

30 East High Point Rd

1036

SFR

TOWN OF SEWALL'S POINT FLORIDA

Permit No.

1036

Date

8/10/79

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner Dr. Frank & Laurie Murphy Present address 958 N.W. 13th St. Stuart, Fla.

Phone 283 4572 # 283 6333

General contractor ROBERT L. HOOMIS INC Address 501 E. OSCEOLA ST. STUART, FLA

Phone 283 6333 286-2320

Where licensed STATE OF FLORIDA License No. Lic # CGG 01125

Plumbing contractor Mulla Plumbing License No. # 205-301

Electrical contractor Cross Electric License No. # 41

Air-conditioning contractor Reck Air Conditioning License No. # 3074

Describe the building, or alteration to existing building residence

Name the street on which the building, its front building line and its front yard will face E. High Point Rd. 30 East H.P. Prop

Subdivision High Point Lot No. SW 101 + NE 1/2 102 Area

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 3100 sq. ft.

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 93,000

Cost of permit \$ 495 Plans approved as submitted or, as marked

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor Frank D. Murphy M.D.

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner Frank D. Murphy M.D.

Note: Speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted

Approved by Building Inspector (date) Sept 4, 1979

Inspector's initials JLM

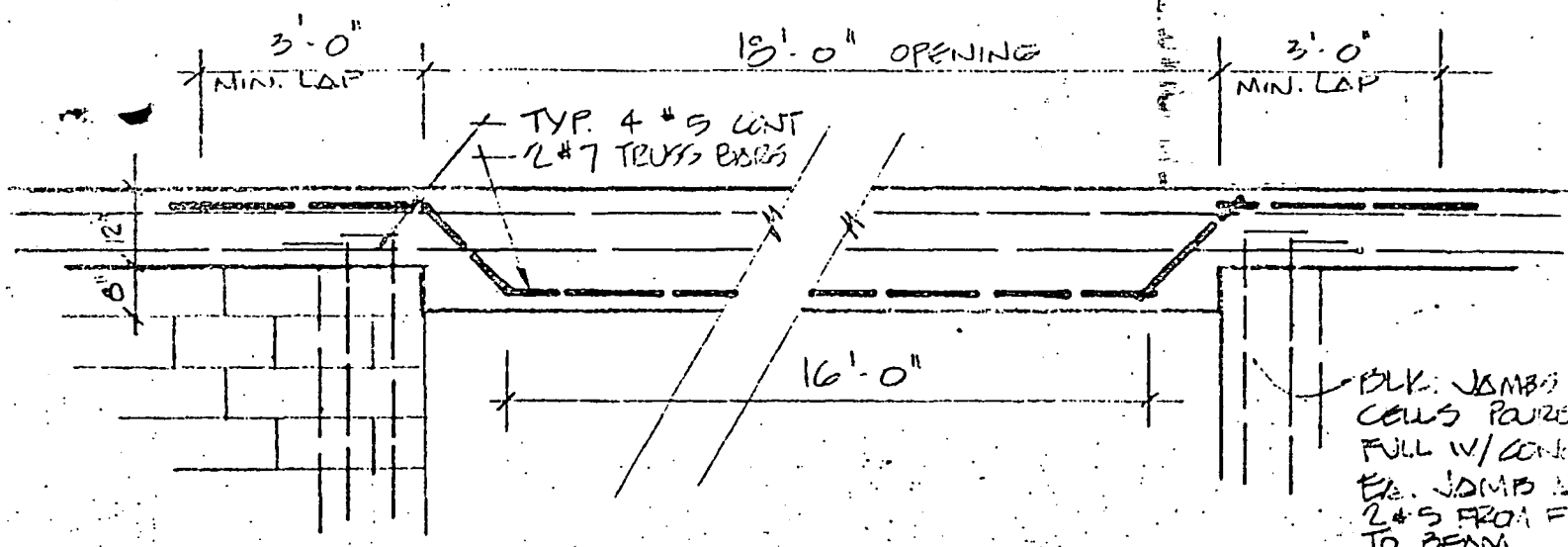
Approved by Town Commissioner (date) 4 Sep 1979

Commissioner's initials JEG

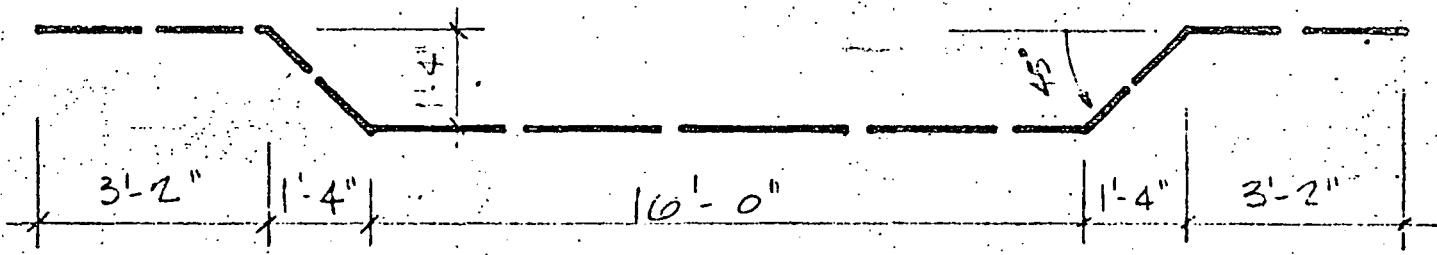
Certificate of Occupancy issued (date) 4/8/80

1036

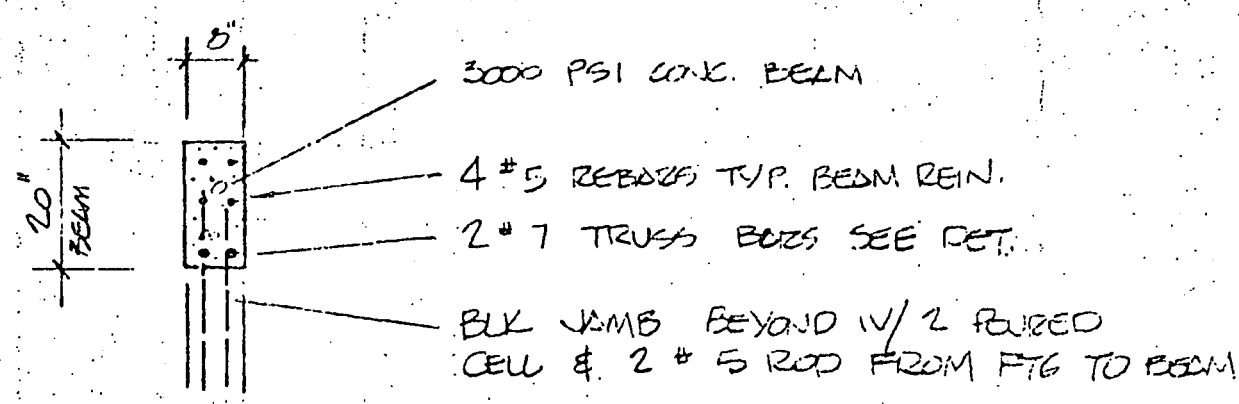
07-01



BAR PLACEMENT FOR 18' OPENING 3/8" - 1"



7 TRUSS BAR DETAIL 3/8" - 1"



BEAM SECTION

1036

18' REIN. CONC. BEAM
 DETAIL FOR RINKER MATERIALS
 STUART
 FLORIDA

ARCHITECTS
 PLANNERS
 135 E OCEAN BLVD.
 STUART, FLORIDA 33994

SHT. 1 OF 1
 7 OCT 1971

CERTIFICATE OF INSURANCE

This is to certify that

- STATE FARM FIRE AND CASUALTY COMPANY, Bloomington, Illinois
 STATE FARM GENERAL INSURANCE COMPANY, Bloomington, Illinois

has in force for

Evans Electric

Name of Policyholder

P.O Box 452

Address of Policyholder

Port Salerno , Fla. 33492

location of operations

same

the following coverages for the periods and limits indicated below.

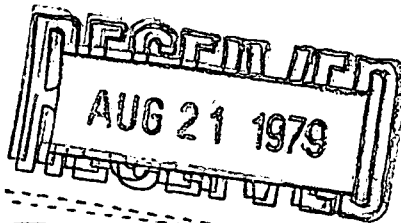
POLICY NUMBER	TYPE OF INSURANCE	POLICY PERIOD (eff./exp.)	LIMITS OF LIABILITY												
98 56 6014	<input type="checkbox"/> Comprehensive General Liability	12-2-78 to 12-2-79	<input checked="" type="checkbox"/> Dual Limits for: <table style="width: 100%; margin-left: 20px;"> <tr> <td colspan="2" style="text-align: right;">BODILY INJURY</td> </tr> <tr> <td>Each Occurrence</td> <td style="text-align: right;">\$ 300,000</td> </tr> <tr> <td>Aggregate</td> <td style="text-align: right;">\$ 300,00</td> </tr> <tr> <td colspan="2" style="text-align: right;">PROPERTY DAMAGE</td> </tr> <tr> <td>Each Occurrence</td> <td style="text-align: right;">\$ 50,000</td> </tr> <tr> <td>Aggregate*</td> <td style="text-align: right;">\$ 50,000</td> </tr> </table>	BODILY INJURY		Each Occurrence	\$ 300,000	Aggregate	\$ 300,00	PROPERTY DAMAGE		Each Occurrence	\$ 50,000	Aggregate*	\$ 50,000
	BODILY INJURY														
Each Occurrence	\$ 300,000														
Aggregate	\$ 300,00														
PROPERTY DAMAGE															
Each Occurrence	\$ 50,000														
Aggregate*	\$ 50,000														
<input checked="" type="checkbox"/> Manufacturers' and Contractors' Liability															
The above insurance includes (applicable if indicated by <input checked="" type="checkbox"/>) <table style="width: 100%; margin-left: 20px;"> <tr> <td><input type="checkbox"/> PRODUCTS - COMPLETED OPERATIONS</td> <td><input type="checkbox"/> Combined Single Limit for:</td> <td>BODILY INJURY AND PROPERTY DAMAGE</td> </tr> <tr> <td><input type="checkbox"/> OWNERS' OR CONTRACTORS' PROTECTIVE LIABILITY</td> <td>Each Occurrence</td> <td>\$ _____</td> </tr> <tr> <td><input type="checkbox"/> CONTRACTUAL LIABILITY</td> <td>Aggregate</td> <td>\$ _____</td> </tr> </table>			<input type="checkbox"/> PRODUCTS - COMPLETED OPERATIONS	<input type="checkbox"/> Combined Single Limit for:	BODILY INJURY AND PROPERTY DAMAGE	<input type="checkbox"/> OWNERS' OR CONTRACTORS' PROTECTIVE LIABILITY	Each Occurrence	\$ _____	<input type="checkbox"/> CONTRACTUAL LIABILITY	Aggregate	\$ _____				
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<input type="checkbox"/> CONTRACTUAL LIABILITY	Aggregate	\$ _____													
98 58 3345	<input type="checkbox"/> Watercraft Liability <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Workmen's Compensation - Coverage A <input checked="" type="checkbox"/> Employer's Liability - Coverage B		Coverage A STATUTORY Coverage B \$ 100,000												

*Aggregate not applicable if Owners', Landlords' and Tenants' Liability Insurance excludes structural alterations, new construction or demolition.

THIS CERTIFICATE OF INSURANCE NEITHER AFFIRMATIVELY NOR NEGATIVELY AMENDS, EXTENDS OR ALTERS THE COVERAGE AFFORDED BY ANY POLICY DESCRIBED HEREIN.

NAME AND ADDRESS OF PARTY TO WHOM CERTIFICATE IS ISSUED

Town of Sewall's Point
 #1 South Sewall's Point Rd.
 Jensen Beach Fla. 33457



Aug. 20, 1979

Date
 Signature of Authorized Representative *Robert M. Johnson*

Agent
 Title



**FIREMAN'S FUND
INSURANCE COMPANIES**

- FIREMAN'S FUND INSURANCE COMPANY
- THE AMERICAN INSURANCE COMPANY
- NATIONAL SURETY CORPORATION
- ASSOCIATED INDEMNITY CORPORATION
- AMERICAN AUTOMOBILE INSURANCE COMPANY

**CERTIFICATE
OF INSURANCE**

TO:

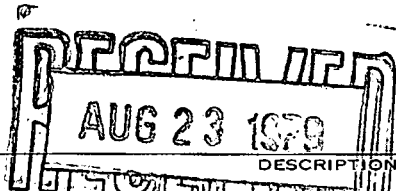
Town of Sewalls Point
#1 South Sewalls Point Road
Jensen Beach, Florida 33457

DATE 8/22/79

THIS IS TO CERTIFY THAT THE COMPANY OR COMPANIES CHECKED ABOVE HAVE IN FORCE AS OF THE DATE HEREOF THE FOLLOWING POLICY OR POLICIES:

NAME AND ADDRESS OF INSURED OR EMPLOYER 59-0915941 Miller's Plumbing Company 2502 Okeechobee Road Fort Pierce, Florida 33450	LOCATION OF PROPERTY, DESCRIPTION OF OPERATIONS, BUSINESS CONDUCTED St. Lucie, Martin & Indian River Counties
--	--

KIND OF INSURANCE	POLICY NUMBER	EXPIRATION	LIMITS OF LIABILITY
WORKMEN'S COMPENSATION	WP2173504	12/31/80	STATUTORY
EMPLOYERS' LIABILITY	WP2173504	12/31/80	100 THOUSAND DOLLARS, EACH PERSON THOUSAND DOLLARS, EACH ACCIDENT
BODILY INJURY LIABILITY OTHER THAN AUTOMOBILE*	MXX2922899	12/31/80	300 THOUSAND DOLLARS, EACH OCCURRENCE 300 THOUSAND DOLLARS, AGGREGATE PRODUCTS AND COMPLETED OPERATIONS
PROPERTY DAMAGE LIABILITY OTHER THAN AUTOMOBILE*	MXX2922899	12/31/80	25 THOUSAND DOLLARS, EACH OCCURRENCE 25 THOUSAND DOLLARS, AGGREGATE OPERATIONS THOUSAND DOLLARS, AGGREGATE PROTECTIVE THOUSAND DOLLARS, AGGREGATE CONTRACTUAL THOUSAND DOLLARS, AGGREGATE PRODUCTS AND COMPLETED OPERATIONS
AUTOMOBILE: BODILY INJURY LIABILITY*			THOUSAND DOLLARS, EACH PERSON THOUSAND DOLLARS, EACH OCCURRENCE
PROPERTY DAMAGE LIABILITY*			THOUSAND DOLLARS, EACH OCCURRENCE
MEDICAL PAYMENTS			\$ EACH PERSON
COMPREHENSIVE—LOSS OF OR DAMAGE TO THE AUTOMOBILE, EXCEPT BY COLLISION OR UPSET BUT INCLUDING FIRE, THEFT AND WINDSTORM			ACTUAL CASH VALUE UNLESS OTHERWISE STATED HEREIN \$
COLLISION OR UPSET			ACTUAL CASH VALUE LESS \$ DEDUCTIBLE



DESCRIPTION AND LOCATION OF OPERATIONS AND AUTOMOBILES COVERED

These are three year policies, effective 12/31/77.

AGENT:
Stop, Inc.
P.O. Box 187
Ft. Pierce, Fla. 33450

*IF COMPREHENSIVE, SO STATE.

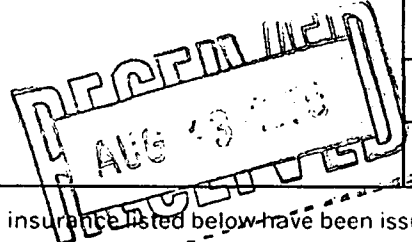
THIS CERTIFICATE OF INSURANCE NEITHER AFFIRMATIVELY NOR NEGATIVELY AMENDS, EXTENDS OR ALTERS THE COVERAGE AFFORDED BY THE POLICY OR POLICIES SHOWN ABOVE.

IN EVENT OF ANY MATERIAL CHANGE IN OR CANCELLATION OF THE POLICY OR POLICIES THE COMPANY WILL MAKE EVERY EFFORT TO NOTIFY THE ADDRESSEE BUT UNDERTAKES NO RESPONSIBILITY BY REASON OF FAILURE TO DO SO.

AUTHORIZED REPRESENTATIVE

NAME AND ADDRESS OF AGENCY Hartman, Tilton & Wilson Ins. P.O.Box 899 Stuart, Fla. 33494	COMPANIES AFFORDING COVERAGES	
	COMPANY LETTER A	Ohio Casualty
	COMPANY LETTER B	
	COMPANY LETTER C	
	COMPANY LETTER D	

NAME AND ADDRESS OF INSURED Frank Murphy 501 E. Osceola St. Stuart, Fla. 33494	COMPANY LETTER C
	COMPANY LETTER D
	COMPANY LETTER E



This is to certify that policies of insurance listed below have been issued to the insured named above and are in force at this time.

COMPANY LETTER	TYPE OF INSURANCE	POLICY NUMBER	POLICY EXPIRATION DATE	Limits of Liability in Thousands (000)		
					EACH OCCURRENCE	AGGREGATE
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMPREHENSIVE FORM <input type="checkbox"/> PREMISES—OPERATIONS <input type="checkbox"/> EXPLOSION AND COLLAPSE HAZARD <input type="checkbox"/> UNDERGROUND HAZARD <input type="checkbox"/> PRODUCTS/COMPLETED OPERATIONS HAZARD <input type="checkbox"/> CONTRACTUAL INSURANCE <input type="checkbox"/> BROAD FORM PROPERTY DAMAGE <input type="checkbox"/> INDEPENDENT CONTRACTORS <input type="checkbox"/> PERSONAL INJURY	Pending	8-10-80	BODILY INJURY	\$ 300,000	\$
				PROPERTY DAMAGE	\$ 50,000	\$
				BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$	\$
				PERSONAL INJURY		\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> COMPREHENSIVE FORM <input type="checkbox"/> OWNED <input type="checkbox"/> HIRED <input type="checkbox"/> NON-OWNED			BODILY INJURY (EACH PERSON) \$ BODILY INJURY (EACH OCCURRENCE) \$ PROPERTY DAMAGE \$ BODILY INJURY AND PROPERTY DAMAGE COMBINED \$		
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM			BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$	\$
	WORKERS' COMPENSATION and EMPLOYERS' LIABILITY			STATUTORY	\$	(EACH ACCIDENT)
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES

Private dwelling construction

Cancellation: Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavor to mail 10 days written notice to the below named certificate holder, but failure to mail such notice shall impose no obligation or liability of any kind upon the company.

NAME AND ADDRESS OF CERTIFICATE HOLDER:

Town of Sewall's Point
1 S. Sewalls Pt. Rd.
Jensen Beach, Fla. 33 457

DATE ISSUED: 8-10-79

Norman F. Wilson Jr.
Norman F. Wilson Jr.
AUTHORIZED REPRESENTATIVE

ENERGY CODE COMPLIANCE CHECKLIST FOR BUILDING DESIGN BY COMPONENT PERFORMANCE APPROACH

TO BE FILED WITH BUILDING PERMIT APPLICATION. TYPICAL WALL AND CEILING SECTIONS SHALL SUPPLEMENT THIS FORM.

THIS BUILDING

CODE COMPLIANCE VALUES

ZONE 2

BUILDING INFORMATION

GROSS SQUARE FEET CONDITIONED/HEATED FLOOR SPACE
WALL AREAS: TOTAL OPAQUE AREA - Aw
TOTAL GLASS AREA - Ag
TOTAL DOOR AREA - Ad
GROSS WALL AREA (TOTAL OF ABOVE) A
ROOF AREAS: TOTAL OPAQUE AREA - Aw
TOTAL SKYLIGHT AREA - Ag

2800
2184
498.64
37
2669.64
2184
0

VALUE CALCULATION

Uw = U OF OPAQUE AREA
Ug = U OF GLASS AREA
Ud = U OF DOOR AREA
Uo = U OF OVERALL WALL/GLASS/DOOR
Uw = U OF CEILING/ROOF AREA
Ug = U OF SKYLIGHT AREA
Uo = U OF OVERALL CEILING/ROOF
Uo = U OF FLOOR OVER UNHEATED SPACE

.295 .30
.05 * .05
.30

NOTE: SUPPLEMENTAL INFORMATION IS NECESSARY TO SHOW TRADE-OFF BETWEEN CEILING/ROOF ASSEMBLY AND WALL/GLASS/DOOR ASSEMBLY OVERALL U VALUES.

*See Footnote 2, Table 5-1.

WINDOW AND DOOR INFILTRATION

WINDOW INFILTRATION RATES
WINDOW MFR. & MODEL # PAN AMERICAN ALUMINUM

.5

DOOR INFILTRATION RATES
DOOR MFR. & MODEL # PAN AMERICAN

Table 5-3

MCHANICAL SYSTEMS

REHEAT COMPLIANCE WITH CODE (503.3)

[]

HVAC EQUIPMENT PERFORMANCE
EER OR COP (UNDER 65,000 BTU/HR.)
EER OR COP (65,000 BTU/HR. & OVER)
MFR. & MODEL #

8.2 Tables 5-4, 5-5, 5-7 or 5-8.

AIR TRANSPORT FACTOR
CHECK HVAC CONTROLS FOR COMPLIANCE
DUCT SYSTEM INSULATION R VALUES
PIPING INSULATION THICKNESS

8.2 8.0
R = Δt/15
Table 5-8.

WATER HEATING

CHECK PERFORMANCE EFFICIENCY
SWIMMING POOL CONTROL COMPLIANCE
CONSERVATION OF HOT WATER (SHOWER FLOW RATE)

[] N/A 504.2
[] N/A 504.2(b) 3
3 3 GPM

OUTLET TEMPERATURE

CRITICAL POWER AND LIGHTING (NON RESIDENTIAL)

CHECK COMPLIANCE OF:
POWER FACTOR CORRECTION
VOLTAGE DROP
LIGHTING SWITCHING

[] Sect. 505.2
[] " " "
[] " " "

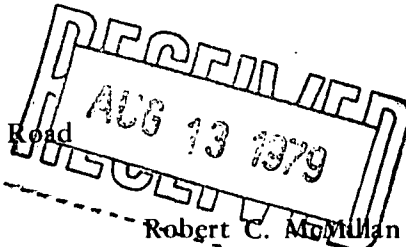
I CERTIFY THAT THIS BUILDING COMPLIES WITH THE

State of Florida Model Efficiency Building Code.

Signature of Owner or Owner's Authorized Agent

5403 S.E. Miles Grant Road
Stuart, Florida 33494

Phone: 283-7117



Robert C. McMillan
CONSULTANT
Energy & Insulation

April 23, 1979

Dr. Frank Murphy
501 E. Ocoala
Stuart, Fla.

Energy Calculations
Residence Design B 2183

BUILDING INFORMATION

Gross sq. ft. of conditioned/heated floor space 2800

WALL AREAS

Total opaque wall area		2184
Window Area	248.24	
Glass door area	200.40	
Garage wall area	200.00	
Door area	37.00	
Percentage glass	21%	

U VALUE CALCULATIONS

U-Windows	.88	.65
Glass doors	.88	.65
doors	.49	.49
Garage cavity	.07	.07
CBS cavity	.10	.10
Ceiling	.05	.05

Overall U value of wall Uw _ .295

Submitted by:

Robert McMillan
Robert Mc Millan

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Ordinance, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

MODEL: Res. for Dr. Murphy

DATE: 4/23/79

CODE

$$U_{hc} = \frac{(U_{ce} A_{ce}) + (U_w A_w)}{A_{ce} + A_w}$$

$$U_{hc} = \frac{(0.05 \times 2800) + (0.30 \times 2184)}{2800 + 2184}$$

$$U_{hc} = \frac{140 + 655.20}{4984} = \frac{795.20}{4984}$$

$$U_{hc} = 0.160 : \text{CODE REQUIREMENTS}$$

Allowable BTU loss 795.20

Actual BTU loss 946.00

Deficiency 150.80

CALCULATED:

SINGLE FURRED: _____

DOUBLE FURRED: X

$$U_{ho} = 0.157$$

To Meet Code:

- 1) double furring on walls & tie beam
- 2) solar bronze glass throughout except garage

$$U_{ho} = \frac{0.05 \times 2800 + 0.295 \times 2184}{4984}$$

Certificate of Insurance



THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER.
THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES LISTED BELOW.

NAME AND ADDRESS OF AGENCY RV Johnson Agency P.O. Box 26 Stuart, Fla. 33494	COMPANIES AFFORDING COVERAGES COMPANY LETTER A American States COMPANY LETTER B Lumberman's Mutual COMPANY LETTER C COMPANY LETTER D COMPANY LETTER E
NAME AND ADDRESS OF INSURED Robert L. Loomis & Robert L. Loomis, Inc P.O. Box 2197 Stuart, Fla. 33494	

This is to certify that policies of insurance listed below have been issued to the insured named above and are in force at this time.

COMPANY LETTER	TYPE OF INSURANCE	POLICY NUMBER	POLICY EXPIRATION DATE	Limits of Liability in Thousands (000)			
					EACH OCCURRENCE	AGGREGATE	
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMPREHENSIVE FORM <input type="checkbox"/> PREMISES—OPERATIONS <input type="checkbox"/> EXPLOSION AND COLLAPSE HAZARD <input type="checkbox"/> UNDERGROUND HAZARD <input type="checkbox"/> PRODUCTS/COMPLETED OPERATIONS HAZARD <input type="checkbox"/> CONTRACTUAL INSURANCE <input type="checkbox"/> BROAD FORM PROPERTY DAMAGE <input type="checkbox"/> INDEPENDENT CONTRACTORS <input type="checkbox"/> PERSONAL INJURY	CL244-871 <i>Dr. Frank re: Murphy job & C Chappelle</i>	5/12/80	BODILY INJURY	\$ 300	\$	
				PROPERTY DAMAGE	\$ 100	\$ 100	
				BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$	\$	
				PERSONAL INJURY		\$	\$
							BODILY INJURY (EACH PERSON)
			BODILY INJURY (EACH ACCIDENT)	\$			
			PROPERTY DAMAGE	\$			
			BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$			
			BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$	\$		
B	WORKERS' COMPENSATION and EMPLOYERS' LIABILITY OTHER	9CL820477	8/22/80	STATUTORY			
					\$ 100	(EACH ACCIDENT)	

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES

Cancellation: Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavor to mail 10 days written notice to the below named certificate holder, but failure to mail such notice shall impose no obligation or liability of any kind upon the company.

NAME AND ADDRESS OF CERTIFICATE HOLDER:

City of Sewall's Point
 City Hall
 Jensen Beach, Fla. 33457

DATE ISSUED: 8/30/79

AUTHORIZED REPRESENTATIVE



STATE OF FLORIDA
 Department of
 Professional Regulation

FLORIDA CONSTRUCTION INDUSTRY

LICENSING BOARD

P.O. BOX 2

JACKSONVILLE, FLORIDA 32201

(904) 359-6310

Bob Graham
 GOVERNOR

*DR. FRENK
 RE: ALIEN'S C JEL*

August 15, 1979

Mr. Robert L. Loomis,
 Robert L. Loomis, Inc.
 2916 SE Glasgow Drive
 Stuart, Florida 33494

Certification as a General Contractor

Certification No. - CG C011125

Expiration Date - September 15, 1979

Dear Mr. Loomis:

Reference is made to your application concerning certification stated above. This letter will serve as your authorization as the qualifier of the above mentioned company until the above noted expiration date. If there is a change in this qualification, you are requested to comply with Chapter 468.110(2), which states as follows:

"If a certificate holder or registrant changes his name style, address, or employment from that which appears on his current certificate or registration, he shall notify the board of the change within thirty days after it occurs."

Until the above expiration date, you are entitled to all the privileges allowed under the Certification Law, Chapter 468.106, of the Florida Statutes.

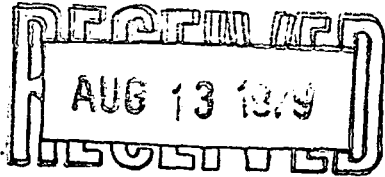
Sincerely,

THE FLORIDA CONSTRUCTION
 INDUSTRY LICENSING BOARD

Milton Rubin
 Administrative Assistant

JS

273767



WARRANTY DEED

This Instrument Prepared by
Malory L. Johnson, Attorney at Law
306 N. Florida Ave.
P. O. Box 956
Stuart, Florida 33494

LOUIS R. BRESSLER, a single man, the Grantor, in consideration of the sum of \$10.00 received from FRANK D. MURPHY and LAURIE E. MURPHY, his wife, the Grantees, of 958 Northwest 13th Street, Stuart, Florida 33494, hereby, on this 24th day of May, 1977, conveys to the Grantees, as an estate by the entireties, the real property in Martin County, Florida described as:

Start at the Northwest corner of Lot 102, ISLE ADDITION to HIGH POINT, Plat Book 4, page 47, public records of Martin County, Florida; thence run Northeasterly along the Northwest line of said Lot 102, said lot line being the Southeast right of way line of High Point Road, along a curve with arc 50 feet in length, concave to the Northwest, with radius 625.80 feet, through a central angle of 4°34'40", for the point of beginning; thence continue to run Northeasterly along the arc of said curve a distance of 100 feet through a central angle of 9°09'20"; thence run South 43°02'13" East, a distance of 405 feet, more or less, to the waters of the Indian River; thence run Southwesterly, meandering said waters, a distance of 165 feet, more or less, to the point of intersection of said waters with a line that bears South 33°52'53" East, from the point of beginning; thence run North 33°52'53" West along said line, a distance of 394 feet, more or less, to the point of beginning.

Together with all riparian rights thereunto belonging or in anywise appertaining.

Subject, however, to the restrictions, limitations, easements, reservations and zoning regulations of record.

and covenants the said property is free of all encumbrances, that lawful seisin of and good right to convey that property are vested in the Grantor, and the Grantor hereby fully warrants the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

SIGNED IN THE PRESENCE OF:

Malory L. Johnson

Louis R. Bressler (STATE)
LOUIS R. BRESSLER

Elizabeth L. Beswick

STATE OF FLORIDA)
COUNTY OF MARTIN)

The foregoing instrument was sworn to and acknowledged before me this 24th day of May, 1977 by LOUIS R. BRESSLER.

420 2179

Malory L. Johnson
NOTARY PUBLIC
My Commission Expires May 2, 1981

273767

This Instrument Prepared by
Malory L. Johnson, Attorney at Law
306 N. Florida Ave.
P. O. Box 955
Stuart, Florida 33494

WARRANTY DEED

LOUIS R. BRESSLER, a single man, the Grantor, in consideration of the sum of \$10.00 received from FRANK D. MURPHY and LAURIE E. MURPHY, his wife, the Grantees, of 958 Northwest 13th Street, Stuart, Florida 33494, hereby, on this 24th day of May, 1977, conveys to the Grantees, as an estate by the entireties, the real property in Martin County, Florida described as:

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Together with all riparian rights thereunto belonging or in anywise appertaining.

Subject, however, to the restrictions, limitations, easements, reservations and zoning regulations of record.

and covenants the said property is free of all encumbrances, that lawful seisin of and good right to convey that property are vested in the Grantor, and the Grantor hereby fully warrants the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

SIGNED IN THE PRESENCE OF:

Malory L. Johnson
Elizabeth L. Besswick

Louis R. Bressler (SEAL)
LOUIS R. BRESSLER

STATE OF FLORIDA)
)
COUNTY OF MARTIN)

The foregoing instrument was sworn to and acknowledged before me this 24th day of May, 1977 by LOUIS R. BRESSLER.

db 420 not 2179

Malory L. Johnson
NOTARY PUBLIC
My Commission Expires May 2, 1981

Post Office Box 510 Jacksonville, Florida 32201

Application and Permit

of:

Individual Sewage Disposal Facilities

THIS PERMIT EXPIRES ONE (1)

YEAR FROM DATE OF ISSUANCE

MARTIN

County Health Department

Permits VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

Application/Permit No. HD 79-304

RECEIVED
AUG 13 1979
HEALTH DEPARTMENT

Section I - Instructions

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of plat of subdivision. If not platted, attach metes and bounds description.
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 7.5 feet from any part of system.
3. Call 277-2277 and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.) HIGH POINT ROAD
 Lot See Below Block --- Subdivision ISLE ADDITION HIGH POINT
 Date Platted 7 JAN 1966 Directions to Job NORTH ON AIA - SOUTH ON SEWALL'S POINT ROAD TO HIGH POINT
2. Owner or Builder DR FRANK MURPHY
 P.O. Address 501 E OSCOLA ST., STUART, FL 33494
 Septic tank system to be installed by:

Scale 1" = 50'

WEST 1/2 LOT 101 & EAST 1/2 LOT 102
4 BEDROOMS

3. Specifications:
1050 gallon tank with
340 square feet of
 drainfield with at least
 4" inside diameter pipe.

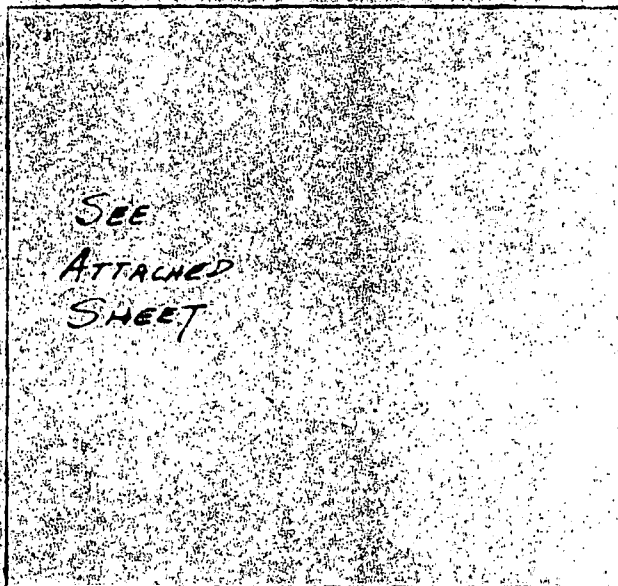
4. House to be constructed:
 Check one: FHA
 VA Conventional

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: FRANK MURPHY M.D.
Please Print

Signature: Frank Murphy M.D. / A. Leon P.E. Date: 4.4.79

(Name of Street or State Road)
(Side)



(Name of Street or State Road)
(Side)

(Front)

(Name of Street or State Road)

***** DO NOT WRITE BELOW THIS LINE *****

Section III - Application Approval & Construction Authorization
Installation subject to following special conditions:

The above signed application has been found to be in compliance with Chapter 10D-6 Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.
By: [Signature] County Health Dept. [Signature] Date 4/5/79

Section IV - Final Construction Approval

Construction of installation approved: Yes No

Date: _____ By: _____

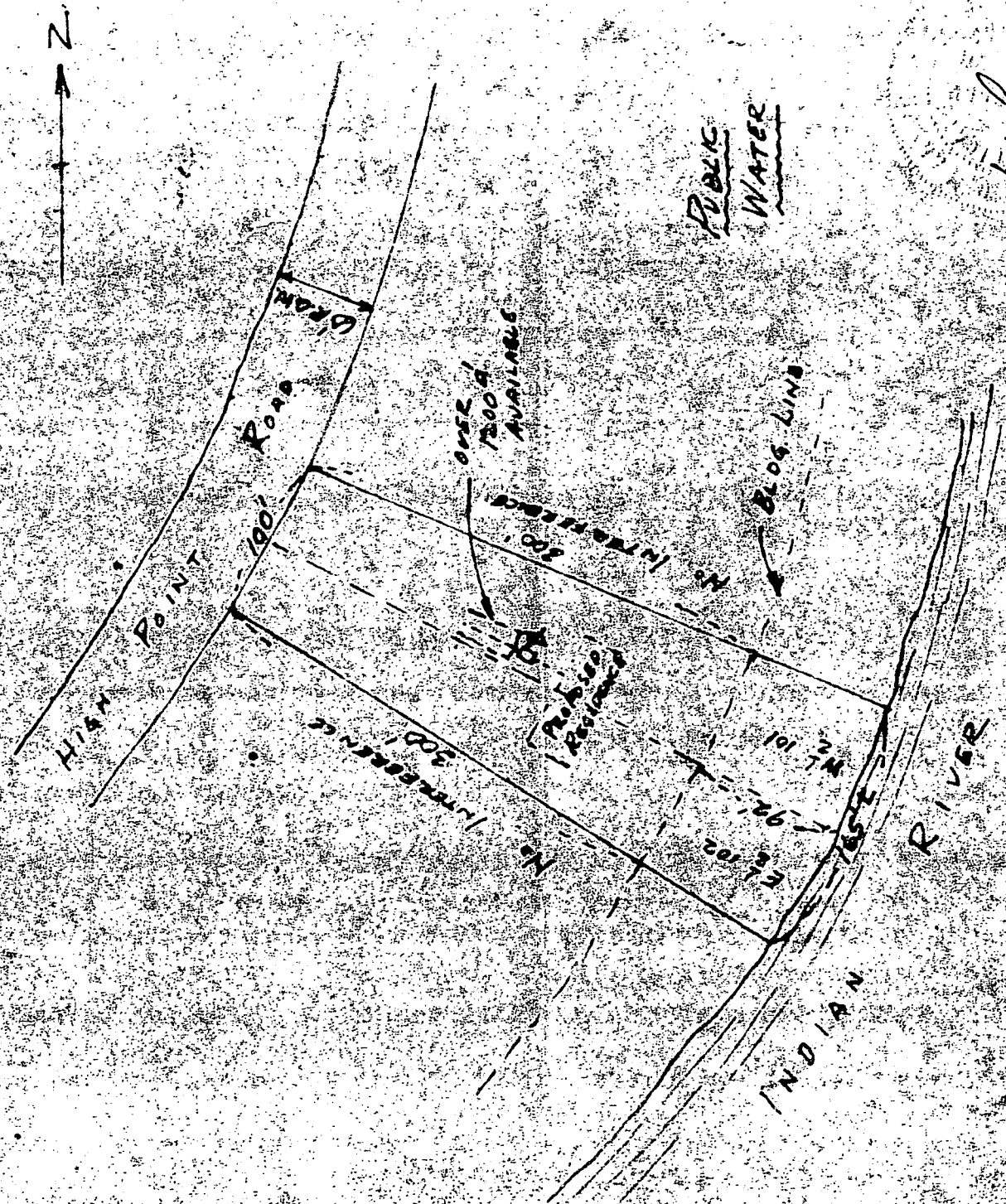
FHA No. _____ VA No. _____

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
DIVISION OF HEALTH

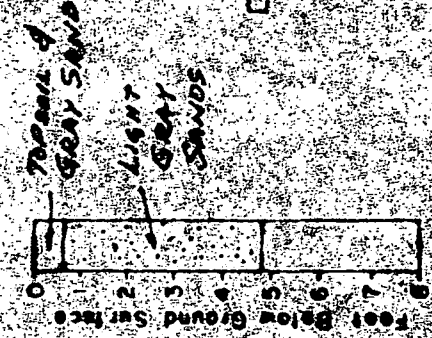
INDIVIDUAL SEWAGE DISPOSAL FACILITIES

Location: ISLE ADRIAN - HIGH POINT DATA SHEET Applicant: FRANK MURPHY, M.D.
W/4 Lot 101 & E4 Lot 102 County: Martin

NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well, nor within 100 feet of any public water supply, nor within 10 feet of water supply pipes, nor within 100 feet of any public sewer system.



SOIL DATA



PLAN Scale 1" = 100'

SOIL BORING LOG

Soil Identification CLASS I GROUP SW
Soil Characteristics SAND

Percolation Rate 1/4 min/inch
Water Table Depth 2100 SFT
Water Table Depth 2100 SFT
Compacted Fill Or Read
Uncompacted Fill Checked by

LEGEND

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

Handwritten signature: P. J. Larson

CERTIFIED BY: P. J. Larson, P.E.

FLORIDA PROFESSIONAL No. 18552

Date: 4.4.79 Job No. 78-34-03

Sheet 2 of 2

FROM: Larson & O'Neill, Inc.
Consulting Engineers
30 S.E. Ocean Boulevard
Stuart, Florida 33494

TO: All owners, agents for owners and installers of individual sewage disposal facilities involving septic tanks and drainfields and wells.

The preparation of a permit by the above Consulting Engineers and the approval by the applicable Florida County Health Department means that an individual sewage disposal facility, (commonly referred to as a septic tank and drainfield), may be installed strictly in accordance with the Rules of State of Florida, Department of Health and Rehabilitative Service, Division of Health, Chapter 10D-6.

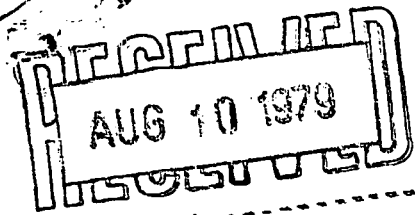
The installer of the septic tank and/or drainfield shall verify all dimensions and locations of existing wells and drainfields in the field, and shall not locate the septic tank and/or drainfield:

1. Within 50 feet of the high water line of a lake, stream or canal or other waters.
2. Within 75 feet of any private well.
3. Within 100 feet of any public water supply.
4. Within 10 feet of water supply pipes.
5. Within 5 feet of property line.
6. Within 100 feet of any public sewer system.
7. Within 5 feet of any building.

The Consulting Engineers, Larson & O'Neill, Inc. will assume no responsibility whatever in the improper or illegal installation of individual sewage disposal facilities or wells.

Kenneth G. Larson

Kenneth G. Larson, President, P.E.
Larson & O'Neill, Inc.



RESIDENCE OF

Frank D. Murphy, M.D.
30 E. High Point Road
Jensen Beach, Florida 33452

*Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewell's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Energy Efficiency Building Code.*

This is a contract to construct a residence on the south west half of lot 101 and north east half of lot 102 in High Point subdivision Sewell's Point, Jensen Beach, Martin County, Florida.

GENERAL REQUIREMENTS:

South eastern Florida building codes will apply to this work and shall be strictly adhered to and any deviation there from shall be the responsibility of the general contractor.

PERMITS AND FEES:

The contractor will apply for and pay for the building permit and all fees required in connection with contract.

The contractor shall pay and discharge any and all obligations in connection with this contract.

DELAYS:

Any delays in completion of work resulting from labor strikes, material shortages locally, failure of the owner to select colors or materials within reasonable time after submittance of samples, or stoppage due to climatic occurrences shall not be the responsibility of the contractor. Failure of the contractor to produce the finished structure, the foregoing expected, within the allotted six months time will be construed as failure on his part. If construction is delayed past seven months, a penalty equal to living costs or \$50.00 per day whichever is less, will be paid to the owner. If the contractor finishes within five months, he will receive \$50.00 per day for each day less than five months from the owner.

GUARANTEES:

The contractor shall be responsible for providing a one year guaranty

to the owner for all work not specifically covered. This, together with warranties and guarantees for materials and equipment covered individually by the manufacturer, shall be filed with the owner upon completion. During the period of the guaranty, the contractor shall be fully responsible for rapid repair of faulty installation, whether originally by subcontractors or by his own employees.

COMPLETION:

Completion shall indicate final acceptance by and obtaining a Certificate of Occupancy. Guarantees shall commence upon completion and acceptance and not before.

CHANGE AND EXTRAS:

Work causing charges over and above the contract price shall not be performed without first the submittal in writing from the general contractor. Changes in the work requiring no revision of the contract price shall be accomplished with only a written order to the owner.

SELECTION OF COLORS AND MATERIALS:

All colors and materials affecting due course of the work must be approved by the owner within thirty days after contract is signed by the general contractor, but in any event not less than five days before installation is to be made.

SUBSTITUTIONS:

The substitution of any material or equipment for that specified must be accomplished by written agreement with the owner after the signing of the General Contract.

PRINTS AND DRAWINGS:

A full set of working drawings and first drawing of all equipment (windows, doors, cabinet work, plumbing, air conditioning, electrical, etc.) to be submitted to owner for approval before construction including site plot, floor plan, electrical, elevation, and air conditioning, etc.

INSPECTION:

The owner will have the option to inspect the following within 24 hours prior to cover up; slab, framing, plumbing, electrical, air conditioning, and etc.

SECTION 2-A

EXCAVATING, FILLING, AND GRADING:

1. General: The contractor shall furnish all labor and materials to do all work necessary for proper filling and grading of project. Contractor to bring inside finish floors 18" above road with 4" drop in garage and patio areas. All fill under slabs shall be compacted in 6" layers.
2. Compaction: The density of the fill, from sub-grade to level final grade, shall be not less than 95% and tested before laying of slab by Frasier's.

SECTION 2-B

SOIL POISONING:

1. General: The contractor shall furnish all labor and materials to control the soil for termites using a 1% chlorodane solution applied by an approved pest control company under slab only.

DRIVEWAY:

Contractor will supply and install asphalt driveway 12' wide, 141' long with a 30' wide in front of garage doors 60' long to meet driveway from road and supply sufficient fill to bring driveway up to specifications. Circular.

CONCRETE:

All concrete shall be truck mixed.

3000 PSI for beams will be minimum 12" x 8"

2500 PSI for 4" slabs on grade and footings and tested by Frasier's

or equivalent at owners expense.

INTEGRAL WATERPROOFING:

Shall be added to concrete for all interior slabs on grade.

Protex or equal.

Finishing light broom finish on all walks and paving, trowel finish cement for interior slabs.

UNIT MASONRY:

Joining Bond

Structure will be ~~CBS~~ construction. The contractor to furnish all labor and materials to do all masonry work shown on drawings, Blocks 8x8x16. ASTM C90-59 laid running bond.

FIRE PLACE:

Family room, one 4' brick fireplace with 12" raised hearth made of floor tile; fireplace to be flush with wall.

SOFFITT VENT:

Install soffitt vent every 8', 7"x22" aluminum frame with fiberglass screen soffitt vent.

CARPENTRY:

A. Rough

1. Interior partitions will be 2x4 kiln dried fir, southern pine hemlock hemfir, or spruce, 16" o/c with pressure treated plate.
2. Joists- concealed shall be construction grade fir or pine.
Exposed framing architectural grade fir.
3. Trusses- included in roof design.

B. Finish Carpentry

Contractor to furnish all labor and materials to complete all finished carpentry and millwork shown on drawing and specified as relates to his portion of job.

1. Fascia- redwood 1x8 finger joint with 1x2 drip edge.
2. Baseboard trim- 3 1/2" finger joint clam shell
3. Door casing trim- 2 1/4" finger joint clam shell
4. Cabinets: To be custom made. Plastic laminate covered with

panel doors, plastic laminate tops, KV drawer slides and outside spring hinges. Adjustable shelves.

5. Vanities: Plastic laminate finished with pull doors, plastic laminate tops, outside spring loaded hinges.

ROOF:

Contractor to supply all labor and materials for complete roofing job. All work in strict accordance with local codes and manufactureres recommendations. Construction of engineered trusses 2' o/c with 3' overhangs. Roof will be hipped in style with 4/12 pitch. Truss will be covered with 5/8" exterior glued plywood with roof flat cement tile natural gray smooth in finish, 30# felt and one layer 90# mineral roll roofing. Hot mopped with hot asphalt. All valley metal and flashing and drip edge will be galvanized metal.

INSULATION:

Furnish and install in ceiling and exterior walls as specified following manufacturer's specifications.

CEILING:

Rolled insulation.

6" Owens Corning Fiberglass or equal R19 in living area ceiling.

Between garage and living area walls insulated with 3 1/2" fiberglass insulation. Exterior walls to have 3/4" insulation with furring strips on top of it.

METAL DOORS AND WINDOWS:

Furnish and install sliding glass doors and windows as shown on the drawings and herein specified.

MATERIALS:

1. Doors: Shall be sliding aluminum as manufactured by "Pan Am" or approved equal. Finish shall be black ESP. Screens shall be box type; all glazing to solar gray tinted tempered glass
2. Caulking:
6 E. Silicone by contractor where necessary.
3. Windows: Shall be equal "Pan Am"

Windows in sizes as shown on drawings. Finish shall be black. All windows and glass doors will have curtain hanger or 1x6 pressure treated lumber not to exceed 4" on each side of window or glass door.

- Glazed with solar gray tinted glass.

All windows in living area will have marble sills (square edged) 3/4 x 5 1/2" excluding kitchens and bathrooms.

4. Wood doors:

Entrance doors - 1 3/4" solid case for natural finish.
\$125.00-150.00.

Garage doors detail (3) wood frame with pressboard panels.

5. Interior doors:

Shall be 1 3/8" hollow case unfinished pre hung laun.
Jamb and trim to be as detailed. Hardware- K.W.I.K. set.

6. Louvered doors:

Panel 1 1/8" white pine or ponderosa pine with louvered panels top and bottom finish complete with hardware. Track to be equal to "Grant".

DRYWALL AND STUCCO:

Ceiling and interior walls will be covered with 1/2" drywall taped and sanded and ready to be painted.

STUCCO:

Exterior of building will have one coat of cement scratch and one coat of marblecrete float finished color. The three foot overhang will have level returns, metal lathe, 1 coat cement scratch, 1 coat of marblecrete color.

PAINT:

Fascia with Sherwin Williams or equal. One coat oil base primer and one finish coat of oil or latex.

APPLIANCES:

The contractor shall install appliances, equipment, and water line for washer, dryer, disposal, Jennair Top oven, refrigerator with ice maker, and whirlpool tub. Two ovens.

PLUMBING:

The builder shall furnish all labor and materials and install a complete system of plumbing including soil waste, vent lines, hot, and cold water, and installation of fixtures as specified in strict accordance with all codes.

1. Materials:

Soil waste and vent lines.

Sedco PVC Schedule 40 DMV pipe installed according to manufacturers recommendations.

Water lines:

Type L copper with cast bronze or copper fittings for soldered joints.

Water heaters:

Two 40 gallon double element with stubbing in for possible solar attachment.

Outside Plumbing:

5 Hose bibs, one to include shower head near pool.

Contractor will provide PVC line (water) from water meter to house water meter hook up to be supplied by owner.

INDIVIDUAL SEWAGE DISPOSAL SYSTEM:

1. General:

All work shall comply with the local building code and requirements of the local health authorities.

Scope:

The extent of work shall be as shown on drawings. The work covered by this section consists of the following:

- A. Installation of sewer line from house to septic tank.
- B. Installation of septic tank.
- C. Installation of distribution and absorption system, subsurface absorption field, absorption bed, and/or seepage pit or pits.

2. Execution:

- A. Location and installation of the disposal system shall be such that with reasonable maintenance, it will function in a sanitary

manner and will not endanger the safety of any domestic water supply within 75'.

- B. The system shall receive all sanitary sewage: bathroom, kitchen, and laundry.
- C. Install pipeline from the house sewer to the septic tank with watertight joints.
- D. Septic tank: concrete tank, 1050 gallons, 40' field. If pre-fabricated, tank will be furnished, submit to the Architect manufacturer's catalog data for approval.

AIR CONDITIONING:

- 1. Scope: The air conditioning contractor shall furnish and install the air conditioning equipment, ducts, grilles, and controls to provide a complete and operative system. General contractor shall furnish cutting, patching, and electrical wiring for each condensing unit and A.H.U. and trapped drain connections for condensate disposal.
- 2. Air Conditioning Equipment: AC-Efficiency Type.
 - 2.01 AIR CONDITIONING SYSTEM: Shall be of the split air cooled only with electrical heat type. The equipment shall be quiet in operation and housed in cabinets free from rattles and other noises.
 - 2.02 INSTALLATION: Install condensing units on shearflex. Hand A.H.U. with isolators and install under each A.H.U. with 3/4" PVC drain. Install 1" condensate line with 2" deep trap from unit to point of disposal and insulate with 1/2" armaflex.
 - 2.03 CONTROL: Furnish and install standard room type cooling and heating thermostat and two step type on A/C #1.
 - 2.04 DUCTS: Ducts shall be 1" fiberglass insulated, fabricated and installed in accordance with building code and ASHRAE Guide recommendations. All square ellis shall be vaned. All vapor barrier sealed at all joints.
 - 2.05 Grilles: Ceiling diffusers shall be aluminum type similar and equal to Metalaire 5000 MI-L8. Ceiling return grilles shall be 1/2" eggcrate aluminum.
 - 2.06 BALANCING: System shall be balanced to provide temperatures in space not varying greater than three degrees.
 - 2.07 GUARANTEE: Air conditioning refrigeration compressors shall have five (5) year warranty. All other equipment shall be guaranteed for one (1) year. Service, parts, labor, refrigerant and filters shall be rendered for a period of one (1) year at no cost to owner.

ELECTRICAL:

1. General provisions: Provide all labor, materials, tools, supplies, equipment, and temporary utilities to complete the work shown on drawings and specifications. All systems are to be completely operational. All work shall comply with the National Electrical Code and applicable local codes. Provide 125 receptables or switches, extra at a cost of \$10/receptacle or switch on interior of house. Existing circuits.
2. Special systems: All electrical circuits (110 only) on exterior of house or away from existing house will be quoted on the per foot basis. All separate circuits (110 or 220) will be on a quote basis only. Quote included in contract price.
3. Exterior Electrical: Contractor will arrange and supervise the installation of telephone jacks.
 Seven flood light receptacles
 Eight soffitt receptacles
 Two 220 receptacles
 One 110 receptacle
 One stubb out receptacle for future dock
 Two driveway light receptacles as indicated.

CLEANING:

All glass, aluminum, and porcelain surfaces shall be washed and left clear and whole upon completion of the structure, inside floors will be broom cleaned. Upon completion, it shall be the duty of the builder to clear up rubbish, scrap material, etc., from site. Depositing and disposing of same at an approved location.

MASTER BEDROOM: 13'6" x 15'4"

1. Windows: 1 - 24
 1 - 2 panel 6' x 6'8" glass sliding door
 1 - Stationary plate glass window 6' x 6'
2. Door: 2'6" x 6'8" prehung luan door.
3. Trim: Standard
4. Electrical: 5 receptacles Telephone hookup
 1 TV hookup
 2 switches
 1 AC drop

MASTER BEDROOM CLOSET:

1. Shelving: Standard
 one side Single pole and 10' shelf on one side
 other side Double pole and 10' shelf on one side
 5' pole across rear.

2. Door: 4' x 6'8"x1 1/8" wood bifod full louvre 4 panel door
3. Trim: Standard
4. Electrical: 2 ceiling outlets
1 AC drop
1 receptacle

MASTER BATH:

1. Fixtures: Kohler Color: Cocoa Brown
Gardian type whirlpool tub, 5'
1- 19" self rimming round sink, K2196
1- water closet, K3405 EB & 4652
1- 4' mica vanity Color: Teak
1-Century Water Guard K6895, single lever action
2. Medicine Chest: Supplied by owner
3. Tile: Tub area only; 32" on side wall, 5' on rear wall. Tub area will have 1' dropped ceiling with underside of ceiling tiled also. Tile will be installed on metal lathe and mud application. Color: Renaissance
4. Bathroom window: Per plan
5. Door: 3'x6'8" 4 panel full louvre wood bifold door.
6. Electrical: 1 AC drop
1 receptacle
3 switches
1 fan outlet
2 light outlets
1 electrical hook-up for whirlpool

CHILDREN'S BATH (HALL) 5' x 11'

1. Fixtures: American Standard Color: Bone
1 5' Bildor tub
1 Aquarius II bath and shower fittings
1 Water saver cadet toilet
2 American standard 17" diameter self-rimming oval horizon sinks with single lever Aquarian faucets.
1 6' mica vanity Color: BLUE
2. Medicine chest; None
3. Tile: tub area only. Color: Circle Blue Tile Mud type
4. Bathroom window: Per plan
5. Door: 2'6" x 6'8" prehung luan door.
6. Electrical: 1 AC drop
3 switches
1 receptacle
1 fan outlet Exhaust
2 ceiling outlets

BEDROOM #1 14'6" X 11'6"

1. Windows: 1-two-panel 6' x 6'8" glass door
2. Door: 2'6" x 6'8" prehung luan door
3. Trim: Standard
4. Electrical: 1-AC drop
3-receptacles
1-switch
1-ceiling outlet
5. Closet: 2' x 5'6"
2-pole and shelving on top
4' x 6'8" wood full louvred bifold door
1-ceiling outlet in closet

BEDROOM #2 11'6" X 11'10"

1. Windows: 2-25
2. Door: 2'6" x 6'8" prehung luan door
3. Trim: Standard
4. Electrical: 1-AC drop
3 receptacles
1-switch
1-ceiling outlet
5. Closet: 2' x 7'
2-pole and shelving on top
5'x 6'8" wood full louvred bifold door
1-ceiling outlet in closet

BEDROOM #3 14'2" X 15'

1. Windows: 1-24
1-25
2. Door: 2'6" x 6'8" prehung luan door
3. Trim: Standard
4. Electrical: 1-AC drop
4-receptacles
1-switch
1-ceiling outlet
5. Closet: 2' x 9'6" with center partition
2-pole and shelving on top
wood full louvred bifold doors
2-ceiling outlet in closet

UTILITY CLOSET 2' X 5'6"
1-prehung luan door
1-AC air handler Model #
1-40 gallon water heater
1-ceiling outlet
1-outlet for water heater
1-AC outlet

LINEN CLOSET: 2' X 1' X 9'6" full wood louvred door
1-bifold wood louvred door
5-shelves, 3/4" x 12"

LIVING ROOM 17' X 18'

1. Windows: 4-panel 12' glass sliding door
2. Ceiling: to have 8'6" x 10'^{1'8"} tray built into trusses finished with 1/2" drywall
3. Trim: Standard
4. Electrical: 4-receptacles
4-switches
5-ceiling outlets
1-fan outlet, reinforced ceiling
2-AC drops

DINING ROOM 14' X 13' 3"

1. Windows: 2-panel 6' x 6'5" glass sliding door
2. Door: 3' x 6'8" luan pocket door
3. Trim: Standard
4. Electrical: 3-receptacles
5-ceiling outlets
1-AC drop

FAMILY ROOM 21'8" X 15'4"

1. Windows: 2-24's
1-stationary plate glass 6' x 6'
1-2-panel 6' x 6'8" glass sliding door
2. Fireplace: previously described
3. Trim: Standard
4. Electrical: 6-receptacles
5-switches
1-tv outlet
1-ceiling outlet
1-AC drop

KITCHEN 14' X 15'6"

1. Windows: 1-6' counter top sliding window
2. Cabinets: Top color:
 - 1-27" oven column
 - 1-16' base cabinets
 - 1-3' Lazy Susan base
 - 1-6' of 24" hanging cabinets
 - 1-6' of 30" hanging cabinets
 - 2-15" base cabinets
 - 1-53" base cabinet disk
 - 2-15 x 30 hanging cabinets
 - 1-30 x 18" hanging cabinets
 - 1-3' x 2' center base cabinet for Jenn-Aire, contractor to vent
3. Appliances & light fixtures: to be supplied by owner.
4. Kitchen Sink: stainless steel with separate disposal compartment.
5. Ceiling: 1' dropped ceiling constructed of 2" x 4" and finished with 1/2" drywall.
 - 12' x 6' illuminated ceiling
6. Electrical: 1-line for Jenn-Aire
 - 1-outlet for dishwasher
 - 1-outlet for oven
 - 1-outlet for microwave
 - 4-counter-top receptacles
 - 4-ceiling outlets
 - 1-AC drop

EATING AREA 8'6" X 8'

1. Windows: 1-2-panel 6' x 6'8" glass sliding door
2. Trim: Standard
3. Electrical: 1-receptacle
 - 2-switches
 - 1-ceiling outlet, reinforced ceiling

PANTRY AREA 19' X 1'6"

pantry closet 2" x 4" framed, covered with 1/2" drywall, broken into 6 equal compartments.

- Door: 1-3' x 6'8" solid core luan prehung door
5- 2-panel 3' x 6'8" louvered door

Shelves: 5-shelves per compartment

- Electrical: 5-ceiling outlets
1-3-way switch

LAUNDRY AREA: 12'6" x 7'

1. Windows: 1-24
2. Door: 1-3' x 6'8" medium priced door.
3. Cabinets onel 2 cabinet and counter top work area, Color: with two hampers built into base. 1 3' utility sink with stainless steel utility tray.
4. Electrical: 1 washing machine receptacle
1 dryer receptacle
2 receptacles
2 switches
1 ceiling outlet
1 Freezer and outlet

GARAGE: 23'6" x 23'8"

1. Ceiling: 1/2" drywall, orange peel spray
2. Block walls: 1 coat of stucco, sprayed white
3. Windows: 2- 25
4. Doors: 2 overhead garage doors, 10' x 27' wood frame with masonite panels. Garage door opener to be supplied by owner.
5. Electrical: 4 receptacles, with 2 ^{beam} double receptacles
4 ceiling outlets.

GARAGE PLAY AREA: 11' x 23'8"

Walls: 2' x 4' wall frame covered with 1/2" drywall, taped, and spray.

Ceiling: 1/2" drywall, taped, and sprayed.

Insulation: Ceiling 6"

Walls 3 1/2" fiberglass filled.

Electrical: 2 ceiling outlets: 4 receptacles.

Door: 1-overhead garage door AC drop Water heater 220 outlet

LIBRARY: 19' x 10'6"

1. Windows: 1- 25
2. Doors: 1- 2'6" x 6'8" standard interior door and fixture
3. Electrical: 3 receptacles
1 switch
2 ceiling outlets
1 AC drop

LIBRARY CLOSET: 6'6"x2'2"

1. Door: 4 panel louvered door, standard 4'x6'8"
2. Electrical: 1 ceiling outlet
3. Shelving: 1/2" shelving with 1" wood pole and shelf

POWDER ROOM: 7'2" x 5'2"

1. Fixtures: American standard Color: bone
17" diameter self-rimming oval sink with brass & crystal faucet
1 cadet water closet, elongated
2. Door: 2'6" x 6'8" prehung luan door
3. Electrical: 2 switches
1 receptacle
2 light outlet
1 fan outlet
4. Vanity: Teak color

FOYER: 6' x 26'

1. Windows: 2
2. Doors; 2- 1 3/4" exterior front door, 3' x 6'8" not to exceed \$150 each
2- interior pocket doors
3. Electrical: 2 AC drop
4 switches
4 ceiling outlets
1 receptacle

FOYER CLOSET: 6'9" x 2'6"

1. Door: 1 4 panel 4' x 6'8" full louvered door
2. Shelving: 1 wood pole and standard shelving
3. Electrical: 1 ceiling outlet

Colonial Construction Co.

65 Commercial St.
JENSEN BEACH, FLORIDA 33457

Phone 334-2867
287-8862

Peter Lopilato

Custom Builders

July 2, 1979

This contract is null and void if contractor is unable to secure building permit within the framework of this contract. Contract must be signed by both parties and work started within 60 days of the above date or contract will also be deemed null and void.

PAYMENT SCHEDULE:

Signing of contract- \$9,813.00

1st Payment-Completion of block wall-\$26,169.00

2nd Payment-Completion of inside framing-\$26,169.00

3rd Payment-Completion of dry wall-\$26,169.00

Any and all extras incurred on job must be paid in full at the time of the third payment.

Final Payment-Completion and issuance of CO-\$9,812.00

TOTAL CONTRACT PRICE - \$98,132.00

Accepted (date) _____

Contractor _____

Husband or Purchaser _____

Wife or Joint Purchaser _____

ADDENDUM

I. General changes

1. Plot plan:
 - a. cabbage palms in house and driveway removed plus ABCD on plan
 - b. We will not get water hook-up
2. Permit:
 - a. Must be approved by Hight Point Association, President is John Narin 283-8921
3. Change in route of driveway.

II. Price Changes

1. Cornerstones (alternating)
2. Lelani
3. Cement pation (6' x 8') off breakfast area.
4. Difference in price for whirlpool.

To Us

1. Credit for laundry door removal
2. Credit for brick from fireplace.

III. Plan Changes

1. Lelani- 8' high
2. Two garage windows should be 25 not 23
3. Jenaire cooktop should be on center island
4. Transfer TV plug and cable to counter between breakfast room and kitchen
5. Family room TV plug should be in southeast corner rather than next to fireplace.
6. Living room doors must be recessed and all sliding glass doors must have automatic pin locks.
7. Master bedroom moved down to make larger closet
8. Both bathrooms- windows must be oversized from heigh of tub up 7' (show windows with safty glass) clear glass? Door on lelani and steps of wood slats across top.
9. Play area- make sure is airconditioned.
10. Master bath- flat mirror (not 3-way medicine cabinet) Ceinling over sink and toilet to be dropped to heigh of bath and lights put into ceiling (flourescent light over toilet and light over sink.)
Medicine cabinet is hidden flat cabinet on sidewall, also in child's bathroom.

11. Move garage lights to central wall area.

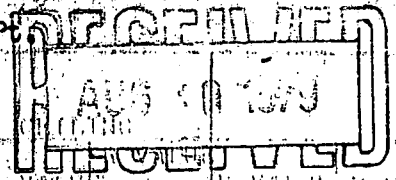
12. Appliances:

New: Jenaire counter top and grill
Two oven (regular) on column.
Refridgerator with icemaker
Dishwasher
Disposal

Moving freezer to laundry room. Also washer and dryer.

"U" VALUE CALCULATIONS FOR SUB-ASSEMBLIES

Dr Murphy Res. Lot 101 & 102 High Point Sewall's Pt



TYPE ASSEMBLY	R VALUE		U VALUE		R VALUE		U VALUE	
	CHAMBER CAVITY	EMERGING CAVITY	CHAMBER CAVITY	EMERGING CAVITY	CHAMBER CAVITY	EMERGING CAVITY	CHAMBER CAVITY	EMERGING CAVITY
WALL EXTERIOR	.17	.17	.61	.61	.61	.61		
SURFACE TREATMENT	.10	.10	////	////	////	////		
OUTER CHEATING	1.04	1.04	.45	.45	////	////		
FRAMING	.94	////	4.35	////	4.35	////		
CAVITY: A INSULATION	6.00	6.00	////	11.00	////	19.00		
B. AIR SPACE	////	1.01	////	////	////	////		
EXTERIOR SURFACE	.45	.45	.45	.45	.45	.45		
AIR FILM RESISTANCE	.68	.68	.68	.68	.68	.68		
OTHER								
R _v = TOTAL	9.38	9.45	6.54	13.19	6.09	20.74		
U _o = 1/R TOTAL	.106	.105	.153	.075	.164	.048		

U_o (OVERALL "U" VALUE (ENVELOPE CALCULATION))

TYPE OF ASSEMBLY	DESCRIPTION	AREAS	GROSS AREA RATIO	"U" VALUE	"U" X RATIO	
GROSS WALL		2544				
GLASS	WINDOWS/DOORS	510	.20	.65	.130	
DOORS	WOOD	78	.03	.49	.014	
BLOCK WALL	1796	FUR	179	.07	.106	.031
		CAVITY	1617	.64	.105	.067
FRAME WALL	160	STUDS	16	.01	.153	.001
		CAVITY	144	.05	.075	.037
		TOTAL WALL "U" VALUE =			(.280)	
CEILING	TRUSS	310	10	.164	.016	
GROSS / 3100	CAVITY	2790	90	.048	.043	
		TOTAL CEILING "U" VALUE =			(.059)	
THIS CODE HOUSE	WALLS	2544	.45	.280	.126	
GROSS/GROSS 5644	CEILING	3100	.55	.059	.032	
		TOTAL CODE HOUSE "U" VALUE =			(.158)	
		THIS HOUSE COMPLIES LESS THAN			.175 / .35	

I hereby certify that the Design and Construction of this building comply with the Applicable Thermal Energy Efficiency Standard as Required in Part VII, Chapter 553, Florida Statutes. I understand that falsification of this application may subject me to Prosecution under the Law.

BANDY INSULATION, INC.

303 Candice Avenue
Jensen Beach, Fla. 33457

Signature of Owner, or Owners,
Authorized Agent

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 4/8/80

This is to request that a Certificate of Approval for Occupancy be issued to Dr. Murphy
For property built under Permit No. 1036 Dated _____ when completed in
conformance with the Approved Plans.

Frank D. Murphy M.D.
Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	10/29/79	
Rough plumbing	10/25/79 & 1/17/80	
Slab	10/29/79	
Perimeter beam	11/15/79	
Close-in, roof and rough electric	1/17/80 -	
Final Plumbing	4/8/80	
Final Electric	4/8/80	
<u>Insulation</u>	1/28/80	
Final Inspection for Issuance of Certificate for Occupancy.		

Approved by Building Inspector J. Mazzuca date 4/8/90
Approved by Building Commissioner Robert Strubell date 4/5/80

Utilities notified April 8, 1980 date _____

Original Copy sent to _____

(Keep carbon copy for Town files)

1084

SCREEN ENCLOSURE

Permit # 1056 - T-1

1084

TOWN OF SEWALL'S POINT FLORIDA

Permit No. _____

Date 11/30/79

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner DR. F. MURPHY Present address 501 E OCEOLA ST STUART

Phone _____

Contractor CLIMATE FLORIDA CORP Address 539 S INDUSTRIAL RD

Phone 283-8070 OCCO FLA

Where licensed STATE License number CR0-001786

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: POOL SCREEN ENCLOSURE

State the street address at which the proposed structure will be built:

30 E HIGH POINT ROAD

Subdivision HIGH POINT Lot No. 1014102

Contract price \$ 2639.00 Cost of Permit \$ 15.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor AGENT [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Louis E. Murphy

TOWN RECORD Date submitted _____

Approved: [Signature] Building Inspector Date Dec 11, 1979

Approved: [Signature] Commissioner Date 21 Nov 1979

Final Approval given: 4/7/80 [Signature] Date

Certificate of Occupancy issued _____ Date

1084

STATE OF FLORIDA Department of Professional Affairs

CONSTRUCTION INDUSTRY LICENSING BOARD

08/23/79

CR 0001786

THE CERTIFIED RESIDENTIAL CONTRACT

NAMED BELOW IS CERTIFIED

UNDER THE PROVISIONS OF CHAPTER 48

THE YEAR EXPIRING JUNE 30, 1981

FABRE, SALVATORE

CLIMATROL FLORIDA CORP

529 S INDUSTRY ROAD

COCOA FL 32922

DISPLAY IN A CONSPICUOUS PLACE

CLIMATROL FLORIDA CORPORATION

529 SOUTH INDUSTRY ROAD—COCOA, FLORIDA 32922

PHONE (305) 632-0264



Climatrol Florida Corporation
Salvatore Fapore
State Certification No. CR001786

To Whom It May Concern:

Please accept this letter as my authorization for the undersigned to acquire Building Permits in my behalf for Climatrol Florida Corporation.

G. BARNWELL
For the job located at 30 E HIGH POINT RD
Lot 101-102 Block —
Subdivision HIGH POINT
Property Owner DR. F. MURPHY

Sincerely,

Salvatore Fapore
Salvatore Fapore

State of Florida
County of Brevard

Sworn to and subscribed before me on _____ 1979
day of Nov, 1979

Grace Meadows
Notary

(SEAL)

NOTARY PUBLIC, STATE OF FLORIDA AT LARGE.
MY COMMISSION EXPIRES NOV. 9, 1979.

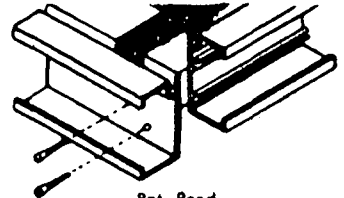
D--Type Concrete

New 1201 Plan



CLIMATROL FLORIDA CORPORATION

529 South Industry Road
COCOA, FLORIDA 32922
Telephone: 632-0264



Pat. Pend.
Originators and Manufacturers of
Extruded Aluminum Patio, Pool
and Screen House Enclosures.

CLIMATROL FLORIDA CORP.
2201 S.E. Indian St., Bldg., 1-78
Stuart, Florida 33494

Ph: 283-8070 - West Palm 842-4655

MELBOURNE: (305) 727-2600
ORLANDO: (305) 422-2646
JACKSONVILLE: (904) 269-2201

Job No. _____

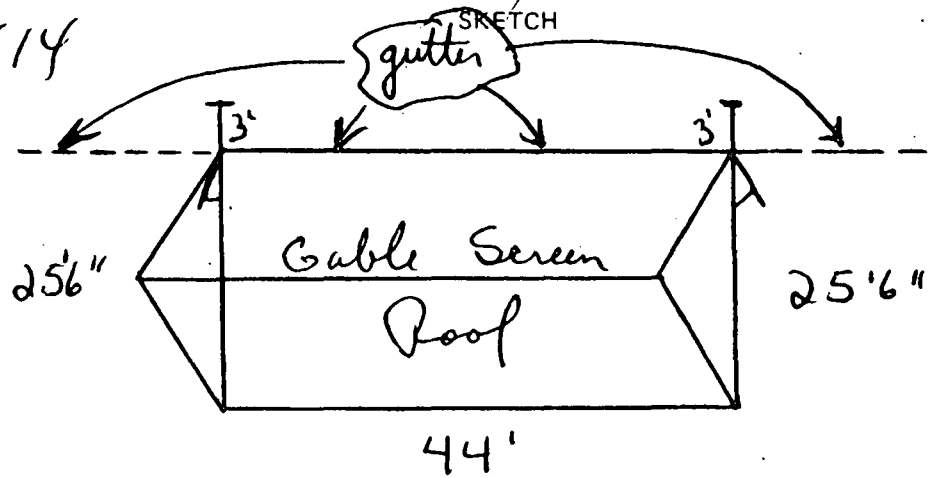
SOLD TO MCCP (D. Murphy) PHONE 2834372 DATE 8-2 1979

ADDRESS _____ CITY _____

INSTALLATION ADDRESS 30 E. Highpoint Rd CITY Sewall's Pt

TERMS & FINANCE C DELIVERY DATE _____

SCREEN WALLS	COLOR:	<u>Char. 18X14</u>
SCREEN ROOF	COLOR:	<u>Char. 18X14</u>
FLAT	<u>GABLE</u>	BUBBLE
DIVING DOME	<u>NO</u>	
BEAMS	<u>I-TYPE</u>	
ALUM. ROOF		
VINYL STRIPS	<u>NO</u>	
CHAIR RAIL	16" 24" <u>(36")</u>	
FLA. GLASS	<u>NO</u>	
KICK PLATE	SIZE	
DOORS	<u>(2)</u>	
GUTTERS	<u>76' ± 2 O.S.D.S.</u>	
COLUMNS		
WINDOWS	TYPE	
CABLEBRACES	<u>YES</u>	
ENGINEER DRAWINGS		
PERMIT	<u>1036</u>	<u>9/12/79</u>
LOT	BLOCK	<u>—</u>
<u>S.E. 1/4 101 NE 1/4 102</u>		
SUBDIVISION	<u>Highpoint</u>	

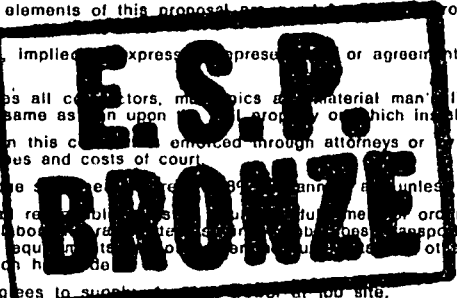


TOTAL PRICE \$ 2639⁰⁰ DEPOSIT \$ _____ BALANCE \$ _____

THIS PRICE IS BASED ON DIMENSIONS SHOWN IN THE ABOVE SKETCH

MATERIAL & WORKMANSHIP GUARANTEED FOR 1 YEAR

- For the total price including tax the seller agrees to fabricate, deliver and install the screen enclosure described above.
- This proposal does not become a contract until accepted and signed by an officer of the seller-company, and if not accepted, any cash payment will be returned.
- Price terms and other elements of this proposal shall be as stated on the contract from date _____ and void thereafter at the seller's option.
- No statement, warranty, implied or express, representation or agreement, written or verbal, not appearing upon the face of this contract shall be binding upon the parties hereto.
- Seller expressly reserves all copyrights, trademarks and material man's lien which may be asserted under any provision of law to secure payment of the contract price and may assert and fix the same as an lien upon the real property on which installation is made.
- In the event payment on this contract is enforced through attorneys or by suit or in bankruptcy or probate proceedings, seller may recover and purchaser hereby agrees to pay reasonable attorney fees and costs of court.
- All sums not paid as due shall be due and payable upon completion of work.
- Seller agrees to take all reasonable steps to complete the work as soon as possible after orders received, but our performance is subject to delays or cancellations caused by war, accident, strikes, inability to secure labor, materials, transportation shortages and delays, government conscription, priorities, and restraint, failure on your part to give notice of your requirements, or other information and all other causes whether of the same or different class affecting the whole or any part of seller's obligation hereunder.
- Contractor or owner agrees to supply water, power or job site.
- Climatrol Florida Corporation will retain title until full payment of obligation of indebtedness is met.

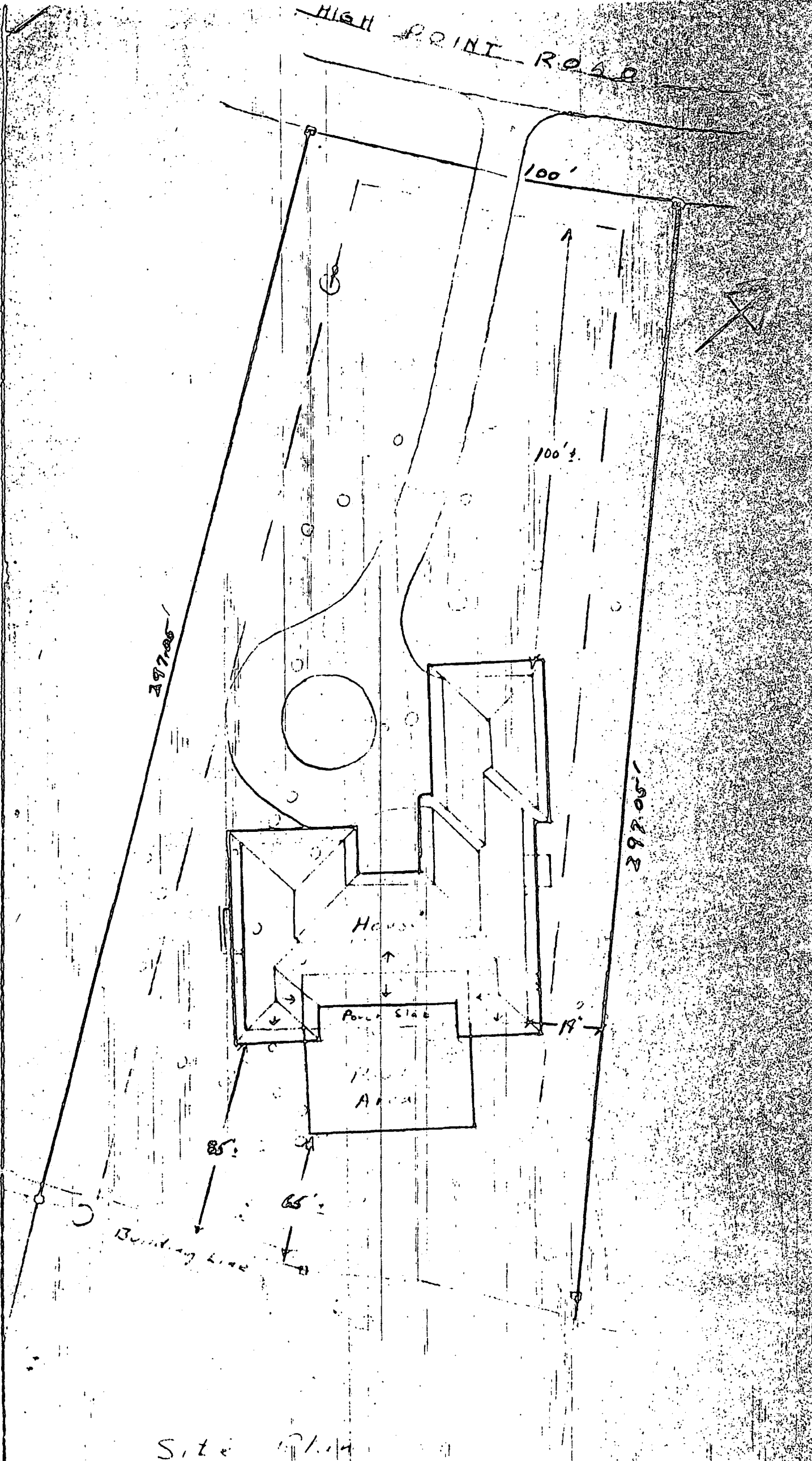


I/WE have read the foregoing proposed contract and accept the same on the terms and conditions stated above.

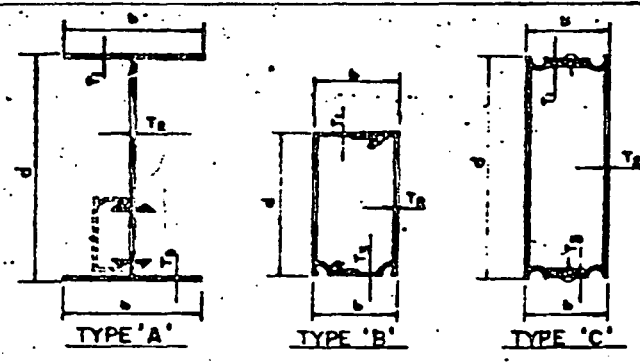
Sign here
PURCHASER X Martin Cook Custom Pool Inc.
DATE July 20, 1979 8-2

CLIMATROL FLORIDA CORPORATION
By Michael A. Donsini

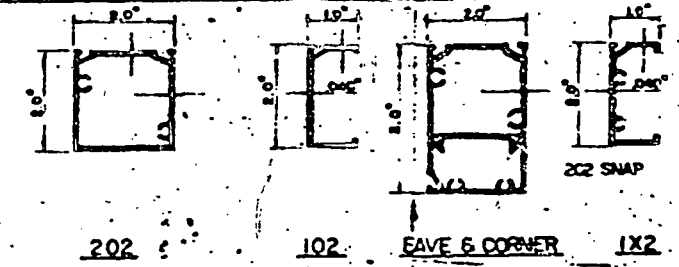
HIGH POINT ROAD



Site Plan



BEAMS AND COLUMNS



MISCELLANEOUS COMPONENTS

BEAM AND COLUMN SCHEDULE											
MARK	TYPE	SIZE		THICKNESS			MAX. BEAM SPAN SPACED C-C			REMARKS	
		b	d	T ₁	T ₂	T ₃	6'-0"	7'-0"	8'-0"		
603	A	3.00	6.00	.300	.094	.060	.094	26'-0"	24'-0"	22'-0"	W/2-1 X2'S SNAPPED ON
703	A	3.00	7.00	.300	.125	.066	.125	30'-0"	29'-9"	28'-0"	DO.
804	A	4.00	8.00	.400	.125	.070	.125	35'-0"	35'-0"	33'-0"	DO.
1004	A	4.00	10.00	.400	.140	.096	.140	48'-2"	48'-0"	45'-0"	DO.
302	B	2.00	3.00	.050	.050	.050	.050	12'-0"	11'-0"	10'-0"	
202	MISC	2.00	2.00	.040	.040	.040	.040	8'-0"	8'-0"	7'-0"	
402	B	2.00	4.00	.040	.050	.050	.050	14'-0"	12'-9"	12'-0"	#10X1/2" S.M.S. AT 24" C.C.
602	C	2.00	6.00	.040	.050	.050	.050	21'-0"	25'-0"	23'-0"	DO.
702	C	2.00	7.00	.140	.060	.050	.050	33'-0"	31'-0"	29'-0"	DO.

COLUMN SCHEDULE										
MARK	TYPE	SIZE		THICKNESS			MAX. COLUMN HT. SPACED C-C			REMARKS
		b	d	T ₁	T ₂	T ₃	6'-0"	7'-0"	8'-0"	
302	B	2.00	3.00	.050	.050	.050	9'-0"	8'-6"	8'-0"	
402	C	2.00	4.00	.060	.050	.120	12'-0"	11'-0"	10'-0"	

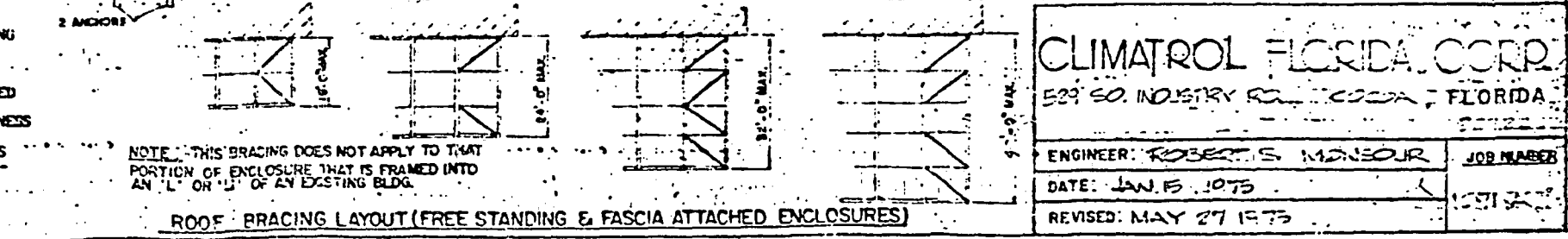
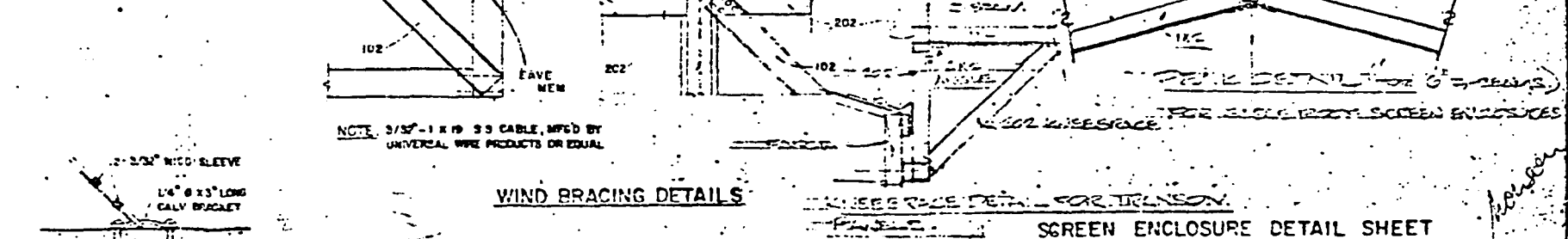
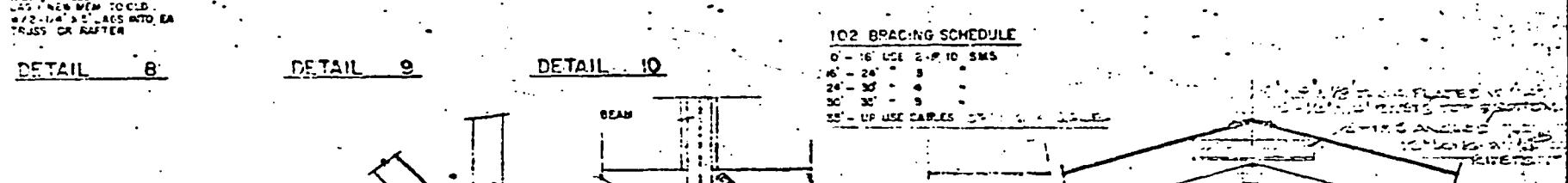
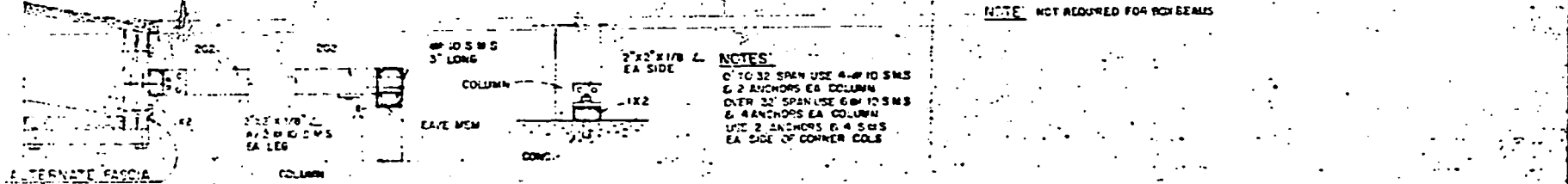
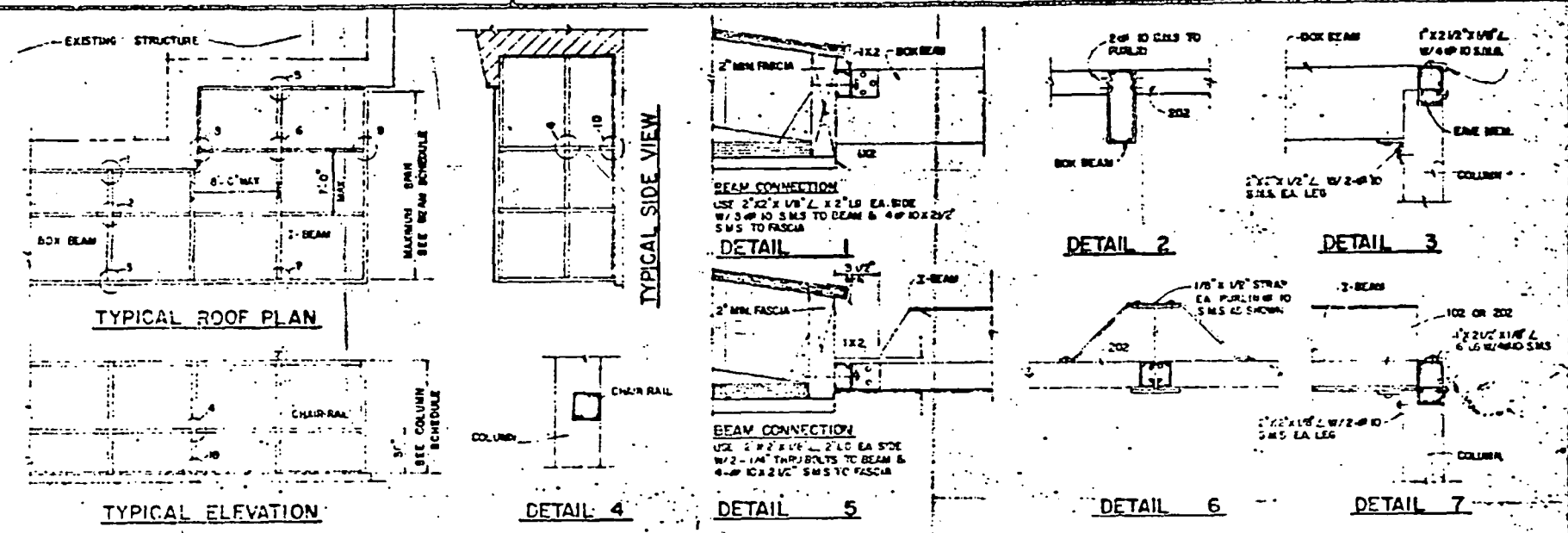
MISCELLANEOUS FASTENING SCHEDULE		
MEMBER	DESCRIPTION	FASTENER
202	STRUT TO C2 AT BEAM	2 @ 10X3/4" S.M.S.
202	STRUT TO EAVE SECTION	DO
202	CHAIR RAIL TO COLUMN	DO
1X2	PERIMETER MEM JOINED	DO
1X2	PERIMETER MEM. TO COL.	DO
1X2	PERIMETER MEM. TO CONC.	ANCHOR AT 24" C-C
1X2	PERIMETER MEM. TO WOOD	Ø1X2 1/2" S.M.S 24" CC

DESIGN CRITERIA

WALLS: DESIGN WIND LOAD IN & OUT 10 PSF.
 TEST LOAD WIND IN & OUT 15 PSF.
 ROOF: DESIGN LIVE LOAD DOWN 6 PSF.
 DESIGN WIND LOAD UP 16 PSF.
 TEST LOAD UP & DOWN 9 PSF.
 RECOVERY AT TEST LOAD 50% MIN.

SCREEN WALL CABLE SCHEDULE				
HEIGHT	SPAN	CABLES	SPACED	REMARKS
8'-0"	12'-0"	1 SET (2 CABLES)	33'-0"	2 SETS (4 CABLES)
8'-0"	15'-0"	1 SET (2 CABLES)	30'-0"	2 SETS (4 CABLES)
10'-0"	12'-0"	1 SET (2 CABLES)	30'-0"	2 SETS (4 CABLES)
17'-0"	12'-0"	1 SET (2 CABLES)	24'-0"	2 SETS (4 CABLES)
12'-0"	12'-0"	1 SET (2 CABLES)	24'-0"	2 SETS (4 CABLES)

ANCHORS TO CONCRETE & MASONRY SHALL BE 1/4" X 2 1/2" THUNDERBOLTS #10 X 2 1/2" S.M.S. IN JORDAN 1020 ANCHOR OR APPROVED EQUAL.



CLIMATROL FLORIDA CORP.
 529 SO. INDUSTRY ROAD, GORRA, FLORIDA

ENGINEER: ROBERT S. MONEOUR JOB NUMBER: _____
 DATE: JAN 15 1975
 REVISED: MAY 27 1975

1164

FENCE

1164

TOWN OF SEWALL'S POINT FLORIDA

Permit No. _____

Date May 21, 1980

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner Dr. Frank Murphy Present address 30 E. High Point Rd.

Phone 2834372

Contractor ~~Sears Roebuck Co.~~ ^{Paul} _____ Address ~~Ft. Pierce~~ 30 E. High Point Rd.

Phone _____

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 4' chain link fence for animal area of side yard.

State the street address at which the proposed structure will be built: 30 E. High Point Rd.

Subdivision _____ Lot No. 101 + 102

Contract price \$ 578.22 Cost of Permit \$ 5XX

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Frank Murphy

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Frank Murphy

TOWN RECORD

Date submitted May 21, 1980

Approved: J. Amey Building Inspector Date 5/28/80

Approved: G.C. Strubell Commissioner Date 5/28

Final Approval given: June 30, 1980 J.A.M. Date

Certificate of Occupancy issued _____ Date

SP/1-79

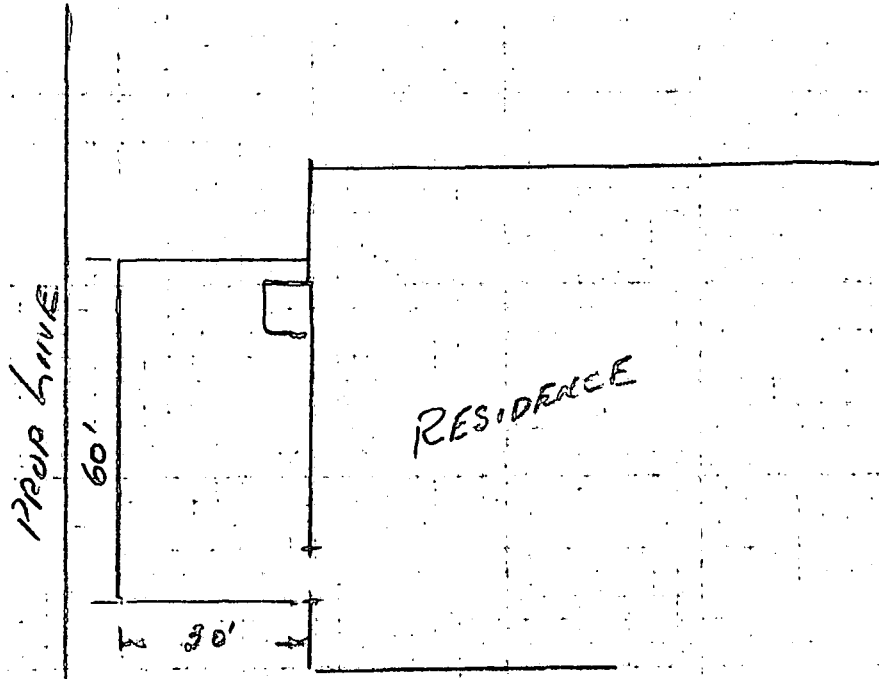
Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Code.

1164

RECEIVED MAY 21 1980

DR. MURPHY
30 EAST H.P. ROAD

4' HIGH FABRIC FENCE



N ←

Jim 5/28/80

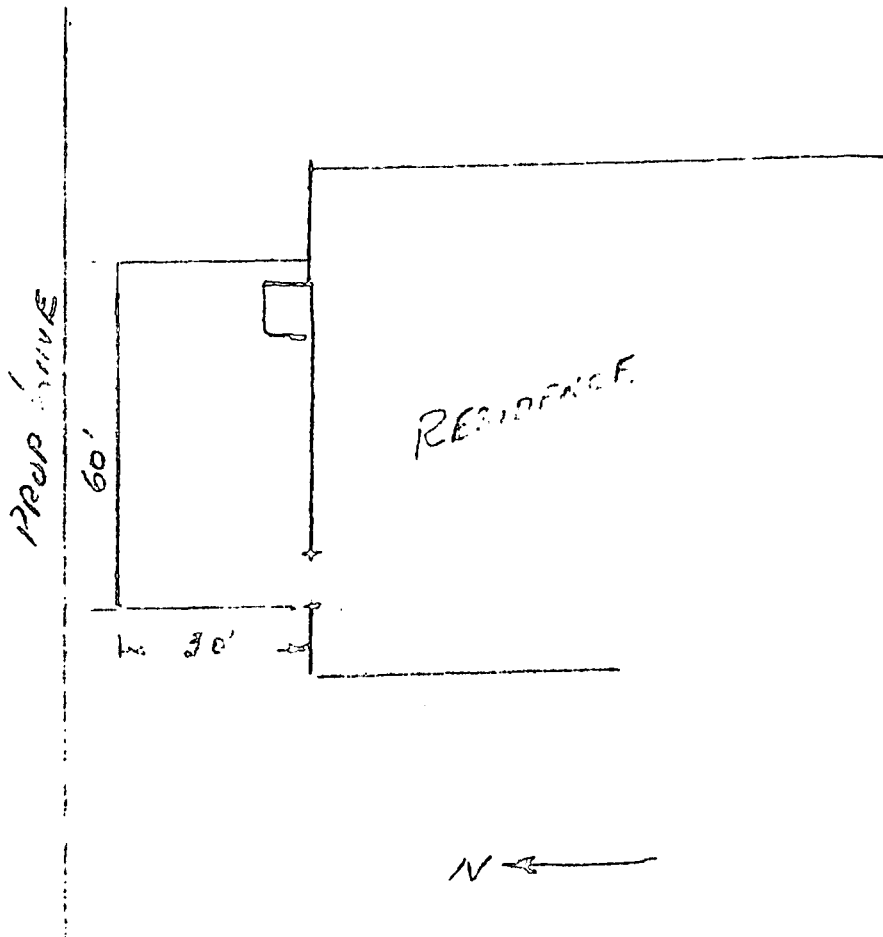
Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

JS 5/28

DR MURPHY
30 ENEY A.P. 12000

RECEIVED MAY 21 1980

6' HIGH FIBER FENCE



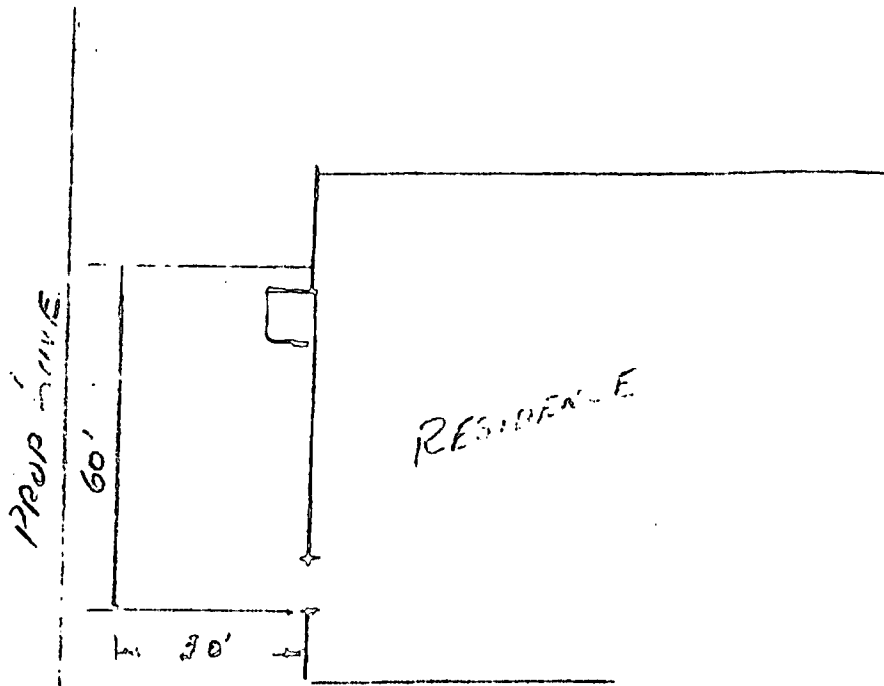
gaw 5/28/80

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

DR. MURPHY
30 EAST WILLOW

RECEIVED MAY 21 1980

4' HIGH FUSION FENCE



Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

GS/28

5110108

SHIPPING UNIT NO. <i>725</i>		DIV. <i>26</i>		SALES NO. <i>11621</i>	DATE OF SALE MONTH DAY YEAR <i>1 14 80</i>			SELLING STORE NO. <i>2276</i>		
CASH 0	COD 1	CLC 2	CLC 3	DC 5	DC 6	EP 7	DC 8	CREDIT INFORMATION TERMS: C-LIFE/A-SALE	DELAY BILL DATE MONTH DAY	DEF. PMT. CODE MONTH
									<i>1</i>	<i>2</i>

ACCOUNT NUMBER <i>75 97024 92584 0</i>							NO. OR NAME OF STORE CARRYING ACCOUNT	
NAME (PRINT) <i>Malcolm Murphy</i>							<i>2605</i>	
ADDRESS <i>20 Highland Park</i>							APPROVAL	

CITY <i>San Francisco, CA</i>		STATE <i>CA</i>		ZIP CODE <i>94115</i>		PHONE <i>774-112</i>	
DELIVERY DATE	MONTH	DAY	ROUTE NUMBER	TYPE DEL.	HANDLING CODE		

SHIP FROM		SPECIAL INSTRUCTIONS <i>Completed - 1/15/80</i>					
<input type="checkbox"/> STORE STOCK <input type="checkbox"/> CMDC		<input type="checkbox"/> STORE WHSE. <input type="checkbox"/> DIST. CTR.					

QUAN.	STOCK NO.	SIZE	COLOR	DESCRIPTION	UNIT PRICE	CASH PRICE
<i>105</i>	<i>60224</i>	<i>48"</i>	<i>11.5oz</i>	<i>Fabric</i>		<i>42.45</i>
						<i>29.17</i>
						<i>117.64</i>
					<i>122.91</i>	<i>16.71</i>
					<i>122.91</i>	<i>149.42</i>

DO NOT WRITE IN THIS SPACE

THIS IS PART FOR *261* PART OF ORDER *BA996* WITH PRICE *578.77*

CUSTOMER COPY

CASH DOWN PAYMENT	
BALANCE	

PLEASE RETAIN THIS COPY FOR COMPARISON WITH YOUR MONTHLY STATEMENT,
OR IN CASE OF RETURN, OR EXCHANGE.

Thank You For Shopping at

Sears

SEARS, ROEBUCK AND CO.

This purchase is made under my Sears Revolving Charge Account and Security Agreement or my SearsCharge Security Agreement or my SearsCharge Modernizing Credit Plan Security Agreement, which is incorporated herein by reference, for the credit sales price consisting of the cash price plus the FINANCE CHARGE. This order is subject to the approval of the Credit Sales Department of Sears, Roebuck and Co.

This purchase is payable in installments under my Sears Easy Payment Plan-Modernizing Credit Plan Retail Installment Contract and Security Agreement, which is incorporated herein by reference, for the credit sales price consisting of the cash price plus the FINANCE CHARGE. I agree that Sears shall retain a security interest under the Uniform Commercial Code in the merchandise purchased and that I have the risk of loss or damage to the merchandise until paid for in full. This order is subject to the approval of the Credit Sales Department of Sears, Roebuck and Co.

CUSTOMER COPY

SEARS, ROEBUCK AND CO.
FENCING ESTIMATE and PROPOSAL

No. **166904**

Store FT Place 2725 Date 5-14-1950

Mr. Lawrence Murphy 283 4372
CUSTOMER'S NAME PHONE NUMBER
30 High Point Rd Sewells Point FL
CUSTOMER'S ADDRESS (STREET AND NO.) (CITY) (STATE)

Location of property on which fence materials are to be installed:
Stone -
(STREET AND NO.) (CITY) (COUNTY) (STATE)

- LAWN
- CHIEFTAIN CL
- CUSTODIAN CL
- CHAMPION CL
- WOOD

OVERALL LENGTH	OVERALL HEIGHT
<u>114</u>	<u>4'</u>
WALK GATE	DRIVE GATE
<u>1</u>	<u>1</u>

CHAIN LINK	
WIRE GAUGE	DIAMETER TERMINAL POST
<u>11.5</u>	<u>2"</u>
DIAMETER LINE POST	DIAMETER TOP RAIL
<u>1 5/8</u>	<u>1 3/8</u>
DIAMETER GATE FRAME	LINE POST SPACING
<u>Std</u>	<u>10'</u>
KNUCKLE UP	BARB UP
<input checked="" type="checkbox"/>	<input type="checkbox"/>

WOOD	
TYPE OF WOOD	STYLE OF FENCE

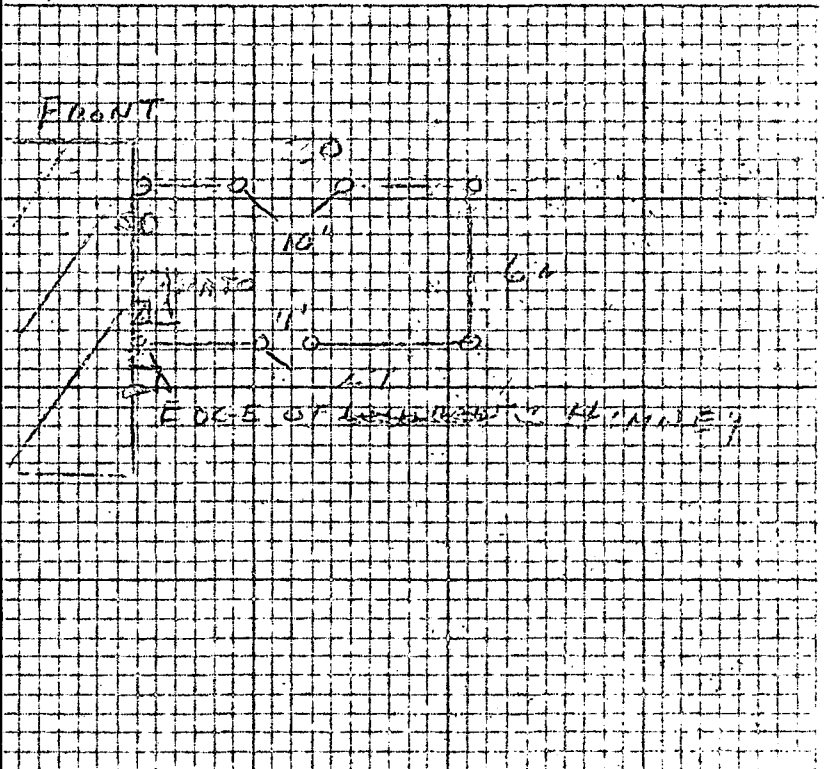
- SPECIFICATION**
- TOP RAIL OF FENCE TO FOLLOW GROUND
 - TO BE LEVEL WITH LOWEST GRADE
 - TO BE LEVEL WITH HIGHEST GRADE
 - SPLIT THE GRADE
 - LINES CLEAR OF OBSTRUCTIONS
 - LINES STAKED WITH CUSTOMER
 - DISCUSS WITH CUSTOMER WHICH POST GATE SWINGS ON, ALSO IF GATE SWINGS IN OR OUT

- DIAGRAM KEY**
- FENCE TO BE ERECTED
 - TIE-ONS (GET PERMISSION)
 - TERMINAL POST
 - EXISTING FENCE *****
 - WALK GATE
 - DOUBLE GATE
 - BUILDINGS

EXTRA INSTRUCTIONS

Customer to receive permit

DIAGRAM



NOTE: In above plot, the side of each small square equals _____ lineal feet.

Estimate and Proposal. Sears offers to furnish the materials listed above and arrange for their delivery and installation as shown above and/or on attached Sketches and Specification Sheets for the total cash price shown. This offer must be approved by the Installation Department. If this is a Credit Sale or a Payment on Completion sale, it must also be approved by the Credit Sales Department. If this proposal is not approved or the installation cannot be made in accordance with the law, the offer will be withdrawn and any payments you have made will be refunded to you.

Installation and Warranty Information. I understand Sears will not install the materials but will arrange for the installation. Sears is responsible only for materials and installation furnished and arranged by Sears. Appropriate warranty documents will be given to me by Sears. Any materials left over after the installation has been completed are Sears property and shall be removed by Sears.

Authorization. I authorize Sears 1) to arrange for a contractor (licensed where required by law) to make the installation of materials, 2) to issue a work order for this installation to a contractor, 3) to inspect the installation and 4) to pay the contractor when the installation is complete if I have signed a certificate that the installation has been completed to my satisfaction.

Delays in Installation. I agree that Sears is not responsible for delays in delivery or installation if the delay is caused by fire, strikes, war, governmental regulations or any causes beyond its control.

Verbal Agreements and Changes in Proposal. I understand there are no verbal agreements. Everything I expect Sears to do has been included, in writing, in this proposal. Nothing can be changed in this proposal except in writing on a separate proposal form accepted by myself and Sears.

Payment. I will pay Sears the cash price which covers the price of materials and installation as shown.

Responsibility of Buyer. I agree to locate and identify the property line, easements and all underground cables and pipes. I agree that I am solely responsible for the location of the fence described in this proposal. I will also defend Sears and reimburse them for all costs in connection with any claims made by anyone about the location of the fence. I am responsible for any special work described on the back of this proposal.

Unusual Conditions - Additional Charges. I agree that Sears has the right to make additional charges if unusual ground conditions hinder the installation. Such unusual ground conditions may be rock formations, hidden foundations, tree roots, and other similar obstacles. Any charges necessary to satisfactorily complete the installation will be based on actual additional labor, equipment and material costs.

CASH PRICE	<u>578.27</u>
() CASH	() MCP
() EP	() POC
() SRC/SC	()
() SCMCP	()

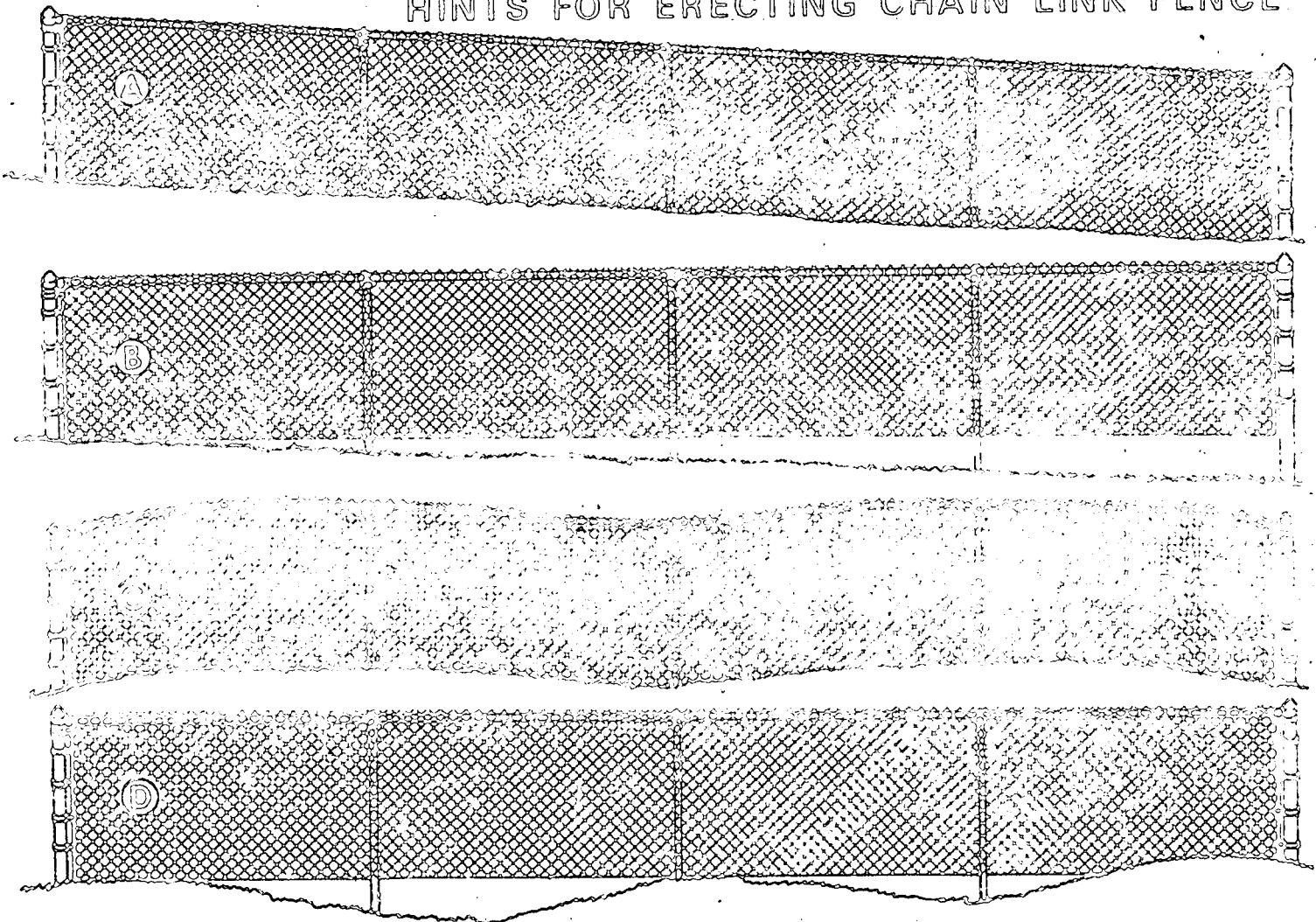
Customer can buy at this price until _____ (DATE)

CUSTOMER'S SIGNATURE Lawrence Murphy

HUSBAND OR WIFE'S SIGNATURE _____

SALES REPRESENTATIVE Jim Baggett

HINTS FOR ERECTING CHAIN LINK FENCE



- (A). Install Fence "Splitting the Grade" (customer will level ground later).
(B). Install Fence level (customer may fill in later).
(C). Follow contour of ground.
(D). Install along top of ground (customer may fill in later).

SPECIAL WORK: (TO BE PERFORMED BY THE CUSTOMER)

CREDIT SALE OF INSTALLED MERCHANDISE

Customer Name Mrs Lavinia Murphy

75	87024	90534	0
----	-------	-------	---

Address 30 High Point Rd Sewells Point Account Number
Division/Merchandise 32/C/F Fence Date of Transaction 5/16/80

NOTICE OF RIGHT OF RESCISSION

NOTICE TO CUSTOMER REQUIRED BY FEDERAL LAW:

You have entered into a transaction on the above date which may result in a lien, mortgage or other security interest on your home. You have a legal right under federal law to cancel this transaction, if you desire to do so, without any penalty or obligation within three business days from the above date or any later date on which all material disclosures required under the Truth in Lending Act have been given to you. If you so cancel the transaction, any lien, mortgage, or other security interest on your home arising from this transaction is automatically void. You are also entitled to receive a refund of any down payment or other consideration if you cancel. If you decide to cancel this transaction, you may do so by notifying:

SEARS, ROEBUCK AND CO.

at FT Pierce FL PO Box 129

by mail or telegram sent not later than midnight of 5-19, 1980. You may also use any other form of written notice identifying the transaction if it is delivered to the above address not later than that time. This notice may be used for that purpose by dating and signing below.

I hereby cancel this transaction.

(Date)

(Customer's Signature)

EFFECT OF RESCISSION: When a customer exercises his right to rescind under paragraph (a) of section 226.9 of Regulation Z, he is not liable for any finance or other charge, and any security interest becomes void upon such a rescission. Within 10 days after receipt of a notice of rescission, the creditor shall return to the customer any money or property given as earnest money, down payment, or otherwise, and shall take any action necessary or appropriate to reflect the termination of any security interest created under the transaction. If the creditor has delivered any property to the customer, the customer may retain possession of it. Upon the performance of the creditor's obligations under this section, the customer shall tender the property to the creditor, except that if return of the property in kind would be impracticable or inequitable, the customer shall tender its reasonable value. Tender shall be made at the location of the property or at the residence of the customer, at the option of the customer. If the creditor does not take possession of the property within 10 days after tender by the customer, ownership of the property vests in the customer without obligation on his part to pay for it.

I Acknowledge Receipt of TWO (2) Copies of this NOTICE OF RIGHT OF RESCISSION

5-16-80
(Date)

X Lavinia Murphy
(Customer's Signature)

NOTICE TO CUSTOMER
This notice applies to Credit Sales of installed merchandise regardless of where you signed the agreement to purchase.

1502

DOCK & STAIRCASE

1502

TOWN OF SEWALL'S POINT FLORIDA

RECEIVED

Permit No. _____

AUG 12 1982

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner DR & MRS. FRANK MURPHY Present address 30 E. High Point Rd.

Phone 2834372

Contractor Builder - Owner Address _____

Phone _____

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Dock + Staircase

State the street address at which the proposed structure will be built:

30 E High Point

Subdivision High Point Lot No. E 1/2 102 + W 1/2 101

Contract price \$ 5000.00 Cost of Permit \$ _____

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Frank O. Murphy m.o.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Frank O. Murphy m.o.

TOWN RECORD

Date submitted 8/11/82

Approved: J. L. Mazzucca Building Inspector Date 8/18/82

Approved: J. C. Strubell Commissioner Date 8/23/82

Final Approval given: 9/16/82 Jan. Date

Certificate of Occupancy issued New Reg. Date

1502

Proposed Dock Dr. Murphy
30 E. High Point Rd.
MARTIN COUNTY, Fla.
Date 8/12/82

②

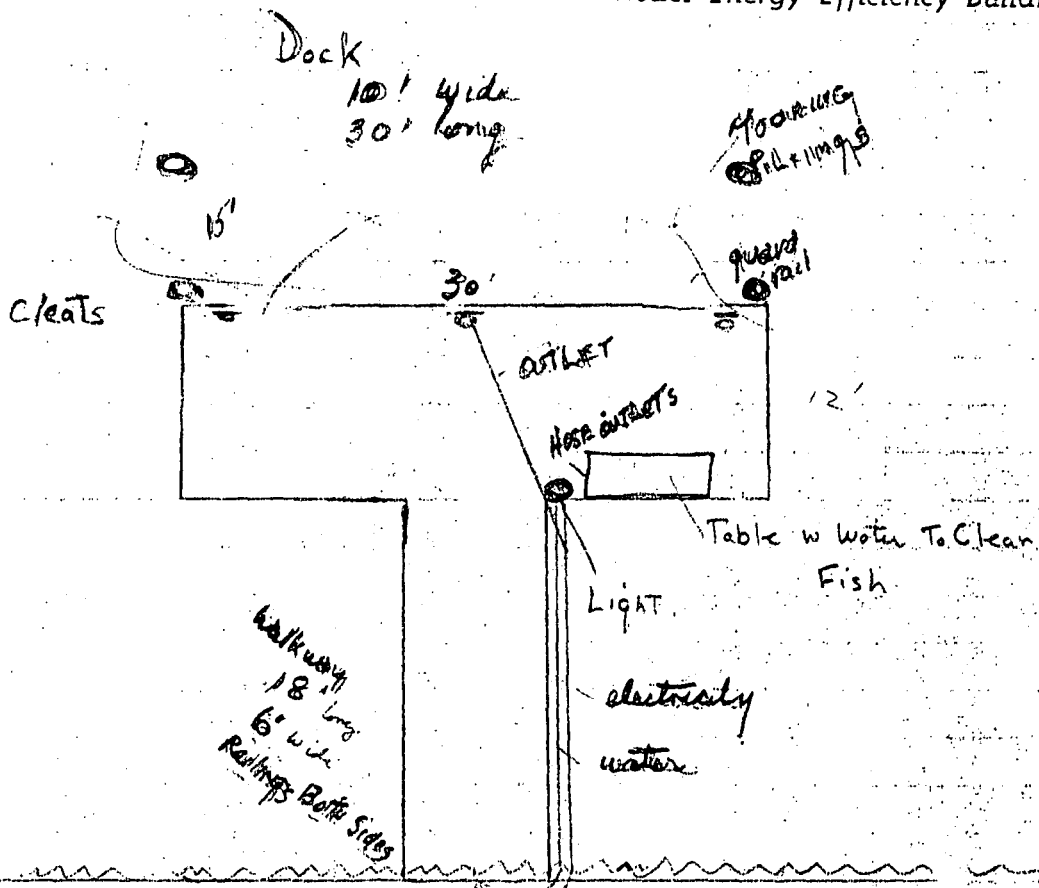
Dock

RECEIVED

AUG 12 1982

Ans'd..... 8/23
JLM 8/18/82

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.



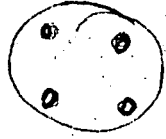
Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

Dock - PVC Piling w Pressure Treated Wood Decking.
Concrete filled

Piling

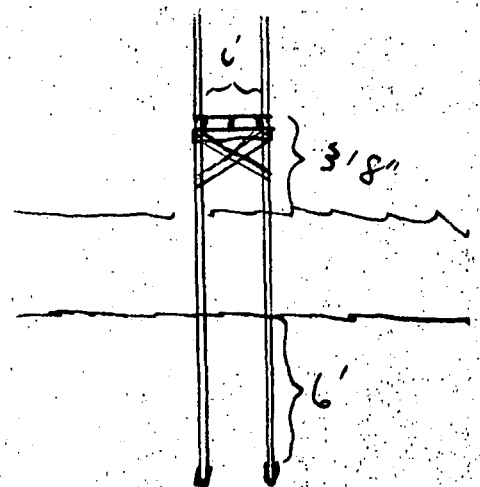
6" PVC Catwalk
8" PVC Dock

4 #5 Rebar



Water

ground



Decking 2"x8"

Stringers 2"x8"

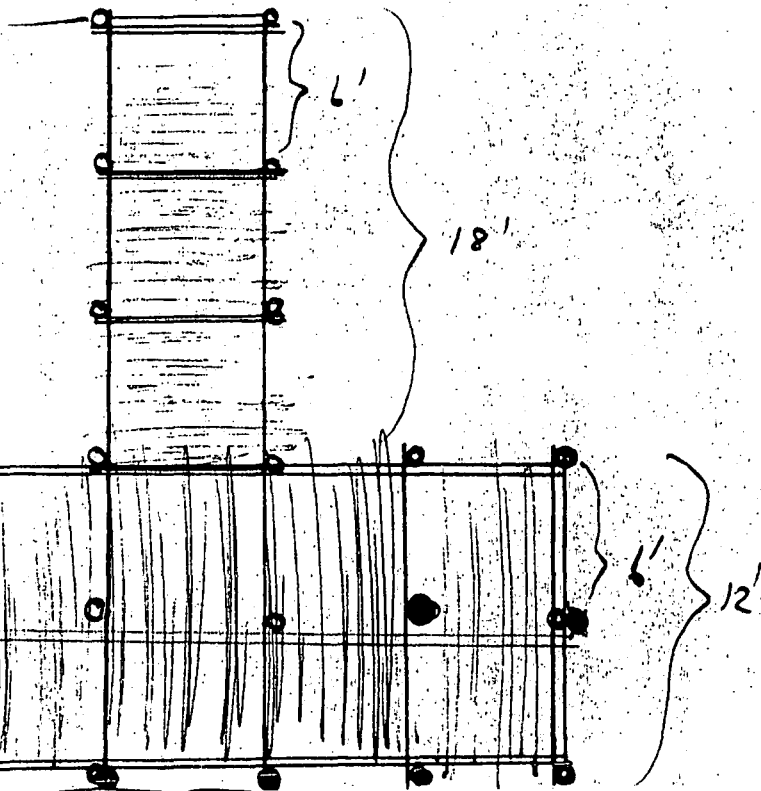
BRACING 2"x8"

1/4" spacing of Decking

NAILS # 10 P Hot Dipped Gal. Nails

Bolts 5/8" GAL Bolts

Rebar #5 MHW



RECEIVED

AUG 12 1982

Ans'd.....

John 8/18/82 *JFS* 8/23

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

Dock Proposed For Dr Murphy
30 E High 10th Rd.
Martin County, Fla
Dot.

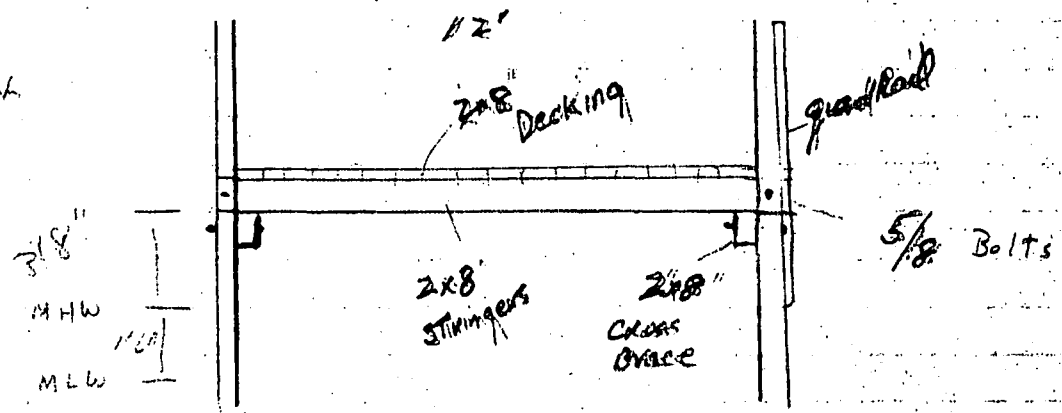
5

Dock

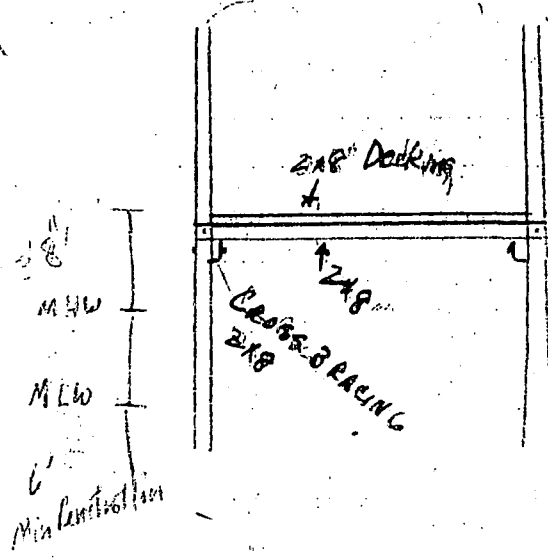
Typical Sections Thru Dock

PVC Piling's.

Dock



6' Min Penetration
Walkway



RECEIVED
AUG 12 1982
Ans'd.....

JMU 8/18/82
8/23

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall
Point's Ordinances, the South Florida
Building Code and the State of Flor
Model Energy Efficiency Building Co

Exemptions

The following projects are exempted under Florida State Law, and/or Florida Administrative Code, from State permitting procedures pursuant to Chapters 253 or 403, Florida Statutes. Water quality certification under Section 401 of PL 92-500 has also been waived by the state. If your proposed projects fits into one of these categories, no DER permit will be required, nor will payment of DER application fees be required. Your proposed project must, however, meet state water quality standards, Section 17-3, Florida Administrative Code.

Use of state lands may require permission from the Bureau of State Lands, Florida Department of Natural Resources, Crown Building, Tallahassee 32304, Telephone 488-4585. Dock construction for commercial purposes and maintenance dredging in natural bodies of water should be checked with them.

Since an individual federal permit may be required for most of the projects listed below, please complete the application as indicated, and mail to the nearest Department of Environmental Regulation Office.

Projects Exempted from DER Permitting Requirements

Section 17-4.04(10) (FAC) (10) Construction; Dredging and/or filling activities associated with the following types of projects:

- (a) The installation of overhead transmission lines where the support structures are not constructed in waters of the state and which do not create a navigational hazard;
- (b) The installation of aids to navigation and buoys associated with such aids, except in Class II Waters. An aid to navigation is a device marked pursuant to Section 371.521, Florida Statutes, which is necessary to assist a navigator in determining his position or safe course or to warn him of dangers or obstruction to navigation.

vate docking facilities and the installation and repair of private docks of five hundred (500) square feet or less of over water surface area constructed on pilings or floating, so as not to substantially impede the flow or create a navigational hazard. A private dock is a single pier at a privately owned or controlled parcel of property. Provided, that for the purposes of this rule, multi-family living complexes and other types of complexes or facilities associated with the proposed private dock shall be treated as one parcel of property regardless of the legal division of ownership or control of the associated property. Construction of a private dock under this exemption does not require the department to issue a subsequent permit to construct a channel to provide navigational access to the dock. Activities associated with a private dock shall include the construction of structures attached to the pier which are only suitable for the mooring or storage of boats (i.e. boatlifts). This exemption does not include any dredging or filling.

- (d) The performance for ten (10) years from issuance of the original permit granted prior to July 1, 1975, of maintenance dredging of existing man-made canals, channels and intake and discharge structures, where the spoil material is to be removed and deposited on a self-contained, upland [as defined in Section 17-4.02 (18), Florida Administrative Code] spoil site which will prevent the escape of the spoil material into the waters of the state; provided that no more dredging is to be performed than is necessary to restore the canal, channels, and intake and discharge structures to original design specifications. The phrase "original permit" used in this subsection means the first construction (i.e. dredging) or maintenance dredging

LETTER OF NO OBJECTION

We, Charles + Donna and Fraraccio,
being the owner(s) of certain property adjacent to and abutting
the property of Dr. FRANK + LAURIZ and MURPHY, who
have applied for a dock permit for construction, have reviewed
Appendix B-Zoning, Section II, sub-section M, concerning dock and
pier requirements for construction within the town of Sewall's
Point; and, have read and reviewed the drawing of the dock as
proposed and as drawn on the back hereof, showing size, location
in relation to my property of the proposed dock; and, I have no
objection to the proposed dock pursuant to the plan on the back
hereof.

Charles A. Fraraccio

Donna A. Fraraccio, his wife

STATE OF
COUNTY OF

SWORN TO AND SUBSCRIBED before me this 18 day of August,
1982.

Edward F. Kelly
Notary Public

My Commission expires:

Notary Public, State of Florida at Large
My Commission Expires Dec. 19, 1983



1855

GARDEN WALL

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number 1855

Date 9/1/85

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner DR. FRANK MURPHY Present Address 30 EAST HIGH PT. RD.

Phone 283-4372

Contractor PETE LOPILATO DBA COLONIAL CONST. Address 1300 NE COMMERCIAL ST JB

Phone 334-2867

Where licensed MARTIN COUNTY License number 165

Electrical contractor NONE License number _____

Plumbing contractor NONE License number _____

Roofing contractor NONE License number _____

Air conditioning contractor NONE License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: GARDEN WALL

State the street address at which the structure will be built:

30' EAST HIGH PT. RD. SEWALLS PT.

Subdivision HIGH PT. Lot number 102 Block number 4

Contract price \$ 1000⁰⁰ 130⁰⁰ Cost of permit \$ 10⁰⁰

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Pete Lopilato

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Dr. Frank Murphy

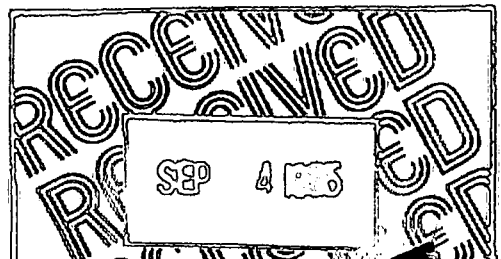
TOWN RECORD

Date submitted 9/4/85 Approved [Signature] Building Inspector 9/4/85 Date

Approved [Signature] Commissioner 9/5/85 Date Final Approval given _____ Date

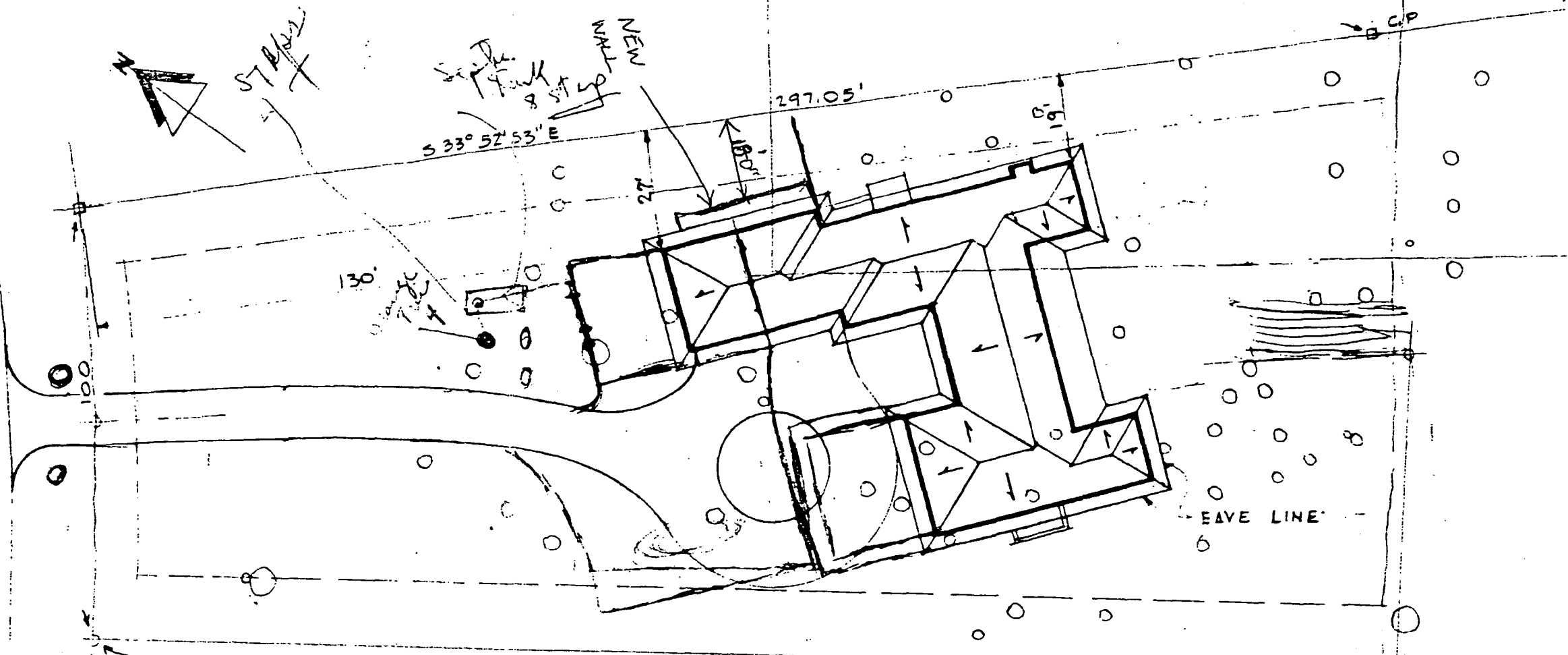
Certificate of Occupancy issued (if applicable) _____ Date

SP1184



Permit Number _____

HIGH POINT ROAD



SITE PLAN

SCALE 1" = 30'

js 9/5

WEST 1/2 OF LOT 101 & EAST 1/2 OF LOT 102 ISLE ADD'N TO HIGH POINT
PLAT BK 4, PAGE 47, MARTIN COUNTY, PUBLIC RECORDS

LEGAL DESCRIPTION

1995
CONCRETE DECK

1995

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Frank D. Murphy Present Address 30 E High Point Rd
Sewalls Point, Fla.
Phone 283-4372

Contractor Eugene Haggerty Address P.O. Box 1282
Hobe Sound Fla 33455
Phone 546-4810
Where licensed Martin County License number State Certificate #
CGC 235886

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Roofing contractor _____ License number _____

Air conditioning contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: _____

State the street address at which the structure will be built:

30 E ^{High} Point Rd.

Subdivision IS/E Addition of High Point Lot number 102 Block number _____

Contract price \$ ~~1075~~ 1075.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Eugene Haggerty

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Frank D. Murphy

TOWN RECORD

Date submitted _____ Approved Dale Br 5/6/86
Building Inspector Date

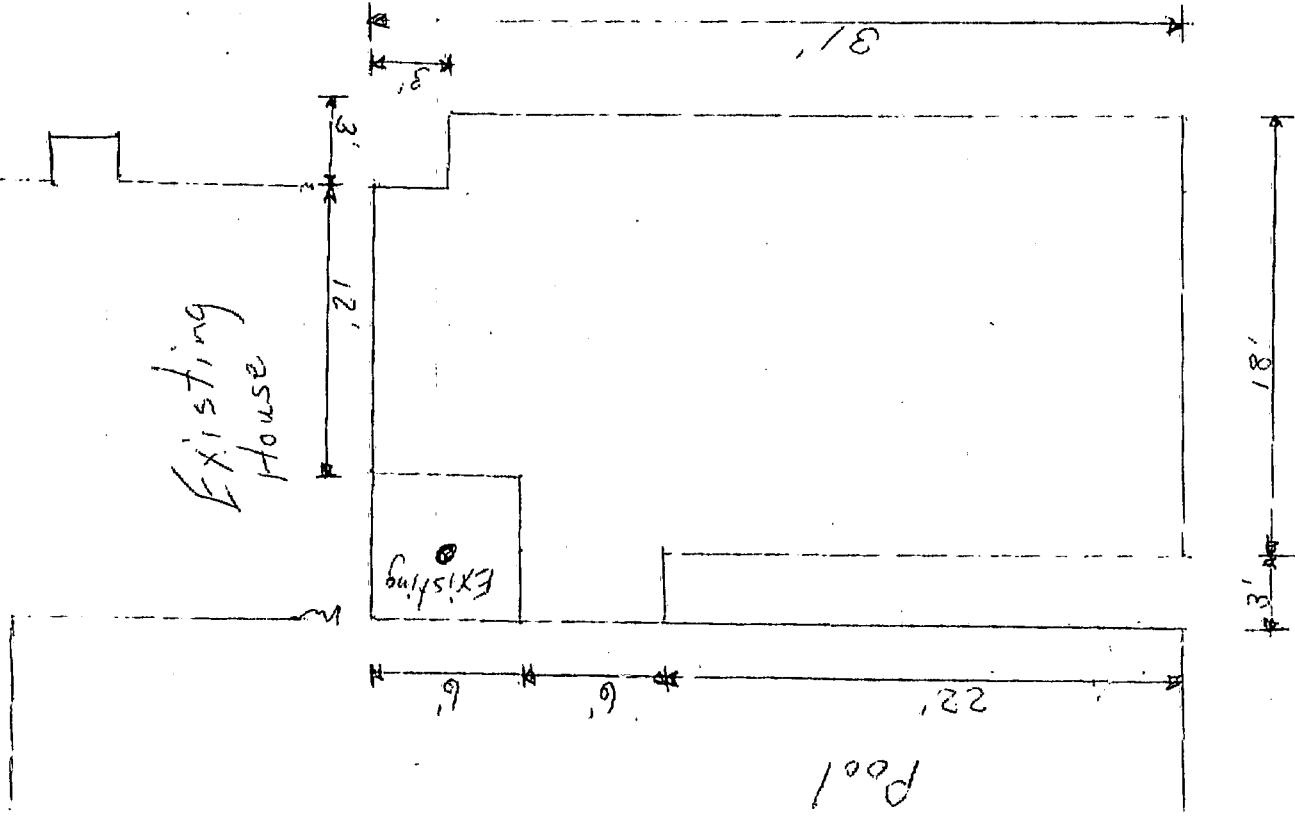
Approved _____ Final Approval given _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

1995

Existing House

4" Thick slab with
Thickend Edges
6x6 x 10-10 wire mesh
2500 PSI Concrete
Light Drum Finish



3515

RE-ROOF

APPLICATION FOR A PERMIT TO BUILD A DECK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Dr. Frank + Dr. Laura Murphy Project Address 30 E. High Pt. Rd.
Phone _____ Sewalls Pt.

Contractor Cardinal Roofing Inc. Address 1682 Neumeyer Cir.
Phone 407 335-9550 Port St. Lucie, FL.

④ Where licensed State of FL. License Number CCC032513

Electrical Contractor _____ License Number _____

Plumbing Contractor _____ License Number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Residence - Rear porch flat Roof

Reroof -
State the street address at which the proposed structure will be built: _____

Subdivision High Point Isles Lot Number 102 Block Number _____
NW.

Contract Price \$ 2400.00 Cost of Permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

X Contractor Burd S. Hays

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

X Owner Burd S. Hays

TOWN RECORD

Date submitted _____ Approved: Dale Brown 12/14/93
Building Inspector Date

Approved: _____ Final Approval given: _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date



OCCUPATIONAL LICENSE

CITY OF PORT ST. LUCIE

121 S.W. Port St. Lucie Boulevard
Port St. Lucie, Florida 34984-5099

TERM: OCTOBER 1, 19 92 TO SEPTEMBER 30, 19 93

This license does not warrant or hold that the licensee is competent to perform in the business(es) as licensed, but that the licensee has paid the required fee(s) and provided the necessary documentation (if required) to be licensed in this business. LICENSE MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS

BUSINESS ADDRESS: 1682 SE SOUTH NIEMEYER CIRCLE

LICENSE NO.: 00003839

CLASSIFICATION: CONTRACTOR/ROOFING

ISSUED TO: CARDINAL ROOFING AND SIDING
1682 SE SOUTH NIEMEYER CIRCLE

FEE: 100.00

Mary [Signature]

PORT ST. LUCIE, FL

BUSZIP

CITY LICENSE OFFICIAL

VALID AT THE ABOVE BUSINESS ADDRESS ONLY



1992-1993

ST. LUCIE COUNTY OCCUPATIONAL LICENSE
STATE OF FLORIDA

ACCOUNT 1761-09080
EXPIRES SEPT. 30, 1993

FACILITIES OR MACHINES

ROOMS

SEATS

EMPLOYEES 21-30

TYPE OF BUSINESS

1761 ROOFING/SHEET METAL CONTRACTOR

BUSINESS LOCATION

1681 SE SOUTH NIEMEYER

SUPPLEMENTAL
X RENEWAL
NEW LICENSE
TRANSFER - ORIGINAL TAX 27.

NAME MAILING ADDRESS

HOGAN BRAD S DBA
CARDINAL ROOFING AND SIDING CO
HOGAN, BRAD S.
1682 SE SOUTH NIEMEYER CIRCLE
PORT SAINT LUCIE FLORIDA

AMOUNT PENALTY COLLECTION COST TOTAL 27.
Date 10/08/92
Oper 9/08/92
Paid 11/11 27.00 OLI MHC

THIS LICENSE BECOMES NULL AND VOID IF BUSINESS NAME, CLASSIFICATION, OWNERSHIP OR ADDRESS IS CHANGED, UNLESS LICENSEE APPLIES TO TAX COLLECTOR FOR CORRECTION.

SUBJECT TO SUSPENSION OR REVOCATION IN ACCORDANCE WITH ORDINANCES OF SAID COUNTY.

DOROTHY J. CONRAD, TAX COLLECTOR ST. LUCIE COUNTY FLORIDA

0000000000 0000002700 0000017610908086 1001 0

CITY OF PORT ST. LUCIE
CONTRACTORS
CERTIFICATE OF COMPETENCY
EXPIRES SEPTEMBER 30, 1993

NAME: HOGAN, BRAD S
FIRM: CARDINAL ROOFING/SIDING CORP
1682 S.E. SOUTH NIEMEYER CIRCLE
PORT ST. LUCIE FL 34952

TYPE: CERT ROOFING CONI

STATE: FL 032513

CITY: PSL93 - 1676

AC# 1742110 STATE OF FLORIDA
DEPARTMENT OF PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

DATE	LICENSE NO.	BATCH NO.
04/24/92	CC C032513	41541

THE CERTIFIED ROOFING CONTRACTOR
NAMED BELOW IS CERTIFIED
UNDER THE PROVISIONS OF CHAPTER 489 F.S. FOR THE YEAR
EXPIRING AUG 31, 1994

HOGAN, BRAD S
CARDINAL ROOFING/SIDING CORP
437 NE BAYBERRY LN
JENSEN BEACH FL 34957-4620


LAWTON CHILES
GOVERNOR

DISPLAY IN A CONSPICUOUS PLACE


GEORGE SMITH JR.
SECRETARY D.P.R.



ESTIMATE

DIAL 407-335-9550
FL STATE LIC. # CCC032513

*Cardinal Roofing & Siding
of Florida*

CONSTRUCTION SPECIALISTS

1682 S.E. SOUTH NIEMEYER CIRCLE
PORT ST. LUCIE, FLORIDA 34952

TO: *Job- Dr. Frank Murphy*
30 E. High Pt. Rd.
Sewalla Pt., FL.

DATE *12-10-93*

Remove tar + gravel from rear flat Deck over porch
Remove tile as needed
Install a white modified bitumen over #75 FG. Base sheet
Fill in Tiles
Remove all debris
Approx. 600 SF.

Bruce Rosner

4479

REMODEL/ADDITION

MASTER PERMIT NO. 4479

TOWN OF SEWALL'S POINT

Date 10/7/98

BUILDING PERMIT NO. 4479

Building to be erected for Charles CRISPIN Type of Permit Remodel/Add

Applied for by CAA Florida Finest Coast (Contractor) Building Fee 2200.-

Subdivision High Pt. Lot 102 Block _____ Radon Fee 2.80

Address 30 E. High Pt. Impact Fee -

Type of structure Remodel/Addn. A/C Fee 100.-

Parcel Control Number: 13 38 41 003 000010119 Electrical Fee 100.-

Amount Paid _____ Check # _____ Cash _____ Other Fees (_____) Plumbing Fee 100.-

Total Construction Cost \$ 275,000.- Roofing Fee 100.-

TOTAL Fees 2602.80

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector

BUILDING PERMIT

2-1-99 PARTIAL HANGIERS

FORM BOARD SURVEY	DATE <u>N/A</u>	SHEATHING	DATE <u>PARTIAL 1-1-99</u>
COMPACTION TESTS	DATE <u>11-10-98</u>	FRAMING	DATE <u>2-8-99</u>
GROUND ROUGH	DATE <u>11-23-98</u>	INSULATION	DATE _____
SOIL POISONING	DATE <u>11-29-98</u>	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE <u>11-30-98</u>	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE <u>11-30-98</u>	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE <u>12-23-98</u>	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE <u>12-30-98</u>	STORM PANELS	DATE _____
DRIVEWAY	DATE <u>5-10-99</u>	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE <u>5-29-99</u>	FINAL INSPECTION	DATE <u>5-29-99</u>

FLOOD ZONE C

LOWEST HABITABLE FLOOR ELEV. 35.3

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

Town of Sewall's Point



P.I.N. 13-3841-003-000-01011-9 Date 9.10.98

BUILDING PERMIT APPLICATION

to construct:

4479

RESIDENTIAL NEW CONSTRUCTION ADDITION ALTERATION
COMMERCIAL

SQ. FEET _____

DEMOLITION _____

SQ. FEET _____

NET CHANGE _____

OTHER: _____ CONTRACT PRICE 275,000.00

Owner's Name CHARLES & JULIE CRISPIN

Owner's Address 30 E. High Point

Fee Simple Titleholder's Name (If other than owner) N/A

Fee Simple Titleholder's Address (If other than owner) N/A

City _____ State _____ Zip _____

Contractor's Name FLORIDA'S FINEST CONSTRUCTION INC.

Contractor's Address P.O. Box 555

City PORT SALERNO State FLORIDA Zip 34992

Job Name CHARLES & JULIE CRISPIN

Job Address 30 E HIGH POINT

City STUART, FLORIDA County MARTIN

Legal Description LOT 102, PLAT BOOK 4, PAGE 47

Bonding Company N/A

Bonding Company Address N/A

City N/A State _____

Architect/Engineer's Name KELLY & KELLY ARCHITECTS

Architect/Engineer's Address 119 WEST 6th STREET

Mortgage Lender's Name N/A

Mortgage Lender's Address N/A

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Julie Obrispin
Owner or Agent

9/11/98
Date

[Signature]
Contractor

9.11.98
Date

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 11th day of Sept 1998, by Roy P. Kraemer Jr who: [] is/are personally known to me, or has/have produced FLDL K050 73563 3670 as identification, and who did not take an oath.



(NOTARY SEAL)

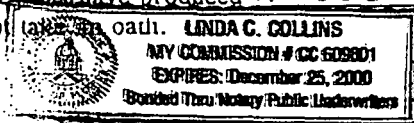
Linda C. Collins
Name:

Typed, printed or stamped
I am a Notary Public of the State of Florida having a commission number of _____

and my commission expires: _____

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 11th day of Sept 1998, by Julie Obrispin who: [] is/are personally known to me, or has/have produced FLDC 021-424-59 9680 as identification, and who did not take an oath.



(NOTARY SEAL)

Linda C. Collins
Name:

Typed, printed or stamped
I am a Notary Public of the State of Florida having a commission number of _____

and my commission expires: _____

Certificate of Competency Holder

Contractor's State Certification or Registration No. CBC 047650

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY _____ Permit Officer

PERMIT GENERAL CONDITIONS

Permit Applications must be accompanied by two (2) sets of the following:

(1) Plans, Sections, and Elevations with wind load and energy calculations signed and sealed by an architect or engineer and including plumbing, mechanical, and electrical drawings and calculations. **Plumbing, Mechanical, and Electrical** (also wells, pools, fences, etc.) require separate applications.

(2) Sketch or survey showing elevations and the locations of existing and proposed improvements, property lines, all setback lines, easements, rights-of-way, and any encroachments.

The permit is valid for twelve (12) months from date of issuance. Renewal of the permit may result in additional requirements and fees prevailing at the time of renewal.

All construction must conform to the Code of Ordinances of the Town of Sewall's Point ("Town Code") and the South Florida Building Code (Dade County 1994 edition, with revisions) ("Building Code"). An approval or permit issued based upon faulty documents or errors and/or omissions by the Building Official does not relieve the owner or the contractor of compliance with the Town Code or the Building Code, nor is it a license to circumvent the Town Code or the Building Code.

A temporary toilet is to be provided for workers or an existing toilet is provided and open to workers.

Debris must be contained in a dumpster-type metal container or must be immediately loaded in a truck (as reroofing may require). Debris will not be allowed to accumulate.

Inspections and permits may be suspended or revoked, work stoppage may be ordered, and other actions may be taken for failure to correct defects, concealing work without inspection, or for willful violations of any of the above conditions or the special conditions, attached, if any.

*NOTE: NOTICE OF COMMENCEMENT required for work with a cumulative value of \$2,500.00 or more.

ATTACHMENTS: _____

ACCEPTED: Julie D. Crespin
Owner

[Signature]
Contractor

Robert A. Bell B100002848
Building Official

ELEVATION CERTIFICATE

FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No 3067-0077
Expires May 31, 1993

ATTENTION: Use of this certificate does not provide a waiver of the flood insurance purchase requirement. This form is used only to provide elevation information necessary to ensure compliance with applicable community floodplain management ordinances, to determine the proper insurance premium rate, and/or to support a request for a Letter of Map Amendment or Revision (LOMA or LOMR). Instructions for completing this form can be found on the following pages.

SECTION A PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
BUILDING OWNER'S NAME <u>CHARLES C. & JULIA D. CRISPIN</u>	POLICY NUMBER	
STREET ADDRESS (Including Apt., Unit, Suite and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER <u>30 E. HIGH POINT ROAD</u>	COMPANY NAIC NUMBER	
OTHER DESCRIPTION (Lot and Block Numbers, etc.) <u>PORTION LOTS 101 & 102 ISLE ADJACENT TO HIGH POINT</u>		
CITY <u>STUART</u>	STATE <u>FL.</u>	ZIP CODE <u>34996</u>

SECTION B FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM (See Instructions):

1. COMMUNITY NUMBER	2. PANEL NUMBER	3. SUFFIX	4. DATE OF FIRM INDEX	5. FIRM ZONE	6. BASE FLOOD ELEVATION (in AO Zones, use depth)
<u>120164</u>	<u>0002</u>	<u>D</u>	<u>6/16/92</u>	<u>C</u>	<u>N/A</u>

7. Indicate the elevation datum system used on the FIRM for Base Flood Elevations (BFE): NGVD '29 Other (describe on back)
8. For Zones A or V, where no BFE is provided on the FIRM, and the community has established a BFE for this building site, indicate the community's BFE: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION C BUILDING ELEVATION INFORMATION

- Using the Elevation Certificate Instructions, indicate the diagram number from the diagrams found on Pages 5 and 6 that best describes the subject building's reference level 1.
- FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
 - FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level from the selected diagram, is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
 - FIRM Zone A (without BFE). The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building.
 - FIRM Zone AO. The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building. If no flood depth number is available, is the building's lowest floor (reference level) elevated in accordance with the community's floodplain management ordinance? Yes No Unknown
- Indicate the elevation datum system used in determining the above reference level elevations: NGVD '29 Other (describe under Comments on Page 2). (NOTE: If the elevation datum used in measuring the elevations is different than that used on the FIRM [see Section B, Item 7], then convert the elevations to the datum system used on the FIRM and show the conversion equation under Comments on Page 2.)
- Elevation reference mark used appears on FIRM: Yes No (See Instructions on Page 4)
- The reference level elevation is based on: actual construction construction drawings
(NOTE: Use of construction drawings is only valid if the building does not yet have the reference level floor in place, in which case this certificate will only be valid for the building during the course of construction. A post-construction Elevation Certificate will be required once construction is complete.)
- The elevation of the lowest grade immediately adjacent to the building is: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION D COMMUNITY INFORMATION

- If the community official responsible for verifying building elevations specifies that the reference level indicated in Section C, Item 1 is not the "lowest floor" as defined in the community's floodplain management ordinance, the elevation of the building's "lowest floor" as defined by the ordinance is: feet NGVD (or other FIRM datum—see Section B, Item 7).
- Date of the start of construction or substantial improvement _____

SECTION E CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state or local law to certify elevation information when the elevation information for Zones A1-A30, AE, AH, A (with BFE), V1-V30, VE, and V (with BFE) is required. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. In the case of Zones AO and A (without a FEMA or community issued BFE), a building official, a property owner, or an owner's representative may also sign the certification.

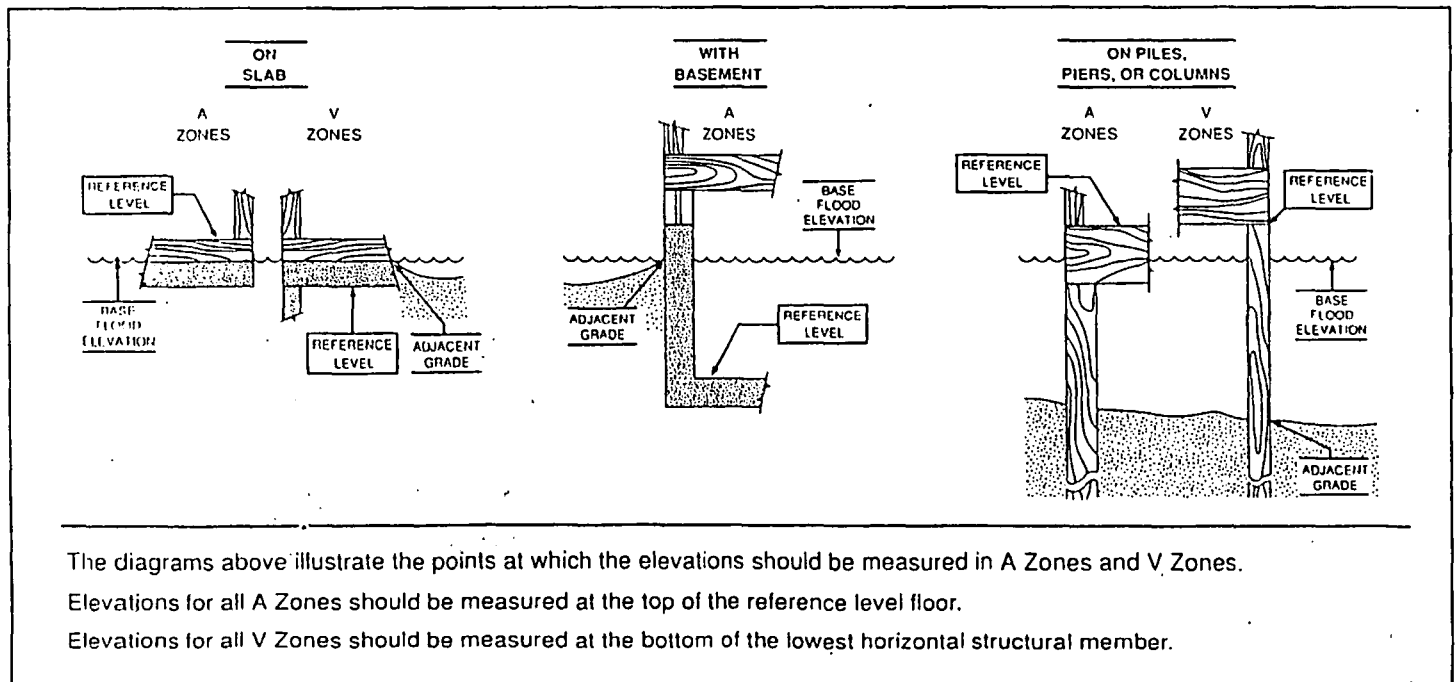
Reference level diagrams 6, 7 and 8 - Distinguishing Features—If the certifier is unable to certify to breakaway/non-breakaway wall, enclosure size, location of servicing equipment, area use, wall openings, or unfinished area Feature(s), then list the Feature(s) not included in the certification under Comments below. The diagram number, Section C, Item 1, must still be entered.

I certify that the information in Sections B and C on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME EARLE R. STARKEY	LICENSE NUMBER (or Affix Seal) PSM # 4459
TITLE PROFESSIONAL SURVEYOR AND MAPPER, ACCURIGHT LAND SURVEYING, INC.	COMPANY NAME
ADDRESS 1501 DECKER AVE., SUITE 419-D, STUART	CITY STATE ZIP FL 34994
SIGNATURE 	DATE PHONE 11/24/98 (561) 286-7694

Copies should be made of this Certificate for: 1) community official, 2) insurance agent/company, and 3) building owner.

COMMENTS: STRUCTURE FALLS IN A, NON-HAZARD FLOOD ZONE (C") NO BASE ELEVATION DETERMINED BY F.E.M.A.



FRASER ENGINEERING AND TESTING, INC.

VERO BEACH (561) 567-6167

3504 INDUSTRIAL 33rd STREET
FORT PIERCE (561) 461-7508

FORT PIERCE FLORIDA 34946
STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

**Report
of
DENSITY OF SOIL IN PLACE
ASTM D2922**

CLIENT: Florida's Finest Construction, Inc.

DATE: 11/10/98

CONTRACTOR: Client

PERMIT #: 4479

SITE: 30 E. High Point ; Sewall's Point
Addition

DENSITY TEST NO.	DATE TESTED	LOCATION	ELEVATION	MOISTURE-DENSITY RELATIONSHIP		IN PLACE DRY DENSITY	PERCENT COMPACTION
				TEST NO.	MAX. DRY WT.		
7988	11/10/98	S. Side House E. End, West Side	0 - 1'	7988	106.3	102.3	96.2
		S. Side House E. End, West Side	1 - 2'			103.1	97.0
		S. Side House E. End, East Side	0 - 1'			102.2	96.1
		S. Side House E. End, East Side	1 - 2'			102.8	96.7
		S. of Pool Deck N. Side	0 - 1'			102.1	96.0
		S. of Pool Deck N. Side	1 - 2'			102.7	96.6
		S. of Pool Deck S. Side	0 - 1'			102.4	96.3
		S. of Pool Deck S. Side	1 - 2'			102.8	96.7
ALL ELEVATIONS BELOW SLAB GRADE							

Copies: Client - 1
Sewall's Point Building Dept. - 1

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.


Alexander H. Fraser, P.E. Fla. Reg. No. 16178

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET

FORT PIERCE, FLORIDA 34946

VERO BEACH (561) 567-6167

FORT PIERCE (561) 461-7598

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

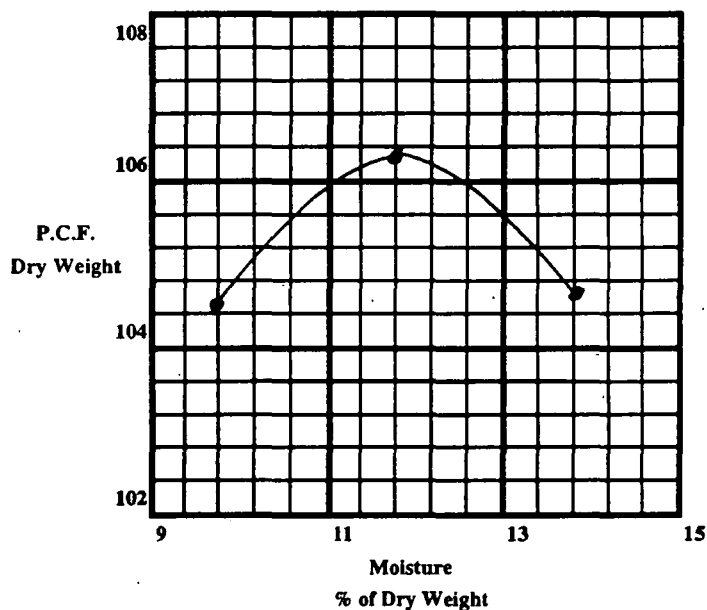
Report of MOISTURE DENSITY ASTM 1557-78

CLIENT: Florida's Finest Construction, Inc.

DATE: 11/10/98

CONTRACTOR: Client

SITE: 30 East High Point; Sewall's Point

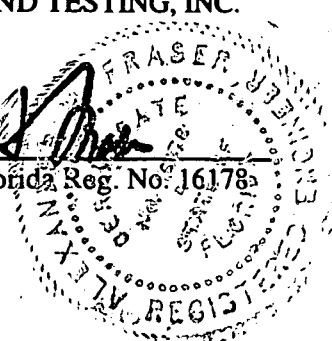


Test No.	Test Method	Sample Location	Optimum Moisture %	Max. Dry Density- P.C.F.	Soil Description
7988	B	Composite	11.8	106.3	Gray, slightly silty, fine sand.

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.

Alexander H. Fraser
Alexander H. Fraser, P.E., Florida Reg. No. 16178



PLAN REVIEW
SEWALL'S POINT

Charles + Julie Crispin
30 E. High Point

Florida's First Coast

residential

Town Ordinances

- Completed application for permit
- Impact fee receipt
- ~~Notice of Commencement if over \$2,500.00~~
- Applicable permits from other agencies (ie) DEP, Sewer and Irrigation, Road use Sewer
- Approval from homeowners Association or Arch. Review
- License and insurance for General and Subs, or affidavit for Owner Builder
- Signed and Sealed building plans
- Wind load certifications for 140mph. exposure D
- Survey showing; FFE, flood zone, setbacks, sq. ft. of lot, and impervious surfaces
- Landscaping Plan
- Zoning applicable
- Setbacks for zoning
- Flood Zone A-B
- First floor Elevation 9 - FEMA Elevation Cert.
- Overall height not to include chimney, vents, cupola
- Tree permit
- Florida energy code forms
- FEMA Elevation Certificate due prior to C. O.
- Need appraised value prior to const. to determine if substantial renovation has been tripped Re-Strap if needed

Plans to include

- Site Plan showing retainage of stormwater and proposed elevations, attach calculations
- Driveway and parking plans
- Exterior elevations
- Foundation Plan, bottom of all footings 12" below finished grade
- Framing plan showing ceiling heights, egress windows, safety glazing
- Typical wall sections
- Roof Plan with truss engineering you site for rough inspection
- Door and Window engineering
- Electrical Calculations, conformance with 1996 NEC
- Smoke detectors in compliance with NFPA 72
- Plumbing riser showing vent, drain sizes
- Conformance with South Florida Code for 140mph. wind exposure D
- Storm protection required for all doors and windows
- Mechanical Plan showing sizes of ducts
- Cross sections, details, elevations
- Specifications on gravity, uplift connections
- Attic access 22" X 36
- Dowell into existing tie Beam

Florida Accessibility Code

- Stairs risers 7" max. height, 11" min. depth, nosing 1 1/2" max
- Handrail 42" high
- 3 or more steps 30" sq. landing at top, doors not to swing over steps.
- 29" clear openings to toilet facilities
-

Local Amendments to the South Florida

- filled cells in lieu of poured columns require #5 bars placed in both jambs of all openings and 2 #5 bars at each corner poured solid and lapped properly
- Copper wiring from load side of meter base
- Wood 6" clearance from grade
- Attic ventilation
- Guardrails for decks, balconies etc.
- Toilet room ventilation
- Fireplace details
- ~~Gas plan and permit~~
- Jacuzzi pump access and shock prevention
- Thickened edges on all concrete slabs, 8" width and depth with 1 #3 continuous
- V-Zone requirements
- Stairwell protection if storage under stairs, type X 5/8 drywall
-

Robert A. B. A.
Plans Examiner

9-28-98
Date

[Signature]
Owner or Builder

10.07.98
Date



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

EXISTING ON-SITE SEWAGE DISPOSAL SYSTEM INSPECTION FORM

1. SYSTEM OWNER: Crispin PHONE NO.: _____
SYSTEM LOCATION (STREET/CITY/ZIP): 30 East Highpoint Sewalls Point, FL
2. LEGAL DESCRIPTION: _____
3. SEPTIC TANK SIZE: 1500 GALS DRAINFIELD SIZE: 40' L X 15' W
GREASE TRAP SIZE: N-A GALS DOSING SYSTEM: N-A GALS
TYPE OF TANK: CONCRETE FIBERGLASS N-A OTHER (EXPLAIN) N-A
DRAINFIELD CONFIGURATION: BED [, TRENCH [NA], OTHER [N-A]
THERE IS 11 INCHES OF SOIL OVER THE TOP OF THE SEPTIC TANK LID.
THE TOP OF THE DRAINFIELD IS 21 INCHES BELOW / ABOVE THE TOP
OF THE SEPTIC TANK LID - (CIRCLE "ABOVE" IF THERE IS A DOSING SYSTEM)
- DEPTH OF SEASONAL HIGH WATER TABLE BELOW EXISTING GRADE 72 INCHES.
GIVE SOIL TYPE USING SIX FOOT SOIL BORING AND MARTIN CO. SOIL
SURVEY: #7 St. Lucie Sand. IF LOT IS FILLED, AMOUNT OF FILL:
N-A FT.
4. DISTANCE FROM SEPTIC SYSTEM TO: WELLS 77' FT. SURFACE WATER
180 FT. PUBLIC WATER LINES 43 FT. OTHER: N-A
5. IS TANK PROPERLY SEALED AND IN GOOD OPERATING CONDITION? yes
IF NO, PLEASE EXPLAIN: _____
6. HAS THE SEPTIC TANK BEEN PUMPED WITHIN THE LAST 3 YEARS? 9-17-98
7. DOES TANK NEED PUMPING? yes IF YES, OWNER NOTIFIED? yes
8. IS THERE ANY EVIDENCE THAT THE TANK OR DRAINFIELD HAS OVERFLOWED
TO GROUND SURFACE? NO
IF YES, HAS AREA BEEN DISINFECTED Y / N, THE TANK PUMPED Y / N
AND HAS OWNER BEEN NOTIFIED TO PROPERLY REPAIR THE SYSTEM Y / N
9. COMMENTS: Drainfield not working (slow) roots.
10. IF THIS INSPECTION IS TO BE USED FOR A RENOVATION OR ADDITION TO
THE EXISTING STRUCTURE, PLEASE DRAW A SITE PLAN ON THE BACK OF THIS
FORM SHOWING PROPERTY LINES AND DIMENSIONS, SEPTIC SYSTEMS, WATER
SUPPLY, SURFACE WATER WITHIN 75 FT. OF THE PROPERTY, AND THE
EXISTING HOUSE AND THE PROPOSED ADDITION.

AN INSPECTED SYSTEM DOES NOT GUARANTEE PERFORMANCE.
TO THE BEST OF MY KNOWLEDGE, I HEREBY CONFIRM THAT THE ON-SITE
SEWAGE DISPOSAL SYSTEM IS FUNCTIONING ADEQUATELY.

James A. Skyr...
SIGNATURE OF SEPTIC TANK COMPANY REPRESENTATIVE

SA 0890201

9-17-98

CERTF. NO.

DATE OF INSPECTION

A:EHSEWPRO FORMS 2 DISK

RAY COOKE'S SEPTIC TANK SERVICE MARTIN COUNTY PUBLIC HEALTH UNIT
3100 S.E. Waaler Street ENVIRONMENTAL HEALTH
Stuart, Florida 34997 SOUTH DIXIE HIGHWAY • STUART, FLORIDA 34994
(407) 287-0651 (407) 221-4090 • SUNCOM 269-4090 • FAX (407) 221-4966



RECEIVED

SEP 14 1998

misc plan review
43,55.00 546

STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
ONSITE SEWAGE DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT
Authority: Chapter 381, FS & Chapter 10D-6, FAC

HRS-Martin County
Public Health Unit

RECEIVED

SEP 14 1998

PERMIT # _____
DATE PAID 9.14.98
FEE PAID \$ 75
RECEIPT # 23651

APPLICATION FOR:

[] New System [] Existing System [] Holding Tank [] Temporary/Experimental
[] Repair [] Abandonment [] Other (Specify) _____

HRS-Martin County
Public Health Unit

APPLICANT: CHARLES & JULIE CRISPIN TELEPHONE: 288-1715

AGENT: FLORIDA'S FINEST CONSTRUCTION INC. 285-5413

MAILING ADDRESS: P.O. Box 555 PORT SALERNO, FL 34992

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. ATTACH BUILDING PLAN AND TO-SCALE SITE PLAN SHOWING PERTINENT FEATURES REQUIRED BY CHAPTER 10D-6, FLORIDA ADMINISTRATIVE CODE.

PROPERTY INFORMATION [IF LOT IS NOT IN A RECORDED SUBDIVISION, ATTACH LEGAL DESCRIPTION OR DEED]

LOT: 102 BLOCK: _____ SUBDIVISION: HIGH POINT DATE OF SUBDIVISION: _____

PROPERTY ID #: 13-38-41-003-00-01011-9 [Section/Township/Range/Parcel No.] ZONING: _____

PROPERTY SIZE: _____ ACRES [Sqft/43560] PROPERTY WATER SUPPLY: [] PRIVATE [] PUBLIC

PROPERTY STREET ADDRESS: 30 EAST HIGH POINT

DIRECTIONS TO PROPERTY: EAST OCEAN BLVD EAST TO SOUTH SEWALLS
POINT ROAD, TAKE RIGHT TO END.

BUILDING INFORMATION [] RESIDENTIAL [] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	# Persons Served	Business Activity For Commercial Only
1	<u>RESIDENTIAL</u>	<u>5</u>	<u>4000 sq ft</u>	<u>5</u>	
2					
3					
4					

Martin County Health Department

THIS PLAN IS APPROVED FOR:

Septic System: Approval # 475-0096 1564

Well Location: Approval # 43

Other? RTM Approval # _____

By: RTM Date: 9.14.98

All Changes To The Plans Must Be Approved By The Health Dept.

[] Garbage Grinders/Disposals [] Sewer/Tubs [] Floor/Equipment Drains
[] Ultra-low Volume Flush Toilets [] Other (Specify) _____

APPLICANT'S SIGNATURE: [Signature] DATE: 9.14.98

**FORM 1000-C-91
SMALL ADDITIONS
AND RENOVATIONS**

**FLORIDA ENERGY EFFICIENCY CODE
FOR BUILDING CONSTRUCTION**
Section 10 — Residential Prescriptive Compliance Method
Department of Community Affairs

Climate Zones
SOUTH 7 8 9

Compliance with Section 10 of the Florida Energy Efficiency Code may be demonstrated by use of Form 1000C-91 for additions of 600 square feet or less, and renovations to single and multifamily residences. Alternative methods are provided for additions by use of Form 1000A-91 or 900A-91.

PROJECT NAME: CRISPIN RESIDENCE	BUILDER:	CLIMATE ZONE: 7 <input type="checkbox"/> 8 <input checked="" type="checkbox"/> 9 <input type="checkbox"/>
AND ADDRESS: 30 EAST HIGH POINT ROAD SEWALL'S POINT, FL	PERMITTING OFFICE:	JURISDICTION NO.:
OWNER: CHARLES & JULIE CRISPIN	PERMIT NO.:	

NEW CONSTRUCTION <input type="checkbox"/>	If Multifamily, number of units covered by this submittal: <input type="text"/>	CONDITIONED FLOOR AREA <input type="text"/> 558 <input type="text"/> SQ. FT.	NEW GLASS AREA AND TYPE		
ADDITION <input checked="" type="checkbox"/>		PREDOMINANT EAVE OVERHANG LENGTH <input type="text"/> <input type="text"/> FT.	Single-pane <input type="text"/> <input type="text"/> SQ. FT.	Tint, Film, Solar Screen	Single-pane <input type="text"/> 96 <input type="text"/> SQ. FT.
MULTIFAMILY ATTACHED <input type="checkbox"/>		PORCH OVERHANG LENGTH <input type="text"/> <input type="text"/> FT.	Double-pane <input type="text"/> <input type="text"/> SQ. FT.	Double-pane <input type="text"/> <input type="text"/> SQ. FT.	
SINGLE-FAMILY DETACHED <input type="checkbox"/>					

FOR ADDITIONS ONLY	WALL TYPE AND INSULATION		CEILING TYPE AND INSULATION		FLOOR TYPE AND INSULATION		
	WOOD FRAME		MASONRY		WOOD		
	EXTERIOR: R= <input type="text"/> <input type="text"/>	EXTERIOR: R= <input type="text"/> 5 <input type="text"/> 4 <input type="text"/>	UNDER ATTIC: R= <input type="text"/> 30 <input type="text"/> 0 <input type="text"/>	RAISED: R= <input type="text"/> <input type="text"/>	RAISED: R= <input type="text"/> <input type="text"/>	COMMON: R= <input type="text"/> <input type="text"/>	COMMON: R= <input type="text"/> <input type="text"/>
	ADJACENT: R= <input type="text"/> <input type="text"/>	ADJACENT: R= <input type="text"/> <input type="text"/>	SINGLE ASSEMBLY: R= <input type="text"/> <input type="text"/>	SLAB-ON-GRADE: R= <input type="text"/> 0 <input type="text"/> 0 <input type="text"/>	COMMON: R= <input type="text"/> <input type="text"/>	COMMON: R= <input type="text"/> <input type="text"/>	

DUCTS	COOLING SYSTEM	HEATING SYSTEM	HOT WATER SYSTEM
In Unconditioned Space R= <input type="text"/> 60 <input type="text"/>	<input checked="" type="checkbox"/> Central <input type="checkbox"/> Room <input type="checkbox"/> PTAC <input type="checkbox"/> No New System <input type="checkbox"/> None SEER/EER= <input type="text"/> 12 <input type="text"/> 0 <input type="text"/>	<input checked="" type="checkbox"/> Electric Strip <input type="checkbox"/> Natural Gas <input type="checkbox"/> Room Unit/PTHP <input type="checkbox"/> No New System COP/HSPF/AFUE= <input type="text"/> <input type="text"/>	<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Other Fuels <input type="checkbox"/> No New System EF= <input type="text"/> 90 <input type="text"/>
In Conditioned Space R= <input type="text"/> <input type="text"/>		<input type="checkbox"/> Heat Pump <input type="checkbox"/> Other Fuels <input type="checkbox"/> None	<input type="checkbox"/> Solar <input type="checkbox"/> Heat Recovery <input type="checkbox"/> Dedicated Heat Pump SF/EF= <input type="text"/> <input type="text"/>
			NUMBER OF BEDROOMS= <input type="text"/> 4 <input type="text"/>

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code. PREPARED BY: <u>Quinn McDougall</u> DATE: <u>7/17/98</u> I hereby certify that this building is in compliance with the Florida Energy Code. OWNER AGENT: _____ DATE: _____	Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S. BUILDING OFFICIAL: <u>Robert A. Bell</u> DATE: <u>9-28-98</u>
---	---

TABLE 10A MINIMUM REQUIREMENTS FOR ALL PACKAGES			
COMPONENTS	SECTION	REQUIREMENTS	CHECK
Windows	904.1	Maximum of 0.34 CFM per linear foot of operable sash crack (includes sliding glass doors).	✓
Exterior & Adjacent Doors	904.1	Maximum of 0.5 CFM per sq. ft. of door area: solid core, wood panel, insulated or glass doors only.	✓
Exterior Joints & Cracks	904.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	✓
Sole & Top Plates	903.2	Sole plates and penetrations through top plates of exterior walls must be sealed.	✓
Infiltration Barrier	903.2	Infiltration barrier must be installed in exterior walls & raised wood floors.	✓
Interior Joints & Cracks	903.2	All openings in interior surfaces of ceilings and exterior walls must be sealed.	✓
Fireplaces	903.2	Fireplaces must have flue dampers, glass doors and outside combustion air intakes.	NA
Exhaust Fans	903.2	Exhaust fans vented to unconditioned space shall have dampers, except for combustion devices with integral exhaust ductwork.	✓
Water Heaters	904.2	Comply with efficiency requirements in Table 9-7A. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	✓
Swimming Pools & Spas	904.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have minimum thermal efficiency of 78%.	NA
Hot Water Pipes	904.4	Insulation is required only for recirculating systems, including heat recovery units. In such cases, piping heat loss shall be limited to a maximum of 17.5 BTUH per linear foot of pipe.	✓
Shower Heads	904.5	Water flow must be restricted to no more than 3 gallons per minute at 80 PSIG.	✓
HVAC Duct Construction, Insulation & Installation	904.6	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section 904.6. Ducts in unconditioned space and air handlers located in attics must be insulated to a minimum R-4.2 (R-6 after 1/1/92).	✓
HVAC Controls	904.7	Separate readily accessible manual or automatic thermostat for each system.	✓
Renovations Only Glass	1003.0	Meets the requirements of sec. 1003.0. See step 3 of page 2 of this form.	NA

TABLE 10B. Prescriptive Requirements for Small Additions (600 Sq.Ft. and Less) and for Renovations to Existing Buildings.

COMPONENT		MINIMUM INSULATION	INSULATION INSTALLED	EQUIPMENT		MINIMUM EFFICIENCY		INSTALLED EFFICIENCY
WALLS	Concrete	R-5	<u>5.4</u>	COOL	Central A/C Room unit or PTAC	1991	1992	SEER = <u>12.0</u> EER = _____
	Wood frame, 2' x 4'	R-11	_____			SEER = 9.0	10.0	
	Wood frame, 2' x 6'	R-19	_____			EER = 8.5	8.5	
	Common, Wood frame*	R-11	_____					
Common, Masonry*	R-3	_____						
CEILINGS	Under attic	R-30	<u>R-30</u>	SPACE HEATING	Electric Resistance	ANY		HSPF = _____
	Single assembly	R-19	_____		Heat Pump	HSPF = 6.4	6.8	HSPF/ = _____
	Common, Wood frame*	R-11	_____		Room unit or PTHP	COP = 2.6	2.7	COP = _____
FLOORS	Slab-on-grade	No Minimum	<u>0</u>		Gas, natural or propane	AFUE = .70	.78	AFUE = _____
	Raised wood	R-11	_____		Fuel Oil	AFUE = .76	.78	AFUE = _____
	Raised concrete	R-5	_____					
Common, Wood frame*	R-11	_____						
DUCT	In unconditioned space	1991 R-4.2	<u>R-6</u>	HOT WATER	Electric Resistance	EF = .88	EF = <u>.90</u>	
	In conditioned space	1992 R-6			Gas, natural or propane	EF = .54	EF = _____	
		No Minimum			Fuel Oil	EF = .54	EF = _____	

*Common components are those which separate two conditioned living units in a multifamily building.

TABLE 10C. Prescriptive Requirements for Glass Areas in ADDITIONS ONLY (Renovations see 3 below)

Maximum percentage glass to floor area allowed is selected by type, overhang length, and shading coefficient. See below.						Maximum % = <u>30%</u>	Installed % = <u>17%</u>
GLASS TYPE, OVERHANG, AND SHADING COEFFICIENT (TINTING) REQUIRED FOR GLASS PERCENTAGE ALLOWED							
UP TO 20%		UP TO 30%		UP TO 40%		UP TO 50%	
Single	Double	Single	Double	Single	Double	Single	Double
OH - SC	OH - SC	OH - SC	OH - SC	OH - SC	OH - SC	OH - SC	OH - SC
1' - 1.0 0' - .86	0' - .90	2' - 1.0 1' - .86 0' - .65	1' - .90 0' - .70	3' - 1.0 2' - .86 1' - .65 0' - .45	2' - .90 1' - .70 0' - .50	4' - 1.0 3' - .86 2' - .65 1' - .45 0' - .35	3' - .90 2' - .70 1' - .50 0' - .40
Shading coefficients (SC) may be obtained from the manufacturer of the glass. Typical shading coefficients are: single-paned clear SC = 1.0, double-paned clear SC = .90, and single-paned tint SC = .86.							

Form 1000C may be used to comply the following types of construction:

SMALL ADDITIONS TO EXISTING RESIDENCES. Additions which have 600 square feet or less of conditioned area may comply with the Energy Code using this form. The prescriptive requirements in Tables 10A, 10B and 10C apply only to the components of the addition, not to the existing building. Space heating, cooling, and water heating equipment efficiency levels must be met only when equipment is installed specifically to serve the addition or is being installed in conjunction with the addition construction. Components separating unconditioned spaces from conditioned spaces must meet the prescribed minimum insulation levels.

RENOVATIONS. Residential buildings undergoing renovations costing more than 30% of the assessed value of the building must comply with the Energy Code using this form. The prescriptive requirements in Tables 10A and 10B apply only to the components and equipment being renovated or replaced.

GENERAL DIRECTIONS:

1. On the left side of Table 10B in the column titled "INSULATION INSTALLED", indicate the R-value of the insulation being added to each component. On the right side of Table 10B indicate the efficiency levels of the equipment being installed in the column titled "EFFICIENCY INSTALLED". All R-values and efficiencies installed must meet or exceed the minimum values prescribed in the preceding column for that component. Components and equipment neither being added nor renovated may be left blank.
2. **ADDITIONS ONLY.** Determine the percentage of new glass to conditioned floor area in the addition as follows. Total the areas of all glass windows, sliding glass doors and glass panels in doors which are more than 1/3 of the area of the door. Double the area of all non-vertical roof glass and add it to the previous total. When glass in existing exterior walls is being removed or enclosed by the addition, an amount equal to the total area of this glass may be subtracted from the total glass area. Divide the adjusted glass area total by the conditioned floor area of the addition. Multiply by 100 to get the percent. Find the largest glass percentage under which your calculated percentage falls on Table 10C. For example, 29% glass would qualify for the "Up to 30%" column. Prescriptives are given by the type of glass (Single or Double pane) and the overhang (OH) paired with a shading coefficient (SC). Any pair within the selected "Up To _____" category is acceptable. For a given glass type and overhang, the maximum shading coefficient allowed is specified. Indicate the category into which the percentage falls in the box at the top titled "Maximum % = _____". In the next column titled "Installed", indicate the calculated percentage of glass in the addition. Actual glass windows and doors previously in the exterior walls of the house and being reinstalled in the addition, do not have to comply with the overhang and shading coefficient requirements on Table 10C. All new glass in the addition must meet the requirements for one of the options in the glass percentage category you indicated. The overhang (OH) distance is measured perpendicularly from the face of the glass to a point directly under the outermost edge of the overhang.
3. **RENOVATIONS ONLY.** Only glass areas which are being replaced as part of the renovations need to meet the following requirements. Any glass type and shading coefficient may be used for glass areas which are under at least a two foot overhang and whose lowest edge does not extend further than 8 feet from the overhang. Glass areas being renovated that do not meet this criteria must be either single-pane tinted, double-pane clear, or double-pane tinted.
4. Complete the information requested on the top half of page 1.
5. Read "Minimum Requirements for Small Additions and Renovations", Table 10A on page 1, and check to indicate your intention to comply with all applicable items.
6. Read, sign and date the "Owner/Agent" certification statement on page 1.

PERMIT # _____

TAX FOLIO # 13-38.41-003.000-010119

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

GENERAL DESCRIPTION OF IMPROVEMENT: Remodeling & ADDITIONS

OWNER: CHARLES & JULIE CRISPIN

ADDRESS: 30 E HIGH POINT

PHONE #: _____

FAX #: _____

CONTRACTOR: FLORIDA'S FINEST CONSTRUCTION

ADDRESS: P.O. Box 555 PORT SACRAMENTO FL 34992

PHONE #: 288-1715

FAX #: 288-2126

SURETY COMPANY(IF ANY) N/A

ADDRESS: _____

PHONE # _____

FAX #: _____

BOND AMOUNT: _____

LENDER: N/A

ADDRESS: _____

PHONE #: _____

FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: N/A

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES N/A OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

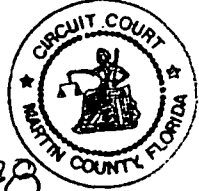
PHONE #: _____

FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Julie D. Crispin
SIGNATURE OF OWNER

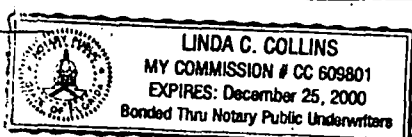
STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARSHA STILLER, CLERK
BY [Signature] D.C.
DATE 10-6-98
DAY OF September



SWORN TO AND SUBSCRIBED BEFORE ME THIS 11th DAY OF September 1998 BY Julie D. Crispin

PERSONALLY KNOWN _____
OR PRODUCED ID X
TYPE OF ID FLX C62142459 9680

Linda C. Collins
NOTARY SIGNATURE



Sewall's Point Police Department

Certificate of Occupancy Issuance

BLDG PERMIT NO. 4479

ORIGINAL
TO COY
FILE 5/29/99

Date: MAY 29, 1999

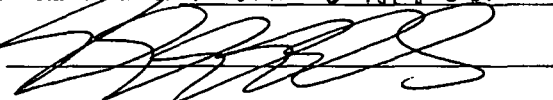
Building Location: PORTION LOTS 101 & 102
ISLE ADDN TO HIGH POINT OR 4 PG 47

Building Address: 30 E. HIGH POINT ROAD

Owner/s Name: CHARLES & JULIE CRISPIN

Date of Issuance: MAY 29, 1999

Building Official's Name: EDWIN B. ARNOLD, CBO

Signature: 

Comments:

Upon issuance of a Certificate of Occupancy please fill out this form and forward it and a copy of the certificate to the Chief or Lieutenant of Police.

**W. C. Kirchner,
Chief of Police**

cc: PROPERTY OWNER, w/ATT.
TOWN CLERK, w/ATT.
G.C.

PREPARED BY AND RETURN TO:
Town of Sewall's Point
1 S. Sewall's Point Road
Stuart, FL 34996

[Space above this line for recording]

Date: MAY 29, 1999

This is to request a Certificate of Approval for Occupancy to be issued to:
CHARLES & JULIE CRISPIN for Permit No. 4479 issued to construct a ADDN #ACT.
upon property described as follows:

PORTION LOTS 101 & 102 ISLE ADDN TO HIGH POINT, PB4 PG 47
Lot _____, Block _____, Section _____, Subdivision _____
known as: 30 E. HIGH POINT ROAD When completed in conformance
with the approved plans and approval of the following required inspections.

CERTIFICATE OF OCCUPANCY

TOWN OF SEWALL'S POINT, FLORIDA

BLDG. PERMIT INSPECTION RECORD ATTACHED.

Lot Stakes/Setbacks	Approved: _____	Termite Protection	Approved: _____
Footings/Slab	Approved: _____	Rough Plumbing	Approved: _____
Rough Electric	Approved: _____	Lintel/Tie-beam	Approved: _____
Roofing	Approved: _____	Framing/Furring	Approved: _____
Insulation	Approved: _____	HVAC Rough	Approved: _____
Final Electric	Approved: _____	Final Plumbing	Approved: _____
Final HVAC	Approved: _____	Storm Shutters	Approved: _____
Tie-in Survey	Approved: _____	Landscape	Approved: _____

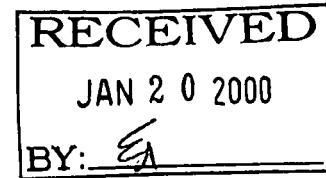
ISSUED THIS 29TH DAY OF MAY, 1999



Building Inspector

EDWIN B. ARNOLD, C.F.O.

BLDG. OFFICIAL



January 18, 2000

Mr. Edwin Arnold, Building Official
Town of Sewall's Point
#1 South Sewall's Point Road
Sewall's Point, FL 34996

Dear Edwin:

I am writing a letter to you that is long overdue. Specifically I have wanted to thank you and the Town of Sewall's Point for the very professional assistance provided me and my wife relative to issuance of a Certificate of Occupancy for our new home ~~at 30 East High Point Road~~. Needless to say, we were rather desperate to move back in to our home after living in a rental for a year while our house was being re-built.

The fact that you were willing to come out and walk through the home with myself and our contractor, Roy Kraemer of Florida's Finest Construction, and point out the elements that would allow us to fully satisfy the building code was much appreciated and beyond the call of duty.

We believe that the finished product is in keeping with the high quality community that Sewall's Point represents and will help increase the overall value of homes in the surrounding area.

Sewall's Point is lucky to have a professional department that is not only dedicated to upholding the law of the code, but also to doing so with a personal touch is a credit to the community. Thanks very much again Ed.

Cordially,


Charles Crispin
30 East High Point Road
Sewall's Point, FL 34996
561-219-2502

cc: Roy Kraemer, Florida's Finest Construction

4971

DOCK

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 6/14/00

BUILDING PERMIT NO. 497.1

Building to be erected for CHARLES & JULIE CRISPIN Type of Permit DOCK

Applied for by ROBT. SANDY (Contractor) Building Fee \$240.00

Subdivision HIGH POINT ISLE ADDN Lot 101/102 PTC Block _____ Radon Fee _____

Address 30 E. HIGH POINT Impact Fee _____

Type of structure S.F.R. A/C Fee _____

Parcel Control Number: _____ Electrical Fee _____

13-38-41-00030-00010-1190000 Plumbing Fee _____

Amount Paid \$240.00 Check # 9229 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 11,000.00 TOTAL Fees \$240.00

Signed Robert L Sandy
Applicant

Signed [Signature]
Town Building Inspector OFFICIAL

DOCK PERMIT

INSPECTIONS

SETBACKS
PILINGS
BOAT LIFT

DATE _____
DATE _____
DATE _____

WATER
ELECTRIC
DECK
FINAL

DATE _____
DATE _____
DATE _____
DATE 4/27/01

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction **Remodel** **Addition** **Demolition**

This permit must be visible from the street, accessible to the inspector.

**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

Town of Sewall's Point

PLN

4971

Date

RECEIVED

MAY - 4 2000

BUILDING PERMIT APPLICATION

to construct

BY:

NEW CONSTRUCTION ADDITION ALTERATION DEMOLITION

RESIDENTIAL COMMERCIAL _____ SF _____ CF

OTHER: Dock CONTRACT PRICE \$ 11,000⁰⁰

Owner's Name Charles + Julie Crispin

Owner's Address 30 E High Point Road, Stuart, FL 34996

Fee Simple Titleholder's Name (If other than owner) _____

Fee Simple Titleholder's Address (If other than owner) _____

City _____ State _____ Zip _____

Contractor's Name Robert Sandy

Contractor's Address 1028 SW 36th Terrace, Palm City, FL 34990

City Palm City State FL Zip 34990

Job Name _____

Job Address _____

City _____ State _____ Zip _____

Legal Description See Attached "A"

Bonding Company _____

Bonding Company Address _____

City _____ State _____ Zip _____

Architect/Engineer's Name _____

Architect/Engineer's Address _____

Mortgage Lender's Name _____

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature] _____ Date 4/27/00

Owner or Agent
[Signature] _____ Date 3/4/00
Contractor

COUNTY OF MARTIN
STATE OF FLORIDA

Sworn to and subscribed before me this 27 day of April, 2000, by Charles Crispin who: [] is/are personally known to me, or [] has/have produced _____ as identification, and who did not take an oath.

Name: Gretta Brannigan

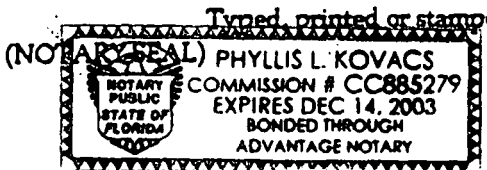


I am a Notary Public of the State of Florida having a commission number of CC-824343 and my commission expires: 5/8/2003

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 4 day of May, 2000, by Robert L Sandy who: is/are personally known to me, or [] has/have produced _____ as identification, and who did not take an oath.

Name: Phyllis L. Kovacs



I am a Notary Public of the State of Florida having a commission number of Phyllis L Kovacs and my commission expires: _____

Certificate of Competency Holder

Contractor's State Certification or Registration No. CGC 040310

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY _____ Permit Officer
_____ Building Commissioner

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

30 E. High Point Road, Stuart, FL

GENERAL DESCRIPTION OF IMPROVEMENT: Dock and 2 Boat Lifts

OWNER: Charles + Julie Crispin

ADDRESS: 30 E. High Point Road, Stuart FL, 34996

PHONE #: _____

FAX #: _____

CONTRACTOR: Robert Sandy

ADDRESS: 1028 SW 36th Terrace, Palm City, FL 34990

PHONE #: 561-220-4051

FAX #: 561-220-9134

SURETY COMPANY(IF ANY) _____

ADDRESS: _____

PHONE # _____

FAX #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____

FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 27 DAY OF April, 2000
19 BY Charles Crispin

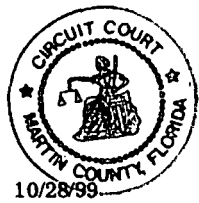
[Signature]
NOTARY SIGNATURE

PERSONALLY KNOWN
OR
PRODUCED ID
TYPE OF ID STATE OF FLORIDA
MARTIN COUNTY

GRETTA BRANNIGAN
MY COMMISSION # CC 824343
EXPIRES: May 8, 2003
Bonded Thru Pichard Insurance Agency

THIS IS TO CERTIFY THAT THE
FOLLOWING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.
MARSHA STINER, CLERK

BY [Signature] D.C.
DATE 5.5.00



ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)

01/05/2000

PRODUCER (561)335-8804 FAX (561)335-8847

S.M. FINES INSURANCE AGENCY
1250 S.E. PORT ST. LUCIE BLVD.
PORT ST LUCIE, FL 34952-5392

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COPY

COMPANIES AFFORDING COVERAGE

Assurance Co. of America

Attn: Schichtel, Rae
INSURED
Robert Sandy
175 SW Kenner Hwy.
Stuart, FL 34997

Ext:

COMPANY A
COMPANY B
COMPANY C
COMPANY D

FILE
[Signature]

FILE
LIC/125

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input checked="" type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR OWNERS & CONTRACTOR'S PROT	SCP30598990	01/01/2000	01/01/2001	GENERAL AGGREGATE \$ 600,00 PRODUCTS - COMP/OP AGG \$ 600,00 PERSONAL & ADV INJURY \$ 300,00 EACH OCCURRENCE \$ 300,00 FIRE DAMAGE (Any one fire) \$ 300,00 MED EXP (Any one person) \$ 10,00
	AUTOMOBILE LIABILITY ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: \$ EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY UMBRELLA FORM OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL				WC STATUTORY LIMITS \$ OTHER \$ EL EACH ACCIDENT \$ EL DISEASE - POLICY LIMIT \$ EL DISEASE - EA EMPLOYEE \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

State of Florida

CERTIFICATE HOLDER

Town of Sewalls Point
1 South Sewalls Point Rd.
Stuart, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Susan Fines/DRS

Susan M. Fines

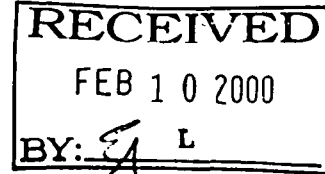
09-14-1999

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE 08/01/1999
EXPIRATION DATE 07/31/2001
EXEMPTED INDIVIDUAL NAME SANDY ROBERT
S.S. 314-46-0788
BUSINESS NAME SANDY ROBERT CONSTRUCTION INC
FEIN 650920022
BUSINESS ADDRESS 175 SW KANNER HIGHWAY
STUART FL 34997



NOTE: Pursuant to Chapter 440.10(1),(g),2 F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

EFFECTIVE DATE 08/01/1999
EXPIRATION DATE 07/31/2001
EXEMPTED PERSON LAST NAME SANDY
FIRST NAME ROBERT
SOCIAL SECURITY NUMBER 314-46-0718
BUSINESS NAME SANDY ROBERT CONSTRUCTION INC
FEDERAL IDENTIFICATION NUMBER 650920022
BUSINESS ADDRESS 175 SW KANNER HIGHWAY
STUART FL 34997

FOLD
HERE

NOTE: Pursuant to chapter 440.10(1),(g),2, F.S., a sole proprietor, partner, or officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

CUT HERE

* Carry bottom portion on the job, keep upper portion for your records.



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD
7960 ARLINGTON EXPRESSWAY
SUITE 300
JACKSONVILLE FL 32211-7467

(904) 727-6530

SANDY, ROBERT LEE
INDIVIDUAL
175 SW KANNER HWY
STUART

FL 34997

STATE OF FLORIDA AC# 5198115
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 CG -C040310 07/06/1998 98900041
 CERTIFIED GENERAL CONTRACTOR
 SANDY, ROBERT LEE
 INDIVIDUAL

IS CERTIFIED under the provisions of Ch. 489 F
 Expiration Date: AUG 31, 2000

DETACH HERE

AC# 5198115

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
7/06/1998	98900041	CG -C040310

THE GENERAL CONTRACTOR
NAMED BELOW IS CERTIFIED
UNDER THE PROVISIONS OF CHAPTER 489 F.S.
EXPIRATION DATE: AUG 31, 2000

SANDY, ROBERT LEE
INDIVIDUAL
175 SW KANNER HWY
STUART

FL 34997

LAWTON CHILES
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARRELL
SECRETARY

LETTER OF NO OBJECTION

I we, Mary Fields and _____

being the owner(s) of certain property adjacent to and abutting the property of Charles + Julie Crispin who have applied for a dock permit for construction, have read and reviewed the drawing of the dock and I have no objection to the proposed dock pursuant to the plan attached herein.

Mary W. J. Fields

STATE OF Florida

COUNTY OF Maclin

SWORN TO AND SUBSCRIBED before me this 26 day of March, 16 2000



Gretta Brannigan

Notary Public

My Commission Expires: 5/8/2003

LETTER OF NO OBJECTION

We, Charles and Donna Fraraccio
being the owner(s) of certain property adjacent to and abutting the
property of Charles + Julie Crispin who have applied for a
dock permit for construction, have read and reviewed the drawing of the
dock and I have no objection to the proposed dock pursuant to the plan
attached herein.

Charles Fraraccio
Donna Fraraccio

STATE OF

COUNTY OF

SWORN TO AND SUBSCRIBED before me this 20th day of MARCH, 2000

David L. Coddick
Notary Public

My Commission Expires:

INDIAN RIVER



01/06/00
3'4" depth
3:30 pm

EXTENDED PROPERTY LINE

PROPOSED RIPARIAN LINE
N 53°02'13" W

PROPOSED RIPARIAN LINE
N 39°52'53" W

150'

TIE INTO EXISTING STAIRS.

M.H.W.

APPROXIMATE MEAN HIGH WATER
PER STEPHEN J. BROWN DWG. NO. 1400-375-01

N 46°57'47" E - 73.89'

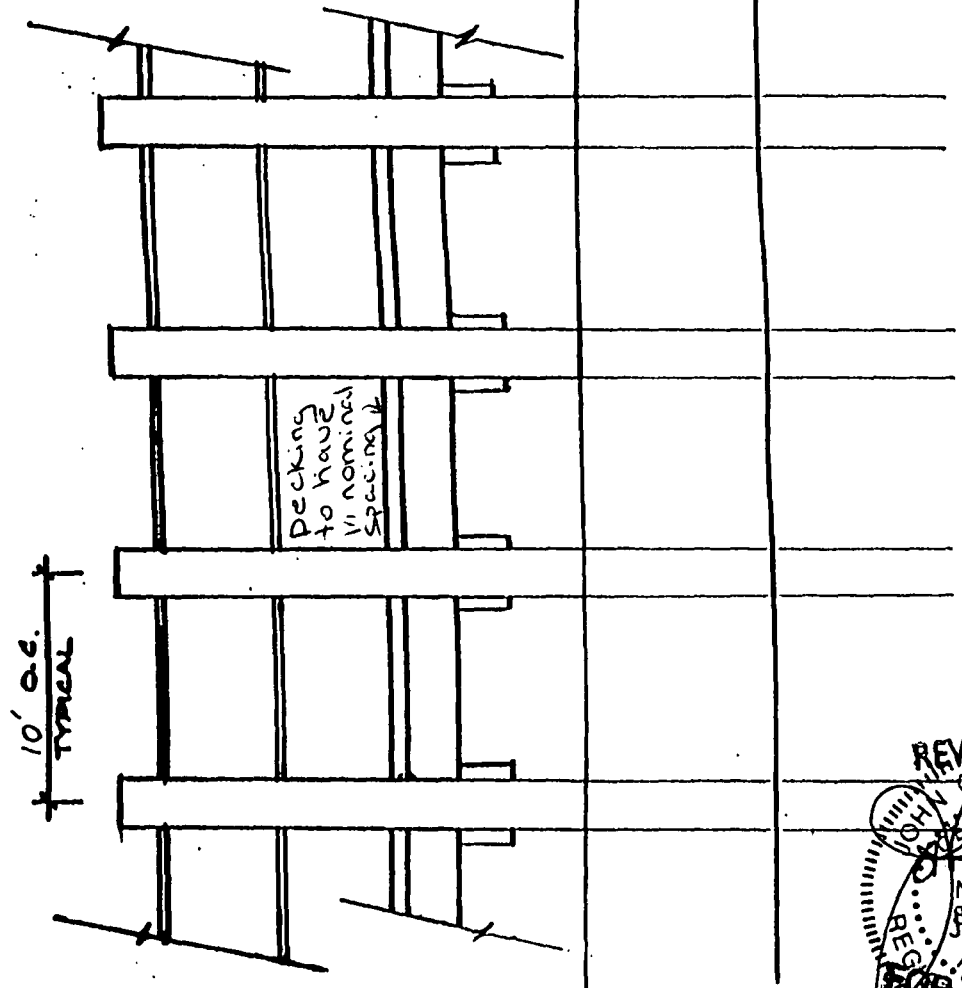
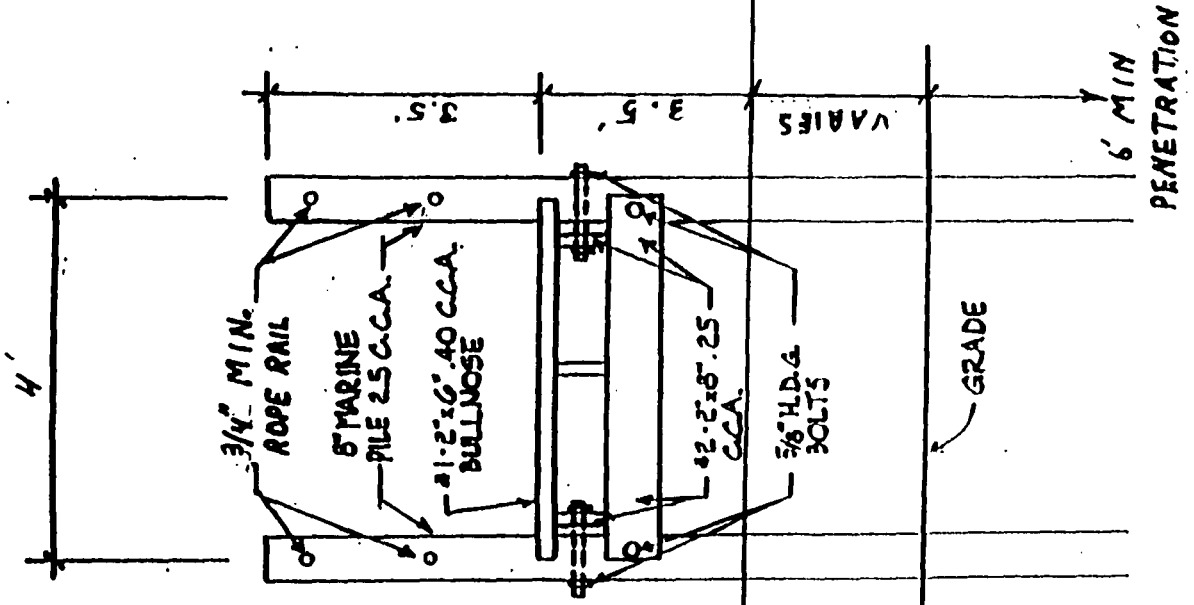
N 56°07'07" E - 73.89'

Proposed Dock
for Crispin

30 E. HIGH POINT

APPROVED BY
CLARK W. ...
No. 17455
STATE OF
JUN 06 2000
FLORIDA
REGISTERED ENGINEER
FOR STRUCTURAL
INTEGRITY

Detail added 6-6-00



*NOT TO SCALE

Detail added 6-6-00

REVIEWED BY
 JOHN CLARK
 REGISTERED PROFESSIONAL ENGINEER
 No. 17455
 SUM DEC 2000
 FLORIDA
 REGISTERED PROFESSIONAL ENGINEER
 INTEGRITY

PROPOSED - DOCK
 CRISPIN

ROBERT SANDY CONSTRUCTION



Jeb Bush
Governor

Department of Environmental Protection

Port St. Lucie Branch Office
1801 SE Hillmoor Drive
Suite C-204
Port St. Lucie, FL 34952
(561)398-2806

David B. Struhs
Secretary

MAR 03 2000

Charles & Julie Crispin
30 East High Point Road
Stuart, FL 34996

File Number: 43-0165538-001
Martin County

Dear Mr. & Mrs. Crispin:

On February 4, 2000, we received your application for an exemption to perform the following activities: construct a 760 square foot private residential single-family dock with a 150' X 4' access walkway; a 20' X 8' terminal platform and two associated boatlifts. This project is located in the St. Lucie River, Class III waters of the state, located at 30 East High Point Road (Section 13, Township 38 South, Range 41 East), Stuart, Martin County.

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project **may not** have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

1. Regulatory Review - EXEMPTION VERIFIED

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, Florida Administrative Code (F.A.C.), and in accordance with operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

Based on the information you submitted, we have determined that your project is exempt from the need to obtain a DEP Environmental Resource Permit under Rule 40E-4.051(3)(b), (F.A.C.).

2. Proprietary Review (related to state-owned lands) – GRANTED

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (B.O.T.) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project will occur on sovereign submerged land and will require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for consent to use sovereign submerged lands. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees to perform the project.

3. Federal Review (SPGP) – GRANTED

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection* "Protect, Conserve and Manage Florida's Environment and Natural Resources"

Charles & Julie Crispen
File Number: 43-0165538-001
Page Two

Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is consistent with the SPGP program. The attached Corps general conditions apply to your project. No further permitting for this activity is required by the Corps.

The determinations in this letter are based solely on the information provided to the Department and on the statutes and rules in effect when the application was submitted. The determinations are effective only for the specific activity proposed. These determinations shall automatically expire if site conditions materially change or if the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

This letter does not relieve you from the responsibility of obtaining other permits (federal, state, or local) that may be required for the project.

NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS

This letter acknowledges that the proposed activity is exempt from ERP permitting requirements under Rule 40E-4.051(3)(b), F.A.C. This determination is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this determination automatically becomes only proposed agency action subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. The procedures for petitioning for a hearing are set forth in the attached notice.

This determination is based on the information you provided the Department and the statutes and rules in effect when the application was submitted and is effective only for the specific activity proposed. This determination shall automatically expire if site conditions materially change or the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. Because the administrative hearing process is designed to redetermine final agency action on the application, the filing of a petition for an administrative hearing may result in a final determination that the proposed activity is not authorized under the exemption established under Rule 40E-4.051(3)(b), F.A.C.

Charles & Julie Crispen
File Number: 43-0165538-001
Page Three

The Department will not publish notice of this determination. Publication of this notice by you is optional and is not required for you to proceed. However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permit.

If you wish to limit the time within which all substantially affected persons may request an administrative hearing, you may elect to publish, at your own expense, the enclosed notice (Attachment A) in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place. A single publication will suffice.

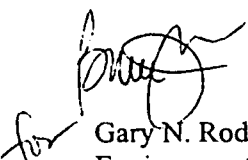
If you wish to limit the time within which any specific person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of sections 50.011 and 50.031 of the Florida Statutes. In the event you do publish this notice, within seven days of publication, you must provide to the following address proof of publication issued by the newspaper as provided in section 50.051 of the Florida Statutes. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

Florida Department of Environmental Protection, Southeast District - Port St. Lucie Branch Office
Submerged Lands & Environmental Resources Program, 1801 SE Hillmoor Drive Suite C-204
Port St. Lucie, FL 34952

Thank you for applying to the Submerged Lands and Environmental Resource Program. If you have questions regarding this matter, please contact **Bruce Jerner** of this office, at telephone (561)398-2806.

Sincerely,



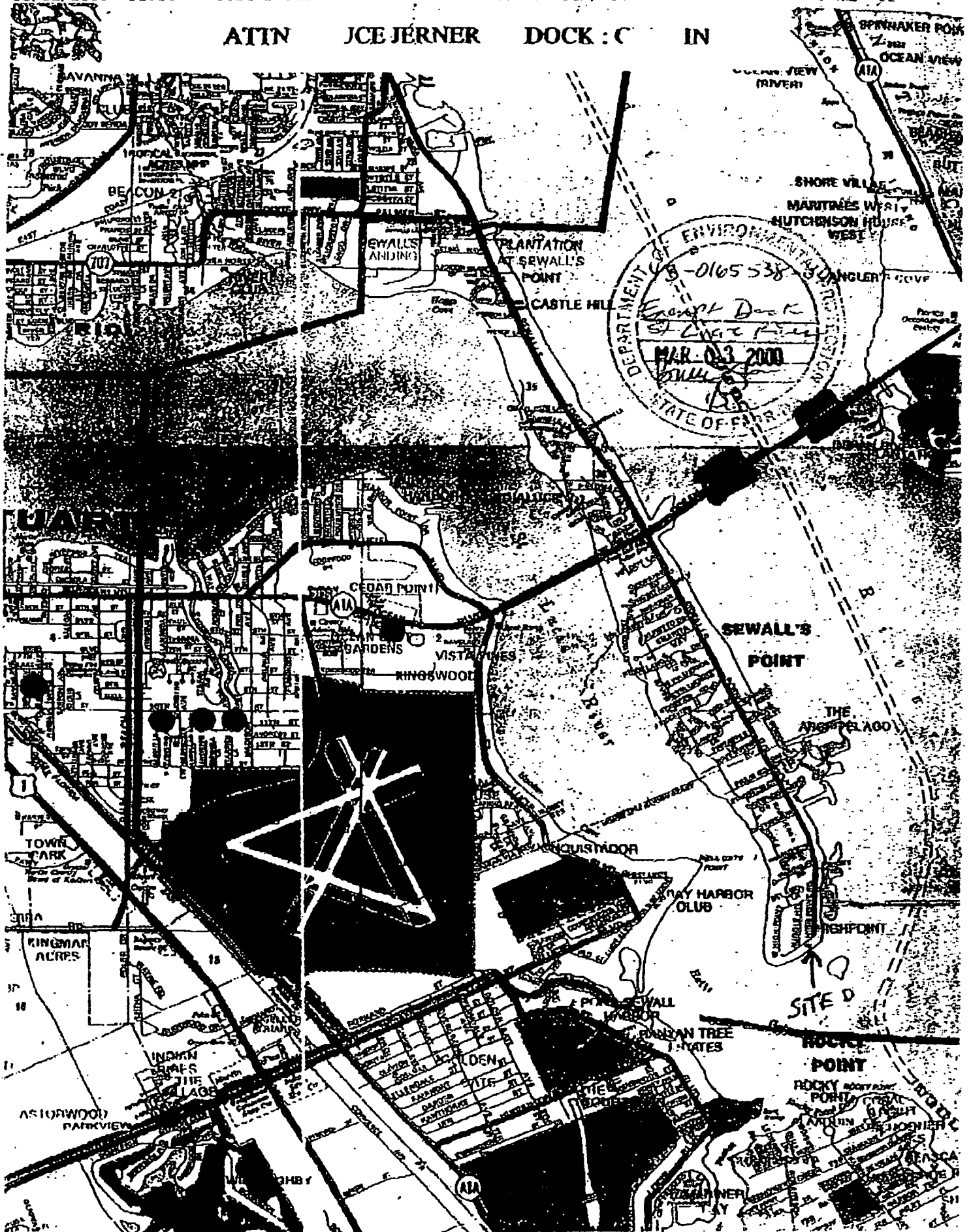
Gary N. Roderick
Environmental Administrator

GNR/BJ
BJT

Enclosures: General Consent Conditions
Federal General Conditions for SPGP III- R1 and Transfer Request
Federal Manatee Conditions
Attachment A- Notice of Determination of Qualification for Exemption
Attachment D- General Single-Family Dock Information

cc: U.S. Army Corps of Engineers, Stuart [without enclosures]
Robert Sandy (Agent) [without enclosures]

ATTN JCE JERNER DOCK : C IN

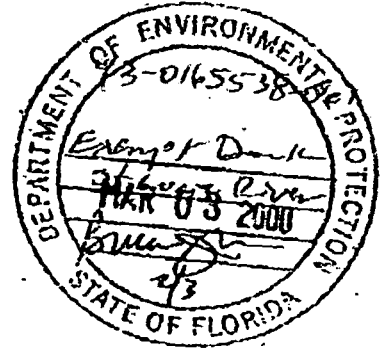


CRISPIN

INDIAN RIVER RECEIVED

1/6/00 3:30 PM 2000 FEB -4 P 1:07

3'4" DEPTH DEPT. OF ENVIRON. PROTECTION
PORT ST. LUCIE



EXTENDED PROPERTY LINE

PROPOSED RIPARIAN LINE
N 53°27'15" W

DEPT. LIFT

PROPOSED RIPARIAN LINE
N 05°27'35" W

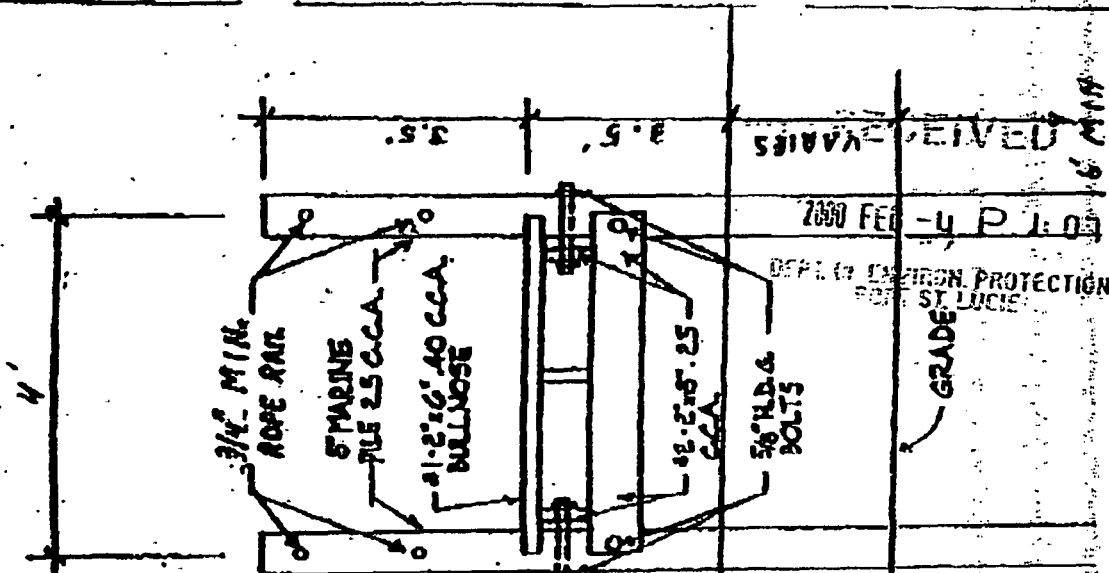
APPROXIMATE MEAN HIGH WATER
PER STEPHEN J. BROWN DWG. NO. 1400-375-01

N 46°57'47" E - 73.89'

N 56°07'07" E - 73.89'

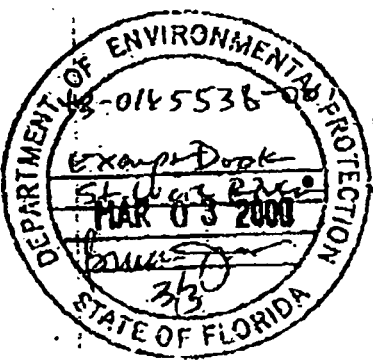
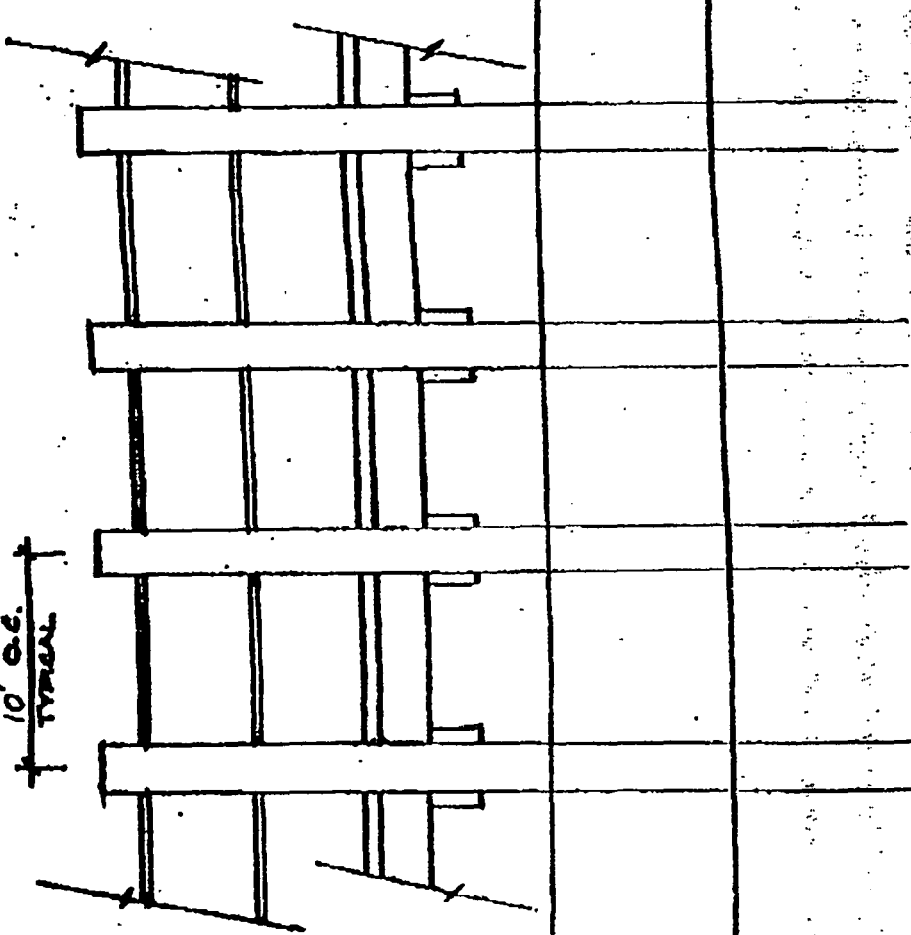
30 E. HIGH POINT

Crispin



RECEIVED
 2000 FEB -4 P 1:03
 DEPT. OF ENVIRONMENTAL PROTECTION
 ST. LUCIE

MIN. PENETRATION



NOT TO SCALE

PROPOSED DOCK
 CRISPIN

ROBERT SANDY CONSTRUCTION

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ~~THU~~ FRIDAY APRIL 27, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
4971	CRISPIN	FINAL	Passed	excl. stairs
(4)	30 E. HIGHPOINT ROBT. SANDY	POOL		INSPECTOR: <i>[Signature]</i> 4/27 ✓
4895	SEELY	FINAL-CO	PASSED	FPL Debbie 337 7057
(11)	37 NE LOFTING GRIBBEN	RAQUETBALL CT.		C.O. TO BE RICKED w/ 4:00 P.M. INSPECTOR: <i>[Signature]</i>
00104	DOT / SEWALLS PT.	IRRIG. SVC.	PASSED	Called FPL 1:50 PM 337-7057 w/ release
(10)	3600/3601 E OCEAN BRESSAW	FINAL FPL POLE NO. 4511A		INSPECTOR: <i>[Signature]</i>
4877	LOYOLA / OSBORNE	FINAL WALK	See again	El covers K.T / BA
(3)	20 CASTLE HILL WAY BUFORD	THRU - CO	Monday	INSPECTOR: <i>[Signature]</i>
5308	PAGE	STORM SHUTTERS -	Failed	need to inst 1 panel each
(7)	8 ST. LUCIE CT. BANDER ALUM.	FINAL		INSPECTOR: <i>[Signature]</i> 4/27 ✓
5331	HENRY	SHEATHING	X	LATE - CANCEL BY CONTR. 10:05 4/26
X	8 E. HIGH POINT HEATON REG.			INSPECTOR:
5286	SCHULTZ	POOL PLUMB'G.	Passed	
(8)	64 S. SEWALLS POINT RD ADVANTAGE POOL BLDGS.	(781-3033)		INSPECTOR: <i>[Signature]</i> 4/27 ✓

OTHER: _____

6366

FENCE

Abandoned: Renewal Final \$30
Pd 6/22/07 CK# 4388

C

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/7/03
 Building to be erected for CRISPIN Type of Permit FENCE
 Applied for by O/B (Contractor) Building Fee 30.00
 Subdivision HIGH POINT Lot Part of 10 Block _____ Radon Fee _____
 Address 30 E. HIGH POINT RD Impact Fee _____
 Use of structure FENCE A/C Fee _____
 Electrical Fee _____
 Plumbing Fee _____
 Roofing Fee _____
 Parcel Control Number: _____
1338410030000101190000
 Amount Paid 30.00 Check # 2549 Cash _____ Other Fees (_____)
 Total Construction Cost \$ 1500.00 TOTAL Fees 30.00

Issued by Julie Dacy Applicant Signed Gene Simmons (KOD) Town Building Official

CHARLES C. CRISPIN 12-96
 JULIE DACY CRISPIN
 30 E. HIGH POINT RD.
 STUART, FL 34996

DATE 6/22/07
 \$ 30.00 DOLLARS
 TOWN OF SEWALL'S POINT
 TREASURE COAST CLUB

Seacoast NATIONAL BANK
 STUART, FLORIDA 34994

PAY TO THE ORDER OF Julie Dacy
Thirty and no/100

4388
 63-515/670

Abandoned: Renewal/Final \$30
pd 6/22/07 ck#

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/7/03

BUILDING PERMIT NO. # 6366

Building to be erected for CRISPIN

Type of Permit FENCE

Applied for by O/B (Contractor)

Building Fee 30.00

Subdivision HIGH POINT Lot Part of 10 Block _____

Radon Fee _____

Address 30 E. HIGH POINT RD

Impact Fee _____

Type of structure FENCE

A/C Fee _____

Parcel Control Number:

1338410030000101190000

Electrical Fee _____

Amount Paid 30.00 Check # 2549 Cash _____ Other Fees (_____)

Plumbing Fee _____

Total Construction Cost \$ 1500.00

Roofing Fee _____

TOTAL Fees 30.00

Signed Julie O'Leary Applicant

Signed Gene Simmons (Ord) Town Building Official

*4-18-07 left vm to renew. Applicant
6-22-07 called m.c. - will contact his wife to pay & setup for Mon.*

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: **RECEIVED**
AUG 04 2003
BY: _____

OWNER/TITLEHOLDER NAME: Charles & Julie Crispin Phone (Day) 772-528-5280 (Fax) 781-528-1

Job Site Address: 30 E High Point Rd Cell 285-9338 City: Stuart State: FL Zip: 34996

Legal Description of Property: see attached long legal Parcel Number: 13-38-41-003-000-01011

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: install PVC picket fence

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Kent's Carpentry & Painting Phone: 260-9467 Fax: 334-8909

Street: 3483 NE Indian ct City: Jensen State: _____ Zip: 34999

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 1500.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ ScreenedPorch: _____
Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Julie D. Crispin
State of Florida, County of: St. Lucie
This the 15th day of July, 2003
by Julie D. Crispin who is personally
known to me or produced Driver's License
as identification. Diana M. Watry

CONTRACTOR SIGNATURE (required)
Kent Hughes
On State of Florida, County of: Martin
This the 16 day of July, 2003
by Kent Hughes who is personally
known to me or produced personally known
As identification. Marcey A. Jones

My Commission Expires: _____
Notary Public
DIANA M. WATRY
MY COMMISSION # DD 049407
EXPIRES: December 12, 2005
Bonded Thru Notary Public Underwriters

My Commission Expires: _____
Notary Public
MARCEY A. JONES
MY COMMISSION # DD 034721
EXPIRES: October 13, 2005
Bonded Thru Notary Public Underwriters

TOWN OF SEWALL'S POINT

ONE SOUTH SEWALL'S POINT ROAD

SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT

(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Julius D Crispin Date: 8/7/03

Signature: Julius D Crispin

Address: 30 E High Pt Rd

City & State: Stuart, FL 34996

Permit No. _____

This form is for all permits except electrical.

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR A FENCE

IMPORTANT NOTICE: All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

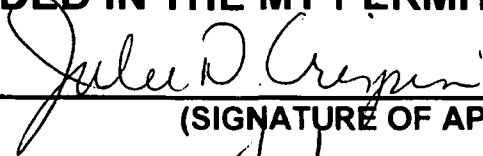
Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number.
6. Estimated cost of construction.
7. Original signature of owner and notarized
8. Original signature of Contractor and notarized.

Submittals (2 copies)

1. Current survey (boundary & topographic) containing the following information:
 - a. Legal Description of Lot
 - b. Lot dimensions and bearings
 - c. Street and Waterway names
 - d. Easements
 - e. ROW's
 - f. Canals, Ponds, or Riverfront locations
 - g. Location of existing and proposed fences
 - h. Description of type and height of fence at all locations
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. Letter from Home Owners or Subdivision Associations stating design is per their deed restriction or covenants
5. Application for tree removal or relocation (attach tree survey and removal or relocation plan)
6. A certified copy of the Notice of Commencement for any work over \$2500.00
7. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
8. Copy of Workmen's Compensation
9. Copy of Liability Insurance

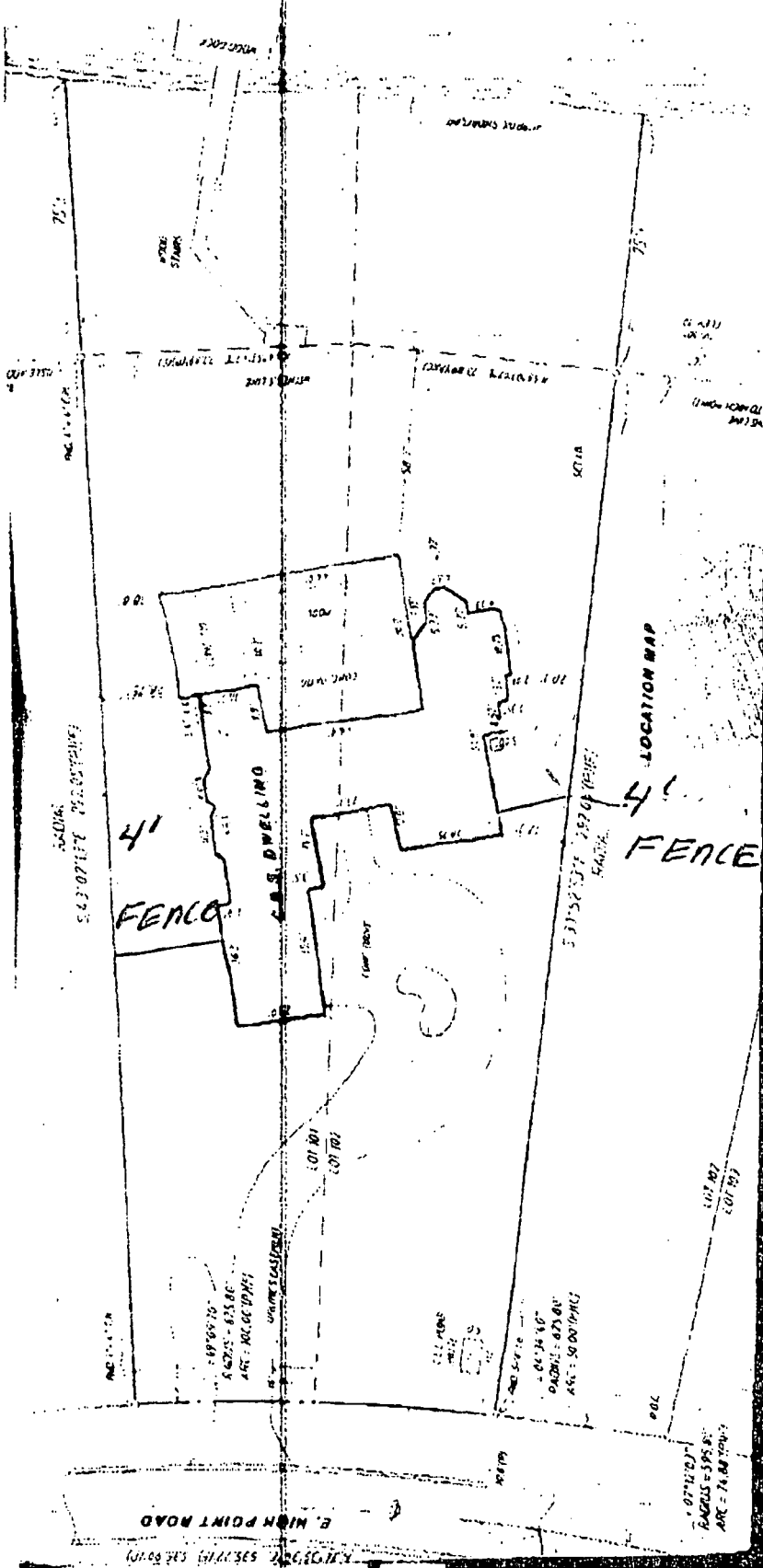
**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: _____

8/4/00



FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 3/4/03
 ACTING BUILDING OFFICIAL
 Gene Simmons
 EDWARD B. ARNOLD

PN 6366

19 1/2
 1 GATE

31 FT
 2 GATES

10 16.95 POST 143-742
5 34.00 FENCE 568-682
3 39.95 GATES 217-011
2 9.95 LATCH 195-238
4 9.95 HINGE 195-184

5 39 PNLS

288

48"H x 8'W WEST POINT 1x4

**Conforms to
Florida Wind Code**

Model# Description

30172 48" x 8' West Point Fence Panel

72188 3-1/2" x 3-1/2" - 77" Gothic Fence Post Kit

99472 48" x 40-3/4" West Point Gate Kit

*Post Kits include installation brackets
and screws with post top attached
Special Order Gate Kits include
hinges and latch*





SPECIAL SERVICES CUSTOMER AGREEMENT

Store 0221 JENSEN BEACH
3451 NW FEDERAL HWY
JENSEN BEACH, FL 34957

Phone: (772) 692-9000
Contact Center: (800) 908-9105
Salesperson: MXD749
Reviewer:

VALIDATION AREA

SALE	0221 00012 52352	07/07/03
	11 179	07:58 PM
CUSTOMER AGREEMENT #	179284	
RECALL AMOUNT	542.02	542.02
TAX		32.52
TOTAL		\$574.54
AMEX		574.54
XXXXXXXXXXXX1004		
AUTH CODE 513316/9120103		TA

This is only a [†]QUOTE for the merchandise and services printed below. This becomes an Agreement upon payment and an endorsement by a Home Depot register validation.

SOLD TO	Name	CRISPIN JULIE		Home Phone	(772) 219-2502	
	Address	30 EAST HIGH POINT RD		Work Phone	() -	
				Company Name		
	City	STUART		Job Description	FENCE	
	State	FL	Zip	34996	County	MARTIN

[†]QUOTE is valid for this date: 07/07/2003

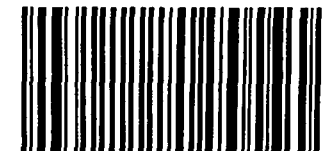
CUSTOMER PICKUP #1				MERCHANDISE AND SERVICE SUMMARY				We reserve the right to limit the quantities of merchandise sold to customers.	
REF #W07				SKU #515-664		Customer Pickup / Will Call			
STOCK MERCHANDISE TO BE PICKED UP:									
REF #	SKU	QTY	UM	DESCRIPTION	TAX	PRICE EACH	EXTENSION		
R01	143-742	10.00	EA	4X4-X59"PST MDA W/GTH &ALM BKT VP01 /	Y	\$16.95	\$169.50		
R02	568-682	5.00	EA	42"X8"COLONIALGOTHIC VNYLPNL VF03 /	Y	\$34.00	\$170.00		
R03	217-011	3.00	EA	42"X40 3/4"CLNLGTHIC VNLGATE VG03 /	Y	\$39.95	\$119.85		
R04	195-238	2.00	EA	VINYL GATE LATCH (WHITE) /	Y	\$9.95	\$19.90		
R05	195-184	4.00	EA	WHITE VINYL GATE HINGE /	Y	\$9.95	\$39.80		
R06	335-827	1.00	EA	PLAIN TREATED MAILBOX POST	Y	\$22.97	\$22.97		
SCHEDULED PICKUP DATE: 07/11/2003						MERCHANDISE TOTAL:		\$542.02	
TOTAL CHARGES OF ALL MERCHANDISE & SERVICES						END OF CUSTOMER PICKUP - REF #W07			
						ORDER TOTAL		\$542.02	
						SALES TAX		\$32.52	
						TOTAL		\$574.54	
						BALANCE DUE		\$574.54	
END OF ORDER No. 0221-179284									

TERMS AND CONDITIONS

WILL-CALL MERCHANDISE PICK-UP

Will-Call items will be held in the store for 7 days only.

**FOR WILL CALL
MERCHANDISE PICK-UP
PROCEED TO WILL CALL OR
SERVICE DESK AREA
(Pro Customers, Proceed To The Pro Desk)**



(9801) 0100172187

7075973755

BOYLE & DRAKE, INC. (561) 234-1303

UNIFORM RESIDENTIAL APPRAISAL REPORT

Loan #7075973755

File No. 5716

Property Description
 Property Address: 30 East High Point Road, City: Stuart, State: Florida, Zip Code: 34909
 Lender Description: Long Legal Description, Part of Lots 101 & 102, High Point Isle Addition, County: Martin
 Assessor's Parcel No.: 13-38-41-003-000-0101-1-80000, Tax Year: 2001, A. #, Taxes: 12,192.34, Special Assessments: None Noted
 Borrower: CRISPIN, Charles C. and Julie D., Current Owner: CRISPIN, Charles C. & Julie D., Occupant: Owner, Tenant, Vacant
 Property Rights Appraised: Fee Simple, Leasehold, Project Type: PUD, Condominium (HUD/VA only), HOA's: 18.68 Mo.
 Neighborhood or Project Name: High Point Isle Addition, Map Reference: 13-38-41, Census Tract: 5.00
 Sale Price: \$ N/A, Date of Sale: N/A, Description and \$ amount of loan charges/concessions to be paid by seller: None Known
 Lender/Client: Merrill Lynch Credit Corporation, Address: 4802 Deer Lake Drive, Jacksonville, Florida 32244
 Appraiser: Lisa Ann Fry, Address: 888 Dahlia Lane, Vero Beach, Florida 32903

Location: Urban, Suburban, Rural, Predominant occupancy: Single family housing, Other
 Build up: Over 75%, 25-75%, Under 25%, PRICE (per sq. ft.): 150 Low, 7500 High, 400
 Growth rate: Rapid, Stable, Slow, AGE (yrs): 2-4 family, 80, Commercial
 Property values: Increasing, Stable, Declining, Demand/supply: In balance, Over supply, Under supply, Marketing time: Under 3 mos., 3-5 mos., Over 5 mos., 10
 Note: Race and the racial composition of the neighborhood are not appraisal factors.
 Neighborhood boundaries and characteristics: See Attached Addendum.

Factors that affect the marketability of the properties in the neighborhood (proximity to employment and amenities, employment stability, appeal to market, etc.):
 Homes in Sewell's Point range from older homes of above average quality construction to newer homes of excellent quality construction, many of which are located on the water. Many of the older homes have been remodeled and updated. Sewell's Point has its own town hall, building department, and police department. Shopping, schools, and support services are located within a reasonable driving distance.
 Market conditions in the subject neighborhood (including support for the above conclusions related to the trend of property values, demand/supply, and marketing time... such as data on comparative properties for sale in the neighborhood, description of the prevalence of sales and financing concessions, etc.):
 Homes within this submarket generally reflect a marketing time of three to six months. Supply and demand factors appear to be in balance with property values increasing at the current time. Mortgage monies are readily available at competitive rates and origination fees providing adequate market conditions.
 Project Information for PUDs (if applicable) -- Is the developer/builder in control of the Home Owners' Association (HOA)? YES NO
 Approximate total number of units in the subject project: N/A, Approximate total number of units for sale in the subject project: N/A
 Describe common elements and recreational facilities: N/A
 Dimensions: Approx. 99.65' X 297.05' (Bldg Line) X 148.74' X 286.08' (Bldg Line) +/-, Corner Lot: Yes No
 Site area: Approx 0.83 Acre +/-, Topography: Level, Size: Average, Shape: Generally Rectangular, Drainage: Appears Adequate, View: Indian River, Landscaping: Compatible, Driveway Surface: Concrete, Apparent easements: Typical (Utility), FEMA Special Flood Hazard Area: Yes No, FEMA Zone: Y10, Map Date: 08/16/1992, FEMA Map No.: 120164 0002D
 Utilities: Public Other Off-site improvements: Type: Street, Public Private
 Electricity: Gas: Water: Sewer: Septic System Storm sewer: None
 Comments (apparent adverse easements, encroachments, special assessments, slide areas, illegal or legal nonconforming zoning, use, etc.): See Attached Addendum.

GENERAL DESCRIPTION	EXTERIOR DESCRIPTION	FOUNDATION	BASEMENT	INSULATION
No. of Units: 1	Foundation: Concrete	Slab: On Grade	Area Sq. Ft.: None	Roof: None
No. of Stories: 1	Exterior Walls: CBS	Over Space: None	% Finished: N/A	Ceiling: Typical <input checked="" type="checkbox"/>
Type (Det./Att.): Detached	Roof Surface: Metal	Basement: None	Ceiling: N/A	Walls: Typical <input checked="" type="checkbox"/>
Design (Style): Ranch	Outlets & Devices: Aluminum	Sump Pump: None	Walls: N/A	Floor: None
Existing/Proposed: Existing	Window Type: Single Hung	Dampness: None Noted	Floor: N/A	None: N/A
Age (Yrs.): 22 Years	Storm Screens: No/Yes	Settlement: None Noted	Outside Entry: N/A	Usenorm: R-Value <input checked="" type="checkbox"/>
Effective Age (Yrs.): 5 Years	Manufactured House: N/A	Infestation: None Noted		

ROOMS	Foyer	Living	Dining	Kitchen	Den	Family Rm.	Rec. Rm.	Bedrooms	Baths	Laundry	Other	Acc. Sq. Ft.
Basement												
Level 1	1	1	1	1	1	1		5	4.5	1	Nook	4,099
Level 2												

Finished area above grade contains: 10 Rooms, 5 Bedrooms, 4.5 Baths, 4,099 Square Feet of Gross Living Area

Additional features (special energy efficient items, etc.): See Attached Addendum.
 Condition of the Improvements, depreciation (physical, functional, and external), repairs needed, quality of construction remodeling/additions, etc.: See Attached Addendum.
 Adverse environmental conditions (such as, but not limited to, hazardous wastes, toxic substances, etc.) present in the improvements, on the site, or in the immediate vicinity of the subject property: No environmental hazards have been noted. The appraiser is not an expert in the field of environmental hazards and this report must not be considered an environmental assessment.

Handwritten note: 2002

Handwritten note: FEMA Flood Hazard Area

NOTICE OF AD VALOREM TAXES & NON-AD VALOREM ASSESSMENTS

20158

ORIGINAL FOR MARTIN COUNTY AD VALOREM TAXES REAL ESTATE

TAXING AUTHORITY	PURPOSE	RATE BASIS	MILLAGE RATE	TAX AMOUNT
I.D. NUMBER: 13-38-41-003-000-01011.90000 2002 TAX DISTRICT: 2200				
ASSESSED VALUE: 733,865 EXEMPTIONS: 25,000 TAXABLE VALUE: 708,865				
COUNTY	COUNTY-GENERAL FUND-OP		5.3480	3,791.01
	CNTY-F.I.T. BOND		.0580	41.11
	CNTY-GOVT BONDS 1986		.2720	192.81
	CNTY-BONDS LANDS FOR YOU		.1460	103.49
SCHOOL	SCHOOL-GENERAL FUND		8.2790	5,868.70
CHLD SVC	CHILDRENS SERVICES ORDNCS		.3143	222.80
F.I.N.D.	FL-INLAND NAVIGATION DIST		.0385	27.29
CITY	SEWALLS POINT		1.8890	1,339.05
S.F.W.M.	SOUTH FLA WATER MANAGEMNT		.6970	494.08

20 11/4

TOTAL MILLAGE 17.04180 AD VALOREM TAXES 12,080.34

NON-AD VALOREM ASSESSMENTS

COMBINED TAXES & ASSESSMENTS TOTAL: 12,080.34

EXEMPTION: HX-JTRS 25,000

PROPERTY
ADDR: 30 E HIGH PT RD SP

13 38 41
HIGH POINT ISLE ADDN BEG ON N/LN
LOT 102 50' ELY FROM NW COR RUN
ELY TO PT 50' ELY FROM NW COR
LOT 101 S 43 DEG 02' 13" E 405'
M/L TO RIVER SWLY 165' N 33 DEG
52' 53" W 394' M/L TO POB

13-38-41-003-000-01011.90000 2002
CRISPIN, CHARLES C & JULIE D
30 E HIGH POINT RD
STUART FL 34996-7002

NOV 1-NOV 30 11,597.13 DEC 1-DEC 31 11,717.93 JAN 1-JAN31 11,838.73 FEB 1-FEB28 11,959.54 MAR 1-MAR 31 12,080.34 DELINQUENT ON APRIL 1, 2003

SEE REVERSE SIDE FOR INSTRUCTIONS. PLEASE DETACH AND RETURN BOTTOM PORTION WITH YOUR PAYMENT.

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE
07/09/2003

PRODUCER
 Campo Insurance & Investment Services
 (772) 286-0330
 900 S. Federal Highway, #325
 Stuart FL 34994-

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED
 Kent's Karpentry & Painting, Inc.
 3483 Indian Court

INSURER A: Safeco Business Insurance Company
 INSURER B: North American Specialty Insurance Co.
 INSURER C:
 INSURER D:
 INSURER E:

Jensen Beach FL 34957-

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN. AGGREGATE LIMIT APPLIES PER POLICY <input type="checkbox"/> PRO. <input type="checkbox"/> JCT. <input type="checkbox"/> LOC.	01-CE-881363-40	12/14/2002	12/14/2003	EACH OCCURRENCE \$ 500,000 FIRE DAMAGE (Any one firm) \$ 200,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 500,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMPAG AGG \$ 1,000,000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	01 CE 881363-40	12/14/2002	12/14/2003	COMBINED SINGLE LIMIT (Per accident) \$ 1,000,000 BODILY INJURY (Per person) PROPERTY DAMAGE (Per accident) AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: FA ACC \$ AGG \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO		/ /	/ /	AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: FA ACC \$ AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$		/ /	/ /	EACH OCCURRENCE \$ AGGREGATE \$
B	WORKERS COMPENSATION AND EMPLOYERS LIABILITY	CEWDC02044-00	08/22/2002	08/22/2003	<input checked="" type="checkbox"/> WC STAT. <input type="checkbox"/> OY-PA E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 100,000
	OTHER		/ /	/ /	

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 Painting Contractor

CERTIFICATE HOLDER

ADDITIONAL INSURED, INSURER LETTER:

CANCELLATION

Charles & Julie Crispin
 30 East Highpoint Road

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

James Ucampot

Commissioner, P.O. Box 9013, Stuart, FL 34986
(888) 288-6604

4402-520-010 CERT SP02583
PHONE (772) 334-8909 LIC NO 02352
LOCATION:
3483 NE INDIAN CT JB

6818
9/10/01/2002 OCCU NORMAL
288252000010000
0220021001000065CX \$25.00

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR \$.00 LIC FEE \$ 25.00
PENALTY \$.00
COL FEE \$.00
TRANSFER \$.00
TOTAL 25.00

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF PAINTING CONTRACTOR
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

01 day of OCTOBER 2003 to 02
AND ENDING SEPTEMBER 30, 2003

HUGHES KENT A
KENT'S KARPENTRY & PAINTING
3483 NE INDIAN COURT
JENSEN BEACH FL 34957

RECEIPT of PAYMENT

LARRY C. O'STEEN
9/10/01/2002 OCCU NORMAL
288252000010000
0220021001000065CX

LICENSE ~~1996-500-024~~ CERT ~~SP02399~~
PHONE ~~(772) 334-8909~~ LIC NO ~~00178~~
LOCATION:
3483 NE INDIAN CT JB

HUGHES, KENT A QUALIFIER
KENT'S KARPENTRY & PAINTING
3483 NE INDIAN COURT
JENSEN BEACH FL 34957

2002-2003 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34986
(888) 288-6604

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$.00 LIC. FEE \$ 25.00
PENALTY \$.00
COL. FEE \$.00
TRANSFER \$.00
TOTAL 25.00

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF CARPENTRY CONTRACTOR
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

01 day of OCTOBER 2003 to 02
AND ENDING SEPTEMBER 30, 2003

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6-25, 2007

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8577	Crispin	Final	FAIL	
1	30 E High Pt Elite Elec.	Final		INSPECTOR: <i>[Signature]</i>
8634	Watters	UG rough	PASS	
5	20 N Ridgwin George Dietz			INSPECTOR: <i>[Signature]</i>
8145	Gisinger	fence wall stud	PASS	
6	8 Castle Hill Way OB			INSPECTOR: <i>[Signature]</i>
6366	Crispin	Final	PASS	Close
2	30 E High Pt OB			INSPECTOR: <i>[Signature]</i>
7289	Klose	Final	FAIL	
4	2 Baker St Pacific Roof			INSPECTOR: <i>[Signature]</i>
8620	Bolner	Final	PASS	CLOSE
3	17 W High Pt All Am.	(Pictures on site)		INSPECTOR: <i>[Signature]</i>
8427	Hepworth	Final	FAIL	
7 LAST	8 Riv Vista Sand Castle			INSPECTOR: <i>[Signature]</i>

OTHER:

Tree 14 N Via Laurencia Tree

8577

LIGHTING

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 4-18-07 BUILDING PERMIT NO. 8577
 Building to be erected for Crispin Type of Permit Lighting on yard & dock
 Applied for by Elite Electric (Contractor) Building Fee _____
 Subdivision High Point Lot 102 Block _____ Radon Fee _____
 Address 30 E High Point Rd Impact Fee _____
 Type of structure STR A/C Fee _____
 Electrical Fee 35
 Parcel Control Number: _____ Plumbing Fee _____
133841-003-000-010119- Roofing Fee _____
 Amount Paid \$35 Check # 09579 Cash _____ Other Fees (_____) _____
 Total Construction Cost \$ 2000 TOTAL Fees 35

Signed [Signature] Applicant Signed John Adams Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input checked="" type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

RECEIVED
3/27/07

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 3/27/07

OWNER/TITLEHOLDER NAME: CRISPIN / CHARLES + JULIE Phone (Day) 772-340-3797 (Fax) 772-340-3702

Job Site Address: 30 EAST HIGH POINT ROAD City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) N/1N LOT 102 HIGH POINT 1566 Parcel Number: 13-38-41-003-000-01011-9

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: MISCELLANEOUS YARD AND DOCK LIGHTING

WILL OWNER BE THE CONTRACTOR?:

YES

NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2000.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: ELITE ELECTRIC Phone: 340-3797 Fax: 340-3702

Street: 1691 SW SOUTH MACEDO BLVD. City: PORT ST. LUCIE State: FL Zip: 34984

State Registration Number: EA0011841 State Certification Number: _____ Martin County License Number: ME00369

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Julie D Crispin

State of Florida, County of: Martin

This the 27th day of MARCH, 2007

by JULIE D CRISPIN who is personally

known to me or produced FL DL# C621-424599680

as identification. Valerie Meyer

My Commission Expires: _____

Notary Public
VALERIE MEYER
MY COMMISSION # DD552119
PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY
(407) 398-0153 Florida Notary Service.com

CONTRACTOR SIGNATURE (required)
John Pankraz

On State of Florida, County of: ST LUCIE

This the 27th day of MARCH, 2007

by JOHN PANKRAZ who is personally

known to me or produced _____

As identification. Tracy Lee Langford

My Commission Expires: _____

Notary Public
TRACY LEE LANGFORD
MY COMMISSION # DD 362231
EXPIRES: October 12, 2008
1-800-3-NOTARY FL Notary Discount Assoc. Co.



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmax.com T1.13

Summary

print Owner 1 of 2

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-003-000-01011-9	30 E HIGH PT RD	27788	Owner	0	1

Summary

Property Location 30 E HIGH PT RD
Tax District 2200 Sewall's Point
Account # 27788
Land Use 101 0100 Single Family
Neighborhood 193110
Acres

Legal Description

Property Information
 HIGH POINT ISLE ADDN BEG ON
 N/LN LOT 102 50' ELY FROM NW
 COR RUN ELY TO PT 50' ELY

Owner Information

Owner Information
 CRISPIN, CHARLES C & JULIE D

Mail Information

30 E HIGH POINT RD
 STUART FL 34996

Assessment Info

Front Ft. 1.00

Market Land Value \$1,120,500
Market Impr Value \$693,430
Market Total Value \$1,813,930

Search By

- Parcel ID
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Site Functions

Property Search

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale

Sale Amount \$625,000

Sale Date 12/24/1997
Book/Page 1280 0889

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 02/20/2007



ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
08/01/06

PRODUCER
FEDERATED MUTUAL INSURANCE COMPANY
Home Office: P.O. Box 328
Owatonna, MN 55060
Phone: 1-888-333-4949

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A FEDERATED MUTUAL INSURANCE COMPANY OR
FEDERATED SERVICE INSURANCE COMPANY

INSURED 235-873-7
ELITE ELECTRIC INC
1691 SW SOUTH MACEDO BLVD
PORT SAINT LUCIE FL 34984

COMPANY B

COMPANY C

COMPANY D

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT <input checked="" type="checkbox"/> BUSINESSOWNER'S POLICY	9397485	10/15/06	10/15/07	GENERAL AGGREGATE \$ 2,000,000
	PRODUCTS - COMP/OP AGG \$ 2,000,000				
	PERSONAL & ADV INJURY \$ 1,000,000				
	EACH OCCURRENCE \$ 1,000,000				
	FIRE DAMAGE (Any one fire) \$ 50,000				
	MED EXP (Any one person) \$				
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	9397486	10/15/06	10/15/07	COMBINED SINGLE LIMIT \$ 1,000,000
	BODILY INJURY (Per person) \$				
	BODILY INJURY (Per accident) \$				
	PROPERTY DAMAGE \$				
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$
	OTHER THAN AUTO ONLY:				
	EACH ACCIDENT \$				
A	EXCESS LIABILITY <input checked="" type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM	9397487	10/15/06	10/15/07	EACH OCCURRENCE \$ 1,000,000
	AGGREGATE \$ 1,000,000				
	\$				
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL				WC STATUTORY LIMITS: <input type="checkbox"/> OTH-ER: <input type="checkbox"/>
	EL EACH ACCIDENT \$				
	EL DISEASE - POLICY LIMIT \$				
	EL DISEASE - EA EMPLOYEE \$				
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER

2358737 TOWN OF SEWALLS POINT 35
1 S SEWALLS POINT RD
SEWALLS POINT FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

[Signature]
PRESIDENT

Certificate of Insurance

This certificate is issued as a matter of information only and confers no rights upon the Certificate Holder other than those provided by this policy. This certificate does not amend, extend, or alter the coverage afforded by the policies described herein.

Named Insured(s):

Gevity HR, Inc and its wholly owned subsidiaries including but not limited to Gevity HR, LP; Gevity HR II, LP; Gevity HR III, LP; Gevity HR IV, LP; Gevity HR V, LP; Gevity HR VI, LP; Gevity HR VII, LP; Gevity HR VIII, LP; Gevity HR IX, LP; Gevity HR X, LP; Gevity HR XI, LLC; Gevity HR XII Corp.
9000 Town Center Parkway
Bradenton, Florida 34202

MARSH

Insurer Affording Coverage

**American Home Assurance Co.,
Member of American International Group, Inc. (AIG)**

Coverages:

This is to certify that the policy(ies) of insurance described herein have been issued to the insured named herein for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which the Certificate may be issued or may pertain, the insurance afforded by the policy(ies) described herein is subject to all the terms, conditions and exclusions of such policy(ies). (Aggregate) Limits shown may have been reduced by paid claims.

Type of Insurance	Certificate Exp. Date	Policy Number	Limits	
			Employers Liability	
Workers' Compensation	1-1-2008	RMWC9719932 RMWC9719957	Bodily Injury By Accident	Each Accident
			\$ 2,000,000	
			Bodily Injury By Disease	Policy Limit
			\$ 2,000,000	
			Bodily Injury By Disease	Each Person
			\$ 2,000,000	

Other:

Employees Leased To:

Effective Date: 1/1/07

12124 Elite Electric Inc.

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer

Notice of Cancellation: Should any of the policies described herein be cancelled before the expiration date thereof, the insurer affording coverage will endeavor to mail 30 days written notice to the certificate holder named herein, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer affording coverage, its agents or representatives.

Certificate Holder:



Michael C. Weiss

Authorized Representative of Marsh USA Inc.

Town of Sewalls Point
1 S Sewalls Point Rd
Sewalls Point, FL 34996-6736

(866) 443-8489
Phone

01/01/2007
Date Issued



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
ELECTRICAL CONTRACTORS LICENSING BOARD

SEQ# L06081101599

DATE	BATCH NUMBER	LICENSE NBR
08/11/2006	060100536	ER0011841

The ELECTRICAL CONTRACTOR
Named below HAS REGISTERED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008
(INDIVIDUAL MUST MEET ALL LOCAL LICENSING
REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA)

PANKRAZ, JOHN ALBERT
ELITE ELECTRIC
1162 SE PALM BCH RD
PORT ST LUCIE FL 34952-5315

JEB BUSH
GOVERNOR

SIMONE MARSTILLER
SECRETARY

DISPLAY AS REQUIRED BY LAW

OCCUPATIONAL TAX RECEIPT

CITY OF PORT ST. LUCIE

121 SW PORT ST. LUCIE BOULEVARD
PORT ST. LUCIE, FLORIDA 34984

THIS LICENSE VALID WHEN ALL STATE AND LOCAL
REGULATED TRADE LICENSES / COMPETENCY
CARDS ARE VALID FOR THE CURRENT FISCAL YEAR.

TERM: October 1, 2006 to September 30, 2007

THIS IS A RECEIPT FOR TAX PAID AND IS NOT REGULATORY IN NATURE

This license does not warrant or hold that the licensee is competent to perform in the business(es) as licensed, but that the licensee has paid the required fee(s) and provided the necessary documentation (if required) to be licensed in this business.

LICENSE MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS.

VALID AT THIS BUSINESS ADDRESS ONLY.

Business Address: 1691 SW SOUTH MACEDO BLVD

Classification: CONT CONTRACTOR

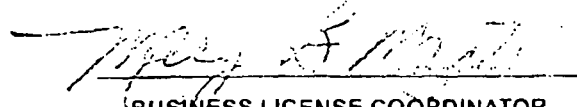
Issued to: ELITE ELECTRIC
1691 SW SOUTH MACEDO BLVD

PORT ST LUCIE FL 34984

Business/Lic. 114338 / 07-1002908

Fee: 115.77

Discount: 0.00



BUSINESS LICENSE COORDINATOR
BUSINESS COPY

1817 / 010

Amolenda

Fees: 115.77 Late Fees: 0.00 Total this payment: 115.77

COUNTY LICENSES

City of Ft. Pierce

City of Fort Pierce, Florida
 Contractor Licensing
 P. O. Box 1480
 Fort Pierce, Florida 34954
 Local License: CONT44 - 06
 Expiration: 9/30/2006
 Type: REGISTERED ELECTRICAL
 ELITE ELECTRIC
 Qualifier PANKRAZ, JOHN ALBERT



MARTIN COUNTY, FLORIDA
 Construction Industry Licensing Board
 Certificate of Competency

MASTER ELECTRICIAN

License Number ME00369 Expires: 30-SEP-07
 PANKRAZ, JOHN A
 ELITE ELECTRIC
 1691 SW SOUTH MACEDO BLVD
 PORT ST LUCIE, FL 34984

COUNTY LICENSES

St. Lucie County

Martin County


**St. Lucie County
CONTRACTOR
IDENTIFICATION CARD**

County Certification Number: 4724

Class Code: Electrical - Registered

This is to certify that PANKRAZ JOHN A DBA ELITE ELECTRIC INC has been issued a County Certificate in St. Lucie County, beginning on 10/01/2006 and ending on 09/30/2007, unless license is revoked.

Joseph C. L. [Signature]
Authorized Licensing Official



**MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency**

MASTER ELECTRICIAN

License Number ME00369 Expires: 30-SEP-07

PANKRAZ, JOHN A
ELITE ELECTRIC
1691 SW SOUTH MACEDO BLVD
PORT ST LUCIE, FL 34984

Indian River County

Indian River County Contractor Licensing
1840 25th Street, Vero Beach, FL 32960-3365
(772) 226-1800
ELECTRICAL CONTRACTOR REGISTERED

Cert Nbr:6867 Exp:7/31/2007 Status:ACTIVE
State Nbr:ER0011841 Exp:8/31/2006 *[Signature]*






ELITE ELECTRIC
PANKRAZ, JOHN ALBERT
1691 SW SOUTH MACEDO BLVD
PORT ST. LUCIE FL *[Signature]*

Signed _____

Crispen yard lighting specs

LC: # ER0011841

PHONE: 772-340-3797 • FAX: 772-340-3702

34		BCL16/BUL16 Hadco 20 watts@	680 watts
11		Electro ELF Knight ELF 13 watts@	143 watts
5		Path Lights EL/KLV 115 KIM 25 watts@	125 watts
4		Metal Halide up light 100 watts@ (not picked out yet)	400 watts
4		Acme transformers 300watts each	

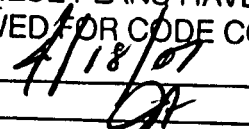
- All wiring to each light fixture to be 12-2 uf low voltage wire sunlight resistance
- All wiring to each transformer to be a minimum of #12 THHN / CU
- All wiring to four metal halide fixtures to be a minimum of #12 THHN / CU
- Total watts of low voltage lights to be 948 watts
- Total transformer is 1200 watts divided by 120 volts equals 10 amps
- Total metal halide lights is 400 watts divided by 120 volts equals 3.33 amps
- Total additional load of yard lighting is 13.33 amps

FILE COPY

TOWN OF SEWALL'S POINT

THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE 4/18/07



BUILDING OFFICIAL

1691 SW South Macedo Boulevard, Port St. Lucie, Florida 34984

Mushroom

Path Lighting



12 VOLT SPECIFICATIONS

Hood: Spun aluminum, supported on brass rods.

Stem: Cast aluminum with 1/2" NPT at bottom, plus solid brass locknut for mounting.

Socket: (12 Volt - KLV115) Porcelain medium base with silicone lamp gasket.

Wiring: 3' No. 18-2 12 Volt cable with fork connectors.

Lamp: 25 watt A-19 included.

Finish: Super TGIC thermoset polyester powder coat paint, 2.5 mil nominal thickness, applied over a Titanated Zirconium conversion coating; 2500 hour salt spray test endurance rating. Standard colors are Black (**BL**), Dark Bronze (**DB**), and Verde Green (**GR**).

Certification: UL Listed to U.S. and Canadian safety standards for wet locations. Fixture manufacturer shall employ a quality program that is certified to meet the ISO 9001:2000 standard.



BUL16 COMPOSITE

BUL16-A Black BUL16-G Verde
BUL16-H Bronze

- 12 Volt
- Clear tempered Lens
- 50 watt maximum
- MR16 Lamp
- 1/2" NPS. fitter

HOUSING - One piece injection molded ULH PPT High Performance Polymer with fully adjustable swivel arm with vibration proof locking teeth.

SHROUD - Fully rotatable, gasketed, ULH PPT High Performance Polymer composite.

FINISH - Color impregnated material in black, bronze or hand rubbed verde antique floor black.

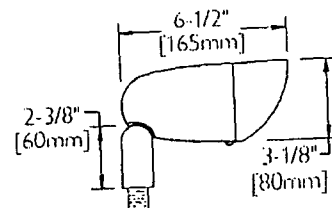
LENS - Clear tempered glass affixed at 10° angle for natural cleaning.

SOCKET - 16 pin type (CULB3).

WIRING - Pre wired with a 3 ft. pigtail and a quick connector for easy hookup to the supply cable.

UL, cUL Listed.

catalog no.	description	catalog no.	description
KV16	1/2" Fitter	PL16	1/2" Pigtail
BU16	Quick Connect	RV16	1/2" Quick Connect

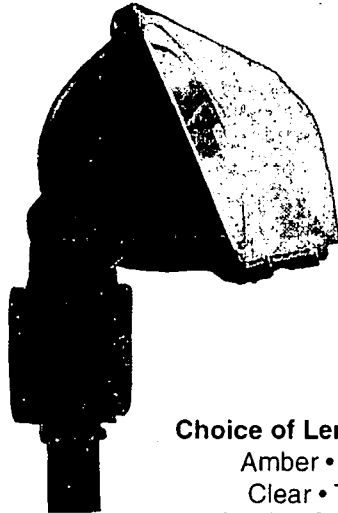


FILE

ELECTRO ELF™

Energy Efficient Fluorescent Lighting

KNIGHT ELF



Choice of Lens Colors
 Amber • Red
 Clear • Teal-Green
 (Standard Clear Lens)

Available in Black, White or Green

SPECIFICATIONS

MOUNTING

- Standard 1/2" male Pipe Thread

HOUSING

- Polycarbonate
- No Weep Holes "This product is water tight"

REFLECTOR

- Vacuum deposited ellipsoidal reflector

LENS

- Acrylic OPAQUE
- Non - Yellowing
- U.V. - Stabilized
- Available in-clear, red, amber or teal

LAMP WATTAGES

- 13 Watt
- Bulb shipped installed into fixture & is retained in one end by a socket & on opposite end by a clip to insure proper focus
- Remote Ballast-cuts down heat inside lamp-hood-results in cooler bulb-longer bulb life

ELECTRICAL STANDARDS

- Outdoors; wet location
- E.T.L. - Listed

ALSO AVAILABLE

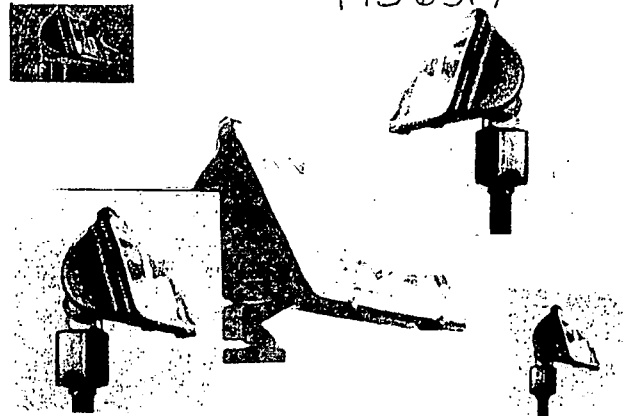
- 12V. AC - DC Fluorescent *

FILE

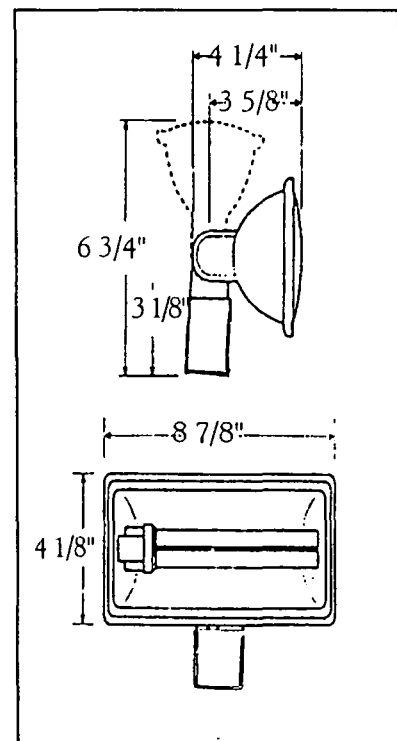
LAMP CONFIGURATION

CATALOG NUMBER	LAMP(S)
KEFL13	P13-27K
KEFL13	P13-41K
KEFL	DC 13W.
KEFL	AC-DC 13W.

P13-65K



DIMENSIONS

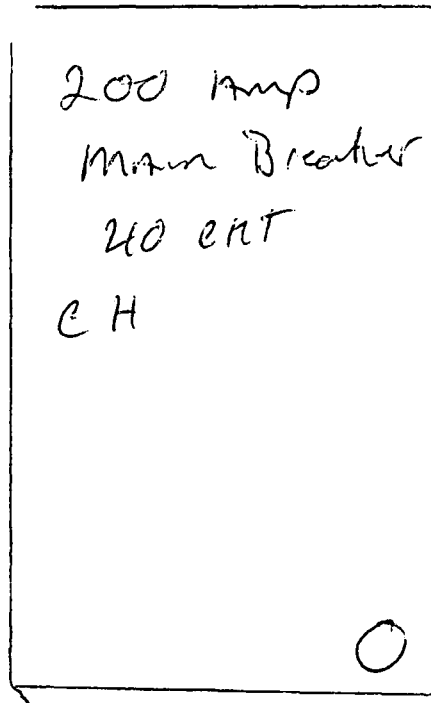


US Patent # 5381322

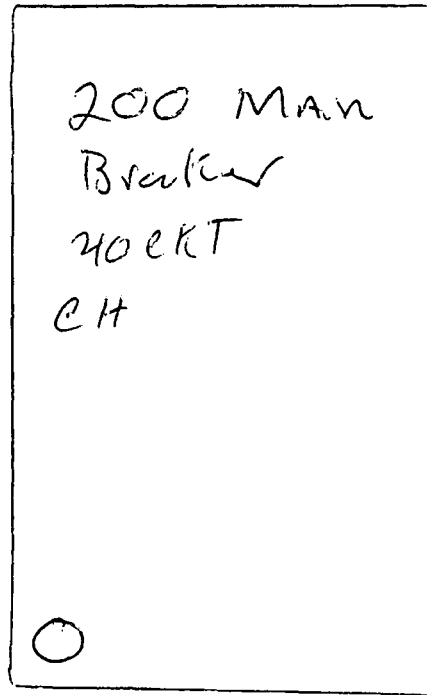
329 Sutton Place • Santa Rosa, California 95407
(707) 585-2696 • FAX (707) 584-8537
 Manufactured in the U.S.A.

FILE

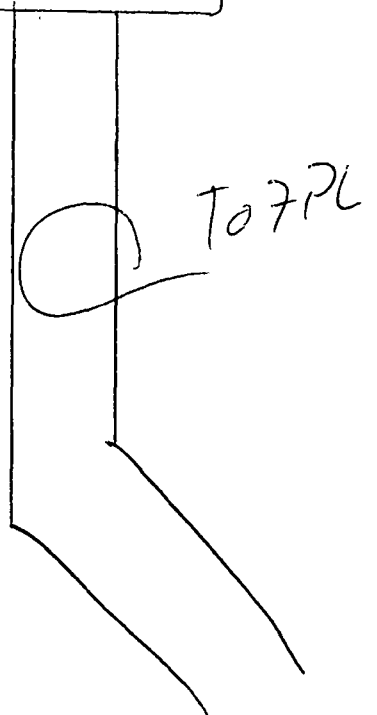
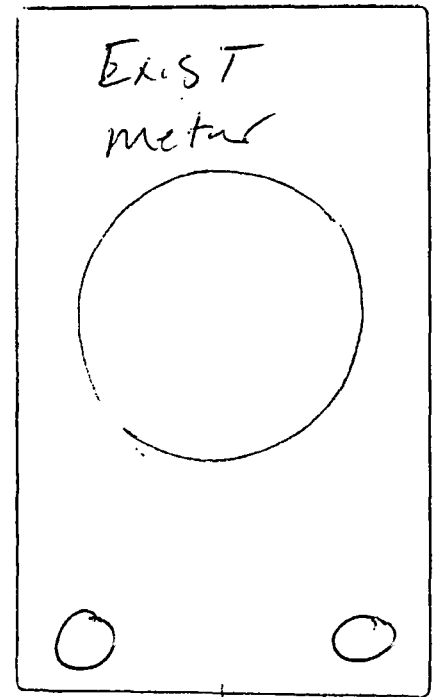
Indoor



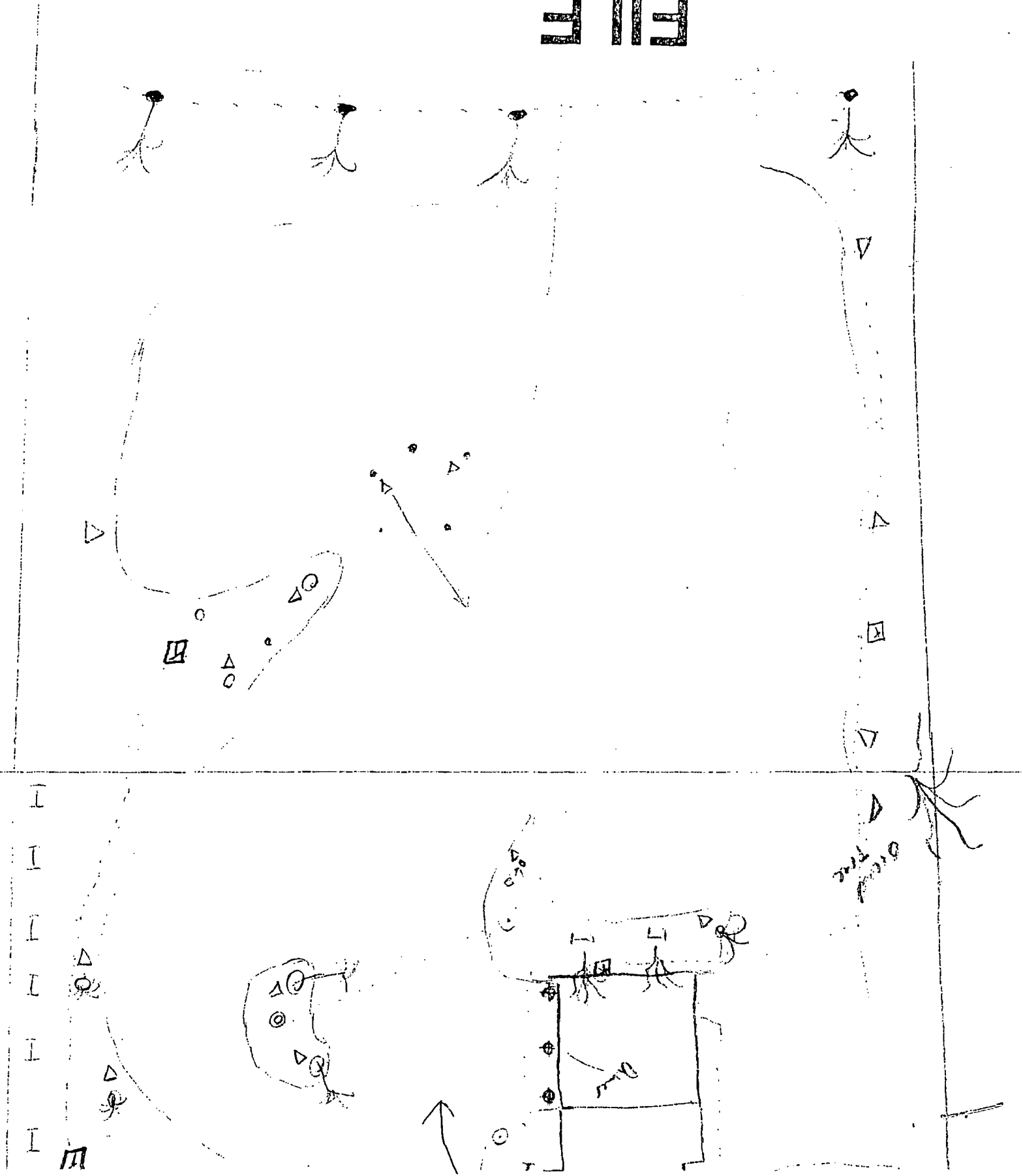
Indoor

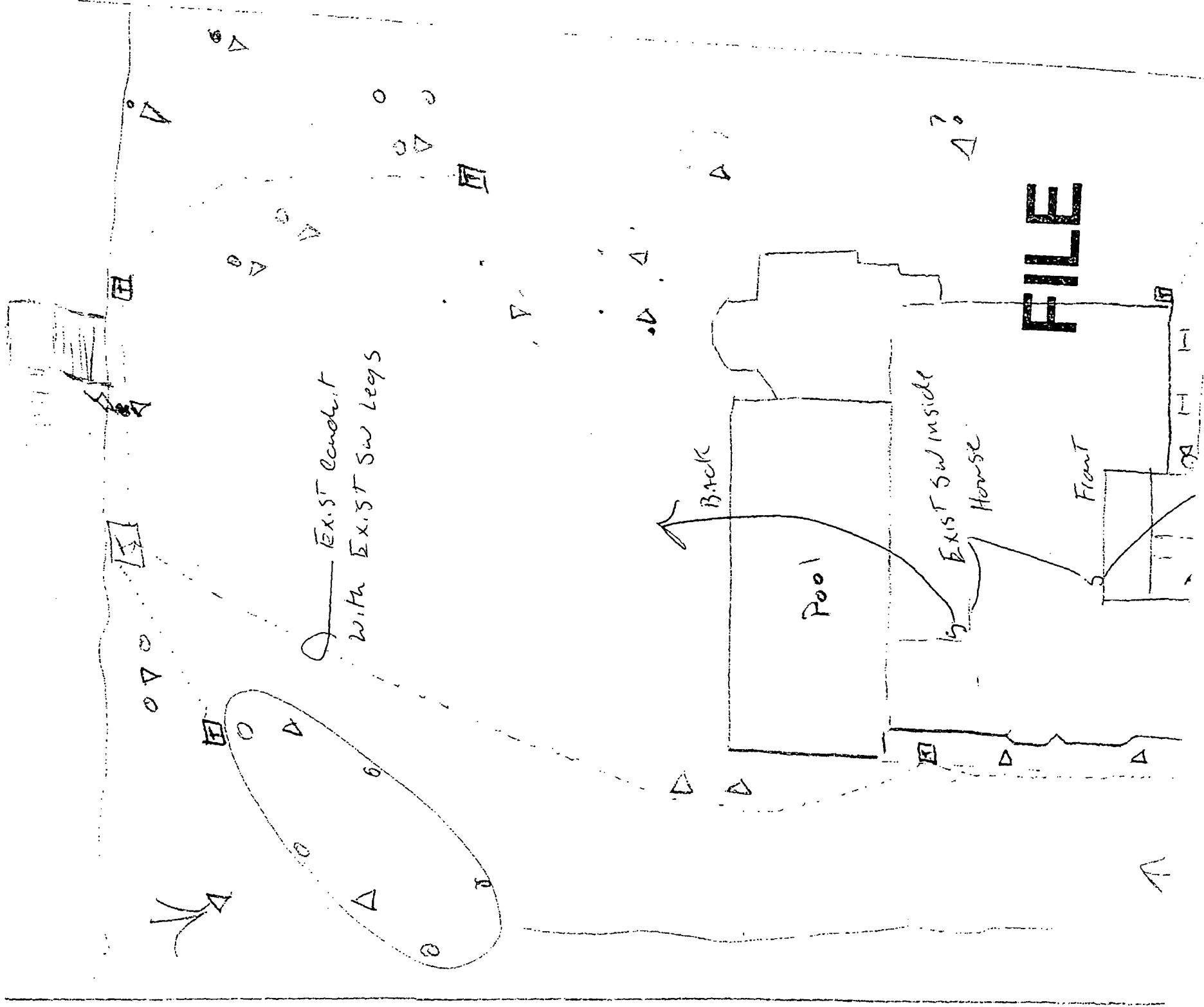


Each Panel is EXIST



FILE







TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 30 E. HIGH PT.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL ELEC.

NO PERMIT POSTED

\$40 FEE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/20/07

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6-20, 2007 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8602	Armstrong	In-Progress	PASS	
3	41 W High Pt All American			INSPECTOR: <i>AW</i>
8528	Masterpiece	turns	PASS	
5	5 Mandalay Masterpiece	REINSPECTION		INSPECTOR: <i>AW</i>
8591	Cropper	Final	FAIL	ADVICE
2	30 E High Pt Elite Elec.			INSPECTOR: <i>AW</i>
8622	Goodman	Final	PASS	CLOSE
4	6 Oakwood Dr Premier Tinting			INSPECTOR: <i>AW</i>
8621	Knudson	Form	PASS	
8	135 Via Luanda Pools by Gress			INSPECTOR: <i>AW</i>
Tree	Shutts	Tree	PASS	
7	46 Riv Vista Dr OB			INSPECTOR: <i>AW</i>
Tree	Lancaster	Tree	PASS	
6	8 Pineapple Ln OB			INSPECTOR: <i>AW</i>

OTHER:

C.E. 16 MIRAMAR HIGH GRASS/WEEDS



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 30 E. HIGH PT.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

LANDSCAPE LIGHTING

EXPOSED WIRING MUST BE PROTECTED

LIGHT FIXTURE TAP CONNECTORS
MUST BE CERTIFIED WEATHER
TIGHT.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/25


INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6-25, 2007

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8517	Crispin	Final	FAIL	
1	30 E High Pt Elite Elec.	Fee to paid		INSPECTOR: <i>AM</i>
8634	Watters	UG rough	PASS	
5	20 N Ridgeway George Dietz			INSPECTOR: <i>AM</i>
8145	Gieringer	Renewal steel	PASS	
6	8 Castle Hill Way OB			INSPECTOR: <i>AM</i>
6366	Crispin	Fence Final	PASS	CLOSE
2	30 E High Pt OB			INSPECTOR: <i>AM</i>
7089	Klose	Final	FAIL	
4	2 Baker St Pacific Roof			INSPECTOR: <i>AM</i>
8620	Bulmer	Final-	PASS	CLOSE
3	17 W High Pt All Am.	(Pictures on site)		INSPECTOR: <i>AM</i>
8427	Hepworth	Final	FAIL	
7 LAST	8 Riv Vista Sand Castle			INSPECTOR: <i>AM</i>

OTHER:

Tree 14 N Vista Pasadena Tree

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7-2, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8162	McCormick	Final	PASS	CLOSE
6	59 N River Rd Advantage Pool			INSPECTOR: <i>[Signature]</i>
8577	Crispin	Final	PASS	CLOSE
1	30 E High Pt East Elect			INSPECTOR: <i>[Signature]</i>
8427	Hepworth	Final	PASS	RETURN FOR CO.
3	8 Rio Vista Sand Castle	11:00 A.M.	PASS	INSPECTOR: <i>[Signature]</i>
8630	Dalton	Final	PASS	CLOSE
4	6 Rio Vista Advantage AC			INSPECTOR: <i>[Signature]</i>
2700	Cooper	Final	PASS	CLOSE
2	33 W High Pt Advantage AC	AC replacement		INSPECTOR: <i>[Signature]</i>
745	Steck	Final	FAIL	
7	32 Fieldway Dr Advantage AC	AC changeout		INSPECTOR: <i>[Signature]</i>
8533	West	Final	PASS	CLOSE
5	7 Palmetto Dr Olb			INSPECTOR:
OTHER	20 RIDGEVIEW STEVE CONWAY		FINAL	FAIL

9220

AC CHANGE OUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9220	DATE ISSUED:	AUGUST 4, 2009
SCOPE OF WORK:	AC CHANGEOUT		
CONDITIONS :			
CONTRACTOR:	NIS AIR		
PARCEL CONTROL NUMBER:	133841003-000-01011-9	SUBDIVISION	HIGH PT ISLE ADDN-LOT 102
CONSTRUCTION ADDRESS:	30 E HIGH POINT RD		
OWNER NAME:	CRISPIN		
QUALIFIER:	PHIL NISA	CONTACT PHONE NUMBER:	283-0904

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER.
 THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9220		
ADDRESS	30 E HIGH PT RD		
DATE:	8/4/09	SCOPE:	AC CHANGEOUT

PERSONALIZED SERVICE, INC.
DBA NISAIR AIR CONDITIONING
 OPERATING ACCOUNT
 3700 S. U.S. HIGHWAY 1
 FORT PIERCE, FL 34982

GULFSTREAM BUSINESS BANK
 2400 S.E. MONTEREY ROAD
 STUART, FL 34986

24084

63-4712/670
 01

PAY TO THE ORDER OF

\$ 80.⁰⁰

Town of Sewall's Point
eighty and ⁰⁰/₁₀₀

8/4/09

DOLLARS

MEMO



Christine M. Murphy
[Signature]
 AUTHORIZED SIGNATURE

Road impact assessment: (.04% of construction value - \$5.00 min.)		
Martin County Impact Fee:	\$	
TOTAL BUILDING PERMIT FEE:	\$	

ACCESSORY PERMIT	Declared Value:	\$	9403
Total number of inspections @ \$75.00 each	1	\$	75
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	80

RECEIVED

Town of Sewall's Point

Date: 8-3-09 DATE: 8-4-09 TOWN OF SEWALL'S POINT BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: Charles & Julie Crispin Phone (Day) 486-3067 (Fax) _____

Job Site Address: 30 E. High Point Rd. City: Stuart State: FL Zip: 34996

Legal Description _____ Parcel Control Number: 13-38-41-003-000-01011-9

Owner Address (if different): Same City: _____ State: _____ Zip: _____

Scope of work (please be specific): Change out A/C unit

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES _____ NO X
Has a Zoning Variance ever been granted on this property? YES _____ (YEAR) _____ NO X
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 9403.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 or HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 _____ X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Nisair Air Conditioning Phone: 772-283-0904 Fax: 772-468-9745
Street: 3700 S. US 1 City: Ft. Pierce State: FL Zip: 34982
State License Number: CA00-41199 OR: Municipality: _____ License Number: CA00-41199

LOCAL CONTACT: _____ Phone Number: _____

DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 Edition
National Electrical Code: 2005 Florida Energy Code: 2007 Florida Accessibility Code: 2007 Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - 5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Julie Crispin
State of Florida, County of: ST. LUCIE
This the 3rd day of August, 20 09
by Julie Crispin who is personally
known to me or produced
as identification. *Patricia A. Jacobs*
Notary Public

CONTRACTOR SIGNATURE: (required)
Phil Misa
On State of Florida, County of: St. Lucie
This the 3rd day of August, 20 09
by Phil Misa who is personally
known to me or produced
as identification. *Patricia A. Jacobs*
Notary Public

My Commission Expires: _____ Commission # DD513896 My Commission Expires: _____ Commission # DD513896

SINGLE FAMILY PERMIT APPLICATIONS ONLY. EXPIRES FEB 28, 2010. 30 DAYS OF APPROVAL. FBC 105.3.4. ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE SEE TOWN OF SEWALL'S POINT WEBSITE FOR MORE INFORMATION.



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com T1.14

Summary

print [navigation icons] Owner 1 of 2

Parcel Info

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-003-000-01011-9	30 E HIGH PT RD	27788	Owner	0	1

- Summary**
- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Summary

Property Location 30 E HIGH PT RD
Tax District 2200 Sewall's Point
Account # 27788
Land Use 101 0100 Single Family
Neighborhood 193110
Acres 1.050

Legal Description

Property Information
 HIGH POINT ISLE ADDN BEG ON N/LN LOT 102 50' ELY FROM NW COR RUN ELY TO PT 50' E LY FROM NW COR LOT 101 S 43 DEG 02' 13" E 405' M/L TO RIVER SWLY 165' N 33 DEG 5 2' 53" W 394' M/L TO POB

Owner Information

Owner Information
 CRISPIN, CHARLES C & JULIE D

Mail Information

30 E HIGH POINT RD
 STUART FL 34996

Assessment Info
 Front Ft.

Market Land Value \$952,430
Market Impr Value \$542,940
Market Total Value \$1,495,370

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$625,000

Sale Date 12/24/1997
Book/Page 1280 0889

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 6/22/2009



NOTICE OF COMMENCEMENT
 TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 13-38-41-003-000-01011-9

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

High point is the odd part of lot 102 & part of lot 101
 LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
30 E. HIGH POINT RD., STUART, FL 34996

GENERAL DESCRIPTION OF IMPROVEMENT: Change out AC unit

OWNER NAME: CHARLES + JULIE CRISPIN
 ADDRESS: 30 E. HIGH POINT RD., STUART, FL 34996
 PHONE NUMBER: 486-3067 FAX NUMBER: _____

INTEREST IN PROPERTY: OWNERS
 NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

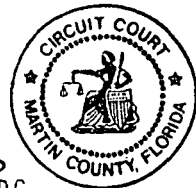
CONTRACTOR: NISAIR AIR CONDITIONING
 ADDRESS: 3700 S. U.S. 1, FT. PIERCE, FL 34982
 PHONE NUMBER: 772-283-0904 FAX NUMBER: 772-468-9745

SURETY COMPANY (IF ANY): N/A
 ADDRESS: _____
 PHONE NUMBER: _____ FAX NUMBER: _____
 BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: N/A
 ADDRESS: _____
 PHONE NUMBER: _____ FAX NUMBER: _____

THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK
 BY: [Signature] D.C.
819109



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: N/A
 ADDRESS: _____
 PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES N/A OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:
 PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
 (EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
 SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER
 SIGNATORY'S TITLE/OFFICE: Owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 3rd DAY OF August, 2009
 BY: Julie Crispin AS owner FOR N/A
 NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____
 TYPE OF IDENTIFICATION PRODUCED _____

[Signature]
 NOTARY SIGNATURE/ SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

[Signature]
 (Signature of Natural Person Signing Above)



Patricia A. Jacobs
 Commission #DD513896
 Expires: FEB. 28, 2010
 www.AARONOTARY.com

INSTR # 2160689 OR BK 02404 PG 2146 RECD 08/04/2009 08:26:06 AM
 Pg 2146 (1ps)
 MARSHA EWING MARTIN COUNTY DEPUTY CLERK

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 12-17 Page 1 of 1

RMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9220	302 High Rd	Final	PASS	Close
	Nis Air			INSPECTOR <i>[Signature]</i>
9307	Robson 2 Castle Hill Metro	wire lathe	PASS	INSPECTOR <i>[Signature]</i>
8962	CD2 75 N Sewalls Riverview Const	Final wall	PASS	INSPECTOR <i>[Signature]</i> Close
912	Hiners 4 Morgan Cir Crabben	Final retaining wall	Cancel	INSPECTOR
913	Hiners 4 Morgan Cir Crabben	Final storage shed	Cancel	INSPECTOR
				INSPECTOR
				INSPECTOR

10161

AC CHANGEOUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10161	DATE ISSUED:	JULY 31, 2012
SCOPE OF WORK:	AC CHANGEOUT		
CONTRACTOR:	NIS AIR		
PARCEL CONTROL NUMBER:	133841003-000-010119	SUBDIVISION	HIGH PT IS ADDN - L 102
CONSTRUCTION ADDRESS:	30 E HIGH PT RD		
OWNER NAME:	CRISPIN		
QUALIFIER:	PHIL NISA	CONTACT PHONE NUMBER:	466-8115

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10161
ADDRESS	30 E HIGH PT RD - CRISPIN
DATE 7/31/12	SCOPE OF WORK AC CHANGEOUT

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$250.00 SEP, \$175.00 Remodel, \$200.00)		\$	

GULFSTREAM BUSINESS BANK
 2400 S.E. MONTEREY ROAD
 STUART, FL 34996

28414

63-4712/670
 01

PERSONALIZED SERVICE INC
DBA NISAIR AIR CONDITIONING
 3700 S US HIGHWAY 1
 FORT PIERCE, FL 34982-8211
 1-877-764-7247

7-26-12

PAY TO THE ORDER OF

Town of Sewall's Point
Eighty four + no/100

\$ 84.00

DOLLARS

MEMO

CRISPIN permit

Christine Mulvaney
 AUTHORIZED SIGNATURE

TOTAL BUILDING PERMIT FEE:	\$	
----------------------------	----	--

ACCESSORY PERMIT	Declared Value:	\$	3500
Total number of inspections @ \$75.00 each		\$	75
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:	\$	84	

CR# 28414

Town of Sewall's Point

Date: 7-26-12 BUILDING PERMIT APPLICATION Permit Number: 10161

OWNER/LESSEE NAME: Julie Crispin Phone (Day) 25-6296 (Fax)

Job Site Address: 30 East Highpoint Rd City: Stuart State: FL Zip: 34996

Legal Description Parcel Control Number: 13-38-41-003-000-01011-9

Fee Simple Holder Name: Address: City: State: Zip: Telephone:

*SCOPE OF WORK (PLEASE BE SPECIFIC):

A/C Change out weatherlike

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 35000 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: NISAR A/C Phone: 466-8115 Fax: 468-9745

Qualifiers name: Philip Nisa JR Street: 3700 S US Hwy 1 City: Ft Pierce State: FL Zip: 34982

State License Number: CACO41199 OR: Municipality License Number:

LOCAL CONTACT: Philip Nisa JR Phone Number: 466-8115

DESIGN PROFESSIONAL: State License #

Street: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/Porches: Enclosed Storage:

Carport: Total under Roof: Enclosed area below BFE: (Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.)

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas); 2010 National Electrical Code; 2008; Florida Energy Code; 2010, Florida Accessibility Code; 2010, Florida Fire Prevention Code; 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
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3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/LESSEE - NOTARIZED SIGNATURE:

State of Florida, County of: Martin

On This the 27 day of July, 2012

by Julie Crispin who is personally known to me or produced

As identification:

My Commission Expires:

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

State of Florida, County of: St. Lucie

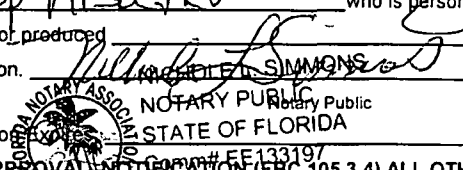
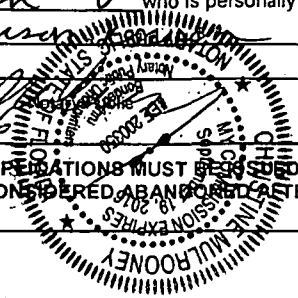
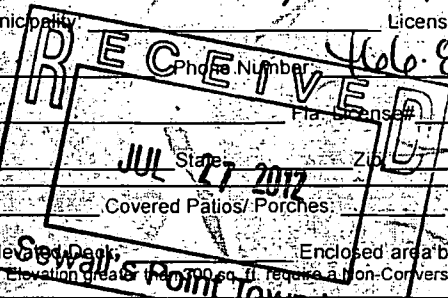
On This the 27 day of July, 2012

by Philip Nisa JR who is personally known to me or produced

As identification:

My Commission Expires:

SINGLE FAMILY PERMIT APPLICATIONS MUST BE SUBMITTED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) PLEASE CHECK FOR YOUR PERMIT PROMPTLY!



**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 7/26/2012 12:52:19 PM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-003-000-01011-9	27788	30 E HIGH POINT RD, SEWALL'S POINT	\$1,121,910	7/21/2012

Owner Information

Owner(Current)	CRISPIN JULIE
Owner/Mail Address	30 E HIGHPOINT RD STUART FL 34996
Sale Date	10/6/2011
Document Book/Page	2540 1617
Document No.	2296905
Sale Price	100

Location/Description

Account #	27788	Map Page No.	SP-06
Tax District	2200	Legal Description	HIGH POINT ISLE ADDN BEG ON N/LN LOT 102 50' ELY FROM NW COR RUN ELY TO PT 50' ELY FROM NW COR LOT 101 S 43 DEG 02' 13" E 405' M/L TO RIVER SWLY 165' N 33 DEG 52' 53" W 394' M/L TO POB
Parcel Address	30 E HIGH POINT RD, SEWALL'S POINT		
Acres	1.0500		

Parcel Type

Use Code	0100 Single Family
Neighborhood	193110 ARCHIPELAGO, HIGH PTCANAL

Assessment Information

Market Land Value	\$742,500
Market Improvement Value	\$379,410
Market Total Value	\$1,121,910



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

Air Conditioning Change out Affidavit

Residential Commercial _____
 Package Unit ___ Yes No (Use Condenser side of form below for equipment listing)
 Duct Replacement ___ Yes No - Refrigerant line replacement ___ Yes No
 Flushing Existing Refrigerant lines ___ Yes No - Adding Refrigerant Drier ___ Yes No
 Rooftop A/C Stand Installation ___ Yes ___ No - Curb Installation ___ Yes No
 Smoke Detector in Supply (over 2000 CFM) ___ Yes No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

~~**Air handler:** Mfg: _____ Model# _____
 Volts _____ CFM's _____ Heat Strip _____ Kw _____
 Min. Circuit Amps _____ Wire gauge _____
 Max. Breaker size _____ Min. Breaker size _____
 Ref. line size: Liquid _____ Suction _____
 Refrigerant type _____
 Location: Existing _____ New _____
 Attic/Garage/Closet (specify) _____
 Access: _____~~

Condenser: Mfg Lennox Model# XC14-047
 Volts 208 SEER/EER 16 BTU's 46500
 Min. Circuit Amps 29.0 Wire gauge 6-2
 Max. Breaker size 50 Min. Breaker size 30
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type 410A
 Location: Existing New _____
 Left/Right/Rear/Front/Roof _____
 Condensate Location _____

NOTE: CONTRACTOR MUST SUPPLY A PROPER LADDER IF REQUIRED FOR INSPECTION

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: Lennox Model# CBX224008
 Volts 208 CFM's 1600 Heat Strip 10 Kw _____
 Min. Circuit Amps 50 Wire gauge 6-2
 Max. Breaker size 60 Min. Breaker size 50
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type 410
 Location: Ext. New _____
 Attic/Garage/Closet (specify) _____
 Access: _____

Condenser: Mfg TRANE Model# TAG48AW0A1
 Volts 208 SEER/EER 10 BTU's 48000
 Min. Circuit Amps 29 Wire gauge 6.2
 Max. Breaker size 50 Min. Breaker size 40
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type R-22
 Location: Ext. New _____
 Left/Right/Rear/Front/Roof _____
 Condensate Location _____

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

 Signature

7-16-2012
 Date



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel: 772-287-2455 Fax 772-220-4765

FLORIDA ENERGY CONSERVATION CODE

Mandatory Duct Inspection Certification for HVAC change-out

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: Julie Crispin Contractor name: NISAIR A/C
 Street address: 30 E. Highpoint Rd Jurisdiction: _____
 City: Stuart Permit No.: _____
 Zip: 34996 Final inspection date: _____

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.
- Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)
- The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
- System was tested (see below) and repairs were made as necessary -- (Section 101.4.7.1.1 exception 3)

Signature: [Signature] Date: 7.26.12

Printed Name: Phillip Nisa Jr

Contractor License #: 000041199

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: _____ Date: _____

Printed Name: _____



This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2011.

Certificate of Product Ratings

AHRI Certified Reference Number: 3869211

Date: 7/26/2012

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: XC14-047-230*

Indoor Unit Model Number: CBX27UH-048-230*+TDR

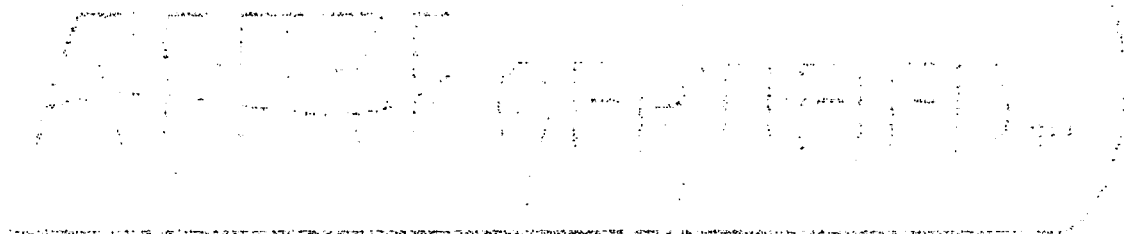
Manufacturer: LENNOX INDUSTRIES, INC.

Trade/Brand name: XC14 SERIES

Manufacturer responsible for the rating of this system combination is LENNOX INDUSTRIES, INC.

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	46500
EER Rating (Cooling):	13.00
SEER Rating (Cooling):	16.00



* Ratings followed by an asterisk (*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at www.ahridirectory.org.

TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at www.ahridirectory.org, click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



Air-Conditioning, Heating, and Refrigeration Institute

©2012 Air-Conditioning, Heating, and Refrigeration Institute

CERTIFICATE NO.:

129878022095415258

[Click here to download a PDF of this report](#)

Customer Information

Location:

Street Address 30 east high point road, MARTIN, FL 34996
 Latitude, Longitude 26.6726°, -80.0706°

Name: Julie Crispin
 Phone: 772-215-6296
 Email:

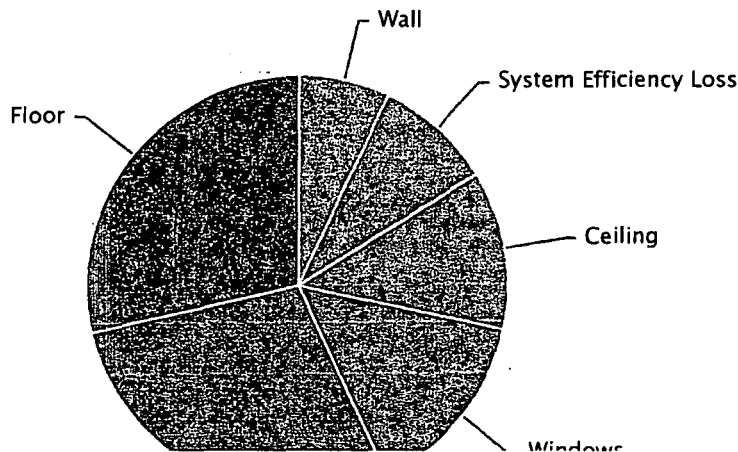
Design Conditions

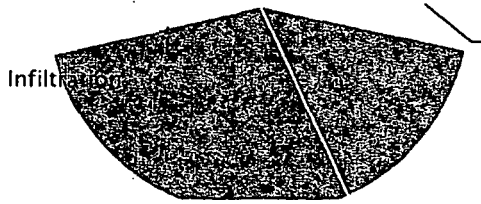
Outdoor	Heating	Cooling
Dry bulb (°F)	47	90
Daily range		M
Relative humidity		50%
Moisture difference		64
Indoor	Heating	Cooling
Indoor temperature (°F)	70	75
Design temperature difference(°F)	23	15

Heating Loads

Area	Btuh	% of load
Wall	3067	7
Floor	12563	28.6
Ceiling	5364	12.2
Windows	6452	14.7
Infiltration	12423	28.3
System Efficiency Loss	3987	9.1
Total:	43855	

Heating Loads
43,855 BTU/hr



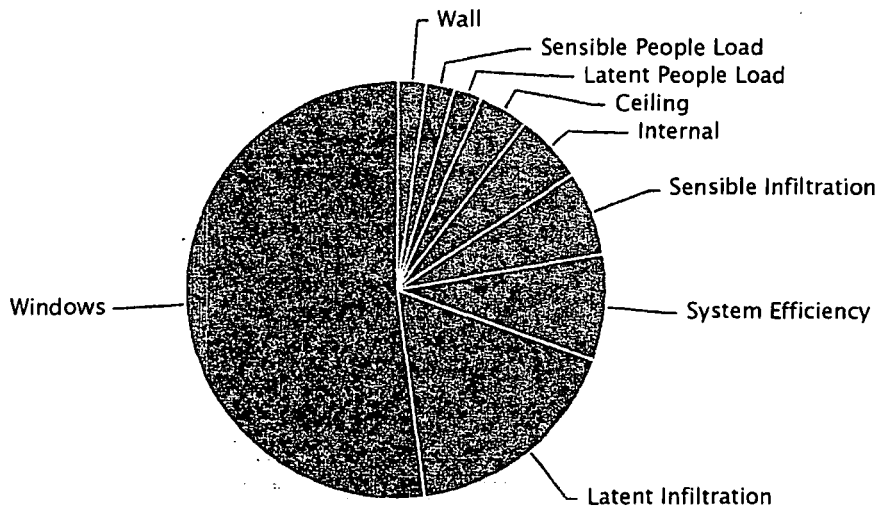


Cooling Loads

Area	Btuh	% of load
Wall	2000	2.2
Ceiling	3498	3.8
Windows	48260	52.2
Sensible Infiltration	6077	6.6
Latent Infiltration	16028	17.3
System Efficiency Gain	7586	8.2
Internal	4937	5.3
Sensible People Load	2024	2.2
Latent People Load	2024	2.2
Total:	92433	
Sensible load	74382	
Latent load	18052	
SHR	0.8	
Capacity at .75 SHR	8.26 Tons	

Cooling Loads

92,433 BTU/hr



Adequate Exposure Diversity

AED Graph

THE METAL SHOP

Custom Metal Manufacturer

Consulting Engineer:

Douglas W. Lowe, P.E.
FLA# 13355
1206 Millennium Parkway
Brandon, FL 33511

ANCHOR CLIPS Installer's Guide

WARNING: HAZARDOUS VOLTAGE - DISCONNECT POWER BEFORE SERVICING

PART NUMBER

#771 (4 pk)

#772 (100 bar)

#773 (4 pk including hardware)

CONSTRUCTION

16 gauge galvanized steel, G-90 rated for corrosion coastal applications.

PACKAGING DETAILS

All anchor clips are supplied as per package quantities described above.

INSTALLATION

Minimum of 4 clips required per condenser unit.
Minimum of 2 #14 x 3/4" screws with neoprene washer required to fasten clip to condenser unit.
1/4" x 1 3/4" Tapcon screw required to fasten clip to condenser pad.

Locate the anchor clips to fit comfortably between condenser unit and pad.

Adjust clip accordingly to fit on condenser unit and screw together, at the same time ensuring that the base of the clip is still in contact with the pad.

All hardware must be fastened prior to connecting refrigerant lines and electrical power to the unit.
Suitable for ground mounted units.

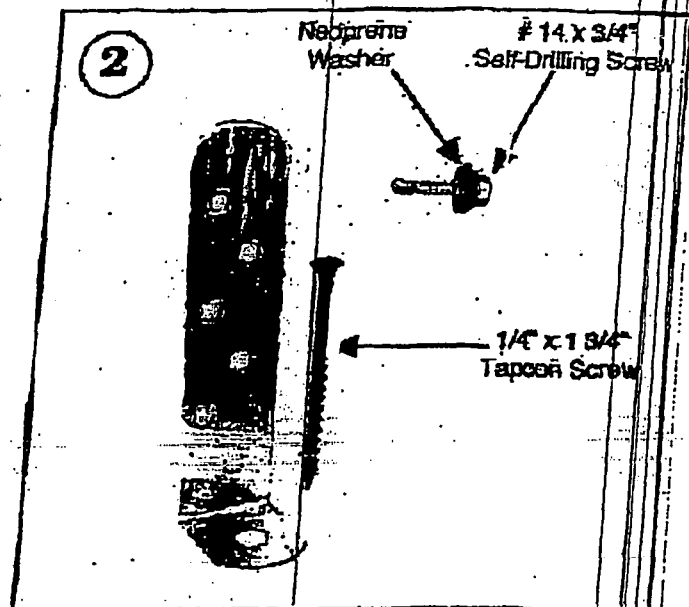
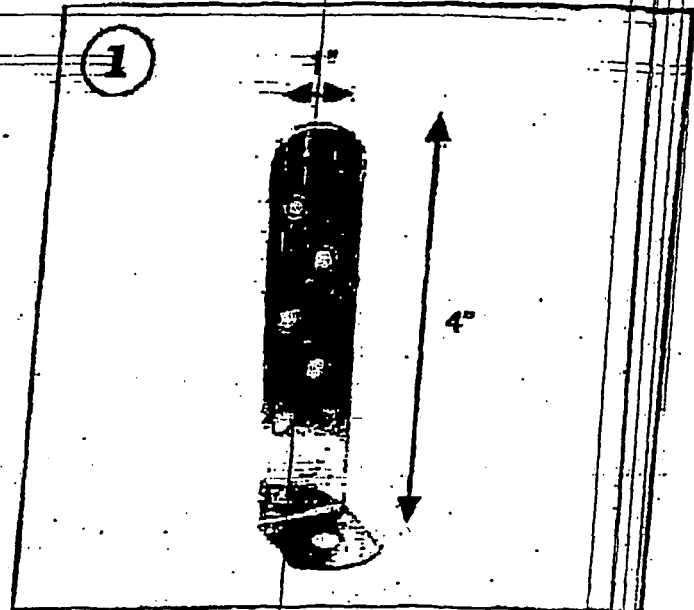
Anchor clip design meets requirements of The Florida Building Code 2007 (Building) Chapter 301.12 for wind resistance up to 140 MPH.

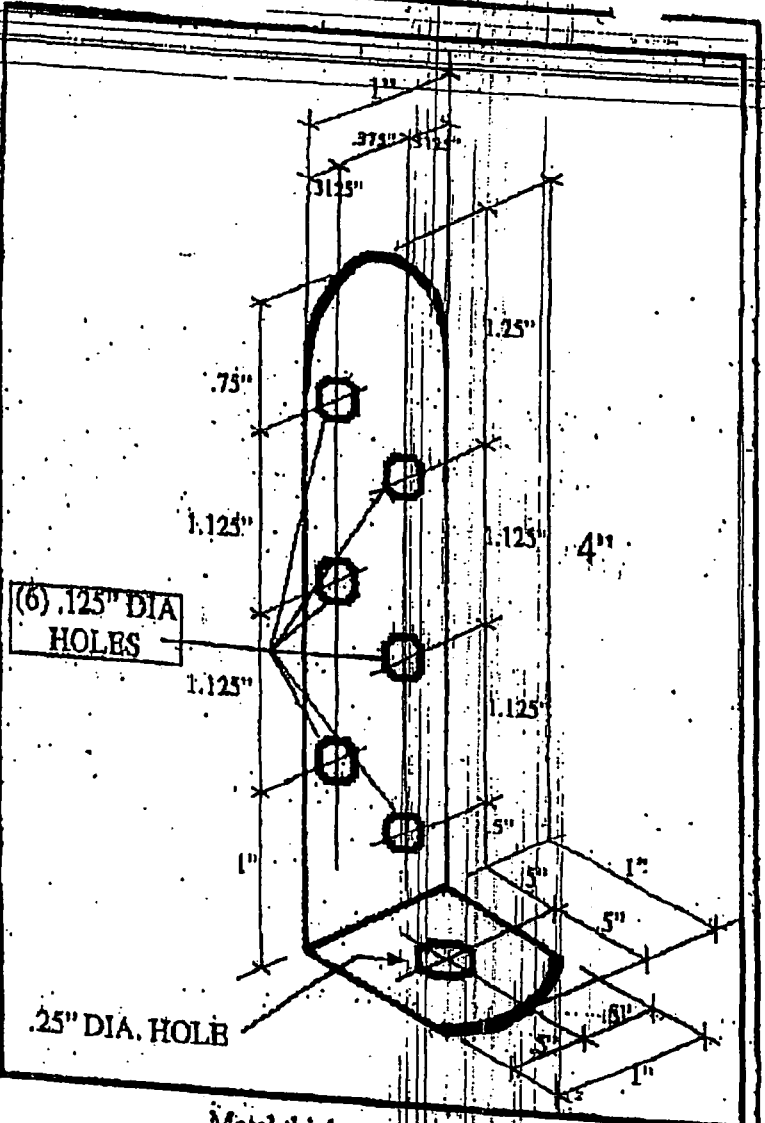
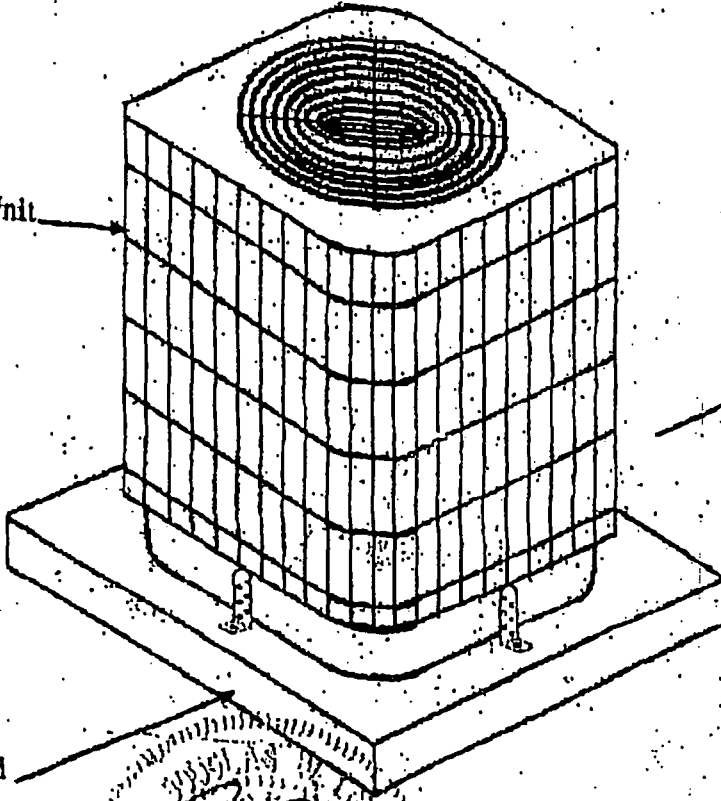
FEATURES

The use of "sized to fit" screw holes compared to slots means that security is never compromised. A tight, secure fit between pad and condenser ensures security for the condenser and offers great assurance during extreme weather conditions.

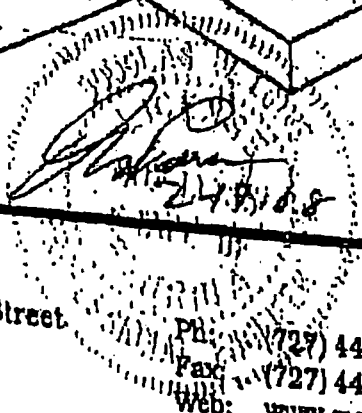
NOTE

Above installation instruction suitable for up to 5 ton units.





Metal thickness = 16 gauge



The Metal Shop
 1139 Eldridge Street
 Clearwater
 FL 33765

PH: (727) 441-2492
 Fax: (727) 442-8493
 Web: www.metalsshop.org

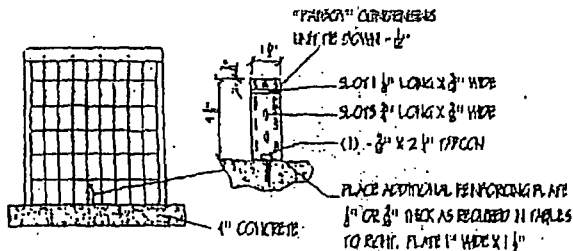
Consulting Engineer:
 Douglas W. Lowe, P.E.
 FLA # 13956
 1206 Millennium Parkway
 Brandon, FL 33511

Revision Date:
 2/14/08

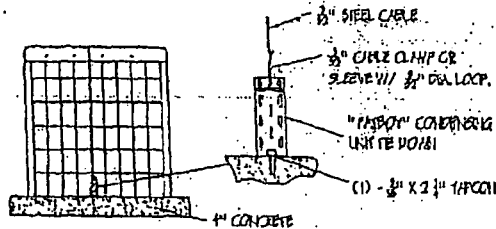
Drawn by:
 K.P.R.

Page:
 1 of 1

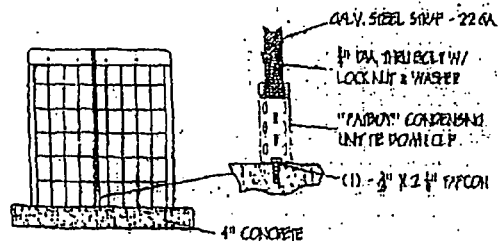
Scale - Not to scale



"FATBOY" INSTALLATION GUIDE



"FATBOY" CABLE INSTALLATION GUIDE



"FATBOY" STRAP INSTALLATION GUIDE

NOTE: SEE TABLES FOR WIND VELOCITY AND HEIGHT OF INSTALLATION ABOVE GROUND. ALSO SEE TABLES FOR CONNECTIONS WHEN ATTACHED TO ALUMINUM OR STEEL.

FATBOY MODEL PLATE	10 MPH WIND VELOCITY TABLE OF STRENGTHS TO BE USED FOR CONNECTION TO CONCRETE OR GALV. OR ALUM. STRUCT.		
	CONNECTION TO CONCRETE	CONNECTION TO ALUMINUM	CONNECTION TO STEEL
0-1P	1	1	1
1P	2	1	2
1P	1	1	1
3P	1	1	1
4P	1	1	1
5P	1	1	1
6P	1	1	1
ADDITIONAL PLATE			
0-1P	1	1	1
1P	1	1	1
3P	1	1	1
4P	1	1	1
5P	1	1	1
6P	1	1	1

FATBOY MODEL PLATE	15 MPH WIND VELOCITY TABLE OF STRENGTHS TO BE USED FOR CONNECTION TO CONCRETE OR GALV. OR ALUM. STRUCT.		
	CONNECTION TO CONCRETE	CONNECTION TO ALUMINUM	CONNECTION TO STEEL
0-1P	1	1	1
1P	1	1	1
1P	1	1	1
3P	1	1	1
4P	1	1	1
5P	1	1	1
6P	1	1	1
ADDITIONAL PLATE			
0-1P	1	1	1
1P	1	1	1
3P	1	1	1
4P	1	1	1
5P	1	1	1
6P	1	1	1

GENERAL NOTES:

1- ATTACHMENT TO CONCRETE SHALL BE BY MEANS OF (ONE) 1/2" DIA. STEEL FATBOY AS MANUFACTURED BY ELCO THERMOFLON INC. MFG. 44-71111 121118 JANUARY 4, 1971. MINIMUM EDGE DISTANCE ON 3" THICK 1" WIDE.

2- CONCRETE TO WHICH ATTACHMENT OF CLIP IS MADE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI.

3- STEEL STRAPS OVER A/C UNITS SHALL BE 22 GA. GALVANIZED STEEL STRAP CONFORMING TO ASTM A 66 STANDARD WITH GALVANIZED IN CONFORMANCE WITH G95 AND HAVE A YIELD STRENGTH OF 21 KSI.

4- THE STEEL STRAP SHALL BE 1" WIDE AND BE CONNECTED WITH A 1/2" DIA. STEEL BOLT WITH WASHER AND NUT TIGHTENED.

5- ANGLE CLIP USED IN ATTACHING THE STRAP TO THE SUPPORTING STRUCTURE SHALL BE AS MANUFACTURED BY THE ORIGINAL FAT COMPANY, 121118, 77 TERR. HEDLEY, FLORIDA, 3164 AND AS DETAILED IN THIS DRAWING.

6- ATTACHMENT OF CLIP TO ALUMINUM SHALL BE BY USING A ROOFING FELT AS SEPARATOR BETWEEN CLIP AND SUPPORTING ALUMINUM STRUCTURE AND USE OF A 1/2" DIAMETER SELF TAPPING OR DRILLED BOLT WITH LOCK WASHER AND NUT. SUPPORTING STRUCTURE SHALL BE AT LEAST 1/2" THICK ALUMINUM STRUCTURE SHALL BE MIN. 60116 ALLOY.

7- ATTACHMENT OF CLIP TO SUPPORTING STEEL STRUCTURE SHALL BE BY A 1/2" SELF TAPPING SCREW AND DRILL MATERIAL AT LEAST 1/2" THICK. SCREW MAY BE IN TOLL OUT FORM.

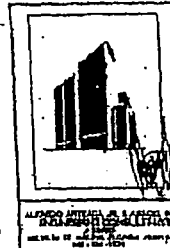
8- ADDITIONAL PLATE USED AS REINFORCING SHALL BE EQUAL SPECIFICATION AS CLIP AND BE DRILLED WITH ONLY ONE HOLE. MAXIMUM 1/2" DIAMETER IN THE FRONT END AND BE WITH THICKNESS SPECIFIED AND 1" WIDE.

9- USE OF CABLE INSTEAD OF STEEL STRAP SHALL CONFORM TO FEDERAL SPECIFICATION 88-96-114 (SEE ALSO ADDITIONAL STRENGTH REQUIREMENTS OF MIL. SPEC. 88-96-114 AS SHOWN BY ELITE SALS INC. WITH A BREAKING STRENGTH OF 150 LBS AND HAVE A MINIMUM DIAMETER OF 3/8" X 1 STRAND.

10- ATTACHING CLIP SHALL BE 1/2" DIAMETER STEEL CONFORMING TO ASTM A6 STANDARD MIN. YIELD OF 115 KSI SEE CLIP DETAIL FOR ATTACHMENT LOCATION.

11- A/C UNITS THAT CONFORM TO THE SPECIFIED ATTACHMENT SHALL BE NO LARGER THAN 24" WIDE X 31 1/2" HIGH AND WEIGH NO LESS THAN 150 LBS. AS USED IN THE DESIGN.

REVISIONS	BY



A/C UNIT ANCHORING DETAILS
 FATBOY CLIPS AS
 MANUFACTURED BY: THE
 ORIGINAL PAN CO. FOR USE
 UNDER FLORIDA BUILDING CODE

DRAWN BY	AAA
CHECKED BY	AA
DATE	0-04-07
SCALE	AS NOTED
JOB NO.	
SHEET	S-1



FEATURES

Refrigerant System

Scroll Compressor
Compressor sound-dampening system
Non-chlorine, ozone friendly, R-410A refrigerant.
Copper tube construction with enhanced ripple-edged aluminum fins.
Units applicable to expansion valve systems or RFC systems when matched with specific indoor coils.
Fully serviceable brass service valves.
Factory installed, hi-capacity liquid line drier
Totally enclosed, direct drive outdoor fan motor with sleeve bearings.
PVC coated, steel fan guard.

Controls

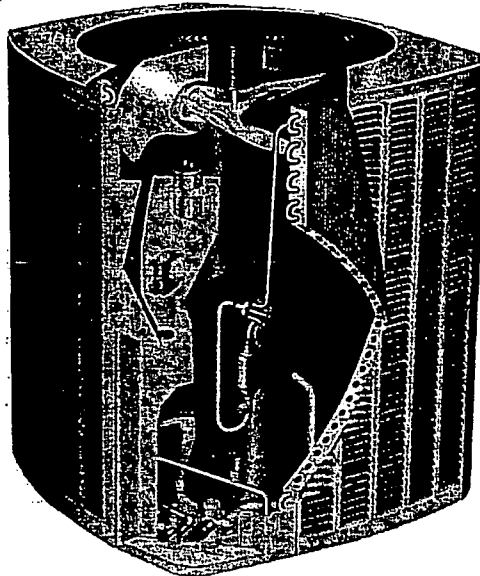
High Pressure Switch.

Cabinet

Heavy-gauge galvanized steel cabinet with powder paint finish.
SmartHinge™ Louvered Coil Protection
Corner patch plate allows access to compressor.

Limited Warranty

Compressor - ten years
All covered components - five years
Refer to Lennox Equipment Limited Warranty certificate included with equipment for details



ARI RATINGS

See Page 50 - Page 75

OPTIONAL ACCESSORIES

See Page 19

Compressor

- Compressor Crankcase Heater
- Compressor Hard Start Kit
- Compressor Low Ambient Cut-Off
- Compressor Time-Off Control

Controls

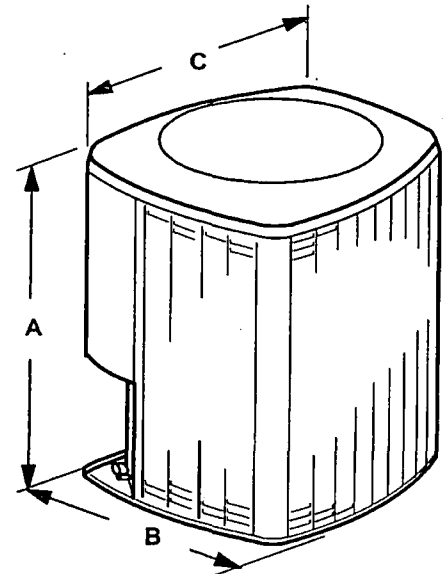
- Freezestat
- Indoor Blower Off Delay Relay
- Loss of Charge Switch Kit
- Low Ambient Kit
- Thermostat

Refrigerant System

- Expansion Valve Kits
- Refrigerant Line Kits

DIMENSIONS - in. (mm)

Model No.	A	B	C
XC14-018	31 (787)	27 (729)	28 (711)
XC14-024	31 (787)	27 (729)	28 (711)
XC14-030	31 (787)	30-1/2 (775)	35 (889)
XC14-036	31 (787)	30-1/2 (775)	35 (889)
XC14-042	31 (787)	30-1/2 (775)	35 (889)
XC14-048	39 (991)	30-1/2 (775)	35 (889)
XC14-060	35 (889)	35-1/2 (902)	39-3/8 (1000)



ARI Standard
210/240 UAC



NOTE - Due to Lennox' ongoing commitment to quality, Specifications, Ratings and Dimensions subject to change without notice and without incurring liability. Improper installation, adjustment, alteration, service or maintenance can cause property damage or personal injury. Installation and service must be performed by a qualified installer and servicing agency.

SPECIFICATIONS								
General Data	Model No.	XC14-018	XC14-024	XC14-030	XC14-036	XC14-042	XC14-048	XC14-060
	Nominal Tonnage	1.5	2	2.5	3	3.5	4	5
¹ Sound Rating Number (dB)		71	71	71	70	73	73	73
Connections (sweat)	Liquid line o.d. - in.	3/8	3/8	3/8	3/8	3/8	3/8	3/8
	Suction line o.d. - in.	3/4	3/4	3/4	7/8	7/8	7/8	1-1/8
² Refrigerant (R-410A) furnished		6 lbs. 12 oz.	7 lbs. 10 oz.	8 lbs. 0 oz.	8 lbs. 9 oz.	8 lbs. 10 oz.	10 lbs. 0 oz.	12 lbs. 0 oz.
Outdoor Fan	Diameter - in.	18	18	22	22	22	22	26
	Number of blades	4	4	4	4	4	4	4
	Motor hp.	1/5	1/5	1/6	1/6	1/4	1/4	1/3
Shipping Data - lbs. 1 package		181	183	213	215	243	272	290

ELECTRICAL DATA								
	Line voltage data - 60 hz - 1ph	208/230V	208/230V	208/230V	208/230V	208/230V	208/230V	208/230V
³ Maximum overcurrent protection (amps)		20	30	30	30	40	50	60
⁴ Minimum circuit ampacity		12.3	17.9	17.2	18.7	24.1	29.0	34.8
Compressor Rated load amps		9.0	13.4	12.9	14.1	17.9	21.8	26.4
Outdoor Fan Motor Full load amps		1.0	1.0	1.1	1.1	1.7	1.7	1.8

- NOTE - Extremes of operating range are plus 10% and minus 5% of line voltage.
- ¹ Sound Rating Number rated in accordance with test conditions included in ARI Standard 270.
 - ² Refrigerant charge sufficient for 15 ft. length of refrigerant lines.
 - ³ HACR type breaker or fuse.
 - ⁴ Refer to National or Canadian Electrical Code manual to determine wire, fuse and disconnect size requirements.

ESTIMATE



AIR CONDITIONING Lic. # CACO-41100

3700 S US Highway One
Fort Pierce, FL 34982

Main: (772) 283-0604
St. Lucie: (772) 468-8115
Toll Free 1-877-7NISAIR

NAME DR. JULE CRISPIN
ADDRESS 30 E HIGH POINT RD
STUART FL 34996
Hm# 215-6296 Fax# _____

DATE 7-23-12
JOB LOCATION Sewalk Point
FPL Acct/Meter # _____

THERMOSTATS

- Digital Thermostat _____
- Humidistat _____

ELECTRIC INDOOR AND OUTDOOR

- New Disconnect Box & Wiring
- High Voltage Wiring
- New Weatherproof Conduit & Connections For Outside Unit
- New Weatherproof Conduit & Connections For Inside Unit

AIR DISTRIBUTION/DUCT MODIFICATION

- Increase Return Duct Size to: _____
- New Return Air Grille Size to: _____
- Modify New Fiberglass Return Plenum
- Modify New Fiberglass Supply Air Plenum
- Strap, Hang and Support New Plenums
- Seal Wall Cracks and Crevices to not Draw Attic Air
- Liquid Mastic Sealant All New Duct Connections
- New Wood Top & Paint White
- Polyboard Insulate Return Air Platform & Mastic Seal
- Seal Off Return Air Platform for Air Leaks

FILTRATION / CLEAN AIR

- BWT Poly Media Air Filter _____
- High Efficiency Cleaner _____
- Ultra Violet Light System _____

PIPING & FITTINGS

- Repipe Suction & Liquid Lines at new Unit. Insulate New Suction Line & Secure Low Voltage Wiring.
- New Refrigerant Copper Tubing Line Set Overhead Exterior Line cover Includes Armatrix & Detailed Workmanship.

RECLAIM / EVACUATION / REFRIGERANT

- Reclaim Refrigerant According to EPA Regulations
- Liquid Line Drier Suction Line Drier
- Triple Evacuation to Remove Moisture & Impurities
- Refrigerant Weighed In to Factory Specifications

EQUIPMENT ACCESSORIES

- Precast Concrete Slab
- Condensate Pump, Power Cord & Fuse
- Vibration Pads under the Outdoor Unit
- Emergency Drain Pan & Support
- Overflow Water Safety Switch
- 5 Minute Time Delay/Compressor Protector
- Hurricane Strap Outdoor Unit to Ground
- Potential Relay & Start Capacitor for Compressor
- Clean, Treat & Flush Drain Line System

FRI AM

Main panel breakers may need to be resized to new unit requirements, not included in our cost

Warranties (Under Terms of Warranty, Routine Scheduled Maint. Must be Performed on System)		
COND A LENNOX	COND B LENNOX	C
AH Model # _____	AH Model # _____	AH Model # _____
Cond Model # <u>XC14-049</u>	Cond Model # <u>14ACX-0497</u>	Cond Model # _____
SEER <u>14</u> Aux. Heat _____ KW	SEER <u>14</u> Aux. Heat _____ KW	SEER _____ Aux. Heat _____ KW
Compressor _____ year	Compressor _____ year	Compressor _____ year
Condenser Coil _____ year	Condenser Coil _____ year	Condenser Coil _____ year
Evaporator Coil _____ year	Evaporator Coil _____ year	Evaporator Coil _____ year
Manufacture Parts _____ year	Manufacture Parts _____ year	Manufacture Parts _____ year
Labor _____ year	Labor _____ year	Labor _____ year
Job Quote \$ _____	Job Quote \$ _____	Job Quote \$ _____
FPL Rebate \$ _____	FPL Rebate \$ _____	FPL Rebate \$ _____
Discounts \$ _____	Discounts \$ _____	Discounts \$ _____
Amount Due By Customer \$ <u>3800</u>	Amount Due By Customer \$ <u>3800</u>	Amount Due By Customer \$ _____

We hereby propose to complete work as specified above for the sum of \$ _____

Payment options: Finance _____ (Subject to approval) Check _____ Cash _____ Credit Card _____

*Finance Plan: _____ Total _____ Down payment = _____ Amount financed _____

PAYMENT TERMS: 25% deposit required with balance upon completion of installation (unless 100% financed)

SPECIAL COMMENTS & MODIFICATIONS:

NEEDS NEW SQ. P. RETURN BOX OUT ROD (METAL)

Please Note - Duct Sealing If Required by Florida Statutes Code 101.4.7.1-1 \$65/Hr Plus Materials

Tech Signature: _____

Customer Signature: _____



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel: 772-287-2455 Fax 772-220-4765

10161

FLORIDA ENERGY CONSERVATION CODE

Mandatory Duct Inspection Certification for HVAC change-out

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: Julie Crispin Contractor name: NISAIR A/C
 Street address: 30E. Highpoint Rd Jurisdiction: _____
 City: Stuart Permit No.: _____
 Zip: 34996 Final inspection date: _____

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- _____ Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.
- _____ Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)
- The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
- _____ System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature: [Signature] Date: 7.26.12

Printed Name: Phillip Nisa Jr

Contractor License #: 06041199

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: _____ Date: _____

Printed Name: _____

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 8-10-12 Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
1	Bailey/Burkhardt	Final gas	FAIL	NO ONE HOME
	7 Pennwinkle Cir Fennel Gas		PASS	CLOSE
				INSPECTOR <i>[Signature]</i>
5	 	 	 	
	 Nislin	 	 	
				INSPECTOR <i>[Signature]</i>
3	Gourd's	TIE BEAMS		
	25 S. RIVER BANKS		PASS	
				INSPECTOR <i>[Signature]</i>
4	Buro	STRAPPING &		
	101 Henry Sewalls GM Const	PARTIAL SUBSTITUTION	PASS	
				INSPECTOR <i>[Signature]</i>
2	Hurd			
	34 N. SPY RD Muncie Group	FINAL	PASS PENDING LETTER	CLOSE w/LETTER
				INSPECTOR <i>[Signature]</i>
				INSPECTOR
	CORNER S. VIA LUCINDIA & R. RD CONST DEPARTS			
				INSPECTOR

10569

CONDENSOR CHANGE OUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10569	DATE ISSUED:	AUGUST 19, 2013
SCOPE OF WORK:	AC CONDENSOR CHANGEOUT		
CONTRACTOR:	NISAIR		
PARCEL CONTROL NUMBER:	133841003-000-010119	SUBDIVISION	HIGH PT ISLE ADDN-L 102
CONSTRUCTION ADDRESS:	30 E HIGH PT RD		
OWNER NAME:	CRISPIN		
QUALIFIER:	PHILIP NISA	CONTACT PHONE NUMBER:	466-8115

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10569
ADDRESS	30 E HIGH PT RD - CRISPIN
DATE 8/19/13	SCOPE OF WORK AC CONDENSOR CHANGEOUT

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SER, \$175.00 Remodel, \$200K)			

GULFSTREAM BUSINESS BANK
 2400 S.E. MONTEREY ROAD
 STUART, FL 34998

29805

63-1472/670
01

PERSONALIZED SERVICE INC
DBA NISAIR AIR CONDITIONING
 3700 S US HIGHWAY 1
 FORT PIERCE, FL 34982-8211
 1-877-764-7247

8-14-13

PAY TO THE ORDER OF

Town of Sewall's point
one hundred nine & no/100

\$ 109.00

DOLLAR

MEMO
Permit

[Signature]
 AUTHORIZED SIGNATURE



TOTAL BUILDING PERMIT FEE:	\$	
----------------------------	----	--

ACCESSORY PERMIT	Declared Value:	\$	3500
Total number of inspections @ \$100.00 each			100
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)	\$	2	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)	\$	2	
Road impact assessment: (.04% of construction value - \$5.00 min.)	\$	5	
TOTAL ACCESSORY PERMIT FEE:	\$	109	

[Signature]
 CK# 29805

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Date: 8.14.13 Permit Number: 10569
 OWNER/LESSEE NAME: Julie Crispin Phone (Day) 219-2902 (Fax) 215-6296
 Job Site Address: 30 E High Point Rd City: Stuart State: FL Zip: 34996
 Legal Description _____ Parcel Control Number: 13-38-41-003-000-01011-9
 Fee Simple Holder Name: _____ Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Wkce For Wkce Cond Change Dued HVAC

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 3500
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10: AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: NISAIR A/C Phone: 468-8115 Fax: 468-9765
 Qualifiers name: Phil Nisa Jr Street: 3700 S. Highway 1 City: Stuart State: FL Zip: 34982
 State License Number: CA6041199 OR: Municipality: _____ License Number: CA6041199

LOCAL CONTACT: Phil Nisa Jr Phone Number: 468-8115
 DESIGN PROFESSIONAL: _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____
 *Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008; Florida Energy Code: 2010; Florida Accessibility Code: 2010; Florida Fire Prevention Code: 2010

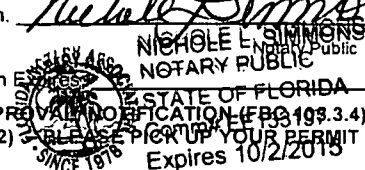
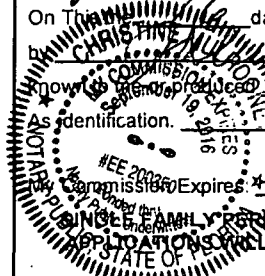
WARNINGS TO OWNERS AND CONTRACTORS:
 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
 2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCOMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007/SECT. 105.4.1, 105.4.1.1 - 5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE NOTARIZED SIGNATURE:
 X Julie Crispin
 State of Florida, County of Martin
 On This 14 day of August, 2013
 by Julie Crispin who is personally known to me or produced _____
 As identification, _____
 Notary Public: [Signature]
 My Commission Expires _____

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
 X [Signature]
 State of Florida, County of St. Lucie
 On This the 14 day of August, 2013
 by Phil Nisa Jr who is personally known to me or produced _____
 As identification, Nichole L. Simmons
 My Commission Expires _____



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) PLEASE PICK UP YOUR PERMIT PROMPTLY!
 Expires 10/2/2015

Martin County, Florida Laurel Kelly, C.F.A

generated on 8/16/2013 10:52:42 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-003-000-01011-9	27788	30 E HIGH POINT RD, SEWALL'S POINT	\$1,047,890	8/10/2013

Owner Information

Owner(Current)	CRISPIN JULIE
Owner/Mail Address	30 E HIGHPOINT RD STUART FL 34996
Sale Date	10/6/2011
Document Book/Page	2540 1617
Document No.	2296905
Sale Price	100

Location/Description

Account #	27788	Map Page No.	SP-06
Tax District	2200	Legal Description	HIGH POINT ISLE ADDN BEG ON N/LN LOT 102 50' ELY FROM NW COR RUN ELY TO PT 50' ELY FROM NW COR LOT 101 S 43 DEG 02' 13" E 405' M/L TO RIVER SWLY 165' N 33 DEG 52' 53" W 394' M/L TO POB
Parcel Address	30 E HIGH POINT RD, SEWALL'S POINT		
Acres	1.0500		

Parcel Type

Use Code	0100 Single Family
Neighborhood	193110 ARCHIPELAGO, HIGH PTCANAL

Assessment Information

Market Land Value	\$708,750
Market Improvement Value	\$339,140
Market Total Value	\$1,047,890



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

Noel Sid
 System
 Condenser
 C/O

Air Conditioning Change out Affidavit

Residential Commercial
 Package Unit Yes No (Use Condenser side of form below for equipment listing)
 Duct Replacement Yes No - Refrigerant line replacement Yes No
 Flushing Existing Refrigerant lines Yes No - Adding Refrigerant Yes No
 Rooftop A/C Stand Installation Yes No - Curb Installation Yes No
 Smoke Detector in Supply (over 2000 CFM) Yes No

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: _____ Model# _____
 Volts _____ CFM's _____ Heat Strip _____ Kw _____
 Min. Circuit Amps _____ Wire gauge _____
 Max. Breaker size _____ Min. Breaker size _____
 Ref. line size: Liquid _____ Suction _____
 Refrigerant type _____
 Location: Existing _____ New _____
 Attic/Garage/Closet (specify) _____
 Access: _____

Condenser: Mfg Lennox Model# XC14-047-230
 Volts 208 SEER/EER 16 BTU's 46500
 Min. Circuit Amps 29.0 Wire gauge 6.2
 Max. Breaker size 50 Min. Breaker size 30
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type R410A
 Location: Existing New _____
 Left/Right/Rear/Front/Roof _____
 Condensate Location _____

NOTE: CONTRACTOR MUST SUPPLY A PROPER LADDER IF REQUIRED FOR INSPECTION

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: _____ Model# _____
 Volts _____ CFM's _____ Heat Strip _____ Kw _____
 Min. Circuit Amps _____ Wire gauge _____
 Max. Breaker size _____ Min. Breaker size _____
 Ref. line size: Liquid _____ Suction _____
 Refrigerant type _____
 Location: Ext. _____ New _____
 Attic/Garage/Closet (specify) _____
 Access: _____

Condenser: Mfg Trane Model# _____
 Volts 208 SEER/EER 10 BTU's 48000
 Min. Circuit Amps 29 Wire gauge 6.2
 Max. Breaker size 50 Min. Breaker size 40
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type R22
 Location: Ext. New _____
 Left/Right/Rear/Front/Roof _____
 Condensate Location _____

Certification:

I herby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

Signature _____

Date 8.14.13



This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2013.

Certificate of Product Ratings

AHRI Certified Reference Number: 3869211

Date: 8/13/2013

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: XC14-047-230*

Indoor Unit Model Number: CBX27UH-048-230*+TDR

Manufacturer: LENNOX INDUSTRIES, INC.

Trade/Brand name: XC14 SERIES

Manufacturer responsible for the rating of this system combination is LENNOX INDUSTRIES, INC.

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	46500
EER Rating (Cooling):	13.00
SEER Rating (Cooling):	16.00

FootNote 11 - The AHRI 210/240 certified EER ratings are calculated under the same methodology as the EER ratings at T1 conditions of ISO 5151:2010 and ISO 13253:2011.

* Ratings followed by an asterisk (*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at www.ahridirectory.org.

TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at www.ahridirectory.org, click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



Air-Conditioning, Heating, and Refrigeration Institute

©2013 Air-Conditioning, Heating, and Refrigeration Institute

CERTIFICATE NO.:

130209011038764005



DesignStar Load Calculation

Results are intended for use with Rheem heating and cooling systems

The New Degree of Comfort™

Customer Information

Street Address: 30 E. High Point Road, Stuart, FL 34996

Latitude, Longitude: 26.6726°, -80.0706°

House Square Footage: 4335 sq. ft.

Name: Julie Crispin

Phone: 772-219-2502

Email: example@mail.com

House Information

SHR: 75

Number of residents: 2

Ceiling height: 9

Wall U-value | R-value: 0.09 | 11

Floor U-value | R-value: 0.2 | 5

Ceiling U-value | R-value: 0.053 | 19

Window U-value: 0.5

Window SHGF: 0.85

Moisture grains: 64

Duct loss %: 10

Duct gain %: 10

Cooling infiltration (ACH): 0.6

Heating infiltration (ACH): 0.8

Winter ventilation: 0

Summer ventilation: 0

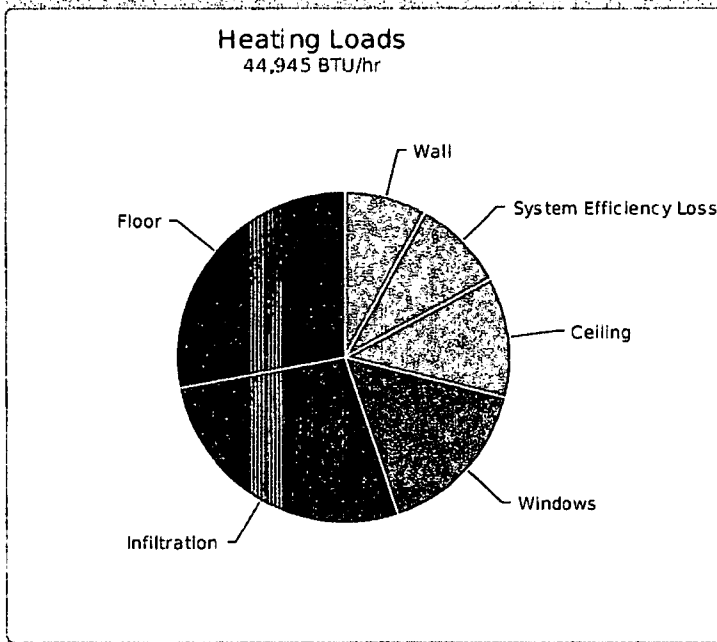
Design Conditions

Outdoor	Heating	Cooling
Dry bulb (°F)	47	90
Daily range		M
Relative humidity		50%
Moisture difference		64

Indoor	Heating	Cooling
Indoor temperature (°F)	70	75
Design temperature difference(°F)	23	15

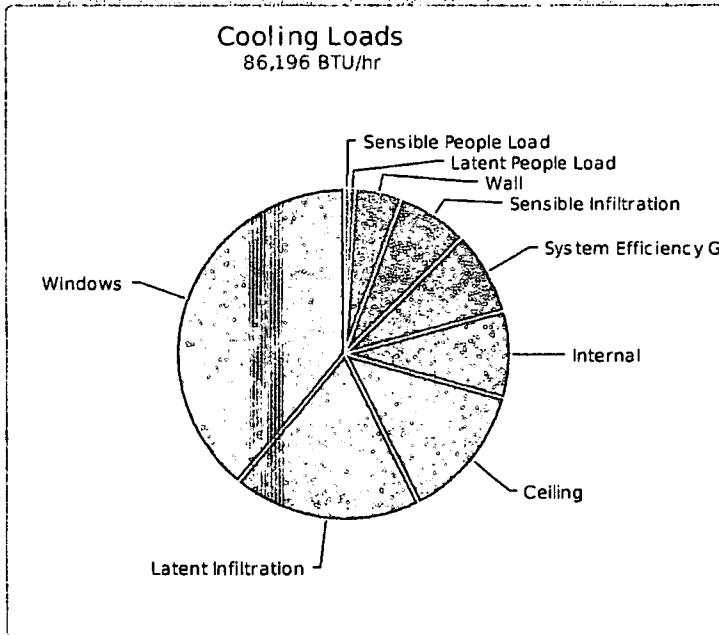
Heating Loads

Area	Btuh	% of load
Wall	3619	8.1
Floor	12563	28
Ceiling	5284	11.8
Windows	7153	15.9
Infiltration	12240	27.2
System Efficiency Loss	4086	9.1
Total	44945	

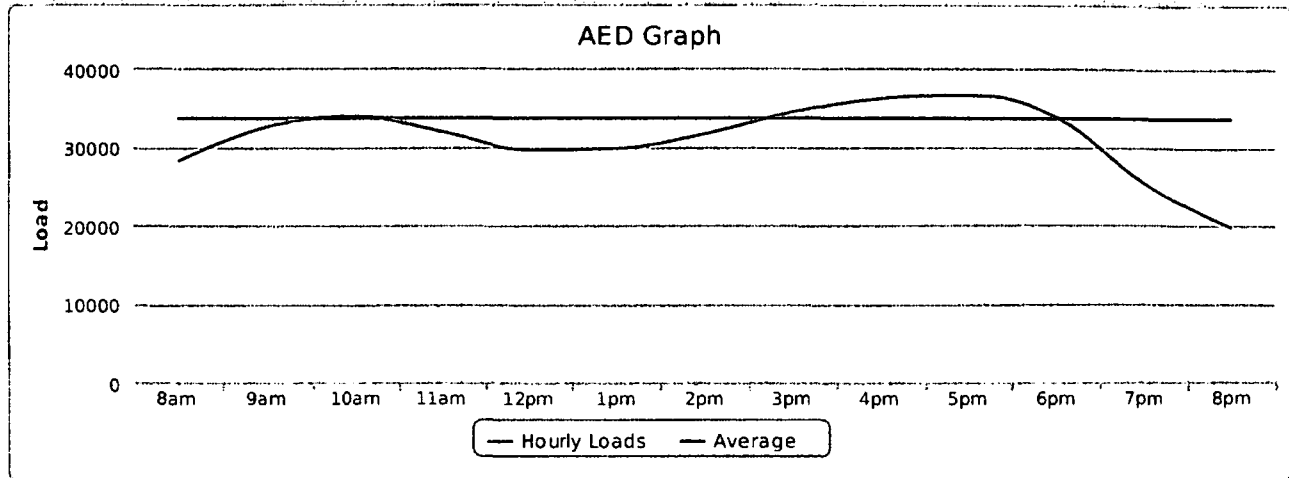


Cooling Loads

Area	Btuh	% of load
Wall	3934	4.6
Ceiling	11488	13.3
Windows	33625	39
Sensible Infiltration	5987	6.9
Latent Infiltration	15791	18.3
System Efficiency Gain	7082	8.2
Internal	7370	8.5
Sensible People Load	460	0.5
Latent People Load	460	0.5
Total	86196	
Sensible load	69945	
Latent load	16251	
SHR	0.81	
Capacity at .75 SHR	7.77 Tons	



Adequate Exposure Diversity



Equipment selection

System equipment selection will be made using the following derived values:

Glass (E)	314 sq. ft.
Glass (S)	44 sq. ft.
Glass (N)	44 sq. ft.
Glass (W)	220 sq. ft.
Summer Outdoor	90°F
Summer Wet Bulb	78°F
Summer Indoor	75°F
Summer Design Grains	50%
Winter Outdoor	47°F
Winter Indoor	70°F
Sensible Cooling	69,945 Btuh
Latent Cooling	16,251 Btuh
Required Cooling Airflow	3,179 CFM
Sensible Heating	44,945 Btuh
Required Heating Airflow	584 CFM

All calculations are based upon approved hvac industry standards and procedures, and comply with all local, state and federal code requirements. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree

THE METAL SHOP

Custom Metal Manufacturer

Consulting Engineer:

ANCHOR CLIPS Installer's Guide

Douglas W. Lowe, P.E.
FLA# 19355
1206 Millennium Parkway
Brandon, FL 33511

WARNING: HAZARDOUS VOLTAGE - DISCONNECT POWER BEFORE SERVICING

PART NUMBER

#771 (4 pk)

#772 (100 box)

#773 (4 pk including hardware)

CONSTRUCTION

16 gauge galvanized steel, G-90 rated for corrosion coastal applications.

PACKAGING DETAILS

All anchor clips are supplied as per package quantities described above.

INSTALLATION

Minimum of 4 clips required per condenser unit.
Minimum of 2 #14 x 3/4" screws with neoprene washer required to fasten clip to condenser unit.
1/4" x 1 3/4" Tapcon screw required to fasten clip to condenser pad.

Locate the anchor clips to fit comfortably between condenser unit and pad.

Adjust clip accordingly to fit on condenser unit and screw together, at the same time ensuring that the base of the clip is still in contact with the pad.

All hardware must be fastened prior to connecting refrigerant lines and electrical power to the unit.
Suitable for ground mounted units.

Anchor clip design meets requirements of The Florida Building Code 2007 (Building)

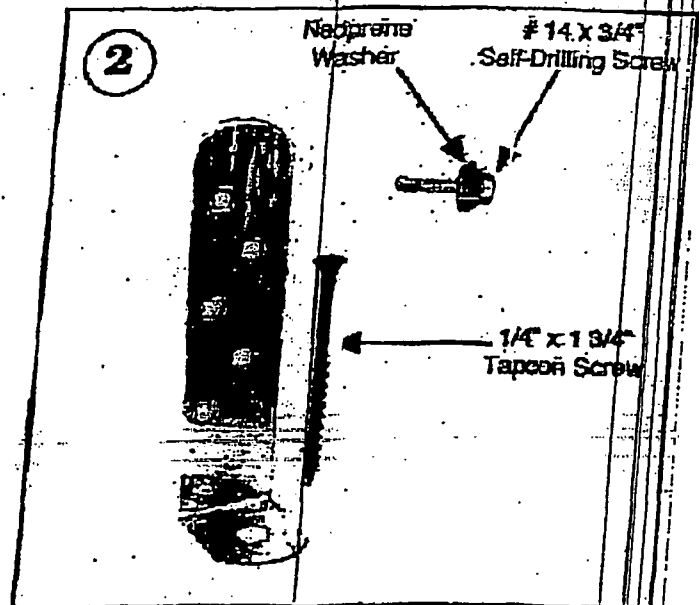
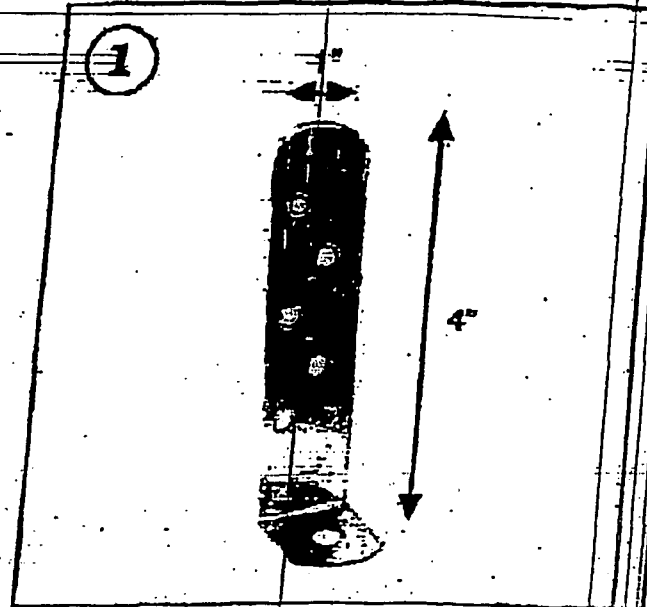
Chapter 901.12 for wind resistance up to 140 MPH.

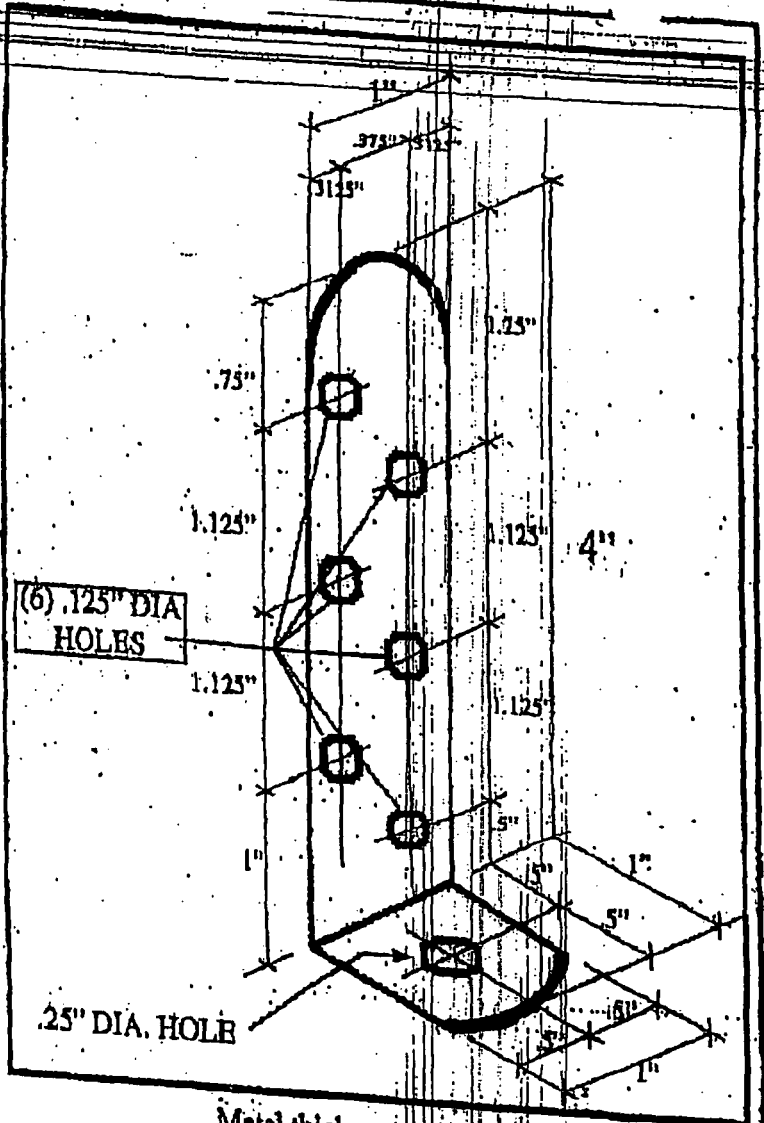
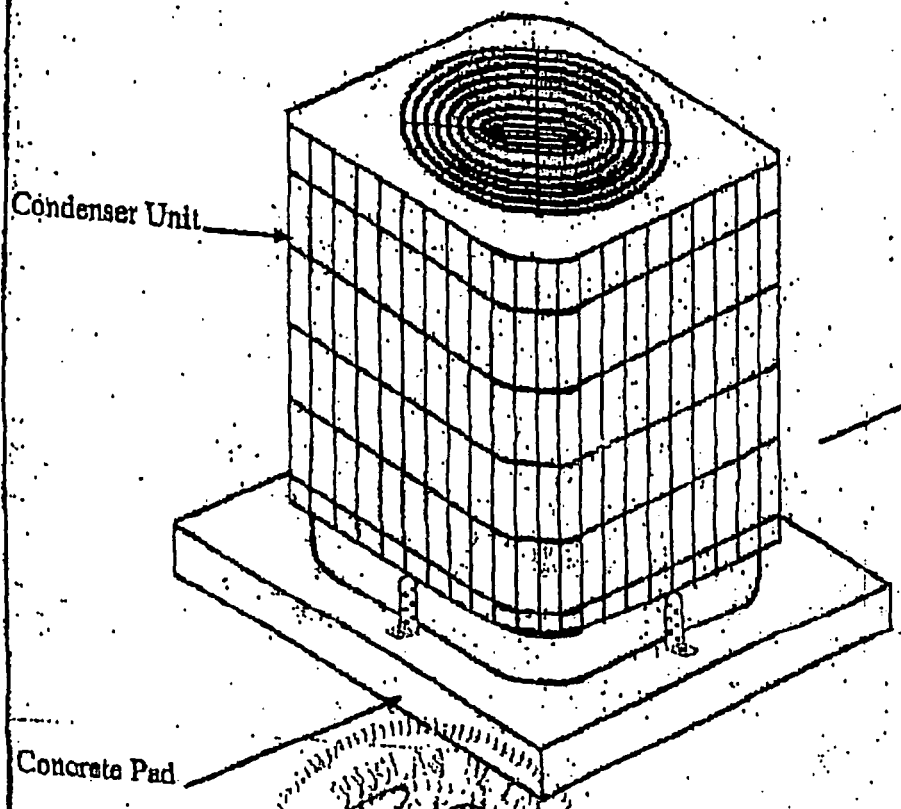
FEATURES

The use of "stepped to fit" screw holes compared to slots means that security is never compromised. A tight, secure fit between pad and condenser ensures security for the condenser and offers great assurance during extreme weather conditions.

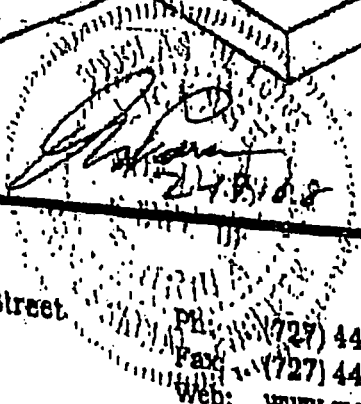
NOTE

Above installation instruction suitable for up to 5 ton units.





The Metal Shop
1139 Eldridge Street
Clearwater
FL 33765



Ph: (727) 441-2492
Fax: (727) 442-8493
Web: www.metalsshop.org

Consulting Engineer:
Douglas W. Lowe, P.E.
FLA # 13358
1206 Millennium Parkway
Brandon, FL 38511

Revision Date:
2/14/08

Drawn by:
K.P.R.

Page:
1 of 1

Scale - Not to scale

S-1

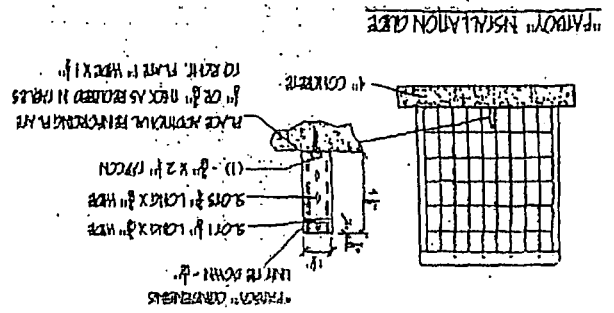
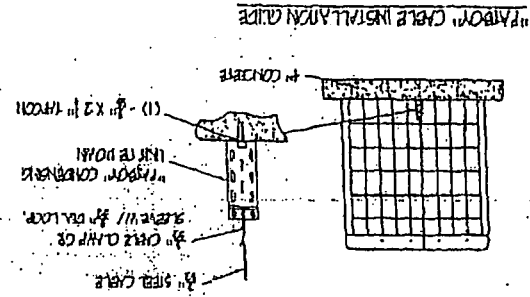
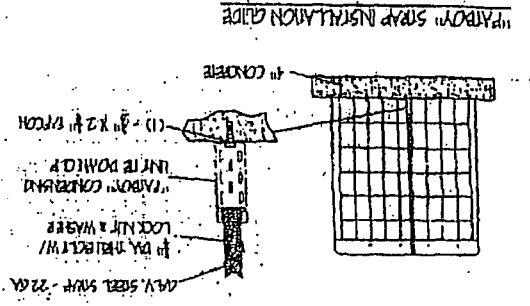
DATE	AS NOTED
CHECKED	
BY	

ANC UNIT ANCHORING DETAILS
 FATBOY CLIPS AS
 MANUFACTURED BY THE
 ORIGINAL PAN CO. FOR USE
 UNDER FLORIDA BUILDING CODE



GENERAL NOTES:

- 1- ANCHORS TO CONCRETE SHALL BE AS SHOWN OR AS NOTED. ALSO SEE SECTION FOR CONNECTIONS TO REINFORCING BARS.
- 2- ALL ANCHORS SHALL BE MANUFACTURED BY THE ORIGINAL PAN CO. IN FLORIDA. THIS IS A CONDITION OF THE CONTRACT.
- 3- ANCHORS SHALL BE ATTACHED TO THE REINFORCING BARS IN THE MANNER SHOWN AND BE PROTECTED WITH A MINIMUM OF 1" OF CONCRETE.
- 4- ANCHORS SHALL BE 1/2" DIA. UNLESS OTHERWISE NOTED.
- 5- ANCHORS SHALL BE 1/2" LONG UNLESS OTHERWISE NOTED.
- 6- ANCHORS SHALL BE 1/2" DIA. UNLESS OTHERWISE NOTED.
- 7- ANCHORS SHALL BE 1/2" DIA. UNLESS OTHERWISE NOTED.
- 8- ANCHORS SHALL BE 1/2" DIA. UNLESS OTHERWISE NOTED.
- 9- ANCHORS SHALL BE 1/2" DIA. UNLESS OTHERWISE NOTED.
- 10- ANCHORS SHALL BE 1/2" DIA. UNLESS OTHERWISE NOTED.





FEATURES

Refrigerant System

Scroll Compressor
Compressor sound-dampening system
Non-chlorine, ozone friendly, R-410A refrigerant.
Copper tube construction with enhanced ripple-edged aluminum fins.
Units applicable to expansion valve systems or RFC systems when matched with specific indoor coils.
Fully serviceable brass service valves.
Factory installed, hi-capacity liquid line drier
Totally enclosed, direct drive outdoor fan motor with sleeve bearings.
PVC coated, steel fan guard.

Controls

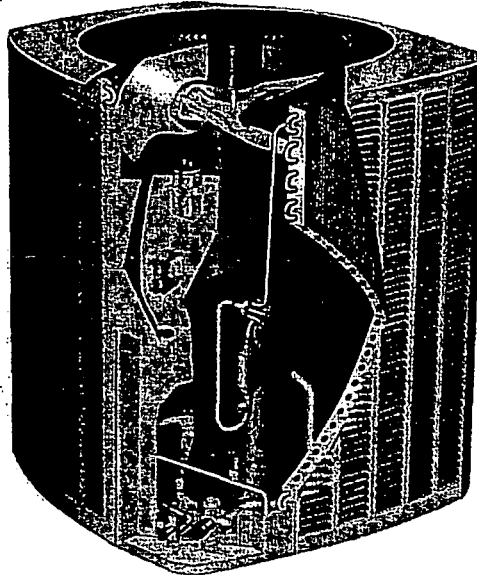
High Pressure Switch.

Cabinet

Heavy-gauge galvanized steel cabinet with powder paint finish.
SmartHinge™ Louvered Coil Protection
Corner patch plate allows access to compressor.

Limited Warranty

Compressor - ten years
All covered components - five years
Refer to Lennox Equipment Limited Warranty certificate included with equipment for details



ARI RATINGS

See Page 50 - Page 75

OPTIONAL ACCESSORIES

See Page 19

Compressor

- Compressor Crankcase Heater
- Compressor Hard Start Kit
- Compressor Low Ambient Cut-Off
- Compressor Time-Off Control

Controls

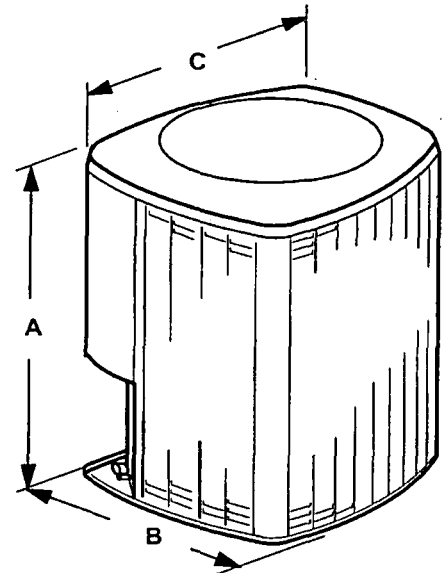
- Freezestat
- Indoor Blower Off Delay Relay
- Loss of Charge Switch Kit
- Low Ambient Kit
- Thermostat

Refrigerant System

- Expansion Valve Kits
- Refrigerant Line Kits

DIMENSIONS - in. (mm)

Model No.	A	B	C
XC14-018	31 (787)	27 (729)	28 (711)
XC14-024	31 (787)	27 (729)	28 (711)
XC14-030	31 (787)	30-1/2 (775)	35 (889)
XC14-036	31 (787)	30-1/2 (775)	35 (889)
XC14-042	31 (787)	30-1/2 (775)	35 (889)
XC14-048	39 (991)	30-1/2 (775)	35 (889)
XC14-060	35 (889)	35-1/2 (902)	39-3/8 (1000)



ARI Standard
210/240 UAC



NOTE - Due to Lennox' ongoing commitment to quality, Specifications, Ratings and Dimensions subject to change without notice and without incurring liability. Improper installation, adjustment, alteration, service or maintenance can cause property damage or personal injury. Installation and service must be performed by a qualified installer and servicing agency.

SPECIFICATIONS								
General Data	Model No.	XC14-018	XC14-024	XC14-030	XC14-036	XC14-042	XC14-048	XC14-060
	Nominal Tonnage	1.5	2	2.5	3	3.5	4	5
¹ Sound Rating Number (dB)		71	71	71	70	73	73	73
Connections (sweat)	Liquid line o.d. - in.	3/8	3/8	3/8	3/8	3/8	3/8	3/8
	Suction line o.d. - in.	3/4	3/4	3/4	7/8	7/8	7/8	1-1/8
² Refrigerant (R-410A) furnished		6 lbs. 12 oz.	7 lbs. 10 oz.	8 lbs. 0 oz.	8 lbs. 9 oz.	8 lbs. 10 oz.	10 lbs. 0 oz.	12 lbs. 0 oz.
Outdoor Fan	Diameter - in.	18	18	22	22	22	22	26
	Number of blades	4	4	4	4	4	4	4
	Motor hp	1/5	1/5	1/6	1/6	1/4	1/4	1/3
Shipping Data - lbs. 1 package		181	183	213	215	243	272	290
ELECTRICAL DATA								
	Line voltage data - 60 hz - 1ph	208/230V	208/230V	208/230V	208/230V	208/230V	208/230V	208/230V
³ Maximum overcurrent protection (amps)		20	30	30	30	40	50	60
⁴ Minimum circuit ampacity		12.3	17.9	17.2	18.7	24.1	29.0	34.8
Compressor Rated load amps		9.0	13.4	12.9	14.1	17.9	21.8	26.4
Outdoor Fan Motor Full load amps		1.0	1.0	1.1	1.1	1.7	1.7	1.8

- NOTE - Extremes of operating range are plus 10% and minus 5% of line voltage.
- ¹ Sound Rating Number rated in accordance with test conditions included in ARI Standard 270.
 - ² Refrigerant charge sufficient for 15 ft. length of refrigerant lines.
 - ³ HACR type breaker or fuse.
 - ⁴ Refer to National or Canadian Electrical Code manual to determine wire, fuse and disconnect size requirements.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 8-30-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10560	McIlvanna	dry-in/metal	FAIL	MISSING AFFIDAVIT
5	20 Castle Hill Verobeach Roofing		FAIL PASS	rec'd affidavit INSPECTOR <i>OW</i>
10319	Casper	Final	PASS	CLOSE
1	30 E High Pt Nis An	Condensation only		INSPECTOR <i>OW</i>
10550	Sedor	Final	Homeowner	cancelled
	5 Lantana La All Am Roof & Coatings	roof		INSPECTOR
10082	Goudis	light niche	PASS	
4	25 Skiver Rd Ol Custom			INSPECTOR <i>OW</i>
3	9 Mandalay Denise 288-3052/285-6323 cell	Bamboo		OK TO REMOVE BAMBOO INSPECTOR <i>OW</i>
10405	Byron	Final	FAIL	NO PERMIT
2	34 E High Pt TC Barge	dock extension	PASS	ok job close INSPECTOR <i>OW</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

11014

FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	11014	DATE ISSUED:	September 16, 2014
SCOPE OF WORK:	Fence		
CONTRACTOR:	Stuart Fence		
PARCEL CONTROL NUMBER:	13-38-41-003-000-01011-9	SUBDIVISION:	High Point Isle
CONSTRUCTION ADDRESS:	30 E High Point Road		
OWNER NAME:	Crispin		
QUALIFIER:	Chester Richmond	CONTACT PHONE NUMBER:	288-1151

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	11014		
ADDRESS:	30 E High Point Road		
DATE ISSUED:	9/16/2014	SCOPE OF WORK:	Fence

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
---	--	-----------------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp.			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 2,300.00
Total number of inspections: @ \$ 100.00 per insp. # insp.		\$ 1.00	\$ 100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)			\$ 5.00
TOTAL ACCESSORY PERMIT FEE:		\$	\$ 109.00

1272

STUART FENCE COMPANY, INC.
PO BOX 2636
STUART, FL 34995
772-288-1151

DATE Sept 23 2014 63.515.670

PAY TO THE ORDER OF Sewall's Point Building department

\$ 218.00

Two hundred & eighteen dollars

DOLLARS  Security Features
Engraved on Bank

SEACOAST NATIONAL BANK
STUART, FL 34997

FOR Tufano Crispin Permits



Town of Sewall's Point

BUILDING PERMIT APPLICATION

Date: SEPTEMBER 15 2014

Permit Number: 11014

OWNER/LESSEE NAME: JULIE CRISPIN Phone (Day) XXX (Fax) XXX
 Job Site Address: 30 E HIGH POINT ROAD City: SEWALLS POINT State: FL Zip: 34996
 Legal Description _____ Parcel Control Number: 133841003000010119
 Fee Simple Holder Name: XXXX Address: XXXX
 City: XXXXX State: XXX Zip: XXX Telephone: XXX

***SCOPE OF WORK (PLEASE BE SPECIFIC):**

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES NO
Has a Zoning Variance ever been granted on this property?
 YES (YEAR) _____ NO
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 2300.00
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: STUART FENCE COMPANY Phone: 772-288-1151 Fax: 772-288-3035
 Qualifiers name: CHESTER RICHMOND Street: PO BOX 2636 City: STUART State: FL Zip: 34995
 State License Number: XXX OR: Municipality: MCFE3594 License Number: _____

LOCAL CONTACT: CHESTER RICHMOND Phone Number: 772-288-1151
 DESIGN PROFESSIONAL: XXXXX Fla. License# XXXX
 Street: XXX City: XXXX State: XXX Zip: XX Phone Number: XXXXX

AREAS SQUARE FOOTAGE: Living: XX Garage: XXXX Covered Patios/ Porches: XXX Enclosed Storage: XXX
 Carport: XXX Total under Roof: XXX Elevated Deck: XXX Enclosed area below BFE: XXX
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT, THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

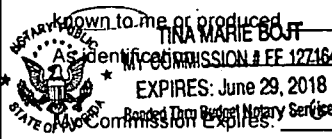
- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:
 X Signed Contract
 State of Florida, County of: _____
 On This the _____ day of _____, 2014
 by _____ who is personally
 known to me or produced _____
 As identification, _____
 Notary Public
 My Commission Expires: _____

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
 X [Signature]
 State of Florida, County of: Martin
 On This the 15th day of Sept, 2014
 by Chester Richmond who is personally
 known to me or produced _____
 As identification, TINA MARIE BOY
 My Commission Expires: 12/29/15
 Notary Public



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 9/16/2014 8:52:38 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-003-000-01011-9	27788	30 E HIGH POINT RD, SEWALL'S POINT	\$1,398,780	9/13/2014

Owner Information	
Owner(Current)	CRISPIN JULIE
Owner/Mail Address	30 E HIGHPOINT RD STUART FL 34996
Sale Date	10/6/2011
Document Book/Page	<u>2540 1617</u>
Document No.	2296905
Sale Price	100

Location/Description			
Account #	27788	Map Page No.	SP-06
Tax District	2200	Legal Description	HIGH POINT ISLE ADDN BEG ON N/LN LOT 102 50' ELY FROM NW COR RUN ELY TO PT 50' ELY FROM NW COR LOT 101 S 43 DEG 02' 13" E 405' M/L TO RIVER SWLY 165' N 33 DEG 52' 53" W 394' M/L TO POB
Parcel Address	30 E HIGH POINT RD, SEWALL'S POINT		
Acres	1.0500		

Parcel Type	
Use Code	0100 Single Family
Neighborhood	193120 High Pt IND RVR

Assessment Information	
Market Land Value	\$987,530
Market Improvement Value	\$411,250
Market Total Value	\$1,398,780

STUART FENCE COMPANY, INC.

(772) 288-1151

Fax (772) 288-3035

CFE3584

LICENSED & INSURED
BONDED

PROPOSAL - CONTRACT

P.O. Box 2636
Stuart, FL 34996

CUSTOMER'S NAME JULIE CRISPIN			DATE 7/22/14
STREET 30 EAST HIGHPOINT RD		CITY SEWALLS PT	STATE FL ZIP 34996
HOME PHONE	BUSINESS PHONE	Fax #	MOBIL/BEEPER# 486-3067
FENCE LINE CLEARED: Y / N N		SURVEY: JULCRISPIN@AOL.COM	TOTAL FOOTAGE: 52'

CHAIN LINK

FENCE TYPE _____

TOP RAIL _____

LINE POST _____

CORNER POST _____

GATE POST

WALK GATE

D.D. GATE _____

WIRE GAUGE _____

TENSION WIRE _____

FURNISH AND INSTALL 52' OF 4' HIGH 3 RAIL (STYLE #300) BRONZE POWDER COATED ALUMINUM FENCE WITH ONE 4' WIDE SINGLE GATE AND ONE 8' WIDE DOUBLE GATE. ALL POSTS SET IN CONCRETE. GATES WITH SELF CLOSING HINGES AND LOKK LATCHES. REMOVE EXISTING FENCE AND DISPOSE OFF SITE. TOTAL INCLUDES ALL MATERIAL, LABOR & PERMIT FEES.

WOOD

FENCE STYLE _____

HEIGHT _____

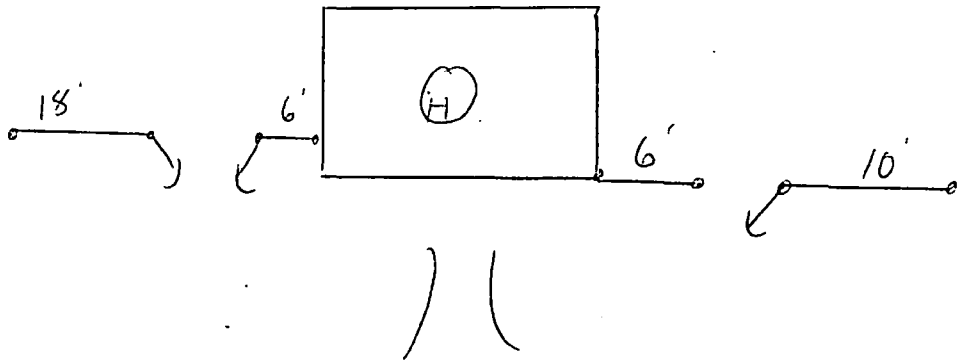
GOOD SIDE

WALK GATES

D.D. GATES _____

LINE POSTS _____

GATE POSTS _____



PVC/ALUMINUM

FENCE STYLE 4' #300

WALK GATES 4'

D.D. GATES 8'

POOL FENCE Y / N N

SPECIAL INSTRUCTIONS		
OPTION "B"	PROPOSAL/CONTRACT SALE PRICE	OPTION "A"
	CONTRACT PRICE	\$2300
	PERMIT	Inc
	TOTAL	
	LESS DEPOSIT	\$1150 deposit 8/25/14
	BALANCE DUE UPON COMPLETION	\$1150

ACCEPTANCE OF PROPOSAL - CONTRACT: The above prices, specifications and Terms/Conditions on reverse side are satisfactory and are hereby accepted. Stuart Fence Corp. is authorized to do the work specified. Payment will be made as outlined above. Upon signing by Purchaser this becomes a binding contract.

CUSTOMER'S SIGNATURE: *Julie Crispin*
SEE REVERSE SIDE FOR WARRANTY INFORMATION

APPROVED AND ACCEPTED DATE: 8/24/2014

STUART FENCE COMPANY, INC. IS NOT RESPONSIBLE FOR DAMAGE TO UNMARKED IRRIGATION LINES

TINA MARIE BOJT
MY COMMISSION # FF-127164
BONDED THRU BUDGET NOTARY SERVICES

check # 902 8/25 deposit



**MARTIN COUNTY, FLORIDA
Contractor's Licensing
Certificate of Competency**

FENCE ERECTION - MC

License #: MCFE3584 Expires: 09/30/2016

RICHMOND, CHESTER J III
STUART FENCE COMPANY INC
P.O. BOX 2636
STUART, FL 34995

STUART, FL 34995

2014-2015 **MARTIN COUNTY ORIGINAL
BUSINESS TAX RECEIPT**
HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR
3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994
(772) 288-5604

ACCOUNT ~~2008-650-0972~~ CERT _____
PHONE ~~(772) 288-1151~~ SIC NO ~~238990~~ _____
LOCATION:
3264 SE DIXIE AVE STU

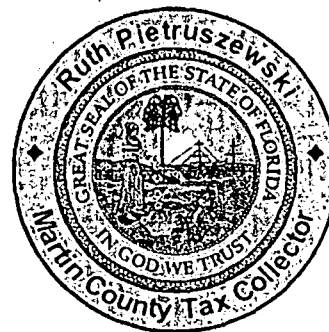
CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$ 00 LIC. FEE \$ 26.25
\$ 00 PENALTY \$ 00
\$ 00 COL. FEE \$ 00
\$ 00 TRANSFER \$ 00

TOTAL 26.25

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **RETAIL FENCE BUSINESS**
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

**RICHMOND, CHESTER
STUART FENCE RETAIL, INC.
P.O. BOX 2636
STUART, FL 34995**



21 DAY OF JULY 20 14
AND ENDING SEPTEMBER 30. **2015**

91 2013 04693.0002

26.25 PAID



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
8/11/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER RICK CARROLL INSURANCE AGENCY 2160 NE Dixie Highway PO Box 877 Jensen Beach FL 34958-0877		CONTACT NAME: Carla Green PHONE (A/C, No, Ext): (772) 334-3181 FAX (A/C, No): (772) 334-7742 E-MAIL ADDRESS: carla@rickcarroll.com															
INSURED Stuart Fence Company Inc. and Stuart Retail PO Box 2636 Stuart FL 34995		<table border="1"> <tr> <th>INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> <tr> <td>INSURER A: First National Ins Co of Amer</td> <td></td> </tr> <tr> <td>INSURER B: American States Ins Co</td> <td></td> </tr> <tr> <td>INSURER C: American States Insurance</td> <td>19704</td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </table>		INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: First National Ins Co of Amer		INSURER B: American States Ins Co		INSURER C: American States Insurance	19704	INSURER D:		INSURER E:		INSURER F:	
INSURER(S) AFFORDING COVERAGE	NAIC #																
INSURER A: First National Ins Co of Amer																	
INSURER B: American States Ins Co																	
INSURER C: American States Insurance	19704																
INSURER D:																	
INSURER E:																	
INSURER F:																	

COVERAGES **CERTIFICATE NUMBER:** CL1481106514 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	GENERAL LIABILITY			25CC1663018	8/18/2014	8/18/2015	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 200,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						MED EXP (Any one person)	\$ 10,000
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
							PRODUCTS - COMP/OP AGG	\$ 2,000,000
								\$
B	AUTOMOBILE LIABILITY			01CH3769389	8/18/2014	8/18/2015	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO						BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS	<input type="checkbox"/> SCHEDULED AUTOS					BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS	<input type="checkbox"/> NON-OWNED AUTOS					PROPERTY DAMAGE (Per accident)	\$
							Uninsured motorist combined	\$ 100,000
C	<input checked="" type="checkbox"/> UMBRELLA LIAB	<input type="checkbox"/> OCCUR		01SU41496660	8/18/2014	8/18/2015	EACH OCCURRENCE	\$ 1,000,000
	<input type="checkbox"/> EXCESS LIAB	<input type="checkbox"/> CLAIMS-MADE					AGGREGATE	\$ 1,000,000
	<input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000							\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						WC STATUTORY LIMITS	OTHER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	<input type="checkbox"/> Y/N	N/A				E.L. EACH ACCIDENT	\$
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
THIS CERTIFICATE IS FOR PROOF OF INSURANCE ONLY. THE GENERAL LIABILITY POLICY CONTAINS ADDITIONAL INSURED PRIMARY NON-CONTRIBUTORY ENDT CG7680 10/02, ADDITIONAL INSURED-COMLETE OPERATIONS CG8672 10/01, WAIVER OF TRANSFER OF RIGHTS CG2404 05/09, DESIGNATED PROJECTS GENERAL AGGREGATE CG2503 5/09

CERTIFICATE HOLDER Town of Sewalls Point 1 S Sewalls Point Road Sewalls Point, FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE Melissa D'Andola/CDG <i>Melissa D'Andola</i>
---	--

CERTIFICATE OF LIABILITY INSURANCE

Date
1/21/2014

Producer: Lion Insurance Company
2739 U.S. Highway 19 N.
Holiday, FL 34691
(727) 938-5562

This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.

Insurers Affording Coverage

NAIC #

Insured: South East Personnel Leasing, Inc. & Subsidiaries
2739 U.S. Highway 19 N.
Holiday, FL 34691

Insurer A: Lion Insurance Company

11075

Insurer B:

Insurer C:

Insurer D:

Insurer E:

Coverages

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits
		GENERAL LIABILITY <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence \$ Damage to rented premises (EA occurrence) \$ Med Exp \$ Personal Adv Injury \$ General Aggregate \$ Products - Comp/Op Agg \$
		AUTOMOBILE LIABILITY <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident) \$ Bodily Injury (Per Person) \$ Bodily Injury (Per Accident) \$ Property Damage (Per Accident) \$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made Deductible				Each Occurrence Aggregate
A		Workers Compensation and Employers' Liability Any proprietor/partner/executive officer/member excluded? NO If Yes, describe under special provisions below.	WC 71949	01/01/2014	01/01/2015	<input checked="" type="checkbox"/> WC Statutory Limits <input type="checkbox"/> OTH-ER E.L. Each Accident \$1,000,000 E.L. Disease - Ea Employee \$1,000,000 E.L. Disease - Policy Limits \$1,000,000

Other

Lion Insurance Company is A.M. Best Company rated A- (Excellent). AMB # 12616

Descriptions of Operations/Locatlons/Vehicles/Exclusions added by Endorsement/Special Provisions:

Client ID: 34-65-485

Coverage only applies to active employee(s) of South East Personnel Leasing, Inc. & Subsidiaries that are leased to the following "Client Company":

Stuart Fence Company, Inc.

Coverage only applies to injuries incurred by South East Personnel Leasing, Inc. & Subsidiaries active employee(s), while working in: FL.

Coverage does not apply to statutory employee(s) or independent contractor(s) of the Client Company or any other entity.

A list of the active employee(s) leased to the Client Company can be obtained by faxing a request to (727) 937-2138 or by calling (727) 938-5562.

Project Name:

FAX: (772) 220-4765 / ISSUE 12-23-13 (ND)/ REISSUE 01-03-14 (TLD)

Begin Date 5/10/2004

CERTIFICATE HOLDER

TOWN OF SEAWALLS POINT

1 S SEAWALLS POINTROAD

STUART, FL 34996

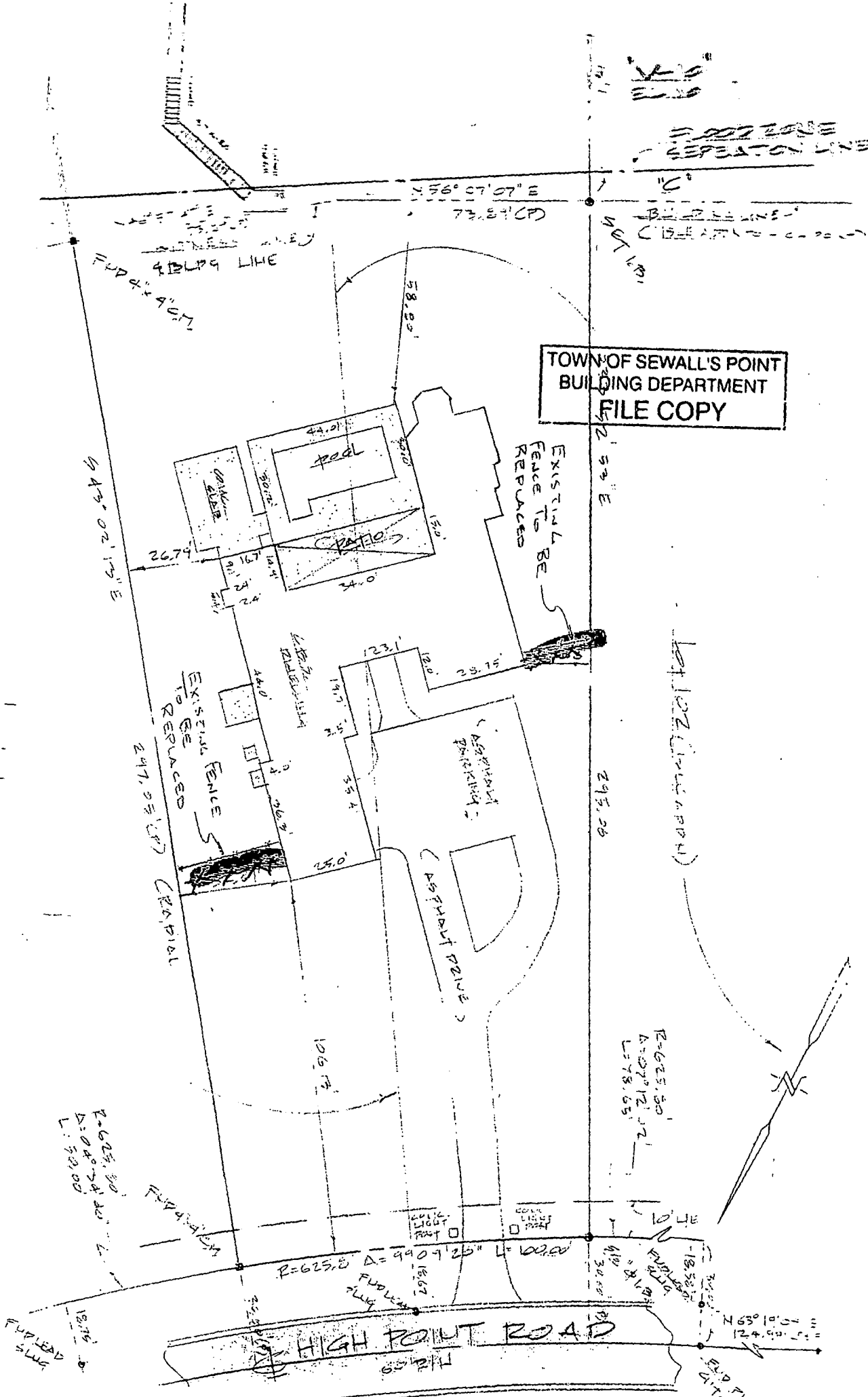
CANCELLATION

Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.

John A. Brown

~~REPEATER LINE~~

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



FUR 4" x 4" CM
4" x 4" x 4" CM

S 43° 02' 13" E

N 56° 07' 07" E
73.84 (CP)

MET. LB.

EXISTING FENCE
TO BE REPLACED

RADIAL

EXISTING BE
FENCE TO BE
REPLACED

295.08

R=625.50
Δ=97°12'12"
L=78.65

R=625.50
Δ=97°12'12"
L=78.65

R=625.5 Δ=94°41'25" L=100.00

HIGH POINT ROAD

N 56° 10' 07" E
124.90 (CP)

FUR 4" x 4" CM

E.L.P. PK.
41-104

TOWN OF SEWALL'S POINT

Building Department – Inspection Log

Date of Inspection Mon Tue Wed Thur Fri 11/18/14 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10710	Darrow	Driveway		Missing
	7 Oak Hill Way		Fail	Form Boards
	JMC			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10949	Wright	Final Bath	Pass	Please call Chad at (772) 215-2430 to arrange time
Am Requested	10 Miramar Rd	Remodel		Close
	Custom Bidders Group			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11062	Birdsall	Fence		Fence not as permitted. Not in location marked
	49 N. River Rd	Final	Fail	
	Stuart Fence			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11044	Crispin	Fence		
	30 E High Point Rd	Final	Pass	Close
	Stuart Fence			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10935	Heramis	Dry-lm &		
	172 S River rd	Metal.	Pass	
	J. Conroy			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

11067

REPAIR SEAWALL / NEW
RETAINING WALL



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	11067	DATE ISSUED:	October 27, 2014
SCOPE OF WORK:	Repair Seawall/New Retaining Wall		
CONTRACTOR:	Custom Built Marine Construction		
PARCEL CONTROL NUMBER:	13-38-41-003-000-01011-9	SUBDIVISION:	High Point Isle
CONSTRUCTION ADDRESS:	30 E High Point Road		
OWNER NAME:	Crispin		
QUALIFIER:	Lee Corrigan	CONTACT PHONE NUMBER:	288-4254

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	11067		
ADDRESS:	30 E High Point Road		
DATE ISSUED:	10/27/2014	SCOPE OF WORK:	Repair Seawall/New Retaining Wall

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)			\$	
(No plan submittal fee when value is less than \$100,000)				
Total square feet air-conditioned spa	@ \$121.75 per sq. ft.	s.f.	\$	-
Total square feet non-conditioned space, or interior remodel:				
	@ \$ 59.81 per sq. ft.	s.f.	\$	-
Total square feet remodel with new trusses:	\$ 90.78 per sq. ft.	s.f.	\$	-

9446
63-1482/670
775

CUSTOM BUILT MARINE CONSTRUCTION, INC.
 1288 SE INDUSTRIAL BLVD
 PORT SAINT LUCIE, FL 34952

10/29/2014

PAY TO THE ORDER OF: Town Clerk, Sewall's Point

\$ 212.40

Two Hundred Twelve and 40/100

DOLLARS

Town Clerk, Sewall's Point
 1 S. Sewall's Point Road
 Sewall's Point, FL 34996

MEMO

AUTHORIZED SIGNATURE

Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)	\$	\$	3.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)	\$	\$	3.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	6.40
TOTAL ACCESSORY PERMIT FEE:		\$	212.40



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	11067		
ADDRESS:	30 E High Point Road		
DATE ISSUED:	10/27/2014	SCOPE OF WORK:	Repair Seawall/New Retaining Wall

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
---	--	-----------------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp.			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 16,000.00
Total number of inspections: @ \$ 100.00 per insp. # insp.		\$	\$ 200.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 3.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 3.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	\$ 6.40
TOTAL ACCESSORY PERMIT FEE:		\$	\$ 212.40

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: 11067

Date: _____
 OWNER/LESSEE NAME: Julie Crispin Phone (Day) _____ (Fax) _____
 Job Site Address: 30 E. High Point Rd Sewall's Point City: Stuart State: FL Zip: 34996
 Legal Description _____ Parcel Control Number: _____
 Fee Simple Holder Name: _____ Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Repair Sea Wall / Retain Wall

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner/Builder questionnaire must accompany application)
 YES _____ NO
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 16,000
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 _____ X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only. Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Custom Built Marine Construction Phone: 288-4254 Fax: 288-2802
 Qualifiers name: Lee Corrigan Street: 1288 SE Industrial Blvd City: PSL State: FL Zip: 34952
 State License Number: CGC 1521194 OR: Municipality: _____ License Number: _____
LOCAL CONTACT: Lee Corrigan Phone Number: 288-4254
DESIGN PROFESSIONAL: _____ Fla. License# _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:
 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
 2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCOMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF: FBC 2007 SECT. 105.4.1, 105.4.1.1, 5

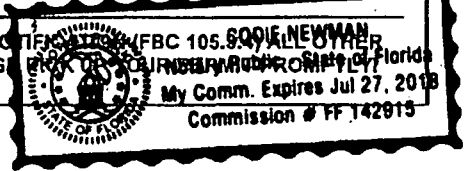
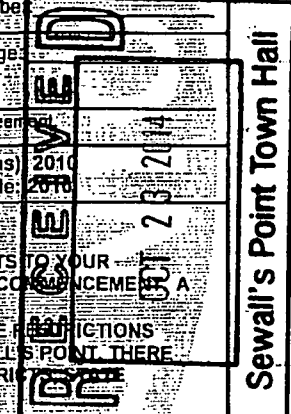
******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:
 X Julie Crispin
 State of Florida, County of: Martin
 On This the 15th day of September 2014
 by Julie Crispin
 known to me or produced _____
 As Identification, _____
 My Commission Expires: 02/24/2017

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
 X _____
 State of Florida, County of: St. Louis
 On This the 22nd day of October 2014
 by Lee Corrigan who is personally
 known to me or produced knowing me
 As Identification, Corie Newman
 My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.2.1) OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE



Martin County, Florida
Laurel Kelly, C.F.A

generated on 10/23/2014 2:44:58 PM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-003-000-01011-9	27788	30 E HIGH POINT RD, SEWALL'S POINT	\$1,398,780	10/18/2014

Owner Information	
Owner(Current)	CRISPIN JULIE
Owner/Mail Address	30 E HIGHPOINT RD STUART FL 34996
Sale Date	10/6/2011
Document Book/Page	<u>2540 1617</u>
Document No.	2296905
Sale Price	100

Location/Description			
Account #	27788	Map Page No.	SP-06
Tax District	2200	Legal Description	HIGH POINT ISLE ADDN BEG ON N/LN LOT 102 50' ELY FROM NW COR RUN ELY TO PT 50' ELY FROM NW COR LOT 101 S 43 DEG 02' 13" E 405' M/L TO RIVER SWLY 165' N 33 DEG 52' 53" W 394' M/L TO POB
Parcel Address	30 E HIGH POINT RD, SEWALL'S POINT		
Acres	1.0500		

Parcel Type	
Use Code	0100 Single Family
Neighborhood	193120 High Pt IND RVR

Assessment Information	
Market Land Value	\$987,530
Market Improvement Value	\$411,250
Market Total Value	\$1,398,780

CITY OF PORT ST. LUCIE LOCAL BUSINESS TAX RECEIPT



TERM: October 1, 2014 to September 30, 2015

This receipt does not warrant that the receipt holder is competent to perform in the business, but that the holder has paid the required tax. Valid only when all state and local regulated trade licenses / competency cards are valid for the current fiscal year as required by law.
THIS RECEIPT MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS

VALID AT THIS BUSINESS ADDRESS ONLY

Business Address: 1288 SE INDUSTRIAL BLVD
Classification: CONT CONTRACTOR
Issued to: CUSTOM BUILT MARINE CONSTRUCTION INC
1288 SE INDUSTRIAL BLVD

PORT ST LUCIE, FL 34952

Business Tax 136573 / 15-1070543

Fee: 134.00

Discount: 0.00

John Grayson
BUSINESS TAX AUTHORITY

THIS IS A RECEIPT FOR TAX PAID AND IS NOT REGULATORY IN NATURE

LOCAL BUSINESS TAX RECEIPT CITY OF PORT ST. LUCIE
Fees: 134.00 Late Fees: 13.40 Total this payment: 147.40

4081 / 013

Cgomez

STATE OF FLORIDA
 DEPARTMENT OF BUSINESS AND
 PROFESSIONAL REGULATION

CGC1521194 ISSUED 08/07/2014

CERTIFIED GENERAL CONTRACTOR
 CORRIGAN, LEE GIDEON
 CUSTOM BUILT MARINE CONSTRUCTION,

IS CERTIFIED under the provisions of Ch. 489, F.S.
 Expiration date: AUG 31, 2016 L1408070001646

RICK SCOTT, GOVERNOR

KEN LAWSON, SECRETARY

STATE OF FLORIDA
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 CONSTRUCTION INDUSTRY LICENSING BOARD

LICENSE NUMBER
CGC1521194

The GENERAL CONTRACTOR
 Named below IS CERTIFIED
 Under the provisions of Chapter 489 F.S.
 Expiration date: AUG 31, 2016

CORRIGAN, LEE GIDEON
 CUSTOM BUILT MARINE CONSTRUCTION, INC.
 1288 SE INDUSTRIAL BLVD
 PORT SAINT LUCIE, FL 34952



(For the protection of our professional license holders, this license contains hidden security features to prevent counterfeiting. Unauthorized reproduction is strictly prohibited and will be prosecuted to the fullest extent of the law)

The Department of Business and Professional Regulation (DBPR), issues licenses for many licensed businesses and practitioners in the State of Florida.

DBPR is changing the way you interact with state government. Many of DBPR's services are available online at www.MyFloridaLicense.com. We encourage you to utilize these services to make address changes, licensing changes or to renew your license.

Name changes require legal documentation verifying the name change, which must be mailed to the DBPR. An original, a certified copy or a duplicate copy of an original or certified copy of a document that shows the legal name change will be accepted, unless the DBPR has a question about the authenticity of the document.

If applicable, the DBPR will send a renewal notice to your last known address or email address of record: If you have not received your renewal notice, please call our Customer Contact Center at 850.487.1395 or online at www.MyFloridaLicense.com/contactus.

Please refer to your profession's governing statutes and Administrative codes for further information regarding renewals. These may be accessed from our website.

AC# 570134

SIGNATURE



AC# 570134



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
10/24/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Insurance Office of America-JUP Abacoa Town Center 1200 University Blvd, Suite 200 Jupiter, FL 33458	CONTACT NAME: PHONE (A/C, No, Ext): (561) 776-0660 FAX (A/C, No): (561) 776-0670	
	E-MAIL ADDRESS:	
INSURED Custom Built Marine Construction Inc. 1288 SE Industrial Blvd. Port Saint Lucie, FL 34952	INSURER(S) AFFORDING COVERAGE	
	INSURER A : Travelers Property Casualty Company of America	NAIC # 25674
	INSURER B : Great American Assurance Company	NAIC # 26344
	INSURER C :	
	INSURER D :	
	INSURER E :	

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			14P17292	01/19/2014	01/19/2015	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 HNO \$ 1,000,000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS			14P17292	01/19/2014	01/19/2015	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 25,000			14P17311	01/19/2014	01/19/2015	EACH OCCURRENCE \$ 2,000,000 AGGREGATE \$ 2,000,000 \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory In NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
A	Equipment-Special			6606717M54A-14	01/19/2014	01/19/2015	Rented/Leased Equip. 250,000
B	Pollution Commercial			OMH3838899 04	01/19/2014	01/19/2015	Vessel Pollution 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 P&I Policy includes Jones Act Coverage

CERTIFICATE HOLDER Sewalls Point Building Department One South Seawall's Point Road Sewalls Point, FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE

CERTIFICATE OF LIABILITY INSURANCE

Date
10/24/2014

Producer: Lion Insurance Company
2739 U.S. Highway 19 N.
Holiday, FL 34691
(727) 938-5562

This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.

Insurers Affording Coverage

NAIC #

Insured: South East Personnel Leasing, Inc. & Subsidiaries
2739 U.S. Highway 19 N.
Holiday, FL 34691

Insurer A: Lion Insurance Company	11075
Insurer B:	
Insurer C:	
Insurer D:	
Insurer E:	

Coverages

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits																				
		GENERAL LIABILITY <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence \$ Damage to rented premises (EA occurrence) \$ Med Exp \$ Personal Adv Injury \$ General Aggregate \$ Products - Comp/Op Agg \$																				
		AUTOMOBILE LIABILITY <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident) \$ Bodily Injury (Per Person) \$ Bodily Injury (Per Accident) \$ Property Damage (Per Accident) \$																				
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made Deductible				Each Occurrence Aggregate																				
A		Workers Compensation and Employers' Liability Any proprietor/partner/executive officer/member excluded? NO If Yes, describe under special provisions below.	WC 71949	01/01/2014	01/01/2015	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%; text-align: center;">X</td> <td style="width: 70%;">WC Statutory Limits</td> <td style="width: 5%;"></td> <td style="width: 10%;">OTH-ER</td> <td style="width: 5%;"></td> </tr> <tr> <td></td> <td>E.L. Each Accident</td> <td></td> <td></td> <td style="text-align: right;">\$1,000,000</td> </tr> <tr> <td></td> <td>E.L. Disease - Ea Employee</td> <td></td> <td></td> <td style="text-align: right;">\$1,000,000</td> </tr> <tr> <td></td> <td>E.L. Disease - Policy Limits</td> <td></td> <td></td> <td style="text-align: right;">\$1,000,000</td> </tr> </table>	X	WC Statutory Limits		OTH-ER			E.L. Each Accident			\$1,000,000		E.L. Disease - Ea Employee			\$1,000,000		E.L. Disease - Policy Limits			\$1,000,000
X	WC Statutory Limits		OTH-ER																							
	E.L. Each Accident			\$1,000,000																						
	E.L. Disease - Ea Employee			\$1,000,000																						
	E.L. Disease - Policy Limits			\$1,000,000																						

Other

Lion Insurance Company is A.M. Best Company rated A- (Excellent). AMB # 12616

Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions:

Client ID: 91-67-632

Coverage only applies to active employee(s) of South East Personnel Leasing, Inc. & Subsidiaries that are leased to the following "Client Company":

Custom Built Marine Construction, Inc

Coverage only applies to injuries incurred by South East Personnel Leasing, Inc. & Subsidiaries active employee(s), while working in: FL.

Coverage does not apply to statutory employee(s) or independent contractor(s) of the Client Company or any other entity.

A list of the active employee(s) leased to the Client Company can be obtained by faxing a request to (727) 937-2138 or by calling (727) 938-5562.

Project Name:

ISSUE 02-05-14 (TD) / REISSUE 10-23-14 (TLD) / REISSUE 10-24-14 (TLD)

Begin Date 1/15/2014

CERTIFICATE HOLDER

TOWN OF SEWALL'S POINT

ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FL 34996

CANCELLATION

Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.

John G. Brown

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PERMIT #: _____ TAX FOLIO #: _____

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

High Point Isle ADP1 Sec on N/4 of lot 102 80' ELY From NW Cor. Sec Ely to Pt 50' ELY From NW Cor lot 101 S43 Dec 02' 13" E 40' N/4 to River 3 1/4 165' N 27 Dec 52' 55" W
GENERAL DESCRIPTION OF IMPROVEMENT: Retaining wall construction and Retaining Wall Repair

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: Julie Crispin
ADDRESS: 20 E High Point Rd Seville FL 34946
PHONE NUMBER: _____ FAX NUMBER: _____
INTEREST IN PROPERTY: Owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: Custom Built Marine Construction, Inc.
ADDRESS: 1283 SE Industrial Blvd Port Saint Lucie FL 34952
PHONE NUMBER: 772-288-4254 FAX NUMBER: 772-288-4254

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)

ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY:

ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: _____ FAX NUMBER: _____ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

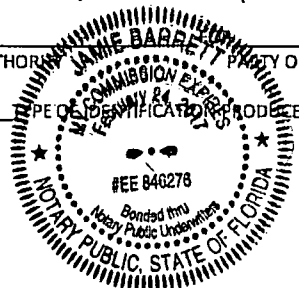
Signature of Julie Crispin
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT
SIGNATORY'S TITLE/OFFICE: Owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15 DAY OF Sep 20 14

BY: Julie Crispin AS _____ TYPE OF AUTHORITY: _____ PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION TYPE OF IDENTIFICATION PRODUCED

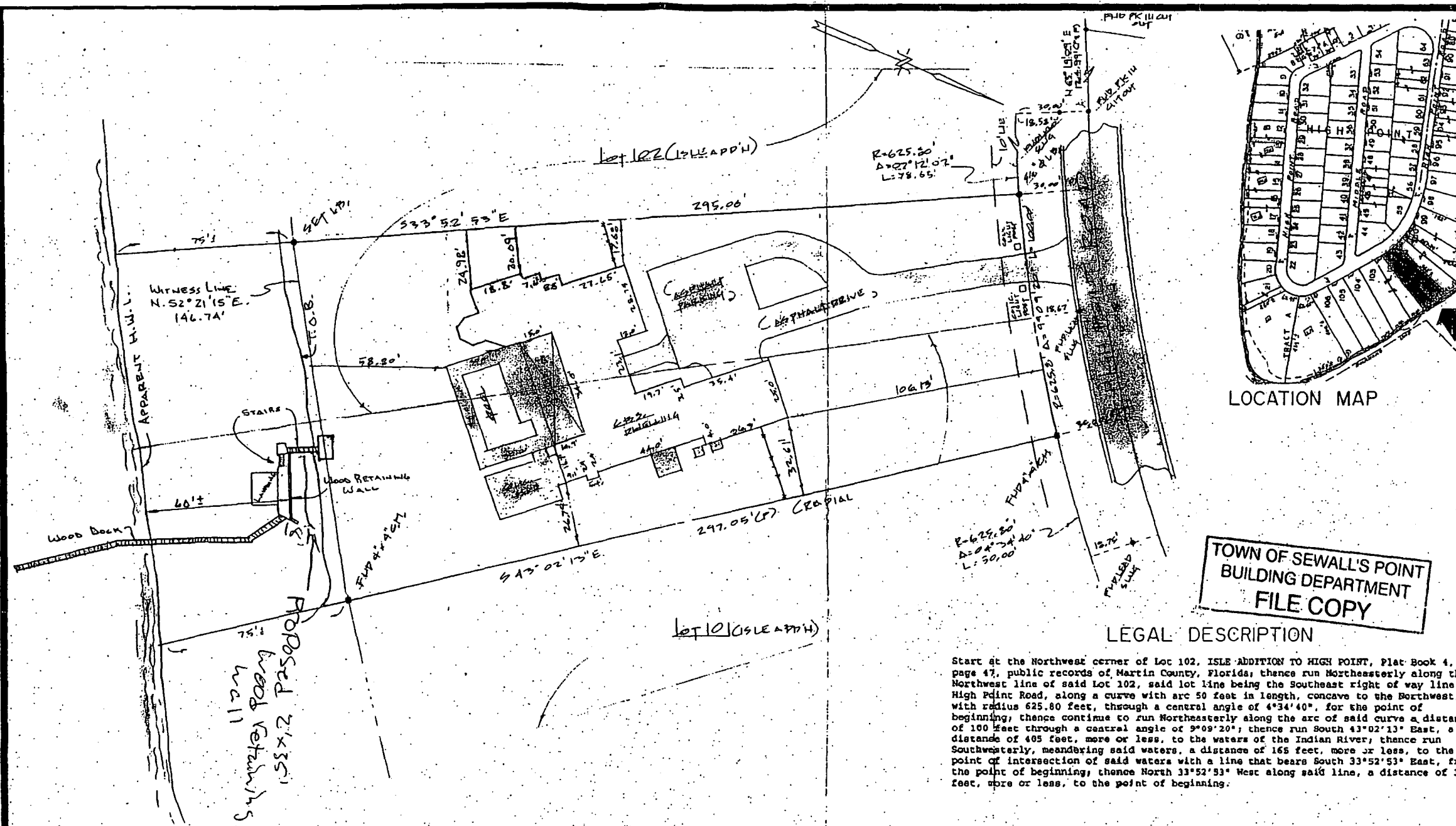
Notary Signature/Seal



STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING PAGE(S) IS/A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE
BY: CAROLYN TIMMANN, CLERK
DATE: 10/23/14 D.C.



INSTR # 248273 OR BK 2747 PG 2005 RECD 10/23/2014 02:18:46 PM
(1 Pgs)
CAROLYN TIMMANN MARTIN COUNTY CLERK
DEED DOC \$0.00, HTG DOC \$0.00, INTANGIBLE \$0.00



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

LEGAL DESCRIPTION

Start at the Northwest corner of Lot 102, ISLE ADDITION TO HIGH POINT, Plat Book 4, page 47, public records of Martin County, Florida; thence run Northeasterly along the Northwest line of said Lot 102, said lot line being the Southeast right of way line of High Point Road, along a curve with arc 50 feet in length, concave to the Northwest, with radius 625.80 feet, through a central angle of 4°34'40", for the point of beginning; thence continue to run Northeasterly along the arc of said curve a distance of 100 feet through a central angle of 9°09'20"; thence run South 43°02'13" East, a distance of 405 feet, more or less, to the waters of the Indian River; thence run Southwesterly, meandering said waters, a distance of 165 feet, more or less, to the point of intersection of said waters with a line that bears South 33°52'53" East, from the point of beginning; thence North 33°52'53" West along said line, a distance of 394 feet, more or less, to the point of beginning.

AC ACRE	ALUM ALUMINUM	ANC ANCHOR	AP ASPHALT	AVE AVENUE	BRG BRIDGE	BLK BLOCK	BLVD BOULEVARD	BE BLDG	BLDG BUILDING	CATV CABLE TELEVISION	C CALCULATED	CB CATCH BASIN	CA CENTRAL ANGLE	CHD CHORD DISTANCE	CBS CONC. BLOCK & STRUCO	CM CONCRETE MONUMENT	CR CORRUGATED METAL PIPE	CT COURT	D DEED	DBH DIAMETER BREAST HOOD	DE DRAINAGE EASEMENT	DE DRANKFIELD	D/E DRAINAGE EASEMENT	DSM DRAINAGE	E EAST	EP EDGE OF PAVEMENT	EW EDGE OF WATER	EM ELECTRIC METER	ES ELECTRIC SERVICE	ELEV ELEVATION	ENCL ENCLOSURE	ENCRD EMERGENCY	ENCRD EMERGENCY	FE FEET	F FIELD MEASUREMENT	FTE FINISH FLOOR ELEVATION	PH FIRE HYDRANT	PFL FLORIDA POWER & LIGHT	FND FOUND	GOVT GOVERNMENT	HW HEADWALL	HSE HOUSE	I & E INGRESS & EGRESS EASEMENT	INVERT	IB IRON BAR	IP IRON PIPE	IS & C IRON BAR & CAP	L ARC LENGTH	LE LANDSCAPE EASEMENT	LB LICENSE BUSINESS	LAP LIGHT POLE	LAE LIMITED ACCESS EASEMENT	LFE LOWEST FLOOR ELEVATION	LFE MAINTENANCE EASEMENT	MANH MANHOLE	MEAN HIGH WATER LINE	HAL & IN TAB	HAL & WASHER	NATIONAL GEODETIC VERTICAL DATUM	NOT TO SCALE	NORTH	NUMBER	OFFICIAL RECORD BOOK	OFFSET	OH OVERHANG	OH OVERHANG EASEMENT	OP OVERHEAD POWERLINES	OW OVERHEAD WIRE	PAGE	PAGE	PARKER-KALON HAIL	PARKER-KALON HAIL & WASHER	PARKMENT	PERMANENT CONTROL POINT	PERMANENT REFERENCE MONUMENT	PLAT	PLATBOOK	POINT OF COMMENCEMENT	POINT OF COMPOUND CURVATURE	POINT OF CURVATURE	POINT OF INTERSECTION	POINT OF REVERSE CURVATURE	POINT OF TANGENCY	POWER POLE	PRIVATE UTILITY EASEMENT	PROFESSIONAL LAND SURVEYOR	PROPOSED	PROP	RADIUS	RAILROAD SPIKE	RANGE	RECIPROCAL MAINTENANCE EASEMENT	REGISTERED LAND SURVEYOR	RES REINFORCED CONCRETE PIPE	RESURFACE	RIGHT OF WAY	ROD & CAP	SAFE PLANO LINE	SANITARY SEWER MANHOLE	SANITARY SEWER	SECT SECTION	SCREEN	SET IR	SEPTIC TANK	SEWER	SOUTH	SOUTHERN BELL TELEPHONE BOX	SQUARE FEET	SUBDIVISION	TANGENT	TH TAB	TOP OF BANK	TOWNSHIP	TRANS TRANSFORMER	TYP TYPICAL	UNDER CONSTRUCTION	UTILITY & DRAINAGE EASEMENT	UTILITY EASEMENT	UTILITY POLE	UP WATER METER	WV WATER VALVE	WELL POINT	WEST	WOOD	WOOD POWER POLE	PROPOSED ELEVATION	DRAINAGE FLOW
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- PROPERTY ADDRESS: 30 EAST HIGH POINT ROAD
- CERTIFIED TO: JULIE CRISPIN

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

STEPHEN J. BROWN, INC.
STEPHEN J. BROWN, PROFESSIONAL SURVEYOR AND MAPPER
REGISTRATION NO. 4849, STATE OF FLORIDA

- NOTES:
- Survey of description as furnished by Client.
 - Lands shown hereon were not abstracted for easements and/or rights-of-way of record.
 - All bearings are referenced to the east line of subject property platted as S 33° 52' 53" E all others relative thereto.
 - Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.
 - There are no above ground encroachments, unless otherwise shown.
 - The National Flood Insurance Program designation as indicated on the F.E.M.A. Map Panel No. 12085C0162 F dated 10/04/02 locates the parcel in Zone "X" base flood elevation: N/A Feet; subject to any scaling and interpolation factors associated with mapping of this accuracy.

THE TOWN OF SEWALL'S POINT

REVISIONS	BY
1. DATE 9/9/19	SB

BOUNDARY SURVEY
PREPARED FOR: CRISPIN
STEPHEN J. BROWN, INC.
SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS
619 EAST 5TH STREET STUART, FL 34994
LICENSED BUSINESS NUMBER: 6481
(772) 288-7176

DRAWN S. J. B.
CHECKED S. J. B.
DATE 12/15/97
SCALE 1" = 30'
JOB NO. 1400-375-01
SHEET
OF SHEETS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

**REVISIONS – CORRECTIONS REQUEST FORM
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS**

DATE: 12/22/14 PERMIT NUMBER: 11067
 JOB ADDRESS: 30 E Highpoint Road

PLEASE CHECK ONE OF THE FOLLOWING:

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)

******ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING******

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): Add additional 132 LF of Retaining Wall

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUE \$ 12,000
 INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: Lee Corrigan SIGNATURE: _____
 PHONE NUMBER: 772-288-4254 FAX NUMBER: 772-288-2802

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 12-24-14 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: 2 TWD INSP @ 100⁰⁰ EA Revision review fee: _____ Pages @ \$25.00/Page _____

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 200⁰⁰

Applicant notified by: _____ Date: _____



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

REVISIONS - CORRECTIONS REQUEST FORM
MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 12/22/14 PERMIT NUMBER: 11067
 JOB ADDRESS: 30 E Highpoint Road

PLEASE CHECK ONE OF THE FOLLOWING:

CUSTOM BUILT MARINE CONSTRUCTION, INC.
 1288 SE INDUSTRIAL BLVD
 PORT SAINT LUCIE, FL 34952

TD BANK
 AMERICA'S MOST CONVENIENT BANK

9529
 63-1482670
 275

PAY TO THE ORDER OF TOWN OF SEWALL'S POINT

Two Hundred 00/100 00 \$ 200.00

DOLLARS

MEMO

AUTHORIZED SIGNATURE

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 12-24-14 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: 2 Two Insp @ 100.00 ea Revision review fee: _____ Pages @ \$25.00/Page _____

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 200.00

Applicant notified by: _____ Date: _____

Sec. 82-397. - Retaining walls and seawalls.

Retaining walls and all associated structures located within 100 feet of the mean high water mark, and visible from the St. Lucie, or Indian River, or visible from adjacent properties, shall be designed and constructed so that at least 50 percent of the wall and associated structures visible from either river and/or the adjacent properties are obscured by vegetation.

Retaining walls and seawalls shall be sited and constructed to minimize the impact on native shoreline vegetation.

All walls within 20 feet of the mean high water mark, but not abutting the water's edge, shall be obscured as above, using native shoreline vegetation.

(Ord. No. 376, § 2, 9-25-2012)

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

NOTES

- SITE LAYOUT PROVIDED BY CLIENT VIA SURVEY FROM STEPHEN BROWN, INC.
- BOTH RETAINING WALLS ARE 35'+ UPLAND OF MHW
- WALL 1 IS EXISTING AND ONLY PROPOSED TO HAVE MR-1 MANTA RAY ANCHORS ADDED FOR SUPPORT
- WALL 2 IS PROPOSED WOOD, 80 LF WITH A 5 FT RETURN ON EAST AND 10 FT RETURN ON WEST, SO 95 LF TOTAL
- WALL 3 IS PROPOSED WOOD, 59 LF WITH A 10 FT RETURN ON WEST, SO 69 LF TOTAL
- WALL 4 IS PROPOSED WOOD, 53 LF WITH A 10 FT RETURN ON WEST, SO 69 LF TOTAL
- SEE SHEET 2 FOR ZOOM IN OF PROJECT AREA
- SEE SHEET 3 FOR DETAILED PLAN VIEW OF WALLS

EAST HIGH POINT ROAD

ADJACENT SINGLE FAMILY RESIDENCE

JULIE CRISPIN
30 E HIGH POINT RD
STUART, FL 34996
PARCEL ID: 13-38-41-003-000-01011-9

ADJACENT SINGLE FAMILY RESIDENCE

PROPOSED 95 LF WOOD WALL (WALL #2)

PROPOSED 69 LF WOOD WALL (WALL #3)

PROPOSED 63 LF WOOD WALL (WALL #4)

EXISTING 23 LF WOOD WALL (WALL #1) (TO REMAIN)

EXISTING DOCK (TO REMAIN)

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY
ST. LUCIE RIVER
NEAR INLET

PROPOSED MANTA RAY ANCHORS TO EXISTING WALL - WALL #1
PROPOSED UPLAND WOOD RETAINING WALL - WALL #2
PLAN VIEW
SCALE 1" = 60'

12/11/14
[Signature]
CHRISTOPHER R. CROUSHORE, PE
FLORIDA PE # 74580

Croushore Marine Engineering Inc.

100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461
PH (561) 951-6036
FBPE CERT OF AUTH: 30254

SCALE: 1" = 60'
DATE: 10.17.14
REVISED: 12.10.14
DRAWN BY: CRC

JULIE CRISPIN
SEWALLS POINT, FL
PROPOSED UPLAND RETAINING WALLS
PLAN VIEW

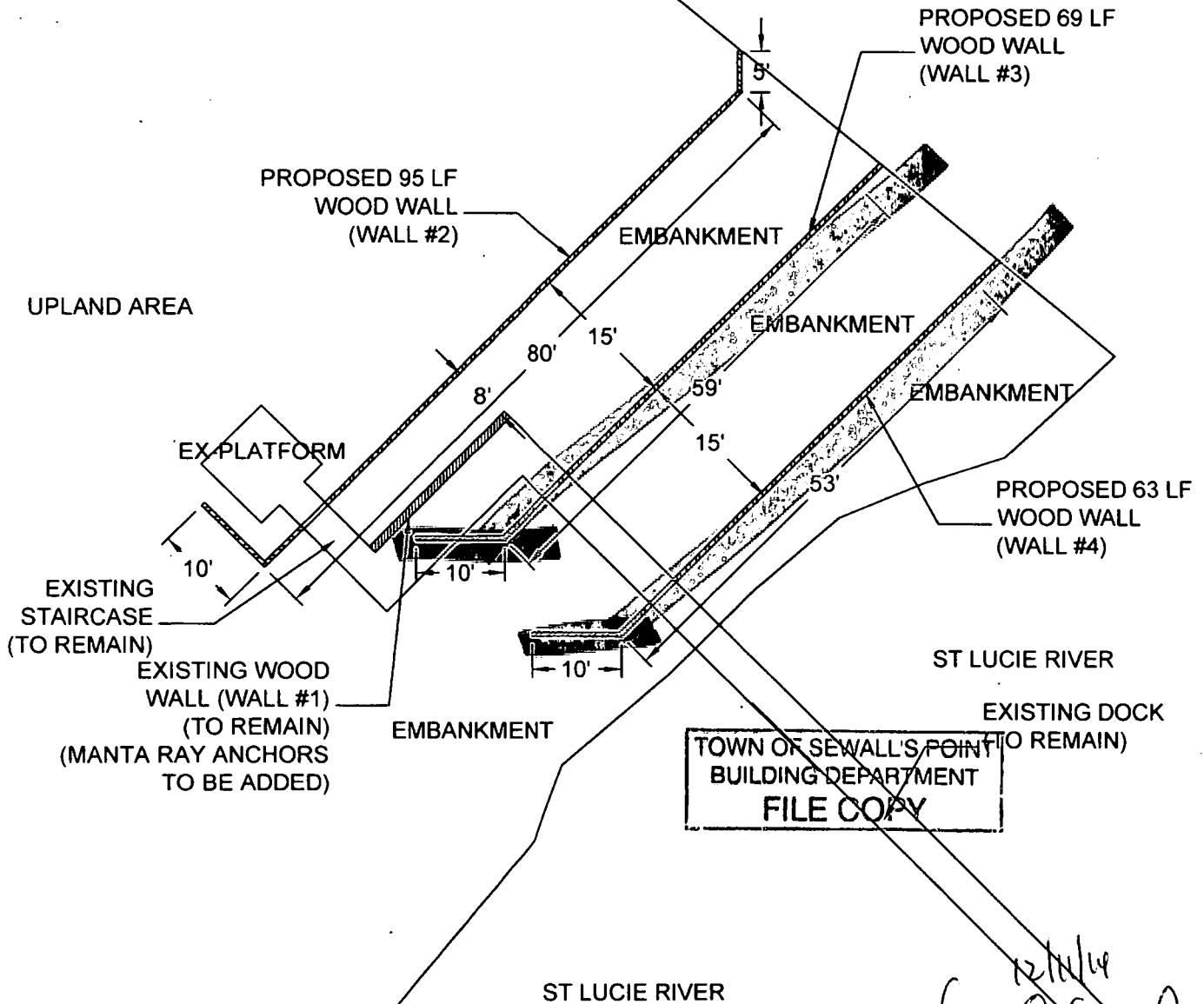
P-1

NOTES

- NO PORTION OF ANY UPLAND WOOD RETAINING WALL TO EXTEND PAST THE PROPERTY LIMITS



ADJACENT SINGLE FAMILY RESIDENCE



12/11/14

 CHRISTOPHER R. CROUSHORE, PE
 FLORIDA PE # 74580

Croushore Marine Engineering Inc.
 100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461
 PH (561) 951-6036
 FBPE CERT OF AUTH: 30254

SCALE: 1" = 60'
 DATE: 12.10.14
 DRAWN BY: CRC

JULIE CRISPIN
 SEWALLS POINT, FL
 PROPOSED UPLAND RETAINING WALLS
 ZOOMED PLAN VIEW

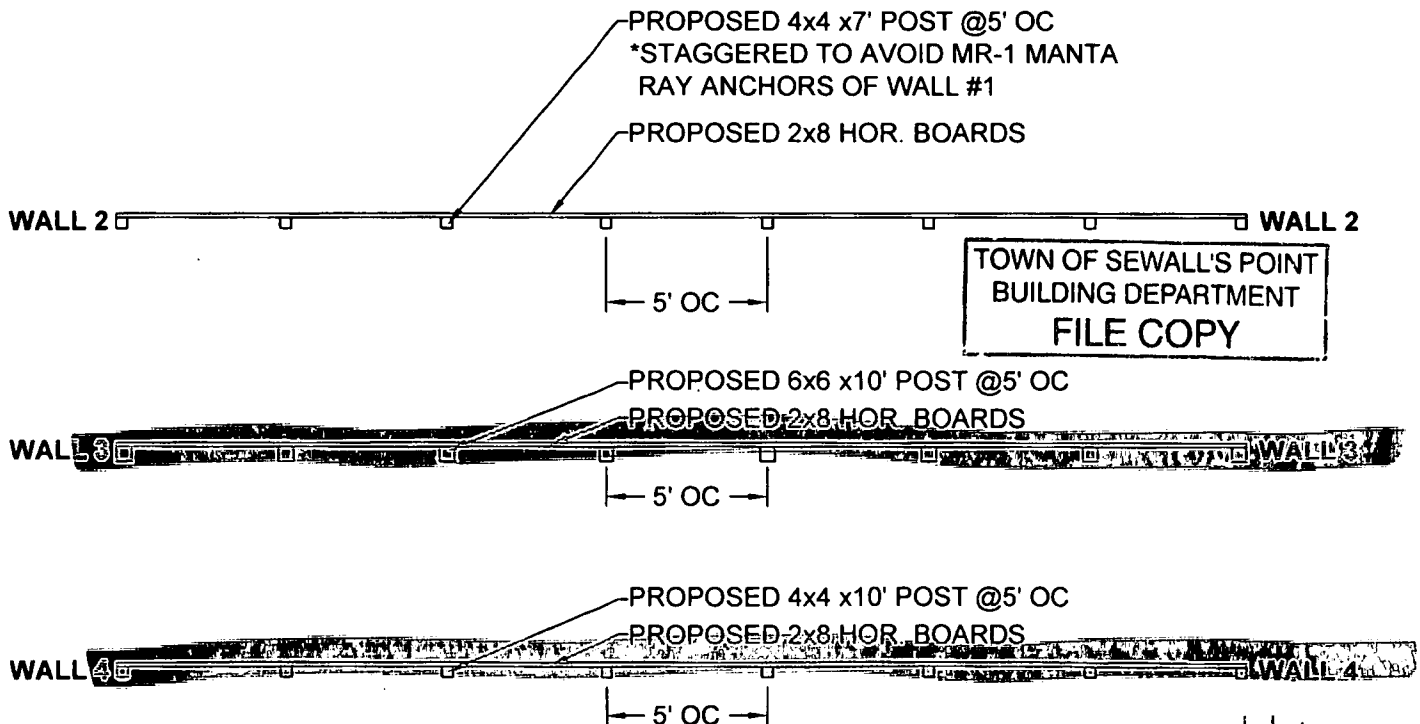
P-2
 SHEET 2 OF 5

*****NOTES*****

- EXPOSURE HEIGHT INFORMATION PROVIDED BY CLIENT.
- WALL #2 DETAILS NOT SHOWN FOR CLARITY. SEE SECTION 2 BELOW.
- MR-1 MANTA RAY ANCHOR ROD TO BE 36 KSI (MIN) PER ASTM A-36.
- ALL HARDWARE TO BE HDG UNLESS OTHERWISE NOTED.
- MR-1 MANTA RAY ANCHORS PRODUCED BY FORESIGHT PRODUCTS



SECTION 1
PROPOSED MANTA RAY ANCHORS
TO EXISTING WALL - WALL #1
DETAILED PLAN VIEW
SCALE 1" = 6'



SECTION 2
PROPOSED RETAINING WALL - WALLS #2#3/4
DETAILED PLAN VIEW
SCALE 1" = 6'

Christopher R. Croushore
 CHRISTOPHER R. CROUSHORE, PE
 FLORIDA PE # 74580

Croushore Marine Engineering Inc.

100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461
 PH (561) 951-6036
 FBPE CERT OF AUTH: 30254

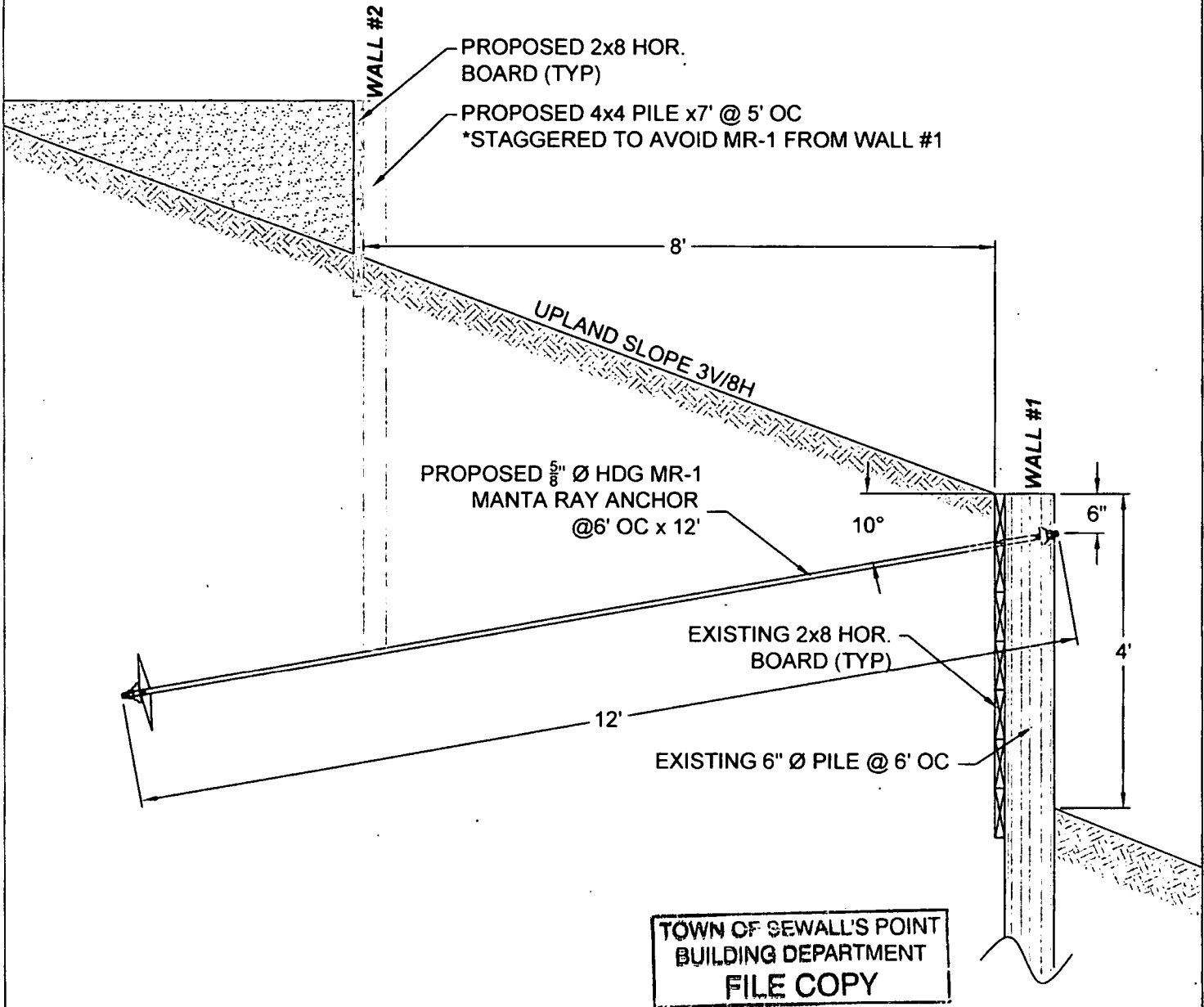
SCALE: 1" = 6'
DATE: 10.17.14
REVISED: 12.10.14
DRAWN BY: CRC

JULIE CRISPIN
SEWALLS POINT, FL
 PROPOSED UPLAND RETAINING WALLS
 DETAILED PLAN VIEW

P-3

NOTES

- EXPOSURE HEIGHT INFORMATION PROVIDED BY CLIENT.
- MR-1 MANTA RAY ANCHOR ROD TO BE 36 KSI (MIN) PER ASTM A-36.
- ALL HARDWARE TO BE HDG UNLESS OTHERWISE NOTED.
- MR-1 MANTA RAY ANCHORS PRODUCED BY FORESIGHT PRODUCTS
- APPROXIMATELY 16 CY OF FILL NEEDED BEHIND WALL #2
- PIN FILTER FABRIC BEHIND WALL #2 TO BACK OF 2x8 HOR. BOARDS
- 2x8 BOARDS CONNECTED TO 4x4 PILES WITH #10 DECK SCREWS
- 2 PER BOARD PER PILE



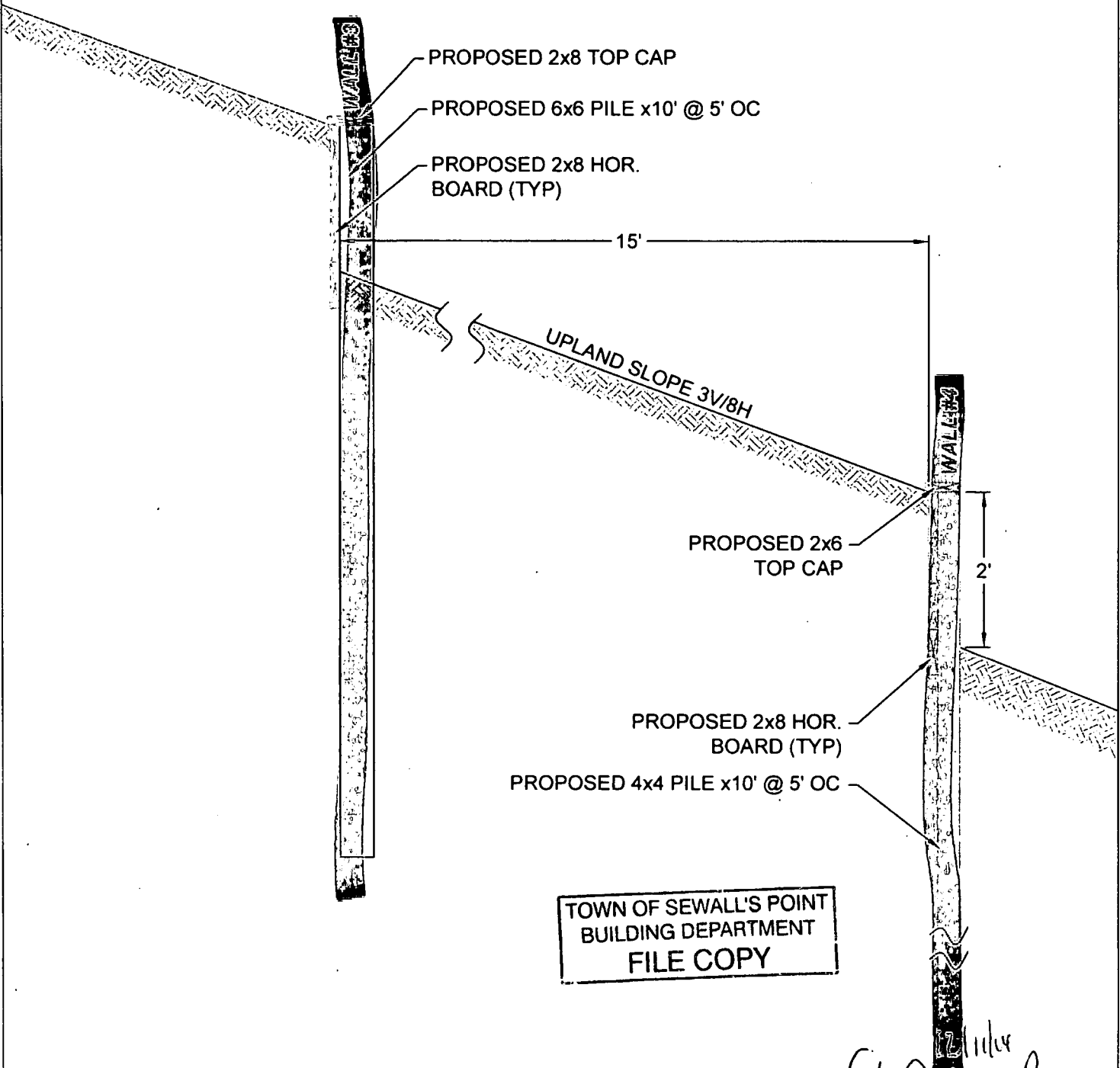
EXISTING RETAINING WALL - WALL #1
 PROPOSED MANTA RAY ANCHORS
 PROPOSED RETAINING WALL - WALL #2
 CROSS-SECTION VIEW
 SCALE 1" = 2'

Christopher R. Croushore
 CHRISTOPHER R. CROUSHORE, PE
 FLORIDA PE # 74580

Croushore Marine Engineering Inc. 100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461 PH (561) 951-6036 FBPE CERT OF AUTH: 30254	SCALE: 1" = 2'	JULIE CRISPIN SEWALLS POINT, FL PROPOSED UPLAND RETAINING WALL TYPICAL CROSS-SECTION VIEW - WALLS 1 & 2	CS-1 SHEET 4 OF 5
	DATE: 10.17.14		
	REVISED: 12.10.14		
	DRAWN BY: CRC		

NOTES

- EXPOSURE HEIGHT INFORMATION PROVIDED BY CLIENT.
- ALL HARDWARE TO BE HDG UNLESS OTHERWISE NOTED.
- PIN FILTER FABRIC BEHIND WALL TO BACK OF 2x8 HOR. BOARDS
- 2x8 BOARDS CONNECTED TO 6x6/4x4 PILES WITH #10 DECK SCREWS
- 2 PER BOARD PER PILE
- 2x TOP CAPS CONNECTED TO 2x8 TOP BOARD AND PILES WITH #10 DECK SCREWS @ 6" OC



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Christopher R. Croushore
CHRISTOPHER R. CROUSHORE, PE
FLORIDA PE # 74580

PROPOSED RETAINING WALLS - WALLS #3, #4
CROSS-SECTION VIEW
SCALE 1" = 2'

Croushore Marine Engineering Inc.
100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461
PH (561) 951-6036
FBPE CERT OF AUTH: 30254

SCALE: 1" = 2'
DATE: 12.10.14
DRAWN BY: CRC

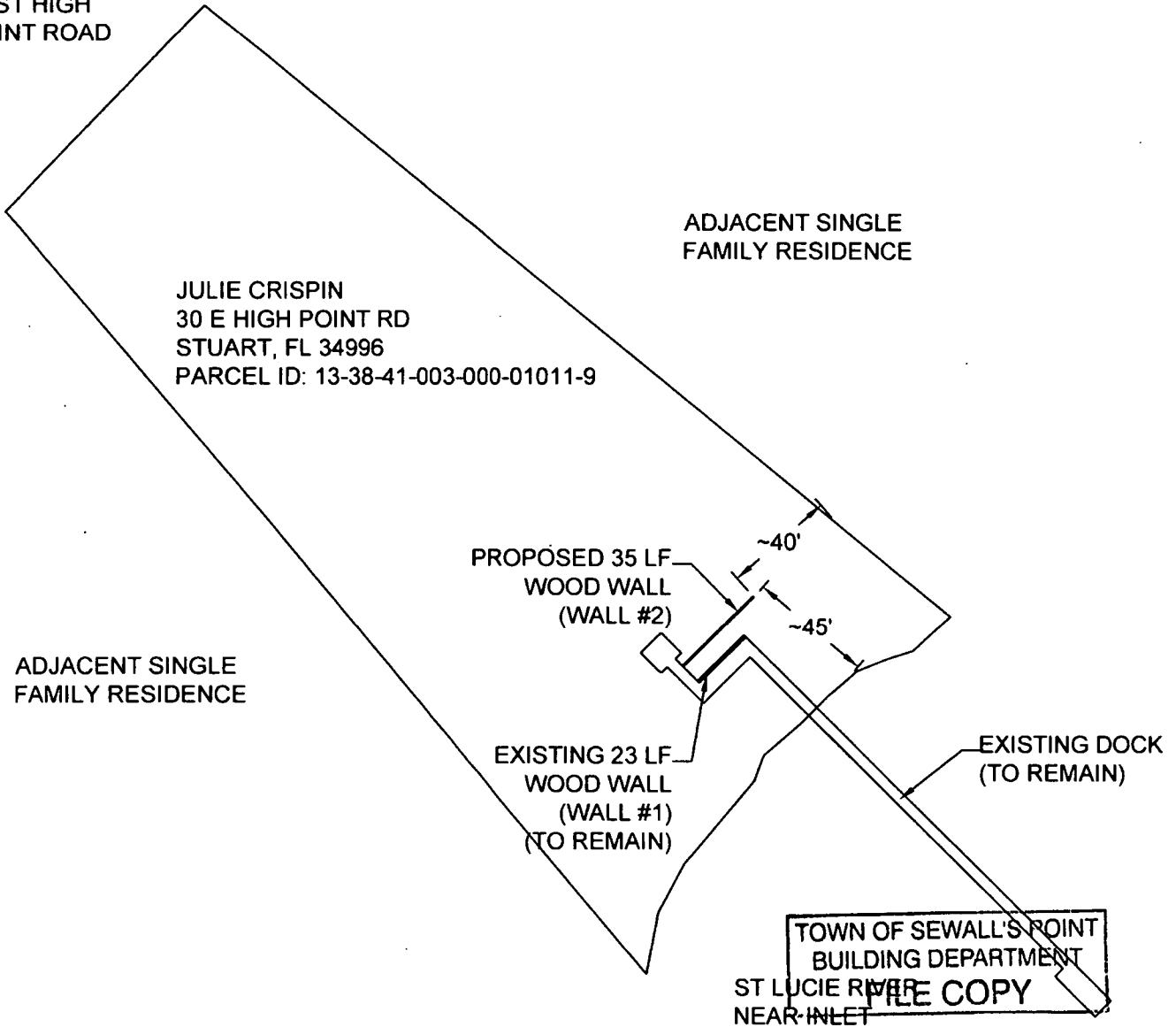
JULIE CRISPIN
SEWALLS POINT, FL
PROPOSED UPLAND RETAINING WALL
TYPICAL CROSS-SECTION VIEW - WALLS 3 & 4

CS-2
SHEET 5 OF 5

NOTES

- SITE LAYOUT PROVIDED BY CLIENT VIA SURVEY FROM STEPHEN BROWN, INC.
- BOTH RETAINING WALLS ARE 35'+ UPLAND OF MHW
- WALL 1 IS EXISTING AND ONLY PROPOSED TO HAVE MR-1 MANTA RAY ANCHORS ADDED FOR SUPPORT
- WALL 2 IS PROPOSED WOOD
- SEE SHEET 2 FOR DETAILED PLAN VIEW OF THE WALLS

EAST HIGH POINT ROAD



PROPOSED MANTA RAY ANCHORS
TO EXISTING WALL - WALL #1
PROPOSED UPLAND WOOD
RETAINING WALL - WALL #2
 PLAN VIEW
 SCALE 1" = 60'

10/20/14
Christopher R. Croushore
 CHRISTOPHER R. CROUSHORE, PE
 FLORIDA PE # 74580

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 ST LUCIE RIVER
 NEAR INLET
 FILE COPY

Croushore Marine Engineering Inc.

100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461
 PH (561) 951-6036
 FBPE CERT OF AUTH: 30254

SCALE: 1" = 60'
DATE: 10.17.14
DRAWN BY: CRC

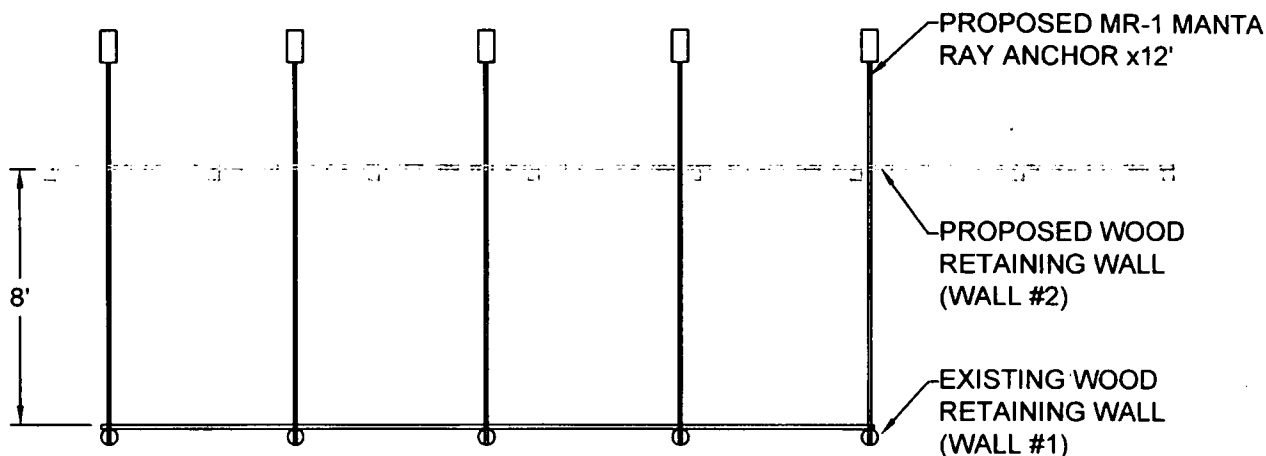
JULIE CRISPIN
 SEWALLS POINT, FL
 PROPOSED UPLAND RETAINING WALLS
 PLAN VIEW

P-1

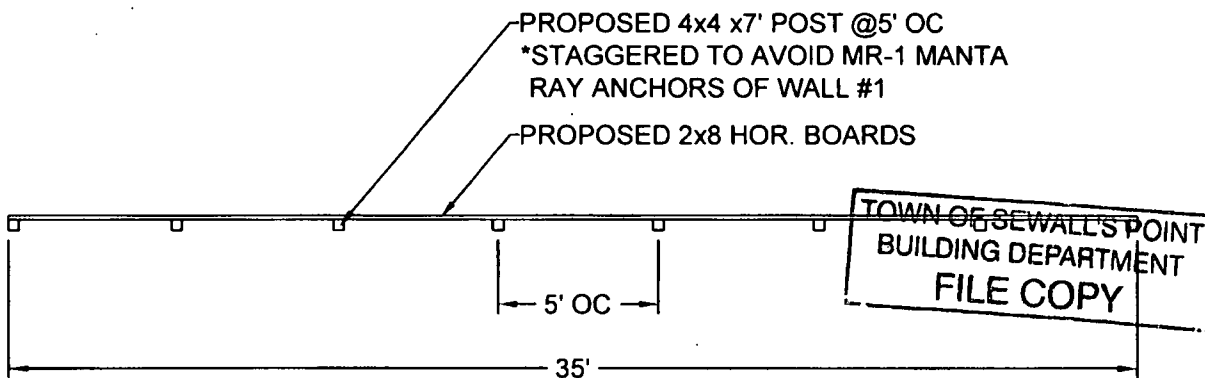
SHEET 1 OF 5

*****NOTES*****

- EXPOSURE HEIGHT INFORMATION PROVIDED BY CLIENT.
- WALL #2 DETAILS NOT SHOWN FOR CLARITY. SEE SECTION 2 BELOW.
- MR-1 MANTA RAY ANCHOR ROD TO BE 36 KSI (MIN) PER ASTM A-36.
- ALL HARDWARE TO BE HDG UNLESS OTHERWISE NOTED.
- MR-1 MANTA RAY ANCHORS PRODUCED BY FORESIGHT PRODUCTS



SECTION 1
PROPOSED MANTA RAY ANCHORS
TO EXISTING WALL - WALL #1
DETAILED PLAN VIEW
SCALE 1" = 6'



SECTION 2
PROPOSED RETAINING WALL - WALL #2
DETAILED PLAN VIEW
SCALE 1" = 6'

Christopher R. Croushore
CHRISTOPHER R. CROUSHORE, PE
 FLORIDA PE # 74580

Croushore Marine Engineering Inc.

100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461
 PH (561) 951-6036
 FBPE CERT OF AUTH: 30254

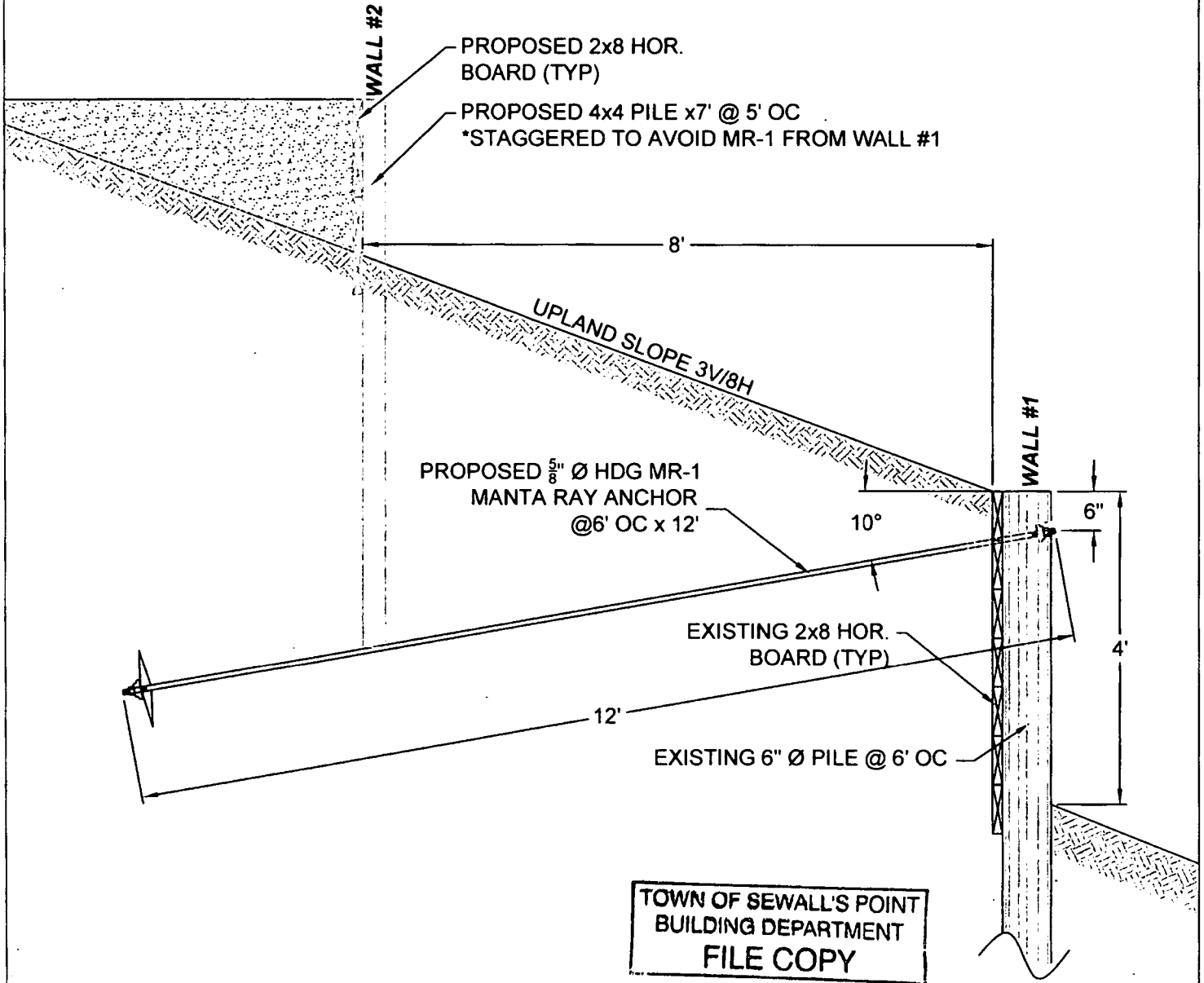
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DATE: 10.17.14
DRAWN BY: CRC

JULIE CRISPIN
SEWALLS POINT, FL
 PROPOSED UPLAND RETAINING WALLS
 DETAILED PLAN VIEW

P-2

NOTES

- EXPOSURE HEIGHT INFORMATION PROVIDED BY CLIENT.
- MR-1 MANTA RAY ANCHOR ROD TO BE 36 KSI (MIN) PER ASTM A-36.
- ALL HARDWARE TO BE HDG UNLESS OTHERWISE NOTED.
- MR-1 MANTA RAY ANCHORS PRODUCED BY FORESIGHT PRODUCTS
- APPROXIMATELY 12 CY OF FILL NEEDED BEHIND WALL #2
- PIN FILTER FABRIC BEHIND WALL #2 TO BACK OF 2x8 HOR. BOARDS
- 2x8 BOARDS CONNECTED TO 4x4 PILES WITH #10 DECK SCREWS
- 2 PER BOARD PER PILE



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

EXISTING RETAINING WALL - WALL #1
PROPOSED MANTA RAY ANCHORS
PROPOSED RETAINING WALL - WALL #2
CROSS-SECTION VIEW
SCALE 1" = 2'

10/20/14
[Signature]
CHRISTOPHER R. CROUSHORE, PE
FLORIDA PE # 74580

Croushore Marine Engineering Inc.
100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461
PH (561) 951-6036
FBPE CERT OF AUTH: 30254

SCALE: 1" = 2'
DATE: 10.17.14
DRAWN BY: CRC

JULIE CRISPIN
SEWALLS POINT, FL
PROPOSED UPLAND RETAINING WALL
TYPICAL CROSS-SECTION VIEW - WALLS 1 & 2

CS-1
SHEET 3 OF 3

TOWN OF SEWALL'S POINT

Building Department – Inspection Log

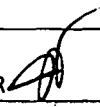
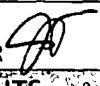

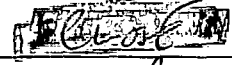
Date of Inspection Mon Tue Wed Thur Fri 3/25/15 Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11067	Crispin	Final		No history of prior inspections.
	30 E High Point Road	Seawall Repair	Fail	
	Custom Built Marine			INSPECTOR S. Bruhn
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11007	Preissman	Final Remodel		Needs to be inspected by John
	30 Simara Street	+ Window/Door	Fail	
	Winchip Construction			INSPECTOR S. Bruhn
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10885	Weder	Window	In Progress	
	21 Palm Road		Pass	
	Oliveri Bros. Constr.			INSPECTOR S. Bruhn
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection Mon Tue Wed Thur Fri 5/1/15 Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11045	Staflestad	Final		
	111 N Sewalls Pt Rd	Dock Roof +	PASS	
	TCBI	Electric		INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11189	Morris			
	64 S Sewalls Pt Rd	Subsiding	PASS	
	GM Construction			INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11067	Crispin	Final Repair		
	30 E High Point Rd	Seawall / New		
	Custom Built Marine	Retaining Wall		
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TREE

REPLACE/ REMOVE/ RELOCATE

TOWN OF SEWALL'S POINT, FLORIDA

Date 2-11 19 99 TREE REMOVAL PERMIT No 226

APPLIED FOR BY Florida's Finest (Contractor or Owner)

Owner Charles Conspir

Sub-division High point, Lot _____, Block _____

Kind of Trees Palms + Citrus

No. Of Trees: REMOVE 15 Citrus / 3 Palms

No. Of Trees: RELOCATE 0 WITHIN 30 DAYS (NO FEE) Check # 5146

No. Of Trees: REPLACE 3 WITHIN 30 DAYS

REMARKS Submit hand-drawn plan 30 Days

Signed, Jack McC Applicant FEE \$ 100.00
Signed, Robert A. Bott Town Clerk

TOWN OF SEWALL'S POINT

WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Empty table with 10 rows and 1 column.

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # 226

Date Issued 2-11-97

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner CHARLES CRISPIN Address 30 E HIGHPOINT Phone -

Contractor FLORIDA'S FINEST Address P.O. Box 555 Phone 288-1715

Number of trees to be removed(list kinds of trees) 15 CITRUS TREES

Number of trees to be relocated within 30 days(no fee)(list kinds of trees):
3 PALM TREES

Number of trees to be replaced (list kinds of trees):
3-12" 3"-6" 8-10 high citrus

Number of trees to be replaced (list kinds of trees):
36" of Palms

Permit Fee \$ _____ (\$25.00 - first tree plus \$10.00 - each additional tree - not to exceed \$100.00.)

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved, as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 2-11-99

Approved by Building Inspector _____ Date _____

Approved by Building Commissioner _____ Date _____

Completed 2-11-99 Date [Signature] Checked by Bob Bott

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

TOWN OF SEWALL'S POINT, FLORIDA

Date 11-01-02 19 TREE REMOVAL PERMIT No 1228

APPLIED FOR BY A-VISION TREE SVC (Contractor or Owner)

Owner 30 E High Point - 561-545-3647

Sub-division _____, Lot _____, Block _____

Kind of Trees 1 Yucca - 1 Scheff, 1 Fig

No. Of Trees: REMOVE 3

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simons (LW) Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued: _____

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner CRISPIN Address 30 E HIGHPOINT Phone _____

Contractor A-VISION Address 903 OSCEOLA DR FT PIERCE FL 34982 Phone 561-595-3647

Number of trees to be removed (list kinds of trees) 3 REMOVALS
1 YUKA, 1 SCHEFFER, 1 FIG

Number of trees to be relocated within 30 days (no fee) (list kinds of trees): _____

Number of trees to be replaced: _____ (list kinds of trees): _____

Permit Fee \$ _____

\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant _____ Plans approved as marked _____

Approved by Building Inspector _____ Date submitted: _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

See attached Tree Species List

TREE
VIOLATION

TOWN OF SEWALL'S POINT

THOMS P. BAUSCH
Mayor

MARCH S. TEPLITZ
Vice Mayor

E. DANIEL MORRIS
Commissioner

JAMES D. BERCAW
Commissioner

RICHARD L. BARON
Commissioner



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

Dan Winsenburg
A-Vision Tree Service
903 Ocoola Drive
Fort Pierce, Fl 34982

October 28, 2002

Dear Mr. Winsenburg,

On the afternoon of October 25, 2002 the Chief of Police and myself observed that you had cut down two trees (one shefflera and one yucca) without a permit at 30 East High Point Road.

Under the Town of Sewall's Point Ordinance Section Number 70-1, the definition of Effectively Remove means to "trim or prune to the extent that a plant's natural function is severely altered." I have determined that the "trimming" you have done falls under this definition and thereby under Ordinance Number 70-51 you were required to obtain a permit to remove those trees.

Under the Town of Sewall's Point Ordinance Number 70-154 the fines for not obtaining and cutting the two (2) trees are as follows:

- | | | | |
|----|-----|-------------|------------|
| 1. | 7" | (back yard) | \$1,500.00 |
| 2. | 12" | (back yard) | 3,000.00 |

TOTAL FINE \$4,500.00

You have presented me with documentation that indicates that the trees you did cut were located in an area that potentially would cause structural damage to the existing house. It is therefore determined that the minimum fine of \$500.00 for not pulling a permit will be accepted in lieu of the above mentioned fines.

We would expect you to remove any stumps of the trees you cut that are not going to produce foliage. This can be done under a tree removal permit.

If I can be of any further assistance please feel free to contact me at 287-2455.

Respectfully,

Gene Simmons
Building Official

Cc: Town Manager
Chief of Police



One Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

Travis A. Hamilton

P.O. Box 74 ~ Jensen Beach, FL 34958
Phone 979-2127

October 28, 2002

To whom it may concern,

I'm writing at the request of a colleague in-reguard to the property of 30 High Point, Sewalls Point. I have been asked for a brief note of professional opinion. I am a licensed first class landscape arborist, and have been briefed of the situation and made my own inspection of the trees in question.

Two tree clusters are the topic. Upon inspection I found that they had been cut back, not totally removed. Several feet of the trunk of each is still standing. The tendency of these particular trees will enable them to more than likely grow back, and the space now provided will allow a growing area that will not obstruct any thing. However, due to previous improper pruning techniques, the trees had very misshapen growth. This meant that they had very dense foliage in one large area at the top of the tree, and not all up and down the trunk. So, as a result, no foliage was growing on the lower parts of the trunk.

Furthermore, the placement of the tree clusters was very inappropriate. Planting large growing plants such as cluster palms and trees under such an eve of the roof as in this situation only leads to structural damage to the tree as well as the house. This is all to common of a mistake made by under educated landscape engineers and planers. Small growing plants in this situation would be a much more suitable choice.

The trees in question, upon inspection proved to be quite old in growth. I was able to determine this by the girth of the trunk that is still standing being roughly 6" across, indicating 8 to 11 years of growth. After talking with the tree care technician, I found that the trees had been repeatedly cut back at or around the eve height, only allowing the tree to grow out more and more foliage at a lower height and much more densely. A large patch of leafy matter was in direct contact with a large portion of the roof extending 4 to 5 feet up from the edge in a large semicircle. All along the eve and underside of the roof as well. Large wasp nest were found along with large nests of carpenter ants, which can be devastating to the wooden structure of houses. Further more, the fact that any branch was in contact with the roof allowed for direct access for a large population of pest including ants, snakes, rats, squirrels, ect. Also, the trunk of the trees having grown up under the eve had grown in direct contatact with the edge of the roof. Had further growth been allowed to take place, damage to the edge of the roof as well as the trees themselves was immanent. Proper pruning in the past had not taken place, allowing for such undesirable conditions.

In conclusion, I determine the actions that were taken to be the correct ones. The trees were not removed completely, only 65 % of the height was removed, even though all the foliage was at the top. I believe this was necessary to avoid structural damage to the house by infestation, or growth damage to the building. I might recommend further actions such as total removal to keep from having repeat occurrences and the planting of a smaller species of shrub. As for the remaining portions of trunk, I do believe that further growth will occur given the established age of the trees and their sheltered location.

Sincerely,



Travis Hamilton



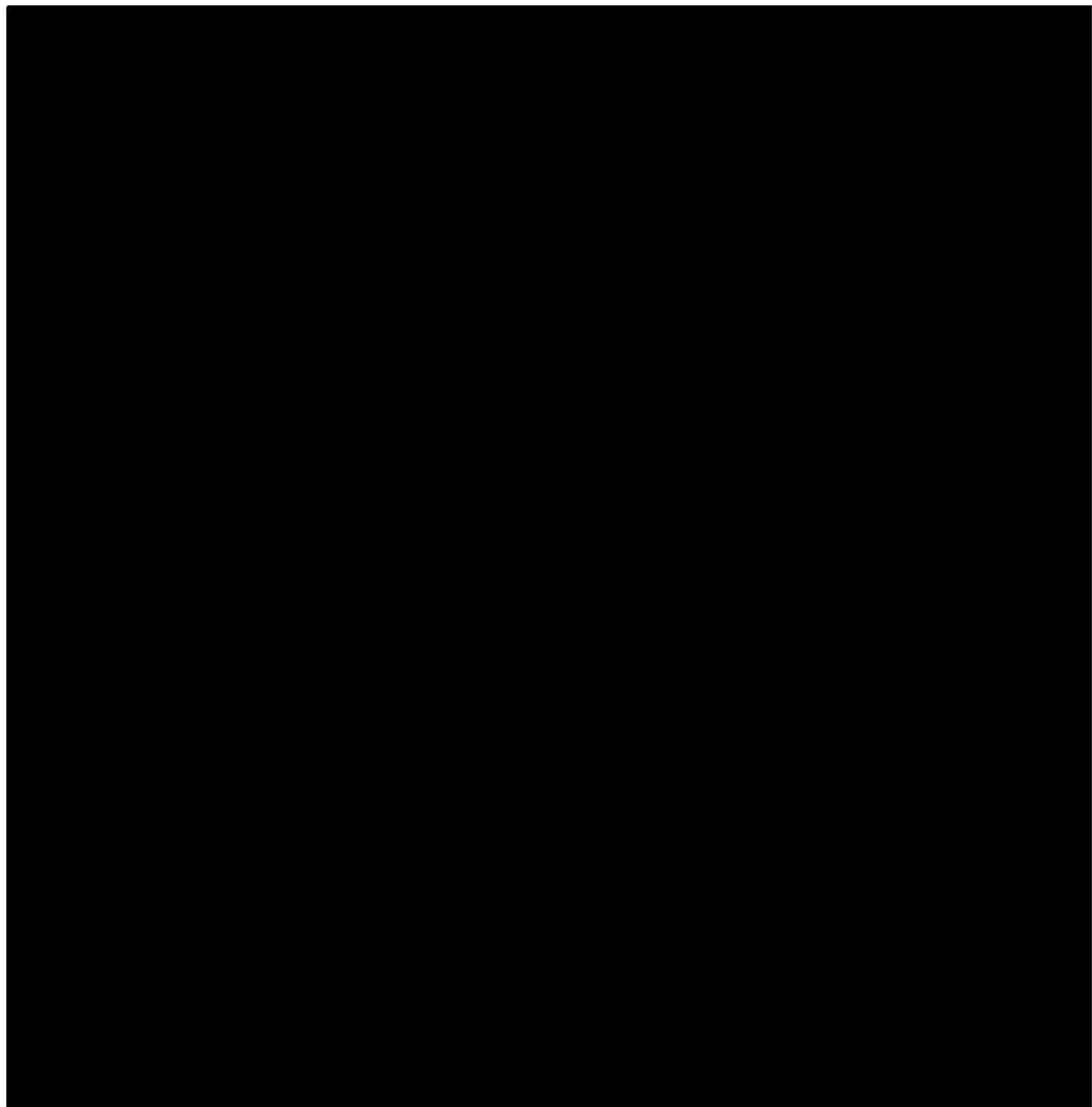
STATE OF MAINE
Department of Agriculture
DIVISION OF PLANT INDUSTRY

License #: FCL2158

TRAVIS HAMILTON

First Class Landscape Arborist

ISSUED 7/15/02 - EXPIRES 12/31/02



Town of Sewall's Point

CIVIL VIOLATION CITATION

In the name of the Town of Sewall's Point:
The undersigned certifies that he/she has just and reasonable grounds to believe, and does believe that:

On the 25 day of OCT, '02 1:11 a.m. X p.m.

HENKEL JIMMY E
 (last name) (first) (m.i.)
884 SE SOLAZ AVE PSL
 (address)
879-2814 M 021567
 (phone) (sex) (d.o.b.)

In the Town of Sewall's Point, violated the following Town Ordinance:
70-51

By virtue of the following (Summary of violation)
CUTTING DOWN 2 TREES LOCATED
AT 30 EHP w/o PERMIT
F34-KPA G02WYD

This is a written warning, no fine has been assessed

Violation Class	Number of Occurrences		
<input type="checkbox"/> Class "A" Violation	1st	2nd	3rd
<input type="checkbox"/> Class "B" Violation	1st	2nd	3rd

A violator who has been served with a civil violation citation shall within ten (10) days of receipt of the citation, either:

- (1) pay the civil penalty listed on the civil violation citation to the Town Clerk; or
- (2) file a written request with the Town Clerk for a Special Master's hearing, pursuant to Ordinance 290 .

Any violator who fails to comply with the above requirements shall forfeit his/her right to contest or appeal the civil violation citation

I acknowledge receipt of this citation.

Fine Amount \$ _____

[Signature]
 (signature of defendant)
P O'BRIEN
 (complainant/officer)

Jimmy E. Hengkel
884 SE Solaz Ave.
P.S.L., FL. 879-2814
30 E. High Point Road

