

103 Henry Sewall Way

4658

SFR

☒ BLUEPRINTS FOR THIS PERMIT ARE
AVAILABLE FOR REVIEW AT TOWN
HALL.

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/12/99 BUILDING PERMIT NO. 4658
Building to be erected for FOGLIA CONTRACTING CORP. Type of Permit S.F.R.
Applied for by FOGLIA CONTRACTING CORP. (Contractor) Building Fee 1,200.00
Subdivision SEWALL'S MEADOW Lot 7 Block _____ Radon Fee 31.49
Address 103 HENRY SEWALL WAY Impact Fee 1,508.20
Type of structure S.F.R. A/C Fee 120.00
Electrical Fee 120.00
Parcel Control Number: _____ Plumbing Fee 120.00
Roofing Fee 120.00
Amount Paid \$ 3219.69 Check # 3428 Cash _____ Other Fees (PCAD REVIEW) 120.00
Total Construction Cost \$ 125,000.00 TOTAL Fees 3,339.69

Signed Michael Foglia FOGLIA CORP. Signed [Signature]
Applicant Town Building Inspector OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE _____

LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS – 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

☐ New Construction ☐ Remodel ☐ Addition ☐ Demolition

This permit must be visible from the street, accessible to the inspector.

**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

Bldg. Pmt# _____

Town of Sewall's Point

Date _____

BUILDING PERMIT APPLICATION

Owner's Name: FOGLIA CONTRACTING CORP. Phone No. 954-755-8808

Owner's Present Address: _____

Fee Simple Titleholder's Name & Address if other than owner 7428 WILES
RD CORAL SPRINGS FL. 33067

Location of Job Site: 103 HENRY SEWALL WAY

TYPE OF WORK TO BE DONE: SFR CBS CONSTRUCTION

CONTRACTOR INFORMATION

Contractor/Company Name: FOGLIA CONTRACTING CORP Phone No. 954 755-8808

COMPLETE MAILING ADDRESS 7428 WILES RD CORAL SPRINGS FL.

State Registration _____ State License CGC # 038434

Legal Description of Property LOT 7 SEWALL'S MEADOW PLAT BOOK 14 PG 32

Parcel Number _____

ARCHITECT/ENGINEER INFORMATION

Architect WINDY ARCHITECTNIC

Address 7436 WILES RD C.S. FL. 33067 Phone No. (954) 755-0690

Engineer _____ Phone No. _____

Address _____

Area Square Footage: Living Area 2515 Garage Area 634 Carport _____

Accessory Bldg. _____ Covered Patio 237 Scr. Porch _____ Wood Deck _____

Type Sewage: _____ Septic Tank Permit # from Health Dept. 43-55-1331

NEW electrical SERVICE SIZE 300 AMPS

FLOOD HAZARD INFORMATION

flood zone AB minimum Base Flood Elevation (BFE) _____ NGVD

proposed finish floor elevation 9 NGVD (minimum 1 foot above BFE)

Cost of construction or Improvement \$125,000

Fair Market Value (FMV) prior to improvement \$70,000

Substantial Improvement 50% of FMV yes X No _____

Method of determining FMV CONST COST ANALYSIS

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical DAMOND ELECTRIC State License 96-CMF-1628-X

Mechanical LINDSTROM AIR State License# CAC 056703

Plumbing MASTER PLUMBING State License# MP 00061

Roofing R.T.S. ROOFING State License# CCC 044888

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

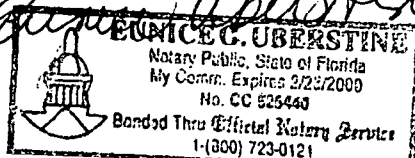
OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE _____

Sworn to and subscribed before me this 30th day of June, 1998 by Joseph M. Foglia who is (personally known to me or has produced or has produced _____ and who did (did not) take an oath.

CONTRACTOR SIGNATURE _____

Sworn to and subscribed before me this 30 day of _____, 1998 by _____ who is personally known to me or has produced _____ and who did (did not) take an oath.



TREE REMOVAL (Attach sealed survey)

No. of trees to be removed 0 No. to be retained 11 No. to be planted 0
Specimen tree removed 0 Fee 0 Authorized/Date _____
DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
- B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- C. Contractor's name, address, phone number & license numbers.
- D. Name all sub-contractors (properly licensed).
- E. Current Survey
- F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

Prepared by and return to:
Terence P. McCarthy, Esq.

McCarthy,Summers,Bobko,McKey,Wood, & Sawyer
2081 E. Ocean Boulevard Second Floor
Stuart, Florida 34996
561-286-1700
File No.: 468918

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Warranty Deed

This Warranty Deed made this 30th day of June, 1999 between
FAIRVIEW PROPERTIES, INC., a Virginia corporation authorized to do business in the State of
Florida as FAIRVIEW SOUTH, INC.

whose post office address is

2400 S. Federal Hwy., #300, Stuart, Florida 34994

grantor, and

FOGLIA CONTRACTING CORP., a Florida corporation

whose post office address is

grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

WITNESSETH, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida to-wit:

Lots 1, 5, 6, 7, 8, 9, 11, 13, 14, 16, 17, 18 and 22, SEWALL'S MEADOW, according to the Plat thereof recorded in Plat Book 14, Page 32, Public Records of Martin County, Florida.

Parcel Identification Numbers: 13-38-41-013-000-00010.00000, 13-38-41-013-000-00050.00000, 13-38-41-013-000-00060.00000, 13-38-41-013-000-00070.00000, 13-38-41-013-000-00080.00000, 13-38-41-013-000-00090.00000, 13-38-41-013-000-00110.00000, 13-38-41-013-000-00130.00000, 13-38-41-013-000-00140.00000, 13-38-41-013-000-00160.00000, 13-38-41-013-000-00170.00000, 13-38-41-013-000-00180.00000, 13-38-41-013-000-00220.00000

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1998.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

FAIRVIEW PROPERTIES, INC. A VIRGINIA
CORPORATION AUTHORIZED TO DO BUSINESS IN
THE STATE OF FLORIDA AS FAIRVIEW SOUTH,
INC.

By:

W. Martin Bonan

W. Martin Bonan
Vice President

Witness Name:

IXA GUTIERREZ

Witness Name:

Terence P. McCarthy

(Corporate Seal)

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 30th day of June, 1999 by W. Martin Bonan, Vice President of FAIRVIEW PROPERTIES, INC., a Virginia corporation authorized to do business in the State of Florida as FAIRVIEW SOUTH, INC., on behalf of the corporation. He ☒ is personally known to me ☐ has produced _____ as identification.

[Notary Seal]



Notary Public

Printed Name:

My Commission Expires:

RETURN TO: W/C#4123
DEBRA K. SCHIAVONE
PO BOX 989
WEST PALM BEACH, FL 33401

JSK
RETURN TO:
McCarthy, Summers, Bobko,
McKay, Wood & Sawyer, P.A.
2081 E. Ocean Blvd. Second Floor
Stuart, FL 34998
397502

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PERMIT NO.

TAX FOLIO NO.

NOTICE OF COMMENCEMENT

State of Florida
County of **MARTIN**

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. DESCRIPTION OF PROPERTY (Street address, if available)

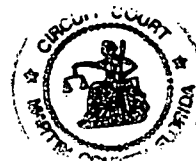
103
XXX HENRY SEWALL WAY, STUART, FLORIDA 34996

LEGAL DESCRIPTION OF PROPERTY

LOT 7, SEWALL'S MEADOW, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK
14, PAGE 32, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

2. GENERAL DESCRIPTION OF IMPROVEMENT

ONE STORY SINGLE FAMILY DWELLING



3 (a). NAME / ADDRESS OF OWNER FOGLIA CONTRACTING CORP 7428 WILES ROAD CORAL SPRINGS, FL 33067	3 (b). OWNER'S INTEREST IN PROPERTY FEE SIMPLE
3 (c). NAME / ADDRESS OF FEE SIMPLE TITLEHOLDER (if other than Owner)	4. NAME / ADDRESS OF CONTRACTOR

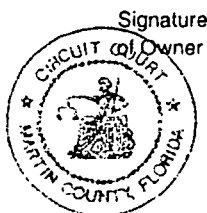
5 (a). NAME / ADDRESS OF SURETY	6. NAME / ADDRESS OF LENDER Fidelity Federal Savings Bank of Florida P.O. Box 989 West Palm Beach, FL 33402
5 (b). AMOUNT OF BOND \$	
7. Person(s) within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)(7), Florida Statutes are shown below:	
7. NAME / ADDRESS Fidelity Federal Savings Bank of Florida P.O. Box 989 West Palm Beach, FL 33402	7. NAME / ADDRESS
8. In addition to himself, Owner designates the person whose name and address appear in the box at the right to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.	8. NAME / ADDRESS OF PERSON TO RECEIVE COPY OF LIENOR'S NOTICE Fidelity Federal Savings Bank of Florida P.O. Box 989 West Palm Beach, FL 33402
9. Expiration of date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified) is shown in box at right.	9. EXPIRATION DATE

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 2 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

NOTARIZATION BY MARSHA STILLER, CLERK

STATE OF FLORIDA 8.13.99
COUNTY OF Martin

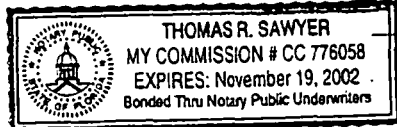


Signature
BY: JOSEPH J. FOGLIA, VICE PRESIDENT

The foregoing instrument was acknowledged before me this 12th day of August, 1999 by Joseph J. Foglia, V.P. of Foglia Contracting Corp., a Florida who is personally known to me or who has produced Corporation on behalf of the Corporation as identification.

My Commission expires:

(Seal)



Notary Public

WHEN RECORDED RETURN TO:	DRAFTED BY:
	ADDRESS, CITY, STATE

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One South Sewall's Point Road
Sewall's Point, Florida 34996
Tel: (561) 287-2455
Fax: (561) 220-4765

FAX TRANSMITTAL 1 PAGES

► TO: FOGLIA (954) 341-5120

► FROM: ARNOLD (561) 220-4765

8/8/99

PLAN REVIEW NOTES

☒ SINGLE FAMILY RESIDENCE; ☐ ADDITION; ☐ DOCK; ☐ POOL; ☐ FENCE; ☐ _____

OWNER: FOGLIA CONTRACTING ; ADDRESS: 7428 WILES ROAD, CORAL SPRINGS

PROJECT ADDRESS: 103 HENRY SEWALL WAY ; LEGAL: LOT 7 BLK _____ SUB SEWALL'S MEADOW

GENERAL CONTRACTOR: FOGLIA CONTRACTING CORP. ; LIC/CERT No. CGC 038434
(954) (954)

ADDRESS: 7428 WILES ROAD, CORAL SPRINGS ; TEL 755-8808 ; FAX 341-5120

ARCHITECT OR ENGINEER: HOMES BY ARCHITECTONIC
T. RAY PATTERSON ; LIC/REG. No. 0011617
(954) (954)

ADDRESS: 7430 WILES ROAD, CORAL SPRINGS ; TEL 755-0690 ; FAX 755-8801

Review of the application, supporting documents, plans and specifications submitted on the above project indicate the following items are required for submittal and/or revision :

1. SITE PLAN SURVEY TO BE REVISED & RESUBMITTED AT SUFFICIENT SCALE
(MINIMUM 1"=20') TO SHOW REQUIRED INFORMATION.

A. LOCATIONS & DIMENSIONS OF ALL SETBACKS & EASEMENTS REQUIRED BY TOWN CODE.

B. SIZES & LOCATIONS OF ALL BLDGS. & STRUCTURES, AND IMPERMEABLE AREAS,
RELATIVE TO ALL FOUR (4) LOT LINES AS WELL AS THE ELEVATIONS OF BUILDING.

NOTE: MIN. FIN. FL. ELEV. = 9' NGVD = MAXIMUM PER TOWN CODE.

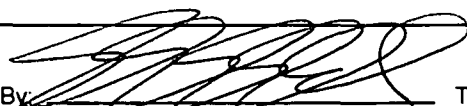
C. TOPOGRAPHIC SURVEY DATA INDICATING GRADE CHANGES PROPOSED FOR THE
SITE, AND DRAINAGE DETAILS IN COMPLIANCE W/ SUBDIVISION DRAINAGE PLAN.

D. AREA CALCULATIONS: LOT, BLDG., TOTAL IMPERMEABLE & % PERM/IMPERM.

E. IDENTIFICATION/DESCRIPTION TABULATION OF TREES REMAIN/REMOVE/RELOCATE.

2. SUBMIT REQUIRED MECHANICAL PLANS (INCLUDING DETAILS @ GARAGE A/C
CLG. MOUNT - W/ 1 HR SEPARATION) FOR REVIEW & APPROVAL PRIOR TO 1ST
MANDATORY INSPECTION (U/G ROUGH & OR FRAMING).

3. SUBMIT RECORDED WARRANTY DEED & NOTICE OF COMMENCEMENT

Prepared By: 
EDWIN B. ARNOLD

Title: BLDG. OFFICIAL Date: 8/7/99

PREDICTABILITY + ACCOUNTABILITY = COMPLIANCE

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
 One South Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel: (561) 287-2455
 Fax: (561) 220-4765

FAX TRANSMITTAL 1 PAGES▶ TO: FOGLIA (954) 341-5120▶ FROM: ARNOLD (561) 220-4765

8/8/99

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3. SUBMIT RECORDED WARRANTY DEED & NOTICE OF COMMENCEMENT

Prepared By

EDWIN B. ARNOLD

Title:

PLG. OFFICIAL

Date:

8/7/99

PREDICTABILITY + ACCOUNTABILITY = COMPLIANCE

BUSINESS
 TRAIL
 DETAIL

Carter Cost Quotation

Page 6

May 26, 1999

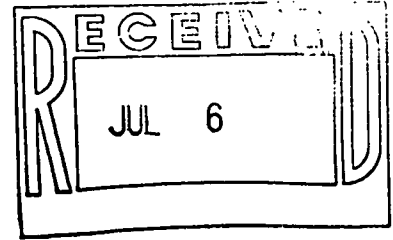
ALLOWANCES INCLUDED IN PRICE:

Initial site clear, grub, demuck if necessary, pad fill	\$20,000.
Final grading, trash removal, final fill, excess fill removal	\$20,000.
Landscape, Sod, Irrigation System	\$35,000.
Pool, Spa, Waterfall, Heater, all inclusive	\$33,000.
Lanai fountain with reflecting pool, pump, and Lion's head (fastened to Lanai wall with tile surround)	\$5,500.
Kitchen, Wet Bars (2), Master Dry Bar, Bath Vanities, and Exterior Kitchen cabinetry	\$40,000.
Kitchen, Main Wet Bar Granite tops and Backsplashes (actual price)	\$11,153.
Game Room Wet Bar marble top (actual price)	\$1,443.
Exterior B-B-Q granite top (actual price)	\$3,055.
All Art niche marble caps (actual price)	\$3,570.
Master Bedroom Dry Bar marble top (actual price)	\$1,495.
Master Bathroom marble floors, tub deck, steam area floors, walls and ceilings	\$10,000.
All Bath vanity marble tops (actually priced through marble supplier)	\$4,832.
Secondary Bathrooms ceramic tile flooring	\$7,500.
Flooring - Marble, Wood, Carpet, Rubber	\$52,000.
Master closet built-in shelving	\$8,000.
Secondary closet shelving	\$1,500.
Electrical fixtures, fans, fluorescents, rope lighting, etc. exclusive of hi-hat trims and bulbs	\$20,000.
Water Purification System	\$6,500.
Bath Vanity mirrors, Exercise Room mirror	\$3,500.
Steam Shower doors, Regular Shower doors	\$2,500.
Wet/Dry Bar mirrors with glass shelving	\$3,500.
Rain Gutter	\$1,500.
Main hall luminescent barrel vault ceiling	\$2,000.
Media Room drywall built-in unit	\$5,000.
Fish tank drywall built-in	\$1,500.
Steel entry gate system	\$4,600.3
Concrete pool deck	4000 s.f.
Tile topping for pool deck	\$30,000.
Paver driveway over 6" limerock sub-base using Category #1 colors and standard paver pattern	7000 s.f.
Lanai area pavers in category #1 colors, stand pattern	250 s.f.

COMPENSATION: (exclusive of lot cost)

One Million, Two Hundred Forty-nine Thousand, Eight Hundred Eighty-three and 00/100 (\$1,249,883.00)

SEWALL'S POINT
BUILDING DEPARTMENT
PLAN REVIEW FEE



DATE: 7/6/99

NAME: FOGLIA CONTRACTING: 7428 WILES ROAD, CORAL SPRINGS

ADDRESS: 103 HEWRY SEWALL WAY (PROJECT ADDRESS)

PHONE NUMBER: 954-755-8808

ESTIMATED COST OF PROJECT BEING REVIEWED TO BE REVIEWED

PROJECT COST \$125,000. PER APPLICATION

X \$9.60/m = \$ 1,200.00 ESTIMATED
X 10% = 120.00 BLDG. PERMIT FEE
PLAN REVIEW FEE

The information provided is to the best of my knowledge truthful and accurate.

Signature [Signature]
Date 7-6-99

FOGLIA CONTRACTING CORP.
DBA FOGLIA CUSTOM HOMES
PH. 954-755-8808
7428 WILES ROAD
CORAL SPRINGS, FL 33067

3357

DATE 7-6-99

63-9061/2670

PAY TO THE ORDER OF TOWN OF SEWALL'S POINT \$ 120.00

ONE HUNDRED TWENTY & 00/100 DOLLARS

REPUBLIC SECURITY BANK
CORAL SPRINGS, FLORIDA 33065

FOR PLAN REVIEW FEE

⑈003357⑈ ⑈267090617⑈ 3300130206⑈

PRODUCER ANNOVATIVE INS. CONS., INC. 9365 W. SAMPLE ROAD STE.201 CORAL SPRINGS FL 33065		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED THOMAS J. DEFRANCO Phone No. 954-340-9551 Fax No. 954-340-9456		COMPANIES AFFORDING COVERAGE	
FOGLIA CONSTRUCTION CO., INC. FOGLIA CONTRACTING CORP DBA FOGLIA CUSTOM HOMES 7428 WILES ROAD CORAL SPRINGS FL 33067		COMPANY A ASSURANCE COMPANY OF AMERICA	
		COMPANY B ZC INSURANCE COMPANY	
		COMPANY C	
		COMPANY D	

COVERAGES
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	RGP26379470	10/20/98	10/20/99	GENERAL AGGREGATE \$ 2,000,000
	☒ COMMERCIAL GENERAL LIABILITY				PRODUCTS - COMP/OP AGG \$ 2,000,000
	☐ CLAIMS MADE ☒ OCCUR				PERSONAL & ADV INJURY \$ 1,000,000
	☐ OWNER'S & CONTRACTOR'S PROT				EACH OCCURRENCE \$ 1,000,000
					FIRE DAMAGE (Any one fire) \$ 50,000
					MED EXP (Any one person) \$ 10,000
A	AUTOMOBILE LIABILITY	RGP26379470	10/20/98	10/20/99	COMBINED SINGLE LIMIT \$ 500,000
	☒ ANY AUTO				BODILY INJURY (Per person) \$
	☐ ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	☐ SCHEDULED AUTOS				PROPERTY DAMAGE \$
	☒ HIRED AUTOS				
	☒ NON-OWNED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	☐ ANY AUTO				OTHER THAN AUTO ONLY: \$
					EACH ACCIDENT \$
					AGGREGATE \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	☐ UMBRELLA FORM				AGGREGATE \$
	☐ OTHER THAN UMBRELLA FORM				\$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	35911	03/01/99	03/01/00	☒ WC STATU- TORY LIMITS ☐ OTH- ER \$
	☐ INCL				EL EACH ACCIDENT \$ 100,000
	☒ EXCL				EL DISEASE - POLICY LIMIT \$ 500,000
	FLORIDA OPERATIONS ONLY				EL DISEASE - EA EMPLOYEE \$ 100,000
	OTHER				10 DAYS NOTICE IF CANC. FOR NON-PMT

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER ALSO KNOWN AS ADDITIONAL INSURED FOR GENERAL LIABILITY.

CERTIFICATE HOLDER CANCELLATION

Sewall's Point Building Dept.
1 Sewall's Point Road
Sewall's Point, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

THOMAS J. DEFRANCO

AC# 5190841

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/27/1998	97904235	CG -C038434

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2000

FOGLIA, JOSEPH M
FOGLIA CONTRACTING CORP
7428 WILES RD
CORAL SPRINGS FL 33067

LAWTON CHILES
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARREL
SECRETARY

City of Coral Springs
9530 West Sample Rd.
P.O. Box 754501
Coral Springs FL 33075-4501

FOGLIA CONTRACTING CORP.

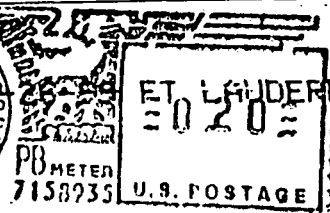
Is hereby Licensed to Engage in Business or Occupation of

CONTRACTOR - SPECIAL

GENERAL CONTRACTOR

OCCUPATIONAL LICENSE

7428 WILES RD



FOGLIA CONTRACTING CORP.
7428 WILES ROAD
CORAL SPRINGS FL 33067

Payment Date
Amount
License #
Expires

3/03/99
10.50
CG-35674
8/30/99

***** VALIDATED *****
CITY OF CORAL SPRINGS
OCCUPATIONAL LICENSE
19/98

POST IN A CONSPICUOUS PLACE

ELEVATION CERTIFICATE

FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM

ATTENTION: Use of this certificate does not provide a waiver of the flood insurance purchase requirement. This form is used only to provide elevation information necessary to ensure compliance with applicable community floodplain management ordinances, to determine the proper insurance premium rate, and/or to support a request for a Letter of Map Amendment or Revision (LOMA or LOMR). Instructions for completing this form can be found on the following pages.

SECTION A PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
BUILDING OWNER'S NAME <u>FOGLIA CONTRACTING CORP.</u>	POLICY NUMBER	
STREET ADDRESS (Including Apt., Unit, Suite and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER <u>103 HENRY SEWALL WAY.</u>	COMPANY NAIC NUMBER	
OTHER DESCRIPTION (Lot and Block Numbers, etc.) <u>LOT 7, PLAT OF SEWALL'S MEADOW, PLAT BOOK 14, PAGE 32.</u>		
CITY <u>STUART</u>	STATE <u>FL</u>	ZIP CODE <u>34996</u>

SECTION B FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM (See Instructions):

1. COMMUNITY NUMBER	2. PANEL NUMBER	3. SUFFIX	4. DATE OF FIRM INDEX	5. FIRM ZONE	6. BASE FLOOD ELEVATION (in AO Zones, use depth)
<u>120164</u>	<u>0002</u>	<u>D</u>	<u>10/16/96</u>	<u>A8</u>	<u>EL 9</u>

7. Indicate the elevation datum system used on the FIRM for Base Flood Elevations (BFE): ☒ NGVD '29 ☐ Other (describe on back)
8. For Zones A or V, where no BFE is provided on the FIRM, and the community has established a BFE for this building site, indicate the community's BFE: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION C BUILDING ELEVATION INFORMATION

1. Using the Elevation Certificate Instructions, indicate the diagram number from the diagrams found on Pages 5 and 6 that best describes the subject building's reference level 1.
- 2(a). FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of 11.2 feet NGVD (or other FIRM datum—see Section B, Item 7).
- (b). FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level from the selected diagram, is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
- (c). FIRM Zone A (without BFE). The floor used as the reference level from the selected diagram is feet above ☐ or below ☐ (check one) the highest grade adjacent to the building.
- (d). FIRM Zone AO. The floor used as the reference level from the selected diagram is feet above ☐ or below ☐ (check one) the highest grade adjacent to the building. If no flood depth number is available, is the building's lowest floor (reference level) elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown
3. Indicate the elevation datum system used in determining the above reference level elevations: ☒ NGVD '29 ☐ Other (describe under Comments on Page 2). (NOTE: If the elevation datum used in measuring the elevations is different than that used on the FIRM [see Section B, Item 7], then convert the elevations to the datum system used on the FIRM and show the conversion equation under Comments on Page 2.)
4. Elevation reference mark used appears on FIRM: ☐ Yes ☒ No (See Instructions on Page 4)
5. The reference level elevation is based on: ☒ actual construction ☐ construction drawings
(NOTE: Use of construction drawings is only valid if the building does not yet have the reference level floor in place, in which case this certificate will only be valid for the building during the course of construction. A post-construction Elevation Certificate will be required once construction is complete.)
6. The elevation of the lowest grade immediately adjacent to the building is: 16.0 feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION D COMMUNITY INFORMATION

1. If the community official responsible for verifying building elevations specifies that the reference level indicated in Section C, Item 1 is not the "lowest floor" as defined in the community's floodplain management ordinance, the elevation of the building's "lowest floor" as defined by the ordinance is: feet NGVD (or other FIRM datum—see Section B, Item 7).
2. Date of the start of construction or substantial improvement

SECTION E CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state or local law to certify elevation information when the elevation information for Zones A1-A30, AE, AH, A (with BFE), V1-V30, VE, and V (with BFE) is required. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. In the case of Zones AO and A (without a FEMA or community issued BFE), a building official, a property owner, or an owner's representative may also sign the certification.

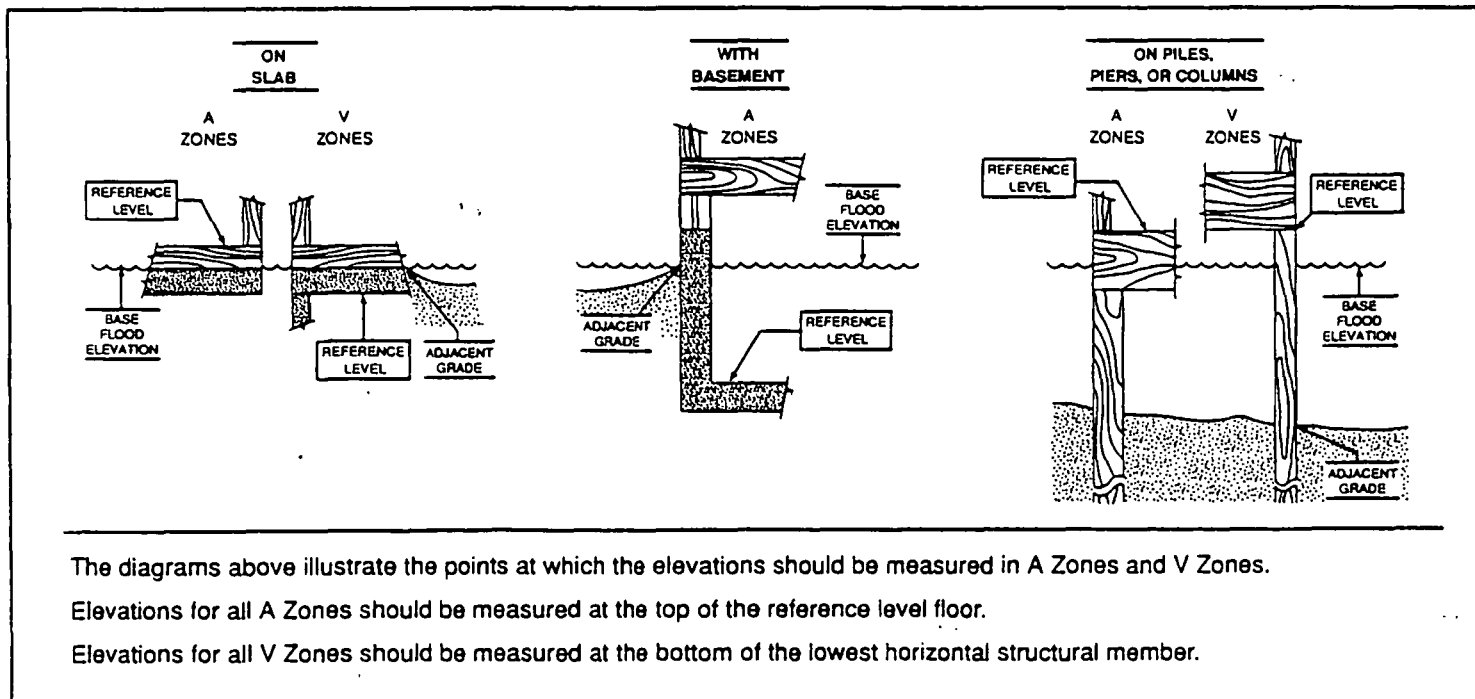
Reference level diagrams 6, 7 and 8 - Distinguishing Features-If the certifier is unable to certify to breakaway/non-breakaway wall, enclosure size, location of servicing equipment, area use, wall openings, or unfinished area Feature(s), then list the Feature(s) not included in the certification under Comments below. The diagram number, Section C, Item 1, must still be entered.

*I certify that the information in Sections B and C on this certificate represents my best efforts to interpret the data available.
I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.*

CERTIFIER'S NAME <u>RICHARD W. BUSSSEL</u>	LICENSE NUMBER (or Affix Seal) <u>3858</u>
TITLE <u>PROFESSIONAL SURVEYOR & MAPPER</u>	COMPANY NAME <u>RICHARD W. BUSSSEL, INC</u>
ADDRESS <u>P.O. BOX 1678</u>	CITY <u>STUART</u>
SIGNATURE <u>Richard W. Bussel</u>	STATE <u>FL</u>
	ZIP <u>34995</u>
	DATE <u>11/12/99</u>
	PHONE <u>(561) 220-3360</u>

Copies should be made of this Certificate for: 1) community official, 2) insurance agent/company, and 3) building owner.

COMMENTS:





“24-Hour Service

**Ft. Lauderdale
462-0221**

Ft. Myers
479-5289

1959 W. 9th Street • Riviera Beach, Florida 33404

1-800-285-PEST

**CERTIFICATION OF PREVENTIVE SUBTERRANEAN
TERMITE SOIL TREATMENT (SLAB-PRETREATMENT)**

RECEIVED
APR 28 2000

Owner _____ Acct. # _____

Lot 7 Block 1 Bldg.# 1

Sub-Division SEWELL MEADOW

Street Address 103 HENRY SEWALL WAY

City STUART, FL

General Contractor FOGLIA CUSTOM HOMES

Sub Contractor _____

MIN. FOOTAGE	SQ. FOOTAGE	DATE
--------------	-------------	------

Main	XX	3.524	10/06/99
------	----	-------	----------

Garage XX PATIO/POOL DISC 01/26/00

Porches	PERIMETER	3,524	04/11/00
---------	-----------	-------	----------

Pool Patio	N/A
------------	-----

Material Used	PREMISE 75
---------------	------------

Comments	ACCOUNT# 3543840
----------	------------------

DEPARTMENT OF AGRICULTURE — BUREAU OF ENTOMOLOGY — RULE 5E 14.105 (3) F.A.C.

CERTIFICATION Signed

A copy of this form must be obtained by the builder at completion and filed with the Building Department before a Certificate of Occupancy can be issued.



FOGLIA

C U S T O M
H O M E S

TO: Edwin B. Arnold
Town of Sewall's Point

RE: Lot 7 - Sewall's Meadow

~~103 Henry Sewall Way~~

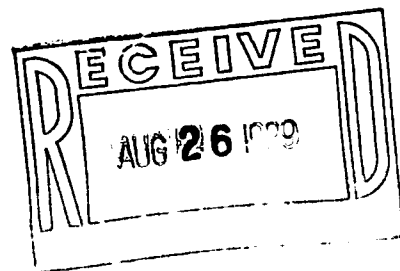
SUBCONTRACTOR LICENSES
AND CERTIFICATES OF INSURANCE

FOGLIA
CONTRACTING
CORP.

General Contracting
State Lic. #CGC-038434

7428 Wiles Road
Coral Springs,
Florida 33067
(954) 755-8808

4658



5/9/00 ADT. BLDG. FEE PER OWNER AFFIDAVIT (COST \$181,050.)

BLDG FEE (@ 9.60/1,000) = 1,737.60

P.D. @ ISSUANCE

1,200.00

BAL. DUE

\$ 537.60

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/12/99

BUILDING PERMIT NO. 4658

Building to be erected for FOGLIA CONTRACTING CORP.

Type of Permit S.F.R.

Applied for by FOGLIA CONTRACTING CORP.

(Contractor)

Building Fee 1,200.00

Subdivision SEWALL'S MEADOW

Lot 7

Block _____

Radon Fee 31.49

Address 103 HENRY SEWALL WAY

Impact Fee 1,508.20

Type of structure S.F.R.

A/C Fee 120.00

Parcel Control Number: _____

Electrical Fee 120.00

Plumbing Fee 120.00

Roofing Fee 120.00

Amount Paid \$ 3219.69 Check # 3428

Cash _____

Other Fees (PLAT REVIEW)

120.00

Total Construction Cost \$ 125,000.00

TOTAL Fees 3,339.69

Signed [Signature] FOGLIA CORP. Signed _____
Applicant

Town Building Inspector [Signature] OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____
COMPACTION TESTS	DATE _____
GROUND ROUGH	DATE _____
SOIL POISONING	DATE _____
FOOTINGS / PIERS	DATE _____
SLAB ON GRADE	DATE _____
TIE-BEAMS & COLUMNS	DATE _____
STRAPS AND ANCHORS	DATE _____
DRIVEWAY	DATE _____
AS-BUILT SURVEY	DATE _____

SHEATHING	DATE _____
FRAMING	DATE _____
INSULATION	DATE _____
ROOF DRY-IN	DATE _____
ROOF FINAL	DATE _____
METER FINAL	DATE _____
AS BUILT SURVEY	DATE _____
STORM PANELS	DATE _____
LANDCAPE & GRADE	DATE _____
FINAL INSPECTION	DATE _____

FLOOD ZONE _____

LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS – 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

☐ New Construction ☐ Remodel ☐ Addition ☐ Demolition

This permit must be visible from the street, accessible to the inspector.

**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD
7960 ARLINGTON EXPRESSWAY
SUITE 300
JACKSONVILLE FL 32211-7467

(904) 727-6530

BIXLER, RONALD MARION
STAR-LITE POOLS
6074 N SADAL PALM BLVD STE 213-D
TAMARAC FL 33319

STATE OF FLORIDA	AC# 52000
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION	
CP -C056418 07/07/1998 970485	
CERT COMMERCIAL POOL/SPA CONTR BIXLER, RONALD MARION STAR-LITE POOLS	
IS CERTIFIED under the provisions of Ch. 489	
Expiration Date: AUG 31, 2000	

DETACH HERE

AC# 5200035

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
07/07/1998	97048559	CP -C056418

The COMMERCIAL POOL/SPA CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489
Expiration date: AUG 31, 2000

BIXLER, RONALD MARION
STAR-LITE POOLS

ACORD CERTIFICATE OF LIABILITY INSURANCEOP ID MM
START-1

DATE (MM/DD/YY)

08/13/99

PRODUCER

Insurance By Ken Brown, Inc.
P.O. Box 540569
1339 Arlington Street
Orlando FL 32805
Phone: 407-849-0490 Fax: 407-648-0197

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED

Star-Lite Pools
Star-Lite Pool Builders, Inc.
10875 N. W. 52th St., Ste #8
Sunrise FL 33351

INSURER A: **Transportation Ins. Company**
INSURER B: **Transcontinental Ins. Company**
INSURER C: **Bridgefield Casualty Ins Co.**
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

RISR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	B142980114	09/13/98	09/13/99	EACH OCCURRENCE \$ 500,000
	☒ COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 50,000
	☐ CLAIMS MADE ☒ OCCUR				MED EXP (Any one person) \$ 5,000
					PERSONAL & ADV INJURY \$ 500,000
					GENERAL AGGREGATE \$ 1,000,000
					PRODUCTS - COMPROP AGG \$ 1,000,000
					GEN'L AGGREGATE LIMIT APPLIES PER: ☐ POLICY ☐ PRO-JECT ☐ LOC
B	AUTOMOBILE LIABILITY	B142980128	09/13/98	09/13/99	COMBINED SINGLE LIMIT (Ea accident) \$ 500000
	☒ ANY AUTO				BODILY INJURY (Per person) \$
	☐ ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	☐ SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	☒ HIRED AUTOS				
☒ NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	☐ ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY AGG \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	☐ OCCUR ☐ CLAIMS MADE				AGGREGATE \$
	☐ DEDUCTIBLE				\$
	☐ RETENTION \$				\$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	019601875	06/26/99	06/26/00	☒ WC STATUTORY LIMITS ☐ OTHER
	E.L. EACH ACCIDENT \$ 100,000				
	E.L. DISEASE - EA EMPLOYEE \$ 100,000				
	E.L. DISEASE - POLICY LIMIT \$ 500,000				
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

fax: 954-341-5120 mm

CERTIFICATE HOLDER

N

ADDITIONAL INSURED, INSURER LETTER

CANCELLATION

SEWALLS

City of Sewalls Point
1 South Sewalls Point Rd.
Sewalls Point FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.



AO# 5164054

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/13/1998	97903955	CA -C056971

The CLASS B AIR CONDITIONING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2000

LINDSTROM, JEFFREY C
LINDSTROM A/C INC
6601 LYONS ROAD
SUITE D8
COCONUT CREEK FL 33073

LAWTON CHILES
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARRELL
SECRETARY



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD
7960 ARLINGTON EXPRESSWAY
SUITE 300
JACKSONVILLE FL 32211-7467

(904) 727-6530

LINDSTROM, JEFFREY C
LINDSTROM A/C INC
6601 LYONS ROAD
SUITE D8
COCONUT CREEK

FL 33073

GOVERNOR

SECRETARY

CERTIFICATE OF INSURANCE

DATE (MM/DD/YY)

07/07/99

PRODUCER

Collinsworth, Alter, Lambert,
Inc.
600 Sandtree Drive, Ste 101
Palm Beach Gardens, FL 33403

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND
CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE
DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE
POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY

A Amerisure Insurance Co

COMPANY

B Fireman's Fund Ins Co

COMPANY

C Michigan Mutual Insurance Co

COMPANY

D

INSURED

Lindstrom Air Conditioning Inc
6801 Lyons Road DB
Coconut Creek FL 33073

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD
INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS
CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS,
EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFF. DATE (MM/DD/YY)	POLICY EXP. DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	CPP276013	1/01/99	1/01/00	GENERAL AGGREGATE	2000000
	☒ COMM. GENERAL LIABILITY				PROD-COMP/OP AGG.	2000000
	☐ CLAIMS MADE ☒ OCCUR				PERS. & ADV. INJURY	2000000
	OWNER'S & CONTRACTOR'S PROT				EACH OCCURRENCE	2000000
	☒ Contractual				FIRE DAMAGE(One Fire)	50000
	☒ BF PD				MED EXP(Any one person)	5000
A	AUTOMOBILE LIABILITY	CA1012134	1/01/99	1/01/00	COMBINED SINGLE LIMIT	1000000
	☒ ANY AUTO				BODILY INJURY (Per person)	
	☐ ALL OWNED AUTOS				BODILY INJURY (Per accident)	
	☐ SCHEDULED AUTOS				PROPERTY DAMAGE	
	☒ RENTED AUTOS					
	☒ NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY-EA ACCIDENT	
	☐ ANY AUTO				OTHER THAN AUTO ONLY	
					EACH ACCIDENT	
					AGGREGATE	
B	EXCESS LIABILITY	83657044	1/01/99	1/01/00	EACH OCCURRENCE	1000000
	☒ UMBRELLA FORM				AGGREGATE	1000000
	☐ OTHER THAN UMBRELLA FORM					
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC1293317	1/01/99	1/01/00	STATUTORY LIMITS	
	THE PROPRIETOR/ PARTNERS/EXECUTIVE OFFICERS ARE: ☐ INCL ☐ EXCL				EACH ACCIDENT	100000
					DISEASE-POLICY LIMIT	500000
					DISEASE-EACH EMPL	100000
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS
FAX NO. 954 420-0064

CERTIFICATE HOLDER

Town of Sewalls Point
1 S. Sewalls Pointe
Sewalls Point, FL 34497

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE
EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO
MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE
LEFT. BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR
LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

AC# 5170355

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/16/1998	97904028	CF -C032565

The PLUMBING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2000

LISIESKY, DAVID A
TROPIC PLUMBING/MECHANICAL INC
3180 SE DOMINICA TERR #5
STUART FL 34997

LAWTON CHILES
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARRELL
SECRETARY

STATE OF FLORIDA		AC# 5170355
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION		
CF -C032565 06/16/1998 97904028		
CERTIFIED PLUMBING CONTRACTOR LISIESKY, DAVID A TROPIC PLUMBING/MECHANICAL INC		
IS CERTIFIED under the provisions of Ch. 489 FS.		
Expiration Date: AUG 31, 2000		

MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(561) 288-5604

LICENSE 1985 524 119 CERT CFC032565

PHONE 561 288 0030 SIC NO 0000

LOCATION:

3180 SE DOMINICA TER

PREV YR. \$	0.00	LIC. FEE \$	25.00
\$	0.00	PENALTY \$	0.00
\$	0.00	COL. FEE \$	0.00
\$		TRANSFER \$	0.00
TOTAL		25.00	

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS PROFESSION OR OCCUPATION
OF PLUMBING CONTR

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

1 DAY OF OCTOBER 1998
AND ENDING SEPTEMBER 30 1999 998081101 539

TROPIC PLUMBING & MECHANICAL
DAVID LISIESKY
3180 SE DOMINICA TERR #5
STUART FL 034994

CERTIFICATE OF INSURANCE

HOME OFFICE: ONE NATIONWIDE PLAZA - COLUMBUS OHIO 43218

The company indicated below certifies that the insurance afforded by the policy or policies numbered and described below is in force as of the effective date of this certificate. This Certificate of Insurance does not amend, extend, or otherwise alter the Terms and Conditions of Insurance coverage contained in any policy numbered and described below.

CERTIFICATE HOLDER:

FOGLIA CONTRACTORS CORP/
FOGLIA CUSTOM HOMES
7728 WILES RD
CORAL SPRINGS, FL 33067

INSURED:

TROPIC PLUMBING MECH INC
3180 DOMINICA TERRACE
STUART, FL 34997

TYPE OF INSURANCE	POLICY NUMBER & ISSUING CO.	POLICY EFF. DATE	POLICY EXP. DATE	LIMITS OF LIABILITY (*LIMITS AT INCEPTION)
LIABILITY	77-PR-597639-0001	01-01-99	01-01-00	
☒ Liability and Medical Expense	NATIONWIDE MUTUAL FIRE INSURANCE CO.			Any One Occurrence..... \$ 500.000
☒ Personal and Advertising Injury				Any One Person/Org \$ 500.000
☒ Medical Expenses				ANY ONE PERSON \$ 5.000
☒ Fire Legal Liability				Any One Fire or Explosion \$ 50.000
				General Aggregate* \$ 500.000
				Prod/Comp Ops Aggregate* .. \$ 500.000
☐ Other Liability				
AUTOMOBILE LIABILITY	77-BA-542302-0002	04-02-99	04-02-00	
☒ BUSINESS AUTO	NATIONWIDE MUTUAL INSURANCE CO.			Bodily Injury (Each Person) \$
☒ Owned				(Each Accident) \$
☐ Hired				Property Damage (Each Accident) \$
☐ Non-Owned				Combined Single Limit \$ 100.000
EXCESS LIABILITY				Each Occurrence \$
☐ Umbrella Form				Prod/Comp Ops/Disease Aggregate* \$
	77-WC-597639-0002	01-01-99	01-01-00	STATUTORY LIMITS
☒ Workers' Compensation and	Nationwide Mutual Insurance Co.			BODILY INJURY/ACCIDENT ... \$ 100.000
☒ Employers' Liability				Bodily Injury by Disease EACH EMPLOYEE \$ 100.000
				Bodily Injury by Disease POLICY LIMIT \$ 500.000

DESCRIPTION OF OPERATIONS/LOCATIONS
VEHICLES/RESTRICTIONS/SPECIAL ITEMS
PLUMBING CONTRACTOR
FLORIDA

Effective Date of Certificate: 01-01-1999
Date Certificate Issued: 08-13-1999

Authorized Representative: JIM MOUND
Countersigned at: NATIONWIDE INSURANCE
1284 N W FEDERAL HWY

42-229800

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
ELECTRICAL CONTRACTING LICENSE

DATE	BATCH NUMBER	LICENSE NBR
08/25/1998	08740316	EC-000000

THE ELECTRICAL CONTRACTOR
IS CERTIFIED
Under the provisions of Chapter 489
Expiration date: AUG 31, 2000

RIDUX, ALAIN P.
TAURUS ELECTRIC, INC.
1400 PORBYTHE RD SUITE D
WEST PALM BEACH FL 33415

LAWTON CHILES
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARRELL
SECRETARY

TAURUS ELECTRIC

ACORD

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)

MAY 11 99

PRODUCER

810 BANACK INSURANCE AGENCY
2046 14TH AVE.
VERO BEACH FL 32961

PHONE: 561-562-3369
FAX: 561-562-3466

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY
A TRANSPORTATION INS. CO.
COMPANY
B TRANSCONTINENTAL INS. CO.
COMPANY
C FCCI MUTUAL INSURANCE CO.
COMPANY
D

INSURED

TAURUS ELECTRIC, INC.
1400 FORSYTHE ROAD
WEST PALM BEACH FL 33405

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	B1 30119495	MAY 8 99	MAY 8 00	GENERAL AGGREGATE \$ 1,000,000
	☒ COMMERCIAL GENERAL LIABILITY				PRODUCTS-COMP/OP AGG. \$ 1,000,000
	☐ CLAIMS MADE ☒ OCCUR				PERSONAL & ADV INJURY \$ 500,000
	☐ OWNERS & CONTRACTORS PROT				EACH OCCURRENCE \$ 500,000
					FIRE DAMAGE (Any One Fire) \$ 50,000
					MED. EXP (Any One Person) \$ 5,000
B	AUTOMOBILE LIABILITY	B1 30119500	MAY 8 99	MAY 8 00	COMBINED SINGLE LIMIT \$ 500,000
	☒ ANY AUTO				BODILY INJURY (Per person) \$
	☐ ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	☐ SCHEDULED AUTOS				PROPERTY DAMAGE \$
	☐ HIRED AUTOS				
	NON-OWNED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	☐ ANY AUTO				OTHER THAN AUTO ONLY: \$
					EACH ACCIDENT \$
					AGGREGATE \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	☐ UMBRELLA FORM				AGGREGATE \$
	☐ OTHER THAN UMBRELLA FORM				\$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	001-WC89A-23488	JAN 1 99	JAN 1 00	WC STATUS: ☐ INCL ☐ EXCL
	THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE:				EACH ACCIDENT \$ 100,000
					DISEASE-POLICY LIMIT \$ 500,000
					DISEASE-EACH EMPLOYEE \$ 100,000
	OTHER:				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

FAX 561-683-2004

TOWN OF SEWELL'S POINT
BUILDING DEPARTMENT
ONE SO. SEWELL'S POINT ROAD
SEWELL'S POINT FL 34986

Attention:

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT. BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Robert K. Jones

ACORD 204 (5/92)

CANCELLATION 9831

**MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(561) 288-5604

LICENSE 1993 520 076 CERT CCC056793

PHONE 561 283 7663 SIC NO 1761

LOCATION:

808 DIXIE HWY

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$	<u>0.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>0.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>0.00</u>	COL. FEE \$	<u>0.00</u>
\$	<u>0.00</u>	TRANSFER \$	<u>0.00</u>
TOTAL		<u>25.00</u>	

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF ROOFING CONTRACTOR

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

24 DAY OF JUNE 1999 SEC. 99
AND ENDING SEPTEMBER 30. 1999 998081701 1691

PACIFIC ROOFING CORP
RICHARD J GOMES
808 SE DIXIE HWY
STUART, FL 34994

PAID

ACCORD CERTIFICATE OF LIABILITY INSURANCE 08/13/1999

PHONE (561)746-4546 FAX (561)746-9599

Tequesta Agency, Inc.
1 Tequesta Drive
Tequesta, FL 33469

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A Transcontinental Insurance Co.
COMPANY B Transportation Insurance Co.
COMPANY C
COMPANY D

% Debra Hicks

Ext:

INSURED
Pacific Roofing Corp., Inc.
PO Box 2697
Stuart, FL 34994

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
GENERAL LIABILITY ☒ COMMERCIAL GENERAL LIABILITY ☐ CLAIMS MADE ☒ OCCUR ☐ OWNERS & CONTRACTORS PROT	C155821031	08/27/1998	08/27/1999	GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 PERSONAL & ADV INJURY \$ 1,000,000 EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000
AUTOMOBILE LIABILITY ☒ ANY AUTO ☐ ALL OWNED AUTOS ☐ SCHEDULED AUTOS ☐ HIRED AUTOS ☐ NON-OWNED AUTOS	C144640569	08/27/1998	08/27/1999	COMBINED SINGLE LIMIT \$ 500,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
GARAGE LIABILITY ☐ ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: \$ EACH ACCIDENT \$ AGGREGATE \$
EXCESS LIABILITY ☐ UMBRELLA FORM ☐ OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR, PARTNERS/EXECUTIVE OFFICERS ARE: ☐ INCL ☒ EXCL	WC177093784	10/28/1998	10/28/1999	☒ WC STATUTORY LIMITS ☐ OTHER EL EACH ACCIDENT \$ 100,000 EL DISEASE - POLICY LIMIT \$ 500,000 EL DISEASE - EA EMPLOYEE \$ 100,000
OTHER				

DESCRIPTION OF OPERATIONS/LOCATION/VEHICLES/SPECIAL ITEMS

TOWN OF SEWALLS POINT
1 SOUTH SEWALLS POINT ROAD
STUART, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Charles P. Martyn III

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name:	FG-7-SM	Builder:	FOGLIA
Address:	Lot: 7, Sub: SEAWALL MDW, Plat:	Permitting Office:	MARTIN COUNTY
City, State:	,	Permit Number:	
Owner:	FOGLIA LOT 7 SEAWALL'S MEADOWS	Jurisdiction Number:	
Climate Zone:	South		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 46000.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 11.00
4. Number of Bedrooms	4	b. Central Unit	Cap: 23200.0 kBtu/hr
5. Is this a worst case?	Yes		SEER: 11.00
6. Conditioned floor area (ft ²)	2515 ft ²	c. N/A	
7. Glass area & type		13. Heating systems	
a. Clear - single pane	506.1 ft ²	a. Electric Strip	Cap: 33.4 kBtu/hr
b. Clear - double pane	0.0 ft ²		COP: 1.00
c. Tin/other SC/SHGC - single pane	0.0 ft ²	b. Electric Strip	Cap: 23.9 kBtu/hr
d. Tin/other SC/SHGC - double pane	0.0 ft ²		COP: 1.00
8. Floor types		c. N/A	
a. Slab-On-Grade Edge Insulation	R=0.0, 150.0(p) ft	14. Hot water systems	
b. Slab-On-Grade Edge Insulation	R=0.0, 83.0(p) ft	a. Electric Resistance	Cap: 65.0 gallons
c. N/A			EF: 0.88
9. Wall types		b. N/A	
a. Concrete, Int Insul, Exterior	R=4.2, 1008.0 ft ²	c. Conservation credits	
b. Concrete, Int Insul, Exterior	R=4.2, 622.0 ft ²	(HR-Heat recovery, Solar	
c. N/A		DHP-Dedicated heat pump)	
d. N/A		15. HVAC credits	MZ-C, MZ-H
e. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
10. Ceiling types		HF-Whole house fan,	
a. Under Attic	R=19.0, 1706.0 ft ²	PT-Programmable Thermostat,	
b. Under Attic	R=19.0, 809.0 ft ²	RB-Attic radiant barrier,	
c. N/A		MZ-C-Multizone cooling,	
11. Ducts		MZ-H-Multizone heating)	
a. Sup: Unc. Ret: Unc. AH: Garage	Sup. R=6.0, 75.0 ft		
b. Sup: Unc. Ret: Unc. AH: Garage	Sup. R=6.0, 75.0 ft		

Glass/Floor Area: 0.20

Total as-built points: 37186.00

Total base points: 37396.00

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: LISA SWEATT

DATE: 7-5-99

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: David F. Felt

DATE: 8-12-99

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: [Signature]

DATE: 8/12/99

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 7, Sub: SEAWALL MDW, Plat: , , ,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Ornt	Overhang Len Hgt		Area X	SPM X	SOF =	Points
.18	2515.0	53.20	24084.8	Single, Clear	NW	13.0	8.4	19.0	45.04	0.60	513.4
				Single, Clear	NW	13.0	8.0	10.0	45.04	0.59	266.7
				Single, Clear	NW	1.4	10.0	20.0	45.04	0.99	887.3
				Single, Clear	SE	1.4	15.0	67.0	74.09	1.00	4961.0
				Single, Clear	SE	18.0	15.0	70.0	74.09	0.47	2440.1
				Single, Clear	SE	1.4	15.0	70.0	74.09	1.00	5180.5
				Single, Clear	SE	1.4	12.0	28.0	74.09	1.00	2071.6
				Single, Clear	NE	1.4	5.0	8.0	51.65	0.90	372.0
				Single, Clear	NE	1.4	6.4	20.0	51.65	0.94	971.4
				Single, Clear	NE	1.4	5.0	8.0	51.65	0.90	372.0
				Single, Clear	NE	1.4	6.4	20.0	51.65	0.94	971.4
				Single, Clear	SW	1.4	5.0	8.0	68.17	0.87	474.8
				Single, Clear	SW	1.4	3.0	12.0	68.17	0.72	590.0
				Single, Clear	SW	1.4	11.0	37.0	68.17	0.99	2499.7
				Single, Clear	SW	15.0	3.0	18.0	68.17	0.39	474.0
				Single, Clear	SW	15.0	11.0	56.0	68.17	0.46	1772.3
				Single, Clear	SW	15.0	11.0	35.0	68.17	0.46	1107.7
				As-Built Total:				506.1			25926.0
WALL TYPES				Area X BSPM = Points		Type	R-Value	Area X SPM =		Points	
Adajcent	0.0	0.0	0.0			Concrete, Int Insul, Exterior	4.2	1008.0	2.28	2298.2	
Exterior	1630.0	2.70	4401.0			Concrete, Int Insul, Exterior	4.2	622.0	2.28	1418.2	
Base Total:	1630.0		4401.0			As-Built Total:		1630.0		3716.4	
DOOR TYPES				Area X BSPM = Points		Type		Area X SPM =		Points	
Adjacent	21.0	2.60	54.6			Adjacent Wood		21.0	3.80	79.8	
Exterior	48.0	6.40	307.2			Exterior Wood		48.0	9.40	451.2	
Base Total:	69.0		361.8			As-Built Total:		69.0		531.0	
CEILING TYPES				Area X BSPM = Points		Type	R-Value	Area X SPM =		Points	
Under Attic	2515.0	0.80	2012.0			Under Attic	19.0	1706.0	1.50	2559.0	
						Under Attic	19.0	809.0	1.50	1213.5	
Base Total:	2515.0		2012.0			As-Built Total:		2515.0		3772.5	

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 7, Sub: SEAWALL MDW, Plat: , , ,

PERMIT #:

BASE				AS-BUILT									
FLOOR TYPES	Area	X	BSPM = Points	Type	R-Value	Area	X	SPM = Points					
Slab	233.0(p)	-20.0	-4660.0	Slab-On-Grade Edge Insulation	0.0	150.0(p)	-20.00	-3000.0					
Raised	0.0	0.00	0.0	Slab-On-Grade Edge Insulation	0.0	83.0(p)	-20.00	-1660.0					
Base Total:			-4660.0	As-Built Total:				-4660.0					
INFILTRATION	Area	X	BSPM = Points	Area X SPM = Points									
	2515.0	18.79	47256.8	2515.0 18.79 47256.8									
Summer Base Points: 73456.5				Summer As-Built Points: 76542.7									
Total Summer Points	X	System Multiplier	= Cooling Points	Total Component	X	Cap Ratio	X	Duct Multiplier	X	System Multiplier	X	Credit Multiplier	= Cooling Points
				76542.7		0.665		1.043		0.310		0.950	15628.8
				76542.7		0.335		1.043		0.310		0.950	7882.3
73456.5		0.3560	26150.5	76542.7		1.00		1.043		0.310		0.950	23511.1

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 7, Sub: SEAWALL MDW, Plat: , , ,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Ornt	Overhang Len Hgt		Area X WPM X WOF	=	Points	
.18	2515.0	2.02	916.5	Single, Clear	NW	13.0	8.4	19.0	4.88	0.96	89.4
				Single, Clear	NW	13.0	8.0	10.0	4.88	0.96	46.9
				Single, Clear	NW	1.4	10.0	20.0	4.88	1.00	97.3
				Single, Clear	SE	1.4	15.0	67.0	3.29	1.01	223.5
				Single, Clear	SE	18.0	15.0	70.0	3.29	1.34	307.7
				Single, Clear	SE	1.4	15.0	70.0	3.29	1.01	233.4
				Single, Clear	SE	1.4	12.0	28.0	3.29	1.02	93.7
				Single, Clear	NE	1.4	5.0	8.0	4.71	1.00	37.6
				Single, Clear	NE	1.4	6.4	20.0	4.71	1.00	94.0
				Single, Clear	NE	1.4	5.0	8.0	4.71	1.00	37.6
				Single, Clear	NE	1.4	6.4	20.0	4.71	1.00	94.0
				Single, Clear	SW	1.4	5.0	8.0	4.09	1.01	33.2
				Single, Clear	SW	1.4	3.0	12.0	4.09	1.04	51.1
				Single, Clear	SW	1.4	11.0	37.0	4.09	1.00	151.3
				Single, Clear	SW	15.0	3.0	18.0	4.09	1.19	87.7
				Single, Clear	SW	15.0	11.0	56.0	4.09	1.14	261.6
				Single, Clear	SW	15.0	11.0	35.0	4.09	1.14	163.5
				As-Built Total:		506.1					2103.5
WALL TYPES				Area X BWPM = Points		Type	R-Value	Area X WPM	=	Points	
Adjacent	0.0	0.0	0.0	Concrete, Int Insul, Exterior		4.2	1008.0	1.02		1028.2	
Exterior	1630.0	0.60	978.0	Concrete, Int Insul, Exterior		4.2	622.0	1.02		634.4	
Base Total:		1630.0	978.0	As-Built Total:			1630.0			1662.6	
DOOR TYPES				Area X BWPM = Points		Type		Area X WPM	=	Points	
Adjacent	21.0	1.30	27.3	Adjacent Wood			21.0	1.90		39.9	
Exterior	48.0	1.80	86.4	Exterior Wood			48.0	2.80		134.4	
Base Total:		69.0	113.7	As-Built Total:			69.0			174.3	
CEILING TYPES				Area X BWPM = Points		Type	R-Value	Area X WPM	=	Points	
Under Attic	2515.0	0.10	251.5	Under Attic		19.0	1706.0	0.30		511.8	
				Under Attic		19.0	809.0	0.30		242.7	
Base Total:		2515.0	251.5	As-Built Total:			2515.0			754.5	

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 7, Sub: SEAWALL MDW, Plat: , , ,

PERMIT #:

BASE				AS-BUILT									
FLOOR TYPES	Area	X	BWPM = Points	Type	R-Value	Area	X	WPM = Points					
Slab	233.0(p)	-2.1	-489.3	Slab-On-Grade Edge Insulation	0.0	150.0(p)	-2.10	-315.0					
Raised	0.0	0.00	0.0	Slab-On-Grade Edge Insulation	0.0	83.0(p)	-2.10	-174.3					
Base Total:			-489.3	As-Built Total:			-489.3						
INFILTRATION	Area	X	BWPM = Points	Area X WPM = Points									
	2515.0	-0.06	-150.9	2515.0 -0.06 -150.9									
Winter Base Points: 1619.5				Winter As-Built Points: 4054.7									
Total Winter Points	X	System Multiplier	= Heating Points	Total Component	X	Cap Ratio	X	Duct Multiplier	X	System Multiplier	X	Credit Multiplier	= Heating Points
				4054.7		0.583		1.090		1.000		0.950	2447.4
				4054.7		0.417		1.090		1.000		0.950	1751.3
1619.5		1.0900	1765.2	4054.7		1.00		1.090		1.000		0.950	4198.7

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 7, Sub: SEAWALL MDW, Plat: , , ,

PERMIT #:

BASE					AS-BUILT					
WATER HEATING										
Number of Bedrooms	X	Multiplier	=	Total	Tank Volume	EF	Number of Bedrooms	X	Tank X Ratio	Credit = Total Multiplier
4		2370.00		9480.0	65.0	0.88	4		1.00	2369.00
					As-Built Total:					9476.0

CODE COMPLIANCE STATUS									
BASE					AS-BUILT				
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	Cooling Points	+	Heating Points
26150.5		1765.2		9480.0		37395.7	23511.1		4198.7
							9476.0		37185.8

PASS

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 7, Sub: SEAWALL MDW, Plat: , , ,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq. ft. window area; .5 cfm/sq. ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 81.8

The higher the score, the more efficient the home.

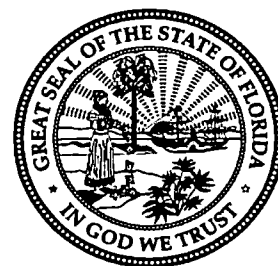
FOGLIA LOT 7 SEAWALL'S MEADOWS, Lot: 7, Sub: SEAWALL MDW, Plat: , , ,

1. New construction or existing	New	___	12. Cooling systems	
2. Single family or multi-family	Single family	___	a. Central Unit	Cap: 46000.0 kBtu/hr ___
3. Number of units, if multi-family	1	___		SEER: 11.00 ___
4. Number of Bedrooms	4	___	b. Central Unit	Cap: 23200.0 kBtu/hr ___
5. Is this a worst case?	Yes	___		SEER: 11.00 ___
6. Conditioned floor area (ft ²)	2515 ft ²	___	c. N/A	___
7. Glass area & type		___		___
a. Clear - single pane	506.1 ft ²	___	13. Heating systems	
b. Clear - double pane	0.0 ft ²	___	a. Electric Strip	Cap: 33.4 kBtu/hr ___
c. Tint/other SC/SHGC - single pane	0.0 ft ²	___		COP: 1.00 ___
d. Tint/other SC/SHGC - double pane	0.0 ft ²	___	b. Electric Strip	Cap: 23.9 kBtu/hr ___
8. Floor types		___		COP: 1.00 ___
a. Slab-On-Grade Edge Insulation	R=0.0, 150.0(p) ft	___	c. N/A	___
b. Slab-On-Grade Edge Insulation	R=0.0, 83.0(p) ft	___		___
c. N/A		___	14. Hot water systems	
9. Wall types		___	a. Electric Resistance	Cap: 65.0 gallons ___
a. Concrete, Int Insul, Exterior	R=4.2, 1008.0 ft ²	___		EF: 0.88 ___
b. Concrete, Int Insul, Exterior	R=4.2, 622.0 ft ²	___	b. N/A	___
c. N/A		___		___
d. N/A		___	c. Conservation credits	___
e. N/A		___	(HR-Heat recovery, Solar	
10. Ceiling types		___	DHP-Dedicated heat pump)	
a. Under Attic	R=19.0, 1706.0 ft ²	___	15. HVAC credits	MZ-C, MZ-H ___
b. Under Attic	R=19.0, 809.0 ft ²	___	(CF-Ceiling fan, CV-Cross ventilation,	
c. N/A		___	HF-Whole house fan,	
11. Ducts		___	PT-Programmable Thermostat,	
a. Sup: Unc. Ret: Unc. AH: Garage	Sup. R=6.0, 75.0 ft	___	RB-Attic radiant barrier,	
b. Sup: Unc. Ret: Unc. AH: Garage	Sup. R=6.0, 75.0 ft	___	MZ-C-Multizone cooling,	
			MZ-H-Multizone heating)	

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStarTM designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 407/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

SOURCE: Air Conditioning and Refrigeration Institute (C) 1979 by
Prentice-Hall, Inc., Englewood Cliffs. N.J., Prepared by Douglas S.
Lindstrom (954) 420-5300, Master Mechanical Broward CMC-616, State of
Florida CAC056703.

(PRESCRIPTIONS)

GEOGRAPHICAL LOCATION: Florida Fort Lauderdale

North Latitude / Elevation	26 Deg. / 13 Ft. Above Sea Level
Outdoor Winter Dry Bulb	46 Deg. F
Indoor Winter Dry Bulb	70 Deg. F
Winter (Actual) Temp.Diff.	24 Deg. F
Winter Temp. Diff. (wTd)	25 Deg. F
Outdoor Summer Dry Bulb	91 Deg. F
Outdoor Summer Wet Bulb	78 Deg. F
Outdoor Summer Humidity Ratio	126
Indoor Summer Relative Humidity	50%
Indoor Summer Design Grains / Lb.	60
Indoor Summer Dry Bulb	78 Deg. F
Indoor Summer Wet Bulb	64.9 Deg. F @ 72 Gr/Lb
Summer Daily Range	15 Deg. F - L
Summer (Actual) Temp.Diff.	13 Deg. F
Summer (User Sel) Temp.Diff. (sTd)	15 Deg. F

	ZONE 1			ZONE 2			ZONE 3		
	AREA	HTM	BTU	AREA	HTM	BTU	AREA	HTM	BTU
GROSS WALL (R-)									
WINDOWS N									
AND GLASS NE & NW	56	50	2800	50	60	3000			
SLIDING E & W									
DOORS SE & SW	336	50	16800	76	70	5320			
(CLR)(TNT) S									
DOORS	62	10	620						
NET EXP.WALLS	1008	2.5	2520	622	2.5	1555			
CEILING (R-)	1706	1.5	2559	809	1.5	1213			
FLOORS	150	-	-	83	-	-			
PEOPLE & APPLIANCES (3600)			2052			1548			
SENSIBLE BTU SUBTOTAL			27351			12636			
DUCT GAIN			2735			1263			
TOTAL SENSIBLE			30086			13899			
LATENT 25%			7521			3474			

4 Ton

2 Ton

L I N D S T R O M A I R C O N D I T I O N I N G , I N C .

6601 LYONS ROAD, SUITE D-8, COCONUT CREEK, FL. 33073

NAME: Foglia Lot 7 Seawall's Meadows

ADDRESS:

CITY:

OWNER:

BUILDER:

METRO-DADE

METROPOLITAN DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDINGBUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908**PRODUCT CONTROL NOTICE OF ACCEPTANCE**Designer Windows of Palm Beaches
6451 E. Rogers Cir.
Boca Raton FL 33487PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

Your application for Product Approval of:

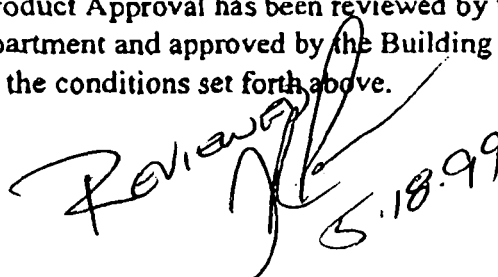
*72" x 72" Rectangular Aluminum Fixed Window*under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: *Applicant, along with Drawing No. W97-001, Sheet 1 of 1.*

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 97-0723.04Expires: 04/09/01
Raul Rodriguez
Product Control Supervisor**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS****BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.


Reviewed
5.18.99
Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade CountyApproved: 04/09/98

-1-





METROPOLITAN DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Binnings Pan American
2805 N.E. 185 St.
Miami FL 33163

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

Your application for Product Approval of:

Series PA-14 Aluminum Single Hung Window

under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: *Applicant, along with Drawing No. PA-14DC-01, Sheets 1 thru 8 of 8.*

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 97-1027.09 (Revises No.: 96-0220.01)

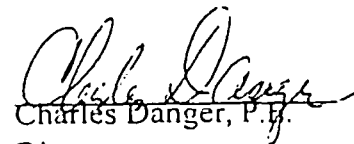
Expires: 07/09/01


Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.


Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 07/09/98

- 1 -





MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Binnings Pan American

2805 N.E. 185 St.

Miami

FL 33163

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

Series PA-9, Models A, B, and C Aluminum Sliding Glass Door

under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by:

Applicant, along with Drawing No. PA-09-DC, Sheets 1 thru 6 of 6. (This NOA renews NOA No. 95-0831.01.)

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any amendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-1110.06

Expires: 11/16/01

Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 12/03/98



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

DAB Door Company, Inc.
12195 NW 98th Avenue
Hialeah Gardens FL 33016

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

Sectional Residential Garage Door

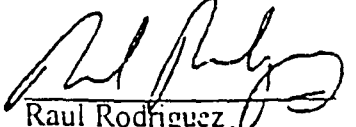
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted b

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-0901.10 (Revises No.: 98-0409.03)

Expires: 08/14/01


Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.


Charles Danger, P.E.
Director
Building Code Compliance Department
Metropolitan Dade County

Approved: 10/22/98



BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WES. FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33136-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

DAB Door Company, Inc.
12195 NW 98th Avenue
Hialeah Gardens FL 33016

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

Your application for Product Approval of:

24 ga. Raised Panel Embossed Garage Door

under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: *applicant along with Dab Doors Inc. drawing No. 98-12, issued on 04/03/98, revised on 07/25/98, with Miami- Dade County Product Control Approval Stamp.*

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any amendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-0506.07

Expires: 10/01/01

Raul Rodriguez
Product Control Supervisor

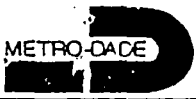
THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 10/01/98



BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Polyfoam Products, Inc.
2400 Spring-Stuebner Road
Spring, TX. 77383

Your application for Product Approval of:

Polyfoam Products "Polvpro AH-160" Roof Tile Adhesive

under Chapter 8 of the Miami-Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by:

The Center for Applied Engineering, Inc. and Miles Laboratories Polymers Division

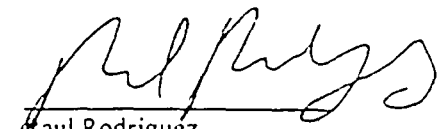
has been recommended for acceptance by the Building Code Compliance Office to be used in Dade County, Florida under the specific conditions set forth on pages 2-14 and the standard conditions on page 15.

This approval shall not be valid after the expiration date stated below. The Building Code Compliance Office reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

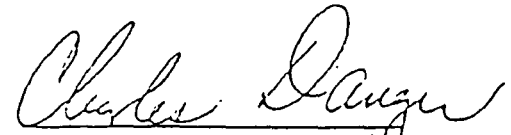
ACCEPTANCE NO.: 98-0303.02
EXPIRES: 04/16/01

Renews: 96-0402.02


Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Miami-Dade County Building Code Compliance Office and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.


Charles Danger, P.E.
Director
Building Code Compliance Dept.
Miami-Dade County

APPROVED: 04/16/98

1





MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Madden Manufacturing

1889 NW 22nd Street
Pompano Beach FL 33069

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

20 Ga. Galvanized Steel Storm Panel Shutter

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-1110.05

Expires: 05/01/2003

Raul Rodriguez
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS**

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director

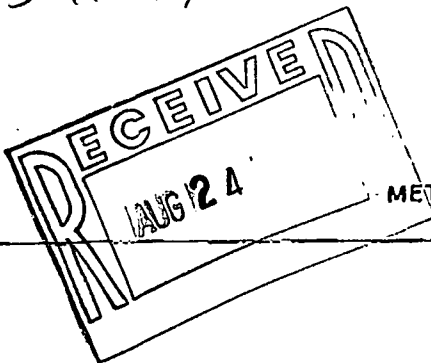
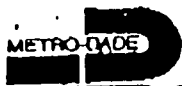
Miami-Dade County
Building Code Compliance Office

Approved: 06/16/1999

1 of 3



LOT 7 103 HENRY SEWARD WAY



METROPOLITAN DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1583
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

General Products, Co., Inc.
P.O. Box 7387
Fredericksburg VA 22408

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

Your application for Product Approval of:

Benchmark Double Outswing Res. Ins. Steel Door

under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: *Applicant.*

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

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Acceptance No.: 98-0901.15

Expires: 08/31/99

Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

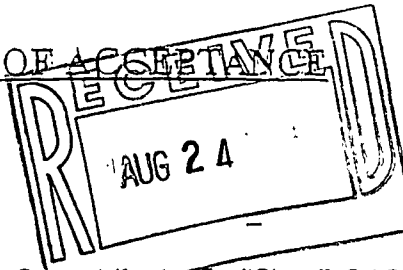
Approved: 10/01/98

-1-



LOT 7

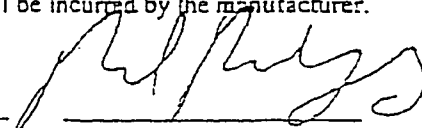
103 HENRY SEWALL WAY

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908**PRODUCT CONTROL NOTICE OF ACCEPTANCE**Entegra Roof Tile Corporation
1201 Northwest 18th Street
Pompano Beach, FL 33069PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

Your application for Product Approval of:

Entegra Roof Tile Mechanically Attached, Mortar Set or Adhesive Set "Skandia" Roofing Tile
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by:
Redland Technologies, The Center for Applied Engineering, Inc., and Professional Service Industries, Inc.
has been recommended for acceptance by the Building Code Compliance Department to be used in Dade County, Florida under the specific conditions set forth on pages 2 through 17 and the standard conditions set forth on page 18.

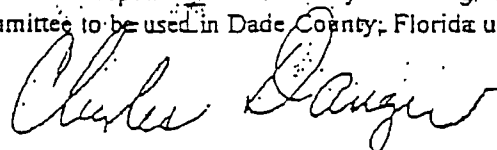
The approval shall not be valid after the expiration date stated below. The Building Code Compliance Office reserves the right to secure this product or material at any time for a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any amendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 96-0221.02Renews No. 95-0630.05Expires: 12/16/00

Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS

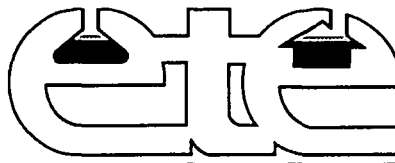
BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.



Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 12/16/97



PERMIT # 4658

EASTCOAST TESTING & ENGINEERING, INC.

4100 North Powerline Rd. - Suite G-1

Pompano Beach, Florida 33073

Broward (954) 972-7645 (SOIL) - Dade (305) 947-4768

4361 Okeechobee Blvd. - Suite A-5

West Palm Beach, Florida 33409

(800) 329-7645 (SOIL) - (561) 471-8220

Facsimile No (954) 971-8872

**ESTABLISHED 1981
FIELD DENSITY TEST**

LABORATORY NUMBER: 994592

CLIENT FAX NUMBER:

CLIENT:

PROJECT:

CONTRACTOR:

SOIL DESCRIPTION:

FOGLIA

★ 109 HENRY SEWALL WAY STUART LOT 6

FOGLIA

DARK BROWN FINE MEDIUM GRAINED SAND TRACE SILT & ORGANICS

PERFORMED BY:

REPORTED TO:

C.SMITH

2 - CLIENT

CUSTOMER #:

PO NUMBER:

ON: 10-6-99

ON: 10-11-99

PROCTOR VALUE: PCF:	106.7	OPTIMUM MOISTURE %	13.2	LAB #	994592
PROCTOR VALUE #2 - PCF:		OPTIMUM MOISTURE %		LAB #	

RESULTS OF TESTS:

TEST #	LIFT #	TEST LOCATIONS	PROBE INCHES	MOISTURE PERCENT	DRY DENSITY PCF	% FIELD COMPACTION	PERCENT REQUIRED
1	FINAL D	CENTER OF PROPOSED GARAGE	12	11.1	104.6	98.0	95
2	FINAL D	NE CORNER OF PAD	12	12.6	105.2	98.6	95
3	FINAL D	CENTER OF PAD	12	13.3	105.1	98.5	95
4	FINAL D	SW CORNER OF PAD	12	13.1	104.8	98.2	95
5						0.0	
6						0.0	
7						0.0	
8						0.0	
9						0.0	
10						0.0	
11						0.0	
12						0.0	
13						0.0	
14						0.0	
15						0.0	

CONCLUSION: THE ABOVE TEST RESULTS DO COMPLY WITH PROJECT SPECIFICATIONS UNLESS NOTED *

A: BACKFILL

B: SUBGRADE

C: BASE COURSE

D: PAD FILL

E: OTHER

NOTE: STANDARDS FOR METHOD OF TEST: ASTM D2922

TEST RESULTS INDICATE THE TOTAL DEPTH BELOW EXISTING

GRADE AT PROBE DEPTH ONLY AND DO REFLECT THE SOILS

BEARING CAPACITY FOR FOUNDATION DESIGN/CERTIFICATION

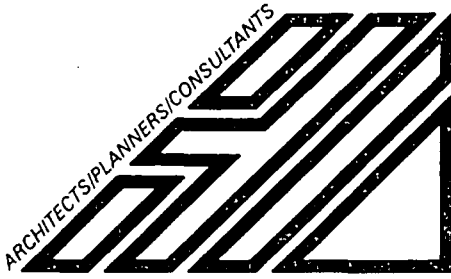
AS STANDARD PENETRATION TEST BORINGS WOULD DETERMINE.

RESPECTFULLY SUBMITTED,

EASTCOAST TESTING & ENGINEERING, INC.,

CRAIG S. SMITH, PRESIDENT

D MARK LEBLANC, V.P., P.E.
STATE OF FLORIDA #35683



HOMES BY ARCHITECNIC, INC.

MEMORANDUM

DATE October 4, 1999

TO Martin County Building Department

FROM T.Ray Patterson, Architect

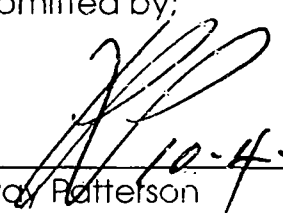
RE Foglia Custom Homes
Lot 6, Block —, Subdivision SEWALLS MEADOW
Address: 15 HENRY SEWALL WAY

SUBJECT: Slab Reinforcing

TOWN FILE
ROW
10/13/99
GA

Plases be advised that this office does not object to the substitution of the Fibermix Stealth Product for the 6 x6 10/10 W.W.F. as specified on the original construction documents.

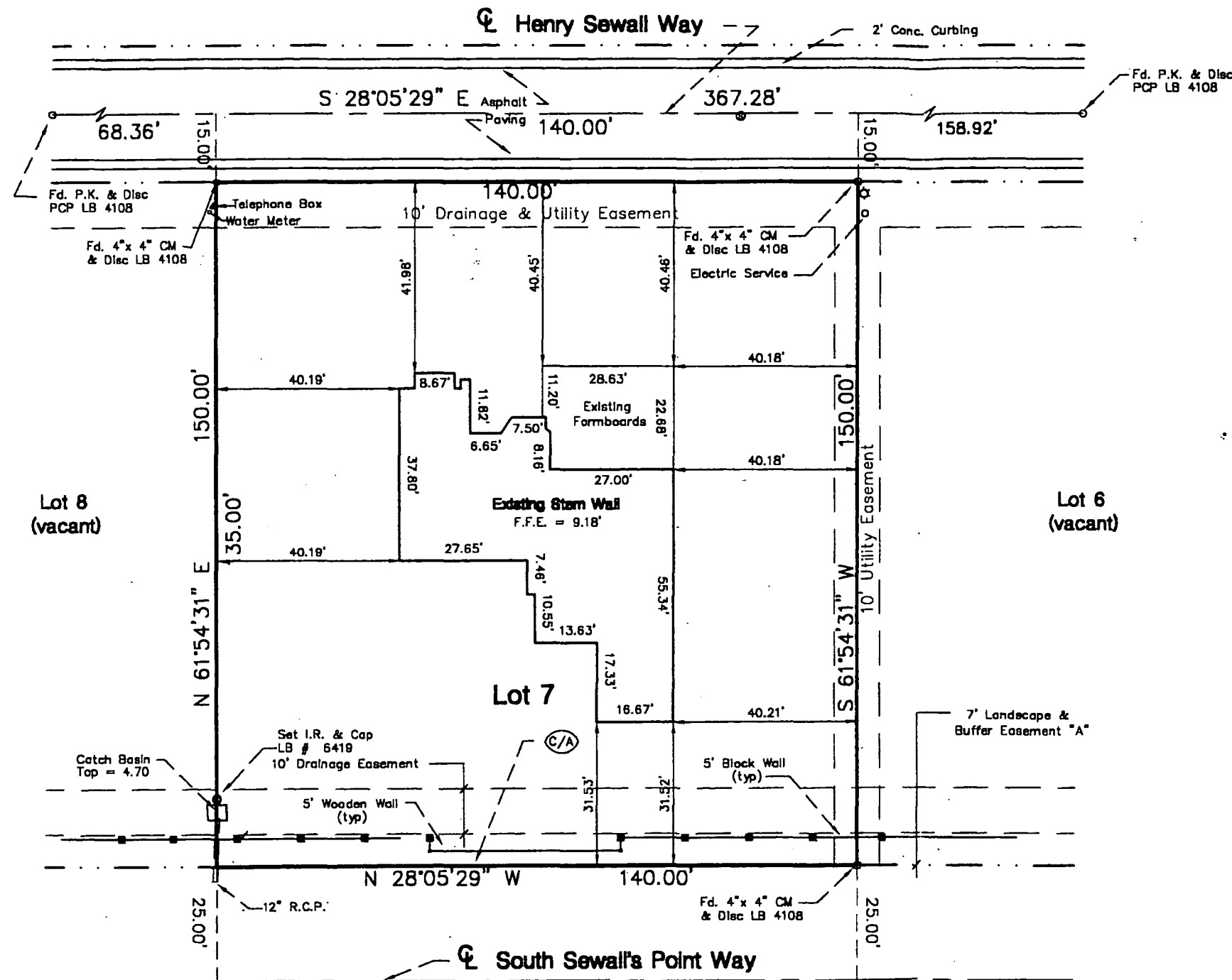
Submitted by:



T. Ray Patterson
Architect of Record

TRP/mjd/v98/10gla11.it

Boundary Survey For: Foglia Construction Co.



Legal Description

Being all of Lot 7 according to the Plat of SEWALL'S MEADOW as recorded in Plat Book 14, Page 32, public records of Martin County, Florida.

Legend

Fd. ——— Found	(M) ——— Measured Data
R/W ——— Right-of-way line	IR ——— Iron Rod
PCP ——— Permanent Control Point	(P) ——— Plat Data
CM ——— Concrete Monument	IP ——— Iron Pipe
PP ——— Power Pole	Conc. ——— Concrete
(C) ——— Calculated Data	O/H ——— Overhead Utilities
ORB ——— Official Records Book	Pg. ——— Page
ID ——— Identification Number	TT ——— Tin Tab
(R) ——— Radial	(C/A) ——— Control of Access

General Notes

- The bearings shown hereon are referenced to the Centerline of S.W. Henry Sewall Way according to Plat of SEWALL'S MEADOW.
- All above ground fixed improvements, if any, have been located and shown hereon.
- Underground utilities and utility services have not been located on this survey.
- Flood Note: By graphic plotting only, this property is in Zone "AB" (EL9), according to the Flood Insurance Rate Map, Community Panel No. 120164-0002 (effective date June 18, 1992). The exact designation can only be determined by an elevation certificate.

Certification

(Not valid unless sealed with an embossed Surveyor's seal)

I HEREBY CERTIFY to Foglia Construction Co., that the survey of the property shown hereon was completed under my direction on April 23, 1999, and that said survey is true and correct to the best of my knowledge and belief. There are no encroachments other than those shown hereon.

I FURTHER CERTIFY that this survey meets the Minimum Technical Standards as set forth by the Florida Board of Land Surveyors pursuant to Section 472.027, Florida State Statutes. No search of the public records has been made by this office. This survey is based on information furnished by the client or the client's representative.

10/7/99
Date of Signature

Richard W. Bussell
Professional Surveyor & Mapper
Florida Certificate No. 3858

REVISION: Added Under Construction Tie-in 10-6-99

PN 4658

Field Book RWB 99-F, Pg. 37
Field Book RWB 99-B, Pgs. 2/3



Richard W. Bussell, Inc.
Survey Sciences, Mapping & Consulting

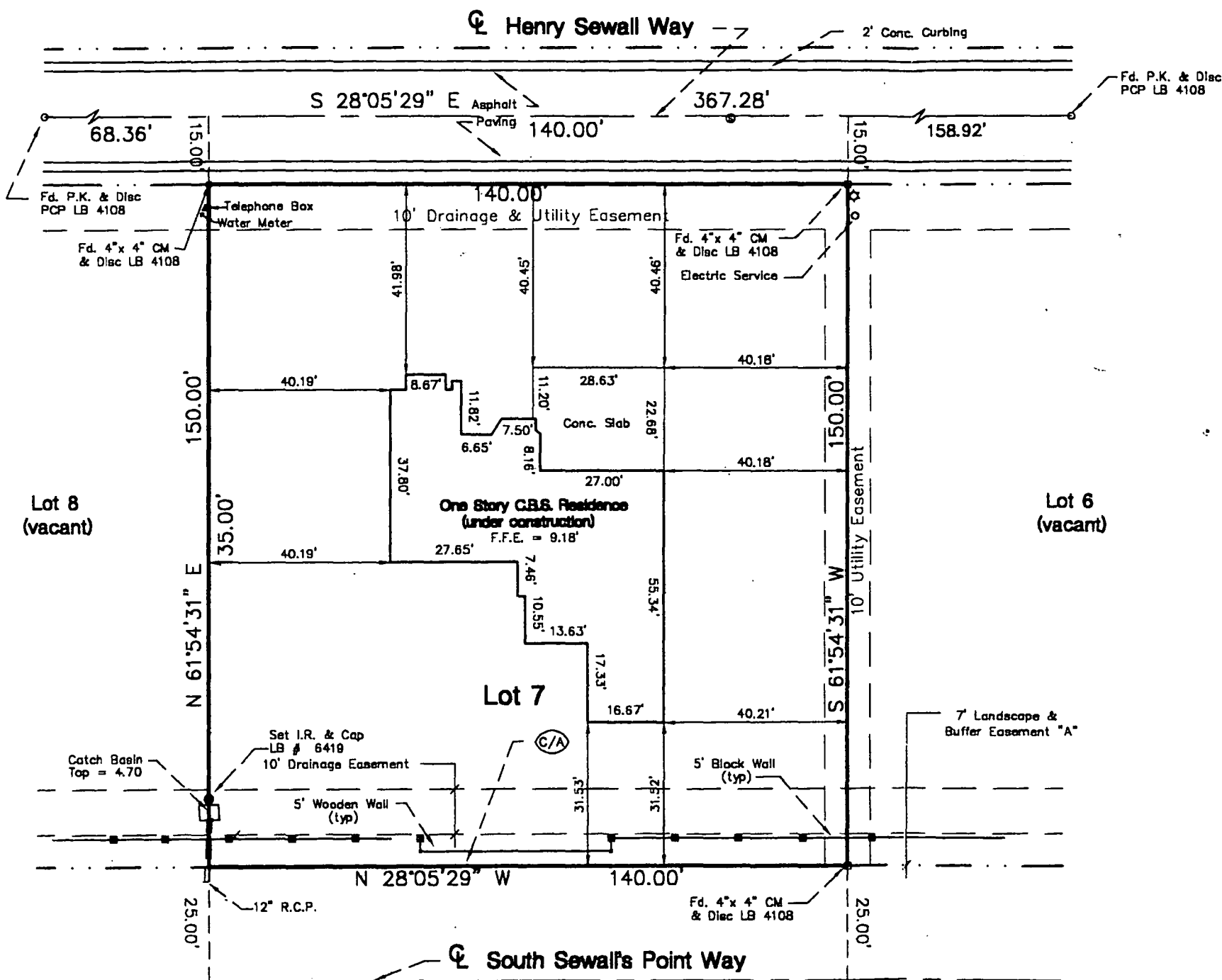
1220 S. Federal Highway, Suite 101
Stuart, Florida 34994
Phone (888) 220-3380 Fax (888) 220-2317

Boundary Survey For:
Foglia Construction Company
Town of Sewalls Point, Martin County, Florida

Scale:
1" = 30'
Date:
4-28-99
Drawn By:
rwb
Checked:
rwb

File & Drawing No.
89-2-1040-07-01
Sheet
1 of 1

Boundary Survey For:
Foglia Contracting Corp.



Legal Description

Being all of Lot 7 according to the Plat of SEWALL'S MEADOW as recorded in Plat Book 14, Page 32, public records of Martin County, Florida.

103 HENRY SEWALL WAY

Legend

Fd. ——— Found	(M) ——— Measured Data
R/W ——— Right-of-way line	IR ——— Iron Rod
PCP ——— Permanent Control Point	(P) ——— Plat Data
CM ——— Concrete Monument	IP ——— Iron Pipe
PP ——— Power Pole	Conc. ——— Concrete
(C) ——— Calculated Data	O/H ——— Overhead Utilities
ORB ——— Official Records Book	Pg. ——— Page
ID ——— Identification Number	TT ——— Tin Tab
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General Notes

1. The bearings shown hereon are referenced to the Centerline of S.W. Henry Sewall Way according to Plat of SEWALL'S MEADOW.
2. All above ground fixed improvements, if any, have been located and shown hereon.
3. Underground utilities and utility services have not been located on this survey.
4. Flood Note: By graphic plotting only, this property is in Zone "AB" (EL9), according to the Flood Insurance Rate Map, Community Panel No. 120184 0002 d, effective date June 16, 1992. The exact designation can only be determined by an elevation certificate.

Certification

(Not valid unless sealed with an embossed Surveyor's seal)

I HEREBY CERTIFY to Foglia Contracting Corp., a Florida corporation; McCarthy, Summers, Bobko, McKey, Wood & Sawyer, P.A.; Attorneys Title Insurance Fund, Inc.; and Fidelity Federal Savings Bank of Florida, that the survey of the property shown hereon was completed under my direction on April 11, 1999, and that said survey is true and correct to the best of my knowledge and belief. There are no encroachments other than those shown hereon.

I FURTHER CERTIFY that this survey meets the Minimum Technical Standards as set forth by the Florida Board of Land Surveyors pursuant to Section 472.027, Florida State Statutes. No search of the public records has been made by this office. This survey is based on information furnished by the client or the client's representative.

11/1/99
Date of Signature

Richard W. Buswell
Professional Surveyor & Mapper
Florida Certificate No. 3858

REVISION: Added Under Construction Tie-in 11-1-99
REVISION: Added Under Construction Tie-in 10-6-99

STATEMENT OF INSPECTION

TO: Building Official, Town of Sewall's Point
FROM: Architect or Engineer of Record
RE: Subject structure described as follows:

OWNER: FEGLIA CONT CORP ; **ADDRESS:** 7428 WILCOX RD.

PROJECT ADDRESS: 123 HENRY SEWALL WAY ; **LEGAL DESCRIPTION:** LOT 7 BLK — SUB SEWALL'S MEADOW

GENERAL CONTRACTOR: SAME AS OWNER ; **LIC/CERT No.** CBC 038434

ADDRESS: SAME ; **TEL** 954 755 8808 ; **FAX** 954 311 5720

ARCHITECT OR ENGINEER: HOMES BY ARCHITECTNIC ; **LIC/REG No.** —

ADDRESS: 7430 WILCOX RD. C.5 FL ; **TEL** 954 755-0690 ; **FAX** —

PERMIT No: #4658 ; **DATE OF ISSUE:** 7/99 ; **DATE OF THIS STATEMENT:** 3/28/00

In accordance with the requirements of Section 0307.2 of the South Florida Building Code, I hereby attest as follows:

- ☒ I am the Architect or Engineer who sealed and signed the plans for the subject structure, or
☐ I am the substitute Architect or Engineer, having been accepted by the Building Official, for the Architect or Engineer who sealed and signed the plans for the subject structure, or
☐ I am the threshold or special inspector used in accordance with this Code.
- To the best of my knowledge, belief and professional judgment, the structural and envelope components of the structure are in compliance with the approved plans and other approved permit documents.
- To the best of my knowledge, belief and professional judgment, the approved permit plans represent the as-built condition of the structural and envelope components of the structure.

Executed at JOB SITE, this 4th day of APR, 2000.

NAME: T. RAY PATTERSON. ; **SIGNATURE:** [Signature] ; **Lic. No:** FL#11617

STATE OF FLORIDA
COUNTY OF PALM BEACH

Sworn to and subscribed before me this 4th day of April, 2000, by T. Ray Patterson, who is personally known to me or who has produced _____ as identification and who did not take an oath.

(NOTARY SEAL)

Name Eunice G. Uberstine
Commission # CG 900842
I am a Notary Public of the State of Florida and
my commission expires Feb. 23, 2004 and
is bonded thru Atlantic Bonding Co., Inc.

ENERGY PERFORMANCE LEVEL DISCLOSURE

Seller hereby advises Buyer, as required by the rules of the Federal Trade Commission, that it has installed in the home the insulation disclosed below. The R-value and other information shown below is based solely on the information given by the appropriate manufacturer (based on the thickness listed) and Buyer agrees that Seller is not responsible for manufacturer's errors or omissions.

This energy performance display is in accordance with Section 553.9085 of the Florida statutes.

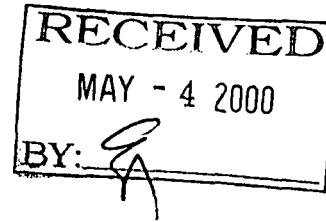
TYPE	MINIMUM THICKNESS	MINIMUM R-VALUE	LOCATION
<u>AL FOIL</u>	<u> </u>	<u>R-4.2</u>	<u>EXTERNAL WALLS</u>
<u>BATT</u>	<u>8"</u>	<u>R-19</u>	<u>CEILING</u>
<u>BLOWN</u>	<u>8"</u>	<u>R-19</u>	<u>CEILING</u>
<u>BATT</u>	<u>6"</u>	<u>R-11</u>	<u>CRAWL SPACE</u>

Property Address: 103 HENRY SEWALLS WAY
SEWALLS POINT, FL

FOGLIA CONTRACTING CORP
 Signed: [Signature]
 Lic. #: 00000000
 Date: 4/11/2000

Southern Irrigation, Inc.
5207 SW Moore Street
Palm City, FL 34990
561-288-1883
561-288-1894 fax

FILE



May 1, 2000

Mr. Edward Arnold:

Lot 7, ~~103 Henry Sewall Way~~ as per section 22-146 is installed as a low volume irrigation system with a rain sensor device.

Martin County Competency # SP00734

Thank you

Robin G. Henn

Robin G. Henn
Sec. / Tres.

SOUTHERN IRRIGATION, INC.
5207 S.W. Moore Street
Palm City, FL 34990
561-288-1883
561-288-1894

April 26, 2000

Town of Sewall's Point
One South Sewall's Point Road
Stuart, FL 34996
Attn: Edwin Arnold

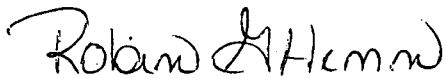
Mr. Arnold:

The lawn sprinkler system installed at ~~103~~ and 105 Henry Sewall Way is a low voltage system with a miniclik rain sensor. Installed is a Rainbird ESP timer, 1" electric valves, AVB vacuum breaker, isolation valve in valve box and miniclik rain sensor.

Martin County Competency # SP00734

If you have any questions, please feel free to contact our office.

Sincerely,

A handwritten signature in cursive script that reads "Robin G. Henn".

Robin G. Henn
Secretary

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA
COUNTY OF MARTIN

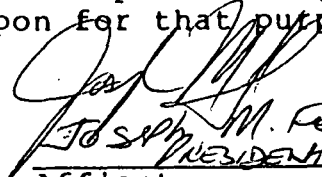
BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 181,050.

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.


JOSEPH M. FOGLIA
PRESIDENT FOGLIA CONT. CORP.
Affiant
Property street address: LOT 7
103 HENRY SEWALL WAY
SEWALL'S POINT STUART

Sworn to and subscribed
before me this 28 day of
March, 2000


Eunice G. Oberstine
Notary Public Commission # CC 900842
Expires Feb. 23, 2004
STATE OF FLORIDA
My Commission Expires Feb 23, 2004
Bonded with ABC Bonding Co., Inc.

(NOTARY SEAL)

Martin County Health Department
620 South Dixie Highway
Stuart FL 34994

TELEPHONE : 561-221-4090
Fax: 561-221-4967

This transmission may contain material that is CONFIDENTIAL under federal and Florida Statutes and is intended to be delivered to only the named addressee. Unauthorized use of this information may be a violation of criminal statutes. If this information is received by anyone other than the named addressee, the recipient shall immediately notify the sender at the address or telephone number above and obtain instruction as to the disposal thereof. Under no circumstances shall this material be shared, maintained, or copied by anyone other than the named individual.

DATE: 9.12.00

NUMBER OF PAGES: 1
(Including cover sheet)

TO: BUILDING DEPARTMENT -- C.O.

FROM: Janet

SUBJECT: FINAL APPROVAL FOR SEPTICS SYSTEMS

HEALTH DEPT PERMIT

BUILDING DEPT PERMIT

LOCATION

43.55.1331

4658

103 Henry Jewell



FILE

ROBERT M. WIENKE
Mayor

MARC S. TEPLITZ
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

THOMAS P. BAUSCH
Commissioner

E. DANIEL MORRIS
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCarthy
Chief of Police

EDWIN B. ARNOLD
Building Official

JOSE TORRES, JR.
Maintenance

COPY

CERTIFICATE OF OCCUPANCY

☒ Single Family Residence

☐ Other _____

OWNER: FOGLIA CONST. CORP. ; PROPERTY ADDRESS: 103 HENRY SEWALL WAY

LEGAL DESCRIPTION: LOT 7 BLOCK _____ SUBDIVISION SEWALL'S MEADOW

GENERAL CONTRACTOR: FOGLIA CONST. CORP. ; Lic/CERT No. CGC 038434

ADDRESS: 7428 WILES RD., CORAL SPRINGS, FL. ; TEL 954-755-8808 ; FAX 341-5120

ARCHITECT OR ENGINEER: HOMES BY ARCHITECTURE ; Lic/REG. No. 11617

ADDRESS: 7430 WILES RD., CORAL SPRINGS, FL ; TEL 954-755-0690 ; FAX _____

PERMIT NO: 4658 ; DATE OF ISSUE: 8/12/99 ; RENEWAL PERMIT NO: N/A ; DATE OF ISSUE: _____

In accordance with the requirements of the South Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 10TH day of MAY, 2000.

Edwin B. Arnold, AIA, CBO
Building Official, Town of Sewall's Point

cc: TOWN CLERK
CHIEF OF POLICE
BLDG. FILE

PREDICTABILITY + ACCOUNTABILITY = COMPLIANCE



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

11SP.
SCHEDULED
4/19/00

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One South Sewall's Point Road
Sewall's Point, Florida 34996
Tel: (561) 287-2455
Fax: (561) 220-4765

RECEIVED
APR 14 2000
BY: <i>[Signature]</i>

FILE

TEMPORARY ELECTRIC HOOK-UP AGREEMENT: PN 4658

OWNER: FOGUA CONTRACTING ; ADDRESS: 7428 WILLES RD, CORAL SPRINGS
33067
PROJECT ADDRESS: 103 HENRY SEWALL WAY ; LEGAL: LOT 7 BLK - SUB SEWALLS MEADOW

GENERAL CONTRACTOR: FOGUA CONTRACTING CORP ; LIC/CERT NO: CGC 038434
954 954
ADDRESS: 7428 WILLES RD, CORAL SPRINGS ; TEL 755-8808 ; FAX 341-5120

ELECTRICAL CONTRACTOR: TAURUS ELECTRIC ; LIC/CERT NO. EC0001888
561 561
ADDRESS: 12924 S.E. SUZANNE DR, HOBESOUND ; TEL 545-3338 ; FAX 545-9336
33455

WHEREAS, pursuant to the provisions of, and governed by, Sections 0307.6 and 4504.6 of the South Florida Building Code as adopted in Section 4-16 of the Codes and Ordinances of the Town of Sewall's Point, temporary electrical service for use during building operations and for testing purposes under a valid building permit is authorized under prescribed terms and conditions; and,

WHEREAS, the above named responsible persons, firms or corporations have requested a temporary electrical hook-up of IRRIGATION SYSTEM for the purpose of WATERING LANDSCAPING AND SOD at the above designated construction now in progress under a valid building permit; and

WHEREAS, it is necessary to have a temporary electric hook-up for testing of equipment and completion of building operations as herein above described.

NOW THEREFORE IT IS AGREED BY AND BETWEEN THE PARTIES THAT;

1. The parties to this agreement are Edwin B. Arnold, Building Official, Town of Sewall's Point, and the above named responsible persons, firms or corporations.
2. In order to allow electrical service to be provided to certain equipment being placed at the referenced construction address the Building Official hereby agrees to grant a temporary hook-up permit.
3. This temporary hook-up permit shall be effective for 30 calendar days from the date of this agreement, after which time the temporary hook-up will be revoked or a Certificate of Occupancy will be issued to verify completion.

4. This temporary electric hook-up is solely for the purposes stated. No furniture or occupants will be moved into the building until a Certificate of Occupancy is issued.

IN WITNESS WHEREOF the parties have caused this agreement to be executed this 19 day of APRIL, 2000.

SIGNATURE OF GENERAL CONTRACTOR

SIGNATURE OF ELECTRICAL CONTRACTOR

SIGNATURE OF OWNER

EDWIN B. ARNOLD, BUILDING OFFICIAL

PREDICTABILITY + ACCOUNTABILITY = COMPLIANCE

FPL METER RELEASE
4/19/00 1:30 PM ("AL")

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☐ Mon ☒ Wed ☐ Fri 4-19, 2000;

Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4613	Subin	temp. power	Passed	LTR. AGMT ON FILE.
(11)	8 Palm	A/C ONLY	Bg	4/19 1:30 FPL Power Release
	MORRIS (DRIPTWOOD)			"AL"
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4657	FOGUA	FINAL SHUTTER	Passed	Bahama shutter Removed
(7)	105 HENRY SEWALL	C.G.	BG-	USING Corroded Panel
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4658	FOGUA	TEMP. ELECT	Passed	4/19 1:30 FPL Power Release
(6)	103 HENRY SEWALL	(IRRIGATION)	Bg	"AL"
		(REINSPECT - FEE IF FAIL)		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4803	FOGUA	ROOF SHEATHING	Passed	
(5)	101 HENRY SEWALL		Bg	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4627	FOGUA	POOL DECK	Passed	
(8)	106 HENRY SEWALL	DRIVEWAY	Bg	(POOL PN 4780 - STARLITE)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4893	Madden	fence	Passed	
(4)	160 S. River Rd.	final	BG.	
	FENCECRAFTERS			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4673	FOGUA	POOL DECK	Passed	
(9)	110 HENRY SEWALL WAY	D/W	Bg	
	(POOL PN 4781 - STARLITE)			

OTHER: _____

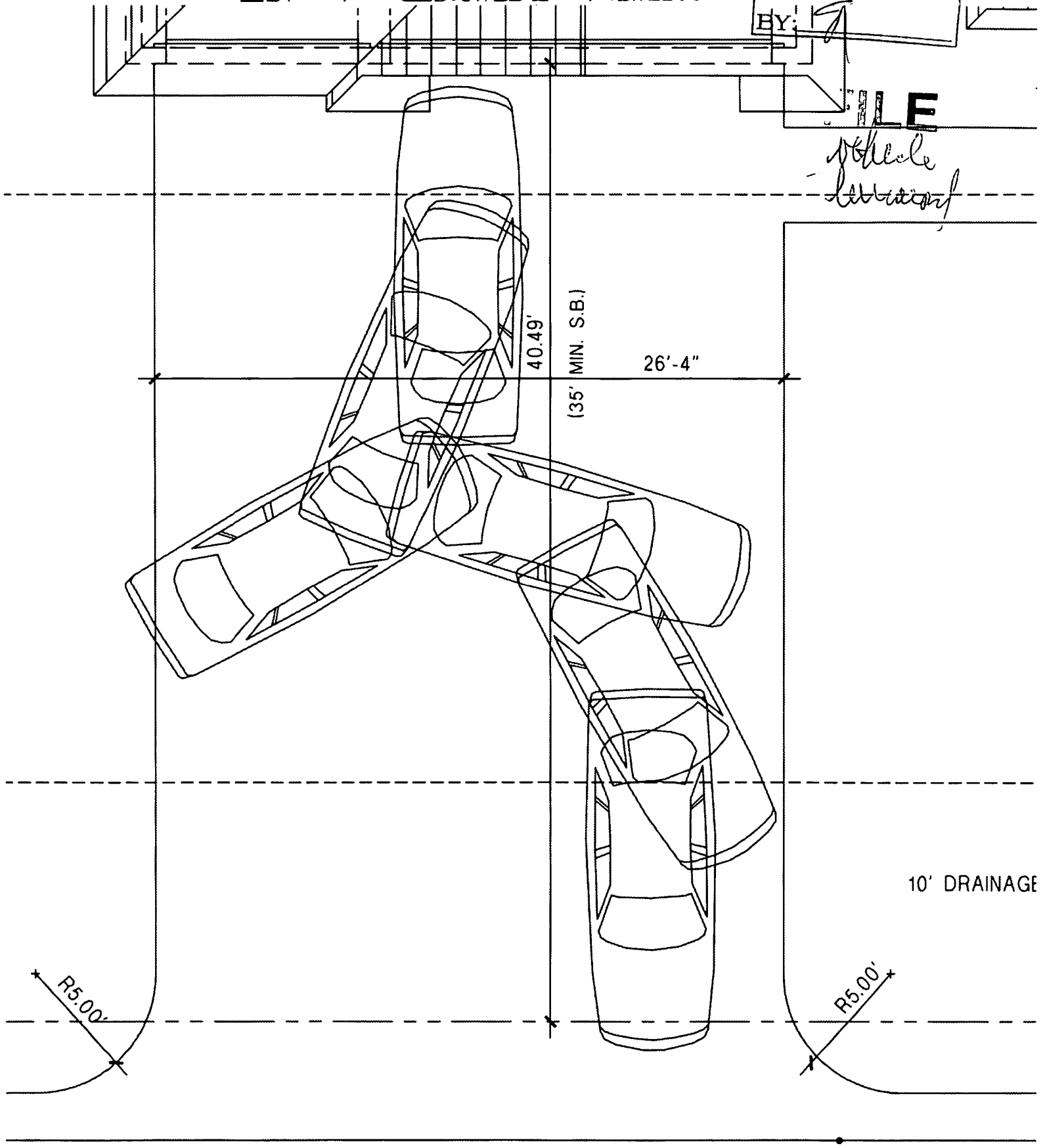
INSPECTOR (Name/Signature): _____

103 HENRY SEWALL WAY

LOT 7 SEWALL'S MEADOW

RECEIVED
MAR 21 2000
BY: [Signature]

FILE
Vehicle
-
Location





FOGLIA

C U S T O M
H O M E S

FILE

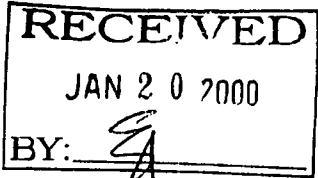
January 11, 2000

TO: Sewall's Point Building Dept.
Sewall's Point, FL

RE: Change of Contractor
Lots 11 & 13 at Sewall's Meadow

Dear Sirs:

~~NO HENRY SEWALL WAY~~



Please be advised that there is a change in "Electrical" contractor on the above referenced single family home projects. "Taurus Electric" the current permit holder is being replaced by "Diamond Electrical Services". All paperwork has been supplied to the Building Dept. This letter is intended to serve as official notice of this change.

Signed: _____

Joseph J. Foglia
CGCA012495

JJF/egu

FOGLIA
CONTRACTING
CORP.

General Contracting
State Lic. #CGC-038434

7428 Wiles Road
Coral Springs,
Florida 33067
(954) 755-8808

FOGLIACUSTOM HOMES
103 HENRY SEWALLS WAY
LOT 7

BUILDING CODE COMPLIANCE OFFICE
 METRO-DADE FLAGLER BUILDING
 10 WEST FLAGLER STREET, SUITE 1603
 MIAMI, FLORIDA 33130-1563
 (305) 375-2907
 FAX (305) 375-2908

FILE

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Enegra Roof Tile Corporation
 1201 Northwest 18th Street
 Pompano Beach, FL 33069

TOWN COPY

12/16/97

PRODUCT CONTROL DIVISION
 (305) 375-2902
 FAX (305) 372-6339
 DEC 29

Your application for Product Approval of:

Enegra Roof Tile Mechanically Attached, Mortar Set or Adhesive Set "Skandia" Roofing Tile

under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: Redland Technologies, The Center for Applied Engineering, Inc., and Professional Service Industries, Inc. has been recommended for acceptance by the Building Code Compliance Department to be used in Dade County, Florida under the specific conditions set forth on pages 2 through 17 and the standard conditions set forth on page 18.

The approval shall not be valid after the expiration date stated below. The Building Code Compliance Office reserves the right to secure this product or material at any time for a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any amendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 96-0221.02

Renews No. 95-0630.05

Expires: 12/16/00

Raul Rodriguez
 Raul Rodriguez
 Product Control Supervisor

THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

Charles Danger

Charles Danger, P.E.
 Director
 Building Code Compliance Dept.
 Metropolitan Dade County

Approved: 12/16/97



4658



Martin County Health Department

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

APPLICANT: Foglia Contracting SEPTIC TANK PERMIT NO.: 43-SS-1331
LEGAL DESCRIPTION: Lot 7 Sewall's Meadow

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Department prior to the first plumbing inspection by the Building Department. Approval of this stubout elevation certification constitutes commencement of building construction for septic system permits.

- ☒ 1. Building Permit Number: _____ (Certification not required for this item).
- ____ 2. I certify that the elevation of the top of the lowest plumbing stubout is _____ inches (circle one) above / below benchmark elevation as indicated on septic tank permit.
- ☒ 3. I certify that the top of the lowest building plumbing stubout is _____ inches (circle one) above / below crown of road elevation shown on septic tank permit.
- ____ 4. I certify that the top of the drainfield pipe elevation is _____ inches (circle one) above / below _____ BM / CR.
- ☒ 5. I certify that all moderate and or severely limited soils have been removed from an area of _____ feet by _____ feet a minimum depth of _____. Surveyor must submit 2 plot plans to scale of excavated area. (See diagram ☒ A / _____ B on reverse side) Date Observed: ____/____/____
- ____ 6. I certify that all moderately and or severely limited soils have been removed in an area _____ feet wide or 33% of the area of the drainfield. This area is centered in the drainfield and extends to a depth of _____ feet where slightly limited soils exist. Surveyor must submit 2 plot plans to scale of excavated area. (See diagram B on reverse side) Date Observed: ____/____/____

- NOTE:
- a. Severely limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
 - b. Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are not removed.
 - c. Condition numbers 5 and 6 may be satisfied with excavation certification from the certified septic installer responsible for drainfield installation.

CERTIFIED BY: _____

As applicant or applicant's representative,
I understand the above requirements.

Date: _____ Job Number: _____

[Signature]
(Signature)

FOR MARTIN COUNTY HEALTH DEPARTMENT USE ONLY

Martin County Health Department Approval Signature

(Date)

Stubcert.doc forms disk I Revised 12/17/98

DIAGRAM "A"

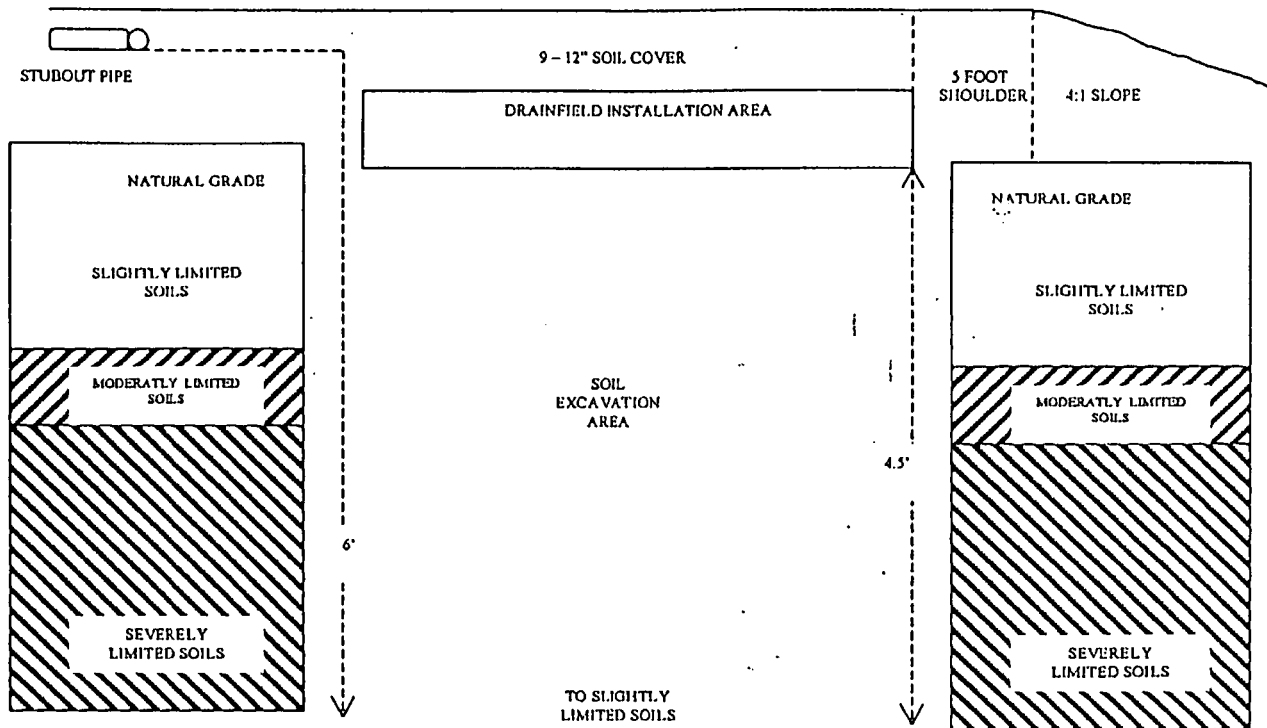
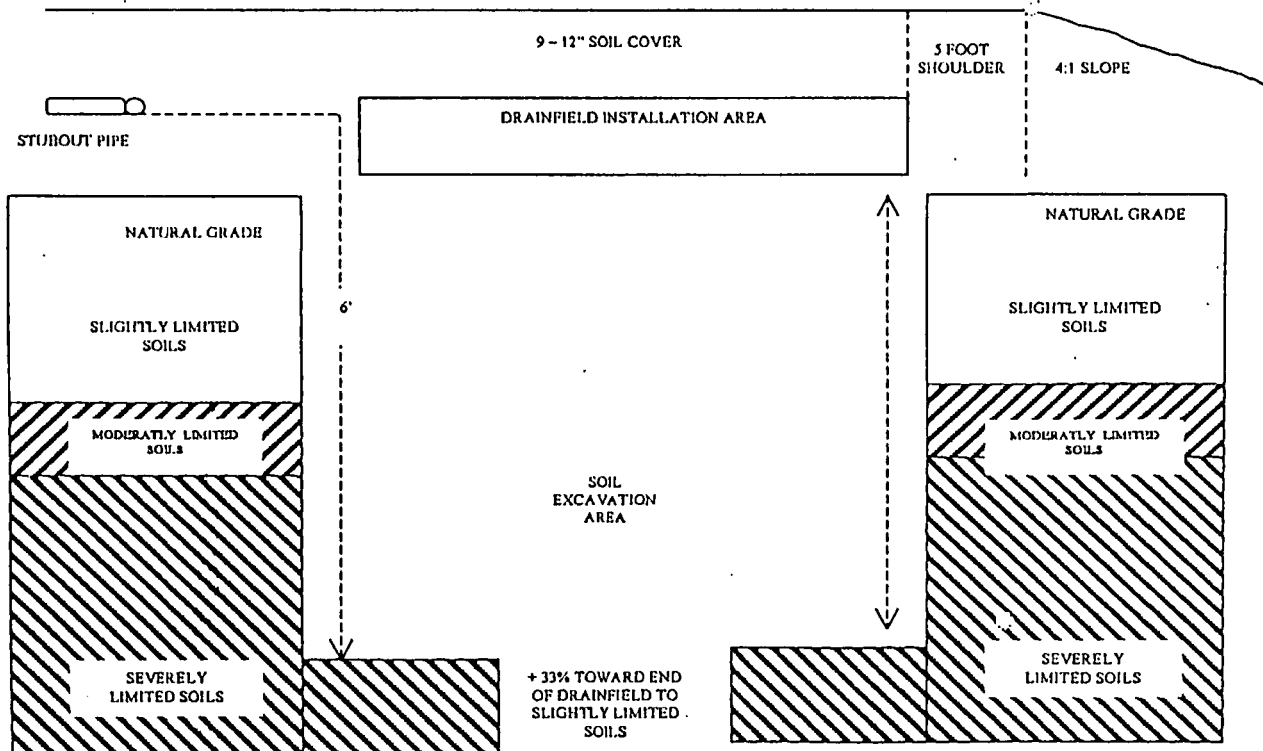


DIAGRAM "B"





STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

Re
CENTRAX #: **43-SS-01331**
DATE PAID: _____
FEE PAID: _____

CONSTRUCTION PERMIT FOR:

[☒] New System [] Existing System [] Holding Tank [] Innovative Other
[] Repair [] Abandonment [] Temporary [] _____

APPLICANT: **FOGLIA CONTRACTING LOT 7** AGENT: **95-0, PROPERTY OWNER**

PROPERTY STREET ADDRESS: **103 HENRY SEWALL Wy STUART FL 34994**

LOT: **7** BLOCK: _____ SUBDIVISION: **SEWALL'S MEADOW**
[Section/Township/Range/Parcel No.]
PROPERTY ID #: **---** [OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 64E-6, FAC
DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC TIME
PERIOD. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT,
REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS
PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM
COMPLIANCE WITH OTHER FEDERAL, STATE OR LOCAL PERMITTING REQUIRED FOR PROPERTY DEVELOPMENT.

SYSTEM DESIGN AND SPECIFICATIONS

T [**1050**] Gallons **SEPTIC TANK** MULTI-CHAMBERED/IN SERIES: [**Y**]
A [**0**] Gallons MULTI-CHAMBERED/IN SERIES: [**N**]
N [**0**] GALLONS GREASE INTERCEPTOR CAPACITY
K [**0**] GALLONS DOSING TANK CAPACITY [**0**] GALLONS @ [**0**] DOSES PER 24 HRS # PUMPS [**0**]

D [**444**] SQUARE FEET PRIMARY DRAINFIELD SYSTEM *Trenches, or*
R [**571**] SQUARE FEET *Bed* SYSTEM
A TYPE SYSTEM: [**N**] STANDARD [**Y**] FILLED [**N**] MOUND [**N**]
I CONFIGURATION: [**Y**] TRENCH *or* [**Y**] BED [**N**]
N
F LOCATION TO BENCHMARK: **Crown of Road 6.78'**
I ELEVATION OF PROPOSED SYSTEM SITE [**10.6**] [**INCHES**] [**BELOW**] BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [**16.6**] [**INCHES**] [**BELOW**] BENCHMARK/REFERENCE POINT
L
D FILL REQUIRED: [**15.0**] INCHES EXCAVATION REQUIRED: [**30.0**] INCHES

OTHER REMARKS:

The top of the stubout pipe to be a minimum elv. of 4" ABOVE CR 6.78'. The top of the drainfield pipe to be a minimum elv. of 6" BELOW CR 6.78'. The top of the septic tank to be a minimum elv. of 8" ABOVE CR 6.78'. The drainfield aggregate must be at least 11 feet from the property line(s). Install an approved outlet filter device in the septic tank. Do not exceed 18" of cover on the top of the drainfield. "See the attached special conditions list." "Fill Required" as noted above must be slightly limited quality in the available area five feet beyond the drainfield location. Soil replacement required - See attached sheet.

SPECIFICATIONS BY: **Edgardo Morales**

TITLE: _____

APPROVED BY: **Cross, Ray**

TITLE: **Env. Supervisor II** CHD

DATE ISSUED: **6/15/99**

EXPIRATION DATE: **12/15/00**

DH 4016, 03/97 (Obsoletes previous editions which may not be used)
(Stock Number: 5744-001-4016-0) (ostds_cons_4016-1)



Martin County Health Department

SEPTIC TANK SYSTEM SPECIAL CONDITIONS LIST

APPLICATION NAME: Foglia Contracting PERMIT NO.: 43-SS-1331
SUBDIVISION: Lot 70 Sewall's Meadow

NOTE Special Condition(s) marked "X" are in effect.

- ☒ 1. Drainfield must be maintained under grass; ___ and protected from vehicular traffic (i.e., traffic barriers).
- ☐ 2. Operational test of dosing pump(s) and high water alarm (audible and visual) required prior to final construction approval.
- ☒ 3. Driveway / sidewalk elevation must be 9" higher than drainfield pipe elevation if they are within 11 feet of each-other.
- ☒ 4. Septic system must be 75' from surface water / wetlands / mean high water line.
- ☒ 5. Excavate one foot beyond drainfield area to a depth of 30 INCHES Below Grade.
- ☐ 6. In addition to item #5, 33% of unsuitable soils at depths greater than _____ must be removed to a depth of slightly limited soils.
- ☐ 7. If excavation is not required below the drainfield, the organic vegetation layer at the existing grade must be removed and slightly limited fill placed between the existing grade and the bottom of the drainfield.
- ☐ 8. Septic tank abandonment notices from the Septic Tank Contractor must be received by this office prior to final construction approval.
- ☐ 9. The attached well abandonment form must be completed by a certified well driller and submitted to this office prior to the initial building construction or system inspection.
- ☒ 10. The ^{septic} mound area must be sodded prior to the request for final grade inspection.
- ☒ 11. Any future ponds or surface water created onsite must be greater than 75' from septic system(s).
- ☒ 12. The available area for septic installation must to be evenly filled and leveled.
- ☐ 13. \$ _____ re-inspection fee is required if the well is not installed at time of initial onsite sewage disposal system inspection.

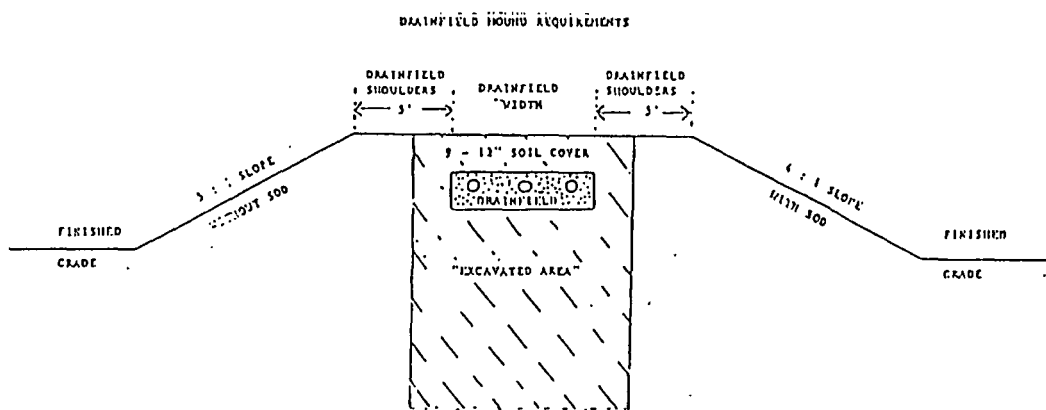
☒ SEE REVERSE SIDE FOR ADDITIONAL REQUIREMENTS. Page 1 of 3

SPECIAL CONDITION REQUIREMENTS (Page 2 of 3) Revised 11/18/98

- ☒ 14. Septic system must be a minimum of 10 feet from drainage culverts or storm water drains and a 15 feet minimum from dry retention, dry detention or dry drainage ditches.
- ☐ 15. Occupational approval will not be given until all requirements for public water system/ food-service/ institutional/ septic system are met. _____
- ☐ 16. Septic tank/ dosing chamber/ grease trap must have (traffic lids with) manhole cover (s) per tank extending to the surface.
- ☐ 17. _____ to be dosed two / six times in a twenty-four hour period is required. A high water alarm that gives audible and visual signals is required. If two drainfields are used, each field must be connected to an individual pump and alternately dose.
- ☐ 18. Two pumps are required to alternately dose into two separate fields. Separate drainfields must be a minimum of 10 feet apart.
- ☒ 19. If the roof drip line is within 5 feet of the drainfield, shoulder or slope and the roof drains toward the septic system, gutters are required.
- ☒ 20. Irrigation lines must be separated from the drainfield by ten feet unless an approved backflow prevention device is properly installed.
- ☒ 21. Potable water lines, whether connected to an on-site well or to a utility meter, must be a minimum of ten feet from drainfields or sealed with a water proof sealant within a sleeve of similar pipe to a distance of ten feet from the nearest portion of the drainfield. In no case can the sleeved line be located within 24 inches of the drainfield or at an elevation lower than the bottom of the drainfield.
- ☒ 22. All new wells must be 25' from the building foundation and meet all other setback installation requirements.
- ☒ 23. Applicant is responsible for replacing excavated soils with a good grade of soil suitable for drainfield installation.
- ☒ 24. If the building stubout is placed more than 20ft. from septic tank or drainfield, the stubout elevation must be higher than the permitted elevation to achieve gravity flow. This must have prior approval from the health unit.
- ☒ 25. If fill is required, contact Martin County Building Division for requirements.
- ☒ 26. Inspection results will be posted on the building permit. A copy of the construction approval is available upon request.
- ☒ 27. A septic tank outlet filter is required on all septic tanks.
- ☒ 28. If any information on this permit changes, an amended application is required to be filed immediately.

SPECIAL CONDITION REQUIREMENTS (Page 3 of 3) Revised 04/10/98

- X 28. Any alteration of the information or conditions of this permit found to be in non compliance with 64E-6, Florida Administrative Code, will be sufficient cause for revocation of this permit.
- ___ 29. The engineer of record must certify that the installed system complies with the approved design and installation requirements.
- ___ 30. Prior to final construction approval, the property owner must apply for an annual operating permit and pay the \$_____ annual permit fee (For ___ Indust./Manuf. ___ Aerobic system(s)).
- ___ 31. If a mound drainfield is proposed, see following sketch of additional requirements (No retaining walls are allowed within the drainfield shoulder or slope areas of a mound system).



NOTE: THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL.
SEE EXCAVATION CERTIFICATION SHEET FOR EXCAVATION DETAILS.

32. Other: _____

NOTE - \$25.00 RE-INSPECTION FEE WILL BE CHARGED IF REQUIREMENTS ARE NOT MET DURING INSPECTION.

Questions concerning special conditions can be answered by calling Edgardo Morales at (561) 221-4090

cl:special confr. 04/10/98



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE DISPOSAL SYSTEM
SITE EVALUATION AND SYSTEM SPECIFICATIONS

CENTRAX #: 43-SS-01331
OSTDSNBR : 99-1524-N

APPLICANT: FOGLIA CONTRACTING LOT 7

AGENT: 95-0 PROPERTY OWNER, _____

LOT: 7 BLOCK: _____ SUBDIVISION: SEWALL'S MEADOW ID#: ---

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEER'S MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: ☒ YES ☐ NO NET USABLE AREA AVAILABLE: 0.48 ACRES
TOTAL ESTIMATED SEWAGE FLOW: 400 GALLONS PER DAY [64E-6, TABLE 1]
AUTHORIZED SEWAGE FLOW: 1200 GALLONS PER DAY [1500GPD/ACRE OR 2500GPD/ACRE]
UNOBSTRUCTED AREA AVAILABLE: 2040 SQFT UNOBSTRUCTED AREA REQUIRED: Trench 889 or Bed 1142 SQFT

BENCHMARK/REFERENCE POINT LOCATION: Crown of Road 6.78
ELEVATION OF PROPOSED SYSTEM SITE IS 10.56 [INCHES] [Below] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES:
SURFACE WATER: NA FT DITCHES/SWALES: 10 FT NORMALLY WET? ☐ YES ☒ NO
WELLS: PUBLIC: NA FT LIMITED USE: NA FT PRIVATE: NA FT NON-POTABLE: NA FT
BUILDING FOUNDATIONS: 5 FT PROPERTY LINES: 5 FT POTABLE WATER LINES: 35 FT

SITE SUBJECT TO FREQUENT FLOODING: ☐ YES ☒ NO 10 YEAR FLOODING? ☐ YES ☒ NO
10 YEAR FLOOD ELEVATION FOR SITE: _____ FT NGVD SITE ELEVATION: 5.9 FT NGVD

SOIL PROFILE INFORMATION SITE 1		
Munsell #/Color	Texture	Depth
5Y6/3	Pale Olive SCL	0 to 18
5Y6/3	Pale Olive FS	18 to 30
10YR6/1	Gray FS	30 to 36
10YR6/3	Dark Brown S	36 to 72
		to
		to
		to
		to
USDA SOIL SERIES: <u>Jonathan Sand 41</u>		

SOIL PROFILE INFORMATION SITE 2		
Munsell #/Color	Texture	Depth
5Y6/3	Olive SCL	0 to <u>30</u>
10YR6/1	Gray FS	30 to 36
10YR6/3	Pale Brown Sand	36 to 72
		to
		to
		to
		to
USDA SOIL SERIES: <u>Jonathan Sand 41</u>		

OBSERVED WATER TABLE: 48 INCHES [BELOW] EXISTING GRADE TYPE: [APPARENT]
ESTIMATED WET SEASON WATER TABLE ELEVATION: 30 INCHES [Below] EXISTING GRADE.
HIGH WATER TABLE VEGETATION: ☐ YES ☒ NO MOTTILING: ☐ YES ☒ NO DEPTH: _____ INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: FS/0.90 (or 0.70 Bed) DEPTH OF EXCAVATION: 30 INCHES
DRAINFIELD CONFIGURATION: ☒ TRENCH or ☒ BED [] OTHER (SPECIFY) _____
REMARKS/ADDITIONAL CRITERIA: _____

SITE EVALUATED BY: [Signature] DATE: 6-9-99

APPLICANT'S NAME: FOGLIA CONTRACTING CORP.

LEGAL DESCRIPTION: LOT 7 SEWALL'S MEADOW PB 14, PG 32 M.C.

PROPOSED SEPTIC SYSTEM SITE INFORMATION

CIRCLE ONE ANSWER FOR EACH QUESTION (FOR ITEMS 1-17 BELOW).

N/A MEANS THAT THE QUESTION IS NOT APPLICABLE.

1. Is there a septic system within 75 feet of the proposed private well? ----- Yes ☒ No ☐ N/A
2. Is there a potable private well within 75 feet of the available area for the proposed septic system? ----- Yes ☒ No ☐
3. Is there a non-potable well within 50 feet of the available area for the proposed septic system? ----- Yes ☒ No ☐
4. Is there a proposed well within 25 feet of the building foundation? ----- Yes ☒ No ☐
5. Is there a public well that serves less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system? ----- Yes ☒ No ☐
6. Is there a public well that serves more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system? ----- Yes ☒ No ☐
7. Is there a gravity sewer line or lift station within 50 feet of the proposed lot? ----- Yes ☒ No ☐
8. Is there a lake, stream, wetland, or surface water within 75 feet of the available area for the proposed septic system? ----- Yes ☒ No ☐
9. Is there a proposed or existing public drinking water line within 10 feet of the proposed septic system? ----- Yes ☒ No ☐
10. Is there a storm water retention area or drainage easement within 15 feet of the proposed septic system? ----- Yes ☒ No ☐
11. Is the proposed septic system in an area proposed for paving or vehicular traffic? ----- Yes ☒ No ☐
12. Are all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot shown on the site plan? ----- Yes ☐ No ☒ N/A
13. Are all public wells within 200 feet of the applicant's lot shown on the site plan? ----- Yes ☐ No ☒ N/A
14. Does the site plan include a plat of the lot or total site ownership drawn to scale, boundaries with dimensions, locations of building or residences, swimming pools, recorded easements, proposed or existing septic systems, any proposed or existing wells, public water lines, paved areas or driveways, and surface waters such as lakes, ponds, streams, canals, or wetlands? ----- Yes ☒ No ☐
15. Does the site plan show the general slope of the property, recorded easements from the recorded plat, filled areas and drainage features and surface waters such as lakes, ponds, streams, canals, or wetlands? ----- Yes ☒ No ☐
16. Are the natural grade elevation in the area of the septic system and the benchmark shown on the site plan? ----- Yes ☒ No ☐
17. Is the public water line location from the water meter to the house shown on the site plan? ----- Yes ☒ No ☐ N/A
18. There is 2040 square feet of available, unobstructed, contiguous land to install the septic system. This area excludes interferences. Shade this available area on the site plan.

SITE ELEVATIONS

1. Crown of road elevation 6.78 NGVD. Show location on the site plan. If the road is not paved, benchmark elevation _____ NGVD. Show location on site plan.
2. Natural grade elevation in the area of the proposed septic system 5.9 NGVD. Show location on site plan.
3. Is the building location in a flood hazard area "A" or "V" as identified on F.E.M.A. maps? Yes or No If yes, what is the minimum required flood hazard floor elevation of the building? 9.0 NGVD.

NOTE: Please locate the reference point or benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA
REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: Richard W. Brumel
FLORIDA PROFESSIONAL NO.: 3858
DATE: 6/1/99 JOB NO.: 99-100007-01

RECEIVED

JUN - 2 1999



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

MARTIN COUNTY
HEALTH DEPARTMENT

43.55 1331
PERMIT NO. _____
DATE PAID: 6-2-99
FEE PAID: 95.
RECEIPT #: 25808
1524

APPLICATION FOR:

[☒] New System [] Existing System [] Holding Tank [] Innovative
[] Repair [] Abandonment [] Temporary []

APPLICANT: FOGLIA CONTRACTING CORP.

AGENT: _____ TELEPHONE: 954 755-8808

MAILING ADDRESS: 7428 WILES RD. CORAL SPRINGS, FL. 33067

=====

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

=====

PROPERTY INFORMATION

LOT: 7 BLOCK: _____ SUBDIVISION: SEWALL'S MEADOW PLATTED: 5/8/97

PROPERTY ID #: 13 384 013 000 0070 ZONING: _____ I/M OR EQUIVALENT: [Y / N]

PROPERTY SIZE: .48 ACRES WATER SUPPLY: [] PRIVATE PUBLIC [☒] <=2000GPD [] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y / (N)] DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 103 HENRY SEWALL WAY, Sewall's Point

DIRECTIONS TO PROPERTY: EAST OCEAN BLVD. TO SEWALL'S PT. ROAD THEN S. TO HENRY SEWALL'S WAY

BUILDING INFORMATION

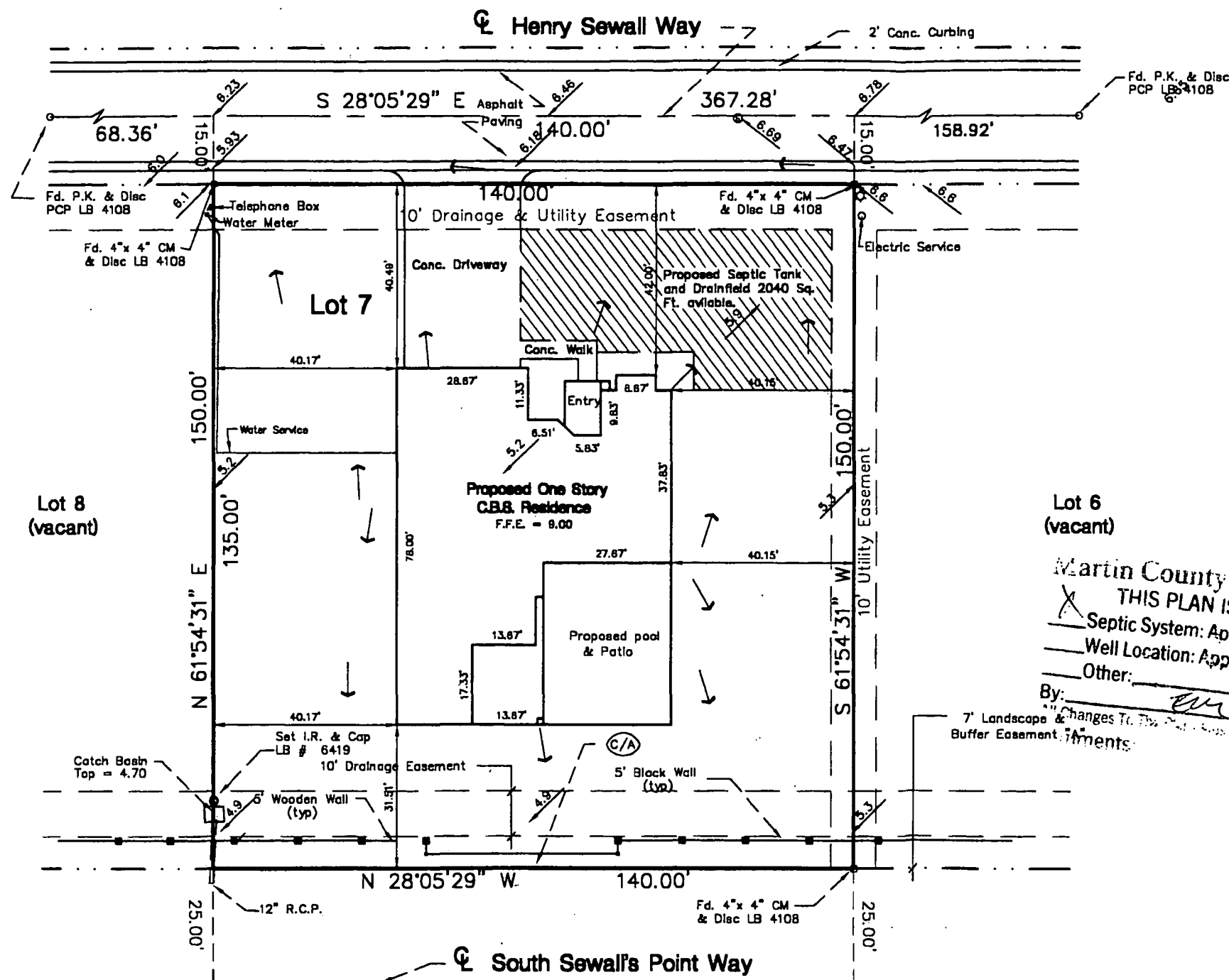
[☒] RESIDENTIAL [] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>SINGLE FAMILY</u>	<u>4</u>	<u>2526</u>	
2				
3				
4				

[] Floor/Equipment Drains [] Other (Specify) _____

SIGNATURE: _____ DATE: 5/14/99

Site Plan for: Foglia Construction Co.



Legal Description

Being all of Lot 7 according to the Plat of SEWALL'S MEADOW as recorded in Plat Book 14, Page 32, public records of Martin County, Florida.

Legend

Fd. ——— Found	(M) ——— Measured Data
R/W ——— Right-of-way line	IR ——— Iron Rod
PCP ——— Permanent Control Point	(P) ——— Plat Data
CM ——— Concrete Monument	IP ——— Iron Pipe
PP ——— Power Pole	Cona. ——— Concrete
(C) ——— Calculated Data	O/H ——— Overhead Utilities
ORB ——— Official Records Book	Pg. ——— Page
ID ——— Identification Number	TT ——— Tin Tab
(R) ——— Radial	(C/A) ——— Control of Access

General Notes

1. The bearings shown hereon are referenced to the Centerline of S.W. Henry Sewall Way according to Plat of SEWALL'S MEADOW.
2. All above ground fixed improvements, if any, have been located and shown hereon.
3. Underground utilities and utility services have not been located on this survey.
4. Flood Note: By graphic plotting only, this property is in Zone "A8" (EL9), according to the Flood Insurance Rate Map, Community Panel No. 120164 0002 d, effective date June 18, 1992. The exact designation can only be determined by an elevation certificate.

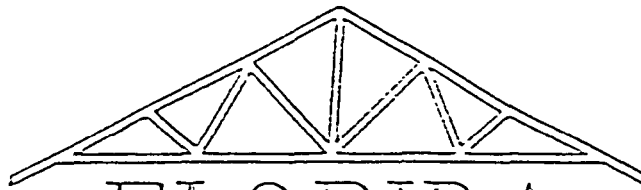
Lot 6
(vacant)

Martin County Health Department
THIS PLAN IS APPROVED FOR:
Septic System: Approval # 43-SS-1331
Well Location: Approval # 43-
Other: Approval #
By: RM Date: 6-15-99
Changes To The Plan As Approved By The Health Department

6-1-99
Date of Signature

Richard W. Bussell
Richard W. Bussell
Professional Surveyor & Mapper
Florida Certificate No. 3858

4658



FLORIDA
QUALITY TRUSS



TEL: (954) 975-3384
FAX: (954) 978-8980
3120 N.W. 16TH TERRACE
POMPANO BEACH, FL 33064

CUSTOMER: **FOGLIA**

MODEL : **THE CHATEAU**

PROJECT : **SEWALL'S MEADOWS**

JOB NO : **99336**

LOT NO : **LOT: 7**

FLORIDA QUALITY TRUSS INC.

#99336

Customer:

FOGLIA

Project:

SEAVALLS MEADOW

CHATEAU

Truss ID.
1
2
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11
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26
27
28
29
30

1	HJ7
2	J1
3	J3
4	J5
5	J7
6	FG2
7	T19
8	T20
9	T21
10	T22
11	S1
12	S2
13	FG1
14	S3
15	S4
16	S5
17	FG3
18	S6
19	S7
20	HJ2
21	J2
22	T32
23	S8
24	S9
25	FG5
26	T1
27	T2
28	S10
29	S11
30	S12

31	S13
32	S14
33	S15
34	FG4
35	S16
36	S17
37	S18
38	S19
39	S20
40	S21
41	S22
42	S23
43	S24
44	T3
45	T4
46	T5C
47	T26
48	J7A
49	T5B
50	T5A
51	T5
52	T6
53	T7
54	S25
55	S26
56	S27
57	S28
58	S29
59	T27
60	T25
61	J3A
62	V9
63	V5
64	T8
65	T9
66	T29

67	T23
68	T24
69	T31
70	HJ3
71	T18
72	T17
73	T16
74	T15
75	T14
76	T13
77	T12
78	S33
79	S32
80	S31
81	S30
82	T11
83	T10
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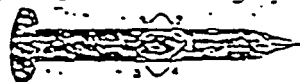
HUGHES

MANUFACTURING, INC.

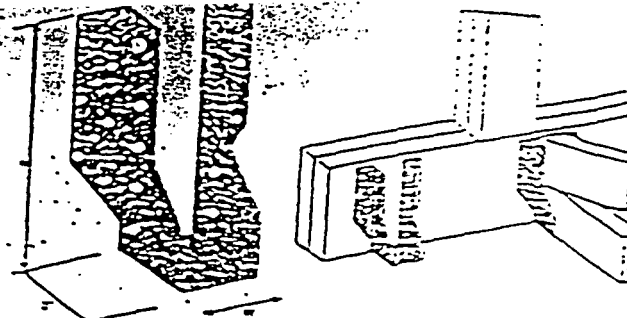
Wood To Wood

- Features Load Share Fastening System
- Develops full Truss Joist capacity
- 16 gauge Galvanized Steel
- Engineered and Tested

Load Share Fastening System



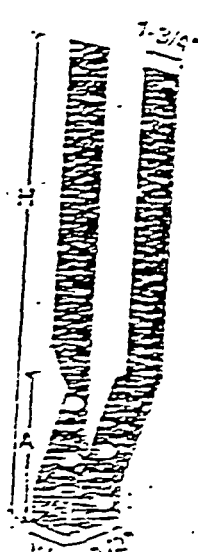
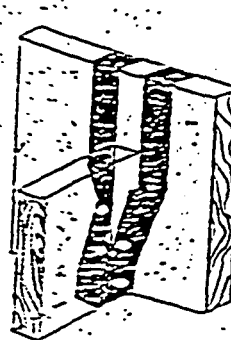
Standard spaced bearing plates for regular "Load Share" hangers. Four special plates developed for the "Load Share" hanger. Commercial connections similar to the "Load Share" hanger.



Product Code	Joist Size	Dimensions		Qty/Box	Fasteners		Design Loads (lbs)			
		W	H		Grade	Size	Normal	Snow	Roof	Uplift
TUR 25	2X6	1-5/8"	3-5/8"	50	16-12	1/2"	3500	3500	3500	2000

JOIST/TRUSS HANGERS, ADJUSTABLE

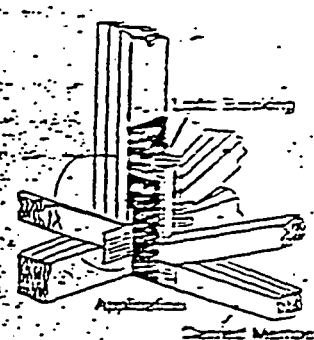
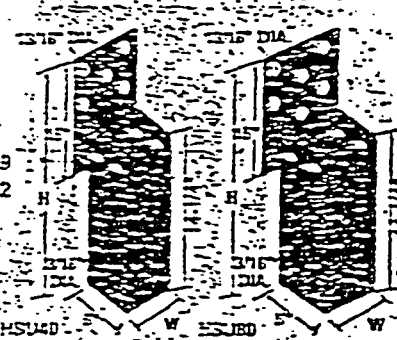
- Extra long straps allow maximum number of nails for maximum strength
- Can be field formed for top flange hanger convenience
- A few sizes satisfies all your hanger requirements
- No bolts required
- A full 2-1/2" seat bearing depth
- Galvanized steel
- SBCCI PST & ESI No. S-139
- Dade County Approval No. 95-1023.02



Product Code	Gauge	W	H	Dimensions		Fasteners		Design Loads (lbs)	
				W	H	W	H	Normal	Uplift
JHA 413	18 ga	52	40	3-5/8"	12-1/4"	2-3/4"	16-12	6-10d	E20
JHA 418	16 ga	52	41	3-5/8"	15-1/4"	4-3/4"	2-1/2"	6-10d	E20

GIRDER HANGERS (HEAVY)

- Material 7 gauge (375) H.R. Steel
- 3/4" diameter bolts required with 5" of wood penetration and minimum vertical width 5-1/2"
- Used where heavy design loads and uplift are required
- SBCCI PST & ESI No. S-139
- Dade County Approval No. 94-0702.09
- Dade County Approval No. 94-0322.02



Product Code	Description	W	H	Fasteners			Design Loads (lbs)		
				Bolts		Nails	Design Loads (lbs)		
				Girder	Block	Carried Member	Normal	Max	Uplift
HSU 40	Girder (Heavy)	3-1/4"	23"	5-3/4"	2-3/4"	4-10d	6250	6250	5710
HSU 80	Girder (Heavy)	4-7/8"	23-1/2"	5-3/4"	2-3/4"	4-10d	5280	10570	10000
HSU 8016	Girder (Heavy)	4-7/8"	16"	5-3/4"	2-3/4"	4-10d	5280	10570	10000

LUS/HUS/HHUS/HGUS

DOUBLE BEAM JOIST HANGERS

Model No.	Dimensions			Fasteners		Avg. Lbs.	Long Ft. Lateral Forces Per Allowable Loads							Square Ft. Per Allowable Loads				
	W	H	B	Carrying Member	Carried Member		Left	Right	Front	Back	Diagonal	Wind	Uplift	Left	Right	Front	Back	Wind
HL525-2	3 1/4"	2 1/2"	3	14-16d	8-16d	1450	150	150	250	250	325	340	120	150	215	250	270	280
HL525-2	3 1/4"	2 1/2"	4	20-16d	8-16d	1450	200	200	375	375	465	465	185	200	315	365	350	260
HL525-2	3 1/4"	2 1/2"	3	22-16d	8-16d	1850	200	200	375	375	465	510	185	200	325	375	350	260
HL525-2	3 1/4"	2 1/2"	4	36-16d	10-16d	2510	250	250	625	625	770	770	200	250	525	625	575	370

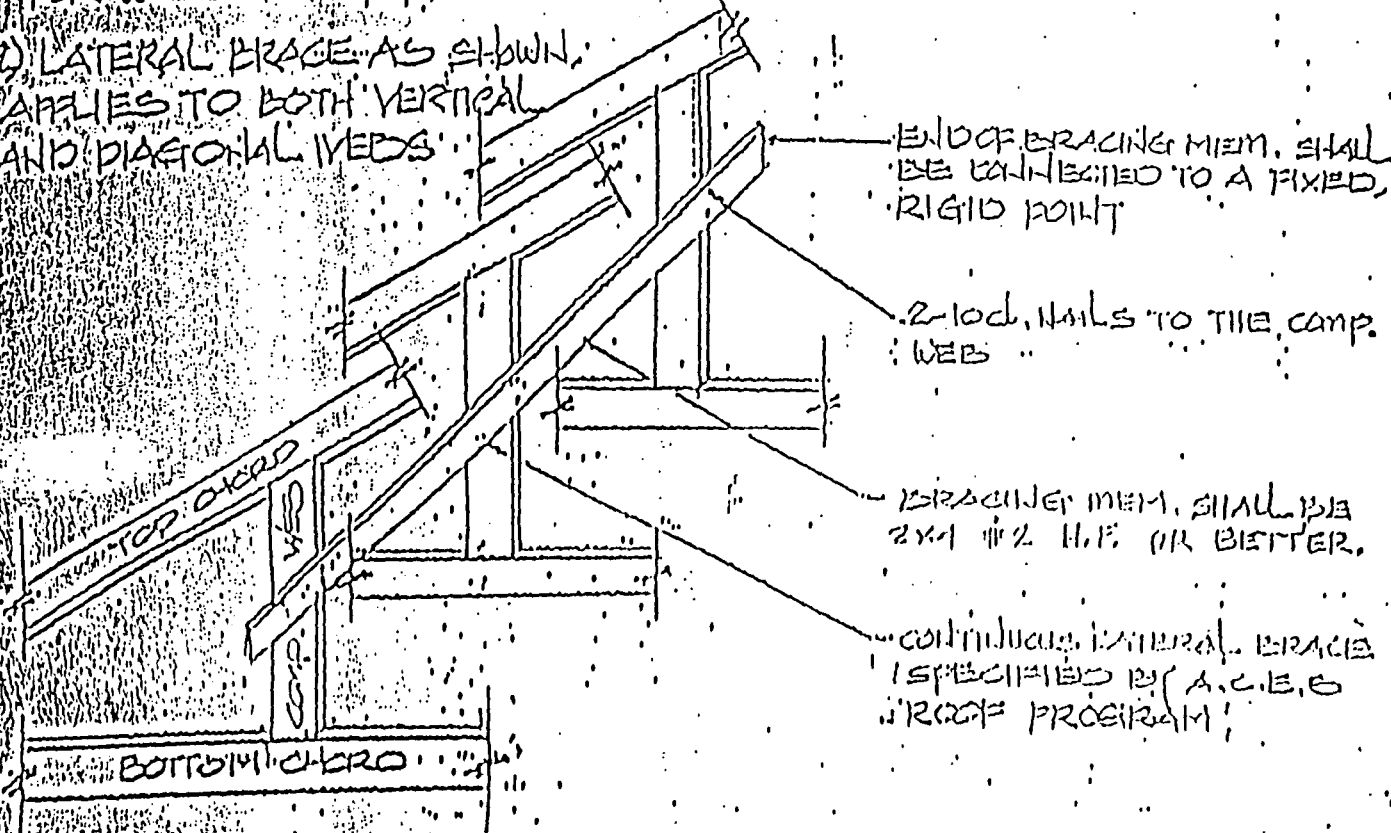
SIMPSON

STRONG CONNECTIONS

NOTE:

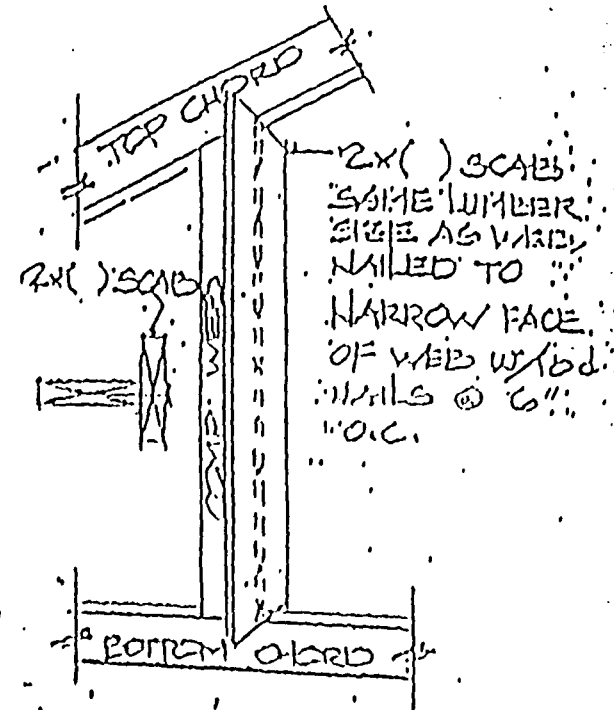
1) THIS DETAIL IS VALID ONLY FOR COMPUTER OUTPUT OF A.C.E.S. ROOF PROGRAM & SERVED AS AN INTERPRETATION OF CONTINUOUS LATERAL BRACING FOR WEBS IN COMPRESSION STRESS.

2) LATERAL BRACE AS SHOWN APPLIES TO BOTH VERTICAL AND DIAGONAL WEBS.



1/2 POINTS OR 1/2 POINTS BRACING

MIN. LENGTH OF SCAB = $0.8 \times L$ (LENGTH OF WEB)



OPTIONAL T-BRACE IN CASE THAT CONTINUOUS LATERAL BRACING CAN NOT BE ACHIEVED

Q10 (PSF) LIVE 1 DEAD 1 DEAD 1	SCALE 1" SPACING 0.6 TYP. OF DESIG. CHART ALLOWABLE STRESS	BEHAVIOR OF FLORIDA STANDARD LATERAL BRACE DETAIL FOR WEBS	APPROVED FOR BEHAVIOR STATE OF No. 13658 REG. ENG. (PROVIDED)	DESIGNED BY CHECKED BY DATE 2/2/00 DRG. & ELEC. DIV.
---	---	--	--	---

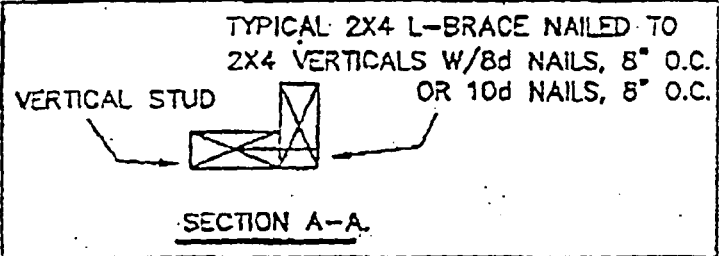
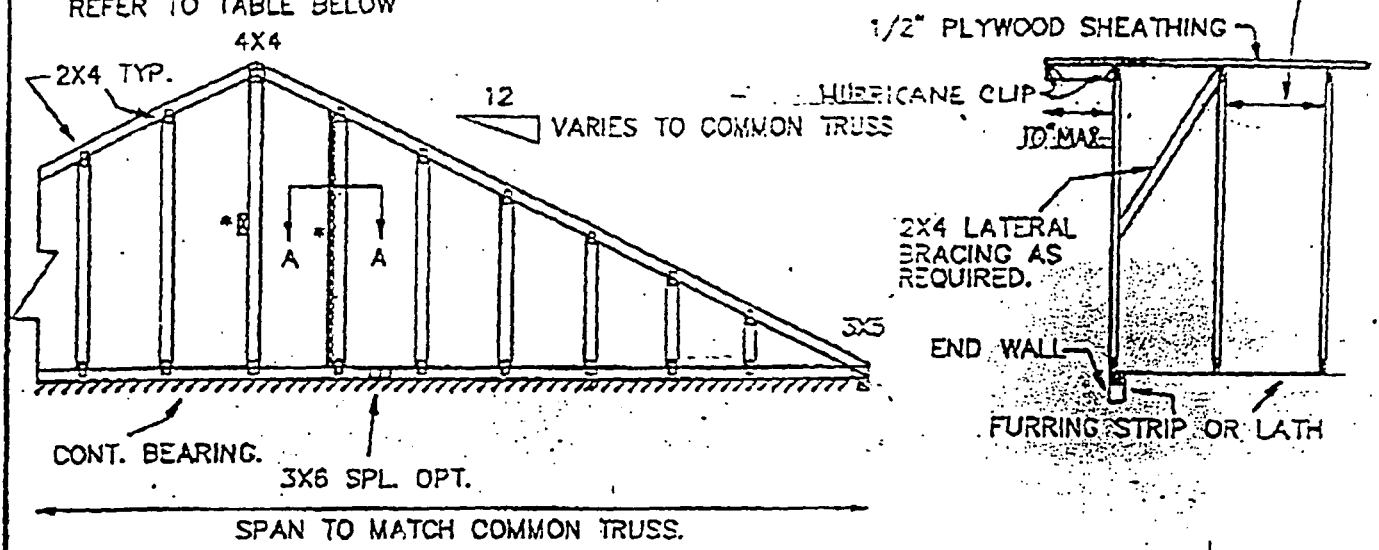
STANDARD GABLE END DETAIL.

WIND SPEED 110 MPH, MEAN ROOF HEIGHT 15 FT.

PREPARED BY MAMI DTD

- DIAGONAL OR L-BRACING REFER TO TABLE BELOW

TRUSSES AT 24" O.C.



LATERAL BRACING NAILING SCHEDULE	
VERT. HEIGHT.	# NAIL AT @ END
UP TO 7'-0"	2 - 16d
7'-0" - 8'-6"	3 - 16d
OVER 8'-6"	4 - 16d

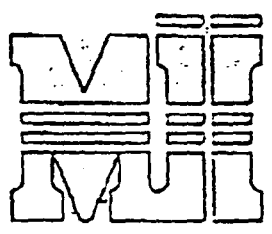
MAXIMUM VERTICAL STUDS HEIGHT.			
SPACING OF VERTICALS	WITHOUT BRACE	WITH LATERAL BRACE	WITH L-BRACE
12 INCH O.C.	3'-11"-11	10'-7"-14	7'-4"-12
16 INCH O.C.	3'-7"-5	9'-8"-2	6'-8"-10
24 INCH O.C.	3'-1"-13	8'-2"-3	5'-10"-7

NOTE:

1. VERT. HAS BEEN CHECKED FOR 110 MPH WIND LOAD, MEAN ROOF HEIGHT 15 FT. AND L/360 DEFL. CRIT.
2. CONNECTION BETWEEN BOTTOM CHORD OF GABLE END TRUSS AND WALL TO BE PROVIDED BY PROJECT ENGINEER OR ARCHITECT.

3. FURNISH COPY OF THIS DRAWING TO CONTRACTOR FOR BRACING INSTALLATION.
4. BRACING SHOWN IS FOR INDIVIDUAL TRUSS ONLY. CONSULT BLDG. ARCHITECT OR ENGINEER FOR TEMPORARY AND PERMANENT BRACING OF ROOF SYSTEM.

MINIMUM GRADE OF LUMBER		TPI-92 CRIT.
T.C.	2X4 No.2ND 19 SP	SSBC-91
B.C.	2X4 No.2ND 19 SP	Revised:
Webs	2X4 No.3 19 SP	9/13/94
LOADING (PSF)		STR. INCR. :33 %
TOP	L 30 D 15	DRAWN BY :JB
BOTTOM	L 0 D 10	CHECKED BY :JAI
SPACING: 24 IN O.C.		REP. STRESS: YES



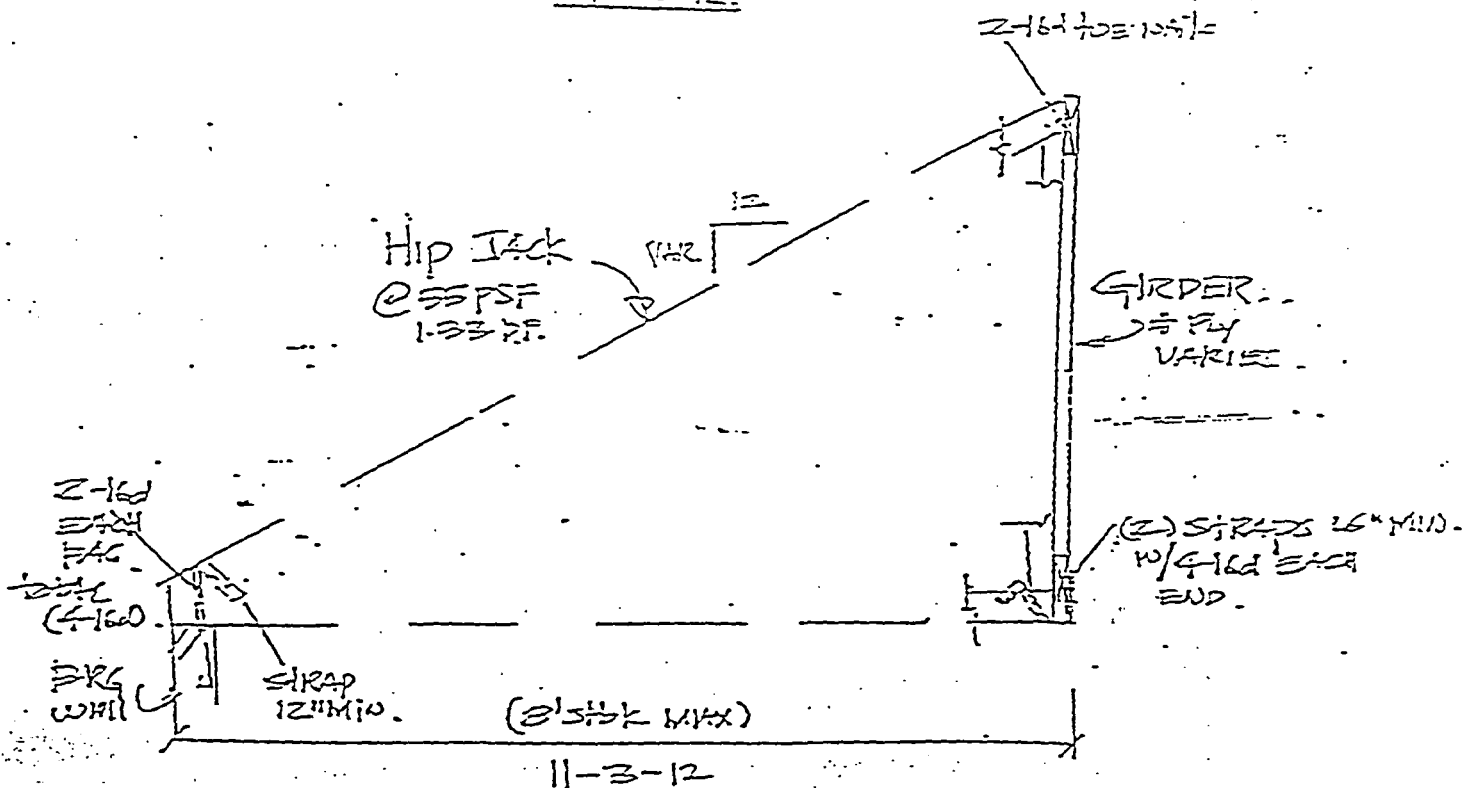
MiTek Industries Inc.

JAN 10 1995

Rev: 5-20-99

Approved for MiTek Industries Inc.

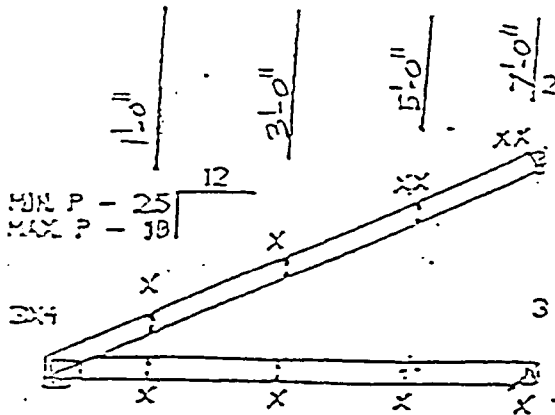
TYPICAL HIP JACK
CONNECTION
DETAIL



[Signature]
6-17-91

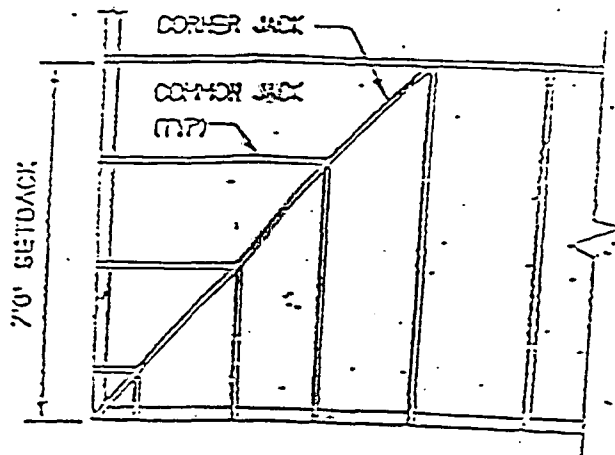
[Signature]
6/1/91

7'0" CORNER SET

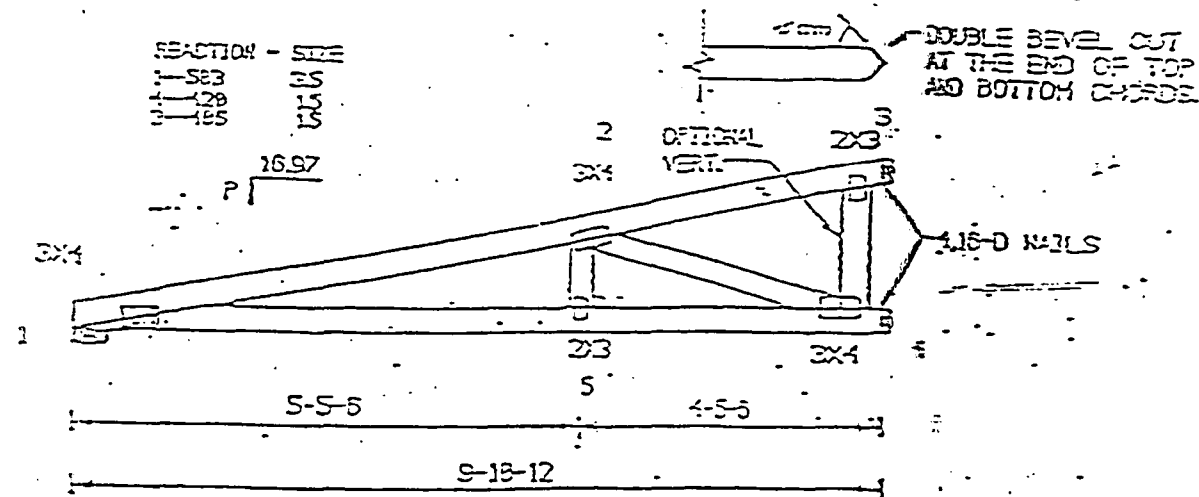


- x) 2-16d
- x) 3-16d

COMMON JACKS



PARTIAL ROOF LAYOUT



CORNER JACK

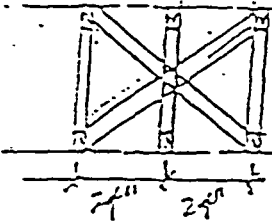
IS BEEN HAS BEEN CHECKED WITH 20 TON WIND LOAD WILL BEAT 18 TON WIND LOAD FOR UPLIFT AT BEARING WALL CONNECTIONS - 30 LBS AT CORNER JOINTS - 30 LBS AT END JOINTS

GRADE OF LUMBER:		TFT-92 C-11	
2x4 No. 2 19 SP		SS30-21	
2x4 No. 2 19 SP			
2x4 No. 3 19 SP			
STR. INC. : 33 Z		HITek Industries Inc.	
DRAWN BY : TAN		Approved: [Signature] ENGINEER	
CHECKED BY : J.W.		Series Inc.	
REP. STRESS 10			
2x4 No. 2 19 SP			
2x4 No. 3 19 SP			

STANDARD FALSE BOTTOM DETAIL

NOTE "A"

FOR CANTILEVERS UP TO 6'-0" LENGTH PROVIDE
BOTTOM CHORD BRACING AT 24" O/C MAX.
FOR 6'-0" AND GREATER CANTILEVERS, ADDITIONALLY
PROVIDE X-BRACING STARTING ABOVE THE TIE BEAM,
SPACED AT 6'-0" O/C MAX.



(2-16-ds MIN. TYP.)

(X-BRACING
OVER CHORD TIE BEAM
AT 6'-0" O/C MAX.)

CONSULT TRUSS ENGINEER FOR
SHEAR LUGS, PLATE SEES AND
ALL OTHER INFORMATION NOT
SHOWN ON THIS DRAWING

CANTILEVER WITH NO FALSE BOT. OR
CANTILEVER WITH FALSE BOTTOM
2X6 F2 H.F. SCAB ON
TRUSSES FROM ONE FACE
16'-0" & 24" O/C.

END SCAB
WITHOUT CANTILEVER

CANTILEVER
SEE NOTE "A"

SPACE FOOT AT
4'-0" O/C (MIN.)
(2X4 #2 H.F.)

END SPL IF
AT VERTICLS

NOTE: TOP AND BOTTOM CHORD FILLERS ARE NOT A STRUCTURAL
COMPONENT OF A TRUSS. PORTIONS OF, OR THE ENTIRE
FILLER MAY BE REMOVED, OR ADDED TO, WITHOUT AFFECTING THE
STRUCTURAL INTEGRITY OF THE TRUSS, PROVIDED THEY
ARE NOT AFFECTING BEARING LOCATIONS OF THE TRUSS.

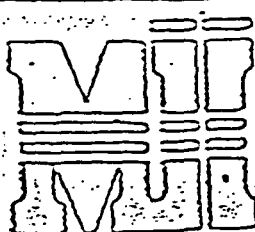
MINIMUM GRADE OF LUMBER

T.C. 2X4 NO2ND 19 SP
B.C. 2X4 NO2ND 19 SP
Webs 2X4 NO3 19 SP

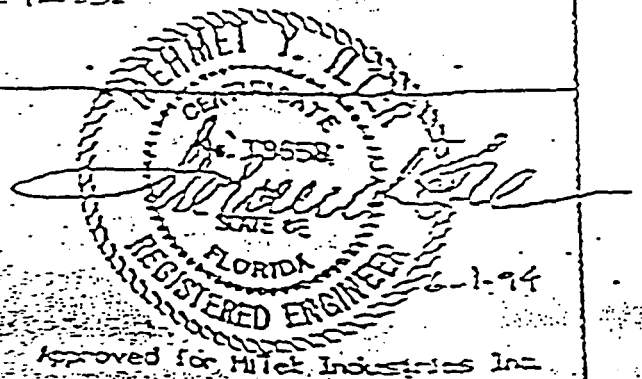
TP1-S2 C4L
SS3C-S1

LOADING (PSF)
L D
TOP 39 15
BOTTOM 8 18
SPACING 24" INCH O.C.

STR. INCR. : 33 Z
DRAWN BY : BV
CHECKED BY : JAI
REP. STRESS YES



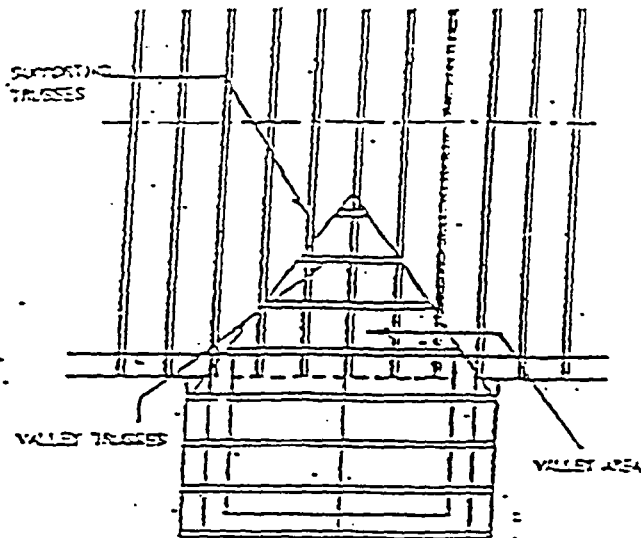
Midwest Industries Inc.



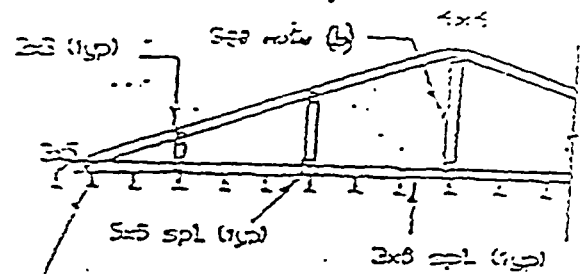
Approved for Midwest Industries Inc.

STANDARD ROOF VALLEY DETAIL

FRAMES BY K&E CORP.



PARTIAL ROOF LAYOUT

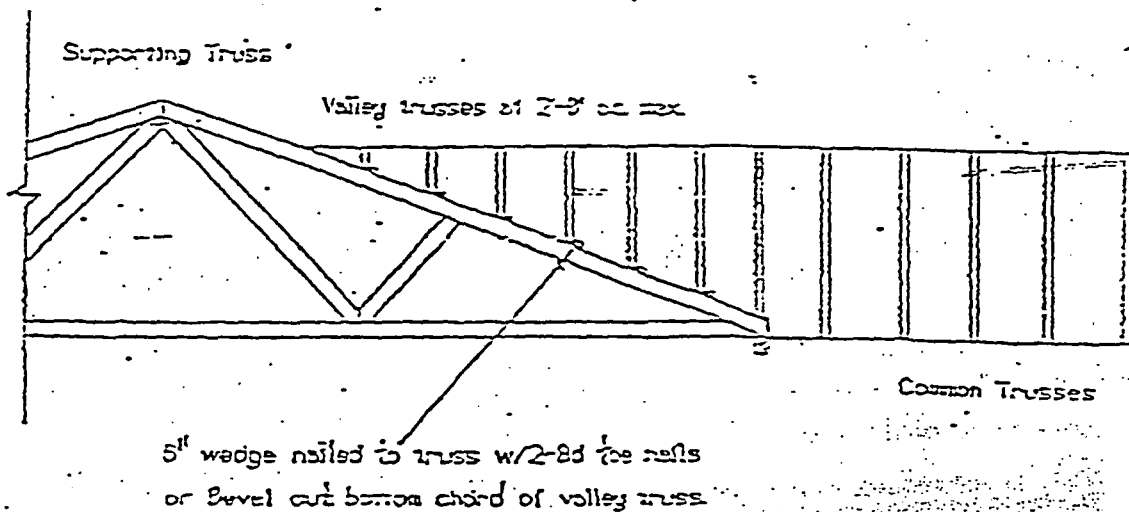


Supporting trusses at 2'-8" on max

NOTES

- (a) Provide continuous bracing on verticals over 5'-3". Connect bracing to verticals w/ 2-2d nails and bracing must be tied to a fixed point at each end.
- (b) In spans over 24'-0", add verticals at 5'-0" on max.

(c) STAIRS @ 45" o/c - MAX.



Common Trusses

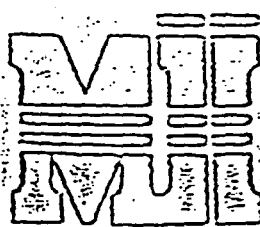
5" wedge nailed to truss w/ 2-2d toe nails
or bevel cut bottom chord of valley truss

MINIMUM GRADE OF LUMBER

T.C.	2X4 No. 2&D 19 SP
B.C.	2X4 No. 2&D 19 SP
Webs	2X4 No. 3 19 SP

TP1-92 C-11

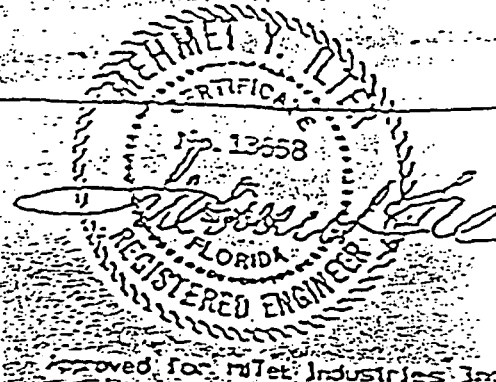
SS30-91



Miller Industries Inc.

LOADING	PSF
TOP	20 15
BOTTOM	0 10
SPACING	24 Inch O.C.

STR. INCR.	33 Z
DRAWN BY	P.G.
CHECKED BY	J.A.I.
REP. STRESS	YES



Approved for Miller Industries Inc.

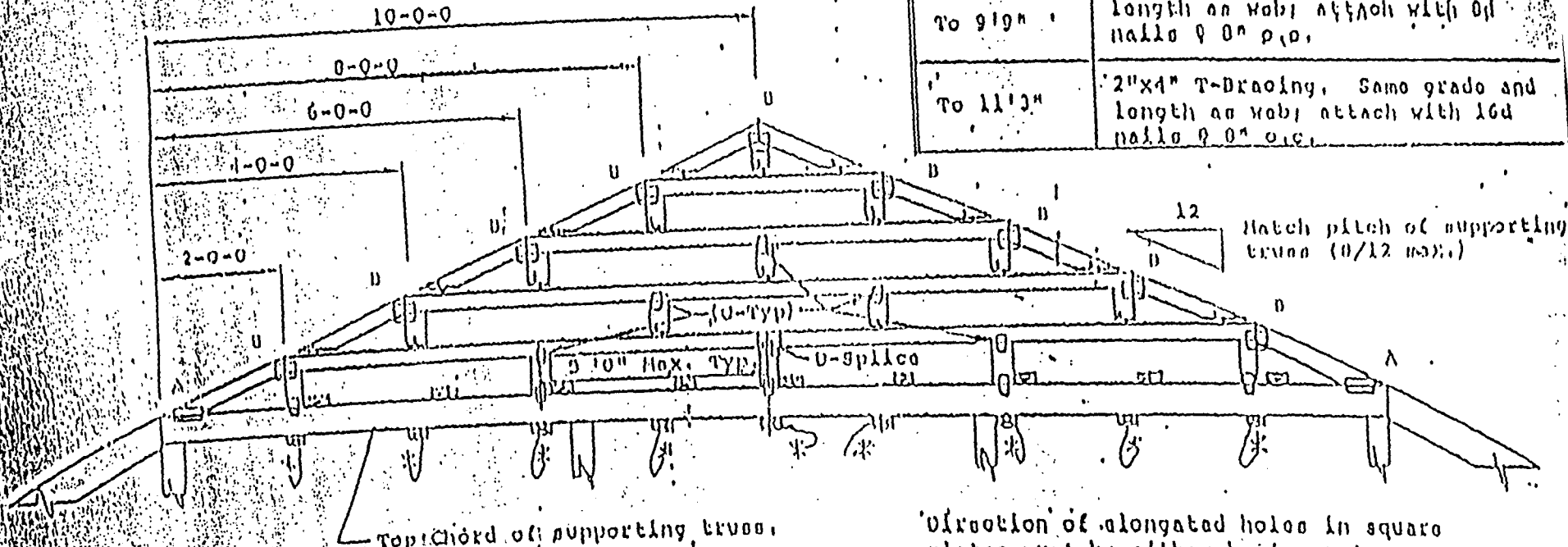
PIGGY BACK DETAIL

Top Chord: 2x12 19' Southern Pine
 Joist: 2x12 19' Southern Pine
 (See) Space vertical @ 5'0" o.c. max.

CONTINUOUS LATERAL BRACING ATTACHED TO TOP
 OR BOTTOM OF TOP CHORD OF TRUSS SUPPORTING
 PIGGYBACK AS SHOWN ON TRUSS ENGINEERING.
 x4-12 HF, @ 24" o.c. w/ 2-16 d's

OVERALL SUPPORTING SPAN OF 10'											
TYPE	12'0"	52'0"	TYPE	12'0"	52'0"	TYPE	12'0"	52'0"	TYPE	12'0"	52'0"
A	3x4	3x5	A	24	26	A	3-4,5	3-5,4	A	3-4,5	3-5,4
B	5x6	5x7	B	46	48	B	5-6,3	5-7,2	B	5-6,3	5-7,2
C	2x4	2x4	C	24	24	C	2-4,5	2-4,5	C	2-4,5	2-4,5
D	5x6	5x6	D	46	47	D	5-6,3	5-7,2	D	5-6,3	5-7,2

Web Bracing Chart	
Web Length	Bracing Required
To 7'9"	No Bracing
To 9'9"	1"x4" T-Bracing, Same grade and length as web; attach with 16d nails @ 0" o.c.
To 11'3"	2"x4" T-Bracing, Same grade and length as web; attach with 16d nails @ 0" o.c.



Handwritten signature and date: 6-17-91

FURNISH A COPY OF THIS DESIGN TO ERECTION CONTRACTOR

DESIGNER'S COPY, TPI-70				DATE	
TO LLI	30	157	157	DATE	2/23/07
TO OLI	15	157	157	DATE	6/6/107
				DATE	6/6/107

This safety alert symbol is used to attract your attention! PERSONAL SAFETY IS INVOLVED! When you see this symbol, BECOME ALERT - HEED THE MESSAGE.

CAUTION: A CAUTION identifies safe operating practices or indicates unsafe conditions that could result in personal injury or damage to structures.

IB-91 Summary Sheet

MENTARY and RECOMMENDATIONS for HANDLING, INSTALLING & BRACING METAL PLATE CONNECTED WOOD TRUSSES

This summary sheet is intended to provide a quick reference for the handling, installing, and bracing of metal plate connected wood trusses. The building of wood trusses is a highly skilled and complex task. The building of wood trusses is a highly skilled and complex task. The building of wood trusses is a highly skilled and complex task.

CAUTION: The builder, building contractor, licensee, contractor, or erection contractor is advised to obtain and read the entire booklet "Summary and Recommendations for Handling, Installing & Bracing Metal Plate Connected Wood Trusses, IB-91" from the Truss Plate Institute.

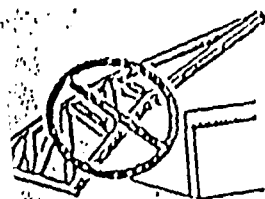
HAZARD A HAZARD designates a condition where failure to follow instructions or heed warning will most likely result in serious personal injury or death or damage to structures.

WARNING A WARNING describes a condition where failure to follow instructions could result in severe personal injury or damage to structures.



personnel in the wood truss industry, but must, due to the nature of responsibility, be provided a guide for the use of a qualified building designer or engineer. The Truss Plate Institute, Inc. expressly disclaims any responsibility for damage or injury from the use, application or reliance on these recommendations and information contained herein by building designers, installers, and others. Copyright © by Truss Plate Institute, Inc. All rights reserved. This document or any part thereof must not be reproduced in any form without written permission of the publisher. Printed in the United States of America.

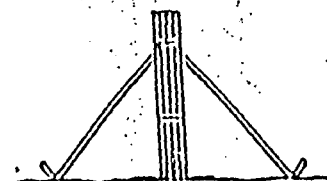
CAUTION All temporary bracing should be no less than 2x4 grade lumber. All connections should be made with minimum of 2-1x4 nails. All trusses assumed 2'-0" center to center. All multi-ply trusses should be connected together in accordance with design drawings prior to installation.



CAUTION Trusses should not be unloaded on rough terrain or uneven surfaces which could cause damage to the truss.



Trusses stored horizontally should be supported on blocking to prevent excessive lateral bending and lessen moisture gain.



Trusses stored vertically should be braced to prevent toppling or tipping.

WARNING Do not break banding until installation begins or in bundled trusses by the bands.

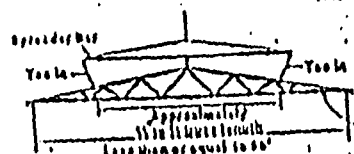
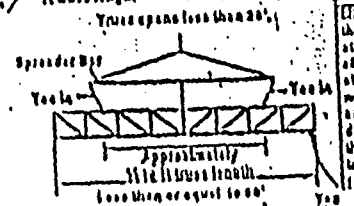
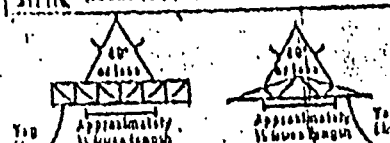
HAZARD Do not store bundles upright unless properly braced.

WARNING Do not use damaged trusses.

HAZARD Walking on trusses which are lying flat is extremely dangerous and should be strictly prohibited.

Frame 1

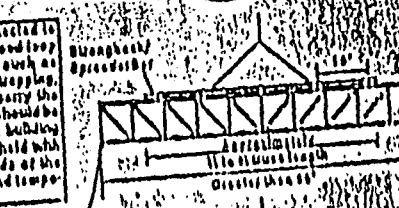
WARNING Do not attach cables, chains, or hooks to the web members.



AIR CONDITIONAL INSTALLATION

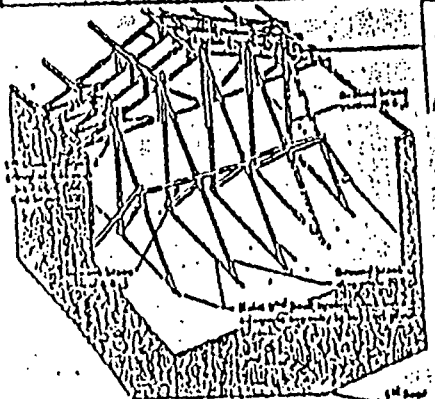
Chill devices should be connected to the truss top chord with a closed loop attachment utilizing materials such as chain, cable, nylon, nylon strap, etc. of sufficient strength to carry the weight of the truss. Each truss should be cut in proper fashion per the building designer's heading plan and held with the string device until the ends of the truss are accurately fastened and temporary bracing is installed.

WARNING Do not lift single trusses with spans greater than 60' by the peak.

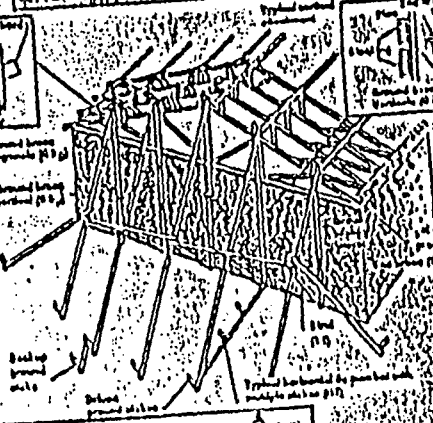


CAUTION Temporary bracing shown in this summary sheet is adequate for the installation of trusses with similar configurations. Consult a registered professional engineer for a different bracing arrangement to desired. The engineer may design bracing in accordance with TPI's Recommended Design Specification for Temporary Bracing of Metal Plate Connected Wood Trusses, DSU-89, and in some cases determine that a wider spacing is possible.

GROUND BRACING BUILDING INTERIOR

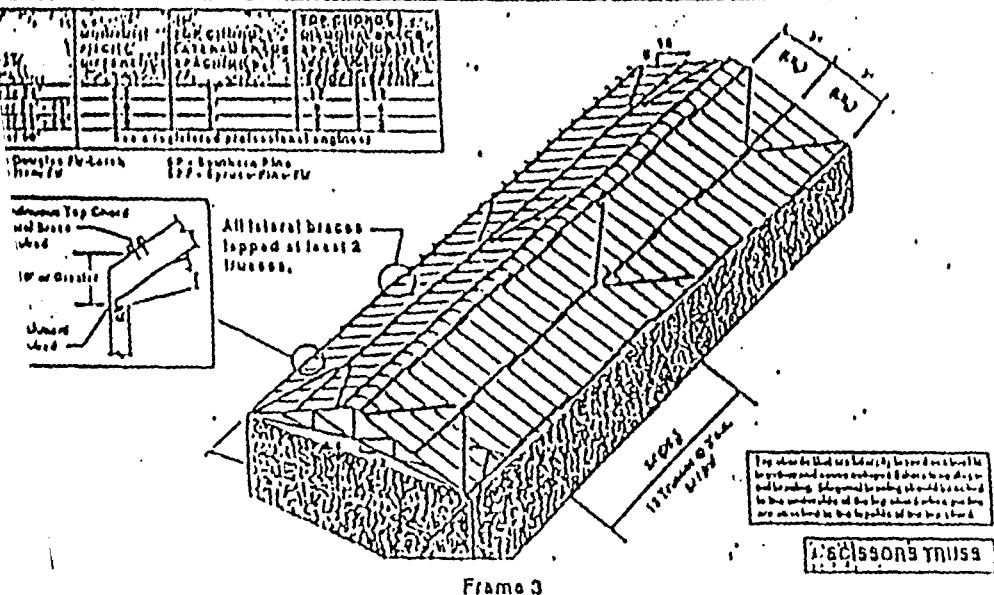
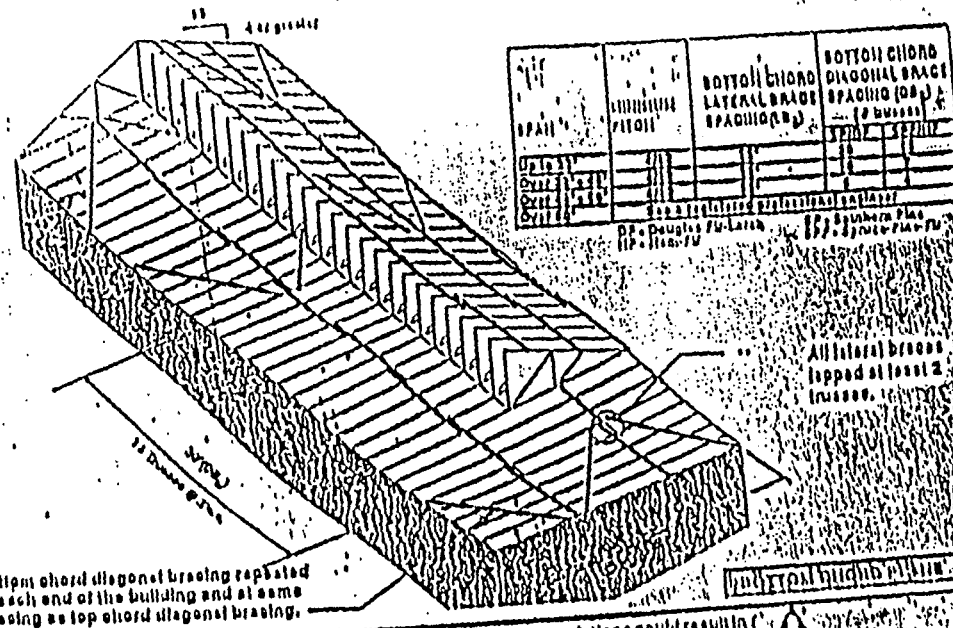
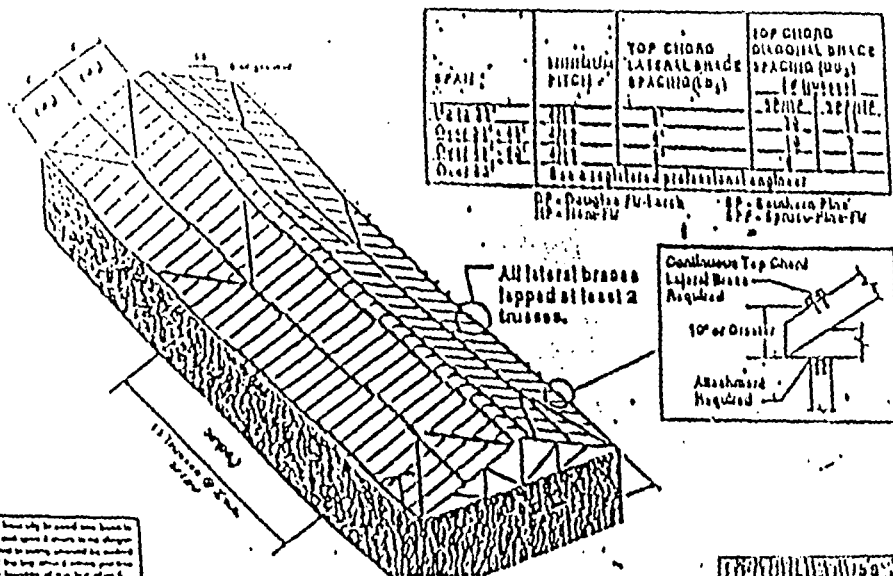


GROUND BRACING BUILDING EXTERIOR

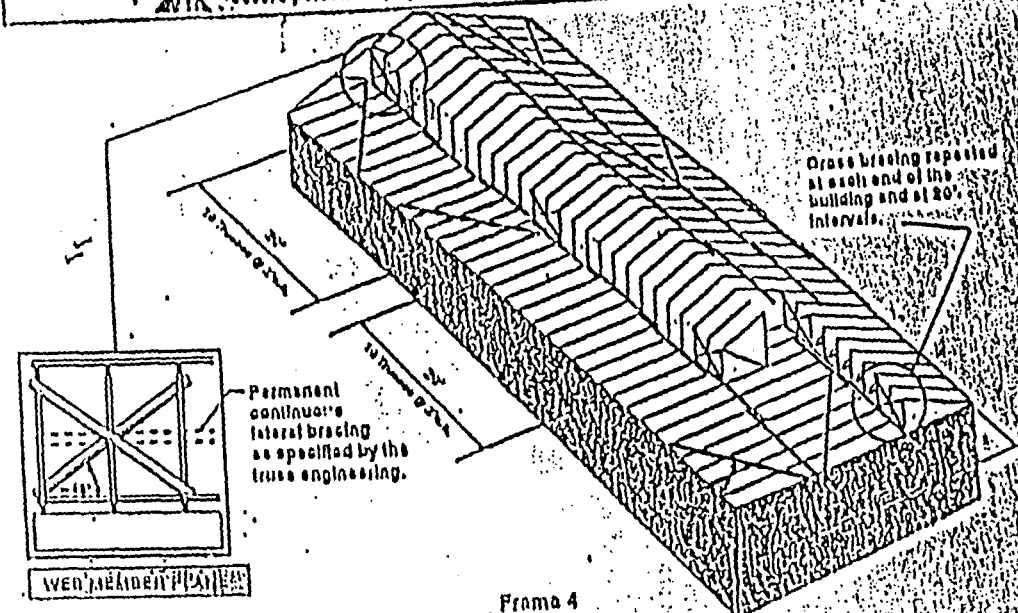


CAUTION Ground bracing required for all installations.

Frame 2



Frame 3



Frame 4

Frame 8

====<<<<ACES-32 Ver. 1.1>>>>===== [007994] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Truss ID : HJ7 Fri Oct 1 11:34:47 1999

Project #: 99336 Quantity : 2 Family # : 204

Span : 9-10-13 Top Pitch : 3.536/12

==Bid(7/22/1998),v1.1=====

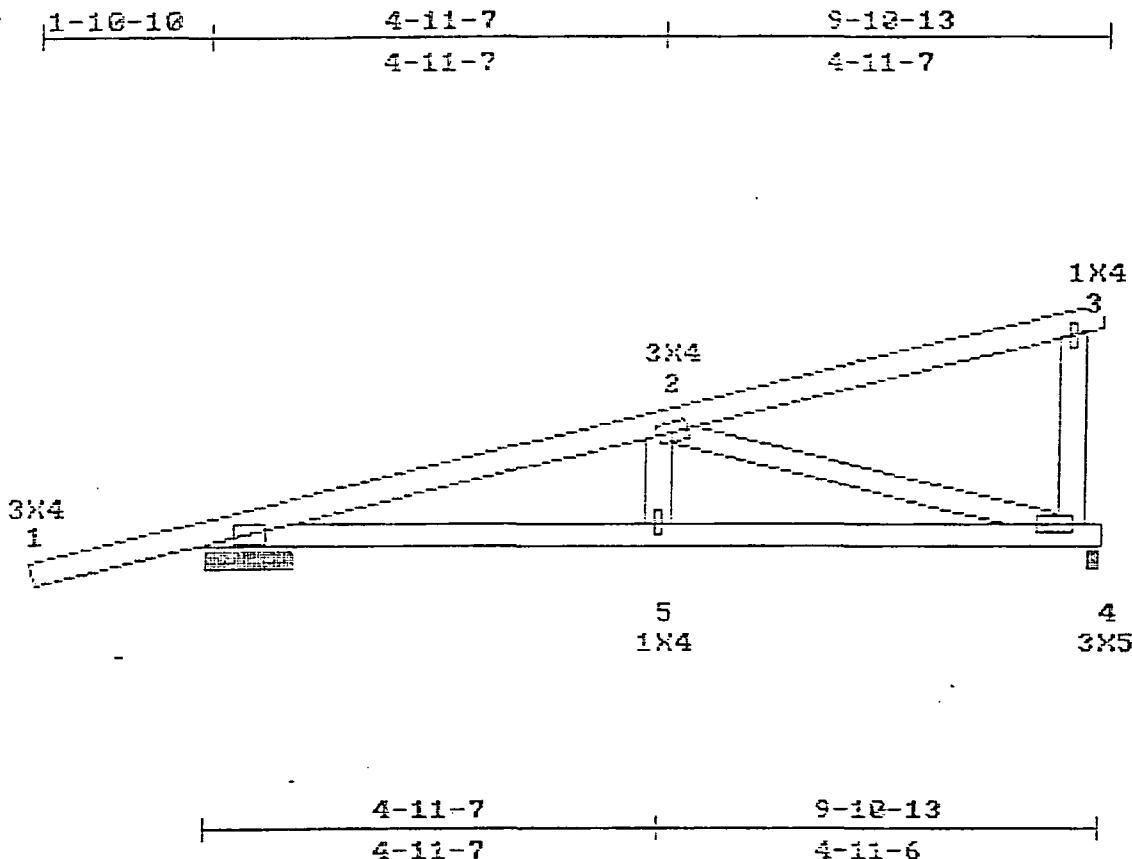
FORCES - LOAD CASE #1			REACTIONS - SIZE	
1-2=-1097	4-5= 1041	2-5= 120	1=-720	11.31
2-3= 0	5-1= 1041	2-4=-1089	4=-513	1.52
3-4=-406				

PROVIDE FOR 1342 LBS UPLIFT AT JOINT 1 (1.86)

PROVIDE FOR 1305 LBS UPLIFT AT JOINT 4 (1.61)

PROVIDE FOR 415 LBS HORIZ. REACTION AT JOINT 1

(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:10-3-14
LEFT HEIGHT:0-3-14 SPAN:9-10-13 RISE:3-2-14 RIGHT HEIGHT:3-2-14

LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
L D	TOP 2-3=0.915	TOP CHORD:2X4 No.2ND 19 SP
TOP 30 15	BOTT 4-5=0.407	BOT CHORD:2X4 No.2ND 19 SP
BOTT 0 10	LL.DEFL.@5=0.05 < L/360	WEBS :2X4 No.3 19 SP

=====

REPETITIVE STRESSES NOT USED SPACING : 24.0 in. o. c.

NO. OF MEMBERS = 1

LOADING STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER PLATE	TYPE	
1 1.33 1.33	UNIFORM	1- 2= 61 2- 3= 166 4- 5= 37 5- 1= 14

RIGHT END VERTICAL IS NOT EXPOSED.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDS DESIGN SPECS, SSBC,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

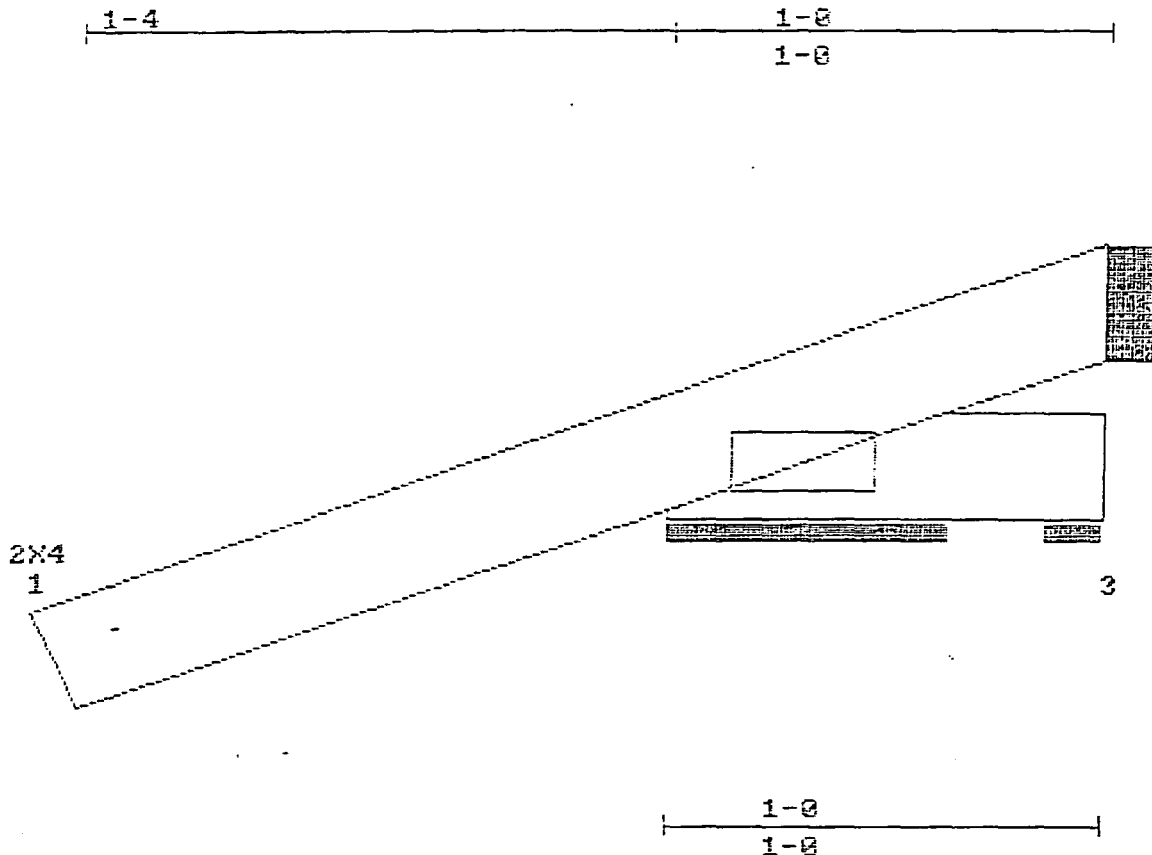
[Signature]

OCT 05 1999

===<<<<ACES-32 Ver. 1.1>>>>===== [007995] =====<<<<FL.QUAL./REM>>>>=====
 Customer : FOGLIA-CHATEAU
 Project #: 99336 Truss ID : J1
 Span : 1-0 Quantity : 6
 Date: 7/22/1998, v1.1
 Fri Oct 1 11:34:48 1999
 Family # : 205
 Top Pitch : 5/12

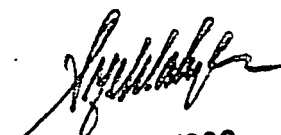
FORCES - GRAVITY LOADS		REACTIONS - SIZE	
1-2= 0	3-1= 0	1=-180	8.00
2-3= 0		3=-6	1.50
		2=-27	1.50

PROVIDE FOR 343 LBS UPLIFT AT JOINT 1 (1.91)
 PROVIDE FOR 58 LBS UPLIFT AT JOINT 2 (2.14)
 PROVIDE FOR 55 LBS HORIZ. REACTION AT JOINT 1
 (SYMMETRIC PLATING TURNED ON)



L. HL TO PK:1-1		SPAN:1-0		RISE:0-9-1		RIGHT HEIGHT:0-9-1	
LEFT HEIGHT:0-4-1							
LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER			
TOP	30	TOP	1-2=0.017	TOP CHORD:	2X4	No.2ND	19 SP
BOTT	0	BOTT	3-1=0.002	BOT CHORD:	2X4	No.2ND	19 SP
		LL.DEFL.	< L/360	WEBS	:2X4	No.3	19 SP
STR.INC.: LUMB = 1.33 PLATE = 1.33				SPACING : 24.0 in. o. c.			
REPETITIVE STRESSES USED				NO. OF MEMBERS = 1			

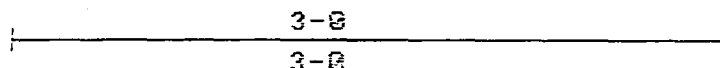
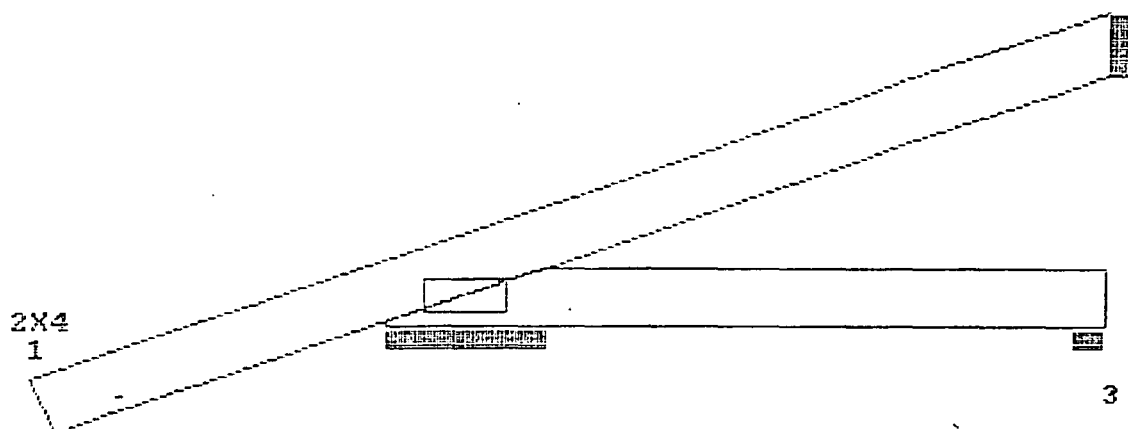
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE
 PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDS DESIGN SPECS, SSBC,ANSI/TPI-95 (SBC).
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.


 OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>=====[007996]====<<<<FL.QUAL./REM>>>>=====
 Customer : FOGLIA-CHATEAU Fri Oct 1 11:34:50 1999
 Project #: 99336 Truss ID : J3 Family # : 205
 Span : 3-0 Quantity : 4 Top Pitch : 5/12
 ==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS		REACTIONS - SIZE	
1-2= 0	3-1= 0	1=-290	8.00
2-3= 0		3=-25	1.50
		2=-117	1.50

PROVIDE FOR 443 LBS UPLIFT AT JOINT 1 (1.53)
 PROVIDE FOR 215 LBS UPLIFT AT JOINT 2 (1.83)
 PROVIDE FOR 175 LBS HORIZ. REACTION AT JOINT 1
 (SYMMETRIC PLATING TURNED ON)



L. HL TO PK:3-3		SPAN:3-0		RISE:1-7-1		RIGHT HEIGHT:1-7-1	
LEFT HEIGHT:0-4-1							
LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER			
TOP	30	TOP	1-2=0.268	TOP CHORD:2X4	No.2ND	19	SP
BOTT	0	BOTT	3-1=0.034	BOT CHORD:2X4	No.2ND	19	SP
		LL.DEFL.	< L/360	WEBS	:2X4	No.3	19 SP
STR.INC.: LUMB = 1.33 PLATE = 1.33				SPACING : 24.0 in. o. c.			
REPETITIVE STRESSES USED				NO. OF MEMBERS = 1			

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,13(S+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDS DESIGN SPECS, SSB,ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]
 OCT 05 1999

(4)

====<<<<ACES-32 Ver. 1.1>>>>===== [007997] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : J5	Fri Oct 1 11:34:52 1999
Project #: 99336	Quantity : 4	Family # : 205
Span : 5-0		Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

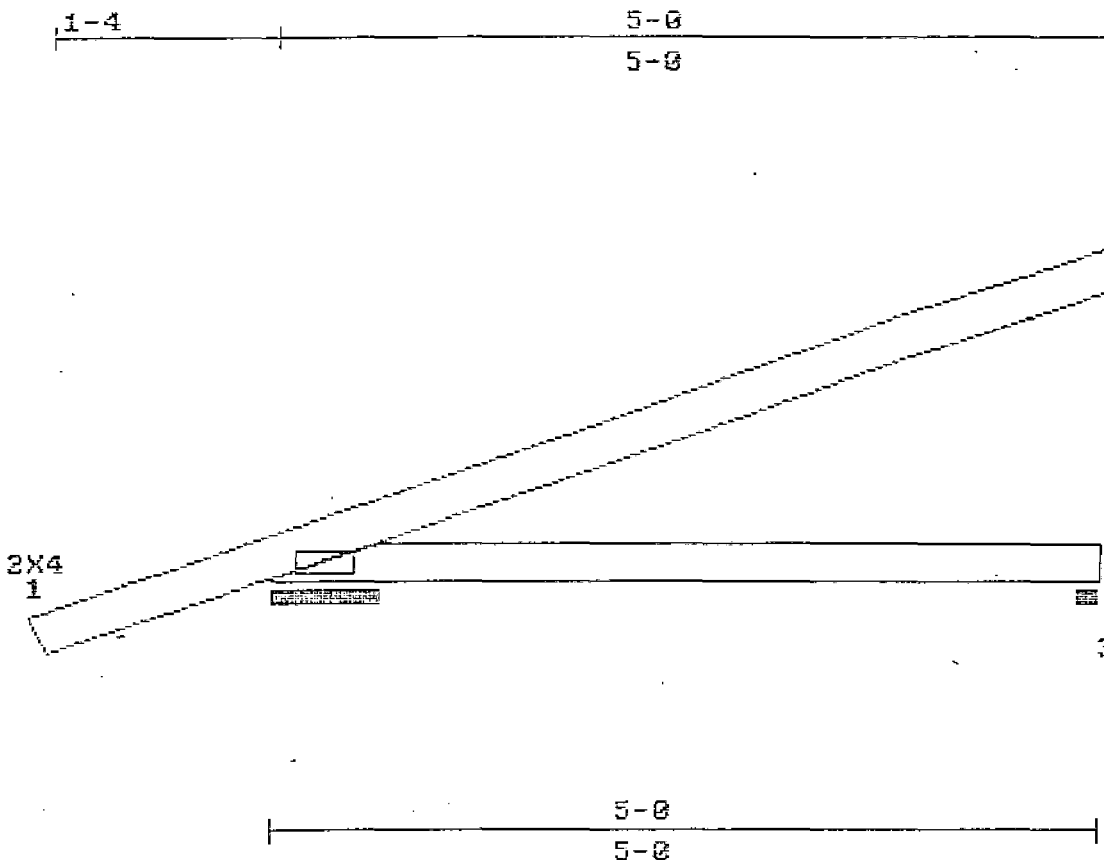
FORCES - GRAVITY LOADS

1-2= 0	3-1= 0
2-3= 0	

REACTIONS - SIZE

1=-400	8.00
3=-46	1.50
2=-207	1.50

PROVIDE FOR 542 LBS UPLIFT AT JOINT 1 (1.35)
PROVIDE FOR 372 LBS UPLIFT AT JOINT 2 (1.80)
PROVIDE FOR 294 LBS HORIZ. REACTION AT JOINT 1
(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:5-5	SPAN:5-0	RISE:2-5-1	RIGHT HEIGHT:2-5-1
LEFT HEIGHT:0-4-1			
LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER	
TOP L D	TOP 1-2=0.833	TOP CHORD:2X4	No.2ND 19 SP
BOTT 30 15	BOTT 3-1=0.103	BOT CHORD:2X4	No.2ND 19 SP
BOTT 0 10	LL.DEFL. < L/360	WEBS :2X4	No.3 19 SP
STR.INC.: LUMB = 1.33 PLATE = 1.33		SPACING : 24.0 in. o. c.	
REPETITIVE STRESSES USED		NO. OF MEMBERS = 1	

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(S+5) PSF DL,20.00 MI FROM OCEAN LINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSB,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>===== [007998] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:34:54 1999

Project #: 99336 Truss ID : J7 Family # : 205

Span : 7-0 Quantity : 5 Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-291	4-1= 264	2-4=-317	1=-510	8.00
2-3= 0			4=-241	1.50
3-4= 0			3=-122	1.50

PROVIDE FOR 640 LBS UPLIFT AT JOINT 1 (1.26)

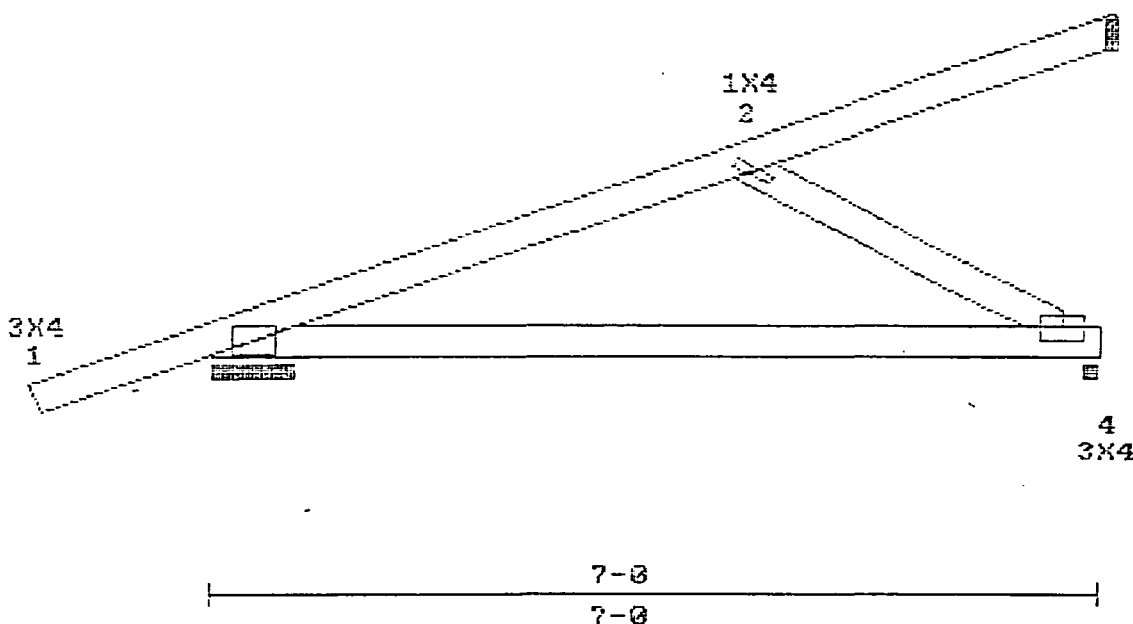
PROVIDE FOR 285 LBS UPLIFT AT JOINT 4 (1.18)

PROVIDE FOR 212 LBS UPLIFT AT JOINT 3 (1.74)

PROVIDE FOR 413 LBS HORIZ. REACTION AT JOINT 1

(SYMMETRIC PLATING TURNED ON)

1-4	4-2-12	7-8
	4-2-12	2-9-4



HL TO PK:7-7

LEFT HEIGHT:0-4-1 SPAN:7-0 RISE:3-3-1 RIGHT HEIGHT:3-3-1

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	30	TOP	1-2=0.429	TOP CHORD:2X4	No.2ND 19 SP
BOTT	0	BOTT	4-1=0.260	BOT CHORD:2X4	No.2ND 19 SP
		LL.DEFL.@0=0.00	< L/360	WEBS	:2X4 No.3 19 SP

TR.INC.: LUMB = 1.33 PLATE = 1.33

REPETITIVE STRESSES USED

SPACING : 24.0 in. o. c.

NO. OF MEMBERS = 1

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5-5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

TRUSSES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

TRUSSES MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDOS DESIGN SPECS, SSSC,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]

OCT 05 1999

(6)

====<<<<ACES-32 Ver. 1.1>>>>=====[007999]====<<<<FL.QUAL./REM>>>>=====
 Customer : FOGLIA-CHATEAU
 Project #: 99336 Truss ID : FG2
 Span : 14-2 Quantity : 2
 Bld(7/22/1998),v1.1
 Fri Oct 1 11:34:55 1999
 Family # : 303
 Top Pitch : /12

FORCES - LOAD CASE #1

REACTIONS - SIZE

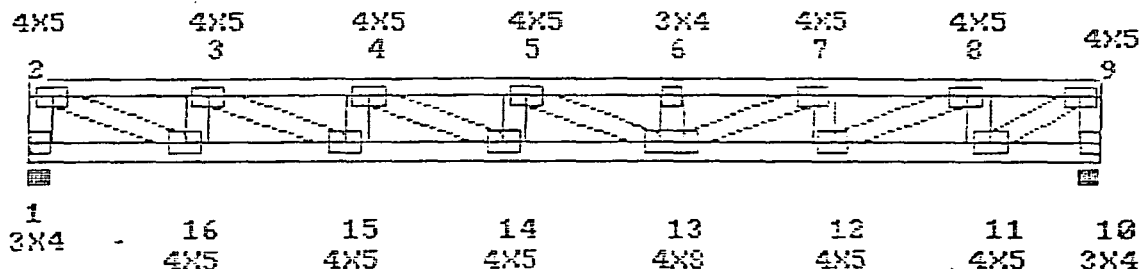
1-2=-1887	7-8=-4803	10-11= 0	16-1= 0	2-16= 3614	5-13=-195	9-11= 2915	1=-1908	3.50
2-3=-3229	8-9=-2360	11-12= 2360		3-16=-1581	6-13=-529		10=-1908	3.50
3-4=-5324	9-10=-1893	12-13= 4803		3-15= 2345	7-13= 1464			
4-5=-6285		13-14= 6285		4-15=-1011	7-12=-1186			
5-6=-6111		14-15= 5324		4-14= 1075	5-12= 2734			
6-7=-6111		15-16= 3229		5-14=-441	8-11=-1675			

PROVIDE FOR 1715 LBS UPLIFT AT JOINT 1 (0.90)

PROVIDE FOR 1715 LBS UPLIFT AT JOINT 10 (0.90)

(SYMMETRIC PLATING TURNED ON)

2-2-10	4-3-8	6-4-6	8-5-4	10-6-2	12-7	14-2
2-2-10	2-0-14	2-0-14	2-0-14	2-0-14	2-0-14	1-7



2-2-10	4-3-8	6-4-6	8-5-4	10-6-2	12-7	14-2
2-2-10	2-0-14	2-0-14	2-0-14	2-0-14	2-0-14	1-7

LEFT HEIGHT:1-4

SPAN:14-2

RISE:1-4

RIGHT HEIGHT:1-4

LOADING (PSF)

MAX STRESSES

MINIMUM GRADE OF LUMBER

TOP 30 15

TOP 4-5=0.534

TOP CHORD:2X4 No.2ND 19 SP

BOTT 0 10

BOTT 13-14=0.592

BOT CHORD:2X4 No.2ND 19 SP

LL.DEFL.@14=0.13 < L/360

WEBS :2X4 No.3 19 SP

REPETITIVE STRESSES NOT USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 2

LOADING	STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER	PLATE	TYPE	
1	1.33	1.33	UNIFORM 2- 9= 255 10- 1= 20

BOTH END VERTICALS ARE NOT EXPOSED.

2 MEMBERS NAILED TOG. W/1 ROW(S) OF .131x3 in. NAILS 10 in. o.c.(TOP CHS.),AND 1 ROW(S) OF .131x3 in. NAILS 12 in. o.c(BOTT. CHS.)
For Webs use 1 ROW of NAILS 12 in. o.c.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,15(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95

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OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>=====[008000]====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU

Project #: 99336

Span : 16-0

Truss ID : T19

Quantity : 1

Fri Oct 1 11:34:58 1999

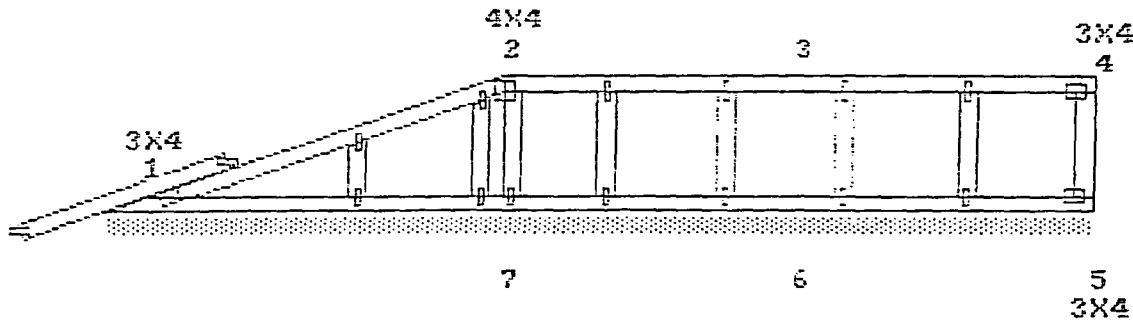
Family # : 313

Top Pitch : 5/12

==81d(7/22/1998),v1.1=====

NOTES: (1)-Gable studs spaced at 24 inches o.c.
(2)-Brace vertical studs in accordance with standard gable end detail
(3)-Continuous bearing provided along entire bottom chord
(4)-Provide 1X4 plates at each end of gable stud unless otherwise noted
(SYMMETRIC PLATING TURNED ON)

6-4-3	11-2-1	16-0
6-4-3	4-9-15	4-9-15



6-4-3	11-2-1	16-0
6-4-3	4-9-15	4-9-15

L. HL TO PK:6-10-9

LEFT HEIGHT:0-0-4

SPAN:16-0

RISE:2-8

RIGHT HEIGHT:2-8

LOADING (PSF)

MAX STRESSES

MINIMUM GRADE OF LUMBER

TOP 30 15

BOTT 0 10

LL.DEFL.@0=0.00 < L/360

TOP CHORD:2X4 No.2ND 19 SP

BOT CHORD:2X4 No.2ND 19 SP

WEBS :2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33

SPACING : 24.0 in. o. c.

REPETITIVE STRESSES USED

NO. OF MEMBERS = 1

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. 1,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND5 DESIGN SPECS, SSBC,ANSI/TPI-95

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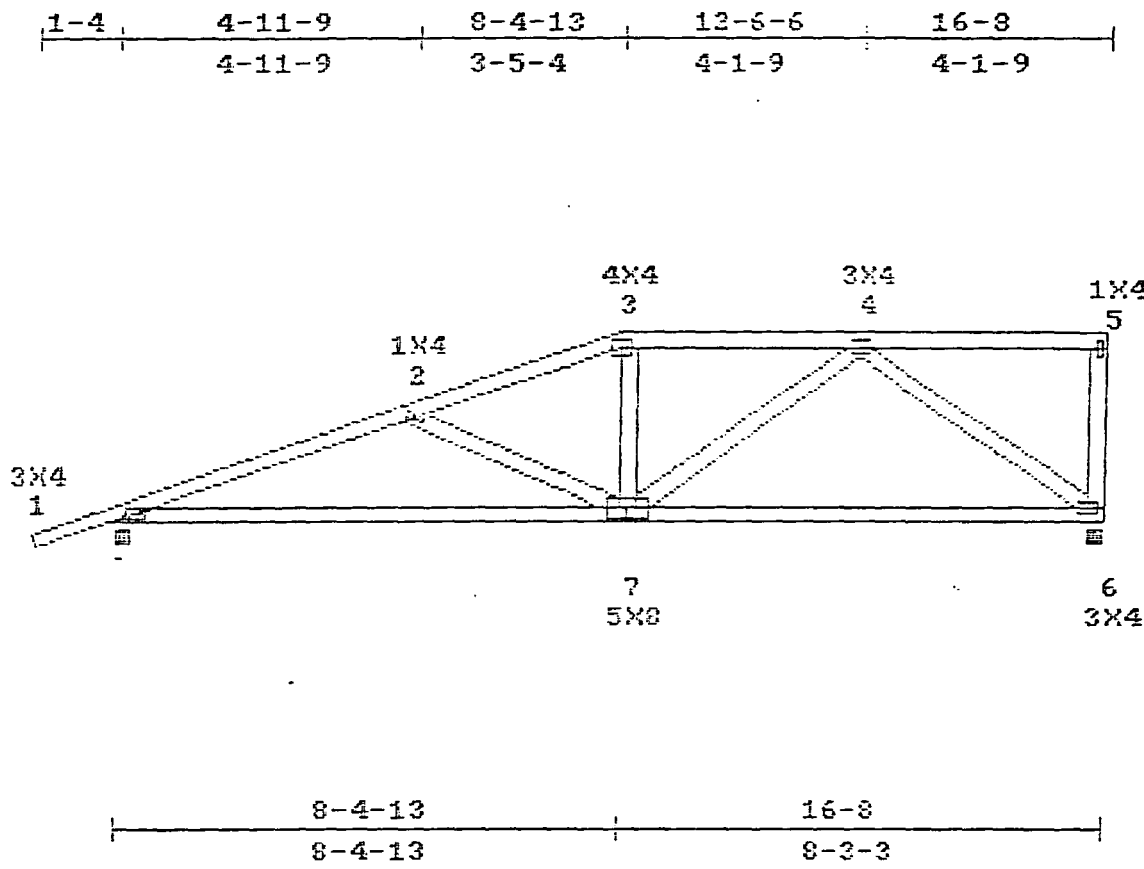
[Signature]

OCT 05 1999

===<<<<ACES-32 Ver. 1.1>>>===== [008001] =====<<<<FL.QUAL./REM>>>=====
 Customer : FOGLIA-CHATEAU
 Project #: 99336 Truss ID : T20
 Span : 16-8 Quantity : 1
 Bld(7/22/1998),v1.1
 Fri Oct 1 11:35:00 1999
 Family # : 313
 Top Pitch : 5/12

FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-1504	6-7= 720	2-7=-397	1=-1047	3.50
2-3=-1128	7-1= 1379	3-7= 96	6=-901	3.50
3-4=-1040		4-7= 422		
4-5= 0		4-6=-963		
5-6=-179				

PROVIDE FOR 1050 LBS UPLIFT AT JOINT 1 (1.00)
 PROVIDE FOR 850 LBS UPLIFT AT JOINT 6 (0.94)
 PROVIDE FOR 419 LBS HORIZ. REACTION AT JOINT 1
 PLATE OFFSETS (X=LEFT,Y=TOP): [j7=4,2], (SYMMETRIC PLATING TURNED ON)



L. HL TO PK:9-1-3		SPAN:16-8		RISE:3-10-1		RIGHT HEIGHT:3-10-1	
LEFT HEIGHT:0-4-1							
LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER			
L	D	TOP	1-2=0.710	TOP CHORD:	2X4	No.2ND	19 SP
TOP	30	15	BOTT 7-1=0.558	BOT CHORD:	2X4	No.2ND	19 SP
BOTT	0	10	LL.DEFL.@7=0.04 < L/360	WEBS	:2X4	No.3	19 SP
STR.INC.: LUMB = 1.33 PLATE = 1.33				SPACING : 24.0 in. o. c.			
REPETITIVE STRESSES USED				NO. OF MEMBERS = 1			

RIGHT END VERTICAL IS NOT EXPOSED.
 TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/HDS DESIGN SPECS, SSB,ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

====<<<ACES-32 Ver. 1.1>>>=====[008002]=====<<<FL.QUAL./REM>>>=====

Customer : FOGLIA-CHATEAU

Fri Oct 1 11:35:01 1999

Project #: 99336

Truss ID : T21

Family # : 313

Span : 16-8

Quantity : 1

Top Pitch : 5/12

==std(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

1-2=-1447 5-6= 0 2-7= 103
2-3=-855 6-7= 1328 2-6=-628
3-4=-788 7-1= 1328 3-6=-139
4-5=-839 4-6= 969

REACTIONS - SIZE

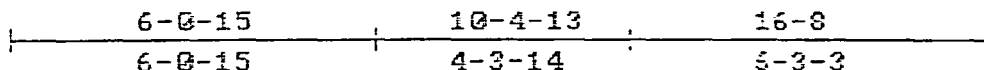
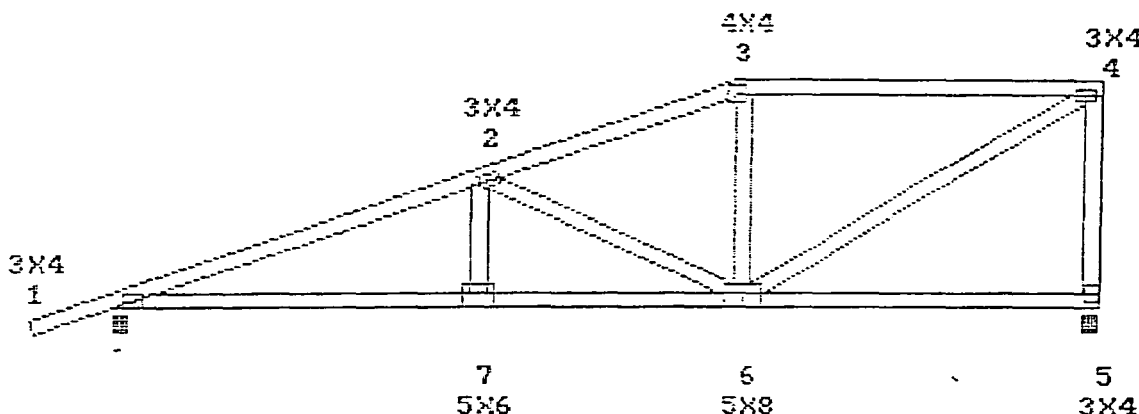
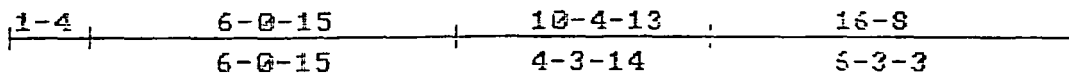
1=-1047 3.50
5=-901 3.50

PROVIDE FOR 1026 LBS UPLIFT AT JOINT 1 (0.98)

PROVIDE FOR 874 LBS UPLIFT AT JOINT 5 (0.97)

PROVIDE FOR 518 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j6=4,2], [j7=3,2], (SYMMETRIC PLATING TURNED ON)



L. HL TO PK:11-3-3

LEFT HEIGHT:0-4-1

SPAN:16-8

RISE:4-8-1

RIGHT HEIGHT:4-8-1

LOADING (PSF)

MAX STRESSES

MINIMUM GRADE OF LUMBER

TOP 30 15

TOP 3-4=0.885

TOP CHORD:2X4 SS 19 SP

BOTT 0 10

BOTT 6-7=0.381

BOT CHORD:2X4 No.2ND 19 SP

BOTT 0 10 LL.DEFL.@7=0.04 < L/360

WEBS :2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33

SPACING : 24.0 in. o. c.

REPETITIVE STRESSES USED

NO. OF MEMBERS = 1

RIGHT END VERTICAL IS NOT EXPOSED.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDG DESIGN SPECS, SSBC,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]
OCT 05 1999

====<<<ACES-32 Ver. 1.1>>>===== [008003] =====<<<FL.QUAL./REM>>>=====

Customer : FOGLIA-CHATEAU Truss ID : T22 Fri. Oct 1 11:35:03 1999

Project #: 99336 Family #: 313

Span : 16-8 Quantity : 1 Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

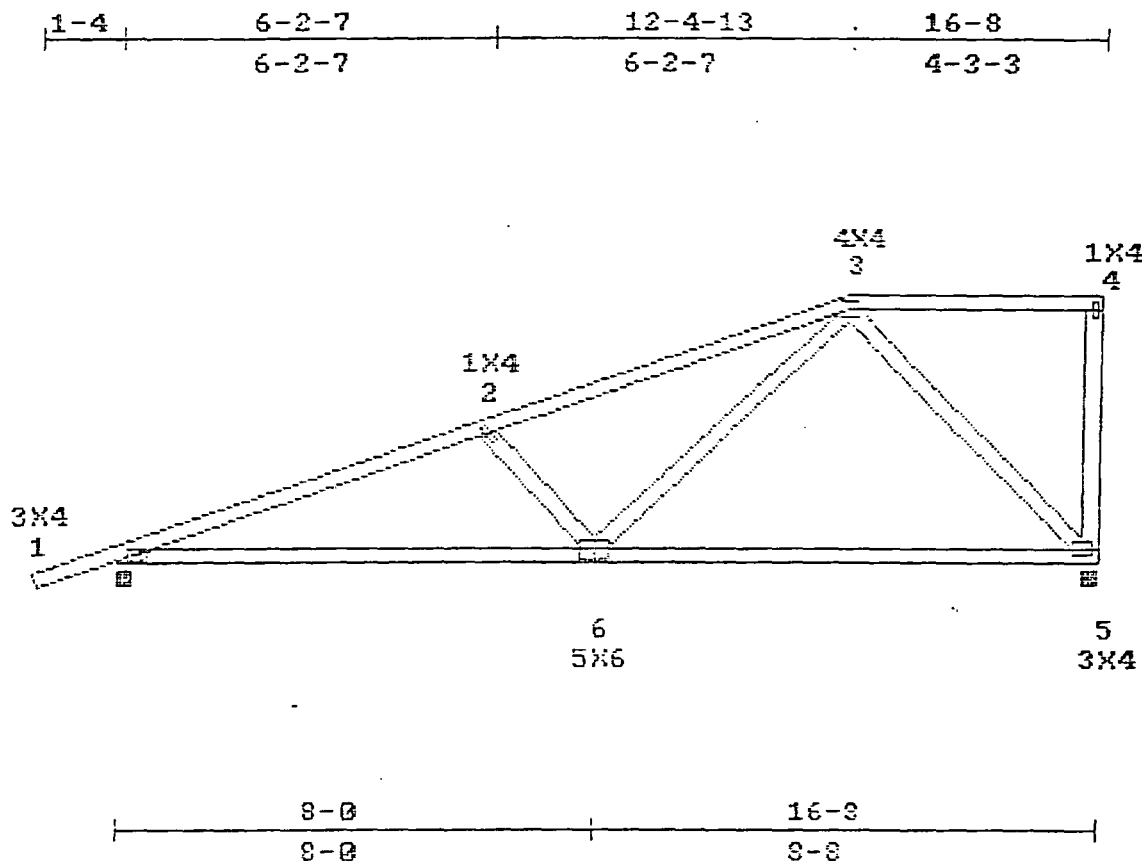
FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-1386	5-6= 498	2-6=-503	1=-1047	3.50
2-3=-1069	6-1= 1272	3-6= 757	5=-901	3.50
3-4= 0		3-5=-803		
4-5=-185				

PROVIDE FOR 997 LBS UPLIFT AT JOINT 1 (0.95)

PROVIDE FOR 903 LBS UPLIFT AT JOINT 5 (1.00)

PROVIDE FOR 616 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): {j6=3,2}, (SYMMETRIC PLATING TURNED ON)



L. HL TO PK:13-5-3

LEFT HEIGHT:0-4-1 SPAN:16-8 RISE:5-6-1 RIGHT HEIGHT:5-6-1

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	30	TOP	1-2=0.612	TOP CHORD:	2X4 SS 19 SP
BOTT	0	BOTT	6-1=0.539	BOT CHORD:	2X4 No.2ND 19 SP
		LL.DEFL.@6	=0.04 < L/360	WEBS	:2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33

REPETITIVE STRESSES USED

SPACING : 24.0 in. o. c.

NO. OF MEMBERS = 1

RIGHT END VERTICAL IS NOT EXPOSED.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,15(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDS DESIGN SPECS, SSBC,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]

OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>===== [008004] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Truss ID : S1 Fri Oct 1 11:35:05 1999

Project #: 99336 Quantity : 1 Family # : special

Span : 30-4 Bot pitch : 5/12

==Bld(7/22/1998),v1.1=====

FORCES - LOAD CASE #1

REACTIONS - SIZE

1-2=-939	7-8= 942	2-12= 133	5-8= 695	1=-879	3.50
2-3=-8	8-9= 423	2-11=-928	6-8=-240	7=-931	3.50
3-4= 938	9-10=-3468	3-11= 452	9-11= 10	10=-3499	8.00
4-5= 914	10-11= 0	3-9=-1304			
5-6=-942	11-12= 862	4-9=-486			
6-7=-1026	12-1= 862	5-9=-1756			

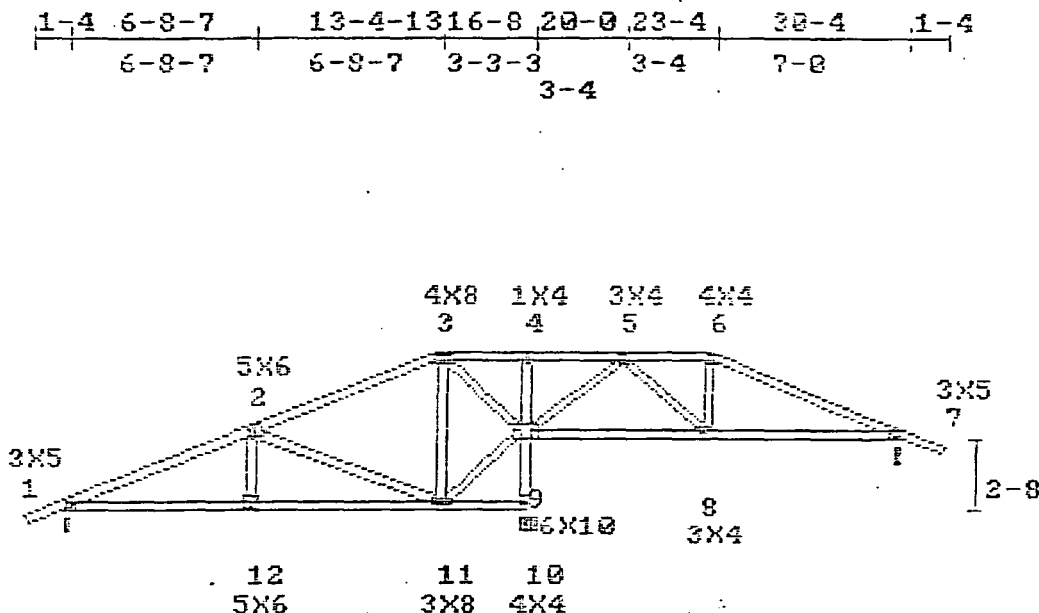
PROVIDE FOR 919 LBS UPLIFT AT JOINT 1 (1.05)

PROVIDE FOR 1002 LBS UPLIFT AT JOINT 7 (1.05)

PROVIDE FOR 3167 LBS UPLIFT AT JOINT 10 (0.91)

PROVIDE FOR 350 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j2=3,3], [j12=3,2], (SYMMETRIC PLATING TURNED ON)



6-8-7 13-4-1316-8 23-4 30-4
6-8-7 6-8-7 3-3-3 6-8 7-0

L. HL TO PK:14-6-3 INTERNAL RISE:2-8 R. HL TO PK:7-7
LEFT HEIGHT:0-4-1 SPAN:30-4 RISE:5-11-1 RIGHT HEIGHT:0-4-1

LOADING (PSF) MAX STRESSES MINIMUM GRADE OF LUMBER.

L D	TOP 6-7=0.756	TOP CHORD:2X4 SS 19 SP
TOP 30 15	BOTT 9-10=0.959	BOT CHORD:2X4 No.2ND 19 SP
BOTT 0 10	LL.DEFL.@12=0.04 < L/360	WEBS :2X4 No.3 19 SP

REPETITIVE STRESSES NOT USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

LOADING	STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER	PLATE	TYPE	
1	1.33	1.33	UNIFORM
			CONCENTRATED
			1- 4= 90 4- 6= 203 6- 7= 90 7- 8= 20 8- 9= 45 10- 1= 20
			9= 787

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CHORD: 9-10 TO BE 2X4 No.3 19 SP

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10(5+5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY(EXCEPT AS SHOWN) DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC, ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

====<<<<ACES-32 Ver. 1.1>>>>===== [008005] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Truss ID : S2 Fri Oct 1 11:35:07 1999

Project #: 99336 Quantity : 1 Family # : special

Span : 30-4 Bot pitch : 5/12

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==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-1257	7-8=-869	8-9= 796	2-13=-426	6-10=-967	1=-949	3.50
2-3=-897		9-10= 341	3-13= 478	6-9= 329	8=-780	3.50
3-4= 95		10-11=-1858	3-12=-867	7-9=-494	11=-1869	8.00
4-5= 428		11-12= 0	4-12= 805	10-12=-227		
5-6= 418		12-13= 614	4-10=-1205			
6-7=-370		13-1= 1153	5-10=-267			

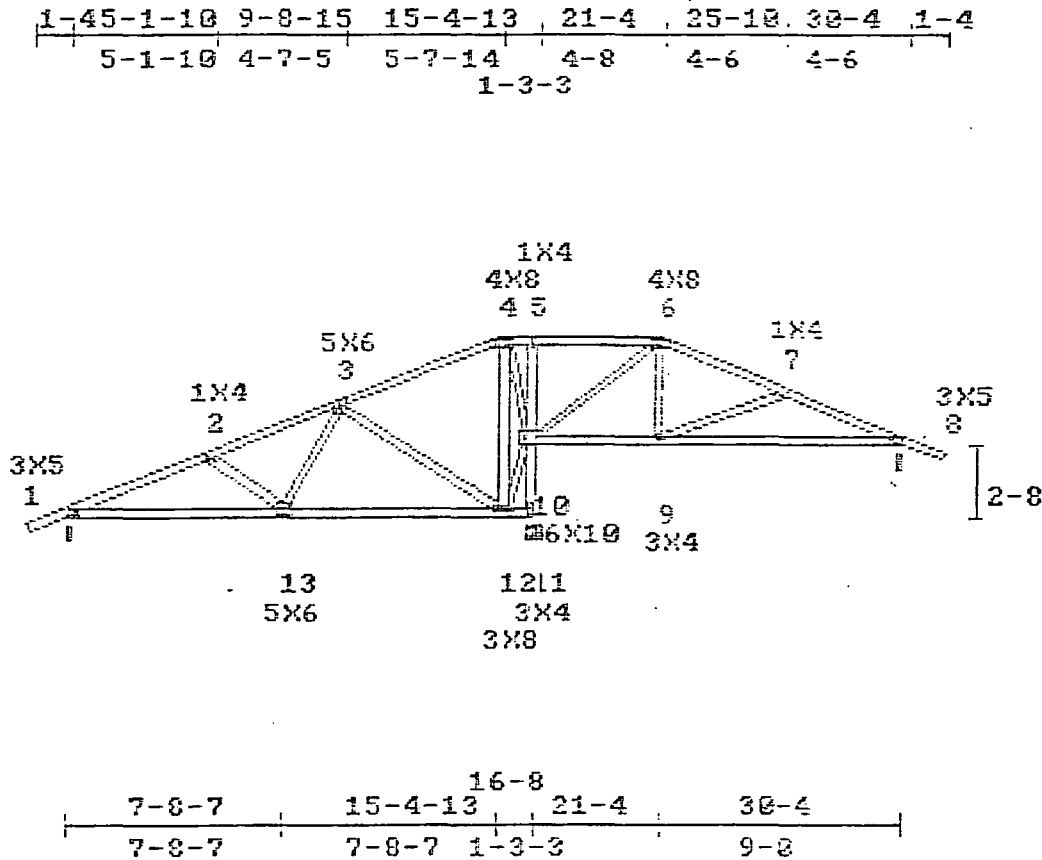
PROVIDE FOR 991 LBS UPLIFT AT JOINT 1 (1.05)

PROVIDE FOR 875 LBS UPLIFT AT JOINT 8 (1.12)

PROVIDE FOR 1675 LBS UPLIFT AT JOINT 11 (0.90)

PROVIDE FOR 359 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP):[j3=3,3],[j13=3,2],(SYMMETRIC PLATING TURNED ON)



HL TO PK:16-8-3 INTERNAL RISE:2-8 R. HL TO PK:9-9

EFT HEIGHT:0-4-1 SPAN:30-4 RISE:6-9-1 RIGHT HEIGHT:0-4-1

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
L	D	TOP	2-3=0.981	TOP CHORD:2X4	SS 19 SP
OP	30	BOTT	13-1=0.523	BOT CHORD:2X4	No.2ND 19 SP
OTT	0	LL.DEFL.	@13=0.04 < L/360	WEBS	:2X4 No.3 19 SP

TR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.

REPETITIVE STRESSES NOT USED NO. OF MEMBERS = 1

ORD: 10-11 TO BE 2X4 No.3 19 SP

USS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,105-5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

ATES ARE NITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

ATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDSD DESIGN SPECS, SSBC,ANSI/TPI-95

IS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>===== [008006] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:35:09 1999

Project #: 99336 Truss ID : FG1 Family # : 303

Span : 16-10-8 Quantity : 2 Top Pitch : /12

==Bld(7/22/1998),v1.1=====

FORCES - LOAD CASE #1

REACTIONS - SIZE

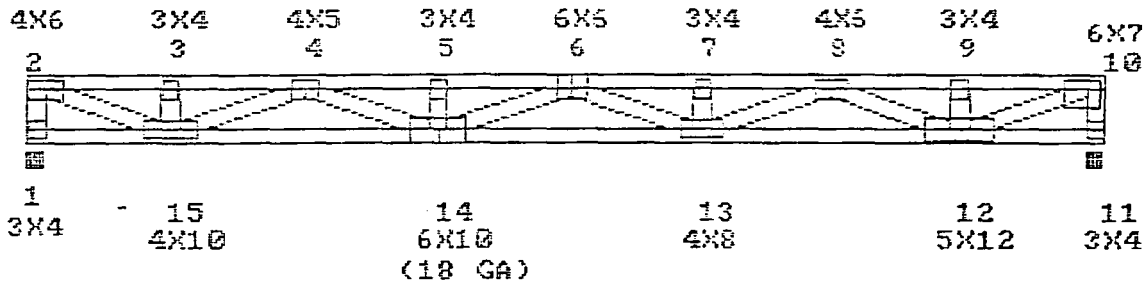
1-2=-3485 7-8=-14364 11-12= 0
 2-3=-6156 8-9=-5510 12-13= 10257
 3-4=-6156 9-10=-5510 13-14= 14734
 4-5=-13544 10-11=-2929 14-15= 10630
 5-6=-13544 15-1= 0
 6-7=-14364

2-15= 6890 6-13=-414
 3-15=-784 7-13=-1795
 4-15=-5006 8-13= 4597
 4-14= 3261 8-12=-5312
 5-14=-784 9-12=-521
 6-14=-1332 10-12= 6167

1=-3506 3.50
 11=-2950 3.50

PROVIDE FOR 3156 LBS UPLIFT AT JOINT 1 (0.90)
 PROVIDE FOR 2654 LBS UPLIFT AT JOINT 11 (0.90)
 PLATE OFFSETS (X=LEFT,Y=TOP): [j6=3,3.5], [j10=4.5,2], [j14=5,2.5], (SYMMETRIC PLATINE TURNED ON)

2-2-10 4-3-8 6-4-6 8-5-4 10-6-2 12-7 14-7-14 16-10-8
 2-2-10 2-0-14 2-0-14 2-0-14 2-0-14 2-0-14 2-0-14 2-2-10



2-2-10 6-4-6 10-6-2 14-7-14 16-10-8
 2-2-10 4-1-12 4-1-12 4-1-12 2-2-10

LEFT HEIGHT:1-4 SPAN:16-10-8 RISE:1-4 RIGHT HEIGHT:1-4

LOADING (PSF) MAX STRESSES MINIMUM GRADE OF LUMBER

TOP L D	TOP 6-7=0.628	TOP CHORD:2X4 SS 19 SP
BOTT 30 15	BOTT 13-14=0.822	BOT CHORD:2X4 SS 19 SP
BOTT 0 10	LL.DEFL.@13=0.37 < L/360	WEBS :2X4 No.3 19 SP

REPETITIVE STRESSES NOT USED

SPACING : 24.0 in. o. c.
 NO. OF MEMBERS = 2

LOADING	STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER	PLATE	TYPE	
1	1.33	1.33	UNIFORM 2- 7= 378 7-10= 155 11- 1= 20
			CONCENTRATED 7= 1243

WEB: 2-15 TO BE 2X4 No.2ND 19 SP
 BOTH END VERTICALS ARE NOT EXPOSED.
 2 MEMBERS NAILED TOG. W/1 ROW(S) OF .131x3 in. NAILS 7 in. o.c.(TOP CHS.),AND 1 ROW(S) OF .131x3 in. NAILS 12 in. o.c.(BOTT. CHS.)
 For Webs use 1 ROW of NAILS 12 in. o.c.
 TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 M1 FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249,200 M18-196,152 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND5 DESIGN SPECS, SSBC,ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>=====[008007]====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU
Project #: 99336
Span : 30-4

Truss ID : S3
Quantity : 1

Fri Oct 1 11:35:11 1999
Family # : special
Top Pitch : 5/12
Bot pitch : 90/12

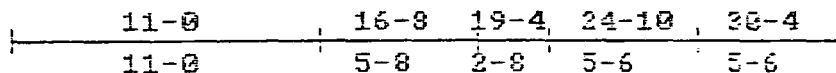
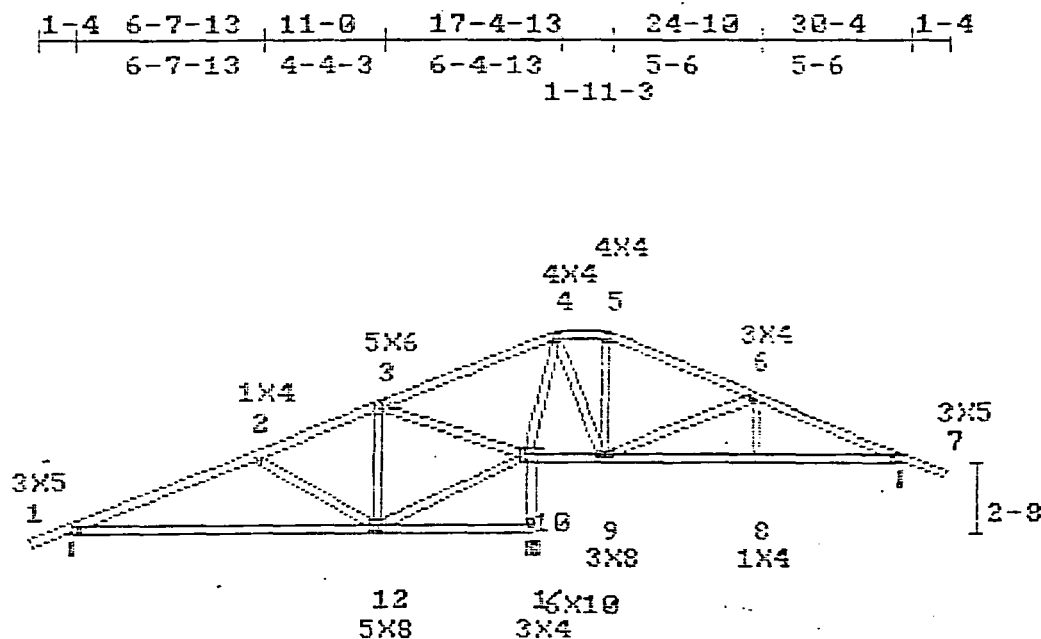
==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-861	7-8= 616	2-12=-535	6-9=-758	1=-889	3.50
2-3=-370	8-9= 616	3-12= 289	4-8= 109	7=-708	3.50
3-4= 716	9-10=-395	3-10=-1052	10-12= 379	11=-2001	8.00
4-5= 83	10-11=-1946	4-10=-1424			
5-6= 90	11-12= 0	4-9= 810			
6-7=-671	12-1= 791	5-9=-369			

PROVIDE FOR 919 LBS UPLIFT AT JOINT 1 (1.03)
PROVIDE FOR 791 LBS UPLIFT AT JOINT 7 (1.12)
PROVIDE FOR 1833 LBS UPLIFT AT JOINT 11 (0.92)
PROVIDE FOR 369 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j3=3,3], [j12=4,2], (SYMMETRIC PLATINGS TURNED ON)



L. HL TO PK:18-10-3	INTERNAL RISE:2-8	R. HL TO PK:11-11
LEFT HEIGHT:0-4-1	SPAN:30-4	RIGHT HEIGHT:0-4-1
=====		
LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER.
L D	TOP 2-3=0.978	TOP CHORD:2X4 SS 19 SP
TOP 30 15	BOTT 12-1=0.682	BOT CHORD:2X4 No.2ND 19 SP
BOTT 0 10	LL.DEFL.@8=0.02 < L/360	WEBS :2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33
REPETITIVE STRESSES USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

CHORD: 10-11 TO BE 2X4 No.3 19 SP
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,12(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSB,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>===== [008008] = (12) <<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU
 Project #: 99336
 Span : 30-4
 Truss ID : S4
 Quantity : 3
 Fri Oct 1 11:35:13 1999
 Family # : special
 Top Pitch : 5/12
 Bot pitch : 90/12

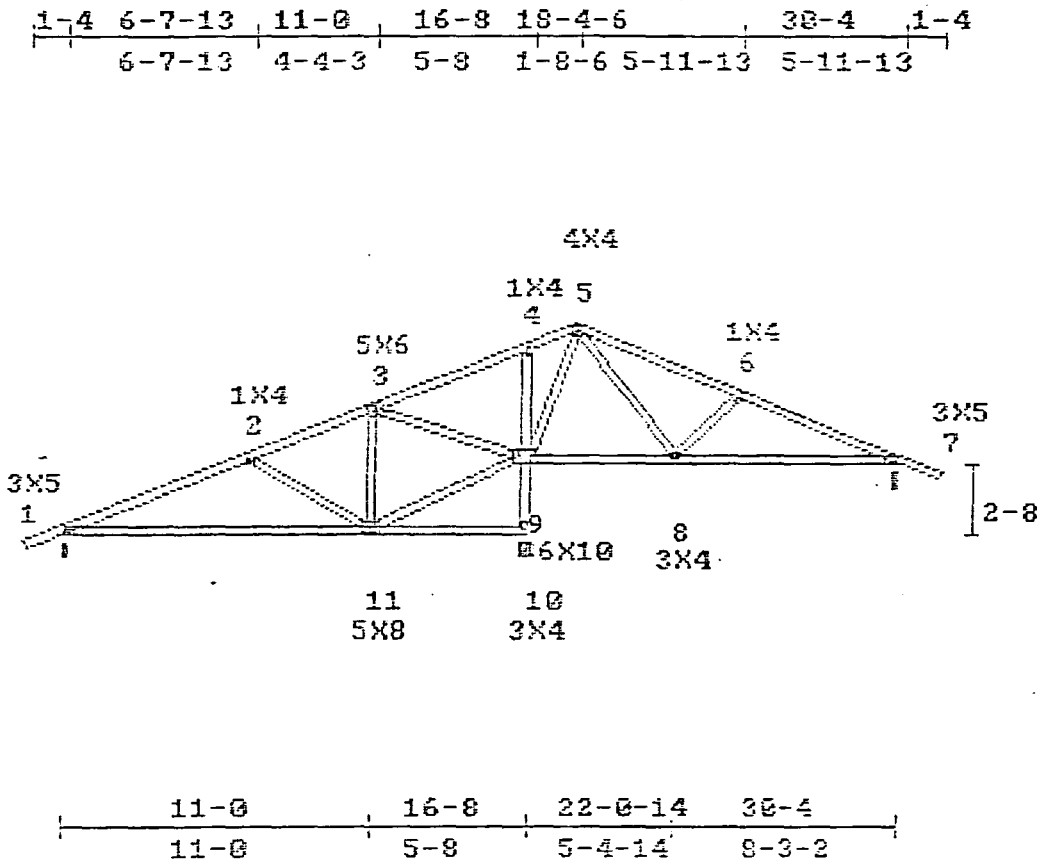
====Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-841	7-8= 483	2-11=-535	6-8=-513	1=-881	3.50
2-3=-350	8-9=-243	3-11= 297	9-11= 359	7=-699	3.50
3-4= 702	9-10=-1962	3-9=-1030		10=-2017	8.00
4-5= 690	10-11= 0	4-9=-336			
5-6=-151	11-1= 773	5-9=-1141			
6-7=-526		5-8= 644			

PROVIDE FOR 902 LBS UPLIFT AT JOINT 1 (1.02)
 PROVIDE FOR 770 LBS UPLIFT AT JOINT 7 (1.10)
 PROVIDE FOR 1571 LBS UPLIFT AT JOINT 10 (0.93)
 PROVIDE FOR 374 LBS HORIZ. REACTION AT JOINT 1
 PLATE OFFSETS (X=LEFT,Y=TOP): [j3=3,3], [j11=4,2], (SYMMETRIC PLATING TURNED ON)



L. HL TO PK:19-10-12
 LEFT HEIGHT:0-4-1
 INTERNAL RISE:2-8
 SPAN:30-4
 RISE:7-11-14
 R. HL TO PK:12-11-9
 RIGHT HEIGHT:0-4-1

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
L	D	TOP	BOTT	TOP CHORD	BOT CHORD
30	15	3-4=0.685	11-1=0.635	2X4 SS 19 SP	2X4 No.2ND 19 SP
0	10	LL.DEFL.@11=0.02 < L/360		WEBS :2X4	No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33
 REPETITIVE STRESSES USED
 SPACING : 24.0 in. o. c.
 NO. OF MEMBERS = 1

CHORD: 9-10 TO BE 2X4 No.3 19 SP
 TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,10(S+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD-A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSB,ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]
 OCT 05 1999

====<<<ACES-32 Ver. 1.1>>>===== [008009] =====<<<FL.QUAL./REM>>>=====

Customer : FOGLIA-CHATEAU
Project #: 99336
Span : 30-4

Truss ID : S5
Quantity : 4

Fri Oct 1 11:35:15 1999
Family # : special
Top Pitch : 5/12
Bot pitch : 90/12

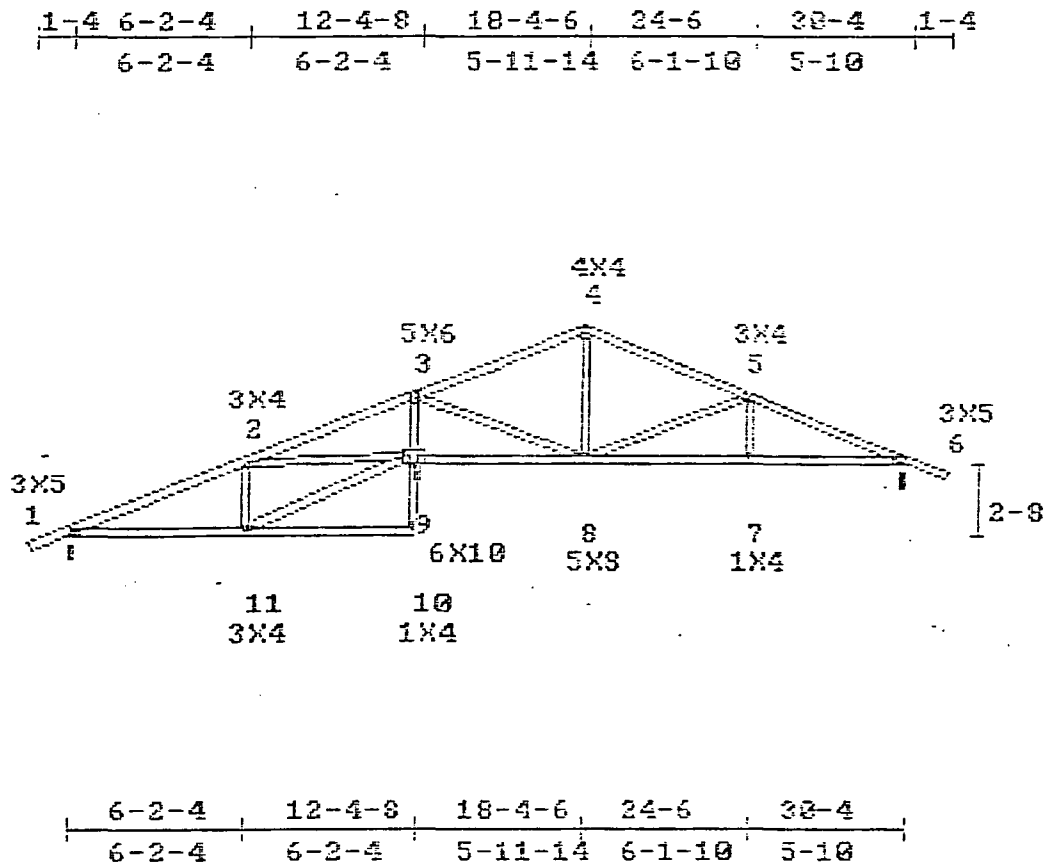
==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-584	6-7= 1402	2-11=-116	5-7= 118	1=-711	3.50
2-3= 552	7-8= 1402	2-9=-1045	9-11= 585	6=-1067	3.50
3-4=-688	8-9=-425	3-9=-1474		9=-1821	3.00
4-5=-688	9-10= 60	3-8= 1150			
5-6=-1528	10-11= 0	4-8=-16			
	11-1= 536	5-8=-826			

PROVIDE FOR 765 LBS UPLIFT AT JOINT 1 (1.08)
PROVIDE FOR 1116 LBS UPLIFT AT JOINT 6 (1.05)
PROVIDE FOR 1654 LBS UPLIFT AT JOINT 9 (0.91)
PROVIDE FOR 374 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j3=3,3], [j8=4,2], (SYMMETRIC PLATING TURNED ON)



L. HL TO PK:19-10-12 INTERNAL RISE:2-8 R. HL TO PK:12-11-9
LEFT HEIGHT:0-4-1 SPAN:30-4 RISE:7-11-14 RIGHT HEIGHT:0-4-1

LOADING (PSF)			MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	L	D	TOP	2-3=0.893	TOP CHORD:2X4	SS 19 SP
BOTT	0	10	BOTT	7-8=0.433	BOT CHORD:2X4	No.2ND 19 SP
			LL.DEFL.@7=0.05	< L/360	WEBS	:2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33
REPETITIVE STRESSES USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

CHORD: 9-10 TO BE 2X4 No.3 19 SP
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,1205+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
DESIGN CONFORMS W/NDS DESIGN SPECS, SSBC,ANSI/TP1-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

(17)

====<<<<ACES-32 Ver. 1.1>>>>===== [008010] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : FG3	Fri Oct 1 11:35:17 1999
Project #: 99336	Quantity : 2	Family # : 303
Span : 15-8		Top Pitch : /12

====Sld(7/22/1998),v1.1=====

FORCES - LOAD CASE #1

REACTIONS - SIZE

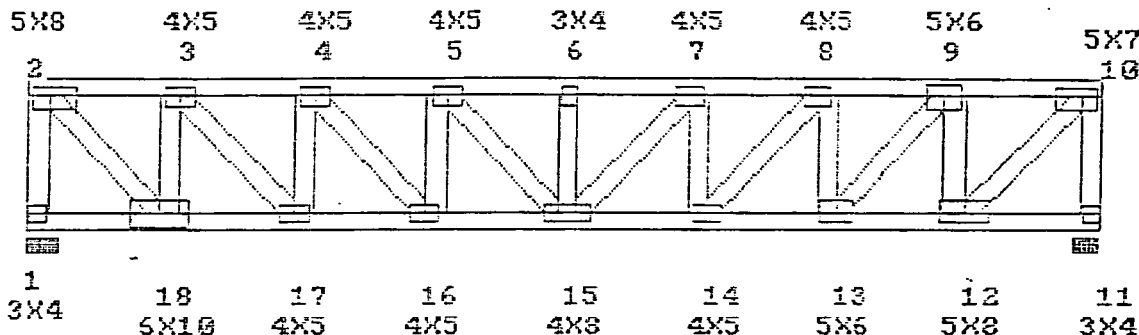
1-2=-8837	7-8=-11305	11-12= 0	17-18= 6455	2-18= 10262	5-15= 796	9-13= 5990	1=-8857	5.54
2-3=-6455	8-9=-8959	12-13= 5191	18-1= 0	3-18=-7939	6-15=-1720	9-12=-6377	11=-7294	4.57
3-4=-9802	9-10=-5191	13-14= 8959		3-17= 5320	7-15= 1466	10-12= 5252		
4-5=-11726	10-11=-7275	14-15= 11305		4-17=-4097	7-14=-2860			
5-6=-12227		15-16= 11726		4-16= 3058	8-14= 3728			
6-7=-12227		16-17= 9802		5-16=-2339	8-13=-4618			

PROVIDE FOR 7984 LBS UPLIFT AT JOINT 1 (0.90)

PROVIDE FOR 6575 LBS UPLIFT AT JOINT 11 (0.90)

PLATE OFFSETS (X=LEFT,Y=TOP): [j2=3,2], [j10=4.5,2], [j12=4,3], [j13=3,3], (SYMMETRIC PLATING TURNED ON)

2-0-13 3-11-14 7-10 9-9-1 11-8-2 13-7-3 15-8
2-0-13 1-11-1 1-11-1 1-11-1 1-11-1 1-11-1 1-11-1 2-0-13



5-10-15
2-0-13 3-11-14 7-10 9-9-1 11-8-2 13-7-3 15-8
2-0-13 1-11-1 1-11-1 1-11-1 1-11-1 1-11-1 1-11-1 2-0-13

LEFT HEIGHT:2-8 SPAN:15-8 RISE:2-8 RIGHT HEIGHT:2-8

LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
L D	TOP 5-6=0.675	TOP CHORD:2X4 SS 19 SP
TOP 30 15	BOTT 15-16=0.530	BOT CHORD:2X4 SS 19 SP
BOTT 0 10	LL.DEFL.@15=0.17 < L/360	WEBS :2X4 No.3 19 SP

REPETITIVE STRESSES NOT USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 2

LOADING STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER PLATE	TYPE	
1 1.33 1.33	UNIFORM	2-10= 895 11- 1= 20
	CONCENTRATED	3= 2083

REB: 1-2; 2-18; 3-18; 10-12 TO BE 2X4 No.2ND 19 SP

BOTH END VERTICALS ARE NOT EXPOSED.

MEMBERS NAILED TOG. W/1 ROW(S) OF .131x3 in. NAILS 3 in. o.c.(TOP CHS.),AND 1 ROW(S) OF .131x3 in. NAILS 12 in. o.c.(BOTT. CHS.)
or Webs use 1 ROW of NAILS 12 in. o.c.

RUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

LATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

LATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDIS DESIGN SPECS, SSBC,ANSI/TP1-95

HIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]
OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>===== [008011] (18) <<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:35:19 1999

Project #: 99336 Truss ID : S6 Family # : special

Span : 30-4 Quantity : 1 Top Pitch : 5/12

Bot pitch : 90/12

==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-584	6-7= 1402	2-11=-116	5-7= 118	1=-711	3.50
2-3= 552	7-8= 1402	2-9=-1045	9-11= 585	6=-920	3.50
3-4=-688	8-9=-425	3-9=-1474		9=-1821	3.00
4-5=-688	9-10= 60	3-8= 1150			
5-6=-1528	10-11= 0	4-8=-16			
	11-1= 536	5-8=-526			

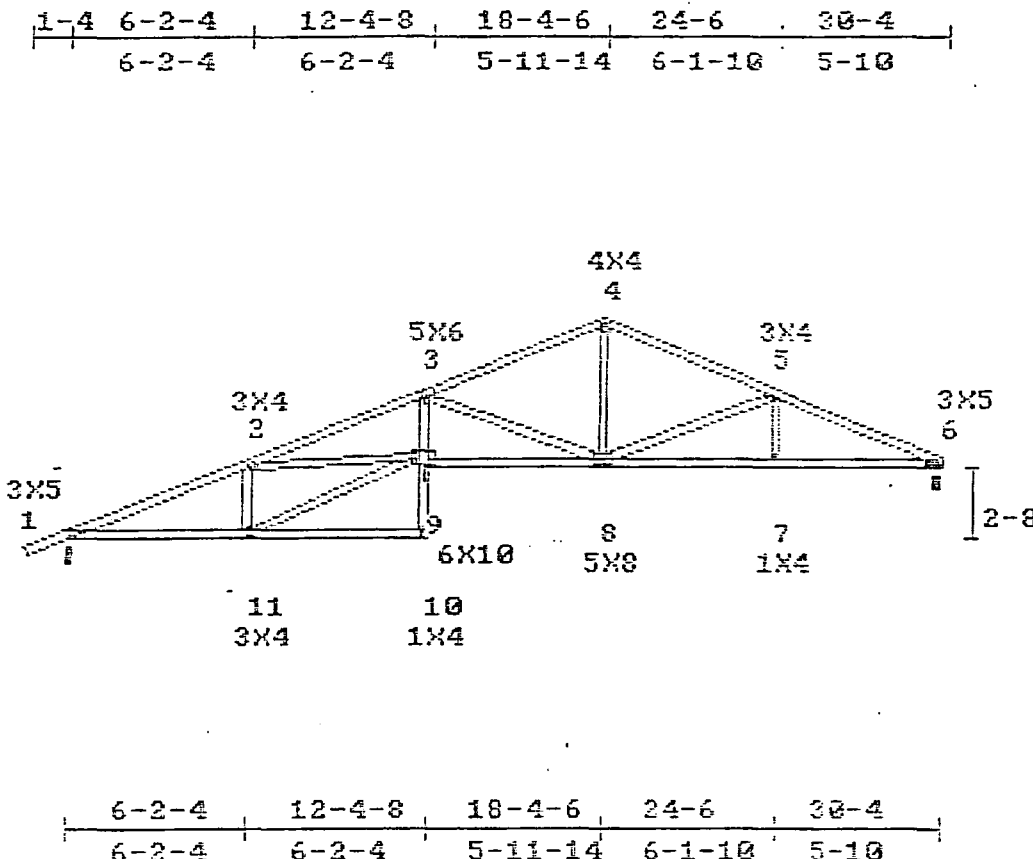
PROVIDE FOR 765 LBS UPLIFT AT JOINT 1 (1.08)

PROVIDE FOR 826 LBS UPLIFT AT JOINT 6 (0.90)

PROVIDE FOR 1654 LBS UPLIFT AT JOINT 9 (0.91)

PROVIDE FOR 374 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j3=3,3], [j8=4,2], (SYMMETRIC PLATING TURNED ON)



HL TO PK:19-10-12 INTERNAL RISE:2-8 R. HL TO PK :12-11-9

LEFT HEIGHT:0-4-1 SPAN:30-4 RISE:7-11-14 RIGHT HEIGHT:0-4-1

LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
L D	TOP 2-3=0.893	TOP CHORD:2X4 SS 19 SP
OP 30 15	BOTT 7-8=0.433	BOT CHORD:2X4 No.2ND 19 SP
OTT 0 10	LL.DEFL.@7=0.05 < L/360	WEBS :2X4 No.3 19 SP

TR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.

REPETITIVE STRESSES USED NO. OF MEMBERS = 1

CORD: 9-10 TO BE 2X4 No.3 19 SP

WIND CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(3+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSB,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]

OCT 05 1999

(19)

====<<<ACES-32 Ver. 1.1>>>=====[008012]====<<<FL.QUAL./REM>>>=====
 Customer : FOGLIA-CHATEAU Fri Oct 1 11:35:22 1999
 Project #: 99336 Truss ID : S7 Family # : special
 Span : 30-4 Quantity : 1 Top Pitch : 5/12
 Bot pitch : 90/12

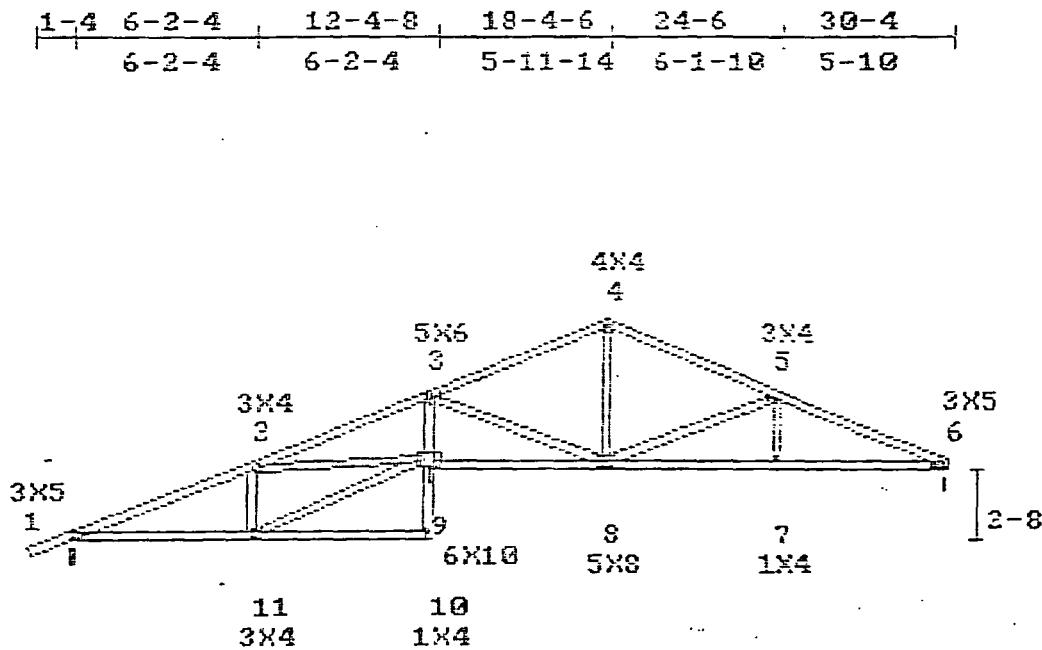
==Sld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-578	6-7= 1419	2-11=-113	5-7= 119	1=-708	3.50
2-3= 564	7-8= 1419	2-9=-1051	9-11= 580	6=-923	1.50
3-4=-690	8-9=-435	3-9=-1485		9=-1829	3.00
4-5=-690	9-10= 60	3-8= 1163			
5-6=-1543	10-11= 0	4-8=-15			
	11-1= 530	5-8=-843			

PROVIDE FOR 763 LBS UPLIFT AT JOINT 1 (1.05)
 PROVIDE FOR 829 LBS UPLIFT AT JOINT 6 (0.90)
 PROVIDE FOR 1661 LBS UPLIFT AT JOINT 9 (0.91)
 PROVIDE FOR 374 LBS HORIZ. REACTION AT JOINT 1
 PLATE OFFSETS (X=LEFT,Y=TOP): [j3=3,3], [j8=4,2], (SYMMETRIC PLATING TURNED ON)



6-2-4 12-4-8 18-4-6 24-6 30-4
 6-2-4 6-2-4 5-11-14 6-1-10 5-10

L. HL TO PK:19-10-12 INTERNAL RISE:2-8 R. HL TO PK:12-11-9
 LEFT HEIGHT:0-4-1 SPAN:30-4 RISE:7-11-14 RIGHT HEIGHT:0-4-1

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
L	D	TOP	2-3=0.896	TOP CHORD:	2X4 SS 19 SP
TOP	30 15	BOTT	7-8=0.437	BOT CHORD:	2X4 No.2ND 19 SP
BOTT	0 10	LL.DEFL.@7=0.05 < L/360		WEBS	:2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33
 REPETITIVE STRESSES USED

SPACING : 24.0 in. o. c.
 NO. OF MEMBERS = 1

CHORD: 9-10 TO BE 2X4 No.3 19 SP

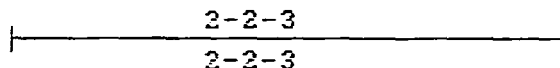
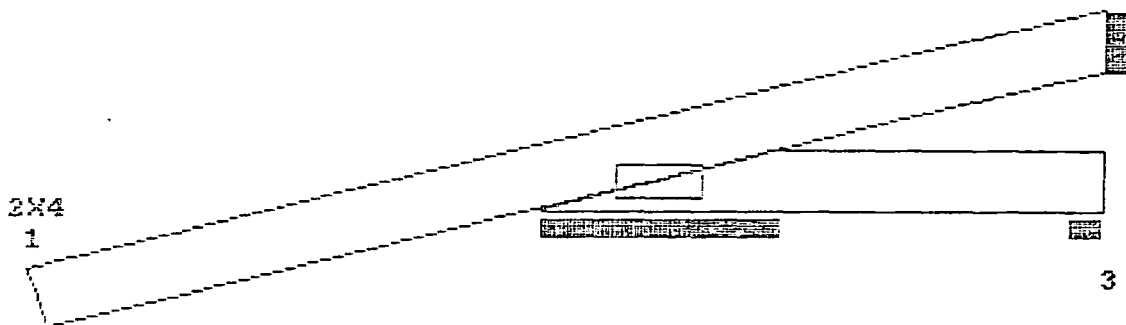
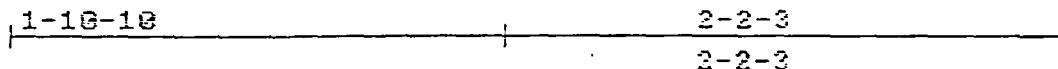
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDS DESIGN SPECS, SSBC,ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

===<<<<ACES-32 Ver. 1.1>>>>===== [008013] (20) =====<<<<FL.QUAL./REM>>>>=====
 Customer : FOGLIA-CHATEAU
 Project #: 99336 Truss ID : HJ2
 Span : 2-2-3 Quantity : 1
 Sld(7/22/1998), v1.1
 Fri Oct 1 11:35:24 1999
 Family # : 205
 Top Pitch : 3.536/12

FORCES - LOAD CASE #1
 1-2= 0 3-1= 0
 2-3= 0
 REACTIONS - SIZE
 1=-237 11.31
 3=-8 1.50
 2=-24 1.50

PROVIDE FOR 544 LBS UPLIFT AT JOINT 1 (2.30)
 PROVIDE FOR 153 LBS UPLIFT AT JOINT 2 (6.35)
 PROVIDE FOR 89 LBS HORIZ. REACTION AT JOINT 1
 (SYMMETRIC PLATING TURNED ON)



L. HL TO PK:2-3-5
 LEFT HEIGHT:0-3-14 SPAN:2-2-3 RISE:0-11-10 RIGHT HEIGHT:0-11-10
 LOADING (PSF) MAX STRESSES MINIMUM GRADE OF LUMBER
 TOP L D TOP 1-2=0.126 TOP CHORD:2X4 No.2ND 19 SP
 BOT 30 15 BOT 3-1=0.009 BOT CHORD:2X4 No.2ND 19 SP
 BOTT 0 10 LL.DEFL. < L/360 WEBS :2X4 No.3 19 SP

REPETITIVE STRESSES NOT USED

SPACING : 24.0 in. o. c.
 NO. OF MEMBERS = 1

LOADING STRESS INCREASE LOADING PANEL(PLF) / JOINTS(LBS)
 LUMBER PLATE TYPE
 1 1.33 1.33 UNIFORM 1- 2= 29 3- 1= 6

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10(5+5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/ NDS DESIGN SPECS, SSBC, ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]

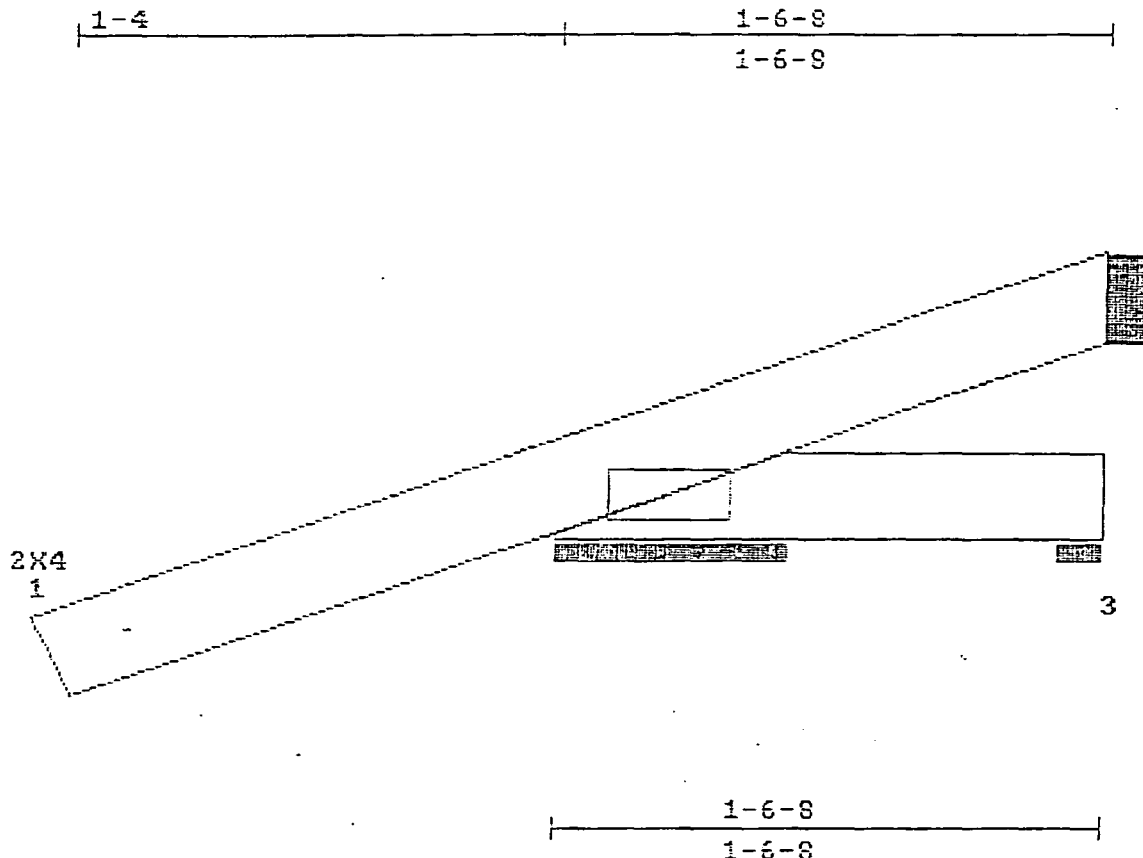
OCT 05 1999

(21)

====<<<ACES-32 Ver. 1.1>>>=====[008014]====<<<FL.QUAL./REM>>>=====
Customer : FOGLIA-CHATEAU
Project #: 99336 Truss ID : J2
Span : 1-6-8 Quantity : 1
Top Pitch : 5/12
====Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS		REACTIONS - SIZE	
1-2= 0	3-1= 0	1=-210	8.00
2-3= 0		3=-11	1.50
		2=-52	1.50

PROVIDE FOR 371 LBS UPLIFT AT JOINT 1 (1.77)
PROVIDE FOR 100 LBS UPLIFT AT JOINT 2 (1.94)
PROVIDE FOR 88 LBS HORIZ. REACTION AT JOINT 1
(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:1-8-1		SPAN:1-6-8		RISE:0-11-12		RIGHT HEIGHT:0-11-12	
LEFT HEIGHT:0-4-1							
LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER			
TOP	30	15	TOP 1-2=0.055	TOP CHORD:2X4	No.2ND	19	SP
BOTT	0	10	BOTT 3-1=0.007	BOT CHORD:2X4	No.2ND	19	SP
		LL.DEFL. < L/360		WEBS	:2X4	No.3	19 SP
STR.INC.: LUMB = 1.33 PLATE = 1.33				SPACING : 24.0 in. o. c.			
REPETITIVE STRESSES USED				NO. OF MEMBERS = 1			

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. 1,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER...

[Signature]

OCT 05 1999

(22)

====<<<<ACES-32 Ver. 1.1>>>>===== [008015] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:35:29 1999

Project #: 99336 Truss ID : T32 Family # : 313

Span : 3-2 Quantity : 1 Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

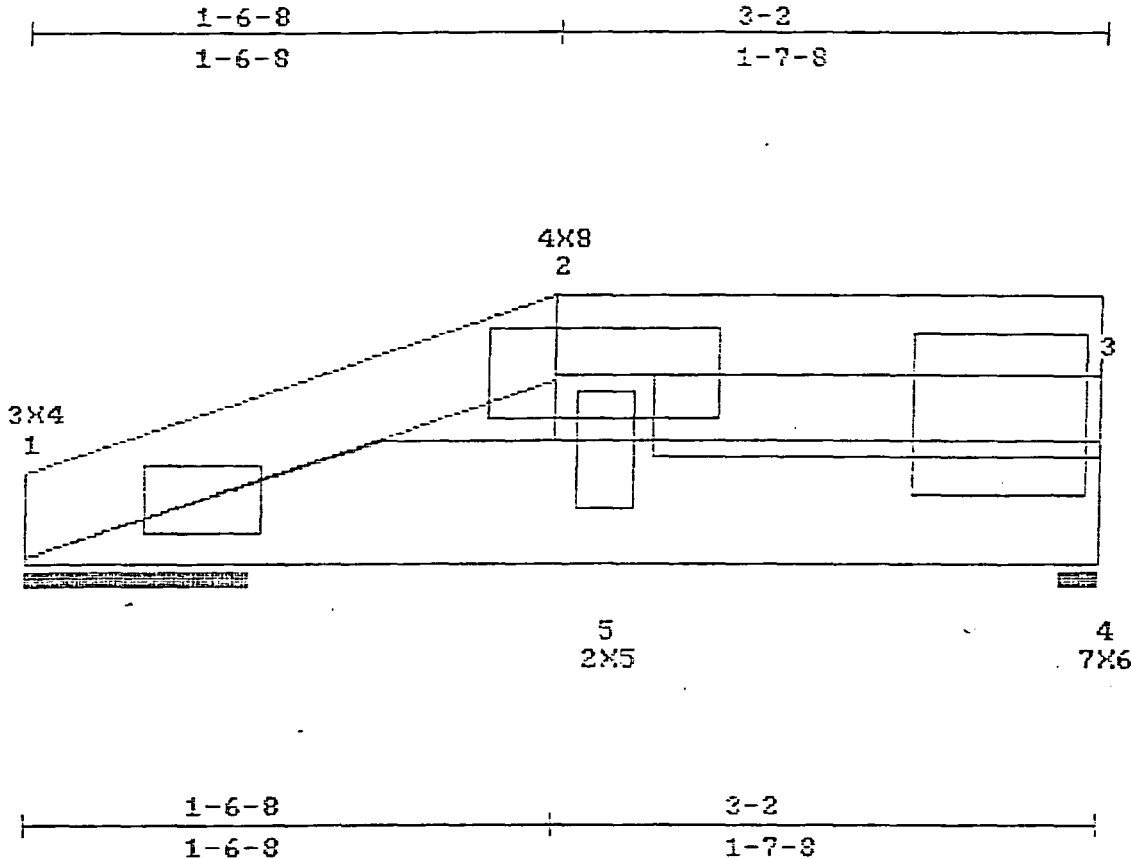
FORCES - LOAD CASE #1			REACTIONS - SIZE	
1-2=-937	4-5= 838	2-5= 627	1=-731	8.00
2-3= 0	5-1= 838	2-4=-899	4=-717	1.50
3-4=-62				

PROVIDE FOR 675 LBS UPLIFT AT JOINT 1 (0.92)

PROVIDE FOR 672 LBS UPLIFT AT JOINT 4 (0.94)

PROVIDE FOR 86 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP):[j5=3,1],(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:1-8-1

LEFT HEIGHT:0-4-1 SPAN:3-2 RISE:0-11-12 RIGHT HEIGHT:0-11-12

=====

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	30	TOP	1-2=0.167	TOP CHORD:2X4	No.2ND 19 SP
BOTT	0	BOTT	5-1=0.167	BOT CHORD:2X6	No.2D 19 SP
		LL.DEFL.@5=0.00	< L/360	WEBS	:2X4 No.3 19 SP

=====

REPETITIVE STRESSES NOT USED SPACING : 24.0 in. o. c.

NO. OF MEMBERS = 1

LOADING	STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER	PLATE	TYPE	
1	1.33	1.33	UNIFORM
			CONCENTRATED
			1- 2= 90 2- 3= 80 4- 5= 424 5- 1= 425
			5= 38

RIGHT END VERTICAL IS NOT EXPOSED.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDS DESIGN SPECS, SSB,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

====<<<ACES-32 Ver. 1.1>>>===== [008016] =====<<<FL.QUAL./REM>>>=====

Customer : FOGLIA-CHATEAU
Project #: 99336
Span : 32-0

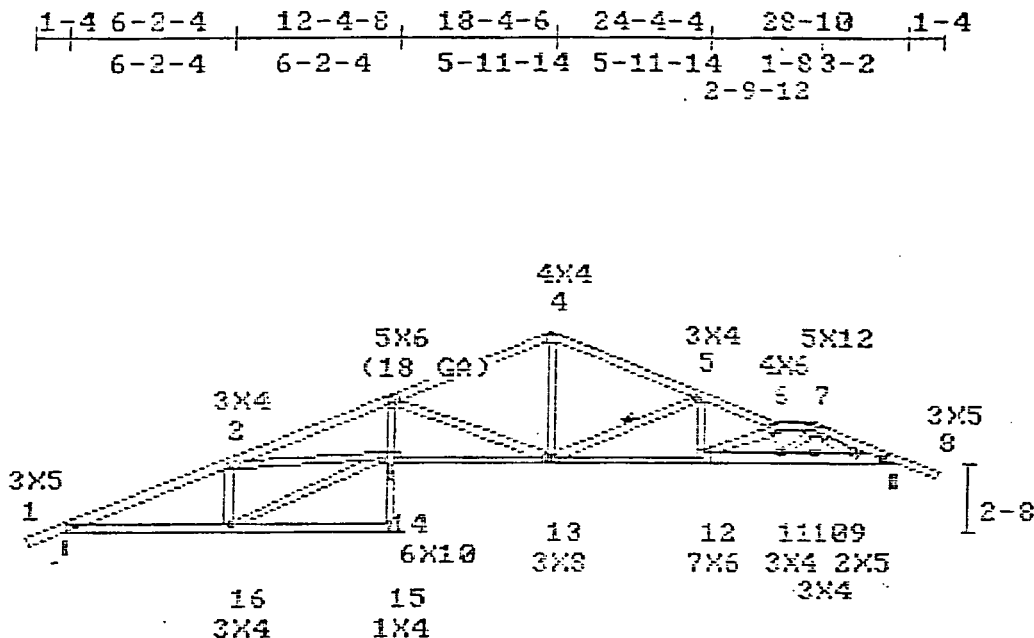
Truss ID : S8
Quantity : 1

Fri Oct 1 11:35:31 1999
Family # : special
Top Pitch : 5/12
Bot pitch : 90/12

==Bld(7/22/1998),v1.1=====

REACTIONS - SIZE
1=-615 3.50
8=-1769 3.50
14=-2117 3.00

PROVIDE FOR 659 LBS UPLIFT AT JOINT 1 (1.07)
PROVIDE FOR 1738 LBS UPLIFT AT JOINT 8 (0.95)
PROVIDE FOR 1951 LBS UPLIFT AT JOINT 14 (0.92)
PROVIDE FOR 383 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j3=3,3], [j7=6,2], [j9=3,1], [j12=3,4], (SYMMETRIC PLATING TURNED ON)



6-2-4 12-4-8 18-4-6 24-4-4 28-10 1-4
6-2-4 6-2-4 5-11-14 5-11-14 1-8 1-8

L. HL TO PK:19-10-12 INTERNAL RISE:2-8 R. HL TO PK:3-5-3
LEFT HEIGHT:0-4-1 SPAN:32-0 RISE:7-11-14 RIGHT HEIGHT:0-4-1

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	30	TOP	5-6=0.608	TOP CHORD:	2X4 SS 19 SP
BOTT	0	BOTT	9-10=0.427	BOT CHORD:	2X6 SS 19 SP
		LL.DEFL.@11=0.09 < L/360		WEBS:	2X4 No.3 19 SP

REPETITIVE STRESSES NOT USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

LOADING	STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER	PLATE	TYPE	
1	1.33	1.33	UNIFORM 1- 8= 90 8-14= 20 15- 1= 20
			CONCENTRATED 9= 720

CHORD: 12-13; 13-14; 15-16; 16-1 TO BE 2X4 SS 19 SP

CHORD: 14-15 TO BE 2X4 No.2ND 19 SP

EB: 14-16 TO BE 2X4 No.2ND 19 SP

EB 5-13 BRACED at 1/2 POINTS AS SHOWN ABOVE

Note: Use 1x4 or 2x3 Cont. Bracing conn. w/2-8d nails, or T-brace of same size and grade as web conn. to narrow face w/10d nails 6 in. o.c.

RUSS CHECKED FOR 145 MPH WIND, ENCL. BLDG., MEAN HGT. 16 FT, BLDG. CAT. I, EXP. CAT. C, 105-5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).

LATES ARE MITEK M20-249, 200 M18-196, 152 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)

LATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/ NDS DESIGN SPECS, SSB, C, NDS, ANSI/TPI-95

HIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

(24)

====<<<<ACES-32 Ver. 1.1>>>>===== [008017] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU
Project #: 99336
Span : 32-0

Truss ID : S9
Quantity : 1

Fri Oct 1 11:35:33 1999
Family # : special
Top Pitch : 5/12
Bot pitch : 90/12

==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

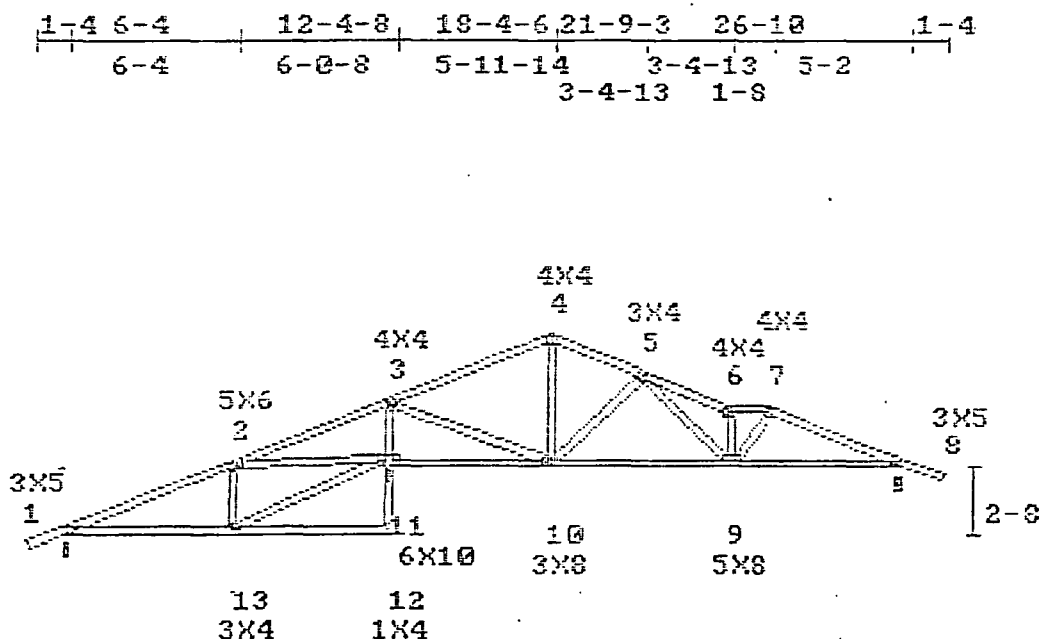
1-2=-455 7-8=-1741 8-9= 1595
2-3= 781 9-10= 1189
3-4=-725 10-11=-625
4-5=-725 11-12= 59
5-6=-2051 12-13= 0
6-7=-1896 13-1= 418

2-13=-68 5-9= 1030
2-11=-1139 6-9=-1011
3-11=-1668 7-9= 498
3-10= 1404 11-13= 458
4-10= 135
5-10=-757

1=-667 3.50
8=-1138 3.50
11=-1976 3.00

PROVIDE FOR 721 LBS UPLIFT AT JOINT 1 (1.0S)
PROVIDE FOR 1176 LBS UPLIFT AT JOINT 8 (1.0S)
PROVIDE FOR 1801 LBS UPLIFT AT JOINT 11 (0.91)
PROVIDE FOR 374 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j2=3,3], [j9=4,2], (SYMMETRIC PLATING TURNED ON)



6-4 12-4-8 18-4-6 25-2 32-0
6-4 6-0-8 5-11-14 6-9-10 6-10

HL TO PK:19-10-12
LEFT HEIGHT:0-4-1

INTERNAL RISE:2-8
SPAN:32-0 RISE:7-11-14

R. HL TO PK :5-7-3
RIGHT HEIGHT:0-4-1

LOADING (PSF)
L D
TOP 30 15
BOTT 0 10

MAX STRESSES
TOP 2-3=0.917
BOTT 8-9=0.505
LL.DEFL.@9=0.08 < L/360

MINIMUM GRADE OF LUMBER
TOP CHORD:2X4 SS 19 SP
BOT CHORD:2X4 No.2ND 19 SP
WEBS :2X4 No.3 19 SP

TR.INC.: LUMB = 1.33 PLATE = 1.33
REPETITIVE STRESSES USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

CHORD: 11-12 TO BE 2X4 No.3 19 SP

RUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDSDS DESIGN SPECS, SSBC,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]
OCT 05 1999

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==<<<<ACES-32 Ver. 1.1>>>>===== [ 008018 ] =====<<<<FL.QUAL./REM>>>>=====
Customer : FOGLIA-CHATEAU                               Fri Oct 1 11:35:35 1999
Project # : 99336                                         Truss ID   : FG5       Family #   : 303
Span      : 4-2                                           Quantity  : 2         Top Pitch  : /12
==Bld(7/22/1998).v1.1=====

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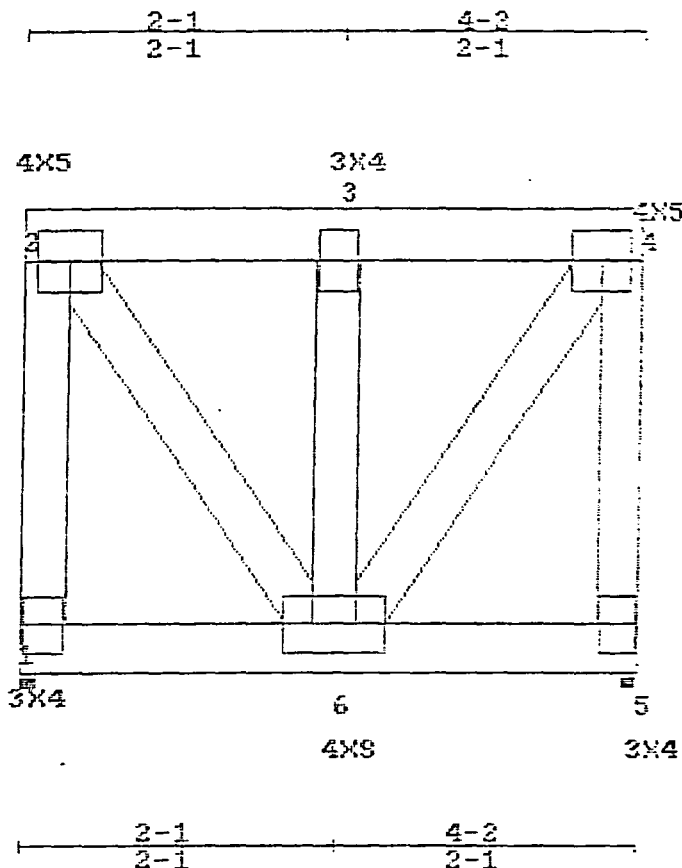
FORCES - LOAD CASE #1

REACTIONS - SIZE

1-2=-1903	5-6= 0	2-6= 2379
2-3=-1541	6-1= 0	3-6=-2929
3-4=-1541		4-6= 2379
4-5=-1903		

1=-1923	1.50
5=-1923	1.50

PROVIDE FOR 1758 LBS UPLIFT AT JOINT 1 (0.91)
PROVIDE FOR 1758 LBS UPLIFT AT JOINT 5 (0.91)
(SYMMETRIC PLATING TURNED ON)



LEFT HEIGHT:2-8			SPAN:4-2		RISE:2-8		RIGHT HEIGHT:2-8	
LOADING (PSF)			MAX STRESSES		MINIMUM GRADE OF LUMBER			
	L	D	TOP	2-3=0.201	TOP CHORD:	2X4	No.2ND	19 SP
TOP	30	15	BOTT	5-6=0.008	BOT CHORD:	2X4	No.2ND	19 SP
BOTT	0	10	LL.DEFL.	@6=0.01 < L/360	WEBS	:2X4	No.3	19 SP

REPETITIVE STRESSES NOT USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 2

LOADING	STRESS	INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)	
	LUMBER	PLATE	TYPE		
1	1.33	1.33	UNIFORM	2- 4= 90	5- 1= 20
			CONCENTRATED	3= 2747	6= 654

BOTH END VERTICALS ARE NOT EXPOSED.

2 MEMBERS NAILED TOG. W/1 ROW(S) OF .131x3 in. NAILS 3 in. o.c.(TOP CHS.),AND 1 ROW(S) OF .131x3 in. NAILS 12 in. o.c(BOTT. CHS.)
For Webs use 1 ROW of NAILS 12 in. o.c.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 76 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

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====<<<<ACES-32 Ver. 1.1>>>>===== [008019] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : T1	Fri Oct 1 11:35:38 1999
Project #: 99336	Quantity : 2	Family # : special
Span : 19-7-8		Top Pitch : 5/12

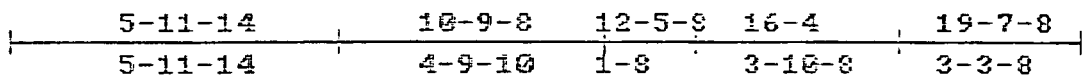
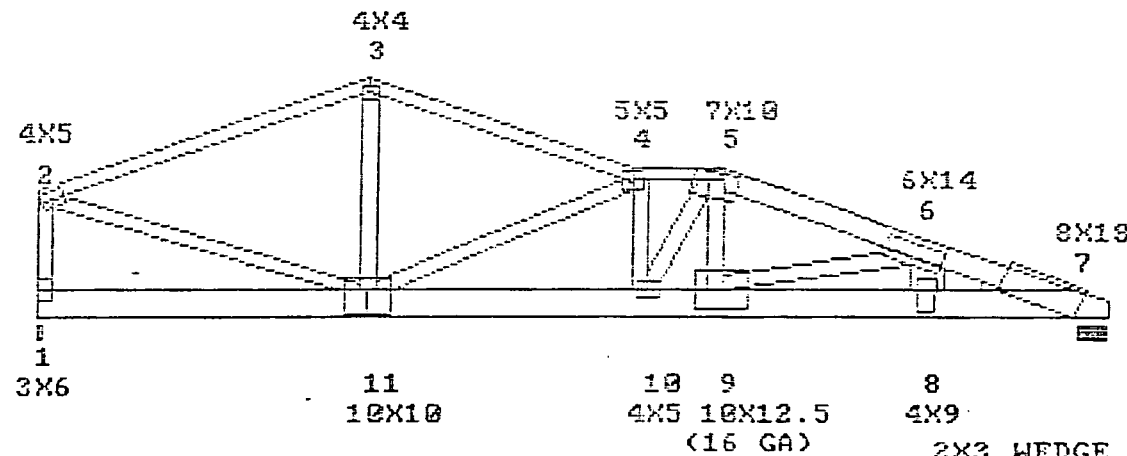
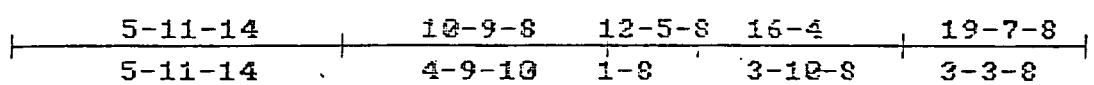
==Bld(7/22/1998),v1.1=====

FORCES - LOAD CASE #1

REACTIONS - SIZE

1-2=-2713	7-8= 26376	2-11= 3219	6-9=-18124	1=-2773	1.72
2-3=-3220	8-9= 26376	3-11= 1976	6-8= 11054	7=-11613	6.90
3-4=-3223	9-10= 9010	4-11=-6017			
4-5=-8140	10-11= 8140	4-10= 1566			
5-6=-9855	11-1= 0	5-10=-1736			
6-7=-26267		5-9= 5245			

PROVIDE FOR 2511 LBS UPLIFT AT JOINT 1 (0.91)
PROVIDE FOR 10452 LBS UPLIFT AT JOINT 7 (0.90)
PROVIDE FOR 315 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j5=5,2.5], [j6=7,4], [j8=6,2], [j11=5,3], (SYMMETRIC PLATING TURNED ON)



L. HL TO PK: 6-5-14	SPAN: 19-7-8	RISE: 5-3-14	R. HL TO PK: 7-9-3
LEFT HEIGHT: 2-9-15			RIGHT HEIGHT: 0-4-1
=====			
LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER	
TOP L D	TOP 6-7=0.874	TOP CHORD: 2X4	SS 19 SP
BOTT 30 15	BOTT 7-8=0.899	BOT CHORD: 2X8	SS 19 SP
BOTT 0 10	LL.DEFL.@8=0.19 < L/360	WEBS : 2X4	No.3 19 SP
=====			

REPETITIVE STRESSES NOT USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 2

LOADING	STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER	PLATE	TYPE	
1	1.33	1.33	UNIFORM 2- 7= 90 7- 8= 873 8- 1= 20
			CONCENTRATED 8= 9704

CHORD: 5-6; 6-7 TO BE 2X6 SS 19 SP
WEB: 6-9 TO BE 2X4 SS 19 SP
WEB: 6-8 TO BE 2X8 SS 19 SP
LEFT END VERTICAL IS NOT EXPOSED.
2 MEMBERS NAILED TOG. W/1 ROW(S) OF .131x3 in. NAILS 12 in. o.c.(TOP CHS.),AND 3 ROW(S) OF .131x3 in. NAILS 3 in. o.c.(BOTT. CHS.)
for Webs use 1 ROW of NAILS 12 in. o.c.
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 M16-174,122 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSSBC,ANSI/TPI-95

[Signature]
OCT 05 1999

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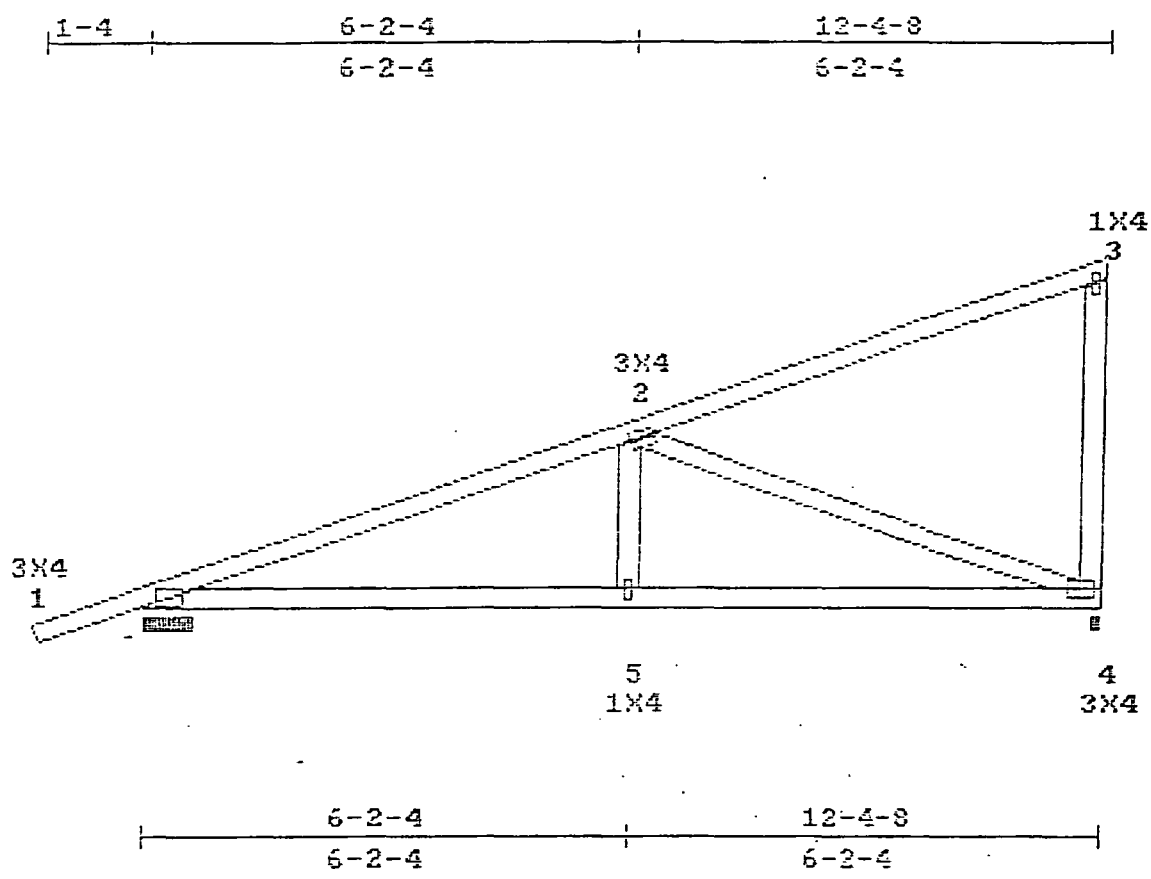
====<<<ACES-32 Ver. 1.1>>>===== [008020] =====<<<FL.QUAL./REM>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:35:40 1999
Project #: 99336 Truss ID : T2 Family # : 201
Span : 12-4-8 Quantity : 1 Top Pitch : 5/12

==Bld(7/22/1995),v1.1=====

FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-827	4-5= 755	2-5= 120	1=-806	8.00
2-3= 0	5-1= 755	2-4=-821	4=-659	1.50
3-4=-276				

PROVIDE FOR 810 LBS UPLIFT AT JOINT 1 (1.01)
PROVIDE FOR 788 LBS UPLIFT AT JOINT 4 (1.20)
PROVIDE FOR 656 LBS HORIZ. REACTION AT JOINT 1
(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:13-4-14
LEFT HEIGHT:0-4-1 SPAN:12-4-8 RISE:5-5-15 RIGHT HEIGHT:5-5-15

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	30	TOP	1-2=0.741	TOP CEORD:	2X4 SS 19 SP
BOTT	0	BOTT	4-5=0.302	BOT CEORD:	2X4 No.2ND 19 SP
		LL.DEFL.@5	=0.02 < L/360	WEBS	:2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.
REPETITIVE STRESSES USED NO. OF MEMBERS = 1

RIGHT END VERTICAL IS NOT EXPOSED.
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. 1,13(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDS DESIGN SPECS, SSBC,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]
OCT 05 1999

(28)

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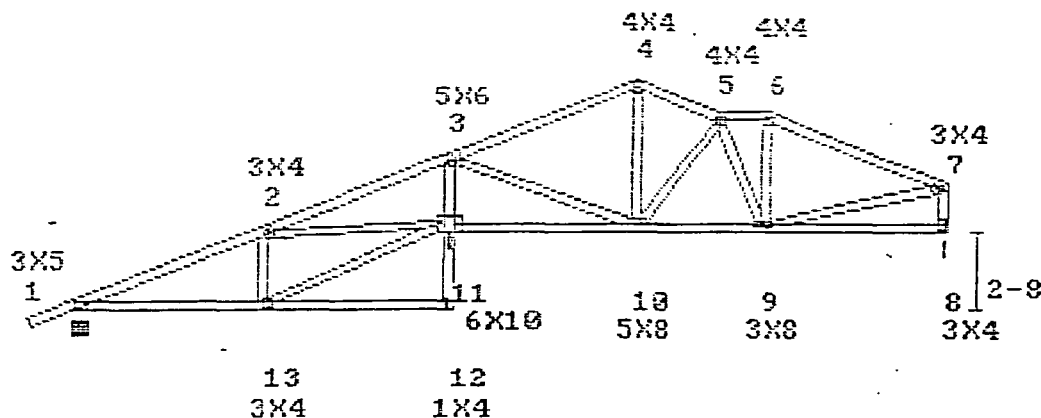
Fri Oct 1 11:35:42 1999
Family # : special
Top Pitch : 5/12
Bot pitch : 90/12

```

REACTIONS - SIZE

1=-744	8.00
8=-859	1.50
11=-1653	2.30

1-4	6-2-4	12-4-8	18-4-6	21-2	28-8
	6-2-4	6-2-4	5-11-14	1-8	5-10
			2-9-10		



6-2-4	12-4-8	18-4-6	22-10	28-8
6-2-4	6-2-4	5-11-14	4-5-10	5-10

OCT 05 1993

LOADING (PSF)		MAX STRESSES	MINIMUM GRADE OF LUMBER	
L	D	TOP 2-3=0.850	TOP CHORD: 2X4	SS 19 SP
TOP 30	15	BOTT 9-10=0.296	BOT CHORD: 2X4	No.2ND 19 SP
BOTT 0	10	LL.DEFL.@9=0.02 < L/360	WEBS : 2X4	No.3 19 SP

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

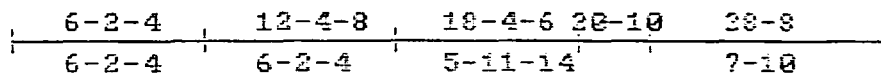
THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

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REACTIONS - SIZE

1=-749	8.00
9=-863	1.50
12=-1645	3.00

PLATE OFFSETS (X=LEFT,Y=TOP): [i3=3,3], [i11=4,2], (SYMMETRIC PLATING TURNED ON)



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OCT 05 1999

LOADING (PSF)		MAX STRESSES	MINIMUM GRADE OF LUMBER	
L	D	TOP 2-3=0.845	TOP CHORD:2X4	SS 19 SP
30	15	BOTT 9-10=0.359	BOT CHORD:2X4	No.2ND 19 SP
0	10	LL.DEFL.@10=0.02 < L/360	WEBS :2X4	No.3 19 SP

TR.INC.: LUMB = 1.33 PLATE = 1.33
REPETITIVE STRESSES USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

WORD: 12-13 TO BE 2X4 No.3 19 SP
RIGHT END VERTICAL IS NOT EXPOSED.

PUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 105+5 PSF DL, 20.00 MI FROM OCEANLINE (SBC).

ATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)

ATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/ NDS DESIGN SPECS, SSBC, ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

(30)

====<<<<ACES-32 Ver. 1.1>>>>===== [008023] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU

Project # : 99336

Span : 28-8

Truss ID : S12

Quantity : 1

Fri Oct 1 11:35:46 1999

Family # : special

Top Pitch : 5/12

Bot pitch : 90/12

==Bld(7/22/1998), v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-714

7-8= 774

2-11=-169

5-7=-969

1=-760

8.00

2-3= 234

8-9=-146

2-9=-868

9-11= 713

7=-871

1.50

3-4=-671

9-10= 60

3-9=-1218

9=-1626

3.00

4-5=-671

10-11= 0

3-8= 816

5-6= 0

11-1= 652

4-8=-22

6-7=-193

5-8=-153

PROVIDE FOR 751 LBS UPLIFT AT JOINT 1 (0.99)

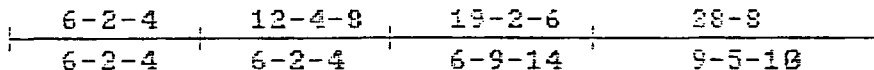
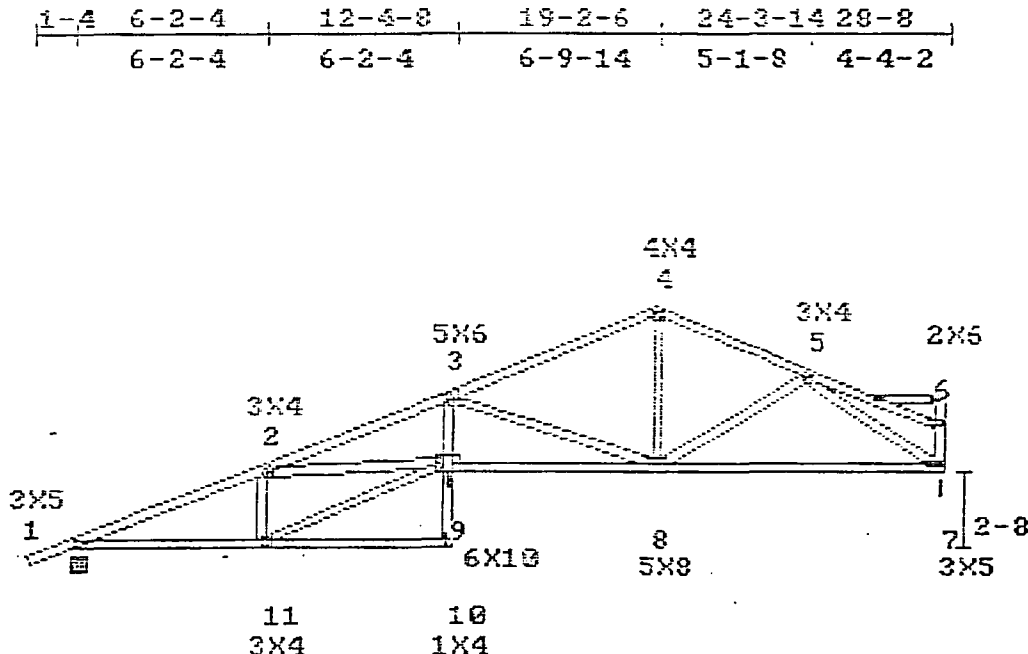
PROVIDE FOR 777 LBS UPLIFT AT JOINT 7 (0.89)

PROVIDE FOR 1543 LBS UPLIFT AT JOINT 9 (0.95)

PROVIDE FOR 536 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT, Y=TOP): [j3=3,3], [j8=4,2], (SYMMETRIC PLATING TURNED ON)

NOTE: PROVIDE ADEQUATE DRAINAGE TO PREVENT PONDING



[Signature]

OCT 05 1999

L. HL TO PK: 20-9-9
LEFT HEIGHT: 0-4-1

INTERNAL RISE: 2-8
SPAN: 28-8
RISE: 8-4-1

R. HL TO PK: 10-3-2
RIGHT HEIGHT: 1-10-2

LOADING (PSF)

L D

TOP 30 15

BOTT 0 10

MAX STRESSES

TOP 2-3=0.947

BOTT 7-8=0.464

LL.DEFL.@11=0.02 < L/360

MINIMUM GRADE OF LUMBER

TOP CHORD: 2X4 SS 19 SP

BOT CHORD: 2X4 No.2ND 19 SP

WEBS : 2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33
REPETITIVE STRESSES USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

CHORD: 9-10 TO BE 2X4 No.3 19 SP

RIGHT END VERTICAL IS NOT EXPOSED.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10(5+5) PSF DL, 20.00 MI FROM OCEAN LINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/ND DESIGN SPECS, SSBC, ANSI/TP1-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

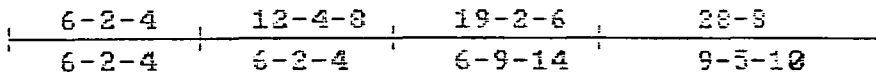
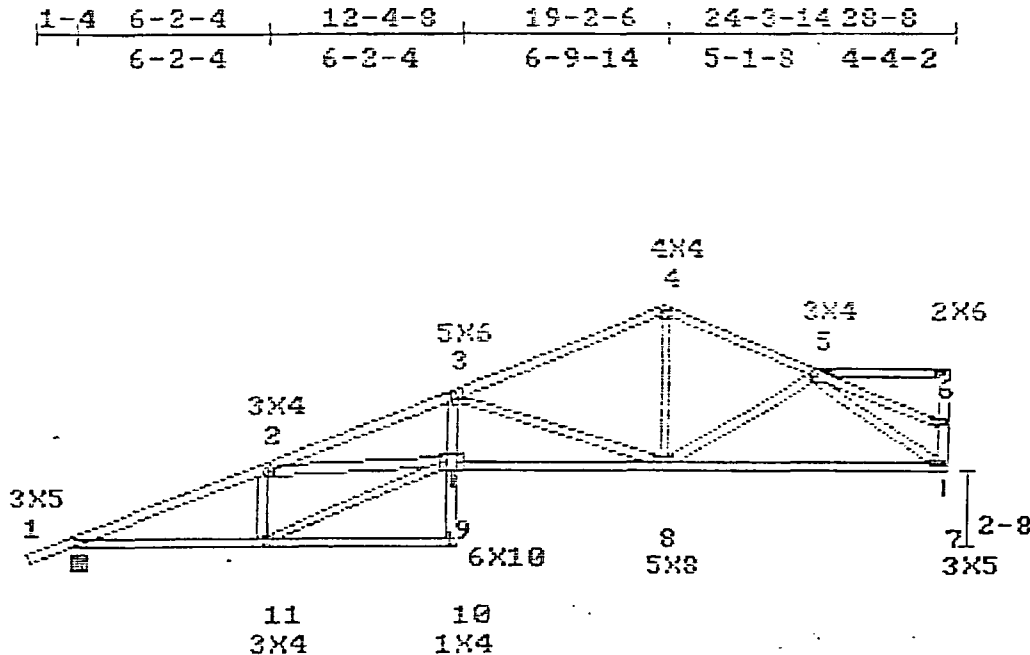
====<<<<ACES-32 Ver. 1.1>>>>=====[008024]====<<<<FL.QUAL./REM>>>>=====
 Customer : FOGLIA-CHATEAU
 Project #: 99336 Truss ID : S13
 Span : 28-8 Quantity : 1
 Fri Oct 1 11:35:48 1999
 Family # : special
 Top Pitch : 5/12
 Bot pitch : 90/12

==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS				REACTIONS - SIZE	
1-2=-714	7-8= 774	2-11=-169	5-7=-969	1=-760	8.00
2-3= 234	8-9=-146	2-9=-868	9-11= 713	7=-871	1.50
3-4=-671	9-10= 60	3-9=-1218		9=-1626	3.00
4-5=-671	10-11= 0	3-8= 816			
5-6= 0	11-1= 652	4-8=-22			
6-7=-193		5-8=-183			

PROVIDE FOR 751 LBS UPLIFT AT JOINT 1 (0.99)
 PROVIDE FOR 777 LBS UPLIFT AT JOINT 7 (0.89)
 PROVIDE FOR 1543 LBS UPLIFT AT JOINT 9 (0.95)
 PROVIDE FOR 536 LBS HORIZ. REACTION AT JOINT 1
 PLATE OFFSETS (X=LEFT,Y=TOP): [j3=3,3], [j8=4,2], (SYMMETRIC PLATING TURNED ON)

NOTE: PROVIDE ADEQUATE DRAINAGE TO PREVENT PONDING



[Signature]
 OCT 05 1999

L. HL TO PK:20-9-9 INTERNAL RISE:2-8 R. HL TO PK :10-3-2
 LEFT HEIGHT:0-4-1 SPAN:28-8 RISE:8-4-1 RIGHT HEIGHT:1-10-2

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
L	D	TOP	2-3=0.947	TOP CHORD:	2X4 SS 19 SP
OP	30	BOTT	7-8=0.464	BOT CHORD:	2X4 No.2ND 19 SP
OTT	0	LL.DEFL.	@11=0.02 < L/360	WEBS	:2X4 No.3 19 SP

TR.INC.: LUMB = 1.33 PLATE = 1.33
 REPETITIVE STRESSES USED

SPACING : 24.0 in. o. c.
 NO. OF MEMBERS = 1

CHORD: 9-10 TO BE 2X4 No.3 19 SP
 RIGHT END VERTICAL IS NOT EXPOSED.
 TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5-5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND'S DESIGN SPECS, SSBC,ANSI/TP1-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

(32)

====<<<<ACES-32 Ver. 1.1>>>>===== [008025] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU
 Project #: 99336
 Span : 28-8

Truss ID : S14
 Quantity : 1

Fri Oct 1 11:35:50 1999
 Family # : special
 Top Pitch : 5/12
 Bot pitch : 90/12

==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

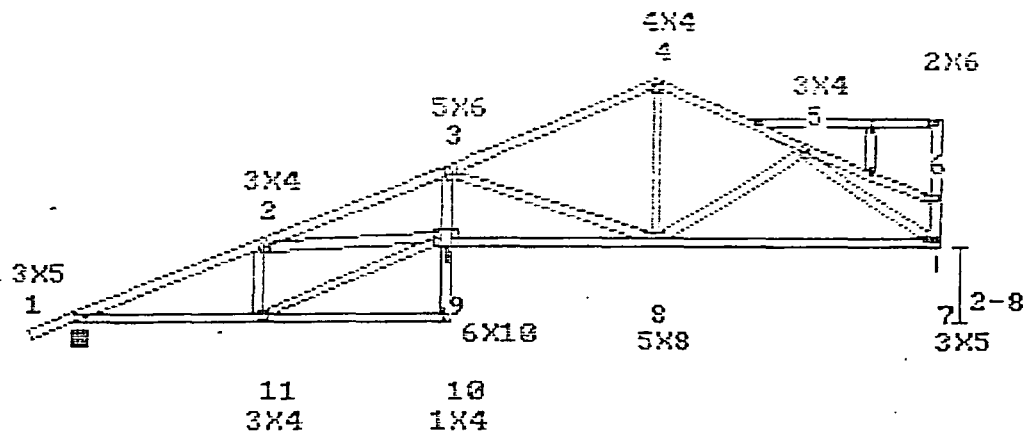
1-2=-714	7-8= 774	2-11=-169	5-7=-969	1=-760	8.00
2-3= 234	8-9=-146	2-9=-568	9-11= 713	7=-871	1.50
3-4=-671	9-10= 60	3-9=-1218		9=-1626	3.00
4-5=-671	10-11= 0	3-8= 516			
5-6= 0	11-1= 652	4-8=-22			
6-7=-193		5-8=-183			

PROVIDE FOR 751 LBS UPLIFT AT JOINT 1 (0.99)
 PROVIDE FOR 777 LBS UPLIFT AT JOINT 7 (0.89)
 PROVIDE FOR 1543 LBS UPLIFT AT JOINT 9 (0.95)
 PROVIDE FOR 536 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP):[j3=3,3],[j8=4,2],(SYMMETRIC PLATING TURNED ON)

NOTE: PROVIDE ADEQUATE DRAINAGE TO PREVENT PONDING

1-4 6-2-4 12-4-3 19-2-6 24-3-14 28-8
 6-2-4 6-2-4 6-9-14 5-1-8 4-4-2



6-2-4 12-4-3 19-2-6 22-8
 6-2-4 6-2-4 6-9-14 9-5-10

[Signature]
 OCT 05 1999

L. HL TO PK:20-9-9 INTERNAL RISE:2-8 R. HL TO PK :10-3-2
 LEFT HEIGHT:0-4-1 SPAN:28-8 RISE:8-4-1 RIGHT HEIGHT:1-10-2

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
L	D	TOP	BOTT	TOP CHORD:	SS 19 SP
30	15	2-3=0.947	7-8=0.464	BOT CHORD: <td>No.2ND 19 SP</td>	No.2ND 19 SP
0	10	LL.DEFL.@11=0.02 < L/360		WEBS	:2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33
 REPETITIVE STRESSES USED

SPACING : 24.0 in. o. c.
 NO. OF MEMBERS = 1

CHORD: 9-10 TO BE 2X4 No.3 19 SP
 RIGHT END VERTICAL IS NOT EXPOSED.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,(10G+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

(33)

====<<<<ACES-32 Ver. 1.1>>>>===== [008026]=====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : S15	Fri Oct 1 11:35:52 1999
Project #: 99336	Quantity : 1	Family # : special
Span : 28-8		Top Pitch : 5/12
		Bot pitch : 90/12

==Bld(7/22/1998),v1.1=====

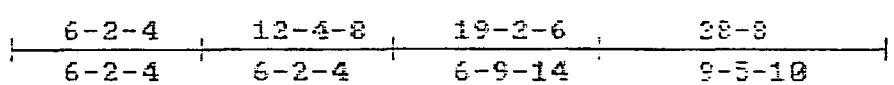
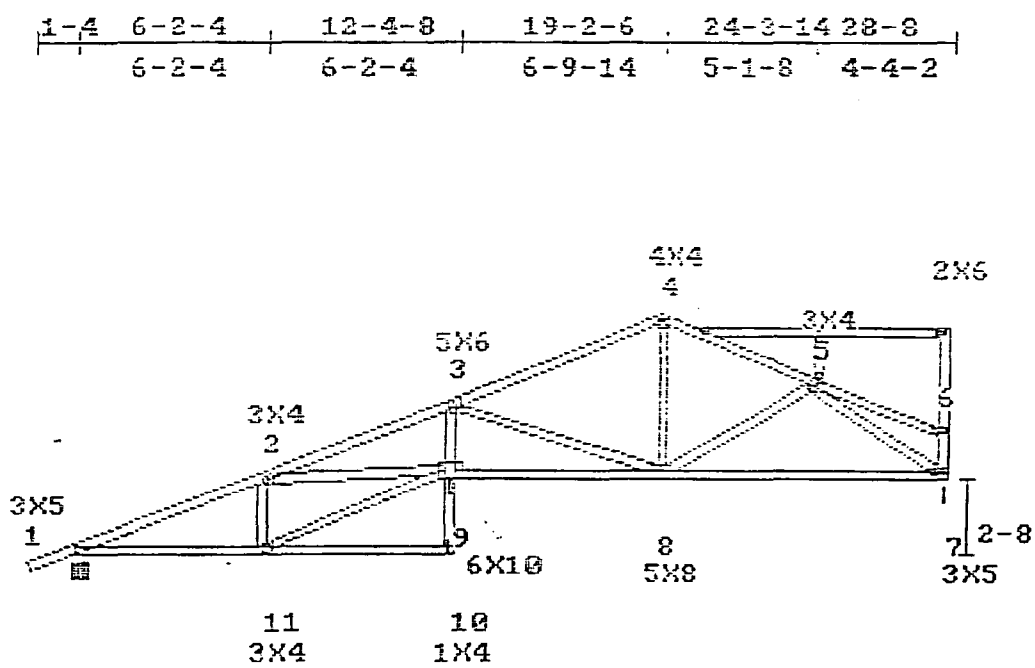
FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-714	7-8= 774	2-11=-169	5-7=-969	1=-760	8.00
2-3= 234	8-9=-146	2-9=-868	9-11= 713	7=-871	1.50
3-4=-671	9-10= 60	3-9=-1218		9=-1626	3.00
4-5=-671	10-11= 0	3-8= 816			
5-6= 0	11-1= 652	4-8=-22			
6-7=-193		5-8=-183			

PROVIDE FOR 751 LBS UPLIFT AT JOINT 1 (0.99)
PROVIDE FOR 777 LBS UPLIFT AT JOINT 7 (0.89)
PROVIDE FOR 1543 LBS UPLIFT AT JOINT 9 (0.95)
PROVIDE FOR 536 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j3=3,3], [j8=4,2], (SYMMETRIC PLATING TURNED ON)

NOTE: PROVIDE ADEQUATE DRAINAGE TO PREVENT PONDING



[Signature]

OCT 05 1999

L. HL TO PK:20-9-9		INTERNAL RISE:2-8		R. HL TO PK :10-3-2	
LEFT HEIGHT:0-4-1		SPAN:28-8		RIGHT HEIGHT:1-10-2	
RISE:8-4-1					
LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
L	D	TOP 2-3=0.947		TOP CHORD:2X4 SS 19 SP	
TOP 30	15	BOTT 7-8=0.464		BOT CHORD:2X4 No.2ND 19 SP	
BOTT 0	10	LL.DEFL.@11=0.02 < L/360		WEBS :2X4 No.3 19 SP	
STR.INC.: LUMB = 1.33		PLATE = 1.33		SPACING : 24.0 in. o. c.	
REPETITIVE STRESSES USED		NO. OF MEMBERS = 1			

CHORD: 9-10 TO BE 2X4 No.3 19 SP
RIGHT END VERTICAL IS NOT EXPOSED.
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,(10G+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDSD DESIGN SPECS, SSSC,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

(34)

====<<<<ACES-32 Ver. 1.1>>>>===== [008027] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:35:54 1999

Project # : 99336 Truss ID : FG4 Family # : 303

Span : 11-8 Quantity : 2 Top Pitch : /12

====Bld(7/22/1998),v1.1=====

FORCES - LOAD CASE #1

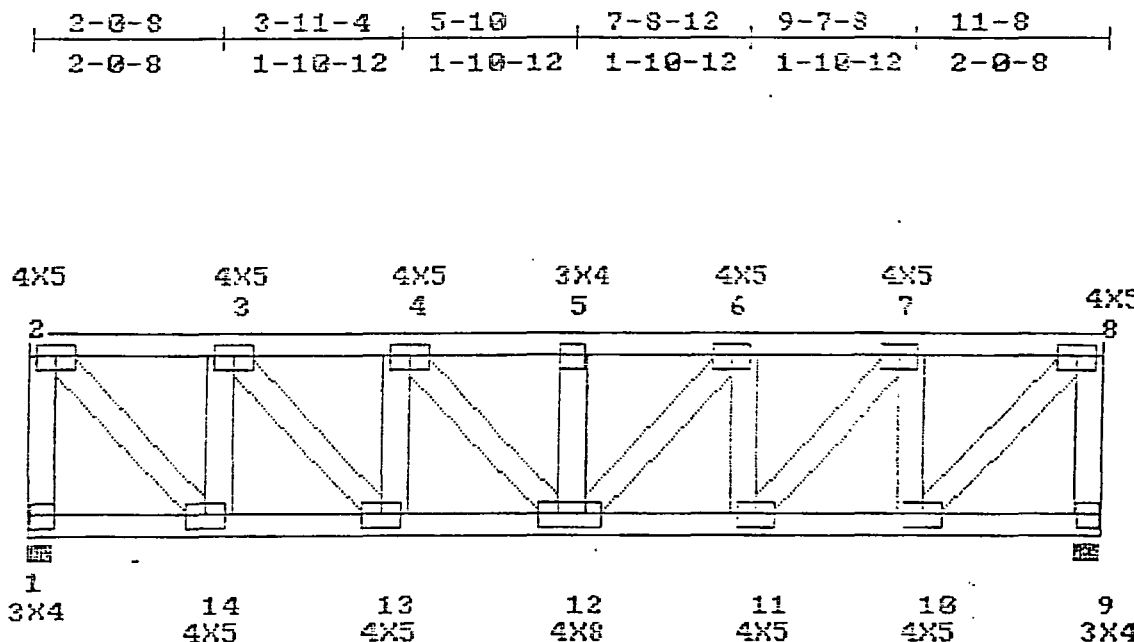
REACTIONS - SIZE

1-2=-4719	7-8=-3152	9-10= 0	2-14= 5052	6-12= 1010	1=-4738	3.50
2-3=-3152	8-9=-4719	10-11= 3152	3-14=-3910	6-11=-2331	9=-4738	3.50
3-4=-5042		11-12= 5042	3-13= 3031	7-11= 3031		
4-5=-5673		12-13= 5042	4-13=-2331	7-10=-3910		
5-6=-5673		13-14= 3152	4-12= 1010	8-10= 5052		
6-7=-5042		14-1= 0	5-12=-1541			

PROVIDE FOR 4270 LBS UPLIFT AT JOINT 1 (0.90)

PROVIDE FOR 4270 LBS UPLIFT AT JOINT 9 (0.90)

(SYMMETRIC PLATING TURNED ON)



2-8 3-11-4 5-10 7-8-12 9-7-8 11-8

2-8 1-10-12 1-10-12 1-10-12 1-10-12 2-8

[Signature]

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LEFT HEIGHT:2-8	SPAN:11-8	RISE:2-8	RIGHT HEIGHT:2-8
=====			
LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER	
L D	TOP 4-5=0.729	TOP CHORD:2X4 No.2ND 19 SP	
TOP 30 15	BOTT 11-12=0.476	BOT CHORD:2X4 No.2ND 19 SP	
BOTT 0 10	LL.DEFL.@12=0.06 < L/360	WEBS :2X4 No.3 19 SP	

REPETITIVE STRESSES NOT USED

SPACING : 24.0 in. o. c.

NO. OF MEMBERS = 2

LOADING STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER PLATE	TYPE	
1 1.33 1.33	UNIFORM	2- 8= 813 9- 1= 20

BOTH END VERTICALS ARE NOT EXPOSED.

MEMBERS NAILED TOG. W/1 ROW(S) OF .131x3 in. NAILS 3 in. o.c.(TOP CHS.),AND 1 ROW(S) OF .131x3 in. NAILS 12 in. o.c.(BOTT. CHS.)

or Webs use 1 ROW of NAILS 12 in. o.c.

RUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG. MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,120PSF DL,20.00 MI FROM OCEANLINE (SBC).

LATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

LATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95

HIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

(35)

====<<<<ACES-32 Ver. 1.1>>>>===== [008028] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : S16	Fri Oct 1 11:35:56 1999
Project #: 99336	Quantity : 2	Family # : special
Span : 28-8		Top Pitch : 5/12
		Bot pitch : 90/12

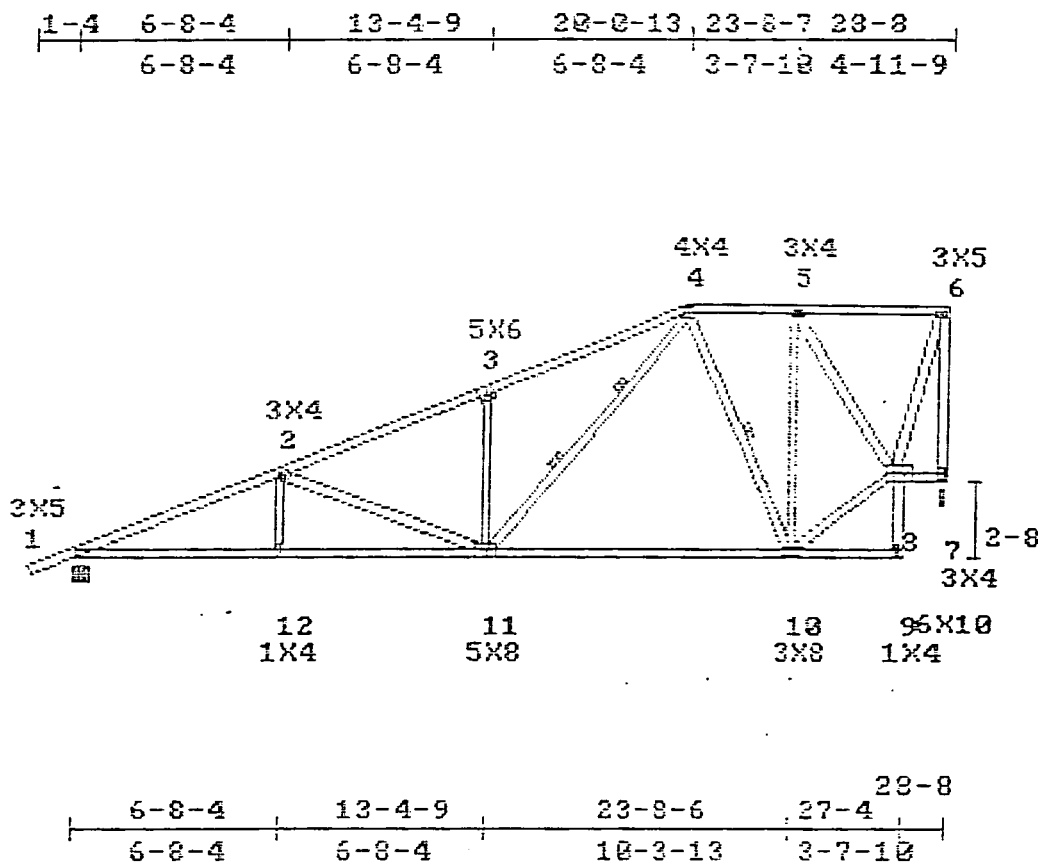
====5ld(7/22/1995),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-2969	7-8= 0	2-12= 130	5-5=-S21	1=-1700	8.00
2-3=-2107	8-9= 35	2-11=-S34	6-5= 1358	7=-1553	2.16
3-4=-2108	9-10= 0	3-11=-605	5-10= 938		
4-5=-746	10-11= 1070	4-11= 1405			
5-6=-320	11-12= 2714	4-10=-817			
6-7=-1539	12-1= 2713	5-10= 319			

PROVIDE FOR 1531 LBS UPLIFT AT JOINT 1 (0.90)
PROVIDE FOR 1536 LBS UPLIFT AT JOINT 7 (0.99)
PROVIDE FOR 994 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j3=3,3], [j6=2,1.5], [j11=4,2], (SYMMETRIC PLATING TURNED ON)



L. HL TO PK:21-8-14 INTERNAL RISE:2-8
LEFT HEIGHT:0-4-1 SPAN:28-8 RISE:8-8-6 RIGHT HEIGHT:6-0-6

LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
TOP 30 15	TOP 1-2=0.981	TOP CHORD:2X4 SS 19 SP
BOTT 0 10	BOTT 11-12=0.911	BOT CHORD:2X4 SS 19 SP
	LL.DEFL.@11=0.14 < L/360	WEBS :2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33
REPETITIVE STRESSES USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

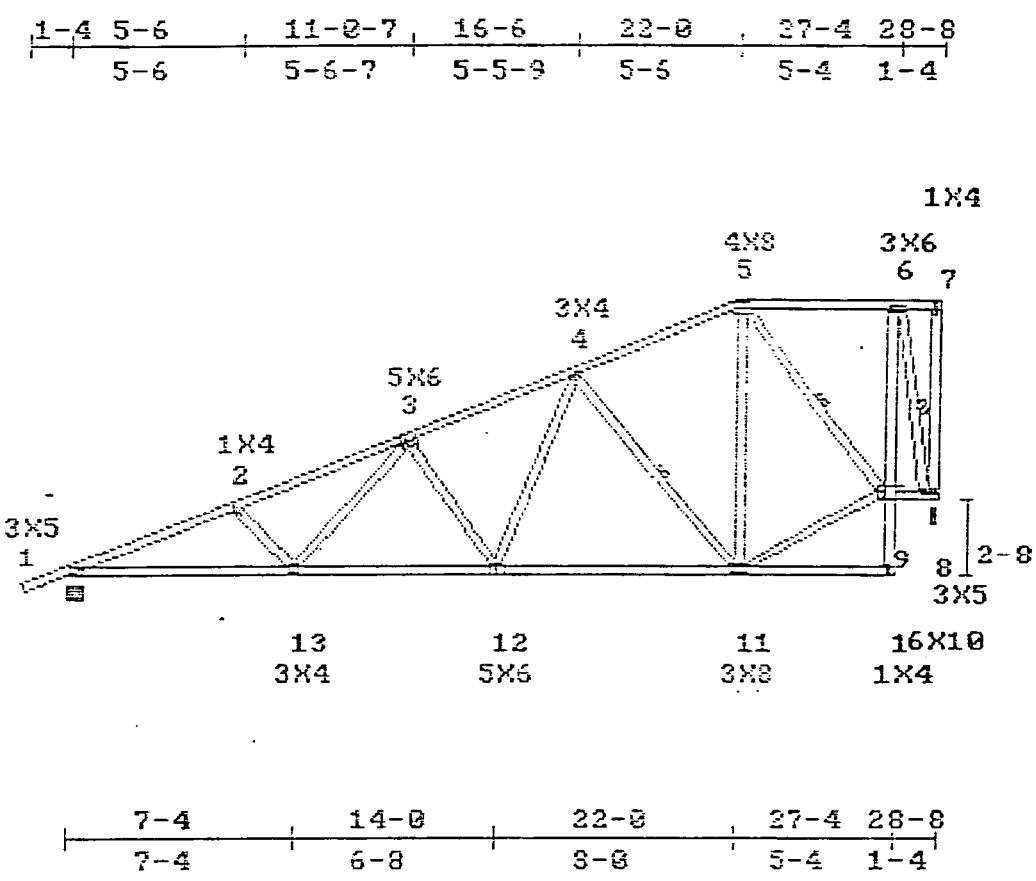
CHORD: 8-9 TO BE 2X4 No.2ND 19 SP
RIGHT END VERTICAL IS NOT EXPOSED.
WEB 4-10 BRACED at 1/2 POINTS AS SHOWN ABOVE
WEB 4-11 BRACED at 1/3 POINTS AS SHOWN ABOVE
Note:Use 1x4 or 2x3 Cont.Bracing conn.w/2-8d nails,or T-brace of same size and grade as web conn. to narrow face w/10d nails 6 in. o.c.
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(G+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSB,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

====<<<<ACES-32 Ver. 1.1>>>>=====[008029]====<<<<FL.QUAL./REM>>>>=====
 Customer : FOGLIA-CHATEAU
 Project # : 99336 Truss ID : S17
 Span : 28-8 Quantity : 1
 Date: Fri Oct 1 11:35:58 1999
 Family # : special
 Top Pitch : 5/12
 Bot pitch : 90/12

==Bld(7/22/1996),v1.1=====

FORCES - GRAVITY LOADS				REACTIONS - SIZE	
1-2=-3047	7-8=-56	8-9= 282	2-13=-372	5-9=-573	1=-1700 8.00
2-3=-2760		9-10= 52	3-13= 549	6-9= 1188	8=-1553 2.16
3-4=-1961		10-11= 0	3-12=-732	6-8=-1510	
4-5=-922		11-12= 1534	4-12= 812	9-11= 956	
5-6=-308		12-13= 2205	4-11=-1098		
6-7= 0		13-1= 2778	5-11= 553		

PROVIDE FOR 1501 LBS UPLIFT AT JOINT 1 (0.88)
 PROVIDE FOR 1566 LBS UPLIFT AT JOINT 8 (1.01)
 PROVIDE FOR 1090 LBS HORIZ. REACTION AT JOINT 1
 PLATE OFFSETS (X=LEFT,Y=TOP): [j3=3,3], [j12=3,2], (SYMMETRIC PLATING TURNED ON)



[Signature]
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L. HL TO PK:23-10 INTERNAL RISE:2-8
 LEFT HEIGHT:0-4-1 SPAN:28-8 RISE:9-5-1 RIGHT HEIGHT:6-10-1

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	30	15	TOP 2-3=0.637	TOP CHORD:2X4	SS 19 SP
BOTT	0	10	BOTT 13-1=0.735	BOT CHORD:2X4	SS 19 SP
			LL.DEFL.@13=0.13 < L/350	WEBS :2X4	No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33
 REPETITIVE STRESSES USED
 SPACING : 24.0 in. o. c.
 NO. OF MEMBERS = 1

CHORD: 9-10 TO BE 2X4 No.2ND 19 SP
 RIGHT END VERTICAL IS NOT EXPOSED.
 WEB 4-11; 5-9; 6-8 BRACED AT 1/2 POINTS AS SHOWN ABOVE
 Note:Use 1x4 or 2x3 Cont.Bracing conn.w/2-8d nails,or T-brace of same size and grade as web conn. to narrow face w/10d nails 6 in. o.c.
 TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

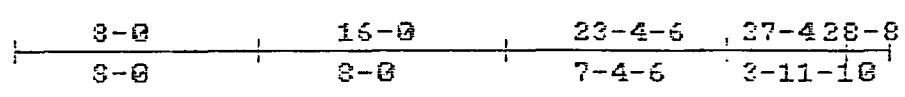
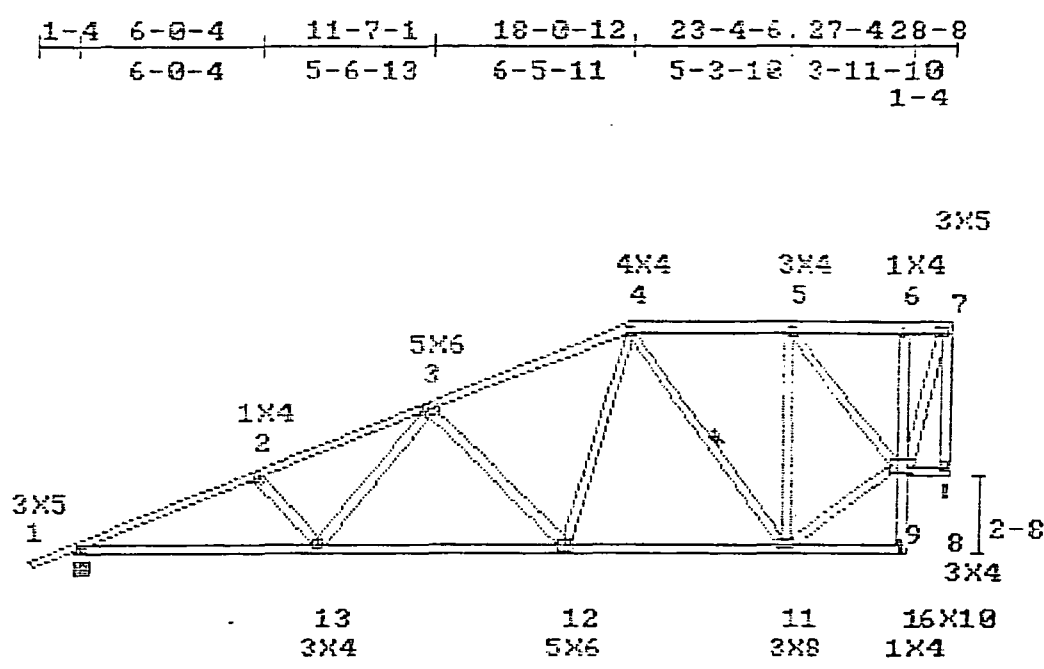
(37)

====<<<<ACES-32 Ver. 1.1>>>>=====[008030]====<<<<FL.QUAL./REM>>>>=====
Customer : FOGLIA-CHATEAU
Project #: 99336 Truss ID : S18
Span : 28-8 Quantity : 1
Fri Oct 1 11:36:00 1999
Family # : special
Top Pitch : 5/12
Bot pitch : 90/12

==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS				REACTIONS - SIZE	
1-2=-2990	7-8=-1539	8-9= 0	2-13=-405	5-9=-746	1=-1700 8.00
2-3=-2688		9-10= 38	3-13= 592	6-9=-235	8=-1553 2.16
3-4=-1685		10-11= 0	3-12=-857	7-9= 1542	
4-5=-872		11-12= 1339	4-12= 817	9-11= 1063	
5-6=-413		12-13= 2130	4-11=-815		
6-7=-420		13-1= 2730	5-11= 172		

PROVIDE FOR 1559 LBS UPLIFT AT JOINT 1 (0.92)
PROVIDE FOR 1508 LBS UPLIFT AT JOINT 8 (0.97)
PROVIDE FOR 895 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j3=3,3], [j7=3,1.5], [j12=3,2], (SYMMETRIC PLATING TURNED ON)



[Signature]
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L. HL TO PK:19-6-13 INTERNAL RISE:2-8
LEFT HEIGHT:0-4-1 SPAN:28-8 RISE:7-10-5 RIGHT HEIGHT:5-2-6

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	30	TOP	2-3=0.742	TOP CHORD:	2X4 SS 19 SP
BOTT	0	BOTT	13-1=0.856	BOT CHORD:	2X4 SS 19 SP
		LL.DEFL.@13	=0.13 < L/360	WEBS	:2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33
REPETITIVE STRESSES USED
SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

CHORD: 9-10 TO BE 2X4 No.2ND 19 SP
RIGHT END VERTICAL IS NOT EXPOSED.
WEB 4-11 BRACED AT 1/2 POINTS AS SHOWN ABOVE
Note:Use 1x4 or 2x3 Cont.Bracing conn.w/2-8d nails,or T-brace of same size and grade as web conn. to narrow face w/10d nails 6 in. o.c.
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDSD DESIGN SPECS, SSB,ANSI/TP1-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

===<<<<ACES-32 Ver. 1.1>>>>===== [008031] =====<<<<FL.QUAL./REM>>>>=====
 Customer : FOGLIA-CHATEAU Truss ID : S19 Fri Oct 1 11:36:02 1999
 Project #: 99336 Quantity : 1 Family # : special
 Span : 28-8 Top Pitch : 5/12
 Bot pitch : 90/12

==Bld(7/22/1995),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

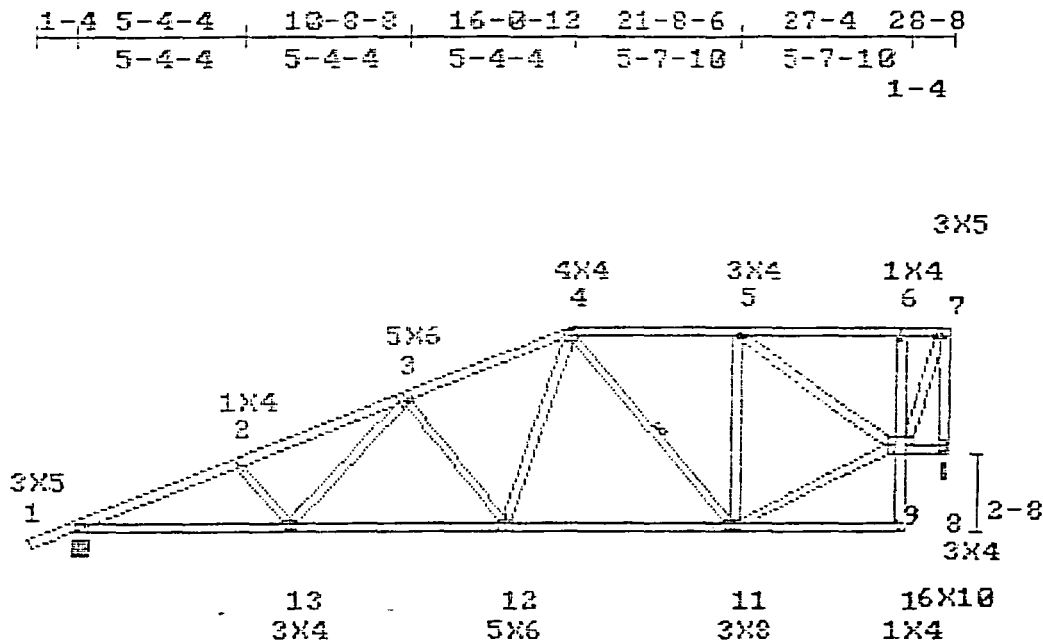
1-2=-3065	7-8=-1539	8-9= 0	2-13=-351	5-6=-577	1=-1700	8.00
2-3=-2803	9-10= 55		3-13= 546	6-7=-310	8=-1553	2.16
3-4=-1965	10-11= 0		3-12=-724	7-8= 1567		
4-5=-1199	11-12= 1589		4-12= 765	9-11= 1333		
5-6=-495	12-13= 2240		4-11=-608			
6-7=-506	13-1= 2794		5-11= 15			

PROVIDE FOR 1584 LBS UPLIFT AT JOINT 1 (0.93)

PROVIDE FOR 1453 LBS UPLIFT AT JOINT 8 (0.93)

PROVIDE FOR 797 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j3=3,3], [j7=3,1.5], [j12=3,2], (SYMMETRIC PLATING TURNED ON)



7-8 14-8 21-8-6 27-4 28-8
 7-8 7-8 7-8-6 5-7-10

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L. HL TO PK:17-4-13 INTERNAL RISE:2-8
 LEFT HEIGHT:0-4-1 SPAN:28-8 RISE:7-0-6 RIGHT HEIGHT:4-4-6

LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
L D	TOP 2-3=0.635	TOP CHORD:2X4 SS 19 SP
TOP 30 15	BOTT 13-1=0.999	BOT CHORD:2X4 No.2ND 19 SP
BOTT 0 10	LL.DEFL.@13=0.12 < L/360	WEBS :2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.
 REPETITIVE STRESSES USED NO. OF MEMBERS = 1

CHORD: 9-10 TO BE 2X4 No.3 19 SP
 RIGHT END VERTICAL IS NOT EXPOSED.
 WEB 4-11 BRACED AT 1/2 POINTS AS SHOWN ABOVE
 Note:Use 1x4 or 2x3 Cont.Bracing conn.w/2-8d nails,or T-brace of same size and grade as web conn. to narrow face w/10d nails 6 in. o.c.
 TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,(15+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDS DESIGN SPECS, SSSC,ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

==<<<<ACES-32 Ver. 1.1>>>>=====[008032]====<<<<FL.QUAL./REM>>>>=====
 Customer : FOGLIA-CHATEAU
 Project #: 99336
 Span : 28-8
 Truss ID : S20
 Quantity : 1
 Fri Oct 1 11:36:04 1999
 Family # : special
 Top Pitch : 5/12
 Bot pitch : 90/12

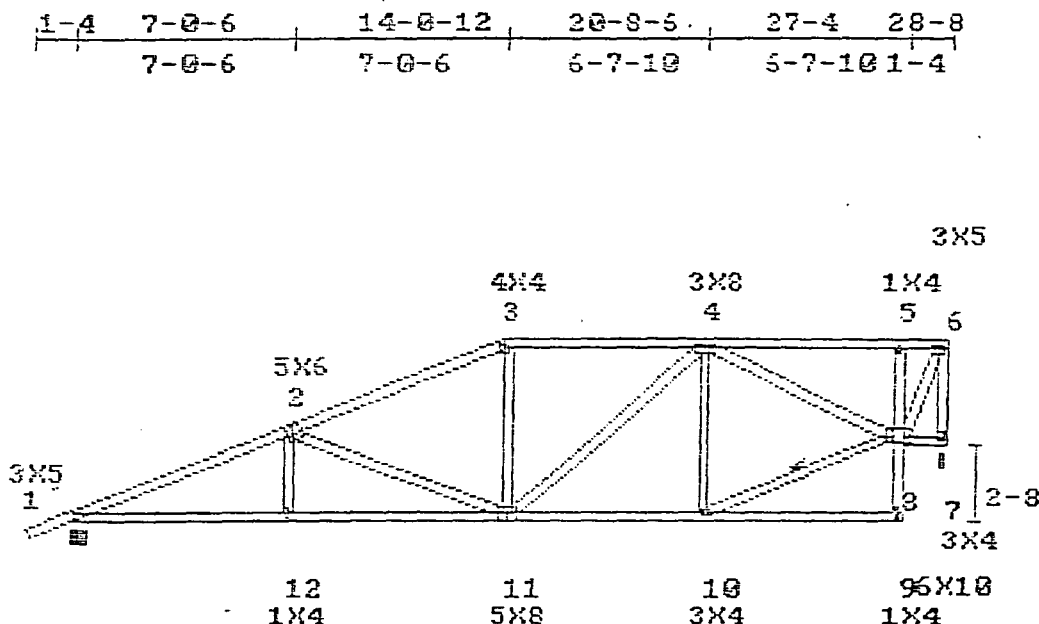
==Bid(7/22/1995),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-2928	7-8= 0	2-12= 137	5-8=-335	1=-1700	8.00
2-3=-2011	8-9= 65	2-11=-892	6-5= 1614	7=-1553	2.16
3-4=-1856	9-10= 0	3-11= 161	5-10= 1615		
4-5=-620	10-11= 1494	4-11= 484			
5-6=-636	11-12= 2677	4-10=-483			
6-7=-1539	12-1= 2677	4-8=-977			

PROVIDE FOR 1606 LBS UPLIFT AT JOINT 1 (0.94)
 PROVIDE FOR 1461 LBS UPLIFT AT JOINT 7 (0.94)
 PROVIDE FOR 698 LBS HORIZ. REACTION AT JOINT 1
 PLATE OFFSETS (X=LEFT,Y=TOP): [j2=3,3], [j6=3,1.5], [j11=4,2], (SYMMETRIC PLATING TURNED ON)



7-8-6 14-8-12 20-8-5 27-4 28-8
 7-8-6 7-8-6 6-7-10 6-7-10 1-4

[Signature]

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L. HL TO PK:15-2-13	INTERNAL RISE:2-8	
LEFT HEIGHT:0-4-1	SPAN:28-8	RISE:6-2-5
		RIGHT HEIGHT:3-6-6
LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
TOP 30 15	TOP 1-2=0.870	TOP CHORD:2X4 SS 19 SP
BOTT 0 10	BOTT 11-12=0.864	BOT CHORD:2X4 SS 19 SP
	LL.DEFL.@12=0.13 < L/360	WEBS :2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33
 REPETITIVE STRESSES USED

SPACING : 24.0 in. o. c.
 NO. OF MEMBERS = 1

CHORD: 8-9 TO BE 2X4 No.2ND 19 SP

RIGHT END VERTICAL IS NOT EXPOSED.

WEB 8-10 BRACED AT 1/2 POINTS AS SHOWN ABOVE

Note:Use 1x4 or 2x3 Cont.Bracing conn.w/2-8d nails,or T-brace of same size and grade as web conn. to narrow face w/10d nails 6 in. o.c.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

(40)

====<<<<ACES-32 Ver. 1.1>>>>===== [008033] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:36:06 1999

Project #: 99336 Truss ID : S21 Family # : special

Span : 28-8 Quantity : 1 Top Pitch : 5/12

Bot pitch : 90/12

====Bld(7/22/1995),v1.1=====

FORCES - LOAD CASE #1

REACTIONS - SIZE

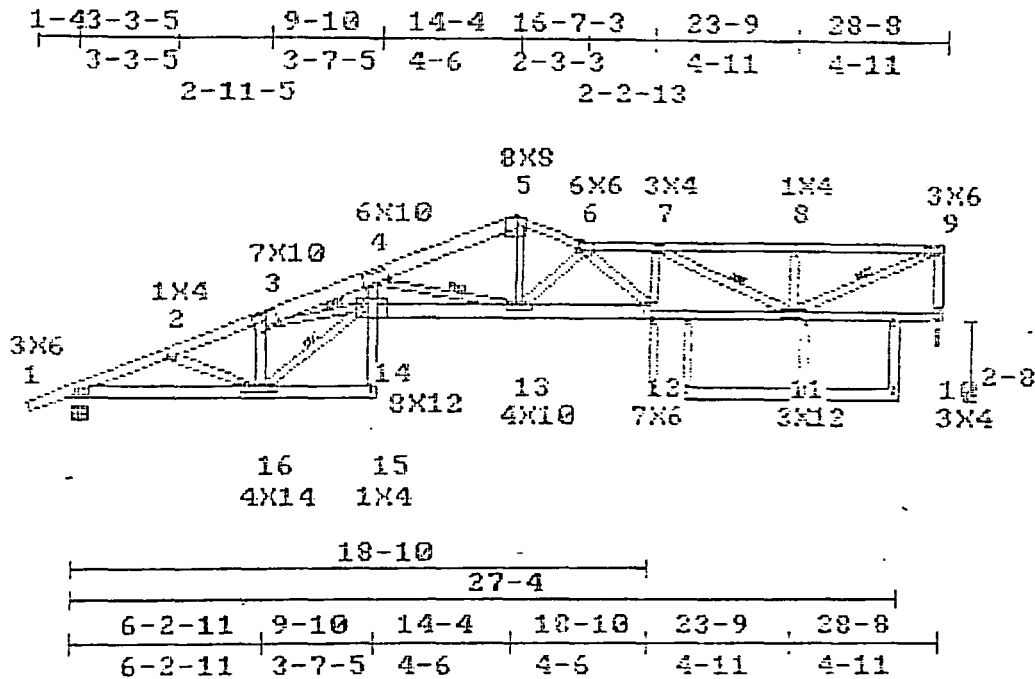
1-2=-3715	7-8=-3033	10-11= 0	16-1= 3355	2-16=-86	6-13=-2068	14-15= 4153	1=-1932	8.00
2-3=-3550	8-9=-3033	11-12= 5212		3-16=-2470	6-12=-524		10=-1779	2.29
3-4=-10336	9-10=-1730	12-13= 5643		3-14= 6353	7-12= 724			
4-5=-4582		13-14= 9282		4-14= 3046	7-11=-2425			
5-6=-4541		14-15= 35		4-13=-5287	8-11=-438			
6-7=-5211		15-16= 0		5-13= 3257	9-11= 3389			

PROVIDE FOR 1834 LBS UPLIFT AT JOINT 1 (0.95)

PROVIDE FOR 1645 LBS UPLIFT AT JOINT 10 (0.93)

PROVIDE FOR 611 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j3=5,3], [j4=5,4], [j5=4,2], [j6=3,3.5], [j9=4,1.5], [j12=3,4], [j14=6,2.5], (SYMMETRIC PLATING TURNED ON)



J. HL TO PK:15-6-5		INTERNAL RISE:2-8		SPAN:28-8		RISE:6-3-12		RIGHT HEIGHT:2-8-6	
LEFT HEIGHT:0-4-1									
LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER					
TOP	30	15	TOP 3-4=0.749	TOP CHORD:2X4	SS 19 SP				
BOTT	0	10	BOTT 13-14=0.676	BOT CHORD:2X4	SS 19 SP				
		LL.DEFL.@15=0.55 < L/360		WEBS :2X4	No.3 19 SP				

REPETITIVE STRESSES USED

NOTE: PROVIDE FOR 0.41 IN. HORIZONTAL DISPLACEMENT AT ONE BEARING

LOADING STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER PLATE	TYPE	
1	1.33	1-9= 90 10-12= 20 12-14= 70 15-1= 20

CHORD: 3-4; 4-5; 12-13; 13-14 TO BE 2X6 SS 19 SP

CHORD: 14-15 TO BE 2X4 No.2ND 19 SP

EB: 3-14 TO BE 2X4 SS 19 SP

EB: 4-13; 9-11; 14-16 TO BE 2X4 No.2ND 19 SP

RIGHT END VERTICAL IS NOT EXPOSED.

EB 3-14; 4-13; 7-11; 9-11; 14-16 BRACED AT 1/2 POINTS AS SHOWN ABOVE

PROVIDE 2X4 CONTINUOUS BRACING AT BOTTOM CHORD NOT EXCEEDING 4' O.C. OVER DROPPED BOTTOM CHORD AREAS WHERE CEILING IS NOT APPLIED.

NOTE: Use 1x4 or 2x3 Cont. Bracing conn. w/2-8d nails, or T-brace of same size and grade as web conn. to narrow face w/10d nails 6 in. o.c.

WUSS CHECKED FOR 145 MPH WIND, ENCL. BLDG., MEAN HGT. 76 FT, BLDG. CAT. 1, EXP. CAT. C, 10(5+5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).

PLATES ARE NITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/NDOS DESIGN SPECS, SSBC, ANSI/TPI-95

(THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

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====<<<<ACES-32 Ver. 1.1>>>>===== [008034] =====<<<<FL.QUAL./REM>>>>=====

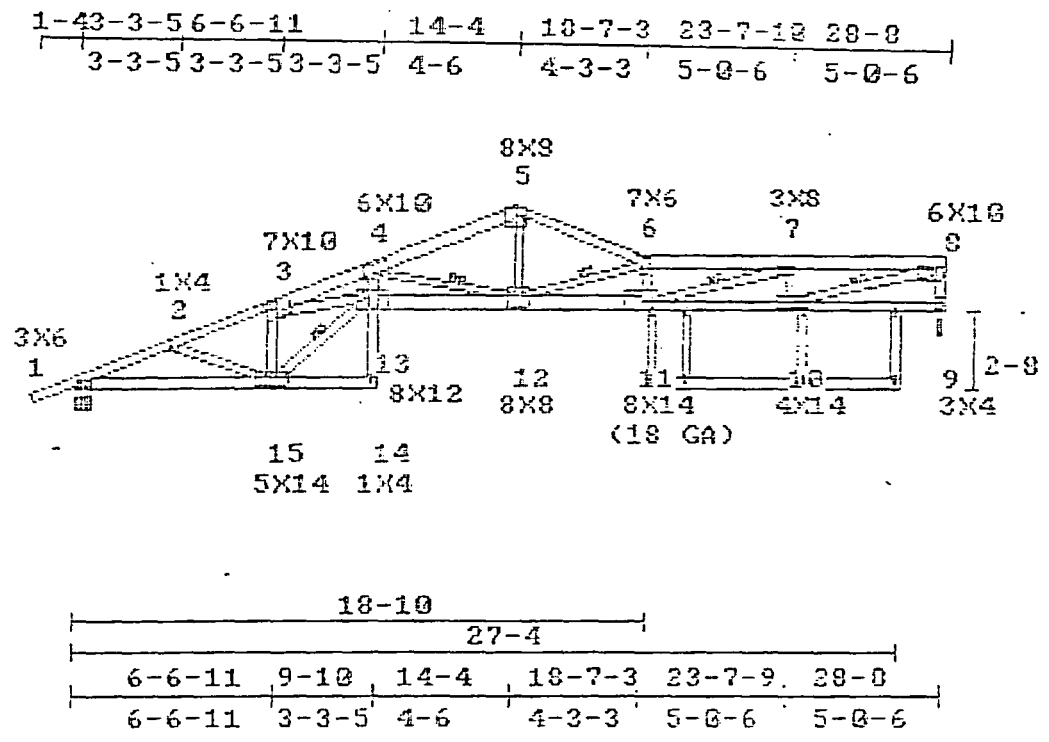
Customer : FOGLIA-CHATEAU Fri Oct 1 11:36:08 1999
Project #: 99336 Truss ID : S22 Family # : special
Span : 28-8 Quantity : 1 Top Pitch : 5/12
Bot pitch : 90/12

==Bld(7/22/1998),v1.1=====

FORCES - LOAD CASE #1 REACTIONS - SIZE

1-2=-3697	7-8=-4973	9-10= 0	15-1= 3340	2-15=-110	6-12=-4308	1=-1928	8.00
2-3=-3508	8-9=-1722	10-11= 4973		3-15=-2707	6-11=-634	9=-1771	2.25
3-4=-10293		11-12= 8253		3-13= 6356	7-11= 3406		
4-5=-4564		12-13= 9252		4-13= 3028	7-10=-1482		
5-6=-4531		13-14= 31		4-12=-5274	8-13= 5194		
6-7=-8254		14-15= 0		5-12= 3175	13-15= 4308		

PROVIDE FOR 1848 LBS UPLIFT AT JOINT 1 (0.96)
PROVIDE FOR 1621 LBS UPLIFT AT JOINT 9 (0.92)
PROVIDE FOR 512 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j3=5,3], [j4=5,4], [j5=4,2], [j6=3,4], [j8=7,2], [j10=7,2.5], [j11=7,4.5], [j13=6,2.5], (SYMMETRIC PLATING TURNED 0 N)



L. HL TO PK:15-6-5 INTERNAL RISE:2-8
LEFT HEIGHT:0-4-1 SPAN:28-8 RISE:6-3-12 RIGHT HEIGHT:1-10-6

=====

LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
TOP 30 15	TOP 3-4=0.739	TOP CHORD:2X4 SS 19 SP
BOTT 0 10	BOTT 12-13=0.671	BOT CHORD:2X4 SS 19 SP
	LL.DEFL.@14=0.62 < L/360	WEBS :2X4 No.3 19 SP

=====

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

REPETITIVE STRESSES USED

NOTE: PROVIDE FOR 0.46 IN. HORIZONTAL DISPLACEMENT AT ONE BEARING

LOADING	STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER	PLATE	TYPE	
1	1.33	1.33	UNIFORM 1- 8= 90 9-11= 20 11-13= 70 14- 1= 20

CHORD: 3-4; 4-5; 6-7; 7-8; 11-12; 12-13 TO BE 2X6 SS 19 SP
CHORD: 13-14 TO BE 2X4 No.2ND 19 SP
WEB: 3-13 TO BE 2X4 SS 19 SP
WEB: 4-12; 6-12; 7-11; 8-10; 13-15 TO BE 2X4 No.2ND 19 SP
RIGHT END VERTICAL IS NOT EXPOSED.
WEB 4-12; 6-12; 7-11; 8-10; 13-15 BRACED AT 1/2 POINTS AS SHOWN ABOVE
PROVIDE 2x4 CONTINUOUS BRACING AT BOTTOM CHORD NOT EXCEEDING 4' O.C. OVER DROPPED BOTTOM CHORD AREAS WHERE CEILING IS NOT APPLIED.
Note: Use 1x4 or 2x3 Cont. Bracing conn. w/2-8d nails, or T-brace of same size and grade as web conn. to narrow face w/10d nails 6 in. o.c.
TRUSS CHECKED FOR 145 MPH WIND, ENCL. BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10(5+5) PSF DL, 20.00 HI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249, 200 M18-196, 152 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/NDOS DESIGN SPECS, SSBC, ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

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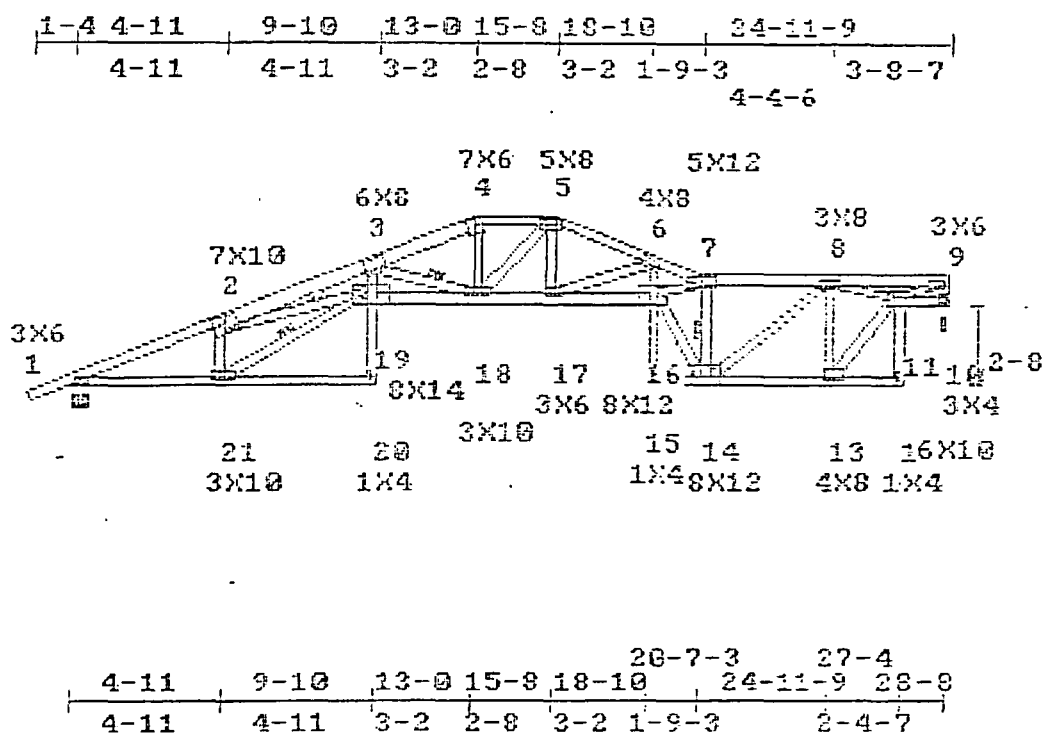
====<<<ACES-32 Ver. 1.1>>>===== [008035] =====<<<FL.QUAL./REM>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : S23	Fri Oct 1 11:36:11 1999
Project #: 99336	Quantity : 1	Family # : Special
Span : 28-8		Top Pitch : 5/12
		Bot pitch : 90/12

====Bld(7/22/1995),v1.1=====

FORCES - LOAD CASE #1						REACTIONS - SIZE		
1-2=-3714	7-8=-3148	10-11= 0	16-17= 8796	2-21=-1856	5-17= 1859	8-13=-1948	1=-1934	8.00
2-3=-10381	8-9=-3011	11-12= 22	17-18= 5009	2-19= 6324	6-17=-4130	8-11= 1403	10=-1783	2.25
3-4=-5475	9-10=-1770	12-13= 0	18-19= 9306	3-19= 3010	6-16= 3075	9-11= 3413		
4-5=-4995		13-14= 1679	19-20= 48	3-18=-4655	7-16= 6442	19-21= 3903		
5-6=-5434		14-15= 0	20-21= 0	4-18= 1980	7-14=-6432	16-17= 6204		
6-7=-9855		15-16= 16	21-1= 3381	5-18=-21	8-14= 1863	11-13= 2622		

PROVIDE FOR 1866 LBS UPLIFT AT JOINT 1 (0.96)
PROVIDE FOR 1620 LBS UPLIFT AT JOINT 10 (0.91)
PROVIDE FOR 427 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j2=5,3], [j3=4,4], [j4=3,2.5], [j7=6,3], [j8=4,1.5], [j13=4,2.5], [j14=6,4.5], [j16=6,2.5], [j19=7,2.5], (SYMMETRIC PLATING TURNED ON)



L. HL TO PK:14-1
LEFT HEIGHT:0-4-1
SPAN:28-8
INTERNAL RISE:2-8
RISE:5-5-1
RIGHT HEIGHT:1-0-6

LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
L D	TOP 6-7=0.926	TOP CHORD:2X4 SS 19 SP
TOP 30 15	BOTT 18-19=0.636	BOT CHORD:2X4 SS 19 SP
BOTT 0 10	LL.DEFL.@20=0.64 < L/360	WEBS :2X4 No.3 19 SP

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

REPETITIVE STRESSES USED

NOTE: PROVIDE FOR 0.76 IN. HORIZONTAL DISPLACEMENT AT ONE BEARING

LOADING STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER PLATE TYPE		
1 1.33 1.33 UNIFORM		1- 9= 90 10-11= 20 12-15= 20 16-19= 70 21- 1= 20

CHORD: 2-3; 3-4; 16-17; 17-18; 18-19 TO BE 2X6 SS 19 SP
CHORD: 11-12; 15-16; 19-20 TO BE 2X4 No.2ND 19 SP
JEB: 2-19; 7-16; 7-14; 16-14 TO BE 2X4 SS 19 SP
JEB: 3-18; 6-17; 9-11; 19-21 TO BE 2X4 No.2ND 19 SP
RIGHT END VERTICAL IS NOT EXPOSED.
JEB 2-19; 3-18; 7-14; 19-21 BRACED at 1/2 POINTS AS SHOWN ABOVE
Note: Use 1x4 or 2x3 Cont. Bracing conn. w/2-8d nails, or T-brace of same size and grade as web conn. to narrow face w/10d nails 6 in. o.c.
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. I, EXP. CAT. C, 10(5+5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY(EXCEPT AS SHOWN) DESIGN CONFORMS W/HDS DESIGN SPECS, SSB, ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

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====<<<<ACES-32 Ver. 1.1>>>>===== [008036]=====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : S24	Fri Oct 1 11:36:13 1999
Project #: 99336	Quantity : 1	Family # : special
Span : 28-8		Top Pitch : 5/12
		Bot pitch : 90/12

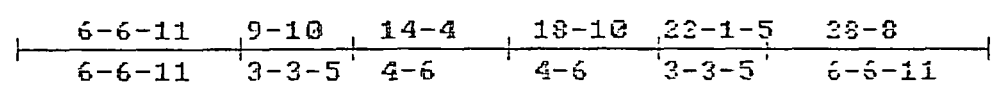
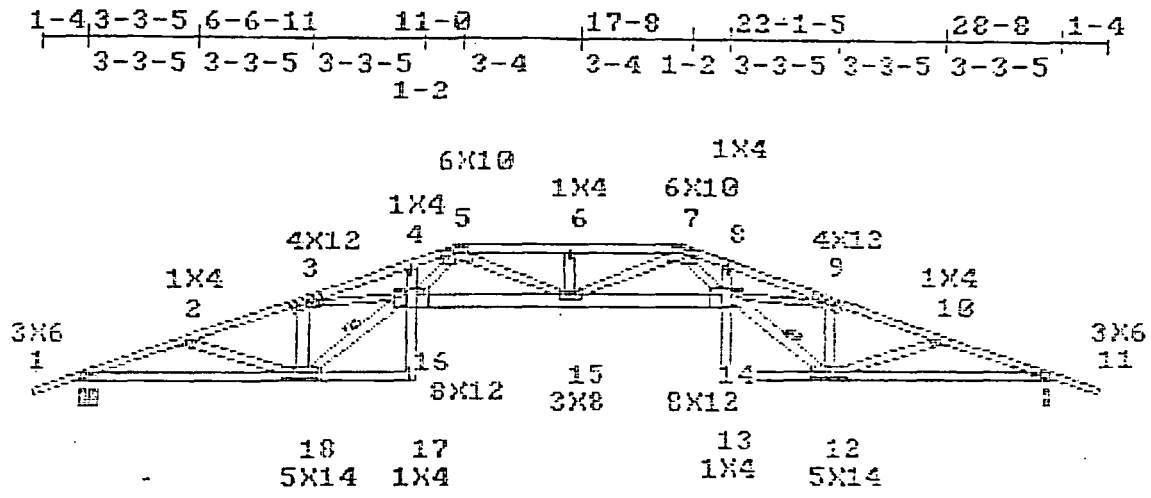
====Sld(7/22/1998),v1.1=====

FORCES - LOAD CASE #1

REACTIONS - SIZE .

1-2=-3709	7-8=-9930	11-12= 3567	17-18= 0	2-18=-109	6-15=-500	10-12=-258	1=-1933	8.00
2-3=-3521	8-9=-9858	12-13= 0	18-1= 3350	3-18=-2718	7-15= 608	14-12= 429	11=-1929	2.68
3-4=-9751	9-10=-3606	13-14= 31		3-16= 5753	7-14= 4147	16-15= 4324		
4-5=-9523	10-11=-3899	14-15= 6757		4-16=-309	8-14=-310			
5-6=-7287		15-16= 6708		5-16= 4061	9-14= 5772			
6-7=-7257		16-17= 31		5-15= 665	9-12=-2726			

PROVIDE FOR 1859 LBS UPLIFT AT JOINT 1 (0.98)
PROVIDE FOR 1886 LBS UPLIFT AT JOINT 11 (0.98)
PROVIDE FOR 54 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j5=5.5,2], [j7=4.5,2], [j14=6,2.5], [j16=6,2.5], (SYMMETRIC PLATING TURNED ON)



L. HL TO PK:11-11		INTERNAL RISE:2-8		R. HL TO PK:11-11	
LEFT HEIGHT:0-4-1		SPAN:28-8		RIGHT HEIGHT:0-4-1	
		RISE:4-11-1			
=====					
LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
L	D	TOP	8-9=0.912	TOP CHORD:2X4	SS 19 SP
TOP	30 15	BOTT	14-15=0.921	BOT CHORD:2X4	No.2ND 19 SP
BOTT	0 10	LL.DEFL.@15=0.70	< L/360	WEBS :2X4	No.3 19 SP
=====					

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

REPETITIVE STRESSES USED

NOTE: PROVIDE FOR 0.80 IN. HORIZONTAL DISPLACEMENT AT ONE BEARING

LOADING	STRESS INCREASE	LUMBER	PLATE	TYPE	PANEL(PLF) / JOINTS(LBS)
1	1.33	1.33	UNIFORM		1-11= 90 11-13= 20 14-16= 70 17- 1= 20

CHORD: 13-14; 16-17 TO BE 2X4 No.3 19 SP
CHORD: 14-15; 15-16 TO BE 2X6 No.2D 19 SP
WEB: 3-16; 9-14 TO BE 2X4 SS 19 SP
WEB: 5-16; 7-14; 14-12; 16-18 TO BE 2X4 No.2ND 19 SP
WEB 14-12; 16-18 BRACED at 1/2 POINTS AS SHOWN ABOVE
Note: Use 1x4 or 2x3 Cont. Bracing conn. w/2-8d nails, or T-brace of same size and grade as web conn. to narrow face w/10d nails 6 in. o.c.
TRUSS CHECKED FOR 145 MPH WIND, ENCL. BLDG. MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10(5+5) PSF DL, 20.00 HI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY(EXCEPT AS SHOWN) DESIGN CONFORMS W/ WINDS DESIGN SPECS, SIBC, ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]
OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>=====[008037]====<<<<FL.QUAL./REM>>>>=====
 Customer : FOGLIA-CHATEAU Fri Oct 1 11:36:15 1999
 Project #: 99336 Truss ID : T3 Family # : 314
 Span : 28-8 Quantity : 1 Top Pitch : 5/12
 ==Bld(7/22/1998),v1.1=====

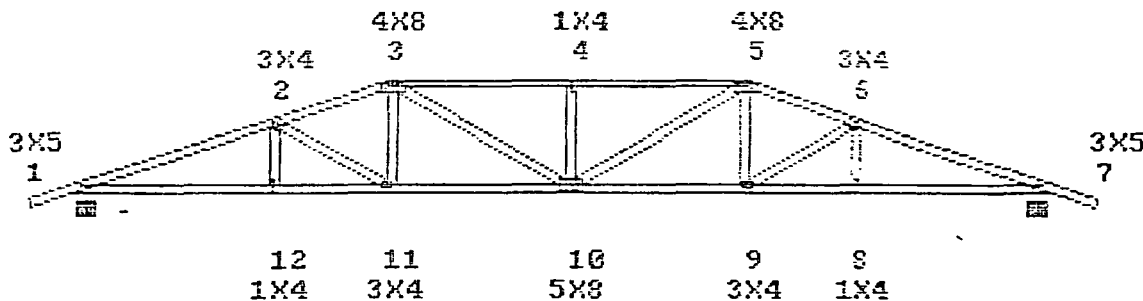
FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-3038	7-8= 2772	2-12= 87	5-9= 340	1=-1687	8.00
2-3=-2634	8-9= 2772	2-11=-428	6-9=-428	7=-1687	8.00
3-4=-2840	9-10= 2428	3-11= 340	6-8= 57		
4-5=-2840	10-11= 2428	3-10= 506			
5-6=-2634	11-12= 2772	4-10=-480			
6-7=-3038	12-1= 2772	5-10= 506			

PROVIDE FOR 1667 LBS UPLIFT AT JOINT 1 (0.99)
 PROVIDE FOR 1667 LBS UPLIFT AT JOINT 7 (0.99)
 PROVIDE FOR 44 LBS HORIZ. REACTION AT JOINT 1
 PLATE OFFSETS (X=LEFT,Y=TOP):[j10=4,2],(SYMMETRIC PLATING TURNED ON)

1-4 5-8-11 9-0 14-4 19-8 22-11-5 28-8 1-4
 5-8-11 3-3-5 5-4 5-4 3-3-5 5-8-11



5-8-11 9-0 14-4 19-8 22-11-5 28-8
 5-8-11 3-3-5 5-4 5-4 3-3-5 5-8-11

L. HL TO PK:9-9 LEFT HEIGHT:0-4-1 SPAN:28-8 RISE:4-1-1 R. HL TO PK:9-9 RIGHT HEIGHT:0-4-1
 LOADING (PSF) MAX STRESSES MINIMUM GRADE OF LUMBER
 TOP 30 15 TOP 3-4=0.866 TOP CHORD:2X4 SS 19 SP
 BOTT 0 10 BOTT 12-1=0.624 BOT CHORD:2X4 No.2ND 19 SP
 LL.DEFL.@10=0.19 < L/360 WEBS :2X4 No.3 19 SP
 STR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.
 REPETITIVE STRESSES USED NO. OF MEMBERS = 1

RUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,125-5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
 LATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 LATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDSD DESIGN SPECS, SSBC,ANSI/TPI-95
 HIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

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====<<<<ACES-32 Ver. 1.1>>>>===== 008038]====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:36:17 1999

Project #: 99336 Truss ID : T4 Family # : special

Span : 28-8 Quantity : 2 Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

FORCES - LOAD CASE #1

REACTIONS - SIZE

1-2=-8548	7-8=-4998	9-10= 4993	2-13=-143	6-11= 1606	1=-3829	8.00
2-3=-8328	8-9=-5449	10-11= 7384	3-13= 967	6-10=-4225	9=-2618	8.00
3-4=-9367		11-12= 9367	3-12= 2485	7-10= 3496		
4-5=-8625		12-13= 7678	4-12= 174	5-10=-410		
5-6=-8625		13-1= 7810	4-11=-961			
6-7=-4990			5-11=-315			

PROVIDE FOR 3600 LBS UPLIFT AT JOINT 1 (0.94)

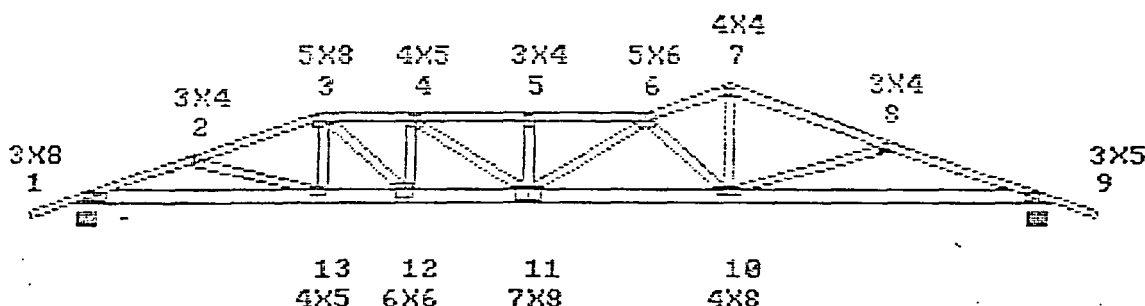
PROVIDE FOR 2507 LBS UPLIFT AT JOINT 9 (0.96)

PROVIDE FOR 45 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j3=4,3], [j6=3,3], [j11=4,2], (SYMMETRIC PLATING TURNED ON)

1-4 3-6 7-8 9-8 13-2 16-8 19-2 23-11 28-8 1-4

3-6 3-6 2-8 3-6 3-6 2-6 4-9 4-9



7-8 9-8 13-2 19-2 23-8

7-8 2-8 3-6 6-8 9-6

[Signature]

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L. HL TO PK:7-7 SPAN:28-8 RISE:4-3-9 R. HL TO PK:10-3-8

LEFT HEIGHT:0-4-1 RIGHT HEIGHT:0-4-1

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
L	D	TOP	BOTT	TOP CHORD	Bot CHORD
30	15	4-5=0.913	11-12=0.581	2X4 No.2ND 19 SP	2X6 No.2D 19 SP
0	10	LL.DEFL.@11=0.24 < L/360		WEBS :2X4	No.3 19 SP

REPETITIVE STRESSES NOT USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 2

LOADING STRESS INCREASE LOADING PANEL(PLF) / JOINTS(LBS)

LUMBER	PLATE	TYPE							
1	1.33	1.33	UNIFORM	1- 3= 90	3- 4= 209	4- 9= 90	9-12= 20	12-13= 45	13- 1= 20
			CONCENTRATED	12= 1902	13= 787				

2 MEMBERS NAILED TOG. W/1 ROW(S) OF .131x3 in. NAILS 12 in. o.c.(TOP CHS.),AND 1 ROW(S) OF .131x3 in. NAILS 5 in. o.c.(BOTT. CHS.)
For Webs use 1 ROW of NAILS 12 in. o.c.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG. MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEAN LINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

(46)

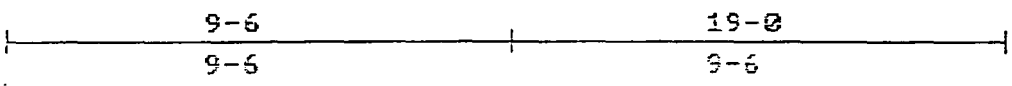
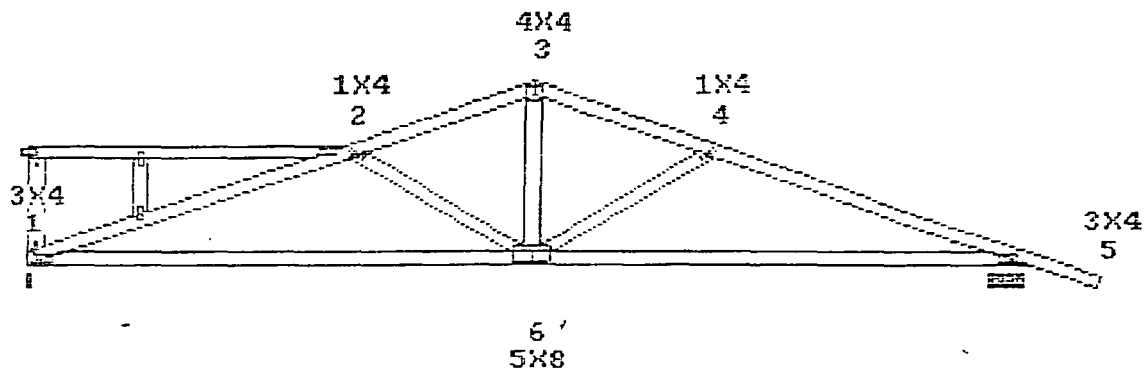
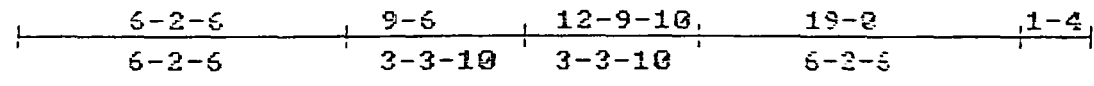
====<<<<ACES-32 Ver. 1.1>>>>===== [008039] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : T5C	Fri Oct 1 11:36:19 1999
Project #: 99336	Quantity : 1	Family # : 103
Span : 19-0		Top Pitch : 5/12

====BLD(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-1664	5-6= 1497	2-6=-433	1=-1023	1.50
2-3=-1291	6-1= 1531	3-6= 696	5=-1170	8.00
3-4=-1291		4-6=-389		
4-5=-1639				

PROVIDE FOR 914 LBS UPLIFT AT JOINT 1 (0.89)
PROVIDE FOR 1205 LBS UPLIFT AT JOINT 5 (1.03)
PROVIDE FOR 46 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP):[j6=4,2],(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:10-3-8 SPAN:19-0 RISE:4-3-9 R. HL TO PK:10-3-8
LEFT HEIGHT:0-4-1 RIGHT HEIGHT:0-4-1

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	30	1-2=0.505		TOP CHORD:2X4	SS 19 SP
BOTT	0	BOTT 6-1=0.722		BOT CHORD:2X4	No.2ND 19 SP
		LL.DEFL.@6=0.07 < L/360		WEBS :2X4	No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.
REPETITIVE STRESSES USED NO. OF MEMBERS = 1

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

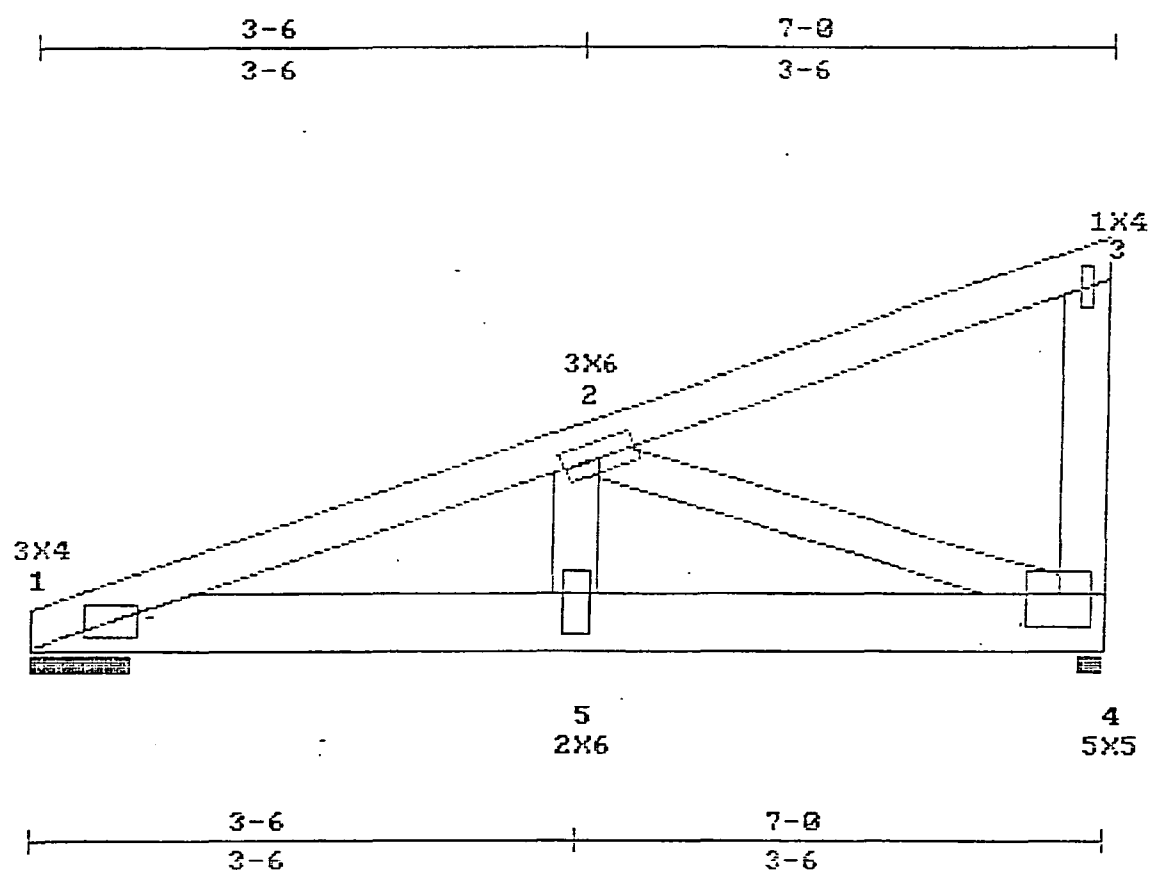
[Signature]
OCT 05 1999

(47)

====<<<<ACES-32 Ver. 1.1>>>>=====[008040]====<<<<FL.QUAL./REM>>>>=====
Customer : FOGLIA-CHATEAU Truss ID : T26 Fri Oct 1 11:36:21 1999
Project #: 99336 Quantity : 1 Family # : 201
Span : 7-0 Top Pitch : 5/12
====Bld(7/22/1998),v1.1=====

FORCES - LOAD CASE #1 REACTIONS - SIZE
1-2=-2433 4-5= 2223 2-5= 1607 1=-1903 8.00
2-3= 0 5-1= 2223 2-4=-2404 4=-1903 1.93
3-4=-154

PROVIDE FOR 1711 LBS UPLIFT AT JOINT 1 (0.90)
PROVIDE FOR 1852 LBS UPLIFT AT JOINT 4 (0.99)
PROVIDE FOR 401 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP):[j5=4,1],(SYMMETRIC PLATING TURNED ON)



HL TO PK:7-7
LEFT HEIGHT:0-4-1 SPAN:7-0 RISE:3-3-1 RIGHT HEIGHT:3-3-1
=====
LOADING (PSF) MAX STRESSES MINIMUM GRADE OF LUMBER
L D TOP 1-2=0.813 TOP CEORD:2X4 No.2ND 19 SP
OP 30 15 BOT 5-1=0.765 BOT CEORD:2X6 No.2D 19 SP
OTT 0 10 LL.DEFL.@5=0.03 < L/360 WEBS :2X4 No.3 19 SP
=====
SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

REPETITIVE STRESSES NOT USED

ADDING STRESS INCREASE LOADING PANEL(PLF) / JOINTS(LBS)
LUMBER PLATE TYPE
1 1.33 1.33 UNIFORM 1- 3= 90 4- 1= 488

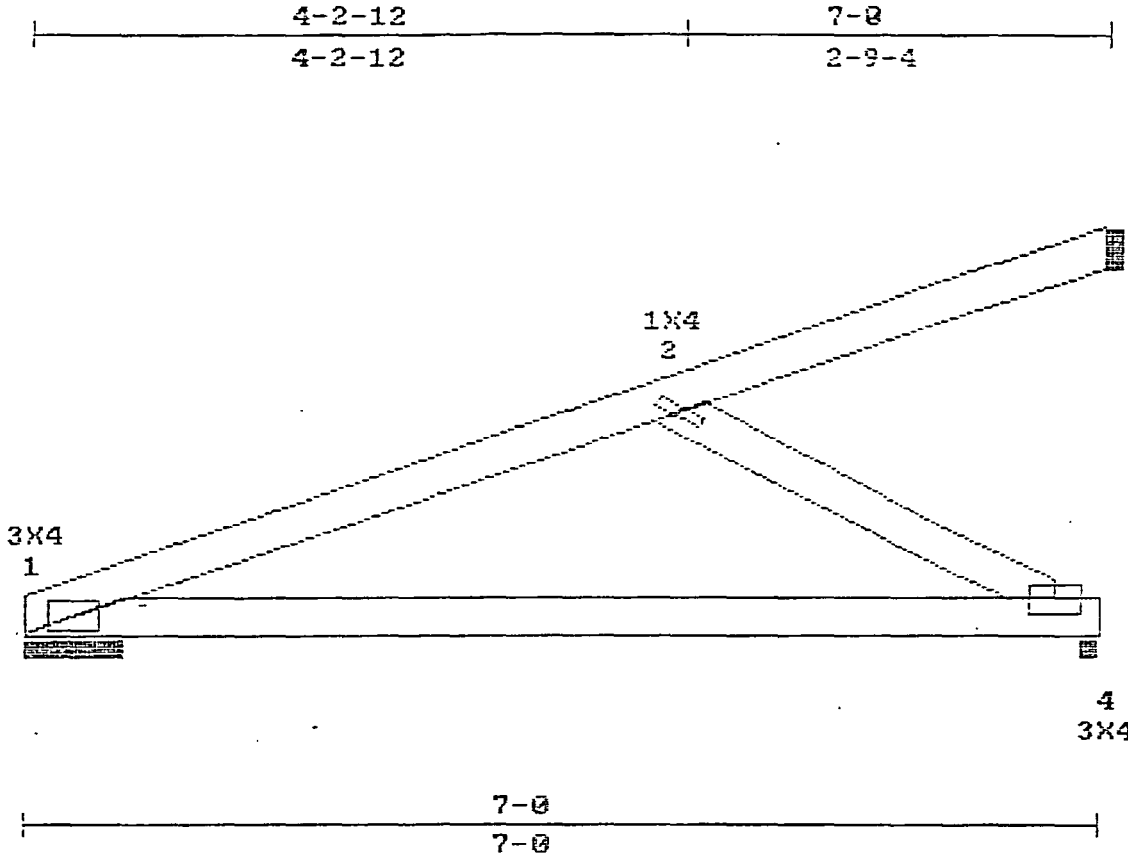
RIGHT END VERTICAL IS NOT EXPOSED.
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,10(S-5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
TRUSSES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
TRUSSES MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSB,ANSI/TP1-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]
OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>=====[008041]====<<<<FL.QUAL./REM>>>>=====
 Customer : FOGLIA-CHATEAU
 Project #: 99336 Truss ID : J7A
 Span : 7-0 Quantity : 1
 Bldg(7/22/1998),v1.1
 Fri Oct 1 11:36:23 1999
 Family # : 205
 Top Pitch : 5/12

FORCES - GRAVITY LOADS
 1-2=-291 4-1= 264 2-4=-317
 2-3= 0
 3-4= 0
 REACTIONS - SIZE
 1=-363 8.00
 4=-241 1.50
 3=-122 1.50

PROVIDE FOR 316 LBS UPLIFT AT JOINT 1 (0.87)
 PROVIDE FOR 285 LBS UPLIFT AT JOINT 4 (1.18)
 PROVIDE FOR 212 LBS UPLIFT AT JOINT 3 (1.74)
 PROVIDE FOR 413 LBS HORIZ. REACTION AT JOINT 1
 (SYMMETRIC PLATING TURNED ON)



HL TO PK:7-7
 LEFT HEIGHT:0-4-1 SPAN:7-0 RISE:3-3-1 RIGHT HEIGHT:3-3-1
 LOADING (PSF) MAX STRESSES MINIMUM GRADE OF LUMBER
 TOP 30 15 TOP 1-2=0.429 TOP CHORD:2X4 No.2ND 19 SP
 BOT 0 10 BOT 4-1=0.260 BOT CHORD:2X4 No.2ND 19 SP
 LL.DEFL.@0=0.00 < L/360 WEBS :2X4 No.3 19 SP
 TR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.
 REPETITIVE STRESSES USED NO. OF MEMBERS = 1

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
 LUMBER ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSB,ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]

OCT 05 1999

(49)

====<<<<ACES-32 Ver. 1.1>>>>===== [008042] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:36:25 1999

Project #: 99336 Truss ID : T5B Family # : 103

Span : 19-0 Quantity : 1 Top Pitch : 5/12

====Bld(7/22/1998), v1.1=====

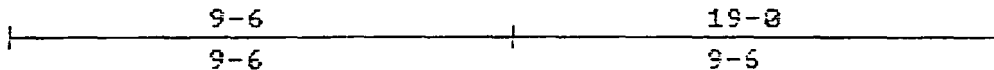
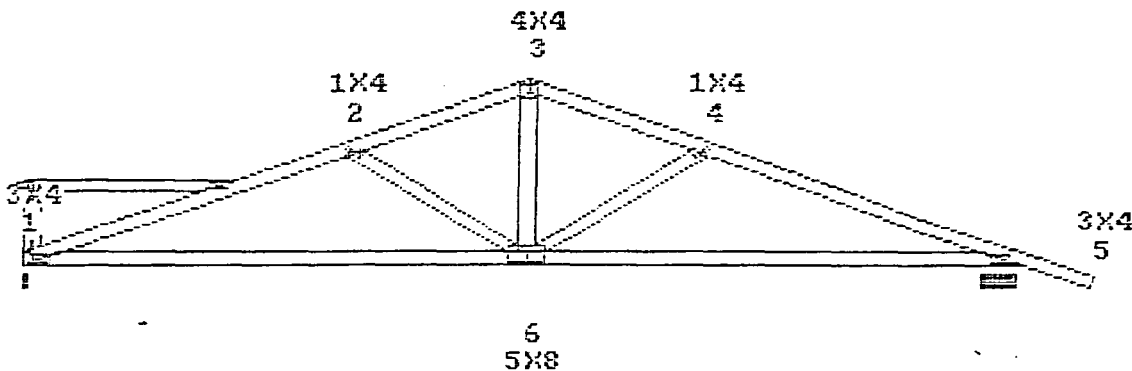
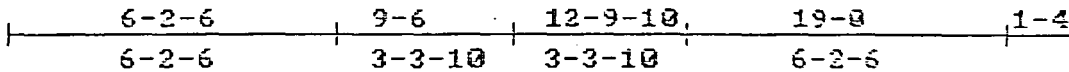
FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-1664	5-6= 1497	2-6=-433	1=-1023	1.50
2-3=-1291	6-1= 1531	3-6= 696	5=-1170	8.00
3-4=-1291		4-6=-389		
4-5=-1639				

PROVIDE FOR 914 LBS UPLIFT AT JOINT 1 (0.89)

PROVIDE FOR 1205 LBS UPLIFT AT JOINT 5 (1.03)

PROVIDE FOR 46 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j6=4,2], (SYMMETRIC PLATING TURNED ON)



. HL TO PK:10-3-8		SPAN:19-0		RISE:4-3-9		R. HL TO PK :10-3-8	
EFT HEIGHT:0-4-1						RIGHT HEIGHT:0-4-1	
LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER			
OP	L D	TOP	1-2=0.505	TOP CEORD:	2X4	SS	19 SP
OTT	30 15	BOTT	6-1=0.722	BOT CEORD:	2X4	No.2ND	19 SP
	0 10	LL.DEFL.	@6=0.07 < L/360	WEBS	:2X4	No.3	19 SP
TR.INC.: LUMB = 1.33 PLATE = 1.33				SPACING : 24.0 in. o. c.			
REPETITIVE STRESSES USED				NO. OF MEMBERS = 1			

JOSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10(5-5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).

ATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)

ATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/ NDS DESIGN SPECS, SSBC, ANSI/TPI-95

IS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]

OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>===== [008043] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU

Project #: 99336

Span : 19-0

Truss ID : T5A

Quantity : 1

Fri Oct 1 11:36:27 1999

Family # : 103

Top Pitch : 5/12

==Bld(7/22/1998), v1.1=====

FORCES - GRAVITY LOADS

1-2=-1664 5-6= 1497 2-6=-433
2-3=-1291 6-1= 1531 3-6= 696
3-4=-1291 4-6=-389
4-5=-1639

REACTIONS - SIZE

1=-1023 1.50
5=-1170 8.00

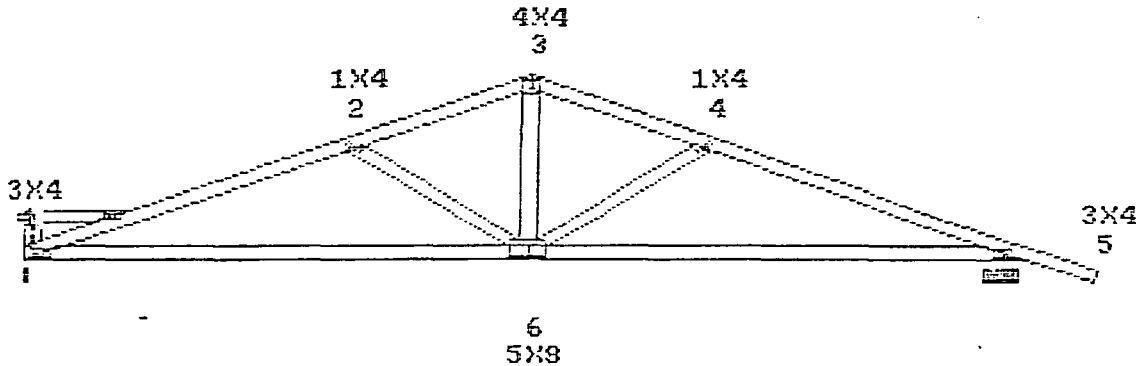
PROVIDE FOR 914 LBS UPLIFT AT JOINT 1 (0.89)

PROVIDE FOR 1205 LBS UPLIFT AT JOINT 5 (1.03)

PROVIDE FOR 46 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP):[j6=4,2],(SYMMETRIC PLATING TURNED ON)

6-2-6 9-6 12-9-10 19-0 1-4
6-2-6 3-3-10 3-3-10 6-2-6



9-6 19-0
9-6 9-6

HL TO PK:10-3-8

EFT HEIGHT:0-4-1

SPAN:19-0

RISE:4-3-9

R. HL TO PK:10-3-8

RIGHT HEIGHT:0-4-1

LOADING (PSF)

MAX STRESSES

MINIMUM GRADE OF LUMBER

OP L D

TOP 1-2=0.505

TOP CHORD:2X4 SS 19 SP

OTT 30 15

BOTT 6-1=0.722

BOT CHORD:2X4 No.2ND 19 SP

OTT 0 10

LL.DEFL.@6=0.07 < L/360

WEBS :2X4 No.3 19 SP

PR. INC.: LUMB = 1.33 PLATE = 1.33

SPACING : 24.0 in. o. c.

REPETITIVE STRESSES USED

NO. OF MEMBERS = 1

SS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10(5+5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).
TES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
TE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY(EXCEPT AS SHOWN) DESIGN CONFORMS W/HDS DESIGN SPECS, SSBC, ANSI/TPI-95
S DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]
OCT 05 1999

====<<<<ACES-32.Ver. 1.1>>>>===== [008044] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:36:29 1999

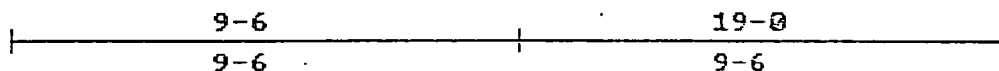
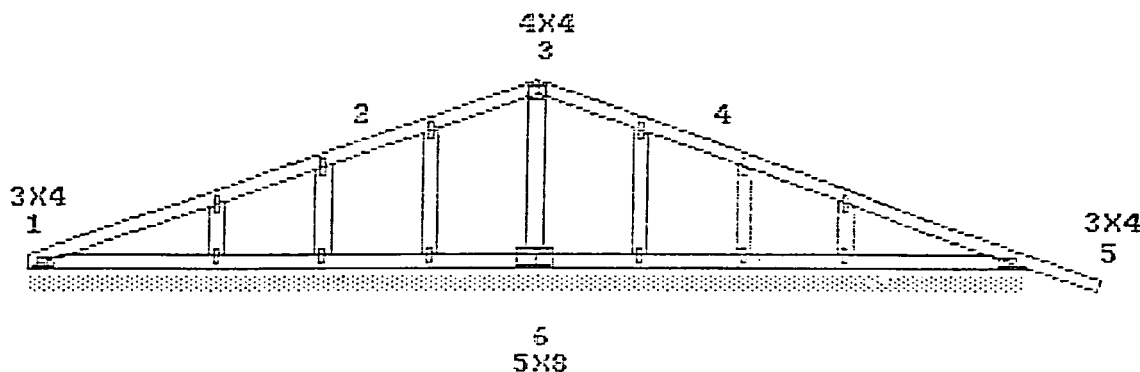
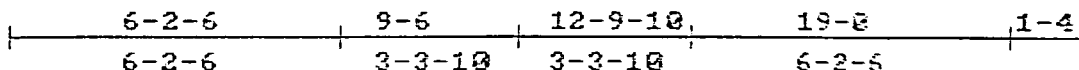
Project #: 99336 Truss ID : T5 Family # : 103

Span : 19-0 Quantity : 1 Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

NOTES: (1)-Gable studs spaced at 24 inches o.c.
 (2)-Brace vertical studs in accordance with standard gable end detail
 (3)-Continuous bearing provided along entire bottom chord
 (4)-Provide 1X4 plates at each end of gable stud unless otherwise noted

PLATE OFFSETS (X=LEFT,Y=TOP):[j6=4,2],(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:10-3-8		SPAN:19-0		RISE:4-3-9		R. HL TO PK:10-3-8	
LEFT HEIGHT:0-4-1						RIGHT HEIGHT:0-4-1	
LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER			
	L D			TOP CHORD:2X4 No.2ND 19 SP			
TOP	30 15			BOT CHORD:2X4 No.2ND 19 SP			
BOTT	0 10	LL.DEFL.@0=0.00 < L/360		WEBS :2X4 No.3 19 SP			
STR.INC.: LUMB = 1.33 PLATE = 1.33				SPACING : 24.0 in. o. c.			
REPETITIVE STRESSES USED				NO. OF MEMBERS = 1			

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10G-5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDSDS DESIGN SPECS, SSB,ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

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OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>===== [008045]=====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:36:31 1999

Project #: 99336 Truss ID : T6 Family # : 114

Span : 31-4 Quantity : 2 Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

FORCES - LOAD CASE #1

REACTIONS - SIZE

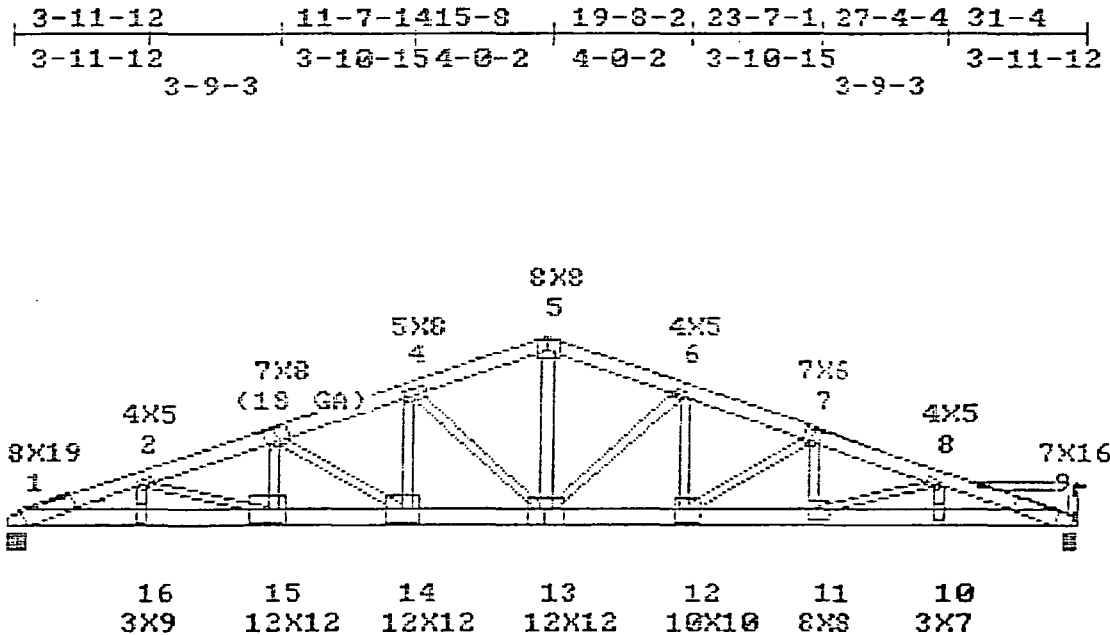
1-2=-30227	7-8=-21261	9-10= 22792	15-16= 28102	2-16= 3217	5-13= 11370	5-13= 1501	1=-12880	8.00
2-3=-24857	8-9=-24433	10-11= 22792	16-1= 28102	2-15=-5522	6-13=-4500		9=-9718	5.73
3-4=-19925		11-12= 19626		3-15= 5059	6-12= 4275			
4-5=-15250		12-13= 17018		3-14=-5748	7-12=-3292			
5-6=-15250		13-14= 18392		4-14= 6439	7-11= 2750			
6-7=-18436		14-15= 22945		4-13=-6602	8-11=-3391			

PROVIDE FOR 11607 LBS UPLIFT AT JOINT 1 (0.90)

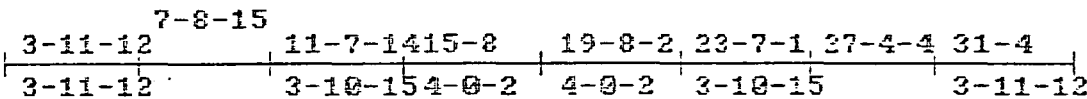
PROVIDE FOR 8755 LBS UPLIFT AT JOINT 9 (0.90)

PROVIDE FOR 73 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j3=4,5], [j7=3,5], [j10=4,1.5], [j13=6,5], [j16=6,1.5], (SYMMETRIC PLATING TURNED ON)



2X3 WEDGE



[Signature]
OCT 05 1999

L. HL TO PK:16-11-11	SPAN:31-4	RISE:6-10-6	R. HL TO PK:16-11-11
LEFT HEIGHT:0-4-1			RIGHT HEIGHT:0-4-1

LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
L D	TOP 1-2=0.930	TOP CHORD:2X6 SS 19 SP
TOP 30 15	BOTT 15-16=0.986	BOT CHORD:2X8 SS 19 SP
BOTT 0 10	LL.DEFL.@14=0.40 < L/360	WEBS :2X4 No.3 19 SP

REPETITIVE STRESSES NOT USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 2

LOADING STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER PLATE TYPE		
1 1.33 1.33 UNIFORM		1- 9= 90 9-12= 400 12-15= 740 15- 1= 868

REB: 5-13 TO BE 2X4 SS 19 SP

MEMBERS NAILED TOG. W/1 ROW(S) OF .131x3 in. NAILS 12 in. o.c.(TOP CHS.),AND 1 ROW(S) OF .131x3 in. NAILS 3 in. o.c.(BOTT. CHS.)

or Webs use 1 ROW of NAILS 12 in. o.c.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(S+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 M18-196,152 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDIS DESIGN SPECS, SSSBC,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

(53)

====<<<<ACES-32 Ver. 1.1>>>>===== [008046] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Truss ID : T7 Fri Oct 1 11:36:33 1999
 Project #: 99336 Quantity : 1 Family # : 108
 Span : 31-4 Top Pitch : 5/12

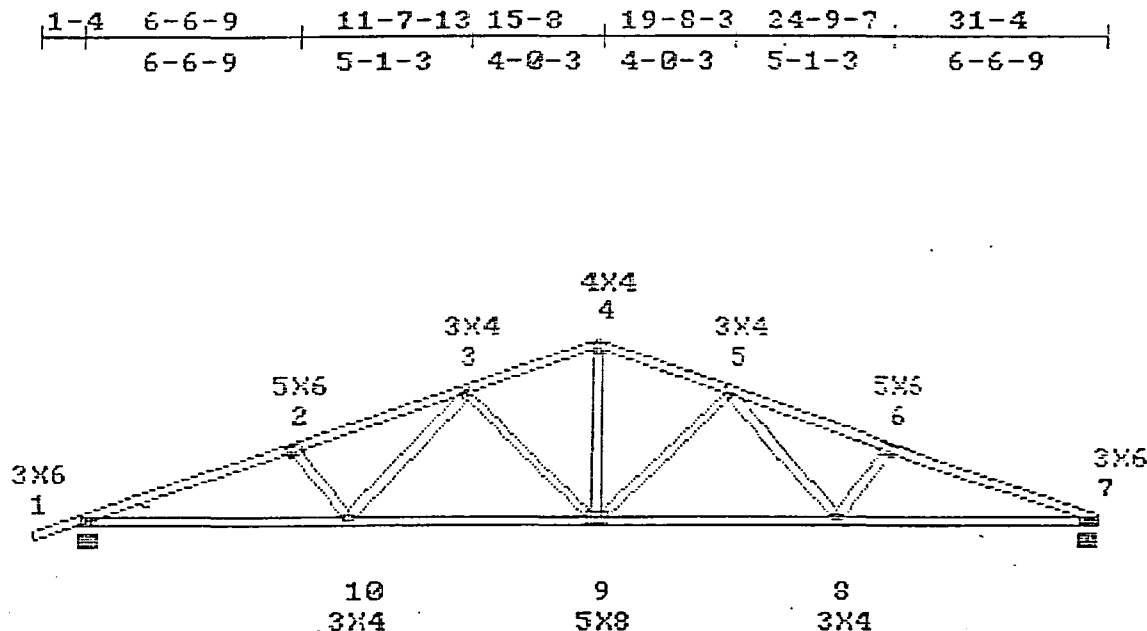
====Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-3272	7-8= 2991	2-10=-397	6-8=-397	1=-1833	8.00
2-3=-3023	8-9= 2436	3-10= 610		7=-1687	8.00
3-4=-2135	9-10= 2436	3-9=-732			
4-5=-2135	10-1= 2991	4-9= 1281			
5-6=-3023		5-9=-732			
6-7=-3272		5-8= 610			

PROVIDE FOR 1798 LBS UPLIFT AT JOINT 1 (0.98)
 PROVIDE FOR 1507 LBS UPLIFT AT JOINT 7 (0.89)
 PROVIDE FOR 76 LBS HORIZ. REACTION AT JOINT 1
 PLATE OFFSETS (X=LEFT,Y=TOP): [j2=3,3], [j6=3,3], [j9=4,2], (SYMMETRIC PLATING TURNED ON)



8-1-14 15-8 23-2-2 31-4
 8-1-14 7-6-2 7-6-2 8-1-14

[Signature]
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HL TO PK:16-11-11 SPAN:31-4 RISE:6-10-5 R. HL TO PK:16-11-11
 EFT HEIGHT:0-4-1 RIGHT HEIGHT:0-4-1

LOADING (PSF)		MAX STRESSES	MINIMUM GRADE OF LUMBER	
L	D	TOP 1-2=0.717	TOP CHORD:2X4	SS 19 SP
OP	30	BOTT 10-1=0.831	BOT CEORD:2X4	SS 19 SP
OTT	0	LL.DEFL.@9=0.20 < L/360	WEBS :2X4	No.3 19 SP

TR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.
 EPETITIVE STRESSES USED NO. OF MEMBERS = 1

USS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10(5-5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).
 ATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 ATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY(EXCEPT AS SHOWN) DESIGN CONFORMS W/ND'S DESIGN SPECS, SSBC, ANSI/TPI-95
 IS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

(54)

====<<<<ACES-32 Ver. 1.1>>>>=====[008047]=====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLEIA-CHATEAU

Project #: 99336

Span : 31-4

Truss ID : S25

Quantity : 1

Fri Oct 1 11:36:35 1999

Family # : 224

Top Pitch : 5/12

Bot pitch : 4/12

==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

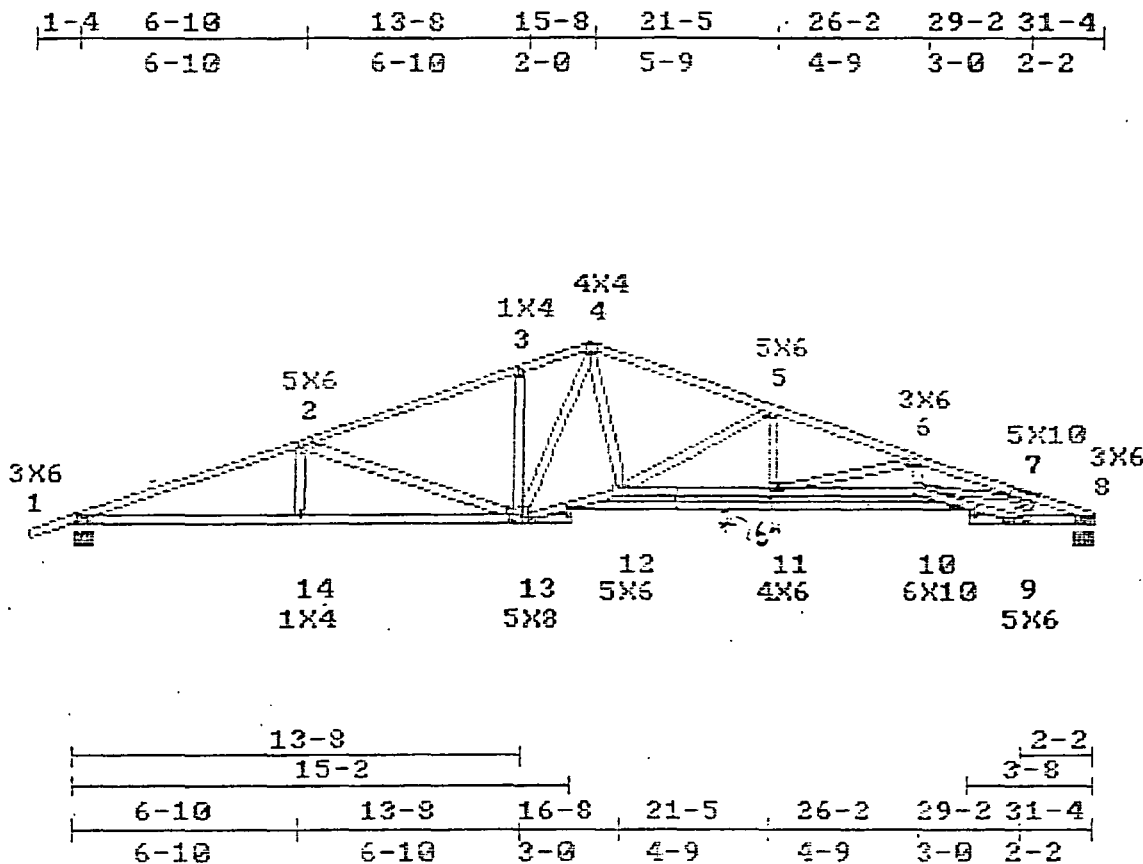
1-2=-3281	7-8=-3518	8-9= 3133	14-1= 3000	2-14= 130	5-11= 658	1=-1833	8.00
2-3=-2408		9-10= 3303		2-13=-843	6-11=-2390	8=-1687	8.00
3-4=-2408		10-11= 5830		3-13=-398	6-10= 1196		
4-5=-2671		11-12= 3511		4-13= 99	7-10= 2498		
5-6=-3804		12-13= 2312		4-12= 1534	7-9=-953		
6-7=-6316		13-14= 3000		5-12=-1256			

PROVIDE FOR 1798 LBS UPLIFT AT JOINT 1 (0.9S)

PROVIDE FOR 1507 LBS UPLIFT AT JOINT 8 (0.89)

PROVIDE FOR 76 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j2=3,3], [j5=3,3], [j10=3.5,2.5], [j11=3,2.5], [j12=3,2], (SYMMETRIC PLATING TURNED ON)



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HL TO PK:16-11-11 INTERNAL RISE:1-0 R. HL TO PK:16-11-11
LEFT HEIGHT:0-4-1 SPAN:31-4 RISE:6-10-5 RIGHT HEIGHT:0-4-1

LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
OP 30 15	TOP 1-2=0.876	TOP CHORD:2X4 SS 19 SP
OTT 0 10	BOTT 10-11=0.657	BOT CHORD:2X4 SS 19 SP
	LL.DEFL.@11=0.34 < L/360	WEBS :2X4 No.3 19 SP

FR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.
REPETITIVE STRESSES USED NO. OF MEMBERS = 1

TE: PROVIDE FOR 0.31 IN. HORIZONTAL DISPLACEMENT AT ONE BEARING

PROVIDE 2*4 CONTINUOUS BRACING AT BOTTOM CHORD NOT EXCEEDING 4' O.C. OVER DROPPED BOTTOM CHORD AREAS WHERE CEILING IS NOT APPLIED.
JOSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10G-5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).
ATES ARE MITEK M20-249, 200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)
ATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/ NDS DESIGN SPECS, SBC, ANSI/TPI-95
IS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

(55)

====<<<ACES-32 Ver. 1.1>>>===== [008048] =====<<<FL.QUAL./REM>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : S26	Fri Oct 1 11:36:37 1999
Project #: 99336	Quantity : 1	Family # : 224
Span : 31-4		Top Pitch : 5/12
		Bot pitch : 4/12

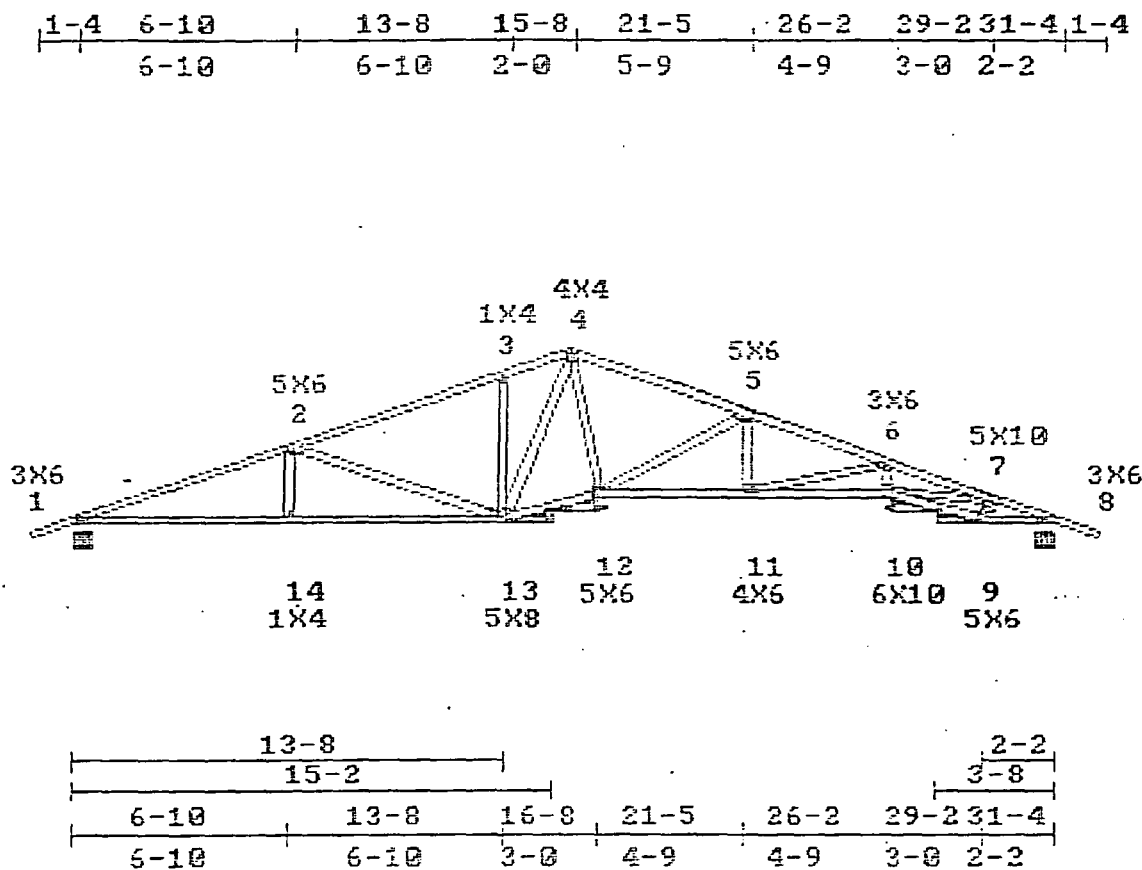
==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-5281	7-8=-3518	8-9= 3133	14-1= 3000	2-14= 130	5-11= 658	1=-1833	8.00
2-3=-2408		9-10= 3303		2-13=-843	6-11=-2390	8=-1833	8.00
3-4=-2408		10-11= 5830		3-13=-398	6-10= 1196		
4-5=-2671		11-12= 3511		4-13= 99	7-10= 2698		
5-6=-3804		12-13= 2312		4-12= 1534	7-9=-753		
6-7=-6316		13-14= 3000		5-12=-1256			

PROVIDE FOR 1795 LBS UPLIFT AT JOINT 1 (0.95)
 PROVIDE FOR 1795 LBS UPLIFT AT JOINT 8 (0.95)
 PROVIDE FOR 76 LBS HORIZ. REACTION AT JOINT 1
 PLATE OFFSETS (X=LEFT,Y=TOP): [j2=3,3], [j5=3,3], [j10=3.5,2.5], [j11=3,2.5], [j12=3,2], (SYMMETRIC PLATING TURNED ON)



[Signature]

OCT 05 1999

L. HL TO PK:16-11-11	INTERNAL RISE:1-0	R. HL TO PK:16-11-11
LEFT HEIGHT:0-4-1	SPAN:31-4	RIGHT HEIGHT:0-4-1
	RISE:6-10-6	

LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
L D	TOP 1-2=0.876	TOP CHORD:2X4 SS 19 SP
TOP 30 15	BOTT 10-11=0.657	BOT CHORD:2X4 SS 19 SP
BOTT 0 10	LL.DEFL.@11=0.34 < L/360	WEBS :2X4 No.3 19 SP

STR.INC.: LUMB = 1.33	SPACING : 24.0 in. o. c.
REPETITIVE STRESSES USED	NO. OF MEMBERS = 1

NOTE: PROVIDE FOR 0.31 IN. HORIZONTAL DISPLACEMENT AT ONE BEARING

PROVIDE 2*4 CONTINUOUS BRACING AT BOTTOM CHORD NOT EXCEEDING 4' O.C. OVER DROPPED BOTTOM CHORD AREAS WHERE CEILING IS NOT APPLIED.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10(5+5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY(EXCEPT AS SHOWN) DESIGN CONFORMS W/ NDS DESIGN SPECS, SSBC, ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

(56)

====<<<<ACES-32 Ver. 1.1>>>>=====[008049]====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU

Project #: 99336

Span : 29-11-8

Truss ID : S27

Quantity : 1

Fri Oct 1 11:36:40 1999

Family # : 224

Top Pitch : 5/12

Bot pitch : 4/12

==BLD(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-1568	7-8=-6026	9-10= 3004	15-1= 0	2-15= 2471	6-13=-1237	1=-1621	8.00
2-3=-2656	8-9=-3373	10-11= 3167		3-15=-189	6-12= 642	9=-1768	8.00
3-4=-2193		11-12= 5562		3-14=-463	7-12=-2318		
4-5=-2193		12-13= 3313		4-14=-398	7-11= 1150		
5-6=-2473		13-14= 2133		5-14= 4	8-11= 2559		
6-7=-3590		14-15= 2452		5-13= 1465	8-12=-840		

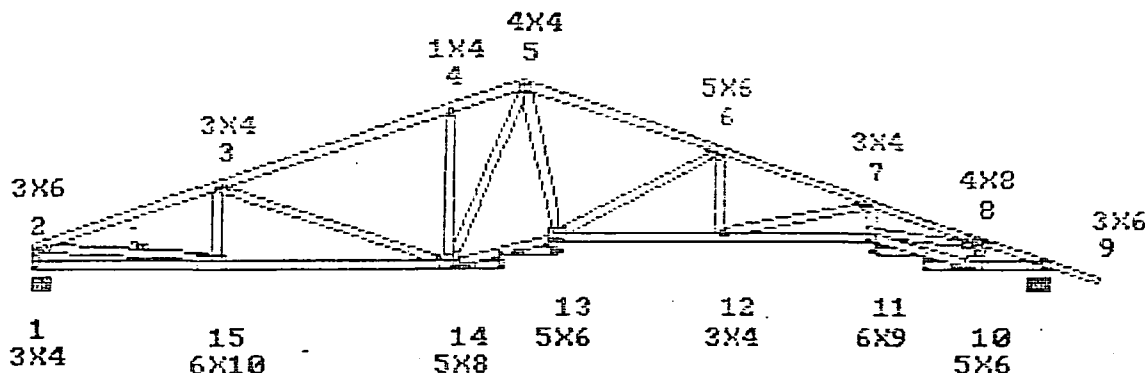
PROVIDE FOR 1450 LBS UPLIFT AT JOINT 1 (0.89)

PROVIDE FOR 1739 LBS UPLIFT AT JOINT 9 (0.98)

PROVIDE FOR 147 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j6=3,3], [j11=3.5,2.5], [j13=3,2], (SYMMETRIC PLATING TURNED ON)

5-5-8 12-3-8 14-3-8 20-0-8 24-9-8 27-9-8 1-4
5-5-8 6-10 2-0 5-9 4-9 3-0 2-2



12-3-8 13-9-8 2-2 3-8 29-11-8
5-5-8 12-3-8 15-3-8 20-0-8 24-9-8 27-9-8
5-5-8 6-10 3-0 4-9 4-9 3-0 2-2

[Signature]

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L. HL TO PK:15-5-13

LEFT HEIGHT:0-10-15

SPAN:29-11-8

INTERNAL RISE:1-0

RISE:6-10-5

R. HL TO PK:16-11-11

RIGHT HEIGHT:0-4-1

LOADING (PSF)

L D

TOP 30 15

BOTT 0 10

MAX STRESSES

TOP 2-3=0.763

BOTT 11-12=0.596

LL.DEFL.@12=0.30 < L/360

MINIMUM GRADE OF LUMBER

TOP CHORD:2X4 SS 19 SP

BOT CHORD:2X4 SS 19 SP

WEBS :2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33

REPETITIVE STRESSES USED

NOTE: PROVIDE FOR 0.26 IN. HORIZONTAL DISPLACEMENT AT ONE BEARING

SPACING : 24.0 in. o. c.

NO. OF MEMBERS = 1

EFT END VERTICAL IS NOT EXPOSED.

EB 2-15 BRACED AT 1/2 POINTS AS SHOWN ABOVE

PROVIDE 2x4 CONTINUOUS BRACING AT BOTTOM CHORD NOT EXCEEDING 4' O.C. OVER DROPPED BOTTOM CHORD AREAS WHERE CEILING IS NOT APPLIED.

NOTE: Use 1x4 or 2x3 Cont. Bracing conn. w/2-8d nails, or T-brace of same size and grade as web conn. to narrow face w/10d nails 6 in. o.c.

RUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10(5+5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/NDIS DESIGN SPECS, SSSC, ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

(51)

====<<<<ACES-32 Ver. 1.1>>>>===== [008050] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : S28	Fri Oct 1 11:36:42 1999
Project #: 99336	Quantity : 1	Family # : 224
Span : 28-0		Top Pitch : 5/12
		Bot pitch : 4/12

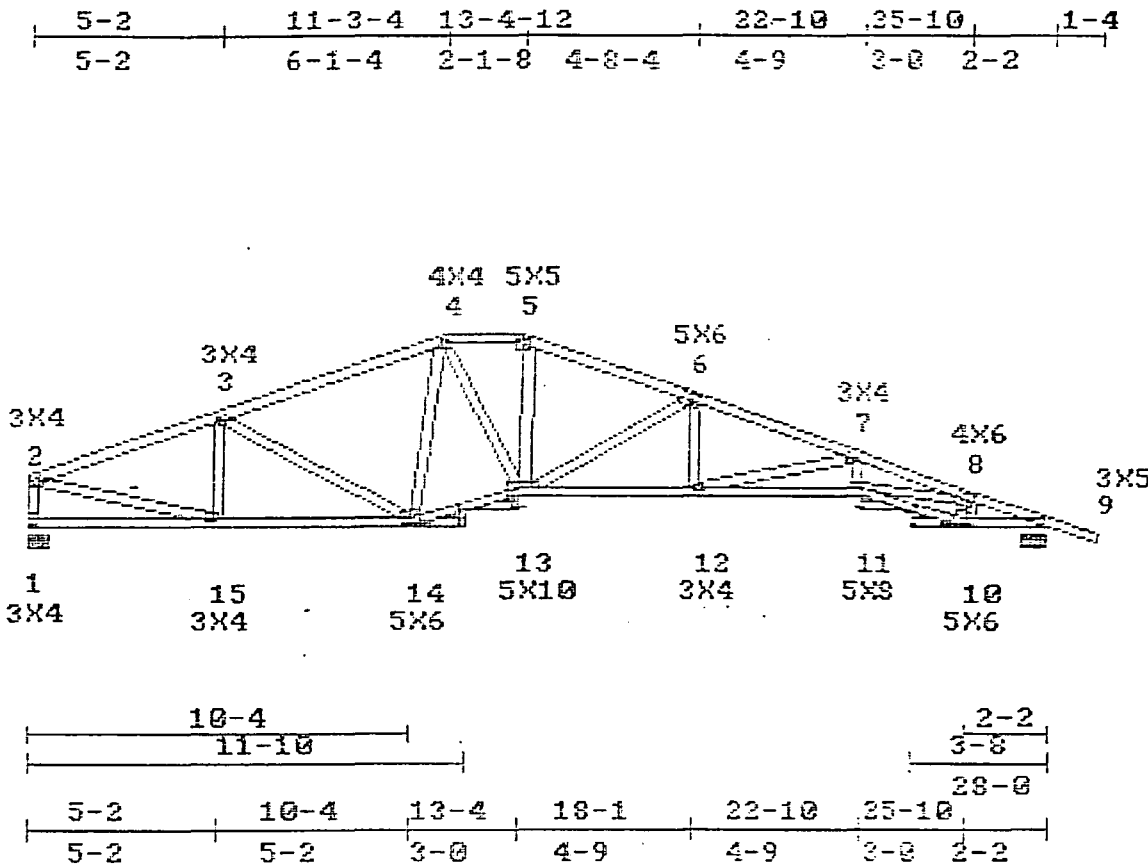
==8ld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-1463	7-8=-5547	9-10= 2792	15-1= 0	2-15= 1812	6-13=-1159	1=-1514	8.00
2-3=-1883	8-9=-3134	10-11= 2942		3-15=-414	6-12= 514	9=-1660	8.00
3-4=-1796		11-12= 5120		3-14=-99	7-12=-2195		
4-5=-2028		12-13= 2987		4-14=-439	7-11= 1072		
5-6=-2192		13-14= 1817		4-13= 817	8-11= 2329		
6-7=-3236		14-15= 1738		5-13= 541	8-10=-570		

PROVIDE FOR 1357 LBS UPLIFT AT JOINT 1 (0.93)
 PROVIDE FOR 1639 LBS UPLIFT AT JOINT 9 (0.99)
 PROVIDE FOR 229 LBS HORIZ. REACTION AT JOINT 1
 PLATE OFFSETS (X=LEFT,Y=TOP): [j5=2.5,2], [j6=3,3], [j11=4,2], [j13=4,2], (SYMMETRIC PLATING TURNED ON)



[Signature]
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HL TO PK:12-2-8	INTERNAL RISE:1-0	R. HL TO PK:15-9-14
LEFT HEIGHT:1-8-11	SPAN:28-0	RIGHT HEIGHT:0-4-1
=====		
LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
L D	TOP 2-3=0.837	TOP CHORD:2X4 SS 19 SP
OP 30 15	BOTT 11-12=0.509	BOT CHORD:2X4 SS 19 SP
OTT 0 10	LL.DEFL.@11=0.26 < L/360 WEBS	:2X4 No.3 19 SP
=====		
TR.INC.: LUMB = 1.33 PLATE = 1.33	SPACING : 24.0 in. o. c.	
REPETITIVE STRESSES USED	NO. OF MEMBERS = 1	

FT END VERTICAL IS NOT EXPOSED.
 PROVIDE 2x4 CONTINUOUS BRACING AT BOTTOM CHORD NOT EXCEEDING 4' O.C. OVER DROPPED BOTTOM CHORD AREAS WHERE CEILING IS NOT APPLIED.
 USS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10(5+5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249, 200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC, ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

(58)

====<<<<ACES-32 Ver. 1.1>>>>===== [008051] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU
Project # : 99336
Span : 28-0
Truss ID : S29
Quantity : 1
Fri Oct 1 11:36:44 1999
Family # : 224
Top Pitch : 5/12
Bot pitch : 4/12

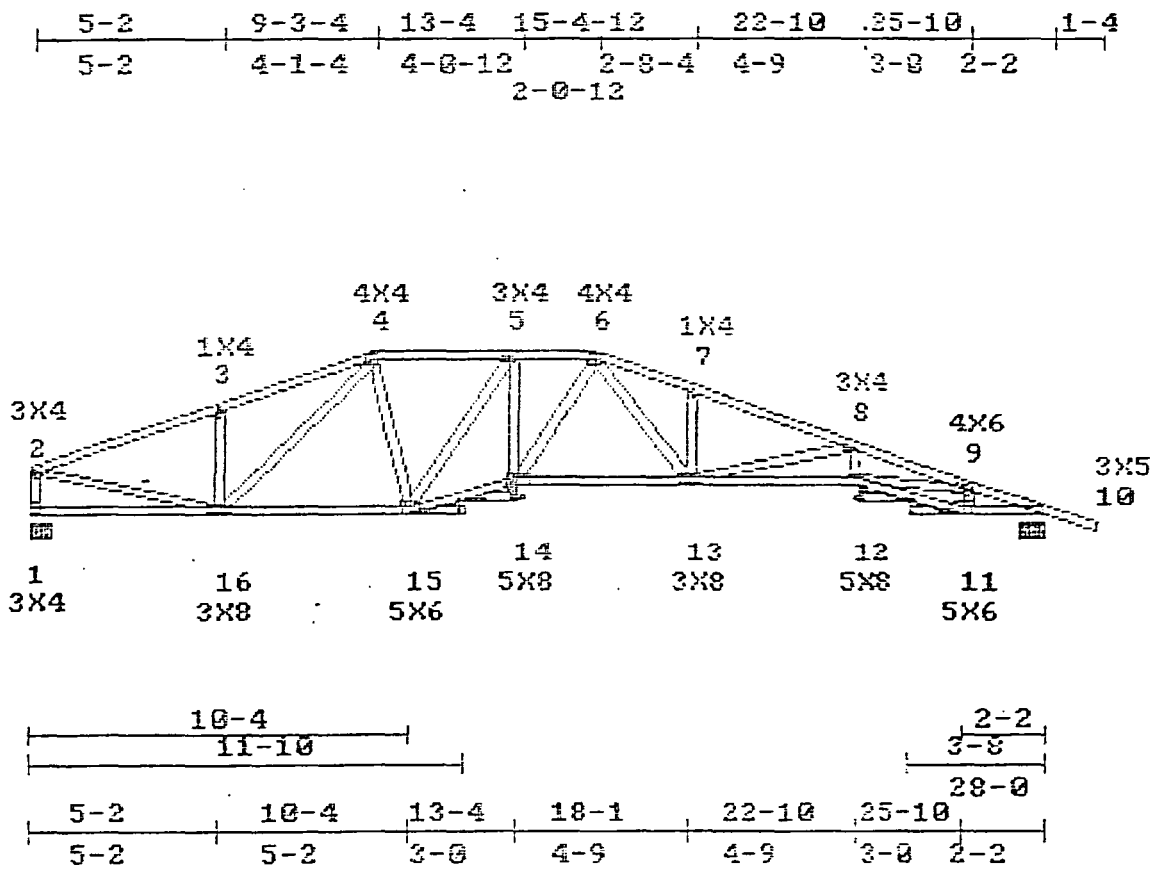
==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-1463	7-8=-3236	10-11= 2792	16-1= 0	2-16= 1812	6-14= 90	9-11=-570	1=-1514	8.00
2-3=-1883	8-9=-5547	11-12= 2942		3-16=-416	6-13= 1136		10=-1660	8.00
3-4=-1885	9-10=-3134	12-13= 5120		4-16= 2	7-13=-348			
4-5=-1809		13-14= 2385		4-15= 367	8-13=-2198			
5-6=-2424		14-15= 2555		5-15=-1246	8-12= 1072			
6-7=-3241		15-16= 1737		5-14= 808	9-12= 2329			

PROVIDE FOR 1357 LBS UPLIFT AT JOINT 1 (0.90)
PROVIDE FOR 1639 LBS UPLIFT AT JOINT 10 (0.99)
PROVIDE FOR 220 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j12=4,2], [j14=4,2], (SYMMETRIC PLATING TURNED ON)



HL TO PK:10-0-8
LEFT HEIGHT:1-8-11
SPAN:28-0
INTERNAL RISE:1-0
RISE:5-7-1
R. HL TO PK:13-7-14
RIGHT HEIGHT:0-4-1

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
L	D	TOP	8-9=0.701	TOP CHORD:2X4	SS 19 SP
OP	30	BOTT	12-13=0.509	BOT CHORD:2X4	SS 19 SP
OTT	0	LL.DEFL.@13=	0.26 < L/360	WEBS	:2X4 No.3 19 SP

TR.INC.: LUMB = 1.33 PLATE = 1.33
REPETITIVE STRESSES USED
SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

LEFT END VERTICAL IS NOT EXPOSED.
PROVIDE 2X4 CONTINUOUS BRACING AT BOTTOM CHORD NOT EXCEEDING 4' O.C. OVER DROPPED BOTTOM CHORD AREAS WHERE CEILING IS NOT APPLIED.
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. I, EXP. CAT. C, (10/5+5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249, 200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA: FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/ WINDS DESIGN SPECS, SBC, ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

(59)

====<<<<ACES-32 Ver. 1.1>>>>===== [008052] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:36:46 1999

Project #: 99336 Truss ID : T27 Family # : 101

Span : 9-10 Quantity : 1 Top Pitch : 5/12

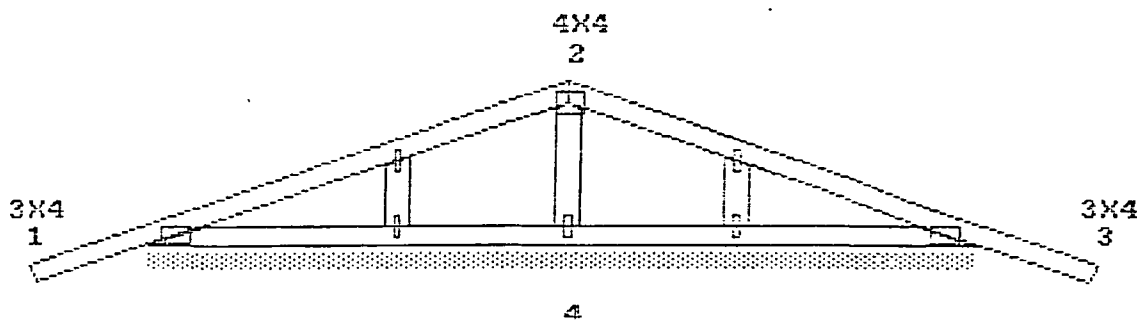
==Bld(7/22/1998),v1.1=====

NOTES: (1)-Gable studs spaced at 24 inches o.c.
 (2)-Brace vertical studs in accordance with standard gable end detail
 (3)-Continuous bearing provided along entire bottom chord
 (4)-Provide 1X4 plates at each end of gable stud unless otherwise noted

(SYMMETRIC PLATING TURNED ON)

1-4 4-11 9-10 1-4

4-11 4-11



4-11 9-10

4-11 4-11

L. HL TO PK:5-3-15 SPAN:9-10 RISE:2-4-10 R. HL TO PK:5-3-15

LEFT HEIGHT:0-4-1 RIGHT HEIGHT:0-4-1

LOADING (PSF)		MAX STRESSES	MINIMUM GRADE OF LUMBER	
L	D		TOP CHORD:2X4	No.2ND 19 SP
POP	30	15	BOT CHORD:2X4	No.2ND 19 SP
BOIT	0	10	WEBS	:2X4 No.3 19 SP

LL.DEFL.@0=0.00 < L/360

STR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.

REPETITIVE STRESSES USED NO. OF MEMBERS = 1

RUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

LATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

LATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDSDS DESIGN SPECS, SSBC,ANSI/TPI-95

HIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>===== [008077] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:55:20 1999

Project #: 99336 Truss ID : T25 Family #: 101

Span : 9-10 Quantity : 7 Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

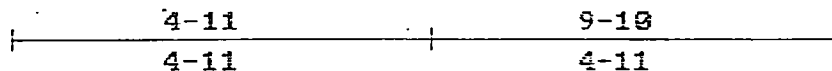
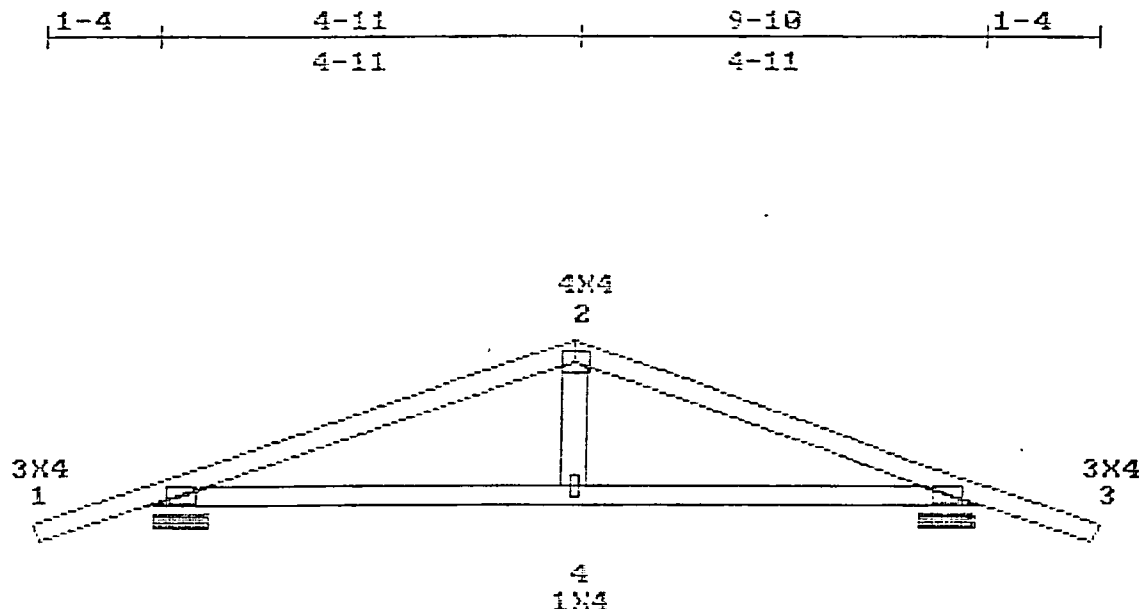
FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-610	3-4= 555	2-4= 92	1=-651	8.00
2-3=-610	4-1= 555		3=-651	8.00

PROVIDE FOR 854 LBS UPLIFT AT JOINT 1 (1.31)

PROVIDE FOR 854 LBS UPLIFT AT JOINT 3 (1.31)

PROVIDE FOR 51 LBS HORIZ. REACTION AT JOINT 1

(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:5-3-15 SPAN:9-10 RISE:2-4-10 R. HL TO PK:5-3-15

LEFT HEIGHT:0-4-1 RIGHT HEIGHT:0-4-1

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	L 30 D 15	TOP	2-3=0.793	TOP CHORD:2X4	No.2ND 19 SP
BOTT	0 10	BOTT	3-4=0.202	BOT CHORD:2X4	No.2ND 19 SP
		LL.DEFL.@4=0.01	< L/360	WEBS	:2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.

REPETITIVE STRESSES USED NO. OF MEMBERS = 1

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,(25+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]

OCT 05 1999

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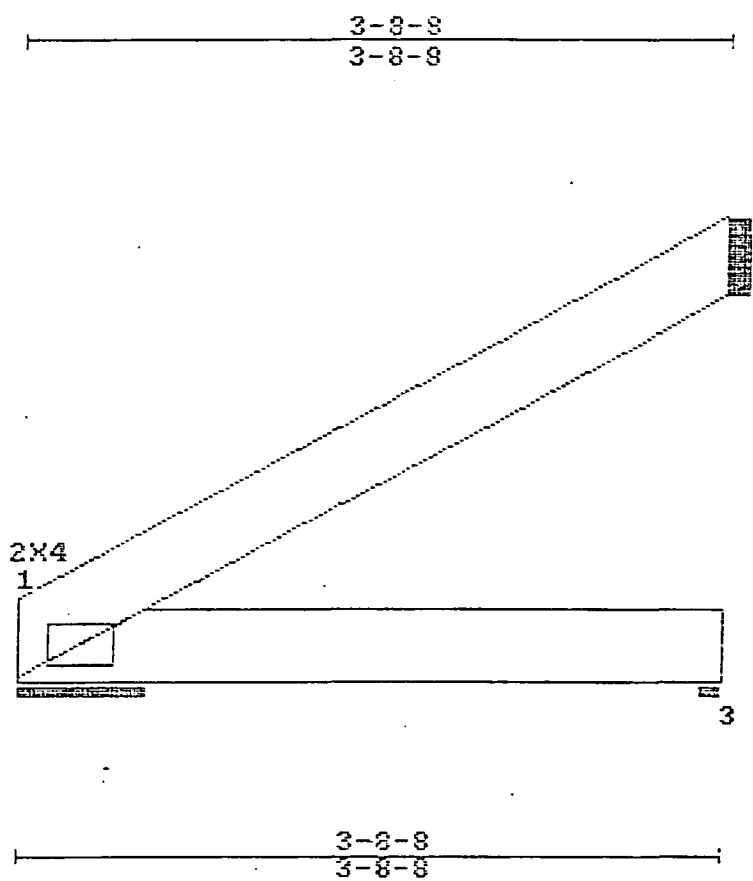
====<<<ACES-32 Ver. 1.1>>>===== [008078] =====<<<FL.QUAL./REM>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : J3A	Fri Oct 1 11:55:22 1999
Project #: 99336	Quantity : 2	Family # : 205
Span : 3-8-8		Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS		REACTIONS - SIZE	
1-2= 0	3-1= 0	1=-152	8.00
2-3= 0		3=-33	1.50
		2=-149	1.50

PROVIDE FOR 154 LBS UPLIFT AT JOINT 1 (0.85)
PROVIDE FOR 270 LBS UPLIFT AT JOINT 2 (1.81)
PROVIDE FOR 217 LBS HORIZ. REACTION AT JOINT 1
(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:4-0-3		SPAN:3-8-8		RISE:1-10-9		RIGHT HEIGHT:1-10-9	
LEFT HEIGHT:0-4-1							
LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER			
L	D	TOP	1-2=0.431	TOP CHORD:	2X4	No.2ND	19 SP
TOP	30	15	BOTT 3-1=0.054	BOT CHORD:	2X4	No.2ND	19 SP
BOTT	0	10	LL.DEFL. < L/360	WEBS	:2X4	No.3	19 SP
STR.INC.: LUMB = 1.33 PLATE = 1.33				SPACING : 24.0 in. o. c.			
REPETITIVE STRESSES USED				NO. OF MEMBERS = 1			

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDS DESIGN SPECS, SSBC,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]
OCT 05 1999

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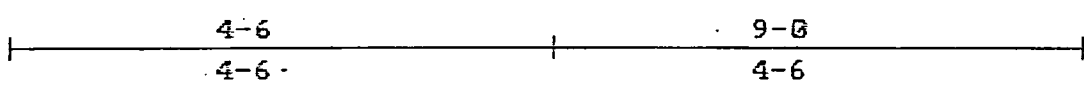
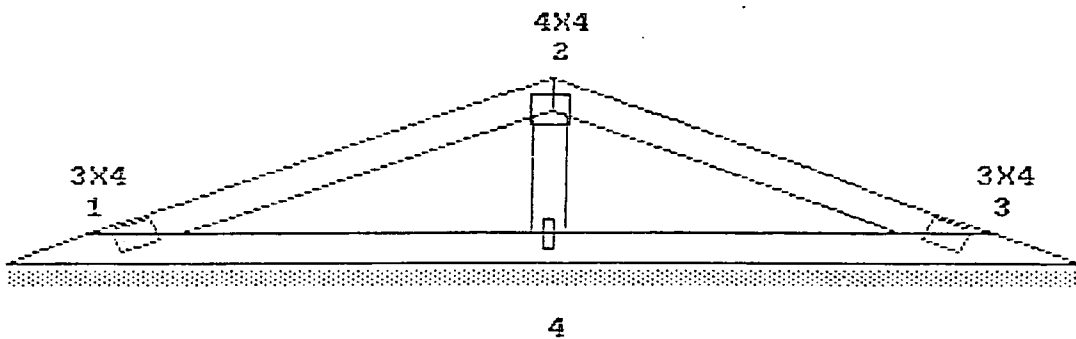
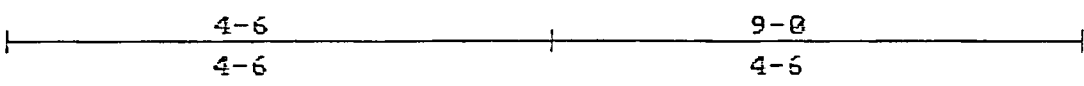
====<<<ACES-32 Ver. 1.1>>>===== [008079] =====<<<FL.QUAL./REM>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : V9	Fri Oct 1 11:55:24 1999
Project #: 99336	Quantity : 1	Family # : 101
Span : 9-0		Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

NOTES: (1)-Gable studs spaced at 48 inches o.c.
(2)-Brace vertical studs in accordance with standard gable end detail
(3)-Continuous bearing provided along entire bottom chord
(4)-Provide 1X4 plates at each end of gable stud unless otherwise noted

(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:4-10-8				R. HL TO PK :4-10-8					
LEFT HEIGHT:0-0				SPAN:9-0		RISE:1-10-8		RIGHT HEIGHT:0-0	
LOADING (PSF)				MAX STRESSES		MINIMUM GRADE OF LUMBER			
L		D		LL.DEFL.@0=0.00 < L/360		TOP CHORD:2X4		No.2ND 19 SP	
TOP		30 15				BOT CHORD:2X4		No.2ND 19 SP	
BOTT		0 10				WEBS :2X4		No.3 19 SP	
STR.INC.: LUMB = 1.33 PLATE = 1.33						SPACING : 24.0 in. o. c.			
REPETITIVE STRESSES USED						NO. OF MEMBERS = 1			

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,(25+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

(63)

====<<<ACES-32 Ver. 1.1>>>===== [008080] =====<<<FL.QUAL./REM>>>=====

Customer : FOGLIA-CHATEAU

Fri Oct 1 11:55:26 1999

Project #: 99336

Truss ID : V5

Family # : 101

Span : 5-0

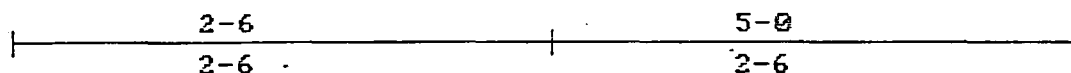
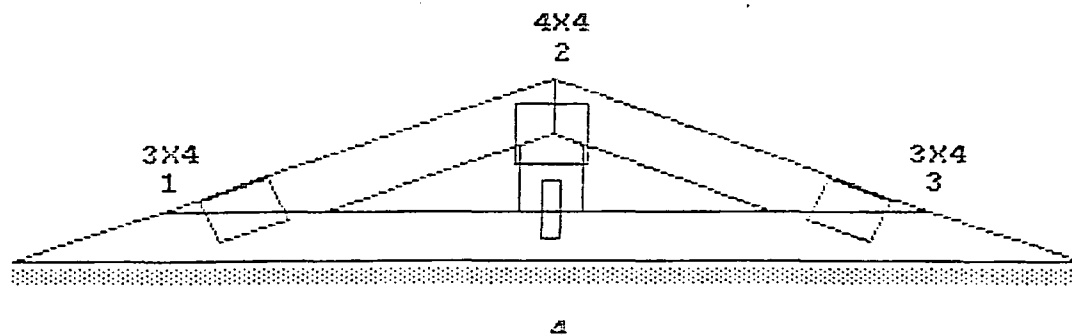
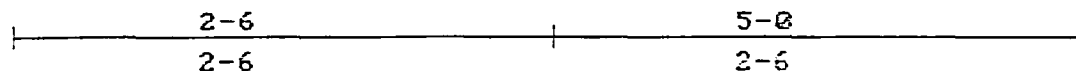
Quantity : 1

Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

NOTES: (1)-Gable studs spaced at 48 inches o.c.
 (2)-Brace vertical studs in accordance with standard gable end detail
 (3)-Continuous bearing provided along entire bottom chord
 (4)-Provide 1X4 plates at each end of gable stud unless otherwise noted

(SYMMETRIC PLATING TURNED ON)



L. HL TO PK: 2-8-8

LEFT HEIGHT: 0-0

SPAN: 5-0

RISE: 1-0-8

R. HL TO PK: 2-8-8

RIGHT HEIGHT: 0-0

LOADING (PSF)

MAX STRESSES

MINIMUM GRADE OF LUMBER

TOP L D

TOP CHORD: 2X4 No. 2ND 19 SP

BOTT 0 10

BOT CHORD: 2X4 No. 2ND 19 SP

LL.DEFL.@0=0.00 < L/360

WEBS : 2X4 No. 3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33

SPACING : 24.0 in. o. c.

REPETITIVE STRESSES USED

NO. OF MEMBERS = 1

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10(5+5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS U/NDS DESIGN SPECS, SSBC, ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

(64)

====<<<<ACES-32 Ver. 1.1>>>>===== [008091] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLEIA-CHATEAU	Truss ID : T8	Fri Oct 1 11:55:29 1999
Project #: 99336	Quantity : 1	Family # : 314
Span : 28-0		Top Pitch : 5/12

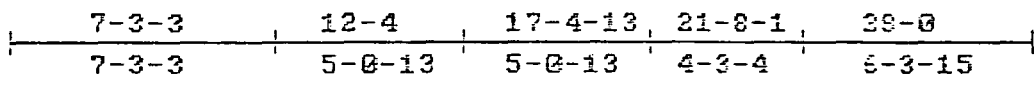
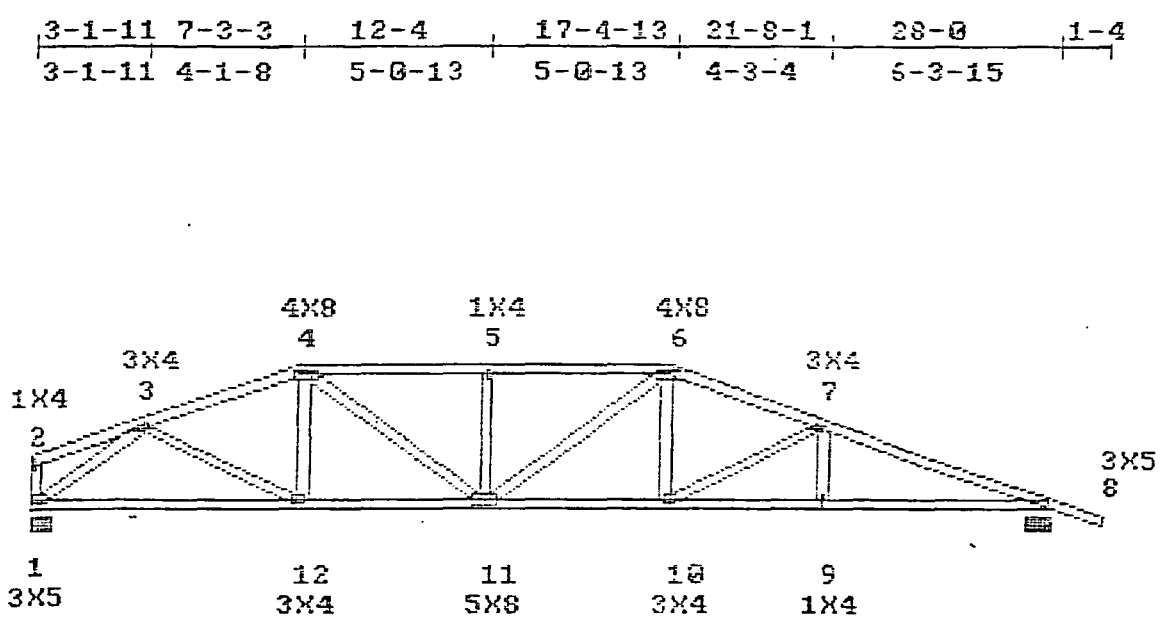
====Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-135	7-8=-2910	8-9= 2659	3-1=-1941	6-10= 390	1=-1514	8.00
2-3= 0		9-10= 2659	3-12= 427	7-10=-560	8=-1660	8.00
3-4=-1942	10-11= 2184		4-12=-114	7-9= 103		
4-5=-2304	11-12= 1791		4-11= 684			
5-6=-2304	12-1= 1434		5-11=-456			
6-7=-2368			6-11= 160			

PROVIDE FOR 1357 LBS UPLIFT AT JOINT 1 (0.90)
PROVIDE FOR 1639 LBS UPLIFT AT JOINT 8 (0.99)
PROVIDE FOR 210 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j11=4,2], (SYMMETRIC PLATING TURNED ON)



L. HL TO PK: 7-10-7
LEFT HEIGHT: 1-8-11
SPAN: 28-0
RISE: 4-9-1
R. HL TO PK: 11-5-13
RIGHT HEIGHT: 0-4-1

LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
L D	TOP 4-5=0.667	TOP CHORD: 2X4 SS 19 SP
TOP 30 15	BOTT 9-10=0.629	BOT CHORD: 2X4 No.2ND 19 SP
BOTT 0 10	LL.DEFL.@10=0.13 < L/360	WEBS : 2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33
REPETITIVE STRESSES USED
SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

EFT END VERTICAL IS NOT EXPOSED.
RUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10G-5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).
LATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)
LATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/ NDS DESIGN SPECS, SSBC, ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

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====<<<<ACES-32 Ver. 1.1>>>>===== [008082] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Truss ID : T9 Fri Oct 1 11:55:31 1999
 Project #: 99336 Quantity : 2 Family # : special
 Span : 26-7 Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

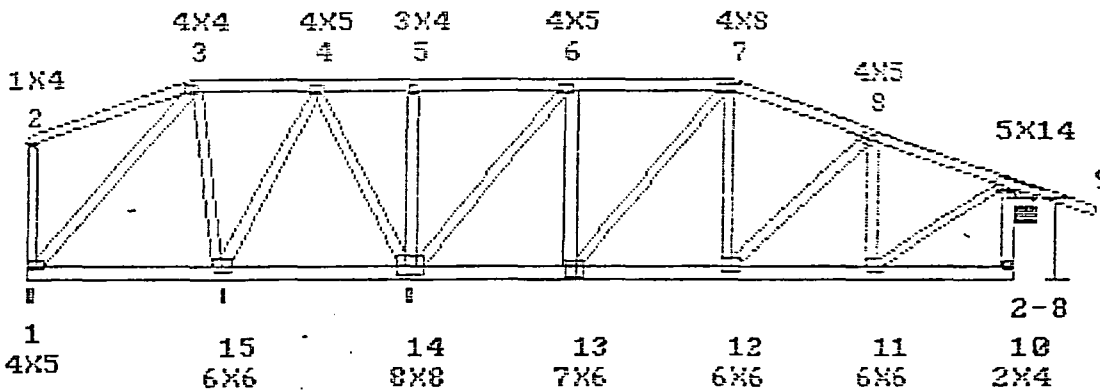
FORCES - LOAD CASE #1

REACTIONS - SIZE

1-2=-191	7-8=-2605	10-11= 0	3-1= 36	6-13= 2499	1=-1066	3.50
2-3= 0	8-9=-2578	11-12= 2393	3-15=-371	7-13=-1097	9=-3923	8.00
3-4= 57	9-10= 717	12-13= 2403	4-15= 75	7-12= 1530	15=-2184	1.50
4-5= 225		13-14= 1768	4-14=-360	8-12= 14	14=-5293	2.67
5-6= 224		14-15=-87	5-14=-305	8-11=-408		
6-7=-1766		15-1=-20	6-14=-3507	9-11= 3024		

PROVIDE FOR 981 LBS UPLIFT AT JOINT 1 (0.92)
 PROVIDE FOR 3729 LBS UPLIFT AT JOINT 9 (0.95)
 PROVIDE FOR 1904 LBS UPLIFT AT JOINT 15 (0.87)
 PROVIDE FOR 4854 LBS UPLIFT AT JOINT 14 (0.92)
 PROVIDE FOR 185 LBS HORIZ. REACTION AT JOINT 1
 PLATE OFFSETS (X=LEFT,Y=TOP): [j9=2.5,3], [j13=3,2], (SYMMETRIC PLATING TURNED ON)

4-4-11 7-8-7 10-3 14-5-13 18-10-5 22-8-14 26-7 2-0-8
 4-4-11 3-3-12 4-2-13 4-4-8 3-10-9 3-10-2
 2-6-9



4-11-15 10-2-15 14-5-12 18-10-4 22-8-14 26-7
 4-11-15 5-3 4-2-13 4-4-8 3-10-10 3-10-2

[Signature]
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HL TO PK: 4-9-1 SPAN: 26-7 RISE: 6-6-3 R. HL TO PK: 8-4-7
 LEFT HEIGHT: 4-8-4 RIGHT HEIGHT: 3-3-9

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
L	D	TOP	7-8=0.491	TOP CHORD:	2X4 No.2ND 19 SP
OP	30 15	BOTT	13-14=0.535	BOT CHORD:	2X6 No.2D 19 SP
OTT	0 10	LL.DEFL.	@12=0.03 < L/360	WEBS	:2X4 No.3 19 SP

COMPETITIVE STRESSES NOT USED

SPACING : 24.0 in. o. c.
 NO. OF MEMBERS = 2

LOADING STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER PLATE	TYPE	
1	1.33	UNIFORM 2-9= 90 10-1= 373

TH END VERTICALS ARE NOT EXPOSED.
 MEMBERS NAILED TOG. W/1 ROW(S) OF .131x3 in. NAILS 12 in. o.c.(TOP CHS.),AND 1 ROW(S) OF .131x3 in. NAILS 7 in. o.c(BOTT. CHS.)
 Webs use 1 ROW of NAILS 12 in. o.c.
 JSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
 ATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 ATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDSDS DESIGN SPECS, SSSC,ANSI/TP1-95
 IS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACINGS(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

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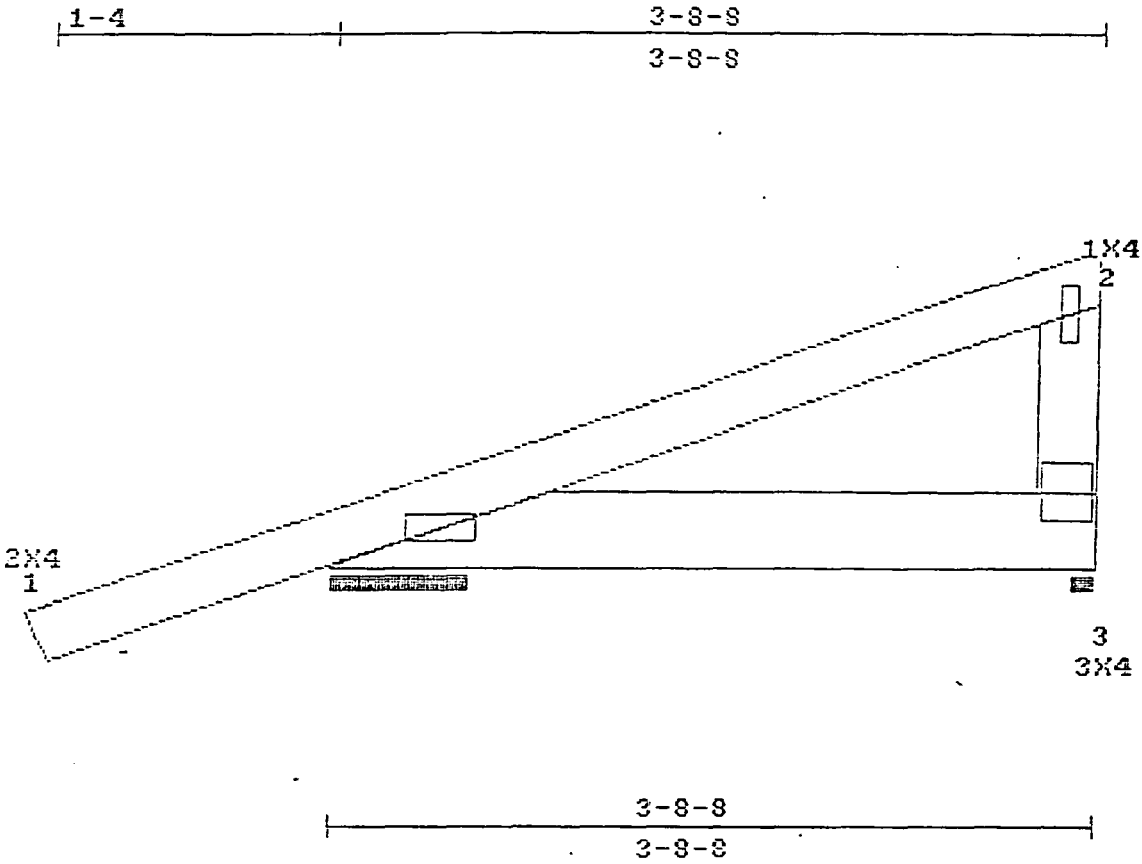
====<<<ACES-32 Ver. 1.1>>>===== [008083] =====<<<FL.QUAL./REM>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : T29	Fri Oct 1 11:55:33 1999
Project #: 99336	Quantity : 1	Family # : 201
Span : 3-8-8		Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

FORCES - LOAD CASE #1		REACTIONS - SIZE	
1-2= 0	3-1= 0	1=-747	8.00
2-3=-149		3=-595	1.50

PROVIDE FOR 839 LBS UPLIFT AT JOINT 1 (1.13)
PROVIDE FOR 621 LBS UPLIFT AT JOINT 3 (1.04)
PROVIDE FOR 205 LBS HORIZ. REACTION AT JOINT 1
(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:4-0-3		SPAN:3-8-8		RISE:1-10-9		RIGHT HEIGHT:1-10-9	
LEFT HEIGHT:0-4-1							
LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER			
	L D	TOP	1-2=0.495	TOP CHORD:	2X4	No.2ND	19 SP
TOP	30 15	BOTT	3-1=0.315	BOT CHORD:	2X6	No.2D	19 SP
BOTT	0 10	LL.DEFL.	< L/360	WEBS	:2X4	No.3	19 SP

REPETITIVE STRESSES NOT USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

LOADING	STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER	PLATE	TYPE	
1	1.33	1.33	UNIFORM 1- 2= 90 3- 1= 269

RIGHT END VERTICAL IS NOT EXPOSED.
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,(125+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

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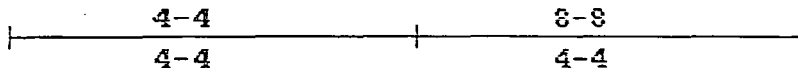
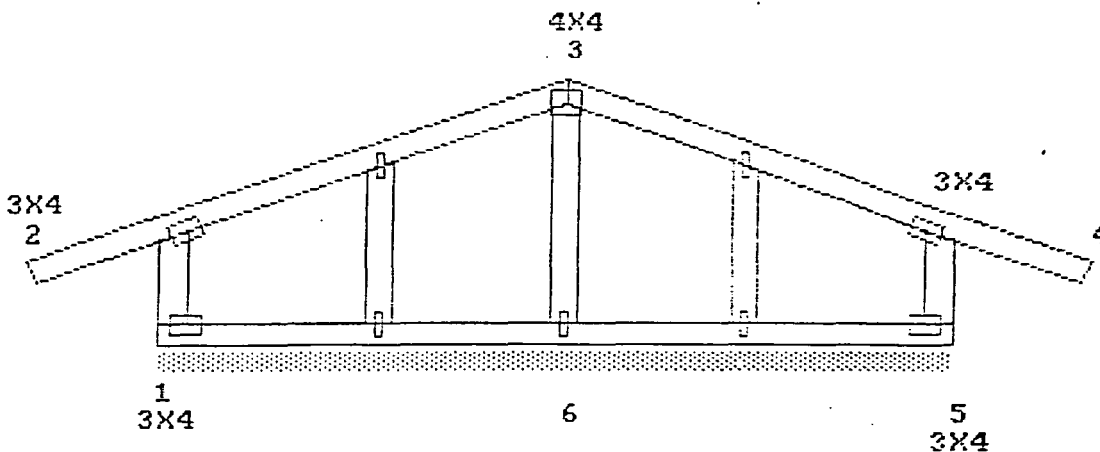
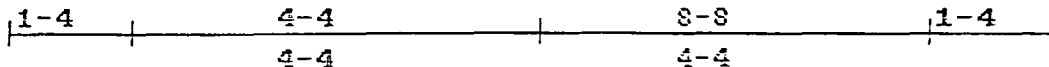
====<<<<ACES-32 Ver. 1.1>>>>===== [008084] (67) <<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Truss ID : T23 Fri Oct 1 11:55:35 1999
 Project #: 99336 Family #: 101
 Span : 8-8 Quantity : 1 Top Pitch : 5/12

==Bld(7/22/1998), v1.1=====

NOTES: (1)-Gable studs spaced at 24 inches o.c.
 (2)-Brace vertical studs in accordance with standard gable end detail
 (3)-Continuous bearing provided along entire bottom chord
 (4)-Provide 1X4 plates at each end of gable stud unless otherwise noted
 (5)-Truss to be fully sheathed from one face, or securely braced against lateral movement (i.e. diagonal web)

(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:4-8-5 LEFT HEIGHT:1-8-12 SPAN:8-8 RISE:3-6-7 R. HL TO PK:4-8-5 RIGHT HEIGHT:1-8-12

LOADING (PSF)		MAX STRESSES	MINIMUM GRADE OF LUMBER	
L	D		TOP CHORD	2ND 19 SP
30	15		BOT CHORD <td>2ND 19 SP</td>	2ND 19 SP
0	10	LL.DEFL.@0=0.00 < L/360	WEBS	2ND 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.
 REPETITIVE STRESSES USED NO. OF MEMBERS = 1

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 195-5 PSF DL, 20.00 MI FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY(EXCEPT AS SHOWN) DESIGN CONFORMS W/NDSDS DESIGN SPECS, SBC, ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

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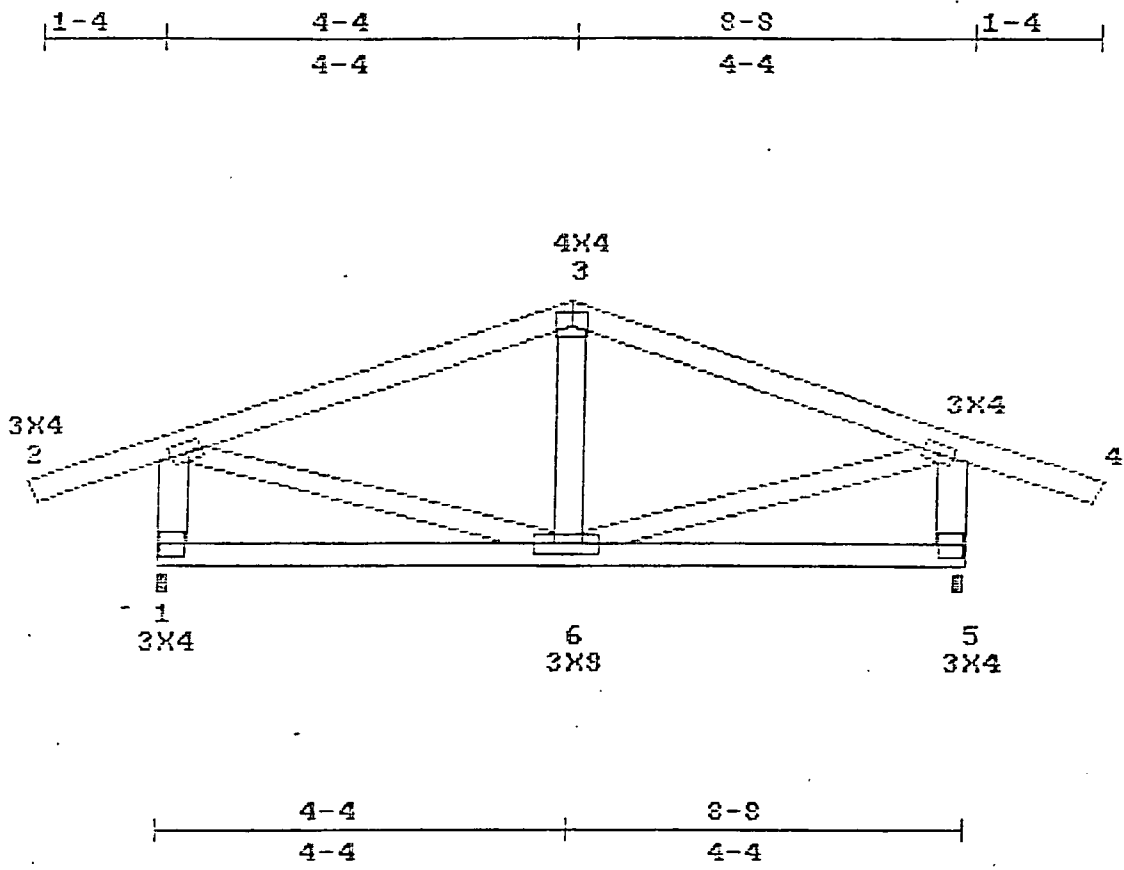
====<<<<ACES-32 Ver. 1.1>>>>===== [008085] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : T24	Fri Oct 1 11:55:37 1999
Project #: 99336	Quantity : 3	Family # : 101
Span : 8-8		Top Pitch : 5/12

==Std(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-574	5-6= 0	2-6= 329	1=-616	1.50
2-3=-335	6-1= 0	3-6=-131	5=-616	1.50
3-4=-335		4-6= 329		
4-5=-574				

PROVIDE FOR 811 LBS UPLIFT AT JOINT 1 (1.32)
PROVIDE FOR 811 LBS UPLIFT AT JOINT 5 (1.32)
PROVIDE FOR 43 LBS HORIZ. REACTION AT JOINT 1
(SYMMETRIC PLATING TURNED ON)



L. HL TO PK: 4-8-5	SPAN: 8-8	RISE: 3-6-7	R. HL TO PK: 4-8-5
LEFT HEIGHT: 1-8-12			RIGHT HEIGHT: 1-8-12

=====

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
L	D	TOP	2-3=0.775	TOP CHORD:	2X4 No.2ND 19 SP
TOP	30 15	BOTT	6-1=0.076	BOT CHORD:	2X4 No.2ND 19 SP
BOTT	0 10	LL.DEFL.@6=0.00	< L/360	WEBS	:2X4 No.3 19 SP

=====

STR.INC.: LUMB = 1.33	PLATE = 1.33	SPACING : 24.0 in. o. c.
REPETITIVE STRESSES USED		NO. OF MEMBERS = 1

OTH END VERTICALS ARE NOT EXPOSED.
RUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
LATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
LATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDS DESIGN SPECS, SSBC,ANSI/TPI-95
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====<<<<ACES-32 Ver. 1.1>>>>===== [008087] =====<<<<FL.QUAL./REM>>>>=====

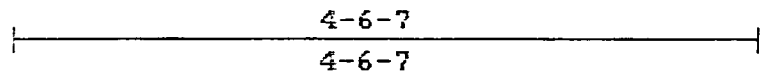
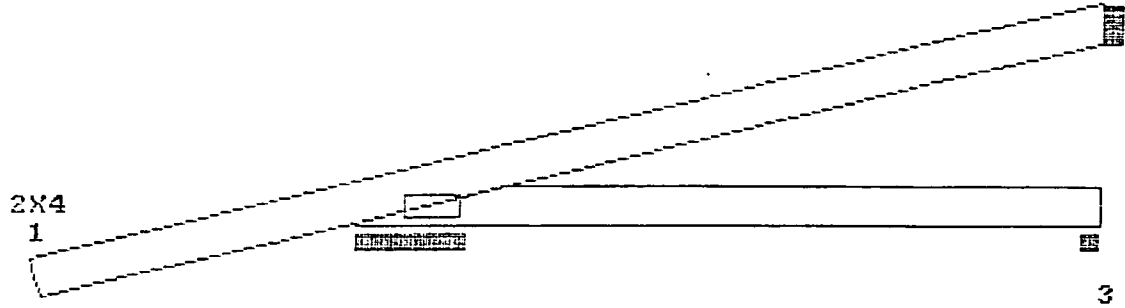
Customer : FOGLIA-CHATEAU Truss ID : HJ3 Fri Oct 1 11:55:42 1999
Project #: 99336 Quantity : 1 Family # : 205
Span : 4-6-7 Top Pitch : 3.536/12

==Bld(7/22/1998),v1.1=====

FORCES - LOAD CASE #1 REACTIONS - SIZE

1-2= 0	3-1= 0	1=-344	8.00
2-3= 0		3=-25	1.50
		2=-112	1.50

PROVIDE FOR 775 LBS UPLIFT AT JOINT 1 (2.25)
PROVIDE FOR 419 LBS UPLIFT AT JOINT 2 (3.74)
PROVIDE FOR 185 LBS HORIZ. REACTION AT JOINT 1
(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:4-8-12
LEFT HEIGHT:0-3-14 SPAN:4-6-7 RISE:1-7-15 RIGHT HEIGHT:1-7-15

LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
TOP 30 15	TOP 1-2=0.537	TOP CHORD:2X4 No.2ND 19 SP
BOTT 0 10	BOTT 3-1=0.058	BOT CHORD:2X4 No.2ND 19 SP
	LL.DEFL. < L/360	WEBS :2X6 No.2D 19 SP

REPETITIVE STRESSES NOT USED SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

LOADING	STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER	PLATE	TYPE	
1	1.33	1.33	UNIFORM 1- 2= 54 3- 1= 12

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95
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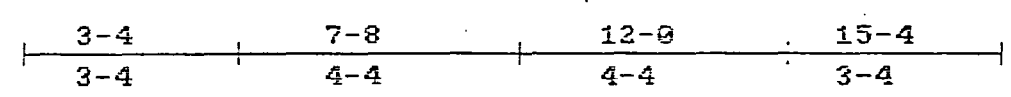
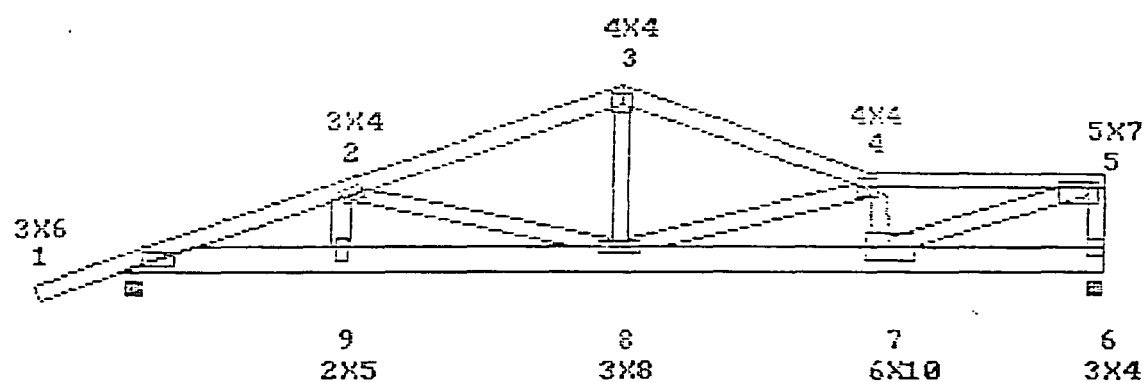
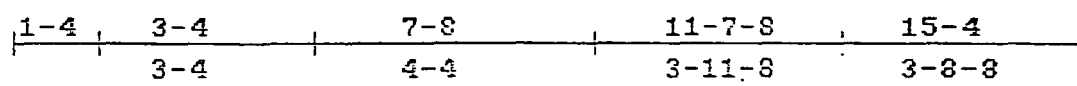
====<<<<ACES-32 Ver. 1.1>>>>===== [008088]=====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : T18	Fri Oct 1 11:55:44 1999
Project #: 99336	Quantity : 1	Family # : special
Span : 15-4		Top Pitch : 5/12

====Bld(7/22/1998),v1.1=====

FORCES - LOAD CASE #1			REACTIONS - SIZE	
1-2=-3618	6-7= 0	2-9= 822	1=-1726	3.50
2-3=-1903	7-8= 3094	2-8=-1652	6=-1754	3.50
3-4=-1901	8-9= 3335	3-8= 1086		
4-5=-2956	9-1= 3335	4-8=-1431		
5-6=-1561		4-7=-572		
		5-7= 3271		

PROVIDE FOR 1700 LBS UPLIFT AT JOINT 1 (0.95)
PROVIDE FOR 1584 LBS UPLIFT AT JOINT 6 (0.90)
PROVIDE FOR 192 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j5=5,1.5], [j9=3,1], (SYMMETRIC PLATING TURNED ON)



HL TO PK:8-3-11
LEFT HEIGHT:0-4-1 SPAN:15-4 RISE:3-6-7 RIGHT HEIGHT:1-10-10

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	L 30 D 15	TOP 1-2=0.542		TOP CHORD:2X4	SS 19 SP
BOTT	L 0 D 10	BOTT 8-9=0.431		BOT CHORD:2X6	No.2D 19 SP
		LL.DEFL.@8=0.08 < L/360		WEBS :2X4	No.3 19 SP

REPETITIVE STRESSES NOT USED
SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

LOADING STRESS INCREASE	LOADING	PANEL(PLF) / JOINTS(LBS)
LUMBER	PLATE	TYPE
1.33	1.33	UNIFORM
		CONCENTRATED
		1- 5= 90 6- 7= 121 7- 1= 20
		7= 610 9= 747

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RIGHT END VERTICAL IS NOT EXPOSED.
USS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. I, EXP. CAT. C, 10(5-5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).
TRUSSES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
TRUSSES MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY(EXCEPT AS SHOWN) DESIGN CONFORMS W/NDSD DESIGN SPECS, SSSC, ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

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====<<<<ACES-32 Ver. 1.1>>>>===== [008089] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:55:46 1999

Project #: 99336 Truss ID : T17 Family # : 103

Span : 15-4 Quantity : 1 Top Pitch : 5/12

====Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-1426	5-6= 1305	2-6=-379	1=-974	3.50
2-3=-1044	6-1= 1305	3-6= 481	5=-827	3.50
3-4=-1044		4-6=-379		
4-5=-1426				

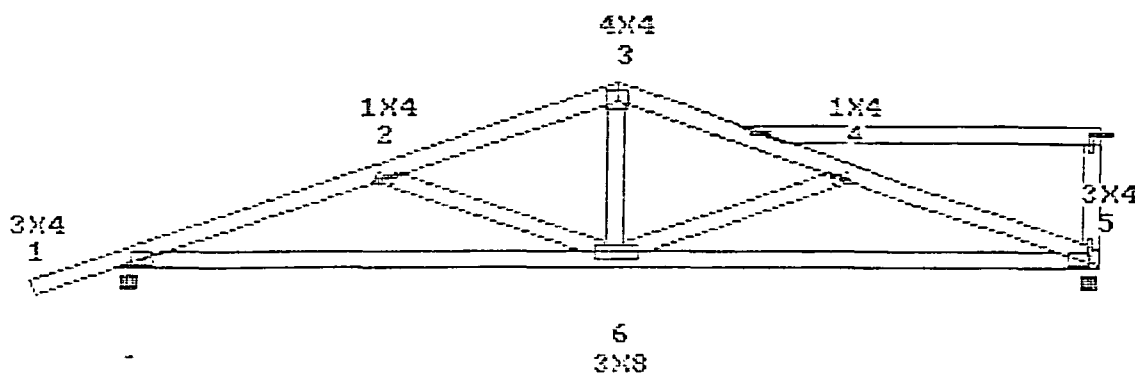
PROVIDE FOR 1030 LBS UPLIFT AT JOINT 1 (1.06)

PROVIDE FOR 739 LBS UPLIFT AT JOINT 5 (0.89)

PROVIDE FOR 27 LBS HORIZ. REACTION AT JOINT 1

(SYMMETRIC PLATING TURNED ON)

1-4	4-1	7-8	11-3	15-4
	4-1	3-7	3-7	4-1



7-8	15-4
7-8	7-8

L. HL TO PK:8-3-11 SPAN:15-4 RISE:3-6-6 R. HL TO PK:8-3-11

LEFT HEIGHT:0-4-1 RIGHT HEIGHT:0-4-1

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	L 30 D 15	TOP	1-2=0.635	TOP CHORD:	2X4 No.2ND 19 SP
BOTT	0 10	BOTT	6-1=0.496	BOT CHORD:	2X4 No.2ND 19 SP
		LL.DEFL.@6=0.04 < L/360		WEBS	:2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.

REPETITIVE STRESSES USED NO. OF MEMBERS = 1

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 10(S+5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY(EXCEPT AS SHOWN) DESIGN CONFORMS W/ WINDS DESIGN SPECS, SBC, ANSI/TPI-95

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====<<<<ACES-32 Ver. 1.1>>>>===== [008090] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU

Fri Oct 1 11:55:48 1999

Project #: 99336

Truss ID : T16

Family # : 313

Span : 15-4

Quantity : 1

Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

1-2=-1420 6-7= 661 2-7=-384
2-3=-1036 7-1= 1299 3-7= 69
3-4=-955 4-7= 386
4-5= 0 4-6=-885
5-6=-165

REACTIONS - SIZE

1=-974 3.50
6=-527 3.50

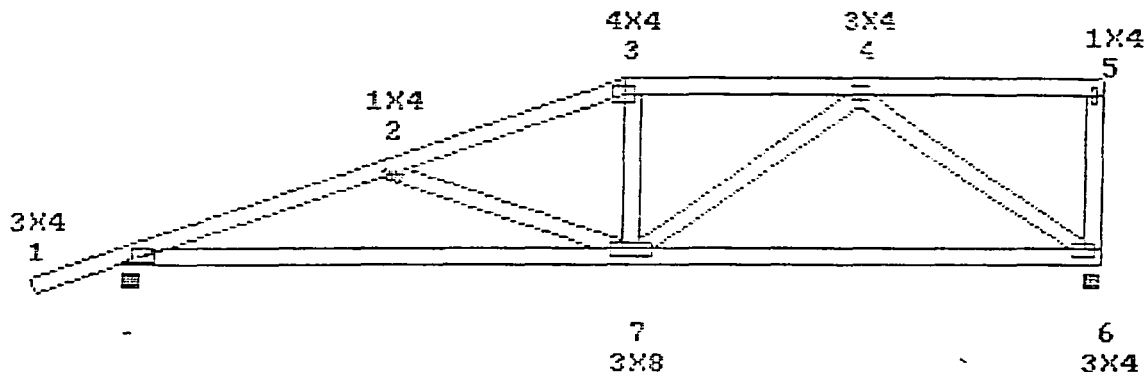
PROVIDE FOR 988 LBS UPLIFT AT JOINT 1 (1.01)

PROVIDE FOR 781 LBS UPLIFT AT JOINT 6 (0.94)

PROVIDE FOR 385 LBS HORIZ. REACTION AT JOINT 1

(SYMMETRIC PLATING TURNED ON)

1-4 4-1-11 7-8-8 11-6-4 15-4
4-1-11 3-6-13 3-9-12 3-9-12



7-8-8 15-4
7-8-8 7-7-8

L. HL TO PK:8-4-3

LEFT HEIGHT:0-4-1

SPAN:15-4

RISE:3-6-9

RIGHT HEIGHT:3-6-9

LOADING (PSF)

MAX STRESSES

MINIMUM GRADE OF LUMBER

POP 30 15

TOP 1-2=0.619

TOP CHORD:2X4 No.2ND 19 SP

BOTT 0 10

BOTT 7-1=0.495

BOT CHORD:2X4 No.2ND 19 SP

LL.DEFL.@7=0.03 < L/360

WEBS :2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33

SPACING : 24.0 in. o. c.

REPETITIVE STRESSES USED

NO. OF MEMBERS = 1

RIGHT END VERTICAL IS NOT EXPOSED.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. 1, EXP. CAT. C, 12.5-5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC, ANSI/TPI-95

HIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

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====<<<<ACES-32 Ver. 1.1>>>>===== [008091] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:55:50 1999

Project #: 99336 Truss ID : T15 Family # : 313

Span : 15-4 Quantity : 1 Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-1259	5-6= 0	2-6=-502	1=-974	3.50
2-3=-764	6-1= 1154	3-6=-152	5=-827	3.50
3-4=-705		4-6= 879		
4-5=-773				

PROVIDE FOR 964 LBS UPLIFT AT JOINT 1 (0.99)

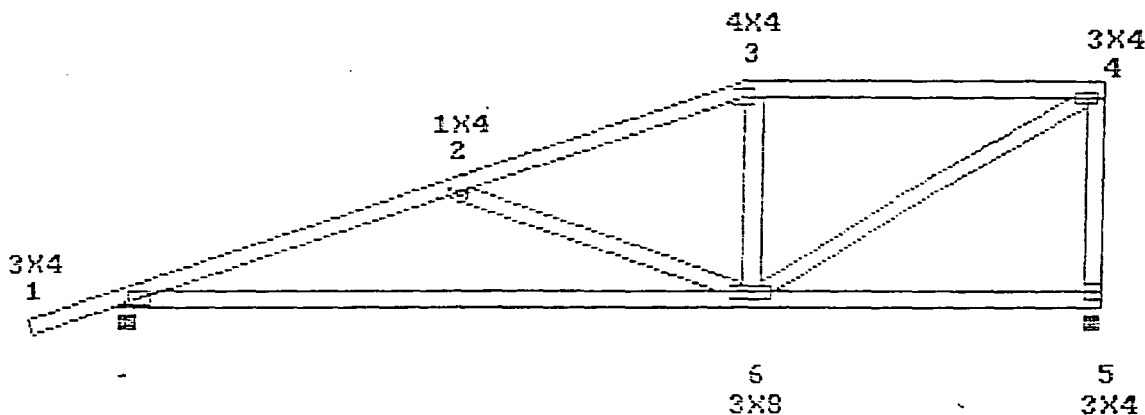
PROVIDE FOR 805 LBS UPLIFT AT JOINT 5 (0.97)

PROVIDE FOR 483 LBS HORIZ. REACTION AT JOINT 1

(SYMMETRIC PLATING TURNED ON)

1-4 5-2-15 9-8-8 15-4

5-2-15 4-5-9 5-7-8



9-8-8 15-4

9-8-8 5-7-8

L. HL TO PK:10-6-3

LEFT HEIGHT:0-4-1 SPAN:15-4 RISE:4-4-9 RIGHT HEIGHT:4-4-9

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	30	TOP	3-4=0.946	TOP CHORD:	2X4 No.2ND 19 SP
BOTT	0	BOTT	6-1=0.770	BOT CHORD:	2X4 No.2ND 19 SP
		LL.DEFL.@6	=0.03 < L/360	WEBS	:2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.

REPETITIVE STRESSES USED NO. OF MEMBERS = 1

RIGHT END VERTICAL IS NOT EXPOSED.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]

OCT 05 1999

(75)

====<<<<ACES-32 Ver. 1.1>>>>===== [008092] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU Fri Oct 1 11:55:52 1999

Project #: 99336 Truss ID : T14 Family # : 313

Span : 14-10 Quantity : 1 Top Pitch : 5/12

====Bld(7/22/1998),v1.1=====

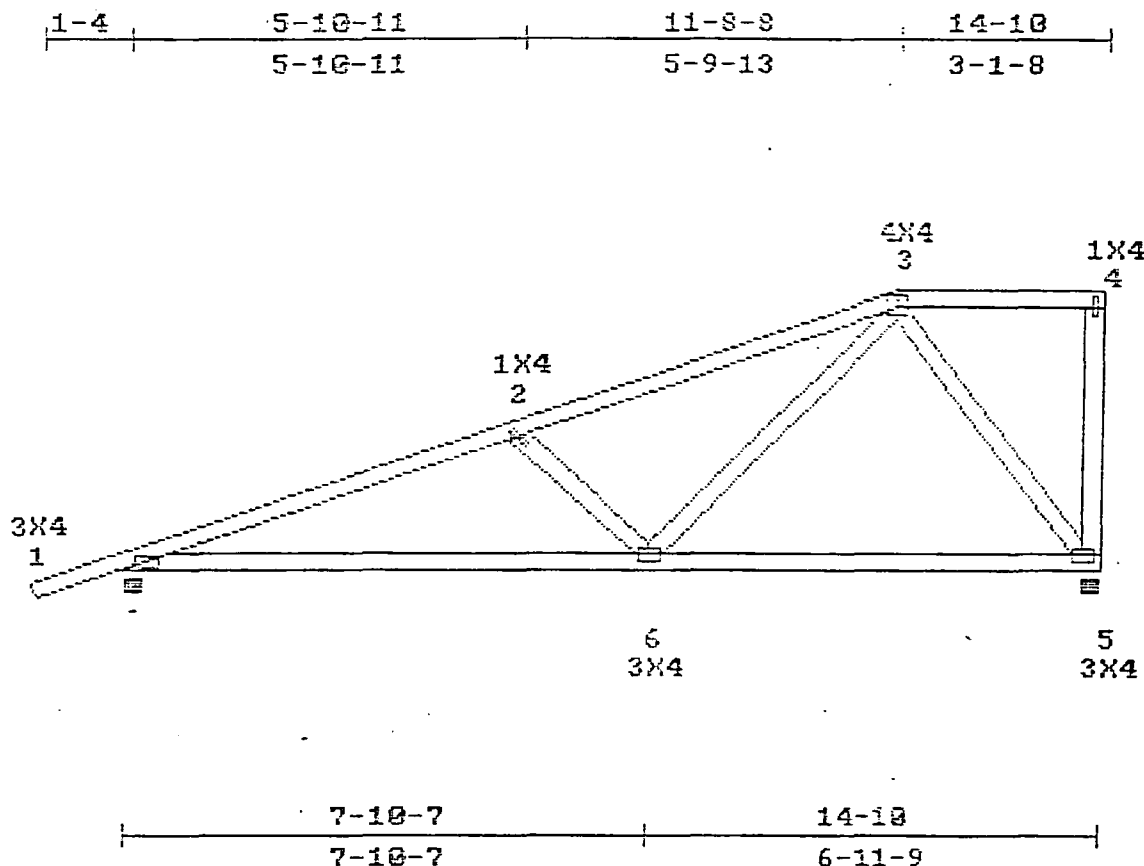
FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-1168	5-6= 362	2-6=-484	1=-946	3.50
2-3=-835	6-1= 1072	3-6= 665	5=-800	3.50
3-4= 0		3-5=-698		
4-5=-134				

PROVIDE FOR 907 LBS UPLIFT AT JOINT 1 (0.96)

PROVIDE FOR 813 LBS UPLIFT AT JOINT 5 (1.02)

PROVIDE FOR 582 LBS HORIZ. REACTION AT JOINT 1

(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:12-8-3

LEFT HEIGHT:0-4-1 SPAN:14-10 RISE:5-2-9 RIGHT HEIGHT:5-2-9

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	30	TOP	1-2=0.540	TOP CHORD:	2X4 SS 19 SP
BOTT	0	BOTT	6-1=0.436	BOT CHORD:	2X4 No.2ND 19 SP
		LL.DEFL.@6=0.03	< L/360	WEBS	:2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.

REPETITIVE STRESSES USED NO. OF MEMBERS = 1

RIGHT END VERTICAL IS NOT EXPOSED.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG., MEAN HGT. 16 FT, BLDG. CAT. I, EXP. CAT. C, (105-5) PSF DL, 20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL (EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT, SYMMETRICALLY (EXCEPT AS SHOWN) DESIGN CONFORMS W/NDSDS DESIGN SPECS, SBC, ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY. FOR PERMANENT AND TEMPORARY BRACING (WHICH IS ALWAYS REQD) CONSULT BLDG ARCHITECT OR ENGINEER.

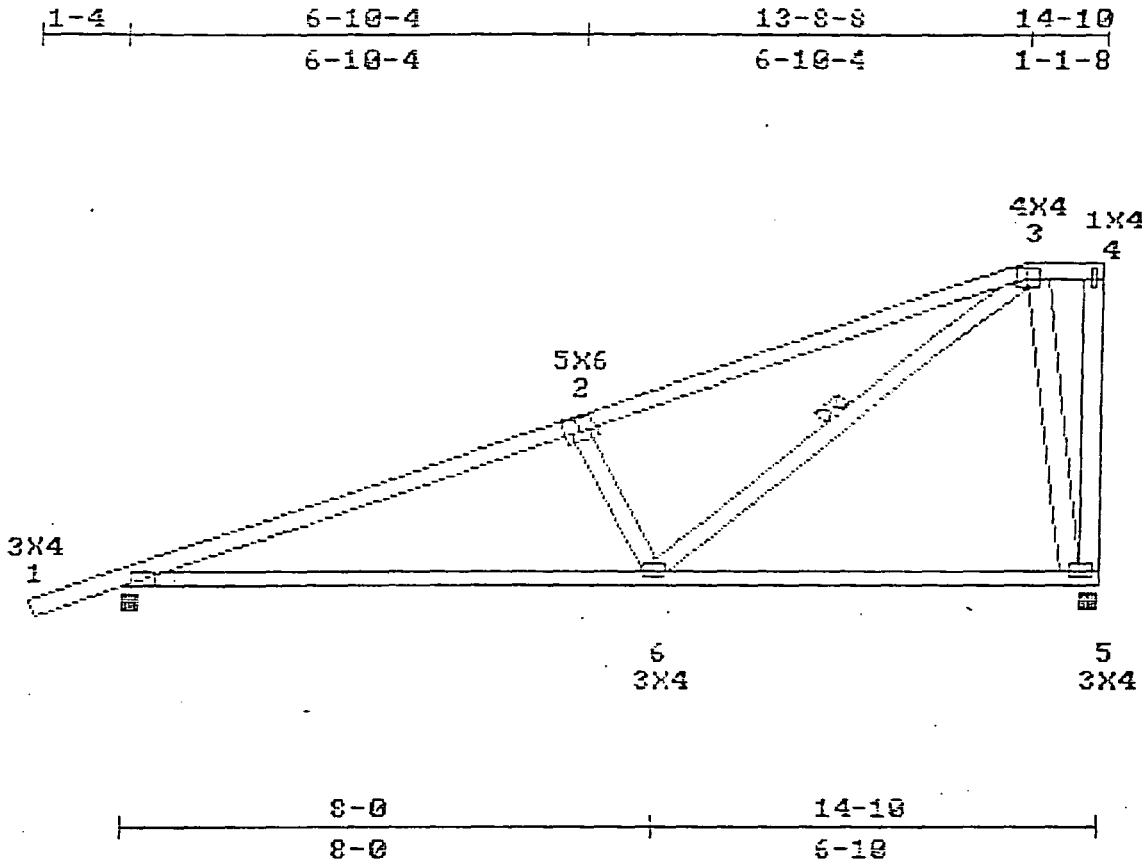
[Signature]

OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>=====[008093]====<<<<FL.QUAL./REM>>>>=====
 Customer : FOGLIA-CHATEAU
 Project #: 99336 Truss ID : T13
 Span : 14-10 Quantity : 1
 Fri Oct 1 11:55:54 1999
 Family # : 313
 Top Pitch : 5/12
 ==8ld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-1060	5-6= 117	2-6=-552	1=-946	3.50
2-3=-835	6-1= 974	3-6= 928	5=-800	3.50
3-4= 0		3-5=-699		
4-5=-44				

PROVIDE FOR 871 LBS UPLIFT AT JOINT 1 (0.92)
 PROVIDE FOR 850 LBS UPLIFT AT JOINT 5 (1.06)
 PROVIDE FOR 681 LBS HORIZ. REACTION AT JOINT 1
 PLATE OFFSETS (X=LEFT,Y=TOP):[j2=3,3],(SYMMETRIC PLATING TURNED ON)



HL TO PK:14-10-3		SPAN:14-10	RISE:6-0-9	RIGHT HEIGHT:6-0-9
LEFT HEIGHT:0-4-1				
LOADING (PSF)		MAX STRESSES	MINIMUM GRADE OF LUMBER	
TOP	30 15	TOP 1-2=0.746	TOP CHORD:2X4	SS 19 SP
BOTT	0 10	BOTT 6-1=0.418	BOT CHORD:2X4	No.2ND 19 SP
		LL.DEFL.@6=0.03 < L/360	WEBS :2X4	No.3 19 SP
STR.INC.: LUMB = 1.33 PLATE = 1.33		SPACING : 24.0 in. o. c.		
REPETITIVE STRESSES USED		NO. OF MEMBERS = 1		

RIGHT END VERTICAL IS NOT EXPOSED.

EB 3-6 BRACED at 1/2 POINTS AS SHOWN ABOVE

Note:Use 1x4 or 2x3 Cont.Bracing conn.w/2-8d nails,or T-brace of same size and grade as web conn. to narrow face w/10d nails 6 in. o.c.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,10(5-5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSSC,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

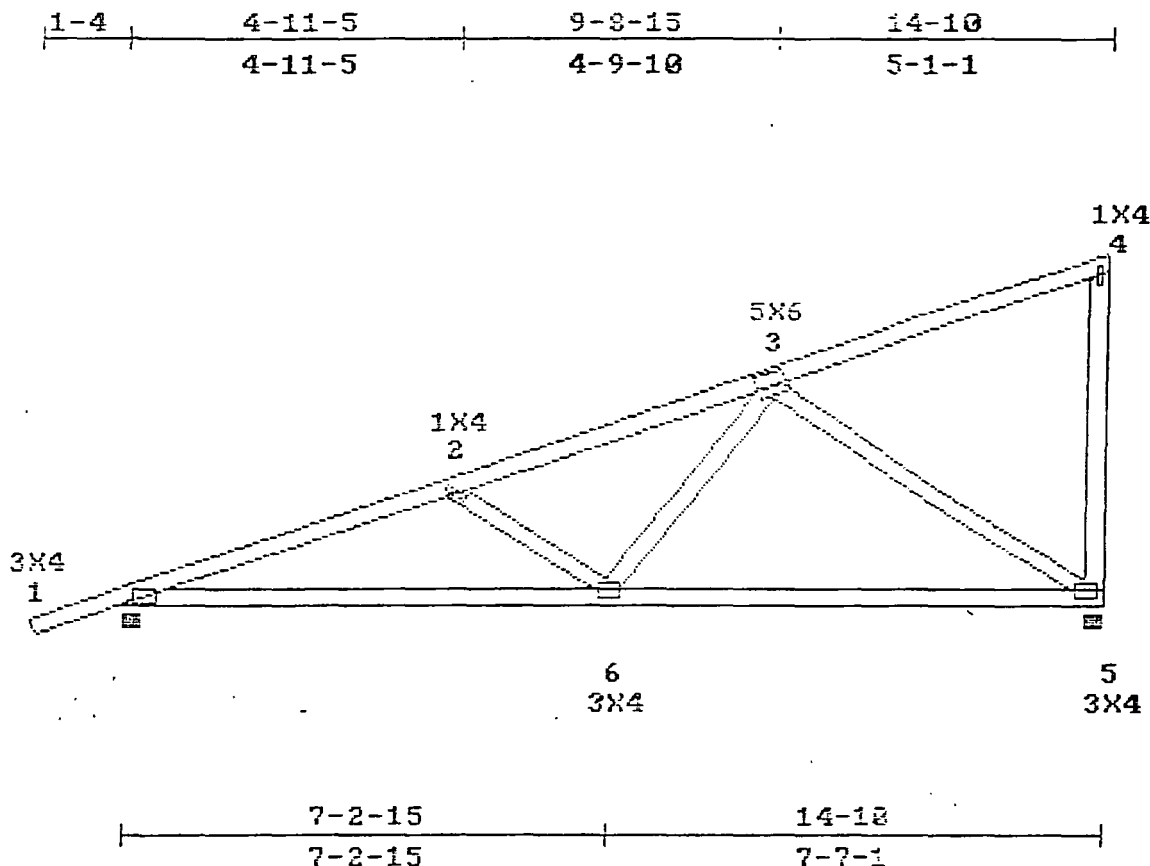
[Signature]

OCT 05 1999

===<<<<ACES-32 Ver. 1.1>>>>===== [008094] =====<<<<FL.QUAL./REM>>>>=====
 Customer : FOGLIA-CHATEAU
 Project #: 99336 Truss ID : T12 Fri Oct 1 11:55:56 1999
 Span : 14-10 Quantity : 4 Family # : 204
 Top Pitch : 5/12
 ==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-1283	5-6= 607	2-6=-417	1=-946	3.50
2-3=-940	6-1= 1176	3-6= 499	5=-800	3.50
3-4= 0		3-5=-789		
4-5=-222				

PROVIDE FOR 851 LBS UPLIFT AT JOINT 1 (0.90)
 PROVIDE FOR 869 LBS UPLIFT AT JOINT 5 (1.09)
 PROVIDE FOR 727 LBS HORIZ. REACTION AT JOINT 1
 PLATE OFFSETS (X=LEFT,Y=TOP):[j3=3,3],(SYMMETRIC PLATING TURNED ON)



D. HL TO PK:16-0-13		SPAN:14-10		RISE:6-6-3		RIGHT HEIGHT:6-6-3	
LEFT HEIGHT:0-4-1							
LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER			
	L D	TOP 2-3=0.859		TOP CHORD:2X4 No.2ND 19 SP			
TOP	30 15	BOTT 6-1=0.455		BOT CHORD:2X4 No.2ND 19 SP			
BOTT	0 10	LL.DEFL.@6=0.03 < L/360		WEBS :2X4 No.3 19 SP			
STR.INC.: LUMB = 1.33 PLATE = 1.33				SPACING : 24.0 in. o. c.			
REPETITIVE STRESSES USED				NO. OF MEMBERS = 1			

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,19(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
 PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
 PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95
 THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

OCT 05 1999

====<<<<ACES-32 Ver. 1.1>>>>===== [008095] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU

Project #: 99336

Span : 14-10

Truss ID : S33

Quantity : 3

Fri Oct 1 11:55:58 1999

Family # : special

Top Pitch : 5/12

Bot pitch : 8/12

==Bld(7/22/1998),v1.1==

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-1695

7-8= 0

2-11=-976

5-8=-396

1=-951

3.50

2-3=-3091

8-9= 454

2-10= 1359

6-5= 774

7=-804

1.50

3-4=-3091

9-10= 1066

3-10=-248

4-5=-410

10-11= 1854

4-10= 2057

5-6=-201

11-1= 1543

4-9=-792

6-7=-789

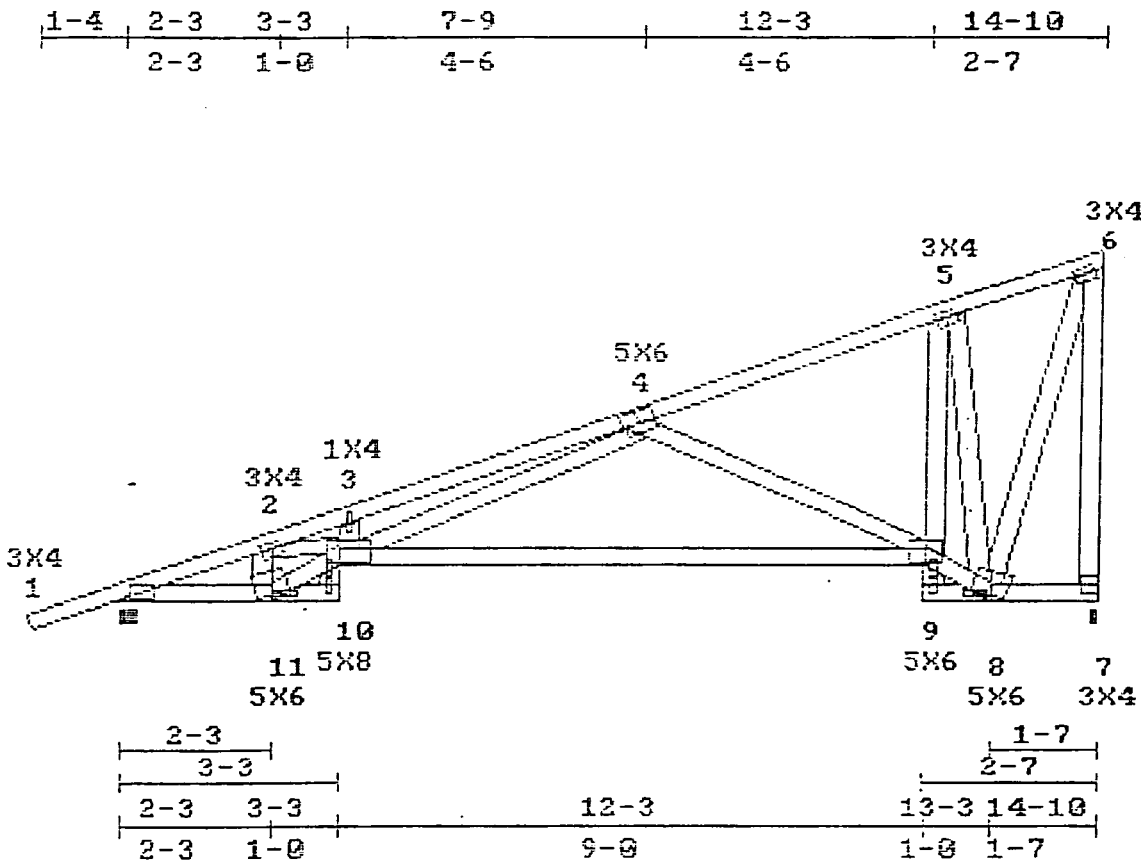
5-9= 744

PROVIDE FOR 856 LBS UPLIFT AT JOINT 1 (0.90)

PROVIDE FOR 872 LBS UPLIFT AT JOINT 7 (1.05)

PROVIDE FOR 727 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j4=3,3], [j8=3,3], [j9=3,2], [j10=4,2], [j11=3,3], (SYMMETRIC PLATING TURNED ON)



OCT 05 1999

HL TO PK:16-0-13

LEFT HEIGHT:0-4-1

INTERNAL RISE:0-8

SPAN:14-10

RISE:6-6-3

RIGHT HEIGHT:6-6-3

LOADING (PSF)

MAX STRESSES

MINIMUM GRADE OF LUMBER

TOP 30 15

TOP 3-4=0.556

TOP CHORD:2X4 SS 19 SP

BOTT 0 10

BOTT 9-10=0.692

BOT CHORD:2X4 No.2ND 19 SP

LL.DEFL.@10=0.13 < L/360

WEBS :2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33

SPACING : 24.0 in. o. c.

REPETITIVE STRESSES USED

NO. OF MEMBERS = 1

RIGHT END VERTICAL IS NOT EXPOSED

PROVIDE 2X4 CONTINUOUS BRACING AT BOTTOM CHORD NOT EXCEEDING 4' O.C. OVER DROPPED BOTTOM CHORD AREAS WHERE CEILING IS NOT APPLIED.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,10(5+5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDSDS DESIGN SPECS, SSBC,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

====<<<<ACES-32 Ver. 1.1>>>>=====[008096]====<<<<FL.QUAL./REM>>>>=====
 Customer : FOGLIA-CHATEAU
 Project #: 99336 Truss ID : S32
 Span : 14-10 Quantity : 1
 Fri Oct 1 11:56:00 1999
 Family # : special
 Top Pitch : 5/12
 Bot pitch : 8/12

==Bld(7/22/1998),v1.1==

FORCES - GRAVITY LOADS

REACTIONS - SIZE

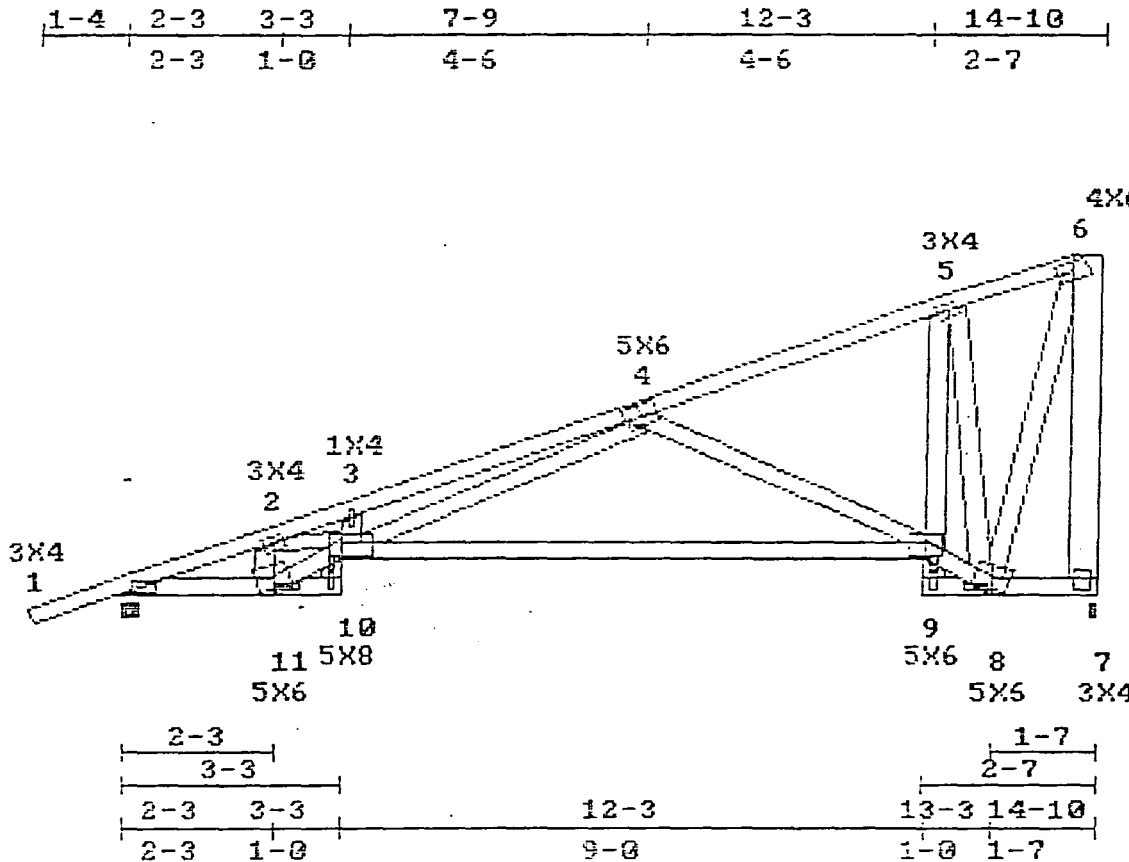
1-2=-1698	7-8= 0	2-11=-976	5-5=-994	1=-951	3.50
2-3=-3091	8-9= 454	2-10= 1359	6-5= 772	7=-804	1.50
3-4=-3091	9-10= 1066	3-10=-248			
4-5=-410	10-11= 1854	4-10= 2057			
5-6=-201	11-1= 1543	4-9=-792			
6-7=-789		5-9= 744			

PROVIDE FOR 858 LBS UPLIFT AT JOINT 1 (0.90)

PROVIDE FOR 870 LBS UPLIFT AT JOINT 7 (1.03)

PROVIDE FOR 723 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j4=3,3], [j8=3,3], [j9=3,2], [j10=4,2], [j11=3,3], (SYMMETRIC PLATING TURNED ON)



OCT 05 1999

L. HL TO PK:16-0-13 INTERNAL RISE:0-8
 LEFT HEIGHT:0-4-1 SPAN:14-10 RISE:6-4-1 RIGHT HEIGHT:6-3-14

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	30	TOP	3-4=0.556	TOP CHORD:	2X4 SS 19 SP
BOTT	0	BOTT	9-10=0.692	BOT CHORD:	2X4 No.2ND 19 SP
		LL.DEFL.@10=0.11	< L/360	WEBS:	2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33

SPACING : 24.0 in. o. c.

REPETITIVE STRESSES USED

NO. OF MEMBERS = 1

WEB: 6-7 TO BE 2X6 No.2D 19 SP

RIGHT END VERTICAL IS NOT EXPOSED.

PROVIDE 2*4 CONTINUOUS BRACING AT BOTTOM CHORD NOT EXCEEDING 4' O.C. OVER DROPPED BOTTOM CHORD AREAS WHERE CEILING IS NOT APPLIED.

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG. MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,10PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDSD DESIGN SPECS, SSSC,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

(80)

====<<<<ACES-32 Ver. 1.1>>>>===== [008097] =====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : S31	Fri Oct 1 11:56:03 1999
Project #: 99336	Quantity : 1	Family # : special
Span : 14-10		Top Pitch : 5/12
		Bot pitch : 8/12

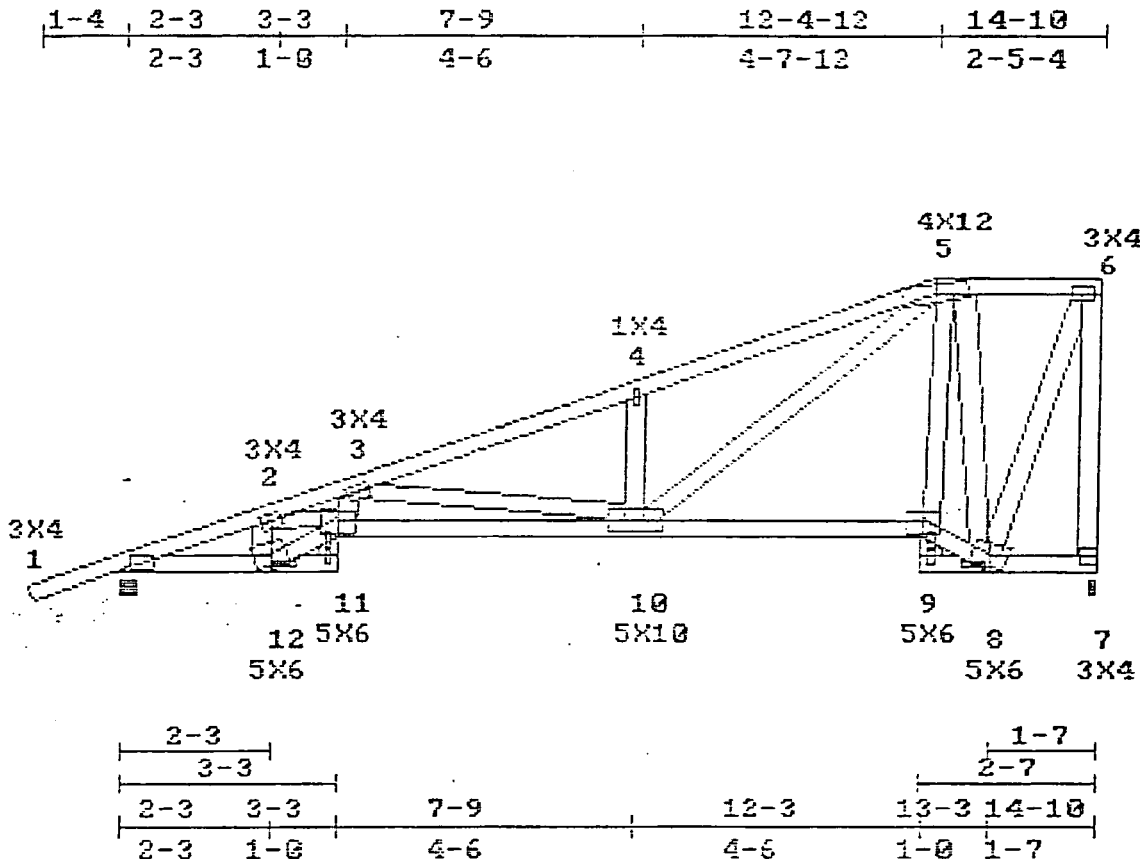
====Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS

REACTIONS - SIZE

1-2=-1698	7-8= 0	2-12=-976	5-9= 289	1=-951	3.50
2-3=-3091	8-9= 417	2-11= 1359	5-8=-900	7=-804	1.50
3-4=-1226	9-10= 356	3-11= 745	6-8= 711		
4-5=-1228	10-11= 2854	3-10=-1743			
5-6=-200	11-12= 1854	4-10=-415			
6-7=-789	12-1= 1543	5-10= 1055			

PROVIDE FOR 900 LBS UPLIFT AT JOINT 1 (0.95)
PROVIDE FOR 829 LBS UPLIFT AT JOINT 7 (1.03)
PROVIDE FOR 616 LBS HORIZ. REACTION AT JOINT 1
PLATE OFFSETS (X=LEFT,Y=TOP): [j8=3,3], [j9=3,2], [j11=3,2], [j12=3,3], (SYMMETRIC PLATING TURNED ON)



[Signature]

OCT 05 1999

L. HL TO PK:13-5-2 INTERNAL RISE:0-8
LEFT HEIGHT:0-4-1 SPAN:14-10 RISE:5-6 RIGHT HEIGHT:5-6

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	30 15	TOP 2-3=0.974		TOP CHORD:2X4	SS 19 SP
BOTT	0 10	BOTT 10-11=0.623		BOT CHORD:2X4	No.2ND 19 SP
		LL:DEFL.@11=0.11 < L/360	WEBS	:2X4	No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33
REPETITIVE STRESSES USED
SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

RIGHT END VERTICAL IS NOT EXPOSED.
PROVIDE 2x4 CONTINUOUS BRACING AT BOTTOM CHORD NOT EXCEEDING 4' O.C. OVER DROPPED BOTTOM CHORD AREAS WHERE CEILING IS NOT APPLIED.
TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,10/5-5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
LATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
LATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDG DESIGN SPECS, SSBC,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

====<<<<ACES-32 Ver. 1.1>>>>====[008098]====<<<<FL.QUAL./REM>>>>====
 Customer : FOGLIA-CHATEAU Fri Oct 1 11:56:05 1999
 Project #: 99336 Truss ID : S30 Family # : special
 Span : 14-10 Quantity : 1 Top Pitch : 5/12
 Bot pitch : 8/12

==Bld(7/22/1998),v1.1==

FORCES - GRAVITY LOADS

REACTIONS - SIZE

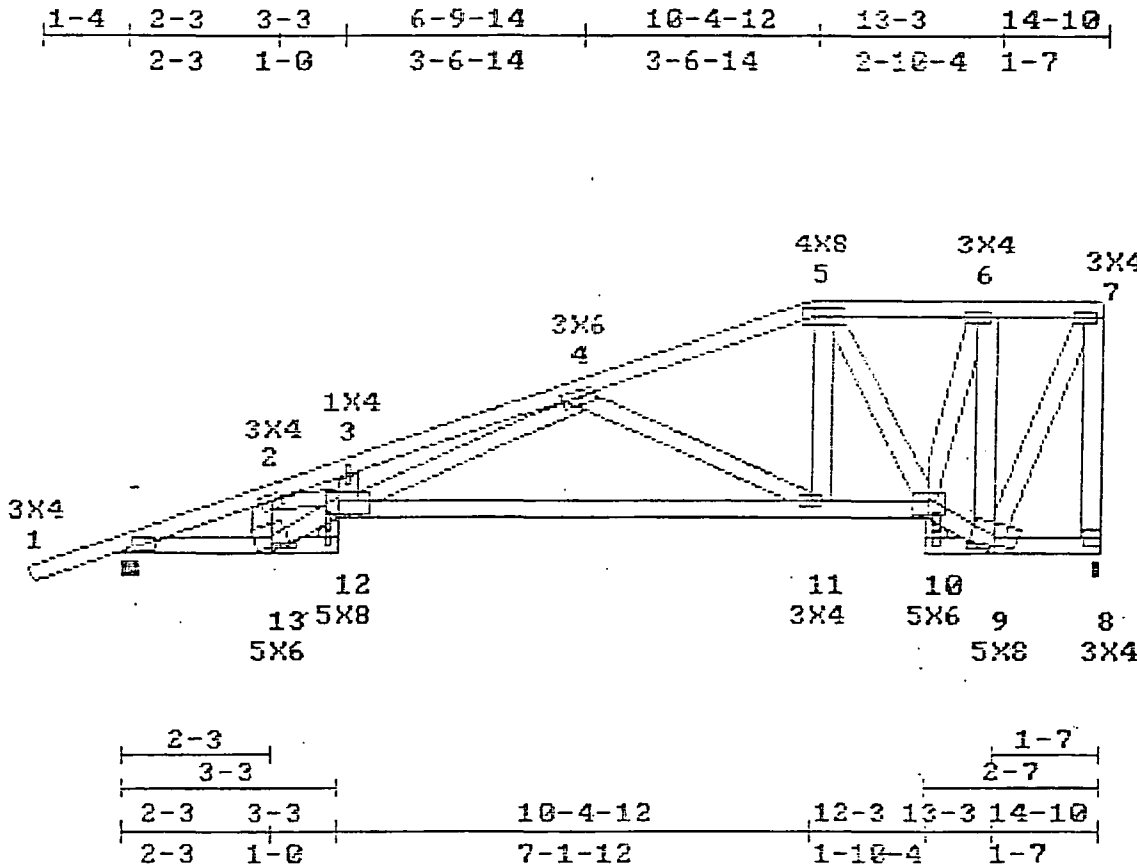
1-2=-1696	7-8=-789	8-9= 0	2-13=-974	5-10=-515	1=-951	3.50
2-3=-3084		9-10= 303	2-12= 1355	6-10= 691	8=-804	1.50
3-4=-3084		10-11= 665	3-12=-206	6-9=-864		
4-5=-721		11-12= 1272	4-12= 1844	7-9= 764		
5-6=-433		12-13= 1851	4-11=-714			
6-7=-252		13-1= 1540	5-11= 450			

PROVIDE FOR 952 LBS UPLIFT AT JOINT 1 (0.98)

PROVIDE FOR 796 LBS UPLIFT AT JOINT 8 (0.99)

PROVIDE FOR 517 LBS HORIZ. REACTION AT JOINT 1

PLATE OFFSETS (X=LEFT,Y=TOP): [j9=4,3.5], [j10=3,2], [j12=4,2], [j13=3,3], (SYMMETRIC PLATING TURNED ON)



OCT 05 1999

HL TO PK:11-3-2 INTERNAL RISE:0-8
 LEFT HEIGHT:0-4-1 SPAN:14-10 RISE:4-8 RIGHT HEIGHT:4-8

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
TOP	30 15	TOP	3-4=0.952	TOP CHORD:	2X4 No.2ND 19 SP
BOTT	0 10	BOTT	11-12=0.431	BOT CHORD:	2X4 No.2ND 19 SP
		LL.DEFL.	@12=0.11 < L/360	WEBS	:2X4 No.3 19 SP

TR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.
 REPETITIVE STRESSES USED NO. OF MEMBERS = 1

RIGHT END VERTICAL IS NOT EXPOSED.

PROVIDE 2X4 CONTINUOUS BRACING AT BOTTOM CHORD NOT EXCEEDING 4' O.C. OVER DROPPED BOTTOM CHORD AREAS WHERE CEILING IS NOT APPLIED.

WIND CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,10(5-5) PSF DL,20.00 MI FROM OCEANLINE (SBC).

PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)

PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSBC,ANSI/TPI-95

THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

(82)

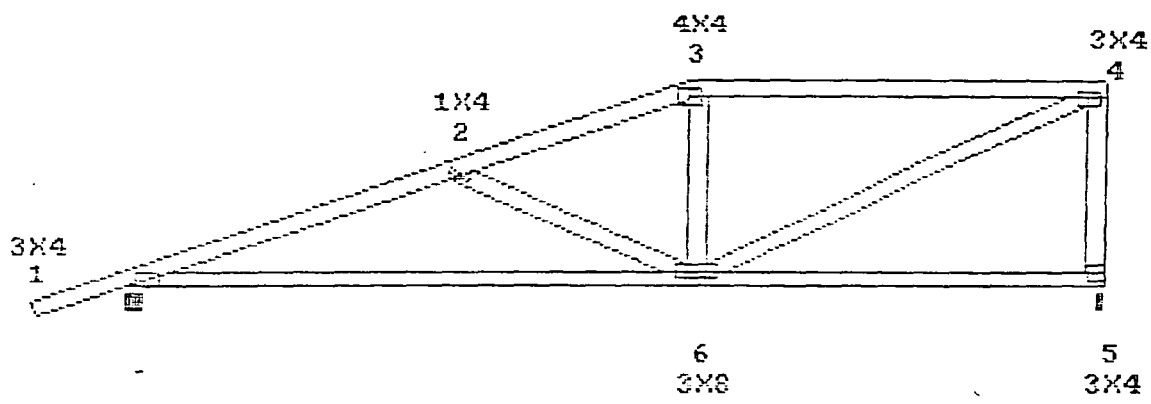
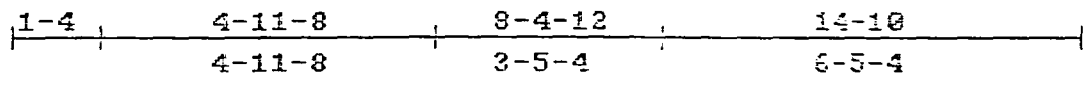
====<<<<ACES-32 Ver. 1.1>>>>===== [008099]=====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : T11	Fri Oct 1 11:56:07 1999
Project #: 99336	Quantity : 1	Family # : 313
Span : 14-10		Top Pitch : 5/12

==Bld(7/22/1998),v1.1=====

FORCES - GRAVITY LOADS			REACTIONS - SIZE	
1-2=-1264	5-6= 0	2-6=-401	1=-951	3.50
2-3=-885	6-1= 1159	3-6=-99	5=-804	1.50
3-4=-816		4-6= 934		
4-5=-741				

PROVIDE FOR 959 LBS UPLIFT AT JOINT 1 (1.01)
PROVIDE FOR 770 LBS UPLIFT AT JOINT 5 (0.96)
PROVIDE FOR 419 LBS HORIZ. REACTION AT JOINT 1
(SYMMETRIC PLATING TURNED ON)



HL TO PK:9-1-2
LEFT HEIGHT:0-4-1 SPAN:14-10 RISE:3-10 RIGHT HEIGHT:3-10

LOADING (PSF)		MAX STRESSES		MINIMUM GRADE OF LUMBER	
OP	L 30 D 15	TOP	3-4=0.948	TOP CHORD:	2X4 SS 19 SP
OTT	0 10	BOTT	6-1=0.464	BOT CHORD:	2X4 No.2ND 19 SP
		LL.DEFL.@6	=0.03 < L/360	WEBS	:2X4 No.3 19 SP

TR.INC.: LUMB = 1.33 PLATE = 1.33
REPETITIVE STRESSES USED

SPACING : 24.0 in. o. c.
NO. OF MEMBERS = 1

RIGHT END VERTICAL IS NOT EXPOSED.
WIND CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. I,EXP. CAT. C,(15-5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PURLINS ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PURLIN MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/ND S DESIGN SPECS, SSB,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]
OCT 05 1999

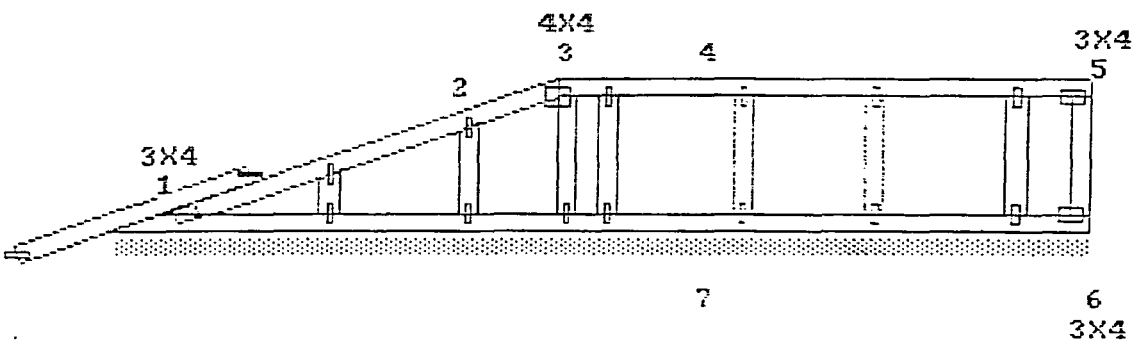
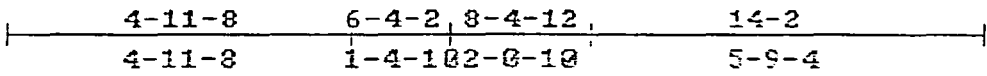
(83)

====<<<<ACES-32 Ver. 1.1>>>>=====[008100]=====<<<<FL.QUAL./REM>>>>=====

Customer : FOGLIA-CHATEAU	Truss ID : T10	Fri Oct 1 11:56:08 1999
Project #: 99336	Quantity : 1	Family # : 313
Span : 14-2		Top Pitch : 5/12

==Bld(7/22/1998), v1.1=====

NOTES: (1)-Gable studs spaced at 24 inches o.c.
(2)-Brace vertical studs in accordance with standard gable end detail
(3)-Continuous bearing provided along entire bottom chord
(4)-Provide 1X4 plates at each end of gable stud unless otherwise noted
(SYMMETRIC PLATING TURNED ON)



L. HL TO PK:6-10-8
LEFT HEIGHT:0-0-4 SPAN:14-2 RISE:2-8 RIGHT HEIGHT:2-8

LOADING (PSF)	MAX STRESSES	MINIMUM GRADE OF LUMBER
TOP 30 15		TOP CHORD:2X4 No.2ND 19 SP
BOTT 0 10	LL.DEFL.@0=0.00 < L/360	BOT CHORD:2X4 No.2ND 19 SP
		WEBS :2X4 No.3 19 SP

STR.INC.: LUMB = 1.33 PLATE = 1.33 SPACING : 24.0 in. o. c.
REPETITIVE STRESSES USED NO. OF MEMBERS = 1

TRUSS CHECKED FOR 145 MPH WIND, ENCL.BLDG.,MEAN HGT. 16 FT,BLDG. CAT. 1,EXP. CAT. C,15(5-5) PSF DL,20.00 MI FROM OCEANLINE (SBC).
PLATES ARE MITEK M20-249,200 MANUFACTURED FROM ASTM A 446 GRD A GALVANIZED STEEL(EXCEPT AS SHOWN)
PLATE MUST BE INSTALLED ON EA. FACE OF JOINT,SYMMETRICALLY(EXCEPT AS SHOWN)DESIGN CONFORMS W/NDS DESIGN SPECS, SSBC,NDS,ANSI/TPI-95
THIS DESIGN IS FOR TRUSS FABRICATION ONLY.FOR PERMANENT AND TEMPORARY BRACING(WHICH IS ALWAYS REQD)CONSULT BLDG ARCHITECT OR ENGINEER.

[Signature]
OCT 05 1999



HULETT
environmental
services

Radio Dispatched

"24-Hour Service"

W.P.B.-Jupiter 844-8444	Boca-Delray 391-1144	Ft. Lauderdale 462-0221
Vero Beach 569-9000	Stuart 286-7752	Naples 659-0303
Ft. Myers 479-5289		

1959 W. 9th Street • Riviera Beach, Florida 33404
1-800-285-PEST

CERTIFICATION OF PREVENTIVE SUBTERRANEAN TERMITE SOIL TREATMENT (SLAB-PRETREATMENT)

Owner _____ **Acct. #** _____

Lot 7 **Block** _____ **Bldg.#** _____

Sub-Division SEWELL MEADOW

Street Address 103 HENRY SEWELL WAY

City STUART FL 34986

General Contractor FOGLIA CUSTOM HOMES

Sub Contractor _____

Main <u>XX</u>	LIN. FOOTAGE	SQ. FOOTAGE	DATE
Garage <u>XX</u>		<u>3,324</u>	<u>12/06/99</u>
Porches <u>N/A</u>			
Pool Patio <u>N/A</u>			
Material Used <u>PREMIER 75</u>			
Comments <u>ACCOUNT# 3543840</u>			

DEPARTMENT OF AGRICULTURE — BUREAU OF ENTOMOLOGY — RULE 5E 14.105 (3) F.A.C.

CERTIFICATION Signed Demetri M. Hulett

A copy of this form must be obtained by the builder at completion and filed with the Building Department before a Certificate of Occupancy can be issued.

RECEIVED
JAN 07 2000
BY: _____

RECEIVED
JAN 13 2000
BY: EA

103 HENRY SEWELL
PU 4658



1998 - 1999 Town of Sewall's Point Building Department - Inspection Log

Fri, 8-20-99

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4587	Guard 5104 Abbey Ct. STRATHMORE	Roof - main inspect	PASSED (PPL)	ENTRY GABLE NOT FINISHED ADD'L INSP. - NO FEE
4566	Schroeder 4 Ridgeland FACE 2000 340-7223	DRYWALL (GARAGE 1 HR SEPARATION)	PASSED	5/8" FIRECODE D/W SEPARATION OF GARAGE FROM LIVING AREA
4609	Walker 21 W. H. Pt. Rd.	Fire alarm work (back - front)	OK PASSED PD 4609 PN 4610	No record of tree - back inspection; visible can in accordance w/ logging.
4551	9/12 1-3-4 Sewall Way	SCULPTURE	PASSED	FPL POWER RELEASE - "SHERI" 223-4208 11:10 8/20/99
4662	Foglia 106 H. Sewall Way	temp. pole	PASSED	FPL POWER RELEASE - "SHERI" 223-4208 11:10 8/20/99
4628	H. H. Hiegel 11 Castle Hill Way STRATHMORE	Garage slab - + footer Temp. pole	FAILED - 30% SOLID/ COMPRESSION NOT RCVD. PASSED	2ND ATTEMPT; 30.00 FEE FPL POWER RELEASE "SHERI" 223-4208 11:10 8/20/99
4553	Fadden 16 S. S. Pt. Rd. STRATHMORE	Garage Slab inspect	PASSED	SEALED DOGS. NOT ON SITE - NO FUTURE INSPECTIONS W/O PERMIT SET. - EXCER TO PROVIDE GARAGE SLAB SECTION

OTHER: 133 N. RIVER RD (SINTON) TREE REMOVAL PERMIT 252; CORRECTED FIELD & TOWN PERMIT ERROR. NO FEE

INSPECTOR: _____

DATE: _____



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

Mon - 8/30

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4565	Kennedy 3 OAKHILL WAY	DRY IN		10:00 NOT READY; REINSPECT 3:50 (NO FEE)
	CASTLE HILL			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4655	Lucido	pool struct	Cancelled	8/30/99 AM
	2 Sabel Ct.	inspect.		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4659	3 Eagles Court	stem wall	Passed	
	103 Kennedy	footing inspect		
	Sewall way			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4657	Ingles Court 105 Henry	stem wall footing inspect	Failed	not ready - call for rework (no fee - rein bill in)
	Sewall way			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4650	Lucidman Court 4 SE Banyan Rd	rough finish ground plan	Passed	GROUND ROUGH NOTE: TEAR UP PINK WATER/DUMPSTER P
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4613	SUBIN E PALM COURT (DRIFTWOOD)	TIE RM	Passed	EXGR. LTR. REQ.: 2 ADD #5 BT @ EA LINTRE DRG - NO STIRRE UPS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER:

INSPECTOR:

DATE:



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

~~9-10-99~~ - FRIDAY

PAGE 2 OF 2

S	PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	4657	Foglia	stem wall	PASSED	
		105 H. Sewall Way			
S	PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	4658	Foglia	stem wall	PASSED	
		103 H. Sewall Way			
S	PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	4614	Schroeder	final pool	PASSED	
		4 Pidgeon enclosure			
S	PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	4662	Foglia	stem wall		
		106 H. Sewall Way	FTG. ONLY	PASSED	
N	PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	4665	Michale	rough pl.		SEE PAGE 1
		21 C Hill Way			
S	PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	4660	Becker	strapping	PASSED	
		12 Island Rd.	FRAMING (ALL-SHED)		
N	PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	4590	GALKERT	T/T & MTL	PASSED	
		2 HIGH POINT	(ROOF)		

OTHER: _____

INSPECTOR: _____

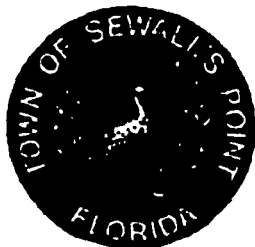
DATE: _____



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log
Fri, 9-24-99 PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4588	Gilmer	roof structure		11:00 AM FIELD COPY
	15 Castle Hill	STRUCT. FRAMING	PASSED	(781-7717) (PASS BACK) TO SITE
		(ALL)		(Rob)
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4686	Read	ret. wall	PASSED	WALL FTG. CONST. VERIFICATION
	13 Sinner St.	(DEAD END TIE-BACKS)		REQUIRED FOR FINAL
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4660	Moon Island	final	PASSED	F.D. IWSF 9/23/99
	3766 E Ocean Blvd.			
	Harbour Bay			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4693	Baycomm office	final	PASSED	F.D. IWSF 9/23/99
	3768 E Ocean Blvd.			
	Harbour Bay			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4642	KILGALLAN	ROOF - FINAL	FAILED	(TOWN PERMIT FILE TO SITE)
	106 N. SEWALL PT RD	(PTL. RE ROOF)	(SPECIAL)	- NO ONE HOME? LEFT
	R#M REG.		(APPT. SET)	- NO ACCESS CARM
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4657	Foglia	underground	PASSED	8:50 NOT READY
	105 H. Sewall	P.L.		REINSPECT (+103) 12:15
4658	103 H. Sewall	U/G PLUMB.	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4662	Foglia	slab wall	PASSED	
	105 Harry Sewall	(STC)		
	Way			

OTHER: ① 1005 H. CT. T/R PERMIT IWSF. - PERMIT #270 ISSUED ✓
② 105 HARRY SEWALL WAY BP 4657 3 TRUSS BACK RECD. TO CONTR ✓
③ 106 " " " " 4662 (CERT. 110 HPH EXP "C" S/B 190 HPH EXP "D") ✓
④ 19 CASTLE HILL WAY; VERIFIED WATER SERVICE; OK FOR POWER RELEASE ✓
- PN 4651 * CALLED IN TO FPL 9/24/99 12:20
INSPECTOR: [Signature] DATE: 9/24/99



1998 - 1999 Town of Sewall's Point Building Department - Inspection Log

NEA, 9-29-99

PAGE 1 OF 2

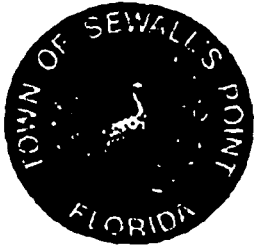
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4684	Laraway 15 Middle Rd. (Ht Pt.)	steel (pool)	CANCEL	REV. EDGRG NOT RCD (OWNER ADVISED 9/28/99)
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4542 (PROF. RFG)	Wulffelt 9 Simaro St. (Archipologo)	roof final (REUSP. VER OWNER REQUEST) FINAL 3/10/99	VERIFIED R/O AC INSP.	- SEVERAL AREAS OF POOR WORKMANSHIP - EXPOSED EAST. (INSUFFICIENT TILE LAP)
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4535	Gulick 15 Sewall's Pt. Rd.	wall sheathing	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4577	Giimes 15 Castle Hill Way	sheathing (WALL)	PASSED	RECEIVED 2 SETS MADE OF C/W INTRON/DOOR PROD. APPK. FOR REVIEW
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4676	Zotta 15 Castle Hill Way	deck (pool)	FAILED - NO ONE ON SITE TO CORRECT)	FORWARDED SURVEY RCD 9/28 CC: TO JOB SITE & INSP. NEED APP'L STC. CL. & REL. & STEP
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4576	Limmelman 19 Abbie Sew. Meadow	pool deck	PASSED	- DECK EXCHANGED; REV. EDGR DOG (SEALED) REQUIRER PROX TO FINAL
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
462	Foglia 105 H. Sewall Way	underground electric	PASSED	
4653	102 " " " "	" " " "	PASSED	

OTHER: 1. BERNADA-3602 SE OCEAN: DELIVER 3 SETS (ALL) OF FIRE ALARM PERMIT APPL.
(11:50 AM)
DRAWINGS TO LARRY MASSING @ STREET ED. 288-5363
800 M.L. KING DRIVE

OK ✓ 2. STUKEL-7 LANTANA LN. T/R INSP. (OFF RIO VISTA)
REPAIR SINK 3. ARMSTRONG-41 W. HIGH POINT (INSP. RE: PENDING POOL REPAIR APPL.) 220-0670

INSPECTOR: _____

DATE: _____



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

~~Fri. 10-8-99~~ 719-9367

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4554	Page	tie beam	FAILED	Fri. AM
	St. Lucie Crt.			- REUSED NUGS, REQUIRED
	(HUCKLEST. WEST)	"BOB" GLASS HOMES -	719-9367	- REPAIR LK @ OGS / APRIL 5TH
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4665	Nicholas	beam	PASSED	10:30 NO ACCESS; NO ONE ON SITE
	21 Castle Hill Way	inspect.		11:30
	JIM THORNTON 288-5024			3:30 REINSPECT
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4662	Foglia	underground		re-inspect
	106 H. Sewall	pl.	CANCEL	paid \$30 x x
		underground		PAID OUT
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4627	Foglia	slab		FORMBOARD SURVEY ROAD 10/7/99
	10 H. Sewall	" bonding	CANCEL	
				PAID OUT
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4628	Foglia	slab		FORMBOARD SURVEY ROAD 10/7/99
	103 H. Sewall	" bonding	CANCEL	
				PAID OUT
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4682	Short	sub floor		
	38 S. S. F. Rd.	el. rough	PASSED	
		INSUL. & PL. RR		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4700	Ashby	sat. dish	PASSED	NOTATION ON PERMIT TO PAINT
	2 River Crest	final		ANT. UNIT TO BLEND W/ STRUCT.
	Crt.			UNLESS THIS WOULD INTERFERE
				SIGNAL.

OTHER: ADD INSP.

4580 23 CASTLE HILL WAY DRIVEWAY PASSED

INSPECTOR: _____

DATE: _____



SOUTH

1998 - 1999

**Town of Sewall's Point
Building Department - Inspection Log**

Wed, 12-13-99

PAGE 1 OF 4

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4553	Fadden	stairs	FAILED	NO STRUCT. DUGS ON SITE (STC. REINF. FOR STAIR) - NO ONE ON SITE
	16 S. Sewall's Point Rd.			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4554	Page	tie beam	CANCEL	100 REVISED DUGS. 100 ONE ON SITE 100. LATER ACCESS
	8 St Lucie Crt. Hillcrest			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4573	Kimmelman	meter final	FAILED	NO ONE ON SITE; NO ACCESS LEFT APR. FORM IN PERMIT BOX
	108 Abbie Crt. S. Meadow	(TEMP. RELEASE)		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4587	Gerard	insulation	PASSED	
	104 Abbie Crt. S. Meadow			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4657	Foglia	slab	PASSED	ARCH. CTR. RE: FIBERGLASS
	105 H. Sewall S. Meadow	" bonding		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4658	Foglia	slab	PASSED	ARCH. CTR. RE: FIBERGLASS
	103 H. Sewall	slab bonding		
	S. Meadow			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4662	Foglia	undergr. pl.	PASSED	
	106 H. Sewall S. Meadow	" " el.		

OTHER: _____

INSPECTOR: _____

DATE: _____



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

Wed, 11-10-99

530-3933

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4699	Taormina	final roof	FAILED	- NO ACCESS
	26 Fieldway			- NO PERMIT
				- NOBODY
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4590	Gabbert	insulation	PASSED	
	2 E. Hi. Pt.			
4595	Bruner - 105 Hillcrest	meter final	PASSED	11/10 9:50 called NYC - meter OK
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4620	Larsen	footing	PASSED	
	15 Middle Rd.			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4527	Sealey	footing	PARTIAL	REINSPECT PM ✓
	37 N.E. Lofting Way		PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4722	Neece	tin csg	PASSED	
	877 S. River Rd.			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4651	Demarkian	tie beam	PARTIAL	letter in your box - REINSPECT P.M. ✓
	19 C. Hill Way		PASSED	
4653	Leglie - 703 H. Sewall	bonding column	CANCEL	prefer PM NOT READY
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4650	Swiss Am	roof &	PASSED	prefer AM - Call
	4 Banyan	wall sheathing		Helmut if problem
	(Indialucie)			334-7700 or 530-7730

OTHER:

INSPECTOR:

DATE:



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

~~Fri, 11-12-99~~

284-1957 (H&C) (CUE)

CY 22-1242 (K)

485-20207
486-31697 Call

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4612	Miele	pool final	PASSED	call before you
	6 E. Hi. Pl. Rd.		(PTL SURVEY) IN FILE	come 286-7155 so owner can be there
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4516	Lino	insulation	PASSED	- WILL CALL FOR REINSPECT
	6 Island		(PTL - \$ 1/2)	MONDAY (11/15) ON REMAINING (= NORTH 1/2)
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
465A	Foalia	column	PASSED	
	1034 Sewall	tie beam		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4691	Wattles	slab	PASSED	PM if possible
	20 A. Ridgeview		(PTL)	REINSPECT MON. AM (HOWELS)
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: ROY ALLARD 66 SEAWAY PT RD NW 4505 - status? 287-6017

INSPECTOR: _____

DATE: _____

page 1

1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

Wed.

12/8/99

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4735	Coverdale	tin-tag	FAILED	SEE 12/3/INSP. NOTED.
	51 N. River Rd	metal		CONTRACTOR NOT ON SITE
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4566	Schroeder	final c.o.	PASSED	OK FOR C.O. (RELEASE
	4 Ridgeland	GARAGE VENT DETECTOR/ EXH. PAN		PARTIAL C.O. RESTRICTIONS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4732	Tattamatti	porch footing		
	19 Lotting Way		PASSED	
	(Hufnagel)			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4740	Gaffis	clipping & stepping	PASSED	
	140 S.S.P. Rd.			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4621	Coverdale	(final)	CANCEL	STOP WORK ORDER POSTED.
	51 N. River			PENDING SHEATHING &
	Rd.	SEE T/ & MTL. INSP.		DRY-IN INSP. (T/ & MTL).
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4657	Faglia	roof framing - FAIL		
	105 H. Sewall Way	roof sheathing - PASS		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4658	Faglia	roof framing - RESCHED		
	103 H. Sewall Way	roof sheathing PASS		

OTHER: 1. COMPLAINT RE: EXIST'G DOCK @ 160 S. SEWALL'S POINT RD
 ✓ FIELD INSP.; DOCK SERVES 165 S. " " " (S OF HAWKERITA RD)

INSPECTOR: [Signature]

DATE: 12/8/99



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

Fri, 12-10-99

PAGE 1 of 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4569	Gerard	deck	PASSED	
	104 Abbie Court			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4554	Page	roof sheathing	PASSED	
	8 St. Lucie Crt.			
	Hillcrest			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4655	Jurado	Final	PASSED	
	2 Sabol Crt.	Pool		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4717	Zarro	pre. site	PASSED	
	134 N.E.P. Rd.	insp		
		(HAB. MGMT. VERM.)		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4702	Ferry	steps /	PASSED	
	18 N. Ridgewood	anchors		
		(FLOOR)		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4658	Foglia	truss	(ROLOVER)	AM if possible
	103 H. Sewall	engineering		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4589	De Gioia	framing		AM if possible
	N.E.P. Rd.	STRUCT.	PTL. PASSED	285-2673 Steve
				will meet you at site

OTHER: 2:00 SITE INSP. 24 SIMARA McINNEY (w/COMM. KISSUNG) X CANCEL BY COMM. KISSUNG

INSPECTOR: _____

DATE: _____

12/10/99

1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

Mon, 12/13/99

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4628	Helriegel 11 C. Hill Way.	tie beam	FAIL (REINSPECTION REQUIRED)	- CORR. NOT ON SITE; NO ACCESS; NOT READY
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4745	Dembinski 4 Knowles	roof check rotten wood on E. side	PASSED	OK TO COMPLETE SHEATHING - SCHED T/R M.T. - WED
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4739	Kelsey "Emerita"	re-inspect (12/3 FAILED; NO PERMIT DOC'S ON SITE - NO ONE HOME)	PASSED	unless you did it Friday - CORRECTION TO PERMIT TO BE ON TH
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4735	Coverdale 51 N. River Rd.	tintag	PASSED	9:AM if possible
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4722	H. B. Plaza 3252 E. Ocean	final	PASSED	284-6224 Gerry Hufregel
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4631	Erubon 23 W. H. Pt. Rd.	ret. wall footer (@ FT. SOUTH CORNER)	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4653	Fodile 103 HENRY SHAWK	truss engineering	PASSED	reinspect connector / fasten

OTHER: T/R APR. 53 N. RIVER RD; GALINAT ✓ APR. APPROVED; P/V PERMIT TUES.
 T/R " - 42 RIO VISTA ✓ APR. APPROVED; OK for no fee permit

266-3342
INSPECTOR:

DATE:

1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

Wed, 12-15-99

2

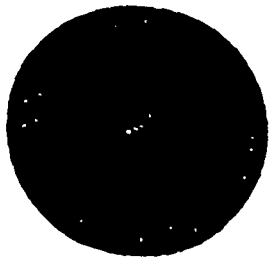
PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4589	De Gioia	mechanical	PASSED	PM prefer
	130 N.S.P.Rd.	ELECT. PLUMB (FRAME - SUBJ. ALL)		- REINSPECT REQUIRED GROUND FLOOR
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4661	Foglia	truss eng.	PASSED	
	103 H. Sewall			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4673	Foglia	tie beam	PASSED	
	110 H. Sewall			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4565	Kennedy	driveway form	PASSED	AM prefer
	3 Oak Hill Way			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4761	Foglia	main drain steel & bonding	PASSED	
	103 H. Sewall Way			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4646	Kimmelman	pool final	PASSED	- SAMPLE POOL SCREEN ENCLOSURE
4718	19 Abbie Lane			
4753	108 Abbie Ct.	POOL SCREEN ENCL	PASSED	REMARK STATUS.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4527	Seeley	slab	PASSED	- REINSPECTION REQUIRED
	37 Lofting		(PTC)	ALL PAD FTGS.

OTHER:

INSPECTOR:

DATE: 12/15/99



~~2000~~ **2000**
Town of Sewall's Point
Building Department - Inspection Log

PAGE 1 OF 2

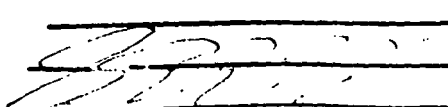
~~2000~~ 1/7/2000

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4535	Kennedy	sewer		OPEN FOR INSP. @ 11:00 AM & COV.
	3 Oak Hill Way	connect		ONLY - TREKOFF FILLED.
		(HOUSE SIDE)	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4631	Frutkin	tie beam	PASSED	
	23 W. High Pt.	FRONT SIDE PTH. WALL		...
		REAR WALL		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4744	RAAB	SITE INSP.	RECORDED	11:00 AM. (Confirmed)
(IN)	22 SIMARA			
(PROCESS)	282-3418			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4726	Sebastiano	tintag, meta	PASSED	AM
	19 Island			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4750	Foglia	TIN TAG/MTL	PASSED	AM
	102 H. Sewall			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4757	Foglia	TIN TAG/MTL	NOT	AM
	105 H. Sewall		READY	Consolidate by comb.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4727	Saccione	TIN TAG/MTL	PASSED	AM 9:00 AM (per comb.)
	25 Pennwink			

OTHER: 133 S. RIVER ROAD - ON SITE INSPECTION. TREE ORD. VIOL. (PR. RPT. 00-009)
WALKED SITE W/ RPTG. OFFICER (TINA CIECHANOWSKI)
CONFIRMED CUT TREES AS ENUMERATED IN REPORT

RESEARCH:

ON SITE TEMP. CONST. TRAILS

INSPECTOR: 

DATE: 01/07/00

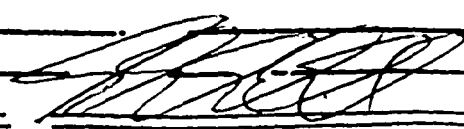
~~2000~~ **2000**
Town of Sewall's Point
Building Department - Inspection Log

1/12/00 1-12-00

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4511	Sinton	driveway	WALK-THRU	after 10:30 not ready
	23 N. River	pre-pour		revised on site solution
		side grading		grading w/owner
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4516	Lino	privacy	PASSED	BLDG TO P/L ON NORTH
	6 Island Rd.	wall footings		PER SITE PLAN (5'-0" H)
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4658	FOGLIA	WIRE		AM EARLY
	103 HENRY, SEWALL	LATH	PASSED	IF POSSIBLE
4657	105 " way	insulation	PASSED	WALLS/SOFFITS/DROPS (CLG. BLOWN)
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4753	Grimes	patio	FAILED	FINAL SURVEY REQ.
	15 C. Hill Way	deck/pool		- CORRUPTED SOIL TREAT
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4766	McCarthy	in-progress	PASSED	ALMOST COMPLETE
	4 N. Ridgeview	tile		DID NOT WALK ROOF
				COUNTY NOT ON SITE
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4628	Helicool	roof nailing	PASSED	10:30 not ready
	11 C. Hill Way			RECAPSHEET PM 7:00
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4777	Carrido	comp. pole	PASSED	meter rebar
	5 Paloma Way			10:50 b
				FPL-223-4208 (CARRIDO/SHERR)

OTHER:

INSPECTOR: 

DATE: 1/12/00

2000 ~~1998-1999~~

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Town of Sewall's Point Building Department - Inspection Log

Wed 7-26-00

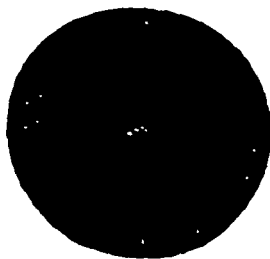
PAGE 2 of 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4726	Sauastano	roof final	PASSED	
	19 Island Rd.			
	(High Point)			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4658	Foglia	Framing, trades	PASSED	Check with Ed. Receipt.
	103 H. Sewall Way			Can sliding glass door in
	(Sewall's Meadow)			FOR 12' Effer Ground.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4691	Wattles	roof nailing	Passed	
	20 N. Ridgeview		B.G.	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4717	Zarro	partial	Partial	AM
	124 N.S.P. Rd.	footers	Passed	(pour Noon)
			B.G.	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4628	Helmege	stripping &	Consultation	Need Truss plan.
	11 Castle Hill	engineering		Can get Reading in 105.
	LOT 41			Need L.T.T. For Address
				Stops to Board From
				Architect.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER:

INSPECTOR:

DATE:



2000 ~~1999~~ ~~1998~~

Town of Sewall's Point
Building Department - Inspection Log

Mon. 1-31-00

PAGE 1 of 1

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4657	105 HENRY SEWALL	POOL DECK	Passed	
	FOGLIA	DRIVEWAY PORCH	B.G.	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4658	FOGLIA	POOL DECK	Passed	
4761	103 HENRY SEWALL	DRIVEWAY PORCH	B.G.	
(POOL)				
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4758	Stier	tie beam	Passed	Several pieces of
	13 Knowles	wall	B.G.	steel short. Add
				Pieces Before pouring
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4795	Downing	underlayment	Passed	late A.M.
	42 S.E.P.	metal	B.G.	metal and stony.
		Sheathing - Porch	B.G.	Sheathing Porch.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4659	Conway	2nd floor	Passed	2nd Fl. Sheathing
	17 Lottino	subsidizing	B.G.	Defective Chatter Fork
		subsidizing		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4771	3 PALMIA WAY	VERIFY PRE-CONST	Passed	RELEASE STOP WORK
	(RACON PLAZ)	SERVICES	B.G.	
		ELECT/WIR/WAT/TOILET		

OTHER: Steve Conway - Delivered Letter #4589 130N. S.P. &
De Gloria. FOR SR placed on under side of main Floor
+ NO HURRICANE Shutters on 1st Fl. Knock out walls.
FROM ENCL. S.J. AMICO PE Dated 1-24-00
Steve Conway Agreed with Letter (1-31-00 B.G.)
INSPECTOR: PAUL BLDG OFFICIAL DATE: 1/31/00

4/1/00

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☒ Mon ☐ Wed ☐ Fri 28-00, 2000;

Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4810	Durante	sheathing	Partial	late AM
	48 S.S.P. Rd.	nailing	BG	12:10PM. Stucco TAKEN off old Roof tile.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4651	Demarkarian	all trades	Reject	SEE ATTACHED SHEETS
	19 C. Hill Way		BG	
	287-0938 STEVE COOK (re: foam of int part below floor) elec.			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4771	Van Wagner	tie beam	Passed	re-inspect
	3 Paloma Way		BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4662	FOGLIA	WIRE LATH	Passed	
	106 HENRY SEWALL WAY		BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4658	FOGLIA	SHUTTERS	Passed	
	103 HENRY SEWALL WAY		BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

*OTHER: PJT SINTON 33 N. River Rd.
PICKED UP KEYS TO ELEC. PANEL.
TEMP ELEC. HOOK UP.

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☒ Mon ☐ Wed ☐ Fri 4-17, 2000;

Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4665	Nicklas	C.O.	Reject	Need wire nuts
(9)	21 CASTLE HILL WAY A.R. MARTIN CORP.	WALK-THRU	B.G.	in Bedrooms Ceiling Lights
4861	Carlson	framing	Partial	Porch Area only
(2)	7 Kingston GLEN HUTCHINS	rough electric	B.G.	Moving Vents thru Roof. OK FOR T+G Ceiling
4658	FOGUA	TEMP. ELECT.	Reject	LTR. AGMT. RCD 4/14/00
(3)	105 HENRY/SEWALL FOGUA CONST	(IRRIGATION)	B.G. No Fee *	Panel not wired. Cold Water Bond not hooked on panel covers.
4657	FOGUA	FINALS	Passed	Paper work for Bahama Shutter.
(4)	105 HENRY/SEWALL FOGUA CONST	C.O. WALKTHROUGH	B.G.	
4613	SUBIN	TEMPORARY ELECT.	Reject	AC load 50 possible
(8)	8 PALM CT	(A/C)	No Fee *	LTR. AGMT. RCD 4/14/00
4510	Allman	tir tag / metal	Passed	EARLY A.M.
(1)	66 S.S.P. Rd. A.W.		B.G.	
4901	Hogan	sheathing - plywood	Passed	
(7)	1 W.H. Pt. Rd. Cardinal		B.G.	

OTHER: * #3. Air Handlers (2) IN GARAGE ATTIC. Ceiling 27" High
* #8. Cold water Bond concealed. Elec. wire locate under Floor

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☐ Mon ☒ Wed ☐ Fri 4/19, 2000; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4613	Subin	temp. power	Passed	LTR. AGMT ON FILE.
(11)	8 Palm MORRIS (DRIFTWOOD)	A/C ONLY	Bg	4/19 1:30 FPL Power Release "AL"
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4657	FOGUA	FINAL SHUTTER	Passed	Bahama shutter Removed
(7)	105 HENRY SEWALL	C.O.	BG	USING CORRODED PANELS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4658	FOGUA	TEMP. ELECT	Passed	4/19 1:30 FPL Power Release
(6)	103 HENRY SEWALL	(IRRIGATION) (REINSPECT - FEE IF FAIL)	Bg	"AL"
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4803	FOGUA	ROOF SHEATHING	Passed	
(5)	101 HENRY SEWALL		Bg	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4607	FOGUA	POOL DECK	Passed	
(8)	106 HENRY SEWALL	DRIVEWAY -	Bg	(POOL PN 4780 - STARLITE)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4593	Madder	fence	Passed	
(4)	100 S. River Rd. FENCECRAFTERS	final	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4673	FOGUA	POOL DECK	Passed	
(9)	110 HENRY SEWALL WAY (POOL PN 4781 - STARLITE)	D/W	Bg	

OTHER: _____

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☐ Mon ☒ Wed ☐ Fri 5-3-2000, 2000;

Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4732	Tetamanti	all trades	Partial	
①	19 Lofting Way		B.G.	
	HURNAGE			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4658	Foglia	final for	Reject	No A/C shut off
⑦	703 H. Sewall	C.O.	W/Fee	switches in drain
	FOGLIA CONST.		B.G.	PANS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4734	Bonifant	FIRE ALARM (HALL)		STUART F.D. INSP. 5/2/00
⑤	3602 SE. OCEAN			
	SVI SYSTEMS			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☐ Mon ☒ Wed ☐ Fri 5-10, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4527 EXP. 4/29/00	Seely 37 Lofting Way GRIBBEN CONST.	footer pads for columns	Passed Bg.	7-Pads
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4859	Abbott 108 N.S.P. Rd. E.S. UNLIMITED 775-1887	pool deck (REINSPECT)	CANCEL Bg.	NO FORMBOARD SURVEY " COMPACTION QUIC. STEPHEN MACARI
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4658	Foglia 103 H. Sewall FOGLIA CONST.	final C.O. (REINSPECT)	Passed Bg.	C.O. TO OWNER'S REP. @ SITE
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4909	VILLA 24 S. SEWALL'S PT. RD. Stein	final roof	Passed Bg.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4903	Koch 71 N. River Rd ALMAK/JACKSON POOLS	Pool Steel + Main Drain SG-746-4910; GERALD WASER	CANCEL Bg.	NO FORMBOARD SURVEY (REQUIRE 24 HRS PRIOR) TO INSPECTION
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4527 (EXP.) 4895	SEELY 37 NE LOFTING WAY GRIBBEN CONST.	POST NOTICE OF PENDING STOP WORK ORDER.	GAVE TO Supt.	G.C. TO SIGN REVEAL PERMIT PRIOR TO S.W.V.A. FRIDAY MAY 12, 2000
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4888	Obersheimer 75 N S Pt. Rd. DREDGE & MARINE (KREMSER)	final in dock	Passed Bg.	Elec. Disconnected. ELECTRICIAN ON JOB. How we pull permit FOR NEW Elec. Removing old Elec.

OTHER: T/R APPL. - 10 CRAVES NEST (TORRANCE); ✓ CLYDES LANDSCAPE Running New Water Line. Will Get perm
T/R APPL. - INDIA LUCIE COMMON (H.O. ASH); ✓ " " " "
T/R APPL. - 14 HERONS NEST; (JONES) ✓ BAYSHORE LAND MARKI
T/R APPL. - 4 OAK HILL WAY; (CONWAY) ✓ CONWAY CONST
INSPECTOR (Name/Signature): T/R APPL. - 835 SEWALLS PT RD (CHARTOS) ✓ FPC
CONSENT - 6 MINDORO (SEH) ✓ POSSIBLE HEDGE HGT UCL. - CONSULTATION

ROBERT M. WIENKE
Mayor

MARC S. TEPLITZ
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

THOMAS P. BAUSCH
Commissioner

E. DANIEL MORRIS
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCarthy
Chief of Police

EDWIN B. ARNOLD
Building Official

JOSE TORRES, JR.
Maintenance

COPY

CERTIFICATE OF OCCUPANCY

☒ Single Family Residence

☐ Other _____

OWNER: FOGLIA CONST. CORP. ; PROPERTY ADDRESS: 103 HENRY SEWALL WAY

LEGAL DESCRIPTION: LOT 7 BLOCK _____ SUBDIVISION SEWALL'S MEADOW

GENERAL CONTRACTOR: FOGLIA CONST. CORP. ; Lic/CERT No. CGC 038434

ADDRESS: 7428 WILES RD., CORAL SPRINGS, FL. ; TEL 954-755-7808 ; FAX 341-5120

ARCHITECT OR ENGINEER: HOMES BY ARCHITECTURE ; Lic/REG. No. 11617

ADDRESS: 7430 WILES RD., CORAL SPRINGS, FL. ; TEL 954-755-0690 ; FAX _____

PERMIT NO: 4658 ; DATE OF ISSUE: 8/12/99 ; RENEWAL PERMIT NO: N/A ; DATE OF ISSUE: _____

In accordance with the requirements of the South Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 10TH day of MAY, 2000.

Edwin B. Arnold, AIA, CBO
Building Official, Town of Sewall's Point

cc: TOWN CLERK
CHIEF OF POLICE
BUDG. FILE

PREDICTABILITY + ACCOUNTABILITY = COMPLIANCE



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

4761

Pool

☒ BLUEPRINTS FOR THIS PERMIT ARE
AVAILABLE FOR REVIEW AT TOWN
HALL.

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 12/10/99 BUILDING PERMIT NO. 4761
Building to be erected for FOGLIA CUSTOM HOMES Type of Permit POOL/DECK
Applied for by STAR LITE POOL BLDGS (Contractor) Building Fee \$240.00
Subdivision SEWALL'S MEADOW Lot 7 Block _____ Radon Fee _____
Address 103 HEAVY SEWALL WAY Impact Fee _____
Type of structure S.F.R. (UNDER CONST.) A/C Fee _____
Electrical Fee _____
Plumbing Fee _____
Roofing Fee _____
Parcel Control Number: _____

Amount Paid \$240.00 Check # 7641 Cash _____ Other Fees (_____)
Total Construction Cost \$ 9,000.00 TOTAL Fees \$240.00

Signed Lester F. Farias Signed [Signature]
Applicant Town Building Inspector [Signature]

POOL / SPA PERMIT

INSPECTIONS

SETBACKS	DATE _____	DECK	DATE _____
COMPACTION TESTS	DATE _____	ENCLOSURE & LATCH	DATE _____
GROUND ROUGH	DATE _____	DOOR ALARM(S)	DATE _____
STEEL & BOND	DATE _____	FINAL	DATE _____
LIGHT NITCHE	DATE _____		

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

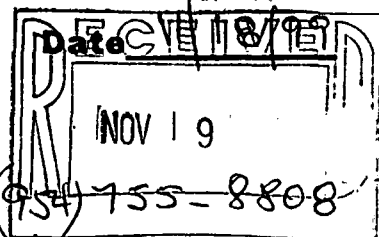
CALL 287-2455

WORK HOURS – 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

☐ New Construction ☐ Remodel ☐ Addition ☐ Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

BUILDING PERMIT APPLICATION

Owner's Name: FOGLIA CUSTOM HOMES Phone No. (954) 755-8808
 Owner's Present Address: 7424 WILES Rd. CORAL SPRING, FL 33306
 Fee Simple Titleholder's Name & Address if other than owner _____

Location of Job Site: 103 HENRY SEWALL - HARTIN COUNTY, FL
 TYPE OF WORK TO BE DONE: INSTALL A NEW POOL

CONTRACTOR INFORMATION

Contractor/Company Name: STAR LITE POOL BUILD phone No. (954) 747-3377

COMPLETE MAILING ADDRESS 10875 NW 52nd ST #0 - SUNRISE, FL 33351

State Registration CPCO-56418 State License _____

Legal Description of Property Sub Div - "SEWALL MEADOW"

Parcel Number _____

ARCHITECT/ENGINEER INFORMATION

Architect _____

Phone No. _____

Address _____

Engineer BROWARD ENG. ASS INC

Phone No. (954) 564-6214

Address 409 NE 29th ST - Ft. Lauderdale FL 33334

Area Square Footage: Living Area _____ Garage Area _____ Carport _____

Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____

Type Sewage: _____ Septic Tank Permit # from Health Dept. _____

NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD

proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)

Cost of construction or Improvement \$9,000

Fair Market Value (FMV) prior to improvement _____

Substantial Improvement 50% of FMV yes _____ No _____

Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____

Mechanical _____ State License# _____

Plumbing SAME COMPANY State License# CPCO 56418

Roofing _____ State License# _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE _____

Sworn to and subscribed before me this 18 day of November, 1999 by JOSEPH FOGLIA who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.

CONTRACTOR SIGNATURE Ronald M. Bixler

Sworn to and subscribed before me this 18 day of November, 1999 by RONALD M. BIXLER who is personally known to me or has produced _____ and who did (did not) take an oath.

Lastenia Iberico
LASTENIA IBERICO

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
- B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- C. Contractor's name, address, phone number & license numbers.
- D. Name all sub-contractors (properly licensed).
- E. Current Survey
- F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
 1. Floor Plan
 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
 7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

This instrument Prepared By:

Name STAR LITE POOL BUILDER'S

Address 10875 NW 52nd St. # 8 - SUNRISE, FL, 33351

Permit No. _____

Tax Folio No. _____

NOTICE OF COMMENCEMENT

STATE OF FL
COUNTY OF MARTIN COUNTY

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property: (legal description of property, and street address if available)

Lot 7 - Sub Div: "Seawall's Meadow"

103 HENRY SEWALL WAY - MARTIN COUNTY, FL

2. General description of improvement:

Install a New Pool

3. Owner information

a. Name and address: JOSEPH FOGLIA
7424 WILES RD. CORAL SPRING, FL, 33067
b. Interest in property: (954) 755-8808
c. Name and address of fee simple titleholder (if other than owner):

4. Contractor:

STAR LITE POOL BUILDERS
a. Name and address: 10875 NW 52nd St. # 8 - SUNRISE, FL, 33351
b. Phone number: (954) 747-3377
c. Fax number (optional, if service by fax is acceptable):

5. Surety

a. Name and address:
b. Amount of bond \$ _____
c. Phone number:
d. Fax number (optional, if service by fax is acceptable):

6. Lender

a. Name and address:
b. Phone number:
c. Fax number (optional, if service by fax is acceptable):

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided in section 713.13(1)(a)7., Florida Statutes:

a. Name and address:
b. Phone number:
c. Fax number (optional, if service by fax is acceptable):

8. In addition to himself, Owner designates the following person(s) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:

a. Name and address: STAR LITE POOL BUILDERS
b. Phone number: 10875 NW 52nd St. # 8 - SUNRISE, FL, 33351 (954) 747-3377
c. Fax number (optional, if service by fax is acceptable): (954) 747-1494

9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified) _____

Sworn to and subscribed before me by: JOSEPH FOGLIA

_____ who is personally known to me or produced
_____ as identification, and who did take
an oath, this 17 day of November, 19 99.

Signature of Owner

Owner's Name JOSEPH FOGLIA

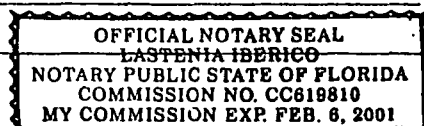
Owners Address: 7424 WILES RD
CORAL SPRING, FL, 33067

Signature of Notary

Printed name of Notary LASTENIA IBERICO

Commission No./Expiration:

Seal:

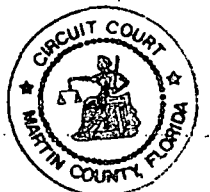


STATE OF FLORIDA
MARTIN COUNTY

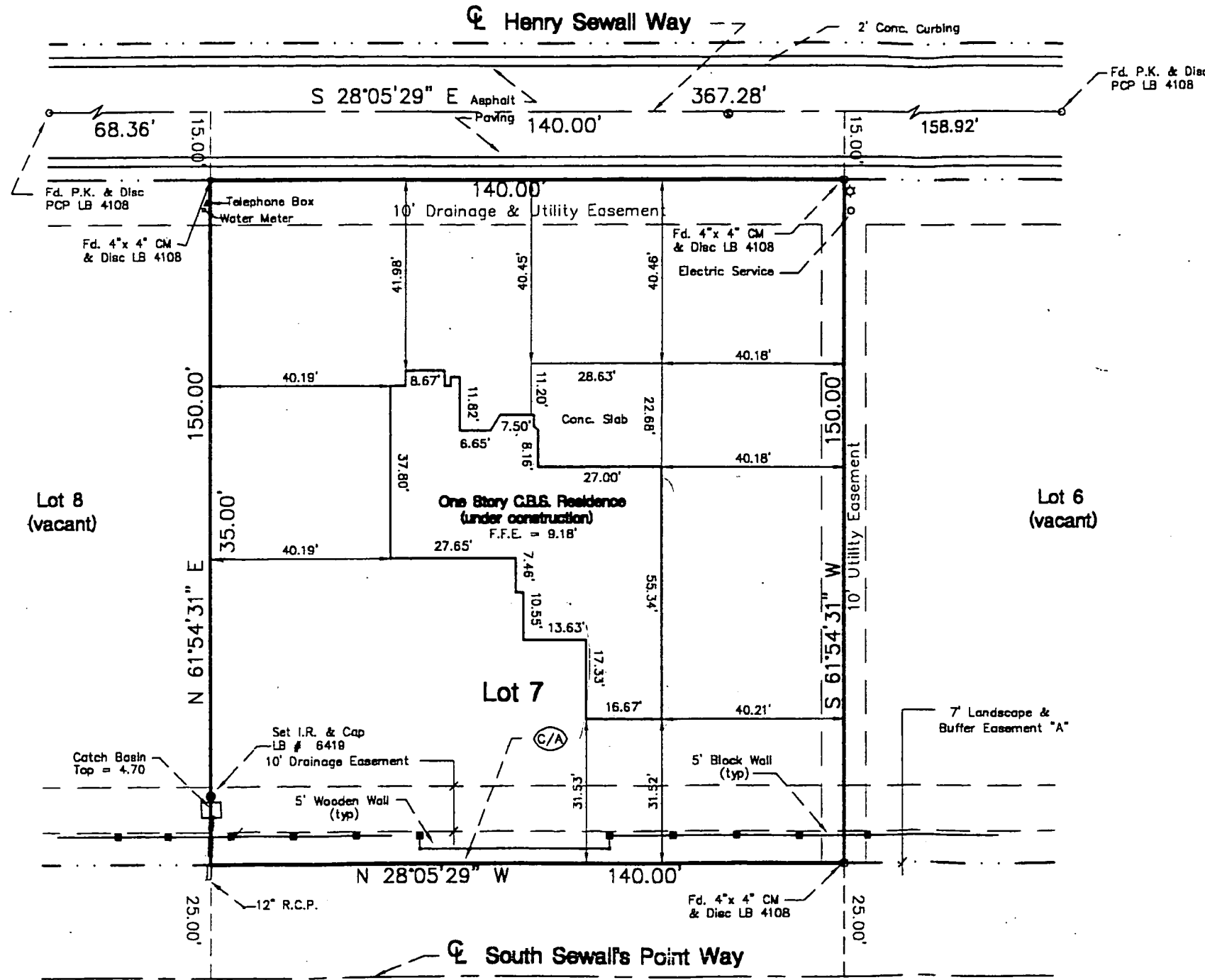
THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA STILLER, CLERK

BY [Signature]
DATE 11.18.99



Boundary Survey For:
Foglia Contracting Corp.



Legal Description

Being all of Lot 7 according to the Plat of SEWALL'S MEADOW as recorded in Plat Book 14, Page 32, public records of Martin County, Florida.

Legend

Fd. ——— Found	(M) ——— Measured Data
R/W ——— Right-of-way line	(R) ——— Iron Rod
PCP ——— Permanent Control Point	(P) ——— Plat Data
CM ——— Concrete Monument	(IP) ——— Iron Pipe
PP ——— Power Pole	Conc. ——— Concrete
(C) ——— Calculated Data	O/H ——— Overhead Utilities
ORB ——— Official Records Book	Pg. ——— Page
ID ——— Identification Number	TT ——— Tin Tab
(R) ——— Radial	(C/A) ——— Control of Access

General Notes

1. The bearings shown hereon are referenced to the Centerline of S.W. Henry Sewall Way according to Plat of SEWALL'S MEADOW.
2. All above ground fixed improvements, if any, have been located and shown hereon.
3. Underground utilities and utility services have not been located on this survey.
4. Flood Note: By graphic plotting only, this property is in Zone "AB" (EL9), according to the Flood Insurance Rate Map, Community Panel No. 120164 0002 d, effective date June 16, 1992. The exact designation can only be determined by an elevation certificate.

Certification

(Not valid unless sealed with an embossed Surveyor's seal)

I HEREBY CERTIFY to Foglia Contracting Corp., a Florida corporation; McCarthy, Summers, Bobko, McKay, Wood & Sawyer, P.A.; Attorneys; Title Insurance Fund, Inc.; and Fidelity Federal Savings Bank of Florida, that the survey of the property shown hereon was completed under my direction on April 11, 1999, and that said survey is true and correct to the best of my knowledge and belief. There are no encroachments other than those shown hereon.

I FURTHER CERTIFY that this survey meets the Minimum Technical Standards as set forth by the Florida Board of Land Surveyors pursuant to Section 472.027, Florida State Statutes. No search of the public records has been made by this office. This survey is based on information furnished by the client or the client's representative.

4/11/99
Date of Signature

Richard W. Bussell
Richard W. Bussell
Professional Surveyor & Mapper
Florida Certificate No. 3858

REVISION: Added Under Construction Tie-in 11-1-99
REVISION: Added Under Construction Tie-in 10-6-99

Richard W. Bussell, Inc.
Survey Sciences, Mapping & Consulting
1520 S. Federal Highway, Suite 101
Stuart, Florida 34994
Phone (888) 220-6380 Fax (888) 220-2517

Boundary Survey For:
Foglia Contracting Corp.
Town of Sewall's Point, Martin County, Florida

Scale: 1" = 30'	Date: 4-28-99	File & Drawing No. 99-2-1040-07-01
Drawn By: rwb	Checked rwb	Sheet 1 of 1

ACORD

CERTIFICATE OF LIABILITY INSURANCE

OP 10 LG
STARL-1

DATE (MM/DD/YY)

09/13/99

PRODUCER

Insurance By Ken Brown, Inc.

P.O. Box 540569

1339 Arlington Street

Orlando FL 32805

Phone: 407-849-0490 Fax: 407-648-0197

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED

Star-Lite Pools
Star-Lite Pool Builders, Inc.
10875 N. W. 52th St., Ste #8
Sunrise FL 33351

INSURER A: Transportation Ins. Company

INSURER B: Transcontinental Ins. Company

INSURER C: Bridgefield Casualty Ins Co.

INSURER D:

INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	B142980114	09/13/99	09/13/00	EACH OCCURRENCE \$ 500,000
	☒ COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 50,000
	☐ CLAIMS MADE ☒ OCCUR				MED EXP (Any one person) \$ 5,000
					PERSONAL & ADV INJURY \$ 500,000
					GENERAL AGGREGATE \$ 1,000,000
					PRODUCTS - COMP/OP AGG \$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: ☐ POLICY ☐ PRO. JECT ☐ LOC				
B	AUTOMOBILE LIABILITY	B142980128	09/13/99	09/13/00	COMBINED SINGLE LIMIT (Ea accident) \$ 500000
	☒ ANY AUTO				BODILY INJURY (Per person) \$
	☐ ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	☐ SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	☒ HIRED AUTOS				
	☒ NON-OWNED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	☐ ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	☐ OCCUR ☐ CLAIMS MADE				AGGREGATE \$
	☐ DEDUCTIBLE				\$
	☐ RETENTION \$				\$
					\$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	019601875	06/26/99	06/26/00	☒ WC STATUTORY LIMITS ☐ OTHER \$ 100,000
					E.L. EACH ACCIDENT \$ 100,000
					E.L. DISEASE - EA EMPLOYEE \$ 100,000
					E.L. DISEASE - POLICY LIMIT \$ 500,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

lg

CERTIFICATE HOLDER

N

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

INSURED'S COPY

SEWALLS

City of Sewalls Point
1 South Sewalls Point Rd.
Sewalls Point FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.



MBF REPRINT

Board of County Commissioners, Broward County Florida
BROWARD COUNTY OCCUPATIONAL LICENSE TAX

65147

FORM NO.
401-280/AC 25-061

FOR PERIOD OCTOBER 1, 1998 THRU SEPTEMBER 30, 1999

RENEW ON OR BEFORE
SEPTEMBER 30, 1998

☒ RENEWAL ☐ TRANSFER SEC # 188-1188

☐ NEW BUSINESS DATE BUSINESS OPENED 10/03/94

STATE OR COUNTY CERT/REG # CPC056418

Business Location Address:

10501 NW 50 ST 105
CITY OF SUNRISE, FL 33351
BUSINESS PHONE 954-749-9101

65-0511648

THIS LICENSE MUST BE CONSPICUOUSLY DISPLAYED
TO PUBLIC VIEW AT THE LOCATION ADDRESS ABOVE

Ronald M. Bixler
Ruth M. Bixler



BROWARD COUNTY REVENUE COLLECTOR
115 S. Andrews Avenue, Governmental Center Annex
FORT LAUDERDALE, FL 33301

TAX	27.00
BACK TAX	
PENALTY	
T. C. FEE	
TRANSFER	
TOTAL	27.00

PENALTIES IF PAID	
OCT. - 10%	NOV. - 15%
DEC. - 20%	After DEC. 31 - 25%
* Plus Tax Collection Fee of up to \$25.00 Based on Cost of License if Paid On or After November 30, 1998	

ACCOUNT NUMBER

188-0000180

STAR LITE POOLS
RONALD M BIXLER
10501 NW 50 ST 105
SUNRISE FL 33351

TYPE OF LICENSE TAX PAID

CERT COMMERCIAL POOL/SPA
3 UNITS

1998 - 1999

*SEE BACK FOR TRANSFER INFORMATION PAYMENT RECEIVED AS VALIDATED ABOVE

0000000000 000002700 000001880000180 1001 1 2700 007381 07 081398



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD
7960 ARLINGTON EXPRESSWAY
SUITE 300
JACKSONVILLE FL 32211-7467

(904) 727-6530

BIXLER, RONALD MARION
STAR-LITE POOLS
6074 N SABAL PALM BLVD STE 213-D
TAMARAC FL 33319

STATE OF FLORIDA AC# 520003
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CP -C056418 07/07/1998 9704855
CERT COMMERCIAL POOL/SPA CONTR
BIXLER, RONALD MARION
STAR-LITE POOLS
IS CERTIFIED under the provisions of Ch. 489
Expiration Date: AUG 31, 2000

DETACH HERE

AC# 5200035

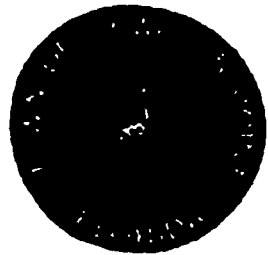
STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
07/07/1998	97048559	CP -C056418

The COMMERCIAL POOL/SPA CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2000

BIXLER, RONALD MARION
STAR-LITE POOLS
6074 N SABAL PALM BLVD STE 213-D
TAMARAC FL 33319



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

2

WED 12-15-99

PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4589	De Gioia	mechanical	PASSED	PM prefer
	130 N.S.P.Rd.	ELECT. PLUMB (FRANK - SUBJ. ALL)		- REINSPECT REQUIRED GROUND FLOOR
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4658	Foglia	truss eng.	PASSED	
	103 H. Sewall			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4673	Foglia	tie beam	PASSED	
	110 H. Sewall			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4565	Kennedy	driveway form	PASSED	AM prefer
	3 Oak Hill Way			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4706	Foglia	maindrain tie & bonding	PASSED	
	103 H. Sewall Way			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4646	Kimmelman	pool final	PASSED	- SAMPLE FOR POOL SCREEN ENCLOSURE
4718	19 Abbie Lane			
4753	108 Abbie Ct.	POOL SCREEN ENC.	PASSED	REMAIN STATUS.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4527	Seeley	slab	PASSED	- REINSPECTION REQUIRED
	37 Lofting		(PTL)	ALL PAD FTGS.

OTHER:

INSPECTOR:

[Signature]

12/15/99

1998 - 1999

wed.

Town of Sewall's Point Building Department - Inspection Log

11/19/00

PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4588	Grimes	driveway	PASSED	Duplicate field copy of permit required
	15 Castle Hill Way			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4732	Hufnagel	temp.	PASSED	- call in watered permit to FR... Carl 11/19
	19 Lofting Way	electric		
	Lot 19			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	FOGLA	CANCEL - NO EGRESS CONTRACTOR ON SITE		
4673	110 HENRY/SEWALL	ROOF FR / SHEATHING	PASS	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4770	FOGLA			
	103 HENRY/SEWALL	POOL PLUMBING	PASS	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4702	FOGLA			
	105 HENRY/SEWALL	POOL PLUMBING	PASS	
4657	105 HENRY/SEWALL	DRY WALL SCREW	PASS	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: - MCKINLEY 26 SIMULA; MADE INSPECTION @ REQUEST OF CHIEF MCCARTY; THERE IS A BOAT ON TRAILER IN FRONT SEBACK AREA "CONCEALED" W/ BLACK SCREEN & SUPPORTED ON 2x4's INTO GROUND. REPORTED TO MCCARTY (NO PERMIT, IF "FENCE" 5' HGT MAX (THIS 16') - THIS WOULD BE ENCLOSE-STRUCTURE S. MUST PERMIT & COMPLY W/ SEC 4 HE

INSPECTOR: _____

DATE: 1/19/00

2000 ~~1999~~ ~~1998~~
Town of Sewall's Point
Building Department - Inspection Log

M. O. N. 1-31-00

PAGE 1 of 1

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4657	105 HENRY SEWALL	POOL DECK	Passed	
	FOGLA	DRIVEWAY PORCH	B.G.	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4658	FOGLA	POOL DECK	Passed	
4716	103 HENRY SEWALL	DRIVEWAY	B.G.	
(POD)		PORCH		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4758	Stier	tie beam	Passed	Several pieces of
	13 Knowles	WALL	B.G.	Steel short. Add
				Pieces Before Pour
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4795	Downing	underlayment	Failed	late AM
	42 S.E.P.	WALL	B.G.	metal and stony.
		Sheathing - 2nd floor		Sheathing Port Hkct.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4659	Conway	2nd floor	Passed	2nd Fl. Sheathing
	17 Lot 710	substructure	B.G.	Delivered. Chatter from
		substructure		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4771	3 PACALA WAY	VERIFY PRE-CONST	Passed	RELEASE STOP WORK
	(RACON PLAZ)	SERVICES	B.G.	
		ELECT/WTR/WHS/TOILET		

OTHER: Steve Conway - Delivered Letter #4589 130N. S. / De Gloria, FOR SR placed on under side of main ~~1st~~ Floor + NO HURRICANE Sheathing on 1st Fl. Knock out walls. FROM ENG - S.J. AMICO PE Dated 1-24-00
 Steve Conway Agreed with Letter (1-31-00 B.G.)
INSPECTOR: *[Signature]* BLDG OFFICIAL **DATE:** 1/31/00

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☒ Mon ☐ Wed ☐ Fri 6-5-2000, 2000;

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4771	VanWegner	dry-wall	Passed	
N/✓ (2)	3 Palamia Way Diaz	screws	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4761	Foglia	final pool ✓	Reject	DELIVER FIELD COPY OF SURVEY
S/✓ (6)	103 # Sewall Way Foglia-STAR LITE POOL		BG.	RAILING NOT BOWDED NO ONE ON JOB
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4955	Rica	driveway -	Partial	South Side
N/✓ (5)	5 Banyan (Indielucie)	partial BUWALMA'S CONC.	BG.	Only.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4939	Kennedy	storm	Passed	
N/✓ (3)	3 Oak Hill Way L&S DESIGN & CONST.	shutters (FINAL) M.Y.N. 4565	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4857	Conway	sub siding	Passed	WALLS & Lower
N/✓ (4)	4 Oak Hill Way Conway	nails & roof on garage nails	BG.	Roof Only.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4659	Conway	screws -	Passed	
N/✓ (1)	17 NE Luling Conway	dry-wall	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: T/R PERMIT APPL. - 205 SEWALL'S POINT RD.; BAUSCH (O/B)

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☐ Mon ☒ Wed ☐ Fri 6/7/02, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4859	Abbott	pool *	Passed	FINAL "AS BUILT" SURVEY
✓ (1)	108 N.S.P. Rd. E.S. UNLIMITED	final OWNER TO CALL	B.G.	REQ. W/COMPLETE DUCK. (Pending Final Survey)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4761	Foglia	final pool	Passed	re-inspect
✓ (5)	103 H. Sewall Way STARLITE POOLS			FINAL SURVEY IN MASTER FILE
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4949	Corrigan	pool	Passed	FORWARDED SURVEY RECORD
✓ (2)	4 Oak Hill Way OLYMPIC POOLS	steel		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N (4)	Hellmigel 11 C. Hill Way	tree removal	Consultation	12" DIA. PALM TREE
4628	STRATHMORE	REVIEW: PROPOSED RET. WALL/VERANDA		ENGR. DUES TO SITE
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4565	Kennedy	plumbing	Reject	re-inspect
✓ (3)	3 Oak Hill Way PIONEER CONST.	(PTL. FINAL REINSPECTION)	B.G. No Fee	Weed Gas WATER Heater Vent Hooked up
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4643	HERRMANN	SHEATHING		
S (6)	107 HILLCREST CT. A&P B&G			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: T/R APPL. 14 HERON'S NEST - JONES (BAYSHORE LAND MAINT.)

INSPECTOR (Name/Signature): _____

5033

Pool ENC

☒ BLUEPRINTS FOR THIS PERMIT ARE
AVAILABLE FOR REVIEW AT TOWN
HALL.

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 7/19/00 BUILDING PERMIT NO. 5033
Building to be erected for CHARLIE GIFFORD Type of Permit POOL ENCLOSURE
Applied for by SCREENCO NORTH, INC (Contractor) Building Fee \$120.00
Subdivision SEWALL'S MEADOW Lot 7 Block _____ Radon Fee _____
Address 103 HENRY SEWALL WAY Impact Fee _____
Type of structure S.F.R. A/C Fee _____
Electrical Fee _____
Parcel Control Number: _____ Plumbing Fee _____
Roofing Fee _____
Amount Paid \$120.00 Check # 14499 Cash _____ Other Fees (_____)
Total Construction Cost \$ 3,600.00 TOTAL Fees \$120.00
Signed Robert Thompson Signed [Signature]
Applicant Town Building Inspector SPECIAL

SCREEN ENCLOSURE PERMIT

INSPECTIONS			
SETBACKS	DATE _____	STEEL & BOND FINAL	DATE _____ DATE <u>8/4/00</u>
24 HOURS NOTICE REQUIRED FOR INSPECTIONS.		CALL 287-2455	
WORK HOURS - 8:00 AM UNTIL 5:00 PM			
MONDAY THROUGH SATURDAY			

☐ New Construction ☐ Remodel ☐ Addition ☐ Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

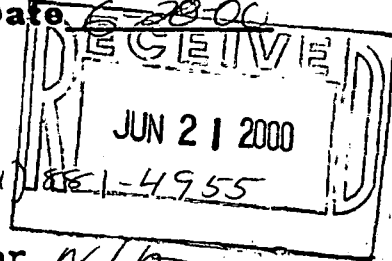
Bldg. Pmt#

Town of Sewall's Point

Date 6-28-00

BUILDING PERMIT APPLICATION

Owner's Name: Charlie Gifford Phone No. (561) 841-4955
Owner's Present Address: 103 Henry Sewall Way
Fee Simple Titleholder's Name & Address if other than owner N/A



Location of Job Site: 103 Henry Sewall
TYPE OF WORK TO BE DONE: Pool Encl.

CONTRACTOR INFORMATION

Contractor/Company Name: Severson NO. Inc Phone No. (561) 840-3300
COMPLETE MAILING ADDRESS 5470 Dexter Way, Mangonia Park, FL 33407
State Registration _____ State License #SP0074
Legal Description of Property Lot 7 Sewall's Meadow
Parcel Number 13-38-41-013-000-0007.0-00000

ARCHITECT/ENGINEER INFORMATION

Architect N/A Phone No. _____
Address _____
Engineer _____ Phone No. _____
Address _____

Area Square Footage: Living Area _____ Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement 3600
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No _____
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing _____ State License# _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE [Signature]
Sworn to and subscribed before me this 20th day of June, 2000 by Richard Prince who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.

CONTRACTOR SIGNATURE [Signature]
Sworn to and subscribed before me this 20th day of June, 2000 by Richard Prince who is personally known to me or has produced _____ and who did (did not) take an oath.

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____

Specimen tree removed _____ Fee _____ Authorized/Date _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
- B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- C. Contractor's name, address, phone number & license numbers.
- D. Name all sub-contractors (properly licensed).
- E. Current Survey
- F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan), to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

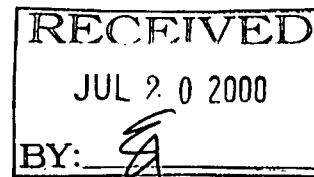
NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

Charles J. Gifford
103 Henry Sewall Way
Sewall's Point, FL 34996

FAX COVER



To: Sewall's Point Building Dept

FILE

103 HENRY SEWALL
PW 5033

From: Charles J Gifford

**Re: Screenco Building Permit - Lot 7 Sewall's Meadow
Request For Warranty Deed Copy**

Attached is copy of executed Warranty Deed. Original is still at Court House for recording.

A handwritten signature in cursive script, appearing to read "Charles J. Gifford".

Prepared by and return to:

Thomas R. Sawyer

Attorney at Law

McCarthy, Summers, Bobko, Wood, Sawyer & Perry, P.A.

2081 E. Ocean Boulevard Second Floor

Stuart, Florida 34996

File Number: 397509

Will Call No.: 50

[Space Above This Line For Recording Date]

Warranty Deed

This Warranty Deed made this 13th day of June, 2000 between Foglia Contracting Corp., a Florida corporation whose post office address is 7428 Wiles Rd., Coral Springs, Florida 33067, grantor, and Charles J. Gifford and Susan J. Gifford, his wife whose post office address is 103 Henry Sewall Way, Stuart, Florida 34996, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida to-wit:

Lot 7, SEWALL'S MEADOW, according to the Plat thereof recorded in Plat Book 14, Page 32, Public Records of Martin County, Florida.

Parcel Identification Number: 13-38-41-013-000-00070.00000

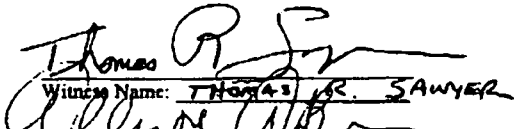
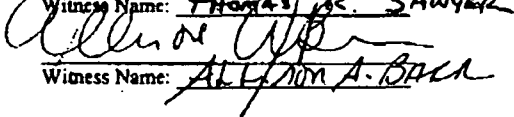
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

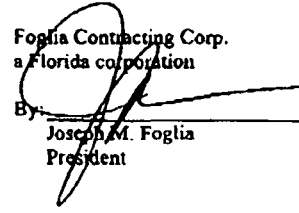
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1999.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Name: THOMAS R. SAWYER

Witness Name: ALLISON A. BAKER

Foglia Contracting Corp.
a Florida corporation

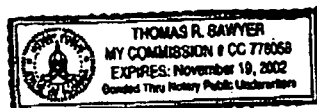
By: 
Joseph M. Foglia
President

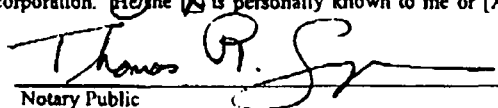
(Corporate Seal)

State of Florida
County of Martin

The foregoing instrument was acknowledged before me this 13th day of June, 2000 by Joseph M. Foglia, President of Foglia Contracting Corp., a Florida corporation, on behalf of the corporation. He ☒ is personally known to me or ☐ has produced a driver's license as identification.

[Notary Seal]




Notary Public

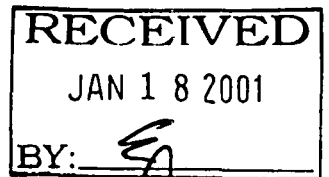
Printed Name: _____

My Commission Expires: _____

DoubleTime

01377487

99 JUL -2 PM 3:59



Prepared by and return to:
Terence P. McCarthy, Esq.

McCarthy, Summers, Bobko, McKey, Wood, & Sawyer
2081 E. Ocean Boulevard Second Floor
Stuart, Florida 34996
561-286-1700
File No.: 468918

DOC-DEED # 8113⁰⁰ MARSHA STILLER
DOC-MTG # _____ MARTIN COUNTY
DOC-ASM # _____ CLERK OF CIRCUIT COURT
INT TAX # _____ BY [Signature] D.C.

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 30th day of June, 1999 between
FAIRVIEW PROPERTIES, INC., a Virginia corporation authorized to do business in the State of
Florida as **FAIRVIEW SOUTH, INC.**
whose post office address is
2400 S. Federal Hwy., #300, Stuart, Florida 34994
grantor, and
FOGLIA CONTRACTING CORP., a Florida corporation
whose post office address is

grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

WITNESSETH, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Martin County, Florida** to-wit:

Lots 1, 5, 6, 7, 8, 9, 11, 13, 14, 16, 17, 18 and 22, SEWALL'S MEADOW, according to the Plat thereof recorded in Plat Book 14, Page 32, Public Records of Martin County, Florida.

Parcel Identification Numbers: 13-38-41-013-000-00010.00000, 13-38-41-013-000-00050.00000, 13-38-41-013-000-00060.00000, 13-38-41-013-000-00070.00000, 13-38-41-013-000-00080.00000, 13-38-41-013-000-00090.00000, 13-38-41-013-000-00110.00000, 13-38-41-013-000-00130.00000, 13-38-41-013-000-00140.00000, 13-38-41-013-000-00160.00000, 13-38-41-013-000-00170.00000, 13-38-41-013-000-00180.00000, 13-38-41-013-000-00220.00000

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1998.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

FAIRVIEW PROPERTIES, INC. A VIRGINIA CORPORATION AUTHORIZED TO DO BUSINESS IN THE STATE OF FLORIDA AS FAIRVIEW SOUTH, INC.

By: W. Martin Bonan
W. Martin Bonan
Vice President

Witness Name: [Signature]

Witness Name: [Signature]

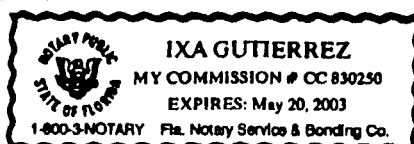
(Corporate Seal)

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 30th day of June, 1999 by W. Martin Bonan, Vice President of FAIRVIEW PROPERTIES, INC., a Virginia corporation authorized to do business in the State of Florida as FAIRVIEW SOUTH, INC., on behalf of the corporation. He ☒ is personally known to me ☐ has produced _____ as identification.

[Notary Seal]

OR BK 1405 PG 1535



Notary Public
Printed Name: _____
My Commission Expires: _____

- This Document Prepared By:
Terence P. McCarthy, Esq.
McCarthy, Summers, Bobko McKey, Wood & Sawyer, PA
2081 S.E. Ocean Blvd. Second Floor
Stuart, FL 34996

MARSHA STILLER
CLERK OF CIRCUIT COURT
MARTIN CO., FL

01359754

RECORDED & VERIFIED
BY: [Signature] D.C.

99 APR -1 PM 4:08

Parcel ID Number:
Grantee #1 TIN: 65-0294279

DOC-DEED # 267402 MARSHA STILLER
DOC-MTG # _____ MARTIN COUNTY
DOC-ASM # _____ CLERK OF CIRCUIT COURT
INT. TAX # _____ BY [Signature] D.C.

Warranty Deed

This Indenture, Made this 31st day of March, 1999 A.D., Between
FAIRVIEW PROPERTIES, INC., a Virginia corporation authorized to do business in the
State of Florida as Fairview South, Inc.,

, grantor, and
FOGLIA CONTRACTING CORP., a corporation existing under the laws of the state of
FLORIDA

whose address is: **7428 WILES ROAD, CORAL SPRINGS, Florida 33067**

, grantee.

Witnesseth that the GRANTOR, for and in consideration of the sum of _____
----- **TEN & NO/100(\$10.00)** ----- **DOLLARS,**

and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has
granted, bargained and sold to the said GRANTEE and GRANTEE'S successors and assigns forever, the following described land,
situate, lying and being in the County of **MARTIN** State of **Florida** to wit:

Lots 2, 3, 12 and 20, Plat of Sewall's Meadow, according to
the plat thereof on file in the Office of the Clerk of the
Circuit Court in and for Martin County, Florida, recorded in
Plat Book 14, page 32; said lands situate, lying and being in
Martin County, Florida.

Subject to restrictions, reservations and easements of record,
if any, which are not reimposed hereby, and taxes subsequent to
December 31, 1998.

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set his hand and seal the day and year first above written.
Signed, sealed and delivered in our presence:

FAIRVIEW PROPERTIES, INC., a Virginia corporation
qualified to do business in the State of Florida
as Fairview South, Inc.

Terence P. McCarthy
Printed Name: TERENCE P. MCCARTHY
Witness

By: W. Martin Bonan (Seal)
W. MARTIN BONAN, Vice President
P.O. Address 2400 S. Federal Hwy., Suite 300, Stuart, FL 34994

Printed Name: JAN GUTIERREZ
Witness

By: _____ (Seal)

(Seal)

(Seal)

STATE OF Florida
COUNTY OF MARTIN

(Corporate Seal)

The foregoing instrument was acknowledged before me this 31st day of March, 1999 by
W. MARTIN BONAN, VICE PRESIDENT of **FAIRVIEW PROPERTIES, INC.,** a Virginia corporation authorized to
do business in the State of Florida as Fairview South, Inc., a Corporation,
on behalf of the corporation. He is personally known to me or has produced this
as identification.

 Terence P McCarthy
My Commission CC718538
Expires February 22, 2002

Terence P. McCarthy
Printed Name: TERENCE P. MCCARTHY
NOTARY PUBLIC
My Commission Expires:

RECEIVED
AUG - 3 2000
BY:

NOTICE OF COMMENCEMENT **FILED**

STATE OF FL. COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

FILE

GENERAL DESCRIPTION OF IMPROVEMENT: Pool Screen Enclosure

OWNER: Charlie Gifford

ADDRESS: 103 Henry Swells Way, Stuart FL 34996

PHONE #: (888) 495-5555 FAX #: (888) 221-7261

CONTRACTOR: Screenco

ADDRESS: 5470 Dexter Way, Mangonia Park, FL 33407

PHONE #: (840) 840-3300 FAX #: (840) 840-7229

SURETY COMPANY(IF ANY) N/A

ADDRESS: _____

PHONE #: _____ FAX #: _____

BOND AMOUNT: _____

LENDER: N/A

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: N/A

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES N/A OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT:
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

x Charlie Gifford
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 21st DAY OF June 2000 BY Charlie Gifford

Donna Mackey
NOTARY SIGNATURE OR PERSONALLY KNOWN PRODUCED ID TYPE OF ID _____

Donna Mackey
My Commission CC646397
Expires May 12, 2001

MARTIN COUNTY GROWTH MANAGEMENT DEPARTMENT
BUILDING DIVISION

DESIGN CERTIFICATION FOR WIND LOAD
COMPLIANCE BY ARCHITECT OR ENGINEER
OF RECORD

PROJECT NAME AND ADDRESS

Gifford
103 HENRY SEWALL WAY
LOT #7 SEWALL MEADOWS

BUILDING DIVISION USE ONLY

BLDG. PERMIT # _____
OCCUPANCY TYPE S.F.R.
CONST. TYPE: SCREEN ENCLOSURE
COMMENTS: _____

STATEMENT

I certify that, to the best of my knowledge and belief, these plans and specifications have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced by Martin County Building Division. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I hereby accept responsibility for the structural design.

DESIGN PARAMETERS AND ANALYSIS

CODE EDITIONS: 1997 STANDARD BUILDING CODE
CHAPTER 6 OF ASCE 7-98
MARTIN COUNTY HURRICANE ORDINANCE #559
MARTIN COUNTY BARRIER ISLAND ORDINANCE #288

BUILDING DESIGN AS: PARTIALLY ENCLOSED ☒ ENCLOSED _____ OPEN _____
WIND TUNNEL TEST _____

BASIC WIND SPEED: WEST OF TURNPIKE 130 MPH 3 SECOND GUST _____
EAST OF TURNPIKE 140 MPH 3 SECOND GUST ☒

IMPORTANCE/USE FACTOR 1.0

VELOCITY PRESSURE: 7.0 psf

GARAGE DOOR DESIGN PRESSURE: N/A psf (positive) N/A psf (negative)

MINIMUM SOIL BEARING PRESSURE 2000 psf

EXPOSURE C

MEAN BUILDING HEIGHT 13'

FLOOR LOADS N/A

ROOF DEAD LOAD 1.0 psf

ROOF LIVE LOAD N/A

SHEAR WALL CONSIDERED ☒ YES _____ NO

CONTINUOUS LOAD PATH PROVIDED ☒ YES _____ NO

COMPONENTS AND CLADDING DETAILS PROVIDED ☒ YES _____ NO

IMPACT PROTECTION SPECIFIED ☒ YES (MUST BE INDICATED ON PERMIT DOCUMENTS FOR ALL
RESIDENTIAL/COMMERCIAL BUILDINGS, ALTERATIONS, AND RENOVATIONS)

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND
SIMILAR ENVELOPE ELEMENTS MUST BE INDICATED ON CONSTRUCTION PLANS.

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

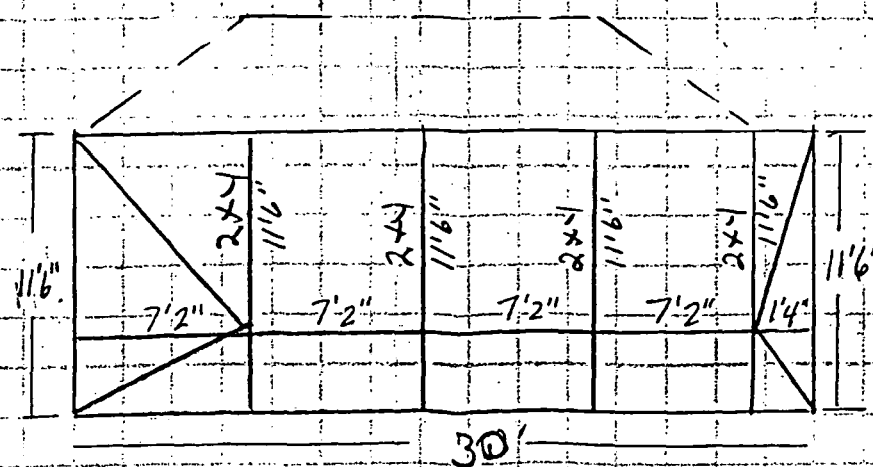
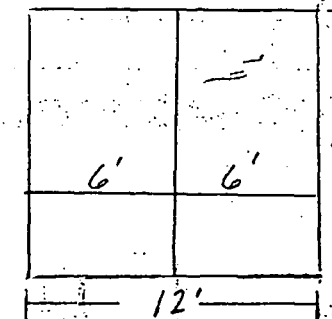
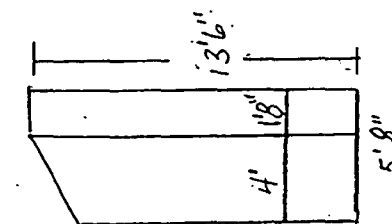
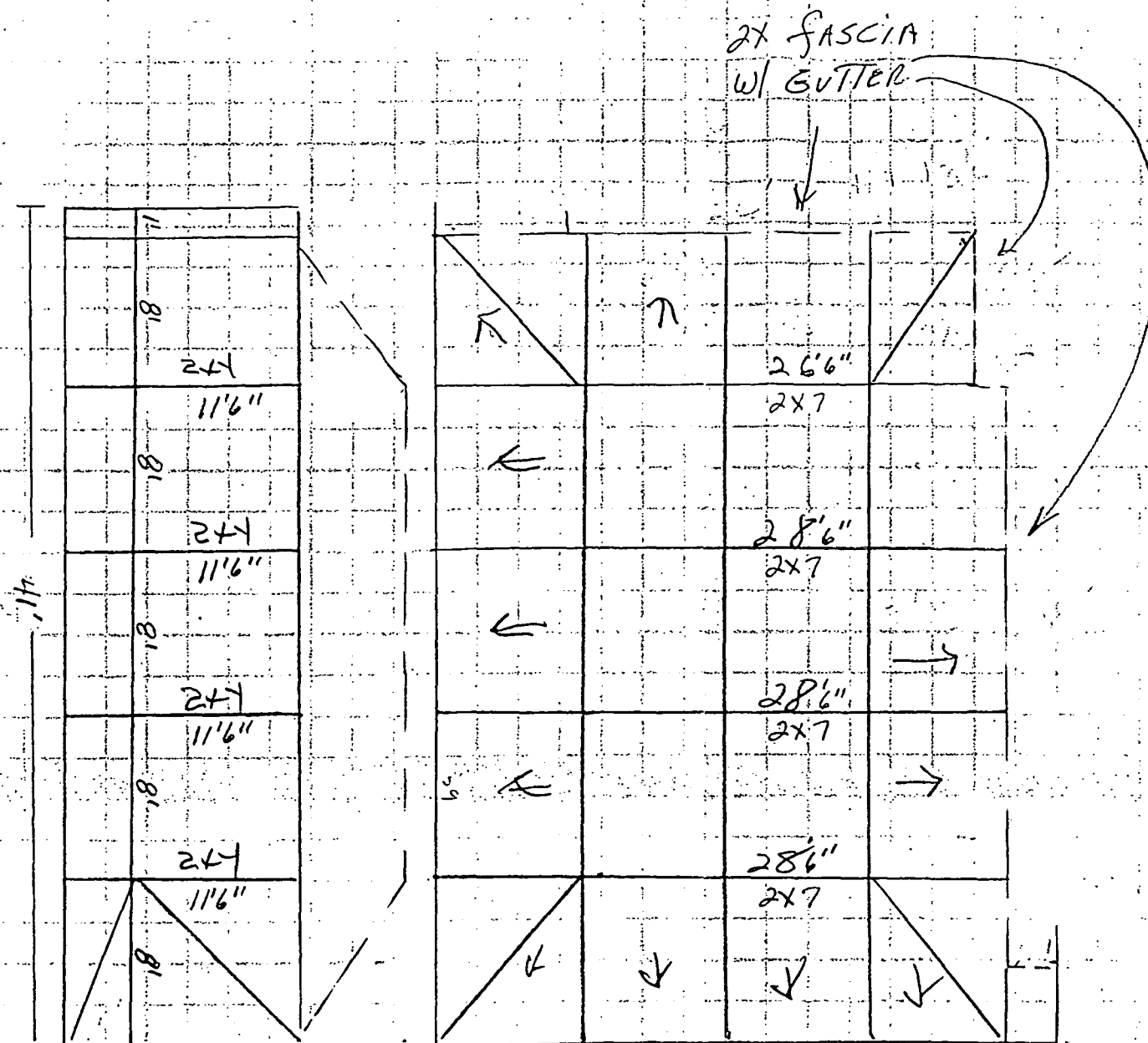
NAME BILL PASSINOS
CERTIFICATION # 30701
DATE 5-3-2000
DESIGN FIRM BILL PASSINOS
OTHER _____

SEAL

Bill Passinos
6-20-00

***** THIS FORM MUST INCLUDE THE PLAN REVIEW CHECKLIST IF IN THE "FAST TRACK" PERMIT
PROGRAM.*****

MCBD FORM #100



3470 Dexter Way
Mangonia Park, FL 33407
407-840-3300

Bill Passinos
P.E. # 30701

Bill Passinos

SEAL

6-20-00

Gifford
JOB SITE 23787
103 HENRY SEWALL WAY
LOT #7
SEWALL POINT

1 STORY C.B.S.
DWELLING
FINISH FLOOR ELEV. 9.20
HIGHEST ROOK PEAK
19.35' ABOVE FINISH FLOOR

POOL EQUIPMENT
8.0'
4.0'

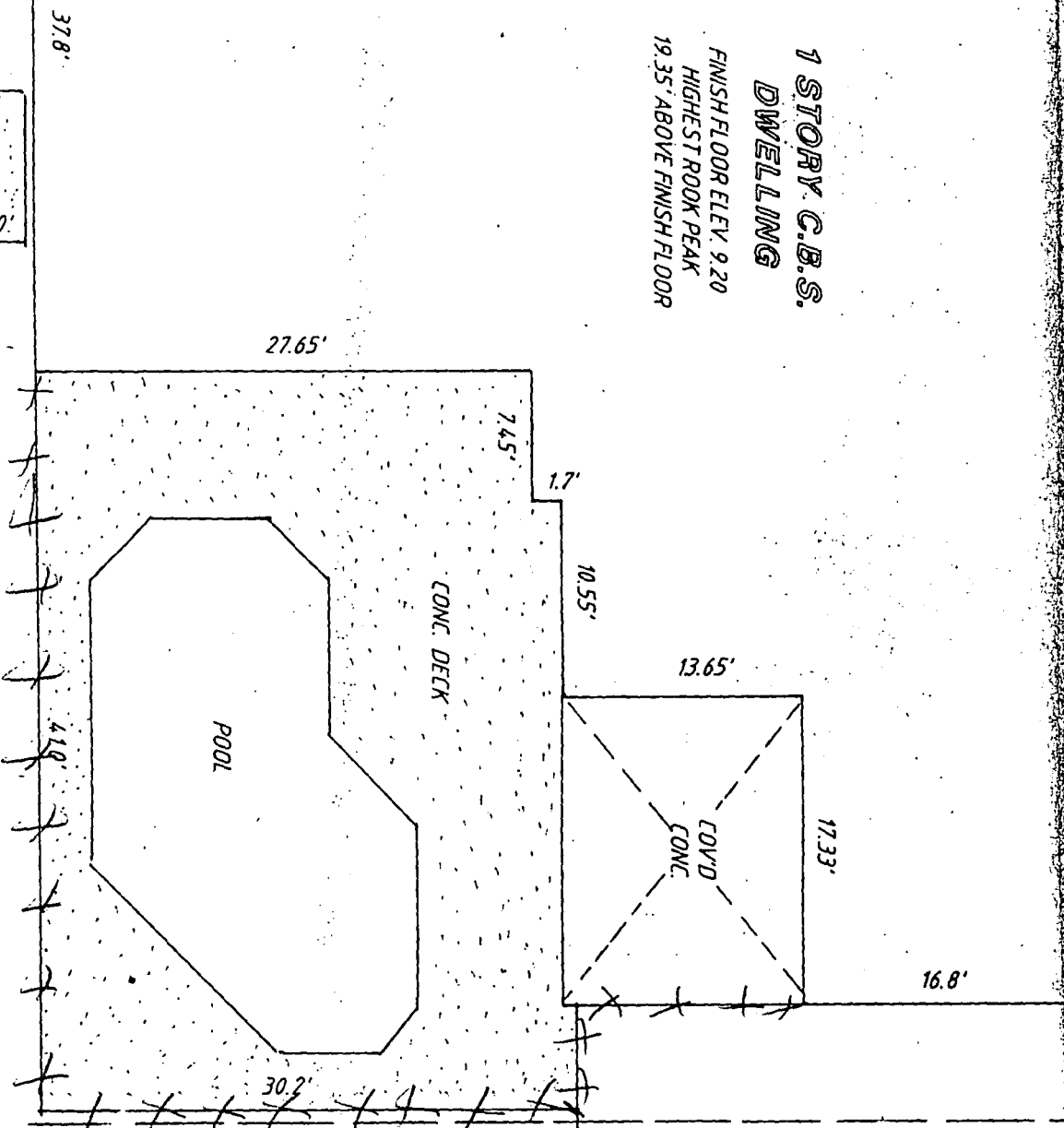
20.0' MIN.
BUILDING SETBACK LINE

FILE

TO 3 HENDERSON STREET W/ST

7/14/00 TOWN OF SEWALL'S POINT
REVIEW: [Signature]
PLNG. OFFICIAL [Signature]

PD 5033



25.0' MIN.
BUILDING SETBACK LINE

FND. LB (5/8")
CAP # LB 6419

4.9'

WOOD FRAME WALL

S.28°05'29"E.

140.00'(P)(C)

SOUTH SEWALL'S POINT ROAD

50' R/W

PREPARED FOR:

BOUNDARY SURVEY

ACCURIGHT LAND SURVEYING, INC.



PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT**COPY**STATE OF FL.COUNTY OF Martinez

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): _____

7/14/00 ORIG. RTO TO
CONTRACTOR
TO BE FILED
\$ RTO. 7/19

GENERAL DESCRIPTION OF IMPROVEMENT: Pool Screen EnclosureOWNER: Charlie GiffordADDRESS: 103 Henry Swells Way, Stuart FL 34996PHONE #: (561) 881-4955FAX #: (561) 221-7261CONTRACTOR: ScreencoADDRESS: 5470 Dexter Way, Mangonia Park, FL 33407PHONE #: (561) 840-3300FAX #: (561) 840-7229SURETY COMPANY (IF ANY) N/A

ADDRESS: _____

PHONE #: _____

BOND AMOUNT: _____

LENDER: N/A

ADDRESS: _____

PHONE #: _____

PERSONS WITHIN THE STATE OF FLORIDA
OTHER DOCUMENTS MAY BE SERVED AS P
UTES:

NAME: N/A

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES N/A
OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PRO-
VIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____

FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT
DATE IS SPECIFIED ABOVE.

SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 21st DAY OF JuneBY Charlie GiffordPERSONALLY KNOWN ☒

OR PRODUCED ID _____

TYPE OF ID _____

NOTARY SIGNATURE



Donna Hacking
My Commission CC848387
Expires May 12, 2001

7/14/00 ORIG - TO COPY
RTO TO CONTR
FOR FILING ✓
- COPY OF RCD'D
INSTRUMENT
REQUIRED.
- ALSO: RCD'D. WARRANTY
DEED.

NOTICES OR
FLORIDA STAT-

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)

06/09/2000

PRODUCER (954) 724-7000

(954) 724-7024

Keyes Coverage, Inc.

8201 West McNab Road

Tamarac, FL 33321

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED Screenco North, Inc.

Alumifab International dba Screenco Metal Prod

5470 Dexter Way

Mangonia Park, FL 33407

INSURER A: Hartford Fire Insurance Co

INSURER B: Associated Industries Ins. Co.

INSURER C:

INSURER D:

INSURER E:

RECEIVED

JUN 12 2000

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	21UUNLK7423	04/01/2000	04/01/2001	EACH OCCURRENCE \$ 1,000,00
	☒ COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 300,00
	☐ CLAIMS MADE ☒ OCCUR				MED EXP (Any one person) \$ 10,00
					PERSONAL & ADV INJURY \$ 1,000,00
					GENERAL AGGREGATE \$ 2,000,00
					PRODUCTS - COMP/OP AGG \$ 2,000,00
A	AUTOMOBILE LIABILITY	21UUNLK7423	04/01/2000	04/01/2001	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,00
	☒ ANY AUTO				BODILY INJURY (Per person) \$
	☐ ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	☐ SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	☒ HIRED AUTOS				
	☒ NON-OWNED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	☐ ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	☐ OCCUR ☐ CLAIMS MADE				AGGREGATE \$
					\$
	☐ DEDUCTIBLE				\$
	☐ RETENTION \$				\$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	2000324034	06/09/2000	07/01/2001	☒ WC STATUTORY LIMITS ☐ OTHER
					E.L. EACH ACCIDENT \$ 100,00
					E.L. DISEASE - EA EMPLOYEE \$ 100,00
					E.L. DISEASE - POLICY LIMIT \$ 500,00
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER

CANCELLATION

SEWELLS POINT
ONE SOUTH SEWELLS POINT RD.
SEWALLS POINT, FL 33996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Carey Keyes/KEY1

Carey Keyes

MARKIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY

PRINCE, RICHARD T
SCREENCO NORTH INC
5470 DEXTER WAY
MANGONIA PARK, FL 33407

EXPIRES SEPTEMBER 30, 20 CC

AUDIT CONTROL NUMBER	37018	CERTIFICATE NUMBER	SP00774
----------------------------	-------	--------------------	---------

CERTIFIED
CONTRACTOR

ALUMINUM/CONCRETE CONTRACTOR

SIGNATURE



ATTEST:

WILLIE A. MESSIER

LICENSING ADMINISTRATOR

11636

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☐ Mon ☐ Wed ☒ Fri 8-4, 2000;

Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5029	Page (off VSTK DR.)	pool/ster/	PASSED	
③	6 Lantana Lane		SA	
	Olympic			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5019	Vasquez	demo. in-	OK.	WORK W/ SCOPE
⑥	82 S.S.P. Rd.	progress	SA	OR PERMIT
	Groza			- MET OWNER ON SITE
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5003	Gifford	final	PASSED	ADD REQUIRED S.M. SCREW:
⑤	103 H. Sewall Way	pool enc.	(PAID)	PER BLDG DEPT TO POST DATA
	SCREENCO NORTH, INC.	(SETBACK & BOND OK)	SA	REPLY, REG. - NO FEE
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4959	Tetamanti	patio	PASSED	comp. Test and 83
⑧	19 Lofting Way		SA	
	Greg Pools			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: 167 S. SEWALL'S POINT RD (NE CORNER - MANDALAY)
 STOP - EXTENSIVE INTERIOR REMOD - NO PERMIT; ROLL DUMPSTER W/ A/C DUCTS PERMITS
 WORK - NO ONE ON SITE; EXTENSIVE NEW BRICK. (WEEK, DROP SLOTT W/ LGTG.)
 INSPECTOR (Name/Signature): CHLOE SULLIVAN 461-8009 (20-032)

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☐ Mon ☒ Wed ☐ Fri 8-16, 2000; Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5023	Gifford	SCREEN	PASSED	
✓ ④	103 H. Sewall Way SCREENING	enclosure PINK-REINSPECT	EA	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5052	Chodera-Harris	sheathing	CANCEL	11:00 / 1:15 PM @ SITE
N ⑨	54 No. River Rd. A & W Roofing	NOT READY		- RESHEATHING (SOLID) YDG. - ALL WILL RESHEATH
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4672	Clements PN 4755	first ALL TRADES	PASSED	
S ③	6 Middle Campbell	trimming (REINSPECT)	EA	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 5001	Bercaw	pl, el.	RAILED	U/G PLUMBING PLANS
⑦	11 River Crest Pienar	(rough)	EA	REQUIRED PER PERMIT RELEASE CONDITIONS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
	2:45 PM CONTR. COLLECTED & ANALYZED OF REPAIR RESULTS RICHARD REYNOLDS 692-7800 X 310	U/G PLUMBING/REPAIR UG ROUGH	PASSED EA	U/G PLANS DELIVERED - REINSPECTION 2:30 PM
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR (Name/Signature): _____

7714

Pool Enclos

☐ BLUEPRINTS FOR THIS PERMIT ARE
AVAILABLE FOR REVIEW AT TOWN
HALL.

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINTDate 8/8/05BUILDING PERMIT NO. 7714Building to be erected for GIFFORDType of Permit POOL ENCLOSUREApplied for by AGLER TILE & CARPET (Contractor)Building Fee 120.00Subdivision SEWALL'S MEADOW Lot 7 Block _____

Radon Fee _____

Address 103 HENRY SEWALL WAY

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

1338410130000007000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 120.00 Check # 1123 Cash _____ Other Fees (_____)Total Construction Cost \$ 15,000.TOTAL Fees 120.00Signed [Signature]

Applicant

Signed Gene Simmons

Town Building Official

PERMIT

- | | | |
|--|--|--|
| ☐ BUILDING | ☐ ELECTRICAL | ☐ MECHANICAL |
| ☐ PLUMBING | ☐ ROOFING | ☐ POOL/SPA/DECK |
| ☐ DOCK/BOAT LIFT | ☐ DEMOLITION | ☐ FENCE |
| ☒ SCREEN ENCLOSURE | ☐ TEMPORARY STRUCTURE | ☐ GAS |
| ☐ FILL | ☐ HURRICANE SHUTTERS | ☐ RENOVATION |
| ☐ TREE REMOVAL | ☐ STEMWALL | ☐ ADDITION |

INSPECTIONS

- | | | | |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF TIN TAG/METAL | _____ | ROOF-IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | EARLY POWER RELEASE | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |



Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: _____ Permit Number: _____

OWNER/TITLEHOLDER NAME: Chuck Gifford Phone (Day) 221-7961 (Fax) _____

Job Site Address: 103 Henry Sewall Way City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Sewall's Meadow Lot 7 Parcel Number: 133841013000000700

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Remove and Replace pool enclosure

WILL OWNER BE THE CONTRACTOR?:

YES

NO

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 15,000.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: Insurance

CONTRACTOR/Company: Agler Tile & Carpet Phone: 692-0077 Fax: 692-0070

Street: 3631 NW Federal Hwy City: Jensen Beach State: FL Zip: 34857

State Registration Number _____ State Certification Number: CBC 1250637 Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER Do Kim / Cameron Ashley Lic# 49497 Phone Number: 813-882-4619

Street: 5120 W. Clifton St. City: Tampa State: FL Zip: 33634

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: 2033

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Chuck Gifford
State of Florida, County of: Martin
This the 2 day of August, 2005
by Chuck Gifford who is personally
known to me or produced Drivers License
as identification. Derek Reagan

Notary Public

My Commission Expires: _____ Derek Reagan
Commission # DD446989

CONTRACTOR SIGNATURE (required)

K. LeDeene Dodson
On State of Florida, County of: St. Lucie
This the 2 day of August, 2005
by K. LeDeene Dodson who is personally
known to me or produced _____
As identification. Derek Reagan

My Commission Expires: _____ Derek Reagan
Commission # DD446989
Expires June 30, 2009

PERMIT APPLICATIONS DUE 60 DAYS BEFORE APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Bonded Troy P. H. Insurance, Inc. 800-365-7019

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

103 Henry Sewall Way Lot 7 Sewall Meadows

GENERAL DESCRIPTION OF IMPROVEMENT: replace pool enclosure

OWNER: Charles Gifford

ADDRESS: 103 Henry Sewall Way Short Fl 34996

PHONE #: 221-7961 FAX #: _____

INTEREST IN PROPERTY: _____

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Aagle Tile + Carpet

ADDRESS: 3631 NW Federal Hwy Jensen Beach Fl

PHONE #: 692-0077 STATE OF FLORIDA FAX #: 692-0070

MARTIN COUNTY

SURETY COMPANY (IF ANY): _____

ADDRESS: _____ THIS IS TO CERTIFY THAT THE

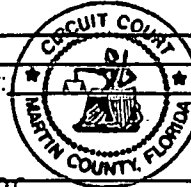
PHONE #: _____ FOREGOING 1 PAGE IS A TRUE & CORRECT COPY OF THE ORIGINAL.

BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: _____

ADDRESS: _____ BY: D. S. O'S D.C. _____

PHONE #: _____ DATE: 8/5/05 FAX #: _____



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____

OF _____ TO RECEIVE A COPY OF THE LIENOR'S

NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

FLDL 6163-150-50-132-0

SIGNATURE OF OWNER _____

SWORN TO AND SUBSCRIBED BEFORE ME THIS 2 DAY OF August 20 05

BY Charles Gifford

PERSONALLY KNOWN _____

OR PRODUCED ID ✓

TYPE OF ID DL

Derek Reagan
NOTARY SIGNATURE



Derek Reagan
Commission # DD446989
Expires June 30, 2009
Bonded Troy Fan - Insurance, Inc. 800-385-7019

ACORD CERTIFICATE OF LIABILITY INSURANCE		OP ID SB AGLEA-1	DATE (MM/DD/YYYY) 07/29/05
PRODUCER Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 772-286-4334 Fax: 772-286-9389		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED Agler Tile and Carpet Inc 1800 SE Village Green Drive Port St Lucie FL 34957		INSURERS AFFORDING COVERAGE	NAIC #
		INSURER A: Hartford Service Center	
		INSURER B: Auto Owners Insurance Co	18988
		INSURER C: Commerce & Industry Ins Co	
		INSURER D:	
		INSURER E:	

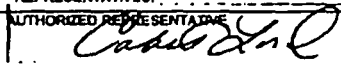
COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
A		GENERAL LIABILITY	21SBADX8857	12/29/04	12/29/05	EACH OCCURRENCE \$ 1,000,000
		☒ COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000
		☐ CLAIMS MADE ☒ OCCUR				MED EXP (Any one person) \$ 10,000
						PERSONAL & ADV INJURY \$ 1,000,000
		GEN'L AGGREGATE LIMIT APPLIES PER				GENERAL AGGREGATE \$ 2,000,000
		☐ POLICY ☒ PROJECT ☐ LOC				PRODUCTS - COMP/OP AGG \$ 2,000,000
B		AUTOMOBILE LIABILITY	95-435-002	04/18/05	04/18/06	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
		☒ ANY AUTO				BODILY INJURY (Per person) \$
		☒ ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
		☒ SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
		☒ HIRED AUTOS				
		☒ NON-OWNED AUTOS				
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
		☐ ANY AUTO				OTHER THAN AUTO ONLY: EA ACC \$
						AGG \$
		EXCESSUMBRELLA LIABILITY				EACH OCCURRENCE \$
		☐ OCCUR ☐ CLAIMS MADE				AGGREGATE \$
						\$
		☐ DEDUCTIBLE				\$
		☐ RETENTION \$				\$
C		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC7695856	07/08/05	07/08/06	☒ WC STATUTORY LIMITS ☐ OTHER
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E L. EACH ACCIDENT \$ 100,000
		If yes, describe under SPECIAL PROVISIONS below				E L. DISEASE - EA EMPLOYEE \$ 100,000
		OTHER				E L. DISEASE - POLICY LIMIT \$ 500,000
A		Property of Others Theft INCLUDED	21SBADX8857	12/29/04	12/29/05	Equipment 114,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER**CANCELLATION**

TOWSC-1 Town of Sewalls Point Laura 1 South Sewalls Point Road Sewalls Point FL 34996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
--	---



STATE OF FLORIDA AC# 1417711
DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION

CBC1250637 05/19/04 030673972

CERTIFIED BUILDING CONTRACTOR
DODSON, KATHERINE LADEENE
AGLER TILE & CARPET, INC

IS CERTIFIED under the provisions of Ch.489 FS.
Expiration date: AUG 31, 2006 L04051902694

OCCUPATIONAL TAX RECEIPT
CITY OF PORT ST. LUCIE
121 SW PORT ST. LUCIE BOULEVARD
PORT ST. LUCIE, FLORIDA 34954-5099

THIS LICENSE VALID WHEN ALL STATE AND LOCAL
REGULATED TRADE LICENSES / COMPETENCY
CARDS ARE VALID FOR THE CURRENT FISCAL YEAR.

TERM: October 1, 2004 to September 30, 2005

THIS IS A RECEIPT FOR TAX PAID AND IS NOT REGULATORY IN NATURE

This license does not warrant or hold that the licensee is competent to perform in the business(es) as licensed, but that the licensee has paid the required fee(s) and provided the necessary documentation (if required) to be licensed in this business.

LICENSE MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS.

VALID AT THIS BUSINESS ADDRESS ONLY.

Business/Lic. 123034/05-1032221

Business Address: 1800 SE VILLAGE GREEN DR

Classification: CONT CONTRACTOR

Issued to: AGLER TILE & CARPET INC
1800 SE VILLAGE GREEN DR

Fee: 115.77

Discount: 0.00

PORT ST LUCIE FL 34952

BUSINESS LICENSE COORDINATOR
3577049 KA BUSINESS COPY

Fees: 132.27 Late Fees: 0.00 Total this payment : 132.27

Contractor: Agler Tile & Carpet Owner: Charles Gifford Date: 8-2-03

Property Address: 103 Henry Sewall Way Street, F1 34996

Basic Design Wind Speed (mph): 140 Exposure (Circle One): "B" or "C"

Wall/Eave Height (ft): 11'6" Roof Height (ft): 13'6" Roof Style (Circle One): Dome/Flat Gable/Hip Half-Mansard Full-Mansard

➤ Select **Primary** Roof Beam and Column Uprights

For flat/dome or half-mansard roofs, select **beam** from Table 2.1 (page 2-3), **column** from Table 2.6 or 2.7 (page 2-71 thru 2-76).

For gabled and full-mansard roofs, select **beam and column** from Table 2.4 or 2.5 (page 2-5 thru 2-69).

Beam Span (ft): 28'6" Spaced @ (ft): 8'4" Primary Roof Beam: 2x 8 SMB Primary Column: 2x5 SMB

➤ Select sidewall columns for all roof types from Table 2.6 or 2.7 (page 2-71 thru 2-76) using the roof beam span column of 10 feet.

Sidewall Column: 2x5 SMB

➤ Select members for roof purlins and roof diagonal bracing from Table 2.2 (page 2-3). Reference roof diagonal bracing plans on page 2-96. Girts (chair rails) and K-bracing (if used) from Table 2.8 or 2.9 (pages 2-77 & 2-78). See details on page 2-103, 2-110 & 2-111.

Purlins Spaced @ (ft) 8 on center maximum Use: 2x 3 patio

Girts (chair rail) Spaced @ (ft) 3 on center maximum Use: 2x 3 patio

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 8/2/03

BUILDING OFFICIAL
Gene Simmons

➤ Select these other members as required.

- ☐ Carrier Beams spans from Table 2.3 (page 2-4). Use details on page 2-101 & 2-102.
- ☐ Super Gutter spans from Table 2.10 & 2.11 (page 2-79 & 2-80). Use details on page 2-116 thru 2-122.
- ☒ Cable Bracing or K-Bracing maximum side wall areas from Table 2.12 & 2.13 (page 2-81) and details on page 2-113 thru 2-115. Mean Roof Height (ft): Maximum Area of Largest Side Wall (sf): 451
- ☐ In lieu of cable or K bracing, use Deco Brace System (See Appendix D).
- ☐ Beam Splice Connection requirements from Table 2.14a & 2.14b with Detail 1 & 2 on page 2-98 & 2-99.
- ☐ Screw fastener connection requirements from Table 2.15 & 2.16 (pages 2-84 thru 2-87). Use with beam and column connection details on pages 2-99 thru 2-109.
- ☐ Cantilever-suspended beam, select spans and members from Table 2.21. Use Detail 23 on page 2-120.

➤ Select Column to Foundation Connection Details

Use Table 2.17 (page 2-88) to select primary column to foundation Detail F1 or F2 (page 2-107 & 2-108).

Use Table 2.18 (page 2-89) to select sidewall column to foundation Detail F3, F1, or F2 (page 2-107 thru 2-109).

Primary Column-Foundation Detail (Circle One): "F1" or "F2"
Sidewall Column-Foundation Detail (Circle One): "F1" or "F2" or "F3"

➤ Select Foundation Type from Table 2.19 and 2.20 (page 2-90). Use Detail 9, 10, or 11 (page 2-104 thru 2-106).

Select Foundation Type (Circle One): "Slab" or "Turn-Down (Monolithic) Slab" or "Perimeter Footing"

Height (in): 4" Width (in): 4" Maximum Roof Span (ft): 28

Screened Enclosure Contractor Checklist



5120 W. Clifton Street
Tampa, FL 33684
Tel: (813) 882-4619
Fax: (813) 880-8979

Date

1 STORY C.B.S.
DWELLING

FINISH FLOOR ELEV. 9.20
HIGHEST ROOF PEAK
19.35' ABOVE FINISH FLOOR
STAIRS - 5' WIDE
KITCHEN 11'
TALL FILLER

POOL EQUIPMENT
8.0'
4.0'

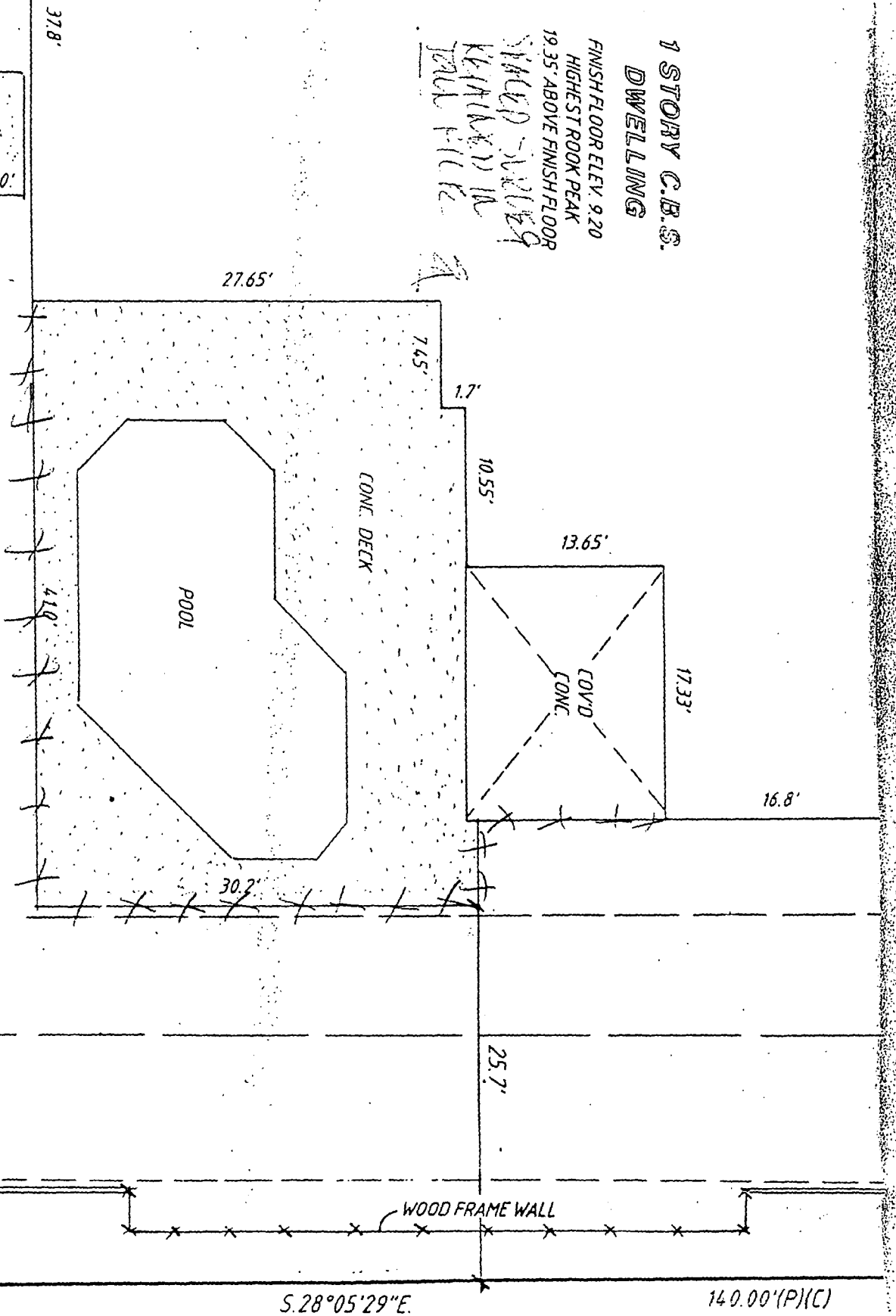
20.0' MIN.
BUILDING SETBACK LINE

COPY

FIELD COPY
103 HEDLEY STREET WAY

PV 5033

7/14/00 TRAIL OF SEWALL'S POINT
REVIEW: [Signature]
KIDG OFFICER



SOUTH SEWALL'S POINT ROAD

50' R/W

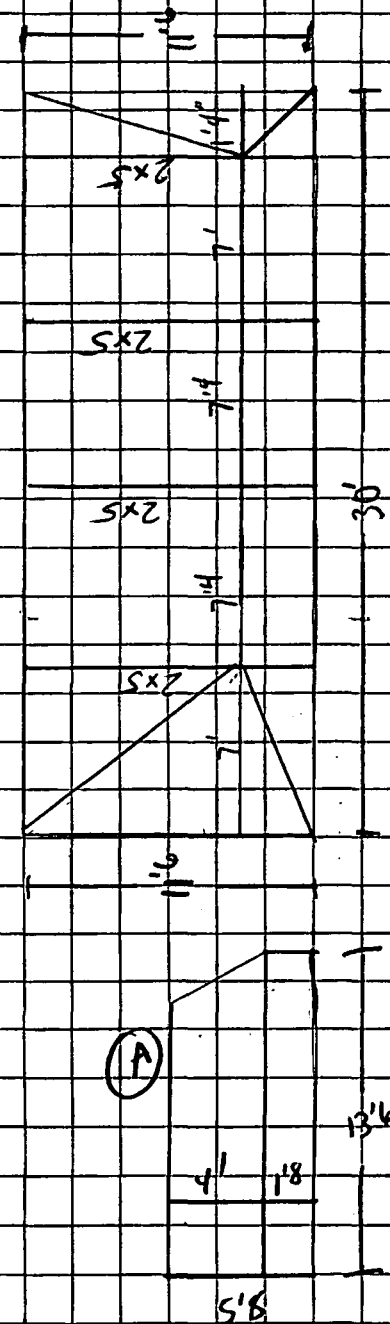
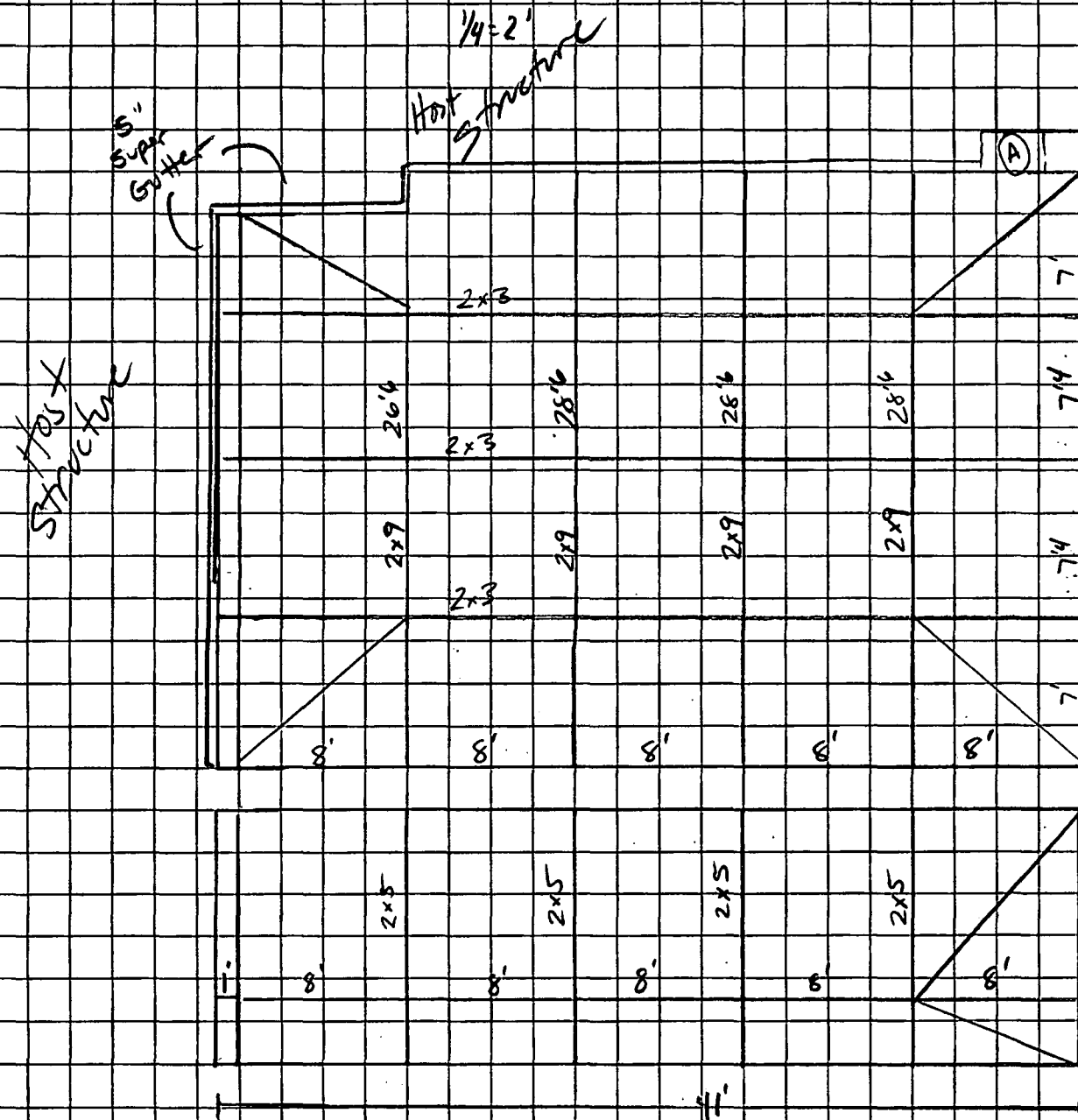
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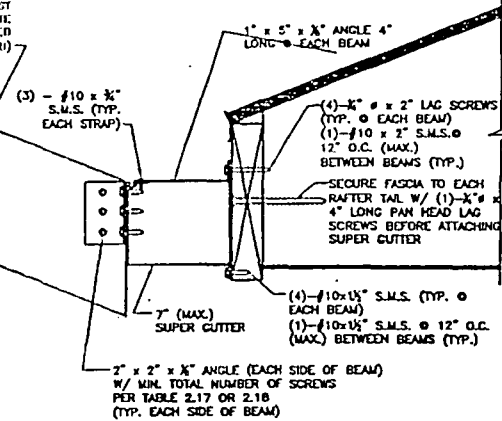
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OFFICE PHG

Gifford

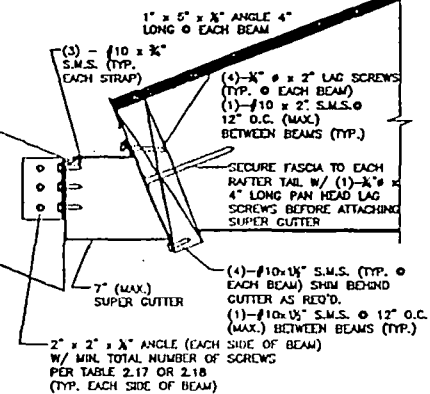


BEAM MAY BE FLAT OR SLOPED.
SEE TABLE 2.1-2.5 (2x8 SMB LARGEST
BEAM ALLOWED WITH THIS DETAIL. SITE
SPECIFIC ENGINEERING DETAIL REQUIRED
FOR BEAMS LARGER THAN 2x8 SMB)



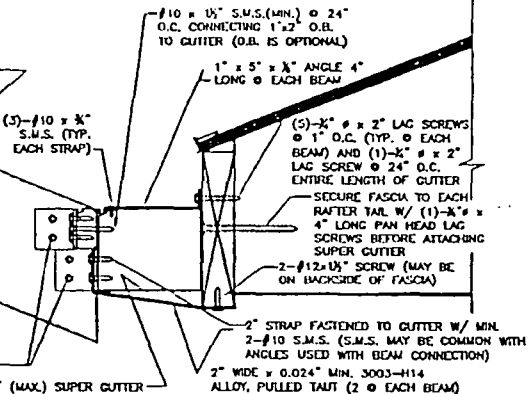
DETAIL 17: TYP. PLUMB FASCIA CONNECTION

BEAM MAY BE FLAT OR SLOPED.
SEE TABLE 2.1-2.5 (2x8 SMB LARGEST
BEAM ALLOWED WITH THIS DETAIL. SITE
SPECIFIC ENGINEERING DETAIL REQUIRED
FOR BEAMS LARGER THAN 2x8 SMB)



DETAIL 18: TYP. SLOPING FASCIA CONNECTION

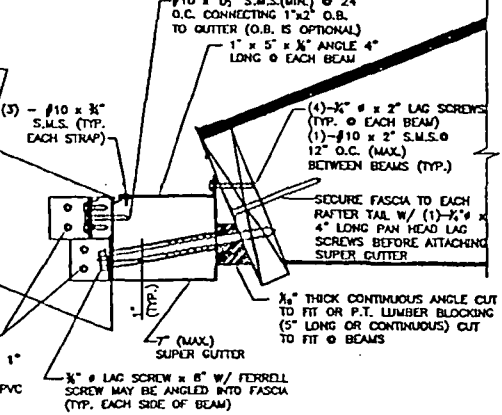
BEAM MAY BE FLAT OR SLOPED.
SEE TABLE 2.1-2.5 (2x8 SMB LARGEST
BEAM ALLOWED WITH THIS DETAIL. SITE
SPECIFIC ENGINEERING DETAIL REQUIRED
FOR BEAMS LARGER THAN 2x8 SMB)



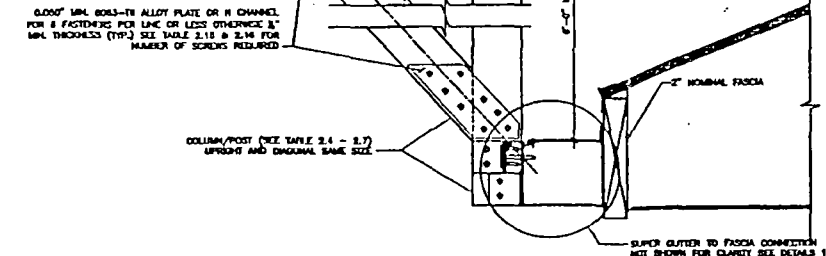
DETAIL 19: OPTIONAL FASCIA HANGER CONNECTION

NOTE: IF FASCIA IS SLOPED, SAME DETAIL MAY BE USED WITH SAME BACKING AS SHOWN IN DETAIL 18

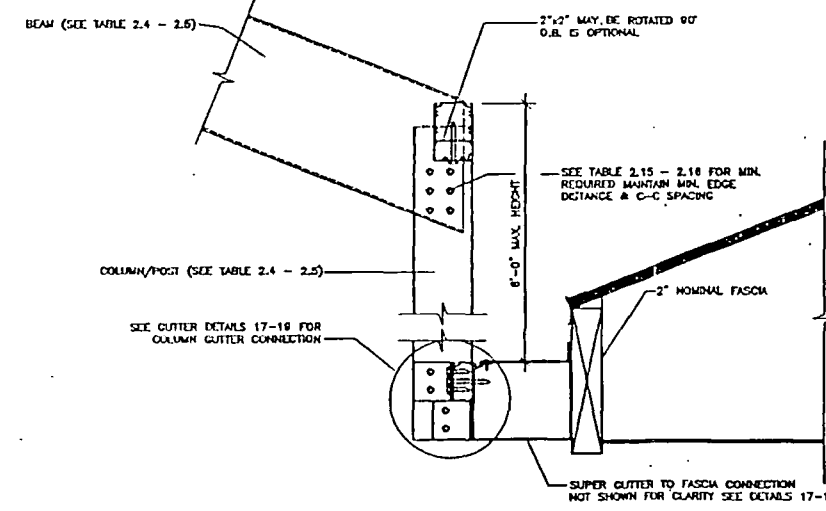
BEAM MAY BE FLAT OR SLOPED.
SEE TABLE 2.1-2.5 (2x8 SMB LARGEST
BEAM ALLOWED WITH THIS DETAIL. SITE
SPECIFIC ENGINEERING DETAIL REQUIRED
FOR BEAMS LARGER THAN 2x8 SMB)



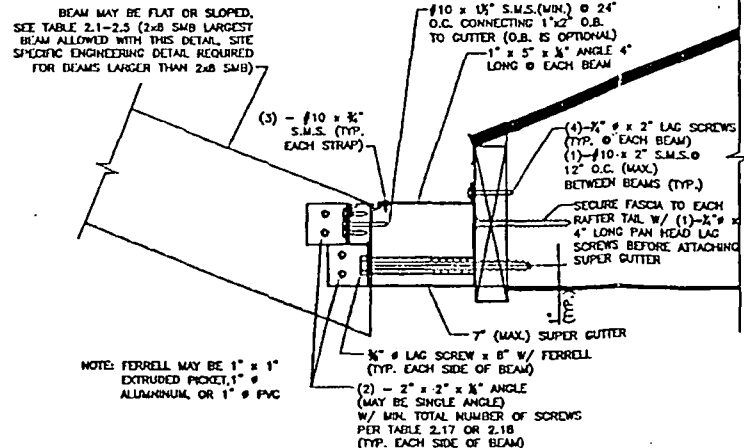
ALTERNATE DETAIL 18: TYP. SLOPING FASCIA CONNECTION



DETAIL 21: TYP. NON-GABLE ROOF TRANSOM (RISER) WALL

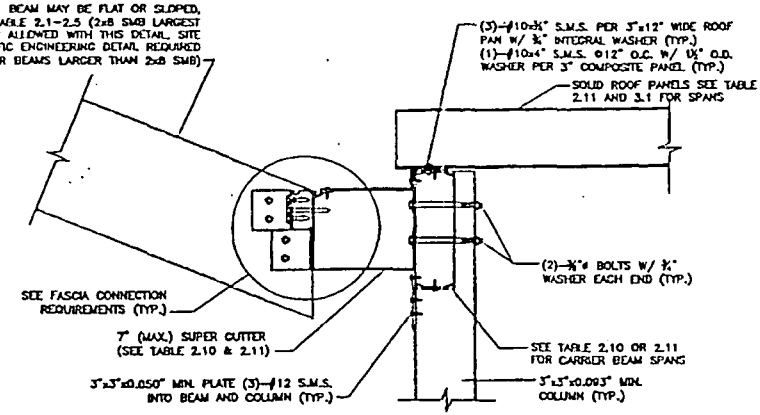


DETAIL 22: GABLE ROOF TRANSOM (RISER) WALL



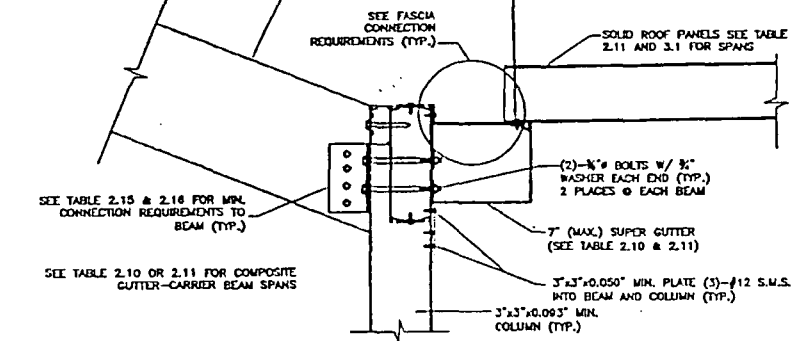
ALTERNATE DETAIL 17: TYP. PLUMB FASCIA CONNECTION

BEAM MAY BE FLAT OR SLOPED.
SEE TABLE 2.1-2.5 (2x8 SMB LARGEST
BEAM ALLOWED WITH THIS DETAIL. SITE
SPECIFIC ENGINEERING DETAIL REQUIRED
FOR BEAMS LARGER THAN 2x8 SMB)

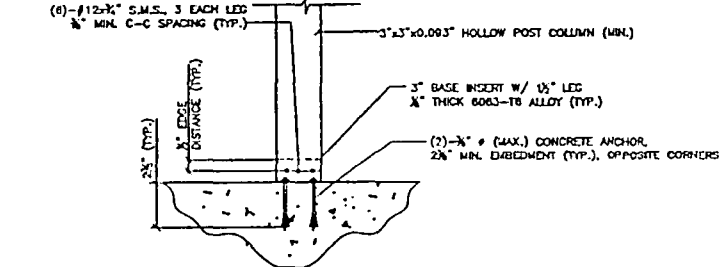


DETAIL 24: TYP. SCREEN ROOF - SOLID ROOF PANEL CONNECTION

BEAM MAY BE FLAT OR SLOPED.
SEE TABLE 2.1-2.5 (2x8 SMB LARGEST
BEAM ALLOWED WITH THIS DETAIL. SITE
SPECIFIC ENGINEERING DETAIL REQUIRED
FOR BEAMS LARGER THAN 2x8 SMB)

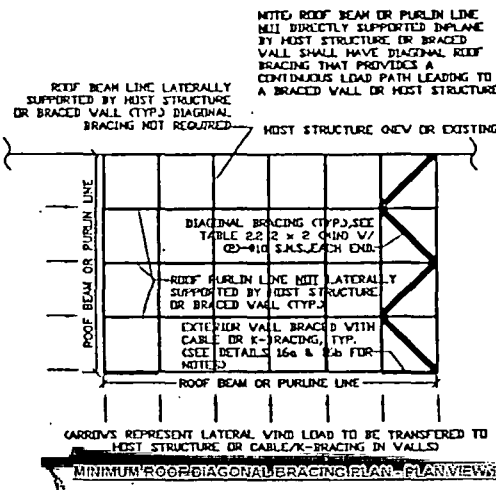


DETAIL 25: ALTERNATE SCREEN ROOF - SOLID ROOF PANEL CONNECTION

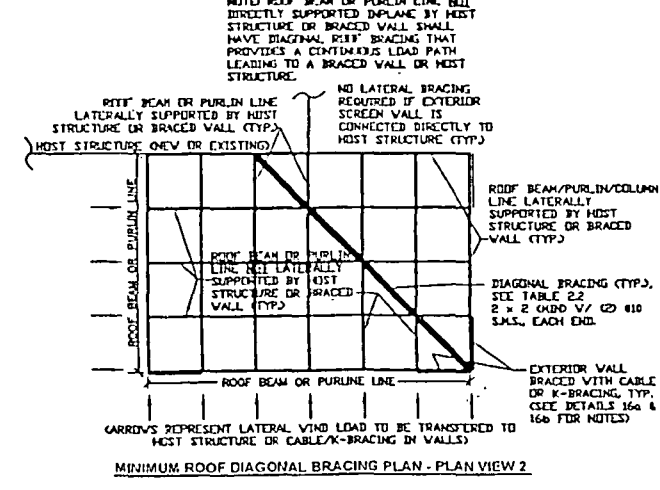


DETAIL 26: TYP. SCREEN ROOF - SOLID ROOF PANEL COLUMN TO FDN. CONNECTION

NOTES:
1. 3/4 inch concrete anchors shall have minimum
ultimate tension capacity of 2200 LBS. AND MINIMUM
ultimate shear capacity of 2800 LBS.



MINIMUM ROOF DIAGONAL BRACING PLAN - PLAN VIEW 1



MINIMUM ROOF DIAGONAL BRACING PLAN - PLAN VIEW 2

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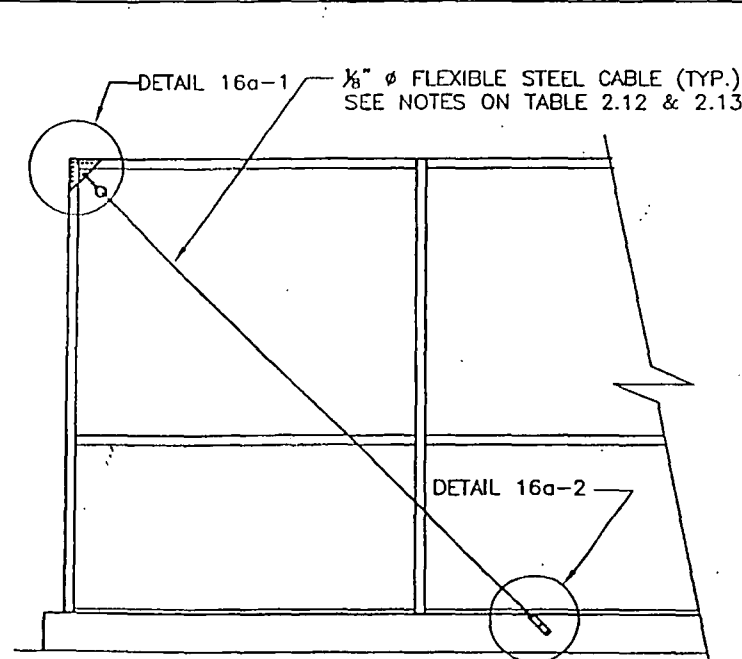
CLIENT: DO YEON KIM, P.E.
PROJECT: FLA. REG. NUMBER 49497
CERTIFICATE OF AUTHORIZATION NO. 9584
Ashley Aluminum, LLC
P.O. Drawer 15398
Tampa, FL 33684

CHAPTER 2
SCREEN ENCLOSURES

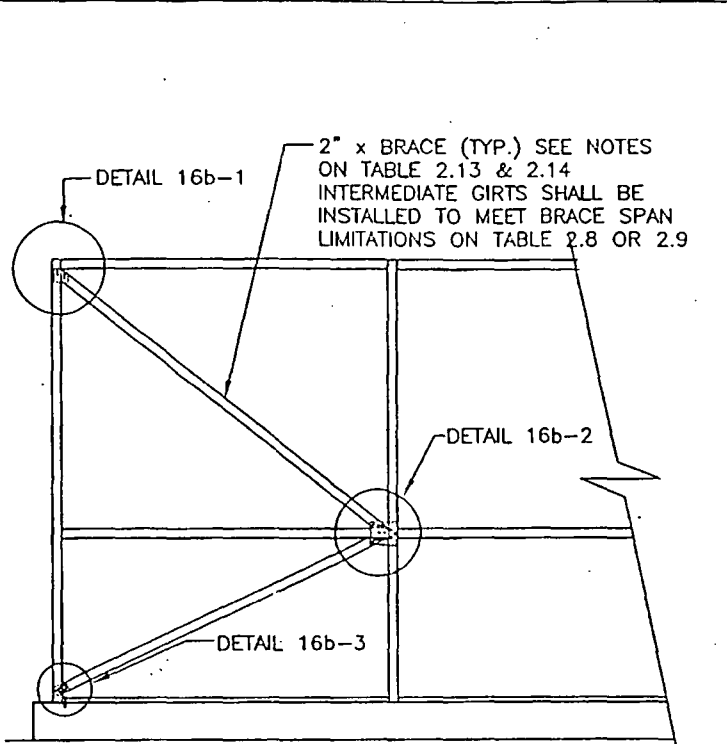
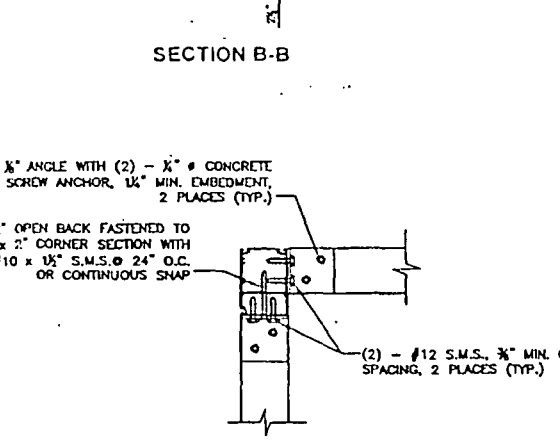
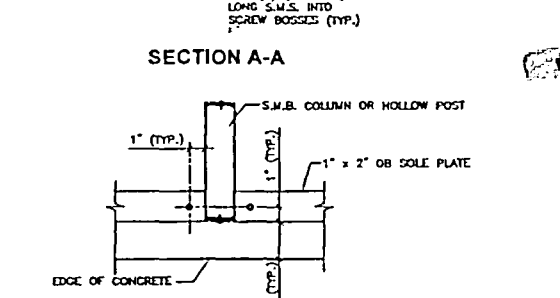
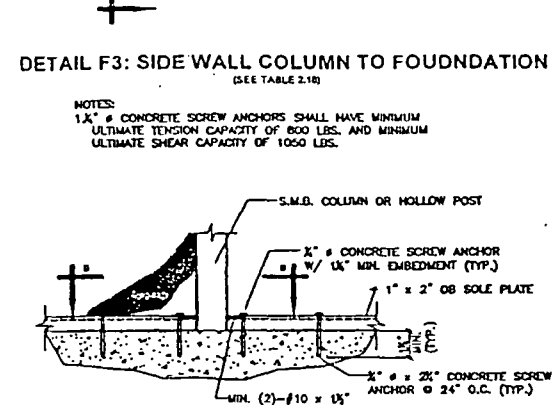
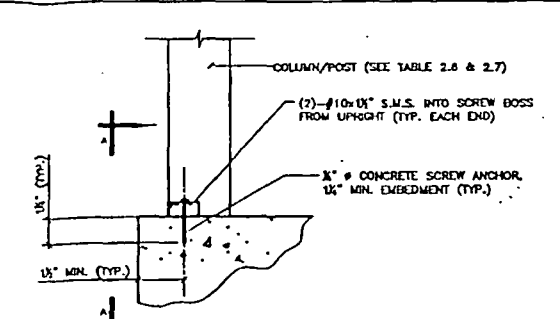
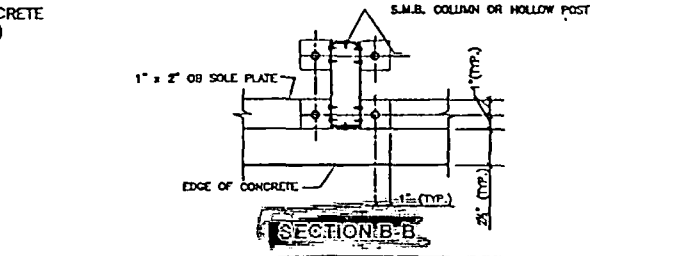
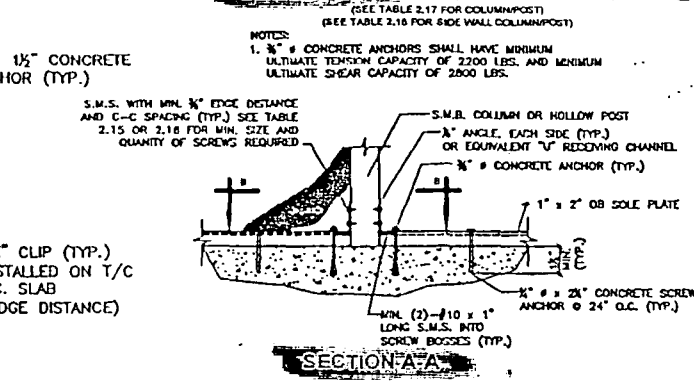
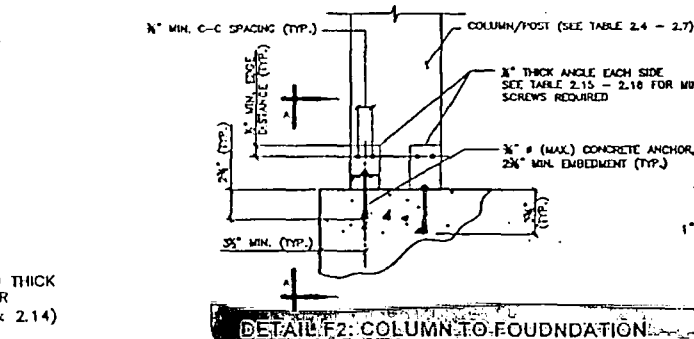
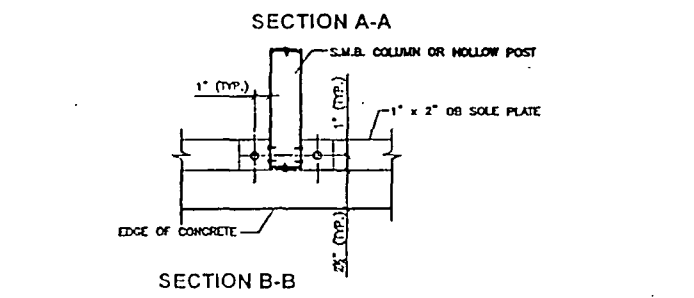
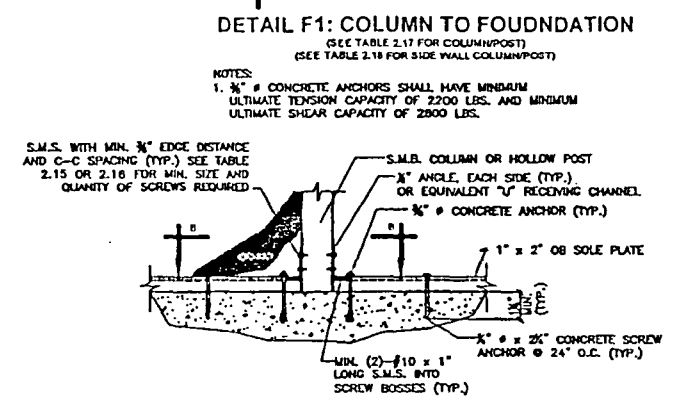
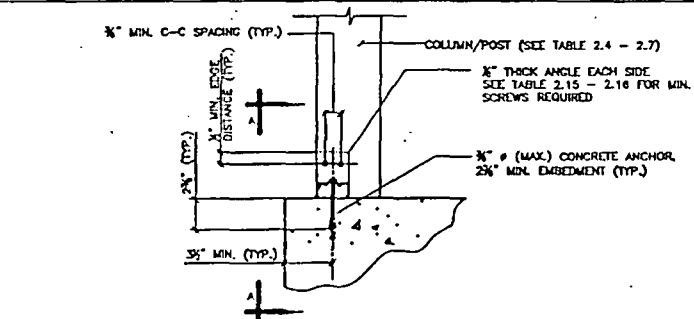
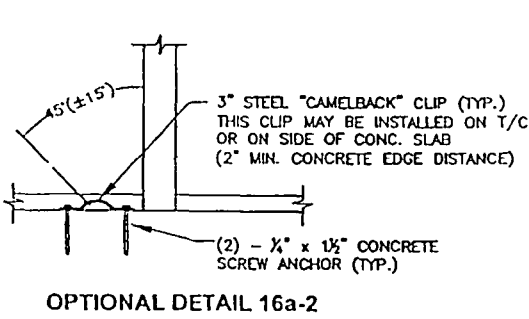
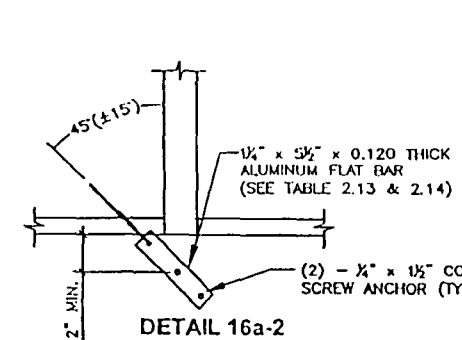
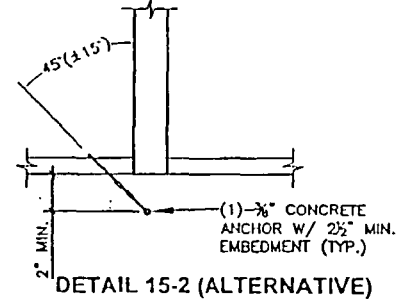
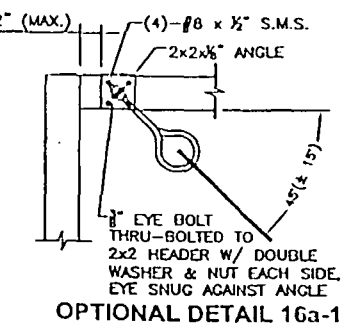
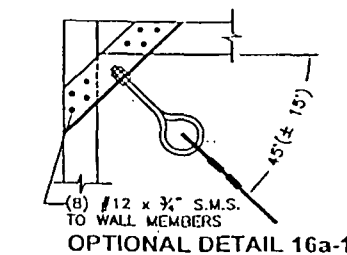
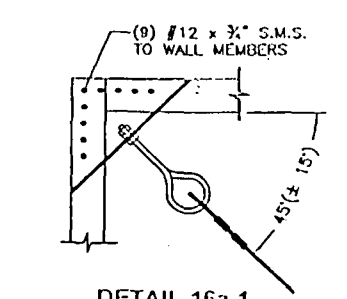
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CHECKED BY: DYK

Rev. _____
Revision _____
Date _____
By _____

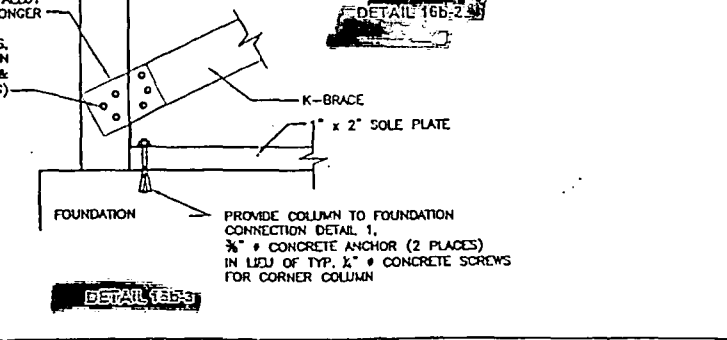
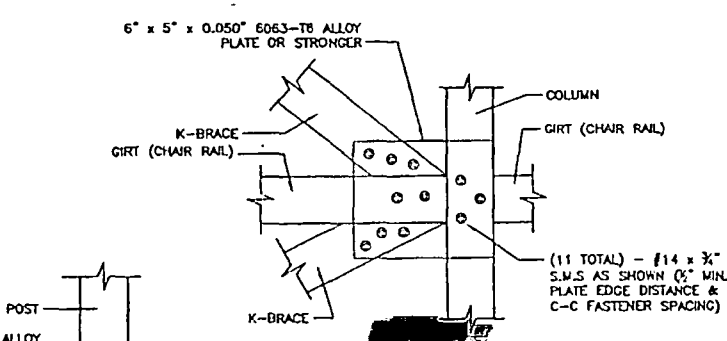
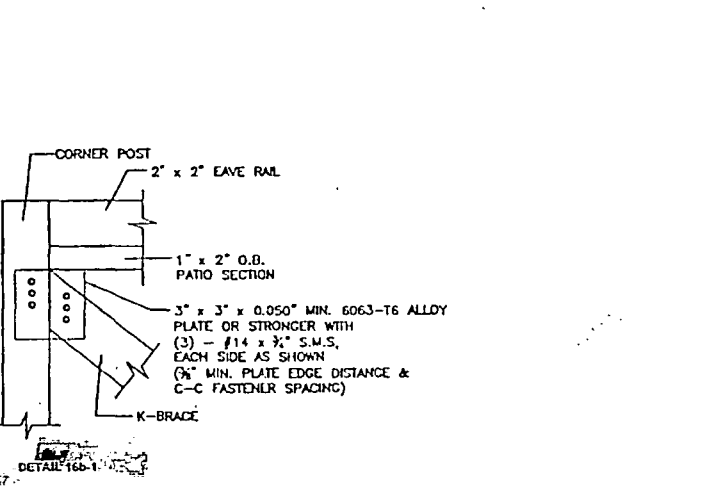
DRAWING NO.: _____
SHEET 5 OF 5



DETAIL 16a: TYPICAL LATERAL CABLE BRACING



DETAIL 16b: TYPICAL LATERAL K-BRACING



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PROJECT:
CHAPTER 2
SCREEN ENCLOSURES

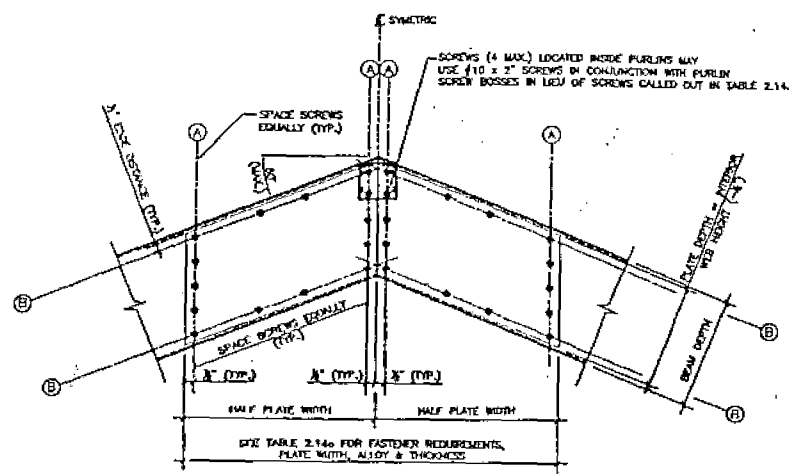
DO YEON KIM, P.E.
FLA. REG. NUMBER 49497

CERTIFICATE OF
AUTHORIZATION NO. 9584
Ashley Aluminum, LLC
P.O. Drawer 15398
Tampa, FL 33684

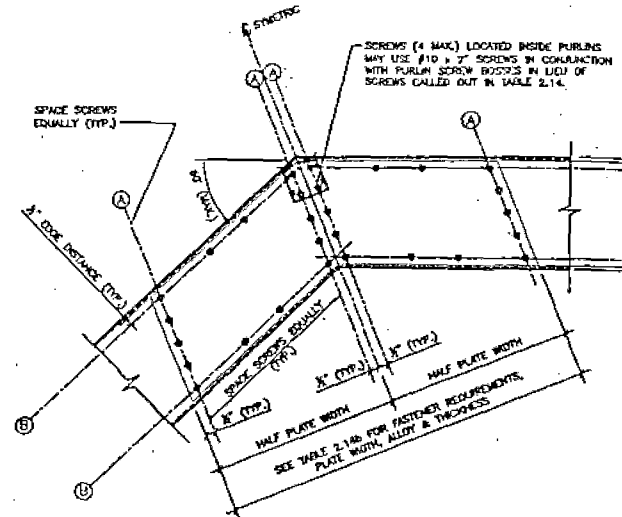
Rev.	Revision	Date	By

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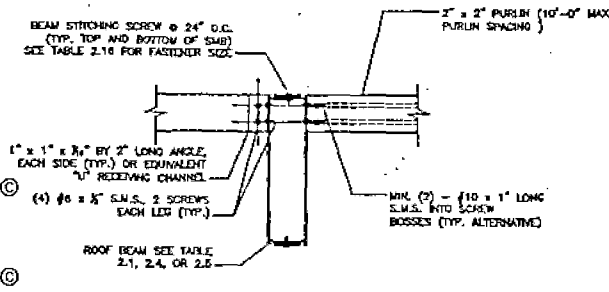
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SHEET 4 OF 5



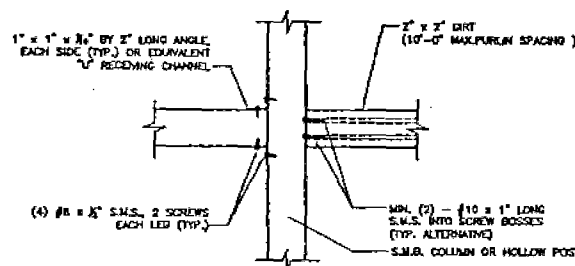
DETAIL 1: TYPICAL GABLE BEAM CONNECTION



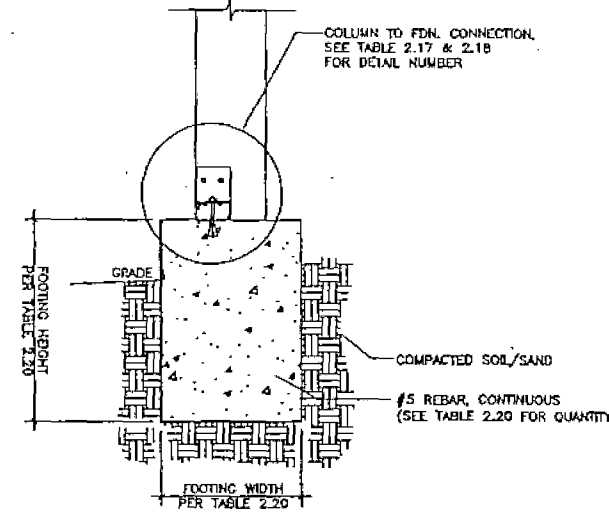
DETAIL 2: TYPICAL MANSARD BEAM CONNECTION



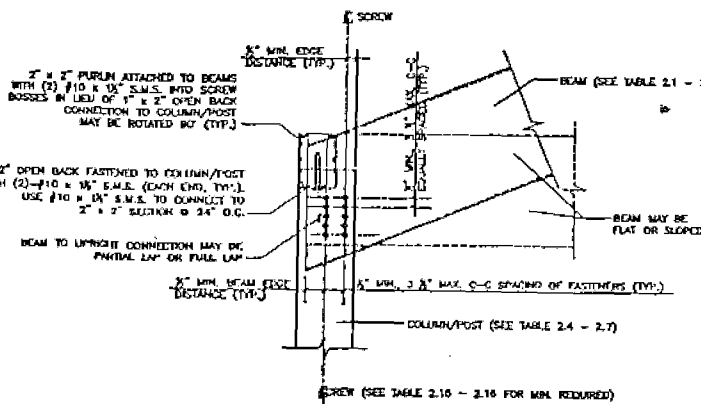
DETAIL 3: TYPICAL PURLIN TO BEAM CONNECTION



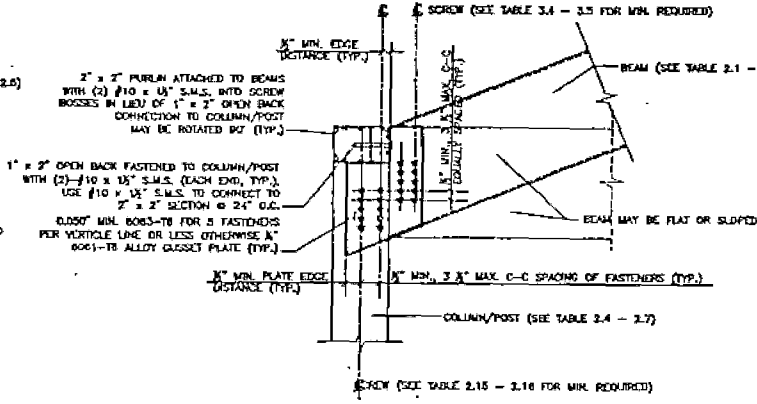
DETAIL 4: TYP. GIRT TO POST CONNECTION



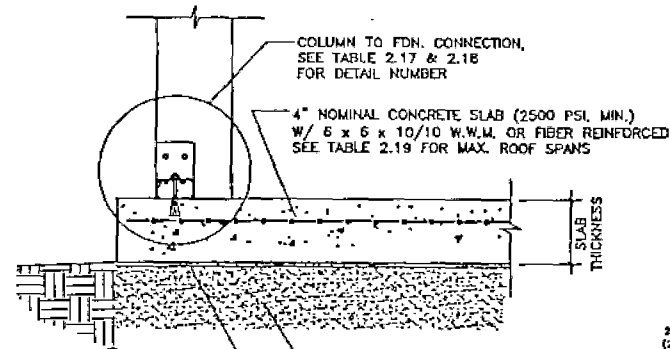
DETAIL 11: TYP. CONTINUOUS PERIMETER FOOTING (SEE TABLE 2.20)



DETAIL 3: TYPICAL BEAM TO COLUMN/POST LAP CONNECTION

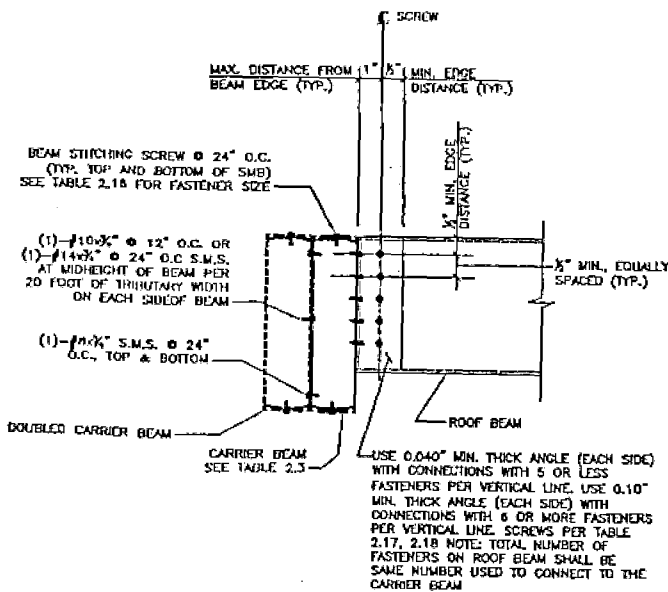


DETAIL 4: TYPICAL BEAM TO COLUMN/POST GUSSET PLATE CONNECTION

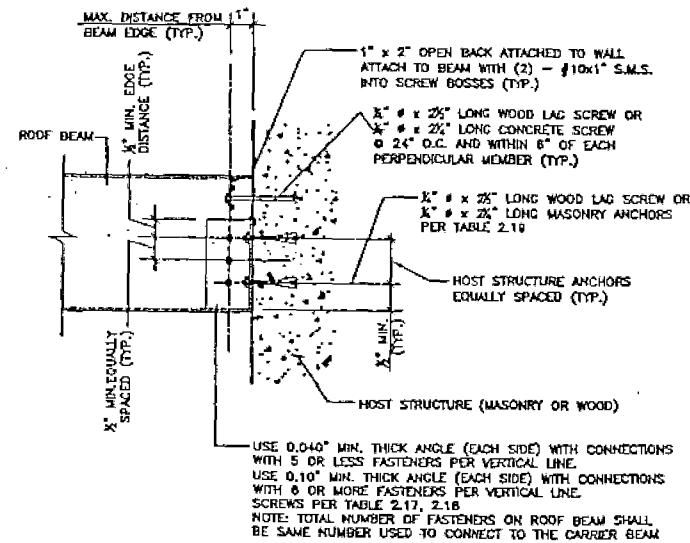


DETAIL 5: TYP. SLAB FOOTING (SEE TABLE 2.19)

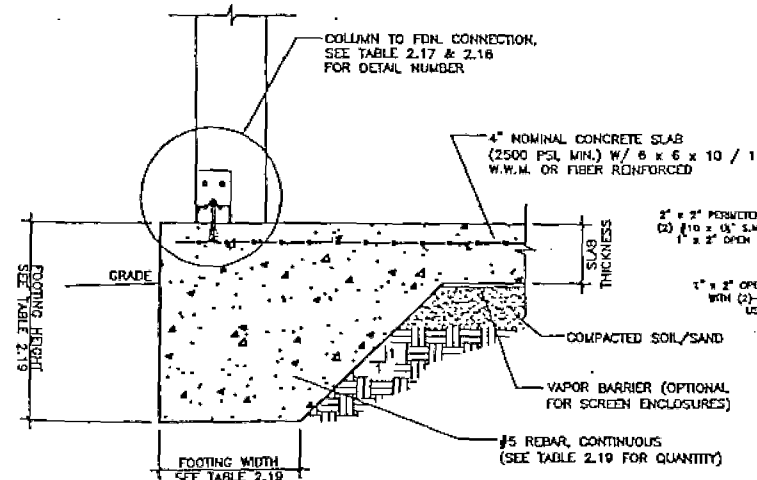
DETAIL 12: TYPICAL SIDEWALL PURLIN CONNECTION



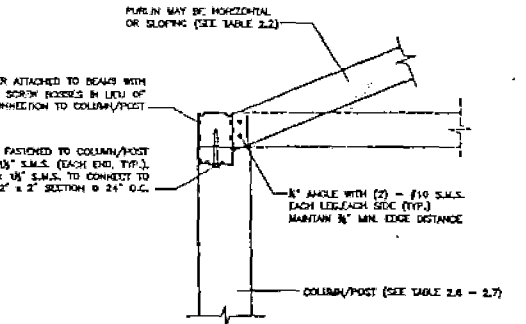
DETAIL 5: TYP. CARRIER BEAM TO BEAM CONNECTION



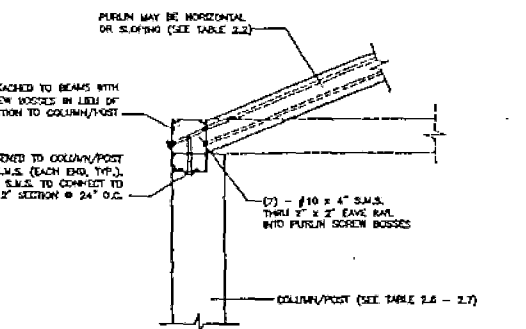
DETAIL 6: TYP. BEAM TO HOST STRUCTURE CONNECTION



DETAIL 10: TYP. TURNDOWN SLAB FOOTING (SEE TABLE 2.19)



DETAIL 13: OPTIONAL SIDE WALL PURLIN CONNECTION



DETAIL 14: OPTIONAL SIDE WALL PURLIN CONNECTION

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DATE: 5/28/03 SCALE: NONE
DRAWN BY: JOW CHECKED BY: DYK

REVISION
DRAWING NO.:
SHEET 3 OF 5

CLIENT:
PROJECT:
CHAPTER 2
SCREEN ENCLOSURES

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
CERTIFICATE OF
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Ashley Aluminum, LLC
P.O. Drawer 15398
Tampa, FL 33684

Table 2.10 Maximum Spans for Super Gutter and SMB Composite Beam for Screen Enclosures One Side/Solid Roof Other Side (feet), Exposure B

Design wind speed up to 130 mph with wind load of 24 psf.

SMB and 5" Super Gutter Composite Beam	1/2 Screen Roof Beam Span									
	6	8	10	12	14	16	18	20	22	24
7" super gutter alone	14.0	13.1	12.4	11.8	11.3	10.8	10.4	10.0	9.7	9.4
2" x 6" x 0.050 x 0.120	15.0	14.1	13.3	12.7	12.1	11.6	11.2	10.8	10.4	10.1
2" x 7" x 0.055 x 0.120	18.3	17.2	16.2	15.4	14.8	14.2	13.6	13.1	12.7	12.3
2" x 8" x 0.072 x 0.224	19.5	18.4	17.4	16.5	15.9	15.1	14.6	14.1	13.6	13.2
2" x 9" x 0.082 x 0.306	21.2	20.0	18.9	18.0	17.2	16.5	15.8	15.3	14.8	14.3
2" x 10" x 0.092 x 0.389	24.8	23.4	22.1	21.0	20.1	19.3	18.5	17.8	17.3	16.8

Design wind speed up to 150 mph with wind load of 32 psf.

SMB and 5" Super Gutter Composite Beam	1/2 Screen Roof Beam Span									
	6	8	10	12	14	16	18	20	22	24
7" super gutter alone	12.7	12.1	11.5	11.0	10.6	10.2	9.9	9.6	9.3	9.0
2" x 6" x 0.050 x 0.120	13.7	13.0	12.4	11.9	11.4	11.0	10.6	10.3	10.0	9.7
2" x 7" x 0.055 x 0.120	16.7	15.6	15.1	14.4	13.9	13.4	12.9	12.5	12.1	11.8
2" x 8" x 0.072 x 0.224	17.8	16.9	16.1	15.4	14.8	14.3	13.8	13.4	13.0	12.6
2" x 9" x 0.082 x 0.306	19.4	18.4	17.5	16.8	16.1	15.5	15.0	14.5	14.1	13.7
2" x 10" x 0.092 x 0.389	22.7	21.5	20.5	19.7	18.9	18.2	17.6	17.0	16.5	16.1

Design wind speed up to 130 mph with wind load of 24 psf.

SMB and 7" Super Gutter Composite Beam	1/2 Screen Roof Beam Span									
	6	8	10	12	14	16	18	20	22	24
7" super gutter alone	14.2	13.3	12.6	12.0	11.5	11.0	10.6	10.2	9.9	9.6
2" x 6" x 0.050 x 0.120	15.2	14.3	13.5	12.9	12.3	11.8	11.4	11.0	10.6	10.3
2" x 7" x 0.055 x 0.120	18.5	17.3	16.4	15.6	14.9	14.3	13.8	13.3	12.8	12.4
2" x 8" x 0.072 x 0.224	19.7	18.5	17.5	16.7	15.9	15.3	14.7	14.2	13.7	13.3
2" x 9" x 0.082 x 0.306	21.4	20.1	19.0	18.1	17.3	16.6	15.9	15.4	14.9	14.4
2" x 10" x 0.092 x 0.389	25.0	23.5	22.2	21.1	20.2	19.4	18.6	18.0	17.4	16.9

Design wind speed up to 150 mph with wind load of 32 psf.

SMB and 7" Super Gutter Composite Beam	1/2 Screen Roof Beam Span									
	6	8	10	12	14	16	18	20	22	24
7" super gutter alone	13.0	12.3	11.7	11.2	10.8	10.4	10.0	9.7	9.4	9.2
2" x 6" x 0.050 x 0.120	13.9	13.2	12.6	12.1	11.6	11.2	10.8	10.4	10.1	9.8
2" x 7" x 0.055 x 0.120	16.8	16.0	15.2	14.6	14.0	13.5	13.0	12.6	12.3	11.9
2" x 8" x 0.072 x 0.224	18.0	17.1	16.3	15.6	15.0	14.4	13.9	13.5	13.1	12.7
2" x 9" x 0.082 x 0.306	19.5	18.5	17.7	16.9	16.2	15.5	15.1	14.6	14.2	13.8
2" x 10" x 0.092 x 0.389	22.8	21.7	20.6	19.8	19.0	18.3	17.7	17.1	16.6	16.1

- Notes:
- Solid roof span of 12 feet is used for maximum span calculations. If solid roof span is greater than 12 feet, for every foot greater than 12 feet, use 1/4 screen roof beam span plus 2 feet values.
 - Screen roof wind loads are 16 psf. Solid roof wind loads are shown above each table.
 - Solid roof portions may be replaced with screen roof portions in part or whole.

Table 2.8 Maximum Spans for Screen Wall Girts or K-Bracing (feet), Exposure B

Design wind speed up to 130 mph with wind load of 25.6 psf.
Maximum spacing of girts = 7 feet o.c.

2" x 7" x 0.044"	8.10 feet
2" x 3" x 0.045"	10.28 feet
2" x 4" x 0.050"	12.84 feet
2" x 5" x 0.057"	17.30 feet

Design wind speed up to 150 mph with wind load of 33.6 psf.
Maximum spacing of girts = 7 feet o.c.

2" x 7" x 0.044"	7.00 feet
2" x 3" x 0.045"	8.57 feet
2" x 4" x 0.050"	11.20 feet
2" x 5" x 0.057"	15.17 feet

Design wind speed up to 130 mph with wind load of 25.6 psf.
Maximum vertical spacing of girts = 10 feet o.c.

2" x 7" x 0.044"	6.60 feet
2" x 3" x 0.045"	8.60 feet
2" x 4" x 0.050"	10.74 feet
2" x 5" x 0.057"	14.54 feet

Design wind speed up to 150 mph with wind load of 33.6 psf.
Maximum vertical spacing of girts = 10 feet o.c.

2" x 7" x 0.044"	5.76 feet
2" x 3" x 0.045"	7.51 feet
2" x 4" x 0.050"	9.37 feet
2" x 5" x 0.057"	12.69 feet

Note:

- Tables based on FBC Table 2002.4 Load Case A L/W=2 (worst case)
Maximum girt spans are indirectly limited to 9 feet since maximum beam-to-beam span tables end at 9 feet o.c.

Table 2.17 Connection Detail # for Column to Foundation and Roof Beam to Host Structure Wall (Combined Stresses from Uplift and Lateral Loads)

All Roofs / Exposure B / Mean Roof Height Up to 15 Feet

Wind Speed	Distance from Beam to Beam							
	3.00	4.00	5.00	6.00	6.50	7.00	8.00	9.00
100	F1	F1	F1	F1	F1	F1	F1	F1
110	F1	F1	F1	F1	F1	F1	F1	F1
120	F1	F1	F1	F1	F1	F1	F1	F1
130	F1	F1	F1	F1	F1	F1	F1	F2
140	F1	F1	F1	F1	F1	F1	F1	F2
150	F1	F1	F1	F1	F1	F1	F1	F2

All Roofs / Exposure B / Mean Roof Height Greater Than 15 Feet and up to 30 Feet

Wind Speed	Distance from Beam to Beam							
	3.00	4.00	5.00	6.00	6.50	7.00	8.00	9.00
100	F1	F1	F1	F1	F1	F1	F2	F2
110	F1	F1	F1	F1	F1	F2	F2	F2
120	F1	F1	F1	F2	F2	F2	F2	F2
130	F1	F1	F1	F2	F2	F2	F2	F2
140	F1	F1	F2	F2	F2	F2	F2	F2
150	F1	F1	F2	F2	F2	F2	F2	F2

All Roofs / Exposure C / Mean Roof Height Up to 15 Feet

Wind Speed	Distance from Beam to Beam							
	3.00	4.00	5.00	6.00	6.50	7.00	8.00	9.00
100	F1	F1	F1	F1	F1	F1	F1	F1
110	F1	F1	F1	F1	F1	F1	F1	F1
120	F1	F1	F1	F1	F1	F1	F1	F1
130	F1	F1	F1	F1	F1	F1	F1	F2
140	F1	F1	F1	F1	F2	F2	F2	F2
150	F1	F1	F1	F1	F2	F2	F2	F2

All Roofs / Exposure C / Mean Roof Height Greater Than 15 Feet and up to 30 Feet

Wind Speed	Distance from Beam to Beam							
	3.00	4.00	5.00	6.00	6.50	7.00	8.00	9.00
100	F1	F1	F1	F1	F2	F2	F2	F2
110	F1	F1	F1	F2	F2	F2	F2	F2
120	F1	F1	F2	F2	F2	F2	F2	NA
130	F1	F1	F2	F2	F2	2	NA	NA
140	F1	F2	F2	F2	F2	NA	NA	NA
150	F1	F2	F2	F2	NA	NA	NA	NA

Table 2.18 Connection Detail # for Secondary Column to Foundation (Side Wall)

All Roofs / Exposure B / Mean Roof Height Up to 15 Feet

Wind Speed	Distance from Beam to Beam							
	3.00	4.00	5.00	6.00	6.50	7.00	8.00	9.00
100	F3	F3	F3	F3	F3	F3	F3	F1
110	F3	F3	F3	F3	F3	F3	F3	F1
120	F3	F3	F3	F3	F3	F3	F1	F1
130	F3	F3	F3	F3	F3	F1	F1	F1
140	F3	F3	F3	F1	F1	F1	F1	F1
150	F3	F3	F3	F1	F1	F1	F1	F1

All Roofs / Exposure B / Mean Roof Height Greater Than 15 Feet and up to 30 Feet

Wind Speed	Distance from Beam to Beam							
	3.00	4.00	5.00	6.00	6.50	7.00	8.00	9.00
100	F3	F3	F3	F1	F1	F1	F1	F1
110	F3	F3	F3	F1	F1	F1	F1	F1
120	F3	F3	F1	F1	F1	F1	F1	F2
130	F3	F1	F1	F1	F1	F1	F2	F2
140	F3	F1	F1	F1	F1	F1	F2	F2
150	F1	F1	F1	F1	F1	F1	F2	F2

All Roofs / Exposure C / Mean Roof Height Up to 15 Feet

Wind Speed	Distance from Beam to Beam							
	3.00	4.00	5.00	6.00	6.50	7.00	8.00	9.00
100	F3	F3	F3	F3	F3	F3	F3	F1
110	F3	F3	F3	F3	F3	F3	F1	F1
120	F3	F3	F3	F3	F1	F1	F1	F1
130	F3	F3	F3	F1	F1	F1	F1	F1
140	F3	F3	F3	F1	F1	F1	F1	F1
150	F3	F3	F1	F1	F1	F1	F1	F1

All Roofs / Exposure C / Mean Roof Height Greater Than 15 Feet and up to 30 Feet

Wind Speed	Distance from Beam to Beam							
	3.00	4.00	5.00	6.00	6.50	7.00	8.00	9.00
100	F3	F3	F1	F1	F1	F1	F1	F1
110	F3	F1	F1	F1	F1	F1	F2	F2
120	F1	F1	F1	F1	F1	2	F2	F2
130	F1	F1	F1	F2	F2	F2	F2	F2
140	F1	F1	F1	F2	F2	F2	F2	NA
150	F1	F1	F2	F2	F2	F2	NA	NA

Table 2.15 Minimum Connection Screw Requirements (each side of connection & each side of beam/column) for Roof Beams, Uprights, and Carrier Beams, Exposure B (Combined Stresses from Uplift and Lateral Loads)

Note: To determine the number of lag screws or masonry screws required to fasten beam to host structure, take half the value in the table and round up to the nearest number.

(a) # 10 Screws

All Roofs / Exposure B / Up to 130 mph

Roof Beam	Distance from Beam to Beam							
	3.00	4.00	5.00	6.00	6.50	7.00	8.00	9.00
Self-Mating Beams (SMB)								
2" x 4" x 0.046 x 0.100	3	3	4	4	5	5	5	6
2" x 5" x 0.050 x 0.116	3	4	4	5	5	5	5	6
2" x 6" x 0.050 x 0.120	4	4	4	5	5	5	5	6
2" x 7" x 0.055 x 0.120	4	4	4	5	5	5	5	6
2" x 8" x 0.072 x 0.224	4	4	5	5	6	6	7	7
2" x 9" x 0.082 x 0.224	4	4	5	6	6	6	7	7
2" x 9" x 0.082 x 0.306	4	5	5	6	6	6	7	8
2" x 10" x 0.092 x 0.389	5	5	6	6	7	7	8	8

(b) # 10 Screws

All Roofs / Exposure B / Up to 150 mph

Roof Beam	Distance from Beam to Beam							
	3.00	4.00	5.00	6.00	6.50	7.00	8.00	9.00
Self-Mating Beams (SMB)								
2" x 4" x 0.046 x 0.100	4	4	4	5	5	6	6	7
2" x 5" x 0.050 x 0.116	4	4	5	5	6	6	6	7
2" x 6" x 0.050 x 0.120	4	4	5	5	6	6	7	7
2" x 7" x 0.055 x 0.120	4	4	5	6	6	6	7	8
2" x 8" x 0.072 x 0.224	5	5	6	6	7	7	8	8
2" x 9" x 0.072 x 0.224	5	5	6	6	7	7	8	8
2" x 9" x 0.082 x 0.306	5	5	6	7	7	7	8	9
2" x 10" x 0.092 x 0.389	5	5	6	7	7	8	8	9

(c) # 12 Screws

All Roofs / Exposure B / Up to 130 mph

Roof Beam	Distance from Beam to Beam							
	3.00	4.00	5.00	6.00	6.50	7.00	8.00	9.00
Self-Mating Beams (SMB)								
2" x 4" x 0.046 x 0.100	3	3	3	4	4	4	5	5
2" x 5" x 0.050 x 0.116	3	3	4	4	4	4	5	5
2" x 6" x 0.050 x 0.120	3	3	4	4	4	4	5	5
2" x 7" x 0.055 x 0.120	3	3	4	4	4	5	5	5
2" x 8" x 0.072 x 0.224	3	4	4	4	5	5	5	6
2" x 9" x 0.072 x 0.224	3	4	4	5	5	5	6	6
2" x 9" x 0.082 x 0.306	3	4	4	5	5	5	6	6
2" x 10" x 0.092 x 0.389	3	4	5	5	5	6	6	7

General Notes and Specifications:

- Screen density shall be a maximum of 20 x 20 mesh.
- Actual wall thickness of extruded aluminum members shall not be less than 0.040 inch. Snap patio extrusions less than 4" x 4" can be assumed to have similar material strength properties as equivalent non-snap extrusions.
- The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good visible condition to hold the proposed addition. Contractor shall exercise due diligence with questionable structures.
- If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.
- The structures designed using this section shall be limited to maximum spans and upright heights as shown. Structures with beam spans larger than 50 feet are strongly encouraged to have site-specific engineering.
- Spans are applicable for enclosures with mean roof heights equal to or less than 30 feet, unless shown otherwise. For enclosures with greater heights, contractors shall retain the services of a qualified structural engineer.
- Screws that penetrate the water channel of the super gutter shall have ends clipped off for safety of cleaning the gutter and the heads of screws through the gutter into the fascia shall be caulked.
- When using self-drilling (TEK) screws in lieu of S.M.S., longer screws must be used to compensate for drill head so that the required embedment length of threaded parts of the screw are in positive contact with the host or connected material. For the purposes of structural calculations, TEK screws and SMS are used interchangeably throughout this Manual.
- Connections using screw bosses shall have minimum (2) #10x1" per connection unless shown otherwise.
- Fasten all 1"x2" O.B. attached to host structure with 1/2"x3" long lag screws into wood host and 1/2"x2 1/2" long concrete screws into concrete/masonry host @ 24" o.c. and within 6" at each perpendicular member.
- All self-mating beams (SMB) shall be stitched with screws @ 24" o.c. top and bottom per Table 2.16.
- Spans may be interpolated between values but not extrapolated outside values. The values shown for the smallest Beam to Beam spacing may be used for lesser Beam to Beam spacing values.
- Every panel of screen mesh shall be fastened securely in place with spline. Each panel shall be fastened at all sides, independent of surrounding panels. This requirement shall include purlins and chair/kickplate rails. Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.
- Wind loads determined by ASCE 7 Section 6.6 Method 3 - Wind Tunnel Procedure. The wind tunnel procedure is the basis of FBC Table 2002.4 - Design Wind Pressures for Aluminum Screen Enclosure Framing. Wind pressures from Table 2002.4 are subject to limitations and applicability as noted in Table 2002.4 and the research paper "Wind Loads on Screen Enclosures" sponsored by the AAF.
- For Exposure C values, multiply Exposure B values by 0.90 for tables that do not list Exposure C. For exact Exposure C values, tables from the LRFD Aluminum Construction Design Guide may be used supplemental information with these drawings.
- Unless otherwise shown, screws shall have minimum edge distance and center to center distances as shown in this table.

Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#8	0.156	1/4"	1 1/8"
#10	0.191	3/8"	1 3/8"
#12	0.219	1/2"	1 5/8"
#14 (1 1/4")	0.250	5/8"	2 1/8"

Table 2.1 Maximum Spans for Primary Screen Roof Beams for Roof Screen Enclosures (feet), (Combined Axial and Bending Stresses)

Table applies to Exposure B & C and eave heights up to 15 feet.
Design Wind Speed (mph) up to 150 mph.

Beams	Distance from Beam to Beam							
	3.00	4.00	5.00	6.00	6.50	7.00	8.00	9.00
Hollow Sections								
2" x 2" x 0.045 x 0.045 Hollow	8.00	6.85	6.09	5.54	5.31	5.11	4.77	4.48
2" x 3" x 0.045 x 0.045 Hollow	10.76	9.28	8.28	7.53	7.23	6.96	6.49	6.08
2" x 4" x 0.050 x 0.050 Hollow	13.76	11.88	10.60	9.66	9.27	8.93	8.31	7.79
2" x 5" x 0.062 x 0.062 Hollow	19.23	16.63	14.86	13.55	13.02	12.54	11.72	11.05
Self-Mating Beams (SMB)								
2" x 4" x 0.046 x 0.100	17.37	15.03	13.43	12.25	11.77	11.33	10.60	9.98
2" x 5" x 0.050 x 0.116	21.09	18.25	16.31	14.88	14.29	13.76	12.87	12.12
2" x 6" x 0.050 x 0.120	24.87	21.52	19.23	17.54	16.84	16.22	15.17	14.29
2" x 7" x 0.055 x 0.120	27.78	24.03	21.47	19.59	18.81	18.12	16.94	15.96
2" x 8" x 0.072 x 0.224	36.24	31.35	28.01	25.55	24.53	23.63	22.09	20.81
2" x 9" x 0.072 x 0.224	39.41	34.09	30.46	27.78	26.68	25.70	24.02	22.63
2" x 9" x 0.082 x 0.306	42.99	37.71	33.69	30.73	29.51	28.42	26.56	25.03
2" x 10" x 0.092 x 0.389	50.32	45.27	40.45	36.88	35.42	34.12	31.88	30.04

Table 2.2 Maximum Spans for Purlins or Diagonal Bracing for Screen Roofs (feet)

Design Wind Speed (mph) up to 150 mph.
Table applies to Exposure B & C and eave heights up to 15 feet.
Maximum spacing of purlins = 7 feet o.c.

2" x 2" x 0.044"	10.0 feet
2" x 3" x 0.045"	13.0 feet
2" x 4" x 0.050"	16.2 feet

Design Wind Speed (mph) up to 150 mph.
Table applies to Exposure B & C and eave heights up to 15 feet.
Maximum spacing of purlins = 10 feet o.c.

2" x 2" x 0.044"	8.0 feet
2" x 3" x 0.045"	10.4 feet
2" x 4" x 0.050"	13.0 feet

Note: Maximum purlin spans are indirectly limited to 9 feet since maximum beam-to-beam span tables end at 9 feet o.c.

Table 2.3 Maximum Spans for Carrier Beams (screen roof only)

Table applies for Beam spacing (lateral support) of 10 feet or less.
Table applies to Exposure B & C and heights up to 15 feet.
Design Wind Speed (mph) up to 150 mph.

Beams	Tributary Width															
	6.00	8.00	10.00	12.00	14.00	16.00	18.00	20.00	22.00	24.00	26.00	28.00	30.00	32.00	34.00	36.00
Self-Mating Beams (SMB)																
2" x 4" x 0.046 x 0.100	12.04	10.61	9.49	8.66	8.01	7.49	7.06	6.70	6.39	6.11	5.87	5.66	5.47	5.30	5.14	4.99
2" x 5" x 0.050 x 0.116	14.78	12.80	11.44	10.44	9.66	9.03	8.51	8.07	7.69	7.36	7.06	6.82	6.61	6.43	6.26	6.10
2" x 6" x 0.050 x 0.120	17.52	15.19	13.58	12.40	11.47	10.73	10.11	9.59	9.14	8.75	8.40	8.11	7.83	7.58	7.36	7.15
2" x 7" x 0.055 x 0.120	19.60	16.97	15.17	13.85	12.81	11.98	11.29	10.71	10.21	9.77	9.38	9.04	8.74	8.48	8.25	8.02
2" x 8" x 0.072 x 0.224	24.79	22.13	19.79	18.06	16.71	15.63	14.73	13.97	13.31	12.74	12.24	11.80	11.41	11.06	10.74	10.44
2" x 9" x 0.072 x 0.224	27.27	24.07	21.52	19.63	18.17	16.99	16.01	15.19	14.47	13.85	13.30	12.84	12.40	12.01	11.65	11.32
2" x 9" x 0.082 x 0.306	29.17	26.51	23.80	21.72	20.10	18.79	17.71	16.79	16.01	15.32	14.71	14.19	13.71	13.27	12.88	12.52
2" x 10" x 0.092 x 0.389	34.15	31.03	28.57	26.07	24.12	22.56	21.26	20.16	19.21	18.39	17.66	17.05	16.47	15.95	15.47	15.04

Note:
1. Maximum spans for doubled carrier beams may use twice the spans shown on this table provided they are connected per attachment Detail 5 on page 2-101.
2. Tributary beams shall be smaller or equal in depth to the carrier beam. Connections where tributary beams are larger in depth than the carrier beam shall have site-specific engineering to verify connection adequacy.

Table 2.14a Full Moment Splice Connections: Flat/Dome and Gable Roof Beams (To be used with Detail 1)

Beam Size	Beam Stitching Screw @ 24" o.c.	Gusset Plate Width		Minimum Number of Screws per Each Half of Each Side of Gusset Plate						Minimum Gusset Plate Thickness
				#12 x 1/2" Screws			#14 x 1/2" Screws			
		#12 x 1/2" Screws	#14 x 1/2" Screws	line A	line B	Total/Group x 4 = Total	line A	line B	Total/Group x 4 = Total	
2" x 4" x 0.046 x 0.100	#8 x 1/2"	16"	12"	4	3	12 x 4 = 48	4	2	8 x 4 = 32	1/8"
2" x 5" x 0.050 x 0.116	#8 x 1/2"	16"	16"	4	4	12 x 4 = 48	4	2	8 x 4 = 32	1/8"
2" x 6" x 0.050 x 0.120	#10 x 1/2"	16"	16"	5	6	18 x 4 = 72	4	4	12 x 4 = 48	1/8"
2" x 7" x 0.055 x 0.120	#10 x 1/2"	16"	16"	6	7	22 x 4 = 88	5	5	16 x 4 = 64	1/8"
2" x 8" x 0.072 x 0.224	#12 x 1/2"	20"	20"	7	7	24 x 4 = 96	6	6	20 x 4 = 80	1/8"
2" x 9" x 0.072 x 0.224	#12 x 1/2"	20"	20"	8	8	28 x 4 = 112	6	7	22 x 4 = 88	1/8"
2" x 9" x 0.082 x 0.306	#14 x 1/2"	20"	20"	9	9	32 x 4 = 128	7	7	24 x 4 = 96	1/8"
2" x 10" x 0.092 x 0.389	#14 x 1/2"	20"	20"	10	10	36 x 4 = 144	8	8	28 x 4 = 112	3/16"

* Total number of screws for entire connection. Includes both sides of beam.

Table 2.14b Mansard Beam Moment Splice Connections (To be used with Detail 2)

Beam Size	Beam Sitching Screw @ 24" o.c.	Gusset Plate Width	Minimum Number of Screws per Each Half of Each Side of Gusset Plate						Minimum Gusset Plate Thickness	
			#12 x 1/2" Screws			#14 x 1/2" Screws				
			line A	line B	Total/Group x 4 = Total	line A	line B	Total/Group x 4 = Total		
2" x 4" x 0.046 x 0.100	#8 x 1/2"	12"	12"	3	4	10 x 4 = 40	3	2	6 x 4 = 24	1/8"
2" x 5" x 0.050 x 0.116	#8 x 1/2"	14"	14"	4	4	12 x 4 = 48	3	3	8 x 4 = 32	1/8"
2" x 6" x 0.050 x 0.120	#10 x 1/2"	14"	14"	5	5	16 x 4 = 64	4	3	10 x 4 = 40	1/8"
2" x 7" x 0.055 x 0.120	#10 x 1/2"	16"	16"	5	6	18 x 4 = 72	5	4	14 x 4 = 56	1/8"
2" x 8" x 0.072 x 0.224	#12 x 1/2"	16"	16"	6	7	22 x 4 = 88	5	5	16 x 4 = 64	1/8"
2" x 9" x 0.072 x 0.224	#12 x 1/2"	18"	18"	6	7	26 x 4 = 104	5	6	18 x 4 = 72	1/8"
2" x 9" x 0.082 x 0.306	#14 x 1/2"	18"	18"	8	8	28 x 4 = 112	6	7	22 x 4 = 88	1/8"
2" x 10" x 0.092 x 0.389	#14 x 1/2"	18"	18"	9	10	34 x 4 = 136	7	7	24 x 4 = 96	1/8"

* Total number of screws for entire connection. Includes both sides of beam.

Table 2.13 Maximum Area of Side Wall for Cable Bracing (each pair) or K-Bracing (each pair)

Mean Roof Height (ft)	Exposure Category B, ft²					
	100	110	120	130	140	150
<15	343	289	239	203	177	152
20	343	289	239	203	177	152
25	343	289	239	203	177	152
30	343	289	239	203	177	152
35	327	275	227	194	169	145
40	300	252	209	178	155	133
45	268	225	186	159	138	119
50	231	194	160	137	119	103
55	194	163	135	115	100	86
60	159	134	111	94	82	71

Table 2.6 Maximum Spans for Screen Wall Posts/Columns for Flat / Dome / Half Mansard Roof Screen Enclosures (feet), Exposure B

Note: For all sidewall columns, use roof span = 10 feet.

Roof Beam Spacing (ft)	Column Height Table (ft)															
	100	110	120	130	140	150	160	170	180	190	200	210	220	230	240	250
2" x 3" x 0.045 x 0.045 Hollow	11.3	10.8	10.3	9.8	9.3	8.8	8.3	7.8	7.3	6.8	6.3	5.8	5.3	4.8	4.3	3.8
2" x 4" x 0.050 x 0.050 Hollow	14.3	13.8	13.3	12.8	12.3	11.8	11.3	10.8	10.3	9.8	9.3	8.8	8.3	7.8	7.3	6.8
2" x 5" x 0.062 x 0.062 Hollow	17.3	16.8	16.3	15.8	15.3	14.8	14.3	13.8	13.3	12.8	12.3	11.8	11.3	10.8	10.3	9.8
2" x 6" x 0.066 x 0.100 SMB	17.3	16.8	16.3	15.8	15.3	14.8	14.3	13.8	13.3	12.8	12.3	11.8	11.3	10.8	10.3	9.8
2" x 7" x 0.050 x 0.116 SMB	20.8	20.3	19.8	19.3	18.8	18.3	17.8	17.3	16.8	16.3	15.8	15.3	14.8	14.3	13.8	13.3
2" x 8" x 0.050 x 0.120 SMB	24.8	24.3	23.8	23.3	22.8	22.3	21.8	21.3	20.8	20.3	19.8	19.3	18.8	18.3	17.8	17.3
2" x 9" x 0.055 x 0.120 SMB	27.3	26.8	26.3	25.8	25.3	24.8	24.3	23.8	23.3	22.8	22.3	21.8	21.3	20.8	20.3	19.8
2" x 10" x 0.072 x 0.224 SMB	32.3	31.8	31.3	30.8	30.3	29.8	29.3	28.8	28.3	27.8	27.3	26.8	26.3	25.8	25.3	24.8
2" x 10" x 0.082 x 0.306 SMB	34.8	34.3	33.8	33.3	32.8	32.3	31.8	31.3	30.8	30.3	29.8	29.3	28.8	28.3	27.8	27.3
2" x 10" x 0.092 x 0.389 SMB	42.8	42.3	41.8	41.3	40.8	40.3	39.8	39.3	38.8	38.3	37.8	37.3	36.8	36.3	35.8	35.3

Roof Beam Spacing (ft)	Column Height Table (ft)															
	h															
	100	110	120	130	140	150	160	170	180	190	200	210	220	230	240	250
Welded $\frac{3}{8}$ " x 6" x 10" gusset, 10' span	6.7	6.3	5.9	5.5	5.1	4.7	4.3	3.9	3.5	3.1	2.7	2.3	1.9	1.5	1.1	0.7
$F = 2.5 \times 0.045 \times 0.045$ Hollow	10.7	10.3	9.9	9.5	9.1	8.7	8.3	7.9	7.5	7.1	6.7	6.3	5.9	5.5	5.1	4.7
$F = 2.5 \times 0.050 \times 0.050$ Hollow	14.7	14.3	13.9	13.5	13.1	12.7	12.3	11.9	11.5	11.1	10.7	10.3	9.9	9.5	9.1	8.7
$F = 2.5 \times 0.062 \times 0.062$ Hollow	18.7	18.3	17.9	17.5	17.1	16.7	16.3	15.9	15.5	15.1	14.7	14.3	13.9	13.5	13.1	12.7
$F = 2.5 \times 0.080 \times 0.080$ Hollow	22.7	22.3	21.9	21.5	21.1	20.7	20.3	19.9	19.5	19.1	18.7	18.3	17.9	17.5	17.1	16.7
$F = 2.5 \times 0.100 \times 0.100$ Hollow	26.7	26.3	25.9	25.5	25.1	24.7	24.3	23.9	23.5	23.1	22.7	22.3	21.9	21.5	21.1	20.7
$F = 2.5 \times 0.125 \times 0.125$ Hollow	30.7	30.3	29.9	29.5	29.1	28.7	28.3	27.9	27.5	27.1	26.7	26.3	25.9	25.5	25.1	24.7
$F = 2.5 \times 0.150 \times 0.150$ Hollow	34.7	34.3	33.9	33.5	33.1	32.7	32.3	31.9	31.5	31.1	30.7	30.3	29.9	29.5	29.1	28.7
$F = 2.5 \times 0.175 \times 0.175$ Hollow	38.7	38.3	37.9	37.5	37.1	36.7	36.3	35.9	35.5	35.1	34.7	34.3	33.9	33.5	33.1	32.7
$F = 2.5 \times 0.200 \times 0.200$ Hollow	42.7	42.3	41.9	41.5	41.1	40.7	40.3	39.9	39.5	39.1	38.7	38.3	37.9	37.5	37.1	36.7
$F = 2.5 \times 0.225 \times 0.225$ Hollow	46.7	46.3	45.9	45.5	45.1	44.7	44.3	43.9	43.5	43.1	42.7	42.3	41.9	41.5	41.1	40.7
$F = 2.5 \times 0.250 \times 0.250$ Hollow	50.7	50.3	49.9	49.5	49.1	48.7	48.3	47.9	47.5	47.1	46.7	46.3	45.9	45.5	45.1	44.7
$F = 2.5 \times 0.275 \times 0.275$ Hollow	54.7	54.3	53.9	53.5	53.1	52.7	52.3	51.9	51.5	51.1	50.7	50.3	49.9	49.5	49.1	48.7
$F = 2.5 \times 0.300 \times 0.300$ Hollow	58.7	58.3	57.9	57.5	57.1	56.7	56.3	55.9	55.5	55.1	54.7	54.3	53.9	53.5	53.1	52.7
$F = 2.5 \times 0.325 \times 0.325$ Hollow	62.7	62.3	61.9	61.5	61.1	60.7	60.3	59.9	59.5	59.1	58.7	58.3	57.9	57.5	57.1	56.7
$F = 2.5 \times 0.350 \times 0.350$ Hollow	66.7	66.3	65.9	65.5	65.1	64.7	64.3	63.9	63.5	63.1	62.7	62.3	61.9	61.5	61.1	60.7
$F = 2.5 \times 0.375 \times 0.375$ Hollow	70.7	70.3	69.9	69.5	69.1	68.7	68.3	67.9	67.5	67.1	66.7	66.3	65.9	65.5	65.1	64.7
$F = 2.5 \times 0.400 \times 0.400$ Hollow	74.7	74.3	73.9	73.5	73.1	72.7	72.3	71.9	71.5	71.1	70.7	70.3	69.9	69.5	69.1	68.7
$F = 2.5 \times 0.425 \times 0.425$ Hollow	78.7	78.3	77.9	77.5	77.1	76.7	76.3	75.9	75.5	75.1	74.7	74.3	73.9	73.5	73.1	72.7
$F = 2.5 \times 0.450 \times 0.450$ Hollow	82.7	82.3	81.9	81.5	81.1	80.7	80.3	79.9	79.5	79.1	78.7	78.3	77.9	77.5	77.1	76.7
$F = 2.5 \times 0.475 \times 0.475$ Hollow	86.7	86.3	85.9	85.5	85.1	84.7	84.3	83.9	83.5	83.1	82.7	82.3	81.9	81.5	81.1	80.7
$F = 2.5 \times 0.500 \times 0.500$ Hollow	90.7	90.3	89.9	89.5	89.1	88.7	88.3	87.9	87.5	87.1	86.7	86.3	85.9	85.5	85.1	84.7
$F = 2.5 \times 0.525 \times 0.525$ Hollow	94.7	94.3	93.9	93.5	93.1	92.7	92.3	91.9	91.5	91.1	90.7	90.3	89.9	89.5	89.1	88.7
$F = 2.5 \times 0.550 \times 0.550$ Hollow	98.7	98.3	97.9	97.5	97.1	96.7	96.3	95.9	95.5	95.1	94.7	94.3	93.9	93.5	93.1	92.7
$F = 2.5 \times 0.575 \times 0.575$ Hollow	102.7	102.3	101.9	101.5	101.1	100.7	100.3	99.9	99.5	99.1	98.7	98.3	97.9	97.5	97.1	96.7
$F = 2.5 \times 0.600 \times 0.600$ Hollow	106.7	106.3	105.9	105.5	105.1	104.7	104.3	103.9	103.5	103.1	102.7	102.3	101.9	101.5	101.1	100.7
$F = 2.5 \times 0.625 \times 0.625$ Hollow	110.7	110.3	109.9	109.5	109.1	108.7	108.3	107.9	107.5	107.1	106.7	106.3	105.9	105.5	105.1	104.7
$F = 2.5 \times 0.650 \times 0.650$ Hollow	114.7	114.3	113.9	113.5	113.1	112.7	112.3	111.9	111.5	111.1	110.7	110.3	109.9	109.5	109.1	108.7
$F = 2.5 \times 0.675 \times 0.675$ Hollow	118.7	118.3	117.9	117.5	117.1	116.7	116.3	115.9	115.5	115.1	114.7	114.3	113.9	113.5	113.1	112.7
$F = 2.5 \times 0.700 \times 0.700$ Hollow	122.7	122.3	121.9	121.5	121.1	120.7	120.3	119.9	119.5	119.1	118.7	118.3	117.9	117.5	117.1	116.7
$F = 2.5 \times 0.725 \times 0.725$ Hollow	126.7	126.3	125.9	125.5	125.1	124.7	124.3	123.9	123.5	123.1	122.7	122.3	121.9	121.5	121.1	120.7
$F = 2.5 \times 0.750 \times 0.750$ Hollow	130.7	130.3	129.9	129.5	129.1	128.7	128.3	127.9	127.5	127.1	126.7	126.3	125.9	125.5	125.1	124.7
$F = 2.5 \times 0.775 \times 0.775$ Hollow	134.7	134.3	133.9	133.5	133.1	132.7	132.3	131.9	131.5	131.1	130.7	130.3	129.9	129.5	129.1	128.7
$F = 2.5 \times 0.800 \times 0.800$ Hollow	138.7	138.3	137.9	137.5	137.1	136.7	136.3	135.9	135.5	135.1	134.7	134.3	133.9	133.5	133.1	132.7
$F = 2.5 \times 0.825 \times 0.825$ Hollow	142.7	142.3	141.9	141.5	141.1	140.7	140.3	139.9	139.5	139.1	138.7	138.3	137.9	137.5	137.1	136.7
$F = 2.5 \times 0.850 \times 0.850$ Hollow	146.7	146.3	145.9	145.5	145.1	144.7	144.3	143.9	143.5	143.1	142.7	142.3	141.9	141.5	141.1	140.7
$F = 2.5 \times 0.875 \times 0.875$ Hollow	150.7	150.3	149.9	149.5	149.1	148.7	148.3	147.9	147.5	147.1	146.7	146.3	145.9	145.5	145.1	144.7
$F = 2.5 \times 0.900 \times 0.900$ Hollow	154.7	154.3	153.9	153.5	153.1	152.7	152.3	151.9	151.5	151.1	150.7	150.3	149.9	149.5	149.1	148.7
$F = 2.5 \times 0.925 \times 0.925$ Hollow	158.7	158.3	157.9	157.5	157.1	156.7	156.3	155.9	155.5	155.1	154.7	154.3	153.9	153.5	153.1	152.7
$F = 2.5 \times 0.950 \times 0.950$ Hollow	162.7	162.3	161.9	161.5	161.1	160.7	160.3	159.9	159.5	159.1	158.7	158.3	157.9	157.5	157.1	156.7
$F = 2.5 \times 0.975 \times 0.975$ Hollow	166.7	166.3	165.9	165.5	165.1	164.7	164.3	163.9	163.5	163.1	162.7	162.3	161.9	161.5	161.1	160.7
$F = 2.5 \times 1.000 \times 1.000$ Hollow	170.7	170.3	169.9	169.5	169.1	168.7	168.3	167.9	167.5	167.1	166.7	166.3	165.9	165.5	165.1	164.7
$F = 2.5 \times 1.025 \times 1.025$ Hollow	174.7	174.3	173.9	173.5	173.1	172.7	172.3	171.9	171.5	171.1	170.7	170.3	169.9	169.5	169.1	168.7
$F = 2.5 \times 1.050 \times 1.050$ Hollow	178.7	178.3	177.9	177.5	177.1	176.7	176.3	175.9	175.5	175.1	174.7	174.3	173.9	173.5	173.1	172.7
$F = 2.5 \times 1.075 \times 1.075$ Hollow	182.7	182.3	181.9	181.5	181.1	180.7	180.3	179.9	179.5	179.1	178.7	178.3	177.9	177.5	177.1	176.7
$F = 2.5 \times 1.100 \times 1.100$ Hollow	186.7	186.3	185.9	185.5	185.1	184.7	184.3	183.9	183.5	183.1	182.7	182.3	181.9	181.5	181.1	180.7
$F = 2.5 \times 1.125 \times 1.125$ Hollow	190.7	190.3	189.9	189.5	189.1	188.7	188.3	187.9	187.5	187.1	186.7	186.3	185.9	185.5	185.1	184.7
$F = 2.5 \times 1.150 \times 1.150$ Hollow	194.7	194.3	193.9	193.5	193.1	192.7	192.3	191.9	191.5	191.1	190.7	190.3	189.9	189.5	189.1	188.7
$F = 2.5 \times 1.175 \times 1.175$ Hollow	198.7	198.3	197.9	197.5	197.1	196.7	196.3	195.9	195.5	195.1	194.7	194.3	193.9	193.5	193.1	192.7
$F = 2.5 \times 1.200 \times 1.200$ Hollow	202.7	202.3	201.9	201.5	201.1	200.7	200.3	199.9	199.5	199.1	198.7	198.3	197.9	197.5	197.1	196.7
$F = 2.5 \times 1.225 \times 1.225$ Hollow	206.7	206.3	205.9	205.5	205.1	204.7	204.3	203.9	203.5	203.1	202.7	202.3	201.9	201.5	201.1	200.7
$F = 2.5 \times 1.250 \times 1.250$ Hollow	210.7	210.3	209.9	209.5	209.1	208.7	208.3	207.9	207.5	207.1	206.7	206.3	205.9	205.5	205.1	204.7
$F = 2.5 \times 1.275 \times 1.275$ Hollow	214.7	214.3	213.9	213.5	213.1	212.7	212.3	211.9	211.5	211.1	210.7	210.3	209.9	209.5	209.1	208.7
$F = 2.5 \times 1.300 \times 1.300$ Hollow	218.7	218.3	217.9	217.5	217.1	216.7	216.3	215.9	215.5	215.1	214.7	214.3	213.9	213.5	213.1	212.7
$F = 2.5 \times 1.325 \times 1.325$ Hollow	222.7	222.3	221.9	221.5	221.1	220.7	220.3	219.9	219.5	219.1	218.7	218.3	217.9	217.5	217.1	216.7
$F = 2.5 \times 1.350 \times 1.350$ Hollow	226.7	226.3	225.9	225.5	225.1	224.7	224.3	223.9	223.5	223.1	222.7	222.3	221.9	221.5	221.1	220.7
$F = 2.5 \times 1.375 \times 1.375$ Hollow	230.7	230.3	229.9	229.5	229.1	228.7	228.3	227.9	227.5	227.1	226.7	226.3	225.9	225.5	225.1	224.7
$F = 2.5 \times 1.400 \times 1.400$ Hollow	234.7	234.3	233.9	233.5	233.1	232.7	232.3	231.9	231.5	231.1	230.7	230.3	229.9	229.5	229.1	228.7
$F = 2.5 \times 1.425 \times 1.425$ Hollow	238.7	238.3	237.9	237.5	237.1	236.7	236.3	235.9	235.5	235.1	234.7	234.3	233.9	233.5	233.1	232.7
$F = 2.5 \times 1.450 \times 1.450$ Hollow	242.7	242.3	241.9	241.5	241.1	240.7	240.3	239.9	239.5	239.1	238.7	238.3	237.9	237.5	237.1	236.7
$F = 2.5 \times 1.475 \times 1.475$ Hollow	246.7	246.3	245.9	245.5	245.1	244.7	244.3	243.9	243.5	243.1	242.7	242.3	241.9	241.5	241.1	240.7
$F = 2.5 \times 1.500 \times 1.500$ Hollow	250.7	250.3	249.9	249.5	249.1	248.7	248.3	247.9	247.5	247.1	246.7	246.3	245.9	245.5	245.1	244.7
$F = 2.5 \times 1.525 \times 1.525$ Hollow	254.7	254.3	253.9	253.5	253.1	252.7	252.3	251.9	251.5	251.1	250.7	250.3	249.9	249.5	249.1	248.7
$F = 2.5 \times 1.550 \times 1.550$ Hollow	258.7	258.3	257.9	257.5	257.1	256.7	256.3	255.9	255.5	255.1	254.7	254.3	253.9	253.5	253.1	252.7
$F = 2.5 \times 1.575 \times 1.575$ Hollow	262.7	262.3	261.9	261.5	261.1											



June 08, 2005

Mr. Ben Agler
Agler Restoration
3631 NW Federal Highway
Jensen Beach, Florida 34957

RE: Authorization to use Cameron Ashley's LRFD master set engineering

Dear Mr. Agler:

This letter authorizes Agler Restoration and its representatives to use the master set engineering filing system that has been filed with the local building official or authority having jurisdiction. You may make copies of this letter for your use. Agler Restoration and its representatives are authorized to use the master set engineering until **June 30, 2006**.

Please remember that as a condition of using the master set engineering, a representative of Agler Restoration must attend an 8-hour CEU accredited training course on the use of the LRFD Manual at least once every twenty-four (24) months of use of our master set engineering.

If you or other parties such as the building official need to verify your authorized use of the master set engineering, please call (813) 882-4619 and ask to speak to someone in our engineering department.

Sincerely,

A handwritten signature in cursive script, reading 'Do Y. Kim'.

Do Y. Kim, P.E. (FL #49497)
Director of Technical Services



GUARDIAN
BUILDING PRODUCTS
CAMERON ASHLEY

June 08, 2005

Mr. Ben Agler
Agler Restoration
3631 NW Federal Highway
Jensen Beach, Florida 34957

1

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Sincerely,

Do Y. Kim, P.E. (FL #49497)
Director of Technical Services

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☐ Mon ☐ Wed ☒ Fri OCT 7, 2005

Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7447	DIMITRIOU	WINDOW FINAL	PASS	(STOP WORK ORDER)
8	C BANYAN	11:00 AM		
	OAKS SYSTEMS			INSPECTOR: <i>[Signature]</i>
6753	RADEE	POWER RELEASE		
	5 HERITAGE WAY	SPE FINAL		
	ADP CONSER			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	O'CONNOR	TREE	PASS	
6	16 FIELDWAY			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7714	STIFFORD	POOL FENCE	PASS	CLOSE
3	103 HONEY SEWALL	FINAL		
	AGUER TUE			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	BAILEY	TREE		
12	7 PERRIWINKLE			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6753	RADEE	BUDG FINAL	FAIL	I HAVE RELEASE FORM ON
5	5 NORTHERN WAY	A/C FINAL	PASS	CALL F.P.L.
	1401 S. DR. 85	ELEC. FINAL	PASS	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
309	GAMPIN	MECH. AC	FAIL	
4	19 BAY VISTA	MECH. AC	PASS	
	CASEP CONST.			INSPECTOR: <i>[Signature]</i>
OTHER:	112 N. SEWALL PT DOCK WORK? NO PERMIT			
9				

9192

Ac Chang

☐ BLUEPRINTS FOR THIS PERMIT ARE
AVAILABLE FOR REVIEW AT TOWN
HALL.

**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**

One S. Sewall's Point Road

Sewall's Point, Florida 34996

Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN
VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9192	DATE ISSUED:	JUNE 29, 2009
SCOPE OF WORK:	AC CHANGEOUT		
CONDITIONS:			
CONTRACTOR:	NISAIR		
PARCEL CONTROL NUMBER:	133841013-000-000700	SUBDIVISION	SEWALLS MEADOW-LOT 7
CONSTRUCTION ADDRESS:	103 HENRY SEWALL WAY		
OWNER NAME:	CROUCH		
QUALIFIER:	PHILIP NISA	CONTACT PHONE NUMBER:	772-466-8115

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE

CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN / TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9192		
ADDRESS	103 HENRY SEWALL WAY		
DATE:	6/29/09	SCOPE:	AC CHANGEOUT
SINGLE FAMILY OR ADDITION / REMODEL		Declared Value:	\$
Plan Submittal Fee (\$350.00 SER \$175.00 Remodel \$200.00)			

GULFSTREAM BUSINESS BANK
2400 S.E. MONTEREY ROAD
STUART, FL 34996

23929

PERSONALIZED SERVICE, INC.
DBA NISAIR AIR CONDITIONING
OPERATING ACCOUNT
3700 S. U.S. HIGHWAY 1
FORT PIERCE, FL 34982

63-4712/670-01

PAY TO THE
ORDER OF

Eighty & 10/100
City of Sewall's Point

6/29/09

\$80.00

DOLLARS

MEMO

permit

Martine Mylenowicz
City of Sewall's Point

AUTHORIZED SIGNATURE

TOTAL BUILDING PERMIT FEE		\$	2890
ACCESSORY PERMIT	Declared Value	\$	2890
Total number of inspections @ \$75.00 each		\$	75
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	80

RECEIVED

Date: 6/26/09 DATE: 6-29-09 TOWN OF SEWALL'S POINT BUILDING PERMIT APPLICATION Permit Number: _____
OWNER/TITLEHOLDER NAME: Mrs Karen Crouch Phone (Day) 221-7194 (Fax) _____
Job Site Address: 103 Henry Sewall's Place City: Stuart State: FL Zip: 34996
Legal Description _____ Parcel Control Number: _____

Owner Address (if different): N/A City: _____ State: _____ Zip: _____

Scope of work (please be specific): Change out existing 4 ton A/C - like for like

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO ☒

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 2890.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 ☒ _____
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: NISAIR A/C Phone: 406-8115 Fax: 408-9752
Street: 3700 SO US Highway One City: Fort Pierce State: FL Zip: 34982

State License Number: CAC0411999 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Philip Nisa JR Phone Number: 772-260-2068

DESIGN PROFESSIONAL: N/A Lic# N/A Phone Number: N/A

Street: N/A City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 Edition
National Electrical Code: 2005 Florida Energy Code: 2007 Florida Accessibility Code: 2007 Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

Karen Crouch
State of Florida, County of: Martin

This the 26 day of June

by Karen Crouch

known to me or produced Christine Mulrooney

as identification Christine Mulrooney

My Commission Expires: 9-19-12

CONTRACTOR SIGNATURE: (required)

Philip Nisa JR
On State of Florida, County of: Martin

This the 26 day of June

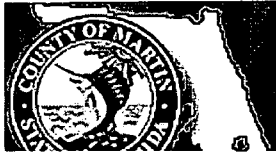
by Philip Nisa JR

known to me or produced Christine Mulrooney

As identification Christine Mulrooney

My Commission Expires: 9-19-12

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4)
APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY



Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...
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Summary

print Owner 1 of 6

Parcel Info

Summary

Land

Residential

Improvement

Commercial

Image

Sales & Transfers

Assessments →

Taxes →

Exemptions →

Parcel Map →

Full Legal →

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
13-38-41-013-000-00070-0	103 HENRY SEWALL WAY	119111	Owner	0	1

Summary

Property Location 103 HENRY SEWALL WAY

Tax District 2200 Sewall's Point

Account # 119111

Land Use 101 0100 Single Family

Neighborhood 120300

Acres 0.482

Legal Description

Property Information

LOT 7 SEWALL'S MEADOW (PB 14 PG 32)

Search By

Parcel ID

Owner

Address

Account #

Use Code

Legal Description

Neighborhood

Sales

Map →

Owner Information

Owner Information

CROUCH F MICHAEL & KAREN Q

Mail Information

103 HENRY SEWALL WAY
STUART FL 34996

Assessment Info

Front Ft.

Market Land Value \$228,000

Market Impr Value \$399,780

Market Total Value \$627,780

Site Functions

Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

Recent Sale

Sale Amount \$520,000

Sale Date 4/30/2009

Book/Page 2388 0152

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 6/22/2009

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TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

☐ Mon

☒ Tue

☐ Wed

☐ Thur

☐ Fri

7-7

2009

Page 1

of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9192	CHURCH	RENOV	PASS	CALL NISAIR
	103 Henry Sewall		CANCEL	NEED LADDER
	Nis Air			INSPECTOR <i>GA</i>
9159	Wingunk	Trial solar		No plans / perm
	11 Middle Rd		FAIL	NO ACCESS
	H. Solar		FAIL	INSPECTOR <i>GA</i> SEE TAG
9068	TAYLOR	PREPORN		
	22 E HIGH PT	SLAB/WALL	PASS	
	SEAGATE			INSPECTOR <i>GA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

☐ Mon

☒ Tue

☐ Wed

☐ Thur

☐ Fri

7-28

2009

Page

1

of

1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9192	103 Henry Sewall	Final AC	Pass	Close
830	103 Henry Sewall Nislin		Pass	Inspector <i>[Signature]</i>
		be here!		
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

9607

Paver Patio

☐ BLUEPRINTS FOR THIS PERMIT ARE
AVAILABLE FOR REVIEW AT TOWN
HALL.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9607	DATE ISSUED:	OCTOBER 20, 2010
SCOPE OF WORK:	PAVER PATIO		
CONDITIONS :			
CONTRACTOR:	SURFSIDE PAVERS		
PARCEL CONTROL NUMBER:	133841-013-000-000700	SUBDIVISION	SEWALLS MEADOW-L 7
CONSTRUCTION ADDRESS:	103 HENRY SEWALL WAY		
OWNER NAME:	CROUCH		
QUALIFIER:	JEFFREY GRIMALDI	CONTACT PHONE NUMBER:	772-770-3890

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9607		
ADDRESS	103 HENRY SEWALL WAY		
DATE:	10/20/10	SCOPE:	PAVER PATIO
SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$

SURFSIDE PAVERS INC
7608 SILVER SANDS DRIVE 321-951-1716
WEST MELBOURNE FL 32904

SUNTRUST BANK
ACH RT 061000104
63-215/631

014767

PAY TO THE
ORDER OF

TOWN OF SEWALL'S POINT

\$ 84.00

DOLLARS

Eighty four 00/100

MEMO

010-0131

Jack Buller
AUTHORIZED SIGNATURE

MP

TOTAL BUILDING PERMIT FEE:		\$	
ACCESSORY PERMIT	Declared Value:	\$	11142.00
Total number of inspections @ \$75.00 each		\$	75
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 minimum)		\$	5
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 minimum)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	2
TOTAL ACCESSORY PERMIT FEE:		\$	84

Pa
cx#014767

Town of Sewall's Point

Date: 10/14/10 BUILDING PERMIT APPLICATION Permit Number: 9607
 OWNER/TITLEHOLDER NAME: KAREN CROUCH Phone (Day) 772-485-8985 (Fax) _____
 Job Site Address: 103 Henry Sewall Way City: STUART State: FL Zip: 34996
 Legal Description _____ Parcel Control Number: _____
 Owner Address (if different): _____ City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC): PAVERS

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO ✓
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 111,995
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Surfside Pavers Inc Phone: 772-770-3890 Fax: 772-770-3891
 Qualifiers name: Jerry Grimaldi Street: 1185 Old Dixie Hwy Suite A City: Vero Beach State: FL Zip: 32960
 State License Number: _____ OR: Municipality: Martin County License Number: MC PB03366
 LOCAL CONTACT: Jack Buller Phone Number: 772-979-6050

DESIGN PROFESSIONAL: _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____
 AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof _____ Elevated Deck: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Electrical, Gas): 2007
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
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4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1. 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION PROVIDED HEREON FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.
 Notary Public, State of Florida
 My Commission DD985390
 Expires 04/25/2014

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.)
 OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

X Karen Crouch
 State of Florida, County of: Martin

On This the 14th day of Oct, 2010
 by Karen Crouch who is personally

known to me or produced FLDH#C620-515-56-530-0
 As identification Valerie Meyer

Notary Public

My Commission Expires: _____

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)

X Jerry Grimaldi
 State of Florida, County of: Martin

On This the 19th day of October, 2010
 by Jeffrey Grimaldi who is personally

known to me or produced _____
 As identification Justine Buller

Notary Public

My Commission Expires: 4/25/2014

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

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 governmax.com 1,14

Summary

print | | | | | Address
 1 of 1

Tabs

Summary

Print View

Land

Improvements

Assessments &

Exemptions

Sales

Taxes →

Parcel Map →

Trim Notice →

Searches

Parcel ID

Owner

Address

Account #

Land Use

Legal Description

Neighborhood

Sales

Maps →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-013-000-00070-0	119111	103 HENRY SEWALL WAY, SEWALL'S POINT	\$461,370	10/9/2010

Owner Information	
Owner(Current)	CROUCH F MICHAEL & KAREN Q
Owner/Mail Address	103 HENRY SEWALL WAY STUART FL 34996
Sale Date	04/30/2009
Document Number	2144483
Document Reference No.	2388 0152
Sale Price	520000

Location/Description		Map Page No.	Legal Description
Account #	119111	SP-05	LOT 7 SEWALL'S MEADOW (PB 14 PG 32)
Tax District	2200		
Parcel Address	103 HENRY SEWALL WAY, SEWALL'S POINT		
Acres	.4820		

Functions

Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

Parcel Type	
Land Use	0100 Single Family
Neighborhood	120300 Sewall's Meadow

Assessment Information	
Market Land Value	\$198,000
Market Improvment Value	\$263,370
Market Total Value	\$461,370

Print First Previous Next Last

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TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: ☐ Mon ☐ Tue ☒ Wed ☐ Thur ☐ Fri 11-3-2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
91601	Crocker			CAPSTONE MISSING
	103 H. James Way	Final Permit	Fail	Remove Debris
	Surfside Pavers			NEED NOC
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
91612	Elder	ROUGH FLOOR rough gas	PASS	
	110 S Sewalls	" BLIND	PASS	
	Raulie Pappano	" ELBOT	PASS	INSPECTOR JA
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9051	BENI HANA	DRIVEWAY		
	3602 SE OCEAN	STRING LINE	PASS	
	Commercial Corso			INSPECTOR JA
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	M. KEEFE			
	31 W. HIGH PT		OK	
Tree				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLES POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection ☐ Mon ☐ Tue ☒ Wed ☐ Thur ☐ Fri 11-17-2010 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9319	Balfort 1034 Helcrest Balfort	Driveway	Pass	(density report in permit box) INSPECTOR <i>[Signature]</i>
	CLEMENTS			
REE	11 W. H. POINT		OK	INSPECTOR
9281	Shaufi 73 NSR Masley/Stratton	Sidewalk	Pass	INSPECTOR <i>[Signature]</i>
9479	AKRAWI 53 S. Seawaves James Thomas Inc	Slab & Bond	Pass	INSPECTOR <i>[Signature]</i>
9609	Curran 103 S. Seawaves Surfside Pavers	3 Driveway	Pass	INSPECTOR
✓	Doss 85 S. Riven	Investigate Pool Equip Breakdown		INSPECTOR
	Mony	220-7088		INSPECTOR

9829

Condenser

☐ BLUEPRINTS FOR THIS PERMIT ARE
AVAILABLE FOR REVIEW AT TOWN
HALL.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN
VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9829	DATE ISSUED:	JULY 7, 2011
SCOPE OF WORK:	AH CHANGEOUT		
CONDITIONS :			
CONTRACTOR:	NISAIR		
PARCEL CONTROL NUMBER:	133841013-000-000700	SUBDIVISION	SEWALLS MEADOW-L 7
CONSTRUCTION ADDRESS:	103 HENRY SEWALL WAY		
OWNER NAME:	CROUCH		
QUALIFIER:	PHIL NISA	CONTACT PHONE NUMBER:	283-0904

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

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CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9829		
ADDRESS	103 HENRY SEWALL WAY - CROUCH		
DATE:	7/7/11	SCOPE:	AH CHANGEOUT

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air conditioning			

GULFSTREAM BUSINESS BANK
2400 S.E. MONTEREY ROAD
STUART, FL 34956

27011

63-4712/670
01

PERSONALIZED SERVICE INC
DBA NISAIR AIR CONDITIONING
3700 S US HIGHWAY 1
FORT PIERCE, FL 34982-8211

PAY TO THE
ORDER OF

Eighty four + no 7100

\$ 84.00

DOLLARS

Town of Sewall's Point 7/7/11

Christine M. [Signature]
AUTHORIZED SIGNATURE

MEMO

ACCESSORY PERMIT	Declared Value:	\$	2420
Total number of inspections @ \$75.00 each		\$	75
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 minimum)		\$	2
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 minimum)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	84

ld
CK#27011

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 9829

Date: July 6th 2011

OWNER/TITLEHOLDER NAME: KAREN O'NEAL

Phone (Day) 221-7194 (Fax) _____

Job Site Address: 103 HENRI SEWALL WAY

City: STUART State: FLA Zip: 34990

Legal Description: Lot 7 Sewalls Meadow (PB14 PG 32)

Parcel Control Number: 13-38-41-013-000-00070-0

Owner Address (if different): STAME AS ABOVE

City: _____ State: _____ Zip: _____

Scope of work (please be specific): Condenser change-out (like for like)

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner/Builder questionnaire must accompany application)

YES _____ NO ☒

Has a Zoning Variance ever been granted on this property?

YES _____ (YEAR) _____ NO _____

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 2420

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 _____ X _____

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ _____

(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: NISAIR H.V.A.C.

Phone: 283-0904 Fax: 283-7229

Street: 3700 S. US HWY. ONE

City: FORT PIERCE State: FLA Zip: 34982

State License Number: 0A0041199

OR: Municipality: _____

License Number: _____

LOCAL CONTACT: 1-877-7NISAIR

Phone Number: (772) 283-0904

DESIGN PROFESSIONAL: MA

Lic# _____ State: _____ Zip: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: 734 Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck _____ Enclosed area below BFE: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 Edition.
National Electrical Code: 2005 Florida Energy Code: 2007 Florida Accessibility Code: 2007 Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required) _____
OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

CONTRACTOR SIGNATURE: (required) _____

State of Florida, County of: MARTIN

On State of Florida, County of: MARTIN

This the 6 day of JULY, 20 11

This the 6 day of JULY, 20 11

by [Signature] Personally

by Philip Ansa Personally

known to me or produced

known to me or produced

as identification.

As identification.

My Commission Expires 9-19-12

My Commission Expires 9-19-12

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A***generated on 7/7/2011 2:52:23 PM EDT***Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-013-000-00070-0	119111	103 HENRY SEWALL WAY, SEWALL'S POINT	\$461,370	7/2/2011

Owner Information

Owner(Current)	CROUCH F MICHAEL & KAREN Q
Owner/Mail Address	103 HENRY SEWALL WAY STUART FL 34996
Sale Date	4/30/2009
Document Book/Page	2388 0152
Document No.	2144483
Sale Price	520000

Location/Description

Account #	119111	Map Page No.	SP-05
Tax District	2200	Legal Description	LOT 7 SEWALL'S MEADOW (PB 14 PG 32)
Parcel Address	103 HENRY SEWALL WAY, SEWALL'S POINT		
Acres	.4820		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120300 Sewall's Meadow

Assessment Information

Market Land Value	\$198,000
Market Improvement Value	\$263,370
Market Total Value	\$461,370

Attn: Valerie

ESTIMATE



AIR CONDITIONING Lic. # CACO-41190

3700 S US Highway One
Fort Pierce, FL 34982Martin: (772) 283-0904
St. Lucie: (772) 488-8115
Toll Free 1-877-7NISAIRNAME KAREN CROUCH
ADDRESS 103 HURST SEAWALK
STUART, FLA. 349910
Hm.# _____ Fax.# _____DATE JULY 6TH 2011
JOB LOCATION SEAWALK PT
FPL Acct/Meter # _____

THERMOSTATS

- ☐ Digital Thermostat _____
☐ Humidistat _____

ELECTRIC INDOOR AND OUTDOOR

- ☐ New Disconnect Box & Wiring
☐ High Voltage Wiring
☐ New Weatherproof Conduit & Connections For Outside Unit
☐ New Weatherproof Conduit & Connections For Inside Unit

AIR DISTRIBUTION/DUCT MODIFICATION

- ☐ Increase Return Duct Size to: _____
☐ New Return Air Grille Size to: _____
☐ Modify New Fiberglass Return Plenum _____
☐ Modify New Fiberglass Supply Air Plenum _____
☐ Strap, Hang and Support New Plenums
☐ Seal Wall Cracks and Crevices to not Draw Attic Air
☐ Liquid Mastic Sealant All New Duct Connections
☐ New Wood Top & Paint White
☐ Polyboard Insulate Return Air Platform & Mastic Seal
☐ Seal Off Return Air Platform for Air Leaks

FILTRATION / CLEAN AIR

- ☐ BWT Poly Media Air Filter _____
☐ High Efficiency Cleaner _____
☐ Ultra Violet Light System _____

☐ Main panel breakers may need to be resized to new unit requirements, not included in our cost

PIPING & FITTINGS

- ☒ Repipe Suction & Liquid Lines at new Unit. Insulate
 New Suction Line & Secure Low Voltage Wiring.
☐ New Refrigerant Copper Tubing Line Set Overhead Exterior
 Line cover includes Armflex & Detailed Workmanship.

RECLAIM / EVACUATION / REFRIGERANT

- ☒ Reclaim Refrigerant According to EPA Regulations
☒ Liquid Line Drier ☐ Suction Line Drier
☒ Triple Evacuation to Remove Moisture & Impurities
☒ Refrigerant Weighed in to Factory Specifications

EQUIPMENT ACCESSORIES

- ☐ Precast Concrete Slab
☐ Condensate Pump, Power Cord & Fuse
☒ Vibration Pads under the Outdoor Unit
☐ Emergency Drain Pan & Support
☐ Overflow Water Safety Switch
☐ 5 Minute Time Delay/Compressor Protector
☒ Hurricane Strap Outdoor Unit to Ground
☒ Potential Relay & Start Capacitor for Compressor
☒ Clean, Treat & Flush Drain Line System

Warranties (Under Terms of Warranty, Routine Scheduled Maint. Must be Performed on System)

A	B	C
AH Model # _____	AH Model # _____	AH Model # _____
Cond Model # <u>13ACX048</u>	Cond Model # _____	Cond Model # _____
SEER <u>13</u> Aux. Heat _____ KW	SEER _____ Aux. Heat _____ KW	SEER _____ Aux. Heat _____ KW
Compressor _____ year	Compressor _____ year	Compressor _____ year
Condenser Coil _____ year	Condenser Coil _____ year	Condenser Coil _____ year
Evaporator Coil _____ year	Evaporator Coil _____ year	Evaporator Coil _____ year
Manufacture Parts _____ year	Manufacture Parts _____ year	Manufacture Parts _____ year
Labor _____ year	Labor _____ year	Labor _____ year
Job Quote \$ _____	Job Quote \$ _____	Job Quote \$ _____
FPL Rebate \$ _____	FPL Rebate \$ _____	FPL Rebate \$ _____
Discounts \$ _____	Discounts \$ _____	Discounts \$ _____
Amount Due By Customer \$ <u>2420</u>	Amount Due By Customer \$ _____	Amount Due By Customer \$ _____

We hereby propose to complete work as specified above for the sum of \$ 2420

Payment options: Finance _____ (Subject to approval) Check _____ Cash _____ Credit Card _____

*Finance Plan: _____ Total _____ Down payment = _____ Amount financed _____

PAYMENT TERMS: 25% deposit required with balance upon completion of installation (unless 100% financed)

SPECIAL COMMENTS & MODIFICATIONS: REMOVE OLD 4 TON COND.
UNIT & INSTALL NEW LEADCOX 4 TON COND. UNIT.
KEY UNDER FRONT DOOR MAT IF NOT HOME

Tech Signature: _____

Customer Signature: Karen Crouch



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Air Conditioning Change out Affidavit

Residential ☒ Commercial _____
Package Unit _____ Yes ☒ No (Use Condenser side of form below for equipment listing)
Duct Replacement _____ Yes ☒ No - Refrigerant line replacement _____ Yes ☒ No
Flushing Existing Refrigerant lines ☒ Yes _____ No - Adding Refrigerant Drier ☒ Yes _____ No
Rooftop A/C Stand Installation _____ Yes ☒ No - Curb Installation _____ Yes ☒ No
Smoke Detector in Supply (over 2000 CFM) _____ Yes ☒ No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: N/A Model# _____
Volts _____ CFM's _____ Heat Strip _____ Kw _____
Min. Circuit Amps _____ Wire gauge _____
Max. Breaker size _____ Min. Breaker size _____
Ref. line size: Liquid _____ Suction _____
Refrigerant type _____
Location: Existing _____ New _____
Attic/Garage/Closet (specify) _____
Access: _____

Condenser: Mfg: LENNOX Model# 13AEX-048
Volts 208/120 SEER/EER 13 BTU's 48,000
Min. Circuit Amps 28.9 Wire gauge #8
Max. Breaker size 50 Min. Breaker size 30
Ref. line size: Liquid 3/8" Suction 3/4"
Refrigerant type HFC #410A
Location: Existing ☒ New _____
Left/Right/Rear/Front/Roof NORTH SIDE/LEFT
Condensate Location NEXT TO COND. UNIT

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: LENNOX Model# CRD4040
Volts 208 CFM's 1750 Heat Strip 10 Kw _____
Min. Circuit Amps 35 Wire gauge #10
Max. Breaker size 50 Min. Breaker size 40
Ref. line size: Liquid 3/8" Suction 3/4"
Refrigerant type HFC #22
Location: Ext. ☒ New _____
Attic/Garage/Closet (specify) ATTIC
Access: GARAGE, NEED 8' LADDER

Condenser: Mfg: RUD/RUD Model# RA4B-048JAZ
Volts 208 SEER/EER 10 BTU's 48,000
Min. Circuit Amps 35 Wire gauge #8
Max. Breaker size 40 Min. Breaker size 30
Ref. line size: Liquid 3/8" Suction 3/4"
Refrigerant type HFC #22
Location: Ext. ☒ New _____
Left/Right/Rear/Front/Roof LEFT / NORTH SIDE
Condensate Location 2' FROM COND. UNIT,

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

[Signature] Michael J. [Signature]
Signature

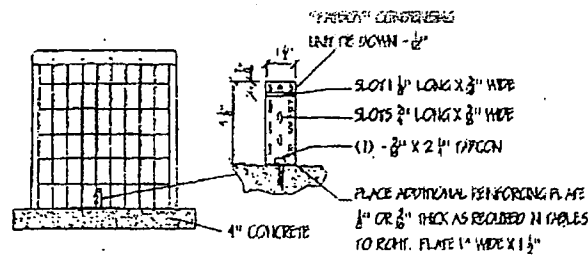
July 6th 2011
Date

SPECIFICATIONS

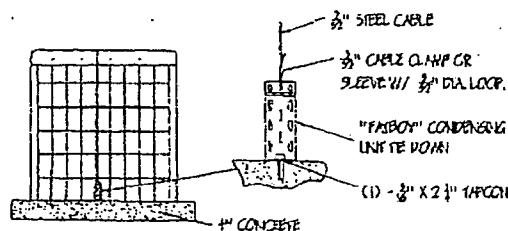
General Data	Model No.	13ACX-018	13ACX-024	13ACX-030	13ACX-036	13ACX-042	13ACX-048	13ACX-060
	Nominal Tonnage	1.5	2	2.5	3	3.5	4	5
¹ Sound Rating Number (dB)		76	76	76	76	80	80	80
Connections (sweat)	Liquid line o.d. - in.	3/8	3/8	3/8	3/8	3/8	3/8	3/8
	Suction line o.d. - in.	3/4	3/4	3/4	7/8	7/8	7/8	1-1/8
² Refrigerant (R-410A) furnished		4 lbs. 7 oz.	4 lbs. 14 oz.	6 lbs. 3 oz.	6 lbs. 7 oz.	8 lbs. 14 oz.	8 lbs. 4 oz.	11 lbs. 2 oz.
Outdoor Fan	Diameter - in.	18	18	18	18	18	22	22
	Number of blades	3	3	4	4	4	4	4
	Motor hp	1/5	1/5	1/5	1/5	1/3	1/4	1/4
Shipping Data - lbs. 1 package		122	129	150	150	177	233	236
ELECTRICAL DATA								
	Line voltage data - 60 hz - 1ph	208/230V	208/230V	208/230V	208/230V	208/230V	208/230V	208/230V
³ Maximum overcurrent protection (amps)		20	30	30	35	40	50	60
⁴ Minimum circuit ampacity		12.3	17.9	18.7	21.9	24.1	28.9	34.5
Compressor Rated load amps		9.0	13.4	14.1	16.6	17.9	21.8	26.2
Condenser Fan Motor Full load amps		1.0	1.0	1.0	1.0	1.9	1.7	1.7

NOTE — Extremes of operating range are plus 10% and minus 5% of line voltage.

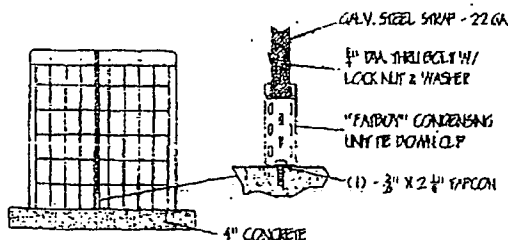
¹ Sound Rating Number in accordance with test conditions included in ARI Standard 270.² Refrigerant charge sufficient for 15 ft. length of refrigerant lines.³ HACR type circuit breaker or fuse.⁴ Refer to National or Canadian Electrical Code manual to determine wire, fuse and disconnect size requirements.



"FATBOY" INSTALLATION GUIDE



"FATBOY" CABLE INSTALLATION GUIDE



"FATBOY" STRAP INSTALLATION GUIDE

NOTE: SEE TABLES FOR WIND VELOCITY AND HEIGHT OF INSTALLATION ABOVE GROUND. ALSO SEE TABLES FOR CONNECTOR TYPE WHEN ATTACHING TO ALUMINUM OR STEEL.

FATBOY STRAP PLATE	10 MPH WIND VELOCITY TABLE OF STRAP TENSILE STRENGTH PER INCH OF STRAP OR CABLE PER END		
	CLIP TO CLIP CONNECTION	CLIP TO CLIP CONNECTION	CLIP TO CLIP CONNECTION
0-15'	2	2	2
20'	2	2	2
25'	2	2	2
30'	2	2	2
40'	2	2	2
50'	2	2	2
60'	2	2	2
1\" ADDITIONAL PLATE			
0-15'	2	2	2
20'	2	2	2
30'	2	2	2
40'	2	2	2
50'	2	2	2
60'	2	2	2

FATBOY STRAP PLATE	10 MPH WIND VELOCITY TABLE OF STRAP TENSILE STRENGTH PER INCH OF STRAP OR CABLE PER END		
	CLIP TO CLIP CONNECTION	CLIP TO CLIP CONNECTION	CLIP TO CLIP CONNECTION
0-15'	2	2	2
20'	2	2	2
25'	2	2	2
30'	2	2	2
40'	2	2	2
50'	2	2	2
60'	2	2	2
1\" ADDITIONAL PLATE			
0-15'	2	2	2
20'	2	2	2
30'	2	2	2
40'	2	2	2
50'	2	2	2
60'	2	2	2

GENERAL NOTES:

1- ATTACHMENT TO CONCRETE SHALL BE BY MEANS OF (ONE) 1/2\" DIAMETER TAPCON AS MANUFACTURED BY ELO CO. TROON INC., N.A.A. 94-7711.11 EXPIRES JANUARY 8, 1911. MINIMUM EDGE DISTANCE OF 3\" (ONES - 1\" LONG.

2- CONCRETE TO WHICH ATTACHMENT OF CLIP IS MADE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI.

3- STEEL STRAPS OVER A/C UNITS SHALL BE 22 GA. GALVANIZED STEEL STRAP CONFORMING TO ASTM A 652 STANDARD WITH GALVANIZED IN CONFORMANCE WITH GMA AND HAVE A YIELD STRENGTH OF 50 KSI.

4- THE STEEL STRAP SHALL BE 1\" WIDE AND BE CONNECTED WITH A 1\" DIA. STEEL BOLT WITH WASHER AND BE TIGHTENED.

5- ANGLE CLIP USED IN ATTACHING THE STRAP TO THE SUPPORTING STRUCTURE SHALL BE AS MANUFACTURED BY THE ORIGINAL PAN COMPANY, 1520 N.W. 77 TERR., MIDDLEBY, FLORIDA. 31646 AND AS DETAIL IN THIS DRAWING.

6- ATTACHMENT OF CLIP TO ALUMINUM SHALL BE BY USING A ROOFING FELT AS SEPARATOR BETWEEN CLIP AND SUPPORTING ALUMINUM STRUCTURE AND USE OF A 1/2\" DIAMETER SELF TAPPING OR DRILLED BOLT WITH LOCK WASHER AND NUT. SUPPORTING STRUCTURE SHALL BE AT LEAST 1\" THICK ALUMINUM STRUCTURE SHALL BE MIN. 6061 T6 ALLOY.

7- ATTACHMENT OF CLIP TO SUPPORTING STEEL STRUCTURE SHALL BE BY A 1/2\" SELF TAPPING SCREW AND ONTO MATERIAL AT LEAST 1\" THICK. SCREW MAY BE IN FULL OUT FORM.

8- ADDITIONAL PLATE USED AS REINFORCING SHALL BE EQUAL SPECIFICATION AS CLIP AND BE DRILLED WITH ONLY ONE HOLE. MAXIMUM 1\" DIAMETER IN THE SHORT LEG AND BE THE THICKEST SPECIFIED AND 1\" WIDE.

9- USE OF CABLE INSTEAD OF STEEL STRAP SHALL CONFORM TO PERMANENT SPECIFICATION RE-WEAVING DIMENSIONAL STRENGTH REQUIREMENTS OF MIL-W-40430 AS SPECIFIED BY ELITE SALES INC. WITH A BREAKING STRENGTH OF 120 LBS. AND HAVE A MINIMUM DIAMETER OF 1/2\" X 3\" STRANDS.

10- ATTACHING CLAMP SHALL BE 1/2\" DIAMETER STEEL CONFORMING TO ASTM A 36 STANDARDS MIN. YIELD OF 36 KSI PER CLIP DETAIL FOR ATTACHMENT LOCATION.

11- A/C UNITS THAT CONFORM TO THE SPECIFIED ATTACHMENT SHALL BE NO LARGER THAN 35\" WIDE X 35\" HIGH AND WEIGH NO LESS THAN 150 LBS. AS USED BY THE DESIGN.

REVISIONS	BY



A/C UNIT ANCHORING DETAILS
FATBOY CLIPS AS
MANUFACTURED BY: THE
ORIGINAL PAN CO. FOR USE
UNDER FLORIDA BUILDING CODE

DRAWN:	A.A.A.
CHECKED:	A.A.
DATE:	0-04-07
SCALE:	AS NOTED
JOB NO.:	
SHEET:	

S-1

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

☐

Mon

☐

Tue

☒

Wed

☐

Thur

☐

Fri

FB-11

Page

6 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9809	<i>[Handwritten: Owner/Address/Contractor]</i>	<i>[Handwritten: AC Final]</i>		
	<i>[Handwritten: 103 S. 1st Street]</i>			
	<i>[Handwritten: Noar]</i>			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

9904

Ac

☐ BLUEPRINTS FOR THIS PERMIT ARE
AVAILABLE FOR REVIEW AT TOWN
HALL.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9907	DATE ISSUED:	10-18-11
SCOPE OF WORK:	New A/C		
CONTRACTOR:	NIS		
PARCEL CONTROL NUMBER:	13-38-41-013-000-00070-0	SUBDIVISION	Henry Sewall Way
CONSTRUCTION ADDRESS:	103 Henry Sewall Way		
OWNER NAME:	Michael Crouch		
QUALIFIER:	Phil Nisa	CONTACT PHONE NUMBER:	466 8115

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER: || 9907
ADDRESS || 103 Henry Sewall Way
DATE: || 10-18-11 SCOPE OF WORK || A/C

SINGLE FAMILY OR ADDITION /REMODEL Declared Value \$ ||

PERSONALIZED SERVICE INC
DBA NISAIR AIR CONDITIONING
3700 S US HIGHWAY 1
FORT PIERCE, FL 34982-8211
1-877-764-7247

GULFSTREAM BUSINESS BANK
2400 S.E. MONTEREY ROAD
STUART, FL 34996

27414

63-4712/670
01

PAY-TO THE
ORDER OF

town of Sewall's Point
Eighty four & no/100

10-18-11

\$ 84.00

DOLLARS

MEMO

[Signature]
AUTHORIZED SIGNATURE

Road impact assessment: (.04% of construction value)

Martin County Impact Fee: \$ ||

TOTAL BUILDING PERMIT FEE: \$ ||

ACCESSORY PERMIT Declared Value: \$ || *17325.06*

Total number of inspections @ \$75.00 each || *75*

Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min) \$ || *2*

DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.) \$ || *2*

Road impact assessment: (.04% of construction value - \$5.00 min.) \$ || *5*

TOTAL ACCESSORY PERMIT FEE: \$ || *\$84.00*

POV
27414

Town of Sewall's Point
BUILDING PERMIT APPLICATION

485-8985
Permit Number: **9907**

Date: **10.17.11**

OWNER/TITLEHOLDER NAME: _____ Phone (Day) **221-7194** (Fax) _____

Job Site Address: **103 Henry Sewall way** City: **Stuart** State: **FL** Zip: _____

Legal Description **lot 7 Sewalls meadow** Parcel Control Number: **13-38-41-013-000-00070-0**

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): **like for like change roof**

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO ☒

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ **432500**
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 ☒ **X**
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: **NISAIR A/C** Phone **466-8115** Fax: **468-9745**

Street: **3700 S. US HWY 1** City: **Papier** State: **FL** Zip: **34982**

State License Number **CA041199** OR: Municipality _____ License Number _____

LOCAL CONTACT: **Philip Nisa JR** Phone Number **466-8115**

DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number _____

Street _____ City _____ State _____ Zip _____

AREAS SQUARE FOOTAGE: Living _____ Garage _____ Covered Patios/ Porches _____ Enclosed Storage _____

Carport _____ Total under Roof _____ Elevated Deck _____ Enclosed area below BFE _____
Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005 (2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT 105.4.1, 105.4.1.1, 5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

State of Florida, County of: _____

This the _____ day of _____, 20__

by _____ who is personally

known to me or produced _____

as identification. _____

Notary Public

My Commission Expires: _____

CONTRACTOR SIGNATURE: (required)

On State of Florida, County of: **Stuart**

This the **17** day of **October**, 20**11**

by **Philip Nisa JR** who is personally

known to me or produced _____

As identification. **NICHOLE L. SIMMONS**



NOTARY PUBLIC
STATE OF FLORIDA

My Commission Expires: **12/2/2015** Comm# **EE133197**

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION OF APPROVAL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A***generated on 10/18/2011 9:03:01 AM EDT***Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-013-000-00070-0	119111	103 HENRY SEWALL WAY, SEWALL'S POINT	\$454,240	10/15/2011

Owner Information

Owner(Current)	CROUCH F MICHAEL & KAREN Q
Owner/Mail Address	103 HENRY SEWALL WAY STUART FL 34996
Sale Date	4/30/2009
Document Book/Page	2388 0152
Document No.	2144483
Sale Price	520000

Location/Description

Account #	119111	Map Page No.	SP-05
Tax District	2200	Legal Description	LOT 7 SEWALL'S MEADOW (PB 14 PG 32)
Parcel Address	103 HENRY SEWALL WAY, SEWALL'S POINT		
Acres	.4820		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120300 Sewall's Meadow

Assessment Information

Market Land Value	\$198,000
Market Improvement Value	\$256,240
Market Total Value	\$454,240



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Air Conditioning Change out Affidavit

Residential ☒ Commercial _____

Package Unit _____ Yes ☒ No (Use Condenser side of form below for equipment listing)

Duct Replacement _____ Yes ☒ No - Refrigerant line replacement _____ Yes _____ No

Flushing Existing Refrigerant lines ☒ Yes _____ No - Adding Refrigerant Drier ☒ Yes _____ No

Rooftop A/C Stand Installation _____ Yes ☒ No - Curb Installation _____ Yes ☒ No

Smoke Detector in Supply (over 2000 CFM) _____ Yes ☒ No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: <u>Luxor</u> Model# <u>CRD71</u>	Condenser: Mfg: <u>Luxor</u> Model# <u>XC14024</u>
Volts <u>230</u> CFM's <u>300</u> Heat Strip <u>5</u> Kw _____	Volts <u>230</u> SEER/EER <u>16</u> BTU's <u>24,000</u>
Min. Circuit Amps <u>25</u> Wire gauge <u>8</u>	Min. Circuit Amps <u>20</u> Wire gauge <u>#8</u>
Max. Breaker size <u>30</u> Min. Breaker size <u>25</u>	Max. Breaker size <u>30</u> Min. Breaker size <u>20</u>
Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>
Refrigerant type <u>HFC #410A</u>	Refrigerant type <u>HFC #410A</u>
Location: Existing ☒ New _____	Location: Existing ☒ New _____
Attic/Garage/Closet (specify) <u>Attic</u>	Left/Right/Rear/Front/Roof <u>Left</u>
Access: <u>OK</u>	Condensate Location <u>Left</u>

(Contractor must provide ladder if required)

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: <u>Rheem</u> Model# <u>RBHA-14J</u>	Condenser: Mfg: <u>Rheem</u> Model# <u>RAUB-024</u>
Volts <u>230</u> CFM's <u>300</u> Heat Strip <u>3</u> Kw _____	Volts <u>230</u> SEER/EER <u>8?</u> BTU's <u>24,000</u>
Min. Circuit Amps <u>25</u> Wire gauge <u>8</u>	Min. Circuit Amps <u>20</u> Wire gauge <u>#8</u>
Max. Breaker size <u>30</u> Min. Breaker size <u>25</u>	Max. Breaker size <u>30</u> Min. Breaker size <u>20</u>
Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>
Refrigerant type <u>HFC #22</u>	Refrigerant type <u>HFC #22</u>
Location: Ext. ☒ New _____	Location: Ext. ☒ New _____
Attic/Garage/Closet (specify) <u>Attic</u>	Left/Right/Rear/Front/Roof <u>Left</u>
Access: <u>Fine</u>	Condensate Location <u>Left</u>

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further affirm that this equipment is considered matched as required by FBC - R (N) 1107 & 1108

Signature

Date

10/17/11

ESTIMATE



AIR CONDITIONING Lic. # CACO-41199

3700 S US Highway One
Fort Pierce, FL 34982

Martin: (772) 283-0904
St. Lucie: (772) 466-8115
Toll Free 1-877-7NISAIR

NAME KAREN CROWL
ADDRESS 103 HENRY SWALLOW
STUART FL 34990
Hm# 221-7194 Fax# 485-8985

DATE 10/17/11
JOB LOCATION SWALLS POINT
FPL Acct/Meter # _____

THERMOSTATS

- ☒ Digital Thermostat Procon
☐ Humidistat

ELECTRIC INDOOR AND OUTDOOR

- ☐ New Disconnect Box & Wiring
☐ High Voltage Wiring
☐ New Weatherproof Conduit & Connections For Outside Unit
☒ New Weatherproof Conduit & Connections For Inside Unit

AIR DISTRIBUTION/DUCT MODIFICATION

- ☐ Increase Return Duct Size to: _____
☐ New Return Air Grille Size to: _____
☐ Modify New Fiberglass Return Plenum _____
☐ Modify New Fiberglass Supply Air Plenum _____
☐ Strap, Hang and Support New Plenums
☐ Seal Wall Cracks and Crevices to not Draw Attic Air
☒ Liquid Mastic Sealant All New Duct Connections
☐ New Wood Top & Paint White
☐ Polyboard Insulate Return Air Platform & Mastic Seal
☐ Seal Off Return Air Platform for Air Leaks

FILTRATION/CLEAN AIR

- ☐ BWT Poly Media Air Filter _____
☐ High Efficiency Cleaner _____
☒ Ultra Violet Light System _____

☐ Main panel breakers may need to be resized to new unit requirements, not included in our cost

PIPING & FITTINGS

- ☒ Repipe Suction & Liquid Lines at new Unit. Insulate
New Suction Line & Secure Low Voltage Wiring.
☐ New Refrigerant Copper Tubing Line Set Overhead Exterior
Line cover Includes Armaflex & Detailed Workmanship.

RECLAIM / EVACUATION / REFRIGERANT

- ☒ Reclaim Refrigerant According to EPA Regulations
☒ Liquid Line Drier ☐ Suction Line Drier
☒ Triple Evacuation to Remove Moisture & Impurities
☒ Refrigerant Weighed in to Factory Specifications

EQUIPMENT ACCESSORIES

- ☐ Precast Concrete Slab
☐ Condensate Pump, Power Cord & Fuse
☒ Vibration Pads under the Outdoor Unit
☒ Emergency Drain Pan & Support
☒ Overflow Water Safety Switch
☒ 5 Minute Time Delay/Compressor Protector
☒ Hurricane Strap Outdoor Unit to Ground
☐ Potential Relay & Start Capacitor for Compressor
☒ Clean, Treat & Flush Drain Line System

Warranties (Under Terms of Warranty, Routine Scheduled Maint. Must be Performed on System)

A	B	C
AH Model # <u>CBX2704024</u>	AH Model # _____	AH Model # _____

270
4765



PRODUCT CATALOG

AIR CONDITIONERS
XC14
ELITE® SERIES

R-410A
SEER - Up to 16.2
1.5 to 5 Tons
Page 7
April 2007

FEATURES

Refrigerant System

Scroll Compressor

Compressor sound-dampening system

Non-chlorine, ozone friendly, R-410A refrigerant.

Copper tube construction with enhanced ripple-edged aluminum fins.

Units applicable to expansion valve systems or RFC systems when matched with specific indoor coils.

Fully serviceable brass service valves.

Factory installed, hi-capacity liquid line drier

Totally enclosed, direct drive outdoor fan motor with sleeve bearings.

PVC coated, steel fan guard.

Controls

High Pressure Switch.

Cabinet

Heavy-gauge galvanized steel cabinet with powder paint finish.

SmartHinge™ Louvered Coil Protection

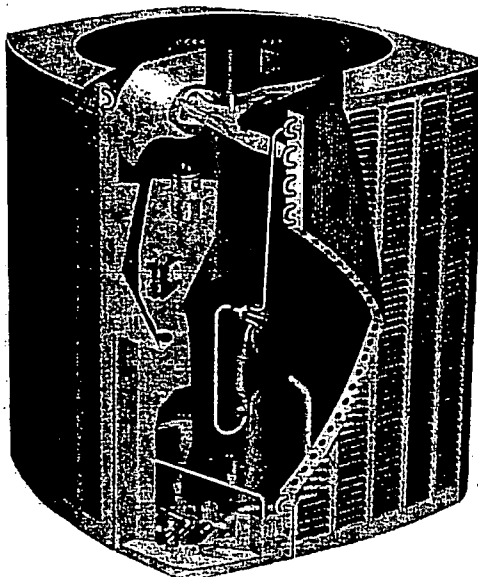
Corner patch plate allows access to compressor.

Limited Warranty

Compressor - ten years

All covered components - five years

Refer to Lennox Equipment Limited Warranty certificate included with equipment for details



ARI RATINGS

See Page 50 - Page 75

OPTIONAL ACCESSORIES

See Page 19

Compressor

- Compressor Crankcase Heater
- Compressor Hard Start Kit
- Compressor Low Ambient Cut-Off
- Compressor Time-Off Control

Controls

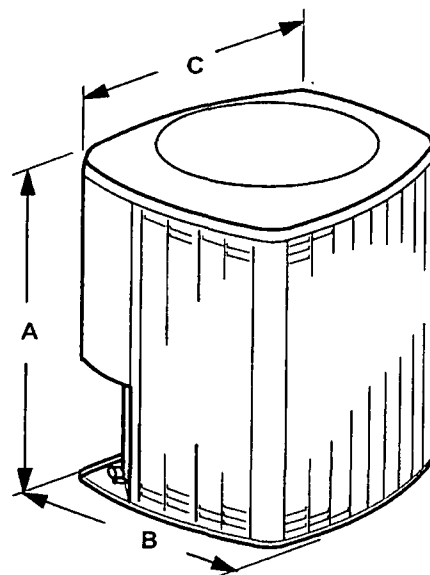
- Freezestat
- Indoor Blower Off Delay Relay
- Loss of Charge Switch Kit
- Low Ambient Kit
- Thermostat

Refrigerant System

- Expansion Valve Kits
- Refrigerant Line Kits

DIMENSIONS - in. (mm)

Model No.	A	B	C
XC14-018	31 (787)	27 (729)	28 (711)
XC14-024	31 (787)	27 (729)	28 (711)
XC14-030	31 (787)	30-1/2 (775)	35 (889)
XC14-036	31 (787)	30-1/2 (775)	35 (889)
XC14-042	31 (787)	30-1/2 (775)	35 (889)
XC14-048	39 (991)	30-1/2 (775)	35 (889)
XC14-060	35 (889)	35-1/2 (902)	39-3/8 (1000)



ARI Standard
210/240 UAC



NOTE - Due to Lennox' ongoing commitment to quality, Specifications, Ratings and Dimensions subject to change without notice and without incurring liability. Improper installation, adjustment, alteration, service or maintenance can cause property damage or personal injury. Installation and service must be performed by a qualified installer and servicing agency.

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SPECIFICATIONS								
General Data	Model No.	XC14-018	XC14-024	XC14-030	XC14-036	XC14-042	XC14-048	XC14-060
	Nominal Tonnage	1.5	2	2.5	3	3.5	4	5
1 Sound Rating Number (dB)		71	71	71	70	73	73	73
Connections (sweat)	Liquid line o.d. - in.	3/8	3/8	3/8	3/8	3/8	3/8	3/8
	Suction line o.d. - in.	3/4	3/4	3/4	7/8	7/8	7/8	1-1/8
2 Refrigerant (R-410A) furnished		6 lbs. 12 oz.	7 lbs. 10 oz.	8 lbs. 0 oz.	8 lbs. 9 oz.	8 lbs. 10 oz.	10 lbs. 0 oz.	12 lbs. 0 oz.
Outdoor Fan	Diameter - in.	18	18	22	22	22	22	26
	Number of blades	4	4	4	4	4	4	4
	Motor hp	1/5	1/5	1/6	1/6	1/4	1/4	1/3
Shipping Data - lbs. 1 package		181	183	213	215	243	272	290
ELECTRICAL DATA								
Line voltage data - 60 hz - 1ph		208/230V	208/230V	208/230V	208/230V	208/230V	208/230V	208/230V
3 Maximum overcurrent protection (amps)		20	30	30	30	40	50	60
4 Minimum circuit ampacity		12.3	17.9	17.2	18.7	24.1	29.0	34.8
Compressor Rated load amps		9.0	13.4	12.9	14.1	17.9	21.8	26.4
Outdoor Fan Motor Full load amps		1.0	1.0	1.1	1.1	1.7	1.7	1.8

NOTE - Extremes of operating range are plus 10% and minus 5% of line voltage.

1 Sound Rating Number rated in accordance with test conditions included in ARI Standard 270.

2 Refrigerant charge sufficient for 15 ft. length of refrigerant lines.

3 HACR type breaker or fuse.

4 Refer to National or Canadian Electrical Code manual to determine wire, fuse and disconnect size requirements.

FEATURES

Refrigerant System

Copper tube construction with enhanced ripple-edged aluminum fins.

Twin coil construction in an "A" configuration.

Factory installed R-410A or R-22 Check/Expansion Valve.

Controls

24 Volt Transformer
Blower Cooling Relay
Terminal Strip

Programmable Multi-speed Blower

High efficiency, multi-speed ECM (Electronically Commutated Motor) with electronic braking.

Cabinet

Up-Flow / Horizontal Configuration
Shipped in one piece but can be separated for ease of installation.
Pre-painted cabinet finish.
Fully insulated cabinet with thick fiberglass insulation.
Tool-less access to disposable, frame-type filter

Limited Warranty

All covered components - five years
Refer to Lennox Equipment Limited Warranty certificate included with equipment for details



OPTIONAL ACCESSORIES

See Page 16

Cabinet

- Down-Flow Combustible Base
- Down-Flow Conversion Kit
- Horizontal Support Frame Kit
- Side Return Unit Stand (Up-Flow)
- Side Return Filter Adaptor (CB30U)
- Wall Hanging Bracket Kit (Up-Flow)

Controls

- Thermostat

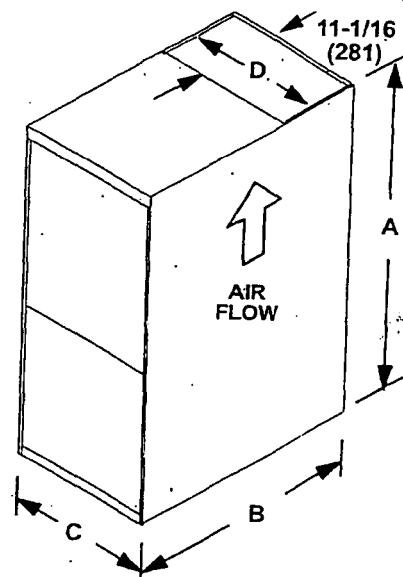
ELECTRIC HEAT

See Page 15

- Electric Heat
- Circuit Breaker Cover Kit
- Single-Point Power Source Control Box

DIMENSIONS - in. (mm)

		-018 -024	-030 -036	-042 -048	-060
A		49-1/4 (1251)	51 (1295)	58-1/2 (1486)	52-1/2 (1588)
B		20-5/8 (524)	22-5/8 (575)	24-5/8 (625)	24-5/8 (625)
C		21-1/4 (540)	21-1/4 (540)	21-1/4 (540)	21-1/4 (540)
D		19-3/4 (502)	19-3/4 (502)	19-3/4 (502)	19-3/4 (502)
Return Air	Width	20 (508)	20 (508)	20 (508)	20 (508)
	Depth	19 (483)	21 (533)	23 (584)	23 (584)



NOTE - Due to Lennox' ongoing commitment to quality, Specifications, Ratings and Dimensions subject to change without notice and without incurring liability. Improper installation, adjustment, alteration, service or maintenance can cause property damage or personal injury. Installation and service must be performed by a qualified installer and servicing agency.

SPECIFICATIONS					
General Data	R-22 Model Number	CB27UH-018	CB27UH-024	CB27UH-030	CB27UH-036
	R-410A Model Number	CBX27UH-018	CBX27UH-024	CBX27UH-030	CBX27UH-036
	Nominal Size - Tons	1.5	2.5	3	3
Connections	Suction (vapor) line (o.d.) - in. sweat	3/4	3/4	3/4	3/4
	Liquid line (o.d.) - in. sweat	3/8	3/8	3/8	3/8
	Condensate - in. fpt	(2) 3/4	(2) 3/4	(2) 3/4	(2) 3/4
Blower	Wheel nominal diameter x width - in.	10 x 8	10 x 8	11 x 8	11 x 8
	Blower motor output - hp	1/2	1/2	1/2	1/2
	Air Volume Range - cfm	170-1010	320-1190	360-1365	515-1555
¹ Filters	Size of filter - in.	20 x 20 x 1	20 x 20 x 1	20 x 20 x 1	20 x 22 x 1
Shipping Data -1 package lbs.		148	148	159	159

ELECTRICAL DATA				
	Voltage - phase	208/230V-1ph	208/230V-1ph	208/230V-1ph
³ Maximum overcurrent protection (unit only)		15	15	15
Minimum circuit ampacity (unit only)		2	2	2
Blower Motor Full Load Amps		1.5	1.73	1.72

¹ Disposable frame type filter.³ HACR type circuit breaker or fuse.

SPECIFICATIONS				
General Data	R-22 Model Number	CB27UH-042	CB27UH-048	CB27UH-060
	R-410A Model Number	CBX27UH-042	CBX27UH-048	CBX27UH-060
	Nominal tonnage	3.5	4	5
Connections	Suction (vapor) line (o.d.) - in. sweat	7/8	7/8	7/8
	Liquid line (o.d.) - in. sweat	3/8	3/8	3/8
	Condensate - in. fpt	(2) 3/4	(2) 3/4	(2) 3/4
Blower	Wheel nominal diameter x width - in.	12 x 9	12 x 9	12 x 9
	Blower motor output - hp	1	1	1
	Air Volume Range	825-1815	810-1860	965-2365
¹ Filters	Size of filter - in.	20 x 24 x 1	20 x 24 x 1	20 x 24 x 1
Shipping Data -1 package lbs.		194	194	216

ELECTRICAL DATA			
	Voltage - phase	208/230V-1ph	208/230V-1ph
³ Maximum overcurrent protection (unit only)		15	15
Minimum circuit ampacity (unit only)		3	5
Blower Motor Full Load Amps		2.4	3.9

¹ Disposable frame type filter.³ HACR type circuit breaker or fuse.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection ☐ Mon ☐ Tue ☒ Wed ☐ Thur ☐ Fri 7-9-11 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9181	Crouch 103 N. Hwy 5 NIS Air	A/C Final	Fail	NO 4500 LADDER FEE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9985	Moscate 110 1 Worth Ct Scott Holmes	Siding Final	Pass	Close INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9923	Delmolino 24 Fieldway Delmolino O/B	Fence Final	Pass	Close INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9925	Lewis 43 Rio Vista Coastal Southern	Pergula Beam Final FRAMING -	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	STREET LIGHT			
	INDIAN CIRCLE			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection ☒ Mon ☐ Tue ☐ Wed ☐ Thur ☐ Fri 1-12-11 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9907	Clouch	A/C	will	CME APPROV 40
6	105 Henry Swallow	Final	have \$4500	PASS
	NIS Air		per Nick	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9906	Vance	Inspection		
Feb 12	12 Wendy Lane	R. Plumb	PASS	
	Vance O/B	R. ELEC U.G. Plumb		INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9869	Bauer	A/C Final		
1-12	105 Abbile Ct.		PASS	CLOSE
	Stephen & Denny			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9901	DEMAKARIAN	R. ELECTRIC		
	19 CASTLE HILL way		PASS	
	J. Conway			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9918	Bones	Initial		
	17 W High Point	STRAPPING &	PASS	
	Cardinal Refine Dry-IN			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	TENT LOGIX, COM			
	49 W. HIGH POINT			
	15 PREM RD	SKY LIGHT NO PERMIT		INSPECTOR