

2 Kingston Court

80- JONAH
Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

RECEIVED
APR 26 1982

1480
Date 4/26/82

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner ROBERT LAKE Present address 2625 NE 27th Way 33306
Phone 305 564-6248

General contractor ~~PHASE IV CORP~~ ROBERT LAKE Address 17 W. HIGH PT. RD. JENSEN BEACH, FL 33457
Phone 283-1754

Where licensed FL License No. ~~CRC 025773~~ CRC 022262

Plumbing contractor SOUTH PARK Plumbing License No. 49 Martin Co

Electrical contractor LACHANCE ELECTRIC INC. License No. 2078

Air-conditioning contractor Custom Air System License No. 0235

Describe the building, or alteration to existing building 3 bedroom 2 bath
LR - DR - FAMILY Rm. - KIT - DOUBLE GARAGE - POOL

Name the street on which the building, its front building line and its front yard will face KINGSTON COURT

Subdivision KINGSTON CT SUBDIV Lot No. 11 Area _____

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 2000 SF

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 70,000

Cost of permit \$ 380 Plans approved as submitted _____ or, as marked

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor John H. Flough

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner Robert Lake

Note: Speculation builders will be required to sign both of the above statements.

TOWN RECORD Date submitted _____

Approved by Building Inspector (date) May 17, 1982 Inspector's initials JH

Approved by Town Commissioner (date) 5/18/82 Commissioner's initials BS

Certificate of Occupancy issued (date) 8/24/82

1480

SEE ATTACHMENTS

MEMORANDUM

April 28, 1982

TO: JOAN BARROW, Town Clerk

FROM: JAMES E. KNIGHT

RE: Building permit for Lake in Kingston Court Subdivision.

John Flaugh has called me and asked me to check on a deed for Lot 11 in Kingston Court Subdivision in order for them to be able to draw a building permit. A review of the town records involved in Kingston Court indicates that the plat, a copy of which you have in the town records, shows ownership in the developer which was Mr. Lake and Mr. Flaugh. Since their application for building permit is apparently indicating ownership in Mr. Lake, and Mr. Flaugh is drawing the permit, you already have in the town records the certificate of ownership. There would not be any deed to that particular lot since the house is being built by the developer on his own property.

The base document in lieu of the deed which should be referred to in the building permit someplace by the building inspector or whom ever reviews the documentation, should be referred to the plat developer or builder.

Yours truly,


JAMES E. KNIGHT

This instrument was prepared by:
Name L. Murray Fitzhugh
Address 40 East Osceola Ave
Stuart, Florida

425320

Warranty Deed

(STATUTORY FORM—SECTION 689.02 F.S.)

This Indenture, Made this 27th day of OCTOBER 1981, Between

JOHN H. FLAUGH

of the County of MARTIN, State of FLORIDA, grantor, and

ROBERT A. LAKE

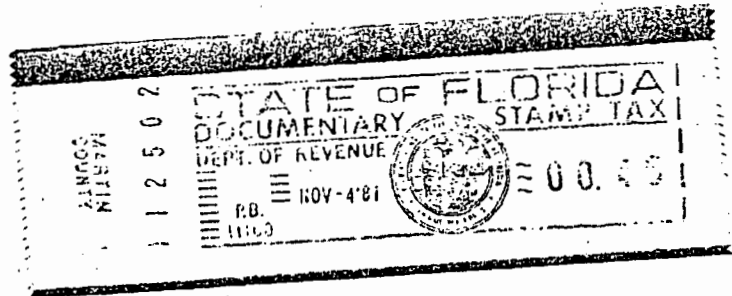
whose post office address is 2625 N.E. 27th Way; Fort Lauderdale, Florida 33306

of the County of BROWARD, State of FLORIDA, grantee.

Witnesseth, That said grantor, for and in consideration of the sum of Ten and no/100-----

Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in MARTIN County, Florida, to-wit:

See Exhibit "A" attached



and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.
Signed, sealed and delivered in our presence:

Dorothy L. Cook
Dorothy L. Cook

John H. Flaugh (Seal)
JOHN H. FLAUGH (Seal)

(Seal)

(Seal)

STATE OF FLORIDA
COUNTY OF MARTIN

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared

John H. Flaugh

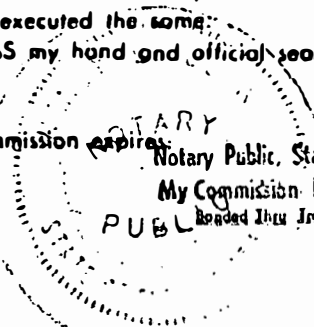
OR BOOK **532 PAGE 2158**

to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 27th day of October 1981.

My commission expires _____
Notary Public, State of Florida at Large
My Commission Expires Feb. 3, 1984
Bonded thru Troy Fair Insurance Inc.

Dorothy L. Cook
Notary Public



LEGAL DESCRIPTION

BEGIN at the Southwesterly corner of Lot 10, REVISED & AMENDED PLAT OF PALM ROW, as recorded in Plat Book 4, page 66, Martin County, Florida, public records:

(1) THENCE run Easterly along the Southerly line of said REVISED & AMENDED PLAT OF PALM ROW a distance of 721.37 feet, more or less, to the point of intersection with the Westerly right-of-way line of SEWALL'S POINT ROAD;

(2) THENCE run Southerly along said Westerly right-of-way line of SEWALL'S POINT ROAD to the point of intersection with a line lying parallel to and 631 feet Southerly of the Northerly line of said REVISED & AMENDED PLAT OF PALM ROW, which Northerly line is also the Northerly line of the MILES OR HANSON GRANT;

(3) THENCE run Westerly along said line lying parallel to and 631 feet Southerly of the Northerly line of said REVISED & AMENDED PLAT OF PALM ROW, to the point of intersection with the Easterly right-of-way of what is now known as SOUTH RIVER ROAD, said right-of-way being shown on a Plat entitled "ROAD RIGHT-OF-WAY ON SEWALL'S POINT," recorded in Plat Book 4, page 58, Martin County, Florida, public records;

(4) THENCE run Northerly along said Easterly right-of-way line of SOUTH RIVER ROAD to the POINT OR PLACE OF BEGINNING;

LESS AND EXCEPT the parcel conveyed by RALPH H. HIERS and AVOLA B. HIERS, his wife, to LEON C. OLDER and FLORENCE P. OLDER, his wife, by warranty deed recorded in O.R. Book 260, page 456, Martin County, Florida, public records; and,

LESS AND EXCEPT the parcel conveyed by JOHN H. FLAUGH and ROBERT A. LAKE to N. PLUE WENDELBOE and ELISABETH E. WENDELBOE, his wife by warranty deed recorded in O.R. Book 499, page 2203, Martin County, Florida, public records;

OR BOOK 532 PAGE 2153

TOGETHER with easements in common with others (including RALPH H. HIERS and AVOLA B. HIERS, his wife, and HERBERT A. HIERS, and ADELIN W. HIERS, his wife), which easements are described in an instrument recorded in O.R. Book 92, page 73, Martin County, Florida, public records;

EXHIBIT "A" LEGAL DESCRIPTION

THE LANDS HEREIN DESCRIBED ARE NOT HOMESTEAD OF THE FIRST PARTY.

SUBJECT TO TAXES for the year 1980 and thereafter.

SUBJECT TO encumbrances and liens of record including that certain mortgage deed in favor of RALPH H. HIERS and AVOLA B. HIERS, his wife (5/11th) and HERBERT A. HIERS AND ADELINE W. HIERS, his wife (6/11th) made by Robert A. Lake and John H. Flaugh, dated May 28th, 1980 and recorded in ORB 497, Page 227, Martin County, Florida Public Records,; which Grantee hereby assumes.

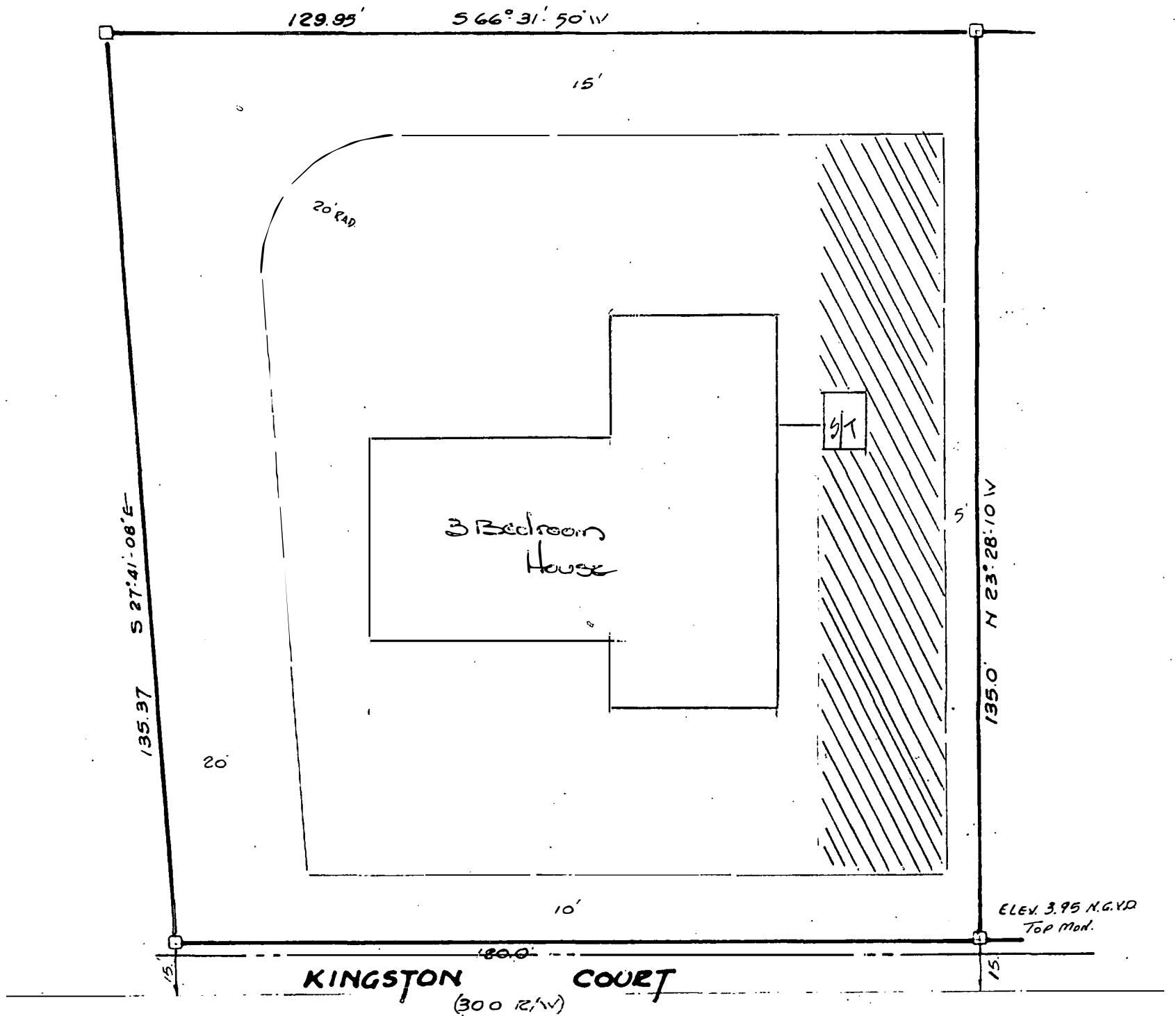
THE SUBJECT PROPERTY IS ALSO DESCRIBED AS FOLLOWS:

Part of Lot #2 and part of Lot #3 Hanson Grant, Martin County Florida described as follows:

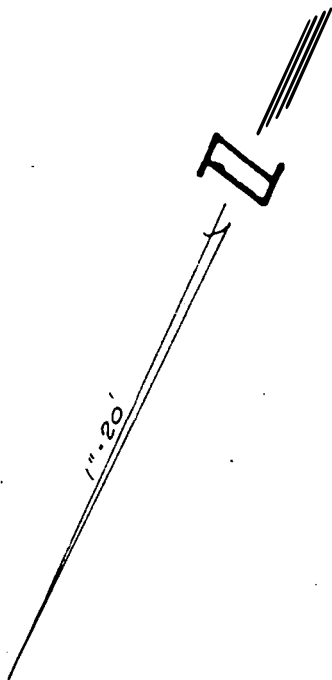
Commencing on the North Line of said Hanson Grant, at a steel pin in the centerline of Sewall's Point Road; thence with the centerline of Sewall's Point Road, South 27°41'08" East, (true bearing by astronomic observation) 331.84 feet to a steel pin; thence South 66°31'50" West 15.04 feet to a point and actual place of beginning of this description; thence South 66°31' 50" West with the South life of Palm Row Subdivision 731.47 feet to a concrete monument; thence with the East right of way of South River Road the following five courses: South 20°10'50" East 17.70 feet; thence with a curve to the right having a radius of 415 feet and subtended by a chord bearing South 17°18'03" East 41.85 feet; thence South 14°24'37" East 160.85 feet; thence with a curve to the left having a radius 385 feet and subtended by a chord bearing South 15°43'55" East 44.75 feet; thence South 21° 03'46" East 37.16 feet; thence with the North line of Oakwood Subdivision North 66°31'50" East 653.50 feet to the Southwest corner of the Wendelboe property (Bk 338, Pg 2799); thence North 27°41'08" West 135.37 feet; thence North 66°31'50" East; thence North 27°41'08" West 165.45 feet to place of beginning. Containing 4.924 acres. Being the same property conveyed to John H. Flaugh and Robert A. Lake on June 4, 1980 and recorded in Deed Book 497, Page 224, Martin County, Florida public records.

LOUISE V. MACS
CLERK OF DISTRICT COURT
BY *[Signature]*
D.C.
31 NOV 4 11:53
MARTIN COUNTY FLA

OR BOOK 532 PAGE 2160



LEGAL DESCRIPTION
 LOT 11
 KINGSTON COURT
 P.B. 8 PG 82 PUBLIC RECORDS
 MARTIN COUNTY FLORIDA



PUBLIC UTILITY & DRAINAGE
 EASEMENT

NOTE: THE UNDERSIGNED MAKES NO REPRESENTATION OR GUARANTEES AS TO THE INFORMATION REFLECTED HEREON PERTAINING TO EASEMENTS, RIGHTS OF WAY, SET BACK LINES, RESERVATIONS, AGREEMENTS AND OTHER SIMILAR MATTERS AND FURTHER THIS INSTRUMENT IS NOT INTENDED TO REFLECT OR SET FORTH ALL SUCH MATTERS. SUCH INFORMATION SHOULD BE OBTAINED AND CONFIRMED BY OTHERS THROUGH APPROPRIATE TITLE VERIFICATION.
 LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT OF WAY AND/OR EASEMENTS OF RECORD

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY DIRECTION AND THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN.



W. J. Schoepfer
 REGISTERED LAND SURVEYOR
 FLORIDA CERT. NO. 3169

W. J. SCHOEPFER

FORT PIERCE, FLORIDA 33450

82-126

4-21-82

FILE

FRASER ENGINEERING AND TESTING, INC.

PHONE: (305) 481-7508

3504 INDUSTRIAL 33 RD STREET

FORT PIERCE, FLORIDA - 33450

Report of DENSITY OF SOIL IN PLACE

ASTM D2922

Client: John Flaw

Date: May 11, 1982

Contractor: Client

RECEIVED

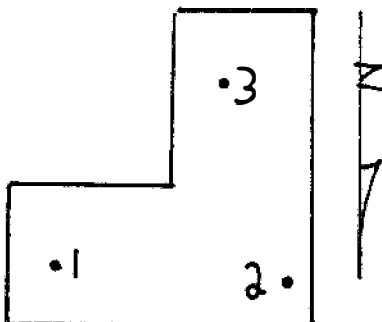
Site: Kingston Rd.
Residence, Sewalls Pt.

MAY 14 1982

Ans'g.....

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max. Dry Density	
56524	Map Location #1	0 - 1'	105.1	56524	104.7	100.4
	Map Location #1	1 - 2'	104.4		104.7	99.7
	Map Location #1	2 - 3'	103.7		104.7	99.0
	Map Location #2	0 - 1'	105.5		104.7	100.8
	Map Location #2	1 - 2'	104.8		104.7	100.1
	Map Location #2	2 - 3'	103.3		104.7	98.7
	Map Location #3	0 - 1'	103.7		104.7	99.0
	Map Location #3	1 - 2'	102.8		104.7	98.2
	Map Location #3	2 - 3'	102.7		104.7	98.1
All elevations below slab grade.						

Copies Client - 2



Respectfully submitted,

(Handwritten Signature)

ALEXANDER H. FRASER, P. E.

FRASER ENGINEERING AND TESTING

3504 INDUSTRIAL 33 RD STREET

FORT PIERCE, FLORIDA - 33450

Report
 of
 MOISTURE DENSITY RELATIONSHIP

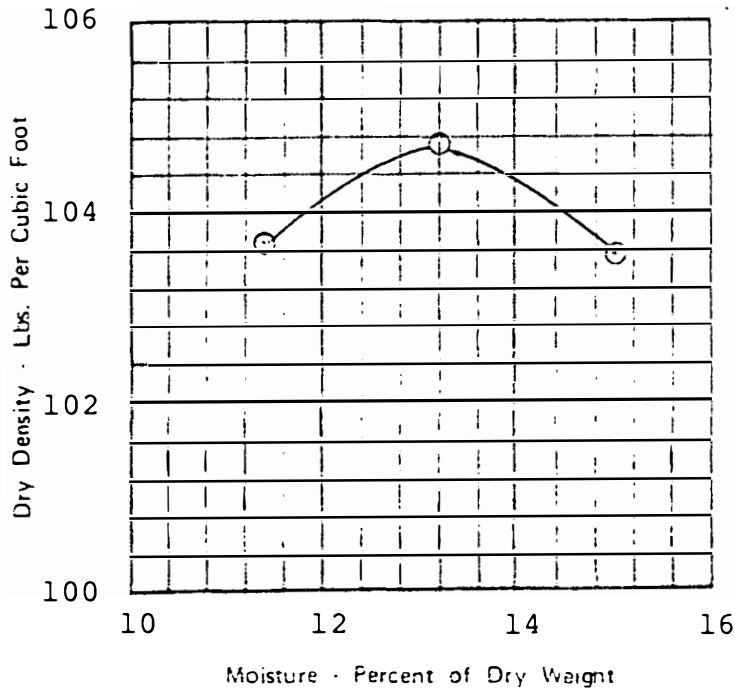
ASTM 1557-70

Client: John Flaw

Date: May 11, 1982

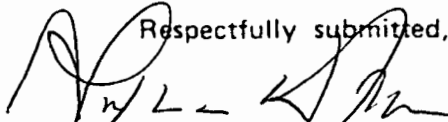
Contractor: Client

Site: Kingston Rd.
 Residence, Sewalls Pt.



Test No.	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P.C.F.	Soil Description
56524	A	Composite	13.2	104.7	Orange fine sand.

Copies

Respectfully submitted,

 ALEXANDER H. FRASER, P. E.



FLORIDA MODEL ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

BOB GRAHAM
GOVERNOR
PREPARED BY: BRASHAM KUNNS DEBAY - CONSULTING ENGINEERS

SECTION 9
POINTS METHOD

GOVERNOR'S ENERGY OFFICE
LEX HESTER, DIRECTOR

PROJECT NAME AND ADDRESS	KINGSTON CT SEWALLS Pt	JURISDICTION
BUILDER	BUILDING PERMIT NO.	
OWNER	ROBERT LAKE	

DO NOT BE FILLED IN BY FIELD OFFICIAL
TO BE FILLED IN BY DESIGNER

STATISTICAL DATA													
ZONE	JURISDICTION CODE	FLOOR AREA	GROSS WALL AREA	GLASS AREA	WALL INSULATION U-VALUE	CEILING INSULATION U-VALUE	ROOF U-VALUE	COEF	MAXIMUM ALLOWED EPI	EPI			
7	33494	2023	1866	352	3/11	19	8.5		100	75.8			
HEATING SYSTEM TYPE			HOT WATER SYSTEM TYPE			CONSTRUCTION		NUMBER OF UNITS					
STRIP	HEAT PUMP	GAS	OIL	SOLAR	ELEC	HEAT REC	GAS	OIL	SOLAR	COEF	FRAME	ENTIRE BUILDING	ENTIRE PROJECT
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	1

THIS DATA TO BE SENT TO THE GOVERNOR'S ENERGY OFFICE BY THE BUILDER UPON REQUEST

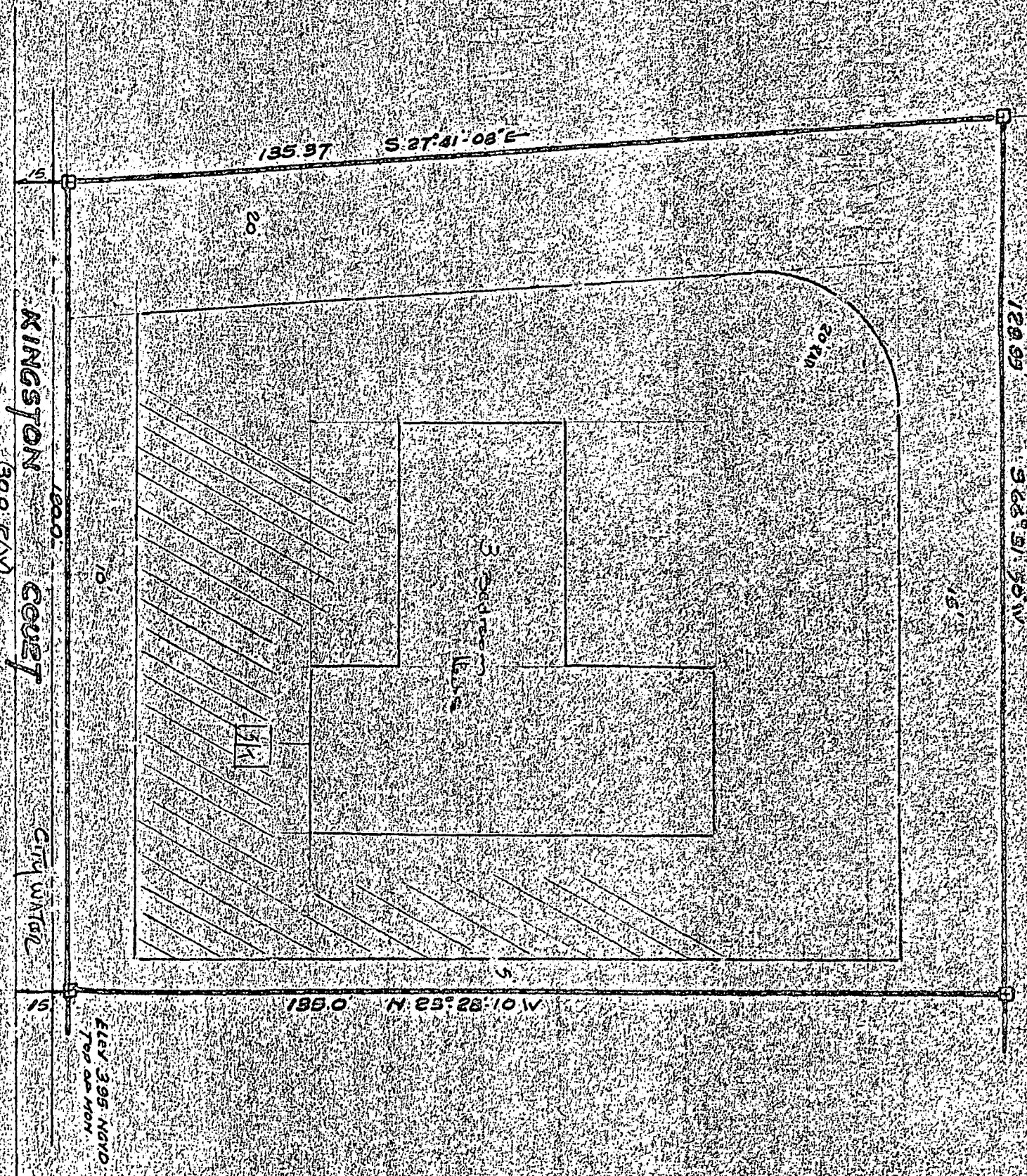
BASE BUDGET	COMMON WALLS	COMMON ROOF	MAXIMUM ALLOWED
	X3	X12	
FROM APPENDIX E	FEWER TOTAL POINTS MEANS GREATER SAVINGS		EPI

CERTIFIED BY:	<i>Florida Home Insulators</i> <i>Russ Sobryal</i>	DATE:	4/23/82	EPI:	75.8
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9D DESIGN CREDIT POINTS (CP)			
CEILING FANS (118 CORD SPACES)	1 PER FAN		3
MULTI ZONE A/C (SEPARATED BY OPERABLE DOOR)	5		
OPERABLE WINDOWS (ON 2 OR MORE SIDE OF ROOM)	1 PER ROOM		5
WHOLE HOUSE FAN (1.5 CFM/SF)	5		
TOTAL			8

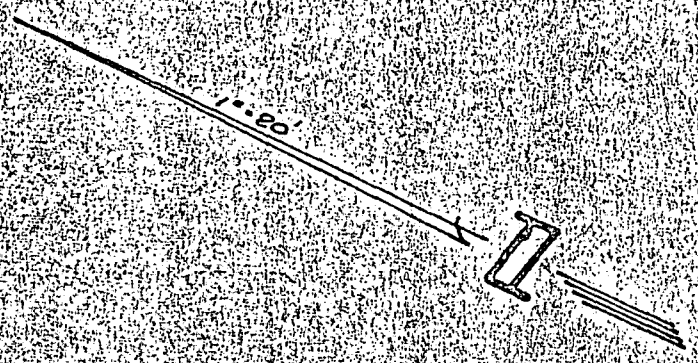
9E DESIGN PENALTY POINTS (PP)			
WASHER AND DRYER (118 CORD SPACES)	5		
BLANK OPENING OF GLASS < 40%	5		
TOTAL			0

9G PRESCRIPTIVE MEASURES		
CHECK FOR COMPLIANCE	SECTION	CHECK
HEATING SYSTEM EFFICIENCY	503.4	<input type="checkbox"/>
AIR CONDITIONING CONTROLS	503.7	<input type="checkbox"/>
A/C DUCT CONSTRUCTION	503.9	<input type="checkbox"/>
PIPING INSULATION (CIRCULATING SYSTEMS)	503.10	<input type="checkbox"/>
WATER HEATER (ASHRAE 90.75 LABEL)	504.2	<input type="checkbox"/>
SWIMMING POOLS	504.3	<input type="checkbox"/>
SHOWER FLOW RESTRICTORS	504.5	<input type="checkbox"/>



LEGAL DESCRIPTION
 LOT 11,
 KINGSTON COURT
 P.B. & P.G.S. PUBLIC RECORDS
 MARTIN COUNTY, FLORIDA

Public Utility & Drainage
 Easement



NOTE: THE UNDERSIGNED MAKES NO REPRESENTATION OR GUARANTEE AS TO THE INFORMATION REFLECTED HEREON PERTAINING TO EASEMENTS, RIGHTS OF WAY, SET BACK LINES, RESERVATIONS, AGREEMENTS, AND OTHER SIMILAR MATTERS AND FURTHER, THIS INSTRUMENT IS NOT INTENDED TO REFLECT OR SET FORTH ALL SUCH MATTERS, SUCH INFORMATION SHOULD BE OBTAINED AND COMPARED BY OTHERS THROUGH APPROPRIATE TITLE VERIFICATION.
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W. J. Schoeffer

W. J. SCHOEFFER

WINTER				GROSS WINTER POINTS	SUMMER				GROSS SUMMER POINTS
COMPONENT	AREA	X	WPM	=	COMPONENT	AREA	X	SPM	=

WALLS	CONCRETE	R3-3.9	1129	6.2	7000	WALLS	CONCRETE	R3-3.9	1129	16.6	18741	
		R4-3.9		5.0				FRAME OR BRICK OR VENEER	R4-3.9		15.0	
		R6 & UP		4.4					R6 & UP		13.9	
	FRAME OR BRICK OR VENEER	R11-18.9	331	2.5	828		R11-18.9		331	13.9	4601	
		R19-23.9		1.5			R19-23.9		8.6			
		R20 & UP		1.1			R20 & UP		6.5			
	COMMON			5.5			COMMON			7.6		

DOORS	WOOD OR METAL	54	86.5	4671	DOORS	WOOD OR METAL	54	55.4	2994
	INSULATED		84.0			INSULATED		22.2	
	STORM DOOR		44.6			STORM DOOR		44.3	
	COMMON		43.3			COMMON		13.9	

CEILING	UNDER ATTIC	R11-18.9		2.9		CEILING	UNDER ATTIC	R11-18.9		13.3	
		R18-21.8	2023	1.9	3844			R18-21.8	2023	8.4	16993
		R22-29.9		1.7				R22-29.9		7.6	
		R30 & UP		1.5				R30 & UP		5.5	
	SINGLE ASSEMBLY (NO ATTIC)	R6-7.9		5.4			SINGLE ASSEMBLY (NO ATTIC)	R6-7.9		22.6	
		R8-9.9		4.0				R8-9.9		17.3	
		R10-11.9		3.5				R10-11.9		14.6	
		R12-18.9		2.5				R12-18.9		10.6	
		R19 & UP		1.9				R19 & UP		8.4	
		COMMON			3.4				COMMON		

FLOOR OVER UNCONDITIONED SPACE DO NOT ADD CARPETS	WOOD	R0-6.9		5.8		FLOOR OVER UNCONDITIONED SPACE DO NOT ADD CARPETS	WOOD	R0-6.9		6.6	
		R7-10.9		2.4				R7-10.9		2.9	
		R11-18.9		2.1				R11-18.9		2.3	
		R19 & UP		1.4				R19 & UP		1.5	
	CONCRETE	R0-2.9		6.8			CONCRETE	R0-2.9		8.2	
		R3-5.9		4.3				R3-5.9		5.7	
		R6-10.9		3.4				R6-10.9		3.6	
		R11-18.9		2.3				R11-18.9		2.9	
		R19 & UP		1.5				R19 & UP		1.9	
		COMMON			3.4				COMMON		

SLAB OR GRADE PERIMETER	EDGE INSULATION	PERIMETER	WPM	GWP
	R0-2.9	159'8"	28.3	5367
	R3-5.9		20.4	
	R6 & UP		12.4	

OR	AREA	SINGLE		WOF	GWP	OR	AREA	DOUBLE		SOF	GSP		
		CLR	TIN					CLR	TIN				
		DO NOT APPLY INTERIOR SHADING											
N	74.8	55.4	38.5	1	3978	N	74.8	204	176	163	139	1	14649
NE		55.4	38.5			NE		309	264	258	218		
E	43.2	55.4	38.5	.87	2082	E	43.2	425	360	362	304	.89	16340
SE		55.4	38.5			SE		418	354	355	298		
S	37.4	55.4	38.5	.87	1803	S	37.4	346	294	287	242	.86	11129
SW		55.4	38.5			SW		418	354	355	298		
W	36.2	55.4	38.5	1	2005	W	36.2	425	360	362	304	.89	13692
NW		55.4	38.5			NW		309	264	258	218		
H		22.6	6.8			H		720	605	627	524		
S	89.9	55.4		1	4980	S	89.9	346				.64	19907
E	80	55.4		1	4432	E	80	425				.62	21080
F	11.2												
H=HORIZONTAL GLASS (SKYLIGHTS)						FOR TINTED GLASS SL ≠ 0.83 SEE SEC. 902.2d							

TOTAL GROSS WINTER POINTS	40990	TOTAL GROSS SUMMER POINTS	148172
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DUCT INSULATION MULTIPLIER	1" FIBERGLASS	1.18	47739	DUCT INSULATION MULTIPLIER	1" FIBERGLASS	1.18	167149
	1.5" FIBERGLASS	1.12			1.5" FIBERGLASS	1.12	
	DUCT IN CONDUIT	1.00			DUCT IN CONDUIT	1.00	

CSM FROM TABLE SA	47739 X 1	47739	CSM FROM TABLE SB	167149 X .76	122466
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FLOOR AREA (DIVIDE)	47739 - 2023	23.3	FLOOR AREA (DIVIDE)	122466 - 2023	60.5
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WINTER POINTS (WP)	23.3	SUMMER POINTS (SP)	60.5
--------------------	------	--------------------	------

FORM 900 AND 901- 789					ZONES- 789	
WINTER POINTS	SUMMER POINTS	HOT WATER POINTS	CREDIT POINTS	PENALTY POINTS	75.8 EPI	
23.3	+ 60.5	- 0	- 8	+ 0	=	
FEWER TOTAL POINTS ARE ENCOURAGE FOR MAXIMUM ENERGY SAVINGS						

9F		WINTER OVERHANG FACTOR (WOF)						
FEET	N	NE	E	SE	S	SW	W	NW
0-0.99	1.00	0.99	0.85	0.75	0.63	0.95	1.00	1.00
1-1.99	1.00	0.99	0.85	0.71	0.64	0.96	1.00	1.00
2-2.99	1.00	0.99	0.81	0.77	0.66	0.99	1.00	1.00
3-3.99	1.00	0.99	0.87	0.80	0.87	0.99	1.00	1.00
4-4.99	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00
5-5.99	1.00	0.99	0.91	0.86	0.92	1.00	1.00	1.00
6-6.99	1.00	0.99	0.93	0.90	0.94	1.00	1.00	1.00
7-7.99	1.00	1.00	0.94	0.92	0.96	1.00	1.00	1.00
8-8.99	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00
9-9.99	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00
10-10.99	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00
11 & UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

9F		SUMMER OVERHANG FACTOR (SOF)						
FEET	N	NE	E	SE	S	SW	W	NW
0-0.99	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.99	1.00	1.00	0.99	0.99	0.96	0.99	0.99	1.00
2-2.99	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.96
3-3.99	1.00	0.95	0.89	0.87	0.86	0.87	0.89	0.95
4-4.99	1.00	0.91	0.84	0.81	0.80	0.81	0.84	0.91
5-5.99	0.99	0.88	0.80	0.78	0.76	0.76	0.80	0.88
6-6.99	0.99	0.85	0.76	0.75	0.72	0.72	0.76	0.85
7-7.99	0.99	0.83	0.72	0.73	0.70	0.68	0.72	0.83
8-8.99	0.98	0.81	0.69	0.68	0.66	0.66	0.69	0.81
9-9.99	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-10.99	0.98	0.78	0.65	0.64	0.65	0.62	0.65	0.78
11-11.99	0.97	0.76	0.63	0.61	0.65	0.61	0.63	0.76
12 & UP	0.97	0.76	0.62	0.59	0.64	0.59	0.62	0.76

9A		HEATING SYSTEM MULTIPLIER (HSM)							
HEAT PUMP	COP	2.0-2.19	2.2-2.39	2.4-2.59	2.6-2.79	2.8-2.99	3.0-3.19	3.2-3.39	3.4 & UP
	HSM	0.91	0.87	0.83	0.79	0.76	0.73	0.70	0.69
SOLAR HEAT	(BACKUP SYSTEM FRACTION) X (BACKUP SYSTEM HSM)								
GAS HEAT	0.50								
OIL HEAT	0.70								
ELECTRIC STRIP HEAT	1.00								

9B		COOLING SYSTEM MULTIPLIER (CSM)										
ELECTRIC	SEER	10.0-10.99	11.0-11.99	12.0-12.99	13.0-13.99	14.0-14.99	15.0-15.99	16.0-16.99	17.0-17.99	18.0-18.99	19.0-19.99	20.0 & UP
	CSM	1.00	0.98	0.97	0.96	0.95	0.94	0.93	0.92	0.91	0.90	0.89
GAS	COP	10.0-10.99	11.0-11.99	12.0-12.99	13.0-13.99	14.0-14.99	15.0-15.99	16.0-16.99	17.0-17.99	18.0-18.99	19.0-19.99	20.0 & UP
	CSM	1.00	0.98	0.97	0.96	0.95	0.94	0.93	0.92	0.91	0.90	0.89

NOTE: SEER = COOLING MODE COP x 3.413 = AIRATED COOLING OUTPUT IN BTUH ÷ TOTAL WATTS CONSUMED.

9C		HOT WATER CREDIT POINTS (HWP)	
ELECTRIC	RESISTANCE HEATERS	0.0	
GAS		7.0	
SOLAR	MINIMUM CERTIFIED DCR OF 6,000 BTU PER BEDROOM AND 15 GALLON STORAGE PER BEDROOM	19.0	
	MINIMUM CERTIFIED DCR OF 9,000 BTU PER BEDROOM AND 20 GALLON STORAGE PER BEDROOM	22.6	
	MINIMUM CERTIFIED DCR OF 12,000 BTU PER BEDROOM AND 27 GALLON STORAGE PER BEDROOM	24.5	
A/C HEAT	MINIMUM CERTIFIED RATING OF 1500 BTUH/TON MINIMUM HOT WATER STORAGE TANK 40 GALLONS	11.3	
RECOVERY UNIT	MINIMUM CERTIFIED RATING OF 2500 BTUH/TON MINIMUM HOT WATER STORAGE TANK 40 GALLONS	17.4	

NOTE: DAILY COLLECTION RATE (DCR) IS MEASURED AT 122°F USING FSEC STANDARD FLORIDA SOLAR DAY

Robert Lake

TOWN OF SEWALL'S POINT

SUBJECT: CBS Constructed Houses - Tie Beam Inspections

DATE: August 3, 1981

Starting immediately, Tie Beam inspections prior to pouring of concrete shall require that the cells of bottom blocks (at the slab level) containing vertical reinforcing rods shall be broken open to reveal the rod in place. An inspection subsequent to the pour shall provide evidence that the concrete has penetrated the cell from the top of the pour to the bottom, filling the cell and embedding the rod all the way to the bottom.

This requirement shall apply to all corner rods and rods along the perimeter of the wall placed to comply with the 16'-0" maximum wall spacing of the rods.

Contractors requesting Tie Beam inspections must comply with the above requirements.

Gilbert S. Strubell
Building Commissioner

G S Strubell

1480

P. O. Box 87

Hanover, New Hampshire 03755

August 5, 1982

Town of Sewall's Point
Sewall's Point Road
Jensen Beach, Fla.

Dear Sirs:

Re: Certificate of Occupancy
Lot 11, Kinston Court

I am purchasing the house built by Robert Lake at Lot 11, Kinston Court, and wish to provide my own kitchen appliances.

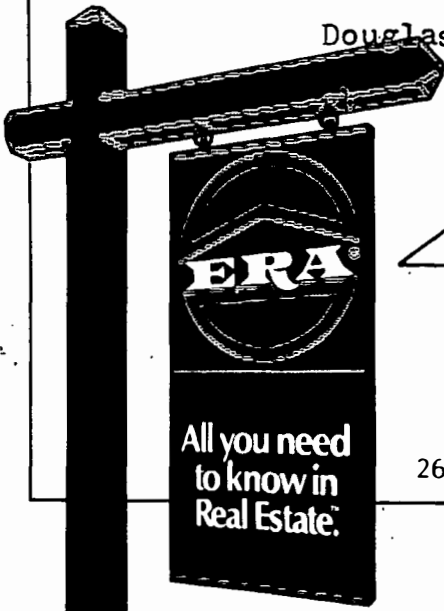
Would you please issue the certificate of occupancy to Mr. Lake without the appliances so that I might install them after the closing.

Thank you.

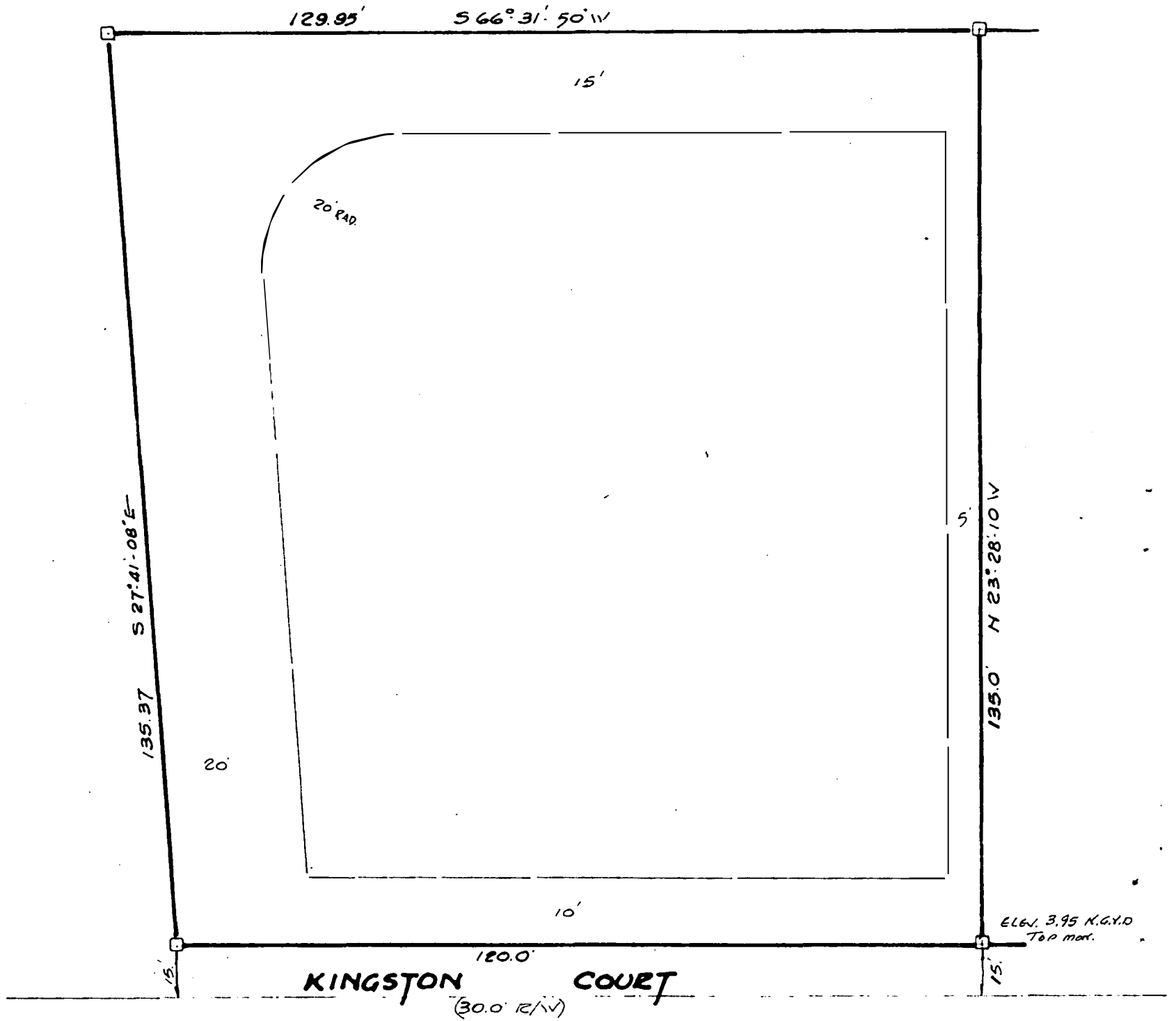
Yours truly,

Douglas R. Burnham

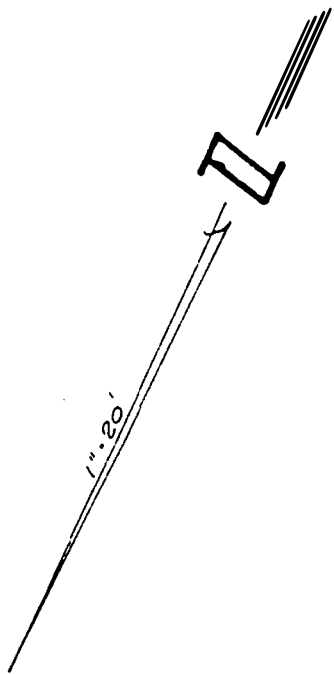
Douglas R. Burnham



1850 South Federal Highway, Stuart, Florida 33494 / Phone (305) 283-8080
26025 South Federal Highway, Port St. Lucie Branch Office / 334-8080 / 878-8800



LEGAL DESCRIPTION
 LOT 11
 KINGSTON COURT
 P.B. 8 PG. 82 PUBLIC RECORDS
 MARTIN COUNTY FLORIDA



PUBLIC UTILITY & DRAINAGE
 EASEMENT

NOTE THE UNDERSIGNED MAKES NO REPRESENTATION OR GUARANTEES AS TO THE INFORMATION REFLECTED HEREON PERTAINING TO EASEMENTS, RIGHTS OF WAY, SET BACK LINES, RESERVATIONS, AGREEMENTS, AND OTHER SIMILAR MATTERS AND FURTHER THIS INSTRUMENT IS NOT INTENDED TO REFLECT OR SET FORTH ALL SUCH MATTERS, SUCH INFORMATION SHOULD BE OBTAINED AND CONFIRMED BY OTHERS THROUGH APPROPRIATE TITLE VERIFICATION.
 LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT OF WAY AND/OR EASEMENTS OF RECORD.

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY DIRECTION AND THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN.



W. J. Schoepfer
 REGISTERED LAND SURVEYOR
 FLORIDA CERT. NO. 3169

W. J. SCHOEPFER
 FORT PIERCE, FLORIDA 33450
 82-126
 FILE

4-21-82

RECEIVED

1489
Date 6-3-82

Permit No. _____

JUN - 3 1982

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

2625 N.E. 27TH WAY
FORT LAUDERDALE

Owner ROBERT LAKE Present address _____

Phone 564-6248

Contractor POOLS BY GREG Address #50 SHANNON SQ.

Phone 692-1419 STUART.

Where licensed MARTIN License number 000348

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: INSTALLATION OF SHOTCRETE

SWIMMING POOL

State the street address at which the proposed structure will be built:

#2 KINGSTON CT. SEWALLS POINT

Subdivision KINGSTON COURT Lot No. 11

Contract price \$ 9635.70 Cost of Permit \$ 18.00

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor X Greg Schroeder

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner's Agent John H. Flough

TOWN RECORD

Date submitted _____

Approved: J. M. Mazzucco 6/3/82
Building Inspector Date

Approved: Mc Stubbell 6/7/82
Commissioner Date

Final Approval given: 8/24/82 Jan
Date

Certificate of Occupancy issued Not Reg
Date

SP/1-79

Steele's Grounding 6/11/82
Patterson 7/8/82

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

1489

E. DANIEL MORRIS
Mayor

PAMELA M. BUSHA
Vice Mayor

THOMAS P. BAUSCH
Commissioner

DON OSTEEN
Commissioner

NEIL SUBIN
Commissioner

TOWN OF SEWALL'S POINT

JOAN H. BARROW
Town Clerk/Treasurer

LARRY E. McCARTY
Chief of Police



May 24, 2006

To Whom It May Concern:

The house located at 2 Kingston Court, Stuart, Florida 34996 is located within the Town of Sewall's Point. According to Town records, the building permit for this property was issued on 5/17/82 and the Certificate of Occupancy was issued on 8/24/82. During this period of time, National Flood Insurance Rate Map, Community Panel Number 120164-0005B (effective 8/15/78) was in effect. A proof copy of this document is on file at the Sewall's Point Town Hall. The referenced map shows the above address is located within flood zone A-7, base flood elevation 7'. An elevation certificate, issued by a licensed surveyor on 8/29/00 certifies the floor elevation of 2 Kingston Court to be 8.2'.

Town records indicate that no substantial improvements have been made to this residence since the Certificate of Occupancy was issued. Town records further indicate that the elevation is in conformance with elevations shown on the Flood Insurance Rate Map in effect during the period of construction.

Joan Barrow, Town Clerk

State of Florida
County of Martin
On this 24th day of May 2006
before me personally appeared
Joan Barrow

to me known to be the person who executed the foregoing instrument, and acknowledged that he/she executed the same as his/her free act and deed.

SEAL (signed) Valerie Meyer
Notary Public



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.martin.fl.us
Police Department (772) 781-3378 • Fax (772) 286-7669 • E-Mail: police@sewallspoint.martin.fl.us

The home located at 2 Kingston Ct. Stuart FL 34996 is located within the town of Sevels Point. The building permit for this property was issued on 5/17/82 and Certificate of Occupancy issued 8/24/82. During this period National Flood Insurance Rntz MAP effective 8/15/78 community panel number 120164-0005 B was in effect and a proof copy of this document is on file at Town hall. Sold map indicates above address to be located within flood zone A-7 base flood elevation 7ft. An elevation certificate issued by a licensed surveyor on 8/29/00 indicates floor elevation of residence to be 8.2 ft. Since issue of certificate of occupancy on 8/24/82 there have been no substantial improvements made to this residence and elevation is in conformance to elevations shown on the flood insurance rate map in effect during the period of construction.

Jim Brucina

287-9722

ELEVATION CERTIFICATE

FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM

ATTENTION: Use of this certificate does not provide a waiver of the flood insurance purchase requirement. This form is used only to provide elevation information necessary to ensure compliance with applicable community floodplain management ordinances to determine the proper insurance premium rate, and/or to support a request for a Letter of Map Amendment or Revision (LOMA or LOMR). Instructions for completing this form can be found on the following pages.

SECTION A PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
BUILDING OWNER'S NAME JAMES BRUCIA	POLICY NUMBER	
STREET ADDRESS (including Apt., Unit, Suite or other designation) OR P.O. ROUTE AND BOX NUMBER 2 KINGSTON COURT	COMPANY NAME NUMBER	
OTHER DESCRIPTION (lot and block numbers, etc.) LOT 11 KINGSTON COURT		
CITY STUART FLORIDA	STATE	ZIP CODE 34996

SECTION B FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM (See Instructions):

1. COMMUNITY NUMBER	2. PANEL NUMBER	3. SUFFIX	4. DATE OF FIRM INDEX	5. FIRM ZONE	6. BASE FLOOD ELEVATION (in AD Zones, see map)
120164	0002	C	APR 13 1984	A10	9.0

7. Indicate the elevation datum system used on the FIRM for Base Flood Elevations (BFE): NGVD '29 Other (describe on Page 2)
 B. For Zones A or V, where no SFE is provided on the FIRM, and the community has established a BFE for this building site, indicate the community's BFE: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION C BUILDING ELEVATION INFORMATION

1. Using the Elevation Certificate Instructions, indicate the diagram number from the diagrams found on Pages 5 and 6 that best describes the subject building's reference level: **1**
- 2(a). FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of **11.8** feet NGVD (or other FIRM datum—see Section B, Item 7)
- (b). FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level from the selected diagram, is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
- (c). FIRM Zone A (without BFE). The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building.
- (d). FIRM Zone AO. The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building. If no flood depth number is available, is the building's lowest floor (reference level) elevated in accordance with the community's floodplain management ordinance? Yes No Unknown
3. Indicate the elevation datum system used in determining the above reference level elevations: NGVD '29 Other (describe under Comments on Page 2). (NOTE: If the elevation datum used in measuring the elevations is different than that used on the FIRM (see Section B, Item 7), then convert the elevations to the datum system used on the FIRM and show the conversion equation under Comments on Page 2.)
4. Elevation reference mark used appears on FIRM: Yes No (See Instructions on Page 4)
5. The reference level elevation is based on: actual construction construction drawings
(NOTE: Use of construction drawings is only valid if the building does not yet have the reference level floor in place, in which case this certificate will only be valid for the building during the course of construction. A post-construction Elevation Certificate will be required once construction is complete.)
6. The elevation of the lowest grade immediately adjacent to the building is: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION E COMMUNITY INFORMATION

1. If the community is/are responsible for verifying building elevations specify that the reference level indicated in Section C, Item 1 is not the "lowest floor" as defined in the community's floodplain management ordinance, the elevation of the building's "lowest floor" as defined by the ordinance is: feet NGVD (or other FIRM datum—see Section B, Item 7)
2. Date of the start of construction or substantial improvement: _____

SECTION E CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state or local law to certify elevation information when the elevation information for Zones A1-A30, AB, AH, A (with BFE, V1-V50, VE, and V with BFE) is required. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. In the case of Zones AO and A (without a FEMA or community issued BFE), a building official, a property owner, or an owner's representative may also sign the certification.

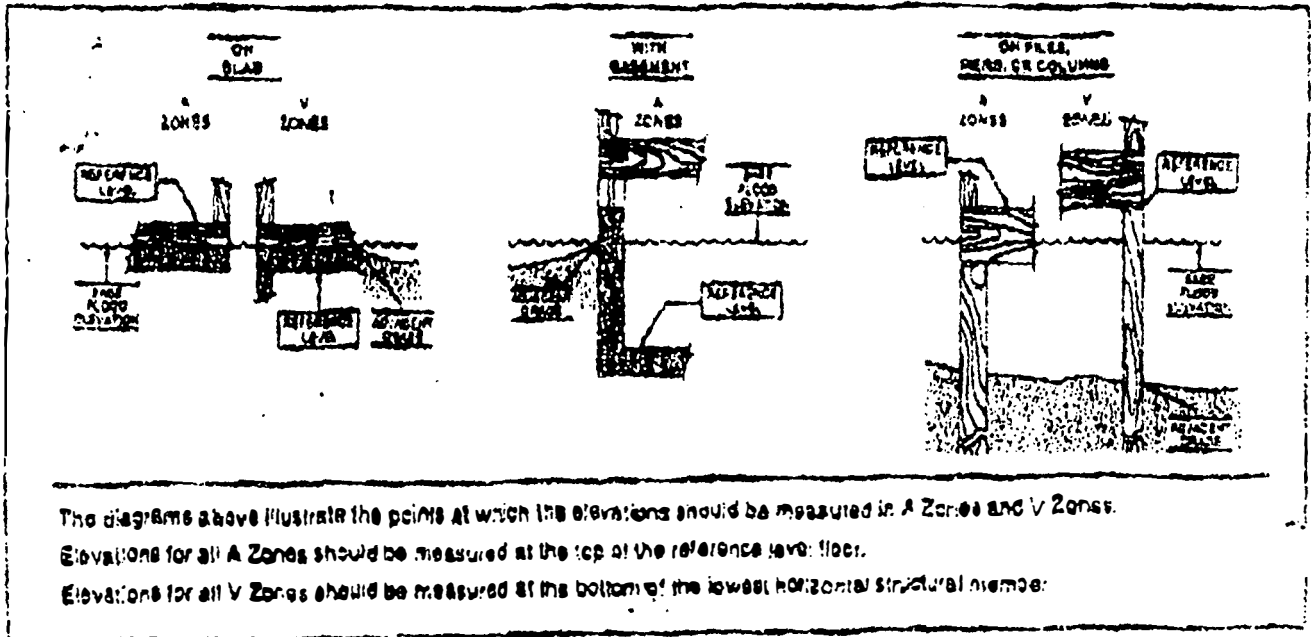
Reference to diagrams 6, 7 and 8 - Distinguishing Features-If the certifier is unable to certify to Breakaway/non-breakaway wall, enclosure size, location of servicing equipment, area use, wall openings, or unfinished area Feature(s), then list the Feature(s) not included in the certification under Comments below. The diagram number, Section C, Item 1, must still be entered.

I certify that the information in Sections B and C on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME GERALD W. TANSKY	LICENSE NUMBER (or AMI SIGN) 4568
TITLE LAND SURVEYOR	COMPANY NAME TREASURY COAST LAND SURVEYORS
ADDRESS 3250 N.E. CANIKO AVENUE	CITY STATE ZIP JENSEN BEACH FLORIDA 34957
SIGNATURE <i>[Signature]</i>	DATE PHONE 5-29-2000 1-561-376-2663

Copies should be made of this certificate for: 1) community official, 2) insurance agent/company, and 3) building owner.

COMMENTS: _____



TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 8/24/82

This is to request that a Certificate of Approval for Occupancy be issued to Mr. Lake
For property built under Permit No. 1480 Dated 5/17/82 when completed in
conformance with the Approved Plans.

Signed _____

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	<u>5/20/82</u>	} <u>OK</u> <u>Jam</u>
Rough plumbing	<u>5/20/82</u> <u>6/15/82</u>	
Slab	<u>5/21/82</u>	
Perimeter beam	<u>5/27/82</u>	
Close-in, roof and rough electric	<u>6/15/82</u>	
Final Plumbing	<u>5/24/82</u>	
Final Electric	<u>5/24/82</u>	
Insulation	<u>6/28/82</u>	
Final Inspection for Issuance of Certificate for Occupancy.		

Approved by-Building Inspector J. Maguire date 8/24/82

Approved by Building Commissioner H.C. Strubel date 8/30/82

Utilities notified 8/24/82 date _____

Original Copy sent to _____

(Keep carbon copy for Town files)

1780

SATELLITE ANTENNA

#1780

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number _____

Date 1-22-85

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner ROBERT FINK Present Address 2 KINGSTON CT.

Phone 283-1183

Contractor MORNINGSTAR Comm. Address 1495 N. FEDERAL Hwy

Phone 692-1016

STUART

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Roofing contractor _____ License number _____

Air conditioning contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought:

SATELLITE ANTENNA

State the street address at which the structure will be built:

2 KINGSTON CT.

Subdivision _____ Lot number _____ Block number _____

Contract price \$ 2200.⁰⁰ ~~50~~ Cost of permit \$ 15⁰⁰

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

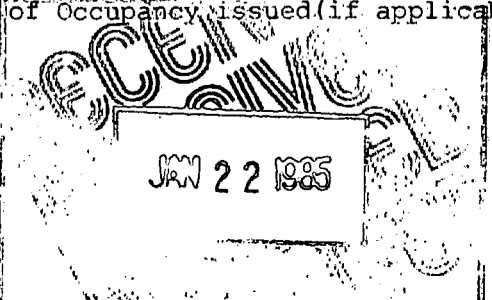
Owner [Signature]

TOWN RECORD

Date submitted 1/29/85 Approved [Signature] 1/29/85
Building Inspector Date

Approved [Signature] 1/29 Final Approval given 2/14/85
Commissioner Date Date

Certificate of Occupancy issued (if applicable):



Date _____

SP1184

Permit Number #1780

CONTRACTORS:

THIS NOTICE MUST BE GIVEN TO PROPERTY OWNERS BEFORE CONSTRUCTION BEGINS.

WARNING TO PROPERTY OWNERS

Please read this notice carefully. It may save you from paying twice for commercial or residential repairs, improvements, or new construction if they cost more than \$2,500.

Since you or your contractor have applied for a building permit for work to be done on property owned by you, you should be aware of the following:

“... the right, title, and interest of a person who has contracted for (an) improvement (to real property) **MAY BE SUBJECT TO ATTACHMENT UNDER THE MECHANICS' LIEN LAW.**”

The Florida Department of Agriculture and Consumer Services is **required by Florida law to provide this information to any person who applies for a building permit (see Section 713.135, Florida Statutes).**

The “Mechanics’ Lien Law” (Chapter 713, Part I, Florida Statutes) provides a method by which a contractor, subcontractor, sub-subcontractor, laborer, building material supplier, architect, landscape architect, engineer or land surveyor may claim a lien on real property on which he has done work or to which he has furnished materials.

A “lien” is a charge or encumbrance on real property which must be satisfied by the property owner. “Attachment” means that, if a court finds a claim of lien valid, the owner’s property may be siezed and sold to satisfy the lien if it is not voluntarily paid.

Thus, failure of the property owner to comply with the “Mechanics’ Lien Law” can result in the property owner paying twice for building or property improvements; once to a contractor and again to a laborer, supplier or subcontractor whom the contractor failed to pay.

Certain protective steps by the property owner are necessary. A “Notice of Commencement” must be filed. **Before** you file the “Notice of Commencement” be sure to check with your construction money-lender, as premature filing may affect your loan. For added protection, you may require a performance bond from your contractor. A bond provides the best protection against the possibility of having to pay twice.

The “Mechanics’ Lien Law” is complicated and technical. You will find a copy of the law at the office of the Clerk of the Circuit Court in your county or at most public libraries. It will explain the “Notice of Commencement” and other requirements.

If you are planning to spend over \$2,500 on building or improvement, you may wish to consult legal counsel. If so, do it **before** you commence any building activity.

FURNISHING THIS INFORMATION IN NO WAY IMPLIES THAT YOUR CONTRACTOR IS UNRELIABLE.

This public document was promulgated at an annual cost of \$2,178, or 1.8¢ per copy to inform Floridians about provisions of Section 713.135(b), Florida Statutes, as required by law.

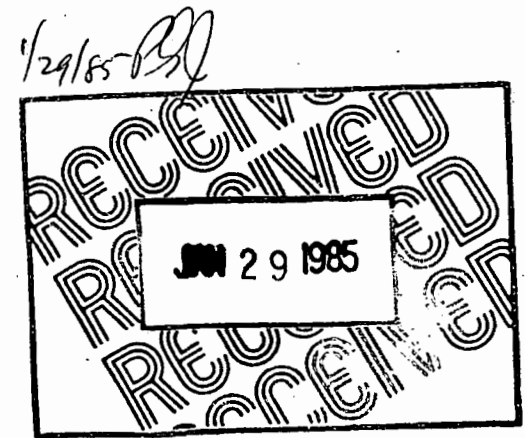
KINGSTON COURT

**NO PERMANENT STRUCTURES
IN SET-BACK AREAS**

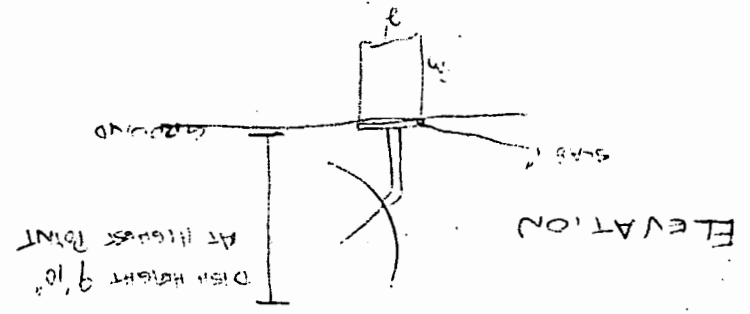
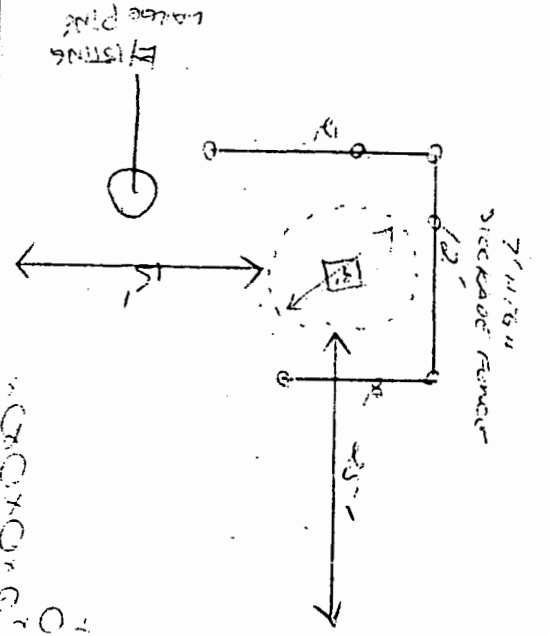
Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building C...

Robert Tink
216 Kingston Ct.
Sewall's Pt.
283-1183

- ANTENNA SPECS ON FILE
- PARACHUTE 9' GREEN
- SLAB 2' x 2' x 3'
- 5' SCHAD STEEL
- MOUNTING PIPE
- FENCE 6x6 SECTIONS STACKED
- CYPRESS
- ERECTED 1 FOOT ABOVE GROUND
- LEVEL



by Bob + Jeff
 Z + S



Line
Side
ZERO LINE

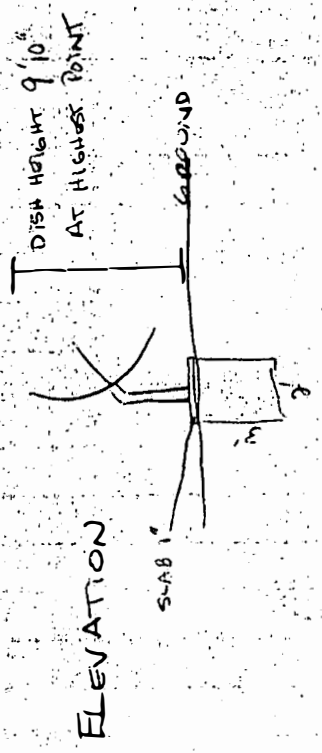
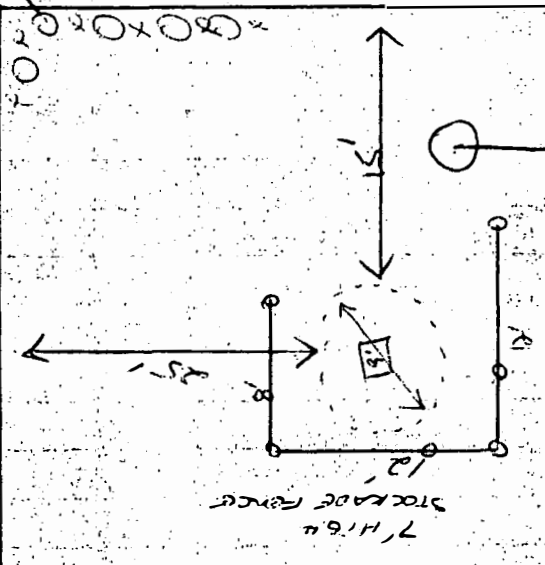
RUGSTON COURT

ANTENNA SPECIFICATIONS
 ANTENNA SPECIFICATIONS ON FILE
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- ANTENNA SPECIFICATIONS ON FILE
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ANTENNA SPECIFICATIONS ON FILE

EXISTING
 LARGE PINE



NO PERMANENT STRUCTURES
 IN SETBACK AREAS

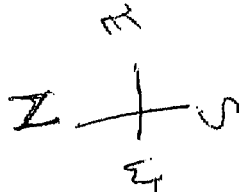
1/22/85
 1/22/85
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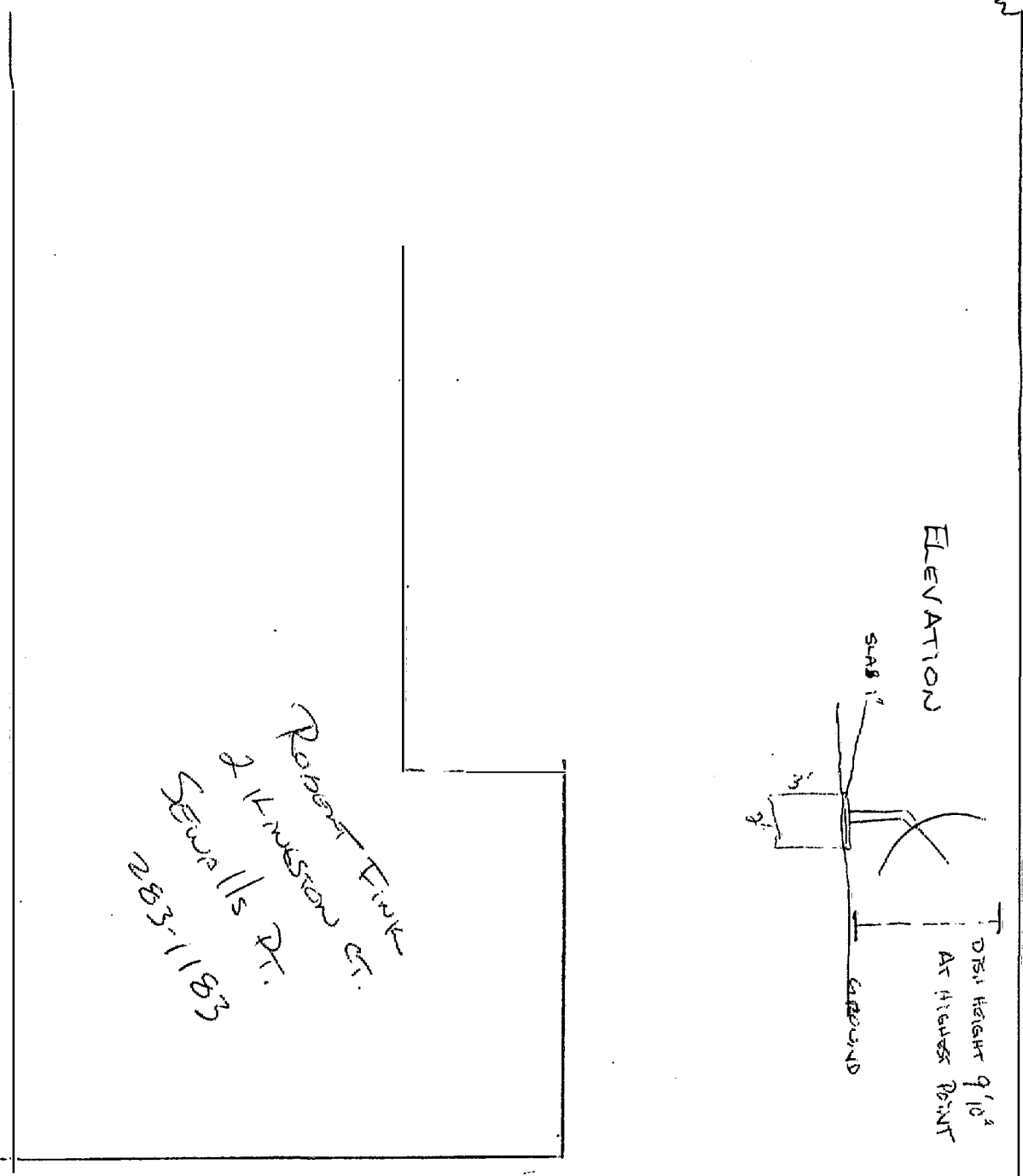
Approval of these plans in no way
 relieves the contractor or builder of
 complying with the Town of
 Ordinances, the State of
 Building Code and the State of
 Energy Efficiency Building Code

1/22/85

1/22/85



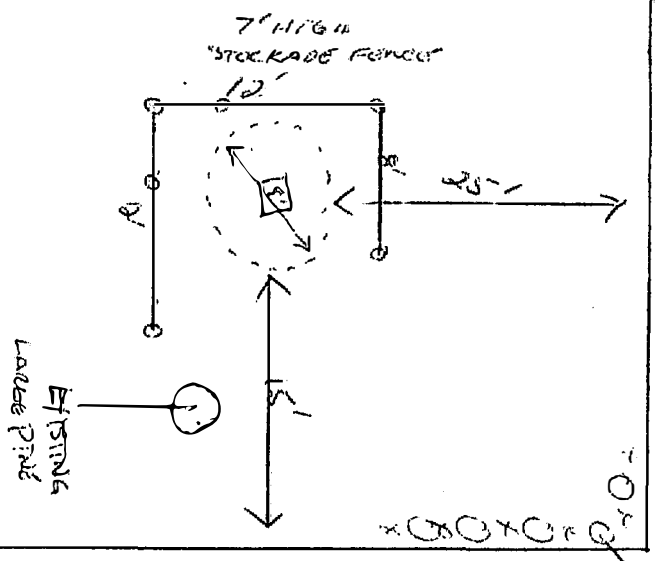
Kingston Court



Robert Fink
2 Kingston Ct.
Sewalls Pt.
283-1183

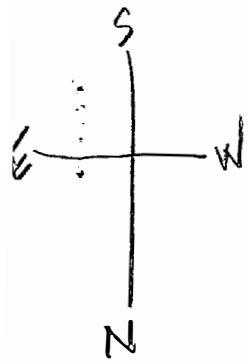
ZERO Level

- ANTENNA SPECS ON FILE PARACLOSURE 9' GREEN
- SLAB 2'x2'x3'
- 5' SCHAD STEEL MOUNTING PIPE
- FENCE 6x8 SECTIONS STOCKADE CY PRESS, ERECTED 1 FOOT ABOVE GROUND LEVEL

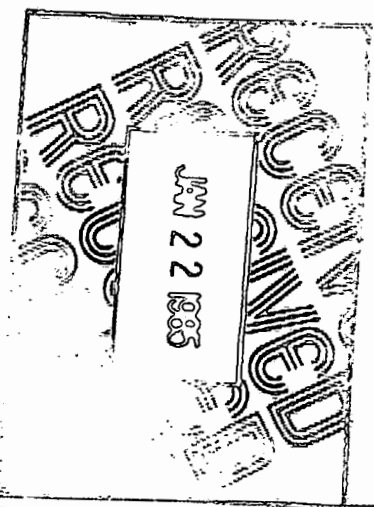
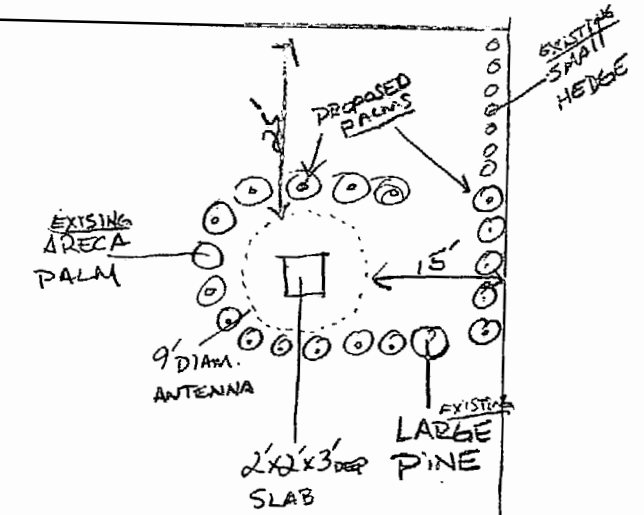
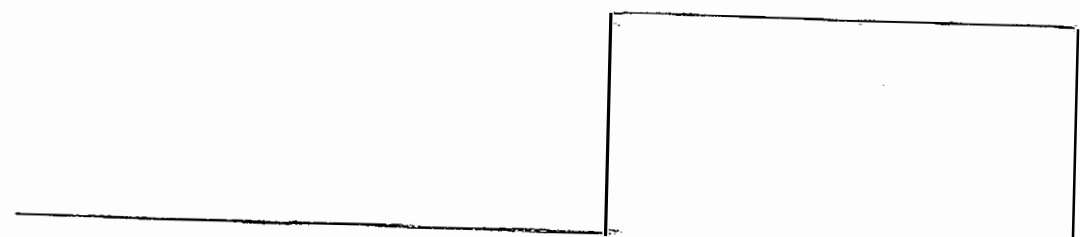


SIDE LINE

2x5.116
Sewalls Pt.
283-1183



REAR PROPERTY LINE



ROBERT FINK
2 KINGSTON CT.
SEWALLS PT.
283-1153

- ANTENNA MANUFACTURER = PARACLIPSE
- MODEL = 9' GREEN
- ANTENNA SPECS ON FILE w/SEWALLS PT. BLDG DPT. FROM PREVIOUS PERMITS FOR 125 MPH CODE

SIDE PROPERTY LINE

2029

ADDITION

2029

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner ROBERT FINK Present Address No. 2 KINGSTON COURT

Phone 283-1183 SEWELL'S POINT

Contractor SUNBURST CONST. & DEV. CORP. Address P.O. BOX 1205

Phone 546-7957 HOCHE SOUND, FL 33455

Where licensed STATE OF FLORIDA License number CRL027298

Electrical contractor LAMY ELECTRIC License number 00048

Plumbing contractor DYLEWSKI PLUMBING License number 00089

Roofing contractor PANACHE CONSTRUCTION License number LC0A07037

Air conditioning contractor PERSONALIZED AC License number CAL029403

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: ADD A BEDROOM & BATH TO EXISTING SINGLE

FAMILY RESIDENCE

State the street address at which the structure will be built:

No. 2 KINGSTON COURT, SEWELL'S POINT

Subdivision KINGSTON COURT Lot number 11 Block number NA

Contract price \$ 20,000.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Steph F. [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]
TOWN RECORD

Date submitted _____ Approved Dale Brown
Building Inspector Date

Approved [Signature] 11/5/86 Final Approval given _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

TOWN of SEWALL'S POINT

One South Sewall's Point Road, Sewall's Point, Stuart, Florida 33494

COMMISSIONERS

JOHN C. GUENTHER, Mayor
GILBERT C. STRUBELL, Vice Mayor
DOROTHY D. ROCHE, Commissioner
CLIFFORD B. DRAKE, Commissioner
ROBERT R. AUNE, Commissioner

BUILDING DEPARTMENT

TELEPHONE (305) 287-2455

JOAN H. BARROW
Town Clerk
F.J. MATUSZEWSKI
Chief of Police

1. The Town of Sewall's Point has adopted the South Florida Building Code as a part of its building ordinances.
2. Building permits are issued for one year's duration. Construction must be started within 180 days or the permit will be subject to revocation, with forfeiture of fee.
3. ALL changes in plans must be approved by the Building Department.
4. Work hours are from 8: AM to 5: PM Monday thru Saturday. NO SUNDAY WORK.
5. Portable toilets must be on all construction sites.
6. Roof sheeting plywood must be 5/8" not 1/2" as in the county.
7. Inspections are made Monday thru Friday, 8: AM to Noon. 24 hour notice is required prior to all inspections.
8. Rough grading and property clean-up must be completed before a Certificate of Occupancy is issued.
9. Trash, debris and scrap building materials must be policed daily. All debris must be contained in a dumpster.
10. Building permit fees are \$5. per thousand dollars of the cost of the building, plus \$10. each for plumbing, electric, air conditioning and roofing. For example, a \$50,000. building x \$5. = \$250. plus \$40. (pl.,el.,a.c. and roof) = \$290. total cost of permit.
11. The building department will request proof of contract costs.
12. Business or advertising signs on the job site will be permitted only with prior approval of the Town Commission.
13. If trees are to be removed, replaced or relocated, a permit is required. Check with the building inspector before removing or relocating any trees.
14. Submit separate square foot areas for inside walls, garage, carport, porches, etc..
15. Inside walls are calculated at \$60. per square foot minimum for building permit fee cost. All other areas are calculated at \$25. per square foot minimum.
16. Contractors must submit a manufacturer's window schedule with symbols and sizes.
17. Inspection for setbacks will be made by the building inspector if the builder supplies lines from the property stakes OR a survey showing the location of the building on the lot (by a licensed surveyor) will be required.

CONTRACTORS:

THIS NOTICE MUST BE GIVEN TO PROPERTY OWNERS BEFORE CONSTRUCTION BEGINS.

WARNING TO PROPERTY OWNERS

Please read this notice carefully. It may save you from paying twice for commercial or residential repairs, improvements, or new construction if they cost more than \$2,500.

Since you or your contractor have applied for a building permit for work to be done on property owned by you, you should be aware of the following:

“... the right, title, and interest of a person who has contracted for (an) improvement (to real property) **MAY BE SUBJECT TO ATTACHMENT UNDER THE MECHANICS' LIEN LAW.**”

The Florida Department of Agriculture and Consumer Services is **required by Florida law to provide this information to any person who applies for a building permit (see Section 713.135, Florida Statutes).**

The “Mechanics’ Lien Law” (Chapter 713, Part I, Florida Statutes) provides a method by which a contractor, subcontractor, sub-subcontractor, laborer, building material supplier, architect, landscape architect, engineer or land surveyor may claim a lien on real property on which he has done work or to which he has furnished materials.

A “lien” is a charge or encumbrance on real property which must be satisfied by the property owner. “Attachment” means that, if a court finds a claim of lien valid, the owner’s property may be seized and sold to satisfy the lien if it is not voluntarily paid.

Thus, failure of the property owner to comply with the “Mechanics’ Lien Law” can result in the property owner paying twice for building or property improvements; once to a contractor and again to a laborer, supplier or subcontractor whom the contractor failed to pay.

Certain protective steps by the property owner are necessary. A “Notice of Commencement” must be filed. **Before** you file the “Notice of Commencement” be sure to check with your construction money-lender, as premature filing may affect your loan. For added protection, you may require a performance bond from your contractor. A bond provides the best protection against the possibility of having to pay twice.

The “Mechanics’ Lien Law” is complicated and technical. You will find a copy of the law at the office of the Clerk of the Circuit Court in your county or at most public libraries. It will explain the “Notice of Commencement” and other requirements.

If you are planning to spend over \$2,500 on building or improvement, you may wish to consult legal counsel. If so, do it **before** you commence any building activity.

FURNISHING THIS INFORMATION IN NO WAY IMPLIES THAT YOUR CONTRACTOR IS UNRELIABLE.

This public document was promulgated at an annual cost of \$2,178, or 1.8¢ per copy to inform Floridians about provisions of Section 713.135(b), Florida Statutes, as required by law.

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA
COUNTY OF MARTIN

BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 20,000.00 .

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.

x [Signature]
Affiant
Property street address:
2 Hampton Ct
JUAN P.L.A 33494

Sworn to and subscribed
before me this 30 day of
October, 19 86.

[Signature]
Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires:

(NOTARY SEAL)

NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXP. MAY 19, 1990
BONDED THRU GENERAL INS. UBD.

STUBOUT ELEVATION AND FILL CERTIFICATION

APPLICANT: BURTON
LEGAL DESCRIPTION: 10-11 R.M. 10-17
SEPTIC TANK PERMIT NUMBER: 11030-511

The items noted below must be certified by a surveyor or engineer and returned to the Health Department prior to the first plumbing inspection by the Building Department.

- 1. Building Permit Number: _____.
- 2. I certify that the elevation of the top of the lowest plumbing stubout is at or above the approved elevation as shown on septic tank permit application.
Date elevation checked: _____.
- 3. I certify that the top of the lowest building plumbing stubout is _____ feet above the crown of road.
- 4. I certify that all severe limited soil has been removed from an area of _____ feet by _____ feet to a minimum depth of six (6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.
Date observed: _____.

NOTE: a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
b. Drainfield must be centered in the excavated area. Please set stakes to identify the excavated area boundaries. Drainfield will not be approved if severe limited soils are not removed.

CERTIFIED BY: _____ As applicant or applicant's representative, I understand the above requirements.
Florida Professional Number: _____
Date: _____ Job Number: _____
Stephen J. B.
(Signature)

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

(Signature of Environmental Health Specialist) (Date)

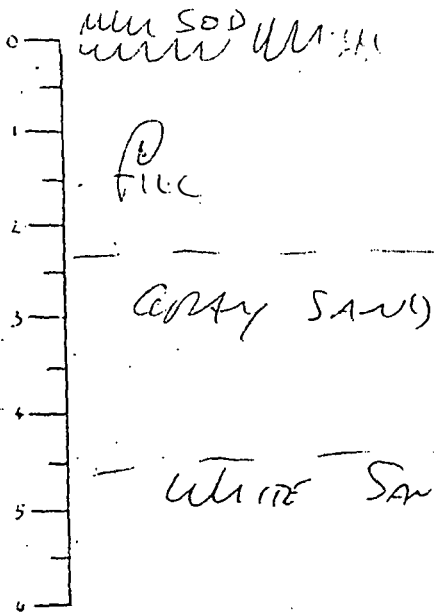
MARTIN COUNTY PUBLIC HEALTH UNIT
131 East 7th Street
Stuart, Florida 33497
287-2277

SITE EVALUATION

APPLICANT: SUNBURST CONST.

LEGAL DESCRIPTION: LOT 11 KINGSTON CT.

SOIL PROFILE



USDA SOIL TYPE JONATHAN

USDA SOIL NUMBER 41

Impervious soils are present at
 feet below natural grade.

PRESENT WATER DEPTH BELOW NATURAL GRADE 7 1/2 FEET.

WET SEASON RANGE PER SOIL SURVEY 3-5 FEET.

ESTIMATED WET SEASON WATER DEPTH BELOW NATURAL GRADE 7 1/2 FEET

INDICATOR VEGETATION PRESENT SUSH & SAND PINE - EXOTIC

IS BENCHMARK LOCATED ON PLOT PLAN AND PRESENT ON SITE? YES

APPROXIMATE AMOUNT OF FILL ON NEIGHBORING LOTS ~2.0'

OTHER FINDINGS:

EVALUATION BY: Daniel Mustansky, P.E.

DATE: 10-20-86

MARTIN COUNTY PUBLIC HEALTH UNIT
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

PERMIT NUMBER: 14086-591

NAME OF APPLICANT: Sunburst Construction HOME PHONE: _____
F.B. _____ PG. _____ W.O.# 1583 WORK PHONE: 546-7957
MAILING ADDRESS OF APPLICANT: P.O. Box 1205, Hobbes Sound Fl. 33455
LOT 11 BLOCK _____ SUBDIVISION Kingston Court
PLAT BOOK _____ PAGE 79 DATE SUBDIVIDED 10-2-81
RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 1
HEATED OR COOLED AREA OF HOME 505 SQUARE FEET
COMMERCIAL: TYPE OF BUSINESS PROPOSED _____ NUMBER PEOPLE _____

AFFIDAVIT

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE:

Joseph M. Bersaroli

INSTALLATION SPECIFICATIONS

SEPTIC TANK CAPACITY 750 GALLONS
DRAINFIELD SIZE 125 SQUARE FEET

MINIMUM SETBACK REQUIRED FROM PROPERTY LINES TO DRAINFIELD ROCK IS 8'

TOP OF SEPTIC TANK IS REQUIRED TO BE A MINIMUM ELEVATION OF FINISHED SOIL GRADE
NOT TO EXCEED 18" OF COVER OVER DRAINFIELD ROCK

THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

ISSUED BY: Daniel M. Maskowsky RS DATE: 10-21-82
ENVIRONMENTAL HEALTH SPECIALIST

- PLEASE NOTE:
1. THIS PERMIT EXPIRES ONE YEAR FROM DATE OF ISSUANCE.
 2. IF BUILDING STUBOUT IS MORE THAN 20 FEET FROM SEPTIC TANK AND DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
 3. IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
 4. IF ANY INFORMATION ON THIS PERMIT CHANGES, PLEASE SUBMIT AN UPDATED APPLICATION TO THIS OFFICE.
 5. IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

Inspection Results Will be Posted on Building Permit or on Electrical Box.

FINAL INSPECTION

CONSTRUCTION APPROVED BY: _____ DATE: _____
ENVIRONMENTAL HEALTH SPECIALIST

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE

MARTIN COUNTY PUBLIC HEALTH UNIT
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

Lot 11 Kingston Court SITE INFORMATION Sunburst Builders
W.O.# _____ F.B. _____ PG. _____

1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? No
2. IS THERE A PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM? No
3. IS THERE A LIMITED USE NON-COMMUNITY OR OTHER PUBLIC WELL WITHIN 100 FEET OF PROPOSED SEPTIC SYSTEM? No
4. IS THERE A PUBLIC WELL WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? No
5. IS THERE A PUBLIC SEWER WITHIN 100 FEET OF THE PROPOSED LOT? No
6. IS THERE A LAKE, STREAM, WETLAND, OR OTHER BODY OF WATER WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM? No
7. IS THERE A PROPOSED OR EXISTING PUBLIC WATER LINE WITHIN TEN FEET OF THE PROPOSED SEPTIC SYSTEM? No
8. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? No
9. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? No
10. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? Yes
11. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? Yes
12. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDINGS OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? Yes
13. THERE IS 300 SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA.

ELEVATIONS

1. CROWN OF ROAD ELEVATION 407^{NGVD} SHOW LOCATION ON PLOT PLAN.
IF ROAD IS NOT PAVED, BENCHMARK ELEVATION — SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 6.74 NGVD.
SHOW LOCATION ON PLOT PLAN.
3. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? Yes A-8 IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? elw 9 NGVD 1929 (ELEVATION OPTIONAL)

NOTE: MUST BE CERTIFIED BY REGISTERED
SURVEYOR OF ENGINEER IN THE
STATE OF FLORIDA.

CERTIFIED BY: W. P. Williams
FL. PROFESSIONAL NO: 1772
DATE: 10-16-86 JOB NO: _____

SITE DIRECTIONS

ATTACH SITE LOCATION MAP OR EXPLAIN DIRECTION TO SITE BELOW

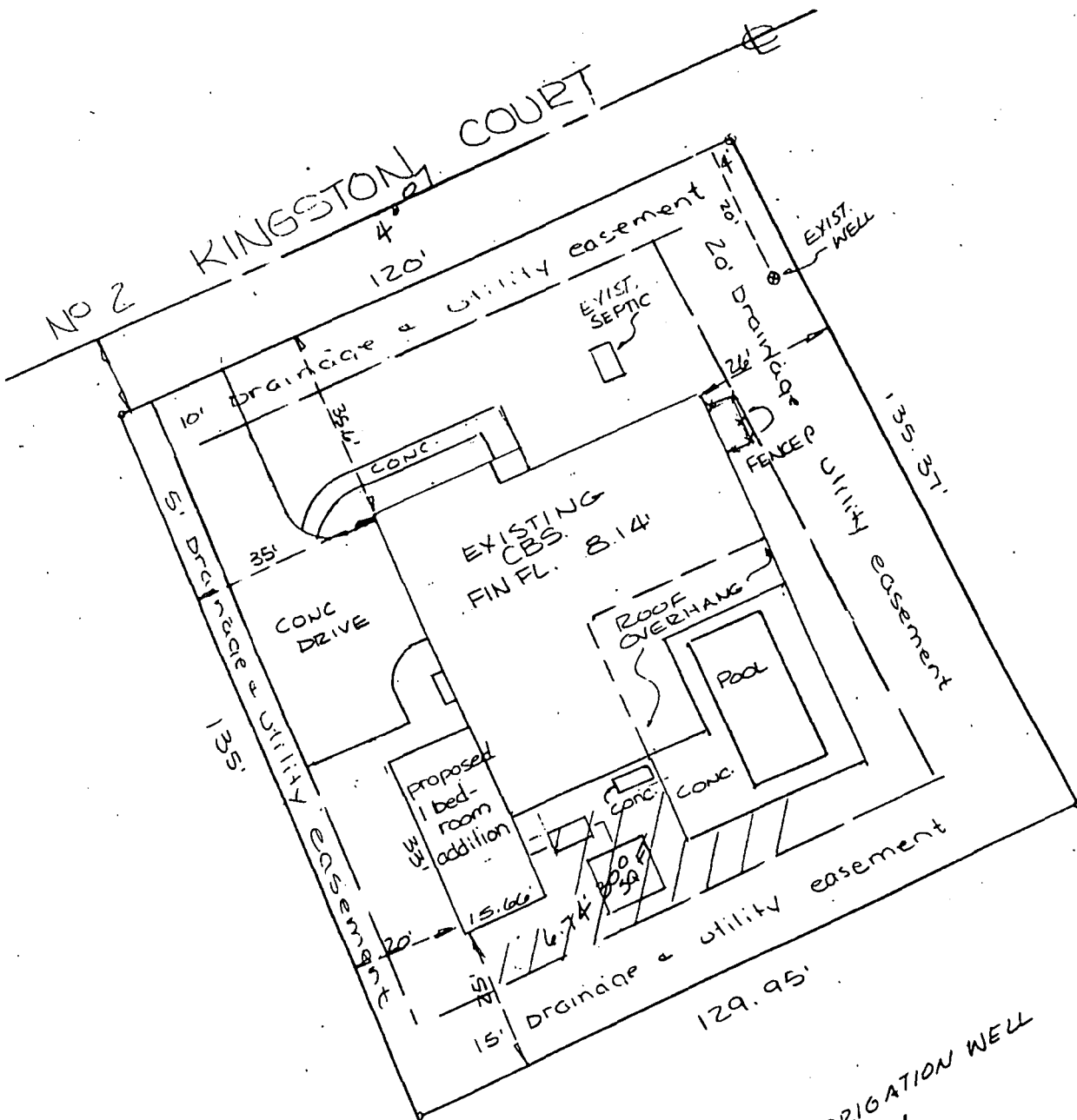
See Attached

DATA SHEET

Location: LOT 11
KINGSTON COURT

Applicant: SUNBURST BUILDERS
County: MARTIN

CITY WATER



NO. IRRIGATION WELL
WITHIN 50'

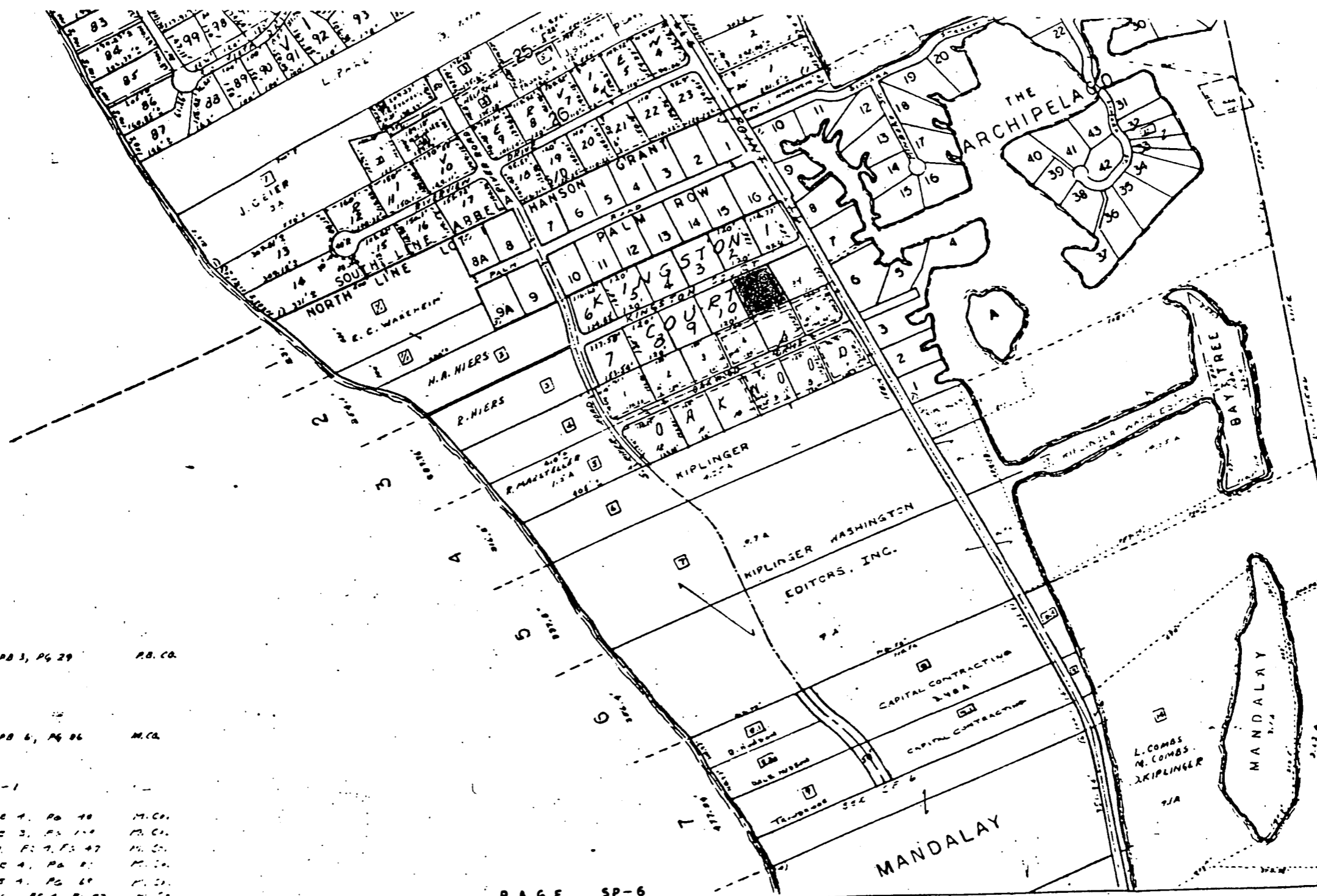
Plan
Scale 1" = 30

Certified By: [Signature]
Florida Professional No.: 1272
Date: 10-16-86
Field Book: _____ Page: _____
Work Order No.: _____
Sheet 3 of 3

LUCIE

RIVER

N. BELA PB 3, PG 29 P.B. CO.
 N. 12' VIEW PB 4, PG 86 M.C.O.
 GRANT LOT 1
 ARCHIPELA PB 1, PG 48 M.C.O.
 HILL ROAD PB 3, PG 118 M.C.O.
 L. 12' P. 17' 15' ADJ. PB 1, PG 47 M.C.O.
 HANSON PB 4, PG 81 M.C.O.
 PALM ROW PB 1, PG 65 M.C.O.
 WHITE FENCE ALLEY PB 1, PG 77 M.C.O.



INDIAN

RIVER

INTRACOASTAL

SCALE 1" = 200'

ASSESSMENT MAP
MARTIN COUP
FLORIDA

SEWALL
SECTION 18
TOWNSHIP
RANGE 11
DRAWN BY
PAGE

RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date _____

This is to request that a Certificate of Approval for Occupancy be issued to _____

For property built under Permit No. _____ Dated _____ when completed in
conformance with the Approved Plans.

Item	
1. LOT STAKES/SET BACKS	_____ Signed _____
2. TERMITE PROTECTION	_____
3. FOOTING - SLAB	_____ Approved by _____
4. ROUGH PLUMBING	_____
5. ROUGH ELECTRIC	_____
6. LINTEL	_____
7. ROOF	_____
8. FRAMING	_____
9. INSULATION	_____
10. A/C DUCTS	_____
11. FINAL ELECTRIC	_____
12. FINAL PLUMBING	_____
13. FINAL CONSTRUCTION	_____

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector _____ date

Approved by Building Commissioner _____ date

Utilities notified _____ date

Original Copy sent to _____

(Keep carbon copy for Town files)

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

TRAVIS
EXTERMINATING
COMPANY
MFB
11-13-86

DO NOT REMOVE UNTIL JOB IS COMPLETED

OWNER Robert Fink
CONTRACTOR Subuast Const
LOT 11 BLOCK _____ SUB Kingston
NO. # 2 Kingston Court St. or Ave.

NO. 2029

Date Issued 11/5/86

TOWN OF SEWALL'S POINT BUILDING PERMIT

Call 287-2455 From 8:00 A.M. - 12:00 Noon and
1:00 P.M. - 4:00 P.M. For Inspections of Items 1 thru 13.

- * REQUESTS FOR INSPECTIONS REQUIRE AT LEAST 24 HOURS NOTICE.
- * ALL WORK MUST BE IN COMPLIANCE WITH THE TOWN OF SEWALL'S POINT ORDINANCES, THE SOUTH FLORIDA BUILDING CODE, THE STATE OF FLORIDA ENERGY EFFICIENCY BUILDING CODE AND ELEVATIONS BASED ON THE LATEST FLOOD INSURANCE RATE MAP.
- * WORKING HOURS ARE FROM 8:00 to 5:00 P.M. MONDAY THRU SATURDAY. PORTABLE TOILET FACILITIES MUST BE ON JOB SITE BEFORE INITIAL INSPECTION.

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
1. LOT STAKES/SET BACKS		
2. TERMITE PROTECTION	11/13/86 Travis	
3. FOOTING - SLAB	OK 11/5/86	DB OK 11/13/86 DB
4. ROUGH PLUMBING	OK 11/11/86	DB
5. ROUGH ELECTRIC	OK 12/15/86	DB
6. LINTEL	OK 11/25/86	DB
7. ROOF		
8. FRAMING	OK 12/15/86	DB
9. INSULATION	OK 12/16/86	DB
10. A/C DUCTS	OK 12/15/86	DB
11. FINAL ELECTRIC	OK 1/7/87	DB
12. FINAL PLUMBING	OK 1/7/87	DB
13. FINAL CONSTRUCTION	OK 1/7/87	DB

TO CONSTRUCT Room add

REMARKS:

RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 1/7/87

This is to request that a Certificate of Approval for Occupancy be issued to Robert Fink
For property built under Permit No. 2029 Dated 11/5/86 when completed in
conformance with the Approved Plans.

Robert Fink

Item		
1. LOT STAKES/SET BACKS		
2. TERMITE PROTECTION	<u>11/13/86 DB</u>	Approved by
3. FOOTING - SLAB	<u>11/5/86 11/13/86 DB</u>	
4. ROUGH PLUMBING	<u>11/11/86 DB</u>	
5. ROUGH ELECTRIC	<u>12/15/86 DB</u>	
6. LINTEL	<u>11/25/86 DB</u>	
7. ROOF		
8. FRAMING	<u>12/15/86 DB</u>	
9. INSULATION	<u>12/14/86 DB</u>	
10. A/C DUCTS	<u>12/15/86 DB</u>	
11. FINAL ELECTRIC	<u>1/7/87 DB</u>	
12. FINAL PLUMBING	<u>1/7/87 DB</u>	
13. FINAL CONSTRUCTION	<u>1/7/87 DB</u>	

Signed

Approved by

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Dale Brown 1/7/87 date

Approved by Building Commissioner _____ date

Utilities notified _____ date

Original Copy sent to _____

(Keep carbon copy for Town files)

4558

287-2455

Town of Sewall's Point

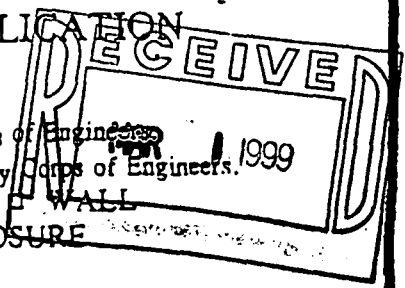
P.I.N. _____

Date _____

ACCESSORY STRUCTURE PERMIT APPLICATION

to construct:

- DOCK requires prerequisite approval from State and Army Corps of Engineers
- BULKHEAD requires prerequisite approval from State and Army Corps of Engineers.
- DETACHED GARAGE SWIMMING POOL
- SOLAR WATER HEATER SCREENED ENCLOSURE
- FENCE may not require sealed drawings.
- OTHER: Re-Roof



Owner's Name FINK RESIDENCE

Owner's Address 2 KINGSTON CT. SEWALLS PT.

Fee Simple Titleholder's Name (If other than owner) _____

Fee Simple Titleholder's Address (If other than owner) _____

City _____ State _____ Zip _____

Contractor's Name A & W Construction - Roofing Division

Contractor's Address 450 S. FEDERAL Hwy #101

City STUART State FL Zip 34994

Job Name FINK RESIDENCE

Job Address 2 KINGSTON CT.

City SEWALLS PT. County MARTIN

Legal Description 2 KINGSTON CT.

Bonding Company _____

Bonding Company Address _____

City _____ State _____

Architect/Engineer's Name _____

Architect/Engineer's Address _____

Mortgage Lender's Name _____

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.



OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
Owner or Agent

3-1-99
Date

[Signature]
Contractor

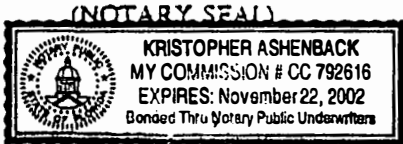
2-27-99
Date

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 1 day of March 1999, by Albert Pink, who: are personally known to me, or has/have produced _____ as identification, and who did not take an oath.

[Signature]
Name: Kristopher Ashenback

Typed, printed or stamped
I am a Notary Public of the State of Florida having a commission number of CC 792616 and my commission expires: 11-22-02

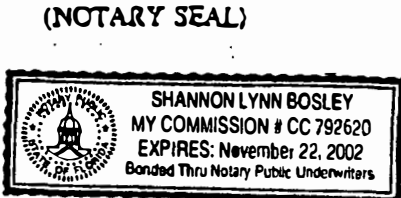


STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 27 day of Feb 1999, by KRISTOPHER ASHENBACK, who: are personally known to me, or has/have produced _____ as identification, and who did not take an oath.

[Signature]
Name: SHANNON LYNN BOSLEY

Typed, printed or stamped
I am a Notary Public of the State of Florida having a commission number of CC 792620 and my commission expires: 11-22-02



Certificate of Competency Holder

Contractor's State Certification or Registration No. CCC 057686

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY _____ Permit Officer

Town of Sewall's Point

287-9722
6063

BUILDING PERMIT APPLICATION

Building Permit Number: _____

Owner or Titleholder Name: JAMES BRUCIA City: Sewall's Point State: FL Zip: 32996
Legal Description of Property: KINGSTON CT. Lot #11 Parcel Number: 13-38-41-010-000-00110. 20000
Location of Job Site: 2 Kingston CT. Type of Work To Be Done: Change fence line.

CONTRACTOR/Company Name: O/B. Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____
State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

ARCHITECT: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____
Type Sewage: _____ Septic Tank Permit Number From Health Depart. _____ Well Permit Number: _____

FLOOD HAZARD INFORMATION Flood Zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD
Proposed First Floor Habitable Floor Finished Elevation: _____ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$2,000.00 Estimated Fair Market Value (FMV) Prior
To Improvements: 499,000.00 If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES _____ NO

SUBCONTRACTOR INFORMATION
Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION
Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____ South Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____
National Electrical Code _____ Florida Energy Code _____
Florida Accessibility Code _____

THEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

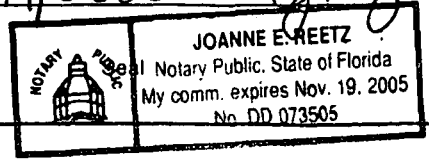
OWNER OR AGENT SIGNATURE (Required)
State of Florida, County of: Martin
This the 6th day of December, 2003
by James Brucia who is personally
known to me or produced
as identification. _____

CONTRACTOR SIGNATURE (Required)
On State of Florida, County of: _____
This the _____ day of _____, 200____
by _____ who is personally
known to me or produced _____
As identification. _____

My Commission Expires: 11/19/2005

My Commission Expires: _____

[Handwritten Signature]



Seal

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR A FENCE

IMPORTANT NOTICE: All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number.
6. Estimated cost of construction.
7. Original signature of owner and notarized
8. Original signature of Contractor and notarized.

Submittals (2 copies)

1. Current survey (boundary & topographic) containing the following information:
 - a. Legal Description of Lot
 - b. Lot dimensions and bearings
 - c. Street and Waterway names
 - d. Easements
 - e. ROW's
 - f. Canals, Ponds, or Riverfront locations
 - g. Location of existing and proposed fences
 - h. Description of type and height of fence at all locations
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. Letter from Home Owners or Subdivision Associations stating design is per their deed restriction or covenants
5. Application for tree removal or relocation (attach tree survey and removal or relocation plan)
6. A certified copy of the Notice of Commencement for any work over \$2500.00
7. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
8. Copy of Workmen's Compensation
9. Copy of Liability Insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: 12/5/02

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even through you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: JAMES BRUCIA Date: 12/5/02

Signature: 

Address: 2 Kingston Ct.

City & State: Sewall's Point FL 34996

Permit No. _____

This form is for all permits except electrical.

TOWN OF SEWALL'S POINT

Date 12-10-02

BUILDING PERMIT NO. 6063

Building to be erected for JAMES BRUCIA

Type of Permit FENCE

Applied for by O/B (Contractor)

Building Fee 30.00

Subdivision Kingston Court Lot 11 Block _____

Radon Fee _____

Address 2 Kingston Court

Impact Fee _____

Type of structure SFR

AC Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

1338410100000011020000

Roofing Fee _____

Amount Paid 38.00 Check # 1730 Cash _____

Other Fees (0.25%) 8.00

Total Construction Cost \$ 9000.00

TOTAL Fees 38.00

Signed [Signature]

Applicant

Signed [Signature] (Apr)

Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/1, 2004 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
<u>5617</u>	<u>108 N. SEWALL'S RD.</u>	<u>FINAL ROOF</u>		<u>reschedule for Wed</u>
				INSPECTOR:
<u>6094</u>	<u>MAJEWSKI</u>	<u>FILL</u>	<u>PASS</u>	
	<u>24 E HIGH POINT</u> <u>JIMMY LANN CARE</u>	<u>(BACK YARD)</u>		INSPECTOR: <u>[Signature]</u>
<u>6063</u>	<u>BUCH</u>	<u>FENCE FINAL</u>	<u>PASS</u>	
	<u>2 KINGSTON COURT</u>			INSPECTOR: <u>[Signature]</u>
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:

OTHER:

7266

HURRICANE SHUTTERS

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 2/3/05

BUILDING PERMIT NO. 7266

Building to be erected for BRUCIA

Type of Permit HURRICANE SHUTTER

Applied for by O/B (Contractor)

Building Fee 35.00

Subdivision KINASTON CT Lot 11 Block _____

Radon Fee _____

Address 2 KINASTON COURT

Impact Fee _____

Type of structure _____

A/C Fee _____

Parcel Control Number:

133841010000011020000

Electrical Fee _____

Plumbing Fee _____

Amount Paid 35.00 Check # 1504 Cash _____

Other Fees (_____) _____

Roofing Fee _____

Total Construction Cost \$ 1150.00

TOTAL Fees 35.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input checked="" type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | | | |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF TIN TAG/METAL | _____ | ROOF-IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | EARLY POWER RELEASE | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

FEB 01 2005

DATE BY:

Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: JAMES BRUCIA Phone (Day) 772 287-9722 (Fax) _____

Job Site Address: 2 Kingston Ct. City: Sewalls Pt. State: FL Zip: 34996

Legal Description of Property: Kingston Ct. Lot 11 Parcel Number: 13-38-41-010-040-00110.20000

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: INSTALLATION of storm panels

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 1150.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) _____

CONTRACTOR SIGNATURE (required) _____

State of Florida, County of: _____

On State of Florida, County of: _____

This the 1 day of Feb, 200 05

This the _____ day of _____, 200 _____

by _____ who is personally

by _____ who is personally

known to me or produced _____

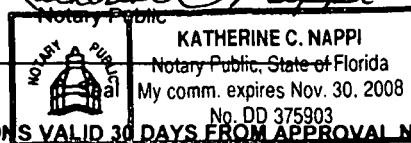
known to me or produced _____

as identification. _____

As identification. _____

My Commission Expires: _____

My Commission Expires: _____



Notary Public

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT

ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT


(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: JAMES BAUCIA Date: 2/2/05

Signature: 

Address: 2 Kingston Ct.

City & State: Sewalls Pt. FL

Permit No. _____

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR HURRICANE SHUTTERS

IMPORTANT NOTICE: All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:


1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number.
6. Estimated cost of construction.
7. Original signature of owner and notarized
8. Original signature of Contractor and notarized.

Submittals (2 copies)

1. Window design pressures for site specific conditions
2. Product approvals from Miami/Dade for the following items:
 - a. Hurricane Shutters
3. Statement of Fact (owner/builder affidavit)
4. Proof of ownership (deed or tax recpt.)
5. Manufactures specifications or shop drawings for hurricane shutters
6. A certified copy of the Notice of Commencement for any work over \$2500.00
7. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
8. Copy of Workmen's Compensation
9. Copy of Liability Insurance

The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: 2/2/05

NOTICE OF ACCEPTANCE (NOA)

Eastern Metal Supply, Inc.
4268 Westroads Dr.
West Palm Beach, Florida 33407

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: 0.030" Galvanized Steel Storm Panels Shutter

APPROVAL DOCUMENT: Drawing No. 02-446, titled " 24 gage Galvanized Bertha Steel Storm Panel ", sheets 1 through 9 of 9, prepared by Tiltco, Inc., dated September 05, 2002, bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the request of the Building Official.

This NOA revises NOA # 00-0919.10 and consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Henry A. Makar, P.E.

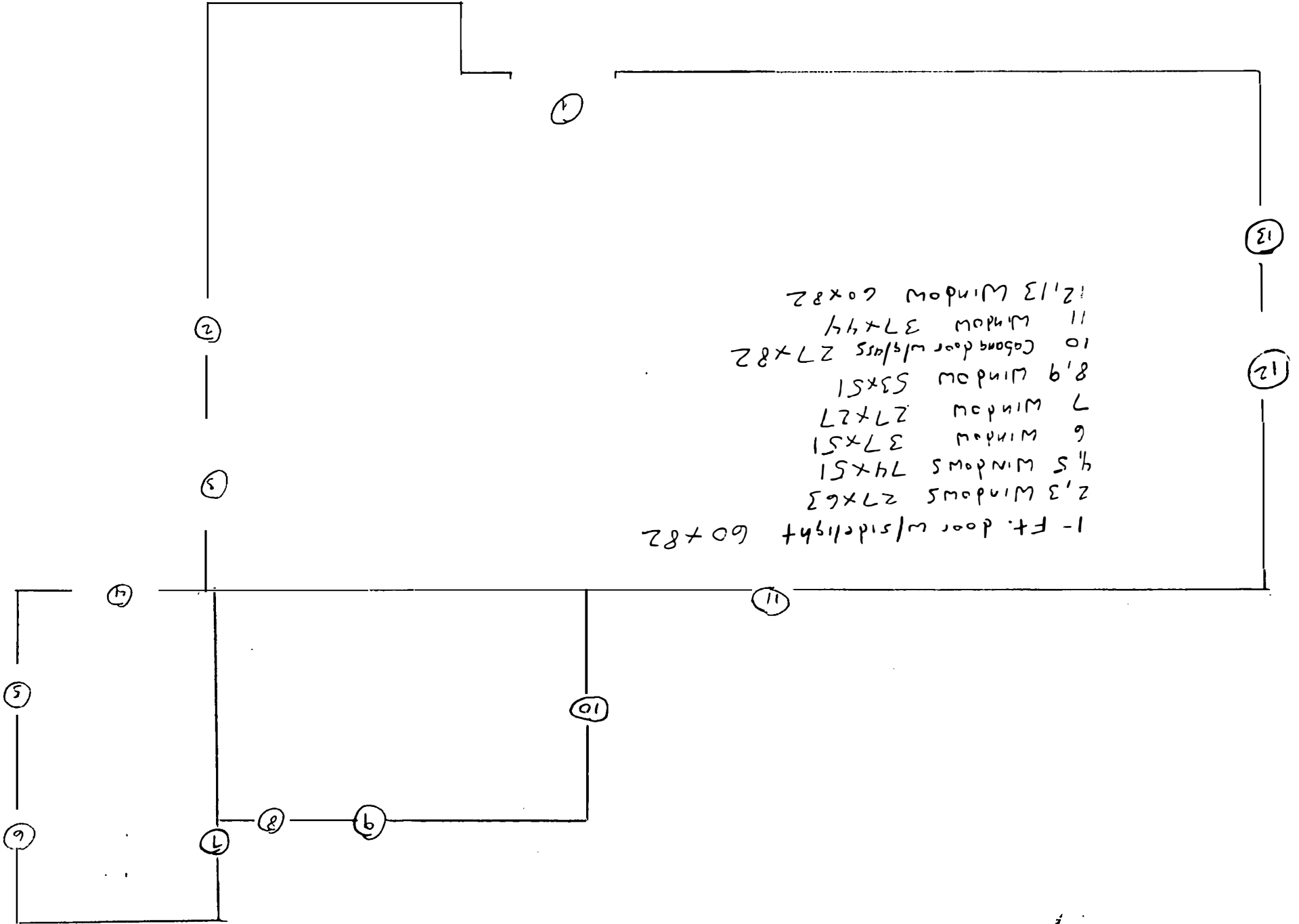


FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE: 2/2/05

BUILDING OFFICIAL
Gene Simmons

NOA No 02-0809.04
Expiration Date: 06/07/2004.
Approval Date: 10/03/2002
Page 1



1 - Ft. door w/sidelight 60x82
 2,3 Windows 27x63
 4,5 Windows 74x51
 6 Window 37x51
 7 Window 27x27
 8'9 Window 53x51
 10 Casement door w/ass 27x82
 11 Window 37x44
 12,13 Window 60x82

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/14, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6396	MUFSON	COURTESY/INSP.	DONE	
12	17 S. RIVER RD BUFORD			INSPECTOR:
2758	GOULET	FINAL FENCE	PASS	CLOSE
12A	4 CASTLE HILL WY START FENCE			INSPECTOR:
7338	MCCORMICK	PUMPKIN Patch	PASS	
13	59 N. RIVER RD PINE ORCHARD BLUES			INSPECTOR:
7605	CRANE	DRY-TN ROOF	FAIL	
6	2 TIMOR ST BUE DIAMOND	STEEL FOOTER R&H EJECT	PASS PASS	INSPECTOR:
7718	SCHOPPE	TEMP POLE	PASS	CALL FPL FOR METER
5	9 PALM ROAD A&P CONSTRUCTION			INSPECTOR:
7748	ABESADA	FINAL DEMOLITION REPAIR	PASS	CLOSE
7	8 MORGAN CR FEAZEL ROOFING			INSPECTOR:
7266	BRUCIA	FINAL SHUTTERS	PASS	CLOSE
4	2 KINASTON CT O/B			INSPECTOR:

OTHER: _____

7407

REPLACE DOORS

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 3/19/05

BUILDING PERMIT NO. 7407

Building to be erected for BRUCIA

Type of Permit REPLACE DOORS

Applied for by J & G CARPENTRY (Contractor)

Building Fee 35.00

Subdivision KINGSTON COURT Lot 11 Block _____

Radon Fee _____

Address 2 KINGSTON COURT

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

1338410100000011020000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 35.00 Check # 3659 Cash _____ Other Fees (_____)

Total Construction Cost \$ 1900.00

TOTAL Fees 35.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input checked="" type="checkbox"/> ADDITION
<u>REPLACE DOOR</u> |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

BY:

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: _____ Permit Number: _____

OWNER/TITLEHOLDER NAME: J. Bivica Phone (Day) 772-287-9722 (Fax) _____

Job Site Address: 2 Kingston Ct. City: _____ State: _____ Zip: _____

Legal Desc. Property (Subd/Lot/Block) SEWALL POINT Parcel Number: 13-38-41-010-000-0010-2000

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: CHANGE OUT 4 DOORS - NO SIZE CHANGE

WILL OWNER BE THE CONTRACTOR?:

YES

NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 1,900.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: J & G CARPENTRY Phone: 561-333-7704 Fax: 561-333-7747

Street: 13461 79th Ct N. City: WPB State: FL Zip: 33412

State Registration Number: CG 022831 State Certification Number: 0B27327 Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) _____

CONTRACTOR SIGNATURE (required) _____

State of Florida, County of: Martin

On State of Florida, County of: _____

This the 25 day of January 20005

This the 20th day of Jan 2005

by _____ who is personally

by JAMES A DAVIS who is personally

known to me or produced _____

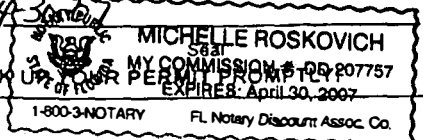
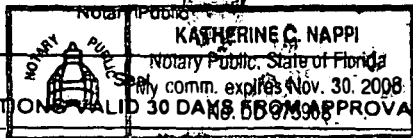
known to me or produced 1120-444-51-249-0

as identification. _____

As identification. Michelle Roskovich

My Commission Expires: _____

My Commission Expires: 3/30/07



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL

NOTIFICATION - PLEASE PICK UP YOUR PERMIT NOW

1-800-3-NOTARY FL Notary Discourt Assoc. Co.

J & G Carpentry
13461 79th Ct North
West Palm Beach, FL 33412
Ph# 561-333-7704
Fax# 561-333-7747

March 17, 2005

Town of Sewalls Point
1 Sewalls Point Rd
Sewalls Point, FL 34996

Dear Sir,

J&G Carpentry, Inc gives authorization for all employees of Permit Providers including but not limited to: Donna Brinson, Steven Trepeck, Sheila Laumier and Mitch Bocook to submit, sign for and pick up, revise and /or correct permits in the Town of Sewalls Point.

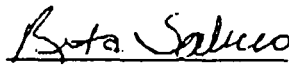
If you have any question regarding this matter, please do not hesitate to call the above number.

Thank you in advance for your cooperation.



James D Davis

Sworn and subscribed before me this 17 day of March 2005 by James D Davis personally known to me or produced _____ as identification.



Notary



RITA SALICCO
MY COMMISSION # DD 178221
EXPIRES: January 12, 2007
Bonded Three Budget Notary Services

LIABILITY INSURANCE

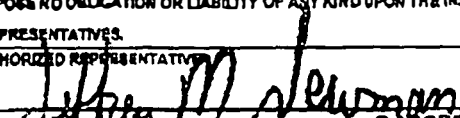
CP ID YD
JGCCBPT 03/10/05

PRODUCER Newman Insurance Agency, Inc. 5700 Stirling Road Hollywood FL 33021- Phone: 954-963-9626	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
	INSURED J & G Carpentry, Inc. 13461 79th Court North West Palm Beach FL 33412	INSURER A: Nova Casualty Insurance Co. INSURER B: Progressive Companies INSURER C: INSURER D: INSURER E:

COVERAGES
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR POLY LTR INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> \$250. Deductible GENL AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	09GL023955	01/07/05	01/07/06	EACH OCCURRENCE \$ 1,000,000
	DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000				
	MED EXP (Any one person) \$ 5,000				
	PERSONAL & ADV INJURY \$ 1,000,000				
					GENERAL AGGREGATE \$ 2,000,000
					PRODUCTS - COMP/OP AGG \$ 2,000,000
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	04033496-7	01/09/05	01/09/06	COMBINED SINGLE LIMIT (Per accident) \$ 500,000
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$
					OTHER THAN AUTO ONLY: EA ACC \$
					AUTO ONLY: AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$
					AGGREGATE \$
					\$
					\$
	WORKERS COMPENSATION AND EMPLOYERS LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER				WC STATUTORY LIMITS OTHER
					E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
 772-220-4765
 561-333-7747

CERTIFICATE HOLDER TOWN OF S Town of Sewalls Point 1 Sewalls Point Rd Sewalls Point FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
	AUTHORIZED REPRESENTATIVE 

ACORD CERTIFICATE OF LIABILITY INSURANCE

CERTIFICATE NO./DATE
AC09-1200431-233436
3/11/2005 10:55:58 AM

PRODUCER
Eisenmann Risk Placements, Inc.
14160 Dallas Parkway, Suite 500
Dallas, TX 75254
(972) 764-0965 Fax: (972) 404-4450

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED
J & G CARPENTRY, INC.
13461 79 CT. NORTH
WEST PALM BEACH, FL 33412
(561) 333-7704 Fax: (561) 333-7747

INSURER A: PROVIDENCE PROPERTY & CASUALTY INSURANCE COMPA
INSURER B:
INSURER C:
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR. TR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GENL. AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PER-ACC <input type="checkbox"/> LOC				EACH OCCURRENCE \$ FIRE DAMAGE (Any One Fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/CP AGG \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALLOWED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Per accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	DAMAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC0100086	12/1/2004	12/1/2005	<input checked="" type="checkbox"/> WORKERS COMPENSATION <input type="checkbox"/> EMPLOYERS' LIABILITY E.L. EACH ACCIDENT \$ 1000000 E.L. DISEASE - EA EMPLOYEE \$ 1000000 E.L. DISEASE - POLICY LIMIT \$ 1000000
	OTHER <input type="checkbox"/>				LIMITS \$ LIMITS \$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

1. Insured is afforded Workers Compensation & Employers Liability as a co-employer under the policy for employees leased from AMS Staff Leasing, Inc. 2. This certificate remains in effect, provided the client's account is in good standing with AMS. Coverage is not provided for any employee for which the client is not reporting wages to AMS. Applies to 100% of the employees of AMS leased to J & G CARPENTRY, INC., effective 12/01/2004.

PLEASE SEE ATTACHED EMPLOYEE ROSTER.

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

TOWN OF SEWALLS POINT
BUILDING DEPARTMENT
1 S SEWALLS POINT RD
SEWALLS POINT, FL 349966736

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE



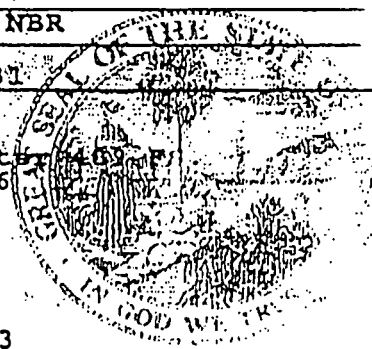
1571904

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD SEQ# L04082701A03

DATE	BATCH NUMBER	LICENSE NBR
8/27/2004	7030196489	CGC023831

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 469, F.S.
Expiration date: AUG 31, 2006



DAVIS, JAMES D
J & G CARENTRY INC
7030 SW 16TH CT
PEMBROKE PINES

FL 33023

JEB BUSH
GOVERNOR

DIANE CARF
SECRETARY

DISPLAY AS REQUIRED BY LAW



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

DAVIS, JAMES D
J & G CARPENTRY INC
7030 SW 16TH CT
PEMBROKE PINES FL 33023

STATE OF FLORIDA AC# 113390

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CGC022831 10/17/03 030197382

CERTIFIED GENERAL CONTRACTOR
DAVIS, JAMES D
J & G CARPENTRY INC

IS CERTIFIED under the provisions of Ch. 489 FS.
Expiration date: AUG 31, 2004 L03101701742

DETACH HERE

#1133908

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L03101701742

DATE	BATCH NUMBER	LICENSE NBR
/17/2003	030197382	CGC022831

The GENERAL CONTRACTOR
named below IS CERTIFIED
under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2004.

DAVIS, JAMES D
& G CARPENTRY INC
7030 SW 16TH CT
PEMBROKE PINES FL 33023

JEB BUSH
GOVERNOR

DIANE CARR
SECRETARY



John K. Clark, CFC Tax Collector

P.O. Box 3353

West Palm Beach, FL 33402-3353

www.pbcgov.com/tax Tel:(561) 355-2622

J & G CARPENTRY INC
SALICCO JOHN
13461 79TH COURT NORTH
WEST PALM BEACH FL 33412-2118

License Number: **2003-05504**

Dear Business Owner:

This is your new occupational license. Please keep the upper portion for your records and detach the bottom of this form. Verify the information and display it conspicuously at your place of business, open to the view of the public.

This license is in addition to and not in lieu of any other license required by law or municipal ordinance and is subject to regulations of zoning, health, and any other lawful authority (County Ordinance Number 72-7).

Licenses may be transferred to a new owner when evidence of a sale is provided; the original license is surrendered and a transfer fee is paid.

Licenses may be transferred to a new location when proof of zoning approval is provided; the original license is surrendered and a transfer fee is paid.

Business name changes require a new license.

This license expires on **September 30, 2005**. Renewal notices are mailed at the end of July. If you do not receive the notice by the middle of August, please let us know.

I hope you have a successful year.

Tax Collector

*** DETACH AND DISPLAY BOTTOM PORTION, AND KEEP UPPER PORTION FOR YOUR RECORDS ***

2003-05504

STATE OF FLORIDA

OS-012

PALM BEACH COUNTY

CLASSIFICATION

OCCUPATIONAL LICENSE

EXPIRES: SEPTEMBER - 30 - 2005

J & G CARPENTRY INC
SALICCO JOHN

XX LOCATED AT

CNTY \$31.50

13461 79TH COURT NORTH
WEST PALM BEACH FL 33412-2118

TOTAL \$31.50

is hereby licensed at above address for the period beginning on the first day of October and ending on the thirtieth day of September to engage in the business, profession or occupation of:

GENERAL CONTRACTOR

CGC022831 / QB27322

THIS IS NOT A BILL - DO NOT PAY

PAID. PBC TAX COLLECTOR
\$31.50 OCC 049 04348 08-03-2004

JOHN K. CLARK, CFC
TAX COLLECTOR, PALM BEACH COUNTY

**THIS LICENSE VALID ONLY WHEN RECEIPTED BY
TAX COLLECTOR**

WINDOW/DOOR SCHEDULE

I.D. NO.	APPOX OPENING SIZE (WXH)	DESIGNATION	TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37"X63"	25	SH		X	EXAMPLE
1	25 1/2 x 80 3/4					Prehung door no glass
2	37 1/2 x 79					Prehung door no glass
3	53 x 80 3/4				X	Door w/ Side lite
4	33 1/2 x 80 3/4					Fiberglass no glass
5						
6						
7						
8						
9						
10						
11						
12						
13						
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29						
30						

TYPE WINDOWS:

- SH -SINGLE HUNG
- DH -DOUBLE HUNG
- AWN -AWNING
- CAS -CASEMENT
- SL -SLIDING
- FIX -FIXED



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

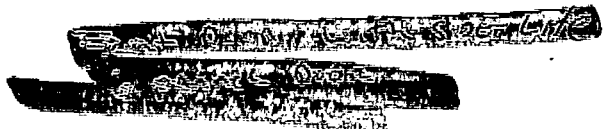
DATE: 3/17/05

BUILDING OFFICIAL
Gene Simmons

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Jeld-Wen, Inc.
317525 Highway 97 N.
Chiloquin, OR 97624



SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "Jeld-Wen®" 6'8" W/E Outswing Opaque Insulated Steel Door w/wo Sidelites-Impact Resistant

APPROVAL DOCUMENT: Drawing No. S-2104, titled "Outswing Opaque Wood Edge Steel Door Up to 107" x 6-8 Unit", sheets 1 through 7 of 7, prepared by R.W Building Consultants, Inc., dated 9/11/01 with revision 3 dated 10/22/02, bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 01-1218.05 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Jaime Eisen, P.E.



NOA No 02-1211.18
Expiration Date August 15, 2007
Approval Date January 30, 2003
Page 1

Jeld-Wen, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

(For File ONLY. Not part of NOA)

A. DRAWINGS

1. Manufacturer's die drawings and sections.
2. Drawing No. **S-2104**, titled "Outswing Opaque Wood Edge Steel Door Up to 107" x 6-8 Unit", sheets 1 through 7 of 7, prepared by R.W Building Consultants, Inc., dated 9/11/01 with revision 3 dated 10/22/02.

B. TESTS

1. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94
2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
3) Water Resistance Test, per FBC, TAS 202-94
4) Forced Entry Test, per SFBC 3603.2 (b) and TAS 202-94
along with marked-up drawings and installation diagram of a DoorCraft series opaque wood edge steel door, prepared by Certified Testing Laboratories, Test Report No. **CTLA-961W**, dated 10/23/01, signed and sealed by Ramesh C. Patel, P.E.

Submitted under NOA #01-1218.05

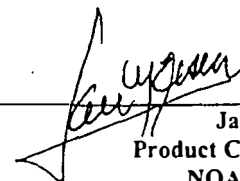
2. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94
2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
3) Water Resistance Test, per FBC, TAS 202-94
4) Large Missile Impact Test per FBC, TAS 201-94
5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
6) Forced Entry Test, per FBC 3603.2 (b) and TAS 202-94
along with marked-up drawings and installation diagram of DoorCraft series OXXO configuration outswing and inswing opaque wood edge steel door, prepared by Certified Testing Laboratories, Test Report No. **CTLA-696W**, dated 11/01/01, signed and sealed by Ramesh C. Patel, P.E.

C. CALCULATIONS

1. Anchor Calculations and structural analysis dated 12/2/02, prepared by R.W. Building Consultants, Inc., signed and sealed by Lyndon F. Schimdt, P.E.

Submitted under NOA #01-1218.05

2. Anchor Calculations and structural analysis, prepared by Wendell Haney, P.E., dated 12/15/01, signed and sealed by Wendell Haney, P.E.



Jaime Eisen, P.E.
Product Control Division
NOA No 02-1211.18

Expiration Date: August 15, 2007
Approval Date: January 30, 2003

Jeld-Wen, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

(For File ONLY. Not part of NOA)

D. MATERIAL CERTIFICATIONS

1. Notice of Acceptance No. **01-0718.08** issued to ODL, Inc. for "HP Propropylene Doorlight Assembly" dated 1/17/02, expiring on 1/17/06.
2. Tensile Test prepared by Certified Testing Laboratories, Test Report No. **CTLA-696WA/DADE01013**, dated May 03, 2001, tested per **ASTM E8/A370** or **B557**, signed and sealed by Ramesh C. Patel, P.E.
3. Test reports No. J9906660-001 for "Surface burning characteristics" per ASTM E-84 and "Self ignition test" per ASTM 1929 D, for polystyrene core dated April 8, 1999, issued by Intertek Testing Services.
4. Notice of Acceptance No. **02-0429.11**, issued to Trinity Glass International, Inc. for "Trinity Lite Frame" dated 7/3/02, expiring on 7/3/07.

E. STATEMENTS

1. Statement letter of conformance and no financial interest, dated 12/2/02, signed and sealed by Lyndon Schmidt, P.E.
2. Statement letter of no financial interest, dated 10/10/02, signed by Steve Frey.

F. OTHER

1. Notice of Acceptance No. **01-1218.05** issued to Jeld-Wen, Inc. for Series "DoorCraft®" 6'8" W/E Outswing Opaque Insulated Steel Door w/wo Sidelites" dated 10/15/02, expiring on 10/15/07.



Jaime Eisen, P.E.
Product Control Division
NOA No 02-1211.18

Expiration Date: August 15, 2007
Approval Date: January 30, 2003



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 375-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Premdor Entry Systems
One Premdor Drive
Dickson, TN 37055

[Handwritten mark]

[Redacted stamp]

Your application for Notice of Acceptance (NOA) of:
Fiberglass Door Outswing Opaque In a Wood Frame
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO: **01-1051102**
EXPIRES: **11/06/2006**

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 12/11/2001

Premdor Entry SystemsACCEPTANCE No.: 01-1031.02APPROVED: December 11, 2001EXPIRES: November 16, 2006NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS**1. SCOPE**

- 1.1 This renews Notice of Acceptance (NOA) No. 98-1007.02, which was issued on November 16, 2000. It renews the approval of a residential insulated fiberglass door, as described in Section 2 of this NOA, designed to comply with the South Florida Building Code (SFBC), 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

- 2.1 The Outswing Opaque Single Residential Insulated Fiberglass Door and its components shall be constructed in strict compliance with the following document: Drawing No 31-1033-O, Sheets 1 through 4 of 4, titled "titled "Premdor 3' 0" x 6' 8" (Fiberglass) Door w/Bumper Threshold in Wood Frame (Outswing)," prepared by manufacturer, dated 1/27/98 and revised on 10/18/00, bearing the Miami-Dade County Product Control renewal stamp with the NOA number and expiration date by the Miami-Dade County Product Control Division. This document shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

- 3.1 This approval applies to single unit applications of single, as shown in approved drawings.

4. INSTALLATION

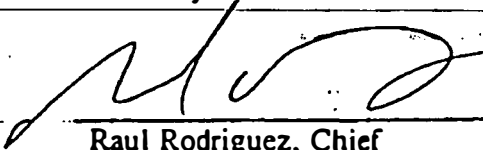
- 4.1 The residential insulated fiberglass door and its components shall be installed in strict compliance with the approved drawings.
- 4.2 Hurricane protection system (shutters): The installation of these units will require a hurricane protective system.

5. LABELING

- 5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".

6. BUILDING PERMIT REQUIREMENTS

- 6.1 Application for building permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance
- 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.
- 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

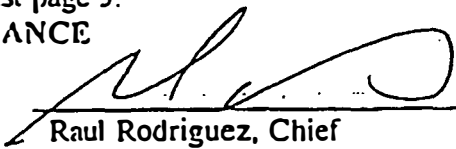


Raul Rodriguez, Chief
Product Control Division

Premdor Entry SystemsACCEPTANCE No.: 01-1031.02APPROVED: December 11, 2001EXPIRES: November 16, 2006NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process.
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

END OF THIS ACCEPTANCE


Raul Rodriguez, Chief
Product Control Division



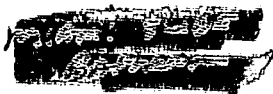
BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

24180

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Jeld-Wen, Inc.
31725 Highway 97 North
Chiloquin, OR 97624



SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance; if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series Jeld-Wen® Steel w/E Outswing Glazed Insulated Steel Door w/ & w/o Sidelites

APPROVAL DOCUMENT: Drawing No. S-2105, titled "Wood Edge Glazed Door w/ & w/out Sidelites up to 8'4 x 6'8 Outswing", sheets 1 through 8 of 8, dated 12/13/01 with revision #2 dated 10/22/02, prepared by R.W. Building Consultants Inc., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: None

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 01-1224.03 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Manuel Perez, P.E.



NOA No 02-1216.09
Expiration Date: August 15, 2007
Approval Date: January 30, 2005

WINDOW/DOOR SCHEDULE

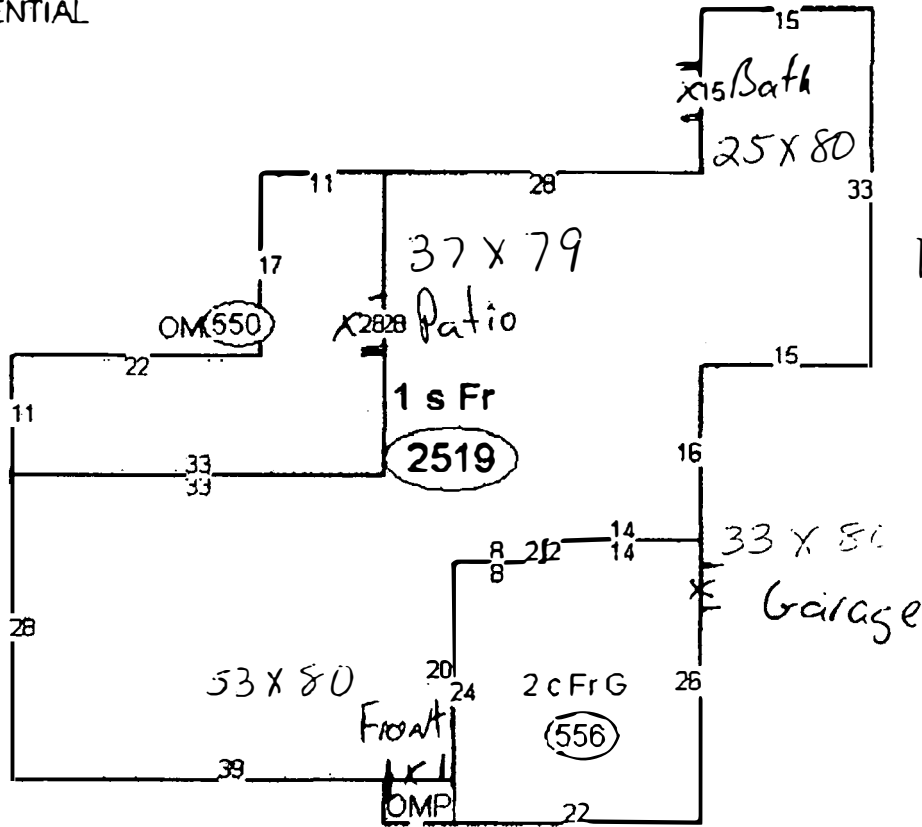
I.D. NO	APPOX OPENING SIZE (WXH)	DESIGNATION	TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37"X63"	25	SH		X	EXAMPLE
1	25 1/2 x 80 3/4					Ptehung door no glass
2	37 1/2 x 79					Ptehung door no glass
3	53 x 80 3/4				X	Door w/ Sidekte
4	33 1/2 x 80 3/4					Fixed glass no glass
5						
6						
7						
8						
9						
10						
11						
12						
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14						
15						
16						
17						
18						
19						
20						
21						
22						
23						
24						
25						
26						
27						
28						
29						
30						

TYPE WINDOWS:

- SH -SINGLE HUNG
- DH -DOUBLE HUNG
- AWN -AWNING
- CAS -CASEMENT
- SL -SLIDING
- FIX -FIXED

1 2

FR2
RESIDENTIAL



DOOR FOR
DOOR
NO size
Change

Store # 6314

Measure # 14438689

3/3/05

Brucia, Jim

2 Kingstow Ct.

Sewalls Point, FL

772-287-9722

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/15, 20015 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7407	BEVUCIA	Door Buck	PASS	CLOSE
4	2 KINGSTON CT J & G CARPENTRY			INSPECTOR: <i>[Signature]</i>
7222	MURPHY	FINAL DOOR	FAIL	
9	8 HERON'S NEST O/B			INSPECTOR: <i>[Signature]</i>
7430	MURPHY	FINAL DECK	FAIL	
9A	8 HERON'S NEST O/B			INSPECTOR: <i>[Signature]</i>
7267	TAYLOR	DRY LN	FAIL	
6	11 PALM ROAD CAMPAIGN ROOFING			\$40 FEE INSPECTOR: <i>[Signature]</i>
7279	DOMINICA	FINAL ROOF	PASS	CLOSE
	6 FIELDWAY DOM CARDINAL			INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
OTHER:	2 DAWSON-24 ISLAND COURTESY/NSP 973-452-8988 OF 22 ISLAND GRADE ON SO. SIDE TAPPEL'S HOME			

9066

REPLACE WINDOWS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9066	DATE ISSUED:	DECEMBER 8, 2008
SCOPE OF WORK:	REPLACE 5 WINDOWS		
CONDITIONS :			
CONTRACTOR:	JUPITER ALUMINUM		
PARCEL CONTROL NUMBER:	13384101000001102	SUBDIVISION	KINGSTON CT-LOT11
CONSTRUCTION ADDRESS:	2 KINGSTON CT		
OWNER NAME:	BRUCIA		
QUALIFIER:	MARK SCHER	CONTACT PHONE NUMBER:	747-4166

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN / TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
--	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9066		
ADDRESS	2 KINGSTON CT		
DATE:	12/8/08	SCOPE:	REPLACE 5 WINDOWS

SINGLE FAMILY OR ADDITION PERMIT

JUPITER ALUMINUM PRODUCTS INC.
 PHONE (561) 747-4166
 219 JUNO STREET
 JUPITER, FL 33458

3720
 63-215/631

DATE 12/8/08

PAY TO THE ORDER OF

Town of Sewall's Point \$ 155.00
 One hundred fifty-five and 00/100 DOLLARS



ACH RT 061000104

FOR

Brucia

Jose Lopez

⑈003720⑈ ⑆063102152⑆0398006512554⑈

DBPR Licensing Fee: (\$.005 per sq. ft. under roof)	\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)		
Martin County Impact Fee:	\$	
TOTAL BUILDING PERMIT FEE:	\$	

ACCESSORY PERMIT	Declared Value:	\$	5464
Total number of inspections @ \$75.00 each	2	\$	150
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	155

RECEIVED
DATE: 12-3-08
TOWN OF SEWALL'S POINT

Date: 12/3/08 Town of Sewall's Point
BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: Jim Brucia Phone (Day) 286-7833 (Fax) _____

Job Site Address: 2 Kingston Ct. City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Kingston Court Lot 11 Parcel Number: 13-38-41-010-000-00110-20000

Owner Address (if different): SAME City: _____ State: _____ Zip: _____

Scope of work: Install (4) Horizontal Rollers & (1) Casement Window all impact

WILL OWNER BE THE CONTRACTOR?

If yes, Owner Builder questionnaire must accompany application
YES _____ NO _____

Has a Zoning Variance ever been granted on this property?
Yes _____ (Year) _____ No _____
(Must include a copy of all variance approvals with application)

CONSTRUCTION VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 6,464.00
Notice of Commencement required when over \$2500 - prior to first inspection
Is subject property located in flood hazard area? V _____ A9 _____ A8 _____ X _____
FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY:
Estimated Fair Market Value prior to improvement: _____
(Fair Market Value of the Primary Structure only, Minus the land value)
*** PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION***

CONTRACTOR/Company: Jupiter Alum. Prod. Phone: 747-4166 Fax: 747-5036

Street: 219 Juno St. City: Jupiter State: FL Zip: 33458

State Registration Number: _____ State Certification Number: _____ Municipal License Number: SP02259

PROJECT SUPERINTENDANT: _____ CONTACT NUMBER: 747-4166

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER Lucas Turner Lic.# _____ Phone Number: 941-480-1400

Street: 1070 Technology Dr. City: Nokomis State: FL Zip: 34275

AREA SQ. FOOTAGE: Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Decks/Walkways: _____ Accessory Building: _____

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - 5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AUTHORIZED AGENT SIGNATURE (required)
[Signature]

CONTRACTOR SIGNATURE (required)
[Signature]

State of Florida, County of: Palm Beach

On State of Florida, County of: Palm Beach

This the 3 day of December, 2008

This the 3 day of December, 2008

by James Brucia who is personally

by Mark Scher who is personally

known to me or produced ID

known to me or produced _____

as identification. [Signature]
Notary Public

As identification. [Signature]
Notary Public

My Commission Expires: _____

My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION PER FBC 105.3.4 ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS PER FBC 105.3.2 - PLEASE PICK UP YOUR PERMIT PROMPTLY!

JEANNE-MARIE VITA
Comm# DD0759173
Expires 3/23/2012
Florida Notary Assn., Inc.

JEANNE-MARIE VITA
Comm# DD0759173
Expires 3/23/2012
Florida Notary Assn., Inc.



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmax.com T1.13

Summary

print [navigation icons] Address 3 of 7

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Summary

Property Location

Tax District 2200 Sewall's Point
Account #
Land Use 101 0100 Single Family
Neighborhood
Acres 0.384

Legal Description

Property Information

KINGSTON COURT LOT 11

Owner Information

Owner Information

Confidential Owner

Mail Information

PO BOX 62
HOBE SOUND FL 33475

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Assessment Info

Front Ft. 0.00

Market Land Value \$223,250
Market Impr Value \$202,990
Market Total Value \$426,240

Recent Sale

Sale Amount \$277,500

Sale Date 9/19/2000
Book/Page 1506 1933

Site Functions

Property Search

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 12/02/2008



PERMIT NUMBER:

NOTICE OF COMMENCEMENT

The undersigned hereby given notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes the following information is provided in the Notice of Commencement.

1. DESCRIPTION OF PROPERTY (Legal description and street address, if available) TAX FOLIO NUMBER: 13-38-41-010-000-00110. 20000

SUBDIVISION _____ BLOCK _____ TRACT _____ LOT _____ BLDG _____ UNIT _____
Kingston Court Lot 11

2. GENERAL DESCRIPTION OF IMPROVEMENT: Impact Windows

3. OWNER INFORMATION: a. Name JAMES BRUCIA
b. Address 2 Kingston Ct Stuart FL 34996 c. Interest in property Fee simple

d. Name and address of fee simple titleholder (if other than Owner) _____
4. CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER: Jupiter Aluminum Products, Inc. 219 Juno Street Jupiter, Florida 33458

5. SURETY'S NAME, ADDRESS AND PHONE NUMBER AND BOND AMOUNT: _____

6. LENDER'S NAME, ADDRESS AND PHONE NUMBER: _____

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:
NAME, ADDRESS AND PHONE NUMBER: _____

8. In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes:
NAME, ADDRESS AND PHONE NUMBER: _____

9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified): _____, 20__

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager
State of Florida
County of Palm Beach

JAMES JOHN BRUCIA
Print Name and Provide Signatory's Title/Office

The foregoing instrument was acknowledged before me this day of 24th November 08
By JAMES JOHN BRUCIA
(name of person)

for _____
(name of party on behalf of whom instrument was executed)

as _____
(type of authority, ... e.g. officer, trustee, attorney in fact)
MICHAEL J. FILIPPELLI
Comm# DD0400208 Expires 3/27/2009
Bonded thru (800)432-4254
Florida Notary Pub., Inc.

[Signature]
Notary signature

Under Penalties of perjury, I declare that I have read the foregoing and that the facts herein are true to the best of my knowledge and belief (Section 92.525, Florida Statutes).

THIS IS TO CERTIFY THAT THE FOREGOING PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK
DATE: 12-8-08
D.C.





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

WINDOW/DOOR REPLACEMENT CHECKLIST AND SCHEDULE

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

 1 Copy Completed Permit Application

 2 Copies Window/Door Schedule

 2 Copies Manufacturer's Florida Product Approval and Specifications

 2 Copies Floor Plan Sketch – Show location & ID number of each window/door.
Must match window/door schedule.

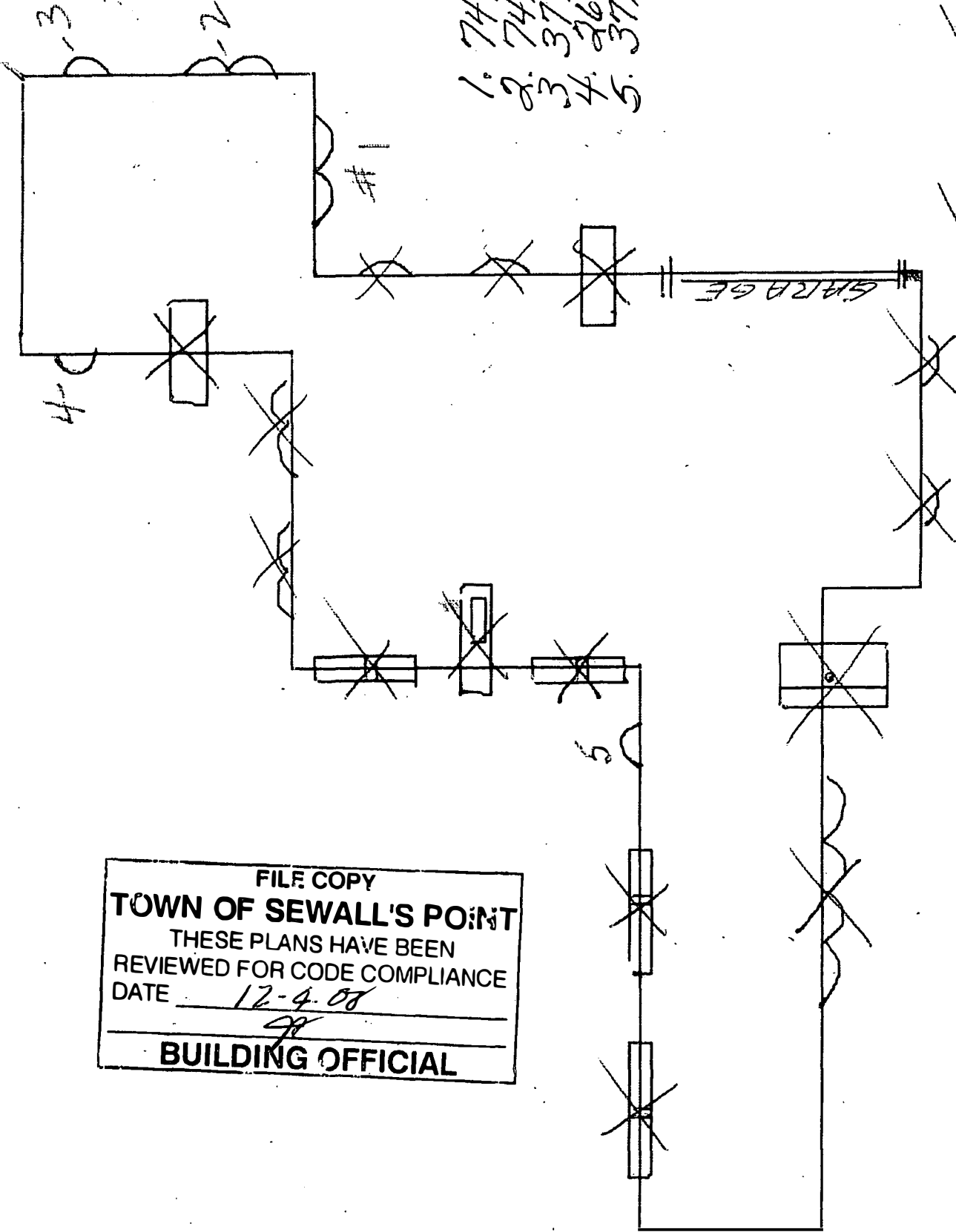
***PLEASE NOTE: At least one (1) exterior window or door must comply with the 2004 F.B.C. R310.4 as a single means of escape.**

ALL NEW WINDOWS AND/OR DOORS WITH GLAZING MUST HAVE IMPACT PROTECTION (SHUTTERS OR IMPACT GLASS). IF SHUTTERS ARE USED, A SEPARATE SHUTTER PERMIT MUST BE ISSUED PRIOR TO FINAL INSPECTION OF THE WINDOW/DOOR REPLACEMENT PERMIT.

PARTIAL WINDOW OR GLAZED DOOR REPLACEMENT THAT REPRESENTS LESS THAN 25% OF THE TOTAL GLAZED AREA OVER A 12 MONTH PERIOD IS EXEMPT FROM IMPACT PROTECTION REQUIREMENTS.

- IMPACT Windows
1. 74x50
 2. 74x50
 3. 37x50
 4. 26x26
 5. 37x46

JAMES J. BRUCIA
 2 KINGSTON CT.
 STUART 34996
 772 286 7833
 SEWALL'S POINT



FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 12-4-08

BUILDING OFFICIAL

FRONT —
 1STORY SINGLE FAMILY CBS.

WINDOW/DOOR SCHEDULE

ID NO	APPROX OPENING SIZE (AWNH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	74x50	1	H.R	✓		
2	74x50	2	H.R	✓		
3	37x50	3	H.R	✓		
4	26x26	4	H.R	✓		
5	37x46	5	CAS	✓		
6						
7						
8						
9						
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29						
30						

TOTAL GLAZED OPENING AREA FOR STRUCTURE: _____ S.F.

*PERCENTAGE OF NEW GLAZED AREA: _____ %

(TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2004 FBC EXISTING BUILDING 307.2

* TYPE WINDOWS

SH - SINGLE HUNG
DH - DOUBLE HUNG

AWN - AWNING
CAS - CASEMENT

SL - SLIDING
FIN - FINED



DESIGN PRESSURE CALCULATION

for Exposure C, Wind speed 140 mph and Mean roof height 15 ft

Contractor:
Jupiter Aluminum Products

Preparer:
Jeanne-Marie

Project Address:
2 Kingston Ct.
Stuart
Florida
34996

#	Width	Height	Location	+	-
1	74	50	End	40.29	-52.28
2	74	50	End	40.29	-52.28
3	37	50	End	42.16	-56.01
4	26	26	End	42.71	-57.11
5	37	46	End	42.36	-56.41



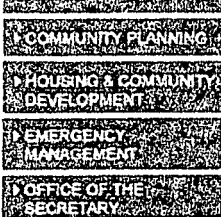
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Product Approval
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**



FL #	FL242-R7
Application Type	Revision
Code Version	2004
Application Status	Approved
Comments	
Archived	
Product Manufacturer	PGT Industries
Address/Phone/Email	1070 Technology Drive Nokomis, FL 34275 (941) 480-1600 Ext 21124 lturner@pgtindustries.com
Authorized Signature	Lucas Turner lturner@pgtindustries.com
Technical Representative	Lucas A. Turner
Address/Phone/Email	1070 Technology Drive Nokomis, FL 34275 (941) 480-1600 lturner@pgtindustries.com
Quality Assurance Representative	
Address/Phone/Email	
Category	Windows
Subcategory	Horizontal Slider
Compliance Method	Certification Mark or Listing
Certification Agency	Miami-Dade BCCO - CER
Validated By	
Referenced Standard and Year (of Standard)	Standard
	TAS 201, 202, 203
	TAS 202
	Year
	1994
	1994
Equivalence of Product Standards	
Certified By	

Product Approval Method Method 1 Option A

Date Submitted 01/09/2008
 Date Validated 02/14/2008
 Date Pending FBC Approval 02/14/2008
 Date Approved 03/18/2008

Summary of Products		
FL #	Model, Number or Name	Description
242.1	HR-201 (Heavy Duty Meeting Rail)	Aluminum Horizontal Roller Window
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: N/A Other: Please see Miami-Dade County Notice of Acceptance (NOA) #07-0214.16 for product performance information, anchorage details, and anchor type, size, and spacing information.		Certification Agency Certificate FL242_R7_C_CAC_201-HDMR-07-0214-16.pdf Quality Assurance Contract Expiration Date Installation Instructions FL242_R7_II_201-HDMR-07-0214-16.pdf Verified By: Miami-Dade BCCO - CER Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:
242.2	HR-201 (Standard Meeting Rail)	Aluminum Horizontal Roller Window
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: N/A Other: Please see Miami-Dade County Notice of Acceptance (NOA) #07-0214.17 for product performance information, anchorage details, and anchor type, size, and spacing information.		Certification Agency Certificate FL242_R7_C_CAC_201-07-0214-17.pdf Quality Assurance Contract Expiration Date Installation Instructions FL242_R7_II_201-07-0214-17.pdf Verified By: Miami-Dade BCCO - CER Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:
242.3	HR-610 (Non-Impact)	WinGuard Aluminum Horizontal Roller Window
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: N/A Other: Please see Miami-Dade County Notice of Acceptance (NOA) #07-0815.08 for product performance information, anchorage details, and anchor type, size, and spacing information. HVHZ must follow all provisions identified as "Miami-Dade" on the NOA drawings.		Certification Agency Certificate FL242_R7_C_CAC_610-07-0815-08.pdf Quality Assurance Contract Expiration Date Installation Instructions FL242_R7_II_610-07-0815-08.pdf Verified By: Miami-Dade BCCO - CER Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:
242.4	HR-710 (Impact)	WinGuard Aluminum Horizontal Roller Window
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Please see Miami-Dade County Notice of Acceptance (NOA) #07-0815.09 for product performance information, anchorage details, and anchor type, size, and spacing information. HVHZ must follow all provisions identified as "Miami-Dade" on the NOA drawings.		Certification Agency Certificate FL242_R7_C_CAC_710-07-0815-09.pdf Quality Assurance Contract Expiration Date Installation Instructions FL242_R7_II_710-07-0815-09.pdf Verified By: Miami-Dade BCCO - CER Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:
242.5	HR-810 (Large Missile Impact)	Multi-Story Aluminum Horizontal Roller Window

<p>Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Please see Miami-Dade County Notice of Acceptance (NOA) #07-0829.10 for product performance information, anchorage details, and anchor type, size, and spacing information. HVHZ must follow all provisions identified as "Miami-Dade" on the NOA drawings.</p>	<p>Certification Agency Certificate FL242_R7_C_CAC_810-LM-07-0829-10.PDF Quality Assurance Contract Expiration Date Installation Instructions FL242_R7_II_810-LM-07-0829-10.PDF Verified By: Miami-Dade BCCO - CER Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:</p>
<p>242.6 HR-810 (Non-Impact)</p> <p>Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: N/A Other: Please see Miami-Dade County Notice of Acceptance (NOA) #07-0829.09 for product performance information, anchorage details, and anchor type, size, and spacing information. HVHZ must follow all provisions identified as "Miami-Dade" on the NOA drawings.</p>	<p>Multi-Story Aluminum Horizontal Roller Window</p> <p>Certification Agency Certificate FL242_R7_C_CAC_810-NI-07-0829-09.PDF Quality Assurance Contract Expiration Date Installation Instructions FL242_R7_II_810-NI-07-0829-09.PDF Verified By: Miami-Dade BCCO - CER Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:</p>
<p>242.7 HR-810 (Small Missile Impact)</p> <p>Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Please see Miami-Dade County Notice of Acceptance (NOA) #07-0829.08 for product performance information, anchorage details, and anchor type, size, and spacing information. HVHZ must follow all provisions identified as "Miami-Dade" on the NOA drawings.</p>	<p>Multi-Story Aluminum Horizontal Roller Window</p> <p>Certification Agency Certificate FL242_R7_C_CAC_810-SM-07-0829-08.PDF Quality Assurance Contract Expiration Date Installation Instructions FL242_R7_II_810-SM-07-0829-08.PDF Verified By: Miami-Dade BCCO - CER Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:</p>

DCA Administration

Department of Community Affairs
Florida Building Code Online
Codes and Standards
2555 Shumard Oak Boulevard
Tallahassee, Florida 32399-2100
(850) 487-1824, Fax (850) 414-8436

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Product Approval Accepts:





BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 372-6339

NOTICE OF ACCEPTANCE (NOA)

www.miamidade.gov/buildingcode

PGT Industries, Inc.
1070 Technology Drive
Nokomis, FL 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "HR-710" Aluminum Horizontal Roller Window - L.M.I.

APPROVAL DOCUMENT: Drawing No.4127-10, titled "Alum. Horizontal Roller Window, Impact", sheets 1 through 11 of 11, dated 02/28/2006 with the latest revision "C" dated 04/15/2007, prepared by PGT Industries, Inc., dated 08/10/2007, signed and sealed by Robert L. Clark, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large Missile and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

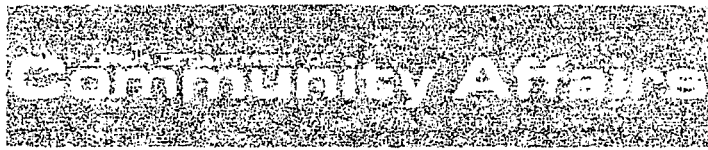
INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA No. 06-0405.06 and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Manuel Perez, P.E.



NOA No 07-0815.09
Expiration Date: December 21, 2011
Approval Date: January 03, 2008
Page 1



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Product Approval
USER: Public User

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[Application List](#) >
[Application Detail](#)

FL #	FL2766-R5
Application Type	Revision
Code Version	2004
Application Status	Approved
Comments	
Archived	
Product Manufacturer	PGT Industries
Address/Phone/Email	1070 Technology Drive Nokomis, FL 34275 (941) 480-1600 Ext 21124 lturner@pgtindustries.com
Authorized Signature	Lucas Turner lturner@pgtindustries.com
Technical Representative	Lucas A. Turner
Address/Phone/Email	1070 Technology Drive Nokomis, FL 34275 (941) 480-1600 lturner@pgtindustries.com
Quality Assurance Representative	
Address/Phone/Email	
Category	Windows
Subcategory	Projected
Compliance Method	Certification Mark or Listing
Certification Agency	Miami-Dade BCCO - CER
Validated By	

Referenced Standard and Year (of Standard)	<u>Standard</u>	<u>Year</u>
	TAS 201, 202, 203	1994
	TAS 202	1994

Equivalence of Product Standards
Certified By



MIAMI-DADE COUNTY
BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908
www.buildingcodeonline.com

NOTICE OF ACCEPTANCE (NOA)

PGT Industries
1070 Technology Drive
Nokomis, FL 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series CA-740 Aluminum Projected Window-LMI

APPROVAL DOCUMENT: Drawing No. 7052-7, titled "Alum. Projected Window, Impact", sheets 1 through 11 of 11, prepared by manufacturer, dated 2/24/03, with revision "B" on dated 10/19/05, signed and sealed by Lucas A. Turner, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

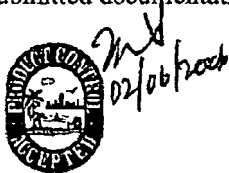
TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 03-0514.10 consists of this page 1 and evidence E-1 and E-2 as well as approval document mentioned above.

The submitted documentation was reviewed by **Herminio F. Gonzalez, P.E., Director, BCCO**



NOA No 05-1129.10
Expiration Date: November 06, 2008
Approval Date: February 23, 2006
Page 1

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **6-5** 2009 Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
91066	Bruce	Bruce	PASS	CLOSE
1	2 Kingdon Ct Jupiter Alum	Final		INSPECTOR <i>AW</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	Kelso	Tree	PASS	
2	18 Rio Vista Dr			INSPECTOR <i>AW</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9164	Beelitz	Final	PASS	CLOSE
3	10 S Via Surinder OB	fence		INSPECTOR <i>AW</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
6860	Rappaport	Final	PASS	CLOSE
	9 Rivercrest Ct Circle 2			INSPECTOR <i>AW</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
7147	Dawson	Final	PASS	CLOSE
	14 Palm Ct Parks Co			INSPECTOR <i>AW</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9155	Merkin	Final	PASS	CLOSE
	95 N Sewalls OB	concrete		INSPECTOR <i>AW</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8636	VILLAR	FINAL	PASS	CLOSE
	92 N. S P.R. O.B.			INSPECTOR <i>AW</i>

10585

SCREEN ENCLOSURE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10585	DATE ISSUED:	SEPTEMBER 16, 2013
SCOPE OF WORK:	SCREEN ROOM		
CONTRACTOR:	JENSEN BEACH ALUMINUM		
PARCEL CONTROL NUMBER:	133841010-000-001102	SUBDIVISION	
CONSTRUCTION ADDRESS:	2 KINGSTON CT		
OWNER NAME:	BRUCIA		
QUALIFIER:	MICHAEL GOODWIN	CONTACT PHONE NUMBER:	692-0090

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PERMIT #: _____ TAX FOLIO #: 13-38-41-010-000-00110-20000

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): LOT 11 KINGSTON COURT, TOWN OF SEWALL'S POINT

GENERAL DESCRIPTION OF IMPROVEMENT: SCREEN ROOM

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT
NAME: BRUCIA JAMES
ADDRESS: 2 KINGSTON CT, SEWALL'S POINT, FL 34994
PHONE NUMBER: 600-7265 FAX NUMBER:
INTEREST IN PROPERTY: OWNER

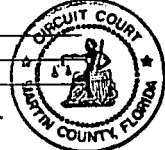
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: JENSEN BEACH ALUMINUM
ADDRESS: 1720 NW FEDERAL HWY, STUART, FL 34994
PHONE NUMBER: 692-0090 FAX NUMBER: 692-9744

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)
ADDRESS:
PHONE NUMBER: FAX NUMBER:
BOND AMOUNT:

LENDER/MORTGAGE COMPANY:
ADDRESS:
PHONE NUMBER:
STATE OF FLORIDA MARTIN COUNTY

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON AND BY NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), DOCUMENTS FILED IN THIS OFFICE.



CAROLYN TIMMANN, CLERK
NAME:
ADDRESS: BY: D.C.
PHONE NUMBER: FAX NUMBER: 09/17/13

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECORD A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: FAX NUMBER: EXPIRATION DATE OF NOTICE OF COMMENCEMENT:

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

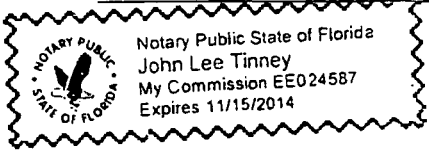
WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENT TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES)

SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT
SIGNATORY'S TITLE/OFFICE: Homeowner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 17th DAY OF Sept., 2013
BY: James Brucia AS Homeowner FOR himself
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION TYPE OF IDENTIFICATION PRODUCED
NOTARY SIGNATURE/ SEAL



INSTR 2416790 OR BK 2676 PG 1925 RECD 09/17/2013 08:31:42 AM
CAROLYN TIMMANN MARTIN COUNTY CLERK
DEED \$00.00, MTG \$0.00, INTANGIBLE \$0.00

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: 10585

Date: _____
 OWNER/LESSEE NAME: JAMES BELVA Phone (Day) 602-7265 (Fax) _____
 Job Site Address: #2 KINGSTON CT City: SEWALLS State: FL Zip: 34996
 Legal Description: Confidential Parcel Control Number: 13-38-41-010-00-00110-2
 Fee Simple Holder Name: _____ Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

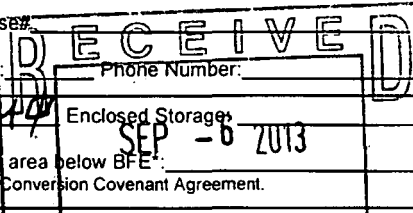
***SCOPE OF WORK (PLEASE BE SPECIFIC):** SCREEN ROOM (w) EXISTING BERT ROOF

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO _____
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 2600.00
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: JENSEN BEACH ALUMINUM Phone: 692-0090 Fax: 692-9744
 Qualifiers name: MICHAEL GOODWIN Street: 1720 NW FEDERAL Hwy City: STUART State: FL Zip: 34994
 State License Number: CGC 1508437 OR: Municipality: _____ License Number: _____
 LOCAL CONTACT: MICHAEL Phone Number: 418-0560

DESIGN PROFESSIONAL: _____ Fla. License # _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____



AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: 2674 Enclosed Storage: _____
 Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010
 Sewall's Point Town Hall

WARNINGS TO OWNERS AND CONTRACTORS:
 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
 2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

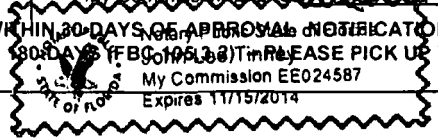
*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
 X _____
 State of Florida, County of: _____
 On This the 5th day of September, 2013
 by _____ who is personally
 known to me or produced _____
 As identification: _____
 Notary Public
 My Commission Expires: _____

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
 X _____
 State of Florida, County of: MARTIN
 On This the 4th day of September 2013
 by Michael Goodwin who is personally
 known to me or produced _____
 As identification: _____
 Notary Public
 My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.8.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 30 DAYS (FBC 105.8.4) IN RELEASE PICK UP YOUR PERMIT PROMPTLY!
 My Commission EE024587 Expires 11/15/2014



DATE: 8-19-13

SALES AND INSTALLATION CONTRACT

SOLD TO: Mr. & Mrs. Borcia BRUCIA PHONE: 600-7265
 ADDRESS: # 2 Kingston Ct.
 CITY: Jewells Pt. ZIP: 34996 Building Age: _____
 ALTERNATE ADDRESS: _____
 CITY: _____ ZIP: _____ PHONE: _____
 Building: Wood Frame Concrete Block Floor: Ground Second Floor Above

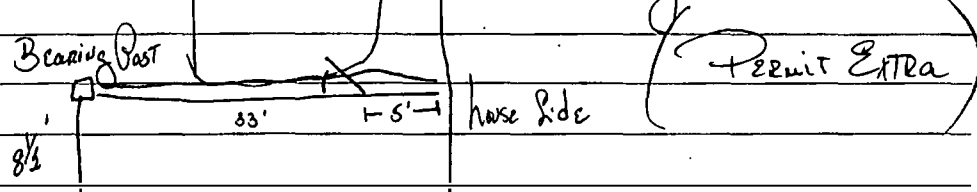
- Screen in Jewells (Under Existing Roof) on Rear of Home & Pool Area

- End Wall: 8 1/2' Wide x 8 1/2' Tall
 - Front Wall - (Facing Pool) 33' Wide x 8 1/2' Tall

- all white Aluminum Extrusion
 - all Channel Screen (18-14)
 - 1- 36" x 80" Screen door, hinged here, Outswinging w/ 24" Kickplate
 - 24" Kickplate in both walls

- Door will be located - 5' from house wall opening - hinged here (from outside looking in) toward Rear Yard

- Screen Wall will be close to baby barrier



PLEASE READ IMPORTANT NEW EPA REGULATION ON THE BACK.

With this signature PURCHASER accepts this proposal, confirms reception of an executed copy of this contract and accepts the terms and conditions on the reverse side.

CONTRACT TOTAL \$ 2600⁰⁰
 DEPOSIT CASH 08/20/13 + PERMIT
CK.# DISC < 850.00 >

Balance Due \$ _____
 At substantial completion
 Agent for the Company
 Company Approval _____

Signature: _____
 Date: 8/20/13

BRUCIA

OBMBB
#2 KINGSTON CT
SEWALLS, FL
34996

Key: 3/16 - 1 Foot

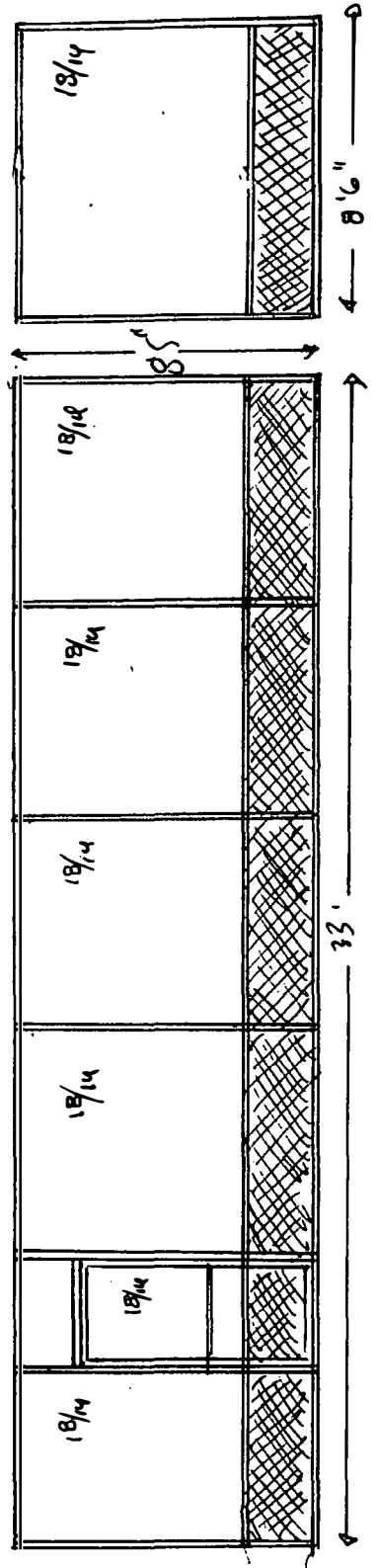
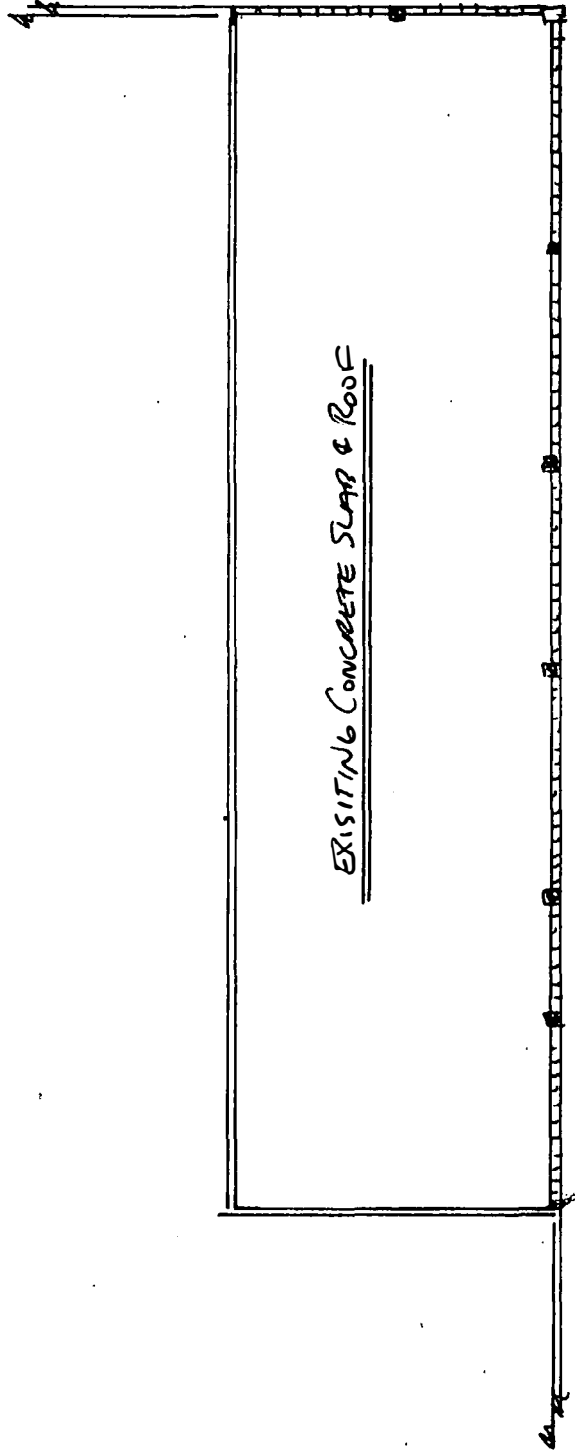
▨ - 24" Kickplate

▨ - NEW SEED WALL

▨ - NEW 2x4x.050 POST

SCREEN ROOM ISO MPIT EXP B / EXISTING CONCRETE SLAB & ROOF / NO LOAD / IN FILL

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



GENERAL NOTES: CHAPTER 2 - SCREEN ROOMS

- 1) Design Pressures from ASCE7 with Internal Pressure Coefficients (GCpi) determined using Table 200, Importance Factor for Category I structures (0.87 for 100 mph zone, 0.77 for all other zones).
- 2) Extrusion Alloy assumed to be 6005T5 or 6061T6 unless noted otherwise
- 3) Concrete anchor terminology: Expansion Anchor / Sleeve Anchor / Wedge Anchors are terms for various types of compression anchors. These different terms are used synonymously in this publication.
- 4) "Approved Masonry Fastener" for connection to foundation must meet the following specifications for 2½" embedment into 2,500 psi (minimum) concrete:
 - a) 3/8" Ø: allowable tension 1,055 #, Shear 1,716 #
 - b) 1/4" Ø: allowable tension 567 #, shear 394 #
- 5) For screen rooms constructed upon an approved lumber deck, 3/8" Ø Lag Screws embedded by 3" into SYP lumber frame can be substituted for the approved masonry fasteners specified in details C1 and C2.
- 6) Tables which have numeric entries versus scalar variables (e.g. spans vs. load widths, or spans vs. wall heights) may be interpolated.
- 7) Maximum Mean Roof Height is 30ft.

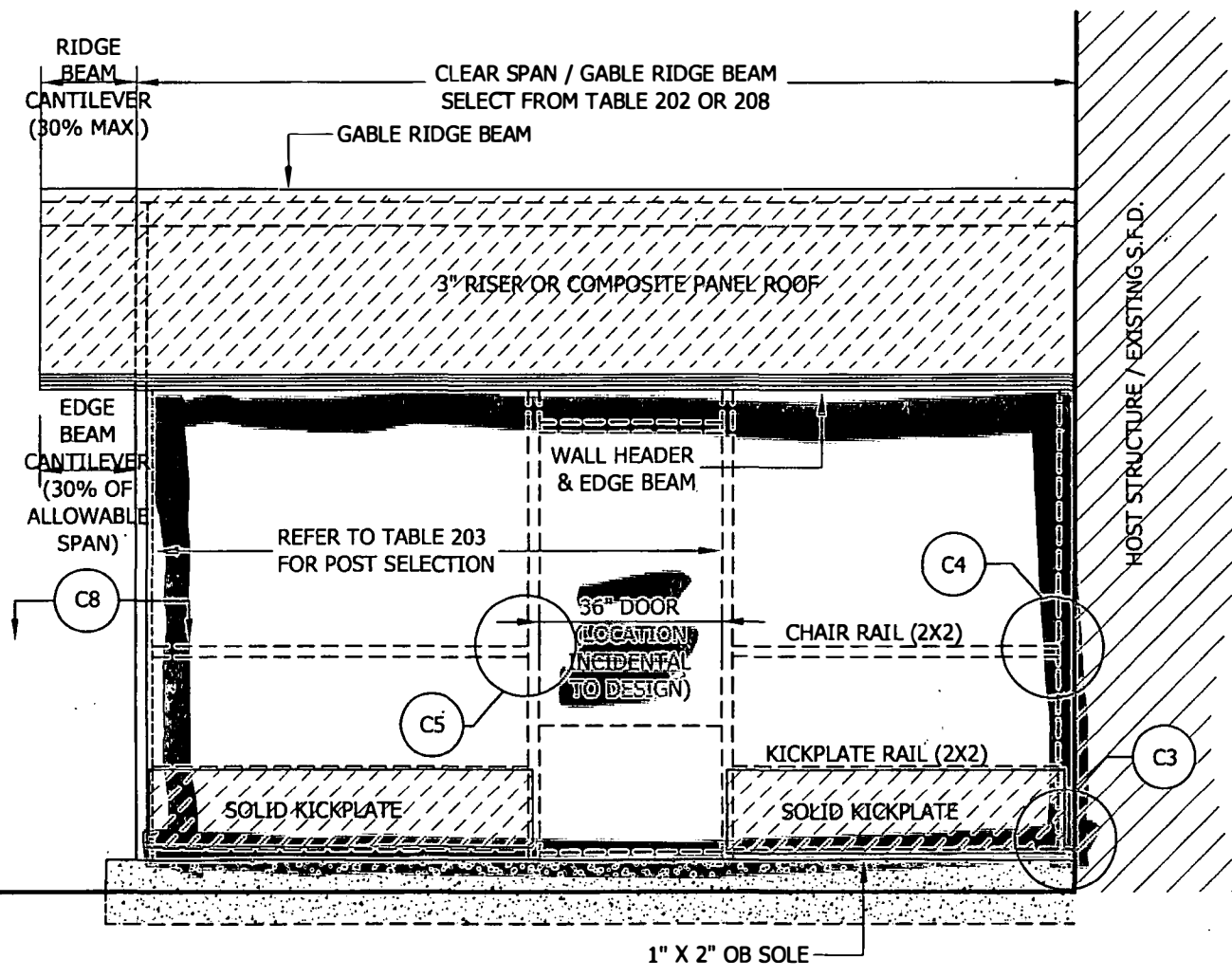
Allowable Roof Panel Spans (Table 201) are for industry standard generic panel products, approved equivalent products may be substituted based upon product approval, in accordance with design pressures specified in Table 201.

Screen Rooms built adjacent to Mobile Homes (the so-called "4th wall" structure):

- a) select beams, columns and foundations from Chapter 5 using type I or type II as appropriate
- b) provide lateral stability using cables from chapter 2 or K-Braces from Chapter 1, or connection to an appropriate shear resistant structure

Maximum roof slope 7° or 1½" in 12"

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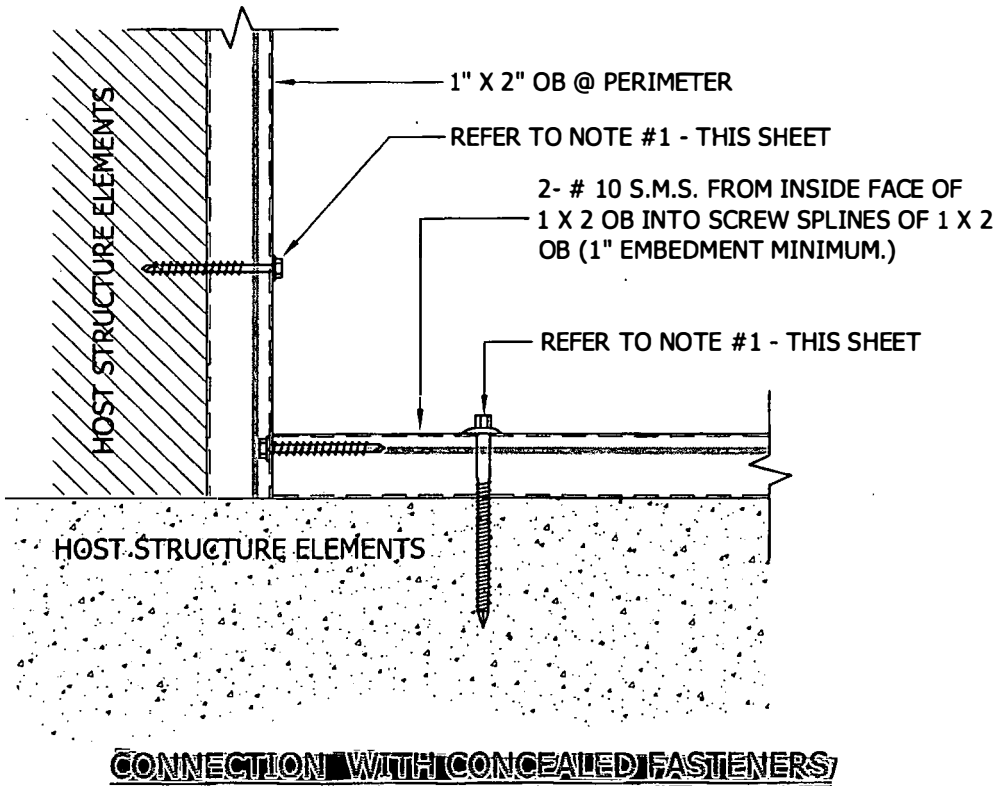
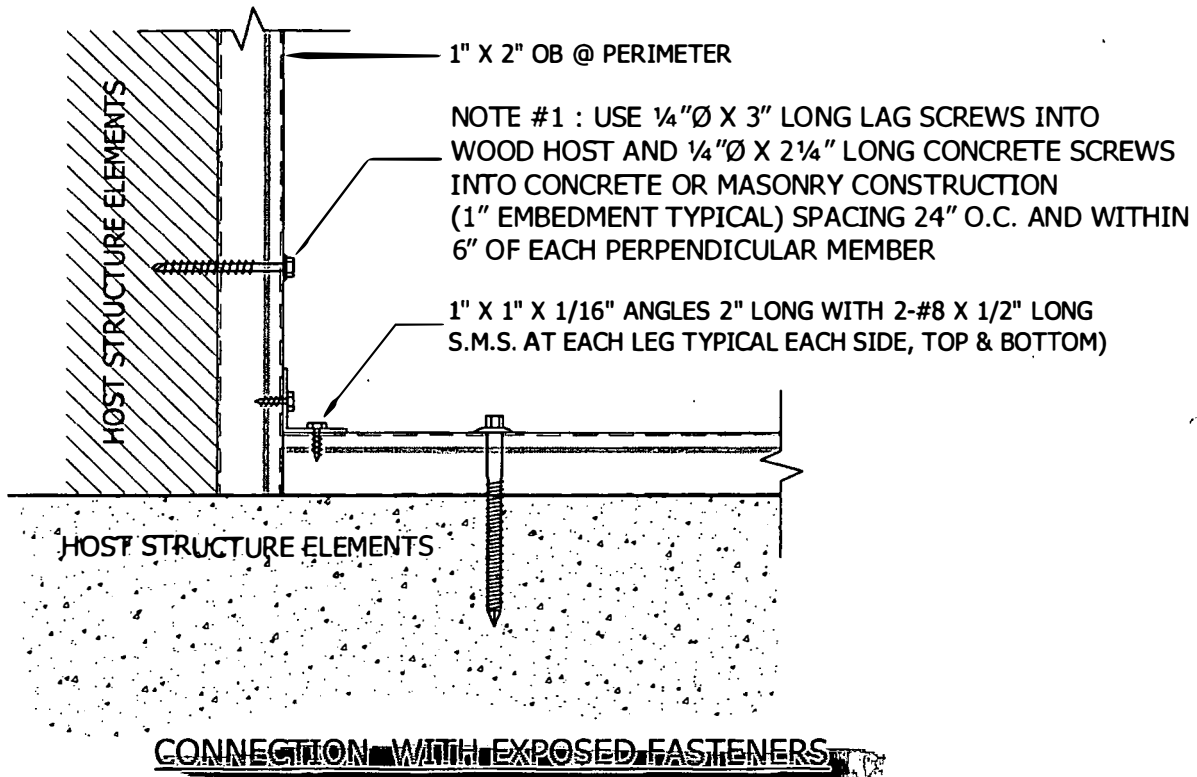


TYPICAL SIDE VIEW / SECTION FOR GABLE [TYPE] SCREEN ROOM

FOR ALLOWABLE SPANS, REFER TO:
 TABLE 201 FOR ROOF PANEL SPANS
 TABLE 202 FOR EDGE BEAMS
 TABLE 203 FOR POST SPANS
 TABLE 204 FOR GIRT SPANS

- NOTES:**
- 1) KICKPLATE AND CHAIR RAIL OPTIONAL, BUT MAXIMUM VERTICAL DISTANCE BETWEEN HORIZONTALS 84"
 - 2) MINIMUM ROOF SLOPE (FALL) 1/2" PER FOOT FOR 3" RISER PANELS AND 1/4" PER FOOT FOR COMPOSITE PANELS
 - 3) ALLOWABLE AVERAGE INTERIOR HEIGHT OF ROOM 84"
 - 4) FOUNDATION PER "F" DETAILS, TABLES 205 / 206

Chapter 2 - Screen Rooms

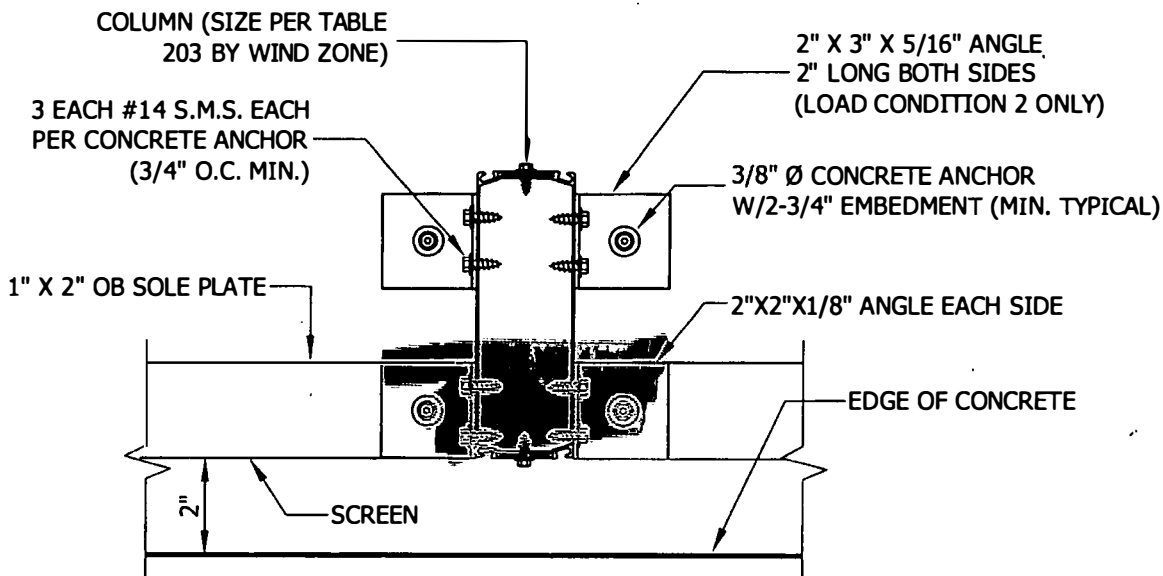


PARTIAL ELEVATIONS / 1" X 2" TO 1" X 2" CONNECTIONS

C3
2

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Chapter 2 - Screen Rooms

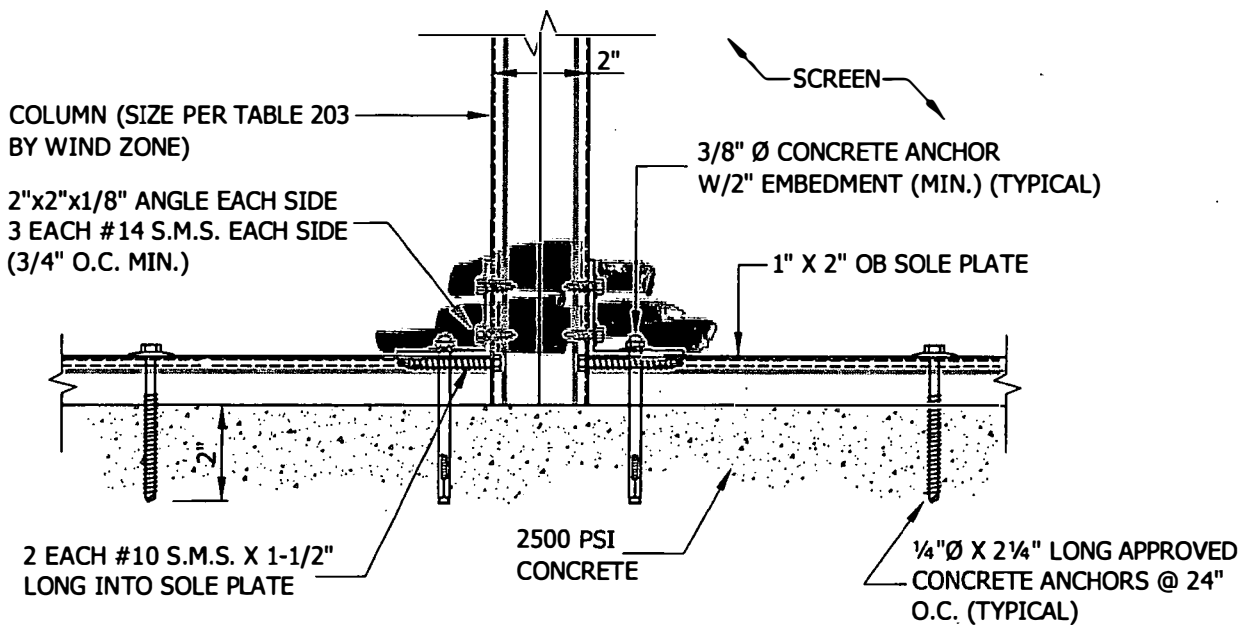


TOP VIEW

COLUMN TO CONCRETE FASTENING

NOTES:

- 1) COLUMN SHOWN IN 2" X 6" WITH 4 CONCRETE ANCHORS
- 2) ANGLES PLACED UPON 1X2 OB MAY BE 1/8"
- 3) ANGLE PLACED UPON FOUNDATION REQUIRES 5/16"
- 4) REFER TO DETAILS C1 & C2 FOR CONCRETE ANCHOR SPECIFICATIONS.
- 5) THIS VIEW TYPICAL OF BEAM SUPPORT POSTS, ANGLES AND FASTENERS AT BACK OF POST VARY BY LOAD CONDITIONS AS SHOWN ON TABLE 212.



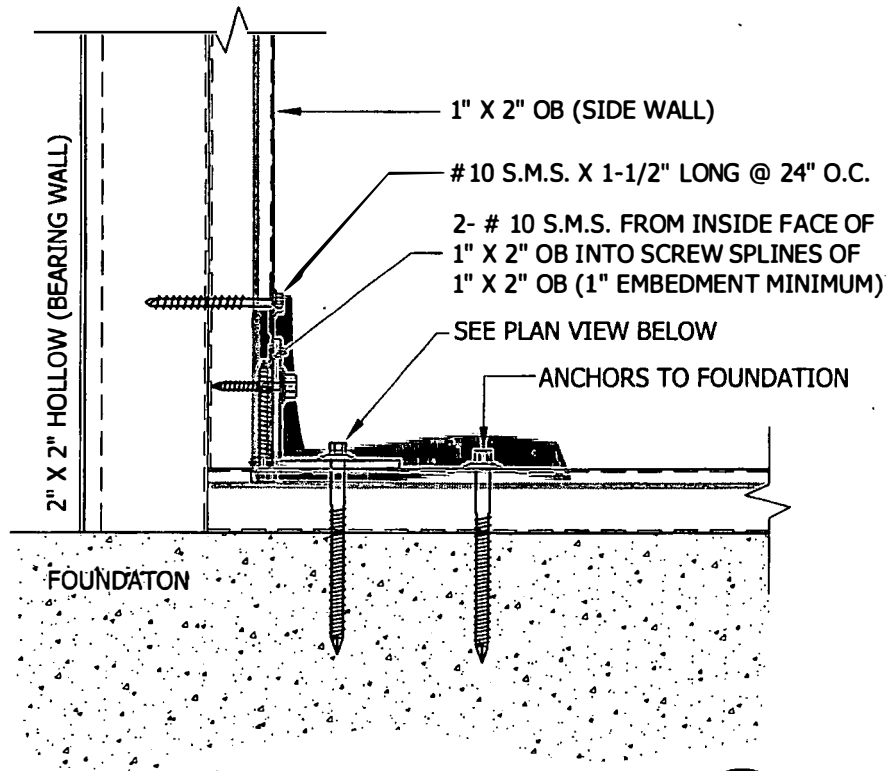
SCREEN FACE ELEVATION

COLUMN TO CONCRETE FASTENING

C7
2

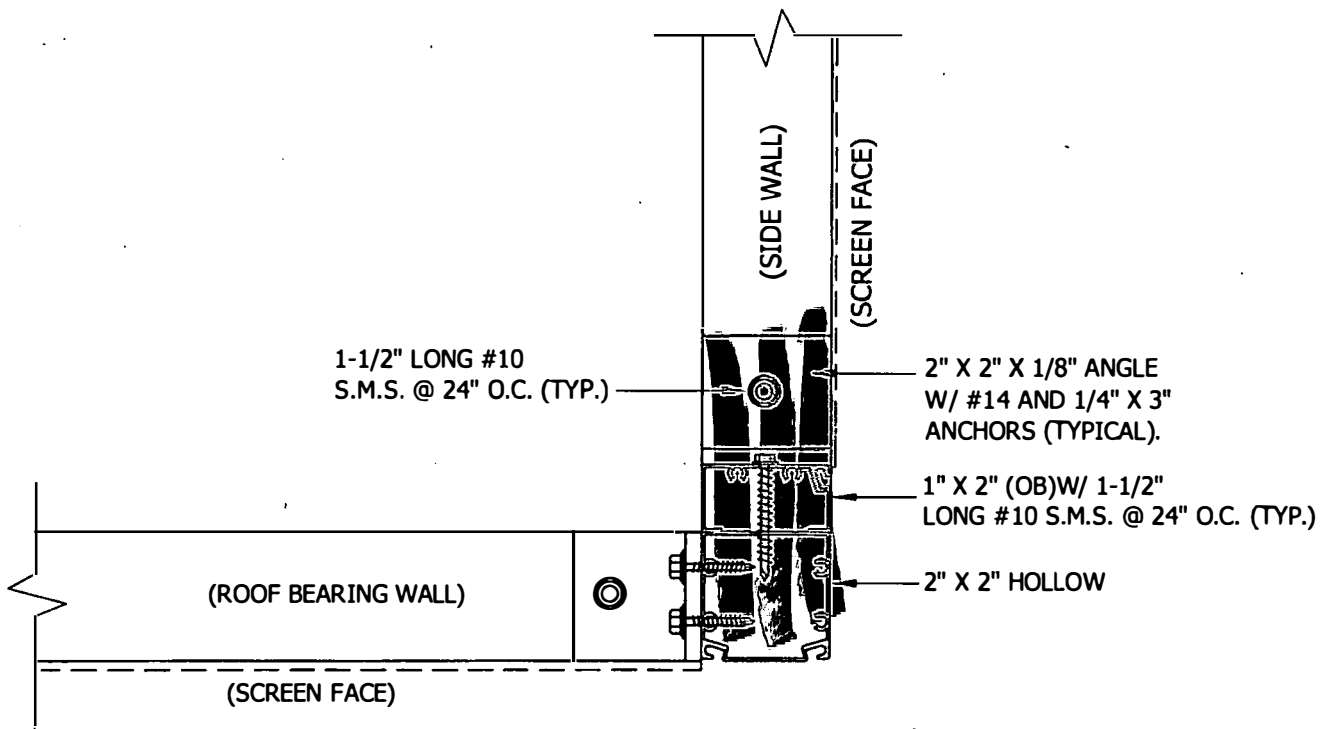
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Chapter 2 - Screen Rooms



EXTERIOR CORNER DETAIL
(PARTIAL ELEVATION)

C8
2



EXTERIOR CORNER DETAIL
(PLAN VIEW)

C8
2

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Chapter 2 - Screen Rooms - Exposure B

ALLOWABLE SPAN 8'5"
ALLOWABLE SPAN 8'6"

ALLOWABLE SPANS for Primary Members in Screen Walls (Posts/Columns) Table 203e									
Alloy: 6005T5/6061T6		Wind Zone = 150 MPH		Design Pressure: 16.5 PSF		Exposure B			
FOR Screen Mesh: 18/14		Mean Roof Height Less Than or Equal to 30 ft							
Post / Column	Load Widths or Spacing								
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2" X 2" X 0.046" X 0.046" Hollow	5'-6"(1)	5'-3"(1)	4'-11"(1)	4'-9"(1)	4'-6"(1)	4'-4"(1)	4'-2"(1)	4'-1"(1)	3'-11"(1)
2" X 3" X 0.05" X 0.05" Hollow	8'-1"(1)	7'-8"(1)	7'-3"(1)	6'-11"(1)	6'-7"(1)	6'-4"(1)	6'-1"(1)	5'-11"(1)	5'-9"(1)
2" X 3" X 0.05" X 0.05" Snap	8'-8"(1)	8'-2"(1)	7'-9"(1)	7'-5"(1)	7'-1"(1)	6'-10"(1)	6'-7"(1)	6'-4"(1)	6'-2"(1)
2" X 4" X 0.050" X 0.050" Hollow	9'-5"(1)	8'-10"(1)	8'-5"(1)	8'-0"(1)	7'-8"(1)	7'-4"(1)	7'-1"(1)	6'-10"(1)	6'-8"(1)
2" X 4" X 0.05" X 0.05" Snap	10'-5"(1)	9'-10"(1)	9'-4"(1)	8'-10"(1)	8'-5"(1)	8'-2"(1)	7'-10"(1)	7'-7"(1)	7'-4"(1)
2" X 5" X 0.050" X 0.050" Hollow	9'-8"(1)	9'-2"(1)	8'-8"(1)	8'-3"(1)	7'-11"(1)	7'-7"(1)	7'-4"(1)	7'-1"(1)	6'-10"(1)
2"X4"X0.046"X0.10" SMB	7'-8"(1)	7'-3"(1)	6'-11"(1)	6'-7"(1)	6'-3"(1)	6'-0"(1)	5'-10"(1)	5'-7"(1)	5'-5"(1)
2"X5"X0.05"X0.116" SMB	10'-0"(1)	9'-5"(1)	8'-11"(1)	8'-6"(1)	8'-2"(1)	7'-10"(1)	7'-7"(1)	7'-4"(1)	7'-1"(1)
2"X6"X0.05"X0.12" SMB	11'-5"(1)	10'-9"(1)	10'-2"(1)	9'-9"(1)	9'-4"(1)	8'-11"(1)	8'-7"(1)	8'-4"(1)	8'-1"(1)
2"X7"X0.055"X0.12" SMB	12'-11"(1)	12'-3"(1)	11'-7"(1)	11'-1"(1)	10'-7"(1)	10'-2"(1)	9'-10"(1)	9'-6"(1)	9'-2"(2)
2"X8X.072"X0.224" SMB	24'-2"(2)	22'-9"(2)	21'-7"(2)	20'-7"(2)	19'-9"(2)	18'-11"(2)	18'-3"(2)	17'-8"(2)	17'-1"(2)
2"X9"X.082"X.306" SMB	30'-10"(2)	29'-1"(2)	27'-7"(2)	26'-3"(2)	25'-2"(2)	24'-2"(2)	23'-4"(2)	22'-6"(2)	21'-9"(2)
2"X10"X.092"X.389" SMB	37'-2"(2)	35'-1"(2)	33'-3"(2)	31'-8"(2)	30'-4"(2)	29'-2"(2)	28'-1"(2)	27'-2"(2)	26'-3"(2)
3" X 3" X 0.090" Hollow	10'-5"(1)	9'-10"(1)	9'-4"(1)	8'-11"(1)	8'-6"(1)	8'-2"(1)	7'-11"(1)	7'-7"(1)	7'-4"(1)
3" X 3" X 0.125" Hollow	13'-10"(1)	13'-3"(1)	12'-6"(1)	11'-11"(1)	11'-5"(1)	10'-11"(1)	10'-7"(2)	10'-3"(2)	9'-11"(2)

ALLOWABLE SPANS for Primary Members in Screen Walls (Posts/Columns) Table 203f									
Alloy: 6005T5/6061T6		Wind Zone = 160 MPH		Design Pressure: 18.8 PSF		Exposure B			
FOR Screen Mesh: 18/14		Mean Roof Height Less Than or Equal to 30 ft							
Post / Column	Load Widths or Spacing								
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2" X 2" X 0.046" X 0.046" Hollow	5'-2"(1)	4'-11"(1)	4'-8"(1)	4'-5"(1)	4'-3"(1)	4'-1"(1)	3'-11"(1)	3'-10"(1)	3'-8"(1)
2" X 3" X 0.05" X 0.05" Hollow	7'-7"(1)	7'-2"(1)	6'-10"(1)	6'-6"(1)	6'-2"(1)	5'-11"(1)	5'-9"(1)	5'-7"(1)	5'-4"(1)
2" X 3" X 0.05" X 0.05" Snap	8'-2"(1)	7'-8"(1)	7'-4"(1)	6'-11"(1)	6'-8"(1)	6'-5"(1)	6'-2"(1)	5'-11"(1)	5'-9"(1)
2" X 4" X 0.050" X 0.050" Hollow	8'-10"(1)	8'-4"(1)	7'-10"(1)	7'-6"(1)	7'-2"(1)	6'-11"(1)	6'-8"(1)	6'-5"(1)	6'-3"(1)
2" X 4" X 0.05" X 0.05" Snap	9'-9"(1)	9'-2"(1)	8'-9"(1)	8'-4"(1)	7'-11"(1)	7'-8"(1)	7'-4"(1)	7'-1"(1)	6'-11"(1)
2" X 5" X 0.050" X 0.050" Hollow	9'-1"(1)	8'-7"(1)	8'-2"(1)	7'-9"(1)	7'-5"(1)	7'-2"(1)	6'-11"(1)	6'-8"(1)	6'-5"(1)
2"X4"X0.046"X0.10" SMB	7'-0"(1)	6'-7"(1)	6'-3"(1)	5'-11"(1)	5'-9"(1)	5'-6"(1)	5'-4"(1)	5'-1"(1)	4'-11"(1)
2"X5"X0.05"X0.116" SMB	9'-2"(1)	8'-8"(1)	8'-3"(1)	7'-10"(1)	7'-6"(1)	7'-3"(1)	6'-11"(1)	6'-9"(1)	6'-6"(1)
2"X6"X0.05"X0.12" SMB	10'-5"(1)	9'-10"(1)	9'-4"(1)	8'-11"(1)	8'-6"(1)	8'-2"(1)	7'-11"(1)	7'-8"(1)	7'-5"(1)
2"X7"X0.055"X0.12" SMB	11'-11"(1)	11'-3"(1)	10'-8"(1)	10'-2"(1)	9'-9"(1)	9'-4"(1)	9'-0"(1)	8'-8"(2)	8'-5"(2)
2"X8X.072"X0.224" SMB	22'-6"(2)	21'-2"(2)	20'-1"(2)	19'-2"(2)	18'-4"(2)	17'-7"(2)	16'-11"(2)	16'-5"(2)	15'-11"(2)
2"X9"X.082"X.306" SMB	28'-9"(2)	27'-1"(2)	25'-8"(2)	24'-6"(2)	23'-5"(2)	22'-6"(2)	21'-9"(2)	20'-11"(2)	20'-4"(2)
2"X10"X.092"X.389" SMB	34'-8"(2)	32'-8"(2)	31'-0"(2)	29'-7"(2)	28'-4"(2)	27'-3"(2)	26'-3"(2)	25'-4"(2)	24'-6"(2)
3" X 3" X 0.090" Hollow	9'-9"(1)	9'-3"(1)	8'-9"(1)	8'-4"(1)	7'-11"(1)	7'-8"(1)	7'-5"(1)	7'-2"(1)	6'-11"(1)
3" X 3" X 0.125" Hollow	13'-2"(1)	12'-5"(1)	11'-9"(1)	11'-2"(1)	10'-9"(2)	10'-4"(2)	9'-11"(2)	9'-7"(2)	9'-3"(2)

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Chapter 2 - Screen Rooms - Exposure B

**ALLOWABLE SPANS for SECONDARY SCREEN WALL MEMBERS
(GIRTS OR CHAIR RAILS)**

Table 204

FOR 110 mph Wind Zones Exp B

Table 204a

18/14 Screen Unit Load = 8.8 psf

Extrusion	Load Width / Spacing						
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	7'-10"	7'-5"	7'-0"	6'-8"	6'-5"	6'-2"	5'-11"
2X3X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"
2X4X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"
2X3X.072 Holow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"

Maximum Spacing (Vertical) 7 ft o.c.: maximum allowable span 7' 10"

FOR 120 mph Wind Zones Exp B

Table 204b

18/14 Screen Unit Load = 10.6 psf

Extrusion	Load Width / Spacing						
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	7'-0"	6'-7"	6'-3"	5'-11"	5'-9"	5'-6"	5'-4"
2X3X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-8"
2X4X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"
2X3X.072 Holow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"

Maximum Spacing (Vertical) 7 ft o.c.: maximum allowable span 7' 10"

FOR 130 mph Wind Zones Exp B

Table 204c

18/14 Screen Unit Load = 12.1 psf

Extrusion	Load Width / Spacing						
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	6'-5"	6'-1"	5'-9"	5'-6"	5'-3"	5'-0"	4'-10"
2X3X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-8"	7'-5"	7'-2"
2X4X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"
2X3X.072 Holow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"

Maximum Spacing (Vertical) 7 ft o.c.: maximum allowable span 7' 10"

FOR 140 mph Wind Zones Exp B

Table 204d

18/14 Screen Unit Load = 14.3 psf

Extrusion	Load Width / Spacing						
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	5'-9"	5'-5"	5'-2"	4'-11"	4'-8"	4'-6"	4'-4"
2X3X.050 Hollow	7'-10"	7'-10"	7'-8"	7'-4"	7'-0"	6'-9"	6'-6"
2X4X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"
2X3X.072 Holow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"

Maximum Spacing (Vertical) 7 ft o.c.: maximum allowable span 7' 10"

FOR 150 mph Wind Zones Exp B

Table 204e

18/14 Screen Unit Load = 16.5 psf

Extrusion	Load Width / Spacing						
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	5'-4"	5'-1"	4'-10"	4'-7"	4'-5"	4'-2"	4'-1"
2X3X.050 Hollow	7'-10"	7'-6"	7'-2"	6'-10"	6'-6"	6'-3"	6'-1"
2X4X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-7"
2X3X.072 Holow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-8"	7'-5"

Maximum Spacing (Vertical) 7 ft o.c.: maximum allowable span 7' 10"

FOR 160 mph Wind Zones Exp B

Table 204f

18/14 Screen Unit Load = 18.8 psf

Extrusion	Load Width / Spacing						
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	5'-0"	4'-9"	4'-6"	4'-3"	4'-1"	3'-11"	3'-10"
2X3X.050 Hollow	7'-6"	7'-1"	6'-8"	6'-5"	6'-1"	5'-11"	5'-8"
2X4X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-8"	7'-4"	7'-1"
2X3X.072 Holow	7'-10"	7'-10"	7'-10"	7'-10"	7'-6"	7'-3"	6'-11"

Maximum Spacing (Vertical) 7 ft o.c.: maximum allowable span 7' 10"

NOTE (Table 104): maximum span of 7' 10" governed by maximum post spacing of 8' 0"

Actual Spacing 6'

Allowable Span 6'6"

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TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

18-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10514	Augustine 9 Indialucie Key Gulfstream	Final Sliders + windows	Pass	close INSPECTOR <i>[Signature]</i>
10517	Augustine 9 Indialucie Gulfstream	Final Shutter	Pass	close INSPECTOR <i>[Signature]</i>
10585	Bruce Kingston Ct JB Alum	Final Screen rooms	Pass	close INSPECTOR <i>[Signature]</i>
10560	McIlvane 20 Castle Hill Way Vero Beach	file in progress	RESERVED FOR 1/14/18	INSPECTOR
10580	Wyckoff 26 N River Rd Halberger	pre-pour	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TREE

REMOVAL REPLACEMENT

RELOCATION

TOWN OF SEWALL'S POINT, FLORIDA

Date 12-12-02 19___ TREE REMOVAL PERMIT No 1246

APPLIED FOR BY JAMES BRUCIA (Contractor or Owner)

Owner 2 KINGSTON CT

Sub-division _____, Lot _____, Block _____

Kind of Trees 1 diseased Sago Palm

No. Of Trees: REMOVE _____

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____
Applicant

Signed, Gene Summers (npr)
Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued: _____

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner JAMES BRUCIA Address 2 KINGSTON CT. Phone 287-9722

Contractor _____ Address _____ Phone _____

Number of trees to be removed (list kinds of trees) SAGO PALM (diseased)

Number of trees to be relocated within 30 days (no fee) (list kinds of trees): _____

Number of trees to be replaced: _____ (list kinds of trees): _____

Permit Fee \$ _____

\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant _____ Plans approved as marked _____

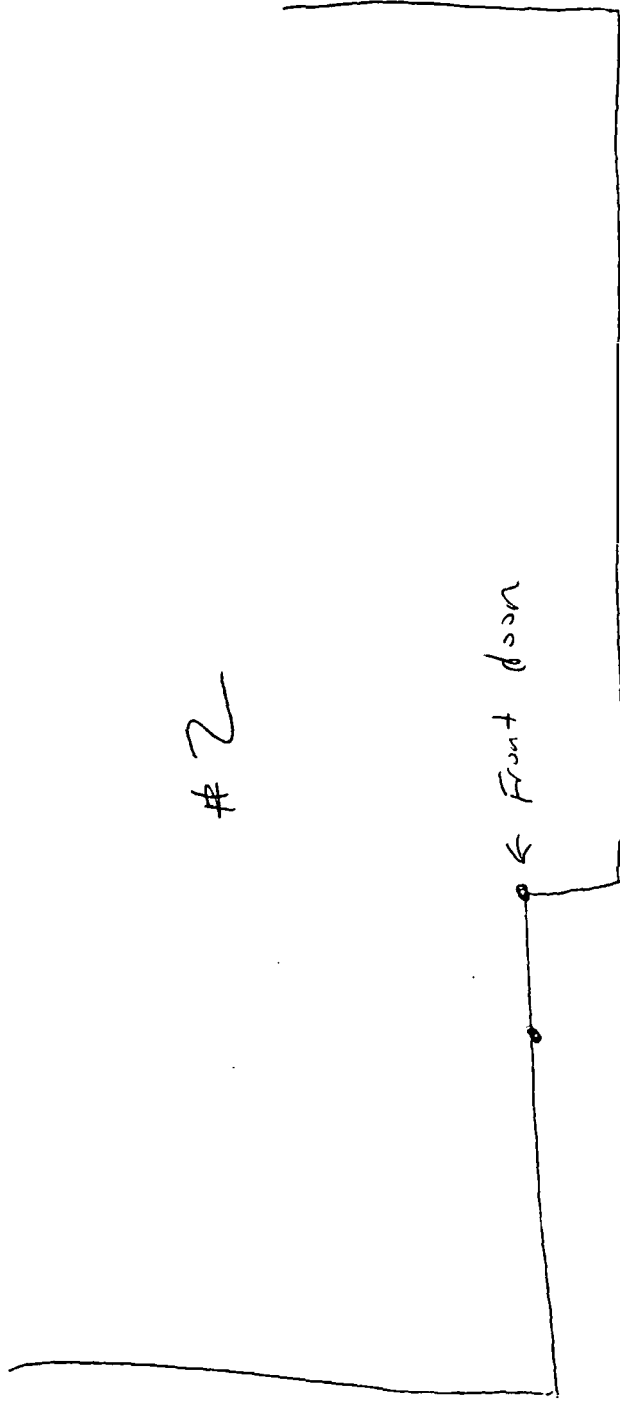
Approved by Building Inspector _____ Date submitted: _____

Completed _____
Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE.
BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGER FIG. FOR
THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY
OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS:
BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

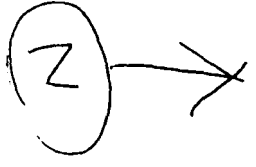
#2



○ Sago Palm

tree ill, not salvageable
per Florida Univ. Agriculture Dept.

Kingston CT.



TOWN OF SEWALL'S POINT, FLORIDA

Date 2/19 ~~16~~ 2003 TREE REMOVAL PERMIT No 474

APPLIED FOR BY BRUCIA (Contractor or Owner)

Owner 2 KINGSTON

Sub-division _____, Lot _____, Block _____

Kind of Trees 2 QUAT TREES - 1 STORM DAMAGED

No. Of Trees: REMOVE _____

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simmons Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Blank lined area for drawing or site plan.

PROJECT DESCRIPTION _____

Blank lined area for project description.

REMARKS _____

Blank lined area for remarks.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2-19-, 20013 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
⑩	BRUCIA 2 KINGSTON	TREE	Passed	INSPECTOR: <i>[Signature]</i>
5875	MAXSON 9 S. RIVER ROAD KNEPPER	ROOF SHEATING	Passed	INSPECTOR: <i>[Signature]</i>
5937	FOSTER 128 S. SEWALLS PKWY RALPH PARKS	ROOF NAIL OFF	Passed	INSPECTOR: <i>[Signature]</i>
6067	DEGRAFF 9 CASTLE HILL WAY POOLS BY GREG	DECK	Failed	Late \$ 30. - INSPECTOR: <i>[Signature]</i>
5744	READ 13 SIMARA ST BOATLIFT CO	BOATLIFT	Passed	close INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>

OTHER: 96 S. River

TOWN OF SEWALL'S POINT, FLORIDA

Date 4/10 16 2003 TREE REMOVAL PERMIT No 1257

APPLIED FOR BY BRUCIA (Contractor or Owner)

Owner 2 KINASTON COURT

Sub-division _____, Lot _____, Block _____

Kind of Trees DRACAENA

No. Of Trees: REMOVE 15 (approx)

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

FEE \$ 0

Signed, _____ Applicant Signed, Gene Summers (411) Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty lined box for drawing or site plan]

PROJECT DESCRIPTION _____

[Empty lined box for project description]

REMARKS _____

[Empty lined box for remarks]

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued: _____

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner JAMES BRUCIA Address 2 Kingston Ct. Phone 287-9722

Contractor _____ Address _____ Phone _____

Number of trees to be removed (list kinds of trees) Approx. 15 DRACAENA

(difficult to quantify as many trunks have grown together).
Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

Hazard: removal 4/8/2

Number of trees to be replaced: _____ (list kinds of trees): _____

Permit Fee \$ 0

\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant [Signature] Plans approved as marked _____

Approved by Building Inspector [Signature] Date submitted: 4/8/2

Completed _____ Date _____ Checked by _____

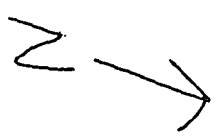
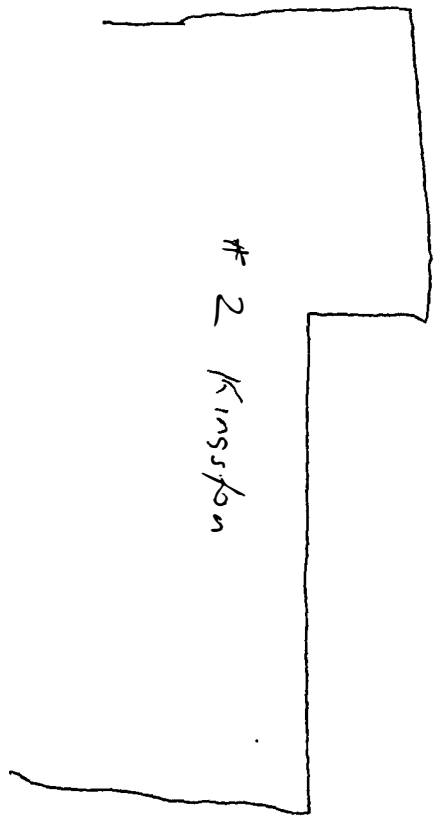
THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

See attached Tree Species List

Kingston Ct.

Driveway
O Palm tree remaining intact
Dracaena blocking view between driveway and street.



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D.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4-9, 2003 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
5767	CLEMENTS	FENCE/RET WALL	Failed	
(6)	6 MIDDLE ROAD O/B			INSPECTOR: <i>[Signature]</i>
TREE	ENRIQUEZ	TREE	Passed	
(8)	1 KINGSTON CT			INSPECTOR: <i>[Signature]</i>
TREE	BENZING	TREE	Passed	
(9)	137 S. RIVER			INSPECTOR: <i>[Signature]</i>
TREE	BRUCIA	TREE	Passed	
(7)	2 KINGSTON CT			INSPECTOR: <i>[Signature]</i>
6127	CLARK	TUN TAG	Passed	
(2)	33 FIELDWAY PAR ONE			INSPECTOR: <i>[Signature]</i>
6096	McMAHON	NAIL OFF/	Failed	
(3)	5 MELODY HILL O/B	SIDING		INSPECTOR: <i>[Signature]</i>
5929	FLAUGH	FENCE	Passed	close pool fence
(1)	B INDIANUCIE O/B			INSPECTOR: <i>[Signature]</i>
OTHER:				

TREE REMOVAL, RELOCATE OR REPLACE PERMIT APPLICATION PACKAGE

DOCUMENTS CONTAINED IN PACKAGE

- 1. Tree Removal/Relocation Application**
- 2. Tree Removal/Relocation Submittal Requirements**

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued: _____

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Jim BRUCIA Address 2 Kingston Phone 287-9722

Contractor _____ Address _____ Phone _____

Number of trees to be removed (list kinds of trees) (2) Quirt trees
one of which was storm damaged and laying on fence.

Number of trees to be relocated within 30 days (no fee) (list kinds of trees): _____

Number of trees to be replaced: _____ (list kinds of trees): 4

Permit Fee \$ 0
\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant _____ Plans approved as marked _____

Approved by Building Inspector [Signature] Date submitted: 2/12/12

Completed _____
Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

See attached Tree Species List

TREE SPECIES

The Following list will assist you in determining which trees are required to be removed and which trees are required to stay or be relocated. A permit is required for all tree removal, replacement, or relocation. The cost of the permit is \$15.00. No permit fees for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured, or hazardous to life or property.

PROHIBITED SPECIES:

The first three-(3) species below *must* be removed before construction begins.

- | | |
|----------------------|-------------------------|
| 1. Brazilian Peppers | 9. Schefflera |
| 2. Australian Pines | 10. Non-Native Ficus |
| 3. Melaleuca | 11. Chinaberry |
| 4. Strangler Fig | 12. Woman's Tongue |
| 5. Java Plum | 13. Norfolk Island Pine |
| 6. Bischofia | 14. Eucalyptus |
| 7. Silk Oak | 15. Chinese Tallow Tree |
| 8. Earleaf Acacia | 16. Ear Tree |

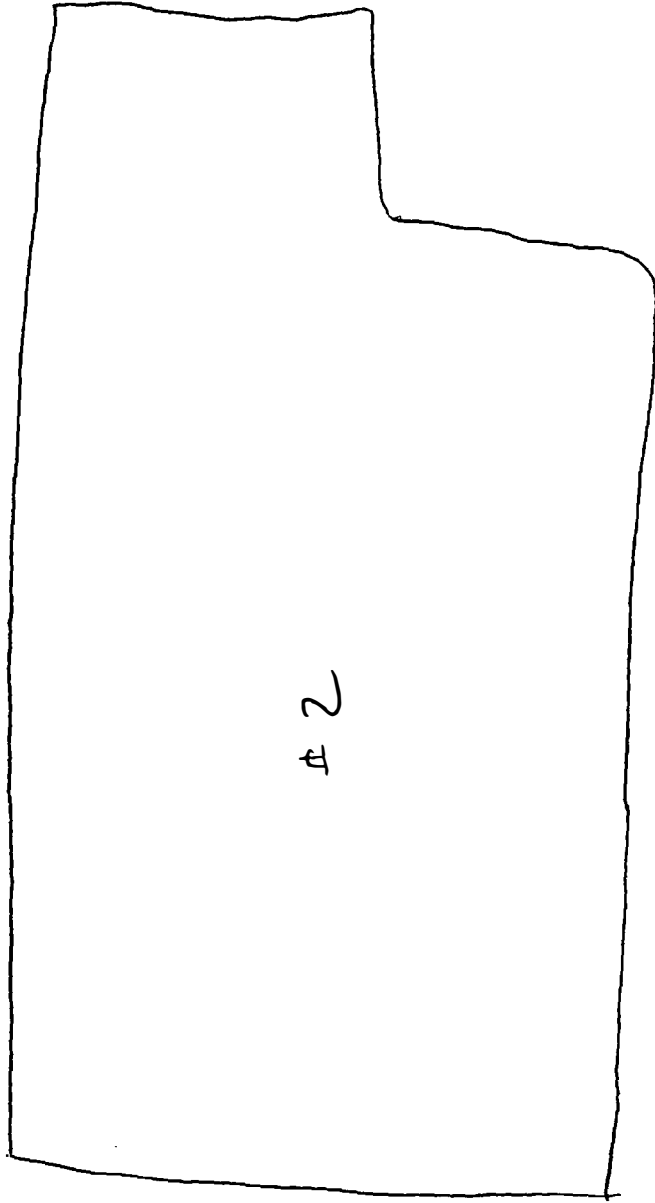
NATIVE SPECIES:

- | | |
|-------------------------|---------------------------------------|
| 1. Black Ironwood | 25. Pigeon Plum |
| 2. Black Mangrove | 26. Pond Apple |
| 3. Blolly | 27. Prickly Pear |
| 4. Buttonwood | 28. Red Mangrove |
| 5. Cabbage Palm | 29. Red Maple |
| 6. Cocoplum (red tip) | 30. Redbay |
| 7. Cocoplum (green tip) | 31. Saffron Plum |
| 8. Coral Bean | 32. Sand Pine |
| 9. Deer Moss | 33. Scrub Pine |
| 10. Gray Twig | 34. Satinleaf |
| 11. Gopher Apple | 35. Saw Palmetto |
| 12. Gumbo Limbo | 36. Scrub Hickory |
| 13. Inkwood | 37. Sea Grape |
| 14. Jamaica Dogwood | 38. Sea Oxeye |
| 15. Lancewood | 39. Slash Pine |
| 16. Laurel Oak | 40. Stoppers |
| 17. Leather Fern | 41. Wild Lime |
| 18. Live Oak | 42. Sumac (southern) |
| 19. Mahogany | 43. Sugar Berry (Hackberry) |
| 20. Marlberry | 44. Torchwood |
| 21. Mastic | 45. Wild Coffee |
| 22. Mulberry | 46. Varnish Leaf |
| 23. Myrtle Oak | 47. Water Oak |
| 24. Paradies Tree | 48. Wax Myrtle |
| | 49. West Indian Cherry White Mangrove |

tree 2

tree 1 (damaged in storm)

1



Kingsley Ct.

TOWN OF SEWALL'S POINT, FLORIDA

Date JUNE 16 ~~17~~ 2004 TREE REMOVAL PERMIT No 2282

APPLIED FOR BY BEUCIA (Contractor or Owner)

Owner 2 KINGSTON COURT

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 3 ① PALM ② BUNCHES OF HEDGES

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simmons Town Clerk Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box for drawing or site plan.

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Bolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner JIM BRUCIA **Address** 2 Kingston Ct. **Phone** 287-9722

Contractor _____ **Address** _____ **Phone** _____

No. of Trees: REMOVE 3 **Type:** ① Palm ② Bunches of hedges

No. of Trees: RELOCATE _____ **WITHIN 30 DAYS** **Type:** _____

No. of Trees: REPLACE _____ **WITHIN 30 DAYS** **Type:** _____

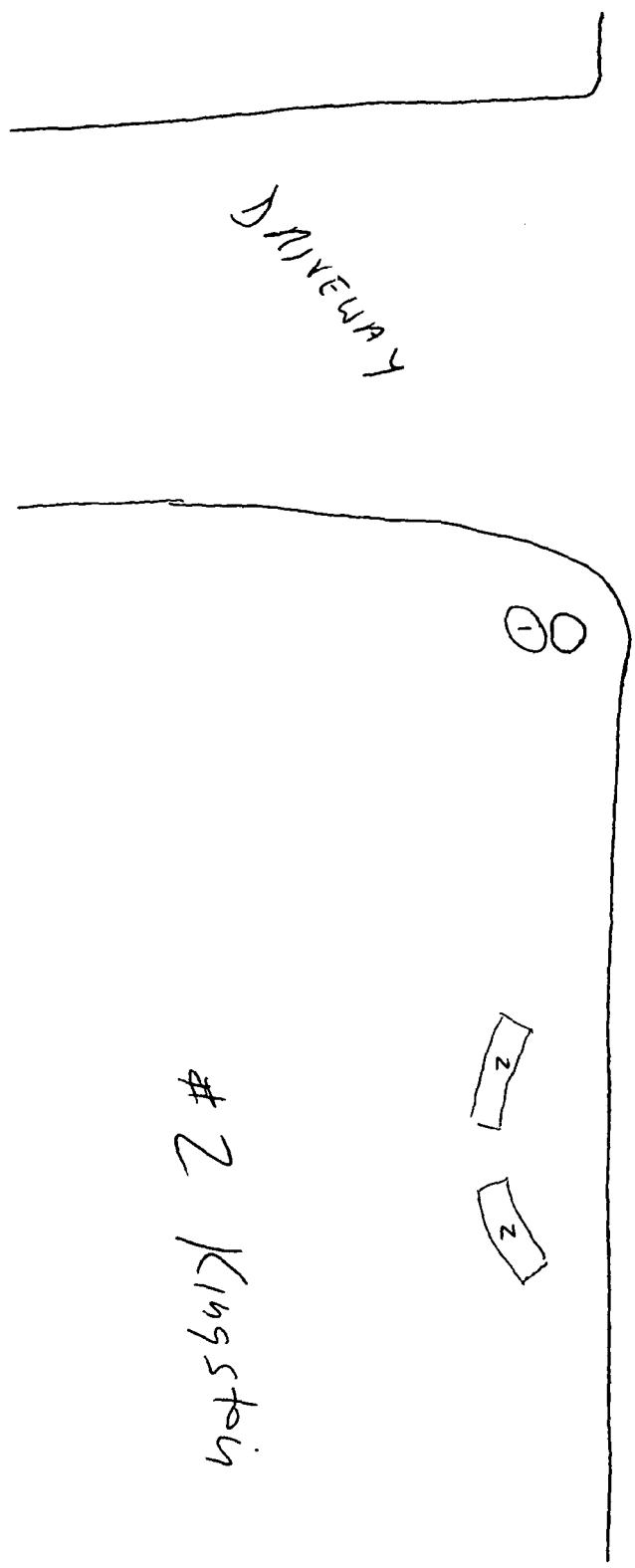
Written statement giving reasons: Remove hazardous Palm tree (insecure due to narrowing of trunk)
Remove 2 bunches of hedges.

Signature of Applicant [Signature] **Date** 6/16/04

Approved by Building Inspector: [Signature] **Date** 6/16 **Fee:** 0

Plans approved as submitted [Signature] **Plans approved as revised/marked:** _____

Kingsston Ct.



DRIVEWAY

○ ○

2

2

#2 Kingsston

- 1 Palm Tree
- 2 Horses

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/16, 2004 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
3	TRUCIA	TREE	PASS	
3	2 KINGSTON CT			INSPECTOR:
6715	RAPPAPORT	INSULATION	PASS	
11	9 RIVER CREST GOLICK & McCAULEY			INSPECTOR:
6725	ELDER	SVC. CHG.	PASS	CLOSE
12	12 EMARITA ARLINGTON ELEC			INSPECTOR:
6551	LANGER	SLAB	PASS	
10	3 LOFTING WAY FLORIDA'S FINEST	UG PUMPING		INSPECTOR:
6771	AUMAN	FRAMING	PASS	CHECK SHEATHING
2	106 S. RIVER RD O/B		PASS FAIL	LATE MOTION INSPECTOR:
6413	POWERS	W WINDOW BRCK	PASS	
4	705 SEWALL'S PT FLORIDA'S FINEST	W WINDOW BEAM AC PAGES NOT	PASS FAIL	INSPECTOR:
6663	SANDHI	TRUSS	FAIL	
5	23 N. VIA LUCINIA WHITE PUMPING			INSPECTOR:
OTHER: _____				

TOWN OF SEWALL'S POINT, FLORIDA

Date FEB 9 # 2005 TREE REMOVAL PERMIT No 2419

APPLIED FOR BY BRUCIA (Contractor or Owner)

Owner 2 KINGSTON COURT

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 5 CITRUS TREES + ABOUT 70' OF HEDGE

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simmons Town Clerk

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TOWN OF SEWALL'S POINT TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Bolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeve, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner JAMES BRUCIA Address 2 Kingston Ct. Phone 287-9722

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 5 Type: Citrus trees + about 70' of hedges

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Removal of storm damaged trees and hedges.

Signature of Property Owner [Signature] Date 2/8/05

Approved by Building Inspector: [Signature] Date 2/9 Fee: 0

Plans approved as submitted — Plans approved as revised/marked: _____

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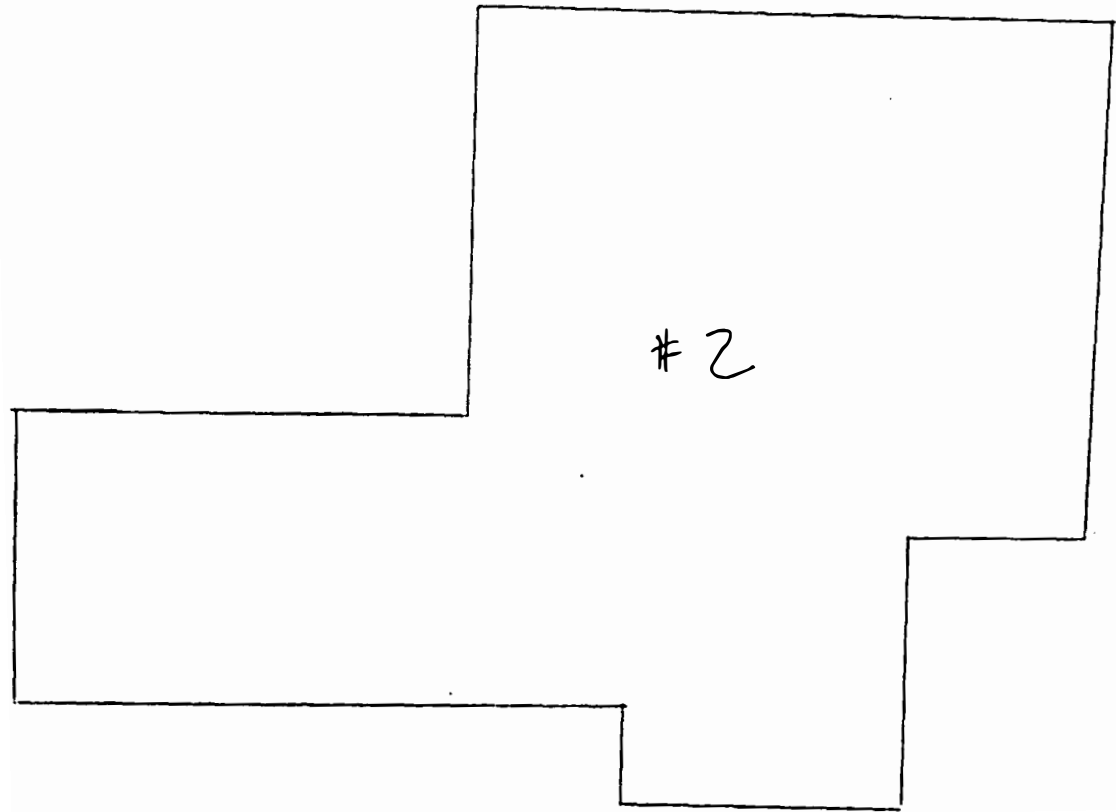
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- #1 Ruby Red Grapefruit Tree - deceased
- #2 Lemon tree - damaged
- #3 Naval orange tree - damaged
- #4 NAVAL orange tree - deceased
- #5 Grapefruit tree - deceased
- * hedge line, damaged, deceased

Kingston Ct.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri FEB 9, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7283	TEPLITZ	Flat Roof Dev'n	PASS	
16	25 N. RIVER JA TAYLOR ROOFING			INSPECTOR: <i>[Signature]</i>
7240	JAVORSKY	FINAL SCE. ENCL	PASS	CLOSE
7240	4 PINEAPPLE O/B			INSPECTOR: <i>[Signature]</i>
7073	JOHNSTON	Dev'n	PASS	
7073	34 W. HIGH POINT An Amer. ROOFING			INSPECTOR: <i>[Signature]</i>
Tree	LAMB	Tree	PASS	
6	110 S. Sewall's Pt			INSPECTOR: <i>[Signature]</i>
7186	LIPES	Dev'n	FAIL	REINSPECTED
12	5 COPAIRE PVD DEVELOPMENT		PASS	LATER IN MORNING
Tree	BRUGIA	Tree	PASS	
7	2 KINGSTON CT			INSPECTOR: <i>[Signature]</i>
7156	MORAN	INSULATION	PASS	PARTIAL (NORTH SIDE)
15	32 N. SEWALL'S PT W H McComb	GATE 1007		INSPECTOR: <i>[Signature]</i>
OTHER: _____				

TOWN OF SEWALL'S POINT, FLORIDA

Date JUNE 8 ~~12/2005~~ TREE REMOVAL PERMIT No 2509

APPLIED FOR BY BEUCIA (Contractor or Owner)

Owner 2 KENASTON COURT

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 QUEEN PALM

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed Gene Simmons (EES) Town Clerk

BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspect
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

[Lined area for project description]

REMARKS _____

[Lined area for remarks]

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Jim Bucia Address 2 Kingston Ct. Phone 287-9722

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: Queen Palm

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

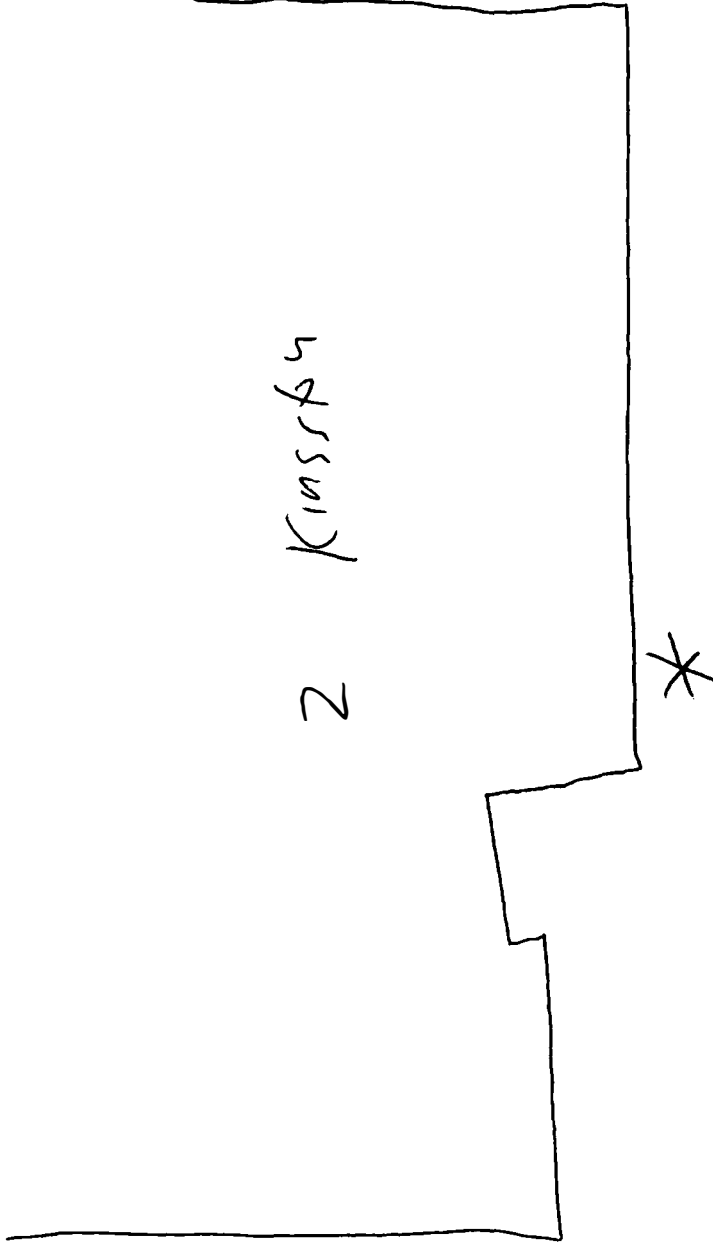
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Tree diseased, fall hazard.

Signature of Property Owner  Date 6/

Approved by Building Inspector: _____ Date _____ Fee: _____

Plans approved as submitted _____ Plans approved as revised/marked: _____



Klassen Cf.

TOWN OF SEWALL'S POINT, FLORIDA

Date 6-8-06 ~~19~~ TREE REMOVAL PERMIT No 2692

APPLIED FOR BY Bruceia (Contractor or Owner)

Owner 2 Kingston Ct

Sub-division _____, Lot _____, Block _____

Kind of Trees Queen & Coconut Palms

No. Of Trees: REMOVE 2

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed Phil Winterborn Town Clerk

Blog Inspector

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspecti
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or notes]

PROJECT DESCRIPTION _____

[Lined area for project description]

REMARKS _____

[Lined area for remarks]

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. Permit - No fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

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Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new single family resident see above.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Jim BRUCIA Address 2 Kingston Ct. Phone 287-9722
 Contr ctor Bernies Address POB 1548 Palm City Phone 772 219-2519

No. of Trees: REMOVE 2 Type: Queen palm, Coconut palm

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: 1 Tree is undermining rear septic system
1 Tree is sick and within home fall radius.

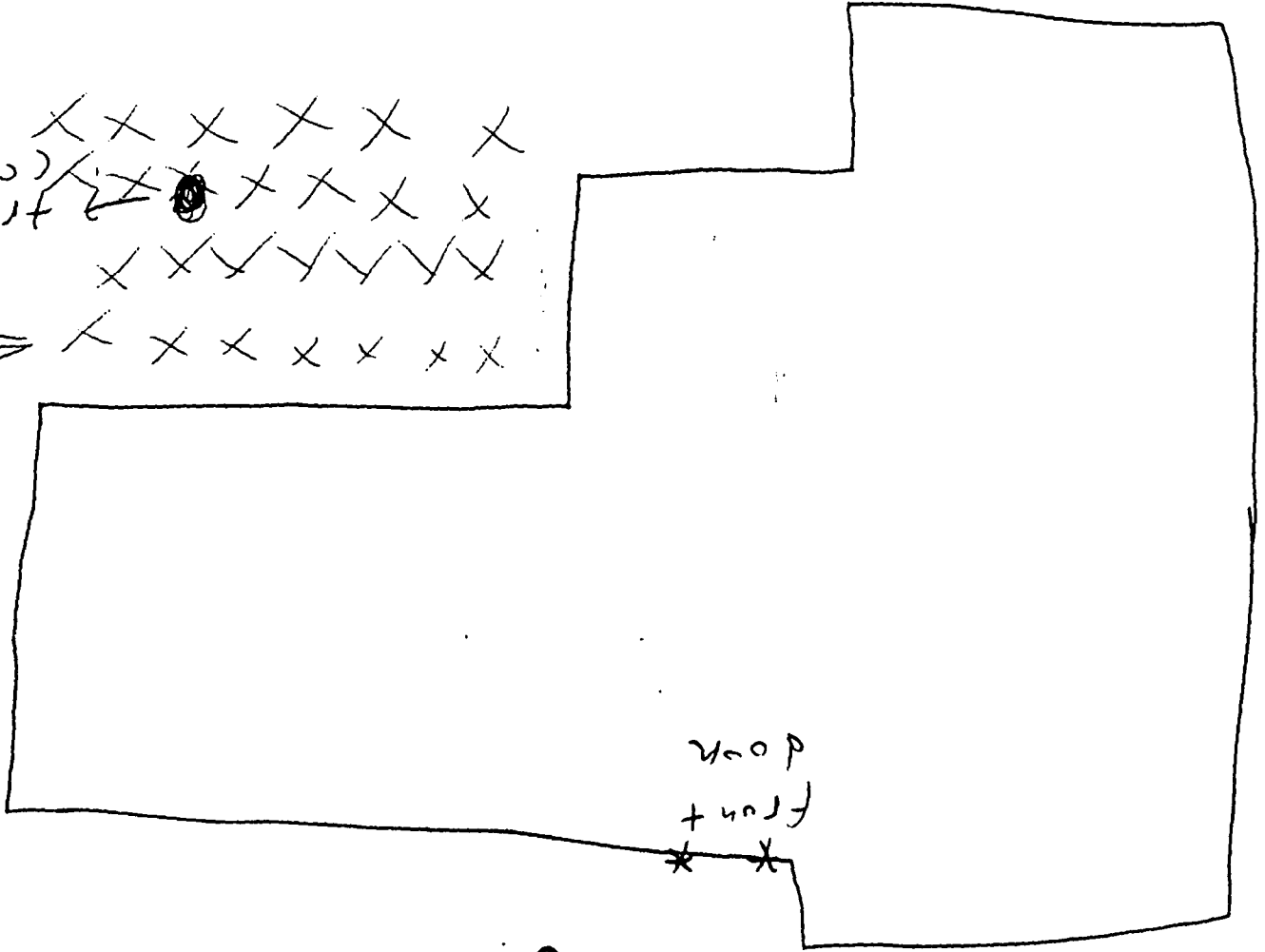
Signature of Property Owner [Signature] Date 6/5/06

Approved by Building Inspector: [Signature] Date 6/7 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

X's are septic
rain field

tree (coconut palm)



tree (queen palm)





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner JAMES BRUCHA Address 2 Kingship Ct Phone 772 600-7265

Contractor Bernies Address _____ Phone _____

No. of Trees: REMOVE 2 Species: Coconut palm

No. of Trees: RELOCATE _____ Species: Coconut palm

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

Reason for tree removal /relocation (See notice above) _____

Signature of Property Owner [Signature] Date 4/26/11

Approved by Building Inspector: [Signature] Date 4-26-11 Fee: NK

NOTES: > DISEASED TREES

