

**37 East High Point Rd**

**782**

**POOL AND PATIO**

RECEIVED  
JAN 4 1978

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 782

Date 1-4-78

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) .Copy of property Deed required for new home construction.

Owner ROBERT G. GREINER Present Address 175 SE ST. LUCIE BLVD. APT C-19 Ph 297-2307

General Contractor SAME Address \_\_\_\_\_ Ph \_\_\_\_\_

Where licensed \_\_\_\_\_ License No. \_\_\_\_\_

Plumbing Contractor Atlantic (nurs) License No. attached  
Electrical Contractor Alta (P. Buhl) License No. \_\_\_\_\_

Street building will front on \_\_\_\_\_

Subdivision High Point Lot No. 22 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft 3,400

Other Construction (Pools, additions, etc.) POOL & PATIO

Contract Price (excluding land, rugs, appliances, landscaping) \$90,000.00

Total cost of permit \$ 470.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked

Handwritten calculations in a circle:  
90,000.00  
450  
20  
470

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period

Robert G. Greiner  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Robert G. Greiner  
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 1/30/78

Date approved 1/6/78

Certificate of Occupancy issued \_\_\_\_\_ Date 8/3/78

Handwritten # 782

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date \_\_\_\_\_

This is to request that a Certificate of Approval for Occupancy be issued to \_\_\_\_\_

For property built under Permit No. 782 Dated \_\_\_\_\_

when completed in conformance with the Approved Plans.

\_\_\_\_\_  
Signed

\*\*\*\*\*

RECORD OF INSPECTIONS

Item	Date	Approved by
Footings	2/19/78	2/28/78
Rough plumbing	2/27/78	SLAB 3/2/78
Perimeter beam	3/15/78	
Rough electric	5/12/78	
Close in		
Final plumbing		
Final electric	8/3/78	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector \_\_\_\_\_ date

Approved by Town Commission \_\_\_\_\_ date

Utilities notified \_\_\_\_\_ date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

# OCCUPATIONAL LICENSE

Nº 984

CITY OF STUART, FLORIDA

19 77

19 78

IN CONSIDERATION OF THE SUM OF FIFTY AND NO/100 DOLLARS \$ 50.00  
CITY LICENSE TAX PAID TO THE CITY CLERK, RECEIPT WHEREOF IS HEREBY ACKNOWLEDGED.

From: FIRM NAME: EUGENE NORRIS  
PROP./MGR. 2765 S. E. GARDEN STREET  
ADDRESS: STUART, FLORIDA 33494

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION, OCCUPATION OF: MASTER PLUMBER

IN THE CITY OF STUART FOR THE PERIOD BEGINNING OCTOBER 1, 19 77  
AND ENDING ON THE THIRTIETH DAY OF SEPTEMBER, A. D. 19 78

ISSUED OCTOBER 1, 19 77

*Janise R. Clark*  
AUDITOR - CLERK

NOTE: MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS UNDER CHAPTER 18 LICENSE REGULATIONS AND SCHEDULE SECTION 18-14

## MARTIN COUNTY

## 1977-1978 OCCUPATIONAL LICENSE

09587/LK  
00 01

License Fee \$ 9.00 Sept. 30, 19 77

Del. Penalty \$

Total \$ 9.00

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF

Master Plumber CC# 00035

Make Checks Payable to:  
ALVIN N. ANDREWS, Tax Collector  
P.O. Box 926, Stuart, Fla. 33494

ATLANTIC PLUMBING, INC.  
Eugene Norris  
2765 SE Garden St.  
Stuart, FL 33494

ORIGINAL

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE 1 DAY OF Oct 1977 SEC. 205.301 AND ENDING FIRST DAY OF OCTOBER, A. D., 1978 th new

THIS FORM BECOMES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING MACHINE SHOWING TRANSACTION NUMBER, DATE, AND AMOUNT PAID.

### Certificate of Competency

BOARD OF EXAMINERS  
CITY OF PORT ST. LUCIE, FLORIDA  
For the Year 19 77-78

This certifies that Eugene Norris (Atlantic Pl) was on the date of this certificate duly registered as a Master Plumber

in conformity with the regulations noted on the reverse side hereof, and for the year above stated.

Date issued 10-11-77 *B.W. Jackson* Building Official

Signature of Holder

### Certificate of Competency

BOARD OF EXAMINERS  
CITY OF STUART, FLORIDA  
For the Year 19 77-78

This certifies that Eugene Norris was on the date of this certificate duly registered as a Master Plumber

in conformity with the regulations noted on the reverse side hereof, and for the year above stated.

Date issued 9/30/77 *Eugene Norris* Chairman, Board of Examiners

Signature of Holder

### CERTIFICATE OF COMPETENCY

BOARD OF EXAMINERS  
COUNTY OF MARTIN, FLORIDA

00035

For the Year 1977 and 1978

This certifies that Eugene Norris was on the date of this certificate duly registered as a Master Plumber

in conformity with the regulations noted on the reverse side hereof, and for the year above stated.

*H.W. Glass CO* Chairman, Board of Examiners

*Eugene Norris* Signature of Holder

NOTE - A PENALTY IS IMPOSED FOR FAILURE TO KEEP THIS LICENSE EXHIBITED CONSPICUOUSLY AT YOUR ESTABLISHMENT OR PLACE OF BUSINESS.

Plumber (Atlantic)	3990.00
Elec. (Alpine) inc. paddle fans	5413.00
Pool (Louden)	6566.00
Kit Cabs. (Jensen)	8100.00 ✓
Roof (A+D)	5800.00
Tile (Dite & Bruno)	3931.00 reduce 1000.
Stucco (Cato)	6495.00 ✓
Driveway (Hartman)	3080.00
Synthetic Tank	690.00
Sprinkler	2500.00
Masonry (Koyok) inc. Driveway	11,700.00
Carpets	<u>3,900.00</u> exclude
Windows & Doors Anderson	2,790.61
Heating & Air Commercial	3,300.00
Intercom Alpine	1,187.00
Screen & Patio	4,800.00
Trusses	1,591.25
Range Door	742.56
Landscaping	
Painting	
Lumber + Hdw.	10,000.00
	<hr/>
	85,633.86
	6,700.00
	<hr/>
	92,333.86
	4,050.00
	<hr/>
	94,383.86
	1,800.00
	<hr/>
	96,183.86

*M*

BUILDING PERMIT REQUIREMENTS

Permit No. \_\_\_\_\_

Date Issued \_\_\_\_\_

REQUEST FOR PERMIT TO BUILD: Residence + Pool

COPY OF DEED: O.R. Book 428 Page 2400

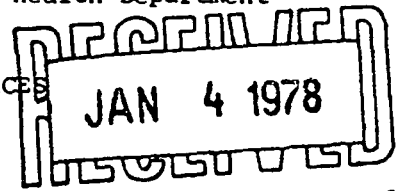
THREE COPIES PLANS Received 1/4/78

CERTIFIED BY High Pt. Assoc. Date Dec 77  
(If necessary re deed restrictions)

COUNTY SEWAGE DISPOSAL PERMIT # HD 77-963

REQUEST FOR CERTIFICATE OF OCCUPANCY 1/4/78

# 782



Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES  
 DIVISION OF HEALTH  
 Application and Permit of  
 Individual Sewage Disposal Facilities

Section I - Instructions:

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call 287-2277 and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.) High Point Road, Town of Sewall's Point  
 Lot 22 Block \_\_\_\_\_ Subdivision High Point Subdivision  
 Date Recorded 3/7/1959 Directions to Job South on Sewall's Point Road to High Point Subdivision
2. Owner or Builder Robert G. Greiner; 175 SE St. Lucie Blvd, Apt. C-19  
 P.O. Address \_\_\_\_\_ City Stuart
3. Specifications

Tank ~~Drainfield~~  
 Gals. \_\_\_\_\_ ft. of 6" clay tile or 5" perforated plastic drain in a 3' trench or  
1050 Gals. 340 ft. of 4" clay drain or 4" perforated plastic drain in an  
 • 24" X " trench

4. House to be constructed:  
 Check one: \_\_\_\_\_ FHA  
 \_\_\_\_\_ VA X Conventional

Scale 1" = 50'  
 (Rear)

(Name of Street or State Rd.) (Side)

SEE ATTACHED SHEET

REMOVE ALL IMPERVIOUS MATERIALS TO A DEPTH OF 6' AND BACKFILL WITH A GOOD GRADE OF SAND IN ENTIRE AREA OF DRAINFIELD.

(Name of Street or State Rd.) (Side)

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: Robert G. Greiner  
 Please Print

Signature: Robert G. Greiner Date: Dec-30, 1977

(Front)  
 (Name of Street or State Road)

\*\*\*\*\* DO NOT WRITE BELOW THIS LINE \*\*\*\*\*

Section III - Application Approval & Construction Authorization

Installation subject to following special conditions: \_\_\_\_\_

The above signed application has been found to be in compliance with Chapter 17-13, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By: John S. Kay County Health Dept. MARTIN Date 12-30-77

Section IV - Final Construction Approval

Construction of installation approved: \_\_\_\_\_ Yes \_\_\_\_\_ No  
 Date: \_\_\_\_\_ By: \_\_\_\_\_  
 FHA No. \_\_\_\_\_ VA No. 1

\*\*\*\*\*

TEMPORARY  
 SAN 428  
 REV. 7/1/73

*Copy to Banks Septic  
 P.O. Box 2199  
 Stuart  
 7/7/78*

# 782



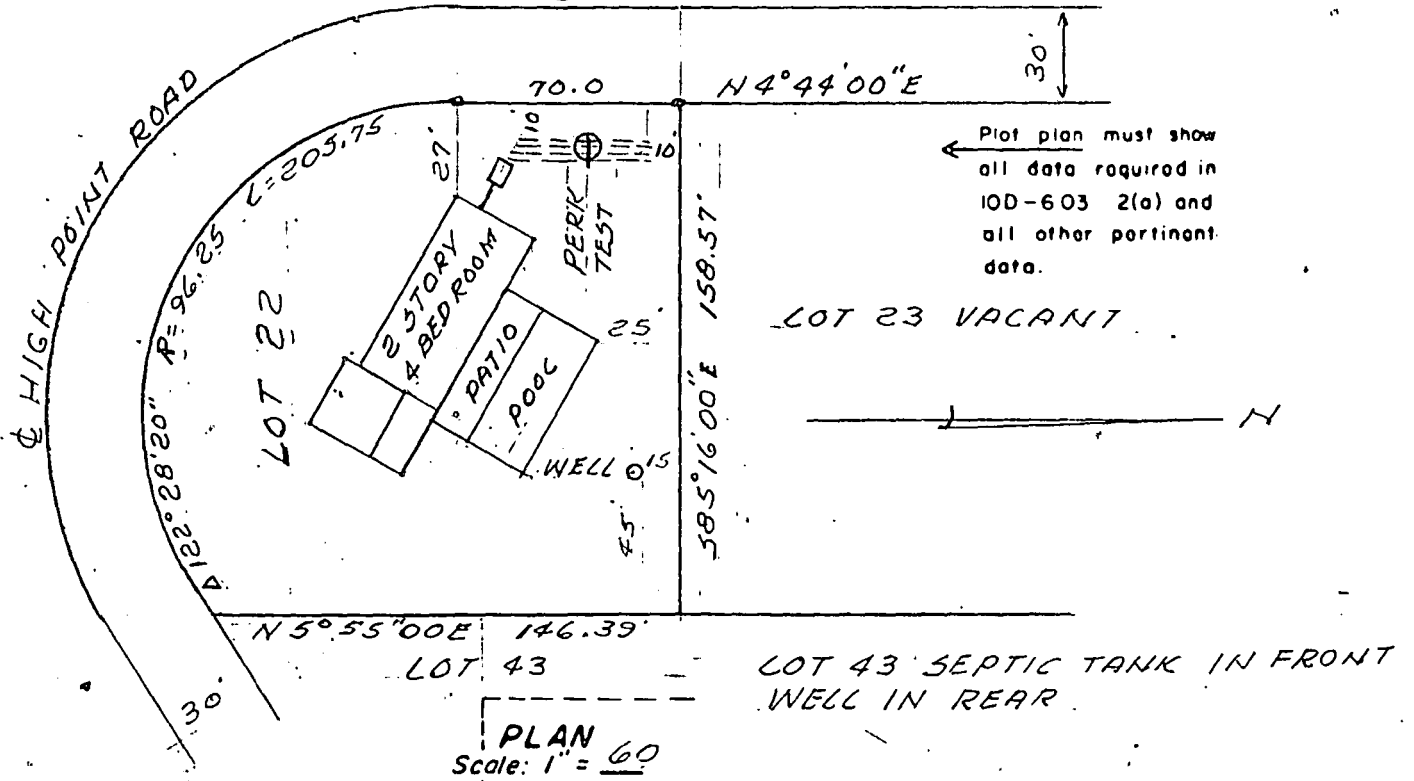
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES  
DIVISION OF HEALTH

INDIVIDUAL SEWAGE DISPOSAL FACILITIES  
DATA SHEET

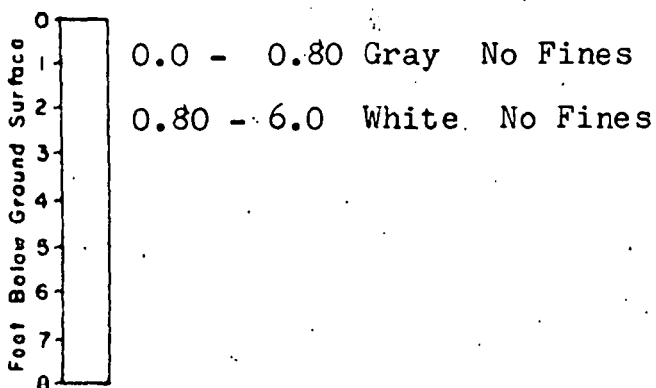
Location: Lot 22, High Point Applicant: Robert G. Greiner  
Town of Sewall's Point County: Martin

**NOTE:** This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.

LOT 20 NO WELL LOT 19 VACANT  
CHIGHT POINT ROAD



SOIL DATA



SOIL BORING LOG

Soil Identification: CLASS SP GROUP 1  
Soil Characteristics \_\_\_\_\_

Percolation Rate \_\_\_\_\_ min/inch 1" in 11 Seconds  
Water Table Depth No water found to 6.0 Feet  
Water Table Depth Probably below 6.0 feet  
During Wet Season \_\_\_\_\_  
Compacted Fill Of \_\_\_\_\_ Req'd  
Compacted Fill Checked By: \_\_\_\_\_  
Date \_\_\_\_\_

LEGEND

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

CERTIFIED BY: W. P. McBerry  
FLORIDA PROFESSIONAL No. 1446  
Date 12/30/77 Job No. \_\_\_\_\_  
Sheet 2 of 2

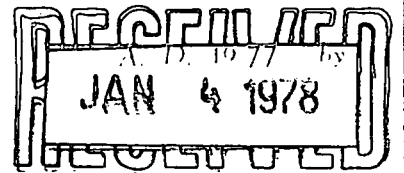
#782

284314

WARRANTY DEED  
INDIVID. TO INDIVID

RAMCO FORM 01

This Warranty Deed Made the 21st day of September



HOWARD K. MORGAN AND BERNADINE B. MORGAN, his wife  
hereinafter called the grantor, to

ROBERT G. GREINER AND ANTOINETTE GREINER, his wife and FAY B. WALKER, an  
unremarried widow, as joint tenants with right of survivorship,  
whose postoffice address is Route # 2, Hanover, Indiana 47243  
hereinafter called the grantee.

Whenever used herein the terms "grantor" and "grantors" include all the parties to this instrument and  
their heirs, legal representatives and assigns of individuals and the executors and assigns of corporations

**Witnesseth:** That the grantor, for and in consideration of the sum of \$ and other  
valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, alienes, re-  
leases, conveys and confirms unto the grantee, all that certain land situate in  
County, Florida, viz.

Lot 22, HIGH POINT, according to the plat thereof on file and  
of record in the office of the Clerk of the Circuit Court in  
and for Martin County, Florida, in Plat Book 3, Page 108.

*[Faint, illegible text, possibly a stamp or bleed-through]*

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in any-  
wise appertaining.

**To Have and to Hold,** the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land  
in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the  
grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of  
all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent  
to December 31, 1976

**In Witness Whereof,** the said grantor has signed and sealed these presents the day and year  
first above written.

Signed, sealed and delivered in our presence:

*[Signatures of Thomas A. McKee and J. A. ...]*

*[Signature of Howard K. Morgan]* L.S.  
HOWARD K. MORGAN  
*[Signature of Bernadine B. Morgan]* L.S.  
BERNADINE B. MORGAN FOR RECORDERS USE

STATE OF Florida  
COUNTY OF Martin

I HEREBY CERTIFY that on this day, before me, an officer duly  
authorized in the State aforesaid and in the County aforesaid to take  
acknowledgments, personally appeared

Howard K. Morgan and Bernadine B. Morgan, his  
wife.

Who are known to be the person described in and who executed the  
foregoing instrument and they acknowledged before me that they  
executed the same.

WITNESS my hand and official seal in the County and  
State last aforesaid this 23rd day of

*[Signature of Thomas A. McKee]*  
THOMAS A. MCKEE

BOOK 428 PAGE 2400

*[Handwritten marks and number #782]*

SEAL

Florida Land & Title THOMAS A. MCKEE NOTARY PUBLIC  
P. O. Box 734  
Stuart, FL 33494  
STATE OF FLORIDA AT LARGE  
MY COMMISSION EXPIRES AUGUST 11, 1979

This instrument prepared by:  
6261 11 1500X 500X 11 1979  
THOMAS A. MCKEE  
NOTARY PUBLIC  
STATE OF FLORIDA

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 789  
Date 2-2-78

(This application must be accompanied by 3 sets of complete plans, to prop scale, including plot plan, foundation plan, floor plans, wall and roof cr sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner R.G. Greener Present Address 287-2307 C-19 Pierpoint Condo. Ph. STUART

General Contractor Loosen Pools Address \_\_\_\_\_ Ph \_\_\_\_\_

Where licensed MARTIN CO License No. 245

Plumbing Contractor \_\_\_\_\_ License No. \_\_\_\_\_  
Electrical Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Street building will front on \_\_\_\_\_

Subdivision High Point Lot No. 22 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft \_\_\_\_\_

Other Construction (Pools, additions, etc.) Pool - \$6,500.

Contract Price (excluding land, rugs, appliances, landscaping \$ 35 \_\_\_\_\_)

Total cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month peri

Signed by General Contractor Robert J. Hamer CPED10400

I understand that this building must be in accordance with the approve plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Signed by Owner \_\_\_\_\_

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted John R. ... 2/13/78

Date approved Charles A. ... 2/16/78

Certificate of Occupancy issued 3/13/78 Date #789

**2647**

**AWNING**

Permit No. \_\_\_\_\_

Date \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner B. BREINER Present Address 37 E HIGH POINT Rd

Phone 287-2307 Sewall's Point

Contractor Major Canvas Awning Address 3550 SW Deigeller Ct

Phone 286-1377 Palon City, FL 34990

Where licensed MARTIN County License number SP 00546

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: \_\_\_\_\_

FREE STANDING CANVAS AWNING

State the street address at which the proposed structure will be built:

37 E HIGH POINT Road Sewall Point, Stuart, FL

Subdivision High point Lot number 22 Block number \_\_\_\_\_

Contract price \$ 2414.50 Cost of permit \$ 30.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Norman Anderson by ORV

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Tonia Brewer

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: Dale Bro 10/21/89  
Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

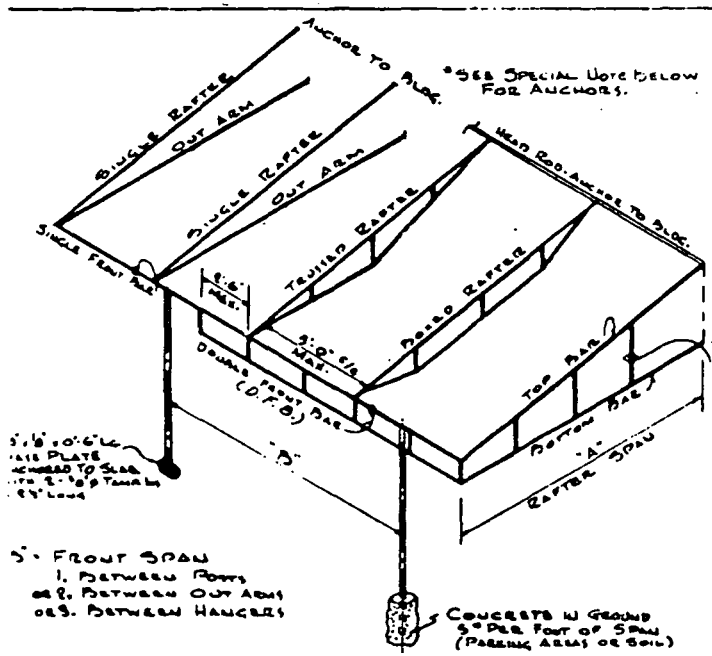
Approved: \_\_\_\_\_ Commissioner \_\_\_\_\_ Date \_\_\_\_\_ Final Approval given: \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date \_\_\_\_\_

SP1282

Permit No. \_\_\_\_\_

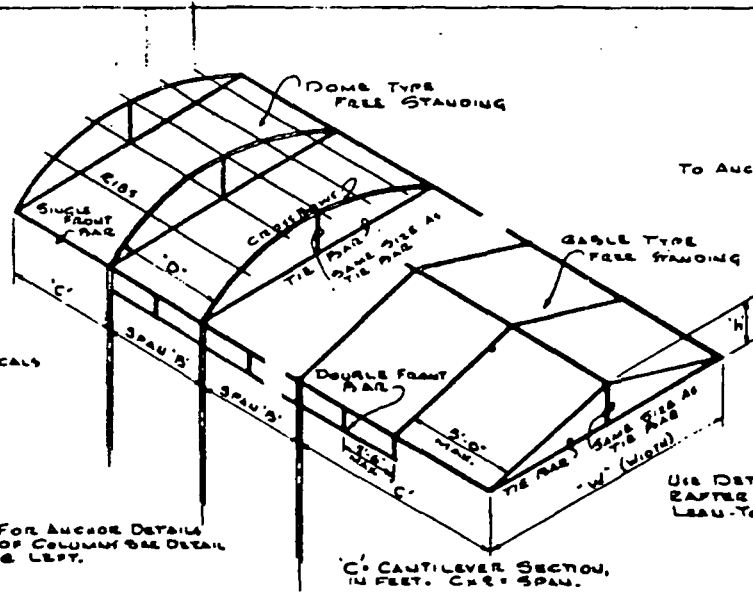
Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



5'- FRONT SPAN  
1. BETWEEN ROOFS  
OR 2. BETWEEN OUT ARMS  
OR 3. BETWEEN HANGERS

CONCRETE IN GROUND  
3" DEEP FOOT OF SPAN  
(PASSING AREA OF SOIL)

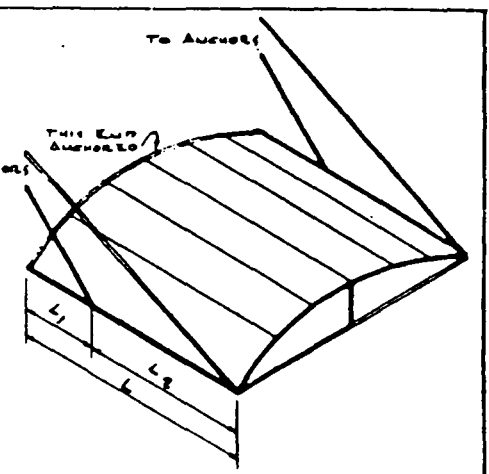
**LEAN-TO TYPE AWNING**



FOR ANCHOR DETAILS  
OF COLUMN BAR DETAIL  
& LEFT.

C. CANTILEVER SECTION,  
14 FEET. C & 2 SPAN.

**FREE STANDING CANOPIES  
CARPORTS & CABANAS**



USE DETAILS FOR  
RAFTER & OUT-ARM  
LEAN-TO DIM. "A"

**SUPPORT ARMS FOR  
CANTILEVERED CANOPIES**

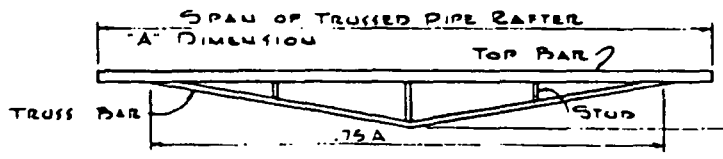
RAFTER DETAIL							
SPAN	5'-0"	9'-0"	12'-0"	16'-0"	18'-0"	20'-0"	25'-0"
SINGLE BAR	1 1/2"	2"	2 1/2"	3"	3 1/2"	4"	4 1/2"
DOUBLE FRONT BAR	TYPE		TRUSS	TRUSS	DOUBLE	DOUBLE	DOUBLE
	TOP		4"	5"	5 1/2"	6"	6 1/2"
	BOTTOM		4"	4 1/2"	5"	5 1/2"	6"
	VERTICAL		5/8"	5/8"	7/8"	7/8"	1"
OUT ARM DETAIL							
OP. END OF VERTICAL	4"	5"	5 1/2"	6"	6 1/2"	7"	7 1/2"
PIPE SIZE	3/4"	1"	1 1/4"	1 1/2"	1 3/4"	2"	2 1/4"
POST OR COLUMN SIZES							
PIPE SIZE	3/4"	1"	1 1/4"	1 1/2"	1 3/4"	2"	2 1/4"
FRONT BAR DETAIL							
5' FRONT	5'-0"	6'-0"	8'-0"	10'-0"	12'-0"	15'-0"	20'-0"
SINGLE BAR	1 1/2"	2"	2 1/2"	3"	3 1/2"	4"	4 1/2"
DOUBLE BAR	TYPE		TRUSS	TRUSS	DOUBLE	DOUBLE	DOUBLE
	TOP		4"	5"	5 1/2"	6"	6 1/2"
	BOTTOM		4"	4 1/2"	5"	5 1/2"	6"
	VERTICAL		5/8"	5/8"	7/8"	7/8"	1"

**SPECIAL NOTE!**  
AT THE BUILDING LINE ANCHORS ARE TO BE CASTING STEEL PIPE STRAPS STANDARD MANUFACTURE FOR PIPE SIZE OVER 1 1/2" & TAMP. IN ANCHOR LINES SHALL BE USED (1 TAMP. IN PER RAFTER MINIMUM)

GABLE TYPE				
WIDTH (W)	5'-0"	10'-0"	15'-0"	20'-0"
MIN. 'H'	1'-0"	1'-6"	2'-0"	2'-6"
ROOF BAR	3/4"	1"	1 1/4"	1 1/2"
DOME TYPE				
WIDTH (W)	5'-0"	10'-0"	15'-0"	20'-0"
MIN. 'H'	1'-0"	1'-6"	2'-0"	2'-6"
CROSSBOWS	1/2"	1/2"	3/4"	1"
PIPE SIZES	3/4"	1"	1 1/4"	1 1/2"

L	L1	Number of Arms	PIPE SIZE
0'-5"	1	1	3/4"
0'-10"	1	1	1"
0'-15"	1	1	1 1/4"
0'-20"	1	1	1 1/2"
0'-25"	1	1	2"

- NOTES:**
- HEAD OF AWNING SUPPORTED ON THE PLUG.
  - ALL PIPE TO BE AISA SCHEDULE 40 GALVANIZED
  - ALL WELDS TO COMPLY WITH A.W.S CODE, LATEST EDITION.
  - COVER WELDS WITH ALUM. PAINT.



*Yohalem Engineering, Inc.*  
2803 EAST COMMERCIAL BLVD., SUITE 200  
FORT LAUDERDALE, FL 33308-4288

**YOHALEM ENGINEERING, INC.**  
CONSULTING ENGINEERS  
2803 EAST COMMERCIAL BLVD., SUITE 200  
FORT LAUDERDALE, FL 33308-4288

DATE	DESCRIPTION	WORK ORDER
11-16-68	STANDARD AWNING DETAIL	6034
11-16-68	MAJOR CANVAS PRODUCTS	1
11-16-68	4245 U. FEDERAL HIGHWAY	OF 1
11-16-68	FT. LAUDERDALE, FLORIDA	



October 26, 1989

2647

Town of Sewall's Point  
1 S. Sewalls Point Road  
Sewalls Point, Stuart, FL 34994

Gentlemen:

We enclose application to erect a canvas awning at 37 East Highpoint Road, Stuart, along with our check in the amount of Thirty Dollars (\$30.00).

We are also enclosing copy of certified specifications from, and have been advised, most assuredly by Yohalem Engineering, Inc., Consulting Engineers that the framework of the awning is designed to withstand a wind velocity of 120-miles per hour.

Your kind attention will be greatly appreciated.

Yours truly  
Major Canvas Awnings, Inc.

O. Pat Vinkemulder  
Office Manager

**7194**

**RE-ROOF**



MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 1/13/05

BUILDING PERMIT NO. 7.194

Building to be erected for GRENER

Type of Permit REROOF

Applied for by HEATON ROOFING (Contractor)

Building Fee \_\_\_\_\_

Subdivision High Point Lot 22 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 37 E. High Point Rd

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

Electrical Fee \_\_\_\_\_

133841002000002209370000

Plumbing Fee \_\_\_\_\_

Amount Paid 120.00 Check # 2560 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) 1

Roofing Fee 120.00

Total Construction Cost \$ 27,000.

TOTAL Fees 120.00

Signed Berndt  
Applicant

Signed Gene Simmons  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

RECEIVED

DEC 28 2004

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number:

Date: 12/27/04

OWNER/TITLEHOLDER NAME: Robert Greiner

Phone (Day)

(Fax)

Job Site Address: 37 High Point Rd E

City: Sewalls Pt

State: FL

Zip: 34996

Legal Desc. Property (Subd/Lot/Block) High Point Lot 22

Parcel Number: 13-38-41-002-000-00220-937

Owner Address (if different):

City:

State:

Zip:

Description of Work To Be Done: Re-roof

WILL OWNER BE THE CONTRACTOR?:

YES

NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 27,000-

(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value:

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Heaton Roofing

Phone: 287-0116

Fax: 221-2299

Street: PO Box 1143

City: Palm City

State: FL

Zip: 34991

State Registration Number:

State Certification Number: CCC036970

Martin County License Number: 1986-520-019-561

SUBCONTRACTOR INFORMATION:

Electrical: State: License Number:

Mechanical: State: License Number:

Plumbing: State: License Number:

Roofing: State: License Number:

ARCHITECT Lic.#: Phone Number:

Street: City: State: Zip:

ENGINEER Lic.#: Phone Number:

Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Screened Porch:

Carpport: Total Under Roof Wood Deck: Accessory Building:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Robert Greiner

State of Florida, County of: MARTIN

This the 27th day of JANUARY, 2005

by ROBERT CLAYTON GREENE who is personally

known to me or produced by [Signature] No. 15-280-D

as identification. [Signature] x 8/2/05

CONTRACTOR SIGNATURE (required)

[Signature]

On State of Florida, County of: MARTIN

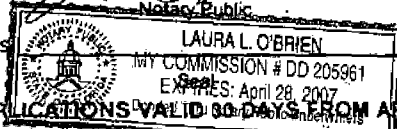
This the 27th day of December, 2004

by DANIEL E. HEATON who is personally

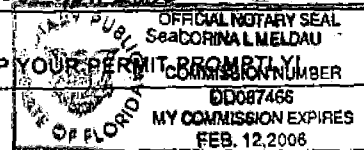
known to me or produced

As identification. [Signature]

My Commission Expires



My Commission Expires: Feb 12 2006



PERMIT APPLICATIONS VALID 90 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY

# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID DD  
HEAR001

DATE (MM/DD/YYYY)  
07/09/04

PRODUCER  
J.W. Edens & Company  
Commercial Ins of Brevard, Inc  
5005 Wickham Road  
Melbourne FL 32940  
Phone: 321-751-3737 Fax: 321-751-3738

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

NAIC #

INSURED  
  
Heaton Roofing, Inc.  
P O Box 1143  
Palm City FL 34991

INSURER A: Canal Indemnity Company  
INSURER B:  
INSURER C:  
INSURER D:  
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	GLF54158	07/14/04	07/14/05	EACH OCCURRENCE \$ 500,000
	DAMAGE TO RENTED PREMISES (Ea occurrence)				\$ 50,000
	MED EXP (Any one person)				\$ 1,000
	PERSONAL & ADV INJURY				\$ 500,000
	GENERAL AGGREGATE				\$ 1,000,000
	PRODUCTS - COMP/OP AGG				\$ 500,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> DEDUCTIBLE RETENTION \$				
WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below					WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

SEWALLS

Town of Sewall's Point  
One South Sewall's Point Rd.  
Stuart FL 33494

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

*Thomas O'Brien*  
Thomas O'Brien



FLORIDA ROOFING, SHEET METAL & AIR CONDITIONING CONTRACTORS ASSOCIATION, INC.

# SELF INSURERS FUND

P.O. BOX 4907 • WINTER PARK, FL 32793 • (407) 671-FRSA  
1-800-767-3772 • FAX (407) 671-2520

## CERTIFICATE OF INSURANCE

ISSUED TO:

COPY PROVIDED TO:

Town of Sewalls Point  
1 S. Sewalls Point Rd.  
Sewalls Point FL 34996

Heaton Roofing, Inc.

P.O. Box 1143  
Palm City FL 34991

ATTN: Laura

Date: 12/28/2004

This is to certify that Heaton Roofing, Inc.  
P.O. Box 1143  
Palm City FL 34991

being subject to the provisions of the Florida Workers' Compensation Act, has secured the payment of compensation by insuring their risk with the FLORIDA ROOFING, SHEET METAL & AIR CONDITIONING CONTRACTORS ASSOCIATION SELF INSURERS FUND.

COVERAGE NUMBER:	<u>870-032640</u>	<u>LIMITS</u>	
EFFECTIVE DATE:	<u>01/01/2005</u>	Workers' Compensation	Statutory - State of Florida
EXPIRATION DATE:	<u>01/01/2006</u>	Employers' Liability	\$100,000 - Each Accident \$100,000 - Disease, Each Employee \$500,000 - Disease, Policy Limit

REMARKS: Non-cancelable without 30 days prior written notice, except for non-payment of premium which will be a 10 day written notice.

This certificate is not a policy and of itself does not afford any insurance. Nothing contained in this certificate shall be constructed as extending coverage not afforded by the policy(ies) shown above or as affording insurance to any insured not named above. This provides coverage for Florida policyholders and Florida domicile employees only.

By: Brett Stiegel  
Brett Stiegel, Administrator  
FRSA-SIF

By: Debbie Kemmerer  
Debbie Kemmerer - Underwriting Manager  
FRSA-SIF

Att: LAURA

**2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE**

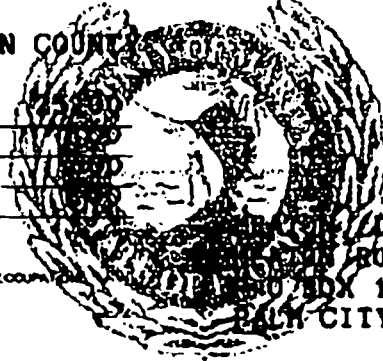
Larry C. O'Steen, Tax Collector, P.O. Box 8013, Stuart, FL 34995  
(772) 288-5604

LICENSE 1986-520-019 CERT CGC036970  
PHONE (772)287-0116 LIC NO 023561

LOCATION:  
**4036 SW HONEY TER MAR**

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>0.00</u>
\$	<u>.00</u>	TRANSFER	<u>0.00</u>
TOTAL		<u>25.00</u>	



IS HEATON ROOFING, INC. ENGAGED IN THE BUSINESS OF PROFESSION OR OCCUPATION OF  
**ROOFING CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

26 DAY OF AUGUST 04  
AND ENDING SEPTEMBER 30, 2005

**DANIEL E  
HEATON ROOFING, INC.  
P.O. BOX 1143  
PALM CITY FL 34991**

12 04082501 000598

AC# 1509991

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04072800807

DATE	BATCH NUMBER	LICENSE NBR
07/28/2004	040094700	CCC036970

The ROOFING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

HEATON, DANIEL E  
HEATON ROOFING INC  
4036 SW HONEY TER  
PALM CITY

FL 34990

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR  
SECRETARY

## PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR RE-ROOFING

**IMPORTANT NOTICE:** All items listed below must accompany your permit application.  
No application will be accepted unless all items that are applicable are submitted.

**Application form must contain the following information:**

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Estimated cost of construction.
6. Original signature of owner and notarized
7. Original signature of Contractor and notarized.

### Submittals (2 copies)

1. Product approvals from Miami/Dade for the following items:
  - a. Roofing
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. A certified copy of the Notice of Commencement for any work over \$2500.00
5. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
6. Copy of Workmen's Compensation
7. Copy of Liability Insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE  
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**

  
\_\_\_\_\_  
(SIGNATURE OF APPLICANT)

DATE SUBMITTED: 12-28-04

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_ TAX FOLIO # 13-38-41-002-000-002200-937

**NOTICE OF COMMENCEMENT**

STATE OF Florida COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

High Point Lot 22, 37 High Point Rd, Sewalls Point, FL 34996

GENERAL DESCRIPTION OF IMPROVEMENT: Re-roof

OWNER: Robert Greiner

ADDRESS: 37 E. High Point Rd

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

CONTRACTOR: Heaton Roofing

ADDRESS: P.O. Box 1143 Palm City, FL 34990

PHONE #: 287-0116 FAX #: 221-2299

SURETY COMPANY (IF ANY) \_\_\_\_\_

STATE OF FLORIDA ADDRESS: \_\_\_\_\_ MARTIN COUNTY

PHONE # \_\_\_\_\_ THIS IS TO CERTIFY THAT THE FOREGOING \_\_\_\_\_ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

BOND AMOUNT: \_\_\_\_\_ MARSHA EWING, CLERK

LENDER: \_\_\_\_\_ BY: T Copus D.C.

ADDRESS: \_\_\_\_\_ DATE: 12-27-04

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

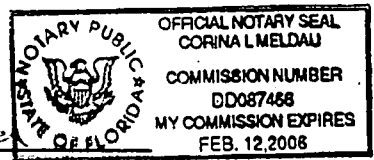
PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Robert Greiner  
SIGNATURE OF OWNER



SWORN TO AND SUBSCRIBED BEFORE ME THIS 23<sup>rd</sup> DAY OF December 2004 BY Robert Greiner

OR PERSONALLY KNOWN ✓ PRODUCED ID \_\_\_\_\_ TYPE OF ID \_\_\_\_\_

Corina L. Meldau  
NOTARY SIGNATURE





**BUILDING CODE COMPLIANCE OFFICE**  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**CONTRACTOR LICENSING SECTION**  
(305) 375-2527 FAX (305) 375-2558

**CONTRACTOR ENFORCEMENT DIVISION**  
(305) 375-2966 FAX (305) 375-2908

**PRODUCT CONTROL DIVISION**  
(305) 375-2902 FAX (305) 372-6339

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

**Entegra Roof Tile Corporation**  
1201 N.W. 18 Street  
Pompano Beach ,FL 33069

Your application for Notice of Acceptance (NOA) of:

**Valencia Spanish "S" Concrete**

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

**ACCEPTANCE NO.: 01-0417.08**  
**EXPIRES: 06/07/2006**

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL  
CONDITIONS  
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

**APPROVED: 06/07/2001**

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 12/30/04
BUILDING OFFICIAL
Gene Simmons

Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office

**Category:** Roofing  
**Sub-Category:** Roofing Tiles  
**Material:** Concrete

**Approval Date:** June 7, 2001  
**Expiration Date:** June 7, 2006

**1. SCOPE**

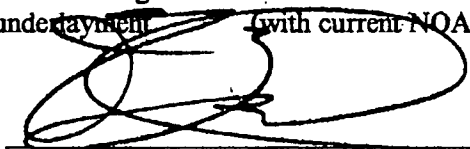
This revises a roofing system using Entegra Valencia Spanish "S" Concrete Roof Tile, as manufactured Entegra Roof Tile Corporation described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County. For the locations where the pressure requirements, as determined by applicable Building Code, does not exceed the design pressure values obtain by calculations in compliance with RAS 127 using the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

**2. PRODUCT DESCRIPTION**

<u>Manufactured by Applicant</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Valencia Spanish "S"	l = 18" w = 10 1/4" min. 3/4" thick	PA 112	High profile, interlocking, one-piece, "S" shaped, concrete roof tile equipped with two nail holes. For direct deck nail-on, mortar set or adhesive set applications.
Trim Pieces	l = varies w = varies varying thickness	PA 112	Accessory trim, concrete roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

**2.1 Components or products manufactured by others**

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
Rainproof II	30" x 75' roll 36" x 75' roll or 60" x 75' roll	PA 104	Single ply, nail-on underlayment with 2" self-adhering top edge.	Protect-O-Wrap, Inc. (with current NOA)
Ice and Water Shield	36" x 75' roll	PA 103	Self-adhering underlayment	W.R. Grace Co. (with current NOA)

  
 Frank Zuloaga, RRC  
 Roofing Product Control Examiner

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
Tile Nails	Min. 10dx 3"	PA 114 Appendix E	Corrosion resistant screw or smooth shank nails	generic
Tile Screws	#8x 2 ½" long 0.335" head dia. 0.131" shank dia. 0.175" screw thread dia.	PA 114 Appendix E	Corrosion resistant, coated, square drive, galvanized, coarse thread wood screws	generic
Roof Tile Mortar ("TileTite™")	N/A	PA 123	Prepared mortar mix designed for mortar set roof tile applications.	Bermuda Roof Company, Inc. with current PCA
Roof Tile Mortar ("Quikrete® Roof Tile Mortar #1140")	N/A	PA 123	Prepared mortar mix designed for mortar set roof tile applications.	Quikrete Construction Products with Current PCA
Roof Tile Mortar ("BONSAL® Roof Tile Mortar Mix")	N/A	PA 123	Prepared mortar mix designed for mortar set roof tile applications.	W. R. Bonsal Co. with current PCA
Roof Tile Adhesive ("Polypro® AH160")	N/A	See PCA	Two component polyurethane adhesive designed for adhesive set roof tile applications.	Polyfoam Products, Inc.
Roof Tile Adhesive TileBond	Factory premixed canisters	See PCA	Single component polyurethane foam roof tile adhesive	Flexible Products (with current NOA)
Hurricane Clip & Fasteners	Clips Min. ½" width Min. 0.060" thick Clip Fasteners Min. 8d x 1 ¼"	PA 114 Appendix E	Corrosion resistant clips with corrosion resistant nails.	Generic

**3. LIMITATIONS**

3.1 Fire classification is not part of this acceptance.



Frank Zuloaga, RRC  
Roofing Product Control Examiner

- 3.2 For mortar or adhesive set tile applications, a static field uplift test shall be performed in accordance with RAS 106.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with PA 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayments shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable Building Code.

**4. INSTALLATION**

4.1.1 Entegra Valencia Spanish "S" Concrete Roof Tile and its components shall be installed in strict compliance with Miami Dade County Roofing Application Standard RAS 118, RAS 119, and RAS 120.

4.2 Data For Attachment Calculations

**Table 1: Aerodynamic Multipliers -  $\lambda$  (ft<sup>3</sup>)**

Tile Profile	$\lambda$ (ft <sup>3</sup> ) Direct Deck Application	$\lambda$ (ft <sup>3</sup> ) Direct Deck Application
Valencia Spanish "S" Tile	0.232	0.252

**Table 2: Restoring Moments due to Gravity -  $M_g$  (ft-lbf)**

Tile Profile	3":12"		4":12"		5":12"		6":12"		7":12" or greater	
	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
Valencia Spanish "S" Tile	6.70	7.10	6.80	7.00	6.46	6.84	6.30	6.67	4.08	N/A



Frank Zuloaga, RRC  
Roofing Product Control Examiner

<b>Table 3: Attachment Resistance Expressed as a Moment - <math>M_r</math> (ft-lbf) for Nail-On Systems</b>				
<b>Tile Profile</b>	<b>Fastener Type</b>	<b>Direct Deck (min 15/32" plywood)</b>	<b>Direct Deck (min. 19/32" plywood)</b>	<b>Battens</b>
Valencia Spanish "S" Tile	2-10d Ring Shank Nails	28.6	41.2	19.4
	1-10d Smooth or Screw Shank Nail	5.1	6.8	2.8
	2-10d Smooth or Screw Shank Nails	6.9	9.2	7.3
	1 #8 Screw	20.7	20.7	18.1
	2 #8 Screw	43.2	43.2	29.8
	1-10d Smooth or Screw Shank Nail (Field Clip)	23.1	23.1	19.0
	1-10d Smooth or Screw Shank Nail (Eave Clip)	29.3	29.3	24.0
	2-10d Smooth or Screw Shank Nails (Field Clip)	27.6	27.6	38.6
	2-10d Smooth or Screw Shank Nails (Eave Clip)	38.1	38.1	41.8
	2-10d Ring Shank Nails <sup>1</sup>	33.1	48.1	

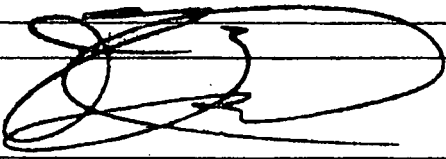
<sup>1</sup> Installation with a 4" tile headlap and fasteners are located a min. of 2½" from head of tile.

<b>Table 4: Attachment Resistance Expressed as a Moment <math>M_r</math> (ft-lbf) for Two Patty Adhesive Set Systems</b>		
<b>Tile Profile</b>	<b>Tile Application</b>	<b>Minimum Attachment Resistance</b>
Valencia Spanish "S" Tile	Adhesive	29.3 <sup>3</sup>

<sup>2</sup> See manufactures component approval for installation requirements.  
<sup>3</sup> Flexible Products Company TileBond Average weight per patty 13.9 grams.  
 Polyfoam Product, Inc. Average weight per patty 8 grams.

<b>Table 4A: Attachment Resistance Expressed as a Moment - <math>M_r</math> (ft-lbf) for Single Patty Adhesive Set Systems</b>		
<b>Tile Profile</b>	<b>Tile Application</b>	<b>Minimum Attachment Resistance</b>
Valencia Spanish "S" Tile	Polyfoam PolyPro™	66.5 <sup>4</sup>
	Polyfoam PolyPro™	38.7 <sup>5</sup>

<sup>4</sup> Large paddy placement of 45 grams of PolyPro™.  
<sup>5</sup> Medium paddy placement of 24 grams of PolyPro™.



Frank Zuloaga, RRC  
 Roofing Product Control Examiner

Tile Profile	Tile Application	Minimum Attachment Resistance
Valencia Spanish "S" Tile	Mortar Set	24.5

**5. LABELING**

All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo, or following statement: "Miami-Dade County Product Control Approved".

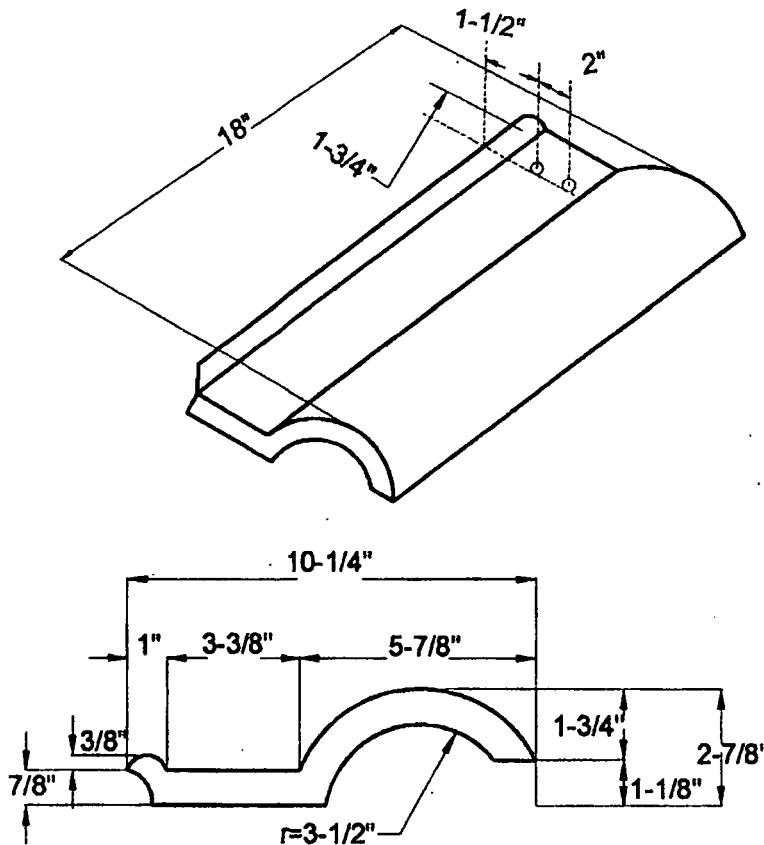
**6. BUILDING PERMIT REQUIREMENTS**

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance.

6.1.2 Any other documents required by the Building Official or applicable Building Code in order to properly evaluate the installation of this system.

**PROFILE DRAWING**




**ENTEGRA VALENCIA SPANISH "S" CONCRETE ROOF TILE**

Frank Zuloaga, RRC  
Roofing Product Control Examiner

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test-supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approval", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
  - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
  - b. The product is no longer the same product (identical) as the one originally approved.
  - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
  - d. The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
  - a. Unsatisfactory performance of this product or process.
  - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1 through 6 and this last page 7.

**END OF THIS ACCEPTANCE**



Frank Zuloaga, RRC  
Roofing Product Control Examiner



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

7194

**CORRECTION NOTICE**

ADDRESS: 37 EAST HIGH PT.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DDY IN

DRIP EDGE MISSING SOUTH  
EAVE

PLYWOOD NOT NAILED ADEQUATELY  
ON SOUTH EAVE,

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/18

[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**





**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(561) 287-2455

**CORRECTION NOTICE**

ADDRESS: 37 E. HIGH POINT

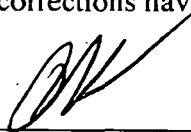
I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DRY-IN

RESCHEDULE INSPECTION WHEN  
ROOFING PERSONNEL ARE ON SITE  
W/ LADDER IN ORDER TO  
EXPOSE SHEATHING FOR  
RAVING INSPECTION

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/18



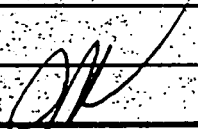
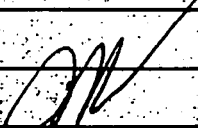
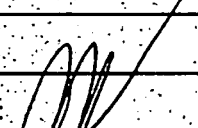
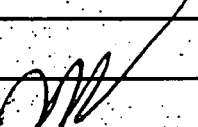
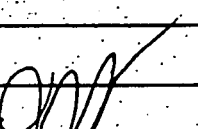
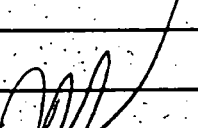
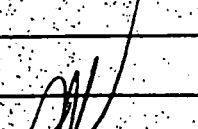
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 2/18, 20025 Page 1 of    

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6863	JOHNSTON	LATH	PASS	
2	34 W. HIGH POINT MASTERPIECE			INSPECTOR: 
7309	BABKIE	Dry-IN	FAIL	
3	101 S. SEWALLS PT TACHENY ROOFING			INSPECTOR: 
7052	KINARD	IN PROGRESS	PASS	
6	5 TIMOR ALL AMERICAN ROOFING			INSPECTOR: 
<del>7194</del>	<del>GREINER</del>	<del>Dry-IN</del>	<del>FAIL</del>	
1	37 W HIGH POINT HEATON ROOFING	TINTAG SHEATHING		INSPECTOR: 
6876	PETERSON	A/C ROUGH	FAIL	
5	49 RIO VISTA DRIFTWOOD HOMES	ELECTRIC "	FAIL	
		PLUMBING "	FAIL	INSPECTOR: 
"	"	FRAMING	FAIL	
5	"			INSPECTOR: 
7256	SCHRADER	POOL STEEL + MAIN DRAIN	FAIL	
7	4 EMARITA OLYMPIC POOLS			INSPECTOR: 

OTHER:

DARRAN U.G. TANK PASS  
25 FIELDWAY OAS

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 2/23, 2005 Page 3 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	LASKY	TREE	PASS	
2	27 W. High Pt			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>794</del>	<del>GREENE</del>	<del>NEAR POOL</del>	<del>PASS</del>	<del>CLOSE</del>
1	37 E. High Pt	ROOF		INSPECTOR:
	<del>HEATON ROOFING (FIRST PLEASE)</del>			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6699	FENSTEREL	WALKWAYS	PASS	CLOSE
	71 S. SPR.			INSPECTOR:
	O/B.			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6419	MENDOZA	FINAL Add/RENOV	FAIL	
	144 S. Sewall's Pt			INSPECTOR:
	MASTER PLAN			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7156	MORAN	FRAMING	PASS	
	32 N. Sewall's Pt	LGH ELEC		INSPECTOR:
	Mc COMB			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7215	MENDOZA	FENCE	PASS	CLOSE
	144 S. SPR.			INSPECTOR:
	JOHN 260-3826			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
OTHER:				

# INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE
6285	Harte	3 E. High Pt	Driveway	AM 7/12
7661	Litchey	5 Middle Rd	AC changeout	
6313		5 Middle Rd	Fence	AM 7/12
7254	Carelli	4 Middle Rd	Fence repair	AM 7/12
6730	Carelli	4 Middle Rd	Fence	AM 7/12
7603	Becker	16 E High Pt	Reroof	AM 7/12
7061	Taylor	22 E High Pt	Dock repair - <sup>one</sup> piling	AM 7/12
7531	Granfield	15 W. High Pt	Int+ext. gas lines	NO ACCESS
7124	McKeige	31 W. High Pt	Fence driveway	AM 7/12
<del>7194</del>	<del>Crain</del>	<del>37 E High Pt</del>	<del>Reroof</del>	<del>AM 7/12</del>
7125	McCartney	45 W High Pt	Dock repair	WORK NOT DONE
7142	Shaughnessy	3 Delano La	Favers on pool deck + patio	AM 7/12
7033	Tidikis	6 Kingston Ct	Fence repair	AM 7/12
7212	Kimmelman	108 Abbie Ct	Fence	AM 7/12
7633	Thomas	10 Palm Rd	Replace windows	NO ACCESS
7485	Engle	14 Palm Rd	Reroof (final)	AM 7/12
7086	Kohloff	20 Riverview	Repair retaining wall	
7007	Analer	3 Simara St	Water repair	
1.95A	Pudlinski	20 Riverview	Repair dock	

**8130**

**FENCE**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 3-23-06

BUILDING PERMIT NO. **8130**

Building to be erected for GREYNER

Type of Permit FENCE

Applied for by STUART FENCE (Contractor)

Building Fee 30.00

Subdivision HIGH POINT Lot 22 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 37 E. HIGH POINT

Impact Fee \_\_\_\_\_

Type of structure FENCE

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Parcel Control Number:

1338410020000002209

Amount Paid 30.00 Check # 5924 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 5800

TOTAL Fees 30.00

Signed Nancy Reubel  
Applicant

Signed Gene Simmons  
Town Building Official

## PERMIT

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL       |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK    |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS              |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION       |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION         |

## INSPECTIONS

- |                             |       |                        |       |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING        | _____ | UNDERGROUND GAS        | _____ |
| UNDERGROUND MECHANICAL      | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING            | _____ | FOOTING                | _____ |
| SLAB                        | _____ | TIE BEAM/COLUMNS       | _____ |
| ROOF SHEATHING              | _____ | WALL SHEATHING         | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH                   | _____ |
| ROOF TIN TAG/METAL          | _____ | ROOF-IN-PROGRESS       | _____ |
| PLUMBING ROUGH-IN           | _____ | ELECTRICAL ROUGH-IN    | _____ |
| MECHANICAL ROUGH-IN         | _____ | GAS ROUGH-IN           | _____ |
| FRAMING                     | _____ | EARLY POWER RELEASE    | _____ |
| FINAL PLUMBING              | _____ | FINAL ELECTRICAL       | _____ |
| FINAL MECHANICAL            | _____ | FINAL GAS              | _____ |
| FINAL ROOF                  | _____ | BUILDING FINAL         | _____ |

RECEIVED  
3/16/06

Permit Number: \_\_\_\_\_

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: ANTOINETTE GREINER Phone (Day) 287-2307 (Fax) \_\_\_\_\_

Job Site Address: 37 E High Point Rd City: STUART State: FL Zip: 34996

Legal Description of Property: HIGH POINT - Lot 22 Parcel Number: 13-38-41-002-000-0020-9

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: INSTALL 6' HIGH ALUMINUM FENCE & GATE

WILL OWNER BE THE CONTRACTOR?: Yes  No  (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: STUART FENCE CO Phone: 288-1151 Fax: 288-3035

Street: PO BOX 2636 City: STUART State: FL Zip: 34995

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: LFE3584

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 5800.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_


Carpport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.


CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
Antoinette Greiner  
State of Florida, County of: MARTIN  
This the 8 day of MARCH, 2006  
by ANTOINETTE GREINER who is personally  
known to me or produced 6656-019-34-657-0  
as identification. Janis L. Loudin

My Commission Expires \_\_\_\_\_  
  
Bonds Thru  
Atlantic Bonding Co., Inc.  
PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

CONTRACTOR SIGNATURE (required)  
Chester Richmond  
On State of Florida, County of: MARTIN  
This the 16 day of MARCH, 2006  
by CHESTER RICHMOND who is personally  
known to me or produced \_\_\_\_\_  
As identification. Janis L. Loudin

My Commission Expires \_\_\_\_\_  
  
Bonds Thru  
Atlantic Bonding Co., Inc.

# ACORD. CERTIFICATE OF LIABILITY INSURANCE

2/23/2006

**PRODUCER**  
**MARIE HOWELL INSURANCE SERVICES**  
 3215 S US 1 SUITE B-201  
 FORT PIERCE FL 34982  
 772-461-4733

**INSURED**  
**STUART FENCE COMPANY INC.,**  
**CHESTER J. RICHMOND & JOHN JAMASON**  
 P O B 2636  
 STUART, FL 34995

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE	NAIC#
INSURER A: <b>WESTERN WORLD</b>	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	


**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.


GEN TYPE LTD. COV	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC	<b>NPP0835360</b>	<b>8/18/2005</b>	<b>8/18/2006</b>	EACH OCCURRENCE DAMAGE TO CERTIFIED PREMISES (EA OCCURRENCE) \$ <b>1,000,000</b> MED EXP (Any one person) \$ <b>50,000</b> MED EXP (Any one person) \$ <b>5,000</b> PERSONAL AND FAMILY INJURY \$ <b>1,000,000</b> GENERAL AGGREGATE \$ <b>2,000,000</b> PRODUCTS - COMP/PROP AGG \$ <b>1,000,000</b>
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (EA accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC. \$ AUTO ONLY AGG \$
	<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				<input type="checkbox"/> MC/FUTA <input type="checkbox"/> DYS-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	<b>OTHER</b>				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

**FENCE ERECTION**

<b>CERTIFICATE HOLDER</b>  THE TOWN OF SEWELLS POINT 1 SOUTH SEWELLS POINT RD SEWELLS POINT, FL 34996  ATTN: LAURA FAX# 772-220-4765	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL _____ DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
---	--



<b>ACORD</b> ™		<b>CERTIFICATE OF LIABILITY INSURANCE</b>			Date 2/24/2006																	
<b>Producer:</b> Lion Insurance Company 2739 U.S. Highway 19 N. Holiday, FL 34691 Phone: 727-838-5682 Fax: 727-837-2138		This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.																				
<b>Insured:</b> South East Personnel Leasing, Inc. 2739 U.S. Highway 19 N. Holiday, FL 34691 Phone : (727)938-5562		Insurers Affording Coverage		NAIC #																		
		Insurer A: Lion Insurance Company		11075																		
		Insurer B:																				
		Insurer C:																				
		Insurer D:																				
Insurer E:																						
<b>Coverages</b>																						
The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.																						
INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits																
		<b>GENERAL LIABILITY</b> <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence \$ Damage to rented premises (EA occurrence) \$ Med Exp \$ Personal Adv Injury \$ General Aggregate \$ Products - Comp/Op Agg \$																
		<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit EA Accident \$ Bodily Injury Per Person \$ Bodily Injury Per Accident \$ Property Damage Per Accident \$																
		<b>GARAGE LIABILITY</b> <input type="checkbox"/> Any Auto				Auto Only - EA Accident \$ Other Than EA Acc. \$ Autos Other AGG. \$																
		<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible <input type="checkbox"/> Retention				Each Occurrence Aggregate																
A		<b>Workers Compensation and Employer's Liability</b> Any proprietor/partner/executive officer/member excluded? If Yes, describe under special provisions below.	WC 71949	01/01/2006	01/01/2007	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;">WC Statutory Limits</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;">OTHER</td> </tr> <tr> <td colspan="2">E.L. Each Accident</td> <td colspan="2">\$1000000</td> </tr> <tr> <td colspan="2">E.L. Disease - Ea Employee</td> <td colspan="2">\$1000000</td> </tr> <tr> <td colspan="2">E.L. Disease - Policy Limits</td> <td colspan="2">\$1000000</td> </tr> </table>	<input checked="" type="checkbox"/>	WC Statutory Limits	<input type="checkbox"/>	OTHER	E.L. Each Accident		\$1000000		E.L. Disease - Ea Employee		\$1000000		E.L. Disease - Policy Limits		\$1000000	
<input checked="" type="checkbox"/>	WC Statutory Limits	<input type="checkbox"/>	OTHER																			
E.L. Each Accident		\$1000000																				
E.L. Disease - Ea Employee		\$1000000																				
E.L. Disease - Policy Limits		\$1000000																				
	Other 3485485 Stuart Fence Company, Inc.	COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED, NOT TO SUBCONTRACTORS.																				
Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions: ADD ON DATE: 5/10/2004 COVERAGE APPLIES ONLY IN THE STATE OF FLORIDA TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF Stuart Fence Company, Inc. FAX: 772-288-3035 & 772-220-4765 / ISSUE: 10-21-04 (PDC) / REISSUE 8-23-05 (JLH) / REISSUE 1-18-06 (JLH) REISSUE 2-24-06 (SH)																						
<b>Lion Insurance Company is A.M. Best Company rated A- (Excellent). AMB # 12616</b>																						
CERTIFICATE HOLDER			CANCELLATION																			
TOWN OF SEWALLS POINT ATTN: LAURA 1 S. SEWALLS POINT RD. SEWALLS POINT FL 34988			Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder, named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.																			
																						

2005-2006 **MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE 2004-518-003 CERT CFE3584  
PHONE (772) 519-6263 SIC NO 135990  
LOCATION 3307 RAILROAD AVE STU

**CHARACTER COUNTS IN MARTIN COUNTY**


PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL		<u>25.00</u>	

IS HEREBY LICENSED TO ENGAGE IN THIS BUSINESS, PROFESSION OR OCCUPATION  
OF **FENCE ERECTION CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE  
23 **AUGUST** 05  
DAY OF 2005  
AND ENDING SEPTEMBER 30,

**RICHMOND, CHESTER - QUALITY  
STUART FENCE COMPANY INC  
3307 RAILROAD AVE  
STUART FL 34997 USA**

**RECEIPT OF PAYMENT**  
6818  
LARRY C. O'STEEN  
99 08/23/2005 OCCI NORMAL  
20045180003000  
0220050023006038CK  
\$25.00



**MARTIN COUNTY, FLORIDA  
Construction Industry Licensing Board  
Certificate of Competency**

**FENCE ERECTION**

License Number **CFE3584** Expires: **30-SEP-06**

**RICHMOND, CHESTER J III  
STUART FENCE & WIRE  
3307 RAILROAD AVE  
STUART, FL 34997**

RTJ

Permit No. \_\_\_\_\_

Tax Folio No. 13-38-41-002-  
000-00220-9

### NOTICE OF COMMENCEMENT

State of Florida MARTIN  
County of \_\_\_\_\_

The undersigned hereby gives notice that improvement will be made to certain real Property and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Legal description of property (include street address, if available): 37 E. HIGH POINT RD  
HIGH POINT - LOT 22

2. General description of improvement: INSTALL FENCE

3. Owner information - name and address: ANTOINETTE GREINER  
37 E. HIGHPOINT RD, STUART, FL 34996

Interest in property: \_\_\_\_\_

Name and address of fee simple titleholder (if other than Owner): \_\_\_\_\_

4. Contractor - name and address: STUART FENCE CO  
PO BOX 2636, STUART, FL 34995

Phone number 888-1151 Fax number 888-3035

5. Surety - name and address: \_\_\_\_\_

STATE OF FLORIDA  
MARTIN COUNTY

Phone number \_\_\_\_\_ Fax number \_\_\_\_\_ Amount of bond: \$ \_\_\_\_\_

THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.



6. Lender - name and address: \_\_\_\_\_

Phone number \_\_\_\_\_ DATE: 3/18/06 D.C. \_\_\_\_\_ Fax number \_\_\_\_\_

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(j)(a)7., Florida Statutes (name and address): \_\_\_\_\_

Phone number \_\_\_\_\_ Fax number \_\_\_\_\_

8. In addition to himself, Owner designates \_\_\_\_\_ of \_\_\_\_\_

\_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13(j)(b), Florida Statutes.

Phone number \_\_\_\_\_ Fax number \_\_\_\_\_

9. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified): \_\_\_\_\_

Antoinette Greiner  
Signature of Owner

G656-019-34-037-0

Sworn to and subscribed before me this 8 day of MARCH, 2006.

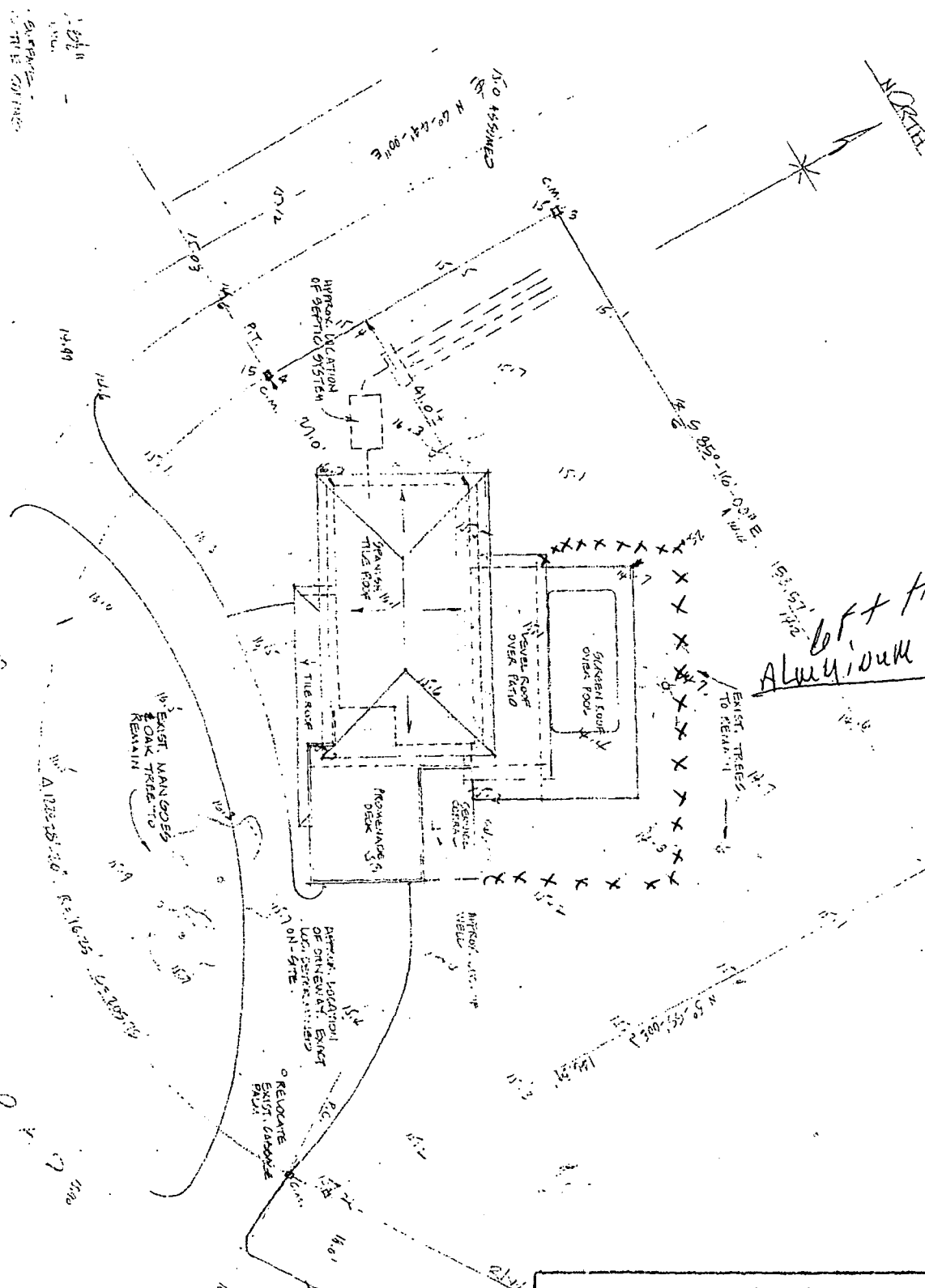
Janis L. Loudin  
Notary Public

My Commission Expires: \_\_\_\_\_



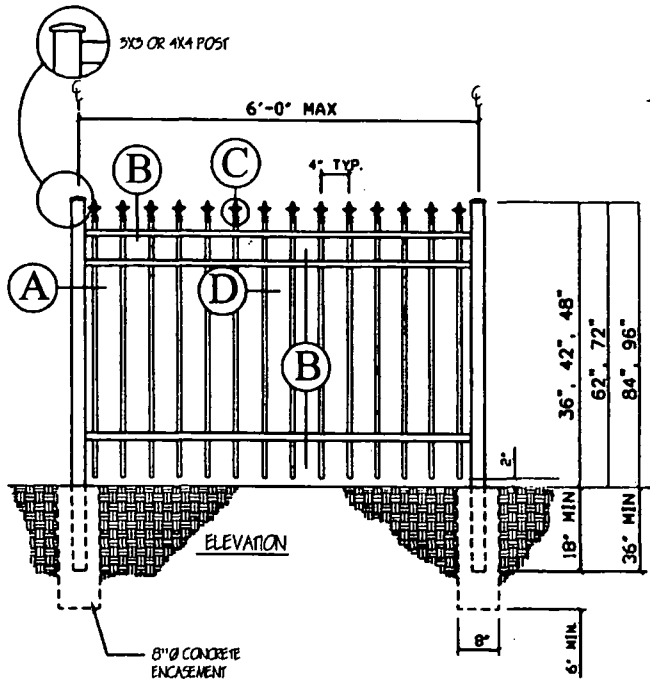
Janis L. Loudin  
Commission # DD119654  
Expires May 21, 2006  
Bonded Thru  
Atlantic Bonding Co., Inc.

RECORDED BY  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
RECORDED 03/15/2006 02:19:35 PM  
Pg 2587 (1pg)  
INSTR # 02121 PG 2587  
1917861



*6ft + High  
Aluminum*

FILE COPY  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE: 3/17/06  
 \_\_\_\_\_  
 BUILDING OFFICIAL  
 Gene Simmons



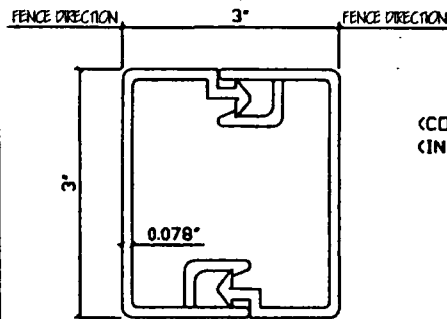
FENCE SECTION (MODEL F)

COMM/ INDUSTRIAL

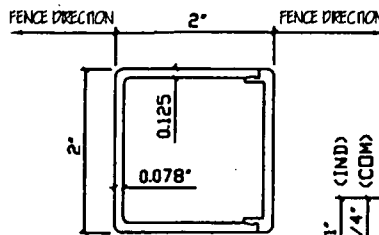
N.T.S.

GENERAL NOTES

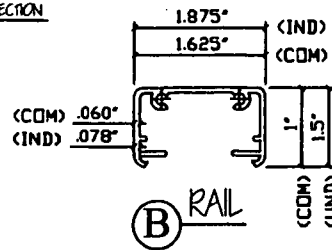
1. ALL FENCE COMPONENTS SHALL BE MANUFACTURED BY APG MERIDIAN INC., POMPANO BEACH, FL 33069 OR APPROVED VENDORS. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURERS PLANS AND SPECIFICATIONS.
2. OVERALL DIMENSIONS SHOWN ARE MANUFACTURER'S STANDARD PRODUCTION SIZES.
3. SWEDGELOCK FENCES MEET OR EXCEED ALL APPLICABLE REQUIREMENTS OF THE 2001 FLORIDA BUILDING CODE, AND THE STANDARD BUILDING CODE LATEST EDITIONS.



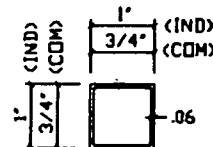
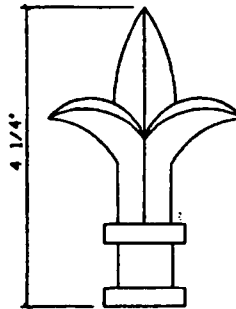
(A) POST  
5" - 4"



(A) POST

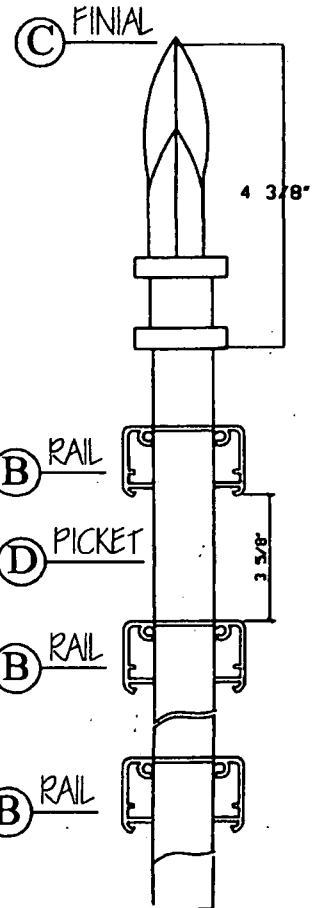


(B) RAIL



(D) PICKET

(C) FINIAL



APG Meridian Inc  
Mfg: Swedge Lock Fence & Railing  
Patented Fence & Railing

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 5-26, 2006

Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
1764	Ruck	Final Lath	PASS	
10	20 NSP Rd Masterspiece			INSPECTOR: <i>[Signature]</i>
Tree	Hammock	Tree	PASS	
6	25 Rio Vista Dr Bernies			INSPECTOR: <i>[Signature]</i>
8130	<del>GREINER</del>	<del>Final</del>	<del>PASS</del>	<del>Close</del>
3	37 E. High Pt Shurt Fence			INSPECTOR: <i>[Signature]</i>
7837	KVAPIL	Elec rough	FAIL	
6	4 Rio Vista Dr Advanced			INSPECTOR: <i>[Signature]</i>
8226	Schanner	Final roof.	FAIL	
7	15 marita way Denmark			INSPECTOR: <i>[Signature]</i>
MC 0002		FINAL ROOF	FAIL	
6A	19 N. VIA LUCINDA SEASIDE ROOFING			INSPECTOR: <i>[Signature]</i>
				INSPECTOR:

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**8791**

**DEMO MANSARD AND**  
**STUCCO REPAIR**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8791	DATE ISSUED:	DECEMBER 20, 2007
SCOPE OF WORK:	DEMO MANSARD & STUCCO REPAIR		
CONDITIONS :	EMERGENCY REPARIS		
CONTRACTOR:	HEATON ROOFING		
PARCEL CONTROL NUMBER:	1338410020000220-9	SUBDIVISION	HIGH POINT - LOT 22
CONSTRUCTION ADDRESS:	37 E HIGH POINT RD		
OWNER NAME:	LERNER		
QUALIFIER:	DANIEL LERNER	CONTACT PHONE NUMBER:	287-0116

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER:	8791		
ADDRESS	37 E HIGH POINT RD		
DATE:	12/20/07	SCOPE:	DEMO MANSARD & STUCCO REPAIR

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$104.65 per sq. ft.)			
Total square feet non-conditioned			
Total			

HEATON ROOFING, INC.  
 P.O. BOX 1143 PH. 772-287-0116  
 3371 SW 42ND AVE UNIT C  
 PALM CITY FL 34991

SEACOAST NATIONAL BANK  
 PALM CITY FLORIDA 34990  
 83-515-670

10972  
 12-20-07  
 \$ 155.00 DOLLARS

Town of Sewall's Point  
 One hundred FIFTY Five

PAY TO THE ORDER OF

MEMO

[Redacted]

A	Declared Value:	\$	800.00
To	number of inspections @ \$75.00 each		1 \$ 150.00
	Road impact assessment: (.04% of construction value - \$5.00 min.)	\$	5.00
<b>TOTAL ACCESSORY PERMIT FEE:</b>		<b>\$</b>	<b>155.00</b>

00

**Town of Sewall's Point**  
**BUILDING PERMIT APPLICATION** Permit Number: \_\_\_\_\_  
 Date: 12/20/2007  
 OWNER/TITLEHOLDER NAME: HYUNJIN LERNER Phone (Day) (772) 283-2667 (Fax) (772) 286-5395  
 Job Site Address: 37 HIGH POINT RD City: SEWALLS POINT State: FL Zip: 34996  
 Legal Desc. Property (Subd/Lot/Block) HIGH POINT LOT 22 Parcel Number: 13-38-41-002-000-00220-9  
 Owner Address (if different): SAME City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Scope of work: DEMOLITION OF MANSARD & STUCCO REPAIR EMERGENCY REPAIR

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO X

Has a Zoning Variance ever been granted on this property?  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO X  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
 Estimated Value of Improvements: \$ 800.00  
 (Notice of Commencement required when over \$2500 prior to first inspection)  
 Is subject property located in flood hazard area? V \_\_\_\_\_ A9 \_\_\_\_\_ A8 \_\_\_\_\_ X \_\_\_\_\_  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 Fair Market Value of the Primary Structure only (Minus the land value)  
 \*\*\* PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION \*\*\*

CONTRACTOR/Company: HEATON ROOFING, INC Phone (772) 287-0116 Fax: (772) 221-2299  
 Street: 3371 SW 42ND AVE City: PALM CITY State: FL Zip: 34990  
 State Registration Number: \_\_\_\_\_ State Certification Number: CCC036970 Municipality License Number: \_\_\_\_\_  
 PROJECT SUPERINTENDANT: DAN HEATON CONTACT NUMBER: (772) 287-0116

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
 Street: N/A City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_  
 Street: N/A City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQ. FOOTAGE (W/SEWER & ELECTRIC): Living: 3040 Garage: 576 Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total Under Roof 3616 Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

CODE EDITIONS IN EFFECT FOR THIS APPLICATION: Florida Building Code - Res., Build, Mech., Plmb., Fuel Gas: 2004 (W/2006 Rev.)  
 National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Prevention Code 2004

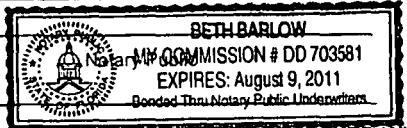
**NOTICES TO OWNERS AND CONTRACTORS:**  
 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.  
 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.  
 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50.05

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.  
 I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

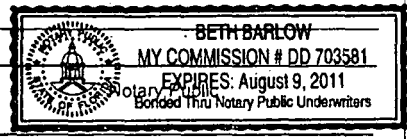
\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*  
 OWNER SIGNATURE (required)  
Ladda Lerner  
 State of Florida, County of: Martin  
 This the 20th day of Dec, 2007  
 by Ladda Lerner who is personally  
 known to me or produced

CONTRACTOR SIGNATURE (required)  
Daniel Lerner  
 On State of Florida, County of: Martin  
 This the 20th day of Dec, 20007  
 by Daniel Lerner who is personally  
 known to me or produced

as identification.  
Beth Barlow  
 My Commission Expires:



As identification:  
Beth Barlow  
 My Commission Expires:



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



713-8547 BILL SHEA

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 2-25, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8813	Hepworth	slab	PASS	NEED SURVEY
2	3 Riverview Sand Castle			INSPECTOR: <i>OW</i>
<del>8191</del>	<del>Kern</del>	<del>Planking/dry</del>	<del>PASS</del>	
1	31 E High Pt Heston Roof			INSPECTOR: <i>OW</i>
8512	Suldes	dry-in	PASS	
5	107 N Sewalls TCR			INSPECTOR: <i>OW</i>
8801	Barnfather	STEM WALL sheathing	PASS FAIL	REMOVED COL.
4	49 S Sewalls Everglades	walls roof HVAC, electric plumbing		DETAIL INSPECTOR: <i>OW</i>
8492	Vasbu	insulation	FAIL	
3	98 S River GIC	DOOR S	PASS	INSPECTOR:
8804	Kurlander	roughin shower pan		CANCEL
11:30	176 S River Rd OB	no platto		INSPECTOR: <i>OW</i>
8806	Shore	wire lath	PASS	
3A	22 Emanta Medalist			INSPECTOR: <i>OW</i>
OTHER:	8589 HARDIN	EXT. REAR DOOR		
	27 S. RIVER	BUCKS (BI-FOLD)	PASS	
	STRATICON			<i>OW</i>

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~Thu~~ Thurs 3-20, 2008

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8623	Sebastianu	tie beam	FAIL	
1	6 W High Pt O/B	215-5410	PASS	RECEIVED ENGR LTR LATE 2/19/08 INSPECTOR: <i>[Signature]</i>
8812	Conway	doors +	FAIL	
3	16 S Via Guindia OB	electric	PASS	INSPECTOR: <i>[Signature]</i>
	River Oaks	retaining wall beam	PASS	
				INSPECTOR: <i>[Signature]</i>
<del>8791</del>	<del>John</del>	<del>Final</del>	<del>PASS</del>	<del>CLOSE</del>
2	37 E High Pt Heaton Roofing			INSPECTOR: <i>[Signature]</i>
C.E.	JOSEPH JONES - 51 S.S.P.R.	CONDITION OF PROP. (TAKE PHOTOS)		INSPECTOR:
8830	GIACHINO	FINAL FILL	PASS	CLOSE
4	19 SIMARA E. HUBBINS			INSPECTOR: <i>[Signature]</i>
C.E.	AKRAWI, ANIS Y 36 S. RIVER RD. (LOT 1 RIDGELAND)	NEEDS PAINTING		
		53 S.S.P.R.		INSPECTOR:
OTHER: 8535	STARIC 87 Seward Emil Law.	UG electric	PASS	<i>[Signature]</i>

*3 PM John*

**9188**

**ADDITION/REMODEL**

Renewal



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER: 9188 DATE ISSUED: JUNE 24, 2009
SCOPE OF WORK: ADDITION/REMODEL
CONDITIONS:
CONTRACTOR: OWNER/BUILDER
PARCEL CONTROL NUMBER: 133841002-000-002209 SUBDIVISION HIGH POINT-LOT 22
CONSTRUCTION ADDRESS: 37 E HIGH POINT RD
OWNER NAME: LERNER
QUALIFIER: OWNER CONTACT PHONE NUMBER: 561-630-2477

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY

REQUIRED INSPECTIONS

Table with 2 columns of inspection items and corresponding lines for marking completion. Items include UNDERGROUND PLUMBING, UNDERGROUND MECHANICAL, STEM-WALL FOOTING, SLAB, ROOF SHEATHING, TIE DOWN /TRUSS ENG, WINDOW/DOOR BUCKS, ROOF DRY-IN/METAL, PLUMBING ROUGH-IN, MECHANICAL ROUGH-IN, FRAMING, FINAL PLUMBING, FINAL MECHANICAL, FINAL ROOF, UNDERGROUND GAS, UNDERGROUND ELECTRICAL, FOOTING, TIE BEAM/COLUMNS, WALL SHEATHING, INSULATION, LATH, ROOF TILE IN-PROGRESS, ELECTRICAL ROUGH-IN, GAS ROUGH-IN, METER FINAL, FINAL ELECTRICAL, FINAL GAS, BUILDING FINAL.

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9188
ADDRESS	37 E HIGH POINT RD
DATE:	6/24/09
SCOPE:	ADDITION/REMODEL

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	140,000
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s.f.	

- Total square
- Total Constr
- Building fee:
- Building fee:
- Total number
- Radon Fee (\$
- DBPR Licens
- Road impact
- Martin Count

90-7118/354 3211 0324092030 Date: 6/24/09 1609

HYUNJIN F. LERNER  
 37 EAST HIGHPOINT ROAD  
 STUART, FL 34996-7004

Pay to the order of Town of Sewall's Point \$ 2,281.00

Two thousand two hundred eighty one & 00/100 Dollars

**CITIBANK**  
 CITIBANK, N.A. BR. #354  
 245 MARKET STREET  
 SAN FRANCISCO, CA 94105  
 for Building Permit

*Hyunjin F. Lerner*  
 6/24/09

TOTAL BUILDING PERMIT FEE:	\$	2281
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ACCESSORY PERMIT	Declared Value:	\$	
Total number of inspections @ \$75.00 each	1	\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	
TOTAL ACCESSORY PERMIT FEE:	\$		



**RECEIVED**  
DATE: 6-8-09  
TOWN OF SEWALL'S POINT

Town of Sewall's Point

561-630-2477

Date: 5. BUILDING PERMIT APPLICATION Permit Number:

OWNER/TITLEHOLDER NAME: HYUNJIN F. LERNER Phone (Day) 772-283-2427 (Fax) 561-

Job Site Address: 37 E. HIGH POINT RD. City: STUART State: FL Zip: 34996

Legal Description: LOT 22 HIGH POINT Parcel Control Number: 13-38-41-002-000-00220.9

Owner Address (if different): City: State: Zip:

Scope of work (please be specific): RENOVATION AS EXISTING AND SOME ENCLASURE OF EXISTING ROOF SPACE

WILL OWNER BE THE CONTRACTOR?  
(If yes, Owner Builder questionnaire must accompany application)  
YES  NO   
Has a Zoning Variance ever been granted on this property?  
YES \_\_\_\_\_ (YEAR) NO   
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 140,000.00  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 AE9 AE8   
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:  
Estimated Fair Market Value prior to improvement: \$ 285,000.00  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: OWNER BUILDER Phone: Fax:

Street: City: State: Zip:

State License Number: OR: Municipality: License Number:

LOCAL CONTACT: Phone Number:

DESIGN PROFESSIONAL: STEPHEN GOANFIELD Lic# A292817 Phone Number: 772-285-9113 (C) 772-283-4032 (O)

Street: 3601 SE OCEAN BLVD #002 City: STUART State: FL Zip: 34996

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage:

Carport: Total under Roof Elevated Deck: Enclosed area below BFE\*: 0  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

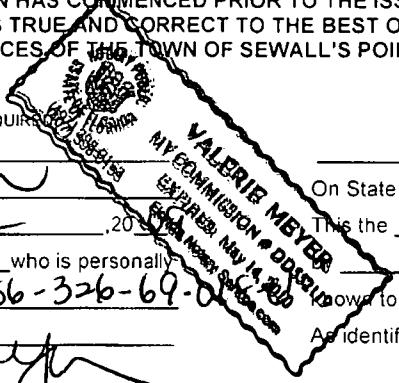
CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 Edition  
National Electrical Code: 2005 Florida Energy Code: 2007 Florida Accessibility Code: 2007 Florida Fire Prevention Code 2007

**NOTICES TO OWNERS AND CONTRACTORS:**  
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.  
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.  
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.  
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)  
CONTRACTOR SIGNATURE: (required)  
State of Florida, County of Martin On State of Florida, County of:  
This the 8th day of June, 2009 This the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
by HYUNJIN F. LERNER who is personally known to me or produced as identification. VALERIE MEYER who is personally known to me or produced as identification.  
My Commission Expires: My Commission Expires:



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT  
 MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE

APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES  
 AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE

NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.

ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"

Owner/Builder Applicant Name: Hyunjin Lerner

Site address of the proposed building work: 37 E HIGH POINT RD

Name of legal title owner of the address above: HYUNJIN E LADDA LERNER

Describe the scope of work for the proposed new construction: RENOVATION OF 1400# EXISTING AK'S SPINE ENCLOSURE OF 450# ROOF AREA & 450# OF NEW 2<sup>ND</sup> FLOOR ADDITION

Name of Architect of Record: GROUPEL-GROUPEL Structural Engineer of Record: N/A

Who will supervise the trade work to meet the applicable code? OWNER & ARCHITECT ~~INIT~~

What provisions have you made for Liability and Property Damage Insurance? PHONE CALL PENDING.

ARCHITECT CANNOT ACT AS AGENT/SUPERVISOR IN OWNERS ABSENCE. ONLY AS CONSULTANT JOINTLY WITH OWNER/BUILDER

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? NO UN-LICENSED LABOR WILL BE USED

What previous Owner/Builder improvements have you done in the State of Florida?

Location: NONE Scope of Work Done: \_\_\_\_\_ Year: \_\_\_\_\_

Location: \_\_\_\_\_ Scope of Work Done: \_\_\_\_\_ Year: \_\_\_\_\_

What code books do you have available for reference? Building: 2007 FEC / RESIDENTIAL / EXISTING

Electric: 2005 NEC Plumbing: 2007 FEC HVAC: 2007 FEC

Other: \_\_\_\_\_

I have internet access and will view The Florida Building code at [www.floridabuilding.org](http://www.floridabuilding.org) YES  NO \_\_\_\_\_

Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site? Yes (yes/no)

Have you consulted with your Homeowner's Insurance Agent? Pending call Lender? N/A Attorney? NO

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. HL (initials).



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

### OWNER/BUILDER DISCLOSURE STATEMENT

NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT.

13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE.

14. ANY PERSON WORKING ON YOUR BUILDING WHO IS NOT LICENSED MUST WORK UNDER YOUR DIRECT SUPERVISION AND MUST BE EMPLOYED BY YOU, WHICH MEANS THAT YOU MUST DEDUCT F.I.C.A. AND WITHHOLDING TAX AND PROVIDE WORKERS' COMPENSATION FOR THAT EMPLOYEE, ALL AS PRESCRIBED BY LAW.

15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT.

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT.

ON THIS 8<sup>th</sup> DAY OF June, 2009.

PROPERTY ADDRESS 37 E. SEWALL'S POINT RD

CITY SEWALL'S POINT STATE FL ZIP 34996

[Signature]  
 SIGNATURE OF OWNER/BUILDER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 8<sup>th</sup> DAY OF June 2009

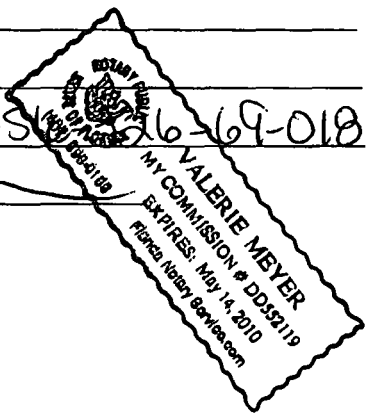
BY HUNJIN F LERNER

PERSONALLY KNOWN \_\_\_\_\_

OR PRODUCED ID  \_\_\_\_\_

TYPE OF ID FL ID # L65126-69-018-0

[Signature]  
 NOTARY SIGNATURE





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**CONTRACTOR, OWNER /BUILDER ASBESTOS NOTIFICATION STATEMENT**

Date: \_\_\_\_\_ Building Permit # \_\_\_\_\_

Site Address: 37 E. HIGH POINT RD, SUWET, FLA 34996

**FBC 104.1.10 Asbestos.** The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's or operator's responsibility to comply with the provisions of s. 469.003 Florida Statutes and to notify the Department of Environmental Protection of her or his intentions to remove asbestos, when applicable, in accordance with state and federal law. 469.003 License required.--

- (1) No person may conduct an asbestos survey, develop an operation and maintenance plan, or monitor and evaluate asbestos abatement unless trained and licensed as an asbestos consultant as required by this chapter.
- (2)(a) No person may prepare asbestos abatement specifications unless trained and licensed as an asbestos consultant as required by this chapter.
- (b) Any person engaged in the business of asbestos surveys prior to October 1, 1987, who has been certified by the Department of Labor and Employment Security as a certified asbestos surveyor, and who has complied with the training requirements of s. 469.013(1)(b), may provide survey services as described in s. 255.553(1), (2), and (3). The Department of Labor and Employment Security may, by rule, establish violations, disciplinary procedures, and penalties for certified asbestos surveyors.
- (3) No person may conduct asbestos abatement work unless licensed by the department under this chapter as an asbestos contractor, except as otherwise provided in this chapter.

**FBC 105.3.6 Asbestos removal. (Owner /Builder Exemption)**

Moving, removal or disposal of asbestos-containing materials on a residential building where the owner occupies the building, the building is not for sale or lease, and the work is performed according to the owner-builder limitations provided in this paragraph. To qualify for exemption under this paragraph, an owner must personally appear and sign the building permit application. The permitting agency shall provide the person with a disclosure statement in substantially the following form: **Disclosure Statement:** State law requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

\_\_\_\_ Contractor or \_\_\_\_ Owner/Builder Signature [Signature]

Subscribed and sworn to before me this 04 day of June, 2009, personally appeared

\_\_\_\_ who is personally known to me or produced FLDL as

identification, and who did/did not take an oath.  
 Notary Public Signature [Signature]





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**ADDITION/REMODEL APPLICATION CHECKLIST**

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient Documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

- 1 COPY COMPLETED PERMIT APPLICATION INCLUDING:
  - LEGAL DESCRIPTION
  - NOTARIZED SIGNATURE OF OWNER AND CONTRACTOR
  - PROOF OF OWNERSHIP (RECORDED WARRANTY DEED OR TAX BILL)
  
- 2 COPIES CURRENT SURVEYS (DATED 2006 OR NEWER) SHOWING THE FOLLOWING:  
**\*\*ADDITIONS OR SUBSTANTIAL IMPROVEMENT(GREATER THAN 50% OF FAIR MARKET VALUE) ONLY\*\***
  - CURRENT FLOOD ZONES PER LOCAL FLOOD INSURANCE RATE MAP (FIRM)
  - NGVD ELEVATIONS AT ALL CORNERS, MID POINTS AND AVERAGE CROWN OF ROAD
  - ALL EXISTING STRUCTURES ON PROPERTY AND PROPOSED SETBACKS FROM THE PROPERTY LINE TO ALL SIDES OF THE PROPOSED ADDITION.
  - ELEVATION OF PROPOSED ADDITION
  - DRAINAGE ARROWS AND PERVIOUS/IMPERVIOUS CALCS. TO SHOW PROPOSED STORMWATER RETENTION**\*\*\*DO NOT SUBMIT PREVIOUSLY STAMPED SITE PLANS\*\*\***
  
- FEEDBACK*  
 2 COPIES SEPTIC TANK PERMIT, IF APPLICABLE (PLANS MUST BE STAMPED BY HEALTH DEPT.).  
 (\*\*ADDITIONS W/ LIVING SPACE ONLY\*\*)
  
- 2 COPIES COMPLETE SETS OF PLANS WITH ALL REQUIRED PAGES SIGNED & SEALED BY A FLORIDA REG. ARCHITECT OR ENGINEER. MAXIMUM SIZE PLANS 24" X 36".
  
- 2 COPIES THE FLORIDA ENERGY CODE FOR THE "SOUTH" ZONE 8, FORM 600A-04R (VERSION 4.0 OR LATER) OR 600C-04R. MUST BE SIGNED & DATED.
  
- REG!*  2 COPIES MANUAL "J" (ADDITIONS OVER 600 S.F. OR ENCLOSED AREAS PREVIOUSLY UNCONDITIONED)
  
- 2 COPIES WINDLOAD CERTIFICATION SIGNED & SEALED BY A FLORIDA REG. ARCHITECT OR ENGINEER OR INDICATE ON THE PLANS. LEVEL 3 ALTERATIONS REQUIRES STRUCTURAL ANALYSIS BY ARCH/ENG
  
- 2 COPIES PRODUCT APPROVAL CHECKLIST SIGNED & SEALED BY THE ARCHITECT OR ENGINEER OR INDICATE ON THE PLANS.
  
- 1 COPY NOTICE OF COMMENCEMENT, IF VALUE IS OVER \$2500.00. MUST BE SUBMITTED PRIOR TO THE FIRST INSPECTION.
  
- 1 COPY ASBESTOS NOTIFICATION STATEMENT

**SPECIFICATIONS AND PRODUCT APPROVALS**

- SPECS. FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, SHUTTERS, SIDING, ROOF COVERING AND SIMILAR ENVELOPE ELEMENTS MUST BE ON-SITE FOR INSPECTIONS. THESE PRODUCTS MUST BE TESTED BY AN APPROVED TESTING LAB AND DESIGN PRESSURES STATED. MUST HAVE ARCHITECT/ENGINEER OF RECORD REVIEW. TO VERIFY THAT IT MEETS DESIGN.
- ROOF COVERING SPECIFICATIONS/DADE COUNTY OR FLORIDA APPROVAL MUST INCLUDE MANUFACTURER/PRODUCT NAME AND TEST NUMBER.
- SHUTTERS MUST BE DESIGNED IN ACCORDANCE WITH ASCE 7-02 AND SSTD-12. SPECIFICATIONS MUST BE HIGHLIGHTED AS TO WHICH MOUNT, DESIGN PRESSURE, FASTENER, AND FASTENER SPACING THAT WILL BE USED.

**IMPACT PROTECTION FOR ALL EXTERIOR GLAZED OPENINGS REQUIRED PER F.B.C. 2004 W/2006 REVISIONS 1609.1.4 (IMPACT RESISTANT GLASS OR APPROVED SHUTTERS)**

# TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

DON OSTEEN  
Mayor

MARK  
KLINGENSMITH  
Vice Mayor

NEIL SUBIN  
Commissioner

PAUL SCHOPPE  
Commissioner

JACQUI THURLOW-  
LIPPISCH  
Commissioner

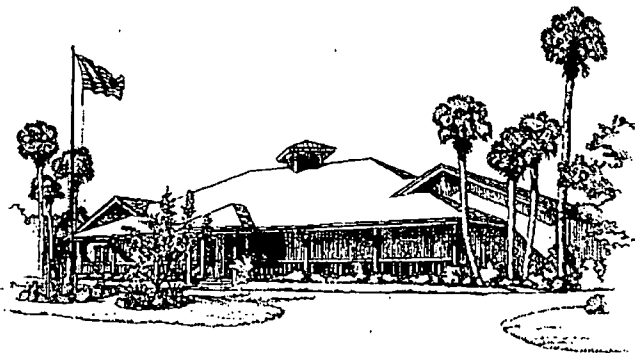
ROBERT KELLOGG  
Town Manager

JOHN R. ADAMS  
Building Official

ERIC CERNIGLIA  
Chief of Police

ANN-MARIE  
SULLIVAN BASLER  
Town Clerk

JOSE TORRES, JR.  
Maintenance



## CONDITIONS FOR PERMIT APPROVAL

561-630-2435

772-283-8150

DATE: 06/10/2009

DATE OF PERMIT APPLICATION: 06/08/2009

APPLICATION DESCRIPTION: ADDITION/REMODEL SRF

APPLICATION ADDRESS: 37 E. HIGH POINT RD. SEWALL'S POINT FL 34996

THE FOLLOWING ITEMS ARE NOTED FOR CORRECTION AND ARE CONDITIONS FOR APPROVAL FOR THE ABOVE REFERENCED PERMIT APPLICATION:

1. OWNER/BUILDER TO ACKNOWLEDGE THAT ARCHITECT OF RECORD CANNOT ACT AS AGENT/SUPERVISOR IN OWNERS ABSENCE PER F.S. 489.103 (7) (b).
2. SURVEY MUST BE CERTIFIED TO THE TOWN OF SEWALL'S POINT.
3. MANUAL J LOAD CALCULATION IS REQUIRED WHEN ENCLOSING AND CONDITIONING PREVIOUSLY UNCONDITIONED SPACE.
4. PLEASE PROVIDE ADDITIONAL DETAILS FOR REFLECTING POOL. IS WATER IS TO BE RE-CIRCULATED AND FILTERED, ETC.?
5. PROVIDE GAS INSTALLATION CHECK LIST AND ALL NECESSARY INFORMATION ON PIPING AND APPLIANCES.
6. PROVIDE SPECIFICATIONS ON RANGE HOOD AND PROVISIONS FOR MAKE-UP/COMBUSTION AIR

IF YOU NEED FURTHER INFORMATION OR CLARIFICATION FOR THESE CONDITIONS, DO NOT HESITATE TO CONTACT ME.

WITH REGARDS,

JOHN R. ADAMS  
BUILDING OFFICIAL



One S. Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: [clerk@sewallspoint.martin.fl.us](mailto:clerk@sewallspoint.martin.fl.us)  
Building Department (772) 287-2455 • Fax (772) 220-4765 • E-Mail: [jadams@sewallspoint.martin.fl.us](mailto:jadams@sewallspoint.martin.fl.us)





**GRANFIELD • GRANFIELD**

ARCHITECTS PA • AIA

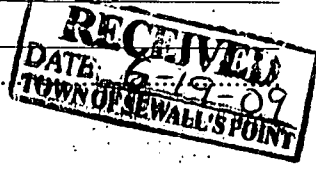
3601 SE OCEAN BLVD #002  
STUART FLORIDA 34996  
TELEPHONE • 772 • 283 • 6032  
FACSIMILE • 772 • 283 • 8150

FLA REG NO • AAC 549

**TRANSMITTAL LETTER**

TO: John Adams DATE: 6/19/09

ATTN: Town Sewall's Point PROJECT: Lerner Resid.  
ARCH #: \_\_\_\_\_



WE TRANSMIT:  ATTACHED  PER YOUR REQUEST  
 UNDER SEPARATE COVER VIA \_\_\_\_\_

FOR YOUR:  APPROVAL  INFORMATION  RECORDS  
 USE  REVIEW & COMMENT  DISTRIBUTION  
 \_\_\_\_\_

ENCLOSED:  DRAWINGS  SPECIFICATIONS  SHOP DRAWINGS  
 SAMPLES  PRODUCT LITERATURE  CHANGE ORDER  
 \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
2			HEALTH DEPT. APPROVED SEPTIC PERMIT PLANS
2			HVAC LOAD CALC'S
2			REVISED SURVEY
2			RANGE/HOOD PRODUCT SPEC'S
1			COMMENT RESPONSE LETTER

REMARKS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

COPIES TO: \_\_\_\_\_ FROM: S. GRANFIELD



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ARCHITECTS PA • AIA

3601 SE OCEAN BLVD #002  
STUART FLORIDA 34996  
TELEPHONE • 772 • 283 • 6032  
FACSIMILE • 772 • 283 • 8150

FLA REG NO • AAC 549

**TRANSMITTAL LETTER**

TO: JOHN ADAMS DATE: 6/22/09  
 ATTN: BUILDING OFFICIAL PROJECT: LEHNER RES.  
 ARCH #:

WE TRANSMIT:  ATTACHED  PER YOUR REQUEST  
 UNDER SEPARATE COVER VIA \_\_\_\_\_

FOR YOUR:  APPROVAL  INFORMATION  RECORDS  
 USE  REVIEW & COMMENT  DISTRIBUTION  
 \_\_\_\_\_

ENCLOSED:  DRAWINGS  SPECIFICATIONS  SHOP DRAWINGS  
 SAMPLES  PRODUCT LITERATURE  CHANGE ORDER  
 \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
2			S&S SHEET A7 REVISION #1
1			COMMENT RESPONSE LETTER

REMARKS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

COPIES TO: \_\_\_\_\_ FROM: S. GRANFIELD



**GRANFIELD • GRANFIELD**

ARCHITECTS PA • AIA

3 6 0 1 S E O C E A N B L V D # 0 0 2  
S T U A R T F L O R I D A 3 4 9 9 6  
T E L E P H O N E • 7 7 2 • 2 8 3 • 6 0 3 2  
F A C S I M I L E • 7 7 2 • 2 8 3 • 8 1 5 0

FLORIDA • AAC 000549

June 22, 2009

Mr. John Adams  
Building Official  
Town of Sewall's Point  
1 S. Sewalls Point Rd  
Stuart, FL 34996

Dear Mr. Adams,  
The following is in response to the plan re-review comments based on our conversation in your office on 6-22-09

Comment

1. *Provide specification on range hood and provisions for make-up / combustion air.*

**Response: Have Complied**

See attached revised electrical / mechanical plan, sheet A7 for new make-up air duct and exhaust hood ducting – clouded as revision 1.1.

If there are any other clarifications please do not hesitate to contact me.

Sincerely,

Stewart Granfield  
**Granfield ■ Granfield Architects**



**GRANFIELD • GRANFIELD**

ARCHITECTS PA • AIA

3601 SE OCEAN BLVD #002  
STUART FLORIDA 34996  
TELEPHONE • 772-283-6032  
FACSIMILE • 772-283-8150

FLORIDA • AAC 000549

June 16, 2009

Mr. John Adams  
Building Official  
Town of Sewall's Point  
1 S. Sewalls Point Rd  
Stuart, FL 34996

Dear Mr. Adams,  
The following is in response to the plan review comments received 6-10-09

**Comment**

1. *Owner/Builder to acknowledge that the Architect of record cannot act as agent/supervisor in Owner's absence per FS 489.103(7)(b).*

**Response: Have Complied**

I have made the Owner fully aware of his responsibilities and my limitations as his Architect when submitting for an Owner/Builder permit. We sat together and reviewed each question / statement of the Town of Sewall's Point Owner/Builder Questionnaire before he signed it. We discussed his responsibility for the direct supervision and tax/insurance liabilities of any unlicensed labor he may hire. He can assure you, only licensed contractors will be hired to perform all aspects of the work. We also discussed the fact the he would be unable to sell or lease the house for 1 year after CO or apply for another O/B permit at a different property for 3 years. He indicated he has no intention on moving anytime within that period. I have given him a copy of the State Statute you cited for his review.

As to my responsibilities as the Architect on this project, allow me to define the scope of services we will be providing to the Owner during this permitting / construction phase. The Owner has hired Granfield-Granfield Architects to provide Construction Management services under a Standard AIA CM Contract. Under this contract we will assist the Owner in identifying all aspects of the work to be performed and soliciting bids from licensed contractors to perform the work. The Owner will contract separately with each sub-contractor and oversee their work, our firm will assist the Owner with this oversight, construction coordination and scheduling. Lastly, Granfield-Granfield will assist the Owner with obtaining all required permitting and approvals; and to provide more comprehensive on-site supervision required for construction coordination, scheduling and supervision services outlined in our contract.

**Comment:**

2. *Survey must be certified to the Town of Sewall's Point.*

**Response: Have Complied**

See attached revised survey (2 copies)

Comment

3. *Manual J Load Calculation is required when enclosing and conditioning of previously unconditioned space.*

**Response: Have Complied**

See attached HVAC load Calculations (2 copies)

Comment

4. *Please provide additional details for reflecting pool. Is water to be circulated and filtered, etc?*

**Response: Have Complied**

Reflecting pool water will be chemically treated and circulated / aerated with a small submersible pump purchased and installed by the Owner. The pool is strictly ornamental and is not connected to any water supply or sanitary lines.

Comment

5. *Provide gas installation checklist and all necessary information on piping and appliances.*

**Response: Will Comply**

The selected licensed LP gas contractor will provide the completed checklist and all required piping specs. The Owner is currently soliciting LP gas contractors. The Owner will not conduct any gas equipment / piping installation prior to the contractors selection and submission of these comment conditions.

Comment

6. *Provide specification on range hood and provisions for make-up / combustion air.*

**Response: Have Complied**

See attached product cut-sheet for range top & ducted exhaust hood. Combustion air is obtained entirely thru air contained within the space as defined in FBC1702.1 and exceeds the required volume of 50cf per 1,000 btu ( $50 \times 18 = 900$  cubic feet required) by over ten times the requirement. Make-up air for the 600cfm range exhaust hood, although not required by the Residential FBC, is obtained thru normal air infiltration of the existing structure.

If there are any other clarifications please do not hesitate to contact me.

Sincerely,



Stewart Granfield  
Granfield ■ Granfield Architects



RECEIVED  
12-10-09

*OK FWP*

**Martin County Health Department**

FOR FINAL APPROVAL TO BUILDING DEPARTMENT:

\_\_\_ MARTIN COUNTY: FAX 419-6934, PHONE 288-5489

\_\_\_ CITY OF STUART: Fax 288-5388 Phone 288-5326

\_\_\_ JUPITER ISLAND: Fax 545-0188 Phone 545-0150

SEWALLS POINT: Fax 220-4765 Phone 2872455

FROM: Ray Cross

DATE: 12/10/09

SEPTIC SYSTEMS (SS)

\_\_\_ LIMITED USE PUBLIC WATER SYSTEM (57)

HEALTH DEPT. PERMIT #

BUILDING DEPT. PERMIT #

LOCATION

• 43-SS- 984 621

9188

37 E. HWY 12 RD 100 RD

43-57- \_\_\_\_\_

LEERVA

• 43-SS- \_\_\_\_\_

43-57- \_\_\_\_\_

• 43-SS- \_\_\_\_\_

43-57- \_\_\_\_\_

• 43-SS- \_\_\_\_\_

43-57- \_\_\_\_\_

• 43-SS- \_\_\_\_\_

43-57- \_\_\_\_\_

j:environmental health/ostds/forms



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**SUBCONTRACTORS LIST**  
 RESIDENTIAL, ADDITIONS, COMMERCIAL

9188

APPLICANT'S NAME Hyunjin Lee BLDG. PERMIT # \_\_\_\_\_

MAILING ADDRESS 37 E Hallway Rd Stuart, FL 34986

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION. USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. (NOT OCCUPATIONAL LICENSE NUMBERS)

	TYPE	COMPANY NAME	LICENSE NUMBER
OK	CFO CONCRETE - FORM	SCOTT HOLMES BUILDING	CGC 055859
	CFI - FINISH		
	BM BLOCK MASON	SCOTT HOLMES BUILDING	↓
	CB COLUMNS & BEAMS	SCOTT HOLMES BUILDING	
	CA CARPENTRY ROUGH	SCOTT HOLMES BUILDING	CGC 055859
	GD GARAGE DOOR	N/A	-
all	DH DRYWALL - HANG	DOUG BURK - DRY WALL	SPO0250
	DF - FINISH	DOUG BURK	
	IN INSULATION	DOUG BURK	SPO0250
all	LA LATHING	TREASURE COAST PLASTERING	SPO2404
	FI FIREPLACE	N/A	-
	PAV PAVERS	N/A	-
	AL ALUMINUM	N/A	-
OK	LP LP GAS	Amerigas	02707
	PAV PAINTING	LARRY McCLAIN PAINTING	#19755180322
	PL PLASTER & STUCCO	TREASURE COAST PLASTERING	SPO2404
	ST STAIRS & RAILS	SCOTT HOLMES BUILDING	CGC 055859
work	RO ROOFING	J.A. TAYLOR	CU1325720
	TM TILE & MARBLE	AGLER TILE	CEU1250637
	WD WINDOWS & DOORS	SCOTT HOLMES BUILDING	CGC 055859
	PLU * PLUMBING	PAVES PLUMBING	CFU 051025
	AC * HARV	HOWARD AC CONDITIONING	CAU 058505
	EL * ELECTRICAL	<del>WALTER POWER COM</del>	<del>EC0021289</del>

11/3/09

OK - all  
 OK - all  
 SNICK  
 form

OK Power Com Elec. EC 0002034



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

AL	* LOW VOLTAGE BURGLAR ALARM	N/A	—
VS	VACUUM SOUND	N/A	—
IR	* IRRIGATION	N/A	—
SH	SHUTTERS	N/A	—

\* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

*[Handwritten Signature]*

SIGNATURE OF CONTRACTOR  
 (OR OWNER/BUILDER IF APPLICABLE)

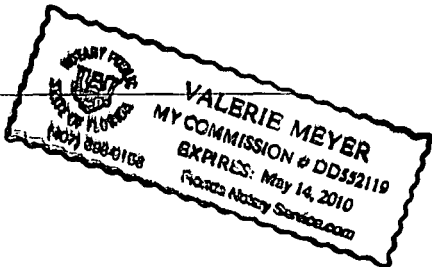
STATE OF Florida  
 COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 8<sup>th</sup> day  
 of June, 2009

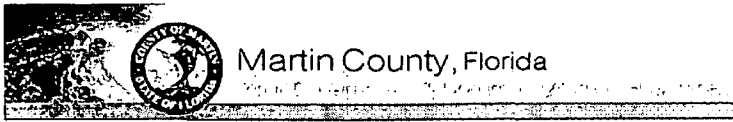
*[Handwritten Signature]*

NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_







[Home](#) | [Departments](#) | [Other Govt.](#) | [e-Services](#) | [Residents](#) | [Visitors](#) | [Business](#) | [News](#) | [Events](#) | [Contact](#) | [Help](#)

**Contractor List**

Reset

Search  Display 15

Name	Company	License Type	License & Exp	Status	Address	Phone	Liability & Exp	Wk Comp & Exp
POWERS, BRIAN	INDIANTOWN GAS COMPANY	GAS FITTER	CGF02579 31-AUG-09	REDTAG	BOX 8 INDIANTOWN FL 34956-0008	772-597- 2168 597- 2068	JAMERSON MCLEAN 01-APR-10	MORRIS & REYNOLDS 3055-238-1000 01-JAN-10

[Spread Sheet](#)

1 - 1

8:45:13 AM 6/8/2009

**Data Contained In Search Results Is Current As Of 06/08/2009 08:44 AM.**

### Search Results

Please see our [glossary of terms](#) for an explanation of the license status shown in these search results.

For additional information, including any complaints or discipline, click on the name.

License Type	Name	Name Type	License Number/ Rank	Status/Expires
Construction Qualified Business	INDIANTOWN GAS COMPANY	Primary	QB0016063 Qualified Org	Null and Void, 08/31/2003

**License Location Address\*:** 16600 SW WARFIELD BLVD INDIANTOWN, FL 34956

**Main Address\*:** 16600 SW WARFIELD BLVD INDIANTOWN, FL 34956

[Back](#)
[New Search](#)

**\* denotes**

Main Address - This address is the Primary Address on file.

Mailing Address - This is the address where the mail associated with a particular license will be sent (if different from the Main or License Location addresses).

License Location Address - This is the address where the place of business is physically located.

| [Terms of Use](#) | | [Privacy Statement](#) |

8:44:41 AM 6/8/2009

**Data Contained In Search Results Is Current As Of 06/08/2009 08:44 AM.**

**Search Results**

**Please see our [glossary of terms](#) for an explanation of the license status shown in these search results.**

**For additional information, including any complaints or discipline, click on the name.**

License Type	Name	Name Type	License Number/ Rank	Status/Expires
Certified Air Conditioning Contractor	<u><a href="#">BACHELOR, JOSEPH HEATH</a></u>	Primary	CAC058305 Cert Air	Current, Active 08/31/2010
<b>Main Address*:</b> 15300 SW MYRTLE DRIVE INDIANTOWN, FL 34956				
<b>Mailing Address*:</b> 15300 SW MYRTLE DR INDIANTOWN, FL 34956				
Certified Air Conditioning Contractor	<u><a href="#">INDIANTOWN AIR CONDITIONING AND SERVICE LLC</a></u>	DBA	CAC058305 Cert Air	Current, Active 08/31/2010
<b>Main Address*:</b> 15300 SW MYRTLE DRIVE INDIANTOWN, FL 34956				
<b>Mailing Address*:</b> 15300 SW MYRTLE DR INDIANTOWN, FL 34956				

[Back](#) [New Search](#)

**\* denotes**

- Main Address - This address is the Primary Address on file.
- Mailing Address - This is the address where the mail associated with a particular license will be sent (if different from the Main or License Location addresses).
- License Location Address - This is the address where the place of business is physically located.

| [Terms of Use](#) | | [Privacy Statement](#) |

*OK*



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**RECEIVED**  
DATE: 9-15-09  
TOWN OF SEWALL'S POINT

**VERIFICATION OF CONTRACTOR**

BUILDING PERMIT NUMBER: \_\_\_\_\_

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Lerner

CONSTRUCTION ADDRESS: 37 W High Pt Rd

PERMIT TYPE:  RESIDENTIAL \_\_\_\_\_ COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: \_\_\_\_\_ NEW SERVICE \_\_\_\_\_ EXISTING SERVICE \_\_\_\_\_ OTHER

SCOPE OF WORK: Remodel

VALUE OF CONSTRUCTION \$ 7000

_____ LOW VOLTAGE	
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER	
SCOPE OF WORK: _____	VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

*[Handwritten Signature]*

SIGNATURE OF LICENSED CONTRACTOR \_\_\_\_\_ ADDRESS OF CONTRACTOR 499 SE Seville St

COMPANY OR QUALIFIER'S NAME: Dave's Plumbing

TELEPHONE NO: 287-8128 PLEASE PRINT FAX NO: 288-7127

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: CFC051625

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED: \_\_\_\_\_

PARCEL CONTROL #: \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ BLK: \_\_\_\_\_ PHASE: \_\_\_\_\_

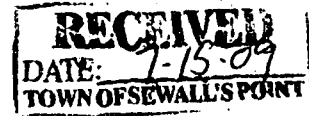
SITE ADDRESS: \_\_\_\_\_

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

*OK*  
*got to town*



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765



VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: \_\_\_\_\_

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: LENER RESIDENCE

CONSTRUCTION ADDRESS: 37 E HIGH POINT RD

PERMIT TYPE:  RESIDENTIAL \_\_\_\_\_ COMMERCIAL

- \_\_\_\_\_ ELECTRIC
- \_\_\_\_\_ PLUMBING
- HVAC
- \_\_\_\_\_ IRRIGATION
- \_\_\_\_\_ FUEL GAS

TYPE OF SERVICE: \_\_\_\_\_ NEW SERVICE \_\_\_\_\_ EXISTING SERVICE  OTHER REMODEL

SCOPE OF WORK: REMODEL

VALUE OF CONSTRUCTION \$ \$4700

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES:

[Signature]  
SIGNATURE OF LICENSED CONTRACTOR      15300 SW Myrtle Dr Indianatown FL 34956  
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Indianatown Air Conditioning and Service

TELEPHONE NO: 772-597-2473      PLEASE PRINT      FAX NO: 772-597-4580

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: CAC058305

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED: \_\_\_\_\_

PARCEL CONTROL #: \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ BLK: \_\_\_\_\_ PHASE: \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

*OK*



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

RECEIVED  
DATE: 7-15-09  
TOWN OF SEWALL'S POINT

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 9188

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Hermer

CONSTRUCTION ADDRESS: 372 HPRD

PERMIT TYPE:  RESIDENTIAL  COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

*Bowercom Electric*

TYPE OF SERVICE:  NEW SERVICE  EXISTING SERVICE  OTHER

SCOPE OF WORK: \_\_\_\_\_

VALUE OF CONSTRUCTION \$ \_\_\_\_\_

<input type="checkbox"/> LOW VOLTAGE	
TYPE OF EQUIPMENT:	<input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER
SCOPE OF WORK:	VALUE

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

*[Signature]*

SIGNATURE OF LICENSED CONTRACTOR

4249 SW High Meadow Ave Palm City 34990

ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Daniel Meripiano

TELEPHONE NO: 772-223-9888 FAX NO: 772-223-9889

PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EC-0002034

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED: \_\_\_\_\_

PARCEL CONTROL #: \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ BLK: \_\_\_\_\_ PHASE: \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

INSTR # 2162414 DR BK 02412 PG 2395 RECD 09/18/2009 09:34:37 AM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix

NOTICE OF COMMENCEMENT  
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: 9188 TAX FOLIO #: 13.38.41.002.000.0000.9

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):  
LOT 22, HIGH POINT SUBDIVISION - 37 E HIGH POINT RD, STUART, FL 34990

GENERAL DESCRIPTION OF IMPROVEMENT: 2 STORY RESIDENTIAL RENOVATION/ADDITION

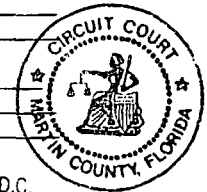
OWNER NAME: HYUNJIN LERNER  
ADDRESS: 37 E HIGH POINT RD, STUART, FL 34990  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

INTEREST IN PROPERTY: 100% OWNER

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):  
\_\_\_\_\_

CONTRACTOR: OWNER/BUILDER STATE OF FLORIDA  
ADDRESS: SAME AS ABOVE MARTIN COUNTY  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

SURETY COMPANY (IF ANY): NONE FOREGOING 1 PAGES IS A TRUE  
ADDRESS: \_\_\_\_\_ AND CORRECT COPY OF THE ORIGINAL  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
BOND AMOUNT: \_\_\_\_\_



LENDER/MORTGAGE COMPANY: NONE DATE: 9-18-09  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(a) 7., FLORIDA STATUTES:

NAME: STEWART GRANFIELD  
ADDRESS: 3001 SE OCEAN BLVD #002 STUART, FL  
PHONE NUMBER: 772-283-6032 FAX NUMBER: 772-283-8150

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES STEWART GRANFIELD OF G.G. SECURITIES TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.  
PHONE NUMBER: 283-6032 FAX NUMBER: 283-8150

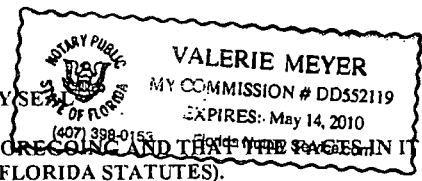
EXPIRATION DATE OF NOTICE OF COMMENCEMENT:  
(THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).  
WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Hyunjin Lerner  
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE: owner  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF June, 2009  
BY: Hyunjin Lerner AS owner FOR \_\_\_\_\_  
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN \_\_\_\_\_ OR PRODUCED IDENTIFICATION

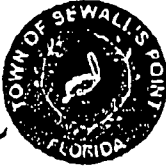
TYPE OF IDENTIFICATION PRODUCED: FLDL  
Valerie Meyer  
NOTARY SIGNATURE



UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE PAGES IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Hyunjin Lerner  
(Signature of Natural Person Signing Above)

*Handwritten initials/signature*



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: # 9188

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Hyunjin Lerner

CONSTRUCTION ADDRESS: 37 EAST HIGH POINT ROAD, SEWALLS PT

PERMIT TYPE: RESIDENTIAL  COMMERCIAL

FLA 34996

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: NEW SERVICE  EXISTING SERVICE  OTHER

SCOPE OF WORK: INSTALL 1000 GALLON TANK RUN PIPING TO

VALUE OF CONSTRUCTION \$ 2,000 Range.

LOW VOLTAGE

TYPE OF EQUIPMENT:  SECURITY  VACUUM  SOUND SYSTEM  LANDSCAPE  OTHER

SCOPE OF WORK: \_\_\_\_\_ VALUE: \_\_\_\_\_

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

SIGNATURE OF LICENSED CONTRACTOR

3301 Oleander Ave, Ft. Pierce  
ADDRESS OF CONTRACTOR 34982

COMPANY OR QUALIFIER'S NAME: Amerigas Propane Co Inc

TELEPHONE NO: 772 465-7886 FAX NO: 465-465-8448

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: 02-107 / 22491

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED: HYUNJEN LERNER

PARCEL CONTROL #: \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ BLK: \_\_\_\_\_ PHASE: \_\_\_\_\_

SITE ADDRESS: 37 EAST HIGH POINT RD - SEWALL'S

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

PT  
FLA  
34996



# LEARNER RESIDENCE

## SEWALLS POINT, FLORIDA

### SHEET INDEX:

#### ARCHITECTURAL / MEP

- C8 SITE PLAN / CODE COMP. / OPENING PRESSURES
- A-1 DEMOLITION PLANS - 1ST & 2ND LEVEL
- A-2 1ST LEVEL FLOOR PLAN / SCHEDULES / DETAILS
- A-3 2ND LEVEL FLOOR PLAN
- A-4 FOUNDATION PLAN / FLOOR & ROOF FRAMING PLANS / DETAILS / PLUMBING RISER & PLAN
- A-5 WALL SECTIONS / DETAILS
- A-6 ELEVATIONS - INTERIOR & EXTERIOR
- A-7 ELECTRICAL / HVAC PLANS - 1ST & 2ND LEVEL

### LEVEL 2 ALTERATION

- REINFORCEMENT FOR CONCRETE
- REINFORCEMENT FOR CONCRETE
- REINFORCEMENT FOR CONCRETE
- REINFORCEMENT FOR CONCRETE
- REINFORCEMENT FOR CONCRETE
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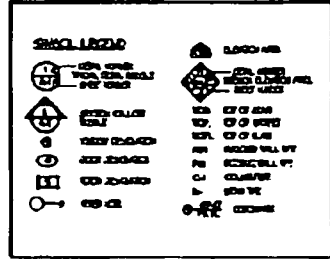
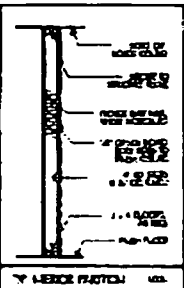
**FLORIDA BUILDING CODE 2007**  
WIND PRESSURES FOR OPENINGS

**WALL OPENING**

WIND DIRECTION	WIND SPEED (MPH)	WIND PRESSURE (PSF)	WIND PRESSURE (PSF)	WIND PRESSURE (PSF)	WIND PRESSURE (PSF)
WIND FROM LEFT	100	15.0	15.0	15.0	15.0
WIND FROM RIGHT	100	15.0	15.0	15.0	15.0
WIND FROM FRONT	100	15.0	15.0	15.0	15.0
WIND FROM REAR	100	15.0	15.0	15.0	15.0

**SEWALLS POINT BEARING DEPARTMENT**  
PERMIT APPROVAL SUMMARY

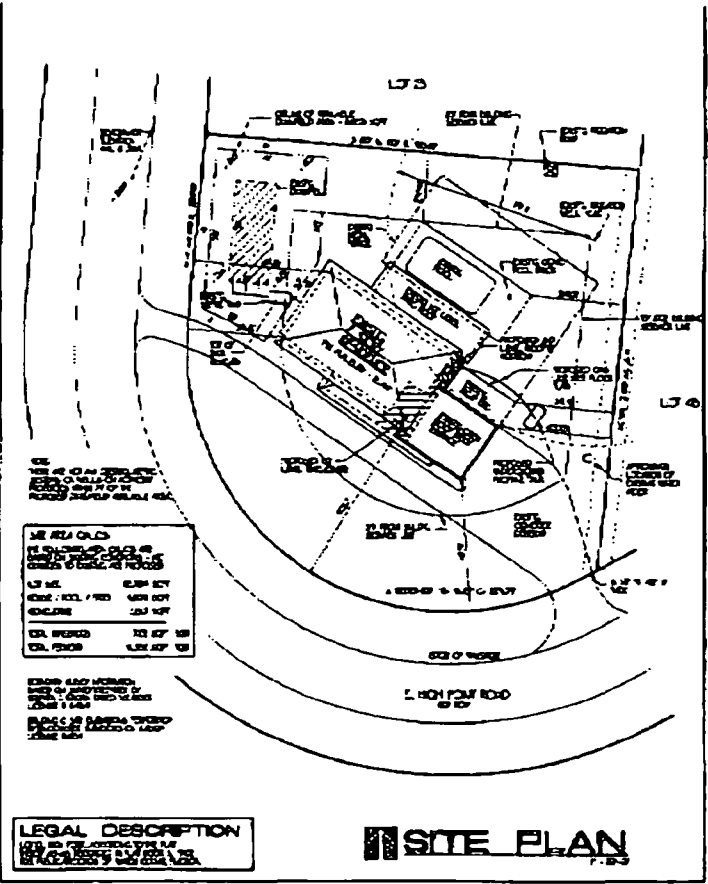
NO.	DATE	DESCRIPTION	STATUS
1	10/15/09	CONCRETE	APPROVED
2	10/15/09	REINFORCEMENT	APPROVED
3	10/15/09	FOUNDATION	APPROVED
4	10/15/09	WALLS	APPROVED
5	10/15/09	FLOORING	APPROVED
6	10/15/09	CEILING	APPROVED
7	10/15/09	MECHANICAL	APPROVED
8	10/15/09	ELECTRICAL	APPROVED
9	10/15/09	PLUMBING	APPROVED
10	10/15/09	PAINTING	APPROVED



SEE PLAN - REINFORCEMENT - FLOORING  
SEE PLAN - REINFORCEMENT - FLOORING  
SEE PLAN - REINFORCEMENT - FLOORING  
SEE PLAN - REINFORCEMENT - FLOORING  
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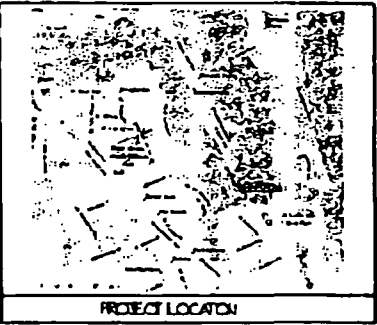
**CODE SUMMARY**

- 1001 - CONCRETE
- 1002 - REINFORCEMENT
- 1003 - FOUNDATION
- 1004 - WALLS
- 1005 - FLOORING
- 1006 - CEILING
- 1007 - MECHANICAL
- 1008 - ELECTRICAL
- 1009 - PLUMBING
- 1010 - PAINTING



**BUILDING AREA CALCULATIONS**

AREA	DESCRIPTION	AREA (SQ FT)	PERCENT
1001	CONCRETE	1000	10.0%
1002	REINFORCEMENT	2000	20.0%
1003	FOUNDATION	3000	30.0%
1004	WALLS	4000	40.0%
1005	FLOORING	5000	50.0%
1006	CEILING	6000	60.0%
1007	MECHANICAL	7000	70.0%
1008	ELECTRICAL	8000	80.0%
1009	PLUMBING	9000	90.0%
1010	PAINTING	10000	100.0%



**GF**

PROPOSED RENOVATIONS FOR  
**MEL & MRS. LEARNER**

SEWALLS POINT ROAD

DATE: 10/15/09

SCALE: AS SHOWN

SHEET  
**C8**

### FINISH SCHEDULE

NO.	FINISH	SYMBOL
101	CONCRETE WALL	(Symbol)
102	CONCRETE FLOOR	(Symbol)
103	CONCRETE CEILING	(Symbol)
104	PORECELS	(Symbol)
105	PLASTER	(Symbol)
106	PAINT	(Symbol)
107	WOOD TRIM	(Symbol)
108	CERAMIC TILE	(Symbol)
109	GLASS	(Symbol)
110	ALUMINUM	(Symbol)
111	CURTAIN WALL	(Symbol)
112	EIFS	(Symbol)
113	INSULATION	(Symbol)
114	WATERPROOFING	(Symbol)
115	GRASS	(Symbol)
116	LANDSCAPING	(Symbol)
117	ROOFING	(Symbol)
118	MECHANICAL	(Symbol)
119	ELECTRICAL	(Symbol)
120	TELEPHONE	(Symbol)
121	PLUMBING	(Symbol)
122	HEATING	(Symbol)
123	Cooling	(Symbol)
124	Structural	(Symbol)
125	Foundation	(Symbol)

### DOOR SCHEDULE

NO.	DOOR	SYMBOL
101	WOOD	(Symbol)
102	ALUMINUM	(Symbol)
103	GLASS	(Symbol)
104	STEEL	(Symbol)
105	STEEL FRAME	(Symbol)
106	SLIDING GLASS	(Symbol)
107	SLIDING ALUMINUM	(Symbol)
108	SLIDING GLASS ALUMINUM	(Symbol)
109	SLIDING STEEL ALUMINUM	(Symbol)
110	SLIDING STEEL GLASS	(Symbol)
111	SLIDING ALUMINUM GLASS	(Symbol)
112	SLIDING ALUMINUM STEEL	(Symbol)
113	SLIDING STEEL GLASS ALUMINUM	(Symbol)
114	SLIDING STEEL ALUMINUM GLASS	(Symbol)
115	SLIDING ALUMINUM GLASS STEEL	(Symbol)
116	SLIDING ALUMINUM STEEL GLASS	(Symbol)

### WINDOW SCHEDULE

NO.	WINDOW	SYMBOL
101	WOOD	(Symbol)
102	ALUMINUM	(Symbol)
103	GLASS	(Symbol)
104	STEEL	(Symbol)
105	STEEL FRAME	(Symbol)
106	SLIDING GLASS	(Symbol)
107	SLIDING ALUMINUM	(Symbol)
108	SLIDING GLASS ALUMINUM	(Symbol)
109	SLIDING STEEL ALUMINUM	(Symbol)
110	SLIDING STEEL GLASS	(Symbol)
111	SLIDING ALUMINUM GLASS	(Symbol)
112	SLIDING ALUMINUM STEEL	(Symbol)
113	SLIDING STEEL GLASS ALUMINUM	(Symbol)
114	SLIDING STEEL ALUMINUM GLASS	(Symbol)
115	SLIDING ALUMINUM GLASS STEEL	(Symbol)
116	SLIDING ALUMINUM STEEL GLASS	(Symbol)

### WALL LEGEND

SYMBOL	DESCRIPTION
(Symbol)	CONCRETE
(Symbol)	WALL
(Symbol)	FLOOR
(Symbol)	CEILING
(Symbol)	ROOF
(Symbol)	FOUNDATION
(Symbol)	MECHANICAL
(Symbol)	ELECTRICAL
(Symbol)	TELEPHONE
(Symbol)	PLUMBING
(Symbol)	HEATING
(Symbol)	Cooling
(Symbol)	Structural
(Symbol)	Foundation

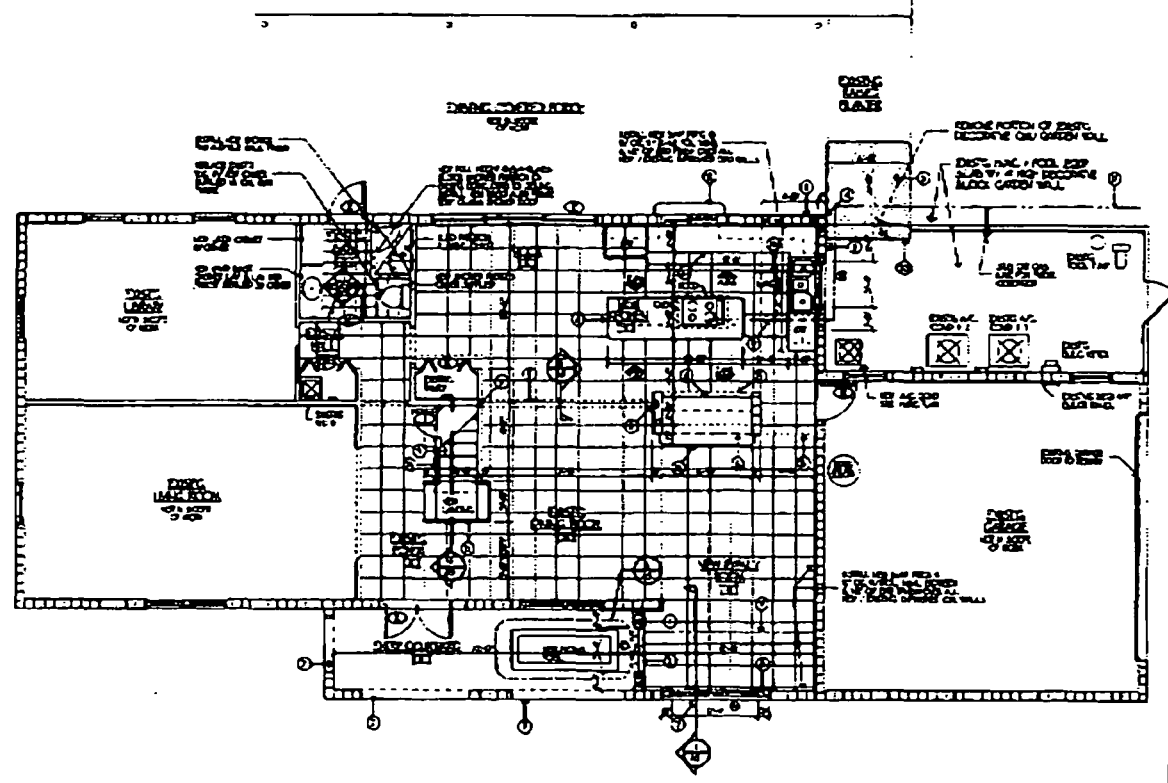
### GENERAL NOTES

1. ALL WORK TO BE DONE PER THE CODES AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.

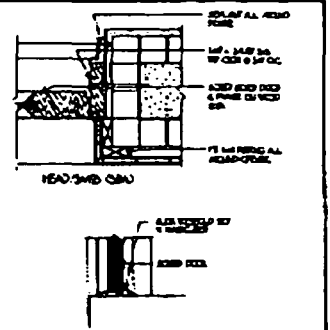
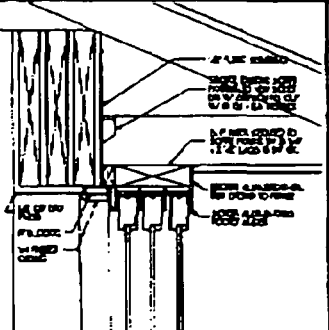
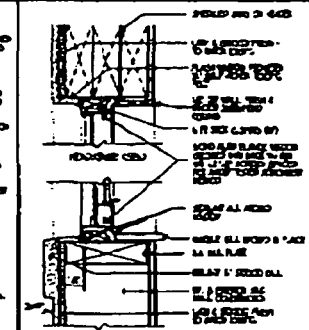
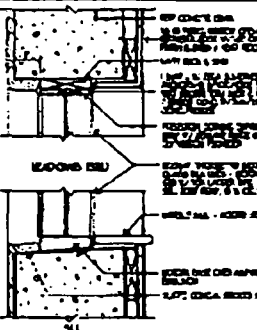
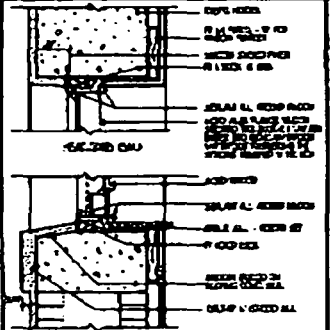
2. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.

3. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.

- ### WALL LEGEND
- (Symbol) CONCRETE
  - (Symbol) WALL
  - (Symbol) FLOOR
  - (Symbol) CEILING
  - (Symbol) ROOF
  - (Symbol) FOUNDATION
  - (Symbol) MECHANICAL
  - (Symbol) ELECTRICAL
  - (Symbol) TELEPHONE
  - (Symbol) PLUMBING
  - (Symbol) HEATING
  - (Symbol) Cooling
  - (Symbol) Structural
  - (Symbol) Foundation
- ### GENERAL NOTES
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  2. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.
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  10. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.
  11. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.
  12. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.
  13. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.
  14. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.
  15. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.
  16. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.
  17. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.
  18. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.
  19. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.
  20. ALL WORK TO BE DONE PER THE SPECIFICATIONS AND STANDARDS OF THE PROFESSIONAL SOCIETY OF ARCHITECTS AND ENGINEERS.



◆ FIRST LEVEL FLOOR PLAN



1 WINDOW DETAILS

2 WINDOW DETAILS

3 WINDOW DETAILS

4 DOOR DETAIL

5 DOOR DETAIL

PROPOSED RENOVATIONS FOR  
**MRS. G. MRS. LERNER**

20 WEST MAIN STREET NEW YORK, N.Y.

BY ARCHITECT: [Name]

DATE: [Date]

SCALE: [Scale]

Sheet No. [Number]

Scale: [Scale]

DATE: [Date]

BY: [Name]

CHECKED: [Name]

APPVED: [Name]

TITLE: [Title]

TO: TOWN OF SEWALL'S POINT  
Building Department

RE: HYUNJIN LERNER

(included SITE SURVEY too)

thank-you

Kathryn @

AmeriGAS

Propane Co  
Inc

4 pages

parcel #  
LOT # TOO small to copy.

FAX - 772-220-4765

phone 772-287-2455

PN 9188

RECEIPT

DATE 6/26/09 No. 176836

RECEIVED FROM Hyunjin Lerner \$ 175.00

One hundred seventy five 00/100 DOLLARS

FOR RENT  
 FOR Plan submission fee

CASH  
 MONEY ORDER  
 CHECK  
 CREDIT CARD

ACCOUNT FROM TO

PAYMENT 175.00

BAL. DUE

BY Valerie Jones 2701

HYUNJIN F. LERNER  
 37 EAST HIGHPOINT ROAD  
 STUART, FL 34996-7004

90-7118/354  
 3211  
 0524092030  
 Date 6/26/09 1610

Pay to the order of Town of Sewall's Point \$ 175.00

One hundred seventy five & 00/100 Dollars

citibank citigold

CITIBANK, N.A. BR. #354  
 245 MARKET STREET  
 SAN FRANCISCO, CA 94105

For [Redacted] [Signature] MP

FORM 600C-04 Small Additions, Renovations & Building Systems	<b>FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION</b> Residential Limited Applications Prescriptive Method C	SOUTH 7 8 9
---	---	-------------

Compliance with Method C of Sub-Chapter 6 of the Florida Energy Efficiency Code may be demonstrated by the use of Form 600C-04 for additions of 600 square feet or less, site-installed components of manufactured homes, and renovations to single- and multiple-family residences. Alternative methods are provided for additions by use of Form 600B-04 or 600A-04.

PROJECT NAME: AND ADDRESS:	<u>LENER RENOVATION</u> <u>37 E HIGH POINT RD</u> <u>STUART, FL 34996</u>	BUILDER: <u>OWNER/BUILDER</u>	PERMITTING OFFICE: <u>SEWALLS POINT</u>	CLIMATE ZONE: 7 <input type="checkbox"/> 8 <input checked="" type="checkbox"/> 9 <input type="checkbox"/>
OWNER: <u>HYUNJIN LERNER</u>	PERMIT NO.:	JURISDICTION NO.:		

SMALL ADDITIONS TO EXISTING RESIDENCES (600 square feet or less of conditioned area). Prescriptive requirements in Tables 6C-1, 6C-2, and 6C-3 apply only to the components of the addition, not to the existing building. Space heating, cooling, and water heating equipment efficiency levels must be met only when equipment is installed specifically to serve the addition or is being installed in conjunction with the addition construction. Components separating unconditioned spaces from conditioned spaces must meet the prescribed minimum insulation levels. RENOVATIONS (Residential buildings undergoing renovations costing more than 30% of the assessed value of the building). Prescriptive requirements in Tables 6C-1 and 6C-2 apply only to the components and equipment being renovated or replaced. MANUFACTURED HOMES AND BUILDINGS. Only site-installed components and features are covered by this form. BUILDING SYSTEMS Comply when complete new system is installed.

1. Renovation, Addition, New System or Manufactured Home
2. Single-family detached or Multiple-family attached
3. If Multiple-family—No. of units covered by this submission
4. Conditioned floor area (sq. ft.)
5. Predominant eave overhang (ft.)
6. Glass type and area:
  - a. Clear glass
  - b. Tint, film or solar screen
7. Percentage of glass to floor area
8. Floor type and insulation:
  - a. Slab-on-grade (R-value)
  - b. Wood, raised (R-value)
  - c. Wood, common (R-value)
  - d. Concrete, raised (R-value)
  - e. Concrete, common (R-value)
9. Wall type and insulation:
  - a. Exterior:
    1. Masonry (Insulation R-value)
    2. Wood frame (Insulation R-value)
  - b. Adjacent:
    1. Masonry (Insulation R-value)
    2. Wood frame (Insulation R-value)
  - c. Marriage Walls of Multiple Units\* (Yes/No)
10. Ceiling type and insulation:
  - a. Under attic (Insulation R-value)
  - b. Single assembly (Insulation R-value)
11. Cooling system\*  
(Types: central, room unit, package terminal A.C., gas, existing, none)
12. Heating system\*  
(Types: heat pump, elec. strip, natural gas, LP-gas, gas h.p., room or PTAC, existing, none)
13. Air distribution system\*
  - a. Backflow damper or single package systems\* (Yes/No)
  - b. Ducts on marriage walls adequately sealed\* (Yes/No)
14. Hot water system:  
(Types: elec., natural gas, other, existing, none)

**TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY**

Please Print

CK

1.	<u>ADDITION/RENOVATION</u>	
2.	<u>SINGLE FAMILY DETACHED</u>	
3.	<u>N/A</u>	
4.	<u>600 SQ FT</u>	
5.	<u>2'0"</u>	
Single Pane    Double Pane		
6a.	<u>N/A</u> sq. ft. <u>N/A</u> sq. ft.	
6b.	<u>174</u> sq. ft. <u>N/A</u> sq. ft.	
7.	<u>28.9</u> %	
8a.	R = <u>0</u> <u>34</u> in. ft.	
8b.	R = <u>N/A</u> sq. ft.	
8c.	R = <u>N/A</u> sq. ft.	
8d.	R = <u>N/A</u> sq. ft.	
8e.	R = <u>N/A</u> sq. ft.	
9a-1	R = <u>5</u> <u>232</u> sq. ft.	
9a-2	R = <u>19</u> <u>448</u> sq. ft.	
9b-1	R = <u>5</u> <u>192</u> sq. ft.	
9b-2	R = <u>-</u> <u>N/A</u> sq. ft.	
9c.	<u>NO</u>	
10a.	R = <u>30</u> <u>287</u> sq. ft.	
10b.	R = <u>-</u> <u>N/A</u> sq. ft.	
11.	Type: <u>MINI-SPLIT</u>	
	SEER/EER: <u>10</u>	
12.	Type: <u>NONE</u>	
	HSPF/COP/AFUE: <u>-</u>	
13a.	<u>N/A</u>	
13b.	<u>N/A</u>	
14.	Type: <u>EXISTING</u>	
	EF: _____	

\* Pertains to manufactured homes with site-installed components.

PASS (BASELINE 25.6 MBTU - AS BLT 20.7 MBTU)

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code. PREPARED BY: <u>[Signature]</u> DATE: <u>5/12/09</u> I hereby certify that this building is in compliance with the Florida Energy Code. OWNER AGENT: _____    DATE: _____	Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S. BUILDING OFFICIAL: <u>[Signature]</u> DATE: <u>6.23.09</u>
--	--

TABLE 6C-1: PRESCRIPTIVE REQUIREMENTS FOR SMALL ADDITIONS (600 Sq. Ft. and Less), RENOVATIONS TO EXISTING BUILDINGS AND SITE-INSTALLED COMPONENTS OF MANUFACTURED HOMES

COMPONENT		MINIMUM INSULATION	INSULATION INSTALLED	EQUIPMENT	MINIMUM EFFICIENCY	INSTALLED EFFICIENCY	
WALLS	Concrete Block	R-5	R-5	COOLING	Central A/C - Split - Single Pkg. Room unit or PTAC	SEER = 10.0	SEER = 16
	Frame, 2' x 4'	R-11	-			SEER = 9.7	SEER = -
	Frame, 2' x 6'	R-19	R-19			EER = 8.5	EER = -
	Common, Frame	R-11	-				
	Common, Masonry	R-3	R-5				
CEILING	Under Attic	R-30	R-30	SPACE HEATING	Electric Resistance Heat pump - Split - Single Pkg. Room unit or PTHP	ANY	HSPF = -
	Single Assembly; Enclosed	R-19	-			HSPF = 6.8	HSPF = -
	Frame	R-13	-			HSPF = 6.6	HSPF = -
	Metal Pans	R-10	-			COP = 2.7	HSPF/COP = -
	Single Assembly; Open	R-11	-				
Common, Frame							
FLOORS	Slab-on-grade	No Minimum	0	HOT WATER	Electric Resistance Gas; natural or LP Fuel Oil	EF = .92	EF = -
	Raised Wood	R-11	-			EF = .59	EF = -
	Raised Concrete	R-5	-			EF = .54	EF = -
	Common, Frame	R-11	-				
DUCT	In unconditioned space	R-6	-				
	In conditioned space	No minimum	-				

TABLE 6C-2: PRESCRIPTIVE REQUIREMENTS FOR GLASS AREAS IN ADDITIONS ONLY

See Table 13-607.1.ABC.3.2 and 13-608.1.ABC.3.2

Maximum percentage glass to floor area allowed is selected by type, overhang length, and solar heat gain coefficient. Maximum % = _____ Installed % = _____							
GLASS TYPE, OVERHANG, AND SOLAR HEAT GAIN COEFFICIENT REQUIRED FOR GLASS PERCENTAGE ALLOWED							
UP TO 20%		UP TO 30%		UP TO 40%		UP TO 50%	
Single	Double	Single	Double	Single	Double	Single	Double
OH-SHGC	OH-SHGC	OH-SHGC	OH-SHGC	OH-SHGC	OH-SHGC	OH-SHGC	OH-SHGC
1' - .87	0' - .78	2' - .87	1' - .78	3' - .87	2' - .78	4' - .87	3' - .78
0' - .75		1' - .75	0' - .61	2' - .75	1' - .61	3' - .75	2' - .61
		0' - .57		1' - .57	0' - .44	2' - .57	1' - .44
				0' - .39		1' - .39	0' - .35
						0' - .30	

Get certified SHGC from the manufacturer or use defaults: Single clear SHGC = .75, double clear SHGC = .66, and single tint SHGC = .64

TABLE 6C-3: MINIMUM REQUIREMENTS FOR ALL PACKAGES

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Exterior Joints & Cracks	606.1	To be caulked, gasketed, weather-stripped or otherwise sealed.	
Exterior Windows & Doors	606.1	Max. 0.3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Sole & Top Plates	606.1	Sole plates and penetrations through top plates of exterior walls must be sealed.	
Recessed Lighting	606.1	Type IC rated with no penetrations (two alternatives allowed).	
Multistory Houses	606.1	Air barrier on perimeter of floor cavity between floors.	
Exhaust Fans	606.1	Exhaust fans vented to unconditioned space shall have dampers, except for combustion devices with integral exhaust ductwork.	
Combustion Heating	606.1	Combustion space and water heating systems must be provided with outside combustion air, except for direct vent appliances.	
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked circuit breaker electric or cutoff (gas) must be provided. External or built-in heat trap required for vertical pipe risers.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Noncommercial pools must have a pump timer. Gas spa & pool heaters must have minimum thermal efficiency of 78%.	
Hot Water Pipes	612.1	Insulation is required for hot water circulating systems (including heat recovery units).	
Shower Heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 psig.	
HVAC Duct Construction, Insulation & Installation	610.1	All ducts, fillings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section 610.1. Ducts in attics must be insulated to a minimum of R-6.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	

GENERAL DIRECTIONS:

- On Table 6C-1 indicate the R-value of the insulation being added to each component and the efficiency levels of the equipment installed. All R-values and efficiencies installed must meet or exceed the minimum values listed. Components and equipment neither being added nor renovated may be left blank.
- ADDITIONS ONLY: Determine the percentage of new glass to conditioned floor area in the addition as follows. Total the areas of all glass windows, sliding glass doors and glass door panels. Double the area of all nonvertical roof glass and add it to the previous total. When glass in existing exterior walls is being removed or enclosed by the addition, an amount equal to the total area of this glass may be subtracted from the total glass area. Divide the adjusted glass area total by the conditioned floor area of the addition. Multiply by 100 to get the percent. Find the largest glass percentage under which your calculated percentage falls on Table 6C-2. Prescriptives are given by the type of glass (single or double pane) and the overhang (OH) paired with a solar heat gain coefficient (SHGC). For a given glass type and overhang, the minimum solar heat gain coefficient allowed is specified. Actual glass windows and doors previously in the exterior walls of the house and being reinstalled in the addition do not have to comply with the overhang and solar heat gain coefficient requirements on Table 6C-2. All new glass in the addition must meet the requirement for one of the options in the glass percentage category you indicated. The overhang (OH) distance is measured perpendicularly from the face of the glass to a point directly under the outermost edge of the overhang.
- RENOVATIONS ONLY: Replacement glass needs to meet the following requirements. Any glass type and solar heat gain coefficient may be used for glass areas which are under at least a 2-foot overhang and whose lowest edge does not extend further than 8 feet from the overhang. Glass areas being renovated that do not meet this criteria must be either single-pane tinted, double-pane clear or double-pane tinted.
- BUILDING SYSTEMS. Comply when new system is installed for system installed.
- Complete the information requested on the top half of page 1.
- Read "Minimum Requirements for Small Additions and Renovations," Table 6C-3, and check all applicable items.
- Read, sign and date the "Owner/Agent" certification statement on page 1.

# Florida Code Summary Report

Hyunjin & Lada Lerner  
 37 E High Point Rd  
 Stuart, FL, 34996-  
 Registration #:

Title: Lerner Renovation  
 FLAsBuilt

TMY City: FL\_WEST\_PALM\_BE  
 Elec Util: Florida Average  
 Gas Util: Florida Average  
 Run Date: 05/25/2009 23:51:46

Energy Uses	Baseline Home	As-Built Home	e-Ratio
Heating	0.34 MBtu	0.15 MBtu	0.45
Cooling	9.66 MBtu	7.48 MBtu	0.77
Hot Water	5.40 MBtu	5.40 MBtu	1.00

Total	15.41 MBtu	13.03 MBtu	0.85
-------	------------	------------	------

Building Loads	Baseline Home	As-Built Home	e-Ratio
Heating	0.61 MBtu	0.27 MBtu*	0.45
Cooling	20.19 MBtu	15.63 MBtu*	0.77
Hot Water	4.80 MBtu	4.80 MBtu*	1.00

Total	25.60 MBtu	20.70 MBtu	0.81
-------	------------	------------	------

\* normalized modified loads

Glass/Floor Area: 0.289	Total As-Built Modified Loads: 20.70	<b>PASS</b>
	Total Baseline Loads: 25.60	

**Load Short Form**  
**AH 1**  
**QUICK E-CALCS**

Job:  
Date: Jun 16, 2009  
By: MAXINE SHAWVER

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

1164 NE CROWN TERRACE, JENSEN BEACH, FL 34957 Phone: 772-341-0570 Fax: 772-334-4535

**Project Information**

For: MR & MRS LERNER  
37 EAST HIGH POINT ROAD, STUART, FL

**Design Information**

	Htg	Clg	Infiltration	
Outside db (°F)	45	91	Method	Simplified
Inside db (°F)	70	75	Construction quality	Average
Design TD (°F)	25	16	Fireplaces	0
Daily range	-	L		
Inside humidity (%)	30	50		
Moisture difference (gr/lb)	-3	57		

**HEATING EQUIPMENT**

Make  
Trade  
Model  
GAMA ID n/a

Efficiency 100 EFF  
Heating input 0 Btuh  
Heating output 5188 Btuh  
Temperature rise 11 °F  
Actual air flow 416 cfm  
Air flow factor 0.103 cfm/Btuh  
Static pressure 0 in H2O  
Space thermostat

**COOLING EQUIPMENT**

Make SANYO  
Trade  
Cond SEER 13.0  
Coil MSZA12NA  
ARI ref no.  
Efficiency 13 SEER  
Sensible cooling 8400 Btuh  
Latent cooling 3600 Btuh  
Total cooling 12000 Btuh  
Actual air flow 416 cfm  
Air flow factor 0.050 cfm/Btuh  
Static pressure 0 in H2O  
Load sensible heat ratio 0.81

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
NEW MSTR BDRM	181	4052	8402	416	416
AH 1	181	4052	8402	416	416
Other equip loads		1136	727		
Equip. @ 0.96 RSM			8764		
Latent cooling			2211		
<b>TOTALS</b>	<b>181</b>	<b>5188</b>	<b>10975</b>	<b>416</b>	<b>416</b>

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**Load Short Form  
AH 2  
QUICK E-CALCS**

Job:  
Date: Jun 16, 2009  
By: MAXINE SHAWVER

1164 NE CROWN TERRACE, JENSEN BEACH, FL 34957 Phone: 772-341-0570 Fax: 772-334-4533

**Project Information**

For: MR & MRS LERNER  
37 EAST HIGH POINT ROAD, STUART, FL

**Design Information**

	Htg	Clg		Infiltration
Outside db (°F)	45	91	Method	Simplified
Inside db (°F)	70	75	Construction quality	Average
Design TD (°F)	25	16	Fireplaces	0
Daily range	-	L		
Inside humidity (%)	30	50		
Moisture difference (gr/lb)	-3	57		

**HEATING EQUIPMENT**

Make  
Trade  
Model  
GAMA ID n/a

Efficiency 100 EFF  
Heating input 0 Btuh  
Heating output 3815 Btuh  
Temperature rise 9 °F  
Actual air flow 400 cfm  
Air flow factor 0.157 cfm/Btuh  
Static pressure 0 in H2O  
Space thermostat

**COOLING EQUIPMENT**

Make SANYO  
Trade  
Cond SEER 13.0  
Coil MSZA12NA  
ARI ref no.  
Efficiency 13 SEER  
Sensible cooling 8400 Btuh  
Latent cooling 3600 Btuh  
Total cooling 12000 Btuh  
Actual air flow 400 cfm  
Air flow factor 0.048 cfm/Btuh  
Static pressure 0 in H2O  
Load sensible heat ratio 0.78

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
NEW FAMILY ROOM	190	2541	8346	400	400
AH 2	190	2541	8346	400	400
Other equip loads		1274	815		
Equip. @ 0.96 RSM			8795		
Latent cooling			2610		
<b>TOTALS</b>	<b>190</b>	<b>3815</b>	<b>11405</b>	<b>400</b>	<b>400</b>

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**Load Short Form**  
**AH 3**  
**QUICK E-CALCS**

Job:  
Date: Jun 16, 2009  
By: MAXINE SHAWVER

1164 NE CROWN TERRACE, JENSEN BEACH, FL 34957 Phone: 772-341-0570 Fax: 772-334-4533

**Project Information**

For: MR & MRS LERNER  
37 EAST HIGH POINT ROAD, STUART, FL

**Design Information**

	Htg	Clg	Infiltration	
Outside db (°F)	45	91	Method	Simplified
Inside db (°F)	70	75	Construction quality	Average
Design TD (°F)	25	16	Fireplaces	0
Daily range	-	L		
Inside humidity (%)	30	50		
Moisture difference (gr/lb)	-3	57		

**HEATING EQUIPMENT**

Make  
Trade  
Model  
GAMA ID n/a

Efficiency 100 EFF  
Heating input 0 Btuh  
Heating output 3320 Btuh  
Temperature rise 10 °F  
Actual air flow 300 cfm  
Air flow factor 0.141 cfm/Btuh  
Static pressure 0 in H2O  
Space thermostat

**COOLING EQUIPMENT**

Make SANYO  
Trade  
Cond SEER 13.0  
Coil MSZA09NA  
ARI ref no.  
Efficiency 13 SEER  
Sensible cooling 6300 Btuh  
Latent cooling 2700 Btuh  
Total cooling 9000 Btuh  
Actual air flow 300 cfm  
Air flow factor 0.053 cfm/Btuh  
Static pressure 0 in H2O  
Load sensible heat ratio 0.72

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
NEW MSTR BATH	115	2134	5703	300	300
AH 3	115	2134	5703	300	300
Other equip loads		1186	759		
Equip. @ 0.96 RSM			6204		
Latent cooling			2541		
<b>TOTALS</b>	<b>115</b>	<b>3320</b>	<b>8745</b>	<b>300</b>	<b>300</b>

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**Load Short Form**  
**AH 4**  
**QUICK E-CALCS**

Job:  
Date: Jun 16, 2009  
By: MAXINE SHAWVER

1164 NE CROWN TERRACE, JENSEN BEACH, FL 34957 Phone: 772-341-0570 Fax: 772-334-4533

**Project Information**

For: MR & MRS LERNER  
37 EAST HIGH POINT ROAD, STUART, FL

**Design Information**

	Htg	Clg	Method	Infiltration
Outside db (°F)	45	91		Simplified
Inside db (°F)	70	75	Construction quality	Average
Design TD (°F)	25	16	Fireplaces	0
Daily range	-	L		
Inside humidity (%)	30	50		
Moisture difference (gr/lb)	-3	57		

**HEATING EQUIPMENT**

Make  
Trade  
Model  
GAMA ID n/a

Efficiency 100 EFF  
Heating input 0 Btuh  
Heating output 3868 Btuh  
Temperature rise 12 °F  
Actual air flow 292 cfm  
Air flow factor 0.109 cfm/Btuh  
Static pressure 0 in H2O  
Space thermostat

**COOLING EQUIPMENT**

Make SANYO  
Trade  
Cond SEER 13.0  
Coil MSZA09NA  
ARI ref no.  
Efficiency 13 SEER  
Sensible cooling 6300 Btuh  
Latent cooling 2700 Btuh  
Total cooling 9000 Btuh  
Actual air flow 292 cfm  
Air flow factor 0.049 cfm/Btuh  
Static pressure 0 in H2O  
Load sensible heat ratio 0.73

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
NEW KITCHEN AREA	115	2673	5976	292	292
AH 4	115	2673	5976	292	292
Other equip loads		1195	765		
Equip. @ 0.96 RSM			6472		
Latent cooling			2541		
<b>TOTALS</b>	<b>115</b>	<b>3868</b>	<b>9013</b>	<b>292</b>	<b>292</b>

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QUICK E-CALCS

1164 NE CROWN TERRACE, JENSEN BEACH, FL 34957 Phone: 772-341-0570 Fax: 772-334-4533

**Infiltration Summary**

ZONE NAME	Heating				Cooling			
	Volume ft³	ACH	AVF cfm	HTM Btuh/ft²	Volume ft³	ACH	AVF cfm	HTM Btuh/ft²
AH 1	1449	0.68	16	2.1	1449	0.36	9	0.7
AH 2	1518	0.28	7	2.1	1518	0.14	4	0.7
AH 3	920	0.85	13	2.1	920	0.45	7	0.7
AH 4	920	0.81	12	2.1	920	0.42	7	0.7
Entire House	4807	0.61	49	2.1	4807	0.32	26	0.7

**Load and AVF Summary**

ROOM NAME	Area ft²	Htg load Btuh	Clg load Btuh	Htg AVF cfm	Clg AVF cfm
NEW MSTR BDRM	181	4052	8402	416	416
AH 1	181	4052	8402	416	416
NEW FAMILY ROOM	190	2541	8346	400	400
AH 2	190	2541	8346	400	400
NEW MSTR BATH	115	2134	5703	300	300
AH 3	115	2134	5703	300	300
NEW KITCHEN AREA	115	2673	5976	292	292
AH 4	115	2673	5976	292	292
Entire House	601	11399	27466	1408	1408

1164 NE CROWN TERRACE, JENSEN BEACH, FL 34957 Phone: 772-341-0570 Fax: 772-334-4533

**Project Information**

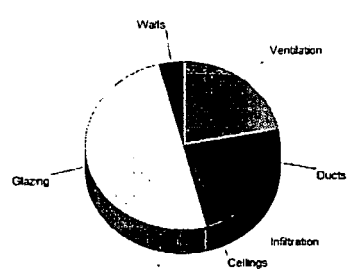
For: MR & MRS LERNER  
37 EAST HIGH POINT ROAD, STUART, FL

**Design Conditions**

<b>Location:</b> West Palm Beach, FL, US Elevation: 20 ft Latitude: 27°N		<b>Indoor:</b> Indoor temperature (°F) Design TD (°F) Relative humidity (%) Moisture difference (gr/lb)	<b>Heating</b> 70 25 30 -2.7	<b>Cooling</b> 75 16 50 57.2
<b>Outdoor:</b> Dry bulb (°F) Daily range (°F) Wet bulb (°F) Wind speed (mph)	<b>Heating</b> 45 - - 15.0	<b>Cooling</b> 97 13 (L ) 78 7.5	<b>Infiltration:</b> Method Construction quality Fireplaces	Simplified Average 0

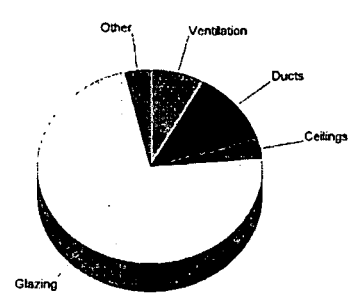
**Heating**

Component	Btuh/ft²	Btuh	% of load
Walls	1.7	207	4.0
Glazing	27.0	2592	50.0
Doors	0	0	0
Ceilings	0.8	145	2.8
Floors	0	0	0
Infiltration	2.1	453	8.7
Ducts		654	12.6
Piping		0	0
Humidification		0	0
Ventilation		1136	21.9
Adjustments		0	0
<b>Total</b>		<b>5188</b>	<b>100.0</b>



**Cooling**

Component	Btuh/ft²	Btuh	% of load
Walls	1.5	181	2.0
Glazing	69.2	6641	72.7
Doors	0	0	0
Ceilings	1.7	316	3.5
Floors	0	0	0
Infiltration	0.7	152	1.7
Ducts		1112	12.2
Ventilation		727	8.0
Internal gains		0	0
Blower		0	0
Adjustments		0	0
<b>Total</b>		<b>9129</b>	<b>100.0</b>



Overall U-value = 0.295 Btuh/ft²-°F

WARNING: window to floor area ratio = 53.0% - more than 25%.

*Bold/italic values have been manually overridden*

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**Project Information**

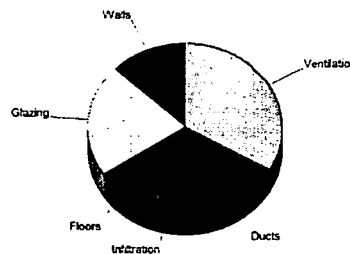
For: MR & MRS LERNER  
37 EAST HIGH POINT ROAD, STUART, FL

**Design Conditions**

<b>Location:</b> West Palm Beach, FL, US Elevation: 20 ft Latitude: 27°N		<b>Indoor:</b> Indoor temperature (°F) Design TD (°F) Relative humidity (%) Moisture difference (gr/lb)	<b>Heating</b> 70 25 30 -2.7	<b>Cooling</b> 75 16 50 57.2
<b>Outdoor:</b> Dry bulb (°F) Daily range (°F) Wet bulb (°F) Wind speed (mph)	<b>Heating</b> 45 - - 15.0	<b>Cooling</b> 97 13 (L) 78 7.5	<b>Infiltration:</b> Method Construction quality Fireplaces	Simplified Average 0

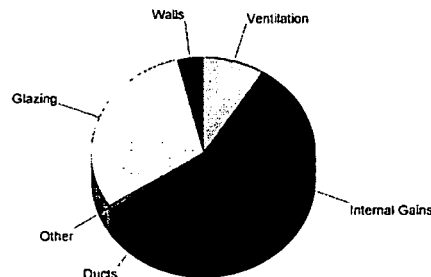
**Heating**

Component	Btuh/ft²	Btuh	% of load
Walls	2.5	493	12.9
Glazing	27.0	817	21.4
Doors	0	0	0
Ceilings	0	0	0
Floors	2.1	390	10.2
Infiltration	2.1	191	5.0
Ducts		649	17.0
Piping		0	0
Humidification		0	0
Ventilation		1274	33.4
Adjustments		0	0
<b>Total</b>		<b>3815</b>	<b>100.0</b>



**Cooling**

Component	Btuh/ft²	Btuh	% of load
Walls	1.8	345	3.8
Glazing	92.0	2783	30.4
Doors	0	0	0
Ceilings	0	0	0
Floors	0	0	0
Infiltration	0.7	64	0.7
Ducts		1094	11.9
Ventilation		815	8.9
Internal gains		4060	44.3
Blower		0	0
Adjustments		0	0
<b>Total</b>		<b>9161</b>	<b>100.0</b>



Overall U-value = 0.164 Btuh/ft²-°F

Data entries checked.

*Bold/italic values have been manually overridden*

1164 NE CROWN TERRACE, JENSEN BEACH, FL 34957 Phone: 772-341-0570 Fax: 772-334-4533

**Project Information**

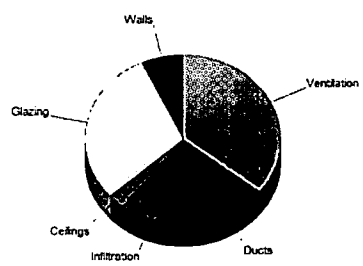
For: MR & MRS LERNER  
37 EAST HIGH POINT ROAD, STUART, FL

**Design Conditions**

<b>Location:</b> West Palm Beach, FL, US Elevation: 20 ft Latitude: 27°N	<b>Outdoor:</b> Dry bulb (°F) 45 Daily range (°F) - Wet bulb (°F) - Wind speed (mph) 15.0	<b>Heating</b>	<b>Cooling</b>	<b>Indoor:</b> Indoor temperature (°F) Design TD (°F) Relative humidity (%) Moisture difference (gr/lb)	<b>Heating</b> 70 25 30 -2.7	<b>Cooling</b> 75 16 50 57.2
				<b>Infiltration:</b> Method Construction quality Fireplaces	Simplified Average 0	

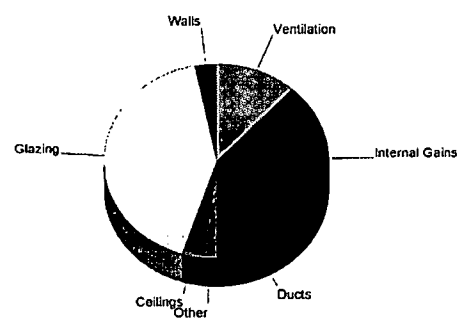
**Heating**

Component	Btuh/ft²	Btuh	% of load
Walls	1.7	230	6.9
Glazing	26.9	989	29.8
Doors	0	0	0
Ceilings	0.8	92	2.8
Floors	0	0	0
Infiltration	2.1	358	10.8
Ducts		466	14.0
Piping		0	0
Humidification		0	0
Ventilation		1186	35.7
Adjustments		0	0
<b>Total</b>		<b>3320</b>	<b>100.0</b>



**Cooling**

Component	Btuh/ft²	Btuh	% of load
Walls	1.5	201	3.1
Glazing	73.8	2710	41.9
Doors	0	0	0
Ceilings	1.7	200	3.1
Floors	0	0	0
Infiltration	0.7	120	1.9
Ducts		811	12.6
Ventilation		759	11.8
Internal gains		1660	25.7
Blower		0	0
Adjustments		0	0
<b>Total</b>		<b>6462</b>	<b>100.0</b>



Overall U-value = 0.183 Btuh/ft²-°F

WARNING: window to floor area ratio = 32.0% - more than 25%.

*Bold/italic values have been manually overridden*

1164 NE CROWN TERRACE, JENSEN BEACH, FL 34957 Phone: 772-341-0570 Fax: 772-334-4533

**Project Information**

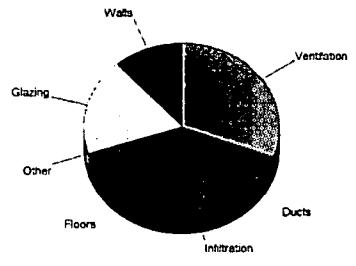
For: MR & MRS LERNER  
37 EAST HIGH POINT ROAD, STUART, FL

**Design Conditions**

<b>Location:</b>		<b>Indoor:</b>		<b>Heating</b>	<b>Cooling</b>
West Palm Beach, FL, US		Indoor temperature (°F)		70	75
Elevation: 20 ft		Design TD (°F)		25	16
Latitude: 27°N		Relative humidity (%)		30	50
		Moisture difference (gr/lb)		-2.7	57.2
<b>Outdoor:</b>	<b>Heating</b>	<b>Cooling</b>	<b>Infiltration:</b>		
Dry bulb (°F)	45	91	Method		
Daily range (°F)	-	13 (L )	Construction quality		
Wet bulb (°F)	-	78	Fireplaces		
Wind speed (mph)	15.0	7.5	Simplified		
			Average		
			0		

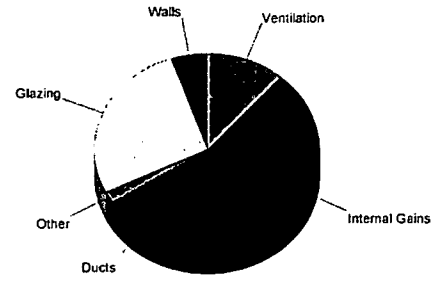
**Heating**

Component	Btuh/ft²	Btuh	% of load
Walls	3.1	448	11.6
Glazing	27.0	716	18.5
Doors	0	0	0
Ceilings	0.8	7	0.2
Floors	6.1	696	18.0
Infiltration	2.1	341	8.8
Ducts		465	12.0
Piping		0	0
Humidification		0	0
Ventilation		1195	30.9
Adjustments		0	0
<b>Total</b>		<b>3868</b>	<b>100.0</b>



**Cooling**

Component	Btuh/ft²	Btuh	% of load
Walls	2.4	351	5.2
Glazing	68.9	1825	27.1
Doors	0	0	0
Ceilings	1.7	15	0.2
Floors	0	0	0
Infiltration	0.7	114	1.7
Ducts		811	12.0
Ventilation		765	11.3
Internal gains		2860	42.4
Blower		0	0
Adjustments		0	0
<b>Total</b>		<b>6741</b>	<b>100.0</b>



Overall U-value = 0.253 Btuh/ft²-°F  
Data entries checked.

*Bold/italic values have been manually overridden*



1164 NE CROWN TERRACE, JENSEN BEACH, FL 34957 Phone: 772-341-0570 Fax: 772-334-4533

**Project Information**

For: MR & MRS LERNER  
37 EAST HIGH POINT ROAD, STUART, FL

**Design Conditions**

<b>Location:</b> West Palm Beach, FL, US Elevation: 20 ft Latitude: 27°N		<b>Indoor:</b> Indoor temperature (°F) Design TD (°F) Relative humidity (%) Moisture difference (gr/lb)	<b>Heating</b> 70 25 30 -2.7	<b>Cooling</b> 75 16 50 57.2
<b>Outdoor:</b> Dry bulb (°F) Daily range (°F) Wet bulb (°F) Wind speed (mph)	<b>Heating</b> 45 - - 15.0	<b>Cooling</b> 91 13 (L) 78 7.5	<b>Infiltration:</b> Method Construction quality Fireplaces	Simplified Average 0

**Construction descriptions**

**Walls**

12E-0sw: Frm wall, stucco ext, 1/2" wood shth, r-19 cav ins, 5/8" gypsum board int fnsh, 2"x4" wood frm

Or	Area ft²	U-value Btuh/ft²·°F	Insul R ft²·F/Btuh	Htg HTM Btuh/ft²	Loss Btuh	Clg HTM Btuh/ft²	Gain Btuh
se	42	0.068	19.0	1.70	71	1.49	62
sw	80	0.068	19.0	1.70	136	1.49	119
all	122	0.068	19.0	1.70	207	1.49	181

**Partitions**  
(none)

**Windows**

1A-c10bd: 1 glazing, clr glz, mtl /w brk frm mat, 1/8" thk

se	84	1.080	0	27.0	2268	69.2	5811
sw	12	1.080	0	27.0	324	69.2	830
all	96	1.080	0	27.0	2592	69.2	6641

**Doors**  
(none)

**Ceilings**

16B-30ad: Attic ceiling, asphalt shingles roof mat, r-30 ceil ins, 5/8" gypsum board int fnsh

	181	0.032	30.0	0.80	145	1.74	316
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**Floors**  
(none)

*Bold/italic values have been manually overridden*

1164 NE CROWN TERRACE, JENSEN BEACH, FL 34957 Phone: 772-341-0570 Fax: 772-334-4533

**Project Information**

For: MR & MRS LERNER  
37 EAST HIGH POINT ROAD, STUART, FL

**Design Conditions**

<b>Location:</b> West Palm Beach, FL, US Elevation: 20 ft Latitude: 27°N		<b>Indoor:</b> Indoor temperature (°F) Design TD (°F) Relative humidity (%) Moisture difference (gr/lb)	<b>Heating</b> 70 25 30 -2.7	<b>Cooling</b> 75 16 50 57.2
<b>Outdoor:</b> Dry bulb (°F) Daily range (°F) Wet bulb (°F) Wind speed (mph)	<b>Heating</b> 45 - - 15.0	<b>Cooling</b> 91 13 ( L ) 78 7.5	<b>Infiltration:</b> Method Construction quality Fireplaces	Simplified Average 0

Construction descriptions	Or	Area ft²	U-value Btuh/ft²-°F	Insul R ft²-F/Btuh	Htg HTM Btuh/ft²	Loss Btuh	Clg HTM Btuh/ft²	Gain Btuh
<b>Walls</b> 13A-5occs: Blk wall, stucco ext, r-5 ext bd ins, 8" thk, 5/8" gypsum board int fnsh	sw	62	0.125	5.0	3.13	193	2.47	152
<b>Partitions</b> 12C-0sw: Frm wall, stucco ext, r-13 cav ins, 2"x4" wood frm		132	0.091	13.0	2.27	300	1.46	193
<b>Windows</b> 1A-c1ob: 1 glazing, clr glz, mtl Aw brk frm mat, 1/8" thk	sw	30	1.080	0	27.0	817	69.2	2093
<b>Doors</b> (none)								
<b>Ceilings</b> (none)								
<b>Floors</b> 22A-tph: Bg floor, heavy damp soil, tile flr fnsh		12	1.358	0	34.0	390	0	0

*Bold/italic values have been manually overridden*



**Component Constructions**  
**AH 3**  
**QUICK E-CALCS**

Job:  
 Date: Jun 16, 2009  
 By: MAXINE SHAWVER

1164 NE CROWN TERRACE, JENSEN BEACH, FL 34957 Phone: 772-341-0570 Fax: 772-334-4533

**Project Information**

For: MR & MRS LERNER  
 37 EAST HIGH POINT ROAD, STUART, FL

**Design Conditions**

<b>Location:</b> West Palm Beach, FL, US Elevation: 20 ft Latitude: 27°N		<b>Indoor:</b> Indoor temperature (°F) Design TD (°F) Relative humidity (%) Moisture difference (gr/lb)	<b>Heating</b> 70 25 30 -2.7	<b>Cooling</b> 75 16 50 57.2
<b>Outdoor:</b> Dry bulb (°F) Daily range (°F) Wet bulb (°F) Wind speed (mph)	<b>Heating</b> 45 - - 15.0	<b>Cooling</b> 91 13 (L ) 78 7.5	<b>Infiltration:</b> Method Construction quality Fireplaces	Simplified Average 0

Construction descriptions	Or	Area ft²	U-value Btuh/ft²-°F	Insul R ft²-F/Btuh	Htg HTM Btuh/ft²	Loss Btuh	Clg HTM Btuh/ft²	Gain Btuh
<b>Walls</b>								
12E-0sw: Frm wall, stucco ext, 1/2" wood shth, r-19 cav ins, 5/8" gypsum board int fnsh, 2"x4" wood frm	ne	86	0.068	19.0	1.70	146	1.49	128
	se	49	0.068	19.0	1.70	84	1.49	73
	all	135	0.068	19.0	1.70	230	1.49	201
<b>Partitions</b> (none)								
<b>Windows</b>								
1A-c1ob: 1 glazing, clr glz, mtl /w brk frm mat, 1/8" thk	ne	6	1.080	0	27.0	162	68.7	412
	se	16	1.080	0	27.0	425	69.2	1090
	se	15	1.070	0	26.8	401	71.1	1066
	all	37	1.080	0	26.9	989	69.9	2568
<b>Doors</b> (none)								
<b>Ceilings</b>								
16B-30ad: Attic ceiling, asphalt shingles roof mat, r-30 ceil ins, 5/8" gypsum board int fnsh		115	0.032	30.0	0.80	92	1.74	200
<b>Floors</b> (none)								

*Bold/italic values have been manually overridden*



**Component Constructions**  
**AH 4**  
**QUICK E-CALCS**

Job:  
 Date: Jun 16, 2009  
 By: MAXINE SHAWVER

1164 NE CROWN TERRACE, JENSEN BEACH, FL 34957 Phone: 772-341-0570 Fax: 772-334-4533

**Project Information**

For: MR & MRS LERNER  
 37 EAST HIGH POINT ROAD, STUART, FL

**Design Conditions**

<b>Location:</b> West Palm Beach, FL, US Elevation: 20 ft Latitude: 27°N		<b>Indoor:</b> Indoor temperature (°F) Design TD (°F) Relative humidity (%) Moisture difference (gr/lb)	<b>Heating</b> 70 25 30 -2.7	<b>Cooling</b> 75 16 50 57.2
<b>Outdoor:</b> Dry bulb (°F) Daily range (°F) Wet bulb (°F) Wind speed (mph)	<b>Heating</b> 45 - - 15.0	<b>Cooling</b> 91 13 (L) 78 7.5	<b>Infiltration:</b> Method Construction quality Fireplaces	Simplified Average 0

Construction descriptions	Or	Area ft²	U-value Btuh/ft²·°F	Insul R ft²·°F/Btuh	Htg HTM Btuh/ft²	Loss Btuh	Clg HTM Btuh/ft²	Gain Btuh
<b>Walls</b>								
13A-5ocs: Blk wall, stucco ext, r-5 ext bd ins, 8" thk, 5/8" gypsum board int fnsh	ne	76	0.125	5.0	3.13	238	2.47	188
	se	62	0.125	5.0	3.13	192	2.47	152
	all	138	0.125	5.0	3.13	430	2.47	339
<b>Partitions</b>								
12C-0sw: Frm wall, stucco ext, r-13 cav ins, 2"x4" wood frm		8	0.091	13.0	2.27	18	1.46	12
<b>Windows</b>								
1A-c1ob: 1 glazing, clr glz, mtl lw brk frm mat, 1/8" thk	ne	16	1.080	0	27.0	432	68.7	1099
	se	11	1.080	0	27.0	284	69.2	726
	all	27	1.080	0	27.0	716	68.9	1825
<b>Doors</b> (none)								
<b>Ceilings</b>								
16B-30ad: Attic ceiling, asphalt shingles roof mat, r-30 ceil ins, 5/8" gypsum board int fnsh		9	0.032	30.0	0.80	7	1.74	15
<b>Floors</b>								
22A-tph: Bg floor, heavy damp soil, tile flr fnsh		21	1.358	0	34.0	696	0	0

*Bold/italic values have been manually overridden*

**Project Information**

For: MR & MRS LERNER  
37 EAST HIGH POINT ROAD, STUART, FL

Notes:

**Design Information**

Weather: West Palm Beach, FL, US

**Winter Design Conditions**

Outside db **45** °F  
Inside db 70 °F  
Design TD 25 °F

**Summer Design Conditions**

Outside db **91** °F  
Inside db 75 °F  
Design TD 16 °F  
Daily range L  
Relative humidity 50 %  
Moisture difference 57 gr/lb

**Heating Summary**

Structure 3398 Btuh  
Ducts 654 Btuh  
Central vent (41 cfm) 1136 Btuh  
Humidification 0 Btuh  
Piping 0 Btuh  
Equipment load 5188 Btuh

**Sensible Cooling Equipment Load Sizing**

Structure 7290 Btuh  
Ducts 1112 Btuh  
Central vent (41 cfm) 727 Btuh  
Blower 0 Btuh  
Use manufacturer's data n  
Rate/swing multiplier 0.96  
Equipment sensible load 8764 Btuh

**Infiltration**

Method Simplified  
Construction quality Average  
Fireplaces 0

	Heating	Cooling
Area (ft <sup>2</sup> )	181	181
Volume (ft <sup>3</sup> )	1449	1449
Air changes/hour	0.68	0.36
Equiv. AVF (cfm)	16	9

**Latent Cooling Equipment Load Sizing**

Structure 336 Btuh  
Ducts 268 Btuh  
Central vent (41 cfm) 1607 Btuh  
Equipment latent load 2211 Btuh  
Equipment total load 10975 Btuh  
Req. total capacity at 0.70 SHR 1.0 ton

**Heating Equipment Summary**

Make  
Trade  
Model  
GAMA ID n/a

Efficiency	100 EFF
Heating input	0 Btuh
Heating output	5188 Btuh
Temperature rise	11 °F
Actual air flow	416 cfm
Air flow factor	0.103 cfm/Btuh
Static pressure	0 in H2O
Space thermostat	

**Cooling Equipment Summary**

Make SANYO  
Trade  
Cond SEER 13.0  
Coil MSZA12NA  
ARI ref no.  
Efficiency 13 SEER  
Sensible cooling 8400 Btuh  
Latent cooling 3600 Btuh  
Total cooling 12000 Btuh  
Actual air flow 416 cfm  
Air flow factor 0.050 cfm/Btuh  
Static pressure 0 in H2O  
Load sensible heat ratio 0.81

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**Project Information**

For: MR & MRS LERNER  
37 EAST HIGH POINT ROAD, STUART, FL

Notes:

**Design Information**

Weather: West Palm Beach, FL, US

**Winter Design Conditions**

Outside db	45 °F
Inside db	70 °F
Design TD	25 °F

**Summer Design Conditions**

Outside db	91 °F
Inside db	75 °F
Design TD	16 °F
Daily range	L
Relative humidity	50 %
Moisture difference	57 gr/lb

**Heating Summary**

Structure	1892 Btuh
Ducts	649 Btuh
Central vent (46 cfm)	1274 Btuh
Humidification	0 Btuh
Piping	0 Btuh
Equipment load	3815 Btuh

**Sensible Cooling Equipment Load Sizing**

Structure	7252 Btuh
Ducts	1094 Btuh
Central vent (46 cfm)	815 Btuh
Blower	0 Btuh
Use manufacturer's data	n
Rate/swing multiplier	0.96
Equipment sensible load	8795 Btuh

**Infiltration**

Method	Simplified	
Construction quality	Average	
Fireplaces	0	
	<b>Heating</b>	<b>Cooling</b>
Area (ft²)	190	190
Volume (ft³)	1518	1518
Air changes/hour	0.28	0.14
Equiv. AVF (cfm)	7	4

**Latent Cooling Equipment Load Sizing**

Structure	542 Btuh
Ducts	267 Btuh
Central vent (46 cfm)	1801 Btuh
Equipment latent load	2610 Btuh
Equipment total load	11405 Btuh
Req. total capacity at 0.70 SHR	1.0 ton

**Heating Equipment Summary**

Make	
Trade	
Model	
GAMA ID	n/a
Efficiency	100 EFF
Heating input	0 Btuh
Heating output	3815 Btuh
Temperature rise	9 °F
Actual air flow	400 cfm
Air flow factor	0.157 cfm/Btuh
Static pressure	0 in H2O
Space thermostat	

**Cooling Equipment Summary**

Make	SANYO
Trade	
Cond	SEER 13.0
Coil	MSZA12NA
ARI ref no.	
Efficiency	13 SEER
Sensible cooling	8400 Btuh
Latent cooling	3600 Btuh
Total cooling	12000 Btuh
Actual air flow	400 cfm
Air flow factor	0.048 cfm/Btuh
Static pressure	0 in H2O
Load sensible heat ratio	0.78

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**Project Information**

For: MR & MRS LERNER  
 37 EAST HIGH POINT ROAD, STUART, FL

Notes:

**Design Information**

Weather: West Palm Beach, FL, US

**Winter Design Conditions**

Outside db	45 °F
Inside db	70 °F
Design TD	25 °F

**Summer Design Conditions**

Outside db	91 °F
Inside db	75 °F
Design TD	16 °F
Daily range	L
Relative humidity	50 %
Moisture difference	57 gr/lb

**Heating Summary**

Structure	1668 Btuh
Ducts	466 Btuh
Central vent (43 cfm)	1186 Btuh
Humidification	0 Btuh
Piping	0 Btuh
Equipment load	3320 Btuh

**Sensible Cooling Equipment Load Sizing**

Structure	4892 Btuh
Ducts	811 Btuh
Central vent (43 cfm)	759 Btuh
Blower	0 Btuh
Use manufacturer's data	n
Rate/swing multiplier	0.96
Equipment sensible load	6204 Btuh

**Infiltration**

Method	Simplified
Construction quality	Average
Fireplaces	0

**Latent Cooling Equipment Load Sizing**

Structure	665 Btuh
Ducts	198 Btuh
Central vent (43 cfm)	1678 Btuh
Equipment latent load	2541 Btuh
Equipment total load	8745 Btuh
Req. total capacity at 0.70 SHR	0.7 ton

	Heating	Cooling
Area (ft <sup>2</sup> )	115	115
Volume (ft <sup>3</sup> )	920	920
Air changes/hour	0.85	0.45
Equiv. AVF (cfm)	13	7

**Heating Equipment Summary**

Make	
Trade	
Model	
GAMA ID	n/a
Efficiency	100 EFF
Heating input	0 Btuh
Heating output	3320 Btuh
Temperature rise	10 °F
Actual air flow	300 cfm
Air flow factor	0.141 cfm/Btuh
Static pressure	0 in H2O
Space thermostat	

**Cooling Equipment Summary**

Make	SANYO
Trade	
Cond	SEER 13.0
Coil	MSZA09NA
ARI ref no.	
Efficiency	13 SEER
Sensible cooling	6300 Btuh
Latent cooling	2700 Btuh
Total cooling	9000 Btuh
Actual air flow	300 cfm
Air flow factor	0.053 cfm/Btuh
Static pressure	0 in H2O
Load sensible heat ratio	0.72

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**Project Summary**  
**AH 4**  
**QUICK E-CALCS**

Job:  
 Date: Jun 16, 2009  
 By: MAXINE SHAWVER

1164 NE CROWN TERRACE, JENSEN BEACH, FL 34957 Phone: 772-341-0570 Fax: 772-334-4533

**Project Information**

For: MR & MRS LERNER  
 37 EAST HIGH POINT ROAD, STUART, FL

Notes:

**Design Information**

Weather: West Palm Beach, FL, US

**Winter Design Conditions**

Outside db **45 °F**  
 Inside db **70 °F**  
 Design TD **25 °F**

**Summer Design Conditions**

Outside db **91 °F**  
 Inside db **75 °F**  
 Design TD **16 °F**  
 Daily range **L**  
 Relative humidity **50 %**  
 Moisture difference **57 gr/lb**

**Heating Summary**

Structure **2207 Btuh**  
 Ducts **465 Btuh**  
 Central vent (43 cfm) **1195 Btuh**  
 Humidification **0 Btuh**  
 Piping **0 Btuh**  
 Equipment load **3868 Btuh**

**Sensible Cooling Equipment Load Sizing**

Structure **5166 Btuh**  
 Ducts **811 Btuh**  
 Central vent (43 cfm) **765 Btuh**  
 Blower **0 Btuh**  
 Use manufacturer's data **n**  
 Rate/swing multiplier **0.96**  
 Equipment sensible load **6472 Btuh**

**Infiltration**

Method **Simplified**  
 Construction quality **Average**  
 Fireplaces **0**

	<b>Heating</b>	<b>Cooling</b>
Area (ft²)	<b>115</b>	<b>115</b>
Volume (ft³)	<b>920</b>	<b>920</b>
Air changes/hour	<b>0.81</b>	<b>0.42</b>
Equiv. AVF (cfm)	<b>12</b>	<b>7</b>

**Latent Cooling Equipment Load Sizing**

Structure **653 Btuh**  
 Ducts **198 Btuh**  
 Central vent (43 cfm) **1690 Btuh**  
 Equipment latent load **2541 Btuh**  
 Equipment total load **9013 Btuh**  
 Req. total capacity at 0.70 SHR **0.8 ton**

**Heating Equipment Summary**

Make  
 Trade  
 Model  
 GAMA ID **n/a**

Efficiency	<b>100 EFF</b>
Heating input	<b>0 Btuh</b>
Heating output	<b>3868 Btuh</b>
Temperature rise	<b>12 °F</b>
Actual air flow	<b>292 cfm</b>
Air flow factor	<b>0.109 cfm/Btuh</b>
Static pressure	<b>0 in H2O</b>
Space thermostat	

**Cooling Equipment Summary**

Make **SANYO**  
 Trade  
 Cond **SEER 13.0**  
 Coil **MSZA09NA**  
 ARI ref no.  
 Efficiency **13 SEER**  
 Sensible cooling **6300 Btuh**  
 Latent cooling **2700 Btuh**  
 Total cooling **9000 Btuh**  
 Actual air flow **292 cfm**  
 Air flow factor **0.049 cfm/Btuh**  
 Static pressure **0 in H2O**  
 Load sensible heat ratio **0.73**

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# Getting to Know Your Cooktop

## Parts of the Cooktop

**SimmerSear™ Burners:** Dacor's exclusive precision burner control system. Model PGM304-1 is equipped with one SimmerSear burner. Model PGM365-1 is equipped with two. Each SimmerSear burner has a wider range of heat settings than the standard burners. The wider range allows you precise heat control from simmer to sear.

**Sealed Burners:** Gaskets around the underside of all burner bases prevent spilled liquids from leaking into the cooktop's internal parts.

**Long Life Grates:** The porcelain coated cast iron grates support the cooking utensils during cooking. They are removable to allow the area below and around the burners to be cleaned easily.

**Spill Trays:** The spill trays catch any food that falls through the cooktop grates.

**Illuminated Burner Control Knobs:** Use the knobs to turn on the burners and adjust the flame size. The matching knob illuminates when a burner is on.

**Trim Rings:** Located behind each knob. They indicate the heat setting for each burner. The trim ring around SimmerSear control knobs show the simmer setting and are equipped with a simmer indicator light. See *Operating Your Cooktop* for more information.

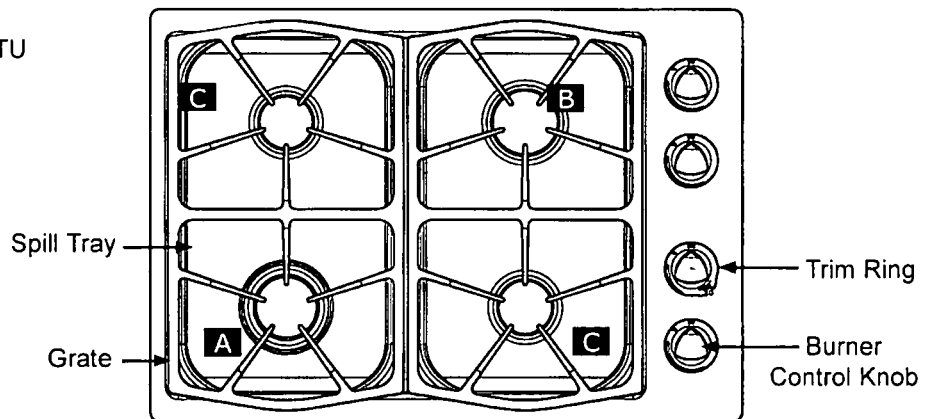
## Other Features

**Flameless Ignition:** The cooktop generates a spark to light a burner when you turn the knob to ON.

**Perma-Flame™:** The Perma-Flame instant re-ignition feature automatically re-lights a burner quickly if it goes out. With Perma-Flame, your cooking experience is uninterrupted because the flame is re-ignited at the same level as when it went out.

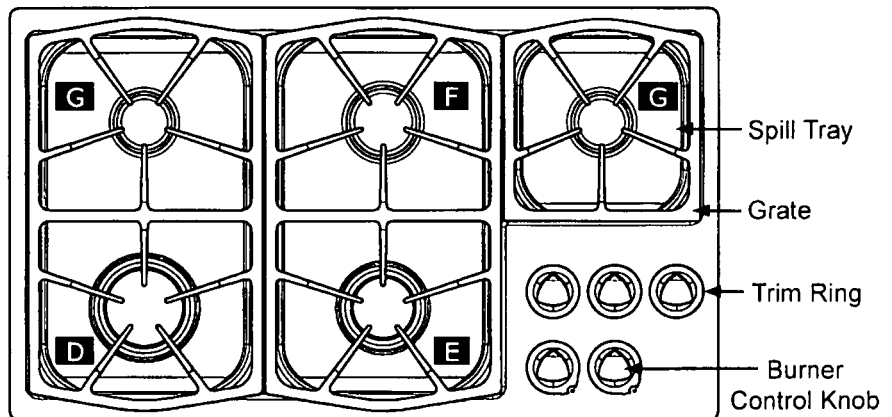
**Smart Flame™:** All burners are equipped with Dacor's Smart Flame technology. It reduces the temperature under the fingers of the porcelain-coated cast iron grates. Smart-Flame extends grate life and protects the finish.

- A** SimmerSear Burner: 650-15,000 BTU
- B** Standard Burner: 12,500 BTU
- C** Standard Burner: 8,500 BTU



PGM304-1 - Top View

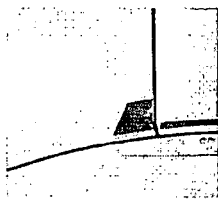
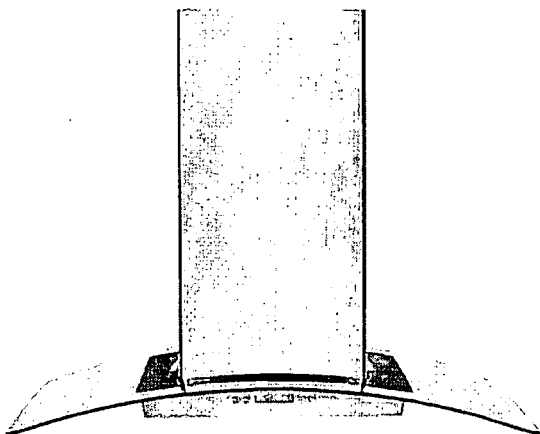
- D** SimmerSear Burner: 750-18,000 BTU
- E** SimmerSear Burner: 650-12,500 BTU
- F** Standard Burner: 12,500 BTU
- G** Standard Burner: 9,500 BTU



PGM365-1 - Top View

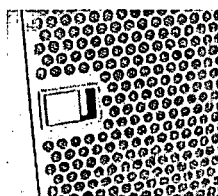
# Glass & Stainless Canopy Hood

RH36PC60G S



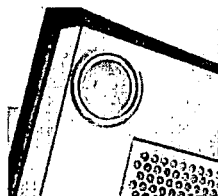
### Glass Canopy Design

Sophisticated style makes this ventilation unit as attractive as it is functional. Glass canopy hood has sleek curved design – making it a focal point of the kitchen.



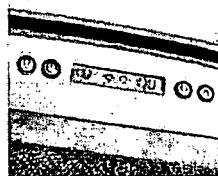
### 600 CFMs / 4-Speed Fan

Features a powerful 4-speed dual centrifugal fan supplying 600 CFM of air movement. Effectively and quietly removes smoke, vapors and smells from the kitchen.



### Quad Halogen Lights

Island cooking surface area is brightly lit by quad halogen lights, paired in groups of two and set at two separate levels.



### Electronic Controls with LCD Display

Easy-to-operate electronic controls provide convenient access to all fan, clock and timer settings.

## 36" GLASS & STAINLESS CANOPY ISLAND HOOD

### Features

Nominal Width	36"
Installation Type	Island/Peninsula
Style	Stainless Steel/ Glass Canopy
Air Discharge	Vertical
Air Delivery (CFM)	600
Blower Type	Dual Centrifugal
Electronic Controls with LCD Display	Yes
Fan Speeds	4
Sound Level (dBA)	73.8
Quad Halogen Lights	Yes
Washable Stainless Steel Filters	Yes
Exhaust Duct	Convertible*
Duct Required	8" Round

### Accessories

Duct-Free Kit – RHDFP60GS	Optional
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### Specifications

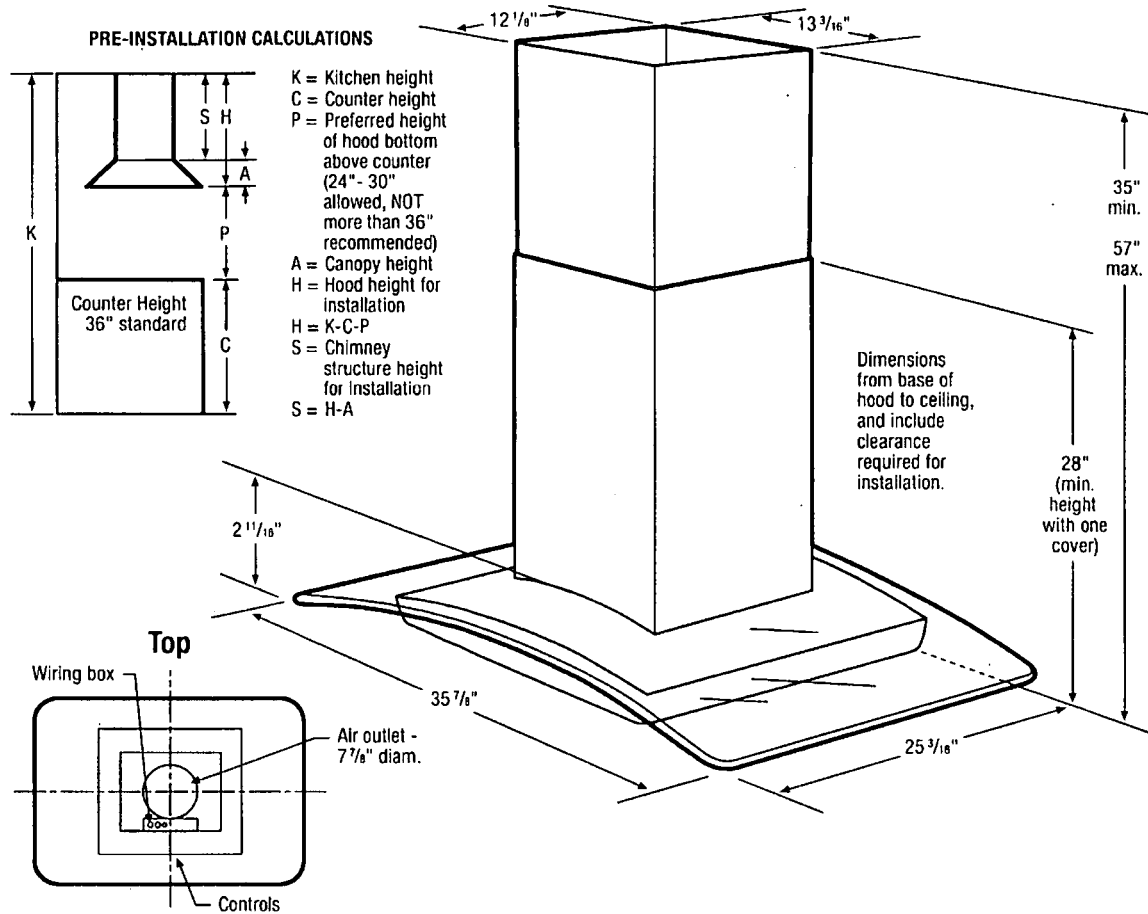
Overall Exterior Dimensions –	
Width	35-7/8"
Height (With One Cover)	28" min.
(With Fluo Extension)	35" min. 57" max.
Depth	25-3/16"
Voltage Rating	120V/60Hz/15A
Connected Load (kW Rating) @ 120 Volts <sup>†</sup>	0.516
Product Weight	84 Lbs.
Shipping Weight	87 Lbs.
Sones Rating	9.0

\* Ventilation is convertible to be either ducted outside, or recirculated inside requiring no ducting. (Recirculated option requires use of optional Duct-Free Kit.)

† For use on adequately wired 120V dedicated circuit having 2-wire service with a separate ground wire. Appliance must be grounded for safe operation.

NOTE: Always consult local and/or national electric codes. Check local building codes for installation requirements, as they may vary per locale. Refer to Product Installation Guide for detailed installation instructions on the web at [www.electroluxappliances.com](http://www.electroluxappliances.com).

Specifications subject to change.



### 36" Glass & Stainless Canopy Island Hood Specifications

- Product Weight – 84 Lbs.
- Island/Peninsula Installation
- Ventilation is convertible to be either ducted outside, or recirculated inside requiring no ducting.
- Sones Rating – 9.0
- Voltage Rating – 120V/60 Hz/15 Amps
- Connected Load (kW Rating) @ 120 Volts = 0.516kW (For use on adequately wired 120V, dedicated circuit having 2-wire service with a separate ground wire. Appliance must be grounded for safe operation.)
- Amps @ 120 Volts = 4.16 Amps
- Always consult local and/or national electric codes. Check local building codes for installation requirements, as they may vary per locale.
- Minimum installation height allowed from bottom of hood to cooking surface is 24" - 30" for electric and 30" for gas. (NOT more than 36" recommended.)
- To prepare mounting surface, adequate structure and support must be provided, capable of supporting 150 lbs.

### Ducted Option Specifications

- For outside ventilation only.
- Exhaust Duct Required – 8" round
- For most efficient airflow exhaust, use a straight run or as few elbows as possible.
- Use metallic flex ducting only to connect rigid duct directly to transitions (if allowed by code).

- Thermal breaks such as short section of nonmetallic duct, should be used in areas of extreme cold.
- Cold weather installations should have additional backdraft damper installed.
- Refer to web for detailed duct preparation installation instructions.

### Ductless (Recirculated) Option Specifications

- If ducting to outside is not an option, vent hood can be converted to ductless with use of optional Duct-Free Kit (RHDFP60GS).
- Refer to web for detailed convertible ventilation installation instructions.

### Pre-Installation Calculations

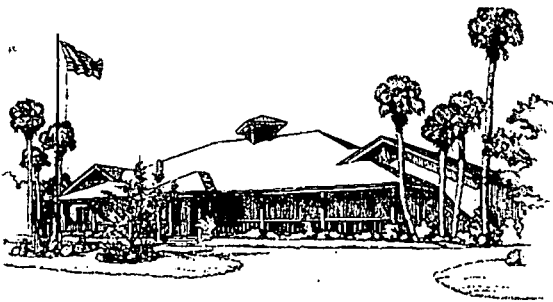
- Select hood preference height (P) that is comfortable for user (24" - 30" minimum allowed, NOT more than 36" recommended).
- Calculate hood height (H) for installation (H = K - C - P).
- Confirm that (H) is within minimum to maximum range for hood. If not, adjust installation.
- Calculate chimney structure height (S). Use formulas, check dimensions of hood. Save calculation for use later in installation.

*Note: For planning purposes only. Refer to Product Installation Guide on the web at [electroluxappliances.com](http://electroluxappliances.com) for detailed instructions.*

### Optional Accessories

- Duct-Free Kit – (RHDFP60GS).





# TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

## Minimum Requirements For One & Two Family Residential Additions

Based on FBC 2007 Edition

6/08/2009 - 37 E. 141614 BT

REQUIRED DOCUMENTS MUST BE SUBMITTED AT TIME OF PERMIT APPLICATION		Items to be Included - Each Box Shall be Circled as Applicable		
1	Copy of the recorded deed (if metes and bounds) or legal description.	<input checked="" type="checkbox"/> Yes	No	N/A
2	Florida Energy Efficiency Forms: Provide one (1) complete set of Form 600A or 600B and two (2) additional copies of the front sheets. All front sheets shall contain the signature of the person who performed the calculations and the signature of the owner/agent, two (2) copies of manual "J" short form, and one (1) energy guide. Manual "J" forms and energy guide are obtained from the Mechanical Contractor.	Yes	No	N/A
3	<b>Flood Protection:</b> Flood Damage Control Regulations and minimum standards under the National Flood Insurance Program require new construction, substantial improvements, and remodeling projects to be protected from flood damage. Pursuant to these regulations, the following information must be included with plans submitted for approval for structures built within the Special Flood Hazard Area, verification of grade and structural related elevations; certification of materials, ventilation, and floodproofing techniques, area identified for remodeling and the value of construction; and added engineer certifications for construction within a floodway or velocity zone and for commercial construction below the base flood elevation.  Because of added review requirements, permits issued within the SFHA will not receive a 24-hour turnaround.	Yes	No	<input checked="" type="checkbox"/> N/A
4	Site plans: Provide two (2) copies of single line drawings to scale (1:20 or 1:30 scale) showing property boundaries, lot dimensions, location of proposed and existing structures on the lot, street in front of the property and street name. If located on a corner lot, indicate the names of both streets. Also include all easements, conservation and/ or wetland areas.	Yes	No	<input checked="" type="checkbox"/> N/A
5	Contractor/agent shall sign a "No Tree Removal" affidavit or provide a tree removal permit.	Yes	No	<input checked="" type="checkbox"/> N/A
6	If addition is a bedroom addition and the residence is on septic tank, contractor/agent shall provide Martin County Health Department approval for "existing septic tank".	Yes	No	<input checked="" type="checkbox"/> N/A
7	Homeowner affidavit if applicable under Florida Statue 489.103(7). Affidavits available at Town Hall.	<input checked="" type="checkbox"/> Yes	No	N/A
PLANS AND SPECIFICATIONS New 1 & Family Residential Structures (Items 1 - 16)		Items to be Included - Each Box Shall Be Circled As Applicable		
1	Two (2) copies of drawings to scale (1/4" = 1') with sufficient clarity and detail to indicate the nature and scope of work. Such drawings shall contain information, in the form of notes or otherwise, as to the quality of materials, where the quality is essential to conforming with the technical codes of the 2004 (W/ 2006 Revisions) Florida Building, Plumbing, Mechanical, Fuel Gas, Energy Efficiency, Accessibility, and 2005 National Electrical Codes. Such information shall be specific, and the technical codes shall not be cited as a whole or in part, nor shall the term "legal" or its equivalent be used as a substitute for specific information. All drawings, specifications, and accompanying data shall bear the name and signature of the person/persons responsible for the design. For plans that include multiple options only those options for the building being considered for permit shall be identified. All others shall be removed or crossed out.  <b>NOTE:</b> All structural plans shall be signed and sealed by a design professional or be accompanied by an approved alternative design method authorized by the Building Commission.	<input checked="" type="checkbox"/> Yes	No	N/A
<b>GENERAL PLAN REQUIREMENTS</b> Plans shall have the structural design criteria clearly indicated (i.e., wind loading, floor and roof live and dead loads).		Items to be Included - Each Box Shall Be Circled As Applicable		
<b>The following information related to wind loads shall be shown on the construction plans:</b>				
1	Basic wind speed, mph, (km/hr).	<input checked="" type="checkbox"/> Yes	No	N/A
2	Wind importance factor (I) and building category.	<input checked="" type="checkbox"/> Yes	No	N/A

3	Wind exposure – if more than one (1) wind exposure is utilized, the wind exposure and applicable wind direction shall be indicated.	Yes	No	N/A
4	The applicable internal pressure coefficient.	Yes	No	N/A
5	Components and Cladding. The design wind pressures in terms of psf, (kN/m <sup>2</sup> ) to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional.	Yes	No	N/A

**Floor plans shall include the following:**

1	Size and arrangement of all rooms with intended use for each room.	Yes	No	N/A
2	All plumbing fixtures.	Yes	No	N/A
3	Attic access (22" x 36" minimum).	Yes	No	N/A
4	Emergency egress windows in all bedrooms.	Yes	No	N/A
5	Location of air handler.	Yes	No	N/A
6	Location of electrical panel.	Yes	No	N/A
7	Location of fireplaces.	Yes	No	N/A
8	Complete door and window schedule and installation details.	Yes	No	N/A
9	Garage door installation details and data indicating compliance with the wind load requirements of Section 1606.	Yes	No	N/A
10	Location and dimensions of all interior and exterior shear walls	Yes	No	N/A
11	Locations of all interior bearing walls, columns, and pads.	Yes	No	N/A
12	All header and lintel sizes, types, ratings, and locations.	Yes	No	N/A

**Foundation plans shall include the following:**

1	Interior and exterior footing size and reinforcement, including lapping of reinforcement, location and dimensions of foundation dowels, vertical steel, and anchor bolt sizes.	Yes	No	N/A
2	Column pad sizes and reinforcement.	Yes	No	N/A
3	Termite treatment of soil, vapor barrier, wire mesh or fiber additive, clean compacted fill under all slabs (soil compaction tests may also be required).	Yes	No	N/A

**WALL SECTIONS – ONE STORY WOOD FRAME WALLS**

Provide a detailed cross-section of each wall type from the foundation through the roof, including the following:

1	Foundation with reinforcement. (Bottom of all footings are at least 12" below finish grade).	Yes	No	N/A
2	Pressure treated plate with anchor bolt size, spacing, embedment, and washer size or approved alternate anchor.	Yes	No	N/A
3	Size, grade and species of all structural lumber.	Yes	No	N/A
4	Stud size and spacing, top and bottom connection for load path of bearing walls.	Yes	No	N/A
5	Double top plate, show splicing for shear walls.	Yes	No	N/A
6	Wall sheathing size and type with nailing schedule, special blocking, and nailing for shear walls.	Yes	No	N/A
7	Ceiling and eave height and overhang.	Yes	No	N/A

**WALL SECTIONS – MASONRY WALLS**

1	Foundation with reinforcement. (Bottom of all footings are at least 12" below finish grade).	Yes	No	N/A
2	Size of vertical reinforcement showing lap dimensions and embedment into footing, and bond beam.	Yes	No	N/A
3	Wall thickness, ceiling, and eave height and overhang.	Yes	No	N/A
4	Bond beam size, type, and size reinforcement indicating lap.	Yes	No	N/A
5	Lintel type dimensions and reinforcement.	Yes	No	N/A
6	Size and grade of top plates, including dimensions and spacing of anchor bolts and washers, or size, type and spacing of truss anchors.	Yes	No	N/A
7	Exteriors finishes and wall coverings. Brick veneer, additional footing width, tie schedule, and flashing.	Yes	No	N/A

8	Roof structure (truss or conventional wall) wall connections. Nailing schedule for roof sheathing and roof covering.	Yes	No	N/A
9	Window and door anchorage details.	Yes	No	N/A
<b>WALL SECTIONS – TWO STORY</b>				
1	All of the one-story information plus floor framing and draftstopping.	Yes	No	N/A
2	Connections to wall above and below.	Yes	No	N/A
3	Nailing schedule for floor sheathing.	Yes	No	N/A
4	Continuous load path from the roof truss to the foundation.	Yes	No	N/A
<b>INTERIOR BEARING WALLS</b>				
1	All foundations, connections to foundation, and roof structure.	Yes	No	N/A
<b>GABLE ENDS</b>				
1	All sheathing, lateral bracing, nailing schedules for sheathing, and connections to wall below.	Yes	No	N/A
2	Gable truss diaphragm installation, and method of horizontal bracing at wall/gable joint.	Yes	No	N/A
3	Roof sheathing attachment.	Yes	No	N/A
4	Connections for uplift and lateral load.	Yes	No	N/A
<b>POSTS, COLUMNS, AND BEAMS</b>				
1	All materials and connections from the foundation to the roof structure with anchorage and connection details.	Yes	No	N/A
<b>SECOND STORY FLOOR FRAMING PLAN</b>				
1	Type and size or pre-engineered members and/or size, grade, and species of conventional framing.	Yes	No	N/A
2	Direction, span, and spacing of floor structural members.	Yes	No	N/A
3	Engineering and specifications for pre-engineered floor systems shall be on the job site for the inspectors.	Yes	No	N/A
4	Type and thickness of floor sheathing including nailing schedule.	Yes	No	N/A
5	Required hangers, connectors, and fasteners of structural members.	Yes	No	N/A
<b>ROOF FRAMING PLAN</b>				
1	Direction, span, and spacing of roof structure.	Yes	No	N/A
2	Size, grade, and species of lumber for all framing.	Yes	No	N/A
3	Hold down connector sizes for all headers.	Yes	No	N/A
4	Roof framing layout plan indicating truss locations, specifications of connectors (manufacturer's designation and load capacity) and nailing schedule.	Yes	No	N/A
5	When pre-engineered trusses are being used, the signed and sealed engineered truss shop drawings shall be provided on the job site for the inspectors.	Yes	No	N/A
6	Type and thickness of roof sheathing, including nailing schedule.	Yes	No	N/A
<b>EXTERIOR ELEVATION PLAN SHALL INCLUDE THE FOLLOWING:</b>				
1	Front, rear, and side elevations including windows, doors, roof slopes, and chimneys.	Yes	No	N/A
2	Roof overhangs and ventilation.	Yes	No	N/A
3	Porch guardrails and stair handrails	Yes	No	N/A
4	Crawl space ventilation and access panels.	Yes	No	N/A
5	Complete stair, handrail, and guardrail details including tread, riser, and handrail/guardrail dimensions.	Yes	No	N/A

**PLUMBING PLAN SHALL INCLUDE THE FOLLOWING:**

1	Designer name and registration number shall be on all plans.	Yes	No	N/A
2	All plumbing fixtures and locations.	Yes	No	N/A
3	Riser diagram.	Yes	No	N/A
4	Water heaters and locations as determined by 503.2	Yes	No	N/A
5	Sanitary waste and vent systems	Yes	No	N/A

**MECHANICAL PLAN SHALL INCLUDE THE FOLLOWING:**

1	Designer name and registration number shall be on all plans.	Yes	No	N/A
2	Duct lay out and insulation r-value.	Yes	No	N/A
3	Dryer vents and bathroom exhausts.	Yes	No	N/A
4	Equipment schedule including energy efficiency, supply cfm's, and power requirements.	Yes	No	N/A
5	Show location of all equipment. RANGE HOOD SPECS	Yes	No	N/A
6	Provide gfi as determined by NFPA 70 210-63.	Yes	No	N/A
7	Show size of all tri-boxes, register outlets, and reducers.	Yes	No	N/A
8	Indicate all tapes, connectors, and mastic and their compliance with UL-181.	Yes	No	N/A

**ELECTRICAL PLANS SHALL INCLUDE THE FOLLOWING:**

1	Designer name and registration number shall be on all plans.	Yes	No	N/A
2	Provide riser diagram	Yes	No	N/A
3	Provide panel schedule including size service.	Yes	No	N/A
4	Provide electrical layout plan showing location of receptacles, switches, and distribution panel.	Yes	No	N/A
5	Provide smoke detectors in accordance with 905.2.	Yes	No	N/A
6	Provide AFCIs (arc-fault circuit interrupters in all dwelling unit bedrooms per section 210-12.	Yes	No	N/A

1. LOAD CALC

2. REFLECTING POOL - PUMP, ETC

3. GAS ?

4. RANGE HOOD?

# TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

DON OSTEEN  
Mayor

MARK  
KLINGENSMITH  
Vice Mayor

NEIL SUBIN  
Commissioner

PAUL SCHOPPE  
Commissioner

JACQUI THURLOW-  
LIPPISCH  
Commissioner



ROBERT KELLOGG  
Town Manager

JOHN R. ADAMS  
Building Official

ERIC CERNIGLIA  
Chief of Police

ANN-MARIE  
SULLIVAN BASLER  
Town Clerk

JOSE TORRES, JR.  
Maintenance

## CONDITIONS FOR PERMIT APPROVAL

DATE OF PERMIT APPLICATION: 06/08/2009

DATE: 06/10/2009

APPLICATION DESCRIPTION: ADDITION/REMODEL SRF

APPLICATION ADDRESS: 37 E. HIGH POINT RD. SEWALL'S POINT FL 34996

THE FOLLOWING ITEMS ARE NOTED FOR CORRECTION AND ARE CONDITIONS FOR APPROVAL FOR THE ABOVE REFERENCED PERMIT APPLICATION:

1. OWNER/BUILDER TO ACKNOWLEDGE THAT ARCHITECT OF RECORD CANNOT ACT AS AGENT/SUPERVISOR IN OWNERS ABSENCE PER F.S. 489.103 (7) (b).
2. SURVEY MUST BE CERTIFIED TO THE TOWN OF SEWALL'S POINT.
3. MANUAL J LOAD CALCULATION IS REQUIRED WHEN ENCLOSING AND CONDITIONING PREVIOUSLY UNCONDITIONED SPACE.
4. PLEASE PROVIDE ADDITIONAL DETAILS FOR REFLECTING POOL. IS WATER IS TO BE RE-CIRCULATED AND FILTERED, ETC.?
5. PROVIDE GAS INSTALLATION CHECK LIST AND ALL NECESSARY INFORMATION ON PIPING AND APPLIANCES.
6. PROVIDE SPECIFICATIONS ON RANGE HOOD AND PROVISIONS FOR MAKE-UP/COMBUSTION AIR

IF YOU NEED FURTHER INFORMATION OR CLARIFICATION FOR THESE CONDITIONS, DO NOT HESITATE TO CONTACT ME.

WITH REGARDS,

JOHN R. ADAMS  
BUILDING OFFICIAL



One S. Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: [clerk@sewallspoint.martin.fl.us](mailto:clerk@sewallspoint.martin.fl.us)  
Building Department (772) 287-2455 • Fax (772) 220-4765 • E-Mail: [jadams@sewallspoint.martin.fl.us](mailto:jadams@sewallspoint.martin.fl.us)



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

5-5

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9381	Testebo 104 N Sewalls Demolish	plumbing rough electric rough mechanical rough interior framing	PASS ✓	INSPECTOR <i>[Signature]</i>
<del>9155</del>	<del>[REDACTED]</del>	<del>[REDACTED]</del>	<del>[REDACTED]</del>	
156	372 High Pt OB		PASS	INSPECTOR <i>[Signature]</i>
9379	BALFOUR 103 HILLCREST BALFOUR CONSD	SLAB	FAIL <del>RESET</del>	NOT READY INSPECTOR
9388	SIARRE 73 N. SPY RD SMATICON	WALL STEEL	PASS	INSPECTOR <i>[Signature]</i>
9417	Praine 8 S Via Luenda JA Taylor	dry-in	PASS	INSPECTOR <i>[Signature]</i>
9327	Woods (wall) 32 E High Pt Capital Auto.	Columns	PASS	INSPECTOR <i>[Signature]</i>
Tree	Roberts 12 N. Ridgeview	Tree	OK	INSPECTOR <i>[Signature]</i>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **6-8-10** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9452</del>	45 W. H. Pt			
9180	Mc CARTNEY O/B	DOCK FINAL	PASS	CLOSE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9409	KURTIN 5 MANDALAY DRIETWOOD	TILE IN PROGRESS	PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9420	VON SEEKUM 10 E. HILH Pt WILCO	DOCK FINAL	PASS	CLOSE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9455	WHITE 15 RIDGEFLAND TUSCANY BAY	FOOTERS STRAPPING	FAIL PARTIAL PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9188</del>	<del>37 E. HILH Pt</del> O/B	<del>FOOTERS</del> <del>Mc Name</del>	<del>PASS</del>	<del>CLOSE</del> INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9461	DALLAS 1. CASTLE Hill Way CREATION BLDG	DOOR FINAL	PASS	CLOSE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	42 S SPTAD	MELALUCA TREES CUT DOWN	OK	UPDATE INSPECTOR LIST

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **7-15** 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9188</del>	<del>LENNETT</del>			
8:30	37 E. HIGH Pt 0/13	<del>R. Williams</del>	<del>PASS</del>	INSPECTOR <i>JF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9181	HARDIN 27 S. RIVER Rd STATION	FOOTING	PASS	INSPECTOR <i>JF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9000	CD 2 LLC			
915A	4 RIVER OAK CD 2	A/C WORK THROUGH	OK	INSPECTOR <i>JF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 7-17 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9108	<del>_____</del>	<del>_____</del>	<del>_____</del>	
8:30 1st	37 E High Pt OB		Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9181	Hardin 27 S Kuer Stratton	step-up footer bond beam	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9142	Hinners 4 Morgan Cir Gibben	retaining walls wing walls	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8823	Sebastiano	walk thru		
9AM	6 W High Pt OB		Pass	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9200	Conway 4 Oakhill Way Stephen Conway	window frame	Pass	INSPECTOR <i>[Signature]</i>
10:30 - 11:00				
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 7-24 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9188	<del>Kennedy</del>	<del>Handover</del>		
	37 E High Pt	Handover	Pass	
	OB	SUBSQUIN		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9209	Pearson	Tinal fence		
	B Palmetto		Pass	Close
	TC Fence	(Permit by card in front)		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9125	<del>Harbor Bay</del> <del>Renato's</del>	<del>Tinal AC</del>		
1PM	3120 SE Ocean		Rescheduled	
	Miller's AC		MON	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9193	Allen	dry-in		
	171 S River		Pass	
	On Shore Roof.	(affidavit on site)		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **8-5** 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9186	<del>Person</del>	<del>roofing</del>	<del>Pass</del>	
1st	37 Ethigh Pt OB		Pass	INSPECTOR <i>JG</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9181	Hardin	steel & tie beam		
10:30	27 S River Stratton		Pass	INSPECTOR <i>JG</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9205	Kelso	subsiding		
	18 Rio Vista Senco		Pass	Pass INSPECTOR <i>JG</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	39 N River Rd	Trees		
			Partial	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 8-26 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9188</del>	<del>Permit</del>	<del>Roof</del>		
<u>1st</u>	<u>37 E High Pt</u> <u>OB</u>		<del>FAIL</del>	INSPECTOR <u>JA</u>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<u>9193</u>	<u>Allen</u>	<u>Final</u>		<u>NO PERMIT POSTED</u>
<u>34</u>	<u>171 S River Rd</u> <u>Onshore Roofing</u>	<u>Roof</u>	<u>FAIL</u>	<u>REMOVE DEBRIS</u> INSPECTOR <u>JA</u>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<u>9114</u>	<u>Olney</u>	<u>Final Roof</u>		
<u>33</u>	<u>108 Henry Sewall Way</u> <u>Parks Co</u>		<u>PASS</u>	INSPECTOR <u>JA</u>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<u>9210</u>	<u>Roue</u>	<u>Final shutter</u>		<u>Permit TOO WET</u>
<u>6</u>	<u>5 S River Rd</u> <u>Gulfstream Alum</u>	<u>(1033) code</u> <u>be careful house alarm is on</u>	<u>PASS</u>	<u>TO SIGN</u> INSPECTOR <u>JA</u>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<u>9078</u>	<u>Masterpiece</u>	<u>Meter Final</u>		
<u>#2</u>	<u>1 Marguerita</u> <u>Masterpiece</u>		<u>FAIL</u>	<u>NOT READY</u> INSPECTOR <u>JA</u>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<u>9181</u>	<u>Hardin</u>	<u>tie beam</u>		
<u>after 10 AM</u>	<u>275 River Rd</u> <u>Stratium</u>		<u>PASS</u>	INSPECTOR <u>JA</u>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

9/21

2009

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9188	<del>Owner</del>	<del>Permit</del>	<del>Pass</del>	<del>01/15/08</del>
155	37 E High Pt OB	<del>Permit</del>	<del>Pass</del>	<del>Inspector</del>
9355	Nova Club #204 3601 SE Ocean NIS Air	Final AC	NOO MISS MATCH APP FAIL	NO ACCESS INSPECTOR
9162	Amos 114 S Sewalls Jensen Beach Alum	Final windows doors (code 1997)	PASS	CLOSE INSPECTOR
9029	AT&T SSPR e Riv Vista to NSPR Daniella Conet	UG cables	PASS	CLOSE INSPECTOR
9061	AT&T River & Marguerita Daniella Conet	UG cables	PASS	CLOSE INSPECTOR
9067	AT&T N. River Rd & E Ocean Daniella	UG cables	PASS	CLOSE INSPECTOR
9257	Kramer 11 S Ridgerview Paulie propane	rough UG lines tank	PASS	NEEDS FINAL INSPECTOR



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 9-23 2009. Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9137</del>	<del>37 E HIGH PT</del>	<del>Final</del>	<del>Pass</del>	
<del>AM</del>	<del>37 E HIGH PT</del>	<del>Final</del>	<del>Pass</del>	
	OB	Inspector		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9256	BAAB	A/C		
BEFORE	22 SIMORA ST.	FINAL	PASS	CLOSE
NORAN	NISAIR			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9257	KEAMER	Final inspection		FBL PG 409.5
2 p.m.	11 S. Ridgview Rd.		FAIL	SHUT OFF VALVE IN ROOM
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

9-30

2009

Page

1

of

1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9188				
1st	31 E High Pt OB		Pass	INSPECTOR <i>[Signature]</i>
9238	Larica 35 Sewall St Code Red	Final roof	Pass <i>[Signature]</i>	close  INSPECTOR <i>[Signature]</i>
9078	Masterpiece	driveway	Pass	INSPECTOR <i>[Signature]</i>
930	1 Marquerita Masterpiece			
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 11-19 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9296	Bellingham	Final AC		
2PM	2 Via de Christo Grimes		PASS	NOTE INSPECTOR <i>[Signature]</i>
9297	HB Assoc	framing	PASS	
1st	3718 SE Ocean Rubin Custom	ROUGH ELEC.	PASS	INSPECTOR <i>[Signature]</i>
9188	Turner	Dr Tank		
	37 E. High Pt. Rd.	lime rough in	PASS	INSPECTOR <i>[Signature]</i>
9288	GIBSON			
	134. S. RIVER	LATHS	PASS	
	Preston Ball Home			INSPECTOR <i>[Signature]</i>
	MC GOVERN			
	2 TUSCAN	TREES	OK	INSPECTOR <i>[Signature]</i>
9271	Frantom			
	102 N SP RD	GARAGE SLAB	PASS	
	RESORT CONSO			INSPECTOR <i>[Signature]</i>
	McC KEEBLEN			
	31 W HIGH PT	TILE		INSPECTOR

**9499**

**HURRICANE SHUTTERS**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9499	DATE ISSUED:	JULY 6, 2010
SCOPE OF WORK:	(2) ACCORDIAN HURRIANCE SHUTTERS		
CONDITIONS :			
CONTRACTOR:	SCOTT HOLMES		
PARCEL CONTROL NUMBER:	133841002-000-002209	SUBDIVISION	HIGH POINT - LOT 22
CONSTRUCTION ADDRESS:	37 E HIGH PT RD		
OWNER NAME:	LERNER		
QUALIFIER:	SCOTT HOLMES	CONTACT PHONE NUMBER:	220-4780

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9499		
ADDRESS	37 E HIGH PT RD		
DATE:	7/6/10	SCOPE:	2 ACCORDIAN HURRICAN SHUTTERS
SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			

1-61-86

SEACOAST NATIONAL BANK  
 STUART, FLORIDA 34994  
 63-515-670

SCOTT J. HOLMES BUILDING INC.  
 P.O. BOX 2804  
 JENSEN BEACH, FLORIDA 34958

PAY TO THE ORDER OF TOWN OF SEWALL'S POINT

7/2/10

\$ 80.00 DOLLARS

Eighty and 00/100

TOWN OF SEWALL'S POINT  
 SEWALL'S POINT ROAD  
 SEWALL'S POINT, FL 34996

MEMO

AUTHORIZED SIGNATURE



ACCESSORY PERMIT	Declared Value:	\$	1500
Total number of inspections @ \$75.00 each		\$	75
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	80

*pd*  
*CK #16186*

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Permit Number: 9499

Date: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Hyunjin Lerner Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address: 37 High Pt. Rd City: Stuart State: FL Zip: 34996

Legal Description: High Pt. Lot 22 Parcel Control Number: 13-38-41-002-000-00220-9

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work (please be specific): Hurricane Accordion shutter

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner/Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO X

**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 1500 -  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 AE9 AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Scott J Holmes Phone: 220-4780 Fax: 220-3722  
Street: P.O. Box 2804 City: Jensen Bch State: FL Zip: 34958

State License Number: CFC055859 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: Scott Phone Number: 220-4780

DESIGN PROFESSIONAL: N/A Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
Carpport: \_\_\_\_\_ Total under Roof: \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. requires a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007  
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

**NOTICES TO OWNERS AND CONTRACTORS:**

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)  
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)  
Hyunjin Lerner  
State of Florida, County of: Martin  
This the 10 day of June, 2010  
by Hyunjin Lerner who is personally  
known to me or produced  
as identification.  
Notary Public  
My Commission Expires: 6/6/12

CONTRACTOR SIGNATURE: (required)  
Scott Holmes  
On State of Florida, County of: Martin  
This the 10 day of June, 2010  
by Scott Holmes who is personally  
known to me or produced  
As identification.  
Notary Public  
My Commission Expires: 6/6/12

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



# Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...  
governmentmax.com T1.12

## Summary

print [navigation icons] Owner 3 of 4

### Parcel Info

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-002-000-00220-9	37 E HIGH POINT RD	27710	Owner	0	1

#### Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

#### Summary

**Property Location** 37 E HIGH POINT RD  
**Tax District** 2200 Sewall's Point  
**Account #** 27710  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120000  
**Acres** 0.544

**Legal Description**  
**Property Information**  
 HIGH POINT LOT 22

### Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

#### Owner Information

**Owner Information**  
 LERNER, HYUNJIN & LADDA

#### Mail Information

37 E HIGHPOINT RD  
 STUART FL 34996

#### Assessment Info

Front Ft. 0.00

**Market Land Value** \$254,430  
**Market Impr Value** \$247,820  
**Market Total Value** \$502,250

### Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

#### Recent Sale

Sale Amount \$650,000

**Sale Date** 2/16/2007  
**Book/Page** 2223 1597

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/29/2010





**IMPACT PROTECTION INSTALLATION AFFIDAVIT**

BLDG. PERMIT NUMBER: \_\_\_\_\_

JOB SITE ADDRESS: 37 High Pt. Rd.

CONTRACTOR/OWNER: Scott J Holmes Inc.

PHONE NUMBER: 772-220-4780

QUALIFIER NAME: Scott Holmes

LICENSE NUMBER: CGC055859

I Scott Holmes, do hereby affirm:  
Owner or Contractor - Please print name

The following impact protection was used as per the 2004 FBC 1609.1.4 for all exterior glazed openings at the above referenced job site.

Impact Resistant Glass

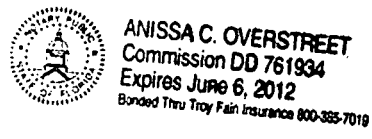
Approved Shutters

**That I personally observed the complete installation of all hurricane panel/shutters on the above referenced project and further affirm that they are fitted properly for the openings they are intended to protect.**

\_\_\_\_\_  
Signature of Owner or Contractor      Date: 6/09/10

Sworn to and subscribed before me this  
9 Day of JUNE 20 10

By Scott Holmes  
Anissa Overstreet  
Notary Public, State of Florida Notary Seal/Stamp



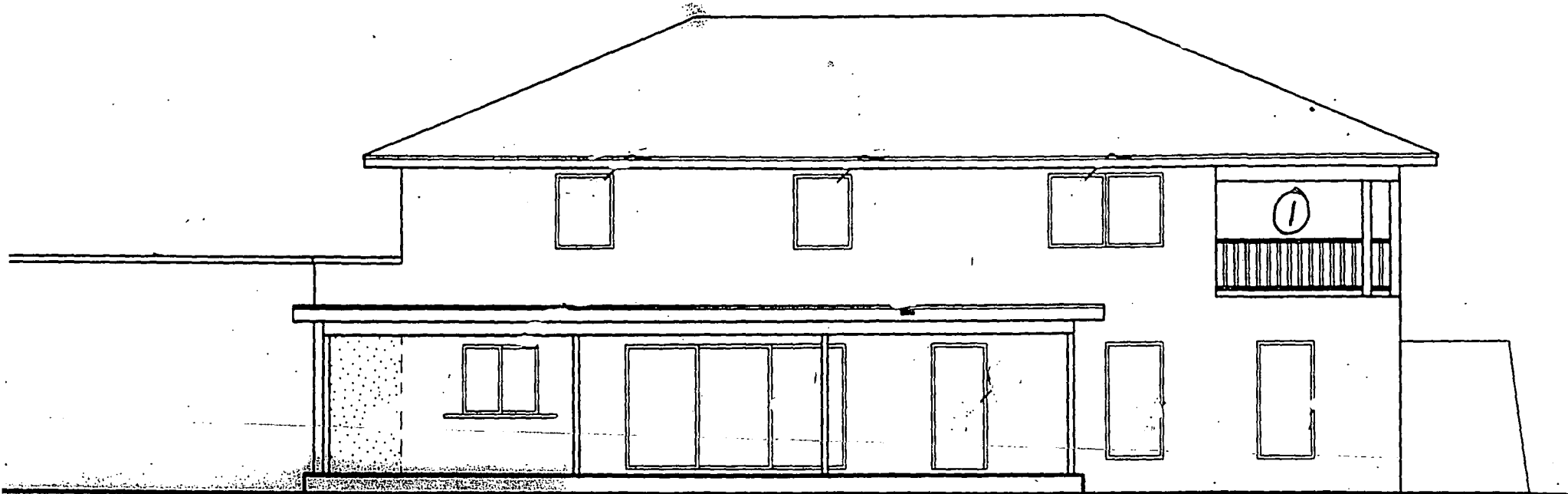
Personally known to me

Produced ID \_\_\_\_\_

Type \_\_\_\_\_

**Sewall' Point Building Department will inspect the structural attachment of the panel rails and/or the shutter assembly attachment to the building, per the manufacturer's product approvals, ASCE 7-02 and the 2004 Florida Building code at final inspection.**





BACK ELEVATION

- ACCORDIAN
- ① 96" x 96"
  - ② 96" x 120" ACCORDIAN



SIDE ELEVATION



**MIAMI-DADE COUNTY**  
 BUILDING CODE COMPLIANCE OFFICE (BCCO)  
 PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
 METRO-DADE FLAGLER BUILDING

140 WEST FLAGLER STREET, SUITE 1603  
 MIAMI, FLORIDA 33130-1563  
 (305) 375-2901 FAX (305) 375-2908

[www.buildingcodeonline.com](http://www.buildingcodeonline.com)

**NOTICE OF ACCEPTANCE (NOA)**

**EZ Home Improvements, Inc.**  
 18505 SW 104<sup>th</sup> Avenue (Bay #7)  
 Miami, Florida 33157

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: HT-100 / Aluminum Accordion Shutter**

**APPROVAL DOCUMENT:** Drawing No. 05-341, titled "HT-100 Aluminum Accordion Shutter", sheets 1 through 7 of 7, prepared by Thornton-Tomasetti Group, dated 10/17, 2002, last revision #2 dated 12/20/2004, signed and sealed by V. J. Knezevich, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1, evidence submitted page(s) as well as approval document mentioned above.

The submitted documentation was reviewed by **Helmy A. Makar, P.E.**



*Helmy A. Makar*  
 06/23/2005

NOA No 05-0524.01  
 Expiration Date: 06/23/2010  
 Approval Date: 06/23/2005

**EZ Home Improvements, Inc.**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**A. DRAWINGS**

1. *Drawing No. 05-341, titled "HT-100 Aluminum Accordion Shutter", sheets 1 through 7 of 7, prepared by Thornton-Tomasetti Group, dated 10/17/02, last revision #2 dated 12/20/2004, signed and sealed by V. J. Knezevich, P.E. on 04/14/2005.*

**B. TESTS**

1. *See Association's generic approval under 02-0799.*

**C. CALCULATIONS**

1. *See Association's generic approval under 02-0799.*

**D. QUALITY ASSURANCE**

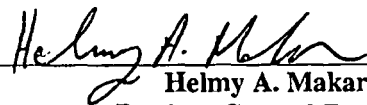
1. *By Miami-Dade County Building Code Compliance Office.*

**E. MATERIAL CERTIFICATIONS**

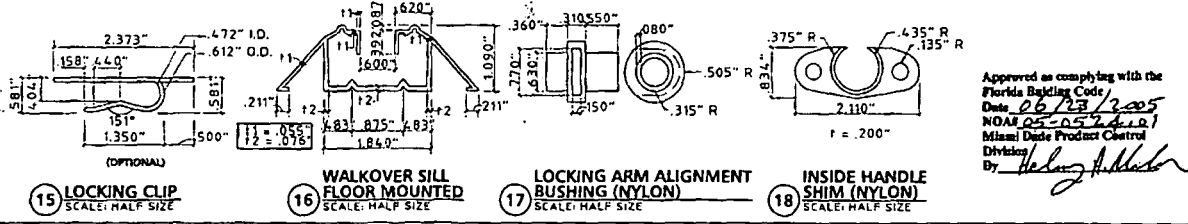
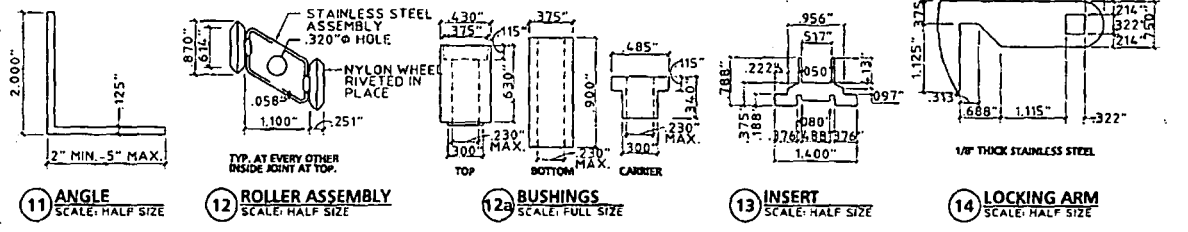
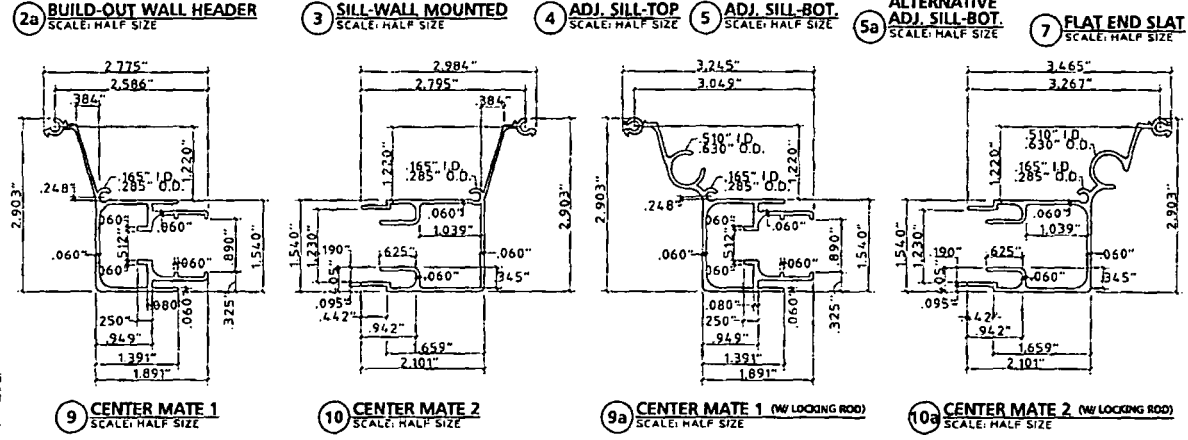
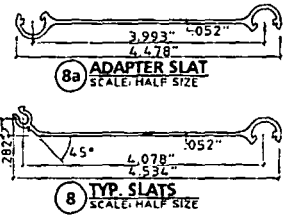
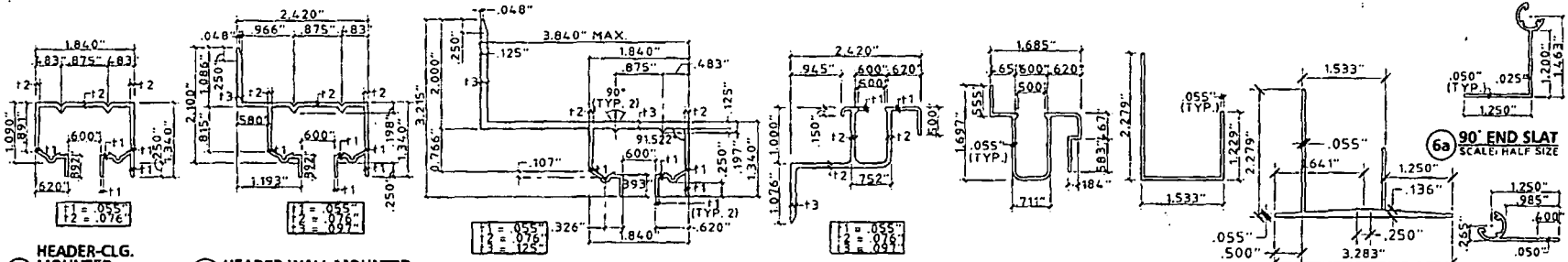
1. *See Association's generic approval under 02-0799.*

**F. STATEMENTS**

1. *Release letter issued by Hi-Tech Shutter Group, Inc., dated April 14, 2005, certifying this product to meet the criteria of product tested and approved, and allowing EZ Home Improvements, Inc. to use the test results approved under Miami-Dade County Approval No. 02-0799, signed by Frank S. Cornelius.*
2. *Acknowledgment letter by Home Improvements, Inc., dated April 18, 2005, signed by Elmer Zimbelmann.*
3. *Statement letter of conformance by Thornton-Tomasetti Group, dated April 14, 2005, certifying that the drawing (No. 05-341) prepared for Home Improvements, Inc., signed and sealed by Mr. V. J. Knezevich, P.E., is engineering wise identical to Hi-Tech Shutter Group, Inc. generic drawing (No. 02-458).*



**Helmy A. Makar, P. E.**  
**Product Control Examiner**  
**NOA No 05-0524.01**  
**Expiration Date: 06/23/2010**  
**Approval Date: 06/23/2005**



- GENERAL NOTES:**
- THESE APPROVAL DOCUMENTS REPRESENT A SHUTTER SYSTEM ANALYZED WITH THE PROVISION SET FOR THE ISSUANCE OF A NOTICE OF ACCEPTANCE (NOA) BY MIAMI-DADE COUNTY PRODUCT CONTROL DIVISION FOR THE FLORIDA BUILDING CODE, 2001 WITH 2002 AND 2003 REVISIONS.
  - TO VERIFY THAT THE ANCHORS AS TESTED, ARE NOT OVERSTRESSED IN THESE APPROVAL DOCUMENTS, NO INCREASE IN ALLOWABLE STRESS WAS USED IN THE FASTENER ANALYSIS.
  - DETERMINE THE POSITIVE AND NEGATIVE DESIGN LOADS TO USE WHEN REFERENCING THESE DOCUMENTS IN ACCORDANCE WITH THE GOVERNING CODE AND GOVERNING WIND VELOCITY. FOR WIND LOAD CALCULATIONS IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2001 WITH 2002 AND 2003 REVISIONS A DIRECTIONALITY FACTOR OF  $R_g = 0.85$  SHALL BE USED.
  - THESE APPROVAL DOCUMENTS ARE GENERIC AND DO NOT INCLUDE INFORMATION FOR SITE-SPECIFIC APPLICATION OF THIS SHUTTER SYSTEM.
  - USE OF THESE APPROVAL DOCUMENTS SHALL COMPLY WITH CHAPTER 61G15-23 OF THE FLORIDA ADMINISTRATIVE CODE.
  - THESE APPROVAL DOCUMENTS ARE SUITABLE TO BE APPLIED BY THE CONTRACTOR PROVIDED THE CONTRACTOR DOES NOT DEVIATE FROM THE CONDITIONS DETAILED HEREIN AND THE CONTRACTOR VERIFIES THAT THE EXISTING STRUCTURE DOES NOT DEVIATE IN EITHER FORM OR MATERIAL FROM THE STRUCTURAL SUBSTRATES DETAILED HEREIN.
  - ANY MODIFICATIONS OR ADDITIONS TO THESE APPROVAL DOCUMENTS WILL VOID THE APPROVAL DOCUMENTS.
  - WHEN THE SITE CONDITIONS DEVIATE FROM THESE APPROVAL DOCUMENTS, THE BUILDING OFFICIAL MAY ELECT ONE OF THE FOLLOWING OPTIONS:
    - REQUIRE THAT SITE SPECIFIC DOCUMENTS BE PREPARED, SIGNED, DATED AND SEALED BY A LICENSED ENGINEER OR REGISTERED ARCHITECT, WHICH DETAIL AND JUSTIFY THE DEVIATION. SAID DOCUMENTS SHALL BE SUBMITTED TO THE PRODUCT ENGINEER FOR REVIEW AS A CONDITION TO THE BUILDING OFFICIAL GRANTING HIS/HER APPROVAL.
    - REQUIRE THAT A ONE-TIME SITE SPECIFIC APPROVAL BE APPLIED FOR AND SECURED FROM THE MIAMI-DADE COUNTY PRODUCT CONTROL DIVISION.
 WHEN THE SITE CONDITION DEVIATIONS OCCUR WITHIN THE HIGH VELOCITY HURRICANE ZONE AREAS, ONLY OPTION "B" SHALL BE ACCEPTED BY THE BUILDING OFFICIAL.
  - EACH SHUTTER ASSEMBLY SHALL BE PERMANENTLY LABELED AS FOLLOWS:  
EZ HOME IMPROVEMENTS  
MIAMI, FLORIDA  
MIAMI-DADE COUNTY PRODUCT APPROVED
  - ALL SHUTTERS SHALL HAVE A LOCKING MECHANISM AT CENTER OR SIDE CLOSURE WITHIN 18" OF CENTER (VERT.). LOCKING MECHANISM SHALL BE LOCKED TO PROVIDE HURRICANE PROTECTION.
  - STORM SHUTTER EXTRUSIONS SHOWN SHALL BE 6063-T6 ALUMINUM ALLOY, U.O.N.
  - ALL SCREWS AND BOLTS TO BE 2024-T4 ALUMINUM ALLOY, STAINLESS STEEL, OR GALVANIZED STEEL WITH A MINIMUM TENSILE STRENGTH OF 80 K.S.I., U.O.N. POP RIVETS TO BE 3/16" Ø, 5052 ALUM. ALLOY, U.O.N.
  - TOP AND BOTTOM DETAILS MAY BE INTERCHANGED AS FIELD CONDITIONS REQUIRE.
  - FLOOR TRACKS MAY BE REMOVABLE AT NON-STACKING LOCATIONS. USE REMOVABLE ANCHORS SUCH AS POWERS CALK-IN ANCHORS.
  - THIS SHUTTER SYSTEM IS PATENTED WITH THE U.S. PATENT AND TRADEMARK OFFICE, PATENT NO. 5,755,270.

Approved as complying with the Florida Building Code  
Date 06/23/2005  
NOA# 05-0524101  
Miami Dade Product Control Division  
By Walter H. Miller

**Thomton-Tomasetti Group**  
330 N. Andrews Ave., Suite 450, Ft. Lauderdale, FL 33309  
Tel: (954) 332-6990 Fax: (954) 332-3691 CO.# 17319  
Website: www.TheTTGroup.com  
Copyright © 2003, Thomton-Tomasetti Group, Inc.  
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**HT-100 ALUMINUM ACCORDION SHUTTER**  
**EZ HOME IMPROVEMENTS**  
18505 S.W. 104TH AVENUE, BAY 7  
MIAMI, FL 33157  
PHONE: 305-235-6562  
FAX: 305-235-6301

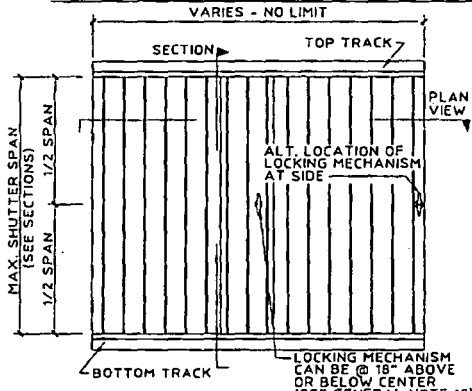
V.J. Knezevich  
Professional Engineer  
FL License No. 0010593

APR 14 2005

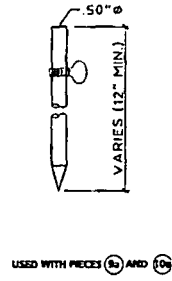
REVISIONS  
DATE  
BY  
DESCRIPTION

DATE: 10/17/2002  
AS NOTED  
BY: VJK  
CHECKED BY: VJK

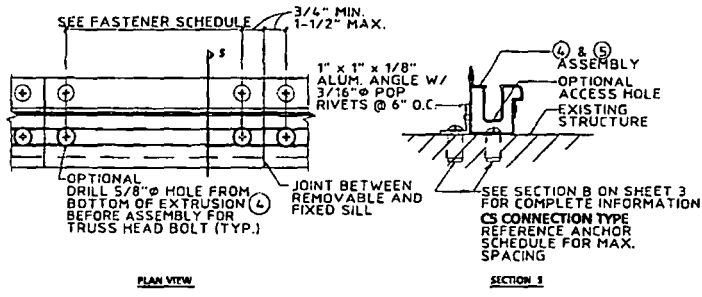
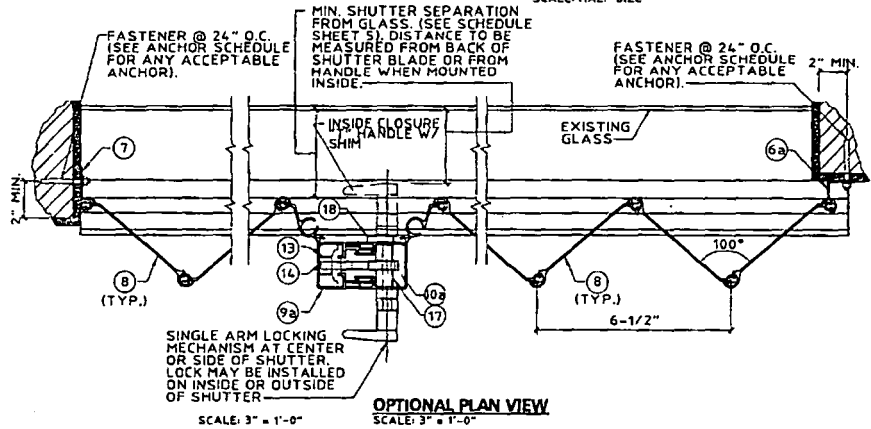
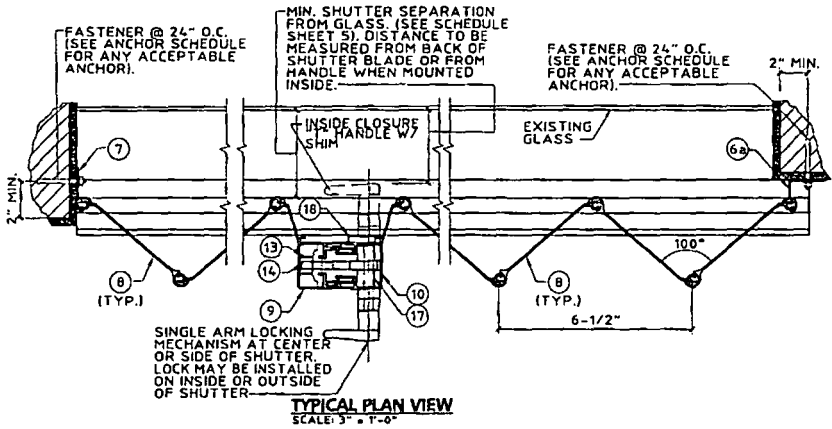
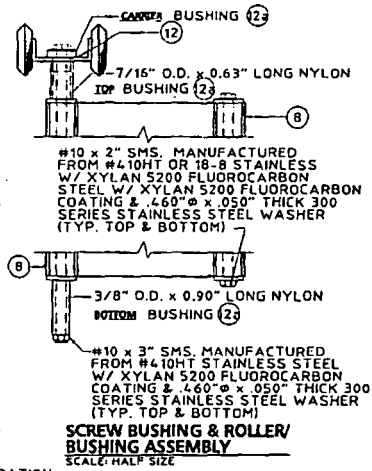
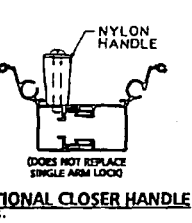
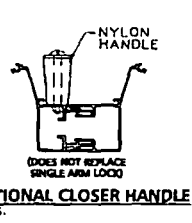
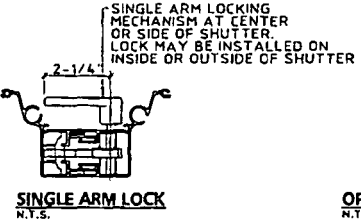
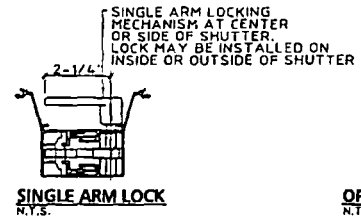
HTSC I.D. # 0341402458D  
05-341  
sheet 1 of 7



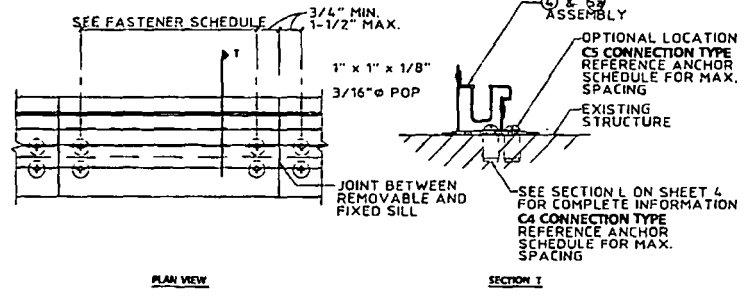
TYPICAL ELEVATION N.T.S.



LOCKING PIN SCALE: 1-1/2" = 1'-0"



REMOVABLE FLOOR TRACK DETAIL SCALE: 3" = 1'-0"



OPTIONAL REMOVABLE FLOOR TRACK DETAIL SCALE: 3" = 1'-0"

Approved as complying with the Florida Building Code

Date: 06/23/2005

NO. 05-052A-01

Minimal Design Product Control Division

By: *Helmut A. Mader*

**Thornton-Tomasetti Group**

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Website: www.TheTTGroup.com

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---

**HT-100 ALUMINUM ACCORDION SHUTTER**

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MIAMI, FL 33157  
PHONE: 305-235-6562  
FAX: 305-235-6301

---

V.J. Knezevich  
Professional Engineer  
FL License No. 0010983

APR 14 2005

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	11/27/04	VA	ISSUE FOR CONSTRUCTION
2	11/27/04	VA	ISSUE FOR CONSTRUCTION

HTSG I.D. # 0541402438D

DATE: 10/17/2002

AS NOTED

CHKD BY: MCB

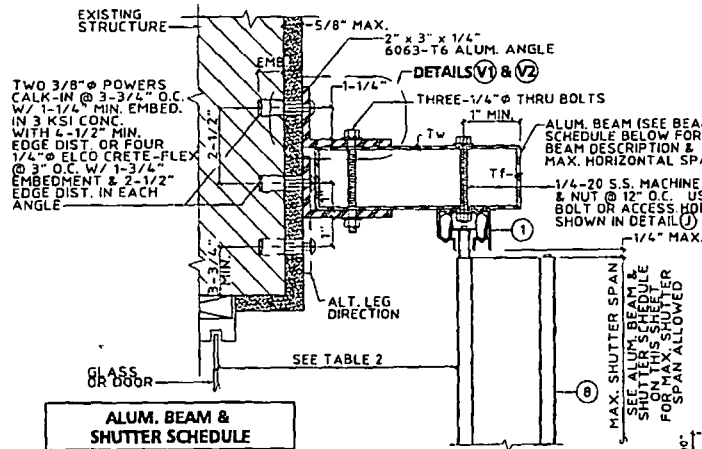
DESIGNED BY: VJK

SCALE: 05-341

sheet 2 of 7



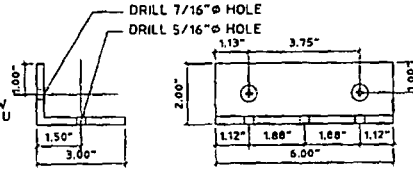




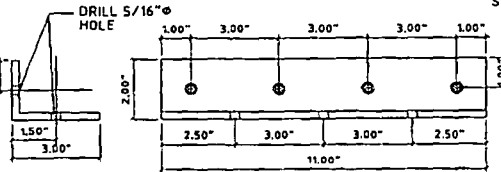
(MAX. DESIGN LOAD = 72 PSF)  
**H TOP SUPPORT BEAM DETAIL**  
 SCALE: 3" = 1'-0"

- NOTE:**
1. USE BEAM SCHEDULE FOR DETAILS (U) AND (J).
  2. SHUTTER SPAN TO BE LIMITED TO THOSE SHOWN IN TABLE, SHEET 5.
  3. BEAM SPAN SHALL BE CONSIDERED AS THE DISTANCE FROM C OF SUPPORT TO C OF SUPPORT.

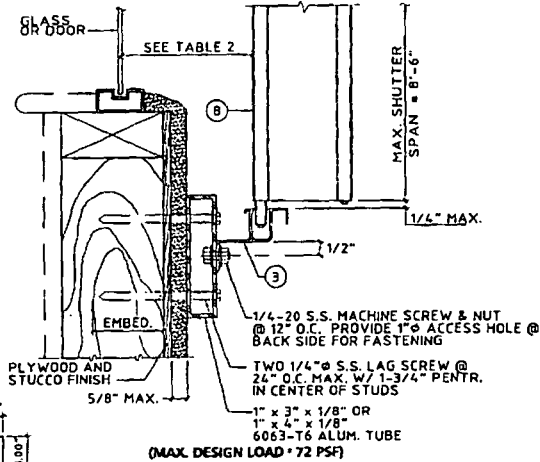
ALUM. BEAM & SHUTTER SCHEDULE		
DESCRIPTION	SHUTTER SPAN	BEAM SPAN
2" x 5"	5'-0"	9'-5"
T <sub>w</sub> = .125"	8'-0"	8'-1"
T <sub>f</sub> = .125"	10'-0"	7'-6"
2" x 8"	5'-0"	14'-0"
T <sub>w</sub> = .072"	8'-0"	11'-6"
T <sub>f</sub> = .224"	10'-0"	10'-4"
2" x 9"	5'-0"	15'-5"
T <sub>w</sub> = .072"	8'-0"	12'-5"
T <sub>f</sub> = .224"	10'-0"	11'-2"



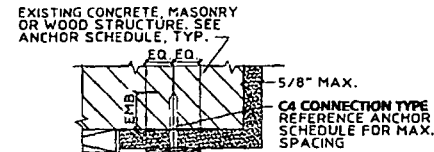
**V1 ANGLE DETAIL USING CALK-IN ANCHOR**  
 SCALE: 3" = 1'-0"



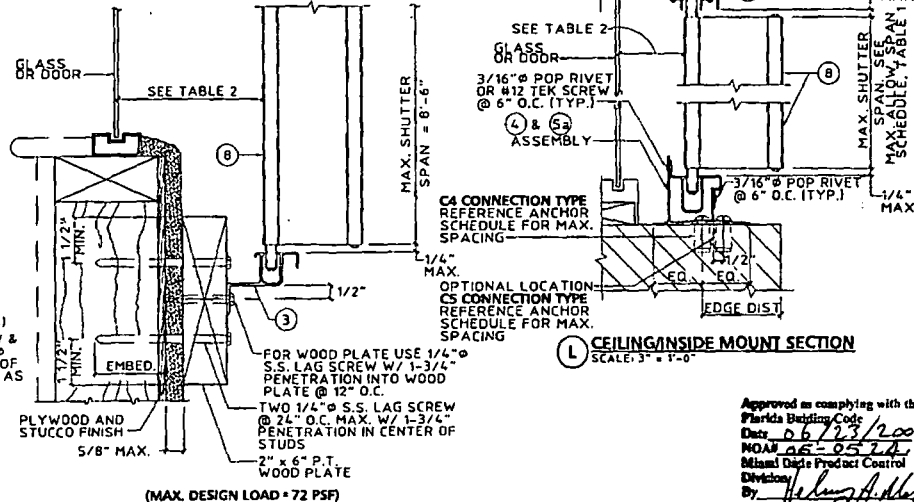
**V2 ANGLE DETAIL USING CRETE-FLEX ANCHOR**  
 SCALE: 3" = 1'-0"



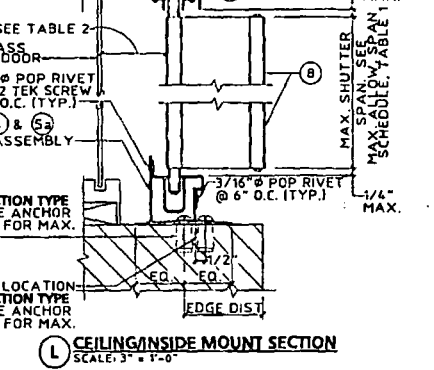
**I WALL MOUNT SECTION - USING ALUM. TUBE**  
 SCALE: 3" = 1'-0"



(MAX. DESIGN LOAD = 72 PSF)  
**J BOTTOM SUPPORT BEAM DETAIL**  
 SCALE: 3" = 1'-0"



(MAX. DESIGN LOAD = 72 PSF)  
**K WALL MOUNT SECTION - USING 2" x 6" P.T. WOOD PLATE**  
 SCALE: 3" = 1'-0"



**L CEILING/INSIDE MOUNT SECTION**  
 SCALE: 3" = 1'-0"

Approved as complying with the Florida Building Code  
 Date: 06/23/2005  
 NOA: 05-0574-01  
 Miami Dade Product Control Division  
 By: *[Signature]*

**Thornton-Tomasetti Group**  
 110 N. Andrews Ave., Suite 450 - Ft. Lauderdale, FL 33309  
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 Website: www.TheTTGroup.com  
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**HT-100 ALUMINUM ACCORDION SHUTTER**  
**EZ HOME IMPROVEMENTS**  
 18505 S.W. 104TH AVENUE, BAY 7  
 MIAMI, FL 33157  
 PHONE: 305-235-6562  
 FAX: 305-235-6901

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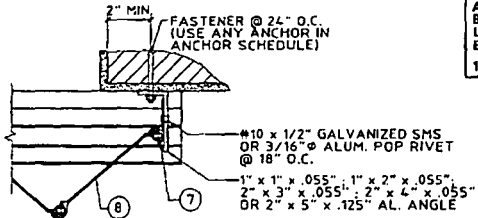
**V.J. Knezevich**  
 Professional Engineer  
 FL License No. 0010993

APR 14 2005

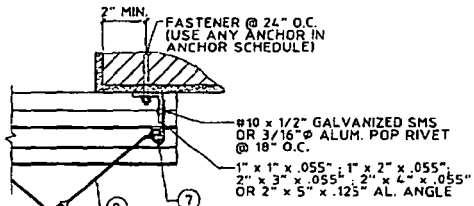
REVISIONS  
 No. Date By Description  
 1 04/14/05 VJK

HTSC I.D. # 0541402458D

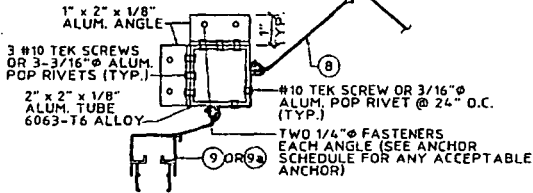
10/17/2002  
 AS NOTED  
 VJK  
 05-341  
 sheet 4 of 7



**M ALT. CLOSURE DETAIL**  
SCALE: 3" = 1'-0"

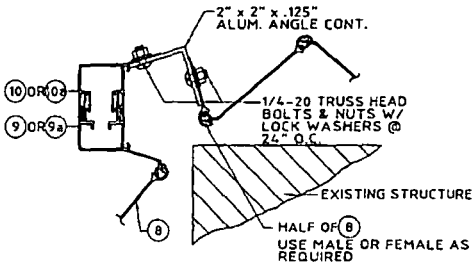


**N ALT. CLOSURE DETAIL**  
SCALE: 3" = 1'-0"



**NOTE:**  
EITHER CONDITION MAY BE TYPICAL FOR EITHER SIDE

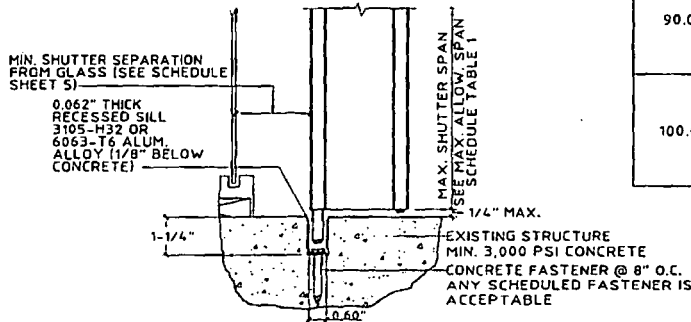
**P CORNER CLOSURE DETAIL**  
SCALE: 3" = 1'-0"



**Q ALT. CORNER CLOSURE DETAIL**  
SCALE: 3" = 1'-0"

MAXIMUM ALLOWABLE SPAN SCHEDULE					
TABLE 1	NEG. DESIGN LOAD (PSF)	TYPE A ALL MOUNTING CONDITIONS EXCEPT (E)(F)(G)	TYPE B DETAIL (B) OR DETAIL (C) W/ SINGLE ANGLE REQUIRED 3-3/4" MAX. B.O. (FT - IN)	TYPE C DETAIL (C) DOUBLE ANGLE REQUIRED 3-3/4" MAX. B.O. (FT - IN)	TYPE D DETAIL (E) 9-3/16" MAX. B.O. (FT - IN)
	30.0	13 - 1	12 - 4	13 - 1	12 - 7
	36.0	13 - 1	11 - 0	13 - 1	11 - 2
	40.0	12 - 11	10 - 8	12 - 5	10 - 11
	48.0	12 - 4	9 - 9	10 - 4	10 - 0
	52.0	12 - 1	9 - 4	9 - 7	9 - 7
	56.0	11 - 11	9 - 0	9 - 0	9 - 3
	61.5	11 - 7	8 - 7	8 - 7	8 - 10
	63.3	11 - 6	8 - 6	8 - 6	8 - 8
	66.0	10 - 11	8 - 3	8 - 3	8 - 5
	67.5	10 - 9	8 - 3	8 - 3	8 - 5
	71.2	10 - 3	8 - 0	8 - 0	8 - 2
	75.0	9 - 8	7 - 8	7 - 8	8 - 0
	81.4	8 - 11	7 - 0	7 - 0	7 - 4
	86.8	8 - 5	6 - 7	6 - 7	6 - 10
	91.4	8 - 0	6 - 3	6 - 3	6 - 6
	100.0	7 - 3	5 - 9	5 - 9	6 - 0
	110.0	6 - 7	5 - 2	5 - 2	5 - 5
	120.0	6 - 1	4 - 9	4 - 9	5 - 0
	130.0	5 - 7	4 - 5	4 - 5	4 - 7
	140.0	5 - 2	4 - 1	4 - 1	4 - 3
	150.0	4 - 10	3 - 10	3 - 10	4 - 0
	160.0	4 - 6	3 - 7	3 - 7	3 - 9
	170.0	4 - 3	3 - 4	3 - 4	3 - 6

- NOTES:**
1. REFERENCE APPROPRIATE COLUMN IN TABLE 1 BASED ON MOUNTING CONDITION IN FIELD.
  2. FOR DESIGN LOADS BETWEEN TABULATED VALUES, USE NEXT HIGHER LOAD OR LINEAR INTERPOLATION MAY BE USED TO DETERMINE ALLOWABLE SPANS.
  3. ENTER TABLE 1 WITH NEGATIVE DESIGN LOAD TO DETERMINE MAX. SHUTTER SPAN.
  4. ENTER TABLE 2 WITH POSITIVE DESIGN LOAD TO DETERMINE MIN. SHUTTER SEPARATION FROM GLASS.



**R ALTERNATE FLOOR MOUNT DETAIL**  
SCALE: 3" = 1'-0"

MINIMUM SHUTTER SEPARATION FROM GLASS (IN)				
TABLE 2	POSITIVE DESIGN LOAD (W) (PSF)	ACTUAL SPAN (FT - IN)	MINIMUM SEPARATION FROM GLASS FOR INSTALLATIONS LESS THAN OR EQUAL TO 30' ABOVE GRADE (INCHES)	MINIMUM SEPARATION FROM GLASS FOR INSTALLATIONS GREATER THAN 30' ABOVE GRADE (INCHES)
30.0	30.0	5 - 0	2-7/8	1-1/2
		7 - 0	2-7/8	1-5/8
		8 - 0	2-7/8	1-5/8
		11 - 0	3	2-1/8
		13 - 1	3-3/4	2-3/4
		5 - 0	2-7/8	1-1/2
40.0	40.0	7 - 0	2-7/8	1-5/8
		8 - 0	2-7/8	1-5/8
		11 - 0	3	2-1/4
		12 - 11	3-3/4	3
		5 - 0	2-7/8	1-1/2
		7 - 0	2-7/8	1-5/8
50.0	50.0	7 - 0	2-7/8	1-3/4
		8 - 0	2-7/8	1-3/4
		11 - 0	3	2-1/2
		12 - 2	3-3/4	3
		5 - 0	2-7/8	1-1/2
		7 - 0	2-7/8	1-5/8
60.0	60.0	8 - 0	2-7/8	1-3/4
		11 - 0	3	1-3/4
		11 - 8	3-3/4	3
		5 - 0	2-7/8	1-1/2
		7 - 0	2-7/8	1-5/8
		7 - 0	2-7/8	1-7/8
70.0	70.0	8 - 0	2-7/8	1-7/8
		9 - 6	3	2-1/4
		10 - 4	3	2-5/8
		5 - 0	2-7/8	1-1/2
		7 - 0	2-7/8	1-3/4
		8 - 0	2-7/8	1-7/8
80.0	80.0	11 - 0	3-1/8	3-1/8
		12 - 1	4	4
		5 - 0	2-7/8	1-1/2
		7 - 0	2-7/8	1-3/4
		8 - 0	2-7/8	2
		11 - 0	3-3/8	3-3/8
90.0	90.0	11 - 6	3-7/8	4
		5 - 0	2-7/8	1-1/2
		7 - 0	2-7/8	1-3/4
		8 - 0	2-7/8	2
		9 - 0	3	2-3/4
		10 - 3	3	3
100.0	100.0	5 - 0	2-7/8	1-1/2
		7 - 0	2-7/8	1-3/4
		8 - 0	2-7/8	2
		9 - 0	3	2-3/4
		10 - 3	3	3
		10 - 3	3	3

Approved as complying with the Florida Building Code  
Date 06/13/2005  
NOAM 05-0524.D1  
Miami Data Product Control  
Division  
By *H. J. Knevezich*

**Thornton-Tomasetti Group**  
330 N. Andrews Ave., Suite 450 - Ft. Lauderdale, FL 33301  
Tel: (954) 572-3690 • Fax: (954) 572-3691 • COA # 7519  
Website: www.thtgroup.com

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MIAMI, FL 33157  
PHONE: 305-235-6562  
FAX: 305-235-6901

V.J. Knevezich  
Professional Engineer  
FL License No. PE 010953

APR 1 2005

REV.	DATE	BY	DESCRIPTION

HTSG I.D. # 0541402458D

date 10/17/2002  
check AS NOTED  
design by VJK  
checked by VJK  
drawing no. 05-341  
sheet 5 of 7

		ANCHOR SCHEDULE																																												
		FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS																																												
EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 2" EDGE DISTANCE								MIN. 3" EDGE DISTANCE																																			
			SPANS UP TO 5'-8"		SPANS UP TO 8'-0"		SPANS UP TO 9'-0"		SPANS UP TO 13'-1"		SPANS UP TO 5'-8"		SPANS UP TO 8'-0"		SPANS UP TO 9'-0"		SPANS UP TO 13'-1"																													
			(SEE NOTE 1)		(SEE NOTE 1)		(SEE NOTE 1)		(SEE NOTE 1)		(SEE NOTE 1)		(SEE NOTE 1)		(SEE NOTE 1)		(SEE NOTE 1)																													
			CONNECTION TYPE (SEE NOTE 3)		CONNECTION TYPE (SEE NOTE 3)		CONNECTION TYPE (SEE NOTE 3)		CONNECTION TYPE (SEE NOTE 3)		CONNECTION TYPE (SEE NOTE 3)		CONNECTION TYPE (SEE NOTE 3)		CONNECTION TYPE (SEE NOTE 3)		CONNECTION TYPE (SEE NOTE 3)																													
CONCRETE	1/4" Ø ITW TAPCON W/ 1-1/4" MIN. EMBEDMENT OMN. 3,100 P.S.I. CONCRETE	45.0	12	12	12	7	12	12	12	8	5	12	12	12	7	4	10	5	5	5	3	12	12	12	12	9	12	12	12	10	6	12	12	12	9	5	11	6	6	6	3					
		57.0	12	12	12	9	6	12	12	12	6	4	11	9	10	6	3	8	3			4	12	12	12	11	7	12	12	12	8	5	12	10	12	7	4	9	3	3	5	3				
		73.0	12	12	12	7	4	10	5	5	5	3	9	4	3	4		8	3			4	12	12	12	9	5	11	6	6	6	4	10	4	4	5	3	9	3	3	5	3				
		105.0	10	5	5	5	3	8	3			4	8	3			4	8	3			4	11	6	6	6	3	9	3	3	5	3	9	3	3	5	3	9	3	3	5	3				
	170.0	8	3			4	8	3			4	8	3			4	8	3			4	9	3	3	5	3	9	3	3	5	3	9	3	3	5	3	9	3	3	5	3					
	1/4" Ø POWERS CALK-IN W/ 7/8" EMBEDMENT & 1/4"-20 STAINLESS STEEL MACHINE SCREW OMN. 3,000 P.S.I. CONCRETE	45.0	12	12	12	12	9	12	12	12	9	6	12	12	12	8	6	12	9	9	5	4	12	12	12	12	12	12	12	12	10	12	12	12	12	9	12	11	11	9	6					
		57.0	12	12	12	10	7	12	12	12	7	5	12	12	12	6	4	12	5	4	4	3	12	12	12	11	12	12	12	12	8	12	12	12	10	7	12	6	6	7	5					
		73.0	12	12	12	8	5	12	9	9	5	4	12	6	6	5	3	12	5	4	4	3	12	12	12	12	8	12	12	11	9	6	12	8	8	8	5	12	6	6	7	5				
		105.0	12	9	8	5	4	12	5	4	4	3	12	5	4	4	3	12	5	4	4	3	12	11	11	9	6	12	6	6	7	5	12	6	6	7	5	12	6	6	7	5				
	170.0	12	5	4	4	3	12	5	4	4	3	12	5	4	4	3	12	5	4	4	3	12	6	6	7	5	12	6	6	7	5	12	6	6	7	5	12	6	6	7	5					
	1/4" Ø POWERS ZAPAC NAIL-IN W/ 1-1/8" MIN. EMBEDMENT OMN. 3,000 P.S.I. CONCRETE	45.0	12	12	12	10	6	12	12	12	7	4	12	12	12	6	4	8	4	4	4	4	12	12	12	7	12	12	12	9	5	12	12	12	8	4	9	5	5	5	3					
		57.0	12	12	12	8	5	10	10	10	5	3	9	7	8	5	3	6	6			3	12	12	12	10	6	12	12	12	7	4	10	8	9	6	3	7			4					
		73.0	11	11	11	6	3	8	4	4	4	4	7	3	3	4	4	6				3	12	12	12	7	4	9	5	5	5	3	8	3	3	4	7				4					
		105.0	8	4	4	4	4	6			3	6	6			3	6	6			3	9	5	4	5	3	7			4	7			4	7			4	7			4				
	170.0	6			3	6			3	6		3	6		3	6		3	6		3	7		4	7		4	7		4	7		4	7		4	7		4	7		4				
	1/4" Ø ELCO MALE/ FEMALE "PANELMATE" W/ 1-1/4" MIN. EMBEDMENT & 1/4"-20 MACHINE SCREW WITH NUT OMN. 3,300 P.S.I. CONCRETE	45.0	12	12	12	12	11	12	12	12	7	12	12	12	11	6	12	8	7	7	4	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	
		57.0	12	12	12	12	8	12	12	12	9	6	12	12	12	8	5	11	4	4	6	3	12	12	12	12	9	12	12	12	11	6	12	12	12	10	6	12	4	4	7	4				
		73.0	12	12	12	10	6	12	8	8	7	4	12	5	5	6	4	11	4	4	6	3	12	12	12	12	7	12	8	8	8	5	12	6	5	7	4	12	4	4	7	4				
		105.0	12	7	7	7	4	11	4	4	6	3	11	4	4	6	3	11	4	4	6	3	12	8	7	8	5	12	4	4	7	4	12	4	4	7	4	12	4	4	7	4				
	170.0	11	4	4	6	3	11	4	4	6	3	11	4	4	6	3	11	4	4	6	3	12	4	4	7	4	12	4	4	7	4	12	4	4	7	4	12	4	4	7	4					
1/4" Ø ELCO TEXTIRON HEX-FLANGE TAPCON/ HEX HEAD TAPCON W/ 1-3/4" EMBED OMN. 3,320 P.S.I. CONCRETE	45.0	12	12	12	12	11	12	12	12	7	12	12	12	11	7	12	8	8	7	4	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12		
	57.0	12	12	12	12	8	12	12	12	9	6	12	12	12	8	5	12	4	4	6	3	12	12	12	12	11	12	12	12	12	7	12	12	12	12	7	12	12	12	10	7	12	6	5	7	4
	73.0	12	12	12	10	6	12	8	8	7	4	12	6	5	6	4	12	4	4	6	3	12	12	12	12	8	12	11	10	9	6	12	7	7	8	5	12	6	5	7	4					
	105.0	12	8	8	7	4	12	4	4	6	3	12	4	4	6	3	12	4	4	6	3	12	10	10	9	6	12	6	5	7	4	12	6	5	7	4	12	6	5	7	4					
170.0	12	4	4	6	3	12	4	4	6	3	12	4	4	6	3	12	4	4	6	3	12	6	5	7	4	12	6	5	7	4	12	6	5	7	4	12	6	5	7	4						
1/4" Ø ELCO CRETE FLEX W/ 1-3/4" MIN. EMBEDMENT OMN. 3,350 P.S.I. CONCRETE	45.0	12	12	12	12	11	12	12	12	7	12	12	12	11	7	12	8	8	7	4	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12		
	57.0	12	12	12	12	8	12	12	12	9	6	12	12	12	8	5	12	4	4	6	3	12	12	12	12	11	12	12	12	12	7	12	12	12	12	7	12	12	12	10	7	12	6	5	7	4
	73.0	12	12	12	10	6	12	8	8	7	4	12	6	5	6	4	12	4	4	6	3	12	12	12	12	8	12	11	10	9	6	12	7	7	8	5	12	6	5	7	4					
	105.0	12	8	8	7	4	12	4	4	6	3	12	4	4	6	3	12	4	4	6	3	12	10	10	9	6	12	6	5	7	4	12	6	5	7	4	12	6	5	7	4					
170.0	12	4	4	6	3	12	4	4	6	3	12	4	4	6	3	12	4	4	6	3	12	6	5	7	4	12	6	5	7	4	12	6	5	7	4	12	6	5	7	4						

		ANCHOR SCHEDULE																				
		FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS																				
EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 3/4" EDGE DISTANCE																			
			SPANS UP TO 5'-8"		SPANS UP TO 8'-0"		SPANS UP TO 9'-0"		SPANS UP TO 13'-1"													
			(SEE NOTE 1)		(SEE NOTE 1)		(SEE NOTE 1)		(SEE NOTE 1)													
			CONNECTION TYPE (SEE NOTE 3)		CONNECTION TYPE (SEE NOTE 3)		CONNECTION TYPE (SEE NOTE 3)		CONNECTION TYPE (SEE NOTE 3)													
WOOD	1/4" Ø WOOD LAG W/ 1-3/4" MIN. THREADED PENETRATION SHEAR PARALLEL OR PERP. TO WOOD GRAIN	45.0	12	12	12	9	7	12	12	12	6	5	12	12	12	5	4	12	9	9	3	3
		57.0	12	12	12	7	5	12	12	12	5	3	12	12	12	4	3	12	5	4	3	
		73.0	12	12	12	5	4	12	9	9	3	3	12	6	6	3		12	5	4	3	
		105.0	12	9	8	3	3	12	5	4	3		12	5	4	3		12	5	4	3	
170.0	12	5	4	3	12	5	4	3		12	5	4	3		12	5	4	3				

SEE PAGE 7 FOR ANCHOR NOTES

Approved as complying with the Florida Building Code  
 Date: 06/23/2005  
 NOA# 05-0574-01  
 Miami Dade Product Control  
 Division: *[Signature]*

**Thornton-Tomasetti Group**

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**HT-100 ALUMINUM ACCORDION SHUTTER**

**EZ HOME IMPROVEMENTS**  
 16505 S.W. 104TH AVENUE, BAY 7  
 MIAMI, FL 33157  
 PHONE: 305-235-6562  
 FAX: 305-235-6301

V.J. Knezevich  
 Professional Engineer  
 FL License # 90010941

APR 14 2005

REVISIONS	DATE	BY	CHKD

HTJSC I.D. # 0541402438D

Date: 10/17/2002

AS NOTED  
 Drawn by: MCR  
 Check by: VJK  
 Division: VJK

Drawing No:  
**05-341**

Sheet 6 of 7

# ANCHOR SCHEDULE

FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS

EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 2" EDGE DISTANCE																MIN. 3" EDGE DISTANCE																										
			SPANS UP TO 5'-8"				SPANS UP TO 8'-0"				SPANS UP TO 9'-0"				SPANS UP TO 13'-1"				SPANS UP TO 5'-8"				SPANS UP TO 8'-0"				SPANS UP TO 9'-0"				SPANS UP TO 13'-1"														
			(SEE NOTE 1)				(SEE NOTE 1)				(SEE NOTE 1)				(SEE NOTE 1)				(SEE NOTE 1)				(SEE NOTE 1)				(SEE NOTE 1)				(SEE NOTE 1)														
			CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)														
	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5										
HOLLOW CONCRETE BLOCK		45.0	12	12	12	7	4	9	9	9	5	3	8	8	8	4	5	3	3	3	12	12	12	8	5	10	10	10	6	3	9	5	9	5	3	6	3	3	3						
		57.0	10	10	10	5	3	7	7	7	4	6	5	5	3	4	11	11	11	6	4	8	8	8	4	7	5	6	4	8	8	8	4	7	5	6	4	5	3						
		73.0	7	7	7	4	5	3	3	3	4	4	4	4	4	4	11	11	11	6	4	8	8	8	5	3	6	3	3	3	5	3	3	3	3	3	3	3	3	3					
		105.0	5	5	5	3	4	4	4	4	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3					
170.0	4	4	4	3	4	4	4	4	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3							
HOLLOW CONCRETE BLOCK		45.0	12	12	12	7	4	9	9	9	5	3	8	8	8	4	5	3	3	3	12	12	12	7	4	12	12	12	8	5	12	12	12	7	4	12	12	12	7	4	4	4	5	3	
		57.0	10	10	10	4	3	7	7	7	4	6	5	5	3	4	11	11	11	6	4	8	8	8	5	3	6	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3			
		73.0	10	10	10	4	3	7	7	7	4	6	5	5	3	4	11	11	11	6	4	8	8	8	5	3	6	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3		
		105.0	7	7	7	4	5	3	3	3	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3		
170.0	5	5	5	3	4	4	4	4	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3			
HOLLOW CONCRETE BLOCK		45.0	12	12	12	7	4	9	9	9	5	3	8	8	8	4	5	3	3	3	12	12	12	7	4	12	12	12	8	5	12	12	12	7	4	12	12	12	7	4	4	4	4	5	3
		57.0	9	9	9	6	3	6	6	6	4	6	4	5	3	4	11	11	11	6	4	8	8	8	5	3	6	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	
		73.0	7	7	7	4	5	3	3	3	4	4	4	4	4	4	11	11	11	6	4	8	8	8	5	3	6	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3
		105.0	5	5	5	3	4	4	4	4	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3
170.0	4	4	4	3	4	4	4	4	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	
HOLLOW CONCRETE BLOCK		45.0	12	12	12	7	4	9	9	9	5	3	8	8	8	4	5	3	3	3	12	12	12	7	4	12	12	12	8	5	12	12	12	7	4	12	12	12	7	4	4	4	4	5	3
		57.0	10	10	10	5	3	7	7	7	4	6	5	5	3	4	11	11	11	6	4	8	8	8	5	3	6	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3
		73.0	10	10	10	4	3	7	7	7	4	6	5	5	3	4	11	11	11	6	4	8	8	8	5	3	6	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3
		105.0	7	7	7	4	5	3	3	3	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3
170.0	5	5	5	3	4	4	4	4	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	
HOLLOW CONCRETE BLOCK		45.0	12	12	12	7	4	9	9	9	5	3	8	8	8	4	5	3	3	3	12	12	12	7	4	12	12	12	8	5	12	12	12	7	4	12	12	12	7	4	4	4	4	5	3
		57.0	10	10	10	5	3	7	7	7	4	6	5	5	3	4	11	11	11	6	4	8	8	8	5	3	6	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3
		73.0	10	10	10	4	3	7	7	7	4	6	5	5	3	4	11	11	11	6	4	8	8	8	5	3	6	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3
		105.0	7	7	7	4	5	3	3	3	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3
170.0	5	5	5	3	4	4	4	4	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	
HOLLOW CONCRETE BLOCK		45.0	12	12	12	7	4	9	9	9	5	3	8	8	8	4	5	3	3	3	12	12	12	7	4	12	12	12	8	5	12	12	12	7	4	12	12	12	7	4	4	4	4	5	3
		57.0	10	10	10	5	3	7	7	7	4	6	5	5	3	4	11	11	11	6	4	8	8	8	5	3	6	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3
		73.0	10	10	10	4	3	7	7	7	4	6	5	5	3	4	11	11	11	6	4	8	8	8	5	3	6	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3
		105.0	7	7	7	4	5	3	3	3	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3
170.0	5	5	5	3	4	4	4	4	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3		
HOLLOW CONCRETE BLOCK		45.0	12	12	12	7	4	9	9	9	5	3	8	8	8	4	5	3	3	3	12	12	12	7	4	12	12	12	8	5	12	12	12	7	4	12	12	12	7	4	4	4	4	5	3
		57.0	10	10	10	5	3	7	7	7	4	6	5	5	3	4	11	11	11	6	4	8	8	8	5	3	6	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	
		73.0	10	10	10	4	3	7	7	7	4	6	5	5	3	4	11	11	11	6	4	8	8	8	5	3	6	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3
		105.0	7	7	7	4	5	3	3	3	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3
170.0	5	5	5	3	4	4	4	4	4	4	4	4	4	4	11	11	11	6	4	8	8	8	6	3	5	3	3	3	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3		

### ANCHOR NOTES:

- SPANS AND LOADS SHOWN HERE ARE FOR DETERMINING ANCHOR SPACING ONLY. ALLOWABLE STORM SHUTTER SPANS FOR SPECIFIC LOADS MUST BE LIMITED TO THOSE SHOWN IN TABLE 1, PAGE 5.
- ENTER ANCHOR SCHEDULE BASED ON THE EXISTING STRUCTURE MATERIAL, ANCHOR TYPE AND EDGE DISTANCE. SELECT DESIGN LOAD GREATER THAN OR EQUAL TO NEGATIVE DESIGN LOAD ON SHUTTER AND SELECT SPAN GREATER THAN OR EQUAL TO SHUTTER SPAN.
- EXISTING STRUCTURE MAY BE CONCRETE, HOLLOW BLOCK OR WOOD FRAMING. REFERENCE ANCHOR SCHEDULE FOR PROPER ANCHOR TYPE BASED ON TYPE OF EXISTING STRUCTURE AND APPROPRIATE CONNECTION TYPE. SEE MOUNTING SECTION DETAILS FOR IDENTIFICATION OF CONNECTION TYPE.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDES WALL FINISH OR STUCCO.
- WHERE EXISTING STRUCTURE IS WOOD FRAMING, WOOD FRAMING CONDITIONS VARY. FIELD VERIFY THAT FASTENERS ARE INTO ADEQUATE WOOD FRAMING MEMBERS, NOT PLYWOOD. FASTENING TO PLYWOOD IS ACCEPTABLE ONLY FOR SIDE CLOSURE PIECES.

- WHERE LAG SCREWS FASTEN TO NARROW FACE OF STUD FRAMING, FASTENER SHALL BE LOCATED IN CENTER OF NOMINAL 2" x 4" (MIN.) WOOD STUD. 3/4" EDGE DISTANCE IS ACCEPTABLE FOR WOOD FRAMING. WOOD STUD SHALL BE "SOUTHERN PINE" G-0.55 OR GREATER DENSITY. LAG SCREWS SHALL HAVE PHILLIPS PAN HEAD OR HEX HEAD.
- MACHINE SCREWS SHALL HAVE MINIMUM OF 1/2" ENGAGEMENT OF THREADS IN BASE ANCHOR AND MAY HAVE EITHER A PAN HEAD, TRUSS HEAD, OR WAFER HEAD (SIDEWALK BOLT), U.O.N.
- DESIGNATES ANCHOR CONDITIONS WHICH ARE NOT ACCEPTABLE USES.
- \* DESIGNATES ANCHORS WHICH ARE REMOVABLE BY REMOVING MACHINE SCREW, NUT OR WASHERED WINGNUT.
- FOR BUILD-OUT MOUNT SECTION (D) ANCHOR SPACING SHALL NOT EXCEED 8-1/2" O.C.
- FOR BUILD-OUT MOUNT SECTION (E) ANCHOR SPACING SHALL NOT EXCEED 6" O.C.

Approved as complying with the Florida Building Code  
 Date: 06/23/2005  
 NOA: 05-05-001  
 Miami Dade Product Control  
 Division: *Helene A. Miller*

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 310 N. Andrews Ave., Suite 450 • Ft. Lauderdale, FL 33301  
 Tel: (954) 572-5690 • Fax: (954) 222-3691 • CO # 7519  
 Website: www.TheTTGroup.com  
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 HIT100 LICENSED BY HI-TECH SHUTTER GROUP, INC.

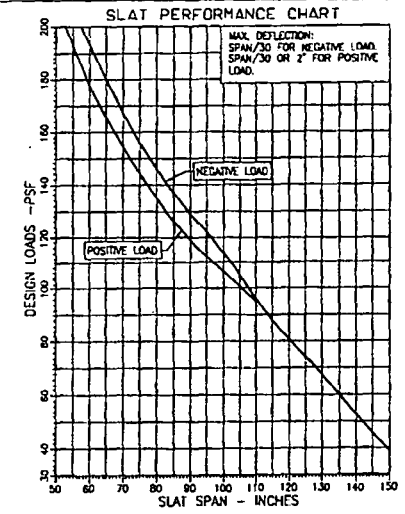
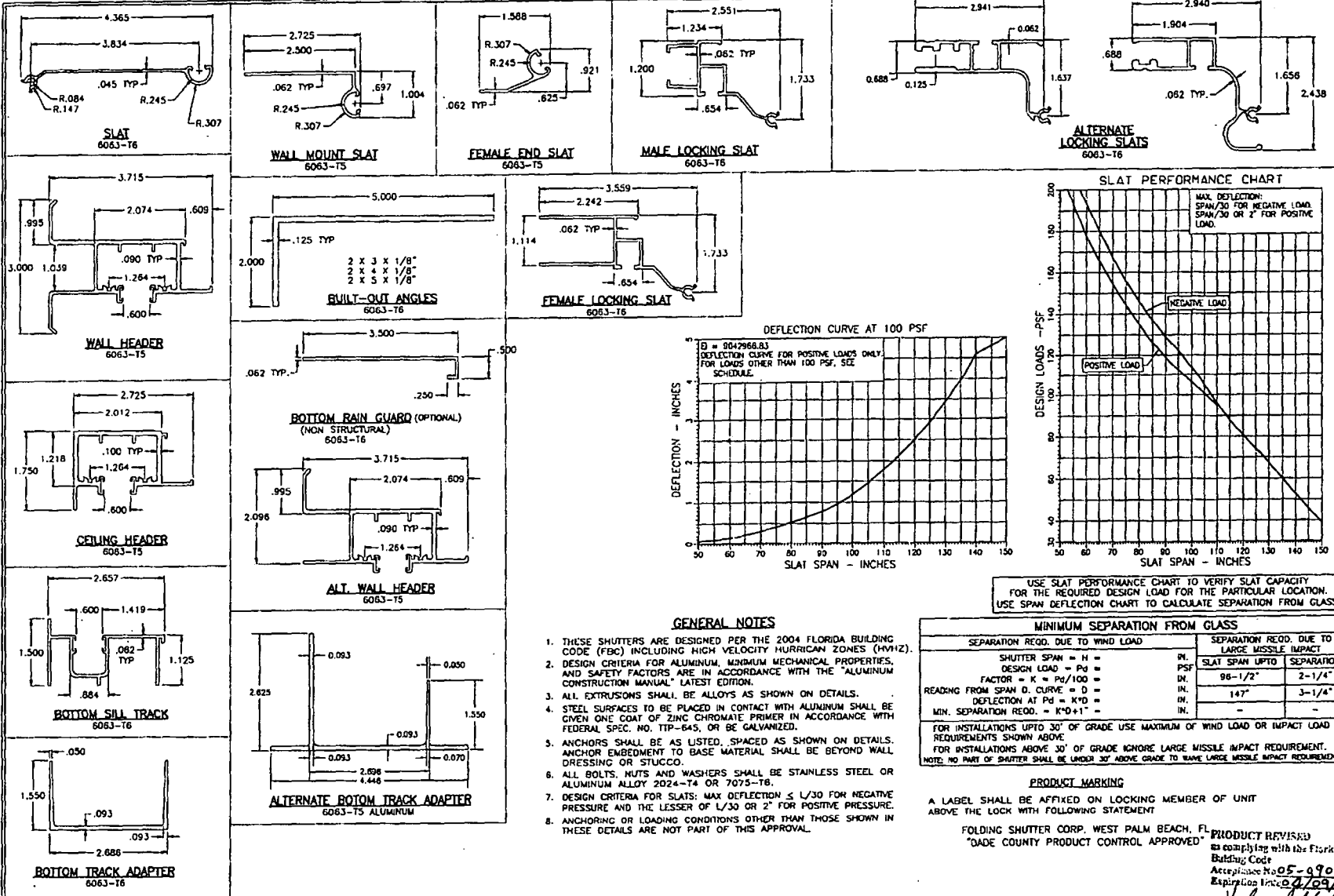
**HT-100 ALUMINUM ACCORDION SHUTTER**  
**EZ HOME IMPROVEMENTS**  
 18505 S.W. 104TH AVENUE, BAY 7  
 MIAMI, FL 33157  
 PHONE: 305-235-6562  
 FAX: 305-235-6501

V.J. Knezevich  
 Professional Engineer  
 FL License No. PE 0010983

APR 14 2005

REVISIONS  
 DATE BY DESCRIPTION  
 10/17/2005  
 HTSC I.D. # 0341402438D

DATE 10/17/2005  
 AS NOTED  
 DRAWING NO. 05-341  
 SHEET 7 OF 7



**GENERAL NOTES**

1. THESE SHUTTERS ARE DESIGNED PER THE 2004 FLORIDA BUILDING CODE (FBC) INCLUDING HIGH VELOCITY HURRICAN ZONES (HVHZ).
2. DESIGN CRITERIA FOR ALUMINUM, MINIMUM MECHANICAL PROPERTIES, AND SAFETY FACTORS ARE IN ACCORDANCE WITH THE "ALUMINUM CONSTRUCTION MANUAL" LATEST EDITION.
3. ALL EXTRUSIONS SHALL BE ALLOYS AS SHOWN ON DETAILS.
4. STEEL SURFACES TO BE PLACED IN CONTACT WITH ALUMINUM SHALL BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER IN ACCORDANCE WITH FEDERAL SPEC. NO. TTP-645, OR BE GALVANIZED.
5. ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
6. ALL BOLTS, NUTS AND WASHERS SHALL BE STAINLESS STEEL OR ALUMINUM ALLOY 2024-T4 OR 7075-T6.
7. DESIGN CRITERIA FOR SLATS: MAX DEFLECTION  $\leq L/30$  FOR NEGATIVE PRESSURE AND THE LESSER OF  $L/30$  OR 2" FOR POSITIVE PRESSURE.
8. ANCHORING OR LOADING CONDITIONS OTHER THAN THOSE SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.

USE SLAT PERFORMANCE CHART TO VERIFY SLAT CAPACITY FOR THE REQUIRED DESIGN LOAD FOR THE PARTICULAR LOCATION. USE SPAN DEFLECTION CHART TO CALCULATE SEPARATION FROM GLASS.

MINIMUM SEPARATION FROM GLASS			
SEPARATION REQD. DUE TO WIND LOAD		SEPARATION REQD. DUE TO LARGE MISSILE IMPACT	
SHUTTER SPAN = H =	IN.	SLAT SPAN UP TO	SEPARATION
DESIGN LOAD = Pd =	PSF	98-1/2"	2-1/4"
FACTOR = K = Pd/100 =	IN.	147"	3-1/4"
READING FROM SPAN D. CURVE = D =	IN.	-	-
DEFLECTION AT Pd = K*D =	IN.	-	-
MIN. SEPARATION REQD. = K*D+1" =	IN.	-	-

FOR INSTALLATIONS UP TO 30' OF GRADE USE MAXIMUM OF WIND LOAD OR IMPACT LOAD REQUIREMENTS SHOWN ABOVE.  
FOR INSTALLATIONS ABOVE 30' OF GRADE IGNORE LARGE MISSILE IMPACT REQUIREMENT.  
NOTE: NO PART OF SHUTTER SHALL BE UNDER 30' ABOVE GRADE TO HAVE LARGE MISSILE IMPACT REQUIREMENT.

**PRODUCT MARKING**

A LABEL SHALL BE AFFIXED ON LOCKING MEMBER OF UNIT ABOVE THE LOCK WITH FOLLOWING STATEMENT  
FOLDING SHUTTER CORP. WEST PALM BEACH, FL.  
"DADE COUNTY PRODUCT CONTROL APPROVED"

**PRODUCT REVISED**  
to comply with the Florida Building Code  
Acceptance No. 05-0908-01  
Expiration Date: 07/09/2018  
By: [Signature]  
Miami Dade Product Control Division

DATE	DATE	DATE	DATE
BY	BY	BY	BY
NO.	NO.	NO.	NO.
REVISION DESCRIPTION	REVISION DESCRIPTION	REVISION DESCRIPTION	REVISION DESCRIPTION
NO.	NO.	NO.	NO.

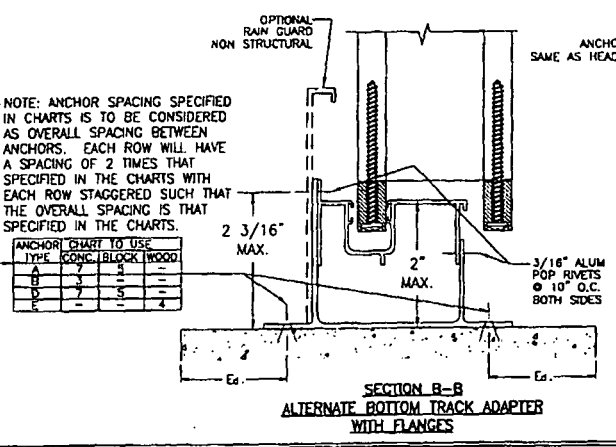
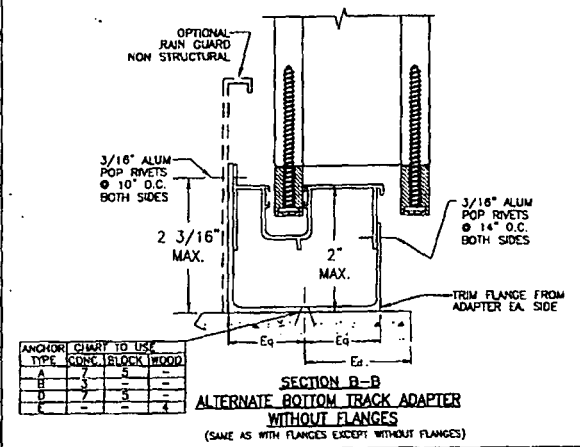
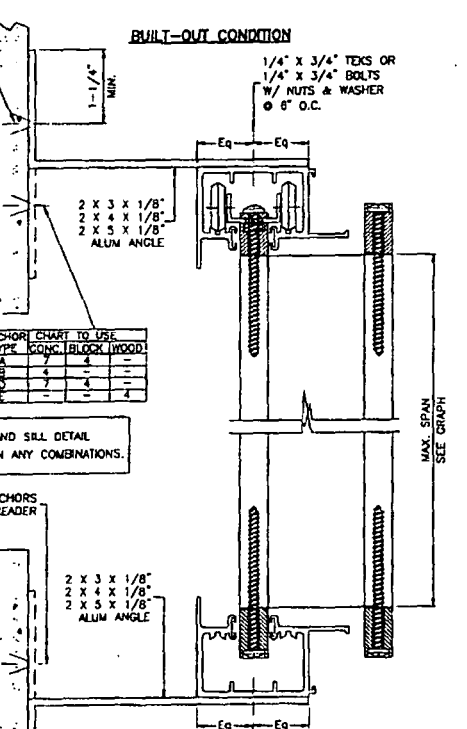
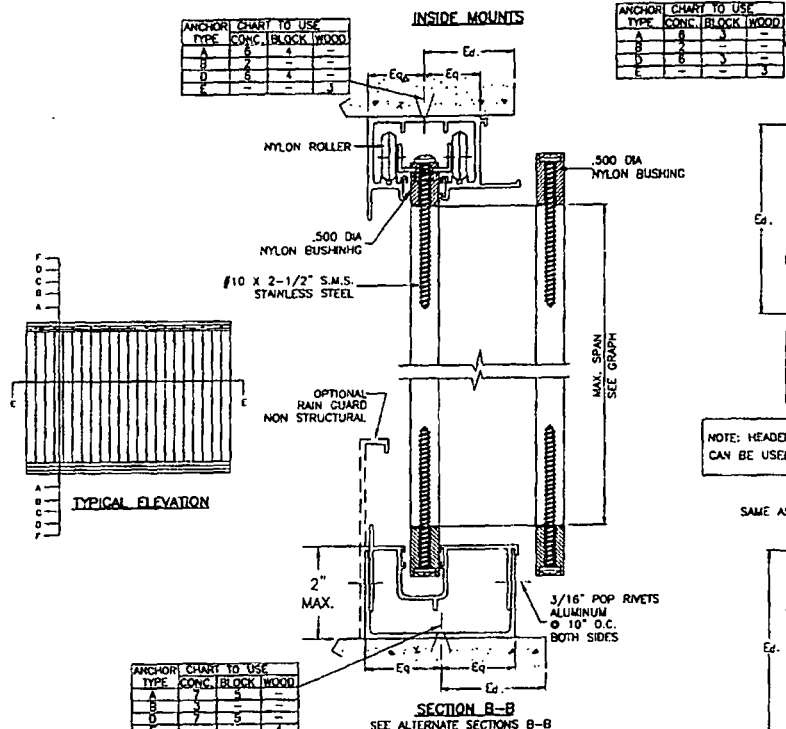
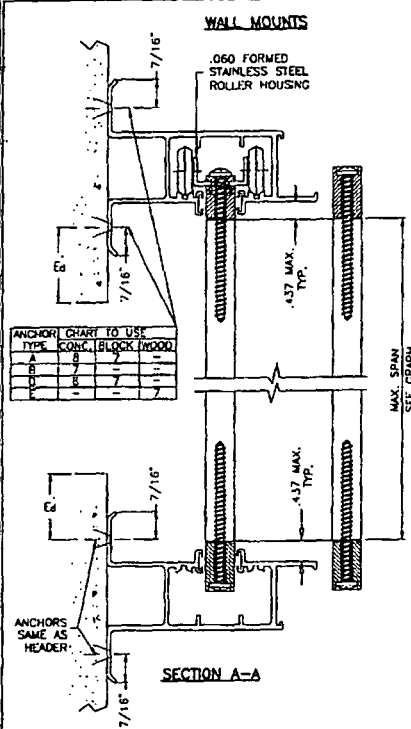
DATE: 10/03/02  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]

**TITAN II FOLDING SHUTTER**  
MANUFACTURER  
FOLDING SHUTTER CORP.  
7089 HEWLETT PLACE  
WEST PALM BEACH, FL 33406  
561-863-4811

CONSULTANTS  
W. W. SCHAEFER ENGINEERING & CONSULTING, P.A.  
6883 N. MILITARY TRAIL, SUITE C-204  
PALM BEACH GARDENS, FL 33410  
PHONE: 561-775-4902 FAX: 561-775-4903

**CERTIFICATION**  
AUG 2 2005  
W. W. SCHAEFER, P.E.  
WARDEN, W. NO. 44133

DRAWING NO. 1173  
SHEET NO. 1 OF 5



NOTE: ANCHOR SPACING SPECIFIED IN CHARTS IS TO BE CONSIDERED AS OVERALL SPACING BETWEEN ANCHORS. EACH ROW WILL HAVE A SPACING OF 2 TIMES THAT SPECIFIED IN THE CHARTS WITH EACH ROW STAGGERED SUCH THAT THE OVERALL SPACING IS THAT SPECIFIED IN THE CHARTS.

NOTE: HEADER AND SILL DETAIL CAN BE USED IN ANY COMBINATIONS.

FOR GENERAL NOTES AND EXTRUSION DETAILS SEE SHEET 1 OF 5. FOR WOOD INSTALLATIONS SEE SHEET 4 OF 5. FOR ANCHOR CHARTS SEE SHEET 5 OF 5.

Ed = TYPICAL EDGE DISTANCE  
CONC. & BLOCK = 12d (12 ANCHOR DIAMETERS)  
WOOD = 5d  
FOR LESSER EDGE DISTANCES SEE SHEET 5 OF 5.

ANCHORS: EMBEDMENT & EDGE DISTANCES SHOWN ARE BEYOND THE WALL & FLOOR COVERING (STUCCO, TILES, ETC.)

PRODUCT REVISED as complying with the Florida Building Code  
Acceptance No. 05-0908.01  
Expiration Date 02/09/2011  
By: *W. Schaefer*  
Miami-Dade Building Control Division

NO.	REVISION DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	CHANGED TRACK DIMENSIONS	07/17/09	W.S.	W.S.	10/03/02
2	SECTIONS B-B TO TRACK				
3	HEADS AND SILL SPACING TO 12"				

TITAN II FOLDING SHUTTER

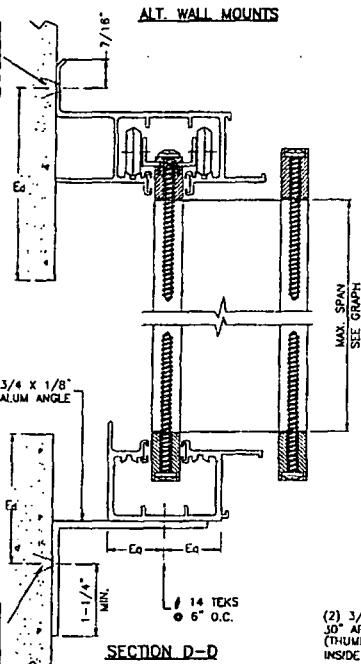
MANUFACTURER  
FOLDING SHUTTER CORP.  
7089 HEWSTREET PLACE  
WEST PALM BEACH, FL 33406  
561-683-4811

CONSULTANTS  
W. W. SCHAEFER ENGINEERING & CONSULTING, P.A.  
885 N. MILITARY TRAIL, SUITE C-204  
PALM BEACH GARDENS, FL 33410  
PHONE: 381-775-8922 FAX: 381-775-1903

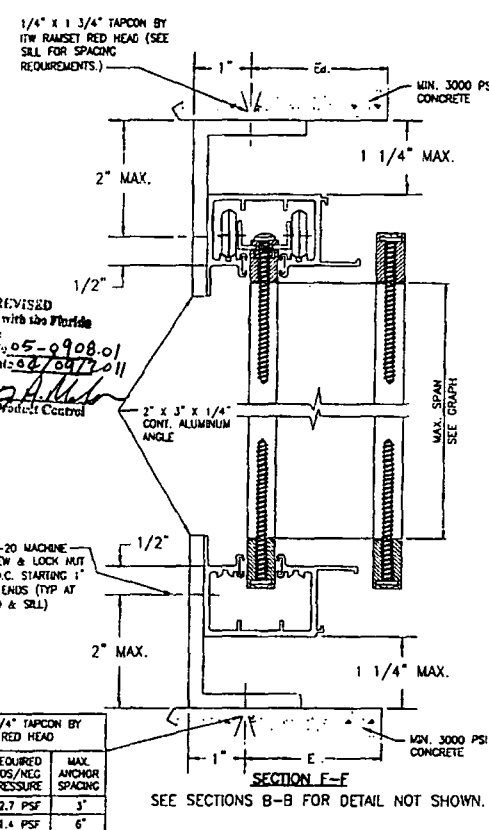
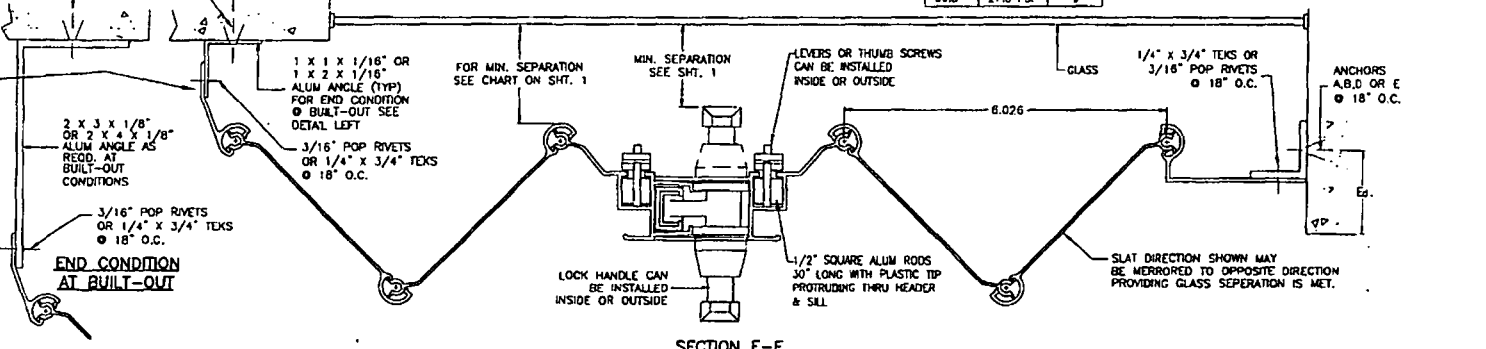
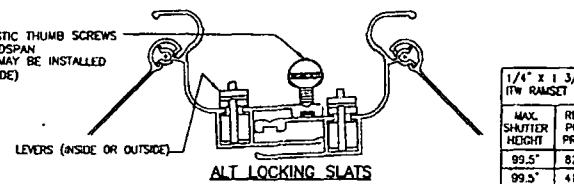
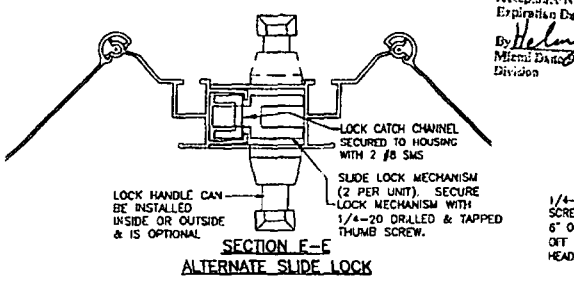
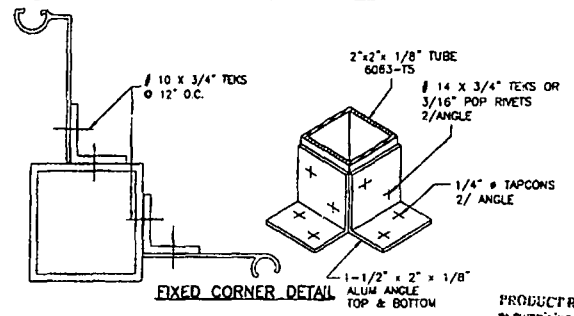
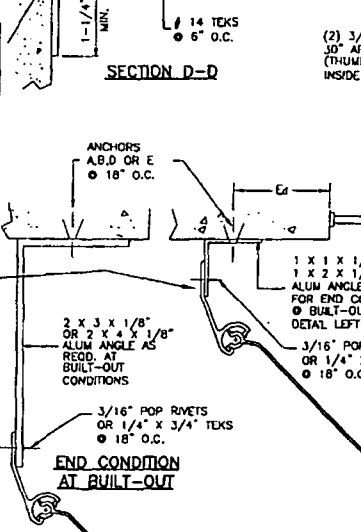
CERTIFICATION  
AUG 7 2005  
W. W. SCHAEFER, P.E.  
W. W. SCHAEFER, P.E. NO. 44135

DRAWING NO. 1173  
SHEET NO. 2 OF 5

ANCHOR CHART TO USE		
TYPE	CONC.	BLOCK WOOD
A	1	2
B	1	2
C	1	2
D	1	2
E	1	2



ANCHOR CHART TO USE		
TYPE	CONC.	BLOCK WOOD
A	1	2
B	1	2
C	1	2
D	1	2
E	1	2



**PRODUCT REVISED**  
 as complying with the Florida  
 Building Code:  
 Acceptance No. 05-0908-01  
 Expiration Date: 3/27/2011  
 By: *Helmut A. Weber*  
 Miami-Dade Public Control  
 Division

1/4" x 1 3/4" TAPCON BY ITW RAMSET RED HEAD	MAX. SHUTTER HEIGHT	REQUIRED POS/NEG PRESSURE	MAX. ANCHOR SPACING
	99.5"	82.7 PSF	3'
	99.5"	41.4 PSF	6'
	99.5"	27.8 PSF	9'

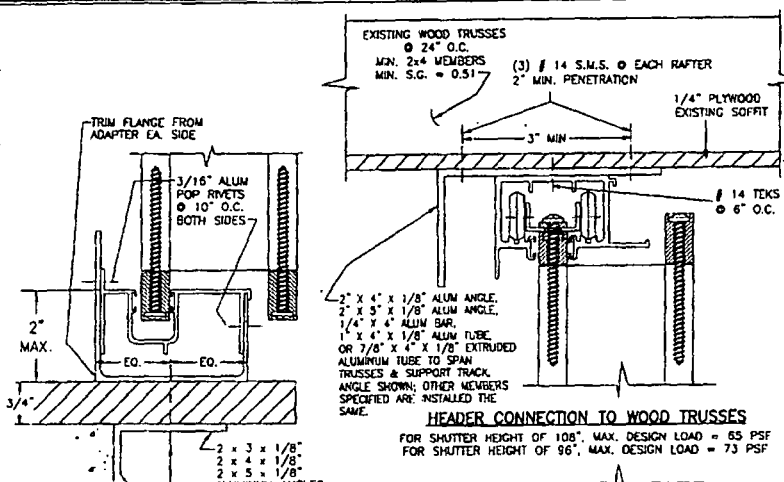
DATE	BY	REVISION DESCRIPTION	DRAWN BY	CHECKED BY
10/03/02	W.S.		W.S.	W.S.
06/27/05	W.S.		W.S.	W.S.

MANUFACTURER  
**TITAN II FOLDING SHUTTER**

CONSULTANTS  
**FOLDING SHUTTER CORP.**  
 7089 HEMSTREET PLACE  
 WEST PALM BEACH, FL 33406  
 561-883-4811

CERTIFICATION  
**AUG 23 2015**  
 WARREN P. SCHAEFER, P.E.  
 NO. 44133

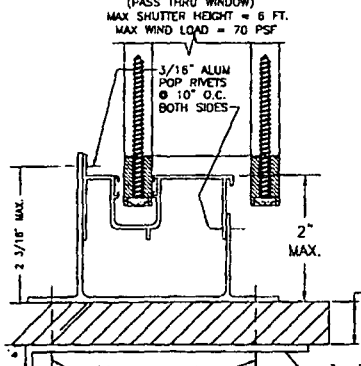
DRAWING NO. REV. 1173 B  
 SHEET NO. 3 of 5



**HEADER CONNECTION TO WOOD TRUSSES**  
 FOR SHUTTER HEIGHT OF 108", MAX. DESIGN LOAD = 65 PSF  
 FOR SHUTTER HEIGHT OF 96", MAX. DESIGN LOAD = 73 PSF

SEE STANDARD  
 COUNTER TOP  
 CONDITION FOR  
 CONNECTION OF  
 ANGLE TO WALL

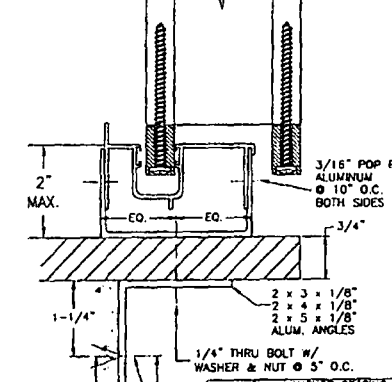
**COUNTER TOP CONDITION  
 WITH ALTERNATE BOTTOM TRACK  
 ADAPTER WITHOUT FLANGES**  
 (PASS THRU WINDOW)  
 MAX SHUTTER HEIGHT = 6 FT.  
 MAX WIND LOAD = 70 PSF



SEE STANDARD COUNTER TOP  
 CONDITION FOR CONNECTION  
 OF ANGLE TO WALL

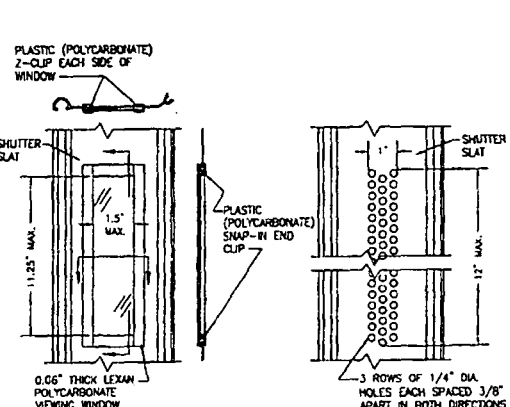
**COUNTER TOP CONDITION  
 WITH ALTERNATE BOTTOM TRACK  
 ADAPTER WITH FLANGES**  
 (PASS THRU WINDOW)  
 MAX SHUTTER HEIGHT = 6 FT.  
 MAX WIND LOAD = 70 PSF

SEE STANDARD COUNTER TOP  
 CONDITION FOR CONNECTION  
 OF ANGLE TO WALL

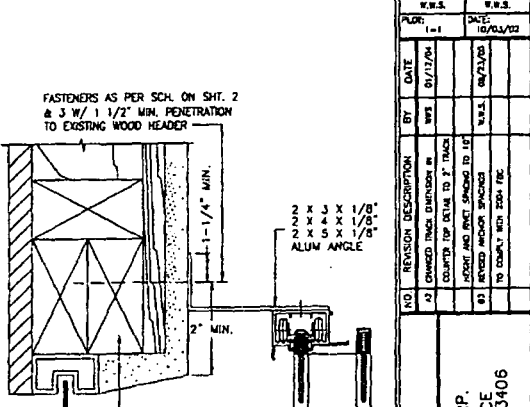


ANCHOR TYPE	ANCHOR SPACING INCHES			
	UP TO 50 PSF	UP TO 70 PSF	UP TO 100 PSF	UP TO 150 PSF
A	12	12	12	12
B	12	12	12	12
C	12	12	12	12
D	12	12	12	12
E	12	12	12	12

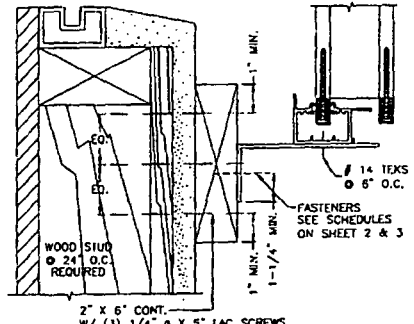
**STANDARD COUNTER TOP CONDITION**  
 (PASS THRU WINDOW)  
 MAX SHUTTER HEIGHT = 6 FT.  
 MAX WIND LOAD = 70 PSF



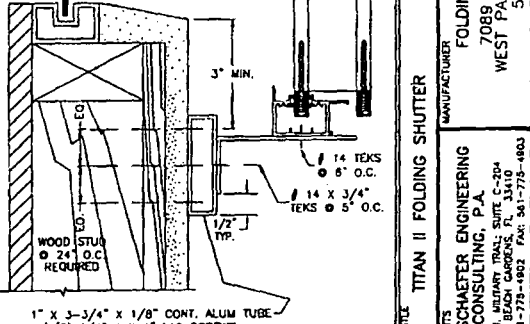
**SLAT WINDOW DETAIL  
 (SMALL MISSILE IMPACT)**  
 TO BE USED ONLY WITH SHUTTERS  
 THAT ARE POSITIONED MIN. 30 FT.  
 ABOVE ESTABLISHED GRADE.  
 2 WINDOWS MAY BE IN ONE SLAT SPACED  
 MIN. 24" APART (MAX. EVERY 10 SLATS)



**SLAT WINDOW DETAIL  
 (LARGE MISSILE IMPACT)**  
 (APPLICABLE AT ALL ELEVATIONS)  
 2 WINDOWS MAY BE IN ONE SLAT SPACED  
 MIN. 24" APART (MAX. EVERY 10 SLATS)



**INSTALLATION DETAIL ON EXISTING WOOD STUDS** SCALE: 1/4"=1"  
 FOR SHUTTER HEIGHT OF 108" MAX. DESIGN LOAD = 46 PSF.  
 FOR SHUTTER HEIGHT OF 96" MAX. DESIGN LOAD = 51 PSF  
 FOR HEADER/SILL DETAILS CONNECTED TO CONTINUOUS WOOD MEMBERS SEE SHEETS 2 & 3.



**INSTALLATION DETAIL ON EXISTING WOOD STUDS** SCALE: 1/4"=1"  
 FOR SHUTTER HEIGHT OF 108" MAX. DESIGN LOAD = 46 PSF.  
 FOR SHUTTER HEIGHT OF 96" MAX. DESIGN LOAD = 51 PSF  
 FOR HEADER/SILL DETAILS CONNECTED TO CONTINUOUS WOOD MEMBERS SEE SHEETS 2 & 3.

PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 05-0908.01  
 Expiration Date: 04/09/2011  
 By: *Heather A. Miller*  
 Miami Dade Product Control  
 Division

NO.	REVISION DESCRIPTION	BY	DATE	DESIGNED BY:	CHECKED BY:
1	CHANGED TRACK DIMENSION IN ADAPTER FOR DELTA TO 1" TRACK	WFS	07/17/04	W.S.S.	10/03/02
2	ADJUST AND DETAIL SHUTTER TO LEF REVISED DESIGN SPECIFICATIONS TO COMPLY WITH 2001 IBC	W.S.S.	06/23/03		

DRAWING TITLE: TITAN II FOLDING SHUTTER

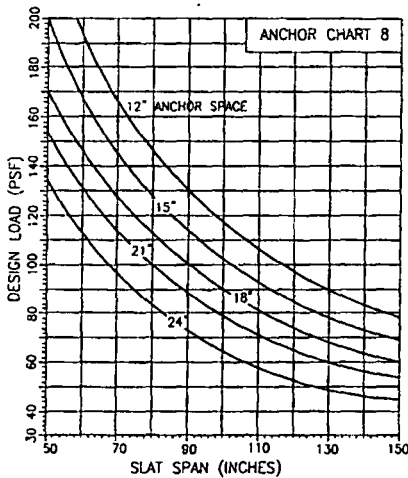
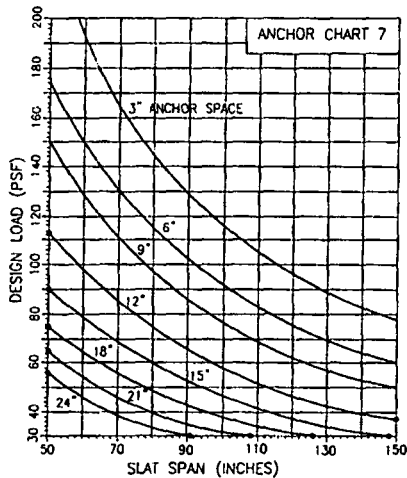
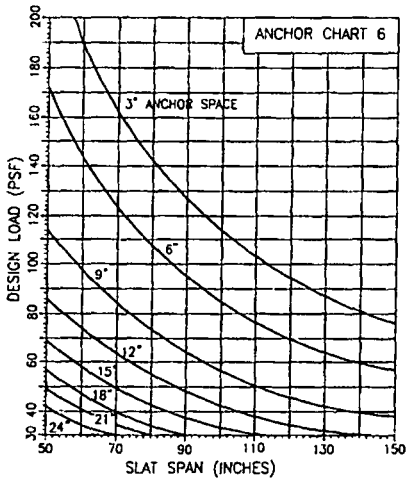
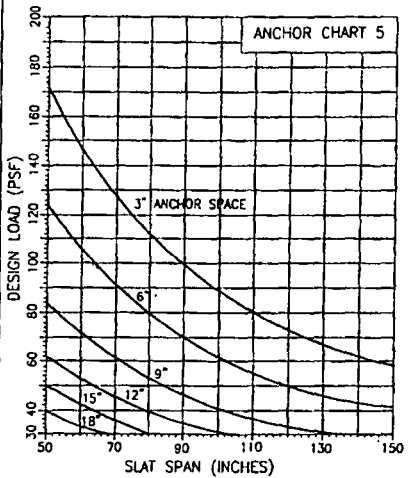
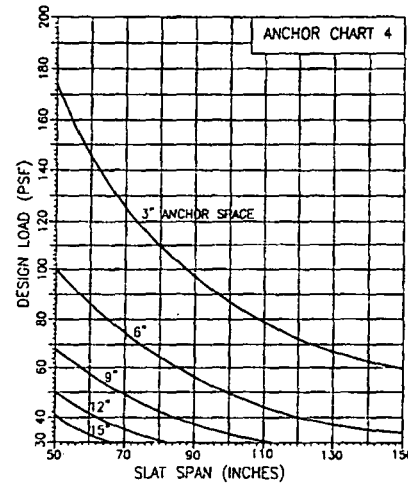
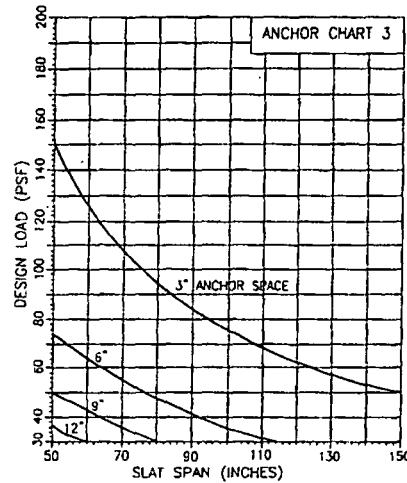
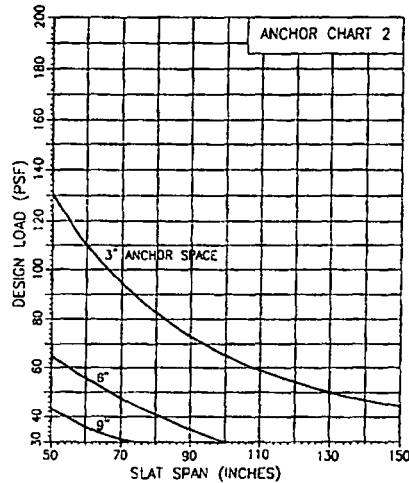
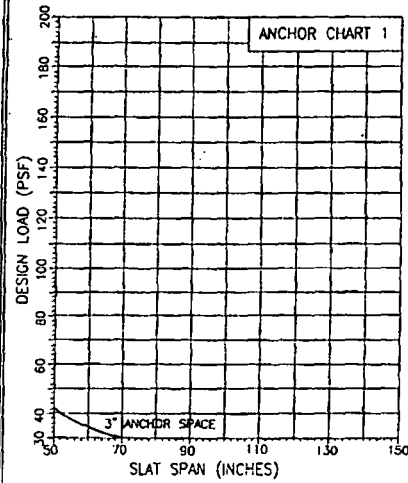
MANUFACTURER: FOLDING SHUTTER CORP.  
 7089 HEMSTREET PLACE  
 WEST PALM BEACH, FL 33406  
 561-683-4811

CONSULTANTS: W. W. SCHAEFER ENGINEERING & CONSULTING, P.A.  
 8885 N. HAZARDY TRAIL, SUITE C-204  
 PALM BEACH GARDENS, FL 33410  
 PHONE: 561-775-4802 FAX: 561-775-4803

CERTIFICATION: AIF 23 0015

DRAWING NO.: 1173  
 SHEET NO.: 4 OF 5





**FASTENER SPACING IN MASONRY**

CHARTS ARE BASED ON TYPICAL EDGE DISTANCE = 12d.  
FOR LESSER EDGE DISTANCE DECREASE SPACING BY  
MULTIPLYING WITH THE FACTOR BELOW

EDGE DIST.	12d=3"	12d=2"	12d=1 1/2"	12d=1"	12d=1/2"
FACTOR	1.00	0.85	0.71	0.57	0.50

EXAMPLE: FOR 3" EDGE DIST. SPACING = 12" O.C. (FROM CHART)  
FOR 2" EDGE DIST. SPACING = 12" X .71 = 8.5 O.C.

TYPICAL EDGE DISTANCE IN WOOD = 1-1/4"  
NO REDUCTION FACTOR IS REQUIRED

- TYPICAL ANCHORS**
- ANCHOR (A) = 1/4" TAPCON (BY ITW RAMSET/RED HEAD):  
1-3/4" EMBEDMENT TO 3000 PSI MIN. CONCRETE  
1-1/4" EMBEDMENT TO BLOCK
  - ANCHOR (B) = #14 S.M.S. W/ RAWL SCRU-LEAD INTO MIN. 3000 PSI CONCRETE:  
1-1/2" EMBEDMENT.
  - ANCHOR (C) = 1/4" RAWL CALK-IN:  
TOTAL ANCHOR BODY INTO BLOCK OR MIN. 3000 PSI CONCRETE.
  - ANCHOR (E) = #14 S.M.S./LAG SCREWS INTO WOOD (S.C. = 0.47):  
1-1/2" MIN. PENETRATION.

USE CHARTS 1 THRU 8 TO VERIFY ANCHOR REQUIREMENTS AND STRESS LIMITATIONS OF LOAD/SPAN COMBINATIONS FOR HEADER AND SILL.

NOTE: ANCHORS, USE FULL EMBEDMENT IN CONCRETE BEYOND THE COVERING (STUCCO, TILES, ETC.)

PRODUCT REVISED as complying with the Florida Building Code.  
Acceptance No. 05-0908.01  
Expiration Date 04/09/2011  
By: *William A. Schaefer*  
William A. Schaefer, P.E.  
Miami Based Product Control Division

NO.	REVISION DESCRIPTION	BY	DATE	DESIGNED BY	DATE
01	REPLACED LOADS IN LOAD TABLES TO COMPLY WITH 2000 IBC	W.A.S.	04/21/05		10/03/02

DRAWING TITLE: TITAN II FOLDING SHUTTER

CONSULTANTS: W. W. SCHAEFER ENGINEERING & CONSULTING, P.A.  
8805 N. HOLBURY TRAIL, SUITE C-204  
PALM BEACH GARDENS, FL 33410  
PHONE: 561-773-8802 FAX: 561-775-8803

MANUFACTURER: FOLDING SHUTTER CORP.  
7085 HEMSTREET PLACE  
WEST PALM BEACH, FL 33406  
561-683-4811

CERTIFICATION: AUG 23 2005

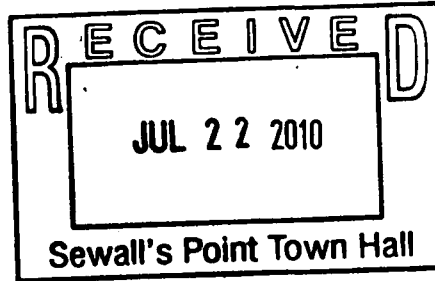
DRAWING NO. 1173  
SHEET NO. 5 of 5

PN 9499

# GRANFIELD ARCHITECTS

1683 N.E. JENSEN BEACH BLVD.  
JENSEN BEACH, FLORIDA 34957  
PHONE: 772-283-6032  
FAX: 772-283-8150

July 22, 2010



Mr. John Adams  
Building Official  
Town of Sewall's Point  
1 S. Sewalls Point Rd  
Stuart, FL 34996

SB 37E High Pt Rd

Re: Proposed hurricane shutter installation @ the Lerner Residence - ~~39 W. High Point Rd~~

Dear Mr. Adams,

I have inspected the hurricane shutter materials proposed for installation at the Lerner residence. The shutters are a folding accordion shutter system manufactured by the "Folding Shutter Corporation" as marked on the product.

The product is used, but in good condition. Based on my inspection, the proposed shutter system appears to be of the same design, materials and construction as indicated in the attached current NOA certificate for the "Folding Shutter Corporation" accordion shutter systems.

Therefore, it my opinion that the shutter system proposed for installation will provide the same protection as the currently approved new system manufactured by the "Folding Shutter Corporation", provided that it is installed per the current NOA requirements.

If there are any other clarifications please do not hesitate to contact me.

Sincerely,

*Stewart Granfield*

Stewart Granfield - NCARB  
Florida, AR92817 - Virginia, 0401-013789  
Granfield Architects, PLLC

*Stewart Granfield*  
7/22/10



**MIAMI-DADE COUNTY**  
**BUILDING CODE COMPLIANCE OFFICE (BCCO)**  
**PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA**  
**METRO-DADE FLAGLER BUILDING**

**140 WEST FLAGLER STREET, SUITE 1603**  
**MIAMI, FLORIDA 33130-1563**  
**(305) 375-2901 FAX (305) 375-2908**

[www.buildingcodeonline.com](http://www.buildingcodeonline.com)

**NOTICE OF ACCEPTANCE (NOA)**

**Folding Shutter Corporation**  
**7089 Hemstreet Place**  
**West Palm Beach, Florida 33413**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: "Titan II" Aluminum Accordion Shutter**

**APPROVAL DOCUMENT:** Drawing No. 1173, titled "Titan II Folding Shutter", sheets 1 through 5 of 5, prepared by W. W. Schaefer Engineering & Consulting, P.A., dated October 03, 2002, last revision B, signed and sealed by W. W. Schaefer, P.E. on August 23, 2005 bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number & expiration date by Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises & renews NOA # 05-0119.01 and consists of this page 1, evidence submitted pages E-1 through E-4 as well as approval document mentioned above.

The submitted documentation was reviewed by **Helmy A. Makar, P.E.**



*Helmy A. Makar*  
 05/04/2006

**NOA No 05-0908.01**  
**Expiration Date: 04/09/2011**  
**Approval Date: 05/04/2006**  
 Page 1

**Folding Shutter Corporation**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**1. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 94-0916.10**

**A. TESTS:**

1. *Test report on Uniform Static Air Pressure Test of Accordion Shutter, prepared by Hurricane Engineering & Testing, Inc., Report No. HETI-94-191, dated 07/15/94, signed and sealed by Arshad Viqar, P.E.*
2. *Test report on Large Missile Impact Test and Cyclic Wind Pressure Test of accordion shutter, prepared by Hurricane Engineering & Testing, Inc., Report No. HETI-94-195, dated 07/16/94, signed and sealed by Arshad Viqar, P.E.*

**B. DRAWINGS:**

1. *Drawing No. 94-63 "Accordion Shutter Details", sheets 1 and 2 of 2, prepared by Al-Farooq Corporation, dated 08/25/94, revised on 10/05/94, signed and sealed by Humayoun Farooq, P.E.*

**C. MATERIAL CERTIFICATION:**

1. *Mill Certified Test Report issued by William L. Bonnell Co., Inc. dated 09/13/94 with chemical composition and mechanical properties for aluminum alloy 6063-T6.*
2. *Tensile Test Report No. HETI-94-T20, prepared by Hurricane Engineering & Testing Inc. dated 09/15/94*

**D. CALCULATIONS:**

1. *Anchor analysis dated 10/06/94, Pages 1 thru 10 of 10, prepared by Al-Farooq Corp., signed and sealed by Humayoun Farooq, P.E.*

**2. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 96-1112.02**

**A. DRAWINGS:**

1. *Drawing prepared by Al-Farooq Corporation titled "Titan II Folding Shutter", Drawing No. 94-63, dated 08/25/94, revision E dated 03/19/98, sheets 1 through 5 of 5, signed and sealed by Humayoun Farooq, P.E.*

**B. TESTS:**

1. *Test report on Uniform Static Air Pressure Test of accordion shutter, prepared by Hurricane Engineering & Testing, Inc., Report No. HETI-96-542, dated 04/17/96, signed and sealed by Hector M. Medina, P.E.*
2. *Test report on Large Missile Impact Test and Cyclic Wind Pressure Test of accordion shutter, prepared by Hurricane Engineering & Testing, Inc., Report No. HETI-96-541, dated 04/03/96, signed and sealed by Hector M. Medina, P.E.*



Helmy A. Makar, P. E.  
Product Control Examiner  
NOA No 05-0908.01  
Expiration Date: 04/09/2011  
Approval Date: 05/04/2006

**Folding Shutter Corporation**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

3. *Test report on Large Missile Impact Test, Cyclic Wind Pressure Test and Uniform Static Air Pressure Test of accordion shutter, prepared by Hurricane Test Laboratory, Inc., Report No. 0143-0806-97, dated 08/08/97, signed and sealed by Timothy S. Marshall, P.E.*

**C. CALCULATIONS:**

1. *Anchor analysis dated 09/30/96, prepared by Al-Farooq Corp., signed and sealed by Humayoun Farooq, P.E.*
2. *Anchor analysis dated 12/22/97, prepared by Al-Farooq Corp., signed and sealed by Humayoun Farooq, P.E.*
3. *Anchor analysis dated 03/19/98, prepared by Al-Farooq Corp., signed and sealed by Humayoun Farooq, P.E.*

**3. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 01-0118.03**

**A. DRAWINGS:**

1. *None.*

**B. TESTS:**

1. *None.*

**C. CALCULATIONS:**

1. *None.*

**D. MATERIAL CERTIFICATION:**

1. *None.*

**4. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 02-1224.03**

**A. DRAWINGS**

1. *Drawing No. 1173, titled "Titan II Folding Shutter", sheets 1 through 5 of 5, prepared by W. W. Schaefer Engineering & Consulting, P.A., dated October 03, 2002, signed and sealed by Warren W. Schaefer, P.E. on June 05, 2003.*

**B. TESTS**

1. *Test report on Large Missile Impact Test, Cyclic Wind Pressure Test and Uniform Static Air Pressure Test of accordion shutter, prepared by Hurricane Test Laboratory, Inc., Report No. 0143-0408-02, dated 11/12/02, signed and sealed by Vinu J. Abraham, P.E.*



Helmy A. Makar, P. E.  
Product Control Examiner  
NOA No 05-0908.01  
Expiration Date: 04/09/2011  
Approval Date: 05/04/2006

**Folding Shutter Corporation**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**C. CALCULATIONS**

1. *Anchor analysis, 12 Pages, prepared by W. W. Schaefer Engineering & Consulting, P.A., dated October 15, 2002, signed and sealed by Warren W. Schaefer, P.E.*

**D. MATERIAL CERTIFICATIONS**

1. *Tensile Test Report No. 2KM-1334, prepared by QC Metallurgical, Inc., dated December 06, 2002.*

**5. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 04-1103.01**

**A. DRAWINGS**

1. *Drawing No. 1173, titled " Titan II Folding Shutter ", sheets 1 through 5 of 5, prepared by W. W. Schaefer Engineering & Consulting, P.A., dated October 03, 2002, last revision A, signed and sealed by Warren W. Schaefer, P.E. on October 28, 2004.*

**B. TESTS**

1. *Test report on Large Missile Impact Test, Cyclic Wind Pressure Test and Uniform Static Air Pressure Test of accordion shutter, prepared by Hurricane Test Laboratory, Inc., Report No. 0143-0408-02, dated 05/07/04, signed and sealed by Vinu J. Abraham, P.E.*

**C. QUALITY ASSURANCE**

1. *By Miami-Dade County Building Code Compliance Office.*

**D. CALCULATIONS**

1. *None.*

**E. MATERIAL CERTIFICATIONS**

1. *Tensile Test Report No. 2KM-1334, prepared by QC Metallurgical, Inc., dated December 06, 2002.*

**6. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 05-0119.01**

**A. DRAWINGS**

1. *Drawing No. 1173, titled " Titan II Folding Shutter ", sheets 1 through 5 of 5, prepared by W. W. Schaefer Engineering & Consulting, P.A., dated October 03, 2002, last revision A, signed and sealed by Warren W. Schaefer, P.E. on January 05, 2005.*

**B. TESTS**

1. *None.*



Helmy A. Makar, P. E.  
Product Control Examiner  
NOA No 05-0908.01

Expiration Date: 04/09/2011  
Approval Date: 05/04/2006

**Folding Shutter Corporation**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**C. QUALITY ASSURANCE**

1. *By Miami-Dade County Building Code Compliance Office.*

**D. CALCULATIONS**

1. *Design analysis and Anchor calculations, 50 Pages, prepared by W. W. Schaefer Engineering & Consulting, P.A., dated January 04, 2005, signed and sealed by Warren W. Schaefer, P.E.*

**E. MATERIAL CERTIFICATIONS**

1. *None.*

**7. NEW EVIDENCE SUBMITTED**

**A. DRAWINGS**

1. *Drawing No. 1173, titled " Titan II Folding Shutter ", sheets 1 through 5 of 5, prepared by W. W. Schaefer Engineering & Consulting, P.A., dated October 03, 2002, last revision B, signed and sealed by Warren W. Schaefer, P.E. on August 23, 2005.*

**B. TESTS**

1. *None.*

**C. QUALITY ASSURANCE**

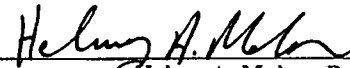
1. *By Miami-Dade County Building Code Compliance Office.*

**D. CALCULATIONS**

1. *Design analysis and Anchor calculations letter prepared by W. W. Schaefer Engineering & Consulting, P.A., dated August 23, 2005, signed and sealed by Warren W. Schaefer, P.E.*

**E. MATERIAL CERTIFICATIONS**

1. *None.*



Helmy A. Makar, P. E.  
Product Control Examiner  
NOA No 05-0908.01  
Expiration Date: 04/09/2011  
Approval Date: 05/04/2006

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection:  Mon  Tue  Wed  Thur  Fri 10-4-2010 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9583 2:30pm	Breheny 6 Reverie Dr Preferred AC	Final - duct	Pass	Support Ducts to Code  INSPECTOR <i>[Signature]</i>
<del>9499</del>	<del>Turner 312 High Pt</del>	<del>Final Shower</del>	<del>Pass</del>	<del>Close</del>  INSPECTOR <i>[Signature]</i>
<del>9570</del>	<del>McMahon 5755 RR Code Red Roofers</del>	<del>in-progress Final</del>	<del>Cancel</del>	  INSPECTOR
Tree	Morris 120 Hillcrest	Tree	OK	  INSPECTOR
9589	Zubensky 10 Mandalay Kraus & Crane	Final AC	Pass	Close  INSPECTOR <i>[Signature]</i>
9543 9AM	Balaw/Williams 6 Gumboumbo Advanced Conc.	insulation	Pass	  INSPECTOR <i>[Signature]</i>
9379 1:30	Balfoot 103 Hillcrest Balfoot Const	in-progress Roof	Pass	  INSPECTOR <i>[Signature]</i>



**10099**

**FENCE**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10099	DATE ISSUED:	05/15/2012
SCOPE OF WORK:	FENCE		
CONTRACTOR:	TREASURE COAST FENCE		
PARCEL CONTROL NUMBER:	133841002-000-002209	SUBDIVISION	HIGH PT - LOT 22
CONSTRUCTION ADDRESS:	37 E HIGH PT RD		
OWNER NAME:	LERNER		
QUALIFIER:	GARY KASPEROWSKI	CONTACT PHONE NUMBER:	286-6694

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10099
ADDRESS	37 E HIGH PT RD - LERNER
DATE : 5/15/12	SCOPE OF WORK   FENCE

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)		s f	

1958

**TREASURE COAST FENCE INC.**  
 2340 SW DEEPWOOD PASS · 772-781-1472  
 PALM CITY, FL 34990

DATE 5/15/12 63-215/631

**TOWN OF SEWALL'S POINT**

PAY TO THE ORDER OF Eighty Four And  $\frac{00}{100}$  \$ 84<sup>00</sup> DOLLARS

SUNTRUST ACH RT 081000104

*[Signature]*

TOTAL BUILDING PERMIT FEE:	\$	
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ACCESSORY PERMIT	Declared Value:	\$	1850
Total number of inspections @ \$75.00 each			75
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:	\$	84	

*PA*  
*CK# 1958*



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10099
ADDRESS	37 E HIGH PT RD - LERNER
DATE : 5/15/12	SCOPE OF WORK FENCE

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)		s.f.	
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)		s.f.	
Total square feet remodel with new trusses: @ \$90.78 per sq. ft.		\$	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)		\$	
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	

ACCESSORY PERMIT	Declared Value:	\$	
Total number of inspections @ \$75.00 each			75
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	84

*PK*  
*CK# 1958*

Town of Sewall's Point

Date: \_\_\_\_\_ BUILDING PERMIT APPLICATION Permit Number: 10099

OWNER/LESSEE NAME: LENER, HYUNJIN + LADA Phone (Day) 283-2667 (Fax) 561-630-2435

Job Site Address: 37 E. Highpoint St City: Sewalls Pt State: FL Zip: 34596

Legal Description: High Point Lot 22 Parcel Control Number: 13 38 41-002-000-00220-9

Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

\*SCOPE OF WORK (PLEASE BE SPECIFIC): Reconfigure/Install 6' Alum Fence

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES \_\_\_\_\_ NO

Has a Zoning Variance ever been granted on this property? YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_ (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 1850 (Notice of Commencement required when over \$2500 prior to first inspection. \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10  AE9  AE8  FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: TREASURE COAST FENCE FENC Phone: 286-6694 Fax: 283-4560

Qualifiers name: GARY KASPEROWSKI Street: 2340 DEERWOOD PASS City: PALM CITY State: FL Zip: 34590

State License Number: \_\_\_\_\_ OR: Municipality: MARTIN License Number: MCFF06181

LOCAL CONTACT: \_\_\_\_\_ Phone Number: \_\_\_\_\_

DESIGN PROFESSIONAL: \_\_\_\_\_ Fla. License# \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof: \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_

\* Enclosed non-habitable areas (e.g., Pool, Hot Tub, etc.) greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

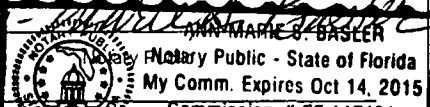
- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

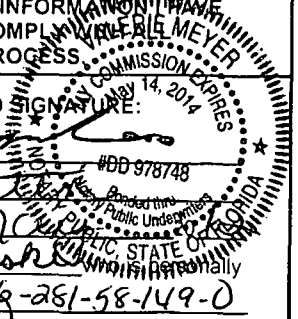
OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE: X [Signature] State of Florida, County of: Martin On This the 10 day of May, 2012 by Hyunjin Lener who is personally known to me or produced

As identification: [Signature] My Commission Expires: \_\_\_\_\_



CONTRACTOR/LICENSEE NOTARIZED SIGNATURE: X [Signature] State of Florida, County of: Martin On This the 10 day of May, 2012 by Gary A Kasperowski known to me or produced [Signature]

As identification: [Signature] My Commission Expires: \_\_\_\_\_



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida  
Laurel Kelly, C.F.A**

*generated on 5/14/2012 10:36:59 AM EDT*

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-002-000-00220-9	27710	37 E HIGH POINT RD, SEWALL'S POINT	\$551,580	5/5/2012

**Owner Information**

<b>Owner(Current)</b>	LERNER HYUNJIN & LADDA
<b>Owner/Mail Address</b>	37 E HIGHPOINT RD STUART FL 34996
<b>Sale Date</b>	2/16/2007
<b>Document Book/Page</b>	2223 1597
<b>Document No.</b>	1993583
<b>Sale Price</b>	650000

**Location/Description**

<b>Account #</b>	27710	<b>Map Page No.</b>	SP-06
<b>Tax District</b>	2200	<b>Legal Description</b>	HIGH POINT LOT 22
<b>Parcel Address</b>	37 E HIGH POINT RD, SEWALL'S POINT		
<b>Acres</b>	.5440		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120000 HighPoint - Sewall's Point

**Assessment Information**

<b>Market Land Value</b>	\$220,000
<b>Market Improvement Value</b>	\$331,580
<b>Market Total Value</b>	\$551,580



MARTIN COUNTY BUILDING DEPARTMENT  
900 S.W. RUFFNER STREET  
STUART, FL 34994  
(772) 288-4916  
FAX (772) 288-4911

**EASEMENT AGREEMENT**

Date: 5/7/12

Gentlemen:

I propose to apply for a Martin County permit to erect a 6' FENCE  
In the (utility/drainage) easement on my property located at 37 E. Highpoint St  
SEWALLS PT., FL

LEGAL DESCRIPTION: LOT 22, BLOCK \_\_\_\_\_, SUBDIVISION \_\_\_\_\_

(Brief description of dimensions and location from property lines)

APP. 42' - 6' Fencing on SE corner of property

In the event you have no objection to this project, please complete this form and return to me at:

Address: FAX 772-283-4580

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

I understand your company will not be responsible in any way for repair or replacement of any portion of this FENCE and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

X Signed: [Signature] X Phone: 561-301-4600

**FOLLOWING TO BE COMPLETED BY UTILITY COMPANY**

We agree to the proposed construction under the circumstances described above.

Company: Comcast  
By: TIM KORNDEBERGER  
Title: Sr Field Coordinator

**CALL  
SUNSHINE  
48 HOURS BEFORE  
DIGGING  
1-800-432-4770**

Company records indicate that a potential conflict  DOES  DOES NOT exist. The conflict is: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

05/07/2012 10:30 FAX 772 283 4000

001



MARTIN COUNTY BUILDING DEPARTMENT  
900 SE BUENCKE STREET  
STUART, FL 34994  
(772) 288-5916  
FAX (772) 288-5911

**EASEMENT AGREEMENT**

Date: 5/7/12

Gentlemen:

I propose to apply for a Martin County permit to erect a 6' Fence  
In the (utility/drainage) easement on my property located at 37 E. Highpoint ST  
SEWALLS PT., FL

LEGAL DESCRIPTION: LOT 22, BLOCK \_\_\_\_\_, SUBDIVISION \_\_\_\_\_

(Brief description of dimensions and location from property lines)

APP. 42' - 6' Fencing on SE corner of property

In the event you have no objection to this project, please complete this form and return to me at:

Address: FAX 772-283-4560

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

I understand your company will not be responsible in any way for repair or replacement of any portion of this FENCE and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

X Signed: [Signature] X Phone: 561-301-4600

**FOLLOWING TO BE COMPLETED BY UTILITY COMPANY**

We agree to the proposed construction under the circumstances described above.

Company: Martin County Utilities  
By: [Signature]  
Title: Associate Planner

Company records indicate that a potential conflict DOES NOT exist. The conflict consists of \_\_\_\_\_

Existing Wm on East side of Property





MARTIN COUNTY BUILDING DEPARTMENT  
900 SE RUENKE STREET  
STUART, FL 34994  
(772) 288-6916  
FAX (772) 288-5911

EASEMENT AGREEMENT

Date: 5/7/12

Gentlemen:

I propose to apply for a Martin County permit to erect a 6' Fence  
In the (utility/drainage) easement on my property located at 37 E. Highpoint St  
SEWALLS PT, FL

LEGAL DESCRIPTION: LOT 22, BLOCK \_\_\_\_\_, SUBDIVISION \_\_\_\_\_

(Brief description of dimensions and location from property lines)

APP. 42' x 6' Fencing on SE corner of property

In the event you have no objection to this project, please complete this form and return to me at:

Address: FAX 772-283-4560

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

I understand your company will not be responsible in any way for repair or replacement of any portion of this Fence and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

X Signed: [Signature] Phone: 561-301-4600

**FOLLOWING TO BE COMPLETED BY UTILITY COMPANY**

We agree to the proposed construction under the circumstances described above.

Company: FPL

By: Shari Allor

Title: Project mgr.

Company records indicate that a potential conflict  DOES  DOES NOT exist. The conflict consists of

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



MARTIN COUNTY BUILDING DEPARTMENT  
900 SE RUENOCHE STREET  
STUART, FL 34994  
(772) 288-8916  
FAX (772) 288-8911

**EASEMENT AGREEMENT**

Date: 5/7/12

Gentlemen:

I propose to apply for a Martin County permit to erect a 6' FENCE  
in the (utility/drainage) easement on my property located at 37 E. Highpoint ST  
SEWALLS PT., FL

LEGAL DESCRIPTION: LOT 22, BLOCK \_\_\_\_\_, SUBDIVISION \_\_\_\_\_

(Brief description of dimensions and location from property lines)

APP. 42' - 6' Fencing on SE corner of property

In the event you have no objection to this project, please complete this form and return to me at:

Address: FAX 772-283-4560

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

I understand your company will not be responsible in any way for repair or replacement of any portion of this FENCE and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

X Signed: [Signature] X Phone: 561-301-4600

**FOLLOWING TO BE COMPLETED BY UTILITY COMPANY**

We agree to the proposed construction under the circumstances described above.

Company: AT&T

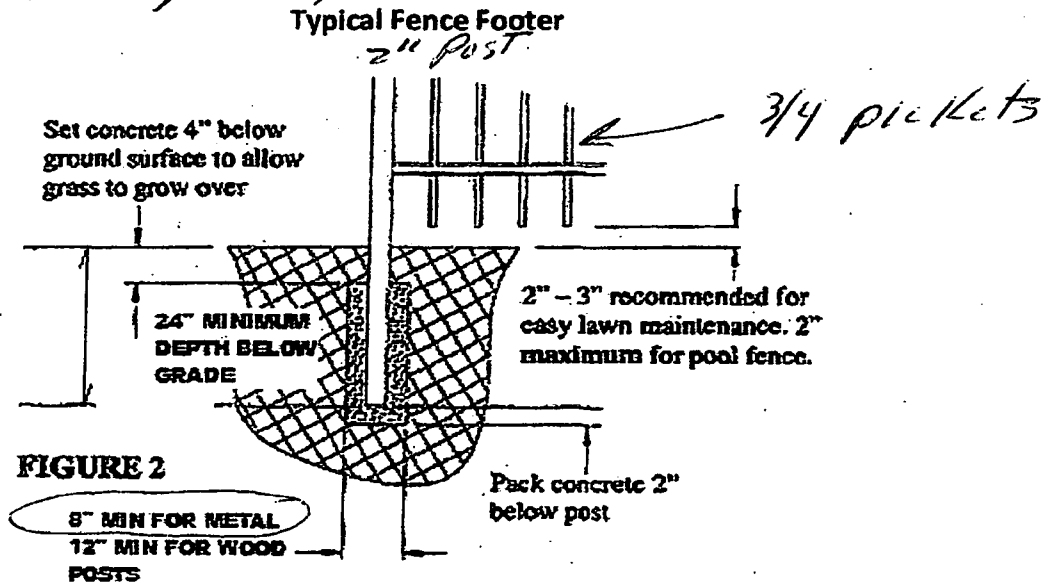
By: JAMES VIRGA

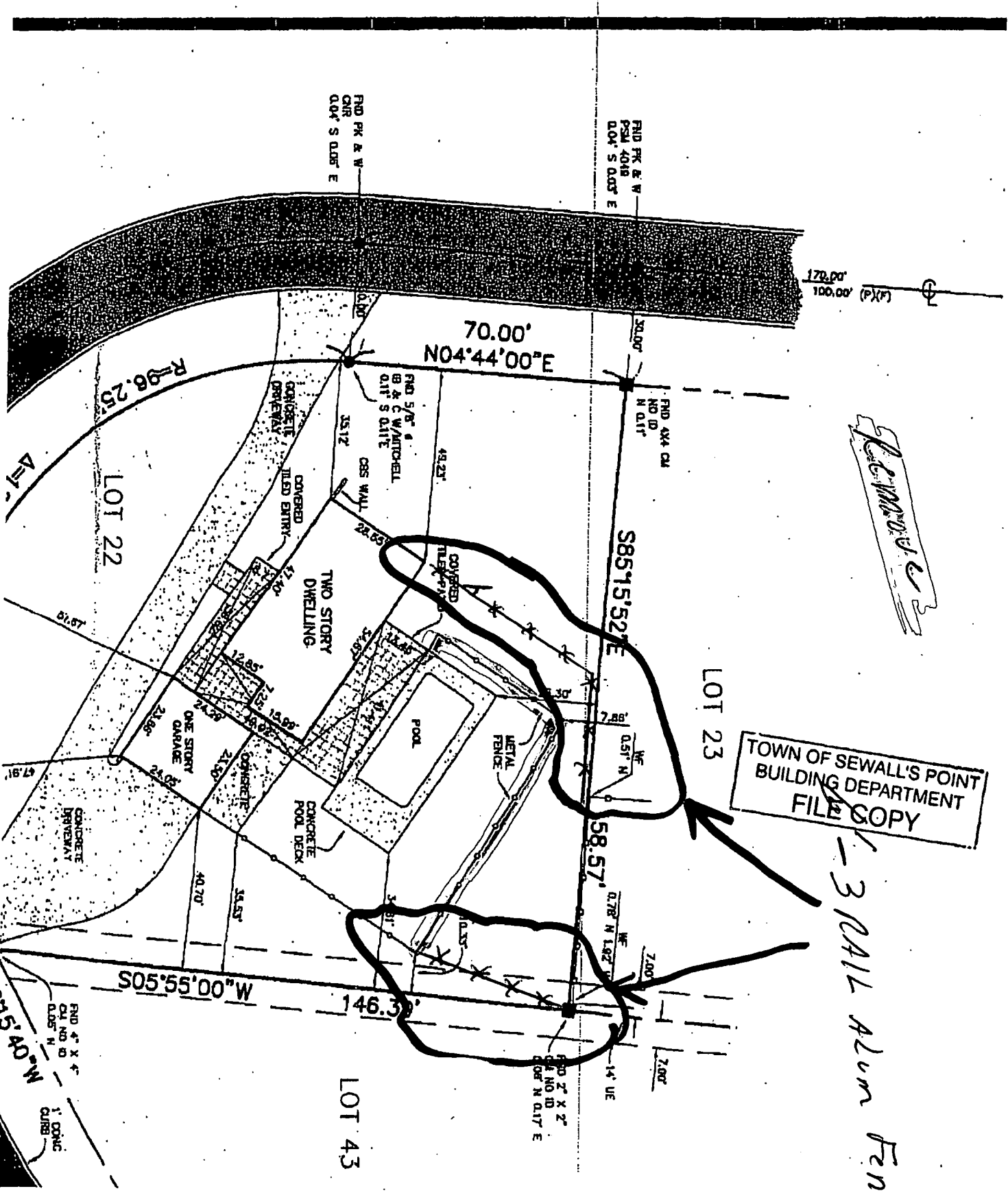
Title: MGR OSPE

Company records indicate that a potential conflict  DOES & DOES NOT exist. The conflict consists of

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6' TALL - 3 RAIL Alum. Pool Fencing  
 Gate Latch MIN. 54" ABOVE GRADE  
 SELF Latching  
 Gate to open out AWAY from pool  
 SELF-closing Hinges





*Removal*

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

1-3 RAIL ALUM FENCE

LOT 22

LOT 23

LOT 43

RFD PK & W  
 CURB  
 0.04' S 0.05' E

RFD PK & W  
 PS&I 4018  
 0.04' S 0.05' E

RFD 5/8" &  
 B & C W/INTO-BELL  
 0.11' S 0.11' E

RFD 0.11' N 0.11' E

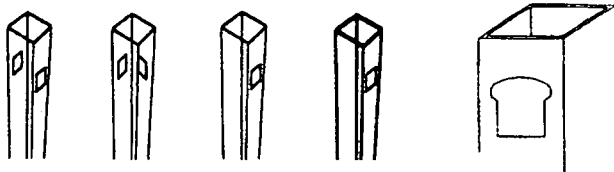
RFD 4" X 4"  
 0.05' W  
 1' CONC  
 CURB

RFD 2" X 2"  
 0.11' N 0.17' E

# DIMENSIONS AND SPECIFICATIONS

		5/8"	3/4"
Pickets		3/8" sq. x .050" thick	3/4" sq. x .050" thick
Standard	Top Wall	1" x .059" thick	1.06" x .079" thick
	Rail: Side Wall	1" x .079" thick	1.00" x .079" thick
Deluxe	Top Wall	Not Available	1.06" x .079" thick
	Rail: Side Wall	Not Available	1.50" x .079" thick
Mushroom Top	Top Wall	Not Available	1.42" x .040" thick
	Rail: Side Wall	Not Available	1.50" x .079" thick
Standard Posts		2" sq. x .060" thick	
Deluxe Post		2.5" sq. x .075" thick	
Gate Post		2" sq. x .125" thick	
Deluxe Gate Post		2.5" sq. x .125" thick	
Spacing between pickets		3-13/16"	3-11/16"
"C" Series		Not Available	3-15/16"
Panel Size		6 feet	
"C" Panel Size		Not Available	6 & 8 feet
Post Spacing		2"=72" on center	2.5"=72.5" on center
Paint Process		Electrostatic Powder Coat	
Colors		Black, White, Bronze, Green, Beige	

**2" & 2-1/2" SQUARE POSTS**  
FOR ALL SIZES AND STYLES



All rail openings pre-punched

## PAINTED ACCESSORIES



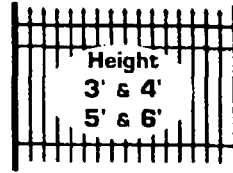
Wall Mount Bracket    Conical 3/4" Finial    Adjustable Survival Bracket    Aluminum Hinge

**5/8" STYLES    3/4" STYLES**

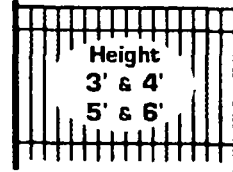
**3/4" STYLES**

# FORSTER FENCE

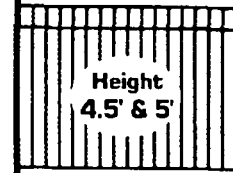
**J-1**  
SPEAR TOP



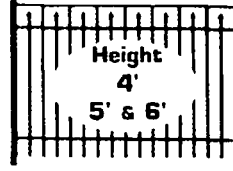
**J-2**  
FLAT TOP



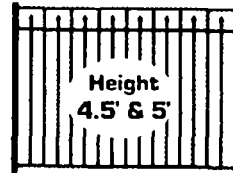
**J-3**  
FLAT TOP  
FLUSH BOTTOM



**J-4**  
SPECIAL



**J-5**  
SPECIAL  
FLUSH BOTTOM



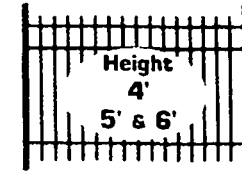
**F-1**  
SPEAR TOP

**F-2**  
FLAT TOP

**F-3**  
FLAT TOP  
FLUSH BOTTOM

**F-4**  
SPECIAL

**F-5**  
SPECIAL  
FLUSH BOTTOM

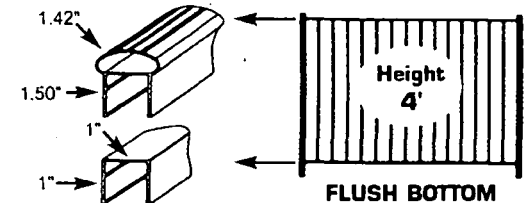


**F-6**  
FLAT TOP PICKETS  
FOR FINIALS

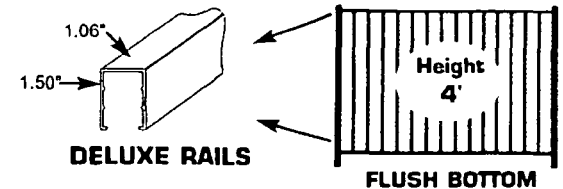
**6' TALL**

**M-7**

**INNOVATIVE MUSHROOM TOP RAIL**



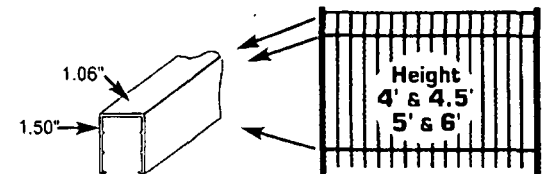
**V-7**  
TWO-RAIL FLAT TOP



**NEW**

**COMMERCIAL "C" SERIES**

**THREE-RAIL**



**DELUXE RAILS**

"C" SERIES AVAILABLE IN ALL "F" STYLES  
IN BOTH 6' AND 8' WIDTHS

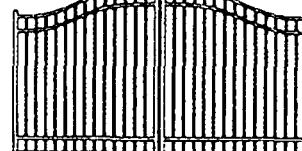
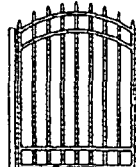
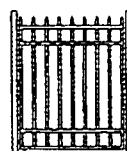
## GATES

FOR ALL SIZES AND STYLES

**WALK GATES**

**ARCH GATES**

**DOUBLE DRIVE GATES**



FOUR, FIVE & SIX FOOT  
OPENINGS

EIGHT, TEN & TWELVE FOOT  
OPENINGS

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

 6-11-12 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10093</del>	<del>Chicky 5 Kneales Pinnacle Roof</del>	<del>Final roof</del>	<del>Cancel</del>	
		ladder e rear of garage		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10095	Gould 485 Sewalls Crest	rough plumbing UNDERGROUND	PASS	
				INSPECTOR <i>JS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10101	Starfi 3601 SE Ocean A Worrell Bldg.	wall rough PARTIAL	PASS	
				INSPECTOR <i>JS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10108	Almond 11 Oakwood Encampers Pavers	Final driveway	PASS	close
				INSPECTOR <i>JS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<i>tree</i>	Dayton 14 BLM Co	TREE	OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10092	Hart 14 RIO VISTA Apex Pavers	PUMPS UND ELECT	PASS	
				INSPECTOR <i>JS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10099</del>	<del>37 E. NIS N Pt</del>	<del>Fence</del>	<del>OK</del>	<del>cancel</del>
	T.C. Fence	<del>FENCE</del>		INSPECTOR <i>JS</i>

**10502**

**RE-ROOF FLAT DECK ONLY**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10502	DATE ISSUED:	JUNE 25, 2013
SCOPE OF WORK:	REROOF FLAT DECK ONLY		
CONTRACTOR:	JA TAYLOR ROOFING		
PARCEL CONTROL NUMBER:	133841002-000-002209	SUBDIVISION	HIGH POINT - LOT 22
CONSTRUCTION ADDRESS:	37 E HIGH POINT RD		
OWNER NAME:	LERNER		
QUALIFIER:	CHAD TAYLOR	CONTACT PHONE NUMBER:	466-4040

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING _____	UNDERGROUND GAS _____
UNDERGROUND MECHANICAL _____	UNDERGROUND ELECTRICAL _____
STEM-WALL FOOTING _____	FOOTING _____
SLAB _____	TIE BEAM/COLUMNS _____
ROOF SHEATHING _____	WALL SHEATHING _____
TIE DOWN /TRUSS ENG _____	INSULATION _____
WINDOW/DOOR BUCKS _____	LATH _____
ROOF DRY-IN/METAL _____	ROOF TILE IN-PROGRESS _____
PLUMBING ROUGH-IN _____	ELECTRICAL ROUGH-IN _____
MECHANICAL ROUGH-IN _____	GAS ROUGH-IN _____
FRAMING _____	METER FINAL _____
FINAL PLUMBING _____	FINAL ELECTRICAL _____
FINAL MECHANICAL _____	FINAL GAS _____
FINAL ROOF _____	BUILDING FINAL _____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10502
ADDRESS	37 E HIGH PT RD - LERNER
DATE 6/25/13	SCOPE OF WORK REROOF FLAT DECK

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			

62017



772-466-4040  
 302 MELTON DRIVE  
 FT. PIERCE, FL 34982



ACH R/T 063100277

63-4-630

6/17/2013

PAY TO THE ORDER OF Sewells Point Building Dept.

*OLIE HERITAGE LANE*

Sewells Point Building Dept.

\$ 109.-

DOLLARS

*[Handwritten Signature]*

AUTHORIZED SIGNATURE

MEMO  
 Heritage Lane



ACCESSORY PERMIT	Declared Value:	\$	5600
Total number of inspections @ \$100.00 each	1		100
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	109

*[Handwritten Signature]*  
 CR# 62017

Security features. Details on back.

# Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: 10502

Date: \_\_\_\_\_  
 OWNER/LESSEE NAME: HYUNJIN + LADDA Lerner Phone (Day) 561-301-4600 (Fax) \_\_\_\_\_  
 Job Site Address: 37 E. High Point Road City: Stuart State: FL Zip: 34996  
 Legal Description: High Point Lot 22 Parcel Control Number: 13-38-41-002-000-00220-9  
 Fee Simple Holder Name: N/A Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):** REROOF "FLAT DECK ONLY"

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO   
**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
 Estimated Value of Improvements: \$ 5600.00  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10 AE9 AEB   
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ 2164440.00  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: J.A. Taylor Roofing, Inc. Phone: 416-4040 Fax: 416-8397  
 Qualifiers name: Chad Taylor Street: 302 Melton Drive City: Ft. Pierce State: FL Zip: 34982  
 State License Number: CC1325720 OR: \_\_\_\_\_ Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: KAREN Phone Number: 772-416-4040  
 DESIGN PROFESSIONAL: N/A State: \_\_\_\_\_ License# \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: 600 Covered Porches: 600 Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof: 600 Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

- WARNINGS TO OWNERS AND CONTRACTORS:**
- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
  - IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
  - BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
  - THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

**OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:**  
 X [Signature]  
 State of Florida, County of: St. Lucie  
 On This the 24 day of MAY, 2013  
 by Hyunjin Lerner who is personally known to me or produced \_\_\_\_\_  
 As identification: [Signature]  
 Notary Public  
 My Commission Expires: 6-12-2014

**CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:**  
 X [Signature]  
 State of Florida, County of: St. Lucie  
 On This the 24 day of MAY, 2013  
 by Chad Taylor who is personally known to me or produced \_\_\_\_\_  
 As identification: [Signature]  
 Notary Public  
 My Commission Expires: 6-12-2014

NOTARY PUBLIC-STATE OF FLORIDA  
 Karen S. Nielsen  
 Commission # DD1000358  
 Expires: JUNE 12, 2014  
 BONDED THROUGH ATLANTIC BONDING CO., INC.

NOTARY PUBLIC-STATE OF FLORIDA  
 Karen S. Nielsen  
 Commission # DD1000358  
 Expires: JUNE 12, 2014  
 BONDED THROUGH ATLANTIC BONDING CO., INC.

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida  
Laurel Kelly, C.F.A**
*generated on 5/16/2013 12:59:42 PM EDT*
**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-002-000-00220-9	27710	37 E HIGH POINT RD, SEWALL'S POINT	\$462,440	5/11/2013

---

**Owner Information**

<b>Owner(Current)</b>	LERNER HYUNJIN & LADDA
<b>Owner/Mail Address</b>	37 E HIGHPOINT RD STUART FL 34996
<b>Sale Date</b>	2/16/2007
<b>Document Book/Page</b>	2223 1597
<b>Document No.</b>	1993583
<b>Sale Price</b>	650000

---

**Location/Description**

<b>Account #</b>	27710	<b>Map Page No.</b>	SP-06
<b>Tax District</b>	2200	<b>Legal Description</b>	HIGH POINT LOT 22
<b>Parcel Address</b>	37 E HIGH POINT RD, SEWALL'S POINT		
<b>Acres</b>	.5440		

---

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120000 HighPoint - Sewall's Point

---

**Assessment Information**

<b>Market Land Value</b>	\$198,000
<b>Market Improvement Value</b>	\$264,440
<b>Market Total Value</b>	\$462,440

**Martin County, Florida  
Laurel Kelly, C.F.A**
*generated on 5/16/2013 1:00:46 PM EDT*
**Improvements**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-002-000-00220-9	27710	37 E HIGH POINT RD, SEWALL'S POINT	\$462,440	5/11/2013

**Improvements**

Imp. Type Code	Imp. Type Desc.	Build No.	Improve No.	Year Built	Eff. Yr. Blt.	Grade	Floor Area	Imp. Size
DWELL	Dwelling	R01	D	1978	1996	Avg	2,890	
ADDN	Dwelling Additions	R01	A01	2009	2009	Avg		0
ADDN	Dwelling Additions	R01	A02	2009	2009	Avg		0
ATTGAR	Attached Garage	R01	G01	0000	0000	Avg		576
POOL	Residential Pool In Ground	R01	01	1978	1996	Avg		450
MISC	Miscellaneous	R01	03	2007	2007	Avg		940
PAV	Residential Paving	R01	04	1978	1996	Avg		0
SPRNKLR	Sprinkler System	R01	05	1978	1996	Avg		1
FENCERES	Residential Fencing	R01	06	1978	1996	Avg		0
MISC	Miscellaneous	R01	07	2009	2009	Avg		696

# J.A. TAYLOR ROOFING CONTRACTOR

"Estimate/Contract/Proposal"

<b>Customer/Owner/Agent:</b>	Hyunjin Lerner	<b>Mobile:</b>
<b>Project Address:</b>	37 E. High Point Road	<b>Cell:</b> 561.301.4600
	Sewall's Point, FL 34996	<b>Fax:</b>
<b>Date/Type/Code:</b>	February 27, 2013, 6F	<b>Email:</b> sinjink3@gmail.com

J.A. Taylor Roofing will provide necessary building permits, schedule all inspections with related Municipality, and maintain Current License and Insurance. This proposal includes labor, materials, and all taxes. Please note that "Oil Canning" is a characteristic of all metal roof systems and is not a cause for rejection. Our "Professional" technicians will hereby complete the following;

**Option 1 - ReRoof**

1. Completely remove existing roof system to existing deck and prepare as needed to ensure a clean, solid surface in which to apply a new roof.
2. Inspect all sheathing and replace any rotten wood. (Estimate includes up to 3 sheets plywood sheathing replacement at no charge, for additional lumber replacement costs, see attached sheet).
3. Install 8-D "ring-shank" fasteners to existing sheathing/deck to meet current Building Code Requirements.
4. Install (1) ply "Base" sheet mechanically fastened to sheathing and install (2) ply "white" granulated APP Modified Bitumen (Torch-down). over entire flat roof surface.
5. Install new roofing accessories including: drip edge, flashings, counter-flashings, plumbing stack flashings, vent flashings, and valley metal. (Accessories will be fabricated from 26 Gauge Galvanized materials/standard colors).
6. Seal all penetrations using approved roofing cement and/or sealants.
7. Install new roofing materials/accessories using approved fasteners per code requirements.
8. Thoroughly clean project of all "roofing related debris" and haul away. (Landfill fees are included).

**Option 2- Repair**

1. Repair leaks/damages to existing roof by carefully cleaning/preparing substrate as necessary to provide a solid workable surface for repair materials.
2. Prime existing roof system, install (1) ply "Base" sheet mechanically fastened and install (1) ply "white" granulated APP Modified Bitumen (Torch-down), over entire flat roof surface.
3. Waterproof perimeter of repair area using approved roofing cement, membrane, sealants, and /or adhesives.
4. Thoroughly clean project of all "roofing related debris" and haul away. (Landfill fees included).

Option 1 ----- **\$5,600.00**  
Option 2 ----- **\$ 3,800.00**

**J.A. Taylor Roofing will provide a (5) Year "Leak Free" workmanship warranty from date of completion.**

Any alteration or deviation from the above specifications involving additional costs will be executed only upon written orders, and will become an extra charge over and above the estimate. Replacement of rotten/damaged lumber is not included in estimate unless specified. Customer must provide access to building unless arrangements are made prior to estimate, therefore J.A. Taylor Roofing is not responsible for damage to driveway/sidewalks and/or any other access areas needed to approach projects. Any client that is in default in the payment of money due under terms of this account will be charged at the rate of 1 ½ % per month on the unpaid balance, (Maximum allowable by law). If any client is referred to an attorney for collection, client agrees to pay all fees incurred in the collection of the amount due, plus all court costs and attorney fees. Work will be scheduled upon written acceptance of this proposal. This proposal may be withdrawn from us if not accepted within 60 days. \*All major credit cards accepted, however an additional processing fee of up to 5% will be assessed to contract total depending on current monthly rate and card used.

**Payment Terms: 1/3 Deposit @ Commencement, 1/3 Payment @ completion of dry-in, and Balance upon Completion of Project.**

**ACCEPTANCE OF PROPOSAL**  
Owner: Hyunjin Lerner Date: 5/9/13 Option 1 @ \$5,600.00  
Contractor: \_\_\_\_\_ Date: \_\_\_\_\_

For further assistance please contact J.A. Taylor Roofing 772-466-4040 or fax to 772-468-8397

Thank you for the opportunity to bid your project!

\*\*\*\*\* Serving the Treasure Coast for over 46 Years \*\*\*\*\*

**Respectfully Submitted by: Raul Ordonez**

*Scott notes to pull debris off @ No Charge*

302 Melton Drive

Fort Pierce, FL 34982

Tel. 772.466.4040

Fax 772.468.8397

REPAIRS, RE-ROOFS, NEW COMMERCIAL & RESIDENTIAL ROOFING CONTRACTORS  
SERVING FLORIDA SINCE 1965  
LICENSE #CCC1325720



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

## RE-ROOF CHECKLIST 2010 FBC

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included.

**THIS REVIEW SHEET MUST ACCOMPANY THE APPLICATION SUBMITTAL.**

**Please make sure you have ALL required copies before submitting permit application**

The following minimum requirements must be provided for permitting and inspections:

- 1 Copy Completed application
- 2 Copies Complete list of proposed materials
- 2 Copies Re-roof certification
- 1 Copy Re-roof Inspection affidavit if used, prior to final inspection.

### RESIDENTIAL REROOFS:

- 2 Copies approved roofing manufacturer specifications for all products used.
  - Manufacturer specs/fastening schedule for roof shingles (must meet the minimum area wind load).
  - Manufacturer must have Florida Product Approval
  - Location of proposed re-roof (if only a partial re-roof) and area % calculation
  - Section/detail through hip and ridge tile caps per F.R.S.A. for tile roofs\*\*
- 2 Copies Re-roof windstorm loss mitigation certification (and affidavit if applicable)

### COMMERCIAL REROOFS:

- 2 Copies Roof Plan:
  - Show all features (pitch, drains, equipment, etc.)
  - Details: 3/4" = 1'.0" min. scale
  - Parapet or edge
  - Rooftop mounting or equipment expansion joints
  - Type of roofing (& insulation if any) being removed
  - Type of roof deck
- 2 Copies Approved roofing manufacturer specifications for all products used.
  - Manufacturers complete roofing system specifications & installation guidelines (Include fastening schedule meeting minimum area wind load).
- 1 Copy Verification of Contractor form
  - Contractor verification form (HVAC and/or electric) required if roof top HVAC equipment is removed/reinstalled and/or if HVAC electric is disconnected/reconnected.

**\*\*Concrete or ClayTile Roof: Specify how the roof field tile will be attached to the deck (reference F.S.R.A Installation Manual). Provide section details showing the installation/attachment of ridge and hip cap tile. Demonstrate compliance with the 2010 FBC 1507.3. & 2010 FBC/Residential R905.3. Also provide Product Approval for all roof adhesives.**

**All Product Approval & Installation Spec's must be on the job site for inspection.  
All tile re-roofs require an "in progress" tile installation inspection or certified pull test at final.**

see p. 1

# NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500,000  
OR WHEN HEATING OR AIR CONDITIONING REPAIR OR REPLACEMENT EXCEEDS \$7,500.00

INSTRUMENT # 2400989  
BOOK 2558 PAGE 931

RECORDED 06/18/2013 01:23:25 PM

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 13-38-41-002-000-00220-9

State of Florida, County of MARTIN COUNTY, the undersigned hereby gives notice that improvement made to certain real property, and in accordance with chapter 713, Florida statutes, the following information is provided to the court of commencement.

1. LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):  
37 E. HIGH POINT ROAD - HIGH POINT LOT 22

2. GENERAL DESCRIPTION OF IMPROVEMENT: REROOF

3.  OWNER INFORMATION or  LESSEE INFORMATION (if Lessee contracted for the improvement)

- a. Name: HYUNJIN LERNER -or- LADDA LERNER  
Address: 37 E. HIGH POINT ROAD, STUART, FL 34996
- b. Interest in property: OWNER
- c. Name and address of fee simple title holder (if other than owner):  
N/A

4. CONTRACTOR:

- a. Name: J. A. TAYLOR ROOFING, INC.  
Address: 302 MELTON DRIVE, FORT PIERCE, FL 34982
- b. Phone number: 772-466-4040

5. SURETY COMPANY (IF Applicable, a copy of the payment bond is attached):

- a. Name & Address: N/A
- b. Phone number: \_\_\_\_\_ Bond amount: \_\_\_\_\_

6. LENDER/MORTGAGE COMPANY:

- a. Name & Address: N/A
- b. Phone number: \_\_\_\_\_

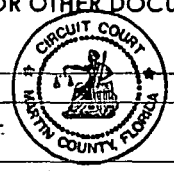
7. PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY STATE UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

- a. Name & Address: N/A
- b. Phone number: \_\_\_\_\_

8. IN ADDITION TO HIMSELF OR HERSELF,

- a. Owner designates N/A to receive a copy of the lienor's notice as provided in Florida statutes.
- b. Phone number: \_\_\_\_\_

STATE OF FLORIDA  
MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE  
FOREGOING INSTRUMENT IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL  
DOCUMENT AS FILED IN THIS OFFICE.  
BY: [Signature] D.C.  
DATE: 06/18/13



9. EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
(THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

### WARNING TO OWNER:

ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES)

[Signature]  
SIGNATURE OF OWNER or LESSEE or OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER - SIGNAORY'S TITLE / OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 24 DAY OF May, 2013, BY:  
Hyunjin Lerner  
AS owner FOR \_\_\_\_\_

NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR  PRODUCED IDENTIFICATION TYPE OF IDENTIFICATION PRODUCED D.C.

[Signature] [Signature]  
NOTARY SIGNATURE / NOTARY PRINTED NAME / NOTARY SEAL

NOTARY PUBLIC-STATE OF FLORIDA  
Karen S. Nielsen  
Commission #DD1000358  
Expires: JUNE 12, 2014  
BONDED THRU ATLANTIC BONDING CO., INC.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

RE-ROOF CERTIFICATION

PERMIT # \_\_\_\_\_

CONTRACTOR'S NAME: J.A. Taylor Roofing PHONE #: 466-4040 FAX: 468-8397

OWNER'S NAME: Hyunjin & Ladda Lerner

CONSTRUCTION ADDRESS: 37 E. High Point Rd. CITY: Stuart STATE: FL.

RE-ROOF:  RESIDENTIAL (SINGLE FAMILY) (Flat Deck Only)

N/A COMMERCIAL \*\*--REMOVE/REINSTALL ROOF TOP HVAC EQUIP \_\_\_\_\_ YES \_\_\_\_\_ NO

\*\*...DISCONNECT/RECONNECT HVAC ELECTRIC \_\_\_\_\_ YES \_\_\_\_\_ NO

\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. \_\_\_\_\_ YES \_\_\_\_\_ NO - INSURED VALUE OF RESIDENCE: \$ 264,440.

ROOF TYPE: \_\_\_\_\_ HIP \_\_\_\_\_ BOSTON-HIP \_\_\_\_\_ GABLE \_\_\_\_\_ FLAT \_\_\_\_\_ OTHER

ROOF PITCH: Flat /12 SLOPE

ROOF DECK: \* \_\_\_\_\_ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

\_\_\_\_\_ RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

\_\_\_\_\_ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: Rolled EXISTING COVERING TO BE REMOVED? YES  NO \_\_\_\_\_

PROPOSED NEW ROOF COVERING: MODIFIED Bitumen

MANUFACTURER: JOHNS MANVILLE PRODUCT NAME: APP MOD Bit PRODUCT APPR # 13-0129-03

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)  
 MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING:  GALV/STEEL \_\_\_\_\_ ALUMINUM \_\_\_\_\_ COPPER \_\_\_\_\_ OTHER \_\_\_\_\_

RIDGEVENT TO BE INSTALLED: \_\_\_\_\_ YES  NO

DESCRIPTION OF WORK: Remove existing roof material down to decking. Re-nail deck. Install new APP MOD. Bit. roof system.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR: [Signature] DATE: 5.17.13







**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**LICENSED GENERAL, BUILDING OR RESIDENTIAL CONTRACTORS'  
 REROOF WINDSTORM LOSS MITIGATION COMPLIANCE AFFIDAVIT**

**A RESIDENTIAL STRUCTURE VALUED AT \$300,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:**

- Roof to wall connections must be enhanced up to 15% additional cost of the reroofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

**A RESIDENTIAL STRUCTURE VALUED AT \$750,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:**

When any activity requiring a building permit that is applied for on or after July 1, 2008, and for which the estimated cost is \$50,000 or more for a building that is located in the wind borne debris region as defined in s. 1609.2 of the Florida Building Code, Building:  
 Opening protections as required within the Florida Building Code, Building or Florida Building Code, Residential for new construction shall be provided.

TO BE COMPLETED IF INSURED VALUE OF SINGLE FAMILY IS OVER \$300,000.00 AND WAS PERMITTED PRIOR TO MARCH 1, 2002.

YEAR PERMITTED \_\_\_\_\_ INSURED OR P.A. IMPROVED VALUE \$ \_\_\_\_\_  
 DETAILS OF MITIGATION WORK TO BE PERFORMED (Add additional sheets if necessary):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

JOB SITE ADDRESS: \_\_\_\_\_

QUALIFIER NAME: \_\_\_\_\_ LICENSE NO.: \_\_\_\_\_

COMPANY NAME: \_\_\_\_\_ PHONE NO.: \_\_\_\_\_

X \_\_\_\_\_

Qualifier's Signature

Date: \_\_\_\_\_

Sworn to and subscribed before me

this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_

By \_\_\_\_\_

Notary Public, State of Florida

Personally known to me \_\_\_\_\_

Produced ID \_\_\_\_\_

Type: \_\_\_\_\_

X \_\_\_\_\_

Owner's Signature

Date: \_\_\_\_\_

Sworn to and subscribed before me

this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_

By \_\_\_\_\_

Notary Public, State of Florida

Personally known to me \_\_\_\_\_

Produced ID \_\_\_\_\_

Type: \_\_\_\_\_



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

**RESIDENTIAL REROOF WINDSTORM LOSS  
MITIGATION CERTIFICATION (FLORIDA STATUTE 553.844)**

**ALL RE-ROOFS REGARDLESS OF VALUE SHALL COMPLY WITH THE FOLLOWING:**

**Re-nailing:** All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

\_\_\_\_\_ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

\_\_\_\_\_ Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

\_\_\_\_\_ Outside of the HVHZ, an underlayment complying with section 1507.2.3 of the Florida Building Code, Building fastened as described below or a layer of asphalt impregnated approved #30 felt shall be installed. The felt is to be fastened with 1" round plastic cap or metal cap nails, attached to a nailable deck in a grid pattern of 12 inches (305 mm) staggered between the overlaps, with 6-inch (152 mm) spacing at the overlaps. For slopes of 2:12 to 4:12 an additional layer of felt shall be installed in a single-fashion and lapped 19" and fastened as described above. (No additional underlayment shall be required over the top of this sheet.)

*FLAT  
DECK*

Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-mopped shall be deemed to meet the requirements for secondary water barrier.

**Residential Structures valued at \$300,000 or more shall comply with the following:**

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

*NA*



DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)  
BOARD AND CODE ADMINISTRATION DIVISION

**NOTICE OF ACCEPTANCE (NOA)**

MIAMI-DADE COUNTY  
PRODUCT CONTROL SECTION  
11805 SW 26 Street, Room 208  
Miami, Florida 33175-2474  
T (786)315-2590 F (786) 31525-99  
[www.miamidade.gov/economy](http://www.miamidade.gov/economy)

**Johns Manville Corporation**  
717 17th Street  
Denver, CO 80202

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. RER reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Johns Manville APP Modified Bitumen Roofing Systems Over Wood Decks.**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews and revises NOA No. 12-0123.06 and consists of pages 1 through 15.  
The submitted documentation was reviewed by Jorge L. Acebo.



NOA No.: 13-0129.03  
Expiration Date: 06/14/16  
Approval Date: 06/06/13  
Page 1 of 15

## ROOFING SYSTEM APPROVAL

**Category:** Roofing  
**Sub-Category:** Modified Bitumen  
**Materials:** APP  
**Deck Type:** Wood  
**Maximum Design Pressure** -52.5 psf

### TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

TABLE I

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
JM APP Base	39-3/8" x 48'	ASTM D 6509	APP modified asphalt, fiberglass reinforced, smooth surfaced base sheet.
APPeX 4S	39-3/8" x 34'	ASTM D 6222 Type I Grade S	APP modified asphalt, polyester reinforced, smooth surfaced membrane <b>for use as a Base and/or Ply Sheet only.</b>
* APPeX 4.5M	39-3/8" x 34'	ASTM D 6222 Type I Grade G	APP modified asphalt, polyester reinforced, mineral surfaced membrane.
APPeX 4.5M FR	39-3/8" x 34'	ASTM D 6222 Type I Grade G	APP modified asphalt, polyester reinforced, fire-retardant, mineral surfaced membrane.
Tricor MFR	39-3/8" x 34'	ASTM D 6223	APP modified asphalt, polyester / glass reinforced, granule surfaced membrane.
Tricor S	39-3/8" x 34'	ASTM D 6223	APP modified asphalt, polyester / glass reinforced, smooth surfaced membrane <b>for use as a Base and/or Ply Sheet only.</b>
* PermaPly 28	36" x 106'; 72 lb. roll	ASTM D 4601	Type II asphalt impregnated and coated glass fiber base sheet
Ventsulation	36" x 36'	ASTM D 4897 Type II	Heavy duty fiber glass base sheet impregnated and coated on both sides with asphalt with or without fine mineral stabilizer.
GlasBase Plus	36" x 106'	ASTM D 4601	Type II SBS and asphalt blend impregnated and coated glass fiber base sheet with fine mineral stabilizer.



NOA No.: 13-0129.03  
 Expiration Date: 06/14/16  
 Approval Date: 06/06/13  
 Page 2 of 15

**APPROVED INSULATIONS:**

<b>TABLE 2</b>		
<b>Product Name</b>	<b>Product Description</b>	<b>Manufacturer (With Current NOA)</b>
ENRGY 3, ENRGY 3 25 PSI	Isocyanurate Insulation.	Johns Manville
Fesco Foam, DuraFoam	Isocyanurate Insulation with perlite facer.	Johns Manville
Retro-Fit Board, DuraBoard	High-density perlite roof insulation.	Johns Manville
Fesco Board	Rigid perlite roof insulation board.	Johns Manville
Structodek® High Density Fiber Board Roof Insulation	High Density Fiber Board.	Blue Ridge Fiber Board, Inc.

**APPROVED FASTENERS:**

<b>TABLE 3</b>				
<b>Fastener Number</b>	<b>Product Name</b>	<b>Product Description</b>	<b>Dimensions</b>	<b>Manufacturer (With Current NOA)</b>
1.	UltraFast Fasteners	Insulation fastener for wood and steel.	Various	Johns Manville
2.	UltraFast ASAP	Pre-assembled Insulation fastener and plate	Various	Johns Manville
3.	UltraFast 3" Round Metal Plate or Square Recessed Metal Plate	Galvalume AZ55 steel plate	3" round & 3" square	Johns Manville
4.	#12 Standard Roofgrip	Insulation fastener	Various	OMG
5.	ASAP Roofgrip	Pre-assembled Insulation fastener and plate	Various	OMG
6.	3" Round Metal Plate or Flat Bottom Metal Plate	Galvalume AZ50 steel plate	3" round & 3" square	OMG
7.	Tru-Fast HD Fastener (#14)	Insulation fastener for steel and wood decks	Various	Altenloh, Brinck & Co. U.S., Inc.
8.	Tru-Fast 3" Metal Insulation Plate	Galvalume AZ55 steel plate	3" round	Altenloh, Brinck & Co. U.S., Inc.



**EVIDENCE SUBMITTED:**

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Description</u>	<u>Date</u>
Factory Mutual Research Corp.	J.I. 0X0A9.AM	4470	03/25/94
	J.I. 0W6A2.AM	4470	02/05/93
	J.I. 0X7A4.AM	4470	08/26/93
	J.I. 3001482	4470	08/11/98
	J.I. 3002823	4470	04/01/99
	J.I. 3003468	4450	02/02/00
	J.I. 3007148	4470	04/19/00
	3009499	4470	04/04/01
	3011248	4450	11/01/02
	3012974	4470	06/03/02
Underwriters Laboratories, Inc.	R10167	UL 790	05/27/13
Exterior Research & Design, LLC	#4361-2.04.97-1	TAS 114(J)	04/15/97
	10390A.12.97-1	TAS 114(J)	12/15/97
	10390A.10.97-1	TAS 114(J)	10/15/97
	10391.01.03	TAS 114(J)	01/29/03
PRI Construction Materials, LLC	JMC-053-02-01	ASTM D5147/D6222	05/01/13
	JMC-054-02-01	ASTM D5147/D6223	06/04/12
	JMC-055-02-01	ASTM D 6509	05/29/12
	JMC-070-02-01	ASTM D 2178 TYPE IV	04/17/12
	JMC-071-02-01	ASTM D 2178 TYPE VI	04/17/12
	JMC-072-02-02	ASTM D 4601	06/04/12
	JMC-074-02-01	ASTM D 4897	04/17/12
	JMC-093-02-01	ASTM D 4601	08/02/12



**Membrane Type:** APP  
**Deck Type II:** Wood, Non-Insulated  
**Deck Description:** 1<sup>9</sup>/<sub>32</sub>" or greater plywood or wood plank  
**System Type E:** Base sheet mechanically fastened.

**All General and System limitations apply.**

**Base Sheet:** *(Option #1)* One ply of JM APP Base, PermaPly 28, Glasbase Plus or Ventsulation mechanically fastened to the deck with JM UltraFast, OMG Roofgrip or Tru-Fast metal plates and fasteners at a 4" side lap 12" o.c. and two rows staggered in the center of the sheet 18" o.c.  
*(Maximum Design Pressure –45 psf. See General Limitation #9.)*

*(Option #2)* Minimum two plies of JM PermaPly 28 or Ventsulation simultaneously fastened to the deck lapped 4" and fastened with approved roofing nails and tin caps 9" o.c. at the lap and two rows staggered in the center of the sheet 12" o.c.  
*(Maximum Design Pressure –52.5 psf, See General Limitation #7.)*

*(Option #3)* Minimum two plies of JM PermaPly 28 or Ventsulation simultaneously fastened to the deck with JM Ultrafast fasteners and Metal Plates spaced 9" o.c. in a 4" lap and 12" o.c. in two staggered rows in the center of the sheet.  
*(Maximum Design Pressure –52.5 psf, See General Limitation #7.)*

**Ply Sheet:** (Optional) One or more plies of JM APP Base or APPeX 4S heat welded to base sheet while maintaining 4" side laps and 6" end laps.

**Membrane:** One or more plies of APPeX 4.5M or APPeX 4.5M FR heat welded while maintaining 4" side laps and 6" end laps.

**Surfacing:** (Optional) Install one of the following for all systems that do not achieve acceptable fire ratings through the use of FR membrane sheets. Any coating, listed below, used as a surfacing, must be listed within a current NOA.

1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at a rate of 60 lb./sq.
2. Karnak 97, Karnak 97 AF, Monsey Premium Long Life Aluminum Roof Coating Asbestos Free or Monsey Prograde Aluminum, Grundy AL MB aluminum coating at a rate of 1-1/2 gal/sq. Monsey Aquabrite, Gardner asphalt emulsion, APOC Sunbright 400 or Henry 229 Aluminum Emulsion at 2½ gal/sq. or APOC 212 Aluminum Roof Coating at 3 gal/sq.
3. Grundy 20 F asphalt emulsion, Endure Asphalt Emulsion, APOC 302 or 302 AF applied at 2½ gal/sq. with optional 60 lbs./sq. of roofing granules embedded in wet coating.

**Maximum Design Pressure:** See Fastening Options





## WOOD DECK SYSTEM LIMITATIONS:

1. A slip sheet is required with Ply 4 and Ply 6 when used as a mechanically fastened base or anchor sheet.

## GENERAL LIMITATIONS:

1. Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer
3. All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
4. An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used the base sheet shall be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each side lap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq.  
**Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf.**
5. Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with Testing Application Standard TAS 105. If the fastener value, as field-tested, are below 275 lbf. insulation attachment shall not be acceptable.
6. Fastener spacing for mechanical attachment of anchor/base sheet or membrane attachment is based on a minimum fastener resistance value in conjunction with the maximum design value listed within a specific system. Should the fastener resistance be less than that required, as determined by the Building Official, a revised fastener spacing, prepared, signed and sealed by a Florida Registered Engineer, Architect, or Registered Roof Consultant may be submitted. Said revised fastener spacing shall utilize the withdrawal resistance value taken from Testing Application Standards TAS 105 and calculations in compliance with Roofing Application Standard RAS 117.
7. Perimeter and corner areas shall comply with the enhanced uplift pressure requirements of these areas. Fastener densities shall be increased for both insulation and base sheet as calculated in compliance with Roofing Application Standard RAS 117. Calculations prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant **(When this limitation is specifically referred within this NOA, General Limitation #9 will not be applicable.)**
8. All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform to Roofing Application Standard RAS 111 and applicable wind load requirements.
9. The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners). **(When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.)**
10. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9N-3 of the Florida Administrative Code.

**END OF THIS ACCEPTANCE**



NOA No.: 13-0129.03  
Expiration Date: 06/14/16  
Approval Date: 06/06/13  
Page 15 of 15

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

7-30-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10502	<del>_____</del> 31 E High Pt JA Taylor	<del>_____</del> Roof	<del>_____</del> Pass	<del>_____</del> INSPECTOR <del>_____</del>
10526	Fitzsimmons 99 N Sewalls Capps	tin tag/metal	Pass	INSPECTOR <del>_____</del>
10525	McPhee 8 Admirals Walk Natural Flow	SGD attachment	Pass	INSPECTOR <del>_____</del>
10531	Guerriero 130 N Sewalls Alum. Concept	Final Fence	Pass	INSPECTOR <del>_____</del> CLOSE
10415	SMITH 11 PALMETTO ARK HOMES	WALK THROUGH		INSPECTOR
10314	Petch 3 TIMON SEAGATE	METER FINAL	Pass	* READY FOR FDL INSPECTOR
	BUSHA Palm Co	WALK THROUGH IN PROGRESS	WILL CALL WHEN COMPLETE	INSPECTOR

**TREE**

**REMOVE/RELOCATE/REPLACE**

TOWN OF SEWALL'S POINT, FLORIDA

FILE

Date 03/06/00 1900 TREE REMOVAL PERMIT No 298

APPLIED FOR BY MRS ROBT. G. GREIDER (Contractor or Owner)

Owner 37 E. HIGHPOINT

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees APPL. "OAK" - UNABLE TO IDENTIFY

No. Of Trees: REMOVE 2

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE 2 WITHIN 30 DAYS w/PALMS

REMARKS TREE ARE @ POOL DECK CORNERS & CAUSING  
STRECH. DAMAGE - SEE APPL. FOR LOC. FEE \$ -0-

Signed, [Signature]  
Applicant

Signed, [Signature]  
Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection

WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Blank lined area for notes or additional information.

PROJECT DESCRIPTION \_\_\_\_\_

Blank lined area for project description details.

REMARKS \_\_\_\_\_

Blank lined area for remarks.

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

RECEIVED  
FEB 16 2000  
BY: \_\_\_\_\_

Permit # \_\_\_\_\_

Date Issued \_\_\_\_\_

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Greiner TOWN (MRS. ROBT G) GREINER Address 31 E High Point Rd Phone 281-2307  
37 E

Contractor Monte Tree Address \_\_\_\_\_ Phone \_\_\_\_\_

Number of trees to be removed (list kinds of trees) 2 - Same kind of Oak

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

2 Palm or Hibiscus Hedge

Number of trees to be replaced (list kinds of trees):

Permit Fee \$ (~~\$25.00~~ first tree plus \$10.00 - each additional tree - not to exceed \$100.00) \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 2/10/2000

Approved by Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

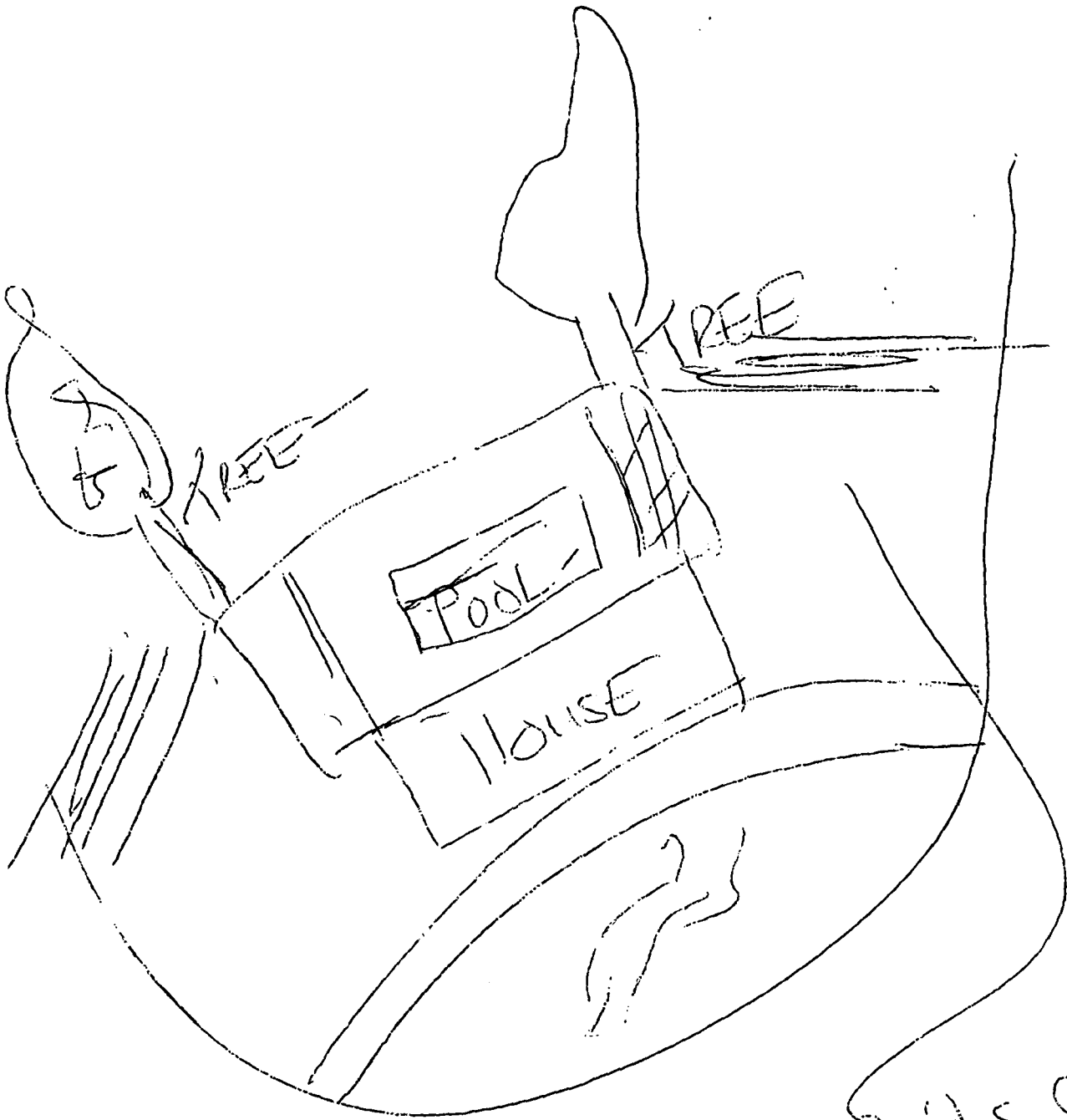
Approved by Building Commissioner \_\_\_\_\_ Date \_\_\_\_\_

Completed \_\_\_\_\_ Date \_\_\_\_\_ Checked by \_\_\_\_\_

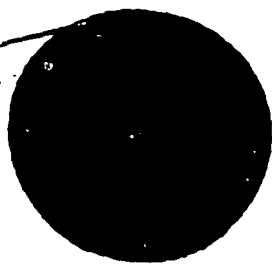
**FEE**

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBTAINING A PERMIT~~. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?



Roads are  
CRACKING  
tile and  
maybe pool



**2000 ~~1998-1999~~**  
**Town of Sewall's Point**  
**Building Department - Inspection Log**

En: ~~2-18-00~~

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4820	FRARACCIO	sheathing	Partial	11: AM
⑩	26 E. Hi. Point. PACIFIC REG.	11:00 AM	BG	SMALL AREA of plywood installed. Will call for spot check.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
41502	Carrell	Lintag & metal	Cancelled	After 2 PM on Set up for MON. NOT Ready.
⑨	175. Ridgeview			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4527	Seeley	garage & recquated	Passed	1st Fl slab.
②	37 Lofting Way	court slab	BG	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4722	Neese	roof final	Passed	
⑧	8 S. River End of Ridgeview		BG	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4522	Buono	pool piping	Passed	
①	106 N. S. P. Rd.		BG	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4724	Foglia	steel. pool bonding	Passed	PIB - #5 pressure.
⑬	110 H. Sewall Way	main drain	BG	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4180	Foglia	Drywall Screws	Partial	Just started
⑫	106 H. Sewall Way		BG	

OTHER: ~~LETTER PERMIT APPLIC. 37 E. HIGH POINT~~

INSPECTOR: \_\_\_\_\_

DATE: \_\_\_\_\_

**TOWN OF SEWALL'S POINT, FLORIDA**

Date JANUARY 12 2005 TREE REMOVAL PERMIT No 2388

APPLIED FOR BY GREINER (Contractor or Owner)

Owner 37 E. HIGH POINT RD

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees \_\_\_\_\_

No. Of Trees: REMOVE 1 SCHETLERIA

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_

\_\_\_\_\_ FEE \$ 0  
Signed, \_\_\_\_\_ Applicant Signed, Gene Simmons (AG) Town Clerk

**TOWN OF SEWALL'S POINT**

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

**TREE REMOVAL PERMIT**

RE: ORDINANCE 103

[Large empty rectangular box for drawing or additional notes]

PROJECT DESCRIPTION \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

REMARKS \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**TOWN OF SEWALL'S POINT  
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

**Tree Defined:** Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

**No permit required for:**

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

**Permit Fee:**

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

**No removal permits will be issued for native species trees:** Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

**Application procedures:**

1. Fill out application information below to include:
  - a. applicant information
  - b. written statement giving reasons for removal, relocation, or replacement if necessary
  - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
  - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Greiner Address 31 E. High Rd Phone 287-2307  
 Contractor \_\_\_\_\_ Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 1 Type: Scherebella

No. of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

Written statement giving reasons: going into foundation at side of house

Signature of Property Owner Catherine Greiner Date 4/11/05

Approved by Building Inspector: [Signature] Date 1/12 Fee: \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as revised/marked: \_\_\_\_\_

