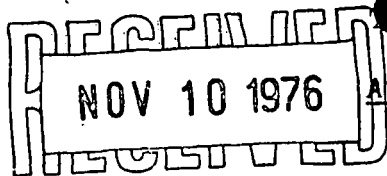


34 East High Point Rd

648

POOL



TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 648Date 11/18/76

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of property Deed required for new home construction.

Owner JAMES E. KNIGHT Present Address N. River Shores Ph 286-2277General Contractor Mosley & Son Const. Address P.O. Box 1736 Stv. Ph 287-6962Where licensed Martin Co License No. 30Plumbing Contractor Dave's License No. _____
Electrical Contractor Alpine License No. _____Street building will front on 34 E. High Point RoadSubdivision High Point Lot No. 104 Area 1 1/2 AdditionBuilding area, inside walls (excluding garage, carport, porches) Sq ft 3077
RESIDENCEOther Construction (Pools, additions, etc.) poolContract Price (excluding land, rugs, appliances, landscaping) \$ 114,000Total cost of permit \$ 590.00Plans approved as submitted _____ Plans approved as marked 590.00 ✓

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan, and that the site be clean and rough-graded within 12 month period.

V.P. Mosley & Son Const
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

James E. Knight
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 11/15/76 Joe RankinDate approved 11/15/76 Charles A. DwyerCertificate of Occupancy issued 5/26/77 Joe Rankin Date

#648

232157

Warranty Deed

STATUTORY FORM — SECTION 689.02 F.S.

This instrument was prepared by:

THOMAS H. THURLOW
of the Law Office of
THURLOW AND THURLOW
Six Executive Plaza
P. O. Box 105
STUART, FLORIDA 34994

This Indenture, Made this 29th day of August 1975 Between
KENNETH INGALLS MOE, sometimes known as KENNETH I. MOE, and JANE R. MOE,
his wife,

of the County of Broward, State of Florida, grantor, and
JAMES E. KNIGHT and CHRISTINA T. KNIGHT, his wife

whose post office address is 1617 S. E. 25th Avenue, Fort Lauderdale

of the County of Broward, State of Florida, grantee.

Witnesseth, That said grantor, for and in consideration of the sum of Ten (\$10.00)

Dollars,

and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 104 of ISLE ADDITION TO HIGH POINT, according to the Plat thereof on file and of record in the office of the Clerk of the Circuit Court in and for Martin County, Florida, in Plat Book 4, at page 47.

TOGETHER with these riparian and littoral rights which may in anywise appertain thereto as heretofore limited.

SUBJECT, HOWEVER, to taxes for the year 1975 and subsequent years; to the matters shown on the aforesaid Plat including but not limited to any building line shown thereon and to any easements, restrictions and other limitations of record.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written. Signed, sealed and delivered in our presence:

[Signature]
J. E. Knight

[Signature]
Kenneth Ingalls Moe (Seal)

[Signature]
Jane R. Moe (Seal)

STATE OF FLORIDA
COUNTY OF MARTIN

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared **KENNETH INGALLS MOE, sometimes known as KENNETH I. MOE, and JANE R. MOE, his wife**

to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that they executed the same.

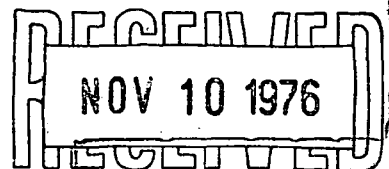
WITNESS my hand and official seal in the County and State last aforesaid this 11th day of July 1975.

My commission expires:

May 5, 1976

389 RE2397

[Signature]
Notary Public



032305
 STATE OF FLORIDA
 DOCUMENTARY STAMP TAX
 DEPT. OF REVENUE
 PD SEP-278
 195.00

020434
 FLORIDA
 DOCUMENTARY SUR TAX
 71.50

LOUISE V. ISAACS

1975 SEP -2 P. 12-21

STATE OF FLORIDA
 Martin County

I hereby certify that the foregoing
 is a true and correct copy of said _____
Marshall DEED as
 recorded in OK 389
Pg 2397 of the public records
 in this office.

Witness my hand and seal of
 office this 24 day of Sept 1976
 LOUISE V. ISAACS, Clerk
 By [Signature] D.C.

389 2397

PERMIT EXPIRES ONE YEAR FROM DATE OF ISSUANCE

HD76-635

MARTIN County

Instructions:
1. All data, soil profile, table elevation, must be attached.
2. Must be made at (location of system).
3. Existing and proposed must be shown.
4. All must be shown at their proposed location. (of this sheet or site plan).
5. Location of septic tank on plan.
6. All stream areas must be on plan.

- 5. Indicate name of subdivisor, attach maps.
- 6. Complete the following section.

Notes:
1. Not valid if altered.
2. Individual well from any part of the...
3. Call this office when ready to be...

Location:
1200 West House ... HIGH POINT
... HIGH POINT
... SOUTH ... REVALE
... HIGH POINT ROAD
JAMES E. KNIGHT - Mosley Const
1736 CH ... Stuart
... Jones

900
255

Mosley Const
JAMES E. KNIGHT
[Signature]

[Signature: Robert T. Jones]

Martin 11-9-76

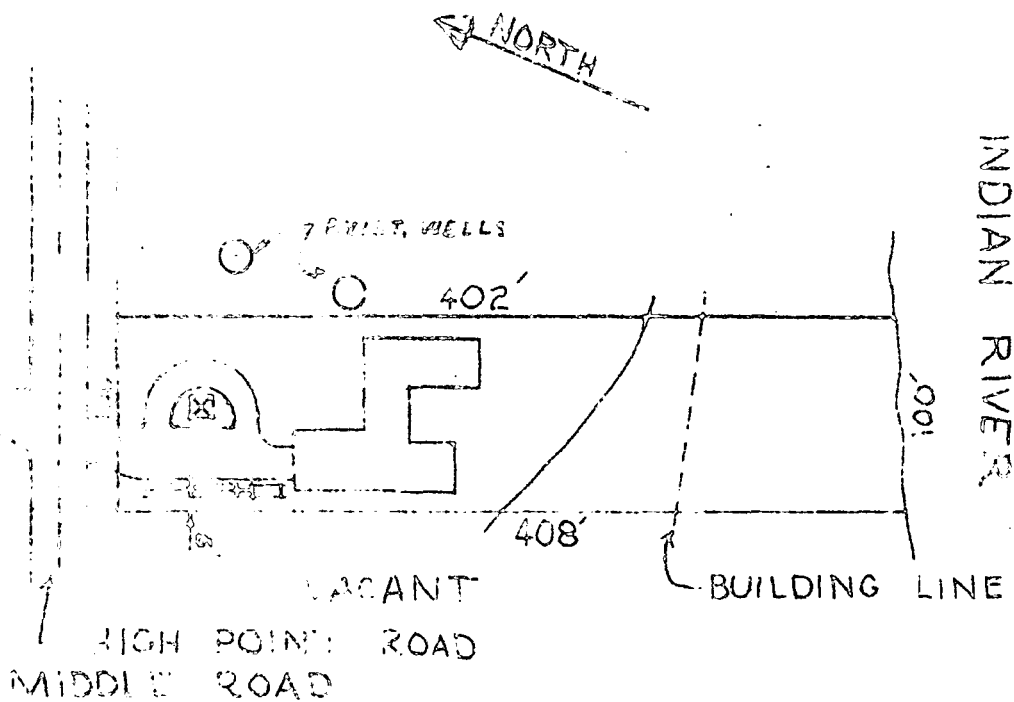
RECEIVED
NOV 10 1976
REGISTERED

**INDIVIDUAL SEWAGE DISPOSAL FACILITIES
DATA SHEET**

LOT 104, ISLE ADDITION Applicant: **JAMES E. KNIGHT**
HIGH POINT, SEWALS POINT County: **MARTIN**

Sanitary system is not located within 50 feet of the high water line of any body of water; nor within 75 feet of any private well; nor within 100 feet of any public water supply pipe; nor within 100 feet of any public sewer line.

NOTE: PUBLIC WATER SUPPLY BY SO. GULF



PLAN
 Scale 1" = 100'

LEGEND

- Proposed Sept. Tank
- Proposed Water Tank
- Existing Well
- ⊗ Soil Boring Location
- Test Location

LT. GREY SAND

WHITE SAND

Cabot Montgomery

CONCRETE BLOCK FENCE
MAX HT 6'

KITCHEN EXHAUST

ATTIC EXHAUST

UNDERGROUND
GAS TANK

9' high
chain link
fence

1050 GAL
SEPTIC TANK

14'-4"

73'-8"

12'-0"

2000
DRAIN-
FIELD

DRIVE

27'-0"

90'-0"

100'-0"

WATER METER

UNDERGROUND
ELECTRIC AND
TELEPHONE
SERVICE

FIREPLUG

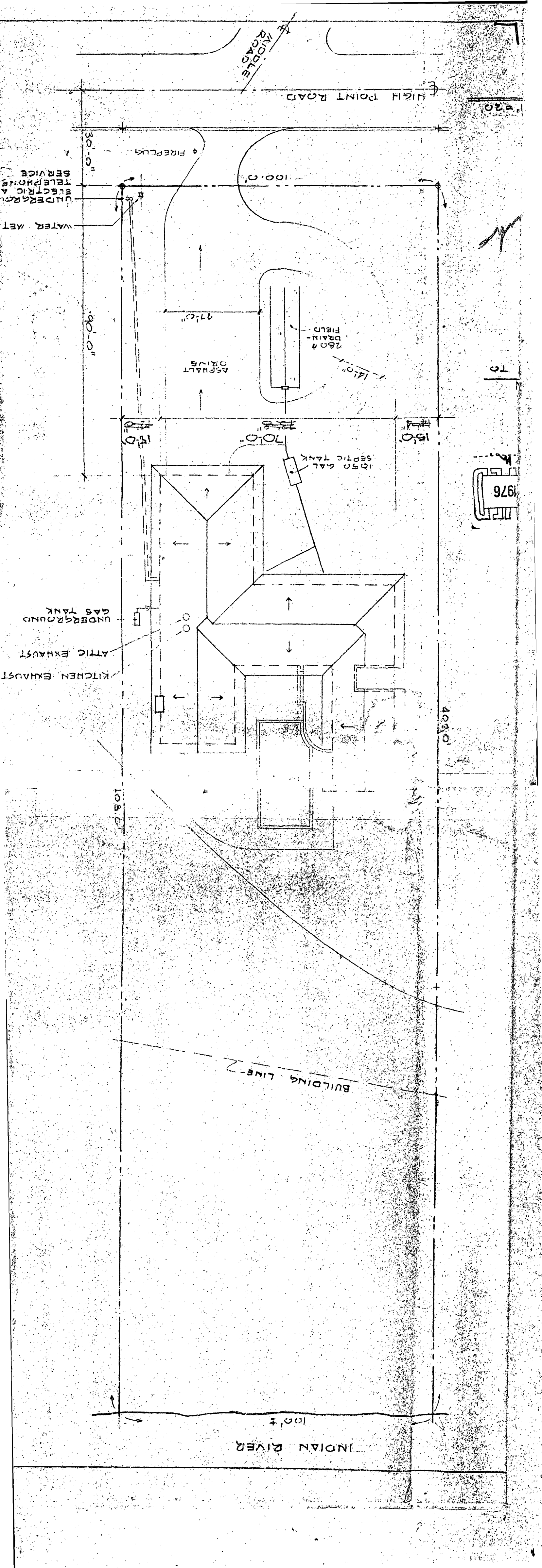
30'-0"

#648
KNIGHT

1976

TO

1976



TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 11/18/76

This is to request that a Certificate of Approval for
Occupancy be issued to JAMES E. KNIGHT

For property built under Permit No. 648 Dated 11/18/76

when completed in conformance with the Approved Plans.

A. M. Mosley - MOSLEY CONST.
Signed

RECORD OF INSPECTIONS

<u>Item</u>	<u>Date</u>	<u>Approved by</u>
Footings	12/8/76	Pool 12/22/76 Charles Duryea
Rough plumbing	12/30/76	"
Perimeter beam	2/2/77	"
Rough electric	3/11/77	"
Close in	3/11/77	"
Final plumbing	5/26/77	"
Final electric	5/26/77	"

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Charles A. Grogan 5/26/77
date
Approved by Town Commission Jim R. Smith 5/26/77
date

Utilities notified May 26, 1977 date

Original Copy sent to James E. Knight

(Keep carbon copy for Town files)

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 11/18/76

This is to request that a Certificate of Approval for Occupancy be issued to SLINGH ^{104 HIGH PT}

For property built under Permit No. 648 Dated _____
when completed in conformance with the Approved Plans.

Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Footings	12/8/76 G	P60 L 12/22/76
Rough plumbing	12/30/76 G	
Perimeter beam	2/2/77 G	
Rough electric	3/11/77 G	
Close in	3/11/77 ~	
Final plumbing	5/15/77 G	
Final electric		

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector _____ date

Approved by Town Commission _____ date

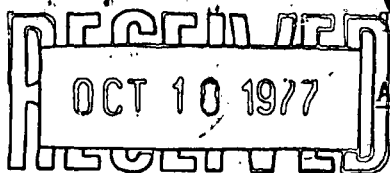
Utilities notified _____ date

Original Copy sent to _____

(Keep carbon copy for Town files)

750

DOCK



TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. #750Date 10/11/77

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of Deed required for new home construction.

Owner JAMES E. KNIGHT Present Address 34 E. HIGH POINT RD Ph 286-2028General Contractor Same Address _____ Ph _____

Where licensed _____ License No. _____

Plumbing Contractor _____ License No. _____

Electrical Contractor _____ License No. _____

Street building will front on _____

Subdivision High Point Addon No. 104 Area _____

Building area, inside walls (excluding garage, carport, porches) Sq ft _____

Other Construction (Pools, additions, etc.) DOCKContract Price (excluding land, rugs, appliances, landscaping) \$ 3000.00Total cost of permit \$ 3000.00 / 15.00Plans approved as submitted ☒ Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Signed by General Contractor _____

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Signed by Owner _____

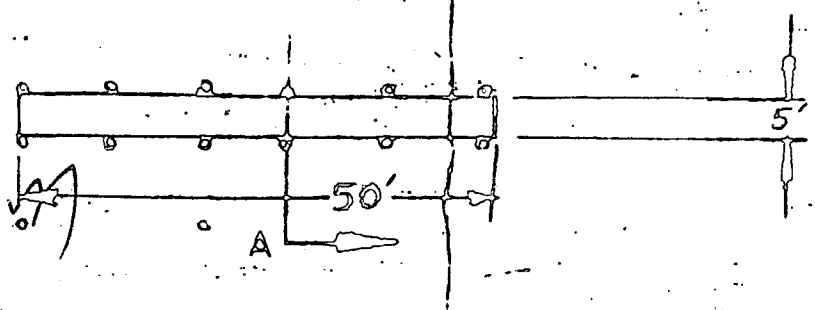
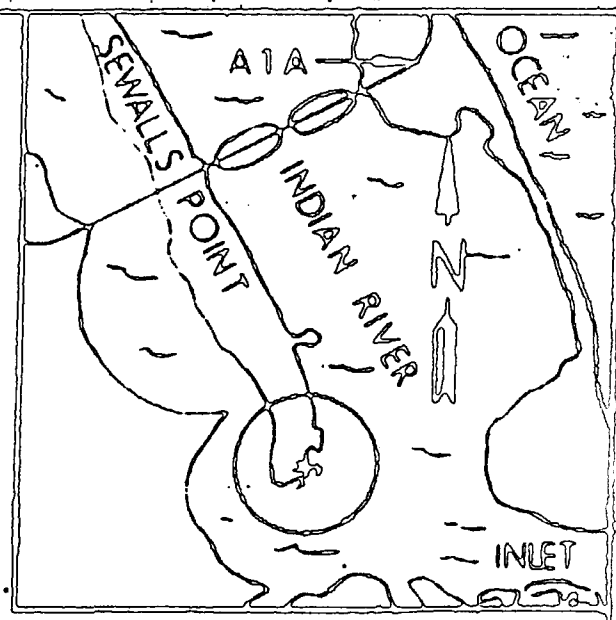
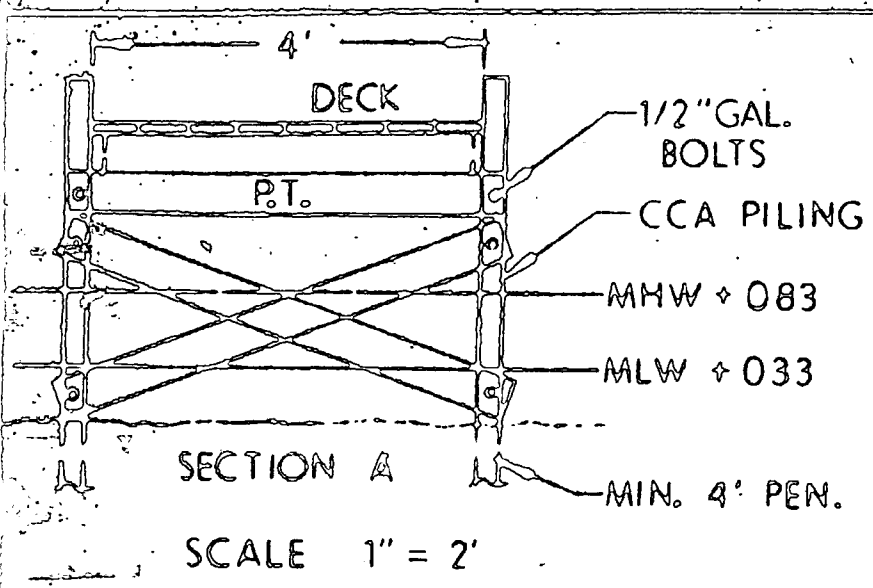
Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 10/11/77Date approved 10/11/77Certificate of Occupancy issued 2/1/78Date 10/11/77

#750

77T-0858



16/11

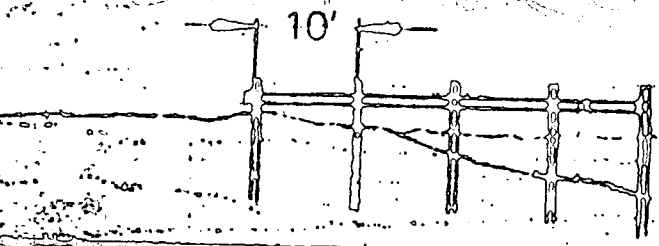
SCALE 1" = 20"
0 20

SMALL BOAT DOCK

PROPOSED FOR:

IN SEC. 13 TWP 38 RGE 41
AT INDIAN RIVER
COUNTY OF MARTIN
STATE OF FLORIDA

APPL. BY"





**DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS**

NOTICE OF AUTHORIZATION

10 AUGUST 19 77

A PERMIT TO CONSTRUCT A PIER AND BOAT LIFT

**AT TOWN OF SEAWALL'S POINT, SECTION 12; TOWNSHIP 38 SOUTH; RANGE 41 EAST,
MARTIN COUNTY, FLORIDA**

HAS BEEN ISSUED TO MR. JAMES E. KNIGHT

ON 10 AUGUST 19 77

**ADDRESS OF PERMITTEE 1380 N. W. LAKESIDE TRAIL
STUART, FL. 33494**

PERMIT NUMBER 77T-0858

Paul G. Green
DONALD A. WISDOM, COL., C.E.
District Engineer



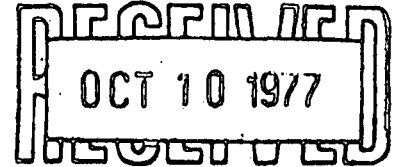
DEPARTMENT OF THE ARMY
JACKSONVILLE DISTRICT, CORPS OF ENGINEERS
P. O. BOX 4970
JACKSONVILLE, FLORIDA 32201

31409

SAJOD-RP -C
77T-0858

10 August 1977

Mr. James E. Knight
1380 N.W. Lakeside Trail
Stuart, Fl. 33494



Dear Mr. Knight:

This is in reference to your request for a Permit to perform work in or affecting navigable waters of the United States. Upon recommendation of the Chief of Engineers, pursuant to Section 10 of the River and Harbor Act of March 3, 1899 (33 U.S.C. 403); you are authorized

to Construct a pier and boat lift.

in St. Lucie and Indian River

at the Town of Sewall's Point, Section 12; Township 38 South; Range 41 East, Martin County, Florida

in accordance with plans and conditions attached which are incorporated in and made a part of the Permit.

Inclosed is a Notice of Authorization which should be displayed at the construction site. Work may begin immediately but you must notify the appropriate Area Engineer as representative of the District Engineer, of:

1. The date of commencement of work (mail attached card)
2. The dates of work suspensions and resumptions if work is suspended over a week, and
3. The date of final completion.

Area Engineer addresses and telephone numbers are shown on the attached map.

If the work authorized is not completed on or before 10 August 1980, this authorization, if not previously revoked or specifically extended, shall cease and be null and void.

BY AUTHORITY OF THE SECRETARY OF THE ARMY:

4 Incl

1. Notice of Authorization
2. Commencement Card
3. Plans and Conditions
4. Area Office Map

Carl G. Sien
DONALD A. WISDOM
Colonel, Corps of Engineers
District Engineer

#750

I. GENERAL CONDITIONS:

a. That all activities identified and authorized herein shall be consistent with the terms and conditions of this permit; and that any activities not specifically identified and authorized herein shall constitute a violation of the terms and conditions of this permit which may result in the modification, suspension or revocation of this permit, in whole or in part, as set forth more specifically in General Conditions j or k hereto, and in the institution of such legal proceedings as the United States Government may consider appropriate, whether or not this permit has been previously modified, suspended or revoked in whole or in part.

b. That all activities authorized herein shall, if they involve a discharge or deposit into navigable waters or ocean waters, be at all times consistent with applicable water quality standards, effluent limitations and standards of performance, prohibitions, and pretreatment standards established pursuant to Sections 301, 302, 306 and 307 of the Federal Water Pollution Control Act of 1972 (P.L. 92-500; 86 Stat. 816), or pursuant to applicable State and local law.

c. That when the activity authorized herein involves a discharge or deposit of dredged or fill material into navigable waters, the authorized activity shall, if applicable water quality standards are revised or modified during the term of this permit, be modified if necessary, to conform with such revised or modified water quality standards within 6 months of the effective date of any revision or modification of water quality standards, or as directed by an implementation plan contained in such revised or modified standards, or within such longer period of time as the District Engineer, in consultation with the Regional Administrator of the Environmental Protection Agency, may determine to be reasonable under the circumstances.

d. That the permittee agrees to make every reasonable effort to prosecute the construction or work authorized herein in a manner so as to minimize any adverse impact of the construction or work on fish, wildlife and natural environmental values.

e. That the permittee(s) agrees to prosecute the construction or work authorized herein in a manner so as to minimize any degradation of water quality.

f. That the permittee shall permit the District Engineer or his authorized representative(s) or designee(s) to make periodic inspections at any time deemed necessary in order to assure that the activity being performed under authority of this permit is in accordance with the terms and conditions prescribed herein.

g. That the permittee shall maintain the structure or work authorized herein in good condition and in accordance with the plans and drawings attached hereto.

h. That this permit does not convey any property rights, either in real estate or material, or any exclusive privileges; and that it does not authorize any injury to property or invasion of rights or any infringement of Federal, State, or local laws or regulations, nor does it obviate the requirement to obtain State or local assent required by law for the activity authorized herein.

i. That this permit does not authorize the interference with any existing or proposed Federal project and that the permittee shall not be entitled to compensation for damage or injury to the structures or work authorized herein which may be caused by or result from existing or future operations undertaken by the United States in the public interest.

j. That this permit may be summarily suspended, in whole or in part, upon a finding by the District Engineer that immediate suspension of the activity authorized herein would be in the general public interest. Such suspension shall be effective upon receipt by the permittee of a written notice thereof which shall indicate (1) the extent of the suspension, (2) the reasons for this action, and (3) any corrective or preventative measures to be taken by the permittee which are deemed necessary by the District Engineer to abate imminent hazards to the general public interest. The permittee shall take immediate action to comply with the provisions of this notice. Within ten days following receipt of this notice of suspension, the permittee may request a hearing in order to present information relevant to a decision as to whether his permit should be reinstated, modified or revoked. If a hearing is requested, it shall be conducted pursuant to procedures prescribed by the Chief of Engineers. After completion of the hearing, or within a reasonable time after issuance of the suspension notice to the permittee if no hearing is requested, the permit will either be reinstated, modified or revoked.

k. That this permit may be either modified, suspended or revoked in whole or in part if the Secretary of the Army or his authorized representative determines that there has been a violation of any of the terms or conditions of this permit or that such action would otherwise be in the public interest. Any such modification, suspension, or revocation shall become effective 30 days after receipt by the permittee of written notice of such action which shall specify the facts or conduct warranting same unless (1) within the 30-day period the permittee is able to satisfactorily demonstrate that (a) the alleged violation of the terms and the conditions of this permit did not, in fact, occur or (b) the alleged violation was accidental, and the permittee has been operating in compliance with the terms and conditions of the permit and is able to provide satisfactory assurances that future operations shall be in full compliance with the terms and conditions of this permit; or (2) within the aforesaid 30-day period, the permittee requests that a public hearing be held to present oral and written evidence concerning the proposed modification, suspension or revocation. The conduct of this hearing and the procedures for making a final decision either to modify, suspend or revoke this permit in whole or in part shall be pursuant to procedures prescribed by the Chief of Engineers.

l. That in issuing this permit the Government has relied on the information and data which the permittee has provided in connection with his permit application. If, subsequent to the issuance of this permit, such information and data prove to be false, incomplete or inaccurate, this permit may be modified, suspended or revoked, in whole or in part and/or the Government may, in addition, institute appropriate legal proceedings.

m. That any modification, suspension, or revocation of this permit shall not be the basis for any claim for damages against the United States.

n. That the permittee shall notify the District Engineer at what time the activity authorized herein will be commenced (as far in advance of the time of commencement as the District Engineer may specify), and of any suspension of work if for a period of more than one week, of resumption of work, and of completion of work.

o. That if the activity authorized herein is not completed on or before the date indicated on the permit to which these conditions are attached, that permit, if not previously revoked or extended shall automatically expire.

p. That no attempt shall be made by the permittee to prevent the full and free use by the public of all navigable waters at or adjacent to the activity authorized by this permit.

q. That if the display of lights and signals on any structure or work authorized herein is not otherwise provided for by law, such lights and signals as may be prescribed by the United States Coast Guard shall be installed and maintained by and at the expense of the permittee.

r. That this permit does not authorize or approve the construction of particular structures, the authorization or approval of which may require authorization by the Congress or other agencies of the Federal Government.

s. That if and when the permittee desires to abandon the activity authorized herein, unless such abandonment is part of a transfer procedure by which the permittee is transferring his interests herein to a third party pursuant to General Condition v hereof, he must restore the area to a condition satisfactory to the District Engineer.

t. That if the recording of this permit is possible under applicable State or local law, the permittee shall take such action as may be necessary to record this permit with the Registrar of Deeds or other appropriate official charged with the responsibility for maintaining records of title to and interests in real property.

u. That there shall be no unreasonable interference with navigation by the existence or use of the activity authorized herein.

v. That this permit may not be transferred to a third party without prior written notice to the District Engineer, either by the transferee's written agreement to comply with all terms and conditions of this permit or by the transferee subscribing to this permit in the space provided below and thereby agreeing to comply with all terms and conditions of this permit. In addition, if the permittee transfers the interests authorized herein by conveyance of realty, the deed shall reference this permit and the terms and conditions specified herein and this permit shall be recorded along with the deed with the Registrar of Deeds or other appropriate official.

II. SPECIAL CONDITIONS ARE CHECKED BELOW:

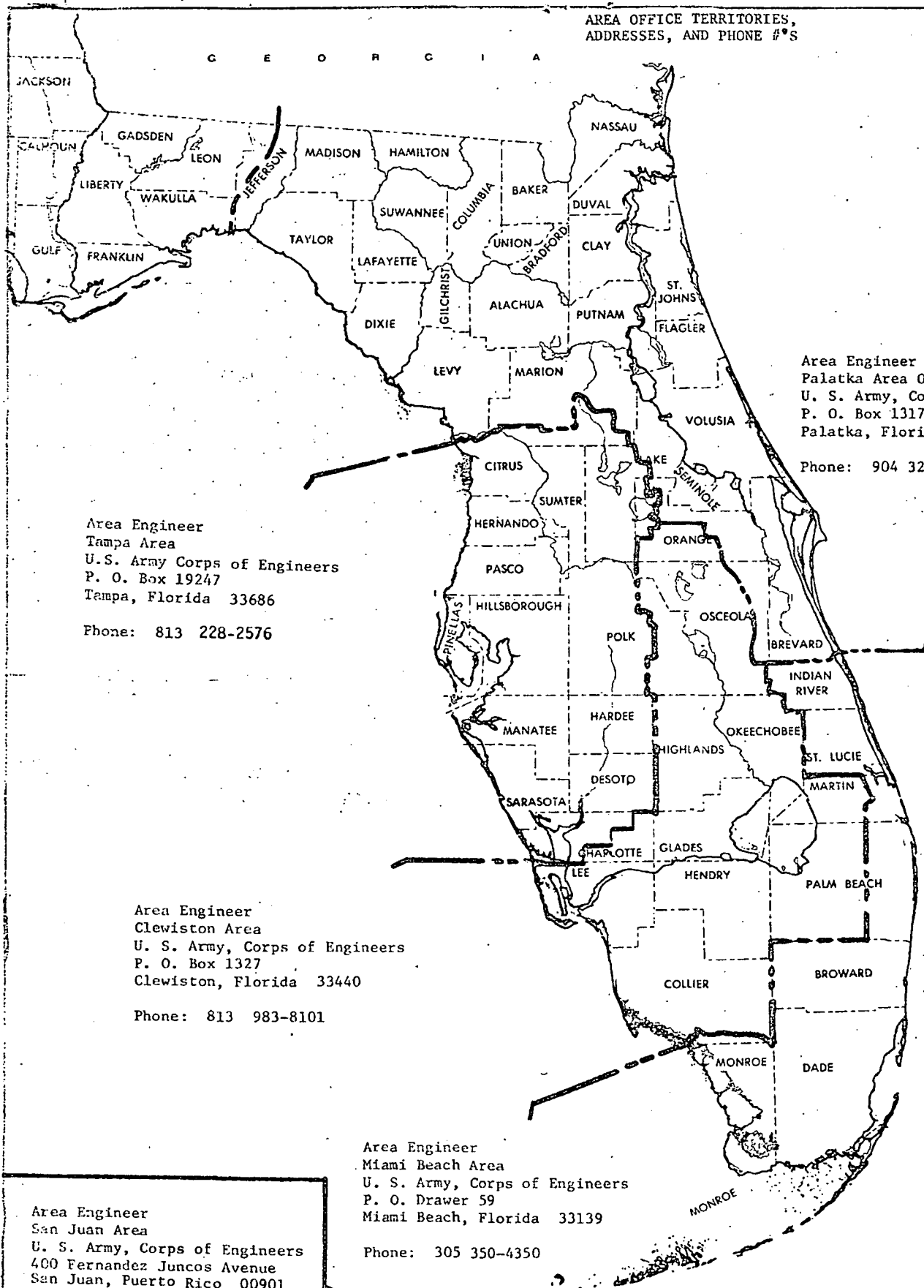
☒ Structures For Small Boats: That permittee hereby recognizes the possibility that the structure permitted herein may be subject to damage by wave wash from passing vessels. The issuance of this permit does not relieve the permittee from taking all proper steps to insure the integrity of the structure permitted herein and the safety of boats moored thereto from damage by wave wash and permittee shall not hold the United States liable for any such damage.

☐ Discharge Of Dredged Material Into Ocean Waters: That the permittee shall place a copy of this permit in a conspicuous place in the vessel to be used for the transportation and/or dumping of the dredged material as authorized herein.

☒ Erection Of Structure In Or Over Navigable Waters: That the permittee, upon receipt of a notice of revocation of this permit or upon its expiration before completion of the authorized structure or work, shall, without expense to the United States and in such time and manner as the Secretary of the Army or his authorized representative may direct, restore the waterway to its former condition. If the permittee fails to comply with the direction of the Secretary of the Army or his authorized representative, the Secretary or his designee may restore the waterway to its former condition, by contract or otherwise, and recover the cost thereof from the permittee.

☐ Maintenance Dredging: (1) That when the work authorized herein includes periodic maintenance dredging, it may be performed under this permit for _____ years from the date of issuance of this permit; and (2) That the permittee will advise the District Engineer in writing at least two weeks before he intends to undertake any maintenance dredging.

AREA OFFICE TERRITORIES,
ADDRESSES, AND PHONE #'S



Area Engineer
Tampa Area
U.S. Army Corps of Engineers
P. O. Box 19247
Tampa, Florida 33686
Phone: 813 228-2576

Area Engineer
Palatka Area Office
U. S. Army, Corps of Engineers
P. O. Box 1317
Palatka, Florida 32077
Phone: 904 328-2737

Area Engineer
Clewiston Area
U. S. Army, Corps of Engineers
P. O. Box 1327
Clewiston, Florida 33440
Phone: 813 983-8101

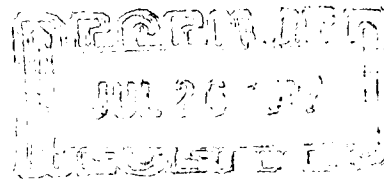
Area Engineer
Miami Beach Area
U. S. Army, Corps of Engineers
P. O. Drawer 59
Miami Beach, Florida 33139
Phone: 305 350-4350

Area Engineer
San Juan Area
U. S. Army, Corps of Engineers
400 Fernandez Juncos Avenue
San Juan, Puerto Rico 00901
Phone: 809 723-0133

JAMES E. KNIGHT

ATTORNEY AT LAW

CORPORATION AND BUSINESS LAW
ESTATE PLANNING AND ADMINISTRATION
FAMILY LAW
GENERAL PRACTICE



SUITE 201, THE BESSEMER BUILDING
A1A AND SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 33457
305 286-2277

July 25, 1977

Honorable Edward H. Gluckler, Mayor
Town of Sewall's Point
Jensen Beach, Florida

Re: General Permits; etc. (Dept. of the Army, Corps
of Engineers)

Dear Mayor Gluckler,

I am enclosing the information received from the Corps of Engineers in response to my letter to them of July 18, copied to you.

The General Permit regarding private piers (SAJ-20), paragraph 2, indicates that the procedure now followed by the town of Sewall's Point is still the correct one. An applicant still must obtain permission from the Jacksonville office of the Corps of Engineers before proceeding with construction.

If I may be of further service, please call.

Yours truly,

James E. Knight

cc: Clerk, Town of Sewall' Point

FILE

June 9, 1977

Captain Jack Doss,
Doss Marine Construction,
Post Office Box 138,
Stuart, Florida 33494.

Dear Captain Doss: Re: Knight Dock - Lot 104
 High Point Isle Addition

Please be advised that at the Regular Meeting of the Commissioners of the Town of Sewall's Point on June 8, 1977, the Commissioners voted "no objection" to the dock for James E. Knight, 34 East High Point Road, as requested in your letter of May 25, 1977.

Sincerely,

TOWN OF SEWALL'S POINT

M

Margaret Miller, Town Clerk

Copy to All Comm + City Clerk
5/26/77

MV TROPIC JACK
VHF WD 2307

DOSS MARINE CONSTRUCTION

POST OFFICE BOX 138 · STUART, FLORIDA

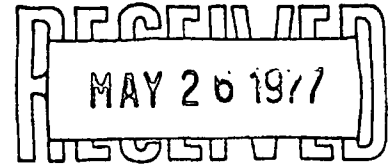
"COMPLETE MARINE SERVICE"

Pile Driving

Docks — Marine Towing

Marine Salvage & Diving

CAPT. JACK DOSS
(305) 287-5663



May 25, 1977

Board of Commissioners of
Sewall's Point
1 S. Sewall's Point Road
Jensen Beach, Fla. 33457

Dear Sirs: Re: Dock - Lot 104, High Point Isle
 Addition (Sewall's Point)

I am requesting a letter of no objection from the Town
of Sewall's Point to construct a pier for James E. Knight,
Suite 201, The Bessemer Building, A1A and Sewall's Point Rd.,
Sewall's Point, Fla.

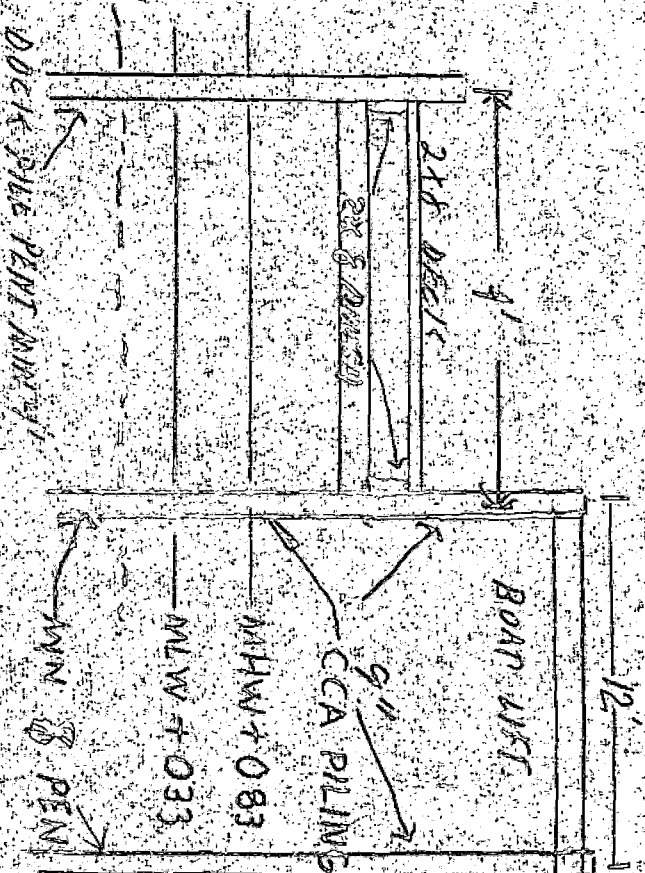
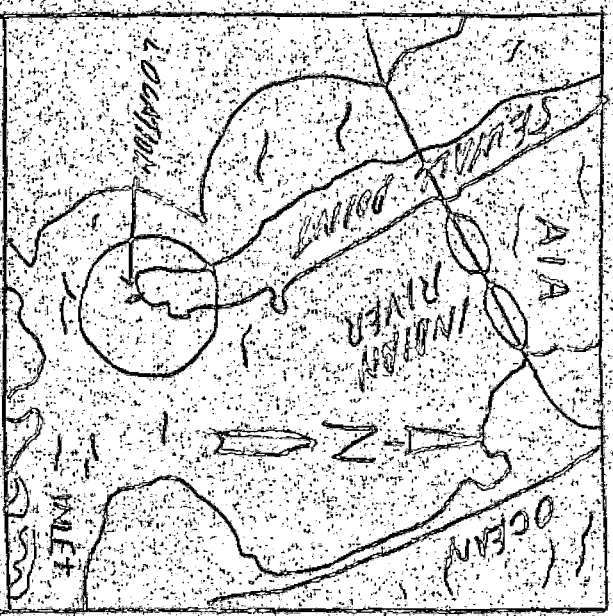
Enclosed are three copies of the permit drawings as re-
quested, and a letter of no objection from the adjacent
property owners.

Sincerely yours,

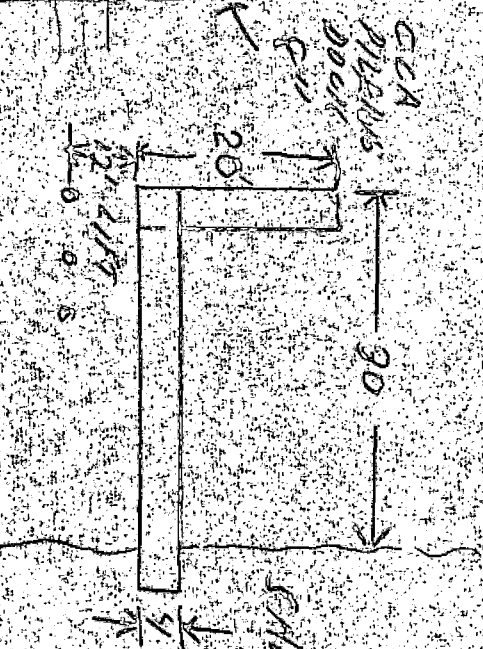
DOSS MARINE CONSTRUCTION

A handwritten signature in cursive script that reads "Jack Doss".
Jack Doss

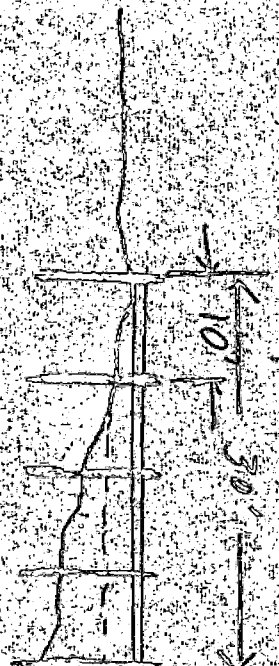
details on table



PREPARED
MAY 26 1977
LEGAT-USA



ANCHOR
CHUR RIVER WALL
SEEN FROM RD
MUSKOGEE CRT
32' EAST ALONG POND ROAD
CHURCH BEACH

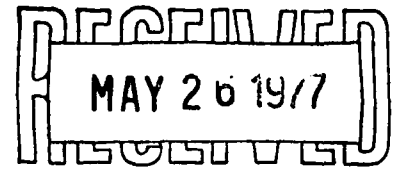


PROPOSED FOR
BOAT & KAYAK
MO. SEC. 13-24-40 38 18241
INDIAN RIVER
TOWN OF SEAWATER
INDIAN COUNTRY
FLA.
APP. BY
DOSS MARINE

H. R. Runciman & Co. Ltd.

5200 Dixie Rd., Mississauga, Ont. L4W 1E4 • (416) 625-7222

327 Benjamin Hudon St., Montreal 379, Que. • (514) 332-5072



FEBRUARY 11, 1977

JAMES E. KNIGHT,
SUITE 201, THE BESSEMER BLDG.,
ALA AND SEWALL'S POINT ROAD,
SEWALL'S POINT, FLORIDA 33457.

DEAR MR. KNIGHT:

I RECEIVED YOUR LETTER OF FEBRUARY 4TH CONCERNING THE
PROPOSED DOCK AREA AT YOUR PROPERTY, LOT 104, HIGH POINT
ISLE ADDITION.

OF COURSE I APPROVE OF YOUR INSTALLING THIS DOCK AND LOOK
FORWARD TO MEETING YOU IN THE NEAR FUTURE.

MY WIFE AND I HAVE WATCHED WITH INTEREST THE CONSTRUCTION
OF YOUR NEW HOME AND ARE ANXIOUS TO SEE THE COMPLETED PRODUCT.

YOURS TRULY,

H. R. RUNCIMAN & CO. LTD.

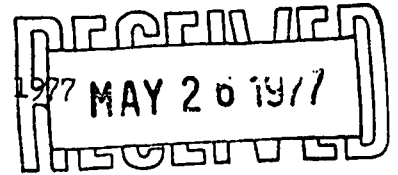
H. ROY RUNCIMAN

HRR/BS

Mrs. Harold C. Hoch
32 East High Point Road
Jensen Beach, Fla. 33457

FEB 1 RECD

January 31, 1977



Mr. James E. Knight
Suite 201, The Bessemer Building
AlA and Sewall's Point Road
Jensen Beach, Fla. 33457

Dear Jim:

I have your letter of January 27, 1977 requesting my approval for a proposed dock. After reviewing the sketches you submitted I wish to advise that they meet with my approval.

Yours very truly,

Mary L. Hoch Fields

Mary L. Hoch Fields

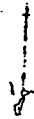
HIGH POINT ROAD

LOT 105

LOT 104

LOT 103

SLOPE



LAND 15'

DATE

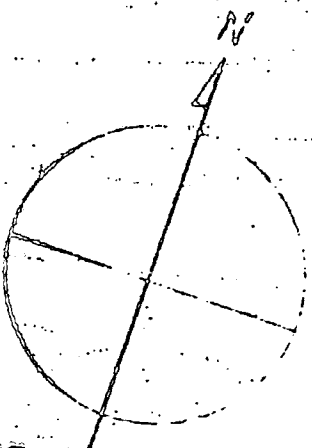
SEAGRASS

MAN-ROVE

SEAGRASS

DOCK & BOAT LIFT AREA

SCALE 1" = 50' (APPROX)



1111

FENCE

RECEIVED FEB 15 1980

TOWN OF SEWALL'S POINT FLORIDA

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner JAMES & CHRISTINA T. KNIGHT Present address 34 E HIGH PT RD

Phone 286-2277

Contractor JAMES E. KNIGHT CONSTRUCTION Address 10 E OSCAR STU

Phone 286-2277

Where licensed STU License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: FENCE

34 E HIGH POINT
State the street address at which the proposed structure will be built:

Subdivision HIGH POINT ISLE ADDN Lot No. 104

Contract price \$ 500.00 Cost of Permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted 16 FEB 80

Approved: [Signature] Building Inspector Date 2/15/80

Approved: [Signature] Commissioner Date 2/15/80

Final Approval given: 3/11/80 Date [Signature]

Certificate of Occupancy issued _____ Date _____

SP/1-79

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

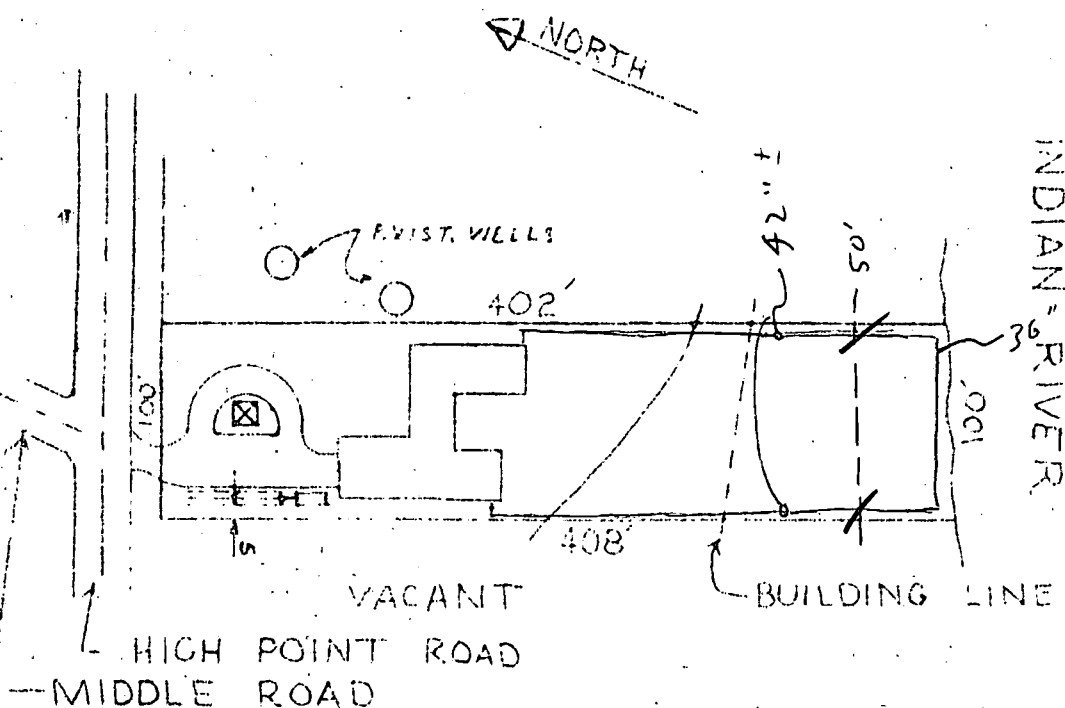
RECEIVED FEB 15 1980

INDIVIDUAL SEWAGE DISPOSAL FACILITIES
DATA SHEET

LOT 104, ISLE ADDITION Applicant: JAMES E. KNIGHT
TO HIGH POINT, SEWALLS POINT County: MARTIN

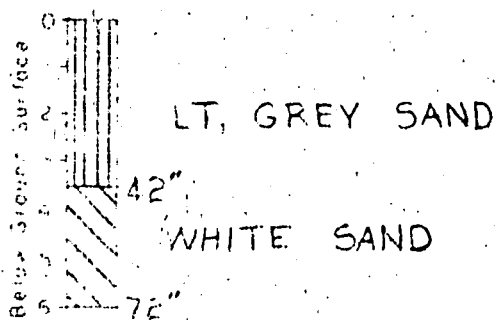
Septic tank system is not located within 50 feet of the high water line of a lake, stream, pond, or other waters, nor within 75 feet of any private well, nor within 100 feet of any public water supply, nor within 10 feet of water supply pipes, nor within 100 feet of any public sewer system.

NOTE: PUBLIC WATER SUPPLY BY SG GULF



PLAN
Scale 1" = 100'

SOIL DATA



LEGEND

- Proposed Septic Tank
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Test Location

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

Calvin Montgomery

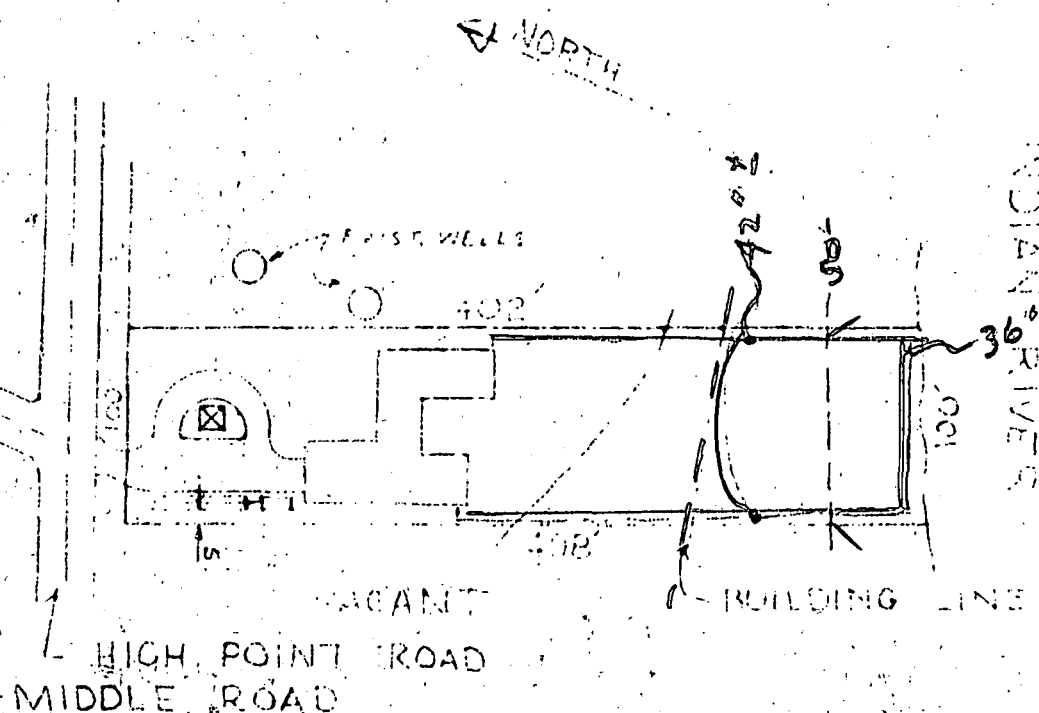
4932

11-6-76

INDIVIDUAL NAME AND DISPOSAL CODE
DATA SHEET

LOT 104, 15111 ADDITION. Applicant: JAMES L. KIRCH
TO HIGH POINT, ALWAYS CONT. cont. MARION

NOTE: PUBLIC WATER SUPPLY BY RO. GULF



PLAN
Scale: 100'

AGENTS

LT. GREY SAND

WHITE SAND

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

Cabot Montgomery

RECEIVED FEB 15 1980

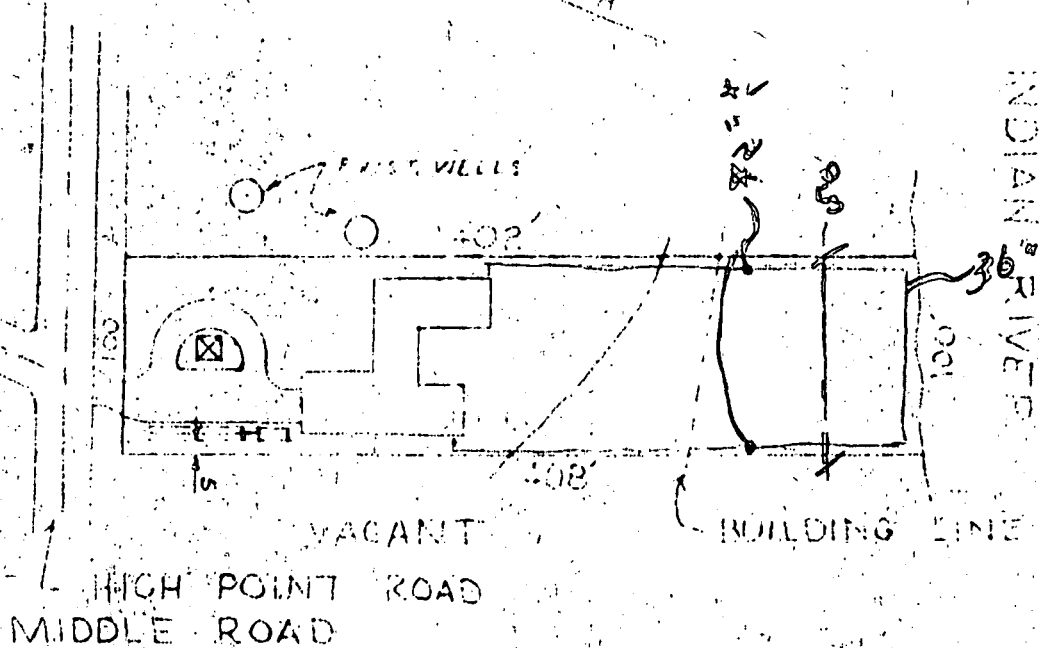
INDIVIDUAL SEWER DISPOSAL PLAN
DATA SHEET

LOT 104, ISLE ADDITION, APPROXIMATELY EAST OF
HIGH POINT, SEWALL POINT, COUNTY, MARTIN

Public water system is not located within 5 feet of the high water line of a body of water, nor within 75 feet of a private water supply, nor within 10 feet of water supply, nor within 100 feet of a public water supply.

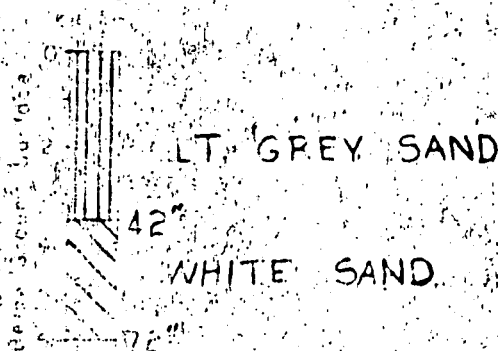
NOTE: PUBLIC WATER SUPPLY BY SEWER

NORTH



PLAN
Scale 1" = 100'

SOIL DATA



LEGEND

- Proposed Sewer Line
- Proposed Water Line
- Existing Water Line
- Proposed Building Footprint
- Proposed Lot Line

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

Robert Montgomery

1282

INTERIOR REMODEL

TOWN OF SEWALL'S POINT FLORIDA

Permit No. _____

Date 11 FEB 81

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner MARTIN BYROM Present address _____Phone 286-5222 _____Contractor JAMES E. KNIGHT Address 440 E OSCOLA STPhone 286-2277 _____Where licensed STATE FL License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: ADD WALL ; REMOVE WALL (INTERIOR ONLY)34 E. HIGH POINT ROAD

State the street address at which the proposed structure will be built: _____

Subdivision ISLE ADDN / HIGH POINT Lot No. 104Contract price \$ 4,000 ✓ Cost of Permit \$ 40.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor James E. Knight

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner James E. Knight agent

TOWN RECORD

Date submitted 11 FEB 81Approved: J. Mazzuca 2/11/81
Building Inspector DateApproved: EC Strickland 2/12/81
Commissioner DateFinal Approval given: 3/27/81 Reg 2/25/81
DateCertificate of Occupancy issued _____
Date

SP/1-79

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

1355

COURTYARD

RECEIVED MAY 15 1981
RECEIVED MAY 28 1981

Permit No. 1355

TOWN OF SEWALL'S POINT FLORIDA

Date 5/12/81

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner Martin BYROM Present address 34 E Hg Pt Rd
Phone 286-5222
Contractor Jim Knight/KP Const - Inc. Address 777 NE Old Dixie
Phone 286 2277
Where licensed FLA License number CGC 011658
Electrical contractor Al Pine License number 62
Plumbing contractor ~~Butler~~ N/A License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Court yard

State the street address at which the proposed structure will be built:

34 E Hg Pt Rd
Subdivision Hg Pt Lot No. 104
Contract price \$ ~~17,000~~ 12,000 Cost of Permit \$ 60.00 + 60.00 = 120
Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor James E. Knight

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Martin Byrom

TOWN RECORD Date submitted 5/12/81
Approved: J. Mazzucca 5/26/81
Building Inspector Date
Approved: D. C. Strubbe 5/27/81
Commissioner Date

Final Approval given: _____

Certificate of Occupancy issued _____
Date _____

SP/1-79

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code,

1355

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date _____

This is to request that a Certificate of Approval for Occupancy be issued to _____
For property built under Permit No. 1355 Dated June 16, 1981 when completed in
conformance with the Approved Plans.

Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	<u>6/19/81</u>	
Rough plumbing		
Slab	<u>6/19/81</u>	
Perimeter beam		
Close-in, roof and rough electric		
Final Plumbing		
Final Electric		

Steel in walls 7/14/81
Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector J. Magguso date 12/1/81

Approved by Building Commissioner _____ date _____

Utilities notified None required date _____

Original Copy sent to _____

(Keep carbon copy for Town files)

1949

ADDITION

Permit Number

JUN 10 1986

Date 6/10/86

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mr. Martin I. ByromPresent Address 34 East Highpoint RoadPhone 286-5222Contractor First Florida DevelopmentAddress 200 N.E. Dixie HighwayPhone 692-1387Stuart, Florida 33494

Where licensed _____

License number _____

Electrical contractor _____

License number _____

Plumbing contractor _____

License number _____

Roofing contractor _____

License number _____

Air conditioning contractor _____

License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Remodel existing garage into a family room and build new free standing garage.

State the street address at which the structure will be built:

34 East Highpoint RoadSubdivision Isle Addition to HighpointLot number 104

Block number _____

Contract price \$ ~~30,500.00~~ 9,850.⁰⁰ Cost of permit \$ _____

Plans approved as submitted _____

Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor _____

Paul L. Kleinfeld, President

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner _____

Martin I. Byrom

TOWN RECORD

Date submitted _____

Approved _____

Dale Brown

Date

Approved _____

GC Strubel

Date

Final Approval given _____

Date

Certificate of Occupancy issued (if applicable) _____

Date

SP1184

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

Permit Number _____

THIS FORM BECOMES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING MACHINE SHOWING TRANSACTION NUMBER, DATE AND AMOUNT PAID. PLEASE MAIL OR BRING THIS LICENSE WITH YOUR REMITTANCE. PENALTY 10% FOR MONTH OF OCTOBER, 5% ADDITIONAL EACH MONTH THEREAFTER UP TO 25% PLUS COLLECTION COSTS.

NOTE: A PENALTY IS IMPOSED ON A LICENSE TO KEEP THIS LICENSE EXHIBITED PROMINENTLY AT YOUR ESTABLISHMENT OR PLACE OF BUSINESS

STATE CERTIFICATE NO. _____
LICENSE FEE \$ 9.00
DEL. PEN. \$ _____
TOTAL \$ _____

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF **CONTRACTOR**

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

1ST DAY OF OCTOBER 85 SEC. 205.301
AND ENDING FIRST DAY OF OCTOBER, A.D. 1986

LOCATION 508047
3250 NE CANDICE AV.
JENSEN BCH, FL 33457

MAKE CHECKS PAYABLE TO:
THOMAS L. CROOK, Tax Collector
P.O. Box 926, Stuart, Fla. 33495

HERITAGE ELECTRIC
PO BOX 1003
JENSEN BCH, FLA. 33457

THOMAS L. CROOK, TAX COLLECTOR
09-12-85 144304 998-0560
000000

ORIGINAL

MARTIN COUNTY
CONTRACTORS
CERTIFICATE OF COMPETENCY

Effective October 1, 19 85 through September 86

NAME WAYNE E. GARBER
FIRM **HERITAGE ELECTRIC**
ADDRESS PO Box 1003
Jensen Beach, FL 33457

CERTIFIED CONTRACTOR MASTER ELECTRICIAN

AUDIT CONTROL	Nº 9199	CERTIFICATE NUMBER ME00094
---------------	---------	-------------------------------

NATIONWIDE MUTUAL

AGENT - T.F. Ruggirello

Phone 305-464-6322



CERTIFICATE OF INSURANCE

SET TAB STOPS AT ARROWS
ISSUE DATE (MM/DD/YY)

6/23/86

PRODUCER

Rick Carroll Insurance Agency
P.O. Box 877
Jensen Beach, FL 33457

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY LETTER **A** Maryland Casualty Ins. Co.

COMPANY LETTER **B**

COMPANY LETTER **C**

COMPANY LETTER **D**

COMPANY LETTER **E**

INSURED

First Florida Development, Inc.
130 NE Dixie Highway
Stuart, FL 33494

COVERAGES

THIS IS TO CERTIFY THAT POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS, AND CONDITIONS OF SUCH POLICIES.

CO-TR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIABILITY LIMITS IN THOUSANDS		
						EACH OCCURRENCE	AGGREGATE
A	GENERAL LIABILITY	PA 01388625	8/11/85	7/1/86	BODILY INJURY	\$	\$
	<input checked="" type="checkbox"/> COMPREHENSIVE FORM				PROPERTY DAMAGE	\$	\$
	<input checked="" type="checkbox"/> PREMISES/OPERATIONS UNDERGROUND EXPLOSION & COLLAPSE HAZARD				BI & PD COMBINED	\$ 500,	\$ 500,
	<input checked="" type="checkbox"/> PRODUCTS/COMPLETED OPERATIONS				PERSONAL INJURY	\$	
	<input checked="" type="checkbox"/> CONTRACTUAL						
	<input checked="" type="checkbox"/> INDEPENDENT CONTRACTORS						
	<input checked="" type="checkbox"/> BROAD FORM PROPERTY DAMAGE						
A	AUTOMOBILE LIABILITY	WAA80134018	8/11/85	7/1/86	BODILY INJURY (PER PERSON)	\$ 250,	
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (PER ACCIDENT)	\$ 500,	
	<input type="checkbox"/> ALL OWNED AUTOS (PRIV. PASS.)				PROPERTY DAMAGE	\$ 100,	
	<input type="checkbox"/> ALL OWNED AUTOS (OTHER THAN PRIV. PASS.)				BI & PD COMBINED	\$	
	<input type="checkbox"/> HIRED AUTOS						
	<input type="checkbox"/> NON-OWNED AUTOS						
	<input type="checkbox"/> GARAGE LIABILITY						
A	EXCESS LIABILITY	UB 68480548	9/25/85	7/1/86	BI & PD COMBINED	\$1,000,	\$ 1,000,
	<input checked="" type="checkbox"/> UMBRELLA FORM						
	WORKERS' COMPENSATION AND EMPLOYERS' LIABILITY				STATUTORY		
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM				\$	(EACH ACCIDENT)	
					\$	(DISEASE-POLICY LIMIT)	
					\$	(DISEASE-EACH EMPLOYEE)	
	OTHER						

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

General Contractor
State of Florida

CERTIFICATE HOLDER

Town of Sewall's Point

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

kk

MARTIN COUNTY

1985 COUNTY OCCUPATIONAL LICENSE 1986

THIS FORM BECOMES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING
MACHINE SHOWING TRANSACTION NUMBER, DATE AND AMOUNT PAID.
PLEASE MAIL OR BRING THIS LICENSE WITH YOUR REMITTANCE.
PENALTY 10% FOR MONTH OF OCTOBER, 5% ADDITIONAL
EACH MONTH THEREAFTER UP TO 25% PLUS COLLECTION
COSTS.

LOCATION 512185

STATE CERTIFICATE NO. _____

LICENSE FEE : \$ 9.00

DEL. PEN. \$ _____

TOTAL \$ _____

MAKE CHECKS PAYABLE TO:
THOMAS L. CROOK, Tax Collector
P.O. Box 926, Stuart, Fla. 33495

PAUL KLEINFELD
3941 NE SUGARHILL AVE.
JENSEN BCH, FLA. 33457

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF CONTRACTOR

AT ABOVE ADDRESS FOR THE PERIOD
BEGINNING ON THE

1ST DAY OF OCTOBER 1985 SEC. 205.301
AND ENDING FIRST DAY OF OCTOBER, A.D. 1986

ORIGINAL

NOTE: - A PENALTY IS IMPOSED FOR FAILURE
TO KEEP THIS LICENSE EXHIBITED CONSPICU-
OUSLY AT YOUR ESTABLISHMENT OR PLACE OF
BUSINESS.

THOMAS L. CROOK, TAX COLLECTOR
9-16-85 140733 008 CHECK
11111 \$2.00



CERTIFICATE OF INSURANCE

SET TAB STOPS AT ARROWS
ISSUE DATE (MM/DD/YY)

6-24-86

PRODUCER

Hartman-Tilton Insurance Agency
P.O. Box 95-3388
Stuart, Fla 33495-3388

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY LETTER A	International Business & Mercantile
COMPANY LETTER B	Reassurance
COMPANY LETTER C	
COMPANY LETTER D	
COMPANY LETTER E	

INSURED

C & R Air Conditioning of Martin
County, Inc.
4244 SE Commerce Ave
Stuart, Fla 33497

COVERAGES

THIS IS TO CERTIFY THAT POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS, AND CONDITIONS OF SUCH POLICIES.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIABILITY LIMITS IN THOUSANDS		
						EACH OCCURRENCE	AGGREGATE
A	GENERAL LIABILITY	2SMP187	7-1-85	7-1-86	BODILY INJURY	\$	\$
	<input checked="" type="checkbox"/> COMPREHENSIVE FORM				PROPERTY DAMAGE	\$	\$
	<input type="checkbox"/> PREMISES/OPERATIONS UNDERGROUND EXPLOSION & COLLAPSE HAZARD PRODUCTS/COMPLETED OPERATIONS				BI & PD COMBINED	\$ 500	\$ 500
	<input type="checkbox"/> CONTRACTUAL				PERSONAL INJURY		\$
	<input type="checkbox"/> INDEPENDENT CONTRACTORS						
	<input type="checkbox"/> BROAD FORM PROPERTY DAMAGE						
	<input type="checkbox"/> PERSONAL INJURY						
	AUTOMOBILE LIABILITY				BODILY INJURY (PER PERSON)	\$	
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (PER ACCIDENT)	\$	
	<input type="checkbox"/> ALL OWNED AUTOS (PRIV. PASS.)				PROPERTY DAMAGE	\$	
	<input type="checkbox"/> ALL OWNED AUTOS (OTHER THAN PRIV. PASS.)				BI & PD COMBINED	\$	
	<input type="checkbox"/> HIRED AUTOS						
	<input type="checkbox"/> NON-OWNED AUTOS						
	<input type="checkbox"/> GARAGE LIABILITY						
	EXCESS LIABILITY				BI & PD COMBINED	\$	\$
	<input type="checkbox"/> UMBRELLA FORM						
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM						
	WORKERS' COMPENSATION AND EMPLOYERS' LIABILITY				STATUTORY		
					\$	(EACH ACCIDENT)	
					\$	(DISEASE-POLICY LIMIT)	
					\$	(DISEASE-EACH EMPLOYEE)	
	OTHER						

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

Air Conditioning, heating or refrigeration

State of Fla

CERTIFICATE HOLDER

Town Clerk of Sewalls Point
1 South Sewalls Point Road
Stuart, Fla 33494

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL _____ DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT. BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Certificate of Insurance

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER.
THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES LISTED BELOW.

NAME AND ADDRESS OF SERVICE COMPANY

HILL RICHARDS AND COMPANIES, INC.
260 WEKIVA SPRINGS ROAD
P. O. BOX 1950
ALTAMONTE SPRINGS FL32701-0000

COMPANIES AFFORDING COVERAGES

COMPANY LETTER	A	FLORIDA HOME BUILDERS SIF
COMPANY LETTER	B	
COMPANY LETTER	C	
COMPANY LETTER	D	
COMPANY LETTER	E	

NAME AND ADDRESS OF INSURED

C&R A/C OF MARTIN COUNTY,
4244 S.E. COMMERCE AVENUE
STUART, FL 33497

This is to certify that policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions and conditions of such policies.

COMPANY LETTER	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE	POLICY EXPIRATION DATE	Limits of Liability in Thousands (000)		
						EACH OCCURRENCE	AGGREGATE
	GENERAL LIABILITY				BODILY INJURY		
	<input type="checkbox"/> COMPREHENSIVE FORM				PROPERTY DAMAGE		
	<input type="checkbox"/> PREMISES/OPERATIONS						
	<input type="checkbox"/> EXPLOSION AND COLLAPSE HAZARD						
	<input type="checkbox"/> UNDERGROUND HAZARD						
	<input type="checkbox"/> PRODUCTS/COMPLETED OPERATIONS				BODILY INJURY AND PROPERTY DAMAGE COMBINED		
	<input type="checkbox"/> CONTRACTUAL						
	<input type="checkbox"/> BROAD FORM PROPERTY DAMAGE						
	<input type="checkbox"/> INDEPENDENT CONTRACTORS						
	<input type="checkbox"/> PERSONAL INJURY						
	AUTOMOBILE LIABILITY				BODILY INJURY (PER PERSON)		
	<input type="checkbox"/> COMPREHENSIVE FORM				BODILY INJURY (PER ACCIDENT)		
	<input type="checkbox"/> OWNED AUTOS						
	<input type="checkbox"/> HIRED AUTOS						
	<input type="checkbox"/> NON-OWNED AUTOS						
	EXCESS LIABILITY				BODILY INJURY AND PROPERTY DAMAGE COMBINED		
	<input type="checkbox"/> UMBRELLA FORM						
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM						
A	WORKER'S COMPENSATION and EMPLOYER'S LIABILITY	60-3565	3/01/86	2/28/87	STATUTORY		
	OTHER						
	STATE OF FLORIDA/FLORIDA EMPLOYEES ONLY						A-42055

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

Cancellation: Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavor to mail **30** days written notice to the below named certificate holder, but failure to mail such notice shall impose no obligation or liability of any kind upon the company, its agents or representatives.

NAME AND ADDRESS OF CERTIFICATE HOLDER

Town Clerk of Sewall's Point
1 S. Sewalls Point Rd.
Sewall's Point, Fl. 33494

6/23/86

ISSUE DATE 0/00/00

Eugene Hill

AUTHORIZED REPRESENTATIVE

Printed for Lawyers' Title Guaranty Fund, Orlando, Florida

This instrument was prepared by:
Name JAMES E. KNIGHT, ESC
Address 40 East Osceola Street
Stuart, Florida 33494
305-286-2277

Warranty Deed (STATUTORY FORM—SECTION 689.02 F.S.)

This Indenture, Made this 21st day of November 19 80, Between

JAMES E. KNIGHT and CHRISTINA T. KNIGHT, his wife,

of the County of Martin, State of Florida, grantor*, and

MARTIN I. BYROM and PATRICIA A. BYROM, his wife,

whose post office address is 740 Harbor Drive, Key Biscayne, Florida 33149

of the County of Dade, State of Florida, grantee*,

Witnesseth, That said grantor, for and in consideration of the sum of TEN AND NO/100 (\$10.00)

Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 104, ISLE ADDITION TO HIGH POINT, according to the Plat thereof recorded in Plat Book 4, page 47, Martin County, Florida public records.

SUBJECT to taxes for the year 1980 and thereafter.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written. Signed, sealed and delivered in our presence:

William B. Howell
Lillian Shoop

James E. Knight (Seal)
James E. Knight
Christina T. Knight (Seal)
Christina T. Knight (Seal)

STATE OF Florida
COUNTY OF Martin

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared

JAMES E. KNIGHT and CHRISTINA T. KNIGHT, his wife,

to me known to be the person subscribed in and who executed the foregoing instrument and acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 21st day of November, 1980.

My commission expires:

November 21, 1981

William B. Howell
Notary Public

STATE OF FLORIDA Department of Professional Regulation
CONSTRUCTION INDUSTRY LICENSING BOARD

DATE: 06/06/85 FILE NO. BG 0020468 BATCH NO. 08220
THE CERTIFIED GENERAL CONTRACTOR
NAMED BELOW IS CERTIFIED
UNDER THE PROVISIONS OF CHAPTER 489 FOR
THE YEAR EXPIRING JUNE 30, 1987

KLEINFELD, PAUL L.
FIRST FLORIDA DEVELOPMENT INC.
130 NE DIXIE HWY.
STUART, FL 33494


GOVERNOR

DISPLAY IN A CONSPICUOUS PLACE


SECRETARY OF PROFESSIONAL
REGULATION

2823

FENCE

Permit No. _____

Date _____

2823
APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Martin + Patricia Bynum Present Address 34 E. High Point Rd.

Phone 286 5222

Contractor Same as Above Address _____

Phone _____

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Fence

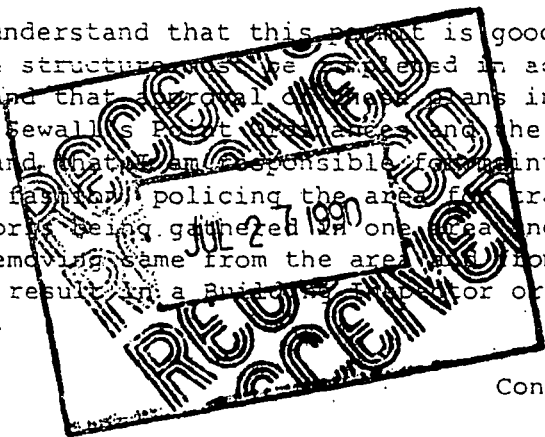
34 E. High Point Rd
State the street address at which the proposed structure will be built:

Subdivision High Point Lot number 104 Block number _____

Contract price \$ 10,000 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure is to be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.



Contractor Martin Bynum

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Mart Bynum

TOWN RECORD

Date submitted _____ Approved: Dale Brown 7/27/90
Building Inspector Date

Approved: _____ Final Approval given: _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

3960

DOCK

3960

TAX FOLIO NO. 13-38-41-003-000-01040

DATE 4/1/96

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Martin & Patricia Byron Present address 34 E. High Point Rd.

Phone 286 5222

Contractor N/A Address _____

Phone _____

Where licensed _____ License number _____

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Dock work

State the street address at which the proposed structure will be built:

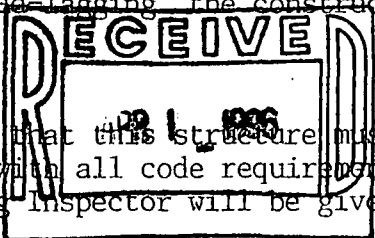
34 E. High Point Rd

Subdivision High Point Lot Number 104 Block Number _____

Contract price \$ 500.00 Cost of permit \$ 24 XX

Plans approved as submitted N/A Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.



Contractor N/A

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Martin & Patricia Byron

TOWN RECORD

Date submitted _____

Approved: Dale Brown 4/1/96
Building Inspector Date

Approved: [Signature]
Commissioner Date

Final approval given: _____
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____

3960

10405

DOCK

**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10405	DATE ISSUED:	APRIL 4, 2013
SCOPE OF WORK:	INSTALL DOCK		
CONTRACTOR:	TREASURE COAST BARGE		
PARCEL CONTROL NUMBER:	133841-003-000-010404	SUBDIVISION	HIGH PT ISL ADDN-L 104
CONSTRUCTION ADDRESS:	34 E HIGH PT RD		
OWNER NAME:	BYROM		
QUALIFIER:	LISA JULIANO	CONTACT PHONE NUMBER:	260-4186

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____
UNDERGROUND MECHANICAL _____
STEM-WALL FOOTING _____
SLAB _____
ROOF SHEATHING _____
TIE DOWN / TRUSS ENG _____
WINDOW/DOOR BUCKS _____
ROOF DRY-IN/METAL _____
PLUMBING ROUGH-IN _____
MECHANICAL ROUGH-IN _____
FRAMING _____
FINAL PLUMBING _____
FINAL MECHANICAL _____
FINAL ROOF _____

UNDERGROUND GAS _____
UNDERGROUND ELECTRICAL _____
FOOTING _____
TIE BEAM/COLUMNS _____
WALL SHEATHING _____
INSULATION _____
LATH _____
ROOF TILE IN-PROGRESS _____
ELECTRICAL ROUGH-IN _____
GAS ROUGH-IN _____
METER FINAL _____
FINAL ELECTRICAL _____
FINAL GAS _____
BUILDING FINAL _____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10405
ADDRESS	34 E HIGH PT RD - BYROM
DATE 4/4/13	SCOPE OF WORK DOCK

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)	s.f.		

TREASURE COAST BARGE INC
1200 SE DIXIE CUTOFF RD
STUART, FL 34994-3436

DATE 4.10.13

11028

63-8419/2670
760

TOWN OF SEWALL'S POINT

PAY
TO THE
ORDER OF

PNC BANK
PNC Bank, N.A.

\$ 109.00
DOLLARS

FOR

BUILDING PERMIT FEE:	\$	
----------------------	----	--

ACCESSORY PERMIT	Declared Value:	\$	10,000.00
Total number of inspections @ \$100.00 each	1		100
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	109

pd
CK# 11028

Town of Sewall's Point BUILDING PERMIT APPLICATION			
Date: <u>9.12.12</u>		Permit Number: <u>10405</u>	
OWNER/LESSEE NAME: <u>MARTIN BYRON</u>		Phone (Day) _____ (Fax) _____	
Job Site Address: <u>34 EAST HIGHT PT. RD.</u>		City: <u>SEWALL'S POINT</u> State: <u>FL</u> Zip: <u>34894</u>	
Legal Description: <u>HIGH POINT ISLE ADD LOT 104</u>		Parcel Control Number: <u>013-30-41-003-000-01040-4</u>	
Fee Simple Holder Name: <u>SAME</u>		Address: _____	
City: _____ State: _____ Zip: _____		Telephone: _____	
*SCOPE OF WORK (PLEASE BE SPECIFIC): <u>Install extension</u> <u>2000 sq ft Dock</u>			
WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES _____ NO <u>X</u>		COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ <u>10,000.00</u> <small>(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)</small> Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 <u>X</u> FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ _____ <small>(Fair Market Value of the Primary Structure only, Minus the land value)</small> <small>PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION</small>	
Has a Zoning Variance ever been granted on this property? YES _____ (YEAR) _____ NO _____ <small>(Must include a copy of all variance approvals with application)</small>		Construction Company: <u>TCBT</u> Phone: <u>2100-4186</u> Fax: <u>221-1611</u>	
Qualifiers name: <u>LISA JULIANO</u> Street: <u>1200 W OFF RD</u> City: <u>SEWALL'S POINT</u> State: <u>FL</u> Zip: <u>34894</u>		State License Number: <u>SP01586</u> OR: Municipality: _____ License Number: _____	
LOCAL CONTACT: <u>SAL NATALIE</u> Phone Number: <u>772-260-4186</u>		DESIGN PROFESSIONAL: <u>MCR ENGINEERS</u> Fla. License# <u>43855</u>	
Street: <u>8520 SW KANSAS AVE</u> City: <u>SEWALL'S POINT</u> State: <u>FL</u> Zip: <u>34894</u> Phone Number: <u>214-4500</u>		AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Porches: _____ Enclosed Storage: _____ Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____ <small>* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.</small>	
CODE EDITIONS IN EFFECT, THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010			
WARNINGS TO OWNERS AND CONTRACTORS: 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. 2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007/SECT. 105.4.1, 105.4.1.1 - .5.			
***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****			
AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.			
OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE: <u>Martin Byron</u> State of Florida, County of: <u>Martin</u> On This the <u>4th</u> day of <u>March</u> , 20 <u>12</u> by <u>Martin Byron</u> who is personally known to me or produced _____ As identification: _____ Notary Public		CONTRACTOR/LICENSEE NOTARIZED SIGNATURE: <u>Lisa Juliano</u> State of Florida, County of: <u>Martin</u> On This the <u>2nd</u> day of <u>Sept</u> , 20 <u>12</u> by <u>Lisa Juliano</u> who is personally known to me or produced _____ As identification: _____ Notary Public	
My Commission Expires: _____ 			
SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!			

**Martin County, Florida
Laurel Kelly, C.F.A***generated on 3/4/2013 1:59:39 PM EST***Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-003-000-01040-4	27790	34 E HIGH POINT RD, SEWALL'S POINT	\$771,470	3/2/2013

Owner Information

Owner(Current)	BYROM MARTIN I (TR)
Owner/Mail Address	34 E HIGH POINT RD STUART FL 34996
Sale Date	8/8/2002
Document Book/Page	1673 0991
Document No.	
Sale Price	0

Location/Description

Account #	27790	Map Page No.	SP-06
Tax District	2200	Legal Description	HIGH POINT ISLE ADDN LOT 104
Parcel Address	34 E HIGH POINT RD, SEWALL'S POINT		
Acres	.9120		

Parcel Type

Use Code	0100 Single Family
Neighborhood	193110 ARCHIPELAGO, HIGH PTCANAL

Assessment Information

Market Land Value	\$540,000
Market Improvement Value	\$231,470
Market Total Value	\$771,470

T.C.B.I.

1200 CUTOFF RD.
STUART, FL 349990

MARINE CONSTRUCTION

OFFICE 772-260-4186

FAX 772-221-1611

4-16-12

MARTY BYROM

772-486-5078

34 EAST HIGH PT
ROAD

**TREASURE COAST BARGE INC. AGREES TO PROVIDE ALL EQUIPMENT LABOR
& MATERIAL TO DO THE FOLLOWING:**

ITEM I:

A. DOCK PILES TO BE 8" DIAMETER 16'	\$ 180 EACH
	<u>18' \$ 190 EACH</u>
	<u>20' \$ 225 EACH</u>
	<u>25' \$ 250 EACH</u>

TOTAL DEPOSIT

\$2,000.00

4180
450
500

5130

ALL LOCAL PERMITS NOT INCLUDED



JIM CURTIS



MARTY BYROM

ck # 8020
\$2000.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

Byrom

REVISIONS – CORRECTIONS REQUEST FORM
MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 5-23-13 PERMIT NUMBER: 34 E. HIGH PT

JOB ADDRESS: ~~PERMIT 10405~~

PLEASE CHECK ONE OF THE FOLLOWING:

CONDITION OF INSPECTION APPROVAL (Needed for an inspection)

CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)

REVISIONS (Changes to an issued permit)

******ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING******

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): ~~REVISED DOCK LAYOUT~~

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES TCBI NO VALUE \$
INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: SIGNATURE:

PHONE NUMBER: 260-4186 FAX NUMBER:

FOR OFFICE USE ONLY:

Reviewed by: *[Signature]* Date: 5-23-13 Approve ☒ Deny

Additional conditioned space sq. ft. @ \$104.65 per sq. ft. x 2% =

Additional non-conditioned space sq. ft. @ \$ 48.90 per sq. ft. x 2% =

Other declared value increase (must be based on value not cost) x 2% =

Other additional fees: Revision review fee: Pages @ \$25.00/Page

Radon Fee Professional Regulation Fee Road impact assessment

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ N/C

Applicant notified by: Date:



DEPARTMENT OF THE ARMY
JACKSONVILLE DISTRICT CORPS OF ENGINEERS
4400 PGA BOULEVARD, SUITE 500
PALM BEACH GARDENS, FLORIDA 33410

REPLY TO
ATTENTION OF

AUG 18 2009

Palm Beach Gardens Regulatory Section
SAJ-2009-02062 (GP-SLR)



Martin Byrom
34 East High Point Road
Sewalls Point, Florida 34996

Dear Mr. Byrom:

Your application for a Department of the Army permit received on May 29, 2009 and considered complete on June 22, 2009, has been assigned number SAJ-2009-02062. A review of the information and drawings provided shows the proposed work is to (1) remove and replace an existing 8-foot by 12-foot (96 square foot) terminal platform; (2) install a 4-foot by 92-foot (368 square foot) extension onto an existing 4-foot by 100-foot (400 square foot) access walkway; and (3) install a boatlift. The project is located in the Indian River, adjacent to 34 East High Point Road, Sewalls Point (Section 12, Township 38 south, Range 41 east), Martin County, Florida (27°10'25.7704" North Latitude, 80°11'21.1199" West Longitude).

Your project, as depicted on the enclosed drawings, is authorized by Regional General Permit (GP) SAJ-20. This authorization is valid until May 1, 2012. Please access the Corps' Regulatory web to view the special and general conditions for SAJ-20, which apply specifically to this authorization. Our website address is as follows:

http://www.saj.usace.army.mil/Divisions/Regulatory/permitting_types_general.htm#regional.

To view the referenced conditions click on the permit number and the general condition column in the row corresponding to the SAJ number noted above. You must comply with all of the special and general conditions and any project-specific conditions of this authorization or you may be subject to enforcement action. The following project-specific conditions are included with this authorization:

1. Within 60 days of completion of the work authorized, the attached "Self-Certification Statement of Compliance" must be completed and submitted to the U.S. Army Corps of Engineers.

Mail the completed form to the Regulatory Division, Enforcement Section, Cameron Shaw, 701 San Marco Boulevard, Jacksonville, Florida 32207.

2. The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the U.S. Army Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

3. The Permittee shall comply with the "Standard Manatee Conditions for In-Water Work - July 2005" provided as an Attachment of this permit.

4. The Permittee shall comply with National Marine Fisheries Service's "Sea Turtle and Smalltooth Sawfish Construction Conditions" dated March 23, 2006 and provided as an Attachment of this permit.

5. The Permittee shall comply with the "Dock Construction Guidelines in Florida for Docks or Other Minor Structures Constructed in or over Submerged Aquatic Vegetation, Marsh or Mangrove Habitat - U.S. Army Corps of Engineers/National Marine Fisheries Service - August 2001" provided as an Attachment of this permit.

Generally, authorization of activities that have commenced or are under contract to commence in reliance of the GP will remain in effect provided the activity is completed within 12 months of the date a GP expired or was revoked. In the event you have not completed construction of your project within the specified time limit, a separate application or re-verification will likely be required.

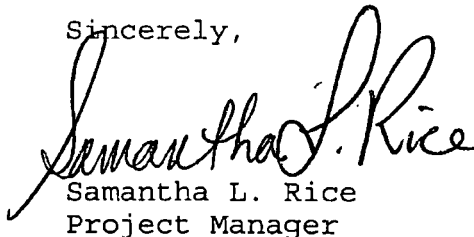
This letter of authorization does not obviate the necessity to obtain any other Federal, State, or local permits, which may be required. In Florida, projects qualifying for this GP must be authorized under Part IV of Chapter 373 by the Department of Environmental Protection, a water management district under

§. 373.069, F.S., or a local government with delegated authority under §. 373.441, F.S. and receive Water Quality Certification (WQC) and Coastal Zone Consistency Concurrence (CZCC) or waiver thereof, as well as any authorizations required for the use of sovereign submerged lands that must be obtained as part of the associated WQC or CZCC. You should check State-permitting requirements with the Florida Department of Environmental Protection or the appropriate water management district.

If you are unable to access the internet or require a hardcopy of any of the conditions, limitations, or expiration date for the above referenced GP, please contact Samantha L. Rice by telephone at 561-472-3530.

Thank you for your cooperation with our permit program. The Corps Jacksonville District Regulatory Division is committed to improving service to our customers. We strive to perform our duty in a friendly and timely manner while working to preserve our environment. We invite you to take a few minutes to visit the following link and complete our automated Customer Service Survey: <http://regulatory.usacesurvey.com/>. Your input is appreciated - favorable or otherwise.

Sincerely,



Samantha L. Rice
Project Manager

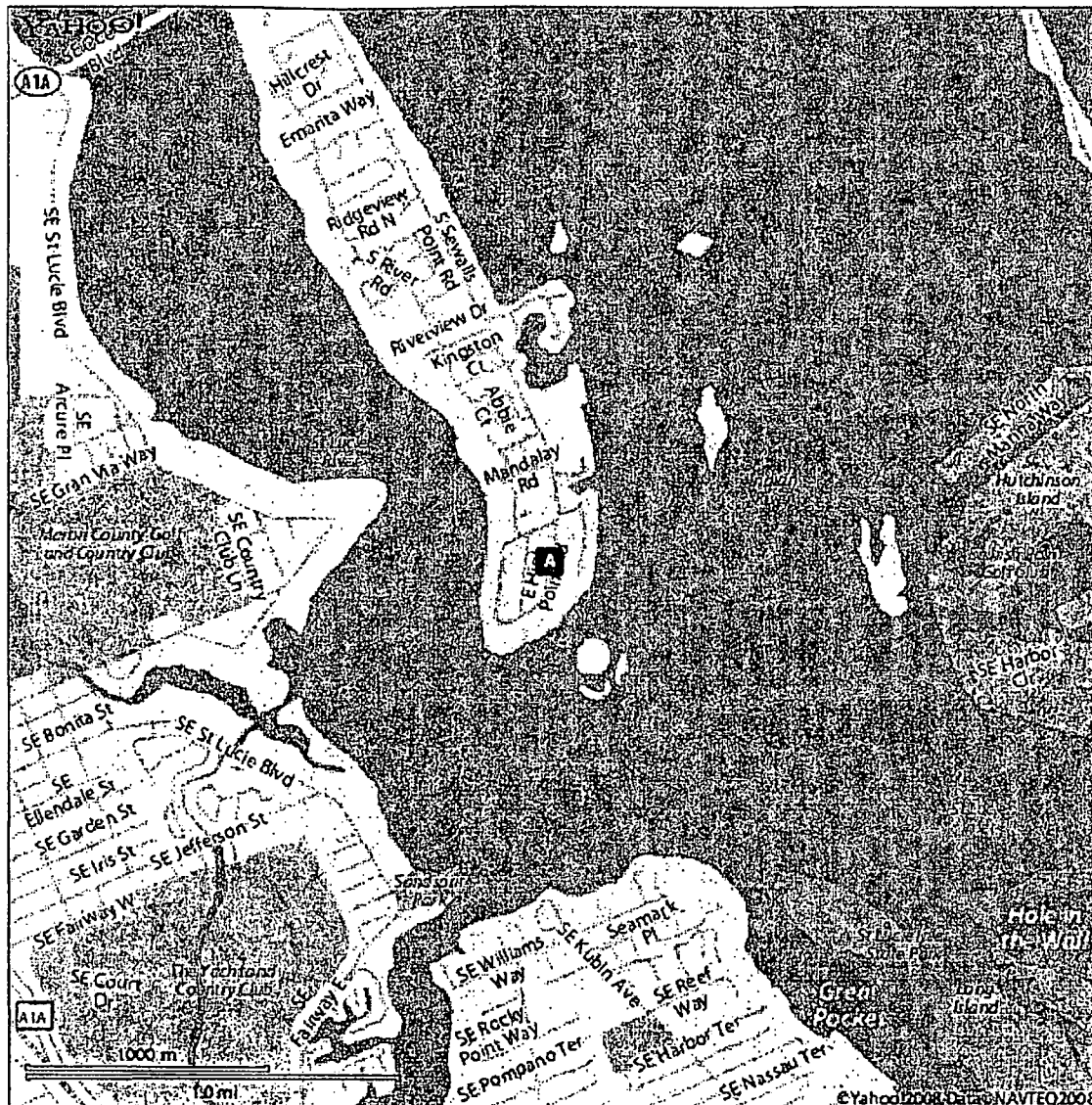
Enclosures

Copies Furnished:

Hammerhead Marine Construction
c/o Dennis Respol
2633 SW Tanfora Boulevard
Port St. Lucie, Florida 34987

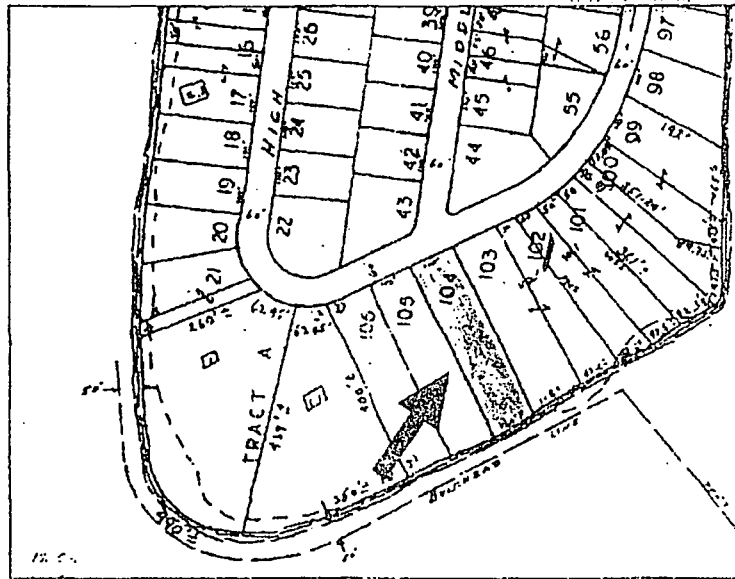
CESAJ-RD-PE, Cameron Shaw

YAHOO! LOCAL
Maps

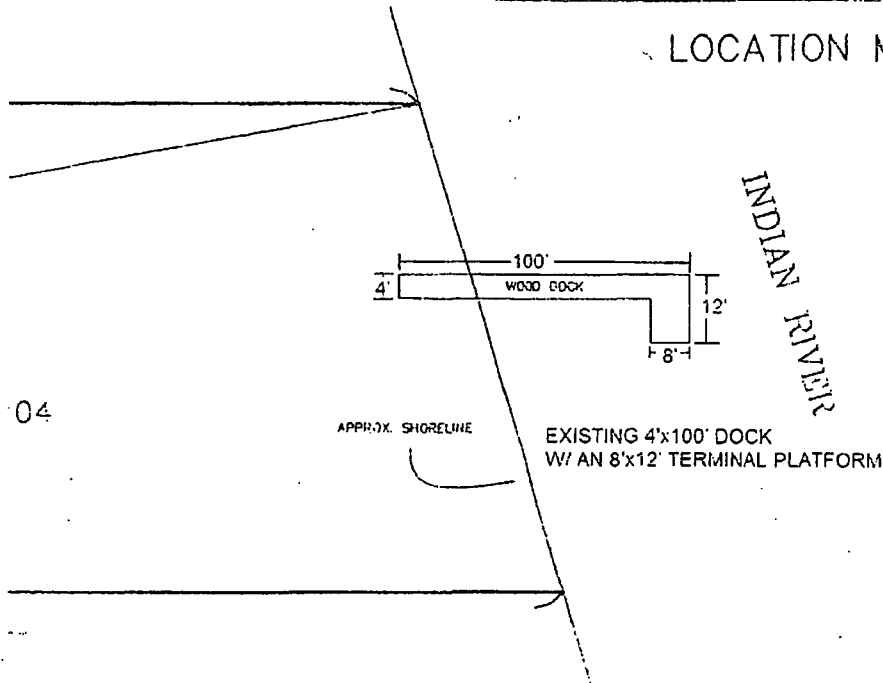


<http://maps.yahoo.com/print?mvt=m&tp=1&stx=&fcat=&frat=&clat=27.177194&clon=-8...> 5/21/2009

EXISTING DOCK



LOCATION MAP

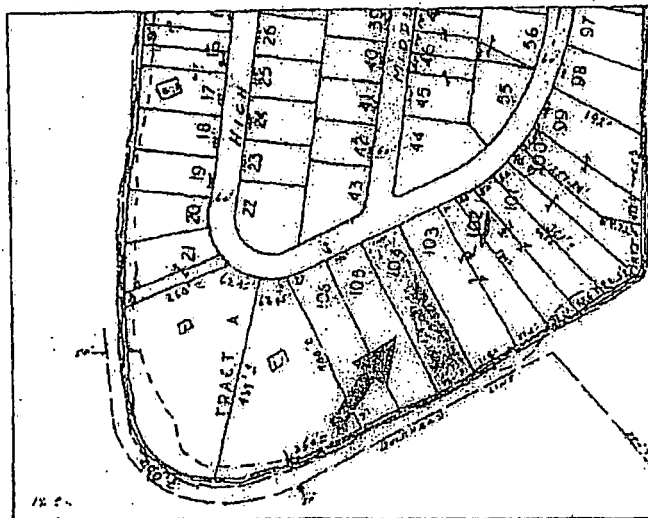


MARTIN BYROM
34 EAST HIGH POINT ROAD
SEAWALL'S POINT, FL

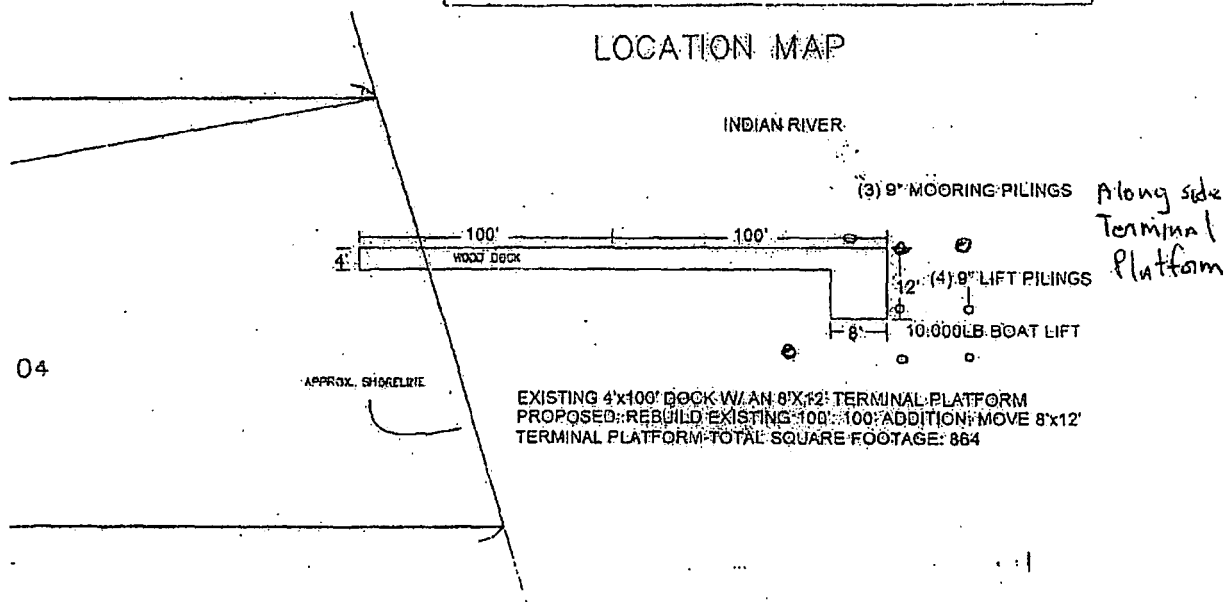
LEGAL DESCRIPTION

LOT 104, ISLE ADDITION TO HIGH POINT,
AS RECORDED IN PLAT BOOK 4, PAGE 47,
PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA

41. 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 2681



LOCATION MAP

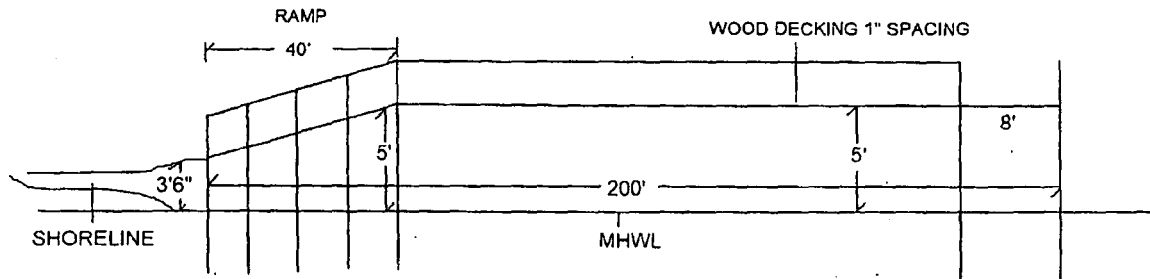


MARTIN BYROM
34 EAST HIGH POINT ROAD
SEAWALL'S POINT, FL

LEGAL DESCRIPTION

LOT 124, ISLE ABATEMENT TO HIGH POINT,
AS RECORDED IN PLAT BOOK 4, PAGE 47,
FUEL'S RECORDS OF MARTIN COUNTY, FLORIDA

*Requesting To Ramp Up 40' To 5' Above MHWL So As To Avoid
Constructing Ramp Up Into Yard. Elderly Homeowners - Steps
Are Not A Good Idea



*80% OF DOCK WILL BE 5' ABOVE MHWL

* GRATED DECKING USED
IN AREAS WHERE THE
DOCK TRAVERSES Johnson's Seagrass.

MARTIN BYROM

HAMMERHEAD MARINE CONSTRUCTION, INC.
2633 SW TANFORAN BLVD
PORT ST LUCIE, FL 34987
PHONE: (772) 336-7420 FAX: (772) 336-7370
WWW.HAMMERHEADMARINE.COM

RESOURCES SURVEY

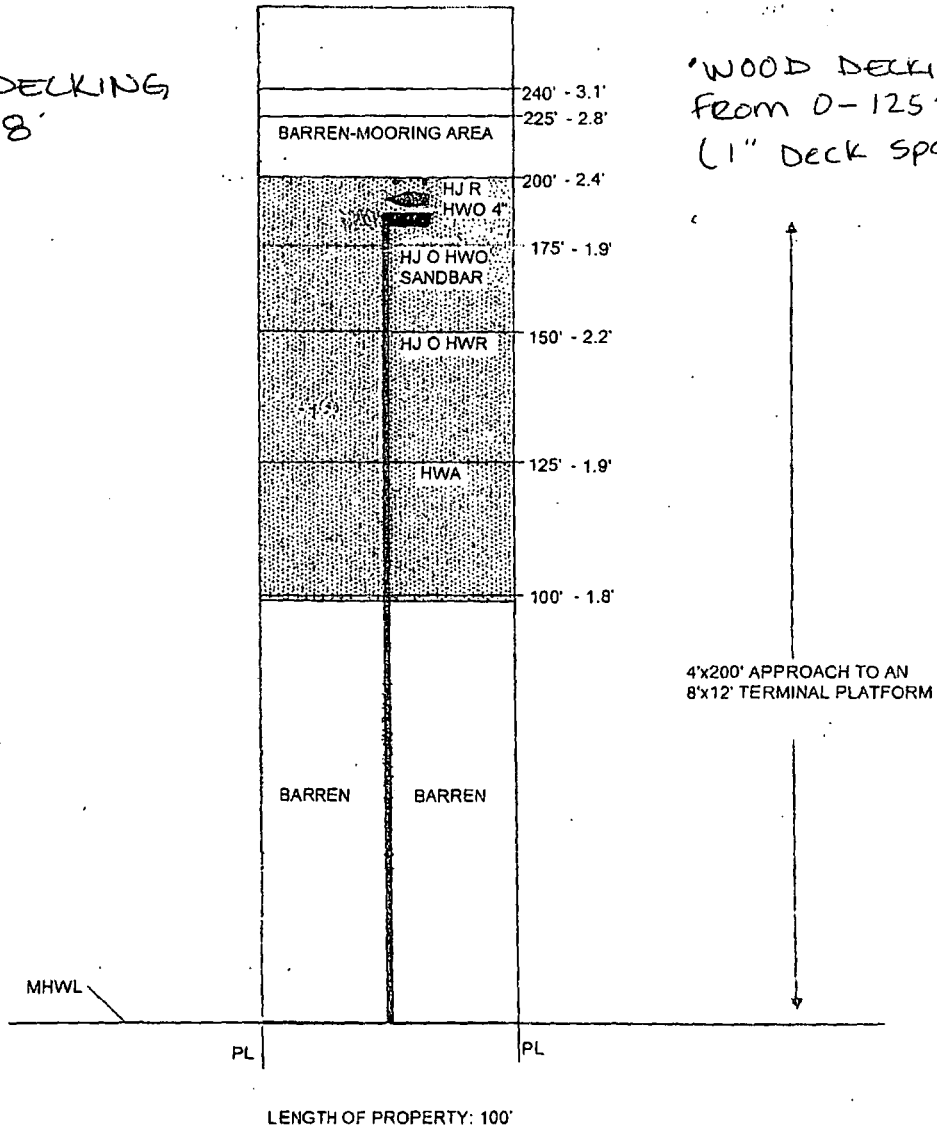
TO CHANNEL 4' MLW

TOTAL SQUARE FEET: 896

NOTE:

• GRATED DECKING
125' - 208'

• WOOD DECKING
FROM 0-125'
(1" DECK SPACING)



MARTIN BYROM
34 EAST HIGH POINT ROAD
SEAWALL'S POINT, FL

HAMMERHEAD MARINE CONSTRUCTION
2633 SW TANFORAN BLVD
PORT ST LUCIE, FL 34987
PHONE: (772) 336-7420 FAX: (772) 336-7370
WWW.HAMMERHEADMARINE.COM



Jack Long, Director
Southeast District Office

Florida Department of Environmental Protection

Port St. Lucie Branch Office
1801 SE Hillmoor Drive, Suite C-204
Port Saint Lucie, FL 34952

(772) 398-2806
FAX #(772) 398-2815

Charlie Crist
Governor

Jeff Kottkamp
Lt. Governor

Michael W. Sole
Secretary

380-1260
Cindy Lott
561-681-6600
500-774-5866

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Martin Byrom
34 E High Point Road
Sewall's Point, FL 34996

Re: File No.: 43-0295914-001/002/003
File Name: Byrom, Martin

Dear Mr. Byrom:

On May 20, 2009, we received your application for an exemption, and on July 1, 2009, your application was complete, to perform the following activities: remove an existing terminal platform; construct a 4 ft. by 92 ft. access and an 8 ft. by 12 ft. terminal platform addition with two associated mooring areas, and replace an existing 4 ft. by 100 ft. access (total 864 sq. ft.). The project is located in the St. Lucie River, Class III Waters, adjacent to 34 E High Point Drive, Sewall's Point (Hanson Grant, Township 38 South, Range 41 East), in Martin County (27° 10' 26.7" North Latitude, 80° 11' 21.69" West Longitude).

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for work in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project may not have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

1. Regulatory Review. -EXEMPTION VERIFIED

The Department has reviewed the submitted information and has determined that the projects are not expected to cause the release of pollutants in sufficient quantity, quality, content, or character with respect to the circumstances surrounding the location, use, and operation of the project, as to contribute to pollution in contravention of the provisions of Chapters 373 and 403, Florida Statutes (F.S.), or Title 62, Florida Administrative Code (F.A.C.).

Therefore, based solely upon the documents submitted to the Department, the project to remove an existing terminal platform has been determined to qualify as an activity that is exempt from the need for an environmental resource permit pursuant to Chapter 373.406(6), F.S.

Based on the information you submitted, we have determined that your project to construct a dock addition with mooring areas and replace an existing access is exempt from the need to obtain a DEP Environmental Resource Permit under Rules 40E-4.051(3)(b) and 40E-4.051(3)(d), F.A.C.

This determination is applicable only pursuant to the statutes and rules in effect at the time the information was submitted. This determination may not be valid in the event subsequent changes occur in the applicable statutes and rules of the Department. Pursuant to Rule 62-302, F.A.C., activities that qualify for this exemption must be constructed and operated using appropriate best management practices and in a manner that does not cause water quality violations.

The determination that your project qualifies as an exempt activity pursuant to Chapter 373.406(6), F.S., may be revoked if the installation is substantially modified, or if the basis for the exemption is determined to be materially incorrect, or if the installation results in water quality violations. Any changes made in the construction plans or location of the projects may necessitate a permit or certification from the Department. Therefore, you are advised to contact the Department before beginning the projects and before beginning any work in waters or wetlands which is not specifically described in your submittal.

2. Proprietary Review. -GRANTED

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereignty submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project will occur on sovereignty submerged land and will require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the

"More Protection, Less Process"
www.dep.state.fl.us

described boundaries and is consistent with the attached general consent conditions, the project qualifies for consent by rule to use sovereignty submerged lands. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees to perform the project.

3. Federal Review (SPGP). –NOT GRANTED

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (Corps). The agreement is outlined in a document titled Coordination Agreement between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is not consistent with the SPGP program. A copy of your application has been sent to the Corps who may require a separate permit. Failure to obtain their authorization prior to construction could subject you to enforcement action. For further information, contact the Corps directly 561-472-3530.

The determinations in this letter are based solely on the information provided to the Department and on the statutes and rules in effect when the application was submitted. The determinations are effective only for the specific activity proposed. These determinations shall automatically expire if site conditions materially change or if the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

This letter does not relieve you from the responsibility of obtaining other permits (federal, state, or local) that may be required for the project.

NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS

This letter acknowledges that the proposed activity is exempt from ERP permitting requirements under Chapter 373.406(6), F.S. and Rules 40E-4.051(3)(b) and 40E-4.051(3)(d), F.A.C. This determination is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this determination automatically becomes only proposed agency action subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. The procedures for petitioning for a hearing are set forth in the attached notice.

This determination is based on the information you provided the Department and the statutes and rules in effect when the application was submitted and is effective only for the specific activity proposed. This determination shall automatically expire if site conditions materially change or the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. Because the administrative hearing process is designed to re-determine final agency action on the application, the filing of a petition for an administrative hearing may result in a final determination that the proposed activity is not authorized under the exemption established under Chapter 373.406(6), F.S. and Rules 40E-4.051(3)(b) and 40E-4.051(3)(d), F.A.C.

The Department will not publish notice of this determination. Publication of this notice by you is optional and is not required for you to proceed. However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permit.

If you wish to limit the time within which all substantially affected persons may request an administrative hearing, you may elect to publish, at your own expense, the enclosed notice (Attachment A) in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place. A single publication will suffice.

If you wish to limit the time within which any specific person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of sections 50.011 and 50.031 of the Florida Statutes. In the event you do publish this notice, within seven days of publication, you must provide to the following address proof of publication issued by the newspaper as provided in section 50.051 of the Florida Statutes. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

File No.: 43-0295914-001/002/003

File Name: Byrom, Martin

Page 3 of 3

Florida Department of Environmental Protection
Southeast District Branch Office
1801 SE Hillmoor Drive, Suite C-204
Port St. Lucie, Florida 34952

If you have any questions, please contact Christina Macon at 772-398-2806, Ex.140 or by email at Christina.Macon@dep.state.fl.us.
When referring to your project, please use the FDEP file name and number listed above.

Sincerely,

Mary C. Murphy Date
Environmental Administrator
Florida Department of Environmental Protection
Southeast District Branch Office

MCM/EMS/cm

Enclosures

cc: USACOE Palm Beach Gardens, Samantha.L.Rice@usace.army.mil
Hammerhead Marine Construction, Dennis Respol, hammerheadmarineco@comcast.net (Agent)

FILING AND ACKNOWLEDGMENT

FILED, on this date, under 120.52(7) of the
Florida Statutes, with the designated Department Clerk,
receipt of which is hereby acknowledged.

Clerk

Date

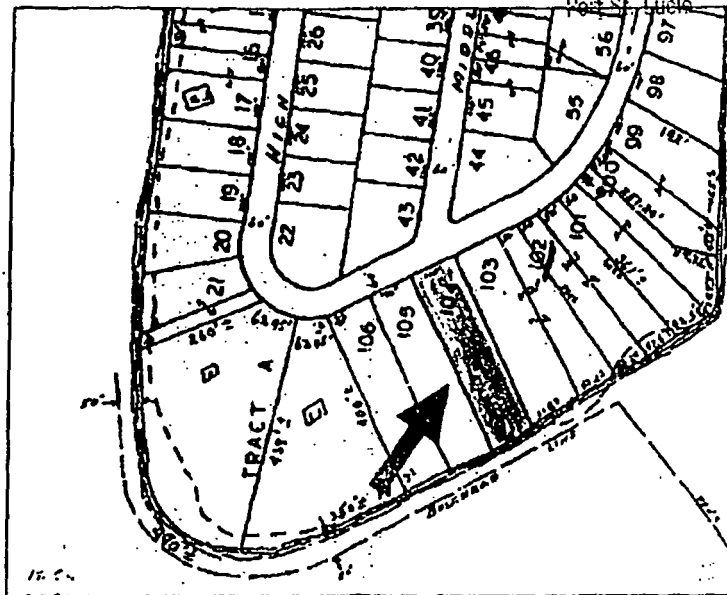
EXISTING DOCK

RECEIVED

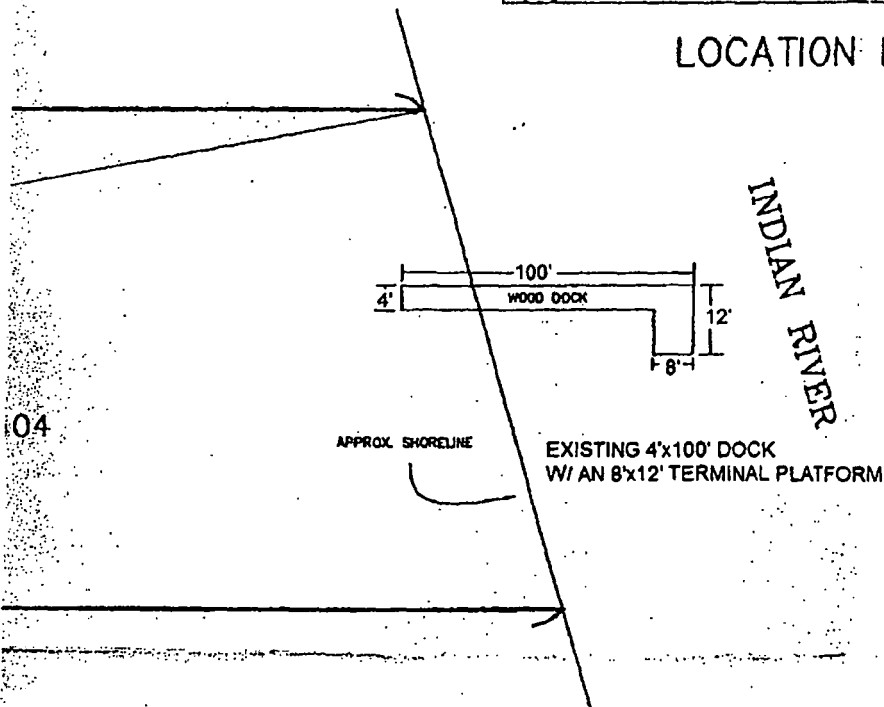
MAY 26 2009

Dept. of Environ. Protection

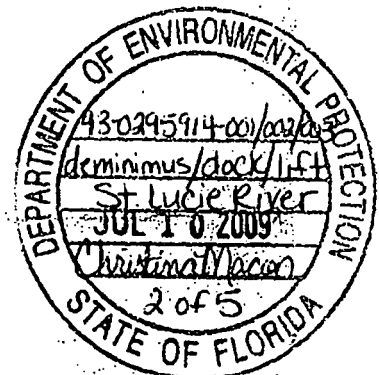
Port St. Lucie



LOCATION MAP



EXISTING 4'x100' DOCK
W/ AN 8'x12' TERMINAL PLATFORM



MARTIN BYROM
34 EAST HIGH POINT ROAD
SEAWALL'S POINT, FL

LEGAL DESCRIPTION

LOT 104, ISLE ADDITION TO HIGH POINT,
AS RECORDED IN PLAT BOOK 4, PAGE 47,
PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA

RECEIVED

JUL 10 2009

Dept. of Planning, Policy and
Economic Development

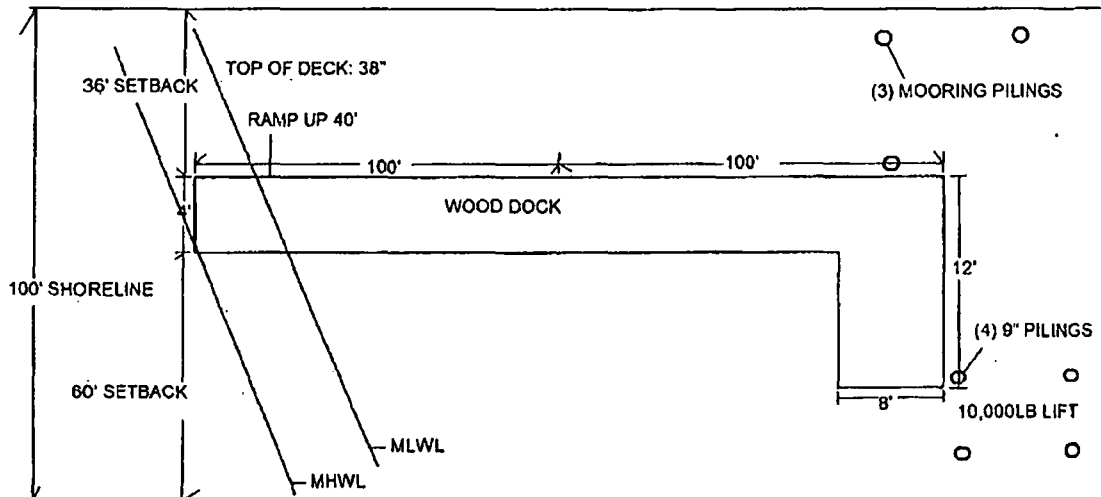
1

PLAN VIEW

EXISTING: 4'x100' DOCK W/ AN 8'x12' TERMINAL PLATFORM
PROPOSED: REBUILD EXISTING 100'; CONSTRUCT 100'
ADDITION: MOVE 8'x12' TERMINAL PLATFORM

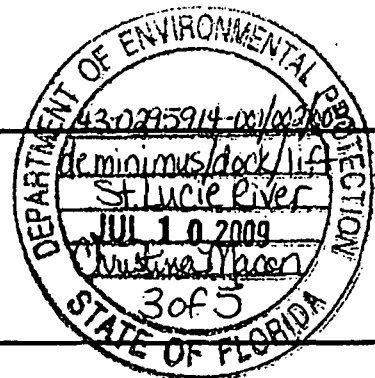
REVISION
7/01/09

EXISTING SQUARE FOOTAGE: 464
PROPOSED SQUARE FOOTAGE: 864



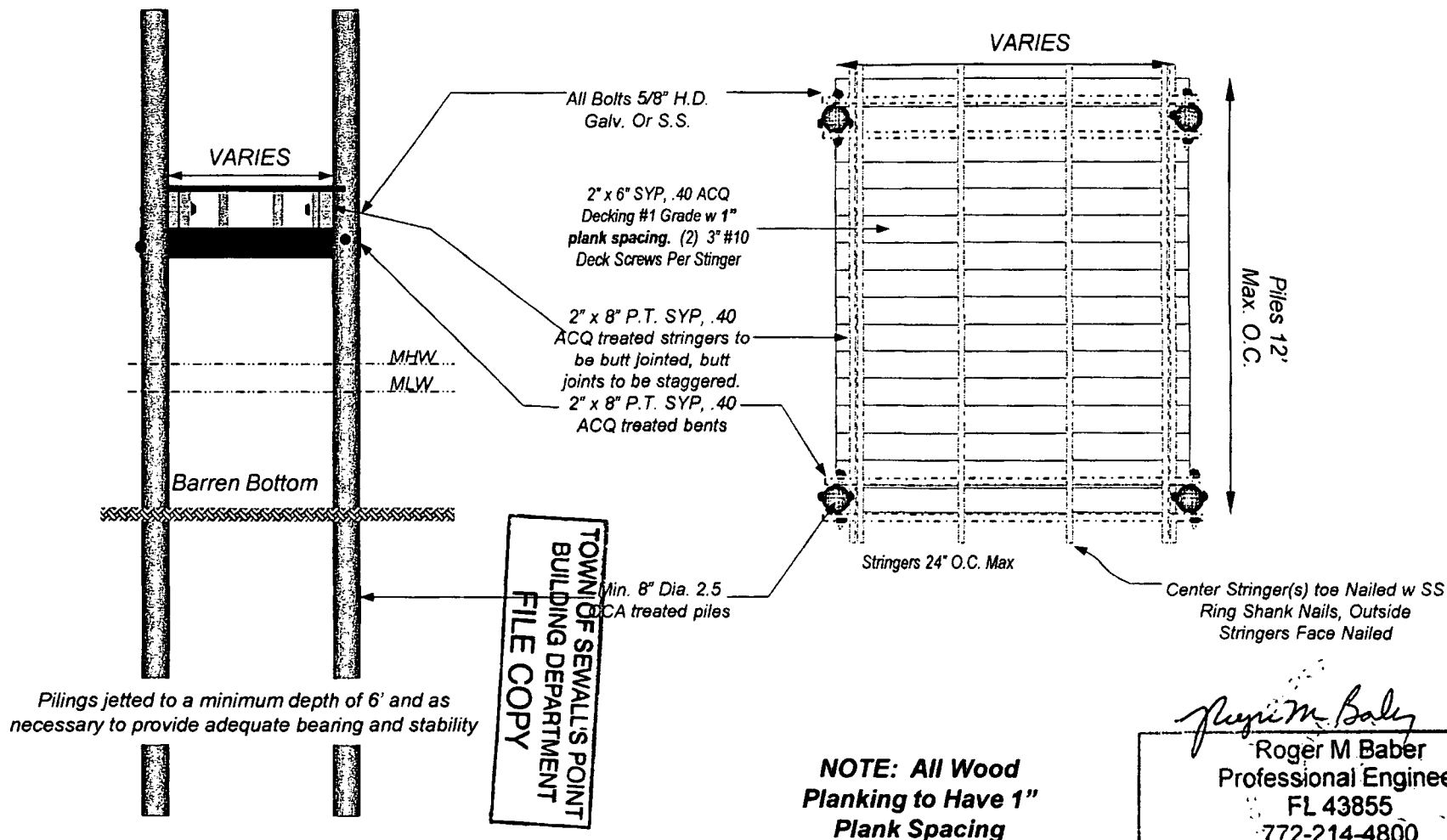
MARTIN BYROM
34 EAST HIGH POINT ROAD
SEWALL'S POINT, FL

HAMMERHEAD MARINE CONSTRUCTION
2633 SW TANFORAN BLVD
PORT ST LUCIE, FL 34987
PHONE: (772) 336-7420 FAX: (772) 336-7370
WWW.HAMMERHEADMARINE.COM



Pier Section Thru

Pier Plan View



Roger M. Baber
 Roger M Baber
 Professional Engineer
 FL 43855
 772-214-4800
 sustainableearth@comcast.net

BYROM
34 E. HIGH POINT ROAD
STUART

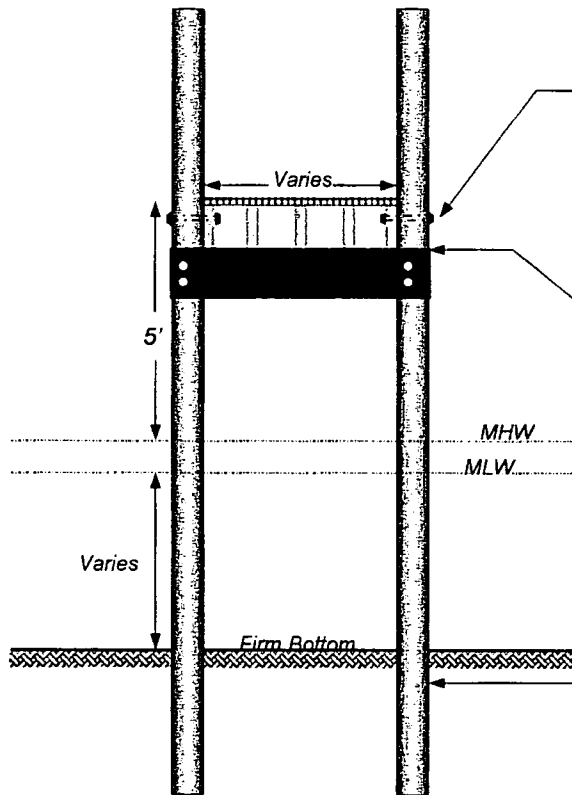


Design & Drawing by:
 Jerner & Associates, Inc.
 Environmental Consulting
 110 SW 5th Street, Stuart FL 34994
 Ph. (772) 283-2950 / Fax (772) 283-2760

Date: 2/5/13

EXHIBIT A

Access & Terminus Section Thru



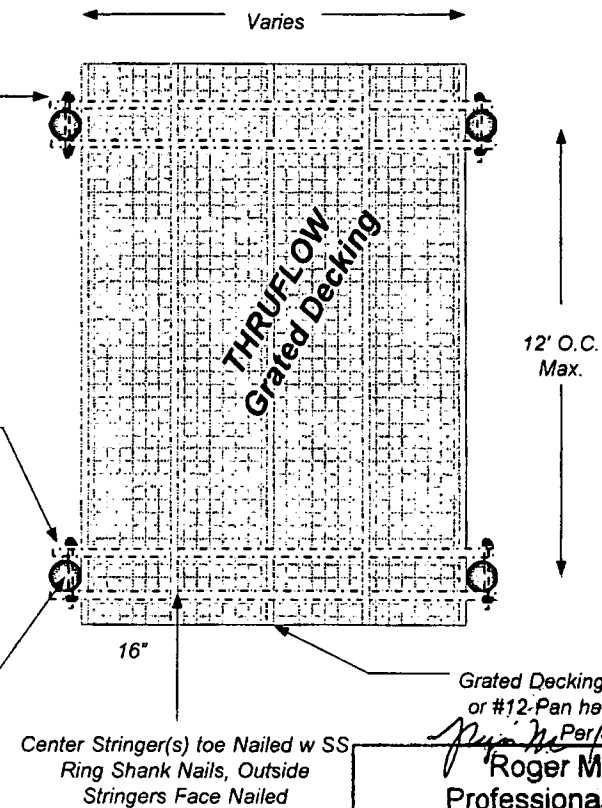
Pilings jettied to a minimum depth of 6' and as necessary to provide adequate bearing and stability

All Bolts 5/8"
S.S. or HDG

2" x 8", SYP, .40 CCA
or ACQ treated
stringers, lap spliced
2" x 8", SYP, .40 CCA
or ACQ treated bents

8" Dia. CCA
treated piles

Access & Terminus Plan View

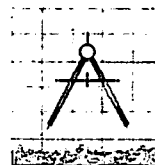


Grated Decking Secured with #10
or #12 Pan head S.S. Screws 2
Per Stringer

Roger M Baber
Roger M Baber
Professional Engineer
FL 43855

772-214-4800
sustainableearth@comcast.net

BYROM
34 E. HIGH POINT ROAD
STUART



Design & Drawing by:
Jerner & Associates, Inc.
Environmental Consulting
110 SW 5th Street, Stuart FL 34994
Ph. (772) 283-2950 / Fax (772) 283-2760

Date: 2/5/13

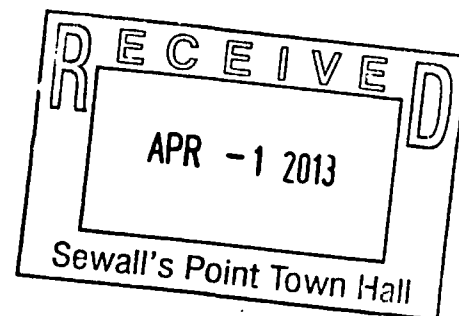
EXHIBIT B

From: Rice, Samantha L SAJ (Samantha.L.Rice@usace.army.mil)
To: jerner@bellsouth.net;
Date: Mon, March 11, 2013 9:15:40 AM
Cc:
Subject: RE: Marty Byrom GP 2009-02062 (UNCLASSIFIED)

Classification: UNCLASSIFIED

Caveats: NONE

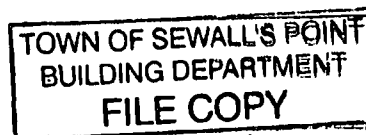
Bruce,



You are correct. For GPs that were issued under the previous GP authorization, if the proposed work was under contract to commence prior to the expiration date they have 1 year from the expiration date of the GP. If the Town needs additional information on this please let me know.

Please assist us in better serving you! Please complete the customer survey by clicking on the following link: : <http://per2.nwp.usace.army.mil/survey.html>

Samantha L. Rice
Biologist
US Army Corps of Engineers
4400 PGA Blvd, Suite 500
Palm Beach Gardens, FL 33410
Office: 561-472-3530
Fax: 561-626-6971



-----Original Message-----

From: Bruce Jerner [mailto:jerner@bellsouth.net]
Sent: Friday, March 08, 2013 4:10 PM
To: Rice, Samantha L SAJ
Subject: Marty Byrom GP 2009-02062

Hi Samantha,

We recently submitted an application to the Town of Sewalls' Point to construct a dock extension pursuant the permit referenced above. The permittee engaged a contractor in April 2012 and the dated contract was submitted along with the application as proof of complying with Condition #5, that the permittee was under contract to perform the work prior to expiration of the permit. We are prepared to commence and complete construction before the end of May as stated in the GP. The Town is looking for verification from the Corps that the contractual agreement allows the permittee to complete the work within 1 year of the GP expiration date. Could you respond to this e-mail and indicate if you concur that the GP is valid until May 29th of this year? Let me know if you need any additional information Samantha. Thanks

Bruce Jerner
Jerner & Associates, Inc.
Marine & Environmental Consulting
110 SW 5th Street
Stuart, FL 34994
PH: (772)283-2950

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Biologist
US Army Corps of Engineers
4400 PGA Blvd, Suite 500
Palm Beach Gardens, FL 33410
Office: 561-472-3530
Fax: 561-626-6971

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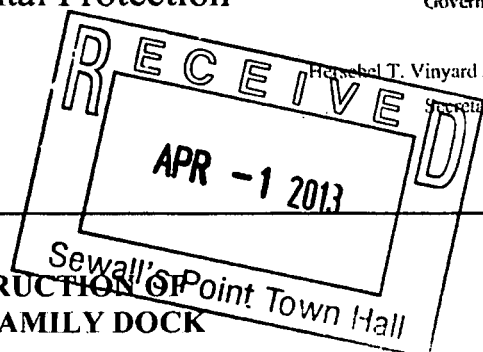


Florida Department of Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

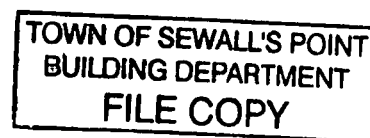
Rick Scott
Governor

Hansel T. Vinyard Jr.
Secretary



SELF CERTIFICATION FOR CONSTRUCTION OF A PRIVATE, RESIDENTIAL SINGLE-FAMILY DOCK

Self Certification File No.: 0317717001EE
File Name: 34 E High Point Rd Stuart, FL 34996
- Self Cert Exempt Dock with Boat Lift(s) (General)



Dear **BRUCE JERNER**: On, **04/01/2013**, you used the Department's electronic Self Certification Process to certify compliance with the terms and conditions necessary for construction of a private, residential single-family dock, at a detached, single-family residence located at:

LAT - Degrees: 27 Minutes: 10 Seconds: 27.8127
LONG - Degrees: -80 Minutes: 11 Seconds: 22.5572
SITE ADDRESS: 34 E High Point Rd Stuart, FL 34996
COUNTY: Martin

For:
Martin Byrom
34 East High Point Road

Stuart, FL 34996

You have certified that the dock you propose to construct at the above location meets all the conditions of the Self Certification Process. A dock that is built in conformance to those conditions (attached for reference) will:

1. Qualify for a regulatory exemption under Part IV of Chapter 373 and Section 403.813(2)(b) of the Florida Statutes, and Chapters 62-330, and 62-343 of the Florida Administrative Code (F.A.C.). As such, it is exempt from the need to obtain a DEP Environmental Resource Permit.
2. Qualify for a consent by rule to use submerged lands under Chapter 253 of the Florida Statutes and Chapter 18-21 of the Florida Administrative Code, when the dock is located on submerged lands owned by the State of Florida.

Your Self Certification is based solely on the information you provided under this process, and applies only to the statutes and rules in effect when your certification was completed. The certification is effective only for the specific dock proposed, and only if the dock is constructed, operated, and maintained in conformance with all the terms, conditions, and limitations stated in the Self Certification Process. In addition, any

substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required.

You have acknowledged that this Self Certification will automatically expire if:

1. Construction of the dock is not completed within one year from the self certification date;
2. site conditions materially change;
3. the terms, conditions, and limitations of the Self Certification are not followed; or
4. the governing statutes or rules are amended before construction of the project.

Completion of the Self Certification constitutes your authorization for Department personnel to enter the property for purposes of inspecting for compliance.

Receipt of this Self Certification constitutes letter of consent required by rule 18-21.004(7) F.A.C.

ADDITIONAL INFORMATION

This Self Certification Process does not relieve you from the responsibility of obtaining other permits or authorizations from other agencies (federal, state, Water Management District, or local) that may be required for the project. Construction of the dock may require federal authorization. The Corps has been furnished a copy of your Self Certification letter. They will contact you with further information about their process. If you do not hear from them, please contact them directly. Jacksonville District contact information can be found at: <http://www.saj.usace.army.mil/Missions/Regulatory.aspx>. Failure to obtain all applicable authorizations prior to construction of the dock may result in enforcement.

If you have any questions, please contact your local Department District Office. Contact information can be found at: http://www.dep.state.fl.us/water/wetlands/docs/sler_contacts.pdf. When referring to your project, please use the Self Certification file number listed above.

Sincerely,
Florida Department of Environmental Protection

Enclosures:

Single Family Dock Criteria
General Conditions for Sovereignty/State-Owned Submerged Lands Authorization
Manatee Conditions

Private residential single family docks are subject to the following criteria in accordance with Section 403.813(1)(b), F.S. The dock to be constructed:

1. Has 1,000 square feet or less over water surface (includes adjacent wetlands) in accordance with Chapter 62-340, F.A.C.;
2. Is constructed on or held in place by pilings and is constructed so as not to involve filling or dredging other than that necessary to install the pilings;
3. Will not substantially impede the flow of water, cause water pollution, or create a navigational hazard;
4. Is used ONLY for recreational, noncommercial activities associated with the mooring or storage of boats and boat paraphernalia;
5. Is the sole dock on the parcel; and

6. Must not be subject to any conservation easement or restrictive covenant of record prohibiting the activity.

Boat lifts are subject to the following additional conditions:

1. Is to be installed in an existing slip or, at or adjacent to the waterward end of the dock;
2. With other mooring will not result in the mooring of more than two vessels (including jet skis);
3. Will not be located in areas prohibited for mooring by a previously issued permit or other form of authorization issued by a local government;

General Conditions for Sovereignty/State-Owned Submerged Lands Authorization

Any use of sovereignty/state-owned submerged lands is subject to the following general conditions that are binding upon the applicant and are enforceable under Chapters 253 or 258, F.S.:

1. Sovereignty/state-owned submerged lands may be used only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use will constitute a violation. Violation of the authorization will result in suspension or revocation of the applicant's use of the sovereignty/state-owned submerged lands unless cured to the satisfaction of the Board of Trustees of the Internal Improvement Trust Fund (Board).
2. Authorization under Rule 18-21.005, F.A.C., conveys no title to sovereignty/state-owned submerged lands or water column, nor does it constitute recognition or acknowledgment of any other person's title to such land or water.
3. Authorizations under Rule 18-21.005, F.A.C., may be modified, suspended or revoked in accordance with its terms or the remedies provided in Sections 253.04, F.S. or Chapter 18-14, F.A.C.
4. Structures or activities will be constructed and used to avoid or minimize adverse impacts to resources.
5. Construction, use, or operation of the structure or activity will not adversely affect any species which is endangered, threatened or of special concern, as listed in Rules 68A-27.003, 68A-27.004, and 68A-27.005, F.A.C.
6. Structures or activities will not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity will be modified in accordance with the court's decision.
7. Structures or activities will not create a navigational hazard.
8. Structures will be maintained in a functional condition and will be repaired or removed if they become dilapidated to such an extent that they are no longer functional.
9. Structures or activities will be constructed, operated, and maintained solely for water dependent purposes.
10. The applicant agrees to indemnify, defend and hold harmless the Board and the State of Florida from

radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.

5. Any collision with or injury to a manatee will be reported immediately to the FWC Hotline at 1-888-404-FWCC. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida.
6. Temporary signs concerning manatees will be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Awareness signs that have already been approved for this use by the Florida Fish and Wildlife Conservation Commission (FWC) must be used (see MyFWC.com). One sign which reads Caution: Boaters must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

☐ Mon

☐ Tue

☐ Wed

☐ Thur

☒ Fri

8-30-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10560	McIlwanna	dry-in / metal	FAIL	MISSING AFFIDAVIT
5	20 Castle Hill			rec'd affidavit
	Vero Beach Roofing		OVER PASS	INSPECTOR <i>OW</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10569	Crispin	Final	PASS	CLOSE
1	30 E High Pt	Condenser only		
	Nis An			INSPECTOR <i>OW</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10550	Sedor	Final	Homeowner	cancelled
	5 Lantana La	Roof		
	All Am Roof & Coating			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10082	Goudis	light niche	PASS	
4	25 Skiver Rd			
	Ol Custom			INSPECTOR <i>OW</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
		Bamboo		OK TO REMOVE
3	9 Mandalay			BAMBOO
	Denise 288-3052 / 285-6323 cell			INSPECTOR <i>OW</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10405	Boxer	Final	FAIL	NO PERMIT
2	34 E High Pt	deck	PASS	OK JOB
	TC Barge			INSPECTOR <i>OW</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

11105

POOL AND SPA NO DECK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW
FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	11105	DATE ISSUED:	December 4, 2014
SCOPE OF WORK:	Pool & Spa - No Deck		
CONTRACTOR:	Robert Dean Schiller Pools, Inc		
PARCEL CONTROL NUMBER:	13-38-41-003-000-01400-4	SUBDIVISION:	High Point Isle Addn Lot 104
CONSTRUCTION ADDRESS:	34 E. High Point Road		
OWNER NAME:	Madris		
QUALIFIER:	Robert Dean Schiller	CONTACT PHONE NUMBER:	772-287-0768

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
CALL 287-2455 - 8:00AM TO 4:00PM

INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING _____
UNDERGROUND MECHANICAL _____
STEM-WALL FOOTING _____
SLAB _____
ROOF SHEATHING _____
TIE DOWN /TRUSS ENG _____
WINDOW/DOOR BUCKS _____
ROOF DRY-IN/METAL _____
PLUMBING ROUGH-IN _____
MECHANICAL ROUGH-IN _____
FRAMING _____
FINAL PLUMBING _____
FINAL MECHANICAL _____
FINAL ROOF _____

UNDERGROUND GAS _____
UNDERGROUND ELECTRICAL _____
FOOTING _____
TIE BEAM/COLUMNS _____
WALL SHEATHING _____
INSULATION _____
LATH _____
ROOF TILE IN-PROGRESS _____
ELECTRICAL ROUGH-IN _____
GAS ROUGH-IN _____
METER FINAL _____
FINAL ELECTRICAL _____
FINAL GAS _____
BUILDING FINAL _____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	11105		
ADDRESS:	34 E. High Point Road		
DATE ISSUED:	12/4/2014	SCOPE OF WORK:	Pool & Spa - No Deck

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
---	--	-----------------------	-----------	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel:			
@ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 94,650.00
Total number of inspections: @ \$ 100.00 per insp. # insp		\$	600.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 9.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 9.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	37.86
TOTAL ACCESSORY PERMIT FEE:		\$	655.86



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	11105		
ADDRESS:	34 E. High Point Road		
DATE ISSUED:	12/4/2014	SCOPE OF WORK:	Pool & Spa - No Deck

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$
------------------------------------	----------------	----

Plan Submittal Fee (\$350.00 SER \$175.00 Remodel < \$200K)	\$
---	----

ROBERT DEAN SCHILLER POOLS, INC.

3590 SE DIXIE HWY
STUART, FL 34997
(772) 287-0768

TOWN OF SEWALL'S POINT

DATE 12/5/14

PAY
TO THE
ORDER OF



America's Most Convenient Bank®

\$ 655.86

100 DOLLARS

[Signature]

DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)	\$	
Road impact assessment: (.04% of construction value - \$5 min.)		n/a
Martin County Impact Fee:	\$	
TOTAL BUILDING PERMIT FEE:	\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 94,650.00
Total number of inspections:	@ \$ 100.00 per insp. # insp	6	\$ 600.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 9.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 9.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	\$ 37.86

TOTAL ACCESSORY PERMIT FEE:	\$	\$ 655.86
-----------------------------	----	-----------

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Date: 11/12/14

Permit Number: 11105

OWNER/LESSEE NAME: Russell L. Madors Phone (Day) 561-654-5171 (Fax) _____

Job Site Address: 34 East High Point Rd. City: Stuart State: FL Zip: 34997

Legal Description: B-38-41-003-000-0040-4 Parcel Control Number: High Point Isle Addn lot 104

Fee Simple Holder Name: _____ Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):**

Pool & SPA NO Deck

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)

YES ☐

NO ☒

Has a Zoning Variance ever been granted on this property?

YES ☐

(YEAR) _____

NO ☐

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 94,650

(Notice of Commencement required when over \$2500 prior to first inspection. \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 ☐ AE9 ☐ AE8 ☒

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ _____

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Robert Dean Schiller Pools, Inc.

Phone: 772-287-0768

Fax: 772-287-9970

Qualifiers name: Robert Dean Schiller

Street: 3590 SE Dixie Hwy.

City: Stuart

State: FL

Zip: 34997

State License Number: CPC1457983

OR: Municipality: _____

License Number: _____

LOCAL CONTACT: Dean Schiller

Phone Number: 772-323-1126

DESIGN PROFESSIONAL: Pool & Spa Designs

Fla. License# 53895

Street: 6574 State Road 7 #199

City: Coconut Creek

State: FL

Zip: 33073

Phone Number: 954-854-7741

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE*: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:

State of Florida, County of: Martin
is the 12th day of Nov, 2014
Russell Madors who is personally
known to me or produced FL DL
As identification, [Signature]
Notary Public
My Commission Expires: 2/27/16

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

X [Signature]
State of Florida, County of: Martin
On This the 12th day of Nov, 2014
by Robert D. Schiller who is personally
known to me or produced _____
As identification, [Signature]
Notary Public
My Commission Expires: 2/27/16

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

CAROLINA R SAMAYOA

MY COMMISSION # EE173389

EXPIRES February 27, 2016

Florida Notary Service, Inc.

352-389-0153

CAROLINA R SAMAYOA
COMMISSION # EE173389
EXPIRES February 27, 2016
Florida Notary Service, Inc.

Town of Sewall's Point

Date: _____ **BUILDING PERMIT APPLICATION** **Permit Number:** _____

OWNER/LESSEE NAME: Russell Madris **Phone (Day)** 561-654-5171 **(Fax)** _____

Job Site Address: 34 W High Pt Rd **City:** Sewall's Point **State:** FL **Zip:** 34996

Legal Description _____ **Parcel Control Number:** _____

Fee Simple Holder Name: _____ **Address:** _____

City: _____ **State:** _____ **Zip:** _____ **Telephone:** _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Pool Renovation

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
YES ☒ **NO** ☐

Has a Zoning Variance ever been granted on this property?
YES ☐ **(YEAR)** _____ **NO** ☒

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ _____
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 ☐ AE9 ☐ AE8 ☒ **X**
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: O/B **Phone:** _____ **Fax:** _____

Qualifiers name: _____ **Street:** _____ **City:** _____ **State:** _____ **Zip:** _____

State License Number: _____ **OR: Municipality:** _____ **License Number:** _____

LOCAL CONTACT: _____ **Phone Number:** _____

DESIGN PROFESSIONAL: _____ **Fla. License#** _____

Street: _____ **City:** _____ **State:** _____ **Zip:** _____ **Phone Number:** _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ **Total under Roof** _____ **Elevated Deck:** _____ **Enclosed area below BFE*:** _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:

X _____

State of Florida, County of: Martin

On This the 15 day of April

by Russell Madris who is personally known to me or produced _____

As identification. _____

Notary Public

My Commission Expires: 03/14/2016

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

X _____

State of Florida, County of: _____

On This the _____ day of _____ 20____

by _____ who is personally known to me or produced _____

As identification. _____

Notary Public

My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Russell Madris

CONSTRUCTION ADDRESS: 34 HIGH POINT SEWALL PT. FL 34996

PERMIT TYPE: ☒ RESIDENTIAL ☐ COMMERCIAL

- ☒ ELECTRIC
☐ PLUMBING
☐ HVAC
☐ IRRIGATION
☐ FUEL GAS

TYPE OF SERVICE: ☐ NEW SERVICE ☐ EXISTING SERVICE ☒ OTHER

SCOPE OF WORK: Landscape Lighting

VALUE OF CONSTRUCTION \$ 24,000.00

☐ LOW VOLTAGE
TYPE OF EQUIPMENT: ☐ SECURITY ☐ VACUUM ☐ SOUND SYSTEM ☐ LANDSCAPE ☐ OTHER
SCOPE OF WORK: _____ VALUE: _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

SIGNATURE OF LICENSED CONTRACTOR: James P. Williams ADDRESS OF CONTRACTOR: 3251 SE Dixie Hwy, Stuart FL 34997

COMPANY OR QUALIFIER'S NAME: ARLINGTON ELECTRIC INC.

TELEPHONE NO: 772-287-1353 FAX NO: 772-287-2380

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: FC 0000127

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: RUSSELL MADRIS

PARCEL CONTROL #: 13-38-41-003-000-01040-4

SUBDIVISION: High Point Isle LOT: 104 BLK: _____ PHASE: _____

SITE ADDRESS: 34 High Point

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

**OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT
MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE**

**APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES
AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE**

NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.

ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"

Owner/Builder Applicant Name: Russell Madris

Site address of the proposed building work: 34 E High Point Rd

Name of legal title owner of the address above: _____

Describe the scope of work for the proposed new construction: Pool Renovation

Name of Architect of Record: _____ Structural Engineer of Record: _____

Who will supervise the trade work to meet the applicable code? Steve Conway

What provisions have you made for Liability and Property Damage Insurance? Home Owners Insurance

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? N/A

What previous Owner/Builder improvements have you done in the State of Florida?

Location: N/A Scope of Work Done: _____ Year: _____

Location: N/A Scope of Work Done: _____ Year: _____

What code books do you have available for reference? Building: Florida Building Code

Electric: Florida Building Plumbing: Florida Building HVAC: Florida Building

Other: N/A

I have internet access and will view The Florida Building code at www.floridabuilding.org YES ☒ NO ☐

Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site? yes (yes/no)

Have you consulted with your Homeowner's Insurance Agent? ☐ Lender? ☐ Attorney? ☐

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. _____ (initials).



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

OWNER/BUILDER DISCLOSURE STATEMENT

NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT.

13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE.

14. AS AN OWNER/BUILDER, YOU ARE LIABLE TO AND RESPONSIBLE FOR THOSE PEOPLE HIRED TO ASSIST YOU. SUCH LIABILITY AND RESPONSIBILITY MAY INCLUDE, BUT IS NOT LIMITED TO, COMPLIANCE WITH APPLICABLE LAWS RELATING TO LIENS, WORKERS' COMPENSATION, SOCIAL SECURITY, UNEMPLOYMENT, FEDERAL WITHHOLDING TAX, AND PUBLIC LIABILITY.

15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT.

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT.

ON THIS 15 DAY OF April, 2015.

PROPERTY ADDRESS 34 E High Point Rd

CITY Sewall's Pt STATE FL ZIP 34996


SIGNATURE OF OWNER/BUILDER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 15 DAY OF April 2015

BY Russell Madris

PERSONALLY KNOWN X

OR PRODUCED ID _____

TYPE OF ID _____


NOTARY SIGNATURE



SHARI CANADA
NOTARY PUBLIC
STATE OF FLORIDA
Comm# EE179306
Expires 3/14/2016

**EL-SID ENGINEERING****EL-SID ENGINEERING, INC.****PROFESSIONAL CIVIL ENGINEERS
ENGINEERING & CONSTRUCTION MGT.****SIDNEY KOVNER, P.E.**

President

"No Job Too Small"

(561) 386-4385

(561) 352-5086

(561) 622-6826 Fax

elsideng@comcast.net

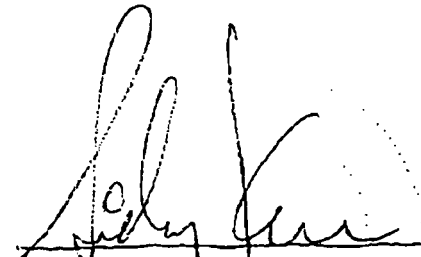
139 ISLE VERDE WAY

PALM BEACH GARDENS, FL 33418

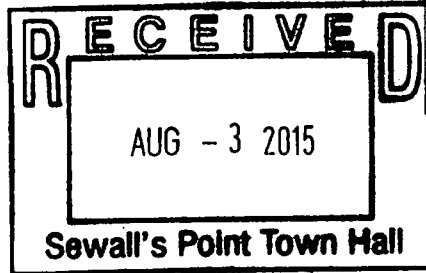
Sewell's Point Building Dept
Sewell's Point, FL
In Russell Mathis Residence
34 East High Point
Sewell's Point, FL

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

El-Sid Engineering certifies that the renovation work on the existing pool/spa is in accord with the engineering plans drawn by El-Sid Engineering and signed and sealed by Sidney Kovner, PE; and that the inspection is therefore PASSED!


SID KOVNER
PE # 16668

APR 14 2015



6810 North State Road 7
Coconut Creek, Florida 33073
Phone: 954-617-8143

Date: 8-3-15

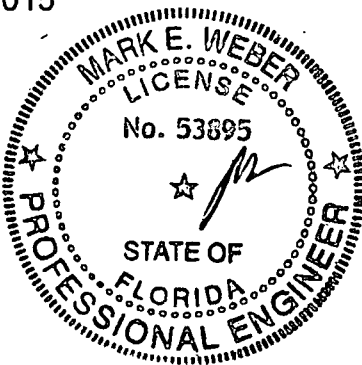
ENGINEER'S LETTER – Deck

Project: Madris Residence
34 East High Point Rd
Sewall's Point, FL 34996

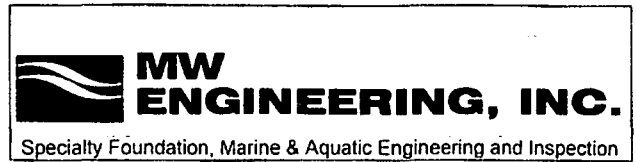
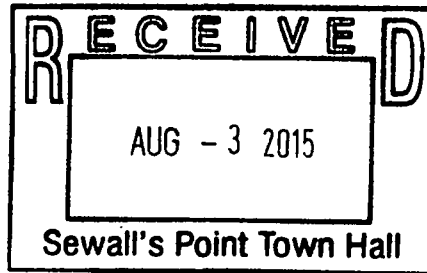
Summary: Engineer has visited the site for the purpose of performing a deck inspection and finds the deck in substantial compliance with all applicable codes including FBC 2010, FBC 5th Ed, and in general conformance with the approved plans dated 6-6-2015.

Handwritten notes:
11/10/15
ON 15090

8-3-2015



Mark E. Weber, PE 53895
Florida Registered Professional Engineer



6810 North State Road 7
Coconut Creek, Florida 33073
Phone: 954-617-8143

Date: 8-3-15

ENGINEER'S LETTER – Bonding

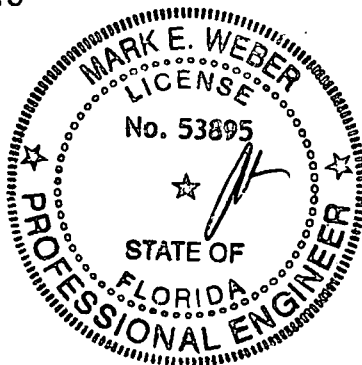
Project: Madris Residence
34 East High Point Rd
Sewall's Point, FL 34996

Summary: Engineer has been retained to provide site visit inspections.

Engineer finds pool steel and pool cover bonding in substantial compliance with all applicable codes including FBC 2010, FBC 5th Ed, and in general conformance with the approved plans dated 6-6-2015.



8-3-2015

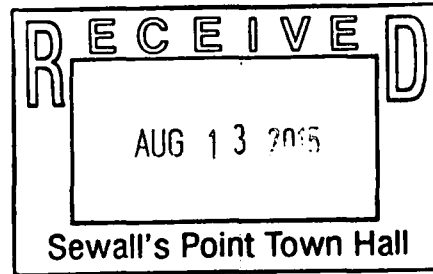


Mark E. Weber, PE 53895
Florida Registered Professional Engineer

August 6, 2015

John R. Adams, Building Official
1 South Sewalls Point Road
Sewall's Point, Florida 34996

Handwritten: VHS
Handwritten: PN



Dear John,

Per our conversation, please allow this letter to confirm that I, Russell Madris owner of 34 East High Point Road, Sewall's Point, Florida 34996 understand and accept that the pool back fill compaction that was not performed by Gulfstream Pools is not a problem for me and I indemnify the Town of Sewall's Point for any and all liability regarding this backfill compaction issue.

Sincerely,

A handwritten signature in black ink, appearing to be "Russell Madris", with a long horizontal line extending to the right.

Russell Madris

Notary:

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA

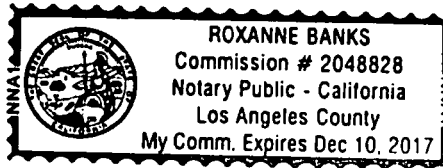
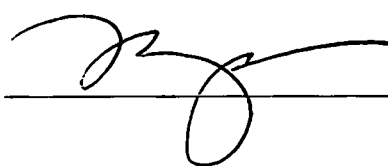
COUNTY OF Los Angeles

On August 6, 2015 before me Roxanne Banks
Notary Public, personally appeared Russell Madvis

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Affix Notary Seal Here

*****OPTIONAL*****

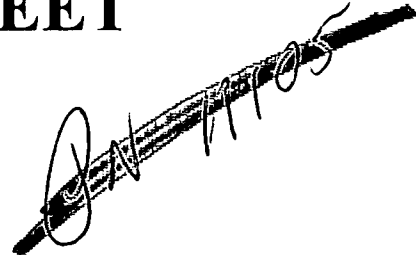
Though the data below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent reattachment of this form.

CAPACITY CLAIMED BY SIGNER	DESCRIPTION OF ATTACHED DOCUMENT
<input checked="" type="checkbox"/> INDIVIDUAL <input type="checkbox"/> CORPORATE OFFICER _____ Title(s) <input type="checkbox"/> Partner(s) <input type="checkbox"/> Limited <input type="checkbox"/> General <input type="checkbox"/> Attorney-In-Fact <input type="checkbox"/> Trustee(s) <input type="checkbox"/> Guardian/Conservator <input type="checkbox"/> Other: _____ Signer is representing: Name of person(s) or entity(ies) _____	<u>Letter To City of Sewall's</u> _____ Title or type of document <u>One</u> _____ Number of Pages <u>8/6/15</u> _____ Date of Document <u>None</u> _____ Signer(s) other then named above

FAX COVER SHEET

Date: August 14, 2015
Time:
Job Name: Madris Residence
Job Number: 15090

To: Building official, Sewall's Point Town
Company:
Fax Number: 772-220-4765



TRANSMITTING A TOTAL OF 2 PAGES, INCLUDING THIS PAGE. IF YOU DO NOT RECEIVE ALL OF THE PAGES CLEARLY, PLEASE CONTACT US.

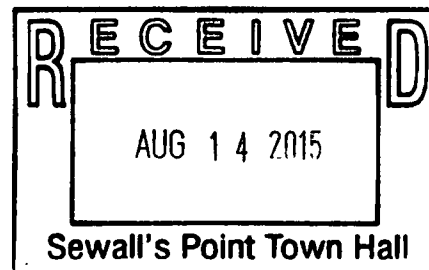
COMMENTS:

Dear sir,

Please find attached the inspection letter for the Madris Residence Pool electrical system. If you have any questions or require additional information, please call me to discuss.

Sincerely Yours,

Andrew J. Younggross, P.E.



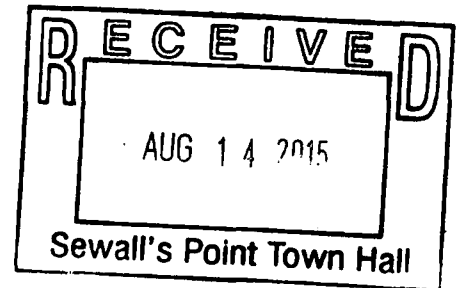


August 14, 2015

Sewall's point Town Hall
One South Sewall's Point Road
Sewall's Point, FL, 34996

Ph: 772-287-2455
Fax: 772-220-4765

Attn: Building Official
Re: Madris Residence
34 East High Point
Sewall's Point
Permit # 11105



Dear Sir:

On August 12, 2015, I traveled to the site to review the electrical connections and grounding for the pool installation. On this date, the electrical connections and installation was installed per the plans and the NEC.

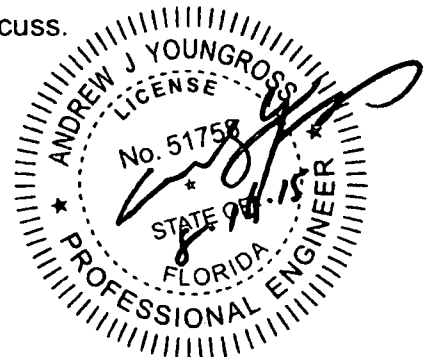
An equal potential ground test was conducted in my presence by the electrician and all metal structures around the pool structure were found to be bonded to the ground system. All pool equipment devices were grounded.

At this time, the installation met the design intent of the plans and is in compliance with the NEC.

If you require any further information, please call me to discuss.

Sincerely yours,

Andrew J. Youngross, P.E.
Principal, FL #51758



Copy: FILE

Z:\TYEC PROJECTS 2015\15090_(MADRIS RESIDENCE)\15090 - LETTER #01 08-14-15.DOC

Page 1 of 1

902 Clint Moore Road, Suite 142
VOICE: 561 274 0200

FAX: 561 274-0222

Boca Raton, FL 33487
E-MAIL: TEC@TECFILA.COM



FAX COVER SHEET

May 12, 2015

3 pages (including cover sheet)

TO: Town of Sewall's Point
One S. Sewall's Point Rd.
Sewall's Point, FL 34996

ATTN: BUILDING DEPARTMENT

FROM: Gulfstream Pool Co.
2559 Webb Ave. Unit 8
Delray Beach, FL 33444

Hello Sherri;

Per our phone conversation, please find enclosed

1. The Contractor's License
2. The Occupational Registration

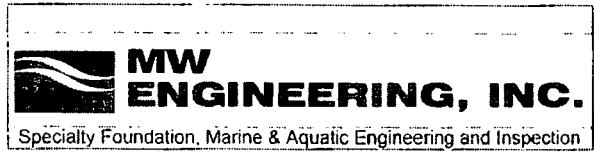
The Certificate of Liability and Workers Compensation Certificates were faxed directly from our insurance carrier South Florida Casualty.

If you have any questions, please feel free to contact me at 561-272-9288 or email:
gulfstreampooloffice@gmail.com.

Thank you,

Sheryl Sheldon
Administrative Assistant

2/2
11105



6810 North State Road 7
Coconut Creek, Florida 33073
Phone: 954-617-8143

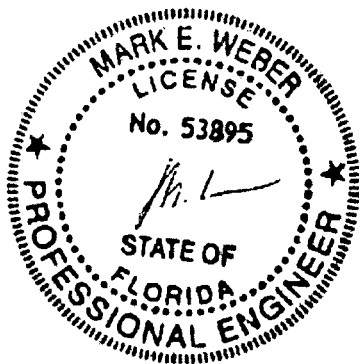
Date: 5-26-2015

ENGINEER'S LETTER – Interim Inspections

Project: Madris Residence
34 East High Point Rd
Sewall's Point, FL 34996

Summary: Engineer has been retained by Gulfstream Pool Company to provide site visit inspections and built condition level plans at project completion. Interim inspections and site visits to date reveal project is in conformance with revised plans including tear down and reconstruction of (3) walls and raising floor with 57 stone and 30" sonic tube columns. Based on review of records, this work has been performed in accordance with FBC 2010 and in general conformance with the approved plans.

5-26-2015



Mark E. Weber, PE 53895
Florida Registered Professional Engineer



6810 North State Road 7
Coconut Creek, Florida 33073
Phone: 954-617-8143

Date: 6-6-15

ENGINEER'S LETTER – Final Inspection – Substantial Compliance

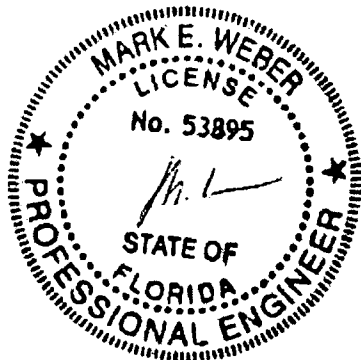
Project: Madris Residence
34 East High Point Rd
Sewall's Point, FL 34996

Summary: Engineer has been retained by Gulfstream Pool Company to provide site visit inspections and built condition level plans at project completion.

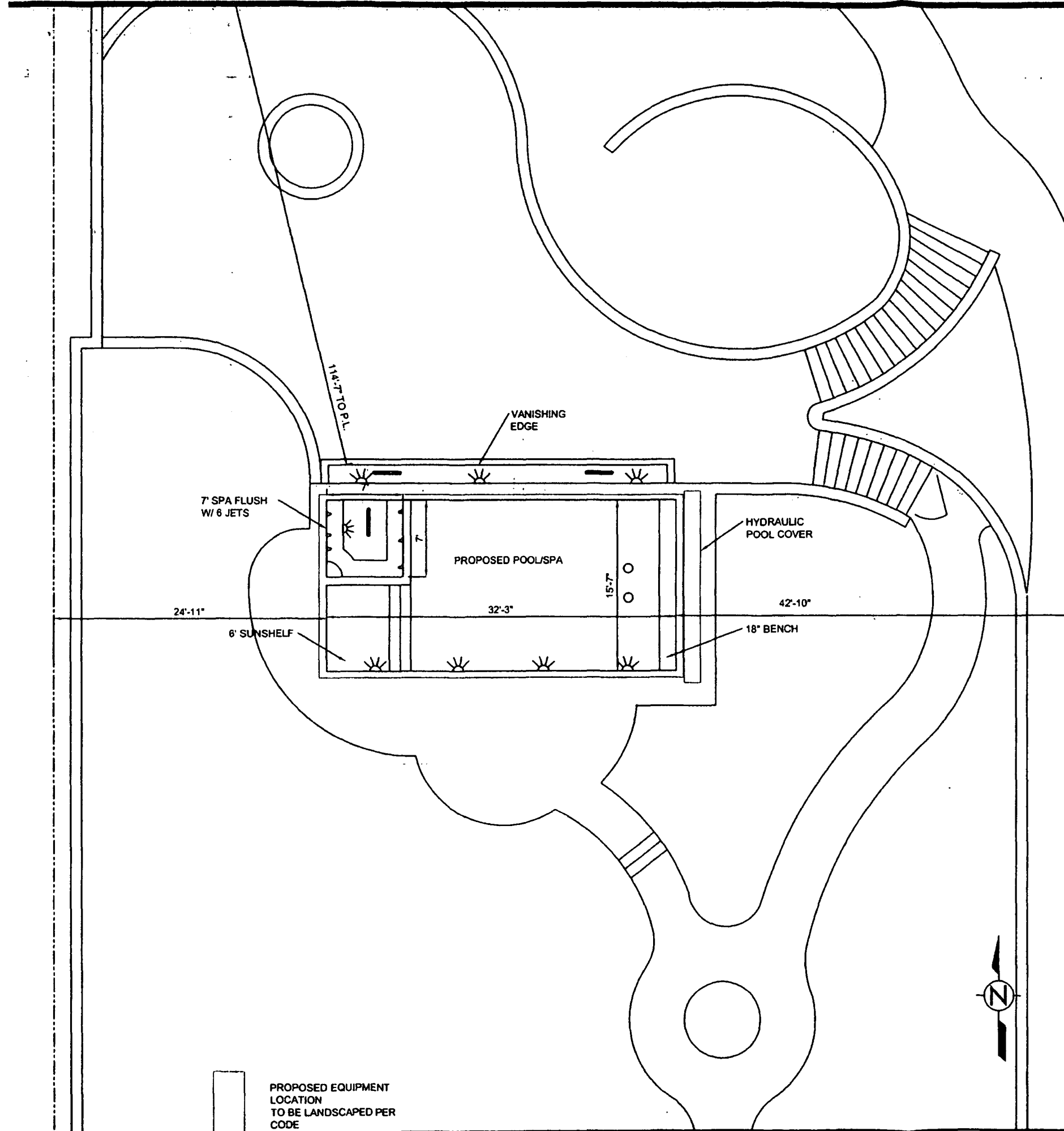
Interim inspections and site visits reveal project is in conformance with revised plans including all plumbing.

Based on inspection, Engineer finds construction in substantial compliance with built condition level plans dated 6-6-2015, and construction work has been performed in accordance with FBC 2010 and in general conformance with the approved plans.

6-6-2015



Mark E. Weber, PE 53895
Florida Registered Professional Engineer



EQUIPMENT LIST

QTY	ITEM	DESCRIPTION
1	RECIRC. PUMP	INTELLIFLO VS 3050
1	FEATURE PUMP	INTELLIFLO VS 3050
1	FILTER	C1750
3	FLOOR RETURNS	
2	BASIN RETURNS	
4	WALL RETURNS	
2	BASIN DRAIN	WATERWAY 640-132 UNBLOCKABLE
2	POOL DRAIN	WATERWAY 10" 640-19xxV 200 GPM MAX.
1	SPA DRAIN	WATERWAY 640-132 UNBLOCKABLE
2	SPA RETURNS	
1	VAC FTG	
6	SPA JETS	
7	4 POOL 3 BASIN LIGHT	PENTAIR GLOBRITE
1	SPA LIGHT	PENTAIR GLOBRITE
N/A	CHLORINATOR	
1	HEATER	HAYWARD 450K BTU GAS
N/A	BLOWER	
1	AUTOFILL	JANDY LEVELOR K2000CKG
1	CONTROLLER	WIFI ENABLED CONTROLS
	COPING	BULLNOSE
	WATERLINE TILE	6" X 6" GLAZED
	FINISH	FLORIDA GEM
	DECK MATERIAL	BY OTHERS
	CAP TILE	
YES	BARRIER	POOL COVER

SCOPE TO INCLUDE RAISING FLOOR +/- 2' WITH 57 STONE AND (5) 30" SONIC TUBE COLUMNS EXTENDING THROUGH STONE AND DOWELED INTO EXISTING FLOOR

OUTDOOR POOLS SHALL BE PROVIDED WITH A BARRIER COMPLYING W/ THE FBC 2010 CHAPTER 4 SECTION 424 SECTIONS 424.2.17.1.1 THROUGH 424.2.17.1.14 OF

POOL DATA	
POOL SIZE:	15'-7" x 32'-4"
POOL DEPTH:	3' TO 6'
POOL SURFACE AREA:	447 SQ. FT.
POOL PERIMETER:	94 L.F.
SPA DATA	
SPA SIZE:	7' X 7'
SPA DEPTH:	3'
SPA SURFACE AREA:	46 SQ. FT.
SPA PERIMETER:	26 L.F.
SPA VOLUME:	680 GALLONS

POOL CONSTRUCTION, DESIGN, ENGINEERING AND WORKMANSHIP TO COMPLY WITH FBC-2010 SEC 424.2.6.1 & SECTION R4101.6.1 PRIVATE SWIMMING POOLS

- SHEET INDEX
- P1- EQUIPMENT LIST & SITE PLAN
 - P2- LAYOUT PLAN
 - P3- STRUCTURAL DETAILS
 - P4- PIPING PLAN
 - P5- DECK & ELECTRIC

GULFSTREAM POOL COMPANY

255 Webb Ave. U#4
Delray Beach, FL 33444
T: (561) 272-9288
F: (561) 272-0925

MADRIS RESIDENCE
34 EAST HIGH POINT
SEWELLS POINT, FL

Project No: GPC150526
Date: 05-26-2015

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REVISIONS

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- △
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- △
- △



MARK E. WEBER, P.E.
LICENSE #53895
6810 N State Road 7
Coconut Creek, FL 33073
954-617-8143, www.MwEngineering.net
CA#30702

STRUCTURAL

PILES:
PILES TO BE CUT OFF AT PROPER ELEVATIONS ALLOWING A MINIMUM OF 18" OF PILE STEEL TO PROJECT INTO POOL FLOOR OR GRADE BEAMS. ALL PILE WORK TO BE DONE ACCORDANCE WITH "RECOMMENDATIONS FOR DESIGN, MANUFACTURE, AND INSTALLATION OF CONCRETE PILES", THE PROVISIONS OF FLORIDA BUILDING CODE, AND ALL APPLICABLE CODES AT THE TIME OF PERMIT APPLICATION.

HELICAL PILES:
HELICAL PILE, INCLUDING STEEL PLATE, SHALL DEVELOP THE MINIMUM CAPACITIES AS SHOWN ON THE DETAIL, WITH MINIMUM FACTOR OF SAFETY OF 2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES AND GUIDELINES. FOR CORROSIVE CONDITIONS, HELICAL PILE CONTRACTOR SHALL PROVIDE ADEQUATE CORROSION RESISTANT MATERIALS FOR PARTICULAR PROJECT SIZE CONDITIONS.

PILE CAPACITY:
PILE CAPACITY IS GENERALLY ESTABLISHED BY TEST LOAD OR DRIVING RESISTANCE WHERE LOAD TESTS ARE USED TO DETERMINE CAPACITY, DRIVING RESISTANCE MEASUREMENT IS USED TO INSURE THAT ALL PILES ARE DRIVEN AS HARD AS THE TEST PILES. UTILIZE THE ENGINEERING NEWS FORMULA FOR THIS EVALUATION. SOIL BORINGS ARE ESSENTIAL TO PROPER PILE EVALUATION. PILES MAY INDIVIDUALLY TEST TO A GREATER CAPACITY THAN THEIR CONTRIBUTION TO THE CLUSTER CAPACITY. IN ADDITION, A SOFT STRATUM UNDERLYING A HARD STRATUM MAY NOT BE ABLE TO SUPPORT THE TOTAL LOAD DELIVERED FROM THE HARD STRATUM; EVEN THOUGH SUFFICIENT RESISTANCE IS INDICATED.

GUNITE / PNEUMATICALLY APPLIED CONCRETE:
SHALL REACH A STRENGTH OF 4000 PSI IN 28 DAYS UNLESS NOTED ELSEWHERE ON PLANS AND SHALL BE PER "RECOMMENDED PRACTICE FOR SHOTCRETING"

CONCRETE WORK:
SHALL REACH MIN. 3000 PSI AT 28 DAYS AS PER "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"

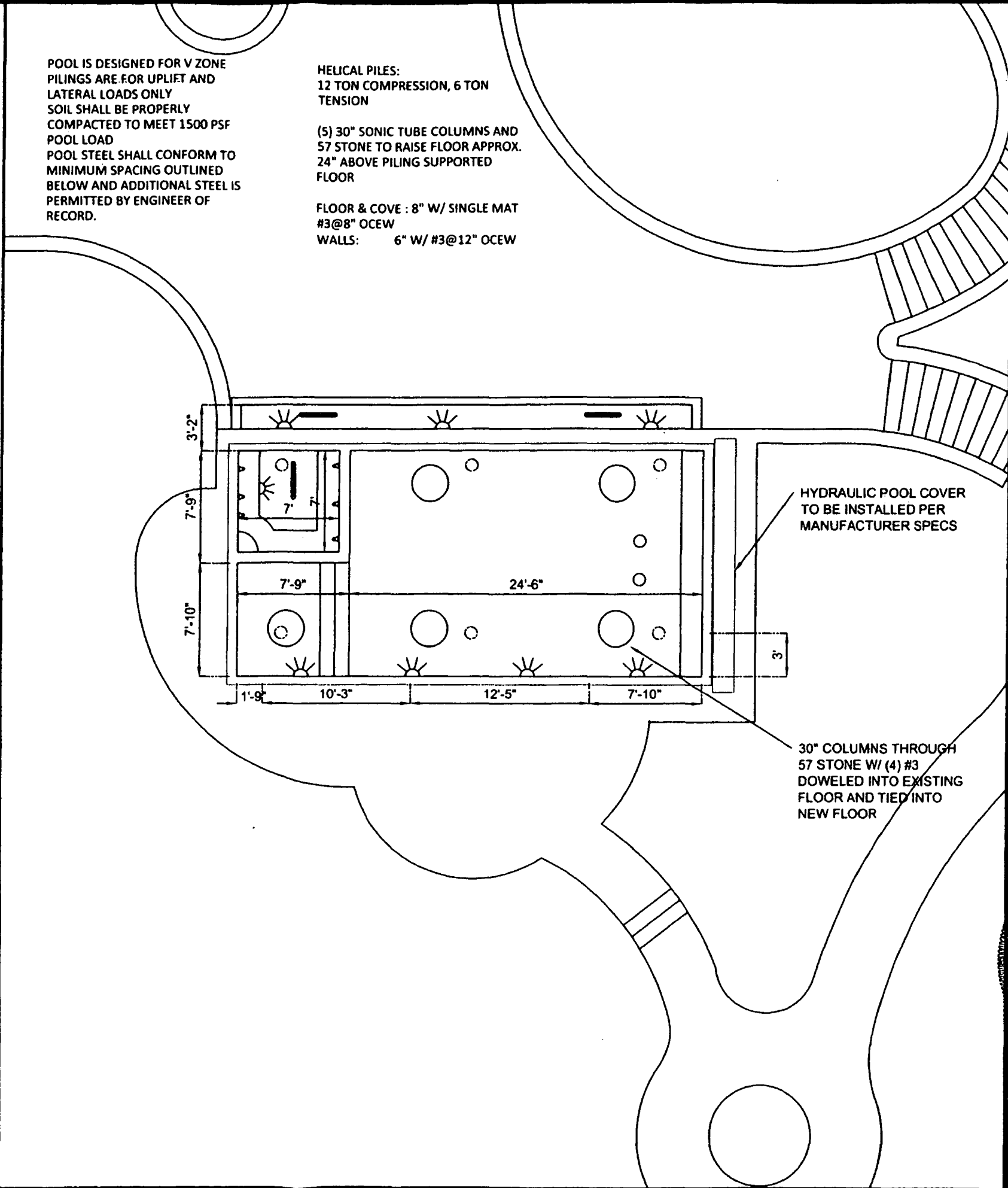
REINFORCING STEEL:
SHALL BE GRADE 60 ASTM A615 AND PLACED IN ACCORDANCE TO THE "MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" ACI, AND THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE. I.) LAP ALL BAR SPLICES 36 BAR DIAMETERS (12" MIN.) UNLESS OTHERWISE NOTED. II.) COVER FOR REINFORCING STEEL SHALL BE AS SHOWN IN STRUCTURAL DETAIL AND NOTES.

POOL IS DESIGNED FOR V ZONE
PILINGS ARE FOR UPLIFT AND
LATERAL LOADS ONLY
SOIL SHALL BE PROPERLY
COMPACTED TO MEET 1500 PSF
POOL LOAD
POOL STEEL SHALL CONFORM TO
MINIMUM SPACING OUTLINED
BELOW AND ADDITIONAL STEEL IS
PERMITTED BY ENGINEER OF
RECORD.

HELICAL PILES:
12 TON COMPRESSION, 6 TON
TENSION

(5) 30" SONIC TUBE COLUMNS AND
57 STONE TO RAISE FLOOR APPROX.
24" ABOVE PILING SUPPORTED
FLOOR

FLOOR & COVE : 8" W/ SINGLE MAT
#3@8" OCEW
WALLS: 6" W/ #3@12" OCEW



GULFSTREAM POOL COMPANY

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Delray Beach, FL 33444
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MADRIS RESIDENCE
34 EAST HIGH POINT
SEWELLS POINT, FL

Project No: GPC150526

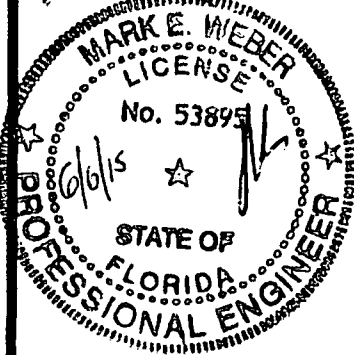
Date: 05-26-2015

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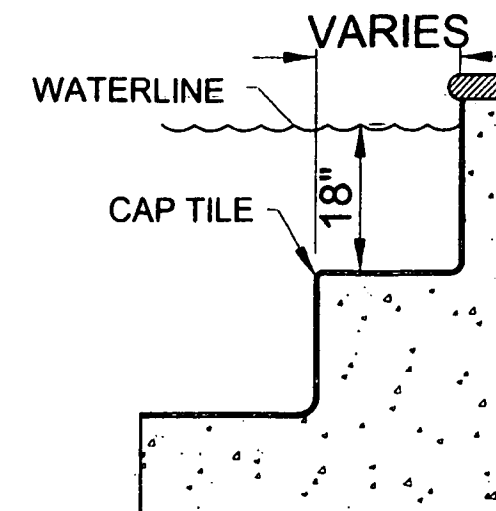
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MW
ENGINEERING, INC.

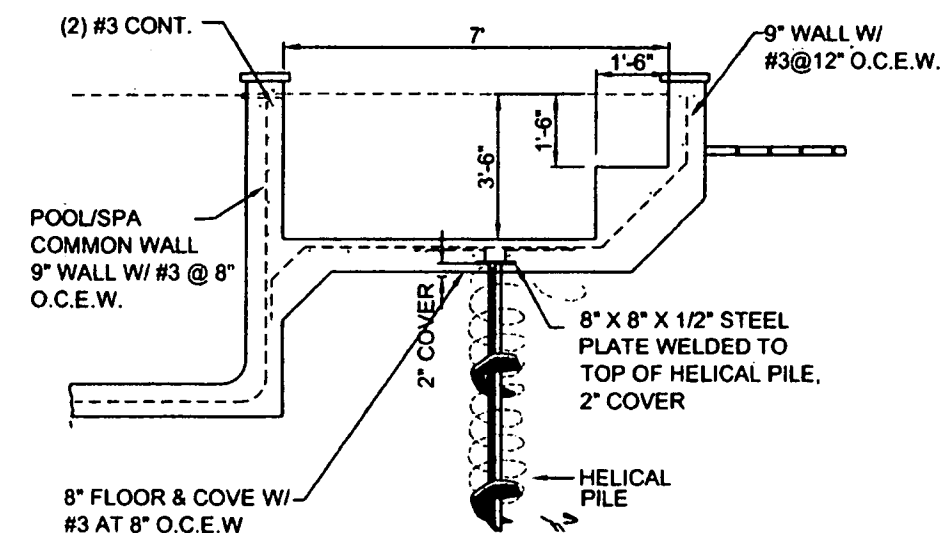


MARK E. WEBER, P.E.
LICENSE #53895
6810 N State Road 7
Coconut Creek, FL 33073
954-617-8143, www.MwEngineering.net
CA#30702



Date:05-26-2015

SCALE- 1/2"=1'-0"



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① _____

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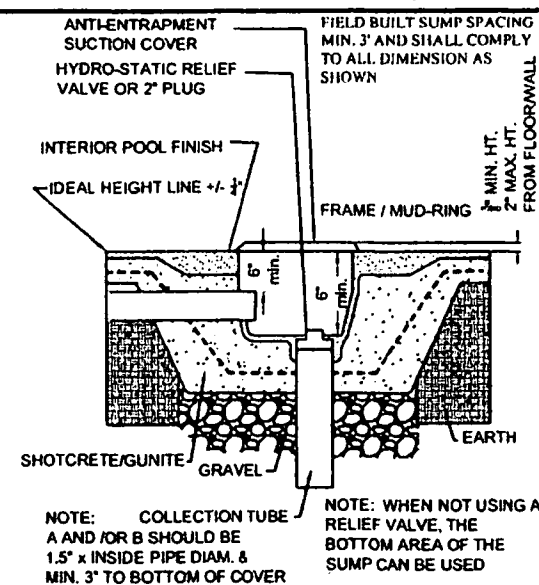
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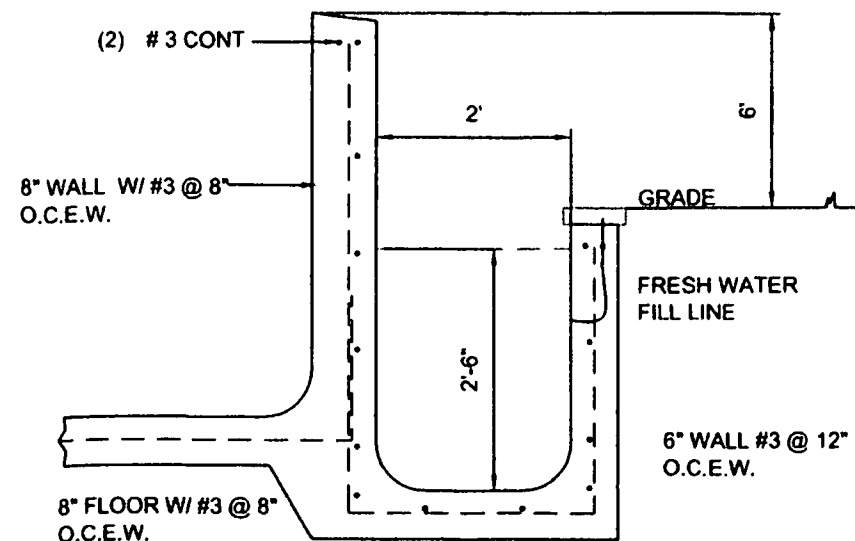
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⑥ _____

SCALE- 1/4"=1'-0"



NOTE: WHEN NOT USING A RELIEF VALVE, THE BOTTOM AREA OF THE SUMP CAN BE USED



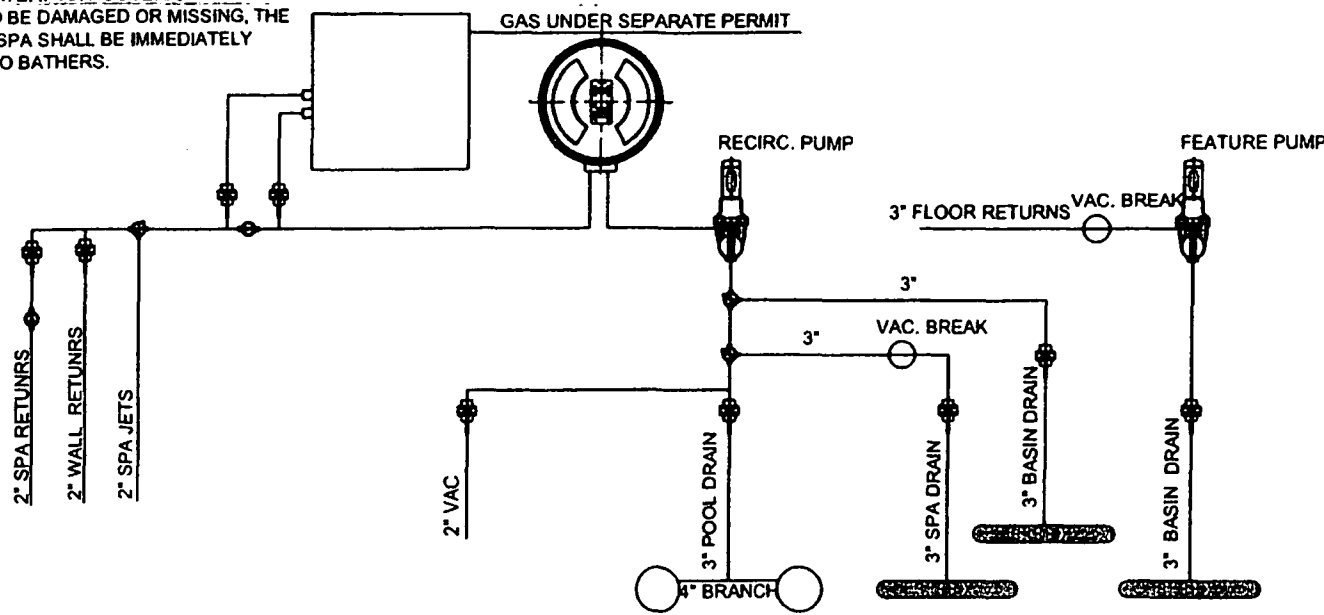
MARK E. WEBER
LICENSE
No. 53895
STATE OF FLORIDA
PROFESSIONAL ENGINEER

MARK E. WEBER, P.E.
LICENSE #53895
6810 N State Road 7
Coconut Creek, FL 33073
954-617-8143, www.MwEngineering.net
CA#30702

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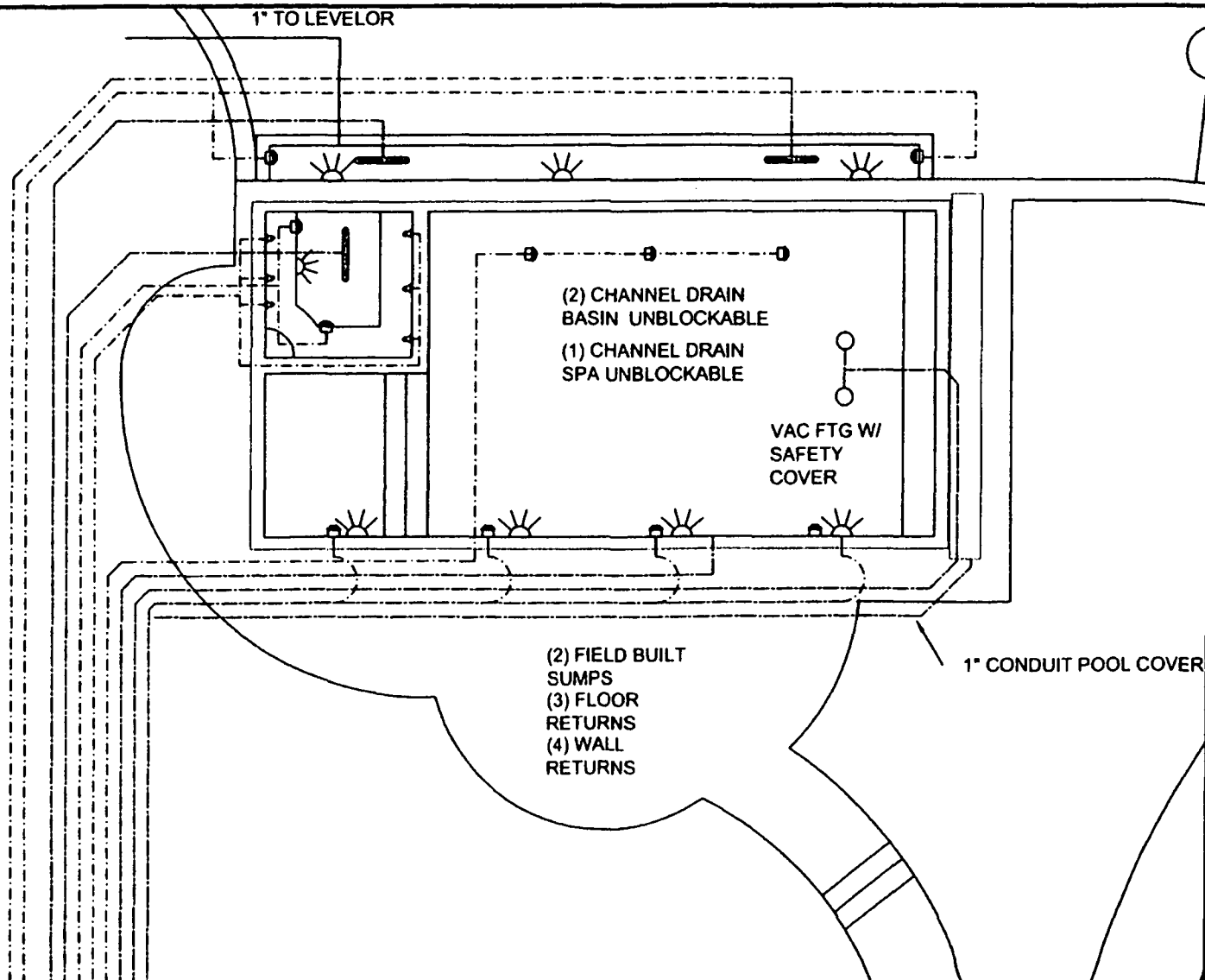
ANSI/APSP-7 WARNING

4.3 DANGER. THERE IS NO BACKUP FOR A MISSING OR DAMAGED SUCTION OUTLET COVER/GATE. IF ANY COVER/GATE IS FOUND TO BE DAMAGED OR MISSING, THE POOL OR SPA SHALL BE IMMEDIATELY CLOSED TO BATHERS.



PIPING SCHEMATIC

SCALE- NTS



PLUMBING LAYOUT

SCALE- 1/8"=1'-0"

ENERGY EFFICIENCY COMPLIANCE ANSI/APSP-15 AND FBC

POOL CAPACITY: 13000 GALLONS
 TURNOVER RATE: 36 GPM AT LOW SPEED (MIN. 36)
 TURNOVER HOURS: 6.0 HOURS
 MAX. FILTR. FLOW RATE: 36 DEFAULT SET

AUX LOAD: JETS
 FILTER: CARTRIDGE

VARIABLE SPEED PUMP CONTROLLER TO BE PROGRAMMED TO DEFAULT (ONE COMPLETE FILTRATION IN 6 HRS. MIN.) WHEN NO AUX. POOL LOADS ARE OPERATING WITHIN 24 HRS AND PROGRAMMED WITH TEMPORARY OVERRIDE CAPABILITY FOR SERVICING

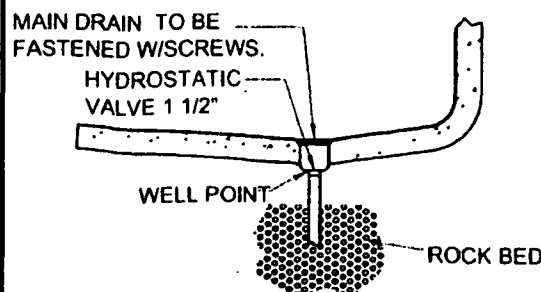
MAX SYSTEM FLOW RATE: 146

MFU: PENTAIR
 TYPE: VARIABLE SPEED
 MODEL: INTELLIFLO VS 3050
 CURVE "A": 18 GPM @ 850 RPM APSP DATABASE
 CURVE "C": 25 GPM @ 850 RPM APSP DATABASE

MAX. SYSTEM FLOW RATE DETERMINED FOR MAX. SPEED AND AND LOWEST HEAD ON PUMP CURVE

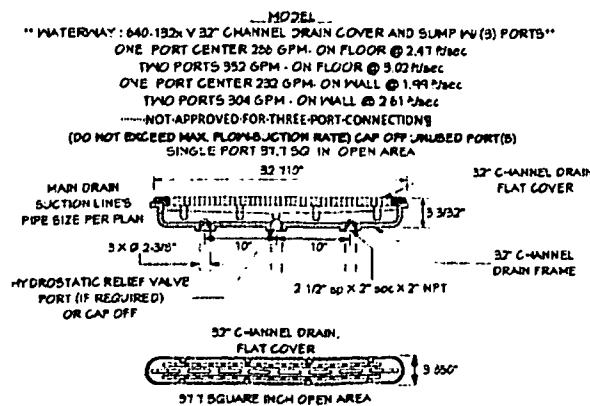
SUC. BRANCH:	4	@	3.68	FPS (MAX 6 FPS)
SUC TRUNK:	3	@	6.34	FPS (MAX 8 FPS)
RETURN:	2.5	@	9.78	FPS (MAX 10 FPS)

RETURN (PRESSURE) PIPING SHALL NOT EXCEED 10 FPS (SECTION R4101.6.3 FBC)
 SUCTION BRANCH SHALL NOT EXCEED 6 FPS (APSP/ANSI-7)
 SUCTION TRUNK SHALL NOT EXCEED 8 FPS (ANSI/ANSI-7)



WELL POINT DETAIL

SCALE- NTS



DRAIN DETAIL

SCALE- NTS

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 SEWELLS POINT, FL

Project No: GPC150526

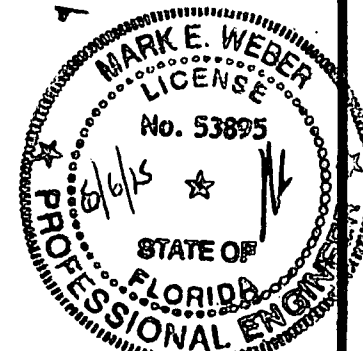
Date: 05-26-2015

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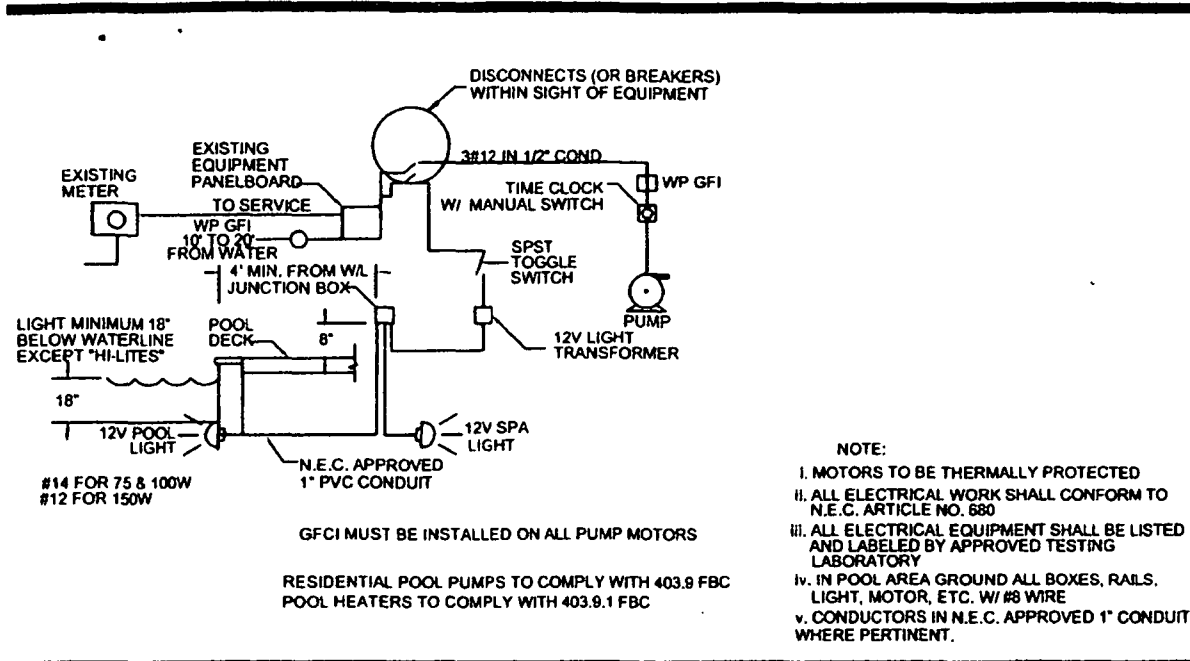
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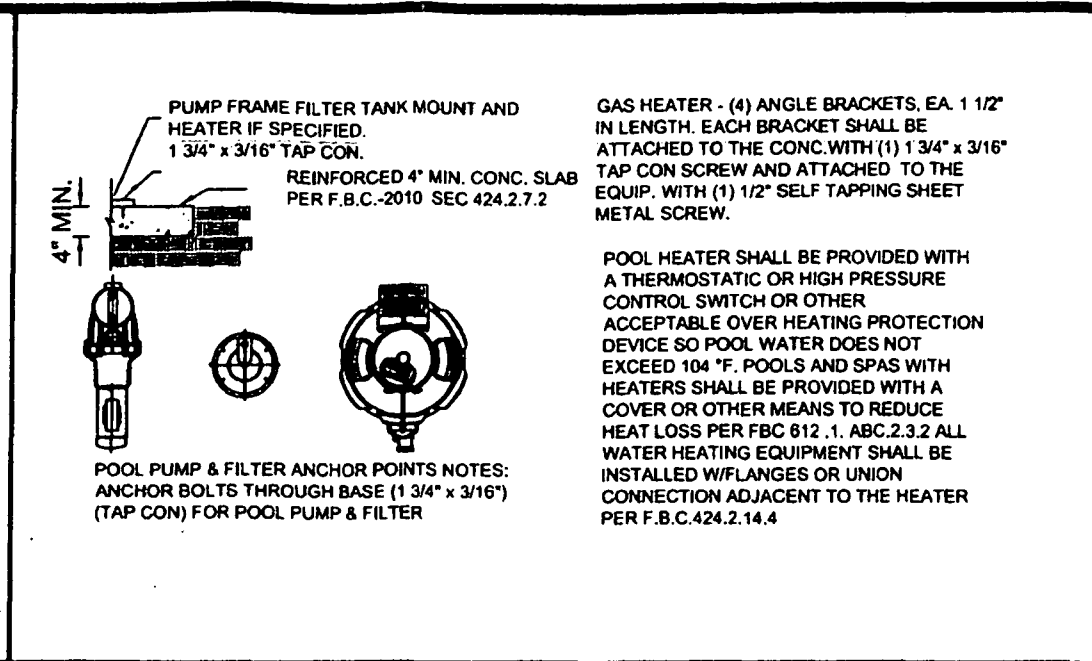
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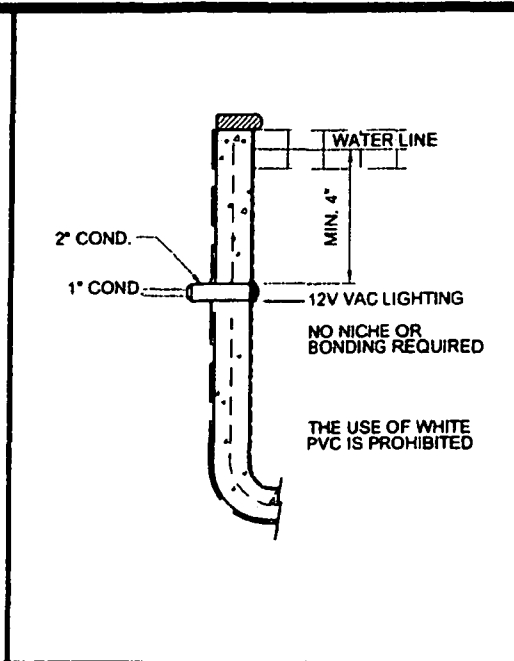
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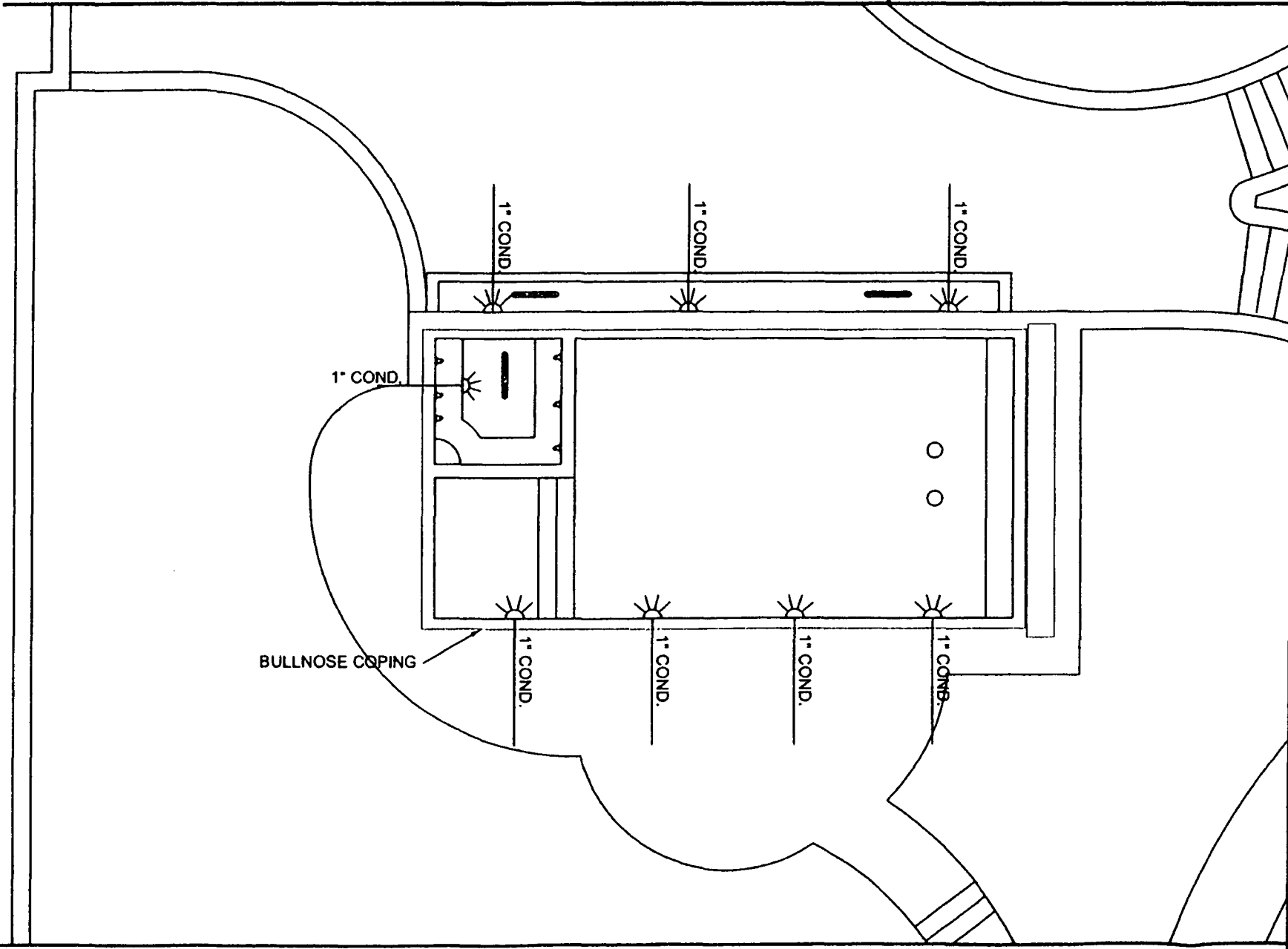
ELECTRICAL DIAGRAM N.T.S.



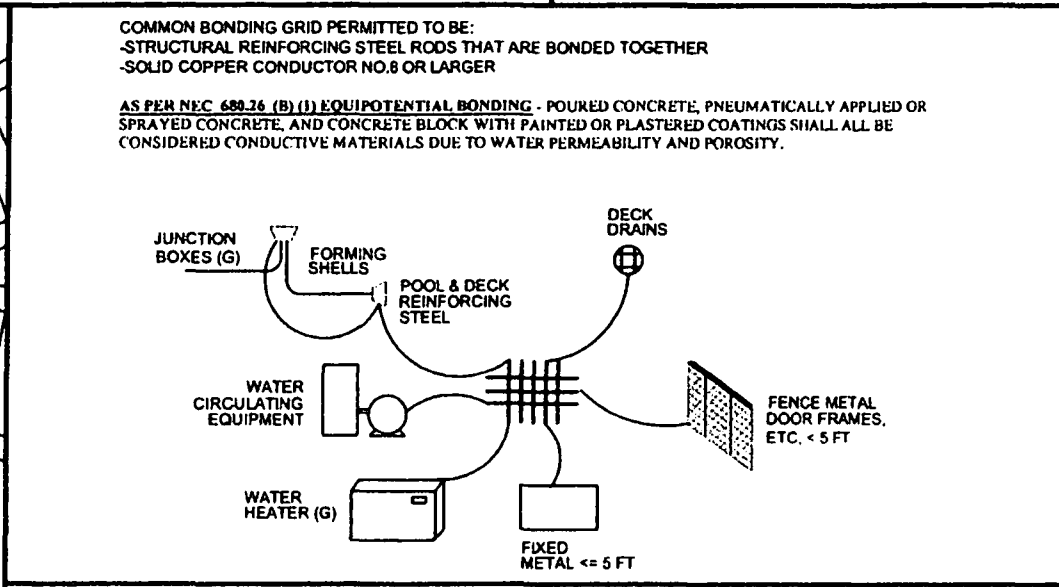
EQUIPMENT ANCHORING N.T.S.



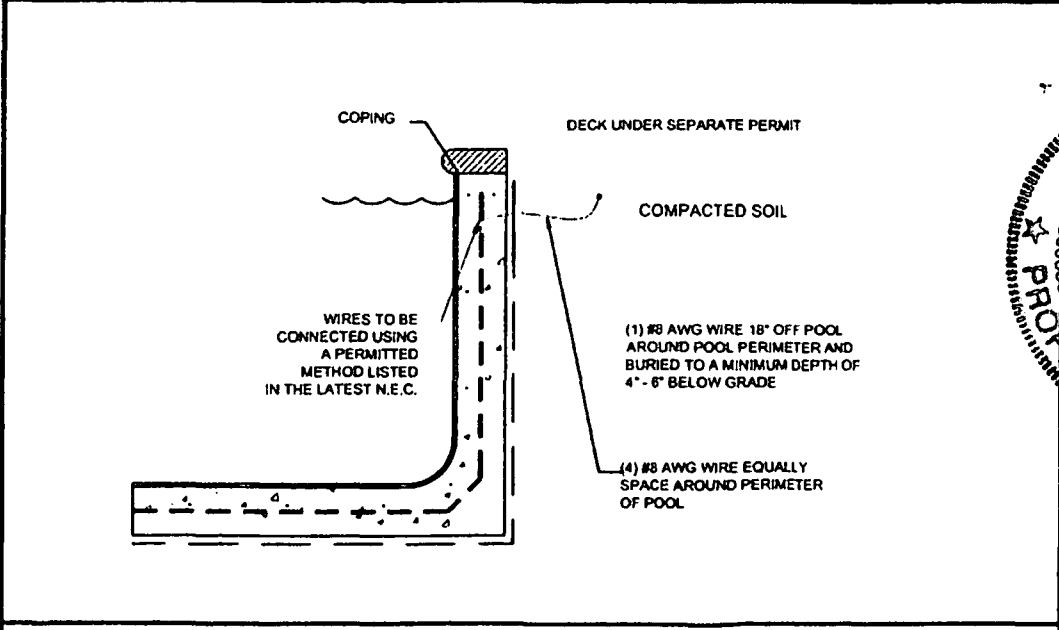
LIGHT DETAIL N.T.S.



LIGHT LAYOUT SCALE: 1/8"=1'-0"



BONDING DETAIL SCALE- NTS



DECK DETAIL SCALE: 1/2"=1'-0"

GULFSTREAM POOL COMPANY

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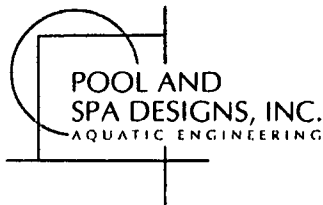
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MW ENGINEERING, INC.

MARK E. WEBER
LICENSE
No. 53895
6/6/15
STATE OF FLORIDA
PROFESSIONAL ENGINEER

MARK E. WEBER, P.E.
LICENSE #53895
6810 N State Road 7
Coconut Creek, FL 33073
954-617-8143, www.MwEngineering.net
CA#30702



Permit # ~~14135~~



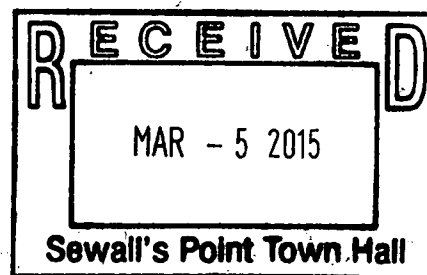
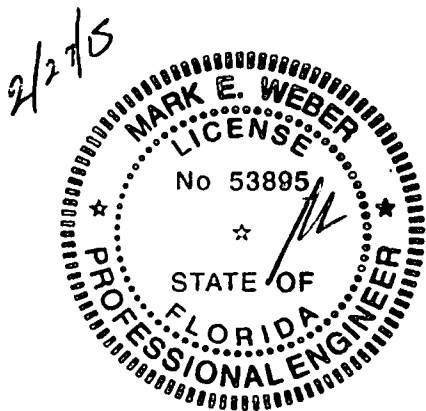
6810 North State Road 7
Coconut Creek, Florida 33073
Phone: 954-617-8143

2/27/15

ENGINEER'S LETTER – Drill Dowel and Raise Walls and Floor

Project: Madris Residence
34 East High Point Rd
Sewall's Point, FL 34996

Summary: Engineer has reviewed the project and is authorizing that the structure walls and floor be raised +/- 2-feet by drilling, doweling and epoxying #3@12" OCEW into existing structure. Based on review of records, this work has been performed in accordance with FBC 2010 and in general conformance with the approved plans.



Mark E. Weber, PE 53895
Florida Registered Professional Engineer

RICK SCOTT, GOVERNOR

KEN LAWSON, SECRETARY

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

LICENSE NUMBER	
CPC1456706	

The COMMERCIAL POOL/SPA CONTRACTOR

Named below IS CERTIFIED

Under the provisions of Chapter 489 FS.

Expiration date: AUG 31, 2016



SIMESCU, PATRICK R
GULFSTREAM POOL CO
2559 WEBB AVE STE 8
DELRAY BEACH FL 33444



ISSUED: 07/21/2014

DISPLAY AS REQUIRED BY LAW

SEQ # L1407210001062

Town of Gulf Stream, Florida
100 Sea Road, Gulf Stream, FL 33483

OCCUPATIONAL REGISTRATION


NOTE: This registration is issued upon proof of the issuance of a valid BUSINESS TAX RECEIPT and/or STATE CERTIFICATION

Type: Swimming Pool/Spa Contr

Certified: CPC1456706	Qualifier: Patrick Simescu	Expires: 8/31/2014
Tag #1 1787-1788	Tag #2	Tag #3
Contractor:	Phone: (561)272-9288	Registration: 0416 Expires: 9/30/2014
Gulfstream Pool Co		Insurance: SC0061003001182 Expires: 5/11/2014
2559 Webb Avenue #4		Workers Comp: AWC1021359 Expires: 3/16/2014
Delray Beach FL 33444-2911		Fee Paid: 6.00 2/20/2014

Commencing 10/1/2013 and ending 9/30/2014

Decals must be placed on the rear, drivers side bumper of company vehicles.


Issued By:


TOWN CLERK



CERTIFICATE OF LIABILITY INSURANCE

DATE: 05/12/2015

5/12/2015

PRODUCER SOUTH FLORIDA CASUALTY 415 North 4th Street Lantana, FL 33462 (561) 533-6144		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED Gulfstream Pool Company 2559 Web Avenue Suite 8 Delray Beach, FL 33444 561-272-9288 off 561-272-0925 FAX		INSURERS AFFORDING COVERAGE	NAIC #
		INSURER A: Scottsdale Insurance Company	41297
		INSURER B: Technology Insurance Company	42376
		INSURER C:	
		INSURER D:	
		INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

LINE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMIT
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIM MADE <input checked="" type="checkbox"/> OCCUR DEAL AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO. ACCT <input type="checkbox"/> LOC	CP81993202	05/11/14	05/11/15	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMMODITY \$ 2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOM <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOC				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	Garage Liability <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY. AGG \$
	EXCESS / UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIM MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
B	WORKERS COMPENSATION AND EMPLOYERS LIABILITY V/E <input type="checkbox"/> If you, describe under SPECIAL PROVISIONS	AWC1021359	03/16/15	03/16/16	<input checked="" type="checkbox"/> WE STATU. TORY LIMITS <input type="checkbox"/> OTH. ER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
	OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Swimming Pools

CERTIFICATE HOLDER

Town of Sewall's Point
 1 South Sewall's Point Rd.
 Sewall's Point, FL 34996
 Fax-772-220-4765

CANCELLATION

WHICH ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION

DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL

____ DAYS WRITTEN

NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL

IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR

REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Elaine Ward

Termination of Contract Agreement.

This agreement is between Russell Madris (owner) and Dean Schiller (R.D. Schiller Pools).

The purpose of this agreement is to terminate the contract signed by both parties

on or about 9/18/2014 for the construction of a swimming pool and spa located at 34 E High Point, Sewalls Point, Florida 34996.

Both parties agree to release each other from said contract. R.D. Schiller pools agrees to provide full or partial releases for sub-contractors that supplied labor and material and from suppliers who delivered material to the job site. R.D.Schiller Pools also agrees to provide list of any suppliers or vendors that may have been given deposits for labor and or material that would be needed to complete pool. These deposits if any would be transferred and show as a deposit for the owner moving forward with that vendor or supplier.

Owner and R.D. Schiller Pools agree that monies paid to date represents full and final payment for work performed under Pool permit issued by Sewalls Point Building Dept. Sewalls Point, Florida 34996.

Russell Madris

Date: 3/10/15

R.D. Schiller Pools

Date: 3/10/15

STEVE CONROY IS
CONTACT - CREEK
ORIGINAL PERMIT
FOR CONTACT INFO
AL



CHANGE OF CONTRACTOR APPLICATION PACKAGE

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

You will need the following to change contractors or to change from contractor to owner/builder:

- ☐ **1 Copy Letter from the owner releasing the old contractor and hiring the new Contractor or assuming owner/builder status.**
- ☐ **1 Copy New permit application**
- ☐ **\$25 Transfer Fee**

*** If changing from a contractor to an owner/builder, the owner must supply the following:**

- ☐ **1 Copy recorded warranty deed**
- ☐ **1 Copy owner/builder application**

Please read Florida Statue, section 489.103

**** If new plans are needed, the new contractor (or owner) must supply the following:**

- ☐ **1 Copy Plans to be re-stamped at the time of the application. This process will take a minimum of 24 hours.**

Legal Description _____ Parcel Control Number: _____
Fee Simple Holder Name: _____ Address: _____
City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):**

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)

YES ☐ NO ☐

Has a Zoning Variance ever been granted on this property?

YES ☐ (YEAR) _____ NO ☐

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ _____
(Notice of Commencement required when over \$2500 prior to first inspection. \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 _____ X _____
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only. Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: _____ Phone: _____ Fax: _____

Qualifiers name: _____ Street: _____ City: _____ State: _____ Zip: _____

State License Number: _____ OR: Municipality: _____ License Number: _____

LOCAL CONTACT: _____ Phone Number: _____

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE NOTARIZED SIGNATURE:

X _____

State of Florida, County of: _____

On This the _____ day of _____, 20____

by _____ who is personally

known to me or produced _____

As identification, _____

Notary Public

My Commission Expires: _____

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

X _____

State of Florida, County of: _____

On This the _____ day of _____, 20____

by _____ who is personally

known to me or produced _____

As identification, _____

Notary Public

My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT
MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE

APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES
AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE

NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.

ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"

Owner/Builder Applicant Name: Russell MADRIS

Site address of the proposed building work: 34 E High Point.

Name of legal title owner of the address above: Russell MADRIS

Describe the scope of work for the proposed new construction: FINISH New POOL

Name of Architect of Record: _____ Structural Engineer of Record: _____

Who will supervise the trade work to meet the applicable code? Steve Conway

What provisions have you made for Liability and Property Damage Insurance? Self Insure.

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? Subs Responsibility

What previous Owner/Builder improvements have you done in the State of Florida?

Location: NONE Scope of Work Done: N/A Year: _____

Location: NONE Scope of Work Done: N/A Year: _____

What code books do you have available for reference? Building: INTERNET & SUPERVISOR

Electric: _____ Plumbing: _____ HVAC: _____

Other: _____

I have internet access and will view The Florida Building code at www.floridabuilding.org YES ☒ NO ☐



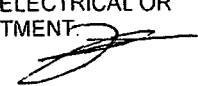
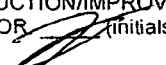

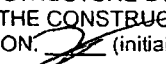

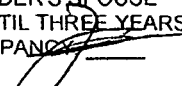

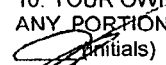
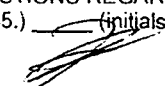
Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site? YES (yes/no)

Have you consulted with your Homeowner's Insurance Agent? ☒ Lender? ☒ Attorney? ☒

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. _____ (initials).

OWNER/BUILDER DISCLOSURE STATEMENT

NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.  (initials)
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.  (initials)
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.  (initials)
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.  (initials)
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.  (initials)
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.  (initials)
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.  (initials)
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.  (initials)
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.  (initials)
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.  (initials)
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)  (initials)

12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT. (initials)

13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE. (initials)

14. AS AN OWNER/BUILDER, YOU ARE LIABLE TO AND RESPONSIBLE FOR THOSE PEOPLE HIRED TO ASSIST YOU. SUCH LIABILITY AND RESPONSIBILITY MAY INCLUDE, BUT IS NOT LIMITED TO, COMPLIANCE WITH APPLICABLE LAWS RELATING TO LIENS, WORKERS' COMPENSATION, SOCIAL SECURITY, UNEMPLOYMENT, FEDERAL WITHHOLDING TAX, AND PUBLIC LIABILITY. (initials)

15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT. (initials)

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT. (initials)

ON THIS _____ DAY OF _____, 20____

PROPERTY ADDRESS 34 E High Point

CITY Stuart STATE FL ZIP 34996

SIGNATURE OF OWNER/BUILDER

SWORN TO AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____ 20____

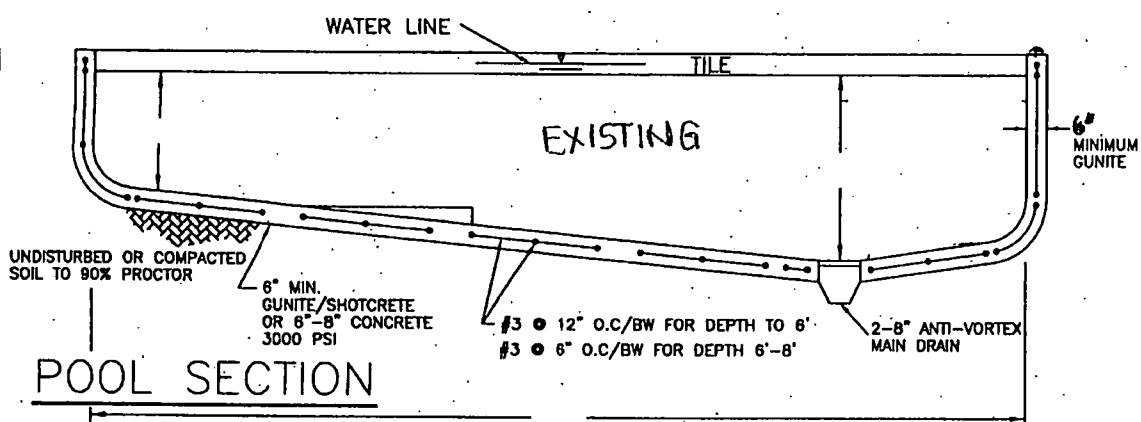
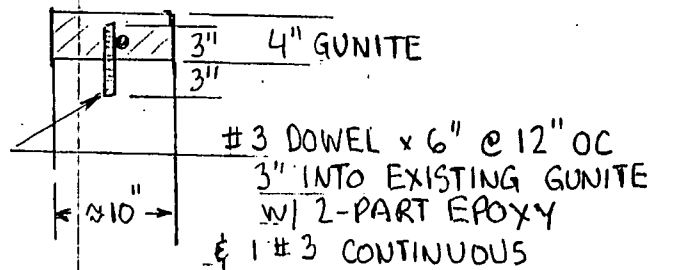
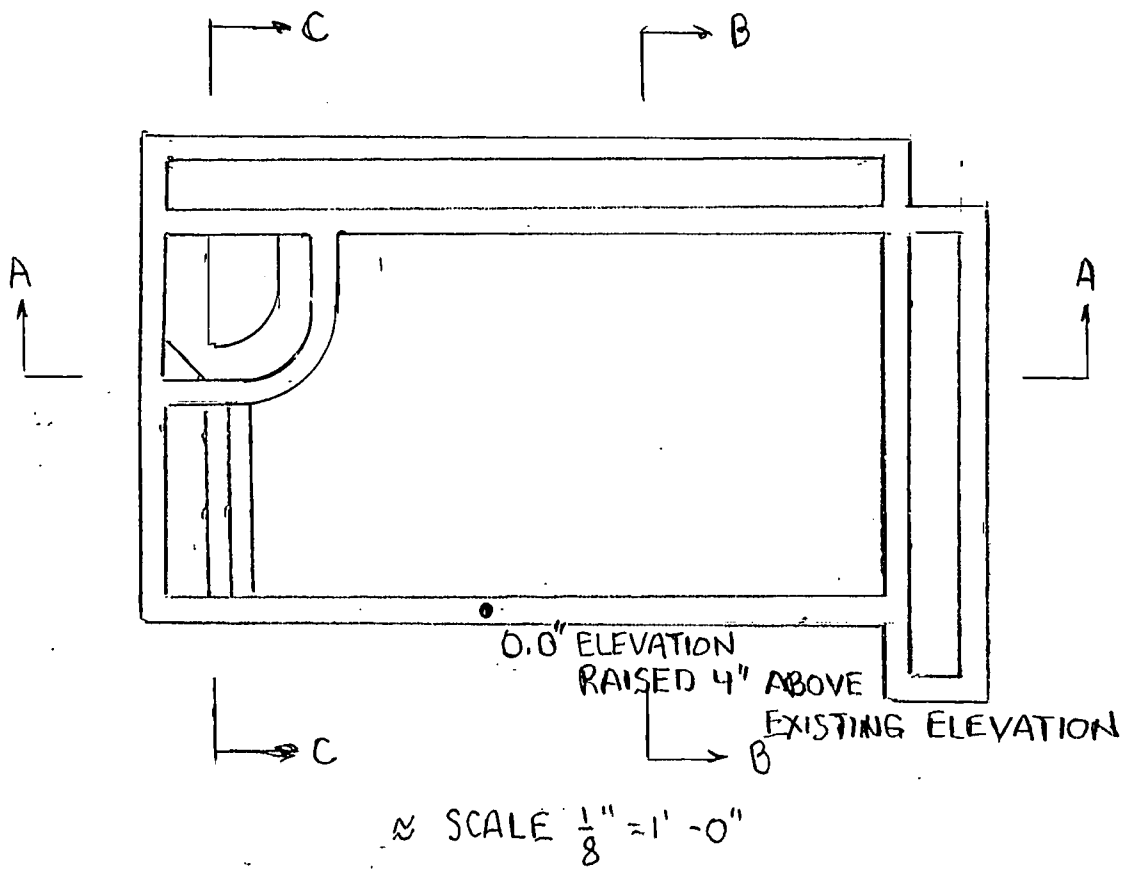
BY _____

PERSONALLY KNOWN _____

OR PRODUCED ID _____

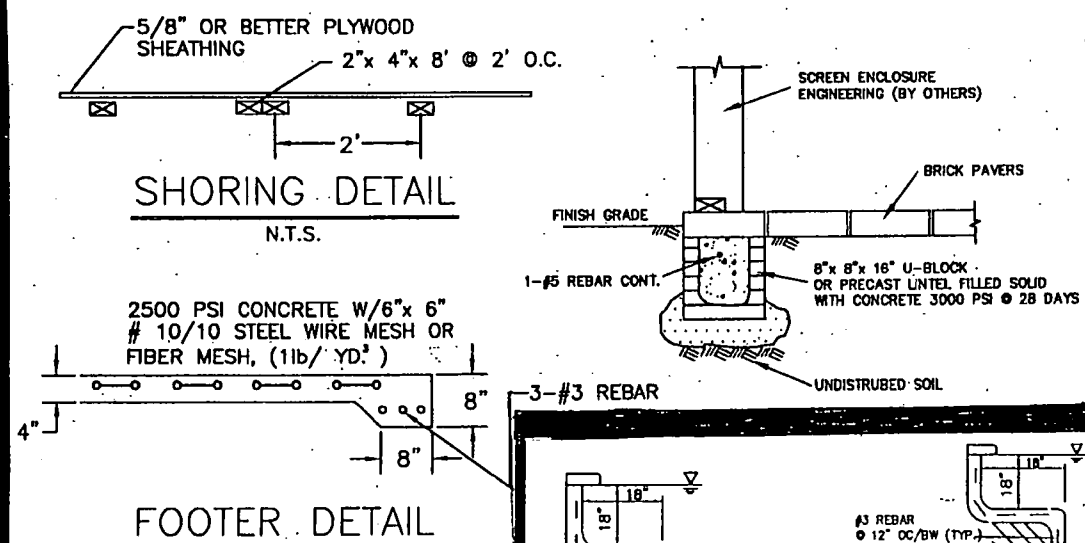
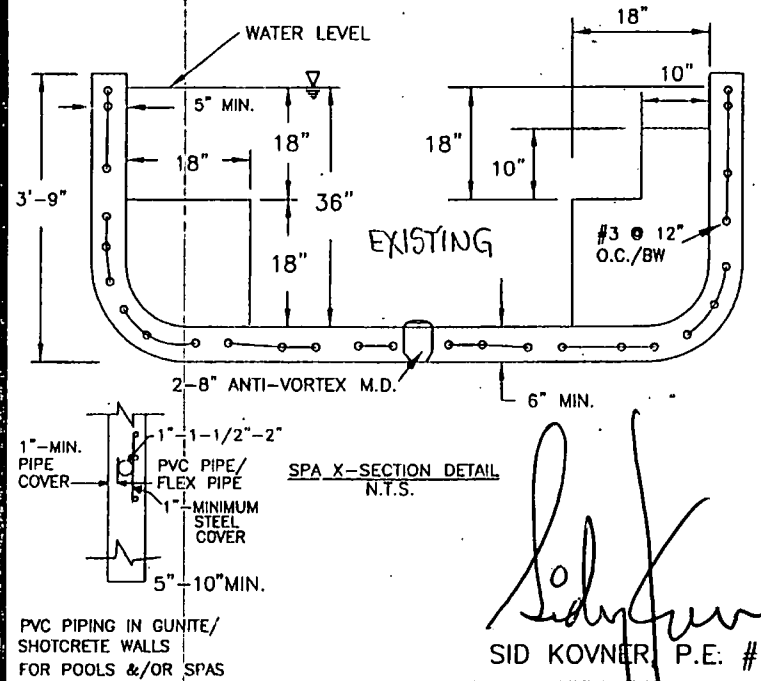
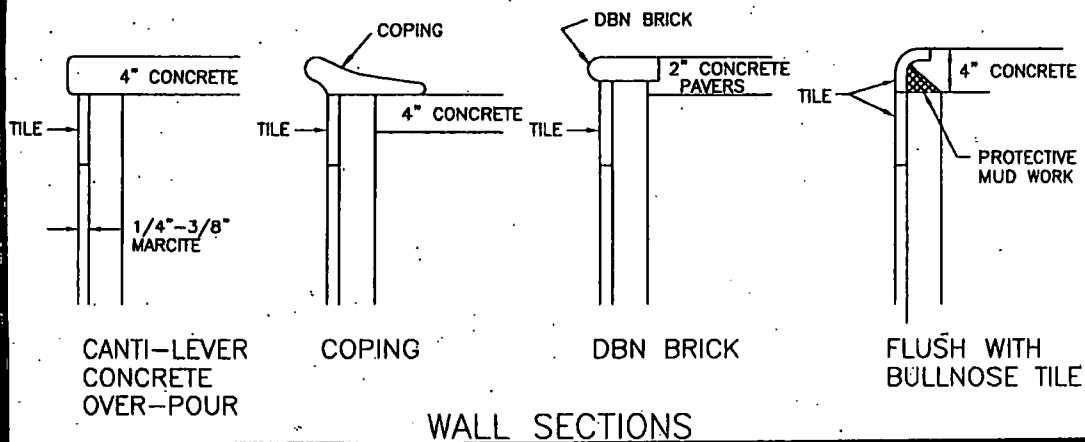
TYPE OF ID _____

NOTARY SIGNATURE



SWIMMING POOL PLAN

SCALE: $\frac{1}{8}" = 1'-0"$



SWIMMING POOL PLAN FOR :

MAR 20 2015

MADRIS RESIDENCE

34 EAST HIGH POINT

SEWALL'S POINT, FL

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT

FIELD COPY

EL-SID ENGINEERING

#EB-0006831

139 ISLE VERDE WAY

PALM BEACH GARDENS, FL 33418

For (3)

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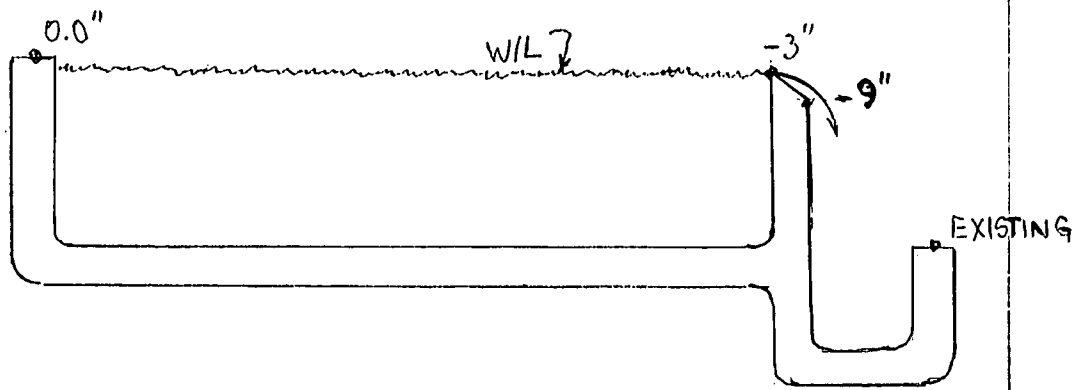


SHEET 1 OF 3

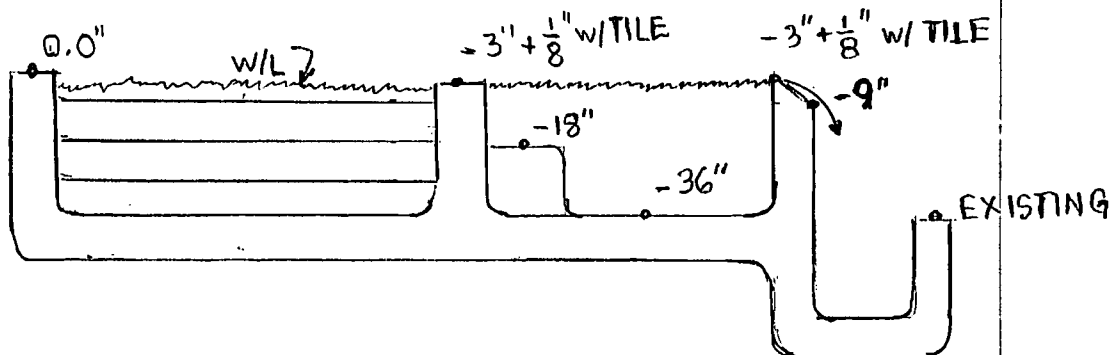
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SWIM IN BENCH DETAIL

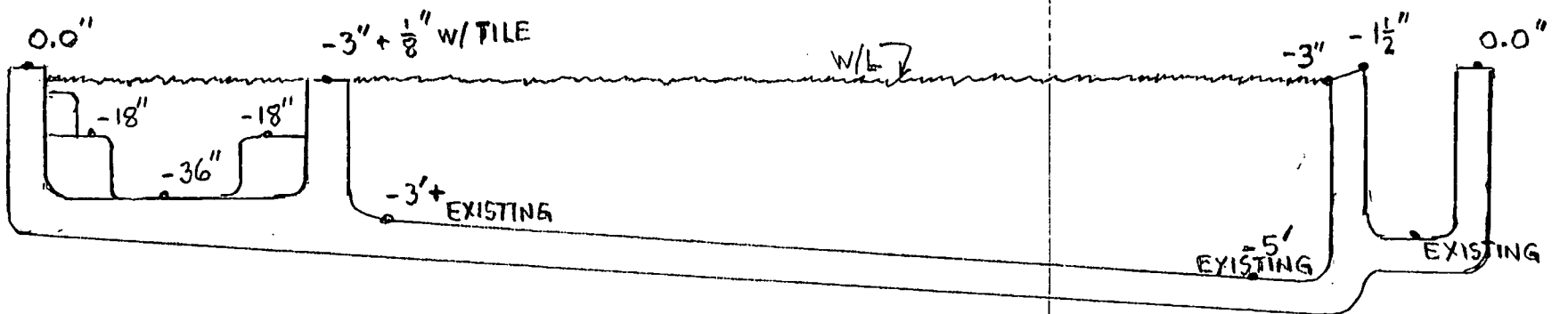
SWIM OUT BENCH DETAIL



TRANSVERSE SECTION B-B



TRANSVERSE SECTION C-C



LONGITUDINAL SECTION A-A
SCALE $\frac{1}{4}" = 1'$

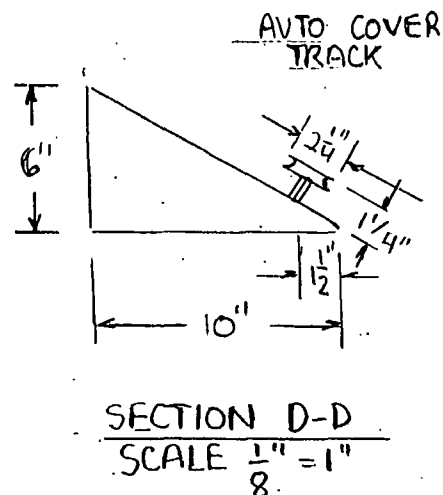
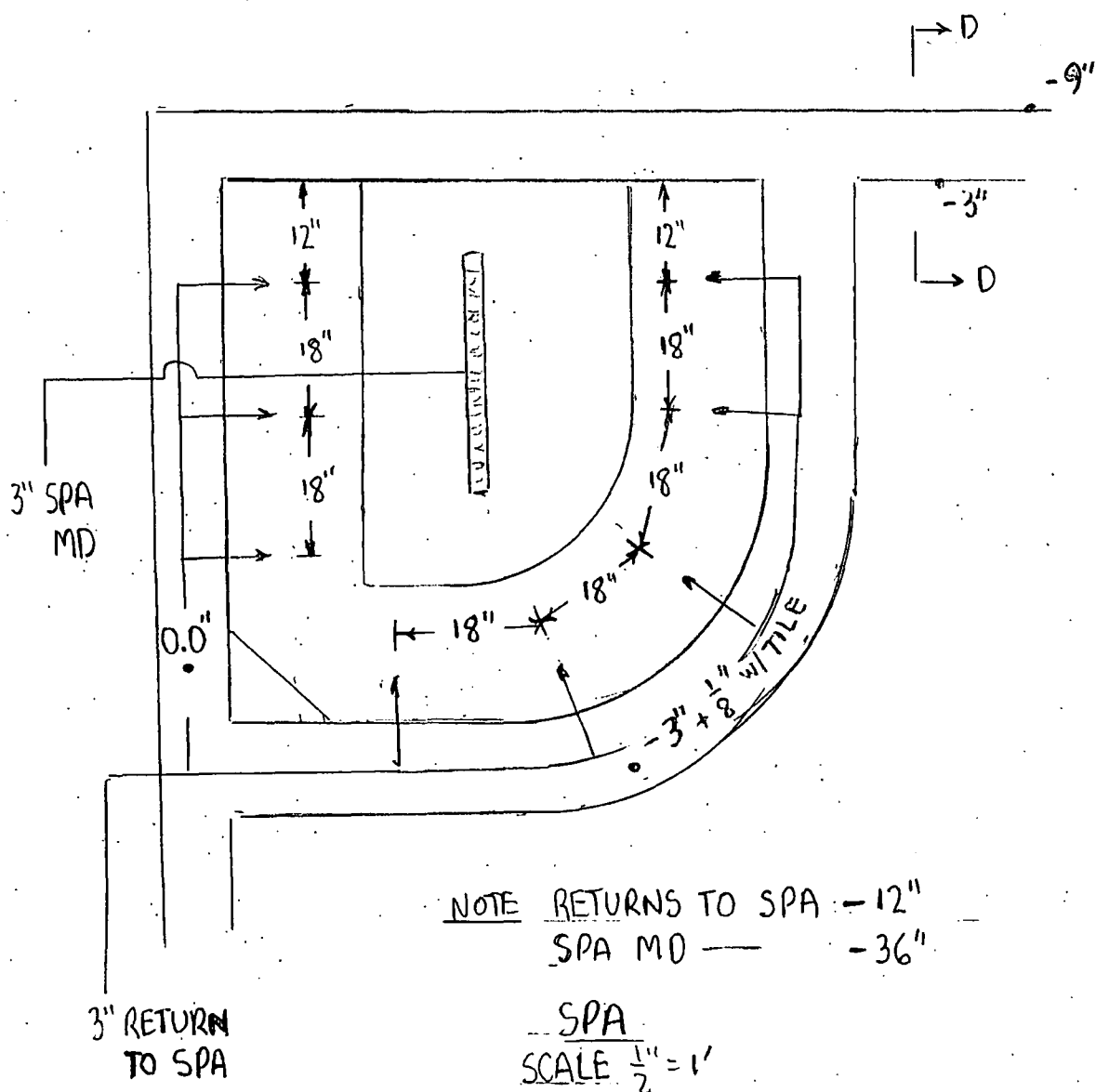
[Signature]
SID KOVNER, P.E. #16668

EL-SID ENGINEERING
#EB-0006831
139 ISLE VERDE WAY
PALM BEACH GARDENS, FL 33418
For

MAR 20 2015

DRAWN BY:

SHEET 1A OF 3
JOB NO:



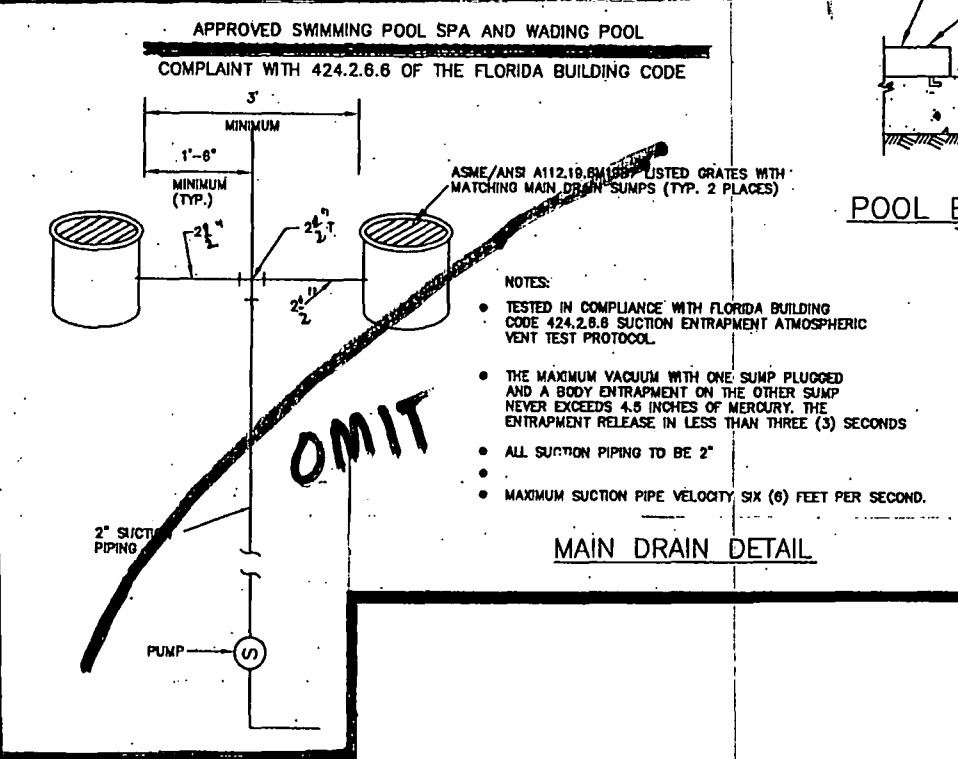
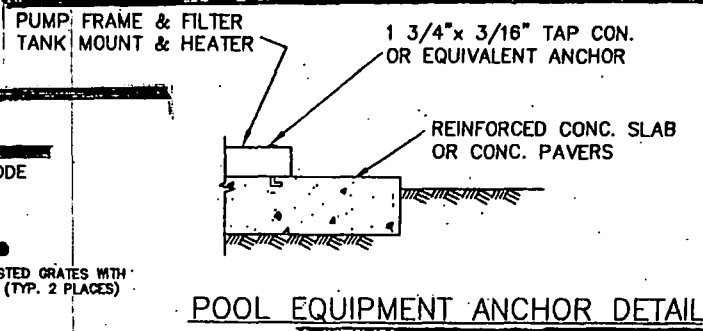
POOL SPA
PIPE SIZE FLOW (ft/sec) PIPE SIZE FLOW (ft/sec)

FLOW THRU DUAL 8" MD GRATES
PIPE FLOW MAIN DRAIN
SKIMMER
RETURN TO POOL/SPA

ASSUMPTIONS: POOL FLOW 67% MD 33% SKIMMER SPA FLOW 100% MD
POOL RETURN 2" FROM PUMP, 1 1/2" FROM TEE

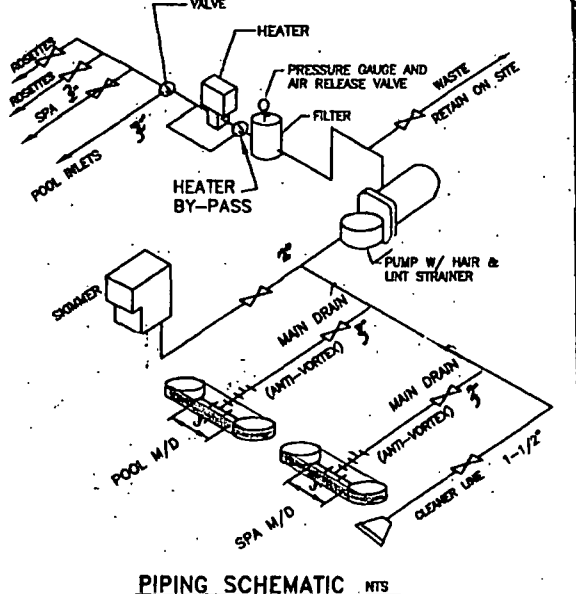
PIPING DIAGRAM

N.T.S.

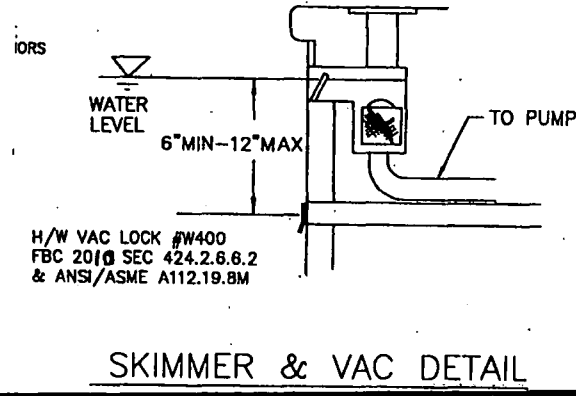


- NOTES:
- TESTED IN COMPLIANCE WITH FLORIDA BUILDING CODE 424.2.6.8 SUCTION ENTRAPMENT ATMOSPHERIC VENT TEST PROTOCOL.
 - THE MAXIMUM VACUUM WITH ONE SUMP PLUGGED AND A BODY ENTRAPMENT ON THE OTHER SUMP NEVER EXCEEDS 4.5 INCHES OF MERCURY. THE ENTRAPMENT RELEASE IN LESS THAN THREE (3) SECONDS.
 - ALL SUCTION PIPING TO BE 2"
 - MAXIMUM SUCTION PIPE VELOCITY SIX (6) FEET PER SECOND.

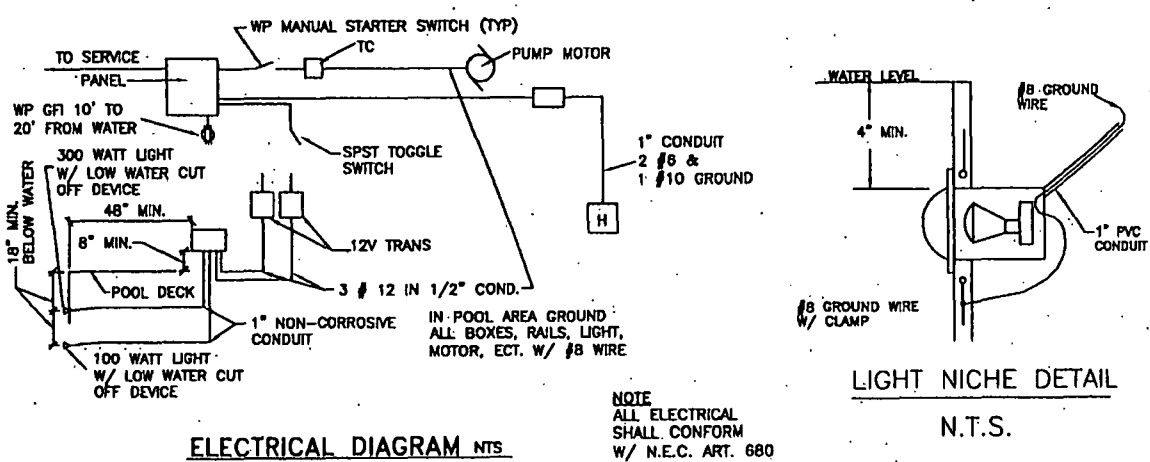
MAIN DRAIN DETAIL



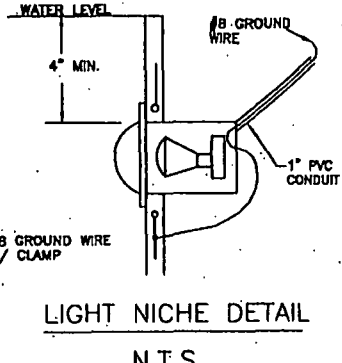
PIPING SCHEMATIC N.T.S.



SKIMMER & VAC DETAIL



ELECTRICAL DIAGRAM N.T.S.



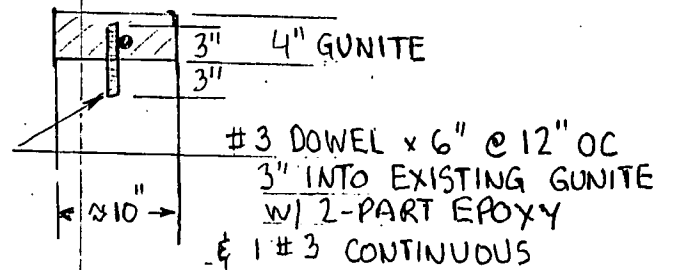
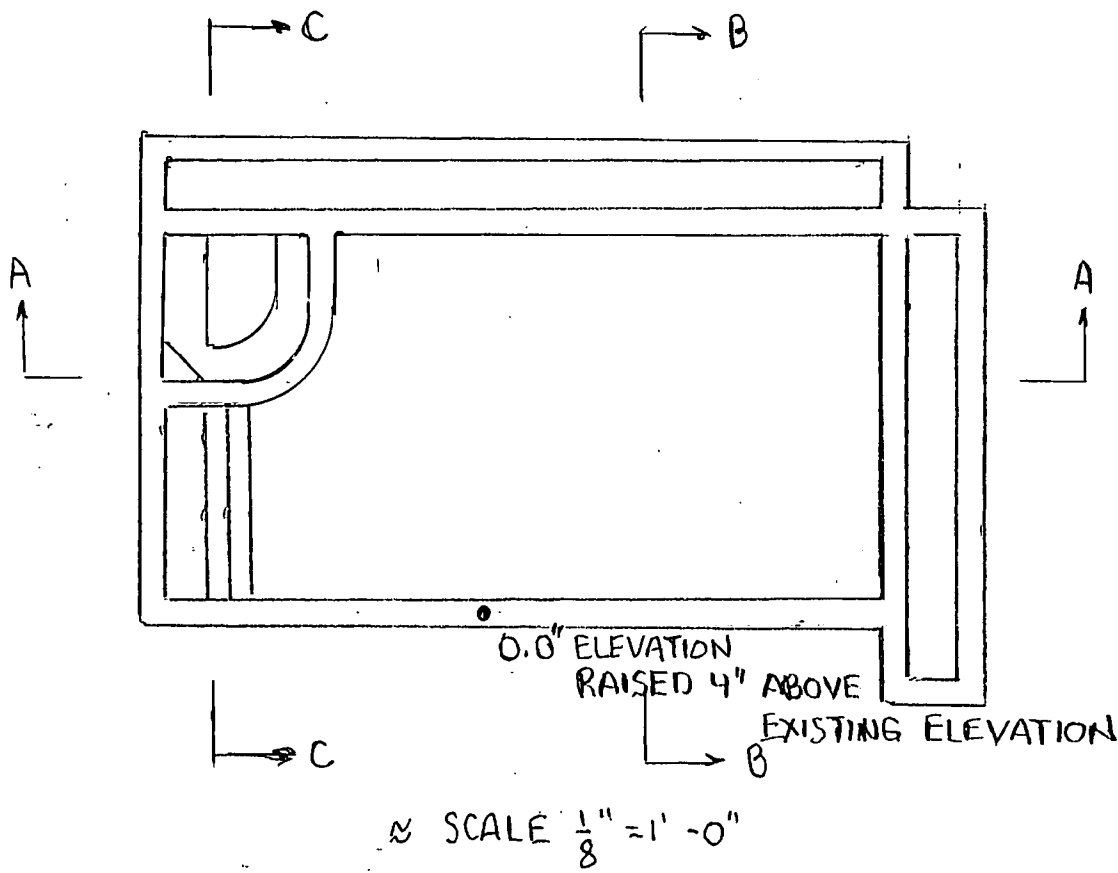
LIGHT NICHE DETAIL

N.T.S.

EL-SID ENGINEERING
#EB-0006831
139 ISLE VERDE WAY
PALM BEACH GARDENS, FL 33418
For

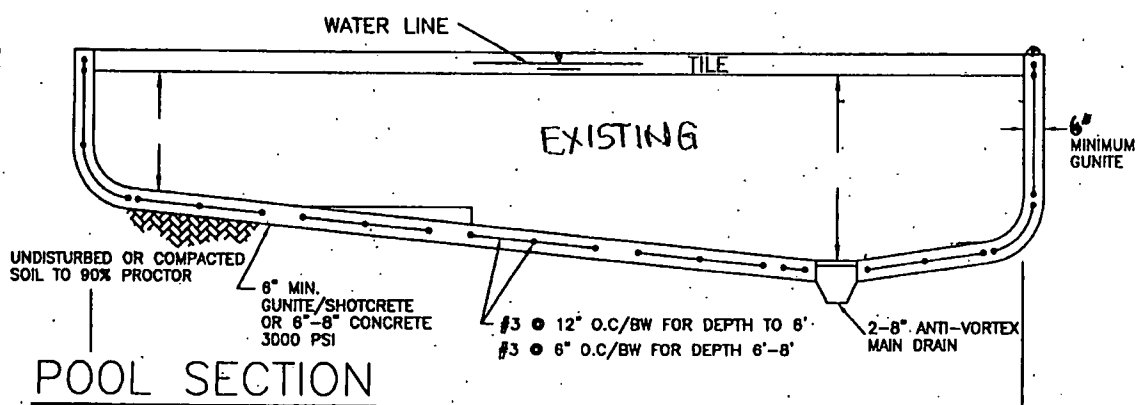
DRAWN BY: SHEET 2 OF 3
JOB NO:

SID KOVNER, P.E. #16668
MAR 20 2015

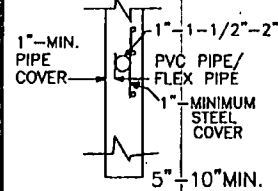
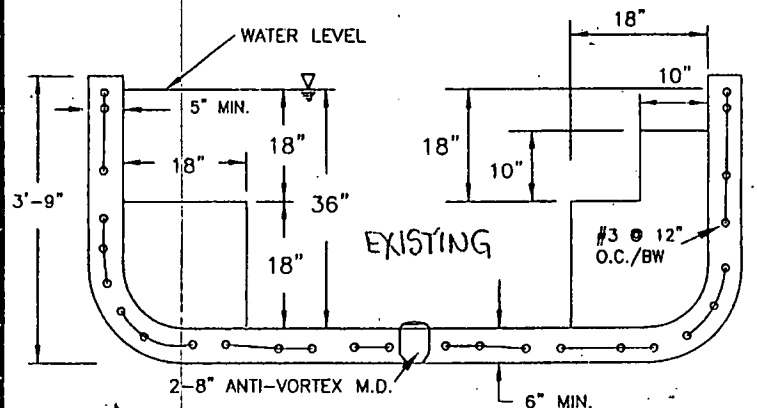


SWIMMING POOL PLAN

SCALE: 1/8" = 1'-0"



POOL SECTION



SPA X-SECTION DETAIL
N.T.S.

PVC PIPING IN GUNITE/
SHOTCRETE WALLS
FOR POOLS &/OR SPAS

SID KOVNER P.E. #16668

SWIMMING POOL

PLAN FOR : MAR 20 2015

MADRIS RESIDENCE

34 EAST HIGH POINT

SE WALL OF POOL AT HIGH POINT
BUILDING DEPARTMENT
FILE COPY

EL-SID ENGINEERING

#EB-0006831

139 ISLE VERDE WAY

PALM BEACH GARDENS, FL 33418

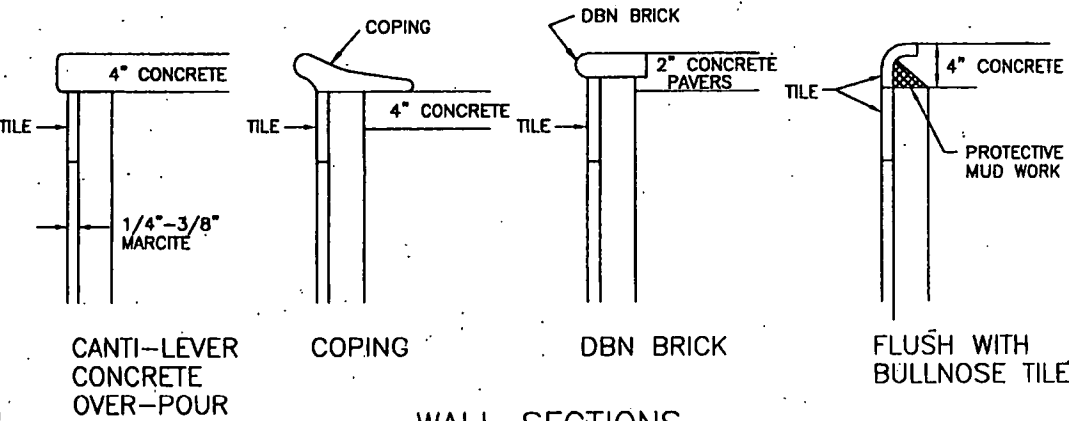
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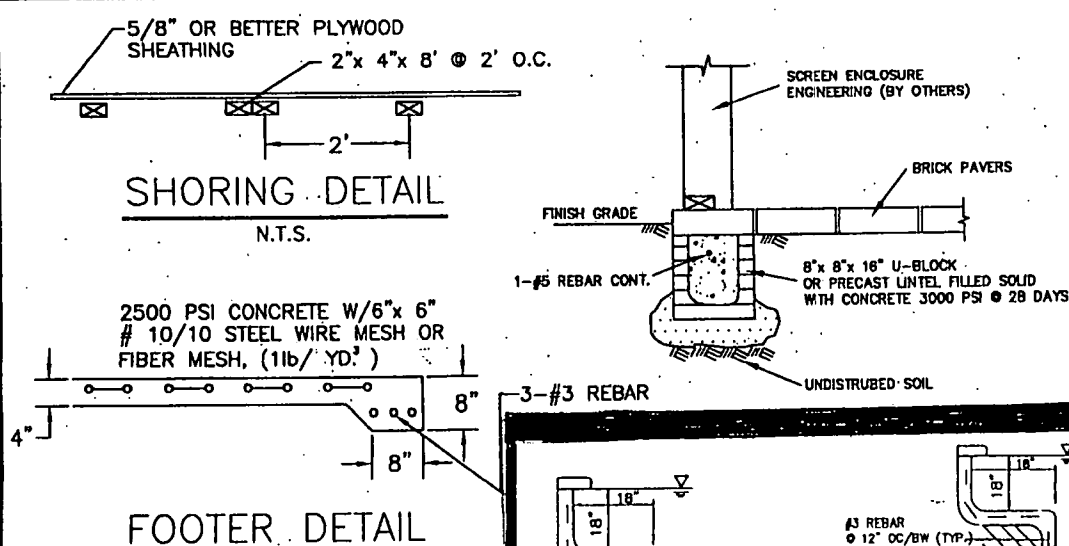


SHEET 1 OF 3

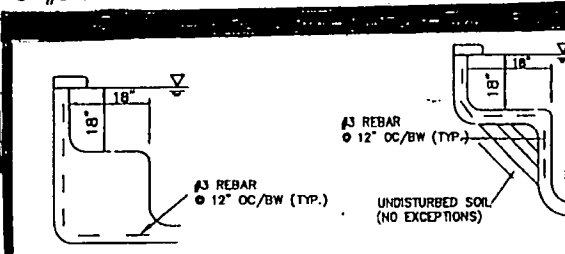
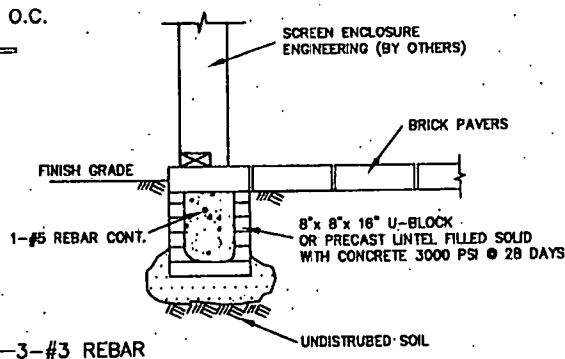
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WALL SECTIONS

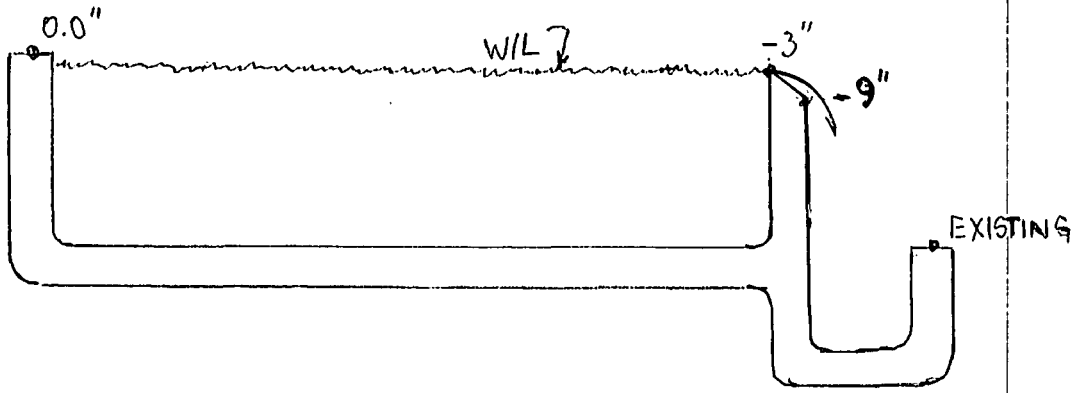


FOOTER DETAIL

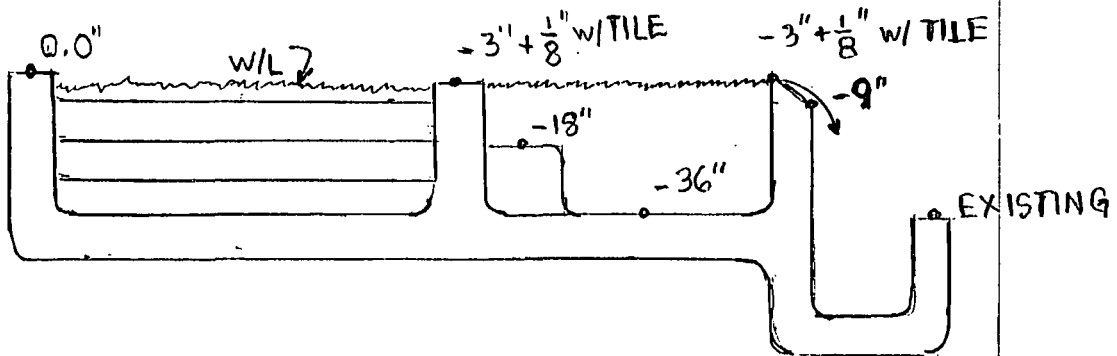


SWIM IN BENCH DETAIL

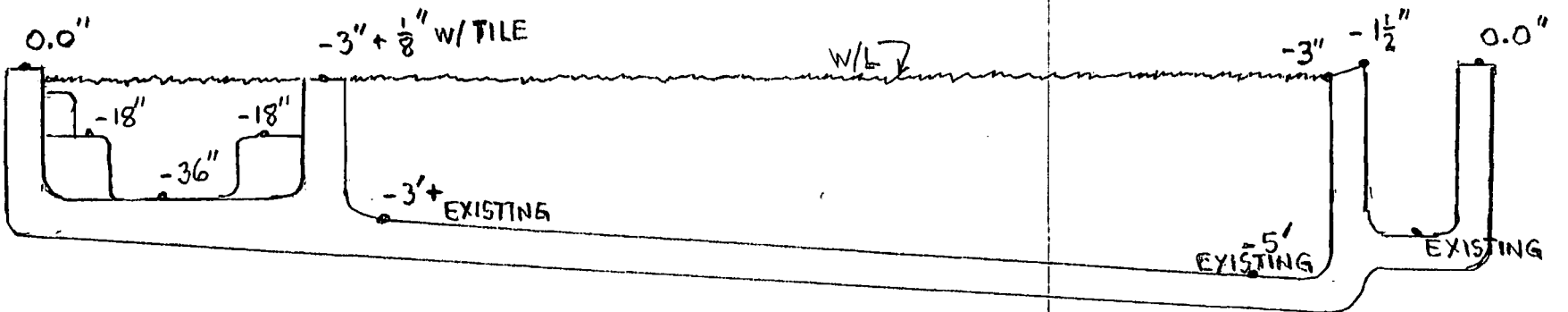
SWIM OUT BENCH DETAIL



TRANSVERSE SECTION B-B



TRANSVERSE SECTION C-C



LONGITUDINAL SECTION A-A
SCALE $\frac{1}{4}'' = 1'$

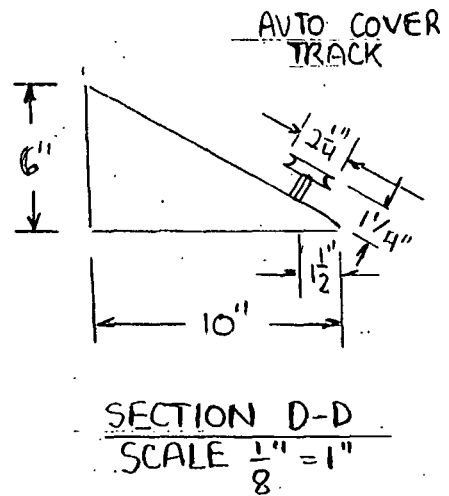
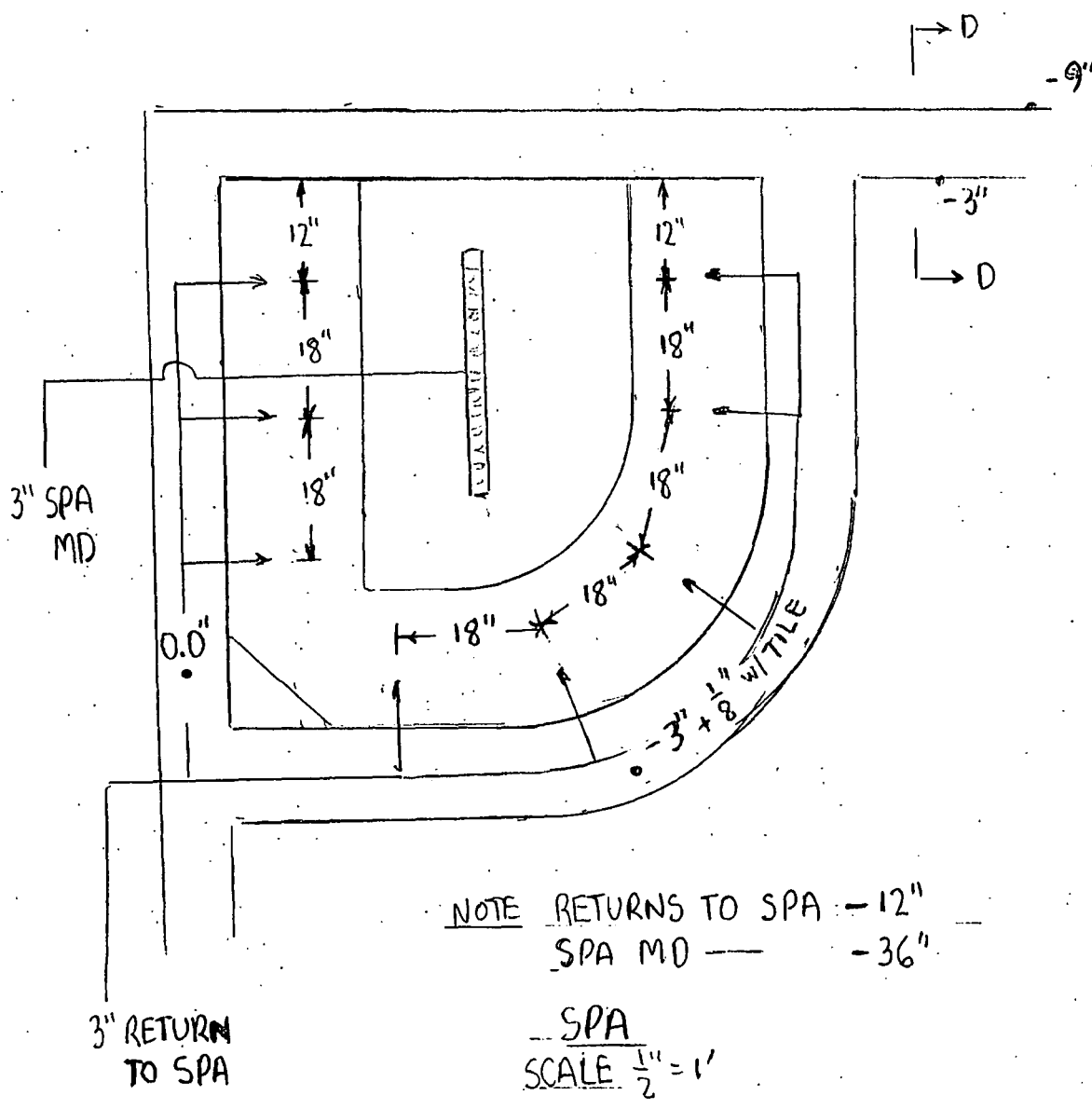
Sid Kovner
SID KOVNER, P.E. #16668

EL-SID ENGINEERING
#EB-0006831
139 ISLE VERDE WAY
PALM BEACH GARDENS, FL 33418
For

MAR 20 2015

DRAWN BY:

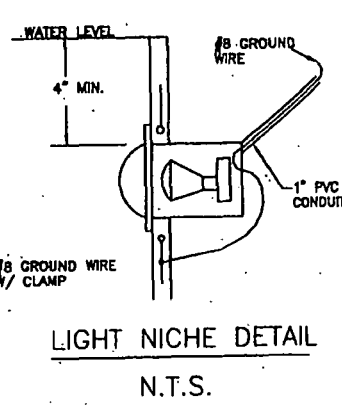
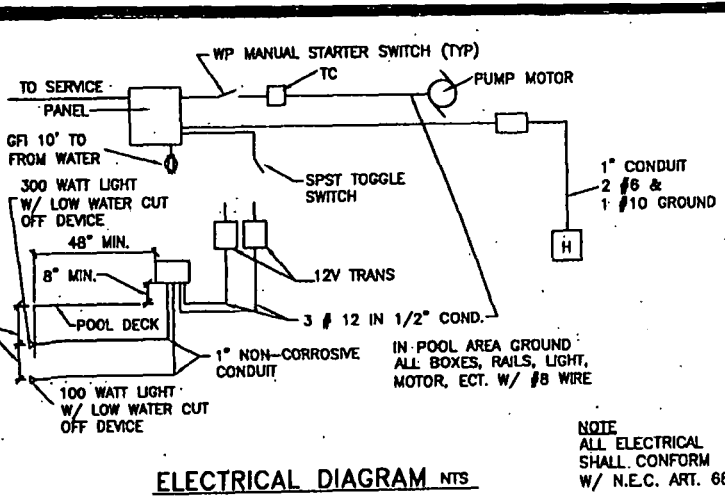
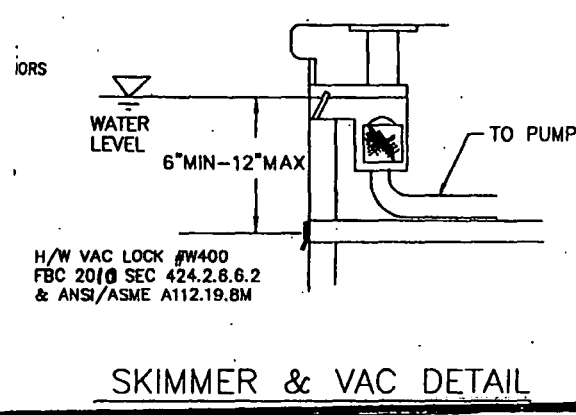
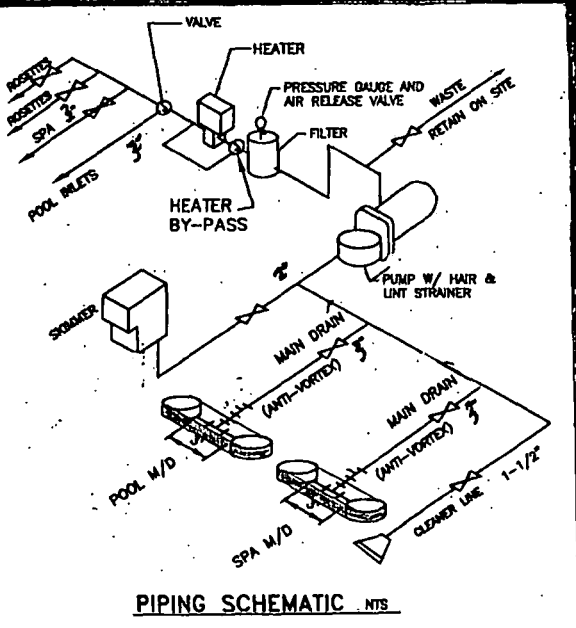
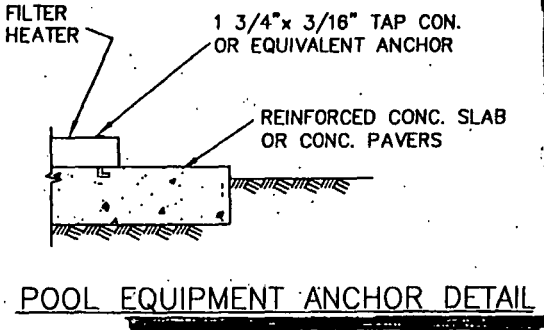
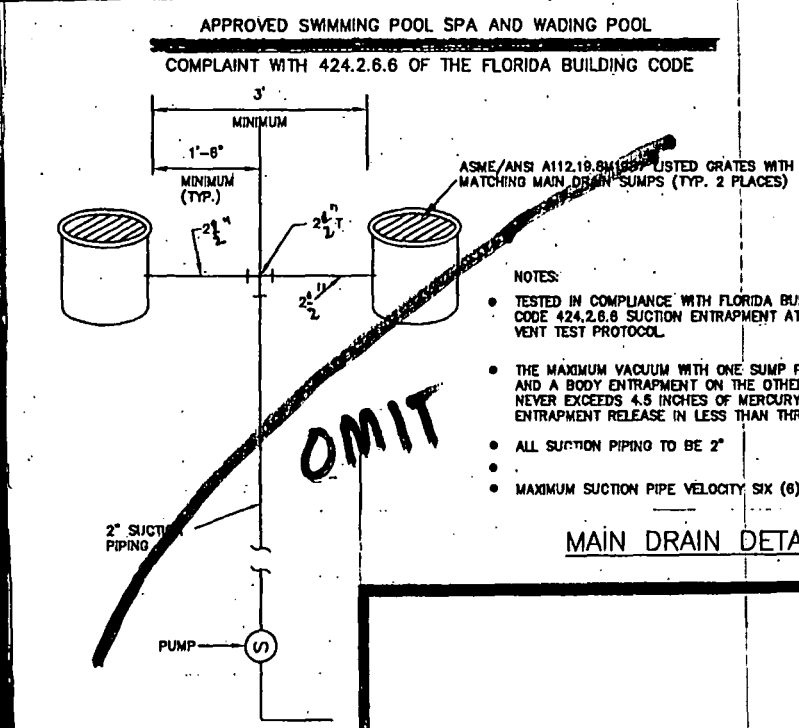
SHEET 1A OF 3
JOB NO:



POOL		SPA	
PIPE SIZE	FLOW (ft/sec)	PIPE SIZE	FLOW (ft/sec)
FLOW THRU DUAL 8" MD GRATES			
PIPE FLOW	MAIN DRAIN		
	SKIMMER		
	RETURN TO POOL/SPA		
ASSUMPTIONS: POOL FLOW 67% MD 33% SKIMMER SPA FLOW 100% MD			
POOL RETURN 2" FROM PUMP, 1 1/2" FROM TEE			

PIPING DIAGRAM

N.T.S.



- NOTES:
- TESTED IN COMPLIANCE WITH FLORIDA BUILDING CODE 424.2.6.8 SUCTION ENTRAPMENT ATMOSPHERIC VENT TEST PROTOCOL
 - THE MAXIMUM VACUUM WITH ONE SUMP PLUGGED AND A BODY ENTRAPMENT ON THE OTHER SUMP NEVER EXCEEDS 4.5 INCHES OF MERCURY. THE ENTRAPMENT RELEASE IN LESS THAN THREE (3) SECONDS
 - ALL SUCTION PIPING TO BE 2"
 - MAXIMUM SUCTION PIPE VELOCITY SIX (6) FEET PER SECOND.

MAIN DRAIN DETAIL

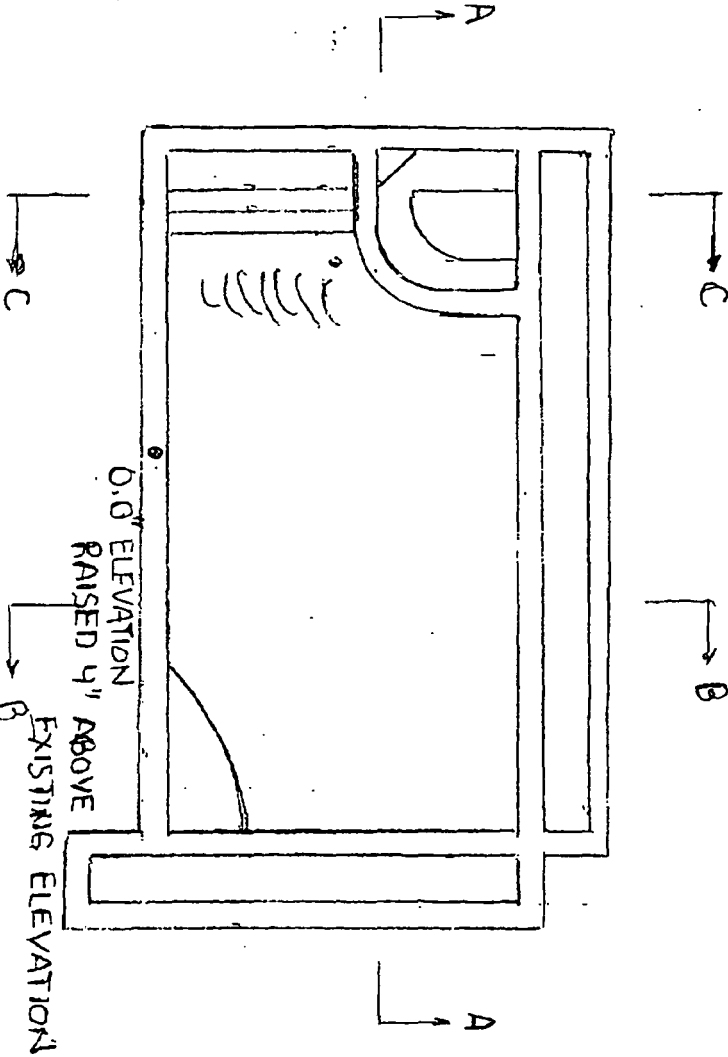
Sid Kovner
SID KOVNER P.E. #16668

EL-SID ENGINEERING
#EB-0006831
139 ISLE VERDE WAY
PALM BEACH GARDENS, FL 33418
For

DRAWN BY: SHEET 2 OF 3
JOB NO:

MAR 20 2015

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



SCALE $\frac{1}{8}" = 1'-0"$

raise everything up ~ 4"

all walls

area walls

bench

floor

Pool walls

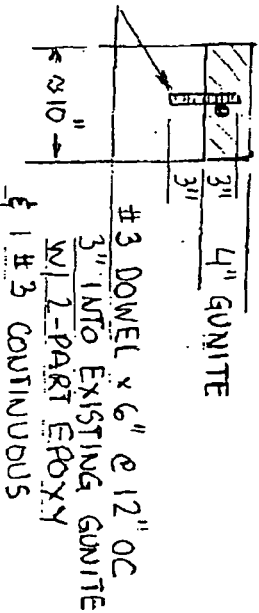
steps

S/T

floor & steps

under walls

(SP)



Barrier Requirement" that residential swimming pools shall comply with 424.2.17.1 through 4242.17.1. Exception: A swimming pool with an approved safety pool cover complying with ASTM F 1346-91.

RE: ASTM F-1346-91 CERTIFICATION

To Whom It May Concern,

The pool cover fabric used by Aquamatic Cover Systems for all the safety cover systems consists of a 16 oz. sq. yd. solid vinyl, including a polyester substrata scrim reinforcing layer to enhance tear strength and prevent tear propagation.

The material used substantially exceeds ASTM requirements set forth for safety covers of the type manufactured and distributed by this company. ASTM F-1346-91 requirements are as follows;

The cover and fabric installed on the swimming pool filled to its normal water level shall be capable of supporting the weight of 485 lbs. This total weight shall be composed of one 210 lb., one 225 lb., and one 50 lb. weight, each distributed over a one square foot area and all three contained within a three foot radius. The test weights shall be placed at the center of the cover system (or at least 4 ft., but not to exceed 6 ft.) from the edge of the swimming pool. The above test shall not cause damage to allow any of the test objects or the persons to pass through the cover.

The Aquamatic Cover Systems have, in fact, been independently tested by two testing agencies including Underwriters Laboratories to exceed the above listed standard.

Sincerely,



Harry J. Last, BSME, MBA
President

dm:hjl

AQUAMATIC COVER SYSTEMS
200 MAYOCK RD
GILROY CA 95020



Your most recent listing is shown below. Please review this information and report any inaccuracies to the UL Engineering staff member who handled your UL project.

WBAH July 14, 1998
Covers For Swimming Pools And Spas

AQUAMATIC COVER SYSTEMS E113958 (S)
200 MAYOCK RD, GILROY CA 95020
Power Safety Covers, Models 400, 400-U, 550, 550-U, 800, and 800-U Classified in Accordance with
ASTM F 1346-91.

LOOK FOR CLASSIFICATION MARKING ON PRODUCT

189553001

Underwriters Laboratories Inc.®

F11/0348906
83

For information on placing an order for UL Listing Cards in a 3 x 5 inch card format, please refer to the enclosed ordering information.

UNDERWRITERS LABORATORIES INC.

A not-for-profit organization
dedicated to public safety and
committed to quality service.

AUTOMATIC SWIMMING POOL COVER CERTIFICATION

ECS® File: #059T3030-2
Date Tested: May 20, 1993
Date Reported: May 21, 1993

Specification: ASTM Designation: F 1346-91

Tested Unit: Built-In, Under-Deck-Track, Automatic Swimming Pool Cover System

Source: Manufacturer: AquaMatic Cover Systems
Address: 441 Aldo Avenue, Santa Clara, CA

* LABORATORY ANALYSIS *

REFERENCE: Standard Performance Specification and Labeling Requirements for Safety Covers for Swimming Pools, Spas and Hot Tubs (ASTM Designation: F 1346-91).

1. SCOPE
Requirements for safety per ASTM F 1346-91.

2. As stated in referenced standard.

3. As stated in referenced standard.

4. CLASSIFICATIONS & MINIMUM CRITERIA

4.1 Power Safety Cover (PSC):
Provides a high level of safety for children under the age of five by inhibiting their access to the water.

4.1.1 As stated in referenced standard.

5. MATERIALS AND MANUFACTURE

Test unit complies with the 5.1, 5.2 and 5.3 requirements.

6. **GENERAL REQUIREMENTS FOR SAFETY COVERS**

- 6.1 Installation/Use of safety covers. Unit complies with requirement.
- 6.2 Label attached to the cover meets, and/or exceeds the general requirements as required by the 8.5.1, 8.8, 8.8.1 and 8.8.2 guidelines.
- 6.3 Markings for safety covers.
 - 6.3.1 Unit lists manufacturers name. Unit complies with guideline.
 - 6.3.2 Unit lists date manufactured. Unit complies with guideline.
 - 6.3.3 Manufacturer provides instructions to consumers to inspect the cover for premature wear in consumer packaging. Unit therefore complies.
 - 6.3.4 Label attached to unit meets the general requirements described in 8.4.1, 8.7, 8.7.1, 8.7.2, 8.7.3, 8.8, 8.8.1 and 8.9. Unit complies with guideline.
- 6.4 Fastening Mechanisms or Devices. Fastening devices remained in their intended, secured positions when the test unit was subjected to the load and perimeter deflection tests performed as called for under the 9.1 and 9.2 guidelines. Unit complies with all requirements.
- 6.5 Openings. No openings were allowed, when tested by the test method described in 9.4. Test object did not gain access to the water, nor was it subject to entrapment. Therefore, unit complies with this guideline.
- 6.6 Seams, ties or welds in the cover showed no signs of damage when tested by the methods described in 9.1, 9.2, 9.3 and 9.4. Unit met all requirements under this guideline.

7. **PERFORMANCE REQUIREMENTS FOR SAFETY COVERS**

Refer to Test Methods as described in the 9.1, 9.2, 9.3 and 9.4 guidelines.

8. **MINIMUM LABEL REQUIREMENTS FOR ALL COVERS**

Unit complies with requirements.

9. **TEST METHODS FOR SAFETY COVERS**

9.1 Static Load Test. Test Unit was subjected to 490-lbs (composed of one 150-lb, one 160-lb and one 180-lb weight) slightly exceeding load required per Standard. Test objects were applied at two different points (the center point of the cover; and, between attachment points at a distance of 4.5 feet) and remained in each test position for a period of 5 minutes or greater. Although, normal deflection was observed, no passage through the cover was possible. Test Unit complies with requirement.

9.2 Perimeter Deflection Test. Applied 50-lb weight at a distance of four-and-one-half feet from side of pool. Applied 36.6-lb. ellipsoidal shaped test object. Test Unit did not allow the test object to pass through, gain access to, or be subject to entrapment between the cover and the side of the pool. Test Unit complies with requirements.

9.3 Surface Drainage Test. Applied a 36.6-lb. torso shaped test object in a supine position, faceup, at a distance of two-and-one-half feet parallel with edge of pool. An even water spray was applied at a rate of 10 gallons per minute. After 3 minutes, minimal water collection was observed around test object. Continued applying water with no unsafe water pooling. After 30 minutes drain time, re-applied 36.6-lb test object with no unsafe amount of water pooling. Test Unit complies with requirements.

9.4 Openings Test. Applied solid faced spherical test object with a breadth of 4.5 in. at a force rate of 40-lbs., steadily, to the top surface of the pool. No allowable passage was observable. Test Unit complies with requirements.

10. **OPERATING CONTROLS, SAFETY COVERS**

10.1 Unit complies with requirements.

10.2 Unit complies with requirements.

10.3 Unit complies with requirements.

10.4 Pool cover operating controls.

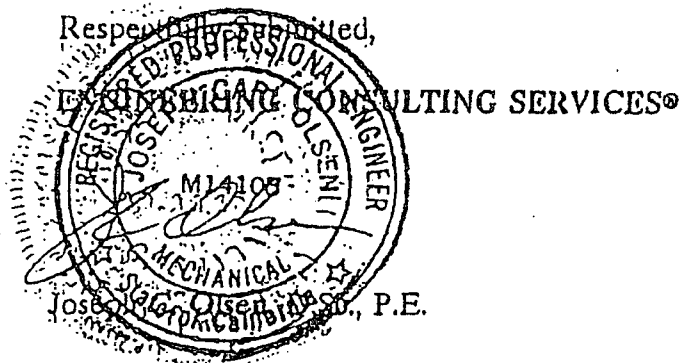
10.4.1 Controls comply with requirements. Unit complies with requirements.

10.4.2 Unit complies with requirements.

CONCLUSION:

Tested unit has met all requirements of this Standard.

UNIT COMPLIES WITH ASTM F 1346-91 REQUIREMENTS.



93.05.20CKK

[Swimming Pool and Spa Equipment] Covers for Swimming Pools and Spas[See General Information for Swimming Pool and Spa Equipment](#)**USE AND INSTALLATION**

This category covers manual and power safety covers intended for use with swimming pools, spas and hot tubs, as well as covers of other than the safety type, as defined in ASTM F1346, "Standard Performance Specification for Safety Covers and Labeling Requirements for All Covers for Swimming Pools, Spas and Hot Tubs."

The ability of the manual or power safety cover to perform its intended function is dependent upon proper installation. Installation should be performed by a qualified installer using the manufacturer's instructions. Authorities Having Jurisdiction should be consulted before installation.

PRODUCT TYPES

Manual Safety Covers — A manual safety cover is a barrier that is manually placed over the water. It is intended to impede access to the contained body of water. It is provided with a means for removing significant levels of collected surface water.

Power Safety Covers — A power safety cover is a barrier that can be placed over the water area and removed with a motorized mechanism. It is intended to impede access to the contained body of water. It is provided with a means for removing significant levels of collected surface water. A power safety cover includes an operator that is covered under Swimming Pool and Spa Cover Operators, Electric ([WDDJ](#)).

Other Covers — A cover of other than the safety type, such as an energy conservation or a solar energy cover, is a cover that has been investigated in accordance with only the materials, manufacture and labeling requirements of ASTM F1346. Covers of this type are not intended to impede access to the contained body of water. Such covers are marked "This Is Not A Safety Cover."

PRODUCT IDENTITY

One of the following product identities appears on the product:

Manual Safety Cover

Pool Cover

Power Safety Cover

ADDITIONAL INFORMATION

For additional information, see Electrical Equipment for Use in Ordinary Locations ([AALZ](#)) and Plumbing and Associated Products ([AAPP](#)).

REQUIREMENTS

The basic standard used to investigate products in this category is ASTM F1346, "Standard Performance Specification for Safety Covers and Labeling Requirements for All Covers for Swimming Pools, Spas and Hot Tubs."

UL MARK

The Certification Mark of UL on the product is the only method provided by UL to identify products manufactured under its Certification and Follow-Up Service. The [Certification Mark](#) for these products includes the UL symbol, the words "CERTIFIED" and "SAFETY," the geographic identifier(s), and a file number.

Additional Certification Markings

Products covered under this category are additionally marked with the following information:

ASTM F1346-[issue date]

Alternate UL Mark

The Classification Mark of UL on the product is the only method provided by UL to identify products manufactured under its Classification and Follow-Up Service. The Classification Mark for these products includes the UL symbol, the word "CLASSIFIED" above the UL symbol (as illustrated in the Introduction of this Directory), and the following additional information:

**[PRODUCT IDENTITY*]
IN ACCORDANCE WITH ASTM F1346-[issue date]
Control No.**

* **MANUAL SAFETY COVER, POWER SAFETY COVER or POOL COVER**

When the UL Leaf Mark is on the product, or when the word "Environment" is included in the UL Mark, please search the [UL Environment database](#) for additional information regarding this product's certification.

The appearance of a company's name or product in this database does not in itself assure that products so identified have been manufactured under UL's Follow-Up Service. Only those products bearing the UL Mark should be considered to be Certified and covered under UL's Follow-Up Service. Always look for the Mark on the product.

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RE: ASTM F-1346-91 CERTIFICATION

To Whom It May Concern,

The pool cover fabric used by Aquamatic Cover Systems for all the safety cover systems consists of a 16 oz. sq. yd. solid vinyl, including a polyester substrata scrim reinforcing layer to enhance tear strength and prevent tear propagation.

The material used substantially exceeds ASTM requirements set forth for safety covers of the type manufactured and distributed by this company. ASTM F-1346-91 requirements are as follows;

The cover and fabric installed on the swimming pool filled to its normal water level shall be capable of supporting the weight of 485 lbs. This total weight shall be composed of one 210 lb., one 225 lb., and one 50 lb. weight, each distributed over a one square foot area and all three contained within a three foot radius. The test weights shall be placed at the center of the cover system (or at least 4 ft., but not to exceed 6 ft.) from the edge of the swimming pool. The above test shall not cause damage to allow any of the test objects or the persons to pass through the cover.

The Aquamatic Cover Systems have, in fact, been independently tested by two testing agencies including Underwriters Laboratories to exceed the above listed standard.

Sincerely,



Harry J. Last, BSME, MBA
President

dm:hjl

AUTOMATIC SWIMMING POOL COVER CERTIFICATION

ECS® File: #059T3030-2
Date Tested: May 20, 1993
Date Reported: May 21, 1993

Specification: ASTM Designation: F 1346-91

Tested Unit: Built-In, Under-Deck-Track, Automatic Swimming Pool Cover System

Source: Manufacturer: AquaMatic Cover Systems
Address: 441 Aldo Avenue, Santa Clara, CA

*** LABORATORY ANALYSIS ***

REFERENCE: Standard Performance Specification and Labeling Requirements for Safety Covers for Swimming Pools, Spas and Hot Tubs (ASTM Designation: F 1346-91).

1. SCOPE

Requirements for safety per ASTM F 1346-91.

2. As stated in referenced standard.

3. As stated in referenced standard.

4. CLASSIFICATIONS & MINIMUM CRITERIA

4.1 Power Safety Cover (PSC):

Provides a high level of safety for children under the age of five by inhibiting their access to the water.

4.1.1 As stated in referenced standard.

5. MATERIALS AND MANUFACTURE

Test unit complies with the 5.1, 5.2 and 5.3 requirements.

ENGINEERING CONSULTING SERVICE
1940 The Alameda, Suite 106, San Jose, CA 95126

6. GENERAL REQUIREMENTS FOR SAFETY COVERS

- 6.1 Installation/Use of safety covers. Unit complies with requirement.
- 6.2 Label attached to the cover meets, and/or exceeds the general requirements as required by the 8.5.1, 8.8, 8.8.1 and 8.8.2 guidelines.
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- 6.6 Seams, ties or welds in the cover showed no signs of damage when tested by the methods described in 9.1, 9.2, 9.3 and 9.4. Unit met all requirements under this guideline.

7. PERFORMANCE REQUIREMENTS FOR SAFETY COVERS

Refer to Test Methods as described in the 9.1, 9.2, 9.3 and 9.4 guidelines.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

AFFIDAVIT OF REQUIREMENT COMPLIANCE

I understand that not having one of the above installed at the time of final inspection, or when the pool is completed for contract purposes, will constitute a violation of Chapter 515, F.S. and will be considered as committing a misdemeanor of the second degree, punishable as established in the Florida Statute.

CONTRACTOR'S SIGNATURE & DATE

OWNER'S SIGNATURE & DATE

NOTARY AS TO CONTRACTOR:

STATE OF Florida

COUNTY OF Martin

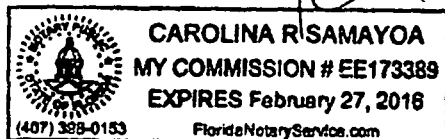
ON THIS 12 DAY OF Nov

BEFORE ME PERSONALLY APPEARED:

Robert D. Schiller

TO ME KNOWN TO BE THE PERSON WHO
EXECUTED THE FORGOING INSTRUMENT
AND ACKNOWLEDGED THAT HE / SHE
EXECUTED THE SAME AS HIS / HER FREE
ACT AND DEED.

SEAL (SIGNED)



NOTARY AS TO OWNER:

STATE OF Florida

COUNTY OF Martin

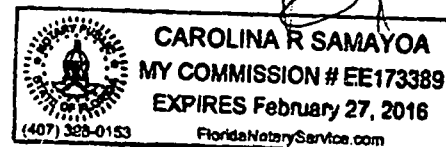
ON THIS 12 DAY OF Nov

BEFORE ME PERSONALLY APPEARED:

Russell L. Madors

TO ME KNOWN TO BE THE PERSON WHO
EXECUTED THE FORGOING INSTRUMENT
AND ACKNOWLEDGED THAT HE / SHE
EXECUTED THE SAME AS HIS / HER FREE
ACT AND DEED.

SEAL (SIGNED)



THIS FORM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO
SCHEDULING THE FINAL INSPECTION.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

THIS FORM MUST BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION

SWIMMING POOL AND SPA SUBCONTRACTORS LIST

Applicant's Name Robert Dean Schiller Pools, inc. Permit # _____
Mailing Address 3590 SE Dixie Hwy City Stuart State FL Zip 34997

Please provide a subcontractors list for verification. Any changes to this list must be provided prior to final inspection. Using unlicensed contractors or subcontractors may prevent you from being eligible for inspections. For further information, please contact the Town of Sewall's Point Building Department at 772-287-2455.

Please include all Competency Card or State Certification numbers. Do not use occupational license numbers.

<u>CONTRACTOR/TRADE</u>	<u>COMPANY NAME</u>	<u>LICENSE #</u>
CONCRETE POOL DECK	R.D. Schiller Pools, Inc	CPC1457983
DECK FINISH	R.D. Schiller Pools, Inc	CPC1457983
MASTER ELECTRICIAN	Payuk Electric, LLC	ME00454 EC13001275
POOL GUNITE	Southern Gunite	CPC056953
INTERIOR POOL FINISH	R.D. Schiller Pools, inc.	CPC1457983
POOL STEEL	R.D. Schiller Pools, Inc	CPC1457983
BARRIER/ALARM	R.D. Schiller Pools, Inc	CPC1457983

I certify that the above information is accurate and that all work will be performed by eligible competency card holders or State Certified contractors.

I understand that a complete notarized subcontractors list is required prior to final inspection.

[Signature]
Signature of applicant

Sworn to and subscribed before me this 12th day of 20 14 by Robert Dean Schiller

[Signature]
Notary Public, State of Florida, County of Martin
☒ Personally Known ☐ Produced Identification

Type of ID Produced: _____



1. CONTACT AQUAMATIC FOR COVER VAULT WIDTH
 2. CONTACT AQUAMATIC FOR COVER VAULT DEPTH
 3. MINIMUM REQUIRE TO CLEAR BOTH ABOVE
 LOWERED BOND BEAM AND BELOW VAULT COVER LID
 SUPPORT COMPONENTS FOR HYDRAULIC COVER CLEARANCE.
 REFER TO NOTE "1" AND VAULT SECTION DETAIL PAGE 2

LOWERED BOND
 BEAM SEE NOTE "1"



VAULT ISOMETRIC SECTION

SCALE: N.T.S.

GENERAL NOTES

1. DRY PIT MUST BE EQUIPPED WITH DRAIN AND ONE 2" CHASE FROM DRY PIT RETURNED TO THE MAIN DRAIN PIPING WITH SWEEP TURNS ONLY.

2. A 2" DIA. PIPE WILL BE TYPED FROM THE WET PIT TO THE DRY PIT FOR WALL SLIFT PASSAGE ASSEMBLY. NOTE: IF THERE IS NO PIPING IN THE WALL BETWEEN THE WET AND DRY PIT'S LOCATION TO BE DETERMINED AS PER AQUAMATIC.

3. DRY PIT MUST BE AT MINIMUM 14" x 14" WIDE (CENTERED) AND THE SAME DEPTH AS THE WET PIT. DRY PIT CAN BE LOCATED ON EITHER SIDE OF WET PIT. WET END WALL IS TO BE FLUSH TO POOL WALL.

4. ALL WALL & HOSE TYPE OF SWEEP FLOATS MUST BE REMOVED TO KEEP HOSE BELOW WATERLINE. AUTOMATIC CLEANING SYSTEMS ARE PREFERRED.

5. AIR EXHAUSTION AND WATER TREATMENT & DRAIN OR RETURN MUST BE INSTALLED. CONSULT WITH THE POOL BUILDER FOR PLACEMENT AND REQUIREMENTS.

6. ALL CLEARANCES ARE CRITICAL THEREFORE WATER LEVEL MUST BE MAINTAINED WITH AUTO-FILL AND OVERFLOWS.

7. FOR BOTH THE LOWERED BOND BEAM (END WALL) AND ANY LID COMPONENTS (MEASURE FROM THE LOWEST POINT DOWN) THERE MUST BE A MINIMUM OF 2" CLEARANCE FROM BOTH (4" OVERALL) TO ALLOW THE COVER TO PASS WITHOUT OBSTRUCTION. IF THE COVER DOES NOT PASS FREELY, THE SLATS WILL GET ENCHAINED UP INSIDE THE COVER HOUSING WHICH CAN CAUSE SIGNIFICANT DAMAGE TO THE SLATS.

COVER STYLE: **HYDRALUX**

PAGE

TITLE:

HYDRALUX
SIDE WALL INSTALLATION

1 OF 2



Hydraulic Swimming Pool Covers
 AQUAMATIC COVER SYSTEMS
 200 Mayock Rd, Gilroy, CA 95020
 Ph. 800.262.4044 / 408.846.9274
 Fax: 800.600.7087 / 408.846.1060
www.aquamatic.com

COPIES SHOWN

4" x 4" STEEL SUPPORT
BEAMS FOR COVER TILE
OR STONE TO MATCH
PATIO

NET PIT COVER VAULT

DRY PIT MINIMUM 2'-0" x 2'-0"
DEPTH TO MATCH NET PIT
SEE NOTE "3"

4" x 4" STEEL SUPPORT
BEAMS FOR COVER TILE
OR STONE TO MATCH
PATIO

REFER TO
NOTE "8"

STONE OR TILE COVERS TO
FLUSH TO PATIO AND MOUNTED
ON S.S. COVER PLANS WITH
OVERHANG OF SUPPORT
BEAMS TO MATCH COPING.
NOTE: IF PATIO MATERIAL IS
THICK ENOUGH TO BE SELF
SUPPORTIVE S.S. MOUNTING
PLANS ARE NOT REQUIRED

4" PIPE CHASE
REFER TO
NOTE "1"

COVER STYLE: HYDRALUX

PAGE

TITLE:
HYDRALUX
SIDE WALL INSTALLATION

2 OF 2



Hydraulic Swimming Pool Covers
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TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

PERMIT # _____

**RESIDENTIAL SWIMMING POOLS, SPA AND HOT TUB SAFETY ACT
AFFIDAVIT OF REQUIREMENT COMPLIANCE**

I (We) acknowledge that a new swimming pool, spa or hot tub has been constructed or installed at (Print street address) 34 E. Wagon Point Rd., and hereby affirm that one of the following methods has been used to meet the requirements of Chapter 515, Florida Statutes and 2010 Florida Building Code.
Please check your choice of compliance.

Residential swimming pool safety feature options:

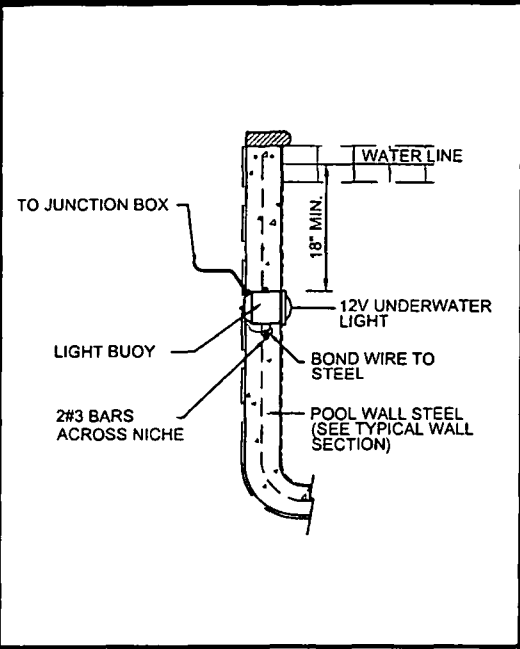
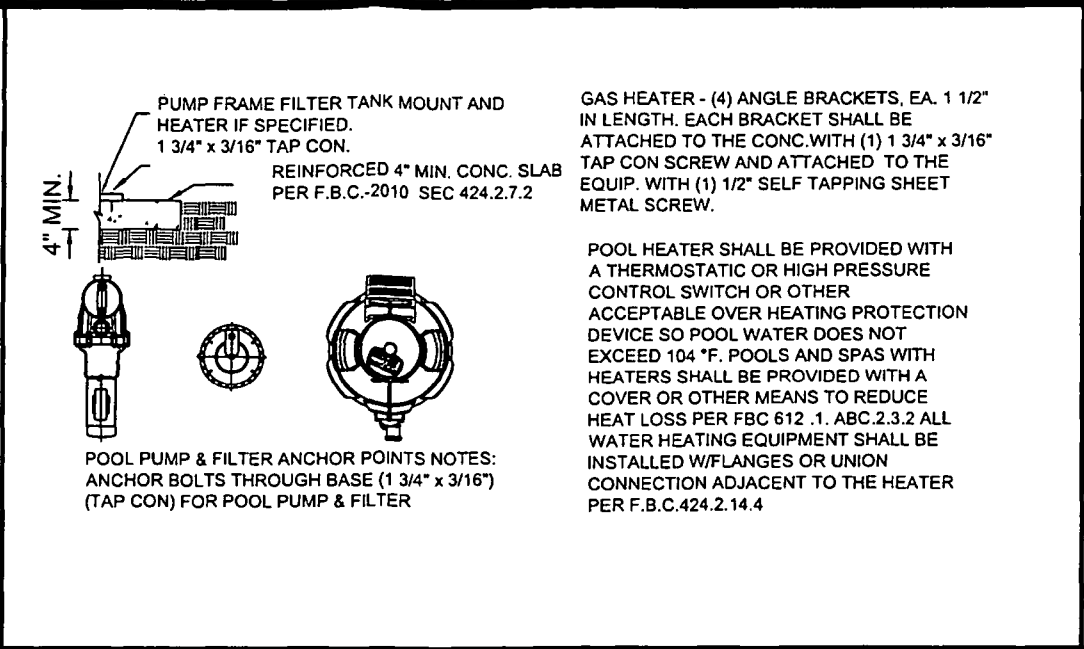
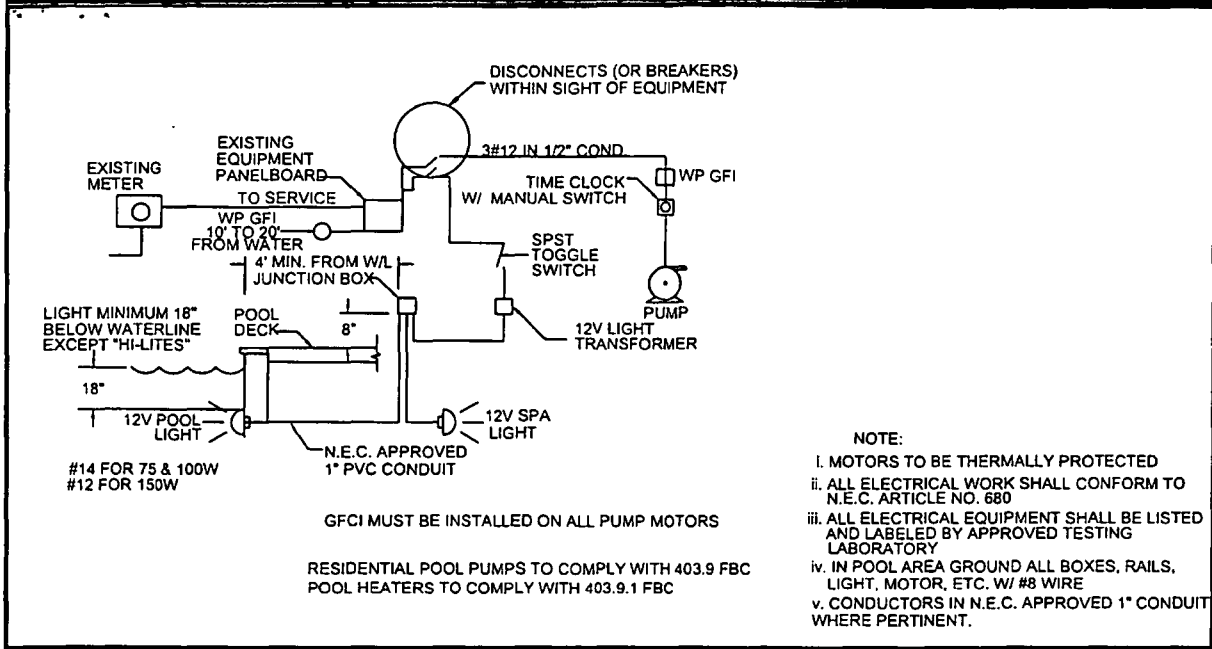
In order to pass final inspection and receive a certificate of completion, a residential swimming pool must meet the following requirements relating to pool safety features:

PLEASE NOTE THAT IF THE ALARM OPTION IS SELECTED, THIS AFFIDAVIT MUST BE ACCOMPANIED BY A LETTER OF CERTIFICATION FROM A FLORIDA LICENSED ALARM CONTRACTOR, ARCHITECT, OR ENGINEER STATING FULL COMPLIANCE WITH 2010 FBC R4101.17.1.9. PLEASE INDICATE BY INITIALING THE FOLLOWING:

- ☒ (a) The pool/spa must be equipped with an approved safety pool cover (4101.17 exceptions, no other barrier feature required).
- _____ (b) The pool/spa must be isolated from access by an enclosure that meets the pool barrier requirements of section (R4101.17.1 thru R4101.17.3;)
- _____ (c) Where a wall of a dwelling serves as part of the barrier one (1) of the following shall apply: (R4101.17.1.9)
- _____ 1. All doors and windows providing direct access from the home to the pool shall be equipped with an exit alarm which produces an audible continuous warning when the door and its screen are opened. The alarm shall sound immediately after the door is opened and be capable of being heard **throughout the house during normal household activities**. The alarm shall be equipped with a manual means to temporarily deactivate the alarm for a single opening. Such deactivation shall last no more than 15 seconds. The deactivation switch shall be located at least 54 inches above the threshold of the door.

Exceptions:

- a. Screened or protected windows having a bottom sill height of 48 inches or more measured from the interior finished floor at the pool access level.
 - b. Windows facing the pool on floor above the first story.
 - c. Screened or protected pass-through kitchen windows 42 inches or higher with a counter beneath. (R4101.17.1.9 (1))
- _____ 2. All doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with positive mechanical latching/locking installed a minimum of 54 inches above the threshold, which is approved by the authority having jurisdiction. (R4101.17.1.9 (2))



SCHILLER POOLS

3590 S.E. DIXIE HWY
STUART, FL 34997
C: (772) 528-6437 O: (772) 287-0768
schillerpools@bellsouth.net CPC1457983

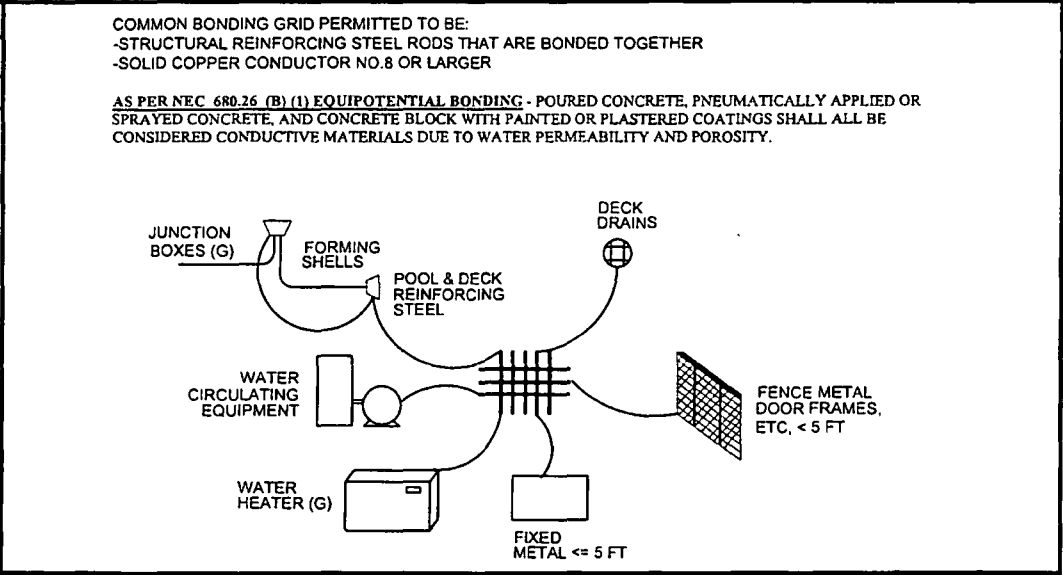
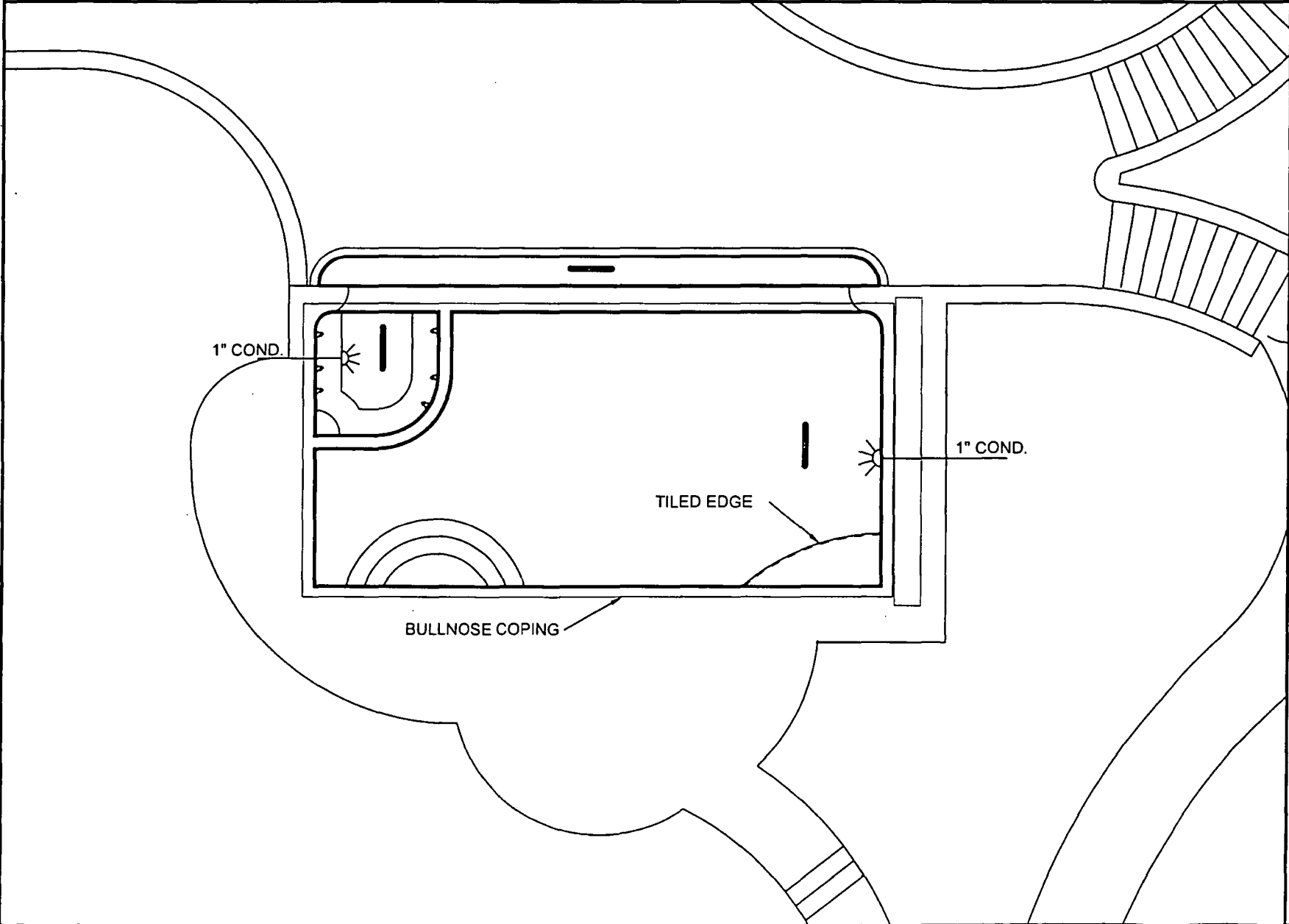
MADRIS RESIDENCE
34 EAST HIGH POINT
SEAWALLS POINT, FL

Project No: 14-16-251
Date: 10/25/14

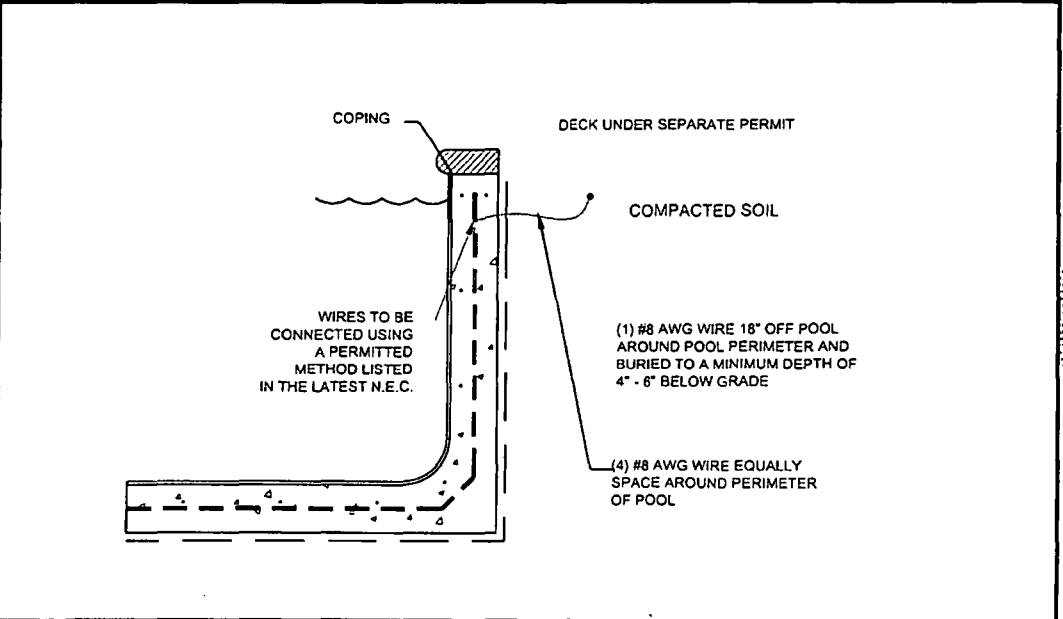
ELECTRICAL DIAGRAM N.T.S.

EQUIPMENT ANCHORING N.T.S.

LIGHT DETAIL N.T.S.



BONDING DETAIL SCALE- NTS



DECK DETAIL SCALE- 1/2"=1'-0"

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POOL AND SPA DESIGNS, INC.
AQUATIC ENGINEERING

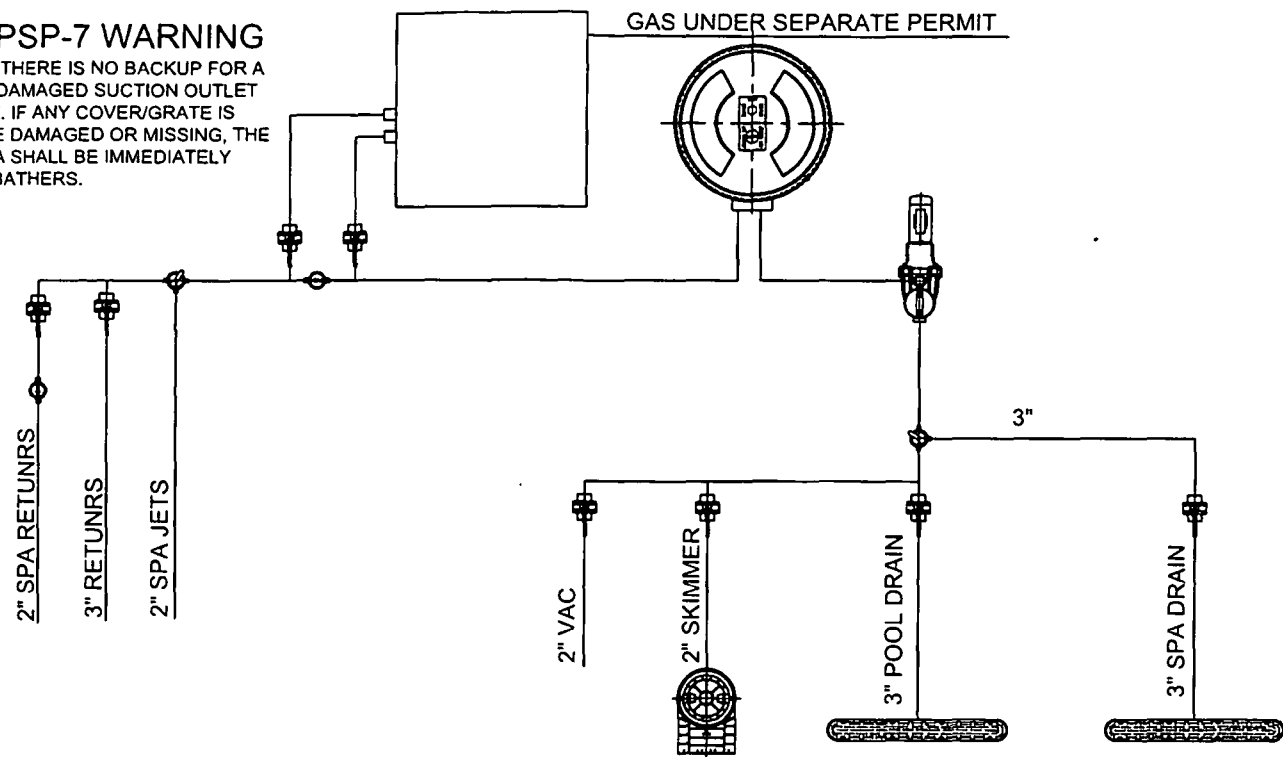
MARK E. WEBER
LICENSE
No. 53895
NOV 1 1 2014
STATE OF FLORIDA
PROFESSIONAL ENGINEER

MARK E. WEBER, P.E.
LICENSE #53895
6574 State Road 7 #199
Coconut Creek, FL 33073
954-854-7741, www.poolandspadesigns.net
CA#25982

LIGHT LAYOUT SCALE- 1/8"=1'-0"

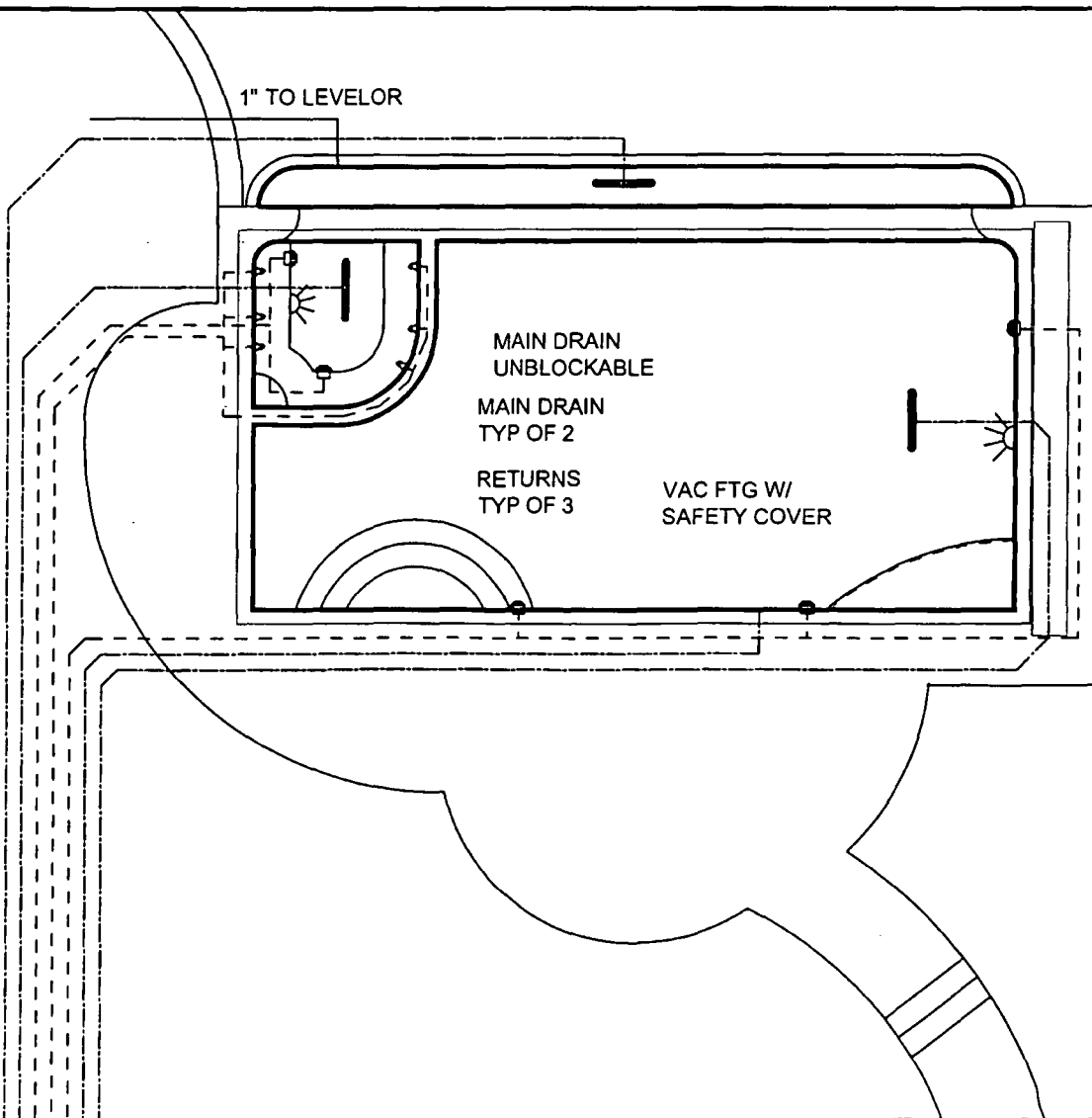
ANSI/APSP-7 WARNING

4.3 DANGER. THERE IS NO BACKUP FOR A MISSING OR DAMAGED SUCTION OUTLET COVER/GATE. IF ANY COVER/GATE IS FOUND TO BE DAMAGED OR MISSING, THE POOL OR SPA SHALL BE IMMEDIATELY CLOSED TO BATHERS.



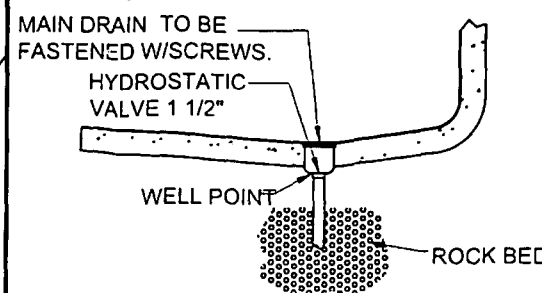
PIPING SCHEMATIC

SCALE- NTS



PLUMBING LAYOUT

SCALE- 1/8"=1'-0"



WELL POINT DETAIL

SCALE- NTS

ENERGY EFFICIENCY COMPLIANCE ANSI/APSP-15 AND FBC

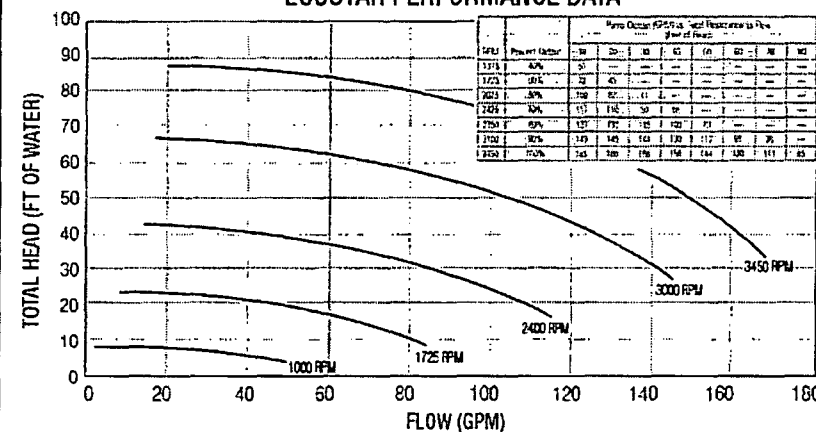
POOL CAPACITY: 13000
CAP / 360: 36
TURNOVER RATE: 36 GPM AT LOW SPEED (MIN. 36)
TURNOVER HOURS: 6.0 DEFAULT SET
MAX. FILTR. FLOW RATE: 36 GPM DEFAULT SET

AUX LOAD: JETS
FILTER: CARTRIDGE

2- SPEED PUMP CONTROLLER TO BE PROGRAMMED TO DEFAULT (ONE COMPLETE FILTRATION IN 6 HRS. MIN.) WHEN NO AUX. POOL LOADS ARE OPERATING WITHIN 24 HRS AND PROGRAMMED WITH TEMPORARY OVERRIDE CAPABILITY FOR SERVICING

MAX SYSTEM FLOW RATE: 166

ECOSTAR PERFORMANCE DATA



EcoStar runs efficiently in all of these ranges.

TYPE: HAYWARD VSP VARIABLE SPEED
MODEL: SP 3400
CURVE "A": 20 GPM @ 1000 RPM APSP DATABASE
CURVE "C": 28 GPM @ 1000 RPM APSP DATABASE

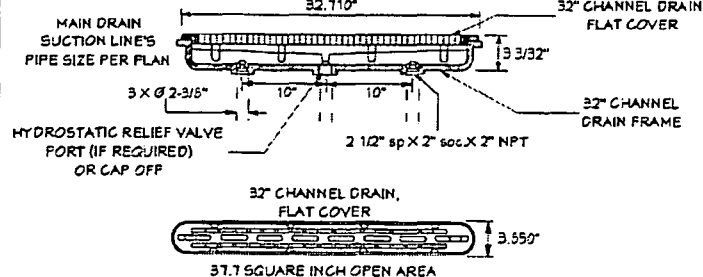
DRAIN: AQUASTAR CHANNEL 316 GPM MAX. RATING

MAX. SYSTEM FLOW RATE FROM MAX. RATED MANUFACTURERS DATA

SUC. TRUNK: 3 @ 7.20 FPS (MAX 8 FPS)
RETURN: 3 @ 7.20 FPS (MAX 10 FPS)

RETURN (PRESSURE) PIPING SHALL NOT EXCEED 10 FPS (SECTION R4101.6.3 FBC)
SUCTION BRANCH SHALL NOT EXCEED 6 FPS (APSP/ANSI-7)
SUCTION TRUNK SHALL NOT EXCEED 8 FPS (ANSI/ANSI-7)

"WATERWAY: 640-182x V 32" CHANNEL DRAIN COVER AND SUMP W/ (3) PORTS"
ONE PORT CENTER 285 GPM - ON FLOOR @ 2.41 f/sec
TWO PORTS 352 GPM - ON FLOOR @ 3.02 f/sec
ONE PORT CENTER 232 GPM - ON WALL @ 1.99 f/sec
TWO PORTS 304 GPM - ON WALL @ 2.61 f/sec
NOT APPROVED FOR THREE-PORT CONNECTION!
(DO NOT EXCEED MAX. FLOW/SUCTION RATE) CAP OFF UNUSED PORT(S)
SINGLE PORT 37.1 SQ. IN. OPEN AREA



DRAIN DETAIL

SCALE- NTS

SCHILLER POOLS

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MADRIS RESIDENCE
34 EAST HIGH POINT
SEAWALLS POINT, FL

Project No: 14-16-251

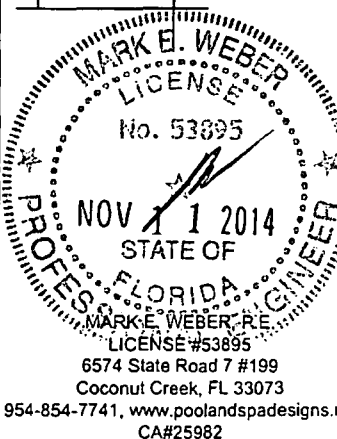
Date: 10/25/14

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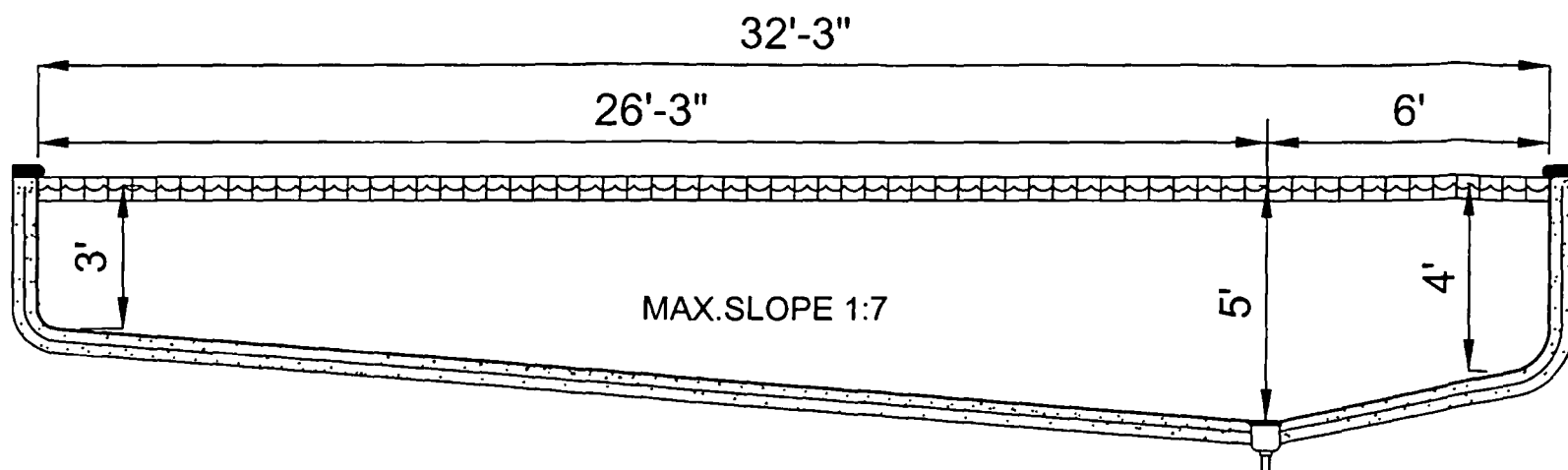
REVISIONS

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POOL AND SPA DESIGNS, INC.
AQUATIC ENGINEERING

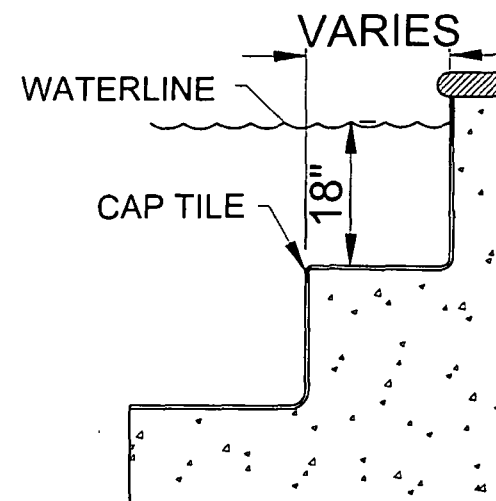


6574 State Road 7 #199
Coconut Creek, FL 33073
954-854-7741, www.poolandspadesigns.net
CA#25982



LONGITUDINAL SECTION

SCALE- 1/4"=1'-0"



SWIMOUT DETAIL

SCALE- 1/2"=1'-0"

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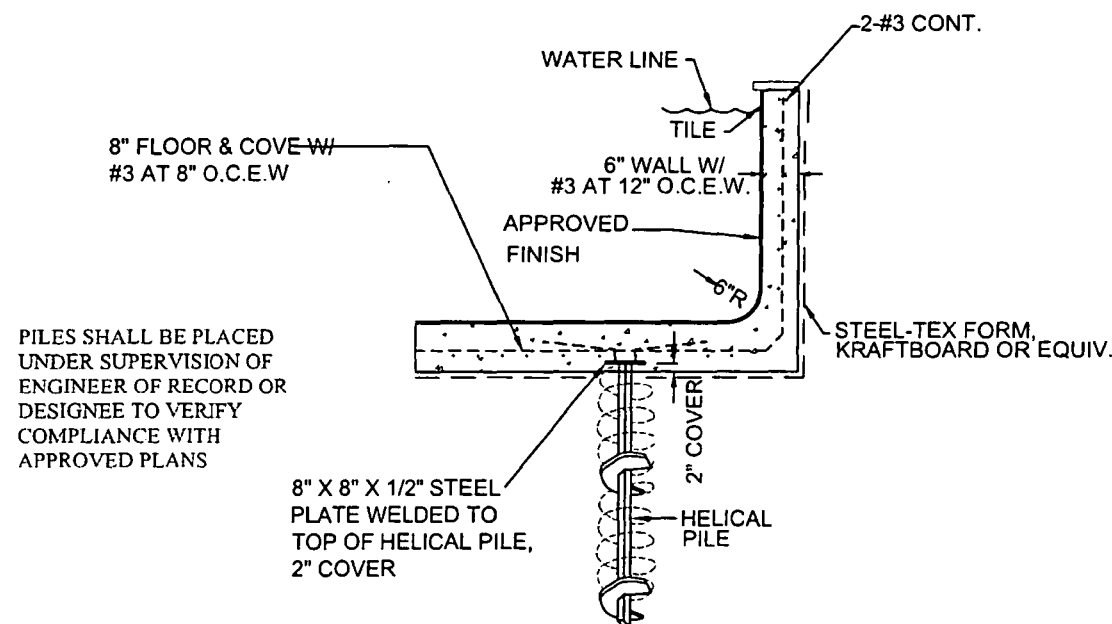
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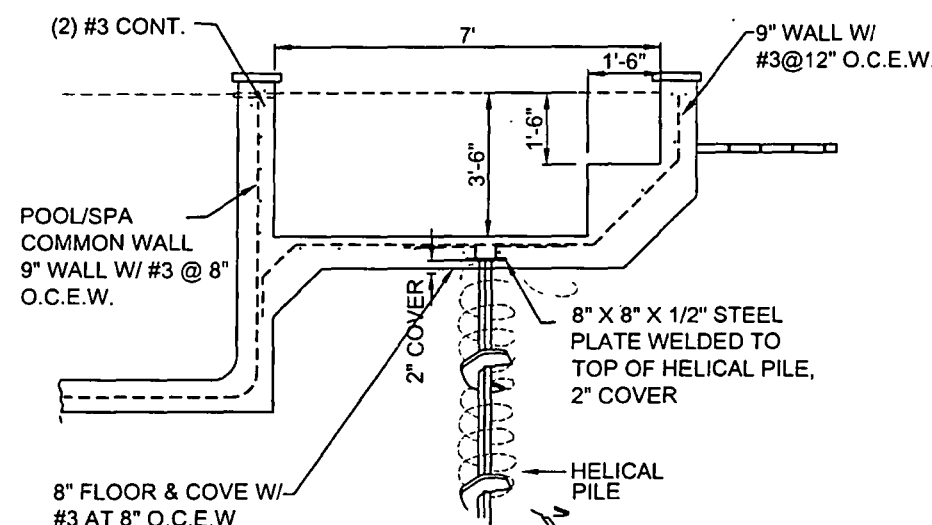
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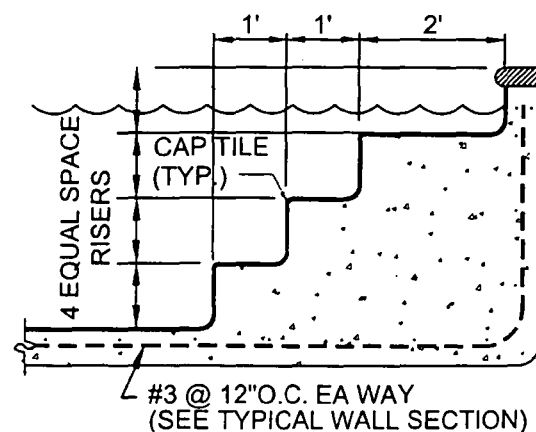
WALL-FLOOR SECTION

SCALE=1/4"=1'-0"



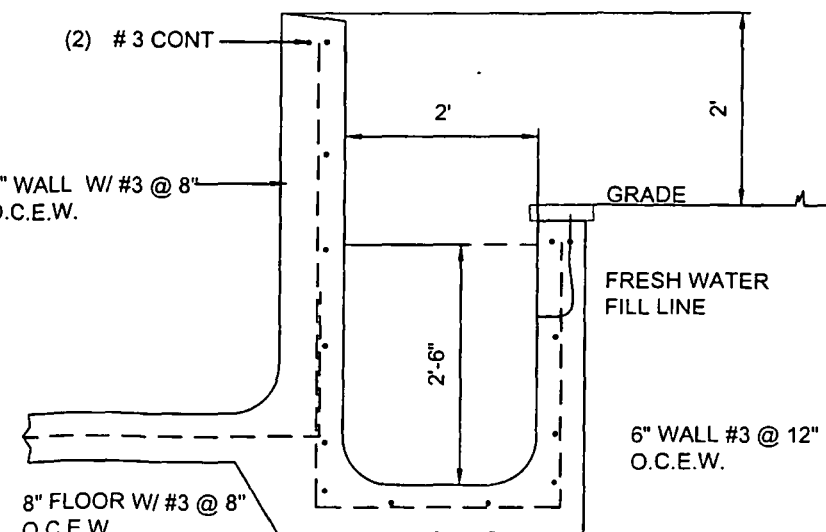
SPA LONGITUDINAL SECTION

SCALE- 1/4"=1'-0"



STEP DETAIL

SCALE- NTS



VANISHING EDGE DETAIL

SCALE- 1/4"=1'-0"

POOL AND SPA DESIGNS, INC.
AQUATIC ENGINEERING

MARK E. WEBER
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NOV 1 2014
STATE OF FLORIDA
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CA#25982

STRUCTURAL

PILES:
PILES TO BE CUT OFF AT PROPER ELEVATIONS ALLOWING A MINIMUM OF 18" OF PILE STEEL TO PROJECT INTO POOL FLOOR OR GRADE BEAMS. ALL PILE WORK TO BE DONE ACCORDANCE WITH "RECOMMENDATIONS FOR DESIGN, MANUFACTURE, AND INSTALLATION OF CONCRETE PILES", THE PROVISIONS OF FLORIDA BUILDING CODE, AND ALL APPLICABLE CODES AT THE TIME OF PERMIT APPLICATION.

HELICAL PILES:
HELICAL PILE, INCLUDING STEEL PLATE, SHALL DEVELOP THE MINIMUM CAPACITIES AS SHOWN ON THE DETAIL, WITH MINIMUM FACTOR OF SAFETY OF 2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES AND GUIDELINES. FOR CORROSIVE CONDITIONS, HELICAL PILE CONTRACTOR SHALL PROVIDE ADEQUATE CORROSION RESISTANT MATERIALS FOR PARTICULAR PROJECT SIZE CONDITIONS.

PILE CAPACITY:
PILE CAPACITY IS GENERALLY ESTABLISHED BY TEST LOAD OR DRIVING RESISTANCE WHERE LOAD TESTS ARE USED TO DETERMINE CAPACITY, DRIVING RESISTANCE MEASUREMENT IS USED TO INSURE THAT ALL PILES ARE DRIVEN AS HARD AS THE TEST PILES. UTILIZE THE ENGINEERING NEWS FORMULA FOR THIS EVALUATION. SOIL BORINGS ARE ESSENTIAL TO PROPER PILE EVALUATION. PILES MAY INDIVIDUALLY TEST TO A GREATER CAPACITY THAN THEIR CONTRIBUTION TO THE CLUSTER CAPACITY. IN ADDITION, A SOFT STRATUM UNDERLYING A HARD STRATUM MAY NOT BE ABLE TO SUPPORT THE TOTAL LOAD DELIVERED FROM THE HARD STRATUM; EVEN THOUGH SUFFICIENT RESISTANCE IS INDICATED.

GUNITE / PNEUMATICALLY APPLIED CONCRETE:
SHALL REACH A STRENGTH OF 4000 PSI IN 28 DAYS UNLESS NOTED ELSEWHERE ON PLANS AND SHALL BE PER "RECOMMENDED PRACTICE FOR SHOTCRETING"

CONCRETE WORK:
SHALL REACH MIN. 3000 PSI AT 28 DAYS AS PER "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"

REINFORCING STEEL:
SHALL BE GRADE 60 ASTM A615 AND PLACED IN ACCORDANCE TO THE "MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" ACI, AND THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE. i.) LAP ALL BAR SPLICES 36 BAR DIAMETERS (12" MIN.) UNLESS OTHERWISE NOTED. ii.) COVER FOR REINFORCING STEEL SHALL BE AS SHOWN IN STRUCTURAL DETAIL AND NOTES.
CONTRACTOR MUST APPLY PROPER MEANS AND METHODS OF CONSTRUCTION TO PROTECT ALL EXISTING STRUCTURES. UNLESS OTHERWISE NOTED, THE DESIGN ENGINEER HAS NOT BEEN ENGAGED TO CONDUCT, NOR HAS HE CONDUCTED ANY FIELD TESTS, EVALUATIONS OR SITE VISITS WITH RESPECT TO CONDITIONS AS THEY MAY EXIST AT THE SITE. THEREFORE, THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR, AND ASSUMES NOT LIABILITY FOR, EXISTING STRUCTURES, INCLUDING THE CONDITION OF EXISTING SEAWALLS AND APPLICABILITY FOR EXCAVATION IN ITS PROXIMITY. **SHOULD ANY EXISTING STRUCTURE BE ENCOUNTERED, STOP CONSTRUCTION AND IMMEDIATELY NOTIFY THE DESIGN ENGINEER AND BUILDING OFFICIAL PRIOR TO PROCEEDING.** THIS INCLUDES BUT IS NOT LIMITED TO ENCOUNTERING THE FOLLOWING:

- *WALL ANCHOR RODS
- *FOUNDATIONS OF SEAWALLS, BUILDINGS, POWER POLES
- *BURIED VAULTS AND DRAINAGE STRUCTURES, AND OTHER BELOW GROUND STRUCTURES.

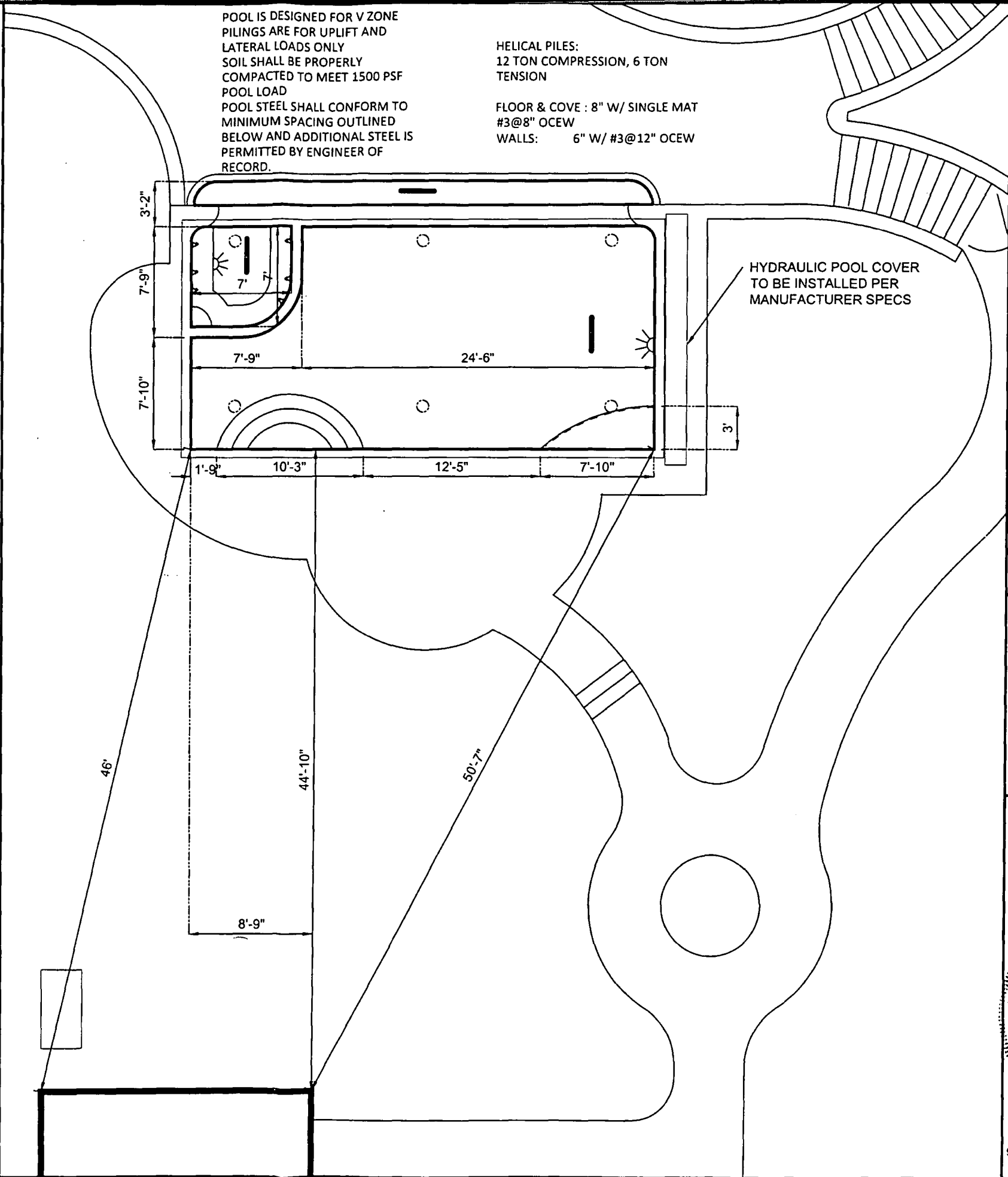
SHOULD THE INTEGRITY OF A SEAWALL BE FOUND TO BE INADEQUATE OR BECOME COMPROMISED, THE CONTRACTOR SHALL IMMEDIATELY ENGAGE THE HOME OWNER IN CORRECTIVE MEASURES AS DIRECTED BY A LICENSED QUALIFIED SEAWALL CONTRACTING SPECIALIST. THESE PROCEDURES SHALL BE IN FULL COMPLIANCE WITH ALL RECOMMENDATIONS MADE BY THE DESIGN ENGINEER AND LOCAL BUILDING OFFICIAL. THE STRUCTURE SHALL BE SECURED WITHIN 48 HOURS, BASED ON SAID RECOMMENDATIONS; TO INCLUDE, BUT NOT LIMITED TO, THE EMERGENCY INSTALLATION OF HELICAL PILES OR BATTER PILES.

POOL IS DESIGNED FOR V ZONE
PILINGS ARE FOR UPLIFT AND
LATERAL LOADS ONLY
SOIL SHALL BE PROPERLY
COMPACTED TO MEET 1500 PSF
POOL LOAD
POOL STEEL SHALL CONFORM TO
MINIMUM SPACING OUTLINED
BELOW AND ADDITIONAL STEEL IS
PERMITTED BY ENGINEER OF
RECORD.

HELICAL PILES:
12 TON COMPRESSION, 6 TON
TENSION

FLOOR & COVE : 8" W/ SINGLE MAT
#3@8" OCEW
WALLS: 6" W/ #3@12" OCEW

HYDRAULIC POOL COVER
TO BE INSTALLED PER
MANUFACTURER SPECS



POOL LAYOUT PLAN

SCALE=1/8"=1'-0"

SCHILLER POOLS

3590 S.E. DIXIE HWY
STUART, FL 34997
C: (772) 528-6437 O: (772) 287-0768
schillerpools@bellsouth.net CPC1457983

MADRIS RESIDENCE
34 EAST HIGH POINT
SEAWALLS POINT, FL

Project No: 14-16-251

Date: 10/25/14

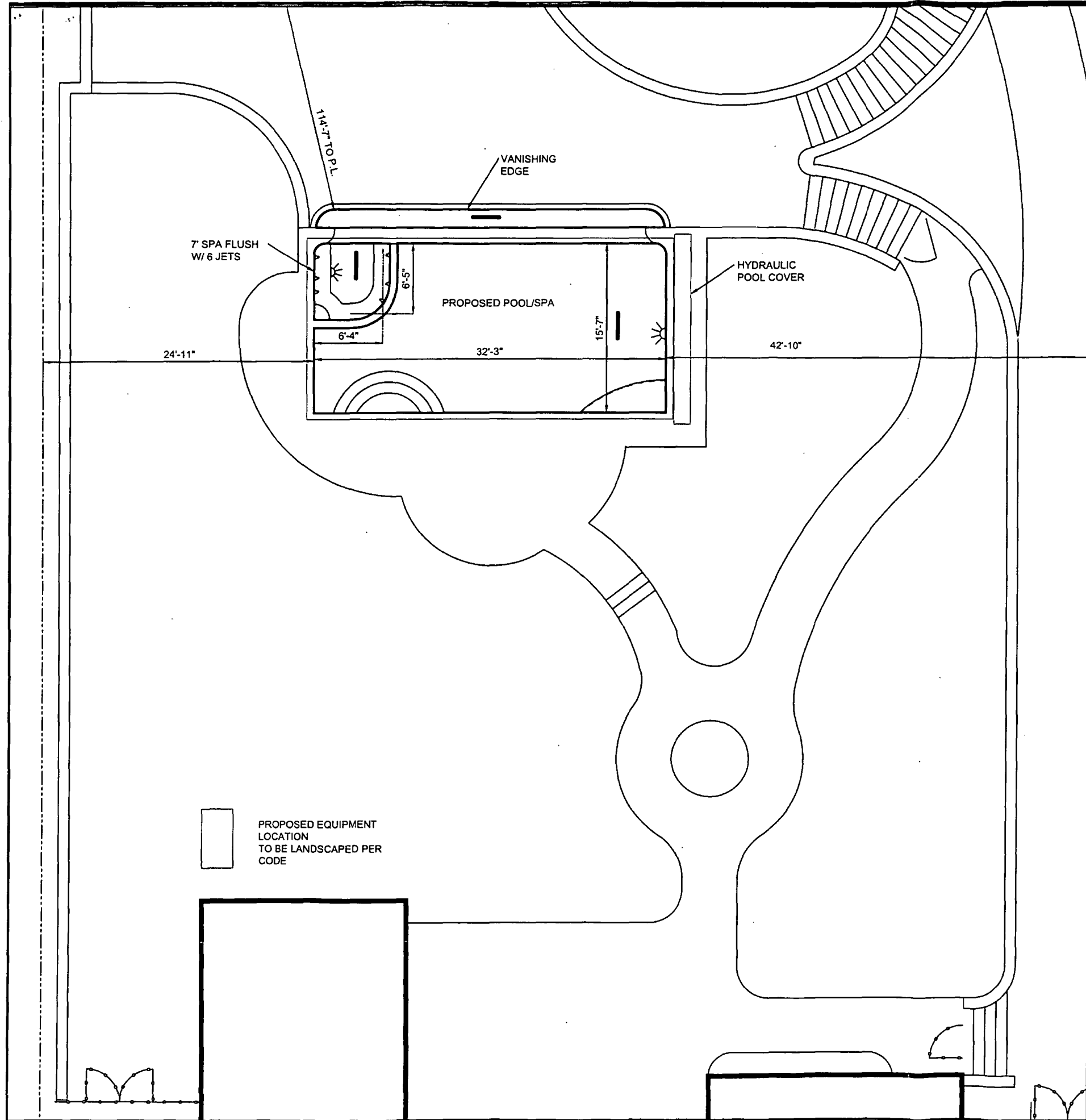
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POOL AND
SPA DESIGNS, INC.
AQUATIC ENGINEERING

MARK E. WEBER
LICENSE
No. 53395
NOV 11 2014
STATE OF
FLORIDA
PROFESSIONAL ENGINEER
MARK E. WEBER, P.E.
LICENSE #53395
6574 State Road 7 #199
Coconut Creek, FL 33073
954-854-7741, www.poolandspadesigns.net
CA#25982



PROPOSED POOL SITE PLAN

SCALE=1"=10'-0"

EQUIPMENT LIST

QTY	ITEM	DESCRIPTION
1	RECIRC. PUMP	HAYWARD ECOSTAR SP3400 VS
1	FILTER	C1750
3	RETURNS	
2	POOL DRAIN	WATERWAY 640-132 UNBLOCKABLE
1	SPA DRAIN	WATERWAY 640-132 UNBLOCKABLE
2	SPA RETURNS	
1	VAC FTG	
6	SPA JETS	
1	POOL LIGHT	HAYWARD LED
1	SPA LIGHT	HAYWARD LED
N/A	CHLORINATOR	
1	HEATER	HAYWARD 450K BTU GAS
N/A	BLOWER	
1	AUTOFILL	JANDY LEVELOR K2000CKG
1	CONTROLLER	WIFI ENABLED CONTROLS
N/A	SHEER DESCENT	
N/A	FEATURE PUMP	
	COPING	BULLNOSE
	WATERLINE TILE	6" X 6" GLAZED
	FINISH	FLORIDA GEM
N/A	DECK MATERIAL	BY OTHERS
YES	CAP TILE	
N/A	6" RAISED BEAM	
N/A	12" RAISED BEAM	
N/A	18" RAISED BEAM	
	BARRIER	POOL COVER

OUTDOOR POOLS SHALL BE PROVIDED WITH A BARRIER COMPLYING W/ THE FBC 2010 CHAPTER 4 SECTION 424 SECTIONS 424.2.17.1.1 THROUGH 424.2.17.1.14 OF

POOL DATA	
POOL SIZE:	15'-7" x 32'-4"
POOL DEPTH:	3' TO 6'
POOL SURFACE AREA:	447 SQ FT.
POOL PERIMETER:	94 L.F.
SPA DATA	
SPA SIZE:	7' X 7'
SPA DEPTH:	3'
SPA SURFACE AREA:	46 SQ FT.
SPA PERIMETER:	26 L.F.
SPA VOLUME:	680 GALLONS

POOL CONSTRUCTION, DESIGN,ENGINEERING AND WORKMANSHIP TO COMPLY WITH FBC-2010 SEC 424.2.6.1 & SECTION R4101.6.1 PRIVATE SWIMMING POOLS

SHEET INDEX

- P1- EQUIPMENT LIST & SITE PLAN
- P2- LAYOUT PLAN
- P3- STRUCTURAL DETAILS
- P4- PIPING PLAN
- P5- DECK & ELECTRIC

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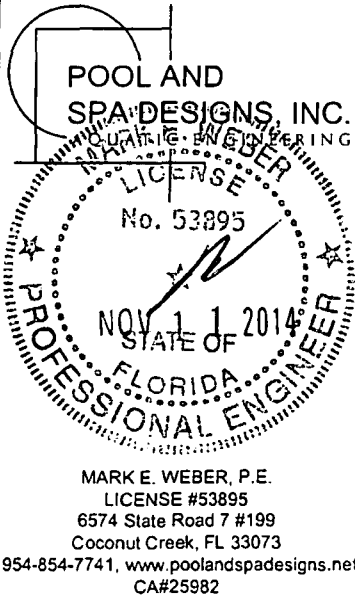
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REVISIONS

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INSTR # 2491054 OR BK 2757 PG 1783 RECD 12/18/2014 11:32:09 AM
(1 Pgs)

NOTICE OF COMMENCEMENT

CARDOLYN TIMMANN MARTIN COUNTY CLERK
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PIN
11105

PERMIT #: _____ TAX FOLIO #: _____

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

High Point Isle A222 Lot 104

GENERAL DESCRIPTION OF IMPROVEMENT:

install inground swimming pool

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME:

Russell L. Madors

ADDRESS:

34 East High Point Rd. Stuart

PHONE NUMBER:

888-654-5171

FAX NUMBER:

INTEREST IN PROPERTY:

Owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: Robert Dean Schiller Pools, Inc.

ADDRESS: 3580 SE Drive Hwy. Stuart, FL 34997

PHONE NUMBER: 772-257-0758

FAX NUMBER: 772-287-9970

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED):

ADDRESS:

PHONE NUMBER:

FAX NUMBER:

BOND AMOUNT:

LENDER/MORTGAGE COMPANY:

ADDRESS:

PHONE NUMBER:

FAX NUMBER:

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES:

NAME:

ADDRESS:

PHONE NUMBER:

FAX NUMBER:

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: _____ FAX NUMBER: _____ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

SIGNATORY'S TITLE/OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12th DAY OF Nov, 2014

BY:

Russell Madors

AS

Owner

FOR

PARTY ON BEHALF OF WHOM INSTRUMENT WAS

PERSONALLY KNOWN

OF PRODUCED IDENTIFICATION

☒

TYPE OF IDENTIFICATION PRODUCED

FL DL

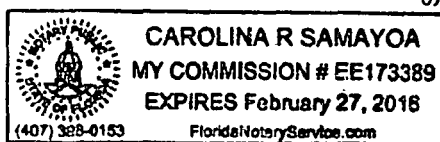
NOTARY SIGNATURE/SEAL

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE.

CARDOLYN TIMMANN, CLERK

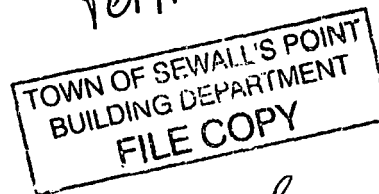
BY: R. K. Kumbay DATE: 12-18-2014



FLWP
H064

* NEED LIE. INS. MTR

Permit 11105



A FWP

May 12, 2015

Town of Sewall's Point
Attn: Building Department
One S. Sewall's Point Rd.
Sewall's Point, FL 34996

RE: Letter of Contractor Release

To Whom it May Concern:

I, Russell Madris, owner of 34 E High Point, Sewall's Point, Florida, released myself as owner/contractor on the existing permit and have now contracted Gulfstream Pool Co., 2559 Webb Ave. Unit 8, Delray Beach, Florida 33444.

Please change the open permit to read Contractor is Gulfstream Pool Co.

Sincerely,



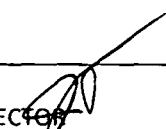
A handwritten signature in black ink, appearing to be "Russell Madris", written over the printed name.

Russell Madris
Owner

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection ☐ Mon ☐ Tue ☒ Wed ☐ Thur ☐ Fri 12/17/14 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11087	Cahan	Mechanical		
	85 N Sewalls Pt Rd	Final		
	Krauss + Crane			
				INSPECTOR 
11017	Cahan	Mechanical		
	85 N Sewalls Pt Rd	Final		
	Krauss + Crane			
				INSPECTOR
11105	MADRI'S	Pool Steel,		
	34 E Main St	Pool / MD		
	Sullivan Pools			
				INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
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				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALL'S POINT

Building Department – Inspection Log

Date of Inspection ☐ Mon ☐ Tue ☒ Wed ☐ Thur ☐ Fri 2/11/15 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11176	Kurzman			
AM Requested	1 Marguerita	A/C Final	Pass	Close
	Honest Air			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11105	Madris			
AM Requested	34 E High Pt. Rd	Rough.	Pass	
	Dean Schiller Pools	Plumbing		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11152	Rappa port			
	9 Rivercrest Ct	Slab	Pass	
	Commercial Contracting Div.			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11172	Pawluc	Concrete		
PM Requested	102 Hillcrest Drive	Pre. Bur	Pass	
	O/B	BATIO/WALK		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11168	Kennedy			
PM Requested	65 S River Rd	A/C Final	RESERVED FOR FUTURE	
	Sharkey Air			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10693	Bailey	Gas		NOT LEVEL
	117 N Sewall's Pt Rd	tank +	FAIL	LISTING
	Driftwood Homes	lines		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TREE

REMOVE/RELOCATE/REPLACE

TOWN OF SEWALL'S POINT, FLORIDA

FILE

Date 8/8/01 18 TREE REMOVAL PERMIT No 0487

APPLIED FOR BY M. Byron, 34 High Point (Contractor or Owner)

Owner _____

Sub-division _____, Lot _____, Block _____

Kind of Trees Ficus fence

No. Of Trees: REMOVE whole ficus fence

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS prohib. species

Signed, Sign on file Applicant FEE \$ 0.00
Signed, [Signature] Town Clerk
Bldg. Insp.

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection

WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

8/7 myy
sches

RECEIVED

AUG - 7 2001

Permit # 0487

Date Issued 8/8/01

his application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Martin BYROM Address 34 S. High Point Phone 286-5222(4)
225-6200(6)

Contractor none Address _____ Phone _____

Number of trees to be removed (list kinds of trees) 50-60 feet of Hedge, 25-30 Trees

8' plus + Higher FICUS - PRODUKIBER (NO FEE)
Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

none
Number of trees to be replaced _____ (list kinds of trees):

Permit Fee \$ 0 - ~~(525.00)~~ first tree plus \$10.00 - each additional tree - not to exceed \$100.00. 8/5.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted ✓ Plans approved, as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Martin Byrom Date submitted 8/7/01

Approved by Building Inspector [Signature] Date 8/8/01

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~PERMIT~~ **PERMIT**. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

