

19 Island Road

1572
DOCK

RECEIVED

MAY 2 1983

TOWN OF SEWALL'S POINT FLORIDA

Ans'd

RECEIVED

1572

Date 3/29/83

Permit No. _____

MAY 5 1983

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner MACDONNELL McDonnell, Russell A. Present address Island Drive, Lot 81

Phone Home 203-655-9501
NO PHONE OFFICE 203-222-9000

Contractor Doss Marine Construction Address 1206 Railroad Ave, Stuart, Florida 33494

Phone 305-287-5663

Where licensed Martin County License number 0050

Electrical contractor Krauss & Crane, Inc. License number 251

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Wooden dock

State the street address at which the proposed structure will be built:

LOT 81 ISLAND RD, SEWALL'S POINT

Subdivision Highpoint Isle Lot No. 81

Contract price \$ 6,000.00 Cost of Permit \$ 3010 = 1/10

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Jack Doss

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Russell A. McDonnell

TOWN RECORD

Date submitted _____

Approved: [Signature] Building Inspector Date 5/12/83

Approved: [Signature] Commissioner Date 5/11/83

Final Approval given: 5/25/83 Date [Signature]

Certificate of Occupancy issued _____ Date _____

SP/1-79

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

LETTER OF NO OBJECTION

We, William D. Bidle Jr and Marion E. Bidle
being the owner(s) of certain property adjacent to and abutting
the property of Russ McDonnell and _____, who
have applied for a dock permit for construction, have reviewed
Appendix B-Zoning, Section II, sub-section M, concerning dock and
pier requirements for construction within the town of Sewall's
Point; and, have read and reviewed the drawing of the dock as
proposed and as drawn on the back hereof, showing size, location
in relation to my property of the proposed dock; and, I have no
objection to the proposed dock pursuant to the plan on the back
hereof.

William D. Bidle Jr
Marion E. Bidle, his wife

STATE OF
COUNTY OF

SWORN TO AND SUBSCRIBED before me this 18 day of April,
1981.

Lucille Jameson
Notary Public
MOBILE, ALA.

My Commission expires:

NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES JULY 10 1985
BONDED THRU GENERAL INS. UNDERWRITERS

RECEIVED
MAY 2 1983
Ans'd.....



LETTER OF NO OBJECTION

We, ARTHUR F. SHERDEN and MARY E. SHERDEN

being the owner(s) of certain property adjacent to and abutting the property of RUSSELL A. MACDONNELL and GRACE E. MACDONNELL who have applied for a dock permit for construction, have reviewed Appendix B-Zoning, Section II, sub-section M, concerning dock and pier requirements for construction within the town of Sewall's Point; and, have read and reviewed the drawing of the dock as proposed and as drawn on the back hereof, showing size, location in relation to my property of the proposed dock; and, I have no objection to the proposed dock pursuant to the plan on the back hereof.

Arthur F. Sherden

Mary E. Sherden his wife

STATE OF
COUNTY OF

SWORN TO AND SUBSCRIBED before me this 22 day of April, 1981.

Lucille Jameson
Notary Public

My Commission expires:

RECEIVED
MAY 2 1983
Ans'd.....

NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES JULY 10 1985
BONDED THRU GENERAL INS. UNDERWRITERS



DEPARTMENT OF THE ARMY
SOUTH FLORIDA AREA OFFICE, JACKSONVILLE DISTRICT
CORPS OF ENGINEERS
P. O. BOX 1327
CLEWISTON, FLORIDA 33440

SAJCN-R (Miami)
83(3)-0447

28 March 1983

RECEIVED MAR 30 1983

SAJ-20 (MOD)

Mr. Stephen E. Bohner
Bessemer Building, Suite 100
Jensen Beach, Florida 33457

Dear Mr. Bohner:

Reference is made to your permit application for a Department of the Army permit concerning construction of a dock at Lot #81 Highpoint Isle Addition in Sewall's Point, Martin County, Florida.

The project, as proposed, is authorized by General Permit SAJ- 20 (MOD), a copy of which is enclosed for your information and use. You are authorized to proceed with the project in accordance with the enclosed drawings subject to all conditions of the permit.

This letter of authorization does not obviate the necessity to obtain any other Federal, State, or local permit which may be required.

It appears that a permit from the Department of Environmental Regulation may be required. They may be contacted at (305) 878-3890.

Thank you for your cooperation with our permit program.

Sincerely,

MICHAEL SLAYTON
Chief, Regulatory Section

Enclosure _g

RECEIVED

MAY 2 1983

Ans'd.....

Copy

DEPARTMENT OF ENVIRONMENTAL REGULATION



SOUTHEAST FLORIDA
SUBDISTRICT

2748 SOUTHEAST MORNINGSIDE BOULEVARD
PORT ST. LUCIE, FLORIDA 33452

BOB GRAHAM
GOVERNOR

VICTORIA J. TECHENKEL
SECRETARY

AL MUELLER
SUBDISTRICT MANAGER

March 29, 1983

Mr. Russ McDonnell
c/o Mr. Stephen E. Bohner
Passenger Building, Suite 100
Jensen Beach, Florida 33457

DF- Martin County
Dock
Indian River

Dear Mr. McDonnell:

This is to acknowledge receipt of your application, file number 430663518,
for a permit to:

Construct a private dock sixty (60) feet long by six (6) feet wide
adjacent to an existing bulkhead. Located at Lot 81, Highpoint Isle
Addition, Section 7, Township 38 South, Range 42 East, Martin County,
Aquatic Preserve A-10, Class III Water.

At this time no permit is required for your project by this department. Any
modifications in your plans should be submitted for review, as changes may result in
permits being required. This letter does not relieve you from the need to obtain any
other permits (local, state or federal) which may be required. Exemption, Florida
Administrative Code, Rule 17-4.04(10)(c). In accordance with the four (4) stamped
drawings that are attached and a part hereof.

If you have any questions, please contact Al Walker of this office. When
referring to this project, please use the file number indicated.

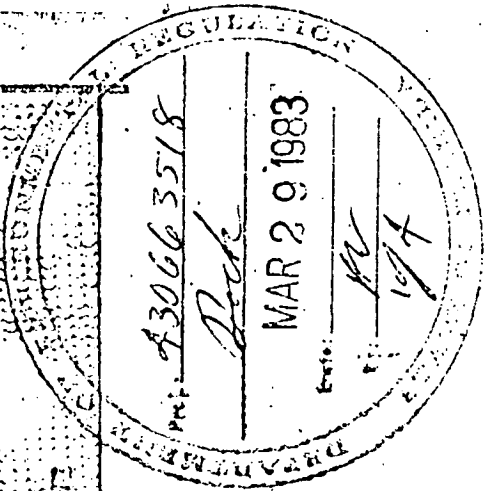
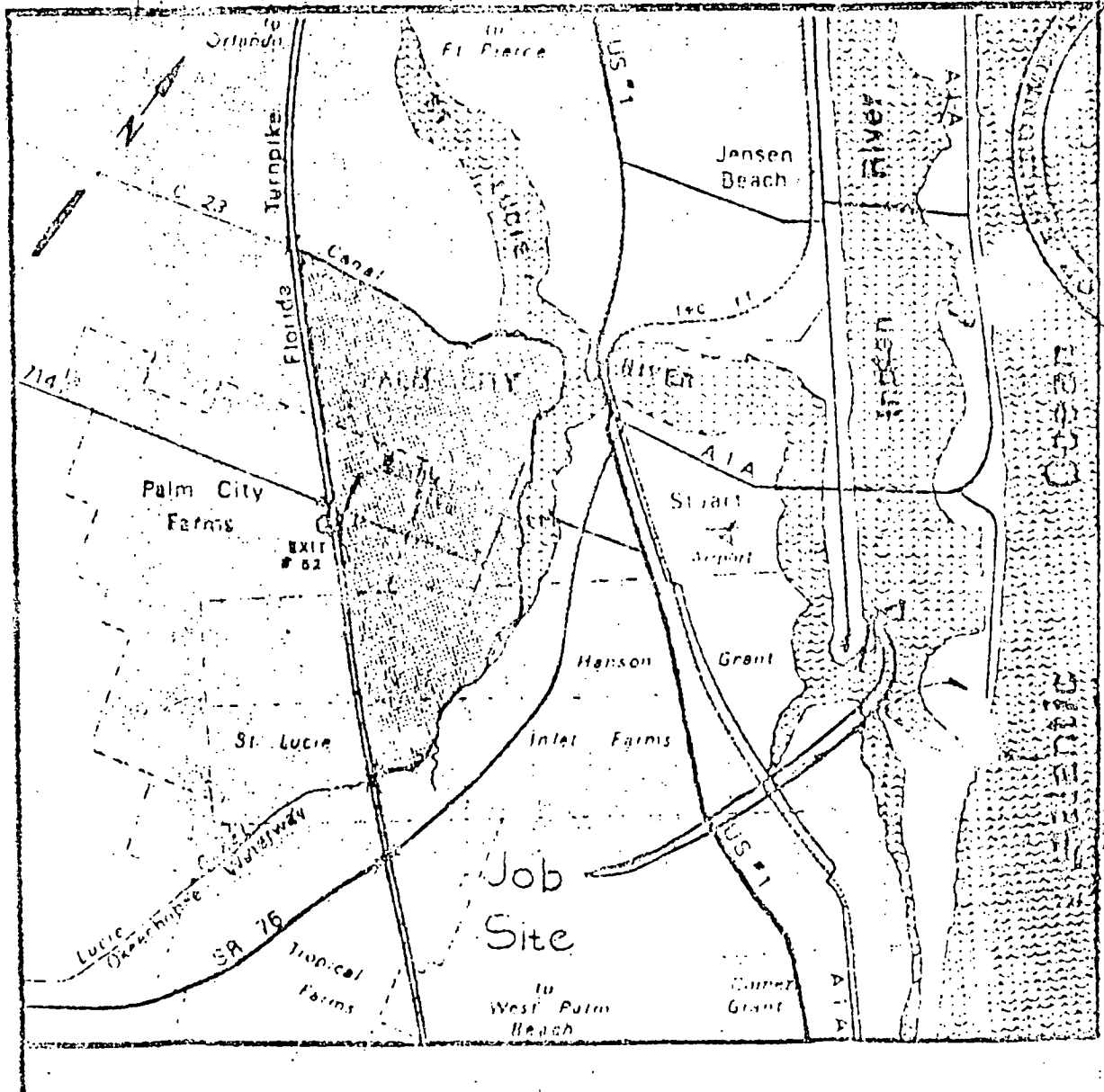
Sincerely,

RMD:aws/8

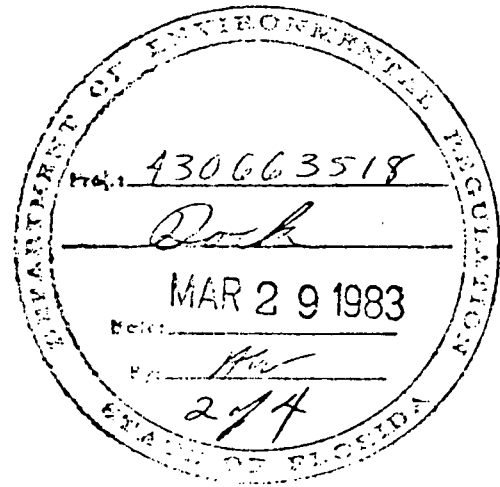
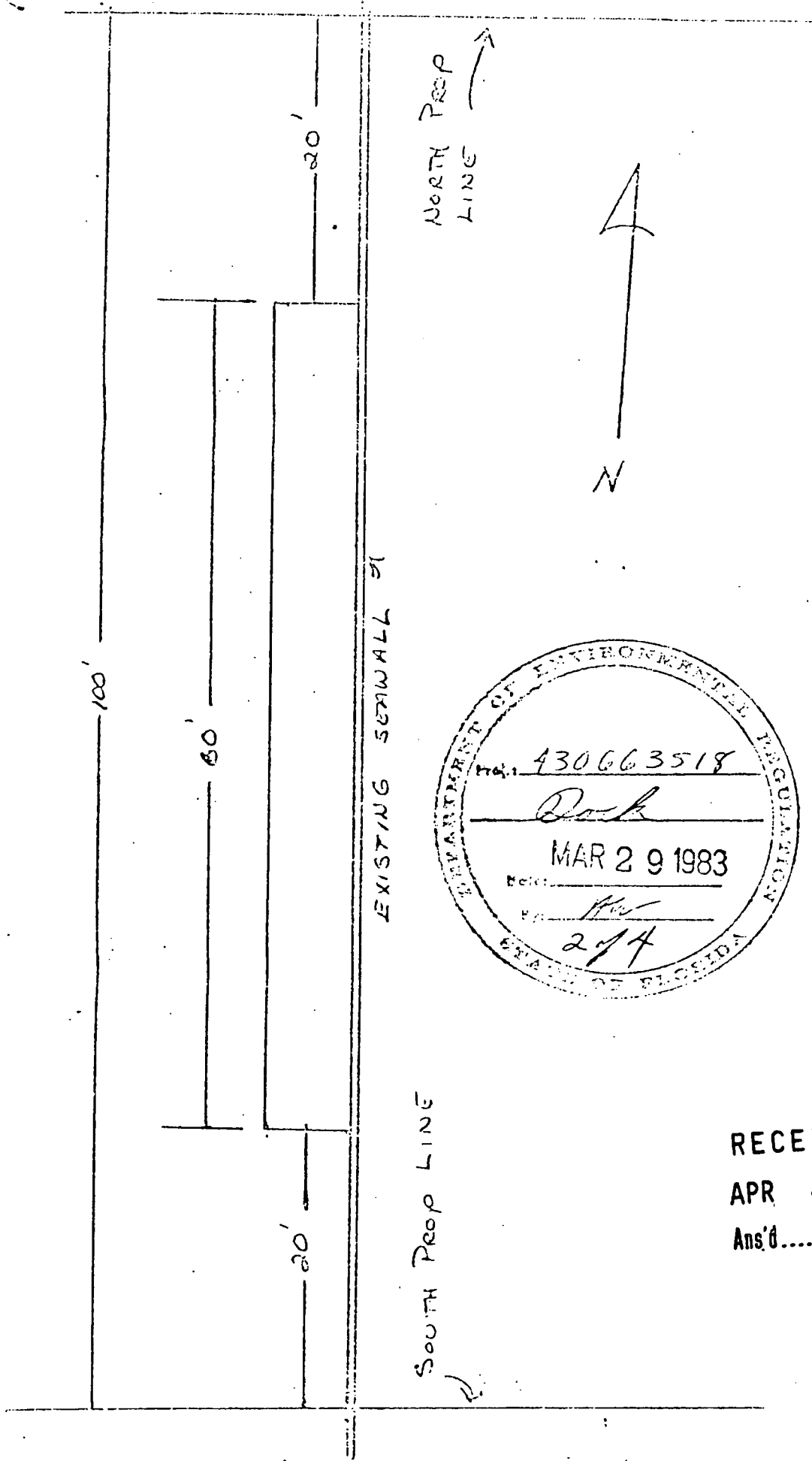
Roy M. Duke
District Manager

cc: Army Corp's of Engineers, Jacksonville
Brian Barnett, F.G.F.W.F.C.
Florida Marine Patrol, Dist. #10
Charles Horne, D.N.R. (with application)
Doss Marine Construction

RECEIVED
APR 4 1983
Ans'd.....



RECEIVED
APR 4 1983
Ans'd.....



RECEIVED
 APR 4 1983
 Ans'd.....

DMC DOSS MARINE CONSTRUCTION

1206 Railroad Avenue, Stuart, Florida 33494 (305) 287-5663

Poured in place epoxy cap

10' @ 3' wood pile stripped with 1x2 cedar (not shown)

Existing conc. wall

Upper 2x8 deck

Step

Lower 2x8 deck w 1/2" space

5/8" Bolts

Double & single 2x8 stringers

Double 2x8 crossmembers

8" wood pile

Ave. water level

RECEIVED
APR 4 1983

Canal Bottom

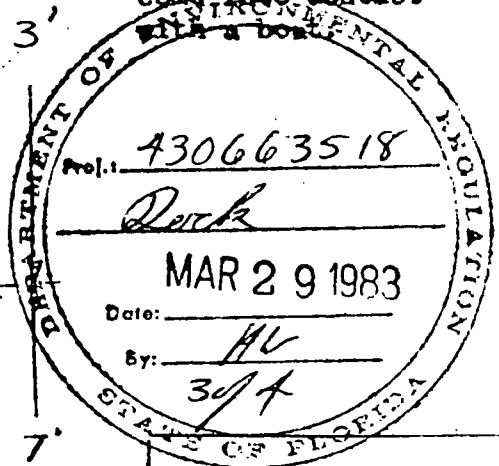
SEE NOTE

SEE NOTE

NOTE

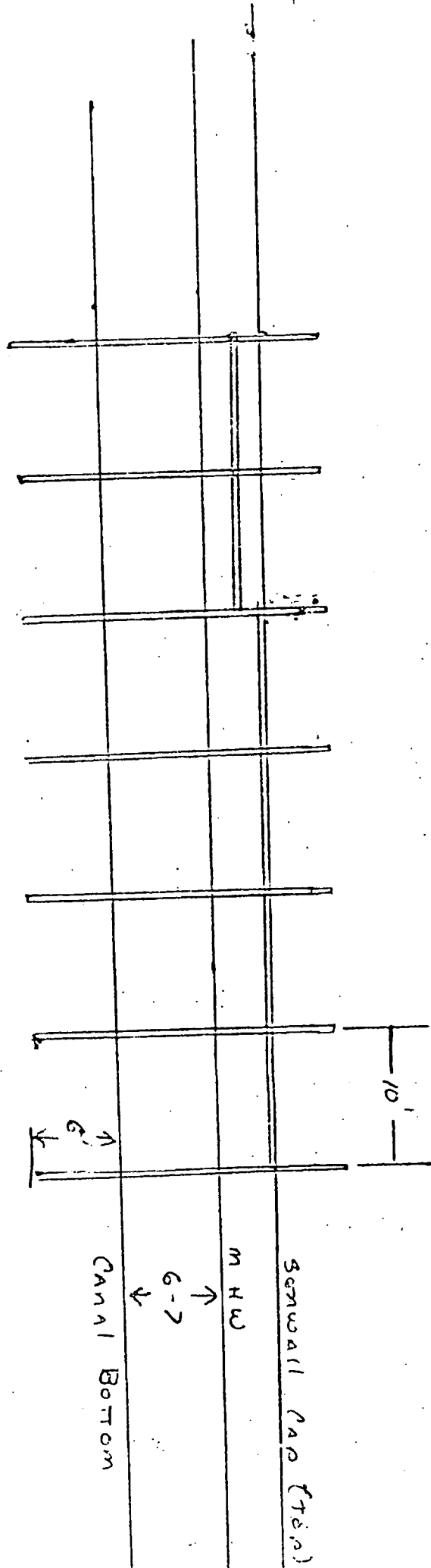
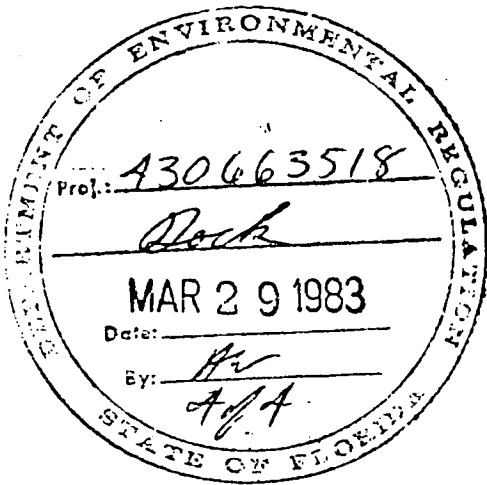
Penetration of 10 in. pile to be 8' in soil OR 4' in rock.
Penetration of 8 in. pile to be 6' in soil OR 4' in rock.

1. Pile shall be CCA 2.5 lb/cu.ft. marine treated.
2. Lumber shall be CCA 2 pressure treated no. 2 pine,
3. Hardware shall be hot dipped galv.
4. Bolts shall be counter sunk where they may come into contact with a boat.



Proposed: Wood Deck
For: L & R MacDonnell
Of: Sewall's Pt
BY:

Doss Marine Construction
1206 Railroad Ave.
Stuart, FL 33494



RECEIVED
APR 4 1983
Ans'd.....



DEPARTMENT OF THE ARMY
SOUTH FLORIDA AREA OFFICE, JACKSONVILLE DISTRICT
CORPS OF ENGINEERS
P. O. BOX 1327
CLEWISTON, FLORIDA 33440

SAJCN-R (Miami)
83(3)-0447
SAJ-20 (MOD)

28 March 1983

RECEIVED MAR 30 1983

Mr. Stephen E. Bohner
Bessemer Building, Suite 100
Jensen Beach, Florida 33457

Dear Mr. Bohner:

Reference is made to your permit application for a Department of the Army permit concerning construction of a dock at Lot #81 Highpoint Isle Addition in Sewall's Point, Martin County, Florida.

The project, as proposed, is authorized by General Permit SAJ- 20(MOD), a copy of which is enclosed for your information and use. You are authorized to proceed with the project in accordance with the enclosed drawings subject to all conditions of the permit.

This letter of authorization does not obviate the necessity to obtain any other Federal, State, or local permit which may be required.

It appears that a permit from the Department of Environmental Regulation may be required. They may be contacted at (305) 878-3890.

Thank you for your cooperation with our permit program.

Sincerely,

MICHAEL SLAYTON
Chief, Regulatory Section

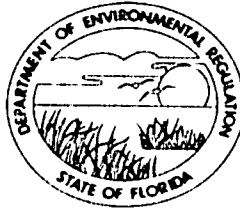
Enclosure_s

RECEIVED

APR 4 1983

Ans'd.....

DEPARTMENT OF ENVIRONMENTAL REGULATION

SOUTHEAST FLORIDA
SUBDISTRICT2745 SOUTHEAST MORNINGSIDE BOULEVARD
PORT ST. LUCIE, FLORIDA 33452BOB GRAHAM
GOVERNORVICTORIA J. TSCHINKEL
SECRETARYAL MUELLER
SUBDISTRICT MANAGER

March 29, 1983

Mr. Russ McDonnell
c/o Mr. Stephen E. Bohner
Bessemer Building, Suite 100
Jensen Beach, Florida 33457DF- Martin County
Dock
Indian River

Dear Mr. McDonnell:

This is to acknowledge receipt of your application, file number 430663518,
for a permit to:Construct a private dock sixty (60) feet long by six (6) feet wide
adjacent to an existing bulkhead. Located at Lot 81, Highpoint Isle
Addition, Section 7, Township 38 South, Range 42 East, Martin County,
Aquatic Preserve A-10, Class III Water.At this time no permit is required for your project by this department. Any
modifications in your plans should be submitted for review, as changes may result in
permits being required. This letter does not relieve you from the need to obtain any
other permits (local, state or federal) which may be required. Exemption, Florida
Administrative Code, Rule 17-4.04(10)(c). In accordance with the four (4) stamped
drawings that are attached and a part hereof.If you have any questions, please contact Al Walker of this office. When
referring to this project, please use the file number indicated.

RMD:aws/8

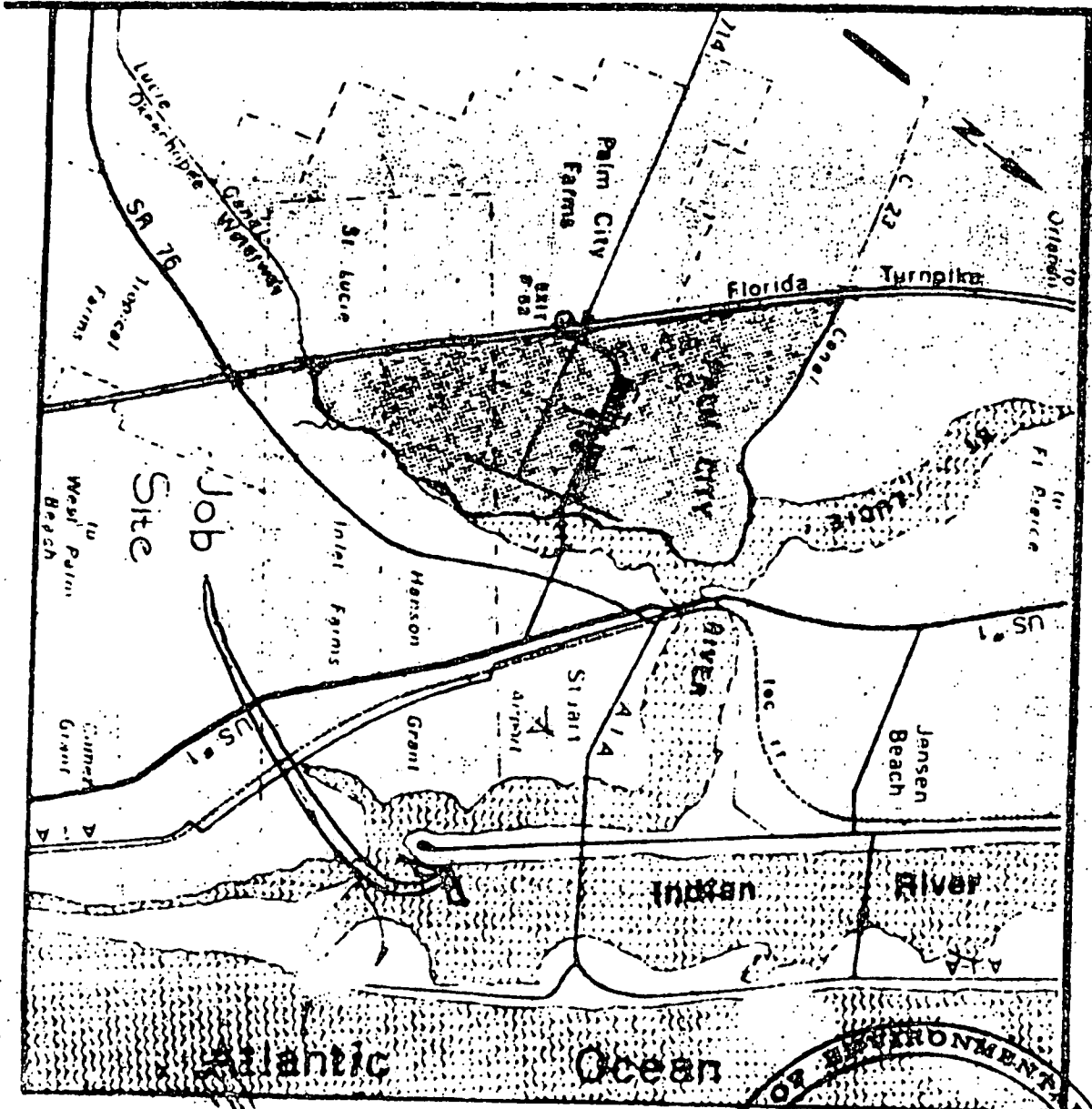
Sincerely,

Roy M. Duke
District Managercc: Army Corp's of Engineers, Jacksonville
Brian Barnett, F.G.F.W.F.C.
Florida Marine Patrol, Dist. #10
Charles Horne, D.N.R. (with application)
Doss Marine Construction

RECEIVED

MAY 2 1983

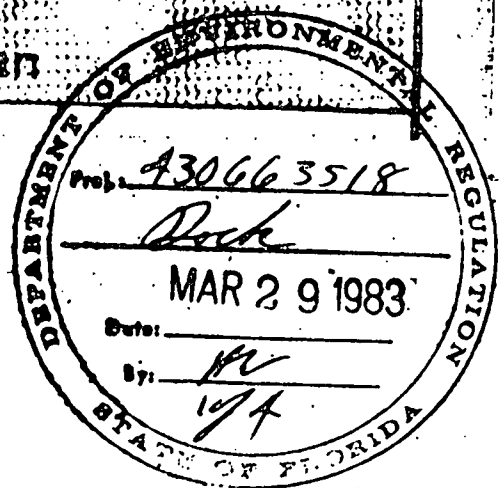
Ans'd.....

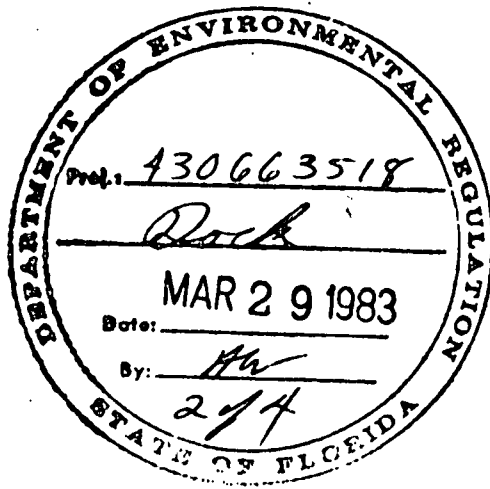
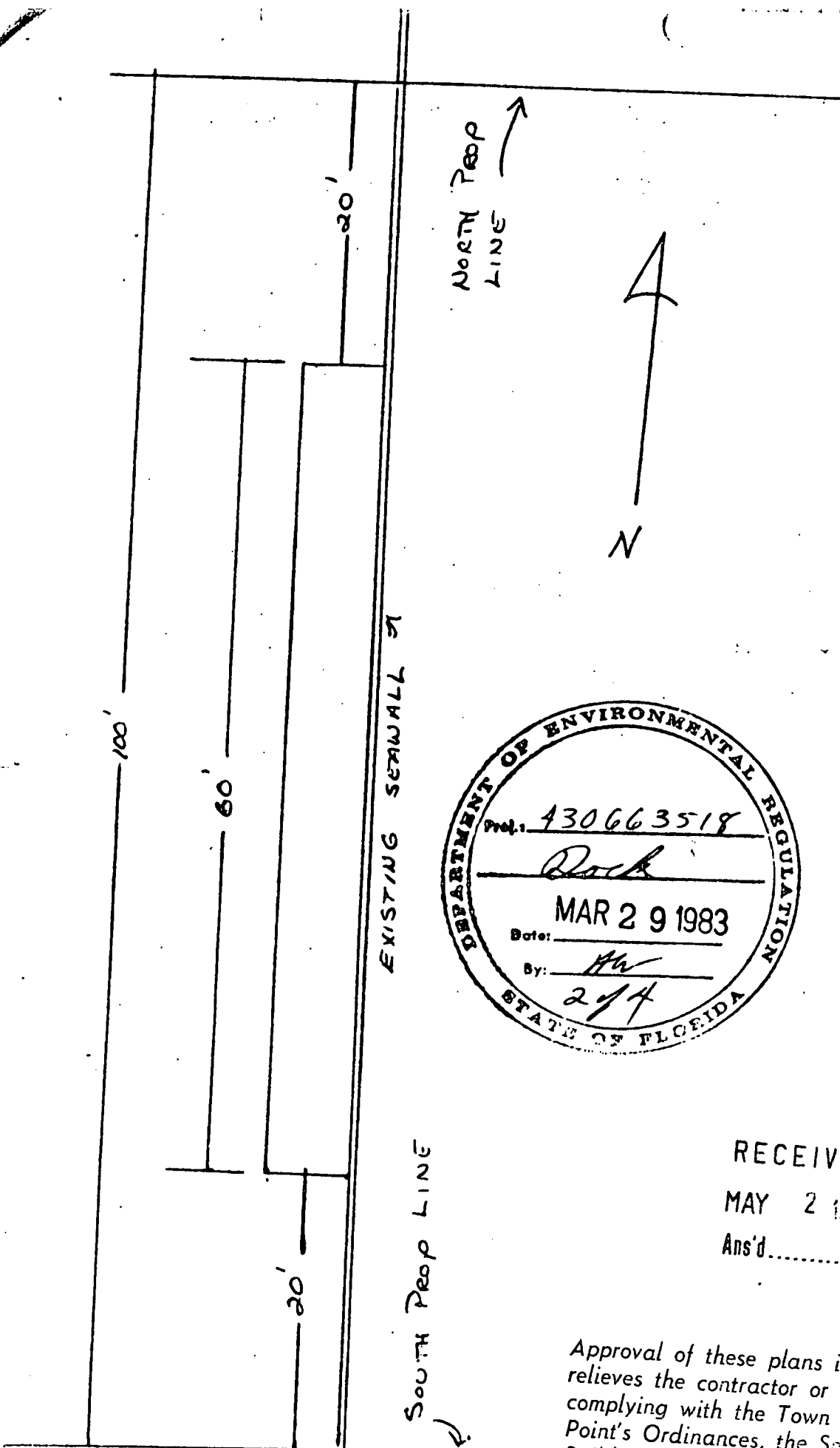


Approval of these plans in no way
 relieves the contractor or builder
 complying with the Town of Sewall's
 Point's Ordinances, the South Florida
 Building Code and the State of Florida
 Model Energy Efficiency Building Code.

RECEIVED
 MAY 2 1983

JEM 5/2/83





RECEIVED
MAY 2 1983
Ans'd.....

Approval of these plans in no way
relieves the contractor or builder of
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Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

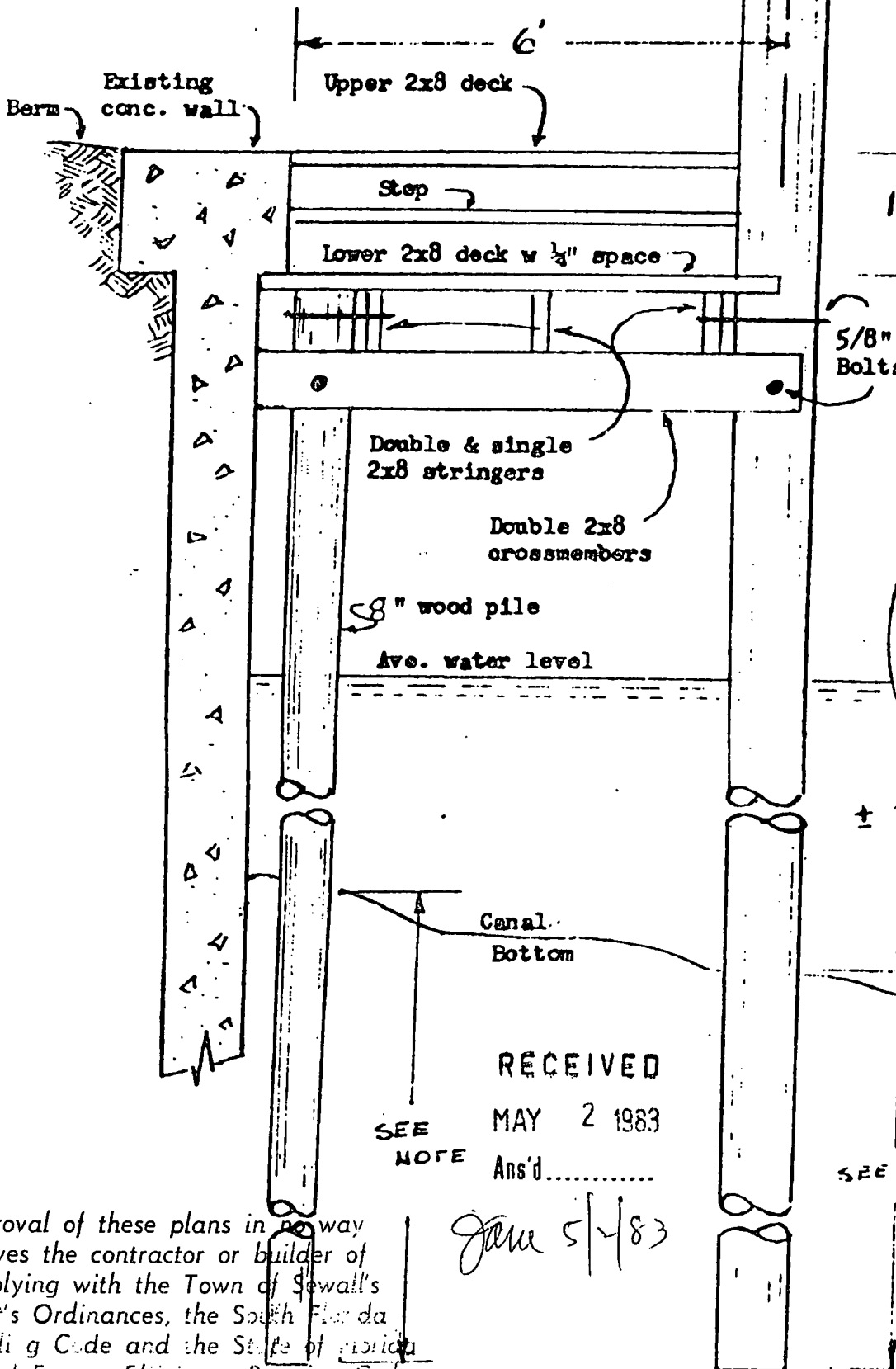
Jim 5/4/83

DMC DOSS MARINE CONSTRUCTION

1206 Railroad Avenue, Stuart, Florida 33494 (305) 287-5663

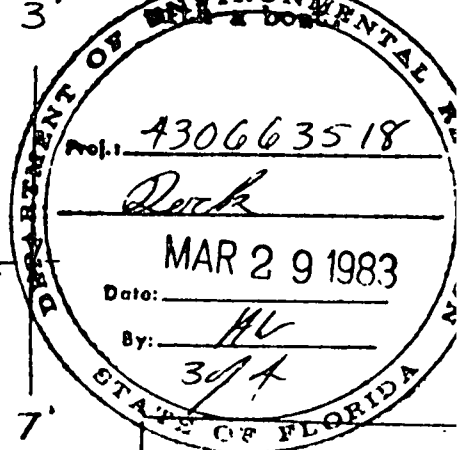
Poured in place epoxy cap

10' @ 3' wood pile stripped with 1x2 cedar (not shown)



NOTE
 Penetration of 10 in pile to be 8' in soil OR 4' in rock.
 Penetration of 8 in. pile to be 6' in soil OR 4' in rock.

1. Pile shall be CCA 2.5 lb/cu.ft. marine treated.
2. Lumber shall be CC pressure treated #2 pine,
3. Hardware shall be hot dipped galv.
4. Bolts shall be countersunk where they may come into contact with a boat.



Proposed: Wood Dock
 For: L & R MacDonne
 Of: Sewall's
 BY:

Doss Marine Construct
 1206 Railroad Ave
 Stuart, FL 33494

RECEIVED

MAY 2 1983

Ans'd.....

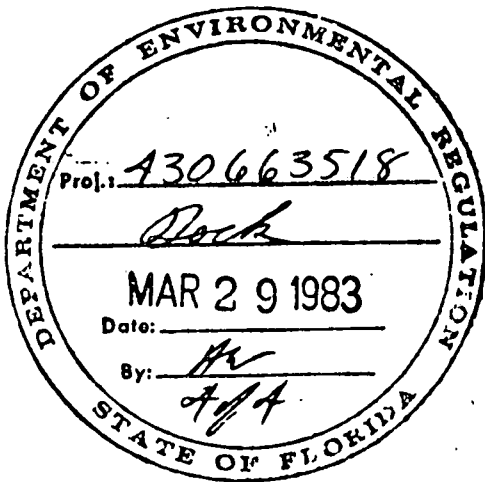
SEE NOTE

SEE NOTE

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

James 5/1/83

SECTION THRU DOCK 1/2"-1'-0"



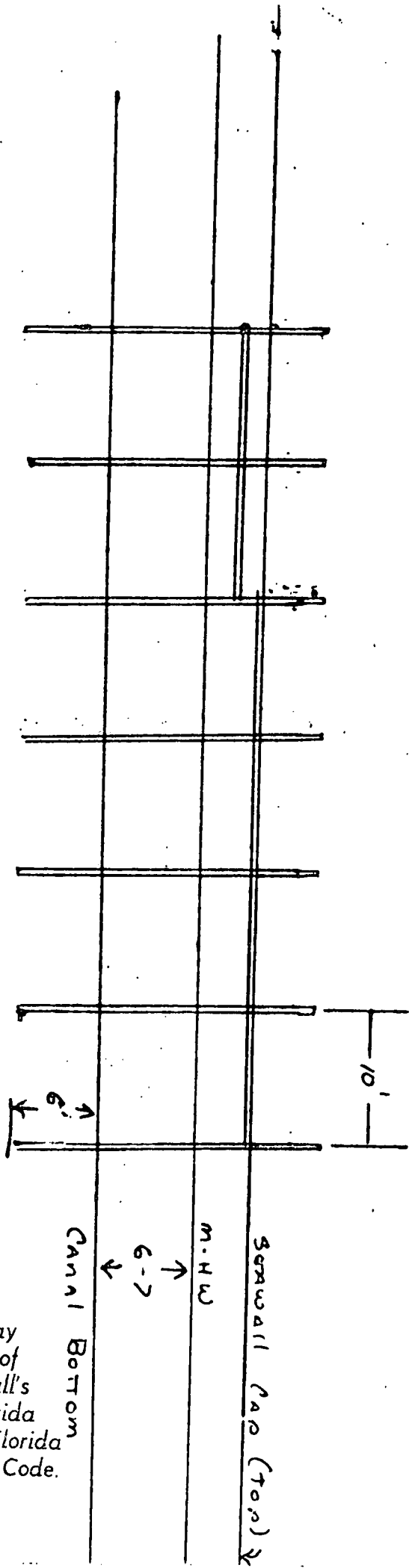
RECEIVED

MAY 2 1983

Ans'd.....

Jan 5/2/83

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.





1572 ✓

BOB GRAHAM
Governor
GEORGE FIRESTONE
Secretary of State
JIM SMITH
Attorney General
GERALD A. LEWIS
Comptroller
BILL GUNTER
Treasurer
DOYLE CONNER
Commissioner of Agriculture
RALPH D. TURLINGTON
Commissioner of Education

State of Florida
DEPARTMENT OF NATURAL RESOURCES

DR. ELTON J. GISSENDANNER
Executive Director
Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard, Tallahassee, Florida 32303

JUN 1 1983

Mr. Stephen E. Bohner
Bessemer Building Suite 100
Jensen Beach, Florida 33454

Dear Mr. Bohner:

File No. 430663518
Applicant: McDonnell

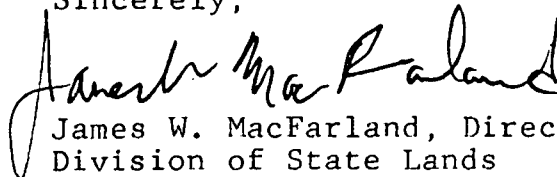
We have reviewed the above-referenced application requesting the use of 360 square feet, more or less, of state-owned submerged land located in Section 12, Township 38 South, Range 41 East in Indian River, Martin County, for the construction of a marginal docking facility. The structure will consist of a 6' x 60' marginal dock as shown in the submitted drawings. The proposed project is not in conflict with any of our existing rules; therefore, we have no objections.

Since the proposed project is a private, non-income producing facility, a lease is not presently required. However, if the owner intends to change the purpose of the facility from a private use to a commercial or industrial use, then a submerged land lease will be required from this agency.

Please consider this the authority sought under Section 253.77, Florida Statutes, to pursue this project.

This letter in no way waives the authority and/or jurisdiction of any governmental entity, nor does this letter disclaim any title interest that the State may have in this project site.

Sincerely,


James W. MacFarland, Director
Division of State Lands

JWM/ggc
Enclosure
cc: Department of Environmental Regulation

The **1** You'll Be SOLD On.



DeSantis
and Company, Inc.
REALTORS

June 8, 1983

Town of Sewall's Point
ATTN: Building Inspector
1 South Sewall's Point Road
Stuart, Fla. 33494

Dear Joe,

Enclosed is a copy of the revised information from the Department of Environmental Regulation. I assume this may be necessary to complete your file.

If I may ever be of assistance in any way, please feel free to call.

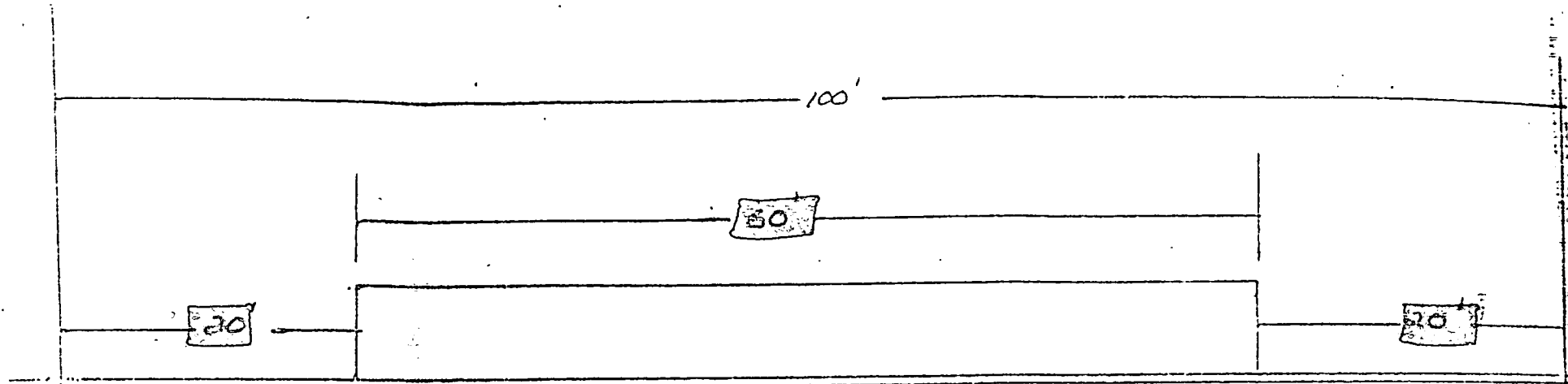
Sincerely yours,

A handwritten signature in black ink, appearing to read 'Stephen E. Bohner'.

Stephen E. Bohner
Manager

SEB: sm
cc: Mr. Russell MacDönnell

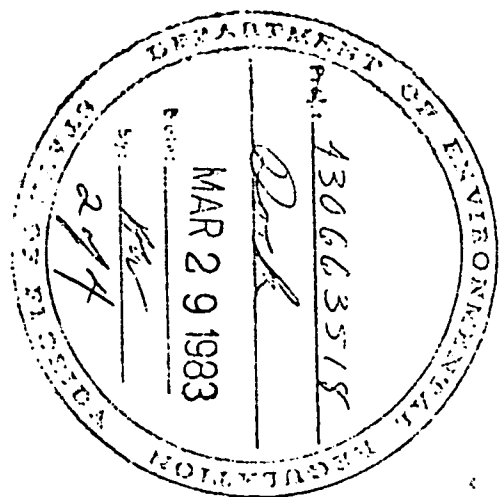
- CORPORATE OFFICES. 3725 SE Ocean Blvd., Suite 101, Stuart, Florida 33494 (305) 287-3000
- COMMERCIAL INVESTMENT/APPRaisal DIVISION. 3725 SE Ocean Blvd., Suite 101, Stuart, Florida 33494 (305) 283-4640
- STUART BRANCH. 955 South Federal Highway, Stuart, Florida 33497 (305) 286-1300
- SEWALL'S POINT BRANCH. 3725 SE Ocean Blvd., Suite 100, Stuart, Florida 33494 (305) 283-6500
- PORT ST. LUCIE BRANCH. 8380 South Federal Highway, Port St. Lucie, Florida 33452 (305) 878-5500
- JENSEN BEACH BRANCH. 1419 NE Commercial Street, Jensen Beach, Florida 33457 (305) 334-2022
- LEASING DIVISION. 3725 SE Ocean Blvd., Suite 101, Stuart, Florida 33494 (305) 286-1310, 286-1412
- LEASING DIVISION (REPAIRS & SERVICE). 3725 SE Ocean Blvd., Suite 101, Stuart, Florida 33494 (305) 283-4641
- DE SANTIS INSTITUTE OF REAL ESTATE. 3725 SE Ocean Blvd., Suite 101, Stuart, Florida 33494 (305) 287-3002



EXISTING SEAWALL

SOUTH Prop LINE

NORTH Prop LINE



1577

ELECTRIC FOR DOCK

Permit No. # 1577

Date 5-31-83

1577
Double Fee

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MR. RUSSELL A. McDONNELL Present Address 19 ISLAND ROAD

Phone _____ SEWALLS POINT

Contractor KRAUSS & CRANE INC Address: 904 So Dixie Hwy P.O. Box 1259

Phone 287-1227 STUART FLA. 33495

Where licensed MARTIN Co. License number 29

Electrical contractor KRAUSS & CRANE INC License number 29

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: ADDED WIRING FOR DOCK

State the street address at which the proposed structure will be built:

SAME

Subdivision SAME Lot number 19 Block number _____

Contract price \$ 1250.⁰⁰ Cost of permit \$ 12.⁵⁰

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Willie B. Lewis

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner _____

TOWN RECORD _____

Date submitted Double Fee

Approved: [Signature]
Building Inspector Date _____

Approved: _____ Date _____ Final Approval given: 5/31/83 Date _____

Certificate of Occupancy issued (if applicable) _____ Date _____

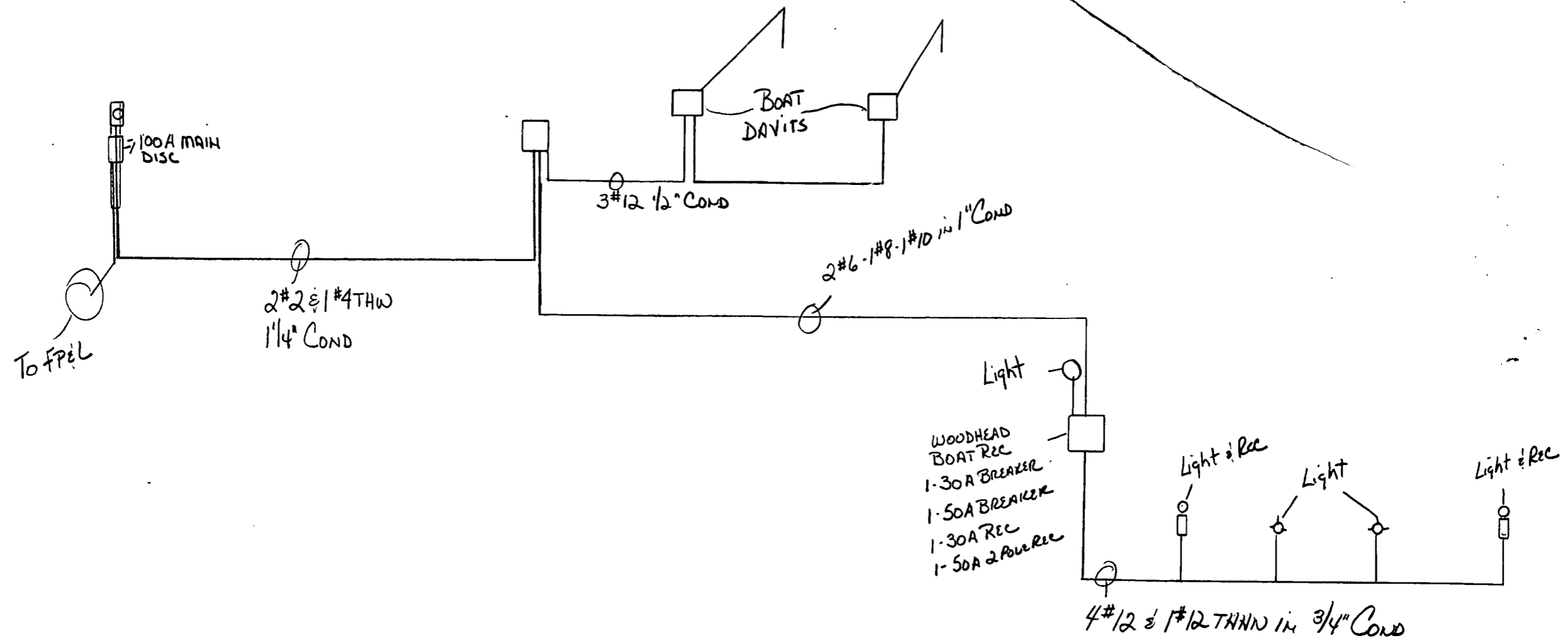
SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

#1577

1577



ONE LINE DIAGRAM OF SERVICE FOR DOCK
RUSSELL A. MACDONNELL
19 ISLAND ROAD, SEWALLS POINT

1689

SFR

1689

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner Mr & Mrs Russ MacDonnell Present address _____

Phone 287-0076

General contractor Tripp Corporation Address 2806 S.W. MAPP Rd.

Phone 286-2430 Prem City Fla

Where licensed Martin County Fla License No. 00125

Plumbing contractor Art Storm License No. 00105

Electrical contractor LAMY License No. 00048

Air-conditioning contractor BILL PECH License No. 00123

Describe the building, or alteration to existing building
ERECT A NEW 2 STORY RESIDENCE

Name the street on which the building, its front building line and its front yard will face SE ISLAND WAY

Subdivision High Point Lot No. # 81 Area _____

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 4,000

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 200,000.00

Cost of permit \$ _____ Plans approved as submitted _____ or, as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor William H Tripp

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner Russ & Grace E. MacDonnell

Regulation builders will be required to sign both of the above statements.

TOWN RECORD Date submitted _____

Building Inspector (date) _____ Inspector's initials _____

Town Commissioner (date) _____ Commissioner's initials _____

of Occupancy issued (date) _____

Approval of these plans in no way relieves the contractor or builder of responsibility with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

RESIDENTIAL CALCULATION

FORM 902

CLIMATE ZONES 7 8 9

COMPONENT			WINTER			GROSS WINTER POINTS	SUMMER			GROSS SUMMER POINTS		
			AREA	x	WPM	=	AREA	x	SPM	=		
WALLS	CONCRETE	R 2.7 - 3.9			6.6				17.5			
		R 4 - 5.9			5.0				15.0			
		R 6 & UP			4.4				13.9			
	FRAME OR BRICK VENEER	R 11 - 18.9			2.5					13.9		
		R 19 - 25.9	3,032.		1.5		4,548.	3,032.		8.6	26,075.2	
		R 26 & UP			1.1					6.5		
	COMMON				2.7				3.8			
	DOORS	WOOD OR METAL		102.5		86.5		8,866.2	102.5		55.4	5,678.5
		INSULATED				84.0				22.2		
		STORM DOOR				44.6				44.3		
COMMON				21.6				6.9				
CEILING		UNDER ATTIC	R 19 - 21.9	2,597.		1.9		4,934.3	2,597.		8.4	21,814.8
	R 22 - 29.9				1.7				7.6			
	R 30 & UP				1.5				5.5			
	SINGLE ASSEMBLY NO ATTIC	R 6 - 7.9				5.4				22.6		
		R 8 - 9.9				4.0				17.3		
		R 10 - 11.9				3.5				14.6		
		R 12 - 18.9				2.5				10.6		
		R 19 - 21.9				1.9				8.4		
	COMMON				1.7				2.0			
	FLOOR OVER UNCONDITIONED SPACE	WOOD	R 0 - 6.9			5.8				6.6		
R 7 - 10.9					2.4				2.9			
R 11 - 18.9					2.1					2.3		
R 19 & UP					1.4				1.5			
COMMON												
CONCRETE		R 0 - 2.9				6.8				8.2		
		R 3 - 5.9				4.3				5.7		
		R 6 - 10.9				3.4				3.6		
		R 11 - 18.9				2.3				2.9		
		R 19 & UP				1.5				1.9		
COMMON					1.7				2.0			
SLAB ON GRADE		EDGE INSULATION		PERIMETER		WPM						
		PERIMETER	R 0 - 2.9	248		28.3		7,018.4				
			R 3 - 5.9				20.4					
			R 6 & UP				12.4					

9F WINTER OVERHANG FACTOR (WOF)

FEET	N	NE	E	SE	S	SW	W	NW
0-0.9	1.00	0.99	0.85	0.75	0.83	0.98	1.00	1.00
1-1.9	1.00	0.99	0.85	0.76	0.84	0.98	1.00	1.00
2-2.9	1.00	0.99	0.86	0.77	0.86	0.99	1.00	1.00
3-3.9	1.00	0.99	0.87	0.80	0.87	0.99	1.00	1.00
4-4.9	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00
5-5.9	1.00	0.99	0.91	0.86	0.92	1.00	1.00	1.00
6-6.9	1.00	0.99	0.92	0.90	0.94	1.00	1.00	1.00
7-7.9	1.00	1.00	0.94	0.92	0.96	1.00	1.00	1.00
8-8.9	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00
9-9.9	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00
10-10.9	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00
11-11.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
12 UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

9F SUMMER OVERHANG FACTOR (SOF)

FEET	N	NE	E	SE	S	SW	W	NW
0-0.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.9	1.00	1.00	0.99	0.99	0.98	0.99	0.99	1.00
2-2.9	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.98
3-3.9	1.00	0.95	0.89	0.87	0.86	0.87	0.89	0.95
4-4.9	1.00	0.91	0.84	0.81	0.80	0.81	0.84	0.91
5-5.9	0.99	0.88	0.80	0.76	0.76	0.76	0.80	0.88
6-6.9	0.99	0.85	0.76	0.72	0.72	0.72	0.76	0.85
7-7.9	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83
8-8.9	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81
9-9.9	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-10.9	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78
11-11.9	0.97	0.76	0.63	0.61	0.65	0.61	0.63	0.76
12 UP	0.97	0.76	0.62	0.59	0.64	0.59	0.62	0.76

9G HEATING SYSTEM MULTIPLIER (HSM)

HEAT PUMP	COP	2.2-2.3	2.4-2.5	2.6-2.7	2.8-2.9	3.0-3.1	3.2-3.3	3.4 & UP
	HSM		0.45	0.42	0.38	0.36	0.33	0.31	0.29
SOLAR HEATING SYSTEM	(BACKUP SYSTEM FRACTION) x (BACKUP SYSTEM HSM)							
ELECTRIC STRIP HEAT	1.00							
NATURAL GAS / PROPANE	1.0 (SEE TABLE 9D FOR CREDITS)							
OIL	1.0 (SEE TABLE 9D FOR CREDITS)							

9H COOLING SYSTEM MULTIPLIER (CSM)

ELEC.	EER/SEER	6.8-6.9	7.0-7.4	7.5-7.9	8.0-8.4	8.5-8.9	9.0-9.4	9.5-9.9	10.0-10.4	10.5-10.9	11.0-11.9	12.0-UP
	CSM		1.00	0.93	0.87	0.81	0.76	0.72	0.68	0.65	0.62	0.59	0.54
GAS	COP	0.40-0.44	0.45-0.49	0.50-0.54	0.55-0.59	0.60-0.64	0.65-0.69	0.70 & UP				
	CSM	1.50	1.25	1.20	1.09	1.00	0.92	0.89				

*ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH MINIMUM AIR CONDITIONER EFFICIENCY LEVEL 8.0 SEER/EER FOR STRAIGHT COOL OR 7.5 FOR HEAT PUMPS.

NOTE: EER = COOLING MODE COP x 3.413 = ARI RATED COOLING OUTPUT IN BTUH ÷ TOTAL WATTS CONSUMED

9I HOT WATER CREDIT POINTS (HWCP)

ELECTRIC RESISTANCE WATER HEATER													0
GAS WATER HEATER													10
INSTANTANEOUS WATER HEATER	ELECTRIC BACKUP												4.5
	GAS BACKUP												12.6
HRU (A/C) WATER HEATER	ELECTRIC BACKUP												8.9
	GAS BACKUP												15.2
HRU (HP) WATER HEATER	ELECTRIC BACKUP												9.7
	GAS BACKUP												15.4
HEAT PUMP WATER HEATER (DEDICATED HEAT PUMP)	COP	1.60 - 1.89		1.90 - 2.19		2.20 - 2.49		2.50 - 2.79		2.80 - 3.00			
	CREDIT POINTS	9.0		11.4		13.1		14.4		15.4			
SOLAR HOT WATER	OVERALL SOLAR FRACTION*	0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8	0.9	1.0		
	CREDIT POINTS	ELECTRIC BACKUP	2.4	4.8	7.2	9.6	12.0	14.4	16.8	19.2	21.6	24.0	
		GAS BACKUP	11.4	12.8	14.2	15.6	17.0	18.8	19.8	21.2	22.6	24.0	

*PERCENT OF ANNUAL HOT WATER PROVIDED BY SOLAR SYSTEM ÷ 100 = OVERALL SOLAR FRACTION



**FLORIDA MODEL ENERGY EFFICIENCY CODE
FOR BUILDING CONSTRUCTION**

FORM 902

BOB GRAHAM
GOVERNOR

SECTION 9.9H POINTS METHOD
DEPARTMENT OF COMMUNITY AFFAIRS

CLIMATE ZONES
SOUTH 789

PROJECT NAME AND ADDRESS	MAC DONNELL RES.	JURISDICTION	MARTIN COUNTY
	ZIP	ZONE	8
BUILDER	TRIPP CORPORATION	PERMIT NO.	
OWNER	M/M RUSS MAC DONNELL	JURISDICTION NO.	

STATISTICS

<input type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION <input type="checkbox"/> MULTI-FAMILY	IF MULTI-FAMILY, NO. OF UNITS COVERED BY THIS CALCULATION:		GLASS AREA AND TYPE	
	(SEPARATE CALCULATIONS REQUIRED FOR EACH WORST CASE UNIT TYPE.) SEC. H901.1		CLEAR	TINT OR FILM
			<input type="checkbox"/> SGL <input type="checkbox"/>	<input type="checkbox"/> 729 SGL <input checked="" type="checkbox"/>
			<input type="checkbox"/> DBL <input type="checkbox"/>	<input type="checkbox"/> DBL <input type="checkbox"/>

GROSS WALL AREA AND INSULATION		CONDITIONED FLOOR AREA		CEILING INSULATION	
CBS	R=	FRAME	R=	UNDER ATTIC	SGL. ASSEMBLY
		3864	19	R= 19.0	R=

COOLING SYSTEM		PRIMARY HEATING SYSTEM		PRIMARY HOT WATER SYSTEM	
<input checked="" type="checkbox"/> CENTRAL	<input type="checkbox"/> NONE	<input type="checkbox"/> STRIP	<input type="checkbox"/> GAS	<input checked="" type="checkbox"/> RESISTANCE	<input type="checkbox"/> SOLAR
<input type="checkbox"/> UNITARY		<input type="checkbox"/> OIL	<input type="checkbox"/> SOLAR	<input type="checkbox"/> HEAT RECOVERY	<input type="checkbox"/> GAS
EER-SEER =	10.9	<input checked="" type="checkbox"/> HEAT PUMP: COP =	3.6	<input type="checkbox"/> DED. HEAT PUMP: COP =	
		<input type="checkbox"/> OTHER:		<input type="checkbox"/> OTHER:	

MAX. E.P.I. ALLOWED (from 9A):	80.0	CALCULATED E.P.I.:	41.0
CHECK IF COMPLYING BY "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11)* <input type="checkbox"/>			
CERTIFIED BY:	<i>[Signature]</i>	DATE	3-26-84
FORM COMPLETION CHECKED BY:		DATE	
THIS DATA IS TO BE SENT TO DCA BY THE LOCAL BUILDING DEPARTMENT.			

9A	MAX. E.P.I. ALLOWED (CALCULATED E.P.I. MUST NOT EXCEED VALUE SHOWN BELOW)									
CONDITIONED FLOOR AREA	0-900	901-1100	1101-1300	1301-1500	1501-1700	1701-1900	1901-2100	2101-2300	2301-ABOVE	
BASE E.P.I.	120	115	110	105	100	95	90	85	80	
DEDUCTIONS	A/C EFFICIENCY LESS THAN 8.0 EER/SEER (7.5 HEAT PUMP) (as of October 1, 1982)									-10.0
	IF MULTI-FAMILY: COMMON WALLS (maximum of 5 points)									- 2.5
	IF MULTI-FAMILY: COMMON CEILING and/or FLOOR (maximum of 12 points)									- 6.0
	TOTAL DEDUCTIONS									
COMPUTE MAX. E.P.I. ALLOWED	BASE E.P.I.		DEDUCTIONS		MAX. E.P.I. ALLOWED					
	80		-		0					= 80

*RESIDENCES WHICH COMPLY WITH THIS CODE BY THE "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11) ARE REQUIRED TO MEET OR EXCEED ALL MINIMUM PRESCRIPTIVE LEVELS INDICATED BY SHADED BLOCKS ON THIS FORM, AND ALL OTHER APPLICABLE PRESCRIPTIVE REQUIREMENTS LISTED IN TABLE 9B. THE E.P.I. FOR A HOUSE COMPLYING UNDER THIS METHOD IS NOT CALCULATED BUT WILL BE THE MAXIMUM E.P.I. ALLOWED FOR THAT HOUSE SIZE AS SHOWN ON TABLE 9A. THE STATISTICS SECTION ABOVE SHALL BE COMPLETED AND SUBMITTED TO THE LOCAL BUILDING DEPARTMENT.

9B	PRESCRIPTIVE MEASURES (CHECKLIST)			
INFILTRATION: windows/doors	903.1	HVAC DUCT CONSTRUCTION	903.5	
WATER HEATER - ASHRAE LABEL	903.2	PIPING INSULATION	903.6	
SWIMMING POOLS	903.3	HVAC CONTROLS	903.7	
SHOWER FLOW RESTRICTORS	903.4	HVAC SYSTEM EFFICIENCY SECTION	903.8	
		CEILING INSULATION	903.10	

RESIDENTIAL CALCULATION

CLIMATE ZONES 7 8 9

FORM 902

COMPONENT			WINTER			SUMMER				
			AREA	x	WPM =	GROSS WINTER POINTS	AREA	x	SPM =	GROSS SUMMER POINTS
WALLS	CONCRETE	R 2.7-3.9			6.6			17.5		
		R 4-5.9			5.0			15.0		
		R 6 & UP			4.4			13.9		
	FRAME OR BRICK VENEER	R 11-18.9			2.5			13.9		
		R 19-25.9	3,032.		1.5	4,548.	3,032.	8.6	26,075.2	
		R 26 & UP			1.1			6.5		
	COMMON			2.7				3.8		
	DOORS	WOOD OR METAL		102.5		86.5	8,866.2	102.5	55.4	5,678.5
		INSULATED				84.0			22.2	
		STORM DOOR				44.6			44.3	
COMMON				21.6			6.9			
CEILING		UNDER ATTIC	R 19-21.9	2,597.		1.9	4,934.3	2,597.	8.4	21,814.8
	R 22-29.9				1.7			7.6		
	R 30 & UP				1.5			5.5		
	SINGLE ASSEMBLY NO ATTIC	R 6-7.9			5.4			22.6		
		R 8-9.9			4.0			17.3		
		R 10-11.9			3.5			14.6		
		R 12-18.9			2.5			10.6		
		R 19-21.9			1.9			8.4		
	COMMON			1.7			2.0			
	FLOOR OVER UNCONDITIONED SPACE	WOOD	R 0-6.9			5.8			6.6	
R 7-10.9					2.4			2.9		
R 11-18.9					2.1			2.3		
R 19 & UP					1.4			1.5		
CONCRETE		R 0-2.9			6.8			8.2		
		R 3-5.9			4.3			5.7		
		R 6-10.9			3.4			3.6		
		R 11-18.9			2.3			2.9		
		R 19 & UP			1.5			1.9		
COMMON				1.7			2.0			
SLAB ON GRADE	EDGE INSULATION PERIMETER		248		WPM					
	PERIMETER	R 0-2.9		28.3	7,018.4					
		R 3-5.9		20.4						
		R 6 & UP		12.4						

2 32384

OR	AREA	SGL	DBL	WOF 9F	GWP	OR	AREA	SINGLE		DOUBLE		SOF 9F	GSP
								CLR	TIN	CLR	TIN		
								N	209.5	5.5.4	38.5			1.0	11,606.3	N	209.5	204	176	163	139	1.0	36,872.
NE		5.5.4	38.5			NE		309	264	258	218		
E	134.1	5.5.4	38.5	.89	6,611.9	E	134.1	425	360	362	304	.84	40,551.8
SE		5.5.4	38.5			SE		418	354	355	298		
S		5.5.4	38.5			S		346	294	287	242		
SW		5.5.4	38.5			SW		418	354	355	298		
W	187.7	5.5.4	38.5	1.0	10,398.6	W	187.7	425	360	362	304	.84	56,760.5
NW		5.5.4	38.5			NW		309	264	258	218		
H		22.6	6.8			H		720	605	627	524		
E	42.	55.4		.94	2,187.2	E	42.		360			.72	10,886.4
W	96.	55.4		1.0	5,318.4	W	96.		360			.62	21,427.2
ALL WOOD LOUVERED WINDOWS ARE TREATED AS NORTH BRONZE GLASS													

GLASS AREA MUST NOT EXCEED: SGL/CLR 15% OF FLOOR AREA, SGL/TINT 17% OF FLOOR AREA, DBL/CLR 18% OF FLOOR AREA, DBL/TINT 20% OF FLOOR AREA.

H = HORIZONTAL GLASS (SKYLIGHTS). FOR SC LESS THAN 0.83 SEE SEC. 902.2d

TOTAL GROSS WINTER POINTS. 61,489.3

TOTAL GROSS SUMMER POINTS 220,066.5

DUCT MULT	R = 3.5	61,489.3	1.15	70,712.7
	R = 5.0		1.12	
	R = 6.7		1.09	
	DUCT IN COND SPACE		1.00	

DUCT MULT	R = 3.5	220,066.5	1.15	253,076.5
	R = 5.0		1.12	
	R = 6.7		1.09	
	DUCT IN COND SPACE		1.00	

HSM FROM 9G $70,712.7 \times .29$ 20,506.7

CSM FROM 9H $253,076.5 \times .65$ 164,499.7

DIVIDE BY FLOOR AREA $20,506.7 \div 4,113$ 4.99 WINTER POINTS

DIVIDE BY FLOOR AREA $164,499.7 \div 4,113$ 40.0 SUMMER POINTS

CALCULATE E.P.I.

WINTER POINTS 4.99 + SUMMER POINTS 40.0 - HOT WTR PTS 0 (9I) - CREDIT POINTS 12 (9C) + PENALTY POINTS 8 (9E) = E.P.I. 41.0

FEWER TOTAL POINTS ARE ENCOURAGED FOR MAXIMUM ENERGY SAVINGS

9C DESIGN CREDIT POINTS (CP)

CEILING FAN IN COND SPACE (max 5 CP)	1	4
MULTIZONE A/C SEPARATED BY DOOR	5	5
CROSS VENTILATION (1 CP per room)	1	5
WHOLE HOUSE FAN (min. 1.5 cfm/s.f.)	5	
WOOD STOVE	2	
FIREPLACE with outside combustion air	2	
9C TOTAL (not to exceed 12 points)		12

9D HEATING SYSTEM CREDIT POINTS

NATURAL GAS/PROPANE HEATING	8.0
OIL HEATING	6.4

9E DESIGN PENALTY POINTS

WASHER AND DRYER IN COND SPACE	3
TOTAL GLASS OPENS LESS THAN 40%	5
FIREPLACE W/ INSIDE COMBUSTION AIR	5

9F WINTER OVERHANG FACTOR (WOF)

FEET	N	NE	E	SE	S	SW	W	NW
0-0.9	1.00	0.99	0.85	0.75	0.83	0.98	1.00	1.00
1-1.9	1.00	0.99	0.85	0.76	0.84	0.98	1.00	1.00
2-2.9	1.00	0.99	0.86	0.77	0.86	0.99	1.00	1.00
3-3.9	1.00	0.99	0.87	0.80	0.87	0.99	1.00	1.00
4-4.9	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00
5-5.9	1.00	0.99	0.91	0.86	0.92	1.00	1.00	1.00
6-6.9	1.00	0.99	0.92	0.90	0.94	1.00	1.00	1.00
7-7.9	1.00	1.00	0.94	0.92	0.96	1.00	1.00	1.00
8-8.9	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00
9-9.9	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00
10-10.9	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00
11-11.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
12 UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

9F SUMMER OVERHANG FACTOR (SOF)

FEET	N	NE	E	SE	S	SW	W	NW
0-0.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.9	1.00	1.00	0.99	0.99	0.98	0.99	0.99	1.00
2-2.9	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.98
3-3.9	1.00	0.95	0.89	0.87	0.86	0.87	0.89	0.95
4-4.9	1.00	0.91	0.84	0.81	0.80	0.81	0.84	0.91
5-5.9	0.99	0.88	0.80	0.76	0.76	0.76	0.80	0.88
6-6.9	0.99	0.85	0.76	0.72	0.72	0.72	0.76	0.85
7-7.9	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83
8-8.9	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81
9-9.9	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-10.9	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78
11-11.9	0.97	0.76	0.63	0.61	0.65	0.61	0.63	0.76
12 UP	0.97	0.76	0.62	0.59	0.64	0.59	0.62	0.76

9G HEATING SYSTEM MULTIPLIER (HSM)

HEAT PUMP	COP	2.2-2.3	2.4-2.5	2.6-2.7	2.8-2.9	3.0-3.1	3.2-3.3	3.4 & UP
	HSM		0.45	0.42	0.38	0.36	0.33	0.31	0.29
SOLAR HEATING SYSTEM	(BACKUP SYSTEM FRACTION) x (BACKUP SYSTEM HSM)							
ELECTRIC STRIP HEAT	1.00							
NATURAL GAS / PROPANE	1.0 (SEE TABLE 9D FOR CREDITS)							
OIL	1.0 (SEE TABLE 9D FOR CREDITS)							

9H COOLING SYSTEM MULTIPLIER (CSM)

ELEC.	EER/SEER	6.8-6.9	7.0-7.4	7.5-7.9	8.0-8.4	8.5-8.9	9.0-9.4	9.5-9.9	10.0-10.4	10.5-10.9	11.0-11.9	12.0-UP			
	CSM		1.00	0.93	0.87	0.81	0.76	0.72	0.68	0.65	0.62	0.59	0.54		
GAS	COP	0.40-0.44		0.45-0.49		0.50-0.54		0.55-0.59		0.60-0.64		0.65-0.69		0.70 & UP	
	CSM	1.50		1.25		1.20		1.09		1.00		0.92		0.89	

*ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH MINIMUM AIR CONDITIONER EFFICIENCY LEVEL 8.0 SEER/EER FOR STRAIGHT COOL OR 7.5 FOR HEAT PUMPS.

NOTE: EER = COOLING MODE COP x 3.413 = ARI RATED COOLING OUTPUT IN BTUH ÷ TOTAL WATTS CONSUMED

9I HOT WATER CREDIT POINTS (HWCP)

ELECTRIC RESISTANCE WATER HEATER													0	
GAS WATER HEATER													10	
INSTANTANEOUS WATER HEATER	ELECTRIC BACKUP												4.5	
	GAS BACKUP												12.6	
HRU (A/C) WATER HEATER	ELECTRIC BACKUP												8.9	
	GAS BACKUP												15.2	
HRU (HP) WATER HEATER	ELECTRIC BACKUP												9.7	
	GAS BACKUP												15.4	
HEAT PUMP WATER HEATER (DEDICATED HEAT PUMP)	COP	1.60 - 1.89		1.90 - 2.19		2.20 - 2.49		2.50 - 2.79		2.80 - 3.00				
	CREDIT POINTS	9.0		11.4		13.1		14.4		15.4				
SOLAR HOT WATER	OVERALL SOLAR FRACTION*	0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8	0.9	1.0			
	CREDIT POINTS	ELECTRIC BACKUP	2.4	4.8	7.2	9.6	12.0	14.4	16.8	19.2	21.6	24.0		
		GAS BACKUP	11.4	12.8	14.2	15.6	17.0	18.8	19.8	21.2	22.6	24.0		

*PERCENT OF ANNUAL HOT WATER PROVIDED BY SOLAR SYSTEM ÷ 100 = OVERALL SOLAR FRACTION



**FLORIDA MODEL ENERGY EFFICIENCY CODE
FOR BUILDING CONSTRUCTION**

FORM 902
BOB GRAHAM
GOVERNOR

SECTION 9.9H POINTS METHOD
DEPARTMENT OF COMMUNITY AFFAIRS

CLIMATE ZONES
SOUTH 7 8 9

PROJECT NAME AND ADDRESS	MAC DONNELL RES.	JURISDICTION	MARTIN COUNTY
	ZIP	ZONE	8
BUILDER	TRIPP CORPORATION	PERMIT NO.	
OWNER	M/M RUSS MAC DONNELL	JURISDICTION NO.	

STATISTICS

<input type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION <input type="checkbox"/> MULTI-FAMILY	IF MULTI-FAMILY, NO. OF UNITS COVERED BY THIS CALCULATION:		GLASS AREA AND TYPE	
	(SEPARATE CALCULATIONS REQUIRED FOR EACH WORST CASE UNIT TYPE.) SEC. H901.1		CLEAR	TINT OR FILM
			SGL	
			DBL	

GROSS WALL AREA AND INSULATION				CONDITIONED FLOOR AREA	CEILING INSULATION	
CBS	R=	FRAME	R=		UNDER ATTIC	SGL ASSEMBLY
					R=	R=
		3864	19	4113	19.0	

COOLING SYSTEM		PRIMARY HEATING SYSTEM			PRIMARY HOT WATER SYSTEM		
<input checked="" type="checkbox"/> CENTRAL	<input type="checkbox"/> NONE	<input type="checkbox"/> STRIP	<input type="checkbox"/> GAS	<input type="checkbox"/> NONE	<input checked="" type="checkbox"/> RESISTANCE	<input type="checkbox"/> SOLAR	
<input type="checkbox"/> UNITARY		<input type="checkbox"/> OIL	<input type="checkbox"/> SOLAR		<input type="checkbox"/> HEAT RECOVERY	<input type="checkbox"/> GAS	
EER-SEER =	10.9	<input checked="" type="checkbox"/> HEAT PUMP: COP =	3.6		<input type="checkbox"/> DED. HEAT PUMP: COP =		
		<input type="checkbox"/> OTHER:			<input type="checkbox"/> OTHER:		

MAX. E.P.I. ALLOWED (from 9A):	80.0	CALCULATED E.P.I.:	41.0
CHECK IF COMPLYING BY "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11)* <input type="checkbox"/>			
CERTIFIED BY:	<i>[Signature]</i>	DATE	3-26-84
	(owner/agent)	FORM COMPLETION CHECKED BY:	(building official)
THIS DATA IS TO BE SENT TO DCA BY THE LOCAL BUILDING DEPARTMENT.			

9A	MAX. E.P.I. ALLOWED (CALCULATED E.P.I. MUST NOT EXCEED VALUE SHOWN BELOW)								
CONDITIONED FLOOR AREA	0-900	901-1100	1101-1300	1301-1500	1501-1700	1701-1900	1901-2100	2101-2300	2301-ABOVE
BASE E P I	120	115	110	105	100	95	90	85	80
DEDUCTIONS	A/C EFFICIENCY LESS THAN 8.0 EER/SEER (7.5 HEAT PUMP) (as of October 1, 1982)								
	IF MULTI-FAMILY: COMMON WALLS (maximum of 5 points)								
	IF MULTI-FAMILY: COMMON CEILING and/or FLOOR (maximum of 12 points)								
	TOTAL DEDUCTIONS								
COMPUTE MAX. E.P.I. ALLOWED	BASE E.P.I.			DEDUCTIONS			MAX. E.P.I. ALLOWED		
	80			0			= 80		

*RESIDENCES WHICH COMPLY WITH THIS CODE BY THE "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11) ARE REQUIRED TO MEET OR EXCEED ALL MINIMUM PRESCRIPTIVE LEVELS INDICATED BY SHADED BLOCKS ON THIS FORM, AND ALL OTHER APPLICABLE PRESCRIPTIVE REQUIREMENTS LISTED IN TABLE 9B. THE E.P.I. FOR A HOUSE COMPLYING UNDER THIS METHOD IS NOT CALCULATED BUT WILL BE THE MAXIMUM E.P.I. ALLOWED FOR THAT HOUSE SIZE AS SHOWN ON TABLE 9A. THE STATISTICS SECTION ABOVE SHALL BE COMPLETED AND SUBMITTED TO THE LOCAL BUILDING DEPARTMENT.

9B	PRESCRIPTIVE MEASURES (CHECKLIST)			
INFILTRATION: windows/doors	903.1	HVAC DUCT CONSTRUCTION	903.5	
WATER HEATER - ASHRAE LABEL	903.2	PIPING INSULATION	903.6	
SWIMMING POOLS	903.3	HVAC CONTROLS	903.7	
SHOWER FLOW RESTRICTORS	903.4	HVAC SYSTEM EFFICIENCY SECTION	903.8	
		CEILING INSULATION	903.10	

RESIDENTIAL CALCULATION

CLIMATE ZONES 7 8 9

FORM 902

COMPONENT			WINTER			SUMMER						
			AREA	x WPM	=	GROSS WINTER POINTS	AREA	x SPM	=	GROSS SUMMER POINTS		
WALLS	CONCRETE	R 2.7 - 3.9				6.6				17.5		
		R 4-5.9				5.0				15.0		
		R 6 & UP				4.4				13.9		
	FRAME OR BRICK VENEER	R 11 - 18.9				2.5				13.9		
		R 19-25.9		3,032.		1.5	4,548.	3,032.		8.6	26,075.2	
		R 26 & UP				1.1				6.5		
	COMMON				2.7				3.8			
	DOORS	WOOD OR METAL		102.5			86.5	8,866.2	102.5		55.4	5,678.5
		INSULATED					84.0				22.2	
		STORM DOOR					44.6				44.3	
COMMON					21.6				6.9			
CEILING		UNDER ATTIC	R 18 - 21.9	2,597.			1.9	4,934.3	2,597.		8.4	21,814.8
	R 22-29.9					1.7				7.6		
	R 30 & UP					1.5				5.5		
	SINGLE ASSEMBLY	NO ATTIC	R 6-7.9				5.4				22.6	
			R 8-9.9				4.0				17.3	
			R 10-11.9				3.5				14.6	
			R 12-18.9				2.5				10.6	
			R 19 - 21.9				1.9				8.4	
	COMMON				1.7				2.0			
	FLOOR OVER UNCONDITIONED SPACE	WOOD	R 0-6.9				5.8				6.6	
R 7-10.9						2.4				2.9		
R 11 - 18.9						2.1				2.3		
R 19 & UP						1.4				1.5		
CONCRETE		R 0-2.9				6.8				8.2		
		R 3-5.9				4.3				5.7		
		R 6-10.9				3.4				3.6		
		R 11 - 18.9				2.3				2.9		
		R 19 & UP				1.5				1.9		
COMMON					1.7				2.0			
SLAB ON GRADE	EDGE INSULATION		PERIMETER	WPM								
	PERIMETER	R 0 - 2.9	248		28.3	7,018.4						
		R 3-5.9			20.4							
		R 6 & UP			12.4							

2 32384

9F WINTER OVERHANG FACTOR (WOF)

FEET	N	NE	E	SE	S	SW	W	NW
0-0.9	1.00	0.99	0.85	0.75	0.83	0.98	1.00	1.00
1-1.9	1.00	0.99	0.85	0.76	0.84	0.98	1.00	1.00
2-2.9	1.00	0.99	0.86	0.77	0.86	0.99	1.00	1.00
3-3.9	1.00	0.99	0.87	0.80	0.87	0.99	1.00	1.00
4-4.9	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00
5-5.9	1.00	0.99	0.91	0.86	0.92	1.00	1.00	1.00
6-6.9	1.00	0.99	0.92	0.90	0.94	1.00	1.00	1.00
7-7.9	1.00	1.00	0.94	0.92	0.96	1.00	1.00	1.00
8-8.9	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00
9-9.9	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00
10-10.9	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00
11-11.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
12 UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

9F SUMMER OVERHANG FACTOR (SOF)

FEET	N	NE	E	SE	S	SW	W	NW
0-0.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.9	1.00	1.00	0.99	0.99	0.98	0.99	0.99	1.00
2-2.9	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.98
3-3.9	1.00	0.95	0.89	0.87	0.86	0.87	0.89	0.95
4-4.9	1.00	0.91	0.84	0.81	0.80	0.81	0.84	0.91
5-5.9	0.99	0.88	0.80	0.76	0.76	0.76	0.80	0.88
6-6.9	0.99	0.85	0.76	0.72	0.72	0.72	0.76	0.85
7-7.9	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83
8-8.9	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81
9-9.9	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-10.9	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78
11-11.9	0.97	0.76	0.63	0.61	0.65	0.61	0.63	0.76
12 UP	0.97	0.76	0.62	0.59	0.64	0.59	0.62	0.76

9G HEATING SYSTEM MULTIPLIER (HSM)

HEAT PUMP	COP	2.2-2.3	2.4-2.5	2.6-2.7	2.8-2.9	3.0-3.1	3.2-3.3	3.4 & UP
	HSM	0.45	0.42	0.38	0.36	0.33	0.31	0.29
SOLAR HEATING SYSTEM	(BACKUP SYSTEM FRACTION) x (BACKUP SYSTEM HSM)							
ELECTRIC STRIP HEAT	1.00							
NATURAL GAS / PROPANE	1.0 (SEE TABLE 9D FOR CREDITS)							
OIL	1.0 (SEE TABLE 9D FOR CREDITS)							

9H COOLING SYSTEM MULTIPLIER (CSM)

ELEC.	EER/SEER	6.8-6.9	7.0-7.4	7.5-7.9	8.0-8.4	8.5-8.9	9.0-9.4	9.5-9.9	10.0-10.4	10.5-10.9	11.0-11.9	12.0-UP
	CSM	1.00	0.93	0.87	0.81	0.76	0.72	0.68	0.65	0.62	0.59	0.54
GAS	COP	0.40-0.44	0.45-0.49	0.50-0.54	0.55-0.59	0.60-0.64	0.65-0.69	0.70 & UP				
	CSM	1.50	1.25	1.20	1.09	1.00	0.92	0.89				

*ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH MINIMUM AIR CONDITIONER EFFICIENCY LEVEL 8.0 SEER/EER FOR STRAIGHT COOL OR 7.5 FOR HEAT PUMPS.
 NOTE: EER = COOLING MODE COP x 3.413 = ARI RATED COOLING OUTPUT IN BTUH ÷ TOTAL WATTS CONSUMED

9I HOT WATER CREDIT POINTS (HWCP)

ELECTRIC RESISTANCE WATER HEATER													0
GAS WATER HEATER													10
INSTANTANEOUS WATER HEATER	ELECTRIC BACKUP												4.5
	GAS BACKUP												12.6
HRU (A/C) WATER HEATER	ELECTRIC BACKUP												8.9
	GAS BACKUP												15.2
HRU (HP) WATER HEATER	ELECTRIC BACKUP												9.7
	GAS BACKUP												15.4
HEAT PUMP WATER HEATER (DEDICATED HEAT PUMP)	COP	1.60 - 1.89	1.90 - 2.19	2.20 - 2.49	2.50 - 2.79	2.80 - 3.00							
	CREDIT POINTS	9.0	11.4	13.1	14.4	15.4							
SOLAR HOT WATER	OVERALL SOLAR FRACTION*	0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8	0.9	1.0		
	CREDIT POINTS	ELECTRIC BACKUP	2.4	4.8	7.2	9.6	12.0	14.4	16.8	19.2	21.6	24.0	
		GAS BACKUP	11.4	12.8	14.2	15.6	17.0	18.8	19.8	21.2	22.6	24.0	

*PERCENT OF ANNUAL HOT WATER PROVIDED BY SOLAR SYSTEM ÷ 100 = OVERALL SOLAR FRACTION

Requirements for Building Permits

- 1- Florida Certification of Builder and subs
- ✓ 2- Certificate of Insurance from Contractor or Owner Builder for liability and workmen's compensation.
- ✓ 3- 3 sets of plans - including sections N-S-E-W electrical & plumbing layout
- ✓ 4- Warranty Deed showing ownership
- ✓ 5- Septic tank permit and one drawing with Health Dept Seal
- ✓ 6- Energy Code Calculations
- 7- Show elevation of lowest living area and to conform to elevations on the flood map.

March 30, 1984

To Whom It May Concern,

The Tripp Corporation will not construct the block planters as shown on the drawings by Stinson & Murphy for Mr. & Mrs. Russ MacDonnell. Upon review by the Sewall's Point Building Department, The Tripp Corporation will complete the planter wall as determined by the Sewall's Point Building Department and Stinson & Murphy.

Sincerely,

William H. Tripp

William H. Tripp
President, The Tripp Corporation

WT/ms

*LOWEST Air Conditioned L.A. ^(Floor) will be
8'-0" above
MSL.*

*Structure (other than chimney) will not exceed
35'-0" above MSL or 27'-0" above
elevation 8'-0" MSL*

**THE TRIPP
CORPORATION**

1689

7
February 15, 1984

Sewalls Point Building Dept.
Sewalls Point, Florida

To Whom It May Concern,

Enclosed you will find a site plan of the proposed residence for Mr. and Mrs. MacDonnell on LOT. 81 S.E. Island Road, Sewalls Point Florida.

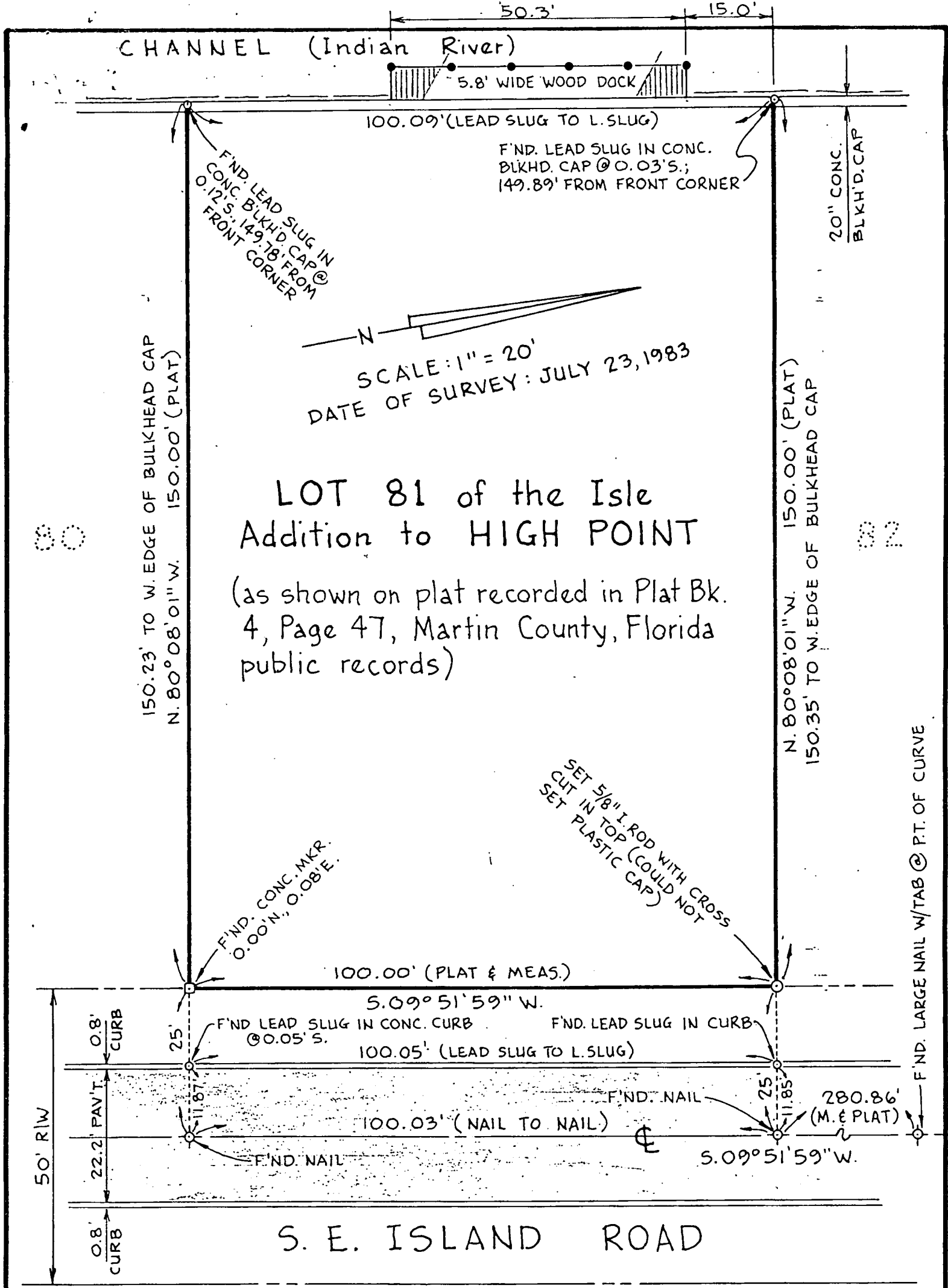
We are hoping to obtain a variance for the 35' rear set back requirement. As you can see the pool is outside the 50' limitation. We would greatly appreciate the permission to construct the pool as shown on the enclosed site plan.

Sincerely,

William H. Tripp

William H. Tripp
The Tripp Corporation

WT/ms



I hereby certify that the plat shown hereon is a true and correct representation of a survey made by me and that said survey is accurate to the best of my knowledge and belief and that, unless otherwise shown, there are no encroachments.

Arthur Speedy
Arthur Speedy, R. L. S., Fla. Cert. No. 3343

ARTHUR SPEEDY
Registered Land Surveyor
Florida Certificate No. 3343
STUART, FLORIDA

MAP OF SURVEY • LOT 81
Isle Add'n. to HIGH POINT
Town of SEWALL'S POINT, FLA.
for: Mr. MacDonnell

360 This Quit-Claim Deed, Executed this day of April, A. D. 19 83, by

Nancy Lewis Burdick as Ancilliary Personal Representative of the Estate of Arthur H. W. Lewis, deceased first party, to

Nicholas DiTerlizzi, Trustee

whose postoffice address is 3901 Southeast St. Lucie Boulevard, Stuart, Florida, 33494

second party:

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth, That the said first party, for and in consideration of the sum of \$10.00 in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Martin State of Florida to-wit:

Lot 81, ISLE ADDITION TO HIGH POINT, according to the plat thereof, recorded in Plat Book 4, Page 47, public records of Martin County, Florida.

SUBJECT to restrictions, conditions, limitations, easements and reservations of record.

RECORDED
MAY 24 1983

STATE OF FLORIDA
DOCUMENTARY
DEPT. OF REVENUE
MAY 24 1983

Handwritten signature/initials

83 MAY 24 P12: 34

To Have and to Hold the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

In Witness Whereof, The said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of:

James P. Caffrey (Handwritten signature)

Nancy Lewis Burdick (Handwritten signature) LS

STATE OF ~~XXXXXX~~ RHODE ISLAND
COUNTY OF WASHINGTON

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared Nancy Lewis Burdick as Ancilliary Personal Representative of the Estate of Arthur H. W. Lewis, deceased to me known to be the person described in and who executed the foregoing instrument and she acknowledged before me that she executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 6th day of MAY A. D. 19 83

Notary Seal: MAY 24 1983

BOOK 571 PAGE 1740

My Commission Expires on 30 JUNE 1983

This instrument prepared by: Loren E. Bodem, Chartered
Address 421 Martin Avenue, Stuart, Florida, 33494

Send Back
To H.O. with
Permit #

MARTIN COUNTY PUBLIC HEALTH UNIT
131 East 7th Street
Stuart, Florida 33497
287-2277

STUBOUT ELEVATION AND FILL CERTIFICATION

APPLICANT: MACDONNELL
LEGAL DESCRIPTION: L. 81 ISLE ADDN TO HIGH POINT
SEPTIC TANK PERMIT NUMBER: HD 84-122

The items noted below must be certified by a surveyor or engineer and returned to the Health Department prior to the first plumbing inspection by the Building Department.

- 1. Building Permit Number: _____
- ___ 2. I certify that the elevation of the top of the lowest plumbing stubout is at or above the approved elevation as shown on the septic tank permit application. Date elevation checked: _____
- ___ 3. I certify that the top of the lowest building plumbing stubout is _____ feet above the crown of road.
- ___ 4. I certify that an average depth of _____ feet of compacted fill presently exists above natural grade in the area of the proposed septic system. Surface area of fill observed in area of proposed septic system _____ square feet. A minimum of 150 square feet of filled surface area is required per bedroom. Date fill observed: _____
- ___ 5. I certify that all severe limited soil has been removed from an area of _____ feet by _____ feet to a minimum depth of _____ feet below filled grade or that the results of at least four (4) soil borings at the above boundary corners of the proposed septic system indicate that severe limited soils do not exist. Date observed: _____

- NOTE: a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
- b. Drainfield should be centered in the excavated area. Please set stakes to identify the excavated area boundaries.

CERTIFIED BY: _____ As applicant or applicant's representative, I understand the above requirements.

Florida Professional Number: _____

Date: _____ Job Number: _____ (Signature) _____

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

Signature of Sanitarian Date



APPLICATION FOR SEPTIC TANK PERMIT AND FINAL INSPECTION FORM

Permit VOID if well or septic system is installed in a location other than area permitted. HEALTH DEPARTMENT APPROVAL REQUIRED

Authority: Chapter 381, 386, 387 FS Chapter 100-B FAC

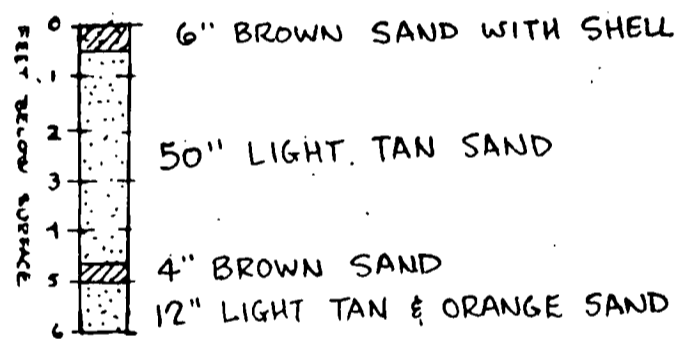
Permit Number HD 84-122

Name of Applicant Russ MacDonnell Telephone (203) 655-9501
Mailing Address of Applicant 128 Colony Road Dearien, Connecticut 06820
To Be Installed at: (Give Street Address)* S.E. Island Rd. Sewall's Pt.
Lot 81 Block — Subdivision Isle Addition to HIGH POINT
Plat Book & Page P.Bk. 4, Pg. 47 Date Recorded Jan. 1966
Residential: No. living units ONE No. Bedrooms THREE
Commercial: Type of Business — No. People — No. Toilets —
*Note: Attach site location map and other supportive documents.
Signature of applicant —

SITE INFORMATION

Is there a private well within 75 ft. of the proposed septic system? NO
Is there a public well within 100 ft. of the proposed septic system? NO
Is there a public sewer within 100 ft. of the proposed lot?..... NO
Is there a lake, stream, canal or other body water within 50 ft. of the proposed septic system? NO
Is there a septic system or other interference within 75 ft. of the proposed private well? NO WELL
Is the proposed or existing public water line within 10 ft. of the proposed septic system? NO
There is 770 square feet of unobstructed land for future expansion of the drainfield.

SOIL PROFILE AND PERCOLATION DATA



USDA soil type: CANAVERAL SAND, 0-5% SL.
USDA symbol # 28

NOTE: If fill is required to obtain proper elevation, fill permit must be obtained from Martin County Building Division.

Certified by: Arthur Feedy
Fla. Professional No.: 3343 R.L.S.
Date: 7-23-83 Job No. 070383
Percolation Rate — Min/Inch
REVISED 3-7-84
a.s. Sheet 1 of 4

INSTALLATION SPECIFICATIONS

Septic Tank Capacity 900 Gallons Absorption Bed size: 300 Square Ft.
Dosing Tank Capacity — Gallons Lateral Drainfield size — Square Ft.
Grease trap Capacity — Gallons Sand Filter size: — Square Ft.

3-9-84
Date Processed

Specifications:
TOP OF BUILDING STUB OUT IS REQUIRED TO BE A MINIMUM ELAVATION OF 14" ABOVE CROWN OF ROAD

TOP OF SEPTIC TANK IS REQUIRED TO BE A MINIMUM ELEVATION OF 18" ABOVE CROWN OF ROAD

THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

Robert B. Washburn, R.S.
Signature of Sanitarian

Martin County Health Department

FINAL INSPECTION DATA

Date and Time of Inspection — Type of Tank (Concrete, Fiber-glass, Etc.) —
Size Tank Installed — Drainfield Size —
Dosing Tank Size — Grease Trap Size — Sand Filter Size —
Who Made Installation —

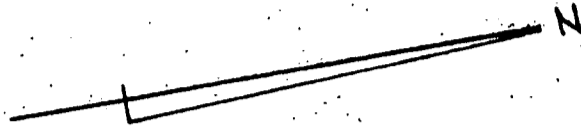
RECOMMENDATION: Approval Disapproval

Signature of Sanitarian

**INDIVIDUAL SEWAGE DISPOSAL FACILITIES
DATA SHEET**

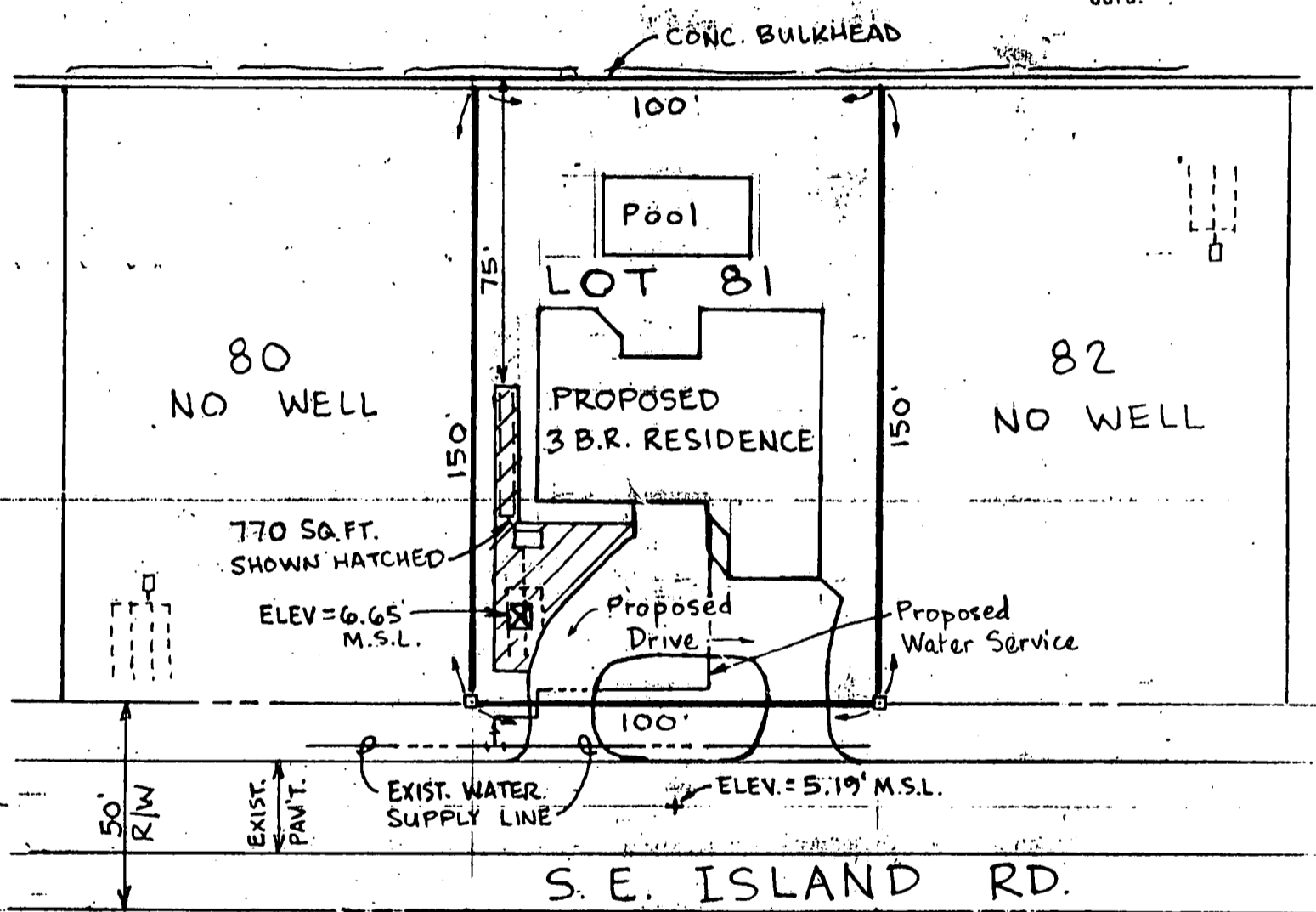
Location: Lot 81, Isle Add'n to HIGH POINT, S.E. Island Rd. Sewall's Point Applicant: Russ MacDonnell
County: Martin

NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.



← Plot plan must show all data required in 10D-6.03 2(a) and all other pertinent data.

CHANNEL (Indian River)



S. E. ISLAND RD.

75

VACANT
74

VACANT
73

PLAN
SCALE: 1" = 40'

LEGEND

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

CERTIFIED BY: Arthur Speedy
FLORIDA PROFESSIONAL No. 3343 R.L.S.
Date 7-26-83 Job No. 070383
REVISED 3-7-84 Sheet 2 of 4
a.s.

SITE INFORMATION

APPLICANT: Russ MacDonnell

LEGAL DESCRIPTION: Lot 81, Isle Addition to HIGH POINT

1. Present water depth 6' feet below natural grade, not including fill.
2. Wet season water depth 5' feet below natural grade, not including fill.
3. Elevation of crown of road, midway between front lot boundary 5.19. If road is not paved, another permanent reference point must be noted. Show location on plot plan.
4. Elevation of natural grade at soil boring in area of proposed septic system 6.65.
5. Are all wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicants lot shown on plot plan? YES
6. Is there a storm water retention area within 15 feet of the proposed septic system? NO
7. Is the septic system in an area proposed for paving? NO
8. Attach site location map or explain directions to site below:

SEE ATTACHED SITE LOCATION MAP

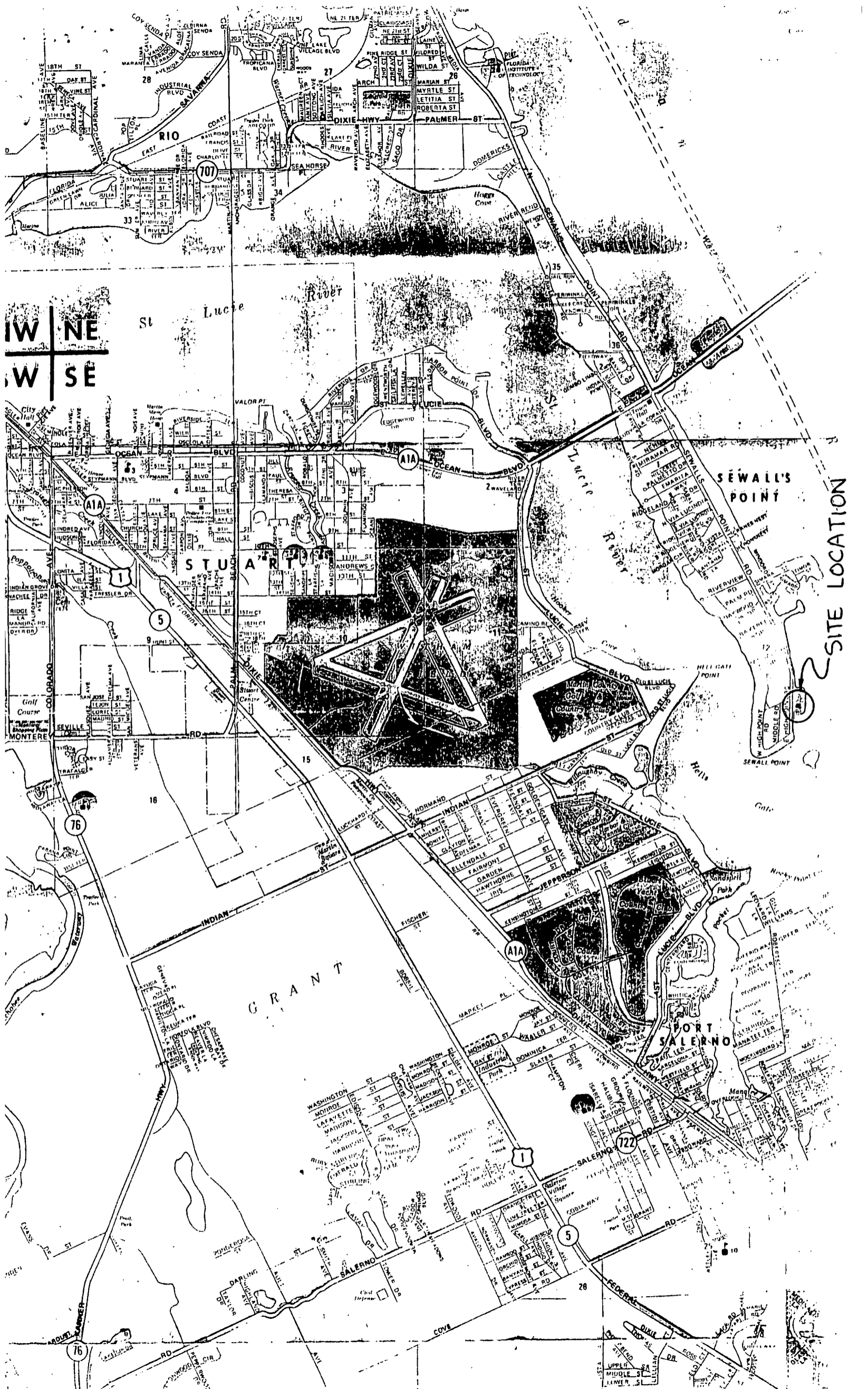
CERTIFIED BY: Arthur Speedy

Florida Professional Number: 3343 R.L.S.

Date: 7-26-83 Job Number: 070383

REVISED 3-7-84

a.s.



W NE
W SE

SITE LOCATION

CHANNEL (Indian River)

50.3' 15.0'

5.8' WIDE WOOD DOCK

100.09' (LEAD SLUG TO L. SLUG)

F'ND. LEAD SLUG IN CONC. BLKHD. CAP @ 0.03'S.; 149.89' FROM FRONT CORNER

F'ND. LEAD SLUG IN CONC. BLKHD. CAP @ 0.12'S.; 149.78' FROM FRONT CORNER

20" CONC. BLKHD. CAP



SCALE: 1" = 20'
DATE OF SURVEY: JULY 23, 1983

LOT 81 of the Isle Addition to HIGH POINT

(as shown on plat recorded in Plat Bk. 4, Page 47, Martin County, Florida public records)

150.23' TO W. EDGE OF BULKHEAD CAP
N. 80° 08' 01" W. 150.00' (PLAT)

N. 80° 08' 01" W. 150.00' (PLAT)
150.35' TO W. EDGE OF BULKHEAD CAP

SET 5/8" I. ROD WITH CROSS CUT IN TOP (COULD NOT SET PLASTIC CAP)

F'ND. CONC. MKR. 0.00' N., 0.08' E.

100.00' (PLAT & MEAS.)

S. 09° 51' 59" W.

F'ND. LEAD SLUG IN CONC. CURB @ 0.05' S.

F'ND. LEAD SLUG IN CURB

100.05' (LEAD SLUG TO L. SLUG)

F'ND. NAIL

280.86' (M. & PLAT)

100.03' (NAIL TO NAIL)

F'ND. NAIL

S. 09° 51' 59" W.

F'ND. LARGE NAIL W/TAB @ P.T. OF CURVE

50' R/W

0.8' CURB

22.2' PAV'T.

0.8' CURB

S. E. ISLAND ROAD

I hereby certify that the plat shown hereon is a true and correct representation of a survey made by me and that said survey is accurate to the best of my knowledge and belief and that, unless otherwise shown, there are no encroachments.

Arthur Speedy, R. L. S., Fla. Cert. No. 3343



**FLORIDA MODEL ENERGY EFFICIENCY CODE
FOR BUILDING CONSTRUCTION**

FORM 902
BOB GRAHAM
GOVERNOR

SECTION 9.9H POINTS METHOD
DEPARTMENT OF COMMUNITY AFFAIRS

CLIMATE ZONES
SOUTH 789

PROJECT NAME AND ADDRESS	MAC DONNELL RESIDENCE ZIP	JURISDICTION	SUBWALL POINT MARTIN COUNTY
BUILDER	TRIPP CORPORATION	PERMIT NO.	1689
OWNER	M/M RUSS MAC DONNELL	JURISDICTION NO.	530000

STATISTICS

<input type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION <input type="checkbox"/> MULTI-FAMILY	IF MULTI-FAMILY, NO. OF UNITS COVERED BY THIS CALCULATION:	<input type="text"/> <input type="text"/> <input type="text"/>	GLASS AREA AND TYPE	
	(SEPARATE CALCULATIONS REQUIRED FOR EACH WORST CASE UNIT TYPE.) SEC. H901.1		CLEAR	TINT OR FILM
			<input type="text"/> <input type="text"/> <input type="text"/> SGL <input type="checkbox"/>	<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> SGL <input checked="" type="checkbox"/>
		<input type="text"/> <input type="text"/> <input type="text"/> DBL <input type="checkbox"/>	<input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> DBL <input type="checkbox"/>	

GROSS WALL AREA AND INSULATION				CONDITIONED FLOOR AREA		CEILING INSULATION	
CBS	R=	FRAME	R=			UNDER ATTIC	SGL. ASSEMBLY
<input type="text"/>	<input type="text"/>	3864	19	4113		R= 19.0	R= <input type="text"/>

COOLING SYSTEM		PRIMARY HEATING SYSTEM			PRIMARY HOT WATER SYSTEM		
<input checked="" type="checkbox"/> CENTRAL	<input type="checkbox"/> NONE	<input type="checkbox"/> STRIP	<input type="checkbox"/> GAS	<input type="checkbox"/> NONE	<input checked="" type="checkbox"/> RESISTANCE	<input type="checkbox"/> SOLAR	
<input type="checkbox"/> UNITARY		<input type="checkbox"/> OIL	<input type="checkbox"/> SOLAR		<input type="checkbox"/> HEAT RECOVERY	<input type="checkbox"/> GAS	
EER-SEER = <input type="text"/>		<input checked="" type="checkbox"/> HEAT PUMP: COP = <input type="text"/>			<input type="checkbox"/> DED. HEAT PUMP: COP = <input type="text"/>		
		<input type="checkbox"/> OTHER: _____			<input type="checkbox"/> OTHER: _____		

MAX. E.P.I. ALLOWED (from 9A):	80.0	CALCULATED E.P.I.:	59.9
CHECK IF COMPLYING BY "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11)* <input type="checkbox"/>			
CERTIFIED BY:	<i>James Murphy</i> (owner/agent)	DATE:	2-27-84
		FORM COMPLETION CHECKED BY:	<i>Massucca</i> (building official)
			DATE: 4/2/84
THIS DATA IS TO BE SENT TO DCA BY THE LOCAL BUILDING DEPARTMENT.			

9A	MAX. E.P.I. ALLOWED (CALCULATED E.P.I. MUST NOT EXCEED VALUE SHOWN BELOW).									
CONDITIONED FLOOR AREA	0-900	901-1100	1101-1300	1301-1500	1501-1700	1701-1900	1901-2100	2101-2300	2301-ABOVE	
BASE E.P.I.	120	115	110	105	100	95	90	85	80	
DEDUCTIONS	A/C EFFICIENCY LESS THAN 8.0 EER/SEER (7.5 HEAT PUMP) (as of October 1, 1982) -10.0									
	IF MULTI-FAMILY: COMMON WALLS (maximum of 5 points) - 2.5									
	IF MULTI-FAMILY: COMMON CEILING and/or FLOOR (maximum of 12 points) - 6.0									
	TOTAL DEDUCTIONS									
COMPUTE MAX. E.P.I. ALLOWED	BASE E.P.I.			DEDUCTIONS			MAX. E.P.I. ALLOWED			
	80			-			0			=	80.

*RESIDENCES WHICH COMPLY WITH THIS CODE BY THE "ALTERNATE PRESCRIPTIVE COMPLIANCE APPROACH" (SEC. 903.11) ARE REQUIRED TO MEET OR EXCEED ALL MINIMUM PRESCRIPTIVE LEVELS INDICATED BY SHADED BLOCKS ON THIS FORM, AND ALL OTHER APPLICABLE PRESCRIPTIVE REQUIREMENTS LISTED IN TABLE 9B. THE E.P.I. FOR A HOUSE COMPLYING UNDER THIS METHOD IS NOT CALCULATED BUT WILL BE THE MAXIMUM E.P.I. ALLOWED FOR THAT HOUSE SIZE AS SHOWN ON TABLE 9A. THE STATISTICS SECTION ABOVE SHALL BE COMPLETED AND SUBMITTED TO THE LOCAL BUILDING DEPARTMENT.

9B	PRESCRIPTIVE MEASURES (CHECKLIST)		
INFILTRATION: windows/doors	903.1	HVAC DUCT CONSTRUCTION	903.5
WATER HEATER - ASHRAE LABEL	903.2	PIPING INSULATION	903.6
SWIMMING POOLS	903.3	HVAC CONTROLS	903.7
SHOWER FLOW RESTRICTORS	903.4	HVAC SYSTEM EFFICIENCY SECTION	903.8
		CEILING INSULATION	903.10



PITTSBURGH TESTING LABORATORY

ESTABLISHED 1881

7535 GARDEN ROAD, RIVIERA BEACH, FLORIDA 33404

AS A MUTUAL PROTECTION TO CLIENTS, THE PUBLIC AND OURSELVES, ALL REPORTS
ARE SUBMITTED AS THE CONFIDENTIAL PROPERTY OF CLIENTS, AND AUTHORIZATION
FOR PUBLICATION OF STATEMENTS, CONCLUSIONS OR EXTRACTS FROM OR REGARDING
OUR REPORTS IS RESERVED PENDING OUR WRITTEN APPROVAL.

AREA CODE (305) 844-3526

LABORATORY No. 2846

CLIENT'S No.

ORDER No. WPB 1775

REPORT

of

SOIL REMOVAL

MAY 2 RECD

Client: Russell Mac Donnell
19 Island Rd, Sewells Point
Stuart, FL 33494

Project: Job site at 19 Island Rd., Sewells Point

As requested by the client on April 5, 1984 a representative of Pittsburgh Testing Laboratory witnessed the removal of some organic mater from the job site at 19 Island Road, Sewells Point.

Time of removal was approximately 8 A.M. to 1 P.M. on April 5, 1984 with all work completed in a satisfactory manner.

Respectfully Submitted,

PITTSBURGH TESTING LABORATORY

Ernest Garcia, P.E.

VM

Tech: J. Finizio

cc: 4 Client

1 Mr. Bill Tripp, 2806 S. W. Mapp Rd.
Palm City FL 33490



PITTSBURGH TESTING LABORATORY

ESTABLISHED 1881

PITTSBURGH, PA.

Order No. WPB 1775

Date 4-12-84

Lab. 2872

AS A MUTUAL PROTECTION TO CLIENTS, THE PUBLIC AND OURSELVES, ALL REPORTS ARE SUBMITTED AS THE CONFIDENTIAL PROPERTY OF CLIENTS, AND AUTHORIZATION FOR PUBLICATION OF STATEMENTS, CONCLUSIONS OR EXTRACTS FROM OR REGARDING OUR REPORTS IS RESERVED PENDING OUR WRITTEN APPROVAL.

R E P O R T O F

MOISTURE - DENSITY RELATIONSHIP OF SOIL

For: Russell MacDonnall
19 Island Road
Stuart, FL 33494

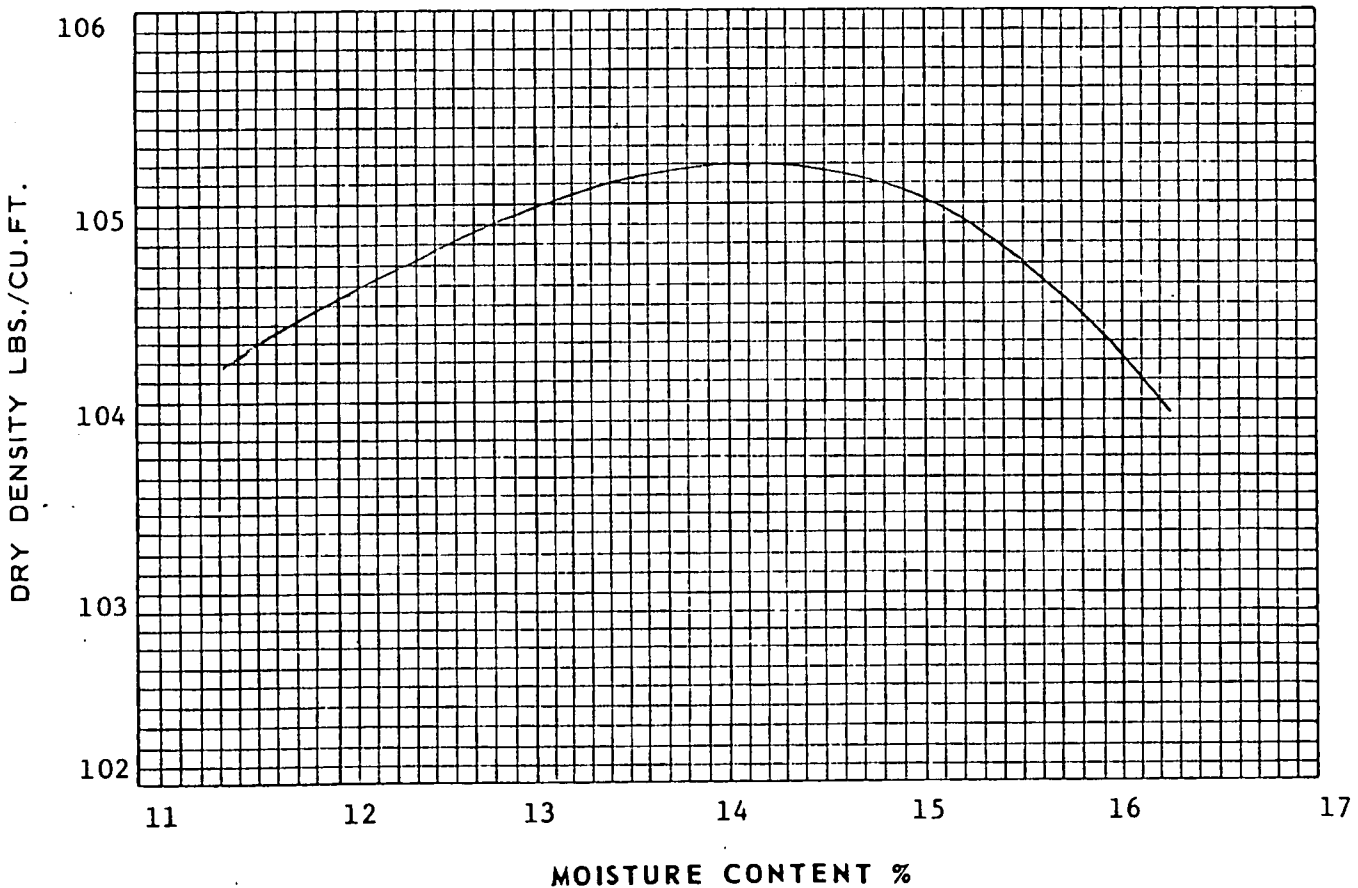
Project: 19 Island Rd., Sewells Point

Location House Pad Fill

Sample Tan Sand

Method of Test ASTM D1557 A

MOISTURE - DENSITY RELATIONSHIP CURVE



Optimum Moisture 14.1 % Max. Dry Density 105.2 lbs./cu. ft.

Tech: Stanley
cc: Mr. Bill Tripp, 2806 S.W. Mapp Rd.
Palm City, FL 33490

PITTSBURGH TESTING LABORATORY

DISTRICT MANAGER

VM

PTL - WEST PALM BEACH

ERNEST GARCIA, P.E.
Manager



Pittsburgh Testing Laboratory

WPB 1775
Lab #2486
January 31, 1984

Russell MacDonnell
19 Island Road
Stuart, FL 33494

Subject: Foundation Soils Investigation - 19 Island Drive

Gentlemen:

In accordance with your authorization, we have conducted a foundation soils investigation on the subject site, and are pleased to submit our report.

SOIL BORING AND SAMPLING:

A total of four borings were made at the site at the locations shown on the enclosed boring plot plan. The borings were advanced by using a truck-mounted rotary drill, in accord with ASTM Method, D 1586.

Penetration tests were run at frequent intervals of depth in the standard penetration boring. The test consists of driving standard split barrel 1-3/8" ID by 2" OD sampler into undisturbed soil by blows from a 140 pound drop hammer falling 30 inches. The number of blows to drive the sampler each six inches were recorded and appear on each log of borings.

Undisturbed samples of soil were not obtained. However, representative soil samples were taken from the standard split spoon sampler, placed in containers and returned to the laboratory for visual examination and testing, if required.

Samples will be retained by us for a period of six months from the above date, and then discarded unless otherwise advised by the client in writing.

SCOPE OF WORK:

The purpose of our investigation was to evaluate the subsurface conditions and criteria for your project development needs. To accomplish this, the scope of our study has included:

1. Exploring subsurface soil stratification and ground water conditions by means of test borings at selected locations.
2. Obtaining standard split-barrel samples of the soils.
3. Inspecting representative samples to assess pertinent engineering characteristics and assist in the classification of these soils.
4. Evaluating boring data, including delineation of vertical and lateral extent of soils, as well as ground water conditions.

SCOPE OF WORK: (Cont'd)

5. Recommending type of foundations required, and comment on the depth and allowable bearing capacity pressures to be used in the design.
6. Providing comments on settlement performance, floor slab support and general earthwork requirements.

ANALYSIS:

It is understood that the proposed structure will consist of a two story building. The analysis is based on the structure at or above existing grade.

The building area soil stratification as encountered in the borings generally consisted of some topsoil followed by a layer of sand with a trace of shell fragments down to a depth of from 4' to 5'. In B-1 a layer of clay with roots was found from 2.5' to 3.0' deep. Following this strata we generally encountered a layer of dark sand and roots which extended from 4' to 5.5' down to 4.5' to 7.5' below existing elevation. Below this strata we found sand with some shell fragments down to a depth of from 26.5' to 30' deep followed by cemented sand and shell to the termination of the borings at 32' in depth.

Water was found at approximately 6' below the existing surface immediately following completion of the soil borings.

SUMMARY AND RECOMMENDATIONS:

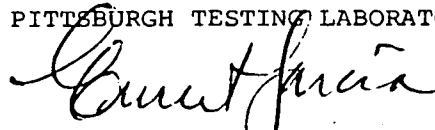
1. Our observations, explorations and evaluations, supplemented by a review of the subsoil profile developed from the borings, indicate that the soil conditions at the site are capable of providing support of shallow spread footings.
2. Areas to receive building structures, including five feet outside the wall lines, should be cleared of growth (grass, weeds, vegetation) or obstructions that interfere with installation of new construction. Clearing means removal of stumps of trees and heavy concentration of roots.
3. Pockets of clay and organic material were encountered in B-1 which are not suitable as structural fill, therefore we recommend that a footing inspection be performed after compaction to insure that none of this material is present in the footing area prior to placement of concrete.
4. Area compact the exposed soils with a heavy minimum 72" wide vibratory roller with at least 15 overlapping passes or further as needed to achieve a soil density of 95% of the Modified Proctor maximum dry density (ASTM D 1557).
5. Any earth backfill required to achieve the desired floor elevation should be placed in loose lifts of 9 to 12 inches, and each lift compacted to the same density as mentioned above. In-place density tests should be made to measure the degree of compaction actually achieved. The fill material should consist of clean inorganic sands.

SUMMARY AND RECOMMENDATIONS: (Cont'd)

6. Continuous wall or isolated column footings, bearing at 2.0 feet below the final (elevated, graded and compacted) soil surface should be designed for an allowable bearing capacity of 2500 psf.
7. Wall footings should be at least 24 inches wide, and column footings should have a minimum dimension of 30 inches. These dimensions would assist in confining the sandy soils and should be used, although the full bearing value may not be developed.
8. Bottom of footing excavations should be compacted with light, manually operated vibratory compactor just prior to concrete placement. This serves to tighten any sands which may be disturbed by construction operations.
9. For support of the floor loads, slab on grade (prepared compacted surface) type construction would be adequate.
10. The amount of movement which the foundation will experience is a function of the footing size and imposed sustained pressure intensity, as well as the in-situ stress conditions within the zone influenced by the footing. Settlement of a footing on sand is predicted from empirical procedures based upon the Standard Penetration Resistance N value as a measure of in-situ relative density. Footing design pressures, recommended above, are based on a total settlement on the order of one inch, one-half of which could be differential.
11. In order to insure proper performance of foundations and to assure that the design requirements are fulfilled in actual construction, it is recommended that all earthwork compaction and foundation excavation and inspection operations be performed under an experienced soils engineer. If you wish, we would welcome the opportunity to provide these inspections and testing services for you during construction.

Respectfully Submitted,

PITTSBURGH TESTING LABORATORY



Ernest Garcia, P.E.
Area Manager

EG/csm
4 Client

TOWN of SEWALL'S POINT

One Sewall's Point Road South, Jensen Beach, Florida 33457 Telephone 287-2455

BUILDING DEPARTMENT

1. The Town has adopted the South Florida Building Code as a part of its building ordinances.
2. Building Permits are issued for one year's duration. Construction must be started within 90 days or permit will be subject to revocation, with forfeiture of fee.
3. All changes in plans must be approved by Building Department.
4. Work hours - 8:00 A.M. - 5:00 P.M. Monday thru Saturday. NO Sunday work.
5. Portable Toilets must be on all construction sites.
6. Roof Sheeting Plywood must be 5/8", not 1/2" as in County.
7. Inspections are made Monday thru Friday, 8:00 A.M. - Noon. 24 hours notice is required for all inspections.
8. Rough grading and property clean-up must be completed before Certificate of Occupancy is issued.
9. Trash, debris and scrap building materials must be policed daily.
10. Building Permit Fee = \$5. per thousand of cost of building, plus \$10. for plumbing, \$10. for electric and \$10. for air conditioning. (for example, \$50,000. building x \$5. = \$250. plus \$30. (plumbing, electric, etc.) = \$280. total cost.
11. All poured concrete footings must be formed.
12. Business or advertising signs on the job site will be permitted only with prior approval of the Town Commission.
13. If more than three (3) trees are to be removed, replaced or relocated, a permit is required.

546-77

TOWN OF SEWALL'S POINT FLORIDA

1689 see next sheet Jan

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner Mr & Mrs Russ MacDonnell Present address _____

Phone 287-0076

General contractor Tripp Corporation Address 2806 S.W. MAPP Rd.

Phone 286-2430 Palm City Fla

Where licensed Martin County Fla License No. 00125

Plumbing contractor Art Stora License No. 00105

Electrical contractor LAMY License No. 00048

Air-conditioning contractor Bill Rech License No. 00123

Describe the building, or alteration to existing building
ERECT A NEW 2 STORY RESIDENCE

Name the street on which the building, its front building line and its front yard will face
SE ISLAND WAY

Subdivision High Point Lot No. # 81 Area _____

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 4,000

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 200,000.00

Cost of permit \$ _____ Plans approved as submitted _____ or, as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor William H Tripp

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner Russell G. MacDonnell
Grace E. MacDonnell

Regulation builders will be required to sign both of the above statements.

TOWN RECORD Date submitted _____

Building Inspector (date) _____ Inspector's initials _____

Town Commissioner (date) _____ Commissioner's initials _____

of Occupancy issued (date) _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

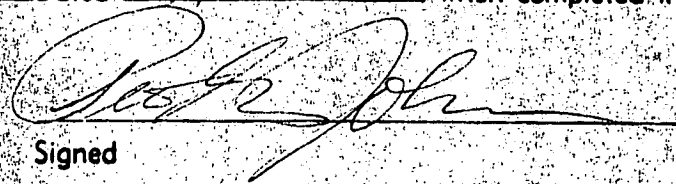
RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 11/13/84

This is to request that a Certificate of Approval for Occupancy be issued to R Mac DONNELL
 For property built under Permit No. 1689 Dated 4/2/84 when completed in
 conformance with the Approved Plans.

Signed 

Item	
1. LOT STAKES/BET BACKS	
2. TERMITE PROTECTION	<u>5/3/84 TRAVIS</u>
3. FOOTING - SLAB	<u>OK 4/18/84 JM</u>
4. ROUGH PLUMBING	<u>5/1/84 JM 5/3/84</u>
5. ROUGH ELECTRIC	<u>8/2/84 JM</u>
6. LINTEL	
7. ROOF	
8. FRAMING	<u>8/2/84 Hurricane Clips 4/9/84 JM 7/30/84 JM</u>
9. INSULATION	<u>8/8/84 JM 8/7/84</u>
10. A/C DUCTS	
11. FINAL ELECTRIC	<u>11/16/84 PLS</u>
12. FINAL PLUMBING	<u>11/16/84 PLS</u>
13. FINAL CONSTRUCTION	<u>11/16/84 PLS</u>

Approved by _____

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector  11/16/84 date

Approved by Building Commissioner W E Strubel date 11/19

Utilities notified 11/13/84 date

Original Copy sent to Mr R. MacDONNELL

(Keep carbon copy for Town files)

1689

May 10, 1984

I hereby certify that the floor elevations of the residence at 19 S. E. Island Road (Lot 81 of the Isle Addition to High Point) in Sewall's Point, Florida are as follows:

- 1.) Main living area; 9.39 feet above M.S.L.
- 2.) Living room floor: 8.44 feet above M.S.L.

Elevations refer to N.G.V.D., 1929.



Arthur Speedy
Registered Land Surveyor
Florida Certificate No. 3343

1689

TERMITE CONTRACT CERTIFICATE Date 5-3-84

Travis Exterminating Co., Inc. hereby certified the structure(s) treated on the above date, and owned by Russ McDonnell

and located at 19 Island Rd L-81 High Point Stuart FL 33494

against infestation of Subterranean Termites

The initial term of this contract shall be for 12 months, and may thereafter be renewed annually, upon consent of both parties, for a period of 14 years. The company however, reserves the right to adjust the annual renewal fee of \$ 35.00 as it may deem necessary, prior to any anniversary date. Failure to remit the annual renewal fee within sixty (60) days following the anniversary date shall be considered as automatic cancellation of this contract.

This contract provides for the retreatment of the above subject property in the event of infestation by the above subject pest. It does not provide for repairs to/or replacements of damaged parts of the structure(s) which may be necessary.

In the event the above subject structure(s) is modified, altered or otherwise changed after the date of original treatment, this agreement shall automatically terminate, unless a prior agreement shall have been entered into between the customer and the company to inspect, provide additional treatment and/or adjust the annual renewal fee.

The owner also warrants full cooperation with the company during the life of this contract and agrees to maintain the area(s) treated free from any factor which may contribute to infestation. These conditions include, but are not limited to, wood, lumber or direct wood-soil contact in the treated area(s). It is also agreed the owner shall eliminate faulty plumbing leaks, and any other sources of dampness such as drains, condensation or roof leaks which may adversely effect the treated area(s). Failure of the owner to maintain the subject structure(s) as described in this paragraph, shall render this contract null & void.

This contract is transferable to any subsequent owner of the subject structure(s) upon proper notification to the company.

It is specifically understood and agreed that the company and customer are bound only by the terms and conditions as herein stated, and not by any other representation oral or otherwise.

10529
CONTRACT NUMBER



Heath P. Travis
PRESIDENT

1704

SWIMMING POOL

2721

BOATLIFT

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number _____ Date _____

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mr. Savastano Present Address 19 East Island Rd. Stuart, FL 34996

Phone 220-6896

Contractor Intracoastal Marine Const. Co. Inc. Address P.O. Box 1979 Stuart, FL 34995

Phone 288-3625

Where licensed MARTIN Co. License number CGCA34027

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Roofing contractor _____ License number _____

Air conditioning contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: remove & replace existing elevator lift.

19 East Island Rd. Sewall's Point

State the street address at which the structure will be built:

PCN # 42-38-41-001-000-00060-00000

Subdivision Four Rivers Lot number 26 Block number _____

Contract price \$ 4000⁰⁰ Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor X [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

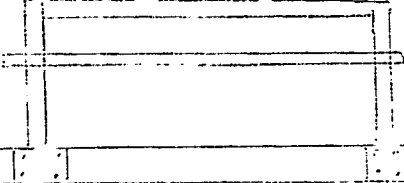
Owner X [Signature]

TOWN RECORD

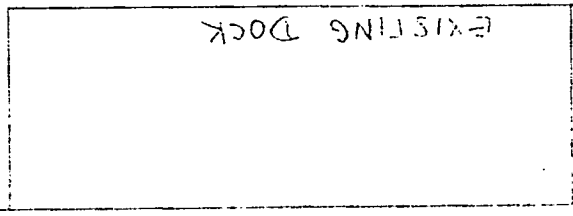
Date submitted _____ Approved [Signature] Building Inspector Date _____

Approved _____ Commissioner Date _____ Final Approval given _____ Date _____

Certificate of Occupancy issued (if applicable) _____ Date _____



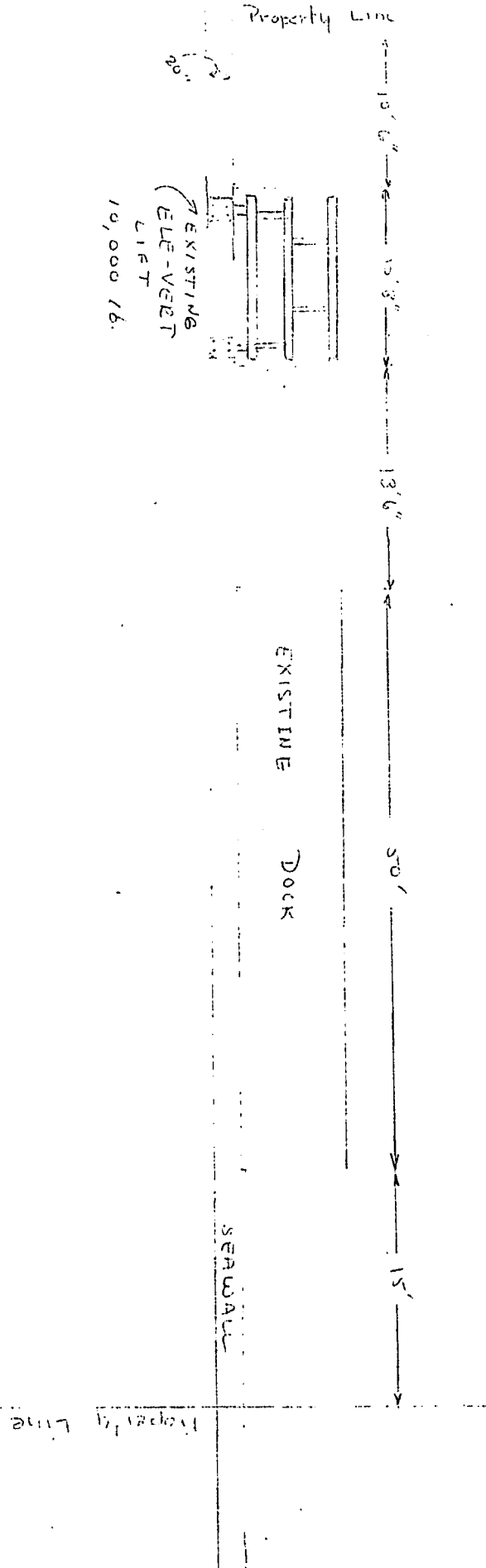
EXISTING ELEVATOR LIFT



EXISTING DOCK

SEAWALL

CANAL



ADDENDUM TO THE SOUTH FLORIDA BUILDING CODE

TOWN OF SEWALL'S POINT, FLORIDA

SEPTEMBER 1, 1977

INTRODUCTION:

The Town of Sewall's Point, Florida, is an incorporated area in Martin County with its own building department. It is the intent of the Commissioners of Sewall's Point that structural integrity shall be maintained at all times on construction projects within its jurisdiction.

The Town of Sewall's Point has adopted the South Florida Building Code with reference to all construction projects. This code varies with the Southern Standards Building Code adopted by other government bodies.

This addendum is provided for illustration purposes only to serve as a guideline in an illustration of minimum standards set up by the Town of Sewall's Point. Reference to this addendum or approved plans by the Town of Sewall's Point Building Department does not relieve the Building Contractor or Owner-Builder from the responsibility of meeting all South Florida Building Code requirements. It is the sole responsibility of the builder to assure structural integrity and to meet all other rigid standards as outlined in Local Ordinance #95.

CONTRACTOR QUALIFICATIONS

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- 5- Wood frame houses shall also be secured from footing to roof structure by either 1/2 inch anchor bolts or 1/8 by 1 inch anchor straps 24 inches on center imbedded in concrete.

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- 6- Monolithic slab/footer must be formed with 16 in. formwood and placed minimum 10 inches deep in natural earth. Horizontal footer section must conform to above footer dimensions. A 45 degree cut shall be made between footer section and slab area..

SLABS

- 1- All slabs shall be placed on well-compacted fill. Provisions shall be made for load bearing walls as per approved plans and the SPEC with a minimum of 2 # 5 rebar in a 10 X 16 inch footing. 6" X 6", 10-10 WWF shall have a minimum overlap of 6 inches. Water shall be maintained in plumbing risers until after slab is inspected.

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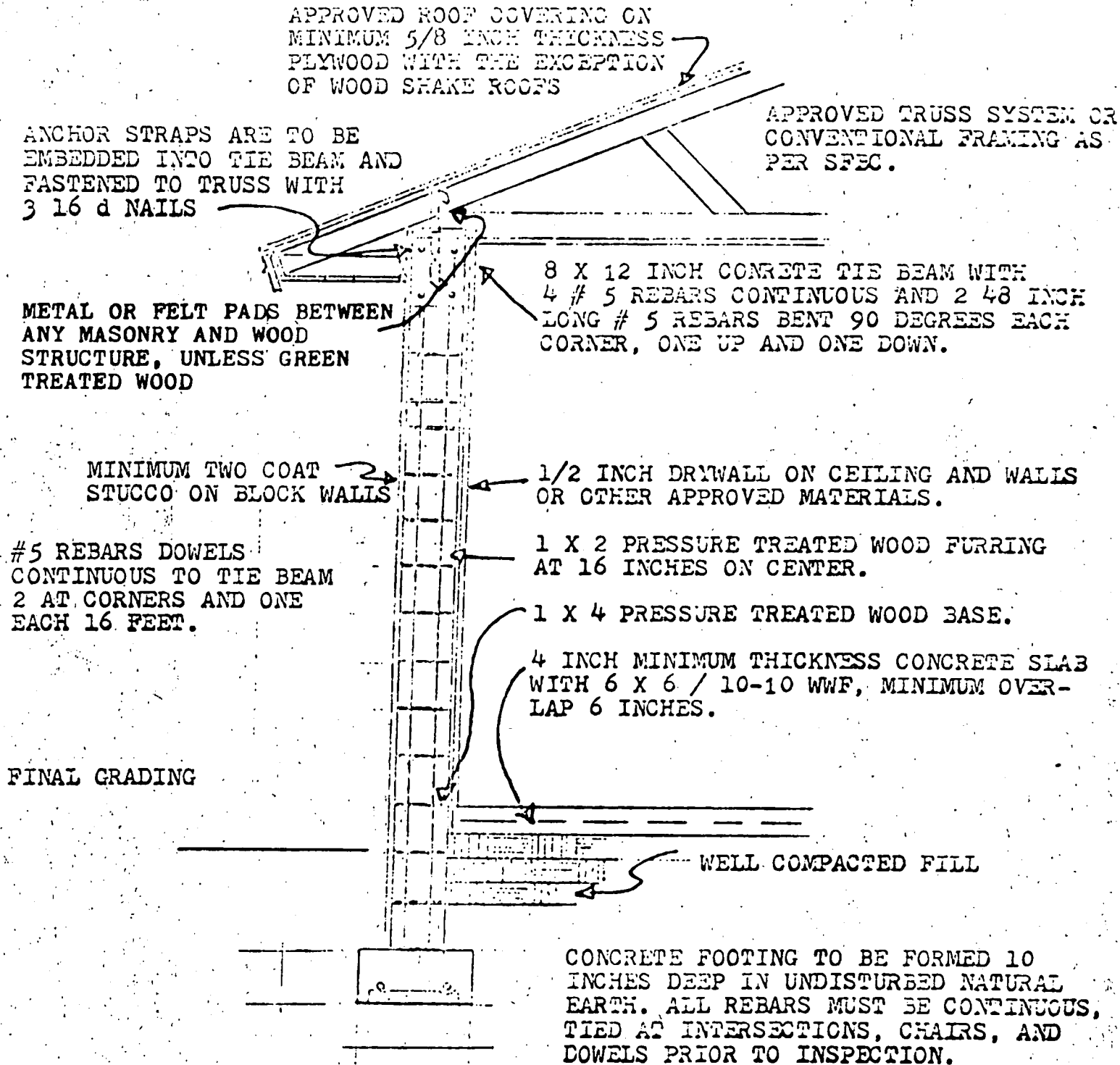
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TYPICAL SECTION DETAIL

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ADDENDUM TO SPEC-TOWN OF SEWALL'S POINT, FLORIDA



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SEPTEMBER 1, 1977

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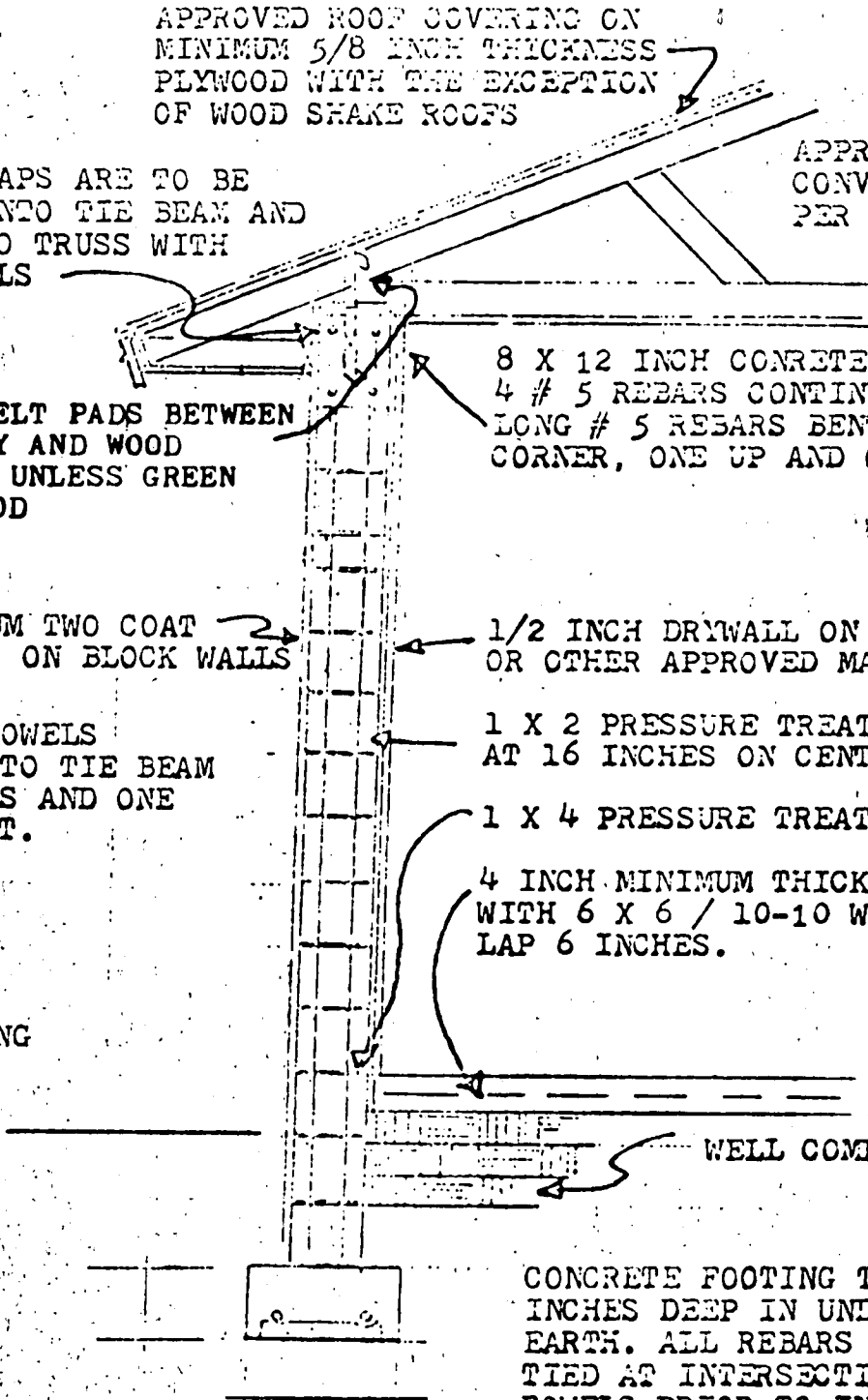
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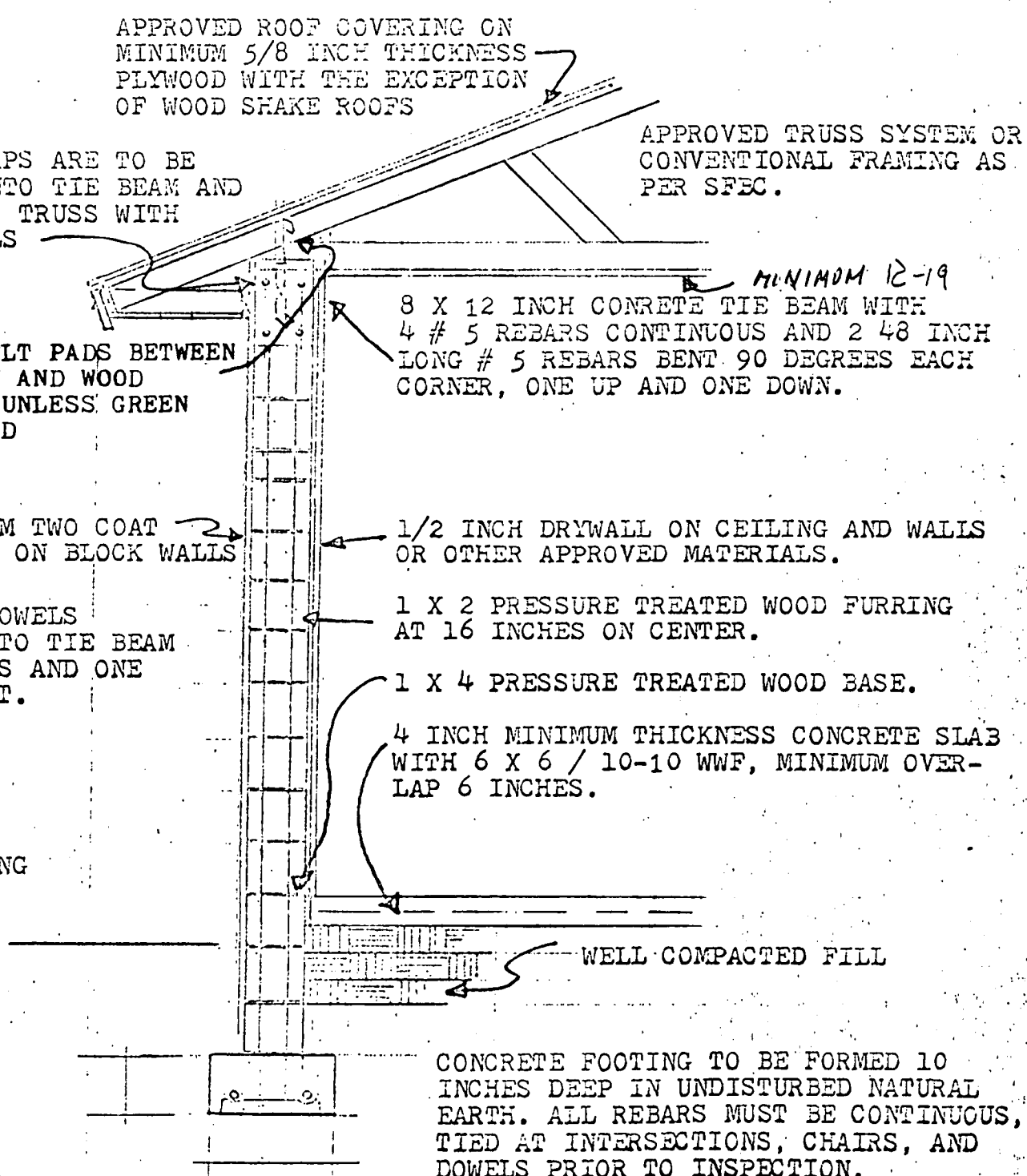
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7- EERC RATING OF AC EQUIPMENT

3462

BOATLIFT

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including floor plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

3462

Owner Frank Savastano Present Address 19 SE Island Rd.

Phone 220-6896 Stuart, FL. 34996

Contractor Matthew E. Harris Address 50 NE Dixie Hwy C-8

Phone 692-4154 Stuart, FL. 34994

Where licensed Martin County License number SP01730

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Installation of 12,000 lb capacity HI-TIDE boat lift.

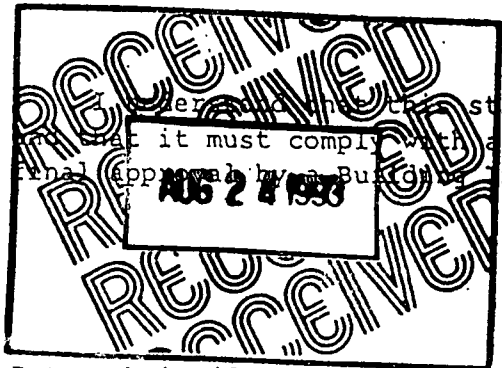
19 SE Island Rd.
State the street address at which the proposed structure will be built:

Subdivision High point Lot number 81 Block number _____

Contract price \$ 5,000.00 Cost of permit \$ 40.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.



Contractor Matthew E. Harris

_____ Matthew E. Harris
The structure must be in accordance with the approved plans and it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Frank Savastano
TOWN RECORD

Date submitted _____ Approved: Dale Bunn 9/8/93
Building Inspector _____ Date

Approved: [Signature] 9/9/93 Final Approval given: _____
Commissioner _____ Date _____ Date

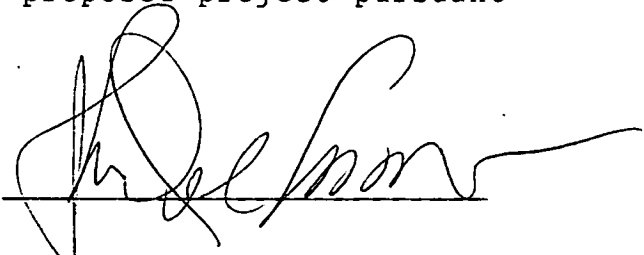
Certificate of Occupancy issued (if applicable) _____
Date

SP1282 Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

LETTER OF NO OBJECTION

I/We, JOHN DEL MISSIER and MARIANNE DEL MISSIER
being the owner(s) of a certain property adjacent to and abutting
the property of Mr. Frank Savastano, who have applied for a
building permit to allow for a ~~dock~~ / ~~seawall~~ / boatlift to be
constructed, have read and reviewed the drawings of the proposed
project. I/We have no objection to the proposed project pursuant
to the attached herein.

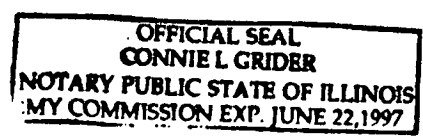

Marianne Del Missier

STATE OF Illinois
COUNTY OF Lake

SWORN TO AND SUBSCRIBED before me this 26 day of July, 1993


Connie L. Grider

Notary Public
My Commission Expires:



Mr. Frank Savastano

Scale nts
Date 3/31/93

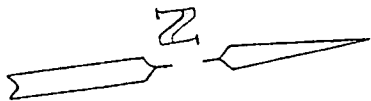
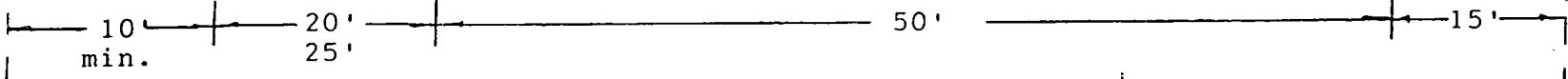
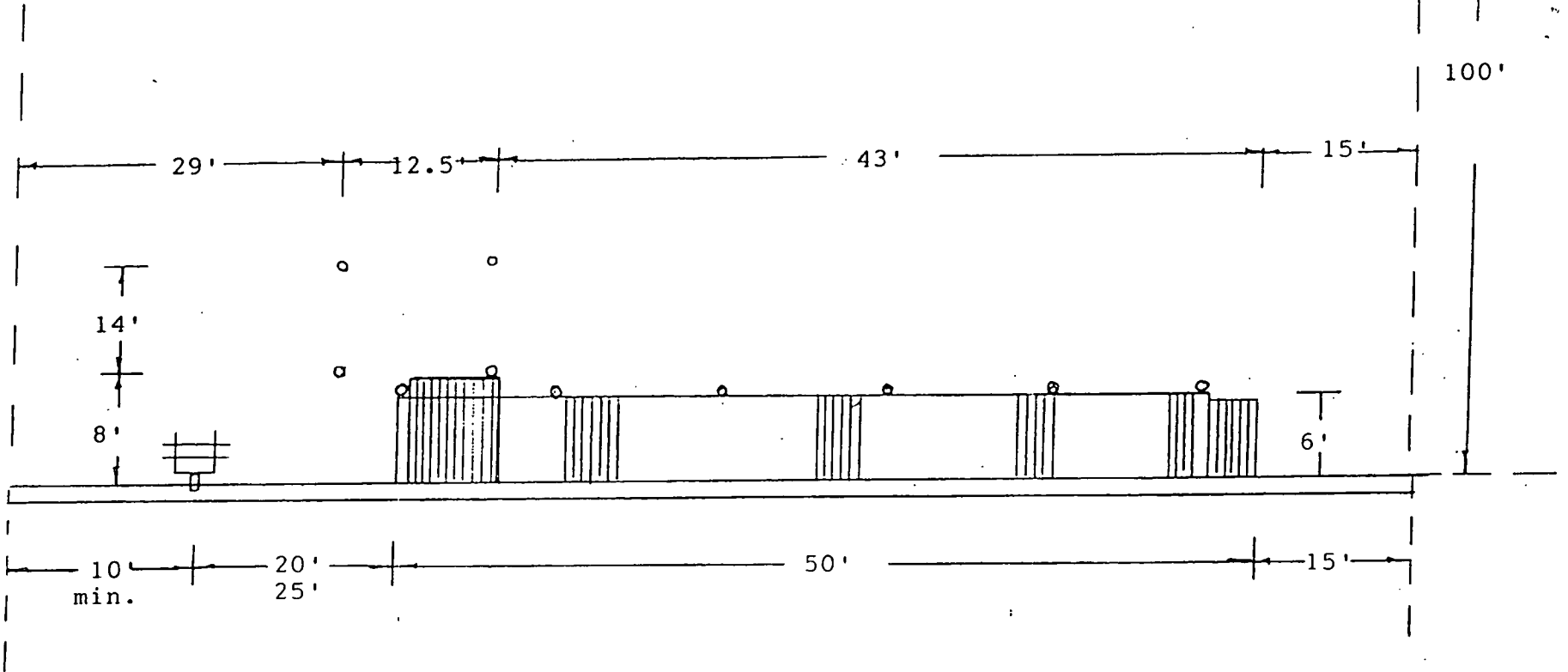
APPROVED BY

DRAWN BY MEH
REVISED

Proposed boatlift

DRAWING NUMBER
1 of 3

Opposite seawall



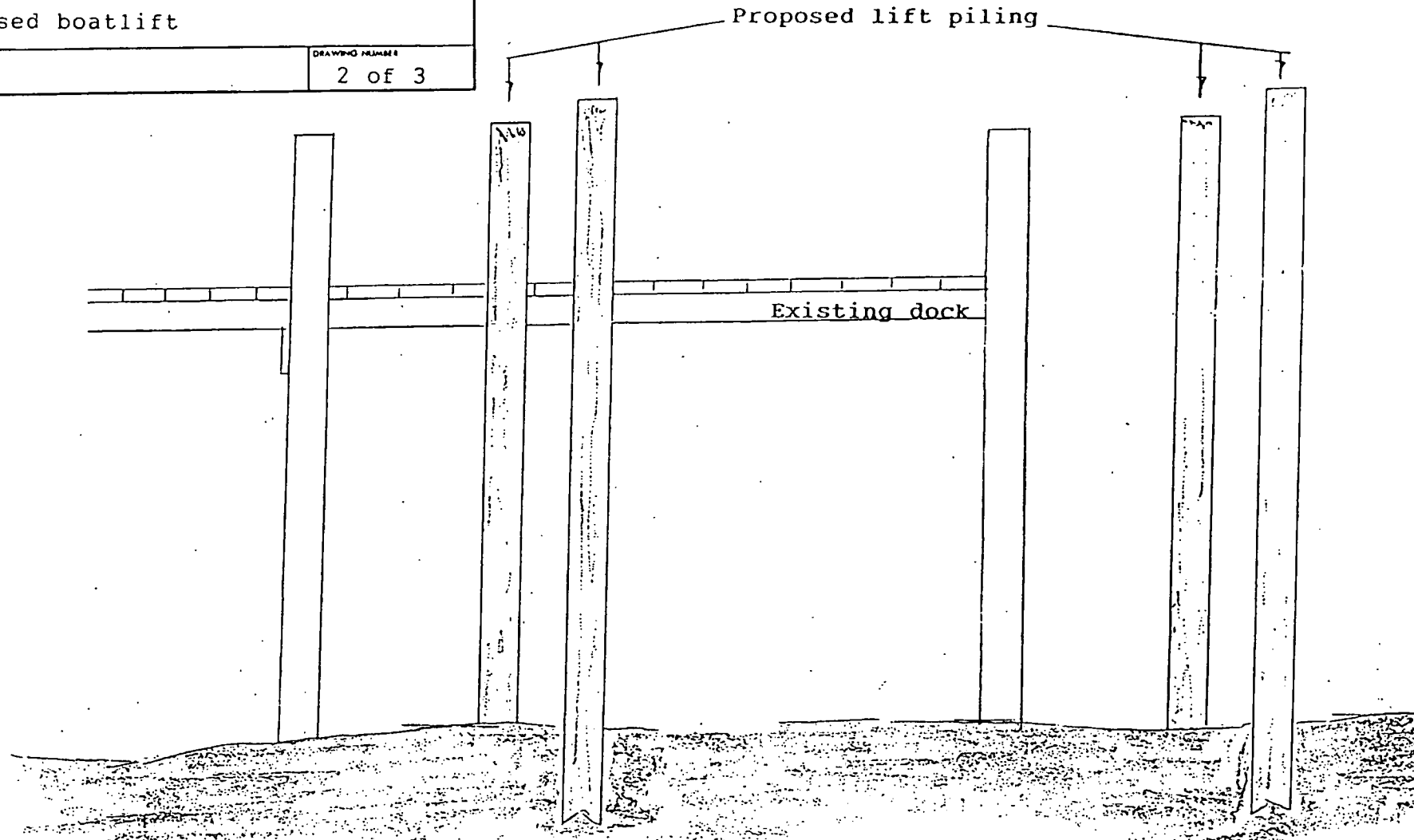
Mr. Frank Savastano

SCALE: nts	APPROVED BY:	DRAWN BY: MEH
DATE: 6/3/93		REVISED:

Proposed boatlift

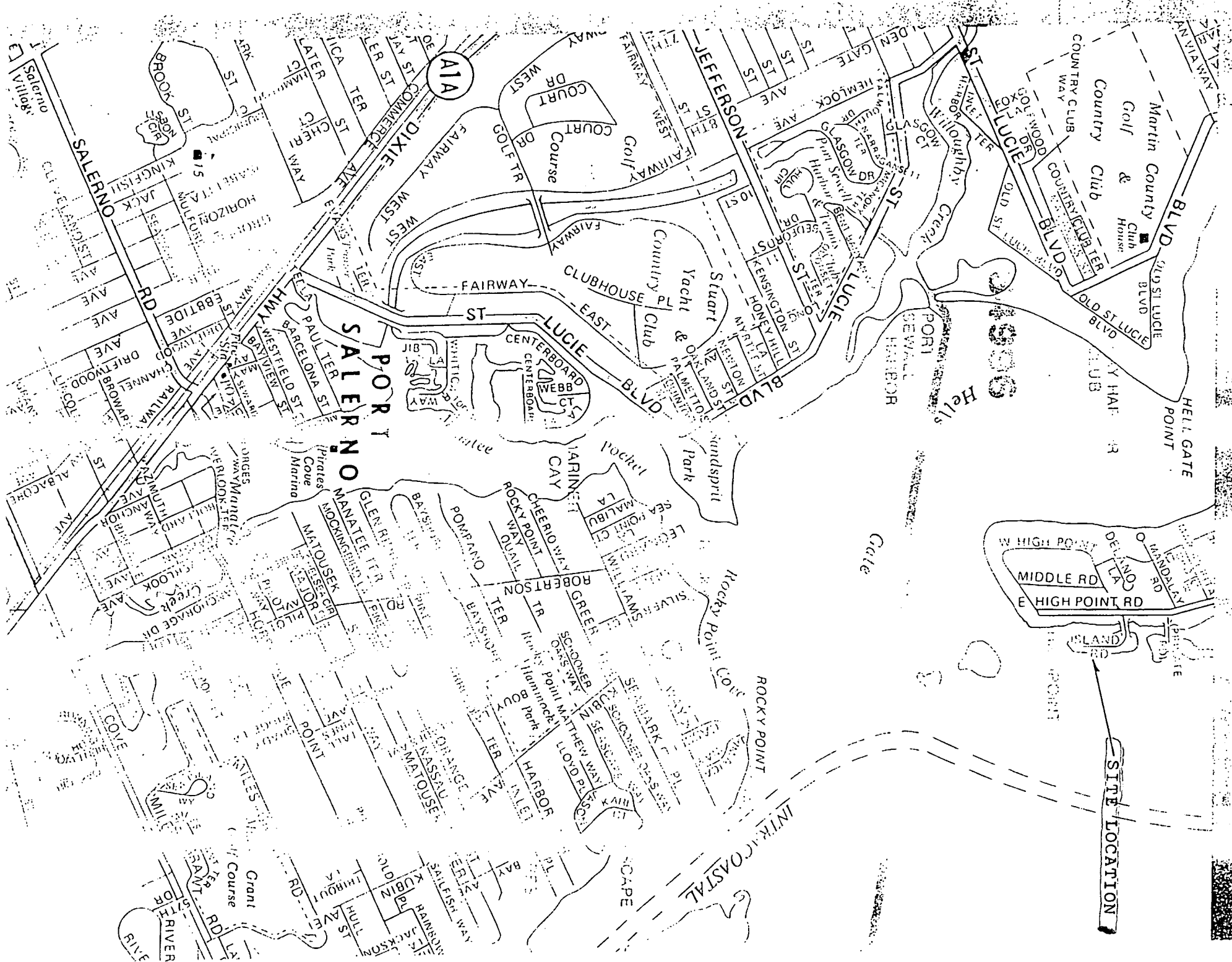
DRAWING NUMBER
2 of 3

Proposed lift piling



4 - 10" boat lift support piling
with a firm bottom penetration
of min. 10'





LETTER OF NO OBJECTION

I/We, Dr. Alan Levin and _____
being the owner(s) of a certain property adjacent to and abutting
the property of Mr. Frank Savastano, who have applied for a
building permit to allow for a dock / seawall / boatlift to be
constructed, have read and reviewed the drawings of the proposed
project. I/We have no objection to the proposed project pursuant
to the attached herein.

Alan Levin

STATE OF FLORIDA
COUNTY OF ST. LUCIE

SWORN TO AND SUBSCRIBED before me this 15th day of July, 1993

Christine Biel Harper
Commission # CC036987
Notary Public

My Commission Expires:

NOTARY PUBLIC, STATE OF FLORIDA.
MY COMMISSION EXPIRES: SEPT. 4, 1994.
BONDED THRU NOTARY PUBLIC UNDERWRITERS.

Mr. Frank Savastano

Scale
nts
Date 3/31/93

APPROVED BY

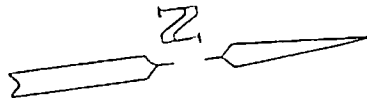
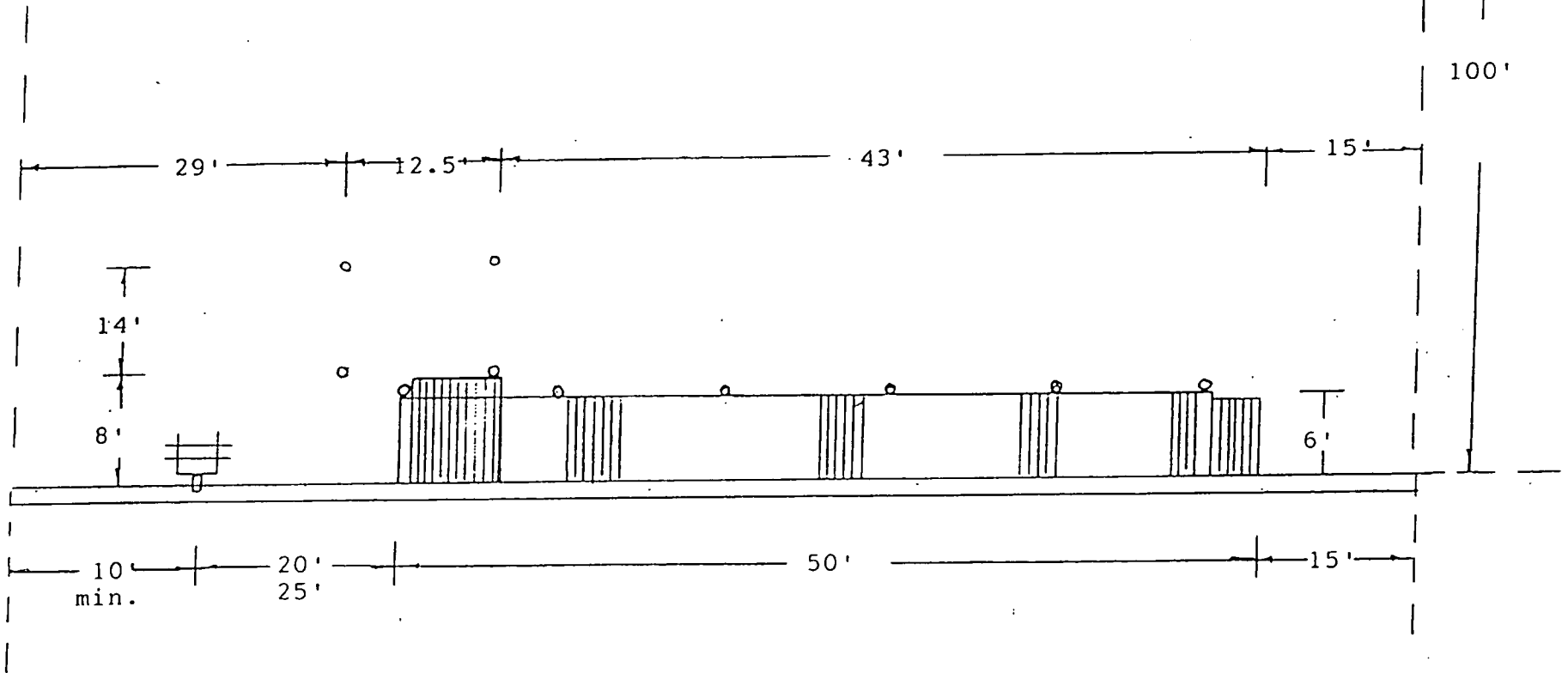
DRAWN BY
MEH

REVISED

Proposed boatlift

DRAWING NUMBER
1 of 3

Opposite seawall



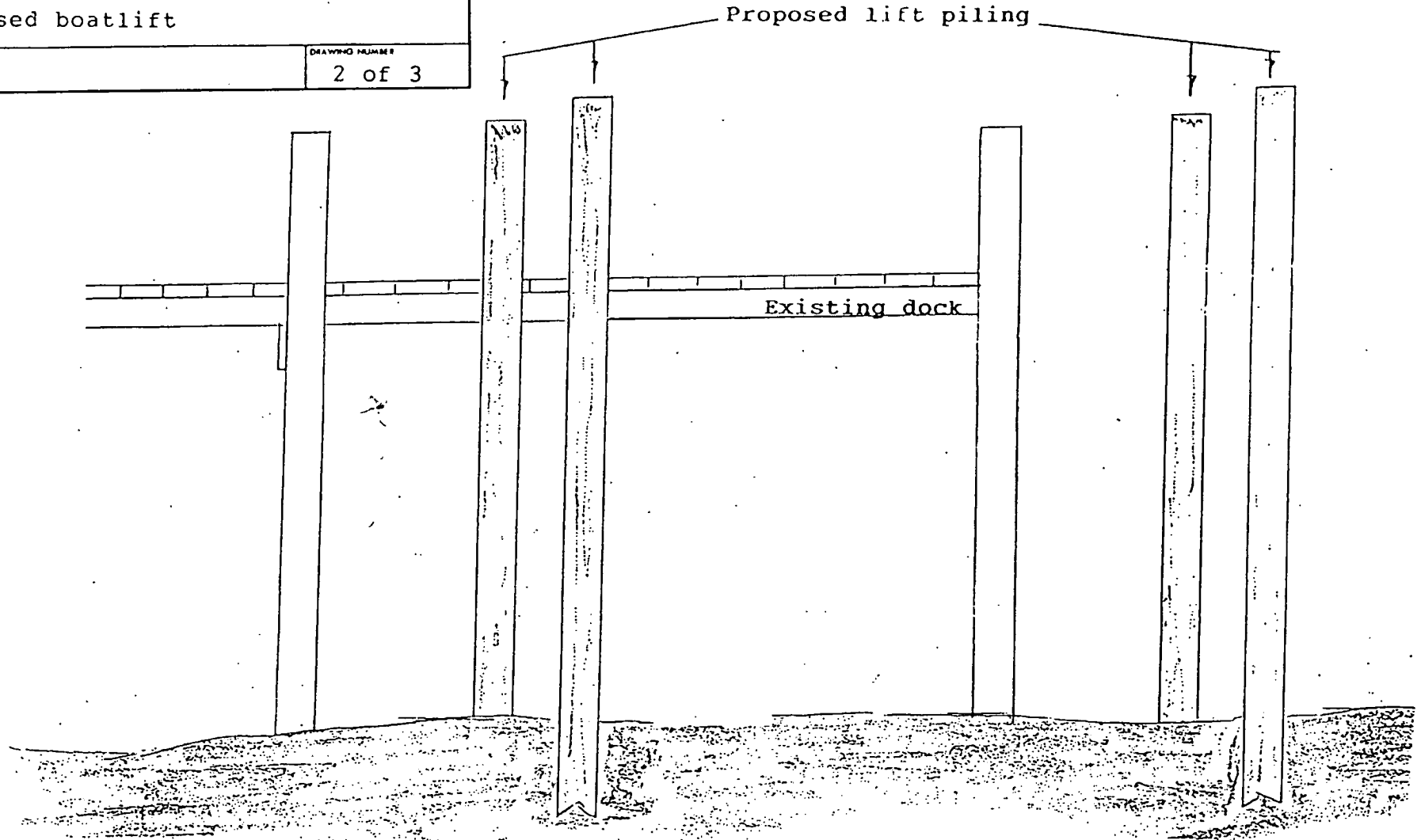
Mr. Frank Savastano

SCALE: nts	APPROVED BY:	DRAWN BY MEH
DATE: 6/3/93		REVISED

Proposed boatlift

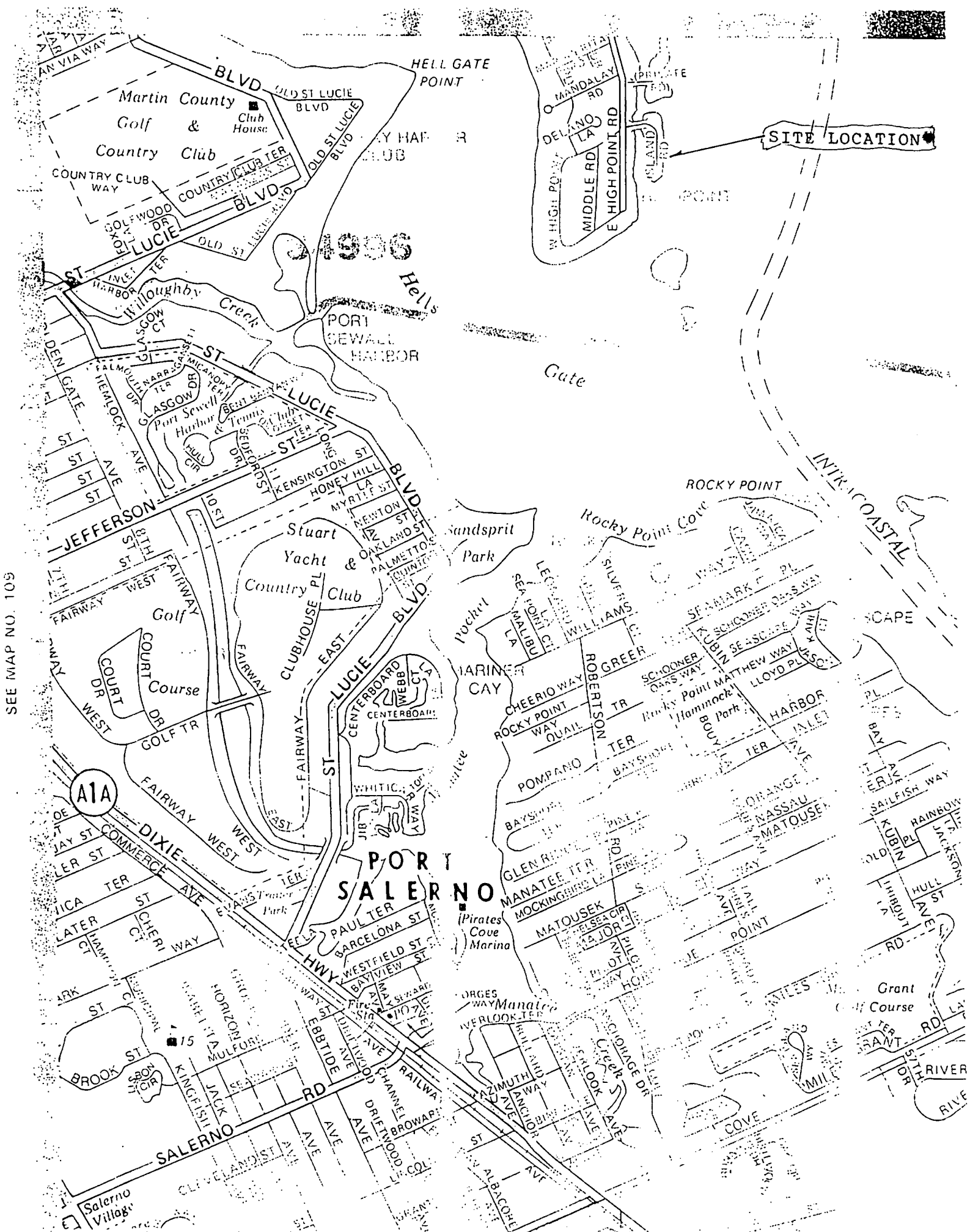
DRAWING NUMBER
2 of 3

Proposed lift piling



4 - 10" boat lift support piling
with a firm bottom penetration
of min. 10'





SEE MAP NO. 109

SITE LOCATION

1996

PORT SALERNO

AIA

Salerno Village



DEPARTMENT OF THE ARMY
TAMPA REGULATORY FIELD OFFICE, JACKSONVILLE DISTRICT CORPS OF ENGINEERS
P. O. BOX 19247
TAMPA, FLORIDA 33686-9247

REPLY TO
ATTENTION OF

July 6, 1993

Tampa Regulatory
Field Office
199341404
SAJ20

Mr. Frank Savastano
c/o Tropic Marine Construction, Inc.
50 NE Dixie Highway C-8
Stuart, Florida 34994

Dear Applicant:

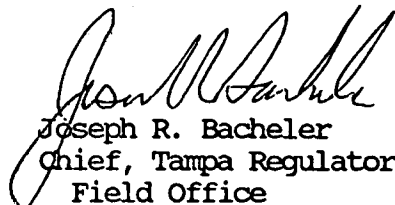
Reference is made to your joint permit application received June 21, 1993, requesting authorization to install 4 pilings for a boat lift, attached to an existing 6' wide x 50' dock in accordance with the enclosed plans in the Indian River at Section 13, Township 38 South, Range 41 East, Martin County, Florida.

Your proposed work as described above is authorized by General Permit SAJ20, a copy of which is attached for your information and use. You are authorized to proceed with construction subject to all conditions of the permit.

If the work authorized herein is not completed by November 1, 1993, no further work may be undertaken and you should contact this office. A determination of the status of the General Permit will be made and you will be advised. If the General Permit has been reissued with no substantive change(s), a request for an extension of your previous authorization will be considered. If the General Permit has not been reissued or was reissued with new conditions, a new application and drawings may need to be submitted.

Thank you for your cooperation with the permit program.

Sincerely,


Joseph R. Bachelor
Chief, Tampa Regulatory
Field Office

Enclosures

DEPARTMENT OF THE ARMY PERMIT

GENERAL PERMIT SAJ-20

NOV 1 1988

PRIVATE SINGLE-FAMILY PIERS - STATE OF FLORIDA

Upon recommendation of the Chief of Engineers, pursuant to Section 10 of the Rivers and Harbors Act of 3 March 1899 (33 U.S.C. 403), general authority is hereby given to construct private single-family piers in navigable waters of the United States within the State of Florida subject to the following conditions:

SPECIAL CONDITIONS:

1. Structures authorized under this general permit are private single-family piers including normal appurtenances such as boat hoists, boat shelters with open sides, stairways, walkways, mooring piling, dolphins, and maintenance of same.

2. No work shall be performed until the applicant submits satisfactory plans for the proposed structure and receives written authorization from the District Engineer.

3. No structures shall be authorized by the general permit in:

a. Florida DNR or U.S. Fish and Wildlife Service established boat regulatory zones, sanctuaries or reserves.

b. Crystal, Salt, and Homosassa Rivers, Citrus County, where the structure extends waterward greater than minus (-) three (3) feet mean low water (mlw).

c. Faka Union Canal in Collier County.

4. The permittee agrees the contractor will instruct all personnel associated with the construction of the facility, of the presence of manatees and the need to avoid collisions with manatees.

5. The permittee agrees all personnel will be advised that there are civil and criminal penalties for harming, harassing, or killing manatees, which are protected under the Endangered Species Act of 1973, the Marine Mammal Protection Act of 1972, and the Florida Manatee Sanctuary Act. The permittee and/or contractor will be held responsible for any manatees harmed, harassed, or killed as a result of construction of the project.

6. The permittee agrees that any collision with a manatee shall be reported immediately on the manatee "hotline" (1-800-342-1021) and to the U.S. Fish and Wildlife Service, Jacksonville Endangered Species Field Station (904-791-2580).

7. The permittee agrees the contractor shall keep a log detailing sitings, collisions, or injury to manatees which have occurred during the contract period.

8. The permittee agrees that following project completion, a report summarizing the above incidents will be submitted to the Chief, Regulatory Division, Jacksonville District, Corps of Engineers, (P.O. Box 4970, Jacksonville, Florida 32232) and the U.S. Fish and Wildlife Service (3100 University Boulevard South, Suite 120, Jacksonville, Florida 32216-2732).

9. The permittee agrees all vessels associated with the project will operate at "no-wake" speeds at all times while in water where the draft of the vessel provides less than 3 feet clearance from the bottom and that vessels would follow routes of deep water to the maximum extent practicable.

10. The permittee agrees to establish and maintain a permanent educational display at a prominent location of all commercial facilities to increase the awareness of boat operators using the facility, of the presence of manatees, and need to minimize the threat of boats to these animals. The display should include information on the location of the facility with respect to boat speed zones in the area, the threat which boats pose to manatees, the manatee "hotline" number (1-800-342-1821), and other information which may aid in the conservation of the species. The permittee agrees to install and maintain a minimum of one (1) manatee awareness sign on the docks within the facility.

11. Where multiple slip facilities are authorized, the dock must be clumped to minimize shoreline disruption.

12. In the Intracoastal and Okeechobee Waterways, no structure, including mooring piles, authorized under this general permit, will be within 100 feet of the near-bottom edge of the channel unless it is a 5-foot marginal pier.

13. No living, fueling, or storage facilities over navigable waters of the United States are authorized under this general permit.

14. The structure shall not adversely affect or disturb properties listed as eligible for inclusion in the National Register of Historic Places.

15. No structures shall be authorized by this general permit on the following environmentally sensitive areas identified in the Wild and Scenic Rivers Act (16 U.S.C. 1371, et seq.): The Northwest Fork of the Loxahatchee River; and that portion of the Myakka River within the Myakka River State Park. These activities shall require an individual permit.

16. Authorization is contingent upon the issuance of permits from the Florida Department of Environmental Regulation and the Department of Natural Resources as appropriate.

17. A structure authorized under this general permit must not interfere with general navigation.

18. A structure which by its size or location may adversely affect water quality, fish and wildlife habitat, or photosynthetic processes will not be authorized under this general permit.

19. No work shall be performed until after notification of the owner or operator of any marked utilities in the area of the structure.


20. This general permit will be valid until suspended or revoked by issuance of a public notice by the District Engineer. Reviews will be conducted to determine if continuance of the permit is not contrary to the public interest.

21. Conformance with the description contained herein does not necessarily guarantee authorization under this general permit.

22. The District Engineer reserves the right to require that any request for authorization under this general permit be processed as an individual permit.

23. The General Conditions attached hereto are made a part of this permit (Atch 1).

BY AUTHORITY OF THE SECRETARY OF THE ARMY:



Robert L. Herndon
Colonel, U.S. Army
District Engineer

GENERAL CONDITIONS

a. That all activities identified and authorized herein shall be consistent with the terms and conditions of this permit; and that any activities not specifically identified and authorized herein shall constitute a violation of the terms and conditions of this permit which may result in the modification, suspension or revocation of this permit, in whole or in part, as set forth more specifically in General Condition j hereto, and in the institution of such legal proceedings as the United States Government may consider appropriate, whether or not this permit has been previously modified, suspended, or revoked in whole or in part.

b. That all activities authorized herein shall, if they involve a discharge or deposit into navigable waters or ocean waters, be at all times consistent with applicable water quality standards, effluent limitations and standards of performance, prohibitions, and pretreatment standards established pursuant to Sections 301, 302, 306, and 307 of the Federal Water Pollution Control Act of 1972 (P.L. 92-500; 86 Stat. 816), or pursuant to applicable State and local law.

c. That when the activity authorized herein involves a discharge or deposit of dredged or fill material into navigable waters, the authorized activity shall, if applicable water quality standards are revised or modified during the term of this permit, be modified if necessary, to conform with such revised or modified water quality standards within 6 months of the effective date of any revision or modification of water quality standards, or as directed by an implementation plan contained in such revised or modified standards, or within such longer period of time as the District Engineer, in consultation with the Regional Administrator of the Environmental Protection Agency, may determine to be reasonable under the circumstances.

d. That the permittee agrees to make every reasonable effort to prosecute the construction or work authorized herein in a manner so as to minimize any adverse impact of the construction or work on fish, wildlife, and natural environmental values.

e. That the permittee(s) agree to prosecute the construction or work authorized herein in a manner so as to minimize any degradation of water quality.

f. That the permittee shall permit the District Engineer or his authorized representative(s) or designee(s) to make periodic inspections at any time deemed necessary in order to assure that the activity being performed under authority of this permit is in accordance with the terms and conditions prescribed herein.

SAJRD
GENERAL PERMIT

g. That the permittee shall maintain the structure or work authorized herein in good condition and in accordance with the plans and drawings that are approved.

h. That this permit does not convey any property rights, either in real estate or material, or any exclusive privileges; and that it does not authorize any injury to property or invasion of rights or any infringement of Federal, State, or local laws or regulations, nor does it obviate the requirement to obtain State or local assent required by law for the activity authorized herein.

i. That this permit does not authorize the interference with any existing or proposed Federal project and that the permittee shall not be entitled to compensation for damage or injury to the structures or work authorized herein which may be caused by or result from existing or future operations undertaken by the United States in the public interest.

j. That this permit may be either modified, suspended, or revoked in whole or in part if the Secretary of the Army or his authorized representative determines that there has been a violation of any of the terms or conditions of this permit or that such action would otherwise be in the public interest.

k. That in issuing approval to perform work under this permit the Government has relied on the information and data which the permittee has provided in connection with his application. If, subsequent to the issuance of approval, such information and data prove to be false, incomplete, or inaccurate, this permit may be modified, suspended, or revoked, in whole or in part and/or the Government may, in addition, institute appropriate legal proceedings.

l. That any modification, suspension, or revocation of this permit shall not be the basis for any claim for damages against the United States.

m. That no attempt shall be made by the permittee to prevent the full and free use by the public of all navigable waters at or adjacent to the activity authorized by this permit.

n. That if the display of lights and signals on any structure or work authorized herein is not otherwise provided for by law, such lights and signals as may be prescribed by the United States Coast Guard shall be installed and maintained by and at the expense of the permittee.

o. That this permit does not authorize or approve the construction of particular structures, the authorization or approval of which may require authorization by the Congress or other agencies of the Federal Government.

SAJRD
GENERAL PERMIT

p. That if and when the permittee desires to abandon the activity authorized herein, unless such abandonment is part of a transfer procedure by which the permittee is transferring his interests herein to a third party pursuant to General Conditions hereof, he must restore the area to a condition satisfactory to the District Engineer.

q. That if the recording of this permit is possible under applicable State or local law, the permittee shall take such action as may be necessary to record this permit with the Registrar of Deeds or other appropriate official charged with the responsibility for maintaining records of title to and interests in real property.

r. That there shall be no unreasonable interference with navigation by the existence or use of the activity authorized herein.

s. That authorization under this permit may not be transferred to a third party without prior written notice to the District Engineer by the transferee's written agreement to comply with all terms and conditions of this permit. In addition, if the permittee transfers the interests authorized herein by conveyance of realty, the deed shall reference this permit and the terms and conditions specified herein and this permit shall be recorded along with the deed with the Registrar of Deeds or other appropriate official if law permits.

t. The term "permittee" means the party or parties authorized by the District Engineer to accomplish work under this general permit.

Opposite seawall

Mr. Frank Savastano

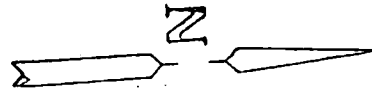
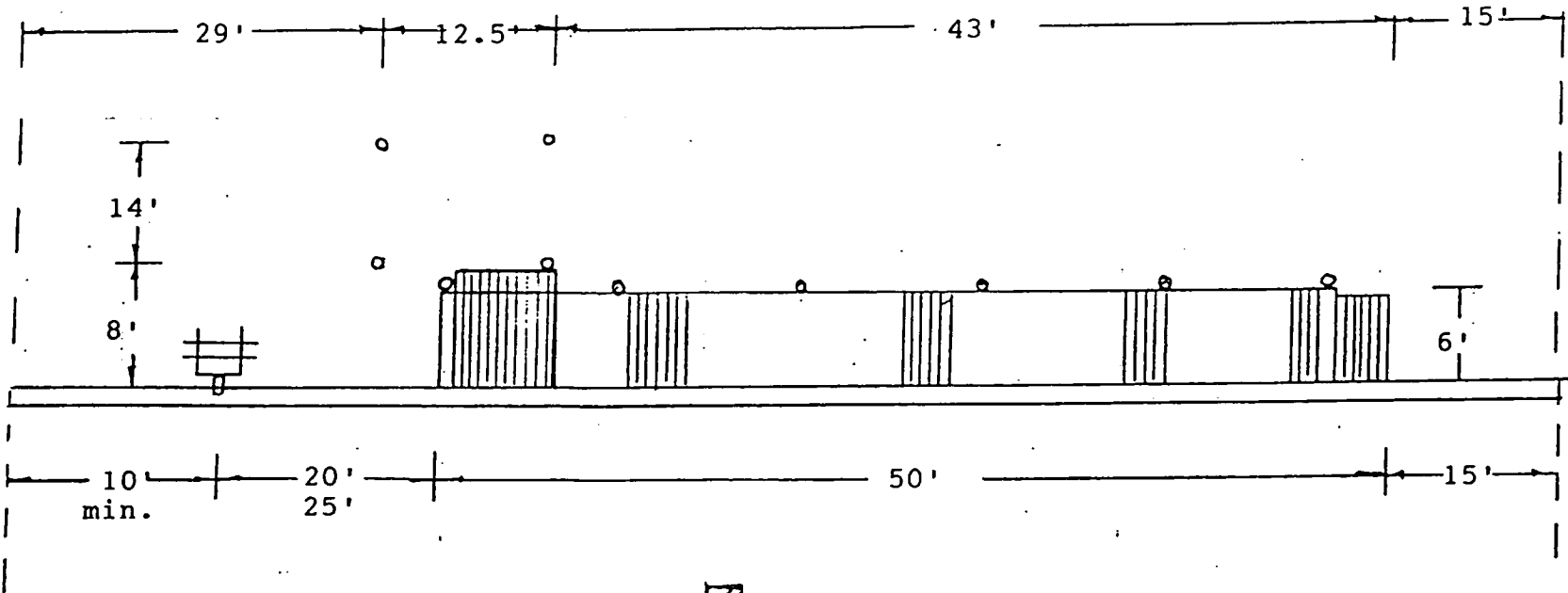
SCALE nts	APPROVED BY	DRAWN BY MEH
DATE 3/31/93		REVISED

Proposed boatlift

DRAWING NUMBER
1 of 3

N

100'



Mr. Frank Savastano

SCALE: nts
DATE: 6/3/93
APPROVED BY:
DRAWN BY: MEH
REVISED:

Proposed boatlift

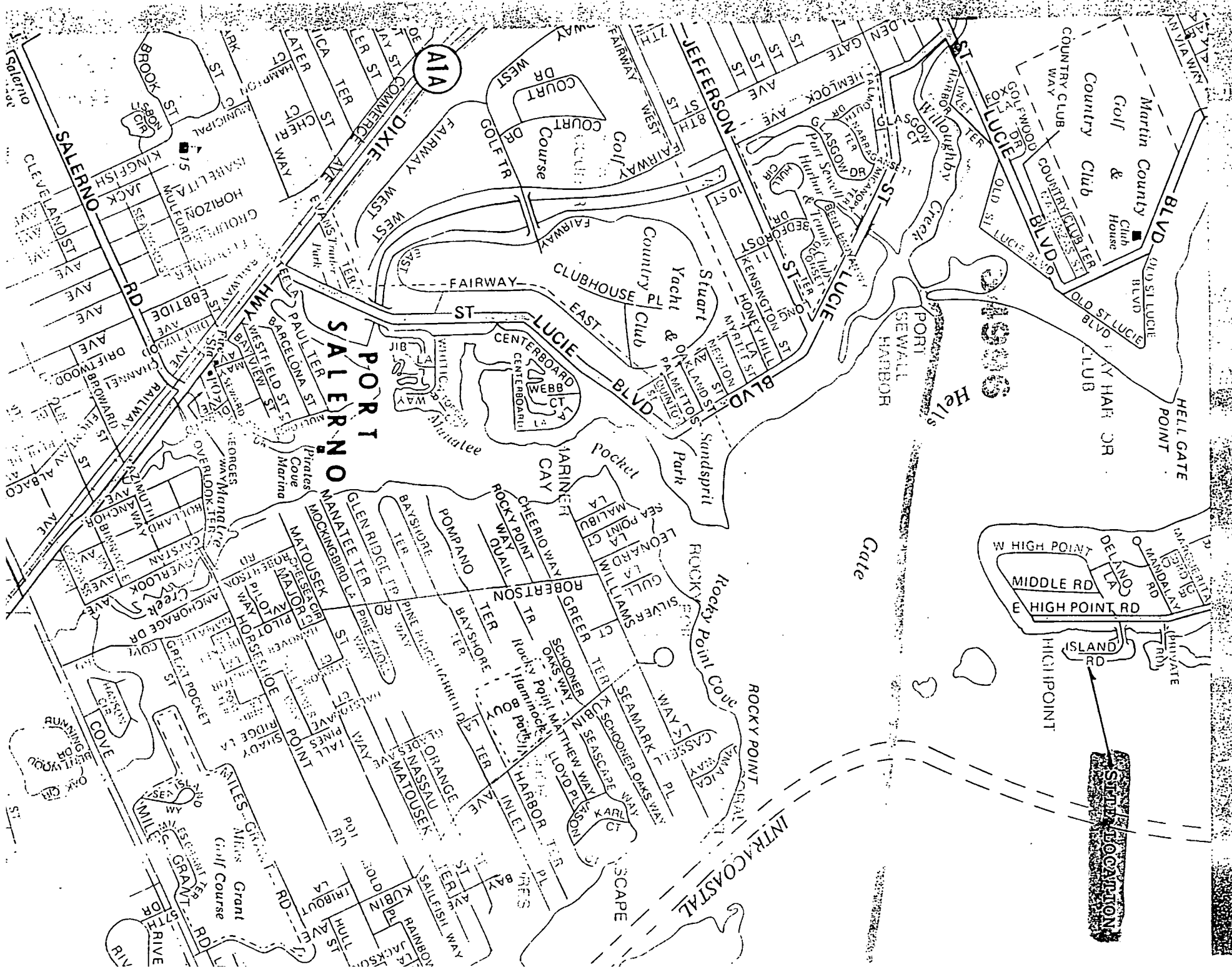
DRAWING NUMBER:
2 of 3

Proposed lift piling

Existing dock

4 - 10" boat lift support piling
with a firm bottom penetration
of min. 10'





STREET LOCATION



Lawton Chiles
Governor

Florida Department of Environmental Protection

Southeast District
P.O. Box 15425
West Palm Beach, Florida 33416

Virginia B. Wetherell
Secretary

JUL 12 1993

Port St. Lucie Office
1801 S.E. Hillmoor Drive, Suite C-204
Port St. Lucie, Florida 34952

Frank Savastano
c/o Tropic Marine Construction, Inc.
50 N.E. Dixie Highway C-8
Stuart, Florida 34994

Dear Mr. Savastano:

This is to acknowledge receipt of your application, File No. 432329758 to:

Place four (4) support pilings for installation of a boat lift to an existing dock. This project is located at 19 S.E. Island Road, Indian River, Class III Waters, Aquatic Preserve, O.F.W., Section 13, Township 38 South, Range 41 East, Sewalls Point, Martin County.

Based upon the forms, drawings, and documents submitted on June 16, 1993, the proposed project appears to qualify as an activity which is exempt from the need for a Department wetland resource permit under FACR 17-312.050(1)(d). A copy of the applicable language for this exemption is attached. This determination is based solely on the information provided the Department and the statutes and rules in effect when the application was submitted. This determination may not be valid if changes occur to the statutes and rules. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required.

The determination that your activity qualifies for an exemption does not relieve you from the need to comply with all applicable water quality standards during the construction and operation of the facility. A copy of your application also has been sent to the Florida Department of Natural Resources (DNR) and the U.S. Army Corps of Engineers (USACOE) for review. Consent of use of state-owned lands may be required from the DNR before construction. In addition, the USACOE may require a separate permit. Failure to obtain either of these authorizations prior to construction could subject you to enforcement action by those agencies. For further information, you should contact Don Keirn of the DNR at (407) 547-5825 and Joe Bacheler of the USACOE at (813) 840-2908.

A person whose substantial interests are affected by the Department's proposed decision may petition for an administrative proceeding (hearing) under section 120.57 of the Florida Statutes. The petition must contain the information set forth below and must be filed (received) in the Office of General Counsel of the Department at 2600 Blair Stone Road, Tallahassee, Florida 32399-2400. Petitions filed by the permit applicant and the parties listed below must be filed within fourteen days of receipt of this intent. Petitions filed by other persons must be filed within fourteen days of publication of the public notice or within fourteen days of their receipt of this intent, whichever first occurs. (The petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing.) Failure to file a petition within this time period shall constitute a waiver of any right that such a person may have to request an administrative determination (hearing) under section 120.57 of the Florida Statutes.

The Petition shall contain the following information:

- (a) The name, address, and telephone number of each petitioner, the applicant's name and address, the Department file number, and the county in which the proposed project would be located;
- (b) A statement of how and when each petitioner received notice of the Department's action or proposed action;
- (c) A statement of how each petitioner's substantial interests are affected by the Department's action or proposed action;
- (d) A statement of the material facts disputed by the petitioner, if any;
- (e) A statement of facts that the petitioner contends warrant reversal or modification of the Department's action or proposed action;
- (f) A statement of which rules or statutes petitioner contends require reversal or modification of the Department's action or proposed action; and
- (g) A statement of the relief sought by petitioner, stating precisely the action that the petitioner wants the Department to take with respect to the Department's action or proposed action.

Frank Savastano
File No. 432329758
Page Three

If a petition is filed, the administrative hearing process is designed to formulate agency action. Accordingly, the Department's final action may be different from the position taken by it in this notice. Persons whose substantial interests will be affected by any decision of the Department with regard to the application have the right to petition to become a party to the proceeding. The petition must conform to the requirements specified above and be filed (received) within fourteen days of receipt of this notice in the Office of General Counsel at the Department's address set forth above. Failure to petition within the allowed time frame constitutes a waiver of any right that such a person has to request a hearing under section 120.57 of the Florida Statutes and to participate as a party to this proceeding. Any later intervention will only be at the approval of the presiding officer on motion filed under rule 28-5.207, F.A.C.

Please see the copies of the exemption attached to this letter, and note that all specific conditions in the rule must be complied with to qualify for this exemption.

If you have any questions, please contact the undersigned at (407) 878-3890 or (407) 335-4310. When referring to this project, please use the file number listed above.

Sincerely

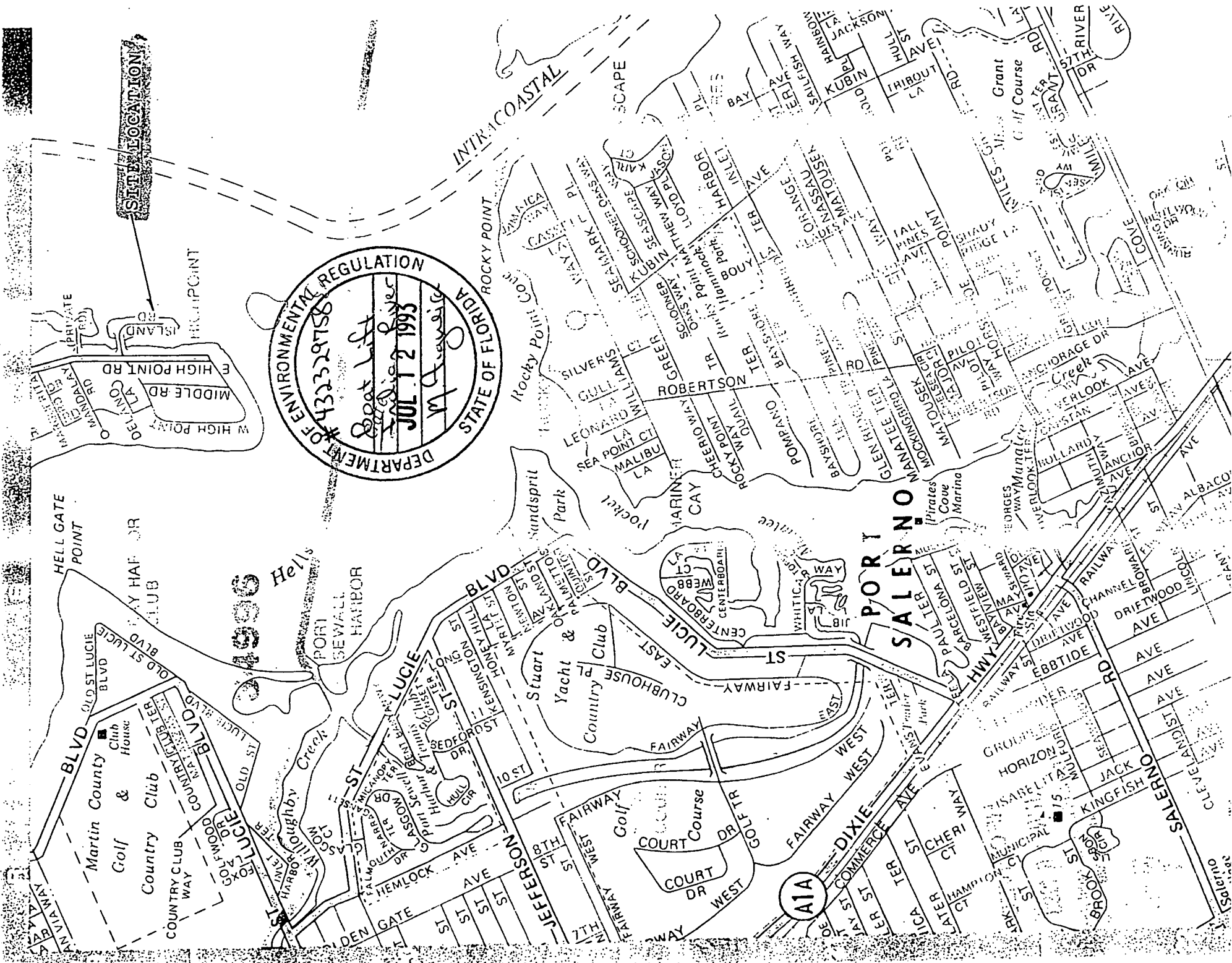


Tom Franklin
Environmental Supervisor II
Wetlands Resource Management

TF:mfs

attachments

cc: Department of Natural Resources
U.S. Army Corps of Engineers
Frank Savastano (Applicant)



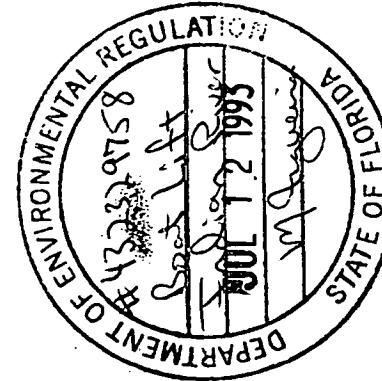
Mr. Frank Savastano

SCALE nts	APPROVED BY	DRAWN BY MEH
DATE 3/31/93		REVISED

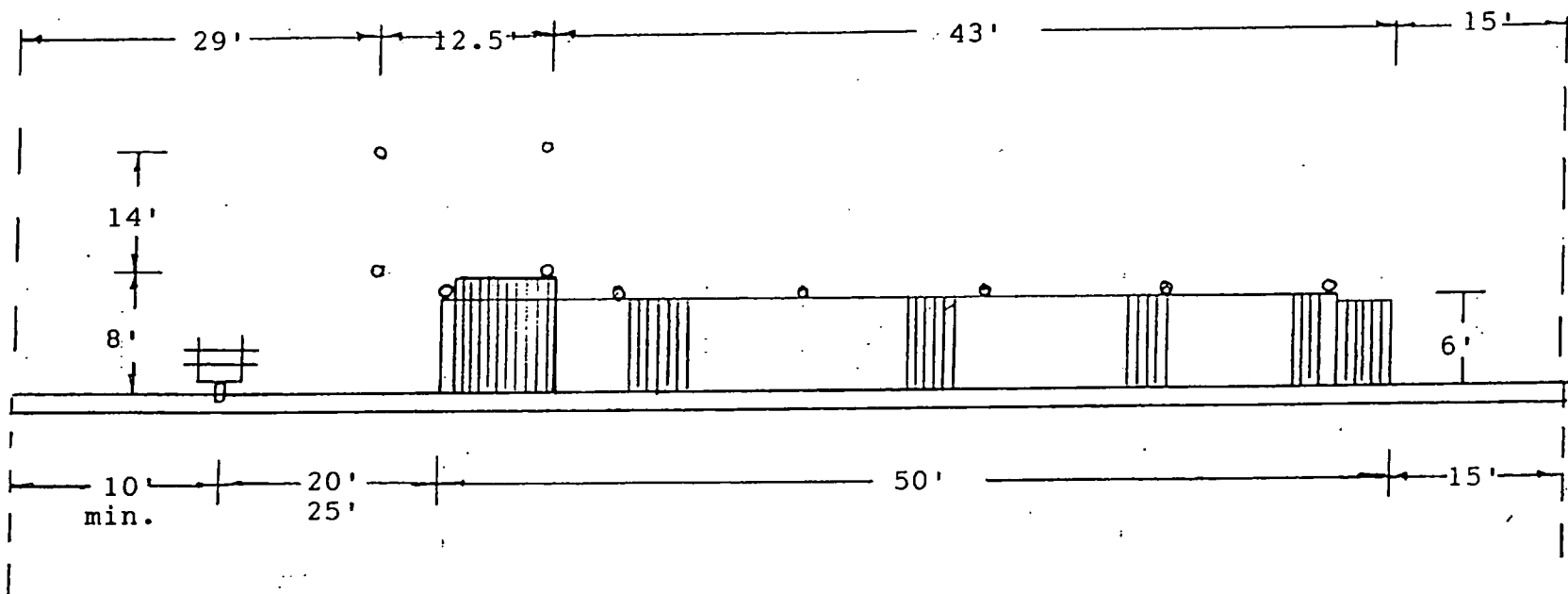
Proposed boatlift

DRAWING NUMBER
1 of 3

Opposite seawall



100'

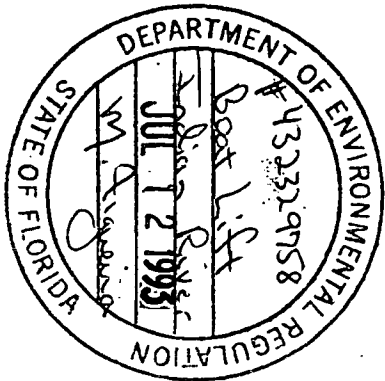


Mr. Frank Savastano

SCALE nts	APPROVED BY	DRAWN BY MEH
DATE 6/3/93		REVISED
Proposed boat lift		DRAWING NUMBER
		2 of 3

Proposed lift piling

Existing dock



4 - 10" boat lift support piling
with a firm bottom penetration
of min. 10'



3417

FILL

TAX FOLIO NO.

DATE

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Kenneth Friedman Present Address 1 Quail Run

Phone 334 9600 Sewall's Point

Contractor Dredge & Marine Const Address P.O. Box 399

Phone 223-0105

Where licensed STATE License Number CGG 015805

Electrical Contractor License Number

Plumbing Contractor License Number

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought:

State the street address at which the proposed structure will be built: Fill

Subdivision High Point Addition Lot Number 85 Block Number

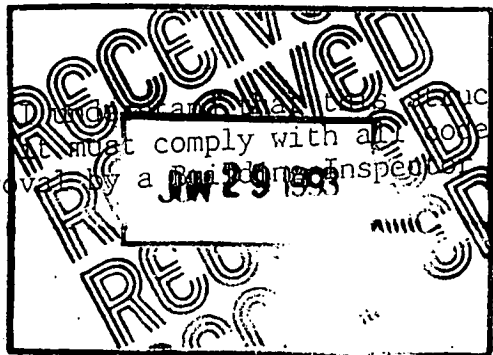
Contract Price \$ 200.00 Cost of Permit \$ 24.00

Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector of Town Commissioner "Red-Tagging" the construction project.

Contractor Michael...

Owner ...



that the structure must be in accordance with the approved plans and approved by a Building Inspector will be given.

TOWN RECORD

Approved: Dale Brown 6/29/93 Building Inspector Date

Date submitted Approved: ... 6/29/93 Commissioner Date Final Approval given: Date

Certificate of Occupancy issued(if applicable) Date

Permit No.

4384

DRIVEWAY

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 5/4/98

BUILDING PERMIT NO. 4384

Building to be erected for M & Mrs SAUASTAND Type of Permit DRIVEWAY

Applied for by FRANK SAUASTAND (Contractor) Building Fee _____

Subdivision HIGH POINT ADDN Lot 21 Block _____ Radon Fee _____

Address 19 ISLAND ROAD Impact Fee _____

Type of structure _____ A/C Fee _____

Parcel Control Number:
133040030000081040000

Amount Paid 25 Check # _____ Cash _____ Other Fees (DRIVEWAY) 25

Total Construction Cost \$ 10,650 TOTAL Fees 25

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector

ACCESSORY BUILDING NON-HABITABLE STRUCTURE PERMIT

INSPECTIONS

SETBACKS

DATE _____

FOUNDATION
FINAL

DATE _____

DATE _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

**This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

4384

Town of Sewall's Point

PLN. _____

Date 4/28/98

BUILDING PERMIT APPLICATION

to construct:

NEW CONSTRUCTION ADDITION ALTERATION DEMOLITION

RESIDENTIAL COMMERCIAL _____ SF _____ CF

OTHER: DRIVEWAY REPLACEMENT CONTRACT PRICE \$ 10,650.

Owner's Name FRANK & MILDRED SAVASTAND

Owner's Address 19 ISLAND ROAD

Fee Simple Titleholder's Name (If other than owner) _____

Fee Simple Titleholder's Address (If other than owner) _____

220-6896

City SEWALL'S PT State FL Zip 34996

Contractor's Name F.P. SAVASTAND FS

Contractor's Address 19 ISLAND RD. # 111

City STUART BEACH State FL Zip 34996

Job Name N/A

Job Address _____

City _____ State _____ Zip _____

Legal Description N/A

Bonding Company N/A

Bonding Company Address N/A

City _____ State _____ Zip _____

Architect/Engineer's Name N/A

Architect/Engineer's Address _____

Mortgage Lender's Name NONE

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
Owner or Agent
4/20/98
Date

Contractor

Date

COUNTY OF MARTIN
STATE OF FLORIDA

Sworn to and subscribed before me this 20th day of April, 1998 by Frank Savastano who: [] is/are personally known to me, or [] has/have produced H. & I. as identification, and who did not take an oath.

Name: [Signature]
Typed, printed or stamped
(NOTARY SEAL) OFFICIAL NOTARY SEAL
JOAN H BARROW
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. CC423705
MY COMMISSION EXP. NOV. 30, 1998
I am a Notary Public of the State of Florida having a commission number of _____ and my commission expires: _____

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this ___ day of _____, 199__ by _____ who: [] is/are personally known to me, or [] has/have produced _____ as identification, and who did not take an oath.

Name: _____
Typed, printed or stamped
(NOTARY SEAL) I am a Notary Public of the State of Florida having a commission number of _____ and my commission expires: _____

Certificate of Competency Holder

Contractor's State Certification or Registration No. _____

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY _____ Permit Officer

_____ Building Commissioner



31.11
TOWN OF SEWALL'S PT

Mouth in City -
Ocean Blvd

Town of Sewall's Point
Phone: (561) 287-2455 **Fax: (561) 220-4765**
One South Sewall's Point Road, Sewall's Point, Florida 34996

GENERAL CONDITIONS OF BUILDING PERMITS

All construction must conform to the Code of Ordinances of the Town of Sewall's Point, The South Florida Building Code (Dade County 1994 Edition updated to Supplement No. 4, January 1998, and Florida Statutes.

A Notice of Commencement is required for work, \$2,500 or more in value.

The Building Official does not have the authority to approve drawings or construction which would be in violation of the above mentioned Codes. Errors or omissions by the building department will not relieve the Owner or the Contractor from the above requirements, nor does this permit grant any waivers from the Code.

The permit is valid for one year, and may be renewed upon the payment of another permit fee equal to the original permit fee.

Wind load requirements for all new construction is based upon 140 MPH, exposure D as listed in ANSI/ASCE 7-88 approved November 27, 1990.
-Storm protection devices (shutters) are required on ALL windows and doors.

Permanent water and temporary or permanent electric service must be provided on site. Borrowing services from a neighbor is not allowed.

-Toilet facilities for workers must be provided. Construction sites must be kept free of debris at all times. Trash containers are required on all construction sites. They should not be overflowing.

Inspections and permits may be suspended or revoked and the Town may take other actions for failure to correct defects, concealing work without an approval by inspection, or by any willful violations of the above conditions or special conditions noted on the construction documents including the permit.

Working Hours - 8:00 am until 5:00 pm, Mon. – Sat.

Building Permit Application Checklist

Survey of the property certified to The Town of Sewall's Point showing the following:

- Complete legal description of the property.
- Existing finish grade elevations, expressed in NGVD.
- Calculations of lot size in square feet.
- All boundaries, easements, rights of way, encroachments, setback lines, existing improvements, and FIRM flood zone.
- Indication of trees on site by caliper and species, and those to be relocated or removed.

Site Plan showing all of the above except the trees to be removed, plus the following:

- Total area of existing and proposed improvements, by category, expressed in square footage, and total percentage of lot coverage.
- Drainage diagram and calculations for the retention of rainwater from a 3-day, 100-year storm event.
- Elevation of lowest habitable floor.

Building documents signed and sealed by an Architect or Engineer showing in detail the following:

- Elevations of each floor level and highest ridge of the roof with a tie-in with NGVD.
- Wind Load Certification of the structure for 140 mph, Exposure D, according to ASCE/ASCE 7-88
- Specifications for gravity and uplift connections.
- Foundation Plan with typical and special Section Drawings.
- Floor Framing Plan(s). Floor plan(s) with ceiling heights given for each non-typical room.
- Emergency egress panels or windows must be indicated.
- Roof framing plan. (Sealed)
- Electrical, Plumbing, and Mechanical drawings. (Sealed)
- Cross Section(s), Sections and Details, Elevations:
- Energy Code Calculations.

Other:

- Florida Department of Health septic tank permit or connection agreement to Martin County sewer.
- Recorded Notice of Commencement for work exceeding \$2,500 must be presented prior to construction.
- Water Meter connection and Electric Service must be provided to site prior to first inspection.
- Properly executed Building Permit Application with receipt from School Board for Impact Fees.

Permit No. 4384

Tax Folio No. _____

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF MARTIN

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Fla. Statutes, the following information is provided in this Notice of Commencement.

- 1. Description of property: RESIDENCE
- 2. General description of improvement: REPLACE DRIVEWAY
- 3. Owner information:
 - a. Name and address: F. SAVASTANO
19 ISLAND RD, SEWALLS PT. FL 34996
 - b. Interest in property:
 - c. Name and address of fee simple titleholder (if other than owner):

- 4. Contractor:
 - a. Name and address: F. SAVASTANO
19 ISLAND RD, SEWALLS PT FL. 34996
 - b. Phone number:
 - c. Fax number (optional, if service by fax is acceptable):

- 5. Surety:
 - a. Name and address:
 - b. Phone number:
 - c. Fax number (optional, if service by fax is acceptable):
 - d. Amount of bond \$ _____

- 6. Lender:
 - a. Name and address:
 - b. Phone number:
 - c. Fax number (optional, if service by fax is acceptable):

- 7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Sect. 713.13 (1)(a)7., Florida Statutes.
 - a. Name and address:
 - b. Phone number:
 - c. Fax number (optional, if service by fax is acceptable):

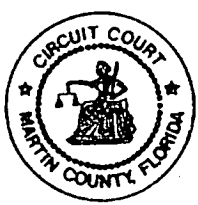
- 8. In addition to himself, Owner designates _____ of _____, to receive a copy of the Lienor's Notice as provided in Section 713.13 (1)(b), Florida Statutes.
 - a. Phone number:
 - b. Fax number (optional, if service by fax is acceptable):

- 9. Expiration date of notice of commencement: _____ (The expiration date is 1 year from the date of recording unless a different date is specified).

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHA STILLER, CLERK
BY Marsha Stiller D.C.
DATE 5-4-98

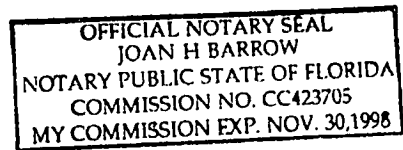


Frank Savastano
Signature of Owner
Name: Frank Savastano
Please Print, Type or Stamp

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 28th day of April, 1998, by Frank Savastano | | personally known to me, or W has produced Fl. d.t. as identification, and who | | did | | did not take an oath.

Joan H. Barrow
Signature of Notary
Name: Joan H. Barrow
Please Print, Type or Stamp



I am a Notary Public of the State of Florida having a commission number of _____ and my commission expires: _____

NOTARY SEAL.)

4710

OUTSIDE DECK

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date OCT. 26, 1999

BUILDING PERMIT NO. 4710

Building to be erected for FRANK SAVASTANO

Type of Permit OBSERV. DECK

Applied for by R.L.M. CONST.

(Contractor) Building Fee 230.40

Subdivision ISLE ADDN HIGH POINT Lot 81 Block _____

Radon Fee _____

Address 19 ISLAND ROAD

Impact Fee _____

Type of structure S.F.R.

A/C Fee _____

Parcel Control Number: _____

Electrical Fee _____

Plumbing Fee _____

Amount Paid \$253.44 Check # 2723 Cash _____

Roofing Fee _____

Other Fees (PLAD REVIEW) 23.04

Total Construction Cost \$ 24,000.00

TOTAL Fees \$253.44

Signed R.L. Mearns
Applicant

Signed [Signature]
Town Building Inspector OFFICIAL

**OUTSIDE DECK
BUILDING PERMIT**

FORM BOARD SURVEY	DATE	CHASING	DATE
COMPACTION TESTS	DATE	FRAMING	DATE
GROUND ROUGH	DATE	INSULATION	DATE
SOIL POISONING	DATE	ROOF DRY-IN	DATE
FOOTINGS / PIERS	DATE	ROOF FINAL	DATE
SLAB ON GRADE	DATE	METER FINAL	DATE
TIE-BEAMS & COLUMNS	DATE	AG-BUILT SURVEY	DATE
STRAPS AND ANCHORS	DATE	STORM PANELS	DATE
DRIVEWAY	DATE	LANDSCAPE & GRADE	DATE
AG-BUILT SURVEY	DATE	FINAL INSPECTION	DATE <u>3/2/00</u>

FLOOD ZONE N/A

LOWEST HABITABLE FLOOR ELEV. N/A

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

**This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**



**1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log**

Fri 11-5-99

PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4710	Bleffinato 19 Island Rd	Roofing DRY-IN	PASSED	
		PHONE 260-3308		POB - 263-0116 (Pacific)
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4620	Laraway 15 Middle Rd	Footing	FAILED	ENGR. FTG. DIAG. REQUIRE - REINSPECT (NO FEE) AFTER SUBMITTAL & APPROVAL
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR: _____

DATE: 11/5/99



1998 - 1999 Town of Sewall's Point Building Department - Inspection Log

Wed, 11-3-99

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4569	Gerard 104 Abbie	gr & steel for pool	PASSED	
4710	Savastano 19 Island	dry-in	FAIL	NO ACCESS; NO LADDER CONTRACTOR NOT ON SITE - CALL FOR REINSPECTION
4555	Pead 12 Simara	final	PASS (PTL)	prefer PM 1. DOCUMENTS 11/4 1:15 PM MTC 2. REINSPECTION 11/5 10:50-12:00
4673	Foglia 110 H. Sewall	slab " bonding	2 PASSED	RECD. FORMS AND SURVEY - TERMINAL TREAT 11/2/99
4628	Hellmead 11 Castle Hill	slab for "studio"	* SEE NOTE (NO INSP.)	
4716	ZOTTA; 23 " "	FENCE FINAL	PASSED	
4588	Gimes 15 Castle Hill	insulation	PASSED	VERIFIED F/A @ GARAGE; RECD. ELEV. CERT & REV. SURV
4534	1 Castle Hill	c.o. Benton	PASSED	prefer PM AM 11/3/99 8:40 AM
4590	Gabbert 2 E. Hi. Point	framing	PASSED	VERIFY PTH. FIRE BLOCKING @ INTX. INSP.; ELEV. CHK ON B
4620	Laraway 15 Middle Rd.	temp. meter (RELIEVE CONST. SERV)	PASSED	prefer AM FPC ON SITE - METER RELEASE

OTHER: # NO INSPECTIONS UNTIL SITE GRADING / BARRIER / PROTECTION PERFORMED TO PREVENT DIRT RUN-OFF TO PUBLIC WAY & DRAINAGE SYSTEM. CONTR. REP. ON SITE ADVISED; CALL TO TOWN HALL REQUESTING STREET MAINT. SVR. TO OVERSEE CORRECTIVE ACTION AS REQUIRED (11/3/99 9:30 AM)
(NOTE: JOSE TO SITE @ 10:00 AM)

INSPECTOR:

DATE: 11/3/99



**1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log**

Fri., 10-29-99

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4595	Bruner 105 Hillcrest Crt.	driveway	PASSED	CONST. NOT STARTED. PERMITS REMOVED FROM SITE
4589	Steve Conway/Const. 130 N S Pt Rd.	tin tags & metal	PASSED	
4710	Sudatino 19 Island Rd.	mail + tin shovels insp.	PASSED	
4534	Benton 1 Castle Hill	final for c.o.	PASSED w/cond AS NOTED (Doc's req.)	11:00-12:00 YER COURT REQ. 10:AM says plans were stolen from job s.
4713	McSwirey 6 Mariner	sheath, ro	PASSED	INSPECT SOFFIT REPAIRS @ FINAL.
4503	LUCIAC 7 Sobel Crt.	T/AMT (PM) temp. el.	PASSED -?	G-C./ELECT. NOT ON SITE; NO TEMP. POWER REQUEST; FILE.

OTHER: 4595-BRUNER: 105 HILLCREST: incl. review of site & grading w/cont. will increase retention area @ south & improve west drainage from drive to south into retention area.

INSPECTOR:

DATE: 10/29/99

Bldg. Pmt# 4710
10/26/99

Town of Sewall's Point

Date 10-15-99
GCT 13
10/15/99

BUILDING PERMIT APPLICATION

Owner's Name: M/MRS SAVASTANO Phone No. _____
Owner's Present Address: 19 ISLAND ROAD
Fee Simple Titleholder's Name & Address if other than owner: N/A

Location of Job Site: 19 ISLAND ROAD
TYPE OF WORK TO BE DONE: ADD OBSERVATION DECK
CONTRACTOR INFORMATION
Contractor/Company Name: R.L.M. CONST. Phone No. 561-336-4083
COMPLETE MAILING ADDRESS: P.O. Box 94-7012 STUART, FL. 34996
State Registration _____ State License CCC 044315
Legal Description of Property _____
Parcel Number _____

ARCHITECT/ENGINEER INFORMATION
Architect BEN BRITT Phone No. 283 7633
Address 402 E PARKWAY STUART-FL. 34996
Engineer N/A Phone No. _____
Address _____
Area Square Footage: Living Area _____ Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck 160#
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE N/A AMPS

FLOOD HAZARD INFORMATION
flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement \$24,000
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No X
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)
Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing _____ State License# _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE *R. L. Macey*
Sworn to and subscribed before me this 26th day of October, 1999 by R.L. Macey who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.
CONTRACTOR SIGNATURE *R. L. Macey*
Sworn to and subscribed before me this _____ day of _____, 1998 by _____ who is personally known to me or has produced _____ and who did (did not) take an oath.



MY COMMISSION # CC763645 EXPIRES November 30, 2002 BONDED THRU TROY FAIR INSURANCE, INC

Joan H. Barbour

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____

Specimen tree removed _____ Fee _____ Authorized/Date _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

ACORD. CERTIFICATE OF INSURANCE

ISSUE DATE (MM/DD/YY)

10/11/99

PRODUCER

KEARNS AGENCY OF FLORIDA, INC.
P.O. BOX 1849
JENSEN BEACH, FL 34958-1849

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY LETTER A	AUTO OWNERS INSURANCE COMPANY
COMPANY LETTER B	
COMPANY LETTER C	
COMPANY LETTER D	
COMPANY LETTER E	

INSURED

RLM CONSTRUCTION
P.O. BOX 94-7012
STUART, FL 34996

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	20514367	3-15-99	3-15-00	GENERAL AGGREGATE \$ 500,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				PRODUCTS-COMP/OP AGG. \$ 500,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR.				PERSONAL & ADV. INJURY \$ 500,000
	<input checked="" type="checkbox"/> OWNER'S & CONTRACTOR'S PROT.				EACH OCCURRENCE \$ 500,000
					FIRE DAMAGE (Any one fire) \$ 50,000
					MED. EXPENSE (Any one person) \$ 5,000
A	AUTOMOBILE LIABILITY	20514367	3-15-99	3-15-00	COMBINED SINGLE LIMIT \$ 500,000
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input checked="" type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE \$
<input checked="" type="checkbox"/> HIRED AUTOS					
<input checked="" type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				
	EXCESS LIABILITY				EACH OCCURRENCE \$
	UMBRELLA FORM				AGGREGATE \$
	OTHER THAN UMBRELLA FORM				
	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY				STATUTORY LIMITS
					EACH ACCIDENT \$
					DISEASE-POLICY LIMIT \$
					DISEASE-EACH EMPLOYEE \$
	OTHER				

CERTIFIED COPY

KEARNS AGENCY OF FLA., INC.

By: LER

Date: 10-11-99

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CARPENTRY - STATE OF FLORIDA

CERTIFICATE HOLDER

City of Sewalls Point
1 So. Sewalls Point Road
Stuart, FL 34994
220-4765

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

LAWRENCE E. KEARNS

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

EFFECTIVE DATE 07/16/1999

EXPIRATION DATE 07/15/2001

EXEMPTED PERSON LAST NAME MACEY

FIRST NAME RICHARD

SOCIAL SECURITY NUMBER 362-38-4944

BUSINESS NAME R L M CONSTRUCTION

FEDERAL IDENTIFICATION NUMBER 650365277

BUSINESS ADDRESS PO BOX 94-7012

STUART

FL 34994

F
O
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H
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NOTE: Pursuant to chapter 440.10(1)(g), 2, F.S., a sole proprietor, partner, or officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.



STATE OF FLORIDA

AC# 5161136

DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION

CG -C044315-06/09/1998 97903937

CERTIFIED GENERAL CONTRACTOR
MACEY, RICHARD LEE
R L M CONSTRUCTION

IS CERTIFIED under the provisions of Ch. 489 FS.

Expiration Date: AUG 31, 2000

4726

RE-ROOF

MASTER PERMIT NO. _____

ISSUED
11/29/99

TOWN OF SEWALL'S POINT

Date 11/10/99

BUILDING PERMIT NO. 4726

Building to be erected for FRANK SAVASTANO

Type of Permit RE-ROOF

Applied for by PACIFIC ROOFING (Contractor)

Building Fee _____

Subdivision HIGH POINT 1st Lot 81 Block _____

Radon Fee _____

Address 19 ISLAND ROAD

Impact Fee _____

Type of structure S.F.R. (EXST'G.)

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

13 38 4100 300000810 41000

Roofing Fee \$ 120.00

Amount Paid \$ 120.00 Check # 3257 Cash _____ Other Fees (_____)

Total Construction Cost \$ 18,500.00

TOTAL Fees \$ 120.00

Signed Rob Austin

Signed [Signature]

Applicant

Town Building Inspector

RE-ROOFING PERMIT

INSPECTIONS

DRY IN
PROGRESS

DATE _____
DATE _____

PROGRESS
FINAL

DATE _____
DATE 1/26/00

24 HOURS NOTICE REQUIRED FOR INSPECTIONS:

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.

**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

2000 ~~1999~~

Town of Sewall's Point
Building Department - Inspection Log

Wed, 1-26-00

2

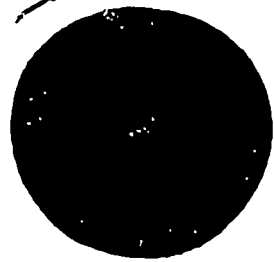
PAGE 2 of 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4726	Savastano 19 Island Rd. (High Point)	roof final	PASSED	
4658	Foglia 103 H. Sewall Way (Sewall's Meadow)	framing, trades	Passed B.G.	Check with Ed. Receipt on Sliding Glass door for 12' gutter ground
4691	Wattles 20 N. Ridgeview	roof nailing	Passed B.G.	
4717	Zarro 124 N.S.P.Rd.	partial footers	Partial Passed B.G.	AM (pour Noon)
4628	Helmege 11 Castle Hill LOT 41	strapping & engineering	Consultation	Need Truss plan. Cannot Rebuild windows Need Letter for Add Steps to Bureau from Architect.

OTHER:

INSPECTOR:

DATE:



~~2000~~ **2000**
Town of Sewall's Point
Building Department - Inspection Log

PAGE 1 OF 2

Jul - 1/7/2000

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4535	Kennedy 3 Oak Hill Way	sewer connect (HOUSE SIDE)	PASSED	OPEN FOR INSP. @ 11:00 AM & C ONLY - TRENEFF FILED.
S 4631	Prutvan 23 W. High Pt.	tie beam FRONT & SIDE RTN. WALL - PRIVACY WALL	PASSED	
S 4744	RAAB (IN PROCESS) 22 SIMARA 282-3418	SITE INSP.	REPEREATED	11:00 AM. (confirmed)
4726	Sebastiano 19 Island	tin tag, mtl	PASSED	AM
S 4658	Foglia 103 H. Sewall	TIN TAG/MTL	PASSED	AM
S 4657	Foglia 105 H. Sewall	TIN TAG/MTL	NOT READY	AM Covers 2 plate by cuts
N 4227	SACCONE 25 Periwinkle	TIN TAG/MTL	PASSED	AM 9:00 AM (per code.)

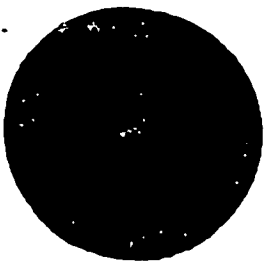
OTHER: 133 S. RIVER ROAD - ON SITE INSPECTION. TREE ORD. VIOL. (PL. RPT. 00-00 WALKED SITE W/ RPTG. OFFICER (TINA CIECHANOWSKI) CONFIRMED CUT TREES AS ENUMERATED IN REPORT.

RESEARCH:

ON SITE TEMP. CONSTR. TRAILS

INSPECTOR: _____

DATE: 01/07/00



~~2000~~ **2000**
Town of Sewall's Point
Building Department - Inspection Log

Wed - 1-5-00

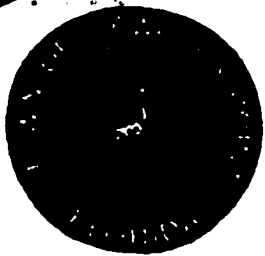
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4727	Saccone 25 Periwinkle	Plywood Inspector SHEATHING	PASSED	10:00 - if pass 9:30 Twy 5263-0049 CM
4726	Savastano 19 Island Rd	Form Tag & metal sheet	PASSED	
4782	Botts 2 Copaire	electrical legion @ meter. NOTE: new	PASSED (RUMC)	AM 8:30 met w/ center replacement of phase led meter - ok; meter also
4650	Swiss Am 4 Banyan	insulation	PASSED	AM
		STUCCO/LATH	PASSED	PM
4735	Ellen Glick 7 S.P. Rd.	tin-tag & metal	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: PN 4527-37 LOTTING WAY (SERLEY) advised contractor & site of add'l
 100000 to pay delinquent

INSPECTOR: _____

[Handwritten Signature]

DATE: 01/05/00

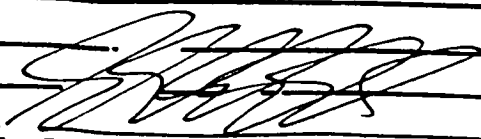


1998 - 1999
Town of Sewall's Point
 Fri. **Building Department - Inspection Log**
 12-10-99

PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4620	Laraway .15 Middle Rd.	final	PASSED	CO ISSUED SUBJECT TO REQUIRED CONDITIONS.
4745	Dembinski 4 Knowles	partial sheathing	PASSED	
4726	Savastano 19 Island Rd.	partial sheathing	PASSED	
4735	Coverdale 51 N. River Rd. (RENTAL)	sheathing	PASSED	call Terry re: time 263-0049 or 287-510

OTHER: _____

INSPECTOR:  **DATE:** 12/10/99



BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Berridge Manufacturing Company Inc.

1720 Maury Street
Houston, Texas 77026-7199

Your application for Product Approval of:
Berridge Manufacturing Company Cee Lock Panel
under Chapter 8 of the Miami-Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: **Underwriters Laboratories Inc., and Celotex Corporation Testing Services** has been recommended for acceptance by the Building Code Compliance Office to be used in Dade County, Florida under the specific conditions set forth on pages 2-6 and the standard conditions on page 7.

This approval shall not be valid after the expiration date stated below. The Building Code Compliance Office reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

~~ACCEPTANCE NO: 97-1124-09~~
~~EXPIRES: 04/02/01~~

Revises: 94-0706.12

Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Miami-Dade County Building Code Compliance Office and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

Charles Danger, P.E.
Director
Building Code Compliance Dept.
Miami-Dade County

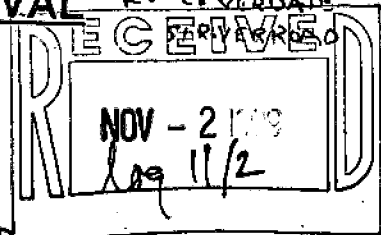
APPROVED: 04/02/98

11/10/99 TOWN OF SEWELL'S POINT
REVIEWED
TOWN COPY
19 ISLAND ROAD

PN4726

**PROOF OF NOTICE:
SUBDIVISION REVIEW/APPROVAL**

FD C. V. CROANE



To: Building Official, Town of Sewall's Point
 FROM: Permit Applicant
 RE: Subject structure described as follows:

OWNER: FRANK SAVASTANO ; ADDRESS: 19 ISLAND ROAD

PROJECT ADDRESS: 19 ISLAND ROAD ; LEGAL DESCRIPTION: LOT 81 BLK --- SUB HIGH POINT

GENERAL CONTRACTOR: PACIFIC ROOFING ; LIC/CERT No. CC6056793

ADDRESS: P.O. BOX 2697 STUART, FL 34995 ; TEL 283-7663; FAX 283-9505

ARCHITECT OR ENGINEER: _____ ; LIC/REG No. _____

ADDRESS: _____ ; TEL _____ ; FAX _____

PERMIT No: _____ ; DATE OF ISSUE: _____ ; DATE OF THIS STATEMENT: _____

The proposed project is located in the located in HIGH POINT Subdivision.

In compliance with permit application review requirements, please be advised as follows:

- SUBDIVISION/ASSOCIATION REVIEW AND APPROVAL IS NOT REQUIRED. *SUBDIVISION REVIEW NOT REQUIRED PER APPL*
- SUBDIVISION/ASSOCIATION REVIEW AND APPROVAL IS REQUIRED.
- APPROVAL DOCUMENTATION IS ATTACHED *11/22/99 APPROVED: COMM. OF HIGH POINT BY: [Signature]*
- NOTICE OF THE ABOVE PROPOSED CONSTRUCTION WAS PROVIDED TO THE SUBDIVISION/ASSOCIATION ON _____

11/2/99
 Proof of Notice
 R. J. Gomes

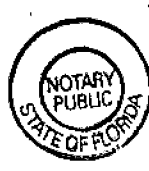
Executed at _____, this 1 day of NOVEMBER 1999.

NAME: RICHARD J. GOMES ; SIGNATURE: [Signature] Lic. No: CC6056793

STATE OF FLORIDA
 COUNTY OF MARTIN

Sworn to and subscribed before me this 1 day of NOVEMBER 1999, by RICHARD J. GOMES, who is personally known to me or who has produced _____ as identification and who did not take an oath.

(NOTARY SEAL)



ROBIN HARMEIER
 My Comm. Exp. 4/25/00
 Bonded By American Ins. Co.
 No. CC550607
 Personally Known
 Other ID _____

[Signature]
 Name _____

I am a Notary Public of the State of Florida and my commission expires: _____

Bldg. Pmt# 4726

Town of Sewall's Point

Date 11/1/99

BUILDING PERMIT APPLICATION

Owner's Name: FRANK SAVASTANO Phone No. NA
Owner's Present Address: _____
Fee Simple Titleholder's Name & Address if other than owner NA

Location of Job Site: 19 ISLAND ROAD

TYPE OF WORK TO BE DONE: REROOF

CONTRACTOR INFORMATION

Contractor/Company Name: RICHARD J. GOMES / PACIFIC ROOFING Phone No. 283-7663
COMPLETE MAILING ADDRESS P.O. BOX 2697 STUART, FL 34995
State Registration _____ State License CC056797
Legal Description of Property HIGH POINT ISLE ADDN Lot 81
Parcel Number 13-38-41-003-000-00A1.0-40000

ARCHITECT/ENGINEER INFORMATION

Architect _____ Phone No. _____
Address _____
Engineer _____ Phone No. _____
Address _____

Area Square Footage: Living Area 5500 Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement 18500
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No _____
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

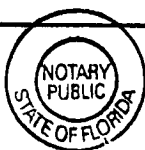
Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing PACIFIC ROOFING State License# CC056797

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE _____
Sworn to and subscribed before me this _____ day of _____, 1998 by _____ who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.
CONTRACTOR SIGNATURE [Signature] P.R.C. Pres.
Sworn to and subscribed before me this 1 day of NOVEMBER, 1999 by RICHARD J. GOMES who is personally known to me or has produced _____ and who did (did not) take an oath.



ROBIN HARMEIER
My Comm. Exp. 4/25/00
Bonded By American Ins. Co.
No. CC550607
 Personally Known
 Other ID _____

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____

Specimen tree removed _____ Fee _____ Authorized/Date _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
 7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

PERMIT # _____

TAX FOLIO # 13-38-41-003-000-6081.0-40000

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

High Point Isle Addn Lot 81/19 Island Road

GENERAL DESCRIPTION OF IMPROVEMENT: Reroof

OWNER: Frank Savastano

ADDRESS: 19 Island Road Stuart, FL 34996

PHONE #: Na

FAX #: Na

CONTRACTOR: Pacific Roofing

ADDRESS: P.O. Box 2697 Stuart, FL 34995

PHONE #: 561-283-7663

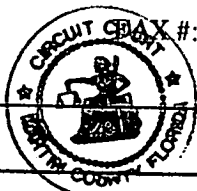
FAX #: 561-283-9505

SURETY COMPANY (IF ANY) _____

ADDRESS: _____

PHONE # _____

STATE OF FLORIDA
MARTIN COUNTY



BOND AMOUNT: _____

THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

LENDER: _____

MARSHA STILLER, CLERK

ADDRESS: _____

BY 10015 DE
DATE 11-2-99

PHONE #: _____

FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____

FAX #: _____

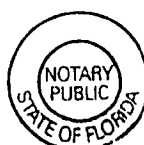
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Frank Savastano
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 26 DAY OF October
19 99 BY FRANK SAVASTANO

Robin Harmeyer
NOTARY SIGNATURE

OR PERSONALLY KNOWN
OR PRODUCED ID _____
TYPE OF ID _____



ROBIN HARMEIER
My Comm. Exp. 4/25/00
Bonded By American Ins. Co.
No. CC550607
 Personally Known
 Other ID _____

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
08/27/1999

PRODUCER (561)746-4546 FAX (561)746-9599
Tequesta Agency, Inc.
393 Tequesta Drive
Tequesta, FL 33469

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

Attn: Debra Hicks Ext:

INSURED Pacific Roofing Corp., Inc.
PO Box 2697
Stuart, FL 34994

COMPANIES AFFORDING COVERAGE	
COMPANY A	Transcontinental Insurance co.
COMPANY B	Transportation Insurance Co.
COMPANY C	
COMPANY D	

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT	C155821031	08/27/1999	10/28/2000	GENERAL AGGREGATE \$ 2,000,000
					PRODUCTS - COM/PROP AGG \$ 2,000,000
					PERSONAL & ADV INJURY \$ 1,000,000
					EACH OCCURRENCE \$ 1,000,000
					FIRE DAMAGE (Any one fire) \$ 50,000
					MED EXP (Any one person) \$ 5,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	C144640569	08/27/1999	10/28/2000	COMBINED SINGLE LIMIT \$ 1,000,000
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$
					OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY <input type="checkbox"/> THE PROPRIETOR/ PARTNERS/EXECUTIVE OFFICERS ARE: <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL	WC177093784	10/28/1999	10/28/2000	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER
					EL EACH ACCIDENT \$ 100,000
					EL DISEASE - POLICY LIMIT \$ 500,000
	OTHER				EL DISEASE - EA EMPLOYEE \$ 100,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

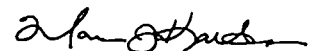
CERTIFICATE HOLDER

TOWN OF SEWALLS POINT
1 SOUTH SEWALLS POINT ROAD
STUART, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Mark Kasten/DEBBIE



Certificate of Insurance

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON YOU THE CERTIFICATE HOLDER. THIS CERTIFICATE IS NOT AN INSURANCE POLICY AND DOES NOT AMEND, EXTEND, OR ALTER THE COVERAGE AFFORDED BY THE POLICIES LISTED BELOW.

This is to Certify that

STAFF LEASING, L.P., BY STAFF ACQUISITION, INC., THE GENERAL PARTNER, AND THE AFFILIATED LIMITED PARTNERSHIPS OF WHICH STAFF ACQUISITION, INC. IS THE GENERAL PARTNER AND THEIR SUCCESSOR CORPORATIONS
600 301 BOULEVARD WEST, SUITE 202
BRADENTON, FLORIDA 34205

Name and address of Insured



is, at the issue date of this certificate, insured by the Company under the policy(ies) listed below. The insurance afforded by the listed policy(ies) is subject to all their terms, exclusions and conditions and is not altered by any requirement, term or condition of any contract or other document with respect to which this certificate may be issued.

TYPE OF POLICY	CERTIFICATE EXP. DATE * <input type="checkbox"/> CONTINUOUS <input type="checkbox"/> EXTENDED <input checked="" type="checkbox"/> POLICY TERM	POLICY NUMBER	LIMIT OF LIABILITY
WORKERS COMPENSATION	1-1-2000	WA1-65D-004110-299 WC1-651-004110-019	Coverage Afforded Under WC Law of the Following States:
			EMPLOYERS LIABILITY
			Bodily Injury By Accident Each Accident \$1,000,000.
GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCURRENCE RETRO DATE: <input type="text"/>			All States Endorsement
			Bodily Injury By Disease Policy Limit \$1,000,000.
			Bodily Injury By Disease Each Person \$1,000,000.
			General Aggregate-Other than Prod/Completed Operations
			Products/Completed Operations Aggregate
AUTOMOBILE LIABILITY <input type="checkbox"/> OWNED <input type="checkbox"/> NON-OWNED <input type="checkbox"/> HIRED			Bodily Injury and Property Damage Liability Per Occurrence
			Personal and Advertising Injury Per Person/Organization
			Other: <input type="text"/>
			Other: <input type="text"/>
OTHER			Each Accident - Single Limit - B.I. and P.D. Combined
			Each Person
			Each Accident or Occurrence
			Each Accident or Occurrence

EMPLOYEES LEASED TO: 16459 : **PACIFIC ROOFING CORP. INC.** **EFFECTIVE DATE:** 11/01/99

The above referenced Workers' Compensation policy provides statutory benefits only to employees of the Named Insured(s) on the policy, not to employees of any other employer.

* IF THE CERTIFICATE EXPIRATION DATE IS CONTINUOUS OR EXTENDED TERM, YOU WILL BE NOTIFIED IF COVERAGE IS TERMINATED OR REDUCED BEFORE THE CERTIFICATE EXPIRATION DATE.
SPECIAL NOTICE - OHIO: ANY PERSON WHO, WITH INTENT TO DEFRAUD OR KNOWING THAT HE IS FACILITATING A FRAUD AGAINST AN INSURER, SUBMITS AN APPLICATION OR FILES A CLAIM CONTAINING A FALSE OR DECEPTIVE STATEMENT IS GUILTY OF INSURANCE FRAUD.
IMPORTANT NOTICE TO FLORIDA POLICY HOLDERS AND CERTIFICATE HOLDERS: IN THE EVENT YOU HAVE ANY QUESTIONS OR NEED INFORMATION ABOUT THIS CERTIFICATE FOR ANY REASON, PLEASE CONTACT YOUR LOCAL SALES PRODUCER, WHOSE NAME AND TELEPHONE NUMBER APPEARS IN THE LOWER RIGHT HAND CORNER OF THIS CERTIFICATE. THE APPROPRIATE LOCAL SALES OFFICE MAILING ADDRESS MAY ALSO BE OBTAINED BY CALLING THIS NUMBER.
NOTICE OF CANCELLATION: (NOT APPLICABLE UNLESS A NUMBER OF DAYS IS ENTERED BELOW.) BEFORE THE STATED EXPIRATION DATE THE COMPANY WILL NOT CANCEL OR REDUCE THE INSURANCE AFFORDED UNDER THE ABOVE POLICIES UNTIL AT LEAST 30 DAYS NOTICE OF SUCH CANCELLATION HAS BEEN MAILED TO:

CERTIFICATE HOLDER

TOWN OF SEWALL'S POINT
1 S. SEWALL'S POINT ROAD
STUART, FL 34996--000

Liberty Mutual Group

Teresa M. Schell
TERESA M. SCHELL
AUTHORIZED REPRESENTATIVE

Bradenton, FL 800-475-4430 11/08/99
OFFICE PHONE DATE ISSUED



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD
7960 ARLINGTON EXPRESSWAY
SUITE 300
JACKSONVILLE FL 32211-7467

(904) 727-6530

GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
1501 DECKER AVE UNIT 303 & 304
PO BOX 2697
STUART FL 34995

STATE OF FLORIDA AC# 564036
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CC -C056793 09/01/1999 990061
CERTIFIED ROOFING CONTRACTOR
GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
IS CERTIFIED under the provisions of Ch. 489
Expiration Date: AUG 31, 2000

DETACH HERE

AC# 5640369

STATE OF FLORIDA DUPLICATE
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
09/01/1999	99006114	CC -C056793

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2000

GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
1501 DECKER AVE UNIT 303 & 304
PO BOX 2697
STUART FL 34995

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON
SECRETARY

8733

DEMOLITION



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8733	DATE ISSUED:	OCTOBER 9, 2007
SCOPE OF WORK:	DEMOLITION		
CONDITIONS :			
CONTRACTOR:	RICK STRONG		
PARCEL CONTROL NUMBER:	133841003000008104	SUBDIVISION	HIGH POINT-LOT 81
CONSTRUCTION ADDRESS:	19 ISLAND RD		
OWNER NAME:	SAVASTANO		
QUALIFIER:	RICK STRONG	CONTACT PHONE NUMBER:	287-8371

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

6-2308 called - left mess -

RECEIVED
DATE: 10-9-07
TOWN OF SEWALL'S POINT

Date: 10/9/07 Town of Sewall's Point **BUILDING PERMIT APPLICATION** Permit Number: _____

OWNER/TITLEHOLDER NAME: FRANK SAVASTANO Phone (Day) 772-220-6896 (Fax) _____

Job Site Address: 19 ISLAND RD City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) High Pt / Lot 81 Parcel Number: 13-38-41-003-000-06810-4

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work: REPLACE DECK BOARDS DEMO

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO X
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 5000.00
(Notice of Commencement required when over \$2500 prior to first inspection)
Is subject property located in flood hazard area? V A9 A8 X
FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: RICK STRONG Phone: 287-8371 Fax: SAME

Street: 1501 DECKER AVE # 504 City: STUART State: FL Zip: 34994

State Registration Number: _____ State Certification Number CRL010452 Municipality License Number: -

PROJECT SUPERINTENDANT: RICK STRONG CONTACT NUMBER: 287-8371

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQ. FOOTAGE (W /SEWER & ELECTRIC): Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

CODE EDITIONS IN EFFECT AT-TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS:
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3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****
OWNER OR AUTHORIZED AGENT SIGNATURE (required) _____ CONTRACTOR SIGNATURE (required) _____
State of Florida, County of: Martin On State of Florida, County of: Martin
This the 9 day of OCTOBER, 2007 This the 9 day of OCTOBER, 2007
by FRANK SAVASTANO who is personally known to me or produced by RICK STRONG who is personally known to me or produced

as identification _____
My Commission Expires: _____

Notary Public State of Florida
Robert Alan Austin
My Commission DD461404
Expires 08/14/2009

as identification _____
My Commission Expires: _____

Notary Public State of Florida
Robert Alan Austin
My Commission DD461404
Expires 08/14/2009

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 13-38-41-003-000-00810-4

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

HIGH POINT ISLE ADD. LOT 81

GENERAL DESCRIPTION OF IMPROVEMENT: 2ND FLOOR DECK REPAIR

OWNER NAME: FRANK SAVASTANO

ADDRESS: 19 ISLAND RD. SEWALL'S PT.

PHONE NUMBER: 220-6896 FAX NUMBER: _____

INTEREST IN PROPERTY: _____

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: RICK STRONG

ADDRESS: 1501 DECKER AVE. #504, STUART FL.

PHONE NUMBER: 772-287-8371 FAX NUMBER: SAME

SURETY COMPANY (IF ANY): N/A

ADDRESS: _____

PHONE NUMBER: _____ FAX NUMBER: _____

BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: N/A

ADDRESS: _____

PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: N/A

ADDRESS: _____

PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B).

FLORIDA STATUTES: PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ (EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

X [Signature] SIGNATURE OF OWNER OR OWNER'S AUTHORIZED AGENT SIGNATORY'S TITLE/OFFICE

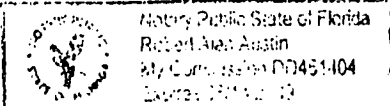
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9 DAY OF Oct, 2007

BY: FRANK SAVASTANO AS TYPE OF AUTHORITY FOR NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION

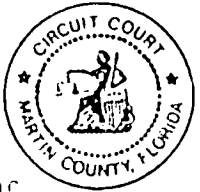
TYPE OF IDENTIFICATION PRODUCED

[Signature] NOTARY SIGNATURE; NOTARY SEAL



THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL. MARSHA EWING, CLERK

By [Signature] D.C.



INSTR # 2043196 OR BK 02283 PG 1805 RECD 10/09/2007 12:21:56 PM



12:21:56 PM

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10-17, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8679 (6)	Watters 70 N River Rd JTG	Final	PASS	Close INSPECTOR: <i>AM</i>
Tree 3	Schnabel 1225 Sewalls Pt O/B	Tree	PASS	INSPECTOR: <i>AM</i>
8738	Seawalls Pt	Final	PASS	Close
8733	19 Island Rd Trine	Final	PASS	Close INSPECTOR: <i>AM</i>
7224 2	Johnson 34 W High Pt Schiller	Final	PASS	Close INSPECTOR: <i>AM</i>
8692 5	Dougl 42 S Sewalls Pt Trine	Final	PASS	Close INSPECTOR: <i>AM</i>
8705 4	Strait 17 Rio Vista O/B	buck (w/d)	FAIL	INSPECTOR: <i>AM</i>
		WORK W/D PERMIT		
	7 WEST HIGH PT.	NOT STOP WORK		
		ORDER ISSUED.		INSPECTOR:
OTHER: 8037	Morney 121 Hillcrest Dr O/B	Final A/C	PASS	Close <i>AM</i>

8738

RE-ROOF



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

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 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8738	DATE ISSUED:	OCTOBER 15, 2007
SCOPE OF WORK:	REROOF		
CONDITIONS:			
CONTRACTOR:	TRUINE ROOFING		
PARCEL CONTROL NUMBER:	133841003000008104	SUBDIVISION	HIGH POINT -LOT 81
CONSTRUCTION ADDRESS:	19 ISLAND RD		
OWNER NAME:	SAVASTANO		
QUALIFIER:	ROBERT AUSTIN	CONTACT PHONE NUMBER:	287-1949

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REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

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RECEIVED
DATE: 10-10-07
TOWN OF SEWALL'S POINT

Date: 10/9/07 Town of Sewall's Point BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: FRANK SAVASTANO Phone (Day) 270-6896 (Fax) -

Job Site Address: 19 ISLAND RD. City: SEWALL'S PT State: FL Zip: _____

Legal Desc. Property (Subd/Lot/Block) 4164 PT, ISLAND. LOT 81 Parcel Number: 13-38-41-003-000-00810-4

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work: RE ROOF

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 7,700.00
(Notice of Commencement required when over \$2500 prior to first inspection)
Is subject property located in flood hazard area? V A9 A8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
Fair Market Value of the Primary Structure only (Minus the land value)
*** PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION ***

CONTRACTOR/Company: IRVINE BUILDERS INC (Roofing Contractor) Phone: 287-1949 Fax: 287-1948

Street: P.O. Box 631 City: HOBE SOUND State: FL Zip: 33475

State Registration Number: _____ State Certification Number: CRC 1328017 CCC 132362 Municipality License Number: _____

PROJECT SUPERINTENDANT: ROBERT AUSTIN CONTACT NUMBER: 260-7507

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQ. FOOTAGE (W/SEWER & ELECTRIC): Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carpport: _____ Total Under Roof: _____ Wood Deck: 40 Accessory Building: _____

CODE EDITIONS IN EFFECT FOR THIS APPLICATION: Florida Building Code - Res., Build, Mech., Plmb., Fuel Gas: 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Prevention Code 2004

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I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER SIGNATURE (required)
Frank Savastano

State of Florida, County of: Martin
This the 9 day of October, 2007
by Frank Savastano who is personally
known to me or produced
as identification. Robert Alan Austin

My Commission Expires: _____
Notary Public

CONTRACTOR SIGNATURE (required)
Robert A. Austin

On State of Florida, County of: Martin
This the 10 day of Oct, 2007
by Robert A. Austin who is personally
known to me or produced
as identification. Michael Bergin

My Commission Expires: 8/30/10
Notary Public

NOTARY PUBLIC
MICHAEL BERGIN
Notary Public, State of Florida
Commission # 00588520
My comm. expires August 30, 2010

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

RE-ROOF PERMIT CERTIFICATION

PERMIT # _____

CONTRACTOR'S NAME: TRUWE Builders INC PHONE #: 287-1949 FAX: 287-1948

OWNER'S NAME: FRANK SAVASTANO

CONSTRUCTION ADDRESS: 19 ISLAND RD. CITY St. Aust STATE FL

RE-ROOF: RESIDENTIAL (SINGLE FAMILY)

_____ COMMERCIAL **--REMOVE/REINSTALL ROOF TOP HVAC EQUIP _____ YES _____ NO

**...DISCONNECT/RECONNECT HVAC ELECTRIC _____ YES _____ NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

ROOF TYPE: _____ HIP _____ BOSTON-HIP _____ GABLE _____ FLAT _____ OTHER _____

ROOF PITCH: NA /12 SLOPE

ROOF DECK: * _____ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED SHEATHING BOARD)

_____ RE-SHEATH - (REMOVAL OF SPACED SHEATHING BOARD AND REPLACEMENT WITH NEW PLYWOOD PANELS) - REQUIRES USE OF FLORIDA BUILDING CODE "2004".

_____ SPACED SHEATH FILL-IN - SPACES BETWEEN SHEATHING BOARD MAY BE FILLED-IN WITH SHEATHING BOARD OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED

FILE COPY

TOWN OF SEWALL'S POINT

THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 10-12-07

BUILDING OFFICIAL

EXISTING ROOF COVERING: Torch Apply EXISTING COVERING TO BE REMOVED? YES NO _____

PROPOSED NEW ROOF COVERING: Cold Apply

MANUFACTURER: JOHN MANVILLE PRODUCT NAME: Cold Apply PRODUCT APPR # 06-062604

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
 MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: _____ GALV./STEEL _____ ALUMINUM _____ COPPER _____ OTHER _____

RIDGEVENT TO BE INSTALLED: _____ YES _____ NO _____
 DESCRIPTION OF WORK: _____

REMOVE Existing Torch system over Front Entry only. Install New Cold Apply Flat Roof System.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR: [Signature] DATE: 10/9/07

MATERIAL LIST

(5) CANS MBR FLASHING CEMENT BASE AND ACTIVATION

(1) ROLL PERMA PLY 28

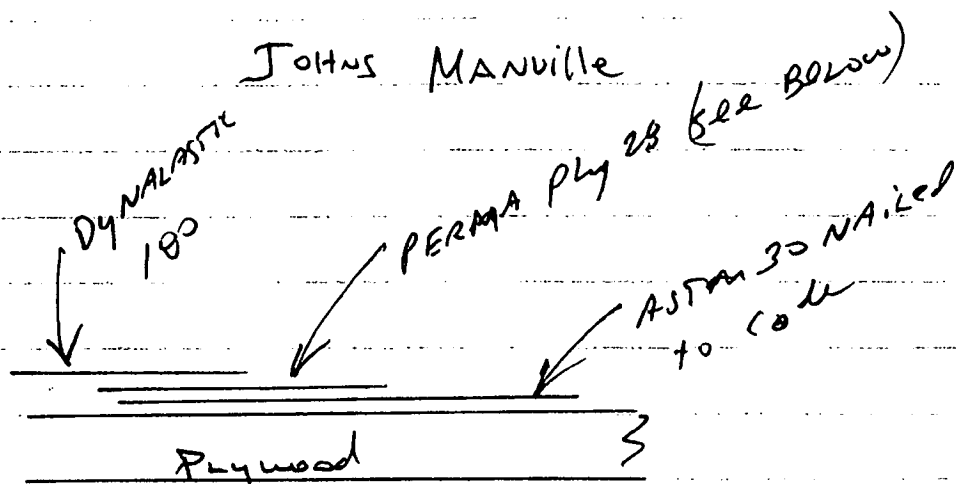
(5) ROLLS DYNALASTIC 180

(3) ROLLS 30 # ASTM FELT

TIN TAPS, NAILS

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Rick Strong



- 1) NAIL 30 POUND FELT 6" O.C. AT Side LAPS with 1'0" O.C. middle Row Staggered Tin Tagged
- 2) PERMA PLY 28 (START WITH 18" WIDE AT DRIP Edge, THEN Full Rows NAILED SAME AS 30 POUND WITH 3" Side LAP AND 4" END LAPS.
- 3) Apply Full width piece of DYNALASTIC 180 WHITE GRANULE IN Full COATING OF MBR Adhesive 4" Side LAP, 6" END LAPS

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



SBS Cold Application Specifications Specification 2CND-CA/2FND-CA/2PND-CA

Two Ply Cold Process Modified Bitumen Mineral Surfaced Roofing System. For use over plywood or other nailable decks on inclines up to 3" per foot (250 mm/m).

Materials per 100 sq. ft. (9.3 m²) of Roof Area

Sheathing Paper:	
Wood board decks only	1 layer
Base Felts:	
GlasBase Plus, DynaPly, DynaBase or PermaPly 28	1 layer
Cap:	
2CND-CA—DynaKap or DynaKap FR	
2FND-CA—DynaGlas or DynaGlas FR	
2PND-CA—DynaLastic 180, DynaLastic 180 FR, DynaLastic 250 or DynaLastic 250 FR	1 layer
Approximate installed weight: 140 - 240 lbs. (64 - 109 kgs.)	

General

This specification is for use over any type of approved structural deck (without insulation) which can receive and adequately retain nails or other mechanical fasteners that may be recommended by the deck manufacturer.

Design and installation of the deck and/or roof substrate must result in the roof draining freely, to outlets numerous enough and so located as to remove water promptly and completely. Areas where water ponds for more than 24 hours are unacceptable and will not be eligible for a JM Roofing System Guarantee.

Flashings

Flashing details can be found in the "Bituminous Flashings" section of the JM Commercial/Industrial Roofing Systems Manual.

Application

On roof decks with slopes up to 1/2" per foot (41.6 mm/m), the roofing felts and modified bitumen sheets may be installed either perpendicular or parallel to the roof incline.

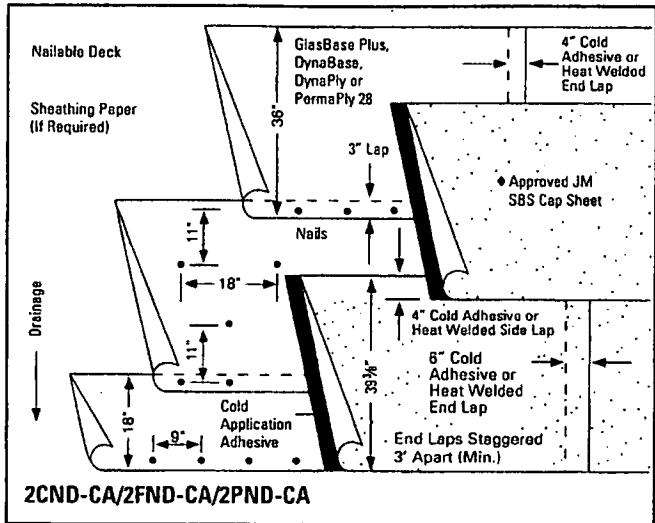
Over wood board decks, one ply of sheathing paper must be used under the base felt, next to the deck.

Using one of the base felts listed, start with a piece 18" (457 mm) wide. The remaining felts are to be applied full width with 3" (76 mm) side and 4" (102 mm) end laps over the preceding sheets. Nail the laps at 9" (229 mm) centers, and down the longitudinal center of each felt place two rows of nails, with the rows spaced approximately 11" (279 mm) apart, and nails staggered on approximately 18" (457 mm) centers. Use nails or fasteners appropriate to the type of deck, with 1" (25 mm) minimum diameter caps. For additional fastener information, refer to the fastener data in the "Roof Decks" section of the current JM Commercial/Industrial Roofing Systems Manual.

Cap sheet application is accomplished in one of the following ways:

- Apply a full width piece of one of the cap sheets listed into a full coating of MBR Cold Application Adhesive. Subsequent sheets are to be applied in the same manner, with 4" (102 mm) side and 6" (152 mm) end laps over the preceding sheets.

Or...



- Prepare the 6" (152 mm) end lap by removing all loose granules. Heat and embed all remaining granules with a hot air gun or torch. Apply heat to the 3" (76 mm) side and 6" (152 mm) end lap making sure both have a good compound flow to adhere the two surfaces. All laps must be rolled with a 3" (76 mm) rounded edge roller. A 1/8" to 3/8" (3 mm to 10 mm) bleedout of SBS compound shall be visible at the edge of all seams. All laps must be checked for good adhesion.

Subsequent sheets are to be applied in the same manner.

Application of JM SBS Modified Bitumen Products may require the use of a hot air gun or torch. Improper use of these materials and application equipment can result in severe burns, and/or other physical injury, as well as damage to property. In order to prevent these situations the mechanic must install the materials using the techniques recommended by JM and those found in "A Guide to Safety: Torch-On Modified Bitumens" available from the Asphalt Roofing Manufacturers Association. These techniques have been endorsed by the National Roofing Contractors Association and the United Union of Roofers, Waterproofers and Allied Workers.

Note: When using metric and English sized base and cap sheets in the same system, care must be taken to avoid lap over lap configurations.

Base sheets and cap sheets with polyester reinforcement must be allowed to relax in an unrolled position prior to installation.

For cold weather application techniques, refer to Paragraph 7A.24.

Steep Slope Requirements

Special procedures are required on inclines over 1/2" per foot (41.6 mm/m). Refer to Paragraph 7A.21.

Surfacing

No additional surfacing is required.

Refer to the Material Safety Data Sheet and Product Label prior to using this product.

RS-4287 8-04 (New)



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Johns Manville Corporation
717 17th Street
Denver, CO 80202**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Johns Manville Modified Bitumen Roofing Systems Over Wood Decks

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 04-0401.05 and consists of pages 1 through 24.
The submitted documentation was reviewed by Jorge L. Acebo.



**NOA No.: 06-0626.04
Expiration Date: 07/19/11
Approval Date: 08/10/06
Page 1 of 24**

ATT. VAL.

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 13-38-41-003-000-C0F10-4

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

HIGH POINT ISLE ADD. LOT #1

GENERAL DESCRIPTION OF IMPROVEMENT: 2ND FLOOR DECK REPAIR WITH RE-ROOF

OWNER NAME: FRANK SAVASTANO
ADDRESS: 19 ISLAND RD. SEWALL'S PT.
PHONE NUMBER: 220-6896 FAX NUMBER: _____

INTEREST IN PROPERTY: _____

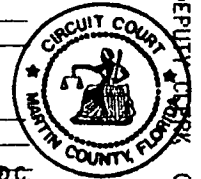
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: RICK STRONG & TRUENE ROOFING
ADDRESS: 1501 DECKER AVE. #504, STUART FL.
PHONE NUMBER: 772-287-8371 FAX NUMBER: SOME

SURETY COMPANY (IF ANY): N/A. STATE OF FLORIDA
ADDRESS: _____ MARTIN COUNTY
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: N/A.
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.



INSTR # 2043196 OR BK 02283 PG 1805 RECD 10/09/2007 12:21:56 PM
Pg 1805: (1pg)
MARSHA EWING MARTIN COUNTY DEPT. CLERK C Hunter

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: N/A
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B).

FLORIDA STATUTES: PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

X [Signature] SIGNATURE OF OWNER OR OWNER'S AUTHORIZED AGENT SIGNATORY'S TITLE/OFFICE

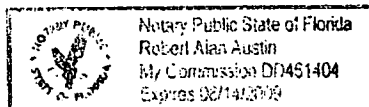
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9 DAY OF Oct., 2007

BY: FRANK SAVASTANO AS _____ TYPE OF AUTHORITY FOR _____ NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____

TYPE OF IDENTIFICATION PRODUCED _____

Robert Alan Austin
NOTARY SIGNATURE. NOTARY SEAL.



ACORD CERTIFICATE OF LIABILITY INSURANCE

OPID SE
TRIUR-1

DATE (MM/DD/YYYY)
08/09/07

PRODUCER
Stuart Insurance, Inc.
3070 S W Mapp
Palm City FL 34990
Phone: 772-286-4334 Fax: 772-286-9389

INSURED
Triune Builders Inc DBA
Triune Roofing
P.O. Box 631
Hobe Sound FL 33475

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

NAIC #

INSURER A: **Admiral**

INSURER B:

INSURER C:

INSURER D:

INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	CODE INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	CA00010152-01	11/13/06	11/13/07	EACH OCCURRENCE \$ 1000000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50000 VED EXP (Any one person) \$ 5000 PERSONAL & ADW INJURY \$ 1000000 GENERAL AGGREGATE \$ 2000000 PRODUCTS - COMP/DP AGG \$ 1000000
		GENL AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC. \$ AUTO ONLY. AGG \$
		EXCESS UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE/OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATI-TORY LIMITS <input type="checkbox"/> DIF-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
		OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
Roofing ~ STATE OF FLORIDA

CERTIFICATE HOLDER

CANCELLATION

TOWNS-1

Town of Sewalls Point
1 S Sewalls Point Road
Stuart FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
John L. Hill

ACORD CERTIFICATE OF LIABILITY INSURANCE		CERTIFICATE NO. / DATE AC01-0100186-363127 8/9/2007 2:56:24PM
PRODUCER Highpoint Risk Services LLC 14160 Dallas Parkway #500 Dallas, TX 75254 (800) 632-5096 (972) 715-0959 Fax: (972) 404-4450	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURERS AFFORDING COVERAGE		
INSURED: AMS LLC/F: TRIUNE BUILDERS, INC. 7100 S.E. FED HWY SUITE 14 STUART, FL 34997 (772) 287-1949 Fax: (772) 307-1940	INSURER A: Companion Property and Casualty Insurance Comp INSURER B: INSURER C: INSURER D: INSURER E:	

COVERAGES
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CBIR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO. <input type="checkbox"/> LOC				EACH OCCURRENCE \$ FIRE DAMAGE (Any One Fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMPROP AGG \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Per accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ ACC \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE OFDUCTRI P RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS LIABILITY	WC7779990401	04/01/2007	04/01/2008	<input checked="" type="checkbox"/> WC STATE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1000000 E.L. DISEASE - EA EMPLOYEE \$ 1000000 E.L. DISEASE - POLICY LIMIT \$ 1000000
	OTHER LIMITS \$ LIMITS \$				LIMITS \$ LIMITS \$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLE(S)/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 1. This certificate remains in effect, provided the client's account is in good standing with AMS. Coverage is not provided for any employee for which the client is not reporting wages to AMS. Applies to 100% of the employees of AMS leased to TRIUNE BUILDERS, INC., effective 04/01/2007.
 PLEASE SEE ATTACHED EMPLOYEE ROSTER.

CERTIFICATE HOLDER	ADDITIONAL INSURED; INSURER LETTER:	CANCELLATION
Sewalls Point Building Department 1 South Sewalls Point Road Sewalls Point, FL 34996		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE

AC# 3204526

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L070423003

DATE	BATCH NUMBER	LICENSE NBR
04/23/2007	060670510	CRC1328017

The RESIDENTIAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

AUSTIN, ROBERT ALAN
TRIUNE BUILDERS INC
7190 SE FEDERAL HWY STE 14
STUART FL 34997

CHARLIE CRIST
GOVERNOR

HOLLY BENSON
SECRETARY

DISPLAY AS REQUIRED BY LAW

AC# 3204515

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L070423003

DATE	BATCH NUMBER	LICENSE NBR
04/23/2007	060670511	CCC1327362

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

AUSTIN, ROBERT ALAN
TRIUNE BUILDERS INC
7190 SE FEDERAL HWY STE 14
STUART FL 34997

CHARLIE CRIST
GOVERNOR

HOLLY BENSON
SECRETARY

DISPLAY AS REQUIRED BY LAW

2006-2007 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE 2006-512-0004 CERT CRC 1328017
PHONE (772) 546-0999 SIC NO 233211

LOCATION: 7770 SE MACCO FARMS RD HS

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	.00	LIC. FEE \$	25.00
\$	.00	PENALTY \$	.00
\$	.00	COL. FEE \$	.00
\$	.00	TRANSFER \$	.00
TOTAL		25.00	

RECEIPT OF PAYMENT
LARRY C. OSTEEN
TAX COLLECTOR
20060000000000
002006001328
TRIUNE BUILDERS INC

AUSTIN, ROBERT ALAN
TRIUNE BUILDERS, INC.
7770 SE MACCO FARMS ROAD
HOBE SOUND, FL 33455

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF RESIDENTIAL BUILDING CONTRACTOR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

15 DAY OF AUGUST 06
2007



FAX COVER SHEET

SEND TO Company name Building Dept.	From CRISTAL
Attention	Date 8/9/07
Office location	Office location
Fax number 1.772.220.4765	Phone number 772.287.1949

- Urgent
 Reply ASAP
 Please comment
 Please review
 For your information

Total pages including cover: 4

COMMENTS

Please file information so that we can become registered with Town of Sewalls Point.

Thank you.

If you need any additional information please feel free to contact us.

2007-2008

MARTIN COUNTY ORIGINAL BUSINESS TAX RECEIPT

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE 2006-512-0004 CRC 1328011
PHONE (772) 546-0999 CERT 233211
SIC NO

LOCATION: 7770 SE MACCO FARMS RD HS

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR.	\$.00	LIC. FEE	\$ 26.25
	\$.00	PENALTY	\$.00
	\$.00	COL. FEE	\$.00
	\$.00	TRANSFER	\$.00
TOTAL			26.25

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF
RESIDENTIAL BUILDING CONTRACTOR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

04 DAY OF **SEPTEMBER** 07
AND ENDING **SEPTEMBER 30** 2008

11 2006 52086.0001

26.25 PAID

AUSTIN, ROBERT ALAN
TRIUNE BUILDERS, INC. ←
P.O. BOX 631
HOBE SOUND FL 33475

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri OCT 15, 2007 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8721	KENDREGAN	POOL STEEL	FAIL	
1	12 RIO VISTA	POOL STEEL BAND		
	LOUDEV POOLS	MAIN DRAINS		INSPECTOR: <i>AM</i>
8198	MCCORMICK		PASS	CLOSE
2	59 N. RIVER	FINAL		
	PROPMS SERVICES	GAS		INSPECTOR: <i>AM</i>
	CARLSON	POWER RELEASE	PASS	CONTACT FPL
1A	3 TUSCAN	215-9010		
	MASTERPIECE	FRANK		INSPECTOR: <i>AM</i>
8596	Cobello	slab	FAIL	
	8 N Sewalls			
	Rm Johnson			INSPECTOR: <i>AM</i>
7338	MCCORMICK	final	PASS	READY FOR CO.
	59 N River Rd			
	Ric Orchard			INSPECTOR: <i>AM</i>
CoE.		DOCK W/O PERMIT		
	25 W. HIGH PT.			INSPECTOR:
8736	TOWN OF S. P.	METER FINAL	PASS	CONTACT FPL
8736	1 S.S.P.R.			
	Co.			INSPECTOR: <i>J.A.</i>
OTHER:	1915 ROAD TRUPE			
	1915 ROAD			
	TRUPE			

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10-17, 2007

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8679 (6)	Watters 70N Newark Rd JTG	Final	PASS	CLOSE INSPECTOR: <i>AM</i>
Tree 3	Schnabel 1225 Sewalls Pt O/B	Tree	PASS	 INSPECTOR: <i>AM</i>
8738	Sewall's Pt	Final	PASS	CLOSE
8733 1	19 Island Rd Triune	Final - demo	PASS	CLOSE INSPECTOR: <i>AM</i>
7224 2	Johnson 34 W High Pt Schiller	Final	PASS	CLOSE INSPECTOR: <i>AM</i>
8692 5	Doyle 42 S Sewalls Pt Triune	Final	PASS	CLOSE INSPECTOR: <i>AM</i>
8705 4	Strait 17 Rio Vista O/B	buck (wtd)	FAIL	 INSPECTOR: <i>AM</i>
		WORK W/O PERMIT		
	7 WEST HIGH PT.	STOP STOP WORK		
		ORDER ISSUED.		INSPECTOR:
OTHER: 8037	Marney 121 Hillcrest Dr O/B	Final A/C	PASS	CLOSE INSPECTOR: <i>AM</i>

9266

AC CHANGEOUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9266	DATE ISSUED:	10/12/2009
SCOPE OF WORK:	A/C CHANGEOUT - BOTH UNITS		
CONDITIONS :	OWNER AGENT LETTER ON FILE		
CONTRACTOR:	KRAUSS AND CRANE		
PARCEL CONTROL NUMBER:	133841-003-000-008104	SUBDIVISION	HIGH POINT ISLAND ADD Lot 81
CONSTRUCTION ADDRESS:	19 ISLAND RD		
OWNER NAME:	SAVASTANO		
QUALIFIER:	JOHN CRANE	CONTACT PHONE NUMBER:	287-1227

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9266		
ADDRESS	19 ISLAND RD.		
DATE:	10/12/2009	SCOPE:	A/C CHANGEOUT - BOTH

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s.f.	
Total square feet non-conditioned space: (@ \$51.60 per sq. ft.)		s.f.	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Radon Fee (\$.005 per sq. ft. under roof):		\$	
DBPR Licensing Fee: (\$.005 per sq. ft. under roof)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	
			5300
Total number of inspections @ \$75.00 each	1	\$	75.00
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5.00
TOTAL ACCESSORY PERMIT FEE:		\$	80.00

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number:

9266

Date: 10-9-09

OWNER/TITLEHOLDER NAME: PRANK SAUASTANO

Phone (Day) 220-6896 (Fax)

Job Site Address: 19 ISLAND RD

City: STUART

State: FL

Zip: 34996

Legal Description

Parcel Control Number:

Owner Address (if different):

City:

State:

Zip:

Scope of work (please be specific): AC Changeout

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application) YES NO

Has a Zoning Variance ever been granted on this property?

YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 5300

(Notice of Commencement required when over \$2500 prior to first inspection, \$7500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: KRAUSS & CRANE, INC.

Phone: 287-1227

Fax: 283-4055

Street: 904 S. DIXIE HWY

City: STUART

State: FL

Zip: 34994

State License Number: CA2049296

OR: Municipality:

License Number:

LOCAL CONTACT: JOHN CRANE

Phone Number: 772-287-1227

DESIGN PROFESSIONAL:

Lic#

Phone Number:

Street:

City:

State:

Zip:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage:

Carport: Total under Roof Elevated Deck: Enclosed area below BFE*: Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME, AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

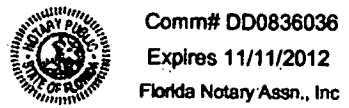
*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) State of Florida, County of: This the day of 20 by who is personally known to me or produced as identification. Notary Public My Commission Expires:

CONTRACTOR SIGNATURE: (required) On State of Florida, County of: Martin This the 12 day of October 2009 by John Crane who is personally known to me or produced As identification. Notary Public My Commission Expires: 11-11-2012

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY



FRANK & MILDRED
SAVASTANO

19 Island Road
Stuart, Florida, 34996

October 8, 2009

Town of Sewalls Point
Building Department

RECEIVED
DATE: 10-8-09
TOWN OF SEWALLS POINT

This letter assigns John Crane of Krauss and Crane as my authorized agent for the replacement of an air conditioning unit and associated work at my home at 19 Island Road Sewalls Point in the near future.

Sincerely yours,





Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com T1.11

Summary

print | | | | | Owner
 1 of 1

Parcel Info

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-003-000-00810-4	19 ISLAND RD	27769	Owner	0	1

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Summary

Property Location 19 ISLAND RD
Tax District 2200 Sewall's Point
Account # 27769
Land Use 101 0100 Single Family
Neighborhood 193110
Acres 0.351

Legal Description
Property Information
 HIGH POINT ISLE ADDN LOT 81

Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 SAVASTANO, FRANK
 SAVASTANO, MILDRED T

Mail Information
 19 ISLAND RD
 STUART FL 34996

Assessment Info
Front Ft. 1.00

Market Land Value \$622,500
Market Impr Value \$494,380
Market Total Value \$1,116,880

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$750,000

Sale Date 6/19/1989
Book/Page 0816 0843

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 10/07/2009



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10/29 2009 Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9191	FRANTOM 102 N. SPTRD DAVE STABBART	PILE CAPS	PASS	INSPECTOR <i>A</i>
9126	Savastano 19 Island Rd Krauss & Crane	Final AC	PASS	Close INSPECTOR <i>A</i>
Tree	Savastano 19 Island Rd	Tree	N.G.	SABAL PALM HEALTHY INSPECTOR <i>A</i>
9165 10AM 10:15	Sparfi 73 N Sewalls Pt All Am Shutter	Final	FAIL	NEED SITE SPECIFIC ENG INSPECTOR <i>A</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR

9587

FASCIA BOARD



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9587	DATE ISSUED:	SEPTEMBER 27, 2010
SCOPE OF WORK:	REPLACE 15' FASCIA BAORD		
CONDITIONS :			
CONTRACTOR:	RICK STRONG CONST		
PARCEL CONTROL NUMBER:	133841-003-000-008104	SUBDIVISION	HIGH PT IS ADDN-LOT 81
CONSTRUCTION ADDRESS:	19 ISLAND RD		
OWNER NAME:	SAVASTANO		
QUALIFIER:	RICHARD STRONG	CONTACT PHONE NUMBER:	287-8371

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

Date: 9-27-10 BUILDING PERMIT APPLICATION Permit Number: 9587

OWNER/TITLEHOLDER NAME: FRANK SAUASTANO Phone (Day) 220-6896 (Fax)

Job Site Address: 19 Island Rd City: State: Zip:

Legal Description Parcel Control Number:

Owner Address (if different): City: State: Zip:

SCOPE OF WORK (PLEASE BE SPECIFIC): Repl 15' fascia board

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 3066 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: RICK STRONG CONST. Phone: 287-8371 Fax: SAME

Qualifiers name: RICK STRONG Street: 601 DEER AVE City: STUART State: FL Zip: 34994

State License Number: CRC 010452 OR: Municipality: #504 License Number:

LOCAL CONTACT: Phone Number:

DESIGN PROFESSIONAL: N/A Fla. License#

Street: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage: Carport: Total under Roof Elevated Deck: Enclosed area below BFE:

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

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***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (Required per 713.135 F.S.) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) State of Florida, County of: Martin On This the 27th day of September 2010 by Frank Sauastano ROBYN L. BRUMMET Notary Public State of Florida My Comm. Expires 08/12/2012 As identification: Notary Public My Commission Expires: 08.12.2012

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.) State of Florida, County of: Martin On This the 27th day of August 2010 by Rick Strong who is personally known to me or produce As identification: Della M. Coates Notary Public #DD 990591

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.4) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com L14

Summary

point Address 1 of 31

Tabs

- Summary**
- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- Parcel Map →
- Trim Notice →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-003-000-00810-4	27769	19 ISLAND RD, SEWALL'S POINT	\$909,430	9/25/2010

Owner Information

Owner(Current)	SAVASTANO FRANK SAVASTANO MILDRED T
Owner/Mail Address	19 ISLAND RD STUART FL 34996
Sale Date	06/19/1989
Document Number	
Document Reference No.	0816 0843
Sale Price	750000

Searches

- Parcel ID
- Owner
- Address**
- Account #
- Land Use
- Legal Description
- Neighborhood
- Sales
- Maps →

Location/Description

Account #	27769	Map Page No.	SP-06
Tax District	2200	Legal Description	HIGH POINT ISLE ADDN LOT 81
Parcel Address	19 ISLAND RD, SEWALL'S POINT		
Acres	.3510		

Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Parcel Type

Land Use	0100 Single Family
Neighborhood	193110 ARCHIPELAGO, HIGH PTCANAL

Assessment Information

Market Land Value	\$500,000
Market Improvement Value	\$409,430
Market Total Value	\$909,430

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-6 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
6426	Jones	Final		No Show
3pm	18 Emauta Wren/Currington	REMODEL 352-266-4148	PASS	45 ⁰⁰ FEE INSPECTOR <i>[Signature]</i>
9051	Benibana 3602 SE Ocean Comm Cont.	electrical service		INSPECTOR
Tree	Conway 16 S. Via Lucindia	Tree	OK	INSPECTOR
9589	Sewall 19 Island Rd Rock Stone	Final Final	PASS	INSPECTOR
9051	BENEKANA 3602 E. OCEAN Comm Cont.	SERVICE CHANGE	PASS	READY FOR FPL INSPECTOR <i>[Signature]</i>
9591	Haracco 26 E High Pt Street Roof Rep.	dry-in metal	PASS	INSPECTOR <i>[Signature]</i>
				INSPECTOR

10359

WINDOW REPLACEMENT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10359	DATE ISSUED:	FEBRUARY 20, 2013
SCOPE OF WORK:	REPLACE 3 WINDOWS		
CONTRACTOR:	RICK STRONG CONSTRUCTION		
PARCEL CONTROL NUMBER:	133841003-000-008104	SUBDIVISION	HIGH PT IS ADDN-L 81
CONSTRUCTION ADDRESS:	19 ISLAND RD		
OWNER NAME:	SAVASTANO		
QUALIFIER:	RICK STRONG	CONTACT PHONE NUMBER:	287-8371

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: 10359

Date: 2/15/13

OWNER/LESSEE NAME: FRANK + MILDRED SAVASTANO Phone (Day) 772-220-6896 (Fax) _____

Job Site Address: 19 ISLAND RD City: STUART State: FL Zip: 34996

Legal Description _____ Parcel Control Number: _____

Fee Simple Holder Name: _____ Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** REPLACE 3 WINDOWS

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO X
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 1500
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: RICK STRONG CONST. Phone: 257-8371 Fax: -

Qualifiers name: RICK STRONG Street: 1501 DECKER AVE. City: STUART State: FL Zip: 34994

State License Number: CR0101452 OR: _____ Municipality: _____ License Number: _____

LOCAL CONTACT: RICK Phone Number: 772-260-4950

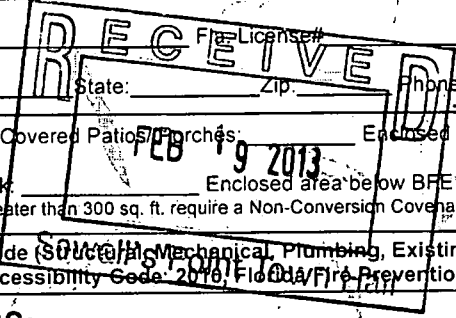
DESIGN PROFESSIONAL: NA State: _____ Zip: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: N/A Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010



WARNINGS TO OWNERS AND CONTRACTORS:

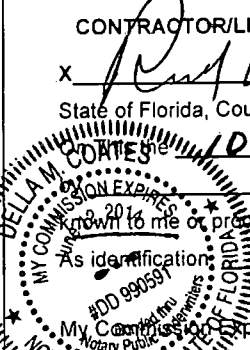
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
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3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE: _____
State of Florida, County of: Martin
On this the 15 day of Feb, 2013
by FRANK SAVASTANO who is personally
Known to me or produced by Value Ernest
As identification: Value Ernest
Notary Public

CONTRACTOR / LICENSEE NOTARIZED SIGNATURE: _____
State of Florida, County of: Martin
on this the 10th day of January, 2013
by Della M Cortes who is personally
Known to me or produced by _____
As identification: Della M Cortes
Notary Public
My Commission Expires: June 14, 2014



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 2/15/2013 1:25:32 PM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-003-000-00810-4	27769	19 ISLAND RD, SEWALL'S POINT	\$866,020	2/9/2013

Owner Information

Owner(Current)	SAVASTANO FRANK SAVASTANO MILDRED T
Owner/Mail Address	19 ISLAND RD STUART FL 34996
Sale Date	6/19/1989
Document Book/Page	0816 0843
Document No.	
Sale Price	750000

Location/Description

Account #	27769	Map Page No.	SP-06
Tax District	2200	Legal Description	HIGH POINT ISLE ADDN LOT 81
Parcel Address	19 ISLAND RD, SEWALL'S POINT		
Acres	.3510		

Parcel Type

Use Code	0100 Single Family
Neighborhood	193110 ARCHIPELAGO, HIGH PTCANAL

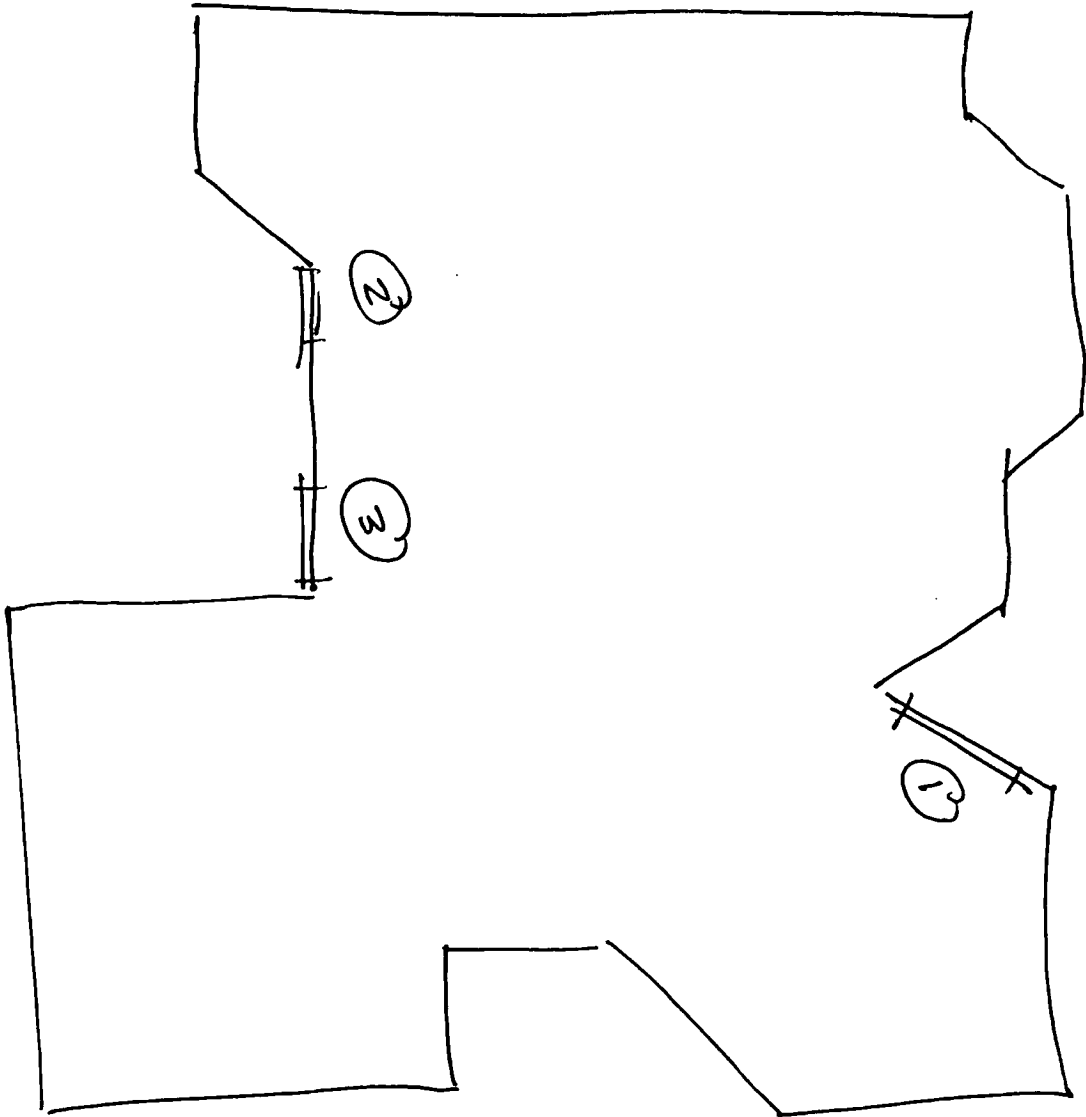
Assessment Information

Market Land Value	\$500,000
Market Improvement Value	\$366,020
Market Total Value	\$866,020

71 1/2 - 42

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

FRONT
ENTRANCE



WINDOW/DOOR SCHEDULE

ID NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH	YES	X	EXAMPLE
1	53 1/2 X 67	35	S.H	↓		IMPACT INSULATED GLASS
2	↓	↓	FIX	↓		
3			FIX			
4						
5						
6						
7						
8						
9						
10						
11						
12						
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26						
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28						
29						
30						

TOTAL GLAZED OPENING AREA FOR STRUCTRE: 434 S.F.

*PERCENTAGE OF NEW GLAZED AREA: 16.7 %
 (TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2004 FBC/ EXISTING BUILDING 507.3.

* TYPE WINDOWS

SH - SINGLE HUNG
 DH - DOUBLE HUNG

AWN - AWNING
 CAS - CASEMENT

SL - SLIDING
 FIX - FIXED



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY
AFFAIRS (PERA)
BOARD AND CODE ADMINISTRATION DIVISION
NOTICE OF ACCEPTANCE (NOA)

MIAMI-DADE COUNTY, FLORIDA
PRODUCT CONTROL SECTION
11805 S.W. 26th Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590, F (786) 315-2599

www.miamidade.gov/pera/

PGT Industries
1070 Technology Drive
Nokomis, FL 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA-Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami-Dade County) and/or the AHJ (in areas other than Miami-Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "SH-700" Aluminum Single Hung Window - L.M.I.

APPROVAL DOCUMENT: Drawing No. 4040-20, titled "Alum. Single Hung Window, Impact", sheets 1 through 11 of 11, dated 09/01/2005, with revision "D" dated 10/07/2011, prepared by manufacturer, signed and sealed by Anthony Lynn Miller, P. E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and Expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant.

LIMITATIONS: Miami-Dade County Product Control Approved Shutters Or Protection Devices shall be required for Glazing Option "M" at installations above 30 Ft. above ground (See sheet 1 of 11).

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/series and following statement: "Miami-Dade County Product Control Approved" unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA No. 11-0405.10 and consists of this page 1, evidence pages E-1, E-2 and E-3, as well as approval document mentioned above.

The submitted documentation was reviewed by **Jaime D. Gascon, P. E.**



J. Gascon
10/27/11

NOA No. 11-1013.14
Expiration Date: March 26, 2016
Approval Date: November 03, 2011
Page 1



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY
AFFAIRS (PERA)
BOARD AND CODE ADMINISTRATION DIVISION
NOTICE OF ACCEPTANCE (NOA)

MIAMI-DADE COUNTY, FLORIDA
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599

www.miamidade.gov/pera/

PGT Industries
1070 Technology Drive
Nokomis, Fl 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA-Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami-Dade County) and/or the AHJ (in areas other than Miami-Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "PW-701" Aluminum Fixed Window - L.M.I.

APPROVAL DOCUMENT: Drawing No. 4259-4 titled "Aluminum Picture Window, Impact", sheets 1 through 8 of 8, prepared by manufacturer, dated 07/14/03 with revision "D" dated 10/18/11, signed and sealed by Anthony Lynn Miller, P. E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and Expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/ series and following statement: "Miami-Dade County Product Control Approved" unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA No. 10-0504.05 and consists of this page 1, evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Jaime D. Gascon, P. E.



J. Gascon
1/25/12

NOA No. 11-1110.15
Expiration Date: February 19, 2014
Approval Date: February 02, 2012

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 2-21-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10352	Childs 5 Margarita Rd Steve Frontera Roofing	Final Roof repairs	PASS	CRONE INSPECTOR <i>A</i>
10265	Morales 10 N Ridgeway Gribben	rough plumbing and A/C rough electric rough framing	PASS	INSPECTOR <i>A</i>
10314	Pitche 3 DIMOR SERAFTE	WALK THROUGH		INSPECTOR
	Beals Deegan Co Deegan			INSPECTOR
10399	Sawastri 975 SW 4th St Rick Strong	WALK THROUGH Final	PASS	CRONE INSPECTOR <i>A</i>
				INSPECTOR
				INSPECTOR

TREE

REMOVE/RELOCATE/REPLACE

No
/



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner FRANK SAVASTANO Address [REDACTED] Phone 772-220-6896

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE Species: Saddle Palm

No. of Trees: RELOCATE Species: " "

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

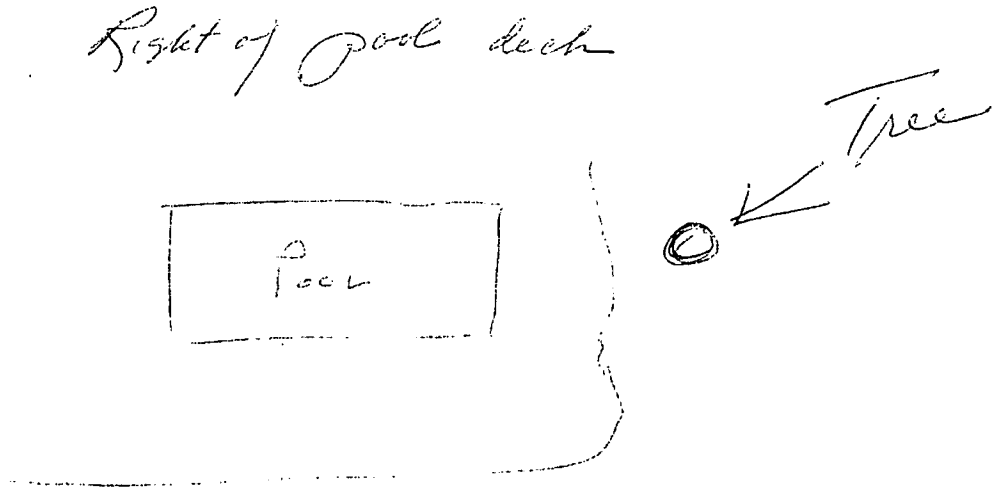
Reason for tree removal/relocation (See notice above) Branch drop on pool & on pool deck - tree is rotting - needs to be replaced

Signature of Property Owner [Signature] Date 10/28/09

Approved by Building Inspector: _____ Date _____ Fee: _____

NOTES: HEALTHY SADDLE PALM CAN ONLY BE RELOCATED

SKETCH:





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

NO

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner FRANK SAVASTANO Address 19 ISLAND RD Phone 772-220-6896

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE Species: Sattle Palms

No. of Trees: RELOCATE Species: _____

No. of Trees: REPLACE Species: _____

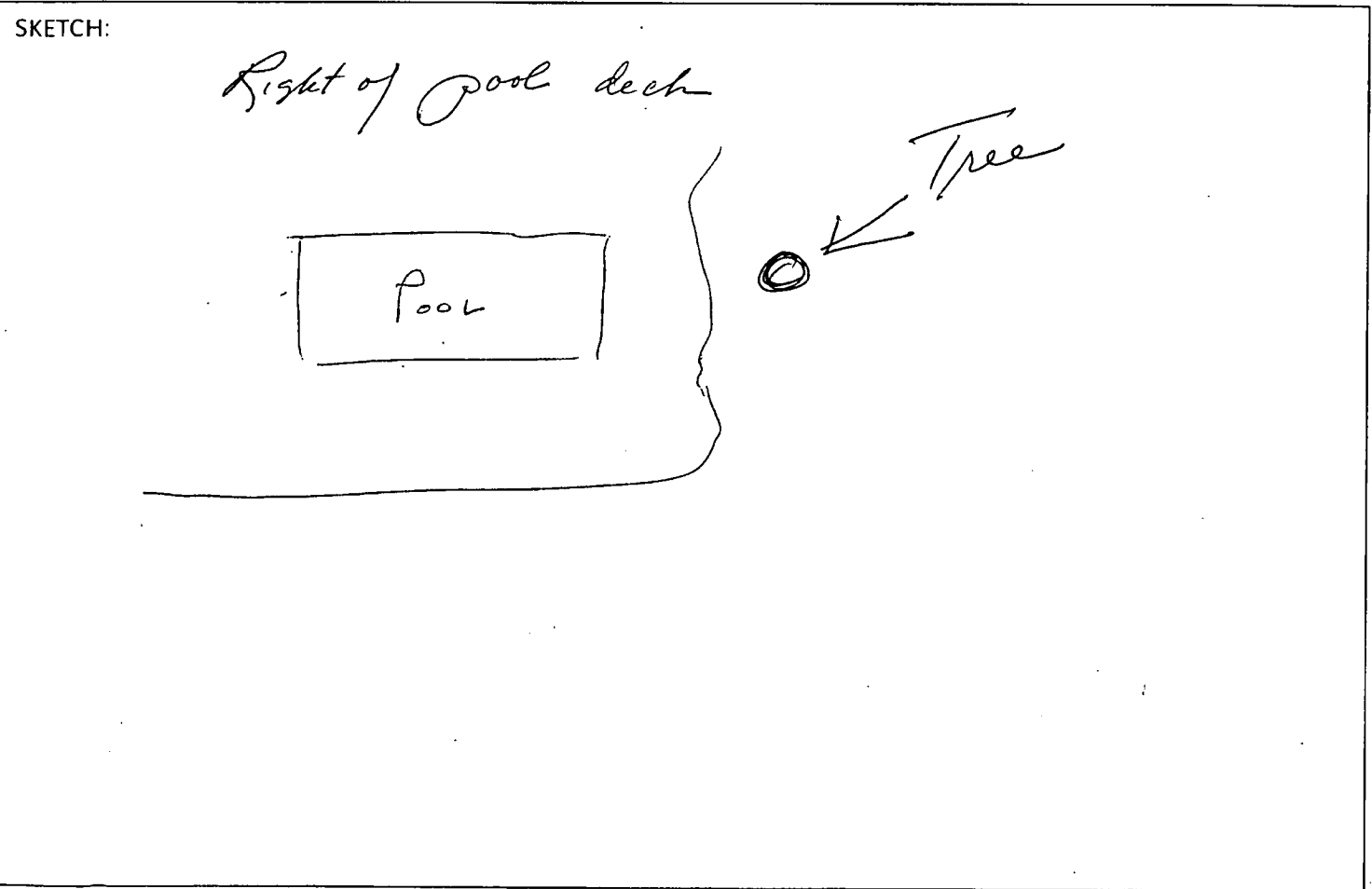
ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

Reason for tree removal /relocation (See notice above) Branch drop in pool & in pool deck
(claim) deck - tree is rotting - needs to be replaced

Signature of Property Owner [Signature] Date 10/28/09

Approved by Building Inspector: _____ Date _____ Fee: _____

NOTES: HEALTHY SMOKE PAIN CAN ONLY BE RELOCATED





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

fw
 ✓

ok
 ✓

TREE REMOVAL-RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner FRANK SAVASTANO Address [REDACTED] Phone 220-6896

Contractor CB LANDSCAPING Address PORT ST LUCIE Phone _____

No. of Trees: REMOVE _____ Species: ARECA PALMS 2 CLUMPS

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

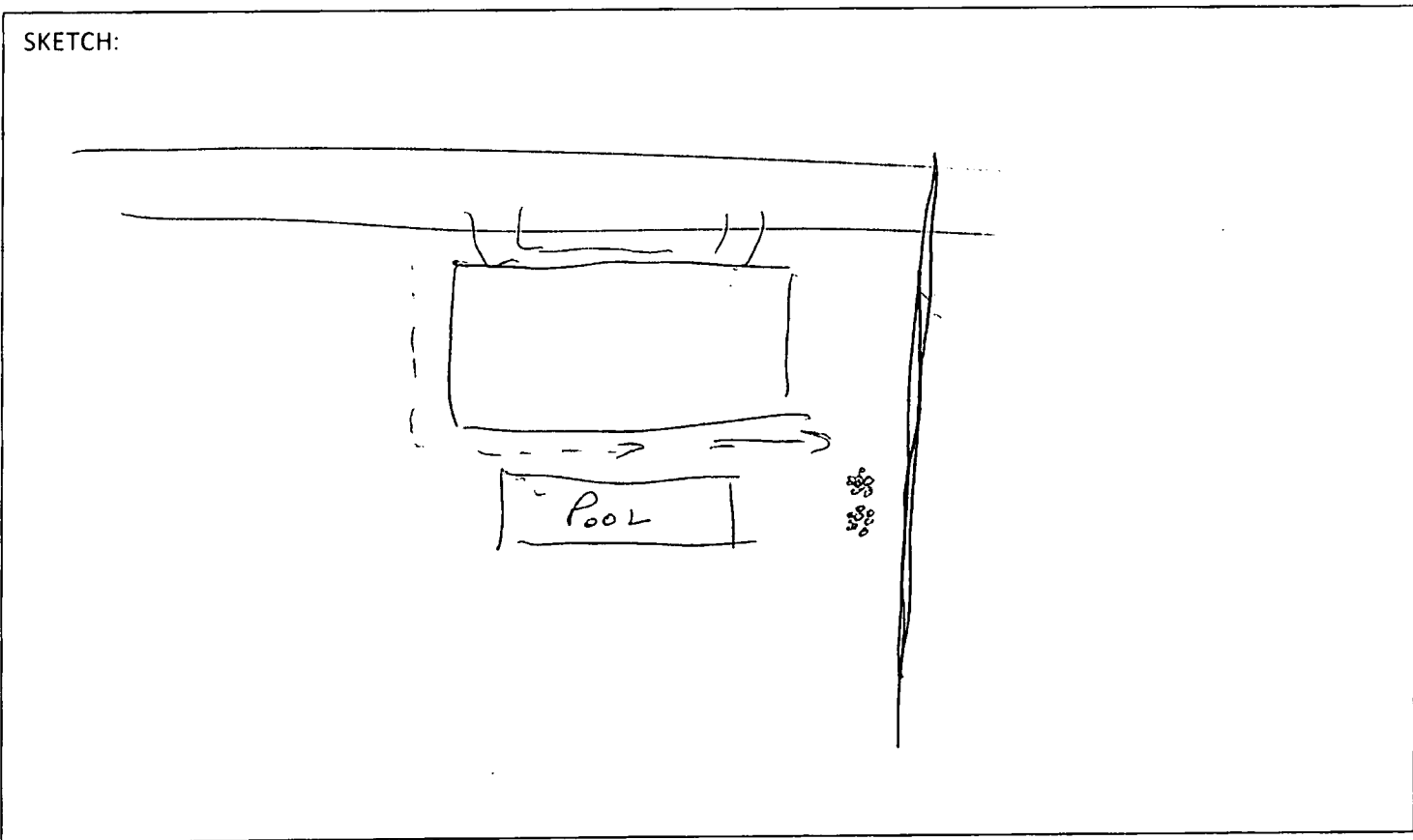
ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) messy for our property + neighbor.
Trees are over 20 years old.

Signature of Property Owner [Signature] Date 1/14/14

Approved by Building Inspector: [Signature] Date 1-14-14 Fee: N/E

NOTES: _____





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM – 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM – NO SUNDAYS

Owner SAVASTANO Address 19 ISLAND RD Phone 772-220-6896

Contractor CB Address _____ Phone _____

No. of Trees: REMOVE 1 Species: BOTTLE BRUSH

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) _____

Signature of Property Owner [Signature] Date 11/3/14

Approved by Building Inspector: [Signature] Date 11-4-14 Fee: N/C

NOTES: _____

