

38 East High Point Rd

1570

SFR

DISPLAYED IN FRONT OF JOB

DIPPY

DO NOT REMOVE UNTIL JOB

NO. 9

Date Issued

BLOCK

SUB

ST. or AVE.

TOWN OF SEWALL'S POINT BUILDING PERMIT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection or

- LOT CORNERS MUST BE MARKED BY A LICENSED SURVEYOR WHO WILL INSTALL CONCRETE MARKERS.
- DRIVING FOUNDATION PILING AND/OR THE PLACING OF ASPHALT, OR CONCRETE, OR THE INSTALLATION OF FENCE POSTS, CANNOT BE INITIATED UNTIL SET-BACKS ARE INSPECTED AND MEASURED BY A TOWN BUILDING INSPECTOR.
SET-BACK MEASUREMENTS ARE APPLICABLE TO THE ERECTION OR PLACEMENT OF BUILDINGS OR ANYTHING ELSE THAT IS DEFINED AS BEING A STRUCTURE BY THE SEWALL'S POINT ZONING ORDINANCE.
- (a) BEFORE PLACING CONCRETE, TIE BEAMS, SLABS AND RAKE BEAMS MUST BE APPROVED BY A TOWN BUILDING INSPECTOR.
(b) BEFORE FRAMING, ROUGH PLUMBING AND ROUGH ELECTRICAL MUST BE APPROVED BY A TOWN BUILDING INSPECTOR.
(c) BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED, ALL FINAL PLUMBING, ELECTRICAL, STRUCTURAL AND ANY OTHER ITEMS THAT WOULD CONSTITUTE A COMPLETED STRUCTURE MUST BE INSPECTED BY A TOWN BUILDING INSPECTOR.
- PARKING HOURS FOR CONTRACTORS AND/OR THEIR EMPLOYEE-OWNED TRUCKS AND OTHER ROLLING STOCK ARE THE SAME AS WORKING HOURS, EXCEPT AS NOTED BY THE ZONING ORDINANCE.

INSULATION

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
1. LOT STAKES		
2. FOUNDATION & SET-BACKS	OK 6/21/83	
3. SLAB	90% 3 lab OK	
4. FRAMING	OK 7/1/86	
5. LINTEL	OK 7/15/86	
6. ROOF		
7. FINAL CONSTRUCTION		
8. ROUGH ELEC.		
9. FINAL ELEC.		
10. ROUGH PLBG.		
11. FINAL PLBG.		
12. WELLS	OK 7/6/83	
13. SEPTIC TANKS		

SOIL PRETREATED
LLOYD - BEST CONTROL

TO CONSTRUCT

REMARKS:

7/6/83
 TO CONSTRUCT FEATHERS FROM B TO C
 RETAIN WALL - STREET SIDE
 COILING FOR WALL WORK
 AND PAVING

#1570

TOWN OF SEWALL'S POINT FLG. DA

Permit No. _____

Date 3/21/83

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner WALTER F DIPPY Present address 141 N. SEWALL'S PT RD

Phone 287 2580

General contractor OWNER / BUILDER Address SAME

Phone SAME

Where licensed _____ License No. _____

Plumbing contractor STUART PLUMBING + METAL License No. MC 524048

Electrical contractor GARY GIFFORD License No. # 33 # 01700

Air-conditioning contractor SEA COAST License No. CAC 008035

Describe the building, or alteration to existing building _____

single family dwelling

Name the street on which the building, its front building line and its front yard will face _____

38 E High Point Rd

Subdivision _____ Lot No. 106 Area high point

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 3200

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 112,000XX

Cost of permit \$ 590XX Plans approved as submitted _____ or, as marked ✓

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor Walter Dippy

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner Walter Dippy

Note: In no way shall approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Efficiency Building Code.

TOWN RECORD

Date submitted 3/21/83

Approved by Building Inspector (date) [Signature]

Inspector's initials 4/25/83

Approved by Town Commissioner (date) _____

Commissioner's initials _____

Certificate of Occupancy issued (date) _____

#1570

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA
COUNTY OF MARTIN

BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 300,000 .

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.

Walter D. Duffing
Affiant
Property street address:
38 E NIGH PT RD

Sworn to and subscribed
before me this 8th day of
July, 1985.

Joan H. Barrow
Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires:

(NOTARY SEAL) Notary Public, State of Florida
My Commission Expires Nov. 16, 1986
Bonded thru Troy Fair - Insurance, Inc.

TOWN *of* SEWALL'S POINT

One South Sewall's Point Road, Sewall's Point, Stuart, Florida 33494

COMMISSIONERS

JOHN C. GUENTHER, Mayor
GILBERT C. STURPELL, Vice Mayor
MIMI TOWE, Commissioner
CLIFFORD B. DRAKE, Commissioner
ROBERT R. AUNE, Commissioner

TELEPHONE (305) 287-2455

JOAN H. BARROW
Town Clerk
F.J. MATUSZEWSKI
Chief of Police

April 25, 1985

Walter Dippy, M.D.
141 North Sewall's Point Road
Sewall's Point
Stuart, Florida 33494

Dear Dr. Dippy:

Re: Building Permit # 1570

This is to advise you that your building permit will expire on May 3, 1985. Please let me know if you want to renew your building permit or if you are ready for a certificate of occupancy.

Thank you for your cooperation.

Sincerely,

TOWN OF SEWALL'S POINT

Peter Johnsen, Building Inspector

PJ:j



**FLORIDA MODEL ENERGY EFFICIENCY CODE
FOR BUILDING CONSTRUCTION**

FORM 902

BOB GRAHAM
GOVERNOR

SECTION 9 9H POINTS METHOD
DEPARTMENT OF COMMUNITY AFFAIRS

CLIMATE ZONES
SOUTH 789

PROJECT NAME AND ADDRESS	DR. & MRS DIPPY MARTIN CO. FCA. ZIP 33494	JURISDICTION	Town of Sewalls Point
BUILDER		ZONE	8
OWNER	DR. & MRS DIPPY	PERMIT NO.	1570
		JURISDICTION NO.	53-300

STATISTICS

<input type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION <input type="checkbox"/> MULTI-FAMILY	IF MULTI-FAMILY, NO. OF UNITS COVERED BY THIS CALCULATION:	<input type="text"/> <input type="text"/> <input type="text"/>	GLASS AREA AND TYPE	
	(SEPARATE CALCULATIONS REQUIRED FOR EACH WORST CASE UNIT TYPE.) SEC. H901.1		CLEAR	TINT OR FILM
			<input type="text"/> <input type="text"/> <input type="text"/> SGL <input type="checkbox"/>	<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> SGL <input type="checkbox"/>
			<input type="text"/> <input type="text"/> <input type="text"/> DBL <input type="checkbox"/>	<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> DBL <input type="checkbox"/>

GROSS WALL AREA AND INSULATION				CONDITIONED FLOOR AREA	CEILING INSULATION	
CBS	R=	FRAME	R=		UNDER ATTIC	SGL. ASSEMBLY
<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/>	<input type="text"/> <input type="text"/>	<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/>	<input type="text"/> <input type="text"/>	<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/>	R= <input type="text"/> <input type="text"/>	R= <input type="text"/> <input type="text"/>

COOLING SYSTEM		PRIMARY HEATING SYSTEM			PRIMARY HOT WATER SYSTEM		
<input checked="" type="checkbox"/> CENTRAL	<input type="checkbox"/> NONE	<input checked="" type="checkbox"/> STRIP	<input type="checkbox"/> GAS	<input type="checkbox"/> NONE	<input type="checkbox"/> RESISTANCE	<input checked="" type="checkbox"/> SOLAR	
<input type="checkbox"/> UNITARY		<input type="checkbox"/> OIL	<input type="checkbox"/> SOLAR		<input type="checkbox"/> HEAT RECOVERY	<input type="checkbox"/> GAS	
EER-SEER = <input type="text"/> <input type="text"/> <input type="text"/>		<input type="checkbox"/> HEAT PUMP: COP = <input type="text"/> <input type="text"/>			<input type="checkbox"/> DED. HEAT PUMP: COP = <input type="text"/> <input type="text"/>	<input type="checkbox"/> OTHER: _____	

MAX. E.P.I. ALLOWED (from 9A):	<input type="text"/> <input type="text"/> <input type="text"/>	CALCULATED E.P.I.:	<input type="text"/> <input type="text"/> <input type="text"/>
CHECK IF COMPLYING BY "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11)* <input type="checkbox"/>			
CERTIFIED BY:	<i>[Signature]</i>	DATE	4/19/83
FORM COMPLETION CHECKED BY:	<i>[Signature]</i>	DATE	5/2/83
THIS DATA IS TO BE SENT TO DCA BY THE LOCAL BUILDING DEPARTMENT.			

9A	MAX. E.P.I. ALLOWED (CALCULATED E.P.I. MUST NOT EXCEED VALUE SHOWN BELOW)									
CONDITIONED FLOOR AREA	0-900	901-1100	1101-1300	1301-1500	1501-1700	1701-1900	1901-2100	2101-2300	2301-ABOVE	
BASE E P I	120	115	110	105	100	95	90	85	80	
DEDUCTIONS	A/C EFFICIENCY LESS THAN 8.0 EER/SEER (7.5 HEAT PUMP) (as of October 1, 1982)									-10.0
	IF MULTI-FAMILY: COMMON WALLS (maximum of 5 points)									- 2.5
	IF MULTI-FAMILY: COMMON CEILING and/or FLOOR (maximum of 12 points)									- 6.0
	TOTAL DEDUCTIONS									
COMPUTE MAX. E.P.I. ALLOWED	BASE E.P.I.			DEDUCTIONS			MAX. E.P.I. ALLOWED			
	80			-			=			

*RESIDENCES WHICH COMPLY WITH THIS CODE BY THE "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11) ARE REQUIRED TO MEET OR EXCEED ALL MINIMUM PRESCRIPTIVE LEVELS INDICATED BY SHADED BLOCKS ON THIS FORM, AND ALL OTHER APPLICABLE PRESCRIPTIVE REQUIREMENTS LISTED IN TABLE 9B. THE E.P.I. FOR A HOUSE COMPLYING UNDER THIS METHOD IS NOT CALCULATED BUT WILL BE THE MAXIMUM E.P.I. ALLOWED FOR THAT HOUSE SIZE AS SHOWN ON TABLE 9A. THE STATISTICS SECTION ABOVE SHALL BE COMPLETED AND SUBMITTED TO THE LOCAL BUILDING DEPARTMENT.

9B	PRESCRIPTIVE MEASURES (CHECKLIST)		
INFILTRATION: windows/doors	903.1	HVAC DUCT CONSTRUCTION	903.5
WATER HEATER - ASHRAE LABEL	903.2	PIPING INSULATION	903.6
SWIMMING POOLS	903.3	HVAC CONTROLS	903.7
SHOWER FLOW RESTRICTORS	903.4	HVAC SYSTEM EFFICIENCY SECTION	903.8
		CEILING INSULATION	903.10

RESIDENTIAL CALCULATION

2

FORM 902

CLIMATE ZONES 7 8 9

COMPONENT			WINTER			SUMMER		
			AREA	x WPM =	GROSS WINTER POINTS	AREA	x SPM =	GROSS SUMMER POINTS
WALLS	CONCRETE	R 2.7 - 3.9		6.6			17.5	
		R 4-5.9		5.0			15.0	
		R 6 & UP	170	4.4	748	170	13.9	2363
	FRAME OR BRICK VENEER	R 11 - 18.9	2699	2.5	6747	2699	13.9	37516
		R 19-25.9		1.5			8.6	
		R 26 & UP		1.1			6.5	
	COMMON		2.7			3.8		
	DOORS	WOOD OR METAL			86.5			55.4
		INSULATED			84.0			22.2
		STORM DOOR			44.6			44.3
COMMON		63	21.6	1360	63	6.9	4347	
CEILING	UNDER ATTIC	R 19 - 21.9		1.9			8.4	
		R 22-29.9		1.7			7.6	
		R 30 & UP		1.5			5.5	
	SINGLE ASSEMBLY	R 6-7.9		5.4			22.6	
		R 8-9.9	1792	4.0	7168	1792	17.3	31001
		R 10-11.9		3.5			14.6	
		R 12-18.9		2.5			10.6	
		R 19 - 21.9		1.9			8.4	
	COMMON		1.7			2.0		
	FLOOR OVER UNCONDITIONED SPACE	WOOD	R 0-6.9		5.8			6.6
R 7-10.9				2.4			2.9	
R 11 - 18.9			1018	2.1	1425	1018	2.3	1527
R 19 & UP				1.4			1.5	
CONCRETE		R 0-2.9		6.8			8.2	
		R 3-5.9		4.3			5.7	
		R 6-10.9		3.4			3.6	
		R 11 - 18.9		2.3			2.9	
		R 19 & UP		1.5			1.9	
COMMON			1.7			2.0		
SLAB ON GRADE	EDGE INSULATION		PERIMETER	WPM				
	PERIMETER	R 0 - 2.9		28.3				
		R 3-5.9	NA	20.4				
		R 6 & UP		12.4				

GLASS DO NOT INCLUDE INTERIOR SHADING	OR	AREA	SGL	DBL	WOF 9F	GWP	OR	AREA	SINGLE		DOUBLE		SOF 9F	GSP 3
									CLR	TIN	CLR	TIN		
									N		5.5.4	38.5		
NE	43	5.5.4	38.5	.99	2358	NE	43	309	264	258	218	.98	11124	
E		5.5.4	38.5			E		425	360	362	304			
SE	390	5.5.4	38.5	.83	17970	SE	390	418	354	355	298	.91	112115	
S		5.5.4	38.5			S		346	294	287	242			
SW	45	5.5.4	38.5	.99	2468	SW	45	418	354	355	298	.93	14814	
W		5.5.4	38.5			W		425	360	362	304			
NW	148	5.5.4	38.5	1.0	8199	NW	148	309	264	258	218	.91	35555	
H		22.6	6.8			H		720	605	627	524			

GLASS AREA MUST NOT EXCEED: SGL/CLR 15% OF FLOOR AREA, SGL/TINT 17% OF FLOOR AREA, DBL/CLR 18% OF FLOOR AREA, DBL/TINT 20% OF FLOOR AREA.

H = HORIZONTAL GLASS (SKYLIGHTS), FOR SC LESS THAN 0.83 SEE SEC. 902.2d

TOTAL GROSS WINTER POINTS 42451

TOTAL GROSS SUMMER POINTS 246449

DUCT MULT	R = 3.5	42451	1.15	
	R = 5.0		1.12	
	R = 6.7		1.09	
	DUCT IN COND SPACE	42451	1.00	42451

DUCT MULT	R = 3.5		1.15	
	R = 5.0		1.12	
	R = 6.7		1.09	
	DUCT IN COND SPACE	246449	1.00	246449

HSM FROM 9G 42451 x 1.0 42451

CSM FROM 9H 246449 x .68 167585

DIVIDE BY FLOOR AREA 42451 ÷ 2758 15.39 WINTER POINTS

DIVIDE BY FLOOR AREA 167585 ÷ 2758 60.70 SUMMER POINTS

CALCULATE E.P.I.					
WINTER POINTS	SUMMER POINTS	HOT WTR PTS	CREDIT POINTS	PENALTY POINTS	E.P.I.
15.39	+ 60.70	- 16.8 (9I)	- 11 (9C) + (9D)	+ 3 (9E)	= 51.29
FEWER TOTAL POINTS ARE ENCOURAGED FOR MAXIMUM ENERGY SAVINGS					

9C	DESIGN CREDIT POINTS (CP)
CEILING FAN IN COND SPACE (max 5 CP)	1 5
MULTIZONE A/C SEPARATED BY DOOR	5 3
CROSS VENTILATION (1 CP per room)	1 3
WHOLE HOUSE FAN (min.1.5 cfm/s.f.)	5
WOOD STOVE	2
FIREPLACE with outside combustion air	2
9C TOTAL (not to exceed 12 points)	11

9D	HEATING SYSTEM CREDIT POINTS
NATURAL GAS/PROPANE HEATING	8.0
OIL HEATING	6.4

9E	DESIGN PENALTY POINTS
WASHER AND DRYER IN COND SPACE	3
TOTAL GLASS OPENS LESS THAN 40%	5
FIREPLACE W/ INSIDE COMBUSTION AIR	5

9F WINTER OVERHANG FACTOR (WOF)

FEET	N	NE	E	SE	S	SW	W	NW
0-0.9	1.00	0.99	0.85	0.75	0.83	0.98	1.00	1.00
1-1.9	1.00	0.99	0.85	0.76	0.84	0.98	1.00	1.00
2-2.9	1.00	0.99	0.86	0.77	0.86	0.99	1.00	1.00
3-3.9	1.00	0.99	0.87	0.80	0.87	0.99	1.00	1.00
4-4.9	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00
5-5.9	1.00	0.99	0.91	0.86	0.92	1.00	1.00	1.00
6-6.9	1.00	0.99	0.92	0.90	0.94	1.00	1.00	1.00
7-7.9	1.00	1.00	0.94	0.92	0.96	1.00	1.00	1.00
8-8.9	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00
9-9.9	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00
10-10.9	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00
11-11.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
12 UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

9F SUMMER OVERHANG FACTOR (SOF)

FEET	N	NE	E	SE	S	SW	W	NW
0-0.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.9	1.00	1.00	0.99	0.99	0.98	0.99	0.99	1.00
2-2.9	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.98
3-3.9	1.00	0.95	0.89	0.87	0.86	0.87	0.89	0.95
4-4.9	1.00	0.91	0.84	0.81	0.80	0.81	0.84	0.91
5-5.9	0.99	0.88	0.80	0.76	0.76	0.76	0.80	0.88
6-6.9	0.99	0.85	0.76	0.72	0.72	0.72	0.76	0.85
7-7.9	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83
8-8.9	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81
9-9.9	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-10.9	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78
11-11.9	0.97	0.76	0.63	0.61	0.65	0.61	0.63	0.76
12 UP	0.97	0.76	0.62	0.59	0.64	0.59	0.62	0.76

9G HEATING SYSTEM MULTIPLIER (HSM)

HEAT PUMP	COP	2.2-2.3	2.4-2.5	2.6-2.7	2.8-2.9	3.0-3.1	3.2-3.3	3.4 & UP
	HSM	0.45	0.42	0.38	0.36	0.33	0.31	0.29
SOLAR HEATING SYSTEM	(BACKUP SYSTEM FRACTION) x (BACKUP SYSTEM HSM)							
ELECTRIC STRIP HEAT	1.00							
NATURAL GAS / PROPANE	1.0 (SEE TABLE 9D FOR CREDITS)							
OIL	1.0 (SEE TABLE 9D FOR CREDITS)							

9H COOLING SYSTEM MULTIPLIER (CSM)

ELEC.	EER/SEER	6.8-6.9	7.0-7.4	7.5-7.9	8.0-8.4	8.5-8.9	9.0-9.4	9.5-9.9	10.0-10.4	10.5-10.9	11.0-11.9	12.0-UP
	CSM	1.00	0.93	0.87	0.81	0.76	0.72	0.68	0.65	0.62	0.59	0.54
GAS	COP	0.40-0.44	0.45-0.49	0.50-0.54	0.55-0.59	0.60-0.64	0.65-0.69	0.70 & UP				
	CSM	1.50	1.25	1.20	1.09	1.00	0.92	0.89				

*ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH MINIMUM AIR CONDITIONER EFFICIENCY LEVEL 8.0 SEER/EER FOR STRAIGHT COOL OR 7.5 FOR HEAT PUMPS.

NOTE: EER = COOLING MODE COP x 3.413 = ARI RATED COOLING OUTPUT IN BTUH ÷ TOTAL WATTS CONSUMED

9I HOT WATER CREDIT POINTS (HWCP)

ELECTRIC RESISTANCE WATER HEATER												0
GAS WATER HEATER												10
INSTANTANEOUS WATER HEATER	ELECTRIC											4.5
	GAS											12.6
HRU (A/C) WATER HEATER	ELECTRIC BACKUP											8.9
	GAS BACKUP											15.2
HRU (HP) WATER HEATER	ELECTRIC BACKUP											9.7
	GAS BACKUP											15.4
HEAT PUMP WATER HEATER (DEDICATED HEAT PUMP)	COP	1.60 - 1.89	1.90 - 2.19	2.20 - 2.49	2.50 - 2.79	2.80 - 3.00						
	CREDIT POINTS	9.0	11.4	13.1	14.4	15.4						
SOLAR HOT WATER	OVERALL SOLAR FRACTION*	0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8	0.9	1.0	
	ELECTRIC BACKUP	2.4	4.8	7.2	9.6	12.0	14.4	16.8	19.2	21.6	24.0	
	GAS BACKUP	11.4	12.8	14.2	15.6	17.0	18.8	19.8	21.2	22.6	24.0	

*PERCENT OF ANNUAL HOT WATER PROVIDED BY SOLAR SYSTEM ÷ 100 = OVERALL SOLAR FRACTION

Duppy's Job

MOSLEY & SON CONSTRUCTION, INC.

P.O. Box 1736 • Stuart, Florida 33495 • (305) 287-6962

1570

TO SEWALLS POINT TOWN HALL
ATT: BUILDING DEPT.,
1 S. SEWALLS POINT ROAD
STUART, FL 33494

RECEIVED
JUN 14 1983
Ans'd.....

DATE JUNE 13, 1983
SUBJECT RENEWAL OF CONTRACTOR'S LICENSE

ATTACHED PLEASE FIND THE RENEWAL FOR CONTRACTORS LICENSE FOR JACK E. MCDONALD CGC# 013477
EXPIRATION DATE JUNE 30, 1985.

THANK YOU,

MOSLEY & SON CONSTRUCTION, INC.



STATE OF FLORIDA Department of Professional Regulation
CONSTRUCTION INDUSTRY LICENSING BOARD

DATE: **5/26/83** FILE NO. **CG C013477** BATCH NO. **0179**

THE CERTIFIED GENERAL CONTRACTOR
 NAMED BELOW IS CERTIFIED
 UNDER THE PROVISIONS OF CHAPTER **489** FOR
 THE YEAR EXPIRING **JUNE 30, 1985**

MCDONALD, JACK E
MOSLEY & SON CONSTRUCTION INC
242 SE EDGEWOOD DRIVE
STUART FL 33494

DISPLAY IN A CONSPICUOUS PLACE

Samuel R. Sherten
 SECRETARY OF PROFESSIONAL
 REGULATION

STATE OF FLORIDA Department of Professional Regulation
**CONSTRUCTION INDUSTRY
 LICENSING BOARD**

MCDONALD, JACK E
MOSLEY & SON CONSTRUCTION INC
CERTIFIED GENERAL CONTRACTOR
 HAS PAID THE FEE REQUIRED BY CHAPTER **489**
 FOR THE YEAR EXPIRING **JUNE 30, 1985**

Jack E. McDonald
 SIGNATURE

PLEASE READ IMPORTANT
 INFORMATION ON REVERSE

Samuel R. Sherten
 SECRETARY OF PROFESSIONAL
 REGULATION

WALLET CARD - FOLD HERE
CONSTRUCTION INDUSTRY LICENSING BOARD
POST OFFICE BOX 2
JACKSONVILLE, FL 32201

AUDIT CONTROL NO.	FILE NO.	BATCH NO.	FEE AMOUNT
273162	CGC013477	0179	\$80.00

DR DIPPY

Form 902C

RESIDENTIAL

CLIMATE ZONES - 7 (8) 9

SOLAR WATER HEATER CALCULATION: FLAT PLATE SYSTEMS

COLLECTOR PERFORMANCE FACTORS: ATTACH FSEC TEST CERTIFICATION

RI = $\frac{\text{Intermediate Temperature Rating in BTU/day}}{\text{Area of Collector (in Square Feet)}} = \frac{(2) 27600}{(2) 29.85} = 924.6$

Table 9-6 FACTORS FROM TESTS BY FLORIDA SOLAR ENERGY CENTER

RI of 900 and above, collector Class 1
 RI between 800 and 899, collector Class 2
 RI between 720 and 799, collector Class 3
 RI between 640 and 719, collector Class 4
 RI between 560 and 639, collector Class 5
 RI 559 and below, collector Class 6

Table 9-7 AREA OF COLLECTOR PER GALLONS OF HOT WATER DEMAND PER DAY

$\frac{AOC}{GPD} = \frac{(59.7)}{(70)} = .85$

AOC = Effective Area of Collector
 GPD = Hot Water Demand = 30 GPD for 1st Bedroom + 20 GPD per additional Bedroom

Table 9-8 SOLAR FRACTION "FS"

AOC GPD	COLLECTOR CLASSES					
	1	2	3	4	5	6
0	0	0	0	0	0	0
0.1	.22	.19	.18	.16	.16	.12
0.2	.40	.34	.32	.29	.28	.22
0.3	.55	.46	.43	.39	.37	.30
0.4	.65	.57	.52	.45	.45	.37
0.5	.79	.66	.59	.56	.51	.43
0.6	.86	.74	.66	.62	.57	.49
0.7	.90	.80	.72	.68	.62	.54
0.8	.93	.85	.77	.74	.67	.59
0.9	.95	.88	.82	.78	.71	.63
1.0	.97	.91	.85	.82	.75	.67
1.1	.99	.92	.87	.85	.78	.71
1.2	1.00	.94	.89	.87	.81	.74
1.3	1.00	.96	.91	.89	.84	.77
1.4	1.00	.97	.92	.90	.85	.80
1.5	1.00	.98	.93	.92	.87	.83

Table 9-9 TILT ANGLE DEGRADATION FACTOR ("TDF")

TILT ANGLE	TDF
0	0.90
6	0.95
16	0.99
26	1.00
36	0.99
46	0.94
56	0.88
66	0.80
76	0.71
90	0.54

Table 9-10 ORIENTATION DEGRADATION FACTOR ("ODF")

ANGLE FROM SOUTH	ODF
0 (South)	1.00
10	0.98
20	0.97
30	0.95
40	0.93
50	0.91
60	0.88
70	0.84
80	0.78

Table 9-11 HEAT EXCHANGER COEFFICIENT (HEC)

DIRECT SYSTEM	1.00
SYSTEM WITH HEAT EXCHANGER	0.96

OVERALL SOLAR FRACTION (OSF)

OSF = (FS) X (TDF) X (ODF) X (HEC)
 = (.93) X (1.0) X (.95) X (1.0) = .88

Building Permit Number: _____

Kenneth S. Munday (CWC 022614)
 Certified By (Solar Contractor) Date 4/25

Address of Solar Installation _____

Form Completion Checked By (Building Official) Date _____

DR DIPPY

SUMMARY INFORMATION SHEET

FLORIDA SOLAR ENERGY CENTER

300 STATE ROAD 401, CAPE CANAVERAL, FLORIDA 32920, (305) 783-0300



October 1981
FSEC # 81154W

MANUFACTURER

Collector Model

U.S. Solar Corporation
P.O. Drawer "K"
Hampton, Florida 32044

~~CA-32-566~~

This solar collector was evaluated by the Florida Solar Energy Center (FSEC) in accordance with prescribed methods and was found to meet the minimum standards established by FSEC. This evaluation was based on solar collector tests performed at Wyle Laboratories, Huntsville, Alabama. The purpose of the tests is to verify initial performance conditions and quality of construction only. The resulting certification is not a guarantee of long term performance or durability.

DESCRIPTION

Gross Length	2.454 meters	8.05 feet
Gross Width	1.183 meters	3.88 feet
Gross Depth	0.094 meters	0.31 feet
Gross Area	2.901 square meters	31.23 square feet
Transparent Frontal Area	2.773 square meters	26.85 square feet
Volumetric Capacity	3.4 liters	0.9 gallons
Weight (empty)	60.3 kilograms	133.0 pounds
Recommended Flow Rate	126 ml/s	2.0 gpm
Maximum Operating Pressure	552 kPag	80 psig
Maximum Wind Load	4028 Pa	84 psf
Number of Cover Plates	One	
Flow Pattern	Parallel	
Number of Flow Tubes	Eight	

MATERIALS

Enclosure	Aluminum frame
Glazing	AFG Sunadex (tempered water white glass) 0.48 cm thick
Absorber	Copper sheet roll formed over copper tubes
Absorber Coating	Black chrome
Insulation	Polyisocyanurate, 3.2 cm thick

THERMAL PERFORMANCE

Tested per ASHRAE 93-77

Incident Angle Modifier $K_{\tau\alpha} = 1.0 - 0.04 \left(\frac{1}{\cos\theta} - 1 \right)$

Efficiency Equations

$$\eta = 75.1 - 505 (T_i - T_a)/I$$

$$\eta = 75.1 - 89 (T_i - T_a)/I$$

$$\eta = 73.0 - 324 (T_i - T_a)/I - 2507 [(T_i - T_a)/I]^2$$

$$\eta = 73.0 - 57 (T_i - T_a)/I - 78 [(T_i - T_a)/I]^2$$

Units of $T_i - T_a/I$ are Watt/°C·m²

Units of $T_i - T_a/I$ are Btu/°F·ft²·hr

RATING

The collector has been rated for energy output on measured performance and an assumed standard day. Total solar energy available for the standard day is 5045 watt-hours/m² (1600 Btu/ft²) distributed over a 10 hour period.

Output energy ratings for this collector based on the second-order efficiency curve are:

Collector Temperature

Energy Output

Low Temperature, 35°C (95°F)

35,700

Kilojoules/day

33,800 Btu/day

High Temperature, 100°C (212°F)

8,500

Kilojoules/day

8,100 Btu/day

~~Intermediate Temperature, 65°C (149°F)~~

29,100

Kilojoules/day

~~27,500 Btu/day~~

FLORIDA COUNCIL ON COMPENSATION INSURANCE

POST OFFICE BOX 8899
JACKSONVILLE, FLORIDA 32239
904 -- 725-6241

DATE: March 7, 1983

[
Dippy, Walter & Carol
141 North Sewalls Point Road
Jensen Beach, Florida 33457
]

Lot 106, High Point Road
Stuart, Florida

Re: Workers' Compensation and Employers' Liability Policy Binder

Gentlemen:

This is to acknowledge receipt of an estimated or deposit premium payment and your application requesting coverage through the Workers' Compensation Insurance Plan (Florida).

Coverage has been bound for 30 days beginning at 12:01 A.M. on the effective date indicated below, and with the insurance company named below. Coverage is provided under the Florida Workers' Compensation Law, subject to provisions of the Standard Workers' Compensation and Employers' Liability Policy which will be issued prior to expiration of your binder. The limit of Employers' Liability coverage is \$100,000. Your binder identification number is also indicated below.

Insurance Company	Effective Date	Binder Identification Number
Employers	3-3-83	243 ARB

Please retain this binder as evidence of coverage until you receive your policy.

Yours very truly,

Mrs. Vanessa Williams/pr

AGENCY NAME:

[
Tim Garvey Insurance Agency, Inc.
P.O. Box 2355
Stuart, Florida 33495
]

Carrier: Check attached for \$305.00

INSURANCE COMPANY:

[
Employers Mutual Liability
1815 Century Blvd.
P.O. Box 105067
Atlanta, Ga. 30348
]

RESIDENTIAL

CLIMATE ZONES - 7, 8, 9

SOLAR WATER HEATER CALCULATION: FLAT PLATE SYSTEMS

COLLECTOR PERFORMANCE FACTORS: ATTACH FSEC TEST CERTIFICATION

FSEC# 811735

RI = $\frac{\text{Intermediate Temperature Rating in BTU/day}}{\text{Area of Collector (in Square Feet)}} = \frac{(37000)}{(40.67)} = 909.8$

<p>Table 9-6 FACTORS FROM TESTS BY FLORIDA SOLAR ENERGY CENTER</p> <p>RI of 900 and above, collector Class 1 RI between 800 and 899, collector Class 2 RI between 720 and 799, collector Class 3 RI between 640 and 719, collector Class 4 RI between 560 and 639, collector Class 5 RI 559 and below, collector Class 6</p>	<p>Table 9-7 AREA OF COLLECTOR PER GALLONS OF HOT WATER DEMAND PER DAY</p> <p>$\frac{AOC}{GPD} = \frac{(40.67)}{(70)} = 0.581$</p> <p>AOC = Effective Area of Collector GPD = Hot Water Demand = 30 GPD for 1st Bedroom + 20 GPD per additional Bedroom</p>
---	---

Table 9-8 SOLAR FRACTION "FS"

AOC GPD	COLLECTOR CLASSES					
	1	2	3	4	5	6
0	0	0	0	0	0	0
0.1	.22	.19	.18	.16	.16	.12
0.2	.40	.34	.32	.29	.28	.22
0.3	.55	.46	.43	.39	.37	.30
0.4	.65	.57	.52	.45	.45	.37
0.5	.79	.66	.59	.56	.51	.43
0.6	.86	.74	.66	.62	.57	.49
0.7	.90	.80	.72	.68	.62	.54
0.8	.93	.85	.77	.74	.67	.59
0.9	.95	.88	.82	.78	.71	.63
1.0	.97	.91	.85	.82	.75	.64
1.1	.99	.92	.87	.85	.78	.71
1.2	1.00	.94	.89	.87	.81	.74
1.3	1.00	.96	.91	.89	.84	.77
1.4	1.00	.97	.92	.90	.85	.80
1.5	1.00	.98	.93	.92	.87	.83

Table 9-9 TILT ANGLE DEGRADATION FACTOR ("TDF")

TILT ANGLE	TDF
0	0.90
6	0.95
16	0.99
26	1.00
36	0.99
46	0.94
56	0.88
66	0.80
76	0.71
90	0.54

Table 9-10 ORIENTATION DEGRADATION FACTOR ("ODF")

ANGLE FROM SOUTH	ODF
0 (South)	1.00
10	0.98
20	0.97
30	0.95
40	0.93
50	0.91
60	0.88
70	0.84
80	0.78

Table 9-11 HEAT EXCHANGER COEFFICIENT (HEC)

DIRECT SYSTEM	1.00
SYSTEM WITH HEAT EXCHANGER	0.96

OVERALL SOLAR FRACTION (OSF)

OSF = (FS) X (TDF) X (ODF) X (HEC)
 = (.86 X 1.00 X 1.00 X 1.00) = 0.86

Building Permit Number: 1512
62 N. RIVER Rd
SEWALL PT.
 Address of Solar Installation

Kenneth P. Seale 9/21/82
 Certified By (Solar Contractor) Date
M. M. ... 9/21/82
 Form Completion Checked By (Building Official) Date

SUMMARY INFORMATION SHEET

FLORIDA SOLAR ENERGY CENTER

300 STATE ROAD 401, CAPE CANAVERAL, FLORIDA 32920. (305) 783-0300



October 1981
FSEC # 81173S

MANUFACTURER

Solar Development Inc.
3630 Reese Avenue
Riviera Beach, FL 33404

Collector Model
SD7CRW (4x10)

This solar collector was evaluated by the Florida Solar Energy Center (FSEC) in accordance with prescribed methods and was found to meet the minimum standards established by FSEC. This evaluation was based on solar collector tests performed at Solar Energy Analysis Laboratory, San Diego, California. The purpose of the tests is to verify initial performance conditions and quality of construction only. The resulting certification is not a guarantee of long term performance or durability.

DESCRIPTION

Gross Length	3.066 meters	10.06 feet
Gross Width	1.232 meters	4.04 feet
Gross Depth	0.088 meters	0.29 feet
Gross Area	3.778 square meters	40.67 square feet ✓
Transparent Frontal Area	3.563 square meters	38.35 square feet
Volumetric Capacity	2.5 liters	0.65 gallons
Weight (empty)	77.7 kilograms	171 pounds
Recommended Flow Rate	126 ml/s	2.0 gpm
Maximum Operating Pressure	1103 kPag	160 psig
Maximum Wind Load	2633 Pa	55 psf
Number of Cover Plates	One	
Flow Pattern	Parallel	
Number of Flow Tubes	Ten	

MATERIALS

Enclosure Aluminum Frame
 Glazing AFG Sunadex (tempered glass 0.01% iron oxide content) 0.48cm thick
 Absorber Welded finned tube, copper
 Absorber Coating Nickel and black chrome coating
 Insulation Foil faced polyisocyanurate, 2.54cm thick

THERMAL PERFORMANCE

Tested per ASHRAE 93-77

$$\text{Incident Angle Modifier } K_{\tau\alpha} = 1.0 - 0.22 \left(\frac{1}{\cos\theta} - 1 \right)$$

Efficiency Equations

$$\eta = 77.7 - 531 (Ti-Ta)/I$$

$$\eta = 77.7 - 94 (Ti-Ta)/I$$

$$\eta = 77.0 - 433 (Ti-Ta)/I - 1615 [(Ti-Ta)/I]^2$$

$$\eta = 77.0 - 76 (Ti-Ta)/I - 50 [(Ti-Ta)/I]^2$$

Units of $Ti-Ta/I$ are $\text{Watt}/^\circ\text{C}\cdot\text{m}^2$

Units of $Ti-Ta/I$ are $\text{Btu}/^\circ\text{F}\cdot\text{ft}^2\cdot\text{hr}$

RATING

The collector has been rated for energy output on measured performance and an assumed standard day. Total solar energy available for the standard day is 5045 watt-hours/m² (1600 Btu/ft²) distributed over a 10 hour period.

Output energy ratings for this collector based on the second-order efficiency curve are:

Collector Temperature	Energy Output
Low Temperature, 35°C (95°F)	48,600 Kilojoules/day 46,100 Btu/day
Intermediate Temperature, 50°C (122°F)	39,000 Kilojoules/day 37,000 Btu/day ✓
High Temperature, 100°C (212°F)	11,800 Kilojoules/day 11,200 Btu/day

FLORIDA COUNCIL ON COMPENSATION INSURANCE

POST OFFICE BOX 8899
JACKSONVILLE, FLORIDA 32239
904 - 725-6241

DATE: March 7, 1983

Dippy, Walter & Carol
141 North Sewalls Point Road
Jensen Beach, Florida 33457

Lot 106, High Point Road
Stuart, Florida

Re: Workers' Compensation and Employers' Liability Policy Binder

Gentlemen:

This is to acknowledge receipt of an estimated or deposit premium payment and your application requesting coverage through the Workers' Compensation Insurance Plan (Florida).

Coverage has been bound for 30 days beginning at 12:01 A.M. on the effective date indicated below, and with the insurance company named below. Coverage is provided under the Florida Workers' Compensation Law, subject to provisions of the Standard Workers' Compensation and Employers' Liability Policy which will be issued prior to expiration of your binder. The limit of Employers' Liability coverage is \$100,000. Your binder identification number is also indicated below.

Insurance Company	Effective Date	Binder Identification Number
Employers	3-3-83	243 ARB

Please retain this binder as evidence of coverage until you receive your policy.

Yours very truly,

Mrs. Vanessa Williams/pr

AGENCY NAME:

Tim Garvey Insurance Agency, Inc.
P.O. Box 2355
Stuart, Florida 33495

Carrier: Check attached for \$305.00

INSURANCE COMPANY:

Employers Mutual Liability
1815 Century Blvd.
P.O. Box 105067
Atlanta, Ga. 30348

This Warranty Deed Made the 5th day of October A. D. 1979 by

Sauveur Trincali, as a married man
hereinafter called the grantor, to

Walter E. Dippy

whose postoffice address is 518 East Osceola Ave., Stuart, Florida
hereinafter called the grantee;

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, releases, conveys and confirms unto the grantee, all that certain land situate in Martin County, Florida, viz:

Lot 106, ISLE ADDITION TO HIGH POINT, according to the Plat thereof on file in the Office of the Clerk of the Circuit Court in and for Martin County, Florida, in Plat Book 4, page 47.

This is not the homestead property of grantor.
The homestead property of the grantor is:
7561 N.W. 13th Court
Plantation, Florida

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any-wise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1978.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Handwritten signatures of witnesses]
STATE OF Florida
COUNTY OF Palm Beach

[Handwritten signature of Sauveur Trincali]
Sauveur Trincali **L.S.**
L.S.

SPACE BELOW FOR RECORDERS USE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared

Sauveur Trincali, a married man

to me known to be the person described in and who executed the foregoing instrument and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 5th day of October A. D. 1979.

[Handwritten signature of Notary Public]
Notary Public, State of Florida at Large.
My Commission Expires April 6, 1982.

This Instrument prepared by:

Address



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR SEPTIC TANK PERMIT
AND FINAL INSPECTION FORM

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED.

MARTIN COUNTY HD82-550 R&W 4-29-83
Permit Number [REDACTED] VOID

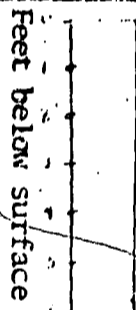
Authority:
Chapter 381, 386, 387, FS
Chapter 10D-6, FAC

Price Engineering Company, 1320 Palm Beach Rd., Stuart, FL
Name of Applicant WALTER DIPPY Telephone 203-2199
Mailing Address of Applicant 6205 S.W. 33RD. ST. STUART, FLA. 33494
To be Installed at: (Give Street Address) HIGH POINT ROAD
Lot 106 Block - Subdivision "ISLE ADDITION TO HIGH POINT"
Plat Book & Page BK 4 PG 47 Date Recorded 7/65
Residential: No. Living Units 1 Number Bedrooms 3
Commercial: Type of Business RES Number People - Number Toilets -
*Note: Attach site location map and other supportive documents.
Signature of Applicant [Signature]

SITE INFORMATION

Is there a private well within 75 ft. of the proposed septic system? NO
Is there a public well within 100 ft. of the proposed septic system? NO
Is there a public sewer within 100 ft. of the proposed lot? NO
Is there a lake, stream, canal or other body of water within 50 ft. of the proposed septic system? NO
Is there a septic system or other interference within 75 ft. of the proposed private well? -
Is the proposed or existing public water line within 10 ft. of the proposed septic system? NO
There is 100 square feet of unobstructed land for future expansion of the drainfield.

SOIL PROFILE AND PERCOLATION DATA



REMOVE ALL IMPERVIOUS MATERIALS TO A DEPTH OF 6' AND BACKFILL WITH A GOOD GRADE OF SAND IN ENTIRE AREA OF DRAINFIELD.

Water table..... 3'-6"
Wet season water table... 3'-6"
Compacted fill of..... 36" MINIMUM required.
Compacted fill check by.. [Signature]
Date.....

Certified by: [Signature]
Florida Professional Number: 17788
Date: 10/25/82 Job Number 82-305
Percolation Rate 1 Minutes/Inch
Soil Identification: Sandy
Class - Group -

INSTALLATION SPECIFICATIONS

Septic Tank Capacity 900 Gallons Absorption Bed Size 300 Square Ft.
Dosing Tank Capacity - Gallons Lateral Drainfield Size - Square Ft.
Grease Trap Capacity - Gallons Sand Filter Size - Square Ft.

Specifications: TOP OF SEPTIC TANK IS REQUIRED TO BE A MINIMUM ELEVATION OF

11-17-82
Date Processed

15.5' BELOW CROWN OF ROAD

~~PERMIT TO BE CERTIFIED PRIOR TO INSTALLATION~~ R&W 4-29-83

THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

Robert B. Washburn, R.S.
Signature of Sanitarian

MARTIN County Health Department

FINAL INSPECTION DATA

Date and Time of Inspection _____ Type of Tank (Concrete, Fiberglass, Etc.) _____

Size Tank Installed _____ Drainfield Size _____
Dosing Tank Size _____ Grease Trap Size _____ Sand Filter Size _____
Who Made Installation _____

RECOMMENDATION: Approval - Disapproval -

Signature of Sanitarian _____

022273

MARTIN COUNTY HEALTH DEPT.
131 E. 7th Street
Stuart, Fl 33497
287-2277

STUBOUT ELEVATION AND FILL CERTIFICATION

APPLICANT: WALTER DIPPY

LEGAL DESCRIPTION: LOT 106 ISLE ADDN TO HIGH POINT

SEPTIC TANK PERMIT NUMBER: HD 82-550

The items noted below must be certified prior to the first Building Department inspection:

1. Building Permit number: _____
2. I certify that the top of the lowest plumbing stubout is _____ feet above the crown of road.
3. I certify that an average depth of _____ feet of compacted fill presently exists above natural grade in the area of the proposed septic system. Surface area of fill observed in area of proposed septic system _____ square feet. A minimum of 150 square feet of filled surface area is required per bedroom. Date fill observed: _____
4. Has fill been compacted comparable to the surrounding natural soil? _____
5. I certify that all severe limited soil has been removed from an area of 20 feet by 40 feet to a minimum depth of 4 feet. I also certify that all severe limited soil has been replaced by a slight limited soil. Date observed: _____

NOTE: The septic tank must be at least 4" above top of stubout and the drainfield must be centered in the excavated area. Please set stakes to identify the excavated area boundaries.

CERTIFIED BY: _____

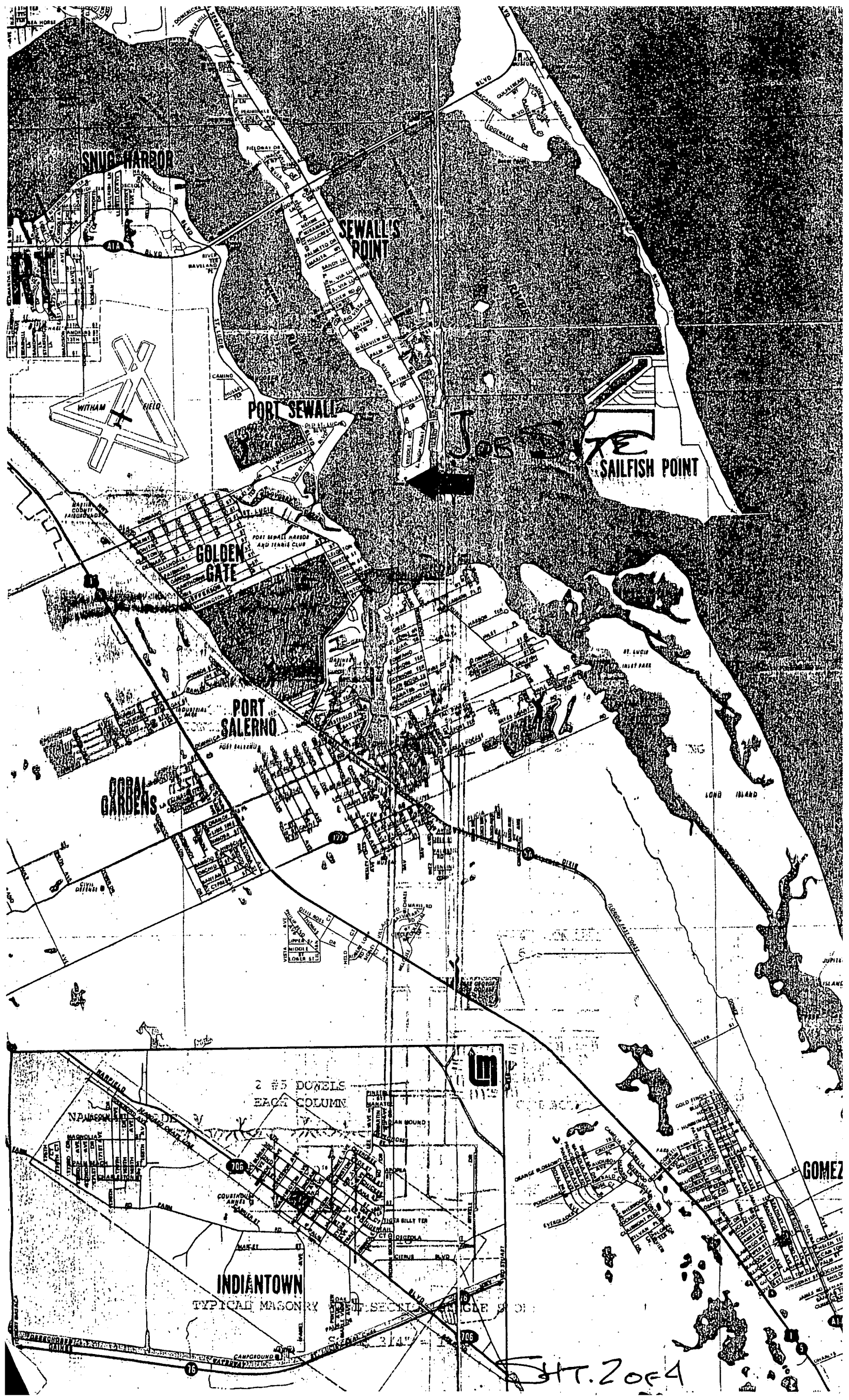
Florida Professional Number: _____

Date: _____ Job Number: _____

FOR MARTIN COUNTY HEALTH DEPARTMENT USE ONLY

Signature of Sanitarian

Date



SNUG HARBOR

SEWALL'S POINT

PORT SEWALL

GOLDEN GATE

PORT SALERNO

CORAL GARDENS

SAILFISH POINT

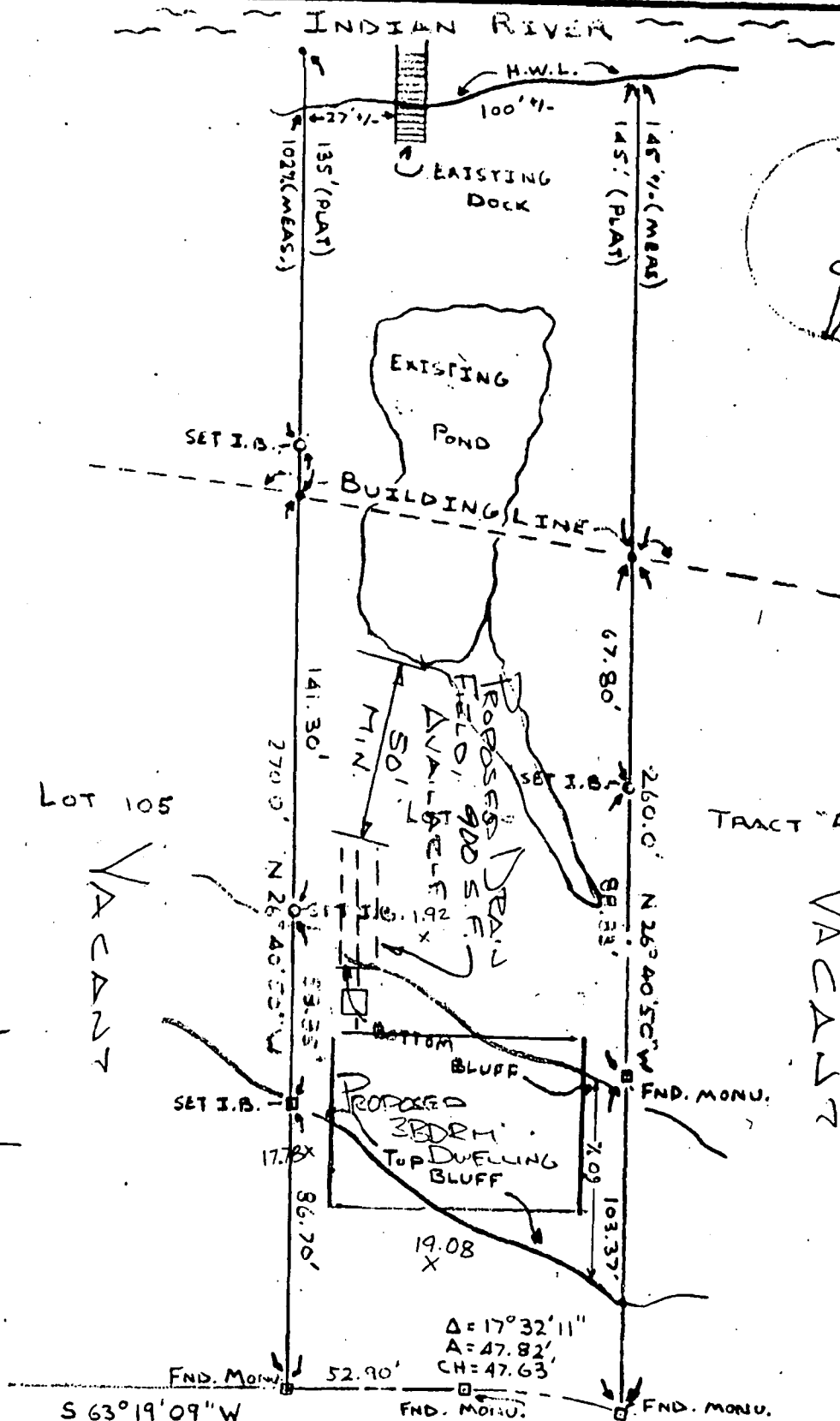
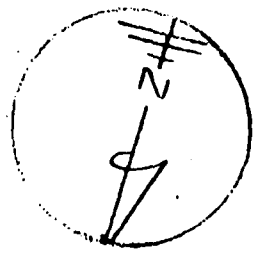
INDIANTOWN

TYPICAL MASONRY

2 #5 DOWELS
EACH COLUMN

GOMEZ

HT. 2094



NO OBSTRUCTIONS
BOUNDARY SURVEY

DESCRIPTION

BEING KNOWN AS LOT 106
"ISLE ADDITION TO HIGH POINT" S/D,
AS RECORDED IN P. AT BOOK 4, PAGE 47,
PUBLIC RECORDS OF MARTIN COUNTY, FLA.

PRICE ENGINEERING COMPANY

Engineers - Planners - Surveyors
1320 PALM BEACH ROAD
STUART, FLORIDA 33494

PREPARED FOR

BOE BAIRD

*ALL LOTS ON CITY WATER

RONALD J. PRICE
FLORIDA LICENSE NO. 2683

DRAWN BY: SCALE 1"=50' DATE 12-21-82 ISSUED BY: DATE: W.O. NO. 92-305 PROJECT NO. 2247

REVISION 11/9/82 SSR

Plot Plan

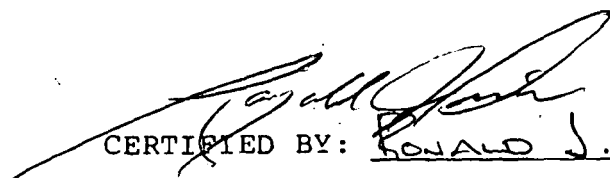
MARTIN COUNTY HEALTH DEPT.
131 E. 7th Street
Stuart, Fl. 33497
287-2277

SITE INFORMATION

APPLICANT: WALTER E. DIPPY

LEGAL DESCRIPTION: LOT 106 Isle Add to High Point

1. Present water depth 3'-6" feet below natural grade, not including fill.
2. Wet season water depth 3'-6" feet below natural grade, not including fill.
3. Elevation of crown of road, midway between front lot boundary 20.0. If road is not paved, another permanent reference point must be noted. Show location on plot plan.
4. Elevation of natural grade at soil boring in area of proposed septic system 1.92.
5. Are all wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicants lot shown on plot plan? YES
6. Is there a storm water retention area within 15 feet of the proposed septic system? NO
7. Is the septic system in an area proposed for paving? NO
8. Attach site location map or explain directions to site below:


CERTIFIED BY: RONALD J. PRICE

Florida Professional Number: 17788

Date: 4/28/83 Job Number: 82-305

1570

To: The town of Sewall's Pt., Town Manager
From : Martin County Health Department.

Be it known that the individual sewage disposal system(s) installed
on Lot 106 Highpt Rd
for Walter Dippy
has been found to be in compliance with Chapter 10D-6, Florida
Administrative Code, and therefore is granted final approval.

HD # 82-550 By: Jacqueline D. Kelly
(Sanitarian)

RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 4/30/85

This is to request that a Certificate of Approval for Occupancy be issued to Dr. W. Dippy
 For property built under Permit No. 1570 Dated 5/2/83 & 5/3/84 when completed in
 conformance with the Approved Plans.

Item	Signed	Approved by
1. LOT STAKES/SET BACKS		
2. TERMITE PROTECTION	<u>L. Lucas Pest Control</u>	
3. FOOTING - SLAB <u>7/24/83</u>	<u>6/21/83 7/8/83 7/26/83</u>	<u>4/26/84</u> Footing for wall 1/3/84 TOP of front wall 1/3/84
4. ROUGH PLUMBING	<u>7/21/83 12/6/83</u>	<u>7/6/83</u> Retain Wall <u>10/19/83</u> Septic Tank Conn.
5. ROUGH ELECTRIC	<u>7/6/83</u>	
6. LINTEL <u>7/15/83</u>	<u>Columns - 6/29/83 7/7/83</u>	
7. ROOF		<u>10/8/84</u> Pool - Steel Grid <u>7/21/84</u> Vano
8. FRAMING	<u>12/6/83</u>	<u>5/15/84</u> Hurricane Clips
9. INSULATION	<u>9/5/84 10/18/84</u>	<u>10/2/84</u> Ripped Roof
10. A/C DUCTS	<u>5/15/84</u>	
11. FINAL ELECTRIC	<u>4/30/85</u>	
12. FINAL PLUMBING	<u>4/30/85</u>	
13. FINAL CONSTRUCTION	<u>4/30/85</u>	<u>OK Dept of Health</u>

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector [Signature] 4/30/85 date

Approved by Building Commissioner [Signature] 4/30/85 date

Utilities notified 4/30/85 date

Original Copy sent to Owner

(Keep carbon copy for Town files)

1746

POOL

Permit No. # 1746

Date 9/24/84

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner DR. WALT W. PIPPY Present Address 38 HIPT.

Phone 287-6135

Contractor ALLEN POOL Address 20,500 S. US 1 PSC

Phone 335-5300

Where licensed SEWALL PT License number ON FILE

Electrical contractor --- License number ---

Plumbing contractor --- License number ---

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 38 HIPT. SEWALL PT.

State the street address at which the proposed structure will be built: Pool

Subdivision 38 E HIGH POINT RD Lot number 106 Block number ---

Contract price \$ 12,000 Cost of permit \$ 60⁰⁰

Plans approved as submitted --- Plans approved as marked ---

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor W. M. K... for Allen Pool

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Carol Ruben Pippy

TOWN RECORD Date submitted 9/24/84 Approved: [Signature] Building Inspector Date 9/27/84

Approved: [Signature] Commissioner Date 9/27 Final Approval given: --- Date ---

Certificate of Occupancy issued (if applicable) 3/20/80 Date ---

SP1282

Permit No. # 1746

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Energy Efficiency Building Code.



Richard L. Fuhr
Allen Pools

CERTIFICATION AS A Commercial Pool Contractor

CERTIFICATION NO: CP C029630

EXPIRATION DATE: October 16, 1984

Dear Mr. Fuhr:

This 60-day Authorization Letter will serve as your Temporary License as the qualifier of the above captioned business entity until the above captioned expiration date.

Until the above expiration date, you are entitled to all the privileges allowed under the Certification Law, Part I, Chapter 489, of the Florida Statutes.

Your permanent license will be forwarded to you from Tallahassee.

CONCRETE FLOOR AT LEAST 80 PERCENT OF POOL PERIMETER

constant for at least 80 percent of the pool perimeter. A RAISED GROUND SHALL not be a part of the 18 inch minimum width.

(e) Concrete placed by hand against the natural earth or forms shall comply with Chapters 23, 24 and 25 and shall have a 28 day compressive strength of not less than 3000 p.s.i. Floors shall have a minimum thickness of 6 inches and walls shall have a minimum thickness of 8 inches. Screeds shall be set prior to inspection so that the concrete thickness may be checked.

5003.2 UNIT MASONRY WALLS: Unit masonry walls of swimming pools shall be designed and constructed as set forth in Chapters 23, 24, and 27. Block shall be 2-cell block laid with nominal 8-inch thickness in the wall and all voids shall be poured full with concrete having a minimum strength of 2500 p.s.i. in 28 days, and containing no aggregate larger than will pass a #3 sieve. Filling of voids will proceed in stages not to exceed 24 inches in height, or 12 times least dimension of void, whichever is the greater. Concrete shall be thoroughly rodded into voids. Walls with a height greater than 3 feet 4 inches shall have a minimum vertical steel of #3 bars, 16 inches o.c.

5003.3 PNEUMATICALLY PLACED CONCRETE: Pneumatically placed concrete shall be as set forth in Sub-sections 5003.1 and 5003.2 except that walls shall have a minimum thickness of 6 inches at the bottom and 4 inches at the top with reinforcing centered therein.

5003.4 OTHER MATERIALS: Alternate materials and methods may be used subject to rational analysis based on accepted engineering principles in accordance with Section 204 of this Code.

5003.5 WATER TIGHTNESS: Any completed pool shall be watertight.

5003.6 WALKING SURFACES: The surfaces of walks, curbs, steps and other walking areas shall be slip-resistant.

5004 WATER SUPPLY AND DISPOSAL

5004.1 APPLICATION OF PLUMBING: Plumbing permits shall be required for pool piping. Actual connections to potable water supply and sanitary sewers shall be in accordance with the technical requirements of Chapter 46.

5004.2 WATER SUPPLY: The water supply shall be clean and meet bacterial requirements for a domestic water supply. To avoid a cross-connection, an atmospheric break shall be provided between the pool water and each water line connected to a municipal or other public supply. Filling of pool by hose from an approved permanent syphon breaker or a permanent over-rim fillspout will be acceptable.

5004.3 WATER DISPOSAL: A means of disposing backwash water and a method of emptying the pool shall be provided by one of the following methods; except that backwash water from pressure diatomite filters so piped to permit backwash to waste, shall be deployed to a settling basin before final disposal by methods (a), (b), (c), (e) and (f) below.

(a) By disposal to sewers, either publicly or privately owned, carrying sanitary or storm sewage or to a disposal well, where approved by the authority having jurisdiction. The methods of connection shall be as set forth in Chapter 46 and there shall be no direct connection.

(b) By disposal to an open waterway, bay or ocean where permitted by the approving authority.

(c) By disposal to a drainfield sized in accordance with table 50-A. The installation and method of construction of a drainfield shall be as set forth in Section 4615.

(d) By disposal through a sprinkler system for irrigation purposes. Disposal shall be within the confines of the property from which it originates. There shall be no flow on or across any adjoining property or sidewalk either public or private. Backwash water shall not be discharged through a sprinkler system.

mer and vacuum line, (if provided) and located in an accessible place outside the walls of the pools.

(f) The turnover rate for all residential pools shall be a minimum of once every 12 hours of operation.

5002 DIMENSIONAL DESIGN:

(a) Minimum dimensions for public pools shall comply with the Standard set forth in Paragraph 5001.2(a).

(b) Minimum dimensions for residential pools, with or without diving equipment, shall comply with the Standard set forth in Paragraph 5001.2 (b) and as follows:

(1) Such pools shall have no underwater projecting angles or ledges from the walls except steps or ladders for ingress and egress.

(2) Therapy seats, or similar areas where installed, shall be recessed not more than 24 inches into the sides of such pools, not more than 20 inches below water level and not to exceed 10 percent of the total pool perimeter in length and in such manner as to clearly distinguish such underwater obstruction from pool areas into which persons may dive.

5003 CONSTRUCTION DETAILS

5003.1 GENERAL:

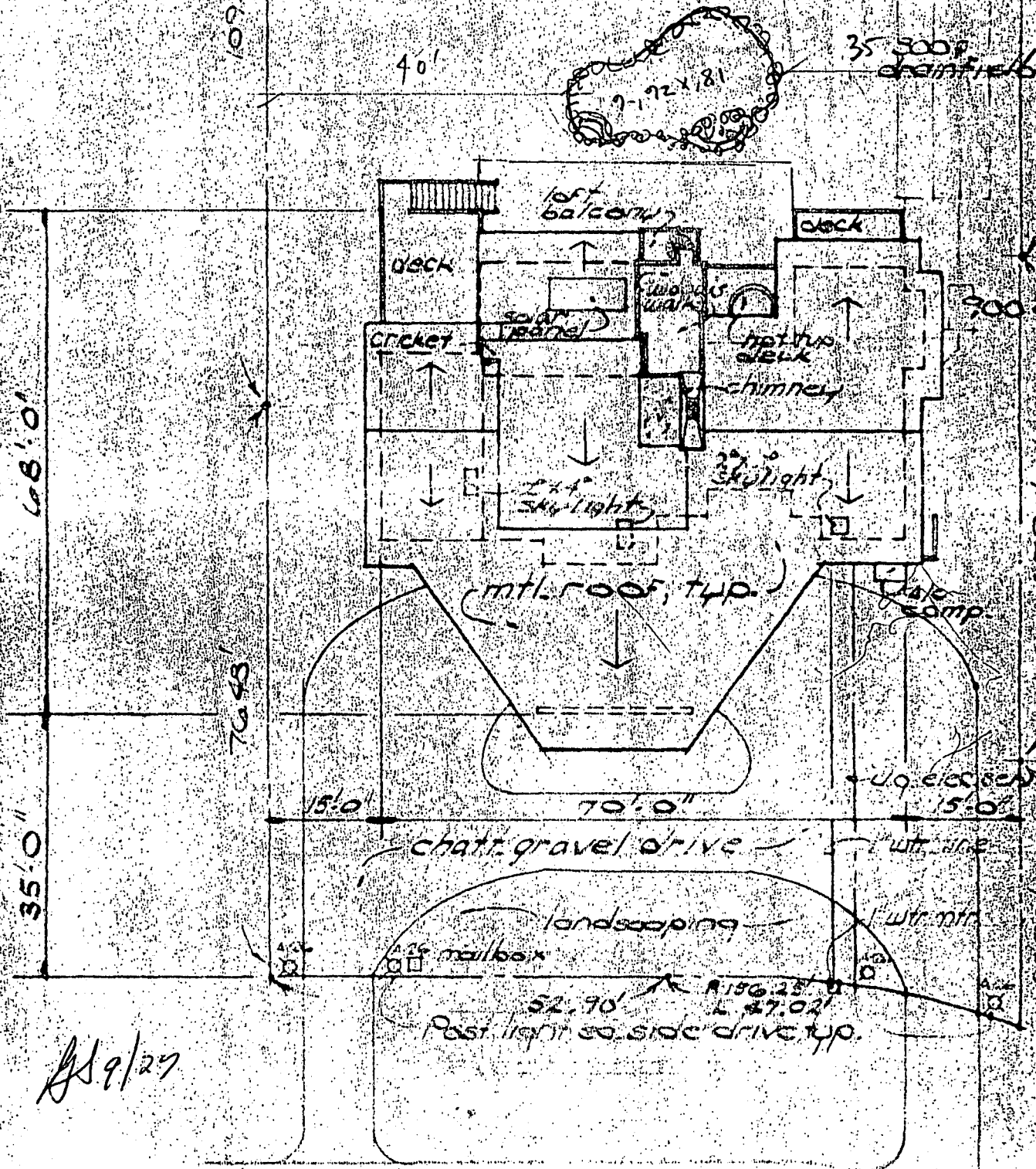
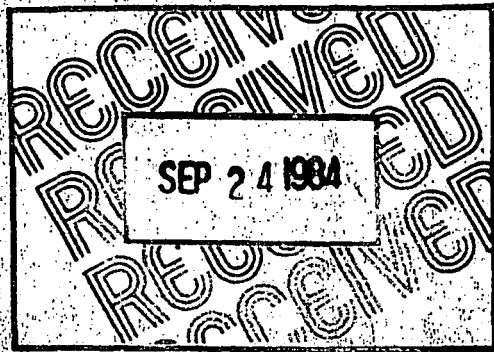
(a) Reinforced concrete shall comply with Chapters 23, 24, and 25 and shall be Portland cement concrete having a 28-day compressive strength of not less than 2500 p.s.i.

(b) Reinforced concrete shall have not less reinforcing steel, in both directions, than the minimum set forth in the Standard in Sub-section 2502.1 for temperature reinforcing.

(c) Reinforcing bars shall have not less than 3 inches of concrete cover when placed in contact with earth and not less than 2 inches from any formed or troweled surface. Reinforcing steel in Gunite concrete pools shall be placed in accordance with Section 5003.3.

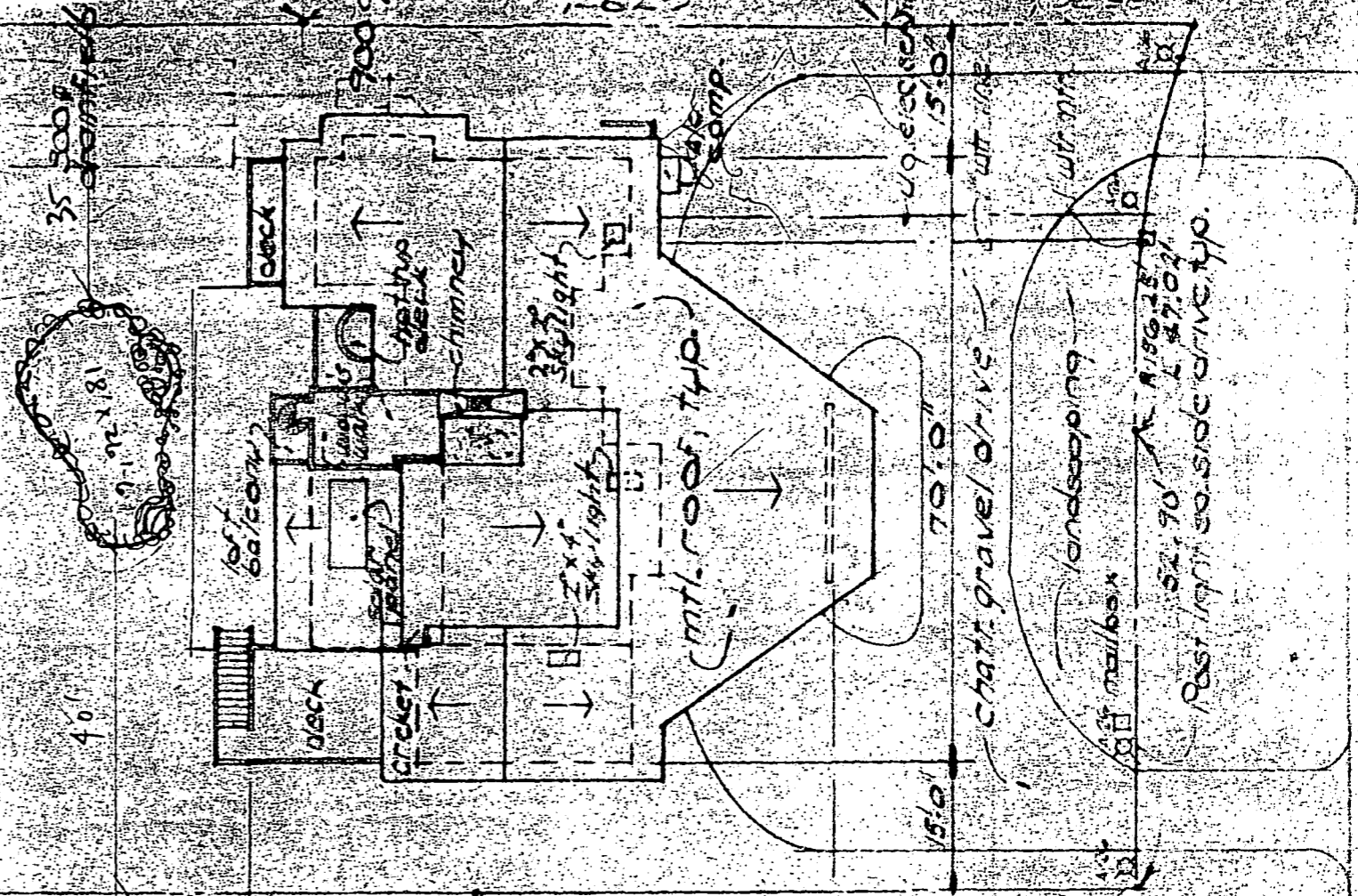
(d) Surrounding areas and/or walkways shall be constructed so as not to drain into the pool or other adjacent structures. An 18 inch minimum width of walkway around the pools, as measured from the pool water edge, shall be

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code



Handwritten notes:
Clerk
W. M. W.

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.



Handwritten signatures and initials:
 [Signature]
 [Signature]

1772

DOCK

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number 1772

Date 12/10/84

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Dr. Walter Dippy Present Address 141 N. Sewalls Pt. Rd.

Phone _____ Stuart, FL 33494

Contractor Douglas A. Drew Address Bill Venture Harbour

Phone 229-2424 Jensen Beach, FL 33457

Where licensed Martin County License number 00428

Electrical contractor N/A License number _____

Plumbing contractor N/A License number _____

Roofing contractor N/A License number _____

Air conditioning contractor N/A License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Extension to dock.

38 E. High Point Rd. Stuart, FL 33494
State the street address at which the structure will be built:

Subdivision High Point Isle Addition Lot number 106 Block number 1

Contract price \$ 1500.00 Cost of permit \$ 10.00

Plans approved as submitted [Signature] 12/12/84 Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

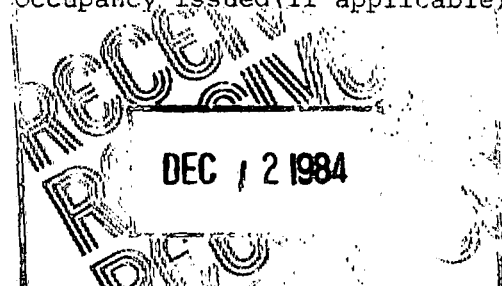
TOWN RECORD

Date submitted 12/12/84 Approved [Signature] Building Inspector [Signature] Date 12/12/84

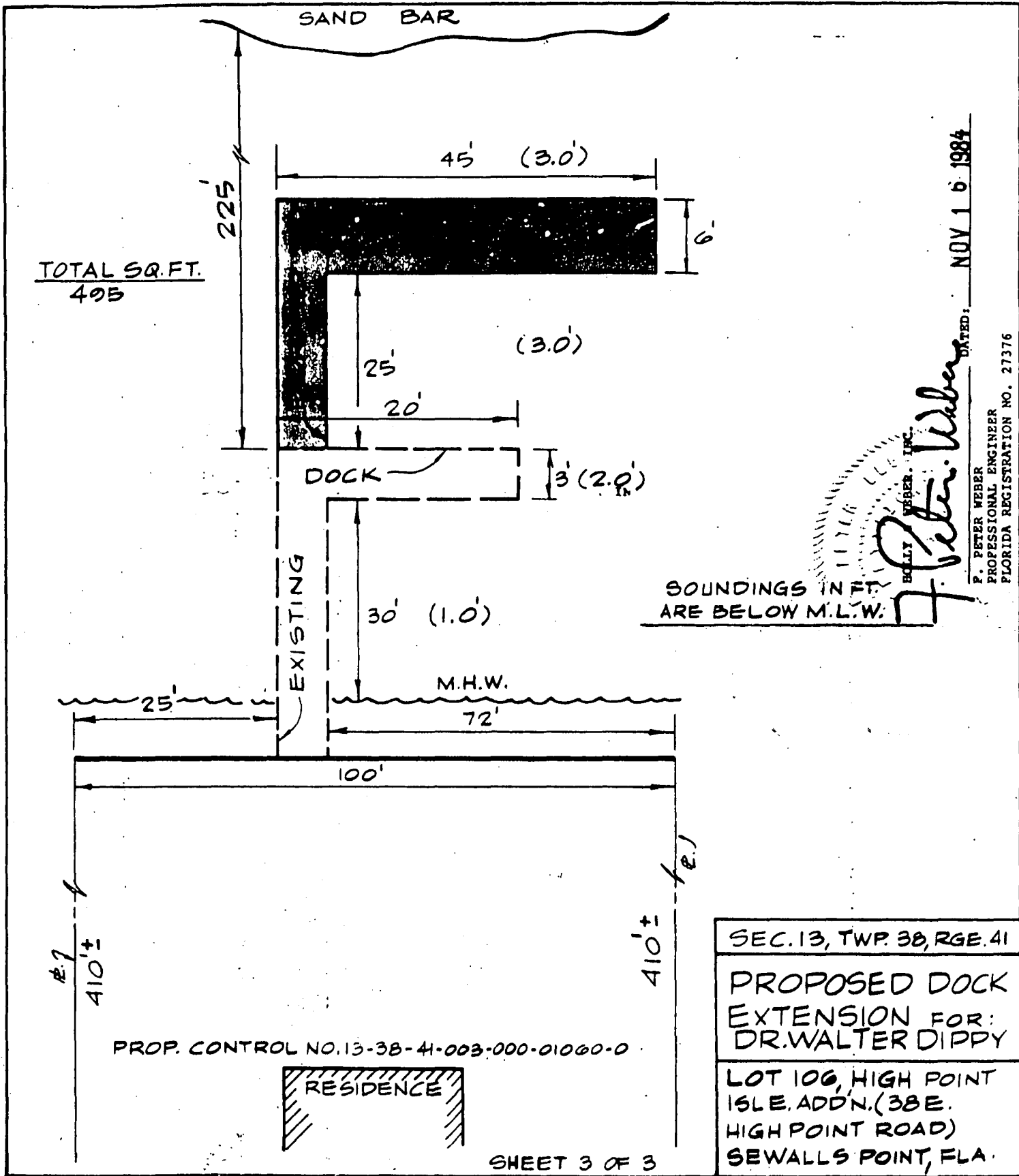
Approved [Signature] 1/2/84 Final Approval given _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) 3/20/85
Date

SF1184



Permit Number _____



F. PETER WEBER
 PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 27376
 DATED: NOV 16 1984
 F. Peter Weber

SEC. 13, TWP. 38, RGE. 41
 PROPOSED DOCK
 EXTENSION FOR:
 DR. WALTER DIPPY
 LOT 106, HIGH POINT
 ISLE, ADD'N. (38E,
 HIGH POINT ROAD)
 SEWALLS POINT, FLA.

PROP. CONTROL NO. 13-38-41-003-000-01060-0

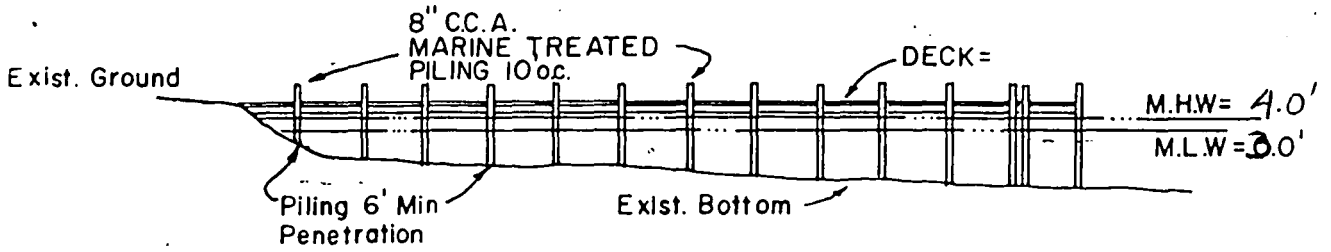
SHEET 3 OF 3

Notary Public, State of Florida HAVE NO OBJECTION TO THE ABOVE DOCK EXTENSION FOR DR. DIPPY.

My Commission Expires Sept. 25, 1986
 SWORN TO AND SUBSCRIBED BEFORE ME

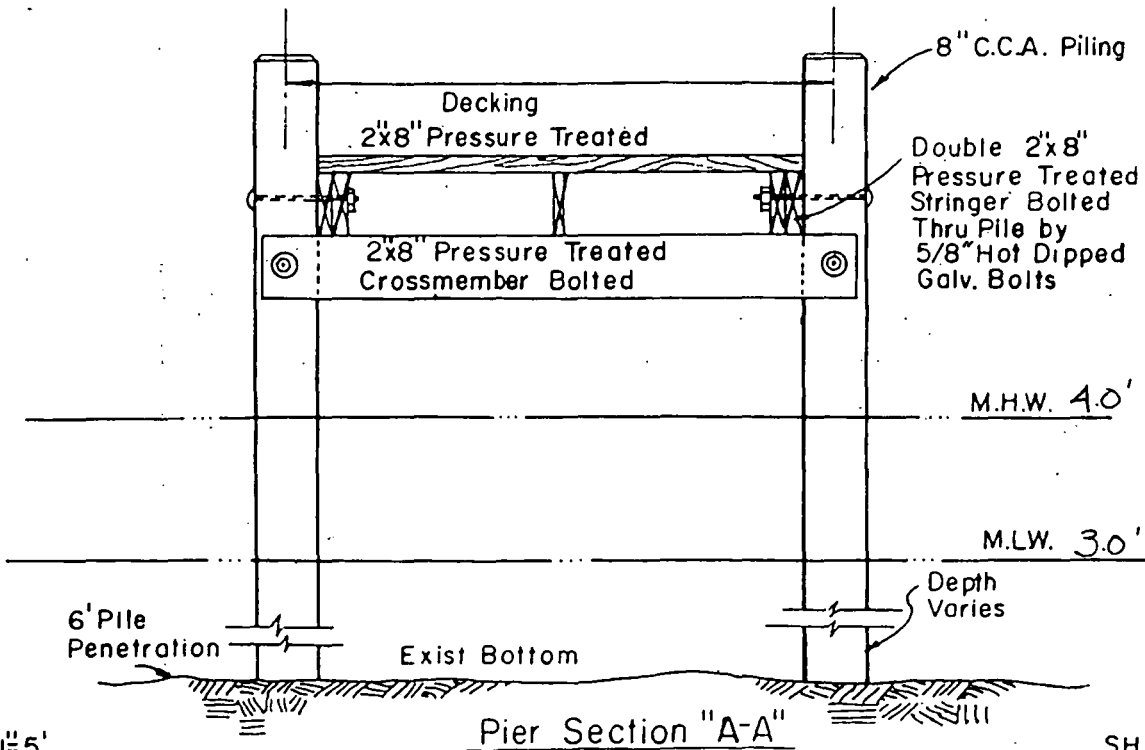
THIS 3rd day of December, 1984:

Roy Allman
 200 SE 6th St. - Suite 3000 - Ft. Lauderdale, FL



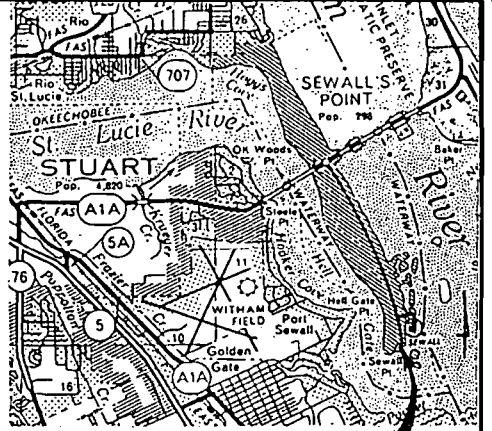
Proposed Pier
Side Elevation
not to scale

HOLLY WEBER, INC.
Holly Weber
 DATED: NOV 16 1984
 F. WEBER
 PROFESSIONAL ENGINEER
 FLORIDA REGISTRATION NO. 27376

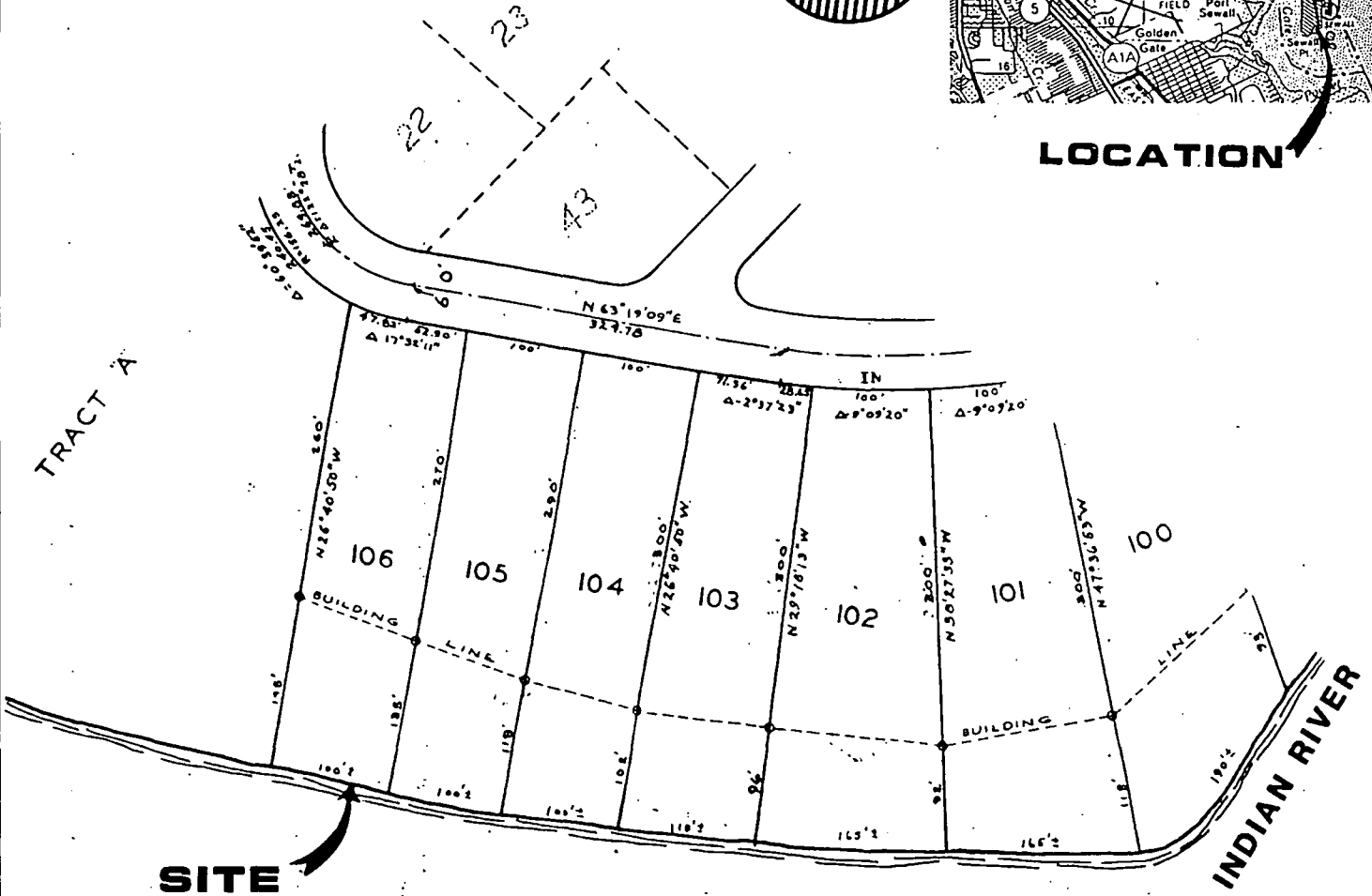


Scale: 1"=5'

Pier Section "A-A"



LOCATION



SITE

NOT TO SCALE

SEC. 13, TWP. 38, RGE. 41

PROPOSED DOCK
EXTENSION FOR:
DR. WALTER DIPPY

LOT 106, HIGH POINT
ISLE. ADD'N. (38 E.
HIGH POINT ROAD)
SEWALLS POINT, FLA.

HOLLY & WEBER, INC.

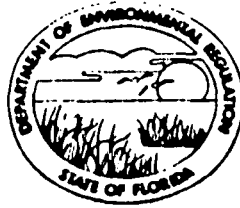
F. Peter Weber

F. PETER WEBER
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 27376

DATED: NOV 16 1984

SHEET 1 OF 3

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION



SOUTHEAST FLORIDA
SUBDISTRICT

2746 SOUTHEAST MORNINGSIDE BOULEVARD
PORT ST. LUCIE, FLORIDA 33482

BOB GRAHAM
GOVERNOR

VICTORIA J. TSCHINKEL
SECRETARY

AL MUELLER
SUBDISTRICT MANAGER

November 30, 1984

Dr. Walter Dippy
38 East High Point Road
Stuart, Florida 33494

DF - Martin County
Private Dock
St. Lucie River

Dear Dr. Dippy:

This is to acknowledge receipt of your application, file number 4300955638,
for a permit to:

Construct a 25 ft. by 3 ft. dock with a 45 ft. by 6 ft. extension to an
existing 140 square foot private dock (a total of 485 square foot of decked
area). St. Lucie River, Class III Waters, located at 38 East High Point
Road, Sewall's Point, Section 13, Township 38 South, Range 41 East, Martin
County.


At this time no permit is required for your project by this department. Any
modifications in your plans should be submitted for review, as changes may result in
permits being required. This letter does not relieve you from the need to obtain any
other permits (local, state or federal) which may be required. Exemption: Section
403.813(2)(b), Florida Statutes; in accordance with the four (4) attached stamped
drawings.

If you have any questions, please contact Bob Brown of this office. When
referring to this project, please use the file number indicated.

RMD:bbs/23

Sincerely,


Roy M. Duke
District Manager

cc: Army Corp's of Engineers, Jacksonville
Charles Horne, D.N.R. (with application)
Brian Barnett, F.G.F.W.F.C.
Florida Marine Patrol, Dist. #10
Intracoastal Marine Construction 



DEPARTMENT OF THE ARMY
SOUTH FLORIDA AREA OFFICE, JACKSONVILLE DISTRICT
CORPS OF ENGINEERS
P. O. BOX 1327
CLEWISTON, FLORIDA 33440

December 3, 1984

Regulatory Section
Miami
84(3)-4993
SAJ-20

Dr. Walter Dippy
c/o INTRACOASTAL MARINE CONSTRUCTION, INC.
B-11 Venture Harbour
Jensen Beach, Florida 33457

Dear Dr. Dippy:

Reference is made to your application for a Department of the Army permit concerning:

construction of a dock 25' by 3' wide with a 45' by 6' L-end in the Indian River at 38 East High Point Road, Sewall's Point, in Section 13, Township 38 South, Range 41 East, in Martin County, Florida.

The project as proposed is authorized by General Permit SAJ-20, a copy of which is enclosed for your information and use. You are authorized to proceed with the project in accordance with the enclosed drawings subject to all conditions of the permit.

This letter of authorization does not obviate the necessity to obtain any other Federal, state or local permits which may be required.

Thank you for your cooperation with our permit program.

Sincerely,

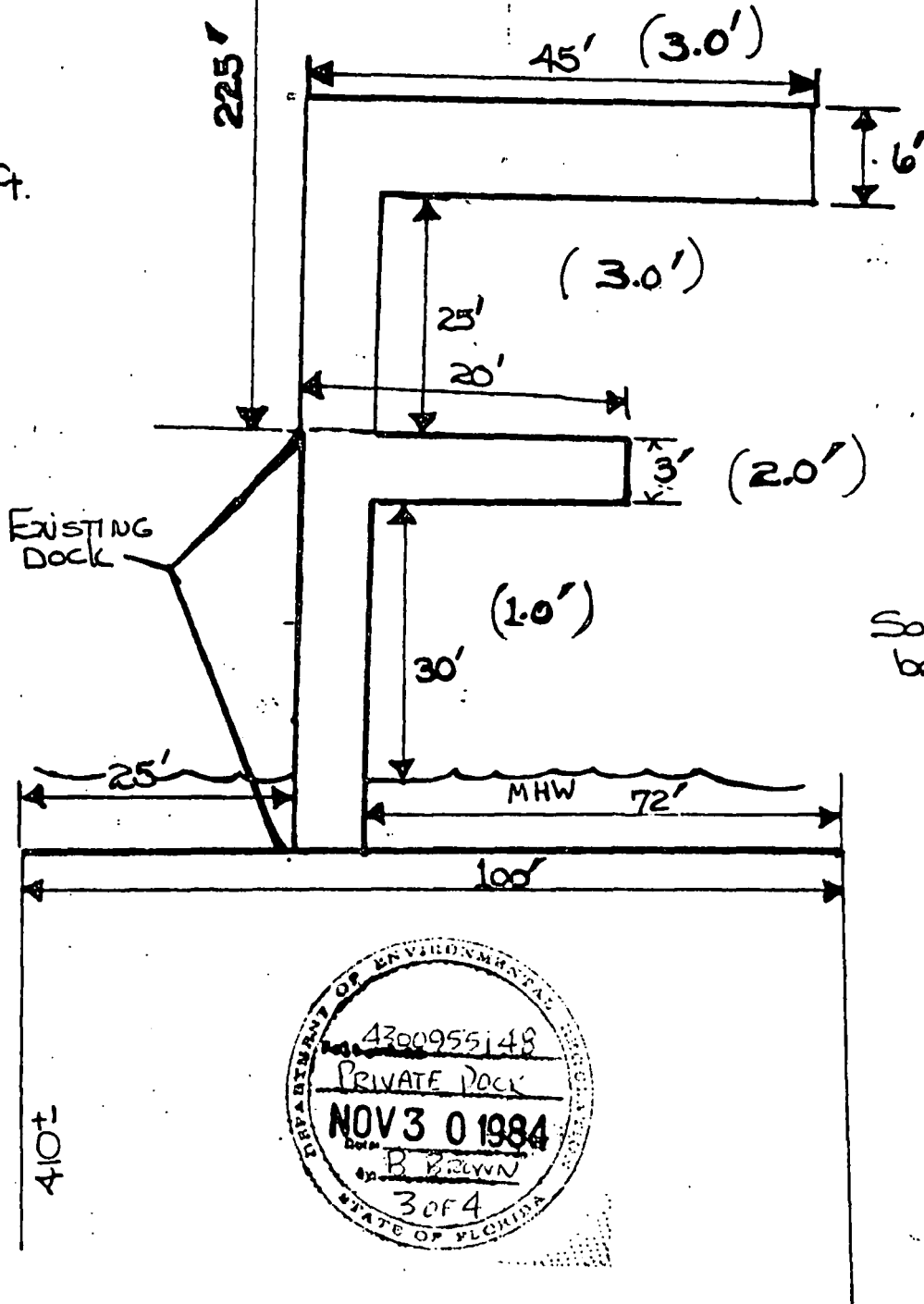
A handwritten signature in cursive script that reads "Michael Slayton".

MICHAEL SLAYTON
Chief, Regulatory Section

Enclosures

See
Attached
Detail
Map

total sq. ft.
495

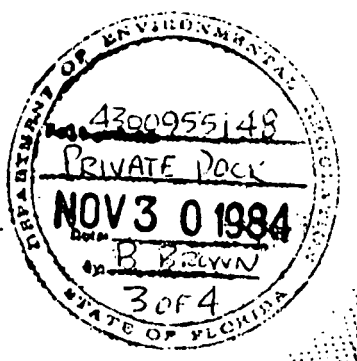


Soundings in ft.
below MLW

①

②

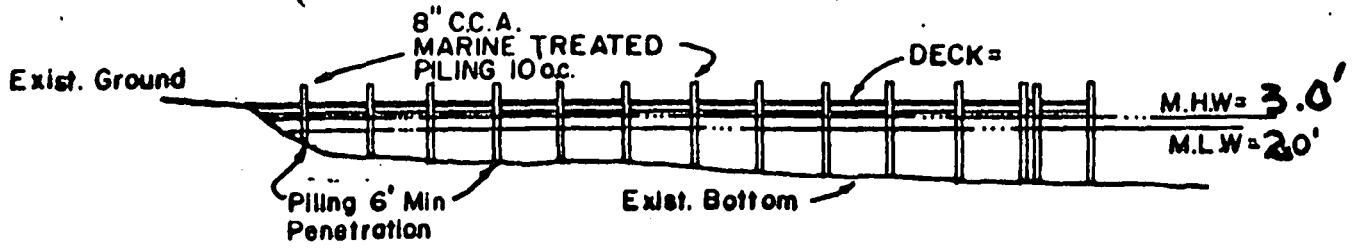
410±



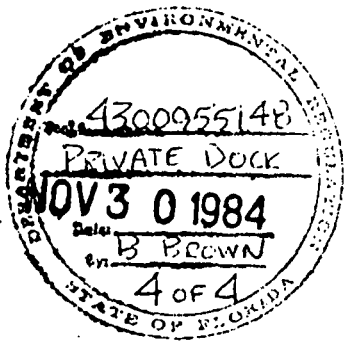
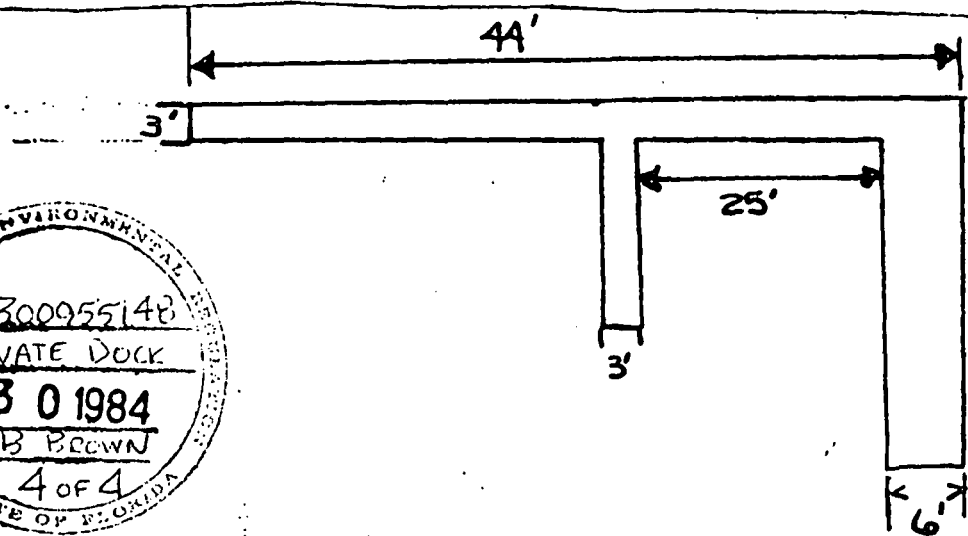
Residence

No Scale
Proposed Dock Extension For:
Dr. Walter Dippy
38 E. High Pt. Rd
Stuart, FL 33494
Sec 13-Twn 38-Rgn 41
11 / 10 / 24

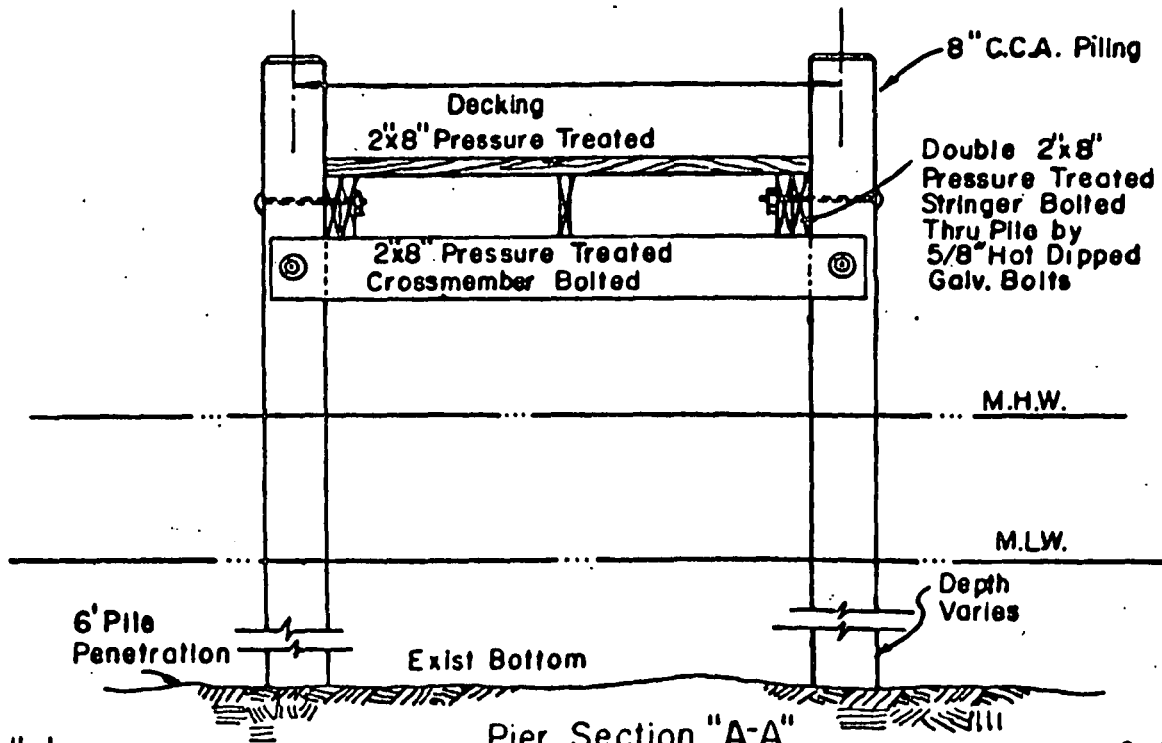
PCN 13.38.41.003.000.01060.0



**Proposed Pier
Side Elevation**
not to scale



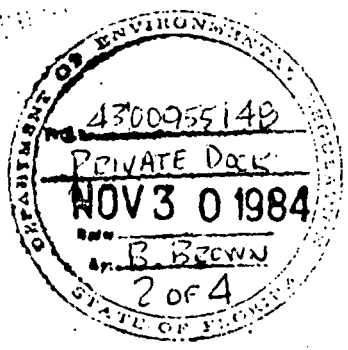
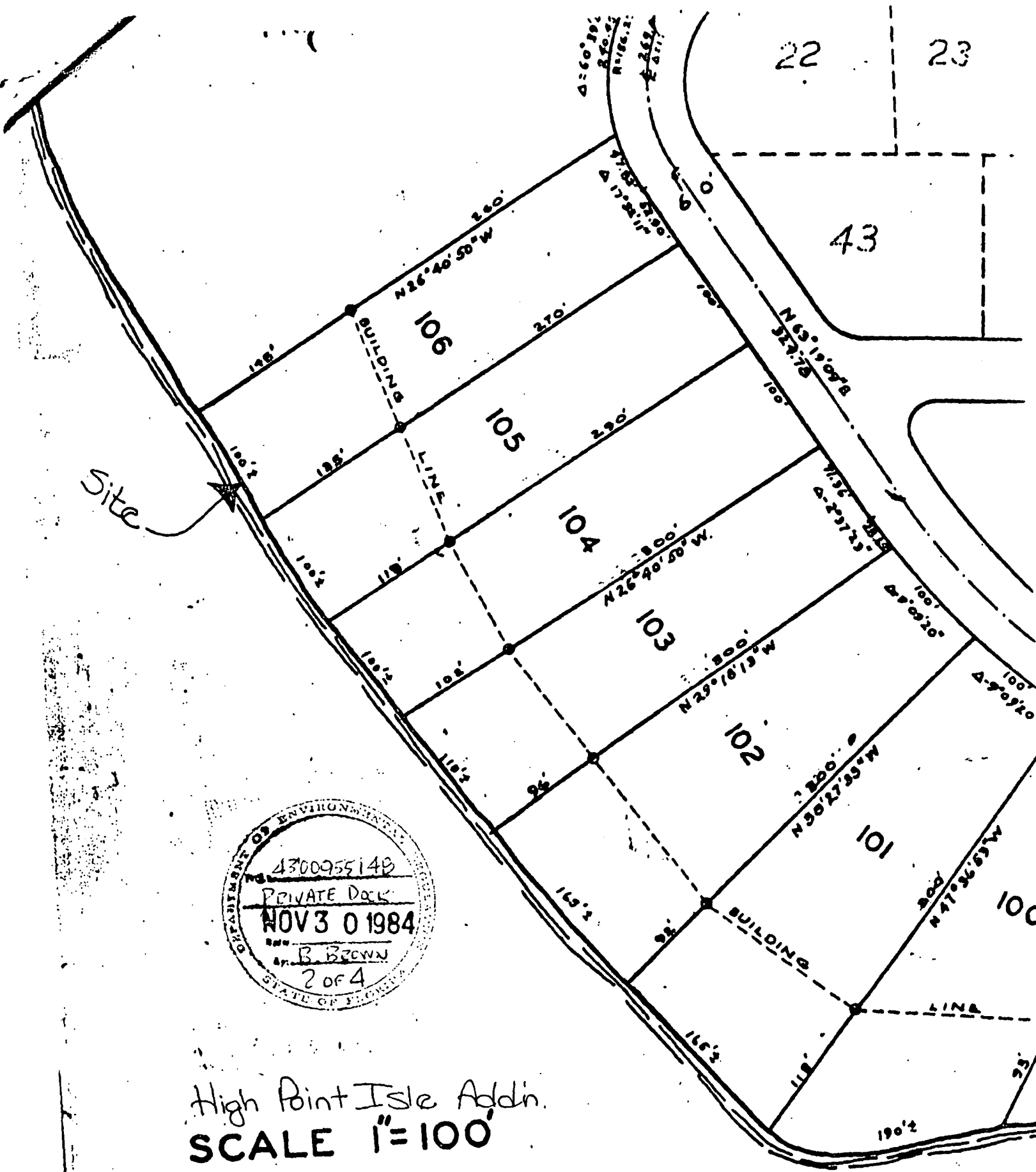
Plan
not to scale



Pier Section "A-A"

Scale: 1/2" = 5'

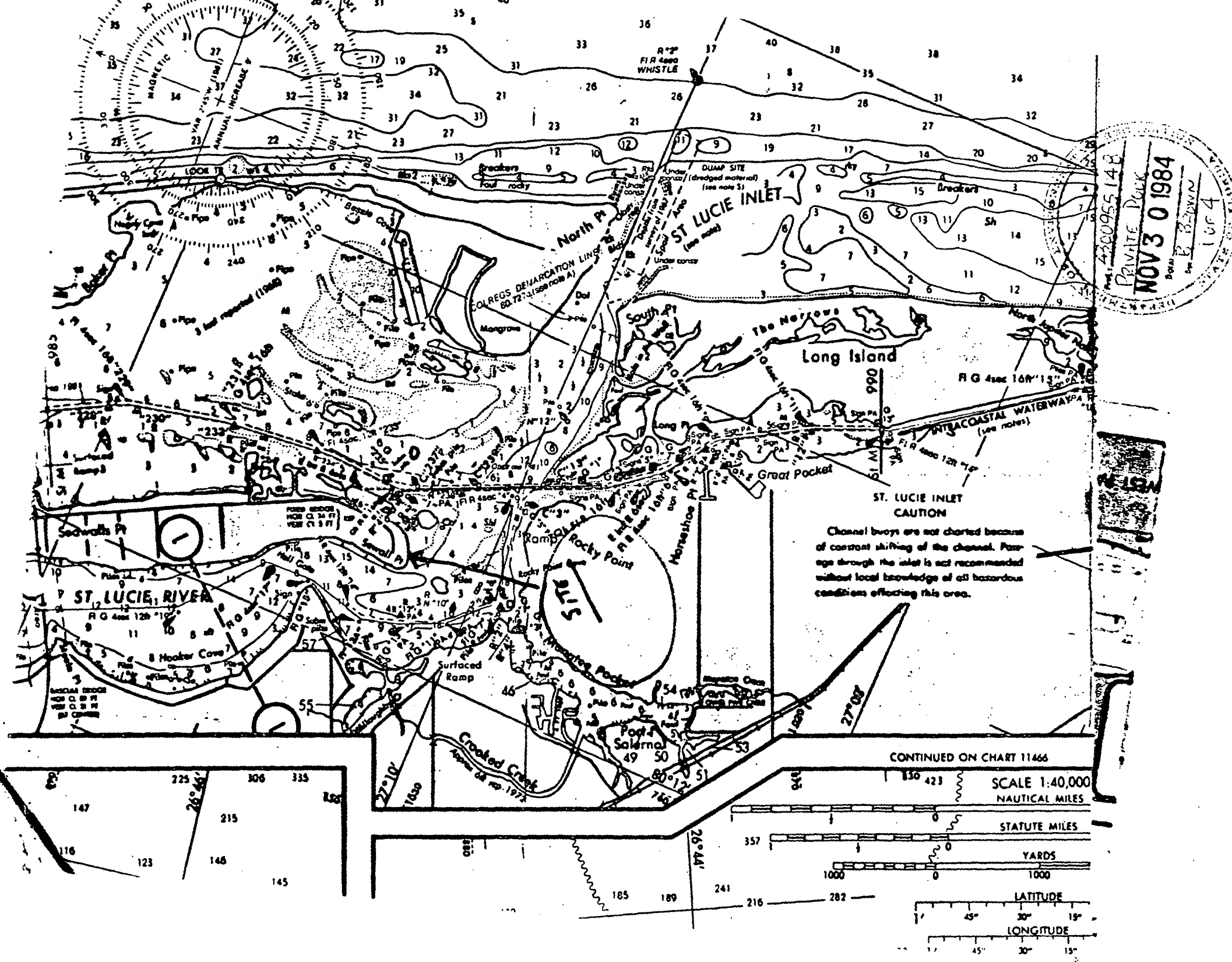
SHEET 2 OF 2



High Point Isle Addn.
SCALE 1"=100'

INDIAN

CERTIFICATION



NOV 30 1984
 P. B. BROWN
 1 OF 4
 PRIVATE PARK
 480955148

ST. LUCIE INLET CAUTION
 Channel buoys are not charted because of constant shifting of the channel. Passage through the inlet is not recommended without local knowledge of all hazardous conditions affecting this area.

CONTINUED ON CHART 11466

SCALE 1:40,000
 NAUTICAL MILES

STATUTE MILES

YARDS

LATITUDE

LONGITUDE

LETTER OF NO OBJECTION

We, K. R. MIDDLETON and L. A. MIDDLETON

being the owner(s) of certain property adjacent to and abutting the property of Walter Dippy and Carol D. Dippy, who have applied for a dock permit for construction, have reviewed Appendix B-Zoning, Section II, sub-section M, concerning dock and pier requirements for construction within the town of Sewall's Point; and, have read and reviewed the drawing of the dock as proposed and as drawn on the ~~back~~ ^{attachment} hereof, showing size, location in relation to my property of the proposed dock; and, I have no objection to the proposed dock pursuant to the plan on the ~~back~~ ^{attachment} hereof. (initialed by us)

K. R. Middleton

L. A. Middleton his wife

STATE OF
COUNTY OF

SWORN TO AND SUBSCRIBED before me this 26 day of Dec, 1984
1981.

Angel M. ...
Notary Public

My Commission expires:

NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES JAN. 17 1985
BONDED THREE THOUSAND DOLLARS

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number 1862

Date 10/8/85

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner WALTER E. DIPPY Present Address 38 E. High Pt Rd

Phone 287 2580

Contractor OWNER / BUILDER Address "

Phone "

Where licensed NA License number _____

Electrical contractor NA License number _____

Plumbing contractor NA License number _____

Roofing contractor NA License number _____

Air conditioning contractor NA License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: _____

fence - see attached

State the street address at which the structure will be built: _____

38 E HIGH PT RD

Subdivision HIGH PT ISLE ADDITION Lot number 106 Block number _____

Contract price \$ 1,000⁰⁰ Cost of permit \$ 5

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Walter Dippy

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Walter Dippy

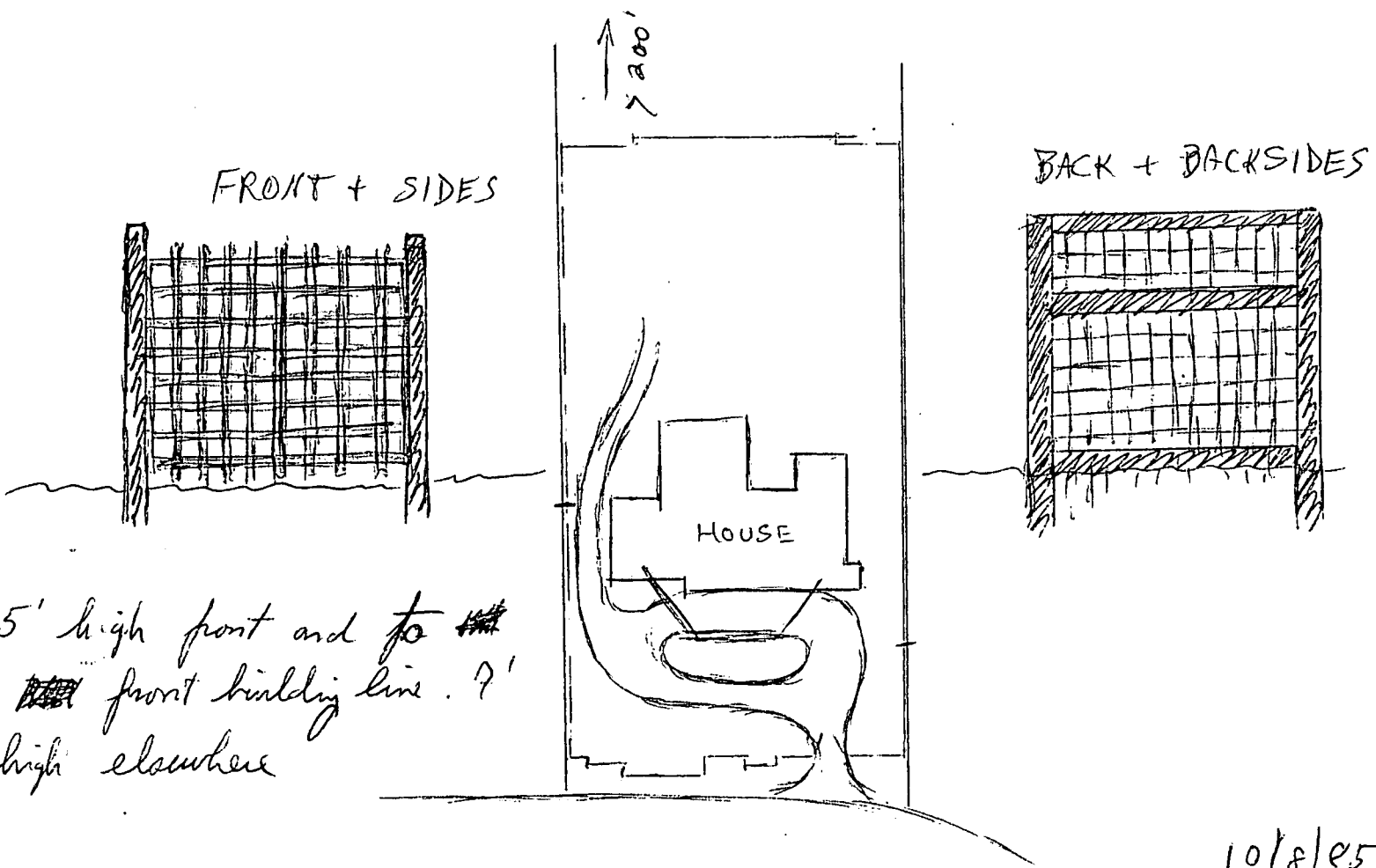
Date submitted 10/8/85 TOWN RECORD Approved [Signature] Building Inspector Date 10/9/85

Approved [Signature] Commissioner Date 10/9/85 Final Approval given [Signature] Date 3/5/86

Certificate of Occupancy issued (if applicable) _____ Date _____

Incomplete 12/11/85

FRONT Fence to be lattice type 6" oc 2"x2" P.T. between 4"x4" or 6"x6" P.T. posts spaced not more than 6' oc. Height restrictions as outline in Sewall's Pt. Zoning Code to be observed + conformed to. Fencing to rear to be galvanized ^{to water} wire with P.T. supports.



5' high front and to ~~the~~ front building line. 7' high elsewhere

10/8/25

PROPOSED FENCE (RED) 38 E. HIGH PT RD
WALTER + CAROL DIPPY RESIDENCE

2927

PAVER COURTYARD

Permit No. 2927

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner DR. WALTER DIPPY Present Address 38 EAST High Pt. Rd.

Phone _____

Contractor TREASURE COAST PAVING INC. Address P.O. Box 8311

Phone 546-8735

Where licensed MARTIN CNTY License number # SPO 1511

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: PAVING STONE COURTYARD

State the street address at which the proposed structure will be built: _____

Subdivision High Pt. Lot number 46 Block number _____

Contract price \$ 10,000 Cost of permit \$ 15.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner ~~red-tacking~~ the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]
TOWN RECORD

Date submitted _____ Approved: _____
Building Inspector _____ Date _____

Approved: _____ Final Approval given: _____
Commissioner _____ Date _____ Date _____

Certificate of Occupancy issued (if applicable) _____
Date _____

SP1282

Permit No. 2927

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

4636

DOCK

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 6/23/99

BUILDING PERMIT NO. 4636

Building to be erected for WALTER E. DIPPY

Type of Permit DOCK (AFTER PAET)

Applied for by BLUE WATER MARINE

(Contractor) Building Fee \$240.00

Subdivision ISLE ADDN; HIGH POINT Lot 106 Block _____

Radon Fee _____

Address 38 E. HIGH POINT RD.

Impact Fee _____

Type of structure SPR

A/C Fee _____

Parcel Control Number: _____

Electrical Fee _____

Plumbing Fee _____

Amount Paid \$480.00 Check # 1401 Cash _____

Roofing Fee _____

Other Fees (PERMIT) 240.00

Total Construction Cost \$ 10,000.00

TOTAL Fees \$480.00

Signed [Signature]

Signed [Signature] BLNG OFF.

Applicant

Town Building Inspector

DOCK PERMIT

INSPECTIONS

SETBACKS
PILINGS
BOAT LIFT

DATE _____
DATE _____
DATE _____

WATER
ELECTRIC
DECK
FINAL

DATE _____
DATE _____
DATE _____
DATE 7/23/99

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

**This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

MASTER PERMIT NO. 4636

TOWN OF SEWALL'S POINT

Date 6/23/99

BUILDING PERMIT NO. 4637

Building to be erected for WALTER E. DIPPY

Type of Permit BLDG (~~RELOCATE~~) (~~SECURITY LIGHT~~)

Applied for by O/B (Contractor)

Building Fee \$ 30.00

Subdivision SLB ADD, HIGHPOINT Lot 106 Block _____

Radon Fee _____

Address 38 E. HIGHPOINT

Impact Fee _____

Type of structure DECK

A/C Fee _____

Parcel Control Number: _____

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid \$ 30.00 Check # _____ Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 100.00 TOTAL Fees \$ 30.00

Signed Walter E. Dippy
Applicant

Signed [Signature] BLDG Insp.
Town Building Inspector

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____
COMPACTION TESTS	DATE _____
GROUND ROUGH	DATE _____
SOIL POISONING	DATE _____
FOOTINGS / PIERS	DATE _____
SLAB ON GRADE	DATE _____
TIE-BEAMS & COLUMNS	DATE _____
STRAPS AND ANCHORS	DATE _____
DRIVEWAY	DATE _____
AS-BUILT SURVEY	DATE _____

SHEATHING	DATE _____
FRAMING	DATE _____
INSULATION	DATE _____
ROOF DRY-IN	DATE _____
ROOF FINAL	DATE _____
METER FINAL	DATE _____
AS BUILT SURVEY	DATE _____
STORM PANELS	DATE _____
LANDCAPE & GRADE	DATE _____
FINAL INSPECTION	DATE _____

FLOOD ZONE _____

LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

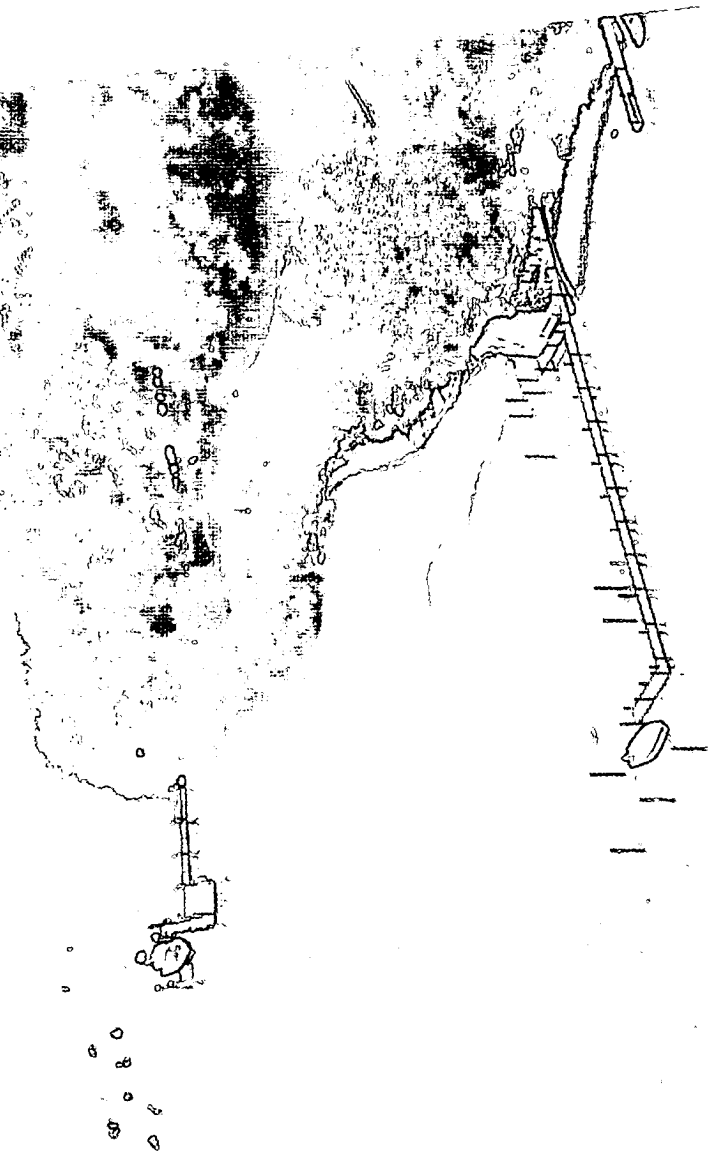
New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.

FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,

NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.

DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!



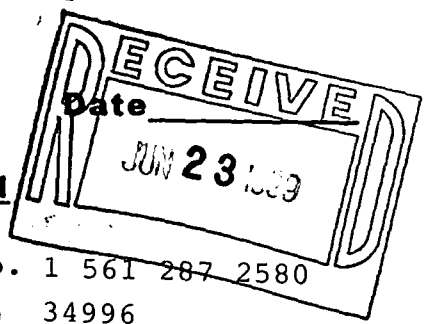
DIPPY

DOCK

April 1999

Bldg. Pmt# _____

Town of Sewall's Point
BUILDING PERMIT APPLICATION



Owner's Name: Walter E. Dippy Phone No. 1 561 287 2580
Owner's Present Address: 38 E. High Pt. Road, Stuart FL 34996
Fee Simple Titleholder's Name & Address if other than owner: _____

Location of Job Site: 38 E. High Pt. Road Stuart FL 34996
TYPE OF WORK TO BE DONE: Relocation of electrical on dock - BY OWNER

CONTRACTOR INFORMATION

Contractor/Company Name: _____ Phone No. _____
COMPLETE MAILING ADDRESS _____
State Registration _____ State License _____
Legal Description of Property LOT 106, ISLE ADDITION TO HIGH POINT - PLAT BOOK #4
Parcel Number _____ PAGE 47

ARCHITECT/ENGINEER INFORMATION

Architect _____ Phone No. _____
Address _____
Engineer _____ Phone No. _____
Address _____

Area Square Footage: Living Area _____ Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement _____
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No _____
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing _____ State License# _____

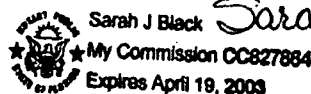
Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE Walter E. Dippy
Sworn to and subscribed before me this 21 day of June, 1998 by WALTER DIPPY who is personally known to me or has produced or has produced Florida Drivers License and who did (did not) take an oath.

CONTRACTOR SIGNATURE _____
Sworn to and subscribed before me this _____ day of _____, 1998 by _____ who is personally known to me or has produced _____ and who did (did not) take an oath.



Sarah J Black x 2
For *Walter Dippy*
only

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
 7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

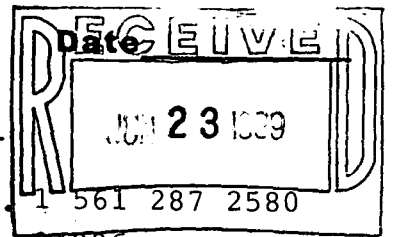
Approved by Building Official _____

Approved by Town Engineer _____

Bldg. Pmt# 4636
6/23/99

Town of Sewall's Point

BUILDING PERMIT APPLICATION



Owner's Name: Walter E. Dippy Phone No. 1 561 287 2580
Owner's Present Address: 38 E. High Pt. Road, Stuart FL 34996
Fee Simple Titleholder's Name & Address if other than owner _____

Location of Job Site: 38 E. High Pt. Road, Stuart FL 34996
TYPE OF WORK TO BE DONE: Dock Construction

CONTRACTOR INFORMATION Mark Diekman
Contractor/Company Name: Blue Water Marine Construct Phone No. 1 561 286 5181
COMPLETE MAILING ADDRESS 3558 SE Dixie Hwy, Stuart FL 34997
State Registration _____ State License SP01329
Legal Description of Property LOT 106, ISLE ADDITION TO HIGH POINT - PLAT BOOK #4
Parcel Number _____ PAGE 47

ARCHITECT/ENGINEER INFORMATION

Architect _____ Phone No. _____
Address _____
Engineer _____ Phone No. _____
Address _____

Area Square Footage: Living Area _____ Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement 10,000
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No _____
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing _____ State License# _____

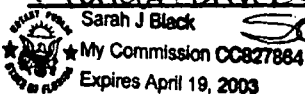
Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

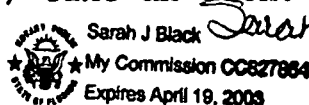
OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE Walter E. Dippy
Sworn to and subscribed before me this 21 day of June, 1999 by WALTER E. DIPPY who is personally known to me or has produced or has produced Florida Drivers License and who did (did not) take an oath.

CONTRACTOR SIGNATURE Mark Diekman
Sworn to and subscribed before me this 21 day of June, 1998 by MARK T. DIEKMAN who is personally known to me or has produced FFA Florida Drivers License and who did (did not) take an oath.



For MARK T. DIEKMAN Page 1
only



For WALTER E. DIPPY only

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
 7. Fireplace drawing: If prefabricated submit manufacturer's data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

TAX FOLIO NO. 13-38-41-003-000-01060.90000

DATE 12-15-98

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Dr. Walter E. Dippy Present address 38 E. High Point Road

Phone (561) 287-2580 Sewalls Point, FL 34996

Contractor Blue Water Marine Const. Address 3558 SE Dixie Hwy.

Phone (561) 286-5181 Stuart, FL 34997

Where licensed Martin County License number SP01329

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Construct 125' x 4' access pier and a 25' x 5'

Terminal platform, remove two existing platforms for a total of 989 SF of dock structure

State the street address at which the proposed structure will be built:

38 E. High Point Rd.

Subdivision Sewalls Point Lot Number _____ Block Number _____

Contract price \$ 10,600.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor Janet K. Diekman
Janet K. Diekman

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner _____

TOWN RECORD

Date submitted _____ Approved: _____
Building Inspector Date

Approved: _____ Final approval given: _____
Commissioner Date Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____

OWNER/CONTRACTOR AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS INDICATED. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT.

IN CONSIDERATION OF THE GRANTING OF THIS REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS, THE STANDARD BUILDING CODE AND MARTIN COUNTY AMENDMENTS. PLAN REVISIONS ON ALL STRUCTURES EXEMPTED BY CODE FROM ARCHITECT/ENGINEER DESIGN MAY BE DONE BY PERMIT HOLDER.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

I UNDERSTAND THE APPLICANT SHALL FILE WITH THE ISSUING AUTHORITY PRIOR TO THE FIRST INSPECTION, WHICH OCCURS AFTER THE BUILDING PERMIT HAS BEEN ISSUED, A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT. IN THE ABSENCE OF THE FILING OF A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT, THE ISSUING AUTHORITY CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

Walter E. Dippy

SIGNATURE OF OWNER

Janet K. Diekman

SIGNATURE OF CONTRACTOR

DATE: 10-24-98

DATE: 10-24-98

SWORN TO AND SUBSCRIBED BEFORE ME THIS 24th DAY OF October 19 98 BY Walter E. Dippy

SWORN TO AND SUBSCRIBED BEFORE ME THIS 24th DAY OF October 19 98 BY Charletha Harris

Janet K. Diekman

NOTARY PUBLIC, STATE OF FL.

AS TO OWNER

PERSONALLY KNOWN

PRODUCED ID _____

TYPE: _____

Charletha Harris

NOTARY PUBLIC, STATE OF FL.

AS TO CONTRACTOR

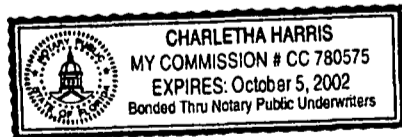
PERSONALLY KNOWN

PRODUCED ID _____

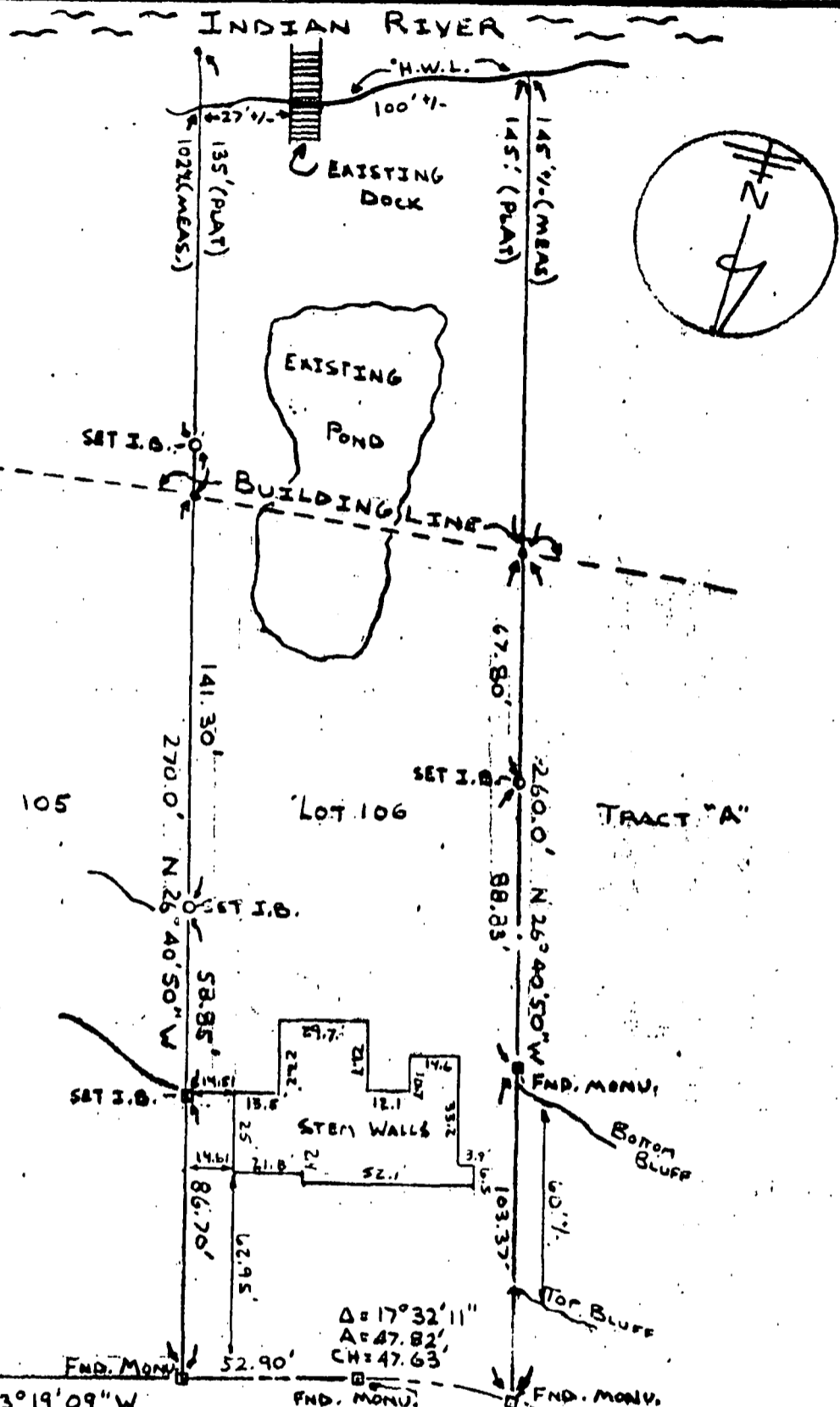
TYPE: _____



JANET K. DIEKMAN
My Comm Exp. 5/22/99
Bonded By Service Ins
No. CC461334
 Personally Known Other I. D.



CHARLETHA HARRIS
MY COMMISSION # CC 780575
EXPIRES: October 5, 2002
Bonded Thru Notary Public Underwriters



BOUNDARY SURVEY
DESCRIPTION

BEING KNOWN AS LOT 106
"ISLE ADDITION TO HIGH POINT" S/D,
AS RECORDED IN PLAT BOOK 4, PAGE 47,
PUBLIC RECORDS OF MARTIN COUNTY, FLA.

PRICE ENGINEERING COMPANY

Engineers - Planners - Surveyors
8320 PALM BEACH ROAD
STUART, FLORIDA 34994

PREPARED FOR

DR. WALTER DIPPY

DRAWN: DR SCALE: 1"=50' DATE: 10/21/82

ISSUED BY

DATE

FLORIDA LICENSE NO. 2683

Ronald D. Price
RONALD D. PRICE

REVISED TIE IN 8-9-83

WO. NO. 82-305 PROJECT NO. 2247

Walter Dippy
38 E. High Point

Bluesden Marine

① Survey of property showing set backs and distance from any adjacent dock (50' min)

~~②~~ Letters of no objection from adjoining property owners Returned 1-28-99

③ 2 copies of signed & sealed drawings

~~④~~ copies of license & Insurance of contractor

④ no dock can extend more than 200'

~~⑤~~ 1" spacing in decking

Bob Bott
12-16-98

12-28-98
Bluesden Marine
1260
289
FAX



Department of Environmental Protection

Lawton Chiles
Governor

Port St. Lucie Branch Office
1801 SE Hillmoor Drive
Suite C-204
Port St. Lucie, FL 34952
(561)871-7662 (561)335-4310

Virginia B. Wetherell
Secretary

DEC 09 1998

Dr. Walter Dippy
38 East High Point Road
Stuart, FL 34994

Re: File No.: 43-0148251-001
Martin County

Dear Dr. Dippy:

On November 12, 1998, we received your application to perform the following activities: construct a 625 square foot dock addition with an access measuring 125' X 4' and a 25' X 5' terminal platform and remove two existing terminal platforms for a total of 989 square feet of dock structure in the St. Lucie River, (Class III waters of the state), located at 38 East High Point Road (Section 13, Township 38 South, Range 41 East), Stuart, Martin County.

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project **may not** have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

Regulatory Review

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, Florida Administrative Code (F.A.C.), and in accordance with operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

Based on the information you submitted, we have determined that your project is exempt from the need to obtain a DEP Environmental Resource Permit under Rule 40E-4.051(3)(b), (F.A.C.).

Proprietary Review (related to state-owned lands)

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (B.O.T.) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project will occur on sovereign, submerged land and will require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent the attached general consent conditions, the Board of Trustees has no objection to the project being constructed on sovereign submerged land. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees to perform the project.

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is consistent with the SPGP program. The attached U.S. Army Corps of Engineers (the Corps) general conditions apply to your project. No further permitting for this activity is required by the Corps.

The determinations in this letter are based solely on the information provided to the Department and on the statutes and rules in effect when the application was submitted. The determinations are effective only for the specific activity proposed. These determinations shall automatically expire if site conditions materially change or if the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. If an administrative hearing is timely requested by a substantially affected person, the finding that the proposed activity qualifies for this exemption must be reconsidered, and it is possible that the hearing could result in a determination that the proposed activity does *not* qualify for the exemption. Under Rule 28-106.111, F.A.C., a request for such an administrative hearing must be filed with the Department's Clerk in the Office of General Counsel within 21 days of either: (a) publication of notice in a newspaper of general circulation in the county where the activity is to take place; or (b) the substantially affected person's receipt of written notice which includes the information contained in Attachment (A).

The Department will not publish notice of this determination. ***Publication of this notice by you is optional and not required for you to proceed.*** However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permits.

If you wish to limit the time within which *all* substantially affected persons may request an administrative hearing you may elect to publish, at your own expense, the enclosed notice (Attachment A) one time only in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place.

Dr. Walter Dippy
File No.: 43-0148251-001
Page 3

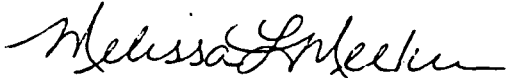
If you wish to limit the time within which any *specific* person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of Sections 50.011 and 50.031, F.S. In the event you do publish this notice, within seven days of publication, you must provide to the following address a certification or affidavit of publication issued by the newspaper. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

Florida Department of Environmental Protection
Southeast District - Port St. Lucie Branch Office
Submerged Lands & Environmental Resources Program
1801 SE Hillmoor Drive Suite C-204, Port St. Lucie, FL 34952

Thank you for applying to the Submerged Lands and Environmental Resource Program. If you have questions regarding this matter, please contact **Bruce Jerner** of this office, at telephone (561) 871-7662.

Sincerely,



Melissa L. Meeker
Environmental Administrator

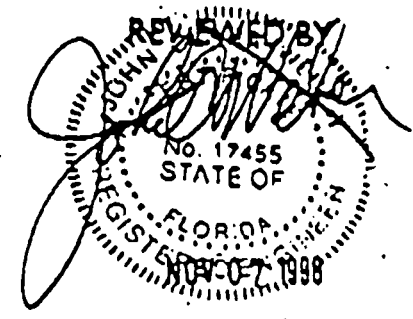
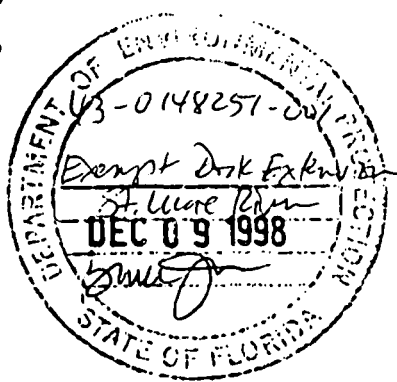
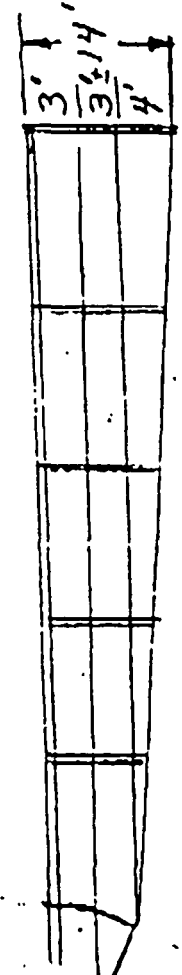
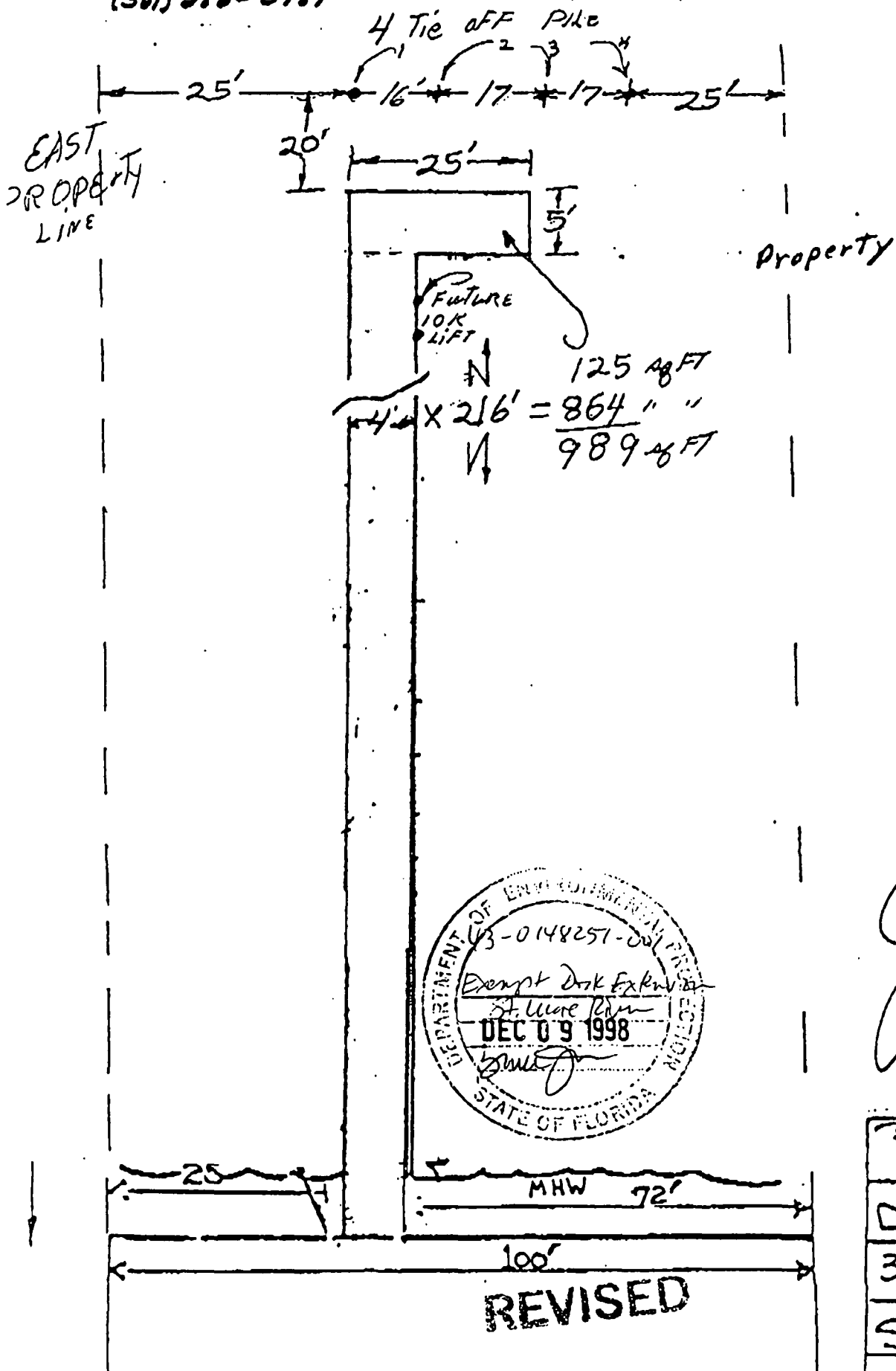
MLMDD *MLM*

Enclosures: General Consent Conditions
 Federal General Conditions
 Federal Manatee Conditions
 Federal Permit Transfer Request
 Attachment A- Notice of Determination of Qualification for Exemption
 Attachment D- General Single-Family Dock Information

cc: U.S. Army Corps of Engineers, Stuart [without enclosures]
 Blue Water Marine Construction, Inc. (Agent) [without enclosures]

**BLUE WATER MARINE
CONSTRUCTION, INC.**

3558 S.E. Dixie Hwy.
Stuart, FL 34997
(561) 286-5181



No Scale

Proposed Dock
Extension For:

Dr. Walter Dippy

38 E. High Pt. Rd

Stuart, FL 34994

R S T

SEWALLS POINT

777-7500

10 1993

Dept. of Environ. Protection
Port St. Lucia

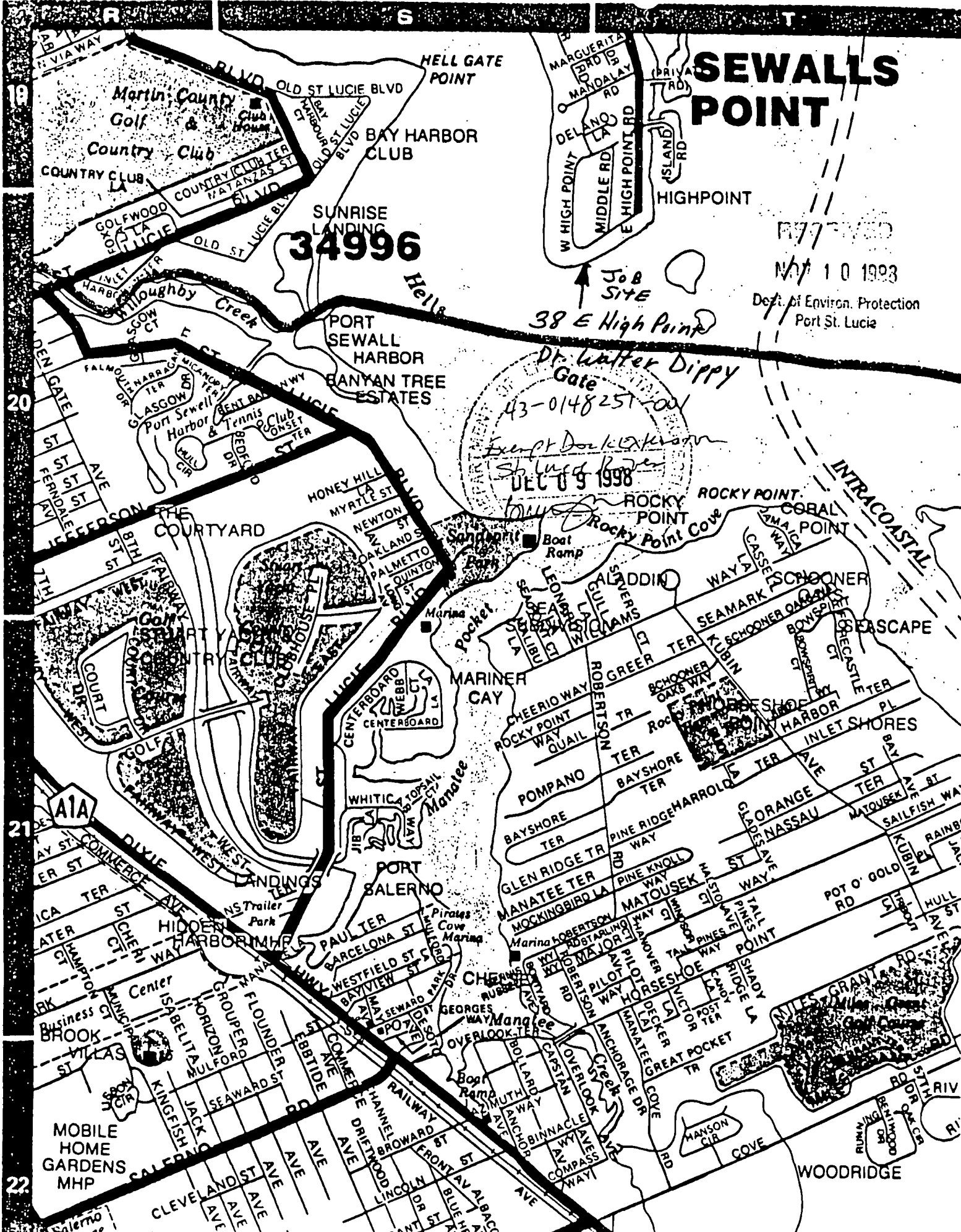
34996

Job SITE
38 E High Point

Dr. Walter Dippy
Gate
43-0148251-001

Exempt Dock Extension
Sh. Lucia River
DEC 09 1998

SEE MAP NO. 109



22

MOBILE HOME GARDENS MHP

BROOK VILLAS

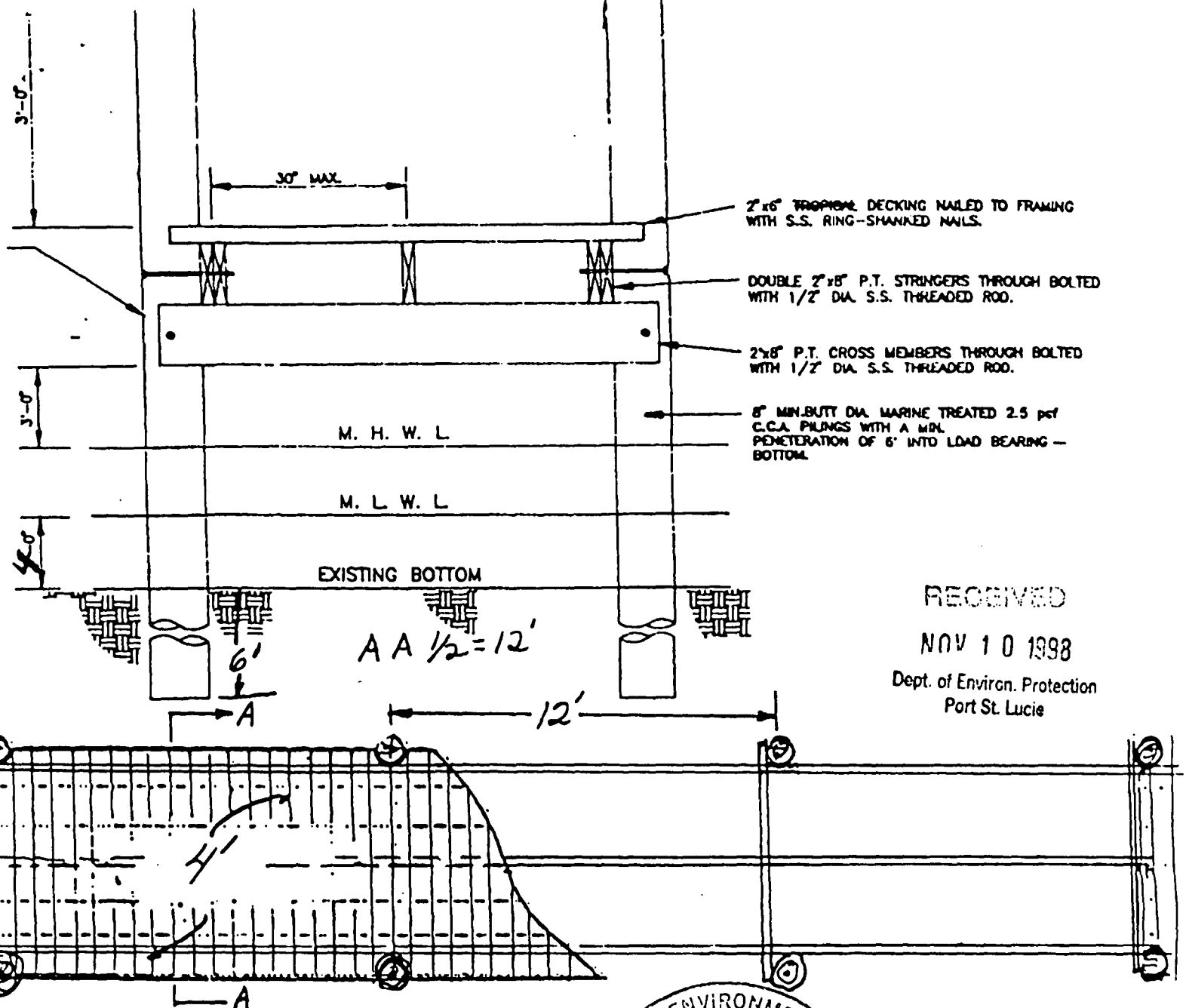
A1A

COURTYARD

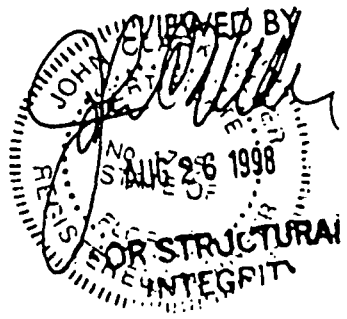
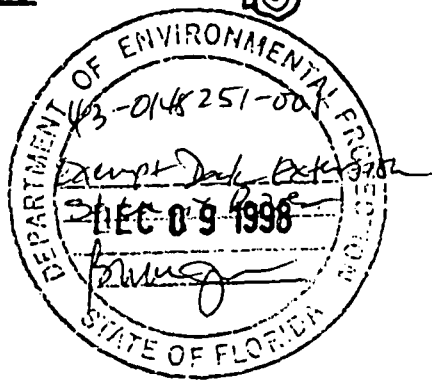
20

19

R S T



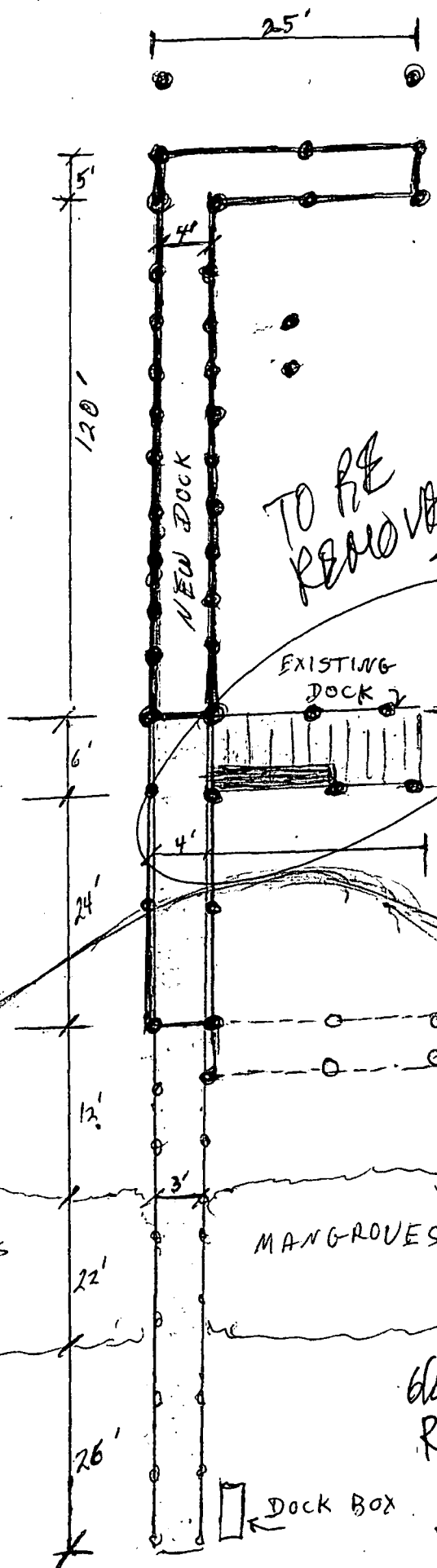
RECEIVED
 NOV 10 1998
 Dept. of Environ. Protection
 Port St. Lucie



BLUE WATER MARINE CONST., INC.
 (581) 286-5181
 3558 S.E. Dixie Hwy. FAX (581) 286-1260
 Stuart, FL 34997 LVPB (581) 822-4841

JOE Dr. Walter Dippy
 SHEET NO. 1 OF 1
 CALCULATED BY MFD DATE 8/26/98

6/18/99
T.C.
DOCK #8 HOULT



New dock 480 - access
125 - platform
605 sq ft

TO BE REMOVED

6/23/99 existing dock 230 sq. ft.
(over water)

TOTAL 835 sq. ft.
(over water)

HIGH WATER LINE

HIGH WATER LINE

MANGROVES

MANGROVES

↔ If measured to this line,
dock is 189' long and 985 sq ft

REMOVED

TOWN DIPPY
PP, 4636 38 E. HIGH POINT RD.

DOCK BOX

TF

6/18/99 IDS/UC FILE

NOTE: NO CURRENT
LIAB/WC ON
FILE.



MARTIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY

DIEKMAN, JANET K
BLUE WATER MARINE CONST
3558 SE DIXIE HWY
STUART , FL 34997-5245

EXPIRES SEPTEMBER 30, 19 99

<small>AUDIT CONTROL NUMBER</small> 33596	<small>CERTIFICATE NUMBER</small> SP01329
---	--

Faxed to 220-4765
town of Sewall's Point

2/15/99

Attn: Please see that
Building Inspector
receives this -

Thank you

Janet Diekman
Blue Water Marine

ACORD CERTIFICATE OF LIABILITY INSURANCE

CSR AL
BLUEW-1

DATE (MM/DD/YY)
01/04/99

F.C.

PRODUCER
Gary Insurance Agency
& Associates, Inc.
117 East Seminole Street
Stuart FL 34994

Andre J. Lambros, CIC
Phone No. 561-283-2609 Fax No. 561-220-8107

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A	Burlington Insurance Company
COMPANY B	
COMPANY C	
COMPANY D	

INSURED

Blue Water Marine Construction
Jant K. Diekman
3558 SE Dixie Highway
Stuart FL 34997

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<input checked="" type="checkbox"/> GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT	B0167G422076	03/30/98	03/30/99	GENERAL AGGREGATE \$ 300000 PRODUCTS - COMP/OP AGG \$ 300000 PERSONAL & ADV INJURY \$ 300000 EACH OCCURRENCE \$ 300000 FIRE DAMAGE (Any one fire) \$ 50000 MED EXP (Any one person) \$ 1000
	<input type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	<input type="checkbox"/> GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	<input type="checkbox"/> EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
	<input type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL				<input type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER EL EACH ACCIDENT \$ EL DISEASE - POLICY LIMIT \$ EL DISEASE - EA EMPLOYEE \$
	OTHER				

*6/15/99
liab 200k/c
exp 03/30/99
New certificate
reissued for
Robert Williams*

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS
Construction of docks and installation of boat lifts for homeowners.

CERTIFICATE HOLDER

SEWALLS

Town of Sewalls Point
Building Department
1 S. Sewalls Point Road
Sewalls Point FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL **30** DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Andre J. Lambros, CIC

ACORD. CERTIFICATE OF INSURANCE

ISSUE DATE (MM/DD/YY)

1-15-99

PRODUCER

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW

AON RISK SERVICES, INC. OF NEW YORK
 TWO WORLD TRADE CENTER
 NEW YORK, NY 10048

COMPANIES AFFORDING COVERAGE

- COMPANY LETTER **A** RELIANCE INSURANCE COMPANY
- COMPANY LETTER **B**
- COMPANY LETTER **C**
- COMPANY LETTER **D**
- COMPANY LETTER **E**

INSURED

ADVANCED EMPLOYMENT CONCEPTS, INC.
 7073 SAN PEDRO AVENUE
 SAN ANTONIO, TX 78216

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	ALL LIMITS IN THOUSANDS
	GENERAL LIABILITY				GENERAL AGGREGATE \$ PRODUCTS-COMP/OPS AGGREGATE \$ PERSONAL & ADVERTISING INJURY \$ EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MEDICAL EXPENSE (Any one person) \$
	COMMERCIAL GENERAL LIABILITY CLAIMS MADE OCCUR. OWNER'S & CONTRACTOR'S PROT.				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	AUTOMOBILE LIABILITY				
	ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS GARAGE LIABILITY				
	EXCESS LIABILITY				EACH OCCURRENCE \$ AGGREGATE \$
	OTHER THAN UMBRELLA FORM WORKER'S COMPENSATION AND EMPLOYER'S LIABILITY	WB 8629100	04-01-98	04-01-99	STATUTORY \$ (EACH ACCIDENT) \$ 1,000,000 (DISEASE-POLICY LIMIT) \$ 1,000,000 (DISEASE-EACH EMPLOYEE) \$ 1,000,000
A	OTHER				

ALTERNATE EMPLOYER: BLUE WATER MARINE CONSTRUCTION, INC.

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

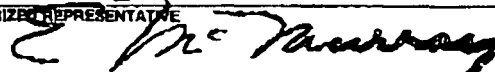
CERTIFICATE HOLDER

TOWN OF SEWALLS POINT BUILDING DEPT
 1 S. SEWALLS POINT ROAD
 SEWALLS POINT, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE



T.C.

TO WHOM IT MAY CONCERN:

I/~~We~~ KEVIN L. O'BRIEN
the owner/~~owners~~ of 36 EAST High Point Road
adjacent to 38 EAST POINT ROAD
owned by WALTER AND CAROL DIPPY

have examined the drawings for the proposed project and have
no objection to the project.

[Signature]

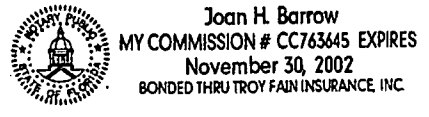
Notary:
STATE OF FLORIDA
COUNTY OF MARTIN

I HEREBY CERTIFY that on this day, before me, as officer duly
authorized in the State aforesaid and in the county aforesaid to
take acknowledgments, personally appeared
to me known to be the person/persons described in and who executed
the foregoing instrument and acknowledged before that
executed the same.

WITNESS my hand and official seal in the County and State last
aforesaid this 5th day of January A.D. 1999.

Joan H. Barrow
Notary Public,

my commission expires



TO WHOM IT MAY CONCERN:

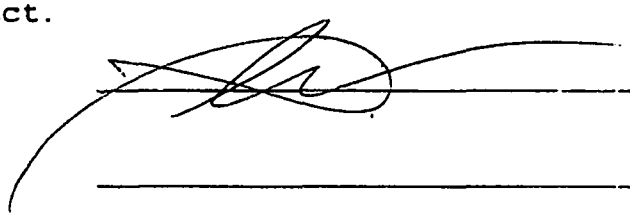
I/We Daniel Dennison and

the owner/owners of 49 W. HIGH PT. RD

adjacent to 38 E. HIGH PT. RD

owned by WALTER + CAROL DIPPY

have examined the drawings for the proposed project and have no objection to the project.

 1/8/99

Notary:

STATE OF FLORIDA

COUNTY OF MARTIN

I HEREBY CERTIFY that on this day, before me, as officer duly authorized in the State aforesaid and in the county aforesaid to take acknowledgments, personally appeared DANIEL SULLIVAN DENNISON to me known to be the person/persons described in and who executed the foregoing instrument and acknowledged before that executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 8 day of JANUARY A.D. 1999

Patricia K. Brooks
Notary Public.

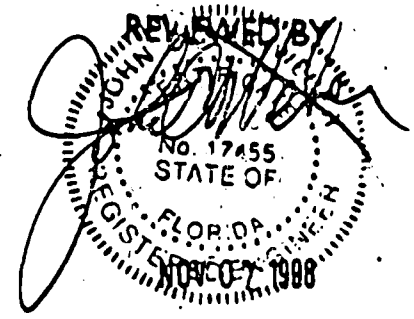
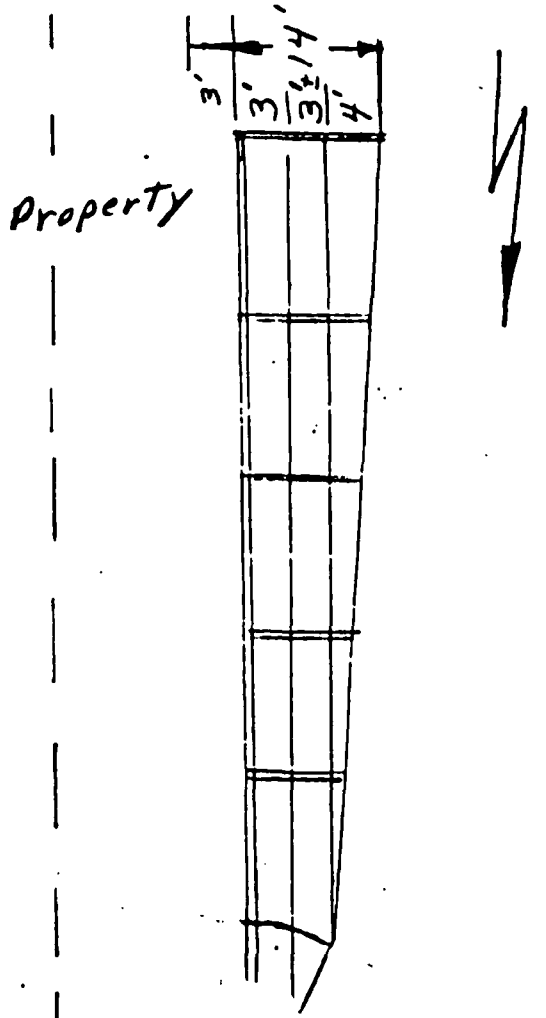
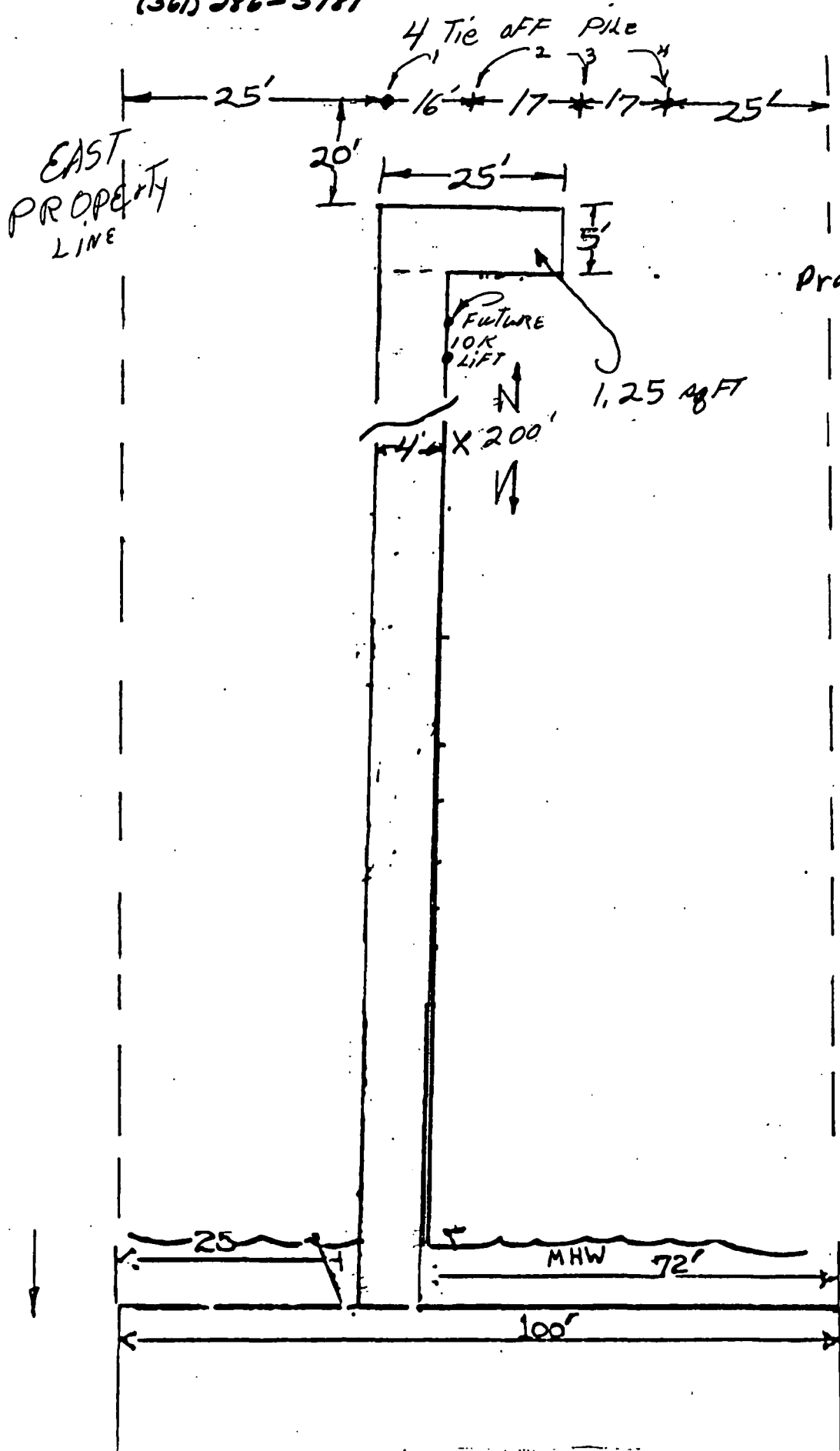
my commission expires

11-8-99



**BLUE WATER MARINE
CONSTRUCTION, INC.**
3558 S.E. Dixie Hwy.
Stuart, FL 34997
(561) 286-5181

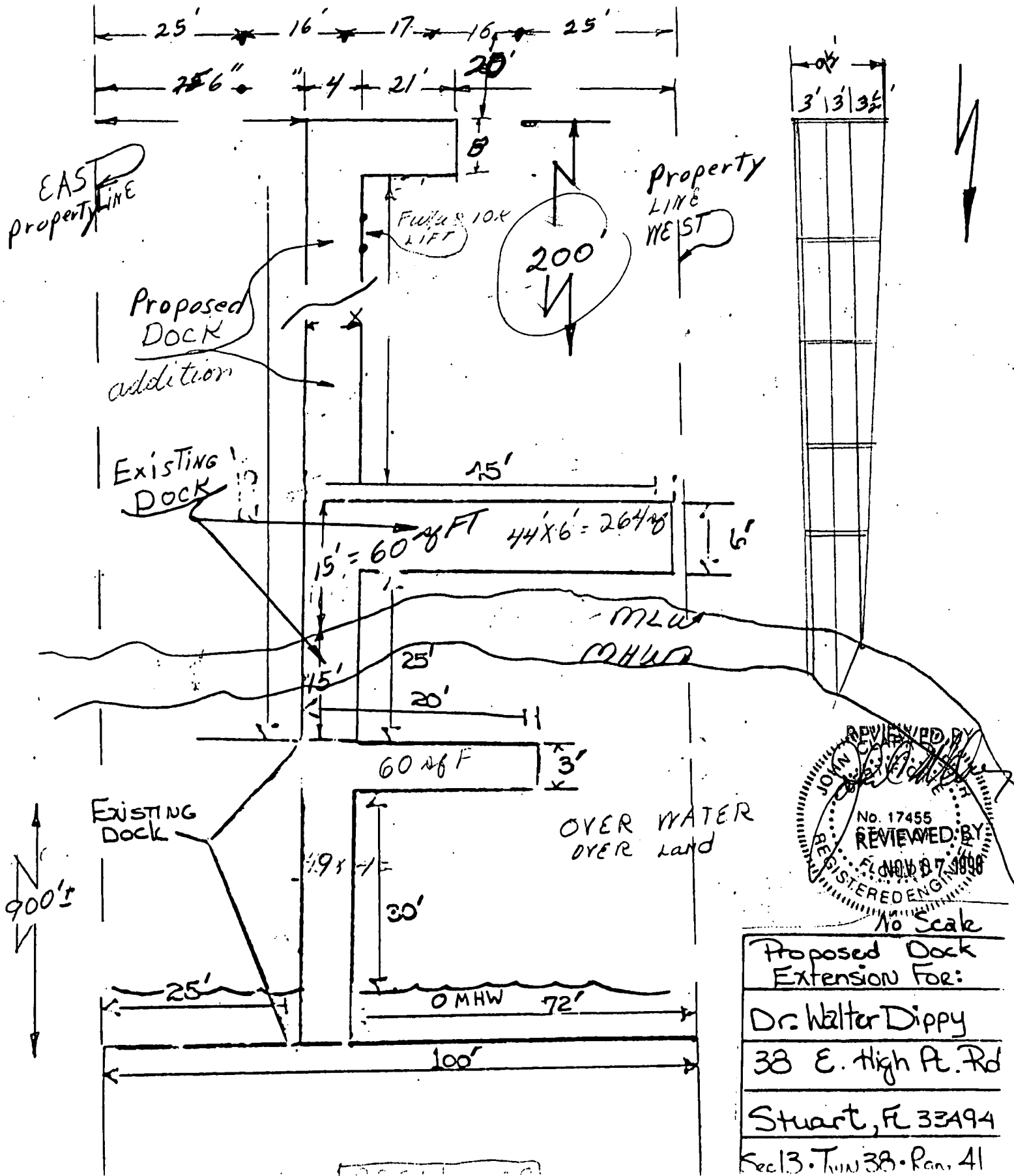
T.C.



No Scale
 Proposed Dock
 Extension For:
 Dr. Walter Dippy
 38 E. High Pt. Rd
 Stuart, FL 33494

**BLUE WATER MARINE
CONSTRUCTION, INC.**

3558 S.E. Dixie Hwy.
Stuart, FL 34997
(561) 286-5181



REVIEWED BY
JOHN [Signature]
No. 17455
REVIEWED BY
FL NOV 07, 1998
REGISTERED ENGINEER
No Scale

Proposed Dock
Extension For:
Dr. Walter Dippy
38 E. High Pt. Rd
Stuart, FL 33494
Sec. 13, T. 11 N. 38. R. 11 E. 41

Walter Dippy
38 E. Highpoint

Bluewater Marine

- ① Survey of property showing set backs and distance from any adjacent dock (50' min)
- ~~②~~ Letters of no objection from adjoining property owners
- ~~③~~ 2 copies of signed - sealed drawings
- ~~④~~ copies of license - Insurance of contractor
- ④ no dock can extend more than 200'
- ⑤ 1" spacing in decking

Bob Bott
.12-16-98

12-29-98

Dr. Dippy -

This List was sent (faxed) to us
From Sewall's Point Bldg. Dept. on 12-28-98.

Items #3-5 are or will be taken care of
by Blue Water.

Items #1 and 2 will need to be addressed
by you. Enclosed is a Form for your adjacent
property owners.

Sincerely, Mark



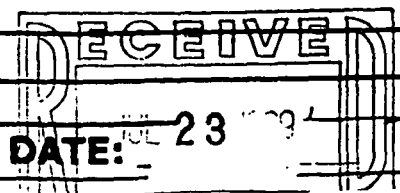
1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4595	105 Hillcrest Ct	FRAME ALL	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4580	23 CASTLE Hill Wy	INSULATION	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4511	33 N. RIVER RD	ALL TRADES	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4613	8 PALM CT	BEAM		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4635	46 S. Sewall's Pt Rd	Roof	OK	NO PERMIT NOT SITE FOUND PERMIT
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4644	5 WORTH CT	GENERAL FINAL		OK
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4636	34 E. Hill Pt	DOCK FINAL	OK	

OTHER: _____

INSPECTOR: _____

R L Moore



DATE: _____

JUL 23 1999

7812

POOL ENCLOSURE

WITHDRAWN

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 10-4-05

BUILDING PERMIT NO. 7812

Building to be erected for GREINER

Type of Permit POOL ENCLOSURE

Applied for by PIONEER SCREEN

(Contractor)

Building Fee 120.00

Subdivision HIGH POINT Lot 22 Block _____

Radon Fee _____

Address 37 E. HIGH POINT ROAD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

1338410020000022090000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 120.00 Check # 33976 Cash _____

Other Fees (_____)

Total Construction Cost \$ 11450.00

TOTAL Fees 120.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED
9/29/09

Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: ROBERT GRENER Phone (Day) 287-2307 (Fax) _____

Job Site Address: 37 E. HIGH POINT RD. City: STUART State: FL Zip: 34996

Legal Description of Property: HIGHPOINT LOT 22 Parcel Number: 13-38-41-002-000-00220-9

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: REPLACE POOL ENCL. - STORM DAMAGED

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: PIONEER SCREEN CO. Phone: 283-9197 Fax: 283-3028
CRAIG RICE, PRES. EXT. 207

Street: 9011 S.W. OLD KANSAS AVE City: STUART State: FL Zip: 34997

State Registration Number: SCC046064 State Certification Number: _____ Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$11,450.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER B.D.D. INC. - D.A. DOWDY Phone Number: 561-965-6613

Street: P.O. BOX 20207 City: WPB State: FL Zip: 33416

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: 1000 ft

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001.

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Robert Grener

State of Florida, County of: MARTIN

This the 6TH day of SEPTEMBER, 2005

by ROBERT GRAHAM GRENER who is personally

known to me or produced FLDL065062-15-282-0

as identification. [Signature] 8/2/09
Notary Public

My Commission Expires _____

CONTRACTOR SIGNATURE (required)
Craig Rice

On State of Florida, County of: MARTIN


This the 13TH day of MAY, 2005


by CRAIG RICE who is personally

known to me or produced _____

As identification. [Signature]
Notary Public

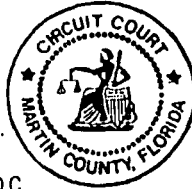
My Commission Expires _____

 LAURA L. O'BRIEN
MY COMMISSION # DD 205961
PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY
Notary Public Underwriters

 ROSE M. HIDALGO
MY COMMISSION # DD 396760
EXPIRES: February 15, 2009
Notary Public Underwriters

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK



BY: [Signature] D.C.
DATE: 5/25/05

INSTR # 1842233
OR BK 02017 PG 1753
RECORDED 05/25/2005 12:25:40 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY C Welsh

SPACE ABOVE THIS LINE FOR RECORDING DATA

NOTICE OF COMMENCEMENT

Permit No. _____ Tax Folio No. _____

State of Florida

County Of Martin

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with chapter 713 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

Legal description of property (include street address, if available) HIGH PT. - LOT 22
SEWALLS PT.

General description of improvements REPLACE POOL ENCL - STORM DAMAGE

Owner's Name Robert & Greiner (ANTOINETTE GREINER)

Address 37 E Highpoint Rd., Stuart, FL, 34996

Contractor: Pioneer Screen Company

Address: 9011 S.W. Old Kansas Avenue, Stuart, Florida Phone: 772-283-9197 Fax: 772-283-3028
34997

Persons within the State of Florida designed by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7, Florida Statutes.

Name _____

Address _____ Phone: _____ Fax: _____

In addition to himself, owner designates _____

Of _____ Phone: _____ Fax: _____

to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

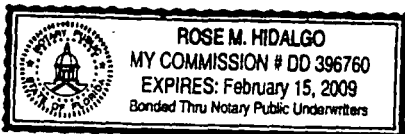
Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified).

[Signature]
Signature of Owner

ANTOINETTE Greiner
Printed Name of Owner

6656-019-34-637-0
Driver's License No. of Owner

Notary Rubber Stamp Seal



I have relied upon the following identification of the Affiant

D.L.

Sworn to and subscribed before me this 29TH day of APRIL 2005

[Signature]
Notary Signature

Rose M. Hidalgo

Printed Name

- Aluminum Roofs
- Pool Enclosures
- Railings
- Screened Lanais
- Re-Screens
- Service Work
- Hurricane Protection
- Plastic Screen Inserts
- Screen Enclosures w/ Aluminum Roofs
- Patio Enclosures



9011 SW Old Kansas Ave., Stuart, FL 34997
 Construction License # SCC046064
 Stuart 772-283-9197
 West Palm Beach 561-575-0033
 FAX 772-283-3028
 www.pioneerscreen.com

SOLD TO Robert G. Greiner PHONE 772-257-2307 DATE 3/7/05
 MAILING ADDRESS 37 E Highpoint Rd. INSTALLATION ADDRESS Same
 CITY, STATE, ZIP Stuart, FL, 34996 PROPERTY OWNER ADDRESS Same
10-12 mos.
 APPROXIMATE FINISH DATE (AFTER PERMIT AND ASSOCIATION APPROVAL IF NEEDED) WEATHER CONDITIONS MAY DELAY START AND FINISH DATE.

Screen Color: Charcoal
 Mesh Type: 18x14 20x20 20x30
 Flat Gable
 Hip Mansard A-Frame Porch
 Beam(s) Type: Code
 Uprights Code
 Aluminum Roof: Insulated Non Insulated
 Doors: 2
 Chair Rail:
 Florida Glass: 18" 24" 36"
 Kickplate:
 Gutters: 50' - 5" Super Gutters
 Frame Color: BZ
 Permit #:
 Lot: Block:
 Subdivision: Sewalls Point
 Concrete: Yes No

INITIAL DESIGN LAYOUT

Tear-Out? Yes No Ready to Measure? Yes No

New Pool Enclosure
 Approx 1812 sq. ft.
 170' of 9" Beam (per request)
 50' of 5" Super Gutter
 received 2290.00 Deposit
 ck # 1316

Proposal Price: 11,450.00

THIS PROPOSAL MAY BE WITHDRAWN BY US IF NOT ACCEPTED WITHIN 30 DAYS

A survey sheet or a plot plan and complete legal description is required on all pool patio enclosures and aluminum roofs.

CONDITIONS

1. It is understood that there are no verbal agreements and all items are covered by this written contract - this is a proposal until signed by an officer of the corporation at which time it becomes an executed contract.
2. A full one year unconditional guarantee against defects in purchased assemblies, materials and workmanship issued and takes effect at completion. Any warranty work necessary, however, shall not be done until such time as final payment. Owner's failure to make full payments to contractor according to the contract and work orders shall void the guarantee.

3. Any changes after final measurements will be charged accordingly.
4. Payment will be made as outlined. Owner agrees to pay all attorney fees if this contract should go to court for collection for any reason, and pay 1 1/2% interest per month on any unpaid balance.
5. Any cracks greater than 1/8 inch in width will be repaired by surface patching or painting. Builder is not responsible for color variations. Any cracks greater than 1/4 inch in width or 1/8 inch in vertical displacement will be repaired by surface patching or other remedies. Cracks exceeding 1/4 inch in width or 1/4 inch in vertical displacement will be repaired by patching or other remedies. The problem will be corrected so that the defect is not readily noticeable.

Section 501.025, Florida Statutes, (Consumer Protection) provides that "...the buyer has the right to cancel a home solicitation sale until midnight of the third business day after the day on which the buyer signs an agreement..."

The undersigned acknowledges receipt of a true copy of this contract and acknowledges that he has read and understands the contents thereof and accepts the same on terms and conditions stated herein. 35% Deposit required, 2/3 on delivery of material, balance on completion. Credit Card Fees apply at 2.37% per transaction.

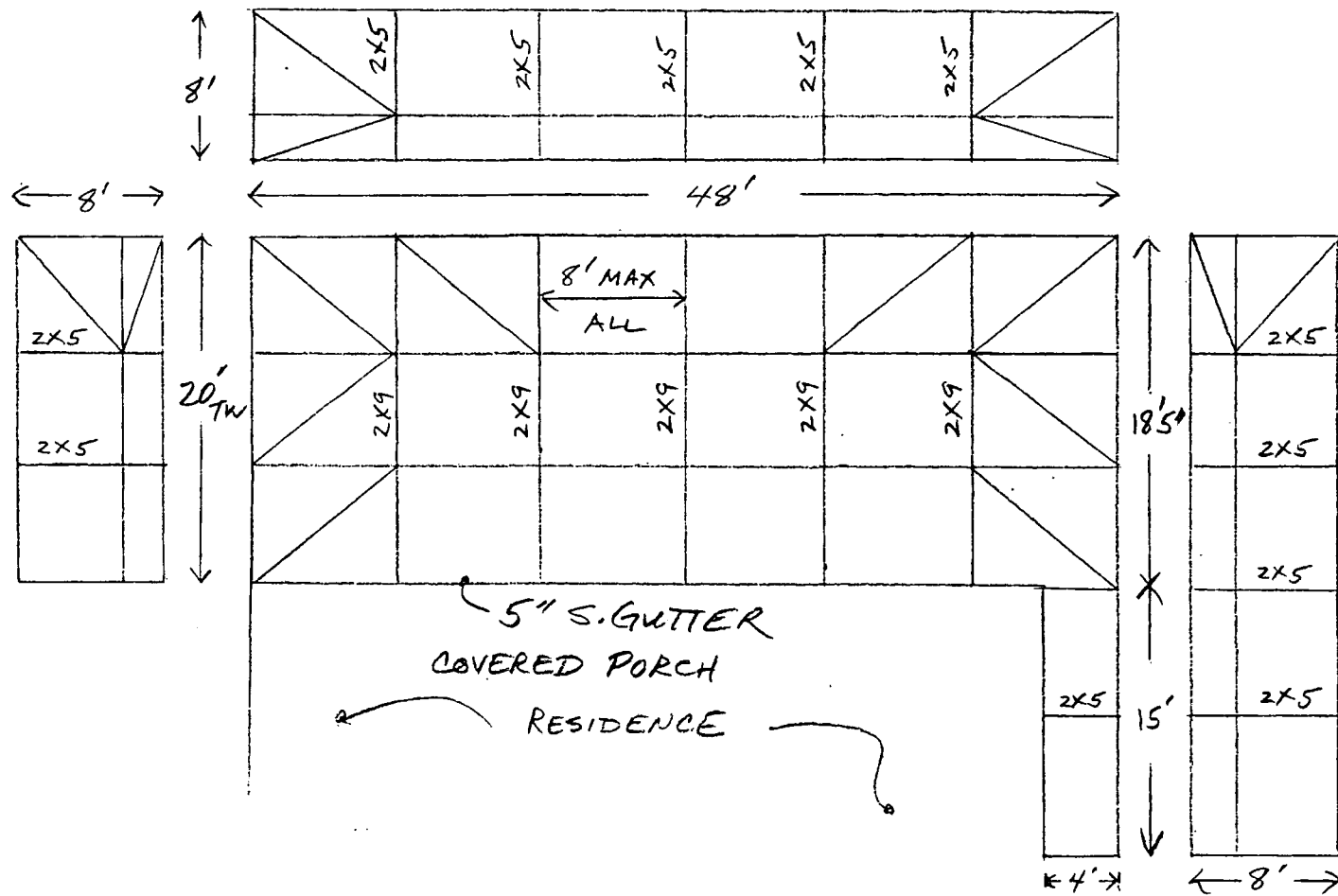


We Do Not Send Invoices, Balance Due On Completion. 20%

Purchaser: [Signature] Date: 3/7/05

Pioneer Screen Co., Inc.: [Signature]

		PAYMENT TOTALS WITH CREDIT CARD FEES 2.37%
Contract Price	11,450.00	
35% Deposit	2,290.00	
	9,160.00	
Concrete Draw		
2/3 Screen Draw	6,106.67	
Balance Due	3,053.33	



PIONEER SCREEN CO. - POOL ENCL.

FOR: R. GREINER

MAY 13 2005



Pioneer Screen Company, Inc.
 State Certified Aluminum Contractors
 License # SCC046084

9011 SW Old Kansas Ave., Stuart, FL 34997
 Martin, St. Lucie and Palm Beach Counties
 Since 1980

CUSTOM ALUMINUM PRODUCTS

www.pioneerscreen.com

March 15, 2006

TO: Town of Sewall's Pt. Building Dept.

Please cancel the following permit, the homeowner has cancelled their job with Pioneer Screen. You may trash engineering etc. If any credit is due please send refund.

Permit # 7812 Greiner 37 E. High Point Road

Any questions contact Rosie at 283-9197 ext. 207.

Thank you,

A handwritten signature in cursive script that reads "Craig Rice Pres".

Craig Rice, Pres.

Stuart 283-9197 Palm Beach 575-0033 Port St. Lucie 340-4393 FAX 283-3028

GENERAL NOTES AND DESIGN PARAMETERS:

1. THIS OVERALL DESIGN COMPLIES WITH THE GUIDLINES DEFINED IN CHAPTER 16 AND CHAPTER 20, FLA. BLDG. CODE 2001, AND IS BASED ON THE FOLLOWING PARAMETERS:

- WIND SPEED: 140 MPH, 3-SECOND GUST
- EXPOSURE CATEGORY: 'B'
- DESIGN PRESSURES: ROOF @ 10 P.S.F., WALLS @ 18 P.S.F.
- MAXIMUM HEIGHT: 30' 0" (LARGER JOBS REQUIRE SITE-SPECIFIC DESIGN BY THE ENGINEER OF RECORD, AND MAY BE SUBJECT TO MORE STRENGENT DESIGN PARAMETERS)
- ALLOWABLE DEFLECTION: 'L' / 60 (AS SPECIFIED IN TABLE 1610J, FOR NON-HIGH VELOCITY HURRICANE ZONES)
- CONTINUOUS LOAD PATH IS PROVIDED

2. MATERIALS (UNLESS OTHERWISE SPECIFIED BY THE ENGINEER OF RECORD)

- ALL EXTRUSIONS: ALUMINUM ALLOY 6063-T6 (NOTE: SPLICE PLATE MATERIAL MAY BE EXTRUDED FROM ALUMINUM ALLOY 6061-T6, IF THIS ALLOY IS MORE READILY AVAILABLE TO THE CONTRACTOR).
 - FASTENERS: ALUMINUM ALLOYS 7024-T4 & 7075-T6, DOUBLE CAD-PLATED STEEL, HOT-DIPPED GALVANIZED STEEL, OR 300-SERIES STAINLESS STEEL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE FOR SEPARATION OF DISSIMILAR MATERIALS AS THEY ARE DEFINED IN SECTION 2003.8.4. HE / SHE MAY IMPLEMENT ANY OF THE MEANS LISTED IN THESE SECTIONS. ANY ALTERNATE MEANS MUST BE REVIEWED AND APPROVED IN WRITING, BY THE ENGINEER OF RECORD, PRIOR TO ANY INSTALLATIONS UTILIZING THE SUBJECT METHOD.
 - SCREEN CLOTH: SHALL BE VINYL-COATED, WOVEN FIBERGLASS, 60% OPEN OR GREATER
- ALL FASTENERS THAT PASS THROUGH ANY EXTRUSION INTO CONCRETE, MASONRY, WOOD, OR OTHER ALUMINUM EXTRUDED FRAME MEMBER, MUST HAVE A 5/8-INCH DIAMETER WASHER (MINIMUM), AND BE NO MORE THAN 24 INCHES CENTER-TO-CENTER SPACING (UNLESS OTHERWISE SPECIFIED BY THE ENGINEER OF RECORD).
 - ALL FASTENERS ADJACENT TO COLUMNS THAT DO NOT REQUIRE REINFORCING ANGLE CLIPS, MUST BE PLACED WITHIN 4 INCHES OF THE UPRIGHT (ON BOTH SIDES). (REFER TO GENERAL NOTE #3 FOR SPACING SPECIFICATIONS)
 - ANY SCREEN ROOF ENCLOSURE THAT MEETS ANY OF THE FOLLOWING PARAMETERS SHALL REQUIRE SITE-SPECIFIC ENGINEERING (MAINLY FOR PLACEMENT OF ADDITIONAL BRACING, BUT FOR REVIEW OF THE ENTIRE DESIGN AS WELL):
 - ANY SCREEN ROOF ENCLOSURE THAT CONTAINS ANY ROOF BEAMS THAT EXCEED A SPAN OF 40 FEET.
 - ANY SCREEN ROOF ENCLOSURE THAT CONTAINS WALL COLUMNS THAT EXCEED 12 FEET IN HEIGHT (AT ANY POINT ON THE ENCLOSURE)
 - ANY SCREEN ROOF ENCLOSURE THAT CONTAINS ANY ROOF BEAMS THAT ARE NOT SUPPORTED ON ONE END BY THE HOST STRUCTURE (ANY 'FREE-STANDING' BEAMS).
 - ANY SCREEN ROOF ENCLOSURE THAT UTILIZES ANY CARRIER BEAMS (BEAMS THAT SUPPORT THE ENDS OF ANY OF THE OTHER ROOF BEAMS).
 - ANY SCREEN ROOF ENCLOSURE THAT IS BEING INSTALLED ONTO AN EXISTING SOLID ALUMINUM ROOF STRUCTURE OR IN COMBINATION WITH A PROPOSED SOLID ALUMINUM ROOF STRUCTURE (IN WHICH THE EXISTING OR PROPOSED ALUMINUM ROOF STRUCTURE EITHER PARTIALLY OR WHOLLY SUPPORTS ANY PART OF THE SCREEN ROOF ENCLOSURE).
 - IF A PROPOSED SCREEN ROOF ENCLOSURE IS FULLY SUPPORTED (TO ITS FULL HEIGHT) ON TWO SIDES, BY THE HOST STRUCTURE, THERE WILL BE NO LATERAL WIND BRACING (ROOF OR WALLS) REQUIRED. (PLEASE NOTE THAT ALL OF THE CRITERIA SPECIFIED IN GENERAL NOTE #5 ABOVE, STILL APPLY, EVEN WHEN THE PROPOSED ENCLOSURE IS FULLY SUPPORTED TO ITS FULL HEIGHT ON TWO SIDES)
 - SCREEN DOOR(S) MAY BE LOADED INTO ANY SCREEN WALL PANEL, EXCEPT FOR THOSE THAT CONTAIN DIAGONAL 'K' BRACING (AS PER OWNER SELECTION). ALL SCREEN DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING.
 - COPIES OF THIS ENGINEERING DESIGN DETAIL SPECIFICATION DRAWING (ALL SHEETS) ARE ONLY TO BE VALID FOR PERMITTING PURPOSES OR FOR DESIGN CERTIFICATION PURPOSES WHEN ALL SHEETS OF ANY SUBMITTED SET BEAR THE ENGINEER'S ORIGINAL SIGNATURE (IN BLUE INK) UNDER HIS EMBOSSED SEAL. NO SETS OF THESE SPECIFICATION DRAWINGS SHOULD BE ACCEPTED, OR CONSIDERED VALID IF THE DATE UNDER THE EMBOSSED SEAL IS MORE THAN 90 DAYS OLD.
 - ANY ORIGINAL SIGNED (IN BLUE INK) AND SEALED SITE-SPECIFIC DESIGN DRAWINGS, ALONG WITH ITS SITE-SPECIFIC SPECIFICATIONS, SHALL ONLY SUPERCEDE THESE DESIGN SPECIFICATION DRAWINGS, WHEN IT IS SPECIFICALLY STATED ON THE SITE DRAWING AND THAT SITE DRAWING IS DEFINED AS A 'SITE-SPECIFIC' DESIGN.

INTERNAL CONNECTION SPECIFICATION (UTILIZING SCREW BOSSES)

ALL INTERNAL CONNECTIONS UTILIZING THE EXTRUDED SCREW BOSSES SHALL HAVE A MINIMUM OF TWO (2) #10 SMS SCREWS, WITH A MINIMUM EMBEDMENT INTO THE SCREW BOSS OF 1 3/4" (UNLESS OTHERWISE SPECIFIED ON THE CONNECTION DETAILS THAT ARE SPECIFIED ON ANY PAGE OF THIS DESIGN DOCUMENT.

SCREEN PANEL INSTALLATION SPECIFICATION:

PLEASE NOTE THAT ALL SCREEN PANEL OPENINGS (BOTH ROOF AND WALLS) SHALL BE INSTALLED ON ALL FOUR SIDES WITH SPLINE (INDEPENDANT OF ALL SURROUNDING PANELS). THE ONLY FRAMING COMPONENTS THAT ARE NOT REQUIRED TO HAVE SPLINE INSTALLED IN THEM ARE ALL OF THE DIAGONAL WALL AND ROOF BRACING.

CONCRETE ANCHOR SPECIFICATIONS:

ALL CONCRETE ANCHORS SPECIFIED ON THIS DETAIL SHEET ARE MANUFACTURED BY 'RED HEAD' ANCHORING SYSTEMS, AS ALL LOAD CAPABILITIES ARE BASED ON TEST DATA FURNISHED BY RED HEAD IN THEIR PRODUCT AND RESOURCE BOOK. NO SUBSTITUTIONS OF ANY OTHER MANUFACTURER'S CONCRETE ANCHORS IS PERMITTED WITHOUT SUBMITTAL OF THE COMPANY'S TEST DATA (TO VERIFY EQUIVALENT LOAD CAPACITIES) AND A WRITTEN, SIGNED AND SEALED LETTER OF AUTHORIZATION FROM THE ENGINEER OF RECORD. ANY UNAUTHORIZED ANCHOR SUBSTITUTION SHALL BE DEEMED NON-COMPLIANT WITH THIS DESIGN. THE ANCHORS TO BE USED FOR APPLICATIONS SPECIFIED IN THIS ENGINEERING DESIGN PLAN ARE AS FOLLOWS:

1/4" DIA FASTENERS: RED HEAD ITU TAPCON (SEE INDIVIDUAL DETAILS FOR MINIMUM EMBEDMENT DEPTH INTO CONCRETE)

3/8" DIA. FASTENERS: 3/8" TRU BOLT WEDGE ANCHOR (SEE INDIVIDUAL DETAILS FOR MINIMUM EMBEDMENT INTO CONCRETE)

3/8" LARGE DIAMETER TAPCON (LDT) (SEE INDIVIDUAL DETAILS FOR MINIMUM EMBEDMENT INTO CONCRETE)

PLEASE REFER TO RED HEAD RESOURCE MANUAL FOR ACTUAL LOAD CAPABILITIES AND MINIMUM EDGE AND CENTER-TO-CENTER DISTANCES, AS THESE VALUES ARE THE BASIS FOR ALL DESIGN SPECIFICATIONS SHOWN ON THIS DESIGN DETAIL.

FOR BRICK PAVER INSTALLATION:

FOR INSTALLATION ON A BRICK PAVER DECK, THE ONLY FASTENERS THAT WILL MEET THE DESIGN CRITERIA INDICATED WITHIN THESE DESIGN SPEC.'S ARE THE RED HEAD TRU BOLT WEDGE ANCHOR (3/8" x 1"), WHICH BASED ON 1/8" ANGLE, 1 x 2 O.B., 2 1/8" THICK BRICK PAVER AND A MAXIMUM MORTAR BED THICKNESS OF 3/4". THIS SCENARIO WILL STILL MEET THE MINIMUM FASTENER EMBEDMENT. IF ANY OF THESE CONTRIBUTING FACTORS EXCEED THE DIMENSIONAL BREAKDOWN INDICATED, THE JOB MUST BE PRESENTED TO THE ENGINEER OF RECORD FOR SITE-SPECIFIC ANCHORING DESIGN.

SCREW SPACING AND EDGE DISTANCE SPEC.'S

THIS TABLE IS BASED ON THE PROPERTIES OF C-1022 LOW CARBON STEEL SMS AND SELF-DRILLING (TEK) SCREWS, WHICH ARE AN INDUSTRY STANDARD SCREW.

SCREW SIZE	NOMINAL SCREW DIAMETER (IN.)	MIN. EDGE DISTANCE	MIN. CENTER-TO-CENTER DISTANCE
#8	0.156	5/16"	7/16"
#10	0.188	3/8"	1/2"
#12	0.219	1/2"	5/8"
#14	0.250	5/8"	3/4"

MINIMUM FOOTER TABLES

MONO FOOTER	MAX. BM. SPAN	ISOLATED FOOTER (*)	MAX. BM. SPAN
8' x 8' WITH (1) #5 CONT.	UP TO 38'	12' x 12' WITH (2) #5 CONT.	UP TO 30'
8' x 12' WITH (1) #5 CONT.	UP TO 41'	12' x 16' WITH (2) #5 CONT.	31' TO 39'
10' x 12' WITH (1) #5 CONT.	UP TO 48'	14' x 16' WITH (2) #5 CONT.	40' TO 44'
12' x 12' WITH (2) #5 CONT.	UP TO 55'	16' x 16' WITH (2) #5 CONT.	44' TO 52'

IF A JOB EXCEEDS THESE PARAMETERS, THE FOUNDATION MUST BE SITE-SPECIFICALLY DESIGNED BY THE ENGINEER. MONOLITHIC FTG. LOAD CAPACITIES ARE BASED ON A MIN. OF 3 FEET OF CONT. CONCRETE, 2500 PSI MINIMUM, W/ WIRE OR FIBERMESH REINFORCEMENT

(*) ISOLATED FOOTERS MAY BE USED ON EDGE OF EXIST. CONC. SLAB OR UNDERNEATH THE PERIMETER OF BRICK PAVER DECK (ALL SIDES)

SNAP / LAP JOINT CONNECTION NOTE:

ALL FRAMING MEMBERS ON ANY ENCLOSURE THAT UTILIZE SNAP OR LAP JOINT IN THEM SHALL HAVE #2 TEK'S INSTALLED THRU THE SNAP OR LAP CONNECTION AT 18 INCHES ON CNTR. (TYP). THESE TEK SCREWS ARE TO BE PLACED ON BOTH EDGES OF THE UPRIGHT (BOTH THE INNER AND THE OUTER EDGE) IN ALL CASES. THIS SPECIFICATION APPLIES TO UPRIGHTS AND BEAMS BOTH.

GIRT (CHAIR RAIL) AND FURLIN SPACING SPECIFICATION NOTE:

ALL 2 x 2 H GIRTS (CHAIR RAILS) LOCATED IN THE SCREEN WALLS AND ALL FURLINS LOCATED IN THE SCREEN ROOF SHALL NOT EXCEED 8' 0" CENTER-TO-CENTER SPACING

(*) 2'0" max HURSE OVERHANG
Ul

POOL / PATIO ENCLOS.
WITH SCREEN ROOF
140 MPH, EXP 'B'
(SHEET 1 OF 4)

B.D.Q., INC.
P. O. BOX 20207
WEST PALM BEACH, FL. 33416
D. A. DOWDY, P.E.
FL REG. NO. 22763
FLA. ENG. CERT. OF AUTH. NO. 8238

NOTE TO BUILDING OFFICIALS:
THIS ENGINEERING IS ONLY VALID FOR BUILDING PERMIT PURPOSES WHEN IT BEARS THE ORIGINAL SIGNATURE AND RAISED / EMBOSSED SEAL FROM THE ENGINEER OF RECORD (PHOTOCOPIES ARE NOT TO BE ACCEPTED OR CONSIDERED AS VALID FOR PERMITTING) (RE: GEN. NOTE #6)

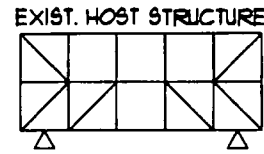
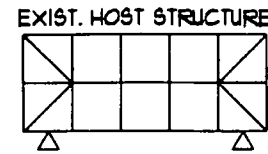
DWR E. DOWDY
DATE: 01/28/05
APPROVED:
D. A. DOWDY, P.E.
DWG. NO. 05-140-03
LAST REV. 01/28/05

 - INDICATES WALL PANEL THAT SHALL HAVE DIAGONAL 'K'-BRACING IN IT

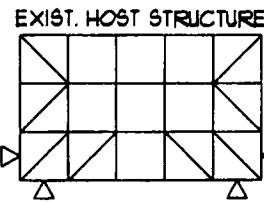
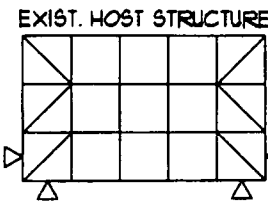
UP TO 8' WALL HGT

8' TO 12' WALL HGT

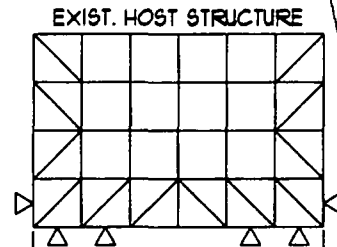
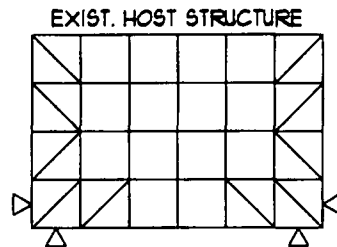
UP TO 16' BEAM SPAN



16' TO 24' BEAM SPAN

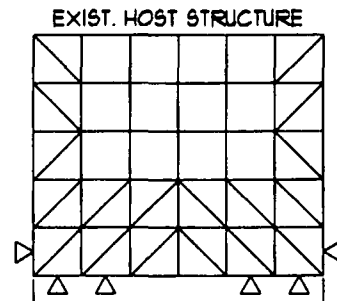
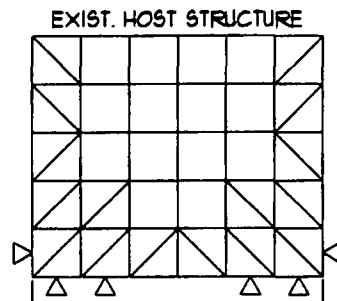


24' TO 32' BEAM SPAN



NUMBER OF PANELS VARIES. ALL BAYS SHALL HAVE DIAG. BRACING ON OUTER-MOST ROW OF ROOF PANELS

32' TO 40' BEAM SPAN



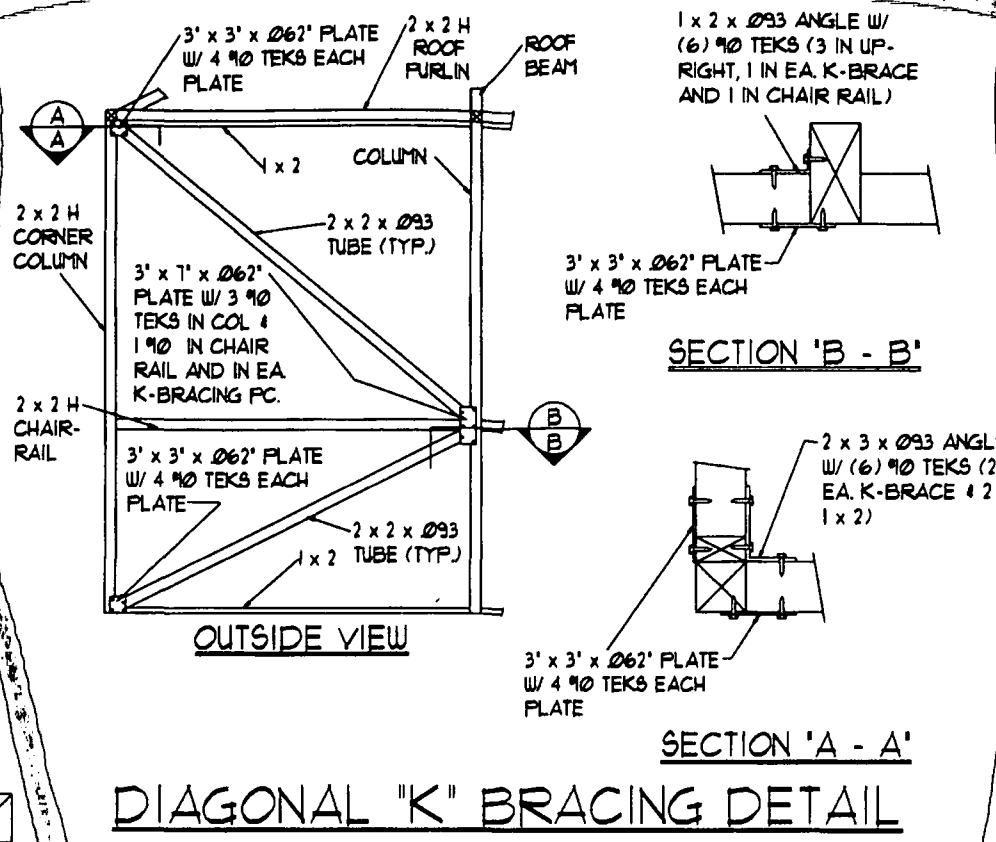
NUMBER OF PANELS VARIES. ALL BAYS SHALL HAVE DIAG. BRACING ON OUTER-MOST ROW OF ROOF PANELS

NUMBER OF PANELS VARIES. ALL BAYS SHALL HAVE DIAG. BRACING ON TWO OUTER-MOST ROWS OF ROOF PANELS

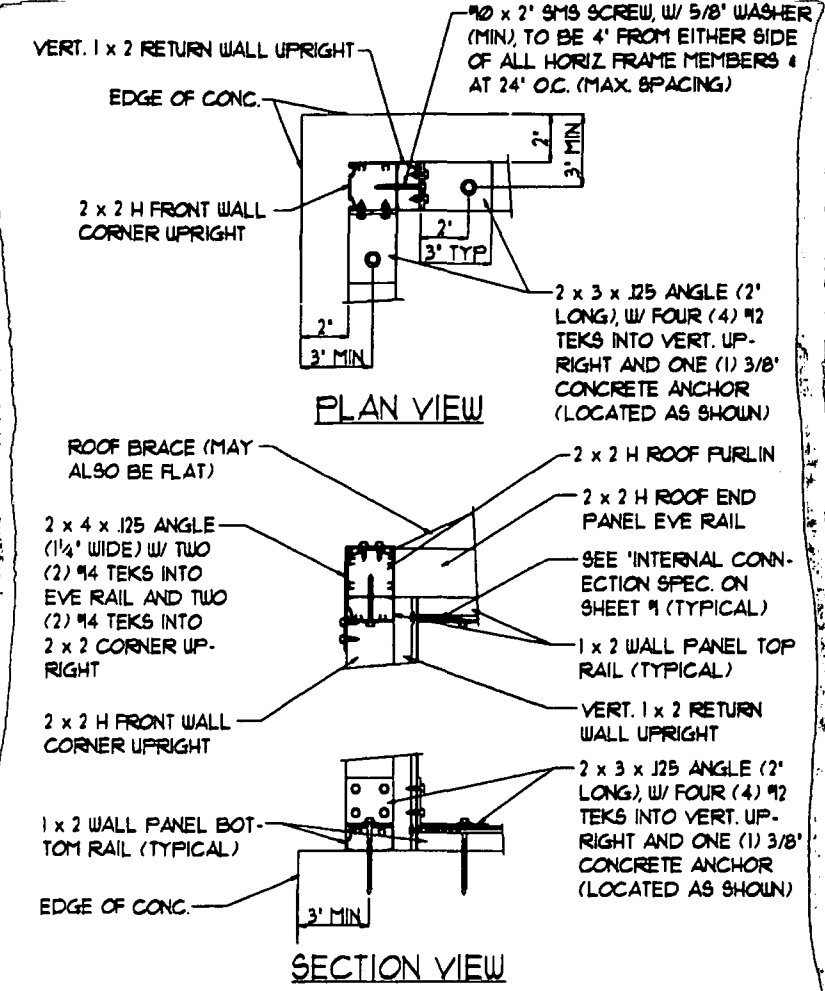
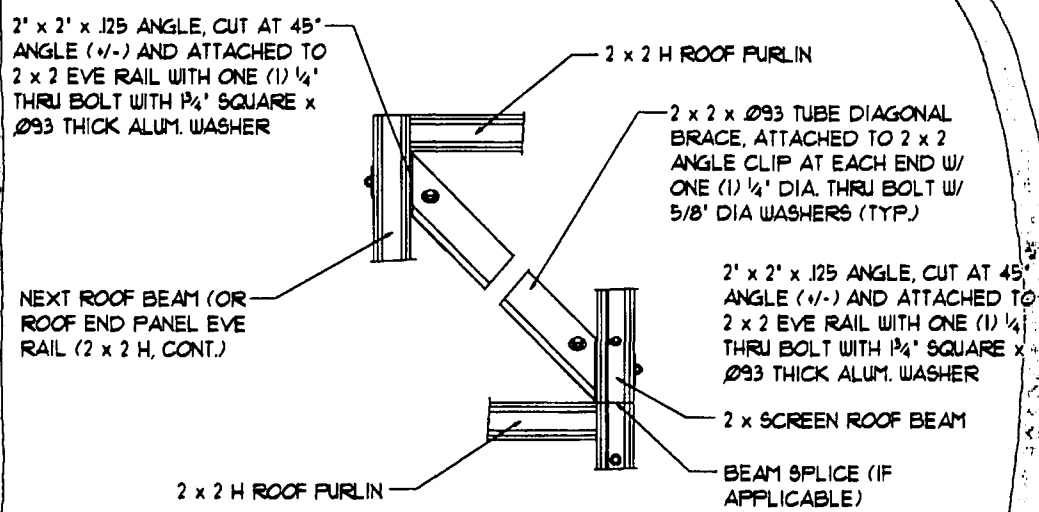
DESIGN NOTES:

ALL DIAGONAL BRACING, USED EITHER IN THE ROOF OR AS 'K'-BRACING IN THE WALLS SHALL BE 2' x 2' x $\varnothing 93$ WALL THICKNESS TUBE, AND SHALL BE CUT TO FIT SNUG, WITH NO PLAY OR SHIFT IN THE BRACING. SEE DETAILS AT RIGHT FOR CONNECTION SPECIFICATIONS

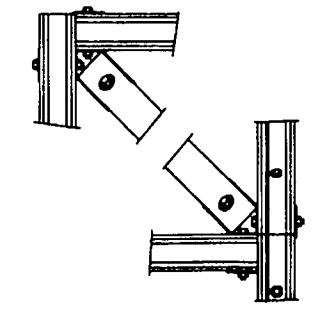
THE BRACING SCHEMATICS SHOWN ABOVE ARE THE SAME BRACING CONFIGURATION, REGARDLESS OF ROOF TYPE (MANSARD, PEAK, DOME, FLAT, ETC.)



DESIGN NOTE:
ALL THRU BOLTS PLACED THROUGH ANY ALUM. MATERIAL WITH WALL THICKNESS LESS THAN $\varnothing 90$, SHALL HAVE $1\frac{3}{4}$ " SQUARE x $\varnothing 90$ THICK ALUM WASHER INSTALLED ON EITHER OR BOTH ENDS, AS DETERMINED BY THE MATL. THICKNESS



ALTERNATE ROOF BRACING CONNECTION DETAIL (APPLICABLE ONLY FOR CORNER BRACES IN A MANSARD-STYLE ROOF), UTILIZING A STAMPED DIAGONAL BRACE ATTACHMENT CUP, WHICH IS STAMPED FROM ALUMINUM ALLOY 3003 H-14 ($\varnothing 63$ THICKNESS). THESE CUPS SHALL BE ATTACHED WITH TWO (2) $\frac{1}{4}$ " DIA. THRU BOLTS PER CUP (AS INDICATED BELOW). NOTE THAT THE SAME DESIGN NOTE FOR APPLICATION OF THE $1\frac{3}{4}$ " SQUARE ($\varnothing 93$ THICK) ALUM. WASHERS APPLIED TO THESE CUPS, AS THEY ARE LESS THAN $\varnothing 90$ THICK. THE 2 x 2 x $\varnothing 93$ DIAGONAL BRACE SHALL BE ATTACHED TO THE CUP AT EACH END WITH ONE (1) $\frac{1}{4}$ " DIA. THRU BOLT, W/ THE APPROPRIATE WASHERS



D.W. E. DOWDY
DATE: 01/28/05
APPROVED:
D. A. DOWDY, P.E.
DWG. NO. 05-10-18
LAST REV. 01/28/05

NOTE TO BUILDING OFFICIALS:
THIS ENGINEERING IS ONLY VALID FOR BUILDING PERMIT PURPOSES WHEN IT BEARS THE ORIGINAL SIGNATURE AND RAISED / EMBOSSED SEAL FROM THE ENGINEER OF RECORD (PHOTOCOPIES ARE NOT TO BE ACCEPTED OR CONSIDERED AS VALID FOR PERMITTING) (RE: GEN. NOTE #8)

POOL / PATIO ENCLOS. WITH SCREEN ROOF 140 MPH, EXP "B" (SHEET 3 OF 4)

B.D.Q., INC.
P. O. BOX 20207
WEST PALM BEACH, FL 33416
D. A. DOWDY, P.E.
FL REG. NO. 22763
FLA. ENG. CERT. OF AUTH. NO. 8238

PLEASE NOTE THAT THE BEAM SPAN INCREASE FOR LOWER WALL HEIGHTS (WHEN USING FLAT ROOF BEAM SPANS) IS NEGLIGIBLE, THEREFORE, REFER TO 16' WALL HEIGHT TABLE FOR ALL FLAT ROOF BEAM SPANS

FLAT (SIMPLE) ROOF BEAM SCHEDULE FOR FLAT BEAMS, L80 MAX. (140 MPH, EXP. 'B')											
SIZE	DIMENSION		ROOF PANEL WIDTH vs BEAM SPAN (FOR MAX. WALL HEIGHT OF 16' 0")								
	T _T	T _w	8' 0"	7' 6"	7' 0"	6' 6"	6' 0"	5' 6"	5' 0"	4' 6"	4' 0"
2x3 SN	.055	.055	7' 0"	7' 4"	7' 6"	7' 9"	8' 1"	8' 5"	8' 10"	9' 4"	9' 11"
2x3 L	.055	.055	7' 0"	7' 4"	7' 6"	7' 9"	8' 1"	8' 5"	8' 10"	9' 4"	9' 11"
2x4 SN	.045	.045	7' 11"	8' 1"	8' 4"	8' 8"	9' 0"	9' 5"	9' 10"	10' 5"	11' 0"
2x4 L	.100	.045	10' 0"	10' 4"	10' 8"	11' 1"	11' 7"	12' 1"	12' 8"	13' 4"	14' 2"
2x5 L	.116	.050	12' 5"	12' 10"	13' 3"	13' 9"	14' 4"	15' 0"	15' 8"	16' 7"	17' 1"
2x6 L	.120	.050	14' 3"	14' 8"	15' 2"	15' 9"	16' 5"	17' 2"	18' 0"	18' 11"	20' 1"
2x7 L	.120	.057	16' 1"	16' 8"	17' 3"	17' 11"	18' 7"	19' 5"	20' 5"	21' 6"	22' 10"
2x8 L	.224	.072	18' 3"	18' 10"	19' 6"	20' 3"	21' 1"	22' 0"	23' 1"	24' 4"	25' 10"
2x9 L	.306	.082	21' 1"	21' 11"	22' 11"	23' 0"	24' 3"	25' 3"	26' 3"	27' 6"	28' 3"
2x10 L	.389	.082	31' 10"	32' 10"	34' 0"	35' 4"	36' 9"	38' 5"	40' 3"	42' 5"	45' 0"

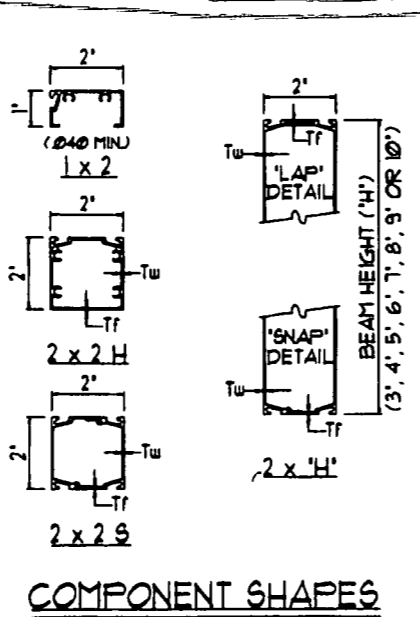
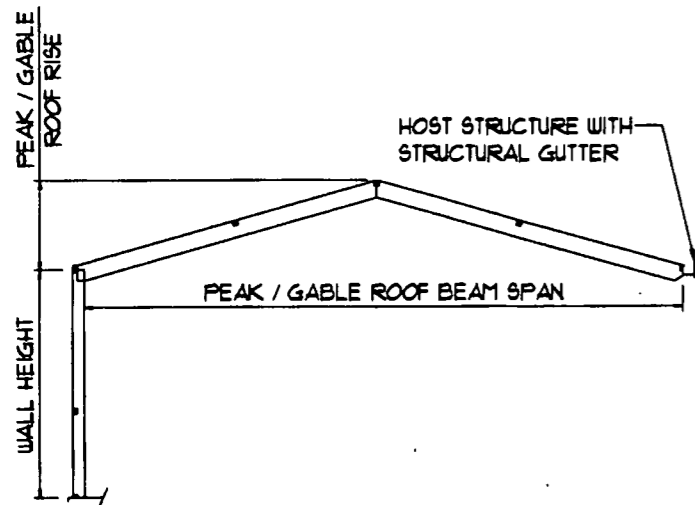
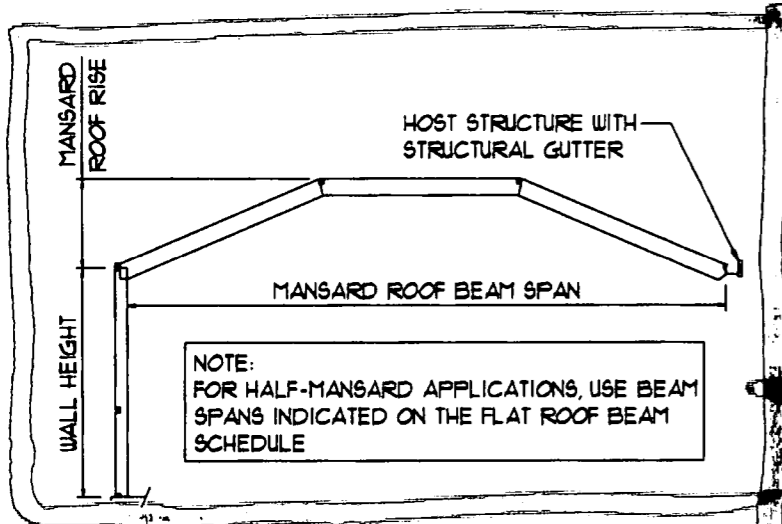
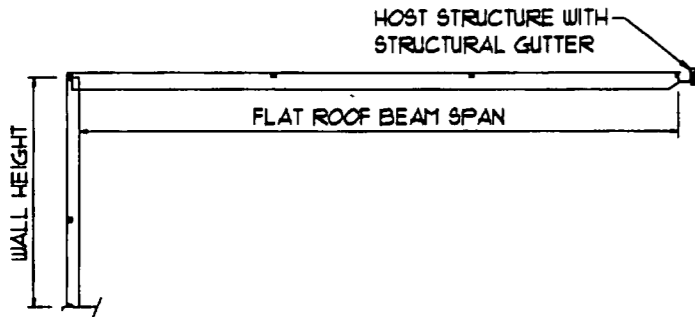
BEAM SPAN CALCULATION NOTE:
THE SPANS IN THESE TABLES ARE BASED ON AN ALLOWABLE BENDING STRESS (FOR ALLOY 6063-T6) OF 15,200 P.S.I.

MANSARD / CENTER PEAK (GABLE) ROOF BEAM SCHEDULE L80 MAX. (140 MPH, EXP. 'B')											
SIZE	DIMENSION		ROOF PANEL WIDTH vs BEAM SPAN (FOR MAX. WALL HEIGHT OF 12' 0")								
	T _T	T _w	7' 6"	7' 0"	6' 6"	6' 0"	5' 6"	5' 0"	4' 6"	4' 0"	
2x4 SN	.045	.045	4' 11"	5' 3"	5' 6"	5' 10"	6' 2"	6' 7"	7' 0"	7' 7"	8' 2"
2x4 L	.100	.045	7' 7"	7' 11"	8' 3"	8' 8"	9' 2"	9' 8"	10' 3"	10' 11"	11' 9"
2x5 L	.116	.050	9' 1"	9' 6"	9' 11"	10' 5"	11' 0"	11' 8"	12' 4"	13' 3"	14' 3"
2x6 L	.120	.050	11' 3"	11' 8"	12' 2"	12' 9"	13' 5"	14' 2"	15' 0"	15' 11"	17' 1"
2x7 L	.120	.057	14' 1"	14' 8"	15' 3"	15' 11"	16' 7"	17' 5"	18' 5"	19' 6"	20' 10"
2x8 L	.224	.072	16' 3"	16' 10"	17' 6"	18' 3"	19' 1"	20' 0"	21' 1"	22' 4"	23' 10"
2x9 L	.306	.082	25' 8"	26' 8"	27' 9"	29' 0"	30' 7"	32' 0"	33' 10"	36' 0"	
2x10 L	.389	.082	28' 11"	29' 10"	30' 10"	32' 3"	33' 8"	35' 4"	37' 2"	39' 4"	41' 10"

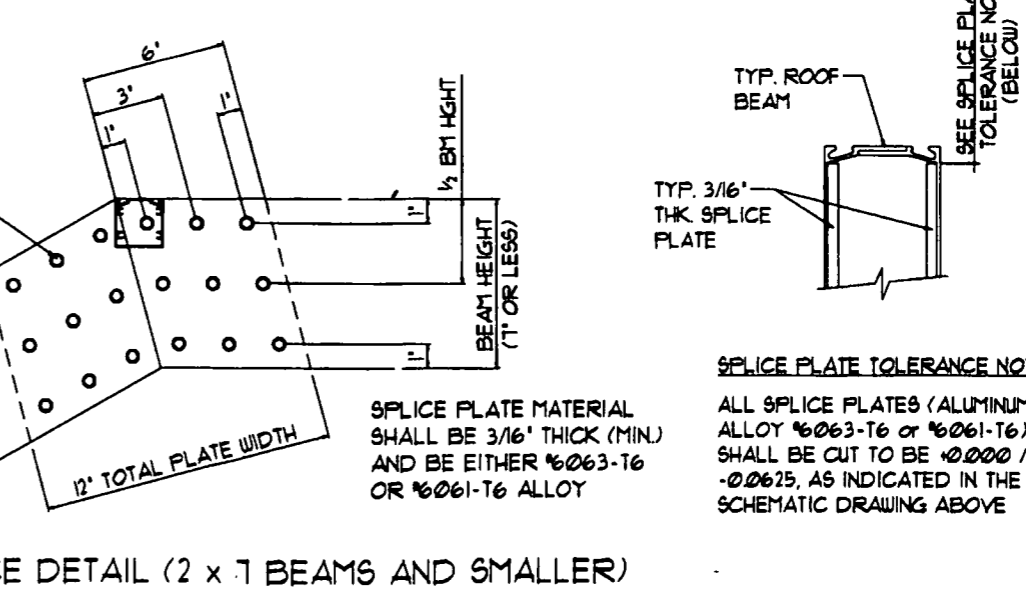
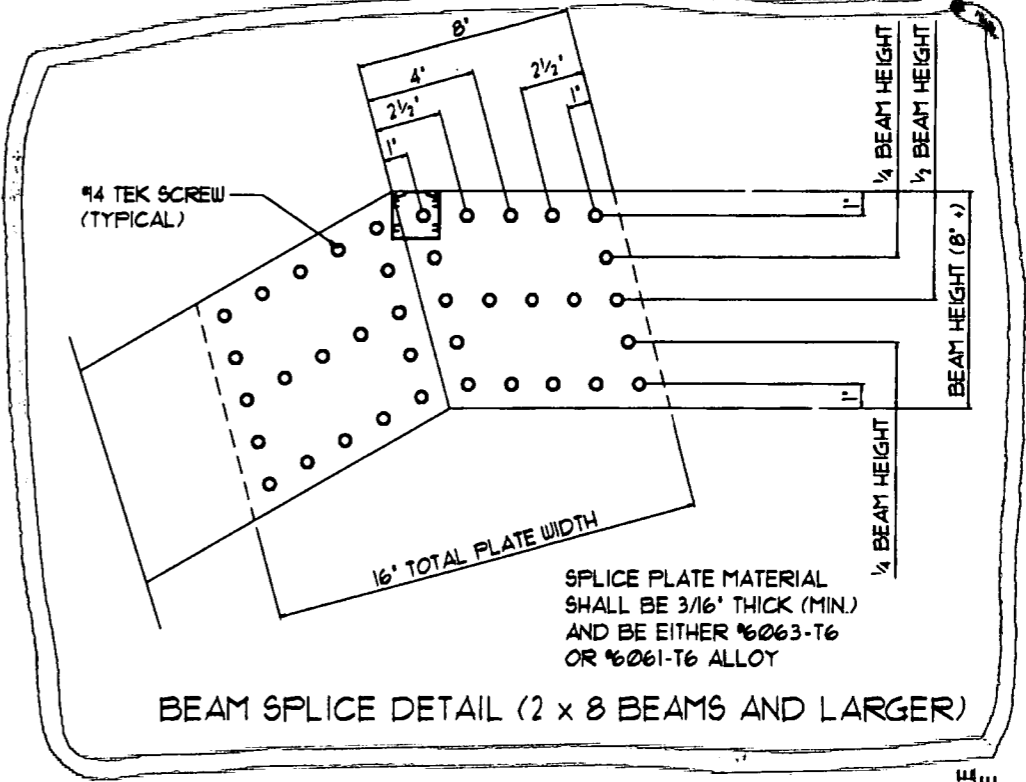
MANSARD / CENTER PEAK (GABLE) ROOF BEAM SCHEDULE L80 MAX. (140 MPH, EXP. 'B')											
SIZE	DIMENSION		ROOF PANEL WIDTH vs BEAM SPAN (FOR MAX. WALL HEIGHT OF 12' 0")								
	T _T	T _w	8' 0"	7' 6"	7' 0"	6' 6"	6' 0"	5' 6"	5' 0"	4' 6"	4' 0"
2x4 SN	.045	.045	4' 8"	5' 0"	5' 3"	5' 6"	5' 10"	6' 2"	6' 9"	7' 3"	7' 10"
2x4 L	.100	.045	7' 3"	7' 7"	8' 0"	8' 5"	8' 11"	9' 3"	10' 1"	10' 4"	11' 2"
2x5 L	.116	.050	8' 10"	9' 1"	9' 6"	10' 0"	10' 7"	11' 2"	12' 0"	12' 9"	13' 10"
2x6 L	.120	.050	10' 11"	11' 3"	11' 9"	12' 2"	12' 11"	13' 9"	14' 4"	15' 5"	16' 2"
2x7 L	.120	.057	13' 9"	14' 0"	14' 9"	15' 5"	16' 1"	16' 10"	17' 9"	18' 9"	19' 10"
2x8 L	.224	.072	15' 11"	16' 5"	17' 1"	17' 10"	18' 8"	19' 7"	20' 4"	21' 7"	23' 0"
2x9 L	.306	.082	24' 4"	25' 2"	26' 2"	27' 1"	28' 5"	29' 9"	31' 2"	33' 0"	35' 2"
2x10 L	.389	.082	28' 5"	29' 6"	30' 6"	31' 6"	32' 10"	34' 7"	36' 3"	38' 5"	40' 11"

MANSARD / CENTER PEAK (GABLE) ROOF BEAM SCHEDULE L80 MAX. (140 MPH, EXP. 'B')											
SIZE	DIMENSION		ROOF PANEL WIDTH vs BEAM SPAN (FOR MAX. WALL HEIGHT OF 16' 0")								
	T _T	T _w	8' 0"	7' 6"	7' 0"	6' 6"	6' 0"	5' 6"	5' 0"	4' 6"	4' 0"
2x4 SN	.045	.045	4' 4"	4' 8"	5' 0"	5' 4"	5' 8"	5' 11"	6' 4"	6' 10"	7' 5"
2x4 L	.100	.045	6' 11"	7' 3"	7' 8"	8' 1"	8' 7"	9' 1"	9' 8"	10' 1"	10' 11"
2x5 L	.116	.050	8' 5"	8' 8"	9' 1"	9' 8"	10' 3"	10' 10"	11' 5"	12' 2"	13' 4"
2x6 L	.120	.050	10' 5"	10' 9"	11' 2"	11' 9"	12' 5"	13' 3"	13' 9"	14' 8"	15' 8"
2x7 L	.120	.057	13' 4"	13' 6"	14' 2"	15' 1"	15' 8"	16' 2"	17' 0"	18' 1"	18' 10"
2x8 L	.224	.072	15' 5"	15' 10"	16' 5"	17' 3"	18' 1"	19' 0"	19' 6"	20' 9"	22' 3"
2x9 L	.306	.082	24' 0"	24' 8"	25' 6"	26' 7"	27' 8"	29' 2"	30' 6"	32' 4"	34' 3"
2x10 L	.389	.082	27' 10"	29' 0"	29' 11"	30' 8"	32' 1"	33' 8"	35' 5"	37' 10"	39' 10"

WALL COLUMN SCHEDULE (COLUMN SIZES VS. WALL PANEL WIDTH)											
SIZE	DIMENSION		WALL PANEL WIDTH vs COLUMN HEIGHT (DESIGN PRESSURE = 18 PSF)								
	T _T	T _w	7' 6"	7' 0"	6' 6"	6' 0"	5' 6"	5' 0"	4' 6"	4' 0"	
2x3 SN	.055	.055	5' 9"	5' 11"	6' 1"	6' 4"	6' 7"	6' 11"	7' 3"	7' 8"	8' 1"
2x3 L	.055	.055	5' 9"	5' 11"	6' 1"	6' 4"	6' 7"	6' 11"	7' 3"	7' 8"	8' 1"
2x4 SN	.045	.045	6' 4"	6' 7"	6' 10"	7' 1"	7' 4"	7' 8"	8' 1"	8' 6"	9' 0"
2x4 L	.100	.045	8' 2"	8' 9"	8' 9"	9' 1"	9' 5"	9' 10"	10' 4"	10' 11"	11' 7"
2x5 L	.116	.050	10' 6"	10' 10"	11' 3"	11' 8"	12' 3"	12' 10"	13' 6"	14' 4"	
2x6 L	.120	.050	11' 7"	12' 0"	12' 5"	12' 10"	13' 5"	14' 0"	14' 8"	15' 6"	16' 5"
2x7 L	.120	.057	13' 2"	13' 7"	14' 1"	14' 7"	15' 2"	15' 10"	16' 8"	17' 7"	18' 7"
2x8 L	.224	.072	14' 11"	15' 5"	15' 11"	16' 6"	17' 2"	18' 0"	18' 10"	19' 10"	21' 0"
2x9 L	.306	.082	22' 1"	22' 9"	23' 7"	24' 6"	25' 6"	26' 8"	27' 10"	29' 5"	31' 3"
2x10 L	.389	.082	26' 0"	26' 10"	27' 9"	28' 10"	30' 0"	31' 4"	32' 10"	34' 8"	36' 9"



ALL "TUBE" SHAPES SPECIFIED ON THE DETAILS WITHIN THESE DETAIL SHEETS SHALL HAVE THE SPECIFIED WALL THICKNESSES ON ALL FOUR WALLS

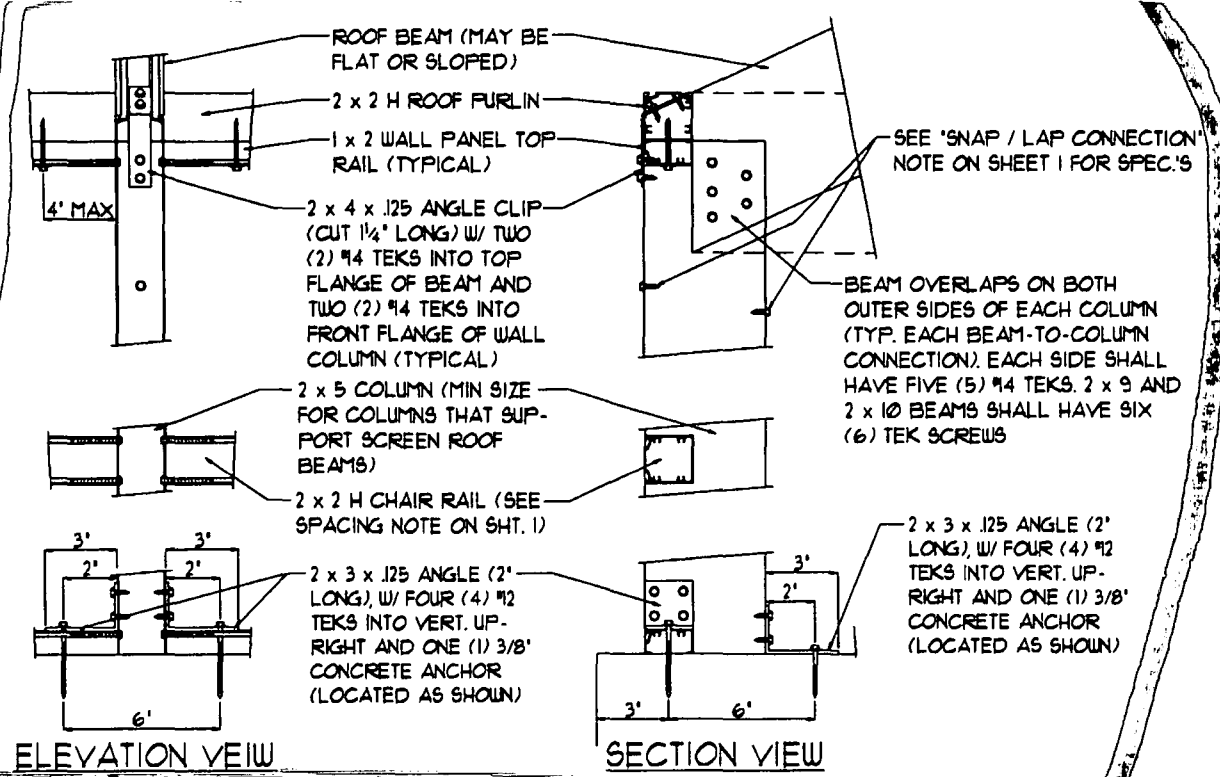


NOTE TO BUILDING OFFICIALS:
THE ENGINEERING IS ONLY VALID FOR BUILDING PERMIT PURPOSES WHEN IT BEARS THE ORIGINAL SIGNATURE AND RAISED / EMBOSSED SEAL FROM THE ENGINEER OF RECORD (PHOTOCOPIES ARE NOT TO BE ACCEPTED OR CONSIDERED AS VALID FOR PERMITTING) (RE: GEN. NOTE #8)

POOL / PATIO ENCLOS. WITH SCREEN ROOF 140 MPH, EXP 'B' (SHEET 2 OF 4)

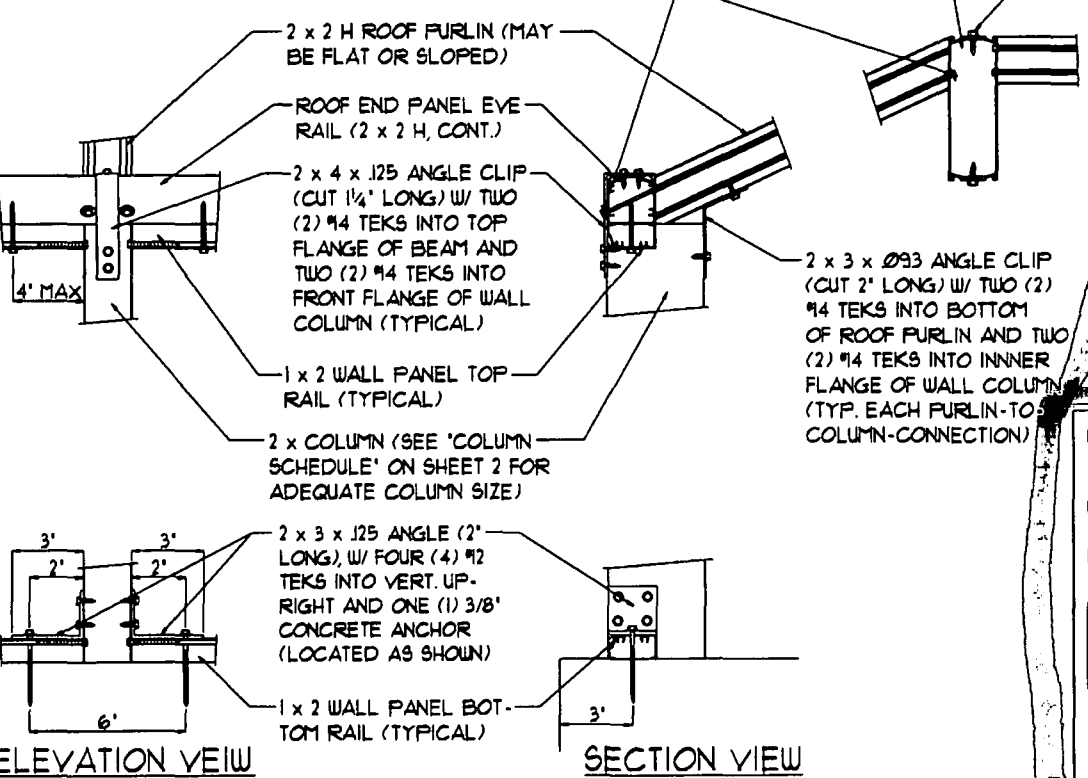
B.D.Q., INC.
P.O. BOX 20207
WEST PALM BEACH, FL 33416
D. A. DOWDY, P.E.
FL REG. NO. 22763
FLA. ENG. CERT. OF AUTH. NO. 8238

DRAWN BY: D. DOWDY
DATE: 01/28/03
APPROVED: D. A. DOWDY, P.E.
DWG. NO. 02-140-38
LAST REV. 01/28/03



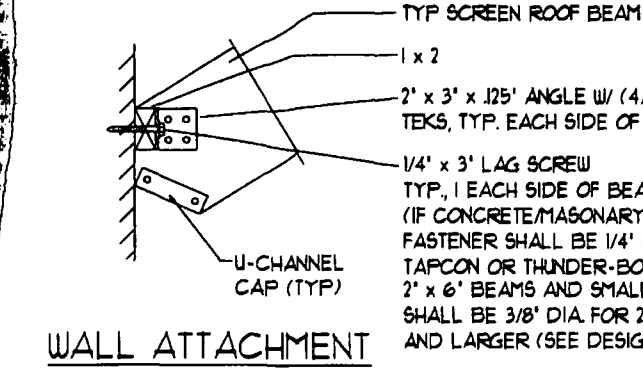
TYPICAL MAIN BEAM-TO-COLUMN-TO-FOUNDATION DETAIL

ANY #10 S.M.S. SCREWS USED TO INTERNALLY ATTACH AN 'ANGLED' ROOF FURLIN (AS SHOWN) MUST HAVE A 5/8" (MIN.) WASHER INSTALLED ON THE SCREW PRIOR TO INSTALLATION INTO THE SCREW BOSS (SEE 'INTERNAL CONNECTION SPEC.' ON SHEET 1 FOR EMBEDMENT REQUIREMENTS)



TYPICAL ROOF END PANEL-TO-RETURN WALL PANEL-TO-FOUNDATION CONNECTION DETAIL

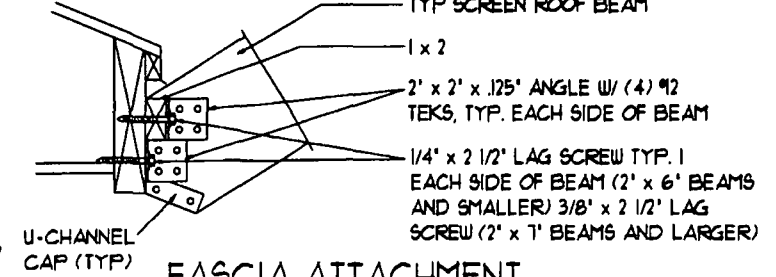
DESIGN NOTE: THE 3-INCH LEG OF THE ANGLE SHALL BE PLACED AGAINST THE 1x2. THIS ALLOWS A MIN. EDGE DISTANCE FOR THE FASTENERS (FROM THE EDGE OF THE ANGLE) OF ONE-INCH, AND MAINTAINS A SIX-INCH MIN. CENTER-TO-CENTER DISTANCE FOR THE MAX. SIZED CONCRETE ANCHORS (3/8" x 3 1/2")



WALL ATTACHMENT

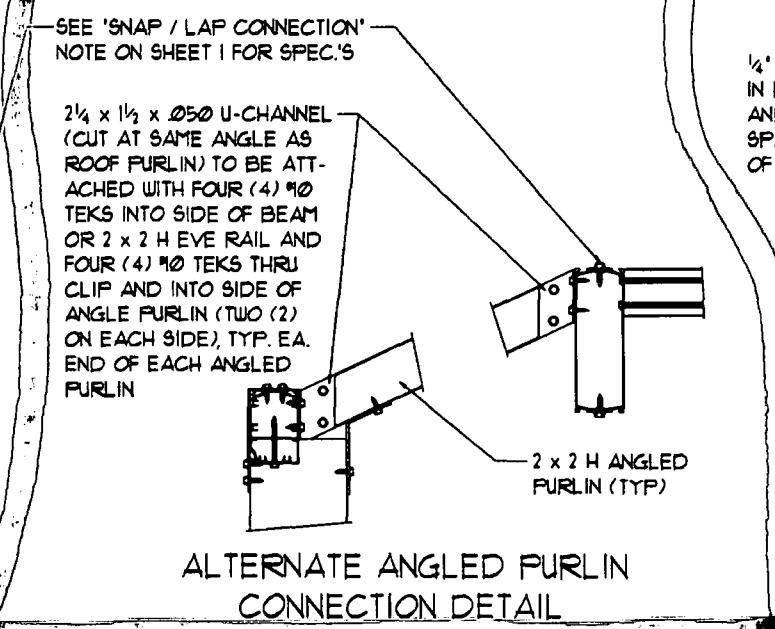
NOTE: FOR WOOD FRAMING, AT LEAST ONE OF THE LAG SCREWS MUST ANCHOR INTO A STUD IN THE WALL FRAMING.

NOTE: FASCIA ATTACHMENT REQUIRES A 2 x FASCIA BOARD (MINIMUM). A 1 x FASCIA IS ONLY ADEQUATE FOR THIS INSTALLATION WHEN THERE IS A 2 x SUB-FASCIA BEHIND IT. IN THIS CASE, THE LAGS MUST PENETRATE THE SUB-FASCIA 1/2" (MIN. EMBEDMENT). IT SHALL BE THE RESPONSIBILITY OF THE SCREEN CONTRACTOR TO VERIFY THE PRESENCE OF THIS SUB-FASCIA.



FASCIA ATTACHMENT

SCREEN ROOF ENCLOSURE-TO-HOST STRUCTURE ATTACHMENT DETAIL (WITH NO STRUCTURAL GUTTER)

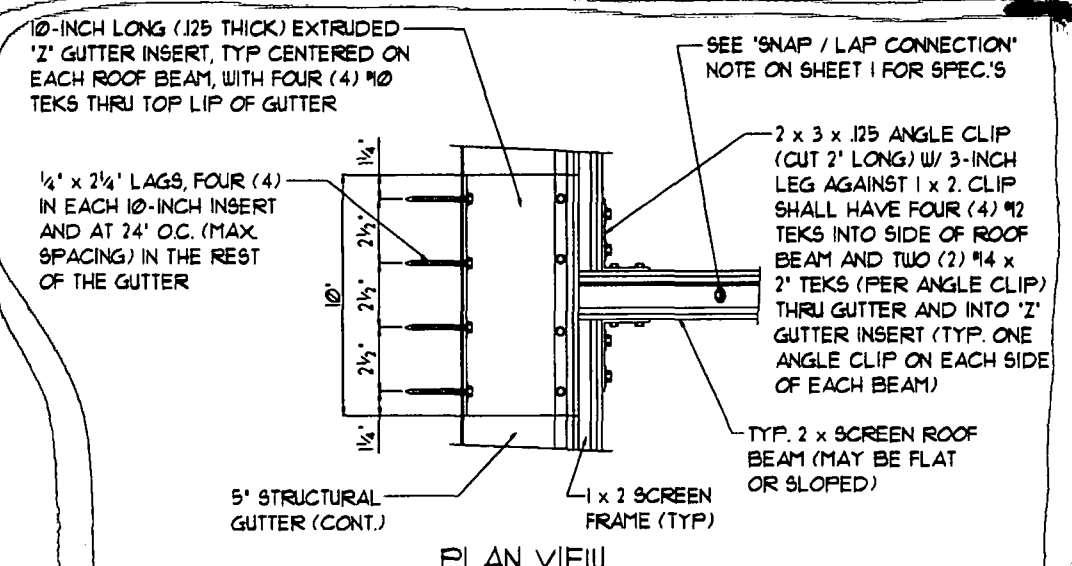


ALTERNATE ANGLED PURLIN CONNECTION DETAIL

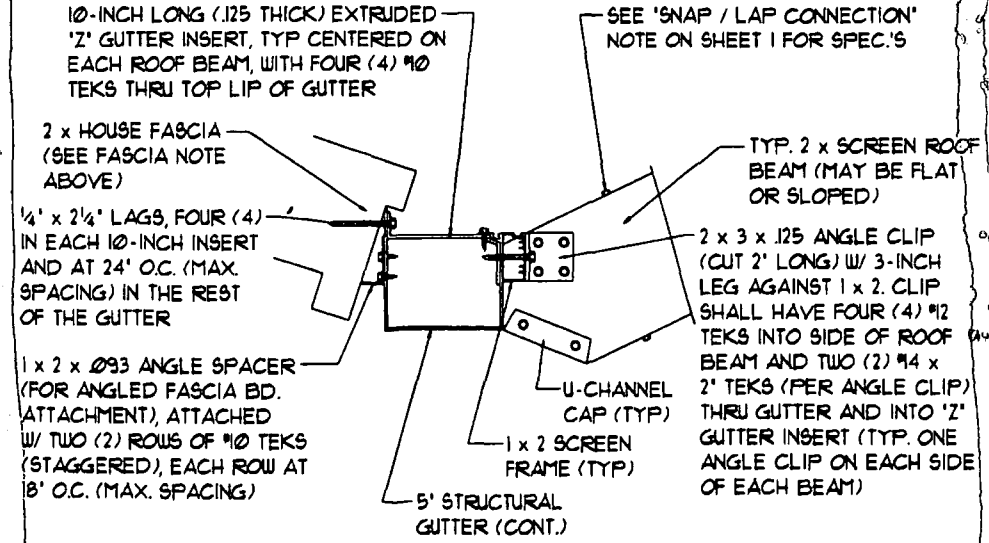
NOTE: THIS ATTACHMENT DETAIL ALSO APPLIES TO A 2 x 2 SCREEN FRAME, W/ THE FASTENER BEING 4" IN LENGTH, TO MAINTAIN A 2" MIN. EMBED.

MIN. EMBEDMENT FOR ALL TAPCONS SHALL BE 2" INTO CONCRETE.

NOTE: ALL FASTENERS SPECIFIED IN 'COLUMN-TO-FOUNDATION' DETAILS PERTAIN ONLY TO THE FASTENERS TO BE PLACED ON EITHER SIDE OF COLUMNS. THIS DETAIL IS FOR ALL INTERMEDIATE FASTENERS FOR 1 x 2 SCREEN FRAME TO EITHER CONC. DECK OR C.B.S. MASONRY WALL. THIS SAME DETAIL ALSO APPLIES TO WOOD FRAME WALLS, COLUMNS OR BEAMS WITH THE SUBSTITUTION OF 1/4" x 2 1/2" LAG SCREWS INSTEAD OF THE ABOVE SPECIFIED TAPCONS.



PLAN VIEW



SECTION VIEW

STRUCTURAL GUTTER CONNECTION DETAIL

D.W. E. DOWDY
DATE: 01/28/05
APPROVED:
D. A. DOWDY, P.E.
DWG. NO. 02-140-38
LAST REV. 01/28/05

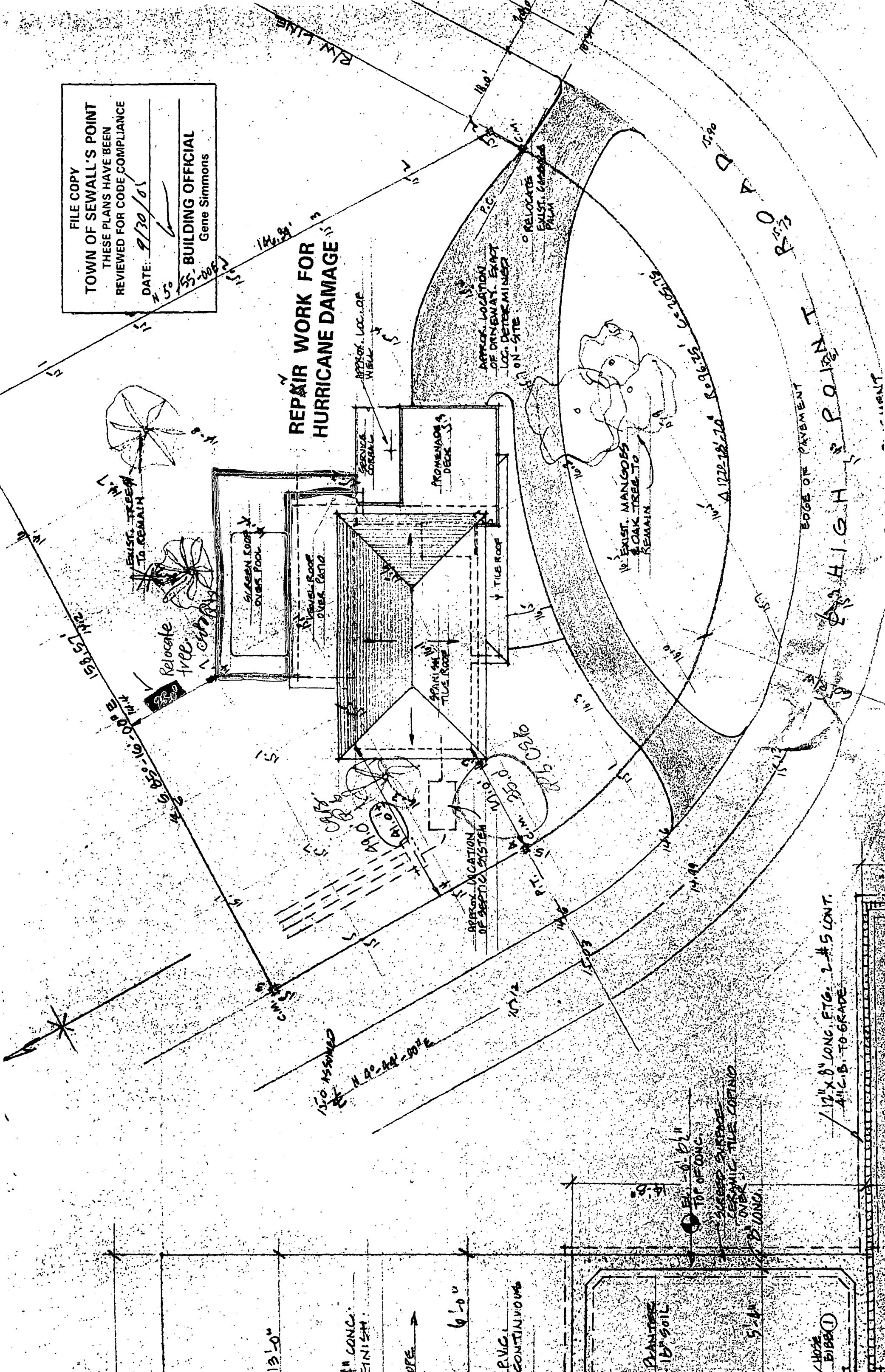
NOTE TO BUILDING OFFICIALS:
THIS ENGINEERING IS ONLY VALID FOR BUILDING PERMIT PURPOSES WHEN IT BEARS THE ORIGINAL SIGNATURE AND RAISED / EMBOSSED SEAL FROM THE ENGINEER OF RECORD (PHOTOCOPIES ARE NOT TO BE ACCEPTED OR CONSIDERED AS VALID FOR PERMITTING) (RE: GEN. NOTE #8)

POOL / PATIO ENCLOS. WITH SCREEN ROOF 140 MPH, EXP "B" (SHEET 4 OF 4)

B.D.Q., INC.
P. O. BOX 20207
WEST PALM BEACH, FL 33416
D. A. DOWDY, P.E.
FL REG. NO. 22763
FLA. ENG. CERT. OF AUTH. NO. 8238

FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 9/30/05
 SS, BUILDING OFFICIAL
 Gene Simmons

**REPAIR WORK FOR
 HURRICANE DAMAGE**



12' X 8' LONG, ETC. 2 # 5 CONT.
 A/C.B. TO GRADE

1402
 BIBB ①

10980

NEW DECK AND PILING



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10980	DATE ISSUED:	8/22/2014
SCOPE OF WORK:	New Wood Decking and 1 Piling		
CONTRACTOR:	Ed's Island Time Services		
PARCEL CONTROL NUMBER:	13-38-41-003-000-01060-9	SUBDIVISION:	High Point Isle Addn Lot 106
CONSTRUCTION ADDRESS:	38 E High Point Road		
OWNER NAME:	Dippy		
QUALIFIER:	Ed Stebbins	CONTACT PHONE NUMBER:	561-541-0004

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10980		
ADDRESS:	38 E High Point Road		
DATE ISSUED:	8/22/2014	SCOPE OF WORK:	New Wood Decking and 1 Piling

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
---	--	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa	@ \$ 121.75 per sq. ft.	s.f.	\$ -
Total square feet non-conditioned space, or interior remodel:			
	@ \$ 59.81 per sq. ft.	s.f.	\$ -
Total square feet remodel with new trusses:	\$ 90.78 per sq. ft.	s.f.	\$ -
Total Construction Value:			
		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)			
		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)			
		\$	-
Total number of inspections (Value < \$200K)	\$ 100.00 per insp.	# insp	n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)			
		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)			
		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			
		\$	n/a
Martin County Impact Fee:			
		\$	
TOTAL BUILDING PERMIT FEE:		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 6,500.00
Total number of inspections:	@ \$ 100.00 per insp.	# insp	\$ 100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)			
		\$	\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)			
		\$	\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)			
		\$	5.00
TOTAL ACCESSORY PERMIT FEE:		\$	109.00



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765


BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10980		
ADDRESS:	38 E High Point Road		
DATE ISSUED:	8/22/2014	SCOPE OF WORK:	New Wood Decking and 1 Piling

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
------------------------------------	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)	\$	
--	----	--

THIS DOCUMENT CONTAINS A TRUE WATERMARK - HOLD UP TO LIGHT TO VIEW

WESTERN UNION MONEY ORDER	WESTERN UNION FINANCIAL SERVICES INC. - ISSUER <small>Payable at Wells Fargo Bank Grand Junction, Downtown, N.A.; Grand Junction, Colorado Englewood, Colorado</small>	\$ -
	14-859266291	\$ -
A 335579 D 082514 1004 20 148592662916 L 034506	\$ 109.00	\$ -
(ISSUING AGENT) NOT GOOD OVER \$500	PAYMENT FOR/ACCT. #	\$ -
PAY EXACTLY ONE HUNDRED NINE DOLLARS AND NO CENTS	<i>Patricia [Signature]</i>	\$ n/a
PAY TO THE ORDER OF	TOWN OF SEWALL'S POINT	\$ -
PURCHASER'S SIGNATURE		\$ n/a

	\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)	\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)		n/a
Martin County Impact Fee:	\$	
TOTAL BUILDING PERMIT FEE:	\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 6,500.00
Total number of inspections:	@ \$ 100.00 per insp. # insp	\$ 1.00	\$ 100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	\$ 5.00
TOTAL ACCESSORY PERMIT FEE:		\$	\$ 109.00

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 8/13/14

OWNER/LESSEE NAME: WALTER DIPPY Phone (Day) _____ (Fax) _____
 Job Site Address: 38 E. HIGHPOINT RD City: SWART State: FL Zip: 34996
 Legal Description: HIGH POINT ISCE ADD LOT 106 Parcel Control Number: 13-38-41-003-000-01060-9
 Fee Simple Holder Name: _____ Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** NEW WOOD DECKING ON DOCK + 1 PILING

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 6500
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: ED'S ISLAND TIME SERVICES Phone: 561-541-0004 Fax: 561-844-2624
 Qualifiers name: ED STEBBINS Street: 400 NORTHLAKE CT #207 City: N. PALM BEACH State: FL Zip: 33408
 State License Number: CBC151627 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: ED STEBBINS Phone Number: 561-541-0004

DESIGN PROFESSIONAL: N/A Fla. License# _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:
 X Walter Dippy
 State of Florida, County of _____
 On This the 13th day of August, 2014
 by Walter Dippy who is personally
 known to me or produced _____
 AS identification. _____
 My Commission Expires: _____

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
 X Ed Stebbins
 State of Florida, County of: PALM BEACH
 On This the 13th day of AUGUST, 2014
 by ED STEBBINS who is personally
 known to me or produced _____
 AS identification. _____
 My Commission Expires: _____

AUG 19 2014

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Martin County, Florida
Laurel Kelly, C.F.A

generated on 8/21/2014 3:01:19 PM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-003-000-01060-9	27792	38 E HIGH POINT RD, SEWALL'S POINT	\$1,198,560	8/16/2014

Owner Information

Owner(Current)	DIPPY WALTER E DIPPY CAROL DUBOSE
Owner/Mail Address	38 E HIGH POINT RD STUART FL 34996-7002
Sale Date	3/21/1994
Document Book/Page	<u>1061 1321</u>
Document No.	
Sale Price	100

Location/Description

Account #	27792	Map Page No.	SP-06
Tax District	2200	Legal Description	HIGH POINT ISLE ADDN LOT 106
Parcel Address	38 E HIGH POINT RD, SEWALL'S POINT		
Acres	1.0080		

Parcel Type

Use Code	0100 Single Family
Neighborhood	193120 High Pt IND RVR

Assessment Information

Market Land Value	\$770,000
Market Improvement Value	\$428,560
Market Total Value	\$1,198,560



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
08/18/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Lay Insurance Group, Inc. 9770 Gardens East Drive Palm Beach Gardens FL 33410	CONTACT NAME: Thomas Lay	
	PHONE (A/C, No., Ext): 561-622-2886	FAX (A/C, No): 561-775-7857
E-MAIL ADDRESS: tlay@layinsurance.com		
INSURED Ed's Islandtime Services 400 Northlake Ct. 207 North Palm Beach FL 33408	INSURER(S) AFFORDING COVERAGE	
	INSURER A : Cypress Property & Casualty	
	INSURER B : Progressive Express	
	INSURER C :	
	INSURER D :	
	INSURER E :	
INSURER F :		

COVERAGES	CERTIFICATE NUMBER:	REVISION NUMBER:
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THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	20P0023160-0	01/28/2014	01/28/2015	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000 \$
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	<input type="checkbox"/>	<input type="checkbox"/>	07901762-2	03/29/2014	03/29/2015	COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ 10,000 BODILY INJURY (Per accident) \$ 20,000 PROPERTY DAMAGE (Per accident) \$ 10,000 \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED \$ RETENTION \$	<input type="checkbox"/>	<input type="checkbox"/>				EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory In NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Remodeling carpentry

CERTIFICATE HOLDER Town of Sewell's Point 1 South Sewell's Point Road Sewell's Point, Fl 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE Thomas Lay 08/18/2014
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CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
08/18/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Sun State Ins. Agcy. of the Palm Beaches, Inc. 623 Northlake Blvd. North Palm Beach, FL 33408	CONTACT NAME: Jeffrey Kuehl	
	PHONE (A/C, No., Ext.): (561) 848-1886 FAX (A/C, No.): (561) 842-9996 E-MAIL ADDRESS:	
INSURED Ed's Island Time Services, Inc. 400 Northlake Ct Apt 207 North Palm Beach, FL 33408-5165	INSURER(S) AFFORDING COVERAGE	NAIC #
	INSURER A : BusinessFirst Insurance Company	11697
	INSURER B :	
	INSURER C :	
	INSURER D :	
	INSURER E :	

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:					EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input type="checkbox"/> N/A	0521-03499	01/01/2014	01/01/2015	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Item 3. A.: Workers Compensation Insurance applies to the Workers Compensation Law of the states listed here: Florida

CERTIFICATE HOLDER Town of Sewells Point 1 S Sewalls Point Rd Sewalls Point, FL 34996-6736	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE Carol Sipe

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STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD



LICENSE NUMBER	
CGC1516277	

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2016

STEBBINS, ED
ED'S ISLAND TIME SERVICES, INC
400 NORTHLAKE CT
207
NORTH PALM BEACH, FL 33408



ISSUED: 05/29/2014

DISPLAY AS REQUIRED BY LAW

SEQ # L1405290002391

THE VILLAGE OF NORTH PALM BEACH
2014-2015 BUSINESS TAX RECEIPTS

420 US HIGHWAY 1, SUITE 21
NORTH PALM BEACH, FL 33408
561.841.3365

ED'S ISLAND TIME SERVICES INC

NO: 2305

561-540-0001

DATE: 07/17/2014

Address: 400 NORTHLAKE COURT UNIT 207
NORTH PALM BEACH FL 33408

ADV BUS SV \$132.00

Activity: PERSONAL SERVICES HOME BASE BUSINESS SVCS NEC
PE25

TOTAL PAID: \$132.00

Issued to: ED'S ISLAND TIME SERVICES INC
400 NORTHLAKE COURT UNIT 207
NORTH PALM BEACH FL 33408

MUST BE POSTED CONSPICUOUSLY AT PLACE OF BUSINESS

PAID - EXPIRES SEPTEMBER 30, 2015

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00



PERMIT #: _____ TAX FOLIO #: 13-38-41-003-000-01060-9

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
38 E., Highpoint Rd Sewell's Point HIGHPOINT ISLE ADDN LOT 106

GENERAL DESCRIPTION OF IMPROVEMENT: Replace dock decking and one piling

OWNER NAME: Walter Dippy
ADDRESS: 38 east Highpoint Rd Stuart, Fl 34996
PHONE NUMBER: _____ FAX NUMBER: _____

INTEREST IN PROPERTY: Owner
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Ed Stebbins
ADDRESS: 400 Northlake Court #207 North Palm Beach, Fl 33408
PHONE NUMBER: 561-541-0004 FAX NUMBER: 561-844-2622



SURETY COMPANY (IF ANY): NA
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: NA
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____
TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13 (1) (b), FLORIDA STATUTES:
PHONE NUMBER: _____ FAX NUMBER: _____

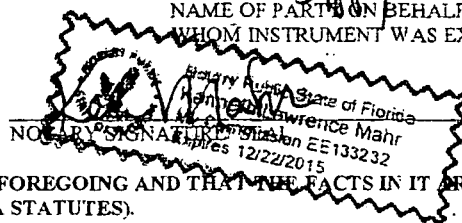
STATE OF FLORIDA
CIRCUIT COURT
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOLLOWING PAGE(S) IS/ARE A TRUE
AND CORRECT COPY OF THE ORIGINAL
DOCUMENT AS FILED IN THIS OFFICE
BY [Signature] D.C.
DATE 8/14/14
CAROLYN TIMMANN, CLERK

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER
SIGNATORY'S TITLE/OFFICE OWNER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15th DAY OF August 2014
BY: WALTER DIPPY AS OWNER FOR WALTER DIPPY
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED
PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____
TYPE OF IDENTIFICATION PRODUCED _____

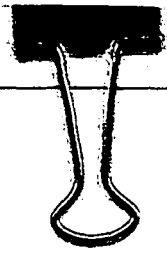


UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

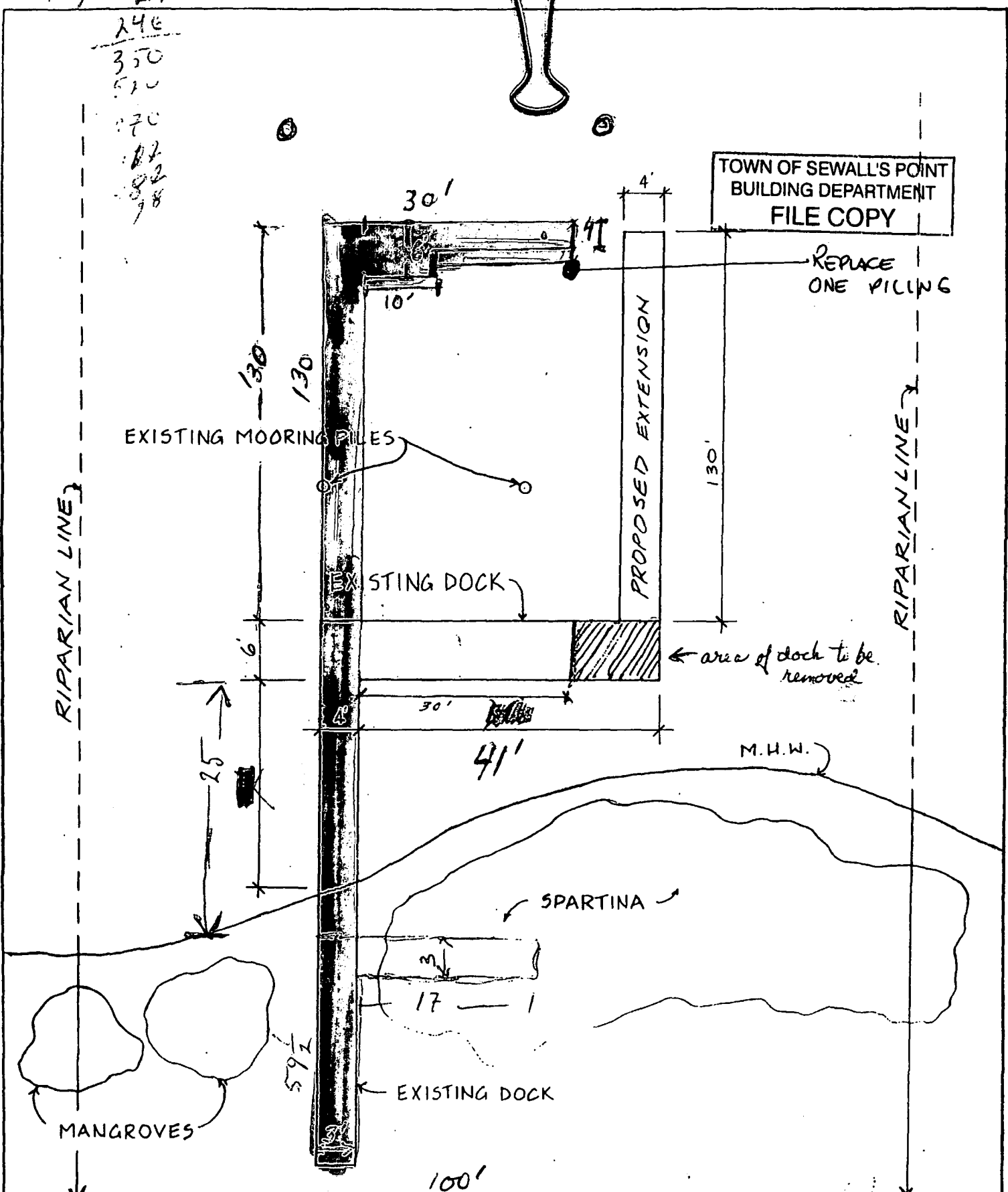
(Signature of Natural Person Signing Above)

INSR # 2471533 DR BK 2735 PG 1740 RECD 08/19/2014 09:01:14 AM
(1 Page)
CAROLYN TIMMANN MARTIN COUNTY CLERK
DEED DOC \$0.00, MTG DOC \$0.00, INTANGIBLE \$0.00

246
 350
 510
 700
 82
 82
 98
 90
 29



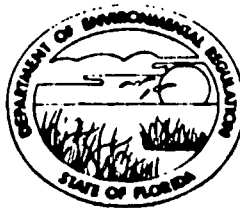
TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY



PROPOSED DOCK EXTENSION
 FOR DR. DIPPY

ROBERT SANDY CONSTRUCTION, INC.
 3452 N.E. INDIAN DR.
 JENSEN BCH., FLA. 34957 (407)334-3046

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION



SOUTHEAST FLORIDA
SUBDISTRICT

2745 SOUTHEAST MORNINGSIDE BOULEVARD
FORT ST. LUCIE, FLORIDA 33462

BOB GRAHAM
GOVERNOR

VICTORIA J. TSCHINKEL
SECRETARY

AL MUELLER
SUBDISTRICT MANAGER

November 30, 1984

Dr. Walter Dippy
38 East High Point Road
Stuart, Florida 33494

DF - Martin County
Private Dock
St. Lucie River

Dear Dr. Dippy:

This is to acknowledge receipt of your application, file number 4300955638,
for a permit to:

Construct a 25 ft. by 3 ft. dock with a 45 ft. by 6 ft. extension to an
existing 140 square foot private dock (a total of 485 square foot of decked
area). St. Lucie River, Class III Waters, located at 38 East High Point
Road, Sewall's Point, Section 13, Township 38 South, Range 41 East, Martin
County.


At this time no permit is required for your project by this department. Any
modifications in your plans should be submitted for review, as changes may result in
permits being required. This letter does not relieve you from the need to obtain any
other permits (local, state or federal) which may be required. Exemption: Section
403.813(2)(b), Florida Statutes; in accordance with the four (4) attached stamped
drawings.

If you have any questions, please contact Bob Brown of this office. When
referring to this project, please use the file number indicated.

RMD:bbs/23

Sincerely,


Roy M. Duke
District Manager

cc: Army Corp's of Engineers, Jacksonville
Charles Horne, D.N.R. (with application)
Brian Barnett, F.G.F.W.F.C.
Florida Marine Patrol, Dist. #10
Intracoastal Marine Construction 



Department of Environmental Protection

Lawton Chiles
Governor

Port St. Lucie Branch Office
1801 SE Hillmoor Drive
Suite C-204
Port St. Lucie, FL 34952
(561)871-7662 (561)335-4310

Virginia B. Wetherell
Secretary

DEC 09 1998

Dr. Walter Dippy
38 East High Point Road
Stuart, FL 34994

Re: File No.: 43-0148251-001
Martin County

Dear Dr. Dippy:

On November 12, 1998, we received your application to perform the following activities: construct a 625 square foot dock addition with an access measuring 125' X 4' and a 25' X 5' terminal platform and remove two existing terminal platforms for a total of 989 square feet of dock structure in the St. Lucie River, (Class III waters of the state), located at 38 East High Point Road (Section 13, Township 38 South, Range 41 East), Stuart, Martin County.

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project **may not** have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

Regulatory Review

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, Florida Administrative Code (F.A.C.), and in accordance with operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

Based on the information you submitted, we have determined that your project is exempt from the need to obtain a DEP Environmental Resource Permit under Rule 40E-4.051(3)(b), (F.A.C.).

Proprietary Review (related to state-owned lands)

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (B.O.T.) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project will occur on sovereign, submerged land and will require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent the attached general consent conditions, the Board of Trustees has no objection to the project being constructed on sovereign submerged land. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees to perform the project.

"Protect, Conserve and Manage Florida's Environment and Natural Resources"

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is consistent with the SPGP program. The attached U.S. Army Corps of Engineers (the Corps) general conditions apply to your project. No further permitting for this activity is required by the Corps.

The determinations in this letter are based solely on the information provided to the Department and on the statutes and rules in effect when the application was submitted. The determinations are effective only for the specific activity proposed. These determinations shall automatically expire if site conditions materially change or if the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. If an administrative hearing is timely requested by a substantially affected person, the finding that the proposed activity qualifies for this exemption must be reconsidered, and it is possible that the hearing could result in a determination that the proposed activity does *not* qualify for the exemption. Under Rule 28-106.111, F.A.C., a request for such an administrative hearing must be filed with the Department's Clerk in the Office of General Counsel within 21 days of either: (a) publication of notice in a newspaper of general circulation in the county where the activity is to take place; or (b) the substantially affected person's receipt of written notice which includes the information contained in Attachment (A).

The Department will not publish notice of this determination. ***Publication of this notice by you is optional and not required for you to proceed.*** However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permits.

If you wish to limit the time within which *all* substantially affected persons may request an administrative hearing you may elect to publish, at your own expense, the enclosed notice (Attachment A) one time only in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place.

Dr. Walter Dippy
File No.: 43-0148251-001
Page 3

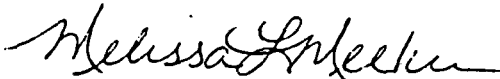
If you wish to limit the time within which any *specific* person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of Sections 50.011 and 50.031, F.S. In the event you do publish this notice, within seven days of publication, you must provide to the following address a certification or affidavit of publication issued by the newspaper. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

Florida Department of Environmental Protection
Southeast District - Port St. Lucie Branch Office
Submerged Lands & Environmental Resources Program
1801 SE Hillmoor Drive Suite C-204, Port St. Lucie, FL 34952

Thank you for applying to the Submerged Lands and Environmental Resource Program. If you have questions regarding this matter, please contact **Bruce Jerner** of this office, at telephone (561) 871-7662.

Sincerely,



Melissa L. Meeker
Environmental Administrator

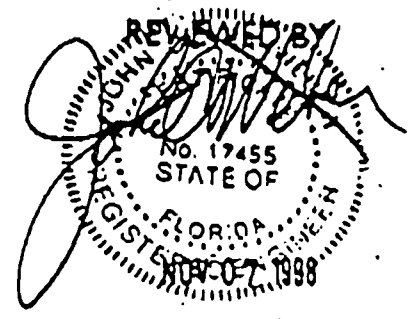
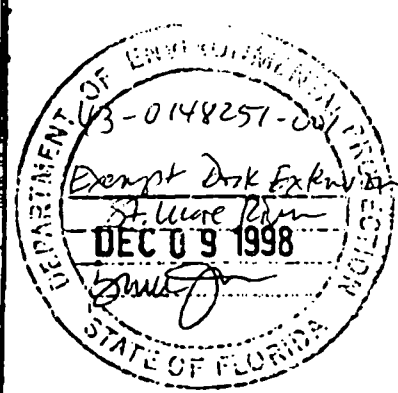
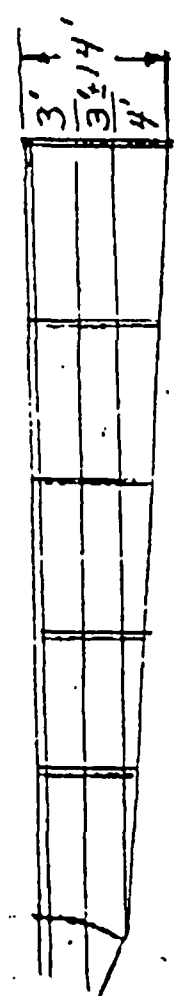
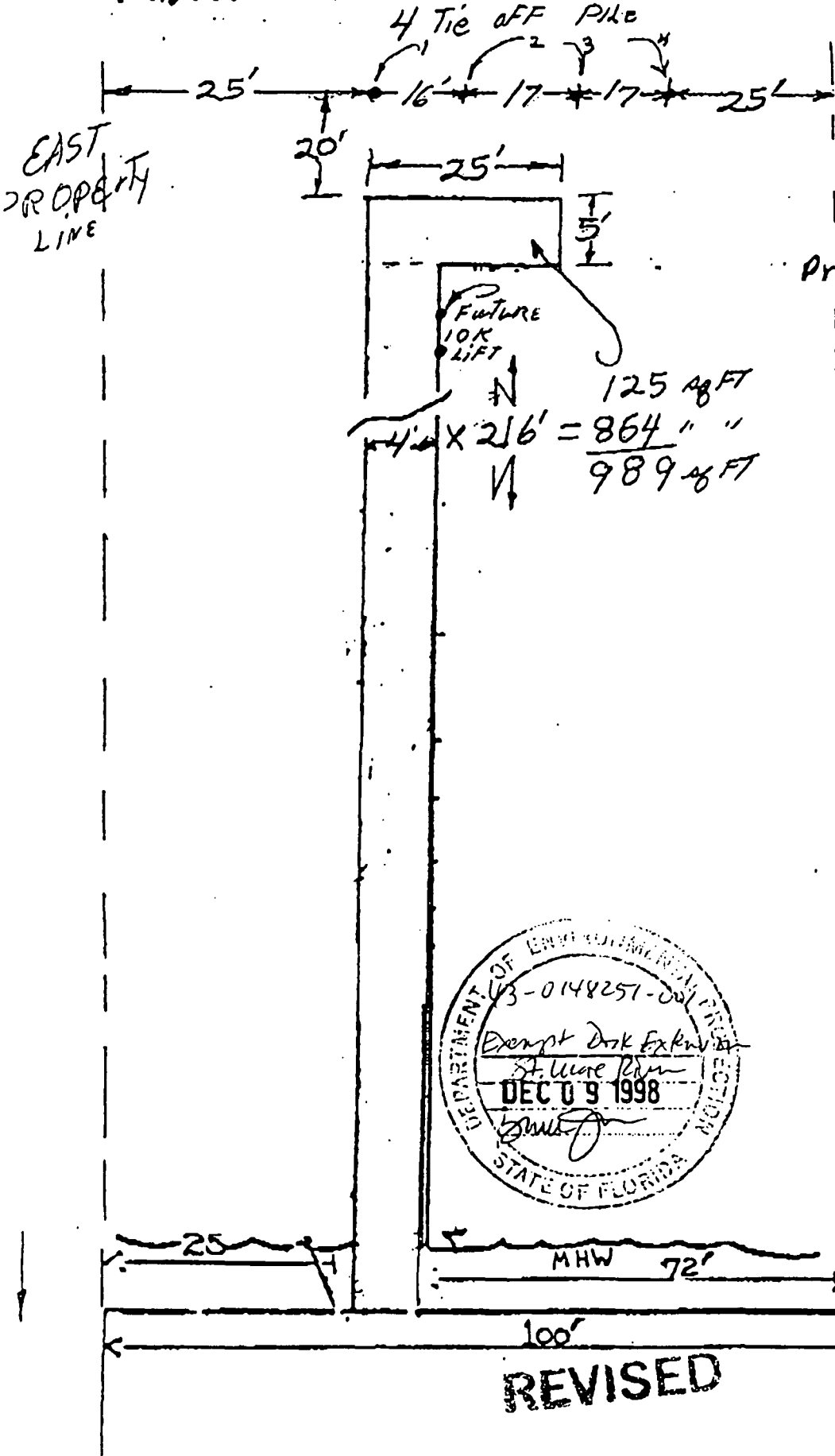
MLMDD *MLMDD*

Enclosures: General Consent Conditions
 Federal General Conditions
 Federal Manatee Conditions
 Federal Permit Transfer Request
 Attachment A- Notice of Determination of Qualification for Exemption
 Attachment D- General Single-Family Dock Information

cc: U.S. Army Corps of Engineers, Stuart [without enclosures]
 Blue Water Marine Construction, Inc. (Agent) [without enclosures]

**BLUE WATER MARINE
CONSTRUCTION, INC.**

3558 S.E. Dixie Hwy.
Stuart, FL 34997
(561) 286-5181



No Scale
Proposed Dock
Extension For:
Dr. Walter Dippy
38 E. High Pt. Rd
Stuart, FL 34994

REVISED

SEWALLS POINT

34996

Job SITE
38 E High Point

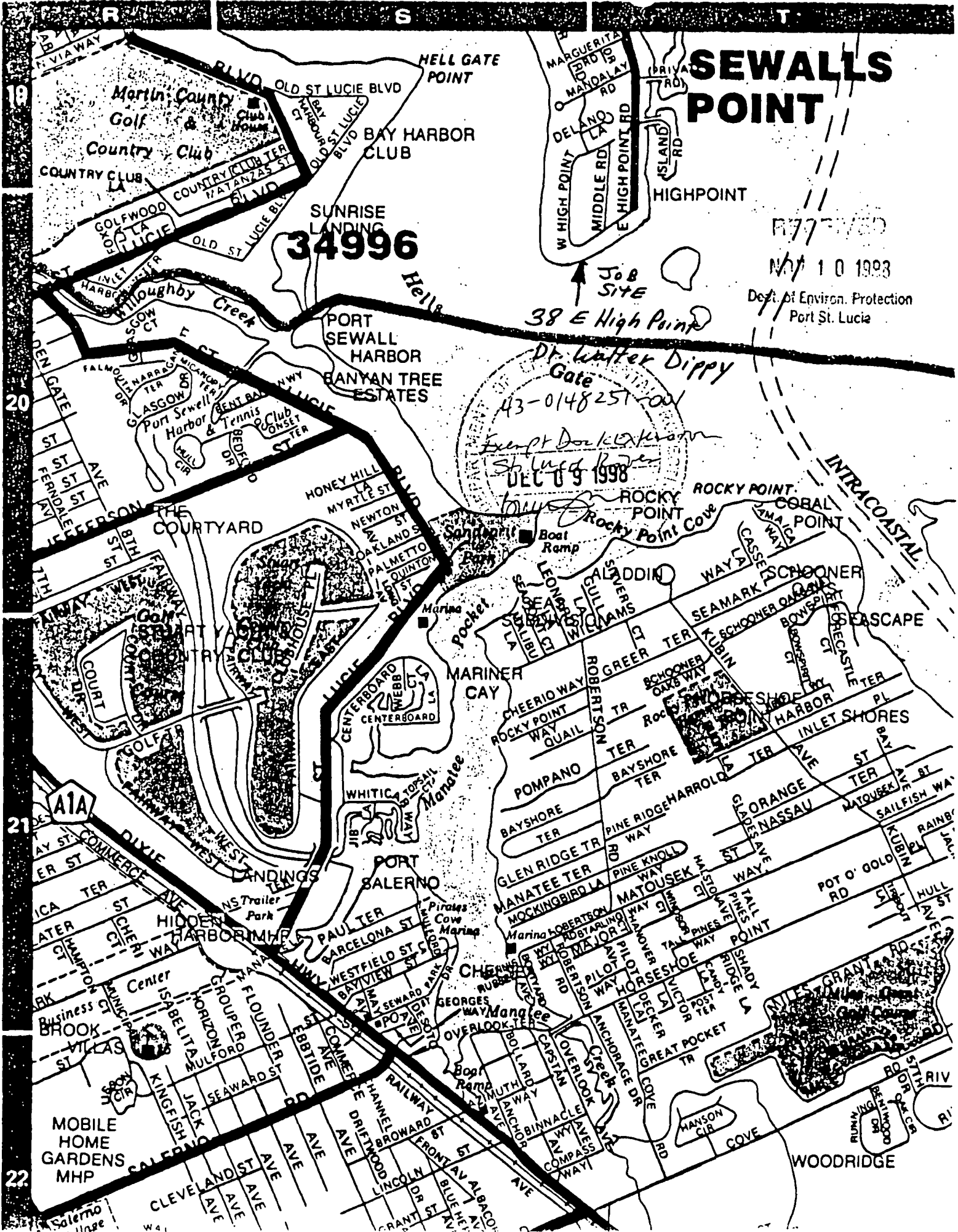
Dept. of Environ. Protection
Port St. Lucia

Dr. Walter Dippy Gate

43-014825100

*Exempt Development
Sh. Lucia River
DEC 09 1998*

SEE MAP NO. 109



Martin County
Golf & Country Club

SUNRISE LANDING

PORT SEWALL HARBOR
BANYAN TREE ESTATES

HELL GATE POINT

HIGHPOINT

COURTYARD

MARINER CAY

ROCKY POINT

ROCKY POINT COW

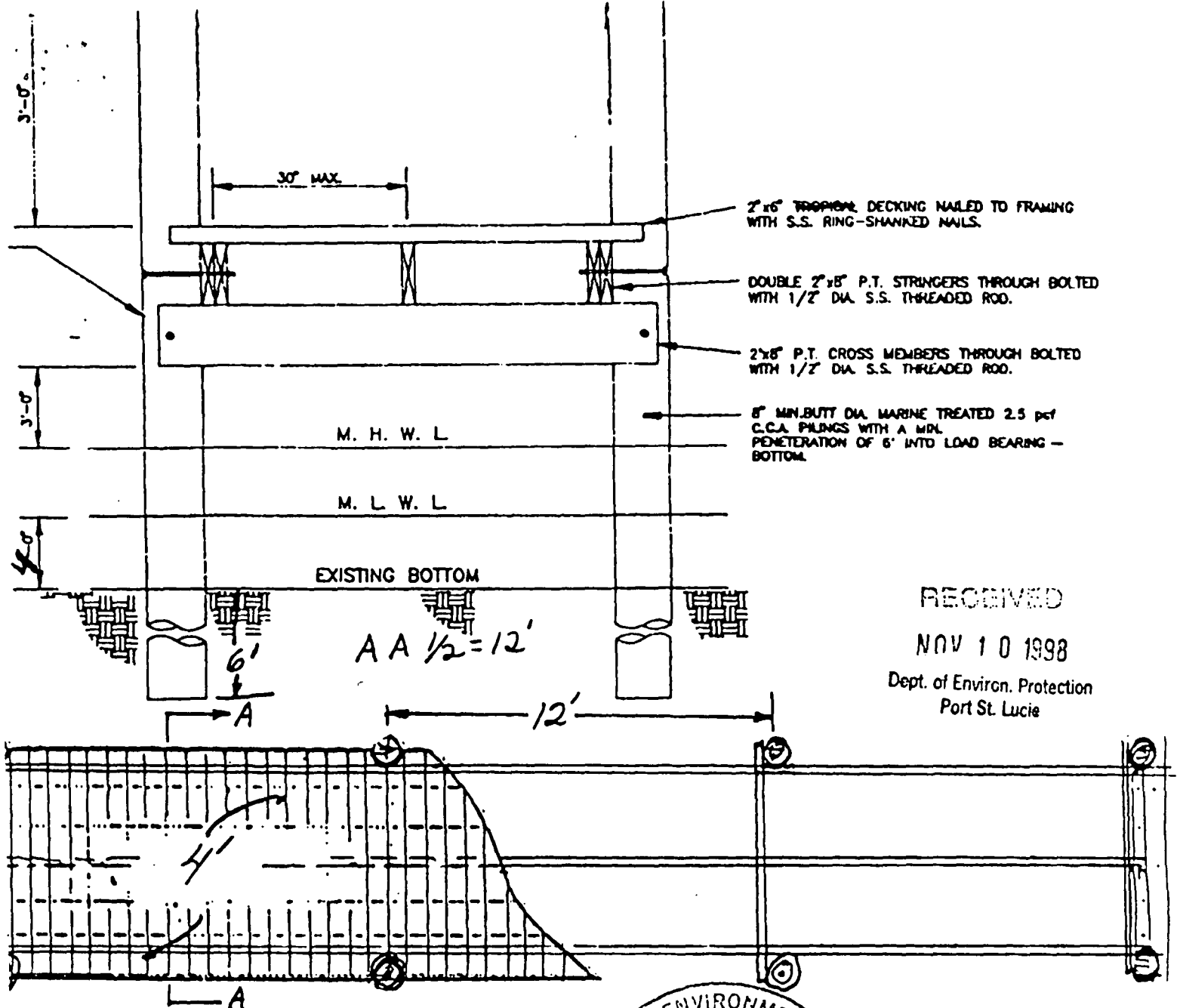
INTRACOSTAL

PORT SALERNO

A1A

MOBILE HOME GARDENS MHP

WOODRIDGE



2"x6" TROPICAL DECKING NAILED TO FRAMING WITH S.S. RING-SHANKED NAILS.

DOUBLE 2"x8" P.T. STRINGERS THROUGH BOLTED WITH 1/2" DIA. S.S. THREADED ROD.

2"x8" P.T. CROSS MEMBERS THROUGH BOLTED WITH 1/2" DIA. S.S. THREADED ROD.

8" MIN. BUTT DIA. MARINE TREATED 2.5% C.C.A. PILING WITH A MIN. PENETRATION OF 6" INTO LOAD BEARING - BOTTOM.

M. H. W. L.

M. L. W. L.

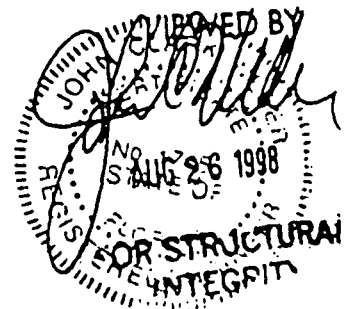
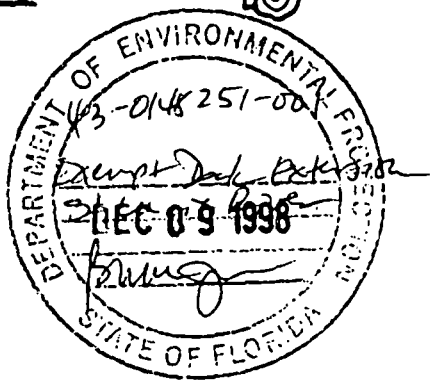
EXISTING BOTTOM

A A 1/2 = 12'

RECEIVED

NOV 10 1998

Dept. of Environ. Protection
Port St. Lucie



BLUE WATER MARINE CONST., INC.

3558 S.E. Dixie Hwy. (581) 288-5181
Stuart, FL 34997 FAX (581) 288-1260
VPB (581) 622-4841

NO. Dr. Walter Dippy
SHEET NO. 1 OF 1
CALCULATED BY MFD DATE 8/26/98

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed **Thur** Fri **9-11-14** Page of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10698	Smith 2 Heritage Way A/C Mann	Final Mechanical (Expired)	Cancel	will reschedule
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10990	Currier 107 Hillcrest Ct Franco Const.	Driveway Final	Pass	CLOSE
				INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10980	DIPPY 38 E High Pt Rd Ed's Island Services	Dock In Progress FINAL	Pass	CLOSE
Morning				INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10974	Polsky 110 Hillcrest Terr Ranger A/C	Final Mechanical	Pass	CLOSE
After noon				INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	HARRINGTON 5 S. VIA LUCINDIA	TREE	OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TREE

REMOVE/RELOCATE/REPLACE

For lot 106 High Point Rd

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # 157

Date Issued 4/28/83

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified as to height and name, common or botanical. Groups of trees may be designated as clumps with an estimated size and number, etc..

Owner WALTER DIPPY Present Address 141 N. SEWALL'S Pt Rd Phone 287-2580

Contractor SELF Address _____ Phone _____

Number of trees to be removed 1 gumbo limbo, partially removed - partially transplanted

Number of trees to be relocated within 30 days (no fee) 5 cabbage palms
1 vinegar tree

Number of trees to be replaced within 30 days there will be additional trees added after house completion

Permit Fee: \$ _____ (\$5. for 1st tree, plus \$1. each additional tree - not to exceed \$25.)

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plan approved as marked _____

Permit good for one (1) year. Fee for renewal of expired permit is \$5.

Signature of Applicant Walter Dippy Date submitted 2/28/83

Approved by Building Inspector _____ Date _____

Approved by Building Commissioner ES Date 5/2/84

Completed _____
Date _____ Checked by _____

Lot 106 High Point Rd.

Trees to be relocated because
they are within the planned
building area for the house.

Jumbo limbo to be also
within building area. Will
be partially salvaged.

RD

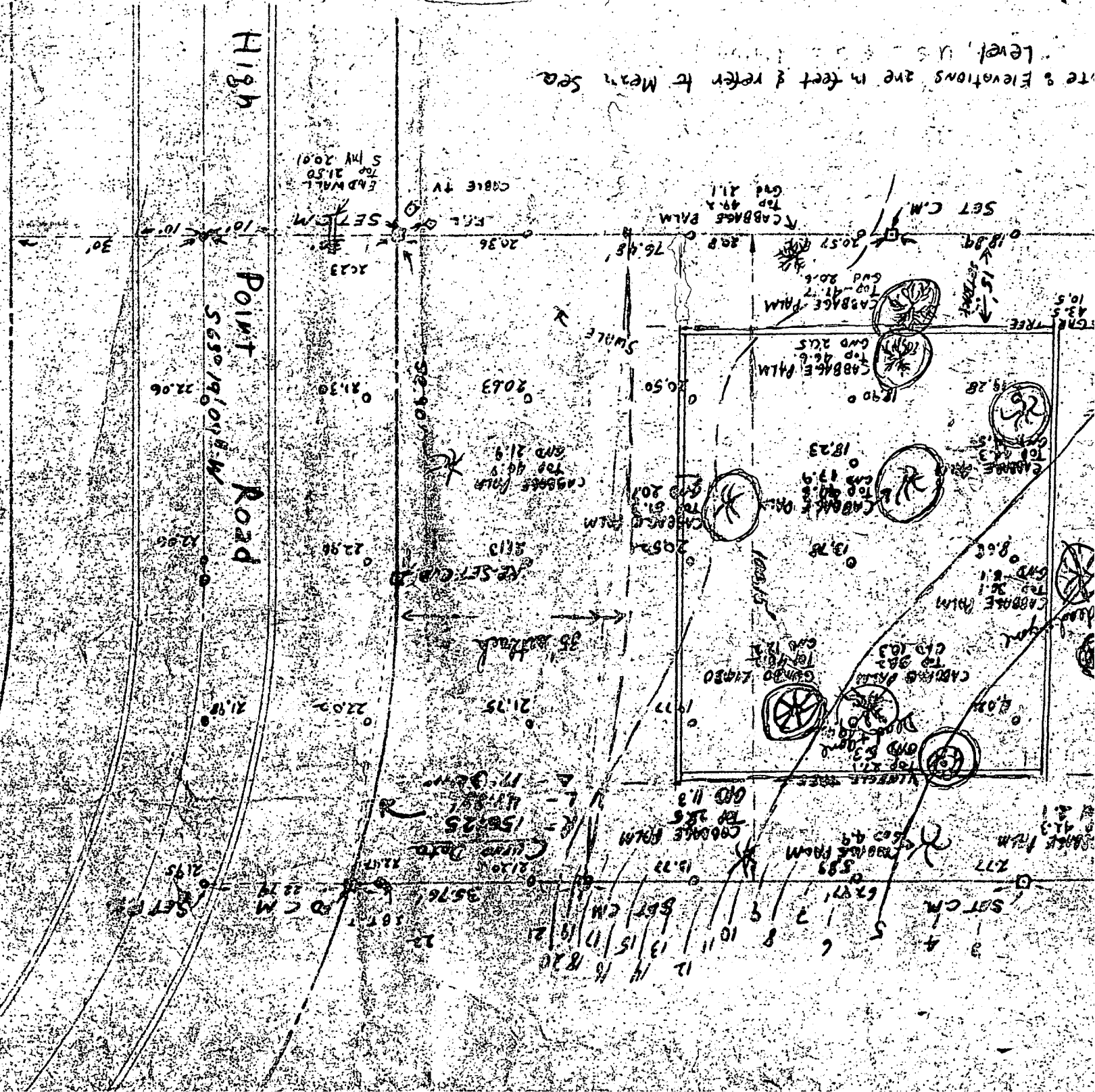
te % Elevations are in feet & refer to Mean Sea Level, U.S.

WATER E. DIPY
106

HIGH

Point Road

569° 19' 09" W



47 82
9 72 05 19' W

SET C.M.

SET C.M.

SET C.M.

END WALL
TOP 21.50
5 HY 20.01

CABBAGE PALM
TOP 49.4
GND 20.6

CABBAGE PALM
TOP 41.7
GND 20.6

CABBAGE PALM
TOP 42.6
GND 20.5

CABBAGE PALM
TOP 40.9
GND 21.9

CABBAGE PALM
TOP 51.3
GND 20.1

CABBAGE PALM
TOP 36.1
GND 20.1

CABBAGE PALM
TOP 28.2
GND 10.3

CABBAGE PALM
TOP 27.1
GND 5.3

CABBAGE PALM
TOP 49
GND 49

CURE DATE
12.17

COORGE PALM
TOP 26.6
GND 11.3

SET C.M.

SET C.M.

- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10
- 11
- 12
- 13
- 14
- 15
- 16
- 17
- 18
- 19
- 20
- 21
- 22

CONE TREE
TOP 43.5
GND 10.5

CABBAGE PALM
TOP 44.3
GND 10.5

CABBAGE PALM
TOP 40.9
GND 17.9

CABBAGE PALM
TOP 37.9
GND 13.9

CABBAGE PALM
TOP 26.1
GND 10.3

CABBAGE PALM
TOP 27.1
GND 5.3

CABBAGE PALM
TOP 41.3
GND 10.5

CABBAGE PALM
TOP 49
GND 49

SET C.M.

SET C.M.

SET C.M.

TOWN OF SEWALL'S POINT, FLORIDA

Date 10/3 ~~10~~ 2003 TREE REMOVAL PERMIT No 2107

APPLIED FOR BY DIPPY (Contractor or Owner)

Owner 38 E. HIGH POINT ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 QUEEN PALM (dead)

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simmons (P.O.) Town Clerk Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspectio
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberrry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Walter & Carol Dippy Address 38 E. High Point Rd Phone 287-2580

Contractor owner Address _____ Phone _____

No. of Trees: REMOVE 1 Type: Queen Palm (dead)

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: _____

Signature of Applicant Carol D. Dippy Date Oct. 1, 2003

Approved by Building Inspector: PAUL Date 10/3/03 Fee: NO FEE

Plans approved as submitted _____ Plans approved as revised/marked: QUEEN PALM - DISEASED

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/3, 2008 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
5185	JONES	PLUMBING	Pass	Shower Pan
	14 Heron's Nest			Needs Tree
	O/B			INSPECTOR: PAUL
Tree	DIPPY	Tree	Pass	NO TREE
	38 E. High Point			Dispersed
				INSPECTOR: PAUL
6330	BUSSEY	TIN TAG	Pass	
	1 Palmetto			
	PACIFIC ROOFING			INSPECTOR:
5937	FOSTER	POWER REL	FAIL	NOT READY
	128 S. Sewallish			
	PARKS			INSPECTOR:
5960	LEWIS	BLDG FINAL	Pass	EPL CARD TO
	43 Rio Vista			BE DELIVERED
	DRIETWOOD			INSPECTOR:
6294	SHEETS	FENCE FINAL	Pass	CLOSE FILE
	7 Knowles Rd			
	LAWRENCE			INSPECTOR:
6429	ROBERTS	TRUSS ENG.	Pass	WALL SHEATHING
	12 N. RIDGEVIEW	SHEATHING		
	GREEN MARK HOMES			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT, FLORIDA

Date JANUARY 10 ~~14~~ 2005 TREE REMOVAL PERMIT No 2086

APPLIED FOR BY GREINER (Contractor or Owner)

Owner 37 E. HIGH POINT RD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 UNKNOWN (SCHIFFERER)

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

Signed, _____ Applicant

Signed, [Signature] Gene Simmons (POD)
~~Town Clerk~~
BUILDING OFFICIAL

FEE \$ 0

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or notes]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner GREENER Address 37 E. HIGH POINT Phone 287-2307

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: UNKNOWN - NEAR POOL

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: (SCHEFFLERA)

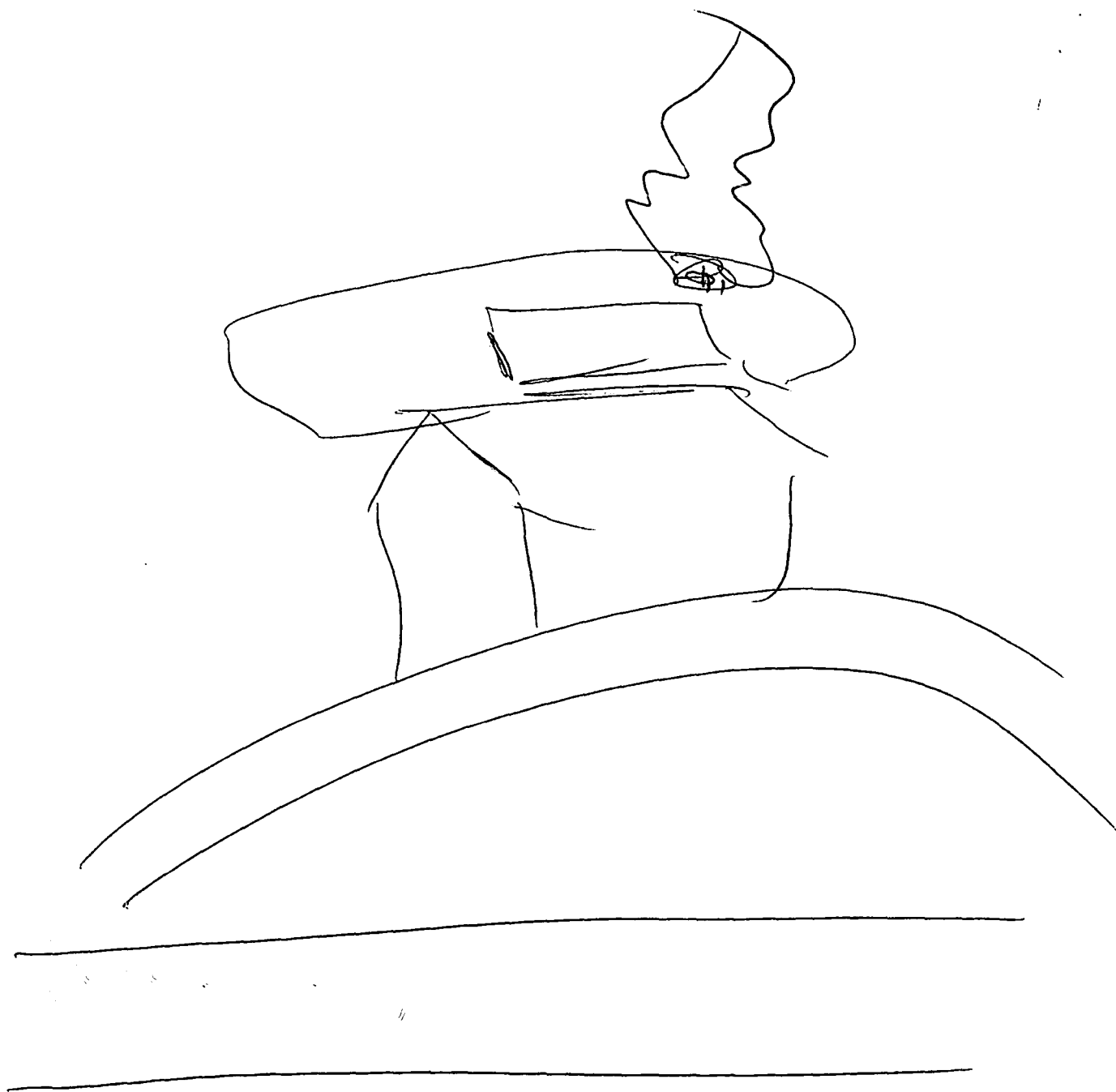
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: CRACKING TILE TO POOL

Signature of Property Owner [Signature] Date 1-7-05

Approved by Building Inspector: [Signature] Date 1/10 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/10, 20015 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7168	GREINER	TREE	PASS	
3	37E. High Point 			INSPECTOR:
6888	ELLIOTT	TINTA/MERAL	PASS	
2	25 W. High Point PACIFIC ROOFING			INSPECTOR:
7060	TEDESCO	FENCE FINAL	PASS	CLOSE
5	18 N. RIVER RD O/B			INSPECTOR:
7131	NEWLEY	FINAL ROOF	PASS	CANCEL
4	7 N. VIA LUCINDIA ARTEKA CONST			INSPECTOR:
7109	DONOVAN	FINAL ROOF	PASS	CLOSE
6	6 QUAIL RUN LA PACIFIC			INSPECTOR:
7177	BRAND	IN PROGRESS	FAIL	
1	4. E. High Point LYNN TITUS			INSPECTOR:
	STERN'S	COURTESY INSP.		DONE
	80 N. SEWALL'S	SEA GRAPE REMOVAL		INSPECTOR:
OTHER:	7178 BAUMGARTNER	DRY-IN	FAIL	
	3 BANYAN	LATE AS POSSIBLE		
	ROBERT E. STEIN ROOFING			



TOWN OF SEWALL'S POINT BUILDING
 DEPARTMENT
 One South Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



TREE CITY USA

Since 1990,
 Sewall's Point
 has proudly been
 designated a
 "Tree City USA"

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

WORK PERMITTED FROM 8:00 AM TO 5:00 PM – NO SUNDAYS

Owner DR. WALTER & CAROL DIPPY Address 38 E. High Point Rd Phone 772-287-2580 / 285-2578 Home: Call:

Contractor ISHMAEL RODRIGUEZ Address _____ Phone 772-530-2289

No. of Trees ~~REMOVE~~ ^{TRIM} 1 Species: YELLOW POINCIANA Caliper @ 4' above soil _____ (inches) Height _____ (ft.)

No. of Trees RELOCATE _____ Species: _____ Caliper @ 4' above soil _____ (inches) Height _____ (ft.)

No. of Trees REPLACE _____ Species: _____ Caliper @ 4' above soil _____ (inches) Height _____ (ft.)

REPLACED OR RELOCATED TREES MUST BE INSPECTED WITHIN 30 DAYS OF PERMIT ISSUANCE

ALL PROHIBITED SPECIES AND VEGETATIVE WASTE MUST BE REMOVED FROM PROPERTY

Reason for tree ~~removal/relocation~~ ^{TRIMMING} TO TRIM DEAD LIMBS FROM THE TRUNK AND CANOPY, AND HOPEFULLY PRESERVE THE HEALTH OF THE TREE

Signature of Property Owner Mrs. Carol A. Dippy Date June 18, 2015

This space for Official Use only:

Approved by Building Official: [Signature] Date 6-18-15 Fee: n/c

BUILDING INSPECTOR NOTES: _____

Minimum Tree Requirements Met On Property

Prohibited Species Identified for Removal

SKETCH (Show location of tree(s) to be removed/relocated; dimensions of lot; location of structures):

Picked up 6/18/15

