

26 East High Point Rd

1515

SFR

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

RECEIVED

SEP 15 1982

Ans'd Date Sept. 15, 1982

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections, plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner CHARLES & DONNA FRARACCIO Present address 11 R.I.O. VISTA DRIVE

Phone 286-1854 SEWALL'S POINT
JENSEN BEACH, FLA

General contractor OWNER Address _____

Phone _____

Where licensed _____ License No. _____

Plumbing contractor PRECISION PLC. ~~UNION PLUMBING~~ License No. 00067 MARTIN COUNTY
783-1022

Electrical contractor SUNCOAST ELEC. License No. 00133

Air-conditioning contractor SUNCOAST A/C License No. 008035

Describe the building, or alteration to existing building 2-STORY FRAME
SINGLE FAMILY DWELLING, APPROX. 4500 SQ. FT., ATTACHED 3-CAR GARAGE

Name the street on which the building, its front building line and its front yard will face 28 EAST HIGH POINT ROAD

Subdivision HIGH POINT Lot No. 100-101 Area _____

Building area, inside walls (excluding garage, carport, porches, pools, etc.)... square feet 4500 4707
11' 35" 59"

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 164,745.00

Cost of permit \$ 247.30 Plans approved as submitted or, as marked ✓

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor Same

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner Charles A. Fraraccio

Note: Speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted _____

Approved by Building Inspector (date) 9/16/82

Inspector's initials JLU

Approved by Town Commissioner (date) 9/16/82

Commissioner's initials SS

Certificate of Occupancy issued (date) _____

SEE ATTACHMENTS #1515

Bldg Comm. & Superintendent
1-262-2386

Copy

#1515

TOWN OF SEWALL'S POINT

SUBJECT: CBS Constructed Houses - Tie Beam Inspections

DATE: August 3, 1981

Starting immediately, Tie Beam inspections prior to pouring of concrete shall require that the cells of bottom blocks (at the slab level) containing vertical reinforcing rods shall be broken open to reveal the rod in place. An inspection subsequent to the pour shall provide evidence that the concrete has penetrated the cell from the top of the pour to the bottom, filling the cell and embedding the rod all the way to the bottom.

This requirement shall apply to all corner rods and rods along the perimeter of the wall placed to comply with the 16'-0" maximum wall spacing of the rods.

Contractors requesting Tie Beam inspections must comply with the above requirements.

Gilbert S. Strubell
Building Commissioner

G. S. Strubell

A permit for construction of a house will not be issued until the availability of water is demonstrated in one of the following ways:

1. A Martin County water meter hook-up is on the property with water available.
2. A well is on the property with water available.
3. Permission from a neighbor, in writing, to use water from his system while the house is being built, is obtained.

**24 Hour notice required prior
to all inspections.
Do not order concrete until
inspection has been approved.**

The Building Department will not issue
a C.O. unless the lowest living area
conforms to elevations shown on the
Flood Insurance map. Certification from
a licensed surveyor is required.

Sec. 4-22. Lintels.

Openings for windows and doors shall be given structural consideration with minimum requirements as follows:

- (1) Six (6) to nine (9) feet: Eight-inch by twelve-inch concrete beam with an additional Number 5 reinforcing bar at the bottom extended to eighteen (18) inches on each side of the opening.
- (2) Nine (9) to twelve (12) feet: Eight-inch by twelve-inch minimum concrete beam with two (2) additional Number 5 reinforcing bars on the bottom extended to eighteen (18) inches on each side of the opening.
- (3) Twelve (12) to fifteen (15) feet: Eight-inch by twelve-inch minimum concrete beam with two (2) extended to eighteen (18) inches on each side of the opening with the addition of one Number 6 truss reinforcing bar and one inch additional depth for concrete per lineal foot.
- (4) Fifteen (15) to eighteen (18) feet: Eight-by-sixteen-inch minimum concrete beam with four (4) Number 6 reinforcing bars and one Number 7 truss reinforcing bar. (Ord. No. 73, § 1, 8-11-71; Ord. No. 122, § 2, 12-10-80)

Sec. 4-23. Outlets and lights.

All outlets and lights must be grounded if installed in nonmetallic sheathed cable. (Ord. No. 73, § 1, 8-11-71)

Sec. 4-24. Foundations.

(a) Prior to calling for inspection of foundation before concrete is poured, all Number 5 reinforcing bars shall be tied under main footing reinforcing bars and all other reinforcing bars must be tied at intersections and overlaps. Minimum overlap for Number 5 reinforcing bar is eighteen (18) inches.

(b) All footings must be formed ten (10) inches below natural grade in virgin earth. If footings are not formed in virgin earth, a compaction test performed by a qualified professional engineer demonstrating a minimum compressive strength of two thousand five hundred (2,500) pounds per square foot must be supplied to the building department.

(c) Single-story building footings shall be ten (10) inches deep by eighteen (18) inches wide with two (2) Number 5 bars continuous throughout the footing.

(d) Two-story building footings shall be ten (10) inches deep by twenty (20) inches wide with three (3) Number 5 bars continuous throughout the footing.

(e) A monolithic slab footing must be formed with sixteen-inch form wood. A forty-five (45) degree cut shall be made between footer and slab.

MARTIN COUNTY

1982 COUNTY OCCUPATIONAL LICENSE 1983

THIS FORM BECOMES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING MACHINE SHOWING TRANSACTION NUMBER, DATE AND AMOUNT PAID. PLEASE MAIL OR BRING THIS LICENSE WITH YOUR REMITTANCE. PENALTY 10% FOR MONTH OF OCTOBER, 5% ADDITIONAL EACH MONTH THEREAFTER UP TO 25% PLUS COLLECTION COSTS.

508127

LOCATION

T L CROOK PAID 09/29/82
\$9.00 34297 K DL

STATE CERTIFICATE NO. CC# 00133
LICENSE FEE \$ 19.00
DEL. PEN. \$ _____
TOTAL \$ _____

MAKE CHECKS PAYABLE TO:
THOMAS L. CROOK, Tax Collector
P.O. Box 926, Stuart, Fla. 33495

SUNCOAST ELECTRIC CO.
~~1407 1/2 R/VY/TM~~
~~FAHRE 1117H/BA/NTV/AS/AA~~
3220 S E Dominica Terr
Stuart, Fla 33494

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF **CONTRACTOR**

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE 29 DAY OF Sept 1982 SEC 205 AND ENDING FIRST DAY OF OCTOBER, A.D. 1983

301
ORIGINAL

THIS IS A PRELIMINARY LICENSE FOR 90 DAYS TO PERMIT THE LICENSEE TO COMMENCE BUSINESS AT THE PLACE OF BUSINESS



FLORIDA MODEL ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

FORM 902

BOB GRAHAM
GOVERNOR

SECTION 9/9H POINTS METHOD
DEPARTMENT OF COMMUNITY AFFAIRS

CLIMATE ZONES
SOUTH 789

PROJECT NAME AND ADDRESS	CHARLES FRARACCIO ZIP	JURISDICTION SEWALL'S POINT ZONE 8
BUILDER	CHARLES FRARACCIO	PERMIT NO. 1515
OWNER	CHARLES FRARACCIO	JURISDICTION NO. 53-300

STATISTICS

<input type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION <input type="checkbox"/> MULTI-FAMILY	IF MULTI-FAMILY, NO. OF UNITS COVERED BY THIS CALCULATION: <input type="text"/> <input type="text"/> <input type="text"/>	GLASS AREA AND TYPE	
	(SEPARATE CALCULATIONS REQUIRED FOR EACH WORST CASE UNIT TYPE.) SEC. H901.1	CLEAR	TINT OR FILM
		<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> SGL <input type="checkbox"/>	<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> SGL <input type="checkbox"/>
	<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> DBL <input type="checkbox"/>	<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> DBL <input type="checkbox"/>	

GROSS WALL AREA AND INSULATION				CONDITIONED FLOOR AREA		CEILING INSULATION	
CBS	R=	FRAME	R=			UNDER ATTIC	SGL. ASSEMBLY
<input type="text"/>	<input type="text"/>	4092	<input type="text"/>	4707		R= 19.0	R= <input type="text"/>

COOLING SYSTEM	PRIMARY HEATING SYSTEM	PRIMARY HOT WATER SYSTEM
<input checked="" type="checkbox"/> CENTRAL <input type="checkbox"/> NONE <input type="checkbox"/> UNITARY EER-SEER = <input type="text"/> 8.0	<input checked="" type="checkbox"/> STRIP <input type="checkbox"/> GAS <input type="checkbox"/> NONE <input type="checkbox"/> OIL <input type="checkbox"/> SOLAR <input type="checkbox"/> HEAT PUMP: COP = <input type="text"/> <input type="text"/> <input type="checkbox"/> OTHER: _____	<input checked="" type="checkbox"/> RESISTANCE <input type="checkbox"/> SOLAR <input type="checkbox"/> HEAT RECOVERY <input type="checkbox"/> GAS <input type="checkbox"/> DED. HEAT PUMP: COP = <input type="text"/> <input type="text"/> <input type="checkbox"/> OTHER: _____

MAX. E.P.I. ALLOWED (from 9A): <input type="text"/> 80.0	CALCULATED E.P.I.: <input type="text"/> 66.9
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CHECK IF COMPLYING BY "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11)*

CERTIFIED BY: <i>C. Fraraccio</i> <small>(owner/agent)</small>	DATE: 9/15/82	FORM COMPLETION CHECKED BY: <i>J. Amozulca</i> <small>(building official)</small>	DATE: 9/30/82
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THIS DATA IS TO BE SENT TO DCA BY THE LOCAL BUILDING DEPARTMENT.



**FLORIDA MODEL ENERGY EFFICIENCY CODE
FOR BUILDING CONSTRUCTION**

FORM 902

BOB GRAHAM
GOVERNOR

SECTION 9/9H POINTS METHOD
DEPARTMENT OF COMMUNITY AFFAIRS

CLIMATE ZONES
SOUTH 789

PROJECT NAME AND ADDRESS	CHARLES FRARACCIO ZIP	JURISDICTION	SEWALL'S POINT ZONE 8
BUILDER	CHARLES FRARACCIO	PERMIT NO.	
OWNER	CHARLES FRARACCIO	JURISDICTION NO.	53-300

STATISTICS

<input type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION <input type="checkbox"/> MULTI-FAMILY	IF MULTI-FAMILY, NO. OF UNITS COVERED BY THIS CALCULATION:	<input type="text"/> <input type="text"/> <input type="text"/>	GLASS AREA AND TYPE	
	(SEPARATE CALCULATIONS REQUIRED FOR EACH WORST CASE UNIT TYPE.) SEC. H901.1		CLEAR	TINT OR FILM
			<input type="text"/> 740 <input type="text"/> SGL <input type="checkbox"/>	<input type="text"/> <input type="text"/> <input type="text"/> SGL <input type="checkbox"/>
		<input type="text"/> <input type="text"/> <input type="text"/> DBL <input type="checkbox"/>	<input type="text"/> <input type="text"/> <input type="text"/> DBL <input type="checkbox"/>	

GROSS WALL AREA AND INSULATION				CONDITIONED FLOOR AREA	CEILING INSULATION	
CBS	R=	FRAME	R= 11		UNDER ATTIC	SGL. ASSEMBLY
<input type="text"/>	<input type="text"/>	<input type="text"/> 4092 <input type="text"/>	<input type="text"/>	<input type="text"/> 4707 <input type="text"/>	R= <input type="text"/> 19.0 <input type="text"/>	R= <input type="text"/> <input type="text"/> <input type="text"/>

COOLING SYSTEM		PRIMARY HEATING SYSTEM			PRIMARY HOT WATER SYSTEM		
<input checked="" type="checkbox"/> CENTRAL	<input type="checkbox"/> NONE	<input checked="" type="checkbox"/> STRIP	<input type="checkbox"/> GAS	<input type="checkbox"/> NONE	<input checked="" type="checkbox"/> RESISTANCE	<input type="checkbox"/> SOLAR	
<input type="checkbox"/> UNITARY		<input type="checkbox"/> OIL	<input type="checkbox"/> SOLAR		<input type="checkbox"/> HEAT RECOVERY	<input type="checkbox"/> GAS	
EER-SEER = <input type="text"/> <input type="text"/> . <input type="text"/>		<input type="checkbox"/> HEAT PUMP: COP = <input type="text"/> . <input type="text"/>			<input type="checkbox"/> DED. HEAT PUMP: COP = <input type="text"/> . <input type="text"/>		
		<input type="checkbox"/> OTHER: _____			<input type="checkbox"/> OTHER: _____		

MAX. E.P.I. ALLOWED (from 9A):	<input type="text"/> 80.0 <input type="text"/>	CALCULATED E.P.I.:	<input type="text"/> 66.9 <input type="text"/>
CHECK IF COMPLYING BY "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11)* <input type="checkbox"/>			
CERTIFIED BY:	<i>C. Fraraccio</i> (owner/agent)	DATE:	9/15/82
FORM COMPLETION CHECKED BY:	<i>J. Mazzucca</i> (building official)	DATE:	9/30/82
THIS DATA IS TO BE SENT TO DCA BY THE LOCAL BUILDING DEPARTMENT.			

9A	MAX. E.P.I. ALLOWED (CALCULATED E.P.I. MUST NOT EXCEED VALUE SHOWN BELOW)									
CONDITIONED FLOOR AREA	0-900	901-1100	1101-1300	1301-1500	1501-1700	1701-1900	1901-2100	2101-2300	2301-ABOVE	
BASE E P I	120	115	110	105	100	95	90	85	80	
DEDUCTIONS	A/C EFFICIENCY LESS THAN 8.0 EER/SEER (7.5 HEAT PUMP) (as of October 1, 1982)									-10.0
	IF MULTI-FAMILY: COMMON-WALLS (maximum of 5 points)									- 2.5
	IF MULTI-FAMILY: COMMON CEILING and/or FLOOR (maximum of 12 points)									- 6.0
	TOTAL DEDUCTIONS									
COMPUTE MAX. E.P.I. ALLOWED	BASE E.P.I.			DEDUCTIONS			MAX. E.P.I. ALLOWED			
	80			-			0			

*RESIDENCES WHICH COMPLY WITH THIS CODE BY THE "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11) ARE REQUIRED TO MEET OR EXCEED ALL MINIMUM PRESCRIPTIVE LEVELS INDICATED BY SHADED BLOCKS ON THIS FORM, AND ALL OTHER APPLICABLE PRESCRIPTIVE REQUIREMENTS LISTED IN TABLE 9B. THE E.P.I. FOR A HOUSE COMPLYING UNDER THIS METHOD IS NOT CALCULATED BUT WILL BE THE MAXIMUM E.P.I. ALLOWED FOR THAT HOUSE SIZE AS SHOWN ON TABLE 9A. THE STATISTICS SECTION ABOVE SHALL BE COMPLETED AND SUBMITTED TO THE LOCAL BUILDING DEPARTMENT.

9B		PRESCRIPTIVE MEASURES (CHECKLIST)			
INFILTRATION: windows/doors	903.1		HVAC DUCT CONSTRUCTION	903.5	<input checked="" type="checkbox"/>
WATER HEATER - ASHRAE LABEL	903.2	<input checked="" type="checkbox"/>	PIPING INSULATION	903.6	
SWIMMING POOLS	903.3		HVAC CONTROLS	903.7	
SHOWER FLOW RESTRICTORS	903.4	<input checked="" type="checkbox"/>	HVAC SYSTEM EFFICIENCY SECTION	903.8	<input checked="" type="checkbox"/>
			CEILING INSULATION	903.10	<input checked="" type="checkbox"/>

RESIDENTIAL, CALCULATION

FORM 902

CLIMATE ZONES 7 8 9

COMPONENT			WINTER			GROSS WINTER POINTS	SUMMER			GROSS SUMMER POINTS	
			AREA	x	WPM =		AREA	x	SPM =		
WALLS	CONCRETE	R 2.7 - 3.9			6.6			17.5			
		R 4-5.9			5.0			15.0			
		R 6 & UP			4.4			13.9			
	FRAME OR BRICK VENEER	R 11 - 18.9	3274.2		2.5	8185.5	3274.2		13.9	45511.4	
		R 19-25.9			1.5				8.6		
		R 26 & UP			1.1				6.5		
	COMMON			2.7				3.8			
	DOORS	WOOD OR METAL		77.8		86.5	6729.7	77.8		55.4	4310.1
		INSULATED				84.0				22.2	
		STORM DOOR				44.6				44.3	
COMMON				21.6				6.9			
CEILING	UNDER ATTIC	R 19 - 21.9	2701		1.9	5131.9	2701		8.4	22688.4	
		R 22-29.9			1.7				7.6		
		R 30 & UP			1.5				5.5		
	SINGLE ASSEMBLY	R 6-7.9			5.4				22.6		
		R 8-9.9			4.0				17.3		
		R 10-11.9			3.5				14.6		
		R 12-18.9			2.5				10.6		
		R 19 - 21.9			1.9				8.4		
	NO ATTIC										
	COMMON			1.7				2.0			
FLOOR OVER UNCONDITIONED SPACE	WOOD	R 0-6.9			5.8			6.6			
		R 7-10.9			2.4			2.9			
		R 11 - 18.9			2.1				2.3		
		R 19 & UP	121.3		1.4	169.8	121.3		1.5	182	
	CONCRETE	R 0-2.9			6.8				8.2		
		R 3-5.9			4.3				5.7		
		R 6-10.9			3.4				3.6		
		R 11 - 18.9			2.3				2.9		
		R 19 & UP			1.5				1.9		
	COMMON			1.7				2.0			
SLAB ON GRADE	EDGE INSULATION PERIMETER										
	PERIMETER	R 0 - 2.9			28.3						
		R 3-5.9			20.4						
		R 6 & UP			12.4						

OR	AREA	SGL	DBL	WOF 9F	GWP	OR	AREA	SINGLE		DOUBLE		SOF 9F	GSP
								CLR	TIN	CLR	TIN		
N		5.54	38.5			N		204	176	163	139		
NE	112	5.54	38.5	.99	6142.8	NE	112	309	264	258	218	.98	28976.6
E		5.54	38.5			E		425	360	362	304		
SE	225	5.54	38.5	.77	9598	SE	225	418	354	355	298	.93	74074.5
S		5.54	38.5			S		346	294	287	242		
SW	48	5.54	38.5	.99	2632.6	SW	48	418	354	355	298	.93	15802.6
W		5.54	38.5			W		425	360	362	304		
NW	129	5.54	38.5	1.0	7146.6	NW	129	309	264	258	218	.98	33374.9
H	4	22.6	6.8		90.4	H	4	720	605	627	524		2420.0
SE	147			1.0	8143.8	SE	147		354			.59	30702.4
SE	18			.83	827.7	SE	18		354			.81	5161.3
NW	61			1.0	3379.4	NW	61		264			.81	13044.2

GLASS
DO NOT INCLUDE INTERIOR SHADING

GLASS AREA MUST NOT EXCEED: SGL/CLR 15% OF FLOOR AREA, SGL/TINT 17% OF FLOOR AREA, DBL/CLR 18% OF FLOOR AREA, DBL/TINT 20% OF FLOOR AREA.

H = HORIZONTAL GLASS (SKYLIGHTS). FOR SC LESS THAN 0.83 SEE SEC. 902.2d

TOTAL GROSS WINTER POINTS	58178.2	TOTAL GROSS SUMMER POINTS	276248.5
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DUCT MULT	R = 3.5	58178.2	1.15	66904.9	R = 3.5	276248.5	1.15	317685.8
	R = 5.0		1.12		R = 5.0		1.12	
	R = 6.7		1.09		R = 6.7		1.09	
	DUCT IN COND SPACE		1.00		DUCT IN COND SPACE		1.00	

HSM FROM 9G	66904.9 × 1	66904.9	CSM FROM 9H	317685.8 × .81	257325.4
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DIVIDE BY FLOOR AREA	66904.9 ÷ 4707	14.2	DIVIDE BY FLOOR AREA	257325.4 ÷ 4707	54.7
		WINTER POINTS			SUMMER POINTS

CALCULATE E.P.I.					
WINTER POINTS	SUMMER POINTS	HOT WTR PTS	CREDIT POINTS	PENALTY POINTS	E.P.I.
14.2	+ 54.7	- 0 (9I)	- 5 (9C) + (9D)	+ 3 (9E)	= 66.9

FEWER TOTAL POINTS ARE ENCOURAGED FOR MAXIMUM ENERGY SAVINGS

9C	DESIGN CREDIT POINTS (CP)	
CEILING FAN IN COND SPACE (max 5 CP)	1	
MULTIZONE A/C SEPARATED BY DOOR	5	
CROSS VENTILATION (1 CP per room)	1	5
WHOLE HOUSE FAN (min. 1.5 cfm/s.f.)	5	
WOOD STOVE	2	
FIREPLACE with outside combustion air	2	
9C TOTAL (not to exceed 12 points)		5

9D	HEATING SYSTEM CREDIT POINTS	
NATURAL GAS/PROPANE HEATING		8.0
OIL HEATING		6.4

9E	DESIGN PENALTY POINTS	
WASHER AND DRYER IN COND SPACE		3
TOTAL GLASS OPENS LESS THAN 40%		5
FIREPLACE W/ INSIDE COMBUSTION AIR		5

9F	WINTER OVERHANG FACTOR (WOF)								9F	SUMMER OVERHANG FACTOR (SOF)							
FEET	N	NE	E	SE	S	SW	W	NW	FEET	N	NE	E	SE	S	SW	W	NW
0-0.9	1.00	0.99	0.85	0.75	0.83	0.98	1.00	1.00	0-0.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.9	1.00	0.99	0.85	0.76	0.84	0.98	1.00	1.00	1-1.9	1.00	1.00	0.99	0.99	0.98	0.99	0.99	1.00
2-2.9	1.00	0.99	0.86	0.77	0.86	0.99	1.00	1.00	2-2.9	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.98
3-3.9	1.00	0.99	0.87	0.80	0.87	0.99	1.00	1.00	3-3.9	1.00	0.95	0.89	0.87	0.86	0.87	0.89	0.95
4-4.9	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00	4-4.9	1.00	0.91	0.84	0.81	0.80	0.81	0.84	0.91
5-5.9	1.00	0.99	0.91	0.86	0.92	1.00	1.00	1.00	5-5.9	0.99	0.88	0.80	0.76	0.76	0.76	0.80	0.88
6-6.9	1.00	0.99	0.92	0.90	0.94	1.00	1.00	1.00	6-6.9	0.99	0.85	0.76	0.72	0.72	0.72	0.76	0.85
7-7.9	1.00	1.00	0.94	0.92	0.96	1.00	1.00	1.00	7-7.9	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83
8-8.9	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00	8-8.9	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81
9-9.9	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00	9-9.9	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-10.9	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00	10-10.9	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78
11-11.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	11-11.9	0.97	0.76	0.63	0.61	0.65	0.61	0.63	0.76
12 UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	12 UP	0.97	0.76	0.62	0.59	0.64	0.59	0.62	0.76

9G	HEATING SYSTEM MULTIPLIER (HSM)							
HEAT PUMP	COP	2.2-2.3	2.4-2.5	2.6-2.7	2.8-2.9	3.0-3.1	3.2-3.3	3.4 & UP
	HSM	0.45	0.42	0.38	0.36	0.33	0.31	0.29
SOLAR HEATING SYSTEM	(BACKUP SYSTEM FRACTION) x (BACKUP SYSTEM HSM)							
ELECTRIC STRIP HEAT	1.00							
NATURAL GAS / PROPANE	1.0 (SEE TABLE 9D FOR CREDITS)							
OIL	1.0 (SEE TABLE 9D FOR CREDITS)							

9H	COOLING SYSTEM MULTIPLIER (CSM)											
ELEC.	EER/SEER	6.8-6.9	7.0-7.4	7.5-7.9	8.0-8.4*	8.5-8.9	9.0-9.4	9.5-9.9	10.0-10.4	10.5-10.9	11.0-11.9	12.0-UP
	CSM	1.00	0.93	0.87	0.81	0.76	0.72	0.68	0.65	0.62	0.59	0.54
GAS	COP	0.40-0.44	0.45-0.49	0.50-0.54	0.55-0.59	0.60-0.64	0.65-0.69	0.70 & UP				
	CSM	1.50	1.25	1.20	1.09	1.00	0.92	0.89				

*ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH MINIMUM AIR CONDITIONER EFFICIENCY LEVEL 8.0 SEER/EEER FOR STRAIGHT COOL OR 7.5 FOR HEAT PUMPS.
 NOTE: EER = COOLING MODE COP x 3.413 = ARI RATED COOLING OUTPUT IN BTUH ÷ TOTAL WATTS CONSUMED

9I	HOT WATER CREDIT POINTS (HWCP)														
ELECTRIC RESISTANCE WATER HEATER											0				
GAS WATER HEATER											10				
INSTANTANEOUS WATER HEATER		ELECTRIC BACKUP									4.5				
		GAS BACKUP									12.6				
HRU (A/C) WATER HEATER		ELECTRIC BACKUP									8.9				
		GAS BACKUP									15.2				
HRU (HP) WATER HEATER		ELECTRIC BACKUP									9.7				
		GAS BACKUP									15.4				
HEAT PUMP WATER HEATER (DEDICATED HEAT PUMP)			COP			1.60 - 1.89	1.90 - 2.19	2.20 - 2.49	2.50 - 2.79	2.80 - 3.00					
			CREDIT POINTS			9.0	11.4	13.1	14.4	15.4					
SOLAR HOT WATER		OVERALL SOLAR FRACTION*		0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8	0.9	1.0		
		CREDIT POINTS		ELECTRIC BACKUP		2.4	4.8	7.2	9.6	12.0	14.4	16.8	19.2	21.6	24.0
				GAS BACKUP		11.4	12.8	14.2	15.6	17.0	18.8	19.8	21.2	22.6	24.0

*PERCENT OF ANNUAL HOT WATER PROVIDED BY SOLAR SYSTEM ÷ 100 = OVERALL SOLAR FRACTION



**FLORIDA MODEL ENERGY EFFICIENCY CODE
FOR BUILDING CONSTRUCTION**

FORM 902

BOB GRAHAM
GOVERNOR

SECTION 9.9H POINTS METHOD
DEPARTMENT OF COMMUNITY AFFAIRS

CLIMATE ZONES
SOUTH 789

PROJECT NAME AND ADDRESS	CHARLES FRANGACCIO Lots 100-101 High Point ZIP	JURISDICTION	SEWALL'S POINT
BUILDER	Charles Frangaccio	ZONE	B
OWNER	Charles Frangaccio	PERMIT NO.	1515
		JURISDICTION NO:	53-300

STATISTICS				
<input type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION <input type="checkbox"/> MULTI-FAMILY	IF MULTI-FAMILY, NO. OF UNITS COVERED BY THIS CALCULATION:	<input type="text"/> <input type="text"/> <input type="text"/>	GLASS AREA AND TYPE	
	(SEPARATE CALCULATIONS REQUIRED FOR EACH WORST CASE UNIT TYPE.) SEC. H901.1		CLEAR	TINT OR FILM
			<input type="text"/> <input type="text"/> <input type="text"/> SGL <input checked="" type="checkbox"/>	<input type="text"/> <input type="text"/> <input type="text"/> SGL <input type="checkbox"/>
		<input type="text"/> <input type="text"/> <input type="text"/> DBL <input type="checkbox"/>	<input type="text"/> <input type="text"/> <input type="text"/> DBL <input type="checkbox"/>	

GROSS WALL AREA AND INSULATION				CONDITIONED FLOOR AREA	CEILING INSULATION	
CBS	R=	FRAME	R=		UNDER ATTIC	SGL. ASSEMBLY
<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/>	<input type="text"/> <input type="text"/>	<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/>	<input type="text"/> <input type="text"/>	<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/>	R= <input type="text"/> <input type="text"/>	R= <input type="text"/> <input type="text"/> <input type="text"/>

COOLING SYSTEM	PRIMARY HEATING SYSTEM	PRIMARY HOT WATER SYSTEM
<input checked="" type="checkbox"/> CENTRAL <input type="checkbox"/> NONE <input type="checkbox"/> UNITARY EER-SEER = <input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/>	<input checked="" type="checkbox"/> STRIP <input type="checkbox"/> GAS <input type="checkbox"/> NONE <input type="checkbox"/> OIL <input type="checkbox"/> SOLAR <input type="checkbox"/> HEAT PUMP: COP = <input type="text"/> <input type="text"/> <input type="checkbox"/> OTHER: _____	<input type="checkbox"/> RESISTANCE <input type="checkbox"/> SOLAR <input checked="" type="checkbox"/> HEAT RECOVERY <input type="checkbox"/> GAS <input type="checkbox"/> DED. HEAT PUMP: COP = <input type="text"/> <input type="text"/> <input type="checkbox"/> OTHER: _____

MAX. E.P.I. ALLOWED (from 9A):	<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/>	CALCULATED E.P.I.:	<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/>
CHECK IF COMPLYING BY "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11)* <input type="checkbox"/>			
CERTIFIED BY:	<i>Bill Shappert</i> (owner/agent)	DATE	10-19-82
FORM COMPLETION CHECKED BY:	<i>Jamazzusca</i> (building official)	DATE	

THIS DATA IS TO BE SENT TO DCA BY THE LOCAL BUILDING DEPARTMENT.



**FLORIDA MODEL ENERGY EFFICIENCY CODE
FOR BUILDING CONSTRUCTION**

FORM 902
BOB GRAHAM
GOVERNOR

SECTION 9/9H POINTS METHOD
DEPARTMENT OF COMMUNITY AFFAIRS

CLIMATE ZONES
SOUTH 789

PROJECT NAME AND ADDRESS	CHARLES Fravaccio Lots 100-101 High Point ZIP	JURISDICTION	SEWALL'S POINT
BUILDER	Charles Fravaccio	ZONE	8
OWNER	Charles Fravaccio	PERMIT NO.	
		JURISDICTION NO.	53-300

STATISTICS

<input type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION <input type="checkbox"/> MULTI-FAMILY	IF MULTI-FAMILY, NO. OF UNITS COVERED BY THIS CALCULATION:	<input type="text"/> <input type="text"/>	GLASS AREA AND TYPE	
	(SEPARATE CALCULATIONS REQUIRED FOR EACH WORST CASE UNIT TYPE.) SEC. H901.1		CLEAR	TINT OR FILM
			735 SGL <input checked="" type="checkbox"/>	<input type="text"/> <input type="text"/> SGL <input type="checkbox"/>
		<input type="text"/> <input type="text"/> DBL <input type="checkbox"/>	<input type="text"/> <input type="text"/> DBL <input type="checkbox"/>	

GROSS WALL AREA AND INSULATION				CONDITIONED FLOOR AREA	CEILING INSULATION	
CBS	R=	FRAME	R=		UNDER ATTIC	SGL. ASSEMBLY
<input type="text"/>	<input type="text"/>	3231	11	4682	R= 19	R= <input type="text"/>

COOLING SYSTEM	PRIMARY HEATING SYSTEM	PRIMARY HOT WATER SYSTEM
<input checked="" type="checkbox"/> CENTRAL <input type="checkbox"/> NONE <input type="checkbox"/> UNITARY EER-SEER = <input type="text"/> <input type="text"/>	<input checked="" type="checkbox"/> STRIP <input type="checkbox"/> GAS <input type="checkbox"/> NONE <input type="checkbox"/> OIL <input type="checkbox"/> SOLAR <input type="checkbox"/> HEAT PUMP: COP = <input type="text"/> <input type="text"/> <input type="checkbox"/> OTHER: _____	<input type="checkbox"/> RESISTANCE <input type="checkbox"/> SOLAR <input checked="" type="checkbox"/> HEAT RECOVERY <input type="checkbox"/> GAS <input type="checkbox"/> DED. HEAT PUMP: COP = <input type="text"/> <input type="text"/> <input type="checkbox"/> OTHER: _____

MAX. E.P.I. ALLOWED (from 9A):	<input type="text"/> 80 <input type="text"/>	CALCULATED E.P.I.:	<input type="text"/> 68.52 <input type="text"/>
CHECK IF COMPLYING BY "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11)* <input type="checkbox"/>			
CERTIFIED BY:	<i>Bill Shepp</i> (owner/agent)	DATE	10-19-82
FORM COMPLETION CHECKED BY:		DATE	
THIS DATA IS TO BE SENT TO DCA BY THE LOCAL BUILDING DEPARTMENT.			

9A	MAX. E.P.I. ALLOWED (CALCULATED E.P.I. MUST NOT EXCEED VALUE SHOWN BELOW)										
CONDITIONED FLOOR AREA	0-900	901-1100	1101-1300	1301-1500	1501-1700	1701-1900	1901-2100	2101-2300	2301-ABOVE		
BASE E P I	120	115	110	105	100	95	90	85	80		
DEDUCTIONS	A/C EFFICIENCY LESS THAN 8.0 EER/SEER (7.5 HEAT PUMP) (as of October 1, 1982)										-10.0
	IF MULTI-FAMILY: COMMON WALLS (maximum of 5 points)										- 2.5
	IF MULTI-FAMILY: COMMON CEILING and/or FLOOR (maximum of 12 points)										- 6.0
TOTAL DEDUCTIONS											
COMPUTE MAX. E.P.I. ALLOWED	BASE E.P.I.			DEDUCTIONS			MAX. E.P.I. ALLOWED				
	80			-			= 80				

*RESIDENCES WHICH COMPLY WITH THIS CODE BY THE "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11) ARE REQUIRED TO MEET OR EXCEED ALL MINIMUM PRESCRIPTIVE LEVELS INDICATED BY SHADED BLOCKS ON THIS FORM, AND ALL OTHER APPLICABLE PRESCRIPTIVE REQUIREMENTS LISTED IN TABLE 9B. THE E.P.I. FOR A HOUSE COMPLYING UNDER THIS METHOD IS NOT CALCULATED BUT WILL BE THE MAXIMUM E.P.I. ALLOWED FOR THAT HOUSE SIZE AS SHOWN ON TABLE 9A. THE STATISTICS SECTION ABOVE SHALL BE COMPLETED AND SUBMITTED TO THE LOCAL BUILDING DEPARTMENT.

9B		PRESCRIPTIVE MEASURES (CHECKLIST)			
INFILTRATION: windows/doors	903.1	<input checked="" type="checkbox"/>	HVAC DUCT CONSTRUCTION	903.5	<input checked="" type="checkbox"/>
WATER HEATER - ASHRAE LABEL	903.2	<input checked="" type="checkbox"/>	PIPING INSULATION	903.6	<input checked="" type="checkbox"/>
SWIMMING POOLS	903.3	<input type="checkbox"/>	HVAC CONTROLS	903.7	<input checked="" type="checkbox"/>
SHOWER FLOW RESTRICTORS	903.4	<input checked="" type="checkbox"/>	HVAC SYSTEM EFFICIENCY SECTION	903.8	<input checked="" type="checkbox"/>
			CEILING INSULATION	903.10	<input checked="" type="checkbox"/>

RESIDENTIAL, CALCULATION

FORM 902

CLIMATE ZONES 7 8 9

COMPONENT			WINTER			GROSS WINTER POINTS	SUMMER			GROSS SUMMER POINTS		
			AREA	x	WPM	=	AREA	x	SPM	=		
WALLS	CONCRETE	R 2.7 - 3.9			6.6				17.5			
		R 4-5.9			5.0				15.0			
		R 6 & UP			4.4				13.9			
	FRAME OR BRICK VENEER	R 11 - 18.9	3231		2.5		8077.5	3231		13.9	44910.9	
		R 19-25.9			1.5					8.6		
		R 26 & UP			1.1					6.5		
	COMMON				2.7				3.8			
	DOORS	WOOD OR METAL		102		86.5		8823	102		55.4	5650.8
		INSULATED				84.0					22.2	
		STORM DOOR				44.6					44.3	
COMMON				21.6					6.9			
CEILING	UNDER ATTIC	R 19 - 21.9	4682		1.9		8895.8	4682		8.4	39328.8	
		R 22-29.9			1.7					7.6		
		R 30 & UP			1.5					5.5		
	SINGLE ASSEMBLY NO ATTIC	R 6-7.9				5.4					22.6	
		R 8-9.9				4.0					17.3	
		R 10-11.9				3.5					14.6	
		R 12-18.9				2.5					10.6	
		R 19 - 21.9				1.9					8.4	
		COMMON				1.7					2.0	
	FLOOR OVER UNCONDITIONED SPACE	WOOD	R 0-6.9			5.8					6.6	
R 7-10.9					2.4					2.9		
R 11 - 18.9					2.1						2.3	
R 19 & UP			122		1.4		170.8	122		1.5	183	
CONCRETE		R 0-2.9				6.8					8.2	
		R 3-5.9				4.3					5.7	
		R 6-10.9				3.4					3.6	
		R 11 - 18.9				2.3					2.9	
		R 19 & UP				1.5					1.9	
COMMON					1.7					2.0		
SLAB ON GRADE	EDGE INSULATION PERIMETER		242		28.3		6848.6					
	PERIMETER	R 0 - 2.9			20.4							
		R 3-5.9			12.4							
		R 6 & UP										

GLASS DO NOT INCLUDE INTERIOR SHADING	OR	AREA	SGL	DBL	WOF 9F	GWP	OR	AREA	SINGLE		DOUBLE		SOF 9F	GSP
									CLR	TIN	CLR	TIN		
									N	116-0	55.4	38.5		
NE		55.4	38.5			NE		309	264	258	218			
E	158.8-2'	55.4	38.5	.86	7565.86	E	158.8	425	360	362	304	.95	64115.5	
SE		55.4	38.5			SE		418	354	355	298			
S	33-2'	55.4	38.5	.86	1572.25	S	33	346	294	287	242	.92	10504.56	
SW		55.4	38.5			SW		418	354	355	298			
W	48-8'	55.4	38.5	1.00	2659.2	W	48	425	360	362	304	.69	14076	
NW		55.4	38.5			NW		309	264	258	218			
H	4-0	22.6	6.8		90.4	H	4	720	605	627	524		2880	
V	45-0	55.4		1.00	2493	V	45	425				1.00	19125	
V	108-2	55.4		1.00	5983.2	W	108	425				.95	43605	
E	163.2-12	55.4		1.00	9041.28	E	163.2	425				.62	43003.2	
E	18-4	55.4		.84	887.50	E	18	425				.84	6426	
E	45-0	55.4		.85	2119.05	E	45	425				1.00	19125	

GLASS AREA MUST NOT EXCEED: SGL/CLR 15% OF FLOOR AREA, SGL/TINT 17% OF FLOOR AREA, DBL/CLR 18% OF FLOOR AREA, DBL/TINT 20% OF FLOOR AREA.

H = HORIZONTAL GLASS (SKYLIGHTS). FOR SC LESS THAN 0.83 SEE SEC. 902.2d

TOTAL GROSS WINTER POINTS	71653.84	TOTAL GROSS SUMMER POINTS	336597.76
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DUCT MULT	R = 3.5	71653.84	1.15	82401.91	R = 3.5	336597.76	1.15	387087.42
	R = 5.0		1.12		R = 5.0		1.12	
	R = 6.7		1.09		R = 6.7		1.09	
	DUCT IN COND SPACE		1.00		DUCT IN COND SPACE		1.00	

HSM FROM 9G	82401.91 × 1.00	82401.91	CSM FROM 9H	387087.42 × .76	294186.43
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DIVIDE BY FLOOR AREA	82401.91	4682	17.59 WINTER POINTS	DIVIDE BY FLOOR AREA	294186.43	4682	62.83 SUMMER POINTS
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CALCULATE E.P.I.						
WINTER POINTS	SUMMER POINTS	HOT WTR PTS	CREDIT POINTS	PENALTY POINTS	E.P.I.	
17.59	+ 62.83	- 8.9 (9I)	- 11 (9C) + (9D)	+ 8 (9E)	= 68.52	
FEWER TOTAL POINTS ARE ENCOURAGED FOR MAXIMUM ENERGY SAVINGS						

9C	DESIGN CREDIT POINTS (CP)	
CEILING FAN IN COND SPACE (max 5 CP)	1	✓
MULTIZONE A/C SEPARATED BY DOOR	5	5
CROSS VENTILATION (1 CP per room)	1	6
WHOLE HOUSE FAN (min. 1.5 cfm/s.f.)	5	✓
WOOD STOVE	2	✓
FIREPLACE with outside combustion air	2	✓
9C TOTAL (not to exceed 12 points)		11

9D	HEATING SYSTEM CREDIT POINTS	
NATURAL GAS/PROPANE HEATING		8.0
OIL HEATING		6.4

9E	DESIGN PENALTY POINTS	
WASHER AND DRYER IN COND SPACE		③
TOTAL GLASS OPENS LESS THAN 40%		5
FIREPLACE W/ INSIDE COMBUSTION AIR		⑤

9F WINTER OVERHANG FACTOR (WOF)

FEET	N	NE	E	SE	S	SW	W	NW
0-0.9	1.00	0.99	0.85	0.75	0.83	0.98	1.00	1.00
1-1.9	1.00	0.99	0.85	0.76	0.84	0.98	1.00	1.00
2-2.9	1.00	0.99	0.86	0.77	0.86	0.99	1.00	1.00
3-3.9	1.00	0.99	0.87	0.80	0.87	0.99	1.00	1.00
4-4.9	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00
5-5.9	1.00	0.99	0.91	0.86	0.92	1.00	1.00	1.00
6-6.9	1.00	0.99	0.92	0.90	0.94	1.00	1.00	1.00
7-7.9	1.00	1.00	0.94	0.92	0.96	1.00	1.00	1.00
8-8.9	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00
9-9.9	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00
10-10.9	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00
11-11.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
12 UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

9F SUMMER OVERHANG FACTOR (SOF)

FEET	N	NE	E	SE	S	SW	W	NW
0-0.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.9	1.00	1.00	0.99	0.99	0.98	0.99	0.99	1.00
2-2.9	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.98
3-3.9	1.00	0.95	0.89	0.87	0.86	0.87	0.89	0.95
4-4.9	1.00	0.91	0.84	0.81	0.80	0.81	0.84	0.91
5-5.9	0.99	0.88	0.80	0.76	0.76	0.76	0.80	0.88
6-6.9	0.99	0.85	0.76	0.72	0.72	0.72	0.76	0.85
7-7.9	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83
8-8.9	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81
9-9.9	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-10.9	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78
11-11.9	0.97	0.76	0.63	0.61	0.65	0.61	0.63	0.76
12 UP	0.97	0.76	0.62	0.59	0.64	0.59	0.62	0.76

9G HEATING SYSTEM MULTIPLIER (HSM)

HEAT PUMP	COP	2.2-2.3	2.4-2.5	2.6-2.7	2.8-2.9	3.0-3.1	3.2-3.3	3.4 & UP
	HSM	0.45	0.42	0.38	0.36	0.33	0.31	0.29
SOLAR HEATING SYSTEM	(BACKUP SYSTEM FRACTION) x (BACKUP SYSTEM HSM)							
ELECTRIC STRIP HEAT	1.00							
NATURAL GAS / PROPANE	1.0 (SEE TABLE 9D FOR CREDITS)							
OIL	1.0 (SEE TABLE 9D FOR CREDITS)							

9H COOLING SYSTEM MULTIPLIER (CSM)

ELEC.	EER/SEER	6.8-6.9	7.0-7.4	7.5-7.9	8.0-8.4*	8.5-8.9	9.0-9.4	9.5-9.9	10.0-10.4	10.5-10.9	11.0-11.9	12.0-UP
	CSM		1.00	0.93	0.87	0.81	0.76	0.72	0.68	0.65	0.62	0.59
GAS	COP	0.40-0.44	0.45-0.49	0.50-0.54	0.55-0.59	0.60-0.64	0.65-0.69	0.70 & UP				
	CSM	1.50	1.25	1.20	1.09	1.00	0.92	0.89				

*ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH MINIMUM AIR CONDITIONER EFFICIENCY LEVEL 8.0 SEER/EER FOR STRAIGHT COOL OR 7.5 FOR HEAT PUMPS.

NOTE: EER = COOLING MODE COP x 3.413 = ARI RATED COOLING OUTPUT IN BTUH ÷ TOTAL WATTS CONSUMED

9I HOT WATER CREDIT POINTS (HWCP)

ELECTRIC RESISTANCE WATER HEATER												0
GAS WATER HEATER												10
INSTANTANEOUS WATER HEATER	ELECTRIC BACKUP											4.5
	GAS BACKUP											12.6
HRU (A/C) WATER HEATER	ELECTRIC BACKUP											(8.9)
	GAS BACKUP											15.2
HRU (HP) WATER HEATER	ELECTRIC BACKUP											9.7
	GAS BACKUP											15.4
HEAT PUMP WATER HEATER (DEDICATED HEAT PUMP)	COP	1.60 - 1.89	1.90 - 2.19	2.20 - 2.49	2.50 - 2.79	2.80 - 3.00						
	CREDIT POINTS	9.0	11.4	13.1	14.4	15.4						
SOLAR HOT WATER	OVERALL SOLAR FRACTION*	0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8	0.9	1.0	
	ELECTRIC BACKUP	2.4	4.8	7.2	9.6	12.0	14.4	16.8	19.2	21.6	24.0	
	GAS BACKUP	11.4	12.8	14.2	15.6	17.0	18.8	19.8	21.2	22.6	24.0	

*PERCENT OF ANNUAL HOT WATER PROVIDED BY SOLAR SYSTEM ÷ 100 = OVERALL SOLAR FRACTION



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR SEPTIC TANK PERMIT
AND FINAL INSPECTION FORM

#35 WELL FEE IF WELL NOT INSTALLED AT
TIME OF SEPTIC SYSTEM INSPECTION

Permitted if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

Authority:
Chapter 381, 385, 388 FS
Chapter 100-6, FAC

RECEIVED
SEP 15 1982

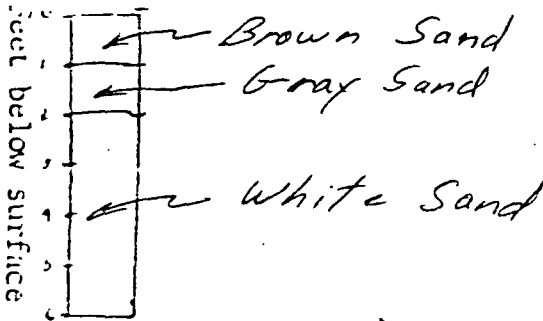
Permit Number HD82-424

Name of Applicant Charles A. Fraraccia Telephone Area 2-2527
Mailing Address of Applicant 931 E. Ocean Blvd, Stuart, Fla. 33494
To be installed at: (Give Street Address) High Point Road
Lot 100, Block - Subdivision High Point - Tele Addition
Plat Book & Page Book 4, Page 47 Date Recorded 1-7-66
Residential: No. Living Units 1 Number Bedrooms 5 PER PLANS
Commercial: Type of Business - Number People - Number Toilets -
*Note: Attach site location map and other supportive documents.
Signature of Applicant _____

SITE INFORMATION

Is there a private well within 75 ft. of the proposed septic system? No
Is there a public well within 100 ft. of the proposed septic system? No
Is there a public sewer within 100 ft. of the proposed lot? No
Is there a lake, stream, canal or other body of water within 50 ft. of the proposed septic system? No
Is there a septic system or other interference within 75 ft. of the proposed private well? No
Is the proposed or existing public water line within 10 ft. of the proposed septic system? No
There is - square feet of unobstructed land for future expansion of the drainfield.

SOIL PROFILE AND PERCOLATION DATA



BETHAM ASSOCIATES
921 N.E. COMMERCIAL ST.
JENSEN BEACH, FLORIDA
334-1800

Water table..... > 6'
**Wet season water table... > 6'
Compacted fill of..... - required.
Compacted fill check by.. _____
Date..... _____
**Taken from U.S.D.A. Soil Survey.

Certified by: [Signature]
Florida Professional Number: 3199
Date: 9-2-82 Job Number 82-195
Percolation Rate 0.5 Minutes/Inch
Soil Identification: Acceptable
Class I Group SP

INSTALLATION SPECIFICATIONS

Septic Tank Capacity 1200 Gallons
Dosing Tank Capacity _____ Gallons
Grease Trap Capacity _____ Gallons

Absorption Bed Size 440 Square Ft.
Lateral Drainfield Size _____ Square Ft.
Sand Filter Size _____ Square Ft.

Specifications:

9-8-82
Date Processed

THIS PERMIT EXPIRES ONE (1)
YEAR FROM DATE OF ISSUANCE

Robert B. Workman, R.S.
Signature of Sanitarian

MARTIN County Health Department

FINAL INSPECTION DATA

Date and Time of Inspection _____ Type of Tank (Concrete, Fiberglass, Etc.) _____
Size Tank Installed _____ Drainfield Size _____
Dosing Tank Size _____ Grease Trap Size _____ Sand Filter Size _____
Who Made Installation _____

RECOMMENDATION: Approval _____ Disapproval _____

021998 #47

Signature of Sanitarian

Note: Contractor is responsible for verifying all dimensions shown on the attached sketch and listed in the above site information prior to installation of septic tank system.

MARTIN COUNTY
CONTRACTORS
CERTIFICATE OF COMPETENCY

Effective October 1, 1982 through September 30, 1983

NAME KENNETH H. DIXON

FIRM PRECISION PLUMBING, INC

ADDRESS 692 SE Monterey Rd.
Stuart, FL 33494

CERTIFIED
CONTRACTOR MASTER PLUMBER

AUDIT
CONTROL

No 4400

CERTIFICATE NUMBER
000020

ATTEST: *Valerie A. Mason*
LICENSING ADMINISTRATOR

MARTIN COUNTY HEALTH DEPARTMENT
131 E. 7th Street
Stuart, Florida 33494

Applicant: Charles A. Ferrara

Legal Description: Part of Lots 100 & 101, High Point

Present water depth ≥ 6 feet below natural grade, not including fill.

Wet season water depth ≥ 6 feet below natural grade, not including fill.

Elevation of crown of road, midway between front lot boundary 10.00

Elevation of natural grade at area of septic system 3.40

Average depth of fill under proposed building — feet above natural grade.

Average depth of fill in area of septic system — feet above natural grade.

Surface area of required fill in area of septic system — feet².

- NOTE: 1. 150 feet² area of fill required for each bedroom in area of septic system.
2. Fill has been compacted to a density comparable to the surrounding natural soil.
3. Elevation of crown of road can be assumed to be 10.00

BETHAM ASSOCIATES
921 N.E. COMMERCIAL ST.
JENSEN BEACH, FLORIDA
334-1800

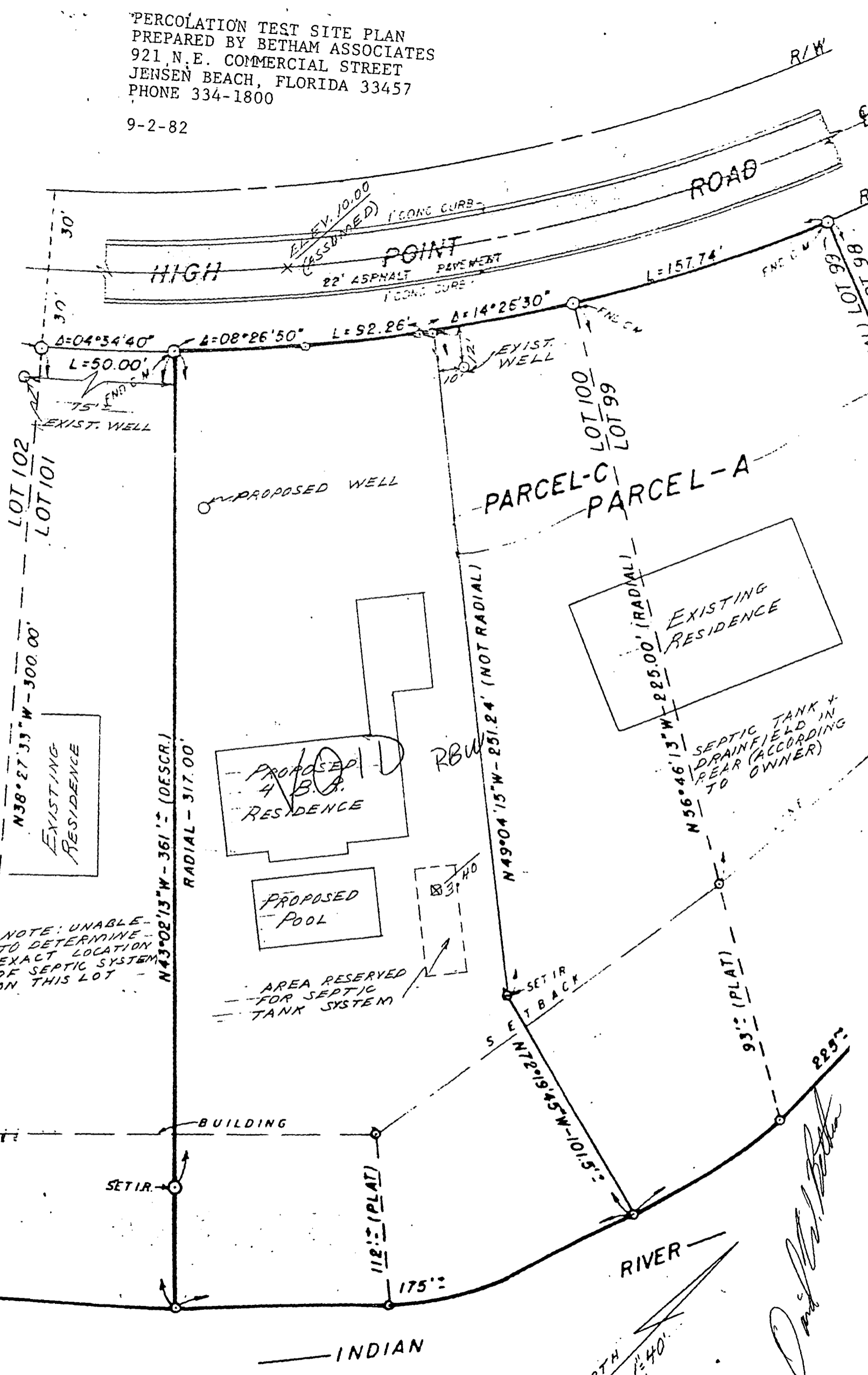
CERTIFIED BY: *Charles A. Ferrara*

Florida Professional Number 3199

Date: 9-2-82 Job Number 82-195

PERCOLATION TEST SITE PLAN
 PREPARED BY BETHAM ASSOCIATES
 921 N.E. COMMERCIAL STREET
 JENSEN BEACH, FLORIDA 33457
 PHONE 334-1800

9-2-82



NOTE: UNABLE TO DETERMINE EXACT LOCATION OF SEPTIC SYSTEM ON THIS LOT

AREA RESERVED FOR SEPTIC TANK SYSTEM

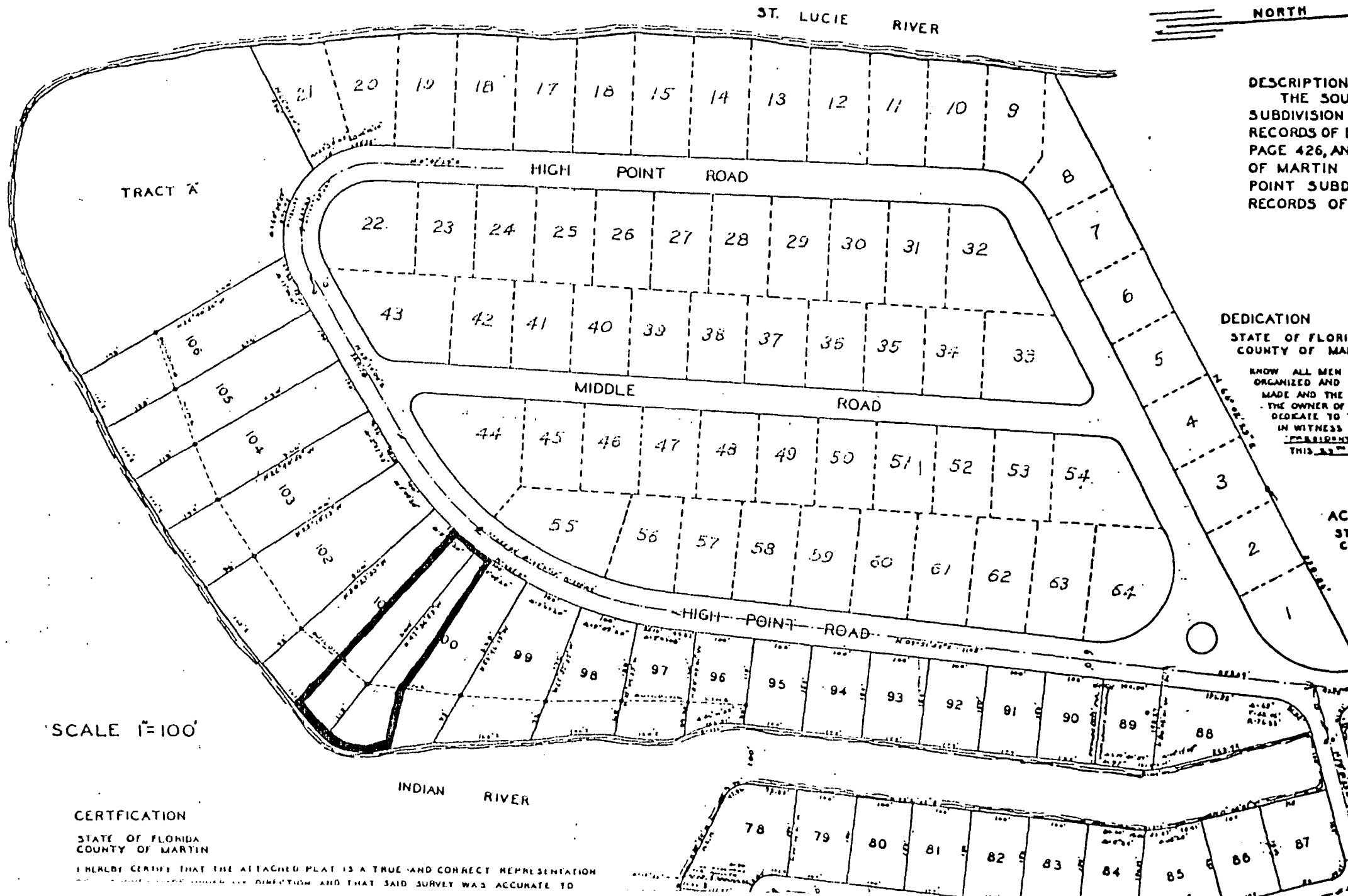
NORTH
 SCALE 1"=40'

[Handwritten Signature]

82-195

ISLE ADDITION TO HIGH POINT

ATTACH
FORM
WAS
THIS
OF THE
MARTIN
FILE #



DESCRIPTION
THE SOUTH 50 ACRES, MORE OR LESS OF SUBDIVISION OF THE HANSON GRANT, PLAT RECORDS OF DADE COUNTY, FLORIDA, AND LA: PAGE 426, AND OFFICIAL RECORD BOOK 138, OF MARTIN COUNTY, FLORIDA; LESS THOSE POINT SUBDIVISION, AS RECORDED IN PLAT RECORDS OF MARTIN COUNTY, FLORIDA.

DEDICATION
STATE OF FLORIDA
COUNTY OF MARTIN

KNOW ALL MEN BY THESE PRESENTS THAT PALM BEACH COMPANY, ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF FLORIDA, HAS MADE AND THE LAND SUBDIVIDED AS SHOWN HEREON AND DOES HEREBY DEDICATE TO THE PERPETUAL USE OF THE PUBLIC THE ROAD SHOWN ON THIS PLAT AND DESCRIBED UNDER THE NUMBER OF SAID CORPORATION. IN WITNESS WHEREOF PALM BEACH COMPANY HAS CAUSED THIS DEED TO BE SIGNED BY ITS PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED HERETO THIS 23RD DAY OF JULY, A.D., 1965.

ACKNOWLEDGEMENT
STATE OF FLORIDA
COUNTY OF MARTIN

BEFORE ME THIS DAY PERSONALLY APPEARED _____ PRESIDENT OF PALM BEACH COMPANY, WELL KNOWN TO ME, WHO ACKNOWLEDGED THE DEDICATION SHOWN HEREON, FOR THE USES AND PURPOSES OF SAID CORPORATION. IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL OF OFFICE THIS 23RD DAY OF JULY, A.D., 1965.

MY COMMISSION EXPIRES AUGUST _____, 1965.

SCALE 1"=100'

CERTIFICATION
STATE OF FLORIDA
COUNTY OF MARTIN

I HEREBY CERTIFY THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY AND THAT SAID SURVEY WAS ACCURATE TO THE NEAREST FOOT AND INCH.

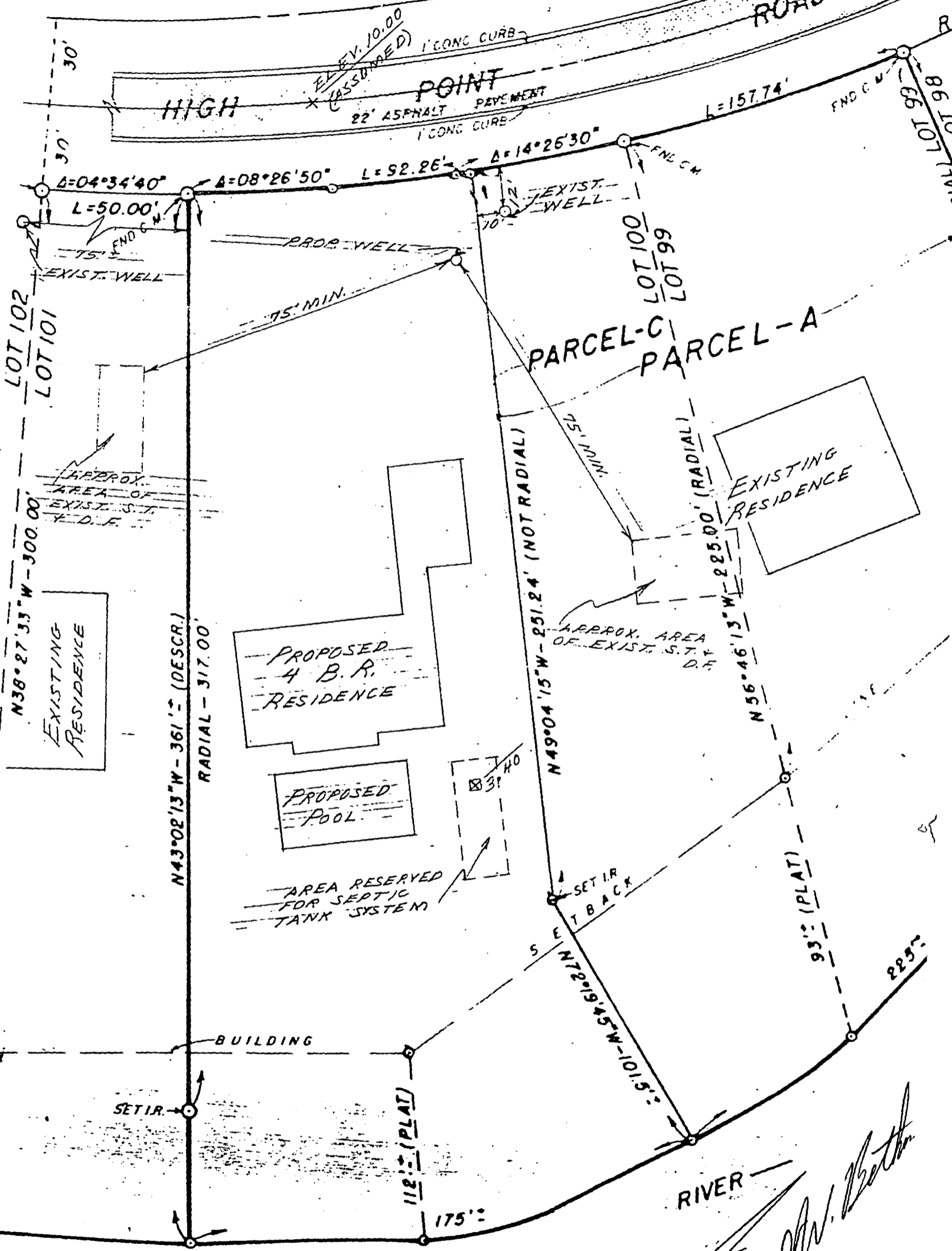
APPROVED
TOWN OF SEWAL
DATE 10-13-65

NOTES:
BEARINGS REFER TO SOLAR OBSERVATIONS MADE AT AN EASEMENT, LOCATED THROUGH LOTS 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200.

PERCOLATION TEST SITE PLAN
PREPARED BY BETHAM ASSOCIATES
921 N.E. COMMERCIAL STREET
JENSEN BEACH, FLORIDA 33457
PHONE 334-1800

9-2-82

REVISED 9-7-82



NORTH
SCALE 1"=40'
[Signature]
82-195

RECEIVED

SEP 15 1982

WARRANTY DEED

(STATUTORY FORM - SECTION 689.02 F.S.)

411098 Ans'd.....

THIS INDENTURE, made this 22nd day of May, 1981, between BRIAN C. DEUSCHLE, Individually and as Trustee, of the County of Broward, State of Florida, grantor*, and CHARLES A. FRARACCIO and DONNA A. FRARACCIO, his wife, whose post office address is 11 Rio Vista Drive, Sewall's Point, Jensen Beach, Florida 33457, of the County of Martin, State of Florida, grantee*,

WITNESSETH, that said grantor, for and in consideration of the sum of \$10.00 and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

All that certain piece of property and tract of land situate in the County of Martin and State of Florida described as follows:

"Start at the Southwest corner of Lot 101, ISLE ADDITION TO HIGH POINT, Plat Book 4, page 47, Public Records of Martin County, Florida; thence by curve concave to the Northwest, having a radius of 625.80 feet, the back tangent of which bears S 51°32'27" W, run a distance along the arc of 50.00 feet, through a central angle of 4°34'40", for the point of beginning; thence continuing along said curve having a radius of 625.80 feet, run a distance along the arc of 92.26 feet, through a central angle of 8°26'50"; thence run S 49°04'15" E a distance of 240.22 feet; thence run S 72°19'45" E a distance of 101.5 feet more or less to the waters of the Indian River; thence meander said waters southerly a distance of 225 feet more or less, to the intersection with a line that bears S 43°02'13" E from the point of beginning; thence run N 43°02'13" W along lastly said line a distance of 361 feet more or less to the point of beginning."

SUBJECT TO taxes accruing subsequent to December 31, 1980, zoning regulations in force and effect, restrictions, easements, and road rights-of-way of public record.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*"Grantor" and "grantee" are used for singular or plural, as context requires.

All recourse against the grantor under this deed is limited to the assets held under an unrecorded trust agreement dated November 30, 1977.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Marjanna Berglund
As to BRIAN C. DEUSCHLE, Individually and as Trustee

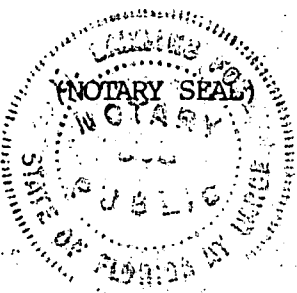
[Signature] L.S.
BRIAN C. DEUSCHLE, Individually and as Trustee

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 22nd day of May, 1981, by BRIAN C. DEUSCHLE, Individually and as Trustee.

DR BOOK 522 PAGE 691

[Signature]
Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires: 4/14/85



RECEIVED
418551 SEP 15 1982

WARRANTY DEED
(STATUTORY FORM - SECTION 689.02 F.S.)

This Instrument Prepared By:
L. L. LAIBINIS FOX
WARNER, FOX & SEBLEY
Attorneys At Law
200 Atlanta Avenue
P. O. Drawer 6
Stuart, Florida 33498

Ans'd.....
THIS INDENTURE, made this 22nd day of May, 1981, between GEORGE E. McLAIN and SARA A. McLAIN, his wife, of 24 East High Point Road, Sewall's Point, Jensen Beach, Florida, 33457, grantor*, and CHARLES A. FRARACCIO and DONNA A. FRARACCIO, his wife, whose post office address is 11 Rio Vista Drive, Sewall's Point, Jensen Beach, Florida 33457, of the County of Martin, State of Florida, grantee*,

WITNESSETH, that said grantor, for and in consideration of the sum of \$10.00 and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

All that certain piece of property and tract of land situate in the County of Martin and State of Florida described as follows:

"Start at the southwest corner of Lot 101, ISLE ADDITION TO HIGH POINT, Plat Book 4, page 47, Public Records of Martin County, Florida; thence by curve concave to the northwest, having a radius of 625.80 feet, the back tangent of which bears South 51°32'27" West, run a distance along the arc of 142.26 feet, through a central angle of 13°01'30" for the point of beginning; thence continuing along said curve having a radius of 625.80 feet, run a distance along the arc of 4.65 feet, through a central angle of 0°25'33"; thence run South 49°04'15" East a distance of 251.24 feet; thence run North 72°19'45" West a distance of 11.77 feet; thence run North 49°04'15" West a distance of 240.22 feet to the point of beginning";

THIS CONVEYANCE IS SUBJECT TO THE FOLLOWING:

1. Restrictive Covenants set forth in deeds from Bessemer Securities Corporation to Arnold R. Moyer, Jr., and Helena B. Moyer, his wife, recorded in Official Records Book 218, page 237, and in Official Records Book 243, page 465, Martin County, Florida, public records.
2. Zoning and other governmental regulations.
3. Taxes and assessments for 1978 and subsequent years.
4. Mortgage from grantees herein to FIRST NATIONAL BANK & TRUST COMPANY OF STUART, dated May 22, 1981, and recorded in Official Records Book 522, page 693, Martin County, Florida, public records;

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

THIS CONVEYANCE is subject to a special limitation that grantee's estate and title to said land shall automatically expire and revert to grantor if grantee sells said land to anyone other than grantor before grantee has completed construction of a residence on said land. For the purposes of this document, grantee shall be deemed to have completed construction of a residence when a certificate of occupancy or similar occupancy permit is issued for such residence by the governmental authority having jurisdiction over construction of the residence. Grantor agrees to execute such documents as grantee may reasonably require to remove this special limitation from the public records upon completion of construction of such residence.

OR
BOOK 527 PAGE 2314

Grantee hereby grants to grantor in gross a right of first refusal to purchase said land and the lands described on Exhibit "A" attached hereto, herein collectively referred to as "the Property," upon the same terms and conditions as those contained in any bona fide offer to purchase the Property received and accepted hereafter by grantee. For the purposes of this provision, the term "bona fide offer" shall mean a written offer to purchase the Property that sets forth all relevant terms and conditions of the proposed purchase and is accompanied by an earnest money deposit in an amount equal to at least ten percent (10%) of the purchase price, which has been accepted in writing by grantee and is binding upon the offeror and grantee, subject to this right of first refusal. Grantee shall accept no offers to purchase the Property not conforming to the foregoing definition of a bona fide offer. Grantor shall exercise this right of first refusal on or before the tenth day following

submission of the bona fide offer to grantor, by written notice from grantor to grantee that grantor elects to purchase the Property under the same terms and conditions set forth in the bona fide offer, which notice shall be accompanied by an earnest money deposit in like amount to that held under the bona fide offer. If grantor fails to notify grantee of such election within the ten (10) day period, then this right of first refusal shall automatically lapse. All submissions or notices provided for herein shall be sufficient if personally delivered to the proper party or if mailed by United States certified mail, postage prepaid, addressed to the proper party at the address set forth in this document or such other address as may be hereafter designated by notice in writing to the other party. This right of first refusal shall automatically terminate when grantee has completed construction of a residence on the Property or twenty (20) years from the date hereof, whichever first occurs. Grantor agrees to execute such documents as grantee may reasonably require to cancel this right of first refusal on the public records upon any event of lapse or termination as provided herein.

IN WITNESS WHEREOF, Grantee has hereunto set grantee's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Conrad S. Stuart
[Signature]
As to CHARLES A. FRARACCIO and DONNA A. FRARACCIO, his wife

Charles A. Fraraccio L.S.
CHARLES A. FRARACCIO
Donna A. Fraraccio L.S.
DONNA A. FRARACCIO

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 22nd day of May, 1981, by CHARLES A. FRARACCIO and DONNA A. FRARACCIO, his wife.

[Signature]
Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires: April 14, 1985



*"Grantor" and "grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Conrad S. Stuart
As to GEORGE E. McLAIN and SARA A. McLAIN, his wife

[Signature] L.S.
GEORGE E. McLAIN
[Signature] L.S.
SARA A. McLAIN

OR BOOK 527 PAGE 2315

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 22nd day of May, 1981, by GEORGE E. McLAIN and SARA A. McLAIN, his wife.

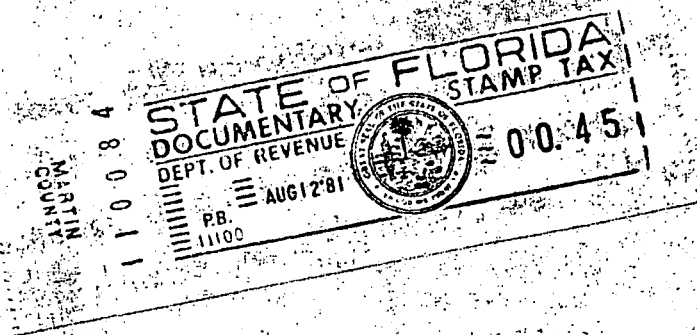
[Signature]
Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires: April 14, 1985



EXHIBIT "A"
TO
WARRANTY DEED
FROM
GEORGE E. McLAIN & SARA A. McLAIN
TO
CHARLES A. FRARACCIO & DONNA A. FRARACCIO

All that certain piece of property and tract of land situate in the County of Martin and State of Florida described as follows:

"Start at the Southwest corner of Lot 101, ISLE ADDITION TO HIGH POINT, Plat Book 4, page 47, Public Records of Martin County, Florida; thence by curve concave to the Northwest, having a radius of 625.80 feet, the back tangent of which bears S 51°32'27" W, run a distance along the arc of 50.00 feet, through a central angle of 4°34'40", for the point of beginning; thence continuing along said curve having a radius of 625.80 feet, run a distance along the arc of 92.26 feet, through a central angle of 8°26'50"; thence run S 49°04'15" E a distance of 240.22 feet; thence run S 72°19'45" E a distance of 101.5 feet more or less to the waters of the Indian River; thence meander said waters southerly a distance of 225 feet more or less, to the intersection with a line that bears S 43°02'13" E from the point of beginning; thence run N 43°02'13" W along lastly said line a distance of 361 feet more or less to the point of beginning."



LOUISE V. ISAACS
CLERK OF DISTRICT COURT
BY *[Signature]*
D.C.

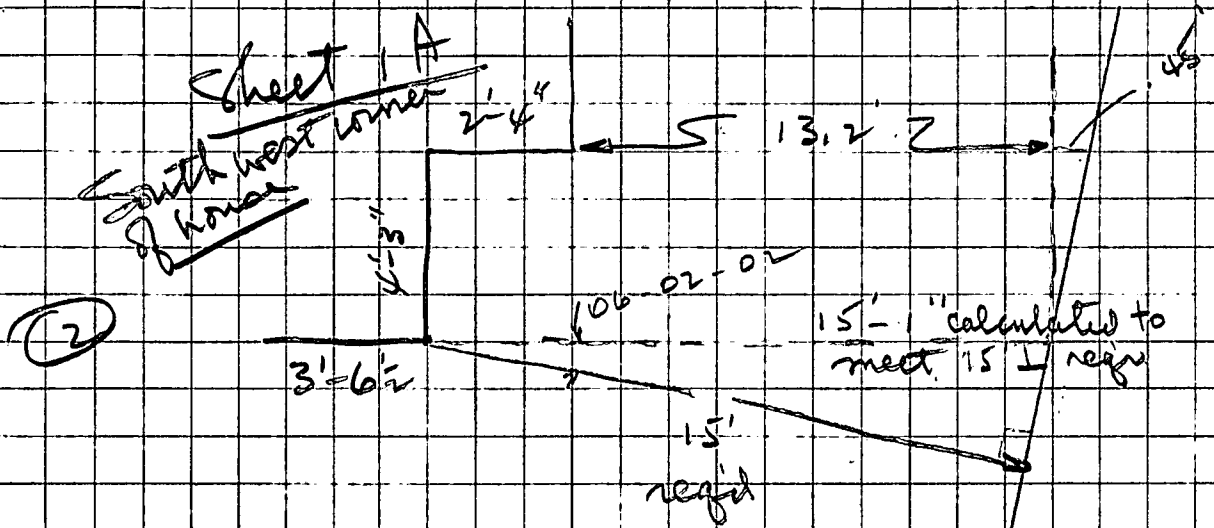
31 AUG 12 P 2: 51

FILED FOR RECORD
MARTIN COUNTY, FLA.

BURNS AND ROE, INC.

Headquarters Office—Oradell, N.J.

W.O. No. _____ Date _____ Book No. _____ Page No. _____
 Drawing No. _____ Calc. No. _____ Sheet _____ Cont. on Sheet _____
 By _____ Checked _____ Approved _____
 Title _____



even if 15' required distance is met (see item ①) it will not give 15' minimum distance to corner of fireplace. Calculate distance at this location is 13.65'

③ according to my calculation to meet zoning requirement the house must be moved eastward on the property 17+ and an on-site dimension check made to insure the north-south dimension from PL to PL is

$$\begin{array}{r}
 15 \\
 82-2 \\
 2-4 \\
 14-6\frac{1}{2} \\
 \hline
 113-12\frac{1}{2} \\
 \hline
 114-0\frac{1}{2}
 \end{array}$$
 → 114-0 1/2" to provide 15' from corner of fireplace foundation

④ maximum height of house is not shown should be 27' max.

BURNS AND ROE, INC.
Headquarters Office—Oradell, N.J.

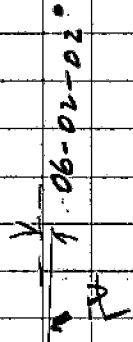
W.O. No. _____ Date _____ Book No. _____ Page No. _____
 Drawing No. _____ Calc. No. _____ Sheet _____ Cont. on Sheet _____
 By WSC Checked _____ Approved _____
 Title _____

9/10/82

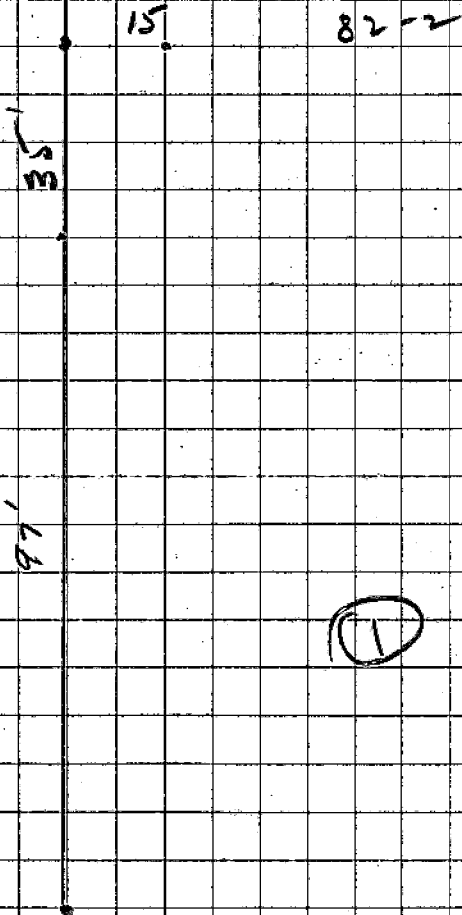
Joe

Sheet 1

Francisco
Rosendo



should be 15' 08"
for 15' 1"



15' reqd

∴ R to R at this location
132' from corner should be

$$\begin{array}{r} 82-2 \\ 15-0 \\ 15-1 \\ \hline 112-3 \end{array}$$

①

The drawing does not scale this distance - it must be checked on site

NAME AND ADDRESS OF AGENCY
CORNELIUS, JOHNSON & CLARK, INC.
 252 OSCEOLA AVENUE
 STUART, FL 33494
 (305) 283-6400

COMPANY
ST PAUL FIRE & MARINE

Effective 12:01am 9/10, 19 82
 Expires 12:01 am 10/10, 19 82

This binder is issued to extend coverage in the above named company per expiring policy # (except as noted below)

NAME AND MAILING ADDRESS OF INSURED:
CHARLES A. & DONNA FRARACCIO
 11 Rio Vista
 Jensen Beach, FL 33457

Description of Operation/Vehicles/Property
Builders Risk

PROPERTY	Type and Location of Property	Coverage/Perils/Forms	Amt of Insurance	Ded.	Coin. %
		On the 2 story approved roof frame dwelling under construction located at 28 High Point Road, Sewall's Pt, Stuart, FL	All Risk Builders Risk including theft of building materials	\$200,000	\$500.

LIABILITY	Type of Insurance	Coverage/Forms	Limits of Liability		
			Each Occurrence	Aggregate	
AUTOMOBILE	<input type="checkbox"/> Scheduled Form <input type="checkbox"/> Comprehensive Form <input type="checkbox"/> Premises/Operations <input type="checkbox"/> Products/Completed Operations <input type="checkbox"/> Contractual <input type="checkbox"/> Other (specify below) <input type="checkbox"/> Med. Pay. \$ Per Person \$ Per Accident <input type="checkbox"/> Personal Injury	<input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C	Bodily Injury \$ Property Damage \$ Bodily Injury & Property Damage Combined \$ Personal Injury \$		
	<input type="checkbox"/> Liability <input type="checkbox"/> Non-owned <input type="checkbox"/> Hired <input type="checkbox"/> Comprehensive-Deductible \$ <input type="checkbox"/> Collision-Deductible \$ <input type="checkbox"/> Medical Payments \$ <input type="checkbox"/> Uninsured Motorist \$ <input type="checkbox"/> No Fault (specify): <input type="checkbox"/> Other (specify):		Limits of Liability Bodily Injury (Each Person) \$ Bodily Injury (Each Occurrence) \$ Property Damage \$ Bodily Injury & Property Damage Combined \$		
	<input type="checkbox"/> WORKERS' COMPENSATION — Statutory Limits (specify states below) <input type="checkbox"/> EMPLOYERS' LIABILITY — Limit \$				
	SPECIAL CONDITIONS/OTHER COVERAGES <p style="text-align: center;">Annual Premium \$608.00</p>				

NAME AND ADDRESS OF MORTGAGEE LOSS PAYEE ADD'L INSURED

LOAN NUMBER

FIRST NATIONAL BANK & TRUST COMPANY
 P. O. Drawer 2316
 Stuart, FL 33494

CORNELIUS JOHNSON & CLARK, INC

Signature of Authorized Representative _____ Date **9/28/82**

TOWN *of* SEWALL'S POINT

One South Sewall's Point Road, Sewall's Point, Stuart, Florida 33494

COMMISSIONERS

GILBERT C. STRUBELL, Mayor
MIMI TOWL, Vice Mayor
DANA deWINDT, Commissioner
EDWARD H. GLUCKLER, Commissioner
JOHN C. GUENTHER, Commissioner

Telephone (305) 287-2455

JOAN H. BARROW
Town Clerk
F.J. MATUSZEWSKI
Chief of Police

July 29, 1983

Dr. Charles Fraraccio
11 Rio Vista Drive
Sewall's Point
Stuart, Florida 33494

Dear Dr. Fraraccio:

We have this date requested Florida Power and Light to install your meter for full power.

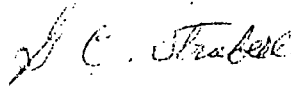
In no way is this to be construed as a certificate of occupancy.

We have done this at the request of your building superintendent who requires additional power to complete the carpentry work.

A certificate of occupancy will be issued upon final inspection at a later date.

Sincerely,

TOWN OF SEWALL'S POINT



Gilbert C. Strubell, Mayor/Building Commissioner

GCS:jb

DWELLING FIRE POLICY



RECEIVED
SEP 15 1982
Ans'd.....

A Continental *Simplified* Policy



The Continental Corporation 1982

Hartman - Tilton
INSURANCE AGENCY, INC.
 3406 N.W. FEDERAL HIGHWAY
 JENSEN BEACH, FLORIDA 33457
 PHONE: 692-1500

The Continental Insurance Companies

GENERAL OFFICES

80 Maiden Lane, New York, New York 10038

REGIONAL OFFICES

Buckeye Region	1111 East Broad Street, Columbus, Ohio 43216
Eastern Region	1 Peach Tree Hill Road, Livingston, New Jersey 07039
Metropolitan Region	99 John Street, New York, New York 10038
Pacific Region	100 Pine Street, San Francisco, California 94111
Southeastern Region	161 Peachtree Street, N.E., Atlanta, Georgia 30303
Southwestern Region	1810 Commerce Street, Dallas, Texas 75201
Western Region	360 West Jackson Boulevard, Chicago, Illinois 60606

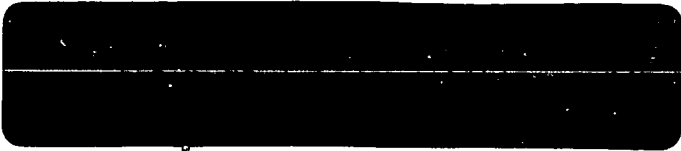
Branch and Field Offices in all Principal Cities

International Department 80 Maiden Lane, New York, New York 10038

**YOUR DWELLING POLICY
QUICK REFERENCE**

Declarations Page

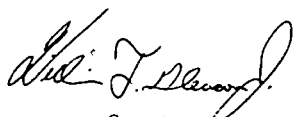
Your Name
Location of Your Residence
Policy Period
Coverages
Amounts of Insurance
Deductible



	<u>Beginning On Page</u>
Agreement	1
Definitions	1
Coverages	1
Property Coverages	
Fair Rental Value	
Additional Living Expense (Forms DP—2 and DP—3)	
Other Coverages	
Other Structures	
Debris Removal	
Improvements, Alterations and Additions	
World-Wide Coverage	
Rental Value	
Reasonable Repairs	
Property Removed	
Plants, Shrubs and Trees (Forms DP—2 and DP—3)	
Perils Insured Against	3
Exclusions	5
Conditions	6
Insurable Interest	
Duties After Loss	
Loss Settlement	
Mortgage Clause	
Cancellation	
Nonrenewal	

This policy jacket with the Dwelling Form, Declarations page and Endorsements, if any, issued to form a part thereof, completes this policy, issued by the company named in the Declarations.

In witness whereof, this company has executed and attested these presents; but this policy shall not be valid unless countersigned by the duly authorized agent of this company.


Secretary


Chairman and President

DECLARATIONS

Policy Issued By

THE CONTINENTAL INSURANCE CO.

11

A STOCK COMPANY

DFP Policy Number

4 13 78 55

Previous Policy Number

NEW

Producer's Name and Address

HARTMAN, TILTON & WILSON INSURANCE AGENCY, INC.
SEWALLS POINT, FL Jensen Beach

09 841 057

Producer's Code

Named Insured and Mailing Address (Number, Street, Apartment, Town, County, State, ZIP Code)

Charles A. & Donna Fraraccio
11 Rio Vista
Jensen Beach, Florida 33457

STANDARD FIRE INSURANCE POLICY DAILY REPORT

EXTRA COPY

Policy Period 12:01 AM Standard Time At the Described Location **9/10/82** Inception **9/10/83** Expiration **1 yr.** Years

The Described Location covered by this Policy is at the above address unless otherwise stated. (No., Street, Apartment, Town or City, County, State, ZIP Code).

26 High Point Road, Sewalls Point, Stuart, Martin Co, Florida 33457
1/2 Lot 100 and 1/2 Lot 101

We will provide the insurance described in this Policy in return for the premium and compliance with all applicable provisions of this Policy. This insurance applies to the Described Location. Coverage for which a Limit of Liability is shown and Perils Insured Against for which premium is stated. In case of loss under this Policy, we cover only that part of the loss over the deductible stated.

Coverages	A. Dwelling	B. Other Structures	C. Personal Property			
Limit of Liability	\$ 200,000	\$	\$			
PERIL(S) INSURED AGAINST	Deductible	Policy Limit of Liability	Rate	Prepaid or Installment Premium Due At Inception	Installment Premium Due At Each Anniversary	
FIRE AND LIGHTNING Extended Coverage & Special Form DWELLING UNDER CONSTRUCTION	100	\$200,000	NB 8 Zone 1	\$ 289. 134. 117.	\$	
TOTAL(S)				\$ 540.	\$	
TOTAL PREMIUM IF PAID IN INSTALLMENTS						

Mortgagee(s) (Name and Address)

First National Bank & Trust, 815 Colorado Avenue, Stuart, Fla. 33494

RATING INFORMATION

Building occupied by **DWELLING UNDER CONSTRUCTION**

Owner Tenant No. of Apts. or Families

Dwelling Apt. Dwelling Store & Dwelling One Story Store Roof Approved Yes No

Percent of Co-Insurance Applicable

Construction of Building Frame Brick, Stone or Masonry Veneer Brick, Stone or Masonry Fire Resistive Frame with aluminum or plastic siding Modular

Protection Class **8** Terr. **10** Within Over **1,000** ft. from Hydrant Within Over **3** mi. from Fire Dept.

Fire Department District at **F.D. 1-A**

Subject to the following Form and Endorsements made a part of this Policy at time of issue, each identified by form number and edition date, and each of which is deemed to include in any uncompleted entry spaces therein, such information as may be set forth below following its form number and edition date.

DP3(1/77)
DP0109(11/78)
DP0161 (1/77)

This Policy shall not be valid unless countersigned by our Authorized Agent: **Hartman-Tilton Insurance Agency**
Countersignature Date **9/9/82;cg** Countersigned by *[Signature]* Agent



DP 01 61
(Ed. 1-77)
Florida

**WINDSTORM
EXTERIOR
PAINT AND
WATERPROOFING
EXCLUSION**

Coverage to any building or structure under this policy excludes loss caused by windstorm or hail to paint or waterproofing material applied to the exterior of the building or structure.

SEACOAST



**SPECIAL
PROVISIONS**

PERILS INSURED AGAINST

The following peril is added:

Sinkhole Collapse, meaning actual physical damage arising out of, or caused by sudden settlement or collapse of the earth supporting such property and only when such settlement or collapse results from subterranean voids created by the action of water on limestone or similar rock formations.

GENERAL EXCLUSIONS

2. **Earth Movement** does not apply to Sinkhole Collapse.

The following exclusion is added:

8. **Windstorm or Hail**

- a. structure, other than a building, including the supports and screens, with a rooflike covering of cloth, metal fiberglass or plastic, whether or not the structure is attached to a building;
- b. screens, including their supports, around a pool, patio or other area;
- c. fences, property line and similar walls, including seawalls;
- d. greenhouse, hothouse, slathouse, trellis, pergola, cabana and outdoor equipment used to service the residence premises;
- e. structure, including the property in or on the structure, located in whole or in part in or over water; or
- f. awnings or canopies including the supports.

CONDITIONS

4. **Your Duties After Loss.** Paragraphs d. and e. are deleted and the following substituted:

- d. as often as we reasonably require:
 - (1) exhibit the damaged property;
 - (2) provide us with records and documents we request and permit us to make copies; and
 - (3) submit to examination under oath and subscribe the same.
- e. submit to us, within 60 days after we request, your signed, sworn proof of loss which sets forth, to the best of your knowledge and belief:
 - (1) the time and cause of loss;
 - (2) interest of you and all others in the property involved and all encumbrances on the property;
 - (3) other insurance which may cover the loss;
 - (4) changes in title or occupancy of the property during the term of the policy;
 - (5) specifications of any damaged building and detailed estimates for repair of the damage;
 - (6) an inventory of damaged personal property described in 4c;
 - (7) receipts for additional living expenses incurred and records supporting the fair rental value loss.

9. **Other Insurance** is deleted and the following substituted:

9. Other Insurance. If property covered by this policy is also covered by other fire insurance, we will pay only the proportion of a loss caused by any peril insured against under this policy that the limit of liability applying under this policy bears to the total amount of fire insurance covering the property.
13. Loss Payment is deleted and the following substituted:
 13. Loss Payment. We will adjust all losses with you. We will pay you unless some other person is named in the policy or is legally entitled to receive payment. Loss will be payable 60 days after we receive your proof of loss and:
 - a. reach agreement with you; or
 - b. there is an entry of a final judgement; or
 - c. there is a filing of an appraisal award with us.



AGREEMENT

We will provide the insurance described in this policy in return for the premium and compliance with all applicable provisions of this policy.

DEFINITIONS

Throughout this policy "you" and "your" refer to the "named insured" shown in the Declarations. "We", "us" and "our" refer to the Company providing this insurance.

COVERAGES

This insurance applies to the Described Location, Coverages for which a Limit of Liability is shown and Perils Insured Against for which a Premium is stated.

COVERAGE A DWELLING

We cover:

- a. the dwelling on the Described Location, used principally for dwelling purposes;
- b. structures attached to the dwelling;
- c. materials and supplies on or adjacent to the Described Location for use in the construction, alteration or repair of the dwelling or other structures on this location; and
- d. if not otherwise covered in this policy, building equipment and outdoor equipment used for the service of and located on the Described Location.

COVERAGE B OTHER STRUCTURES

We cover other structures on the Described Location, separated from the dwelling by clear space. Structures connected to the dwelling by only a fence, utility line or similar connection are considered to be other structures.

We do not cover other structures:

- a. used in whole or in part for commercial, manufacturing or farming purposes; or
- b. rented or held for rental to any person not a tenant of the dwelling, unless used solely as a private garage.

COVERAGE C PERSONAL PROPERTY

We cover personal property, usual to the occupancy as a dwelling and owned or used by you or members of your family residing with you while it is on the Described Location. We will cover at your request, personal property owned by a guest or servant while the property is on the Described Location.

We do not cover:

1. accounts, bills, bullion, currency, deeds, evidences of debt, manuscripts, money or securities;
2. animals, birds or fish;
3. aircraft and parts;
4. motor vehicles, other than motorized equipment used to service the Described Location; or
5. boats, other than rowboats and canoes.

If you remove personal property from the Described Location to a newly acquired principal residence, the Coverage C limit of liability shall apply at each residence for the 30 days immediately after you begin to move the property there. This time period shall not extend beyond the termination of this policy. Our liability is limited to the proportion of the limit of liability that the value at each residence bears to the total value of all personal property covered by this policy.

**COVERAGE D
FAIR RENTAL
VALUE**

We cover the fair rental value if a loss to property described in Coverage A, B or C by a Peril Insured Against under this policy makes that part of the Described Location rented to others or held for rental by you unfit for its normal use. Payment shall be for the shortest time required to repair or replace the part of the Described Location rented or held for rental. This period of time is not limited by expiration of this policy.

Fair rental value shall not include any expense that does not continue while that part of the Described Location rented or held for rental is unfit for its normal use. If a civil authority prohibits you from use of the Described Location as a result of direct damage to a neighboring location by a Peril Insured Against in this policy, we cover any resulting fair rental value loss for a period not exceeding two weeks during which use is prohibited.

We do not cover loss or expense due to cancellation of a lease or agreement.

**COVERAGE E
ADDITIONAL
LIVING
EXPENSE**

We cover the necessary increase in living expense incurred by you so that your household can maintain its normal standard of living if a loss to property described in Coverage A, B, or C by a Peril Insured Against under this policy makes the Described Location unfit for its normal use. Payment shall be for the shortest time required to repair or replace the Described Location or, if you permanently relocate the shortest time required for your household to settle elsewhere. This period of time is not limited by the expiration of this policy.

If a civil authority prohibits you from use of the Described Location as a result of direct damage to a neighboring location by a Peril Insured Against in this policy, we cover any resulting additional living expense for a period not exceeding two weeks during which use is prohibited.

We do not cover loss or expense due to cancellation of a lease or agreement.

**OTHER
COVERAGES**

1. Other Structures—You may use up to 10% of the Coverage A limit of liability for loss by a Peril Insured Against to other structures described in Coverage B. Use of this coverage does not reduce the Coverage A limit of liability for the same loss.

2. Debris Removal—We will pay the reasonable expense incurred by you for the removal of debris from a property loss covered by this policy. Debris removal expense is included in the limit of liability applying to the damaged property.

3. Improvements, Alterations and Additions—If you are a tenant of the Described Location, you may use up to 10% of the Coverage C limit of liability for loss by a Peril Insured Against to improvements, alterations and additions made at your expense to that part of the Described Location used only by you. Use of this coverage does not reduce the Coverage C limit of liability for the same loss.

4. World-Wide Coverage—You may use up to 10% of the Coverage C limit of liability for loss by a Peril Insured Against to property covered under Coverage C except rowboats and canoes, while anywhere in the world. Use of this coverage reduces the Coverage C limit of liability for the same loss.

5. Rental Value and Additional Living Expense—You may use up to 10% of the Coverage A limit of liability for loss of both fair rental value, as described in Coverage D and additional living expense as described in Coverage E.

Use of this coverage does not reduce the Coverage A limit of liability for the same loss.

6. Reasonable Repairs—We will pay the reasonable cost incurred by you for necessary repairs made solely to protect the property covered by this policy from further damage if there is coverage for the peril causing the loss. Use of this coverage is included in the limit of liability that applies to the property being repaired.

7. Property Removed—Covered property while being removed from a premises endangered by a Peril Insured Against and for not more than 30 days while removed, is covered for direct loss from any cause. This coverage does not change the limit of liability that applies to the property being removed.

8. Lawns, Plants, Shrubs and Trees—You may apply up to 5% of the Coverage A limit of liability for loss to lawns, plants, shrubs, or trees on the Described Location by fire, lightning, smoke, explosion, riot or civil commotion, aircraft, vehicles, except vehicles owned or operated by you or a resident of the Described Location, collapse of a building, and vandalism or malicious mischief, including damage during a burglary or attempted burglary, but not the theft of property. We shall not be liable for more than our proportion of \$250 on any one plant, shrub or tree including expense incurred for removing debris thereof. We do not cover property grown for commercial purposes. Payment under this coverage reduces the Coverage A limit of liability by the amount paid.

PERILS INSURED AGAINST

**COVERAGE A
DWELLING
and
COVERAGE B
OTHER
STRUCTURES**

We insure for all risks of physical loss to the property described in Coverages A and B except:

1. losses excluded under General Exclusions;
2. freezing of a plumbing, heating or air conditioning system or of a household appliance, or by discharge, leakage or overflow from within the system or appliance caused by freezing, while the dwelling is vacant, unoccupied or being constructed unless you have used reasonable care to:
 - a. maintain heat in the building, or
 - b. shut off the water supply and drain the system and appliances of water;
3. freezing, thawing, pressure or weight of water or ice, whether driven by wind or not, to a fence, pavement, patio, swimming pool, foundation, retaining wall, bulkhead, pier, wharf or dock;
4. theft of any property which is not actually part of any building or structure covered;
5. theft in or to a dwelling or structure under construction;
6. wind, hail, ice, snow or sleet to outdoor radio and television antennas and aerials including their lead-in wiring, masts or towers, or to lawns, trees, shrubs or plants;
7. vandalism and malicious mischief, theft or attempted theft or breakage of glass and safety glazing materials if the dwelling has been vacant for more than 30 consecutive days immediately before the loss. A dwelling being constructed is not considered vacant;
8. continuous or repeated seepage or leakage of water or steam over a period of time from within a plumbing, heating or air conditioning system or from within a household appliance;
9. wear and tear; marring; deterioration; inherent vice; latent defect; mechanical breakdown; rust; mold; wet or dry rot; contamination; smog; smoke from agricultural smudging or industrial operations; settling, cracking, shrinking, bulging, or expansion of pavements, patios, foundations, walls, floors, roofs or ceilings; birds, vermin, rodents, insects or domestic animals. If any of these cause water to escape from a plumbing, heating or air conditioning system or household appliance, we cover loss caused by the water. We also cover the cost of tearing out and replacing any part of a building necessary to repair the system or appliance. We do not cover loss to the system or appliance from which this water escaped.

Under item 2 thru 9, any ensuing loss not excluded is covered.

**COVERAGE C
PERSONAL
PROPERTY**

We insure for direct loss to property described in Coverage C caused by:

1. **Fire or lightning.**
2. **Windstorm or hail.**

This peril does not include loss to the property contained in a building caused by rain, snow, sleet, sand or dust unless the direct force of wind or hail damages the building causing an opening in a roof or wall and the rain, snow, sleet, sand or dust enters through this opening, or

- (1) plants, shrubs or trees;
- (2) canoes or rowboats.

3. Explosion.

4. Riot or civil commotion.

5. Aircraft, including self-propelled missiles and spacecraft.

6. Vehicles.

7. Smoke, meaning sudden and accidental damage from smoke.

8. Vandalism or malicious mischief.

This peril does not include loss by pilferage, theft, burglary or larceny:

9. Burglars.

This peril does not include loss:

- a. to property taken by burglars; or
- b. to property on the described location if the dwelling has been vacant for more than 30 consecutive days immediately before the loss.

10. Falling Objects.

This peril does not include loss to property contained in the building unless the roof or an exterior wall of the building is first damaged by a falling object. Damage to the falling object itself is not covered.

11. Weight of ice, snow or sleet which causes damage to property contained in the building.

12. Collapse of buildings or any part of a building.

This peril does not include setting, cracking, shrinking, bulging or expansion.

13. Accidental discharge or overflow of water or steam from within a plumbing, heating or air conditioning system or from within a household appliance.

This peril does not include loss:

- a. to the appliance from which the water or steam escaped;
- b. caused by or resulting from freezing; or
- c. on the described location caused by accidental discharge or overflow which occurs off the described location.

14. Sudden and accidental tearing apart, cracking, burning or bulging of a steam or hot water heating system, an air conditioning system, or an appliance for heating water.

We do not cover loss caused by or resulting from freezing under this peril.

15. Freezing of a plumbing, heating or air conditioning system or of a household appliance.

This peril does not include loss on the described location while the dwelling is unoccupied or being constructed, unless you have used reasonable care to:

- a. maintain heat in the building; or
- b. shut off the water supply and drain the system and appliances of water.

16. Sudden and accidental damage from artificially generated electrical current.

This peril does not include loss to a tube, transistor or similar electronic components.

GENERAL EXCLUSIONS

We do not cover loss resulting directly or indirectly from:

1. **Ordinance or Law**, meaning enforcement of any ordinance or law regulating the use, construction, repair, or demolition of property unless specifically provided under this policy.
2. **Earth Movement**. Direct loss by fire or explosion resulting from earth movement is covered.
3. **Water Damage**, meaning:
 - a. flood, surface water, waves, tidal water, overflow of a body of water, or spray from any of these, whether or not driven by wind;
 - b. water which backs up through sewers or drains; or
 - c. water below the surface of the ground, including water which exerts pressure on or seeps or leaks through a building, sidewalk, driveway, foundation, swimming pool or other structure.

Direct loss by fire or explosion resulting from water damage is covered.

4. **Power Interruption**, meaning the interruption of power or other utility service if the interruption takes place away from the Described Location. If a Peril Insured Against ensues on the Described Location, we will pay only for loss caused by the ensuing peril.
5. **Neglect**, meaning your neglect to use all reasonable means to save and preserve property at and after the time of a loss, or when property is endangered by a Peril Insured Against.
6. **War**, including undeclared war, civil war, insurrection, rebellion, revolution, warlike act by a military force or military personnel, destruction or seizure or use for a military purpose, and including any consequence of any of these. Discharge of a nuclear weapon shall be deemed a warlike act even if accidental.
7. **Nuclear Hazard**, to the extent set forth in the Nuclear Hazard Clause of the Conditions.

- 1. Policy Period.** This policy applies only to loss which occurs during the policy period.
- 2. Insurable Interest and Limit of Liability.** Even if more than one person has an insurable interest in the property covered, we shall not be liable:
 - a. for an amount greater than the interest of a person insured under this policy; or
 - b. for more than the limit of liability that applies.
- 3. Concealment or Fraud.** We do not provide coverage if you have intentionally concealed or misrepresented any material fact or circumstance relating to this insurance.
- 4. Your Duties After Loss.** In case of a loss to which this insurance may apply, you shall see that the following duties are performed:
 - a. give immediate notice to us or our agent;
 - b. protect the property from further damage, make reasonable and necessary repairs required to protect the property, and keep an accurate record of repair expenditures;
 - c. prepare an inventory of damaged personal property showing in detail, the quantity, description, actual cash value and amount of loss. Attach to the inventory all bills, receipts and related documents that substantiate the figures in the inventory;
 - d. exhibit the damaged property as often as we reasonably require and submit to examination under oath;
 - e. submit to us, within 60 days after we request, your signed sworn statement of loss which sets forth, to the best of your knowledge and belief:
 - (1) the time and cause of loss;
 - (2) the interest of you and all others in the property involved and all encumbrances on the property;
 - (3) other insurance which may cover the loss;
 - (4) changes in title or occupancy of the property during the term of the policy;
 - (5) specifications of any damaged building and detailed estimates for repair of the damage;
 - (6) an inventory of damaged personal property described in 4c;
 - (7) receipts for additional living expenses incurred and records supporting the fair rental value loss.
- 5. Loss Settlement.** Covered property losses are settled as follows:
 - a. Personal property and structures that are not buildings at actual cash value at the time of loss but not exceeding the amount necessary to repair or replace;
 - b. Carpeting, domestic appliances, awnings, outdoor antennas and outdoor equipment, whether or not attached to buildings, at actual cash value at the time of loss but not exceeding the amount necessary to repair or replace;
 - c. Buildings under Coverage A or B at replacement cost without deduction for depreciation, subject to the following:
 - (1) If at the time of loss the amount of insurance in this policy on the damaged building is 80% or more of the full replacement cost of the building immediately prior to the loss, we will pay the cost of repair or replacement, without deduction for depreciation, but not exceeding the smallest of the following amounts:
 - (a) the limit of liability under this policy applying to the building;
 - (b) the replacement cost of that part of the building damaged for equivalent construction and use on the same premises; or
 - (c) the amount actually and necessarily spent to repair or replace the damaged building.

(2) If at the time of loss the amount of insurance in this policy on the damaged building is less than 80% of the full replacement cost of the building immediately prior to the loss, we will pay the larger of the following amounts, but not exceeding the limit of liability under this policy applying to the building:

- (a) the actual cash value of that part of the building damaged; or
- (b) that proportion of the cost to repair or replace, without deduction for depreciation, of that part of the building damaged, which the total amount of insurance in this policy on the damaged building bears to 80% of the replacement cost of the building.

(3) In determining the amount of insurance required to equal 80% of the full replacement cost of the building immediately prior to the loss, you shall disregard the value of excavations, foundations, piers and other supports which are below the undersurface of the lowest basement floor or, where there is no basement, which are below the surface of the ground inside the foundation walls, and underground flues, pipes, wiring and drains.

(4) When the cost to repair or replace the damage is more than \$1000 or more than 5% of the amount of insurance in this policy on the building, whichever is less, we will pay no more than the actual cash value of the damage until actual repair or replacement is completed.

(5) You may disregard the replacement cost loss settlement provisions and make claim under this policy for loss or damage to buildings on an actual cash value basis and then make claim within 180 days after loss for any additional liability on a replacement cost basis.

6. Loss to a Pair or Set. In case of loss to a pair or set we may elect to:

- a. repair or replace any part to restore the pair or set to its value before the loss; or
- b. pay the difference between actual cash value of the property before and after the loss.

7. Glass Replacement. Covered loss to glass shall be settled on the basis of replacement with safety glazing materials when required by ordinance or law.

8. Appraisal. If you and we fail to agree on the amount of loss, either can demand that the amount of the loss be set by appraisal. If either makes a written demand for appraisal, each shall select a competent, independent appraiser and notify the other of the appraiser's identity within 20 days of receipt of the written demand. The two appraisers shall then select a competent, impartial umpire. If the two appraisers are unable to agree upon an umpire within 15 days, you or we can ask a judge of a court of record in the state of the Described Location to select an umpire. The appraisers shall then set the amount of the loss. If the appraisers submit a written report of agreement to us, the amount agreed upon shall be the amount of the loss. If the appraisers fail to agree within a reasonable time, they shall submit their differences to the umpire. Written agreement signed by any two of these three shall set the amount of the loss. Each appraiser shall be paid by the party selecting that appraiser. Other expenses of the appraisal and the compensation of the umpire shall be paid equally by you and us.

9. Other Insurance. If a loss covered by this policy is also covered by other insurance, we will pay only the proportion of the loss that the limit of liability that applies under this policy bears to the total amount of insurance covering the loss.

10. Subrogation. You may waive in writing before a loss all rights of recovery against any person. If not waived, we may require an assignment of rights of recovery for a loss to the extent that payment is made by us. If an assignment is sought, the person insured shall sign and deliver all related papers and cooperate with us in any reasonable manner.

11. Suit Against Us. No action shall be brought unless there has been compliance with the policy provisions and the action is started within one year after the loss.

12. Our Option. If we give you written notice within 30 days after we receive your signed, sworn statement of loss, we may repair or replace any part of the property damaged with equivalent property.

13. Loss Payment. We will adjust all losses with you. We will pay you unless some other person is named in the policy to receive payment. Payment for loss will be made within 30 days after we reach agreement with you, entry of a final judgment, or the filing of an appraisal award with us.

14. Abandonment of Property. We need not accept any property abandoned by you.

15. Mortgage Clause.

The word "mortgagee" includes trustee.

If a mortgagee is named in this policy, any loss payable under Coverage A or B shall be paid to the mortgagee and you, as interests appear. If more than one mortgagee is named, the order of payment shall be the same as the order or precedence of the mortgages.

If we deny your claim, that denial shall not apply to a valid claim of the mortgagee, if the mortgagee:

- a. notifies us of any change in ownership, occupancy or substantial change in risk of which the mortgagee is aware;
- b. pays any premium due under this policy on demand if you have neglected to pay the premium;
- c. submits a signed, sworn statement of loss within 60 days after receiving notice from us of your failure to do so. Policy conditions relating to Appraisal, Suit Against Us and Loss Payment apply to the mortgagee.

If the policy is cancelled by us, the mortgagee shall be notified at least 10 days before the date cancellation takes effect.

If we pay the mortgagee for any loss and deny payment to you:

- a. we are subrogated to all the rights of the mortgagee granted under the mortgage on the property; or
- b. at our option, we may pay to the mortgagee the whole principal on the mortgage plus any accrued interest. In this event, we shall receive a full assignment and transfer of the mortgage and all securities held as collateral to the mortgage debt.

Subrogation shall not impair the right of the mortgagee to recover the full amount of the mortgagee's claim.

16. No Benefit to Bailee. We will not recognize any assignment or grant any coverage for the benefit of any person or organization holding, storing or transporting property for a fee regardless of any other provision of this policy.

17. Cancellation.

- a. You may cancel this policy at any time by returning it to us or by notifying us in writing of the date cancellation is to take effect.
- b. We may cancel this policy only for the reasons stated in this condition by notifying you in writing of the date cancellation takes effect. This cancellation notice may be delivered to you, or mailed to you at your mailing address shown in the Declarations. Proof of mailing shall be sufficient proof of notice.

(1) When you have not paid the premium, whether payable to us or to our agent or under any finance or credit plan, we may cancel at any time by notifying you at least 10 days before the date cancellation takes effect.

(2) When this policy has been in effect for less than 60 days and is not a renewal with us, we may cancel for any reason by notifying you at least 10 days before the date cancellation takes effect.

(3) When this policy has been in effect for 60 days or more, or at any time if it is a renewal with us, we may cancel if there has been a material misrepresentation of fact which if known to us would have caused us not to issue the policy or if the risk has changed substantially since the policy was issued. This can be done by notifying you at least 30 days before the date cancellation takes effect.

(4) When this policy is written for a period longer than one year, we may cancel for any reason at anniversary by notifying you at least 30 days before the date cancellation takes effect.

- c. When this policy is cancelled, the premium for the period from the date of cancellation to the expiration date will be refunded. When you request cancellation, the return premium will be based on our short rate rules. When we cancel, the return premium will be pro rata.

- d. If the return premium is not refunded with the notice of cancellation or when this policy is returned to us, we will refund it within a reasonable time after the date cancellation takes effect.

18. Non-Renewal. We may elect not to renew this policy. We may do so by delivery to you or mailing to you at your mailing address shown in the Declarations, written notice at least 30 days before the expiration date of this policy. Proof of mailing shall be sufficient proof of notice.

19. Liberalization Clause. If we adopt any revision which would broaden the coverage under this policy without additional premium within 60 days prior to or during the policy period, the broadened coverage will immediately apply to this policy.

20. Waiver or Change of Policy Provisions. A waiver or change of any provision of this policy must be in writing by us to be valid. Our request for an appraisal or examination shall not waive any of our rights.

21. Assignment. Assignment of this policy shall not be valid unless we give our written consent.

22. Death. If you die, we insure:

- a. your legal representatives but only with respect to the property covered under the policy at the time of death;
- b. with respect to your property, the person having proper temporary custody of the property until appointment and qualification of a legal representative.

23. Nuclear Hazard Clause.

- a. "Nuclear Hazard" means any nuclear reaction, radiation, or radioactive contamination, all whether controlled or uncontrolled or however caused, or any consequence of any of these.
- b. Loss caused by the nuclear hazard shall not be considered loss caused by fire, explosion, or smoke, whether these perils are specifically named in or otherwise included within the Perils Insured Against.
- c. This policy does not apply to loss caused directly or indirectly by nuclear hazard, except that direct loss by fire resulting from the nuclear hazard is covered.

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date _____

This is to request that a Certificate of Approval for Occupancy be issued to Dr. Farabee
For property built under Permit No. 1515 Dated 7/29/83 when completed in
conformance with the Approved Plans.

Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	10/14/82	
Rough plumbing	10/14/82 + 2/11/83	
Slab	10/18/82	
Perimeter beam		
Close-in, roof and rough electric	2/11/83	
Final Plumbing	11/23/83	
Final Electric	11/23/83	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector J. Magruder date 11/23/83

Approved by Building Commissioner J. C. Strubbe date 11/28/83

Utilities notified 7/29/83 date _____

Original Copy sent to _____

(Keep carbon copy for Town files)

1567

POOL AND PATIO

Permit No. 11

RECEIVED

Date _____

1567

APPLICATION FOR A PERMIT TO BUILD ~~APR 18 1983~~ POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

Ans'd.....

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner DR CHARLES FRARACCIO Present Address # 11 RIO VISTA DR.

Phone 286-1854

Contractor LOUDEN POOLS Address 4306 S. US #1

Phone 464-2700 286-5762 FT PIERCE FL

Where licensed MARTIN CO & STAR License number CPC 010400

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 16x32 POOL & PATIO

State the street address at which the proposed structure will be built:

Subdivision High Point Isle Part Lot number 100% part Lot 10/ Block number _____

Contract price \$ 11,800 Cost of permit \$ 59 XX

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor LOUDEN POOLS
Robert J. Harry CPC 010400

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Chas Fraraccio MD PDR

TOWN RECORD

Date submitted 4/18/83 Approved: J. Magagnuca 4/18/83
Building Inspector Date

Approved: J. C. Strubell Date _____ Final Approval given: 4/25 Date _____
Commissioner Date

Certificate of Occupancy issued (if applicable) _____

SP1282 Steel Grounding 5/9/83 Date OK
Patio Steel by Building Contractor OK 6/7/83 Permit No. _____
Final Inspection 16/29/83

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

LEGAL DESCRIPTION

PARCEL "B"

ALL THAT CERTAIN PIECE OF PROPERTY AND TRACT OF LAND SITUATE IN THE COUNTY OF MARTIN AND STATE OF FLORIDA DESCRIBED AS FOLLOWS:

"Start at the southwest corner of lot 101, Isle addition to High Point, Plat book 4, Page 47, Public Records of Martin County, Florida; Thence by curve concave to the northwest, having a radius of 625.80 feet, the back tangent of which bears south 51° 32' 27" West, run a distance along the arc of 50.00 feet, through a central angle of 4° 34' 40", for the point of beginning; Thence continuing along said curve having a radius of 625.80 feet run a distance along the arc of 92.26 feet, through a central angle of 8° 26' 50"; Thence run south 49° 04' 15" East a distance of 240.22 feet; Thence run south 72° 19' 45" east a distance of 101.5 feet more or less to the waters of the Indian River; Thence meander said waters southerly a distance of 225 feet more or less, to the intersection with aline that bears south 47° 02' 13" east from the point of beginning; Thence run north 43° 02' 13" west along lastly said line a distance of 361 feet more or less to the point of beginning"

PARCEL "C"

ALL THAT CERTAIN PIECE OF PROPERTY AND TRACT OF LAND SITUATE IN THE COUNTY OF MARTIN AND STATE OF FLORIDA DESCRIBED AS FOLLOWS:

"Start at the south west corner of lot 101, Isle addition to High Point, Plat Book 4, Page 47, Public Records of Martin County, Florida; Thence by curve concave to the northwest, having a radius of 625.80 feet, the back tangent of which bears south 51° 32' 27" west, run a distance along the arc of 142.26 feet, through a central angle of 13° 01' 30" for the point of beginning; thence continuing along said curve having a radius of 625.80 feet, run a distance along the arch of 4.65 feet, through a central angle of 0° 25' 33"; Thence run south 49° 04' 15" east a distance of 251.24 feet; Thence run North 72° 19' 45" west a distance of 11.77 feet; Thence run north 49° 04' 15" west a distance of 240.22 feet to the point of beginning.

FROM SURVEY BY THE BETLAM GROUP
STUART, FLORIDA

SITE PLAN

RECEIVED

APR 18 1983

Ans'd.....

2249

DOCK

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number 2249

Date FEB 19

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner D. CHARLES FIARACCIO Present Address 26 EAST HIGH POINT ROAD
Phone 283-4354

Contractor HI-TIDE MARINE CONST. Address 3191 S.E. WAALER ST.
Phone 283-9354

Where licensed MARTIN COUNTY License number CECA11094

Electrical contractor John FOTE License number _____

Plumbing contractor N/A License number _____

Roofing contractor N/A License number _____

Air conditioning contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought:

CONSTRUCT DOCK.

State the street address at which the structure will be built:

Subdivision SEWALL'S PT. HI. PT. Lot number Part 100 & 101 Block number _____

Contract price\$ 12,000 Cost of permit\$ 80XX (inc. \$10. elec)

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature] CECA11094

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature] Charles A. Fiarraccio

TOWN RECORD

Date submitted _____ Approved [Signature] Building Inspector Date _____

Approved [Signature] 2/22/88 Final Approval given _____
Commissioner Date Date

Certificate of Occupancy issued(if applicable) _____
Date



State of Florida
DEPARTMENT OF NATURAL RESOURCES

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399

TOM GARDNER
Executive Director

BOB MARTINEZ
Governor
JIM SMITH
Secretary of State
BOB BUTTERWORTH
Attorney General
GERALD LEWIS
State Comptroller
BILL GUNTER
State Treasurer
DOYLE CONNER
Commissioner of Agriculture
BETTY CASTOR
Commissioner of Education

January 27, 1988

Dr. Charles Fraraccio
26 High Point Road
Sewell's Point
Stuart, Florida 33494

PLEASE ADDRESS REPLY TO:

Division of State Lands
Southeast Florida Field Office
The 1900 Building
1900 South Congress Avenue
West Palm Beach, Florida 33406

Dear Dr. Fraraccio:

File No. 431355268
Applicant: Charles Fraccio

Enclosed is the approved application for your proposed project, showing the location in the Indian River adjacent to 26 High Point Road, Sewall's Point, Martin County. This approval is for the installation of a private single family dock consisting of a 78' X 4' access pier and a 16' X 10' terminal platform with boat lift.

This constitutes the authority sought under Section 253.77, Florida Statutes, to pursue this project.

This letter in no way waives the authority and/or jurisdiction of any governmental entity nor does this letter disclaim any title interest that the State may have in this project site.

Sincerely,

David K. Roach
Division of State Lands
Southeast Florida Office

DKR/bs
cc: DER, PSL
BAP

RECEIVED

JUN - 9 1987

Dept. Of Environmental Regulation
Port St. Lucie

2864100

JOINT APPLICATION
DEPARTMENT OF THE ARMY/FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION
For Activities in the Waters of the State of Florida

CORPS APPLICATION NUMBER (official use only)

DER APPLICATION NUMBER (official use only)

431355268

1. APPLICANT'S NAME AND ADDRESS

C H A R L E S F R A R A C C I O
NAME

2 6 H I G H P T R D S E W A L L S P O I N T
STREET

S T U A R T F L 3 3 4 9 4
CITY STATE ZIP

TELEPHONE NUMBER (Day) (305) 286-1854 (Night) ()

2. Name, address, zip code and title of applicant's authorized agent for permit application coordination

APPROVED
Department of Natural Resources
American Marine Consultants
3051 Industrial 25th Street
Fort Pierce, Florida 33450
Sawyer 22 1988

Telephone Number (395) 465-5988

on
By [Signature]
DER Code
W.M. Code
Division of State Lands

3. NAME OF WATERWAY AT LOCATION OF THE ACTIVITY

Indian River/St. Lucie River Cross Roads

4. LOCATION WHERE PROPOSED ACTIVITY EXISTS OR WILL OCCUR

26 E. High Pt. Rd.
Street, road or other descriptive location

13 38s 41E
Section Township Range

Sewalls Point
Incorporated city or town

27° 10' 15" 80° 11' 20"
Latitude Longitude

Martin
County

Tax Assessors Description: (if known)

Map No. Subdiv. No. Lot No.

5. NAME AND ADDRESS INCLUDING ZIP CODE OF ADJOINING PROPERTY OWNERS WHOSE PROPERTY ALSO ADJOINS THE WATERWAY.

North: Charles R. Walgreen, III
200 Wilmot Road
Deerfield, IL 60015

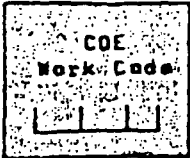
South: Frank D. Murphy
30 E. High Point Rd.
Stuart, FL 33494

6. PROPOSED USE

Private Single Dwelling [X] Private Multi-dwelling [] Public []
Commercial [] Other [] (Explain in remarks)

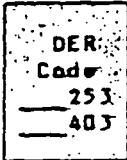
7. DESCRIPTION OF PROJECT (Use additional sheets, if necessary)

- A. Structures: 1. New work Maintenance of existing structure
2. Piers, docks and use: Commercial Private Public
- a. Single pier length 80' width 6'
- b. Number of piers [] length 30' width 12'
- c. Number of boat slips [2] length 36' width 18'
- d. Number of finger piers [] length _____ width _____
- e. Other (please describe) 12'x 34' platform; 4'x35' catwalk; boat lifts
3. Seawalls, revetments, bulkheads: length _____
- a. Type: Vertical Riprap Slope: _____ Horizontal: _____ Vertical _____
- b. Material to be used _____
4. Other type of structure 9,000 lb. and 30,000 lb. boat lifts



- B. Excavation or Dredging: New Work Maintenance work Total acreage involved _____
1. Access Channel or Canal Length _____ ft. Width _____ ft. Depth _____ ft.
2. Boat Basin or Boat Slip Length _____ ft. Width _____ ft. Depth _____ ft.
3. Other _____ Length _____ ft. Width _____ ft. Depth _____ ft.
4. Cubic yards: Total for project _____
- a. _____ cyd. waterward/ _____ cyd. landward of ordinary/mean high water
- b. Type of material to be excavated/dredged _____

- C. Fill:
1. Amount of material
- a. Cubic yards placed waterward of ordinary/mean high water _____
- b. Cubic yards placed landward of ordinary/mean high water _____
- c. Total acreage to be filled _____ Total acreage of wetlands involved _____
2. Containment for fill:
- a. Dikes [] b. Seawall, etc. [] c. Other (please explain) _____
3. Type of fill material to be used _____
4. Source of fill material to be used _____



8. Date activity is proposed to commence receipt of all necessary permits within 30 days of ; to be completed from commencement within one year from.

9. Previous permits for this project have been _____ DER # _____ Corps # _____
A. Denied (date) _____
B. Issued (date) _____
C. Other (please explain) No previous application made.
Differentiate between existing work and proposed work on the drawings.

10. Remarks (See Instruction Pamphlet for additional information required for all applications and certain activities. Use additional sheets if necessary.)
See Exhibit A

11. AFFIDAVIT OF OWNERSHIP OR CONTROL of the property on which the proposed project is to be undertaken

I CERTIFY THAT: (please check appropriate space)
 I am the record owner, lessee, or record easement holder of the property described below.
 I am not the record owner, lessee, or record easement holder of the property described below, but I will have before undertaking the proposed work the requisite property interest. (Please explain what the interest will be and how it will be acquired.)

LEGAL DESCRIPTION OF PROPERTY SITUATED IN Martin COUNTY, FLORIDA
(Use additional sheets if necessary)

Parcel Control No.: 13-38-41-003-000-01010-5-0000

Charles A. Fraraccio
Signature

Sworn and subscribed before me at Martin County, Florida, this 28th day of MAY, 1989.

J. A. Jeta
NOTARY PUBLIC 6-7-90

My commission expires:

12. Application is made for a permit(s) to authorize the activities described herein.

- A. I authorize the agent listed in Item #2 to negotiate modifications or revisions, when necessary, and accept or assent to any stipulations on my behalf.
- B. I understand I may have to provide any additional information/data that may be necessary to provide reasonable assurance or evidence to show that the proposed project will comply with the applicable State Water Quality Standards or other environmental standards both before construction and after the project is completed.
- C. In addition, I agree to provide entry to the project site for inspectors with proper identification or documents as required by law from the environmental agencies for the purpose of making preliminary analyses of the site. Further, I agree to provide entry to the project site for such inspectors to monitor permitted work if a permit is granted.
- D. Further, I hereby acknowledge the obligation and responsibility for obtaining all of the required state, federal or local permits before commencement of construction activities. I also understand that before commencement of this proposed project I must be granted separate permits or authorizations from the U.S. Corps of Engineers, the U.S. Coast Guard, the Department of Environmental Regulation, and the Department of Natural Resources, as necessary.

I CERTIFY that I am familiar with the information contained in this application, and that to the best of my knowledge and belief such information is true, complete and accurate. I further certify that I possess the authority to undertake the proposed activities.

Charles A. Francis
Signature of Applicant

May 28, 1987
Date

NOTE: THIS APPLICATION MUST BE SIGNED by the person who desires to undertake the proposed activity or by an authorized agent. If an agent is applying on behalf of the applicant, attach proof of authority for the agent to sign and bind the applicant.

18 U.S.C. Section 1001 provides that: Whoever in any manner within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies, conceals, or covers up by any trick, scheme, or device a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than five years, or both.

NOTICE TO PERMIT APPLICANTS

This is a Joint Application; it is NOI a Joint Permit!

You Must Obtain All Required Local, State, and Federal

Authorizations or Permits Before Commencing Work!!

For your information: Section 370.034, Florida Statutes, requires that all dredge and fill equipment owned, used, leased, rented or operated in the state shall be registered with the Department of Natural Resources. Before selecting your contractor or equipment you may wish to determine if this requirement has been met. For further information, contact the Chief of the Bureau of Licenses and Motorboat Registration, Department of Natural Resources, 3900 Commonwealth Boulevard, Tallahassee, Florida 32303. Telephone Number 904/488-1195. THIS IS NOT A REQUIREMENT FOR A PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL REGULATION.

EXHIBIT A

Item 10. (Fraraccio)

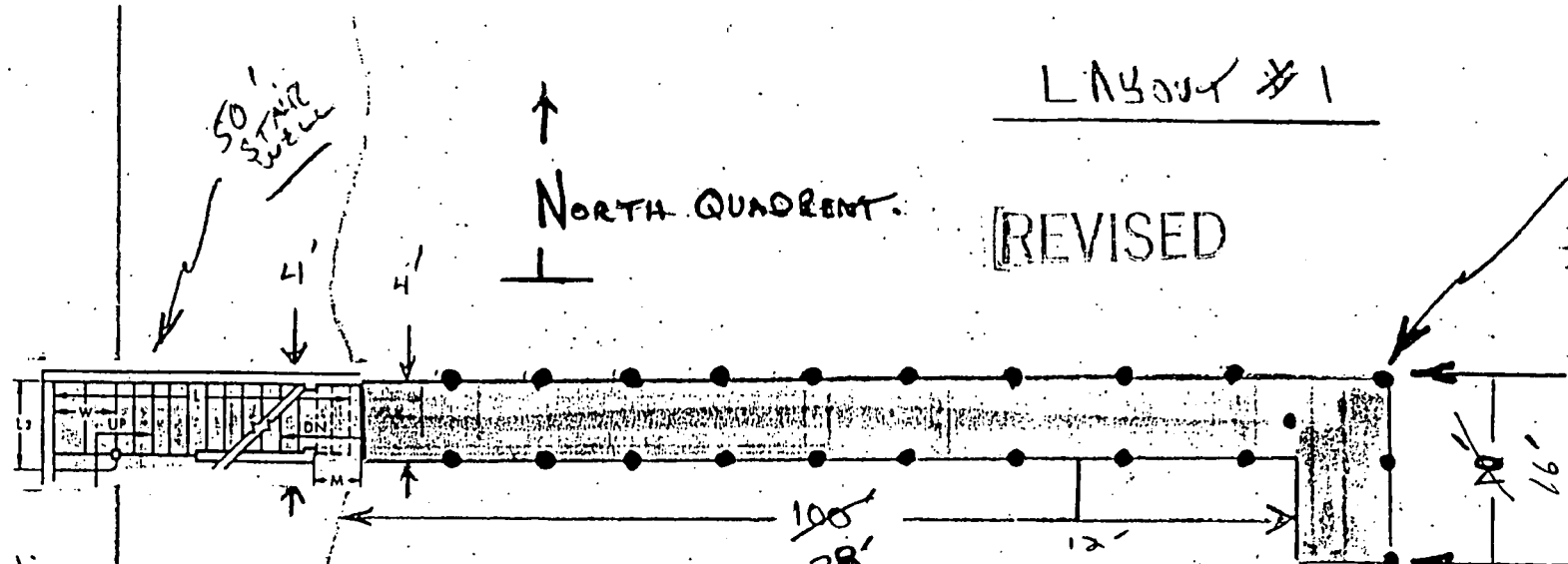
There will be no dredging, sanitary or fueling associated with this proposed work. During construction, pilings will be jetted and will not increase the turbidity. In the event turbidity does become a problem, silt screens will be utilized. The most narrow width of the waterway is approximately 800 feet at the site.

LAYOUT #1

NORTH QUADRANT.

REVISED

NOTE: 4' AT MEAN HIGH WATER

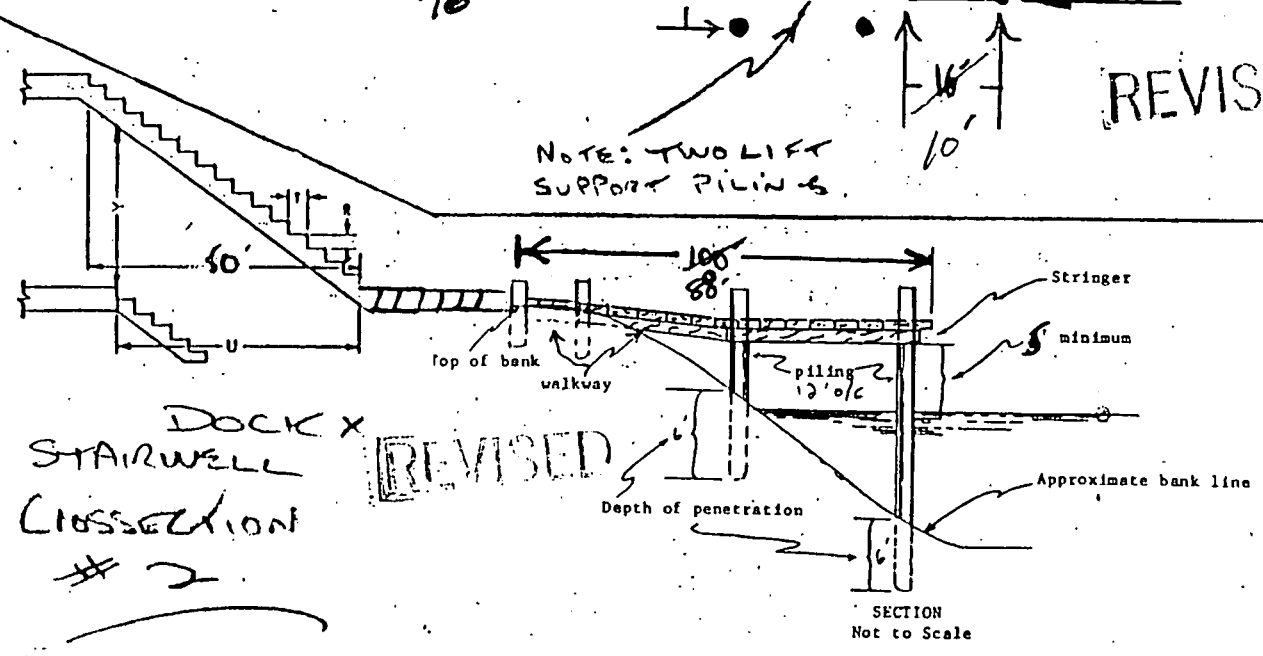


REVISED

NOTE: TWO LIFT SUPPORT PILING

LOT # 26 E. HIGH PT. ROAD,

MEAN HIGH WATER LINE



DOCK X STAIRWELL CROSSSECTION #2

REVISED

SECTION Not to Scale

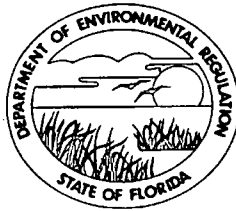
PROPOSED DOCK LOCATION!

HI-TIDE MARINE CONST., INC.
3191 S.E. Waaler Street
Stuart, FL 33497
Ph: (305) 283-9354

DR. CHARLES FIARALLO
26 E. HIGH PT. RD.
SEAVILLE POINT
DWG: DAN DYBEK
JANUARY 21 1987

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

**SOUTHEAST FLORIDA DISTRICT
BRANCH OFFICE**
2745 SOUTHEAST MORNINGSIDES BOULEVARD
PORT ST. LUCIE, FLORIDA 33452



BOB MARTINEZ
GOVERNOR
DALE TWACHTMANN
SECRETARY

February 5, 1988

Charles Fraraccio
26 East High Point Road
Sewalls Point
Stuart, Florida 33494

DF - Martin County
Permit #431355268

Dear Mr. Fraraccio:

MODIFICATION

This office has completed the review of your request to modify the referenced permit. The modification includes the following:

- 1) Reducing the width of the entire access pier to 4'.
- 2) Reducing the terminus to one L-platform measuring 16' by 10'.
- 3) Reducing overall dock length to 88'.
- 4) Elevating the decking to 5' above mean high water.

The proposed modification is not expected to result in any additional or significant water quality/biological resource degradation. Accordingly, the permit is hereby modified. By copy of this letter and the attached drawings, we are notifying all necessary parties of the modifications.

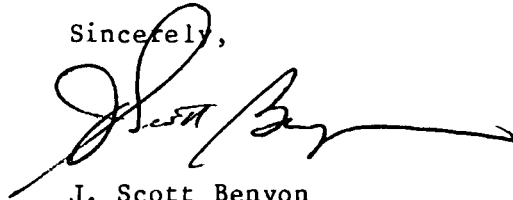
This letter of approval does not alter the expiration date, Specific or General Conditions, or monitoring requirements of the permit. This letter and accompanying drawings must be attached to the original permit.

This letter constitutes final agency action unless a person substantially affected by this action requests an administrative hearing pursuant to Section 120.57, Florida Statutes. The petition must be filed within fourteen (14) days from receipt of this letter. The petition must comply with the requirements of Florida Administrative Code Rule 28-5.201 and be filed pursuant to Rule 17-103.155(1) in the Office of General Counsel of the Department of Environmental Regulation at 2600 Blair Stone Road, Tallahassee, Florida 32301-8241. Petitions which are not filed in accordance with the above provisions will not be accepted by the Department. If a formal proceeding pursuant to Section 120.57(1) is requested, at such formal hearing all parties shall have an opportunity to respond, to present evidence and argument on all issues involved, to conduct cross-examination of witnesses and submit rebuttal evidence, to submit proposed findings of facts and orders, to file exceptions to any order or hearing officer's recommended order, and to be represented by counsel. If an informal proceeding is requested, the agency will, in accordance with its rules of procedure, give affected persons or parties or their counsel an opportunity, at a convenient time and place, to present to the agency or

Page Two
Modification
Permit #431355268

hearing officer written or oral evidence in opposition to the agency's action or refusal to act, or a written statement challenging the grounds upon which the agency has chosen to justify its action or inaction, pursuant to Section 120.57(2), Florida Statutes. The hearing process is designed to formulate agency action. Accordingly, the Department's final action as a result of a hearing may be different from the position taken by it in this stage. Therefore, any person who may wish to contest the Department's ultimate permitting decision must petition for hearing within the fourteen day period described above. Failure to file a request for hearing within this time period shall constitute a waiver of any right such person may have to request a hearing under Section 120.57, Florida Statutes.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Scott Benyon", with a long horizontal flourish extending to the right.

J. Scott Benyon
District Manager

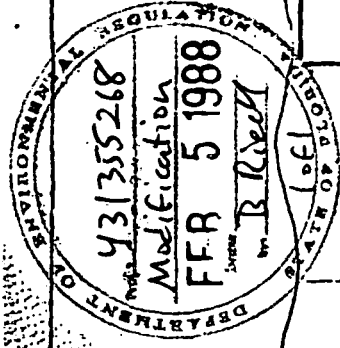
JSB:brt/26

cc: DNR
COE, Miami
Mike Zimmerman, COE

225'

LOT # 26 E. HIGH PT. ROAD,

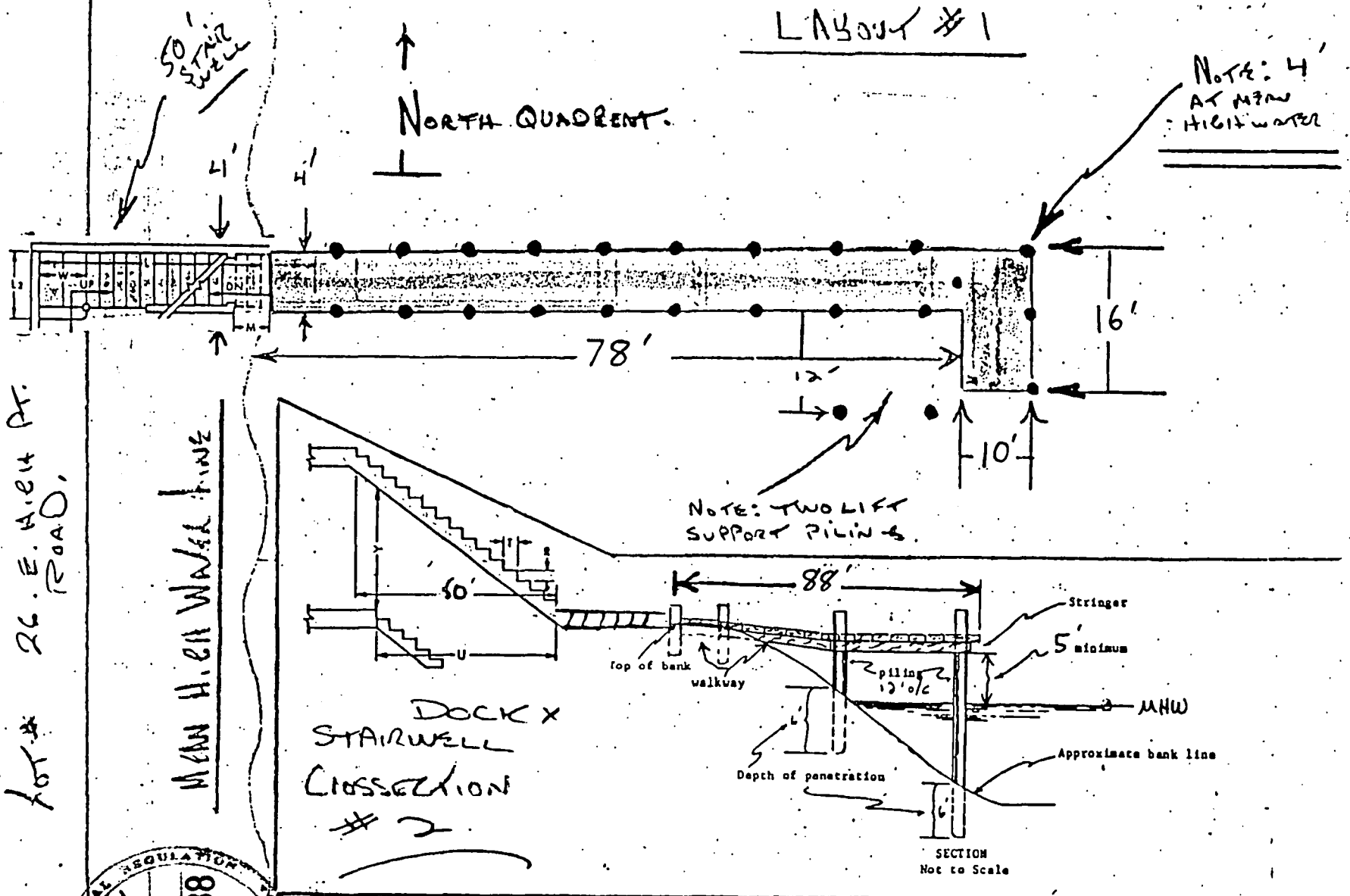
MEAN HIGH WATER LINE



PROPOSED DOCK LOCATION!

HI-TIDE MARINE CONST., INC.
3191 S.E. Waaler Street
Stuart, FL 33497
Ph: (305) 283-9354

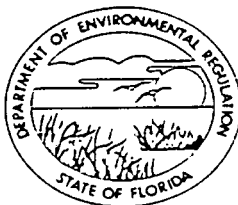
DR. CHARLES FIARIELLO
26 E. HIGH PT. ROAD
SAUNTERS POINT
DWG: DAN DYKALC
JANUARY 21 1987



STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

FILE

SOUTHEAST FLORIDA DISTRICT
BRANCH OFFICE
2745 SOUTHEAST MORNINGSIDES BOULEVARD
PORT ST. LUCIE, FLORIDA 33452



BOB MARTINEZ
GOVERNOR
DALE TWACHTMANN
SECRETARY

September 18, 1987

NOTICE OF PERMIT

Charles Fraraccio
c/o American Marine Consultants
3051 Industrial 25th Street
Fort Pierce, Florida 33450

DF - Martin County
Private Dock
Indian River

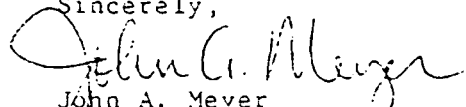
Dear Mr. Fraraccio:

Enclosed is Permit Number 431355268 to construct a dock, issued pursuant to Section 403, Florida Statutes.

Persons whose substantial interests are affected by this permit have a right, pursuant to Section 120.57, Florida Statutes, to petition for an administrative determination (hearing) on it. The petition for an administrative determination of Chapters 17-103 and 28-5.201, FAC, must be filed (received) in the Department's Office of General Counsel, 2600 Blair Stone Road, Tallahassee 32301, within fourteen (14) days of receipt of this notice. Failure to file a petition within the fourteen (14) days constitutes a waiver of any right such person has to an administrative determination (hearing) pursuant to Section 120.57, Florida Statutes. This permit is final and effective on the date filed with the Clerk of the Department unless a petition is filed in accordance with this paragraph or unless a request for extension of time in which to file a petition is filed within the time specified for filing a petition and conforms to Rule 17-103.070, FAC. Upon timely filing of a petition or a request for an extension of time this permit will not be effective until further Order of the Department.

When the Order (Permit) is final, any party to the Order has the right to seek judicial review of the Order pursuant to Section 120.68, Florida Statutes, by the filing of a Notice of Appeal pursuant to Rule 9.110, Florida Rules of Appellate Procedure, with the Clerk of the Department in the Office of General Counsel, 2600 Blair Stone Road, Tallahassee, Florida 32301; and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate District Court of Appeal. The Notice of Appeal must be filed within 30 days from the date the Final Order is filed with the Clerk of the Department.

JAM:brv/4

Sincerely,

John A. Meyer
Supervisor, Dredge & Fill Permitting

Copies furnished to:

Corps of Engineers
DNR
Property Appraisers
Martin County Department of Public Works
City of Sewalls Point

CERTIFICATE OF SERVICE

This is to certify that this NOTICE OF PERMIT and all copies were mailed before the close of business on September 20, 1957 to the listed persons.

Clerk Stamp

FILING AND ACKNOWLEDGEMENT
FILED, on this date, pursuant to
§120.52(10), Florida Statutes, with
the designated Department Clerk,
receipt of which is hereby
acknowledged.

Carl E. Williams 9/20/57
Clerk Date

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

SOUTHEAST FLORIDA SUBDISTRICT
BRANCH OFFICE
2745 SOUTHEAST MORNINGSTAR BOULEVARD
FORT ST. LUCIE, FLORIDA 33452



BOB MARTINEZ
GOVERNOR
DALE TWACHTMANN
SECRETARY

PERMITTEE:
Charles Fraraccio
c/o American Marine Consultants
3051 Industrial 25th Street
Fort Pierce, Florida 33450

I.D. Number: 5143P00480
Permit/Certification Number: 431355268
Date of Issue: September 18, 1987
Expiration Date: September 18, 1990
County: Martin
Latitude/Longitude: 27°10'15"/80°11'21"
Section/Township/Range: 13/38S/41E
Project: Private Dock

This permit is issued under the provisions of Chapter 403, Florida Statutes, and Florida Administrative Code Rules 17-3, 17-4 and 17-27. The above named permittee is hereby authorized to perform the work or operate the facility shown on the application and approved drawing(s), plans, and other documents attached hereto or on file with the department and made a part hereof and specifically described as follows:

CONSTRUCT:

- A 1,044 square foot dock consisting of:
- a) a 90' by 6' access pier incorporating a 4' wide interlude for that portion constructed through existing mangroves.
 - b) a 34' by 12' terminal platform.
 - c) a 36' by 4' catwalk.

IN ACCORDANCE WITH:

The two (2) stamped drawings which are attached and a part hereof and DER application Form 17-1.203(1) dated June 9, 1987 and signed by Charles A. Fraraccio (not attached).

LOCATED AT:

26 East High Point Road, Class III waters, Aquatic Preserve A-10, Indian River, Section 13, Township 38S, Range 41E, Sewalls Point, Martin County.

SUBJECT TO:

GENERAL CONDITIONS one (1) through fifteen (15) and SPECIFIC CONDITIONS one (1) through five (5).

PERMITTEE:
Charles Fraraccio
c/o American Marine Consultants
Fort Pierce, Florida

I.D. Number: 5143P00480
Permit/Certification Number: 431355268
Date of Issue:
Expiration Date:

GENERAL CONDITIONS:

1. The terms, conditions, requirements, limitations, and restrictions set forth herein are "Permit Conditions" and as such are binding upon the permittee and enforceable pursuant to the authority of Sections 403.161, 403.727, or 403.859 through 403.861, Florida Statutes. The permittee is hereby placed on notice that the department will review this permit periodically and may initiate enforcement action for any violation of the "Permit Conditions" by the permittee, its agents, employees, servants or representatives.
2. This permit is valid only for the specific processes and operations applied for and indicated in the approved drawings or exhibits. Any unauthorized deviation from the approved drawings, exhibits, specifications, or conditions of this permit may constitute grounds for revocation and enforcement action by the department.
3. As provided in Subsections 403.087(6) and 403.722(5), Florida Statutes, the issuance of this permit does not convey any vested rights or any exclusive privileges. Nor does it authorize any injury to public or private property or any invasion of personal rights, nor any infringement of federal, state or local laws or regulations. This permit does not constitute a waiver of or approval of any other department permit that may be required for other aspects of the total project which are not addressed in the permit.
4. This permit conveys no title to land or water, does not constitute state recognition or acknowledgement of title, and does not constitute authority for the use of submerged lands unless herein provided and the necessary title or leasehold interests have been obtained from the state. Only the Trustees of the Internal Improvement Trust Fund may express state opinion as to title.
5. This permit does not relieve the permittee from liability for harm or injury to human health or welfare, animal, plant or aquatic life or property and penalties therefor caused by the construction or operation of this permitted source, nor does it allow the permittee to cause pollution in contravention of Florida Statutes and department rules, unless specifically authorized by an order from the department.
6. The permittee shall at all times properly operate and maintain the facility and systems of treatment and control (and related appurtenances) that are installed or used by the permittee to achieve compliance with the conditions of this permit, as required by department rules. This provision includes the operation of backup or auxiliary facilities or similar systems when necessary to achieve compliance with the conditions of the permit and when required by department rules.
7. The permittee, by accepting this permit, specifically agrees to allow authorized department personnel, upon presentation of credentials or other documents as may be required by law, access to the premises, at reasonable times, where the permitted activity is located or conducted for the purpose of:
 - a. Having access to and copying any records that must be kept under the conditions of the permit;
 - b. Inspecting the facility, equipment, practices, or operations regulated or required under this permit; and
 - c. Sampling or monitoring any substances or parameters at any location reasonably necessary to assure compliance with this permit or department rules.Reasonable time may depend on the nature of the concern being investigated.
8. If, for any reason, the permittee does not comply with or will be unable to comply with any condition or limitation specified in this permit, the permittee shall immediately notify and provide the department with the following information:
 - a. a description of and cause of non-compliance; and

PERMITTEE:
Charles Fraraccio
c/o American Marine Consultants
Fort Pierce, Florida

I.D. Number: 5143P00480
Permit/Certification Number: 431355268
Date of Issue:
Expiration Date:

b. the period of noncompliance, including exact dates and times; or, if not corrected, the anticipated time the non-compliance is expected to continue, and steps being taken to reduce, eliminate, and prevent recurrence of the non-compliance.

The permittee shall be responsible for any and all damages which may result and may be subject to enforcement action by the department for penalties or revocation of this permit.

9. In accepting this permit, the permittee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this permitted source, which are submitted to the department, may be used by the department as evidence in any enforcement case arising under the Florida Statutes or department rules, except where such use is proscribed by Sections 403.73 and 403.111, Florida Statutes.
10. The permittee agrees to comply with changes in department rules and Florida Statutes after a reasonable time for compliance, provided however, the permittee does not waive any other rights granted by Florida Statutes or department rules.
11. This permit is transferable only upon department approval in accordance with Florida Administrative Code Rules 17-4.12 and 17-30.30, as applicable. The permittee shall be liable for any non-compliance of the permitted activity until the transfer is approved by the department.
12. This permit is required to be kept at the work site of the permitted activity during the entire period of construction or operation.
13. This permit also constitutes:
 - () Determination of Best Available Control Technology (BACT)
 - () Determination of Prevention of Significant Deterioration (PSD)
 - () Certification of Compliance with State Water Quality Standards (Section 401, PL 92-500)
 - () Compliance with New Source Performance Standards
14. The permittee shall comply with the following monitoring and record keeping requirements:
 - a. Upon request, the permittee shall furnish all records and plans required under department rules. The retention period for all records will be extended automatically, unless otherwise stipulated by the department, during the course of any unresolved enforcement action.
 - b. The permittee shall retain at the facility or other location designated by this permit records of all monitoring information (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation), copies of all reports required by this permit, and records of all data used to complete the application for this permit. The time period of retention shall be at least three years from the date of the sample, measurement, report or application unless otherwise specified by department rule.
 - c. Records of monitoring information shall include:
 - the date, exact place, and time of sampling or measurements;
 - the person responsible for performing the sampling or measurements;
 - the date(s) analyses were performed;
 - the person responsible for performing the analyses;
 - the analytical techniques or methods used; and
 - the results of such analyses.
15. When requested by the department, the permittee shall within a reasonable time furnish any information required by law which is needed to determine compliance with the permit. If the permittee becomes aware that relevant facts were not submitted or were incorrect in the permit application or in any report to the department, such facts or information shall be submitted or corrected promptly.

PERMITTEE:
Charles Fraraccio
c/o American Marine Consultants
3051 Industrial 25th Street
Fort Pierce, Florida 33450

I.D. Number: 5143P00480
Permit/Certification Number: 431355268
Date of Issue: September 18, 1987
Expiration Date: September 18, 1990

SPECIFIC CONDITIONS:

1. Written notification shall be provided to the Department of Environmental Regulation, Southeast Florida District Branch Office in Port St. Lucie, a minimum of forty-eight (48) hours prior to commencement of construction and a maximum of forty-eight (48) hours after completion of construction.
2. An effective means of turbidity control, such as, but not limited to, turbidity curtains, shall be employed during all operations that may create turbidity in excess of standards provided in Chapter 17-3 of the Florida Administrative Code. Turbidity control shall remain in place until all turbidity has subsided.
3. Reflective devices shall be installed on the dock terminus in such a way that will alert night boat traffic of its presence.
4. All other necessary State, Federal, or Local permits must be applied for and received prior to the start of work.
5. "No person shall commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund or the Department of Natural Resources under Chapter 253, until such person has received from the Board of Trustees of the Internal Improvement Trust Fund the required lease, license, easement, or other form of consent authorizing the proposed use." Pursuant to Florida Administrative Code Rule 16Q-14, if such work is done without consent, or if a person otherwise damages state land or products of state land, the Board of Trustees may levy administrative fines of up to \$10,000 per offense.

Issued this 18th day of September, 1987

JSB:brv/4

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

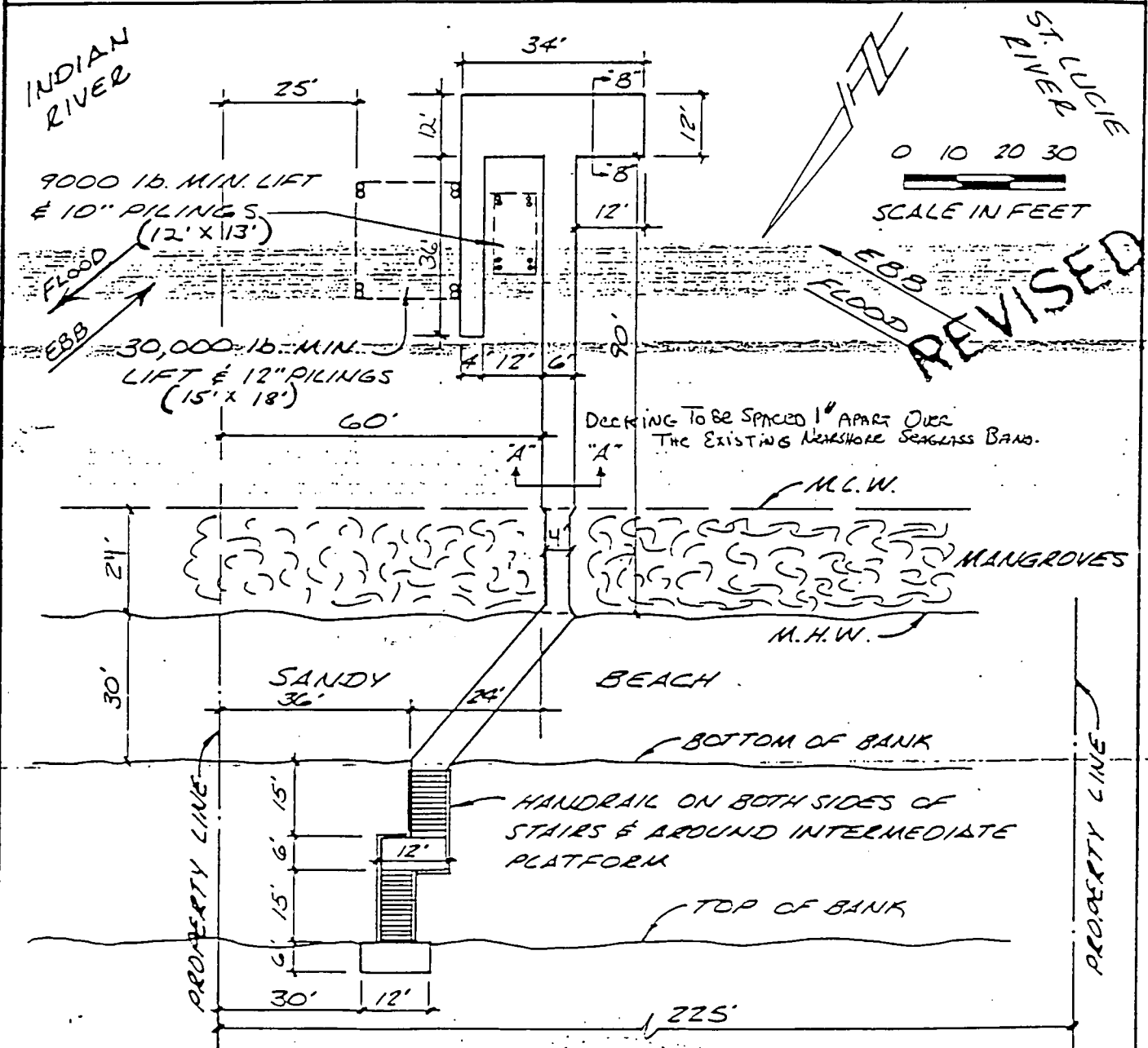
per G. Padua, Ph.D., Assist. Dist. Mgr.
J. Scott Benyon
District Manager

2 Pages attached.

I hereby certify that these designs were performed under my direction.

Lee Harris

Lee E. Harris, P.E.
 Fla. Reg. Professional Engr. #26252



PURPOSE: Proposed Dock for Charles Fraraccio, 26 E. High Point Road

DATUM MHW & MLW

ADJACENT PROPERTY OWNERS:

- ① Charles R. Walgreen, III (North)
- ② Frank D. Murphy (South)

431355265
 Private Dock

IN Stuart, Florida
 AT Seawall's Point

SEP 18 1987

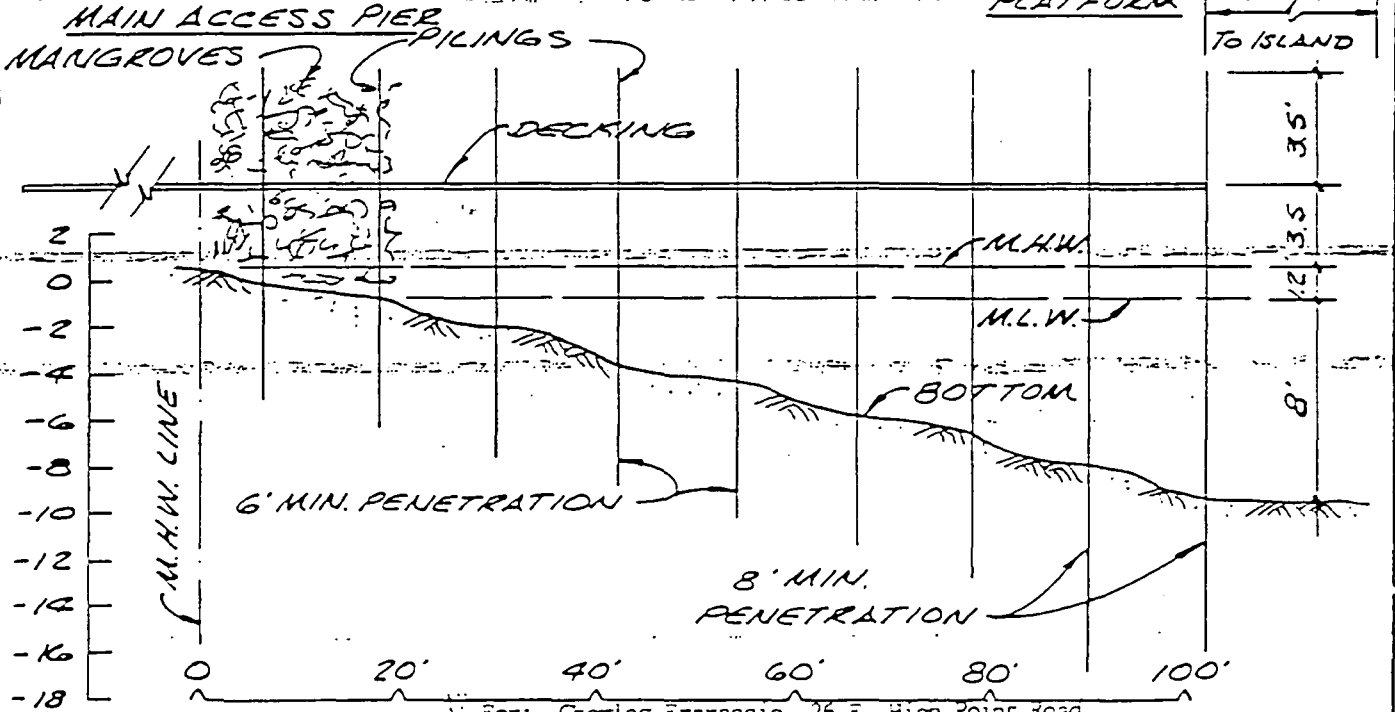
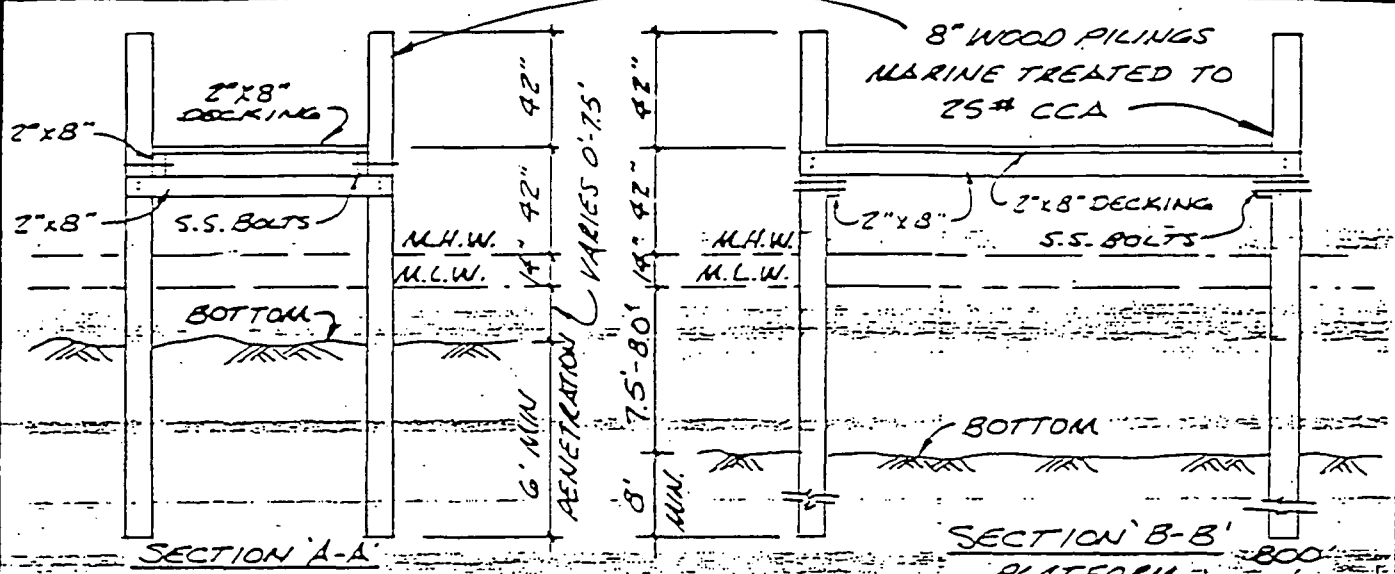
COUNTY OF Martin STATE FL

APPLICATION BY Team Marine
 International Corporation
 SHEET 1 of 2 DATE 5/29/87

I hereby certify that these designs were performed under my direction.

Lee E. Harris

Lee E. Harris, P.E.
 Fla. Reg. Professional Engr. #26252



PURPOSE: Proposed Dock
 DATUM: MHW & MLW
 ADJACENT PROPERTY OWNERS:
 ① Charles R. Walgreen, III (North)
 ② Frank D. Murphy (South)

For: Charles Fraraccio, 26 E. High Point Road

PROFILE

431355268
 Private Dock
 SEP 18 1987
B. Reed

IN Stuart, Florida
 AT Sewall's Point
 COUNTY OF Martin STATE FL
 APPLICATION BY Team Marine
 International Corporation
 SHEET 2 OF 2 DATE 3/29/87



DEPARTMENT OF THE ARMY

SOUTH FLORIDA AREA OFC. JACKSONVILLE DISTRICT. CORPS OF ENGINEERS

P. O. BOX 1327

CLEWISTON. FLORIDA 33440-1327

February 12, 1988

REPLY TO
ATTENTION OF

Regulatory Section
Miami
87LP30106

Dr. Charles Fraraccio
26 East High Point Road
Stuart, Florida 34996

Dear Dr. Fraraccio:

Reference is made to your requested revision of plans which were authorized by Department of the Army permit 87LP30106 issued on August 25, 1987.

According to the enclosed drawings, the proposed change is not considered to be a significant alteration and will not require a formal modification. The change will be noted in your file.

Thank you for your continued cooperation with the Corps regulatory program.

Sincerely,

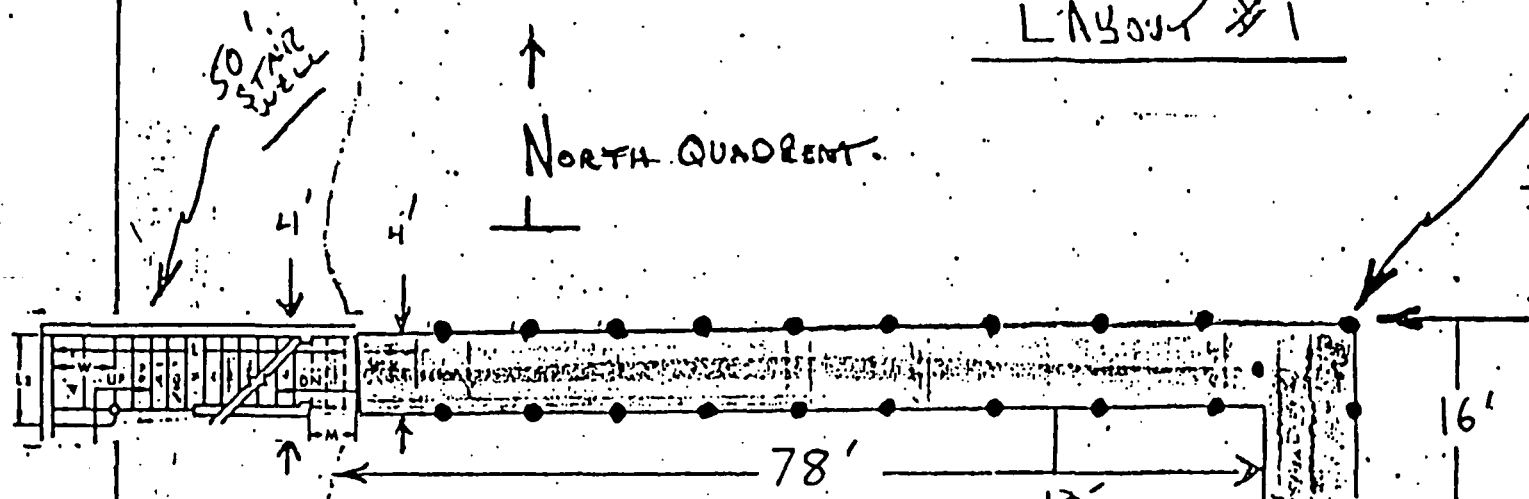
Charles A. Schnepel
Charles A. Schnepel
Chief, Regulatory Section

Enclosures

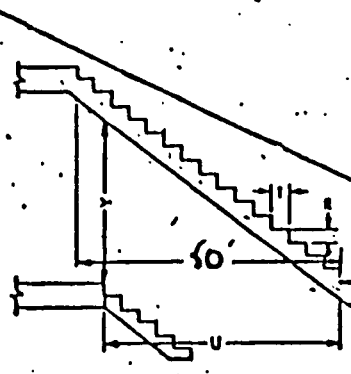
LAYOUT #1

NORTH QUADRANT.

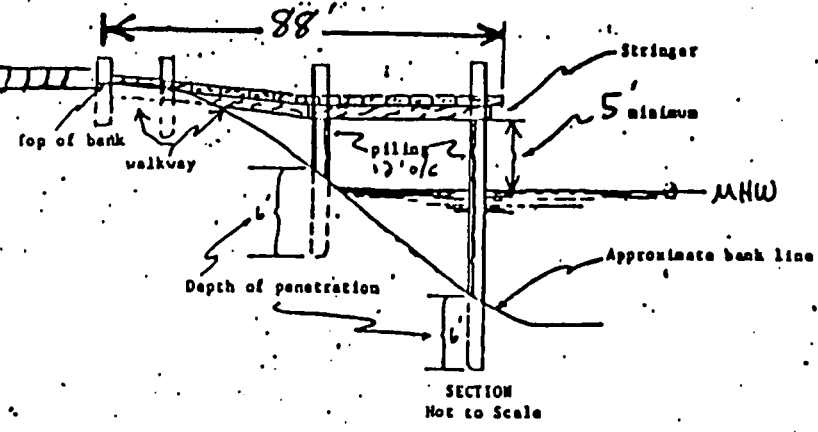
NOTE: 4' AT MHW HEIGHT WATER



NOTE: TWO LIFT SUPPORT PILINGS.

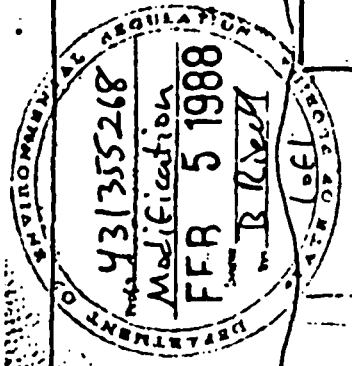


DOCK X STAIRWELL CROSSSECTION #2



225' LOT # 26 E. HIGH PT. ROAD.

MEAN HIGH WATER LINE



PROPOSED DOCK LOCATION!

HI-TIDE MARINE CONST., INC.
3191 S.E. Waqler Street
Stuart, FL 33497
Ph: (305) 283-9354

DR. CHARLES FIANDRINO
26 E. HIGH PT. RD.
SEAWALK POINT
DR. DAN DYKALC
JANUARY 21 1987



DEPARTMENT OF THE ARMY

SOUTH FLORIDA AREA OFFICE, JACKSONVILLE DISTRICT CORPS OF ENGINEERS
P. O. BOX 1327
CLEWISTON, FLORIDA 33440

August 25, 1987

REPLY TO
Regulatory Section
Miami
87LP30106

Dr. Charles Fraraccio
c/o AMERICAN MARINE CONSULTANTS
3051 Industrial 25 Street
Fort Pierce, Florida 33450

Dear Dr. Fraraccio:

This letter is in reference to your request for a permit to perform work in or affecting navigable waters of the United States. Upon recommendation of the Chief of Engineers, pursuant to Section 10 of the Rivers and Harbors Act of 3 March 1899, (33 U.S.C. § 403), you are authorized to:

construct a dock 90 by 6 feet wide with a 34 by 12 foot platform, finger pier & 2 boat lifts in the confluence of the Indian and St. Lucie Rivers at 26 East High Point Road, Sewalls Point, in Martin County, Florida, in accordance with the enclosed plans and conditions which are incorporated in, and made a part of, the permit. We have no evidence that a state permit has been issued for the work and no work may begin until their requirements are met.

Enclosed is a Notice of Authorization which should be displayed at the construction site. When work is begun, you must notify the District Engineer's representative at the appropriate Area Office as shown on the enclosed map, of:

1. The date of commencement of work (mail enclosed card),
2. The dates of work suspensions and resumptions if work is suspended over a week, and
3. The date of final completion.

If the work authorized is not completed on or before 25 August 1992, this authorization, if not previously revoked or specifically extended, shall cease and be null and void.

BY AUTHORITY OF THE SECRETARY OF THE ARMY:

CESAJ-RD-F
CESAJ-CN-S

CRS
Robert L. Herndon
Colonel, Corps of Engineers
District Engineer

Enclosures:

Notice of Authorization
Commencement Card
Plans & Conditions
Area Office Map

LETTER OF NO OBJECTION

We, CHARLES WALGREEN and KATHY WALGREEN

being the owner(s) of certain property adjacent to and abutting the property of DONNA & CHARLES FRARACCIO who have applied for a dock permit for construction, have read and reviewed the drawing of the dock and I have no objection to the proposed dock pursuant to the plan attached herein.

C. J. Walgreen
Kathleen Walgreen

STATE OF

COUNTY OF

SWORN TO AND SUBSCRIBED before me this 17th day of February 1988

Dianne Schanz
Notary Public

My Commission Expires:

Notary Public, State of Florida
My Commission Expires July 8, 1988
Bonded thru Cornelius, Johnson & Clark, Inc.

LETTER OF NO OBJECTION

We, FRANK MURPHY and LAURIE MURPHY

being the owner(s) of certain property adjacent to and abutting the property of DONNA & CHARLES FRARACCIO who have applied for a dock permit for construction, have read and reviewed the drawing of the dock and I have no objection to the proposed dock pursuant to the plan attached herein.

Laurie Murphy
Frank Murphy

STATE OF

COUNTY OF

SWORN TO AND SUBSCRIBED before me this 17th day of January 1988

Dianne Schanz
Notary Public

My Commission Expires
Notary Public, State of Florida
My Commission Expires July 8, 1988
Bonded thru Cornelius, Johnson & Clark, Inc.

4820

RE-ROOF

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 02/07/00 BUILDING PERMIT NO. 4820
 Building to be erected for CHARLES PARACCO Type of Permit RE-ROOF
 Applied for by PACIFIC ROOFING (Contractor) Building Fee _____
 Subdivision _____ Lot _____ Block _____ Radon Fee _____
 Address 26 E. HIGH POINT Impact Fee _____
 Type of structure S.F.R. A/C Fee _____
 Electrical Fee _____
 Parcel Control Number: _____ Plumbing Fee _____
 Roofing Fee \$120.00
 Amount Paid \$120.00 Check # 3613 Cash _____ Other Fees (_____) _____
 Total Construction Cost \$ 21,000.00 TOTAL Fees \$120.00

Signed Rob Austin Applicant Signed [Signature] Town Building Inspector OFFICIAL

RE-ROOFING PERMIT

INSPECTIONS			
DRY IN	DATE _____	PROGRESS	DATE _____
PROGRESS	DATE _____	FINAL	DATE <u>3/10/00</u>

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455

WORK HOURS – 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

- New Construction Remodel Addition Demolition

**This permit must be visible from the street, accessible to the inspector.
 FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
 NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
 DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

Bldg. Pmt# _____

Town of Sewall's Point

Date 1.24.00

BUILDING PERMIT APPLICATION

Owner's Name: Charles Fraraccio Phone No. 286-1854
 Owner's Present Address: _____
 Fee Simple Titleholder's Name & Address if other than owner: _____

Location of Job Site: 26 East High Point
 TYPE OF WORK TO BE DONE: Reroof
 CONTRACTOR INFORMATION
 Contractor/Company Name: Richard J. Gomes / Pacific Roofing Phone No. 283-7663
 COMPLETE MAILING ADDRESS: P.O. Box 2697 Stuart, FL 34995
 State Registration _____ State License CCC056793
 Legal Description of Property _____
 Parcel Number _____

ARCHITECT/ENGINEER INFORMATION

Architect _____ Phone No. _____
 Address _____
 Engineer _____ Phone No. _____
 Address _____

Area Square Footage: Living Area 63# Garage Area _____ Carport _____
 Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
 Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
 NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
 proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
 Cost of construction or Improvement _____
 Fair Market Value (FMV) prior to improvement \$21,000
 Substantial Improvement 50% of FMV yes _____ No _____
 Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

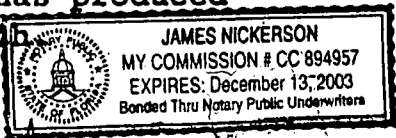
Electrical _____ State License _____
 Mechanical _____ State License# _____
 Plumbing _____ State License# _____
 Roofing Pacific Roofing State License# CCC056793

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE C. Fraraccio
 Sworn to and subscribed before me this 21 day of JANUARY, 1998 by CHARLES FRARACCIO who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.
 CONTRACTOR SIGNATURE [Signature]
 Sworn to and subscribed before me this 21 day of JANUARY, 1998 by RICHARD J. GOMES who is personally known to me or has produced _____ and who did (did not) take an oath.



James Nickerson

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
 7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Southeastern Metals Manufacturing Co., Inc.
11801 Industry Drive
Jacksonville, FL 32226

Your application for Product Approval of:

SW-Composite Metal Roofing Panels

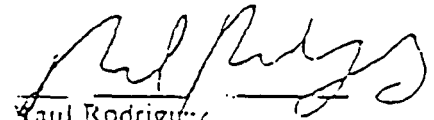
under Chapter 8 of the Miami-Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: Construction Research Laboratory, Inc. and Hurricane Test Laboratory, Inc. has been recommended for acceptance by the Building Code Compliance Office to be used in Dade County, Florida under the specific conditions set forth on pages 2-4 and the standard conditions on page 5.

This approval shall not be valid after the expiration date stated below. The Building Code Compliance Office reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

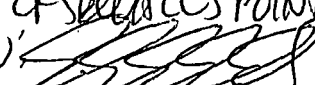
APPROVAL NO. 98-0429-09
EXPIRES 06/27/01


Renews & Revises: 97-0404.05


Paul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS
BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Miami-Dade County Building Code Compliance Office and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

12870 TOWN OF SPAIN/CC'S POINT
REVIEWED: 
BENG OFFICIAL


Charles Danger, P.E.
Director
Building Code Compliance Dept.
Miami-Dade County

APPROVED: 06/23/98

TOWN COPY
26 E. HIGH POINT



PERMIT # _____ TAX FOLIO # 13384100300001010000

NOTICE OF COMMENCEMENT

STATE OF Florida COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

High Point Isle Addn. Part of Lots 101 & 109; Reg 99V Cor Lot 101, Curve No 50' for 70' Curve NE 96.97', SE 751.24' & E 89.73' 1/2' to Indian River
GENERAL DESCRIPTION OF IMPROVEMENT: Reroof Meander 50' to 225' 100' 361' to 70'

OWNER: Charles Fraraccio

ADDRESS: 26 East High Point

PHONE #: 561-286-1854 FAX #: NA

CONTRACTOR: Pacific Roofing

ADDRESS: P.O. Box 2697 Stuart, FL 34995

PHONE #: 561-283-7667 FAX #: 561-283-9505

SURETY COMPANY (IF ANY) _____

ADDRESS: _____

PHONE # _____ FAX #: _____

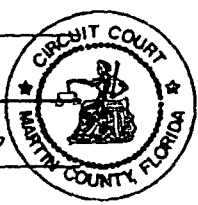
BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARSHA STILLER, CLERK
BY Marlene Bluford D.C.
DATE 1-29-00



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

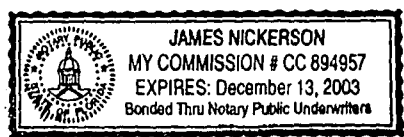
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

X C. Fraraccio
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 21 DAY OF JANUARY 1990 BY CHARLES FRARACCIO

OR PERSONALLY KNOWN _____
OR PRODUCED ID _____
OR TYPE OF ID _____

James Nickerson
NOTARY SIGNATURE



PROOF OF NOTICE:
SUBDIVISION REVIEW/APPROVAL

To: Building Official, Town of Sewall's Point
FROM: Permit Applicant
RE: Subject structure described as follows:

OWNER: Charles Traraccio ; ADDRESS: 26 East High Point

PROJECT ADDRESS: 26 East High Point; LEGAL DESCRIPTION: LOT _____ BLK _____ SUB _____

GENERAL CONTRACTOR: Pacific Roofing ; Lic/CERT No. _____

ADDRESS: P.O. Box 2697 Stuart, FL 34995 ; TEL 288-7663 ; FAX 288-9506

ARCHITECT OR ENGINEER: _____ ; Lic/REG No. _____

ADDRESS: _____ ; TEL _____ ; FAX _____

PERMIT No: _____ ; DATE OF ISSUE: _____ ; DATE OF THIS STATEMENT: _____

The proposed project is located in the located in High Point Subdivision.

In compliance with permit application review requirements, please be advised as follows:

___ SUBDIVISION/ASSOCIATION REVIEW AND APPROVAL IS NOT REQUIRED.

SUBDIVISION/ASSOCIATION REVIEW AND APPROVAL IS REQUIRED.

___ APPROVAL DOCUMENTATION **IS ATTACHED**

___ NOTICE OF THE ABOVE PROPOSED CONSTRUCTION WAS PROVIDED TO THE SUBDIVISION/ASSOCIATION ON _____

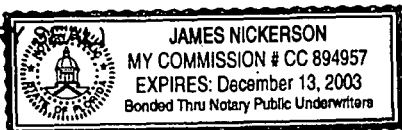
Executed at _____, this 22 day of JANUARY 2000.

NAME: RICHARD J. GAMES ; SIGNATURE: [Signature] ; Lic. No: CCC056793

STATE OF FLORIDA
COUNTY OF MARIN

Sworn to and subscribed before me this 22 day of JANUARY, 2000, by Richard J. Games, who is personally known to me or who has produced _____ as identification and who did not take an oath.

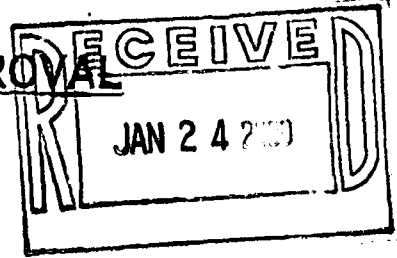
(NOTAR)



[Signature]
Name JAMES NICKERSON

I am a Notary Public of the State of Florida and my commission expires: 12/13/2003

**PROOF OF NOTICE:
SUBDIVISION REVIEW/APPROVAL**



TO: Building Official, Town of Sewall's Point
FROM: Permit Applicant
RE: Subject structure described as follows:

OWNER: Charles Terraraccio ; ADDRESS: 26 East High Point

PROJECT ADDRESS: 26 East High Point; LEGAL DESCRIPTION: LOT _____ BLK _____ SUB _____

GENERAL CONTRACTOR: Pacific Roofing ; Lic/CERT No. _____

ADDRESS: P.O. Box 2697 Stuart, FL 34995 ; TEL 283-7663 ; FAX 283-9505

ARCHITECT OR ENGINEER: _____ ; Lic/REG No. _____

ADDRESS: _____ ; TEL _____ ; FAX _____

PERMIT NO: _____ ; DATE OF ISSUE: _____ ; DATE OF THIS STATEMENT: _____

The proposed project is located in the located in High Point Subdivision.

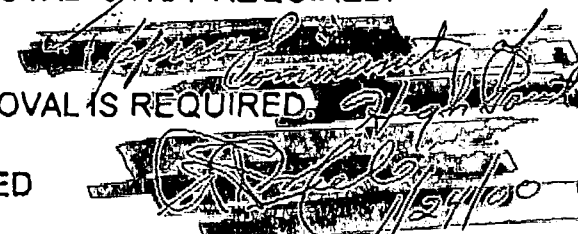
In compliance with permit application review requirements, please be advised as follows:

SUBDIVISION/ASSOCIATION REVIEW AND APPROVAL IS NOT REQUIRED.

SUBDIVISION/ASSOCIATION REVIEW AND APPROVAL IS REQUIRED.

APPROVAL DOCUMENTATION IS ATTACHED

NOTICE OF THE ABOVE PROPOSED CONSTRUCTION WAS PROVIDED TO THE SUBDIVISION/ASSOCIATION ON _____

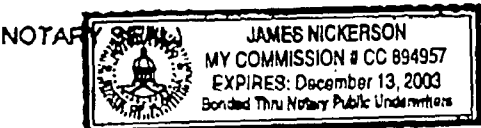


Executed at _____, this 24 day of JANUARY 2008.

NAME: RICHARD J. GROSS ; SIGNATURE: [Signature] ; Lic. No: CC056793

STATE OF FLORIDA
COUNTY OF MARION

Sworn to and subscribed before me this 24 day of JANUARY, 2008, by RICHARD J. GROSS, who is personally known to me or who has produced _____ as identification and who did not take an oath.



[Signature]
Name JAMES NICKERSON
I am a Notary Public of the State of Florida and my commission expires: 12/13/2003

AGORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
08/27/1999

PRODUCER (561)746-4546 FAX (561)746-9599
Tequesta Agency, Inc.
393 Tequesta Drive
Tequesta, FL 33469

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

Attn: Debra Hicks Ext:
INSURED Pacific Roofing Corp., Inc.
PO Box 2697
Stuart, FL 34994

COMPANIES AFFORDING COVERAGE	
COMPANY A	Transcontinental Insurance co.
COMPANY B	Transportation Insurance Co.
COMPANY C	
COMPANY D	

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT	C155821031	08/27/1999	10/28/2000	GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 PERSONAL & ADV INJURY \$ 1,000,000 EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	C144640569	08/27/1999	10/28/2000	COMBINED SINGLE LIMIT \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL	WC177093784	10/28/1999	10/28/2000	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER EL EACH ACCIDENT - \$ 100,000 EL DISEASE - POLICY LIMIT \$ 500,000 EL DISEASE - EA EMPLOYEE \$ 100,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

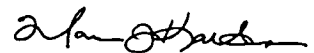
CERTIFICATE HOLDER

TOWN OF SEWALLS POINT
1 SOUTH SEWALLS POINT ROAD
STUART, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Mark Kasten/DEBBIE



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD
7960 ARLINGTON EXPRESSWAY
SUITE 300
JACKSONVILLE

FL 32211-7467

(904) 727-6530

GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
1501 DECKER AVE UNIT 303 & 304
PO BOX 2697
STUART FL 34995

STATE OF FLORIDA AC# 5640

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CC -C056793 09/01/1999 9900

CERTIFIED ROOFING CONTRACTOR
GOMES, RICHARD JOHN
PACIFIC ROOFING CORP

IS CERTIFIED under the provisions of Ch. 48

Expiration Date: AUG 31, 2000

DETACH HERE

AC# 5640369

STATE OF FLORIDA DUPLICATE
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
09/01/1999	99006114	CC -C056793

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2000

GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
1501 DECKER AVE UNIT 303 & 304
PO BOX 2697
STUART FL 34995

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON
SECRETARY

2000 ~~1999~~ ~~1999~~

Town of Sewall's Point
Building Department - Inspection Log

~~7-13-00~~

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
730	PARRICCO	Sheeting	Partial	W/AM
⑩	PACIFIC REG.			Sewall's Point
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4502	Carroll	linting & metal	Carroll	After 2 PM on
⑨	17 S. Ridgeview	metal		Set up for Mon. Not Ready.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4527	Seeley	garage &	Passed	1st fl slab.
②	37 Lifting Way	log cabin / court slab	BG	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4722	Neeze	roof final	Passed	
⑧	87 S. River		Bl.	
	(end of Ridgeview)			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4322	Buono	pool piping	Passed	
①	106 N. S.P. Rd.		BG	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4784	Foglia	steel	Passed	PIB # 50 Pressure
⑬	1104 Sewall Way	pool bonding main drain	BG	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4780	Foglia	Drywall screws	Partial	Just started
⑫	106 H. Sewall, Way		BG	

OTHER: 1. T/R PERMIT APPL. 37 E. HIGHPOINT

INSPECTOR: _____

DATE: _____

2000 ~~1998~~ ~~1999~~

Town of Sewall's Point
Building Department - Inspection Log

PAGE 1 OF 1

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4702	Perry	sheathing	Passed	Complete
②	18 N. Ridgewood O/B		BC	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4802	Carroll	tin tin =	Passed	10:00 AM
③	17 S. Ridgewood PACIFIC 263-0116	metal sheathing	BC	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4838	J. Gigante	sheathing	Partial	Waters at 1 PM
①	14 N. Via Lucinda JIM'S RFG			Wine call in for W
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4527	SEBASTIAN	PATIO SLABS	Passed	1st Fl. Slab
⑦	37 NE LOFTING WAY CORKRAN - 260-2375		BC	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4759	Davton	sheathing	Passed	
⑤	H. Palm Court PACIFIC		BC	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4820	1760	sheathing	BC	
④	26			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4659	Conway	tin tag	Passed	
⑥	17 Lofting PACIFIC	metal	BC	

OTHER: 1. 76 S. SEWALL'S POINT RD (PERMIT) - DELIVER EXTRA COPIES OF SURVEY (NOT REQUIRED IN PERMANENT TOWN)

INSPECTOR: _____ DATE: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2/25/00, 2000; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4673	FOGUA 110 HENRY SEWALL WAY	FRAMING TRADES	Passed BG	LATE MORNING IF POSSIBLE
4602	FOGUA 100 HENRY SEWALL WAY	DRYWALL SCREW	Passed BG	" "
4723	KOCH 71 N RIV RD Quail Run.	TIE BEAM	Passed BG	Upper Beam
4838	GRANTE 14 N. Via Lucindia	tintag	Passed BG	
4771	ENGINEERED HOMES 3 PALAMA WAY	TIE BEAM	Reject BG -	Need 1 1/2" CONCRETE over steel
4508	Hammock 25 RIO VISO	sheathing	---	11 AM Duplicate SEE PAGE 1
4820	Florencia 26 E. 10th	tintag	Passed BG	
4662	Foglie 106 # Sewall Way	Lintag	Passed BG	NAME of contractor (4" strc)

OTHER: 106 # Sewall Way Lintag BG

INSPECTOR (Name/Signature): Conover: A

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/10, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4840	Schuchmann	nailing	Passed	
⑤	4 Fieldway (O/B)	felt (REINSPECTION)	B.G.	
4757	Franzen	steel		re-scheduled
	34 Rio Vista Dr.	(RET. WALL W/TIEBACK)		for Mon. 3-13
	CUSTOM BUILT MARINE			
4576	Lino	temp.	Consultation	PERMIT EXPIRED - MUST
⑧	6 Island Rd SCOTT J. HOLMES	power	Walk-thru	RENEW; TEMP. ELECT. G.M.T. SUBMITTED PRIOR TO INSP.
4527	Seeley	tie beam	Partial	HAVE CONTRACTOR COME TO
③	37 Lofting Way GRIBBEN CONST.	S. Porch	B.G.	OFFICE RE: PERMIT RENEWAL (ORIG. ISSUE 12/21/98)
4208	Hammock	roof final	Passed	
⑥	25 Rio Vista PACIFIC REG.		B.G.	
4210	Frerccolo	roof final	Passed	
⑦	26 L. High Point PACIFIC REG.		B.G.	
4736	Cicoria	framing	Passed	No plan for Job
②	126 N.S.P. Rd. TROPIC MARINE	dock	B.G.	Normal Dock Need Plan for Final

OTHER: 1. T/R PERMIT (REINSP) APRES 15 S. RIVER (TOM SMITH PROP MGR) 343-3250 BEEPER ✓
334-431 2. " " CARELL 17 S. RIDGEVIEW ✓

INSPECTOR (Name/Signature): _____

7082A

DOCK

RENEWAL ON 11/23/05: NIC 1 YEAR GOOD THEN 11/23/06.

~~RENEWAL ON 11/23/06: NIC 1 YEAR GOOD THEN 11/23/07~~

C

Pl. Julia Adamson

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 11/23/04

BUILDING PERMIT NO. 7082A

Building to be erected for FRARACCIO

Type of Permit DOCK REPAIR

Applied for by O/B

(Contractor) Building Fee _____

Subdivision HIGH POINT Lot P100/101 Block _____

Radon Fee _____

Address 26 E. HIGH POINT

Impact Fee NIC

Type of structure SFR

A/C Fee HURRICANE

Electrical Fee DAMAGE

Parcel Control Number:

Plumbing Fee _____

133841003000001010000

Roofing Fee _____

Amount Paid — Check # — Cash _____

Other Fees (_____) _____

Total Construction Cost \$ 18,000.00

TOTAL Fees _____

Signed Fraraccio

Signed Gene Simmons

Applicant

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

TOWN OF SEWALL'S POINT

Date 11/23/04

BUILDING PERMIT NO. 7082A

Building to be erected for FRARACCIO

Type of Permit DOCK REPAIR

Applied for by O/B (Contractor)

Building Fee /

Subdivision HIGH POINT Lot Pt 100/101 Block _____

Radon Fee _____

Address 26 E HIGH POINT

Impact Fee N/C

Type of structure SFR

A/C Fee HURRICANE

Parcel Control Number:
133841003000001010000

Electrical Fee DAMAGE

Plumbing Fee _____

Roofing Fee _____

Amount Paid — Check # — Cash _____ Other Fees (_____)

Total Construction Cost \$ 18,000.00

TOTAL Fees /

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

PERMIT

- | | | |
|--|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input checked="" type="checkbox"/> DOCK/ BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

RENEWAL ON 11/23/05: N.I.C. 1 YEAR GOOD THEN 11/23/06.

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 11/23/04

BUILDING PERMIT NO. ^A 7082

Building to be erected for FRARACCIO

Type of Permit DOCK REPAIR

Applied for by O/B (Contractor)

Building Fee /

Subdivision HIGH POINT Lot Pt 100/101 Block _____

Radon Fee _____

Address 26 E. HIGH POINT

Impact Fee NIC

Type of structure SFR

AC Fee HURRIC

Electrical Fee DAMA

Parcel Control Number:

133841003000001010000

Plumbing Fee _____

Roofing Fee _____

Amount Paid — Check # — Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 18,000.00

TOTAL Fees /

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

TOWN OF SEWALL'S POINT

ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT

(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Donna Fraraccio Date: 10-9-04

Signature: Donna Fraraccio

Address: 26 East High Point Rd.

City & State: Stuart, FL 34996

Permit No. _____

RECEIVED

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 11-9-04 NOV 09 2004 Permit Number: _____

OWNER/TITLEHOLDER NAME: Donna Fraraccio BY: _____ Phone (Day) 286-1854 (Fax) _____

Job Site Address: 26 E. High Point Rd. City: Sewall's Point State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) HIAPT LOT P4100/101 Parcel Number: 13384100300001010000

Owner Address (if different): Same City: _____ State: _____ Zip: _____

Description of Work To Be Done: Dock Repair

WILL OWNER BE THE CONTRACTOR?:

(YES) NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 18,000. (Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below) (If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) Donna Fraraccio

State of Florida, County of: MARTIN

This the 9th day of NOVEMBER, 2004

by DONNA ANWARZ FRACCIO who is personally

known to me or produced by [Signature] as identification.

CONTRACTOR SIGNATURE (required)

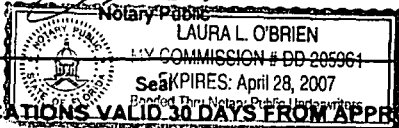
On State of Florida, County of: _____

This the _____ day of _____, 200

by _____ who is personally

known to me or produced _____ as identification.

My Commission Expires: _____



My Commission Expires: _____

Notary Public

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # 133841003000001010000

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

Dock 26 East High Point Rd.

GENERAL DESCRIPTION OF IMPROVEMENT: Dock Repair

OWNER: Donna Fracaccio

ADDRESS: 26 East High Point Rd.

PHONE #: 286-1854 FAX #: _____

CONTRACTOR: Owner - Builder

ADDRESS: _____

PHONE #: _____ FAX #: _____

SURETY COMPANY(IF ANY) _____ STATE OF FLORIDA

ADDRESS: _____ MARTIN COUNTY

PHONE # _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Donna Fracaccio
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 10th DAY OF November 2007 BY DONNA ALVAREZ FRACACCIO

PERSONALLY KNOWN _____
OR PRODUCED ID X FL0662-161-48-869-0
TYPE OF ID _____ 10/9/09



NOTARY SIGNATURE _____

INSTR # 1793334 OR BK 01956 PG 1944 RECD 11/18/2004 11:28:10 AM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L W600



State of Florida
DEPARTMENT OF NATURAL RESOURCES

TOM GARDNER
Executive Director

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399

BOB MARTINEZ
Governor
JIM SMITH
Secretary of State
BOB BUTTERWORTH
Attorney General
GERALD LEWIS
State Comptroller
BILL GUNTER
State Treasurer
DOYLE CONNER
Commissioner of Agriculture
BETTY CASTOR
Commissioner of Education

January 27, 1988

Dr. Charles Fraraccio
26 High Point Road
Sewell's Point
Stuart, Florida 33494

PLEASE ADDRESS REPLY TO:

Division of State Lands
Southeast Florida Field Office
The 1900 Building
1900 South Congress Avenue
West Palm Beach, Florida 33406

Dear Dr. Fraraccio:

File No. 431355268
Applicant: Charles Fraccio

Enclosed is the approved application for your proposed project, showing the location in the Indian River adjacent to 26 High Point Road, Sewall's Point, Martin County. This approval is for the installation of a private single family dock consisting of a 78' X 4' access pier and a 16' X 10' terminal platform with boat lift.

This constitutes the authority sought under Section 253.77, Florida Statutes, to pursue this project.

This letter in no way waives the authority and/or jurisdiction of any governmental entity nor does this letter disclaim any title interest that the State may have in this project site.

Sincerely,

David K. Roach
Division of State Lands
Southeast Florida Office

DKR/bs
cc: DER, PSL
BAP

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 1/29/04
BUILDING OFFICIAL
Gene Simmons

REPAIR WORK FOR
HURRICANE DAMAGE



State of Florida
DEPARTMENT OF NATURAL RESOURCES

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399

TOM GARDNER
Executive Director

BOB MARTINEZ
Governor
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January 27, 1988

Dr. Charles Fraraccio
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Sewell's Point
Stuart, Florida 33494

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Southeast Florida Field Office
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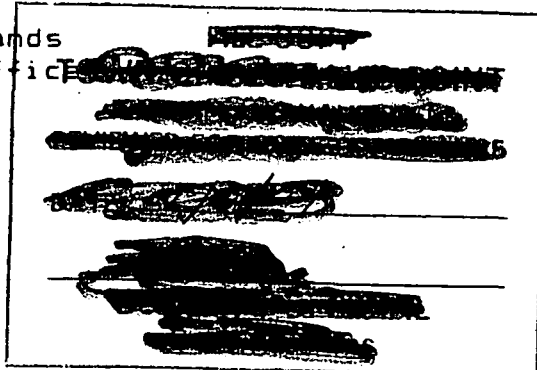
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Sincerely,

David K. Roach
Division of State Lands
Southeast Florida Office

DKR/bs
cc: DER, PSL
BAP



REPAIR WORK FOR
HURRICANE DAMAGE

RECEIVED

JUN - 9 1987

Dept. Of Environmental Regulation
Port St. Lucie

2864100

JOINT APPLICATION
DEPARTMENT OF THE ARMY/FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION
For Activities in the Waters of the State of Florida

CORPS APPLICATION NUMBER (official use only)

DER APPLICATION NUMBER (official use only)

431355268

1. APPLICANT'S NAME AND ADDRESS:

CHARLES FRARACIO
NAME

26 HIGH PT RD SEWALLS POINT
STREET

STUART FL 33494
CITY STATE ZIP

TELEPHONE NUMBER (Day) (305) 286-1854 (Night) ()

2. Name, address, zip code and title of applicant's authorized agent for permit application coordination:

APPROVED
Department of Natural Resources
American Marine Consultants
3051 Industrial 25th Street
Fort Pierce, Florida 33450
Sustained to Section 253.77, F.S.

Telephone Number (395) 465-5988

JANUARY 22, 1988
ON
REVISED

3. NAME OF WATERWAY AT LOCATION OF THE ACTIVITY.

Indian River/St. Lucie River Cross Roads

By: [Signature]
DER Code
W/M Code
Division of State Lands

4. LOCATION WHERE PROPOSED ACTIVITY EXISTS OR WILL OCCUR

26 E. High Pt. Rd.

13 38s 41E
Section Township Range

Street, road or other descriptive location

Sewalls Point

27° 10' 15" 80° 11' 20"
Latitude Longitude

Incorporated city or town

Martin

Tax Assessors Description: (if known)

County

Map No. Subdiv. No. Lot No.

5. NAME AND ADDRESS INCLUDING ZIP CODE OF ADJOINING PROPERTY OWNERS WHOSE PROPERTY ALSO ADJOINS THE WATERWAY.

North: Charles R. Walgreen, III
200 Wilmot Road
Deerfield, IL 60015

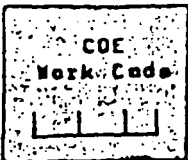
South: Frank D. Murphy
30 E. High Point Rd.
Stuart, FL 33494

6. PROPOSED USE

Private Single Dwelling [X] Private Multi-dwelling [] Public []
Commercial [] Other [] (Explain in remarks)

7. DESCRIPTION OF PROJECT (Use additional sheets, if necessary)

- A. Structures: 1. New work Maintenance of existing structure
2. Piers, docks and uses: Commercial Private Public
- a. Single pier length 90' width 6'
- b. Number of piers [] length _____ width _____
- c. Number of boat slips [2] length 30' 36' width 12' 18'
- d. Number of finger piers [] length _____ width _____
- e. Other (please describe) 12' x 34' platform; 4' x 36' catwalk; boat lifts
3. Seawalls, revetments, bulkheads: length _____
- a. Type: Vertical Riprap Slope: _____ Horizontal: _____ Vertical _____
- b. Material to be used _____
4. Other type of structure 9,000 lb. and 30,000 lb. boat lifts



- B. Excavation or Dredging: New Work Maintenance work Total acreage involved _____
1. Access Channel or Canal Length _____ ft. Width _____ ft. Depth _____ ft.
2. Boat Basin or Boat Slip Length _____ ft. Width _____ ft. Depth _____ ft.
3. Other _____ Length _____ ft. Width _____ ft. Depth _____ ft.
4. Cubic yards: Total for project _____
- a. _____ cyd. waterward/ _____ cyd. landward of ordinary/mean high water
- b. Type of material to be excavated/dredged _____

- C. Fill:
1. Amount of material
- a. Cubic yards placed waterward of ordinary/mean high water _____
- b. Cubic yards placed landward of ordinary/mean high water _____
- c. Total acreage to be filled _____ Total acreage of wetlands involved _____
2. Containment for fill
- a. Dikes b. Seawall, etc. c. Other (please explain) _____
3. Type of fill material to be used _____
4. Source of fill material to be used _____



8. Date activity is proposed to commence receipt of all ; to be completed from commencement .
Within 30 days of necessary permits Within one year from

9. Previous permits for this project have been DER # Corps #
A. Denied (date) _____
B. Issued (date) _____
C. Other (please explain) No previous application made.
Differentiate between existing work and proposed work on the drawings.

10. Remarks (See Instruction Pamphlet for additional information required for all applications and certain activities. Use additional sheets if necessary.)
See Exhibit A

11. AFFIDAVIT OF OWNERSHIP OR CONTROL of the property on which the proposed project is to be undertaken

I CERTIFY THAT: (please check appropriate space)

- I am the record owner, lessee, or record easement holder of the property described below.
 I am not the record owner, lessee, or record easement holder of the property described below, but I will have before undertaking the proposed work the requisite property interest. (Please explain what the interest will be and how it will be acquired.)

LEGAL DESCRIPTION OF PROPERTY SITUATED IN Martin COUNTY, FLORIDA
(Use additional sheets if necessary)

Parcel Control No.: 13-38-41-003-000-01010-5-0000

Charles A. Franacci
Signature

Sworn and subscribed before me at Martin County,
Florida, this 28th day of May, 1987.

J. A. Jeta
NOTARY PUBLIC 6-7-90

My commission expires:

12. Application is made for a permit(s) to authorize the activities described herein.

- A. I authorize the agent listed in Item #2 to negotiate modifications or revisions, when necessary, and accept or assent to any stipulations on my behalf.
- B. I understand I may have to provide any additional information/data that may be necessary to provide reasonable assurance or evidence to show that the proposed project will comply with the applicable State Water Quality Standards or other environmental standards both before construction and after the project is completed.
- C. In addition, I agree to provide entry to the project site for inspectors with proper identification or documents as required by law from the environmental agencies for the purpose of making preliminary analyses of the site. Further, I agree to provide entry to the project site for such inspectors to monitor permitted work if a permit is granted.
- D. Further, I hereby acknowledge the obligation and responsibility for obtaining all of the required state, federal or local permits before commencement of construction activities. I also understand that before commencement of this proposed project I must be granted separate permits or authorizations from the U.S. Corps of Engineers, the U.S. Coast Guard, the Department of Environmental Regulation, and the Department of Natural Resources, as necessary.

I CERTIFY that I am familiar with the information contained in this application, and that to the best of my knowledge and belief such information is true, complete and accurate. I further certify that I possess the authority to undertake the proposed activities.

Charles A. Francis
Signature of Applicant

May 28, 1987
Date

NOTE: THIS APPLICATION MUST BE SIGNED by the person who desires to undertake the proposed activity or by an authorized agent. If an agent is applying on behalf of the applicant, attach proof of authority for the agent to sign and bind the applicant.

18 U.S.C. Section 1001 provides that: Whoever in any manner within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies, conceals, or covers up by any trick, scheme, or device a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than five years, or both.

NOTICE TO PERMIT APPLICANTS

This is a Joint Application; it is NOT a Joint Permit!

You Must Obtain All Required Local, State, and Federal

Authorizations or Permits Before Commencing Work!!

For your information: Section 370.034, Florida Statutes, requires that all dredge and fill equipment owned, used, leased, rented or operated in the state shall be registered with the Department of Natural Resources. Before selecting your contractor or equipment you may wish to determine if this requirement has been met. For further information, contact the Chief of the Bureau of Licenses and Motorboat Registration, Department of Natural Resources, 3900 Commonwealth Boulevard, Tallahassee, Florida 32303. Telephone Number 904/488-1195. THIS IS NOT A REQUIREMENT FOR A PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL REGULATION.

EXHIBIT A

Item 10. (Fraraccio)

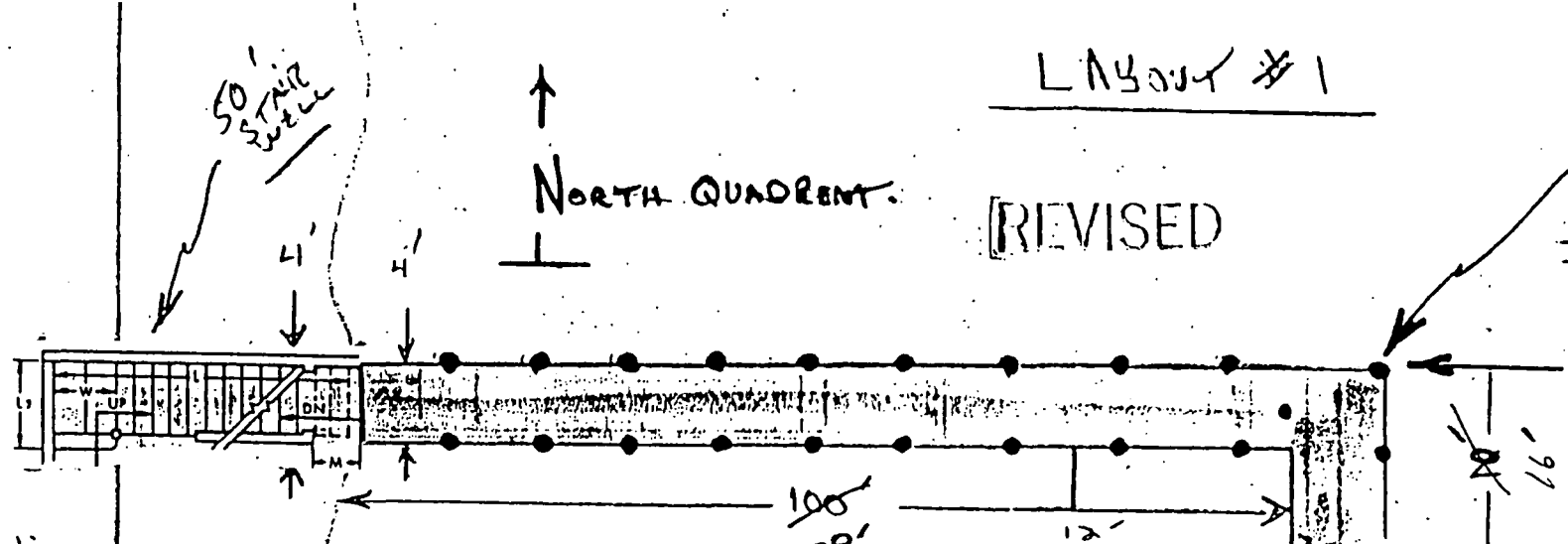
There will be no dredging, sanitary or fueling associated with this proposed work. During construction, pilings will be jetted and will not increase the turbidity. In the event turbidity does become a problem, silt screens will be utilized. The most narrow width of the waterway is approximately 800 feet at the site.

LAYOUT #1

NORTH QUADRANT.

REVISED

NOTE: 4' AT MEAN HIGH WATER

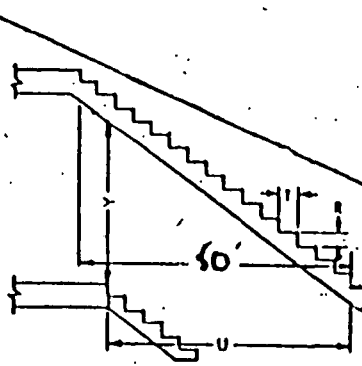


REVISED

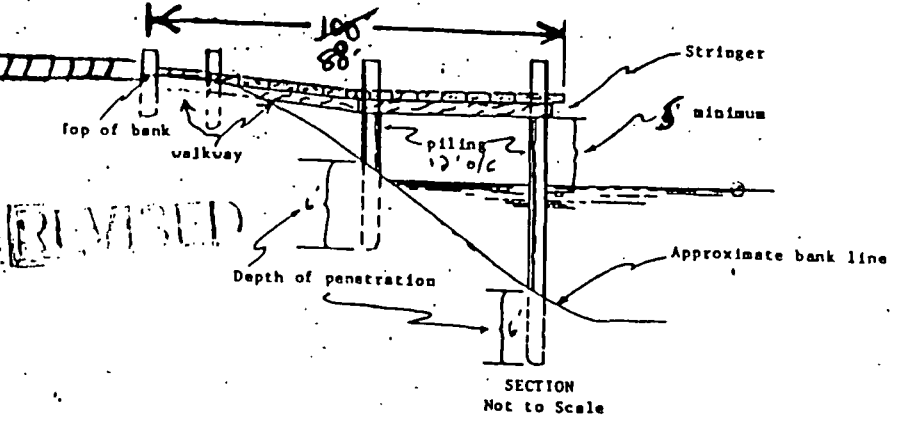
NOTE: TWO LIFT SUPPORT PILING

LOT # 26 E. HIGH PT. ROAD.

MEAN HIGH WATER LINE



DOCK X STAIRWELL CROSSSECTION #2



SECTION Not to Scale

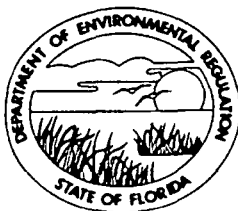
PROPOSED DOCK LOCATION!

HILITE MARINE CONST., INC.
3191 S.E. Waaler Street
Stuart, FL 33497
Ph: (305) 283-9354

DR. CHARLES FIARALLO
26 E. HIGH PT. RD.
SEWALLS POINT
DWG: DAN DYKIE
JANUARY 21 1987

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

**SOUTHEAST FLORIDA DISTRICT
BRANCH OFFICE**
2745 SOUTHEAST MORNINGSIDE BOULEVARD
PORT ST. LUCIE, FLORIDA 33452



BOB MARTINEZ
GOVERNOR
DALE TWACHTMANN
SECRETARY

February 5, 1988

Charles Fraraccio
26 East High Point Road
Sewalls Point
Stuart, Florida 33494

DF - Martin County
Permit #431355268

Dear Mr. Fraraccio:

MODIFICATION

This office has completed the review of your request to modify the referenced permit. The modification includes the following:

- 1) Reducing the width of the entire access pier to 4'.
- 2) Reducing the terminus to one L-platform measuring 16' by 10'.
- 3) Reducing overall dock length to 88'.
- 4) Elevating the decking to 5' above mean high water.

The proposed modification is not expected to result in any additional or significant water quality/biological resource degradation. Accordingly, the permit is hereby modified. By copy of this letter and the attached drawings, we are notifying all necessary parties of the modifications.

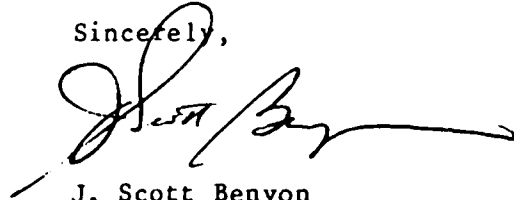
This letter of approval does not alter the expiration date, Specific or General Conditions, or monitoring requirements of the permit. This letter and accompanying drawings must be attached to the original permit.

This letter constitutes final agency action unless a person substantially affected by this action requests an administrative hearing pursuant to Section 120.57, Florida Statutes. The petition must be filed within fourteen (14) days from receipt of this letter. The petition must comply with the requirements of Florida Administrative Code Rule 28-5.201 and be filed pursuant to Rule 17-103.155(1) in the Office of General Counsel of the Department of Environmental Regulation at 2600 Blair Stone Road, Tallahassee, Florida 32301-8241. Petitions which are not filed in accordance with the above provisions will not be accepted by the Department. If a formal proceeding pursuant to Section 120.57(1) is requested, at such formal hearing all parties shall have an opportunity to respond, to present evidence and argument on all issues involved, to conduct cross-examination of witnesses and submit rebuttal evidence, to submit proposed findings of facts and orders, to file exceptions to any order or hearing officer's recommended order, and to be represented by counsel. If an informal proceeding is requested, the agency will, in accordance with its rules of procedure, give affected persons or parties or their counsel an opportunity, at a convenient time and place, to present to the agency or

Page Two
Modification
Permit #431355268

hearing officer written or oral evidence in opposition to the agency's action or refusal to act, or a written statement challenging the grounds upon which the agency has chosen to justify its action or inaction, pursuant to Section 120.57(2), Florida Statutes. The hearing process is designed to formulate agency action. Accordingly, the Department's final action as a result of a hearing may be different from the position taken by it in this stage. Therefore, any person who may wish to contest the Department's ultimate permitting decision must petition for hearing within the fourteen day period described above. Failure to file a request for hearing within this time period shall constitute a waiver of any right such person may have to request a hearing under Section 120.57, Florida Statutes.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Scott Benyon", written over a horizontal line.

J. Scott Benyon
District Manager

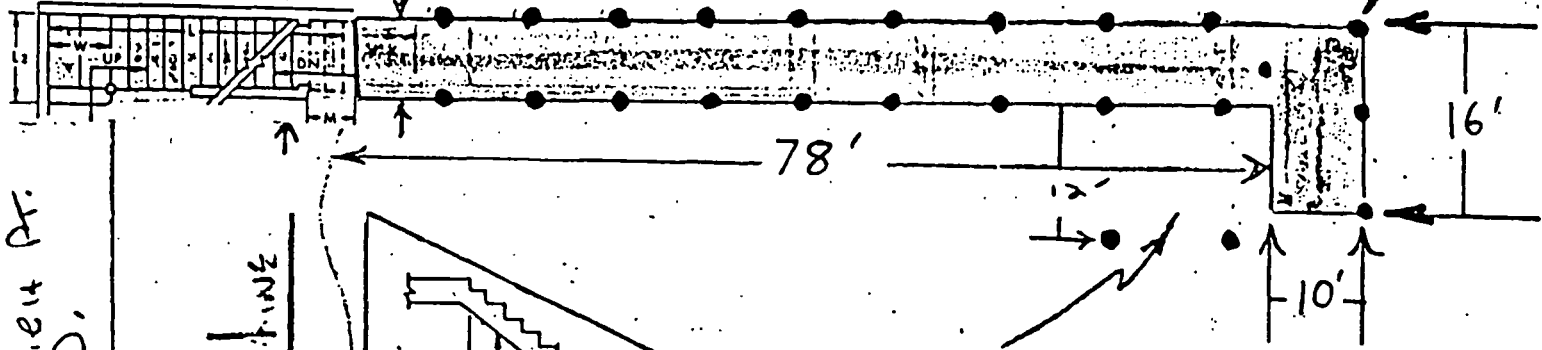
JSB:brt/26

cc: DNR
COE, Miami
Mike Zimmerman, COE

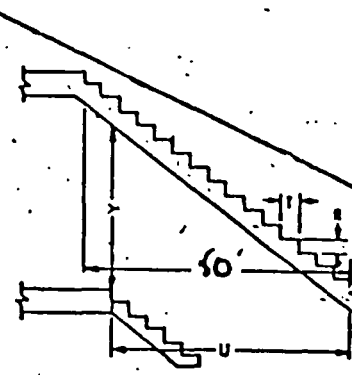
LAYOUT #1

NORTH QUADRANT.

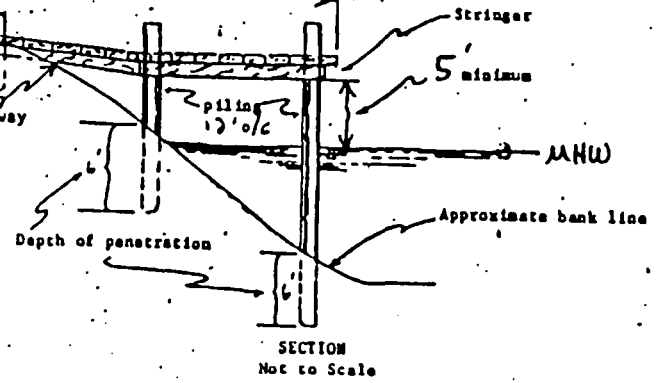
NOTE: 4' AT MHW HIGH WATER



NOTE: TWO LIFT SUPPORT PILINGS



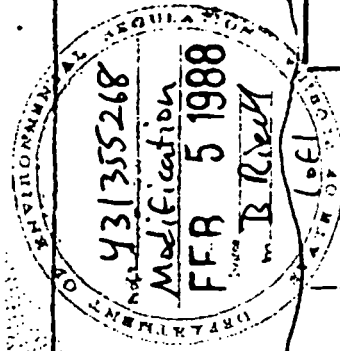
DOCK X STAIRWELL CROSSSECTION #2



SECTION Not to Scale

225' LOT # 26 E. HIGH PT. ROAD,

MEAN HIGH WATER LINE



PROPOSED DOCK LOCATION!

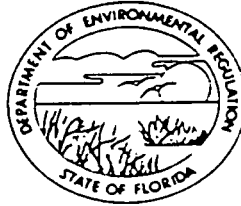
HITIDE MARINE CONST., INC. 3191 S.E. Wanler Street Stuart, FL 33497 Ph: (305) 283-9354

DR. CHARLES FIARACCI 26 E. HIGH PT. ROAD SEWALLS POINT FL 34080 DWG: DAN DYKAL JANUARY 21 1987

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

FILE

SOUTHEAST FLORIDA DISTRICT
BRANCH OFFICE
2745 SOUTHEAST MORNINGSIDES BOULEVARD
PORT ST. LUCIE, FLORIDA 33452



BOB MARTINEZ
GOVERNOR
DALE TWACHTMANN
SECRETARY

September 18, 1987

NOTICE OF PERMIT

Charles Fraraccio
c/o American Marine Consultants
3051 Industrial 25th Street
Fort Pierce, Florida 33450

DF - Martin County
Private Dock
Indian River

Dear Mr. Fraraccio:

Enclosed is Permit Number 431355268 to construct a dock, issued pursuant to Section 403, Florida Statutes.

Persons whose substantial interests are affected by this permit have a right, pursuant to Section 120.57, Florida Statutes, to petition for an administrative determination (hearing) on it. The petition for an administrative determination of Chapters 17-103 and 28-5.201, FAC, must be filed (received) in the Department's Office of General Counsel, 2600 Blair Stone Road, Tallahassee 32301, within fourteen (14) days of receipt of this notice. Failure to file a petition within the fourteen (14) days constitutes a waiver of any right such person has to an administrative determination (hearing) pursuant to Section 120.57, Florida Statutes. This permit is final and effective on the date filed with the Clerk of the Department unless a petition is filed in accordance with this paragraph or unless a request for extension of time in which to file a petition is filed within the time specified for filing a petition and conforms to Rule 17-103.070, FAC. Upon timely filing of a petition or a request for an extension of time this permit will not be effective until further Order of the Department.

When the Order (Permit) is final, any party to the Order has the right to seek judicial review of the Order pursuant to Section 120.68, Florida Statutes, by the filing of a Notice of Appeal pursuant to Rule 9.110, Florida Rules of Appellate Procedure, with the Clerk of the Department in the Office of General Counsel, 2600 Blair Stone Road, Tallahassee, Florida 32301; and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate District Court of Appeal. The Notice of Appeal must be filed within 30 days from the date the Final Order is filed with the Clerk of the Department.

JAM:brv/4

Sincerely,

John A. Meyer
Supervisor, Dredge & Fill Permitting

Copies furnished to:

Corps of Engineers
DNR
Property Appraisers
Martin County Department of Public Works
City of Sewalls Point

CERTIFICATE OF SERVICE

This is to certify that this NOTICE OF PERMIT and all copies were mailed before the close of business on February 20, 1957 to the listed persons.

Clerk Stamp

FILING AND ACKNOWLEDGEMENT
FILED, on this date, pursuant to
§120.52(10), Florida Statutes, with
the designated Department Clerk,
receipt of which is hereby
acknowledged.

Caroline M. ... Feb 20 1957
Clerk Date

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

SOUTHEAST FLORIDA SUBDISTRICT
BRANCH OFFICE
2745 SOUTHEAST MORNINGSIDE BOULEVARD
FORT ST. LUCIE, FLORIDA 33452



BOB MARTINEZ
GOVERNOR
DALE TWACHMANN
SECRETARY

PERMITTEE:
Charles Fraraccio
c/o American Marine Consultants
3051 Industrial 25th Street
Fort Pierce, Florida 33450

I.D. Number: 5143P00480
Permit/Certification Number: 431355268
Date of Issue: September 18, 1987
Expiration Date: September 18, 1990
County: Martin
Latitude/Longitude: 27°10'15"/80°11'21"
Section/Township/Range: 13/38S/41E
Project: Private Dock

This permit is issued under the provisions of Chapter 403, Florida Statutes, and Florida Administrative Code Rules 17-3, 17-4 and 17-27. The above named permittee is hereby authorized to perform the work or operate the facility shown on the application and approved drawing(s), plans, and other documents attached hereto or on file with the department and made a part hereof and specifically described as follows:

CONSTRUCT:

- A 1,044 square foot dock consisting of:
- a) a 90' by 6' access pier incorporating a 4' wide interlude for that portion constructed through existing mangroves.
 - b) a 34' by 12' terminal platform.
 - c) a 36' by 4' catwalk.

IN ACCORDANCE WITH:

The two (2) stamped drawings which are attached and a part hereof and DER application Form 17-1.203(1) dated June 9, 1987 and signed by Charles A. Fraraccio (not attached).

LOCATED AT:

26 East High Point Road, Class III waters, Aquatic Preserve A-10, Indian River, Section 13, Township 38S, Range 41E, Sewalls Point, Martin County.

SUBJECT TO:

GENERAL CONDITIONS one (1) through fifteen (15) and SPECIFIC CONDITIONS one (1) through five (5).

PERMITTEE:
Charles Fraraccio
c/o American Marine Consultants
Fort Pierce, Florida

I.D. Number: 5143P00480
Permit/Certification Number: 431355268
Date of Issue:
Expiration Date:

GENERAL CONDITIONS:

1. The terms, conditions, requirements, limitations, and restrictions set forth herein are "Permit Conditions" and as such are binding upon the permittee and enforceable pursuant to the authority of Sections 403.161, 403.727, or 403.859 through 403.861, Florida Statutes. The permittee is hereby placed on notice that the department will review this permit periodically and may initiate enforcement action for any violation of the "Permit Conditions" by the permittee, its agents, employees, servants or representatives.
2. This permit is valid only for the specific processes and operations applied for and indicated in the approved drawings or exhibits. Any unauthorized deviation from the approved drawings, exhibits, specifications, or conditions of this permit may constitute grounds for revocation and enforcement action by the department.
3. As provided in Subsections 403.087(6) and 403.722(5), Florida Statutes, the issuance of this permit does not convey any vested rights or any exclusive privileges. Nor does it authorize any injury to public or private property or any invasion of personal rights, nor any infringement of federal, state or local laws or regulations. This permit does not constitute a waiver of or approval of any other department permit that may be required for other aspects of the total project which are not addressed in the permit.
4. This permit conveys no title to land or water, does not constitute state recognition or acknowledgement of title, and does not constitute authority for the use of submerged lands unless herein provided and the necessary title or leasehold interests have been obtained from the state. Only the Trustees of the Internal Improvement Trust Fund may express state opinion as to title.
5. This permit does not relieve the permittee from liability for harm or injury to human health or welfare, animal, plant or aquatic life or property and penalties therefor caused by the construction or operation of this permitted source, nor does it allow the permittee to cause pollution in contravention of Florida Statutes and department rules, unless specifically authorized by an order from the department.
6. The permittee shall at all times properly operate and maintain the facility and systems of treatment and control (and related appurtenances) that are installed or used by the permittee to achieve compliance with the conditions of this permit, as required by department rules. This provision includes the operation of backup or auxiliary facilities or similar systems when necessary to achieve compliance with the conditions of the permit and when required by department rules.
7. The permittee, by accepting this permit, specifically agrees to allow authorized department personnel, upon presentation of credentials or other documents as may be required by law, access to the premises, at reasonable times, where the permitted activity is located or conducted for the purpose of:
 - a. Having access to and copying any records that must be kept under the conditions of the permit;
 - b. Inspecting the facility, equipment, practices, or operations regulated or required under this permit; and
 - c. Sampling or monitoring any substances or parameters at any location reasonably necessary to assure compliance with this permit or department rules.Reasonable time may depend on the nature of the concern being investigated.
8. If, for any reason, the permittee does not comply with or will be unable to comply with any condition or limitation specified in this permit, the permittee shall immediately notify and provide the department with the following information:
 - a. a description of and cause of non-compliance; and

PERMITTEE:
Charles Fraraccio
c/o American Marine Consultants
Fort Pierce, Florida

I.D. Number: 5143P00480
Permit/Certification Number: 431355268
Date of Issue:
Expiration Date:

b. the period of noncompliance, including exact dates and times; or, if not corrected, the anticipated time of non-compliance is expected to continue, and steps being taken to reduce, eliminate, and prevent recurrence of non-compliance.

The permittee shall be responsible for any and all damages which may result and may be subject to enforcement action by the department for penalties or revocation of this permit.

9. In accepting this permit, the permittee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this permitted source, which are submitted to the department, may be used by the department as evidence in any enforcement case arising under the Florida Statutes or department rules, except where such use is proscribed by Sections 403.73 and 403.111, Florida Statutes.
10. The permittee agrees to comply with changes in department rules and Florida Statutes after a reasonable time of compliance, provided however, the permittee does not waive any other rights granted by Florida Statutes or department rules.
11. This permit is transferable only upon department approval in accordance with Florida Administrative Code Rule 17-4.12 and 17-30.30, as applicable. The permittee shall be liable for any non-compliance of the permitted activity until the transfer is approved by the department.
12. This permit is required to be kept at the work site of the permitted activity during the entire period of construction or operation.
13. This permit also constitutes:
 - () Determination of Best Available Control Technology (BACT)
 - () Determination of Prevention of Significant Deterioration (PSD)
 - () Certification of Compliance with State Water Quality Standards (Section 401, PL 92-500)
 - () Compliance with New Source Performance Standards.
14. The permittee shall comply with the following monitoring and record keeping requirements:
 - a. Upon request, the permittee shall furnish all records and plans required under department rules. The retention period for all records will be extended automatically, unless otherwise stipulated by the department during the course of any unresolved enforcement action.
 - b. The permittee shall retain at the facility or other location designated by this permit records of all monitoring information (including all calibration and maintenance records and all original strip chart recordings of continuous monitoring instrumentation), copies of all reports required by this permit, and records of all data used to complete the application for this permit. The time period of retention shall be at least three years from the date of the sample, measurement, report or application unless otherwise specified by department rule.
 - c. Records of monitoring information shall include:
 - the date, exact place, and time of sampling or measurements;
 - the person responsible for performing the sampling or measurements;
 - the date(s) analyses were performed;
 - the person responsible for performing the analyses;
 - the analytical techniques or methods used; and
 - the results of such analyses.
15. When requested by the department, the permittee shall within a reasonable time furnish any information required by law which is needed to determine compliance with the permit. If the permittee becomes aware that relevant facts were not submitted or were incorrect in the permit application or in any report to the department, such facts and information shall be submitted or corrected promptly.

PERMITTEE:
Charles Fraraccio
c/o American Marine Consultants
3051 Industrial 25th Street
Fort Pierce, Florida 33450

I.D. Number: 5143P00480
Permit/Certification Number: 431355268
Date of Issue: September 18, 1987
Expiration Date: September 18, 1990

SPECIFIC CONDITIONS:

1. Written notification shall be provided to the Department of Environmental Regulation, Southeast Florida District Branch Office in Port St. Lucie, a minimum of forty-eight (48) hours prior to commencement of construction and a maximum of forty-eight (48) hours after completion of construction.
2. An effective means of turbidity control, such as, but not limited to, turbidity curtains, shall be employed during all operations that may create turbidity in excess of standards provided in Chapter 17-3 of the Florida Administrative Code. Turbidity control shall remain in place until all turbidity has subsided.
3. Reflective devices shall be installed on the dock terminus in such a way that will alert night boat traffic of its presence.
4. All other necessary State, Federal, or Local permits must be applied for and received prior to the start of work.
5. "No person shall commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund or the Department of Natural Resources under Chapter 253, until such person has received from the Board of Trustees of the Internal Improvement Trust Fund the required lease, license, easement, or other form of consent authorizing the proposed use." Pursuant to Florida Administrative Code Rule 16Q-14, if such work is done without consent, or if a person otherwise damages state land or products of state land, the Board of Trustees may levy administrative fines of up to \$10,000 per offense.

Issued this 18th day of September, 1987

JSB:brv/4

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

per J. Scott Benyon, Ph.D., Assist. Dist. Mgr.
J. Scott Benyon
District Manager

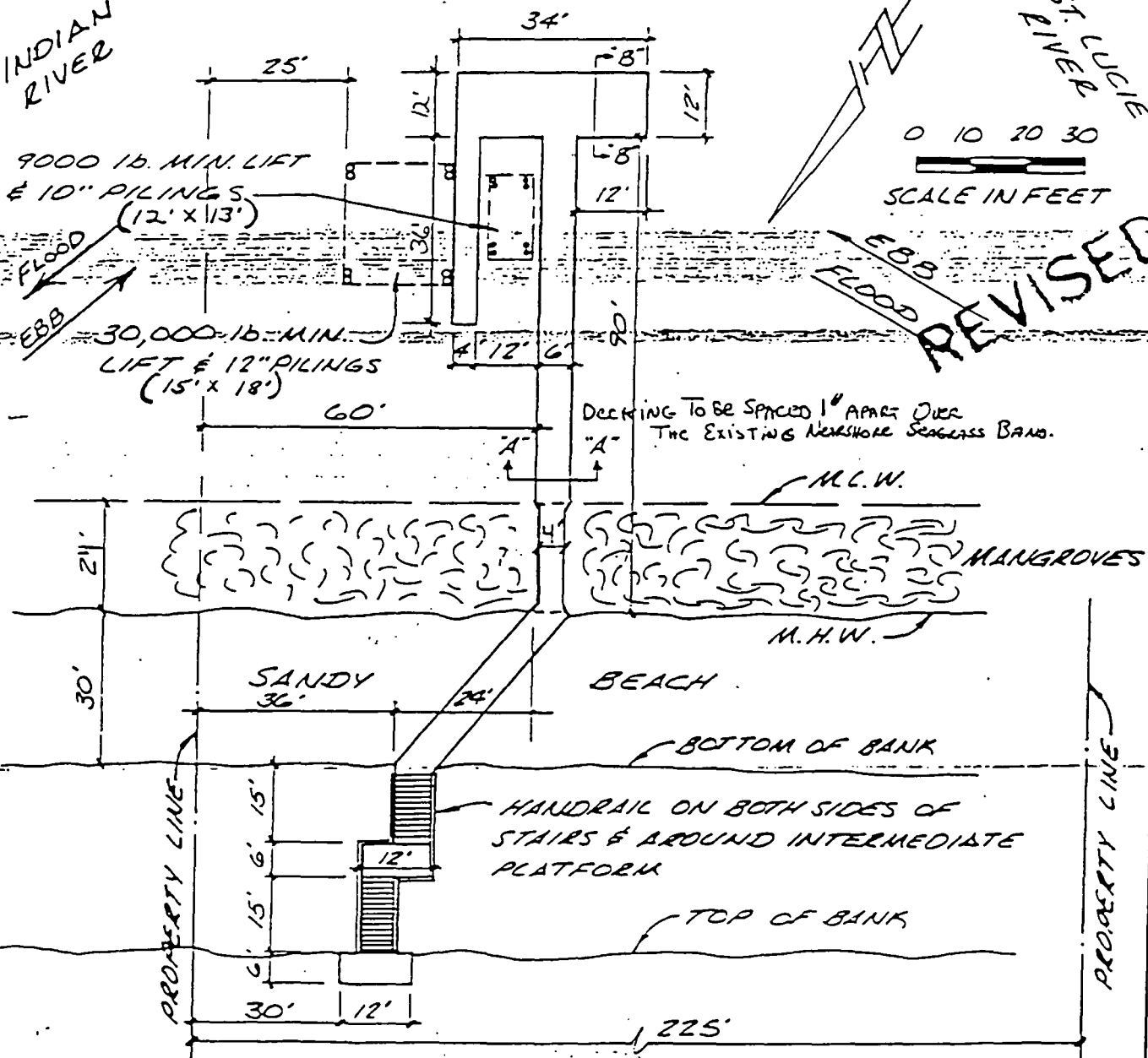
2 Pages attached.

I hereby certify that these designs were performed under my direction.

Lee E. Harris
 Lee E. Harris, P.E.
 Fla. Reg. Professional Engr. #26252

INDIAN RIVER

ST. JULIE RIVER



0 10 20 30
 SCALE IN FEET

REVISÉ

PURPOSE: Proposed Dock for Charles Fraraccio, 26 E. High Point Road
 DATUM MHW & MLW
 ADJACENT PROPERTY OWNERS:
 ① Charles R. Walgreen, III (North)
 ② Frank D. Murphy (South)

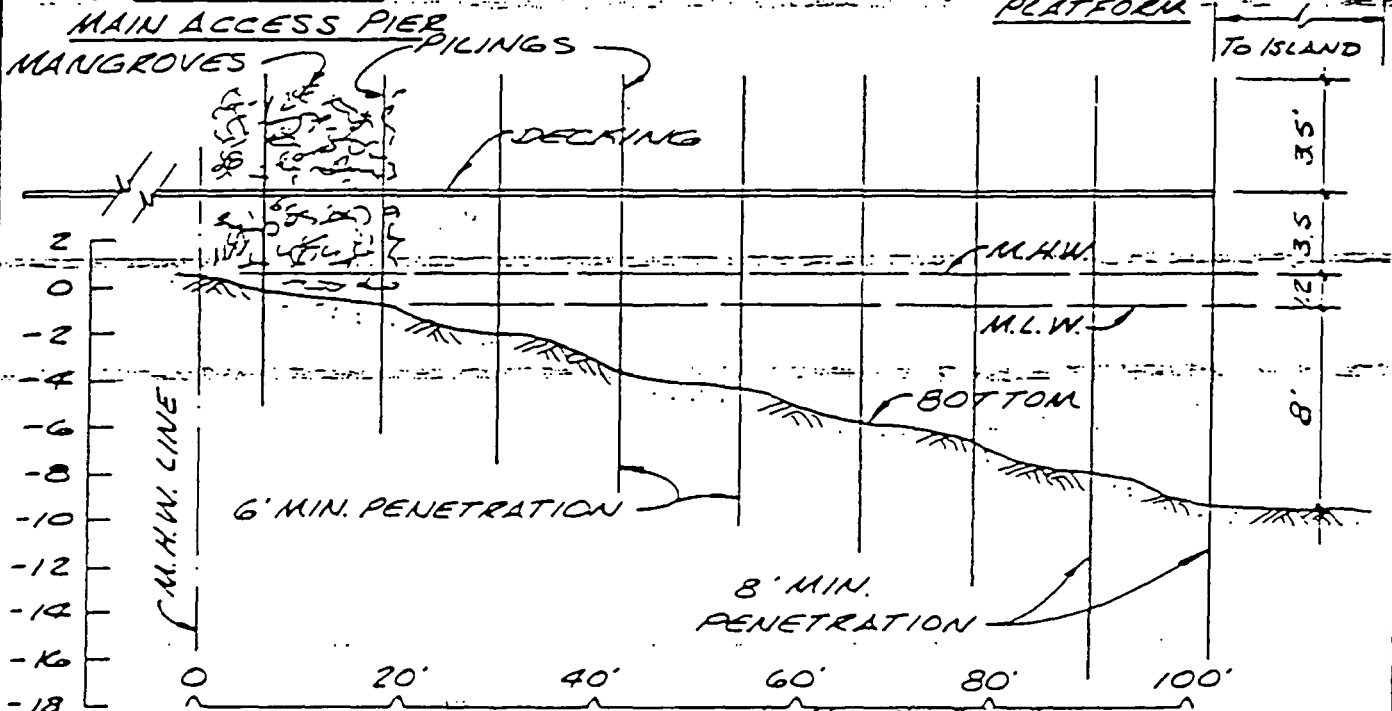
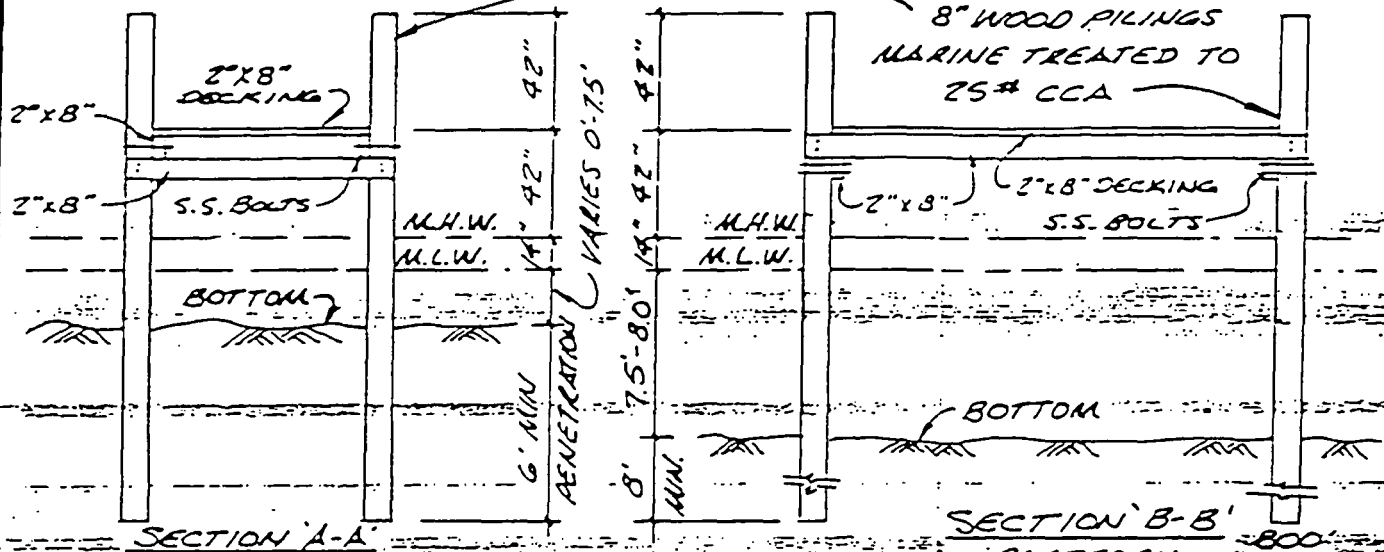
431355265
 Private Dock
 SEP 18 1987
 2 of 2

IN Stuart, Florida
 AT Sewall's Point
 COUNTY OF Martin STATE FL
 APPLICATION BY Team Marine
 International Corporation
 SHEET 1 OF 2 DATE 5/29/87

I hereby certify that these designs were performed under my direction.

Lee E Harris

Lee E. Harris, P.E.
 Fla. Reg. Professional Engr. #26252



PURPOSE: Proposed Dock
 DATUM: M.H.W. & M.L.W.
 ADJACENT PROPERTY OWNERS:
 ① Charles R. Walgreen, III (North)
 ② Frank D. Murphy (South)

For: Charles Fraraccio, 26 E. High Point Road

PROFILE

431355268
 Light Dock
 SEP 18 1987
J. Powell

IN Stuart, Florida
 AT Sewall's Point
 COUNTY of Martin STATE FL
 APPLICATION BY Team Marine
 International Corporation
 SHEET 2 OF 2 DATE 5/29/87



DEPARTMENT OF THE ARMY

SOUTH FLORIDA AREA OFC. JACKSONVILLE DISTRICT. CORPS OF ENGINEERS

P. O. BOX 1327

CLEWISTON, FLORIDA 33440-1327

February 12, 1988

REPLY TO
ATTENTION OF

Regulatory Section
Miami
87LP30106

Dr. Charles Fraraccio
26 East High Point Road
Stuart, Florida 34996

Dear Dr. Fraraccio:

Reference is made to your requested revision of plans which were authorized by Department of the Army permit 87LP30106 issued on August 25, 1987.

According to the enclosed drawings, the proposed change is not considered to be a significant alteration and will not require a formal modification. The change will be noted in your file.

Thank you for your continued cooperation with the Corps regulatory program.

Sincerely,

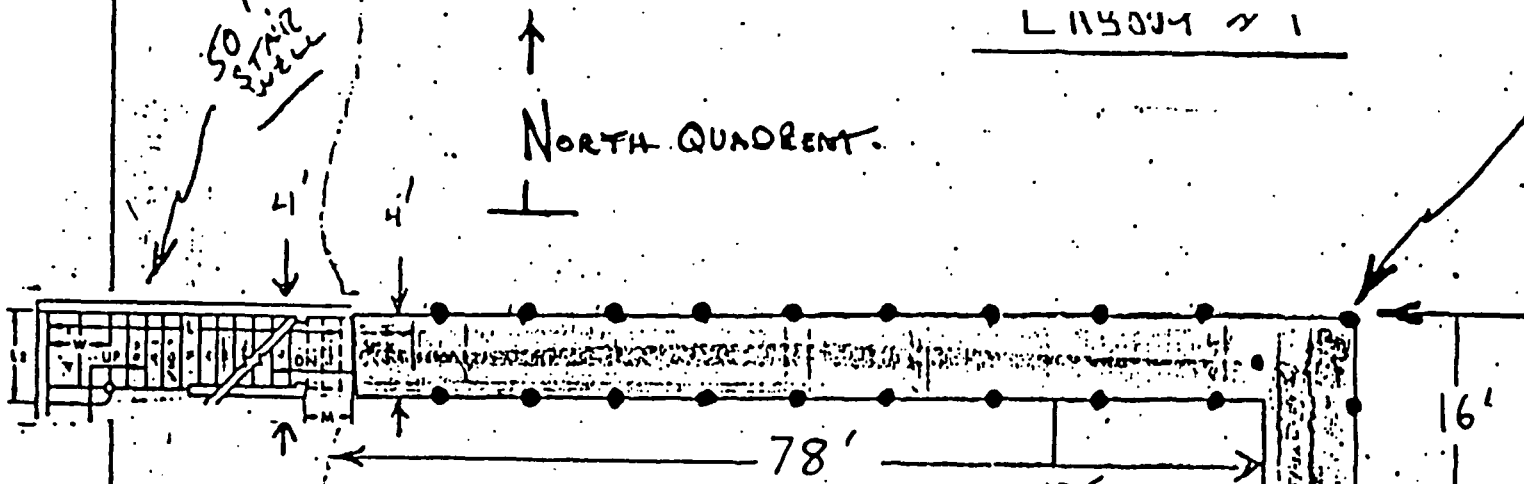
Charles A. Schnepel
Charles A. Schnepel
Chief, Regulatory Section

Enclosures

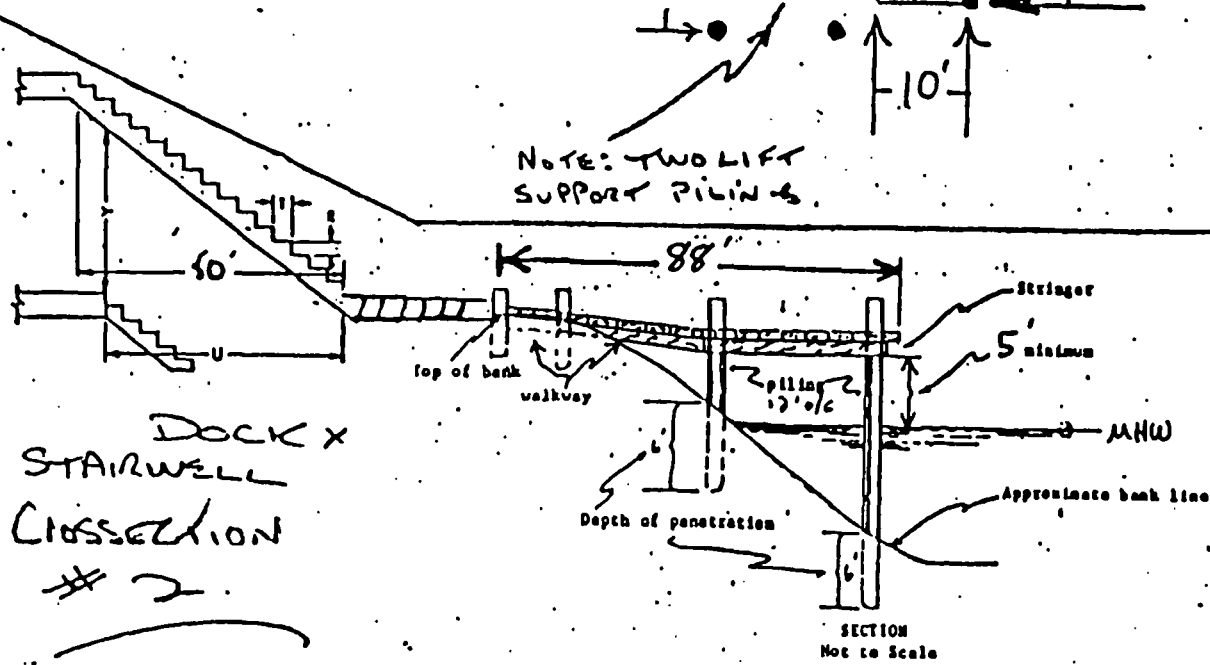
L 115004 ~ 1

NORTH QUADRANT.

NOTE: 4' AT MHW HIGH WATER



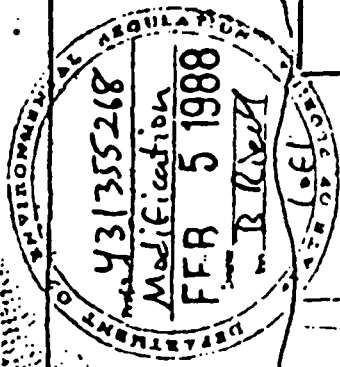
NOTE: TWO LIFT SUPPORT PILING'S



DOCK X STAIRWELL CROSSSECTION # 2

SECTION Not to Scale

225'
 LOT # 26 E. HIGH PT. ROAD,
 MEAN HIGH WATER LINE



IMPOSED DOCK LOCATION!
 HI-TIDE MARINE CONST., INC.
 3191 S.E. Waqler Street
 Stuart, FL 33497
 Ph: (305) 283-9354

DR. CHARLES FIARALLO
 26 E. HIGH PT. RD.
 SEWILLS POINT
 DWG: DAN DYKIC
 5 JUNE 21 1987



DEPARTMENT OF THE ARMY
SOUTH FLORIDA AREA OFFICE, JACKSONVILLE DISTRICT CORPS OF ENGINEERS
P. O. BOX 1327
CLEWISTON, FLORIDA 33440

August 25, 1987

REPLY TO
Regulatory Section
Miami
87LP30106

Dr. Charles Fraraccio
c/o AMERICAN MARINE CONSULTANTS
3051 Industrial 25 Street
Fort Pierce, Florida 33450

Dear Dr. Fraraccio:

This letter is in reference to your request for a permit to perform work in or affecting navigable waters of the United States. Upon recommendation of the Chief of Engineers, pursuant to Section 10 of the Rivers and Harbors Act of 3 March 1899, (33 U.S.C. § 403), you are authorized to:

construct a dock 90 by 6 feet wide with a 34 by 12 foot platform, finger pier & 2 boat lifts in the confluence of the Indian and St. Lucie Rivers at 26 East High Point Road, Sewalls Point, in Martin County, Florida, in accordance with the enclosed plans and conditions which are incorporated in, and made a part of, the permit. We have no evidence that a state permit has been issued for the work and no work may begin until their requirements are met.

Enclosed is a Notice of Authorization which should be displayed at the construction site. When work is begun, you must notify the District Engineer's representative at the appropriate Area Office as shown on the enclosed map, of:

1. The date of commencement of work (mail enclosed card),
2. The dates of work suspensions and resumptions if work is suspended over a week, and
3. The date of final completion.

If the work authorized is not completed on or before 25 August 1992, this authorization, if not previously revoked or specifically extended, shall cease and be null and void.

BY AUTHORITY OF THE SECRETARY OF THE ARMY:

CESAJ-RD-F
CESAJ-CN-S

RLH
Robert L. Herndon
Colonel, Corps of Engineers
District Engineer

Enclosures:

Notice of Authorization
Commencement Card
Plans & Conditions
Area Office Map

8670

REPLACE AIR HANDLER ONLY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	8670	DATE ISSUED:	JULY 25, 2007
SCOPE OF WORK:	REPLACE AIR HANDLER		
CONTRACTOR:	FOUR WINDS AIR CONDITIONING		
PARCEL CONTROL NUMBER:	133841003000010100	SUBDIVISION	HIGH POINT-LOT101,100
CONSTRUCTION ADDRESS:	26 E HIGH POINT RD		
OWNER NAME:	FRARACCIO		
QUALIFIER:	THOMAS NISA	CONTACT PHONE NUMBER:	772-219-2074

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	8670 - 26 E HIGH PT RD		
DATE:	JULY 25, 2007		
SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			

FOUR WINDS AIR CONDITIONING LLC 05/06

1275
63-215/631

TOWN OF SEWALL'S POINT

Date July 25, 2007

Pay to the Order of _____ \$ 80⁰⁰
Eighty dollars and no/100 Dollars



ACH RT 061000104

For Dr. Ferrario Permit

Thomas P. Quinn

TOTAL BUILDING PERMIT FEE:		\$	
ACCESSORY PERMIT	Declared Value:	\$	<u>2395.00</u>
Total number of inspections @ \$75.00 each	1	\$	75.00
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5.00
TOTAL ACCESSORY PERMIT FEE:		\$	80.00

Acct # 27787

RECEIVED

DATE: 7-20-07
TOWN OF SEWALL'S POINT

Date: July 17, 2007 Town of Sewall's Point BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: FRAPACCIO CHARLES A Phone (Day) 286-1854 (Fax) N/A
Donna A.

Job Site Address: 26 EAST High Point Road City: STUART State: FL Zip: 34994

Legal Desc. Property (Subd/Lot/Block) High Point 15LE Addn Parcel Number: 13-38-41-003-000-01010-0

Owner Address (if different): Same as above City: STUART State: FL Zip: 34996-7002

Scope of work: Replace Air conditioning system

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

COST AND VALUES: (Required on ALL permit applications) ^{TAV}
Estimated Value of Improvements: \$ ~~5000~~ 2395
(Notice of Commencement required when over \$2500 prior to first inspection)

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO X
(Must include a copy of all variance approvals with application)

FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY:
SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE: V _____ A9 _____ A8 X
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Fourwinds air conditioning, Inc. CP# 260-2074
Phone: (772) 219 3896 Fax: (772) 219 3999

Street: 5447 SE Reef Way City: STUART State: FL Zip: 34997

State Registration Number: _____ State Certification Number CA080116 Municipality License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQ. FOOTAGE (W/SEWER & ELECTRIC): Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****
OWNER OR AUTHORIZED AGENT SIGNATURE (required) CONTRACTOR SIGNATURE (required)

State of Florida, County of: Martin On State of Florida, County of: Martin

This the 24th day of July, 2007 This the 19th day of July, 2007

by Charles Frapaccio who is personally known to me or produced FLX# F662-141-49-001-0 by THOMAS PAUL NISA who is personally known to me or produced FLN# N200-835-64-086-0

as identification. Valerie Meyer as identification. Valerie Meyer
My Commission Expires: _____ My Commission Expires: _____

Notary Public VALERIE MEYER
MY COMMISSION # DD552119
EXPIRES: May 14, 2010
Harris Notary Service.com

Notary Public VALERIE MEYER
MY COMMISSION # DD552449

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmax.com T1.12

Summary

print | | | | | | | | | | Account #
1 of 1

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address
13-38-41-003-000-01010-0	26 E HIGH PT RD

Serial Index ID	Order	Commercial	Residential
27787	Account #	0	1

Summary

Property Location 26 E HIGH PT RD
Tax District 2200 Sewall's Point
Account # 27787
Land Use 101 0100 Single Family
Neighborhood 193110
Acres 1.110

Legal Description

Property Information
HIGH POINT ISLE ADDN, PART OF LOTS 101 & 100; BEG NW COR LOT 101, CURVE NE 50' FOR POB

Owner Information

Owner Information
FRARACCIO, CHARLES A & DONNA A

Mail Information

26 E HIGH POINT ROAD
STUART FL 34996-7002

Assessment Info

Front Ft. 1.00

Market Land Value \$1,079,000
Market Impr Value \$549,510
Market Total Value \$1,628,510

Site Functions

Property Search

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$100

Sale Date 8/1/1981
Book/Page 0527 2314

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 07/09/2007



Proposal

FILE COPY

TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 7-23-07
BUILDING OFFICIAL

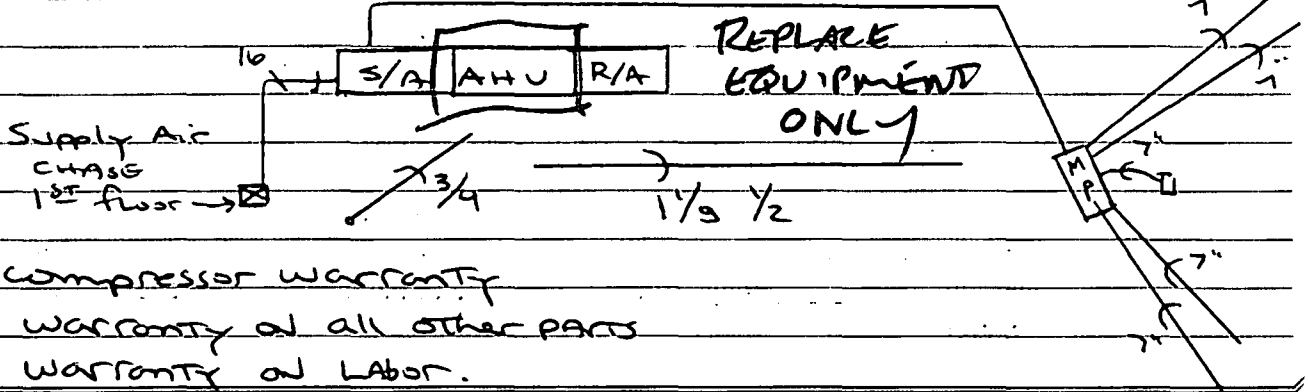
Proposal Submitted To: <u>DR and Mrs. Charlie Fraccacio</u>	Job Name	Job #
Address <u>26 EAST High Point Road</u> <u>STUART FL 34996</u>	Job Location <u>MAIN Living SYSTEM</u>	Date
Phone # <u>286-1854</u>	Fax #	Architect <u>JA</u>

We hereby submit specifications and estimates for: ~~Installing a Rheem (5) Bore-Tube Electric A/C SYSTEM with an SEER of 13.5 @ 67,000 cooling BTU/hr.~~
 INSTALLATION includes: ~~Rheem RANDO60JAZ Condensing unit with R/R coils R/LLAEM6024JA Horizontal Air handling unit and R/BH24A10T 10 k.w. electric heat strip for winds air conditioning unit to replace the air distribution SYSTEM~~
~~REPLACE AIR HANDLING UNIT WITH HEAT STRIP ONLY~~

#6/2/1 60HZ

* MVD's w/ All Supplies.

Including All Permits.



Ten year compressor warranty
 Five year warranty on all other parts
 one year warranty on labor.

We propose hereby to furnish material and labor — complete in accordance with the above specifications for the sum of:
 \$ ~~10500~~ 2385 Dollars
 with payments to be made as follows: upon completion

Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

Respectfully submitted

Thomas P. [Signature]

Note — this proposal may be withdrawn by us if not accepted within _____ days

Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Signature _____

Date of Acceptance _____

Signature _____

Handwritten initials/signature

CERTIFICATE OF INSURANCE

The company indicated below certifies that the insurance afforded by the policy or policies numbered and described below is in force as of the effective date of this certificate. This Certificate of Insurance does not amend, extend, or otherwise alter the Terms and Conditions of Insurance coverage contained in any policy numbered and described below.

CERTIFICATE HOLDER:

TOWN OF SEWALLS POINT
1 SEWALLS POINT ROAD
SEWALLS POINT, FL 34996

INSURED:

FOUR WINDS AIR CONDITIONING
LLC
5447 SE REEF WAY
STUART, FL 34997-2558

TYPE OF INSURANCE	POLICY NUMBER & ISSUING CO.	POLICY EFF. DATE	POLICY EXP. DATE	LIMITS OF LIABILITY (*LIMITS AT INCEPTION)
LIABILITY	77-AC-840456-3001	04-21-07	04-21-08	
<input checked="" type="checkbox"/> Liability and Medical Expense	NATIONWIDE MUTUAL FIRE INSURANCE CO.			Any One Occurrence..... \$ 300,000
<input checked="" type="checkbox"/> Personal and Advertising Injury				Any One Person/Org \$ 300,000
<input checked="" type="checkbox"/> Medical Expenses				ANY ONE PERSON \$ 5,000
<input checked="" type="checkbox"/> Fire Legal Liability				Any One Fire or Explosion \$ 100,000
				General Aggregate* \$ 600,000
				Prod/Comp Ops Aggregate* . \$ 600,000
<input type="checkbox"/> Other Liability				
<hr/>				
AUTOMOBILE LIABILITY	77-BA-840456-3002	04-21-07	04-21-08	
<input checked="" type="checkbox"/> BUSINESS AUTO	Nationwide Insurance Co.			Bodily Injury (Each Person) \$
<input checked="" type="checkbox"/> Owned				(Each Accident) \$
<input type="checkbox"/> Hired				Property Damage (Each Accident) \$
<input type="checkbox"/> Non-Owned				Combined Single Limit \$ 300,000
<hr/>				
EXCESS LIABILITY				Each Occurrence \$
<input type="checkbox"/> Umbrella Form				Prod/Comp Ops/Disease Aggregate* \$
<hr/>				
				STATUTORY LIMITS
<input type="checkbox"/> Workerst Compensation and Employerst Liability				BODILY INJURY/ACCIDENT .. \$
				Bodily Injury by Disease EACH EMPLOYEE \$
				Bodily Injury by Disease POLICY LIMIT \$

DESCRIPTION OF OPERATIONS/LOCATIONS
VEHICLES/RESTRICTIONS/SPECIAL ITEMS

Effective Date of Certificate: 04-21-2007
Date Certificate Issued: 07-19-2007

Authorized Representative: *Stephen R. Scienzo*
Countersigned at: 4199 SW HIGH MEADOWS AVE
PALM CITY, FL 34990

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

26 EAST High Point Road, High Point Lake Area

GENERAL DESCRIPTION OF IMPROVEMENT: Replace A/C conditioning system.

OWNER: Charles A. Fraraccio, Donna A Fraraccio.

ADDRESS: 26 EAST High Point Road

PHONE #: 286-1854 FAX #: _____

INTEREST IN PROPERTY: _____

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Fourwinds air conditioning, LLC

ADDRESS: 5447 S.S. Reef way STUART FL 34997

PHONE #: (772) 219-3896 FAX #: 772 219-3899

SURETY COMPANY (IF ANY): _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____

OF _____ TO RECEIVE A COPY OF THE LIENOR'S

NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

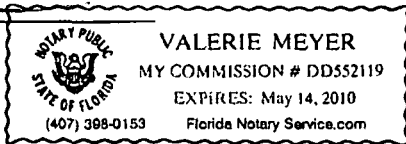
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Charles Fraraccio
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 24th DAY OF July 2007
BY Charles Fraraccio

PERSONALLY KNOWN
OR PRODUCED ID
TYPE OF ID FLDL# F662-141-49-001-0

Valerie Meyer
NOTARY SIGNATURE



STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION
CONSTRUCTION INDUSTRY
CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA
WORKERS' COMPENSATION LAW



EFFECTIVE: 09/12/2008 * * EXPIRATION DATE: 09/12/2008

PERSON: THOMAS NISA

FEIN: 542195841

BUSINESS NAME AND ADDRESS:

FOUR WINDS AIR CONDITIONING LLC
5447 SE REEFWAY
STUART, FL 34997

SCOPE OF BUSINESS OR TRADE:

1- CERTIFIED A/C CONTRACTOR

**MEETS REISSUANCE
REQUIREMENTS**

STATE OF FLORIDA AC# 3257922
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
QB49441 06/11/07 060755620
QUALIFIED BUSINESS ORGANIZATION
FOUR WINDS AIR CONDITIONING LLC
(NOT A LICENSE TO PERFORM WORK
ALLOWS COMPANY TO DO BUSINESS IF
IT HAS A LICENSED QUALIFIER)
IS QUALIFIED under the provisions of Ch. 489 FS
Expiration date: AUG 31 2009 L07061100594

STATE OF FLORIDA AC# 3257922
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CAC058116 08/02/06 050738753
CERTIFIED AIR COND CONTR
NISA THOMAS PAUL
FOUR WINDS AIR CONDITIONING LLC
IN GOD WE TRUST
IS CERTIFIED under the provisions of Ch. 489 FS
Expiration date: AUG 31 2008 L06080202681

To : VALERIE MEYER

From : Thomas P. Nisa FourWinds Air Conditioning, LLC

2006-2007 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE 2007-518-0217 CERT CAC058116 FL ST
PHONE (772)219-3876 SIC NO 238220

LOCATION:
5447 SE REEF WAY STU

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

RECEIPT of PAYMENT
LARRY C. O'STEEN
99 09/01/2006 NORMA
20070005160021
002 2005 0013347
FOUR WINDS AIR COND

NISA, TOHOMAS PAUL
FOUR WINDS AIR CONDITONING, LLC
5447 SE REEF WAY
STUART FL 34997

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **CERTIFIED AIR CONDITIONING CONTRAC**
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

01 DAY OF SEPTEMBER 06
AND ENDING ~~SEPTEMBER~~ 2007

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ~~THURS~~ **8-9**, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8670	Harmon	Final	Pass	Close
8:30 AM - 10 AM	26 E High Rd Four Winds A/C		Pass	INSPECTOR: <i>[Signature]</i>
8671	Boaile 17 Fieldway Dr Robert Herschberg	Sheeting Reinspection	Pass	INSPECTOR: <i>[Signature]</i>
8644	Cooney 17 Middle Rd Shawn Little	all trades R. ELEC R. PLUMB	Pass Pass	INSPECTOR: <i>[Signature]</i>
8590	Bursha 10 Palm Ct O/B	Final-garage	Pass	Close INSPECTOR: <i>[Signature]</i>
8639	Bursha 10 Palm Ct O/B	Frame rough in window Final	Pass	Close INSPECTOR: <i>[Signature]</i>
WRITE UP	118 N-SPR	TRASH WEAS		INSPECTOR:
C.E. INSPECTION	BANYON 9 GUMBO LIMB	TRIM TREE BRANCH		INSPECTOR:
OTHER:	HANGING IN ROADWAY			
125 Sewalls Final				

9235

GARAGE DOORS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9235	DATE ISSUED:	AUGUST 17, 2009
SCOPE OF WORK:	REPLACE 2 GARAGE DOORS		
CONDITIONS :			
CONTRACTOR:	AMERICAN PALM BEACH GARAGE DOORS		
PARCEL CONTROL NUMBER:	133841003-000-010100	SUBDIVISION	HIGH PT ISLE ADDN-#101
CONSTRUCTION ADDRESS:	26 E HIGH PT RD		
OWNER NAME:	FRARACCIO		
QUALIFIER:	FRED MAFERA	CONTACT PHONE NUMBER:	283-4566

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9235		
ADDRESS	26 E HGIH PT RD		
DATE:	8/17/09	SCOPE:	REPLACE 2 GARAGE DOORS

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
------------------------------------	----------------	----	--

Pl (N) To To To Bu Bu To Ra

AMERICAN - PALM BEACH GARAGE DOOR CORPORATION
 2201 SE INDIAN STREET #H-2
 STUART, FL 34997
 (772) 283-0419

DATE	INVOICE	AMOUNT
		63-4/630
		3673

PAY: *eighty & 00/100* DOLLARS

CHECK NO.	TO THE ORDER OF	DATE	GROSS AMOUNT	DISCOUNT	CHECK AMOUNT
3673	<i>Sewall Pt Build Dept</i>	8-17-09			80 ⁰⁰

Bank of America PALM BEACH COUNTY TEQUESTA OFFICE
 AMERICAN - PALM BEACH GARAGE DOOR CORPORATION
Joe M. [Signature]

DI [REDACTED]

Martin County Impact Fee:	\$	
TOTAL BUILDING PERMIT FEE:	\$	

ACCESSORY PERMIT	Declared Value:	\$	1964
Total number of inspections @ \$75.00 each	1	\$	75
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	80

RECEIVED
DATE: 7-23-09
TOWN OF SEWALL'S POINT

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 7-22-09

OWNER/TITLEHOLDER NAME: Fraracimo Charles

Phone (Day) 2810-1854 (Fax) _____

Job Site Address: 216 E. Hignpoint Rd.

City: Stuart

State: FL

Zip: 34996

Legal Description: Hignpoint 156 Adan 101007101

Parcel Control Number: 13-38-41-003000.010100

Owner Address (if different) _____

City: _____

State: _____

Zip: _____

Scope of work (please be specific): Replace 18x7 3 1/2" Garage doors w/ impact rated doors

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO X
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 1904.00
(Notice of commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: MODERN PAINT BEACH COAST

Phone: 2834500

Fax: 49-0576

Street: 2201 S.E. INDIAN ST #2

City: Stuart

State: FL

Zip: 34997

State License Number: _____

OR: Municipality: MARTIN COUNTY

License Number: SP01904

LOCAL CONTACT: FRED MAFERA

Phone Number: 772-2103-1234

DESIGN PROFESSIONAL: _____

License Number: _____

Phone Number: _____

Street: _____

City: _____

State: _____

Zip: _____

AREAS SQUARE FOOTAGE: Living _____ Garage: 189 Covered Patios/Porches _____ Enclosed Storage _____

Carport _____ Total Under Roof _____ Elevated Deck _____ Enclosed area below BFE _____
Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT: THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005 (2008, after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 60-98.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF: FBC 2004 W/ 2008 REVISIONS SECT. 105.4.1, 105.4.1.1, 5.

A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Fraracimo Charles

CONTRACTOR SIGNATURE (required)
Fred Mafera

State of Florida, County of: Martin County

On State of Florida, County of: Martin

This the 22 day of July 2009

This the 22 day of July 2009

by _____ who is personally known to me or produced as identification. *Meagan Mafera*

by *Fred Mafera* who is personally known to me or produced as identification. *Fred Mafera*

Notary Public

Notary Public

My Commission Expires: _____

My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

NOTARY PUBLIC
STATE OF FLORIDA
Notary Public State of Florida
Meagan Mafera
My Commission DD888208
Expires 07/14/2013

NOTARY PUBLIC
STATE OF FLORIDA
Notary Public State of Florida
A Brynn Whitby
My Commission DD594974
Expires 09/13/2010

Martin County, Florida

generated on 7/20/2009 2:44:25 PM EDT

Summary

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
13-38-41-003-000-01010-0	26 E HIGH PT RD	27787	Owner	0	1

Summary

Property Location 26 E HIGH PT RD
Tax District 2200 Sewall's Point
Account # 27787
Land Use 101 0100 Single Family
Neighborhood 193110
Acres 1.110

Legal Description

Property Information

HIGH POINT ISLE ADDN, PART OF LOTS 101 & 100; BEG NW COR LOT 101, CURVE NE 50' F OR POB CURVE NE 96.91', SE 251.24', SE 89.73' M/S TO INDIAN RIVER, MEANDER SWLY 225', NW 361' TO POB

Owner Information

Owner Information
 FRARACCIO, CHARLES A & DONNA A

Mail Information

26 E HIGH POINT RD
 STUART FL 34996-7002

Assessment Info

Front Ft.

Market Land Value \$917,150
Market Impr Value \$377,300
Market Total Value \$1,294,450

Recent Sale

Sale Amount \$100

Sale Date 8/1/1981
Book/Page 0527 2314

Data updated on 6/22/2009



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

REVISION

DATE 8/11/09
 9/87

TABLE 1609.6(2)

ADJUSTMENT FACTOR FOR BUILDING HEIGHT AND EXPOSURE (C)

MEAN ROOF HEIGHT (feet)	EXPOSURE		
	B	C	D
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.58	1.81
55	1.19	1.60	1.84
60	1.22	1.62	1.87

For SI: 1 foot = 304.8mm

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FORMULA FOR DESIGN PRESSURES
 FILE COPY

Example: 25 ft mean roof height, exposure C
 16 X 7 Door 140mph.

Pressure	Exposure C multiplier	Req. Design Pressure
29.7	X 1.35	= +40.095
-33.1	X 1.35	= -44.685

Garage Door must be rated at +40.1/-44.68 minimum. This formula must be completed for exposure C:

Pressure	Exposure C multiplier	Req. Design Pressure
34	X 1.21	= 38 (+)
33.1	X 1.21	= 42 (-)

TABLE 1609.6(1)

GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf)

EFFECTIVE WIND AREA		Basic Wind Speed V (mph - 3 second gust)							
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150
Roof Angle 0-10 degrees									
8	8	10.5 -11.9	11.7 -13.3	14.5 -16.4	17.5 -19.9	20.9 -23.6	24.5 -27.7	28.4 -32.2	32.6 -36.9
10	10	10.7 -11.4	11.4 -12.7	14.0 -15.7	17.0 -19.0	20.2 -22.7	23.7 -26.6	27.6 -30.8	31.8 -35.4
14	14	10.0 -10.7	10.8 -12.0	13.3 -14.6	16.1 -17.8	19.2 -21.4	22.5 -25.1	26.1 -29.1	30.0 -33.4
Roof Angle > 10 degrees									
9	7	11.4 -12.9	12.8 -14.5	16.8 -17.9	19.1 -21.6	22.8 -25.8	26.7 -30.2	31.0 -34.9	35.6 -40.2
15	7	10.9 -12.2	12.3 -13.7	15.2 -16.9	18.3 -20.4	21.8 -24.3	25.6 -28.5	29.7 -33.1	34.1 -38.0

For SI: 1 Square foot = 0.929 Sqm, 1 mph = 0.447 m/s, 1 psf = 47.88 N/sqm

- For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
- Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1608.2D.
- Plus and minus sign signify pressures acting toward and away from the building surfaces.
- Negative pressures assume door has 3 feet of width in building's end zone.

1609.6 Garage doors. Pressures from Table 1609.6(1) for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.

heritage/oaksummit
1000/2000 A'



MIAMI-DADE COUNTY
BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 372-6339

NOTICE OF ACCEPTANCE (NOA)

www.miamidade.gov/buildingcode

Amarr Garage Doors.
165 Carriage Court
Winston Salem, NC 27105

SCOPE: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Models 950/655 1000 & 2000 Steel Sectional Garage Door (9' wide)

APPROVAL DOCUMENT: Drawing No. **IRC-9509-180-21**, titled "Model 950 Heritage, Model 655 Oak Summit, (24 GA) 1000, 2000, Short, Long, Flush and Bead Panels", sheets 1 through 3 of 3, prepared by Amarr Garage Doors, dated 03/14/03, with revision A dated 06/11/08, signed and sealed by Tomas L. Shelmerdine, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

LIMITATION: This approval requires the manufacturer to do testing of all coils used to fabricate door panels under this Notice of Acceptance. A minimum of 2 specimens shall be cut from each coil and tensile tested according to ASTM E-8 by a Dade County approved laboratory selected and paid by the manufacturer. Every 3 months, four times a year, the manufacturer shall mail to this office: a copy of the tested reports with confirmation that the specimen were selected from coils at the manufacturer production facilities. And a notarized statement from the manufacturer that only coils with yield strength of 32,000 psi or more shall be used to make door panels for Dade County under this Notice of Acceptance.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises and renews NOA # 03-0502.01 and consists of this page 1 and evidence page E-1, as well as approval document mentioned above.

The submitted documentation was reviewed by Carlos M. Utrera, P.E.



[Signature]
8/4/08

NOA No 08-0718.01
Expiration Date: September 4, 2013
Approval Date: August 28, 2008
Page 1

Amarr Garage Doors

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Drawing No. **IRC-9509-180-21**, titled "Model 950 Heritage, Model 655 Oak Summit (24 GA) 1000, 2000, Short, Long, Flush and Bead Panels", sheets 1 through 3 of 3, prepared by Amarr Garage Doors, dated 03/14/03, with revision A dated 06/11/08, signed and sealed by Thomas L. Shelmerdine, P.E.

B. TESTS

1. Test reports on 1) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
2) Large Missile Impact Test per FBC, TAS 201-94
3) Cyclic Wind Pressure Loading per FBC, TAS 203-94
along with marked-up drawings and installation diagram of 9' x 7' Model 950D Heritage with Durasafe, 24 ga. Sectional Steel Garage Door, prepared by American Test Lab, Inc., Test Report No. **ATL 0311.01-03R**, dated 06/22/06, signed and sealed by David W. Johnson, P.E.
2. Test report on Tensile Test per ASTM E8, prepared by Metallurgical, Inc., Test Report No. **3DM-297**, dated 04/09/03, signed by Robert Kelly.
3. Test report on Salt Spray per ASTM B117 of painted G40 galvanized coated panels, prepared by ETC Laboratories, Test Report No. **07-816-20337.0**, dated 03/24/08, signed by Joseph L. Doldan, P.E.

C. CALCULATIONS

1. Wood jamb attachment to structure calculations, complying with FBC-2004, prepared by Structural Solutions, P.A., dated 06/25/08, signed and sealed by Thomas L. Shelmerdine, P.E.

D. QUALITY ASSURANCE

1. Miami Dade Building Code Compliance Office (BCCO)

E. MATERIAL CERTIFICATIONS

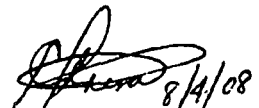
1. None.

F. STATEMENTS

1. Statement letter of code conformance and no financial interest, issued by Structural Solutions, P.A., dated 06/30/08, signed and sealed by Thomas L. Shelmerdine, P.E.

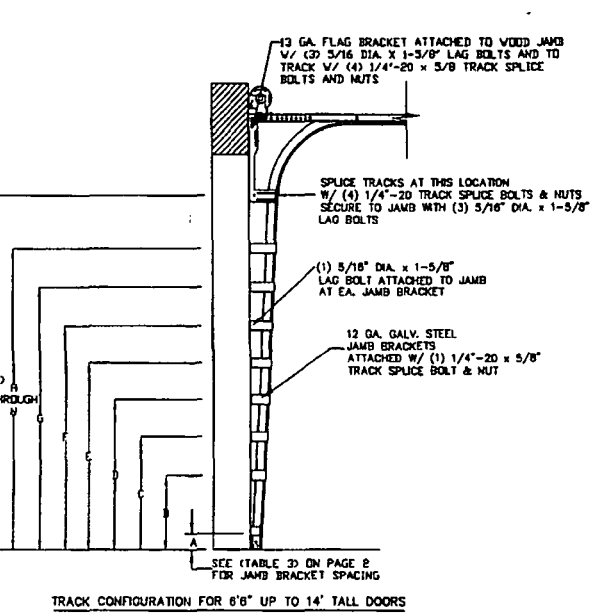
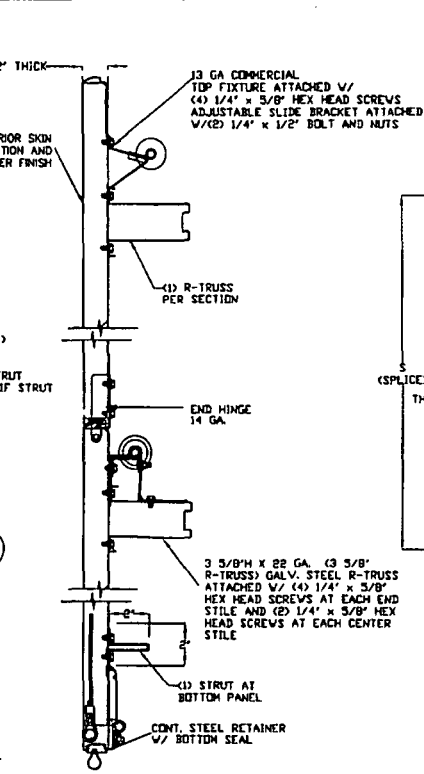
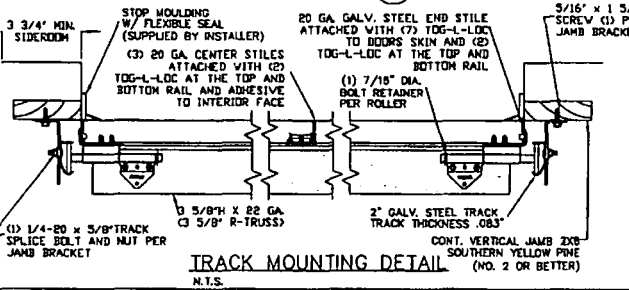
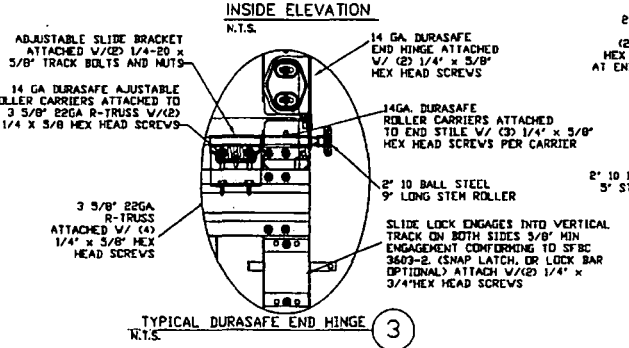
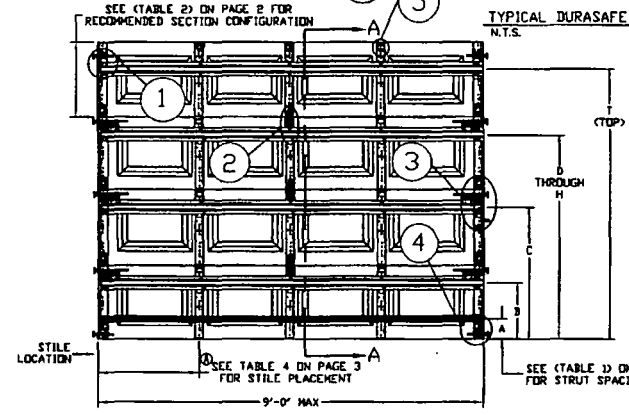
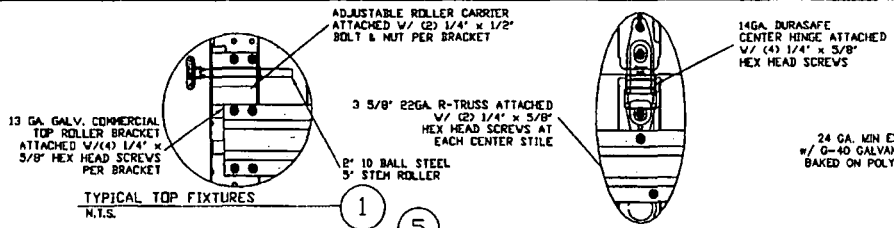
G. OTHER

1. Notice of Acceptance No. **03-0502.01**, issued to Amarr Garage Doors, approved on 09/04/03 and expiring on 09/04/08.



Carlos M. Utrera, P.E.
Product Control Examiner
NOA No 08-0718.01

Expiration Date: September 4, 2013
Approval Date: August 28, 2008



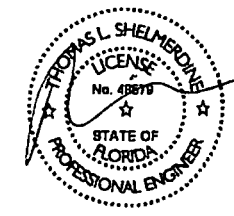
WOOD JAMB ATTACHMENT TO STRUCTURE

- 2 X 6 VERTICAL JAMB ATTACHMENT TO WOOD FRAME STRUCTURE**
5/16" x 3" LAG SCREWS STARTING 8" FROM ENDS THEN 24" O.C. (1 1/2" EMBEDMENT)
- 2 X 6 VERTICAL JAMB ATTACHMENT TO 2,000 PSI CONCRETE**
HLT KWIK BOLT 3/8" x 4" STARTING 8" FROM ENDS THEN 24" O.C. (2 1/2" EMBEDMENT)
HLT SLEEVE ANCHOR 3/8" x 2-3/4" STARTING 8" FROM ENDS THEN 18" O.C. (1 1/4" EMBEDMENT)
ITW/RAMSET REDHEAD (TRU-BOLT) 3/8" x 4" STARTING 8" FROM ENDS THEN 24" O.C. (2 1/2" EMBEDMENT)
- 2 X 6 VERTICAL JAMB ATTACHMENT TO C-90 BLOCK**
HLT SLEEVE ANCHOR 3/8" x 2-3/4" STARTING 8" FROM ENDS THEN 18" O.C. (1 1/4" EMBEDMENT)
ITW/RAMSET TAPCON 1/4" x 2-3/4" STARTING 8" FROM ENDS, USE PAIRS OF FASTENERS (3" APART) AT 18" O.C. (1 1/4" EMBEDMENT)
- *LAGS AND BOLTS CAN BE COUNTERSUNK TO PROVIDE A FLUSH MOUNTING SURFACE.
*PREPARATION OF WOOD JAMBS BY OTHERS
*MINIMUM ANCHOR EDGE DISTANCE 2-3/4"
*NO 1/3 INCREASE IN ANCHOR ALLOWABLE LOAD DUE TO SHORT TIME DURATION HAS BEEN USED.

REV	DESCRIPTION OF REVISIONS	DATE	BY
A	ADDITION TO 2017 REC. MODEL 655 & P63 ADD	05-12-05	SKM

MAX SIZE
8' x 14'
DESIGN LOADS
+51.1 PSF
-80.3 PSF

LARGE MISSILE
IMPACT
RESISTANCE



Amarr

165 CARRIAGE COURT WINSTON-SALEM, N.C. 27103 WWW.AMARR.COM			
MODEL 950 HERITAGE (24 GA) 1000, 2000			
MODEL 656 OAK SUMMIT (24 GA) 1000, 2000			
SHORT, LONG, FLUSH, AND BRAD PANELS			
SIZE	DRAWN BY	DLJ	DATE 03/12/03
8	CHECKED BY	AME	DATE 03/14/03
ENGINEER: THOMAS L. SHELMEERDINE P.E. LIC. NO. 004579			DRAWING NUMBER IRC-9509-180-21
			SHEET 1 OF 3 (D)

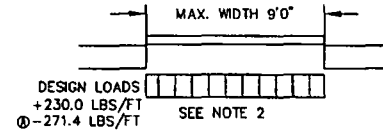
TABLE 1

DOOR HEIGHT	STRUT SPACING (BASED ON RECOMMENDED SECTION CONFIGURATION)								TOP
	A	B	C	D	E	F	G	H	
6' 6"	5 1/2"	16"	34"	52"					70 1/2"
7'	5 1/2"	16"	37"	58"					76 1/2"
7' 6"	5 1/2"	13"	31"	49"	67"				82 1/2"
8'	5 1/2"	16"	34"	52"	70"				88 1/2"
8' 6"	5 1/2"	16"	37"	58"	76"				94 1/2"
9'	5 1/2"	13"	31"	49"	67"	85"			100 1/2"
9' 6"	5 1/2"	16"	34"	52"	70"	88"			106 1/2"
10'	5 1/2"	16"	37"	58"	76"	94"			112 1/2"
10' 6"	5 1/2"	16"	37"	58"	79"	100"			118 1/2"
11'	5 1/2"	16"	34"	52"	70"	88"	106"		124 1/2"
11' 6"	5 1/2"	16"	37"	58"	76"	94"	112"		130 1/2"
12'	5 1/2"	16"	37"	58"	79"	100"	118"		136 1/2"
12' 6"	5 1/2"	18"	34"	52"	70"	88"	106"	124"	142 1/2"
13'	5 1/2"	16"	37"	58"	76"	94"	112"	130"	148 1/2"
13' 6"	5 1/2"	16"	37"	58"	79"	100"	118"	136"	154 1/2"
14'	5 1/2"	16"	37"	58"	79"	100"	121"	142"	160 1/2"

TABLE 2

DOOR HEIGHT	SECTION HEIGHTS							
	Btm	#2	#3	#4	#5	#6	#7	#8
14' 0"	21"	21"	21"	21"	21"	21"	21"	21"
13' 6"	21"	21"	21"	21"	21"	18"	18"	21"
13' 0"	21"	21"	21"	18"	18"	18"	18"	21"
12' 6"	21"	18"	18"	18"	18"	18"	18"	21"
12' 0"	21"	21"	21"	21"	21"	18"	21"	
11' 6"	21"	21"	21"	18"	18"	18"	21"	
11' 0"	21"	18"	18"	18"	18"	18"	21"	
10' 6"	21"	21"	21"	21"	21"	21"		
10' 0"	21"	21"	21"	18"	18"	21"		
9' 6"	21"	18"	18"	18"	18"	21"		
9' 0"	18"	18"	18"	18"	18"	18"		
8' 6"	21"	21"	21"	18"	21"			
8' 0"	21"	18"	18"	18"	18"	21"		
7' 6"	18"	18"	18"	18"	18"			
7' 0"	21"	21"	21"	21"				
6' 6"	21"	18"	18"	21"				

INTERIOR OF GARAGE



- DESIGN LOADS
+230.0 LBS/FT
-271.4 LBS/FT
SEE NOTE 2
- SPECIFICATIONS AND NOTES
- ALL THE LOAD FROM THE DOOR IS TRANSFERRED TO THE VERTICAL TRACK. FROM THE TRACK THE LOAD IS TRANSFERRED TO THE VERTICAL JAMBS. THE HORIZONTAL JAMB OR HEADER RECEIVES NO PORTION OF THE LOAD TRANSFERRED FROM THE DOOR.
 - EACH VERTICAL JAMB RECEIVES MAXIMUM DESIGN LOADS OF: +230.0 LBS/FT & -271.4 LBS/FT
 - DOOR AND HARDWARE WILL BE DESIGNED, MANUFACTURED AND INSTALLED WITH STANDARDS AS SET FORTH BY DASMA.
 - DOOR SECTIONS SHALL BE 24 GA. (.024) MIN. EXTERIOR SKIN ROLLED FORMED, G-40 GALVANIZATION W/ BAKED ON POLYESTER FINISH
 - DOORS UPTO 7'0" HIGH CONSIST OF (4) SECTIONS AS SHOWN. USE (1) 3 5/8" R-TRUSS PER SECTION
 - DOORS OVER (4) SECTIONS REFER TO TABLES 1 AND 2 ON PAGE 2
 - SUPPORTING STRUCTURAL ELEMENTS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR WIND LOADS INDICATED ON THIS DRAWING IN ADDITION TO OTHER LOADINGS.
 - THE METHOD OF TESTING WAS IN SUBSTANTIAL CONFORMANCE WITH THE PROCEDURES DESCRIBED IN ASTM E330-02, ASCE 7-05, AND FLA. BUILDING CODE PROTOCOLS TAS 201, 202, 203.
 - THIS APPROVAL REQUIRES THE MANUFACTURER TO DO TESTING OF ALL COILS USED TO FABRICATE DOOR PANELS UNDER THIS NOTICE OF ACCEPTANCE. A MINIMUM OF 2 SPECIMENS SHALL BE CUT FROM EACH COIL AND TENSILE TESTED ACCORDING TO ASTM E-8 BY A DADE COUNTY APPROVED LAB SELECTED AND PAID BY THE MANUFACTURER. EVERY 3 MONTHS, 4 TIMES A YEAR, THE MANUFACTURER SHALL MAIL TO THIS OFFICE: A COPY OF THE TEST REPORTS WITH CONFIRMATION THAT THE SPECIMENS WERE SELECTED FROM COILS AT THE MANUFACTURER PRODUCTION FACILITIES. AND A NOTARIZED STATEMENT FROM THE MANUFACTURER THAT ONLY COILS WITH YIELD STRENGTH OF 32,000 PSI OR MORE SHALL BE USED TO MAKE DOOR PANELS FOR DADE COUNTY UNDER THIS NOTICE OF ACCEPTANCE.

TABLE 3

DOOR HEIGHT	TRACK ATTACHMENT														SPLICE
	A	B	C	D	E	F	G	H	I	J	K	L	M	N	
6' 6"	3"	14"	27"	38"	46"	56"	64"								70"
7'	3"	14"	27"	38"	46"	56"	68"								76"
7' 6"	3"	14"	27"	38"	46"	56"	68"	78"							82"
8'	3"	14"	27"	38"	46"	56"	68"	78"							88"
8' 6"	3"	14"	27"	38"	46"	56"	68"	78"	88"						94"
9'	3"	14"	27"	38"	46"	56"	68"	78"	88"						100"
9' 6"	3"	14"	27"	38"	46"	56"	68"	78"	88"	98"					106"
10'	3"	14"	27"	38"	46"	56"	68"	78"	88"	100"					112"
10' 6"	3"	14"	27"	38"	46"	56"	68"	78"	88"	100"	110"				118"
11'	3"	14"	27"	38"	46"	56"	68"	78"	88"	100"	110"				124"
11' 6"	3"	14"	27"	38"	46"	56"	68"	78"	88"	100"	110"	120"			130"
12'	3"	14"	27"	38"	46"	56"	68"	78"	88"	100"	110"	122"			136"
12' 6"	3"	14"	27"	38"	46"	56"	68"	78"	88"	100"	109"	122"	132"		142"
13'	3"	14"	27"	38"	46"	56"	68"	78"	88"	100"	114"	122"	134"		148"
13' 6"	3"	14"	27"	38"	46"	56"	68"	78"	88"	100"	109"	122"	134"	144"	154"
14'	3"	14"	27"	38"	46"	56"	68"	78"	88"	100"	114"	122"	134"	146"	160"

REV	DESCRIPTION OF REVISIONS	DATE	BY
A	AFFIRMATION TO 2017 FBC, MODEL 655 & FCS ADDED	08-12-08	SKW

MAX SIZE
9' x 14'
DESIGN LOADS
+51.1 PSF
-60.3 PSF

LARGE MISSILE
IMPACT
RESISTANCE

165 CARRIAGE COURT WINDSTON-SALEM, N.C. 27105 WWW.AMARR.COM
MODEL 950 HERITAGE (24 GA) 1000, 2000
MODEL 655 OAK SUMMITT (24 GA) 1000, 2000
SHORT, LONG, FLUSH, AND BRAD PANELS

SIZE	DRAWN BY: DJJ	DATE: 03/12/03	DRAWING NUMBER
	CHECKED BY: AAE	DATE: 03/14/03	IRC-9509-180-21
ENGINEER: THOMAS L. SHELMEKDINE, P.E. LIC. NO. 0045379			SHEET 1 OF 3 (3)

® TABLE 4

Section Width (ft)	Panel Type	Center Stile Location (Measured from Left Edge)		
		1st (in)	2st (in)	3rd (in)
8' 0	Short	24.812	48.000	71.188
8' 0	Long	24.000	48.000	72.000
8' 0	Bead	24.625	48.000	71.375
8' 2	Short	24.316	49.000	73.684
8' 2	Long	24.500	49.000	73.500
8' 2	Bead	25.125	49.000	72.875
8' 4	Short	24.580	50.000	75.420
8' 4	Long	25.000	50.000	75.000
8' 4	Bead	25.625	50.000	74.375
8' 6	Short	26.029	51.000	75.971
8' 6	Long	25.500	51.000	76.500
8' 6	Bead	26.125	51.000	75.875
8' 8	Short	26.659	52.000	77.341
8' 8	Long	26.000	52.000	78.000
8' 8	Bead	26.625	52.000	77.375
8' 10	Short	27.034	53.000	78.966
8' 10	Long	26.500	53.000	79.500
8' 10	Bead	27.125	53.000	78.875
9' 0	Short	27.596	54.000	80.404
9' 0	Long	27.000	54.000	81.000
9' 0	Bead	27.625	54.000	80.375

REV	DESCRIPTION OF REVISIONS	DATE	BY
A	ADDITION TO 2007 REC. MODEL 655 & PCS ADDED	08-11-08	SKW

MAX SIZE 9' x 14' DESIGN LOADS +51.1 PSF -60.3 PSF LARGE MISSILE IMPACT RESISTANCE	
---	--

Amarr

143 CARRIAGE COURT VINSTON-SALEM, N.C. 27103 WWW.AMARR.COM

MODEL 950 HERITAGE (24 GA) 1000, 2000
 ◎MODEL 655 OAK SUMMIT (24 GA) 1000, 2000
 SHORT, LONG, FLUSH, AND BEAD PANELS

SIZE	DRAWN BY	DLJ	DATE	03/12/03	DRAWING NUMBER
B	CHECKED BY	AME	DATE	03/11/03	IRC-9509-180-21

ENGINEER: THOMAS L. SHELMEKDINE P.E. LIC. NO. 0048679 SHEET 3 OF 3 (D)

STRUCTURAL SOLUTIONS, P.A.

Structural Engineering ■ Investigations ■ Consulting

April 3, 2008

Mr. Brandon Gentle
Amarr Garage Doors
165 Carriage Court
Winston-Salem, NC 27105

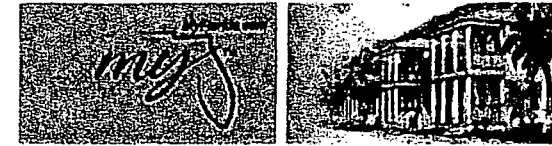
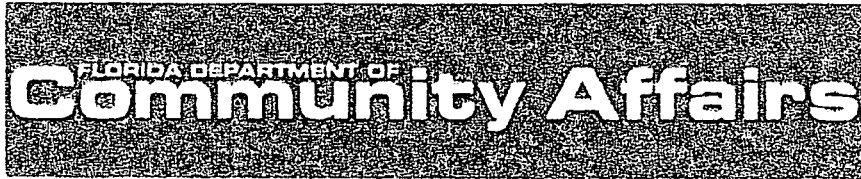
Re: Location of Jamb Brackets and Struts
Amarr Garage Doors
Project No. 08-001

To Whom It May Concern:

The locations of the jamb brackets and horizontal reinforcing struts for Amarr Garage Doors are shown on the Amarr drawings. It is acceptable to allow up to +/- 1/2" variance in the location of these components.

Sincerely,


STRUCTURAL SOLUTIONS, P.A.
Thomas W. Spellman, P.E.
President



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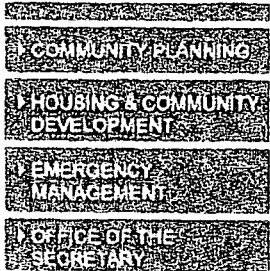
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Product Approval

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**



FL #	FL7152-R2
Application Type	Revision
Code Version	2007
Application Status	Approved
Comments	
Archived	<input type="checkbox"/>
Product Manufacturer	Amarr Garage Doors
Address/Phone/Email	165 Carriage Court Winston-Salem, NC 27105 (336) 251-1309 djoyner@amarr.com
Authorized Signature	Danny Joyner djoyner@amarr.com
Technical Representative	Danny Joyner
Address/Phone/Email	165 Carriage Court Winston-Salem, NC 27105 djoyner@amarr.com
Quality Assurance Representative	

Address/Phone/Email

Category

Exterior Doors

Subcategory

Sectional Exterior Door Assemblies

Compliance Method

Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer

Evaluation Report - Hardcopy Received

Florida Engineer or Architect Name who developed the Evaluation Report

Thomas L. Shelmerdine

Florida License

PE-48579

Quality Assurance Entity

Intertek Testing Services NA Inc. - ETL/Warnock Hersey

Quality Assurance Contract Expiration Date

01/01/2099

Validated By

Steven M. Urich, PE

Validation Checklist - Hardcopy Received

Certificate of Independence

[FL7152_R2_COI_Tom_Shelmerdine_Letter_of_Independence_7.24.2007.pdf](#)

Referenced Standard and Year (of Standard)

Standard	Year
ASTM E330	2002
TAS 201	1994
TAS 202	1994
TAS 203	1994

Equivalence of Product Standards Certified By

Sections from the Code

Product Approval Method

Method 1 Option D

Date Submitted

11/04/2008

Date Validated

11/05/2008

Date Pending FBC Approval

11/13/2008

Date Approved

12/10/2008

9'
Heritage
1000/2000
Oak Summit
1000/2000
+51.1 PSF
-60.3 PSF

Summary of Products		
FL #	Model, Number or Name	Description
7152.1	Heritage (M950), Oak Summit (24 Ga only, M655)	9' wide 24 Ga Heritage and Oak Summit 1000 and 2000 Models 950, 950i, 655, 655i
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +51.1/-60.3 Other: Glazing is not available. Approved for use in HVHZ.		Installation Instructions FL7152 R2 II IRC-9509-180-21 Stamped dwg.pdf Verified By: Thomas L. Shelmerdine FL PE 48579 Created by Independent Third Party: Yes Evaluation Reports FL7152 R2 AE Heritage doors with wood overlay.pdf FL7152 R2 AE IRC-9509-180-21 Evaluation Report.pdf Created by Independent Third Party: Yes
7152.2	Heritage (M950), Oak Summit (24 Ga only, M655)	9' wide 24 Ga Heritage and Oak Summit 1000 and 2000 Models 950, 950i, 655, 655i
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +45.3/-51.2 Other: Glazing is not available. Approved for use in HVHZ.		Installation Instructions FL7152 R2 II IRC-9509-169-15 Stamped dwg.pdf Verified By: Thomas L. Shelmerdine FL PE 48579 Created by Independent Third Party: Yes Evaluation Reports FL7152 R2 AE Heritage doors with wood overlay.pdf FL7152 R2 AE IRC-9509-169-15 Evaluation Report.pdf Created by Independent Third Party: Yes
7152.3	Heritage (M950), Oak Summit (24 Ga only, M655)	16' wide 24 Ga Heritage and Oak Summit 1000 and 2000 Models 950, 950i, 655, 655i
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes		Installation Instructions FL7152 R2 II IRC-9516-169-26 Stamped dwg.pdf Verified By: Thomas L. Shelmerdine FL PE 48579

Impact Resistant: Yes
Design Pressure: +45.8/-49.3
Other: Glazing is not available. Approved for use in HVHZ.

Created by Independent Third Party: Yes
Evaluation Reports
[FL7152_R2_AE_Heritage_doors_with_wood_overlay.pdf](#)
[FL7152_R2_AE_IRC-9516-169-26_Evaluation_Report.pdf](#)
Created by Independent Third Party: Yes

Back

Next

DCA Administration

Department of Community Affairs
Florida Building Code Online
Codes and Standards
2555 Shumard Oak Boulevard
Tallahassee, Florida 32399-2100
(850) 487-1824, Fax (850) 414-8436

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Product Approval Accepts:





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

REVISION
 DATE 8-12 B.O.A.

18x7

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

TABLE 1609.6(2)

ADJUSTMENT FACTOR FOR BUILDING HEIGHT AND EXPOSURE (a)

MEAN ROOF HEIGHT (feet)	EXPOSURE		
	B	C	D
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.58	1.81
55	1.19	1.60	1.84
60	1.22	1.62	1.87

For SI: 1 foot = 304.8mm.

FORMULA FOR DESIGN PRESSURES

Example: 25 ft mean roof height, exposure C
 16 X 7 Door 140mph.

Pressure	Exposure C multiplier	Req. Design Pressure
29.7	X 1.35	= +40.095
-33.1	X 1.35	= -44.685

Garage Door must be rated at +40.1/-44.68 minimum. This formula must be completed for exposure C:

Pressure	Exposure C multiplier	Req. Design Pressure
29.7	X 1.21	= 36 (+)
33.1	X 1.21	= 40 (-)

TABLE 1609.6(1)

GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (ptf)

EFFECTIVE WIND AREA		Basic Wind Speed V (mph - 3 second gust)							
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150
Roof Angle 0-10 degrees									
8	8	10.5 -11.9	11.7 -13.3	14.5 -16.4	17.5 -19.9	20.9 -23.6	24.5 -27.7	28.4 -32.2	32.6 -36.9
10	10	10.1 -11.4	11.4 -12.7	14.0 -15.7	17.0 -19.0	20.2 -22.7	23.7 -26.6	27.5 -30.8	31.6 -35.4
14	14	10.0 -10.7	10.8 -12.0	13.3 -14.8	16.1 -17.9	19.2 -21.4	22.5 -25.1	26.1 -29.1	30.0 -33.4
Roof Angle > 10									
9	9	11.4 -12.9	12.8 -14.5	15.8 -17.9	19.1 -21.6	22.8 -25.8	26.7 -30.2	31.0 -35.1	35.6 -40.2
16	7	10.9 -12.2	12.3 -13.7	15.2 -16.9	18.3 -20.4	21.8 -24.3	25.6 -28.5	29.7 -33.1	34.1 -38.0

For SI: 1 Square foot = 0.929 Sqm, 1 mph = 0.447 m/s, 1 psf = 47.88 N/sqm

- For effective area or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
- Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1606.2D.
- Plus and minus signs signify pressures acting toward and away from the building surfaces.
- Negative pressures assume door has 2 feet of width in building's end zone.

1609.6 Garage doors. Pressures from Table 1609.6(1) for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.

Heritage 1000/2000
18'



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603

MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

www.miamidade.gov/buildingcode

NOTICE OF ACCEPTANCE (NOA)

**Amarr Garage Doors,
165 Carriage Court
Winston-Salem, NC 27105**

SCOPE: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (in Miami Dade County) and/or the AHJ (in areas other than Miami-Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Model 950, Heritage 1000 & 2000 Short, Long and Flush Panel.

APPROVAL DOCUMENT: Drawing No. IRC-9518-165-26-I, Sheets 1 through 2 of 2, titled "Model 950 Heritage 1000, 2000 Short Panel, Long Panel, and Flush Panel", dated 06/07/07, prepared by Amarr Garage Doors, signed and sealed by Thomas L. Shelmerdine, P.E. Bearing the Miami-Dade County Product Control Approval stamp with the NOA number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large & Small Missile.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1, evidence page E-1 as well as approval document mentioned above. The submitted documentation was reviewed by **Carlos M. Utrera, P.E.**



[Signature]
9/10/07

NOA No: 07-0820.04
Expiration Date: October 4, 2012
Approval Date: October 4, 2007
Page 1

Amarr Garage Doors

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Drawing No. IRC-9518-165-26-I, Sheets 1 through 2 of 2, titled "Model 950 Heritage 1000, 2000 Short Panel, Long Panel, and Flush Panel", dated 06/07/07, prepared by Amarr Garage Doors, signed and sealed by Thomas L. Shelmerdine, PE.

B. TESTS

1. Test report on 1) Uniform Static Air Pressure Test, per FBC TAS 202-94,
2) Large Missile Impact Test, per FBC TAS 201-94,
3) Cyclic Wind Pressure Test, per FBC TAS 203-94,
along with marked-up drawings, prepared by American Test Lab, Inc., Report # ATLNC 0604.02-07, dated 06/30/07, signed and sealed by David W. Johnson, P.E.
2. Test report on Evaluation of Painted or Coated Specimens Subject to Corrosive Environments, per ASTM D1654-92 & ASTM B117-95, prepared by ETC Laboratories, Report # ETC-03-816-13287.1, dated 07/15/03, signed and sealed by Joseph L. Doldan, P.E.

C. CALCULATIONS

1. Calculations prepared by Structural Solutions, P.A., Project 07-055, dated 07/30/07, signed and sealed by Thomas L. Shelmerdine, P.E.

D. STATEMENTS

1. Code compliance and no financial interest letter issued by Structural Solutions, P.A., dated 07/30/07, signed and sealed by T. L. Shelmerdine, P.E.
2. Notice of Acceptance request letter issued by Amarr Garage Doors, dated 07/25/07, signed by Danny Joyner, Applications Engineering Manager.

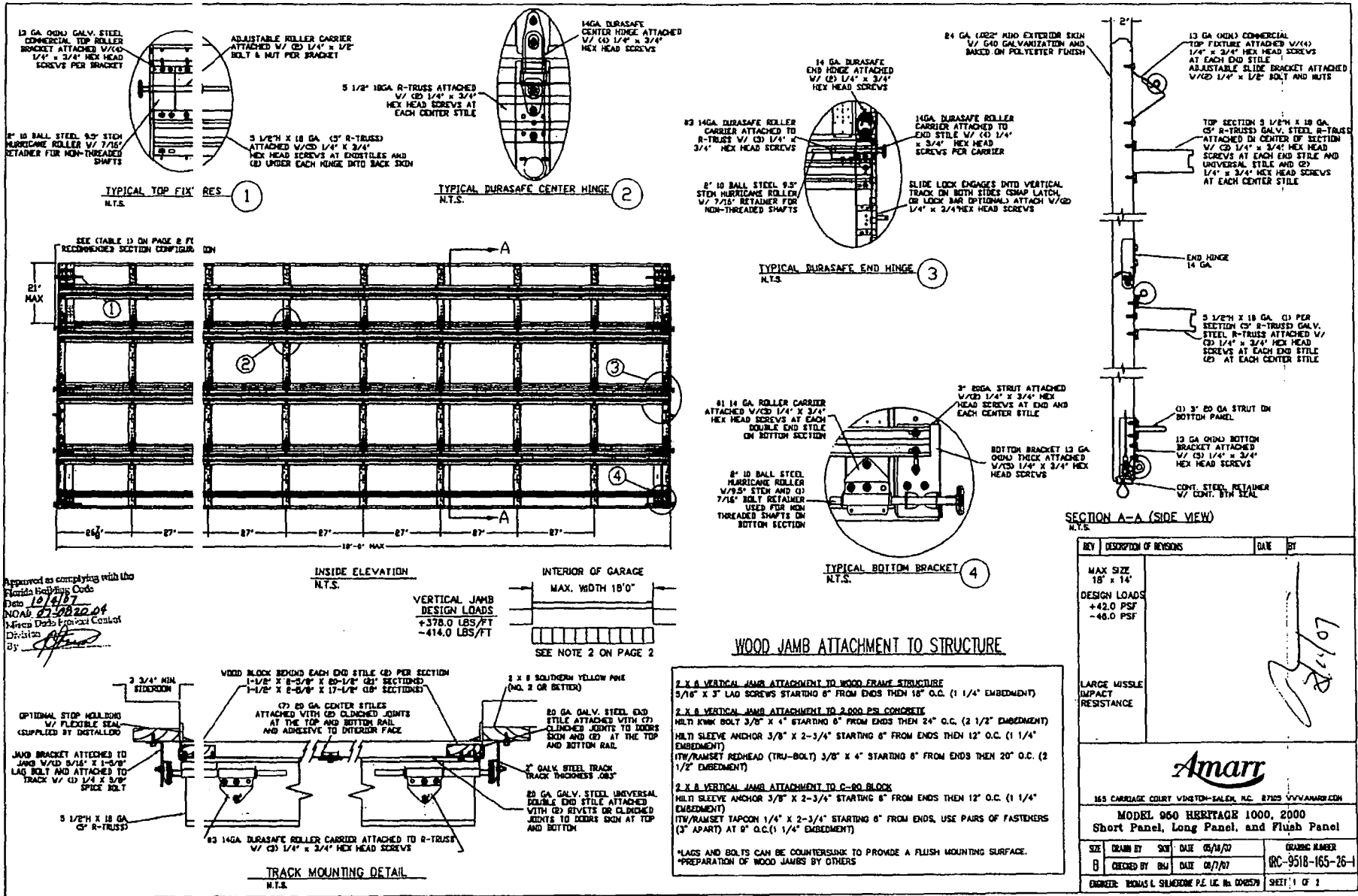
E. MATERIAL CERTIFICATION

1. Test report on Tensile Test for 3 Samples per ASTM E8, prepared by Hurricane Engineering & Testing Inc., Report # HETI-07-T735, dated 06/26/07, signed and sealed by Candido F. Font, P.E.

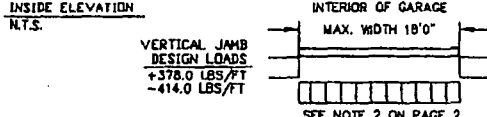
 9/10/07

Carlos M. Utrera, P.E.
Product Control Examiner
NOA No 07-0820.04

Expiration Date: October 4, 2012
Approval Date: October 4, 2007



Approved as complying with the Florida Building Code
 Date: 10/16/17
 NOA#: 035082204
 Mirac Dade Project Control
 Division: *[Signature]*
 By: *[Signature]*



2 X 8 VERTICAL JAMB ATTACHMENT TO WOOD FRAME STRUCTURE
 3/16" X 3" LAG SCREWS STARTING 6" FROM ENDS THEN 18" O.C. (1 1/4" EMBEDMENT)

2 X 8 VERTICAL JAMB ATTACHMENT TO 2,000 PSI CONCRETE
 MILT KWB BOLT 3/8" X 4" STARTING 6" FROM ENDS THEN 24" O.C. (2 1/2" EMBEDMENT)
 MILT SLEEVE ANCHOR 3/8" X 2-3/4" STARTING 6" FROM ENDS THEN 12" O.C. (1 1/4" EMBEDMENT)
 ITW/RAMSET REDHEAD (TRU-BOLT) 3/8" X 4" STARTING 6" FROM ENDS THEN 20" O.C. (2 1/2" EMBEDMENT)

2 X 8 VERTICAL JAMB ATTACHMENT TO C-RO BLOCK
 MILT SLEEVE ANCHOR 3/8" X 2-3/4" STARTING 6" FROM ENDS THEN 12" O.C. (1 1/4" EMBEDMENT)
 ITW/RAMSET TAPCON 1/4" X 2-3/4" STARTING 6" FROM ENDS, USE PAIRS OF FASTENERS (3" APART) AT 9" O.C. (1 1/4" EMBEDMENT)

*LAGS AND BOLTS CAN BE COUNTERSINK TO PROVIDE A FLUSH MOUNTING SURFACE.
 *PREPARATION OF WOOD JAMBS BY OTHERS

REV	DESCRIPTION OF REVISIONS	DATE	BY
MAX SIZE	18" x 14"		
DESIGN LOADS	+42.0 PSF -48.0 PSF		
LARGE WISSE	IMPACT RESISTANCE		
Amarr			
165 EMERALD COURT WINSTON-SALEM, NC 27157 WWW.AMARR.COM			
MODEL 960 HERITAGE 1000, 2000 Short Panel, Long Panel, and Flush Panel			
SIZE	DRAWN BY	DATE	05/14/20
B	CHECKED BY	DATE	07/1/17
ENGINEER	THOMAS L. SHIMMER P.E. LIC. NO. 006579		
			DRWG NUMBER ARC-9518-165-26-1
			SHEET 1 OF 1

SPECIFIC AND NOTES

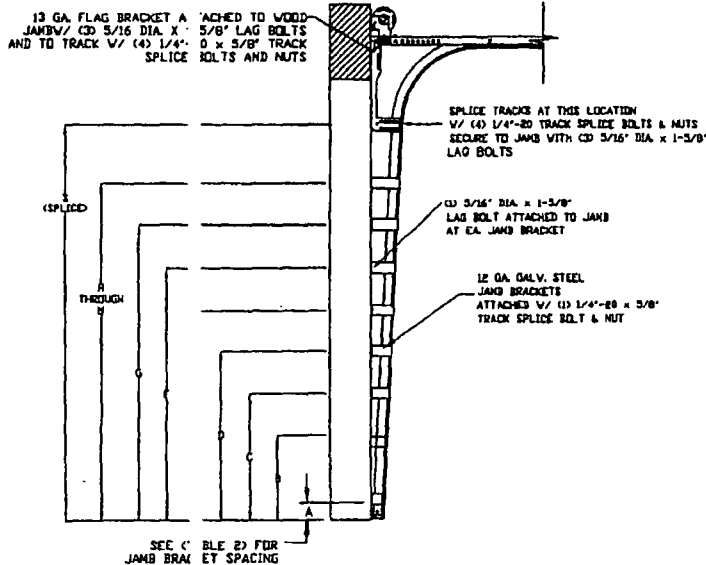
- ALL THE LOAD FROM THE DOOR IS TRANSFERRED TO THE VERTICAL JAMBS. THE HORIZONTAL JAMB OR HEAR TRANSFERRED FROM THE DOOR.
- EACH VERTICAL JAMBS RECEIVES +378.0 LBS/FT & -414.0 LBS/FT.
- DOOR AND HARDWARE WILL BE DESIGNED, MANUFACTURED AND INSTALLED WITH STANDARD AS SET FORTH BY DASHMA.
- DOOR SECTIONS SHALL BE 2 GA. (.022) MIN. EXTERIOR SKIN ROLLED FORMED, G-40 GALVANIATION W/ BAKED ON POLYESTER FINISH.
- DOORS USE (1) 5.5" 18GA R-AND (1) 3" 20GA STRUT ON THE BOTTOM SECTION.
- REFER TO TABLE 1 FOR SECTION CONFIGURATION.
- SUPPORTING STRUCTURAL ELEMENTS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR WIND LOADS INDICATED ON THIS DRAWING IN ADDITION TO OTHER LOADINGS.
- THE METHOD OF TESTING WITH THE PROCEDURES DESCRIBED IN FLA. BUILDING CODE PROTOCOL CRITERIA.
- THIS APPROVAL REQUIRES THE MANUFACTURER TO DO TESTING OF ALL COILS USED TO FABRICATE DOOR PANELS UNDER THIS NOTICE OF ACCEPTANCE. A MINIMUM OF 2 SPECIMENS SHALL BE TESTED ACCORDING TO ASTM E-21. THE MANUFACTURER SHALL BE RESPONSIBLE FOR THE COST OF TESTING AND PAID BY THE MANUFACTURER. EVERY 3 MONTHS, 4 TIMES A YEAR, THE MANUFACTURER SHALL MAIL TO THIS OFFICE, A COPY OF THE TEST REPORTS WITH CONFIRMATION STATEMENT FROM THE MANUFACTURER'S STATEMENT FROM THE MANUFACTURER OF 35,700 PSI OR MORE SHALL BE USED TO MAKE DOOR PANELS FOR DADE COUNTY UNDER THIS NOTICE OF ACCEPTANCE.

TABLE 1

DOOR HEIGHT	SECTION HEIGHTS							
	#1	#2	#3	#4	#5	#6	#7	#8
14' 0"	21"	21"	21"	21"	21"	21"	21"	21"
13' 6"	21"	21"	21"	21"	21"	18"	18"	21"
13' 0"	21"	21"	21"	18"	18"	18"	18"	21"
12' 6"	21"	18"	18"	18"	18"	18"	18"	21"
12' 0"	21"	21"	21"	21"	21"	18"	18"	21"
11' 6"	21"	21"	21"	18"	18"	18"	18"	21"
11' 0"	21"	18"	18"	18"	18"	18"	18"	21"
10' 6"	21"	21"	21"	21"	21"	21"	21"	21"
10' 0"	21"	21"	21"	18"	18"	18"	18"	21"
9' 6"	21"	18"	18"	18"	18"	18"	18"	21"
9' 0"	18"	18"	18"	18"	18"	18"	18"	21"
8' 6"	21"	21"	21"	18"	18"	18"	18"	21"
8' 0"	21"	18"	18"	18"	18"	18"	18"	21"
7' 6"	18"	18"	18"	18"	18"	18"	18"	21"
7' 0"	21"	21"	21"	21"	21"	21"	21"	21"
6' 6"	21"	18"	18"	18"	18"	18"	18"	21"

TABLE 2

DOOR HEIGHT	TRACK ATTACHMENT														SPLICE	
	A	B	C	D	E	F	G	H	I	J	K	L	M	N		S
8' 6"	3"	14"	27"	38"	48"	56"	64"									170"
7' 6"	3"	14"	27"	38"	48"	56"	68"									176"
7' 0"	3"	14"	27"	38"	48"	56"	68"	78"								182"
6' 6"	3"	14"	27"	38"	48"	56"	68"	78"								188"
6' 0"	3"	14"	27"	38"	48"	56"	68"	78"	88"							194"
5' 6"	3"	14"	27"	38"	48"	56"	68"	78"	88"							200"
5' 0"	3"	14"	27"	38"	48"	56"	68"	78"	88"	98"						206"
4' 6"	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"						212"
4' 0"	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	110"					218"
3' 6"	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	110"					224"
3' 0"	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	110"	120"				230"
2' 6"	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	110"	122"				236"
2' 0"	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	109"	122"	132"			242"
1' 6"	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	114"	122"	134"			248"
1' 0"	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	109"	122"	134"	144"		254"
6"	3"	14"	27"	38"	48"	56"	68"	78"	88"	100"	114"	122"	134"	148"		260"



STANDARD TRACK CONFIGURATION FOR 6'6" UP TO 14' TALL DOORS
N.T.S.

Approved in accordance with the Florida Building Code
Date: 10/1/07
By: [Signature]
Michael E. [Signature]
Division: [Signature]

REV	DESCRIPTION OF REVISIONS	DATE	BY
	MAX SIZE 18" x 14"		
	DESIGN LOADS +42.0 PSF -48.0 PSF		
	LARGE MISSILE IMPACT RESISTANCE		
Amarr			
165 CARRIAGE COURT VICTORIA-SALEN, NC 27155 WWW.AMARR.COM			
MODEL 950 HERITAGE 1000, 2000 Short Panel, Long Panel, and Flush Panel			
SIZE	DRAWN BY	SCD	DATE 05/15/07
8	CHECKED BY	BSJ	DATE 05/17/07
ENGINEER DOMINIC L. SALASO P.E. LIC. NO. 0048578			DRAWING NUMBER IRC-9518-165-26-1
			SHEET: 1 OF 1

STRUCTURAL SOLUTIONS, P.A.

Structural Engineering ■ Investigations ■ Consulting

April 3, 2008


Mr. Brandon Gentle
Amarr Garage Doors
165 Carriage Court
Winston-Salem, NC 27105

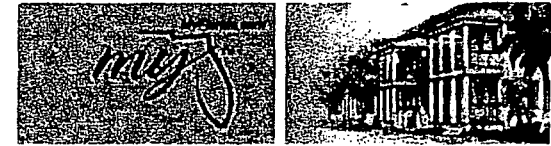
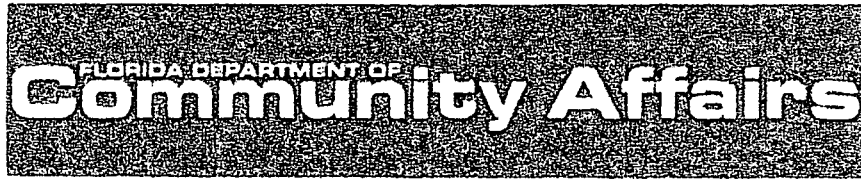
Re: Location of Jamb Brackets and Struts
Amarr Garage Doors
Project No. 08-001

To Whom It May Concern:

The locations of the jamb brackets and horizontal reinforcing struts for Amarr Garage Doors are shown on the Amarr drawings. It is acceptable to allow up to +/- 1/2" variance in the location of these components.

Sincerely,


STRUCTURAL SOLUTIONS, P.A.
Thomas W. Shelmerdine, P.E.
President



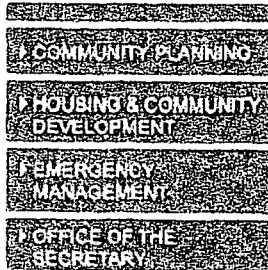
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Product Approval
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**



FL #	FL10763
Application Type	New
Code Version	2007
Application Status	Approved
Comments	
Archived	<input type="checkbox"/>
Product Manufacturer	Amarr Garage Doors
Address/Phone/Email	165 Carriage Court Winston-Salem, NC 27105 (336) 251-1309 djoyner@amarr.com
Authorized Signature	Danny Joyner djoyner@amarr.com
Technical Representative	Danny Joyner
Address/Phone/Email	165 Carriage Court Winston-Salem, NC 27105 djoyner@amarr.com
Quality Assurance Representative	Danny Joyner

Address/Phone/Email	Amarr Garage Doors 165 Carriage Court Winston-Salem, NC 27105 djoyner@amarr.com	
Category	Exterior Doors	
Subcategory	Sectional Exterior Door Assemblies	
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input type="checkbox"/> Evaluation Report - Hardcopy Received	
Florida Engineer or Architect Name who developed the Evaluation Report	Thomas L Shelmerdine	
Florida License	PE-48579	
Quality Assurance Entity	Intertek Testing Services NA Inc. - ETL/Warnock Hersey	
Quality Assurance Contract Expiration Date	01/01/2099	
Validated By	Steven M. Ulrich, PE <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received	
Certificate of Independence	FL10763_R0_COI_Tom_Shelmerdine_Letter_of_Independence_7.24.2007.pdf	
Referenced Standard and Year (of Standard)	<u>Standard</u>	<u>Year</u>
	ANSI/DASMA 108	2002
	ASTM E330	2002
Equivalence of Product Standards Certified By		
Sections from the Code		

Product Approval Method

Method 1 Option D

Date Submitted

05/20/2008

Date Validated

07/10/2008

Date Pending FBC Approval

07/28/2008

Date Approved

09/15/2008

Summary of Products		
FL #	Model, Number or Name	Description
10763.1	Dynasty Iron Garage Door M700	16' Wide Dynasty M700 IRC-7016-130-15
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +25.6/-29.1 Other: Not for use in HVHZ regions.		Installation Instructions FL10763 R0 II IRC-7016-130-15 drawing.pdf Verified By: Thomas L Shelmerdine FL P.E. #48579 Created by Independent Third Party: Yes Evaluation Reports FL10763 R0 AE ASCE 7-98 -02 -05.pdf FL10763 R0 AE IRC-7016-130-15 Report.pdf Created by Independent Third Party: Yes
10763.2	Heritage 3000	18' Heritage 3000 Model1200 IRC-1218-165-26-I. Glazing not available. Also Tested per FBC TAS 201,202,203, ASTM E 1886, 1996, ANSI/DASMA 115-05
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +42.0/-46.0 Other: Approved for use in HVHZ regions Glazing not Available. Also Tested per FBC TAS 201,202,203, ASTM E1886, E1996, F588-04 ANSI/DASMA 115-05.		Installation Instructions FL10763 R0 II IRC-1218-165-26-I P.E. STAMPED DRAWING.pdf Verified By: Thomas L. Shelmerdine FL P.E. #48579 Created by Independent Third Party: Yes Evaluation Reports FL10763 R0 AE ASCE 7-98 -02 -05.pdf FL10763 R0 AE ATL NC Lab Certificate.pdf FL10763 R0 AE IRC-1218-165-26-I Evaluation Report.pdf FL10763 R0 AE IRC-1218-165-26-I P.E. LETTER Section 1609 Compliance.pdf FL10763 R0 AE IRC-1218-165-26-I Rational Analysis for Alt Widths.pdf

18'
Heritage
1000/2000
Oak Summit
1000/2000

		Created by Independent Third Party: Yes
10763.3	Heritage and (24Ga) Oak Summit 1000 & 2000	18' Wide Heritage and (24 Ga) Oak Summit 1000 & 2000 models 950,950i,655,655i IRC-9518-165-26-I
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +42.0/-46.0 Other: Approved for use in HVHZ Regions. Glazing not Available. Also Tested per FBC TAS 201,202,203, ASTM E1886, E1996, F588-04 ANSI/DASMA 115-05		Installation Instructions FL10763 R0 II IRC-9518-165-26-I sealed REV. A.pdf Verified By: Thomas L. Shelmerdine FL P.E. #48579 Created by Independent Third Party: Yes Evaluation Reports FL10763 R0 AE ASCE 7-98 -02 -05.pdf FL10763 R0 AE ATL NC Lab Certificate.pdf FL10763 R0 AE IRC-9518-165-26-I PE Letter Section 1609 Compliance.pdf FL10763 R0 AE IRC-9518-165-26-I Evaluation Report.pdf FL10763 R0 AE IRC-9518-165-26-I Rational Analysis for ALT Widths.pdf Created by Independent Third Party: Yes
10763.4	Stratford, Heritage, Oak Summit 1&2000	18' Wide Stratford, Heritage, Oak Summit 1000 & 2000. Models 600,950,650,600i,950i,650i
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +25.4/-28.7 Other: Not for use in HVHZ Regions		Installation Instructions FL10763 R0 II IRC-6018-130-24 P.E. Stamped Drawing.pdf Verified By: Thomas L. Shelmerdine FL P.E. # 48579 Created by Independent Third Party: Yes Evaluation Reports FL10763 R0 AE ASCE 7-98 -02 -05.pdf FL10763 R0 AE P.E. Test Report IRC-6018-130-24.pdf Created by Independent Third Party: Yes

Back

Next

DCA Administration

Department of Community Affairs
 Florida Building Code Online
 Codes and Standards
 2555 Shumard Oak Boulevard
 Tallahassee, Florida 32399-2100



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

NG

TABLE 1609.6D

ADJUSTMENT FACTOR FOR BUILDING HEIGHT AND EXPOSURE, (z)

MEAN ROOF HEIGHT (feet)	EXPOSURE		
	B	C	D
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.56	1.81
55	1.19	1.59	1.84
60	1.22	1.62	1.87

For SI: 1 foot = 304.8mm.

TABLE 1609.6E

GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf)

EFFECTIVE WIND AREA		Basic Wind Speed V (mph - 3 second gust)									
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150		
Roof Angle 0-10 degrees											
8	8	10.5 -11.9	11.7 -13.3	14.5 -16.4	17.5 -19.9	20.9 -23.6	24.5 -27.7	28.4 -32.2	32.6 -36.9		
10	10	10.1 -11.4	11.4 -12.7	14.0 -15.7	17.0 -19.0	20.2 -22.7	23.7 -26.6	27.5 -30.8	31.6 -35.4		
14	14	10.0 -10.7	10.8 -12.0	13.3 -14.8	16.1 -17.9	19.2 -21.4	22.5 -25.1	26.1 -29.1	30.0 -33.4		
Roof Angle > 10											
9	7	11.4 -12.9	12.8 -14.5	15.8 -17.9	19.1 -21.8	22.8 -25.8	26.7 -30.2	31.0 -35.1	35.6 -40.2		
16	7	10.9 -12.2	12.3 -13.7	15.2 -16.9	18.3 -20.4	21.8 -24.3	25.8 -28.5	29.7 -33.1	34.1 -38.0		

For SI: 1 Square foot = 0.929 Sqm, 1mpg = 0.447 mls, 1psf = 47.88 N/sqm.

- For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
- Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1606.2D.
- Plus and minus signs signify pressures acting toward and away from the building surfaces.
- Negative pressures assume door has 2 feet of width in building's end zone.

1609.6.5.1 Garage doors. Pressures from Table 1609.6E, for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TABLE 1609.6D

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TABLE 1609.6E

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EFFECTIVE WIND AREA		Basic Wind Speed V (mph - 3 second gust)									
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150		
Roof Angle 0-10 degrees											
8	8	10.5 -11.9	11.7 -13.3	14.5 -16.4	17.5 -19.9	20.9 -23.6	24.5 -27.7	28.4 -32.2	32.6 -36.9		
10	10	10.1 -11.4	11.4 -12.7	14.0 -15.7	17.0 -19.0	20.2 -22.7	23.7 -26.6	27.5 -30.8	31.6 -35.4		
14	14	10.0 -10.7	10.8 -12.0	13.3 -14.8	16.1 -17.9	19.2 -21.4	22.5 -25.1	26.1 -29.1	30.0 -33.4		
Roof Angle > 10											
8	7	11.4 -12.9	12.8 -14.5	15.8 -17.9	19.1 -21.6	22.8 -25.8	26.7 -30.2	31.0 -35.1	35.6 -40.2		
16	7	10.9 -12.2	12.3 -13.7	15.2 -16.9	18.3 -20.4	21.8 -24.3	25.6 -28.5	29.7 -33.1	34.1 -38.0		

For SI: 1 Square foot = 0.929 Sqm, 1mpg = 0.447 m/s, 1psf = 47.88 N/sqm.

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1609.6.5.1 Garage doors. Pressures from Table 1609.6E. for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.



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 Tel 772-287-2455 Fax 772-2204765

TABLE 1609.6D




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EFFECTIVE WIND AREA		Basic Wind Speed V (mph - 3 second gust)									
Width (ft)	Height (ft)	85	90	100	110	120	130		150		
Roof Angle 0-10 degrees											
8	8	10.5 -11.9	11.7 -13.3	14.5 -16.4	17.5 -19.9	20.9 -23.6	24.5 -27.7	28.4 -32.2	32.6 -36.9		
10	10	10.1 -11.4	11.4 -12.7	14.0 -15.7	17.0 -19.0	20.2 -22.7	23.7 -26.6	27.5 -30.8	31.6 -35.4		
14	14	10.0 -10.7	10.8 -12.0	13.3 -14.8	16.1 -17.9	19.2 -21.4	22.5 -25.1	26.1 -29.1	30.0 -33.4		
Roof Angle > 10											
		11.4 -12.9	12.8 -14.5	15.8 -17.9	19.1 -21.6	22.8 -25.8	26.7 -30.2	29.7 -33.1	35.6 -40.2		
16	7	10.9 -12.2	12.3 -13.7	15.2 -16.9	18.3 -20.4	21.8 -24.3	25.6 -28.5	29.7 -33.1	34.1 -38.0		

For SI: 1 Square foot = 0.929 Sqm, 1mpg = 0.447 m/s, 1psf = 47.88 N/sqm.

1. For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
2. Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1606.2D.
3. Plus and minus signs signify pressures acting toward and away from the building surfaces.
4. Negative pressures assume door has 2 feet of width in building's end zone.

1609.6.5.1 Garage doors. Pressures from Table 1609.6E, for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TABLE 1609.6D

ADJUSTMENT FACTOR FOR BUILDING HEIGHT AND EXPOSURE, (z)

MEAN ROOF HEIGHT (feet)	EXPOSURE		
	B	C	D
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.56	1.81
55	1.19	1.59	1.84
60	1.22	1.62	1.87

For SI: 1 foot = 304.8mm.

TABLE 1609.6E

GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf)

EFFECTIVE WIND AREA		Basic Wind Speed V (mph - 3 second gust)									
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150		
Roof Angle 0-10 degrees											
8	8	10.5 -11.9	11.7 -13.3	14.5 -16.4	17.5 -19.9	20.9 -23.6	24.5 -27.7	28.4 -32.2	32.6 -36.9		
10	10	10.1 -11.4	11.4 -12.7	14.0 -15.7	17.0 -19.0	20.2 -22.7	23.7 -26.6	27.5 -30.8	31.6 -35.4		
14	14	10.0 -10.7	10.8 -12.0	13.3 -14.8	16.1 -17.9	19.2 -21.4	22.5 -25.1	26.1 -29.1	30.0 -33.4		
Roof Angle > 10											
9	7	11.4 -12.9	12.8 -14.5	15.8 -17.9	19.1 -21.6	22.8 -25.8	26.7 -30.2	31.0 -35.1	35.6 -40.2		
16	7	10.9 -12.2	12.3 -13.7	15.2 -16.9	18.3 -20.4	21.8 -24.3	25.6 -28.5	29.7 -33.1	34.1 -38.0		

For SI: 1 Square foot = 0.929 Sqm, 1mpg = 0.447 m/s, 1psf = 47.88 N/sqm.

1. For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.

2. Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1606.2D.

3. Plus and minus signs signify pressures acting toward and away from the building surfaces.

4. Negative pressures assume door has 2 feet of width in building's end zone.

1609.6.5.1 Garage doors. Pressures from Table 1609.6E. for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel-772-287-2455 Fax-772-2204765

GARAGE DOOR REPLACEMENT CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

- _____ 1 Copy Completed permit application including,
- Legal Description
 - Notarized signature of owner & contractor
 - Proof of ownership (Recorded warranty deed or tax bill)
- _____ 2 Copies Manufacturer's product approval w/design pressures shown.
(**Indicate the size of the proposed replacement garage)
- _____ 2 Copies FBC 2007 table 1609.6(2) & 1609.6(1) (attached) – Circle or Hi-light the appropriate height & exposure adjustment coefficient *Table 1609.6(2)) and the appropriate +/- minimum pressures required (Table 1609.6(1)). (NOTE: The values arrived in these charts are the minimum design pressures required for the replacement garage door)
- _____ 1 Copy Notice of Commencement, if replacement value is over \$2500.00. Must be submitted prior to the first inspection.
- _____ 1 Copy Owner/Builder Application, if applicable

SPECIFICATIONS AND PRODUCT APPROVALS

- Specs. For all garage doors must be tested by an approved testing lab and design pressures stated
- Garage doors cannot have any glazed openings unless the glazed openings are impact resistant glass.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **8-24** 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9035	Harmon	Final		
151	26 E High Pt Rd Om Palm Beach Garage	Garage	Pass	Inspector
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9043	Neff	Final		
2nd 10AM	25 Perruinkela Ln 370-2085	Fence	Pass	Close Inspector
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9071	Neff	Final		
	25 Perruinkela Ln Galeway	Renovation	Pass	Close Inspector
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9168	LAYRUS	FINAL		
	31 S. RIVER	POWER	Pass	Close
	RIZON Corp	DRIVE		Inspector
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

9591

RE-ROOF FLAT PATIO ROOF



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9591	DATE ISSUED:	SEPTEMBER 28, 2010
SCOPE OF WORK:	REROOF SMALL FLAT PATIO ROOF (REAR)		
CONDITIONS:			
CONTRACTOR:	STUART ROOF REPAIR		
PARCEL CONTROL NUMBER:	133841003-000-010100	SUBDIVISION	HIGH PT IS ADDN-L101
CONSTRUCTION ADDRESS:	26 E HIGH PT RD		
OWNER NAME:	FRARACCIO		
QUALIFIER:	JAMES ARES	CONTACT PHONE NUMBER:	286-0444

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	
UNDERGROUND MECHANICAL	
STEM-WALL FOOTING	
SLAB	
ROOF SHEATHING	
TIE DOWN /TRUSS ENG	
WINDOW/DOOR.BUCKS	
ROOF DRY-IN/METAL	
PLUMBING ROUGH-IN	
MECHANICAL ROUGH-IN	
FRAMING	
FINAL PLUMBING	
FINAL MECHANICAL	
FINAL ROOF	
UNDERGROUND GAS	
UNDERGROUND ELECTRICAL	
FOOTING	
TIE BEAM/COLUMNS	
WALL SHEATHING	
INSULATION	
LATH	
ROOF TILE IN-PROGRESS	
ELECTRICAL ROUGH-IN	
GAS ROUGH-IN	
METER FINAL	
FINAL ELECTRICAL	
FINAL GAS	
BUILDING FINAL	

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9591
ADDRESS	26 E HIGH PT RD
DATE:	9/28/10
SCOPE:	REROOF SMALL FLAT PATIO (REAR)

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s.f.	

Total square f
 Total Construc
 Building fee: (
 Building fee: (
 Total number
 Radon Fee (\$.
 DBPR Licensi
 Road impact a
 Martin County

STUART ROOF REPAIR, INC.
 Ph. 772-286-0444 / 772-879-0955
 P. O. Box 1269
 Port Salerno, FL 34992

2300
63-643/670
BRANCH 12107

Date Sept 28, 2010

PAY to the order of Town of Sewall's Point \$ 230.00

Two hundred thirty dollars

WACHOVIA
 Wachovia Bank, a division of Wells Fargo Bank, N.A.

For Rodriguez

TOTAL BUILDING PERMIT FEE:	\$	
-----------------------------------	----	--

ACCESSORY PERMIT	Declared Value:	\$	3500
Total number of inspections @ \$75.00 each	3	\$	225
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	230

pd
ck # 2300

Town of Sewall's Point

Date: Sept. 23, 2010 BUILDING PERMIT APPLICATION Permit Number: 9591

OWNER/TITLEHOLDER NAME: DR Charles Franaccio Phone (Day) 2235779 (Fax) _____

Job Site Address: 26 EAST High Point City: Sewall's Point State: FL Zip: 34996

Legal Description _____ Parcel Control Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC):

Re-Roof Sewall Pkwr Petio dock

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO

Has a Zoning Variance ever been granted on this property?

YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 27,500
(Notice of Commencement required when over \$2500 prior 15 min inspection, \$71500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: STUART Roof Repair Phone: 772 2860444 Fax: 772 8790955

Qualifiers name: JAMES ARES Street: 01690 SE home Road City: Stuart State: FL Zip: 34997

State License Number: CCC1326087 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: JAMES ARES Phone Number: 772 2860444

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

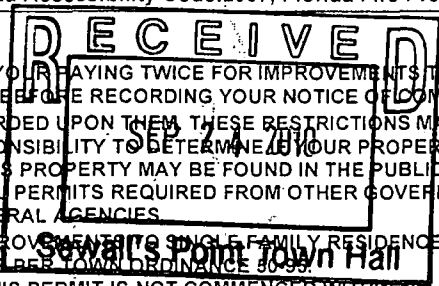
AREAS SQUARE FOOTAGE: Living: Approx 4500 Garage: _____ Covered Patio: _____ Porches: to be re-roofed Enclosed Storage: _____

Carport: Not under Roof Elevated Deck: None Enclosed area below BEF: back patio
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1. 105.4.1.1 - 5.



***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required for ALL PERMITS)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

X Charles Franaccio

State of Florida, County of: Martin

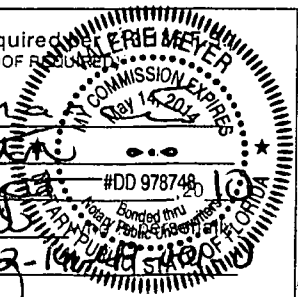
On This the 27th day of Sept

by Charles A Franaccio

known to me or produced FDL# 662-1400

As identification: Valerie Meyer
Notary Public

My Commission Expires: _____



CONTRACTOR NOTORIZED SIGNATURE: (required for ALL PERMITS)

X _____

State of Florida, County of: Martin

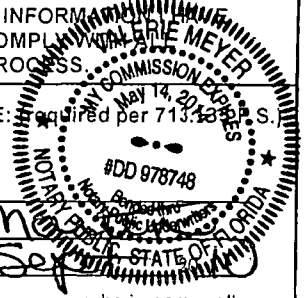
On This the 24th day of Sept

by James Ares

known to me or produced FDL# A620-440-49-161-0

As identification: Valerie Meyer
Notary Public

My Commission Expires: _____



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1.11

Summary

Address
 4 of 9

Tabs

- Summary**
- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- Parcel Map →
- Trim Notice →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-003-000-01010-0	27787	26 E HIGH PT RD, SEWALL'S POINT	\$991,580	9/18/2010

Owner Information

Owner(Current)	FRARACCIO CHARLES A & DONNA A
Owner/Mail Address	26 E HIGH POINT RD STUART FL 34996-7002
Sale Date	08/01/1981
Document Number	
Document Reference No.	0527 2314
Sale Price	100

Searches

- Parcel ID
- Owner
- Address**
- Account #
- Land Use
- Legal Description
- Neighborhood
- Sales
- Maps →

Location/Description

Account #	27787	Map Page No.	SP-06
Tax District	2200	Legal Description	HIGH POINT ISLE ADDN, PART OF LOTS 101 & 100; BEG NW COR LOT 101, CURVE NE 50' FOR POB CURVE NE 96.91', SE 251.24', SE 89.73' M/S TO INDIAN RIVER, MEANDER SWLY 225', NW 361' TO POB
Parcel Address	26 E HIGH PT RD, SEWALL'S POINT		
Acres	1.1100		

Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Parcel Type

Land Use	0100 Single Family
Neighborhood	193110 ARCHIPELAGO, HIGH PTCANAL

Assessment Information

Market Land Value	\$715,000
Market Improvement Value	\$276,580
Market Total Value	\$991,580

NOTICE OF COMMENCEMENT
 TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: _____

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

HIGH POINT E 3/4 AC RD / Part of Lots 101 & 100

GENERAL DESCRIPTION OF IMPROVEMENT: RE Roofing - Rear patio Roof

OWNER NAME: DR. Charles Zaraccio
 ADDRESS: 210 EAST High Point SEWELL'S POINT
 PHONE NUMBER: 2861854 FAX NUMBER: _____

INTEREST IN PROPERTY:
 NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: STUART Roof Repair Inc
 ADDRESS: 1690 SE Cove Road STUART FL
 PHONE NUMBER: 772 2860444 FAX NUMBER: 772 2790955

SURETY COMPANY (IF ANY): _____
 ADDRESS: _____
 PHONE NUMBER: NA FAX NUMBER: _____
 BOND AMOUNT: _____ STATE OF FLORIDA
 MARTIN COUNTY

LENDER/MORTGAGE COMPANY: _____
 ADDRESS: _____
 PHONE NUMBER: NA FAX NUMBER: _____

THIS IS TO CERTIFY THAT THE
 FOREGOING 4 PAGES IS A TRUE
 AND CORRECT COPY OF THE ORIGINAL



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: DR. Charles Zaraccio BY: Valerie Meyer D.C.
 ADDRESS: 210 EAST High Point DATE: 09-27-10
 PHONE NUMBER: 772 286 1854 FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____
 TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),
 FLORIDA STATUTES:
 PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
 (EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Charles Zaraccio
 SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE Owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27 DAY OF Sept, 2010

BY: Charles Zaraccio AS Owner FOR _____
 NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON WHOM INSTRUMENT WAS ACKNOWLEDGED

PERSONALLY KNOWN _____ OR PRODUCED IDENTIFICATION ✓
 TYPE OF IDENTIFICATION PRODUCED FDL Valerie Meyer
 NOTARY SIGNATURE/ SEAL



UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Charles Zaraccio
 (Signature of Natural Person Signing Above)

INSTR # 2234787 OR BK 02477 PG 2598 RECD 09/27/2010 09:54:36 AM
 Pg 2598; (1pg)
 MARSHA EWING MARTIN COUNTY DEPUTY CLERK C 011ver1



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

ROOFING MATERIAL LIST

NO	MATERIAL	QUANTITY	UNIT	REMARKS
0	GAF Timberline 30 shingles	25	SQ	EXAMPLE
	Tropical Asphalt Product for modified SBS adhesive	2	5 sq	
	Tamko Building Product Inc Tamko Bus Roofing System over Wood Deck	4 to 5 Roll	5 sq	
	Tamko 30# FELT	2 to 3 roll	5 sq	
	Tropical Asphalt Product for Modified Adhesive	1 roll	5 sq	



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

RE-ROOF PERMIT CERTIFICATION

PERMIT # _____

CONTRACTOR'S NAME: Stuart Roof Rep PHONE # 772 287 4444 FAX: 772 287 0955

OWNER'S NAME: MR CHARLES FRAPALLO

CONSTRUCTION ADDRESS: 26 EAST High Point CITY Sewall's Pt STATE FL

RE-ROOF: RESIDENTIAL(SINGLE FAMILY)
 COMMERCIAL **--REMOVE/REINSTALL ROOF TOP HVAC EQUIP YES NO

**...DISCONNECT/RECONNECT HVAC ELECTRIC YES NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. YES NO - INSURED VALUE OF RESIDENCE _____

RE-ROOF INSPECTION AFFIDAVIT TO BE PROVIDED IN LIEU OF BUILDING DEPARTMENT INSPECTION YES NO

ROOF TYPE: HIP BOSTON-HIP GABLE FLAT OTHER _____

ROOF PITCH: 1 /12 SLOPE

ROOF DECK:* SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

NA RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: built up Asphalt Smooth EXISTING COVERING TO BE REMOVED? YES NO

PROPOSED NEW ROOF COVERING: An ELASTOMERIC polyester Reinforced Modified SBS.

MANUFACTURER Tank's Best PRODUCT NAME poly-SBS PRODUCT APPR # 06-0613.006

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
 MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: GALV./STEEL ALUMINUM COPPER OTHER salvage of home

RIDGEVENT TO BE INSTALLED: YES NO

DESCRIPTION OF WORK: To remove REAR patio Roof Replacing with new Roof membrane

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR [Signature]

DATE: Sept 22 2010



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

**RESIDENTIAL REROOF WINDSTORM LOSS
MITIGATION CERTIFICATION
(FLORIDA STATUTE 553.844)**

The following information is to be provided by roofing contractor or owner/builder on all re-roof applications for the purpose of obtaining compliance with recent changes to State Statute and referenced "Hurricane Mitigation Manual". Effective date: October 1, 2007.

Note: These requirements apply to residential structures built prior to implementation of the FBC on March 1, 2002.

- Value: show proof of insured value of residential structure or a copy of the ad-valorem tax value.
- Provide copy of contract

All re-roofs regardless of value shall comply with the following:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

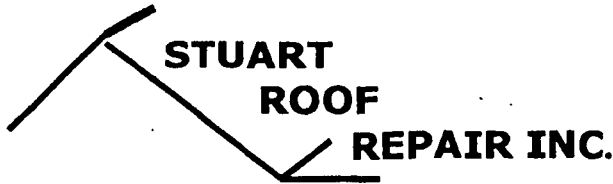
_____ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

_____ Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

✓ _____ Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-moped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- NA*
- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
 - A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.



Verbal Sp 2020
12145 PM
 PO Box 1269
 Port Salerno FL 34992-1269
 772-286-0444772-879-0955

PROPOSAL SUBMITTED TO: Dr. Charles Fraraccio		PHONE 286-1854 <i>Home</i>	DATE September 17, 2010
STREET 26 E. High Point		JOB NAME <i>2235779 office</i>	
CITY, STATE AND ZIP CODE Sewall's Point, Fl. 34996		JOB LOCATION	
ARCHITECT	DATE OF PLANS	JOB PHONE	

We hereby submit specifications and estimates for:

To cut away the eastern eave along rear patio low slope built-up asphalt roof. This location of concern having been repaired previously approximately 2 years ago. (See work drawing) This particular location has four (4) pitch pan fixtures, rotten and damaged plywood decking.

To make location of repair smooth and workable. Hauling away all trash and debris. Contractor to salvage metal flashing where ever possible.

To install appropriate repair for a low slope roof. The use of a modified SBS low slope roofing. Contractor will remove pitch pan pocket during the process of repair.

~~Price \$1,650.00~~

***NOTE:**

Should wood work be required, said woodwork will be figured as time and material. Labor @ \$85.50 per man-hour and material @ \$cost plus 20%. The repair of damaged decking on northern to north eastern eave has been included in the proposal for repair

***NOTE:**

Should homeowner decide that re-roofing is an advisable solution the following is proposed.

To remove existing low slope built-up asphalt low slope potion roof. To remove itch pan pocket and perimeter eave metal. Contractor to chip asphalt roofing and felt back along vertical wall flashing below Hardie Plank siding.

To make roof decking smooth and workable. Hauling away all trash and debris. (See *note regarding wood work based as time and material.)

To install an elastomeric polyester reinforced, ceramic granulated weather surfaced, low slope modified SBS roofing surface. Modified low slope roofing to be fully set in modified adhesive. Dry-in felt sheet to be #30 felt, tin-tagged to code. New eave T-drip being installed as necessary and required.

Appropriate built-up mastic flashing and seal being installed as necessary for roof.

Price \$3,500.00

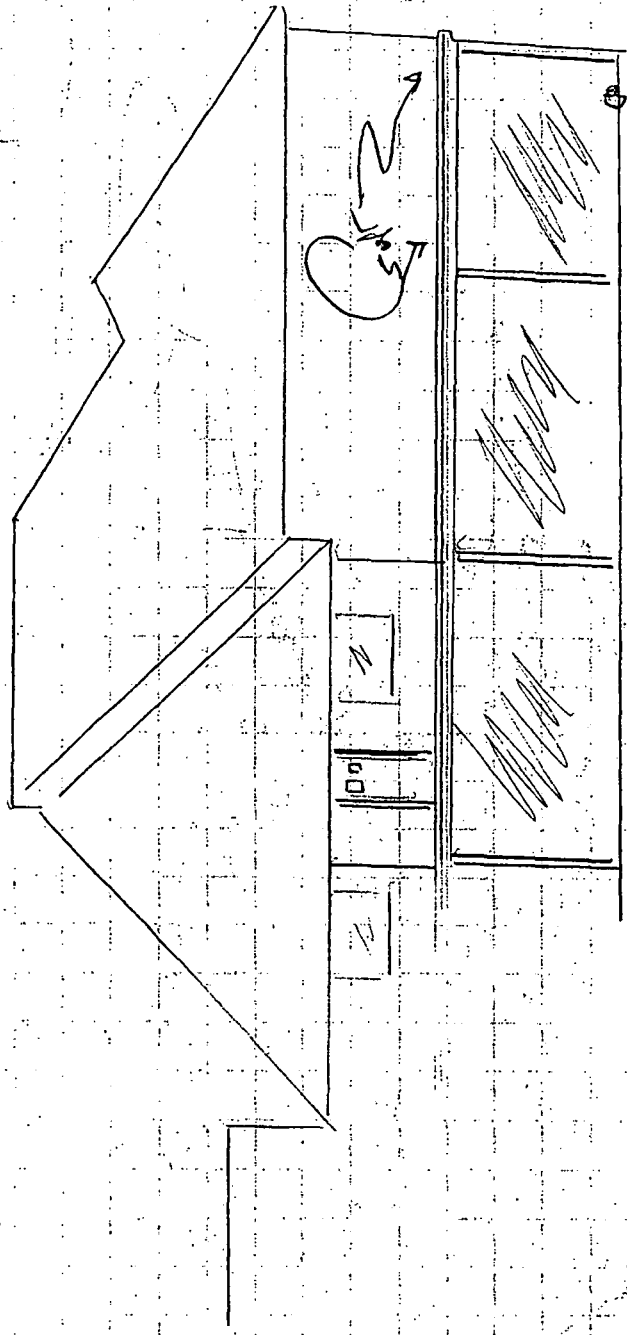
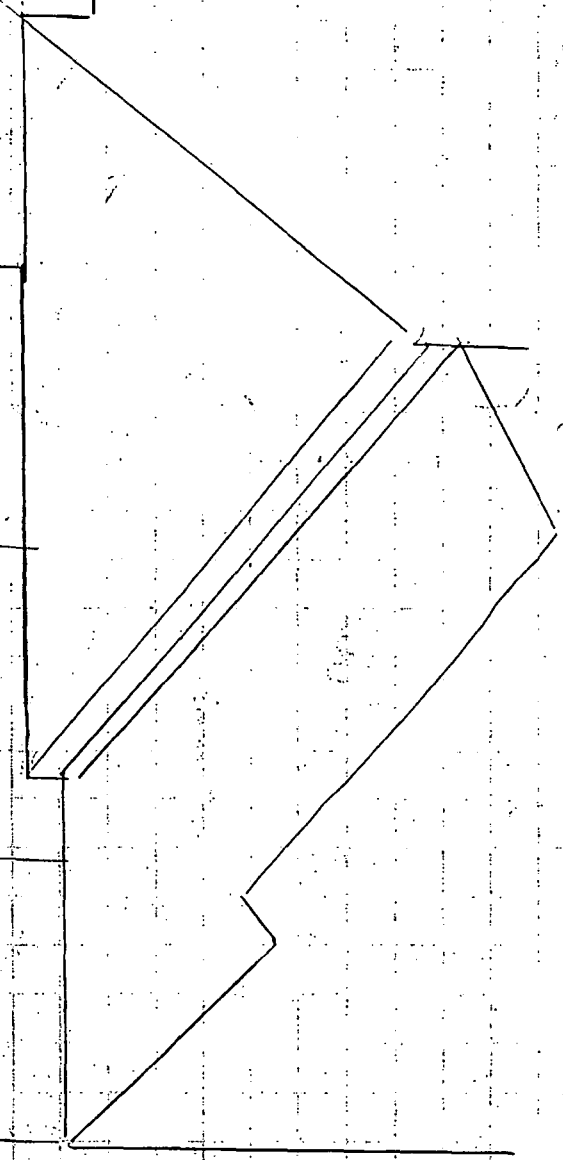
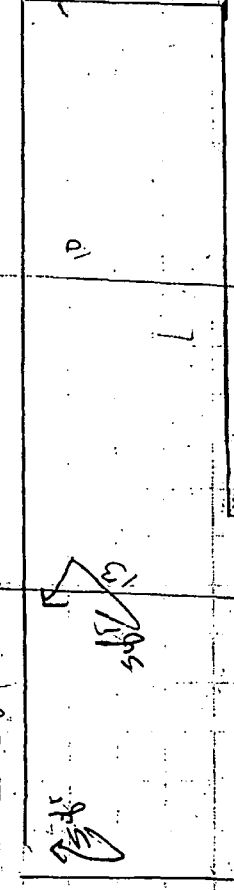
***NOTE:**

Roofing contractor will pull Sewall's Point Permit.

Continue on page 2.

1.3

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12/03/11 J. L. ACEBO



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Tamko Building Products, Inc.
P.O. Box 1404
Joplin, MO 64801**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: TAMKO BUR Roofing System over Wood Deck

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews and revises NOA No. 01-0830.07 and consists of pages 1 through 20.

The submitted documentation was reviewed by Jorge L. Acebo.



**NOA No.: 06-0613.06
Expiration Date: 08/23/11
Approval Date: 09/07/06
Page 1 of 20**

ROOFING SYSTEM APPROVAL

Category: Roofing
Sub-Category: Built-up Roofing
Deck Type: Wood
Maximum Design Pressure -60 psf
Fire Classification: See General Limitation #1

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

TABLE 1

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Awaplan 170 FR	Roll weight: 98 lbs.; 33' 11" x 39 ^{3/8"}	ASTM D 6164 Type I	A 180 g/m ² polyester reinforced SBS modified bitumen membrane surfaced with granules and treated for additional fire resistance. Applied in hot asphalt or cold adhesive.
Awaplan 170™	Roll weight: 98 lbs.; 33' 11" x 39 ^{3/8"}	ASTM D 6164 Type I	A 180 g/m ² polyester reinforced SBS modified bitumen membrane surfaced with granules. Applied in hot asphalt or cold adhesive.
Awaplan Heat Welding™	Roll weight: 96 lbs.; 25' 5" x 39 ^{3/8"}	ASTM D 6164 Type II	A 250 g/m ² polyester reinforced SBS modified bitumen membrane surfaced with granules. Applied by torch and also used as a walkway material.
Awaplan Premium FR™	Roll weight: 101 lbs.; 33' 11" x 39 ^{3/8"}	ASTM D 6164 Type II	A 250 g/m ² polyester reinforced modified bitumen membrane surfaced with granules. Applied by hot asphalt and also used as a walkway material.
Awaplan Premium™	Roll weight: 101 lbs.; 33' 11" x 39 ^{3/8"}	ASTM D 6164 Type II	A 250 g/m ² polyester reinforced SBS modified bitumen membrane surfaced with granules. Applied in hot asphalt or cold adhesive, and also used as a walkway material.
Awaflex	Roll weight: 76 lbs; 33' x 39-3/8"	ASTM D 5147	SBS modified cap sheet constructed with a 155gm/m ² non- woven polyester mat saturated with asphalt, coated on both sides with SBS rubber modified asphalt and surfaced with ceramic granules for UV protection.



<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Awaflex FR	Roll weight: 76 lbs; 33' x 39-3/8"	ASTM D 5147	SBS FR modified cap sheet constructed with a 155gm/m ² non-woven polyester mat saturated with asphalt, coated on both sides with SBS rubber modified asphalt, FR treated, and surfaced with ceramic granules for UV protection.
Awaplan Versa-Smooth	Roll weight: 100 lbs. 33' 11" x 39 ³ / ₈ "	ASTM D 6164 Type I	A 180 g/m ² polyester reinforced SBS modified bitumen membrane. Applied in hot asphalt, by torch, or mechanically fastened, as a base ply in 2 ply modified systems.
Awaplan Versa-Flex	Roll weight: 76 lbs; 33' 11" x 39-3/8"	ASTM D 6164 Type II	A 190 g/m ² nonwoven polyester reinforced SBS modified bitumen membrane. Applied in hot asphalt, as a base ply in 2 ply modified systems.
Base-N-Ply®	Roll weight: 72 lbs.; 97.5' x 39-3/8"	ASTM D 4601	Type II asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Glass-Base™	Roll weight: 72 lbs.; 97.5' x 39-3/8"	ASTM D 4601	Type II asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Tam-Cap™	Roll weight: 83 lbs.; 32' 11" x 39-3/8"	ASTM D 3909	Asphalt impregnated and coated felt surfaced with mineral granules used as the top ply in conventional built-up roof membranes.
Tam-Glass Premium™	Roll weight: 53 lbs.; 161' 9" x 39-3/8"	ASTM D 2178 Type VI	Type VI asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.
Tam-Ply IV™	Roll weight: 44 lbs.; 161' 9" x 39-3/8"	ASTM D 2178 Type IV	Type IV asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.
Type 43 Base Sheet	Roll weight: 85 lbs.; 72' x 36"	ASTM D 2626	An organic felt reinforced asphalt base sheet. Applied in hot asphalt or mechanically fastened.
Vapor-Chan™	Roll weight: 86 lbs.; 32' 11" x 39-3/8"	ASTM D 4897 Type II	Heavy duty fiber glass base sheet impregnated and coated on both sides with asphalt with or without a fine mineral stabilizer. Surfaced on the bottom side with coarse mineral granules embedded in hot asphaltic coating.
Versa-Base FR™	Roll weight: 60 lbs.; 48' 2" x 39-3/8"	ASTM D 5147	Asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.



<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Versa-Base™	Roll weight: 94 lbs.; 48' 2" x 39-3/8"	ASTM D 6163 Type I	Asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Versa-Cap FR™	Roll weight: 87 lbs.; 33' x 39-3/8"	ASTM D 5147	A fiberglass reinforced, mineral surfaced, SBS modified bitumen top membrane.
Tam-Pro Primer	5 gallon	ASTM D 41	Asphalt based primer
Tam-Pro Fire Rated Roof Coating	5 gallon	ASTM D2824, type III	A flame-retardant protective coating that forms a highly reflective surface.
Tam-Pro Fibered Emulsion	5 gallon	ASTM D1227 Type II	Protective Coating.

APPROVED INSULATIONS:

TABLE 2

Product Name	Product Description	Manufacturer (With Current NOA)
ACFoam Composite	Isocyanurate Insulation with perlite facer	Atlas Roofing Corp.
ACFoam II	Isocyanurate Insulation	Atlas Roofing Corp.
ConPearl	Expanded perlite mineral fiber	Conglas
GAFTEMP Permalite	Expanded mineral fiber	GAF Mat'l. Corp.
EnergyGuard Fiberboard	Wood fiber board	GAF Mat'l. Corp.
Wood Fiberboard	Regular wood fiber insulation	Generic
High Density Wood Fiberboard	High Density Wood Fiber insulation board.	Generic
Perlite Insulation Board	Perlite Insulation	Generic
ENRGY 2, ENERGY 3, PSI-25	Isocyanurate Insulation.	Johns Manville
Fesco Board	Rigid perlite roof insulation board.	Johns Manville
Structodeck, Structodek FS	High Density Wood Fiber insulation board.	Masonite



APPROVED FASTENERS:

TABLE 3

Fastener Number	Product Name	Product Description	Dimensions	Manufacturer (With Current NOA)
1.	Dekfast Fasteners #12, #14 & #15	Insulation fastener for wood, steel and concrete decks		SFS Intec, Inc.
2.	Dekfast Hex Plate	Galvalume hex stress plate.	2 7/8" x 3 1/4"	SFS Intec, Inc.
3.	Dekflat Plate	Polypropylene plastic plate.	3" round	SFS Intec, Inc.
4.	#12 Roofgrip Fasteners	Insulation fastener for wood and steel.		ITW Buildex Corp.
5.	Metal Plate	Galvalume stress plate.	3" round 3" square	ITW Buildex Corp.
6.	Gearlok Plastic Plate	Polypropylene round plate	3.2"	ITW Buildex Corp.
7.	Olympic Fastener #12 & #14	Insulation fastener		Olympic Mfg Group, Inc..
8.	Olympic G-2	Galvalume AZ55 steel plate	3.5" round	Olympic Mfg Group, Inc.
9.	Olympic Standard	Galvalume AZ50 steel plate	3" round	Olympic Mfg Group, Inc.
10.	Olympic Polypropylene	Polypropylene plastic plate	3.25" round	Olympic Mfg Group, Inc.
11.	Insul-Fixx Fastener	Insulation fastener for steel and wood decks		SFS Intec, Inc.
12.	HD Insul-Fixx Fastener	Insulation fastener for steel and wood decks		SFS Intec, Inc.
13.	Insul-Fixx S Plate	Galvalume AZ50 steel plate	3" round	SFS Intec, Inc.
14.	Insul-Fixx P Plate	3" round polyethylene stress plate	3" round	SFS Intec, Inc.
15.	Tru-Fast	Insulation fastener for steel and wood decks		The Tru-Fast Corp.
16.	Tru-Fast Plates	Galvalume AZ55 steel plate	3" round	The Tru-Fast Corp.
17.	Gripdek Fastener	Insulation and Base sheet Fastener	Various	ITW Buildex



EVIDENCE SUBMITTED:

<u>Test Agency/Identifier</u>	<u>Name</u>	<u>Report</u>	<u>Date</u>
Factory Mutual Research Corporation	Comparative Rupture Testing	J.I. 4D0A7.AM	10.21.98
	Class 1 Fire	J.I. 0Z4A3.AM	08.27.97
	Class 4470	J.I. 1D4A7.AM	10.20.97
	Class 4470	J.I. 3B5A9.AM	08.27.97
	Class 4470	3027787	08/14/06
	Class 4470	3027789	08/14/06
	Class 4470	3027790	08/14/06
	Class 4470	3027791	08/14/06
Underwriters Laboratories, Inc.	Fire Classification -- see current directory	R3225	Published Annually
	Wind Uplift Resistance	R3225-1 through 13	02.17.94
Dynatech Engineering Corporation	TAS 114	4440.05.95-2	05.01.95
	TAS 114	4440.05.95-1	05.01.95
Exterior Research & Design, LLC.	TAS 114	4444.06.98-1	06.15.98



APPROVED ASSEMBLIES

Deck Type II: Wood, Insulated

Deck Description: ¹⁹/₃₂" or greater plywood or wood plank. Attached to 2" x 4" wood supports spaced 24" o.c. using #8 x 2½" wood screws spaced 6" o.c. at perimeters and intermediate supports.

System Type A: Anchor sheet mechanically fastened; one or more layers of insulation adhered with approved asphalt adhesive.

All General and System Limitations apply.

Anchor Sheet: One ply of Tamko Glass-Base, Vapor-Chan or Base-N-Ply fastened to the deck as described below:

Fastening: *(Option #1)* Attach anchor sheet using 11 ga. annular ring shank nails and 1-5/8" diameter tin caps spaced 9" o.c. in a 4" lap and 9" o.c. in two staggered rows in the center of the sheet.

(Meets -52.5 psf, See General Limitation #7.)

(Option #2) Attach anchor sheet using CF Dekfast or #14 Dekfast Fasteners with CF Hex Plates, SFS #12 or HD Insulfixx S, or Buildex Accutrax Fasteners and 3" Square Plates spaced 12" o.c. in a 4" lap and 12" o.c. in two staggered rows in the center of the sheet.

(Meets -60 psf, See General Limitation #7.)

<u>Insulation Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
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One or more layers of any of the following insulations:

Approved Type(s): **AC-Foam II, E'NRG'Y 2, E'NRG'Y 2 Plus, IsoTherm R, E'NRG'Y 2 Composite, ISO 95+, ISO 95+ Composite, ISO-Roc, UltraGard Gold, AC-Foam Composite, Pyrox, Multi-Max FA**

Minimum: 1" x 3' x 4'	N/A	N/A	N/A	N/A
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Approved Type(s): **ConPerl, GAFTEMP Permalite, Fesco Board**

Minimum: ½" x 2' x 4'	N/A	N/A	N/A	N/A
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Approved Type(s): **Foamglas**

Minimum: 1" x 2' x 4'	N/A	N/A	N/A	N/A
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Approved Type(s): **High Density Wood Fiberboard, Structodek FS**

Minimum: ½" x 4' x 4'	N/A	N/A	N/A	N/A
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Approved Type(s): **Fiberglas**

Minimum: ¹⁵ / ₁₆ " x 4' x 4'	N/A	N/A	N/A	N/A
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Note: All insulation shall be adhered to the anchor sheet in full mopping of approved hot asphalt within the EVT range and at a rate of 20-40 lbs/100 ft². Please refer to Roofing Application Standard RAS 117 for insulation attachment. Insulation listed as base layer only shall be used only as base layers with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side facing down.

Base Sheet: (Optional) Install one ply of Type 43 coated base sheet, Glass-Base, Tam-Ply IV, Tam-Glass Premium® or Base-N-Ply® or Versa-Smooth base sheet directly over the top layer of insulation. Adhere in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.. If base sheet is applied directly to polyisocyanurate insulation only a spot or strip mopped application as detailed in this approval is approved; see General Limitation #4.

Ply Sheet: Two or more plies of Tam-Glass Premium® or Tam-Ply IV ply sheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. (See specification Number for appropriate number of plies)

Cap Sheet: (Optional) One ply of Tam-Cap® adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.. (See Tamko application instructions for approved method of installation).

Surfacing: (Required if no cap sheet is used) Install one of the following:

1. 1-1½ gallons fibered aluminum coating per square (Tropical Asphalt Products AlumaBrite 120, Tam-Pro FR Aluminum Roof Coating), 3 gallons emulsion roof coating per square, or asphalt surface at an application rate of 20-25 lbs./sq.. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat with an application rate of 60 lbs./sq.; plus gravel or slag with an application rate of 400 or 300 lbs./sq. respectively.

Maximum Design Pressure:

(See Anchor Sheet Fastening Options above.)



NOA No.: 06-0613.06
Expiration Date: 08/23/11
Approval Date: 09/07/06
Page 8 of 20

Deck Type II: Wood, Insulated
Deck Description: ¹⁹/₃₂" or greater plywood or wood plank
System Type B(1): Base layer of insulation mechanically attached, optional top layer mopped with approved asphalt.

All General and System Limitations apply.

<u>Insulation Base Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
Approved Type(s): AC Foam II, Isotherm R				
Minimum: 1.3" x 3' x 4'	DekFast S/P	[2]	4	1:3 ft. ²
Minimum: 1.3" x 3' x 4'	Olympic S/P	[2]	4	1:3 ft. ²
Minimum: 1.3" x 3' x 4'	Gripdek S/P	[2]	4	1:3 ft. ²
Minimum: 1.3" x 3' x 4'	Roofgrip S/P	[2]	4	1:3 ft. ²
Minimum: 1.3" x 3' x 4'	Olympic/G2 Plate	[2]	4	1:3 ft. ²
Approved Type(s): E'NRG'Y 2				
Minimum: 1.4" x 3' x 4'	DekFast S	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Tru-Fast S	[2]	3	1:4 ft. ²
Minimum: 1.4" x 3' x 4'	Olympic S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Gripdek S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Roofgrip S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Olympic/G2 Plate	[2]	4	1:3 ft. ²
Approved Type(s): ISO-Roc				
Minimum: 1.5" x 4' x 4'	DekFast S	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Tru-Fast S	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Olympic S/P	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Gripdek S/P	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Roofgrip S/P	[3]	6	1:2.67 ft. ²
Approved Type(s): AC Foam Composite				
Minimum: 1.5" x 4' x 4'	Roofgrip	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Insulfixx S/P	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	HD Insulfixx S/P	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Tru-Fast S	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Olympic S/P	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Olympic/G2 Plate	[3]	6	1:2.67 ft. ²
Approved Type(s): E'NRG'Y 2 Plus				
Minimum: 1.5" x 3' x 4'	DekFast S/P	[2]	3	1:4 ft. ²
Minimum: 1.5" x 3' x 4'	Tru-Fast S	[2]	3	1:4 ft. ²
Minimum: 1.5" x 3' x 4'	Insulfixx S/P	[2]	3	1:4 ft. ²
Minimum: 1.5" x 3' x 4'	Gripdek S/P	[2]	4	1:3 ft. ²
Minimum: 1.5" x 3' x 4'	Roofgrip S/P	[2]	4	1:3 ft. ²
Minimum: 1.5" x 3' x 4'	HD Insulfixx S/P	[2]	3	1:4 ft. ²
Approved Type(s): Foamglas				
Minimum: 1.5" x 2' x 4'	Dekfast P	[1]	2	1:4 ft. ²
Minimum: 1.5" x 2' x 4'	Tru-Fast S	[1]	2	1:4 ft. ²



<u>Insulation Base Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
Approved Type(s): Multi-Max				
Minimum: 1.5" x 4' x 8'	DekFast S	[4]	11	1:2.9 ft. ²
Minimum: 1.5" x 4' x 8'	Tru-Fast S	[4]	11	1:2.9 ft. ²
Minimum: 1.5" x 4' x 8'	Insulfixx S/P	[4]	11	1:2.9 ft. ²
Minimum: 1.5" x 4' x 8'	Olympic S/P	[4]	11	1:2.9 ft. ²
Minimum: 1.5" x 4' x 8'	Roofgrip S/P	[4]	11	1:2.9 ft. ²
Minimum: 1.5" x 4' x 8'	HD Insulfixx S/P	[4]	11	1:2.9 ft. ²
Minimum: 1.5" x 4' x 8'	Olympic/G2 Plate	[4]	11	1:2.9 ft. ²
Approved Type(s): Iso 95+				
Minimum: 1.4" x 3' x 4'	Dekfast S	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Tru-Fast S	[2]	3	1:4 ft. ²
Minimum: 1.4" x 3' x 4'	Insulfixx S/P	[2]	3	1:4 ft. ²
Minimum: 1.4" x 3' x 4'	Olympic S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Gripdek S/P	[2]	3	1:4 ft. ²
Minimum: 1.4" x 3' x 4'	Roofgrip S/P	[2]	3	1:4 ft. ²
Minimum: 1.4" x 3' x 4'	Olympic/G2 Plate	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	HD Insulfixx S/P	[2]	3	1:4 ft. ²
Approved Type(s): Fesco Foam				
Minimum: 1.5" x 4' x 4'	Dekfast S/P	[3]	4	1:4 ft. ²
Minimum: 1.5" x 4' x 4'	Tru-Fast S	[3]	4	1:4 ft. ²
Minimum: 1.5" x 4' x 4'	Insulfixx S/P	[3]	4	1:4 ft. ²
Minimum: 1.5" x 4' x 4'	Olympic S/P	[3]	4	1:4 ft. ²
Minimum: 1.5" x 4' x 4'	Gripdek S/P	[3]	4	1:4 ft. ²
Minimum: 1.5" x 4' x 4'	Roofgrip S/P	[3]	4	1:4 ft. ²
Minimum: 1.5" x 4' x 4'	Olympic/G2 Plate	[3]	4	1:4 ft. ²
Approved Type(s): E'NRG'Y 2 Composite				
Minimum: 1.25" x 3' x 4'	Dekfast S/P	[2]	3	1:4 ft. ²
Minimum: 1.25" x 3' x 4'	Tru-Fast S	[2]	3	1:4 ft. ²
Minimum: 1.25" x 3' x 4'	Insulfixx S/P	[2]	3	1:4 ft. ²
Minimum: 1.25" x 3' x 4'	Olympic S/P	[2]	3	1:4 ft. ²
Minimum: 1.25" x 3' x 4'	Gripdek	[2]	4	1:3 ft. ²
Minimum: 1.25" x 3' x 4'	Roofgrip	[2]	3	1:4 ft. ²
Minimum: 1.25" x 3' x 4'	Olympic/G2 Plate	[2]	3	1:4 ft. ²
Minimum: 1.25" x 3' x 4'	HD Insulfixx S/P	[2]	3	1:4 ft. ²
Approved Type(s): Iso 95+ Composite				
Minimum: 1.4" x 3' x 4'	Dekfast S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Roofgrip S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Insulfixx S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	HD Insulfixx S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Tru-Fast S	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Olympic S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Olympic/G2 Plate	[2]	4	1:3 ft. ²



Approved Type(s): **ConPerl, GAFTEMP Permalite, Fesco Board**

Minimum: ¾" x 2' x 4'	Dekfast S	[1]	4	1:2 ft. ²
Minimum: ¾" x 2' x 4'	Tru-Fast S	[1]	4	1:2 ft. ²
Minimum: ¾" x 2' x 4'	Gripdek S/P	[1]	4	1:2 ft. ²
Minimum: ¾" x 2' x 4'	Roofgrip S/P	[1]	4	1:2 ft. ²
Minimum: ¾" x 2' x 4'	Olympic/G2 Plate	[1]	4	1:2 ft. ²

Approved Type(s): **High Density Wood Fiberboard**

Minimum: ½" x 4' x 4'	Dekfast S	[3]	4	1:2 ft. ²
Minimum: ½" x 4' x 4'	Roofgrip S	[3]	4	1:2 ft. ²
Minimum: ½" x 4' x 4'	Tru-Fast S	[3]	4	1:2 ft. ²
Minimum: ½" x 4' x 4'	Olympic S	[3]	4	1:2 ft. ²
Minimum: ½" x 4' x 4'	Olympic/G2 Plate	[3]	4	1:2 ft. ²

Note: Base layer shall be mechanically attached with fasteners and density described. Insulation panels listed are minimum sizes and dimensions; if larger panels are used the number of fasteners per board shall be increased maintaining the same fastener density (See Roofing Application Standard RAS 117 for fastening details).

Top Layer Insulation

Approved Type(s): **Any of the insulations listed for Base Layer, above.**

Approved Type(s): **Fiberglas**

Minimum: 1 ⁵ / ₁₆ " x 4' x 4'	N/A	N/A	N/A	N/A
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Note: Apply top layer of insulation in a full mopping of any approved mopping asphalt within the EVT range and at a rate of 20-40 lbs/100 ft². Please refer to Roofing Application Standard RAS 117 for insulation attachment. Insulation listed as Base Layer only shall be used only as base layers with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side facing down.

Base Sheet: (Optional) Install one ply of Type 43 coated base sheet, Glass-Base, Tam-Ply IV, Tam-Glass Premium® or Base-N-Ply® or Versa-Smooth base sheet directly over the top layer of insulation. Adhere in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.. If base sheet is applied directly to polyisocyanurate insulation only a spot or strip mopped application as detailed in this approval is approved; see General Limitation #4.

Note: **Type 43 coated base sheet cannot be spot mopped.**

Ply Sheet: Two or more plies of Tam-Glass Premium® or Tam-Ply IV ply sheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. (See specification number for appropriate number of plies).

Cap Sheet: (Optional) One ply of Tam-Cap® adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. (See Tamko application instructions for approved method of installation).

Surfacing: (Required if no cap sheet is used) Install one of the following:

1. 1-1½ gallons fibered aluminum coating per square (Tropical Asphalt Products AlumaBrite 120, Tam-Pro FR Aluminum Roof Coating), 3 gallons emulsion roof coating per square, or asphalt surface at an application rate of 20-25 lbs./sq.. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat with an application rate of 60 lbs./sq.; plus gravel or slag with an application rate of 400 or 300 lbs./sq. respectively.

Maximum Design Pressure: -45 psf (See General Limitation #9.)



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Deck Type 1I: Wood, Insulated

Deck Description: 1⁹/₃₂" or greater plywood or wood plank. Attached to 2" x 4" wood supports spaced 24" o.c. using #8 x 2½" wood screws spaced 6" o.c. at perimeters and intermediate supports.

System Type B(2): Base layer of insulation mechanically fastened; top layer adhered with approved asphalt.

All General and System Limitations apply.

<u>Insulation Base Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
Approved Type(s): AC Foam II, E'NRG'Y-2, PSI-25				
Minimum: 4' x 4' x 1.5"	Olympic S	[3]	12	1:1.33 ft. ²
Minimum: 4' x 4' x 1.5"	SFS Insulfixx S	[3]	12	1:1.33 ft. ²

Note: Base layer shall be mechanically attached with fasteners and density described. Insulation panels listed are minimum sizes and dimensions; if larger panels are used the number of fasteners per board shall be increased maintaining the same fastener density (See Roofing Application Standard RAS 117 for fastening details).

<u>Insulation Top Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
Approved Type(s): High Density Wood Fiberboard				
Minimum: 2' x 4' x ½"	N/A	N/A	N/A	N/A

Note: Apply top layer of insulation in a full mopping of any approved mopping asphalt within the EVT range and at a rate of 20-40 lbs/100 ft². Please refer to Roofing Application Standard RAS 117 for insulation attachment. Insulation listed as Base Layer only shall be used only as base layers with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side facing down.

Base Sheet: (Optional) Install one ply of Type 43 coated base sheet, Glass-Base, Tam-Ply IV, Tam-Glass Premium® or Base-N-Ply® or Versa-Smooth base sheet directly over the top layer of insulation. Adhere in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.. If base sheet is applied directly to polyisocyanurate insulation only a spot or strip mopped application as detailed in this approval is approved; see General Limitation #4.

Note: Type 43 coated base sheet cannot be spot mopped.

Ply Sheet: Two or more plies of Tam-Glass Premium® or Tam-Ply IV ply sheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. (See specification number for appropriate number of plies).



Cap Sheet: (Optional) One ply of Tam-Cap® adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. (See Tamko application instructions for approved method of installation).

Surfacing: (Required if no cap sheet is used) Install one of the following:

1. 1-1½ gallons fibered aluminum coating per square (Tropical Asphalt Products AlumaBrite 120, Tam-Pro FR Aluminum Roof Coating), 3 gallons emulsion roof coating per square, or asphalt surface at an application rate of 20-25 lbs./sq.. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat with an application rate of 60 lbs./sq.; plus gravel or slag with an application rate of 400 or 300 lbs./sq. respectively.

Maximum Design Pressure: -60 psf (See General Limitation #7.)



Deck Type II: Wood, Insulated

Deck Description: 1⁹/₃₂" or greater plywood or wood plank

System Type C: One or more layers of insulation simultaneously attached; base layers optional.

All General and System Limitations apply.

<u>Insulation Base Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
Approved Type(s): AC-Foam II, Isotherm R Minimum: 1.3" x 3' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): E'NRG'Y 2, Iso 95+, Iso 95+ Composite Minimum: 1.4" x 3' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): ISO-Roc, Fesco Foam, AC Foam Composite Minimum: 1.5" x 4' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): E'NRG'Y 2 Plus Minimum: 1.5" x 3' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Multi-Max FA Minimum: 1.5" x 4' x 8'	N/A	N/A	N/A	N/A
Approved Type(s): E'NRG'Y 2 Composite Minimum: 1.25" x 3' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Foamglas Minimum: 1.5" x 2' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): ConPerl, GAFTEMP Permalite, Fesco Board Minimum: 1/2" x 2' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): High Density Wood Fiber Minimum: 1/2" x 4' x 4'	N/A	N/A	N/A	N/A

Note: Both layers shall be simultaneously attached; see top layer below for fasteners and density.

<u>Insulation Top Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
Approved Type(s): ACFoam II, Isotherm R				
Minimum: 1.3" x 3' x 4'	DekFast S/P	[2]	4	1:3 ft. ²
Minimum: 1.3" x 3' x 4'	Olympic S/P	[2]	4	1:3 ft. ²
Minimum: 1.3" x 3' x 4'	Gripdek S/P	[2]	4	1:3 ft. ²
Minimum: 1.3" x 3' x 4'	Roofgrip S/P	[2]	4	1:3 ft. ²
Minimum: 1.3" x 3' x 4'	Olympic/G2 Plate	[2]	4	1:3 ft. ²
Approved Type(s): E'NRG'Y 2				
Minimum: 1.4" x 3' x 4'	DekFast S	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Tru-Fast S	[2]	3	1:4 ft. ²
Minimum: 1.4" x 3' x 4'	Olympic S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Gripdek S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Roofgrip S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Olympic/G2 Plate	[2]	4	1:3 ft. ²



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<u>Insulation Top Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
Approved Type(s): ISO-Roc				
Minimum: 1.5" x 4' x 4'	DekFast S	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Tru-Fast S	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Olympic S/P	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Gripdek S/P	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Roofgrip S/P	[3]	6	1:2.67 ft. ²
Approved Type(s): E'NRG'Y 2 Plus				
Minimum: 1.5" x 3' x 4'	DekFast S/P	[2]	3	1:4 ft. ²
Minimum: 1.5" x 3' x 4'	Tru-Fast S	[2]	3	1:4 ft. ²
Minimum: 1.5" x 3' x 4'	Insulfixx S/P	[2]	3	1:4 ft. ²
Minimum: 1.5" x 3' x 4'	Gripdek S/P	[2]	4	1:3 ft. ²
Minimum: 1.5" x 3' x 4'	Roofgrip S/P	[2]	4	1:3 ft. ²
Minimum: 1.5" x 3' x 4'	HD Insulfixx S/P	[2]	3	1:4 ft. ²
Approved Type(s): Multi-Max				
Minimum: 1.5" x 4' x 8'	DekFast S	[4]	11	1:2.9 ft. ²
Minimum: 1.5" x 4' x 8'	Tru-Fast S	[4]	11	1:2.9 ft. ²
Minimum: 1.5" x 4' x 8'	Insulfixx S/P	[4]	11	1:2.9 ft. ²
Minimum: 1.5" x 4' x 8'	Olympic S/P	[4]	11	1:2.9 ft. ²
Minimum: 1.5" x 4' x 8'	Roofgrip S/P	[4]	11	1:2.9 ft. ²
Minimum: 1.5" x 4' x 8'	HD Insulfixx S/P	[4]	11	1:2.9 ft. ²
Minimum: 1.5" x 4' x 8'	Olympic/G2 Plate	[4]	11	1:2.9 ft. ²
Approved Type(s): Iso 95+				
Minimum: 1.4" x 3' x 4'	Dekfast S	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Tru-Fast S	[2]	3	1:4 ft. ²
Minimum: 1.4" x 3' x 4'	Insulfixx S/P	[2]	3	1:4 ft. ²
Minimum: 1.4" x 3' x 4'	Olympic S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Gripdek S/P	[2]	3	1:4 ft. ²
Minimum: 1.4" x 3' x 4'	Roofgrip S/P	[2]	3	1:4 ft. ²
Minimum: 1.4" x 3' x 4'	Olympic/G2 Plate	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	HD Insulfixx S/P	[2]	3	1:4 ft. ²
Approved Type(s): Fesco Foam				
Minimum: 1.5" x 4' x 4'	Dekfast S/P	[3]	4	1:4 ft. ²
Minimum: 1.5" x 4' x 4'	Tru-Fast S	[3]	4	1:4 ft. ²
Minimum: 1.5" x 4' x 4'	Insulfixx S/P	[3]	4	1:4 ft. ²
Minimum: 1.5" x 4' x 4'	Olympic S/P	[3]	4	1:4 ft. ²
Minimum: 1.5" x 4' x 4'	Gripdek S/P	[3]	4	1:4 ft. ²
Minimum: 1.5" x 4' x 4'	Roofgrip S/P	[3]	4	1:4 ft. ²
Minimum: 1.5" x 4' x 4'	Olympic/G2 Plate	[3]	4	1:4 ft. ²



<u>Insulation Top Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
Approved Type(s): E'NRG'Y 2 Composite				
Minimum: 1.25" x 3' x 4'	Dekfast S/P	[2]	3	1:4 ft. ²
Minimum: 1.25" x 3' x 4'	Tru-Fast S	[2]	3	1:4 ft. ²
Minimum: 1.25" x 3' x 4'	Insulfixx S/P	[2]	3	1:4 ft. ²
Minimum: 1.25" x 3' x 4'	Olympic S/P	[2]	3	1:4 ft. ²
Minimum: 1.25" x 3' x 4'	Gripdek	[2]	4	1:3 ft. ²
Minimum: 1.25" x 3' x 4'	Roofgrip	[2]	3	1:4 ft. ²
Minimum: 1.25" x 3' x 4'	Olympic/G2 Plate	[2]	3	1:4 ft. ²
Minimum: 1.25" x 3' x 4'	HD Insulfixx S/P	[2]	3	1:4 ft. ²
Approved Type(s): AC Foam Composite				
Minimum: 1.5" x 4' x 4'	Roofgrip	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Insulfixx S/P	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	HD Insulfixx S/P	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Tru-Fast S	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Olympic S/P	[3]	6	1:2.67 ft. ²
Minimum: 1.5" x 4' x 4'	Olympic/G2 Plate	[3]	6	1:2.67 ft. ²
Approved Type(s): Iso 95+ Composite				
Minimum: 1.4" x 3' x 4'	Dekfast S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Roofgrip S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Insulfixx S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	HD Insulfixx S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Tru-Fast S	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Olympic S/P	[2]	4	1:3 ft. ²
Minimum: 1.4" x 3' x 4'	Olympic/G2 Plate	[2]	4	1:3 ft. ²
Approved Type(s): Foamglas				
Minimum: 1.5" x 2' x 4'	Dekfast P	[1]	2	1:4 ft. ²
Minimum: 1.5" x 2' x 4'	Tru-Fast S	[1]	2	1:4 ft. ²
Approved Type(s): ConPerl, GAFTEMP Permalite, Fesco Board				
Minimum: ¾" x 2' x 4'	Anchorbond S	[1]	4	1:2 ft. ²
Minimum: ¾" x 2' x 4'	Dekfast S	[1]	4	1:2 ft. ²
Minimum: ¾" x 2' x 4'	Tru-Fast S	[1]	4	1:2 ft. ²
Minimum: ¾" x 2' x 4'	Gripdek S/P	[1]	4	1:2 ft. ²
Minimum: ¾" x 2' x 4'	Roofgrip S/P	[1]	4	1:2 ft. ²
Minimum: ¾" x 2' x 4'	Olympic/G2 Plate	[1]	4	1:2 ft. ²
Approved Type(s): High Density Wood Fiberboard				
Minimum: ½" x 4' x 4'	Dekfast S	[3]	4	1:2 ft. ²
Minimum: ½" x 4' x 4'	Roofgrip S	[3]	4	1:2 ft. ²
Minimum: ½" x 4' x 4'	Tru-Fast S	[3]	4	1:2 ft. ²
Minimum: ½" x 4' x 4'	Olympic S	[3]	4	1:2 ft. ²
Minimum: ½" x 4' x 4'	Olympic/G2 Plate	[3]	4	1:2 ft. ²

Note: All layers of insulation shall be mechanically attached using the fastener density listed above. The insulation panels listed are minimum sizes and dimensions; if larger panels are used, the number of fasteners shall be increased maintaining the same fastener density. Insulation fasteners shall be tested for withdrawal resistance in compliance with Testing Application Standard TAS 105 to confirm compliance with the wind load requirements. Please refer to Roofing Application Standard RAS 117 for insulation attachment.



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- Base Sheet:** (Optional) Install one ply of Type 43 coated base sheet, Glass-Base, Tam-Ply IV, Tam-Glass Premium® or Base-N-Ply® or Versa-Smooth base sheet directly over the top layer of insulation. Adhere in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.. If base sheet is applied directly to polyisocyanurate insulation only a spot or strip mopped application as detailed in this approval is approved; see General Limitation #4.
- Note:** **Type 43 coated base sheet cannot be spot mopped.**
- Ply Sheet:** Two or more plies of Tam-Glass Premium® or Tam Ply IV ply sheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.
- Cap Sheet:** (Optional) One ply of Tam-Cap® adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.. (See Tamko application instructions for approved method of installation).
- Surfacing:** (Required if no cap sheet is used) Install one of the following:
1. 1-1½ gallons fibered aluminum coating per square (Tropical Asphalt Products AlumaBrite 120, Tam-Pro FR Aluminum Roof Coating), 3 gallons emulsion roof coating per square, or asphalt surface at an application rate of 20-25 lbs./sq.. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
 2. Flood coat with an application rate of 60 lbs./sq.; plus gravel or slag with an application rate of 400 or 300 lbs./sq. respectively.
- Maximum Design Pressure:** -45 psf (See General Limitation #9.)



Deck Type II: Wood, Insulated

Deck Description: ¹⁹/₃₂" or greater plywood or wood plank. Attached to 2" x 4" wood supports spaced 24" o.c. using #8 x 2½" wood screws spaced 6" o.c. at perimeters and intermediate supports.

System Type D: Base sheet attached over insulation.

All General and System Limitations apply.

<u>Insulation Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u>	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
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One or more layers of any of the following insulations:

Approved Type(s): **AC-Foam II, E'NRG'Y 2, E'NRG'Y 2 Plus, IsoTherm R, E'NRG'Y 2 Composite, ISO 95+, ISO 95+ Composite, ISO-Roc, UltraGard Gold, AC-Foam Composite, Pyrox, Multi-Max FA**

Minimum: 1" x 3' x 4'	N/A	N/A	N/A	N/A
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Approved Type(s): **ConPerl, GAFTEMP Permalite, Fesco Board**

Minimum: ½" x 2' x 4'	N/A	N/A	N/A	N/A
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Approved Type(s): **Foamglas**

Minimum: 1" x 2' x 4'	N/A	N/A	N/A	N/A
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Approved Type(s): **High Density Wood Fiberboard, Structodek FS**

Minimum: ½" x 4' x 4'	N/A	N/A	N/A	N/A
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Approved Type(s): **Fiberglas**

Minimum: ¹³ / ₁₆ " x 4' x 4'	N/A	N/A	N/A	N/A
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Note: Top layer shall have preliminary attachment, prior to the installation of the base/anchor sheet, at an application rate of two fasteners per board for insulation boards having no dimension greater than 4 ft., and four fasteners for any insulation board having no dimension greater than 8 ft. All layers of insulation and base sheet shall be simultaneously fastened. See base/anchor sheet below for fasteners and density.

Base Sheet: One ply of Tamko Glass-Base, Vapor-Chan or Base-N-Ply fastened to the deck as described below:

Fastening: Attach anchor sheet using CF Dekfast or #14 Dekfast Fasteners with CF Hex Plates, SFS #12 or HD Insulfixx S, or Buildex Accutrax Fasteners and 3" Square Plates spaced 12" o.c. in a 4" lap and 12" o.c. in two staggered rows in the center of the sheet.

Ply Sheet: Two or more four plies of Tam-Glass Premium® or Tam Ply IV ply sheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

Cap Sheet: (Optional) One ply of Tam-Cap® adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. (See Tamko application instructions for approved method of installation).

Surfacing: (Required if no cap sheet is used) Install one of the following:

- 1-1½ gallons fibered aluminum coating per square (Tropical Asphalt Products AlumaBrite 120, Tam-Pro FR Aluminum Roof Coating), 3 gallons emulsion roof coating per square, or asphalt surface at an application rate of 20-25 lbs./sq. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat with an application rate of 60 lbs./sq.; plus gravel or slag with an application rate of 400 or 300 lbs./sq. respectively.

Maximum Design Pressure:

-60 psf (See General Limitation #7.)



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Deck Type 1: Wood, Non-insulated

Deck Description: $1\frac{9}{32}$ " or greater plywood or wood plank decks. Attached to 2" x 4" wood supports spaced 24" o.c. using #8 x 2 $\frac{1}{2}$ " wood screws spaced 6" o.c. at perimeters and intermediate supports.

System Type E: Base Sheet mechanically attached.

All General and System Limitations apply.

Base Sheet: One ply of Tamko Glass-Base, Vapor-Chan or Base-N-Ply fastened to the deck as described below:

Fastening: *(Option #1)* Attach base sheet using 11 ga. annular ring shank nails and 1-5/8" diameter tin caps spaced 9" o.c. in a 4" lap and 9" o.c. in two staggered rows in the center of the sheet.
(Meets -52.5 psf, See General Limitation #7.)

(Option #2) Attach base sheet using CF Dekfast or #14 Dekfast Fasteners with CF Hex Plates, SFS #12 or HD Insulfixx S, or Buildex Accutrak Fasteners and 3" Square Plates spaced 12" o.c. in a 4" lap and 12" o.c. in two staggered rows in the center of the sheet.
(Meets -60 psf, See General Limitation #7.)

Ply Sheet: Two or more plies of Tam-Glass Premium® or Tam Ply IV ply sheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

Cap Sheet: (Optional) One ply of Tam-Cap® adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.. (See Tamko application instructions for approved method of installation).

Surfacing: (Required if no cap sheet is used) Install one of the following:

1. 1-1 $\frac{1}{2}$ gallons fibered aluminum coating per square (Tropical Asphalt Products AlumaBrite 120, Tam-Pro FR Aluminum Roof Coating), 3 gallons emulsion roof coating per square, or asphalt surface at an application rate of 20-25 lbs./sq.. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat with an application rate of 60 lbs./sq.; plus gravel or slag with an application rate of 400 or 300 lbs./sq. respectively.

Maximum Design Pressure: *See Base Sheet Fastening Options above*



WOOD DECK SYSTEM LIMITATIONS:

- 1 A slip sheet is required with Ply 4 and Ply 6 when used as a mechanically fastened base or anchor sheet.

GENERAL LIMITATIONS:

1. Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer
3. All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
4. An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used the base sheet shall be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each sidelap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq. **Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf.**
5. Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with Testing Application Standard TAS 105. If the fastener value, as field-tested, are below 275 lbf. insulation attachment shall not be acceptable.
6. Fastener spacing for mechanical attachment of anchor/base sheet or membrane attachment is based on a minimum fastener resistance value in conjunction with the maximum design value listed within a specific system. Should the fastener resistance be less than that required, as determined by the Building Official, a revised fastener spacing, prepared, signed and sealed by a Florida Registered Engineer, Architect, or Registered Roof Consultant may be submitted. Said revised fastener spacing shall utilize the withdrawal resistance value taken from Testing Application Standards TAS 105 and calculations in compliance with Roofing Application Standard RAS 117.
7. Perimeter and corner areas shall comply with the enhanced uplift pressure requirements of these areas. Fastener densities shall be increased for both insulation and base sheet as calculated in compliance with Roofing Application Standard RAS 117. Calculations prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant **(When this limitation is specifically referred within this NOA, General Limitation #9 will not be applicable.)**
8. All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform with Roofing Application Standard RAS 111 and applicable wind load requirements.
9. The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners). **(When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.)**

END OF THIS ACCEPTANCE



NOA No.: 06-0613.06
Expiration Date: 08/23/11
Approval Date: 09/07/06
Page 20 of 20

ADDRESS - E



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Tropical Asphalt Product Corp.
1904 SW 31 Ave.
Hallandale FL 33009**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code and the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Tropical Asphalt Roofing Cements and Coatings

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA No. 06-0119.03 and consists of pages 1 through 7.

The submitted documentation was reviewed by Jorge L. Acebo.



**NOA No.: 07-0425.08
Expiration Date: 08/23/11
Approval Date: 08/30/07
Page 1 of 7**

ROOFING COMPONENT APPROVAL

Category: Roofing
Sub-Category: Cements and Coatings
Fire Classification: See General Limitation #1

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name / Report</u>	<u>Date</u>
PRI Asphalt Technologies, Inc	TRA-089-02-01	ASTM D 4586	05/16/06
	TRA-090-02-01	ASTM D 4586	05/16/06
	TRA-091-02-01	ASTM D 4586	05/16/06
	TRA-092-02-01	ASTM D 2824	05/16/06
	TRA-093-02-01	ASTM D 2824	05/16/06
	TRA-094-02-01	ASTM D 3019	05/16/06
	TRA-095-02-01	ASTM D 41	05/16/06
	TRA-096-02-01	ASTM D 4479	05/16/06
	TRA-097-02-01	ASTM D 3019	05/16/06
	TRA-098-02-01	ASTM D 4586	05/16/06
	TRA-079-02-01	ASTM D 4586	10/19/05
	TRA-080-02-01	ASTM D 4586	10/19/05
	TRA-082-02-01	TAS 139	10/19/05
	TRA-083-02-01	ASTM D 4479	10/21/05
	TRA-085-02-02	ASTM D 41	12/30/05
TRA-078-02-01	ASTM D 6083	11/22/05	
DL Laboratories	DL-9951-R	ASTM D 962, Type II	04/13/94

PHYSICAL PROPERTIES OF COMPONENTS:

Trade name: #101 – Roofcraft Premium Grade All Weather Flashing Cement, Tri-Built AF Plastic Cement

Application Rate: This material is applied by trowel or knife at a minimum rate of 1/8" thick, approximately 1 gal/20 sq. ft. For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D 4586 Type I, D 3409

Description: An all weather flashing cement that adheres to all surfaces, wet or dry. Blended with select asphalts, cellulose fibers, surfactants, mineral stabilizers, and pure hydrocarbon solvents. Used for protecting, waterproofing, patching and sealing old and new roofs.

Container Size: 1, 5, 55 gallons. Note all cautions on container label.



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Approval Date: 08/30/07
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Trade name: #104 – Asphalt Concrete Primer

Application Rate: Min. rate 1gal. /100ft² for systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D-41

Description: An asphalt concrete primer used as a bonding coat for prime coating, rust proofing, waterproofing and solidification of dust particles and sealing of porosity prior to application of subsequent materials. Apply cold to concrete, felt, plastics, gypsum, glass, wood or metals.

Container Size: 1, 5, 55 gallons. Note all cautions on container label.

Trade name: # 701 – Armour Plate

Application Rate: Applied with a trowel or knife at a minimum rate of 1/8" thick, approximately 1 gal/20 sq. ft. For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D 4586

Description: An asbestos free asphaltic base, multipurpose plastic roof cement for repairing leaks, cracks, and holes in concrete, steel, or metal roofs. For use on all flashing around skylights, gutters, and in all crevices. It can also be applied as a heavy-duty foundation coating.

Container Size: 1, 5, 55 gallons. Note all cautions on container label.

Trade name: # 501 Taurus AF Roof Cement,
Tri-Built AF Flashing Cement

Application Rate: Applied with a trowel or knife at a minimum rate of 1/8" thick, approximately 1 gal/20 sq. ft. For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D 4586

Description: An asbestos free asphaltic base, multipurpose plastic roof cement for repairing leaks, cracks, and holes in concrete, steel, or metal roofs. For use on all flashing around skylights, gutters, and in all crevices. It can also be applied as a heavy-duty foundation coating.

Container Size: 1, 5, 55 gallons. Note all cautions on container label.



Trade name: # 202 – Tropi-Cote Plastic Fibered Liquid Roof Coating

Application Rate: For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D 4479

Description: Asbestos free liquid asphalt waterproofing fortified with mineral fibers. Remove loose gravel and dirt before application and make sure surface is clean and dry. Adheres to any solid surface, concrete, all metals, wood, felt, plastics and glass. Applied cold with brush or mop.

Container Size: 1, 5, 55 gallons. Note all cautions on container label.

Trade name: # 216 – AF Modified Bitumen Adhesive,
Tri-Built AF Modified Bitumen Adhesive Brush Grade

Application Rate: Apply with 1/8"-1/4" notched squeegee, standard roofing brush or roller at an approximate rate of 1 gal/50 to 60 sq. ft. Overlaps should be 4" wide. For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D 3019 Type III

Description: Asbestos free rubberized adhesive made from oxidized base asphalts, blended with a high concentration of SBS rubber and reinforcing fibers. For use in applying modified adhesive sheets. Also recommended for applying glass base ply, as lap cement. Surface must be clean and dry before application.

Container Size: 1, 5, 55 gallons. Note all cautions on container label.

Trade name: # 2100 Rubberized All-Weather Flashing Cement Trowel Grade,
Tri-Built AF Modified Bitumen Flashing Cement Trowel Grade

Application Rate: Applied with a trowel at a minimum rate of 1/8" thick, approximately 1 gal/20 sq. ft. For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D 3019 Type III, and D 3409

Description: Asbestos free flashing compound manufactured with high-grade oxidized base asphalts. Fortified with SBS rubber. Special surfactants make this product applicable in any climate or weather. Manufactured to adhere to all solid surfaces, wet or dry. For use in repairing, sealing, or adhering to all types of roofing. A trowel grade modified adhesive as well as flashing cement. Uses include fixing leaks around vent pipes, skylights, valleys, chimneys, joints, starting shingles as well as patching small holes. May be used to repair modified asphalt sheets as well as conventional roofing. Not for use on coal tar roofs.

Container Size: 1, 3, 55 gallons and 10.5 ounce caulking tubes.



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Trade name: # 120 – AF Aluma-Brite Aluminum Asphalt Fibered Roof Coating,
Tri-Built AF Fibered Aluminum Coating

Application Rate: For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D 2824 Type III

Description: Asbestos free, heavy duty, fibered aluminum asphalt coating that provides reflectivity while ensuring protection against moisture and corrosion. Do not work coating excessively during application. Attempt to brush or roll on in one direction. Can be used on all types of roofs, well suited for modified bitumen.

Container Size: 1, 5, 55 gallons. Note all cautions on container label.

Trade name: # 126 – Aluma-Glow Non Fibered Aluminum Paint,
Tri-Built AF Non Fibered Aluminum Coating

Application Rate: For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D 2824 Type I

Description: A brilliant, durable paint designed to withstand extreme weather conditions. This product uses paint grade aluminum paste and a leafing finish. For use on roofs of all types, storage tanks, masonry surfaces, and structural steel. It also is a rust and corrosion resistant coating for all types of metal surfaces. Application of this product may be done with a mop, brush or spray equipment.

Container Size: 1, 5, 55 gallons. Note all cautions on container label.

Trade name: # 711 – Tite-Seal Cold Process Lap Cement

Application Rate: For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D 3019 Type III

Description: Asbestos free, fibered, cold process cement. For use as interplay adhesive for built up roofs. May also be used as an extra heavy bodied roof coating. Apply to clean dry surface using stiff brittle brush, roller, or spray equipment.

Container Size: 1, 5, 55 gallons. Note all cautions on container label.



Trade name: Eternalastic and Eternamastic elastomeric roof coating

Application Rate: This material is applied by spray equipment, roller, knife or brush. For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: Miami Dade Protocol TAS-143.

Description: A styrene acrylic based elastomeric designed specifically to recover, restore, repair or create a roofing system. Used for protecting, waterproofing, patching and sealing new and old roofs.

Container Size: 1, 5, 55 gallons and quart tubes. Note all cautions on container label.

Trade name: #410 – Quick Dry Asphalt Primer,
Tri-Built AF Quick Dry Primer

Application Rate: Apply by brush or spray at a minimum rate of 1gal./100ft² for systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D-41

Description: A general purpose asphalt based primer used as a bonding coat for preparation of roof surfaces prior to the application of subsequent roofing materials.

Container Size: 1, 5, 55 gallons. Note all cautions on container label.

Trade name: #509 – Modified Mastic

Application Rate: This material is applied by trowel at a minimum rate of 1/8" thick, approximately 1 gal/8 sq. ft. For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D 4586

Description: A polymer modified Mastic that is used on wet/dry roof surfaces.

Container Size: 1, 3, 5 gallons. Note all cautions on container label.

Trade name: #805 – Commercial Grade Roof Cement

Application Rate: This material is applied by trowel at a minimum rate of 1/8" thick, approximately 1 gal/8 sq. ft. For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D 4586

Description: A asphalt based plastic roof cement for repairing roof materials.

Container Size: 1, 3 5 gallons. Note all cautions on container label.



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Trade name: # 950 - Eternamastic

Application Rate: This material is applied by trowel or brush at a minimum rate of 1/8" thick. For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: TAS-139

Description: A white acrylic based polymer patching compound used for protecting, waterproofing and repairing new or old roofs.

Container Size: 1, 5, 55 gallons and quart tubes. Note all cautions on container label.

Trade name: # 4003 – Fibered Roof Resaturant and Sealer

Application Rate: Apply by brush or spray at the rate of 2 to 4 gal/100ft.² Application rate may vary depending on the roof surface. For systems approvals, refer to specific Roof Assembly, Product Control Notice of Acceptance.

Specifications: ASTM D 4479

Description: An asphalt based resaturant with penetrating oils and solvents used for rejuvenating aged built up roofing.

Container Size: 1, 5, 55 gallons. Note all cautions on container label.

LIMITATIONS:

1. Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Tropical Asphalt products shall not be applied in inclement weather conditions.
3. The product listed herein are components of roof assemblies and are approved for use with roof assemblies that list any of the products listed herein as part of their roof assemblies Notice of Acceptance. If a product is not listed as part of roof assemblies Notice of Acceptance, a request may be made to the local building official or the Miami Dade Building Code Compliance Office for approval provided that appropriate documentation is provided.
4. All products listed herein shall have an unannounced follow-up quality control program from an approved listing agency, and shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code. Follow up test results shall be made available to BCCO upon request.
5. All approved products listed herein shall be labeled in compliance with TAS 121.
6. Change in materials, use, or manufacture of any of the products listed herein shall be cause for termination of this Notice of Acceptance.
7. This maintenance coating systems shall not be applied over, prepared roofing; i.e., fiber-cement shingles, quarry slate, cement or clay roof tile, metal shingles, wood shingles or shakes.
8. Tropical Asphalt products shall be applied in accordance with manufacturer's published application instructions.

END OF THIS ACCEPTANCE



NOA No.: 07-0425.08
Expiration Date: 08/23/11
Approval Date: 08/30/07
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TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-6 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
6426	Jones	Final		No Show
3pm	18 Emauta Wren/Curington	REMODEL 352-266-4148	FAIR	45 ⁰⁰ FEE INSPECTOR <i>A</i>
9051	Benikana 3602 SE Ocean Comm Cont.	electrical service		INSPECTOR
Tree	Conway 16 S. Via Lucinda	Tree	OK	INSPECTOR
9587	Savastano 19 Island Rd Rick Stone	Final Fascia	PASS	Close INSPECTOR <i>A</i>
9051	BENIKANA 3602 E. OCEAN Comm Cont.	SERVICE CHANGE	PASS	READY FOR FPL INSPECTOR <i>A</i>
9591	XXXXXXXXXX 26 Ethel Pt Street Roof Rep.	XXXXXXXXXX Metal	XXXXXXXXXX PASS	INSPECTOR <i>A</i>
				INSPECTOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

RE: Permit # 9591

Date Oct 13, 2010

Inspection Affidavit

I JAMES ARES, licensed as a(n) Contractor* Engineer/Architect,
 (please print name and circle Lic. Type) FS 468. Building Inspector*

License #: CCC1326087

On or about Oct. 9, 2010, I did personally inspect the roof
 (Date & time)

deck nailing and/or secondary water barrier work at 26 EAST High Point
 (circle one) (Job Site Address)

Sewall's Point. Come did re-permit to build.

Based upon that examination I have determined the installation was done according to the Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

Signature

STATE OF FLORIDA
 COUNTY OF _____
 Sworn to and subscribed before me this 13th day of October, 2010

By Valerie Meyer

Notary Public Valerie Meyer State of Florida
 (Print, type or stamp name)
 Commission Expires May 14, 2014
 #00978742
 Bonded thru _____
 Notary Public Under _____
 NOTARY PUBLIC, STATE OF FLORIDA

Personally known or
 Produced Identification _____
 Type of identification produced. _____

* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: Mon Tue Wed Thur Fri **10-13** 2016 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9564	Pruce 22 Fieldway JA Taylor	dry-in	Pass	INSPECTOR <i>JA</i>
9577	McMahon 555 Sewalls Code Red	in-progress	Pass	INSPECTOR <i>JA</i>
9287	Sharfi 73 N Sewalls Mosley	driveway PARTIAL PRE-POUR	Pass	INSPECTOR <i>JA</i>
9582	Ferraro 10 Middle Rd Gulfstream Alum.	Trial Shutters	Pass	Close INSPECTOR <i>JA</i>
9585	GILBERT 8 MANDALAY KROSS & CRANE	A/C FINAL	FAIL	SUPPOND REFINING PIPE TO CODE INSPECTOR <i>JA</i>
9594	Harbor Bay 3735 SE Ocean Gary Hulme	electric rough ceiling	Pass	INSPECTOR <i>JA</i>
9597	FRANCISCO 120 E HIGHWAY 17 SPURRY Roof Rep.	Roof FINAL	Pass	Close INSPECTOR <i>JA</i>

10743

REPAIR DOCK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10743	DATE ISSUED:	01/29/2014
SCOPE OF WORK:	REPAIR HURRICANE DAMAGED DOCK		
CONTRACTOR:	ATLANTIC SEAWALL AND DOCK CO.		
PARCEL CONTROL NUMBER:	133841003000010100	SUBDIVISION	HIGH POINT ISLE
CONSTRUCTION ADDRESS:	26 EAST HIGH POINT ROAD		
OWNER NAME:	CHARLES FRARACCIO		
QUALIFIER:	ADAM TRENTER	CONTACT PHONE NUMBER:	772 263-1712

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10743
ADDRESS	26 EAST HIGH POINT ROAD
DATE 01/29/14	SCOPE OF WORK REPAIR HURRICANE DAMAGED DOCK

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)		s.f.	
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)		s.f.	
Total square feet remodel with new trusses: @ \$90.78 per sq. ft.		\$	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$100 per insp.)			
Total number of inspections (Value < \$200K)@\$100ea		\$	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5 min.)			
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	22,400.00
Total number of inspections @ \$100.00 each	1		100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	8.96
TOTAL ACCESSORY PERMIT FEE:		\$	112.96

Paid *ck. # 5295 = 109.10*
Cash = 3.06
\$112.96

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: 10743

Date: _____

OWNER/LESSEE NAME: CHARLES FRARACCIO Phone (Day) 286-1854 (Fax) _____

Job Site Address: 26 EAST HIGH POINT Rd. City: SEWALLS PT. State: FL Zip: 34996

Legal Description _____ Parcel Control Number: _____

Fee Simple Holder Name: _____ Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** REPAIR HURRICANE DAMAGED DOCK

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 22,400
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: ATLANTIC SEAWALL & DOCK Phone: 772 263 1712 Fax: 866 380 0356

Qualifiers name: ADAM TRENTER Street: 7366 SW 39th St City: PLUM CITY State: FL Zip: 34990

State License Number: CBC 1258639 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: ADAM TRENTER Phone Number: 772 263 1712

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Porches Enclosed Storage: _____

Carpport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF: FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

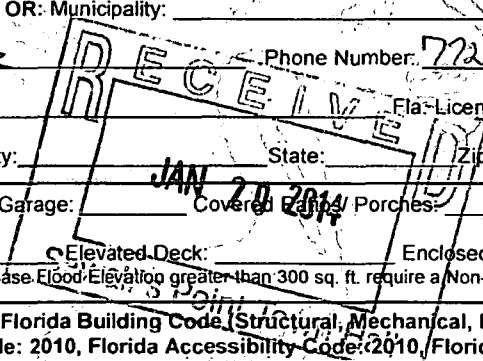
*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

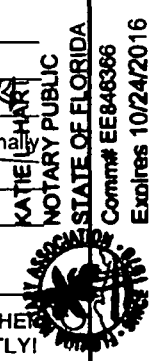
OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
x Charles Fraraccio
State of Florida, County of: _____
On This the _____ day of _____, 2014
by _____ who is personally
known to me or produced _____
As identification: _____
My Commission Expires: _____
Notary Public

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
x Adam Trenter
State of Florida, County of: Martin
On This the 16th day of January, 2014
by Adam Trenter who is personally
known to me or produced _____
As identification: _____
My Commission Expires: 10/24/2016
Notary Public

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



100+
2+
2+
896
11296



**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 1/21/2014 3:27:27 PM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-003-000-01010-0	27787	26 E HIGH POINT RD, SEWALL'S POINT	\$952,390	1/18/2014

Owner Information

Owner(Current)	FRARACCIO CHARLES A & DONNA A
Owner/Mail Address	26 E HIGH POINT RD STUART FL 34996-7002
Sale Date	8/1/1981
Document Book/Page	0527 2314
Document No.	
Sale Price	100

Location/Description

Account #	27787	Map Page No.	SP-06
Tax District	2200	Legal Description	HIGH POINT ISLE ADDN, PART OF LOTS 101 & 100; BEG NW COR LOT 101, CURVE NE 50' FOR POB CURVE NE 96.91', SE 251.24', SE 89.73' M/S TO INDIAN RIVER, MEANDER SWLY 225', NW 361' TO POB
Parcel Address	26 E HIGH POINT RD, SEWALL'S POINT		
Acres	1.1100		

Parcel Type

Use Code	0100 Single Family
Neighborhood	193110 Archipelago, High Pt CANAL

Assessment Information

Market Land Value	\$710,070
Market Improvement Value	\$242,320
Market Total Value	\$952,390

RENEWAL ON 11/23/05: NIC 1 YEAR GOOD THRU 11/23/06.
 renewal on 11/20/06: NIC 1 yr good thru 11/23/07
 per Jeffrey Adams

C

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 11/23/04 BUILDING PERMIT NO. 7082A
 Building to be erected for FRARACCIO Type of Permit DOCK REPAIR
 Applied for by O/B (Contractor) Building Fee _____
 Subdivision HIGH POINT Lot P100/101 Block _____ Radon Fee _____
 Address 20 E. HIGH POINT Impact Fee _____
 Type of structure SEW A/C Fee NIC
 Parcel Control Number: _____ Electrical Fee HURRICANE
133841003000001010000 Plumbing Fee _____
 Amount Paid _____ Check # _____ Cash _____ Other Fees (_____) _____
 Total Construction Cost \$ 18,000.00 TOTAL Fees _____

Signed [Signature] Applicant Signed [Signature] Town Building Official

PERMIT

- | | | |
|--|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input checked="" type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BOCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

[Handwritten signature and notes across the inspection table]

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (SF 687 (Mechanical))

2436322

OR BK 3498 PG 1545

PERMIT #: _____

TAX FOLIO #: 13-38-41-003

RECORDED 01/21/2014 02:41:12 PM

STATE OF FLORIDA

COUNTY OF MARTIN

CARDLYN TIMMANN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

High Point Isle ADDN, Part of Lots 101 & 100

GENERAL DESCRIPTION OF IMPROVEMENT: DOCK REPAIR

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: Charles Fraraccio

ADDRESS: 26 E High Point Rd, Stuart, FL 34996

PHONE NUMBER: 772-286-1854

FAX NUMBER: _____

INTEREST IN PROPERTY: Owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: ATLANTIC SEAWALL & DOCK COMPANY

ADDRESS: 7366 SW 29th St, PALM CITY, FL, 34990

PHONE NUMBER: 772 263 1712

FAX NUMBER: 888-380-0356

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED) N/A

ADDRESS: _____

PHONE NUMBER: _____

FAX NUMBER: _____

BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY:

ADDRESS: _____

PHONE NUMBER: _____

FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE NUMBER: _____

FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____

TO RECEIVE

A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: _____

FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Signature of Charles Fraraccio

SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

SIGNATORY'S TITLE/OFFICE: Owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20 DAY OF Jan 20 14

BY: Charles Fraraccio AS

Owner TYPE OF AUTHORITY

FOR

PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN

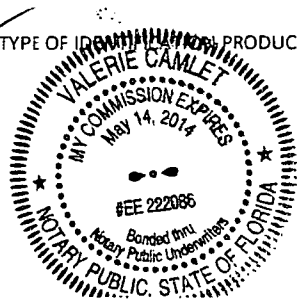
OR PRODUCED IDENTIFICATION

TYPE OF IDENTIFICATION PRODUCED

FDL# F662-14-49-001-0

Signature of Valerie Camlet

NOTARY SIGNATURE/ SEAL



STATE OF FLORIDA MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE

CARDLYN TIMMANN, CLERK

BY: [Signature] DATE: _____ D.C.



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
1/23/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Campbell-Wilson Ins. Agency 8827 SE Bridge Road Robe Sound, FL 33455-5310 Campbell-Wilson INSURED Atlantic Seawall & Dock Company 7366 SW 39th Street Palm City, FL 34990-5341 CBC1258639	CONTACT NAME: PHONE (A/C, No, Ext): (772) 546-5600 FAX (A/C, No): (772) 546-1008 E-MAIL ADDRESS: PRODUCER CUSTOMER ID #: INSURER(S) AFFORDING COVERAGE INSURER A: Auto Owners Insurance Company NAIC # INSURER B: Essex/Gresham INSURER C: INSURER D: INSURER E: INSURER F:
--	--

COVERAGES **CERTIFICATE NUMBER: 2013** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	GENERAL LIABILITY					EACH OCCURRENCE \$ 300,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ Excluded PERSONAL & ADV INJURY \$ 300,000 GENERAL AGGREGATE \$ 600,000 PRODUCTS - COMP/OP AGG \$ 600,000
X	COMMERCIAL GENERAL LIABILITY		9CC9271 3	03/29/2013	03/29/2014	
B	CLAIMS-MADE <input type="checkbox"/> OCCUR <input checked="" type="checkbox"/>					
	GENL AGGREGATE LIMIT APPLIES PER:					
	POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/>					
X	AUTOMOBILE LIABILITY		46 298 271 00	04/04/2013	04/04/2014	COMBINED SINGLE LIMIT (Ea accident) \$ 300,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS					
	UMBRELLA LIAB OCCUR EXCESS LIAB CLAIMS-MADE DEDUCTIBLE RETENTION \$		NONE			EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y/N <input type="checkbox"/> N/A If yes, describe under DESCRIPTION OF OPERATIONS below		NONE			WC STATU- TORY LIMITS OTH- ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
State of Florida Dock Seawall

CERTIFICATE HOLDER (772) 220-4765 Town of Sewall's Point 1 S Sewalls Point Road Sewalls Point, FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE Joanne Wilson/JO
--	--



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

TRENTER, ADAM THEODORE
ATLANTIC SEAWALL & DOCK COMPANY
7366 SW 39TH STREET
PALM CITY FL 34990

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!

STATE OF FLORIDA AC# 6140515
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CBC1258639 05/25/12 118190323

CERTIFIED BUILDING CONTRACTOR
TRENTER, ADAM THEODORE
ATLANTIC SEAWALL & DOCK COMPANY

IS CERTIFIED under the provisions of Ch. 489 FS
Expiration date: AUG 31, 2014 L12052500638

DETACH HERE

THIS DOCUMENT HAS A COLORED BACKGROUND, MICROPRINTING, LINEMARK, PATENTED PAPER

AC# 6140515 STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD SEQ# L12052500638

DATE	BATCH NUMBER	LICENSE NBR
05/25/2012	118190323	CBC1258639

The BUILDING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS
Expiration date: AUG 31, 2014

TRENTER, ADAM THEODORE
ATLANTIC SEAWALL & DOCK COMPANY
7366 SW 39TH STREET
PALM CITY FL 34990

RICK SCOTT GOVERNOR KEN LAWSON SECRETARY

DISPLAY AS REQUIRED BY LAW

2013-2014 MARTIN COUNTY ORIGINAL BUSINESS TAX RECEIPT
HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR
3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994
(772) 288-5604

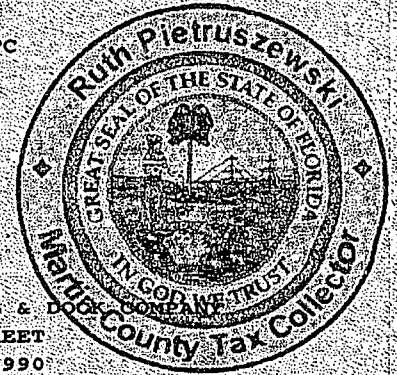
ACCOUNT 2005-290-0032 CERT
PHONE (772) 263-1712 SIC NO 811490
LOCATION
7366 SW 39 ST PC

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR	\$.00	LIC. FEE	\$ 26.25
	\$.00	PENALTY	\$.00
	\$.00	DOL. FEE	\$.00
	\$.00	TRANSFER	\$.00
TOTAL		26.25	

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF
BOAT LIFT REPAIR/ MAINTENANCE
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

TRENTER, ADAM
ATLANTIC SEAWALL & DOCK COMPANY
7366 SW 39TH STREET
PALM CITY, FL 34990



26 DAY OF JULY 2013
AND ENDING SEPTEMBER 30, 2014

91 2012 03981.0001 26.25 PAID

THIS FORM BECOMES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING MACHINE
ANYONE DOING BUSINESS WITHOUT A VALID BUSINESS TAX RECEIPT IS
SUBJECT TO A \$250 FINE IF NOT PAID BY OCT 1. A DELINQUENT PENALTY OF 10%
FOR THE MONTH OF OCTOBER, PLUS A 5% PENALTY FOR EACH MONTH
THEREAFTER UP TO 25%. PLUS COLLECTION COSTS WILL APPLY

NOTE - A PENALTY IS IMPOSED FOR FAILURE TO KEEP THIS BUSINESS TAX
RECEIPT EXHIBITED CONSPICUOUSLY AT YOUR ESTABLISHMENT OR PLACE
OF BUSINESS



JEFF ATWATER, CHIEF FINANCIAL OFFICER
 FLORIDA DEPARTMENT OF FINANCIAL SERVICES

[WC Home](#) [WC Databases](#) [CFO Home](#)

Exemption Detail Page

This database was last updated Wednesday, July 03, 2013 12:15 AM.

[Return to Previous Page](#)

Exemption Details						
Name	Title	Effective Date	Termination Date	Exemption Type	Business Activities	Employer Name
ADAM T TRENTER	CE	Apr 14 2013	Apr 14 2015	Construction	Click Here to View Activities Listed on Exemption	ATLANTIC SEAWALL & DOCK COMPANY
ADAM T TRENTER	PR	Apr 15 2011	Apr 14 2013	Construction	Click Here to View Activities Listed on Exemption	ATLANTIC SEAWALL & DOCK COMPANY
ADAM T TRENTER	PR	Apr 16 2009	Apr 15 2011	Construction	Click Here to View Activities Listed on Exemption	ATLANTIC SEAWALL & DOCK COMPANY
ADAM T TRENTER	PR	May 8 2007	Apr 16 2009	Construction	Click Here to View Activities Listed on Exemption	ATLANTIC SEAWALL & DOCK COMPANY
ADAM T TRENTER	PR	Mar 11 2005	Mar 11 2007	Construction	Click Here to View Activities Listed on Exemption	ATLANTIC SEAWALL & DOCK COMPANY

*Termination may be through the revocation of the exemption, or expiration of the exemption.
 **The exemption only applies to the business activities listed on the exemption.

[Return to Search Page](#)

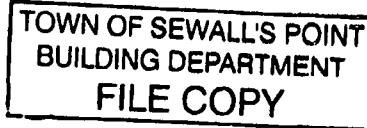


Atlantic Seawall & Dock Co.
Engineering, Permitting, Construction Contractors

Certified Building Contractor CBC1258639
(O) 772-263-1712 (F) 866-380-0356
7366 SW 39th Street Palm City, FL 34990
SEAWALLCONTRACTOR.COM

January 15, 2014

To: Charles Fraraccio 772-286-1854
26 East High Point Road
Stuart, FL



From: Adam Trenter
adamtrenter@gmail.com
(C) 772-263-1712

RE: Dock Proposal

Scope of work:

- 1) Remove existing framing and decking. Upland piles to remain including first set of dock piles as they are in excellent shape. The piles located in the water will be removed and disposed off site. The mooring piles and boat lift to be removed and disposed off site.
- 2) Reconstruct entire structure with same foot print as existing using 2x8 framing, 2x6 wood decking, and all stainless steel hardware. Railings with pickets will be constructed along upland stair structure, see attached picture on page two for construction details.
- 3) No new boat lifts or mooring piles will be installed.
- 4) Owner to provide existing permit documents and Atlantic will apply for local building permit. If updated signed and sealed engineering is required by the town owner will pay cost of engineering. Owner to pay all cost associated with permit. Water and Electrical by others.

Total Cost: \$22,400

Payment Details: \$1,500 with signed contract, 50% of contract at commencement, Balance at completion.

X Charles Fraraccio
Owner/Agent

X Adam Trenter
Contractor

Adam Trenter
01/16/14



State of Florida
DEPARTMENT OF NATURAL RESOURCES

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399

TOM GARDNER
Executive Director

BOB MARTINEZ
Governor
JIM SMITH
Secretary of State
BOB BUTTERWORTH
Attorney General
GERALD LEWIS
State Comptroller
BILL GUNTER
State Treasurer
DOYLE CONNER
Commissioner of Agriculture
BETTY CASTOR
Commissioner of Education

January 27, 1988

Dr. Charles Fraraccio
26 High Point Road
Sewell's Point
Stuart, Florida 33494

PLEASE ADDRESS REPLY TO:

Division of State Lands
Southeast Florida Field Office
The 1900 Building
1900 South Congress Avenue
West Palm Beach, Florida 33406

Dear Dr. Fraraccio:

File No. 431355268
Applicant: Charles Fraccio

Enclosed is the approved application for your proposed project, showing the location in the Indian River adjacent to 26 High Point Road, Sewall's Point, Martin County. This approval is for the installation of a private single family dock consisting of a 78' X 4' access pier and a 16' X 10' terminal platform with boat lift.

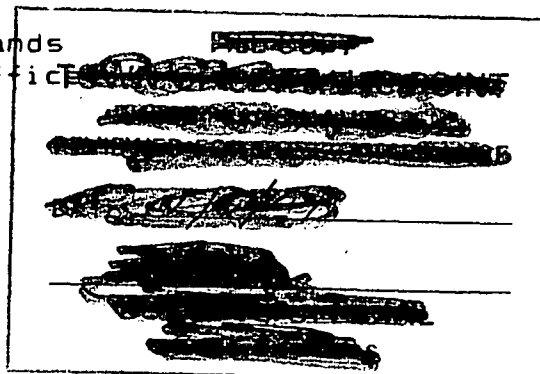
This constitutes the authority sought under Section 253.77, Florida Statutes, to pursue this project.

This letter in no way waives the authority and/or jurisdiction of any governmental entity nor does this letter disclaim any title interest that the State may have in this project site.

Sincerely,

David K. Roach
Division of State Lands
Southeast Florida Office

DKR/bs
cc: DER, PSL
BAP



REPAIR WORK FOR
HURRICANE DAMAGE

RECEIVED

BUN - 9 1987

Dept. Of Environmental Regulation
Port St. Lucie

2864100

JOINT APPLICATION
DEPARTMENT OF THE ARMY/FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION
For Activities in the Waters of the State of Florida

CORPS APPLICATION NUMBER (official use only) DER APPLICATION NUMBER (official use only)
431355268

1. APPLICANT'S NAME AND ADDRESS:
C H A R L E S F R A R A C C I O
NAME
2 6 H I G H P T R D S E W A L L S P O I N T
STREET
S T U A R T F L 3 3 4 9 4
CITY STATE ZIP
TELEPHONE NUMBER (Day) (305) 286-1854 (Night) ()

2. Name, address, zip code and title of applicant's authorized agent for permit application coordination
American Marine Consultants
3051 Industrial 25th Street
Fort Pierce, Florida 33450
Telephone Number (395) 465-5988
Department of Natural Resources
Assistant to Section 253-77, F.S.
JANUARY 27 1988
REVISED

3. NAME OF WATERWAY AT LOCATION OF THE ACTIVITY:
Indian River/St. Lucie River Cross Roads
By: [Signature] DER Code: []
W/M Code: []
Division of State Lands

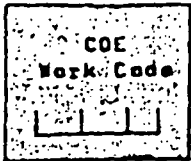
4. LOCATION WHERE PROPOSED ACTIVITY EXISTS OR WILL OCCUR
26 E. High Pt. Rd.
Street, road or other descriptive location Section 13 Township 38s Range 41E
Sewalls Point Latitude 27° 10' 15" Longitude 80° 11' 20"
Incorporated city or town: Martin
County: []
Tax Assessors Description: (if known)
Map No. Subdiv. No. Lot No.

5. NAME AND ADDRESS INCLUDING ZIP CODE OF ADJOINING PROPERTY OWNERS WHOSE PROPERTY ALSO ADJOINS THE WATERWAY.
North: Charles R. Walgreen, III 200 Wilmot Road Deerfield, IL 60015
South: Frank D. Murphy 30 E. High Point Rd. Stuart, FL 33494

6. PROPOSED USE
Private Single Dwelling [X] Private Multi-dwelling [] Public []
Commercial [] Other [] (Explain in remarks)

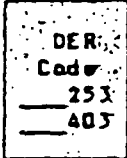
7. DESCRIPTION OF PROJECT (Use additional sheets, if necessary)

- A. Structures: 1. New work Maintenance of existing structure
2. Piers, docks and uses: Commercial Private Public
- a. Single pier length 30' width 6'
- b. Number of piers [] length width
- c. Number of boat slips [2] length 30' 36' width 12' 18'
- d. Number of finger piers [] length width
- e. Other (please describe) 12'x 34' platform; 4'x36' catwalk; boat lifts
3. Seawalls, revetments, bulkheads: length
- a. Type: Vertical Riprap Slope: Horizontal: Vertical
- b. Material to be used
4. Other type of structure 9,000 lb. and 30,000 lb. boat lifts



- B. Excavation or Dredging: New Work Maintenance work Total acreage involved
1. Access Channel or Canal Length ft. Width ft. Depth ft.
2. Boat Basin or Boat Slip Length ft. Width ft. Depth ft.
3. Other Length ft. Width ft. Depth ft.
4. Cubic yards: Total for project
- a. cyd. waterward/ cyd. landward of ordinary/mean high water
- b. Type of material to be excavated/dredged

- C. Fill:
1. Amount of material
- a. Cubic yards placed waterward of ordinary/mean high water
- b. Cubic yards placed landward of ordinary/mean high water
- c. Total acreage to be filled ; Total acreage of wetlands involved
2. Containment for fill
- a. Dikes b. Seawall, etc. c. Other (please explain)
3. Type of fill material to be used
4. Source of fill material to be used



8. Date activity is proposed to commence receipt of all ; to be completed from commencement .
Within 30 days of necessary permits Within one year from

9. Previous permits for this project have been DER # Corps #
A. Denied (date) _____
B. Issued (date) _____
C. Other (please explain) No previous application made
Differentiate between existing work and proposed work on the drawings.

10. Remarks (See Instruction Pamphlet for additional information required for all applications and certain activities. Use additional sheets if necessary.)

See Exhibit A

11. AFFIDAVIT OF OWNERSHIP OR CONTROL of the property on which the proposed project is to be undertaken

I CERTIFY THAT: (please check appropriate space)

I am the record owner, lessee, or record easement holder of the property described below.

I am not the record owner, lessee, or record easement holder of the property described below, but I will have before undertaking the proposed work the requisite property interest. (Please explain what the interest will be and how it will be acquired.)

LEGAL DESCRIPTION OF PROPERTY SITUATED IN Martin COUNTY, FLORIDA
(Use additional sheets if necessary)

Parcel Control No.: 13-38-41-003-000-01010-5-0000

Charles A. Fraracci

Signature

Sworn and subscribed before me at Martin County,

Florida, this 28th day of MAY, 1987.

[Signature]
NOTARY PUBLIC 6-7-90

My commission expires:

12. Application is made for a permit(s) to authorize the activities described herein.

- A. I authorize the agent listed in Item #2 to negotiate modifications or revisions, when necessary, and accept or assent to any stipulations on my behalf.
- B. I understand I may have to provide any additional information/data that may be necessary to provide reasonable assurance or evidence to show that the proposed project will comply with the applicable State Water Quality Standards or other environmental standards both before construction and after the project is completed.
- C. In addition, I agree to provide entry to the project site for inspectors with proper identification or documents as required by law from the environmental agencies for the purpose of making preliminary analyses of the site. Further, I agree to provide entry to the project site for such inspectors to monitor permitted work if a permit is granted.
- D. Further, I hereby acknowledge the obligation and responsibility for obtaining all of the required state, federal or local permits before commencement of construction activities. I also understand that before commencement of this proposed project I must be granted separate permits or authorizations from the U.S. Corps of Engineers, the U.S. Coast Guard, the Department of Environmental Regulation, and the Department of Natural Resources, as necessary.

I CERTIFY that I am familiar with the information contained in this application, and that to the best of my knowledge and belief such information is true, complete and accurate. I further certify that I possess the authority to undertake the proposed activities.

Charles A. Fracade
Signature of Applicant

May 28, 1987
Date

NOTE: THIS APPLICATION MUST BE SIGNED by the person who desires to undertake the proposed activity or by an authorized agent. If an agent is applying on behalf of the applicant, attach proof of authority for the agent to sign and bind the applicant.

18 U.S.C. Section 1001 provides that: Whoever in any manner within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies, conceals, or covers up by any trick, scheme, or device a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than five years, or both.

NOTICE TO PERMIT APPLICANTS

This is a Joint Application; it is NOT a Joint Permit!

You Must Obtain All Required Local, State, and Federal

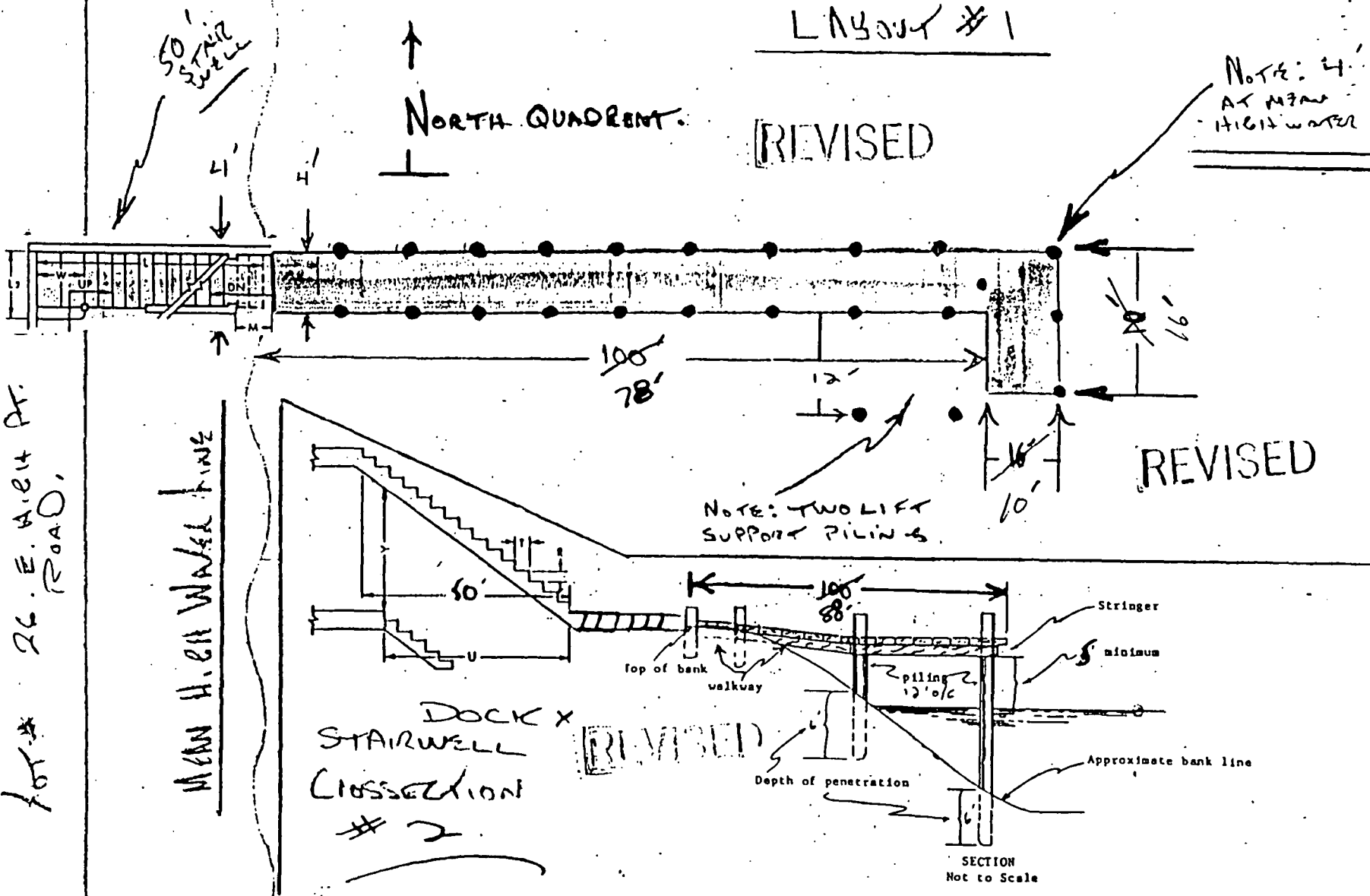
Authorizations or Permits Before Commencing Work!!

For your information: Section 370.034, Florida Statutes, requires that all dredge and fill equipment owned, used, leased, rented or operated in the state shall be registered with the Department of Natural Resources. Before selecting your contractor or equipment you may wish to determine if this requirement has been met. For further information, contact the Chief of the Bureau of Licenses and Motorboat Registration, Department of Natural Resources, 3900 Commonwealth Boulevard, Tallahassee, Florida 32303. Telephone Number 904/488-1195. THIS IS NOT A REQUIREMENT FOR A PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL REGULATION.

EXHIBIT A

Item 10. (Fraraccio)

There will be no dredging, sanitary or fueling associated with this proposed work. During construction, pilings will be jetted and will not increase the turbidity. In the event turbidity does become a problem, silt screens will be utilized. The most narrow width of the waterway is approximately 800 feet at the site.



225'
 FOR 26 E. HIGH PT. ROAD,

MEAN HIGH WATER LINE

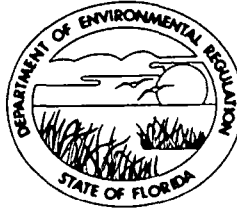
DOCK X
 STAIRWELL
 CROSSSECTION
 # 2

PROPOSED DOCK LOCATION!
 HI-TIDE MARINE CONST., INC.
 3191 S.E. Waaler Street
 Stuart, FL 33497
 Ph: (305) 283-9354

DR. CHARLES FIARALDO
 26 E. HIGH PT. BLVD.
 SAUNTERS POINT
 DWG: DAN DYKIC
 JANUARY 21, 1987

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

**SOUTHEAST FLORIDA DISTRICT
BRANCH OFFICE**
2745 SOUTHEAST MORNINGSID E BOULEVARD
PORT ST. LUCIE, FLORIDA 33452



BOB MARTINEZ
GOVERNOR
DALE TWACHTMANN
SECRETARY

February 5, 1988

Charles Fraraccio
26 East High Point Road
Sewalls Point
Stuart, Florida 33494

DF - Martin County
Permit #431355268

Dear Mr. Fraraccio:

MODIFICATION

This office has completed the review of your request to modify the referenced permit. The modification includes the following:

- 1) Reducing the width of the entire access pier to 4'.
- 2) Reducing the terminus to one L-platform measuring 16' by 10'.
- 3) Reducing overall dock length to .88'.
- 4) Elevating the decking to 5' above mean high water.

The proposed modification is not expected to result in any additional or significant water quality/biological resource degradation. Accordingly, the permit is hereby modified. By copy of this letter and the attached drawings, we are notifying all necessary parties of the modifications.

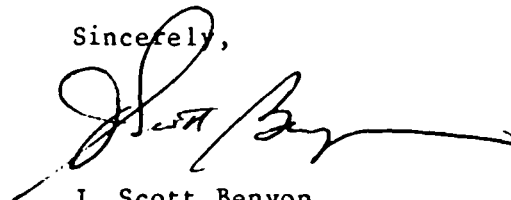
This letter of approval does not alter the expiration date, Specific or General Conditions, or monitoring requirements of the permit. This letter and accompanying drawings must be attached to the original permit.

This letter constitutes final agency action unless a person substantially affected by this action requests an administrative hearing pursuant to Section 120.57, Florida Statutes. The petition must be filed within fourteen (14) days from receipt of this letter. The petition must comply with the requirements of Florida Administrative Code Rule 28-5.201 and be filed pursuant to Rule 17-103.155(1) in the Office of General Counsel of the Department of Environmental Regulation at 2600 Blair Stone Road, Tallahassee, Florida 32301-8241. Petitions which are not filed in accordance with the above provisions will not be accepted by the Department. If a formal proceeding pursuant to Section 120.57(1) is requested, at such formal hearing all parties shall have an opportunity to respond, to present evidence and argument on all issues involved, to conduct cross-examination of witnesses and submit rebuttal evidence, to submit proposed findings of facts and orders, to file exceptions to any order or hearing officer's recommended order, and to be represented by counsel. If an informal proceeding is requested, the agency will, in accordance with its rules of procedure, give affected persons or parties or their counsel an opportunity, at a convenient time and place, to present to the agency or

Page Two
Modification
Permit #431355268

hearing officer written or oral evidence in opposition to the agency's action or refusal to act, or a written statement challenging the grounds upon which the agency has chosen to justify its action or inaction, pursuant to Section 120.57(2), Florida Statutes. The hearing process is designed to formulate agency action. Accordingly, the Department's final action as a result of a hearing may be different from the position taken by it in this stage. Therefore, any person who may wish to contest the Department's ultimate permitting decision must petition for hearing within the fourteen day period described above. Failure to file a request for hearing within this time period shall constitute a waiver of any right such person may have to request a hearing under Section 120.57, Florida Statutes.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Scott Benyon", with a long horizontal flourish extending to the right.

J. Scott Benyon
District Manager

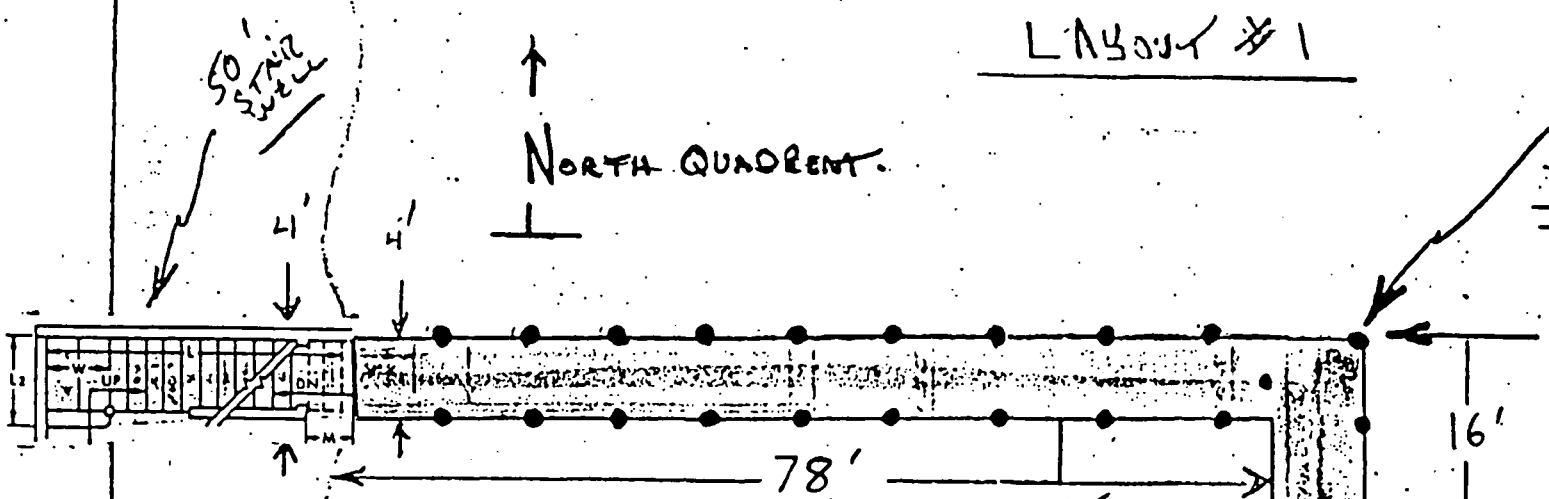
JSB:brt/26

cc: DNR
COE, Miami
Mike Zimmerman, COE

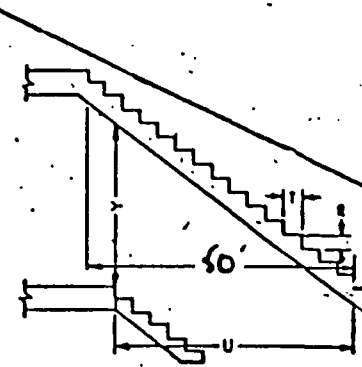
LAYOUT #1

NORTH QUADRANT

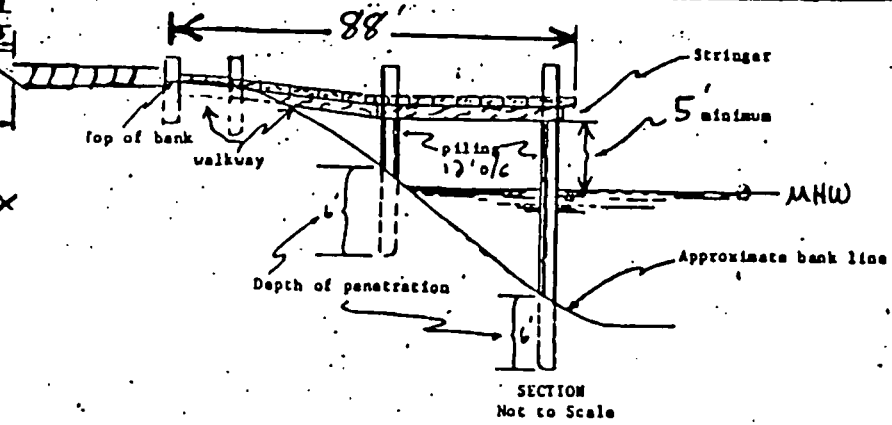
NOTE: 4' AT MHW HIGH WATER



NOTE: TWO LIFT SUPPORT PILINGS



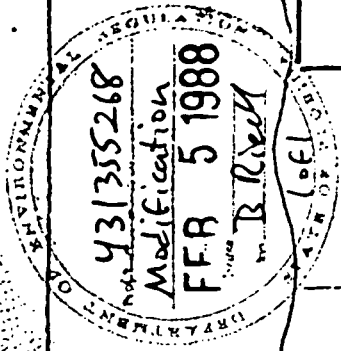
DOCK X STAIRWELL CROSSSECTION #2



225'

LOT # 26 E. HIGH PT. ROAD,

MEAN HIGH WATER LINE



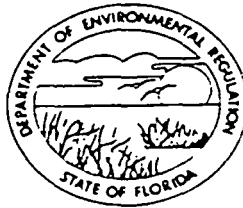
PROPOSED DOCK LOCATION!
 HIDE MARINE CONST., INC.
 3191 S.E. Waler Street
 Stuart, FL 33497
 Ph: (305) 283-9354

DR. CHARLES FIARALL
 26 E. HIGH PT. ROAD
 SWANES POINT
 DWG: DAN DYKIE
 JANUARY 21 1987

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

FILE

SOUTHEAST FLORIDA DISTRICT
BRANCH OFFICE
2745 SOUTHEAST MORNINGSIDE BOULEVARD
PORT ST. LUCIE, FLORIDA 33452



BOB MARTINEZ
GOVERNOR
DALE TWACHTMANN
SECRETARY

September 18, 1987

NOTICE OF PERMIT

Charles Fraraccio
c/o American Marine Consultants
3051 Industrial 25th Street
Fort Pierce, Florida 33450

DF - Martin County
Private Dock
Indian River

Dear Mr. Fraraccio:

Enclosed is Permit Number 431355268 to construct a dock, issued pursuant to Section 403, Florida Statutes.

Persons whose substantial interests are affected by this permit have a right, pursuant to Section 120.57, Florida Statutes, to petition for an administrative determination (hearing) on it. The petition for an administrative determination of Chapters 17-103 and 28-5.201, FAC, must be filed (received) in the Department's Office of General Counsel, 2600 Blair Stone Road, Tallahassee 32301, within fourteen (14) days of receipt of this notice. Failure to file a petition within the fourteen (14) days constitutes a waiver of any right such person has to an administrative determination (hearing) pursuant to Section 120.57, Florida Statutes. This permit is final and effective on the date filed with the Clerk of the Department unless a petition is filed in accordance with this paragraph or unless a request for extension of time in which to file a petition is filed within the time specified for filing a petition and conforms to Rule 17-103.070, FAC. Upon timely filing of a petition or a request for an extension of time this permit will not be effective until further Order of the Department.

When the Order (Permit) is final, any party to the Order has the right to seek judicial review of the Order pursuant to Section 120.68, Florida Statutes, by the filing of a Notice of Appeal pursuant to Rule 9.110, Florida Rules of Appellate Procedure, with the Clerk of the Department in the Office of General Counsel, 2600 Blair Stone Road, Tallahassee, Florida 32301; and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate District Court of Appeal. The Notice of Appeal must be filed within 30 days from the date the Final Order is filed with the Clerk of the Department.

JAM:brv/4

Sincerely,

John A. Meyer
Supervisor, Dredge & Fill Permitting

Copies furnished to:

Corps of Engineers
DNR
Property Appraisers
Martin County Department of Public Works
City of Sewalls Point

CERTIFICATE OF SERVICE

This is to certify that this NOTICE OF PERMIT and all copies were mailed before the close of business on February 22, 1951 to the listed persons.

Clerk Stamp

FILING AND ACKNOWLEDGEMENT
FILED, on this date, pursuant to
§120.52(10), Florida Statutes, with
the designated Department Clerk,
receipt of which is hereby
acknowledged.

Carlton H. ... February 22, 1951
Clerk Date

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

SOUTHEAST FLORIDA SUBDISTRICT
BRANCH OFFICE
2745 SOUTHEAST MORNINGSID E BOULEVARD
PORT ST. LUCIE, FLORIDA 33452



BOB MARTINEZ
GOVERNOR
DALE TWACHTMANN
SECRETARY

PERMITTEE:
Charles Fraraccio
c/o American Marine Consultants
3051 Industrial 25th Street
Fort Pierce, Florida 33450

I.D. Number: 5143P00480
Permit/Certification Number: 431355268
Date of Issue: September 18, 1987
Expiration Date: September 18, 1990
County: Martin
Latitude/Longitude: 27°10'15"/80°11'21"
Section/Township/Range: 13/38S/41E
Project: Private Dock

This permit is issued under the provisions of Chapter 403, Florida Statutes, and Florida Administrative Code Rules 17-3, 17-4 and 17-27. The above named permittee is hereby authorized to perform the work or operate the facility shown on the application and approved drawing(s), plans, and other documents attached hereto or on file with the department and made a part hereof and specifically described as follows:

CONSTRUCT:

- A 1,044 square foot dock consisting of:
- a) a 90' by 6' access pier incorporating a 4' wide interlude for that portion constructed through existing mangroves.
 - b) a 34' by 12' terminal platform.
 - c) a 36' by 4' catwalk.

IN ACCORDANCE WITH:

The two (2) stamped drawings which are attached and a part hereof and DER application Form 17-1.203(1) dated June 9, 1987 and signed by Charles A. Fraraccio (not attached).

LOCATED AT:

26 East High Point Road, Class III waters, Aquatic Preserve A-10, Indian River, Section 13, Township 38S, Range 41E, Sewalls Point, Martin County.

SUBJECT TO:

GENERAL CONDITIONS one (1) through fifteen (15) and SPECIFIC CONDITIONS one (1) through five (5).

PERMITTEE:
Charles Fraraccio
c/o American Marine Consultants
Fort Pierce, Florida

I.D. Number: 5143P00480
Permit/Certification Number: 431355268
Date of Issue:
Expiration Date:

GENERAL CONDITIONS:

1. The terms, conditions, requirements, limitations, and restrictions set forth herein are "Permit Conditions" and as such are binding upon the permittee and enforceable pursuant to the authority of Sections 403.161, 403.727, or 403.859 through 403.861, Florida Statutes. The permittee is hereby placed on notice that the department will review this permit periodically and may initiate enforcement action for any violation of the "Permit Conditions" by the permittee, its agents, employees, servants or representatives.
2. This permit is valid only for the specific processes and operations applied for and indicated in the approved drawings or exhibits. Any unauthorized deviation from the approved drawings, exhibits, specifications, or conditions of this permit may constitute grounds for revocation and enforcement action by the department.
3. As provided in Subsections 403.087(6) and 403.722(5), Florida Statutes, the issuance of this permit does not convey any vested rights or any exclusive privileges. Nor does it authorize any injury to public or private property or any invasion of personal rights, nor any infringement of federal, state or local laws or regulations. This permit does not constitute a waiver of or approval of any other department permit that may be required for other aspects of the total project which are not addressed in the permit.
4. This permit conveys no title to land or water, does not constitute state recognition or acknowledgement of title, and does not constitute authority for the use of submerged lands unless herein provided and the necessary title or leasehold interests have been obtained from the state. Only the Trustees of the Internal Improvement Trust Fund may express state opinion as to title.
5. This permit does not relieve the permittee from liability for harm or injury to human health or welfare, animal, plant or aquatic life or property and penalties therefor caused by the construction or operation of this permitted source, nor does it allow the permittee to cause pollution in contravention of Florida Statutes and department rules, unless specifically authorized by an order from the department.
6. The permittee shall at all times properly operate and maintain the facility and systems of treatment and control (and related appurtenances) that are installed or used by the permittee to achieve compliance with the conditions of this permit, as required by department rules. This provision includes the operation of backup or auxiliary facilities or similar systems when necessary to achieve compliance with the conditions of the permit and when required by department rules.
7. The permittee, by accepting this permit, specifically agrees to allow authorized department personnel, upon presentation of credentials or other documents as may be required by law, access to the premises, at reasonable times, where the permitted activity is located or conducted for the purpose of:
 - a. Having access to and copying any records that must be kept under the conditions of the permit;
 - b. Inspecting the facility, equipment, practices, or operations regulated or required under this permit; and
 - c. Sampling or monitoring any substances or parameters at any location reasonably necessary to assure compliance with this permit or department rules.Reasonable time may depend on the nature of the concern being investigated.
8. If, for any reason, the permittee does not comply with or will be unable to comply with any condition or limitation specified in this permit, the permittee shall immediately notify and provide the department with the following information:
 - a. a description of and cause of non-compliance; and

PERMITTEE:
Charles Fraraccio
c/o American Marine Consultants
Fort Pierce, Florida

I.D. Number: 5143P00480
Permit/Certification Number: 431355268
Date of Issue:
Expiration Date:

b. the period of noncompliance, including exact dates and times; or, if not corrected, the anticipated time the non-compliance is expected to continue, and steps being taken to reduce, eliminate, and prevent recurrence of the non-compliance.

The permittee shall be responsible for any and all damages which may result and may be subject to enforcement action by the department for penalties or revocation of this permit.

9. In accepting this permit, the permittee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this permitted source, which are submitted to the department, may be used by the department as evidence in any enforcement case arising under the Florida Statutes or department rules, except where such use is proscribed by Sections 403.73 and 403.111, Florida Statutes.
10. The permittee agrees to comply with changes in department rules and Florida Statutes after a reasonable time for compliance, provided however, the permittee does not waive any other rights granted by Florida Statutes or department rules.
11. This permit is transferable only upon department approval in accordance with Florida Administrative Code Rule 17-4.12 and 17-30.30, as applicable. The permittee shall be liable for any non-compliance of the permitted activity until the transfer is approved by the department.
12. This permit is required to be kept at the work site of the permitted activity during the entire period of construction or operation.
13. This permit also constitutes:
 - () Determination of Best Available Control Technology (BACT)
 - () Determination of Prevention of Significant Deterioration (PSD)
 - () Certification of Compliance with State Water Quality Standards (Section 401, PL 92-500)
 - () Compliance with New Source Performance Standards.
14. The permittee shall comply with the following monitoring and record keeping requirements:
 - a. Upon request, the permittee shall furnish all records and plans required under department rules. The retention period for all records will be extended automatically, unless otherwise stipulated by the department during the course of any unresolved enforcement action.
 - b. The permittee shall retain at the facility or other location designated by this permit records of all monitoring information (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation), copies of all reports required by this permit, and records of all data used to complete the application for this permit. The time period of retention shall be at least three years from the date of the sample, measurement, report or application unless otherwise specified by department rule.
 - c. Records of monitoring information shall include:
 - the date, exact place, and time of sampling or measurements;
 - the person responsible for performing the sampling or measurements;
 - the date(s) analyses were performed;
 - the person responsible for performing the analyses;
 - the analytical techniques or methods used; and
 - the results of such analyses.
15. When requested by the department, the permittee shall within a reasonable time furnish any information required by law which is needed to determine compliance with the permit. If the permittee becomes aware that relevant facts were not submitted or were incorrect in the permit application or in any report to the department, such facts and information shall be submitted or corrected promptly.

PERMITTEE:
Charles Fraraccio
c/o American Marine Consultants
3051 Industrial 25th Street
Fort Pierce, Florida 33450

I.D. Number: 5143P00480
Permit/Certification Number: 431355268
Date of Issue: September 18, 1987
Expiration Date: September 18, 1990

SPECIFIC CONDITIONS:

1. Written notification shall be provided to the Department of Environmental Regulation, Southeast Florida District Branch Office in Port St. Lucie, a minimum of forty-eight (48) hours prior to commencement of construction and a maximum of forty-eight (48) hours after completion of construction.
2. An effective means of turbidity control, such as, but not limited to, turbidity curtains, shall be employed during all operations that may create turbidity in excess of standards provided in Chapter 17-3 of the Florida Administrative Code. Turbidity control shall remain in place until all turbidity has subsided.
3. Reflective devices shall be installed on the dock terminus in such a way that will alert night boat traffic of its presence.
4. All other necessary State, Federal, or Local permits must be applied for and received prior to the start of work.
5. "No person shall commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund or the Department of Natural Resources under Chapter 253, until such person has received from the Board of Trustees of the Internal Improvement Trust Fund the required lease, license, easement, or other form of consent authorizing the proposed use." Pursuant to Florida Administrative Code Rule 16Q-14, if such work is done without consent, or if a person otherwise damages state land or products of state land, the Board of Trustees may levy administrative fines of up to \$10,000 per offense.

Issued this 18th day of September, 1987

JSB:brv/4

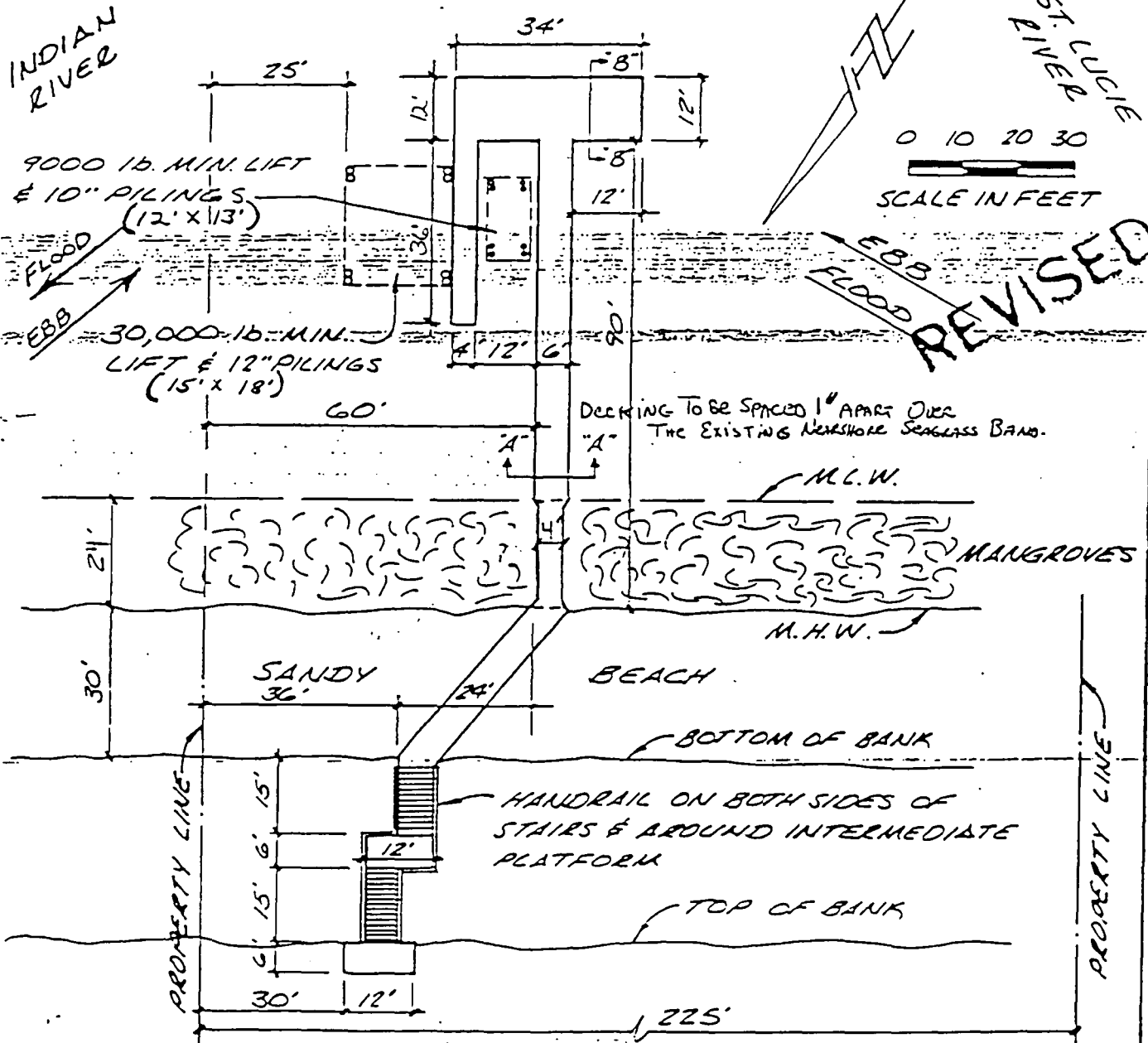
STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

J. Scott Benyon
per *G. Pader, Ph.D., Assist. Dist. Mgr.*
J. Scott Benyon
District Manager

2 Pages attached.

I hereby certify that these designs were performed under my direction.

Lee E. Harris
 Lee E. Harris, P.E.
 Fla. Reg. Professional Engr. #26252



PURPOSE: Proposed Dock for Charles Fraraccio, 26 E. High Point Road

DATUM MHW & MLW

ADJACENT PROPERTY OWNERS:

- ① Charles R. Walgreen, III (North)
- ② Frank D. Murphy (South)

431355265
 Private Dock
 SEP 18 1987
 E. Harris
 2 of 2

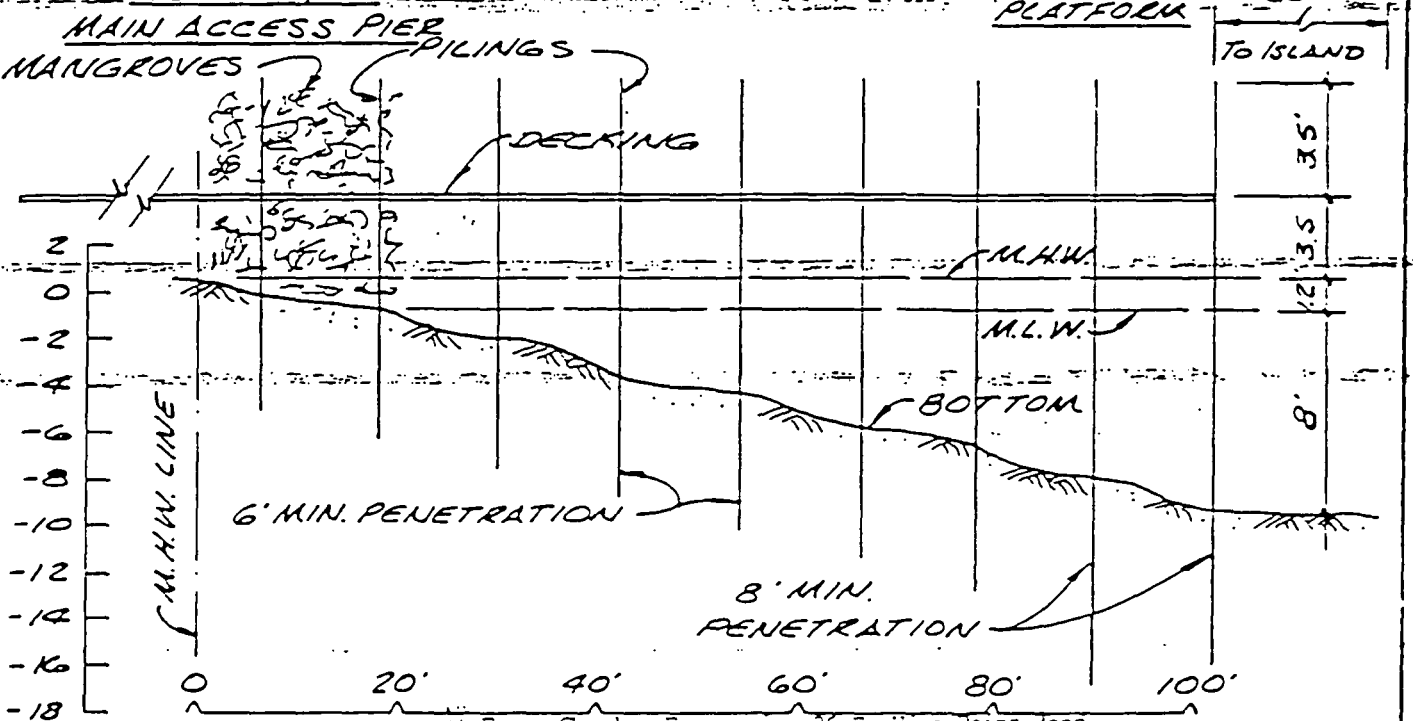
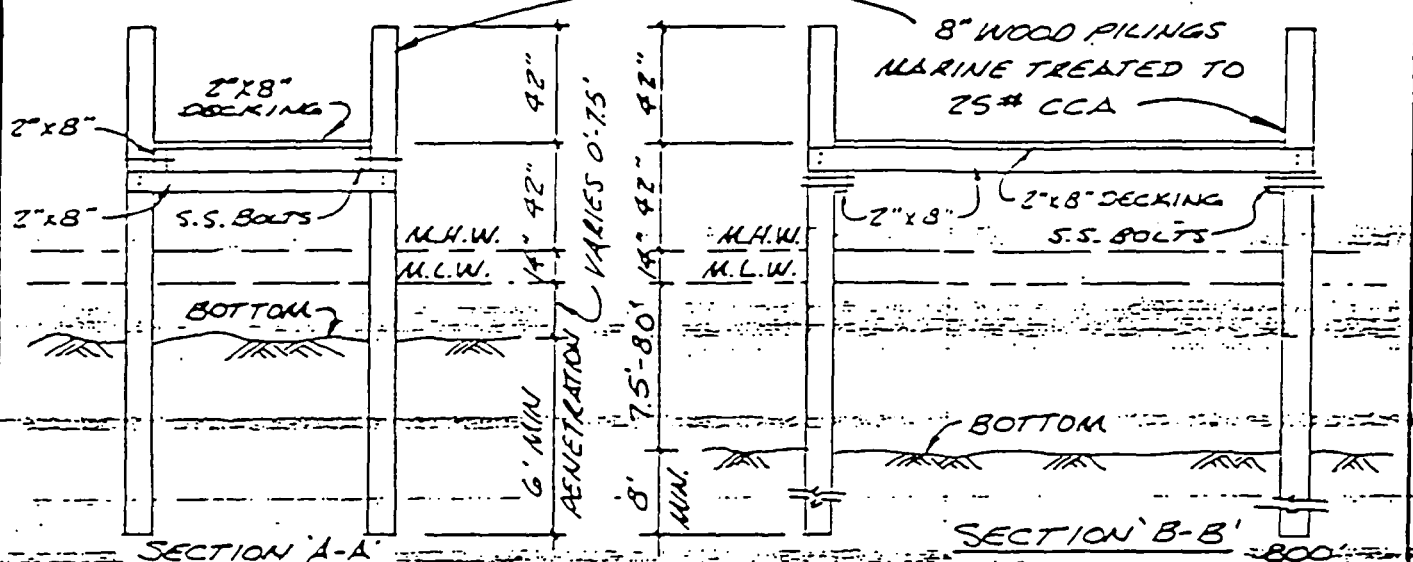
IN Stuart, Florida
 AT Sewall's Point

COUNTY OF Martin STATE FL
 APPLICATION BY Team Marine
 International Corporation
 SHEET 1 OF 2 DATE 5/29/87

I hereby certify that these designs were performed under my direction.

Lee Harris

Lee E. Harris, P.E.
 Fla. Reg. Professional Engr. #26252



PURPOSE: Proposed Dock
 DATUM: MHW & MLW

For: Charles Fraraccio, 26 E. High Point Road

- ADJACENT PROPERTY OWNERS:
- ① Charles R. Walgreen, III (North)
 - ② Frank D. Murphy (South)

PROFILE

431355268
 Private Dock
 SEP 18 1987

IN Stuart, Florida
 AT Sewall's Point
 COUNTY OF Martin STATE FL
 APPLICATION BY Team Marine
 International Corporation
 SHEET 2 OF 2 DATE 5/29/87



DEPARTMENT OF THE ARMY

SOUTH FLORIDA AREA OFC. JACKSONVILLE DISTRICT. CORPS OF ENGINEERS

P. O. BOX 1327

CLEWISTON, FLORIDA 33440-1327

February 12, 1988

REPLY TO
ATTENTION OF

Regulatory Section
Miami
87LP30106

Dr. Charles Fraraccio
26 East High Point Road
Stuart, Florida 34996

Dear Dr. Fraraccio:

Reference is made to your requested revision of plans which were authorized by Department of the Army permit 87LP30106 issued on August 25, 1987.

According to the enclosed drawings, the proposed change is not considered to be a significant alteration and will not require a formal modification. The change will be noted in your file.

Thank you for your continued cooperation with the Corps regulatory program.

Sincerely,

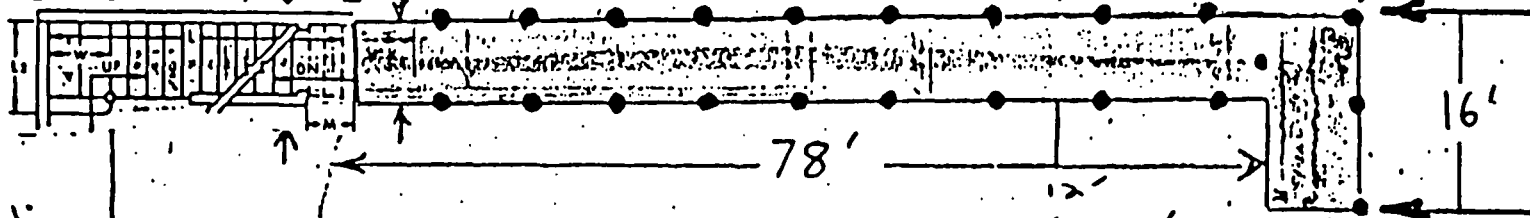
Charles A. Schnepel
Charles A. Schnepel
Chief, Regulatory Section

Enclosures

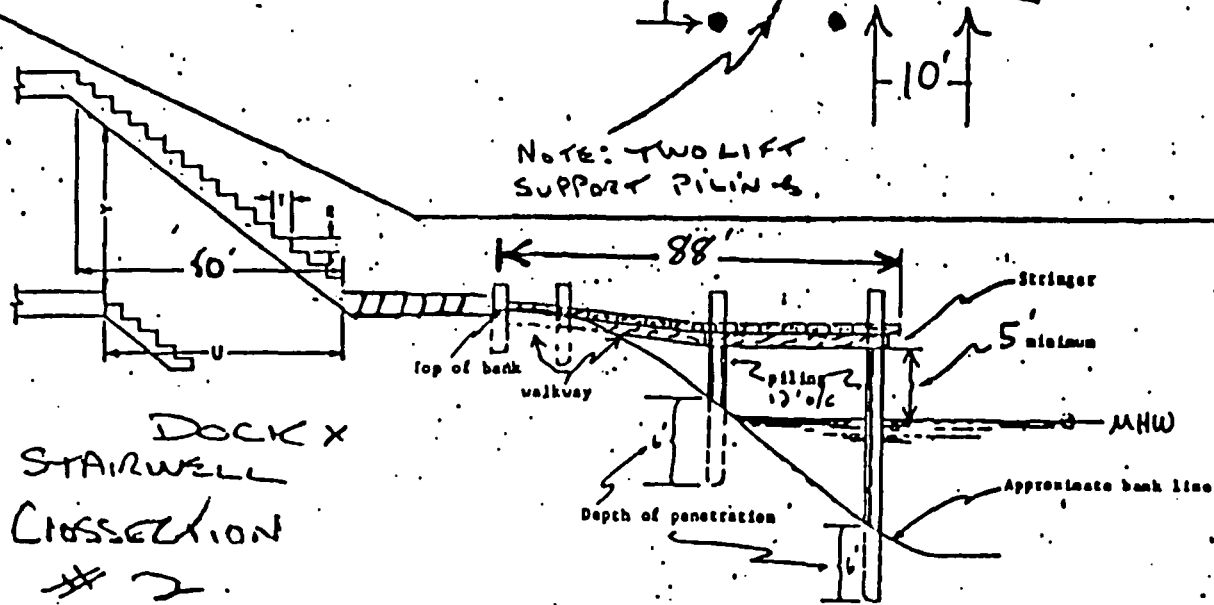
LAYOUT #1

NORTH QUADRANT.

NOTE: 4'
AT MHW
HEIGHT WATER



NOTE: TWO LIFT
SUPPORT PILING.

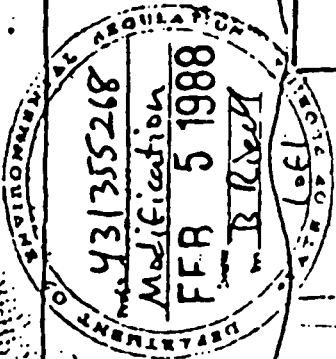


SECTION
Not to Scale

LOT # 26 E. HIGH ST.
ROAD,

MEAN HIGH WATER LINE

DOCK X
STAIRWELL
CROSSSECTION
2



PROPOSED DOCK LOCATION!

HITIDE MARINE CONST., INC.

3191 S.E. Waaler Street

Stuart, FL 33497

Ph: (305) 283-9354

DR. CHARLES FIARALLO
 26 E. HIGH ST. RD.
 STUARTS POINT
 DR. DAN DYKIC
 JANUARY 21 1987



DEPARTMENT OF THE ARMY

SOUTH FLORIDA AREA OFFICE, JACKSONVILLE DISTRICT CORPS OF ENGINEERS

P. O. BOX 1327

CLEWISTON, FLORIDA 33440

August 25, 1987

REPLY TO
Regulatory Section
Miami
87LP30106

Dr. Charles Fraraccio
c/o AMERICAN MARINE CONSULTANTS
3051 Industrial 25 Street
Fort Pierce, Florida 33450

Dear Dr. Fraraccio:

This letter is in reference to your request for a permit to perform work in or affecting navigable waters of the United States. Upon recommendation of the Chief of Engineers, pursuant to Section 10 of the Rivers and Harbors Act of 3 March 1899, (33 U.S.C. § 403), you are authorized to:

construct a dock 90 by 6 feet wide with a 34 by 12 foot platform, finger pier & 2 boat lifts in the confluence of the Indian and St. Lucie Rivers at 26 East High Point Road, Sewalls Point, in Martin County, Florida, in accordance with the enclosed plans and conditions which are incorporated in, and made a part of, the permit. We have no evidence that a state permit has been issued for the work and no work may begin until their requirements are met.

Enclosed is a Notice of Authorization which should be displayed at the construction site. When work is begun, you must notify the District Engineer's representative at the appropriate Area Office as shown on the enclosed map, of:

1. The date of commencement of work (mail enclosed card),
2. The dates of work suspensions and resumptions if work is suspended over a week, and
3. The date of final completion.

If the work authorized is not completed on or before 25 August 1992, this authorization, if not previously revoked or specifically extended, shall cease and be null and void.

BY AUTHORITY OF THE SECRETARY OF THE ARMY:

CESAJ-RD-F
CESAJ-CN-S

CRS
Robert L. Herndon
Colonel, Corps of Engineers
District Engineer

Enclosures:

Notice of Authorization
Commencement Card
Plans & Conditions
Area Office Map

TREE

REMOVE/RELOCATE/REPLACE

TOWN OF SEWALL'S POINT, FLORIDA

FILE FILE

Date 3/14/2001 19 01 TREE REMOVAL PERMIT No 0420

APPLIED FOR BY MONTES TREE SERVICE (Contractor or Owner)

Owner DR. FRAPACCIO 26 E. HIGH POINT

Sub-division _____, Lot _____, Block _____

Kind of Trees GUMBO LIMBO - WIND BLOW DOWN/DESTROYED

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE -0- WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE -0- WITHIN 30 DAYS

REMARKS SEE APPL. FOR LOCATION SKETCH

3/14/01 FIELD VERIF.
BRANCHES/CUTTINGS
REMOVED FROM DW.
TRUNK ONLY REMAINING
FOR REMOVAL

Fee \$ NO FEE

Signed, (SIGNATURE ON FILE)
Applicant

Signed, [Signature]
Town Clerk PLUG OFFICER

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty grid area for notes or details]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

3/14/01 IMP SCB

Permit #

Date Issued

0420
3/14/01

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Dr. Fraraccio Address 26 E. High Point Phone 554-7333 ^{Beeper}

Contractor Monte Tree Ser Address PO Box 527 Phone 283-8828

Number of trees to be removed (list kinds of trees) 1 Gumbo Limbo

EMERGENCY - WIND BLOW OVER

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

(BRANCHES CLEAR OF DRIVE - TRUNK)

Number of trees to be replaced (list kinds of trees)

ONLY REMAINING FOR REMOVAL

Permit Fee \$ 0 ~~(\$25.00 first tree plus \$10.00 - each additional tree - not to exceed \$100.00)~~ \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted Plans approved, as marked

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Carson Monte Date submitted 3/14/2001

Approved by Building Inspector [Signature] Date 3/14/01

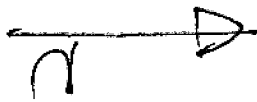
Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

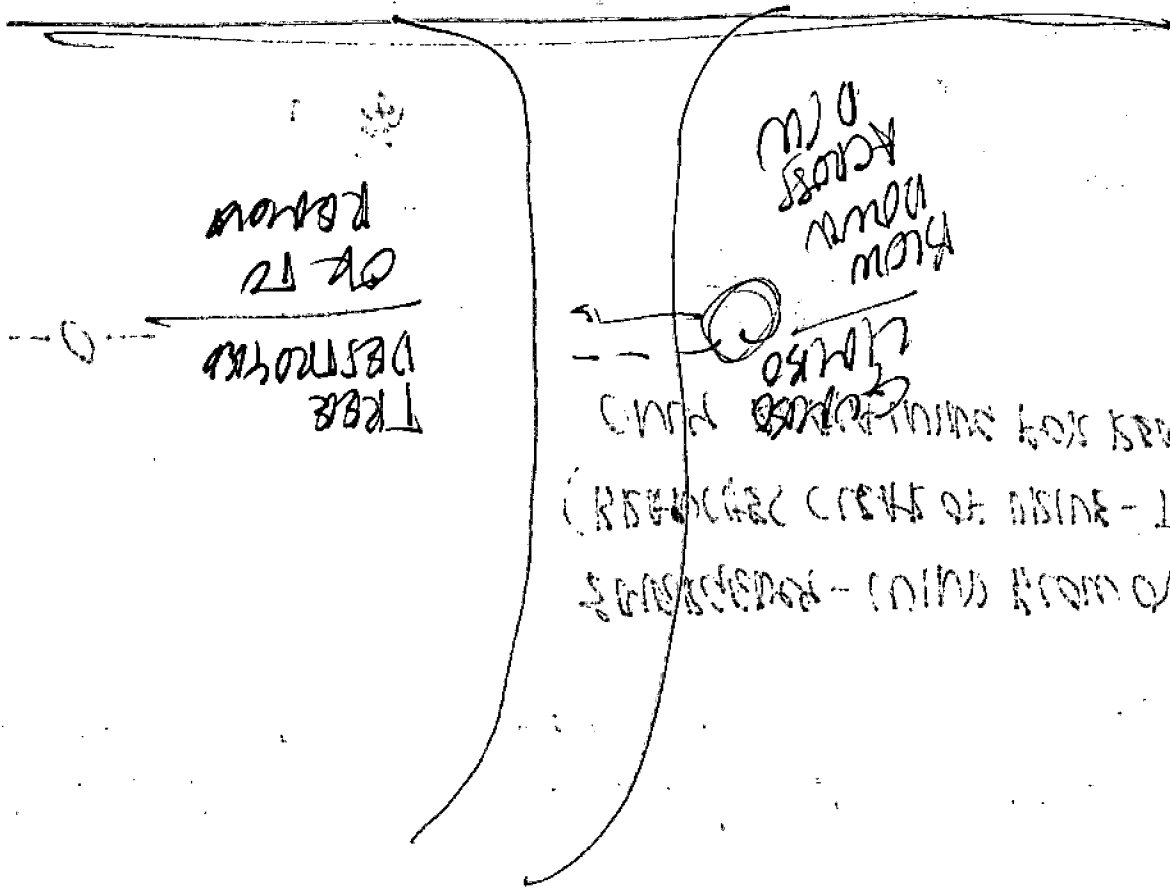
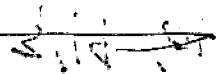
FEE

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBTAINING A PERMIT~~. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?



High Point



TREE DESTROYED
OR TO REMOVE

Flow down across DCU

LAKES
SANDY SOILS FOR BIRCHES
REDUCED COST OF WASTE - TRUNK
SANDY SOILS - WASTE FROM OVER

High Point

~~OSHO~~
OSHO

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon ~~Wed~~ ~~Thu~~ Friday, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5192	RAO	STRAPPING	Passed	
N ①	30 CASTLE HILL WAY A R MARTIN (718-9191)	& ANCHORS		INSPECTOR: <u>EA</u> 3/14 ✓
✓ 5187	JORDAN	TEMP. ELECT.	Passed	DUMPSITE/PORTOCET/WATER SITE
N ②	110 N. SEWALL'S POINT RD W.D.C. CONST. (201-1565)			FPL: 223-4208 INSPECTOR: <u>EA</u> 3/14 ✓
T/R	DEWARD	FIELD VERIF.	PASSED	
	8 RIVERVIEW DR O/B			INSPECTOR: <u>EA</u>
T/R	PERAZACCO	FIELD VERIF.	PASSED	STORM/WIND DAMAGE TRUNK ONLY REMAINING
	76 R. HIGHLAND			INSPECTOR: <u>EA</u>
	MONTE'S TREE SERVICE			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____