Finish Floor Elevations (proposed and existing)
  - h. Crown of road(s)
  - i. Adjacent occupied/unoccupied
  - j. Easements
  - k. Setbacks
  - l. Road Right-Of-Ways
  - m. Well locations (proposed and existing)
  - n. Septic drainfield(s) (proposed and existing)
  - o. Canals, Ponds, or Riverfront locations
  - p. Retention areas (proposed and existing)
  - q. Impervious/Pervious calculations
  - r. Certified to the Town of Sewall's Point
2. Wind Load Certification Form (signed and sealed by Architect/Engineer)
3. Energy Calculations and Compliance Certification.
4. Product approvals from Miami/Dade for the following items:
  - a. Windows
  - b. Exterior Doors
  - c. Roof System
  - d. Garage Door
  - e. Hurricane Shutters

- f. Skylights
  - g. Glass blocks
  - h. Siding
5. Health Department Approval for septic system or information on existing system.
  6. Health Department Well permit or information on existing system.
  7. Statement of Fact (owner/builder affidavit)
  8. Proof of ownership (deed or tax recpt.)
  9. Application for tree removal or relocation (attach 2 tree surveys and removal or relocation plan)
  10. Manufactures specifications or shop drawings for fireplaces, stairs, etc.
  11. A certified copy of the Notice of Commencement for any work over \$2500.00
  12. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
  13. Copy of Workmen's Compensation
  14. Copy of Liability Insurance
  15. If property is over one (1) acre then a copy of the Florida Department of Environmental Protection (DEP) Stormwater Discharge Permit (see attached formwork for DEP)

**The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)**

1. **Floor Plan containing the following information:**
  - a. Square footage calculations
  - b. Scale – minimum ¼" per foot
  - c. All proposed and existing layouts of structures
  - d. Location of all pads/porches and patios
  - e. All dimensions exterior and interior to define design and construction
  - f. Room callouts
  - g. Elevation drops with size, steps, ramps, curbs, dashed outline for second story outline
  - h. Location of all windows and doors with egress requirements
  - i. Tempered glass locations
  - j. Door and window sizes
  - k. Location of all bathroom fixtures
  - l. Location of all kitchen fixtures and appliances
  - m. Water heater location
  - n. Hose bib locations
  - o. Attic access with size of opening
  - p. Beam callouts
  - q. All through wall or ceiling ventilation such as garage vents, dryer vent etc.
2. **Elevation Plan containing the following information:**
  - a. Front, Rear, and Side Elevations
  - b. All beam heights and changes in beams heights
  - c. Building heights from finish floor to top of roof (maximum 27 feet)
  - d. Height of chimney from top of roof to top of chimney max. 3 feet

- e. Location of all windows and doors
- f. Roof slope
- g. Wall finishes
- h. Vertical features and horizontal projections with dimensions

**3. Foundation Plan containing the following information:**

- a. Bearing walls exterior and interior
- b. Dimensions of all bearing walls exterior and interior
- c. All footings and pad locations
- d. Dimensions of all footing and pads
- e. Step downs (minimum for residence to garage 7 inches)
- f. Footing and Pad call outs for size (width and depth), steel (size, lap and placement)
- g. Any underslab mechanical duct work or gas piping
- h. Location of any in slab receptacle locations
- i. Column Layout
- j. Columns Schedule

**4. Electrical Plan containing the following information:**

- a. Show all receptacle, switch, and fixture locations
- b. Show all WPGFI's and GFI's locations
- c. Ceiling fan locations
- d. Attic or roof top receptacles and fixtures
- e. Service entrance
- f. Panel layout with circuits, loads, wire, breaker and conduit sizes
- g. Riser diagram with size of service, meter, ground, disconnects feeders and panels
- h. Any specialty lighting requirements
- i. Disconnect locations for residence, pool, pumps, etc.
- j. Load calculations
- k. Panel and sub-panel locations
- l. Meter can location

**5. Heating/Air Conditioning Plan containing the following information:**

- a. Air Handler locations showing kw rating
- b. Condensing unit locations
- c. Duct layout showing sizes of duct and size of diffusers
- d. CFM per outlet
- e. Distribution box locations
- f. Equipment callouts with name of equipment, model numbers and sizes

**6. Plumbing Plan containing the following information:**

- a. Plumbing riser diagram

**7. Truss Layout containing the following information:**

- a. Show location of all trusses

- b. Show location of all girders
- c. Uplift quantities for all trusses
- d. Connectors schedule for all trusses and girders
- e. Location of roof mounted equipment
- f. Location of all structural elements size and reinforcing

**8. Second Floor Framing Plan**

- a. Location of all floor trusses or joists
- b. Size of all structural members and spacing dimensions
- c. Location of all girders

**9. Section/Detail Drawings and Schedules showing the following information:**

- a. Wall section drawings for single and two story sections
- b. Show footings, slab, wall, ceiling and roof construction and insulation
- c. Window and door schedules showing design pressures (+ and - )
- d. Stair details showing riser height and tread width also handrail with baluster and newel post design showing distance between balusters and height of handrail from leading edge of tread
- e. Garage door buck detail showing type, size, length and spacing of connectors to be used
- f. Window buck detail showing type, size, length and spacing of connectors to be used
- g. Framing details of cupolas with connector callouts

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE  
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**

  
\_\_\_\_\_  
(SIGNATURE OF APPLICANT)

DATE SUBMITTED: \_\_\_\_\_

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):**

\_\_\_\_\_

**GENERAL DESCRIPTION OF IMPROVEMENT:** \_\_\_\_\_

**OWNER:** LEONARD J SCHMADER

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_

**FAX #:** \_\_\_\_\_

**CONTRACTOR:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_

**FAX #:** \_\_\_\_\_

**SURETY COMPANY(IF ANY):** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_

**FAX #:** \_\_\_\_\_

**BOND AMOUNT:** \_\_\_\_\_

**LENDER:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_

**FAX #:** \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

**NAME:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_

**FAX #:** \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

**PHONE #:** \_\_\_\_\_

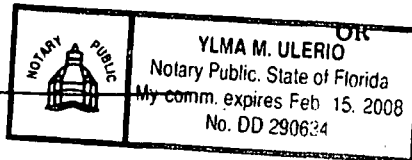
**FAX #:** \_\_\_\_\_

**EXPIRATION DATE OF NOTICE OF COMMENCEMENT:** \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Leonard J Schmader  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 24th DAY OF May  
19 BY Leonard J Schmader  
2004

[Signature]  
NOTARY SIGNATURE



PERSONALLY KNOWN  
PRODUCED ID   
TYPE OF ID DL FL S 53653041096-0  
12/26/02  
EXP 3/16/10

# OWNER'S AFFIDAVIT OF BUILDING COSTS

(To be submitted at time of final inspection for Certificate of Occupancy)

STATE OF FLORIDA  
MARTIN COUNTY

BEFORE ME, the undersigned authority, personally appeared the undersigned Affidavit, who, being first duly sworn, under penalty of perjury, deposes and says:

1. That Affidavit is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affidavit's signature.
2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ \_\_\_\_\_.
4. That this Affidavit is made for the purpose of inducing the Building Official of the Town to issue a Certificate of Occupancy for the improvements, with the intention that it be relied upon for that purpose.

Affidavit's Signature:

Leonard J. Schmale

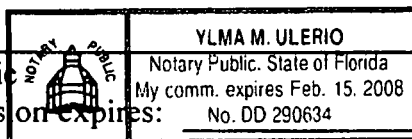
Property Address:

102 HENRY SEWALL WAY

SEWALL'S POINT, FL 34996

SWORN TO and subscribed before me this 24<sup>th</sup> day  
of May, 2008, by Leonard J.  
Schmale, who is personally known to me or  
produced DLFL 553650041096-0A as identification.  
12/26/02 - 3/16/10

Notary Public  
My commission expires:



(Notary Seal)

**TOWN OF SEWALL'S POINT**  
**Building Department**  
**One South Sewall's Point Road**  
**Sewall's Point, Florida 34996**

**POWER RELEASE AGREEMENT: PN: \_\_\_\_\_**  
**(To be submitted at final electrical inspection in order to turn on electric service)**

**Owner:** \_\_\_\_\_ **Address:** \_\_\_\_\_

**Project Address:** \_\_\_\_\_ **Legal: Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision:** \_\_\_\_\_

**General Contractor:** \_\_\_\_\_ **Lic/Cert. No.:** \_\_\_\_\_

**Address:** \_\_\_\_\_ **Tel:** \_\_\_\_\_ **Fax:** \_\_\_\_\_

**Electrical Contractor:** \_\_\_\_\_ **Lic/Cert. No.:** \_\_\_\_\_

**Address:** \_\_\_\_\_ **Tel:** \_\_\_\_\_ **Fax:** \_\_\_\_\_

**WHEREAS**, pursuant to the provisions of, and governed by the National Electrical Code and Ordinances of the Town of Sewall's Point, electric hook-up for use during building operations and for testing purposes under a valid building permit is authorized under prescribed terms and conditions; and,

**WHEREAS**, the above named responsible persons, firms or corporations have requested an electrical hook-up of \_\_\_\_\_ for the purpose of \_\_\_\_\_ at the above designated construction now in progress under a valid building permit; and equipment and completion of building operations as herein above described.

**NOW THEREFORE IT IS AGREED BY AND BETWEEN THE PARTIES THAT:**

1. The parties to this agreement are Gene Simmons, Building Official, Town of Sewall's point, and the above named responsible persons, firms, corporations.
2. In order to allow electrical service to be provided to certain equipment being placed at the referenced construction address the Building Official hereby agrees to grant an electrical hook-up permit.
3. This electrical hook-up will be revoked or a Certificate of Occupancy will be issued to verify completion.
4. The electric hook-up is solely for the purposes stated. No furniture or occupants will be moved into the building until a Certificate of Occupancy is issued.

IN WITNESS WHEREOF the parties have caused this agreement to be executed this \_\_\_\_\_ day of \_\_\_\_\_, 200\_\_\_\_\_.

\_\_\_\_\_  
SIGNATURE OF GENERAL CONTRACTOR

\_\_\_\_\_  
SIGNATURE OF ELECTRICAL CONTRACTOR

\_\_\_\_\_  
SIGNATURE OF OWNER

\_\_\_\_\_  
GENE SIMMONS, BUILDING OFFICIAL

# TOWN OF SEWALL' S POINT BUILDING DEPARTMENT

**Design Certification for Windload Compliance By Architect or Engineer of Record  
(To be submitted with application and construction drawing for permit)**

**PROJECT NAME AND ADDRESS**

**BUILDING DEPARTMENT USE ONLY**

SCHMADER RESIDENCE  
LOT 9 SEWALL'S MEADOW

BLDG. PERMIT # \_\_\_\_\_  
OCCUPANCY TYPE \_\_\_\_\_  
CONSTRUCTION TYPE \_\_\_\_\_

**STATEMENT**

I certify that, to the best of my knowledge and belief, these plans and specification have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced the Town of Sewall's Point Building Department. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I hereby accept responsibility for the structural design.

## BUILDING PARAMETERS AND ANALYSIS

**CODE EDITIONS: 2001 FLORIDA BUILDING CODE  
CHAPTER 6 OF ASCE 7- 98**

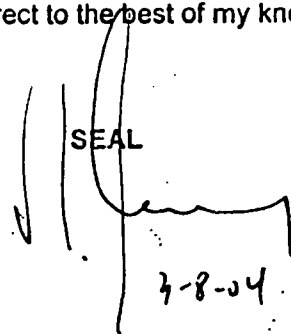
Building Design as: Partially Enclosed \_\_\_\_\_ Enclosed  Open \_\_\_\_\_ Wind Tunnel Test \_\_\_\_\_  
 Basic Wind Speed: 140 MPH 3 Second Gusts  Importance/Use Factor 1.0  
 Velocity Pressure: 30 psf Garage Door Design Pressure \_\_\_\_\_+(psf) (End Zone) -43 psf 37 +psf  
 Door Design Pressure (Int. Zone) 40 +psf 43 -psf (End Zone 40 +psf 52 -psf  
 Window Design Pressure (Int. Zone) 40 +psf 43 -psf (End Zone 40 +psf 52 -psf  
 Minimum Soil Bearing Pressure 2500 psf Exposure B Mean Building Height 21.8'  
 Floor Loads N/A Roof Dead Load 20 Shear Wall Considered  Yes \_\_\_\_\_ No \_\_\_\_\_  
 Continuous Load Path Provided  Yes \_\_\_\_\_ No \_\_\_\_\_  
 Components and Cladding Details Provided  Yes \_\_\_\_\_ No \_\_\_\_\_  
 Impact Protection (Exterior Openings): Approved Shutters \_\_\_\_\_ Impact Resistance Glass   
 (Must be indicated on permit documents for all residential/commerical buildings, alterations and renovations)

**NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST ALSO BE INDICATED ON CONSTRUCION PLANS.**

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

NAME: VICTOR J. GERLEY  
 CERTIFICATION# 21422  
 DATE: 3-8-04  
 DESIGN FIRM: V. J. GERLEY & ASSOCIATES

SEAL





**TOWN OF SEWALL'S POINT**  
**ONE SOUTH SEWALL'S POINT ROAD**  
**SEWALL'S POINT, FLORIDA 34996**

**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
**(To be submitted if permit is to be pulled by Owner/Builder)**

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

**I have read the above and agree to comply with the provisions as stated.**

**Name:** LEONARD J SCHMADER **Date:** MAY-24-2004

**Signature:** *Leonard J Schmader*

**Address:** 905 SANCTUARY COVE DRIVE

**City & State:** NORTH PALM BEACH, FL 33410

**Permit No.** \_\_\_\_\_

NOTICE OF AD VALOREM TAXES & NON-AD VALOREM ASSESSMENTS

44203

ORIGINAL FOR MARTIN COUNTY REAL ESTATE

AD VALOREM TAXES

I.D. NUMBER: 13-38-41-013-000-00090.00000 2003 TAX DISTRICT: 2200  
 ASSESSED VALUE: 126,000 EXEMPTIONS: 00 TAXABLE VALUE: 126,000

TAXING AUTHORITY	MILLAGE RATE	TAX AMOUNT
CNTY COUNTY-GENERAL FUND-OP	5.3950	679.77
CNTY-GOVT BONDS 1986	.2340	29.48
CNTY-BONDS LANDS FOR YOU	.1260	15.88
CNTY-F.I.T. BOND	.0520	6.55
SCHOOL SCHOOL-GENERAL FUND	8.2630	1,041.13
CHLD SVC CHILDRENS SERVICES ORDNCS	.3155	39.75
F.I.N.D. FL-INLAND NAVIGATION DIST	.0385	4.85
CITY SEWALLS POINT	1.8890	238.01
S.F.W.M. SOUTH FLA WATER MANAGEMNT	.6970	87.82

TOTAL MILLAGE 17.01000 AD VALOREM TAXES 2,143.24

NON-AD VALOREM ASSESSMENTS

ASSESSING AUTHORITY	PURPOSE	RATE BASIS	AMOUNT
COMBINED TAXES & ASSESSMENTS TOTAL:			2,143.24

EXEMPTION: NONE

13 38 41  
 LOT 9 SEWALL'S MEADOW (PB 14 PG  
 32)

PROPERTY  
 102 HENRY SEWALL WAY



13-38-41-013-000-00090.00000 2003  
 SCHMADER, LEONARD J (TR)  
 905 SANCTUARY COVE DR  
 WEST PALM BEACH FL 33410-4530

NOV 1-NOV 30 2,057.51    DEC 1-DEC 31 2,078.94    JAN 1-JAN31 2,100.38    FEB 1-FEB29 2,121.81    MAR 1-MAR 31 2,143.24    DELINQUENT ON APRIL 1, 2004

\*SEE REVERSE SIDE FOR INSTRUCTIONS PLEASE DETACH AND RETURN BOTTOM PORTION WITH YOUR PAYMENT\*

SCHOOL BOARD FEE



OFFICIAL RECEIPT  
(FOR MONEY RECEIVED)

No. 536471

DATE 5-19, 1904

Legal Svcs SCHOOL

RECEIVED FROM Len Schmader \$ 1006.03  
(NAME OR ORGANIZATION)

FOR School impact fees - 102 Henry Sewell Way

FOR DEPOSIT IN \_\_\_\_\_ FUND(S)


D. Eales  
PRINCIPAL OR RESPONSIBLE OFFICER

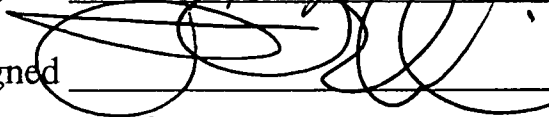
SEWALL'S MEADOW HOME OWNERS ASSOCIATION

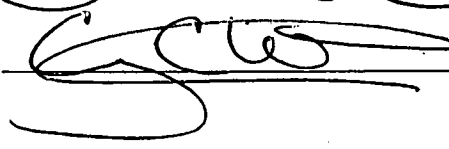
DESIGN REVIEW COMMITTEE

Approval for Leonard J Schmader to build one single family home on lot nine in Sewall's Meadow.

Architectural drawings by Joseph McCarty. Landscape design by Natural Design Studio, Mike Flaugh.

Signed  Date 4/25/04

Signed  Date 5/15/04

Signed  Date 5/18/04

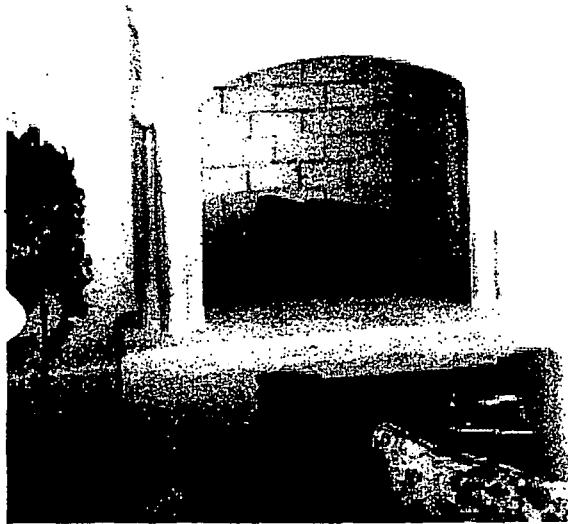
FIRE PLACE



earthcore industries, inc.  
exclusive North American  
importer of isokern fireplaces

- home
- history
- standard fireplace
- vent free fireplace
- patio fireplace
- dealers
- contact us

# STANDARD FIREPLACE



The Isokern Standard Fireplace offers the complete look of a "traditionally built" masonry fireplace and more. Firstly, all Isokern products are made of dense clean volcanic stone which offers high insulation and lightweight componentry for quick installations. The fireplace is then lined with true brick for a custom look and then a custom finish to the owner's choice. Isokern is the perfect choice for interior or exterior installations where true masonry is required for longevity.

Isokern Standard Fireplace comes in three size models: 36, 42 and 46 inch. All the sizes are 26.5 inches deep and 70, 77 and 70 inch overall height respectively. The Isokern Firebox is designed to accept the Isokern DM chimney components that are listed to UL The fireboxes weigh 1300, 1700 and 1700 pounds respectively before firebrick and damper, which will approximately add 300 pounds to the total. For other options please click on these links: [brick ledge](#) and [offset block](#).

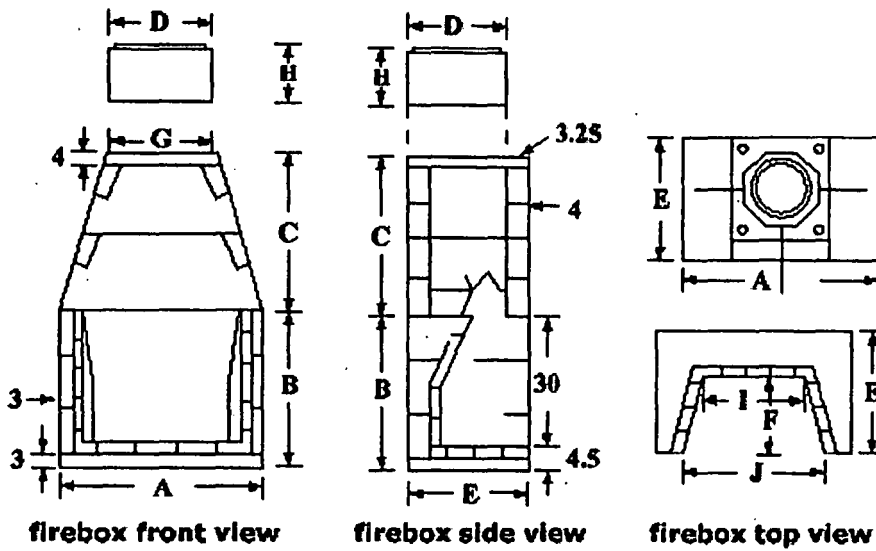
## technical specifications

- standard fireplace specs [here](#)
- ventfree fireplace specs [here](#)
- patio fireplace specs [here](#)
- brick ledge specs [here](#)
- offset specs [here](#)

## completed installations



All measurements are in inches.



Fireplace Size	A	B	C	D	E	F	G	H	I	J
36"	43	35	36	21.25	25.25	19	21.5	12	24	34
42"	48	35	42	21.25	25.25	19	21.5	12	30	39
46"	53	35	36	21.25	25.25	19	21.5	12	34	44

	Minimum Framing			Firebox Weight
36"	44W	73H	26.5D	1300 lbs
42"	50W	80H	26.5D	1700 lbs
46"	54W	73H	26.5D	1700 lbs

Chimney Weight

- 36" outer casing 85 lbs.
- 42" outer casing 85 lbs.
- 46" outer casing 45 lbs.

**INSTALLER/CONSUMER  
SAFETY INFORMATION**

**PLEASE READ THIS MANUAL  
BEFORE INSTALLING AND  
USING APPLIANCE**

**WARNING!**  
IF THE INFORMATION IN THIS  
MANUAL IS NOT FOLLOWED  
EXACTLY, A FIRE OR EXPLO-  
SION MAY RESULT CAUSING  
PROPERTY DAMAGE, PERSONAL  
INJURY OR LOSS OF LIFE.

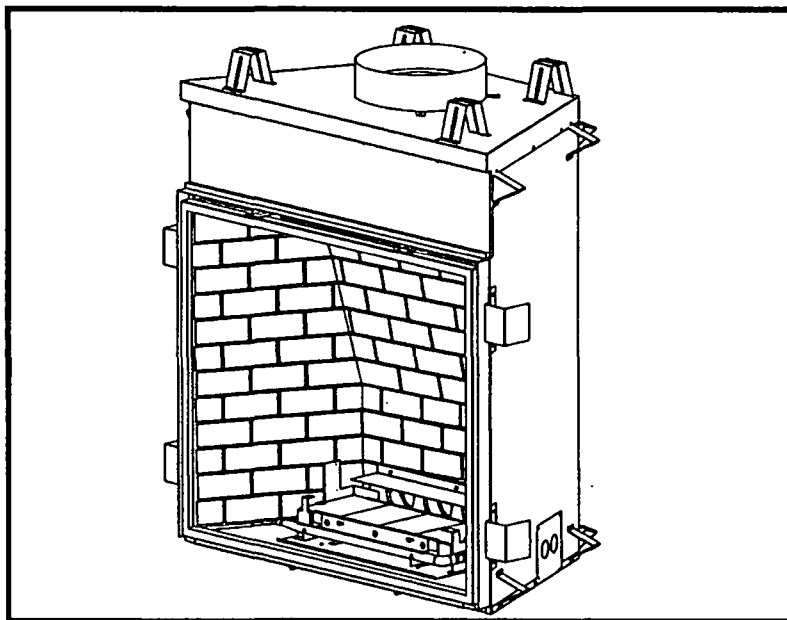
**FOR YOUR SAFETY**  
Installation and service must  
be performed by a qualified  
installer, service agency or  
the gas supplier.

- WHAT TO DO IF YOU SMELL GAS:**
- Do not try to light any appliance.
  - Do not touch any electric switch;
  - Do not use any phone in your building.
  - Immediately call your gas supplier from your neighbor's phone. Follow the gas suppliers instructions.
  - If you cannot reach your gas supplier call the fire department.

**DO NOT STORE OR USE  
GASOLINE OR OTHER  
FLAMMABLE VAPORS AND  
LIQUIDS IN THE VICINITY OF  
THIS OR ANY OTHER  
APPLIANCE.**

# **MAJESTIC** **VERMONT** *Castings*

**Chateau™**  
**Direct Vent Decorative  
Gas Appliance**  
**Model: DVT38, DVT44**



## **Installation Instructions and Homeowner's Manual**



**Vermont Castings, Majestic Products**

410 Admiral Blvd. • Mississauga, Ontario, Canada L5T 2N6 • 905-670-7777  
www.majesticproducts.com • www.vermontcastings.com



**INSTALLER: DO NOT DISCARD THIS MANUAL - LEAVE FOR HOMEOWNER**

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**Please read the installation & operating instructions before using this appliance.**

**Thank you and congratulations on your purchase of a Vermont Castings, Majestic Products fireplace.**

**IMPORTANT: Read all instructions and warnings carefully before starting installation.**

**Failure to follow these instructions may result in a possible fire hazard and will void the warranty.**

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## Installation & Operating Instructions

This gas fireplace should be installed by a qualified installer in accordance with local building codes and with current CSA-B149.1 Installation codes for Gas Burning Appliances and Equipment. For USA Installations follow local codes and/or the current National Fuel Gas Code. ANSI Z223.1/NFPA 54.

FOR SAFE INSTALLATION AND OPERATION PLEASE NOTE THE FOLLOWING:

1. This fireplace gives off high temperatures and should be located out of high traffic areas and away from furniture and draperies.
2. Children and adults should be alerted to the hazards of the high surface temperatures of this fireplace and should stay away to avoid burns or ignition of clothing.
3. **CAUTION: Due to high glass surface temperature children should be carefully supervised when in the same room as fireplace.**
4. Under no circumstances should this fireplace be modified. Parts removed for servicing should be replaced prior to operating this fireplace again.
5. Installation and any repairs to this fireplace must be performed by a qualified installer, service agency or gas supplier. A professional service person should be contacted to inspect the fireplace annually. More frequent cleaning may be required due to excess lint and dust from carpeting, bedding material, etc.
6. Control compartments, burners and air passages in this fireplace should be kept clean and free of dust and lint. Make sure that the gas valve and pilot light are turned off before you attempt to clean this fireplace.
7. The venting system (chimney) of this fireplace should be checked at least once a year and if needed your venting system should be cleaned.
8. Keep the area around your fireplace clear of combustible materials, gasoline and other flammable vapor and liquids. This fireplace should not be used as a drying rack for clothing, nor should Christmas stockings or decorations be hung on or around the fireplace.
9. Under no circumstances should any solid fuels (wood, coal, paper or cardboard etc.) be used in this fireplace.
10. The flow of combustion and ventilation air must not be obstructed in any way.
11. When the fireplace is installed directly on carpeting, vinyl tile or any combustible material other than wood, this fireplace must be installed on a metal or wood panel extending the full width and depth of the fireplace.
12. This fireplace requires adequate ventilation and combustion air to operate properly.
13. This fireplace must not be connected to a chimney flue serving a separate solid fuel burning fireplace.
14. When the fireplace is not in use it is recommended that the gas control valve be left in the "OFF" position.

**Proposition 65 Warning:** Fuels used in gas, woodburning or oil fired appliances, and the products of combustion of such fuels, contain chemicals known to the State of California to cause cancer, birth defects and other reproductive harm.  
California Health & Safety Code Sec. 25249.6

This appliance may be installed in an aftermarket permanently located, manufactured home or mobile home, where not prohibited by local codes.

This appliance is only for use with the type of gas indicated on the rating plate. This appliance is not convertible for use with other gases, unless a certified kit is used.

The DVT38/44 has been approved for mobile home installations.

### IMPORTANT:

#### PLEASE REVIEW THE FOLLOWING CAREFULLY

Remove any plastic from parts before turning the fireplace ON.

It is normal for fireplaces fabricated of steel to give off some expansion and/or contraction noises during the start up or cool down cycle. Similar noises are found with your furnace heat exchanger or car engine.

It is not unusual for your Vermont Castings, Majestic Products gas fireplace to give off some odor the first time it is burned. This is due to the curing of the paint and any undetected oil from the manufacturing process.

**Please ensure that your room is well ventilated-open all windows.**

It is recommended that you burn your fireplace for at least ten (10) hours the first time you use it.

### Locating Your Fireplace

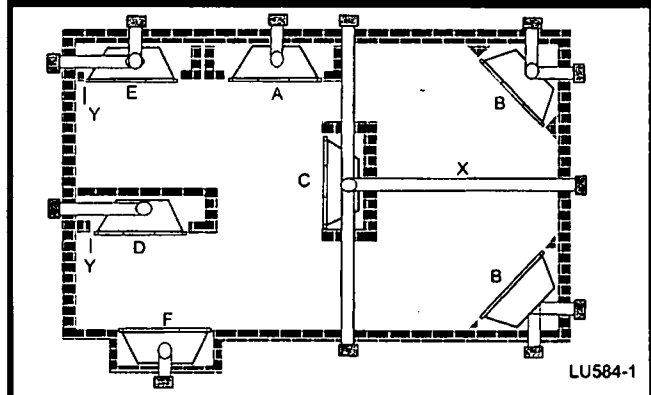


Fig. 1 Locate gas fireplace.

- A) Flat on wall    B) Cross corner    C) \*\*Island  
D) \*Room divider    E) \*Flat on wall corner    F) Chase installation  
Y) 6" minimum

#### Note (Fig. 1):

\*\* Island (C) and Room Divider (D) installation is possible as long as the horizontal portion of the vent system (X) does not exceed 20 feet (610cm). See details in Venting Section.

\* When you install your Vermont Castings, Majestic Products fireplace in (D) Room divider or (E) Flat on wall corner positions (Y), a minimum of 6" (152mm) clearance must be maintained from the perpendicular wall and the front side edge of the fireplace.

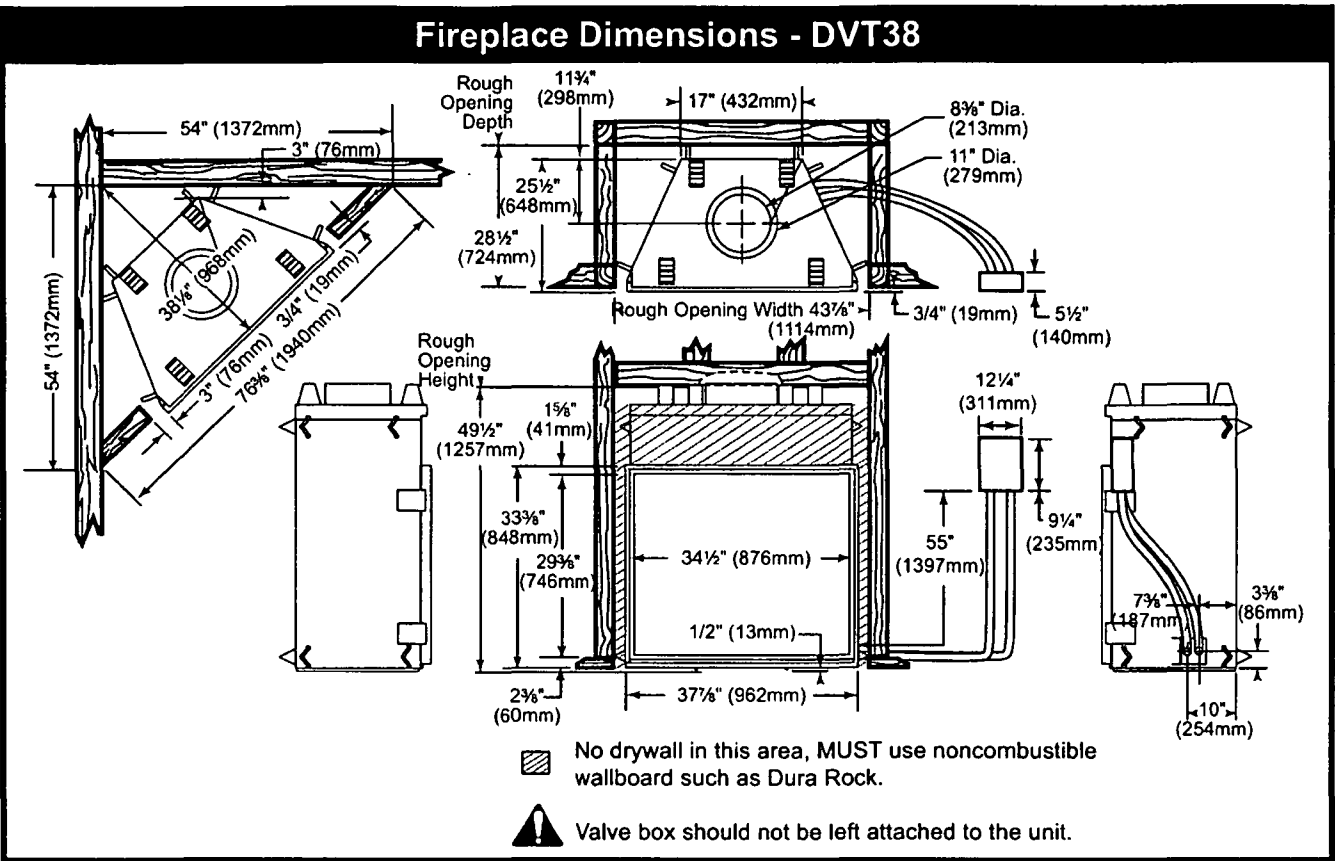


Fig. 2 Fireplace specifications and framing dimensions for DVT38.

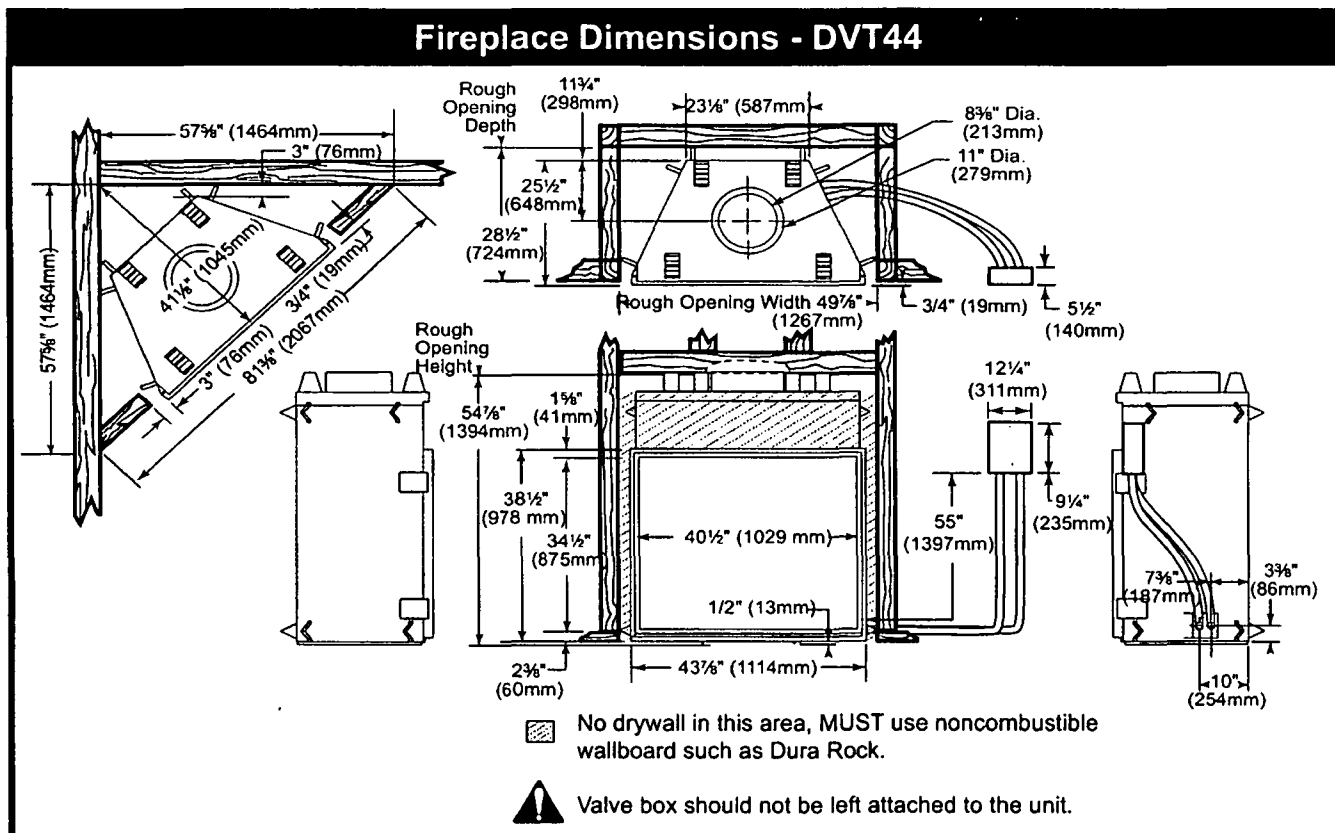


Fig. 3 Fireplace specifications and framing dimensions for the DVT44.

### Clearance to Combustibles

**Appliance**

Top Standoffs ..... 0" (0mm)  
 Bottom ..... 0" (0mm)  
 Side Standoffs ..... 0" (0mm)  
 Back Standoffs ..... 0" (0mm)

**Venting**

Horizontal Termination through-a-side wall:

**Vertical Sections:**

Sides ..... 2½" (64mm)

**Horizontal Sections:**

Top ..... 3½" (89mm)  
 Bottom ..... 1½" (38mm)  
 Sides ..... 2½" (64mm)

**Vertical Vent Application:**

Sides ..... 1½" (38mm)

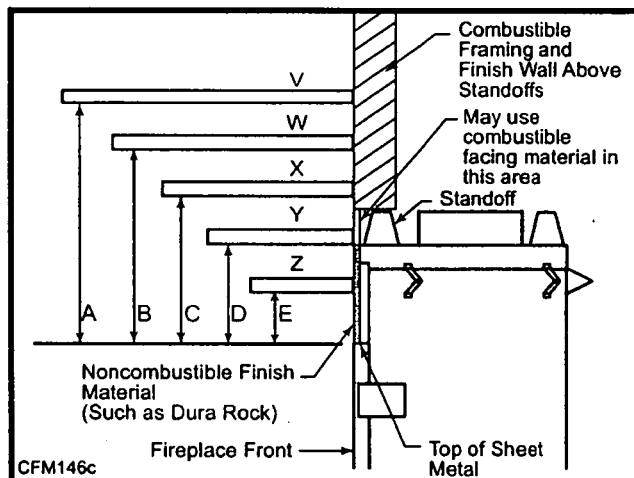
### Mantels

The height that a combustible mantel is fitted above the fireplace is dependent on the depth of the mantel. This also applies to the distance between the mantel leg (if fitted) and the fireplace.

For the correct mounting height and widths refer to Figs. 4a and 4b, the following Mantel Charts.

Noncombustible mantels and legs may be installed at any height and width around the appliance.

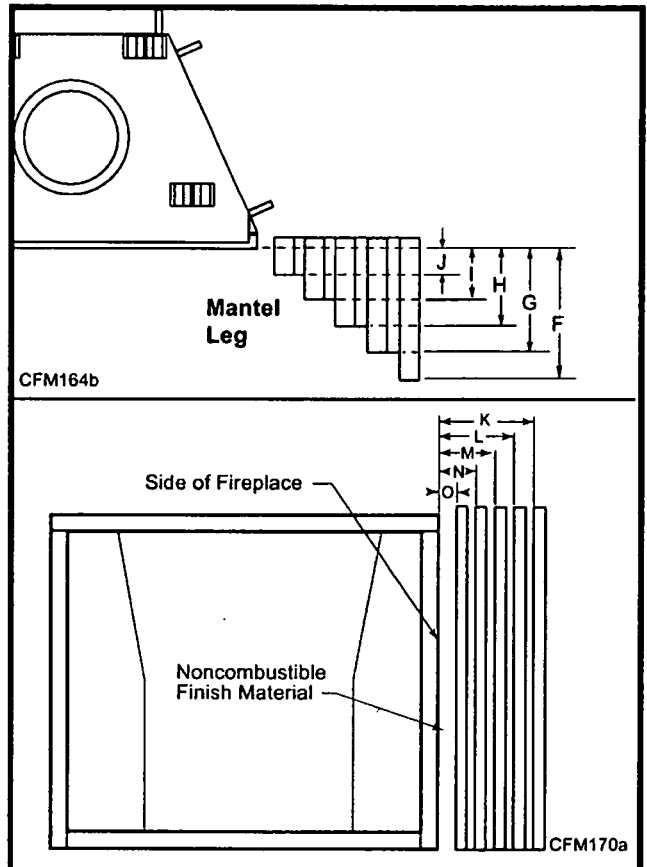
When using paint or lacquer to finish the mantel, such paint or lacquer must be heat resistant to prevent discoloration.



#### Mantel Chart

Ref.	Mantel Shelf or Breast Plate Depth	Ref.	Mantel from Top of Comb. Chamber
V	10" (254mm)	A	10" (254mm)
W	9" (229mm)	B	9" (229mm)
X	8" (203mm)	C	8" (203mm)
Y	7" (178mm)	D	7" (178mm)
Z	6" (152mm)	E	6" (152mm)

Fig. 4a Combustible mantel minimum installation.



Ref.	Mantel Leg Depth	Ref.	Mantel Leg from Side of Comb. Opening
F	12" (305mm)	K	12" (305mm)
G	9" (229mm)	L	9" (229mm)
H	6" (152mm)	M	6" (152mm)
I	4" (102mm)	N	4" (102mm)
J	3" (76mm)	O	3" (76mm)

Fig. 4b Combustible mantel leg minimum installation.

### Hearth

A hearth is not mandatory but is recommended for aesthetic purposes. We recommend a noncombustible hearth which projects out 12" (305mm) or more from the front of the fireplace. The hearth cannot exceed 1½" (38mm) in height from bottom of fireplace for ease of door accessibility. (Fig. 5)

**Cold climate installation recommendation:**



**When installing this unit against a non-insulated exterior wall or chase, it is mandatory the outer walls be insulated to conform to applicable insulation codes.**

## Framing and Finishing

**NOTE:** The valve box assembly must be installed in the same room as the fireplace.

1. Choose the unit location.
2. The unit is shipped with four (4) nailing flanges mounted to the sides near the front corners. (Fig. 5)
3. Frame the fireplace with a header across the top of the standoff. (Fig. 6) It is very important to allow for the finished wall face along with marble, tiles or any

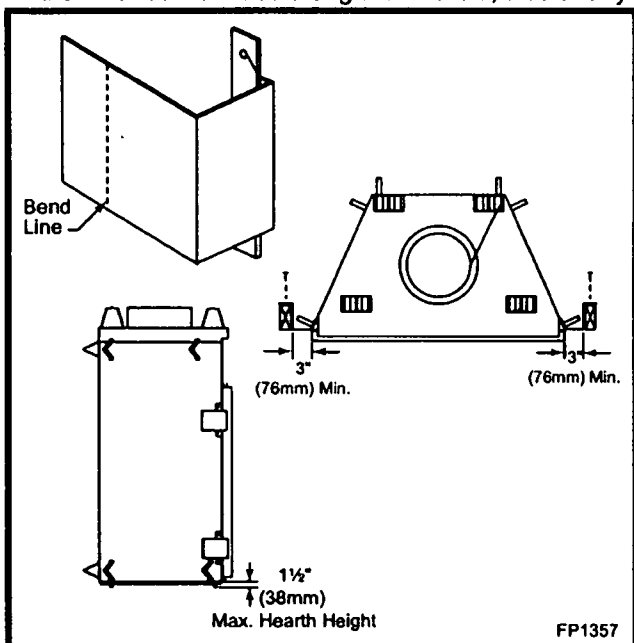


Fig. 5 Nailing flanges.

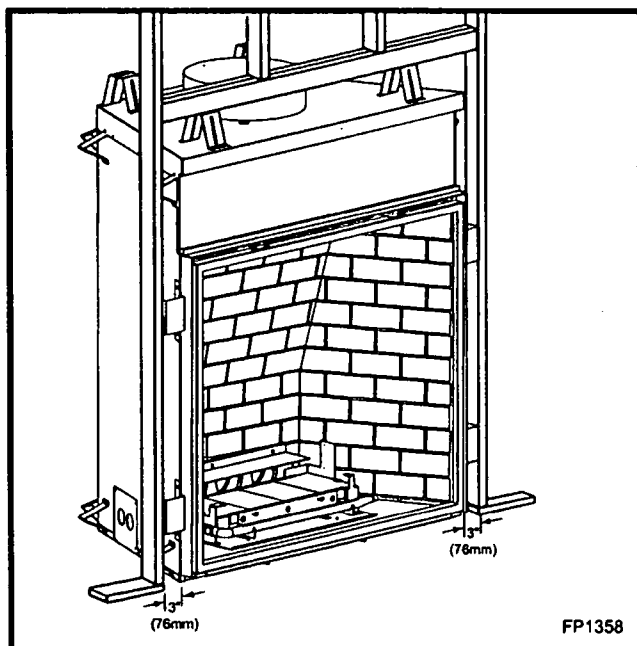


Fig. 6 Fireplace framing.

other noncombustible face finish material desired when setting the depth of the framing.

4. Attach the fireplace nailing flanges to the frame as shown in Figure 5.
5. The gas components are located in the control panel assembly attached to the right side of the unit. Choose the desired location on the wall or mantel for the valve box assembly: The conduit length is 5' (1524mm). (Fig. 7) The framing dimensions for the box are 12 1/4"L x 9 1/4"W x 5 5/8"D (311mm x 235mm x 143mm). When the framing for the box is complete, remove the screws securing the valve box to the outer casing. Carefully remove the valve box and, without stressing the conduit, slide the box into the framed opening. Replace the screws removed from the side of the outer casing.

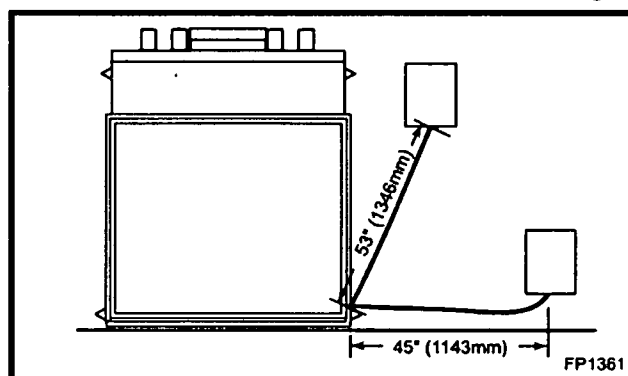


Fig. 7 Valve box assembly location.

6. To secure the valve box assembly to the framing members, open the box door, remove extension knob(s), remove the valve cover by removing the two (2) screws securing the valve cover to the box, hold the cover plate with one hand and disconnect the wires to the switch and pilot indicator (R models only). **NOTE:** Do not allow the valve cover plate to hang from the pilot indicator wires as this could damage the wires. Secure the box to the framing through the two (2) holes at the top and one (1) on each side using sheet rock screws. (Fig. 8) After framing the box, replace the wires, the valve cover, the extension knob(s) in reverse order. **NOTE:** The pilot indicator body is labelled +/-, make sure the positive wire on the pilot indicator goes to ground and the negative goes to the plug between the valve and the thermocouple.
7. The U-channel located on the top of the unit as well as the nailing flanges on the sides that were mentioned in Step 1, are designed to accommodate noncombustible board (recommended Dura-Rock). They are positioned 1" (25mm) back from the face of the unit. **NOTE:** The U-channel depth can be adjusted by loosening the hex nut inside the channel.

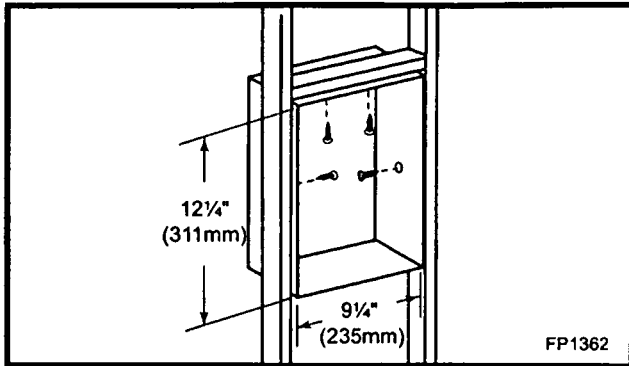


Fig. 8 Valve box framing.

If marble, tile or any other noncombustible decorative face finish material is desired, a 3" (76mm) wide noncombustible board (recommended Dura-Rock) is to be nailed to the nailing flanges on both sides of the unit. Also, 12" (305mm) of noncombustible board is to be nailed to the front face of the U-channel and the top framing member above the standoff.

Combustible material can then be brought to the outside edges of the noncombustible board installed earlier. Any noncombustible decorative face finish could be brought to the sides and top of the unit and can cover the framing and sheet rock. If a decorative facing is not desired, then the noncombustible boards must be double thickness and brought flush with the face of the unit.

### Final Finishing

Noncombustible materials such as brick or tile may be brought to the edges of the face of the appliance.

### Gas Specifications

MODEL	FUEL	GAS CONTROL	MAX. INPUT B.T.U.H	MIN. INPUT B.T.U.H
DVT38RN	Natural Gas	Millivolt	46,000	34,000
DVT38RP	Propane	Millivolt	46,000	36,000
DVT38EN	Natural Gas	24V Hi/Lo	46,000	34,000
DVT38EP	Propane	24V Hi/Lo	46,000	36,000
DVT44RN	Natural Gas	Millivolt	60,000	37,000
DVT44RP	Propane	Millivolt	60,000	45,000
DVT44EN	Natural Gas	24V Hi/Lo	60,000	37,000
DVT44EP	Propane	24V Hi/Lo	60,000	45,000

### Gas Inlet and Manifold Pressures

	Natural	LP (Propane)
Minimum Inlet Pressure	5.5" w.c.	11.0" w.c.
Maximum Inlet Pressure	14.0" w.c.	14.0" w.c.
Manifold Pressure	3.5" w.c.	10.0" w.c.

**DVT38 / DVT44**  
**Certified To**  
**ANSI Z21.50b-2002/CSA 2.22b-2002**  
**Vented Gas Fireplace**

**High Elevations**  
 Input ratings are shown in BTU per hour and are certified without deration for elevations up to 4,500 feet (1,370m) above sea level.  
 For elevations above 4,500 feet (1,370m) in USA, installations must be in accordance with the current ANSI Z223.1/NFPA 54 and/or local codes having jurisdiction.  
 In Canada, please consult provincial and/or local authorities having jurisdiction for installations at elevations above 4,500 feet (1,370m).

**WARNING: Improper installation, adjustment, alteration, service or maintenance can cause injury or property damage. Refer to this manual for correct installation and operational procedures. For assistance or additional information consult a qualified installer, service agency, or the gas supplier.**

### Gas Line Installation

- When purging gas line the front glass must be removed.
- A gas shut off valve must be installed on the gas pipe line going into the appliance within easy access.

The gas pipeline can be brought in through the bottom right side of the valve box assembly.  
 The gas line connection can be made with properly tinned 1/2" copper tubing or 1/2" gas tight. Some municipalities have additional local codes, it is always best to consult your local authority and the CSA-B149.1 installation codes.

For USA installations consult the current National Fuel Gas Code, ANSI Z223.1/NFPA 54.

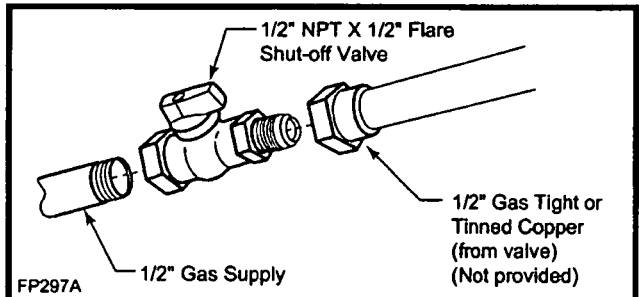


Fig. 9 Typical gas supply installation.



Always check for gas leaks with a mild soap and water solution applied with a brush no larger than 1" (25mm). Never apply soap and water solution with a spray bottle. Do not use an open flame for leak testing.



The fireplace valve must not be subjected to any test pressures exceeding 1/2 psi. Isolate or disconnect this or any other gas appliance control from the gas line when pressure testing.

The gas control is equipped with a captured screw type pressure test point, therefore it is not necessary to provide a 1/8" test point up stream of the control.

When using copper, use only approved fittings. Always provide a union when using black iron pipe so the gas line can be easily disconnected for burner servicing. A union may not be behind a wall. (Fig. 9) See the gas specifications for pressure details and ratings.

### Remote ON/OFF Switch



Do not wire the remote ON/OFF wall switch for this gas appliance into a 120V power supply.

The unit is equipped with an ON/OFF rocker switch at the valve box assembly. If a wall switch is desired, follow these instructions.

1. The valve box is equipped with two knockouts at the top right and left corners. The right knockout is designed to run the wall switch wires to the valve. Use Romex connectors when running wires through the valve box where the knockouts are located.
2. Attach the wire to the ON/OFF switch and install the switch into the receptacle box.
3. Connect the other end of the wire to the gas control valve. (Fig. 10)

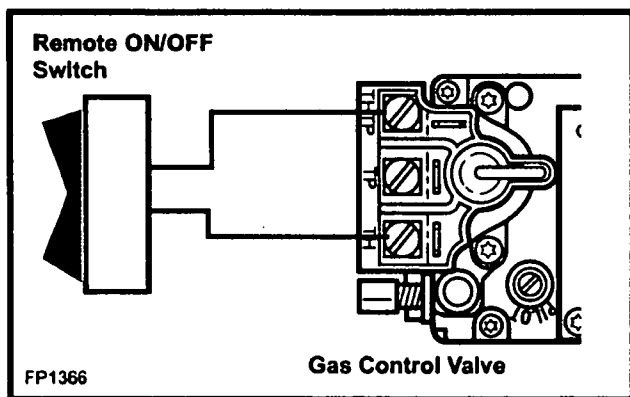


Fig. 10 Remote switch wiring diagram for R models.

### Electrical Junction Box (E Units Only)



The fireplace, when installed, must be electrically connected and grounded in accordance with local codes or, in the absence of local codes, with the current CSA C22.1 Canadian Electrical Code or the national electrical code ANSI/NFPA No. 70 in the USA.



It is strongly suggested that the wiring of the Electrical Junction Box be carried out by a licensed electrician. The box should be near the valve box assembly to plug the cord into.



Ensure the power to the supply line has been disconnected before commencing this procedure.

### Electronic Gas Control Valve

This appliance may be fitted with a Honeywell ignition module. The unit is shipped from the manufacturer with an ON/OFF switch. The ON/OFF switch is located in the valve box assembly. If desired a wall switch may be used.

Installation of the remote ON/OFF switch on electronic ignition units:

1. The valve box is equipped with two knockouts at the top right and left corners. The right knockout is designed to run the wall switch wires to the valve. The left knockout is designed for wiring the electronic unit (E model) to 120v with proper grounding. Use Romex connectors when running wires through the valve box where the knockouts are located.
2. Attach the wire to the ON/OFF switch and install the switch into the receptacle box. (Fig. 11)
3. Connect the White wire from the wall switch to the Black wire from the transformer, using an approved wire nut or terminal. Connect the Black wire from the wall switch to the Black wire running from the #6 position of the ignition module, also using an approved wire nut or terminal.

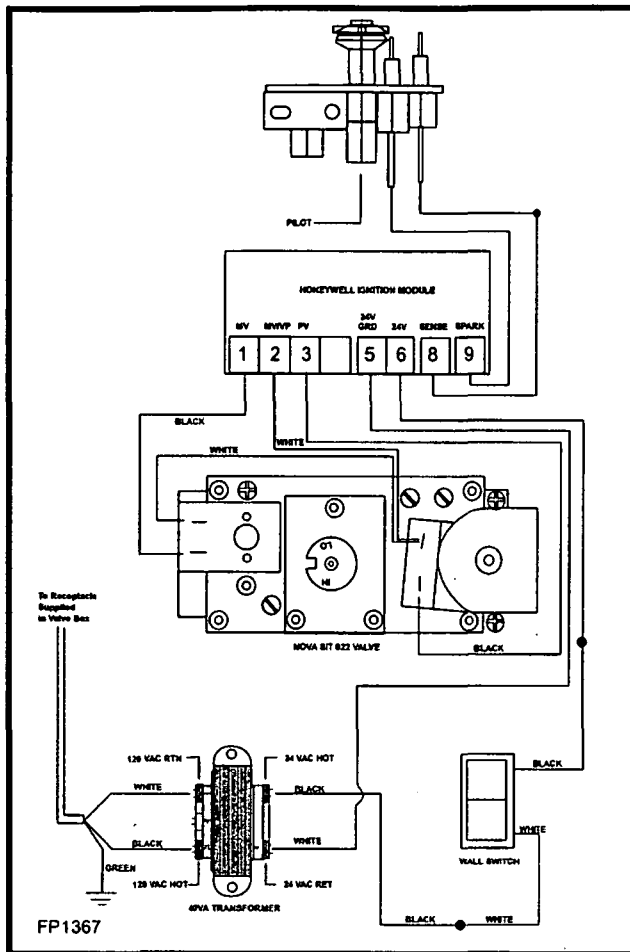


Fig. 11 Honeywell ignition module.

## General Venting

Your fireplace is approved to be vented either through the side wall, or vertical through the roof.

- Only Vermont Castings, Majestic Products venting components specifically approved and labelled for this fireplace may be used.
- Venting terminals shall not be recessed into a wall or siding.
- Horizontal venting must be installed on a level plane without an inclining or declining slope.

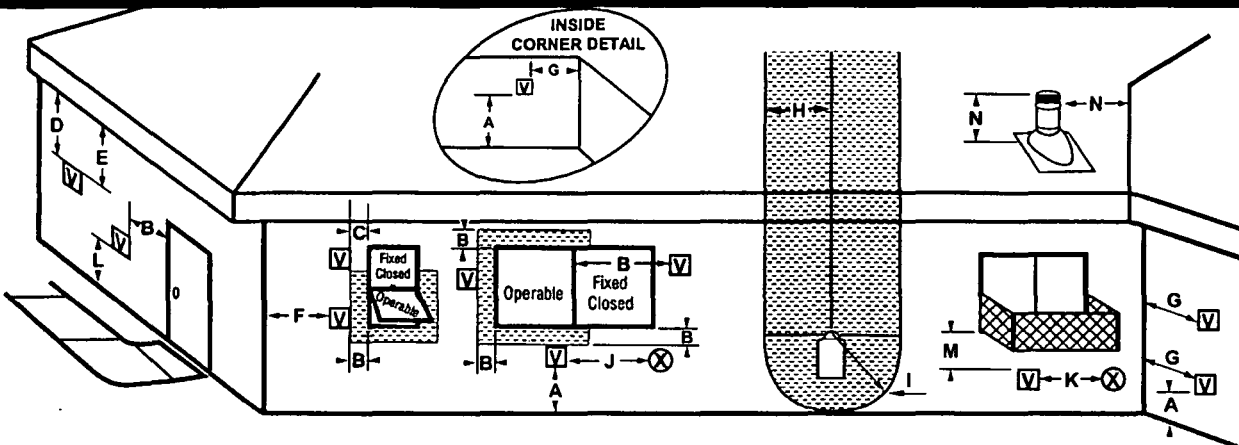
There must not be any obstruction such as bushes, garden sheds, fences, decks or utility buildings within 24" (610mm) from the front of the termination hood.

Do not locate termination hood where excessive snow or ice build up may occur. Be sure to check vent termination area after snow falls, and clear to prevent accidental blockage of venting system. When using snow blowers, make sure snow is not directed towards vent termination area.

### Location of Vent Termination

It is imperative the vent termination be located observing the minimum clearances as shown on following page.

General Venting Information - Termination Location



CFM145a

☑ VENT TERMINATION    ⊗ AIR SUPPLY INLET    ▨ AREA WHERE TERMINAL IS NOT PERMITTED

	Canadian Installations <sup>1</sup>	US Installations <sup>2</sup>
A = Clearance above grade, veranda, porch, deck, or balcony	12" (30cm)	12" (30cm)
B = Clearance to window or door that may be opened	6" (15cm) for appliances < 10,000 Btuh (3kW), 12" (30cm) for appliances > 10,000 Btuh (3kW) and < 100,000 Btuh (30kW), 36" (91cm) for appliances > 100,000 Btuh (30kW)	6" (15cm) for appliances < 10,000 Btuh (3kW), 9" (23cm) for appliances > 10,000 Btuh (3kW) and < 50,000 Btuh (15kW), 12" (30cm) for appliances > 50,000 Btuh (15kW)
C = Clearance to permanently closed window	12" (305mm) recommended to prevent window condensation	12" (305mm) recommended to prevent window condensation
D = Vertical clearance to ventilated soffit located above the terminal within a horizontal distance of 2 feet (610mm) from the center line of the terminal	18" (458mm)	18" (458mm)
E = Clearance to unventilated soffit	12" (305mm)	12" (305mm)
F = Clearance to outside corner	see next page	see next page
G = Clearance to inside corner (see next page)	see next page	see next page
H = Clearance to each inside of center line extended above meter/regulator assembly	3' (91cm) within a height of 15' above the meter/regulator assembly	3' (91cm) within a height of 15' above the meter/regulator assy
I = Clearance to service regulator vent outlet	3' (91cm)	3' (91cm)
J = Clearance to nonmechanical air supply inlet to building or the combustion air inlet to any other appliances	6" (15cm) for appliances < 10,000 Btuh (3kW), 12" (30cm) for appliances > 10,000 Btuh (3kW) and < 100,000 Btuh (30kW), 36" (91cm) for appliances > 100,000 Btuh (30kW)	6" (15cm) for appliances < 10,000 Btuh (3kW), 9" (23cm) for appliances > 10,000 Btuh (3kW) and < 50,000 Btuh (15kW), 12" (30cm) for appliances > 50,000 Btuh (15kW)
K = Clearance to a mechanical air supply inlet	6' (1.83m)	3' (91cm) above if within 10' (3m) horizontally
L = Clearance above paved sidewalk or paved driveway located on public property	7' (2.13m)†	7' (2.13m)†
M = Clearance under veranda, porch, deck or balcony	12" (30cm)‡	12" (30cm)‡
N = Clearance above a roof shall extend a minimum of 24" (610mm) above the highest point when it passes through the roof surface, and any other obstruction within a horizontal distance of 18" (450mm).		

<sup>1</sup> In accordance with the current CSA-B149 Installation Codes

<sup>2</sup> In accordance with the current ANSI Z223.1/NFPA 54 National Fuel Gas Codes

† A vent shall not terminate directly above a sidewalk or paved driveway which is located between two single family dwellings and serves both dwellings

‡ only permitted if veranda, porch, deck or balcony is fully open on a minimum 2 sides beneath the floor:

NOTE: 1. Local codes or regulations may require different clearances.

2. The special venting system used on Vermont Castings, Majestic Products Direct Vent Fireplaces are certified as part of the appliance, with clearances tested and approved by the listing agency.

Fig. 12 Vent termination clearances.



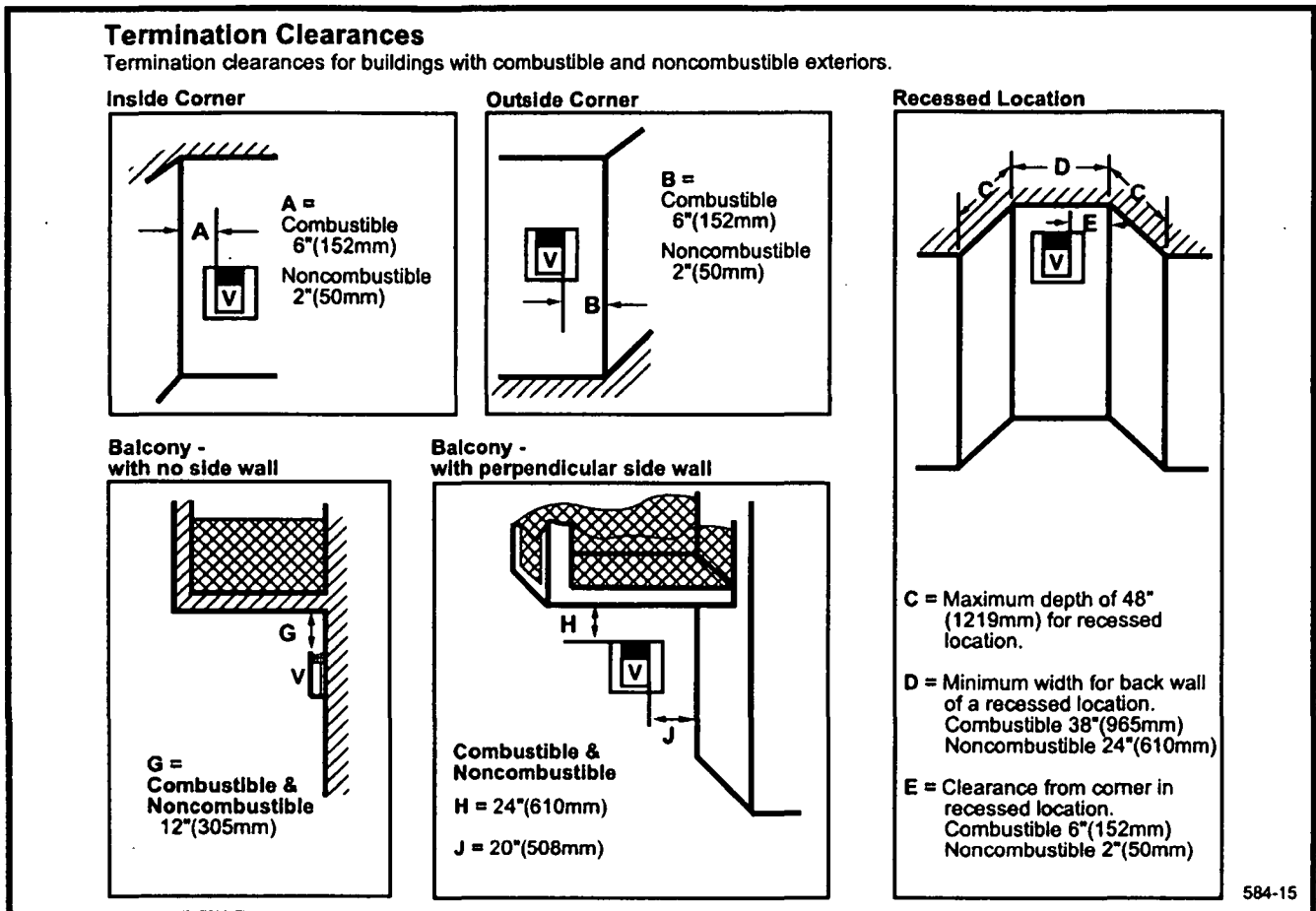


Fig. 13 Termination clearances.

## General Information Assembling Vent Pipes

### SK8 Venting Pipes

#### Canadian Installations:

The venting system must be installed in accordance with the current CSA-B149 .1 installation code.

#### USA Installations:

The venting system must conform with local codes and/or the current National Fuel Gas code ANSI Z223.1/NFPA 54.

Only venting components manufactured by Vermont Castings, Majestic Products can be used in Direct Vent systems.

**NOTE:** The joints of inner and outer pipe must be taped with UL (69M2) approved high temperature metal adhesive tape for proper sealing. When using the unitized 30Y, 45Y or 90Y elbows, apply 1/4" bead of high temperature sealant (milpack or stove cement) to the joint of the inner pipe (flue pipe) and the straight section as it is impossible to be taped. The outer pipe must be taped with UL (69M2) approved high temperature metal adhesive tape for proper sealing.

Start by attaching the first vent pipe section to the collar on top of the fireplace. In order to attach the first pipe section, it may be necessary to remove the top shield. Remove four (4) screws securing top shield, install first pipe section and replace top shield.

Install the pipe as shown in Figure 14. When you get a good lock, you will hear the pipe clearly snap together. Once sections are snap-locked in place, it is extremely difficult to get them apart. Make sure the pipe is firmly snapped and locked together as each pipe section is mounted.

When installing elbows, follow the same procedure. The joints of inner and outer elbow must be taped with UL approved high temperature metal adhesive tape for proper sealing. Be sure to always attach straps on upper elbow to a structural framing member.

For vertical installations, continue installing the pipe as required until pipe is installed up through the ceiling. At this point, you must install a firestop spacer.

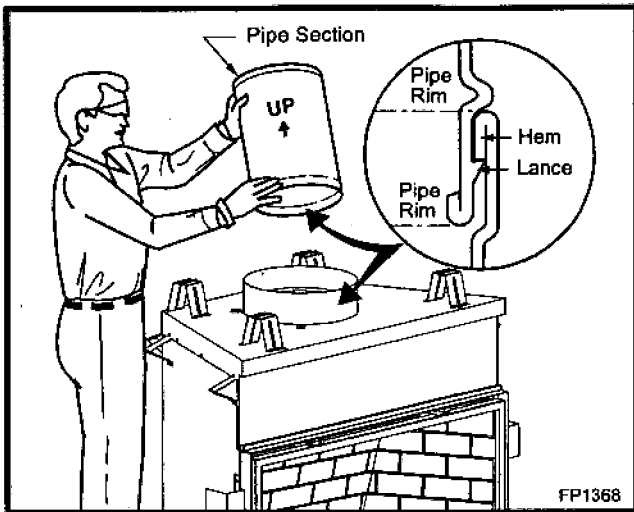


Fig. 14 Install pipe, listening for the snap-lock to fasten.

### Horizontal Termination

The vent must rise vertically a minimum of 24" (610mm) off the top of the unit, before the first elbow. The horizontal run may extend up to 20' (6m) and include a vertical rise of up to 40' (12m). (Fig. 15) Horizontal termination must also meet the criteria shown in Figures 12 & 13.

- Approved vent systems must terminate above and including the heavy line in Figure 15.
- Two 45° elbows may be substituted for each single 90° elbow.
- With a rise between 2' - 4', one (1) 90° or two (2) 45° elbows may be used.

### Vertical Termination

A vertical vent system must terminate no less than 12' (3.66m) and no more than 40' (12m) above the appliance flue collar. A 2' (610mm) vertical section must be installed before any offset. A maximum of 20' (6.1m) horizontal and three (3) 90° elbows may be installed with a minimum of 12' (3.66m) vertical section above the flue collar of the unit. Refer to Page 15, Figure 26 for more information.

A vertically terminated vent system must also conform to the following criteria:

- No more than three (3) 90° elbows may be used.
- Two (2) 45° elbows may be substituted for one (1) 90° elbow. No more than six (6) elbows may be used.
- Vent must rise a minimum of 2' (610mm) before offset is used.
- Termination height must conform to roof clearance as specified in Figure 34.

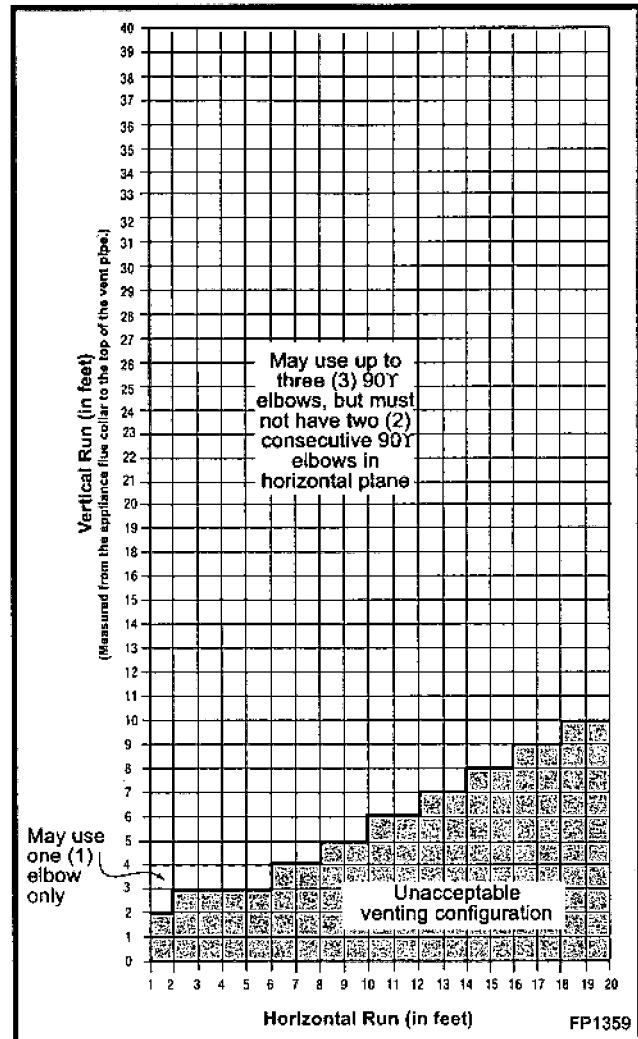


Fig. 15 Horizontal vent termination window.

### Sidewall Applications



Since it is very important that the venting system maintain its balance between the combustion air intake and the flue gas exhaust, certain limitations as to vent configurations apply and must be strictly adhered to.

### Use of the Restrictor Plates in Horizontal Venting Applications

The primary purpose for the vent restrictor plate is to regain flame height under certain venting conditions as outlined below.

#### DVT44 ONLY

When using the horizontal starter vent kit, SK8DVSK, with natural gas, do not use the restrictor plate. If using this vent kit with liquid propane, the 4½" restrictor plate may be used. (Fig. 16)

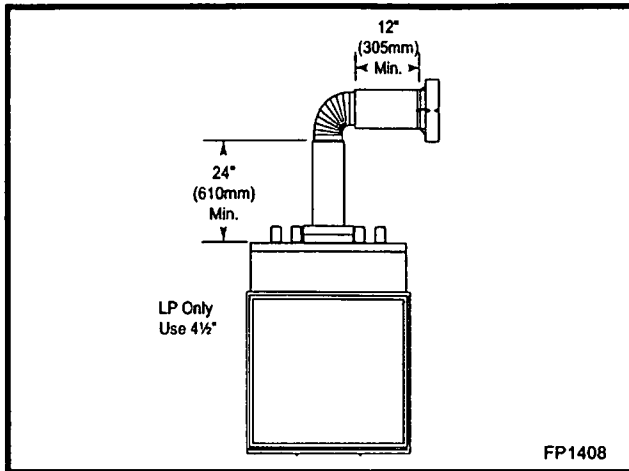


Fig. 16 Restrictor plate in horizontal venting.

For propane unit, fresh air restrictor plate is shipped from the factory at the #2 setting and can be adjusted to setting #1 in some applications if needed. Refer to Pages 20 & 21, Figures 36 & 38 for restrictor plate installation and fresh air plate setting adjustment.

**DVT38 ONLY**

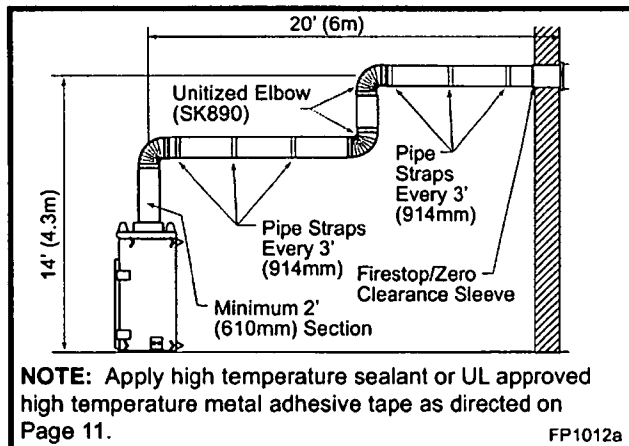
When using the horizontal starter vent kit, SK8DVSK, with liquid propane, do not use the restrictor plate. If using this vent kit with natural gas, the 3" restrictor plate may be used. (Fig. 16)

The vent graph showing the relationship between vertical and horizontal side wall venting will help to determine the various dimensions allowable.



**Minimum clearance between vent pipes and combustible materials is 3 1/2" (89mm) on top, 2 1/2" (64mm) on both sides and 1 1/2" (38mm) on the bottom.**

When the vent termination exits through foundations less than 20" (508mm) below siding outcrop, the vent pipe must be flush with the siding.



**NOTE:** Apply high temperature sealant or UL approved high temperature metal adhesive tape as directed on Page 11.

Fig. 17 Support straps for horizontal runs.

It is always best to locate the fireplace in such a way that minimizes the number of offsets and horizontal vent length of vent pipe from the flue collar of the fireplace to the face of the outer wall.

Horizontal plane means no vertical rise exists on this portion of the vent assembly.

- The maximum number of 90° elbows per side wall installation is three (3), but must not have two (2) consecutive elbows in the horizontal plane.
- A minimum of 2' (610mm) vertical section off the top of the unit is required, an elbow and a 1' (305mm) maximum horizontal run to get through a wall. (Fig. 18)
- The maximum number of 45° elbows permitted per side wall installation is two (2). These elbows can be installed in either the vertical or horizontal run. (Fig. 19)
- For each 45° elbow installed in the horizontal run, the length of the horizontal run **MUST** be reduced by 18" (45cm). This does not apply if the 45° elbows are installed on the vertical part of the vent system. For each 90° elbow installed in the horizontal run, the length of the horizontal run **MUST** be reduced by 36" (91cm).
- The maximum number of elbow degrees in a system is 270°. (Fig. 20)

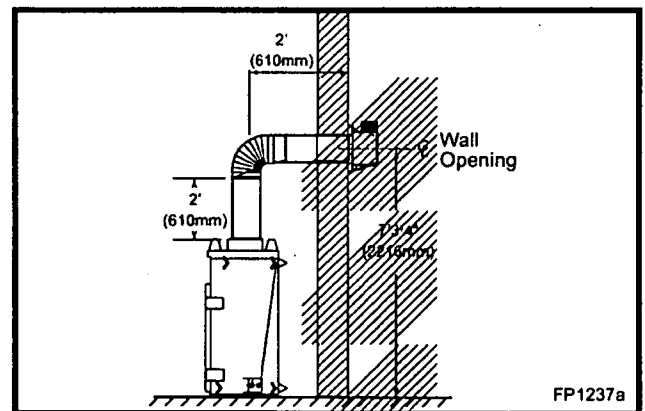


Fig. 18 Minimum vertical run / maximum horizontal run.

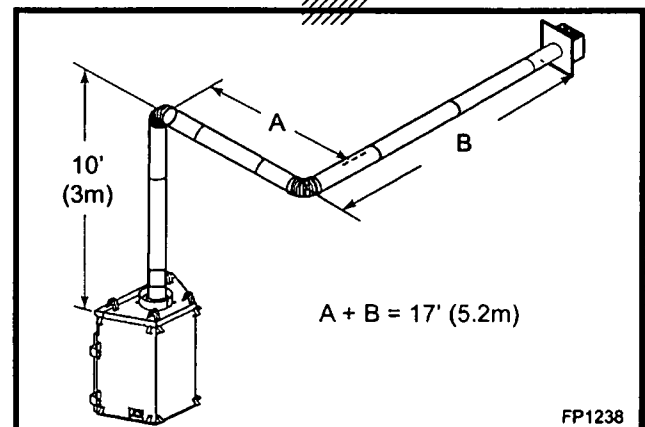


Fig. 19 Maximum vent run with elbows.

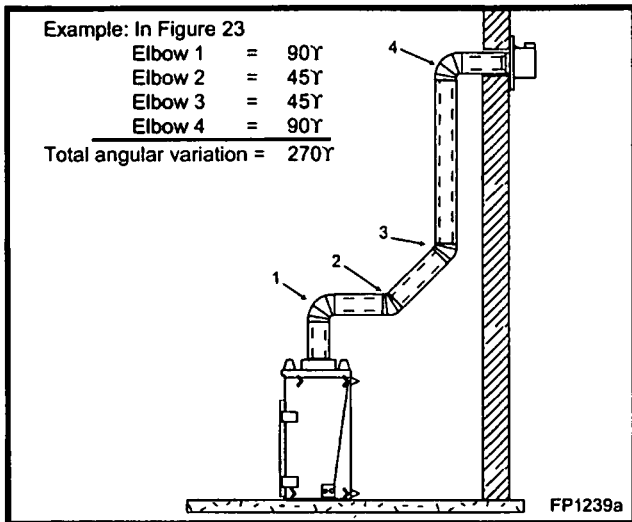


Fig. 20 Maximum number of elbow degrees.

### Sidewall Installation

#### STEP 1

Locate vent opening on the wall. It may be necessary to first position the fireplace and measure to obtain hole location. Depending on whether the wall is combustible or noncombustible, cut opening to size. (Fig. 21)

For combustible walls first frame in opening.

**Combustible Walls:** Cut a 16¼" H x 16¼" W (413mm x 413mm) hole through the exterior wall and frame as shown.

**Noncombustible Walls:** Hole opening must be 11¼" (286mm) in diameter.

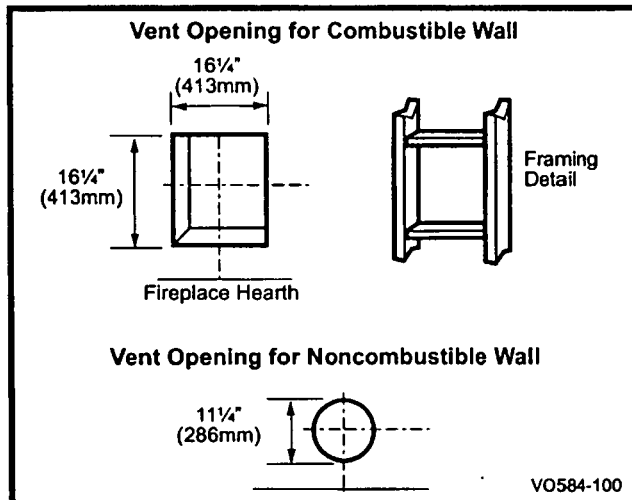


Fig. 21 Locate vent opening on wall.

#### STEP 2

Measure wall thickness and cut zero clearance sleeve parts to proper length (MAXIMUM 12"/305 mm). Assemble sleeve using #8 sheet metal screws (supplied). (Fig. 22) Install firestop assembly. (Fig. 31)



Zero clearance sleeve is only required for combustible walls.

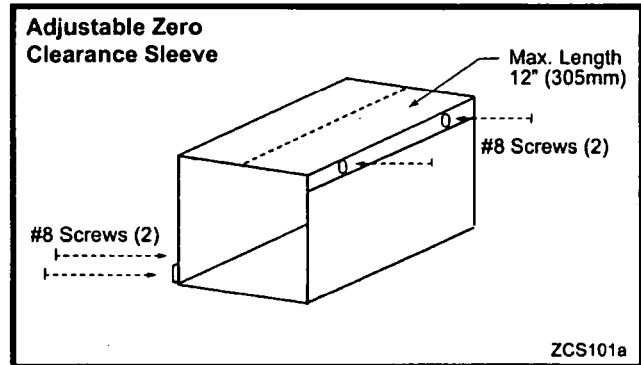


Fig. 22 Adjustable zero clearance sleeve.

#### STEP 3

Slide the zero clearance sleeve through the wall and install the firestop on the inside surface of the wall. Secure with four (4) #8 sheet metal screws.

#### STEP 4

Place fireplace into position. (Fig. 23) Measure the vertical height (X) required from the base of the flue collars to the center of the wall opening. **NOTE:** If using the SK8DVSK Kit, the vertical section of pipe is telescopic and could provide adjustment from 24" up to 40" (610mm to 1016mm).

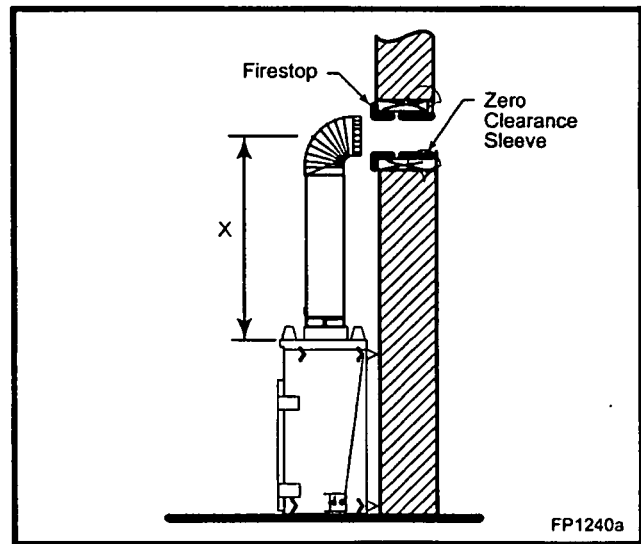


Fig. 23 Vertical height requirement.

#### STEP 5

Tape the inner and outer flue collars of the fireplace using UL approved metal adhesive tape to ensure the joints are sealed. Attach an appropriate length of vent pipe to the fireplace. Follow with the installation of the inner and outer elbow, tape elbow joints and secure joints as described on Page 11.

**STEP 6**

Measure the horizontal length requirement including a 2" (50mm) overlap, ie from the elbow to the outside wall face plus 2" (50mm) (or the distance required if installing a second 90° elbow). (Fig. 24)



**Always install horizontal venting on a level plane.**

**STEP 7**

Use appropriate length of pipe sections and install the horizontal vent sections. You may need to cut 1' wall section to size to be flush with the outside wall. The sections which go through the wall are packaged with the starter kit, and can be cut to suit if necessary. (Fig. 25)

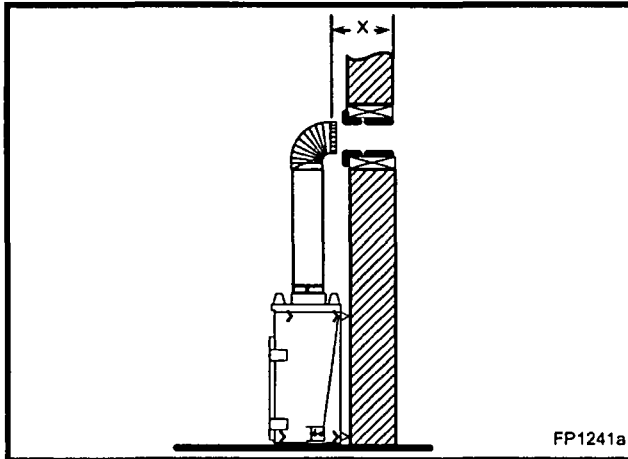


Fig. 24 Horizontal length requirement.

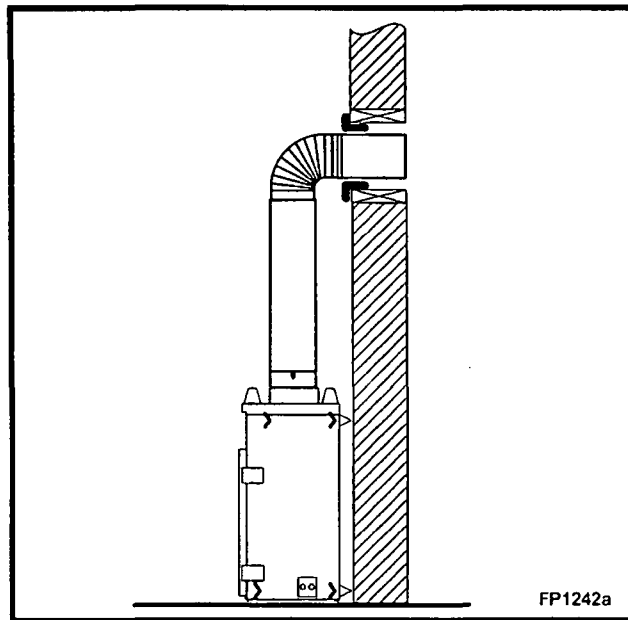


Fig. 25 Through the wall.

Sealing firestop gaps with high temperature sealant will restrict cold air being drawn in around fireplace.

**STEP 8**

Guide the vent terminations 8" and 11" collars into their respective vent pipes. Double check that the vent pipes overlap the collars by 2" (50mm). Secure the termination to the wall with screws provided and caulk around the wall plate to weatherproof. (Fig. 26) As an alternative to screwing the termination directly to the wall you may also use expanding plugs or an approved exterior construction adhesive.



**Support horizontal pipes every 3' (91 cm) with metal pipe straps.**

**Check fireplace to make sure it is levelled and properly positioned.**

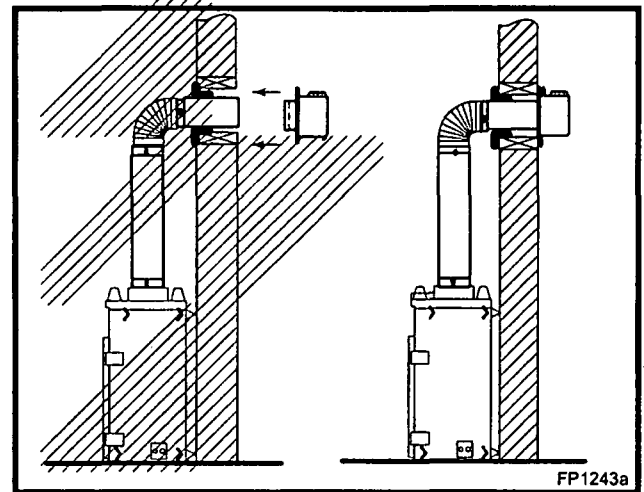


Fig. 26 Secure termination to wall.

**Vertical Through-the-Roof Applications**

**Use of Restrictor Plate for Vertical Venting Applications**

The primary purpose for the vent restrictor is to regain flame height under certain venting conditions as outlined below.

For vertically venting either propane or natural gas units, with vertical vent heights of 12' (3.7m) or greater, (measured from the top of the flue collar) the restrictor plate as supplied with this unit should be used. (Fig. 27) Also, the fresh air restrictor plate could be adjusted according to your vent height. (Fig. 27) Refer to Pages 20 & 21, Figures 36 & 38 for restrictor plate installation and fresh air restrictor plate adjustment.

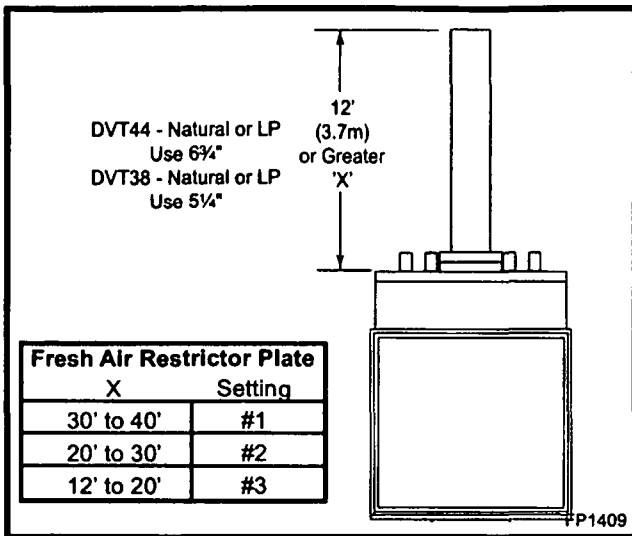


Fig. 27 Restrictor plate use in straight up installation.

For vertical venting configurations that include a minimum vertical rise of 12' (3.7m) and a maximum horizontal offset of 10' (3m) the 4½" restrictor plate supplied with this unit should be used. The fresh air restrictor plate could be adjusted to the setting #3 (DVT44 Only). (Fig. 28) Refer to Pages 20 & 21, Figures 36 & 38 for restrictor plate installation and fresh air restrictor plate adjustment.

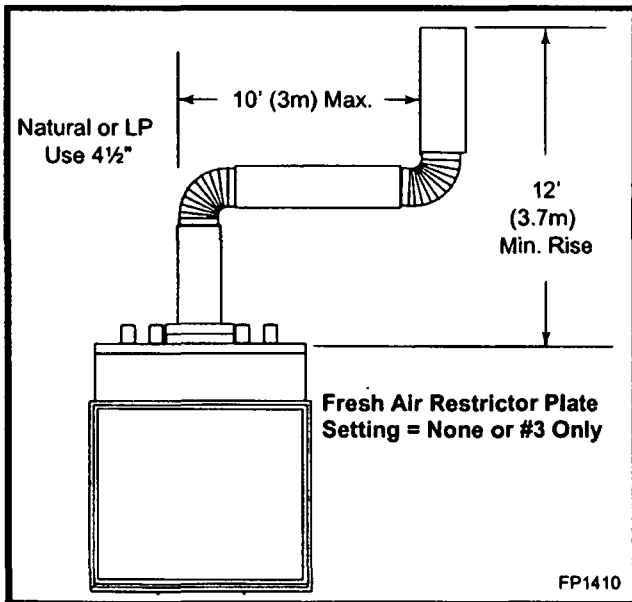


Fig. 28 Restrictor plate use with horizontal offset.

This Gas Fireplace has been approved for,

- Vertical installations up to 40' (12m) in height. Up to a 20' (6m) horizontal vent run can be installed within the vent system using a maximum of three (3) 90° elbows. (Fig. 29)

- A 2' (610mm) vertical section must be installed before any offset. A maximum of 20' (6.1m) horizontal and three (3) 90° elbows may be installed with a minimum of 12' (3.66m) vertical section above the flue collar of the unit. (Fig. 29)

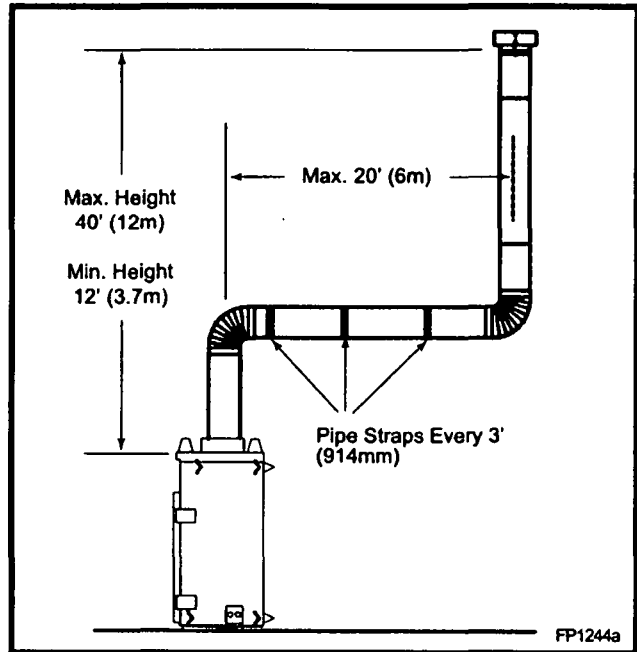


Fig. 29 Support straps for horizontal runs.

- Up to two (2) 30° or 45° elbows may be used within the horizontal run. For each 30° or 45° elbow used on the horizontal level the maximum horizontal length must be reduced by 18" (457mm).

Example: Maximum horizontal length

- 0 x 30° or 45° elbows = 10' (3m)
- 1 x 30° or 45° elbows = 8'6" (2.6m)
- 2 x 30° or 45° elbows = 7' (2.1m)

- A minimum of an 12' (3.7m) vertical rise.
- Two sets of 30° or 45° elbows offsets within these vertical installations. From 0 to a maximum of 8' (2.4m) of vent pipe can be used between elbows. (Fig. 30)
- SKCS8 must be used to support offsets. (Fig. 31) This application will require that you first determine the roof pitch and use the appropriate starter kit. (Refer to Venting Components List)
- The minimum height of the vent above the highest point of penetration through the roof is 2' (610mm). (Fig. 32)

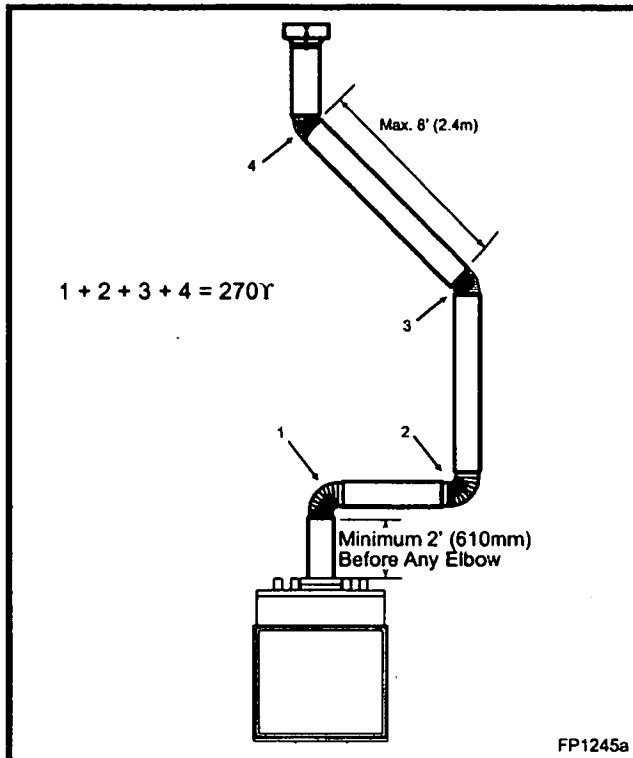


Fig. 30 Typical offset application.

### Vertical Through-the-Roof Installation

1. Locate your fireplace.
2. Plumb to center of the (8") flue collar from ceiling above and mark position.
3. Cut opening equal to 14½" x 14½" (368mm x 368mm).
4. Proceed to plumb for additional openings through the roof. In all cases, the opening must provide a minimum of 1½" (38mm) clearance to the vent pipe, i.e., the hole must be at least 14½" x 14½" (368 mm x 368mm).
5. Place fireplace into position.
6. Place firestop(s) SKFS2A or Attic Insulation Shield AIS-SK into position and secure. (Figs. 31, 32)
7. Install roof support (Fig. 33) and roof flashing making sure upper flange of flashing is below the shingles.
8. Install appropriate pipe sections until the venting is above the flashing.
9. Seal around the pipe.
10. Add additional vent lengths for proper height. (Fig. 34)

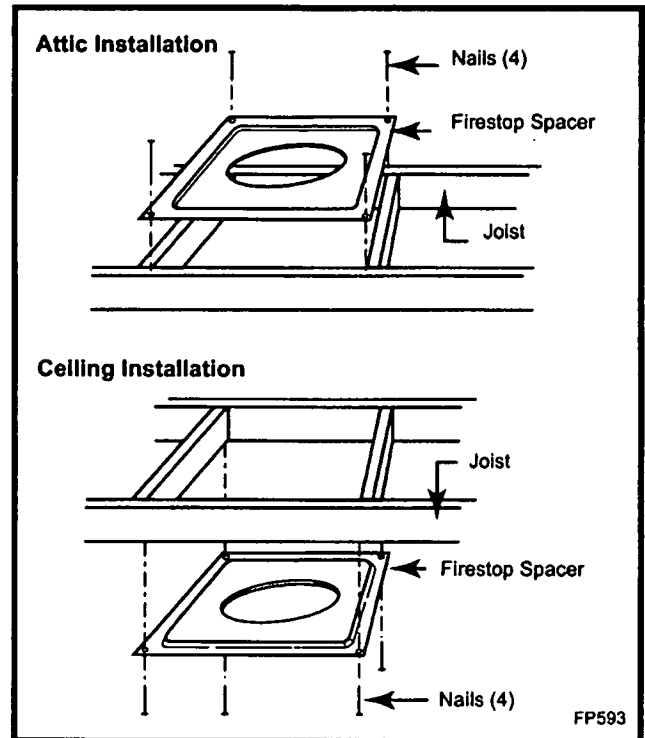


Fig. 31 Installing firestop spacer.

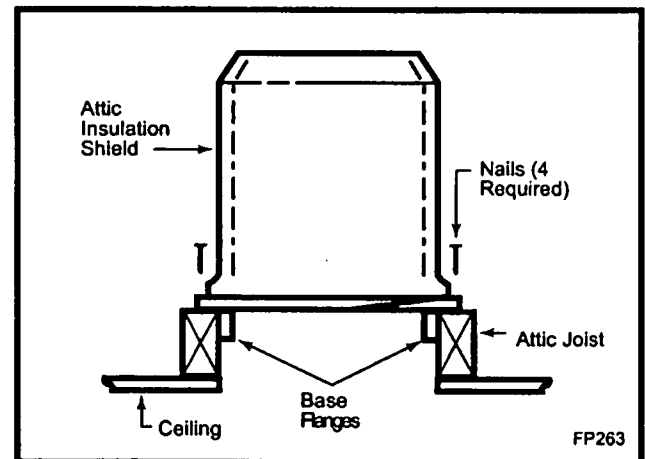


Fig. 32 Attic shield installation.

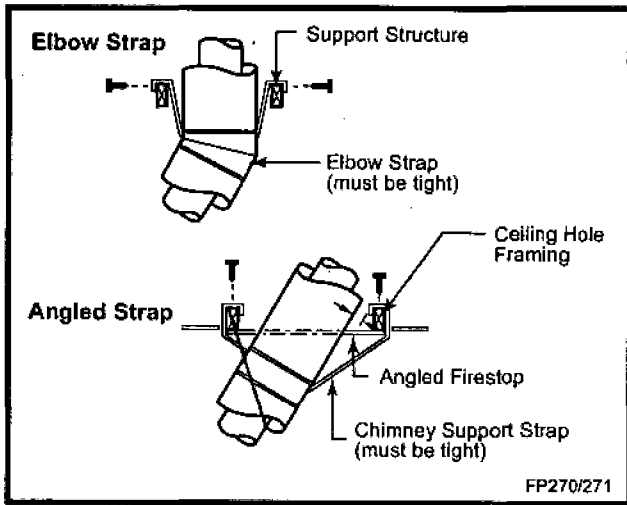


Fig. 33 Attach straps to a structural framing member.

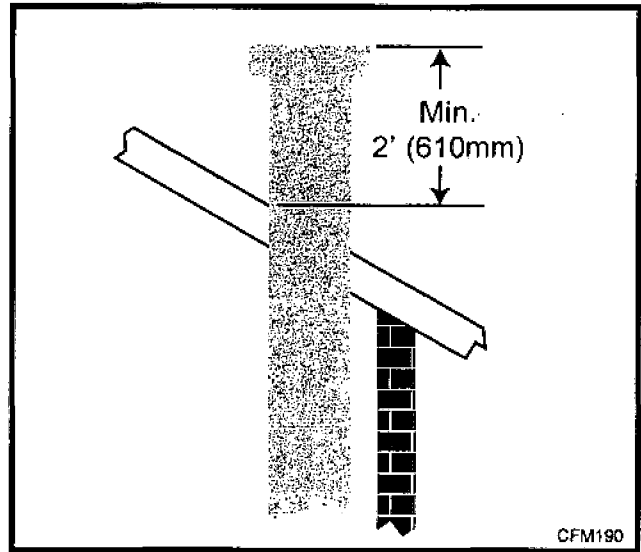


Fig. 34 Minimum termination to roof clearance.



If an attic is above ceiling level an AIS-SK (Attic Insulation Shield) must be installed.

The enlarged ends of the vent section always face downward.



<b>Chimney Components</b>		
<b>Component</b>	<b>Description</b>	<b>Model Number</b>
Horizontal Starter Kit	Contains 24"-40" telescopic pipe* for minimum vertical rise from collar pipe, 90° elbow, horizontal through-wall starter pipe, zero clearance sleeve, metal adhesive tape, sidewall termination and firestop.	SK8DVSK
SK8 Chimney Sections	Pipe used to build 8" (SK8) flue systems.	SK81 (1' Long) SK818 (12x' Long) SK83 (3' Long) SK84 (4' Long)
SK8 Chimney Elbows	Elbow used to create an offset in an 8" chimney system.	SK830-2 30° Elbow* (2 per pkg.) SK845 45° Elbow* SK890 90° Elbow*
Firestop	Required at each floor level of chimney installation. (Plus attic on multi-story installation.)	SKFS2A — (8" straight flue) SK8DVFS (Horizontal Firestop)
Zero Clearance Sleeve	Used when horizontal pipe goes through an interior vertical wall.	SK8ZCS
Attic Insulation Shield	Used to prevent insulation from coming in contact with the chimney system.	AIS-SK
Chimney Support	Used to support chimney for each of: 30' vertical height and 6' of angled chimney run.	SKCS8
Round Top Termination	Top used to terminate chimney at roof. (Flashing not included.)	RLTSK8
Round Top Termination - Extended	Top used to terminate chimney at chase. (Flashing not included.)	RLTSK8L
Flashing	Metal finishing required around termination to prevent rain leakage.	8-6-12 with 8" flue: 0-6/12 pitch 8-12-12 with 8" flue: 6/12-12/12 pitch
Housing Extensions	Extends Square Termination on steep pitched roofs.	202036
Chase Top Housing	Low profile pyramid-style chimney cap used to terminate chimney through a chase. Includes adapter. (Flashing not included.)	PTLSK8
Chase Top Housing	Square chimney cap used to terminate chimney through a chase. Terra Cotta Masonry. Includes adapter. (Flashing not included.)	SLTSK8
Horizontal Termination	Cap used to terminate venting through a sidewall.	SK8DVRVT

**NOTE:** The 24"-40" telescopic pipe is only intended for use with the SK8DVSK.

\* Factory unitized elbow

## Operating Instructions

### Glass Information



Only glass approved by Vermont Castings, Majestic Products should be used on this fireplace.

- The use of any non-approved replacement glass will void all product warranties.
- Care must be taken to avoid breakage of the glass.
- Do not operate appliance with glass front removed, cracked or broken.
- A replacement glass frame assembly (complete with gasket) is available through your Vermont Castings, Majestic Products dealer and should only be installed by a licensed qualified service person.

### Glass Frame Assembly Removal

1. Turn the fireplace OFF (including the pilot).
2. If the unit has been operating allow time for the components to cool.
3. Using a Phillips screwdriver, unfasten two (2) screws located at the top of the glass frame. (Fig. 35)
4. Tilt the glass frame at the top away from the unit. Lift it carefully off the bottom door track and set on padded surface.

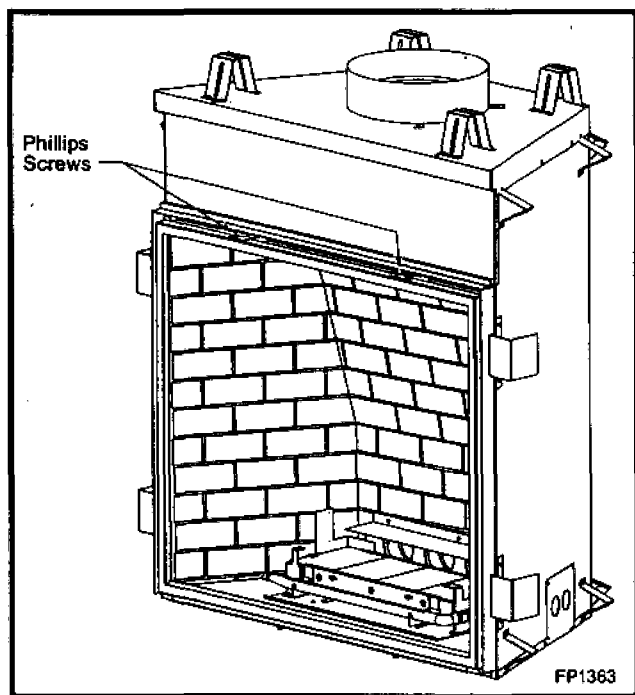


Fig. 35 Remove Phillips screws, tilt frame forward and lift off bottom door track.

### Glass Cleaning

It is necessary to periodically clean the glass. During start-up, condensation, which is normal, forms on the inside of the glass. This condensation causes lint, dust and other airborne particles to cling to the glass surface.

Also initial paint curing may deposit a slight film on the glass. It is therefore recommended the glass be cleaned two or three times with a non-ammonia based household cleaner and warm water (gas fireplace glass cleaner is recommended) within the first few weeks of operation.

After the initial cleaning process the glass should be cleaned two or three times during each operating season depending on the environment in the house.



Clean the glass after the first two weeks of operation.

### Restrictor Plates Installation

Refer to Pages 13 & 16 for your venting configuration and combination of restrictor plate requirement and fresh air restrictor plate adjustment.

#### Restrictor Plate Installation

Using the two (2) screws provided along with the restrictor plate shipped with the logset, fasten the restrictor plate to the firebox top through the front of the unit. (Fig. 36)

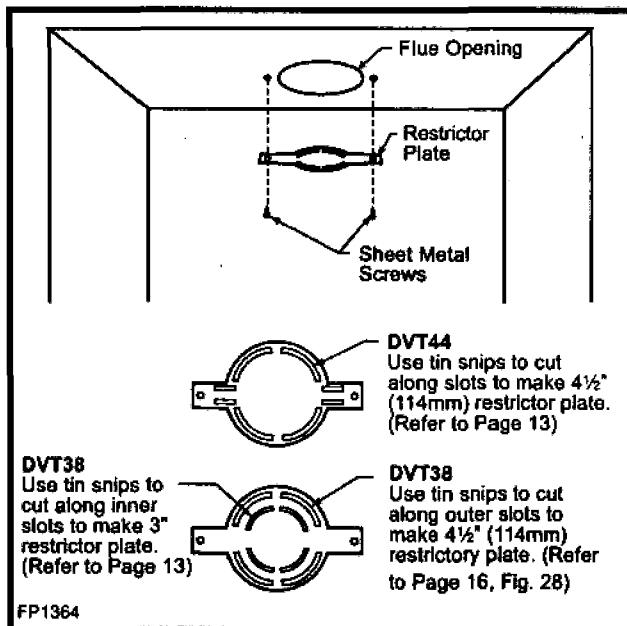


Fig. 36 Restrictor plate location.

### Fresh Air Restrictor Plate Adjustment

1. Remove the glass.
2. Remove the logs, andirons and fettle.
3. Remove one side refractory (right or left) and remove the rear upper and lower refractory in reverse order of installation. (Refer to "Ceramic Refractory Installation" section.)
4. Remove the rear log bracket by removing three (3) screws. On some models you may be able to loosen the screws and slide bracket to the left and out. (Fig. 37)

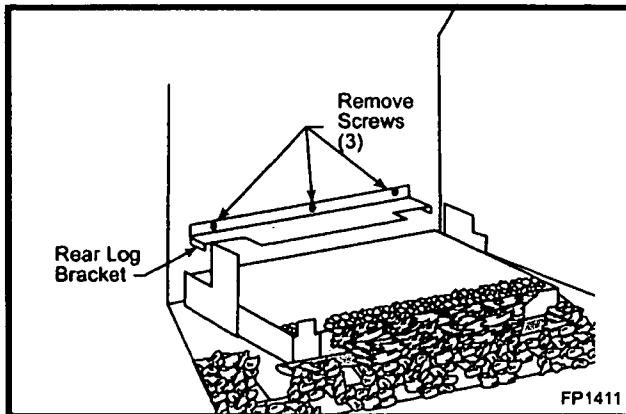


Fig. 37 Remove rear log bracket.

5. Adjust the fresh air restrictor plate setting. (Fig. 38) Simultaneously install the plate and the log bracket using the three (3) screws loosened or removed earlier. The adjustment is made by matching the proper setting on the plate with the three (3) holes on the firebox back.
6. Replace the rear lower and upper refractory, side refractory, fettle, andiron, logs and glass.

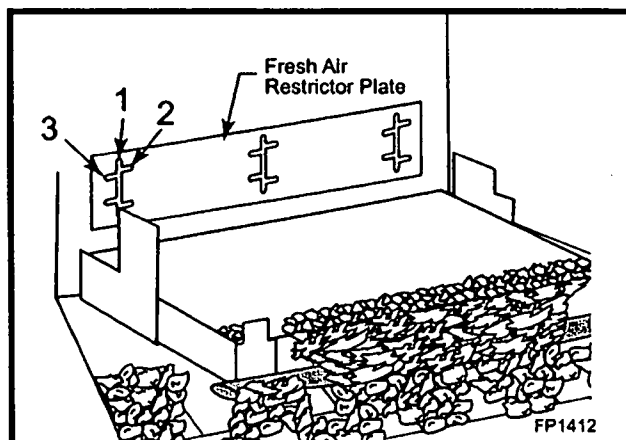


Fig. 38 Fresh air restrictor plate adjustment.

### Ceramic Refractory Installation



The ceramic refractories are fragile and should be handled with care. Due to the size of the refractories, an assistant may be helpful.

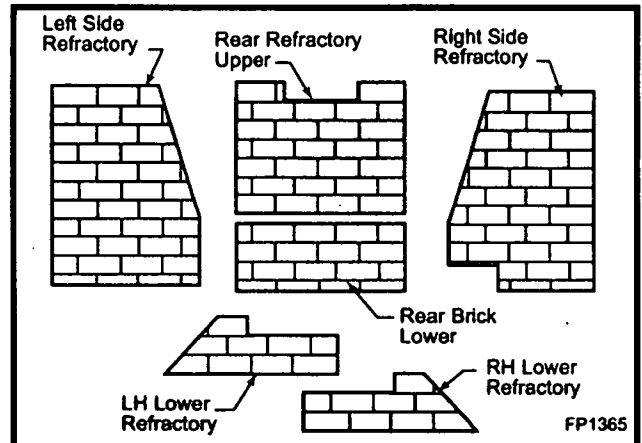


Fig. 39 DVT44 ceramic refractory panels.

1. Using a Phillips or Robertson screwdriver, unfasten the two (2) screws holding the fettle to the burner assembly. (Fig. 39) With a wrench, remove the front burner tube by unfastening the two (2) nuts that secure the burner tube to the front of the burner assembly.
2. Using a Phillips or Robertson screwdriver, remove the heat shield located toward the front top of the fire box by unfastening the five (5) screws that secure the heat shield in place. (Fig. 40)

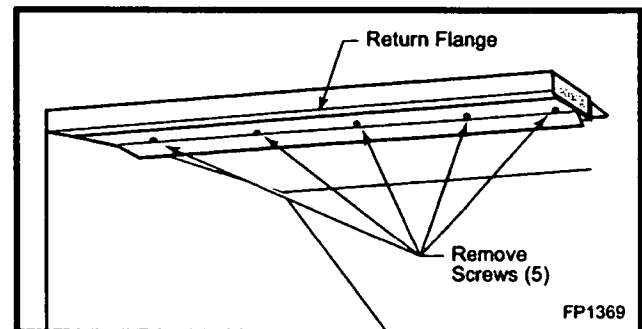


Fig. 40 Remove five (5) screws securing heat shield in place.

3. Start with either the right side refractory or left side refractory. Hold the refractory at an angle. Slide and seat the bottom edge toward the bottom of the firebox. Tilt it carefully toward the side until the piece is in place. Slide the refractory forward until it comes in contact with the front flange on the firebox.

4. Holding the rear refractory lower straight up, rotate it back behind the side refractory and set it on the small return bend of the rear log bracket toward the back of the firebox. Ensure the mortar lines in the refractory match the side refractory already installed.
5. Rotate back and set on the rear log bracket toward the back of the firebox.
6. The rear refractory upper has a notch in the top side. Holding the refractory at an angle, slide the refractory behind the side refractory installed.
7. While holding the rear refractory upper in place, follow Step 3 and install the remaining side refractory.
8. Adjust all refractory pieces so mortar lines are aligned. Replace heat shield removed in Step 2. Make sure the angle on the heat shield goes back. This will secure the side refractory in place.
9. Slide the right and left lower refractories into place in front of the burner and align.
10. Reinstall the burner tube and fettle.

### Log, Lava Rock and Ember Placement

Unpack the logs from packaging and remove each log from its wrapping material.



The logs are fragile and should be handled with care. Keep the packaging materials out of the reach of children and dispose of the material in a safe manner.

1. Ensure the two (2) screws that attach the fettle to the burner are secure.
2. Set the andirons in place by hooking the tabs on the back of the andirons over the outermost webs of the fettle. (Fig. 41)

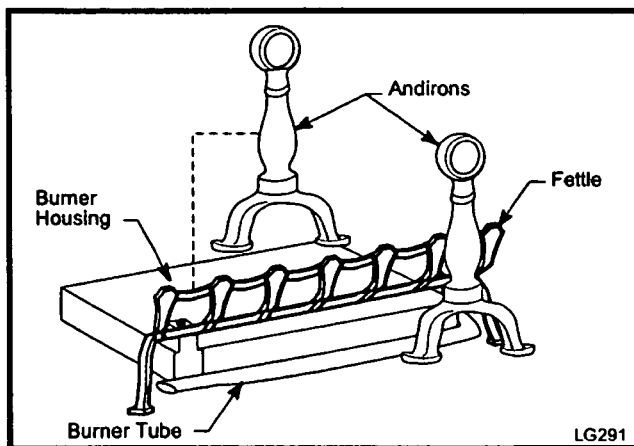


Fig. 41 Ensure fettle is securely attached to the burner housing and set andirons in place.

3. Place the volcanic rock over the lower refractory in front of the burner tube and around the burner assembly as desired. (Fig. 42)
4. Place the ember material lightly in front over the burner tube. Cover the area between the burner tube and the burner pan assembly. (Fig. 43)

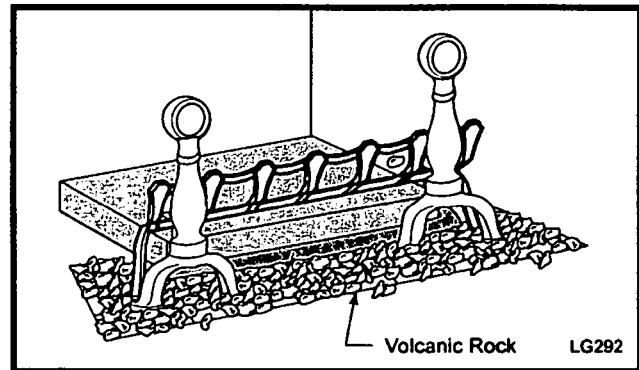


Fig. 42 Place volcanic rock on lower refractory in front of burner housing.

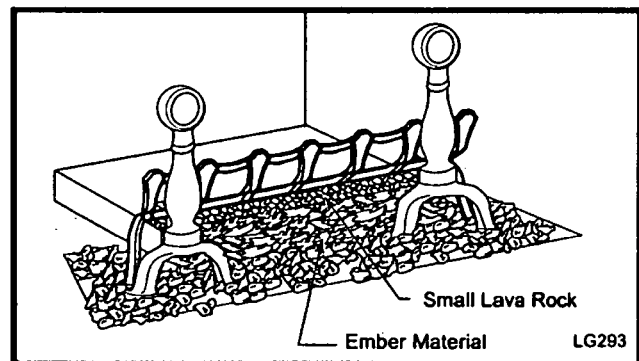


Fig. 43 Place ember material on burner tube. Place small lava rock 1½" on burner housing.

5. Place the small lava rock 1½" (38mm) along the top front edge of the burner pan assembly. Refer to Figures 47 & 48 for final log positions.
6. Center the log rear onto the rear log bracket and slide back until it comes in contact with the rear refractory lower. (Fig. 44)
7. Hold the log front left with the narrower end toward the right. For DVT44, set the log on the inside left side of the fettle and bring it forward until the right end of the log comes through the opening in the fettle. For the DVT38, the log is placed the same, however the end will not come through the fettle. When in place, the left end of the log is supported above the left sheet metal bracket. DVT38, the log will just touch the left side refractory. (Fig. 45)
8. Hold the log right front with the pointed end toward the left. Set the log on the inside right side of the fettle and bring forward. The pointed end of the log should come in contact with the front left log. When in place, the right end of the log is supported above the sheet metal bracket toward the right. (Fig. 45)

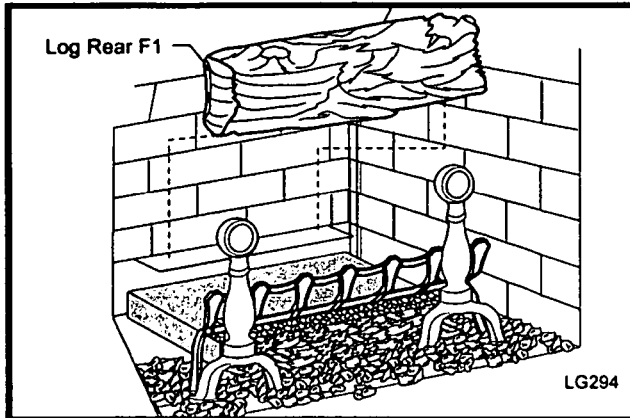


Fig. 44 Place log rear onto rear log bracket.

9. Hold the log top right front to back with the narrower end toward the back. With your left hand, tilt the front left log slightly up and forward. With your right hand position the fat end of the top right log on the small shelf on the back of the front right log. Lower the two logs in place until the narrower end of the top right log comes in contact and rests on the top right side of the rear log. (Fig. 46)

10. Hold the log top left at an angle with the burned area toward the middle. Set the top left log above the front left log, matching the indentation on the bottom of the top left log with the protrusion on the front left log. Lay the back end of the top left log onto the rear log. (Fig. 46)

11. Hold the log top middle at an angle with the curve of the log going from right to left. Position the front end of the top middle log over the right front log, matching the protrusion on the right front log with the indentation on the bottom of the top middle log. Lay the back end of the middle log onto the rear log and swing the end of the log from right to left until the end of the top middle log comes in contact with the top left log. (Fig. 46)

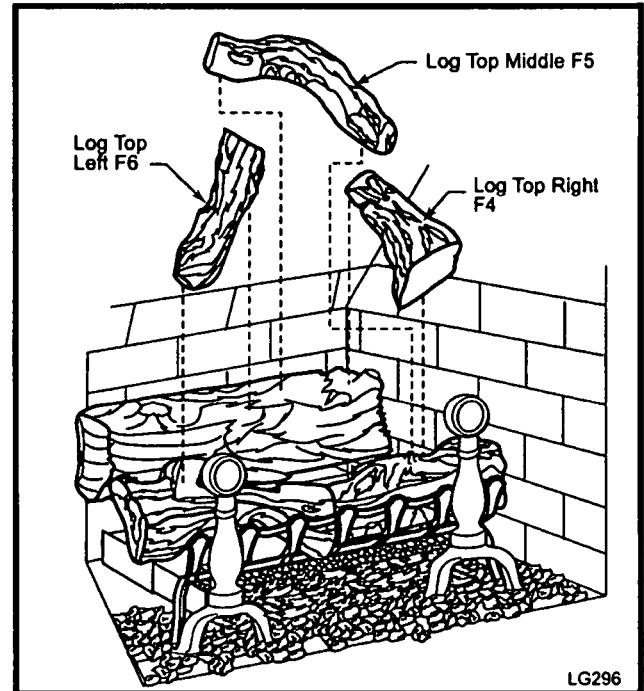


Fig. 46 Place middle logs.

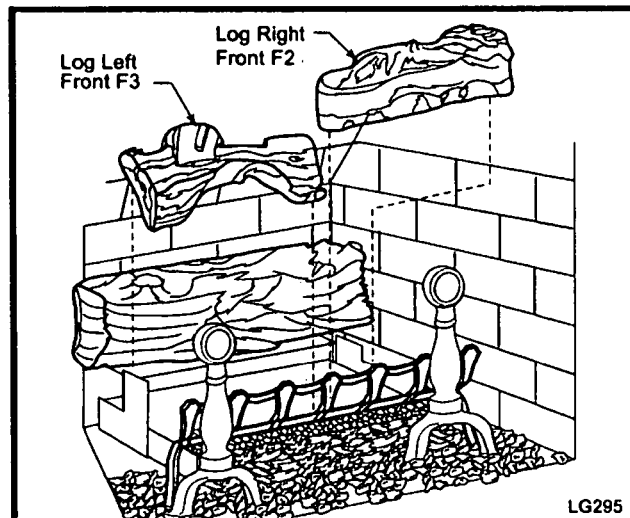


Fig. 45 Place logs left front and right front.

20006081

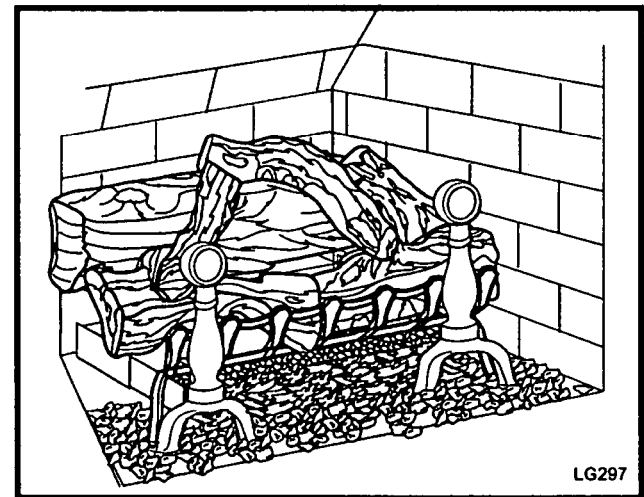


Fig. 47 DVT44 logset.

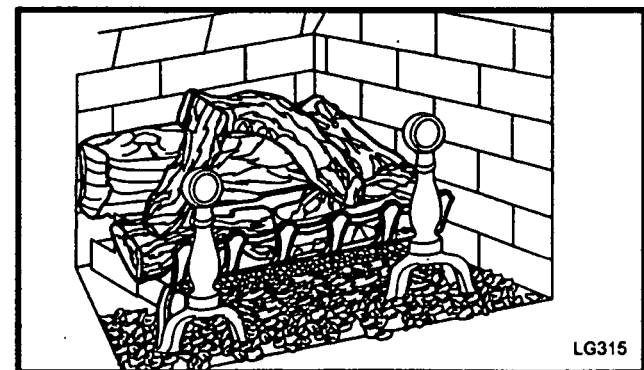


Fig. 48 DVT38 logset.

## Flame & Temperature Adjustment

### RN/RP & EN/EP Models

For units equipped with 'HI/LO' valves the flame adjustment is accomplished by rotating the 'HI/LO' adjustment knob located near the center of the gas control valve. (Fig. 49)

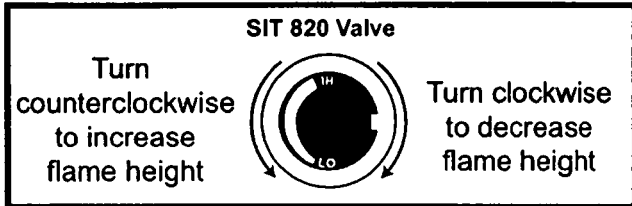


Fig. 49 Flame adjustment knob for SIT valve.

## Flame Characteristics

It is important to periodically perform a visual check of the pilot and burner flames. Compare them to the illustrations below. (Figs. 50, 51, 52)

If the flame patterns appear abnormal contact a qualified service provider for service and adjustment.

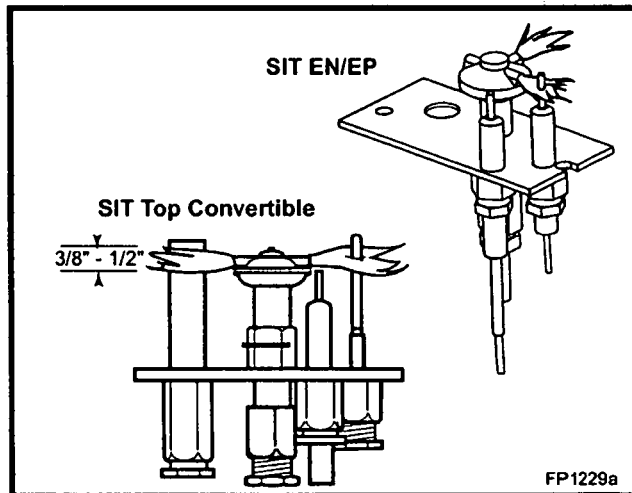


Fig. 50 Correct pilot flame appearance.

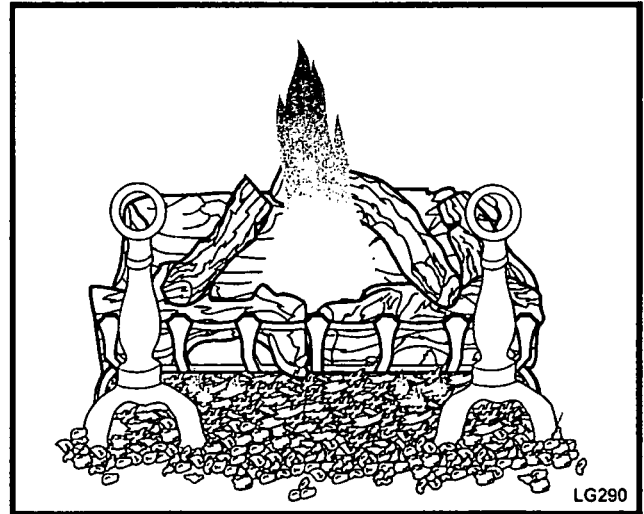


Fig. 51 DVT44 burner flame pattern.

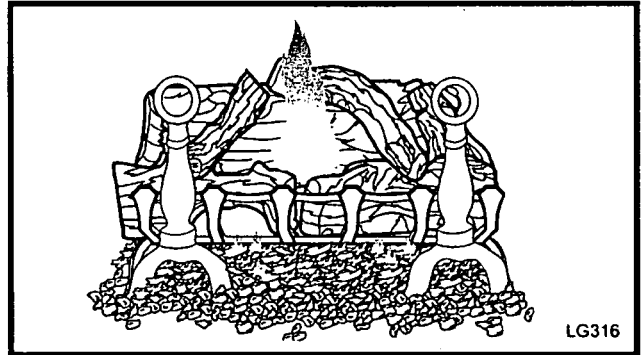


Fig. 52 DVT38 burner flame pattern.

# Lighting And Operating Instructions

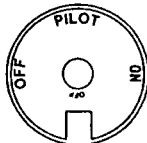
## FOR YOUR SAFETY READ BEFORE LIGHTING

**WARNING: If you do not follow these instructions exactly, a fire or explosion may result causing property damage, personal injury or loss of life.**

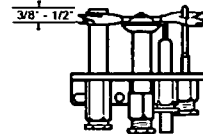
- A. This appliance has a pilot which must be lit manually. When lighting the pilot follow these instructions exactly.
- B. **BEFORE LIGHTING** smell all around the heater area for gas. Be sure to smell next to the floor because some gas is heavier than air and will settle on the floor.
- WHAT TO DO IF YOU SMELL GAS**
- Do not try to light any appliance
  - Do not touch any electric switch
  - Do not use any phone in your building
  - Immediately call your gas supplier from a neighbor's phone. Follow the gas supplier's instructions.
  - If you cannot reach your gas supplier, call the Fire Department
- C. Use only your hand to push in or turn the gas control knob. Never use tools. If the knob will not push in or turn by hand, do not try to repair it, call a qualified service technician. Force or attempted repair may result in a fire or explosion.
- D. Do not use this appliance if any part has been under water. Immediately call a qualified service technician to inspect the heater and to replace any part of the control system and any gas control which has been under water.

## Lighting Instructions

1. **STOP!** Read the "For Your Safety" information first and locate the control panel before lighting.
2. For TN/TP appliances ONLY, go on to Step 3. For RN/RP appliances turn the ON/OFF switch to OFF position or set thermostat to lowest setting.
3. Push in gas control knob slightly and turn to "OFF" position. Do not force.
7. Turn knob on gas control to "PILOT".
8. Push in control knob all the way and hold in until pilot indicator pointer moves from green to red (pilot is on). If the pointer does not move to red after several attempt, repeat Steps 3 to 7. When



SIT NOVA




4. Wait five (5) minutes to clear out any gas. Then smell for gas, including near the floor. If you smell gas, STOP! Follow "What to do if you smell gas" in your "For your safety". If you do not smell gas, go to the next step.
5. Remove glass door before lighting pilot. (See Glass Frame Removal section).
6. Visually locate pilot assembly by the main burner.
9. Replace glass door.
10. Turn gas control knob to "ON" position.
11. For RN/RP appliances turn the On/Off switch to "ON" position or set thermostat to desired setting.

pointer moves to red, hold control knob in for about one (1) minute. release knob and it will pop back into original position. Pilot should remain lit. If it goes out, repeat Steps 3 to 7.

- If knob does not pop up when released, stop and immediately call your service technician or gas supplier.
- If after several tries, the pilot will not stay lit, turn the gas control knob to "OFF" and call your service technician or gas supplier.

## To Turn Off Gas To Heater

1. Turn the On/Off switch to Off position or set the thermostat to lowest setting.
2. Turn off all electric power to the fireplace if service is to be performed.
3. Open control access panel.
4. Push in gas control knob slightly and turn clockwise  to "OFF". Do not force.
5. Close control access panel.

## Lighting and Operating Instructions

### For Fireplaces equipped with SIT822 Gas Valve (EN or EP)

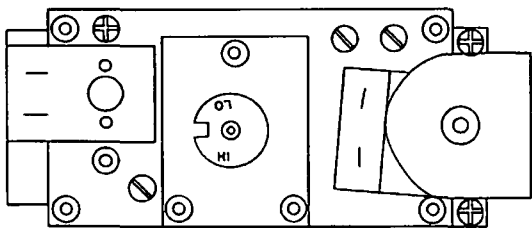
**Warning:** If you do not follow these instructions exactly, a fire or explosion may result causing property damage, personal injury and loss of life.

### FOR YOUR SAFETY READ THE FOLLOWING WARNINGS BEFORE LIGHTING THE APPLIANCE

- A. This fireplace is equipped with an ignition device which automatically lights the pilot. **DO NOT** try to light the pilot by hand.
- B. **BEFORE OPERATING**, smell all around the appliance area for gas. Be sure to smell next to the floor because some gas is heavier than the air and will settle on the floor.  
**What to do if you smell gas**
- Do not try to light any appliance
  - Do not operate any electrical switch.
  - Do not use any phone in your building.
  - Immediately call your gas supplier from a neighbor's phone.
- Follow the gas suppliers instructions.**
- If you cannot contact your gas supplier call the Fire Department
- C. Use only your hand to push in or turn the gas control knob. Never use tools. If the knob will not push in or turn by hand do not try to repair it, call a qualified service technician. Force or attempting repair may result in a fire or explosion.
- D. Do not use this appliance if any part has been under water. Immediately call a qualified service technician to inspect the appliance and replace any part of the control system and any gas control that has been under water.

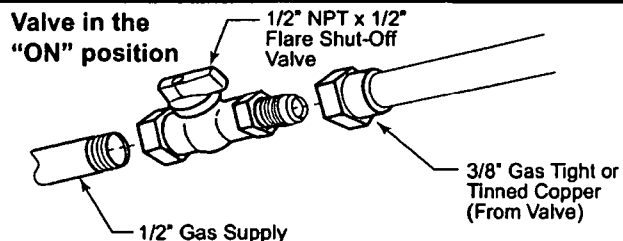
### Lighting Instructions

1. **STOP!** Read the safety information above and locate the control panel before continuing.
2. Turn off all electrical power to the appliance.
3. This appliance is equipped with an ignition device which automatically lights the pilot. **DO NOT** try to light the pilot by hand.
4. Access the gas control by lowering the lower access door (louvre assembly).
5. Turn the remote switch, if used, OFF. Turn the wireless remote, if used, OFF.
6. Wait five (5) minutes to clear out any gas. Then smell for gas, including near the floor. If you smell gas STOP. Follow instructions B in the safety warnings above. If you do not smell gas go onto the next step.
7. Close the access door.
8. Turn ON all electrical power to the appliance.
9. Turn remote switch or wireless remote to "ON".
10. If the appliance will not operate, follow the instructions **TURNING OFF THE GAS TO THE APPLIANCE** and call your service technician or gas supplier.



### Turning Off the Gas to the Appliance

1. Turn the remote switch to the "OFF" position.
2. Turn OFF all electrical power to the fireplace if service is required.
3. Open the lower access panel.
4. Turn the shut-off valve on the gas line to the "OFF" position.





**Troubleshooting the Gas Control System**

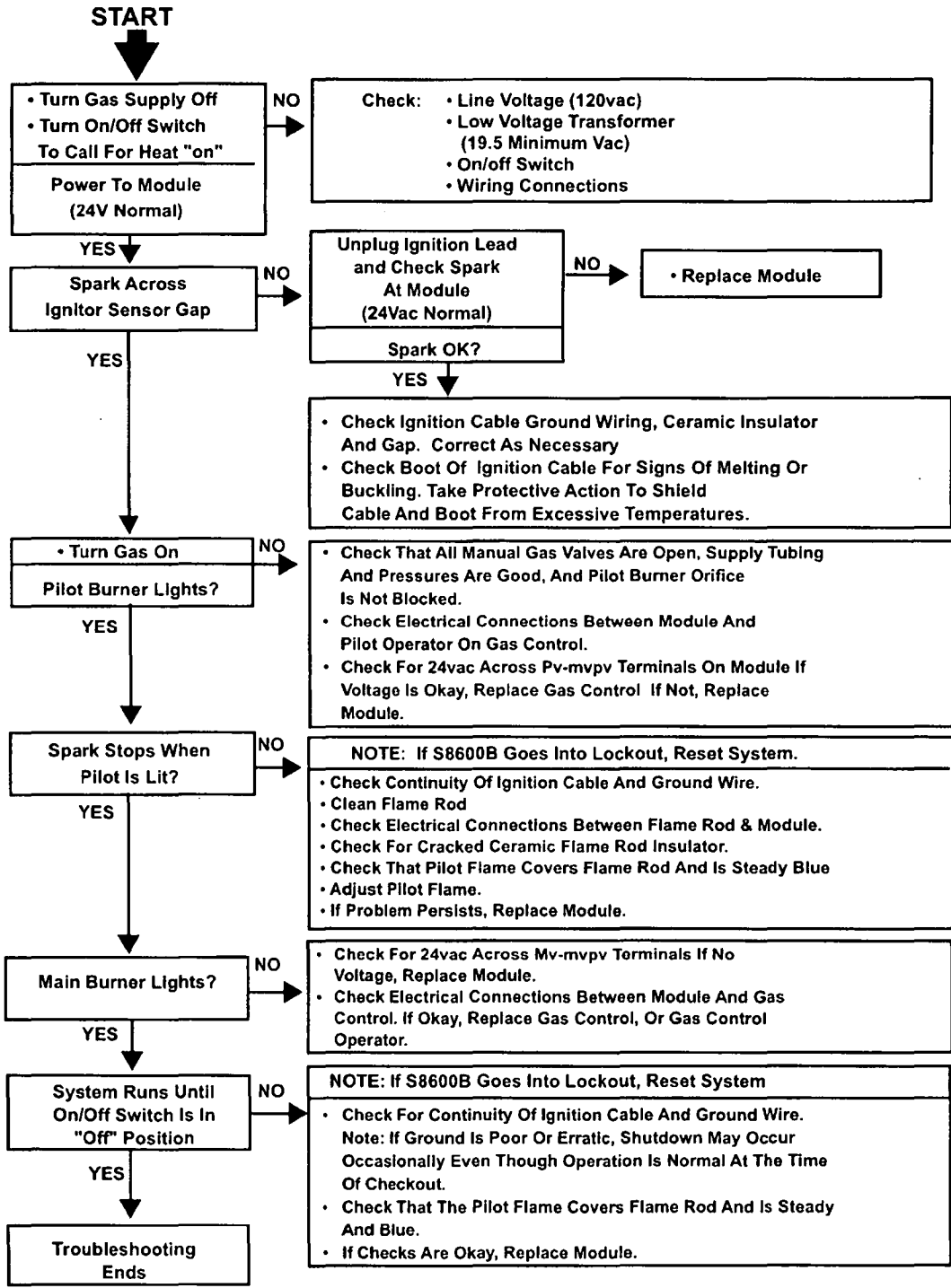
**SIT NOVA 820 MILLIVOLT VALVE**

**NOTE:** Before trouble shooting the gas control system, be sure external gas shut off is in the "On" position.

Symptom	Possible Causes	Corrective Action
1. Spark ignitor will not light	A. Defective or misaligned electrode at pilot	Using a match, light pilot. If pilot lights, turn off pilot and push the red button again. If pilot will not light - check gap at electrode and pilot-should be 1/8" to have a strong spark.
	B. Defective ignitor (Push Button)	With the control knob in the pilot position, push the control knob all the way and hold. Check for spark at electrode and pilot. If no spark to pilot, and electrode wire is properly connected, replace the battery in the ignitor module and try again. Refer to Maintenance Section. If the problem still exists, replace the ignitor module box.
2. Pilot will not stay lit after carefully following lighting instructions	A. Defective pilot generator (thermocouple), remote wall switch	Check pilot flame. Must impinge on thermocouple/thermopile. NOTE: This pilot burner assembly utilizes both a thermocouple and a thermopile. The thermocouple operates the main valve operation (On and Off). Clean and or adjust pilot for maximum flame impingement on thermopile and thermocouple.
	B. Defective automatic valve	Turn valve knob to "Pilot". Maintain flow to pilot; millivolt meter should read greater than 10mV. If the reading is okay and the pilot does not stay on, replace the gas valve. NOTE: An interrupter block (not supplied) must be used to conduct this test.
3. Pilot burning, no gas to main burner	A. Wall switch or wires defective	Check wall switch and wires for proper connections. Jumper wire across terminals at wall switch, if burner comes on, replace defective wall switch.. If okay, jumper wires across wall switch wires at valve, if burner comes on, wires are faulty or connections are bad.
	B. Thermopile may not be generating sufficient millivoltage	<ol style="list-style-type: none"> <li>1. Be sure wire connections form thermopile at gas valve terminals are tight and thermopile is fully inserted into pilot bracket.</li> <li>2. One of the wall switch wires may be grounded. Remove wall switch wires form valve terminals if pilot now stays lit, trace wall switch wiring for ground. May be grounded to fireplace or gas supply.</li> <li>3. Check thermopile with millivolt meter. Take reading at thermopile terminals of gas valve. Should read 250-300 millivolts (minimum 150) while holding valve knob depressed in pilot position and wall switch "Off". Replace faulty thermopile if reading is below specified minimum.</li> </ol>
	C. Plugged burner orifice	Check burner orifices for debris and remove.
	D. Defective automatic valve operator	Turn valve knob to "On", place wall switch to "On" millivolt meter should read greater than 150mV. If the reading is okay and the burner does not come on, replace the gas valve.
4. Frequent pilot outage problem	A. Pilot flame may be too low or blowing (high) causing the pilot safety to drop out	Clean and/or adjust pilot flame for maximum flame impingement on thermopile and thermocouple.
	B. Possible blockage of the vent terminal	Check the vent terminal for blockage (recycling the flue gases).

## Troubleshooting the Gas Control System

### SIT 822 Valve with a Honeywell Electronic Ignitor



## Fuel Conversion Instructions

**WARNING!** This conversion kit shall be installed by a qualified service agency in accordance with the manufacturer's instructions and all applicable codes and requirements of the authority having jurisdiction. If the information in these instructions is not followed exactly, a fire, explosion or production of carbon monoxide may result causing property damage, personal injury or loss of life. The qualified service agency is responsible for the proper installation of this kit. The installation is not proper and complete until the operation of the converted appliance is checked as specified in the manufacturer's instructions supplied with the kit.

**CAUTION:** The gas supply shall be shut off prior to disconnecting the electrical power, before proceeding with the conversion.

**Avertissement:** Cette trousse de conversion ne doit être installée que par le représentant d'un organisme qualifié et conformément aux instructions du fabricant et aux codes et exigences pertinentes de l'autorité compétente. Quiconque ne respecte pas à la lettre les instructions du présent guide risque de déclencher un incendie, une explosion ou le dégagement de monoxyde de carbone entraînant des dommages matériels, des lésions corporelles ou la perte de vies humaines. L'organisme qualifié qui effectue les travaux est responsable de l'installation de cette trousse. L'installation n'est pas terminée tant que le fonctionnement de l'appareil converti n'a pas été vérifié selon la notice du fabricant qui accompagne la trousse.

**ATTENTION:** Avant d'effectuer la conversion, coupez d'abord l'alimentation en gaz, ensuite, coupez l'alimentation électrique.

### Conversion Precautions

Allow unit to cool if it has been operating.

Before proceeding with conversion, turn control knob on valve to OFF and turn gas supply OFF. Turn OFF any electricity that may be going to appliance.

### Conversion Procedure

1. Remove glass frame. Refer to Glass Frame Assembly section on Page 20.
2. Remove lava rock, volcanic rock, embers and logs.  
**CAUTION: Logs may be hot.**
3. With a Phillips or Robertson screwdriver, remove the two (2) screws holding the fettle to the burner assemblies. With a hex, remove the two (2) hex nuts holding

the burner tube to the front of the burner assembly. Remove burner tube.

4. Remove two (2) hex nuts holding the left burner leg. Remove burner leg. (Fig. 53)

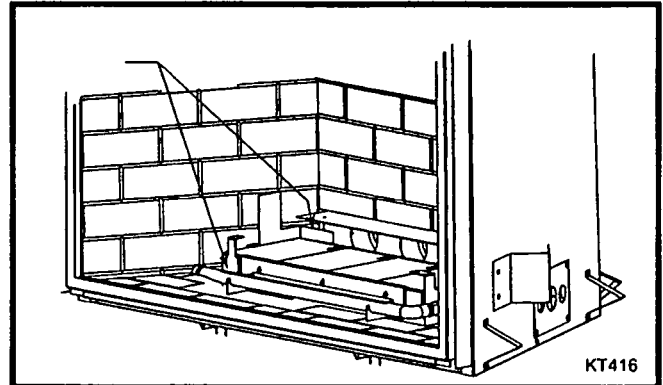


Fig. 53 Use 3/8" socket to remove hex nuts holding left burner leg.

5. Slide the burner housing assembly to the left and away.
6. Replace the three (3) injectors. Refer to Table 1.
7. Replace pilot orifice.
8. Remove pilot hood by lifting up. (Fig. 54) **NOTE:** It is not necessary to remove the pilot tube for conversion.
9. Remove pilot orifice with 5/32" Allen wrench. (Fig. 55)

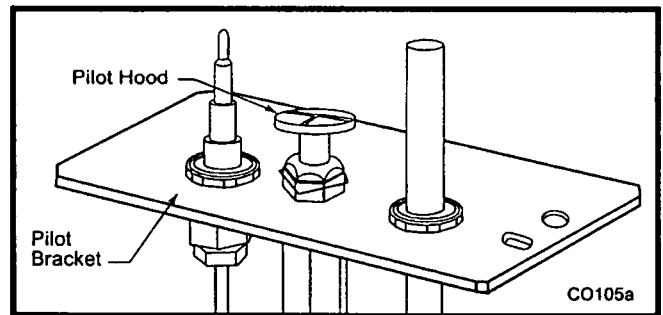


Fig. 54 Remove pilot hood.

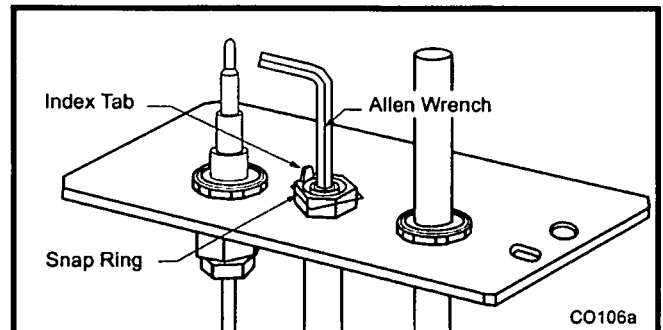


Fig. 55 Remove pilot orifice.

10. Install the conversion orifice.
11. Reinstall pilot hood. Be sure to align hood with index tab.
12. Open the control panel and remove the cover by removing two (2) screws. While holding the valve cover plate with one hand, disconnect the wiring to the switch and the pilot indicator. **NOTE:** Do not allow the valve cover plate to hang from the pilot wires as this could damage the wires. Remove the extension knob(s). Replace the valve regulator.
13. Using the TORX T20 bit remove and discard the three (3) pressure regulator mounting screws (A), pressure regulator tower (B) and the spring and diaphragm assembly (C). (Fig. 56)

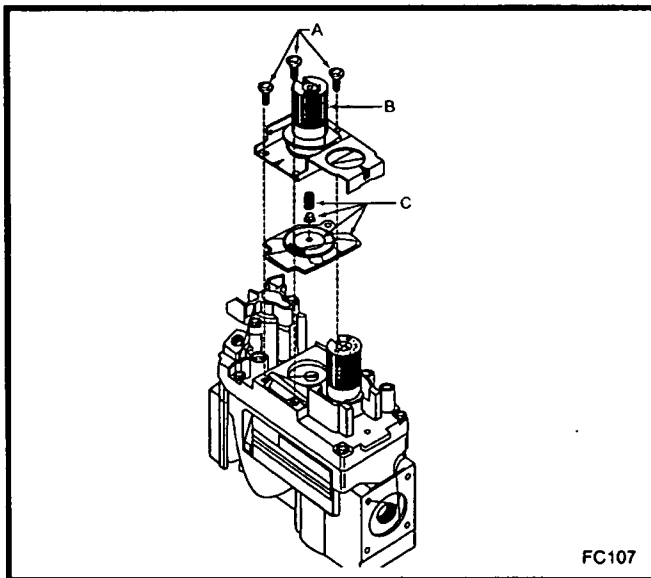


Fig. 56 Remove valve regulator.

14. Insure the rubber gasket (D) is properly positioned and install the new HI/LO pressure regulator assembly to the valve using the new screws (E) supplied with the kit. Tighten the screws securely. (Ref. torque = in/lb) (Fig. 57)
15. Install the enclosed identification label (F) to the valve body where it can easily be seen. (Fig. 57)
16. Regulator conversion complete.
17. Test for Leaks
  - Apply gas to the system and light the pilot.
  - With a soapy solution check for leaks around the pilot assembly where the tube enters the pilot assembly. Tighten fitting if necessary.

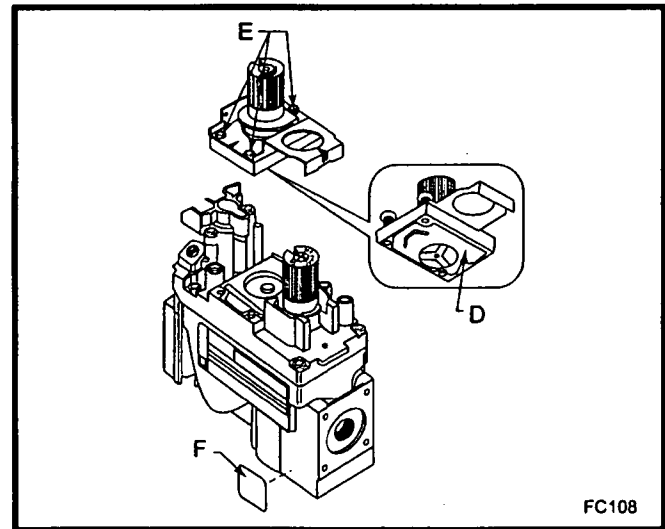


Fig. 57 Replace regulator.

- Light the main burner and check for leaks around the new pressure regulator assembly. Tighten screws if necessary.
  - With the main burner "ON" check for leaks around the burner orifice. Be careful of the burner flame. Tighten orifice if necessary.
  - With the main burner "ON" rotate the HI/LO knob and verify proper burner operation.
18. Replace burner to original position.
  19. Replace burner leg.
  20. Replace burner tube and fettle.
  21. Follow instructions on Page 22 to reinstall logs, lava rock, volcanic rock and embers.
  22. Replace glass frame.
- Conversion complete.

### Pilot Flame Adjustment

Typically, the top 3/8" or 1/2" of the thermopile should be engulfed in the pilot flame. (Page 24, Fig. 50)

To adjust pilot burner:

1. Remove pilot adjustment cap located on valve.
2. Adjust pilot screw to provide properly sized flame.
3. Replace pilot adjustment cap.

**Table 1 Injector Orifice Size Matrix**

Conversion to Natural Gas									
Kit #	Model	Burner Orifice						Input (BTU/hr)	
		Front	Part #	Middle	Part #	Rear	Part #	Minimum	Maximum
20006987	DVT38RP	#69	30000513	#67	30000338	#50	30000337	36,000	46,000
20006412	DVT44RP	#52	30000331	#56	30000336	#28	20006173	37,000	60,000
Conversion to LP									
Kit #	Model	Burner Orifice						Input (BTU/hr)	
		Front	Part #	Middle	Part #	Rear	Part #	Minimum	Maximum
20006988	DVT38RN	#56	30000336	#56	30000336	#31	20006927	34,000	46,000
20006414	DVT44RN	#57	20004587	#63	20006251	#49	20006252	45,000	60,000

## Maintenance

### Burner and Burner Compartment

It is important to keep the burner and the burner compartment clean. At least once per year the logs and lava rock/ember material should be removed and the burner compartment vacuumed and wiped out. Remove and refit the logs as per the instructions in this manual.



**Always handle the logs with care as they are fragile and may also be hot if the fireplace has been in use.**

### Cleaning the Standing Pilot Control System

The burner and control system consist of:

- burner tube
- gas orifice
- pilot assembly
- thermopile
- gas valve

Most of these components may require only an occasional checkup and cleaning and some may require adjustment. **If repair is necessary, it should be performed by a qualified technician.**

1. Turn off pilot light at gas valve.
2. Allow fireplace to cool if it has been operating.
3. Remove window frame assembly. (Refer to Window Frame Assembly Removal section.)
4. Remove logs.
5. Vacuum burner compartment especially around orifice primary air openings.
6. Visually inspect pilot. Brush or blow away any dust or lint accumulation.
7. Reinstall logs.
8. Ignite pilot - Refer to Lighting Instructions.
9. Reinstall window frame assembly.

To obtain proper operation, it is imperative that the pilot and burner's flame characteristics are steady, not lifting or floating.

Typically, the top 3/8" to 1/2" of the thermopile/sensing electrode should be engulfed in the pilot flame. (Refer to Page 24, Figure 48)

To adjust pilot burner: (by qualified service technician)

1. Remove pilot adjustment cap
2. Adjust pilot screw to provide properly sized flame.
3. Replace pilot adjustment cap.

### Cleaning Electronic Ignition System

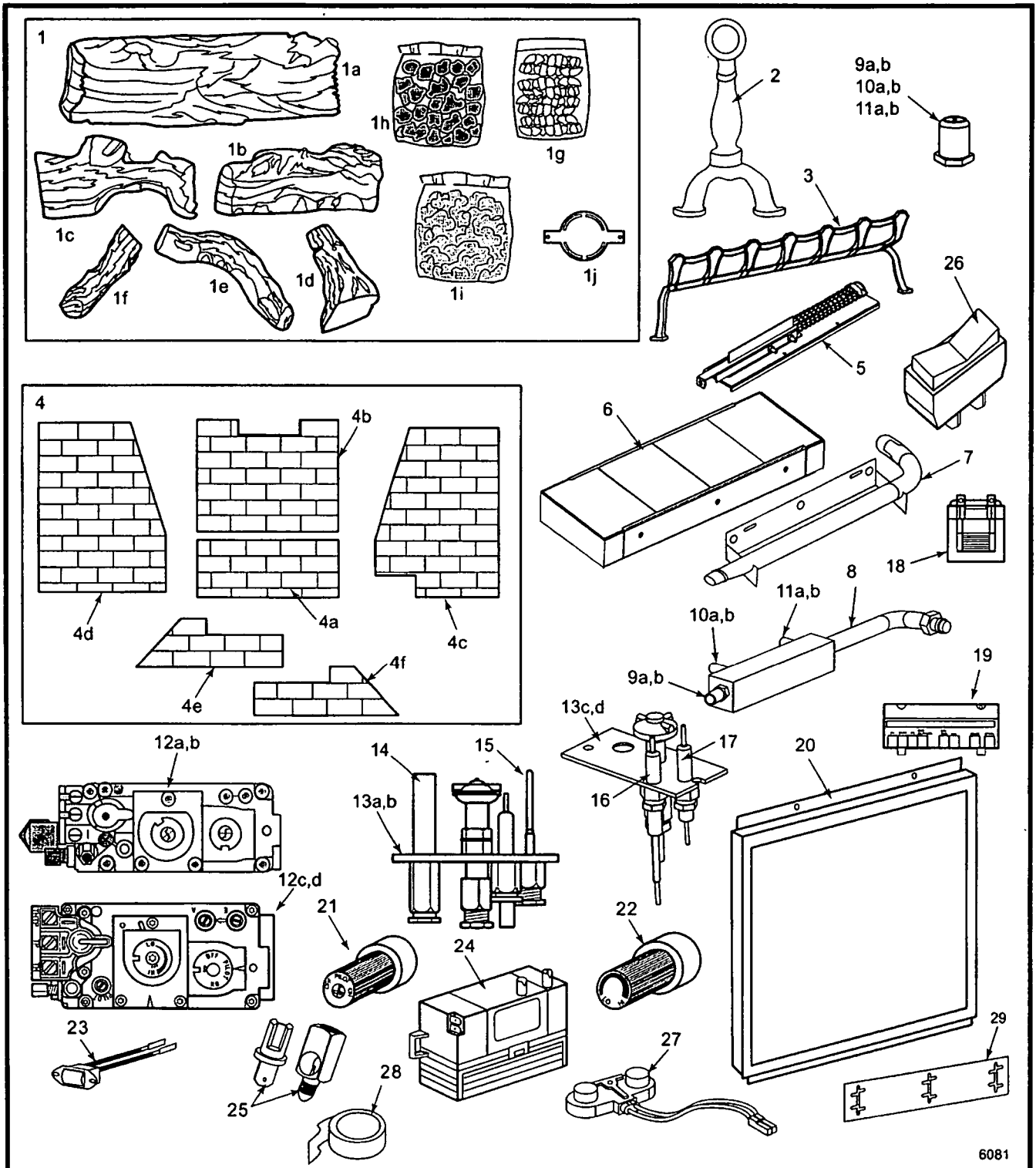
The Electronic Ignition burner/control system consists of:

- main burner
- gas orifice
- pilot burner
- 24VAC valve with transformer

Taking care of the Electronic Ignition units is identical to taking care of the Standing Pilot models.

### Battery Replacement for Ignitor Module

1. Open control panel box door.
2. Remove the extension knob(s).
3. Remove the valve cover by removing the two (2) screws securing the valve cover plate to the box. While holding the valve cover plate with one hand, disconnect the wiring to the switch and the pilot indicator. **NOTE:** Do not allow the valve cover plate to hang from the pilot indicator wires as this could damage the wires.
4. Replace the battery (AA) in the ignitor module located at the top left corner.
5. Replace wires, valve cover, extension knob(s) in reverse order. **NOTE:** The pilot indicator body is labelled +/-, make sure the positive wire on the pilot indicator goes to ground and the negative goes to the plug between the valve and the thermocouple.



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Vermont Castings, Majestic Products reserves the right to make changes in design, materials, specifications, prices and discontinue colors and products at any time, without notice.

# DVT38, DVT44

**DVT38, DVT44 (continued)**

Ref.	Description	DVT38	DVT44
1.	Log Set (Complete)	20006961	20006378
1a.	Log Rear F1	20006970	20006330
1b.	Log Right Front F2	20006971	20006331
1c.	Log Left Front F3	20006972	20006332
1d.	Log Top Right F4	20006333	20006333
1e.	Log Top Middle F5	20006334	20006334
1f.	Log Top Left F6	20006335	20006335
1g.	Small Lava Rock Package	57897	57897
1h.	Volcanic Rock	20000376	20000376
1i.	Bag of Glowing Embers	0005219	0005219
1i.	Restrictor	20006959	20005817
2.	Andiron Assembly	20006291	20006491
3.	Fettle	20006960	20005977
4.	Refractory Set Complete	20006823	20006384
4a.	Rear Refractory Lower	20006589	20005824
4b.	Rear Refractory Upper	20006590	20005825
4c.	Right Side Refractory	20006591	20005826
4d.	Left Side Refractory	20006592	20005827
4e.	LH Lower Refractory	20006593	20005876
4f.	RH Lower Refractory	20006594	20005879
5.	Spring Latch Assembly	20005788	20005788
6.	Burner Housing Assembly	20006576	20005834
7.	Burner Tube Assembly	20006584	20005884
8.	Manifold Tube Assembly	20005852	20005852
9a.	Front Orifice #52 (.635") - Natural	--	30000331
9a.	Front Orifice #56 (.0465") - Natural	30000336	--
9b.	Front Orifice #57 (.043") - LP	--	20004587
9b.	Front Orifice #69 (.0292") - LP	30000513	--
10a.	Middle Orifice #56 (.0465") - Natural	30000336	30000336
10b.	Middle Orifice #63 (.037") - LP	--	20006251
10b.	Middle Orifice #67 (.032") - LP	30000338	--
11a.	Rear Orifice #28 (.1405") - Natural	--	20006173
11a.	Rear Orifice #31 (.120") - Natural	20006927	--
11b.	Rear Orifice #49 (.073") - LP	--	20006252
11b.	Rear Orifice #50 (.070") - LP	30000337	--
12a.	Valve Nova SIT 0.820.652 - RN	52677	52677
12b.	Valve Nova SIT 0.820.651 - RP	52678	52678
12c.	Valve Nova SIT 0.822.632 - EN 24v/60Hz Solenoid Manual HI/LO	57884	57884
12d.	Valve Nova SIT 0.822.631 - EP 24v/60Hz Solenoid Manual HI/LO	57883	57883
13a.	Pilot Assy 3way N/DV Top Convertible - RN	20006144	20006144
13b.	Pilot Assy 3way N/DV Top Convertible - RP	20006145	20006145
13c.	Pilot Assy 3way N/DV Top Convertible - EN	20006146	20006146
13d.	Pilot Assy 3way N/DV Top Convertible - EP	20006147	20006147



**DVT38, DVT44 (continued)**

Ref.	Description	DVT38	DVT44
14.	Thermopile 72"	20006149	20006149
15.	Thermocouple 75"	20006148	20006148
16.	Electrode Ignitor 79"	20006150	20006150
17.	Sensing Electrode 79"	20006151	20006151
18.	Transformer	7522409	7522409
19.	Ignitor Module Honeywell 58600B1025	20000005	20000005
20.	Glass Frame Assembly	20006566	20005947
21.	Knob Extension Pilot/Stat	10000166	10000166
22.	Knob Extension HI/LO	10000165	10000165
23.	Pilot Indicator	20005908	20005908
24.	Ignitor Module	20005909	20005909
25.	Pilot Indicator Plug	20006250	20006250
26.	Switch Rocker	53606	53606
27.	Spark Cable Connection	20005807	20005807
28.	Aluminum Foil Tape	20006169	20006169
29.	Plate, Restrictor	20006663	20006757
30.	Milpack Tube (not shown)	53326	53326

**Fuel Conversion Kits**

Conversion Kit, NG to LP

DVT44RN & EN Kit # 20006414

DVT38RN & EN Kit # 20006988

Conversion Kit, LP to NG

DVT44RP & EP Kit # 20006412

DVT38RP & EP Kit # 20006987

## Accessories

### Remote Controls

Optional remote control units are available to control different functions of the appliance.

<b>Model</b>	<b>Function(s) Controlled</b>
MRC1	On/Off
MRC2	On/Off and Temperature
MRC3	On/Off and Temperature control with digital display and programmable 24- hour clock
IMT	Wall-mounted Thermostat Control (For use in Canada ONLY)

# LIMITED LIFETIME WARRANTY

## PRODUCT COVERED BY THIS WARRANTY

All Vermont Castings gas stoves, gas inserts, and gas fireplaces, and all Majestic or Northern Flame brand gas fireplaces equipped with an Insta-Flame Ceramic Burner, or standard steel tube burner.

### BASIC WARRANTY

Vermont Castings, Majestic Products (hereinafter referred to collectively as the Company) warrants that your new Vermont Castings or Majestic Gas Fireplace/Stove is free from manufacturing and material defects for a period of one year from the date of purchase, subject to the following conditions and limitations.

### EXTENDED LIFETIME WARRANTY

The heat exchanger, where applicable, and combustion chamber of every Vermont Castings or Majestic gas product is warranted for life against through wall perforation. All appliances equipped with an Insta-Flame Ceramic Burner have limited lifetime coverage on the ceramic burner plaque. Warranties are made to the original owner subject to proof of purchase and the conditions and limitations listed on this Warranty Document

### COMPONENT WARRANTY

**CAST IRON:** All external and internal cast iron parts are warranted for a period of three years.

**Note:** On porcelain enamel finished external parts and accessories The Company offers no Warranty on chipping of enamel surfaces. Inspect all product prior to accepting it for any damage to the enamel.

The salt air environment of coastal areas or a high humidity environment can be corrosive to the porcelain enamel finish. These conditions can cause rusting of the cast iron beneath the porcelain enamel finish, which will cause the finish to flake off.

Dye lot variations with replacement parts and/or accessories can occur and are not covered by warranty.

**GLASS DOORS:** Glass doors are covered for a period of one year. Glass doors are not warranted for breakage due to misuse or accident. Glass doors are not covered for discoloration or burned in stains due to environmental issues, or improper cleaning and maintenance.

**BRASS PLATED PARTS AND ACCESSORIES:** Brass parts should be cleaned with Lemon oil only. Brass cleaners cannot be used. Mortar mix and masonry cleaners may corrode the brass finish. The Company will not be responsible for, nor will it warrant any brass parts which are damaged by external chemicals or down draft conditions.

**GAS VALVES:** Gas valves are covered for a period of one year

**ELECTRONIC AND MECHANICAL COMPONENTS:** Electronic and mechanical components of the burner assembly are covered for one year. All steel tube burners are warranted for one year.

**ACCESSORIES:** Unless otherwise noted all components and Vermont Castings, Majestic Products company supplied accessories are covered for a period of one year.

### CONDITIONS AND LIMITATIONS

- This new Vermont Castings or Majestic product must be installed by a competent, authorized, service contractor. A licensed technician, as prescribed by the local jurisdiction must perform any installation/service work. It must be installed and operated at all times in accordance with the Installation and Operating instructions furnished with the product. Any alteration, willful abuse, accident, or misuse of the product shall nullify this warranty.
- This warranty is non-transferable, and is made to the original owner, provided that the purchase was made through an authorized supplier of the Company.
- The customer must pay for any Authorized Dealer in-home travel fees or service charges for in-home repair work. It is the dealers option whether the repair work will be done in the customer's home or in the dealer's shop.
- If upon inspection, the damage is found to be the fault of the manufacturer, repairs will be authorized at no charge to the customer parts and/or labor.

- Any part and/or component replaced under the provisions of this warranty is covered for six months or the remainder of the original warranty, whichever is longest.
- This warranty is limited to the repair of or replacement of part(s) found to be defective in material or workmanship, provided that such part(s) have been subjected to normal conditions of use and service, after said defect is confirmed by the Company's inspection.
- The company may, at its discretion, fully discharge all obligations with respect to this warranty by refunding the wholesale price of the defective part(s)
- Any installation, labor, construction, transportation, or other related costs/expenses arising from defective part(s), repair, replacement, or otherwise of same, will not be covered by this warranty, nor shall the Company assume responsibility for same. Further, the Company will not be responsible for any incidental, indirect, or consequential damages except as provided by law.
- *SOME STATES DO NOT ALLOW FOR THE EXCLUSION OR LIMITATIONS OF INCIDENTAL AND CONSEQUENTIAL DAMAGES OR LIMITATIONS ON HOW LONG AN IMPLIED WARRANTY LASTS, SO THE ABOVE LIMITATIONS MAY NOT APPLY TO YOUR CIRCUMSTANCES. THIS WARRANTY GIVES YOU SPECIFIC RIGHTS AND YOU MAY HAVE OTHER RIGHTS WHICH VARY FROM STATE TO STATE.*
- All other warranties-expressed or implied-with respect to the product, its components and accessories, or any obligations/liabilities on the part of the Company are hereby expressly excluded.
- The Company neither assumes, nor authorizes any third party to assume on its behalf, any other liabilities with respect to the sale of this Vermont Castings, Majestic product
- The warranties as outlined within this document do not apply to chimney components or other non Vermont Castings, Majestic accessories used in conjunction with the installation of this product..
- Damage to the unit while in transit is not covered by this warranty but is subject to claim against the common carrier. Contact the dealer from whom you purchased your fireplace/stove (do not operate the appliance as this might negate the ability to process the claim with the carrier).
- The Company will not be responsible for:
  - a) Down drafts or spillage caused by environmental conditions such as near-by trees, buildings, roof tops, hills, or mountains.
  - b) Inadequate ventilation or negative air pressure caused by mechanical systems such as furnaces, fans, clothes dryers, etc.
- This warranty is void if:
  - a) The fireplace has been operated in atmospheres contaminated by chlorine, fluorine, or other damaging chemicals.
  - b) The fireplace has been subjected to prolonged periods of dampness or condensation
  - c) Any damages to the fireplace, combustion chamber, heat exchanger or other components due to water, or weather damage, which is the result of but not limited to, improper chimney/venting installation.
  - d) Any alteration, willful abuse, accident, or misuse of the product has occurred.

### IF WARRANTY SERVICE IS NEEDED...

- 1) Contact your supplier. Make sure you have your warranty, your sales receipt, and the model/serial number of your Vermont Castings, Majestic product.
- 2) DO NOT ATTEMPT TO DO ANY SERVICE WORK YOURSELF.



WINDOW ABOVE MAIN ENT.

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 375-6339

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Arch Aluminum & Glass Company  
10200 N.W. 67th Street  
Tamarac, FL 33321

Your application for Notice of Acceptance (NOA) of:  
Series "L-3000 Impact Wall" Aluminum Window Wall System - Impact Resistant  
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of  
Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade  
County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this  
product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this  
product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the  
use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is  
determined by BCCO that this product or material fails to meet the requirements of the South Florida  
Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0619.01  
EXPIRES: 10/11/2006

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL  
CONDITIONS  
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building  
Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set  
forth above.

Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office

APPROVED: 10/11/2001

10/11/01

Arch Aluminum & Glass Company

ACCEPTANCE No.: 01-0619.01

APPROVED : OCT 11 2001

EXPIRES : OCT 11 2006

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. SCOPE

1.1 This approves an aluminum window wall system as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, (SFBC), 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawing.

2. PRODUCT DESCRIPTION

2.1 The Series "L-3000 Impact Wall" Aluminum Window Wall System - Large Missile Impact Resistant and its components shall be constructed in strict compliance with the following document: Drawing No. W01-27, Sheets 1 thru 7 of 7, titled "L-3000 Aluminum Window Wall System," prepared by Al-Farooq Corporation, dated 5/25/01, last revised on 8/30/01, signed and sealed by Humayoun Farooq, P.E., bearing the Miami-Dade County Product Control approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. This document shall hereinafter be referred to as the approved drawing.

3. LIMITATIONS

3.1 This approval applies to multiple unit applications of an aluminum window wall system, limited only to the maximum height (span) and mullion spacing; for the Design Pressure Rating shown in approved drawing.

4. INSTALLATION:

4.1 The aluminum window wall system and its components shall be installed in strict compliance with the approved drawings.

4.2 Hurricane protection system (shutters): The installation of this unit will not require a hurricane protection system.

5. LABELING

5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".


6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by two copies of the following:

6.1.1 This Notice of Acceptance.

6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.

6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

  
Manuel Perez, P.E., Product Control Examiner  
Product Control Division

Arch Aluminum & Glass Company

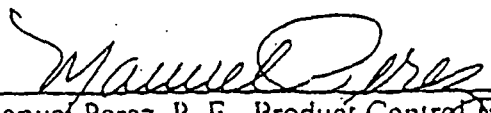
ACCEPTANCE No.: 01-0619.01

APPROVED : OCT 11 2001

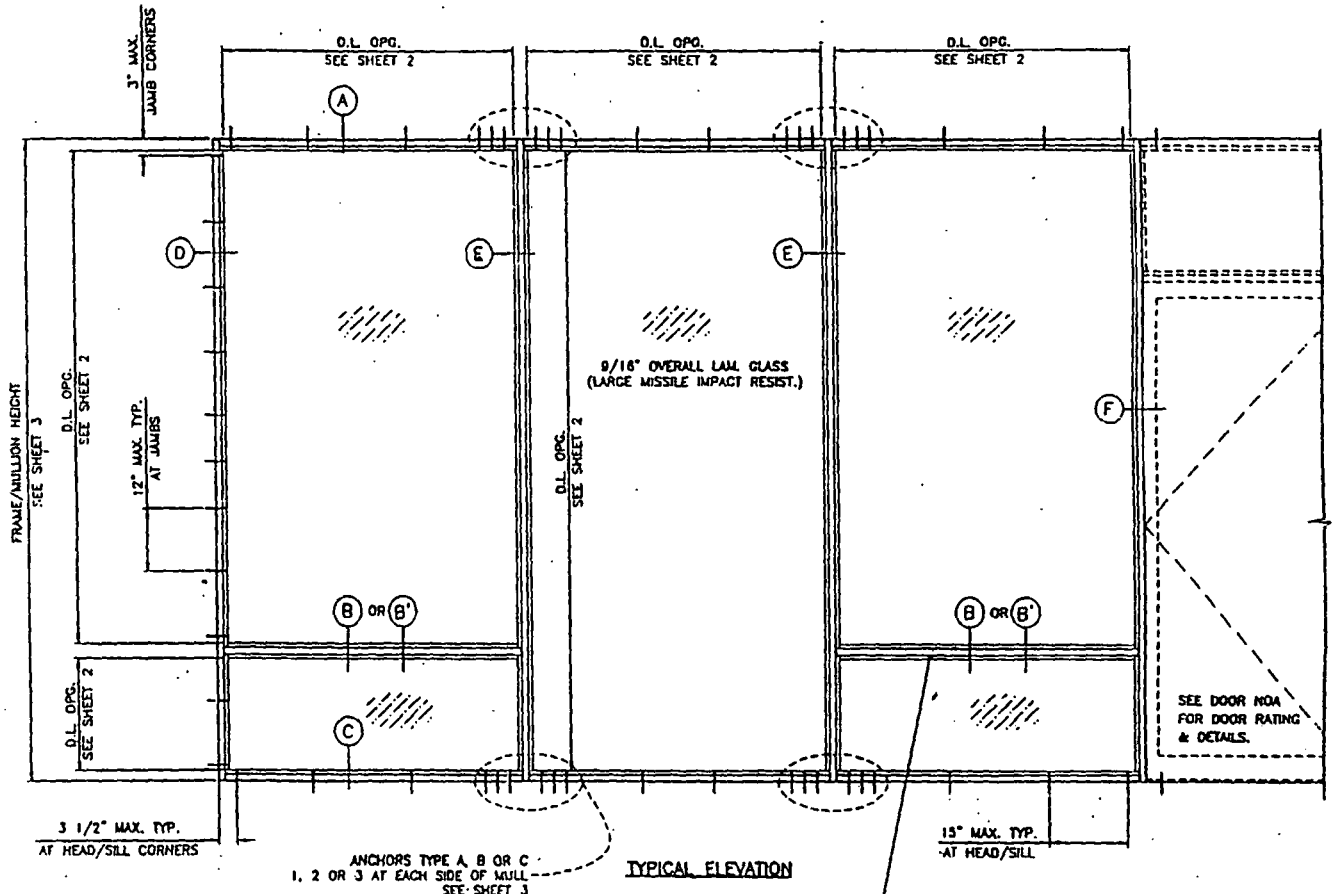
EXPIRES : OCT 11 2005

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
  - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
  - b) The product is no longer the same product (identical) as the one originally approved;
  - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
  - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
  - a) Unsatisfactory performance of this product or process.
  - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engincer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

  
Manuel Perez, P. E., Product Control Examiner  
Product Control Division

END OF THIS ACCEPTANCE



**SERIES L-3000 (INTERIOR GLAZED)  
ALUMINUM WINDOW WALL SYSTEM**

THIS SYSTEM MAY BE USED IN CONJUNCTION WITH MIAMI DADE COUNTY APPROVED ENTRANCE DOORS.

WINDOW WALL SYSTEM IS RATED FOR LARGE MISSILE IMPACT. SHUTTERS NOT REQUIRED.

CODE REQUIREMENTS FOR SAFEGUARDS MUST BE OBSERVED.

THIS STRUCTURE IS DESIGNED AS PER THE SOUTH FLORIDA BUILDING CODE 1994 EDITION FOR DADE COUNTY; ALSO FOR WIND LOADS AS PER ASCE 7 USING CORRESPONDING LOADS.

WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.

ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.

ALL STEEL IN CONTACT WITH ALUMINUM TO BE PAINTED OR PLATED.

**INSTRUCTIONS:**

USE CHARTS AS FOLLOWS.

- STEP 1** DETERMINE DESIGN LOAD REQUIRED PER ASCE 7, FOR PARTICULAR OPENING.
- STEP 2** SEE CHART ON SHEET 2 FOR DESIGN LOAD CAPACITY OF DESIRED GLASS SIZE.
- STEP 3** SEE SHEET 3 FOR MULLION LOAD DIAGRAMS TO ESTABLISH MULLION SPAN AND AVERAGE WIDTH (W).
- STEP 4** USING CHART ON SHEET 3 SELECT ANCHOR OPTIONS WITH DESIGN RATING MORE THAN DESIGN LOAD SPECIFIED IN STEP 1 ABOVE.

Engr: DR. MUHAMMAD FAROOQ  
STRUCTURES  
FLA. PE # 16557  
*[Signature]*  
SEP 7 2001

*afc*

**AL-FAROOQ CORPORATION**  
ENGINEERS, PLANNERS & PRODUCT DESIGN  
MIAMI, FLORIDA 33174  
TEL. (305) 284-8100 FAX. (305) 282-6978  
STORE 01-27A

**L-3000 ALUMINUM WINDOW WALL SYSTEM**  
**ARCH ALUMINUM & GLASS L.C.**  
10200 N.W. 67th Street  
TAMARAC, FL 33321  
TEL. (800) 432-8132 FAX. (854) 714-8293

REVISIONS:	NO.	DATE	BY	DESCRIPTION
	1	09/20/01		REV. PER RECD COMMENTS

Scale: 1/2" = 1'  
Date: 09-23-01  
By: DR. FAROOQ  
Checked: DR. FAROOQ

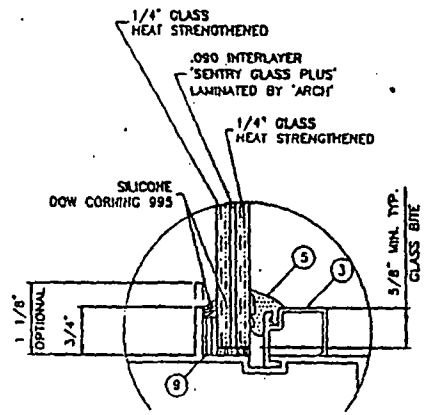
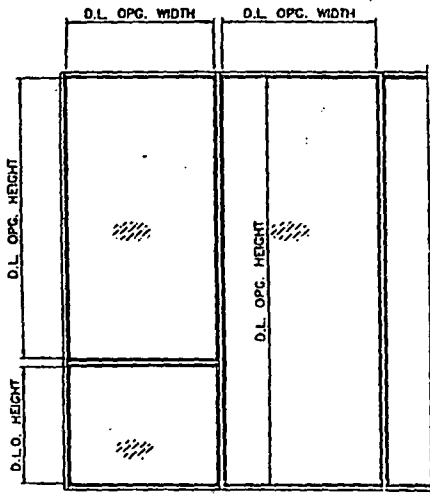
Drawing no. **W01-27**  
Sheet 1 of 6

12/01

9/16" OVERALL LAMINATED GLASS LOAD CAPACITY - PSF

D.L. OPNG. HEIGHT	D.L. OPNG. WIDTH (W)														
	36"	39"	42"	45"	48"	51"	54"	57"	60"	63"	66"	69"	72"	75"	78"
84"	100.0	100.0	100.0	100.0	100.0	100.0	100.0	100.0	96.0	89.7	85.5	77.8	72.4	64.2	61.5
87"	100.0	100.0	100.0	100.0	100.0	100.0	100.0	99.1	92.5	87.1	82.8	75.1	70.3	61.7	-
90"	100.0	100.0	100.0	100.0	100.0	100.0	100.0	95.7	89.4	84.4	80.1	73.3	68.4	-	-
93"	100.0	100.0	100.0	100.0	100.0	99.6	92.4	88.7	81.9	77.5	71.4	-	-	-	-
96"	100.0	100.0	100.0	100.0	100.0	88.1	89.4	84.1	79.3	75.1	69.4	-	-	-	-
99"	100.0	100.0	100.0	100.0	100.0	94.9	88.8	81.6	76.9	73.3	67.0	-	-	-	-
102"	100.0	100.0	100.0	100.0	92.5	85.5	79.2	74.8	71.4	-	-	-	-	-	-
105"	100.0	100.0	100.0	98.4	90.3	83.4	76.8	73.0	69.8	-	-	-	-	-	-
108"	100.0	100.0	100.0	96.3	88.2	81.3	75.6	71.2	67.6	-	-	-	-	-	-
114"	100.0	100.0	100.0	97.0	84.1	77.8	72.4	67.8	-	-	-	-	-	-	-
117"	100.0	100.0	100.0	95.1	82.5	76.3	70.9	-	-	-	-	-	-	-	-
120"	100.0	100.0	100.0	93.1	84.9	74.7	69.4	-	-	-	-	-	-	-	-
123"	100.0	100.0	100.0	91.3	83.5	73.2	68.1	-	-	-	-	-	-	-	-
126"	100.0	100.0	100.0	89.8	82.2	71.8	-	-	-	-	-	-	-	-	-
129"	100.0	100.0	100.0	88.3	80.7	74.2	-	-	-	-	-	-	-	-	-
132"	100.0	100.0	100.0	86.8	79.2	-	-	-	-	-	-	-	-	-	-
135"	100.0	100.0	100.0	90.6	78.0	-	-	-	-	-	-	-	-	-	-
138"	100.0	100.0	98.8	89.2	78.6	-	-	-	-	-	-	-	-	-	-
141"	100.0	100.0	97.3	87.9	-	-	-	-	-	-	-	-	-	-	-
144"	100.0	100.0	95.8	86.5	-	-	-	-	-	-	-	-	-	-	-

GLASS



9/16" OVERALL LAMINATED GLASS  
LARGE MISSILE IMPACT RESISTANT  
SHUTTERS NOT REQUIRED

Engt. DR. HUMAYUN FAROOQ  
STRUCTURES  
FLA. PE # 16557

SEP 07 2001

APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE OCT 11 2001  
BY [Signature]  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 01-0619-01

afc

**AL-FAROOQ CORPORATION**  
ENGINEERS, PLANNERS & PRODUCT DESIGN  
1235 SW 87 AVE  
MIAMI, FLORIDA 33174  
TEL (305) 264-8100 FAX (305) 282-6878  
STORE: 01-374A

**L-3000 ALUMINUM WINDOW WALL SYSTEM**  
**ARCH ALUMINUM & GLASS L.C.**  
10200 N.W. 67th street  
TAMARAC, FL 33321  
TEL (900) 433-8133 FAX (954) 724-9293

DATE: 08-23-01  
SCALE: 1/2" = 1'  
BY: [Signature]  
CHK: BY: [Signature]

drawing no.  
**W01-27**

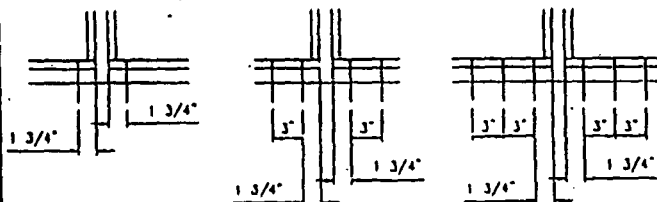
sheet 2 of 6

00101



NOMINAL DIMS.		DESIGN LOAD CAPACITY - PSF EXTERIOR (+) AND INTERIOR (-)				
WIDTH (W)	FRAME HEIGHT	ANCHOR TYPES				
		A-4	A-6	B-2 / C-2	B-4 / C-4	
36"	96"	100.0	100.0	100.0	100.0	
39"		100.0	100.0	100.0	100.0	
42"		99.1	100.0	100.0	100.0	
45"		94.4	100.0	100.0	100.0	
48"		90.3	100.0	100.0	100.0	
51"		88.6	100.0	98.7	100.0	
54"		83.8	100.0	95.2	100.0	
57"		81.1	100.0	92.2	100.0	
60"		78.8	100.0	89.6	100.0	
63"		76.6	100.0	87.3	100.0	
66"		75.1	100.0	85.3	100.0	
69"		73.6	100.0	83.6	100.0	
72"	72.3	100.0	82.1	100.0		
75"	71.2	100.0	80.9	100.0		
36"	102"	100.0	100.0	100.0	100.0	
39"		97.0	100.0	100.0	100.0	
42"		91.8	100.0	100.0	100.0	
45"		87.3	100.0	99.2	100.0	
48"		83.4	100.0	94.8	100.0	
51"		80.0	100.0	90.9	100.0	
54"		77.1	100.0	87.6	100.0	
57"		74.5	100.0	84.7	100.0	
60"		72.3	100.0	82.1	100.0	
63"		70.3	100.0	79.9	100.0	
66"		68.6	100.0	77.9	100.0	
69"		67.0	100.0	76.2	100.0	
36"	108"	98.4	100.0	100.0	100.0	
39"		90.5	100.0	100.0	100.0	
42"		85.4	100.0	97.1	100.0	
45"		81.1	100.0	92.2	100.0	
48"		77.4	100.0	88.0	100.0	
51"		74.2	100.0	84.3	100.0	
54"		71.4	100.0	81.1	100.0	
57"		68.9	100.0	78.3	100.0	
60"		66.7	100.0	75.8	100.0	
63"		64.8	97.2	73.6	100.0	
66"		63.1	94.6	71.7	100.0	
36"		114"	90.3	100.0	100.0	100.0
39"	84.7		100.0	96.3	100.0	
42"	79.9		100.0	90.8	100.0	
45"	75.6		100.0	86.2	100.0	
48"	72.3		100.0	82.1	100.0	
51"	69.2		100.0	78.6	100.0	
54"	66.5		99.7	75.5	100.0	
57"	64.1		96.1	72.8	100.0	
60"	61.9		92.9	70.4	100.0	
63"	60.1		90.1	68.3	100.0	
36"	120"		85.0	100.0	96.8	100.0
39"			79.7	100.0	90.5	100.0
42"		75.1	100.0	85.3	100.0	
45"		71.2	100.0	80.9	100.0	
48"		67.8	100.0	77.0	100.0	
51"		64.8	97.2	73.6	100.0	
54"		62.2	93.2	70.7	100.0	
57"		59.9	89.8	68.0	100.0	
60"		57.8	86.7	65.7	100.0	

NOMINAL DIMS.		DESIGN LOAD CAPACITY - PSF EXTERIOR (+) AND INTERIOR (-)				
WIDTH (W)	FRAME HEIGHT	ANCHOR TYPES				
		A-4	A-6	B-2 / C-2	B-4 / C-4	
36"	126"	80.3	100.0	91.3	100.0	
39"		75.2	100.0	85.4	100.0	
42"		70.6	100.0	80.5	100.0	
45"		67.0	100.0	78.2	100.0	
48"		63.6	95.6	72.5	100.0	
51"		60.9	91.4	69.2	100.0	
54"		58.4	87.6	66.4	96.0	
57"		56.2	84.3	63.8	90.9	
36"		132"	78.1	100.0	88.5	100.0
39"			71.2	100.0	80.9	100.0
42"			67.0	100.0	76.1	100.0
45"			63.4	95.0	72.0	100.0
48"	60.2		90.3	68.4	93.9	
51"	57.5		86.2	65.3	88.4	
54"	55.1		82.6	62.6	83.5	
36"	138"		72.3	100.0	82.1	100.0
39"			67.6	100.0	76.8	100.0
42"			63.5	93.9	72.2	93.9
45"			60.1	87.7	68.3	87.7
48"			57.1	82.2	64.6	82.2
51"		54.4	77.4	61.8	77.4	
36"		144"	68.6	96.5	78.2	96.5
39"			64.3	89.0	73.1	89.0
42"			60.4	82.7	68.7	82.7
45"			57.1	77.2	64.9	77.2
48"			54.2	72.3	61.6	72.3

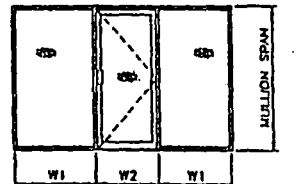


ANCHORS TYPE B-2, C-2      ANCHORS TYPE A-4, B-4, C-4      ANCHORS TYPE A-6

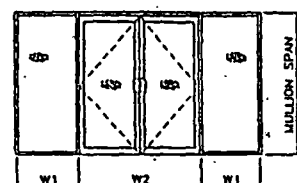
- A-4 = (2) ANCHORS TYPE 'A' AT EACH SIDE OF MULLION
  - A-6 = (3) ANCHORS TYPE 'A' AT EACH SIDE OF MULLION
  - B-2 = (1) ANCHOR TYPE 'B' AT EACH SIDE OF MULLION
  - B-4 = (2) ANCHORS TYPE 'B' AT EACH SIDE OF MULLION
  - C-2 = (1) ANCHOR TYPE 'C' AT EACH SIDE OF MULLION
  - C-4 = (2) ANCHORS TYPE 'C' AT EACH SIDE OF MULLION
- ALL OTHER ANCHORS TO BE SPACED AS PER ELEVATION.

**TYPICAL ANCHORS:** SEE ELEV. FOR SPACING

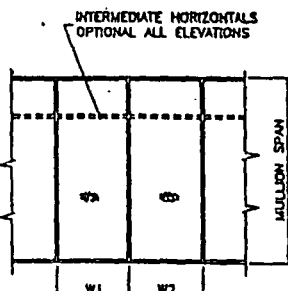
- A) **1/4" DIA TAPCONS**  
INTO WOOD STRUCTURES  
WITH 1-3/4" MIN. PENETRATION INTO WOOD  
THRU WOOD BUCKS INTO MASONRY  
WITH 1-1/4" MIN. EMBED INTO MASONRY
- B) **1/4" DIA TAPCONS**  
DIRECTLY INTO MASONRY  
WITH 1-1/4" MIN. EMBED INTO MASONRY
- C) **#14 SMS OR SELF DRILLING (TEKS) SCREWS**  
INTO METAL STRUCTURES (STEEL OR ALUMINUM 1/8" MIN. THICK.)  
STEEL : Fy = 36 KSI MIN.  
ALUMINUM : 6083-T5 MIN.



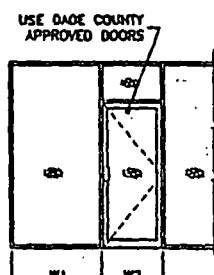
$$\text{WIDTH (W)} = \frac{W1 + W2}{2}$$



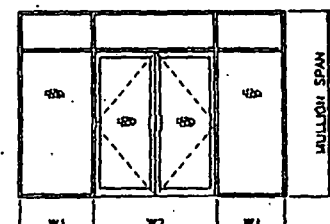
$$\text{WIDTH (W)} = \frac{W1}{2} + \frac{W2}{4}$$



$$\text{WIDTH (W)} = \frac{W1 + W2}{2}$$



$$\text{WIDTH (W)} = \frac{W1 + W2}{2}$$



$$\text{WIDTH (W)} = \frac{W1 + W2}{2}$$

Engr. DR. MUHAMMAD FAROOQ  
STRUCTURES  
FLA. PE # 18357

SEP 07 2001

APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE OCT 11 2000  
BY Muhammad Farooq  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO 01-06191.01

**AL-FAROOQ CORPORATION**  
ENGINEERS, PLANNERS & PRODUCT DESIGN  
1235 SW 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 284-8100 FAX. (305) 282-8978  
STORE 01-27A

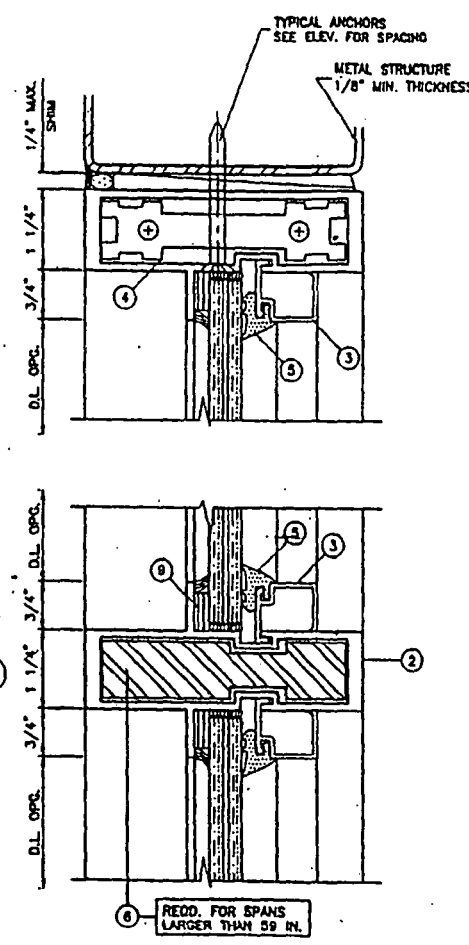
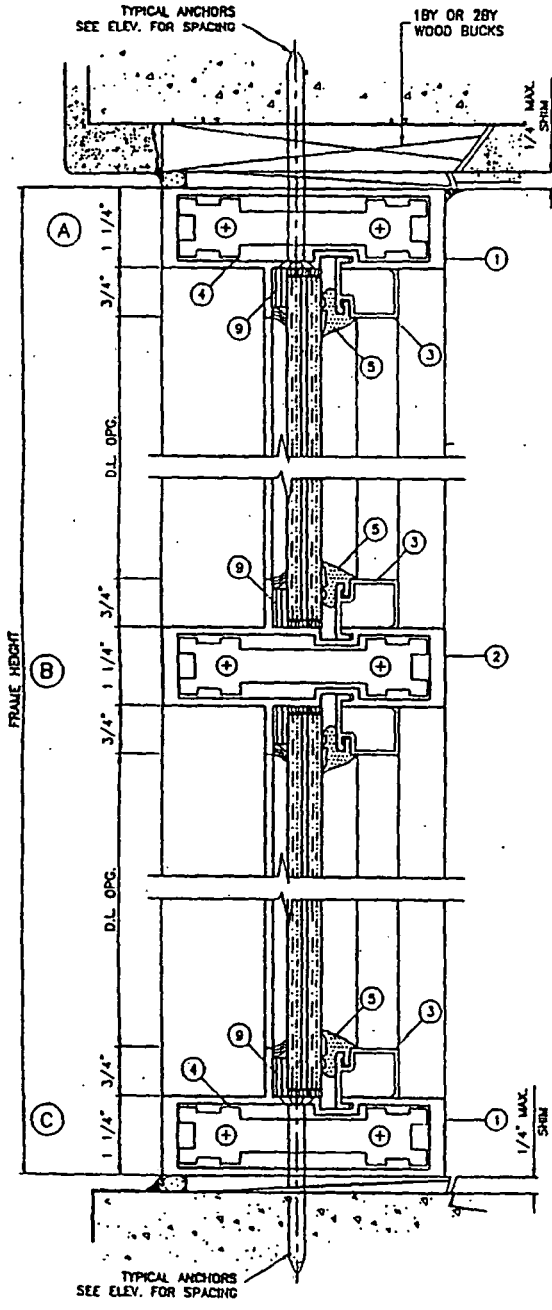
**L-3000 ALUMINUM WINDOW WALL SYSTEM**  
**ARCH ALUMINUM & GLASS L.C.**  
10200 N.W. 67th street  
TAMARAC, FL 33321  
TEL. (800) 432-8132 FAX. (954) 774-9293

REVISIONS:	BY	DATE

drawing no. **W01-27**  
sheet 3 of 6

06/10

EXTERIOR



WOOD BUCKS NOT BY ARCH ALUM, MUST SUSTAIN LOADS IMPOSED BY GLAZING SYSTEM AND TRANSFER THEM TO THE BUILDING STRUCTURE.

**SEALANTS:**  
 GLAZING BEAD AT FRAME SILL SEALED TO GLASS WITH DOW CORNING 995.  
 FRAME CORNERS SEALED WITH DOW CORNING 999.

Engr. DR. HANAYOUN FAROOQ  
 STRUCTURES  
 FLA. PE # 16357

SEP 7 2001

a f c

**AL-FAROOQ CORPORATION**  
 ENGINEERS, PLANNERS & PRODUCT DESIGN  
 1235 SW 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL. (305) 264-8100 FAX. (305) 262-8378  
 STORE: 01-27A

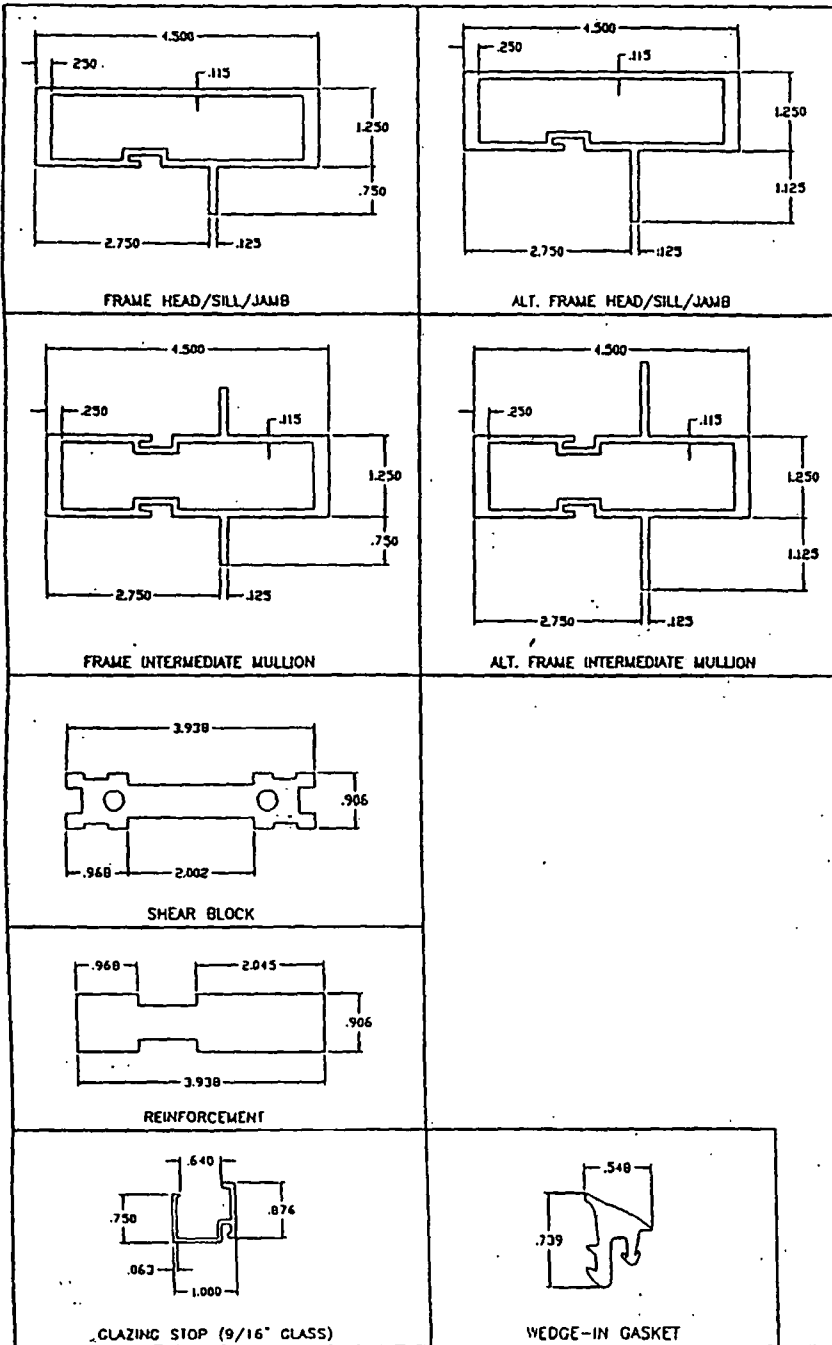
**L-3000 ALUMINUM WINDOW WALL SYSTEM**  
**ARCH ALUMINUM & GLASS L.C.**  
 10200 N.W. 67th Street  
 TAMARAC, FL 33321  
 TEL. (800) 432-8132 FAX. (954) 744-9293

Revisions:	By	Date
01	08/16	01

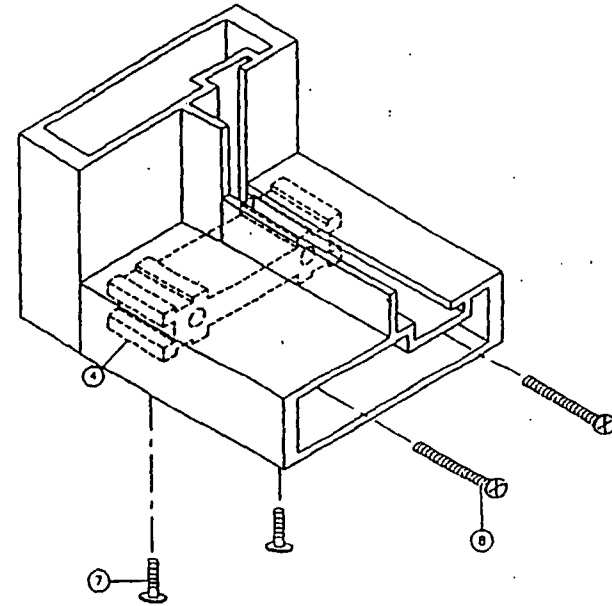
Scale: 1/2" = 1"  
 Dr. by: HAF  
 Chk. by:

drawing no.  
**W01-27**

sheet 4 of 5



MATERIALS LIST					
ITEM NO.	PART NUMBER	QUANTITY	DESCRIPTION	MATERIAL	MANF./SUPPLIER/REMARKS
1	3001	AS REQD.	FRAME HEAD/SILL/JAMB	6063-T8	ARCH ALUM & GLASS CO.
1A	3012	AS REQD.	ALTERNATE FRAME HEAD/SILL/JAMB	6063-T8	ARCH ALUM & GLASS CO.
2	3002	AS REQD.	INTERMEDIATE MULLION	6063-T8	ARCH ALUM & GLASS CO.
2A	3013	AS REQD.	ALTERNATE INTERMEDIATE MULLION	6063-T8	ARCH ALUM & GLASS CO.
3	3003	AS REQD.	GLAZING STOP (9/16" CLASS)	6063-T8	ARCH ALUM & GLASS CO.
4	AR-3004	1/ CORNER	SHEAR BLOCK	6063-T8	-
5	H-83	AS REQD.	GLAZING GASKET	EPDM 70 ±5	UNIVERSAL RUBBER CO.
6	3004A	1/ MULLION	ALUMINUM REINFORCEMENT	6063-T5	ARCH ALUM & GLASS CO.
7	1/2-24 X 3/4"	2/ CORNER	FLAT HEAD THREAD CUTTING SCREWS	-	-
8	1/4-20 X 1-1/2"	2/ CORNER	PAN HEAD MACHINE SCREWS	-	-
9	V2100	-	ADHESIVE FOAM TAPE	-	NORTON



FRAME CORNER  
HEAD & SILL  
INTER. HORIZ. MULLION

Engr. DR. HULLATOH FAROOQ  
STRUCTURES  
FL. PE # 12557

SEP 07 2001

APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE OCT 11 2001  
BY *[Signature]*  
PROJECT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICER  
ACCEPTANCE NO 01-06019-01

AL-FAROOQ CORPORATION  
ENGINEERS, PLANNERS & PRODUCT DESIGN  
1235 SW 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-8100 FAX. (305) 262-8978

L-3000 ALUMINUM WINDOW WALL SYSTEM  
ARCH ALUMINUM & GLASS L.C.  
10200 N.W. 67th street  
TAMARAC, FL 33321  
TEL. (800) 433-8132 FAX. (954) 724-8283

NO.	DATE	BY	DESCRIPTION

date: 05-29-01  
scale: 1/2" = 1"  
dr. by: HAMD  
chk. by:

drawing no.  
W01-27  
sheet 6 of 6

af Jc

STORE 01-27AA



MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

## NOTICE OF ACCEPTANCE (NOA)

Clopay Building Products Co.  
8585 Duke Boulevard  
Mason, OH 45040

**SCOPE:** This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Sectional Garage Door 18' Wide.

**APPROVAL DOCUMENT:** Drawing No. 102621, titled "Clopay M/N 84A, 94 & H94, Ideal M/N 4RST & H4ST, Holmes M/N 48", dated 06/17/02 with last revision on 01/13/03, sheets 1 of 1, prepared by Clopay Building Products Company, signed and sealed by M. W. Westerfield, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** Large and Small Missile Impact

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**LIMITATION:** This approval requires the manufacturer to do testing of all coils used to fabricate door panels under this Notice of Acceptance. A minimum of 2 specimens shall be cut from each coil and tensile tested according to ASTM E-8 by a Dade County approved laboratory selected and paid by the manufacturer. Every 3 months, four times a year, the manufacturer shall mail to this office: a copy of the tested reports with confirmation that the specimen were selected from coils at the manufacturer production facilities. And a notarized statement from the manufacturer that only coils with yield strength of 34,300 psi or more shall be used to make door panels for Dade County under this Notice of Acceptance

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 as well as the approval document mentioned above.

The submitted documentation was reviewed by Candido F. Font PE.



NOA No 02-1115.05  
Expiration Date: February 13, 2008  
Approval Date: February 13, 2003

Page 1

AY MODELS B1A, B4, M29  
MODELS BRST, M4ST  
RES MODELS 4R

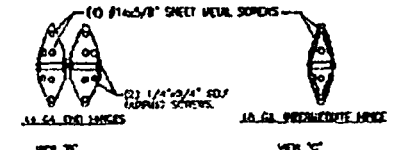
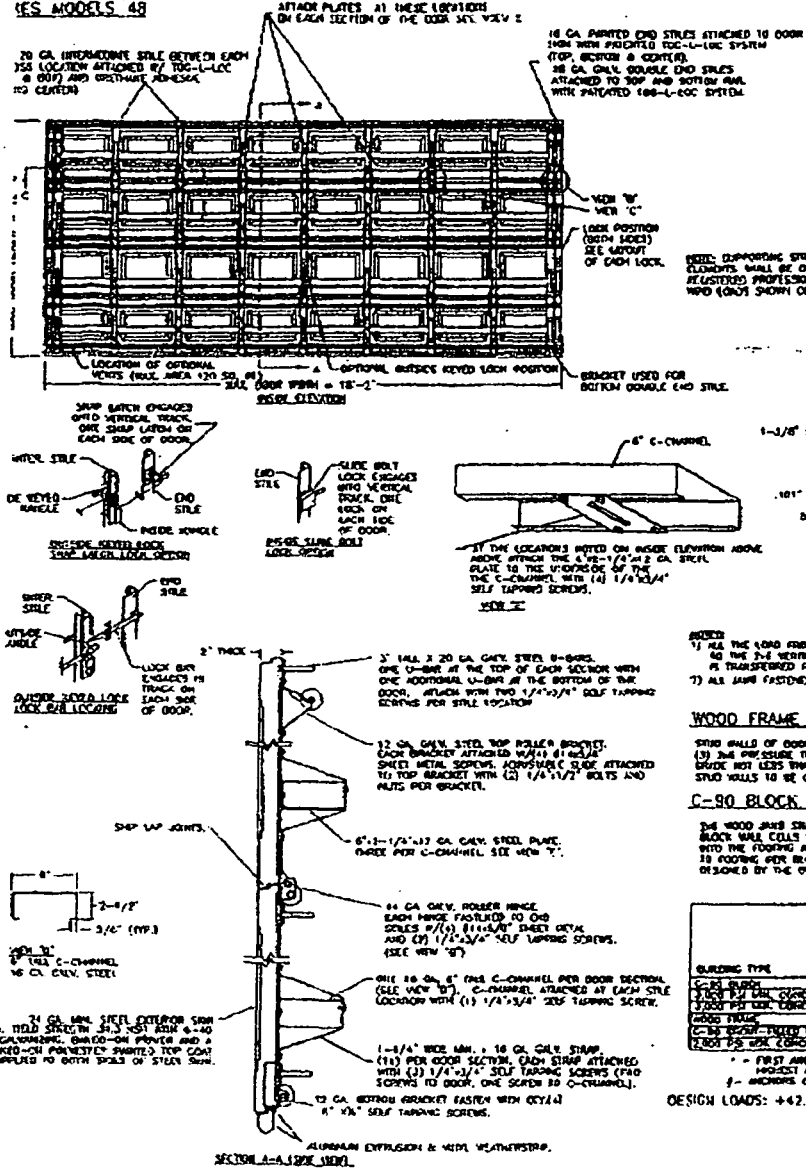
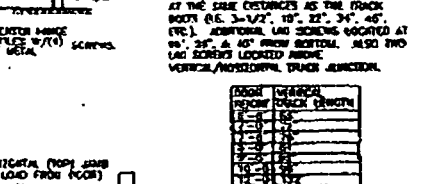
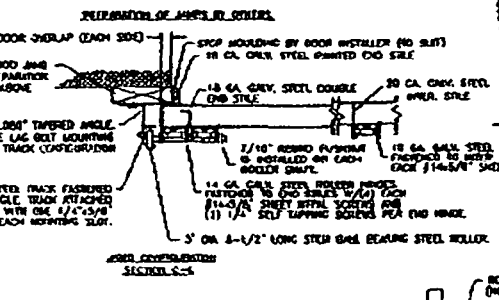
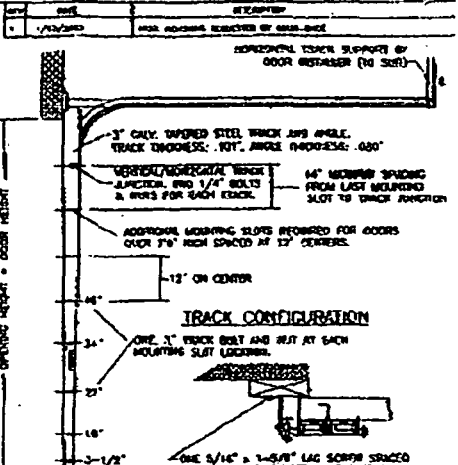


TABLE 1

DOOR HEIGHT	NUMBER OF SECTIONS
7' 0" TO 7' 6"	2
7' 6" TO 8' 0"	3
8' 0" TO 8' 6"	4
8' 6" TO 9' 0"	5
9' 0" TO 9' 6"	6



JAMB TO SUPPORTING STRUCTURE ATTACHMENT

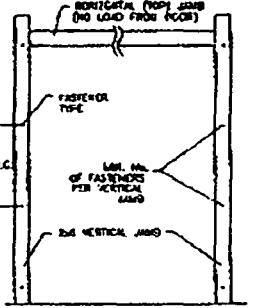
- 1) ALL THE LOAD FROM THE DOOR IS TRANSFERRED TO THE TRACK AND THEN FROM THE TRACK TO THE 2x6 VERTICAL, TYPICAL FRAME (CALL OUT #3) OR BETTER JAMBS. NO LOAD FROM THE DOOR IS TRANSFERRED TO THE HORIZONTAL (TOP) JAMB.
- 2) ALL JAMB FASTENERS MUST BE (BUT NOT REQUIRED) COUNTERSUNK TO PROVIDE A FLUSH MOUNTING SURFACE.

WOOD FRAME BUILDINGS

- 1) THE STUDS OF DOOR OPENING SHALL BE FRAMED SOLID BY NOT LESS THAN (3) 2x6 PRESURE TREATED STUD OR BETTER WOOD STUDS OF A STRESS GRADE NOT LESS THAN 1200 PSI NOMINAL EXTREME FIBER STRENGTH (F<sub>v</sub>).
- 2) STUD WALLS TO BE CONTINUOUS FROM FLOORING TO THE BEAMS.

C-90 BLOCK WALL 2,000 OR 3,000 PSI MIN. CONCRETE

- 1) THE WOOD JAMBS SHALL BE ANCHORED TO EXIST REINFORCED BRICK WALL OR CONCRETE COLUMN. BRICK WALL CELLS SHALL BE FILLED WITH CONCRETE AND REINFORCED WITH REINFORCING (BARS) EXTENDING INTO THE FLOORING AND INTO THE BEAMS. ALL BARS SHALL BE CONTINUOUS FROM ONE TO OTHER TO FLOORING PER BRICK WALL OR CONCRETE COLUMN. BRICK WALLS AND CONCRETE COLUMNS TO BE OBSERVED BY THE BUILDING ENGINEER OR ARCHITECT OF RECORD.



2x6 JAMB TO SUPPORTING STRUCTURE ATTACHMENT

BUILDING TYPE	FASTENER TYPE	MINIMUM NUMBER OF FASTENERS PER VERTICAL JAMB	MINIMUM NUMBER OF FASTENERS PER HORIZONTAL JAMB
2x4 WALL	1/4" x 3" NAIL	12	4
2x6 WALL	1/4" x 4" NAIL	12	4
2x8 WALL	1/4" x 6" NAIL	12	4
2x10 WALL	1/4" x 8" NAIL	12	4
2x12 WALL	1/4" x 10" NAIL	12	4
2x14 WALL	1/4" x 12" NAIL	12	4
2x16 WALL	1/4" x 14" NAIL	12	4
2x18 WALL	1/4" x 16" NAIL	12	4
2x20 WALL	1/4" x 18" NAIL	12	4
2x22 WALL	1/4" x 20" NAIL	12	4
2x24 WALL	1/4" x 22" NAIL	12	4

DESIGN LOADS: +42.0 P.S.F. & -16.0 P.S.F.

**Glopay Building Products Company**  
DESIGN LOADS: +42.0 P.S.F. & -16.0 P.S.F.

SCALE	DATE	BY	CHKD BY
	6/17/02	RLK	HRW

CLOPY BUILDING PRODUCTS COMPANY  
6563 DAVID BLVD.  
MANSFIELD, OH 43040  
(513) 770-4800

PROJECT NO.	PROJECT NAME
1827W x 1204H	CLOPY M/W B1A, B4 & M29 & BRST & M4ST, RES MODELS B1A, B4 & M29

DESIGN ENGINEER: MARK W. STEENFELD, P.E.  
FLORIDA REGISTRATION NO. 48

DATE: 10/20/01



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

## **NOTICE OF ACCEPTANCE (NOA)**

---

**Therma-Tru Corporation  
1687 Woodlands Drive  
Maumee, Ohio 43537**

### **SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

### **DESCRIPTION: "Classic Craft" Opaque Fiberglass Door 8'0 Inswing**

**APPROVAL DOCUMENT:** Drawing No. S-2179, titled "Classic Craft Opaque" Single & Double Inswing 8'0 Fiberglass Door", sheets 1 through 7, prepared by RW Building Consultants, Inc., dated 3/18/02, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

### **MISSILE IMPACT RATING: None**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

The submitted documentation was reviewed by **Raul Rodriguez**



**NOA No 02-0109.06  
Expiration Date: June 20, 2007  
Approval Date: June 20, 2002  
Page 1**

**THERMA-TRU®**  
**"CLASSIC CRAFT" FIBERGLASS DOOR**  
 60° INSWING WITH & WITHOUT SIDELITES

**GENERAL NOTES**

- THIS PRODUCT IS DESIGNED TO MEET THE SOUTH FLORIDA BUILDING CODE 1994 EDITION FOR MIAMI-DADE COUNTY.
- WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.
- PRODUCT ANCHORS SHALL BE AS LISTED AND SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
- DESIGNED PRESSURE RATING SEE TABLE PAGE 1.
- THIS PRODUCT DOES NOT MEET THE WATER REQUIREMENTS FOR MIAMI-DADE COUNTY.
- MIAMI-DADE APPROVED IMPACT RESISTANT SHUTTERS ARE REQUIRED.
- SIDELITES ARE AN OPTION AND CAN BE USED IN A SINGLE OR DOUBLE CONFIGURATION.
- UNIT SHALL BE INSTALLED ONLY AT LOCATIONS PROTECTED BY CANOPY OR OVERHANG SUCH THAT THE ANGLE BETWEEN THE EDGE OF CANOPY OR OVERHANG TO SILL IS LESS THAN 45 DEGREES. UNLESS UNIT IS INSTALLED IN NON-HABITABLE AREAS WHERE THE UNIT AND THE AREAS ARE DESIGNED TO ACCEPT WATER INFILTRATION

**RESIDENTIAL INSULATED FIBERGLASS DOOR**  
 (Common to all frame conditions)

**Door & Sidelite Leaf Construction:**

Face sheets: Fiberglass skin 0.125" minimum thickness, with yield strength  $f_y(\text{min.})=6,000$  psi

Core design: Polyurethane foam core, with 1.9 lbs. density by BASF.

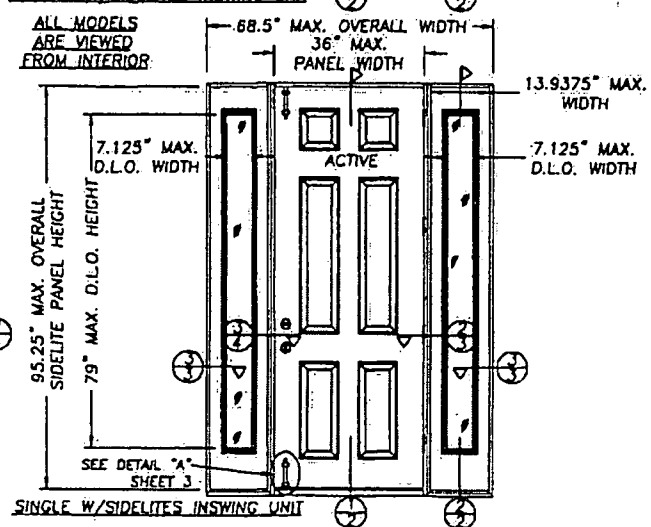
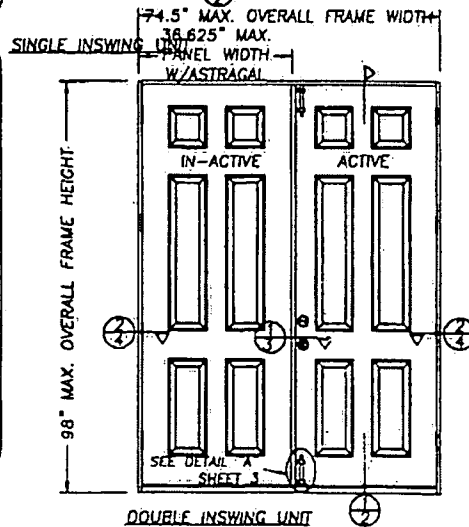
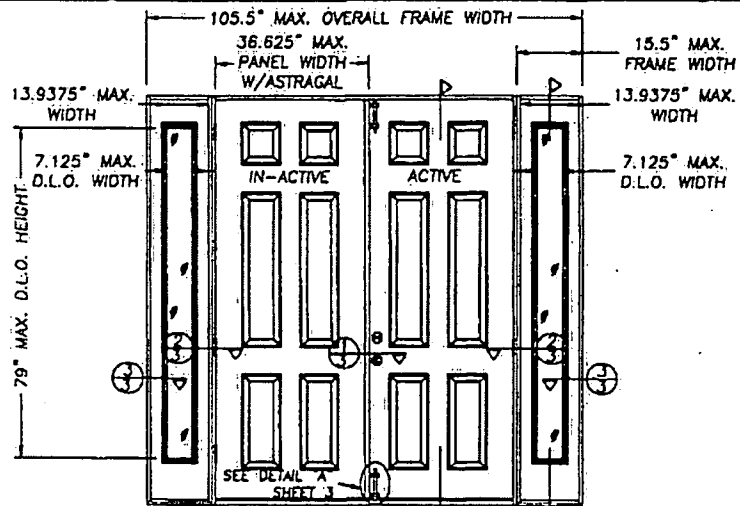
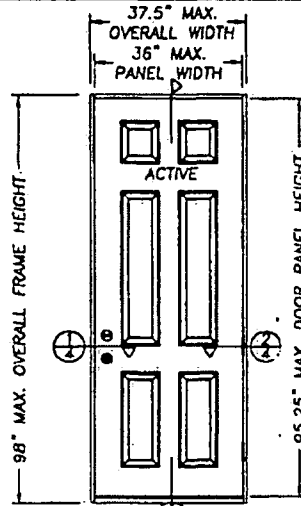
Panel Construction: The panel skin is constructed from a sheet molding compound (SMC). The interior cavity 1/8" thk. is filled with 1.9 lbs. density BASF polyurethane foam. The panel face sheets are glued to the wood stiles and rails. The latch and hinge stiles are LVL or LSL. The latch stile which is 4.125" x 1.50" is the latch reinforcement. The top and bottom rail are of a wood composite material. In the double door application the inactive door is filled with an extruded aluminum astragal of 6060-T6 alloy.

Frame Construction: The frame is constructed from finger jointed pine. The header is joined to the side jambs with (3) #8 x 2 1/2" long screw at each side. The mullions are secured together in a sidelite application using #8 x 2" long PFH Wood Screws (6) screws per each mullion. The units uses an inswing saddle threshold measuring 5.75" x 1.548".

Sidelite Glazing: The sidelite panels are sandwich glazed using a two piece lip lit frame SMC & PVC. They are dry glazed on the exterior with an 1/8" glazing tape, (Stik-II thk. cellularTape) and with Dow 795 silicone compound on the exterior & interior sealing the frame to the sidelite panel & to the glass. The lite frames are held together with a #8 x 1 1/2" long Ploscrew or a #6-18 1 3/4" long PFH screw.

**TABLE OF CONTENTS**

SHEET #	DESCRIPTION:
1	TYPICAL ELEVATIONS & GENERAL NOTES
2	VERTICAL CROSS SECTIONS & BILL OF MATERIALS
3	HORIZONTAL CROSS SECTIONS
4	HORIZONTAL CROSS SECTIONS & NOTES
5	ANCHORING LOCATIONS & DETAILS
6	ANCHORING LOCATIONS & GLAZING DETAILS
7	UNIT COMPONENTS



DESIGN PRESSURE RATING (WHERE WATER INFILTRATION REQUIREMENT IS NOT NEEDED)

UNIT TYPE	WITHOUT SURFACE BOLTS	WITH SURFACE BOLTS (ACTIVE PANEL)
SINGLE	+ 75.0 PSF - 75.0 PSF	
DOUBLE	+ 47.0 PSF - 47.0 PSF	+ 60.0 PSF - 60.0 PSF
SINGLE & DOUBLE WITH SIDELITES	+ 47.0 PSF - 47.0 PSF	+ 60.0 PSF - 60.0 PSF

Approved as complying with the Florida Building Code  
 Date: June 10, 2002  
 NOAR 02-0109-00  
 Miami Dade Product Control Division  
 By: *[Signature]*

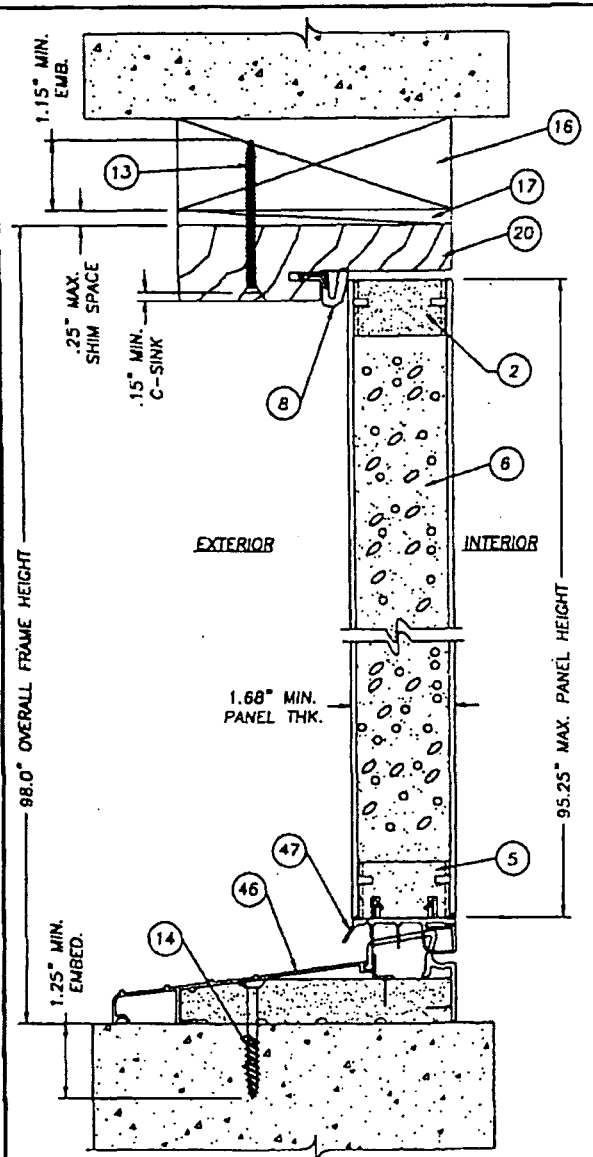
THERMA-TRU CORPORATION  
 1687 WOODLANDS DRIVE  
 MAUMEE, OHIO  
 PH. (800) 537-8827

PRODUCT: "CLASSIC CRAFT" OR "CLASSIC" SINGLE & DOUBLE INSWING BLD FIBERGLASS DOOR  
 PART OR ASSEMBLY:  
 TYPICAL - ELEVATIONS & GENERAL NOTES

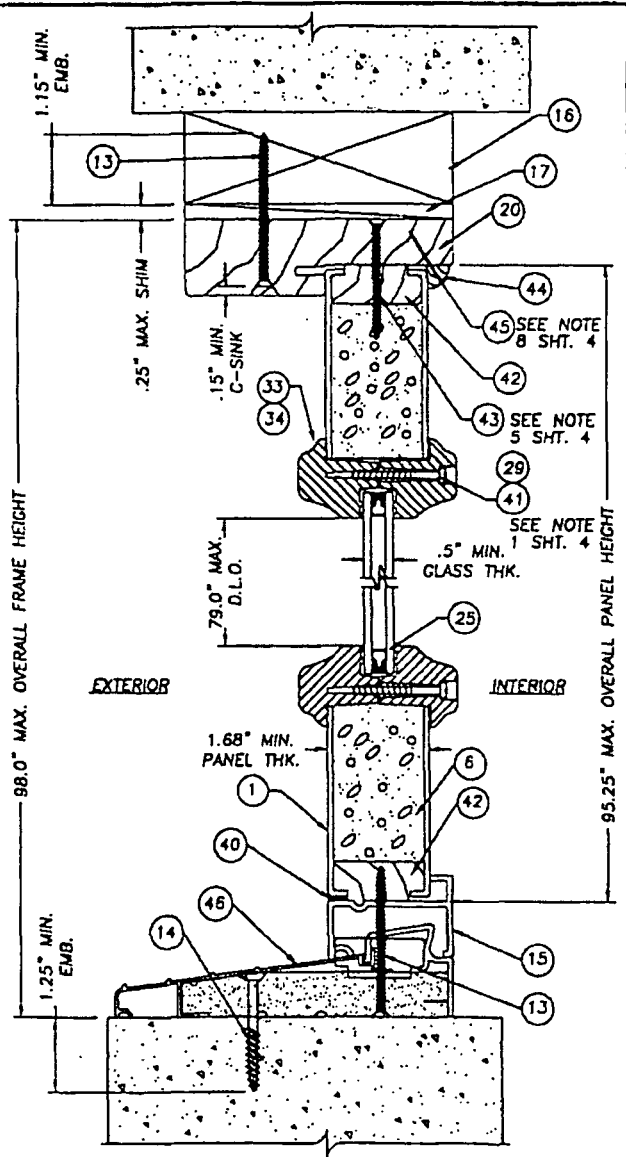
NO.	DATE	GENERAL REVISION	BY
1	7/18/02		

P.W. BUILDING CONSULTANTS, INC.  
 813.684.3831

DATE: 11/11/01  
 SCALE: N.T.S.  
 ENG. BY: WLN  
 CHK. BY: RW  
 DRAWING NO.: S-2179  
 SHEET 1 OF 7



1 VERTICAL CROSS SECTION DOOR PANEL



2 VERTICAL CROSS SECTION SIDELITE PANEL

Item	DESCRIPTION	Material
1	DOOR SKIN .125" MIN. THK. FIBERGLASS BY THERMA TRU w/ht yield strength Fy(min.)=6,000 psi	FIBERGLASS
2	TOP RAIL (1.50" x .94" THERMA-TRU WOOD COMPOSITE)	WOOD COMPOSITE
3	LATCH STYL/DOOR BLOCK (THERMA-TRU, VL OR LSL @ OAK 1.50" x 4.125")	WOOD COMPOSITE
4	HINGE STYL (THERMA-TRU, VL OR LSL @ OAK 1.50" x 1.50")	WOOD
5	BOTTOM RAIL (1.50" x .94" THERMA-TRU WOOD COMPOSITE)	WOOD COMPOSITE
6	POLYURETHANE FOAM (BASF, 1.9lbs. DENSITY)	FOAM
7	SHORT REACH COMPRESSION WEATHERSTRIP (THERMA-TRU)	FOAM
8	LONG REACH COMPRESSION WEATHERSTRIP (THERMA-TRU)	FOAM
9	4" x 4" HINGE .097" THK. (THERMA-TRU)	STEEL
10	#10 x 3/4" LG. PFH WOOD SCREW (Hinge to Frame)	STEEL
11	#10 x 1" LG. PFH WOOD SCREW	WOOD COMPOSITE
12	#10 x 2" LG. PFH WOOD SCREW	STEEL
13	#8 x 2 1/2" LG. PFH WOOD SCREW	STEEL
14	3/16" TAPCON ANCHOR (ELCO)	STEEL
15	SIDELITE BOTTOM BOOT .090" EXTRUDED VINYL	VINYL
16	2x INNER WOOD BUCK	WOOD
17	MAX. 1/4" SHIM MATERIAL	WOOD
18	KWIKSET TITAN 700 SERIES PASSAGE LOCK	-
19	NOT USED	-
20	HEADER 4.858" x 1.211" (THERMA-TRU, PONDEROSA PINE)	WOOD
21	4.563" x 1.25" STRIKE JAMB (THERMA-TRU, PONDEROSA PINE)	WOOD
22	4.563" x 1.25" HINGE JAMB (THERMA-TRU, PONDEROSA PINE)	WOOD
23	KWIKSET TITAN 700 SERIES DEADBOLT	-
24	ASTRAGAL WINDJAMBER II WRBOT (.052" WALL)	ALUM. 6060-T6
25	GLAZING, 1/2" INSULATED TEMPERED GLASS	GLASS
26	NOT USED	-
27	#8 x 1" LG. PANHEAD SHEET METAL SCREW	STEEL
28	NOT USED	-
29	#6-18 x 1 3/4" PHILLIPS FLATHEAD SCREW (FOR ITEM #33)	STEEL
30	NOT USED	-
31	NOT USED	-
32	1/8" THK. CELLULAR GLAZING TAPE (STIK-II TAPE)	-
33	PLASTIC LIP LITE FRAME (PVC, THERMA-TRU)	PVC
34	PLASTIC LIP LITE FRAME (SMC, THERMA-TRU)	SMC
35	4.858" x 1.211" BLANK JAMB (THERMA-TRU, PONDEROSA PINE)	WOOD
36	SIDELITE SIDE STYL (THERMA-TRU, 1.531" x .656" PONDEROSA PINE)	WOOD
37	#10 x 1 3/4" LG. PFH WOOD SCREW	STEEL
38	SS LATCH STYL (THERMA-TRU, WOOD COMPOSITE 1.531" x 4.024")	WOOD COMPOSITE
39	NOT USED	-
40	SILICONE CAULK (DOW 795)	SILICONE
41	#8-10 x 1 1/2" PLASCREW (FOR ITEM #34)	STEEL
42	SIDELITE TOP & BOTTOM RAIL (THERMA-TRU, 1.531" x .656" PONDEROSA PINE)	WOOD
43	#8 x 2" LG. PFH WOOD SCREW	STEEL
44	3/8" x 3/8" QUARTER ROUND FINGER JOINTED PINE	WOOD
45	1" L x .040" DIA. BRAD TRIM NAIL	STEEL
46	SELF ADJUSTING INSWING SADDLE THRESHOLD	ALUM./WOOD
47	INSWING DOOR BOTTOM SWEEP	VINYL
48	MES SURFACE BOLT #454 .25 STEEL	STEEL
49	1/4"-20 SEX BOLT W/ 1/4"-20 FEMALE END	STEEL

**THERMA-TRU CORPORATION**  
 1687 WOODLANDS DRIVE  
 MAUMEE, OHIO  
 PH. (800) 537-8827

PRODUCT: CLASSIC CRAFT ORALUIS® SINGLE & DOUBLE INSWING & D. FIBERGLASS DOOR PART OR ASSEMBLY

VERTICAL CROSS SECTIONS

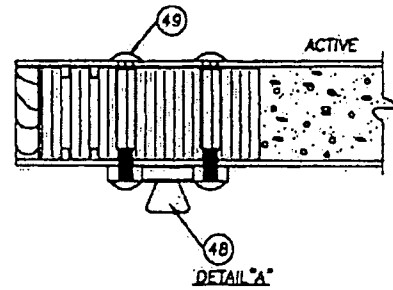
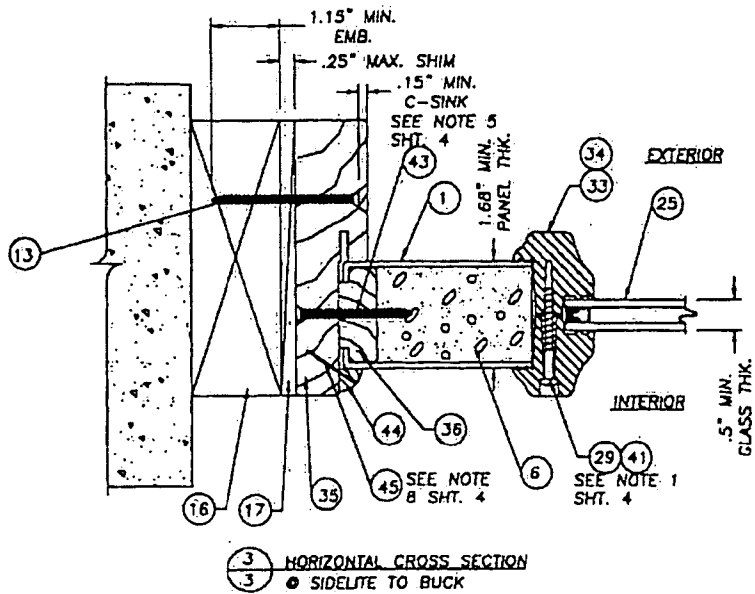
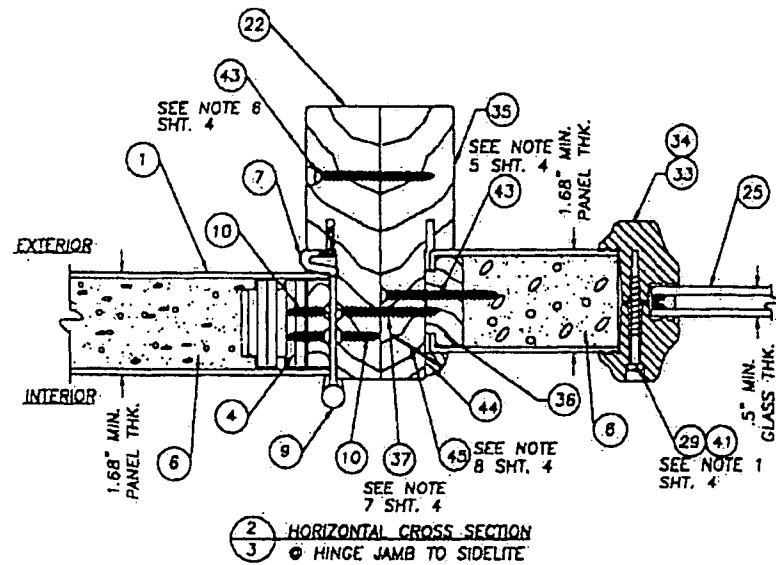
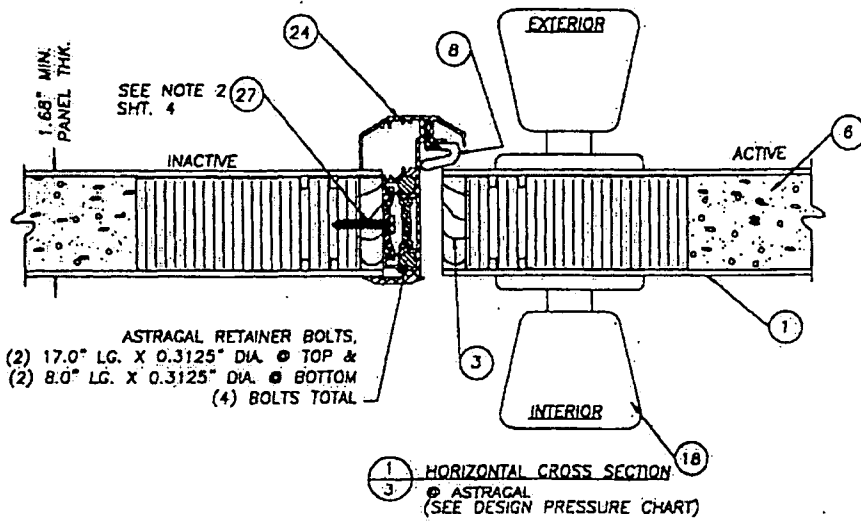
NO.	DATE	GENERAL REVISION	WLN BY
1	3/18/02		

REVISIONS

Approved as complying with the Florida Building Code thru June 20, 2002  
 NOA# 02-0109-06  
 Miami Dade Product Control Division  
 By: *[Signature]*

DATE: 11/11/01  
 SCALE: NTS  
 DWG. BY: WLN  
 CHK. BY: RW  
 DRAWING NO.: S-2179  
 SHEET 2 OF 7





OPTIONAL SURFACE BOLTS IN ACTIVE PANEL  
 (SEE DESIGN PRESSURE CHART)

THERMA-TRU CORPORATION  
 1687 WOODLANDS DRIVE  
 MAUMEE, OHIO  
 PH. (800) 537-8827

PRODUCT: "CLASSIC OPAQUE" SINGLE & DOUBLE INSULATED FIBERGLASS DOOR PART OR ASSEMBLY

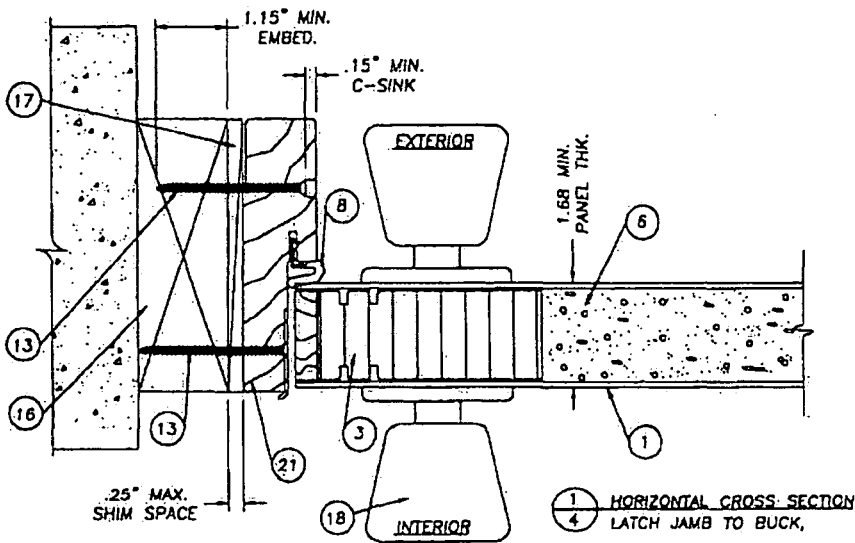
HORIZONTAL CROSS SECTIONS

NO.	DATE	GENERAL REVISION	WLN	BY
1	3/18/02			

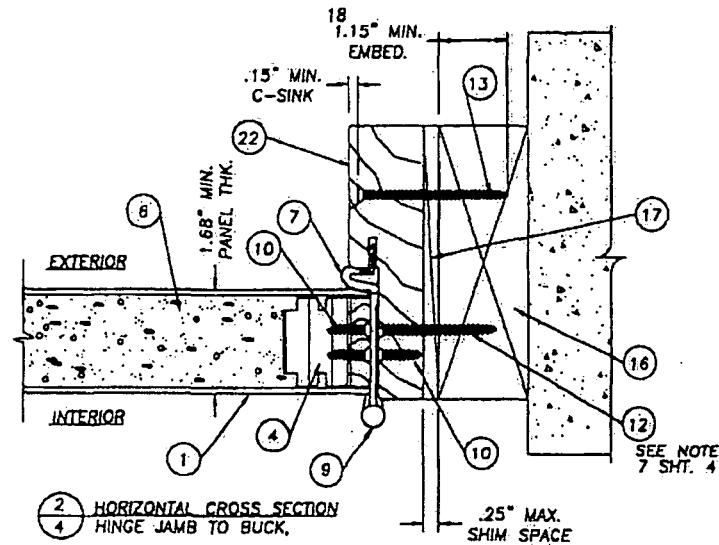
RW BUILDING CONSULTANTS, INC.  
 813.684.3831

Approved as complying with the Florida Building Code  
 Date: Jan 20, 2002  
 NOAB: 22-4184-02  
 Miami Dade Product Control  
 Division  
 By: *[Signature]*

DATE: 11/11/01  
 SCALE: NTS  
 DWD. BY: WLN  
 DOK. BY: RW  
 DRAWING NO.: S-2179



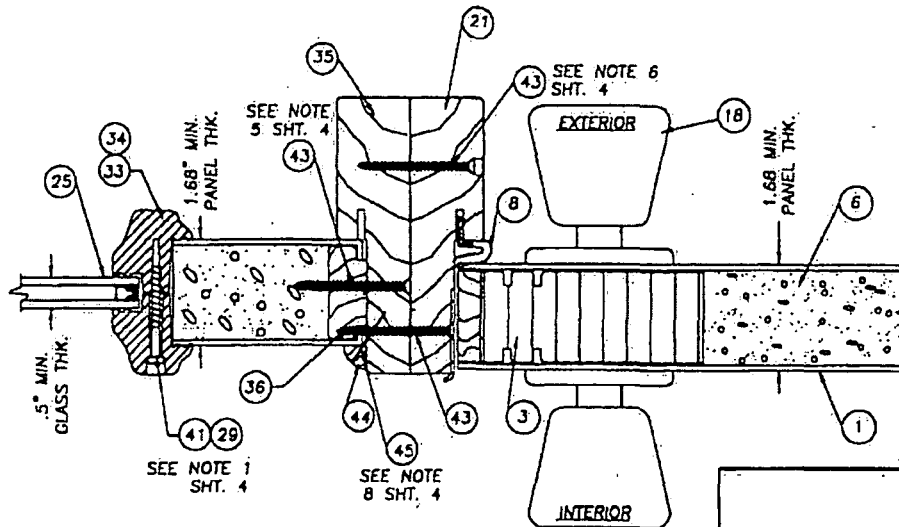
1 HORIZONTAL CROSS SECTION  
4 LATCH JAMB TO BUCK,



2 HORIZONTAL CROSS SECTION  
4 HINGE JAMB TO BUCK,

NOTES:

1. SPACING FOR (LITE FRAME SCREWS) IS AS FOLLOWS: FROM THE BOTTOM UP ON SIDES; 6.5", WITH (7) MORE SPACED AT 9.875" O.C. THERE ARE (2) SCREWS BOTH TOP AND BOTTOM AT 2.125" IN. FROM EACH CORNER.
2. SPACING FOR #8 x 1" PANHEAD SCREW ATTACHING THE ASTRAGAL TO THE INACTIVE DOOR IS AS FOLLOWS: FROM THE TOP DOWN 1", 3", 5", 18.25", 54", 77", 90.25", 92.25" AND 94.25".
3. THE HEAD JAMB IS ATTACHED TO THE SIDE JAMBS WITH (3) #8 x 2.5" PFH WOOD SCREW.
4. THE THRESHOLD IS ATTACHED TO THE SIDE JAMBS WITH (2) #8 x 2.5" PFH WOOD SCREW.
5. THE SIDELITE IS DIRECT SET INTO THE JAMB WITH (12) #8 x 2" PFH. WOOD SCREW. THERE ARE (4) AT EACH VERTICAL JAMB, FROM THE TOP DOWN AT 13.5", 31", 48.5" 66". THERE ARE (2) AT THE HEADER AT 4" FROM THE OUTSIDE CORNERS OF THE FRAME. THERE ARE (2) AT THE SILL, 4" FROM THE OUTSIDE CORNERS.
6. SPACING FOR #8 x 2" SCREW SECURING THE MULLIONS TOGETHER IS THE SAME AS THE PERIMETER ANCHORING SCREWS. 6" DOWN FROM THE TOP AND UP FROM THE BOTTOM WITH (4) MORE SPACED AT 16.9" O.C.
7. WHEN ATTACHING THE HINGE TO THE JAMB AND THE BUCK USE #10 x 2" SCREW. WHEN ATTACHING THE HINGE TO THE JAMB AND THE SIDELITE AT THE MULLION USE ITEM #10 x 1 3/4" SCREW.
8. SPACING FOR THE BRAD TRIM NAIL SECURING THE QUARTER ROUND TO THE SIDELITE FRAME, IS AS FOLLOWS: 2.0" FROM ALL ENDS AND A MAX. OF 12.0" O.C.



3 HORIZONTAL CROSS SECTION  
4 STRIKE JAMB TO SIDELITE

Therma-Tru Corporation  
1687 Woodlands Drive  
Maumee, Ohio  
Ph. (800) 537-8827

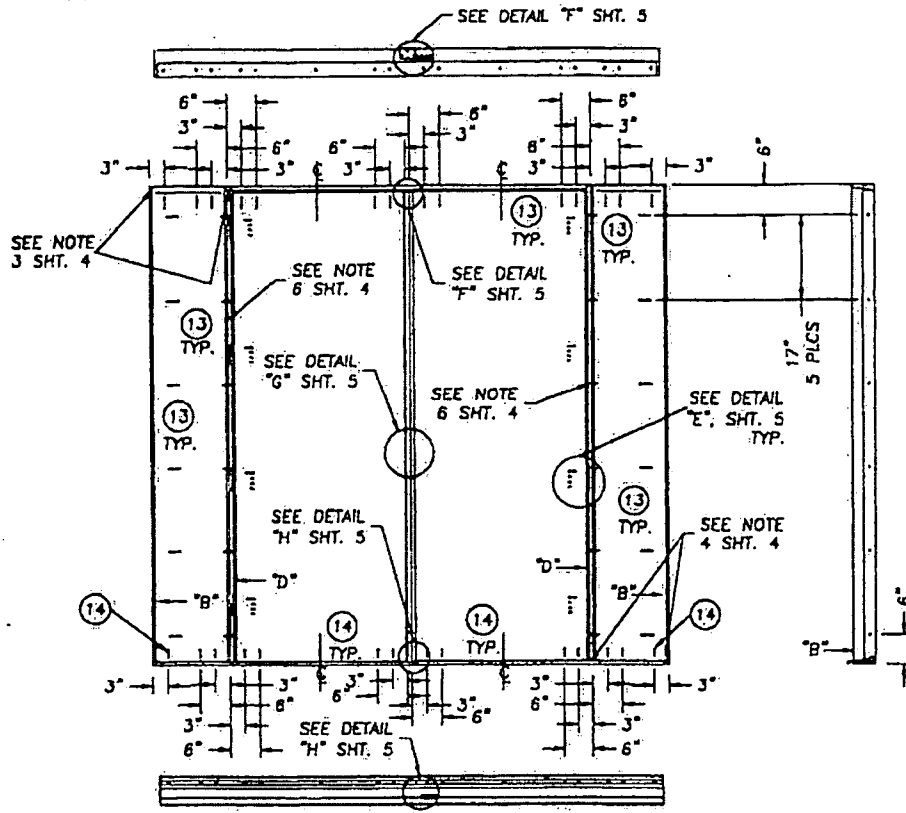
PRODUCT: "CLASSIC CRAFT OPAQUES"  
SINGLE & DOUBLE INSULING  
R10 FIBERGLASS DOOR.  
PART OR ASSEMBLY:  
HORIZONTAL CROSS  
SECTIONS & NOTES

NO.	DATE	GENERAL REVISION	BY	BY
1	3/18/02			

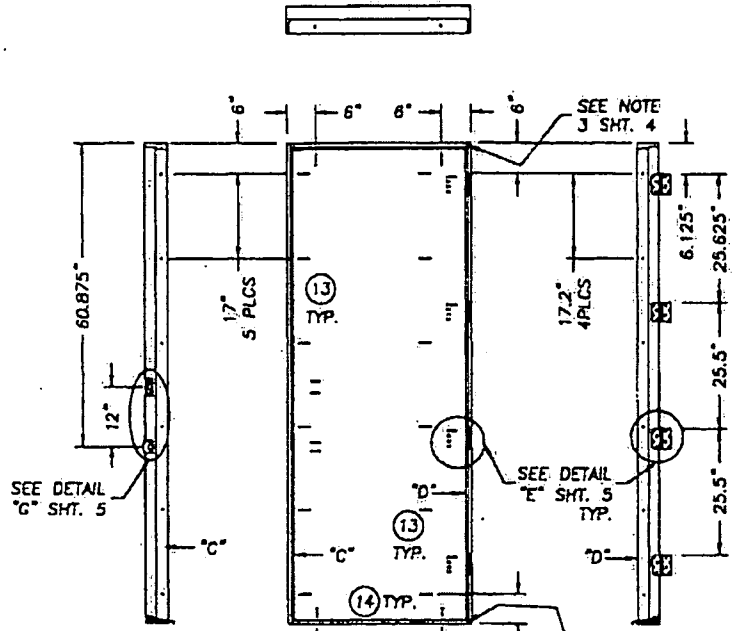
RW BUILDING  
CONSULTANTS, INC.  
813.684.3831

DATE: 11/11/01  
SCALE: NTS  
DWN. BY: WLN  
CHK. BY: RW  
DRAWING NO.: S-2179

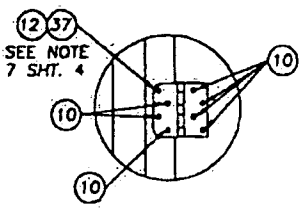
Approved as complying with the  
Florida Building Code  
Date: 11-20-2002  
NO. 02-0101-20  
Miscel Dade Product Control  
Division  
By: *[Signature]*



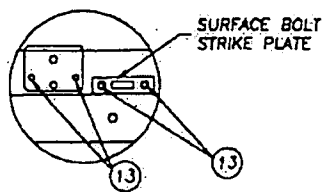
DOUBLE DOOR W/SIDELITES



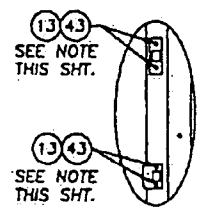
SINGLE DOOR



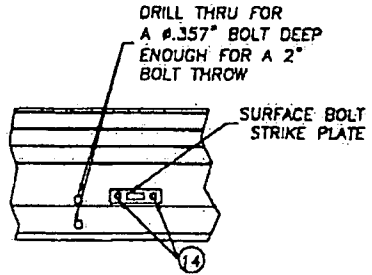
DETAIL F



DETAIL E  
ASTRAGAL RETAINER BOLTS HEADER  
STRIKE PLATE & OPTIONAL  
SURFACE BOLT STRIKE PLATE  
AT HEAD



DETAIL G



DETAIL H  
ASTRAGAL RETAINER BOLT HOLES  
& OPTIONAL SURFACE  
BOLT STRIKE PLATE AT SILL

NOTE:  
USE ITEM #13-A #8 x 2 1/2" PFH WOOD SCREW TO ATTACH THE STRIKE AND DEADBOLT PLATES TO THE JAMB OR ASTRAGAL EXCEPT IN THE MULLED APPLICATION WITH THE SIDELITE USE ITEM #43 A #8 x 2" PFH WOOD SCREW.

THERMA-TRU CORPORATION  
1687 WOODLANDS DRIVE  
MAUMEE, OHIO  
PH. (800) 537-8827

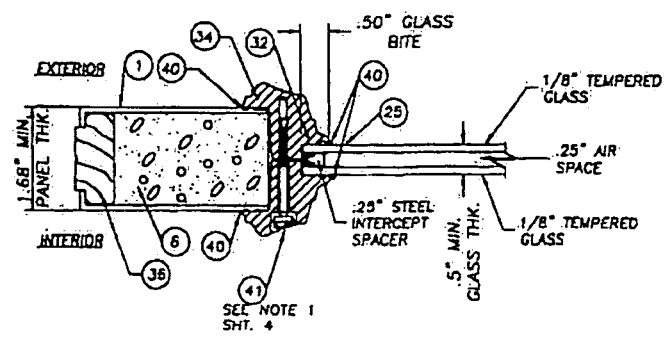
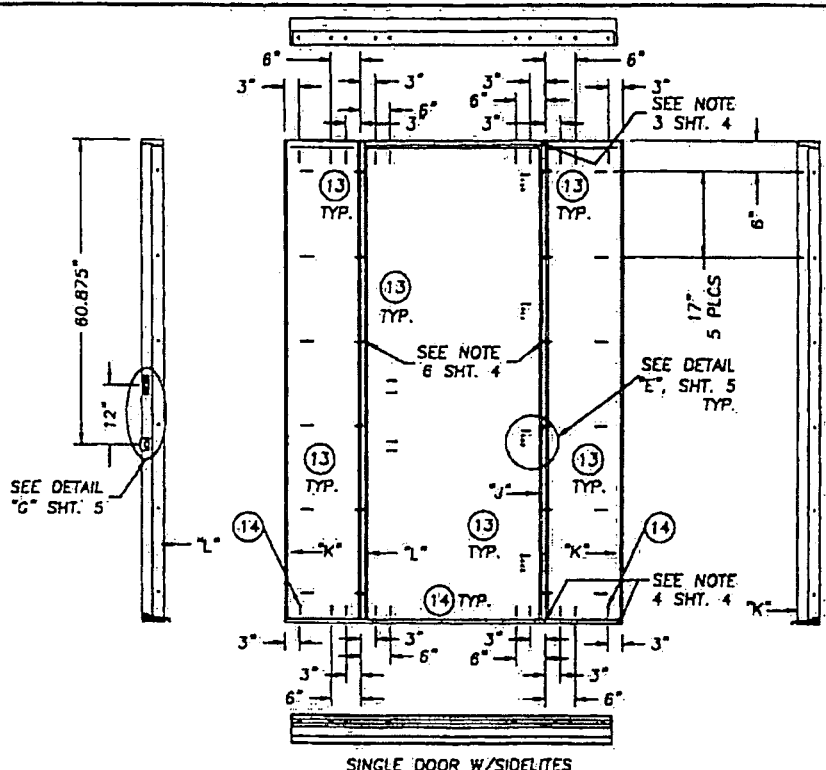
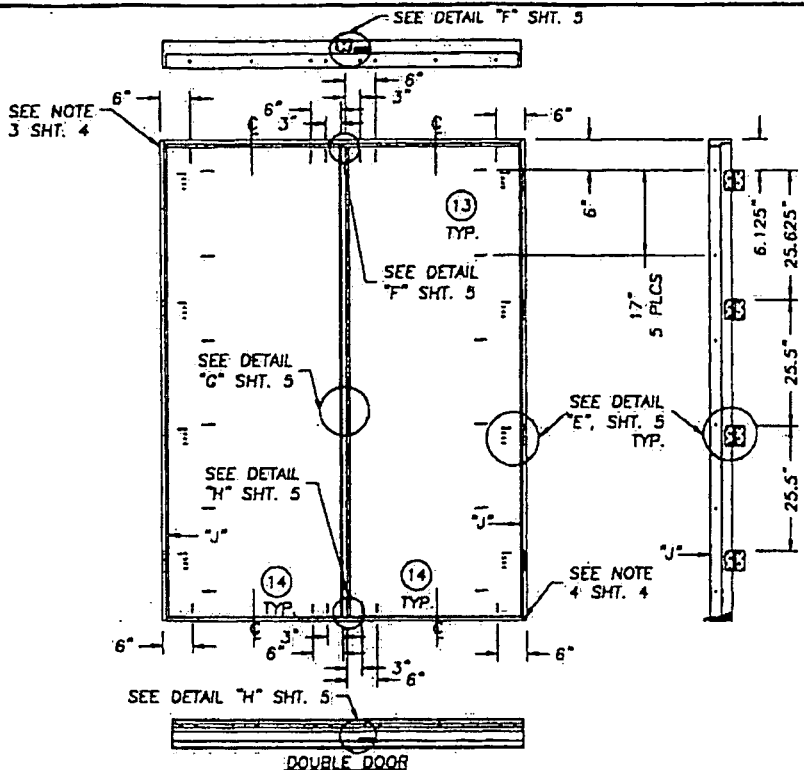
PRODUCT:  
"CLASSIC CRAFT OPAQUE"  
SINGLE & DOUBLE INSULING  
...B.D. FIREGLASS DOOR.  
PART OR ASSEMBLY:  
ANCHORING LOCATIONS  
& DETAILS

NO.	DATE	BY	REVISIONS
1	3/18/02	GENERAL REVISION	

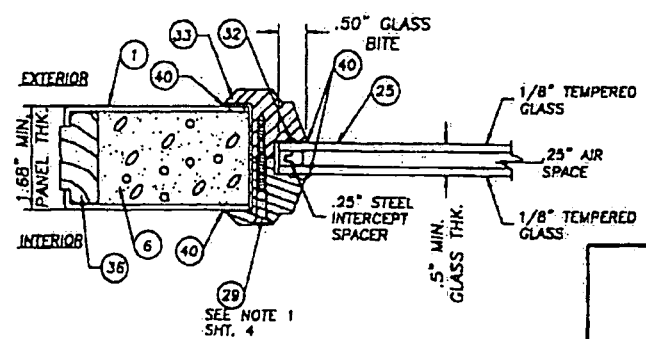
RW BUILDING CONSULTANTS, INC.  
613.684.3831

Approved as complying with the  
Florida Building Code  
Date: Nov. 22, 2001  
NOAP: 22-0121-01  
Miami Dade Fire-Prevention Control  
Division  
By: *[Signature]*

DATE: 11/1/01  
SCALE: N.T.S.  
DWC BY: WLN  
CHK. BY: RW  
DRAWING NO.: S-2179  
SHEET: 5 of 7



5" INSULATED GLASS W/  
SMC LITE FRAME GLAZING DETAIL



5" INSULATED GLASS W/  
PVC LITE FRAME GLAZING DETAIL

**THERMA-TRU CORPORATION**  
 1687 WOODLANDS DRIVE  
 MAUMEE, OHIO  
 PH. (800) 537-8827

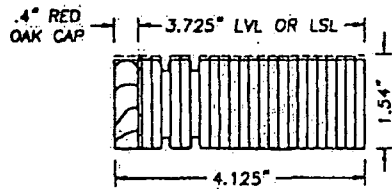
PROJECT: "CLASSIC CRAFT OPAQUE"  
 SINGLE & DOUBLE INSULING  
 8.0 FIBERGLASS DOOR  
 PART OR ASSEMBLY:  
 ANCHORING LOCATIONS  
 & GLAZING DETAILS

NO.	DATE	REVISIONS	BY
1	3/18/02	GENERAL REVISION	TWJ

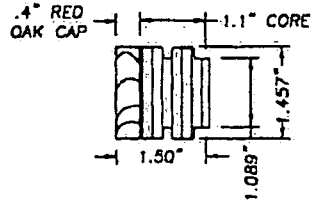
**RW BUILDING CONSULTANTS, INC.**  
 813.684.3931

Approved as complying with the  
 Florida Building Code  
 Date: Jan 20, 2002  
 NOAS: 02-0107-06  
 Miami Dade Product Control  
 Division  
*[Signature]*

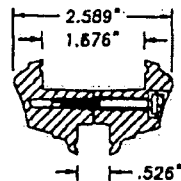
DATE: 11/11/01
SCALE: N.T.S.
DRW. BY: WLN
CHK. BY: RW
DRAWING NO.: S-2179
SHEET 5 OF 7



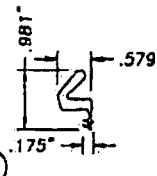
③ LATCH SIDE STILE/ LOCK BLOCK  
LVL OR LSL W/ KILN DRIED RED OAK CAP



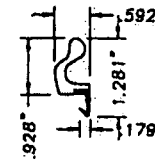
④ HINGE SIDE STILE  
CORE MATERIAL: LVL OR LSL  
ALTERNATE CORE MATERIAL: PONDEROSA, RADIATA, PULAI, ELLIOTTI, TAEDA OR SUGAR PINE, DOUGLAS OR WHITE FIR, CEDAR, INCENSE CEDAR OR REDWOOD.



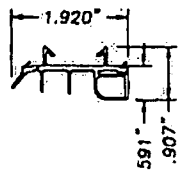
③④ PLASTIC LIP LITE FRAME  
EXTRUDED SMC



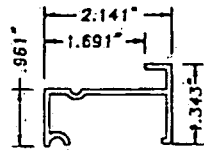
⑦ COMPRESSION WEATHERSTRIP  
BY THERMA-TRU  
FOAM CELL CORE W/VINYL JACKET



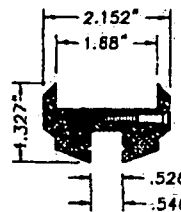
⑧ LONG REACH  
COMPRESSION WEATHERSTRIP  
FOAM CELL CORE W/VINYL JACKET



④⑦ INSWING DOOR BOTTOM SWEEP  
VINYL .080" MAX. WALL, .035" MIN. WALL



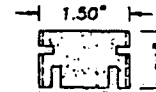
①⑤ INSWING SIDELITE  
BOTTOM BOOT  
0.09" EXTRUDED VINYL WALL



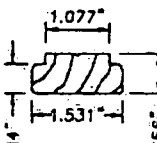
③③ PLASTIC LIP LITE FRAME  
EXTRUDED PVC



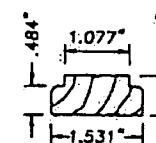
② TOP RAIL  
WOOD COMPOSITE



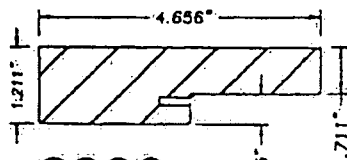
⑤ BOTTOM RAIL  
WOOD COMPOSITE



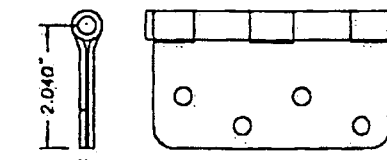
④② SIDELITE TOP  
& BOTTOM RAIL



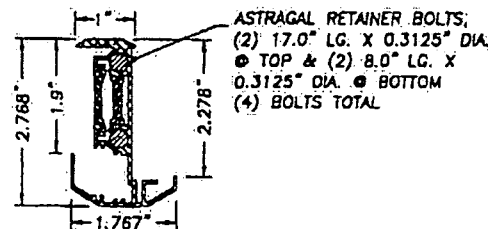
③⑥ SIDELITE BLANK  
SIDE STILE  
FINGER JOINTED,  
PONDEROSA PINE



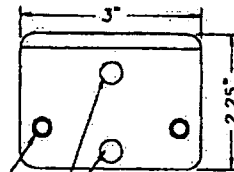
②① ②② ③⑤



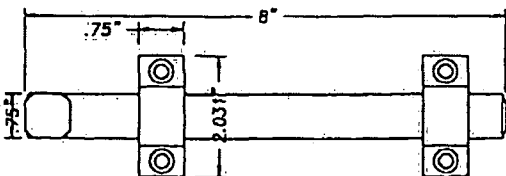
⑨ 4 x 4 STEEL DOOR HINGE



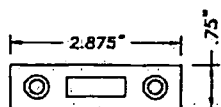
②④ WINDJAMMER II WRBQT  
ASTRAGAL (ALUMINUM .052" WALL THK.)



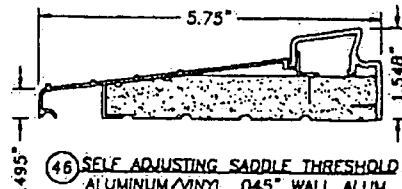
DRILL THROUGH FOR  
.357" DIA. ASTRAGAL  
RETAINER BOLTS  
DRILL THROUGH FOR A #8  
PFH WOOD SCREW 2 PLCS  
WINDJAMMER II WRBQT STRIKE PLATE



④⑧ SURFACE BOLT (YES, .25" STEEL)



SURFACE BOLT STRIKE (.125" STEEL)



④⑥ SELF ADJUSTING SADDLE THRESHOLD  
ALUMINUM/VINYL .045" WALL ALUM,  
.080" THK WALL VINYL TYP.

THERMA-TRU CORPORATION  
1687 WOODLANDS DRIVE  
MAUMEE, OHIO  
PH. (800) 537-8827

PRODUCT: "CLASSIC CRAFT OPAQUE"  
SINGLE & DOUBLE INSWING  
FIBERGLASS DOOR  
PART OR ASSEMBLY UNIT COMPONENTS

NO.	DATE	GENERAL REVISION	BY
1	3/18/02		WLN

RW BUILDING  
CONSULTANTS, INC.  
813.684.3831

Approved as complying with the  
Florida Building Code  
Date: June 20, 2002  
NOAR 02-009-08  
Miami Date Product Control  
Division  
By: *[Signature]*

DATE: 11/11/01  
SCALE: N.T.S.  
DWC BY: WLN  
CHK BY: RW  
DRAWING NO.: S-2179  
SHEET 2 of 7



9

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1600  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2982 FAX (305) 372-6339

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Gerard Roofing Technologies  
955 Columbia Street  
Brca ,CA 92821-2923

Your application for Notice of Acceptance (NOA) of:

**Gerard Tile Gerard Shake**

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0605.01  
EXPIRES: 08/09/2006

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL  
CONDITIONS  
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office

APPROVED: 08/09/2001

## ROOFING SYSTEM APPROVAL

Category: Roofing  
Sub-Category: Non-Structural Metal Panels  
Materials: Steel  
Maximum Design Pressure: -72.5 psf.

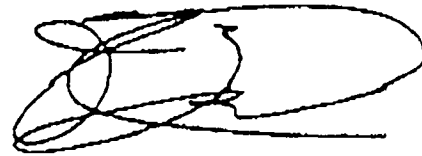
Approval Date: August 9, 2001  
Expiration Date: August 9, 2006

## Trade Names of Products Manufactured or Labeled by Applicant

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Gerard Tile	Length = 15½" Width = 45¾" Thickness: .0195"	PA 110 & PA 125	Corrosion resistant, galvalume, preformed, coated with acrylic resin imbeded with mineral granules, metal panels simulating a tile profile.
Gerard Shake	length = 15½" width = 44¾" max thickness: 0195"	PA 110 & PA 125	Corrosion resistant, coated, preformed, metal panels simulating a shake profile.
Trim Pieces	Length : varies Width: varies	PA 110	Standard flashing and trim pieces. Corrosion resistance galvalume.

## EVIDENCE SUBMITTED

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Underwriters Laboratories, Inc.	90NK5767	Uplift Pressure Testing UL 1897	Sept. 1990
The Center for Applied Engineering, Inc.	Project No. 307064 MDC-126	Wind Driven Rain PA 100	April, 1995
Underwriters Laboratories, Inc.	98NK14487	Fire Resistance ASTM E 108	May 1998
Building Research Association of New Zealand	MTR 794	Salt Spray ASTM B 117	Sept. 1985
Underwriters Laboratories, Inc.	90NK5767	Accelerated Weathering ASTM G 23	Sept. 1990



Frank Zuloaga, RRC  
Roofing Product Control Examiner

**SYSTEMS**

- SYSTEM A-1:** Gerard Tile or Gerard Shake
- Deck Type:** Wood, Non-insulated
- Slope Range:** 2":12" or greater
- Maximum Uplift Pressure:** The maximum allowable uplift pressure for System A-1 shall be -52.5 psf
- Deck Attachment:** In accordance with applicable building code, but in no case shall it be less than # 8 x 1 1/2" long screws spaced 6" O.C. In reroofing, where the deck is less than 1 9/32" thick (Minimum 1 5/32") The above attachment method must be in addition to existing attachment.
- Fire Barrier:** For class A or B fire rating, install minimum 1/4" thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick Tritex, RockRoof (with current NOA) or 5/8" water resistance type X gypsum sheathing with treated core facer.
- Underlayment:** Minimum underlayment shall be a double layer underlayment system comprised of a 3 layers of #15 felt (ASTM D 226, type I) applied with a 50% overlap or application of a #30 felt (ASTM D 226, type II) or #43 coated base sheet (ASTM D 2626) attached in a grid pattern of 12" with 6" o.c. spacing at the 6" sidelaps. Headlaps shall be not less than 3".
- Battens:** Install minimum 2" x 2" wood battens over underlayment and fire barrier, running perpendicular to the roof slope, at a spacing of 14 1/2" o.c.. Attach wood battens through deck to wood trusses spaced 24" o.c. fastened with 16d x 3 1/2" long nails.
- Valleys:** Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with the current published installation instruction and details in Gerard Roofing Installation Manual.
- Metal Panels and Accessories:** Install the "Gerard Tile" or "Gerard Shake" and accessories in compliance with Gerard Roofing Technologies installation instructions and details in Gerard Roofing Installation Manual. Flashings, penetrations, valley construction and other details shall be constructed in compliance with Roofing Application Standard RAS 133. Panels fastened to battens with Approved nails driven into (lower) butt edges of upper course and upper edge of adjacent lower course. A minimum of five Approved nails for each Panel.



Frank Zuloaga, RRC  
Roofing Product Control Examiner



<b>SYSTEM A-2:</b>	Gerard Tile or Gerard Shake
<b>Deck Type:</b>	Wood, Non-insulated
<b>Deck Description:</b>	Recover Over Existing Asphalt Shingle Roof $1\frac{5}{32}$ " or greater plywood
<b>Slope Range:</b>	2":12" or greater
<b>Maximum Uplift Pressure:</b>	The maximum allowable uplift pressure for System A-2 shall be -52.5 psf.
<b>Deck Attachment:</b>	For recover applications, existing deck attachment shall be confirmed to be in compliance with applicable building code.
<b>Existing Shingles:</b>	Existing shingles shall be minimum Class 'C' organic felt shingles or minimum Class 'A' fiberglass shingles to maintain a Class 'A' or 'B' fire rating, as noted below.
<b>Fire Barrier:</b>	For class A or B fire rating, install minimum $\frac{1}{4}$ " thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick Tritex, RockRoof (with current NOA) or $\frac{5}{8}$ " water resistance type X gypsum sheathing with treated core facer.
<b>Underlayment:</b>	Minimum underlayment shall be a double layer underlayment system comprised of a 3 layers of #15 felt (ASTM D 226, type I) applied with a 50% overlap or application of a #30 felt (ASTM D 226, type II) or #43 coated base sheet (ASTM D 2626) attached in a grid pattern of 12" with 6" o.c. spacing at the 6" sidelaps. Headlaps shall be not less than 3".
<b>Battens:</b>	(For a Class 'A' Fire Rating) Install minimum 2" x 2" wood battens over existing shingles, running perpendicular to the roof slope, at a spacing of 14 $\frac{1}{2}$ " o.c.. Attach wood battens through deck to wood trusses spaced 24" o.c. fastened with 16d x 3 $\frac{1}{4}$ " long nails. (For a Class 'B' Fire Rating) Install minimum 1" x 4" wood battens over underlayment and fire barrier, running parallel to the roof slope, aligning the wood battens over wood trusses and attach to trusses with approved nails at a spacing not less than 24" o.c. Install minimum 2" x 2" wood battens, running perpendicular to the roof slope, over 1" x 4" battens, at a spacing of 14 $\frac{1}{2}$ " o.c. attach 2" x 2" wood battens through 1" x 4" battens to wood trusses spaced 24" o.c. with approved nails
<b>Valleys:</b>	Valley construction shall be in compliance with the minimum requirements provided in Roofing Application Standard RAS 133.
<b>Metal Panels and Accessories:</b>	Install the "Gerard Tile" or "Gerard Shake" and accessories in compliance with Gerard Roofing Technologies' current, published installation instructions and details. Flashings, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standard RAS 133. Panels fastened to battens with Approved nails driven into (lower) butt edges of upper course and upper edge of adjacent lower course. A minimum of five Approved nails for each Panel.



Frank Zuloaga, RRC  
Roofing Product Control Examiner

<b>SYSTEM B-1:</b>	Gerard Tile or Gerard Shake
<b>Deck Type:</b>	Wood, Non-insulated
<b>Slope Range:</b>	2":12" or greater
<b>Maximum Uplift Pressure:</b>	The maximum allowable uplift pressure for System B-1 shall be -72.5 psf
<b>Deck Attachment:</b>	In accordance with applicable building code, but in no case shall it be less than # 8 x 1 1/2" long screws spaced 6" O.C. In reroofing, where the deck is less than 19/32" thick (Minimum 15/32") The above attachment method must be in addition to existing attachment.
<b>Fire Barrier:</b>	For class A or B fire rating, install minimum 1/4" thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick Tritex, RockRoof (with current NOA) or 5/8" water resistance type X gypsum sheathing with treated core facer.
<b>Underlayment:</b>	Minimum underlayment shall be a double layer underlayment system comprised of a 3 layers of #15 felt (ASTM D 226, type I) applied with a 50% overlap or application of a #30 felt (ASTM D 226, type II) or #43 coated base sheet (ASTM D 2626) attached in a grid pattern of 12" with 6" o.c. spacing at the 6" sidclaps. Headlaps shall be not less than 3".
<b>Battens:</b>	Install minimum 2" x 2" wood battens over underlayment and fire barrier, running perpendicular to the roof slope, at a spacing of 14 1/2" o.c.. Attach wood battens through deck to wood trusses spaced 24" o.c. fastened with #8 x 3" long bugle phillips steel screws.
<b>Valleys:</b>	Valley construction shall be in compliance with the minimum requirements provided in Roofing Application Standard RAS 133.
<b>Metal Panels and Accessories:</b>	Install the "Gerard Tile" or "Gerard Shake" and accessories in compliance with Gerard Roofing Technologies' current, published installation instructions and details. Flashings, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standard RAS 133. Panels fastened to battens with approved steel no. 10 hex-headwood screws, 2in. long with separate 1/2 in. diameter steel washer fitted with a bonded neoprene sealing washer, driven into (lower) butt edges of upper course and upper edge of adjacent lower course. A minimum of eight approved screws for each Panel.



Frank Zuloaga, RRC  
Roofing Product Control Examiner

- SYSTEM B-2:** Gerard Tile or Gerard Shake
- Deck Type:** Wood, Non-insulated
- Deck Description:** Recover Over Existing Asphalt Shingle Roof  $1\frac{5}{32}$ " or greater plywood
- Slope Range:** 2":12" or greater
- Maximum Uplift Pressure:** The maximum allowable uplift pressure for System B-2 shall be -72.5 psf
- Deck Attachment:** In accordance with applicable building code, but in no case shall it be less than # 8 x 1  $\frac{1}{4}$ " long screws spaced 6" O.C. In reroofing, where the deck is less than  $1\frac{9}{32}$ " thick (Minimum  $1\frac{5}{32}$ " ) The above attachment method must be in addition to existing attachment.
- Existing Shingles:** Existing shingles shall be minimum Class 'C' organic felt shingles or minimum Class 'A' fiberglass shingles to maintain a Class 'A' or 'B' fire rating, as noted below.
- Fire Barrier:** For class A or B fire rating, install minimum  $\frac{1}{4}$ " thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick Tritex, RockRoof (with current NOA) or  $\frac{5}{8}$ " water resistance type X gypsum sheathing with treated core facer.
- Underlayment:** Minimum underlayment shall be a double layer underlayment system comprised of a 3 layers of #15 felt (ASTM D 226, type I) applied with a 50% overlap or application of a #30 felt (ASTM D 226, type II) or #43 coated base sheet (ASTM D 2626) attached in a grid pattern of 12" with 6" o.c. spacing at the 6" sidelaps. Headlaps shall be not less than 3".
- Battens:** (For a Class 'A' Fire Rating) Install minimum 2" x 2" wood battens over existing shingles, running perpendicular to the roof slope, at a spacing of 14  $\frac{1}{2}$ " o.c.. Attach wood battens through deck to wood trusses spaced 24" o.c. fastened with #8 x 3" long bugle phillips steel screws.
- Valleys:** Valley construction shall be in compliance with the minimum requirements provided in Roofing Application Standard RAS 133.
- Metal Panels and Accessories:** Install the "Gerard Tile" or "Gerard Shake" and accessories in compliance with Gerard Roofing Flashings, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standard RAS 133. Panels fastened to battens with approved steel no. 10 hex-headwood screws, 2in. long with separate  $\frac{1}{2}$  in. diameter steel washer fitted with a bonded neoprene sealing washer, driven into (lower) butt edges of upper course and upper edge of adjacent lower course. A minimum of eight Approved screws for each Panel.



Frank Zuloaga, RRC  
Resin Product Control Examiner

**SYSTEM LIMITATIONS:**

1. Increased design pressures at perimeter and corner areas, in compliance with applicable building code may met through rational analysis by increasing the number of attachment points in these areas. The maximum fastener spacing noted in the "System Description" section of this approval shall not be exceeded. All rational analysis computation shall be prepared, signed and sealed by a Florida Registered Professional Engineer, Registered Architect, or Registered Roof Consultant.
  
2. All panels shall be permanently labeled with the manufacturer's name and/or logo, and the following statement: "Miami Dade County Product Control Approved". All clips shall be permanently labeled with a manufacturer's name, and/or logo, and/or model.

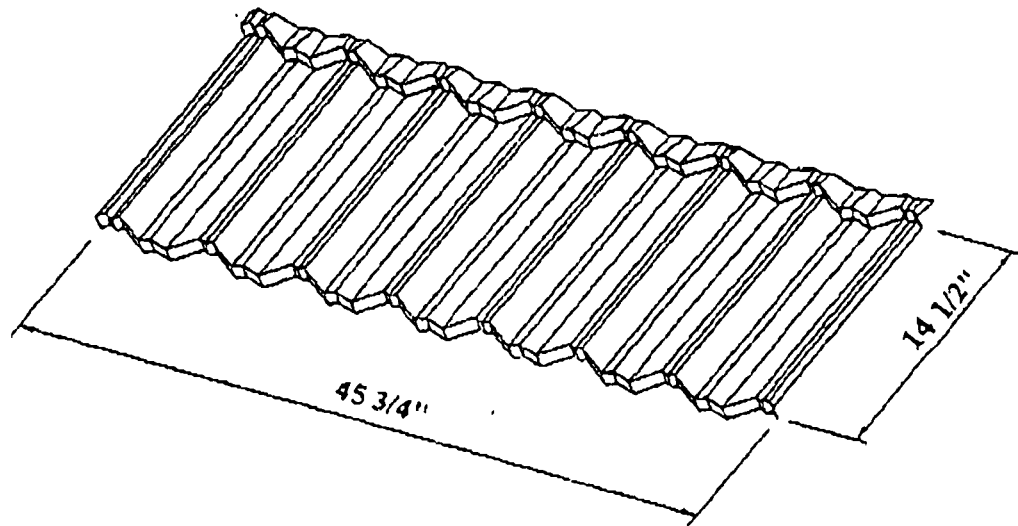


Frank Zuloaga, RRC  
Roofing Product Control Examiner

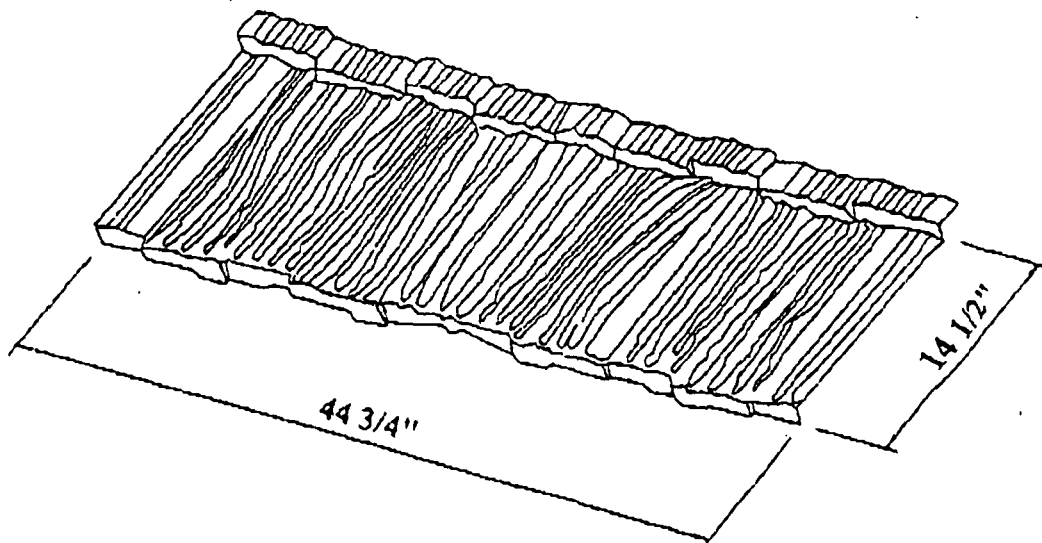
PROFILE DRAWINGS

"GERARD TILE" AND "GERARD SHAKE" PANEL PROFILE

"GERARD TILE"

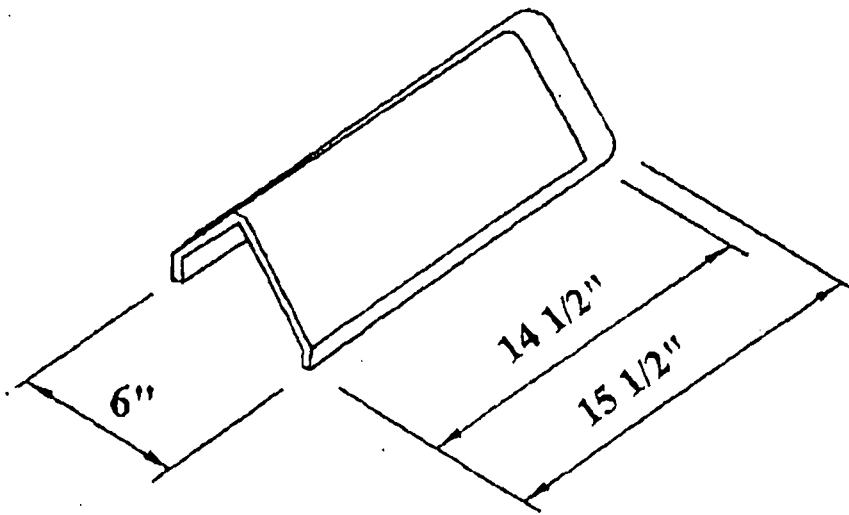


GERARD SHAKE

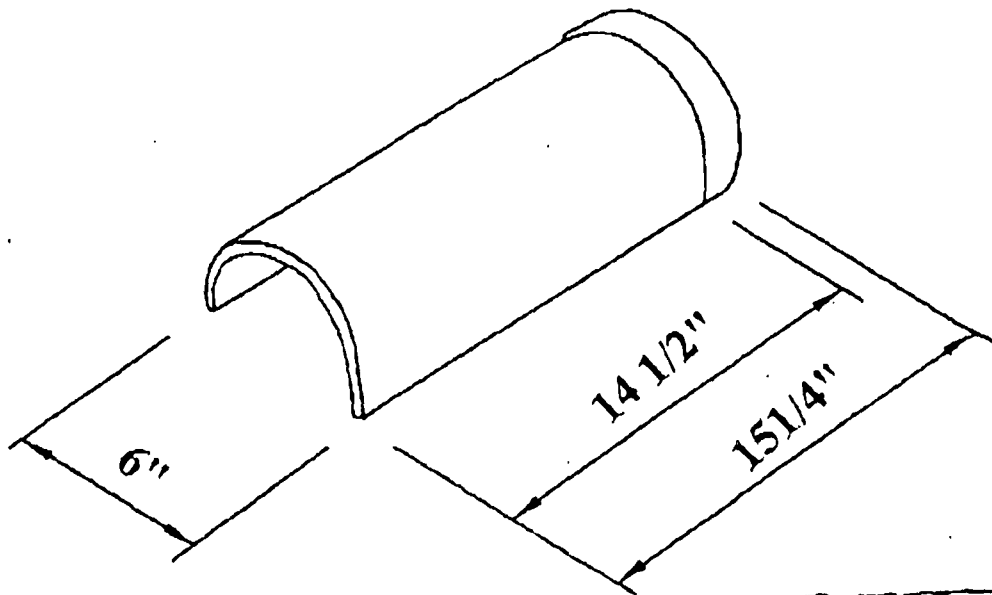


Frank Zuloaga, RRC  
Roofing Product Control Examiner

GERARD SHAKE CAP



GERARD MISSION TRIM



Frank Zuloaga, RRC  
Roofing Product Control Examiner

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
  - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
  - b) The product is no longer the same product (identical) as the one originally approved;
  - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
  - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
  - a) Unsatisfactory performance of this product or process;
  - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be rescaled by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 2 through 10.

END OF THIS ACCEPTANCE



Frank Zuloaga, RRC  
Roofing Product Control Examiner



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

## **NOTICE OF ACCEPTANCE (NOA)**

**PGT Industries  
P.O. Box 1529  
Nokomis, FL 34274**

### **SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** ~~Series PV 701 Aluminum Fixed Window~~

**APPROVAL DOCUMENT:** Drawing No. 4231, titled "Aluminum Fixed Window", sheets 1 through 8 of 8, prepared, signed and sealed by Robert L. Clark, P.E., dated 8/22/01, bearing the Miami-Dade County Product Control Revision Stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** Non-Impact & Impact Resistant

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

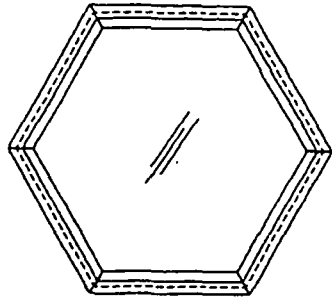
**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 01-0102.01 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Theodore Berman, P.E.

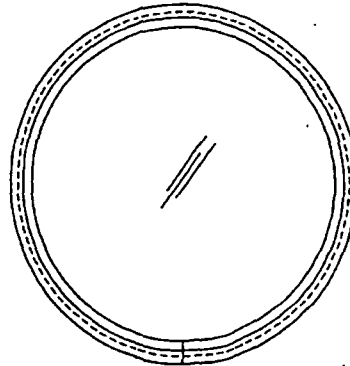


**NOA No 02-0701.07  
Expiration Date: September 13, 2006  
Approval Date: July 12, 2002  
Page 1**

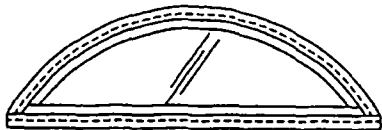




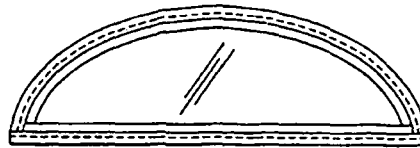
**HEXAGON**  
60" BETWEEN FLATS  
Maximum Area 21.65 sq. ft.



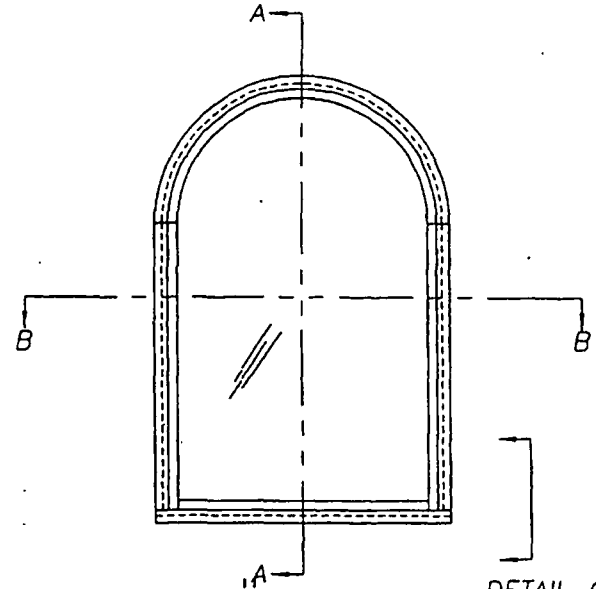
**FULL CIRCLE**  
ø60"  
Maximum Area 19.64 sq. ft.



**FAN**  
96" X 47"  
Maximum Area 24.47 sq. ft.



**ELLIPTICAL**  
96" X 47"  
Maximum Area 24.61 sq. ft.



**ARCH**  
48" X 96"  
Maximum Area 30.28 sq. ft.

DETAIL C  
SEE SHT. 7

PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No. 02-0701.07  
Expiration Date 09/13/10  
By: *[Signature]*  
Missile Dade Product Control  
Division

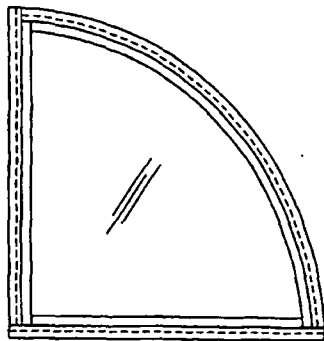
APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE SEP 13 2001  
BY: *[Signature]*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 01-0102-01

**LARGE MISSILE IMPACT WINDOWS**

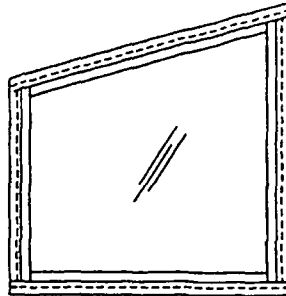
- 1.) GLAZING: 7/16" LAMINATED W/INTERLAYER DUPONT BUCACITE PVB
- 2.) CONFIGURATIONS: 0
- 3.) DESIGN PRESSURE RATING:  
+60.0 PSF & -60.0 PSF (3/16" HEAT STRENGTHENED/.090/3/16" HEAT STRENGTHENED LAMI)  
+36.0 PSF & -36.0 PSF (3/16" ANNEALED/.090/3/16" ANNEALED)
- 4.) ANCHOR MAXIMUM SPACING: 12.000"
- 5.) NO SHUTTERS REQUIRED
- 6.) ALL FRAME JOINTS TO BE SEAM WELDED
- 7.) REFERENCE TEST REPORT: FTL-2797

*[Signature]*  
8/22/01  
Robert L. Clark, P.E.  
PE #39712  
Structural

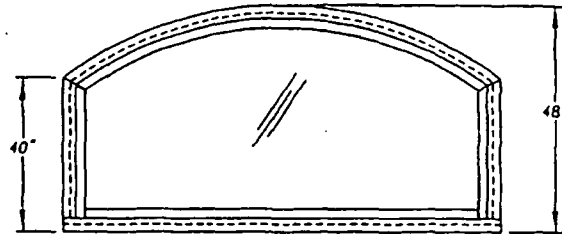
<b>RGT</b> INDUSTRIES	Drawn By: F.K.	Revised By/Date: 8/13/01	Revisions: REDRAWN
	Description: ELEVATIONS, 7/16 LAMINATED GLASS		
	Title: ALUMINUM FIXED WINDOW		
	1070 TECHNOLOGY DRIVE MOKOMAS, FL 34275	P.O. BOX 1529 MOKOMAS, FL 34274	Series/Model: PW-701



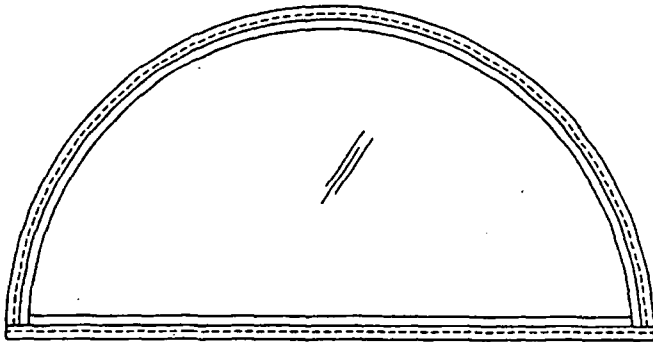
QUARTER CIRCLE  
68" X 68"  
Maximum Area 25.22 sq. ft.



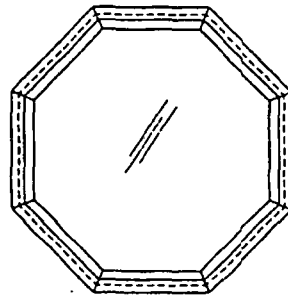
TRAPEZOID  
48" x 96"  
Maximum Area 30.28 sq. ft.



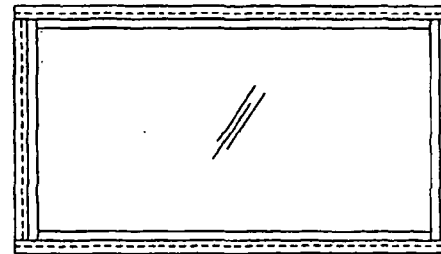
EYEBROW  
96" x 48"  
Maximum Area 30.24 sq. ft.



HALF CIRCLE  
96" x 48"  
Maximum Area 25.13 sq. ft.



OCTAGON  
60" x 60"  
Maximum Area 20.71 sq. ft.



RECTANGLE  
48" x 96"  
Maximum Area 32.00 sq. ft.

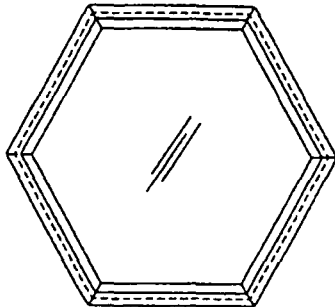
PRODUCT REVIEWED  
as complying with the Florida  
Building Code  
Acceptance No. 02-0701.03  
Expiration Date 09/15/26  
By: *[Signature]*  
Miami Dade Product Control  
Division

APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE SEP 13 201  
BY: *[Signature]*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 01-0162-01

LARGE MISSILE IMPACT WINDOWS CONT.

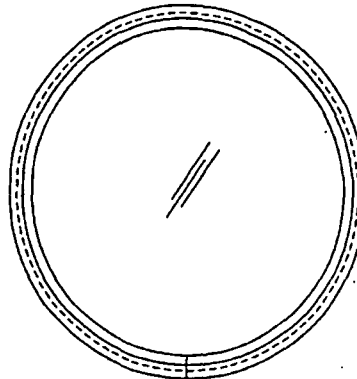
*[Signature]*  
8/22/01  
Robert L. Clark, P.E.  
PE #39712  
Structural

<b>P&amp;T</b> <b>INDUSTRIES</b>	Revised By:	Date:	Revisions:
	Drawn By: F.K.	8/13/01	REDRAWN
Description: ELEVATIONS, 7/16 LAMINATED GLASS			
Title: ALUMINUM FIXED WINDOW			
1070 TECHNOLOGY DRIVE NORWICH, FL 34275	P.O. BOX 1529 NORWICH, FL 34274	Series/Model: PW-701	Scale: NTS Sheet: 2 of 8 Drawing No. 4231 Rev: C



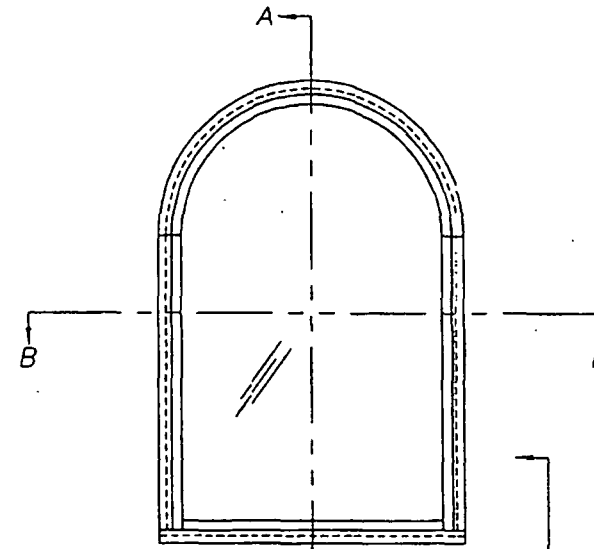
HEXAGON

60" BETWEEN FLATS  
Maximum Area 21.65 sq. ft.



FULL CIRCLE

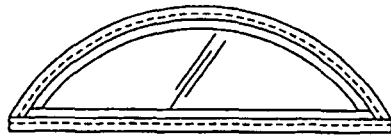
ø60"  
Maximum Area 19.64 sq. ft.



ARCH.

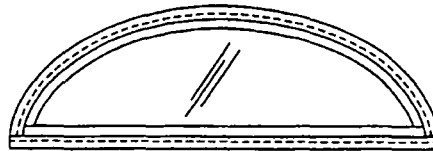
60" x 120"  
Maximum Area 47.32 sq. ft.

DETAIL C  
SEE SHT. 7



FAN

120" x 55"  
Maximum Area 35.20 sq. ft.



ELLIPTICAL

120" x 48"  
Maximum Area 31.46 sq. ft.

PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No. 02-0701-03  
Expiration Date 03/13/06  
By: *Michael Roman*  
Miami Dade Product Control  
Division

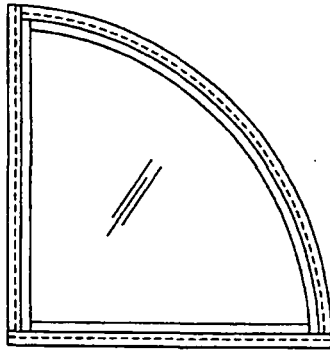
APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE SEP 13 2005  
BY: *Michael Roman*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 01-0107-01

NON-IMPACT WINDOWS

- 1.) GLAZING: 3/16" TEMPERED
- 2.) CONFIGURATIONS: 0
- 3.) FOR DESIGN PRESSURE RATING SEE COMPARATIVE ANALYSIS ON SHT. 8 OF 8
- 4.) ANCHOR MAXIMUM SPACING: 12.000"
- 5.) SHUTTERS REQUIRED AT ALL INSTALLATIONS
- 6.) ALL FRAME JOINTS TO BE SEAM WELDED
- 7.) REFERENCE TEST REPORTS: FTL-2763, 2780 & 2816

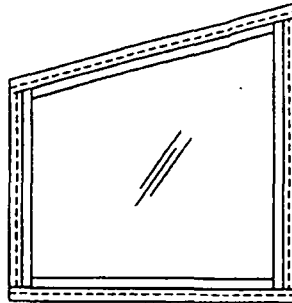
*R/L Clark*  
8/22/01  
Robert L. Clark, P.E.  
PE #39712  
Structural

		Revis: By/Date: Date: 8/13/01 REDRAWN	Revisions:
Drawn By: F.K.		Description: ELEVATIONS, 3/16 TEMPERED GLASS	
File: ALUMINUM FIXED WINDOW		Scale: NTS Sheet: 3 of 8	
1070 TECHNOLOGY DRIVE HOKOMIS, FL 34273	P.O. BOX 1529 HOKOMIS, FL 34274	Series/Model: PW-701	Drawing No. 4231
			Rev: C



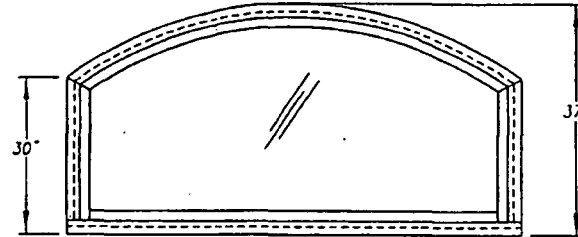
QUARTER CIRCLE

68" x 68"  
Maximum Area 25.22 sq. ft.



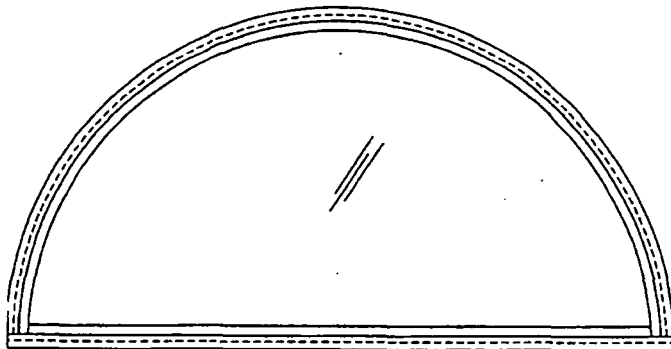
TRAPEZOID

60" x 120"  
Maximum Area 43.75 sq. ft.



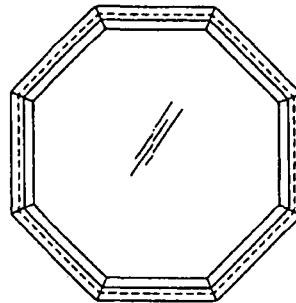
EYEBROW

74" x 37"  
Maximum Area 17.83 sq. ft.



HALF CIRCLE

120" x 60"  
Maximum Area 39.27 sq. ft.



OCTAGON

60" x 60"  
Maximum Area 20.71 sq. ft.



RECTANGLE

60" x 120"  
Maximum Area 50.00 sq. ft.

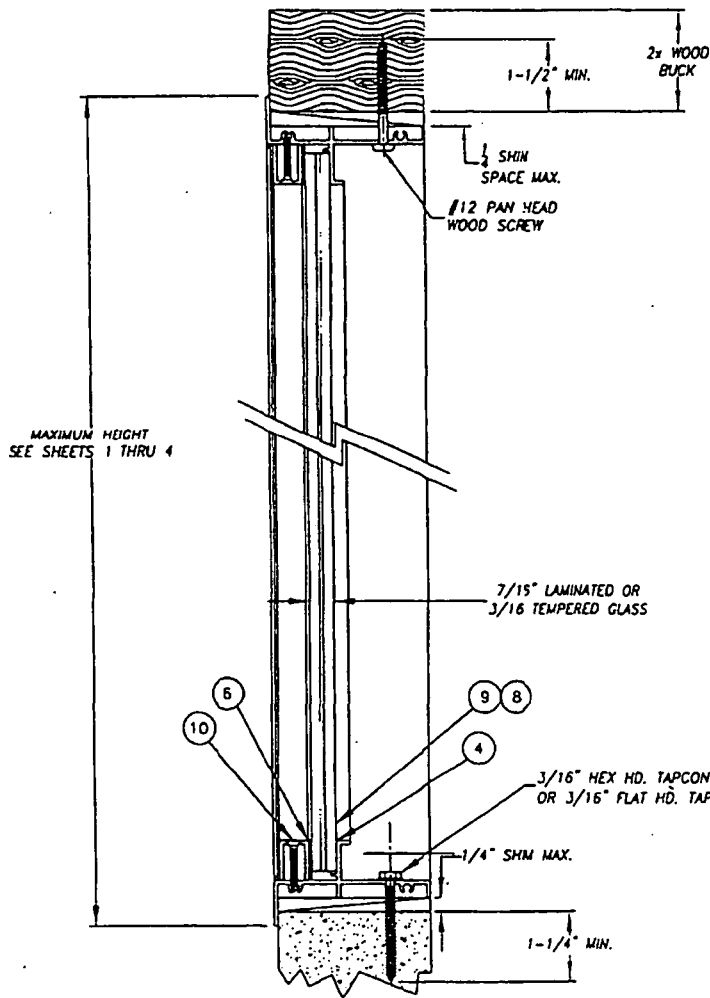
PRODUCT REVISED  
to comply with the Florida  
Building Code  
Acceptance No. 02-0301.02  
Expiration Date 08/13/06  
By: *Glenn Brown*  
Miami Dade Product Control  
Division

APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE SEP 13 2001  
BY: *Maureen J...*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 01-0102-01

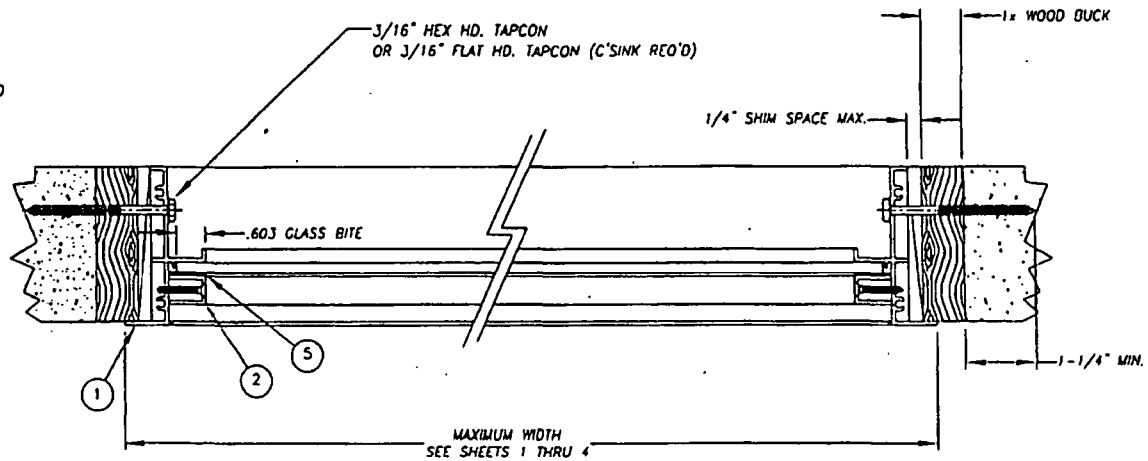
NON-IMPACT WINDOWS CONT.

*R/L Clark*  
8/22/01  
Robert L. Clark, P.E.  
PE #35712  
Structural

	Revised By:	Date:	Revisions:
	Drawn By:	Date:	Revisions:
Description:			
Title:			
1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275	P.O. BOX 1529 NOKOMIS, FL 34274	Series/Model: PW-701	Scale: Sheet: NTS 4 of 8
		Drawing No.:	Rev:
		4231	C



SECTION A-A  
TYPICAL SECTION  
& INSTALLATION INTO CONCRETE AT SILL & WOOD AT HEAD



SECTION B-B  
TYPICAL SECTION  
& ALTERNATE INSTALLATION INTO CONCRETE

- NOTES: 1. MAXIMUM OVERALL DIMENSIONS ARE APPLICABLE TO SECTIONED ARCH. SHAPES. ANCHORAGE METHODS ARE APPLICABLE TO ALL SHAPES SHOWN ON SHEETS 1 THROUGH 4 OF 8.
2. REFERENCE TEST REPORTS: FTL-2763, FTL-2780, FTL-2797 & FTL-2816

PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No. 02-020101  
Expiration Date 09/13/06  
By: *Manuel M...*  
Miami Dade Product Control  
Division

APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE SEP 13 2001  
BY: *Manuel M...*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 01-0107-01

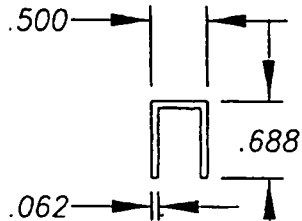
*Robert L. Clark*  
9/20/02  
Robert L. Clark, P.E.  
PE #39712  
Structural

<b>P&amp;T</b> INDUSTRIES	Revised By/Date:	Revisions:	
	Drawn By: F.K.	Date: 8/13/01	REDRAWN
	Description:		
	SECTIONAL & ANCHORAGE VIEWS		
Title:			
ALUMINUM FIXED WINDOW			
1070 TECHNOLOGY DRIVE MOKOMIS, FL 34275	P.O. BOX 1529 MOKOMIS, FL 34274	Series/Model: PW-701	
Scale: NTS	Sheet: 5 of 8	Drawing No. 4231	
Rev: C			

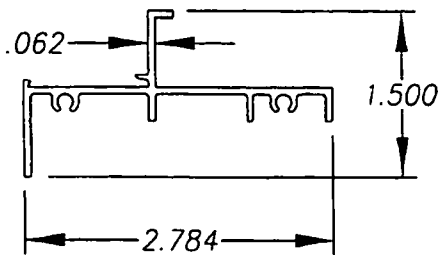
BILL OF MATERIAL

MK.	PART #	DESCRIPTION	VENDOR	VENDOR #
1	612242	FRAME HEAD, SILL & JAMB	6063-T5	AF-12242
2	6533402	U-CHANNEL GLAZING BEAD	6063-T5	AF-533402
3	7834	1/8 x 3/4 PN. PH. SMS	SPENCER OR =	
4	62899C/62501C	SILICON BACK BEDDING	DOW/G.E. OR =	
5	61412K	CLOSED CELL FOAM TAPE FOR 3/16 GLASS	TAPE SPECIALISTS OF FL OR =	
6	62BV1510	CLOSED CELL FOAM TAPE FOR 7/16 GLASS	TAPE SPECIALISTS OF FL OR =	
7	6SM55W	SEAM SEALER	SCHNEE/MOREHEAD OR =	SM5504
8		3/16 TEMPERED GLASS	TRIPLE DIAMOND GLASS OR =	
9	SEE NOTE	7/16 LAMI (.187HS/.090/.187HS)	TRIPLE DIAMOND GLASS OR =	
10	7PWSW	1/6 x 7/8 FL. PH. TEK	SPENCER OR =	
11	SEE NOTE	7/16 LAMI (.187A/.090/.187A)	TRIPLE DIAMOND GLASS OR =	

NOTE: ITEM 9 & 11 USES DUPONT BUTACITE PVB INTERLAYER



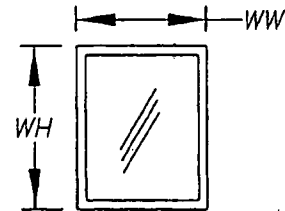
② PW-701 U-CHANNEL GLAZING BEAD



① PW-701 FRAME EXTRUSION

VISIBLE LIGHT CALCULATION

WINDOW WIDTH "TIP TO TIP" - 3.00"  
WINDOW HEIGHT "TIP TO TIP" - 3.00"



PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No. 02-0201.07  
Expiration Date 09/13/06  
By: *Glenn K...*  
Miami Code Product Control  
Division

APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE: SEP 13 2001  
BY: *Mauro...*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 01-0102-01

REFERENCE TEST REPORTS: FTL-2763, FTL-2780, FTL-2797 & 2816

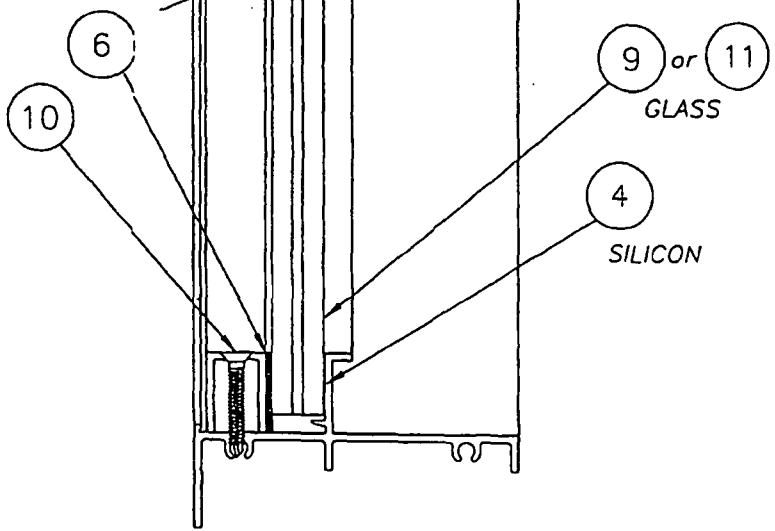
*Robert L. Clark*  
Robert L. Clark, P.E.  
PE #39712  
Structural

	Revised By/Date:	Revisions:
	Drawn By: F.K. Date: 8/13/01	REDRAWN
Description: EXTRUSION PROFILES & B.O.M.		
Title: ALUMINUM FIXED WINDOW		
1070 TECHNOLOGY DRIVE MCKINNAH, FL 34275	P.O. BOX 1529 MCKINNAH, FL 34274	Series/Model: PW-701
Scale: NTS	Sheet: 6 of 8	Drawing No. 4231
		Rev: C

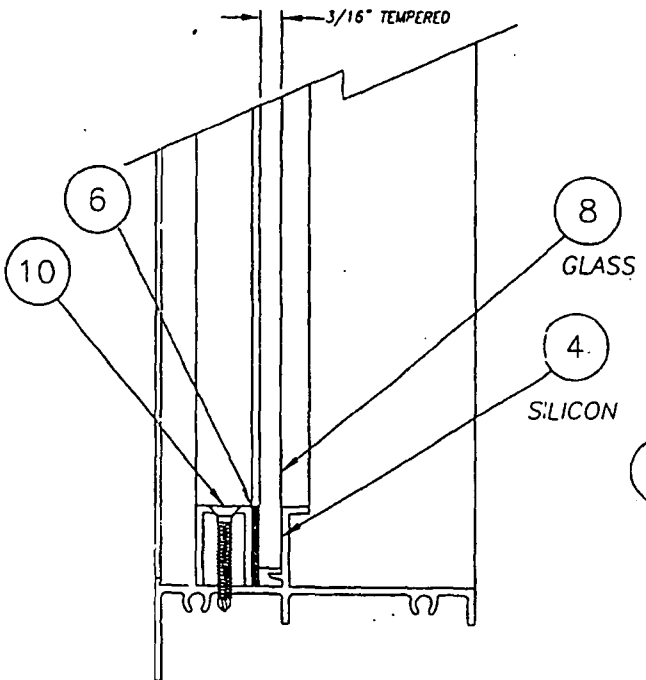
3/16" ANNEALED  
 .090 INTERLAYER  
 3/16" ANNEALED

or

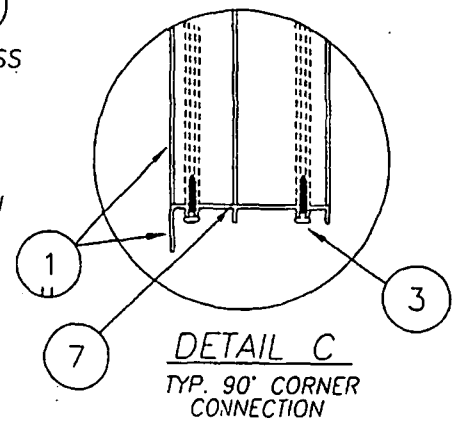
3/16" HEAT STRENGTHENED  
 .090 INTERLAYER  
 3/16" HEAT STRENGTHENED



TYPICAL GLAZING DETAIL  
 7/16" LAMINATED GLASS



TYPICAL GLAZING DETAIL  
 3/16" TEMPERED GLASS



DETAIL C  
 TYP. 90° CORNER CONNECTION

PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 02-030107  
 Expiration Date 08/13/10  
 By: *Cherise Kaman*  
 Miami Dade Product Control  
 Division

APPROVED AS COMPLYING WITH THE  
 SOUTH FLORIDA BUILDING CODE  
 DATE SEP 13 2000  
 BY: *[Signature]*  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 01-0107-01

REFERENCE TEST REPORTS: FTL-2763, FTL-2780, FTL-2797 & 2816

*[Signature]*  
 Robert L. Clark, P.E.  
 PE 139712  
 Structural

	Revised By:	Date:	Revisions:
	Drawn By: F.K.	Date: 8/13/01	REDRAWN
Description: GLAZING & CORNER DETAIL			
Title: ALUMINUM FIXED WINDOW			
1070 TECHNOLOGY DRIVE MOKOMIS, FL 34275	P.O. BOX 1529 MOKOMIS, FL 34274	Series/Model: PW-701	Scale: NTS Sheet: 7 of 8 Drawing No. 4231 Rev: C

3/16" TEMPERED GLASS

NOTES:

- 1.) Negative Design Loads based on Comparative Analysis and Glass Table-ASTM E1300.
- 2.) Positive Design Loads based on Comparative Analysis and Water Test Pressure.
- 3.) Numbers are for #12 screws or 3/16" Tapcons.
- 4.) Anchor maximum spacing: 12"

Negative Design Loads

Window Heights	Window Widths								
	19.125	24.000	26.500	37.000	48.000	60.000	97.000	111.000	120.000
26.000	135.00	135.00	135.00	135.00	135.00	135.00	135.00	122.90	112.60
39.000	135.00	135.00	135.00	135.00	135.00	135.00	79.40	70.00	66.10
51.000	135.00	135.00	135.00	135.00	90.60	80.30	77.40	63.00	55.90
60.000	135.00	135.00	135.00	135.00	90.60	58.00	58.00	58.00	57.40

Positive Design Loads

Window Heights	Window Widths								
	19.125	24.000	26.500	37.000	48.000	60.000	97.000	111.000	120.000
26.000	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
39.000	100.00	100.00	100.00	100.00	100.00	100.00	79.40	70.00	66.10
51.000	100.00	100.00	100.00	100.00	90.60	80.30	77.40	63.00	55.90
60.000	100.00	100.00	100.00	100.00	90.60	58.00	58.00	58.00	57.40

PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 02-0701.07  
 Expiration Date 09/13/06  
 By: *[Signature]*  
 Alameda Data Product Control  
 Division

APPROVED AS COMPLYING WITH THE  
 SOUTH FLORIDA BUILDING CODE  
 DATE SEP 13 2005  
 BY: *[Signature]*  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 01-0107-01

REFERENCE TEST REPORTS: FTL-2763, FTL-2780, & 2816

*[Signature]*  
 Robert L. Clark, PE.  
 PE #39712  
 Structural

<b>P&amp;G INDUSTRIES</b>	Revised By/Date:	Revisions:	
	Drawn By: F.K.	Date: 8/13/01	REDRAWN
	Description: COMPARATIVE ANALYSIS, NON-IMPACT		
	Title: ALUMINUM FIXED WINDOW		
1070 TECHNOLOGY DRIVE NOROKWIS, FL 34275	P.O. BOX 1529 NOROKWIS, FL 34274	Series/Model: PW-701	
Scale: NTS	Sheet: 8 of 8	Drawing No. 4231	
		Rev: C	





BUILDING CODE COMPLIANCE OFFICE (BCCO)  
 PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
 METRO-DADE FLAGLER BUILDING  
 140 WEST FLAGLER STREET, SUITE 1603  
 MIAMI, FLORIDA 33130-1563  
 (305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

**PGT Industries**  
 P.O. Box 1529  
 Nokomis, FL 34274

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

~~Product Control Division, 140 West Flagler Street, Miami, Florida 33130-1563~~

**APPROVAL DOCUMENT:** Drawing No. 6620, titled "1" STD. Wall Mullion", sheets 1 through 5 of 5, prepared, signed and sealed by Robert L. Clark, P.E., dated 5/24/01, bearing the Miami-Dade County Product Control Revision Stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** Large and Small Missile Impact

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

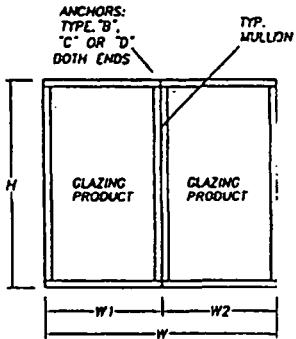
**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 00-0912.05 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Theodore Berman, P.E.



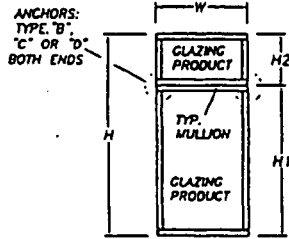
NOA No 02-0701.05  
 Expiration Date: June 28, 2006  
 Approval Date: July 10, 2002  
 Page 1



$$W = W1 + W2$$

**(2) WINDOWS MULLED TOGETHER**

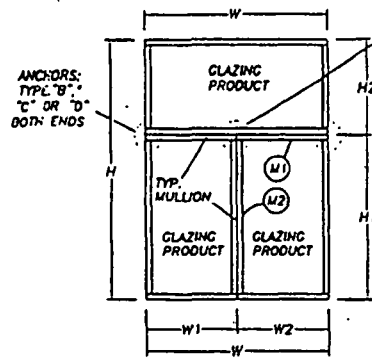
FOR DETERMINING MAX ALLOWABLE DESIGN PRESSURE SEE TABLES ON PAGE 5 OF 5  
 MAX OPENING = W OR W1+W2  
 MULL LENGTH = H



$$H = H1 + H2$$

**(1) WINDOW MULLED W/ONE ABOVE**

FOR DETERMINING MAX ALLOWABLE DESIGN PRESSURE SEE TABLES ON PAGE 5 OF 5  
 MAX OPENING = H OR H1+H2  
 MULL LENGTH = W

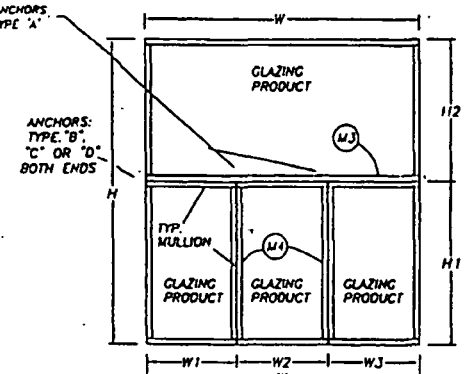


$$W = W1 + W2$$

$$H = H1 + H2$$

**(2) WINDOWS MULLED W/ONE ABOVE**

FOR DETERMINING MAX ALLOWABLE DESIGN PRESSURE SEE TABLES ON PAGE 5 OF 5  
 M1) MAX OPENING = H OR H1+H2  
 MULL LENGTH = W OR W1+W2  
 M2) MAX OPENING = W OR W1+W2  
 MULL LENGTH = H1



$$W = W1 + W2 + W3$$

$$H = H1 + H2$$

**MULTIPLE WINDOWS MULLED W/ONE ABOVE**

FOR DETERMINING MAX ALLOWABLE DESIGN PRESSURE SEE TABLES ON PAGE 5 OF 5  
 M3) MAX OPENING = H OR H1+H2  
 MULL LENGTH = W OR W1+W2+W3  
 M4) MAX OPENING = W1+W2 OR W2+W3  
 MULL LENGTH = H1

**NOTES:**

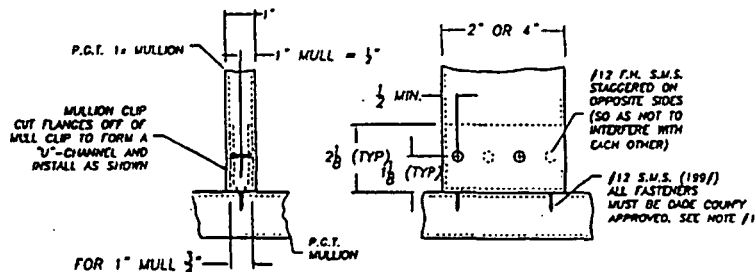
1. FOR ANCHORAGE TYPE, QUANTITY AND LOCATION REFER TO SHEETS 2, 3 AND 5
2. WINDOWS MAY BE MULLED TOGETHER, TO A MAX. OF 5 UNITS
3. MULLIONS ARE APPROVED FOR IMPACT & NON-IMPACT
4. REFERENCE TEST REPORT FTL-2902, 2903 AND 2975

*Robert L. Clark*  
 5/24/01  
 Robert L. Clark, P.E.  
 P.E. #39712  
 Structural

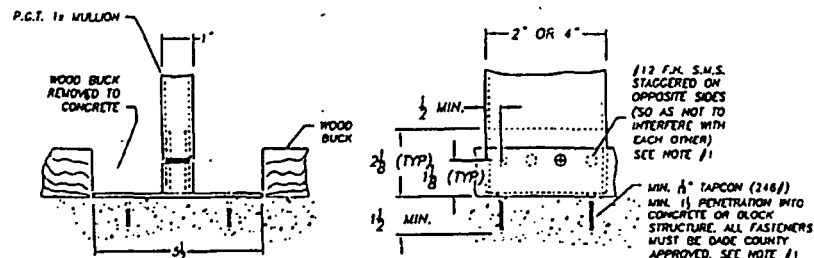
<b>PGT</b> INDUSTRIES	Revised By: _____ Date: _____	Checked By: _____ Date: _____	Revisions: _____
	Drawn By: P.J.P.	Date: 4/28/00	
	Description: ARRANGEMENT DETAIL		
	Title: 1" STD. WALL MULLION		
1070 TECHNOLOGY DRIVE MOKOMIS, FL 34275	P.O. BOX 1529 MOKOMIS, FL 34274	Series/Model: MULLS	Scale: NTS Sheet: 1 of 5 Drawing No. 6620

PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No 02-0701.05  
 Expiration Date 04/28/05  
*Robert L. Clark*  
 Miami Dade Product Control  
 Division

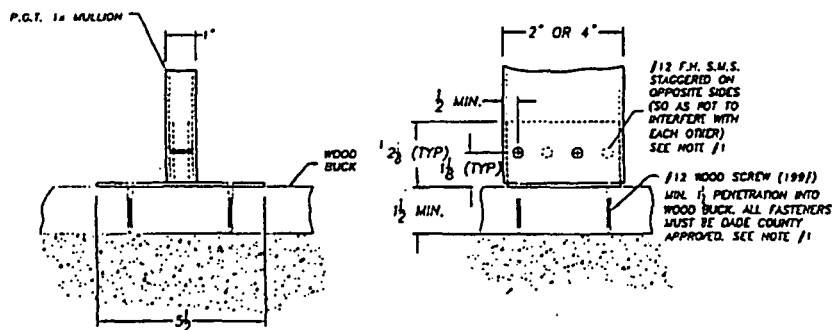
APPROVED AS COMPLYING WITH THE  
 SOUTH FLORIDA BUILDING CODE  
 DATE JUN 28 2001  
 BY *Robert L. Clark*  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 00-0912.05



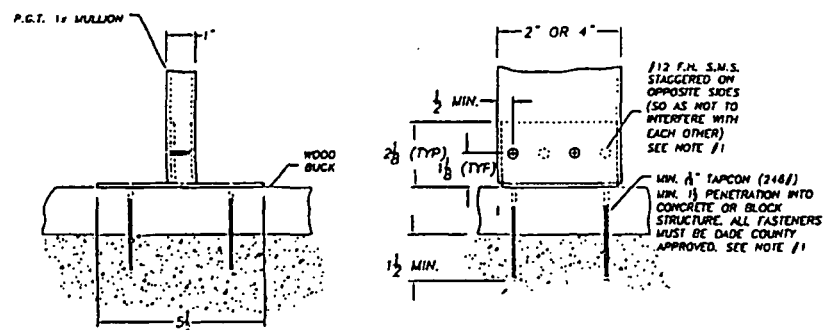
TYPICAL MULLION TO MULLION INSTALLATION TYPE "A"



TYPICAL MULLION TO STRUCTURE WITH WOOD BUCK REMOVED FROM CONC. TYPE "C"



TYPICAL MULLION TO STRUCTURE WITH WOOD BUCK TYPE "B"



TYPICAL MULLION TO STRUCTURE WITH WOOD BUCK AND CONC. TYPE "D"

**NOTE:**

- FOR MULL SIZE AND QUANTITY OF ANCHORS REQUIRED SEE SHEET 5. FOR ANCHOR LOCATIONS SEE SHEET 3. QUANTITY OF ANCHORS FOR MULL-TO-CLIP IS THE SAME AS THE QUANTITY OF ANCHORS FROM CLIP-TO-OPENING.
- REFERENCE TEST REPORT FTL-2902, 2903 AND 2975

**IMPORTANT:**

QUANTITY OF ANCHORS SHOWN ARE FOR A PICTORIAL REPRESENTATION ONLY. FOR CORRECT QUANTITY OF ANCHORS PLEASE REFER TO CHARTS AND FIND THE CORRECT MULL SIZE AND PRESSURE REQ'D FOR YOUR SPECIFIC APPLICATION.

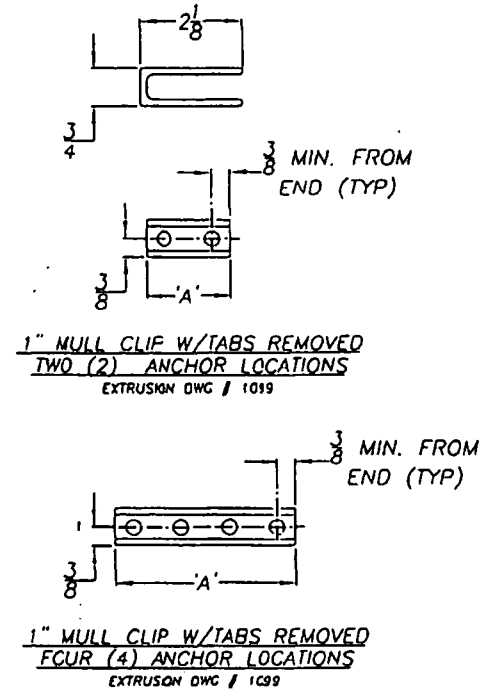
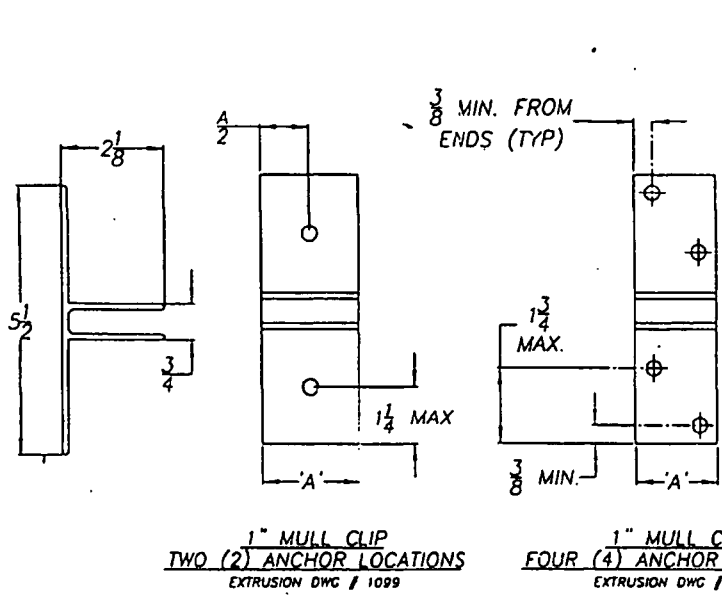
*R.L. Clark*  
5/24/01  
Robert L. Clark, P.E.  
P.E. #39712  
Structural

PRODUCT REVISED  
to comply with the Florida  
Building Code  
Acceptance No. 02-0304-05  
Expiration Date 06/28/04  
By: *Colin Bowman*  
Miami Dade Product Control  
Division

APPROVED AS COMPLYING WITH THE  
SOUTH FLORIDA BUILDING CODE  
DATE JUN 28 2001  
BY: *Maurice*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 00-0712-05

Revised By:	Date:	Checked By:	Date:	Revisions:
Drawn By:	P.J.P.	Date:	4/28/00	
Description: CLIP & INSTALLATION DETAIL				
Title: 1" STD. WALL MULLION				
1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275	P.O. BOX 1529 NOKOMIS, FL 34274	Series/Model: MULLS	Scale: NTS	Sheet: 2 of 5
			Drawing No.:	6620
				Rev:

**IMPORTANT:**  
 QUANTITY OF  
 ANCHORS SHOWN  
 ARE FOR A PICTORIAL  
 REPRESENTATION  
 ONLY. FOR CORRECT  
 QUANTITY OF  
 ANCHORS PLEASE  
 REFER TO CHARTS  
 AND FIND THE  
 CORRECT MULL SIZE  
 AND PRESSURE  
 REQ'D FOR YOUR  
 SPECIFIC  
 APPLICATION.



CLIP LENGTH CHART FOR 1x MULL	
MULL SIZE	'A'
1 x 2 x 1/8	1 1/8
1 x 4 x 1/8	3/16

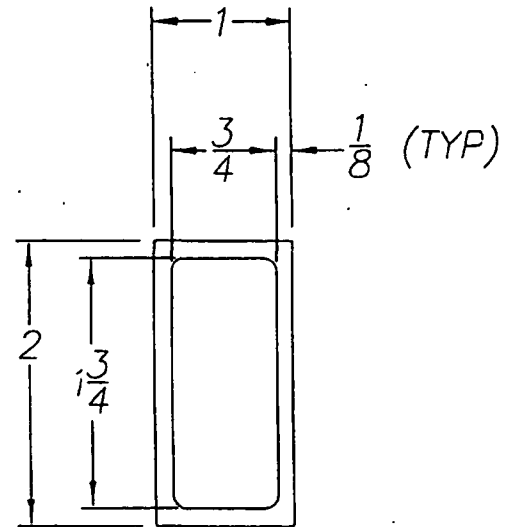
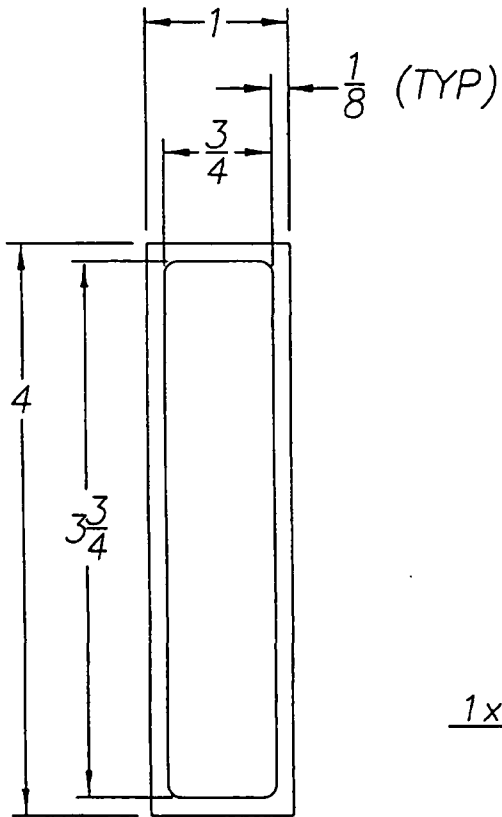
**NOTE:**  
 1. REFERENCE TEST REPORT FTL-2902,2903 AND 2975

*RL Clarke*  
 5/24/01  
 RL CLARKE  
 # 39712

PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 02-0201.05  
 Expiration Date: 04/28/06

APPROVED AS COMPLYING WITH THE  
 SOUTH FLORIDA BUILDING CODE  
 DATE: JUN 28 2001  
 BY: *[Signature]*  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 00-0912-05

<b>PGT INDUSTRIES</b>		Revised By: _____ Date: _____	Chgd By: _____ Date: _____	Revisions: _____
1070 TECHNOLOGY DRIVE MOKOMIS, FL 34275		Drawn By: P.J.P.	Date: 4/28/00	
Description: 1" MULLION CLIP ANCHOR LOCATION				
Title: 1" STD. WALL MULLION				
Series/Model: MULLS	P.O. BOX 1529 MOKOMIS, FL 34274	Scale: NTS	Sheet: 3 of 5	Drawing No. 6620
				Rev. 



1x STD. WALL MULLS

MAT'L: 6063-T6

PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 02-0301.05  
 Expiration Date: 06/28/06  
 By: *Charles Keenan*  
 Miami Dade Product Control  
 Division

APPROVED AS COMPLYING WITH THE  
 SOUTH FLORIDA BUILDING CODE  
 DATE: JUN 28 2001  
 BY: *Manuel Perez*  
 PROJECT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 00-0412.05

NOTE:

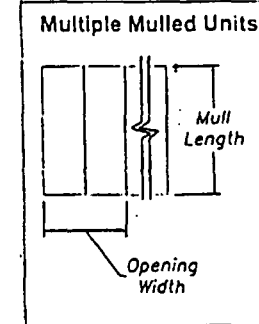
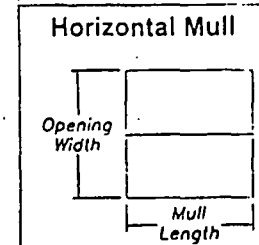
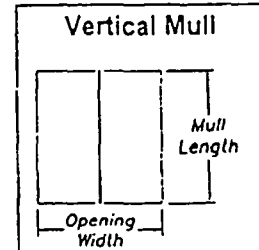
1. REFERENCE TEST REPORT FTL-2902, 2903 AND 2975

*R.L. Clark*  
 5/24/01  
 Robert L. Clark, P.E.  
 P.E. #39712  
 Structural

<b>PGT</b> <b>INDUSTRIES</b>	Revised By: _____ Date: _____	Chgd By: _____ Date: _____	Revisions: _____
	Drawn By: <i>P.J.P.</i>	Date: 4/28/00	
	Description: <b>PROFILES</b>		
	Title: <b>1" STD. WALL MULLION</b>		
1070 TECHNOLOGY DRIVE MCKONIS, FL 34275	P.O. BOX 1529 MCKONIS, FL 34274	Series/Model: <b>MULLS</b>	Scale: <b>NTS</b> Sheet: <b>4 of 5</b> Drawing No. <b>6620</b> Rev: _____

1x2x.125 2 Anchors		OPENING WIDTH IN INCHES									
		50	60	70	80	90	100	110	120	130	160
MULL LENGTH IN INCHES	42	129	115	107	104	103	103	103	103	103	103
	48	83	73	67	63	61	61	61	61	61	61
	50.625	70	61	55	52	50	49	49	49	49	49
	54	57	49	44	41	39	38	38	38	38	38
	60	41	35	31	29	27	26	25	25	25	25
	63	35	30	27	24	23	22	21	20	20	20
	66	30	26	23	21	19	18	18	17	17	17
	72	23	20	17	16	-	-	-	-	-	-
	76	20	17	15	-	-	-	-	-	-	-
	78	18	15	-	-	-	-	-	-	-	-
	84	-	-	-	-	-	-	-	-	-	-
	90	-	-	-	-	-	-	-	-	-	-
	96	-	-	-	-	-	-	-	-	-	-
	108	-	-	-	-	-	-	-	-	-	-
111	-	-	-	-	-	-	-	-	-	-	
144	-	-	-	-	-	-	-	-	-	-	

1x4x.125 4 Anchors		OPENING WIDTH IN INCHES									
		50	60	70	80	90	100	110	120	130	160
MULL LENGTH IN INCHES	42	170	170	170	170	170	170	170	170	170	170
	48	170	170	170	170	170	170	170	170	170	170
	50.625	170	170	170	170	170	170	170	170	170	170
	54	170	170	170	170	162	158	157	157	157	157
	60	170	170	157	143	134	127	124	122	122	122
	63	170	160	141	128	119	112	108	106	106	106
	66	170	145	127	115	106	100	96	93	92	92
	72	142	120	105	95	87	81	77	74	72	71
	76	120	102	90	81	74	69	65	63	61	59
	78	111	94	83	74	68	63	60	57	55	53
	84	88	75	65	59	53	49	46	44	42	40
	90	72	60	53	47	43	39	37	35	33	31
	96	59	50	43	38	35	32	30	28	27	24
	108	41	35	30	27	24	22	20	19	18	16
111	38	32	28	24	22	20	19	17	16	-	
144	17	-	-	-	-	-	-	-	-	-	



PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 02-0201.05  
 Expires Jan 06/28/06  
 By: *Robert L. Clark*  
 Miami Dade Product Control  
 Division  
 APPROVED AS COMPLYING WITH THE  
 SOUTH FLORIDA BUILDING CODE  
 DATE: JUN 28 2001  
 BY: *Robert L. Clark*  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE  
 ACCEPTANCE NO. 00-0412.01

- NOTES:**
1. MAXIMUM ALLOWABLE PRESSURE IN PSF.
  2. DESIGN IS BASED ON OPENING WIDTH. FOR MULTIPLE UNITS, CONSIDER ONLY TWO ADJACENT UNITS AT A TIME. SEE SHEET 1.
  3. REFERENCE TEST REPORT FTL-2902, 2903 AND 2975

*R.L. Clark*  
 5/24/01  
 Robert L. Clark, P.E.  
 P.E. #39712  
 Structural

		Revis: By: _____ Date: _____ Drawn By: P.J.P. Date: 4/28/00 Description: PRESSURE CHARTS Title: 1" STD. WALL MULLION	Revisions: _____ Scale: NTS Sheet: 5 of 5 Drawing No. 6620
1070 TECHNOLOGY DRIVE NOKOMIS, FL 34273	P.O. BOX 1529 NOKOMIS, FL 34274	Series/Model: MULLS	Rev: _____



**MIAMI-DADE**  
**BUILDING CODE COMPLIANCE OFFICE (BCCO)**  
**PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA**  
**METRO-DADE FLAGLER BUILDING**  
**140 WEST FLAGLER STREET, SUITE 1603**  
**MIAMI, FLORIDA 33130-1563**  
**(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**PGT Industries**  
**P.O. Box 1529**  
**Nokomis, FL 34274**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Series FD-101 Outswing Aluminum French Door w/ Sidelites - Impact

**APPROVAL DOCUMENT:** Drawing No. 972, titled "Aluminum French Door w/ Sidelites", sheets 1 through 8 of 8, prepared by manufacturer, dated 7-12-99 and last revised on 01-17-03, signed and sealed by Robert L. Clark, P.E., bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** Large and Small Missile Impact

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

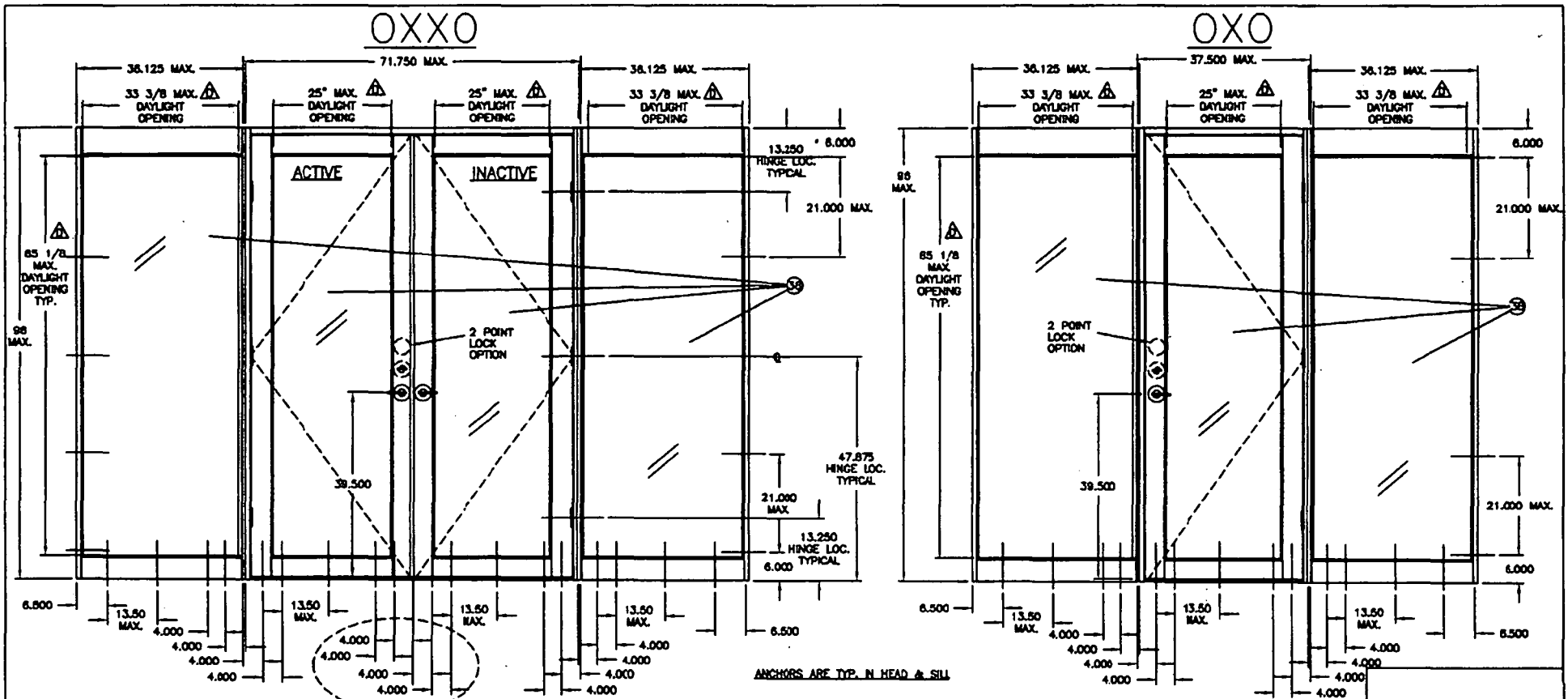
**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises & renews NOA # 02-0702.01 and, consists of this page 1 as well as approval document mentioned above.

The submitted documentation was reviewed by Ishaq I. Chanda, P.E.



**NOA No 02-0927.13**  
**Expiration Date: February 13, 2008**  
**Approval Date: February 13, 2003**  
**Page 1**



Four 1/4" Topcans or 5 #14 Screws Req'd at this Location, Top & Bottom.

**LARGE MISSILE IMPACT DOORS**

- 1.) GLAZING OPTIONS: (SEE SHEET 3 FOR GLAZING DETAILS)
  - OPTION 1 - .402 (3/8") LAMINATED (3/16" HEAT STRENGTHENED, .090 INNER LAYER, 1/8" ANNEALED
  - OPTION 2 - .402 (3/8") LAMINATED (3/16" HEAT STRENGTHENED, .090 INNER LAYER, 1/8" HEAT STRENGTHENED
  - OPTION 3 - 7/16" LAMINATED (3/16" HEAT STRENGTHENED, .090 INNER LAYER, 3/16" ANNEALED
  - OPTION 4 - 7/16" LAMINATED (3/16" HEAT STRENGTHENED, .090 INNER LAYER, 3/16" HEAT STRENGTHENED
- 2.) DESIGN PRESSURE RATING: (SEE TABLES SHEET 2)
- 3.) ANCHORS: DOOR
  - MAX. FROM CORNERS: 6.500 (HEAD & SILL)
  - MAX. FROM CORNERS: 6.000 (JAMBS)
  - MAX. SPACING AT HEAD & SILL: 13.500
  - MAX. SPACING AT JAMBS: 21.000
- 4.) SHUTTER REQUIREMENT: SHUTTERS NOT REQUIRED.
- 5.) REFERENCE TEST REPORT: FTL-2067
- 6.) SEALANT TO BE APPLIED AROUND THE FRAME CORNER & PANEL CORNER SEAM.

*R. L. Clark*  
1/17/03  
Robert L. Clark, P.E.  
PE #39712  
Structural



1070 TECHNOLOGY DRIVE  
NOKOMIS, FL 34275  
P.O. BOX 1529  
NOKOMIS, FL 34274

Revised By: F.K.	Date: 1/17/03	Revisions: D-ADD D.O. DIM.S
Revised By: F.K.	Date: 9/9/02	Revisions: C-ADD 7/16 GLASS & TABLES
Revised By: F.K.	Date: 8/20/01	Revisions: B-PER LETTER 8/17/01
Drawn By: D.S.	Date: 7/12/99	

PRODUCT REVIEWED  
in compliance with the Florida  
Building Code  
Assignment No. 02-0927-13  
Expiration Date: 2/28/2003  
By: *Isaac I. Chaudh*  
Miami Dade Product Control  
Division

Description: <b>ELEVATIONS OXXO &amp; OXO</b>			
Title: <b>ALUMINUM FRENCH DOOR W/ SIDELITES</b>			
Series/Model: FD-101	Scale: NTS	Sheet: 1 of 8	Drawing No. 972
			Rev: D



**COMPARATIVE ANALYSIS TABLE 1. - GLASS OPTION 1**  
3/16" Heat Strengthened, .090 Inner Layer, 1/8" Annealed

Qty. of Slabs	Sidelite Width	Max. Door Widths	Heights					
			79.750	83.750	87.750	91.750	95.750	
OXO	1	22.000	37.500	-75.0	-75.0	-72.5	-70.2	-68.8
				75.0	75.0	72.5	70.2	68.8
	1	28.000	37.500	-74.7	-73.2	-70.8	-68.5	-67.1
				74.7	73.2	70.8	68.5	67.1
	1	30.000	37.500	-64.7	-63.2	-61.0	-59.0	-58.2
				64.7	63.2	61.0	59.0	58.2
1	33.000	37.500	-55.4	-53.5	-51.6	-50.1	-48.9	
			55.4	53.5	51.6	50.1	48.9	
1	36.125	37.500	-48.9	-47.5	-45.4	-43.4	-41.8	
			48.9	47.5	45.4	43.4	41.8	
OXOXO	2	22.000	71.750	-75.0	-75.0	-72.5	-70.2	-68.8
				75.0	75.0	72.5	70.2	68.8
	2	28.000	71.750	-74.7	-73.2	-70.8	-68.5	-67.1
				74.7	73.2	70.8	68.5	67.1
	2	30.000	71.750	-64.7	-63.2	-61.0	-59.0	-58.2
				64.7	63.2	61.0	59.0	58.2
	2	33.000	71.750	-55.4	-53.5	-51.6	-50.1	-48.9
				55.4	53.5	51.6	50.1	48.9
	2	36.125	71.750	-48.9	-47.5	-45.4	-43.4	-41.8
				48.9	47.5	45.4	43.4	41.8

**COMPARATIVE ANALYSIS TABLE 2. - GLASS OPTION 2**  
3/16" Heat Strengthened, .090 Inner Layer, 1/8" Heat Strengthened

Qty. of Slabs	Sidelite Width	Max. Door Widths	Heights					
			79.750	83.750	87.750	91.750	95.750	
OXO	1	22.000	37.500	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	1	28.000	37.500	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	1	30.000	37.500	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
1	33.000	37.500	-75.0	-75.0	-75.0	-75.0	-75.0	
			75.0	75.0	75.0	75.0	75.0	
1	36.125	37.500	-75.0	-75.0	-75.0	-75.0	-75.0	
			75.0	75.0	75.0	75.0	75.0	
OXOXO	2	22.000	71.750	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	2	28.000	71.750	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	2	30.000	71.750	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	2	33.000	71.750	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	2	36.125	71.750	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0

**COMPARATIVE ANALYSIS TABLE 3. - GLASS OPTION 3**  
3/16" Heat Strengthened, .090 Inner Layer, 3/16" Annealed

Qty. of Slabs	Sidelite Width	Max. Door Widths	Heights					
			79.750	83.750	87.750	91.750	95.750	
OXO	1	22.000	37.500	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	1	28.000	37.500	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	1	30.000	37.500	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
1	33.000	37.500	-75.0	-75.0	-75.0	-74.7	-72.8	
			75.0	75.0	75.0	74.7	72.8	
1	36.125	37.500	-70.0	-67.9	-65.7	-63.1	-60.4	
			70.0	67.9	65.7	63.1	60.4	
OXOXO	2	22.000	71.750	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	2	28.000	71.750	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	2	30.000	71.750	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	2	33.000	71.750	-75.0	-75.0	-75.0	-74.7	-72.8
				75.0	75.0	75.0	74.7	72.8
	2	36.125	71.750	-70.0	-67.9	-65.7	-63.1	-60.4
				70.0	67.9	65.7	63.1	60.4

**COMPARATIVE ANALYSIS TABLE 4. - GLASS OPTION 4**  
3/16" Heat Strengthened, .090 Inner Layer, 3/16" Heat Strengthened

Qty. of Slabs	Sidelite Width	Max. Door Widths	Heights					
			79.750	83.750	87.750	91.750	95.750	
OXO	1	22.000	37.500	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	1	28.000	37.500	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	1	30.000	37.500	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
1	33.000	37.500	-75.0	-75.0	-75.0	-75.0	-75.0	
			75.0	75.0	75.0	75.0	75.0	
1	36.125	37.500	-75.0	-75.0	-75.0	-75.0	-75.0	
			75.0	75.0	75.0	75.0	75.0	
OXOXO	2	22.000	71.750	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	2	28.000	71.750	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	2	30.000	71.750	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	2	33.000	71.750	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0
	2	36.125	71.750	-75.0	-75.0	-75.0	-75.0	-75.0
				75.0	75.0	75.0	75.0	75.0

- NOTES: 1. NEGATIVE DESIGN LOADS BASED ON TESTED PRESSURE AND GLASS TABLES ASTM E 1300-88.  
2. POSITIVE DESIGN LOADS BASED ON WATER TEST PRESSURE AND GLASS TABLES ASTM E 1300-88.  
3. GENERAL: D/O = DAYLIGHT OPENING  
D/O HEIGHT = DOOR HEIGHT -10.875"  
D/O WIDTH SIDELITE = SIDELITE WIDTH -2.750"  
D/O WIDTH PANEL = PANEL WIDTH -12.500"

*P.L. Clark*  
11/12/03  
Robert L. Clark, P.E.  
PE #39712  
Structural



1070 TECHNOLOGY DRIVE  
NOKOMIS, FL 34275  
P.O. BOX 1529  
NOKOMIS, FL 34274

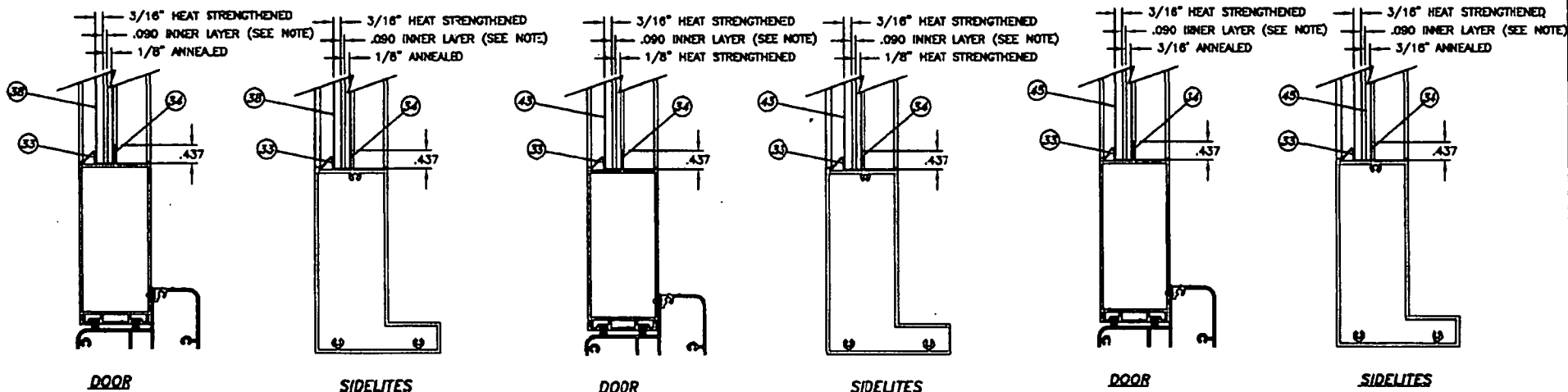
Revised By: F.R.	Date: 1/17/03	Revisions: D-MOD TABLES & ADD NOTE 3
Revised By: F.R.	Date: 9/9/02	Revisions: C-NEW DESIGN TABLES
Revised By: F.R.	Date: 8/20/01	Revisions: B-PER LETTER 8/17/01
Drawn By: D.B.	Date: 7/12/99	

PRODUCT REVIEWED  
in compliance with the Florida  
Building Code  
Amplification No. 02-0977-13  
Expiration Date: 08/15/08  
By: *John L. Chanda*  
Miami Code Product Council  
Division

Description: DESIGN PRESSURE TABLES, OXOX & OXO

Title: ALUMINUM FRENCH DOOR W/ SIDELITES

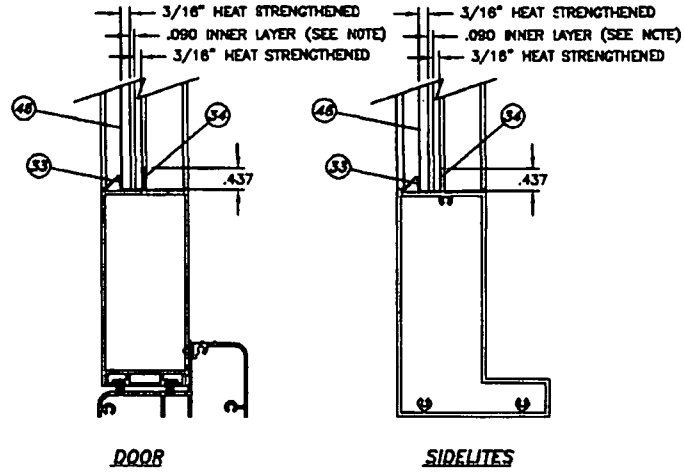
Series/Model: FD-101	Scale: NTS	Sheet: 2 of 8	Drawing No.: 972	Rev.: D
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**GLAZING OPTION 1**  
**.402 (3/8") LAMINATED**

**GLAZING OPTION 2**  
**.402 (3/8") LAMINATED**

**GLAZING OPTION 3**  
**7/16" LAMINATED**



**GLAZING OPTION 4**  
**7/16" LAMINATED**

NOTE: INNER LAYER MAY BE DUPONT BUTACITE PVB OR SAFEX/KEEPSAFE MAXIMUM.

PRODUCT REVIEWED  
in compliance with the Florida  
Building Code  
Acceptance No. 02-0927-13  
Expiration Date 02/13/2008  
By: Slava L. Chavala  
Specialty Products Control  
Division

*P.L. Clark*  
*1/17/05*  
Robert L. Clark, P.E.  
PE #38712  
Structural

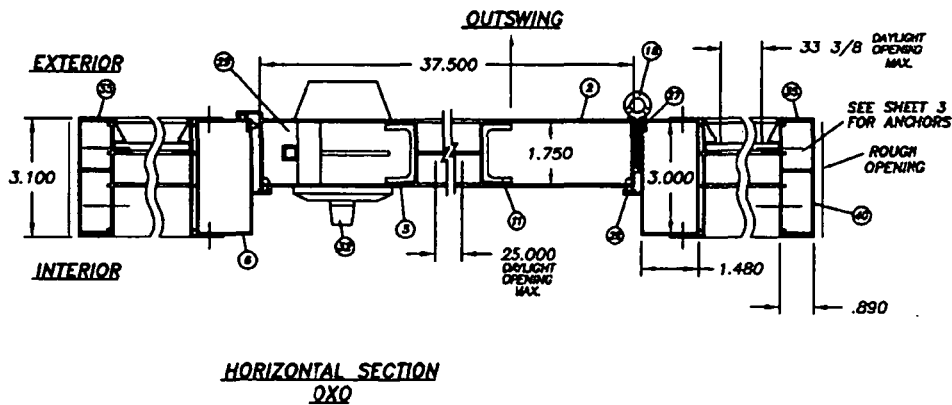
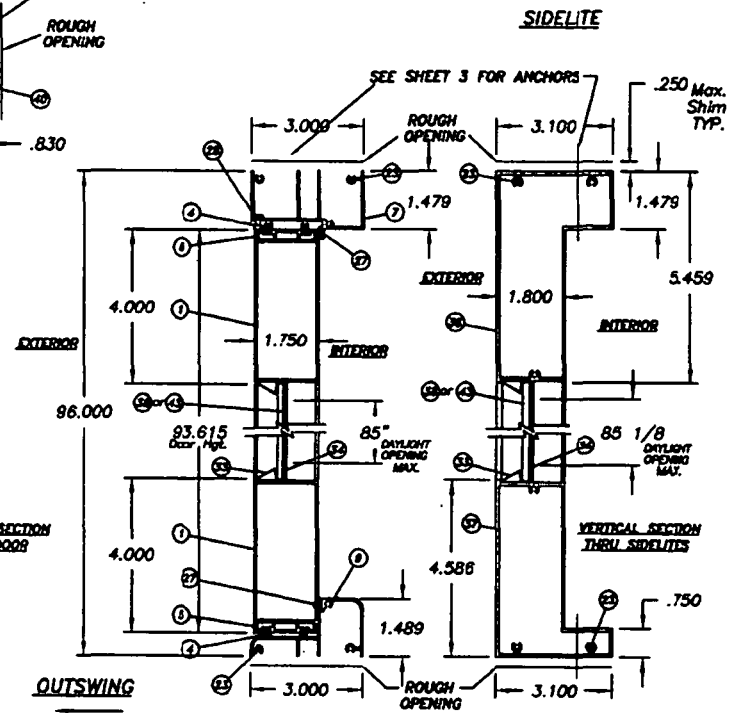
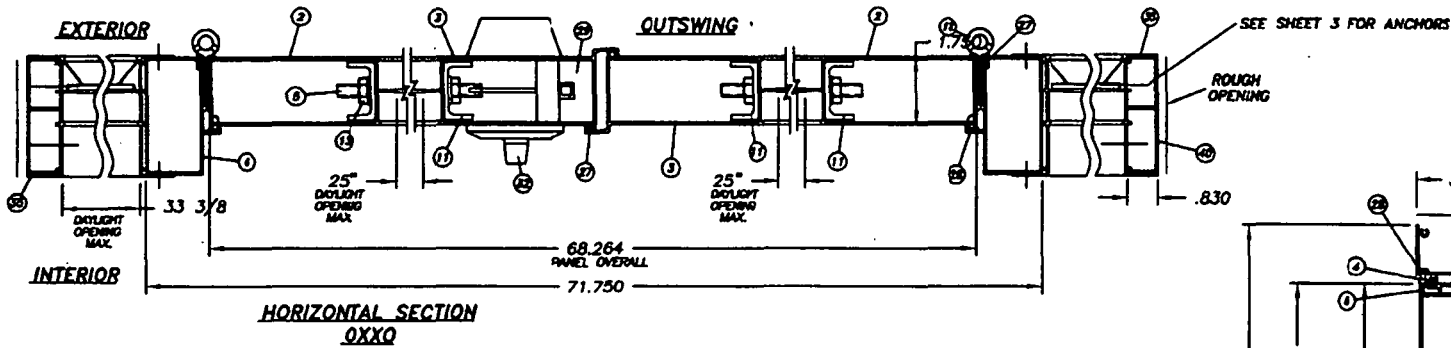


1070 TECHNOLOGY DRIVE  
NOKOMIS, FL 34275  
P.O. BOX 1529  
NOKOMIS, FL 34274

Revised By: F.K.	Date: 1/17/03	Revisions: D-NO CHG THIS SHIT
Revised By: F.K.	Date: 9/9/02	Revisions: C-ADD 7/16 GLASS
Revised By: F.K.	Date: 8/20/01	Revisions: B-PER LETTER 8/17/01
Drawn By: D.S.	Date: 7/12/99	

Description: <b>GLAZING DETAILS</b>			
Title: <b>ALUMINUM FRENCH DOOR W/ SIDELITES</b>			
Series/Model: FD-101	Scale: NTS	Sheet: 3 of 8	Drawing No. 972
			Rev: D

REFERENCE TEST REPORT: FTL-2067



PRODUCT REVIEWED  
 as complying with the Florida  
 Building Code  
 Application No. 02-091713  
 Expiration Date 02/11/09  
 By: *Isaac L. Chaud*  
 National Code Product Control  
 Division

Revised By: F.K.	Date: 1/17/03	Revisions: D-NO CHG THIS SHT
Revised By: F.K.	Date: 9/9/02	Revisions: C-NO CHG THIS SHT
Revised By: F.K.	Date: 8/20/01	Revisions: PER LETTER 8/17/01
Drawn By: D.S.	Date: 7/12/99	

*R. L. Clark*  
 1/17/03

Robert L. Clark, P.E.  
 PE #39712  
 Structural

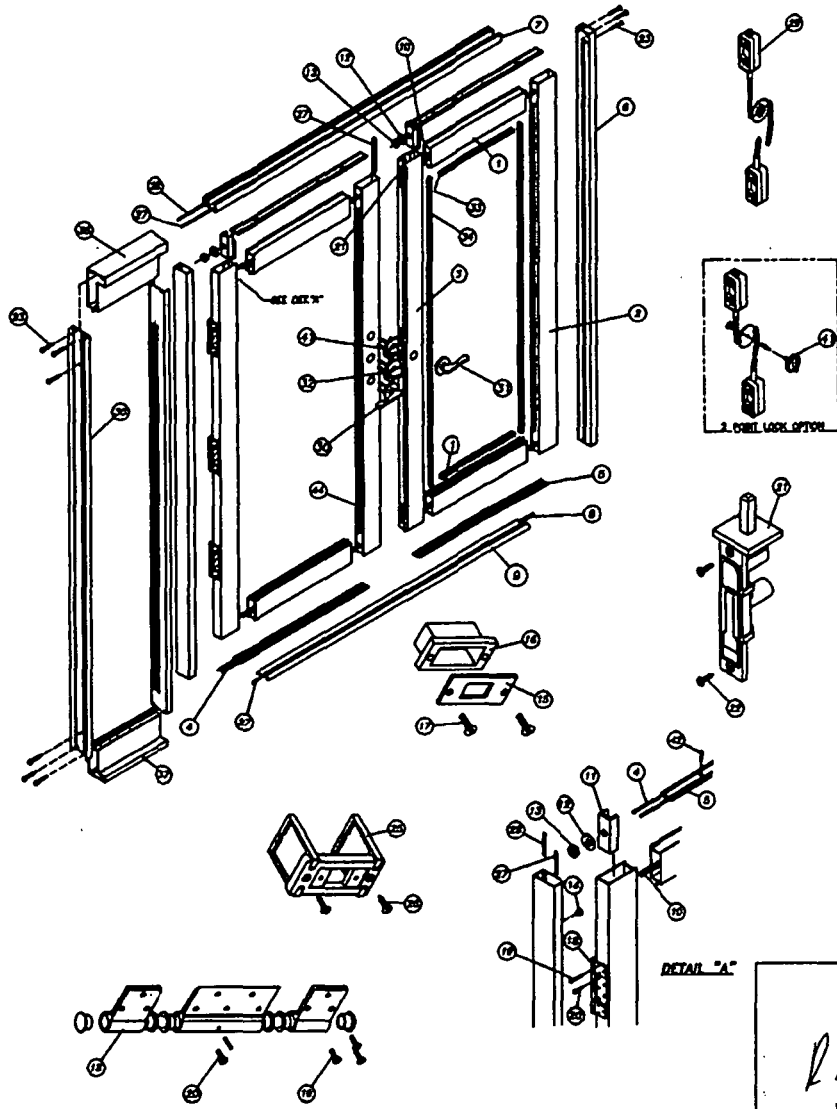


1070 TECHNOLOGY DRIVE  
 NORCO, FL 34275

P.O. BOX 1529  
 NORCO, FL 34274

Description: <b>SECTIONS</b>			
Title: <b>ALUMINUM FRENCH DOOR W/ SIDELITES</b>			
Series/Model: FD-101	Scale: NTS	Sheet: 4 of 8	Drawing No. 972
			Rev: D

REFERENCE TEST REPORT: FTL-2067



ITEM	DESCRIPTION	V.T. #	VENDOR	QTY	VENDOR #
1	DOOR HEAD/SILL (AL 6063-T5/082 WALL)	60375	ALUMAY	4 (2)	AF-10375
2	DOOR JAMB (AL 6063-T5/082 WALL)	60376	ALUMAY	2 (1)	AF-10376
3	DOOR ASTRAGAL INT. (AL 6063-T5/082 WALL)	60377	ALUMAY	1 (1)	AF-10377
4	250 x 187 FINSEAL W-STRIP	67824G	SCHIEGEL CORP.	8 (2)	67824-187
5	WSPC CHANNEL (AL 6063-T5/082 WALL)	60379	ALUMAY	4 (2)	AF-10379
6	FRAME JAMB (AL 6063-T5/082 WALL)	60380	ALUMAY	2 (2)	AF-10380
7	FRAME HEAD (AL 6063-T5/082 WALL)	60411	ALUMAY	1 (1)	AF-12378
8	1 1/2" x 1" PAD			2 (2)	
9	Outer Threshold (AL 6063-T5/082 WALL)	61069	ALUMAY	1 (1)	AF-12375
10	5/16x18 THREADED ROD	61068	FASTEC INDUSTRIAL	4 (2)	
11	Nut & Clamp (AL 6063-T5/082 WALL)	60378M	ALUMAY	8 (2)	AF-10378
12	5/16x1/8 TRUSS WASHER	7WASMA	FASTEC INDUSTRIAL	8 (2)	
13	5/16x18 TRUSS NUT	7UNUTA	FASTEC INDUSTRIAL	8 (2)	
14	FRAME SCR. COVER CAP	41722W	PGT INDUSTRIES		41722W
15	STRIKE PLATE	7853X	CAMCORP	2 (1)	
16	STRIKE PLATE INSERT	41721	PGT INDUSTRIES	2 (1)	41721
17	10x7/4 SCR. FLT. HD. PHIL.	71032A	MERCHANTS FASTENER	4 (2)	
18	HINGE ASSY.	7F900W	NATIONWIDE IND.	8 (2)	
19	10x625 SCR. FLT. HD. PHIL.	71058FP	MERCHANTS FASTENER	36 (18)	
20	10x17/2 SCR. FLT. HD. PHIL.	71081FP	MERCHANTS FASTENER	30 (15)	
21	TOP/BOTT. SLIDE BODY LOCK	41720	PGT INDUSTRIES	4 (2)	41720
22	6x17/2 FLT. HD. PHIL.	7812FW	MERCHANTS FASTENER	8 (2)	
23	8 x 1 SCR. PAN HD. QUAD.	78120A	FASTEC INDUSTRIAL	36 (36)	
24	6x7/8 SCR. FLT. HD. PHIL.	7FWSWA	FASTEC INDUSTRIAL	12 (6)	
25	LOCK SUPPORT ASSY.	4UBLOK	PGT INDUSTRIES	3 (2)	4UBLOK
26	6x3/4 FLT. HD. PHIL.	7854F	FASTEC INDUSTRIAL	8 (2)	
27	200 x 190 GLOW	602XOK	SCHIEGEL CORP.	1 (1)	60200X190
28	375 x 190 GLOW	60300Y	SCHIEGEL CORP.	1 (1)	60300X190
29	3 POINT LOCK ASSY.	7F3FIAT	PGT INDUSTRIES	1 (1)	7F3FIAT
30	LOCK (ACTIVE)	7LOKAP	HARLOCK	1 (1)	100
31	LOCK (DORMIT)	7LOKIP	HARLOCK	1 (1)	880
32	DEAD-BOLT LOCK	78L7K	HARLOCK	1 (1)	600
33	Roller Alum. Glaz. Bead	85183	FLOHMA SCREEN	18 (12)	85-183
34	SP FINE	62882C	DOW CORNING		628
35	SIDELITE JAMB	60414	ALUMAY	4 (4)	AF-10414
36	SIDELITE HEADER	60414	ALUMAY	2 (2)	AF-10414
37	SIDELITE BOTTOM RAIL	60415	ALUMAY	2 (2)	AF-10415
38	402 Laminated (187 HS/125 Annealed w/ Support Butacite PVB or Saflex/Keepsafe Maximum Inner Layer)	PPG LDF		4 (3)	
39	SEAL SEALER	8SM35W	SCHIEGEL/MOREHEAD		8SM304
40	SIDELITE JAMB ADAPTER (REINFORCEMENT)	61641	ALUMAY	2 (2)	AF-11641
41	3 POINT LOCK OPTION	7878LAB	SULLIVAN & ASSOC.	1 (1)	
42	18 x 250 PH. FL. YEK	7834FFY	SPENCER PRODUCTS	8 (12)	
43	402 Laminated (187 HS/125 HS w/ Support Butacite PVB or Saflex/Keepsafe Maximum Inner Layer)	PPG LDF		4 (3)	
44	DOOR ASTRAGAL EXT. (AL 6063-T5/082 WALL) 6084	6084	KEYMARK	1 (1)	1154
45	7/16 Laminated (3/16 HS & 3/16 Annealed w/ Support Butacite PVB or Saflex/Keepsafe Maximum Inner Layer)	PPG LDF		4 (3)	
46	7/16 Laminated (3/16 HS & 3/16 HS w/ Support Butacite PVB or Saflex/Keepsafe Maximum Inner Layer)	PPG LDF		4 (3)	

NOTES: 1. QTY'S IN BRACKETS ARE FOR DXO CONFIGURATION  
 2. REFERENCE TEST REPORT: FIL-2067

PRODUCT REVIEWED  
 as complying with the Florida  
 Building Code  
 Approval No. 28-0427-13  
 Expiration Date: 8/15/2008  
 By: *Iskhan I. Chaudh*  
 Licensed Civil Product Control  
 Division

*R. L. Clark*  
 1/17/03  
 Robert L. Clark, P.E.  
 PE #39712  
 Structural

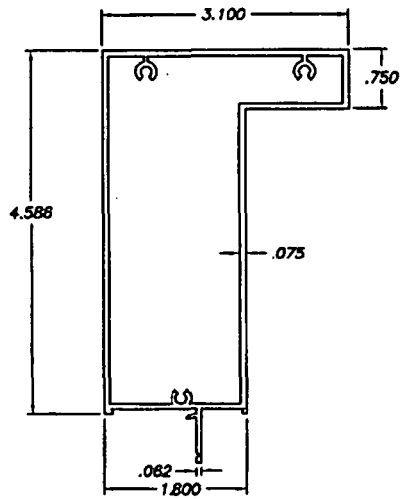
**PGT**  
**INDUSTRIES**  
 1070 TECHNOLOGY DRIVE  
 NOKOMIS, FL 34275  
 P.O. BOX 1529  
 NOKOMIS, FL 34274

Revised By: F.K.	Date: 1/17/03	Revisions: D-NO CHG THIS SHIT
Revised By: F.K.	Date: 9/9/02	Revisions: C-ADD 7/16L GLASS
Revised By: F.K.	Date: 8/20/01	Revisions: B-PER LETTER 8/17/01
Drawn By: D.B.	Date: 7/12/99	

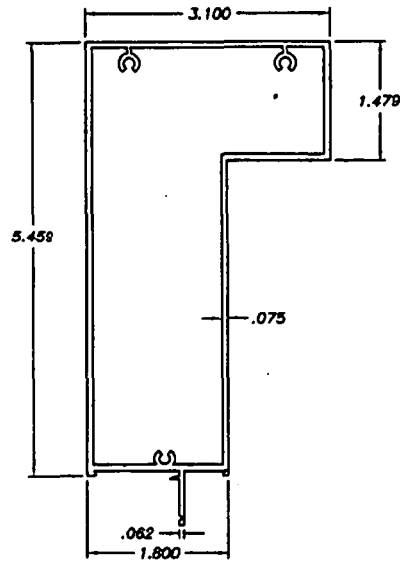
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Title: **ALUMINUM FRENCH DOOR W/ SIDELITES**

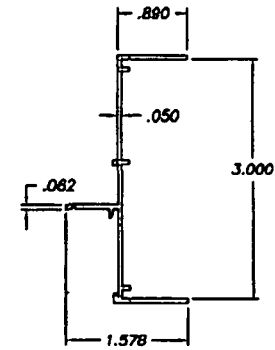
Series/Model: FD-101	Scale: NTS	Sheet: 5 of 8	Drawing No. 972	Rev: D
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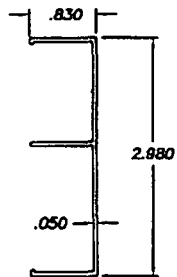
37 SIDELITE BOTTOM RAIL  
6063-T5 ALUM.



36 SIDELITE HEADER  
6063-T5 ALUM.



35 SIDELITE JAMB  
6063-T5 ALUM.



40 SIDELITE JAMB ADAPTER  
6063-T5 ALUM.

*R. L. Clark*  
1/17/03  
Robert L. Clark, P.E.  
PE #38712  
Structural

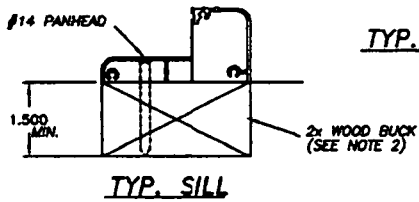
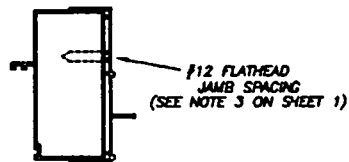
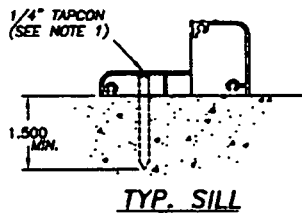
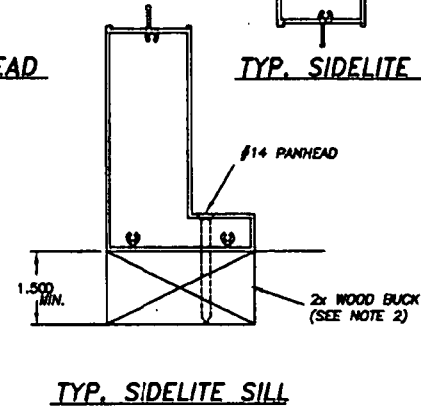
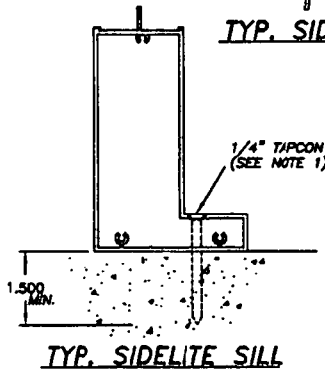
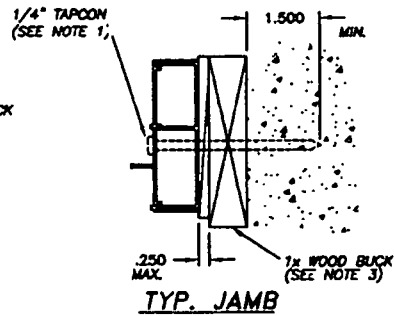
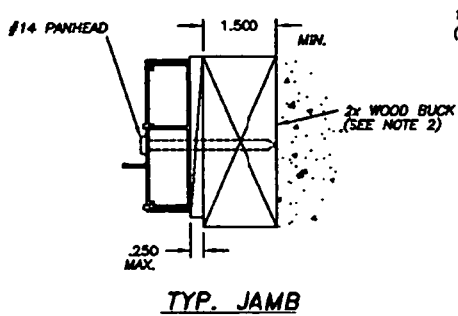
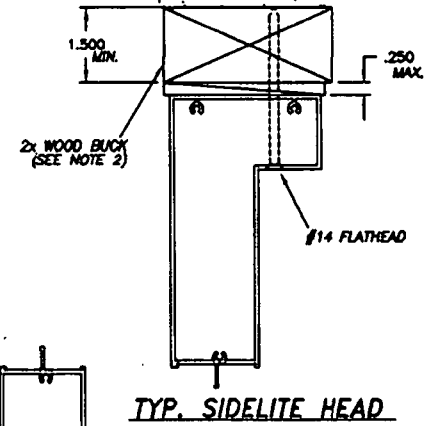
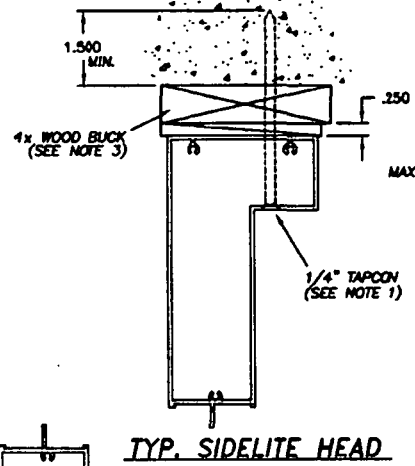
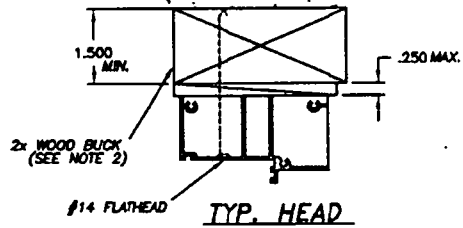
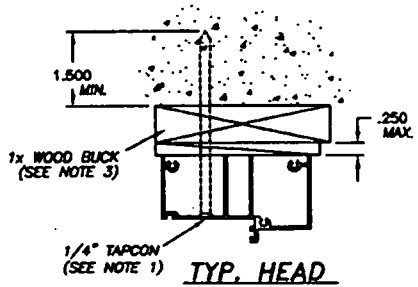
**P&T**  
**INDUSTRIES**

1070 TECHNOLOGY DRIVE  
MOKOMIS, FL 34275  
P.O. BOX 1529  
MOKOMIS, FL 34274

Revised By: F.K.	Date: 1/17/03	Revision: D-NO CHG THIS SHT
Revised By: F.K.	Date: 9/9/02	Revision: C-NEW SHT
Drawn By: F.K.	Date: 9/9/02	

PRODUCT RENEWED  
as complying with the Florida  
Building Code  
Adoption No. 02-0977.13  
Expiration Date: 07/11/2008  
By: *Sharon L. Church*  
Aluminum Extrusion Council  
Division

Description: EXTRUSIONS PROFILES, SIDELITES			
Title: ALUMINUM FRENCH DOOR W/ SIDELITES			
Series/Model: FD-101	Scale: NTS	Sheet: 7 of 8	Drawing No. 972
			Rev: D



**NOTES:**

1. USE ONLY MIAMI-DADE COUNTY APPROVED ELDG OR ITW TAPCONS.
2. INSTALLATION OF 2x WOOD BUCK TO THE SUBSTRATE ENGINEERED SEPARATELY AND TO BE REVIEWED BY BUILDING OFFICIAL.
3. INSTALLATION OF 1x WOOD BUCK TO THE SUBSTRATE TO BE ENGINEERED SEPARATELY.

PRODUCT REVIEWED  
in compliance with the Florida  
Building Code  
Acceptance No. 02-0927-13  
Expiration Date 08/15/15  
By: *John J. Chavira*  
Miami Dade Building Control  
Division

*R. L. Clerk*  
1/17/03  
Robert L. Clerk, P.E.  
PE #39712  
Structural

**RGT INDUSTRIES**  
1070 TECHNOLOGY DRIVE  
NOKOMIS, FL 34275  
P.O. BOX 1529  
NOKOMIS, FL 34274

Revised By: F.K.	Date: 1/17/03	Revisions: D-NO CHG THIS SHT
Revised By: F.K.	Date: 8/9/02	Revisions: C-ADD NOTES
Revised By: F.K.	Date: 8/20/01	Revisions: B-PER LETTER 8/17/01
Drawn By: D.S.	Date: 7/12/99	

Description: ANCHORAGE			
Title: ALUMINUM FRENCH DOOR W/ SIDELITES			
Series/Model: FD-101	Scale: NTS	Sheet: 8 of 8	Drawing No. 972
			Rev: D

REFERENCE TEST REPORT: FIL-2067



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**PGT Industries  
P.O. Box 1529  
Nokomis, FL 34274**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** ~~Swing Aluminum~~

**APPROVAL DOCUMENT:** Drawing No. 971, titled "French Door-X, XX", sheets 1 through 4 of 4, prepared, signed and sealed by Robert L. Clark, P.E., dated 4/13/01, bearing the Miami-Dade County Product Control Revision Stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** Large and Small Missile Impact

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

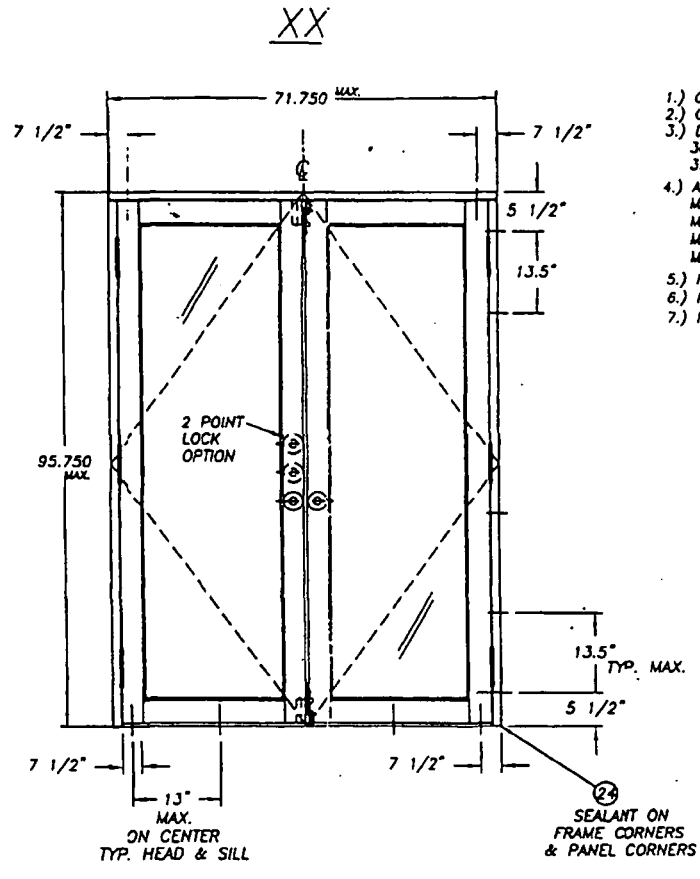
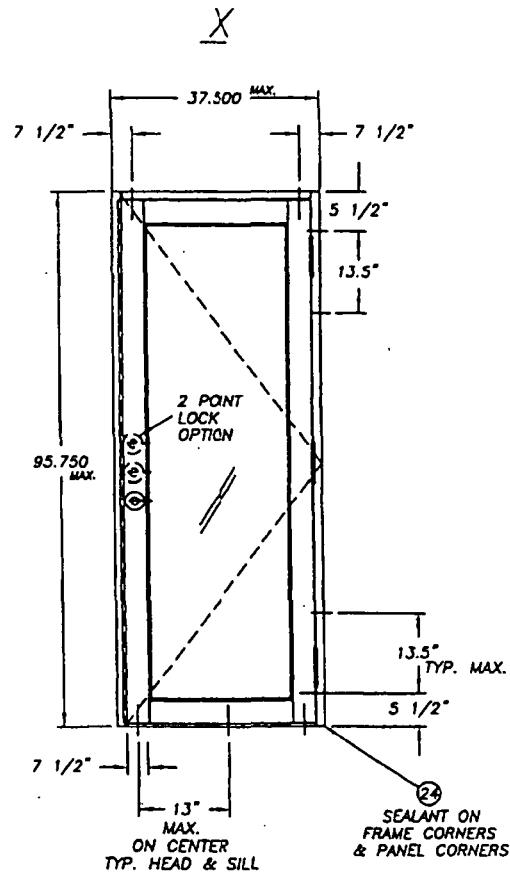
**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 01-0417.04 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Theodore Berman, P.E.



**NOA No 02-0701.12  
Expiration Date: November 22, 2006  
Approval Date: July 12, 2002  
Page 1**

# LARGE MISSILE IMPACT DOORS



- 1.) GLAZING: .401/.464 LAMINATED W/INTERLAYER (MONSANTO OR DUPONT)
- 2.) CONFIGURATIONS: X, XX
- 3.) DESIGN PRESSURE RATING:
  - 3a) 464 LAM.: +75 P.S.F. -75 P.S.F.
  - 3b) 401 LAM.: +60 P.S.F. -60 P.S.F.
- 4.) ANCHORS:
  - MAX. 7 1/2" FROM CORNERS (HEAD & SILL)
  - MAX. 5 1/2" FROM CORNERS (JAMB)
  - MAX. SPACING AT HEAD & SILL: 13.000
  - MAX. SPACING AT JAMB: 13.500
- 5.) NO SHUTTERS REQUIRED
- 6.) REFERENCE TEST REPORT: FTL-2241
- 7.) FOR LOCKING ASSEMBLY OPTION - SEE SHEET 3 OF 4

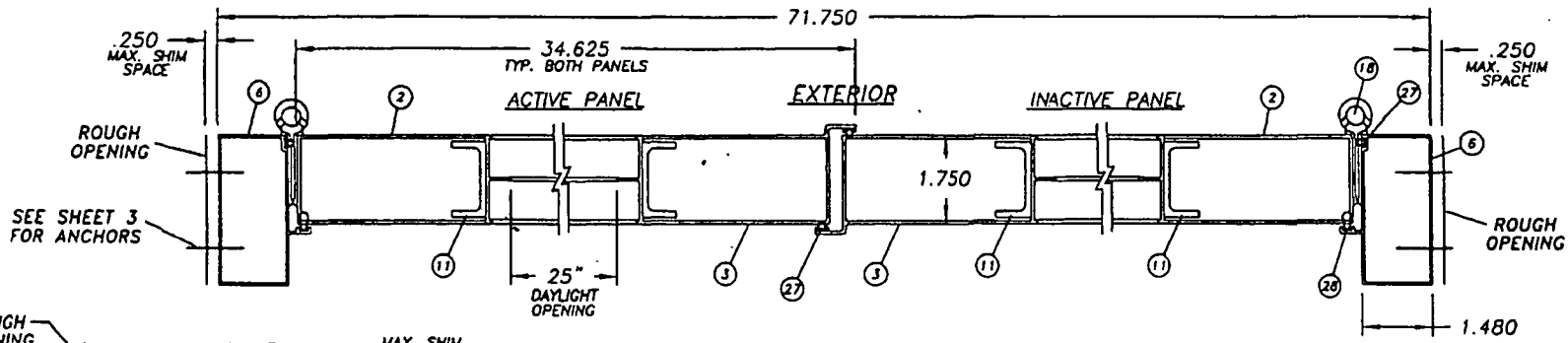
PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 02-0701:2  
 Expiration Date 11/22/06  
 By *Shirley Roman*  
 Miami Dade Product Control  
 Division

PRODUCT RENEWED  
 ACCEPTANCE No. 01-0417.04  
 EXPIRATION DATE: November 22, 2006  
 By *Shirley Roman*  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE

*Robert Clark*  
 4/13/01  
 Robert L. Clark, P.E.  
 P.E. #39712  
 Structural

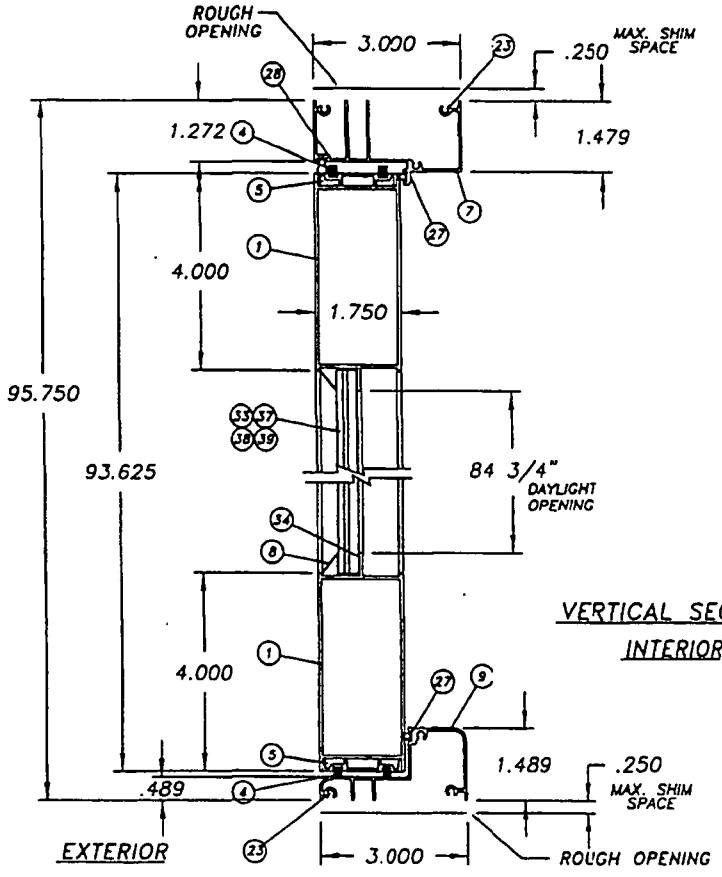
Revisions: D) added 2pt. lock info		Tolerances Unless Noted: Fractions: ± 1/64 Decimals: .00 ± Angles: ± 1°		1070 Technology Dr. Nokomis, Fl. 34275					
Material:		Series/Model: SWD-101		Description: French Door - X, XX					
Revised By: D.B.	Date: 11/17/00	Child By: D.B.	Date: 2/16/98	PGT NO:	VENDOR NO:	Scale: 1x	Sheet: 1 of 4	Drawing No. 971	Rev: D





HORIZONTAL SECTION

INTERIOR



VERTICAL SECTION

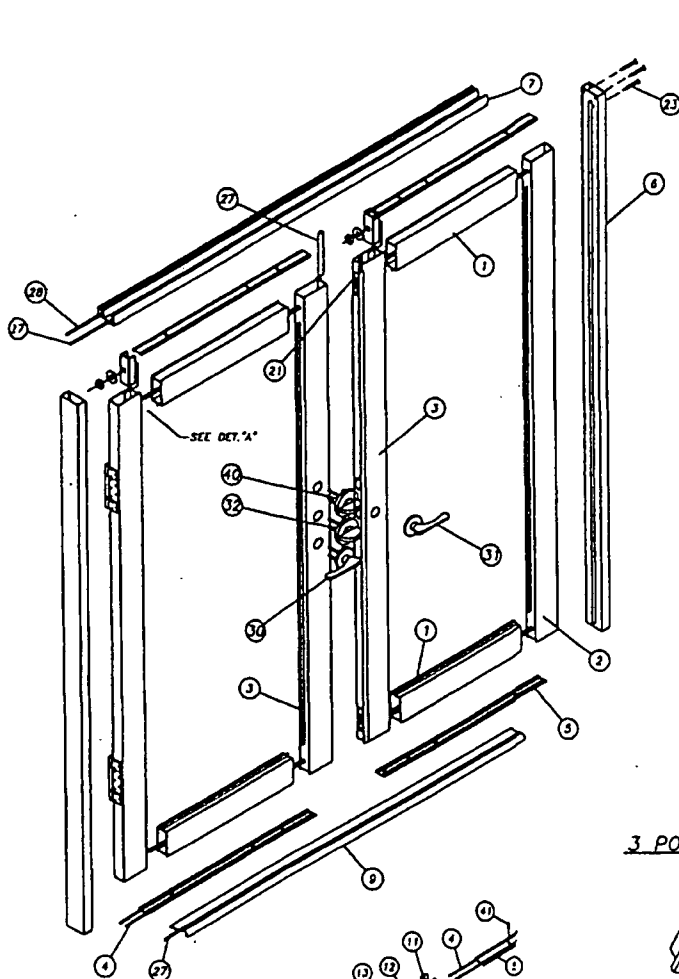
INTERIOR

PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 02-030112  
 Expiration Date 11/22/06  
 By *Robert L. Clark*  
 Florida State Product Control  
 Division

PRODUCT RENEWED  
 ACCEPTANCE No. 01-0417.04  
 EXPIRATION DATE, NOVEMBER 22, 2006  
 By *Ishay L. Landa*  
 PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE

*Robert L. Clark*  
 4/15/01  
 Robert L. Clark, P.E.  
 P.E. #39712  
 Structural

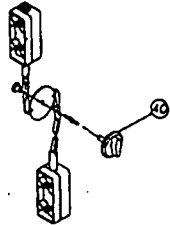
Revisions: D) added 2 pt. lock info		Tolerances Unless Noted: Fractions: $\pm 1/32$ Decimal .002 $\pm$ Decimal .000 $\pm$ Angular: $\pm 1'$		1070 Technology Dr. Nokomis, Fl. 34275			
Material: SWD-10;		Series/Model: SWD-10;		Description: French Door - Elevations		PGT NO.: VENDOR NO.: Scale: Sheet: Drawing No.:	
Rev'd By: D.B.	Date: 11/17/00	Chkd By: Date:	Date: 2/16/98	2 of 4		971	
Drawn By: D.B.		Date: 2/16/98		Rev:		D	



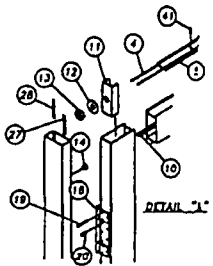
SEE DET. 'A'



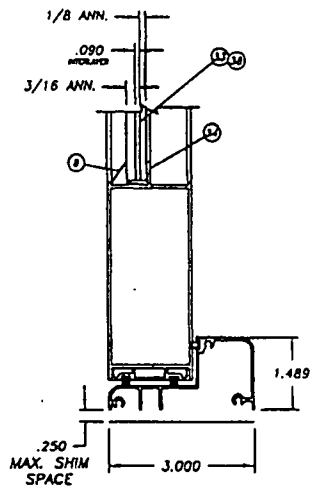
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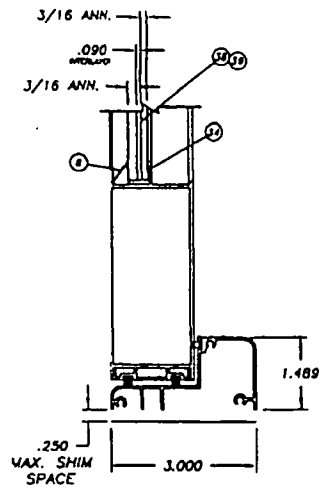
2 POINT LOCK ASSY.



DETAIL 'A'



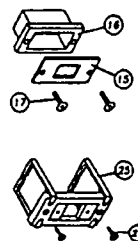
.401" LAM. W/MONSANTO SAFLEX PVB INTERLAYER  
OR .401" LAM. W/DUPONT BUTALITE INTERLAYER  
SEE NOTE 3 ON SHEET 1  
DESIGN PRESSURE RATING: ±60 psf



.484" LAM. W/MONSANTO SAFLEX PVB INTERLAYER  
OR .484" LAM. W/DUPONT BUTALITE INTERLAYER  
SEE NOTE 3 ON SHEET 1  
DESIGN PRESSURE RATING: ±75 psf

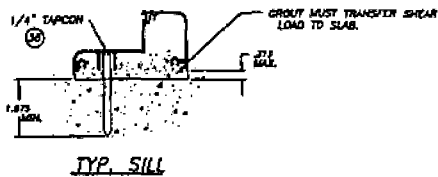
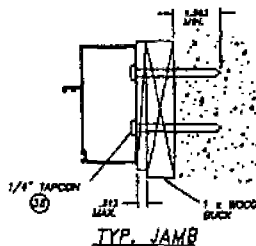
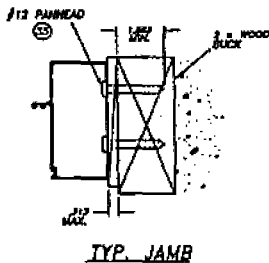
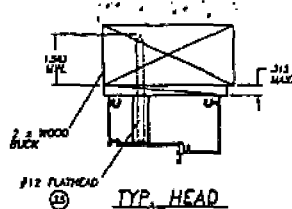
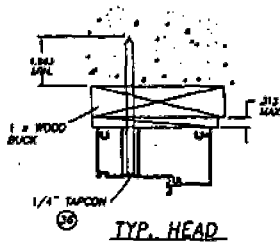
PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No 02-0201-12  
Expiration Date 11/22/06  
By *Glenn E. Brown*  
Miami/Dade Product Control  
Division

PRODUCT RENEWED  
ACCEPTANCE No. 01-0417-04  
EXPIRATION DATE: NOVEMBER 22, 2006  
By *Ishag I. Lhanda*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE



*Robert L. Clark*  
4/13/01  
Robert L. Clark  
PE #39712  
Structural

Revisions: D) added 2 pt. lock info		Interferences/Issues/Notes: Fraction: ± 1/64 Decimal: .002 ± Angular: ± 1°		1070 Technology Dr. Nokomis, Fl. 34275					
Material:		Series/Model: SWD-101		Description: French Door - Exploded/Glazing					
Revisd By: D.B.	Date: 11/17/00	Chkd By:	Date:	PGT NO:	VENDOR NO:	Scale:	Sheet: 3 of 4	Drawing No. 971	Rev: D



Robert L. Clark, P.E.  
P.E. #39712  
Structural

ITEM	DESCRIPTION	V.T. #	QTY./DESCRIPTION	VENDOR	VENDOR #
1	DOOR HEAD/SILL	60375		ALUMAX	AF-10375
2	DOOR JAMB (HINGED)	60376		ALUMAX	AF-10376
3	DOOR ASTRAGAL	60377		ALUMAX	AF-10377
4	250 x .187 FINSEAL STRIP	67924G	8 (2/each door top & bot. rail)	SCHLEGEL CORP.	FS7924-187
5	DOOR W-STRIP CHANNEL	60379		ALUMAX	AF-10379
6	FRAME JAMB	60380		ALUMAX	AF-10380
7	FRAME HEAD	60411		ALUMAX	AF-12376
8	GLAZING BEAD (ROLL FORM)	65170		FLORIDA SCREEN	
9	OUTSWING THRESHOLD	61059M		ALUMAX	AF-12375
10	5/16x18 THREADED ROD	61RODA	4 (1/door top & bot. rail)	FASTEC INDUSTRIAL	
11	TRUSS CLAMP	60378M	8 (2/ea. door top & bot. rail)	ALUMAX	AF-10378
12	5/16x1/16 TRUSS WASHER	7WASHA	8 (2/ea. door top & bot. rail)	FASTEC INDUSTRIAL	
13	5/16x18 TRUSS NUT	7NUTA	8 (2/ea. door top & bot. rail)	FASTEC INDUSTRIAL	
14	FRAME SCR. COVER CAP	41722W		PGT INDUSTRIES	41722W
15	STRIKE PLATE	7955X		CAMCORP	
16	STRIKE PLATE INSERT	41721		PGT INDUSTRIES	41721
17	10x3/4 SCR. FLT. HD. PHIL	71034A		MERCHANTS FASTENER	
18	HINGE ASSY.	7FRMOW	6 (3/frame jambs)	NATIONWIDE IND.	
19	10x.625 FLT. HD. PHIL	71058FP	26 (6/hinge - hinge-door jamb)	MERCHANTS FASTENER	
20	10x1/2 FLT. HD. PHIL	710X12PPW	30 (5/hinge & hinge-frame jamb)	MERCHANTS FASTENER	
21	TOP/BOTT. SLIDE BOLT LOCK	41720	2 (1 @ top/bot. of l.h. astragal)	PGT INDUSTRIES	41720
22	6x1/2 FLT. HD. PHIL	7612FW	4 (2/slide bolt locks)	MERCHANTS FASTENER	
23	8x1 1/2 SCR. PN HO. QUAD.	78112A	12 (6/head & sill)	FASTEC INDUSTRIAL	
24	SEAM SEALER	6SM55W		SCHNEE MOREHEAD	SM5504
25	LOCK SUPPORT ASSY.	4UBLOK	3 (1/lock)	PGT INDUSTRIES	4UBLOK
26	6x3/4 FLT. HD. PHIL	7634F	6 (2/lock support assy.)	FASTEC INDUSTRIAL	
27	200 x .190 QLON	60200K	5 (1/astragals, fr. jambs & head)	SCHLEGEL CORP.	Q200X190
28	375 x .190 QLON	60300W	4 (1/astragals & frame jambs)	SCHLEGEL CORP.	Q375X190
29	3 POINT LOCK ASSY.	FD3PTAY	1 ( @ r.h. astragal)	PGT INDUSTRIES	FD3PTAY
30	LOCK (ACTIVE)	7LOKAP	1 ( @ r.h. astragal)	HARLOC	100
31	LOCK (DUMMY)	7LOKIP	1 ( @ r.h. astragal)	HARLOC	880
32	DEAD-BOLT LOCK	7BLTIP	1 ( @ r.h. astragal)	HARLOC	820
33	.401 LAM. W/MONSANTO			H.P.G.	
34	SILICONE	62899C		DOW CORNING	899
35	#12 Ph. Ph. SMS				
36	1/4" TAPCON				
37	.401 LAM. W/DUPONT			H.P.G.	
38	.454 LAM. W/DUPONT			H.P.G.	
39	.454 LAM. W/MONSANTO			H.P.G.	
40	2 POINT LOCK ASSY.		1 ( @ r.h. astragal)	PGT INDUSTRIES	
41	28 x .75 Ph. Fl. Tek	7834FPT		SPENCER PRODUCTS	

PRODUCT REVISED  
in compliance with the Florida  
Building Code  
Acceptance No. 02-0701.12  
Expiration Date 12/22/06  
By: *Robert L. Clark*  
Miami Dade Product Control  
Division

PRODUCT RENEWED  
ACCEPTANCE No. 01-0417.04  
EXPIRATION DATE November 22, 2006  
By: *Shay L. Claude*  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE

Revisions: 0) added 2 pt. lock info	Information Update History Franchise # 1/84 District 004 District 000 & Angular: 1'	1070 Technology Dr. Nokomis, FL 34275	<b>PGT</b> INDUSTRIES
Material: SWD-101	Series/Model: SWD-101	Description: French Door - Anchorage/B.O.M.	
Revised By: Date: O.B. 11/17/00	Checked By: Date: O.B. 2/16/98	PGT NO: _____ VENDOR NO: _____ Scale: _____ Sheet: 4 of 4	Drawing No. 971
Rev: 0			



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**PGT Industries  
P.O. Box 1529  
Nokomis, FL 34274**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Series ~~"SH-702 Aluminum Single Hung Window"~~

**APPROVAL DOCUMENT:** Drawing No.4040, titled "Aluminum Single Hung Window", sheets 1 through 5 of 5, prepared by manufacturer, dated 2/9/98 with revision on 6/3/03, signed and sealed by Robert L. Clark, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** Large and Small Missile Impact

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 02-0702.04 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Theodore Berman, P.E.

*TJB*  
11/16/2003

NOA No 03-0514.01  
Expiration Date: November 01, 2006  
Approval Date: November 06, 2003  
Page 1

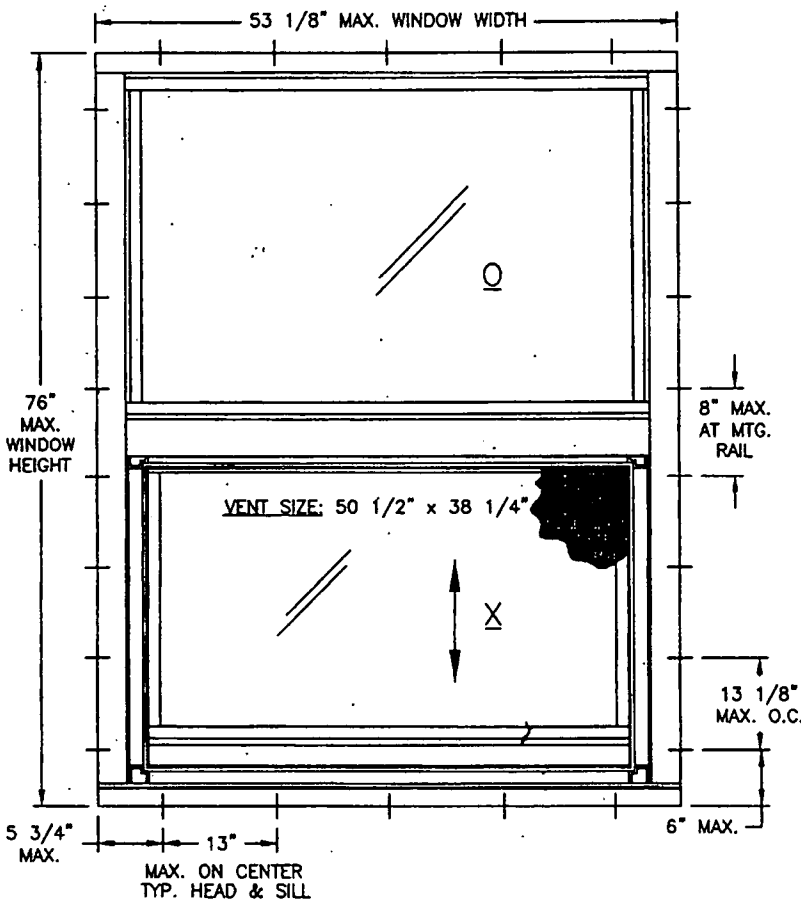
**LARGE MISSILE IMPACT WINDOWS NOTES:**

- 1.) GLAZING OPTIONS:
  - A. 5/16" (.350) LAMINATED GLASS CONSISTING OF AN .090 PVB INNER LAYER BETWEEN (2) LITES OF 1/8" ANNEALED GLASS.
  - B. 5/16" (.350) LAMINATED GLASS CONSISTING OF AN .090 PVB INNER LAYER BETWEEN (2) LITES OF 1/8" HEAT STRENGTHENED GLASS.
  - C. 13/16" (.840) LAMI I.G. GLASS CONSISTING OF 1/8" HEAT STRENGTHENED GLASS, 3/8" AIR SPACE AND 5/16 LAMINATED GLASS (.090 PVB INNER LAYER BETWEEN (1) LITE OF 1/8" ANNEALED GLASS AND (1) LITE OF HEAT STRENGTHENED GLASS).
  - D. 13/16" (.840) LAMI I.G. GLASS CONSISTING OF 1/8" HEAT STRENGTHENED GLASS, 3/8" AIR SPACE AND 5/16 LAMINATED GLASS (.090 PVB INNER LAYER BETWEEN (2) LITES OF 1/8" HEAT STRENGTHENED GLASS.
- 2.) CONFIGURATIONS: OX
- 3.) DESIGN PRESSURE RATING: SEE TABLE
  - A. NEGATIVE DESIGN LOADS BASED ON TESTED PRESSURE AND GLASS TABLES ASTM E 1300-98 (AND ASTM E 1300-94 OUTSIDE MIAMI-DADE COUNTY)
  - B. POSITIVE DESIGN LOADS BASED ON WATER TEST PRESSURE (FTL-1889) AND GLASS TABLES ASTM E 1300-98 (AND ASTM E 1300-94 OUTSIDE MIAMI-DADE COUNTY)

**COMPARATIVE ANALYSIS TABLE:**

WINDOW WIDTH	WINDOW HEIGHT	GLASS TYPE							
		WINDOW HEIGHT							
		38.375		50.625		63.000		76.000	
28.500	A	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0
	B,D	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0
	C	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0
37.000	A	66.7	-80.0	66.7	-80.0	66.7	-89.6	57.2	-57.2
	B,D	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0
	C	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-78.1
53.125	A	66.7	-80.0	63.4	-83.4	47.9	-47.9	48.3	-48.3
	B,D	66.7	-80.0	66.7	-80.0	66.7	-80.0	66.7	-80.0
	C	66.7	-80.0	63.4	-83.4	58.7	-58.7	54.5	-54.5

PRODUCT REVIEWED  
 in compliance with the Florida  
 Building Code  
 Approved On 03-09-04  
 Expires On 11-01-06  
*Robert L. Clark*  
 Miami South Product Control  
 Division



**ELEVATION**

**NOTES CONTINUED**

- 4.) ANCHORS: MAX. 5 3/4" FROM EACH CORNER (HEAD & SILL)  
 MAX. SPACING AT HEAD & SILL: 13.000  
 MAX. 6" FROM EACH CORNER (JAMBS)  
 MAX. SPACING AT MEETING RAIL: 8.000  
 MAX. SPACING AT JAMBS OTHERWISE: 13.125
- 5.) SHUTTER REQUIREMENT: NO SHUTTERS REQUIRED
- 6.) REFERENCE TEST REPORTS: FTL-1889 & FTL-3739

*Robert L. Clark*  
 6/14/03  
 Robert L. Clark, P.E.  
 PE #39712  
 Structural



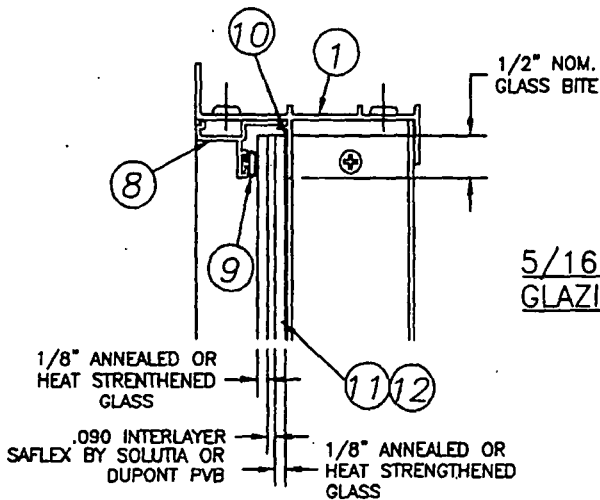
1070 TECHNOLOGY DRIVE  
 NOKOMIS, FL 34273  
 P.O. BOX 1529  
 NOKOMIS, FL 34274

Revised By: F.K.	Date: 6/3/03	Revisions: D-ADD GLASS TYPE & TABLE
Revised By: F.K.	Date: 03/26/03	Revisions: C-ADD 13/16 I.G.
Revised By: F.K.	Date: 10/11/01	Revisions: TB, TABLE, EXTR.
Revised By: D.B.	Date: 8/18/98	Revisions:
Drawn By: D.B.	Date: 2/9/98	Revisions:

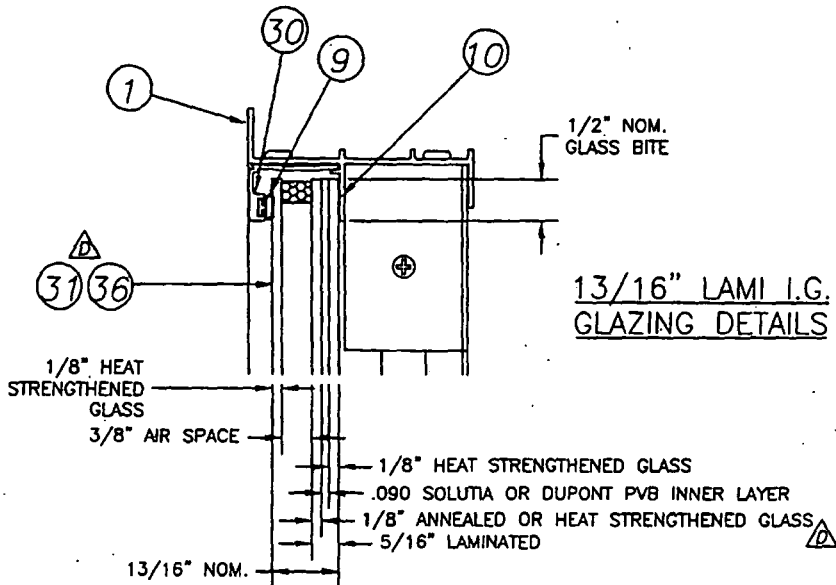
**ELEVATION & NOTES**

Title: **ALUMINUM SINGLE HUNG WINDOW**

Series/Model: SH-701	Scale: NTS	Sheet: 1 of 5	Drawing No. 4040	Rev: D
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5/16" LAMINATED  
GLAZING DETAILS



13/16" LAMI I.G.  
GLAZING DETAILS

REFERENCE TEST REPORTS: FTL-1889 & FTL-3739

ITEM	DESCRIPTION	V.T. #	QTY. / LOCATION	VENDOR	VENDOR #
1	FLANGED FRAME HEAD (Alum. 6063-T5)	812225	1	ALUMAX	AF-12225
2	FLANGED FRAME SILL (Alum. 6063-T5)	812226	1	ALUMAX	AF-12226
3	FLANGED FRAME JAMB (Alum. 6063-T5)	812227	2	ALUMAX	AF-12227
4	FIXED MEETING RAIL (Alum. 6063HS-T54)	4054A	1	INDALEX	84054A
5	SASH TOP RAIL (Alum. 6063HS-T54)	4006C	1	INDALEX	84006C
6	SASH BOTTOM RAIL (Alum. 6063-T5)	812230	1	ALUMAX	AF-12230
7	SASH SIDE RAIL (Alum. 6063-T5)	812231	2	ALUMAX	AF-12231
8	GLAZING BEAD (Alum. 6063-T5)	8534571	8	ALUMAX	AF-8534571
9	WEATHERSTRIP - VINYL BULB	81P247K	8 (1 per Glazing Bead)	TEAM PLASTICS	TP-247
10	SILICON	82888C	1	DOW CORNING	699
11	5/16" (.350) W/SAFLEX BY SOLUTIA INTERLAYER		2	H.P.G.	
12	5/16" (.350) W/DUPONT PVB INTERLAYER		2	H.P.G.	
13	#8 x .750 PHIL. PH. HD.	7658PFAA	2 (to attach Balances to Jamba)	AQUA FASTENERS	
14	SWEEP LATCH		1 (11.5" from end of vent top rail)	MINIATURE DIE CASTING	PCT.214.JX
15	#8 x .825 PHIL. FLY. HD.	7856WW	2 (Sweep Latch Screws)	MERCHANTS FASTENER	
16	WINDLOAD ADAPTER (Alum. 6063-T5)	812236	4 (when using 2 Sweep Latches)		
17	#8 x .375 PHIL. P.H. TEK	78X38PT	2 (2 frame jambs, 30" from bot.)	ALUMAX	AF-12236
18	WEATHERSTRIP - VINYL BULB/SASH	81P246K	4 (Windload Adapter Screws)	MERCHANTS FASTENER	
19	SASH TOP GUIDE		1 (at Vent Bottom Rail)	TEAM PLASTICS	TP-248
20	SCREEN		2 (1 per each balance)	MASTER TOOL	
21	BALANCE COVER		2 (1 per each balance)	VINYL TECH/PCT	
22	BALANCE		2 (1 per each balance)	WYBORC	57AVE
23	WSP. 270 x 170 BACK FIN SEAL	1235	2 (1 per each frame jamb)	CALDWELL	
24	SASH FACE GUIDE	71087	3 (at vent jamb & vent top rail)	SCHLEGEL OR EQUIV.	87S160
25	#8 x .500 PHIL. FLY. HD.	78X12PFAW	2 (1 vent jamb, 2.8" from bot.)	VINYL TECH/PCT	
26	SASH STOP (Alum. 6063-T5)	812244	2 (each face guide screws)	SCHERER IND. PROD.	
27	#8 x 1.000 PHIL. P.H. SMS	78X11PPA	2 (at top of each frame jamb)	ALUMAX	AF-12244
28	SEAM SEALER	85N35W	4 (frame & Vent Assy. screws)	MERCHANTS FASTENER	
29	WINDLOAD ADAPTER (PLASTIC)	81207	2 (frame & Vent Assy. screws)	SCHNEE/MOREHEAD	
30	GLAZING BEAD (13/16" I.G. 6063-T5)	4067	2 (frame jambs, 30" from bot.)	PROTOTYPE	WC598-1207
31	13/16" LAMI I.G. GLASS (1/8" HS & 5/16" LAMI W/ 3/8" AIR SPACE)		1	INDALEX	84067
32	WSP. 187 x 230 BACK FIN SEAL	1080	2 (at top of each frame jamb)	INDALEX	
33	GRESS LATCH (OPTIONAL)	84008	2 (at vent jamb)	SCHLEGEL OR EQUIV.	81080G
34	SPRING SILL LATCH (OPTIONAL)	84008	2 (at vent jamb)	SCHLEGEL OR EQUIV.	84008
35	BALANCE ULTRA-LIFT SASHES > 40#	4028-1	2	INDALEX	75SPRC
36	13/16" LAMI I.G. GLASS (1/8" HS & 5/16" LAMI W/ 3/8" AIR SPACE)		1	CALDWELL	
37	5/16" LAMI - (1) LITE OF 1/8" A GLASS & (1) LITE OF HS GLASS W/ .090 SOLUTIA OR DUPONT PVB INNER LAYER		1	PGT	

PRODUCT REVISED  
as complying with the Florida  
Building Code  
Amendment No. 03-0514.01  
Effective Date 11/15/06  
*Robert Clark*  
Structural

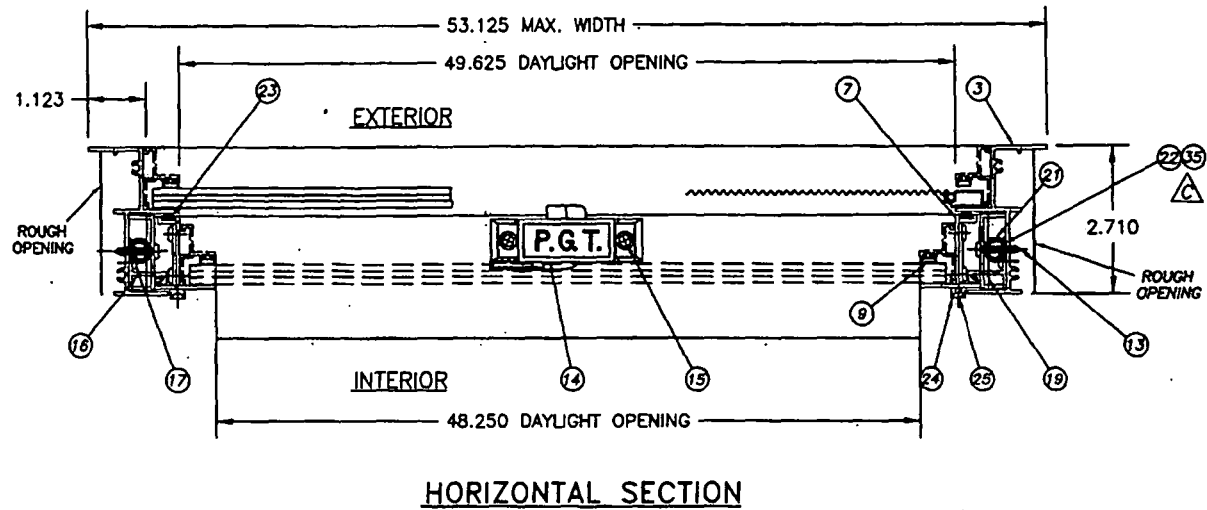
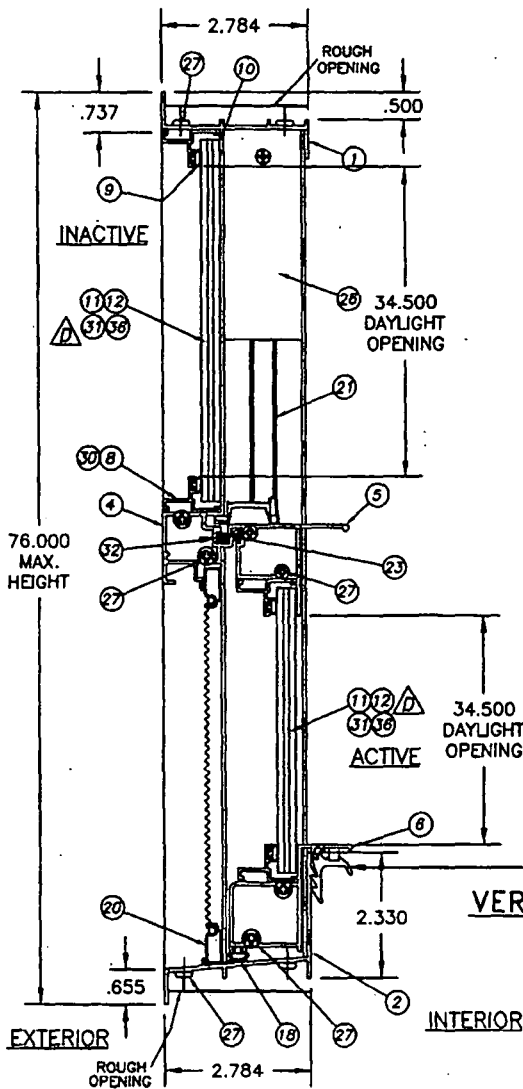
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Revised By: F.K.	Date: 03/26/03	Revisions: C-ADD 130-135
Revised By: F.K.	Date: 10/11/01	Revisions: TB, TABLE, EXTR.
Revised By: D.B.	Date: 8/18/98	Revisions:
Drawn By: D.B.	Date: 2/9/98	

*Robert Clark*  
6/19/03  
Robert L. Clark, P.E.  
PE #39712  
Structural



1070 TECHNOLOGY DRIVE  
NOKOMIS, FL 34273  
P.O. BOX 1529  
NOKOMIS, FL 34274

Description: <b>PARTS LIST &amp; GLAZING OPTIONS</b>			
Title: <b>ALUMINUM SINGLE HUNG WINDOW</b>			
Series/Model: SH-701	Scale: NTS	Sheet: 2 of 5	Drawing No. 4040
Rev:	D		



PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Amendment No. 03-0314.01  
 Effective Date: 6/18/98  
 By: *[Signature]*  
 District Sales Product Control  
 Division

**VERTICAL SECTION**

**HORIZONTAL SECTION**

Revised By: F.K.	Date: 6/3/03	Revisions: D-ADD GLASS TYPE ITEM 38
Revised By: F.K.	Date: 03/28/03	Revisions: C-ADD L30-L35
Revised By: F.K.	Date: 10/11/01	Revisions: TB, TABLE, EXTR.
Revised By: D.B.	Date: 8/18/98	Revisions:
Drawn By: D.B.	Date: 2/9/98	

33/34 OPTIONAL

**DESCRIPTION:**  
SECTIONS



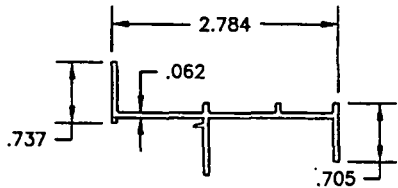
1070 TECHNOLOGY DRIVE  
 NOKOMIS, FL 34273  
 P.O. BOX 1529  
 NOKOMIS, FL 34274

*Robert L. Clark*  
 Robert L. Clark, P.E.  
 PE 839712  
 Structural

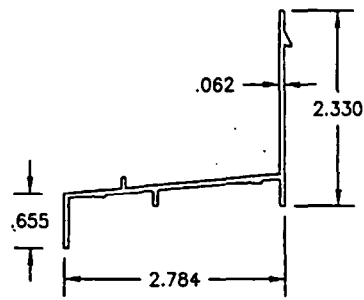
**TITLE:**  
ALUMINUM SINGLE HUNG WINDOW

Series/Model: SH-701	Scale: NTS	Sheet: 3 of 5	Drawing No. 4040	Rev: D
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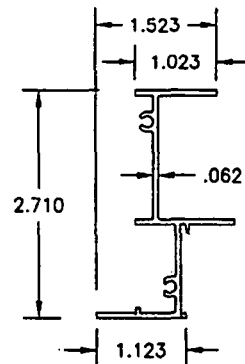
REFERENCE TEST REPORTS: FTL-1889 & FTL-3739



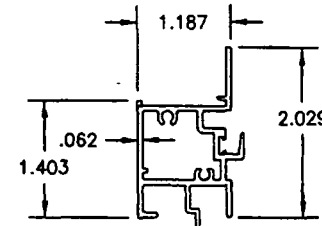
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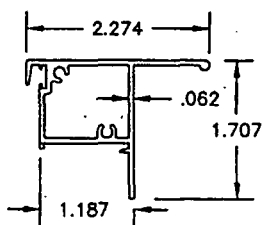
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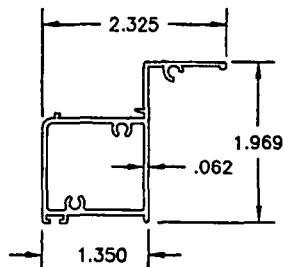
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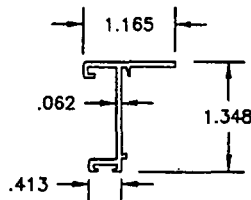
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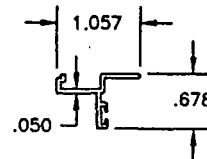
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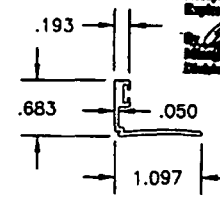
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⑦ ALUM. 6063-T5

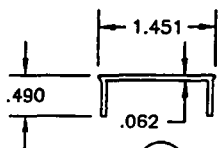


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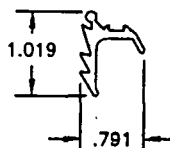


⑩ ALUM. 6063-T5

PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Amendment No. 08-0519, 01  
 Effective Date 01/01/09  
*Robert L. Clark*  
 PE #39712  
 Structural



⑫ ALUM. 6063-T5



⑬ ALUM. 6063-T5

REFERENCE TEST REPORTS: FTL-1889 & FTL-3739

*Robert L. Clark*  
 6/14/03

Robert L. Clark, P.E.  
 PE #39712  
 Structural

**P&G  
 INDUSTRIES**

1070 TECHNOLOGY DRIVE  
 NOKOMIS, FL 34275

P.O. BOX 1529  
 NOKOMIS, FL 34274

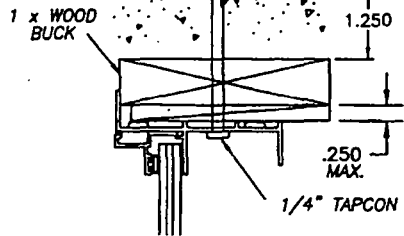
Revised By: F.K.	Date: 8/3/03	Revisions: D-NO CHG THIS SHT
Revised By: F.K.	Date: 03/26/03	Revisions: C-ADD 130,33 CHG 14,5
Revised By: F.K.	Date: 10/11/01	Revisions: TB, TABLE, EXTR.
Revised By: D.B.	Date: 8/18/98	Revisions:
Drawn By: D.B.	Date: 2/9/98	

Description:  
**EXTRUSIONS**

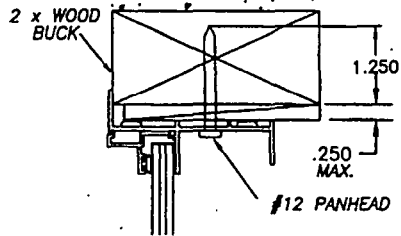
Title:  
**ALUMINUM SINGLE HUNG WINDOW**

Series/Model: SH-701	Scale: NTS	Sheet: 4 of 5	Drawing No. 4040	Rev. D
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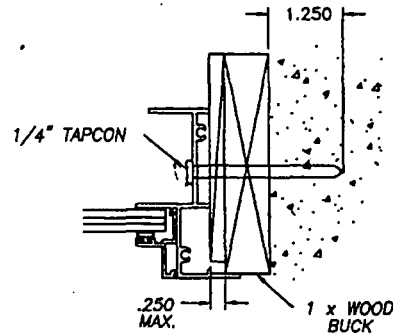




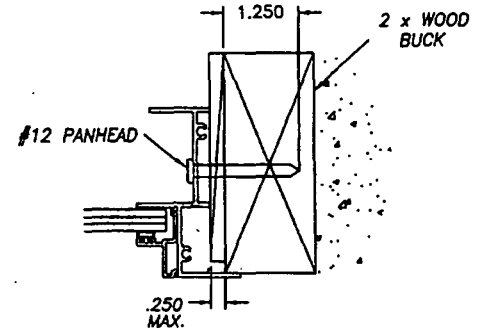
TYP. HEAD



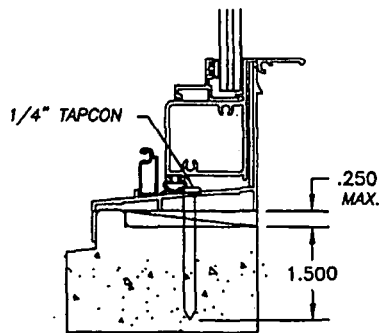
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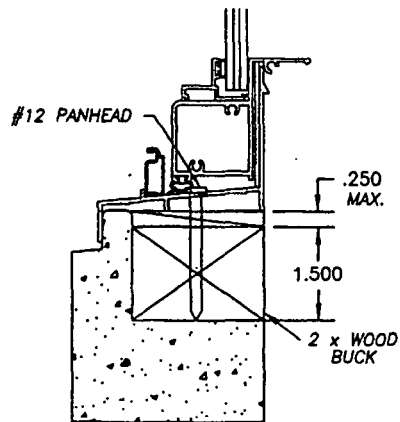
TYP. JAMB



TYP. JAMB



TYP. SILL



TYP. SILL

PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Amendment No. 03-0514 of  
 Chapter 630, 11/18/03  
 by *Robert L. Clark*  
 Structural Engineer  
 Division

Revised By: F.K.	Date: 6/3/03	Revisions: D-NO CHG THIS SHT
Revised By: F.K.	Date: 03/26/03	Revisions: C-NO CHG THIS SHT.
Revised By: F.K.	Date: 10/11/01	Revisions: TB, TABLE, EXTR.
Revised By: D.B.	Date: 8/18/98	Revisions:
Drawn By: D.B.	Date: 2/9/98	

Description:  
ANCHORAGE

Title:  
ALUMINUM SINGLE HUNG WINDOW

1070 TECHNOLOGY DRIVE  
 NOKOMIS, FL 34275

P.O. BOX 1528  
 NOKOMIS, FL 34274

Robert L. Clark, P.E.  
 PE #39712  
 Structural

Series/Model: SH-701	Scale: NTS	Sheet: 5 of 5	Drawing No. 4040	Rev: D
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REFERENCE TEST REPORTS: FTL-1889 & FTL-3739

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

## Florida Department of Community Affairs Residential Whole Building Performance Method A

<b>Project Name:</b> SCHMADER RESIDENCE <b>Address:</b> <b>City, State:</b> <b>Owner:</b> MCCARTY <b>Climate Zone:</b> South	<b>Builder:</b> <b>Permitting Office:</b> STUART <b>Permit Number:</b> <b>Jurisdiction Number:</b> 531400
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Glass/Floor Area: 0.28	Total as-built points: 39432	PASS
	Total base points: 40052	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

**PREPARED BY:** Wanda John

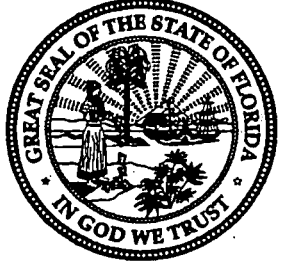
**DATE:** 3/12/2004

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

**OWNER/AGENT:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



**BUILDING OFFICIAL:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

<b>Project Name:</b> SCHMADER RESIDENCE <b>Address:</b> <b>City, State:</b> , <b>Owner:</b> MCCARTY <b>Climate Zone:</b> South	<b>Builder:</b> <b>Permitting Office:</b> STUART <b>Permit Number:</b> <b>Jurisdiction Number:</b> 531400
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Conditioned floor area (ft <sup>2</sup> )	2675 ft <sup>2</sup>	___	7. Glass area & type	Single Pane Double Pane	___	a. Clear glass, default U-factor	137.5 ft <sup>2</sup> 0.0 ft <sup>2</sup>	___	b. Default tint	616.4 ft <sup>2</sup> 0.0 ft <sup>2</sup>	___	c. Labeled U or SHGC	0.0 ft <sup>2</sup> 0.0 ft <sup>2</sup>	___	8. Floor types		___	a. Slab-On-Grade Edge Insulation	R=0.0, 289.0(p) ft	___	b. N/A		___	c. N/A		___	9. Wall types		___	a. Concrete Bead, Polystyrene Bead Aggregate, Adj. Ext. Insul.	R=19.0, 496.0 ft <sup>2</sup>	___	b. Concrete Bead, Polystyrene Bead Aggregate, Ext. Insul.	R=19.0, 1979.0 ft <sup>2</sup>	___	c. N/A		___	d. N/A		___	e. N/A		___	10. Ceiling types		___	a. Under Attic	R=19.0, 2675.0 ft <sup>2</sup>	___	b. Under Attic	R=19.0, 236.0 ft <sup>2</sup>	___	c. N/A		___	11. Ducts		___	a. Sup: Unc. Ret: Unc. AH: Garage	Sup. R=6.0, 200.0 ft	___	b. Sup: Unc. Ret: Unc. AH: Garage	Sup. R=6.0, 250.0 ft	___	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">12. Cooling systems</td> <td style="width: 50%;"></td> </tr> <tr> <td>    a. Central Unit</td> <td style="text-align: right;">Cap: 24.0 kBtu/hr ___ SEER: 12.00 ___</td> </tr> <tr> <td>    b. Central Unit</td> <td style="text-align: right;">Cap: 50.0 kBtu/hr ___ SEER: 12.00 ___</td> </tr> <tr> <td>    c. N/A</td> <td style="text-align: right;">___</td> </tr> <tr> <td>13. Heating systems</td> <td></td> </tr> <tr> <td>    a. Electric Strip</td> <td style="text-align: right;">Cap: 16.0 kBtu/hr ___ COP: 1.00 ___</td> </tr> <tr> <td>    b. Electric Strip</td> <td style="text-align: right;">Cap: 34.0 kBtu/hr ___ COP: 1.00 ___</td> </tr> <tr> <td>    c. N/A</td> <td style="text-align: right;">___</td> </tr> <tr> <td>14. Hot water systems</td> <td></td> </tr> <tr> <td>    a. Electric Resistance</td> <td style="text-align: right;">Cap: 50.0 gallons ___ EF: 0.92 ___</td> </tr> <tr> <td>    b. N/A</td> <td style="text-align: right;">___</td> </tr> <tr> <td>    c. Conservation credits         (HR-Heat recovery, Solar         DHP-Dedicated heat pump)</td> <td style="text-align: right;">___</td> </tr> <tr> <td>15. HVAC credits</td> <td style="text-align: right;">MZ-C, PT, CF, MZ- ___</td> </tr> <tr> <td colspan="2" style="font-size: small;">                     (CF-Ceiling fan, CV-Cross ventilation,                      HF-Whole house fan,                      PT-Programmable Thermostat,                      MZ-C-Multizone cooling,                      MZ-H-Multizone heating)                 </td> </tr> </table>	12. Cooling systems		a. Central Unit	Cap: 24.0 kBtu/hr ___ SEER: 12.00 ___	b. Central Unit	Cap: 50.0 kBtu/hr ___ SEER: 12.00 ___	c. N/A	___	13. Heating systems		a. Electric Strip	Cap: 16.0 kBtu/hr ___ COP: 1.00 ___	b. Electric Strip	Cap: 34.0 kBtu/hr ___ COP: 1.00 ___	c. N/A	___	14. Hot water systems		a. Electric Resistance	Cap: 50.0 gallons ___ EF: 0.92 ___	b. N/A	___	c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump)	___	15. HVAC credits	MZ-C, PT, CF, MZ- ___	(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)	
1. New construction or existing	New	___																																																																																																												
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Glass/Floor Area: 0.28	Total as-built points: 39432 Total base points: 40052	PASS
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I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

**PREPARED BY:** Honda Hahn

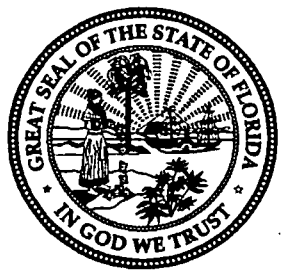
**DATE:** 3/12/2004

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

**OWNER/AGENT:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



**BUILDING OFFICIAL:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: , , ,	PERMIT #:
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BASE				AS-BUILT							
<b>GLASS TYPES</b>											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X SPM X SOF = Points			
.18	2675.0	32.50	15648.8	Single, Tint	N	1.3	8.0	72.0	29.33	0.98	2068.8
				Single, Tint	N	1.3	10.0	76.0	29.33	0.99	2208.7
				Single, Tint	N	1.3	5.0	41.1	29.33	0.94	1133.8
				Single, Tint	N	10.0	7.0	36.0	29.33	0.67	709.0
				Single, Tint	N	1.3	8.0	38.0	29.33	0.98	1091.9
				Single, Tint	W	1.3	7.0	19.0	58.39	0.97	1071.1
				Single, Tint	W	1.3	8.0	16.3	58.39	0.98	926.5
				Single, Tint	S	1.3	8.0	57.0	55.34	0.96	3042.4
				Single, Tint	E	46.0	17.0	48.0	65.40	0.36	1141.2
				Single, Tint	S	8.0	14.0	13.0	55.34	0.63	456.6
				Single, Tint	SE	12.0	14.0	39.0	66.34	0.54	1393.3
				Single, Tint	W	30.0	14.0	13.0	58.39	0.43	329.5
				Single, Tint	S	10.0	10.0	137.5	55.34	0.52	3968.7
				Single, Tint	W	1.3	5.0	10.5	58.39	0.92	562.9
				Single, Clear	S	15.0	17.0	137.5	66.93	0.54	4967.7
				<b>As-Built Total:</b>			<b>753.9</b>		<b>25071.9</b>		
<b>WALL TYPES</b>				Area X BSPM = Points		Type	R-Value	Area X SPM = Points			
Adjacent	496.0	1.00	496.0	Conc Block, Poly. Bead, Adjacent		5.0	496.0	2.00		992.0	
Exterior	1979.0	2.70	5343.3	Conc Block, Poly. Bead, Exterior		5.0	1979.0	2.00		3958.0	
<b>Base Total:</b>		<b>2475.0</b>	<b>5839.3</b>	<b>As-Built Total:</b>		<b>2475.0</b>		<b>4950.0</b>			
<b>DOOR TYPES</b>				Area X BSPM = Points		Type	Area X SPM = Points				
Adjacent	19.0	2.60	49.4	Adjacent Insulated		19.0	2.60		49.4		
Exterior	70.0	6.40	448.0	Exterior Insulated		48.0	6.40		307.2		
				Exterior Insulated		22.0	6.40		140.8		
<b>Base Total:</b>		<b>89.0</b>	<b>497.4</b>	<b>As-Built Total:</b>		<b>89.0</b>		<b>497.4</b>			
<b>CEILING TYPES</b>				Area X BSPM = Points		Type	R-Value	Area X SPM X SCM = Points			
Under Attic	2675.0	2.80	7490.0	Under Attic		19.0	2675.0	3.72 X 1.00		9951.0	
				Under Attic		19.0	236.0	3.72 X 1.00		877.9	
<b>Base Total:</b>		<b>2675.0</b>	<b>7490.0</b>	<b>As-Built Total:</b>		<b>2911.0</b>		<b>10828.9</b>			
<b>FLOOR TYPES</b>				Area X BSPM = Points		Type	R-Value	Area X SPM = Points			
Slab	289.0(p)	-20.0	-5780.0	Slab-On-Grade Edge Insulation		0.0	289.0(p)	-20.00		-5780.0	
Raised	0.0	0.00	0.0								
<b>Base Total:</b>		<b>-5780.0</b>	<b>-5780.0</b>	<b>As-Built Total:</b>		<b>289.0</b>		<b>-5780.0</b>			

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: , , ,	PERMIT #:
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BASE	AS-BUILT
INFILTRATION Area X BSPM = Points	Area X SPM = Points
2675.0 18.79 50263.3	2675.0 18.79 50263.3
<b>Summer Base Points: 73958.7</b>	<b>Summer As-Built Points: 85831.5</b>
Total Summer X System = Cooling Points Multiplier Points	Total X Cap X Duct X System X Credit = Cooling Component Ratio Multiplier Multiplier Multiplier Points <small>(DM x DSM x AHU)</small>
<b>73958.7</b>	85831.5 0.324 (1.073 x 1.165 x 1.00) 0.284 0.857 8478.0 85831.5 0.676 (1.073 x 1.165 x 1.00) 0.284 0.857 17662.6 <b>85831.5 1.00 1.250 0.284 0.857 26140.6</b>

# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: , , ,	PERMIT #:
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BASE				AS-BUILT							
<b>GLASS TYPES</b>											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X WPM X WOF = Points			
.18	2675.0	2.36	1136.3	Single, Tint	N	1.3	8.0	72.0	6.11	1.00	438.4
				Single, Tint	N	1.3	10.0	76.0	6.11	1.00	463.4
				Single, Tint	N	1.3	5.0	41.1	6.11	0.99	249.2
				Single, Tint	N	10.0	7.0	36.0	6.11	0.96	211.1
				Single, Tint	N	1.3	8.0	38.0	6.11	1.00	231.4
				Single, Tint	W	1.3	7.0	19.0	5.65	1.00	107.0
				Single, Tint	W	1.3	8.0	16.3	5.65	1.00	91.6
				Single, Tint	S	1.3	8.0	57.0	4.79	1.00	272.8
				Single, Tint	E	46.0	17.0	48.0	5.05	1.29	312.4
				Single, Tint	S	8.0	14.0	13.0	4.79	1.17	72.9
				Single, Tint	SE	12.0	14.0	39.0	4.57	1.22	217.5
				Single, Tint	W	30.0	14.0	13.0	5.65	1.03	75.7
				Single, Tint	S	10.0	10.0	137.5	4.79	1.33	876.3
				Single, Tint	W	1.3	5.0	10.5	5.65	1.00	59.2
				Single, Clear	S	15.0	17.0	137.5	4.49	1.30	803.5
				<b>As-Built Total:</b>			<b>753.9</b>		<b>4482.5</b>		
<b>WALL TYPES</b>											
Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Adjacent	496.0	0.50	248.0	Conc Block, Poly. Bead, Adjacent	5.0		496.0	0.60		297.6	
Exterior	1979.0	0.60	1187.4	Conc Block, Poly. Bead, Exterior	5.0		1979.0	0.60		1187.4	
<b>Base Total:</b>				<b>As-Built Total:</b>			<b>2475.0</b>		<b>1485.0</b>		
<b>DOOR TYPES</b>											
Area X BWPM = Points				Type	Area X WPM = Points						
Adjacent	19.0	1.30	24.7	Adjacent Insulated			19.0	1.30		24.7	
Exterior	70.0	1.80	126.0	Exterior Insulated			48.0	1.80		86.4	
				Exterior Insulated			22.0	1.80		39.6	
<b>Base Total:</b>				<b>As-Built Total:</b>			<b>89.0</b>		<b>150.7</b>		
<b>CEILING TYPES</b>											
Area X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points				
Under Attic	2675.0	0.10	267.5	Under Attic	19.0		2675.0	0.14 X 1.00		374.5	
				Under Attic	19.0		236.0	0.14 X 1.00		33.0	
<b>Base Total:</b>				<b>As-Built Total:</b>			<b>2911.0</b>		<b>407.5</b>		
<b>FLOOR TYPES</b>											
Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Slab	289.0(p)	-2.1	-606.9	Slab-On-Grade Edge Insulation	0.0		289.0(p)	-2.10		-606.9	
Raised	0.0	0.00	0.0								
<b>Base Total:</b>				<b>As-Built Total:</b>			<b>289.0</b>		<b>-606.9</b>		

# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: , , ,	PERMIT #:
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BASE				AS-BUILT				
INFILTRATION Area X BWPM = Points				Area X WPM = Points				
2675.0	-0.06	-160.5		2675.0	-0.06	-160.5		
<b>Winter Base Points: 2222.5</b>			<b>Winter As-Built Points: 5758.3</b>					
Total Winter Points	X System Multiplier	= Heating Points	Total Component	X Cap Ratio	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	= Heating Points
			5758.3	0.320	(1.099 x 1.137 x 1.00)	1.000	0.902	2078.0
			5758.3	0.680	(1.099 x 1.137 x 1.00)	1.000	0.902	4415.8
<b>2222.5</b>	<b>0.6274</b>	<b>1394.4</b>	<b>5758.3</b>	<b>1.00</b>	<b>1.250</b>	<b>1.000</b>	<b>0.902</b>	<b>6493.8</b>

# WATER HEATING & CODE COMPLIANCE STATUS

## Residential Whole Building Performance Method A - Details

ADDRESS: , , ,	PERMIT #:
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BASE	AS-BUILT
<b>WATER HEATING</b>	
Number of Bedrooms X Multiplier = Total	Tank Volume EF Number of Bedrooms X Tank X Multiplier X Credit = Total Multiplier
3                      2369.00              7107.0	50.0    0.92       3              1.00       2266.00       1.00       6798.0
	<b>As-Built Total:                      6798.0</b>

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	
<b>31551</b>		<b>1394</b>		<b>7107</b>		<b>40052</b>	
<b>26141</b>		<b>6494</b>		<b>6798</b>		<b>39432</b>	

PASS





# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE SCORE\* = 83.9**

**The higher the score, the more efficient the home.**

MCCARTY, , , ,

<p>1. New construction or existing <span style="float: right;">New <input type="checkbox"/></span></p> <p>2. Single family or multi-family <span style="float: right;">Single family <input type="checkbox"/></span></p> <p>3. Number of units, if multi-family <span style="float: right;">1 <input type="checkbox"/></span></p> <p>4. Number of Bedrooms <span style="float: right;">3 <input type="checkbox"/></span></p> <p>5. Is this a worst case? <span style="float: right;">No <input type="checkbox"/></span></p> <p>6. Conditioned floor area (ft<sup>2</sup>) <span style="float: right;">2675 ft<sup>2</sup> <input type="checkbox"/></span></p> <p>7. Glass area &amp; type</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 20%;"></td> <td style="width: 20%; text-align: center;">Single Pane</td> <td style="width: 20%; text-align: center;">Double Pane</td> <td style="width: 40%;"></td> </tr> <tr> <td>a. Clear - single pane</td> <td style="text-align: center;">137.5 ft<sup>2</sup></td> <td style="text-align: center;">0.0 ft<sup>2</sup></td> <td style="text-align: right;"><input type="checkbox"/></td> </tr> <tr> <td>b. Clear - double pane</td> <td style="text-align: center;">616.4 ft<sup>2</sup></td> <td style="text-align: center;">0.0 ft<sup>2</sup></td> <td style="text-align: right;"><input type="checkbox"/></td> </tr> <tr> <td>c. Tint/other SHGC - single pane</td> <td style="text-align: center;">0.0 ft<sup>2</sup></td> <td style="text-align: center;">0.0 ft<sup>2</sup></td> <td style="text-align: right;"><input type="checkbox"/></td> </tr> <tr> <td>d. Tint/other SHGC - double pane</td> <td></td> <td></td> <td style="text-align: right;"><input type="checkbox"/></td> </tr> </table> <p>8. Floor types</p> <p>a. Slab-On-Grade Edge Insulation <span style="float: right;">R=0.0, 289.0(p) ft <input type="checkbox"/></span></p> <p>b. N/A <span style="float: right;"><input type="checkbox"/></span></p> <p>c. N/A <span style="float: right;"><input type="checkbox"/></span></p> <p>9. Wall types</p> <p>a. Concrete Bead, Polystyrene Bead Concrete <span style="float: right;">R=5.0, 496.0 ft<sup>2</sup> <input type="checkbox"/></span></p> <p>b. Bead, Polystyrene Bead Aggregate, <span style="float: right;">R=5.0, 1979.0 ft<sup>2</sup> <input type="checkbox"/></span></p> <p>c. Exterior <span style="float: right;"><input type="checkbox"/></span></p> <p>d. N/A <span style="float: right;"><input type="checkbox"/></span></p> <p>e. N/A <span style="float: right;"><input type="checkbox"/></span></p> <p>10. N/A <span style="float: right;"><input type="checkbox"/></span></p> <p>a. N/A <span style="float: right;">R=19.0, 2675.0 ft<sup>2</sup> <input type="checkbox"/></span></p> <p>b. Ceiling types <span style="float: right;">R=19.0, 236.0 ft<sup>2</sup> <input type="checkbox"/></span></p> <p>c. Under Attic <span style="float: right;"><input type="checkbox"/></span></p> <p>11. Ducts</p> <p>a. Sup: Unc. Ret: Unc. AH: Garage <span style="float: right;">Sup. R=6.0, 200.0 ft <input type="checkbox"/></span></p> <p>b. Sup: Unc. Ret: Unc. AH: Garage <span style="float: right;">Sup. R=6.0, 250.0 ft <input type="checkbox"/></span></p> <p>N/A <span style="float: right;"><input type="checkbox"/></span></p> <p>N/A <span style="float: right;"><input type="checkbox"/></span></p>		Single Pane	Double Pane		a. Clear - single pane	137.5 ft <sup>2</sup>	0.0 ft <sup>2</sup>	<input type="checkbox"/>	b. Clear - double pane	616.4 ft <sup>2</sup>	0.0 ft <sup>2</sup>	<input type="checkbox"/>	c. Tint/other SHGC - single pane	0.0 ft <sup>2</sup>	0.0 ft <sup>2</sup>	<input type="checkbox"/>	d. Tint/other SHGC - double pane			<input type="checkbox"/>	<p>12. Cooling systems</p> <p>a. Central Unit <span style="float: right;">Cap: 24.0 kBtu/hr <input type="checkbox"/></span> <span style="float: right;">SEER: 12.00 <input type="checkbox"/></span></p> <p>b. Central Unit <span style="float: right;">Cap: 50.0 kBtu/hr <input type="checkbox"/></span> <span style="float: right;">SEER: 12.00 <input type="checkbox"/></span></p> <p>c. N/A <span style="float: right;"><input type="checkbox"/></span></p> <p>13. Heating systems</p> <p>a. Electric Strip <span style="float: right;">Cap: 16.0 kBtu/hr <input type="checkbox"/></span> <span style="float: right;">COP: 1.00 <input type="checkbox"/></span></p> <p>b. Electric Strip <span style="float: right;">Cap: 34.0 kBtu/hr <input type="checkbox"/></span> <span style="float: right;">COP: 1.00 <input type="checkbox"/></span></p> <p>c. N/A <span style="float: right;"><input type="checkbox"/></span></p> <p>14. Hot water systems</p> <p>a. Electric Resistance <span style="float: right;">Cap: 50.0 gallons <input type="checkbox"/></span> <span style="float: right;">EF: 0.92 <input type="checkbox"/></span></p> <p>b. N/A <span style="float: right;"><input type="checkbox"/></span></p> <p>c. Conservation credits <span style="float: right;"><input type="checkbox"/></span> (HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits <span style="float: right;">MZ-C, PT, CF, MZ- <input type="checkbox"/></span> (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
	Single Pane	Double Pane																			
a. Clear - single pane	137.5 ft <sup>2</sup>	0.0 ft <sup>2</sup>	<input type="checkbox"/>																		
b. Clear - double pane	616.4 ft <sup>2</sup>	0.0 ft <sup>2</sup>	<input type="checkbox"/>																		
c. Tint/other SHGC - single pane	0.0 ft <sup>2</sup>	0.0 ft <sup>2</sup>	<input type="checkbox"/>																		
d. Tint/other SHGC - double pane			<input type="checkbox"/>																		

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address of New Home: \_\_\_\_\_

City/FL Zip: \_\_\_\_\_



*\*NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is **not** a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at [www.fsec.ucf.edu](http://www.fsec.ucf.edu) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

**6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST**

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

**6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)**

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	



**Project Summary**  
**UNIT ONE**  
**SCHMADER RESIDENCE**

Job: JOSEPH P MCCARTY  
 Date: 3/12/2004  
 By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

**Project Information**

For: SCHMADER RESIDENCE  
 STUART, FL

Notes:

**Design Information**

Weather: West Palm Beach, FL , US

**Winter Design Conditions**

Outside db 45 °F  
 Inside db 70 °F  
 Design TD 25 °F

**Summer Design Conditions**

Outside db 91 °F  
 Inside db 75 °F  
 Design TD 16 °F  
 Daily range **M**  
 Relative humidity 50 %  
 Moisture difference 56 gr/lb

**Heating Summary**

Building heat loss 33610 Btuh  
 Ventilation air 37 cfm  
 Ventilation air loss 1008 Btuh  
 Design heat load 34618 Btuh

**Sensible Cooling Equipment Load Sizing**

Structure 35776 Btuh  
 Ventilation 653 Btuh  
 Design temperature swing 3.0 °F  
 Use mfg. data **y**  
 Rate/swing multiplier 1.00  
 Total sens. equip. load 36429 Btuh

**Infiltration**

Method Simplified  
 Construction quality Average  
 Fireplaces 0

	Heating	Cooling
Area (ft <sup>2</sup> )	1736	1736
Volume (ft <sup>3</sup> )	20148	20148
Air changes/hour	0.48	0.24
Equiv. AVF (cfm)	162	81

**Latent Cooling Equipment Load Sizing**

Internal gains 400 Btuh  
 Ventilation 1401 Btuh  
 Infiltration 3088 Btuh  
 Total latent equip. load 5467 Btuh

Total equipment load 41896 Btuh  
 Req. total capacity at 0.74 SHR 4.1 ton

**Heating Equipment Summary**

Make n/a  
 Trade n/a  
 Efficiency 100.0 EFF  
 Heating input 0 Btuh  
 Heating output 0 Btuh  
 Heating temp rise 0 °F  
 Actual heating fan 0 cfm  
 Heating air flow factor 0.000 cfm/Btuh  
 Space thermostat

**Cooling Equipment Summary**

Make Trane  
 Trade E. XE 1200  
 2TTR2048  
 TWE048P13  
 Efficiency 12.5 SEER  
 Sensible cooling 37000 Btuh  
 Latent cooling 13000 Btuh  
 Total cooling 50000 Btuh  
 Actual cooling fan 1600 cfm  
 Cooling air flow factor 0.045 cfm/Btuh  
 Load sensible heat ratio 87 %

*Bold/italic values have been manually overridden*

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# Right-J8 Worksheet UNIT ONE SCHMADER RESIDENCE

Job: JOSEPH P MCCARTY  
Date: 3/12/2004  
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name		UNIT ONE							H					
2 Exposed wall		178.4 ft							0.0 ft					
3 Ceiling height		11.6 ft							8.0 ft					
4 Room dimensions		p							1.0 x 51.5 ft					
5 Room area		1736.0 ft <sup>2</sup>							51.5 ft <sup>2</sup>					
	Ty	Construction number	U-value (Btuh/ft <sup>2</sup> ·°F)	Or	HTM (Btuh/ft <sup>2</sup> )		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-5ocs	0.125	n	3.13	1.84	532	317	989	582	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	38	0	1068	1413	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	76	0	2136	2826	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	54	0	1528	2019	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	33.65	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	33.65	0	0	0	0	0	0	0	0
	D	11N0	0.350	n	8.75	7.49	48	48	420	360	0	0	0	0
	W	13A-5ocs	0.125	e	3.13	1.20	293	226	705	271	0	0	0	0
	G	10A-b	0.970	e	24.25	58.03	48	48	1164	1063	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.26	19	1	534	1708	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.26	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	se	3.13	1.75	83	47	147	82	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	83.07	36	36	1009	1335	0	0	0	0
	W	13A-5ocs	0.125	s	3.13	1.27	571	338	1057	431	0	0	0	0
	G	10A-b	0.970	s	24.25	36.22	110	110	2668	2707	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	84	84	2365	3129	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	19	19	534	707	0	0	0	0
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0
	D	11N0	0.350	s	8.75	11.37	20	20	174	226	0	0	0	0
	W	13A-5ocs	0.125	sw	3.13	2.21	0	0	0	0	0	0	0	0
	G	10A-b	0.970	sw	24.25	59.41	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	w	3.13	3.16	615	582	1820	1842	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	81.98	14	1	400	1123	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	92.22	19	1	534	1685	0	0	0	0
	C	16B-30ad	0.032	-	0.80	1.70	1736	1736	1389	2955	52	52	41	88
	F	22A-tph	1.358	-	33.95	0.00	1736	178	6057	0	52	0	0	0
Envelope loss/gain									26893	26463			41	88
12	a) Infiltration								4443	1440			0	0
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230	2					460	0			0
	Less external load		Appliances @	1200	2					2400	0			0
	Less transfer								0	0			0	0
	Redistribution								0	0			0	0
14	Subtotal								31136	30762			-41	-88
15	Duct loads						8%	16%	2473	5013	8%	16%	0	0
Total room load									33610	35776			0	0
Air required (cfm)									0	1600			0	0

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# Right-J8 Worksheet UNIT ONE SCHMADER RESIDENCE

Job: JOSEPH P MCCARTY  
Date: 3/12/2004  
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name		FOYER/LIVING 21.0 ft							DINING 15.0 ft					
2 Exposed wall		8.0 ft							14.0 ft					
3 Ceiling height		1.0							1.0					
4 Room dimensions		x 336.5 ft							x 120.0 ft					
5 Room area		336.5 ft²							120.0 ft²					
Ty	Construction number	U-value (Btuh/ft²·F)	Or	HTM (Btuh/ft²)		Area (ft²) or perimeter (ft)		Load (Btuh)		Area (ft²) or perimeter (ft)		Load (Btuh)		
				Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool	
6	W 13A-5ocs	0.125	n	3.13	1.84	64	-22	-68	-40	168	114	356	209	
	G 1B-h1fm	1.130	n	28.25	37.38	38	0	1068	1413	0	0	0	0	
	G 1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0	
	G 1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	54	0	1526	2019	
11	G 1B-h1fm	1.130	n	28.25	33.65	0	0	0	0	0	0	0	0	
	G 1B-h1fm	1.130	n	28.25	33.65	0	0	0	0	0	0	0	0	
	D 11N0	0.350	n	8.75	7.49	48	48	420	360	0	0	0	0	
	W 13A-5ocs	0.125	e	3.13	1.20	0	0	0	0	42	42	131	50	
	G 10A-b	0.970	e	24.25	58.03	0	0	0	0	0	0	0	0	
	G 1B-h1fm	1.130	e	28.25	93.26	0	0	0	0	0	0	0	0	
	G 1B-h1fm	1.130	e	28.25	93.26	0	0	0	0	0	0	0	0	
	W 13A-5ocs	0.125	se	3.13	1.75	0	0	0	0	0	0	0	0	
	G 1B-h1fm	1.130	se	28.25	83.07	0	0	0	0	0	0	0	0	
	W 13A-5ocs	0.125	s	3.13	1.27	104	-6	-19	-8	0	0	0	0	
	G 10A-b	0.970	s	24.25	36.22	110	110	2668	2707	0	0	0	0	
	G 1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0	
	G 1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0	
	G 10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0	
	D 11N0	0.350	s	8.75	11.37	0	0	0	0	0	0	0	0	
	W 13A-5ocs	0.125	sw	3.13	2.21	0	0	0	0	0	0	0	0	
	G 10A-b	0.970	sw	24.25	59.41	0	0	0	0	0	0	0	0	
	W 13A-5ocs	0.125	w	3.13	3.16	0	0	0	0	0	0	0	0	
	G 1B-h1fm	1.130	w	28.25	81.98	0	0	0	0	0	0	0	0	
	G 1B-h1fm	1.130	w	28.25	92.22	0	0	0	0	0	0	0	0	
	C 16B-30ad	0.032	-	0.80	1.70	337	337	269	573	120	120	96	204	
	F 22A-tph	1.358	-	33.95	0.00	337	21	713	0	120	15	509	0	
Envelope loss/gain								5051	5005			2618	2483	
12	a) Infiltration							357	116			446	144	
	b) Ventilation							0	0			0	0	
13	Internal gains:	Occupants @	230	0		0			0	0			0	
		Appliances @	1200	0		0			0	0			0	
	Less external load							0	0			0	0	
	Less transfer							0	0			0	0	
	Redistribution							0	0			0	0	
14	Subtotal							5407	5121			3064	2827	
15	Duct loads					8%	16%	430	835	8%	16%	243	428	
Total room load								5837	5955			3307	3056	
Air required (cfm)								0	266			0	137	

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**Right-J8 Worksheet**  
**UNIT ONE**  
**SCHMADER RESIDENCE**

Job: JOSEPH P MCCARTY  
 Date: 3/12/2004  
 By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1	Room name				BEDRM 2				BEDRM 3					
	Exposed wall				14.9 ft				21.9 ft					
	Ceiling height				10.0 ft				10.0 ft					
2	Room dimensions				1.0 x 151.5 ft				1.0 x 151.5 ft					
3	Room area				151.5 ft <sup>2</sup>				151.5 ft <sup>2</sup>					
4	Ty	Construction number	U-value (Btuh/ft <sup>2</sup> -F)	Or	HTM (Btuh/ft <sup>2</sup> )		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-5ocs	0.125	n	3.13	1.84	90	71	222	131	90	71	222	131
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	19	0	534	707	19	0	534	707
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	33.65	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	33.65	0	0	0	0	0	0	0	0
	D	11N0	0.350	n	8.75	7.49	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	e	3.13	1.20	60	41	128	49	0	0	0	0
	G	10A-b	0.970	e	24.25	58.03	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.28	19	1	534	1708	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.28	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	se	3.13	1.75	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	83.07	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	s	3.13	1.27	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0
	D	11N0	0.350	s	8.75	11.37	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	sw	3.13	2.21	0	0	0	0	0	0	0	0
	G	10A-b	0.970	sw	24.25	59.41	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	w	3.13	3.16	0	0	0	0	130	111	347	351
	G	1B-h1fm	1.130	w	28.25	81.98	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	92.22	0	0	0	0	19	1	534	1685
	C	16B-30ad	0.032	-	0.80	1.70	152	152	121	258	152	152	121	258
	F	22A-tph	1.358	-	33.95	0.00	152	15	506	0	152	22	744	0
Envelope loss/gain									2046	2852			2502	3132
12	a) Infiltration								318	103			467	151
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230			1		230		1		230	
			Appliances @	1200			0		0		0		0	
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								7	14			7	14
14	Subtotal								2371	3199			2976	3527
15	Duct loads						8%	16%	188	521	8%	16%	236	575
Total room load									2559	3721			3212	4102
Air required (cfm)									0	166			0	183

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



**Right-J8 Worksheet**  
**UNIT ONE**  
**SCHMADER RESIDENCE**

Job: JOSEPH P MCCARTY  
 Date: 3/12/2004  
 By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name				LAUNDRY				PANTRY						
2 Exposed wall				20.0 ft				4.0 ft						
3 Ceiling height				10.0 ft				10.0 ft						
4 Room dimensions				1.0 x 91.5 ft				1.0 x 45.0 ft						
5 Room area				91.5 ft <sup>2</sup>				45.0 ft <sup>2</sup>						
	Ty	Construction number	U-value (Btuh/ft <sup>2</sup> -F)	Or	HTM (Btuh/ft <sup>2</sup> )		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-5ocs	0.125	n	3.13	1.84	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	D	11N0	0.350	n	8.75	7.49	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	e	3.13	1.20	0	0	0	0	0	0	0	0
	G	10A-b	0.970	e	24.25	58.03	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.26	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.26	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	se	3.13	1.75	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	83.07	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	s	3.13	1.27	120	100	313	128	40	40	125	51
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0
	D	11N0	0.350	s	8.75	11.37	20	20	174	226	0	0	0	0
	W	13A-5ocs	0.125	sw	3.13	2.21	0	0	0	0	0	0	0	0
	G	10A-b	0.970	sw	24.25	59.41	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	w	3.13	3.16	80	66	206	208	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	81.98	14	1	400	1123	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	82.22	0	0	0	0	0	0	0	0
	C	18B-30ad	0.032	-	0.80	1.70	92	92	73	156	45	45	36	77
	F	22A-tph	1.358	-	33.95	0.00	92	20	679	0	45	4	136	0
Envelope loss/gain									1845	1840			297	128
12	a) Infiltration								425	138			85	28
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230	0		0		0		0		0	
			Appliances @	1200	1		1200		0		0		0	
	Less external load				0		0		0		0		0	
	Less transfer				0		0		0		0		0	
	Redistribution				5		11		0		11		23	
14	Subtotal				2275		3189		3189		393		178	
15	Duct loads				8%		16%		181		520		8% 16% 31 29	
Total room load									2455	3709			424	207
Air required (cfm)									0	168			0	9

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# Right-J8 Worksheet UNIT ONE SCHMADER RESIDENCE

Job: JOSEPH P MCCARTY  
Date: 3/12/2004  
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name		KITCHEN						BREAKFAST/FAMILY							
2 Exposed wall		7.0 ft						56.6 ft							
3 Ceiling height		14.0 ft						14.6 ft							
4 Room dimensions		1.0 x 214.5 ft						1.0 x 484.0 ft							
5 Room area		214.5 ft <sup>2</sup>						484.0 ft <sup>2</sup>							
	Ty	Construction number	U-value (Btuh/ft <sup>2</sup> -F)	Or	HTM (Btuh/ft <sup>2</sup> )		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)		
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool	
6	W	13A-5ocs	0.125	n	3.13	1.84	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0	
	D	11N0	0.350	n	8.75	7.49	0	0	0	0	0	0	0	0	
	W	13A-5ocs	0.125	e	3.13	1.20	0	0	0	0	161	113	352	135	
	G	10A-b	0.970	e	24.25	58.03	0	0	0	0	48	48	1164	1063	
	G	1B-h1fm	1.130	e	28.25	93.26	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	e	28.25	93.26	0	0	0	0	0	0	0	0	
	W	13A-5ocs	0.125	se	3.13	1.75	0	0	0	0	83	47	147	82	
	G	1B-h1fm	1.130	se	28.25	83.07	0	0	0	0	38	38	1009	1335	
	W	13A-5ocs	0.125	s	3.13	1.27	0	0	0	0	307	204	637	260	
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	84	84	2365	3129	
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	19	19	534	707	
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0	
	D	11N0	0.350	s	8.75	11.37	0	0	0	0	0	0	0	0	
	W	13A-5ocs	0.125	sw	3.13	2.21	0	0	0	0	0	0	0	0	
	G	10A-b	0.970	sw	24.25	59.41	0	0	0	0	0	0	0	0	
	W	13A-5ocs	0.125	w	3.13	3.16	98	98	306	310	277	277	867	877	
	G	1B-h1fm	1.130	w	28.25	81.98	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	w	28.25	82.22	0	0	0	0	0	0	0	0	
	C	16B-30ad	0.032	-	0.80	1.70	215	215	172	365	484	484	387	824	
	F	22A-tph	1.358	-	33.95	0.00	215	7	238	0	484	57	1921	0	
Envelope loss/gain									716	675					
12	a) Infiltration							208		67					
	b) Ventilation							0		0					
13	Internal gains:	Occupants @	230		0		0		0		0		0	0	
		Appliances @	1200		1		1200		0		0		0	0	
	Less external load							0		0					
	Less transfer							0		0					
	Redistribution							5		10					
14	Subtotal							928		1852					
15	Duct loads							8%	16%	74	318	8%	16%	885	1464
Total room load									1002	2270					
Air required (cfm)									0	102					

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**Right-J8 Worksheet**  
**UNIT ONE**  
**SCHMADER RESIDENCE**

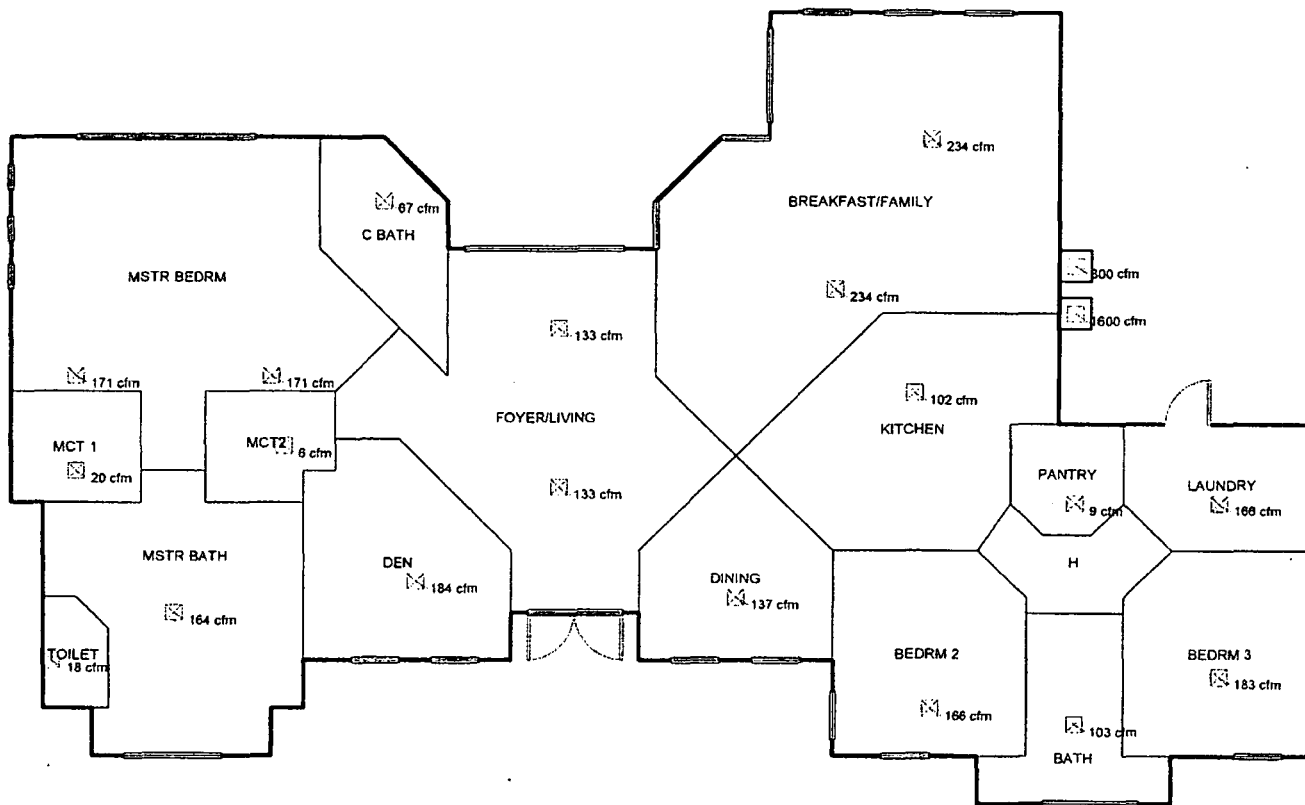
Job: JOSEPH P MCCARTY  
 Date: 3/12/2004  
 By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1	Room name				BATH									
	2	3	4	5	Exposed wall		10.0 ft		18.0 ft		heat/cool			
					Room dimensions		1.0 x 90.0 ft		Room area		90.0 ft <sup>2</sup>			
Ty		Construction number	U-value (Btuh/ft <sup>2</sup> ·F)	Or	HTM (Btuh/ft <sup>2</sup> )		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)		Area or perimeter		Load	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-5ocs	0.125	n	3.13	1.84	120	82	257	151				
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0				
	G	1B-h1fm	1.130	n	28.25	37.38	38	0	1068	1413				
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0				
	G	1B-h1fm	1.130	n	28.25	33.65	0	0	0	0				
	G	1B-h1fm	1.130	n	28.25	33.65	0	0	0	0				
	D	11N0	0.350	n	8.75	7.49	0	0	0	0				
	W	13A-5ocs	0.125	e	3.13	1.20	30	30	94	36				
	G	10A-b	0.970	e	24.25	58.03	0	0	0	0				
	G	1B-h1fm	1.130	e	28.25	93.26	0	0	0	0				
	G	1B-h1fm	1.130	e	28.25	93.26	0	0	0	0				
	W	13A-5ocs	0.125	se	3.13	1.75	0	0	0	0				
	G	1B-h1fm	1.130	se	28.25	83.07	0	0	0	0				
	W	13A-5ocs	0.125	s	3.13	1.27	0	0	0	0				
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0				
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0				
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0				
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0				
	D	11N0	0.350	s	8.75	11.37	0	0	0	0				
	W	13A-5ocs	0.125	sw	3.13	2.21	0	0	0	0				
	G	10A-b	0.970	sw	24.25	59.41	0	0	0	0				
	W	13A-5ocs	0.125	w	3.13	3.16	30	30	94	95				
	G	1B-h1fm	1.130	w	28.25	81.98	0	0	0	0				
	G	1B-h1fm	1.130	w	28.25	82.22	0	0	0	0				
	C	16B-30ad	0.032	-	0.80	1.70	90	90	72	153				
	F	22A-tph	1.358	-	33.95	0.00	90	18	611	0				
Envelope loss/gain									2195	1848				
12	a) Infiltration								382	124				
	b) Ventilation								0	0				
13	Internal gains:		Occupants @	230	0		0		0					
			Appliances @	1200	0		0		0					
	Less external load								0					
	Less transfer								0					
	Redistribution								7					
14	Subtotal								2585					
15	Duct loads						8%		16%					
Total room load									2790	2312				
Air required (cfm)									0	103				

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Sheet 1



Job #: JOSEPH P MCCARTY  
Performed by WG for:  
SCHMADER RESIDENCE  
STUART, FL

**SCHMADER RESIDENCE**  
WWW ENTERPRISES & SON INC  
FT. PIERCE, FL 34945  
Phone: 772-465-9373 Fax: 772-465-7732

Scale: 1 : 145  
Page 1  
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**Project Summary**  
**UNIT TWO**  
**SCHMADER RESIDENCE**

Job: JOSEPH P MCCARTY  
 Date: 3/12/2004  
 By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

**Project Information**

For: SCHMADER RESIDENCE  
 STUART, FL

Notes:

**Design Information**

Weather: West Palm Beach, FL , US

**Winter Design Conditions**

Outside db 45 °F  
 Inside db 70 °F  
 Design TD 25 °F

**Summer Design Conditions**

Outside db 91 °F  
 Inside db 75 °F  
 Design TD 16 °F  
 Daily range **M**  
 Relative humidity 50 %  
 Moisture difference 56 gr/lb

**Heating Summary**

Building heat loss 16582 Btuh  
 Ventilation air 14 cfm  
 Ventilation air loss 381 Btuh  
 Design heat load 16964 Btuh

**Sensible Cooling Equipment Load Sizing**

Structure 12782 Btuh  
 Ventilation 247 Btuh  
 Design temperature swing 3.0 °F  
 Use mfg. data y  
 Rate/swing multiplier 1.00  
 Total sens. equip. load 13029 Btuh

**Infiltration**

Method	Simplified	
Construction quality	Average	
Fireplaces	0	
	<b>Heating</b>	<b>Cooling</b>
Area (ft <sup>2</sup> )	939	939
Volume (ft <sup>3</sup> )	10193	10193
Air changes/hour	0.54	0.27
Equiv. AVF (cfm)	91	46

**Latent Cooling Equipment Load Sizing**

Internal gains 400 Btuh  
 Ventilation 530 Btuh  
 Infiltration 1741 Btuh  
 Total latent equip. load 2992 Btuh  
 Total equipment load 16021 Btuh  
 Req. total capacity at 0.70 SHR 1.6 ton

**Heating Equipment Summary**

Make n/a  
 Trade n/a  
 Efficiency 100.0 EFF  
 Heating input 0 Btuh  
 Heating output 0 Btuh  
 Heating temp rise 0 °F  
 Actual heating fan 0 cfm  
 Heating air flow factor 0.000 cfm/Btuh  
 Space thermostat

**Cooling Equipment Summary**

Make Trane  
 Trade D. XR 12  
 4TTR2024A1  
 TWE024C14+4AYTXV3H  
 Efficiency 12.0 SEER  
 Sensible cooling 16100 Btuh  
 Latent cooling 6900 Btuh  
 Total cooling 23000 Btuh  
 Actual cooling fan 800 cfm  
 Cooling air flow factor 0.063 cfm/Btuh  
 Load sensible heat ratio 81 %

*Bold/italic values have been manually overridden*

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



**Right-J8 Worksheet**  
**UNIT TWO**  
**SCHMADER RESIDENCE**

Job: JOSEPH P MCCARTY  
 Date: 3/12/2004  
 By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name		UNIT TWO							C BATH					
2 Exposed wall		110.6 ft							12.6 ft					
3 Ceiling height		10.9 ft							8.0 ft					
4 Room dimensions		p							1.0 x 80.0 ft					
5 Room area		939.0 ft <sup>2</sup>							80.0 ft <sup>2</sup>					
6	Ty	Construction number	U-value (Btuh/ft <sup>2</sup> .°F)	Or	HTM (Btuh/ft <sup>2</sup> )		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-5ocs	0.125	n	3.13	1.84	362	270	844	496	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
11	G	1B-h1fm	1.130	n	28.25	33.65	54	0	1526	1817	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	33.65	38	0	1068	1272	0	0	0	0
	D	11N0	0.350	n	8.75	7.49	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	e	3.13	1.20	406	395	1233	474	0	0	0	0
	G	10A-b	0.970	e	24.25	58.03	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.26	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.26	11	2	322	976	0	0	0	0
	W	13A-5ocs	0.125	se	3.13	1.75	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	83.07	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	s	3.13	1.27	241	153	478	195	32	32	100	41
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	36.22	88	88	2134	2166	0	0	0	0
	D	11N0	0.350	s	8.75	11.37	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	sw	3.13	2.21	45	22	69	49	45	22	69	49
	G	10A-b	0.970	sw	24.25	59.41	23	23	566	574	23	23	566	574
	W	13A-5ocs	0.125	w	3.13	3.16	126	126	394	398	24	24	75	76
	G	1B-h1fm	1.130	w	28.25	81.98	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	92.22	0	0	0	0	0	0	0	0
	C	16B-30ad	0.032	-	0.80	1.70	939	939	751	1599	80	80	64	136
	F	22A-tph	1.358	-	33.95	0.00	939	111	3754	0	80	13	427	0
Envelope loss/gain									13139	10016			1301	876
12	a) Infiltration								2505	812			215	70
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230	2					460	0			0
			Appliances @	1200	0					0	0			0
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								0	0			0	0
14	Subtotal								15644	11287			1515	945
15	Duct loads				6%	13%			939	1494	6%	13%	91	125
Total room load									16582	12782			1606	1070
Air required (cfm)									0	800			0	67

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



**Right-J8 Worksheet**  
**UNIT TWO**  
**SCHMADER RESIDENCE**

Job: JOSEPH P MCCARTY  
 Date: 3/12/2004  
 By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1	Room name				MSTR BEDRM				MCT 1					
	Exposed wall				35.0 ft				9.0 ft					
	Ceiling height				11.0 ft				10.0 ft					
3	Room dimensions				1.0 x 348.5 ft				8.0 x 7.0 ft					
4	Room area				348.5 ft <sup>2</sup>				56.0 ft <sup>2</sup>					
5	Ty	Construction number	U-value (Btuh/ft <sup>2</sup> .°F)	Or	HTM (Btuh/ft <sup>2</sup> )		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-5ocs	0.125	n	3.13	1.84	0	0	0	0	20	20	63	37
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	D	11N0	0.350	n	8.75	7.49	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	e	3.13	1.20	176	165	514	198	70	70	219	84
	G	10A-b	0.970	e	24.25	58.03	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.26	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.26	11	2	322	976	0	0	0	0
	W	13A-5ocs	0.125	se	3.13	1.75	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	83.07	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	s	3.13	1.27	209	121	378	154	0	0	0	0
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	36.22	88	88	2134	2166	0	0	0	0
	D	11N0	0.350	s	8.75	11.37	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	sw	3.13	2.21	0	0	0	0	0	0	0	0
	G	10A-b	0.970	sw	24.25	59.41	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	w	3.13	3.16	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	81.98	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	82.22	0	0	0	0	0	0	0	0
	C	16B-30ad	0.032	-	0.80	1.70	349	349	279	593	56	56	45	95
	F	22A-tph	1.358	-	33.95	0.00	349	35	1188	0	56	9	306	0
Envelope loss/gain									4816	4087			632	216
12	a) Infiltration								817	265			191	62
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230	2				460		0		0	
	Less external load		Appliances @	1200	0				0		0		0	
	Less transfer								0		0		0	
	Redistribution								0		0		0	
14	Subtotal								5633	4812			823	278
15	Duct loads				6%		13%		338	637	6%		13%	
Total room load									5971	5449			872	315
Air required (cfm)									0	341			0	20

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# Right-J8 Worksheet UNIT TWO SCHMADER RESIDENCE

Job: JOSEPH P MCCARTY  
Date: 3/12/2004  
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-8373 Fax: 772-465-7732

1 2 3 4 5	Room name		MCT2						TOILET					
	Exposed wall		10.0 ft						10.0 ft					
	Ceiling height		0.0 ft						10.0 ft					
Room dimensions		1.0 x 52.0 ft						1.0 x 26.0 ft						
Room area		52.0 ft <sup>2</sup>						26.0 ft <sup>2</sup>						
6	Ty	Construction number	U-value (Btuh/ft <sup>2</sup> -F)	Or	HTM (Btuh/ft <sup>2</sup> )		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-5ocs	0.125	n	3.13	1.84	0	0	0	0	30	30	94	55
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	D	11N0	0.350	n	8.75	7.49	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	e	3.13	1.20	0	0	0	0	70	70	219	84
	G	10A-b	0.970	e	24.25	58.03	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.26	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.26	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	se	3.13	1.75	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	83.07	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	s	3.13	1.27	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0
	D	11N0	0.350	s	8.75	11.37	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	sw	3.13	2.21	0	0	0	0	0	0	0	0
	G	10A-b	0.970	sw	24.25	59.41	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	w	3.13	3.16	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	81.98	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	81.98	0	0	0	0	0	0	0	0
	C	16B-30ad	0.032	-	0.80	1.70	52	52	42	89	26	26	21	44
	F	22A-tpH	1.358	-	33.95	0.00	52	0	0	0	26	10	340	0
Envelope loss/gain									42	89			873	183
12	a) Infiltration								0	0			212	69
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230	0				0	0	0		0	0
	Less external load		Appliances @	1200	0				0	0	0		0	0
	Less transfer				0				0	0			0	0
	Redistribution				0				0	0			0	0
14	Subtotal				42	89			42	89			885	252
15	Duct loads				6%	13%			2	12	6%	13%	53	33
Total room load									44	100			938	286
Air required (cfm)									0	6			0	18

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**Right-J8 Worksheet**  
**UNIT TWO**  
**SCHMADER RESIDENCE**

Job: JOSEPH P MCCARTY  
 Date: 3/12/2004  
 By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1	Room name				DEN				MSTR BATH					
	Exposed wall				16.0 ft				28.0 ft					
	Ceiling height				14.0 ft				10.0 ft					
3	Room dimensions				1.0 x 153.5 ft				1.0 x 223.0 ft					
5	Room area				153.5 ft <sup>2</sup>				223.0 ft <sup>2</sup>					
	Ty	Construction number	U-value (Btuh/ft <sup>2</sup> -F)	Or	HTM (Btuh/ft <sup>2</sup> )		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-5ocs	0.125	n	3.13	1.84	182	128	400	235	130	92	288	169
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	37.38	0	0	0	0	0	0	0	0
11	G	1B-h1fm	1.130	n	28.25	33.65	54	0	1526	1817	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	33.65	0	0	0	0	38	0	1068	1272
	D	11N0	0.350	n	8.75	7.49	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	e	3.13	1.20	0	0	0	0	90	90	281	108
	G	10A-b	0.970	e	24.25	58.03	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.26	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	93.26	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	se	3.13	1.75	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	83.07	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	s	3.13	1.27	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	53.66	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	36.22	0	0	0	0	0	0	0	0
	D	11N0	0.350	s	8.75	11.37	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	sw	3.13	2.21	0	0	0	0	0	0	0	0
	G	10A-b	0.970	sw	24.25	59.41	0	0	0	0	0	0	0	0
	W	13A-5ocs	0.125	w	3.13	3.16	42	42	131	133	60	60	188	190
	G	1B-h1fm	1.130	w	28.25	81.98	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	92.22	0	0	0	0	0	0	0	0
	C	16B-30ad	0.032	-	0.80	1.70	154	154	123	261	223	223	178	380
	F	22A-tph	1.358	-	33.95	0.00	154	16	543	0	223	28	951	0
Envelope loss/gain									2723	2446			2954	2119
12	a) Infiltration								475	154			594	193
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230	0		0		0		0		0	
			Appliances @	1200	0		0		0		0		0	
	Less external load				0		0		0		0		0	
	Less transfer				0		0		0		0		0	
	Redistribution				0		0		0		0		0	
14	Subtotal				3198		2600		3198		2600		3548	
15	Duct loads				6%		13%		192		344		213	
Total room load									3390	2945			3761	2617
Air required (cfm)									0	184			0	164

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**Joseph P. McCarty, Architect**

900 East Osceola Street

Stuart, Florida, 34994

772-287-6735 fax: 772-287-4618

---

DPR Registration Number 9639

May 3, 2004

Gene Simmons, CBO

Town of Sewall's Point

One South Sewall's Point Road

Sewalls Point, Florida

34996

RE: Leonard Schmader Residence, Lot 9, Sewalls Meadow

Dear Gene,

I have reviewed roof truss engineering as provided by W. Kost Roof and Floor Truss Systems on the above referenced job and found that internal bearing points correspond with Architectural Plans, and that uplift connectors as specified on the Connector Schedule, Sheet S3 of plans are adequate to resist uplift loads specified by W. Kost.

Sincerely,

  
Joseph P. McCarty





STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
MARTIN COUNTY HEALTH DEPARTMENT  
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
CONSTRUCTION PERMIT

CENTRAX #: 43-SS-06144  
OSTDSNBR: 03-1215-N

CONSTRUCTION PERMIT FOR:

[ X ] New System [ ] Existing System [ ] Holding Tank [ ] Innovative Other  
[ ] Repair [ ] Abandonment [ ] Temporary [ ] \_\_\_\_\_

APPLICANT: SCHMADER, LEONARD

AGENT: 96-1256, BROWN STEPHEN

PROPERTY STREET ADDRESS: LOT 9 HENRY SEWALL Way STUART FL 34994

LOT: 9 BLOCK: \_\_\_\_\_ SUBDIVISION: SEWALLS MEADOW

[Section/Township/Range/Parcel No.]

PROPERTY ID #: ---

[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 64E-6, FAC DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC TIME PERIOD. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE OR LOCAL PERMITTING REQUIRED FOR PROPERTY DEVELOPMENT.

SYSTEM DESIGN AND SPECIFICATIONS

(  EXISTING TANK)

T [ 1050 ] Gallons SEPTIC TANK MULTI-CHAMBERED/IN SERIES: [ Y ]  
A [ 0 ] Gallons MULTI-CHAMBERED/IN SERIES: [ ]  
N [ 0 ] GALLONS GREASE INTERCEPTOR CAPACITY  
K [ 0 ] GALLONS DOSING TANK CAPACITY [ 0 ] GALLONS @ [ 0 ] DOSES PER 24 HRS # PUMPS [ 0 ]

D 500 ] SQUARE FEET PRIMARY DRAINFIELD SYSTEM *Trench or*  
R 615 ] SQUARE FEET SYSTEM *Bed*

A TYPE SYSTEM: [ N ] STANDARD [ N ] FILLED [ Y ] MOUND [ N ] \_\_\_\_\_  
I CONFIGURATION: [ Y ] TRENCH *or* [ Y ] BED [ N ] \_\_\_\_\_

F LOCATION TO BENCHMARK: Manhole Cover In Road 5.52' NGVD

I ELEVATION OF PROPOSED SYSTEM SITE [ 6.0 ] [ INCHES ] [ BELOW ] BENCHMARK/REFERENCE POINT  
E BOTTOM OF DRAINFIELD TO BE [ 6.0 ] [ INCHES ] [ BELOW ] BENCHMARK/REFERENCE POINT

D FILL REQUIRED: [ 18.0 ] INCHES NATURAL/ EXISTING SOIL EXCAVATION REQUIRED: [ 30.0 ] INCHES  
OTHER REMARKS: *(See special conditions)*

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), F.A.C. System installation must meet all requirements of Chapter 64E-6, F.A.C. "Fill Required" as noted above must be slightly limited quality in the installation area with a minimum 4' shoulder beyond the drainfield sidewall. (any unsuitable pad fill in the 4' shoulder and under the drainfield area must be removed and replaced with suitable soil). The drainfield must be at least 10 feet from the property line(s). Install an approved outlet filter device in the septic tank. Potable water lines within 10' of system must be sleeved and sealed and cannot be within 2'. Potable water lines must be installed and exposed at time of initial installation inspection. All attached general and special conditions and items above must be completed prior to Final Inspection and Approval.

SPECIFICATIONS BY: Fredette, Michelle *MF 03-0793* TITLE: EH Specialist II

APPROVED BY: Washam, Bob TITLE: Env. Manager Martin CHD

DATE ISSUED: 12/15/2003

EXPIRATION DATE: 6/15/2005

OH 6, 03/97 (Obsoletes previous editions which may not be used)  
(Stock Number: 5744-001-4016-0) [ostds\_cons\_4016-1]

\*\* NOTE: See attached Applicant's notice of permitting rights. \*\*

### NOTICE OF RIGHTS

A party whose substantial interest is affected by this order may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. Such proceedings are governed by Rule 28-106, Florida Administrative Code. A petition for administrative hearing must be in writing and must be received by the Agency Clerk for the Department, within twenty-one (21) days from the receipt of this order. The address of the Agency Clerk is 4052 Bald Cypress Way, BIN # A02, Tallahassee, Florida 32399-1703. The Agency Clerk's facsimile number is 850-410-1448.

Mediation is not available as an alternative remedy.

Your failure to submit a petition for hearing within 21 days from receipt of this order will constitute a waiver of your right to an administrative hearing, and this order shall become a 'final order'.

Should this order become a final order, a party who is adversely affected by it is entitled to judicial review pursuant to Section 120.68, Florida Statutes. Review proceedings are governed by the Florida Rules of Appellate Procedure. Such proceedings may be commenced by filing one copy of a Notice of Appeal with the Agency Clerk of the Department of Health and a second copy, accompanied by the filing fees required by law, with the Court of Appeal in the appropriate District Court. The notice must be filed within 30 days of rendition of the final order.

# SEPTIC SYSTEM GENERAL CONDITIONS LIST

PERMIT 43-SS-0 6044

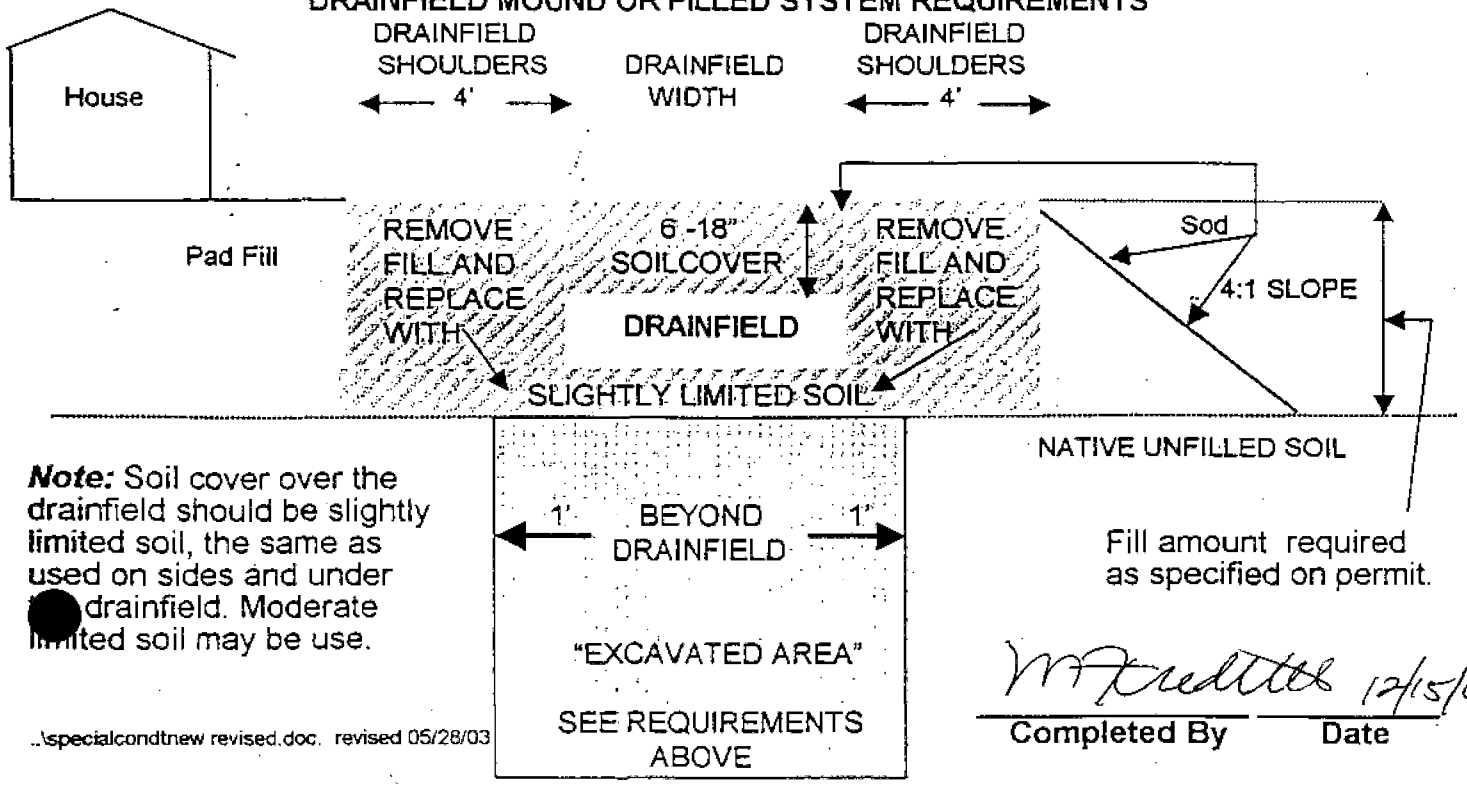
Special conditions marked "X" are in effect

- 1 If the minimum finished floor foundation elevation (F.F.F.E.) is below the drainfield filled elevation of 18 inches (above original grade 5.0 NGVD), please contact this office to determine possible setback changes from the drainfield (setback is calculated by adding 4:1 slope, 4-foot shoulder and possible berm). Additionally, if the driveway or sidewalk is proposed to be lower than the drainfield filled elevation, please contact the department to determine possible setback changes. **Note: Local building authority determines minimum F.F.F.E. and stub out requirements. Health Department recommendations are used for drainfield fill and setback requirements only.**
2. Driveway and sidewalk elevation must be at least 6" higher than the top of the drainfield elevation. The driveway cannot be constructed within 4 feet of the system's available area.
3. Drainfield must be protected from vehicular traffic with permanent barriers.
4. A certified well driller, prior to the initial building construction or system inspection, must abandon existing well.
5. Prior to final construction approval, the property owner must apply for an operating permit and pay the \$\_\_\_\_\_ Annual Permit Fee (For \_\_\_Indust./Manuf. \_\_\_ Aerobic System \_\_\_ Commercial System \_\_\_ Performance-Based).

**Excavation requirements: (Note: Excavation refers to removal of natural or existing soils, not pad fill)**

1. Excavate one foot beyond drainfield area to a depth of 30 inches below natural existing grade elevation of 5.0 feet N.G.V.D. / Assumed.
2. In addition to item #1, 33% of unsuitable soils at depths greater than 30 inches below #1 elevation above must be removed to a depth of slightly limited soils.
3. If the proposed drainfield is to be installed within 10 feet of a building foundation or swimming pool structure, the four-foot drainfield shoulder must be filled with suitable soils prior to building construction.
4. If a mound or filled drainfield is proposed, see following sketch. An engineer's design is required if a retaining wall is proposed within the drainfield slope areas of a mound system. No boulders or trees are allowed within the drainfield or drainfield shoulder area. Applicant is responsible for replacing excavated soils with a good grade of soil suitable for drainfield installation.

**DRAINFIELD MOUND OR FILLED SYSTEM REQUIREMENTS**



**Note:** Soil cover over the drainfield should be slightly limited soil, the same as used on sides and under drainfield. Moderate limited soil may be use.

*W. Fredrick* 12/15/03  
 Completed By \_\_\_\_\_ Date \_\_\_\_\_

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE DISPOSAL SYSTEM  
SITE EVALUATION AND SYSTEM SPECIFICATIONS

# 34435603  
12/15/03

CENTRAX #: 43-SS-06144  
OSTDSNBR : 03-1215-N

APPLICANT: SCHMADER, LEONARD

AGENT: 96-1256 STEPHEN BROWN, SJB

LOT: 9 BLOCK: \_\_\_\_\_ SUBDIVISION: SEWALLS MEADOW ID#: ---

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEER'S MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN:  YES [ ] NO NET USABLE AREA AVAILABLE: .53 ACRES  
TOTAL ESTIMATED SEWAGE FLOW: 400 GALLONS PER DAY [64E-6, TABLE 1]  
AUTHORIZED SEWAGE FLOW: 1325 GALLONS PER DAY [1500GPD/ACRE OR 2500GPD/ACRE]  
UNOBSTRUCTED AREA AVAILABLE: 1400 SQFT UNOBSTRUCTED AREA REQUIRED: 1000/1231 SQFT  
416

BENCHMARK/REFERENCE POINT LOCATION: Manhole Cover in Road 5.52' NGVD  
ELEVATION OF PROPOSED SYSTEM SITE IS 6 [ Inches ] [ below ] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES:  
SURFACE WATER: N/A FT DITCHES/SWALES: N/A FT NORMALLY WET? [ ] YES [  ] NO  
WELLS: PUBLIC: None FT LIMITED USE: None FT PRIVATE: None FT NON-POTABLE: NA FT  
BUILDING FOUNDATIONS: 7 FT PROPERTY LINES: 10 FT POTABLE WATER LINES: 19 FT

SITE SUBJECT TO FREQUENT FLOODING: [ ] YES [  ] NO 10 YEAR FLOODING? [ ] YES [  ] NO  
10 YEAR FLOOD ELEVATION FOR SITE: 9.0 FT NGVD SITE ELEVATION: 5.0 FT NGVD

SOIL PROFILE INFORMATION SITE 1

Munsell #/Color	Texture	Depth
10YR 4/2 dk. Gray	Brown Sandy Clay	0 to 30
10YR 3/2V. Dark Gray	Brown Sand	30 to 62
	Refusal (Rock, Root?)	62 to
		to
		to
		to
		to
		to
		to
USDA SOIL SERIES: <u>35 Salorno/4 Jonathan</u>		

SOIL PROFILE INFORMATION SITE 2

Munsell #/Color	Texture	Depth
10YR 4/2 dk. Gray	Brown Sandy Clay	0 to 12
	<del>Refusal</del>	to
	Refusal - very hard	12 to 14
	"hardpan like" material	14 to
	dk. Gray Brown Material,	to
	Cemented.	to
		to
		to
USDA SOIL SERIES: <u>35 Salorno/4 Jonathan</u>		

OBSERVED WATER TABLE: N/obs INCHES [ BELOW ] EXISTING GRADE TYPE: [ APPARENT ]  
ESTIMATED WET SEASON WATER TABLE ELEVATION: 24 INCHES [ below ] EXISTING GRADE.  
HIGH WATER TABLE VEGETATION: [ ] YES [  ] NO MOTTLING: [ ] YES [  ] NO DEPTH: NA INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: HR 8/25 fine sand replacement/mound DEPTH OF EXCAVATION: 30+ INCHES  
DRAINFIELD CONFIGURATION: [  ] TRENCH [  ] BED [ ] OTHER (SPECIFY) \_\_\_\_\_  
REMARKS/ADDITIONAL CRITERIA: \_\_\_\_\_

SITE EVALUATED BY: M. H. Hedtke 03-0753 DATE: 12/15/03



STATE OF FLORIDA  
 DEPARTMENT OF HEALTH  
 ONSITE SEWAGE TREATMENT HEAD DEPARTMENT SYSTEM  
 APPLICATION FOR CONSTRUCTION

RECEIVED

---

MARTIN COUNTY  
 HEALTH DEPARTMENT  
 RECEIVED

PERMIT NO. 48-SS-10144  
 DATE PAID: 12/10/03  
 FEE PAID: 200-  
 RECEIPT #: 63092  
03-1215-N

APPLICATION FOR:  
 New System     Existing System     Tank     Innovative  
 Repair     Abandonment     Temporary   

APPLICANT: LEONARD SCHMADER

AGENT: G.J.B., INC. TELEPHONE: 208-7176

MAILING ADDRESS: 619 E. 5th St. STUART FL 34994

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 9 BLOCK: \_\_\_\_\_ SUBDIVISION: GEWALL'S MEADOW PLATTED: 5/8/97

PROPERTY ID #: \_\_\_\_\_ ZONING: \_\_\_\_\_ I/M OR EQUIVALENT:  Y  N

PROPERTY SIZE: 0.53 ACRES WATER SUPPLY:  PRIVATE PUBLIC  <=2000GPD  >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS?  Y  N DISTANCE TO SEWER: 1000 FT

PROPERTY ADDRESS: HENRY SEWALL WAY

DIRECTIONS TO PROPERTY: GEWALL'S POINT - GEWALL'S POINT RD. SOUTH TO HENRY SEWALL WAY - VACANT LOT @ CORNER OF HENRY SEWALL WAY & GEWALL'S POINT RD. - SEE LOCATION MAP

BUILDING INFORMATION

RESIDENTIAL     COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
---------	-----------------------	-----------------	--------------------	--

1	<u>MIDDLE PARCEL</u>	<u>3</u>	<u>2075</u>	
2				
3				
4				

Floor/Equipment Drains     Other (Specify) DISPOSAL

SIGNATURE: STEPHEN J. BROWN DATE: 12/1/03

APPLICANT'S NAME: LEONARD SCHMADER

LEGAL DESCRIPTION: LOT 9 GEWALLS MEADOW

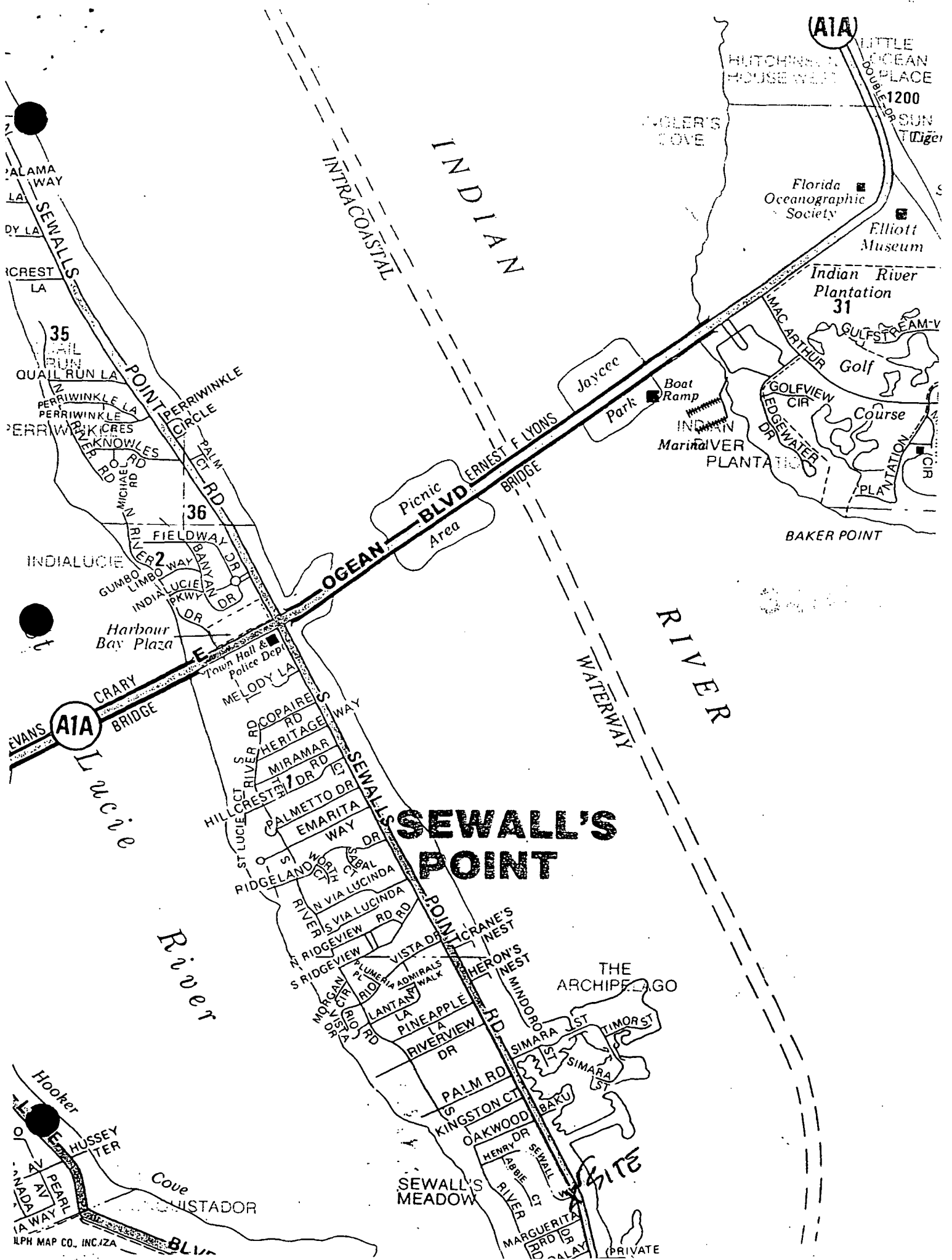
**PROPOSED SEPTIC SYSTEM SITE INFORMATION**

I certify that there are no potable private wells within 75 feet of the available area for the proposed septic system, that there are no non-potable wells within 50 feet of the available area for the proposed septic system, that there are no wells within 25 feet of a pesticide-treated building foundation, that there are no public wells that serve less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system, that there are no public wells that serve more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system, that the water line from the water meter or well to the structure is at least 10 feet from the available area for the proposed septic system unless the plans show the line to be double sleeved, that there is not a gravity sewer line, low pressure sewer line or vacuum sewage line in a public easement or right-of-way that abuts the property, that there are no lakes, streams, wetlands, or surface water within 75 feet of the available area for the proposed septic system unless the property was created prior to 1972, that the septic system is proposed on the side of the lot farthest from surface water, that all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot are shown on the site plan, that all public wells within 200 feet of the applicant's lot are shown on the site plan, and that the location of building or residences, swimming pools, recorded easements, paved areas or driveways, sidewalks, the general slope of the property, filled areas, drainage features, and surface waters such as lakes, ponds, streams, canals, or wetlands are shown on the applicants lot.

The natural grade elevation in the area of the proposed septic system and the benchmark must be shown on the site plan. Please locate the benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: STEPHEN J. BROWN  
FLORIDA PROFESSIONAL NO.: 4049  
DATE: 12/4/03 JOB NO.: 1308-1309



# SEWALL'S POINT

# **RESIDENCE FOR LEONARD SCHMADER LOT NINE, SEWALLS MEADOW**

## **DIVISION ONE - GENERAL REQUIREMENTS**

**1.1 Interpretation of Plans** The Architect's services do not include supervision of construction. The Architect divests himself of the responsibility of the work, errors or omissions resulting from the interpretation of the plans. If the Contractor believes he has discovered errors of omissions in the plans, the Contractor shall notify the Architect in writing for clarification before continuing work.

**1.2 Applicable Standards** All work under this Contract or Subcontracts shall conform to recent editions of local, state and national codes, ordinances and regulations pertaining to the work, A.C.I., A.N.S.I., A.S.T.M., O.S.H.A., etc.

### **1.3 General Conditions**

**1.3a Scope of Work.** Contractor shall furnish or provide for all items, articles, materials, operations or methods listed, mentioned or scheduled on drawings and/or herein specified, including all labor, materials, equipment and incidentals necessary and required to perform and complete work as shown in drawings and/or herein specified or as required for a completed project.

**1.3b Verifying Conditions.** Before commencing work, Contractor shall verify measurements and conditions at building site. Any differences between actual measurements and those shown on drawings shall be submitted to the Architect in writing before proceeding.

**1.3c Permits.** Contractor to provide all permits and fees as required from government agencies.

**1.3d Surveying.** Owner to provide original survey and septic application. contractor to provide all surveying as required during construction and shall verify all setbacks and elevations.

**1.3e Coordination.** Contractor to provide for all coordination required between Subcontracts and prime Contract. All chases, cutting, patches, etc. as required to be coordinated by Contractor. All patching shall be done to the satisfaction of the Owner.

**1.3f Job Site.** Contractor to maintain a neat and orderly job site. Individual Subcontractors to clean up after completion of their work. Final cleanup to be provided by Contractor.

**1.3g Workmanship.** All work executed at job site to be performed in a first class and workmanlike manner in accordance with latest accepted standards and practice for trades



involved. None but workmen experienced in work to be performed will be allowed to work.

**1.3h Change Orders.** Changes in work to be accomplished or materials to be furnished shall be done by signed Change Orders as a modification to Agreement. Cost of Change Orders not to exceed cost plus 10%.

**1.3i Temporary Facilities.** Contractor to provide for temporary water, power and sanitary facilities as required by work.

**1.3j Protection of Work and Property.** All material and equipment shall be properly protected and kept in clean condition. all pipe ends and parts of equipment left unconnected shall be capped or plugged. Any work or equipment that is damaged shall be repaired or replaced as required at no cost to Owner.

**1.3k Testing and Laboratory Services.** Inspections or tests required by code, ordinance or as indicated herein or on Drawings shall be the responsibility of and paid for by Contractor.

**1.3l Substitutions.** Any substitutions or approved equal substitutions will be submitted in writing to either Owner or Architect for approval.

**1.3m Guarantees.** General Contractor to provide Owner with all manufacturer supplied guarantees at end of job. General Contractor and all Subcontractors to provide one year guarantees on building and all systems and equipment supplied by Contract for one year after Certificate of Occupancy. Any required repairs will be made without charge to Owner for materials or labor in this period. Air conditioning refrigerant cycles to be guaranteed for five years from CO.

**1.4 Insurance** General Contractor is responsible for insuring that all Subcontractors are licensed and insured. Insurance shall cover property liability and all personal injury. all contract labor must also be so insured. General Contractor shall also cover builder's risk insurance on the project itself until the time of Certificate of Occupancy.

## **DIVISION TWO - SITE WORK**

**2.1 Excavation** Excavate site to levels required for construction. Strip soil of all deleterious material 5' 0" past exterior of building lines.

**2.2 Fill and Compaction** Provide clean, well-graded sand placed in maximum 12" lifts compacted to 95% of modified proctor maximum dry density, ASTM d-1557 at optimum moisture content. Compaction is to be verified by an independent testing laboratory and reported to Architect prior to commencement of foundation construction.

**2.3 Soil Treatment** Treat compacted soil with termite treatment that is convertible to a maintenance policy. Do not treat after heavy rains or when excessively wet.

**2.4 Sod and Sprinkler** by owner

**2.5 Water and Sewer.** Provide 1" water connection to house. Provide septic system as per Health Department permit.

**2.6 Drives and Walks** See site plan for location of walks and drives. Driveway and walks to be paverstone. Style and Color as selected by owner.

### **DIVISION THREE - CONCRETE**

**3.1 Concrete** Structural concrete shall develop a minimum strength of 3000 psi at 28 days. All concrete shall be ready-mixed and in accordance with ASTM C-94. Maximum allowable slump to be 5". All slabs to be 3000 psi at 28 days.

**3.2 Scope** Provide all structural concrete, filled cells, slabs, beams, footings, equipment pads, drives, walks, etc. as shown on drawings or as needed to complete job.

**3.3 Reinforcing** Reinforcing steel shall be deformed, new billet steel in accordance with ASTM A-615, Grade 60. All splices shall be in accordance with Chapter 7 of ACI 318-81, with a minimum splice of 40 bar diameters.

**3.4 Concrete Form Work** Adequate and safe design of form work and shoring is the responsibility of the Contractor. Sleeve slab and footing as required for mechanical and electrical.

**3.5 Crack Control** Provide "Fibermesh" crack control additive per manufacturer's specifications in all slabs, footings and grade beams 1.5 lbs/C.Y.

**3.6 Weatherproof Membrane** Provide .006" polyethylene vapor barrier beneath all slabs..

### **DIVISION FOUR - MASONRY**

**4.1 Unit Masonry** Concrete block units to conform with ASTM C-90. Provide shapes and sizes required to complete the work with a minimum of cutting and piecing. Provide reinforcement of the types shown on the drawings.

**4.2 Mortar** Provide mortar type "S" conforming with ASTM 270.

**4.3 Grout** Provide grout in accordance with ASTM C476.

**4.4 Execution** Except as shown on the drawings, lay up the concrete masonry units in running bond, tooling all joints except where scheduled to be stuccoed.

## **DIVISION FIVE - METALS**

**5.1 Miscellaneous Metals** Contractor shall furnish and install, or furnish for other trades, when required, all miscellaneous metal, steel and metal fabrications including, but not limited to hangers, anchors, bolts, plates, supports, lintels, brackets and other miscellaneous items necessary to frame or support the work.

## **DIVISION SIX - WOOD AND PLASTICS**

**6.1 Lumber** All lumber permanently incorporated into the structure shall be air or kiln-dried and shall contain not more than 19% moisture. Elevate and cover lumber on site to protect from moisture. All lumber and plywood shall be identified by grade stamps.

Furring shall be pressure treated yellow pine, installed as required, using shims, if necessary, to provide a true planer surface for finish materials. Ceiling is to be shimmed for smooth gypsum board finish.

Wood in direct contact with concrete, masonry, or soil shall be pressure treated with the requirements of the standards of the American Wood Preserver's Association.

All carpentry, rough and finish to be a first-class installation. No staples shall be visible in finished job interior or exterior.

**6.2 Wood Trusses** Wood trusses, beams by truss company and floor systems by truss company shall be designed and certified by a Florida Registered Structural Engineer. Installation and temporary field bracing shall be in strict accordance with manufacturer's specifications and applicable codes and standards. Wood trusses to be engineered to 140 MPH wind load.

**6.3 Field Measurements** Truss manufacturer to take measurements in field, as required, to verify or supplement dimensions on drawings and assume responsibility for fit of wood trusses.

**6.4 Rough Carpentry** Select material so that knots and defects will not interfere with placing bolts or proper nailing. Produce joints which are tight, true and well nailed, with members assembled in accordance with the drawings and with pertinent codes and regulations.

Lumber may be rejected by Architect or Owner, whether or not it has been installed, for excessive warp, twist, bow, mildew, mold, as well as for improper cutting or fitting.

All wood stud walls shall be 16" on center and shall be straight, true and plumb to a tolerance of 1/4" in 10 feet. Ceilings to be shimmed as required to level to 1/8" in ten feet.

Provide blocking as required for installation to support all finish or trim items. Provide blocking above all windows and sliding glass doors for installation of drapery hardware.

Comply with the nailing schedule and other fastening requirements contained in the pertinent regulations of governmental agencies having jurisdiction.

**6.5 Finish Carpentry** All trim to be paint grade, full length, non finger joint, except den. Den trim to be cherry. Note: Similar moldings of same dimensions from other companies may be substituted for Palm City Millwork profiles specified. Base - Palm City Millwork 202 (PCM). Window and door trim PCM 116 Window sill PCM 554B (with PCM 116 below) Crown - PCM 412A

## **DIVISION SEVEN - THERMAL AND MOISTURE PROTECTION**

**7.1 Insulation** Supply and install building insulation as required for the Work. Provide the following insulation: **All ceilings** R-30 batt insulation Provide 3/4" furring strips and R-4.2 fi-foil between furring strips on block walls . Provide 3/4" R5 foil faced foam over furring strips with gypsum board applied over foam insulation. Interior sound insulation to be R-11 batt.

**7.2 Roofing** Provide and Install Gerard Tile Gerard Shake per Dade County Product Approval.

**7.3 Flashing and Sheet Metal** Provide flashing and sheet metal not specifically described in other sections of these specifications, but required to prevent penetration of water through the exterior shell of the building complying with pertinent recommendations contained in the current edition of SMAACNA's "Architectural Sheet Metal Manual."

All flashing to be 16 ounce unless otherwise noted. Provide 16 ounce copper pans all doors that have less than a 10' overhang.

**7.4 Sealants and Caulkings** Standard caulking compound shall be a one part acrylic latex compound such as DAP latex caulk or Dewitt latex caulking. Color shall be manufacturer's standard paintable grade.

Provide primers, backup materials, bond-preventative materials, and other materials required for a complete and proper installation.

Joint filler shall be untarred oakum, fiberglass, polyurethane or polyurethane foam. Filler shall be compatible in all respects with caulking compound or sealant.

Standard caulking shall only be used for interior work. Sealant shall be used for all exterior caulking and both sides of expansion joints.

**Exterior sealant to one part Urethane, Tremco Dymonic or Sonneborn NP 1.Ultima.**

## **DIVISION EIGHT - DOORS AND WINDOWS**

**8.0 Impact resistance** Exterior doors and windows to have impact resistant glazing meeting the requirements of SSTD 12.

**8.1 Doors and Frames** Provide all doors and frames hung true and plumb as indicated on schedule. All interior doors to be flush birch, stain grade.

**8.2 Windows** Provide all windows as indicated on schedule. Install per product approval.

**8.3 Door Hardware** Door hardware to be Schlage series "A", style and finish to be selected.

**8.4 Mirrors** Provide clear plate glass mirrors as provided by allowance. Mirrors to be Type I, Class 1 (FS DD-G-451) with silver coating, copper protective coating and two (2) mil thick paint coating, comply with CS27. Provide mirrors as indicated on plans.

## **DIVISION NINE - FINISHES**

### **9.1 Gypsum Wallboard**

9.1a Work shall be done in strict accordance with the standards established in the U.S.G. Drywall Construction Handbook, latest edition, or comparable publication by other manufacturer, particularly in regard to fastener spacing and treatment of joints and corners.

9.1b All walls and ceilings to be slick finish.

9.1c Fasten wallboard with 1-1/4" type W bugle head screws. Space screws 12" on center on ceilings and 16" on center on walls.

9.1d Provide 1/2" gypsum board on all walls and 5/8" gypsum board on ceilings.

9.1e Provide a complete system of vinyl trim, (no metal.) (Corners, J-mold, etc.) Provide bull nose trim at all outside corners, door and window casing. (See Sheet T1)

9.1f All gypsum board in damp locations such as porch ceilings, baths, laundries, etc. to be moisture resistant. Shower surrounds to six feet above floor and tub surrounds to one foot above tub deck to be wonderboard or dens-glass underlayment.

## **9.2 Ceramic, Tile and Marble**

9.2a Comply with recommendations contained in the current edition of "Handbook for Ceramic Tile Installation" of the Tile Council of America.

9.2b Provide the ceramic tiles and marble as shown on drawings. Provide marble thresholds at doors indicated in door schedule. Provide non-slip or abrasive tiles on all floor surfaces. Provide colors and patterns as selected by Owner. Tile price to be covered by allowance.

## **9.3 Painting**

9.3a Prepare substrate and apply paint coatings in strict accordance with recommendations of the manufacturer of the approved paint system.

9.3b All surface shall be covered with the minimum number of coats as listed. Additional coverage shall be provided as required to cover all holidays.

9.3c Protect all exposed floors, porches, patios, walls, windows, etc. as required for full protection.

9.3d Sand with fine sandpaper between all coats applied to wood.

9.3e All coats must be thoroughly dry before application of additional coats.

9.3f Clean all surfaces, sand, putty and spackle as required before painting.

9.3g Finish tops and edges of all doors same as face. If bottom of door is cut, paint this surface.

9.3h Paint residue or overspray shall be removed from adjacent unpainted surfaces by painter.

9.3i Verify all stucco surfaces are properly cured before painting.

9.3j Exterior to receive one base color, one trim color and one ground floor color.

## **PAINTING SCHEDULE**

1. All paints to be Sherwin Williams or approved equal or as noted.
2. Exterior stucco: One (1) coat Mouriz Stucco primer. Two (2) coats Superpaint satin
3. Exterior wood: One (1) coat A100 wood primer; two (2) coats Superpaint gloss.
4. Interior Wallboard: One (1) coat Prepright high build primer, two (2) coats Cashmire medium luster.

5. Interior Ceilings: One (1) coat Prepright quick seal Two (2) coats Promar 200 flat Extra White.

6. Interior Doors and Trim: One (1) coat prep right quick seal, two (2) coats Promar 200 Int alkyd Gloss

## **DIVISION TEN - SPECIALTIES**

Provide specialties and install specialties as noted. Provide all blocking, recesses, etc. as required for installation of specialties.

**10.1 Bath Accessories** As provided by owner, installed by GC

**10.2 Shelving** All shelving closet maid, except master bedroom closets, California Closets by others.

## **DIVISION ELEVEN - EQUIPMENT**

Provide and install equipment as indicated. Provide all blocking, recesses, chases, power, etc. for installation of equipment. Provide Owner with all operation manuals, warranties etc. as provided with all equipment.

**11.2 Built-In Items** Attic access: Provide attic hatch(s) as indicated on plans.

### **11.3 Additional Equipment**

11.3a Garage door openers: Provide garage door opener(s) as required, 1/3 horse power. Verify manufacturer of garage door openers with owner.

## **DIVISION FIFTEEN - MECHANICAL**

### **15.1 Air Conditioning Systems**

15.1a Provide systems as shown on drawings, thermostat and controls as required to run system. HVAC contractor shall become familiar with site, documents pertaining to Scope of Work and general construction. He shall read and become familiar with specifications and shall perform his work in full accordance with all applicable paragraphs. Layout, balancing and testing necessary for complete installation of heating, ventilating and air conditioning systems as required by climate, nature of construction and site to the satisfaction of the Owner. This work includes, but is not limited to heating and cooling equipment, duct work, insulation, temperature controls, grilles and other items of equipment for a complete operating system. **SEER = 12.0 minimum.**

15.1b All grills to be standard size. Present plan showing grill locations to Architect for approval before fabricating duct work.

15.1c Provide condensate drain, 26 gauge galvanized auxiliary pan and drain to exterior.

15.1d Duct work shall be R-6 flexible duct or duct board.

15.1e Supply grills shall be white painted aluminum with opposed blade dampers. all dampers to have individual controls. all grills to be Metalaire or equal.

15.1f Provide air supply to all walk-in closets.

15.1g The A/C contractor to guarantee the system to maintain 75 degrees F at 91 degrees F outside temperature for cooling and 70 degrees F at 45 degrees F outside for heating.

## **15.2 PLUMBING**

15.2a Provide plumbing system, complete in place, tested and approved, where shown on drawings, as specified herein, and as needed for a complete and proper job.

15.2b All plumbing work and materials shall be in accordance with the latest edition of the Standard Plumbing Code, local ordinances and in compliance with the Energy Conservation Code.

15.2c Hose bibs shall be brass or bronze, fastened securely 18" above grade where shown on drawings. All hose bibs shall have a non-removable anti-syphon device installed.

15.2d Fixtures shall be protected against water hammer with air chambers when required.

15.2e Provide shut-off valves to all mains entering the building and each piece of equipment.

15.2f Install dielectric union at inlet and outlet of water heat. Install water heater in approved pan and provide drain line as required.

15.2g Building sewers, vents and all underground drainage lines shall be schedule 40PVC.

15.2h Water piping to be soft type L copper, under slab, hard above slab.

15.2j Insulation. Provide pipe insulation on refrigerant lines and domestic water lines as per industry standards. Insulation exposed to weather shall be protected as required.

15.2k Gather vents in attic as allowed and vent toward rear of house.



15.21 Provide 3/4" supply lines to master bedroom shower.

## **DIVISION SIXTEEN - ELECTRICAL**

### **Note:**

- 1) All switches and receptacles to be white Decora**
- 2) All dimmers to be slide type**
- 3) All fans to have slide speed controls**

### 16.1 Scope

Furnish all equipment and materials and perform all labor and services necessary to installation for a complete system for lighting and power. Each system shall be complete in all respects and shall be turned over to Owner in a first class operating condition and fully tested and complete with all devices which are normal for intended systems and those required for their safe operation.

### 16.2 Materials and Installation

Materials and manner of installation of electrical system shall be in strict accordance with the requirements of the local governing authorities having jurisdiction and the standards set forth by NFPA, U.L., or other recognized testing laboratories. The installation shall conform to the latest edition of the NEC.

16.3 Equipment mounted on the exterior of the building shall be designed, labeled and installed for exterior, weatherproof service conditions.

### 16.4 Service.

Contractor shall carry out all required arrangements with FPL for installation of the service, permits and inspection.

### 16.5 Telephone and Cable

Contractor shall furnish entrance service and distribution system with receptacles.

### 16.6 HVAC Wiring

Contractor shall provide wiring to air conditioning equipment including power wiring, control wiring and interlocking wiring in accordance with diagram as provided by Mechanical Subcontractor.

### 16.7 Panel Schedule

Panel shall be clearly marked as to all circuits.

Note: All decorative fixtures and ceiling fans to be supplied by Owner and installed by electrical Subcontractor.

# TOWN OF SEWALL'S POINT

E. DANIEL MORRIS  
Mayor

PAMELA M. BUSHA  
Vice Mayor

THOMAS P. BAUSCH  
Commissioner

NEIL SUBIN  
Commissioner

DON OSTEEN  
Commissioner



Town Manager

JOAN H. BARROW  
Town Clerk

LARRY E. McCARTY  
Chief of Police

## CERTIFICATE OF OCCUPANCY

Single Family Residence     Other \_\_\_\_\_

OWNER: LEONARD SCHMADER    PROPERTY ADDRESS: 102 HENRY SEWALL WAY

LEGAL DESCRIPTION: LOT 9    BLOCK \_\_\_\_\_    SUBDIVISION SEWALL'S MEADOW

GENERAL CONTRACTOR: STEPHAN CONWAY    LIC/CERT NO: LRC 053742

ARCHITECT OR ENGINEER: JOE McCARTY    LIC/CERT NO: \_\_\_\_\_

PERMIT NO: 7328 ; DATE OF ISSUE: \_\_\_\_\_ ; RENEWAL PERMIT NO: \_\_\_\_\_ ; DATE OF ISSUE: \_\_\_\_\_

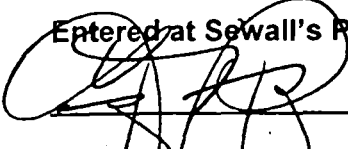
CODE ADDITION: 2001    TYPE: RESID.    USE: N/A    OCCUPANCY: N/A

OCCUPANT LOAD: N/A    SPRINKLERS REQUIRED: N/A    SPRINKLERS USED: N/A

The described portion of the structure has been inspected for compliance with the requirements of this Code for occupancy and division of occupancy and the use for which the proposed occupancy is classified.

In accordance with the requirements of the Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 11<sup>th</sup> day of July, 2006.

  
\_\_\_\_\_  
MCBO



Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org  
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

Job# 1368-13-01

FEDERAL EMERGENCY MANAGEMENT AGENCY  
NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No. 3067-0077  
Expires December 31, 2005

### ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-7.

SECTION A - PROPERTY OWNER INFORMATION		For Insurance Company Use:
BUILDING OWNER'S NAME <u>LEN SCHMADER</u>		Policy Number
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. <u>102 HOWRY SEWALL WAY</u>		Company NAIC Number
CITY <u>SEWALL'S POINT</u>	STATE <u>FL</u>	ZIP CODE <u>33496</u>
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <u>LOT 9 SEWALL'S MEADOW</u>		
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.) <u>RESIDENTIAL</u>		
LATITUDE/LONGITUDE (OPTIONAL) (##° - ##' - ###" or ###.####°)	HORIZONTAL DATUM: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983	SOURCE: <input type="checkbox"/> GPS (Type): _____ <input type="checkbox"/> USGS Quad Map <input type="checkbox"/> Other _____

#### SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER <u>120164 SEWALLS POINT</u>		B2. COUNTY NAME <u>MARION</u>	B3. STATE <u>FLA.</u>
B4. MAP AND PANEL NUMBER <u>12085C0162</u>	B5. SUFFIX <u>F</u>	B6. FIRM INDEX DATE <u>10/4/02</u>	B7. FIRM PANEL EFFECTIVE/REVISED DATE <u>10/4/02</u>
B8. FLOOD ZONE(S) <u>AE</u>		B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) <u>9.00</u>	

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.

FIS Profile  FIRM  Community Determined  Other (Describe): \_\_\_\_\_

B11. Indicate the elevation datum used for the BFE in B9:  NGVD 1929  NAVD 1988  Other (Describe): \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No  
Designation Date: \_\_\_\_\_

#### SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Building Diagram Number 1 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO  
Complete Items C3.a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.  
Datum NGVD 1929 Conversion/Comments NONE

Elevation reference mark used \_\_\_\_\_ Does the elevation reference mark used appear on the FIRM?  Yes  No

- a) Top of bottom floor (including basement or enclosure) \_\_\_\_\_ 9.13 ft.(m)
- b) Top of next higher floor \_\_\_\_\_ N/A ft.(m)
- c) Bottom of lowest horizontal structural member (V zones only) \_\_\_\_\_ N/A ft.(m)
- d) Attached garage (top of slab) \_\_\_\_\_ 6.2 ft.(m)
- e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area.) \_\_\_\_\_ 9.12 ft.(m)
- f) Lowest adjacent (finished) grade (LAG) \_\_\_\_\_ 5.8 ft.(m)
- g) Highest adjacent (finished) grade (HAG) \_\_\_\_\_ 6.10 ft.(m)
- h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade 2
- i) Total area of all permanent openings (flood vents) in C3.h: 1024 sq. ft. (sq. m)

License Number, Embossed Seal, Signature, and Date

6/27/06

P.S.M. # 4049

#### SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.  
I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.  
I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME <u>Stephen J. Brown</u>	LICENSE NUMBER <u>#4049</u>
TITLE <u>Surveyor &amp; Mapper</u>	COMPANY NAME <u>Stephen J. Brown, Inc.</u>
ADDRESS <u>619 E. 5th Street</u>	CITY <u>Stuart</u>
SIGNATURE	STATE <u>FL</u>
	ZIP CODE <u>34994</u>
	DATE <u>6/27/06</u>
	TELEPHONE <u>(772) 288-7176</u>

IMPORTANT: In these spaces, copy the corresponding information from Section A.			For Insurance Company Use:
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 102 HENRY SEWALL WAY			Policy Number
CITY STUART	STATE FLA	ZIP CODE	Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS

Check here if attachments

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zone AO and Zone A (without BFE), complete Items E1. through E5. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

- E1. Building Diagram Number \_\_\_\_\_ (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)
- E2. The top of the bottom floor (including basement or enclosure) of the building is \_\_\_\_\_ ft. (m) \_\_\_\_\_ in. (cm) \_\_\_\_\_ above or \_\_\_\_\_ below (check one) the highest adjacent grade. (Use natural grade, if available.)
- E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is \_\_\_\_\_ ft. (m) \_\_\_\_\_ in. (cm) above the highest adjacent grade. Complete Items C3.h and C3.i on front of form.
- E4. The top of the platform of machinery and/or equipment servicing the building is \_\_\_\_\_ ft. (m) \_\_\_\_\_ in. (cm) \_\_\_\_\_ above or \_\_\_\_\_ below (check one) the highest adjacent grade. (Use natural grade, if available.)
- E5. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, C (Items C3.h and C3.i only), and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, C, and E are correct to the best of my knowledge.*

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME

ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP CODE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ TELEPHONE \_\_\_\_\_

COMMENTS

Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

- G1.  The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor, engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER	G5. DATE PERMIT ISSUED	G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED
-------------------	------------------------	---

G7. This permit has been issued for:  New Construction  Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building is: \_\_\_\_\_ ft. (m) Datum: \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site is: \_\_\_\_\_ ft. (m) Datum: \_\_\_\_\_

LOCAL OFFICIAL'S NAME \_\_\_\_\_ TITLE \_\_\_\_\_

COMMUNITY NAME \_\_\_\_\_ TELEPHONE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

COMMENTS

Check here if attachments

Southern Irrigation, Inc.  
5207 SW Moore Street  
Palm City, FL 34990  
772-288-1883  
772-288-1894 fax

May 8, 2006

Town Of Sewalls Point  
15 Sewalls Point Road  
Sewalls Point, FL 34996

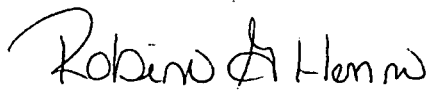
RE: Schmader residence / 102 Henry Sewalls Way

Mr. Gene Simmons:

As per section 22-146, the irrigation is installed as a low volume irrigation system with a rain sensor devise.

Martin County Competency #SP00734

Sincerely,



Robin G. Henn  
Sec. / Tres.

FILE  
7328

# OWNER'S AFFIDAVIT OF BUILDING COSTS

(To be submitted at time of final inspection for Certificate of Occupancy)

STATE OF FLORIDA  
MARTIN COUNTY

BEFORE ME, the undersigned authority, personally appeared the undersigned Affidavit, who, being first duly sworn, under penalty of perjury, deposes and says:

1. That Affidavit is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affidavit's signature.
2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 450,000.
4. That this Affidavit is made for the purpose of inducing the Building Official of the Town to issue a Certificate of Occupancy for the improvements, with the intention that it be relied upon for that purpose.

Permit was for  
\$450,000  
S. Waters

Affidavit's Signature:

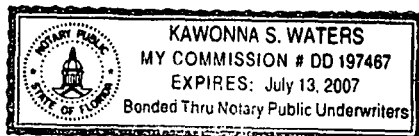
[Handwritten Signature]

Property Address:

102 HENRY SEWALL WAY  
SEWALL'S POINT, FL 34996

day  
or  
ion.

2007



Southern Irrigation, Inc.  
5207 SW Moore Street  
Palm City, FL 34990  
772-288-1883  
772-288-1894 fax

May 8, 2006

Town Of Sewalls Point  
15 Sewalls Point Road  
Sewalls Point, FL 34996

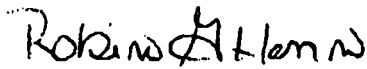
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Mr. Gene Simmons:

As per section 22-146, the irrigation is installed as a low volume irrigation system with a rain sensor devise.

Martin County Competency #SP00734

Sincerely,



Robin G. Henn  
Sec. / Tres.

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE SCORE\* = 83.9**

**The higher the score, the more efficient the home.**

MCCARTY, , , ,

New construction or existing	New	___	12. Cooling systems	
Single family or multi-family	Single family	___	a. Central Unit	Cap: 24.0 kBtu/hr ___ SEER: 12.00 ___
Number of units, if multi-family	1	___	b. Central Unit	Cap: 50.0 kBtu/hr ___ SEER: 12.00 ___
Number of Bedrooms	3	___	c. N/A	___
5. Is this a worst case?	No	___	13. Heating systems	
6. Conditioned floor area (ft <sup>2</sup> )	2675 ft <sup>2</sup>	___	a. Electric Strip	Cap: 16.0 kBtu/hr ___ COP: 1.00 ___
7. Glass area & type	Single Pane	Double Pane	b. Electric Strip	Cap: 34.0 kBtu/hr ___ COP: 1.00 ___
a. Clear - single pane	137.5 ft <sup>2</sup>	0.0 ft <sup>2</sup>	c. N/A	___
b. Clear - double pane	616.4 ft <sup>2</sup>	0.0 ft <sup>2</sup>	14. Hot water systems	
c. Tint/other SHGC - single pane	0.0 ft <sup>2</sup>	0.0 ft <sup>2</sup>	a. Electric Resistance	Cap: 50.0 gallons ___ EF: 0.92 ___
d. Tint/other SHGC - double pane			b. N/A	___
8. Floor types			c. Conservation credits	
a. Slab-On-Grade Edge Insulation	R=0.0, 289.0(p) ft	___	(HR-Heat recovery, Solar	
b. N/A		___	DHP-Dedicated heat pump)	
c. N/A		___	15. HVAC credits	MZ-C, PT, CF, MZ- ___
9. Wall types			(CF-Ceiling fan, CV-Cross ventilation,	
a. Concrete Bead, Polystyrene Bead Concrete	R=5.0, 496.0 ft <sup>2</sup>	___	HF-Whole house fan,	
b. Bead, Polystyrene Bead Aggregate,	R=5.0, 1979.0 ft <sup>2</sup>	___	PT-Programmable Thermostat,	
c. Exterior		___	MZ-C-Multizone cooling,	
d. N/A		___	MZ-H-Multizone heating)	
e. N/A		___		
10. N/A				
a. N/A	R=19.0, 2675.0 ft <sup>2</sup>	___		
b. Ceiling types	R=19.0, 236.0 ft <sup>2</sup>	___		
c. Under Attic		___		
11. Ducts				
a. Sup: Unc. Ret: Unc. AH: Garage	Sup. R=6.0, 200.0 ft	___		
b. Sup: Unc. Ret: Unc. AH: Garage	Sup. R=6.0, 250.0 ft	___		
N/A		___		
N/A		___		

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: \_\_\_\_\_

Date: 6-26-08

Address of New Home: 102 Henry Sullivan Way

City/FL Zip: 34994



\*NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at [www.fsec.ucf.edu](http://www.fsec.ucf.edu) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.

EnergyGauge® (Version: FLR2PB v3.30)



**NOTICE OF INSPECTION  
AND/OR TREATMENT  
Section 482.226, Fl. statutes**

Date of inspection \_\_\_\_\_  
Date of treatment 6/26/06  
Pesticide used Dragnet, 5%<sup>o</sup>  
Wood-destroying organism treated  
Final Spray

**SOUTHCOAST PEST CONTROL  
3849 NE LINDA DR.  
JENSEN BEACH, FL 34957  
772-370-4120**



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(561) 287-2455

### CORRECTION NOTICE

ADDRESS: 102 HENRY SEWALL

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

STEM WALL FOOTING

F-1 FOOTERS MISSING #5  
TRANSVERSE BARS TOP @  
12" O.C.

NEED ENGR. LETTER ADDRESSING  
MISSING DWELS ON NORTH  
& SOUTH FOOTINGS

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/2

[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/2, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7233	CLEMENTS	POOL REMOVAL	PASS	
1	6 MIDDLE RD O/B	PRE POOR FOOTERS		INSPECTOR: <i>AW</i>
7345	BAUER	DRY-IN	FAIL	
6	18 RIO VISTA DR FLORIDA REEROOFING			INSPECTOR: <i>AW</i>
13	STEWART	TREE	PASS	
	2 KNOWLES RD			INSPECTOR: <i>AW</i>
<del>7378</del>	<del>SOMADER</del>	<del>FOOTER STEEL</del>	<del>FAIL</del>	<del>REINSPECTED CORRECTIONS</del>
5	102 HENRY SEWALL CONWAY	PRE POOR	PASS	INSPECTOR: <i>AW</i>
6719	DONOHUE	ROUGH DUMPING	FAIL	
4	163 S. SEWALLS Pt Hau-Sammens	MUB - 203-3400		INSPECTOR: <i>AW</i>
2	Topping	TREE	PASS	
	7 MIDDLE ROAD			INSPECTOR: <i>AW</i>
7314	MUIR	DRY-IN	FAIL	
14	14 PERRIN WINKLE LA AFTERMATH CONST.			INSPECTOR: <i>AW</i>
OTHER:				

**V.J. GERLEY & ASSOCIATES**

**STRUCTURAL ENGINEERS**

3180 N.E. MAPLE AVE  
JENSEN BEACH, FLORIDA 34957  
TEL 772 334-2600  
FAX 772 334-2603

March 2, 2005

Mr. Phil Wintercorn  
Sewall's Point Building Inspector

*PN # 7328*  
*102 HENRY SEWALL*

*FILE*

Re: **SCHMADER RESIDENCE**  
**SEWALL'S POINT, FLORIDA**

Dear Mr. Wintercorn:

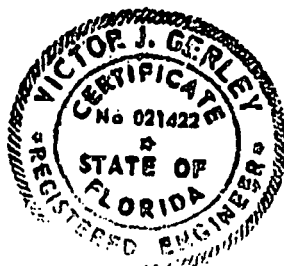
The installation of #5@48" reinforcing for the block walls from footing to finished floor slab is structurally acceptable.

Should you have any questions, please feel free to contact me.

Sincerely,

V.J. GERLEY AND ASSOCIATES

*[Handwritten Signature]*  
Victor J. Gerley, P.E.  
#21422



VJG/sp

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/11, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7309	BABUE	FINAL ROOF	PASS	CLOSE
3	101 S. SEWALLS PT TACHENY ROO			INSPECTOR:
7350	GOVEL	CONCRETE	PASS	
1	5 RIVERVIEW DR O/B	FORM BOARD EARLY PLEASE		INSPECTOR:
7143	ALLMAN	FENCE FINAL	PASS	CLOSE
2	106 S. RIVER RD O/B			INSPECTOR:
6753	RADER	TRUSS	FAIL	
5	5 HERITAGE WAY A & P CONSTRUCTION			INSPECTOR:
7349	MAUD	ELEC. FINAL	—	WILL RECHECK
8	21 N. RIVER RD KRAUSS + CRANE	DOCK		INSPECTOR:
7288	PETERSON	DEIN	PASS	
4	49 RIO VISTA DR PACIFIC ROOFING			INSPECTOR:
<del>7328</del>	<del>SELMADGE</del>	<del>SEWALLS PT</del>	<del>PASS</del>	
1A	102 HENRY SEWALL CONWAY			INSPECTOR:
<b>OTHER:</b> 3 LAGOONS — ISSUED STOP WORK ORDER —				

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/16, 20015 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6917	SEYMOUR	FINAL	FAIL	NO ACCESS
10	73 S. SEWALL ST O/B	REPAIR DRYWALL, ELEC, CABINETS		INSPECTOR: <i>[Signature]</i>
7391	CONRAD	IN PROG	PASS	ROOF SHEATHING ONLY
8	9 S. VIA LUCINDIA STUART ROOFING			INSPECTOR: <i>[Signature]</i>
7159	STAW	FINAL FOUNDATION	PASS	CLOSE
13	78 N. SEWALL ST SWISS AM CONST	RESTORATION		INSPECTOR: <i>[Signature]</i>
6741	<del>OSTEEN</del>	<del>DRIVEWAY</del>	<del>CANCEL</del>	
7	1 RIDGEVIEW RD ANGUS ENT			INSPECTOR:
TREE	SMITH	TREE	PASS	
4	7 SIMONA STREET			INSPECTOR: <i>[Signature]</i>
7039	KEARNS/PAGE	DRY-IN	PASS	
5	6 LANTANA LA O/B			INSPECTOR: <i>[Signature]</i>
<del>7328</del>	<del>SALMADER</del>	<del>TEMP POWER POLE</del>	<del>PASS</del>	<del>CALL FIRE DEPT</del>
2	102 HENRY SEWALL CONWAY			DONE INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_



## A. M. ENGINEERING AND TESTING, INC.

860 JUPITER PARK DRIVE, UNIT #1

JUPITER, FLORIDA 33458

LOCAL OFFICE: (561) 745-1060 FAX: (561) 745-0981

### REPORT OF FOUNDATION PAD COMPACTION

Client: **Mr. Steve Conway**  
**4 Oak Hill Way**  
**Stuart, Florida 34996**

Site: **102 Henry Sewall, Sewalls Point,**  
**Stuart, Martin County, Florida**  
**Foundation Pad for Garage**

Report Date: April 14, 2005

Project No: 1521

Report No: 1

Permit No: 20057328

*FILE*

Density tests and Hand Cone Penetrometer (HCP) readings were made below slab grade to a depth of one foot at a minimum of three locations in the building pad. At the time of our testing no information was available regarding the foundation pad setbacks. The density tests were performed in general compliance with ASTM D 2922. The HCP test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.

Density Test No.	Date Tested	Location	Elevation (feet)	Dry Density (pcf)		Percent Compaction
				In Place	Proctor	
1	4/12/05	Center East Half	0-1	111.0	114.1	97.3
2		Center West Half	0-1	110.1	114.1	96.5
3		Center, North Footing	1-2	109.8	114.1	96.2

\* All elevations are below slab grade.

In the locations and depths that were tested, the soil has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557). No soil borings were performed beneath the footprint of the proposed construction.

#### Distribution:

Client (3)  
 Sewall's Point Building Department (1)

KF/dj

#### Submitted by:

A. M. ENGINEERING AND TESTING, INC.

*Kevin Ferguson* 4/14/05

Kevin Ferguson, P.E.  
 Florida Registration No. 60712

860 Jupiter Park Drive, Unit #1  
Jupiter, Florida 33458  
561-745-1060 Office  
561-745-0981 Facsimile  
1-888-339-7645 Toll Free



# Fax

To: Sewall's Point Building Department	From: Danielle Johnson
Fax: 1-772-220-4765	Pages: 2
Phone:	Date: April 18, 2005
Re: 102 Henry Sewall, Sewalls Point	CC:

Urgent     For Review     Please Comment     Please Reply     Please Recycle

● Comments:





## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 102 HENRY SEWALL

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SLAB

MISSING APPROVED DRAWINGS  
MISSING FORMBOARD SETBACK  
MISSING COMPACTION TEST

\$40 FEE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/18

[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/18, 20015 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7328</del>	<del>SCHWABER</del>	<del>Pre-Pour Slab</del>	<del>FAIL</del>	
2	102 Henry Sewall CONWAY		PASS FEE PAID	\$40 FEE INSPECTOR: <i>OM</i>
7482	MCAULPIN	PAVER WALKWAY	PASS	CLOSE
3	5 PINEAPPLE LA US BRICK & BLOCK			INSPECTOR: <i>OM</i>
7335	<del>      </del> NANT BOSCH	MECH	PASS	
4	36 S. RIVER RD FIRST FLORIDA	PLUMBING <del>PLUMBING</del>	PASS FAIL	INSPECTOR: <i>OM</i>
7084	MAUD	Dock Repair Form		CANCEL
	21 N. RIVER RD OB			INSPECTOR:
77	HONETAN	TREE	PASS	
	7 COPAIRE			INSPECTOR:
	MCAULPIN	TREE	PASS	
	5 PINEAPPLE			INSPECTOR: <i>OM</i>
				TALKED w/ owner
	24 SIMARA			INSPECTOR: <i>OM</i>
OTHER:	MUSCARTELLO	DRY-IN	PASS	
7209	10 PINEAPPLE EVENBY			<i>OM</i>



## A. M. ENGINEERING AND TESTING, INC.

860 JUPITER PARK DRIVE, UNIT #1

JUPITER, FLORIDA 33458

LOCAL OFFICE: (561) 745-1060 FAX: (561) 745-0981

### REPORT OF FOUNDATION PAD COMPACTION

Client: **Mr. Steve Conway**  
**4 Oak Hill Way**  
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Site: **102 Henry Sewall, Sewalls Point,**  
**Stuart, Martin County, Florida**  
**Foundation Pad for Garage**

Report Date: April 14, 2005

Project No: 1521

Report No: 1

Permit No: 20057328

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#### Distribution:

Client (3)  
 Sewall's Point Building Department (1)

KF/dj

#### Submitted by:

A. M. ENGINEERING AND TESTING, INC.

Kevin Ferguson, P.E.  
 Florida Registration No. 60712



# A. M. ENGINEERING AND TESTING, INC.

860 JUPITER PARK DRIVE, UNIT #1  
JUPITER, FLORIDA 33458  
LOCAL OFFICE: (561) 745-1060 FAX: (561) 745-0981

## REPORT OF STEM WALL BACKFILL COMPACTION

Client: **Mr. Steve Conway**  
**4 Oak Hill Way**  
**Stuart, Florida 34996**

Report Date: **April 6, 2005**  
Project No: **05-1218**  
Report No:

Site: **102 Henry Sewall Way, Sewall's Point,**  
**Martin County, Florida**  
**Stem Wall Backfill (Slab Area)**

Permit No:

Density tests and Hand Cone Penetrometer (HCP) readings were made in the stem wall backfill (slab area) to depths of at least four feet at a minimum of three locations. At the time of our testing no information was available regarding the foundation setbacks. The density tests were performed in general compliance with ASTM D 2922. The HCP test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.

Density Test No.	Date Tested	Location	Elevation (feet)	Dry Density (pcf)		Percent Compaction
				In Place	Proctor	
1	4/3/05	Souteast Corner	0-1	103.8	106.0	97.9
2		Northeast Corner	0-1	102.4	106.0	96.6
3		Center Area	0-1	101.8	106.0	96.0
4		Northwest Corner	0-1	102.1	106.0	96.3

\* All elevations are below slab grade.

In the locations and depths that were tested, the stem wall backfill (slab area) has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557). No soil borings were performed beneath the footprint of the proposed construction.

### Distribution:

Client (3)  
Sewall's Point Building Department (1)

KF/dj

### Submitted by:

A. M. ENGINEERING AND TESTING, INC.

*Kevin Ferguson* 4/13/05

Kevin Ferguson, P.E.  
Florida Registration No. 60712



## A. M. ENGINEERING AND TESTING, INC.

860 JUPITER PARK DRIVE, UNIT #1

JUPITER, FLORIDA 33458

LOCAL OFFICE: (561) 745-1060 FAX: (561) 745-0981

### REPORT OF STEM WALL FOOTING COMPACTION

Client: **Mr. Steve Conway**  
**4 Oak Hill Way**  
**Stuart, Florida 34996**

Report Date: **March 2, 2005**  
 Project No: **05-1132**  
 Report No: **----**

Site: **102 Henry Sewall Way, Sewall's Point,**  
**Martin County, Florida**  
**Stem Wall Footing**

Permit No: **7328**

Density tests and Hand Cone Penetrometer (HCP) readings were made below footing grade to a depth of one foot at a minimum of three locations. At the time of our testing no information was available regarding the foundation setbacks. The density tests were performed in general compliance with ASTM D 2922. The HCP test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.

Density Test No.	Date Tested	Location	Elevation (feet)	Dry Density (pcf)		Percent Compaction
				In Place	Proctor	
1	3/1/05	Center, South Side	0-1	106.7	107.6	99.2
2		Southwest Corner	0-1	105.8	107.6	98.3
3		Northwest Corner	0-1	107.0	107.6	99.4
4		Northeast Corner	0-1	106.3	107.6	98.8
5		Southeast Corner	0-1	106.9	107.6	99.3

\* All elevations are below footing grade.

In the locations and depths that were tested, the soil beneath the footings has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557). No soil borings were performed beneath the footprint of the proposed construction.

Additional compaction tests are required for the stem wall backfill beneath the slab.

Distribution:  
 Client (3)  
 Sewall's Point Building Department (1)

KF/mo

Submitted by: **KEVIN FERGUSON**  
**A.M. ENGINEERING AND TESTING, INC.**

**Kevin Ferguson, P.E.**  
**Florida Registration No. 68732**

**Joseph P. McCarty, Architect**

900 East Osceola Street  
Stuart, Florida, 34994  
772-287-6735 fax: 772-287-4618

---

DPR Registration Number 9639

April 13, 2005

Gene Simmons, CBO  
Town of Sewalls Point  
One South Sewalls Point Road  
Sewalls Point, Florida  
34996

RE: Schmader Residence, Lot 9 Sewalls Meadow #7328

Dear Gene,

Please be advised that a stem wall will need to be constructed to bring A/C equipment up to FEMA flood level. The footing for this stem wall will be a standard F2 footing with #5 vertical 48" on center and all cells filled. There will be 5x12 foot slab supported by this stem wall on the master bedroom side of the house and a 6x6 foot slab supported by stem wall on the garage side of the house.

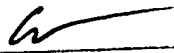
Sincerely,

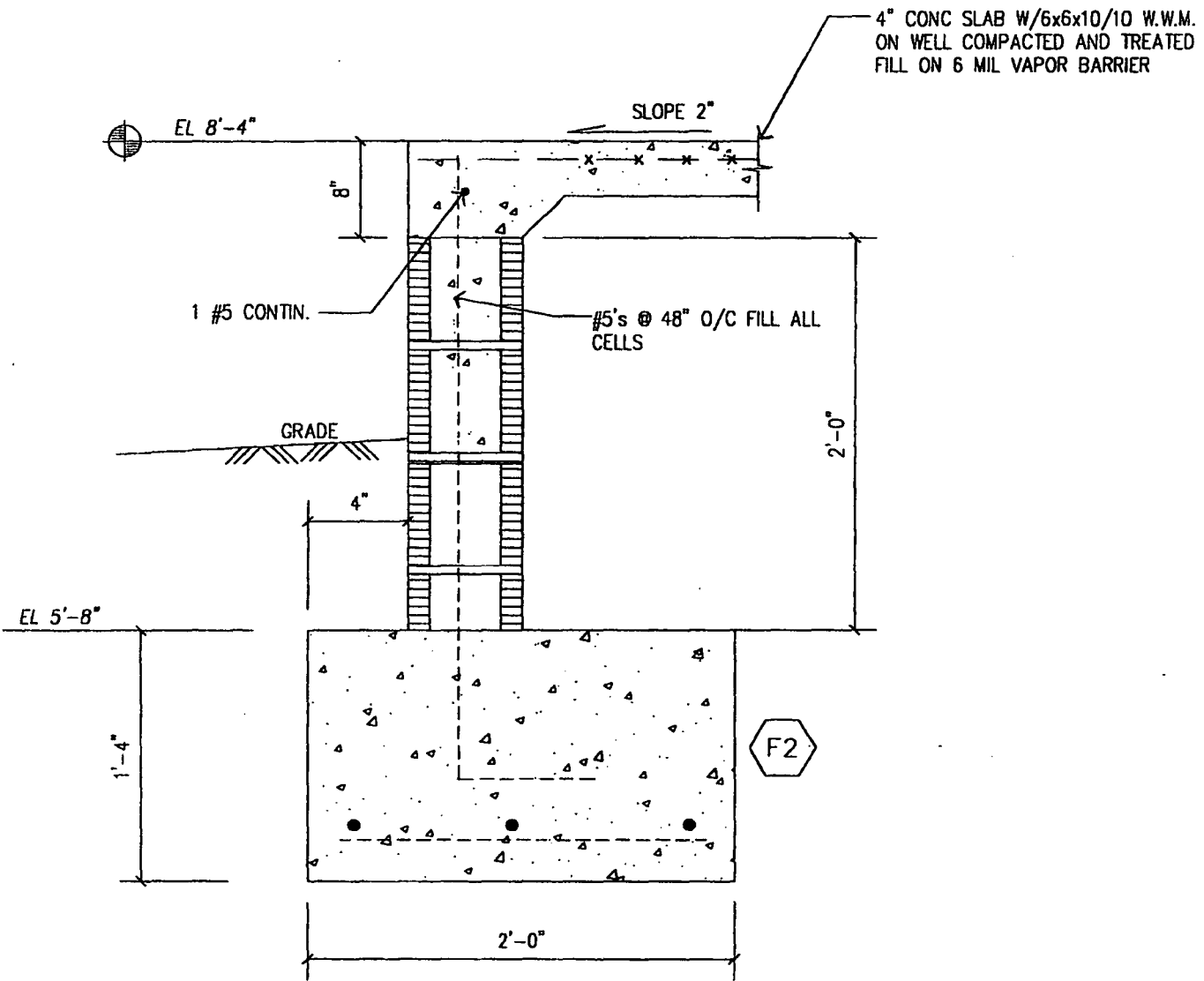
  
Joseph P. McCarty

REVISED PLAN SET

Revision No: 1

Date Approved: 4/18/05

FIELD COPY TOWN OF SEWALL'S POINT THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE DATE: <u>4/18/05</u>  BUILDING OFFICIAL Gene Simmons
---



4" CONC SLAB W/6x6x10/10 W.W.M.  
ON WELL COMPACTED AND TREATED  
FILL ON 6 MIL VAPOR BARRIER

SLOPE 2"

EL 8'-4"

8"

1 #5 CONTIN.

#5's @ 48" O/C FILL ALL  
CELLS

GRADE

2'-0"

4"

EL 5'-8"

1'-4"

F2

2'-0"

### ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

SECTION A - PROPERTY OWNER INFORMATION		For Insurance Company Use:
BUILDING/OWNER'S NAME <u>LEN SCHMADER</u>		Policy Number
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. <u>102 HENRY SEWALL WAY</u>		Company NAIC Number
CITY <u>SEWALL'S POINT</u>	STATE <u>FL</u>	ZIP CODE <u>34996</u>
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <u>LOT 9 SEWALL'S MEADOW</u>		
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.) <u>RESIDENTIAL</u>		
LATITUDE/LONGITUDE (OPTIONAL) (##° - ##' - ###.###" or ##.#####°)	HORIZONTAL DATUM: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983	SOURCE: <input type="checkbox"/> GPS (Type): _____ <input type="checkbox"/> USGS Quad Map <input type="checkbox"/> Other _____

#### SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER <u>120164 SEWALLS POINT</u>		B2. COUNTY NAME <u>MARTIN</u>		B3. STATE <u>FLA.</u>	
B4. MAP AND PANEL NUMBER <u>12085C0162</u>	B5. SUFFIX <u>F</u>	B6. FIRM INDEX DATE <u>10/4/02</u>	B7. FIRM PANEL EFFECTIVE/REVISED DATE <u>10/4/02</u>	B8. FLOOD ZONE(S) <u>AE</u>	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) <u>9.00</u>

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.  
 FIS Profile  FIRM  Community Determined  Other (Describe): \_\_\_\_\_

B11. Indicate the elevation datum used for the BFE in B9:  NGVD 1929  NAVD 1988  Other (Describe): \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No  
 Designation Date: \_\_\_\_\_

#### SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
 \*A new Elevation Certificate will be required when construction of the building is complete.

C2. Building Diagram Number 1 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO  
 Complete Items C3.a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.  
 Datum NGVD 1929 Conversion/Comments NONE

Elevation reference mark used \_\_\_\_\_ Does the elevation reference mark used appear on the FIRM?  Yes  No

<input type="checkbox"/> a) Top of bottom floor (including basement or enclosure)	<u>9.13</u> ft.(m)
<input type="checkbox"/> b) Top of next higher floor	<u>N/A</u> ft.(m)
<input type="checkbox"/> c) Bottom of lowest horizontal structural member (V zones only)	<u>N/A</u> ft.(m)
<input type="checkbox"/> d) Attached garage (top of slab)	<u>6.2</u> ft.(m)
<input type="checkbox"/> e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area.)	_____ ft.(m)
<input type="checkbox"/> f) Lowest adjacent (finished) grade (LAG)	<u>5.4</u> ft.(m)
<input type="checkbox"/> g) Highest adjacent (finished) grade (HAG)	_____ ft.(m)
<input type="checkbox"/> h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade	<u>N/A</u>
<input type="checkbox"/> i) Total area of all permanent openings (flood vents) in C3.h	<u>N/A</u> sq. in. (sq. cm)

License Number, Embossed Seal, Signature, and Date  
P.S.M. #4049

#### SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.  
 I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.  
 I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME <u>Stephen J. Brown</u>	LICENSE NUMBER <u>#4049</u>
TITLE <u>Surveyor &amp; Mapper</u>	COMPANY NAME <u>Stephen J. Brown, Inc.</u>
ADDRESS <u>619 E 5th Street</u>	CITY <u>Stuart</u>
SIGNATURE	STATE <u>FL</u>
	ZIP CODE <u>34994</u>
	TELEPHONE <u>(772) 288-7176</u>



IMPORTANT: In these spaces, copy the corresponding information from Section A.			For Insurance Company Use:
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 102 HENRY SEWALL WAY		Policy Number	
CITY STUART	STATE FLA	ZIP CODE	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zone AO and Zone A (without BFE), complete Items E1. through E5. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

- E1. Building Diagram Number \_\_\_\_\_ (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)
- E2. The top of the bottom floor (including basement or enclosure) of the building is \_\_\_\_\_ ft. (m) \_\_\_\_\_ in. (cm) \_\_\_\_\_ above or \_\_\_\_\_ below (check one) the highest adjacent grade. (Use natural grade, if available.)
- E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is \_\_\_\_\_ ft. (m) \_\_\_\_\_ in. (cm) above the highest adjacent grade. Complete Items C3.h and C3.i on front of form.
- E4. The top of the platform of machinery and/or equipment servicing the building is \_\_\_\_\_ ft. (m) \_\_\_\_\_ in. (cm) \_\_\_\_\_ above or \_\_\_\_\_ below (check one) the highest adjacent grade. (Use natural grade, if available.)
- E5. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, C (Items C3.h and C3.i only), and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, C, and E are correct to the best of my knowledge.*

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME

ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP CODE \_\_\_\_\_  
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ TELEPHONE \_\_\_\_\_

COMMENTS

Check here if attachments

- The local off
- Sections A, B,
- G1.  The
- eng
- ele
- G2.  A c
- Zo
- G3.  Th
- G4. PERMI
- G7. This p
- G8. Elevati
- G9. BFE o

**RECEIPT**

DATE APRIL 18, 2005 No. 075334

RECEIVED FROM CONWAY / SCHMADER \$ 40.00

FORTY AND 00/100 DOLLARS

FOR RENT  
 FOR REINSPECTION FEE 7328

ACCOUNT		<input type="radio"/> CASH
PAYMENT		<input checked="" type="radio"/> CHECK
BAL. DUE		<input type="radio"/> MONEY ORDER

FROM \_\_\_\_\_ TO \_\_\_\_\_  
BY [Signature]

2701

LOCAL OFFICIAL

COMMUNITY NAME \_\_\_\_\_ TELEPHONE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

COMMENTS

Check here if attachments

Job# 1368-13-01

FEDERAL EMERGENCY MANAGEMENT AGENCY  
NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No. 3067-0077  
Expires December 31, 2005

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

SECTION A - PROPERTY OWNER INFORMATION		For Insurance Company Use:
BUILDING OWNER'S NAME <u>LEN SCHMADER</u>		Policy Number
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. <u>10<sup>1/2</sup> HENRY SEWALL WAY</u>		Company NAIC Number
CITY <u>GEWAWAY POINT</u>	STATE <u>FL</u>	ZIP CODE <u>32996</u>
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <u>LOT 9 SEWALL MEADOW</u>		
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.) <u>RESIDENTIAL</u>		
LATITUDE/LONGITUDE (OPTIONAL) (##° - ##' - ##.###" or ###.#####°)		HORIZONTAL DATUM: SOURCE: <input type="checkbox"/> GPS (Type): <input type="checkbox"/> USGS Quad Map <input type="checkbox"/> Other

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER <u>120164 SEWALLS POINT</u>		B2. COUNTY NAME <u>MARTIN</u>		B3. STATE <u>FLA.</u>	
B4. MAP AND PANEL NUMBER <u>12085C0162</u>	B5. SUFFIX <u>F</u>	B6. FIRM INDEX DATE <u>10/4/02</u>	B7. FIRM PANEL EFFECTIVE/REVISED DATE <u>10/4/02</u>	B8. FLOOD ZONE(S) <u>AE</u>	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) <u>9.00</u>

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.  
 FIS Profile  FIRM  Community Determined  Other (Describe): \_\_\_\_\_

B11. Indicate the elevation datum used for the BFE in B9:  NGVD 1929  NAVD 1988  Other (Describe): \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No  
Designation Date: \_\_\_\_\_

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

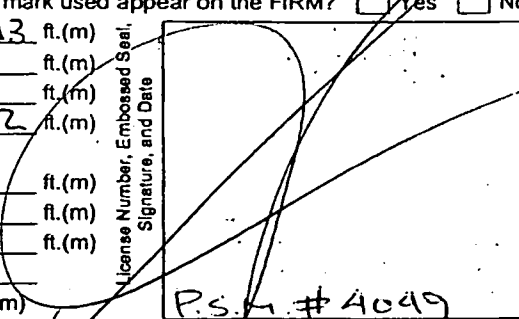
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\*A new Elevation Certificate will be required when construction of the building is complete.

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Complete Items C3.a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.

Datum NGVD 1929 Conversion/Comments None

Elevation reference mark used \_\_\_\_\_ Does the elevation reference mark used appear on the FIRM?  Yes  No

<input type="checkbox"/> a) Top of bottom floor (including basement or enclosure)	<u>9.13</u> ft.(m)	License Number, Embossed Seal, Signature, and Date  <u>P.S.# 4049</u>
<input type="checkbox"/> b) Top of next higher floor	<u>N/A</u> ft.(m)	
<input type="checkbox"/> c) Bottom of lowest horizontal structural member (V zones only)	<u>N/A</u> ft.(m)	
<input type="checkbox"/> d) Attached garage (top of slab)	<u>6.2</u> ft.(m)	
<input type="checkbox"/> e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area.)	_____ ft.(m)	
<input type="checkbox"/> f) Lowest adjacent (finished) grade (LAG)	<u>5.4</u> ft.(m)	
<input type="checkbox"/> g) Highest adjacent (finished) grade (HAG)	_____ ft.(m)	
<input type="checkbox"/> h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade	<u>N/A</u>	
<input type="checkbox"/> i) Total area of all permanent openings (flood vents) in C3.h	<u>N/A</u> sq. in. (sq. cm)	

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME: Stephen J. Brown LICENSE NUMBER: #4049

TITLE: Surveyor & Mapper COMPANY NAME: Stephen J. Brown, Inc.

ADDRESS: 619 E 5th Street CITY: Stuart STATE: FL ZIP CODE: 34994

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_ TELEPHONE: (772) 288-7176

IMPORTANT: In these spaces, copy the corresponding information from Section A.			For Insurance Company Use:
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 102 HENRY SEWALL WAY			Policy Number
CITY STUART	STATE FLA	ZIP CODE	Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS

| | Check here if attachments

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zone AO and Zone A (without BFE), complete Items E1. through E5. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

- E1. Building Diagram Number \_\_\_\_ (Select the building diagram most similar to the building for which this certificate is being completed – see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)
- E2. The top of the bottom floor (including basement or enclosure) of the building is \_\_\_\_ ft. (m) \_\_\_\_ in. (cm) \_\_\_\_ above or \_\_\_\_ below (check one) the highest adjacent grade. (Use natural grade, if available.)
- E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is \_\_\_\_ ft. (m) \_\_\_\_ in. (cm) above the highest adjacent grade. Complete Items C3.h and C3.i on front of form.
- E4. The top of the platform of machinery and/or equipment servicing the building is \_\_\_\_ ft. (m) \_\_\_\_ in. (cm) \_\_\_\_ above or \_\_\_\_ below (check one) the highest adjacent grade. (Use natural grade, if available.)
- E5. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? | Yes | No | Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, C (Items C3.h and C3.i only), and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, C, and E are correct to the best of my knowledge.*

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME

ADDRESS CITY STATE ZIP CODE

SIGNATURE DATE TELEPHONE

COMMENTS

| | Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

- G1.  The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor, engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER	G5. DATE PERMIT ISSUED	G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED
-------------------	------------------------	---

G7. This permit has been issued for:  New Construction  Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building is: \_\_\_\_\_ ft. (m) Datum: \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site is: \_\_\_\_\_ ft. (m) Datum: \_\_\_\_\_

LOCAL OFFICIAL'S NAME TITLE

COMMUNITY NAME TELEPHONE

SIGNATURE DATE

COMMENTS

| | Check here if attachments

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log


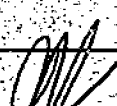
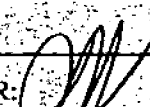


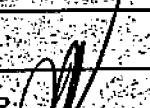
Date of Inspection:  Mon  Wed  Fri 5/4/05, 2002 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6741	Osteen	Electrical - Final		NEEDS POWER
9	1 S. Ridgview Rd	POWER RELEASE	PASS	RELEASE PERM.
	Angus Enterp.			INSPECTOR: <i>[Signature]</i>
7481	Millard	Final A/C	PASS	CLOSE
12	5 India Lucie Pkwy			
	O/B			INSPECTOR: <i>[Signature]</i>
6614	Mubson	Fountain	PASS	
11	17 S. River Road			
	Advantage Pools			INSPECTOR: <i>[Signature]</i>
7516	Ferrero	Roofing Insp.		Reinspection
	4 Kingston Court	Rough Gas		Cancelled - no fee paid
	Control			INSPECTOR: <i>[Signature]</i>
7512	Lenhan	Dry-in	PASS	MUST RESUBMIT
8	25 Lantana Lane	Sheeting		REVISED PRODUCT
	Collins Roofing			INSPECTOR: <i>[Signature]</i>
7371	O'Connor	Final - Roofs	FAIL	
10	14 E. Manta Way			
	Tuttle Roofing			INSPECTOR: <i>[Signature]</i>
7328	<del>Schmader</del>	<del>Column Steel</del>	<del>PASS</del>	
4	<del>Henry Sewall Sub</del>			
	<del>Conroy</del>			INSPECTOR: <i>[Signature]</i>
OTHER: <u>3 N.E. LABONDIE FINAL DICK PASS</u>				

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 5/16, 20015 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7540	LIZANO	DRY-IN	PASS	
3	16 CRANE'S NEST			INSPECTOR: 
	A+ BUILDER+ CONTR.			
<del>7489</del>	<del>HARRIGAN</del>	<del>SCR. FENCE FINAL</del>		<del>CYL</del>
	2 PALMETTO DR			INSPECTOR:
	ADAM PAZZAGLIA			
7380	BONIFACE	SHOWER PAN	PASS	
4	63 RIVER RD			INSPECTOR: 
	WILSON BUILDERS			
7117	MCGRATH	WINDOW BOX	PASS	PARTIAL
2	123 S. SEWALL ST	PARTIAL		INSPECTOR: 
	O/B			
7468	DUNN	FENCE FINAL	PASS	CLOSE
5	48 RIO VISTA			INSPECTOR: 
	STUART FENCE			
<del>7328</del>	<del>SCHMADER</del>	<del>TIE BEAM</del>	<del>PASS</del>	
1	102 HENRY SEWALL			INSPECTOR: 
	O/B			
6753	MAOER	LATH	FAIL	
6	5 HERITAGE WAY			INSPECTOR: 
	A+P CONSTR			

OTHER:

**Joseph P. McCarty, Architect**  
900 East Osceola Street  
Stuart, Florida, 34994  
772-287-6735 fax: 772-287-4618

DPR Registration Number 9639

April 13, 2005

Gene Simmons, CBO  
Town of Sewalls Point  
One South Sewalls Point Road  
Sewalls Point, Florida  
34996

102 Henry Sewallway

RE: Schmader Residence, Lot 9 Sewalls Meadow # 7328

Dear Gene,

Please be advised that a stem wall will need to be constructed to bring A/C equipment up to FEMA flood level. The footing for this stem wall will be a standard F2 footing with #5 vertical 48" on center and all cells filled. There will be 5x12 foot slab supported by this stem wall on the master bedroom side of the house and a 6x6 foot slab supported by stem wall on the garage side of the house.

Sincerely,

  
Joseph P. McCarty

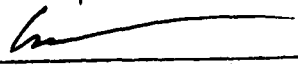
REVISED PLAN SET

Revision No: 7328

Date Approved: 4/18/05

FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

DATE: 4/18/05

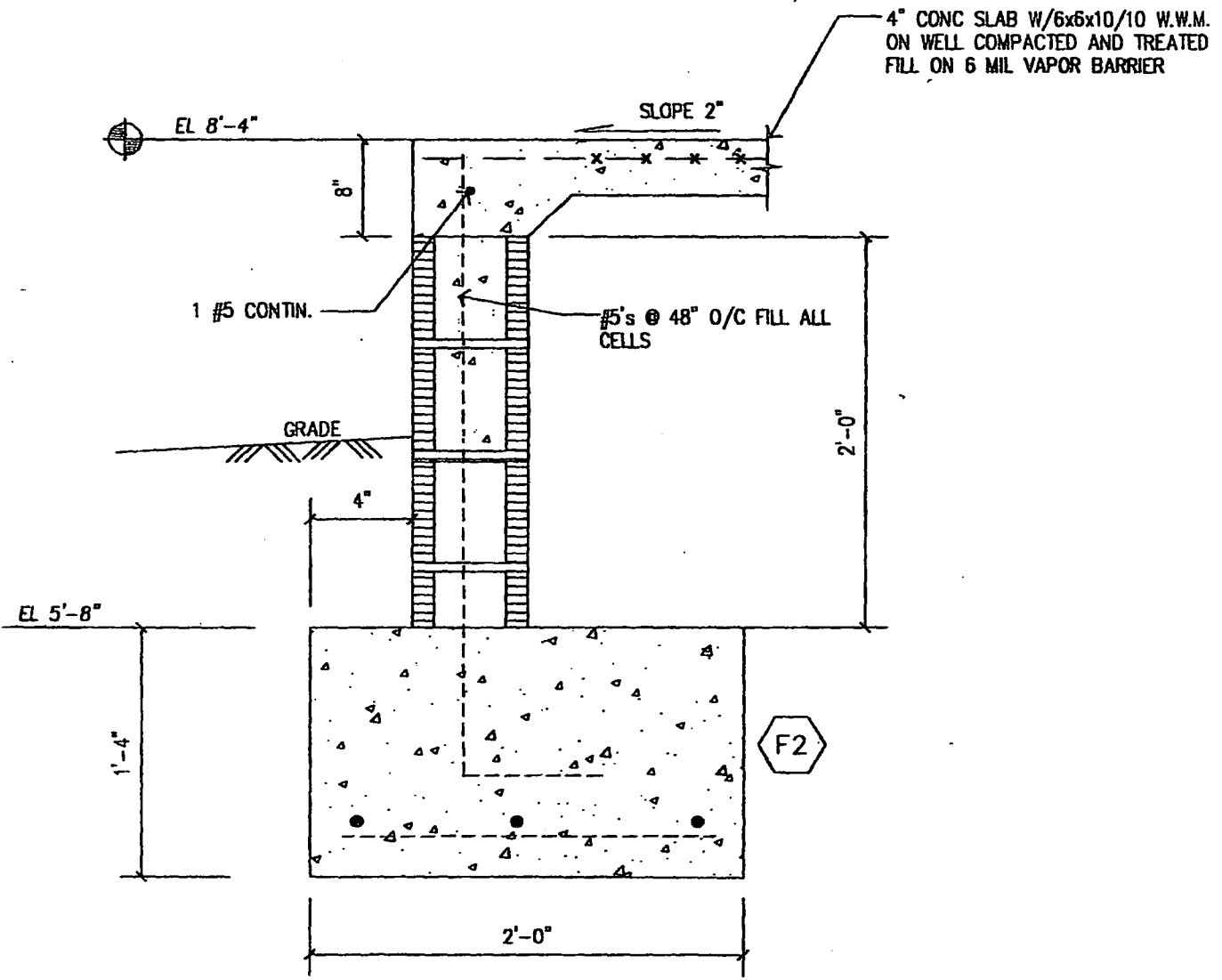
  
BUILDING OFFICIAL  
Gene Simmons

SCHMADER

REVISION

ALL PADS - RAISED  
DUE TO STEM WALL

CONWAY  
285-2673



**Joseph P. McCarty, Architect**  
900 East Osceola Street  
Stuart, Florida, 34994  
772-287-6735 fax: 772-287-4618

---

DPR Registration Number 9639

May 16, 2005

Gene Simmons, CBO  
Town of Sewalls Point  
One South Sewalls Point Road  
Sewalls Point, Florida  
34996

RE: Schmader Residence, Lot 9, Sewall's Meadow

Dear Gene,

Please note that the 8" x 8" beams between windows and doors and transoms are to be 8" x 8" with (2) #5 midspan. Please also note that the B7 and B8 beams are to both be 12" x 16" with (2) #5 top and bottom and #3 ties at 12" on center.

Sincerely,

Joseph P. McCarty

FILE



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 6/8, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7439	DIMITRIOU	IN PROG. FLAY	FAIL	<del>ADD FEE</del> MUST RESCHEDULE
11	6 BANYAN ROAD FEAZEL ROOFING			NO PERSONNEL ON SITE INSPECTOR:
7328	SCHMAOER	STEEL PREPOUR	PASS	
3	102 HENRY SEWALL CONWAY	SECOND ST. TIE BEAM *9AM PLEASE		INSPECTOR:
7521	Zechiel	Plumbing -	PASS	
5	1 Riverview Drive Serrillas	Pan inspection		INSPECTOR:
<del>6809</del>	<del>RADER</del>	<del>Pool Deck</del>		<del>CXL</del>
<del>10</del>	<del>5 HERITAGE WAY FLAMINGO POOLS</del>			INSPECTOR:
6965	FENSTERER	RGH PUMPING	PASS	
9	71 S. SEWALL ST O/B	ELECTRIC	PASS	INSPECTOR:
6772	ELDER	STRAPPING	CANCEL	- WILL RESCHEDULE
2	4 MARGUERITA O/B	WINDOW BUAS		INSPECTOR:

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8/11, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7678	ROBERSON	SEAWALL CAP	PASS	
1	173 S. SEWALL'S BWE WATER MARINE	STEEL		INSPECTOR: <i>OM</i>
7646	FARROW	DRY-IN	PASS	
7	47 N. RIVER ROAD CARDINAL ROOFING			INSPECTOR: <i>OM</i>
7686	POBLEY	FINAL ROOF	PASS	CLOSE
2	96 S. SEWALL'S A&P CONSTRUCTION			INSPECTOR: <i>OM</i>
6858	POTSDAM	A/C CHANGEOUT	FAIL	
4	50 RIO VISTA FLYNN'S A/C			INSPECTOR: <i>OM</i>
7647	POTSDAM	GEN/PAD/ELEC	PASS	CLOSE
4	50 RIO VISTA FLYNN'S AC			INSPECTOR: <i>OM</i>
7623	SANDS	FINAL ROOF	FAIL	
3	82 S. RIVER RD PACIFIC ROOFING			INSPECTOR: <i>OM</i>
7328	SCHMADER	ROOF STEERING	PASS	
8	102 HENRY SEWALL CONWAY	(late as possible)		INSPECTOR: <i>OM</i>
OTHER: _____				



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 102 HENRY SEWALL

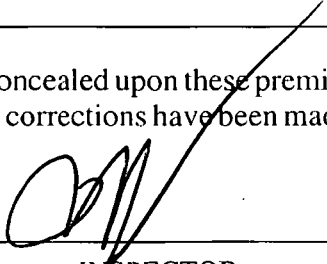
I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

TRUSS ENK / CONNECTORS

CO1 IS USED IN LIEU OF CO2  
AS SPECIFIED AT F1-H1-61  
A4-C9-B1-C1-

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 8/5

  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8/5, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>768</del>	<del>SCHMADER</del>	<del>TRUSS</del>	<del>FAIL</del>	
3	102 HENRY SEWALL CONWAY			INSPECTOR: <i>OM</i>
7443	KIPLINGER - ST. LUKE'S	FINAL ROOF	PASS	CLOSE
4	143 S. RIVER ROAD STUART ROOFING			INSPECTOR: <i>OM</i>
7444	KIPLINGER - GARAGE	FINAL ROOF	PASS	CLOSE
4	143 S. RIVER ROAD STUART ROOFING			INSPECTOR: <i>OM</i>
7445	KIPLINGER - POOLHOUSE	FINAL ROOF	PASS	CLOSE
4	143 S. RIVER ROAD STUART ROOFING			INSPECTOR: <i>OM</i>
7553	KIPLINGER - N. GROVE CT	FINAL ROOF	PASS	CLOSE
4	143 S. RIVER ROAD STUART ROOFING			INSPECTOR: <i>OM</i>
7554	KIPLINGER - S. GROVE CT	FINAL ROOF	PASS	CLOSE
4	143 S. RIVER ROAD STUART ROOFING			INSPECTOR: <i>OM</i>
7685	CULLEN	FINAL ROOF	FAIL	
8	5 PALMETTO PACIFIC ROOFING			INSPECTOR: <i>OM</i>

OTHER: \_\_\_\_\_

ALPINE

FILE PN# 7328  
102 HENRY SEWALL' VT.

April 8, 2002

Martin County  
Building Department

Re: Reference Conversion of Basic Wind Speeds.

Dear Sir:

The specified wind speeds in ASCE-7 93 have a different basis than a 3-second gust wind speed used in ASCE-7 95 or ASCE-7 98.

For buildings with a mean height of less than 60 ft, Alpine designs using ASCE -7 93, with wind speeds of 120 MPH. Category I, at any distance from ocean line, and Exposure C or D, are equivalent and will meet ASCE-7 95 or ASCE-7 98 with wind speeds of 140 MPH, Category II, at any distance from ocean line, Exposure C.

Notice they ASCE-7 95 or 7 98, for buildings under 60 ft. mean height do not require Exposure D, also the distance from ocean line is irrelevant and the categories have shifted.

If any Building Official still have any questions, please ask him to feel free to call me at (800) 755-6001.

Sincerely,

Alpine Engineered Products, Inc.



04/08/02

Walter P. Finn, PE  
Senior Chief Engineer

# W. KOST

## ROOF & FLOOR TRUSS SYSTEMS

4175 MARTIN HIGHWAY • PALM CITY, FL. 34990  
OFF. (772) 286-3700

FAX (772) 288-4234

JOB # 37335

CUSTOMER: Stephen P. Conway

JOB NAME: Schmader Res

DEL. ADDRESS: Henry  
102 Sewall way

Sewalls Pt

M. C.

SALES REP. Dwayne B DESIGNER: Melvin

## DELIVERY--PACKAGE

**Joseph P. McCarty, Architect**  
900 East Osceola Street  
Stuart, Florida, 34994  
772-287-6735 fax: 772-287-4618

---

DPR Registration Number 9639

August 4, 2005

Gene Simmons, CBO  
Town of Sewalls Point  
One South Sewalls Point Road  
Sewalls Point, Florida  
34996

RE: Schmader Residence, Sewalls Meadow

Dear Gene,

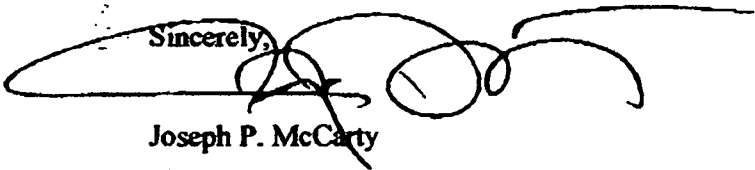
Please be advised that I inspected the above referenced project yesterday. Specifically, I inspected the buckets supporting the larger girder in the center of the house and its attachment, and the ledgers supporting modified trusses on interior masonry walls.

The buckets were attached to the walls with (2) 5/8" wedge anchors each side and two on the flange sitting on top of the masonry wall.

The ledgers were supported with 5/8" x 7 1/2" wedge anchors at a maximum spacing of 24" on center.

I approve of the buckets and ledgers as installed. The builder will provide drawings from the truss company for field modification of the trusses.

Sincerely,



Joseph P. McCarty

Top chord 2x4 SP #2 N  
 Bol chord 2x8 SP SS Dense -BC2 2x6 SP #1 Dense:  
 Webs 2x4 SP #3 W5, W7 2x4 SP #2 N:

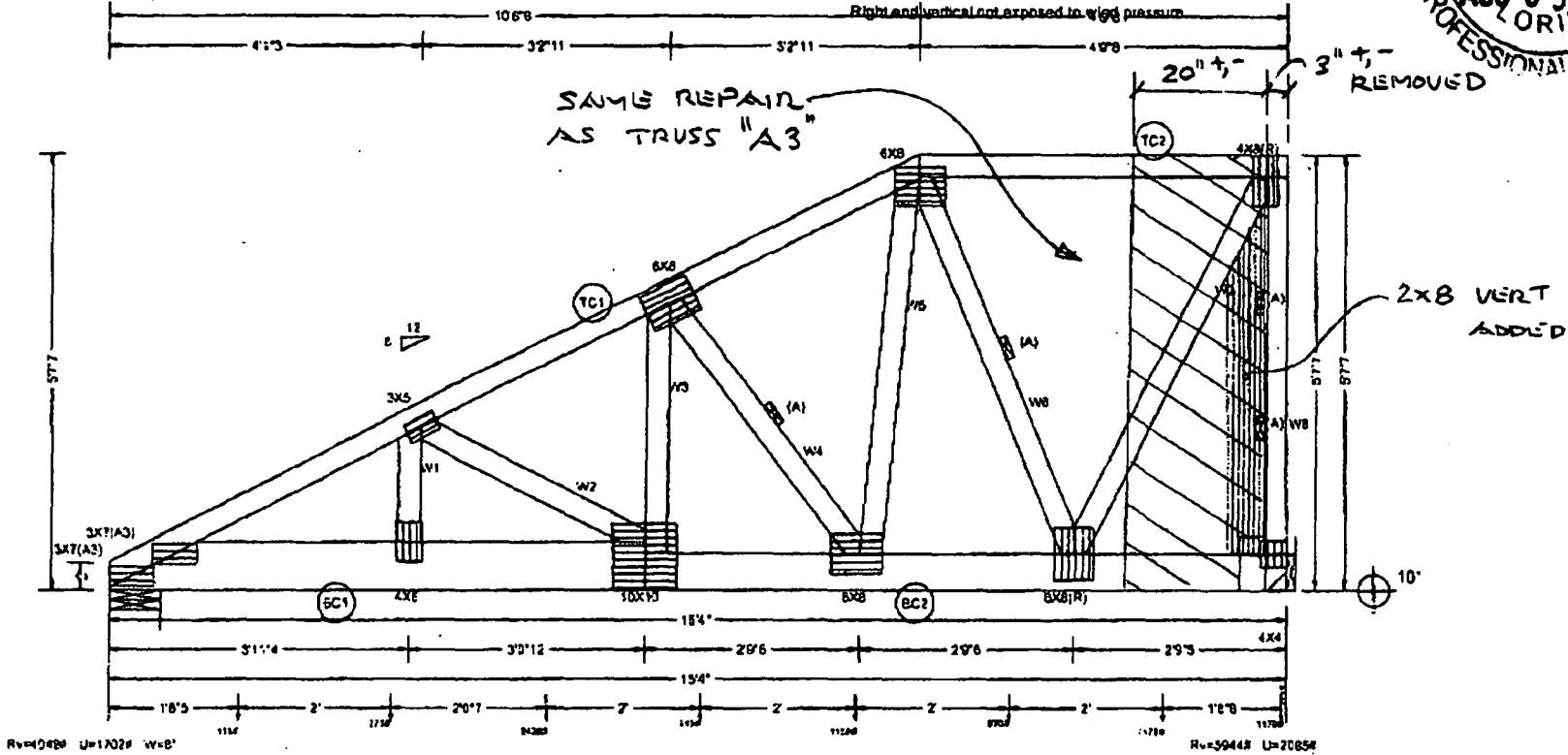
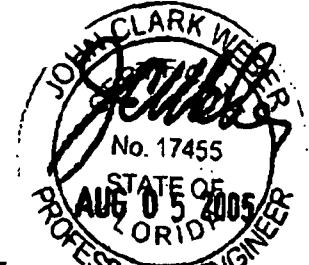
140 mph wind, 15.00 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP 8, wind TC  
 DL=10.0 psf, wind BC DL=7.0 psf.

(A) Continuous lateral bracing equally spaced on member.

Deflection meets L/240 live and L/180 total load.

REPAIR DWG.

**SPECIAL LOADS**  
 —(LUMBER DUR.FAC.=1.33 / PLATE DUR.FAC.=1.33)  
 TC - From 90 PLF at 0.00 to 80 PLF at 15.33  
 BC - From 20 PLF at 0.00 to 20 PLF at 15.33  
 BC - 185 LB Conc. Load at 1.69  
 BC - 275 LB Conc. Load at 3.69  
 BC - 2428 LB Conc. Load at 6.73  
 BC - 945 LB Conc. Load at 7.73  
 BC - 1189 LB Conc. Load at 9.73  
 BC - 970 LB Conc. Load at 11.73  
 BC - 1175 LB Conc. Load at 13.73  
 BC - 1178 LB Conc. Load at 15.27



DESC. = A4  
 PLT. TYP. - WAVE

TPI1895(STD)

QTY= 1 TOTAL= 1

REV. 7.00.0130.16

SEQ = 32660  
 SCALE = 0.4478



WARNING- TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO HB-91 (HANDLING, INSTALLING AND BRACING), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 803 DOMONFRO DR., SUITE 200, MADISON, WI, 53718) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. "IMPORTANT" FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI. ALPINE CONNECTORS ARE MADE OF 20GA ASTM A853 OR 40 GALV. STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 160 A-Z. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSUL P1-1995 SECTION 2.

**JOHN CLARK WEBER**

CERTIFICATION NO. 17455

4175 MARTIN HWY. PALM CITY, FL 34980

TC LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
TOT.LD.	55.0psf
DUR.FAC.	1.33
SPACING	24.0"

REF	
DATE	05-18-2005
DRWG	AWC
O/A LEN.	150400
TYPE	MONO

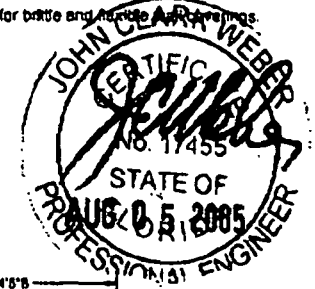


Top chord 2x4 SP #2 N  
 Bot chord 2x4 SP #2 N  
 Webs 2x4 SP #3 :W13 2x4 SP #2 N:

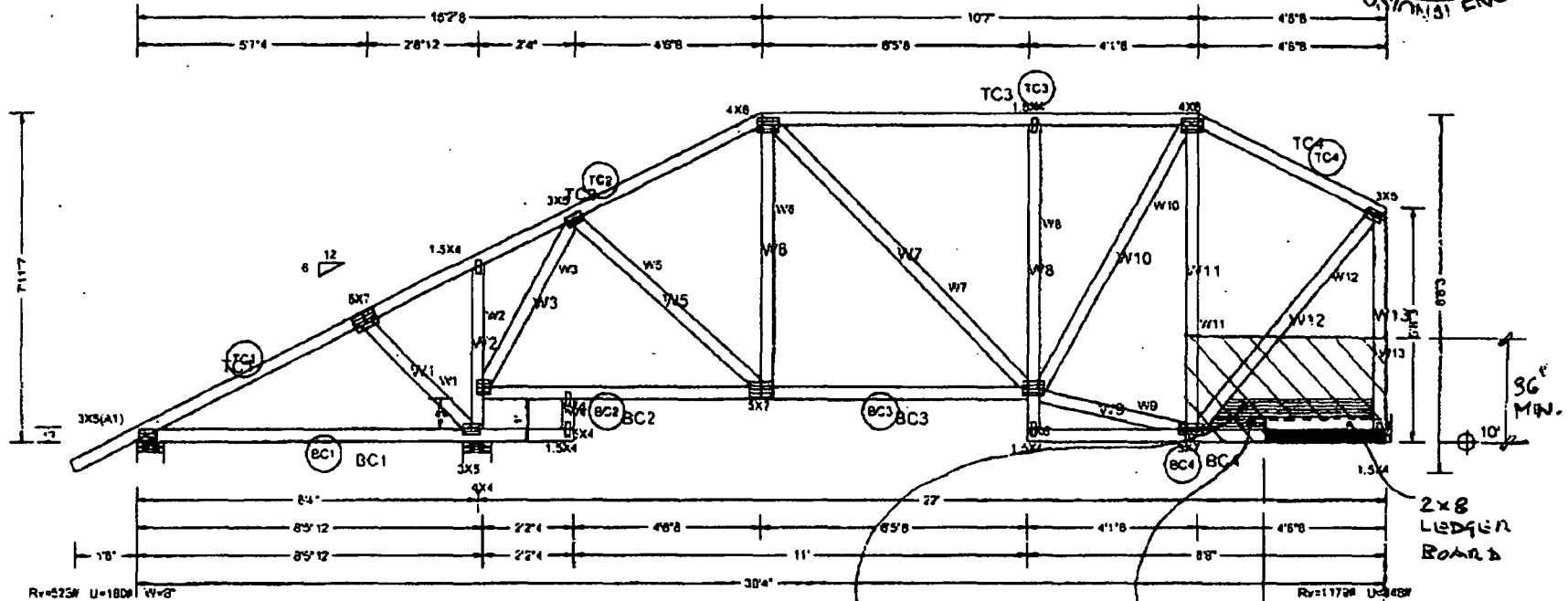
140 mph wind, 13.74 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP 8, wind T DL=10.0 psf, wind BC DL=7.0 psf.

Deflection meets L/240 live and L/180 total load.

Right end vertical exposed to wind pressure. Deflection meets L/240 criteria for brittle end connections.



REPAIR DWG.



2x6 #2 SYP P.T. + 2x4 SPF  
 ADDED W/ 5/8" PLYWOOD  
 NAILED TO ONE FACE  
 W/ 10d's @ 4" O.C.,  
 CHORDS + WEBS

36" x 1" REMOVED TO ALLOW FOR 2x8 LEDGER BOARD

DESC. = B0  
 PLT. TYP. - WAVE

TP11995(STD)

QTY = 1 TOTAL = 1

REV. 7.00.0130.16

SEQ = 32614  
 SCALE = 0.2541



WARNING - TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO HB-01 (HANDLING, INSTALLING AND BRACING), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 503 O'DONOHUE DR., SUITE 200, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. "IMPORTANT" FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI. ALPINE CONNECTORS ARE MADE OF 20GA ASTM A563 GR40 GALV. STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 160 A-Z. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANS/ASCE 1-1996 SECTION 7.

**JOHN CLARK WEBER**  
 CERTIFICATION NO. 17455  
 4175 MARTIN HWY. PALM CITY, FL 34990

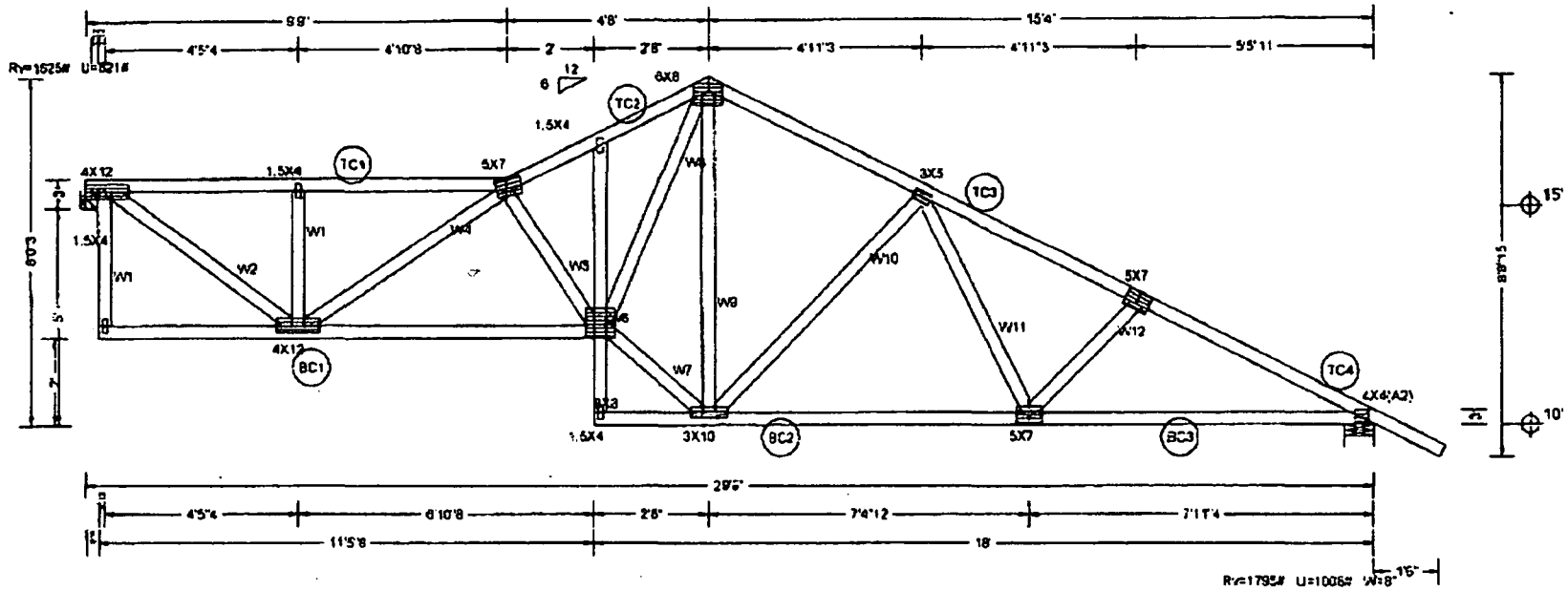
TC LL	30.0psf	REF
TC DL	15.0psf	DATE 05-18-2005
BC DL	10.0psf	DRWG
BC LL	0.0psf	AWC
TOT.LD.	55.0psf	O/A LEN. 300400
DUR.FAC.	1.33	TYPE MONO
SPACING	24.0"	

Top chord 2x4 SP #2 N  
 Bal chord 2x4 SP #2 N  
 Webs 2x4 SP #3  
 :L1 Boaring Leg 2x4 SP #3:

140 mph wind, 30.00 h mean hgt. ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC  
 DL=9.0 psf, wind BC DL=6.0 psf.

Max JT VERT DEF: LL: 0.20' DL: 0.15' recommended camber 1/4"

Deflection meets L/240 live and L/180 total load.



DESC. = G6  
 PLT. TYP.-WAVE

TPI1995(STD)

QTY= 1 TOTAL= 1

REV. 7.20.0412.12

SEQ = 68543  
 SCALE = 0.2580



**WARNING:** TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO HIB-01 (HANDLING, INSTALLING AND BRACING), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 580 D'ONOFRIO DR., SUITE 200, MADISON, WI 53710) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. **"IMPORTANT:"** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI. ALL PINE CONNECTORS ARE MADE OF 20GA ASTM A663 G40 GALV. STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS H0 A-Z. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSI/TPI 1-1995 SECTION 2.

**JOHN CLARK WEBER**

CERTIFICATION NO. 17455

4175 MARTIN HWY.  
 PALM CITY, FL  
 34990

TC LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
TOT.LD.	55.0psf
DUR.FAC.	1.33
SPACING	24.0"

REF	
DATE	08-24-2005
DRWG	
	MEL
O/A LEN.	290900
TYPE	Spec

PLG-05-2005 08:43

W.KOST INC. ENG. DEPT.

772 791 3848

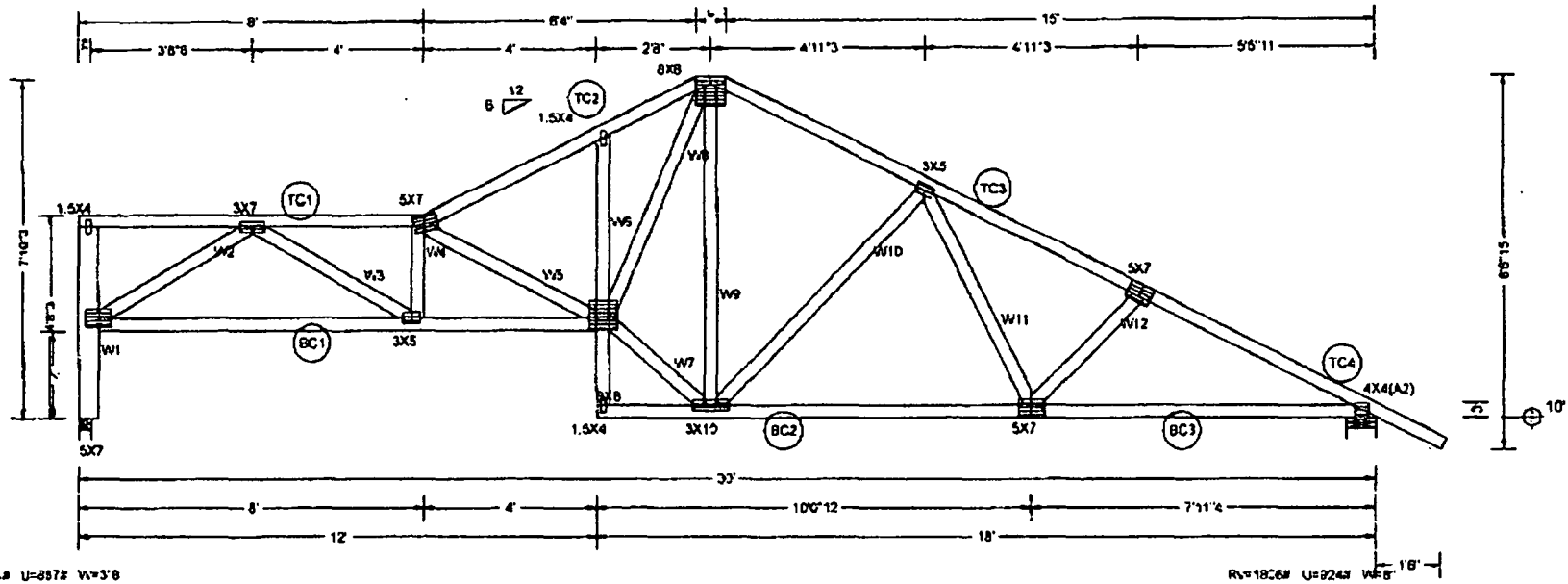
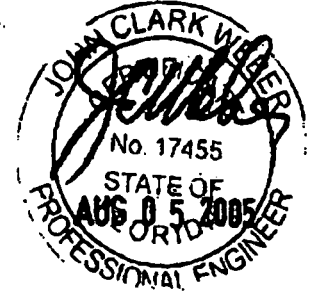
P.02

Top chord 2x4 SP #2 N  
 Bot chord 2x4 SP #2 N  
 Webs 2x4 SP #3 :W1 2x6 SP #2:

140 mph wind, 30.00 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC  
 DL=9.0 psf, wind BC DL=6.0 psf.

Left end vertical not exposed to wind pressure.  
 Deflection meets U/240 live and L/180 total load.

Calculated horizontal deflection is 0.15" due to live load and 0.12" due to dead load.  
 Max JT VERT DEFL: LL: 0.23" DL: 0.19" recommended camber 3/8"



DESC = G5  
 PLT. TYP.-WAVE

TPI1995(STD)

QTY= 1 TOTAL= 1

REV. 7.20.0412.12

SEQ = 68538  
 SCALE = 0.2539



**WARNING:** TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO HB-91 (HANDLING, INSTALLING AND BRACING), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 263 D'ONOFRIO DR., SUITE 200, MADISON, VA 53716) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. **IMPORTANT:** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN, ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI ALPINE CONNECTORS ARE MADE OF 20GA ASTM #253 GR40 GALV. STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 180 A-2. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSUTPI-1-1995 SECTION 2.

**JOHN CLARK WEBER**

CERTIFICATION NO. 17455

4175 MARTIN HWY.  
 PALM CITY, FL 34990

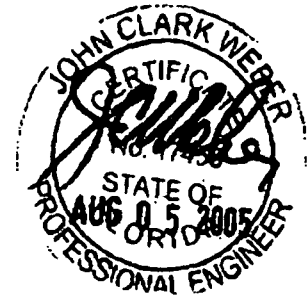
TC LL	30.Opsf
TC DL	15.Opsf
BC DL	10.Opsf
BC LL	0.Opsf
TOT.LD.	55.Opsf
DUR.FAC.	1.33
SPACING	24.0'

REF	DATE	06-24-2005
DRWG	MEL	
O/A LEN.	30	
TYPE	spec	

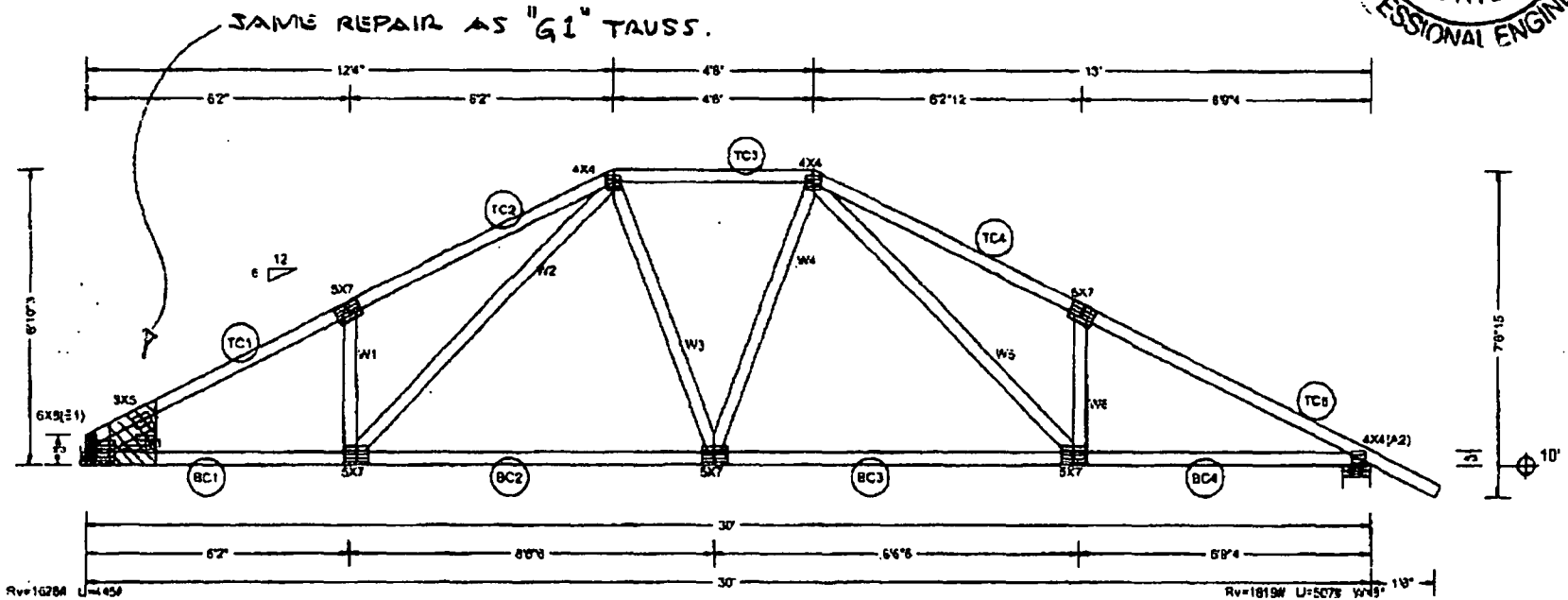
Top chord 2x4 SP #2 N : TC2, TC4 2x4 SP #2 Dense:  
 Bot chord 2x4 SP #2 N  
 Webs 2x4 SP #3  
 1.1 Sider 2x4 SP #3: BLOCK LENGTH = 1.711'

140 mph wind, 13.10 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind T  
 DL=10.0 psf, wind BC DL=7.0 psf.

Deflection meets L/240 live and L/180 total load.



REPAIR DWG.



DESC. = G4  
 PLT. TYP. - WAVE

TPI1995(STD)

QTY= 1 TOTAL= 1

REV. 7.00.0130.16

SEQ = 32888  
 SCALE = 0.2557

**W. KOST**  
 ROOF & FLOOR TRUSS SYSTEMS  
 4175 MARTIN HIGHWAY  
 PALM CITY, FL 34990  
 OFF: (772) 288-3700  
 FAX: (772) 288-4334

"WARNING" TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO HIS-G1 (HANDLING, INSTALLING AND BRACING), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 589 D'ONOFRIO DR., SUITE 200, MADISON, WI, 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. "IMPORTANT" FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI. ALPINE CONNECTORS ARE MADE OF 20GA ASTM A653 OR 40 GALV. STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 100 A-2. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSITPI 1-1995 SECTION 2.

**JOHN CLARK WEBER**  
 CERTIFICATION NO. 17455  
 4175 MARTIN HWY.  
 PALM CITY, FL 34990

TC LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
TOT.LD.	55.0psf
DUR.FAC.	1.33
SPACING	24.0"

REF	
DATE	05-18-2005
DRWG	
	AWC
O/A LEN.	30
TYPE	hips

TOTAL P. 08

PLG-05-2005 08:41

W. KOST INC. ENG. DEPT.

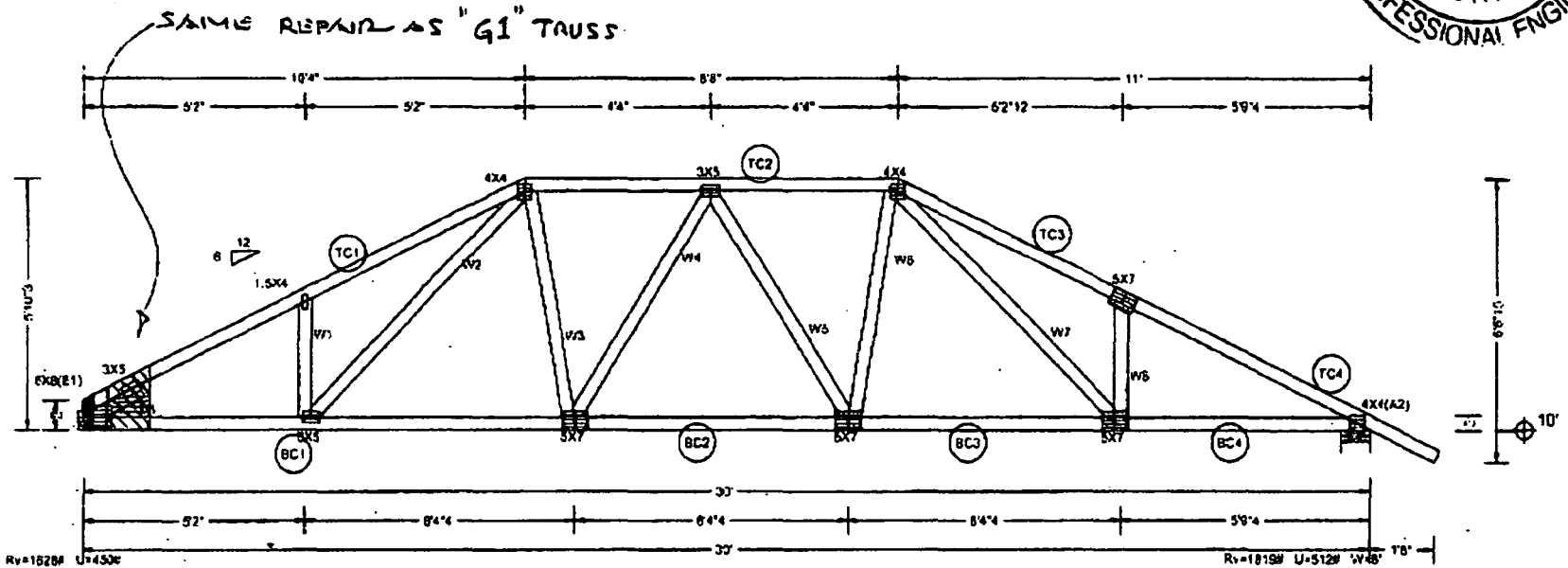
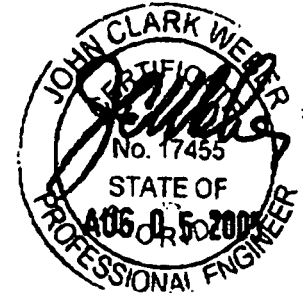
772 781 3848 P. 08

Top chord 2x4 SP #2 N  
 Bot chord 2x4 SP #2 N  
 Webs 2x4 SP #3  
 :L: Slider 2x4 SP #3: BLOCK LENGTH = 1.50'

140 mph wind, 12.69 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edges, CAT II, EXP B, wind DL=10.0 psf, wind BC DL=7.0 psf.

Deflection meets L/240 live and L/180 total load.

REPAIR DWG.



DESC. = G3  
 PLT. TYP.-WAVE

TPI1995(STD)

QTY= 1 TOTAL= 1

REV. 7.00.0130.16

SEQ = 32883  
 SCALE = 0.2557



4175 MARTIN HIGHWAY  
 PALM CITY, FL 34980  
 OFF: (772) 288-3700  
 FAX: (772) 288-4234

**WARNING** TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO HIB-61 (HANDLING, INSTALLING AND BRACING), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 593 DONDFRIO OR, SUITE 200, MADISON, VA, 63710) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. **IMPORTANT** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI. ALPINE CONNECTORS ARE MADE OF 20GA ASTM A553 GRA0 GALV. STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 180 A-2. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER. PER AIAA/IBS 1-1995 SECTION 2.

**JOHN CLARK WEBER**

CERTIFICATION  
 NO. 17455

4175 MARTIN HWY.  
 PALM CITY, FL  
 34980

TC LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
TOT.LD.	55.0psf
OUR.FAC.	1.33
SPACING	24.0"

REF	
DATE	05-18-2005
DRWG	
	AWC
O/A LEN.	30
TYPE	hips

Top chord 2x4 SP #2 N  
 Bot chord 2x4 SP #2 N  
 Webs 2x4 SP #3  
 Lt Slider 2x4 SP #3; BLOCK LENGTH = 1.500'

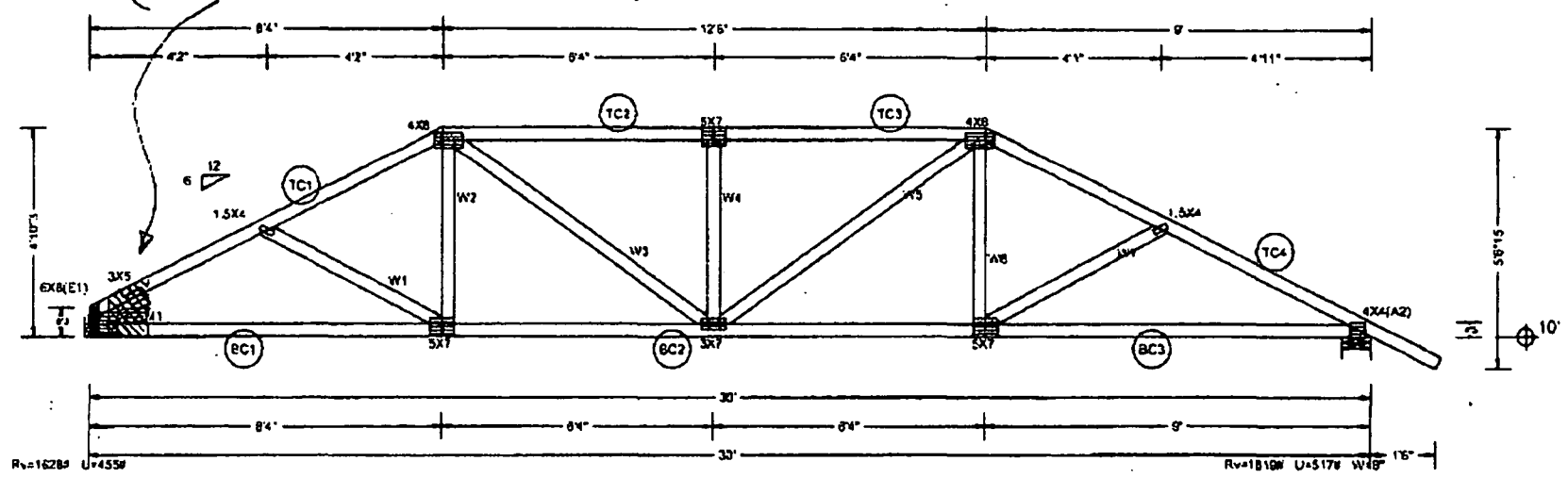
140 mph wind, 12.19 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind DL=10.0 psf, wind BC DL=7.0 psf.

Deflection meets L/240 live and L/180 total load.

REPAIR DWG.



(SAME REPAIR AS "G2" TRUSS)



DESC. = G2  
 PLT. TYP.-WAVE

TPH1895(STD)

QTY= 1 TOTAL= 1

REV. 7.00.D130.16

SEQ = 32873  
 SCALE = 0.2557

4175 MARTIN HIGHWAY  
 PALM CITY, FL 34990  
 OFF: (772) 288-3700  
 FAX: (772) 288-4294

"WARNING" TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO MIB-91 (HANDLING, INSTALLING AND BRACING), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 DONOFRIO DR., SUITE 200, MADISON, WI 53718) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. "IMPORTANT" FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI. ALPINE CONNECTORS ARE MADE OF 20GA ASTM A653 GR40 GALV. STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 181 A-2. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANS/TP1 1-155 SEC. 1010.2.

**JOHN CLARK WEBER**  
 CERTIFICATION NO. 17455  
 4175 MARTIN HWY.  
 PALM CITY, FL 34990

TC LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
TOT.LD.	55.0psf
DUR.FAC.	1.33
SPACING	24.0"

REF	
DATE	05-18-2005
DRWG	
AWC	
O/A LEN.	30
TYPE	hips

Top chord 2x4 SP #2 N: TC2, TC3 2x6 SP #2:  
 Bot chord 2x4 SP #2 Dense: BC2 2x6 SP #1 Dense:  
 :BC3 2x6 SP #2: BC4 2x4 SP #1 Dense:  
 Webs 2x4 SP #3  
 :L1 Sldr 2x4 SP #3: BLOCK LENGTH = 1.50'

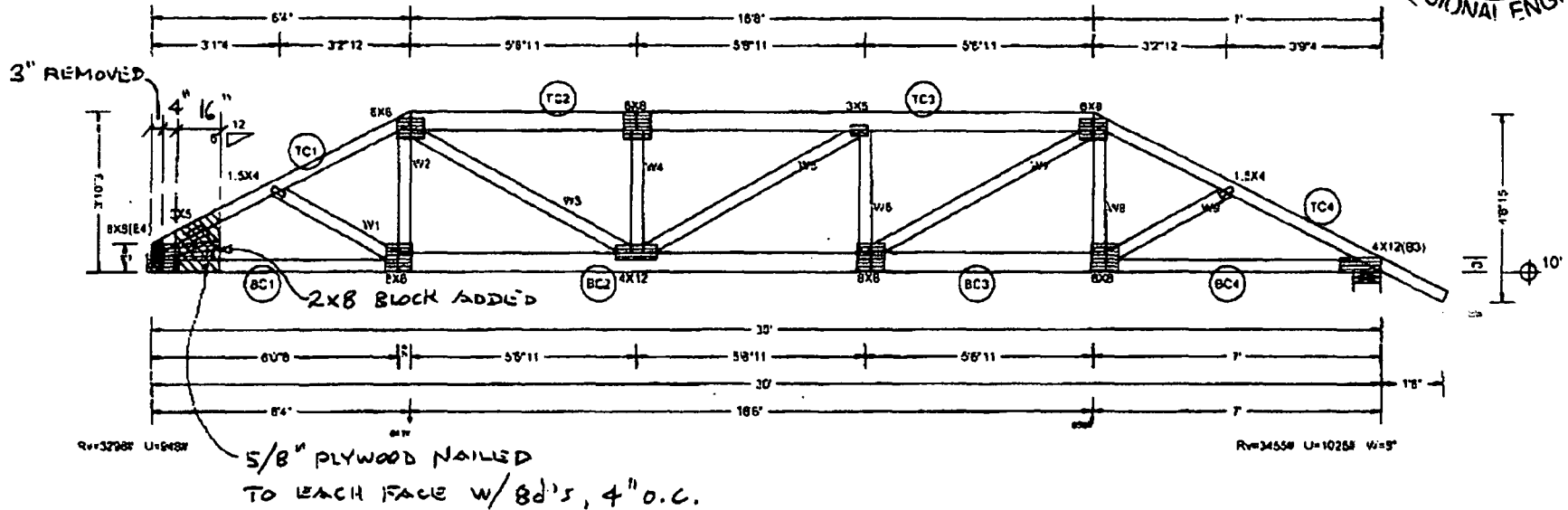
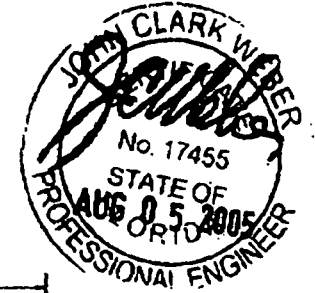
Deflection meets L/240 live and L/180 total load.

140 mph wind, 15.00 ft mean hgt. ASCE 7-98, CLOSED bldg. Located anywhere in roof, CAT II, EXP B, wind TC DL=10.0 psf wind BC DL=7.0 psf

#1 hip supports 6-4-0 jacks at left end and 7-0-0 jacks at right end. Jacks have no webs.

Left side jacks have 6-4-0 setback with 0-0-0 cant and 0-0-0 overhang. End jacks have 7-0-0 setback with 0-0-0 cant and 1-7-8 overhang. Right side jacks have 7-0-0 setback with 0-0-0 cant and 1-7-8 overhang.

REPAIR DWG.



DESC. = G1  
 PLT. TYP. - WAVE

TPI1895(STD)

QTY = 1 TOTAL = 1

REV. 7.00.0130.16

SEQ = 32866  
 SCALE = 0.2557



**WARNING - TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO HIB-91 (HANDLING, INSTALLING AND BRACING), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 DONOFRED DR., SUITE 200, MADISON, WI. 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. "IMPORTANT" FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI ALPINE CONNECTORS ARE MADE OF 2003A ASTM A653 GRAD GALV. STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 100-A-2. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANS/TPI 1-1895 SECTION 2.**

**JOHN CLARK WEBER**

CERTIFICATION NO. 17455

4175 MARTIN HWY.  
 PALM CITY, FL 34980

TC LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
TOT.LD.	55.0psf
DUR.FAC.	1.33
SPACING	24.0"

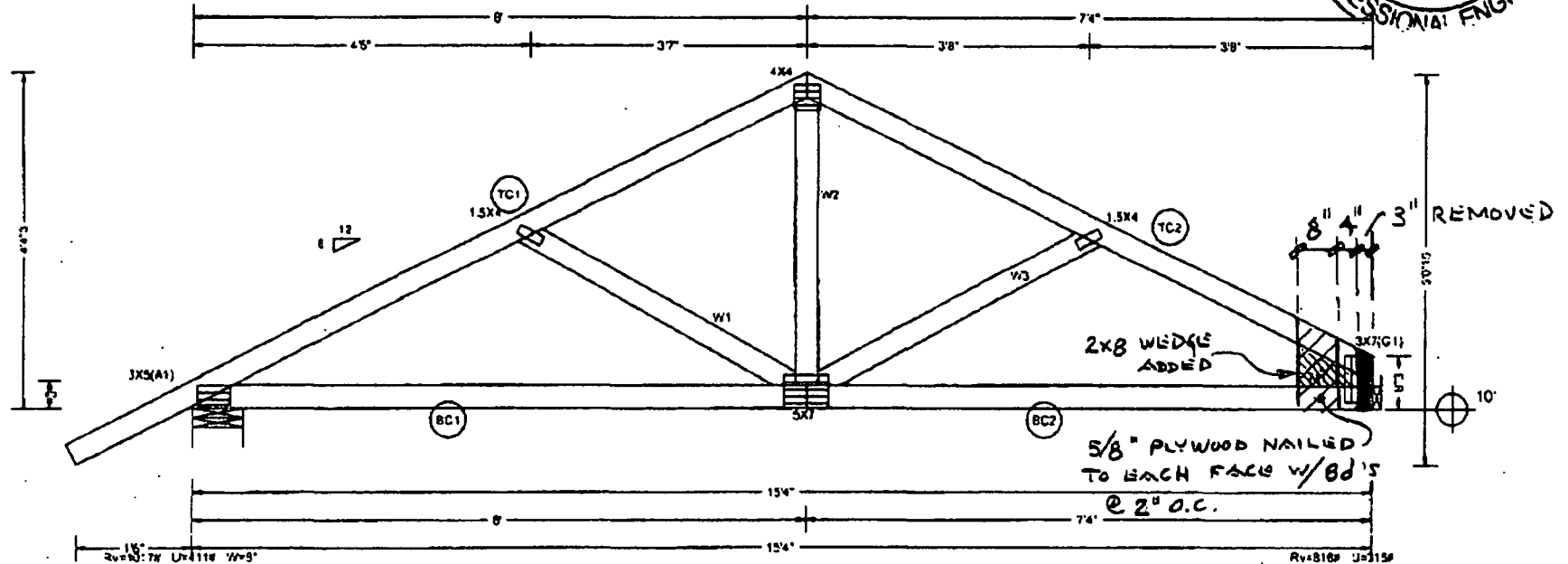
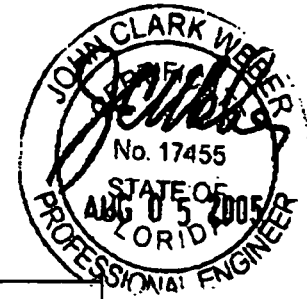
REF	
DATE	05-18-2005
DRWG	
AWC	
O/A LEN.	30
TYPE	SP8C

Top chord 2x4 SP #2 N  
 Bot chord 2x4 SP #2 N  
 Webs 2x4 SP #3  
 Rt Stubbed Wedge 2x4 SP #3.

140 mph wind, 11.94 ft mean hgt. ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge. CAT II, EXP B, wind TL=10.0 psf, wind BC DL=7.0 psf.

Deflection meets L/240 live and L/180 total load.

REPAIR DWG.



DESC. = A2  
 PLT. TYP. - WAVE

TPI1995(STD)

QTY=4 TOTAL=4

REV. 7.00.0130.16

SEQ = 32626  
 SCALE = 0.4805



4175 MARTIN HIGHWAY  
 PALM CITY, FL 34990  
 OFF: (772) 266-3700  
 FAX: (772) 266-4234

"WARNING" TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO HB-91 (HANDLING, INSTALLING AND BRACING), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 580 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. **IMPORTANT** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH THE OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI. ALPINE CONNECTORS ARE MADE OF 20GA ASTM A633 GR40 GALV. STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 160-A-Z. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER. PER ANSITZ 1-595 SECTION 2.

**JOHN CLARK WEBER**

CERTIFICATION NO. 17455

4175 MARTIN HWY.  
 PALM CITY, FL 34990

TC LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
TOT.LD.	55.0psf
DUR.FAC.	1.33
SPACING	24.0"

REF	
DATE	05-18-2005
DRWG	
AWC	
O/A LEN.	150400
TYPE	MONO

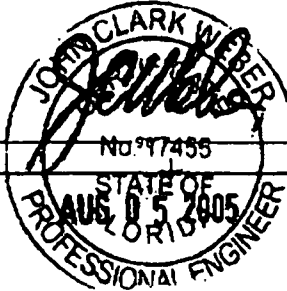


Top chord 2x4 SP #2 N  
 Bot chord 2x4 SP #2 N  
 Webs 2x4 SP #3 : W4 2x4 SP #2 N:

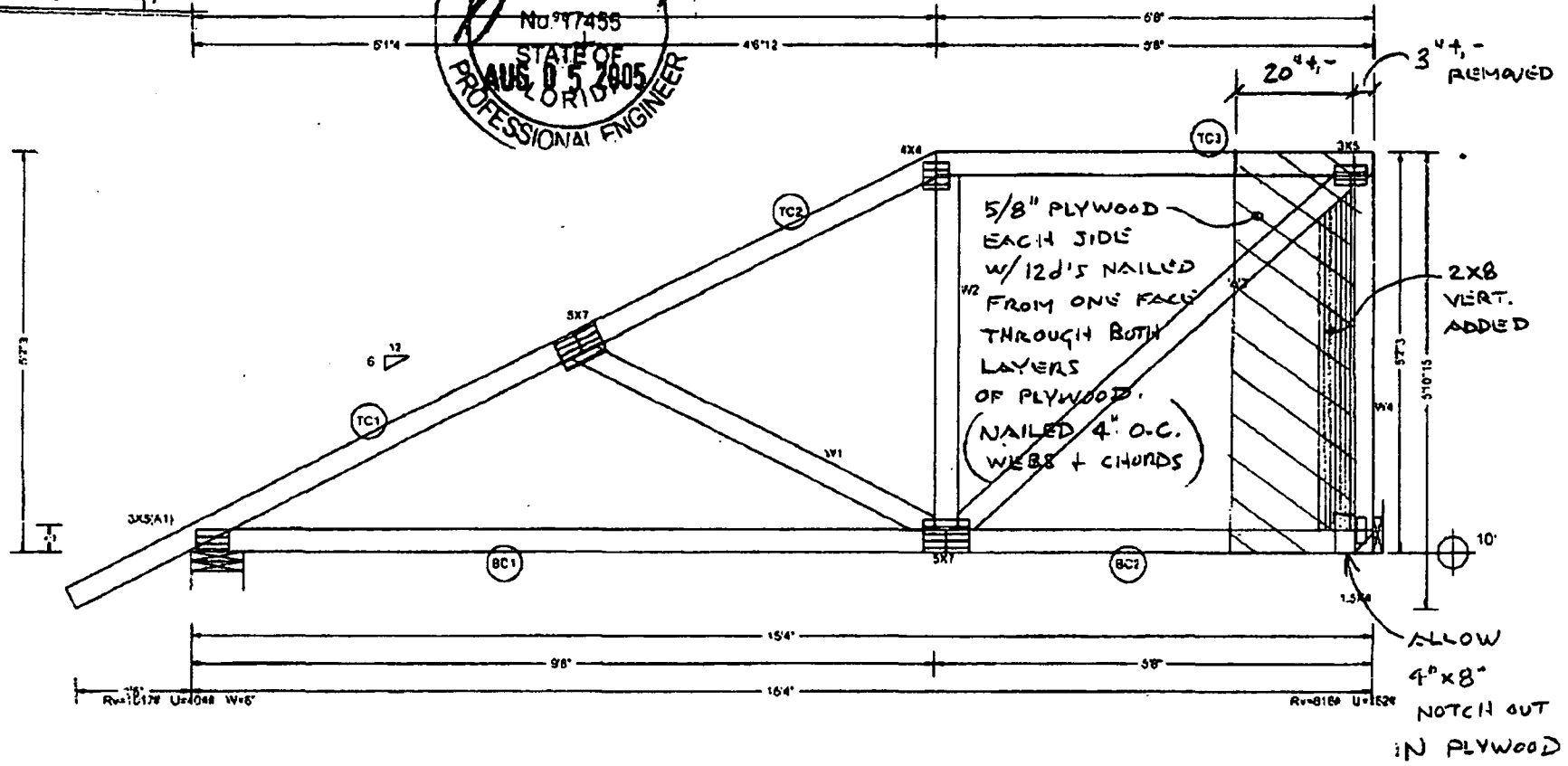
140 mph wind, 12.36 ft mean hgt, ASCE 7-08, CLOSED Bldg. not located within 4.50 ft from roof edge, CAT II, EXP B, wind DL=10.0 psf, wind BC DL=7.0 psf.

Deflection meets L/240 live and L/180 total load.

Right end vertical exposed to wind pressure. Deflection meets L/240 criteria for brittle and flexible wall coverings.



REPAIR DWG.



PLG-05-2005 08:40

U. KOST INC. ENJ. DEPT.

772 781 3848

P.02

DESC. = A3  
 PLT. TYP.-WAVE

TPI1995(STD)

QTY= 1 TOTAL= 1

REV. 7.00.0130.16

SEQ = 32821  
 SCALE = 0.4805



WARNING: TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO MB-01 (HANDLING, INSTALLING AND BRACING), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI. 53716) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. IMPORTANT: FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI, OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF IBCS (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI. ALPINE CONNECTORS ARE MADE OF 20GA ASTM A663 GR40 GALV. STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 160A-Z. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSI/TPI 1-1995 SECTION 2.

**JOHN CLARK WEBER**  
 CERTIFICATION NO. 17455  
 4175 MARTIN HWY. PALM CITY, FL 34990

TC LL	30.0psf
TC DL	15.0psf
BC DL	10.0psf
BC LL	0.0psf
TOT.LD.	55.0psf
DUR.FAC.	1.33
SPACING	24.0"

REF	
DATE	05-18-2005
DRWG	
	AWC
O/A LEN.	150400
TYPE	mono

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8/8, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
3 A	6413 <del>Powers</del> 70 S. Sewall's Pt Florida's Finest	<del>    </del>	<del>    </del>	RESCHEDULE FOR 8/10 FIRST THRU INSPECTOR: <i>[Signature]</i>
	7638 <del>MONZON</del> 118 Hillcrest Dr PACIFIC ROOFING	<del>FINAL ROOF</del>	<del>CANCEL</del>	INSPECTOR: <i>[Signature]</i>
5	7702 <del>MILLARD</del> 5 INDIA WOOD PKWY O/B	<del>FINAL GARAGE</del>	<del>PASS</del>	INSPECTOR: <i>[Signature]</i>
	1328 <del>SCHMADER</del> 102 HENRY SEWALL CONWAY	<del>BEAM BELOW</del>	<del>PASS</del>	INSPECTOR: <i>[Signature]</i>
2	7685 <del>GILLEN</del> 5 PALMETTO DR PACIFIC ROOFING	<del>FINAL ROOF</del>	<del>CANCEL</del>	INSPECTOR: <i>[Signature]</i>
	7568 <del>STORCK</del> 27 N RIVER RD PACIFIC ROOFING	<del>FINAL ROOF</del>	<del>CANCEL</del>	INSPECTOR: <i>[Signature]</i>
6	7691 <del>THOMPSON</del> THOMAS 10 PALM RD. FEAZEL RD	<del>DRY-IN</del>	<del>PASS</del>	INSPECTOR: <i>[Signature]</i>
	OTHER: 7637	SCHLUDNIC 1 RIVERCREST MARZO INC.	BATTENS FOR METAL ROOF SYSTEM.	PASS <i>[Signature]</i>

**Joseph P. McCarty, Architect**  
900 East Osceola Street  
Stuart, Florida, 34994  
772-287-6735 fax: 772-287-4618

---

DPR Registration Number 9639

PERMIT # 7328

August 5, 2005

Gene Simmons, CBO  
Town of Sewalls Point  
One South Sewalls Point Road  
Sewalls Point, Florida  
34996

RE: Schmader Residence, Sewalls Meadow

Dear Gene,

Please be advised that I approve of substituting (2) CO1 connectors to replace (1) CO2 connector on the above referenced job.

Sincerely,

  
Joseph P. McCarty

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8/10, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6413	POWERS	DRIVENWAY	PASS	
3	70 S. Sewall St FRONDA'S FINEST	POUR		INSPECTOR: <i>OM</i>
7637	SCHECODNIC	<del>PERMITS FOR</del>	<del>SCHEDULE</del>	8/12
1	1 RIVERCREST MARZO INC.	METAL ROOF SYSTEM		2ND THING. INSPECTOR:
7646	FARROW	FINAL ROOF	PASS	CLOSE
9	47 N. RIVER ROAD CARDINAL ROOFING			INSPECTOR: <i>OM</i>
7396	HB ASSOC JOYCE'S FLOWERS	FINAL DEMO	FAIL	
12	3756 SE OCEAN	ELEC, A/C, PLUMBING REPAIR		INSPECTOR: <i>OM</i>
7704	CONNOLLY	A/C CHGOUT	FINAL PASS	OWNER DEMANDED THAT 50A FUSE BE REMAIN.
8	23 N. RIDGEVIEW DR FLYNN'S	(SEE CORRECTION NOTICE)		INSPECTOR: <i>OM</i>
7664	KIMES	FINAL GARAGE DOOR	PASS	CLOSE
4	2 RIVERVIEW DR TREASURE COAST GAR			INSPECTOR: <i>OM</i>
<del>7328</del>	<del>SCHNAIDER</del>	<del>CONTRACTOR</del>	<del>PASS</del>	
2	102 HENRY SEWALL CONWAY			INSPECTOR: <i>OM</i>
OTHER:	LYDON TREE	TREE	PASS	<i>OM</i>
3A	73 S. Sewall St			<i>OM</i>



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 102 HENRY SEWALL

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

A/C ROUGH  
PLG. ROUGH - PASSED  
NEED AS BUILT (REUSED)  
A/C LAYOUT SHOWING NEW  
CONDENSER & AHU LOCATIONS.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/12

[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri Oct 12, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7810	RADER	FINAL GENERATOR	<del>PASS</del>	NO GROUND REQ'D
7	5 HERITAGE WAY DIB		<del>PASS</del> PASS	PER N.E.C.C. INSPECTOR: <i>[Signature]</i>
7338	McCORMICK	FOOTING-PLANKS	PASS	
8	59 N. RIVER PINE ORCHARD BLVD			INSPECTOR: <i>[Signature]</i>
7228	SCHMADER	PLUMBING	PASS	
2	102 HENRY SEWALL WAY CONWAY	A/C	<del>PASS</del>	INSPECTOR: <i>[Signature]</i>
Tree	SLATER	TREE	PASS	
9	4 LAGOON ISL Ct			INSPECTOR: <i>[Signature]</i>
7675	KUNN	FIRMING	PASS	
3	94 S. RIVER RD. PAROYO			INSPECTOR: <i>[Signature]</i>
<del>7710</del>	<del>BONIFACE</del>	<del>POOL PLUMBING</del>		<del>EXT</del>
	63 S. RIVER RD ADVANTAGE POOLS	AFTER 9:30		INSPECTOR: <i>[Signature]</i>
7576	SILAS	Rail PLUMBING	PASS	DOWNSTAIRS -
10	10 CASTLE HILL WAY STATEWIDE	INSULATION DOWNSTAIRS	PASS	NORTH END INSPECTOR: <i>[Signature]</i>

OTHER:     H2    

*[Handwritten signature]*



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 102 HENRY SEWALL

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ELEC. PASSED  
FRAMING

TIGHTEN ALL LEDGER  
BOLTS -

NEED NAILER FOR BRIMWALL @  
KITCHEN. PARTIAL

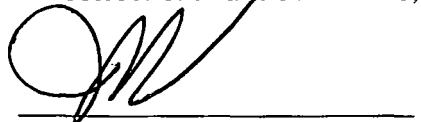
NEED NAILER @ N.W. BIL  
CLOSET

SECURE BATH VENT DUCTS  
& POSITION AT SOFFITS -

NEED ENGR. LTR ADDRESSING  
MISSING BOLTS @ GIRDER  
SADDLE/BUCKET OVER KIT.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/31



INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10/31, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7328</del>	<del>Schmader</del>	ROUGH ELEC	PASS	1
2	102 Hendy Sewall Conway	FRAMING	FAIL	INSPECTOR: <i>OW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6281	Smith	FINAL ADJ+ Remodel	FAIL	
3	7 SIMARA ST. SUNRISE CONST			INSPECTOR: <i>OW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7584	SCHECOPNIC	SLAB	PASS	
1	12 S. SEWALL'S DRIFTWOOD			INSPECTOR: <i>OW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6638	Smith	FINAL GAS	PASS	CLOSE
3	7 SIMARA ST FERRER GAS			INSPECTOR: <i>OW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
		WORK ON		RETAINING WALL
	RIVERCREST	RETAINING WALL W/O PERMIT?		OIL-EXISTING
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
		FENCE W/O	OIL	NO PERMIT
	KNOWLES RD.	PERMIT		NEEDED FOR WORK WHICH IS MINOR
				INSPECTOR:

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 11/4, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7447	DIMITRIOU 6 BANYAN RD OAK SYSTEMS	FINAL WINDOW REPLACEMENT		Reschedule Wed  INSPECTOR:
7849	DIMITRIOU 6 BANYAN RD OIB	FINAL WINDOW REPLACEMENT		Reschedule Wed  INSPECTOR:
7632	GESINGER 9 8 CASTLE HILL WY OIB	INSULATION EXT. DECK	PASS PASS	  INSPECTOR: <i>[Signature]</i>
7857	POOLE 8 94 N. SEWALLS Jimmy Rowell	METER CAN FINAL	PASS	CLOSE  INSPECTOR: <i>[Signature]</i>
<del>Tree</del>	REIGN 2 22 MIDDLE RD	TREE	PASS	  INSPECTOR:
7054	TAPPER 3 22 ISLAND WINCHIP CONST	MECHANICAL PUMBING	FAIL PASS	  INSPECTOR: <i>[Signature]</i>
7328	SCHMADER 4 102 HENRY SEWALL	INSULATION	PASS	  INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

ANDERSEN TILT WASH - DOUBLE HUNG  
 WINDOWS  
 + 50/-65  
 FLORIDA  
 APPROVAL - # FL1091



**CERTIFICATES OF CONFORMANCE AND LICENSE**  
**ANSI/AAMA/NWWDA 101/IS.2/NAFS-02 Voluntary Specifications for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors**

The undersigned Company hereby certifies that the window and/or glass door Series TW3862 Tilt-in Double Hung Windows with Impact Glass Product Line # 129-H-651.1 was/were manufactured in conformance with the latest revision of "ANSI/AAMA/NWWDA 101/IS.2/NAFS-02, Voluntary Specifications for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors". ANDERSEN CORPORATION hereby certifies the Product Designation II-LC50 size 1159 mm x 1953 mm at its plant in BAYPORT, MN 55003-1096 whose plant is regularly inspected by the Window and Door Manufacturers' Association (WDMA) and has been certified by said Association as qualified to produce window and/or glass doors in accordance with said standard.

ANDERSEN CORPORATION  
 100 FOURTH AVENUE NORTH  
 BAYPORT, MN 55003-1096

ANDERSEN  
 HALLMARK CERTIFICATIONS  
 FOR STATE APPROVALS  
 AND WATER  
 STRUCTURAL } +50/-65  
 LARGE MISSILE } +50/-65  
 CYCLE

Date \_\_\_\_\_ By \_\_\_\_\_

WDMA HEREBY CERTIFIES that the aforesaid Company, at its said plant, is licensed to use the WDMA Registered Hallmark on window and sliding glass doors which have been manufactured in conformance with said ANSI/AAMA/NWWDA 101/IS.2/NAFS-02 Voluntary Specifications for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors. It is further certified that the plant, facilities, methods, and processes of said Licensee have been inspected by WDMA, and that said Licensee is qualified to comply with the requirements of said standard. Conformance with the standard in respect of any particular product is the sole responsibility of the Licensee and WDMA makes no certification with respect to any such product either regarding conformance with the standard or otherwise.

The registered license number of said Licensee is 129  
 Series TW3862 Tilt-in Double Hung Windows with Impact Glass 129-H-651.1 II-LC50

Certified on 5/27/2003  
 Expiration Date 2/13/2007

By John McFee  
 John McFee, Certification Manager

Program Sponsor  
 Window & Door Manufacturers Association  
 1400 East Touhy Ave., Ste. 400  
 Des Plaines, IL 60018  
 Phone: (847) 299-5200

FILE COPY  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE: 11/17/05  
 BUILDING OFFICIAL

Program Administrator  
 Administrative Management Systems, Inc.  
 P.O. Box 9  
 Henderson Harbor, NY 13651  
 Phone: (315) 646-2234

WD-20-5 5/22/03

REVISIONS 0812 MADEK

Stock glass, WPU upgrade  
137 Wmp



Architectural Testing

PRODUCT PERFORMANCE TEST REPORT

FOR: Andersen Corporation  
100 Fourth Avenue North  
Bayport, Minnesota 55001-1096

ATI Report Identification: 02-43764.05  
Test Date: 02/13/03  
Report Date: 02/19/03

PRODUCT TESTED: TW 3862 with one lock  
Vinyl Clad Tilt-in Double hung Window  
16.2mm insulating glass, 2.3mm heat strengthened interior sheet and a 2.2mm  
annealed exterior sheet  
Andersen Steel Clip Standard Installation

TEST METHODS: Design Pressure Ratings per 101/L.S.2/NAFS-02 of H-LC50 1168 x 1956 (46" x 77")  
Air Infiltration per ASTM E 283 at test pressures of 75Pa & 300Pa (1.57 & 6.24 psf)  
Water Penetration per ASTM E 331 and E 547 at test pressure of 360Pa (7.50 psf)  
Structural Performance per ASTM E 330 at test pressures of +3600Pa & -4680Pa  
(+75.0 psf & -97.5 psf)  
Forced Entry Resistance per ASTM F 588, Grade 10

RESULTS:

Test	Results	Allowed
Design Pressure +2400Pa & -3120Pa (+50 psf & -65 psf)		
Air Infiltration		
@.75 Pa (1.57 psf)	0.50 L/s•m <sup>2</sup> (0.10 cfm/ft <sup>2</sup> )	1.5 L/s•m <sup>2</sup> (0.30 cfm/ft <sup>2</sup> )
@.300 Pa (6.24 psf)	1.20 L/s•m <sup>2</sup> (0.24 cfm/ft <sup>2</sup> )	---
Water Penetration @ 360Pa (7.50 psf)	No leakage	No leakage
Structural Performance		
@ +2400Pa,-3120Pa (+50.0,-65.0 psf) (60 sec.)	No damage	No damage
@ +3600Pa,-4680Pa (+75.0,- 97.5 psf) (10 sec.)	No damage	No damage
Forced Entry Resistance	No entry	No entry

CONCLUSIONS: Units tested meet or exceed performance requirement rating for 101/L.S.2/NAFS-02 H-LC50 1168 x 1956 (46" x 77"). See ATI Report No. 02-43764.02 for complete test results.

A copy of this report will be retained by ATI for a period of four years. This report is the exclusive property of the client so named herein and is applicable to the sample tested. Results obtained are tested values and do not constitute an opinion or endorsement by this laboratory.

ARCHITECTURAL TESTING, INC.  
  
Eric Schoenthaler  
Technician

ARCHITECTURAL TESTING, INC.  
  
Daniel A. Johnson  
Regional Manager

DAJ/dj  
02-43764.05

849 Western Avenue North  
Saint Paul, MN 55117-5245  
phone: 651.636.3835  
fax: 651.636.3843  
www.archtest.com



**CERTIFICATES OF CONFORMANCE AND LICENSE**

**ASTM E 1996-02 Standard Specification for Performance of Exterior Windows, Curtain Walls, Doors and Storm Shutters Impacted by Windborne Debris in Hurricanes**

The undersigned Company hereby certifies that the window and (or) glass door **Series TW3862 Tilt-in Double Hung Windows with Impact Glass** Product Line # **129-H-651**. were manufactured in conformance with the latest revision of "ASTM E 1996-02 Standard Specification for Performance of Exterior Windows, Curtain Walls, Doors and Storm Shutters Impacted by Windborne Debris in Hurricanes".

**ANDERSEN CORPORATION** hereby certifies the Product Designation **Missile Level D, Cycle Press +50/-65** size **3' 9-5/8" x 6' 4-7/8"** at its plant in **BAYPORT, MN 55003-1096** whose plant is regularly inspected by the Window and Door Manufacturers' Association (WDMA) and has been certified by said Association as qualified to produce window and or glass doors in accordance with said standard.

ANDERSEN CORPORATION  
100 FOURTH AVENUE NORTH  
BAYPORT, MN 55003-1096

Date \_\_\_\_\_ By \_\_\_\_\_

WDMA HEREBY CERTIFIES that the aforesaid Company, at its said plant, is licensed to use the WDMA Registered Hallmark on window and sliding glass doors which have been manufactured in conformance with said ASTM E 1996-02 Standard Specification for Performance of Exterior Windows, Curtain Walls, Doors and Storm Shutters Impacted by Windborne Debris in Hurricanes. It is further certified that the plant, facilities, methods, and processes of said Licensee have been inspected by WDMA, and that said Licensee is qualified to comply with the requirements of said standard. Conformance with the standard in respect of any particular product is the sole responsibility of the Licensee and WDMA makes no certification with respect to any such product either regarding conformance with the standard or otherwise.

The registered license number of said Licensee is 129  
Series TW3862 Tilt-in Double Hung Windows with Impact Glass 129-H-651. Missile Level D, Cycle Press  
+50/-65

Certified on 5/27/2003  
Expiration Date 1/30/2007

By John McFee  
John McFee, Certification Manager

Program Sponsor  
Window & Door Manufacturers Association  
1400 East Touhy Ave., Ste. 470  
Des Plaines, IL 60018  
Phone: (847) 299-5200

Program Administrator  
Administrative Management Systems, Inc.  
P.O. Box 9  
Henderson Harbor, NY 13651  
Phone: (315) 646-2234



Architectural Testing

## ASTM E1996-02 TEST REPORT

Rendered to:

**ANDERSEN CORPORATION**  
100 Fourth Avenue North  
Bayport, Minnesota 55003-1096

Report No: 02-43769.03  
Test Dates: 01/29/03  
and: 01/30/03  
Report Date: 02/07/03  
Expiration Date: 01/29/07

**Project Summary:** Architectural Testing, Inc. (ATI) was contracted by Andersen Corporation to perform testing per ASTM E1886-97 and ASTM E1996-02. Tests were performed on three Andersen Series TW3862 Tilt-in Double Hung Windows with Impact Glass. The samples tested met the requirements set forth in each of the test methods for *Design Load* ratings of 50.0 psf (positive) and 65.0 psf (negative).

**Test Procedure:** The test specimens were evaluated in accordance with ASTM E 1886-97 "Standard Test Method for Performance of Exterior Windows, Curtain Walls, Doors, and Storm Shutters Impacted by Missile(s) and Exposed to Cyclic Pressure Differentials," and ASTM E 1996-02, "Standard Specification for Performance of Exterior Windows, Glazed Curtain Walls, Doors and Storm Shutters Impacted by Windborne Debris in Hurricanes."

### Test Specimen Description:

**Series/Model:** TW 3862

**Type:** Vinyl Clad Tilt-in Double Hung Wood Window Impact Glass

**Overall Size:** 3' 9-5/8" wide by 6' 4-7/8" high

**Top Sash Size:** 3' 6-5/16" wide by 3' 1" high

**Bottom Sash Size:** 3' 6-5/16" wide by 3' 1-13/16"

**Overall Area:** 24.3 ft<sup>2</sup>

**Finish:** Interior wood was natural, exterior was white

849 Western Avenue North  
Saint Paul, MN 55117-5245  
phone: 651.636.3835  
fax: 651.636.3843  
www.archtest.com

**Test Specimen Description (Continued)**

**Glazing Details:** The window utilized nominal 15.8mm thick insulating glass fabricated from a 2.2mm annealed exterior sheet and a 6.9mm laminated interior sheet separated by an 6.5mm desiccant-filled stainless steel spacer system. The interior laminated sheet was comprised of two 2.3mm annealed sheets and a 0.090" PVB interlayer. The glass was set from the exterior against silicone backbedding with dual durometer vinyl glazing beads used on the exterior

**Frame Construction:** Head, sill and jamb members consisted of molded pine sections with extruded PVC on the exterior. Cladding was secured to the wood members with hot-melt adhesive. Upper wood frame corners used a finger joint-type connection and were secured with three 1/2" by 1-1/2" by 16-gauge staples per corner. Lower wood corners were dadoed and secured with three 8d vinyl coated nails.

Upper exterior cladding corners were mitered and sealed with a plastic corner flashing. Two #8 by 1-7/8" screws secured cladding corners and one #8 by 2-1/2" screw secured the sill cladding to the vertical jambs. Continuous interior wood stops were secured with 1/2" by 1-1/2" 16-gauge staples located 2" from each end spaced approximately 8" on center.

**Sash Construction:** Sash members consisted of molded pine sections with the corners utilizing mortise and tenon construction secured with one 1/4" by 1-1/4" 17-gauge staple per corner.

**Weatherstripping:**

<u>Description</u>	<u>Quantity</u>	<u>Location</u>
Polypropylene leaf	1 row	Sash stiles
Santoprene bulb	1 row	Meeting rail
PVC clad foam bulb	2 rows	Top rail top sash, bottom rail bottom sash
Vinyl jamb liner	2	One per jamb

**Hardware:**

<u>Description</u>	<u>Quantity</u>	<u>Location</u>
Block and tackle sash balance	4	Two per sash contained within the jamb liners
Wash assist clips	2	Interior jamb track
Pivot pins	4	Lower sash corners, two per sash
Metal lock and keeper	2	Meeting rail, 6" from each end

**Hardware (cont.):**

<u>Description</u>	<u>Quantity</u>	<u>Location</u>
Frame exterior metal support brackets	4	One located at each side of frame for upper sash check rail and one located at each side of sill for lower sash bottom rail
Frame interior metal support brackets	4	One located at each side of frame for lower sash bottom rail and one located at each side of frame for lower sash check rail
Lower sash metal support bracket	2	Sash interior, one bracket located on each end of check rail and two metal locks applied to lower check rail
Upper sash metal	2	Two metal keepers applied to upper sash check rail

**Installation:** The window was installed within a nominal SPF #2 wood test buck and secured with Andersen steel installation clips. The clips were secured to the window frame with two #8 by 5/8" screws and to the wood buck with two 1-1/4" screws per Andersen Installation Instructions. A 1/4" shim space between the window frame perimeter and rough opening was utilized around the frame perimeter. Three clips were used on the head and sill located 8" from each end and midpoint and four on each jamb located 6" from each end and 2" on each side of the meeting rail. The vinyl installation flange was sealed to the buck with silicone.

**Test Results**Test Unit #1:

ASTM E 1886-97 and E1996-02 Missile Impact and Pressure Cycling

Missile Level: D

Missile Weight: 9.0 lbs

Missile Length: 8' 1-1/2"

Muzzle Distance From Test Specimen: 13'

Impact

Missile Velocity: 49.8' per second

Impact Area: Innermost sash: center of glazing

Observations: No holes or tears/pass

Test Unit #1 (cont.):

Pressure Cycle

POSITIVE ACTING

Design Pressure +50.0 psf

<u>Pressure Range (psf)</u>	<u>Number of Cycles</u>	<u>Average Cycle Time (seconds)</u>
10.0 – 25.0	3500	2.26
0 – 30.0	300	2.86
25.0 – 40.0	600	2.22
15.0 50.0	100	2.74

NEGATIVE ACTING

Design Pressure -65.0 psf

<u>Pressure Range (psf)</u>	<u>Number of Cycles</u>	<u>Average Cycle Time (seconds)</u>
19.5 – 65.0	50	2.39
32.5 – 52.0	1050	2.22
0.0 – 39.0	50	2.96
13.0 – 32.5	3350	2.13

Test Unit #2:

ASTM E 1886-97 and E1996-02 Missile Impact and Pressure Cycling

Missile Level: D  
Missile Weight: 9.0 lbs  
Missile Length: 8' 1-1/2"  
Muzzle Distance From Test Specimen: 13'

Impact

Missile Velocity: 50.3' per second  
Impact Area: Innermost sash over left corner of glazing  
Observations: No holes or tears/pass



Test Unit #2 (cont.):

Pressure Cycle

POSITIVE ACTING

Design Pressure +50.0 psf

<u>Pressure Range (psf)</u>	<u>Number of Cycles</u>	<u>Average Cycle Time (seconds)</u>
10.0 – 25.0	3500	2.26
0 – 30.0	300	2.86
25.0 – 40.0	600	2.22
15.0 – 50.0	100	2.74

NEGATIVE ACTING

Design Pressure -65.0 psf

<u>Pressure Range (psf)</u>	<u>Number of Cycles</u>	<u>Average Cycle Time (seconds)</u>
19.5 – 65.0	50	2.39
32.5 – 52.0	1050	2.22
0.0 – 39.0	50	2.96
13.0 – 32.5	3350	2.13

Test Unit #3:

ASTM E 1886-97 and E1996-02 Missile Impact and Pressure Cycling

Missile Level: D  
Missile Weight: 9.0 lbs  
Missile Length: 8' 1-1/2"  
Muzzle Distance From Test Specimen: 13'

Impact

Missile Velocity: 49.6' per second  
Impact Area: Innermost sash upper right corner of glazing  
Observations: No holes or tears/pass

Test Unit #3 (cont.):Pressure CyclePOSITIVE ACTING

Design Pressure +50.0 psf

<u>Pressure Range (psf)</u>	<u>Number of Cycles</u>	<u>Average Cycle Time (seconds)</u>
10.0 – 25.0	3500	2.11
0 – 30.0	300	2.55
25.0 – 40.0	600	2.29
15.0 – 50.0	100	2.51

NEGATIVE ACTING

Design Pressure -65.0 psf

<u>Pressure Range (psf)</u>	<u>Number of Cycles</u>	<u>Average Cycle Time (seconds)</u>
19.5 – 65.0	50	2.83
32.5 – 52.0	1050	1.15
0.0 – 39.0	50	2.78
13.0 – 32.5	3350	1.90

Conclusions: The windows tested successfully passed the cyclic wind pressure loading of +50 and -65 psf.

**Test Equipment:**

Cannon: Constructed from PVC pipe utilizing compressed air to propel the missile.

Missile: 2" by 4" southern pine.

Timing device: Electronic beam-type.

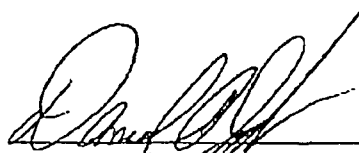
Cycling mechanism: Computer-driven squirrel-cage blower with electronic pressure measuring device.

Detailed drawings, representative samples of the test specimen, and a copy of this report will be retained by ATI for a period of four years. The above results were secured by using the designated test methods and they indicate compliance with the performance requirements of the above referenced specification. This report does not constitute certification of this product which may only be granted by the certification program administrator. This report may not be reproduced except in full without the approval of Architectural Testing, Inc.

For ARCHITECTURAL TESTING, INC.

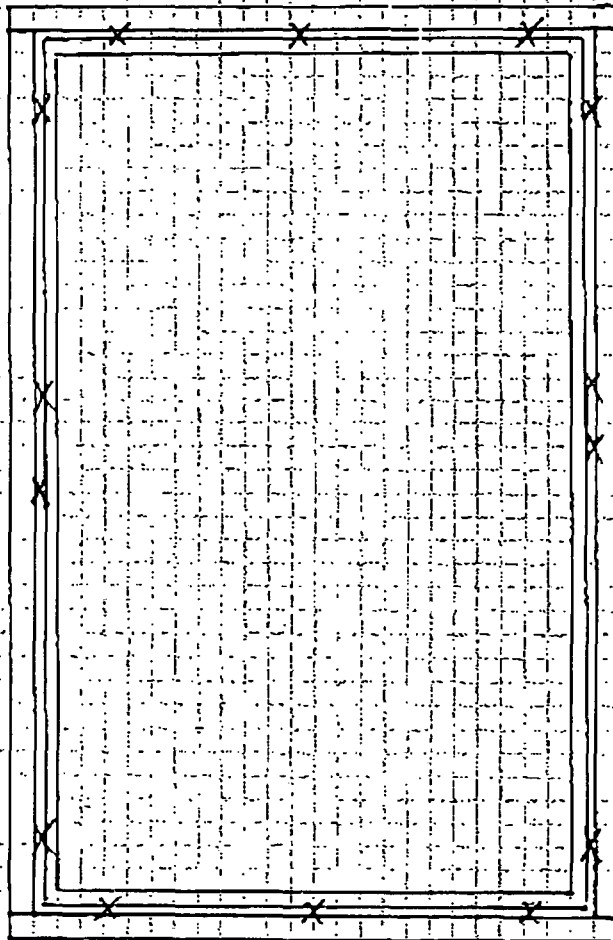


Eric Schoenthaler  
Technician



Daniel A. Johnson  
Regional Manager

DAJ/dj  
02-43769.03



X = Andersen Steel Installation Clips secured to window frame with two #8 by 5/8" screws and to the wood back with two #8 by 1-1/4" screws

PROJECT NUMBER:  
CR-43769

PROJECT NAME: TW 3862  
CLIENT NAME: Andersen Corporation

ARCHITECTURAL  
TESTING INC.

NOTES:  
Perimeter Anchor Detail

DRAWN BY: DRT  
DATE: 2/7/03

SHEET  
1 OF 1



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
 PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
 METRO-DADE FLAGLER BUILDING  
 140 WEST FLAGLER STREET, SUITE 1603  
 MIAMI, FLORIDA 33130-1563  
 (305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

---

**Andersen Corporation**  
 100 Fourth Avenue  
 Bayport, MN 55003

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Series "Flexiframe 6050" Wood Fixed Window**

**APPROVAL DOCUMENT:** Drawing No. **DADE-12050**, titled "Unit Assembly, Impact Flexiframe", sheets 1 through 3 of 3, prepared by manufacturer, dated 2/26/99, revised on 10/17/02, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 00-1011.03 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Manuel Perez, P.E.



NOA No 02-0919.12  
 Expiration Date: October 21, 2007  
 Approval Date: November 14, 2002  
 Page 1

Andersen Corporation

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

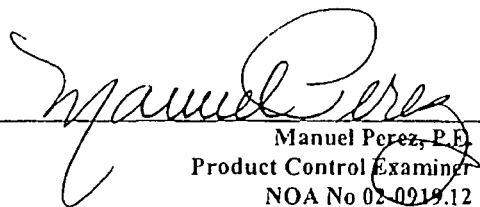
(For File ONLY. Not part of NOA)

**E. MATERIAL CERTIFICATIONS**

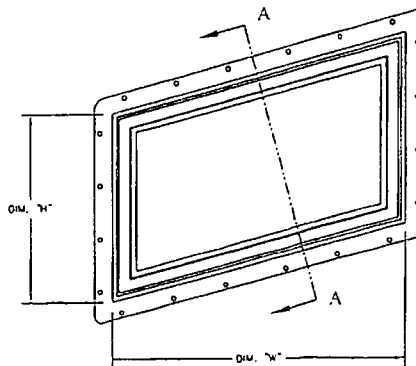
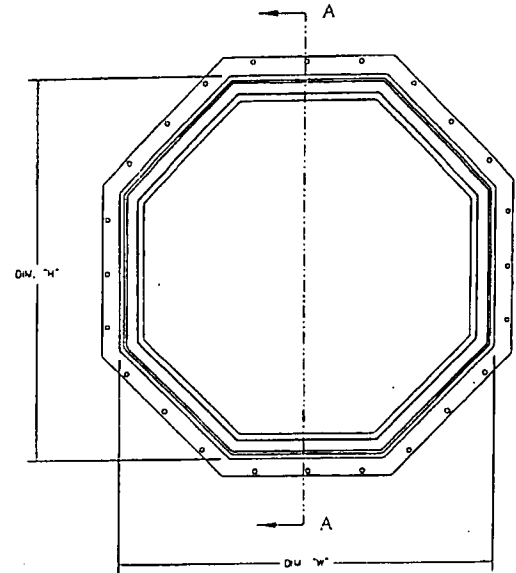
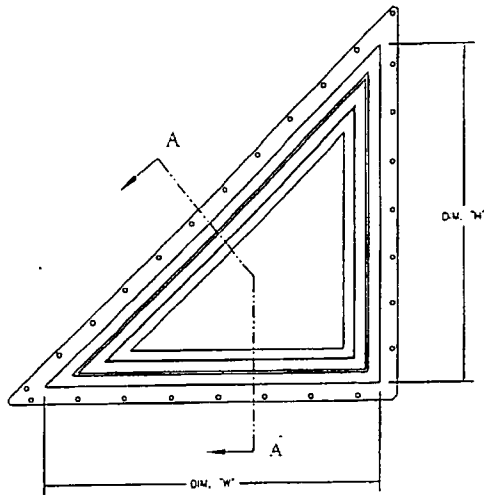
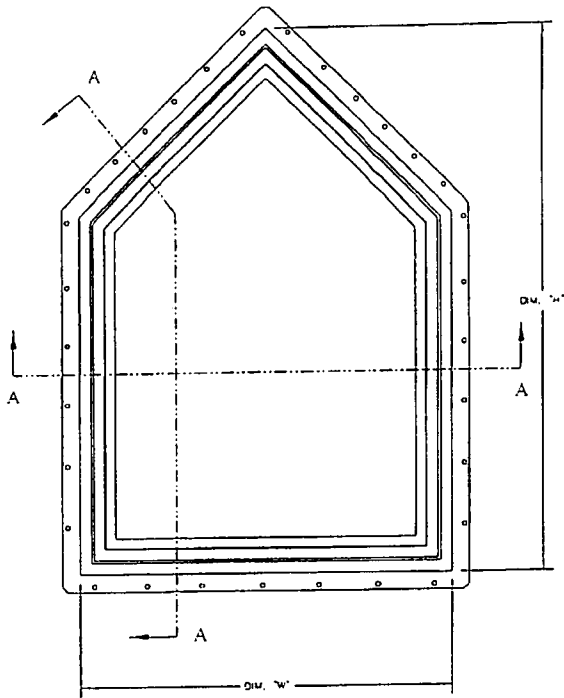
1. Notice of Acceptance No. **98-0608.03** issued to E.I. DuPont DeNemours for "Sentry Glass Plus" dated 01/14/99, expiring on 01/14/02.
2. Notice of Acceptance No. **97-1224.07** issued to Solutia, Inc. for their "Polyvinyl Butyral Interlayer Saflex" dated 06/25/98, expiring on 01/09/00.

**F. OTHER**

1. Notice of Acceptance No. **00-1011.03**, issued to Anderson Corporation for their Flexiframe 6050 Windows Impact, approved on 5/31/01 and expiring on 10/21/02.

  
Manuel Perez, P.E.  
Product Control Examiner

NOA No 02-0919.12  
Expiration Date: October 21, 2007  
Approval Date: November 14, 2002



NOTES:  
 1 ASSEMBLY CONSTRAINTS CONSIST OF THE FOLLOWING:  
 -WAY NOT MAKE ANY ANGLES LESS THAN 14°.  
 -NO LEG. MAY BE LESS THAN 6" OR MORE THAN 120".  
 -MAXIMUM WIDTH ON SHORT LEG MAY NOT EXCEED 34".

Approved as complying with the Florida Building Code  
 Date NOV. 14, 2002  
 NOA# 07-0519.12  
 Miami Dade Product Control  
 Division  
 By *Manuel Perez*

ARE UNIT ASSEMBLY, IMPACT FLEXIFRAME	
Andersen Corporation Boyert, Minnesota 55903	
<small>THIS DRAWING AND PRODUCT IS A SERVICE OF ANDERSEN CORPORATION FOR THE          PURPOSE OF ITS SUBSIDIARIES. THIS REPRESENTATION IS FOR INFORMATION ONLY. IT IS          NOT A CONTRACT. ANDERSEN CORPORATION AND ITS SUBSIDIARIES SHALL NOT BE          RESPONSIBLE FOR ANY DAMAGE, LOSS OR INJURY CAUSED BY THE USE OF THIS          PRODUCT. ALWAYS USE WITH THE APPROVED WINDOW AND/OR CURTAIN.</small>	
DATE 7-26-99	DRAWING NUMBER DAGE-12050
SHEET 2 OF 3	REVISIONS REV DATE

SB	10/17/02
REV	DATE

Andersen Corporation

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

(For File ONLY. Not part of NOA)

A. DRAWING

1. Manufacturer's die drawings and sections.
2. Drawing No. **DADE-12050**, titled "Unit Assembly, Impact Flexiframe", sheets 1 through 3 of 3, prepared by manufacturer, dated 2/26/99, revised on 10/17/02.

B. TESTS

1. Test reports on 1) Large Missile Impact Test per SFBC, PA 201-94.  
2) Cyclic Wind Pressure Loading per SFBC, PA 203-94  
along with marked-up drawing of a wood fixed window, prepared by Architectural Testing Inc. Test Report No. **ATI-02-32062.01**, dated 05/05/00  
along with revised marked-up drawings, signed and sealed by Allen N. Reeves, P.E.

*Submitted under file No. 99-0604.01*

2. Test reports on 1) Air Infiltration Test, per SFBC, PA 202-94  
2) Uniform Static Air Pressure Test, Loading per SFBC, PA 20294.  
3) Water Resistance Test, per SFBC, PA 202-94.  
4) Large Missile Impact Test per SFBC, PA 201-94  
5) Cyclic Wind Pressure Loading per SFBC, PA 203-94  
along with assembly & part drawing of a wood fixed window prepared by Architectural Testing, Inc., test report No. **02-31038.02**, dated 01/04/99, signed and sealed by A. N. Reeves, P.E


C. CALCULATIONS

*Submitted under file No. 99-0604.01*

1. Installation Analysis Report prepared by Richard Boyette, project # 99-0512  
sheets 1 to 10 of 10, dated May 14, 1999, signed and sealed by R. Boyette PE.

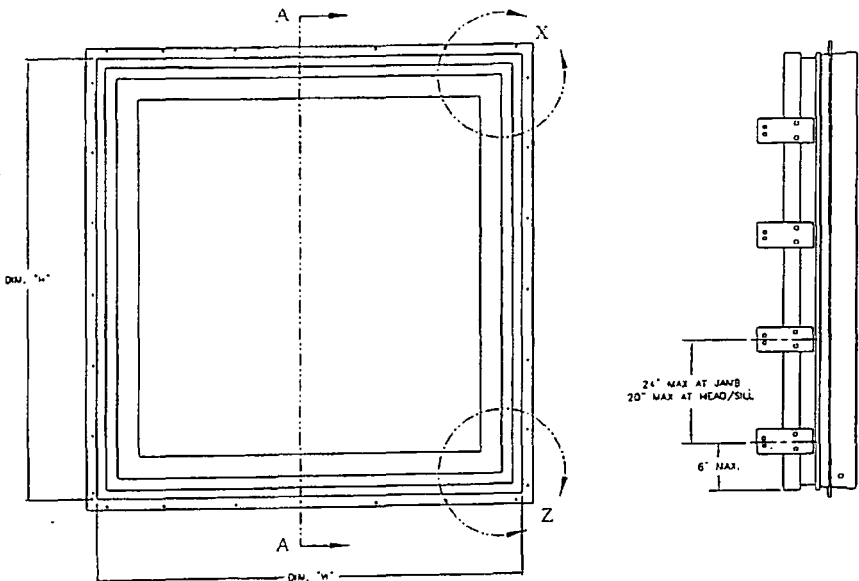
D. STATEMENTS

1. Letter of Code Compliance, issued Richard Boyette PE. on 06/07/00, signed and sealed by R. Boyette, PE.
2. Laboratory Compliance Letter issued by Architectural Testing, Inc., dated 03/05/99, signed and sealed by Allen N. Reeves, P.E.
3. Letter from Andersen Corporation, dated 8/13/02, stating that the product has not changed since it was originally approved.

  
Manuel Perez, P.E.  
Product Control Examiner  
NOA No 02-0919.12

Expiration Date: October 21, 2007  
Approval Date: November 14, 2002





FRAME FASTENERS LIST		
A/R	CLIP, INSTALL KIT (4)	SECURES CLIP TO UNIT AND TO OPENING
BEAD	1-1/4" x #8 SHEETROCK SCREWS	SEALS GLASS TO FRAME
BEAD	BED GLAZ. & BACK GLAZ.	SEALS WINDOW JAMB CORNERS
BEAD	SILICONE SEALANT	FASTENS GLASS STOPS TO FRAME
A/R	NAILS, 1-1/2" x 16 GA B" O.C	FASTENS FRAME COVER TO FRAME
BEAD	GLUE	FASTENS CORNERLOCKS TO FRAME
B	(2) SCREWS, #8 x 3/8 /CORNER	FASTENS FRAME CORNERS
IZ	#6 X 2" SCREW	FASTENS FRAME CORNERS
QTY.	DESCRIPTION	LOCATION

ANDERSEN MANUFACTURES FLEXIFRAME CUSTOM SIZES AND SHAPES UP TO A MAX OF 27 SQ.FT. TO DETERMINE THE SQUARE FOOTAGE USE DIM. "W" x DIM. "H".

NOTES:

- INSTALLATION METHODS:  
WOOD BUICK: INSTALLATION FLANGES ARE APPLIED. UNIT IS SECURED TO OPENING WITH INSTALLATION CLIPS. CLIPS ARE LOCATED A MAXIMUM OF 6" FROM CORNERS AND A MAXIMUM OF 24" O.C AT JAMBS AND 20" O.C AT HEAD/SILL. CLIPS ARE FASTENED WITH (4) #8 X 1-1/2" SCREWS. (2) PER SIDE. A MINIMUM OF 1 CLIP PER SIDE IS REQUIRED. THE PROVIDED CLIP SPACING REQUIREMENTS ASSURE ADEQUATE INSTALLATION FOR MAXIMUM DP PERFORMANCE.
- WASHERS: TAPCON SPACING AND LOCATION TO BE THE SAME AS WOOD SCREEN SPACING AND LOCATION.
- STRUCTURAL DESIGN PRESSURE RATINGS FOR UP TO 27 SQ.FT. UNIT SIZE = -67/-31 PSF. AREA OF WINDOW SHALL NOT EXCEED 27 SF.
- GLAZING SPECIFICATIONS:  
HEAT STRENGTHENED: THE UNITS UTILIZE 3/8" (.391") THICK LAMINATED GLASS FABRICATED & COMPOSED OF TWO NOMINAL 1/4" HEAT-STRENGTHENED SHEETS AND A .090" PVB BY SOLUTIA OR DUPONT GRAY OR CLEAR INNER LAYER.  
ANNEALED: THE UNITS UTILIZE 17/32" (.532") THICK LAMINATED GLASS FABRICATED & COMPOSED OF TWO NOMINAL 1/4" ANNEALED SHEETS AND A .090" PVB BY SOLUTIA OR DUPONT GRAY OR CLEAR INNER LAYER.  
GLAZING METHOD: GLASS IS SET FROM THE INTERIOR AGAINST THE SILICONE BED GLAZING AND BACK GLAZING. WOOD STOPS ARE POSITIONED AT THE INTERIOR AND SECURED WITH 1-1/2" LONG 15 GA. NAILS SPACED 8" O.C.. A SILICONE FILLET BEAD IS APPLIED ON THE EXTERIOR OF THE ARCH HEAD JAMBS. SILICONE BY DOW CORNING DC983-2 OR DC9-1350.
- FRAME CONSTRUCTION:  
FRAME MEMBERS CONSIST OF MOLDED PINE. THE JAMBS & SILL CONTAIN A REINFORCED FIBERGLASS CLADDING THAT IS SNAPPED & GLUED TO THE WOOD FRAME MEMBERS. THE FRAME CORNERS WERE MITERED, SEALED WITH SILICONE, & SECURED THROUGH THE WOOD WITH THREE 2" LONG FLATHEAD SCREWS PER CORNER. THE ANGLED FRAME CORNERS CONTAIN ADJUSTABLE CORNER KEYS & INJECTION MOLDED PLASTIC CORNER KEYS ARE POSITIONED AT EACH CORNER. SECURING THE EXTERIOR CLADDING. THE ANGLED FRAME CORNERS CONTAIN ADJUSTABLE CORNER KEYS & INJECTION MOLDED PLASTIC CORNER KEYS ARE POSITIONED AT EACH CORNER. SECURING THE EXTERIOR CLADDING. THE ANGLED FRAME CORNERS CONTAIN ADJUSTABLE CORNER KEYS & INJECTION MOLDED PLASTIC CORNER KEYS ARE POSITIONED AT EACH CORNER. SECURING THE EXTERIOR CLADDING. TWO 3/8" STAINLESS SCREWS PER CORNER SECURE THE CLADDING & THE CORNER KEYS.
- GLASS WITE = .750".
- UNIT CROSS-SECTION IS CONSISTANT THROUGHOUT EACH UNIT
- SPACING OF CLIPS ARE BASED ON A MAXIMUM ALLOWABLE LOAD OF 311 LBS/CLIP WITH (4) #8 X 1-1/2" SHEETROCK SCREWS AND 1-1/4" MIN. PENETRATION INTO S.T.P.

Approved as complying with the Florida Building Code  
Date Nov. 14, 2002  
NOA# 02-0519-12  
Miami Dade Product Control  
Division  
By [Signature]

THE UNIT ASSEMBLY, IMPACT FLEXIFRAME

Andersen Corporation  
Dayton, Minnesota 55003

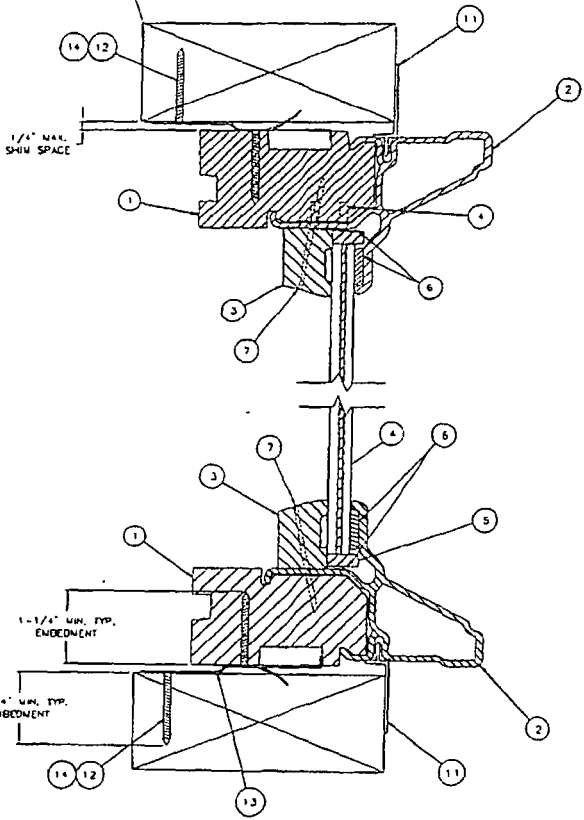
THIS DRAWING IS APPROVED AS A TECHNICAL DRAWING FOR THE DESIGN OF THE UNIT ASSEMBLY, IMPACT FLEXIFRAME. THE DESIGNER ASSUMES ALL RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE UNIT ASSEMBLY, IMPACT FLEXIFRAME. THE DESIGNER DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE UNIT ASSEMBLY, IMPACT FLEXIFRAME.

DATE: 7-25-99  
DRAWING NUMBER: DADE-12050  
Sht. 1 of 3

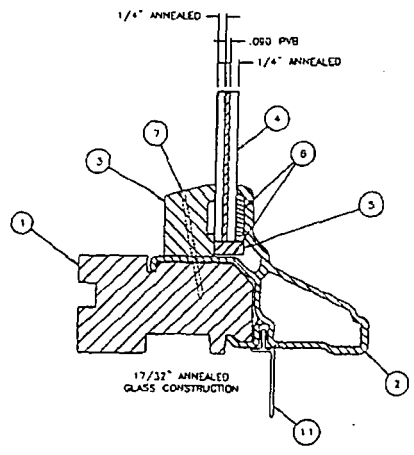
BB	10/17/03
REV	DATE

2" x 4" MINIMUM  
S.Y.P. OR SCYMER  
OR MASONRY

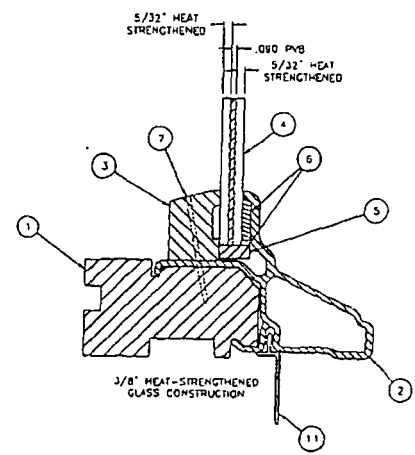
1/4" MAX.  
SPIN SPACE



SECTION A-A

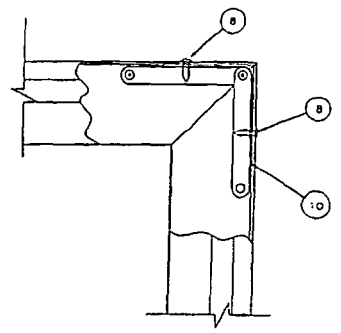


17/32" ANNEALED  
GLASS CONSTRUCTION

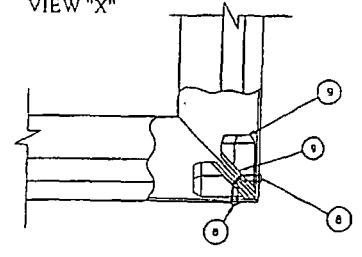


3/8" HEAT-STRENGTHENED  
GLASS CONSTRUCTION

14	1/4" DIAMETER CAPCON	-	STEEL	-	-
13	CLIP, INSTALLATION	3270217	STEEL	-	-
12	SMETLOCK SCREWS, 1/8 X 1-1/2	3621074	STEEL	-	-
11	FLANGE, SIDES & SILL	74136	VINYL	1.844	0.430
10	CORNERLOCK, ADJUSTABLE	11027	PLASTIC	3.750	0.721
9	CORNERLOCK - 90°	11029	PLASTIC	1.750	1.750
8	(2) SCREW, 1/8 X 5/8" /CORNER	3621000	STAINLESS STEEL	-	-
7	NAIL, 1-1/2 X 16 GA. B. O.C.	4220149	STEEL	-	-
6	SEALANT, SILICONE BED & BACK GLAZ.	4050017/42	SILICONE	-	-
5	SPACER, GLASS	20865	VINYL	1.000	0.425
4	GLASS, LAMINATED CLEAR/GRAY	04170/04171	-	-	-
3	STOP GLASS	12015	WOOD	1.000	0.719
2	COVER FLANGE	11024	PULTRUDED	2.390	3.115
1	JAMB, SILL	11023	WOOD	1.391	2.500
ITEM NO.	DESCRIPTION	DRAWING	MATERIAL	HEIGHT	WIDTH
DRAWING REFERENCE LIST					



VIEW "X"



VIEW "Z"

Approved as complying with the  
Florida Building Code  
Date NOV. 14, 2007  
NOAR 02-0919-12  
Missed Date Product Control  
Division  
By Yannick Sire

BY	10/12/07
REV	DATE

FILE  
UNIT ASSEMBLY, IMPACT  
FLEXIFRAME

Andersen Corporation  
Borger, Minnesota 55003

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EXCLUSIVE USE OF THE CUSTOMER. ANDERSEN CORPORATION ACCEPTS NO LIABILITY FOR  
REPRODUCTION OR DISTRIBUTION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF ANDERSEN CORPORATION.

COPYRIGHT ANDERSEN CORPORATION 1999. ALL RIGHTS RESERVED.

REVISIONS	DRAWING NUMBER
2-28-92	DADE-12050
DR. 3 of 3	



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**Andersen Corporation  
100 Fourth Avenue North  
Bayport, MN 55003**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION: Vinyl Clad Wood Awning Window- L.M.I.**

**APPROVAL DOCUMENT:** Drawing No. **W02-09**, dated 01/24/02, titled "Vinyl Clad Wood Awning Window (L.M.I.)" sheets 1 through 3 of 3, prepared by Al-Farooq Corporation, signed and sealed by Humayoun Farooq, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Theodore Berman, P.E.**

*Handwritten signature and date: 4/1/2004*



**NOA No 04-0303.02  
Expiration Date: April 22, 2009  
Approval Date: April 22, 2004  
Page 1**

Andersen Corporation

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**A. DRAWINGS**

1. Manufacturer's die drawings and sections.
2. Drawing No. **W02-09**, titled "Vinyl Clad Wood Awning Window (L.M.I.)." Sheets 1 through 3 of 3, prepared by Al-Farooq Corporation, dated 01/24/02, signed and sealed by Humayoun Farooq, P.E.

**B. TESTS**

1. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94  
2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94  
3) Water Resistance Test, per FBC, TAS 202-94  
4) Large Missile Impact Test per FBC, TAS 201-94  
5) Cyclic Wind Pressure Loading per FBC, TAS 203-94  
6) Forced Entry Resistance, per FBC, 2411.3.2.1 and TAS 202-94  
along with installation diagram of an vinyl clad wood awning window prepared by Architectural Testing, Report No. **ATI-02-33344.01**, dated 08/01/01, signed and sealed by Allen N. Reeves, P.E.
2. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94  
2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94  
3) Water Resistance Test, per FBC, TAS 202-94  
4) Large Missile Impact Test per FBC, TAS 201-94  
5) Cyclic Wind Pressure Loading per FBC, TAS 203-94  
6) Forced Entry Resistance, per FBC, 2411.3.2.1 and TAS 202-94  
along with installation diagram of an vinyl clad wood awning window prepared by Architectural Testing, Report No. **ATI-02-46289.01**, dated 09/20/03, signed and sealed by Allen N. Reeves, P.E.

**C. CALCULATIONS**

1. Anchor Calculations, ASTM-E1300, and structural analysis, prepared by Al-Farooq Corporation, dated 02/10/04, signed and sealed by Humayoun Farooq, P.E.

**D. QUALITY ASSURANCE**

1. Miami Dade Building Code Compliance Office (BCCO)

**E. MATERIAL CERTIFICATIONS**

1. Notice of acceptance No. **00-1212.04** issued to "E.I. DuPont DeNemours" for "Dupont Butacite ® PVB" dated 02/15/01 with expiration date on 12/11/05.



Theodore Berman, P.E.  
Deputy Director, Product Control Division  
NOA No 04-0303.02  
Expiration Date: April 22, 2009  
Approval Date: April 22, 2004

Andersen Corporation

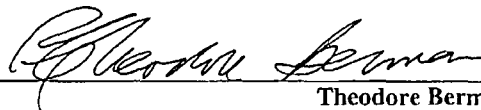
**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**F. STATEMENTS**

1. Statement letter of conformance, dated 02/10/04, signed and sealed by Humayoun Farooq, P.E.
2. Statement letter of no financial interest, dated 02/10/04, signed and sealed by Humayoun Farooq, P.E.

**G. OTHER**

1. Letter from the consultant stating that the product is in compliance with Florida Building Code (FBC).



Theodore Berman, P.E.  
Deputy Director, Product Control Division  
NOA No 04-0303.02  
Expiration Date: April 22, 2009  
Approval Date: April 22, 2004

DESIGN LOAD CAPACITY - PSF SHUTTERS NOT REQUIRED				
WINDOW DESCRIPTION	UNIT WIDTH INCHES	UNIT HT. INCHES	3/8" THICK NOMINAL	
			EXT. (+)	INT. (-)
AR21	24-1/8"	17"	67.0	82.0
AR251	28-3/8"		67.0	82.0
AR31	35-15/16"		67.0	82.0
AR351	40-13/16"		67.0	82.0
AR41	48"		67.0	82.0
AR451	52-13/16"		67.0	82.0
AR51	59-7/8"	67.0	82.0	
AN21	24-1/8"	20-1/2"	67.0	82.0
AN251	28-3/8"		67.0	82.0
AN31	35-15/16"		67.0	82.0
AN351	40-13/16"		67.0	82.0
AN41	48"		67.0	82.0
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A21	24-1/8"	24-1/8"	67.0	82.0
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A31	35-15/16"		67.0	82.0
A351	40-13/16"		67.0	82.0
A41	48"		67.0	82.0
A451	52-13/16"		67.0	82.0
A51	59-7/8"	67.0	82.0	
AW21	24-1/8"	28-3/8"	67.0	82.0
AW251	28-3/8"		67.0	82.0
AW31	35-15/16"		67.0	82.0
AW351	40-13/16"		67.0	82.0
AW41	48"		67.0	82.0
AW451	52-13/16"		67.0	82.0
AW51	59-7/8"	67.0	82.0	

**VINYL CLAD WOOD AWNING WINDOW**

WINDOWS GLAZED WITH LAMINATED GLASS RATED FOR LARGE MISSILE IMPACT AND REQUIRE NO SHUTTERS.

DESIGN LOAD RATING TO BE AS PER CHART SHOWN ABOVE.

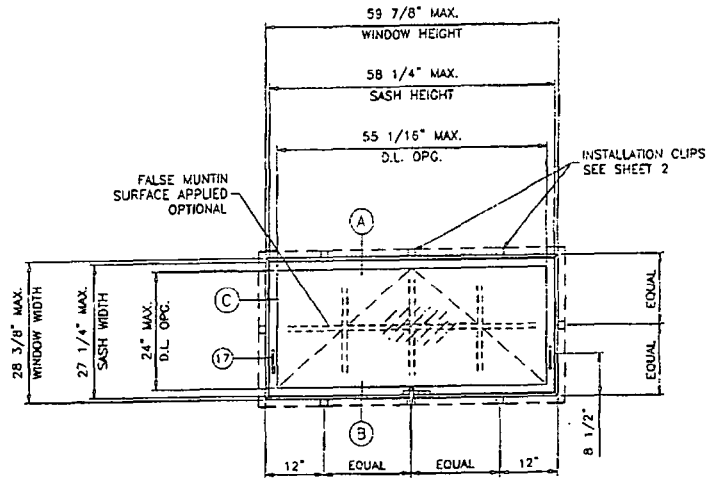
THESE PRODUCTS CAN BE INSTALLED AS SINGLE UNITS OR IN COMBINATION WITH MIAMI-DADE COUNTY APPROVED PRODUCTS USING APPROVED MULLION IN BETWEEN.

THIS PRODUCT IS DESIGNED TO COMPLY WITH THE HIGH VELOCITY HURRICANE ZONE OF THE 2001 FLORIDA BUILDING CODE.

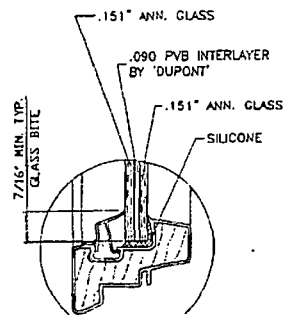
WOOD BUCKS BY OTHERS (MIN. 2X4 GRADE 2 SYP), MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.

ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.

ANCHORING OR LOADING CONDITIONS NOT SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.



TYPICAL ELEVATION  
TESTED UNIT



3/8" THICK NOMINAL  
IMPACT RESISTANT GLASS  
SHUTTERS NOT REQUIRED

Approved as complying with the  
Florida Building Code  
Date APRIL 22, 2004  
NOAW 04-0303-02  
Miami Dade Product Control  
By Charles Beerman

Engr. DR. HUWAYJUN FAROOQ  
STRUCTURES  
FLA. PE # 16557  
C.A.N. 3538

FEB 11 2004

*afc*

**AL-FAROOQ CORPORATION**  
ENGINEERS, PLANNERS & PRODUCT DESIGN  
1235 SW 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-8100 FAX. (305) 262-6978  
COMP-PAUL W02-09AC

---

**VINYL CLAD WOOD AWNING WINDOW (L.M.I.)**  
**ANDERSEN CORPORATION**  
100 FOURTH AVE. NORTH  
BAYPORT, MN. 55003-1096  
TEL. (800) 426-7691 FAX (-)

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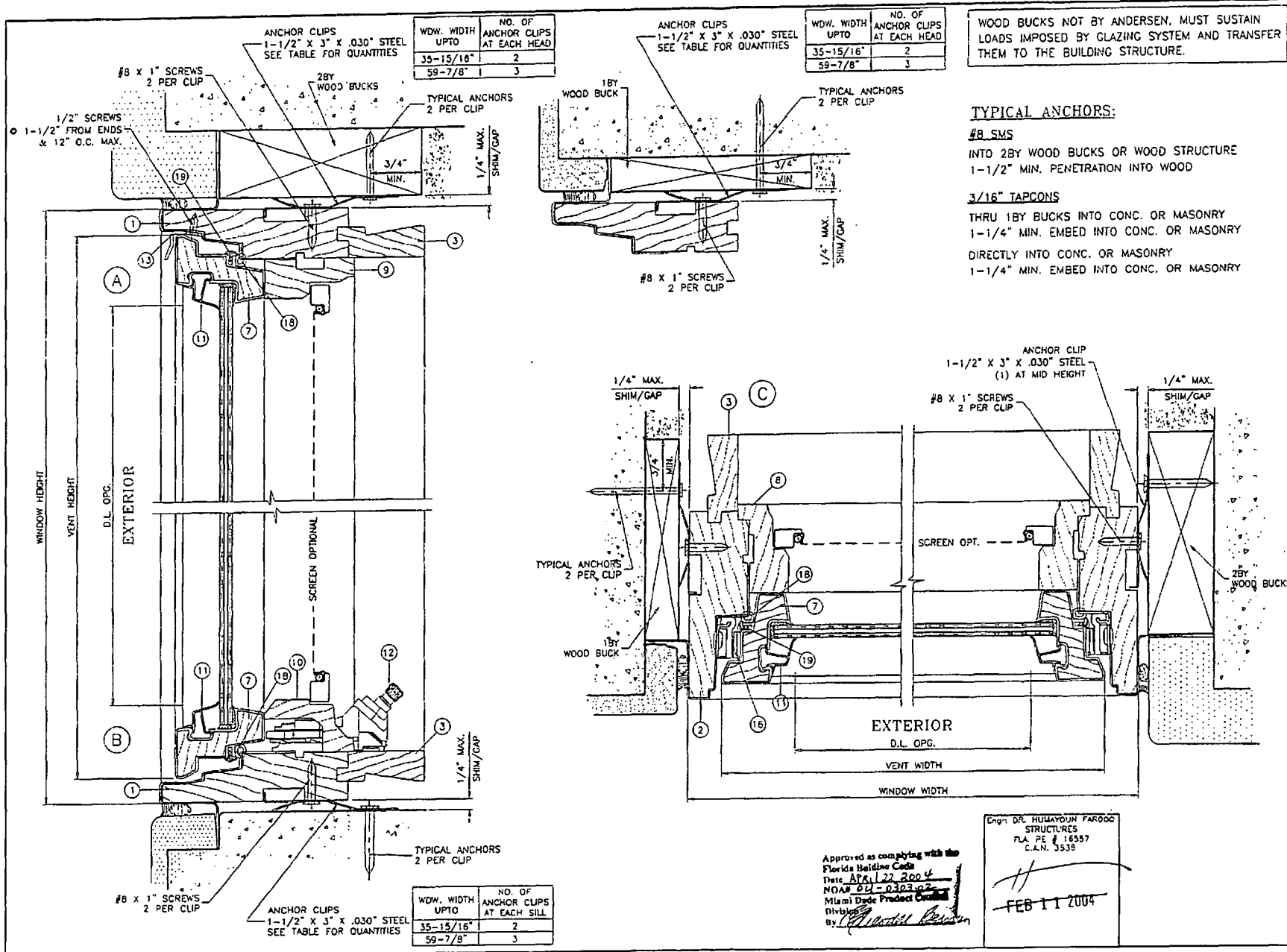
DATE: 01-24-02  
SCALE: 1/2"=1'-0"  
DR. BY: HAWND  
CHK. BY:

---

drawing no.  
**W02-09**

---

sheet 1 of 3



WDW. WIDTH UPTO	NO. OF ANCHOR CLIPS AT EACH HEAD
35-15/16"	2
59-7/8"	3

WDW. WIDTH UPTO	NO. OF ANCHOR CLIPS AT EACH HEAD
35-15/16"	2
59-7/8"	3

WOOD BUCKS NOT BY ANDERSEN, MUST SUSTAIN LOADS IMPOSED BY GLAZING SYSTEM AND TRANSFER THEM TO THE BUILDING STRUCTURE.

**TYPICAL ANCHORS:**  
**#8 SMS**  
 INTO 2BY WOOD BUCKS OR WOOD STRUCTURE  
 1-1/2" MIN. PENETRATION INTO WOOD  
**3/16" TAPCONS**  
 THRU 1BY BUCKS INTO CONC. OR MASONRY  
 1-1/4" MIN. EMBED INTO CONC. OR MASONRY  
 DIRECTLY INTO CONC. OR MASONRY  
 1-1/4" MIN. EMBED INTO CONC. OR MASONRY

*afc*  
**AL-FAROOQ CORPORATION**  
 ENGINEERS, PLANNERS & PRODUCT DESIGN  
 1235 SW 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL. (305) 264-8100 FAX. (305) 262-6978  
 COMP-FANI-W02-09AC

**VINYL CLAD WOOD AWNING WINDOW (L.M.I.)**  
**ANDERSEN CORPORATION**  
 100 FOURTH AVE. NORTH  
 BAYPORT, MN. 55003-1096  
 TEL. (800) 426-7891 FAX (-)

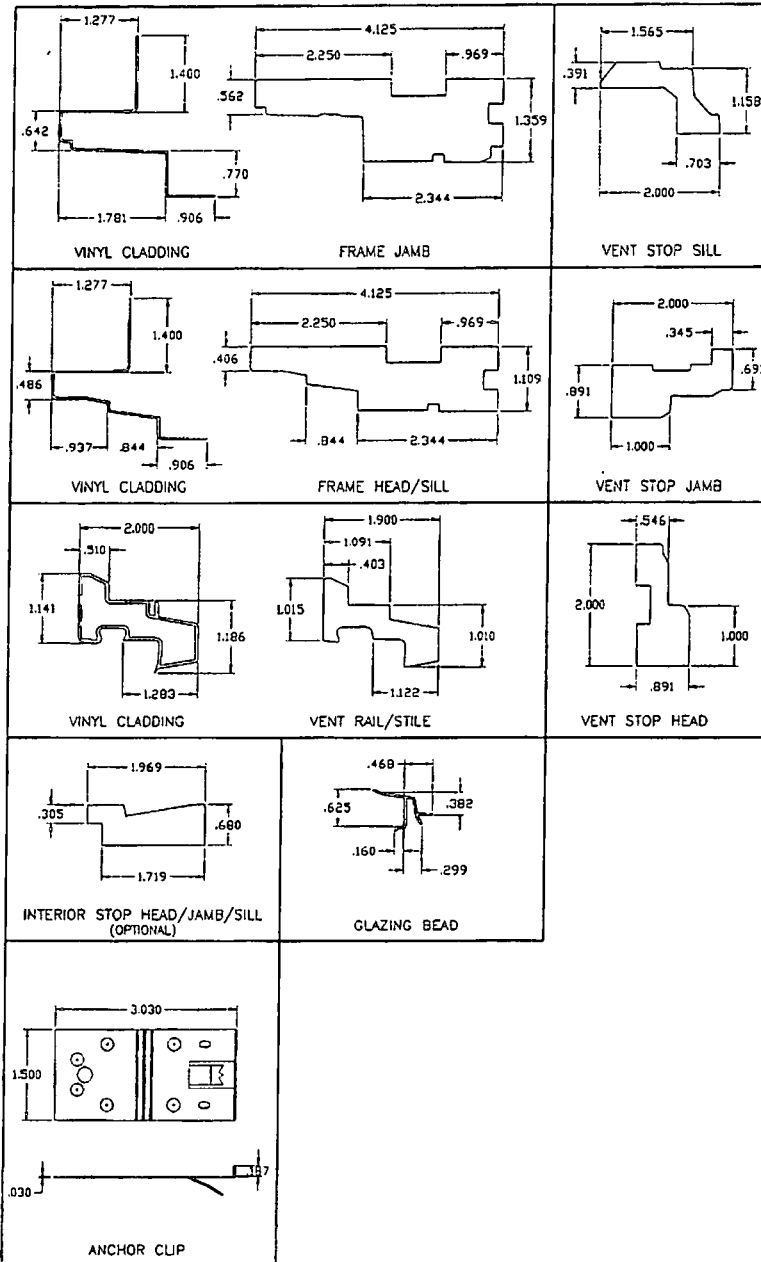
REVISIONS:	NO.	DATE	BY	DESCRIPTION

Order: 01-24-02  
 Scale: 1/2" = 1"  
 Dr. By: HAMID  
 Chk. By:

drawing no.  
**W02-09**  
 sheet 2 of 3

Approved as complying with the Florida Building Code  
 Date: APR 12 2004  
 NOAW 04-0303-02  
 Miami Dade Product Control  
 Division  
 By: *[Signature]*

Eng: DR. HUMAYOUN FAROOQ  
 STRUCTURES  
 FLA. PE # 16557  
 C.A.N. 3538  
 FEB 11 2004

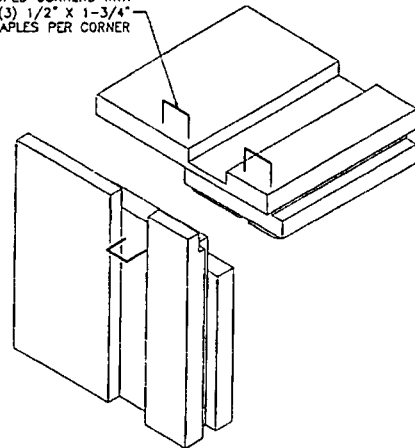


ITEM #	PART NO.	QUANTITY	DESCRIPTION	MATERIAL	MANF./SUPPLIER/REMARKS
1	30838	AS REQD.	FRAME JAMB	WOOD	ANDERSEN
2	30838	AS REQD.	FRAME HEAD/SILL	WOOD	ANDERSEN
3	-	OPTIONAL	EXTENSION JAMBS	WOOD	ANDERSEN
4	-	-	-	-	-
5	-	-	-	-	-
6	-	-	-	-	-
7	30013	4/	SASH SASH RAIL/STILE	WOOD	ANDERSEN
8	40145	2/	WDW. VENT STOP HEAD	WOOD	ANDERSEN
9	-	1/	WDW. VENT STOP JAMB	WOOD	ANDERSEN
10	40146	1/	WDW. VENT STOP SILL	WOOD	ANDERSEN
11	29268	AS REQD.	GLAZING BEAD	PVC	-
12	-	1/	SASH ROTO OPERATOR WITH SINGLE ARM	STEEL	AMEROCK CORP.
13	30442	1/	SASH ALUMINUM SNUGGER	5052-H32	-
14	#8 X 1/2"	-	SNUGGER SCREWS	-	AT 1-1/2" FROM ENDS & 12" O.C.
15	30053	-	STATIONARY SASH CLIP	STEEL	-
16	1381402	2/	SASH HINGE ASSEMBLY AT TOP CORNERS	STEEL	AMEROCK CORP.
17	40149	AS REQD.	LOCK W/ KEEPERS ON SASH	STEEL	AMEROCK CORP.
18	40152	AS REQD.	WEATHERSTRIP STILE	FOAM	-
19	29197	AS REQD.	WEATHERSTRIP RETAINER	PVC	-

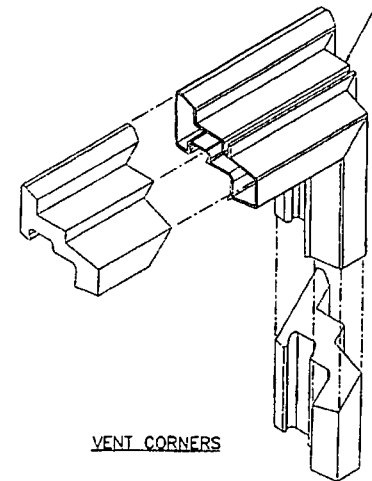
ALL WOOD TO BE PONDEROSA PINE OR EQUAL

COPED CORNERS WITH (3) 1/2" X 1-3/4" STAPLES PER CORNER

VINYL CLADDING CORNERS W/TER CUT WELDED ALL AROUND



FRAME CORNERS



VENT CORNERS

Approved as complying with the Florida Building Code  
 Date: 02/17/2004  
 NOAH 04-0203-02  
 Miami Dade Product Control  
 Division  
 By: [Signature]

Engr: DR. HUMAYOUN FAROOQ  
 STRUCTURES  
 FLA. PE # 18557  
 C.A.N. 3538

FEB 11 2004

*afc*

**AL-FAROOQ CORPORATION**  
 ENGINEERS, PLANNERS & PRODUCT DESIGN  
 1235 SW 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL: (305) 264-8100 FAX: (305) 262-6978  
 COMP-ANL W02-09AC

**ANDERSEN CORPORATION**  
 VINYL CLAD WOOD AWNING WINDOW (L.M.I.)  
 100 FOURTH AVE. NORTH  
 BAYPORT, MN. 55003-1096  
 TEL: (800) 426-7691 FAX: (-)

REV	DATE	BY	DESCRIPTION

date: 01-24-02  
 scale: 1/2" = 1"  
 dr. by: HAMD  
 chg. by:

drawing no.  
**W02-09**  
 sheet 3 of 3



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 11/16, 2005

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7447	DIMITRIOU 6 BANYAN RD ONSYSYSTEMS	FINAL WINDOW REPLACEMENT  (11:30 Please)	FAIL	INSPECTOR: <i>AM</i>
7849	DIMITRIOU 6 BANYAN O/B	FINAL WINDOW REPLACEMENT  (11:30 Please)	PASS	CLOSE INSPECTOR: <i>AM</i>
<del>7325</del> 3	<del>Schmader</del> 102 A Seward Way Conway	<del>bath</del>	PASS	INSPECTOR: <i>AM</i>
7848 9A	Jacobi 4 Banyan Rd.	fence replacement	PASS	CLOSE INSPECTOR: <i>AM</i>
TREE 1	GREENE 26 ISLAND	TREE	PASS	INSPECTOR: <i>AM</i>
7879 2	MARTIN 23 IS. ROAD O.B.	ELEC. ROOM	PASS	INSPECTOR: <i>AM</i>
7806 8A	10 CASTLE HILL MIRAGE POOLS	POOL STEEL	PASS	INSPECTOR: <i>AM</i>

OTHER: \_\_\_\_\_



7328

## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 102 HENRY SEWALL

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

RIVER RELEASE

TRIM OUT ALL RECEPTACLES  
INCLUDING AT ATTIC AHU  
WEST END.

EMERGENCY PAN MISSING AUTO  
CUT OFF AT BOTH AHU'S  
INSTALL W.H.

SERVICE PANEL NOT INSTALLED  
ON EITHER AHU.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/7

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/7, 2006 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8080	Slater	rough	PASS	@ BAL-B-Q
11	4 NE Hampton Bl. Ct. Prep work Misc.			INSPECTOR: <i>OM</i>
7874	SLAHER	FRAMING	WILL	RESCHEDULE
11	4 LAGOON ISL.	PLUMBING	PASS	
		TRUSS ENGR	PASS	INSPECTOR: <i>OM</i>
<del>7320</del>	<del>SCHMIDT</del>	<del>POWER RELEASE</del>	<del>FAIL</del>	
3	102 HENRY SQUARE CONWAY			INSPECTOR: <i>OM</i>
8143	CONNOLLY	WALL STRAPPING	FAIL	
10	23 N. RINBEVIEW CUSTOM CRAFT			INSPECTOR: <i>OM</i>
8012	TRANTER	LATH.	PASS	
1	9 MIDDLE RD. PARKS	WINDOW RUCK.	FAIL	INSPECTOR: <i>OM</i>
7978	<del>                    </del>	FINAL	PASS	CLOSE
	29 N. RINBEVIEW D.B.	PRIVACY WALL		INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>OM</i>

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/19, 2006 Page 2 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
2	TERRA PROPERTIES 120 N. Sewall's Pt	TREE	PASS	INSPECTOR: <i>[Signature]</i>
8090	Sternhoj 106 Hillcrest DR	Dry in	PASS	INSPECTOR: <i>[Signature]</i>
12	JA Taylor	1st Please		
7689	Harte	Final - removal	PASS	CLOSE
7	3 E. High Point Rd First Fl. Sewel.			INSPECTOR: <i>[Signature]</i>
8137	Harte	Final	FAIL	
7	3 E. High Pt Rd First Fl Sewel.	door + window		INSPECTOR: <i>[Signature]</i>
7576	SILAS 10 CASTLE HILL	Pool DECK DRE POOL	PASS	WILL DROP OFF COMP. TEST TO BLDG DEPT
!	STATEWIDE	1st PLEASE		INSPECTOR: <i>[Signature]</i>
7328	<del>Schmoller</del>	<del>Pool Deck</del>	<del>PASS</del>	<del>CONTACT FPL</del>
9	102 Henry Sewell Way Steve Conway	release		FOR METER INSPECTOR: <i>[Signature]</i>
7922?	Tranter	Insulation	FAIL	
8012?	9 Middle Rd Parks Co.	Trap.		INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

**Laura O'Brien**

---

**From:** "Laura O'Brien" <builddpt@sewallspoint.martin.fl.us>  
**To:** "FPL" <tc\_inspections@fpl.com>  
**Sent:** Wednesday, April 19, 2006 3:16 PM  
**Subject:** 102 Henry Sewall Way

Please install a meter at the following location:

Schmader  
102 Henry Sewall Way  
Sewalls Point, FL

Should you have any questions, please contact Phil or Valerie at Building Dept 772-287-2455 Ext 13 - M-F 8-4

TOWN OF SEWALL'S POINT  
Building Department  
One South Sewall's Point Road  
Sewall's Point, Florida 34996

POWER RELEASE AGREEMENT: PN: 7328 → FILE  
(To be submitted at final electrical inspection in order to turn on electric service)

Owner: LEN SCHMADER Address: 905 SANCTUARY COVE DR  
NORTH BEACH SEWALLS 33410  
Project Address: 102 HENRY SEWELL WAY Legal: Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: MEADOW  
General Contractor: STEPHEN P. CONWAY Lic/Cert. No.: CRE 053742  
Address: 907 E OCEAN #232 STUART FL Tel: 220-0064 Fax: 220-8601  
Electrical Contractor: COOK ELECTRICAL Lic/Cert. No.: ER 0008060  
Address: 4250 SE COMMERCE AV Tel: 287-0938 Fax: \_\_\_\_\_  
STUART, FL

WHEREAS, pursuant to the provisions of, and governed by the National Electrical Code and Ordinances of the Town of Sewall's Point, electric hook-up for use during building operations and for testing purposes under a valid building permit is authorized under prescribed terms and conditions; and,

WHEREAS, the above named responsible persons, firms or corporations have requested an electrical hook-up of 102 HENRY SEWELL WAY for the purpose of AC / WOOD FLOORS at the above designated construction now in progress under a valid building permit; and equipment and completion of building operations as herein above described.

NOW THEREFORE IT IS AGREED BY AND BETWEEN THE PARTIES THAT:

1. The parties to this agreement are Gene Simmons, Building Official, Town of Sewall's point, and the above named responsible persons, firms, corporations.
2. In order to allow electrical service to be provided to certain equipment being placed at the referenced construction address the Building Official hereby agrees to grant an electrical hook-up permit.
3. This electrical hook-up will be revoked or a Certificate of Occupancy will be issued to verify completion.
4. The electric hook-up is solely for the purposes stated. No furniture or occupants will be moved into the building until a Certificate of Occupancy is issued.

IN WITNESS WHEREOF the parties have caused this agreement to be executed this \_\_\_\_\_ day of APRIL, 2006.

Stephen P. Conway  
SIGNATURE OF GENERAL CONTRACTOR

Mark Cole  
SIGNATURE OF ELECTRICAL CONTRACTOR

Len Schmader  
SIGNATURE OF OWNER

\_\_\_\_\_  
GENE SIMMONS, BUILDING OFFICIAL



7328

# TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

## CORRECTION NOTICE

ADDRESS: 102 HENRY SEWALL WAY

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL

NEED • FINAL SURVEY

• ELEV. CERTIFICATE

NEED • GAR WALL RELIEF VENTS  
PER PLANS.

• FINAL TERMITE CERT.

• HVAC EFF. CARD.

• HEALTH DEPT.

• TRAP UNDER MASTER LAU IS 3'  
TRAP & ILLEGAL.

• SECURE 3' BOX UNDER WHIRLPOOL  
TUB

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 07/20/06

[Signature]

INSPECTOR

**DO NOT REMOVE THIS TAG**



7328

## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 102 HENRY SEWALL WAY

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL  
ILLEGAL CONNECTIONS AT KIT  
SINK - MISSING VENT -  
TRAP CONNECTION AT IS. BAR  
SINK MUST BE ~~BE~~ WITH  
AUTOMATIC VENT. 'S' TRAP  
IS ILLEGAL.  
SEAL PIPE AT WATER SERVICE  
ENTRY TO BUILDING.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/26/06

INSPECTOR

**DO NOT REMOVE THIS TAG**



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 6-26, 2006 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7576	Silas	driveway	PASS	
4	10 Castle Hill Way			INSPECTOR: <i>[Signature]</i>
	Statewide			
M.C.		FINAL ROOF	PASS	
2A	815 RIVER RD.			INSPECTOR: <i>[Signature]</i>
	ALL AMER.			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7328</del>	<del>Seaside</del>	<del>Final</del>	<del>Fail</del>	
1A	102 Henry Sewall Way			INSPECTOR: <i>[Signature]</i>
	Conway			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 102 HENRY SEWALL

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL

ELEV. CERTIFICATE NEEDS TO  
ADDRESS GARAGE VENTS  
PER FEMA

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/28

[Signature]

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 6/28, 2006 Page 2 of 4

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>1328</del>	<del>Schmader</del>	<del>Final</del>	<del>FAIL</del>	<del>REWORK</del>
4	102 Henry Sewall Way Steve Conway			INSPECTOR: <i>DM</i>
8089	RIVER	Gen final	DUPLICATION	
<del>X</del>	<del>29 S. RIVER</del>			
	<del>Elect Connection</del>			INSPECTOR:
7917	Lewinger	Final	PASS	CLOSE
6	8 N Via Lucinda Star Const			INSPECTOR: <i>DM</i>
8159	Rulok	Steel drain	CANCEL	
<del>X</del>	<del>20 E High Pt</del>			
	<del>Advantage Pool</del>			INSPECTOR:
7786	Walker	Partial wire work	PASS	
7	6 Cranes Nest Santero			INSPECTOR: <i>DM</i>
8161	Rimer	Final wall	FAIL	
14	29 S. River Rd Pear Deneil.			INSPECTOR: <i>DM</i>
8089	Rimer	Final Elect	FAIL	
14	29 S River Rd OB	Final gen.		INSPECTOR: <i>DM</i>
OTHER:				

7483

---

Pool

---

BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 4/13/05 SCHMADER BUILDING PERMIT NO. 7.4.83  
 Building to be erected for ~~SCHMADER~~ Type of Permit Pool  
 Applied for by OLYMPIC POOLS (Contractor) Building Fee 240.00  
 Subdivision SEWALL'S MEADOW Lot 9 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
 Address 102 HENRY SEWALL Impact Fee \_\_\_\_\_  
 Type of structure SFR A/C Fee \_\_\_\_\_  
 Electrical Fee \_\_\_\_\_  
 Plumbing Fee \_\_\_\_\_  
 Roofing Fee \_\_\_\_\_  
 Amount Paid 264.00 Check # 4042 Cash \_\_\_\_\_ Other Fees 109.00 PLAN 24.00  
 Total Construction Cost \$ 12,000 TOTAL Fees 264.00

Signed [Signature] Applicant  
 Signed [Signature] Town Building Official

Permit expired 4-13-06  
 4-13-06 to 8-13-06  
~~5~~ mo @ 26.40 = 132.00  
~~\$132.00~~

### PERMIT

- CAL
- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

### RECTIONS

- UN \_\_\_\_\_
- UN \_\_\_\_\_
- ST \_\_\_\_\_
- SL \_\_\_\_\_
- RO \_\_\_\_\_
- TR \_\_\_\_\_
- ROOF TINTAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_
- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

Renewal: 5mo @ 2640/mo = 13200 PA 9/1/06 UH5387  
good until 9/1/06

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 4/13/05 BUILDING PERMIT NO. 7483  
 Building to be erected for SCHMADER Type of Permit Pool  
 Applied for by OLYMPIC POOLS (Contractor) Building Fee 240.00  
 Subdivision SEWALL'S MEADOW Lot 9 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
 Address 102 HENRY SEWALL Impact Fee \_\_\_\_\_  
 Type of structure SFR A/C Fee \_\_\_\_\_  
 Electrical Fee \_\_\_\_\_  
 Plumbing Fee \_\_\_\_\_  
 Parcel Control Number: \_\_\_\_\_ Roofing Fee \_\_\_\_\_  
1338410130000960000 Other Fees 1090 PLAN REVENUE 24.00  
 Amount Paid 264.00 Check # 4042 Cash \_\_\_\_\_ TOTAL Fees 264.00  
 Total Construction Cost \$ 12,000

Signed [Signature] Applicant  
 Signed [Signature] Town Building Official

O P CUSTOM POOLS, INC.  
 3331-B S.W. 42ND AVENUE  
 PALM CITY, FL 34990  
 (772) 286-6070

FIRST NATL BANK AND TRUST CO  
 PALM CITY, FL 34990  
 63-515/670

538

9/7/2006

PAY TO THE ORDER OF TOWN OF SEWALL'S POINT \$ 132.00

One Hundred Thirty-Two and 00/100 \*\*\*\*\* DOLLARS

TOWN OF SEWALL'S POINT

[Signature]  
 Pamela Smith

MEMO  
 Schmader

2005 INUIT INC. # 571 1-800-433-6810

MAR 8 1 2005

Permit Number: \_\_\_\_\_

BY: \_\_\_\_\_

### Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Lea Schmedel Phone (Day) 561 799 9629 (Fax) \_\_\_\_\_

Job Site Address: 102 Harry Sewall Way City: Sewall Way State: FL Zip: \_\_\_\_\_

Legal Description of Property: Lot 9 Sewall's Meadow Parcel Number: 13384101300000960000

Owner Address (if different): 905 Spunk Highway Cape Can City: N. Palm Beach State: FL Zip: 33410

Description of Work To Be Done: Pool

WILL OWNER BE THE CONTRACTOR?: Yes  No  (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Olympic Pools Phone: 772 2866070 Fax: 772 2886962

Street: 3331 B SW 42nd Ave City: Palm City State: FL Zip: 34990

State Registration Number: \_\_\_\_\_ State Certification Number: CPC039888 Martin County License Number: \_\_\_\_\_

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 12,000.00 (Notice of Commencement needed over \$2500)

#### SUBCONTRACTOR INFORMATION:

Electrical: Cook Electric State: FL License Number: ER008060

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT Curtis Sinclair Inc Phone Number: 561 630 8534

Street: 8259 N. Military Trail Suite 3 City: P.B. Gardens State: FL Zip: 33418

ENGINEER Stephen M. Sinclair PE Phone Number: 561 630 8534

Street: 8259 N. Military Trail, Suite 3 City: P.B. Gardens State: FL Zip: 33418

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
Lea Schmedel  
State of Florida, County of: Martin  
This the 2 day of March, 2005  
by Lea Schmedel who is personally

known to me or produced  
as identification  
JOHN K. DAVIES, JR.  
MY COMMISSION # DD121222  
EXPIRES: May 30, 2008  
FL Notary District Assoc  
My Commission Expires \_\_\_\_\_  
Seal

CONTRACTOR SIGNATURE (required)  
Kim Smith  
On State of Florida, County of: Martin  
This the 30 day of March, 2005  
by Kim Smith who is personally

known to me or produced  
As identification  
JOHN K. DAVIES, JR.  
MY COMMISSION # DD121222  
EXPIRES: May 30, 2008  
FL Notary District Assoc  
My Commission Expires \_\_\_\_\_  
Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID JK  
OLYMP-7

DATE (MM/DD/YYYY)

01/18/05


<b>PRODUCER</b> Insurance By Ken Brown, Inc. P.O. Box 540569 1339 Arlington Street Orlando FL 32805 Phone: 407-849-0490 Fax: 407-648-0197	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
	<b>INSURERS AFFORDING COVERAGE</b>	<b>NAIC #</b>
<b>INSURED</b>  Olympic Pools of Stuart Corp/ 3331-B S W 42 Ave Palm City FL 34990	INSURER A: <b>Amerisure Mutual Ins. Co</b>	23396
	INSURER B: <b>Amerisure Ins Company</b>	19488
	INSURER C:	
	INSURER D:	
	INSURER E:	

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> PP BAI GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	CPP1385418/B	02/01/05	02/01/06	EACH OCCURRENCE \$ 1,000,000
	DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000				
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
B	EXCESS/UMBRELLA LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$10,000	CU2012899/B	02/01/05	02/01/06	EACH OCCURRENCE \$ \$3,000,000 AGGREGATE \$ \$ \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	WC201793700/B	02/01/05	02/01/06	WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ 1000000 E.L. DISEASE - EA EMPLOYEE \$ 1000000 E.L. DISEASE - POLICY LIMIT \$ 1000000
	OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

<b>CERTIFICATE HOLDER</b>  SEWALLS  City of Sewalls Point 1 South Sewalls Point Rd. Sewalls Point FL 34996	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
--	---





STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783

(850) 487-1395

SMITH, KIM S  
OLYMPIC POOLS OF STUART CORP  
3331-B SW 42ND AVENUE  
PALM CITY FL 34990



STATE OF FLORIDA

AC# 1446890

DEPARTMENT OF BUSINESS AND  
PROFESSIONAL REGULATION

CPC039888 06/11/04 030706675

CERT COMMERCIAL POOL/SPA CONTR  
SMITH, KIM S  
OLYMPIC POOLS OF STUART CORP

IS CERTIFIED under the provisions of Ch.489 FS.  
Expiration date: AUG 31, 2006 L64061102066

DETACH HERE

AC# 1446890

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04061102066

DATE	BATCH NUMBER	LICENSE NBR
06/11/2004	030706675	CPC039888

The COMMERCIAL POOL/SPA CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

SMITH, KIM S  
OLYMPIC POOLS OF STUART CORP  
3331-B SW 42ND AVENUE  
PALM CITY FL 34990

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR  
SECRETARY

**2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE # 1982-530-026 CERT CPC039888  
PHONE (772)286-6070 SIC NO 235990

LOCATION:  
**3331 SW 42ND AVE AV-B PC**

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF **CERTIFIED POOL SPA CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

**15** DAY OF **SEPTEMBER** 20**04**

AND ENDING SEPTEMBER 30, **2005** 12 04091402 002744

**SMITH KIM S  
OLYMPIC POOLS OF STUART CORP.  
3331 SW 42ND AVENUE B  
PALM CITY FL 34990**

# TOWN OF SEWALL'S POINT

## RESIDENTIAL SWIMMING POOLS, SPA AND HOT TUB SAFETY ACT

### AFFIDAVIT OF REQUIREMENT COMPLINACE

I (We) acknowledge that a new swimming pool, spa or hot tub has been constructed or installed at \_\_\_\_\_, and hereby affirm that one of the following methods has been used to meet the requirements of Chapter 515, Florida Statues.

           The pool is isolated from access to the home by an enclosure that meets the pool barrier requirements of Florida Statue 515.29

           The pool is equipped with an approved safety pool cover that complies with ASTM F1346-91 (Stand Performance Specification for Safety Covers for Swimming Pool, Spas, and Hot Tubs)

           All doors and windows providing direct access from the home to the pool are equipped with an exit alarm that has a minimum sound pressure rating of 85 decibels at 10 feet

           All doors providing direct access from the home to the pool are equipped with self-closing, self-latching devices with release mechanisms placed no lower than 54" above the floor or deck

I understand that not having one of the above installed at the time of final inspection, or when the pool is completed for contract purposes, will constitute a violation of Chapter 515, F.S. and will be considered as committing a misdemeanor of the second degree, punishable by fines up to \$500 and/or up to 60 days in jail as established in Chapter 775, F.S.

           3/30/05  
CONTRACTOR'S SIGNATURE & DATE

           3-2-05  
OWNER'S SIGNATURE & DATE

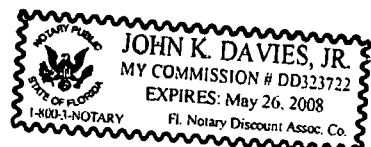
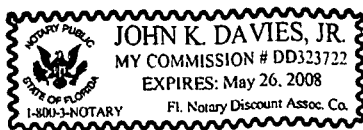
            
NOTARY PUBLIC, STATE OF FLORIDA

            
NOTARY PUBLIC, STATE OF FLORIDA

AS TO CONTRACTOR PERSONALLY KNOWN  
OR PRODUCED ID \_\_\_\_\_  
TYPE \_\_\_\_\_

AS TO OWNER PERSONALLY KNOWN  
OR PRODUCED ID \_\_\_\_\_  
TYPE \_\_\_\_\_

**THIS FORM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO FINAL INSPECTION**



## CRITIQUE

Owner: Schmader

Date: April 1, 2005

Contractor: Olympic Pools

Contractor's Phone Number: 286-6070

Plan Reviewer: Gene Simmons

### PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITALS FOR POOL LOCATED AT 102 HENRY SEWALL WAY

#### Submittals (2 copies)

1. Current survey (**within one year**) containing the following information:
  - a. Computation of pervious and impervious areas including proposed pool with deck.
2. **Who is going to build deck? They will need to pull permit for deck.**



TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2300.00

PERMIT # \_\_\_\_\_ TAX POLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

102 HENRY SEWALL WAY LOT 9 SEWALL'S MEADOW

GENERAL DESCRIPTION OF IMPROVEMENT: SINGLE FAMILY RESIDENCE AND POOL

OWNER: LEONARD J SCHMADER

ADDRESS: 905 SANCTUARY COVE DR NORTH PALM BEACH, FL 33410

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

CONTRACTOR: OWNER BUILDER

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

SURETY COMPANY (IF ANY): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

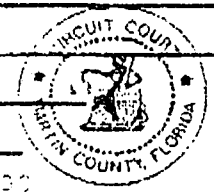
PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_



*[Signature]*  
DATE 2-7-05

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: LEONARD J SCHMADER

ADDRESS: 905 SANCTUARY COVE DR NORTH PALM BEACH, FL 33410

PHONE #: 561-799-9629 FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

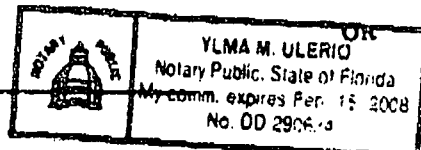
PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

*[Signature]*  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 24th DAY OF May  
25 BY Leonard J. Schmader  
2004

*[Signature]*  
NOTARY SIGNATURE



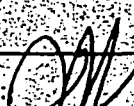
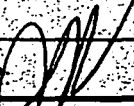
PERSONALLY KNOWN  
PRODUCED ID  
TYPE OF ID FL 5336 S3041096-0  
12/26/02  
EXP 3/16/10

INSTR # 1812549 OR BK 01980 PG 0176 RECD 02/07/2005 11:22:15 AM  
MARSHA EMANIG MARTIN COUNTY DEPUTY CLERK S Phoebe@a

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri MON MAY 2, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
<del>7477</del>	<del>SCHMIDT</del>	<del>POOL STRUCTURE</del>	<del>PAS</del>	
1A	102 HENRY Sewall Olympic Pools			INSPECTOR: 
7477	SCHUTES	IN Prog	---	MUST RESCHEDULE
6	46 RIO VISTA Dr PEROOF AMERICA	FLAT ROOF		INSPECTOR:
6632	Schepleng 110 Abbie Court O/B	Final SFR	PAS	READY FOR C.O INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:

OTHER: \_\_\_\_\_



7483

## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 102 HENRY SEWALL

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

POOL PLUMBING

NO PERMIT POSTED

POOL CONSTRUCTION DRAWINGS IS

DAMAGED BEYOND USE. REPLACE

WITH NEW.

\_\_\_\_\_

\$40 FEE.

\_\_\_\_\_

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1/18

[Signature]

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 1/18, 2006 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7850	DE SANTIS	GAS TANK + LINES	FAIL	
4	82 S. SEWALL'S SPECIALTY APPLIANCE			INSPECTOR:
7862	DE SANTIS	WINDOWS + DOORS	PASS	221-7210
4	82 S. SEWALL'S Pt O/B	BUCKS		INSPECTOR:
TREE	GUNZEL	TREE	PASS	
8	19 N. SEWALL'S Pt			INSPECTOR:
TREE	MADER	TREE	PASS	
2	106 ABBIE COURT			INSPECTOR:
8005	ZACHIEL	FINAL GARAGE DOOR	PASS	CLOSE
3	1 RIVERVIEW DR O/B			INSPECTOR:
7971	BUSSEY	POOL ST & DRAIN	PASS	
7	1 PALMETTO OLYMPIC POOLS			INSPECTOR:
7483	SCHMADER	POOL PUMPING	FAIL	\$40 FEE
1	102 HENRY SEWALL OLYMPIC POOLS			INSPECTOR:

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_





7483

**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 102 HENRY SEWALL

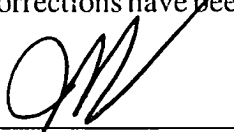
I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

POOL PLUMBING

MAX UNDER WATER LENGTH OF  
ATMOSPHERIC VENT FOR 3/4 HIP  
PUMP IS 19 FT. FIELD  
INSTALLATION IS ABOUT 30 FT.  
AND EXCEEDS MAX. ALLOWABLE.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/3



INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 2/3, 2006

Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7483</del>	<del>SCHMADER</del>	<del>POOL PLUMBING</del>	<del>FAIL</del>	
1	102 HENRY SEWALL OLYMPIC POOLS			INSPECTOR: <i>QW</i>
7809	D'ALESSANDRO	RAFTER STRAPS	PASS	LATER
6	4 EMARITA WAY O/B.			INSPECTOR: <i>QW</i>
6719	DONAHUE	FINAL SHUTTERS	PASS	
2	163 S SEWALL P.R.O. NPL SHANNONS			INSPECTOR: <i>QW</i>
	WEISENBER	SEWER	FAIL	
	8 CASTLE HILL	STUB OUT & CLEAN OUTS		INSPECTOR: <i>QW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 102 HENRY SEWALL

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

POOL PLUMBING.

MAX. UNDERWATER LENGTH  
OF ATMOSPHERIC VENT IS  
19 FEET. DISTANCE OF VENT  
TERMINATION FROM DRAIN IS  
NOT THE DETERMINING  
FACTOR

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/8

OK  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 2/8, 2006 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7183</del>	<del>SEWALL</del>	<del>POOL PUMPING</del>	<del>FAIL</del>	<del>PER DISCUSSION</del>
6	102 HENRY SEWALL OLYMPIC POOLS		PASS	W/ FRANK @ OLYMPIC POOLS INSPECTOR: <i>[Signature]</i>
6981	FALCO	FINAL DOCK	PASS	CLOSE
4	15 N RIVER RD BLUE WATER MARINE			INSPECTOR: <i>[Signature]</i>
7	MORAN 2 PALM ROAD DRIFTWOOD HOMES	DRY-IN	FAIL	\$40 FEE INSPECTOR: <i>[Signature]</i>
7993	GIACHINO	POOL PIPES	PASS	
1	11 WENDY LANE SEAGATE BUILDERS	(See Gene)		INSPECTOR: <i>[Signature]</i>
8021	YAMPOLSKY	IN PROGRESS		CANCEL
<del>    </del>	<del>117 HULLCRESS DR</del>	<del>ALL AREA ROOFING</del>		INSPECTOR: <i>[Signature]</i>
7903	LASKY	FINAL DOCK REPAIR	FAIL	CLOSE
5	27 W. HIGH POINT RD OIB		PASS	INSPECTOR: <i>[Signature]</i>
<del>TR</del>	LASKY	TREE	PASS	
5	27 W. HIGH POINT RD			INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9-8, 2006 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6812	Mader	Final	FAIL	
6	106 Abbie Ct Buford			INSPECTOR: <i>[Signature]</i>
8191	<del>Buller</del> <sup>Sharpe</sup>	Steel-dock	PASS	
3	73 N. Sewalls Pt SAB Marine	Gate 7313		INSPECTOR: <i>[Signature]</i>
7801	Cummings	Inspect cope of work		<del>RESCHEDULE FOR 9/11</del>
12	83 Skiver Rd			INSPECTOR: <i>[Signature]</i>
0052	Clyde	rough trades	PASS	
11	7 Ridgeland Dr			INSPECTOR: <i>[Signature]</i>
Tree	Bausch	Tree	PASS	
14	20 S Sewalls Pt			INSPECTOR: <i>[Signature]</i>
<del>1483</del>	<del>Schmader</del>	<del>Final</del>	<del>PASS</del>	<del>CLOSE</del>
7	102 Henry Sewall W Olympic Pools			INSPECTOR: <i>[Signature]</i>
Tree	46 N. River Rd	Tree	PASS	
4	Silverberg			INSPECTOR: <i>[Signature]</i>
OTHER:	MADER	PASS FINAL	PASS	CLOSE
0058	106 ABBIE CT. Fennelgas			<i>[Signature]</i>

7832

---

PROPANE

---

BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 10-18-05

BUILDING PERMIT NO. 7832

Building to be erected for SCHMADER

Type of Permit GAS TANK + LINES

Applied for by PROPANE SERVICES (Contractor)

Building Fee 35.00

Subdivision Sewall's Meadow Lot 9 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 102 HENRY SEWALL WAY

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

1338410130000009000000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 35.00 Check # 2290 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost 2100.00

TOTAL Fees 35.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL     |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK  |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE          |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input checked="" type="checkbox"/> GAS |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION     |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION       |

## INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Date: 10-18-05

Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Schmader Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address: 102 Henry Sewall Way City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Legal Desc. Property (Subd/Lot/Block) Sewall's MDW Lot 19 Parcel Number: 133841010000009000000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Install Propane to Dryer, Grill & Stove

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2100  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: Propane Services Phone: 772-220-9678 Fax: 220-1829

Street: PO Box 1245 City: Palm State: Fla Zip: 32980

State Registration Number: \_\_\_\_\_ State Certification Number: 18361 Martin County License Number: 2004-290-008

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: Propane State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carpport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004  
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Edward Schmader

State of Florida, County of: MARTIN

This the 19th day of OCTOBER, 2005

by EDWARD SCHMADER who is personally

known to me or produced

as identification [Signature]

Notary Public

My Commission Expires \_\_\_\_\_

CONTRACTOR SIGNATURE (required)

[Signature]

On State of Florida, County of: MARTIN

This the 18th day of OCTOBER, 2005

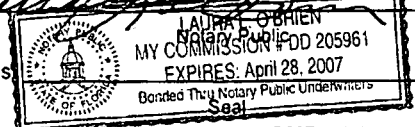
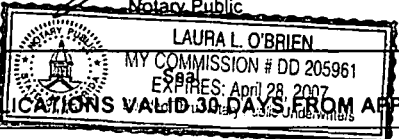
by CHRISTENNE ERIC ELISON who is personally

known to me or produced [Signature]

As identification [Signature]

Notary Public

My Commission Expires \_\_\_\_\_



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



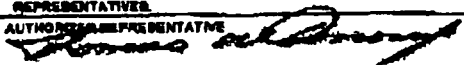
<b>ACORD CERTIFICATE OF LIABILITY INSURANCE</b>		DATE (MM/DD/YYYY) 10/11/2005
<b>PRODUCER</b> Donovan Insurance Inc P O Box 24960 Jacksonville, FL 32241-4960		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.
<b>INSURED</b> Propane Services Inc., Elite Gas Contractors dba P O Box 1245 Palm City, FL 34991		<b>INSURERS AFFORDING COVERAGE</b> INSURER A: Nautilus Insurance Company INSURER B: INSURER C: INSURER D:
		<b>NAIC #</b> 17370

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CLASS	ADD'L	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GENTL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	BN356303	5/21/2005	5/21/2006	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 WRD EXP (Any one person) \$ 1,000 PERSONAL & ADY INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EAACC \$ AGG \$
		EXCESS UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
		WORKERS COMPENSATION AND EMPLOYER LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS by law OTHER				E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

<b>CERTIFICATE HOLDER</b> Holder's Name of Interest: Certificate Holder  Town of Sewall's Point 1 S. Sewall's Point Road Sewall's Point, FL 34946	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
--	--

TOTAL P.01

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
10/11/2005

PRODUCER (772)335-8804 FAX (772)335-8847  
S.M. FINES INSURANCE AGENCY  
1250 S.E. PORT ST. LUCIE BLVD.  
PORT ST LUCIE, FL 34952-5392  
Sherry Sherrard

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED Propane Services, Inc.  
DBA: Elite Gas Contractors  
P.O. Box 1245  
Palm City, FL 34991

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: Association Insurance Company	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

### COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR _____ GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE	\$
					DAMAGE TO RENTED PREMISES (Ea occurrence)	\$
					MED EXP (Any one person)	\$
					PERSONAL & ADV INJURY	\$
					GENERAL AGGREGATE	\$
					PRODUCTS - COMP/OP AGG	\$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS _____				COMBINED SINGLE LIMIT (Ea accident)	\$
					BODILY INJURY (Per person)	\$
					BODILY INJURY (Per accident)	\$
					PROPERTY DAMAGE (Per accident)	\$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
					OTHER THAN AUTO ONLY: EA ACC	\$
					AGG	\$
	<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE _____ <input type="checkbox"/> DEDUCTIBLE RETENTION \$				EACH OCCURRENCE	\$
					AGGREGATE	\$
						\$
						\$
A	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	022000025637	11/12/2004	11/12/2005	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER	
					E.L. EACH ACCIDENT	\$ 100,000
					E.L. DISEASE - EA EMPLOYEE	\$ 100,000
					E.L. DISEASE - POLICY LIMIT	\$ 500,000
	OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

State of Florida

### CERTIFICATE HOLDER

Town of Sewalls Point  
ATTN: Jean Simmons  
1 South Sewalls Point Rd.  
Stuart, FL 34996

### CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Susan Fines/SAS

*Susan M. Fines*

Florida Department of Agriculture and Consumer Services  
Bureau of Liquefied Petroleum Gas  
P.O. Box 6720  
Tallahassee, Florida 32399-6720

License Number: 18361

Business Mailing Address

PROPANE SERVICES, INC.  
PO BOX 1245  
PALM CITY, FL 34991-6245

Licensed Location Address

PROPANE SERVICES, INC.  
3267 SE FEDERAL HWY  
STUART, FL 34997-4911

The liquefied petroleum gas license at the bottom of this form is valid ONLY for the company located at the address on the license. Each business location of a company must be licensed. All LP Gas licenses must be renewed annually. Any license allowed to expire shall become inoperative because of failure to renew. The fee for restoration of a license is equal to the original license fee and must be paid before the licensee may resume operations.

Pursuant to Chapter 527, Florida Statutes, LP Gas licensees must present proof of licensure to any consumer, owner, or end user upon request when engaged in the business of servicing, testing, repairing, maintaining or installing LP Gas systems and/or equipment.

For future correspondence, please make any needed corrections or changes to your business mailing address and/or your licensed location address and return the UPPER PORTION with corrections to:

Florida Department of Agriculture and Consumer Services  
Bureau of Liquefied Petroleum Gas  
P.O. Box 6720  
Tallahassee, Florida 32399-6720



Cut Here



POST LICENSE  
CONSPICUOUSLY

State of Florida  
Department of Agriculture and Consumer Services

Division of Standards  
Bureau of Liquefied Petroleum Gas  
(850) 921-6001  
Tallahassee, Florida

License Number: 18361  
Expiration Date: August 31, 2006  
Date of Issue: September 1, 2005  
License Fee: \$200.00  
Type and Class: 0803

**Liquefied Petroleum Gas License**

**LP GAS INSTALLER**

GOOD FOR ONE LOCATION

This license is issued under authority of Section 527.02, Florida Statutes, to:

PROPANE SERVICES, INC.  
3267 SE FEDERAL HWY  
STUART, FL 34997-4911

*Charles H. Bronson*  
CHARLES H. BRONSON  
COMMISSIONER OF AGRICULTURE

Attn: Jean Simmons

2005-2006 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

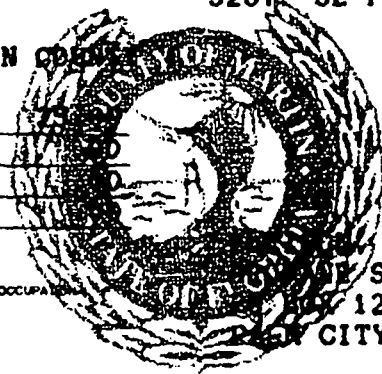
LICENSE 2004-290-008 CERT 18361

PHONE (772) 220-9678 RC NO 422720

LOCATION:  
3267 SE FEDERAL HWY F-1 STU

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>    .00</u>	LIC. FEE \$	<u>          </u>
\$	<u>    .00</u>	PENALTY \$	<u>          </u>
\$	<u>    .00</u>	COL FEE \$	<u>          </u>
\$	<u>    .00</u>	TRANSFER \$	<u>          </u>
TOTAL			<u>25.00</u>



CHEYENNE  
SERVICES, INC  
1245  
PACIFIC CITY FL 34991

IS HENRY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF **PROPANE REPAIR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

18 DAY OF AUGUST 05  
AND ENDING SEPTEMBER 30, 2006

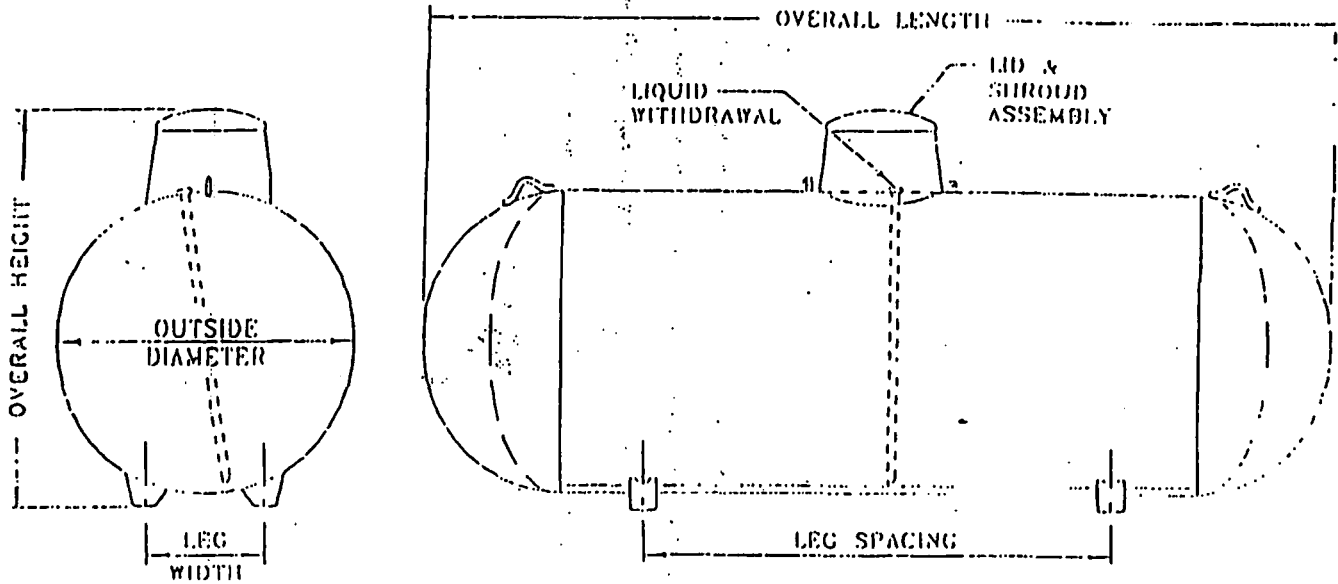
12 05081701 002923

## PROPANE CONSTRUCTION NOTES

1. All pipe and fittings above ground and inside building shall be SCH. 40 Galvanized ASTM A120 or AGA approved corrugated stainless steel (C.S.S.T.) pipe.
2. All polypipe and fittings shall be ASTM D2513 or ASTM D2517 and shall be buried outside underground at a depth of 18" with warning tape and tracer wire.
3. All pipe and meter locations are approximate and subject to change.
4. All polypipe shall be joined by heat fusion or approved mechanical couplings.
5. All galvanized pipe shall be threaded.
6. All pipe shall be pressure tested to 20 # PSI for a period of 24 hours.

## Standard Domestic Propane Tank Specifications

<u>CAPACITY</u>	<u>DIAMETER</u>	<u>LENGTH</u>	<u>WEIGHT</u>
120 Gal ( 454 l )	24" ( 610 mm )	68" ( 1727 mm )	288 lb ( 131 kg )
150 Gal ( 568 l )	24" ( 610 mm )	84" ( 2134 mm )	352 lb ( 160 kg )
200 Gal ( 757 l )	30" ( 762 mm )	79" ( 2007 mm )	463 lb ( 210 kg )
250 Gal ( 946 l )	30" ( 762 mm )	94" ( 2387 mm )	542 lb ( 246 kg )
325 Gal ( 1230 l )	30" ( 762 mm )	119" ( 3023 mm )	672 lb ( 305 kg )
500 Gal ( 1893 l )	37" ( 940 mm )	119" ( 3023 mm )	1062 lb ( 482 kg )
1000 Gal ( 3785 l )	41" ( 1041 mm )	192" ( 4877 mm )	1983 lb ( 900 kg )



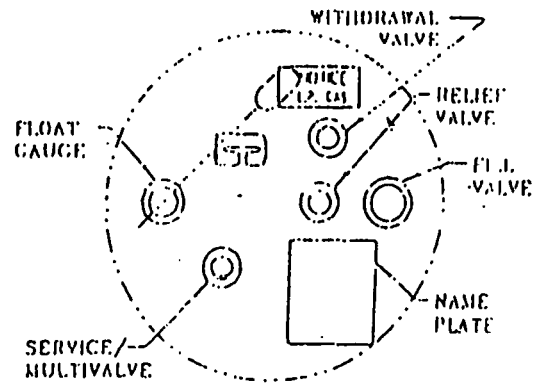
### General Specifications

Conforms to the latest edition and addenda of the ASME Code for Pressure Vessels, Section VIII Division I. Complies with NFPA 58 and is listed by Underwriters Laboratories, Inc.

Rated at 250 psig from -20° F. to 125° F. All tanks may be evacuated to a full (14.7 psi) vacuum.

Vessel Finish: Coated with epoxy red powder. (Tanks coated with the epoxy powder must be buried). For aboveground use, tanks may be coated with TGIC powder.

Applicable federal, state or local regulations may contain specific requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state or local regulations.

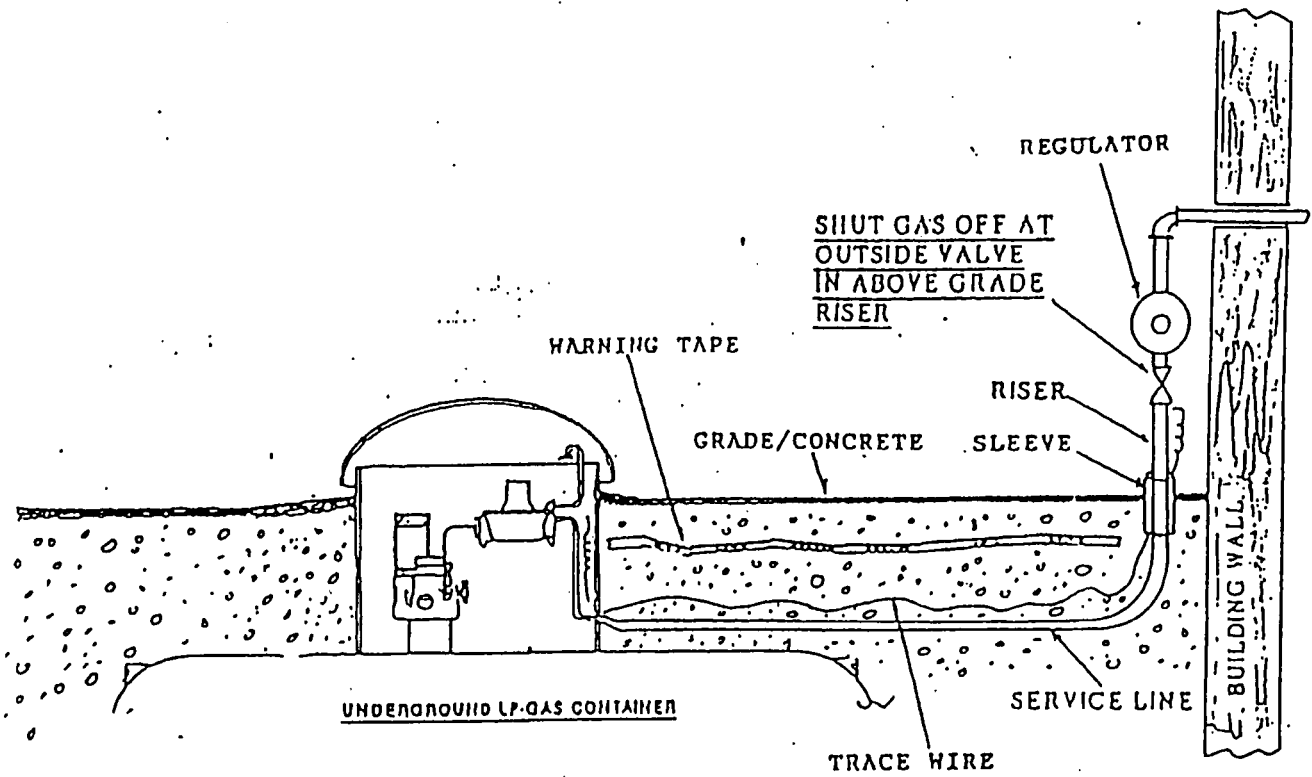
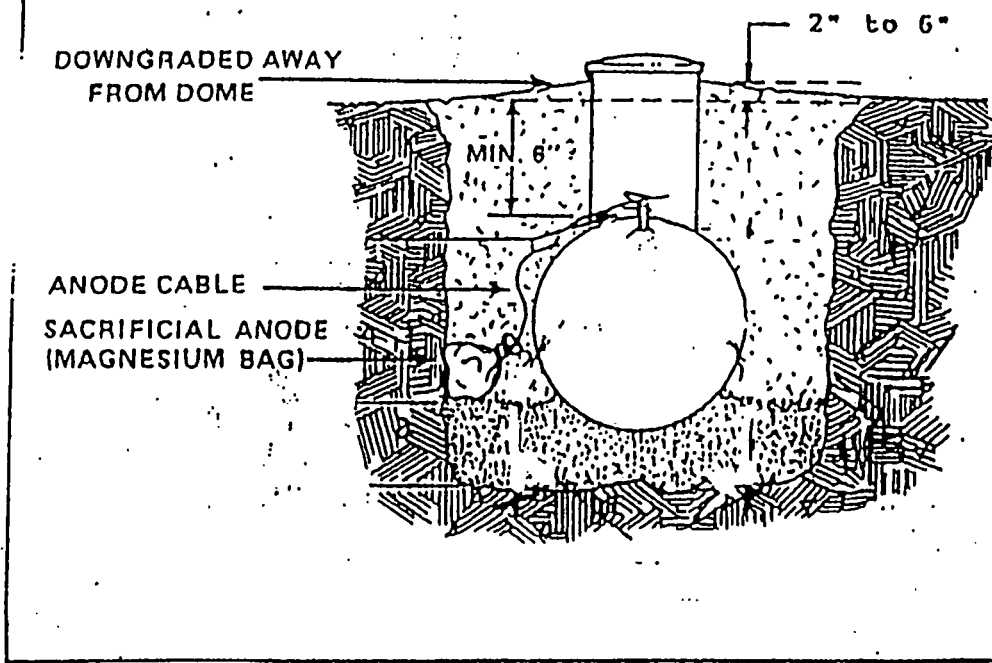


### OPENING ARRANGEMENT

All vessel dimensions are approximate.

WATER CAPACITY	OUTSIDE DIAMETER	HEAD TYPE	OVERALL LENGTH	OVERALL HEIGHT W/ LID & SHROUD ASSEMBLY		LEG WIDTH	LEG SPACING	WEIGHT	QUANTITY IN FULL LOAD
				8"	18"				
120 wg. 454.2 L	24" 609.6 mm	Ellip	5'-5 7/8" 1671.6 mm	3'-0 1/4" 919.2 mm	3'-10 1/4" 1122.4 mm	10 1/8" 257.2 mm	3'-0" 914.4 mm	245 lbs. 111.1 kg	96
150 wg. 567.8 L	24" 609.6 mm	Ellip	6'-9 1/2" 2070.1 mm	3'-0 1/4" 919.2 mm	3'-10 1/4" 1122.4 mm	10 1/8" 257.2 mm	4'-7" 1397.0 mm	292 lbs. 132.4 kg	72
250 wg. 946.3 L	31.5" 800.1 mm	Hemi	7'-2 1/2" 2197.1 mm	3'-9 3/4" 1109.7 mm	4'-5 3/4" 1363.7 mm	12 3/4" 323.9 mm	3'-6" 1066.8 mm	472 lbs. 214.1 kg	51
320 wg. 1211.2 L	31.5" 800.1 mm	Hemi	8'-11 3/4" 2736.9 mm	3'-9 3/4" 1109.7 mm	4'-5 3/4" 1363.7 mm	12 3/4" 323.9 mm	4'-0 1/4" 1225.6 mm	588 lbs. 266.7 kg	45
500 wg. 1892.5 L	37.42" 950.5 mm	Hemi	9'-10" 2997.2 mm	4'-1 5/8" 1260.5 mm	4'-11 5/8" 1514.5 mm	15" 381.0 mm	3'-0" 914.4 mm	871 lbs. 395.1 kg	30
1,000 wg. 3785.0 L	40.96" 1040.4 mm	Hemi	15'-10 7/8" 4846.6 mm	4'-5 3/4" 1351.0 mm	5'-3 1/4" 1605.0 mm	16 1/4" 412.8 mm	0'-0" 2743.2 mm	1729 lbs. 784.3 kg	15

# UNDERGROUND TANK INSTALLATION





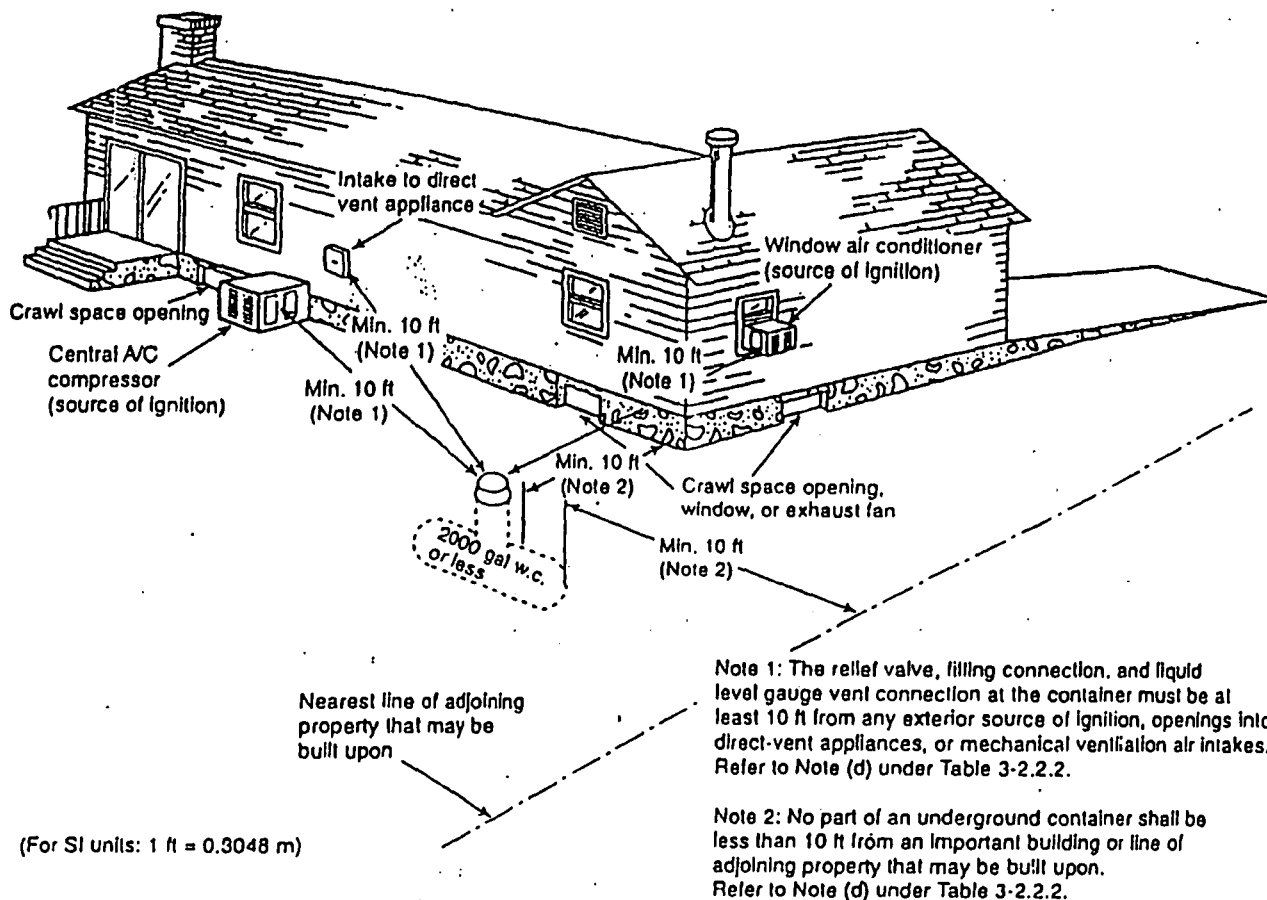


Figure 1-3 Underground ASME containers.  
(This figure for illustrative purposes only; text shall govern.)

## Appendix J Referenced Publications

J-1 The following documents or portions thereof are referenced within this standard for informational purposes only and thus are not considered part of the requirements of this document. The edition indicated for each reference is the current edition as of the date of the NFPA issuance of this document.

J-1.1 NFPA Publications. National Fire Protection Association, 1 Batterymarch Park, P.O. Box 9101, Quincy, MA 02269-9101.

NFPA 10, *Standard for Portable Fire Extinguishers*, 1994 edition.

NFPA 37, *Standard for the Installation and Use of Stationary Combustion Engines and Gas Turbines*, 1994 edition.

NFPA 50, *Standard for Bulk Oxygen Systems at Consumer Sites*, 1990 edition.

NFPA 50A, *Standard for Gaseous Hydrogen Systems at Consumer Sites*, 1994 edition.

NFPA 51, *Standard for the Design and Installation of Oxygen-Fuel Gas Systems for Welding, Cutting, and Allied Processes*, 1992 edition.

NFPA 61B, *Standard for the Prevention of Fires and Explosions in Grain Elevators and Facilities Handling Bulk Raw Agricultural Commodities*, 1989 edition.

NFPA 68, *Guide for Writing of Deflagrations*, 1994 edition.

NFPA 77, *Recommended Practice on Static Electricity*, 1993 edition.

NFPA 80, *Standard for Fire Doors and Fire Windows*, 1992 edition.

NFPA 220, *Standard on Types of Building Construction*, 1992 edition.

NFPA 251, *Standard Methods of Fire Tests of Building Construction and Materials*, 1990 edition.

NFPA 252, *Standard Methods of Fire Tests of Door Assemblies*, 1995 edition.

NFPA 321, *Standard on Basic Classification of Flammable and Combustible Liquids*, 1991 edition.

NFPA 780, *Lightning Protection Code*, 1992 edition.

J-1.2 API Publications. American Petroleum Institute, 2101 L St., NW, Washington, DC 20037.

API 620, *Design and Construction of Large, Welded, Low-Pressure Storage Tanks*, 1990.

API 1632, *Cathodic Protection of Underground Petroleum Storage Tanks and Piping Systems*, 1983.

API 2510, *Design and Construction of LP-Gas Installations*, 1989.

API-ASME Code for Unfired Pressure Vessels for Petroleum Liquids and Gases.

Table 9.32 Polyethylene Plastic Pipe Sizing Between First-Stage and Second-Stage Regulator

Pipe Length (ft)	Plastic Pipe Nominal Outside Diameter (IPS) (dimensions in parenthesis are inside diameter)					
	$\frac{1}{2}$ in. SDR 9.33 (0.660)	$\frac{3}{4}$ in. SDR 11.0 (0.860)	1 in. SDR 11.00 (1.077)	$1\frac{1}{4}$ in. SDR 10.00 (1.328)	$1\frac{1}{2}$ in. SDR 11.00 (1.554)	2 in. SDR 11.00 (1.943)
30	2143	4292	7744	13416	20260	36402
40	1835	3673	6628	11482	17340	31155
50	1626	3256	5874	10176	15368	27612
60	1473	2950	5322	9220	13924	25019
70	1355	2714	4896	8483	12810	23017
80	1261	2525	4555	7891	11918	21413
90	1183	2369	4274	7404	11182	20091
100	1117	2238	4037	6994	10562	18978
125	990	1983	3578	6199	9361	16820
150	897	1797	3242	5616	8482	15240
175	826	1653	2983	5167	7803	14020
200	778	1539	2775	4807	7259	13043
225	721	1443	2603	4510	6811	12238
250	681	1363	2459	4260	6434	11560
275	646	1294	2336	4046	6111	10979
300	617	1235	2228	3860	5830	10474
350	567	1136	2050	3551	5363	9636
400	528	1057	1907	3304	4989	8965
450	495	992	1789	3100	4681	8411
500	468	937	1690	2928	4422	7945
600	424	849	1531	2653	4007	7199
700	390	781	1409	2441	3686	6623
800	363	726	1311	2271	3429	6161
900	340	682	1230	2131	3217	5781
1000	322	644	1162	2012	3039	5461
1500	258	517	933	1616	2441	4385
2000	221	443	798	1383	2089	3753

**Table P-1 Propane Low Pressure (Standard)**

**Maximum Capacity of Omega Flex TracPipe™  
in Thousands of BTU per Hour Propane Gas**

Gas Pressure: 11 in. W.C.

Pressure Drop: 0.5 in. W.C. (based on a 1.52 Specific Gravity Gas)

Size (EHD)	TUBING LENGTH (FEET)																	
	5	10	15	20	25	30	40	50	60	70	80	90	100	150	200	250	300	
3/8"	15	99	69	55	49	42	39	33	30	26	25	23	22	20	15	14	12	11
1/2"	19	211	150	121	106	94	87	74	66	60	57	52	50	47	36	33	30	26
3/4"	25	456	325	267	232	209	191	166	149	136	126	118	112	106	87	76	68	62
1"	31	863	605	490	425	379	344	297	265	241	222	208	197	186	143	129	117	107
1-1/4"	37	1424	971	775	661	583	528	449	397	359	330	307	286	270	217	183	163	147
1-1/2"	46	2830	1993	1623	1404	1254	1143	988	884	805	745	696	656	621	506	438	390	357
2"	62	6547	4638	3791	3285	2940	2684	2327	2082	1902	1761	1647	1554	1475	1205	1045	934	854

see notes below\*

EHD (Effective Hydraulic Diameter) A relative measure of Low Capacity; This number is used to compare individual sizes between different manufacturers. The higher the EHD number the greater flow capacity of the piping.

40

**Table P-2 Propane Medium Pressure**

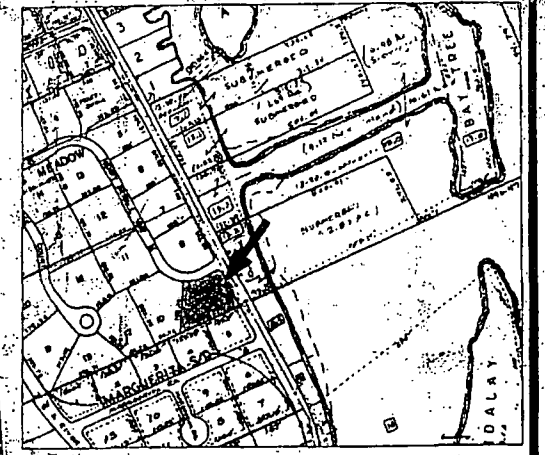
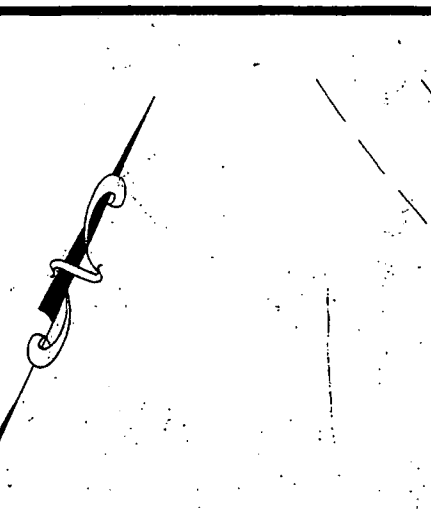
**Maximum Capacity of Omega Flex TracPipe  
in Thousands of BTU per Hour Propane Gas**

Gas Pressure: 1/2 psi (12-14 in. W. C.)

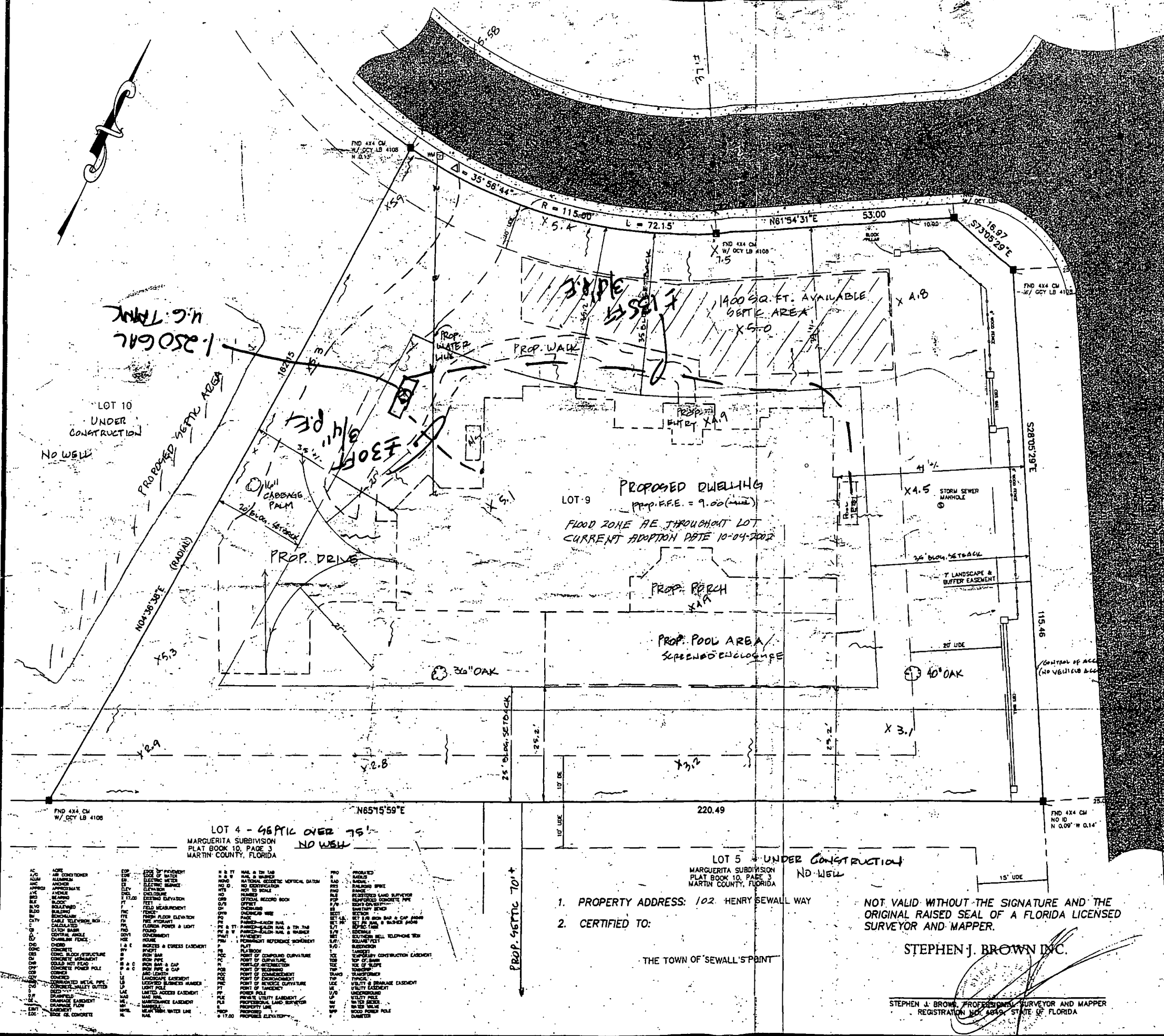
Pressure Drop: 2.5 in. W. C. (based on a 1.52 Specific Gravity Gas)

Size (EHD)	TUBING LENGTH (FEET)																	
	5	10	15	20	25	30	40	50	60	70	80	90	100	150	200	250	300	
3/8"	15	222	159	131	114	102	93	81	73	67	62	58	55	52	43	37	33	30
1/2"	19	491	353	290	254	228	209	182	164	150	140	131	124	118	97	85	76	70
3/4"	25	1094	782	642	559	501	459	399	358	328	304	285	269	256	210	183	164	136
1"	31	2512	1863	1720	1343	1106	976	883	825	771	719	673	632	596	470	398	352	320
1-1/4"	37	3476	2368	1891	1612	1424	1288	1099	971	877	805	748	700	661	528	449	397	359
1-1/2"	46	6383	4496	3663	3168	2830	2580	2230	1993	1818	1682	1571	1481	1404	1143	988	884	805
2"	62	14586	10330	8443	7317	6547	5980	5183	4638	4236	3923	3671	3462	3285	2684	2327	2082	1902

NOTES: Tables above include losses for four 90-degree bends and two end fittings. Tubing runs with larger numbers of bends and/or fittings shall be increased by an equivalent length of tubing to the following equation:  $L=1.3n$  where L is additional length of tubing and n is the number of additional fittings and/or bends.



LOCATION MAP



1400 SQ. FT. AVAILABLE  
SEPTIC AREA  
X 5.0

PROPOSED DWELLING  
PROP. F.F.E. = 9.00 (MIN)  
FLOOD ZONE AE THROUGHOUT LOT  
CURRENT ADOPTION DATE 10-04-2002

PROP. POOL AREA /  
SCREENED ENCLOSURE

LEGAL DESCRIPTION  
LOT 9, PLAT OF SEWALL'S MEADOW,  
AS RECORDED IN PLAT BOOK 14,  
PAGE 32, PUBLIC RECORDS OF  
MARTIN COUNTY, FLORIDA

Table with columns: Areas, Square Feet, % Coverage. Rows include Lot Total, Building Envelope, Storm Sewer, Drive, and Total Impervious Coverage.

FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE: 10/14/05  
BUILDING OFFICIAL  
Gene Simmons

LOT 4 - 68 FT OVER 75'  
MARGUERITA SUBDIVISION  
PLAT BOOK 10, PAGE 3  
MARTIN COUNTY, FLORIDA

LOT 5 - UNDER CONSTRUCTION  
MARGUERITA SUBDIVISION  
PLAT BOOK 10, PAGE 3  
MARTIN COUNTY, FLORIDA

- 1. PROPERTY ADDRESS: 102 HENRY SEWALL WAY
- 2. CERTIFIED TO:

THE TOWN OF SEWALL'S POINT

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

STEPHEN J. BROWN INC.  
STEPHEN J. BROWN, PROFESSIONAL SURVEYOR AND MAPPER  
REGISTRATION NO. 6689, STATE OF FLORIDA

NOTES:  
1. Survey of description as furnished by Client.  
2. Lands shown hereon were not abstracted, for easements and/or rights-of-way of record.  
3. All bearings are referenced to the centerline of Henry Sewall Way, plotted as S81°54'31"W, all others relative thereto.  
4. Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.  
5. There are no above-ground encroachments, unless otherwise shown.  
6. The National Flood Insurance Program designation as indicated on the F.E.M.A. Map No. 12085c-0162L, dated 10/04/2002, locates the property in Zone AE, base flood elevation 9 feet; subject to any scaling/interpolation factors associated with mapping of this accuracy. This data is an interpretation by the surveyor and is provided as a courtesy. The flood zone(s) should be verified by a determination agency.  
7. Underground foundations & utilities not located unless shown.

Legend table for symbols used in the survey, including symbols for easements, encroachments, and various structures.

Legend table for symbols used in the survey, including symbols for various types of boundaries and markers.

Legend table for symbols used in the survey, including symbols for utilities and other features.

Legend table for symbols used in the survey, including symbols for various types of boundaries and markers.

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Legend table for symbols used in the survey, including symbols for various types of boundaries and markers.

Revision table with columns for revision number, description, and date.

STEPHEN J. BROWN, INC.  
LICENSED BUSINESS NUMBER: 6684  
SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS  
619 EAST 5TH STREET, STUART, FLORIDA 34994

BOUNDARY SURVEY  
PREPARED FOR: SCHMADER

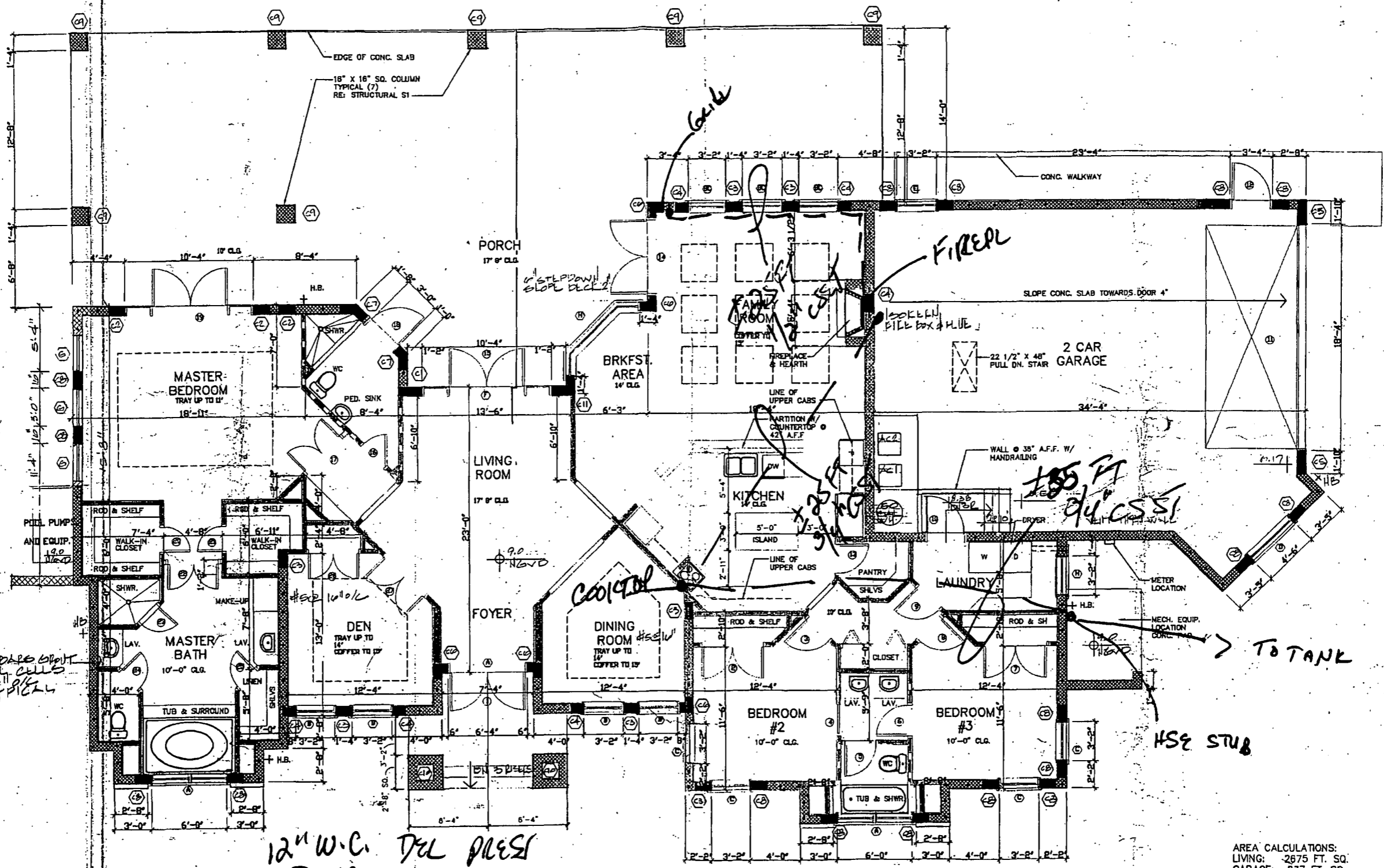
DATE: 11/11/2003  
SCALE: 1" = 10'  
JOB NO.: 1368-13-01  
SHEET: ONE

Schadler Residence, Lot 9 Sewilla Meadow  
 All windows to be PGT. All windows to have laminated insect requirements of SSTYD 12. All windows to be set at 5'-0" unless otherwise noted on elevation drawings. All window units to be provided by PGT and meet wind loading as listed. See elevations for arches. See elevations for design pressures and lites divisions.

- Window Schedule  
 Mark Description  
 A) 22" x 72" arched top fixed  
 B) 37 3/4" x 40" arched top fixed - present lintel with 26 single hung below  
 BC) 36" window no muntins  
 C) 37 3/4" x 20" fixed mullied to  
 24 single hung  
 D) 1'-10 3/4" x 3'-10 3/4" arched top fixed  
 24 single hung  
 E) 125 3/4" x 36" arched top fixed  
 16" x 16" fixed set at 5'-0" (vert 0)  
 19) 2'-0x5-0-5-4x5-6-2-0x5-4 best glazed glass with shutter (supplier to provide engineering)

Door Schedule:  
 Exterior glazed doors to have laminated glass meeting requirements of SSTYD 12. See elevations for design pressures

- Mark Description  
 1) 3'-0 x 8'-0 entry  
 2) 2'-0 x 8'-0  
 3) 2'-8 x 8'-0 privacy set  
 4) 2'-8 x 8'-0 pocket priv. set, marble threshold  
 5) 2'-8 x 8'-0 privacy set  
 6) 2'-8 x 8'-0 privacy set, marble threshold  
 7) 2'-0 x 8'-0  
 8) 2'-8 x 8'-0 privacy set  
 9) 2'-8 x 8'-0  
 10) 2'-8 x 8'-0 solid core, deadbolt, wind-resist +42/-45  
 11) 18'-0 x 9'-0 overhead door  
 12) 5'-0 x 8'-0 roll lowered door  
 13) 2'-6 x 8'-0  
 14) 2'-0 x 8'-0 single lite french  
 15) 125 3/4" x 8'-0 XOOX 4 panel french  
 16) 2'-6 x 8'-0  
 17) 2'-0 x 8'-0  
 18) 2'-8 x 8'-0 floor glazing with lite  
 19) 125 3/4" x 8'-0 XOOX 4 panel french  
 20) 2'-0 x 8'-0  
 21) 2'-0 x 8'-0  
 22) 2'-0 x 8'-0 marble threshold, privacy set  
 23) 2'-0 x 8'-0  
 24) 2'-0 x 8'-0  
 25) 2'-0 x 8'-0  
 26) 2'-0 x 8'-0  
 27) 2'-0 x 8'-0



#6 DARS GROUT  
 ALL CILLS  
 4\"/>

12" W.C. DEL PRESS  
 BTU'S

COOKTOP 60,000  
 FIREPL 60,000  
 GRILL 60,000

AREA CALCULATIONS:  
 LIVING: 2675 FT. SQ.  
 GARAGE: 937 FT. SQ.  
 ENTRY: 100 FT. SQ.  
 PATIO: 1381 FT. SQ.  
 TOTAL: 5093 FT. SQ.

1 FLOOR PLAN  
 1/4" = 1'-0"

PERMITTED PLAN SET  
 Page 2 of 5  
 Date Approved 1/14/03

REVISIONS:  
 SCHMADLER RESIDENCE

FLOOR PLAN

SHEET  
 AI  
 OF 5 SHEETS  
 2/14/03



7832

## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 102 HENRY SEWALL

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ROUGH GAS

PERMIT & APPROVED DRAWINGS  
MUST BE POSTED ON SITE.

GAS PIPE NEEDS SUPPORT BRACKET  
IN ATTIC WHERE PIPING FEEDS  
INTO 'TEE' ABOVE KITCHEN.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 11/2

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 11/2, 2005 Page      of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7832</del>	<del>SCHMAEDER</del>	<del>ROUGH GAS</del>	<del>FAIL</del>	
3	102 HENRY SEWALL PROPANE SVCS			INSPECTOR: <i>OM</i>
6809	RADER	FINAL POOL	PASS	CLOSE
7	5 HERITAGE WAY FRAMINGO POOLS	CARC 2200627		INSPECTOR: <i>OM</i>
				INSPECTOR: <i>OM</i>
				INSPECTOR: <i>OM</i>
				INSPECTOR: <i>OM</i>
				INSPECTOR: <i>OM</i>
				INSPECTOR: <i>OM</i>
				INSPECTOR: <i>OM</i>
				INSPECTOR: <i>OM</i>
				INSPECTOR: <i>OM</i>

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 11/4, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7860	HOLLAND	DRY-IN	FAIL	
5	9 MANDALAY RD FEAZEL ROOFING			#40 FEEL INSPECTOR: <i>[Signature]</i>
7744	Cobiella	Parapet	PASS	
7	8 N. Sewall's Pt Rederson			INSPECTOR: <i>[Signature]</i>
<del>7832</del>	<del>SEWAL ADEL</del>	<del>ROUGH GAS</del>	<del>PASS</del>	
4	102 HENRY SEWALL PROPANE SERVICES			INSPECTOR: <i>[Signature]</i>
6261	SMITH	FINAL ADDN & RENOVATION	<del>PASS</del>	
6	7 SIMADA ST SUNRISE CONSTR.			INSPECTOR: <i>[Signature]</i>
7859	WALLENQUEST	DRY-IN	FAIL	
1	3 COPAIRE RD AFTERMATH RFG	(FIRST PLEASE)		INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/8, 2006 Page 3 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8062	CARLTON	DRY-IN	PASS	
17	6 PERRIWINKLE CR			INSPECTOR: <i>[Signature]</i>
	ROOF CONCEPTS			
7873	NOHEJL	INSULATION	PASS	NOT COMPLETE @
3	26 W. HIGH POINT			SH. (WAITING FOR VALVE)
	OIB			
INSPECTOR:	<i>[Signature]</i>			
<del>7832</del>	<del>SCHMADER</del>	<del>IN GO TANK &amp; LINES</del>	<del>PASS</del>	
4	102 HENRY SEWALL			INSPECTOR: <i>[Signature]</i>
	ELITE GAS			
7806	SILAS	PERIMETER PUMPING	PASS	
16	10 CASTLE HILL			INSPECTOR: <i>[Signature]</i>
	MIRAGE POOLS			
7851	MOKAN	INSULATION	PASS	
7A	2 PALM ROAD			INSPECTOR: <i>[Signature]</i>
	ALAN MORLIS			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri June 9, 2006

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8104	Miraglia	Final roof	PASS	CLOSE
1	66 NSP	Fee		
	Pacific Roof.	8:30 Am	at Please	INSPECTOR: <i>[Signature]</i>
7945	Rivera	stucco	FAIL	\$40 FEE
7	3 Emarita			
	OB	'not ready'		INSPECTOR: <i>[Signature]</i>
8042	STECK	Final - <sup>INTERIOR</sup> Remodel	FAIL	
8069 3	32 Fieldway Dr.	Stucco + Roof	PASS	CLOSE
	OB			INSPECTOR: <i>[Signature]</i>
<del>7832</del>	<del>Schmader</del>	<del>Final gas</del>	<del>PASS</del>	<del>CLOSE</del>
6	102 Henry Sewall Way			
	Elite Gas			INSPECTOR: <i>[Signature]</i>
8091	Rosario	Final	PASS	CLOSE
5	137 SR			
	JATaylor Roof.	Does roof have to be here? 772-466-4040		INSPECTOR: <i>[Signature]</i>
8177	Vitali	Below seat rough plumbing	PASS	
2	13 Knowles Rd			
	Quick Const			INSPECTOR: <i>[Signature]</i>
Tree	Gillen	Tree	PASS	
8	5 Palmetto			
	Tropical Palm			INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

10703

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Railing Panels

---

BLUEPRINTS FOR THIS PERMIT ARE  
AVAILABLE FOR REVIEW AT TOWN  
HALL.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10703	DATE ISSUED:	DECEMBER 9, 2013
SCOPE OF WORK:	RAILING PANELS INTO EXISTING WALL		
CONTRACTOR:	ACCENT WELDING		
PARCEL CONTROL NUMBER:	133841-013-0000009	SUBDIVISION	SEWALLS MEAD
CONSTRUCTION ADDRESS:	102 HENRY SEWALL WAY COMMON AREA		
OWNER NAME:	SEWALLS MEADOW POA		
QUALIFIER:	RAYMOND HARDISKY	CONTACT PHONE NUMBER:	283-9304

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**BUILDING PERMIT RECEIPT**

PERMIT NUMBER:	10703
ADDRESS	HENRY SEWALL WAY COMMON AREA
DATE 12/09/13	SCOPE OF WORK RAILINGS

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			

7660

ACCENT WELDING, INC.  
 3201 SE SLATER ST. #5  
 STUART, FLORIDA 34997  
 (772) 287-4444

TOWN OF SEWALL'S POINT

DATE 12-9-13 63-643-670

PAY TO THE ORDER OF

TOWN OF SEWALL'S POINT

\$ 112.00

One Hundred Twelve <sup>00</sup>/<sub>100</sub>

DOLLARS



WACHOVIA  
 Wachovia Bank, N.A.  
 wachovia.com

*[Handwritten signature]*

FOR



DBPR Licensing fee: (1.5% of permit fee - \$2.00 min.)	\$	
Road impact assessment: (.04% of construction value - \$5 min.)	\$	
Martin County Impact Fee:	\$	
<b>TOTAL BUILDING PERMIT FEE:</b>	\$	

ACCESSORY PERMIT	Declared Value:	\$	20,000.00
Total number of inspections @ \$100.00 each	1		100
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2
Road impact assessment: (.04% of construction value - \$5 min.)		\$	8
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	112

*[Handwritten signature]*  
 CR# 7660

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number:

10703

Date: 11-27-13

OWNER/LESSEE NAME: SEWELLS MEADOW PROPERTY OWNERS Phone (Day) 772-463-5969 (Fax) -

Job Site Address: 102 HENRY SEWELL WAY City: STUART State: FL Zip: -

Legal Description: HOA COMMON AREA Parcel Control Number: -

Fee Simple Holder Name: - Address: -

City: - State: - Zip: - Telephone: -

\*SCOPE OF WORK (PLEASE BE SPECIFIC): RAILING PANELS INTO EXISTING WALL + EXISTING WOOD DECKETS

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO X

Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES (Required on ALL permit applications) Estimated Value of improvements: \$20,000.00 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) IS subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: ACCENT WELDING CO. Phone: 772-283-9304 Fax: 772-283-9304

Qualifiers name: RAY HARDISKY Street: 3201 SE SLATER ST City: STUART State: FL Zip: 34997

State License Number: - OR: Municipality: MARTIN CO License Number: MKDMD02372

LOCAL CONTACT: RAY HARDISKY Phone Number: 772-283-9304

DESIGN PROFESSIONAL: - Fla. License# -

Street: - City: - State: - Zip: - Phone Number: -

AREAS SQUARE FOOTAGE: Living: - Garage: - Covered Patios/ Porches: - Enclosed Storage: -

Carport: - Total under Roof: - Elevated Deck: - Enclosed area below BFE: - \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

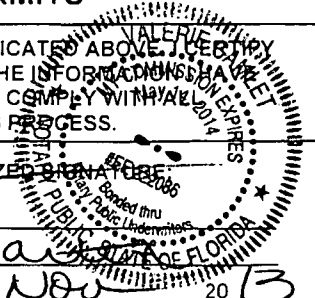
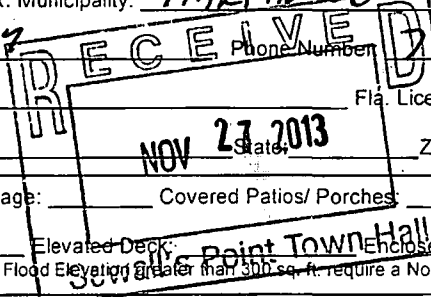
\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

AFFIDAVIT: APPLICATION IS HEREBY MADE BY ME TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION HAS BEEN FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE: Patricia Schmaeder State of Florida, County of: MARTIN On This the 26th day of November, 2013 by PATRICIA A SCHMAEDER who is personally known to me or produced FLDL S536681 445910 As identification, San Diego State Notary Public My Commission Expires: July 26th 2013

CONTRACTOR/LICENEE NOTARIZED SIGNATURE: Raymond Hardisky State of Florida, County of: Martin On This the 25th day of November, 2013 by RAYMOND HARDISKY who is personally known to me or produced FLDL H4632-727-53-460-0 As identification, Valerie Carrel Notary Public My Commission Expires: -

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Minutes of the Annual Meeting of the Members of  
Sewall's Meadow Property Owners Association, Inc.

March 14, 2012

The Annual Meeting of the Members of Sewall's Meadow Property Owners Association, Inc. (SMPOA) was held March 14, 2012 at 7PM in the Sewall's Point Town Hall, 1 South Sewall's Point Road, Sewall's Point, Florida.

The meeting was called to order by Mike Baum, President of SMPOA, at 7:05pm. Mike Baum was elected chairperson of the meeting, and Pat Baum was appointed secretary for the meeting.

Mike Baum confirmed that 13 of the 22 lots in Sewall's Meadow were represented either in person (7) or by proxy (6), and thus a quorum was present for the meeting. Proof of Notice of the Meeting was presented.

Mike Baum asked for a motion to dispense with the reading of the minutes from the April 13, 2011 Annual Meeting (it was noted that a copy of the minutes was available for review.) Len Schmader moved to dispense with the reading of the minutes; Marsha Pfeiffer seconded the motion. All in attendance agreed.

The Treasurer's Report was presented by Marsha Pfeiffer and is attached to these minutes. There was a lengthy discussion regarding the appropriate level of reserves and capital projects that need to be completed. Reducing property assessments to \$250 for two years effectively reduced our reserve level to \$19,000. Capital projects need to be completed on the fence on South Sewall's Point Road and the irrigation system that will use additional reserves. As a result, a motion was made by Mike Baum to increase the annual assessment to \$600 per homeowner effective January 1, 2012 to cover our annual operating costs. Len Schmader seconded the motion and all attendees present voted in favor of the motion. The 2012 annual assessments will be mailed out shortly. There was also a discussion regarding one property owner who is in arrears on their 2011 dues and landscaping charges. We elected to not put a lien on the property as we believe we will collect all outstanding fees when the property sells, as it is currently on the market.

The Chairman presented his annual update:

1. No Board meetings were held.
2. Mike welcomed in absentia new property owners, Michael Kelly and Marianne Pulsen, who purchased Pittinos' home, and Maureen Clyde and Francis Corr, who purchased Olney's home.
3. All POA owners are asked to review the directory and email Pat Baum at [mpgbaum@comcast.net](mailto:mpgbaum@comcast.net) ASAP with changes. Our new secretary, Lynn Olcott, will be maintaining the directory in the future.
4. Tony's Tree Service continues to remove the harmful vines on the oak trees at the intersection of Henry Sewall's Way and Abbie Ct. approximately once or twice a year, as necessary. Homeowners are encouraged to get trees trimmed in advance of hurricane season and please cut back foliage on the fence facing South Sewall's Point Road. Also, if you have any Brazilian Pepper Trees, you are required to remove them. We had such trees removed again from the common area against the wall facing Oakwood and South Sewall's Point Road at the request of Town Hall.

5. Repairs were made to the irrigation system by Len Schmader. See above regarding capital improvements that will be made this year to the irrigation system.
6. FPL repaired and painted 8 of the street lights in the neighborhood.
7. Two approvals were given to property owners to proceed with their plans after review by the Design Review Committee. The Twohey's have commenced building their home, and Buro's will be renovating their home.

An uncontested verbal vote was conducted to approve the new slate of directors and officers. By unanimous vote the slate is as follows:

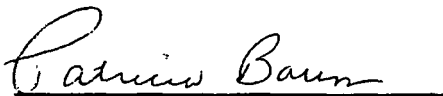
- Directors: Pat Schmader, Len Schmader, Pat Schepleng, Don Mader
- Officers: President-Pat Schmader; VP-Pat Schepleng; Treasurer-Len Schmader; Secretary-Lynn Olcott
- Design Review Committee: Pat Schmader, Pat Schepleng, Mike Baum, Eric Pfeiffer
- Landscaping Committee: Len Schmader, Pat Schmader, Pat Schepleng

The new business discussed was regarding the condition of the roads in Sewall's Meadow and repairs made to Abbie Ct. by the town. The town had put off paving the roads due to budget constraints. The SMPOA officers asked the town to inspect the road again, particularly areas where grass was growing in the street and an area on Abbie Court's south cul-de-sac that was appearing to sink. The town concluded, after extensive testing by engineers, that dredged fill approved by the town to be used on our roads when the road was built, was not sufficiently dry when installed and has contracted below the surface. Repairs were made to the cul-de-sac and the Town's consulting engineer believes that it will ultimately be necessary to repair Henry Sewall's Way and the remainder of Abbie Ct. However, they do not have the funds. As of this time, we do not know when such repairs will be made.

Finally, Chris Olcott, 107 Henry Sewall Way, has started a business, **Clover Works Inc. – Total Property Care**. His business includes power washing, landscaping and lawn cutting. He can be reached at 772-485-7915 or [cloverworksinc@gmail.com](mailto:cloverworksinc@gmail.com).

The meeting was adjourned at 7:40pm.

Submitted by:



Patricia Baum  
Secretary of the Annual Meeting



**NOTICE OF COMMENCEMENT**

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PERMIT #: \_\_\_\_\_ TAX FOLIO #: \_\_\_\_\_

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): ~~133841013000000900000~~ (102 HENRY SEWELLWAY) 34996

GENERAL DESCRIPTION OF IMPROVEMENT: DECORATIVE RAILING PANELS

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT  
NAME: SEWALLS MEADOW PROPERTY OWNERS  
ADDRESS: 102 HENRY SEWELLWAY  
PHONE NUMBER: 772-463-5969 FAX NUMBER: \_\_\_\_\_  
INTEREST IN PROPERTY: COMMON AREA

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

CONTRACTOR: ACCENT WELDING INC.  
ADDRESS: 3201 SE SLATER ST STUART FL 34997  
PHONE NUMBER: 772-283-9304 FAX NUMBER: 772-283-9304

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY:  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES:

NAME: ACCENT WELDING  
ADDRESS: 3201 SE SLATER ST STUART FL 34997  
PHONE NUMBER: 772-283-9304 FAX NUMBER: 772-283-9304

BY \_\_\_\_\_ PERSON TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

**EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED**

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

*Patricia Schmadtke*

SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

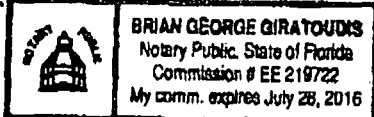
SIGNATORY'S TITLE/OFFICE President, Sewalls Meadow

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 26<sup>th</sup> DAY OF November 2013

BY: PATRICIA SCHMADTKE AS President of Sewalls Meadow FOR Sewalls Meadow  
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION P TYPE OF IDENTIFICATION PRODUCED FL DL 5536 681 445940

*Brian George Giratoudis*  
NOTARY SIGNATURE/SEAL



STATE OF FLORIDA  
MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE FOREGOING \_\_\_\_\_ PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE  
CARGY HINNEMANN, CLERK  
DATE: 11/27/13 BY: *[Signature]* D.C.



11:32:12 AM  
11/27/2013  
REC'D PG 343  
DR BK 2890  
MARTIN COUNTY CLERK  
TIMMANN  
P.95  
FILED DOC #0.00, MTG DOC #0.00, INTANGIBLE \$0.00



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
04/05/13

**THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.**

**IMPORTANT:** If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b>		<b>CONTACT NAME:</b> Greg Rogers	
Golden Rule Insurance Associates		<b>PHONE (A/C, No, Ext):</b> (573) 866-2699	<b>FAX (A/C, No):</b> (573) 298-6009
Rr 1 Box 2218		<b>E-MAIL ADDRESS:</b> greg@goldenruleia.com	
Patton, MO 63862		<b>INSURER(S) AFFORDING COVERAGE</b>	
Phone (573) 866-2699	Fax (573) 298-6009	<b>INSURER A:</b> Seneca Specialty Insurance Company	
<b>INSURED</b>		<b>INSURER B:</b>	
Accent Welding Inc		<b>INSURER C:</b>	
3201 South East Stater Street		<b>INSURER D:</b>	
Stuart, FL 34997	772-263-3505	<b>INSURER E:</b>	
		<b>INSURER F:</b>	

**COVERAGES**                      **CERTIFICATE NUMBER:**                      **REVISION NUMBER:**

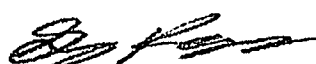
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR	YVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<b>GENERAL LIABILITY</b>			189951	04/04/2013	04/04/2014	EACH OCCURRENCE \$ 1,000,000.00
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input checked="" type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> _____ GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC						DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000.00 MED EXP (Any one person) \$ 5,000.00 PERSONAL & ADV INJURY \$ 1,000,000.00 GENERAL AGGREGATE \$ 2,000,000.00 PRODUCTS - COMP/OP AGG \$ 2,000,000.00
	<b>AUTOMOBILE LIABILITY</b>						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						EACH OCCURRENCE \$ AGGREGATE \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$						<input type="checkbox"/> WC STATUS <input type="checkbox"/> OTHER LIMITS E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYE \$ E.L. DISEASE - POLICY LIMIT \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		Y / N N / A				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

**CERTIFICATE HOLDER**

**CANCELLATION**

info only	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
-----------	--



JEFF ATWATER  
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

**\*\* CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW \*\***

**CONSTRUCTION INDUSTRY EXEMPTION**

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

**EFFECTIVE DATE:** 9/20/2013

**EXPIRATION DATE:** 9/20/2015

**PERSON:** HARDISKY

RAY

**FEIN:** 650192313

**BUSINESS NAME AND ADDRESS:**

ACCENT WELDING INC

3201 S.E. SLATER ST.

STUART

FL

34997

**SCOPES OF BUSINESS OR TRADE:**

WELDING OR CUTTING  
NOC AND DRI

FENCE INSTALLATION  
AND REPAIR-

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

DFS-F2-DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 07-12

QUESTIONS? (850)413-1609



**Martin County Building Department**

**900 SE Ruhnke Street  
Stuart, Fl 34994  
(772) 288-5482  
Fax (772) 419-6935**

**HARDISKY, RAYMOND  
ACCENT WELDING INC  
3201 SE SLATER ST  
STUART, FL 34997**

**NOTICE TO ALL CONTRACTORS**

**PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:**

**PROHIBITED ACTIVITIES:**

**43.42 R** Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

**43.42 S** Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



**MARTIN COUNTY, FLORIDA  
Contractor's Licensing  
Certificate of Competency**

**DECORATIVE METAL - MC**

License #: MCDM02377 Expires:09/30/2015  
HARDISKY, RAYMOND  
ACCENT WELDING INC  
3201 SE SLATER ST  
STUART, FL 34997

2013-2014 **MARTIN COUNTY ORIGINAL  
BUSINESS TAX RECEIPT**  
 HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR  
 3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994  
 (772) 288-5604

ACCOUNT ~~2000-275-0825~~ CERT \_\_\_\_\_  
 PHONE ~~(772) 283-9304~~ SIC NO ~~811310~~  
 LOCATION:  
 3201 SE SLATER ST MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$ 0.00 LIC. FEE \$ 26.25  
 \$ 0.00 PENALTY \$ 2.63  
 \$ 0.00 COL. FEE \$ 6.60  
 \$ 0.00 TRANSFER \$ 0.00

TOTAL 35.48

HARDISKY, RAY  
 ACCENT WELDING INC.  
 3201 SE SLATER ST.  
 STUART, FL 34997

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
 OF **WELDING SHOP**  
 AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

17 DAY OF OCTOBER 20 13  
 AND ENDING SEPTEMBER 30, 2014

806 2013 00629.0001 PAID





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

## FENCE and or POOL BARRIER CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

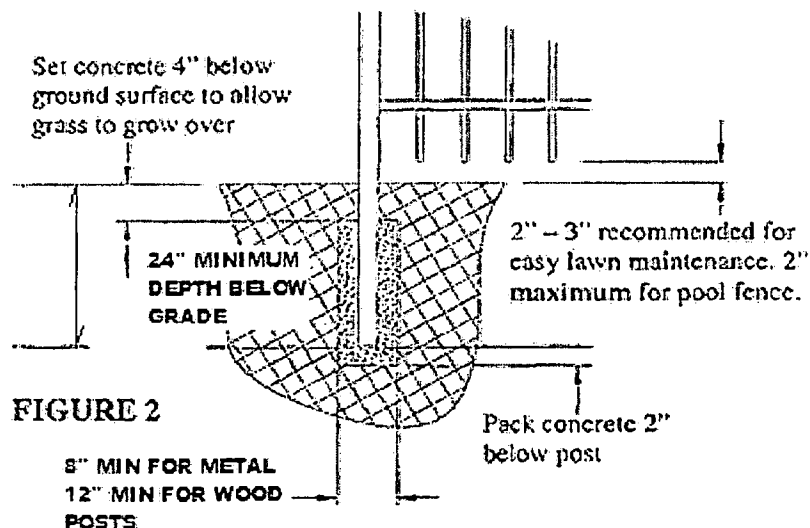
**Please make sure you have ALL required copies before submitting permit application**

- \_\_\_\_\_ 1 Copy Completed permit application
- \_\_\_\_\_ 2 Copies Survey or site plan showing the following:
  - All existing structures on property
  - Location of proposed fence
  - Setbacks from the fence to property lines
  - Height & type of fence
  - Location of all easements
  - Street & house number on site plans

**\*DO NOT SUBMIT PREVIOUSLY STAMPED SITE PLANS\***

- \_\_\_\_\_ 2 Copies support post footer sketch indicating size of footers. Fences to be used as a Pool Barrier (other than chain link fence) must include an accurate sketch or drawing indicating barrier requirement compliance.
- \_\_\_\_\_ 2 Copies, if fence crosses any easement, Easement agreement from all utility Companies are required. Agreement form included in permit package.

### Typical Fence Footer



**R4101.17.1 Outdoor swimming pools. Outdoor swimming pools shall be provided with a barrier complying with R4101.17.1.1 through R4101.17.1.14.**

R4101.17.1.1 The top of the barrier shall be at least 48 inches (1219 mm) above grade measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between grade and the bottom of the barrier shall be 2 inches (51 mm) measured on the side of the barrier which faces away from the swimming pool. Where the top of the pool structure is above grade the barrier may be at ground level or mounted on top of the pool structure. Where the barrier is mounted on top of the pool structure, the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be 4 inches (102 mm).

R4101.17.1.2 The barrier may not have any gaps, openings, indentations, protrusions, or structural components that could allow a young child to crawl under, squeeze through, or climb over the barrier as herein described below. One end of a removable child barrier shall not be removable without the aid of tools. Openings in any barrier shall not allow passage of a 4-inch-diameter (102 mm) sphere.

R4101.17.1.3 Solid barriers which do not have openings shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.

R4101.17.1.4 Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches (1143 mm), the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed 13/4 inches (44 mm) in width. Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 13/4 inches (44 mm) in width.

R4101.17.1.5 Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is 45 inches (1143 mm) or more, spacing between vertical members shall not exceed 4 inches (102 mm). Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 13/4 inches (44 mm) in width.

R4101.17.1.6 Maximum mesh size for chain link fences shall be a 2 1/4 inch square (57 mm) unless the fence is provided with slats fastened at the top or bottom which reduce the openings to no more than 13/4 inches (44 mm).

R4101.17.1.7 Where the barrier is composed of diagonal members, the maximum opening formed by the diagonal members shall be no more than 13/4 inches (44 mm).

R4101.17.1.8 Access gates, when provided, shall be self-closing and shall comply with the requirements of Sections R4101.17.1.1 through R4101.17.1.7 and shall be equipped with a self-latching locking device located on the pool side of the gate. Where the device release is located no less than 54 inches (1372 mm) from the bottom of the gate, the device release mechanism may be located on either side of the gate and so placed that it cannot be reached by a young child over the top or through any opening or gap from the outside. Gates that provide access to the swimming pool must open outward away from the pool. The gates and barrier shall have no opening greater than 1/2 inch (12.7 mm) within 18 inches (457 mm) of the release mechanism.

EASEMENT AGREEMENT

Date: \_\_\_\_\_

Gentlemen:

I propose to apply for a Town of Sewall's Point permit to erect a \_\_\_\_\_

In the (utility/drainage) easement on my property located at \_\_\_\_\_

**LEGAL DESCRIPTION: LOT \_\_\_\_\_, BLOCK \_\_\_\_\_, SUBDIVISION \_\_\_\_\_**

(Give a brief description of dimensions and location from property lines)

In the event you have no objection to this project, please complete this form and return to me at:

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

I understand your company will not be responsible in any way for repair or replacement of any portion of This \_\_\_\_\_ and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signed: \_\_\_\_\_ Phone: \_\_\_\_\_

\*\*\*\*\*

**THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY\*\*\***

We agree to the proposed construction under the circumstances described above.

Company: \_\_\_\_\_

By: \_\_\_\_\_

Title: \_\_\_\_\_

Company records indicate that a potential conflict  DOES  DOES NOT exist.

The conflict consists of: \_\_\_\_\_

**UTILITY CONTACT LIST**

MARTIN COUNTY UTILITIES: JIM CHRIST 772-288-3034 - FAX: 221-1447

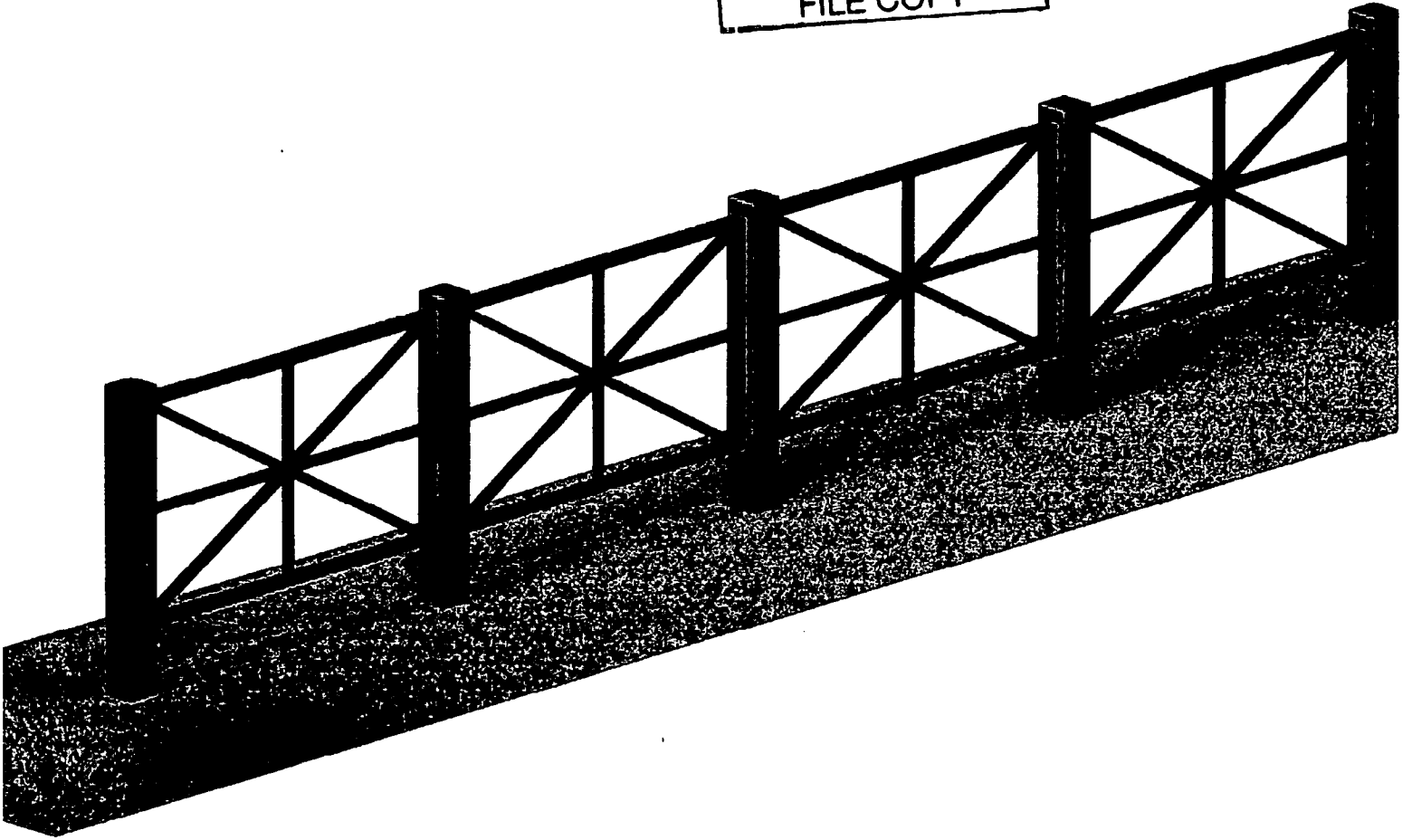
FLORIDA POWER AND LIGHT: ROB MORRIS 772-223-4215 – FAX: 223-4221

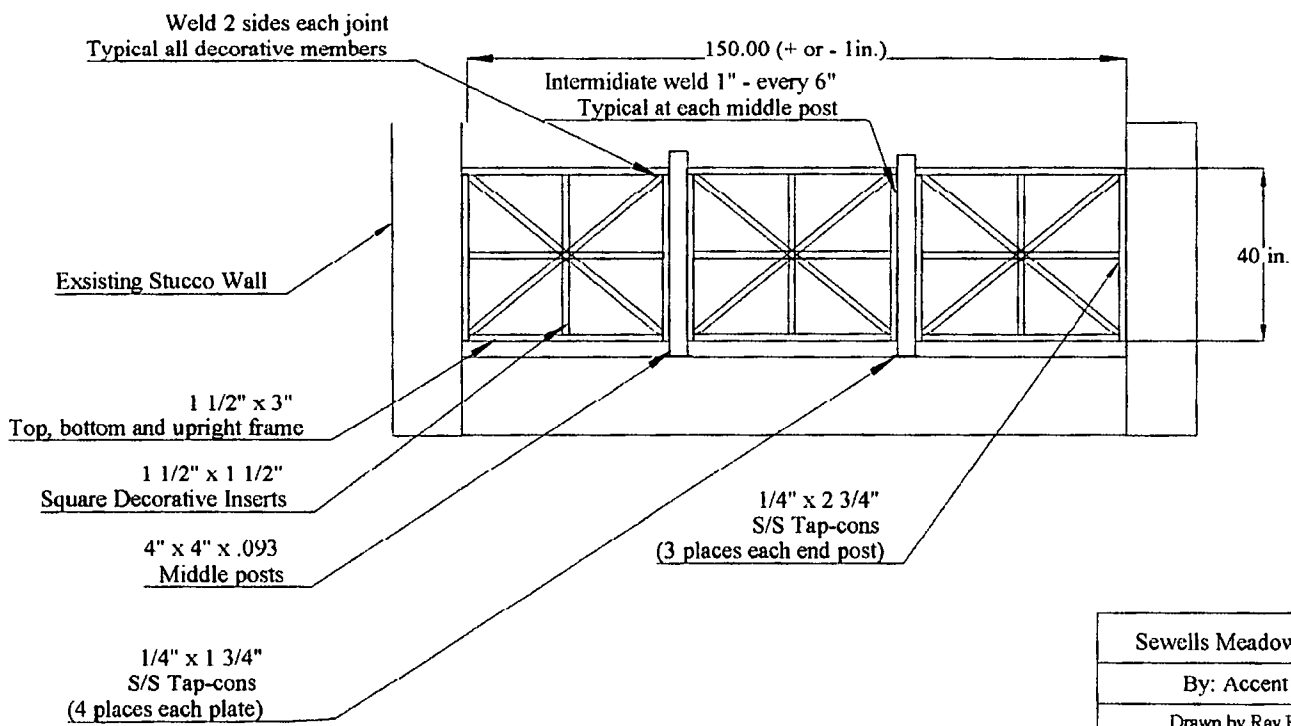
COMCAST: TIM KORNDORF 772-692-9010 EXT. 29 – FAX: 692-0759

AT&T: JAMES VINGA 772-460-4452 FAX: 772-466-5651

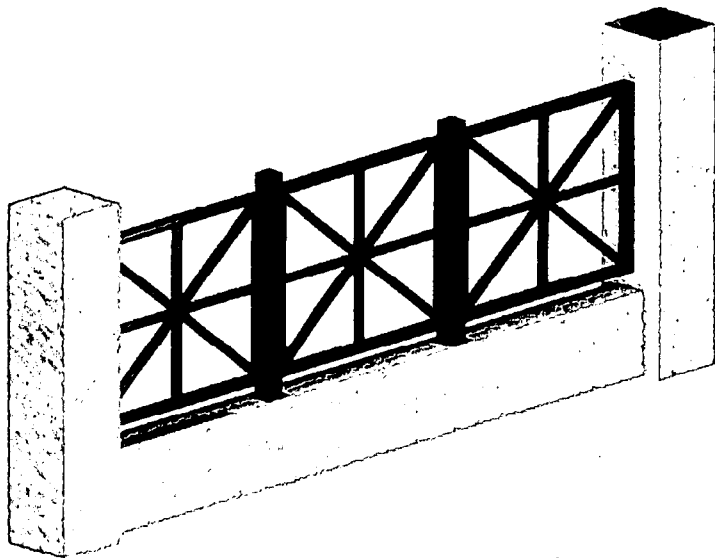


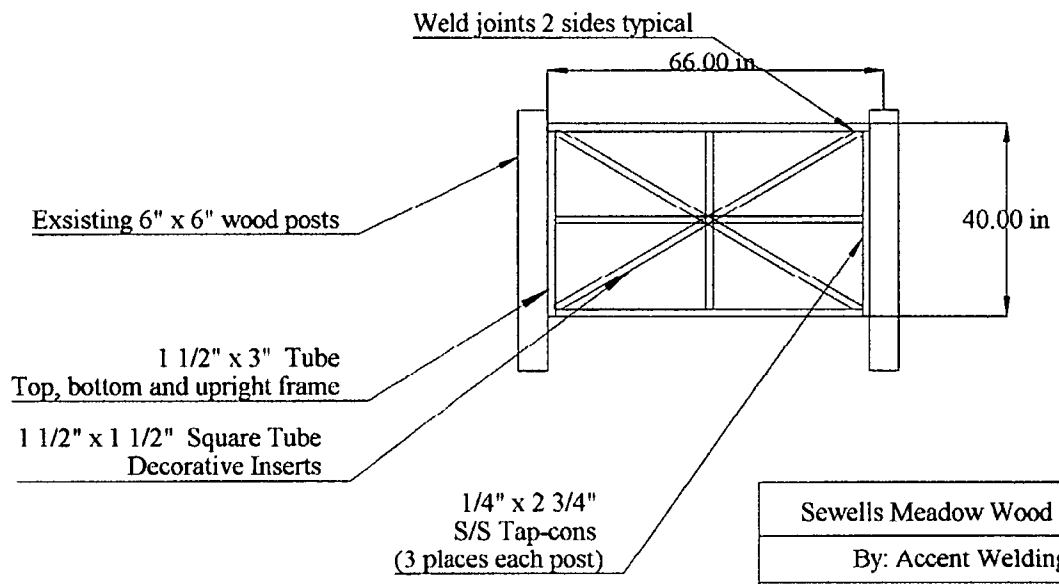
TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY





Sewells Meadow Wall Panels
By: Accent Welding
Drawn by Ray Hardisky 11/13/11/3





Sewells Meadow Wood Post Panels
By: Accent Welding
Drawn by Ray Hardisky 11/13/11/3

