

3 NE Lagoon Island Court

2815

DOCK

Permit No. 2015

Date

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner JOHN BOURASSA / SEWALL'S Present Address 957 CENTRAL PARKWAY
POINT PLANTATION
PARTNERSHIP
STUART FL 34994

Phone _____

Contractor ROBERT SANDY CONST. INC Address 3452 NE ANDREAN DR

Phone 407-334-3046 JENSEN BEACH FL 34957

Where licensed FLORIDA License number CGC 030410

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 6' X 120' ACCESS PIER WITH A 8' X 31' TEE

State the street address at which the proposed structure will be built: _____

Subdivision PLANTATION AT SEWALL'S POINT Lot number 11 Block number _____

Contract price \$ 9,500. Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Robert Sandy

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner J. Bourassa

TOWN RECORD

Date submitted _____ Approved: Dele Brown 7/25/90
Building Inspector Date

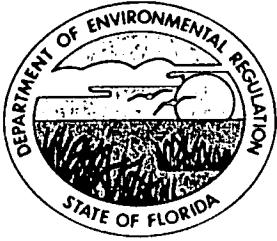
Approved: _____ Commissioner Date Final Approval given: _____ Date

Certificate of Occupancy issued (if applicable) _____ Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



Florida Department of Environmental Regulation

Southeast District Branch Office • 2745 S.E. Morningside Blvd. • Port St. Lucie, FL 34952 • 407-878-3890/335-4310

Bob Martinez, Governor

Dale Twachtmann, Secretary

John Shearer, Assistant Secretary
Scott Benyon, Deputy Assistant Secretary

MAR 26 1990

John Bourassa
c/o PLANDEV, Inc.
957 Central Parkway
Stuart, Florida 34994

WRM - Martin County

Dear Mr. Bourassa:

This is to acknowledge receipt of your application, file number 431724548, for a permit to:

Construct a 968 square foot dock consisting of a 120' by 6' access pier terminating in a 31' by 8' T-platform. This project is to be located at Lot 11 of Plantation at Sewall's Point, Class III waters, St. Lucie River, Section 26, Township 37 South, Range 41 East, Sewalls Point, Martin County.

At this time no permit is required for your project by this Department. Any modifications in your plans should be submitted for review, as changes may result in permits being required. This letter does not relieve you from the need to obtain any other permits (local, state or federal) which may be required. This project, as proposed, is exempt from permitting pursuant to 403.813(2)(b), Florida Statutes, in accordance with the three (3) attached stamped drawings.

A copy of your application has also been sent to the Department of Natural Resources for review. Consent of use of State owned lands may be required from the Department of Natural Resources prior to construction. For further information, you may contact Mr. Don Keirn at (407) 967-6057.

If you have any questions, please contact Brad Rieck of this office. When referring to this project, please use the file number indicated.

Sincerely,

Tom Franklin

Tom Franklin
Supervisor
Wetlands Resource Management

TF:brt/37

cc: Army Corps of Engineers, Miami
Don Keirn, D.N.R.
Marine Construction, Inc.



DEPARTMENT OF THE ARMY
MIAMI FIELD OFFICE, 8410 NW 53RD TERRACE MONTEREY BLDG., SUITE 225
MIAMI, FLORIDA 33166-4565

1 July 1990

REPLY TO
ATTENTION OF

Regulatory Section
Miami
90GP30094

John Bourassa
C/O ASLAN Inc.
P. O. Box 1500
Stuart, Florida 34995

Dear Mr. Bourassa:

RE: access ramp 120'X6' with a platform
31' X 8', Lot 11, Martin County.

Reference is made to your request for a Department of the Army permit.

The project as proposed is authorized by General Permit 20, a copy of which is enclosed for your information and use. You are authorized to proceed with the project in accordance with the enclosed drawings subject to all conditions of the permit.

This letter of authorization does not obviate the necessity to obtain any other Federal, State, or local permits which may be required.

It appears that a permit from the Florida Department of Environmental Regulation may be required. A list of addresses of the appropriate State offices is enclosed for your information and use.

Thank you for your cooperation with our permit program.

Sincerely,

A handwritten signature in cursive script that reads "Charles A. Schnepel".

Charles A. Schnepel
Chief, Regulatory Section

DEPARTMENT OF THE ARMY PERMIT

NOV 1 1988

GENERAL PERMIT SAJ-20

PRIVATE SINGLE-FAMILY PIERS - STATE OF FLORIDA

Upon recommendation of the Chief of Engineers, pursuant to Section 10 of the Rivers and Harbors Act of 3 March 1899 (33 U.S.C. 403), general authority is hereby given to construct private single-family piers in navigable waters of the United States within the State of Florida subject to the following conditions:

SPECIAL CONDITIONS:

1. Structures authorized under this general permit are private single-family piers including normal appurtenances such as boat hoists, boat shelters with open sides, stairways, walkways, mooring piling, dolphins, and maintenance of same.
2. No work shall be performed until the applicant submits satisfactory plans for the proposed structure and receives written authorization from the District Engineer.
3. No structures shall be authorized by the general permit in:
 - a. Florida DNR or U.S. Fish and Wildlife Service established boat regulatory zones, sanctuaries or reserves.
 - b. Crystal, Salt, and Homosassa Rivers, Citrus County, where the structure extends waterward greater than minus (-) three (3) feet mean low water (mlw).
 - c. Faka Union Canal in Collier County.
4. The permittee agrees the contractor will instruct all personnel associated with the construction of the facility, of the presence of manatees and the need to avoid collisions with manatees.
5. The permittee agrees all personnel will be advised that there are civil and criminal penalties for harming, harassing, or killing manatees, which are protected under the Endangered Species Act of 1973, the Marine Mammal Protection Act of 1972, and the Florida Manatee Sanctuary Act. The permittee and/or contractor will be held responsible for any manatees harmed, harassed, or killed as a result of construction of the project.
6. The permittee agrees that any collision with a manatee shall be reported immediately on the manatee "hotline" (1-800-342-1821) and to the U.S. Fish and Wildlife Service, Jacksonville Endangered Species Field Station (904-791-2580).

7. The permittee agrees the contractor shall keep a log detailing sitings, collisions, or injury to manatees which have occurred during the contract period.

8. The permittee agrees that following project completion, a report summarizing the above incidents will be submitted to the Chief, Regulatory Division, Jacksonville District, Corps of Engineers, (P.O. Box 4970, Jacksonville, Florida 32232) and the U.S. Fish and Wildlife Service (3100 University Boulevard South, Suite 120, Jacksonville, Florida 32216-2732).

9. The permittee agrees all vessels associated with the project will operate at "no-wake" speeds at all times while in water where the draft of the vessel provides less than 3 feet clearance from the bottom and that vessels would follow routes of deep water to the maximum extent practicable.

10. The permittee agrees to establish and maintain a permanent educational display at a prominent location of all commercial facilities to increase the awareness of boat operators using the facility, of the presence of manatees, and need to minimize the threat of boats to these animals. The display should include information on the location of the facility with respect to boat speed zones in the area, the threat which boats pose to manatees, the manatee "hotline" number (1-800-342-1821), and other information which may aid in the conservation of the species. The permittee agrees to install and maintain a minimum of one (1) manatee awareness sign on the docks within the facility.

11. Where multiple slip facilities are authorized, the dock must be clumped to minimize shoreline disruption.

12. In the Intracoastal and Okeechobee Waterways, no structure, including mooring piles, authorized under this general permit, will be within 100 feet of the near-bottom edge of the channel unless it is a 5-foot marginal pier.

13. No living, fueling, or storage facilities over navigable waters of the United States are authorized under this general permit.

14. The structure shall not adversely affect or disturb properties listed as eligible for inclusion in the National Register of Historic Places.

15. No structures shall be authorized by this general permit on the following environmentally sensitive areas identified in the Wild and Scenic Rivers Act (16 U.S.C. 1371, et seq.): The Northwest Fork of the Loxahatchee River; and that portion of the Myakka River within the Myakka River State Park. These activities shall require an individual permit.

16. Authorization is contingent upon the issuance of permits from the Florida Department of Environmental Regulation and the Department of Natural Resources as appropriate.

17. A structure authorized under this general permit must not interfere with general navigation.

18. A structure which by its size or location may adversely affect water quality, fish and wildlife habitat, or photosynthetic processes will not be authorized under this general permit.

19. No work shall be performed until after notification of the owner or operator of any marked utilities in the area of the structure.

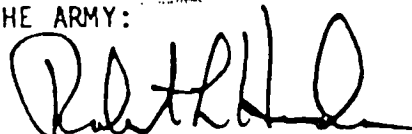
20. This general permit will be valid until suspended or revoked by issuance of a public notice by the District Engineer. Reviews will be conducted to determine if continuance of the permit is not contrary to the public interest.

21. Conformance with the description contained herein does not necessarily guarantee authorization under this general permit.

22. The District Engineer reserves the right to require that any request for authorization under this general permit be processed as an individual permit.

23. The General Conditions attached hereto are made a part of this permit (Atch 1).

BY AUTHORITY OF THE SECRETARY OF THE ARMY:



Robert L. Herndon
Colonel, U.S. Army
District Engineer

DEPARTMENT OF ENVIRONMENTAL REGULATION

Bureau of Permitting
2600 Blair Stone Road
Tallahassee, Fl 32301
904 488-0130

NORTHWEST DISTRICT

Dredge & Fill Supervisor
160 Governmental Center
Panama City, Fl 32401
904-438-6380

NORTHEAST DISTRICT

Dredge & Fill Supervisor
3426 Britts Road
Jacksonville, Fl 32207
904 396 0959

State of Florida
DEPARTMENT OF ENVIRONMENTAL REGULATION

**DREDGE & FILL
PERMITTING OFFICES**

**ST. JOHNS RIVER
DISTRICT**

Dredge & Fill Supervisor
3319 Maguire Blvd., Suite 232
Orlando, Fl 32803
306-423 6380

SOUTHWEST DISTRICT

Dredge & Fill Supervisor
7601 Highway 301 North
Tampa, Fl 33610
813-988-7402

**SOUTHEAST FLORIDA
SUBDISTRICT**

Dredge & Fill Supervisor
2746 Southeast Morningside Blvd.
Port St. Lucie, Fl 33462
305-894-7555

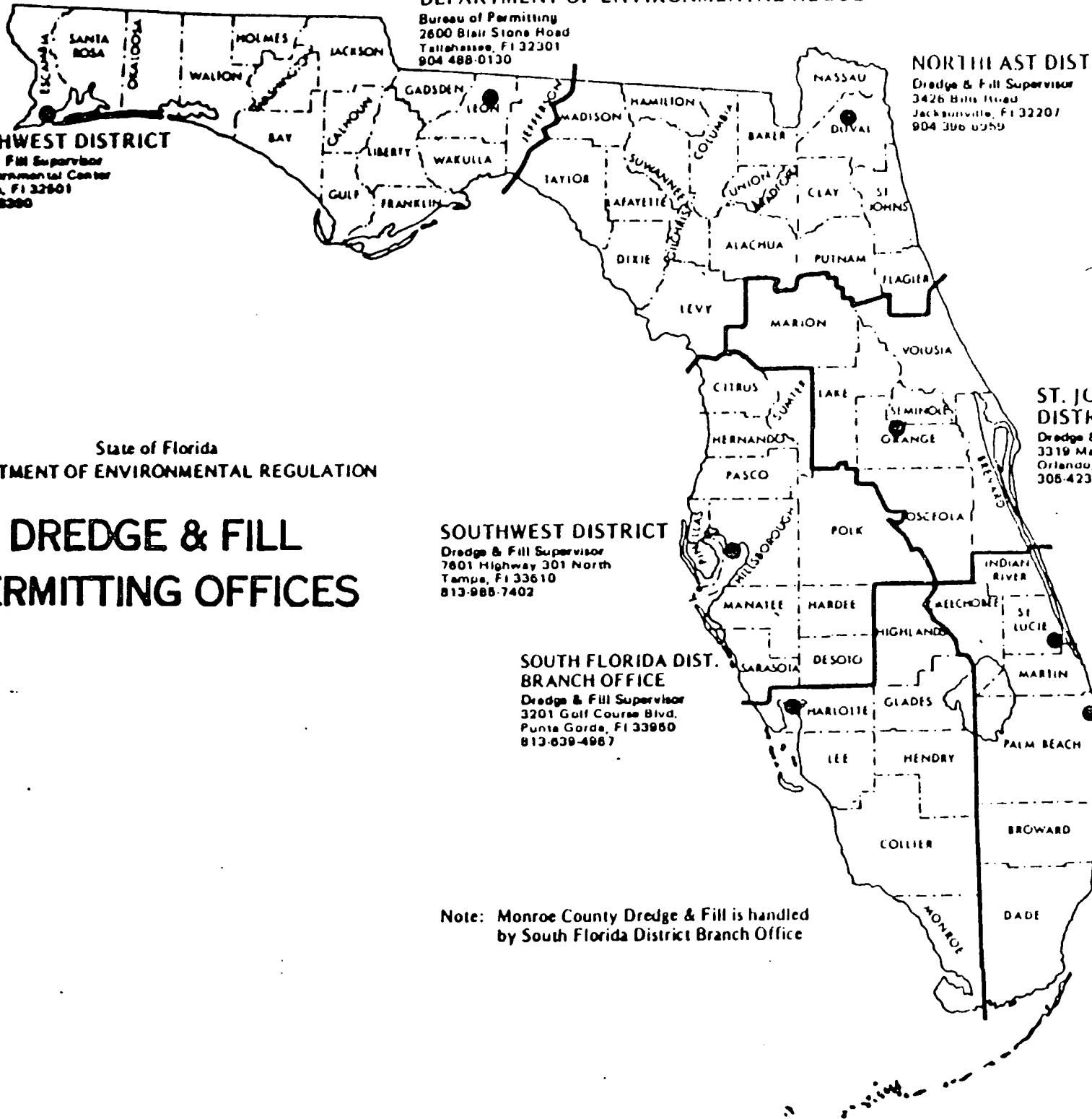
**SOUTH FLORIDA DIST.
BRANCH OFFICE**

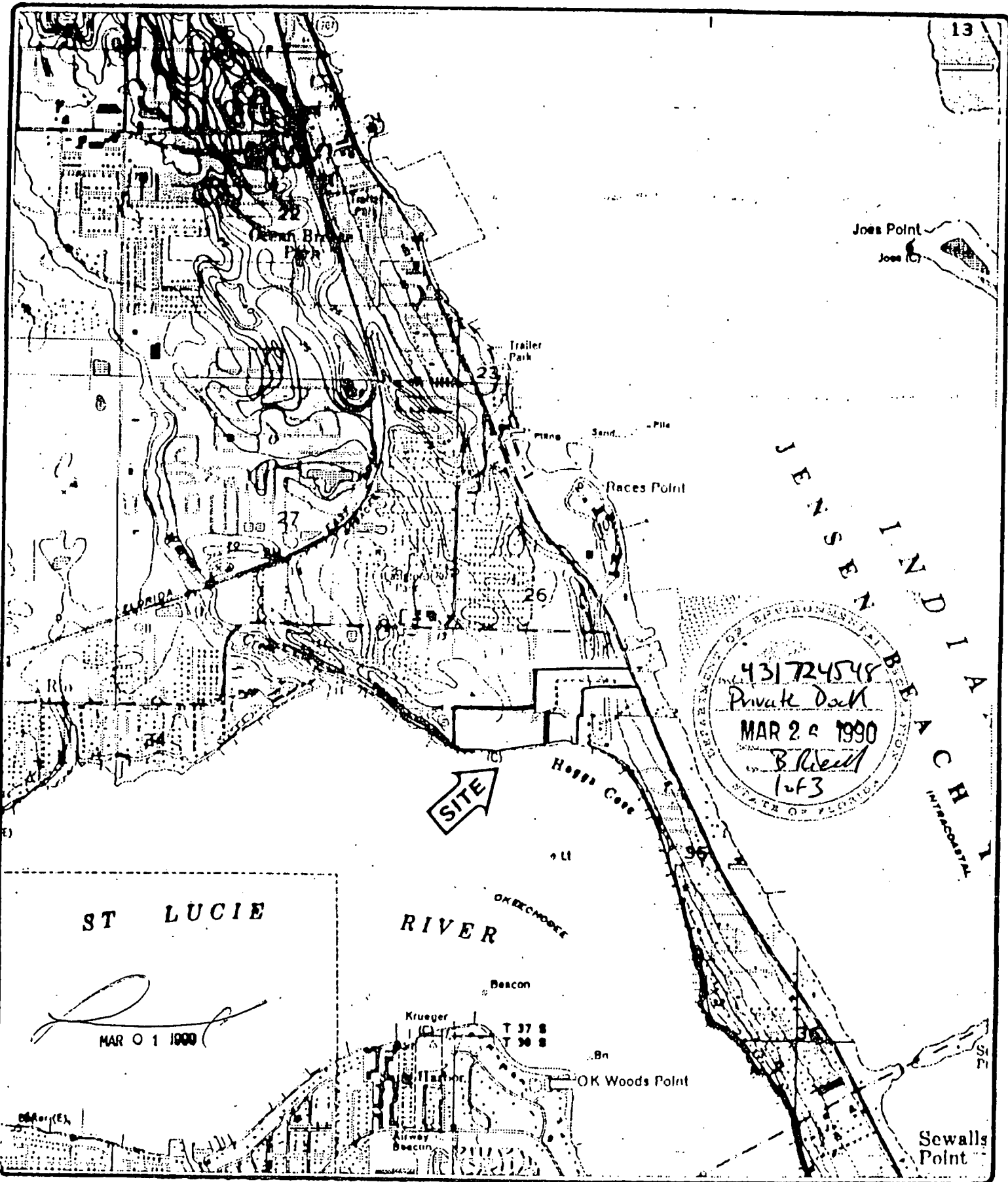
Dredge & Fill Supervisor
3201 Golf Course Blvd.
Punta Gorda, Fl 33950
813-639-4967

**SOUTHEAST FLORIDA
DISTRICT**

Dredge & Fill Supervisor
3301 Gun Club Road
P.O. Box 3858
W. Palm Beach, Fl 33402
305-689 6800

Note: Monroe County Dredge & Fill is handled
by South Florida District Branch Office





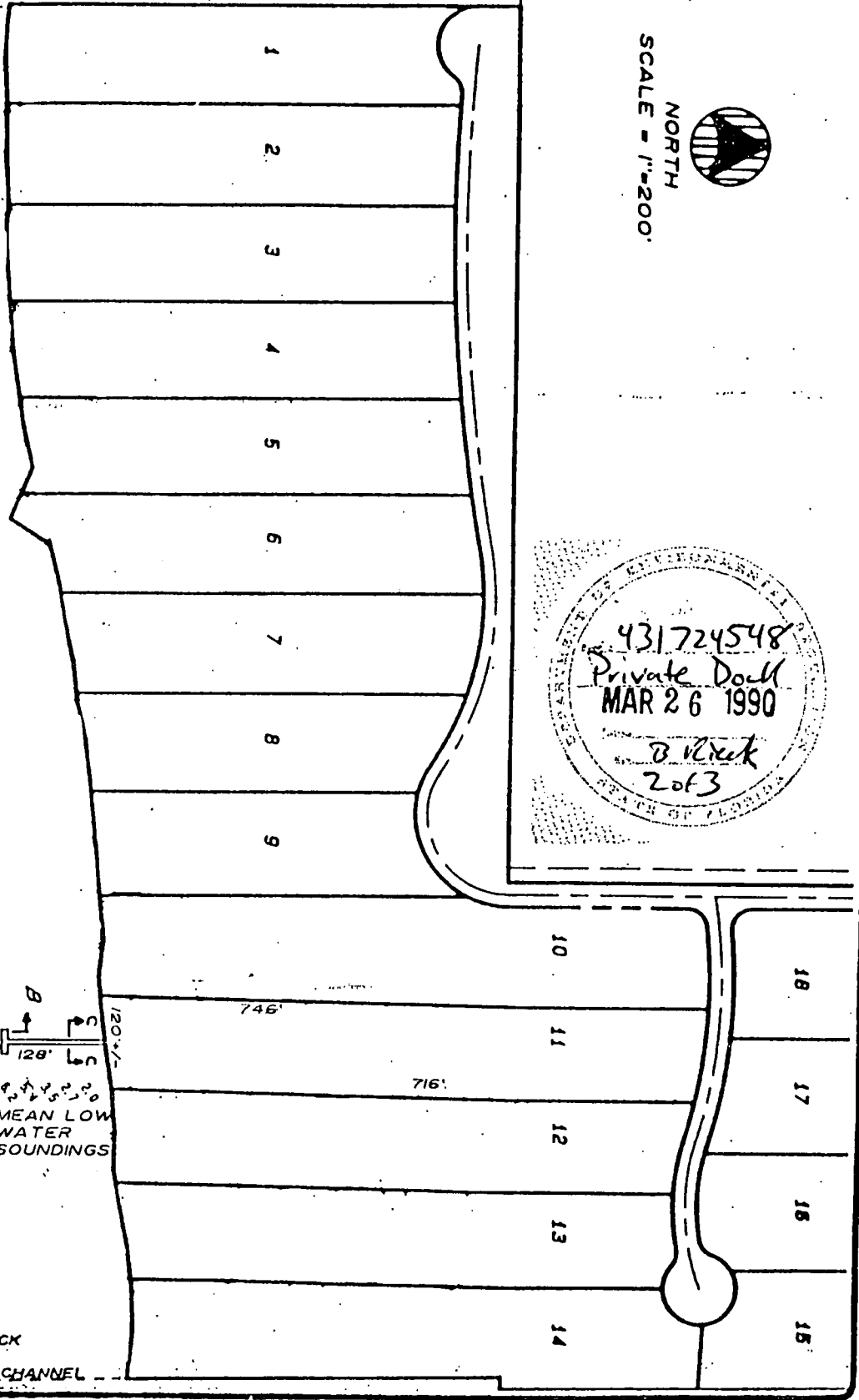
PLANDEV Inc
 ENGINEERS-PLANNERS-SURVEYORS
 957 CENTRAL PARKWAY
 STUART, FL 34994 407-286-2020

Prepared For: PLANTATION at SEWALL'S PT.

Drawn By: TPS
 Date: FEBRUARY 6-90 SHEET of
 Job No.: 288-01-19

APPROX. RIPARIAN LINE & SET-BACK
PER TOWN OF SEWALL'S POINT

NORTH
SCALE = 1"=200'



431724548
Private Dock
MAR 26 1990
B Creek
2 of 3

ST. LUCIE RIVER
(OKEECHOBEE
WATERWAY)

FLOOD
298'
MAR 01 1990

MEAN LOW
WATER
SOUNDINGS
6' x 31' TYPICAL
TERMINAL
PLATFORM

APPROX. RIPARIAN LINE & SET-BACK
PER TOWN OF SEWALL'S POINT

1,800' +/- TO OKEECHOBEE WATERWAY CHANNEL

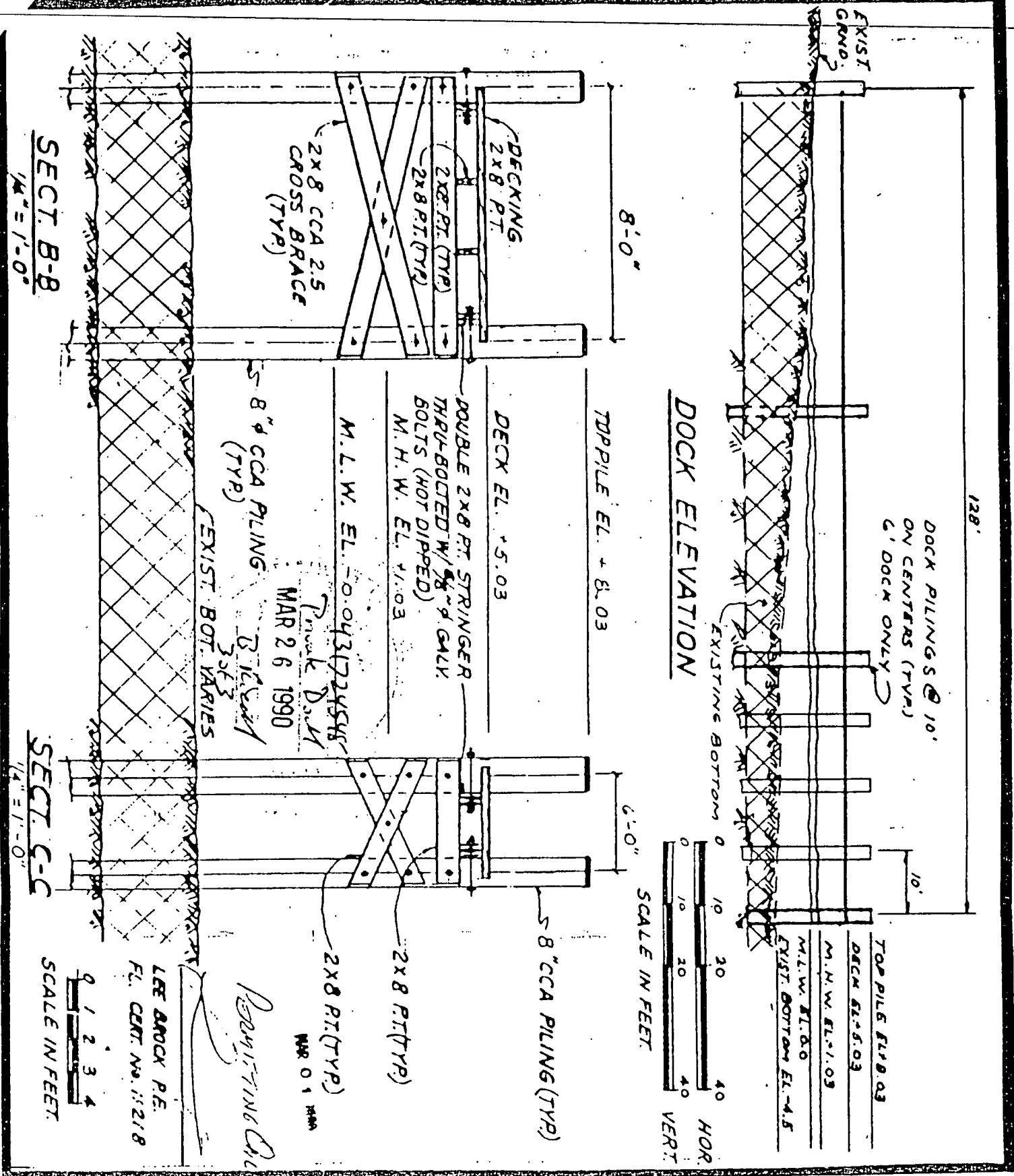
PLANDEV Inc
ENGINEERS-PLANNERS-SURVEYORS
957 CENTRAL PARKWAY
STUART, FL 34994

Prepared For: PLANTATION of SEWALL'S PT.

Drawn By: TPS
Date: FEBRUARY 5, 90
Job No.: 288-01-19 SHEET 01



407-286-2020

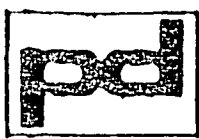


PLANDEY Inc
 ENGINEERS-PLANNERS-SURVEYORS
 857 CENTRAL PARKWAY
 STUART, FL 34994

407-286-2020

LOT II
 Prepared For: PLANTATION at SEWALL'S PT.

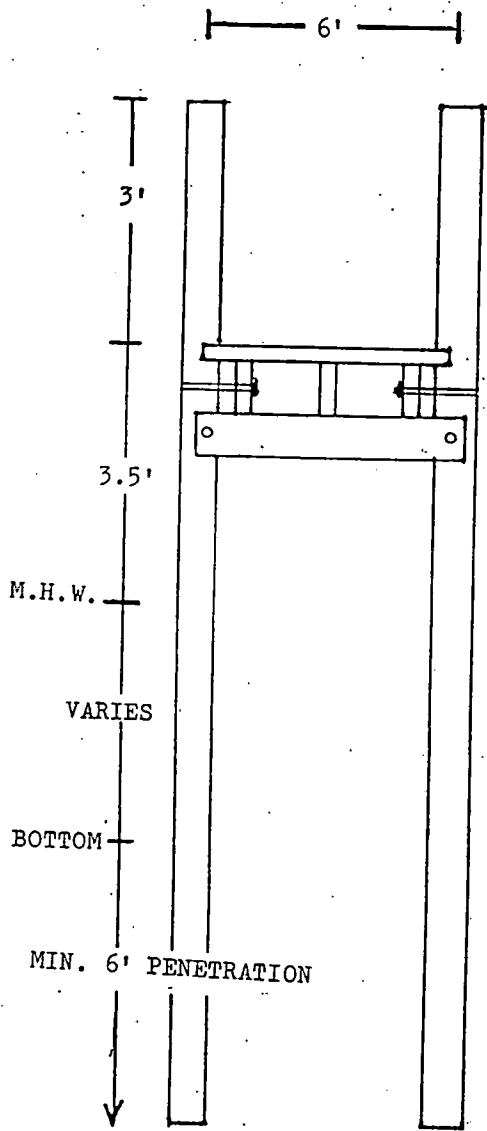
Drawn By: TPS
 Date: FEBRUARY 5, 90 SHEET 01
 Job No.: 288-01-19



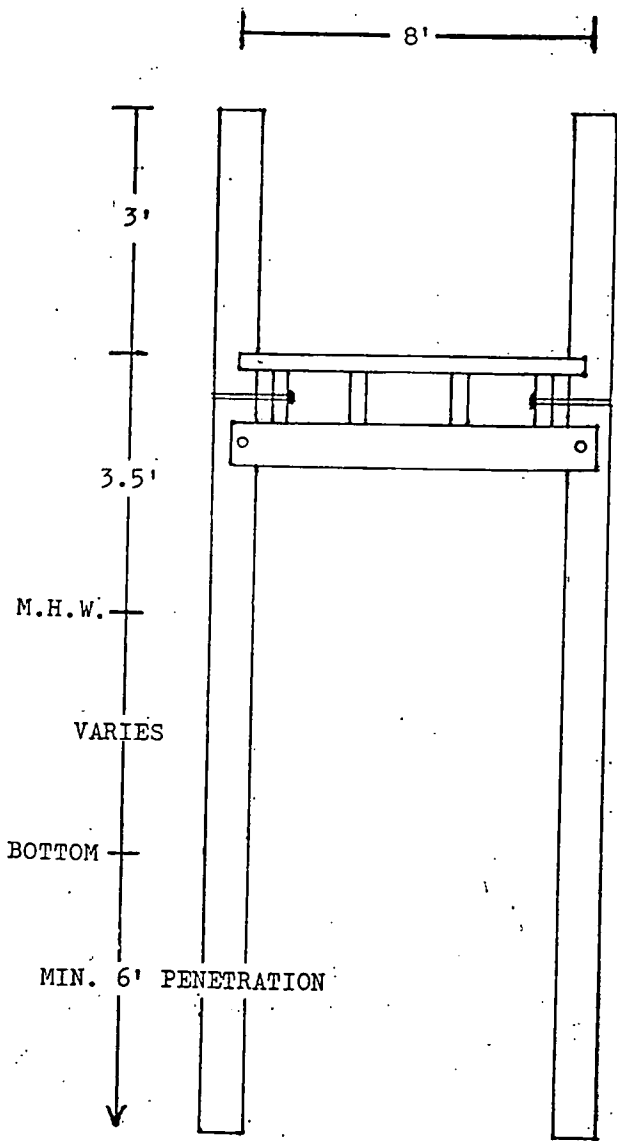
LEE BROCK P.E.
 FL. CERT. NO. 11218

Permitting Cal

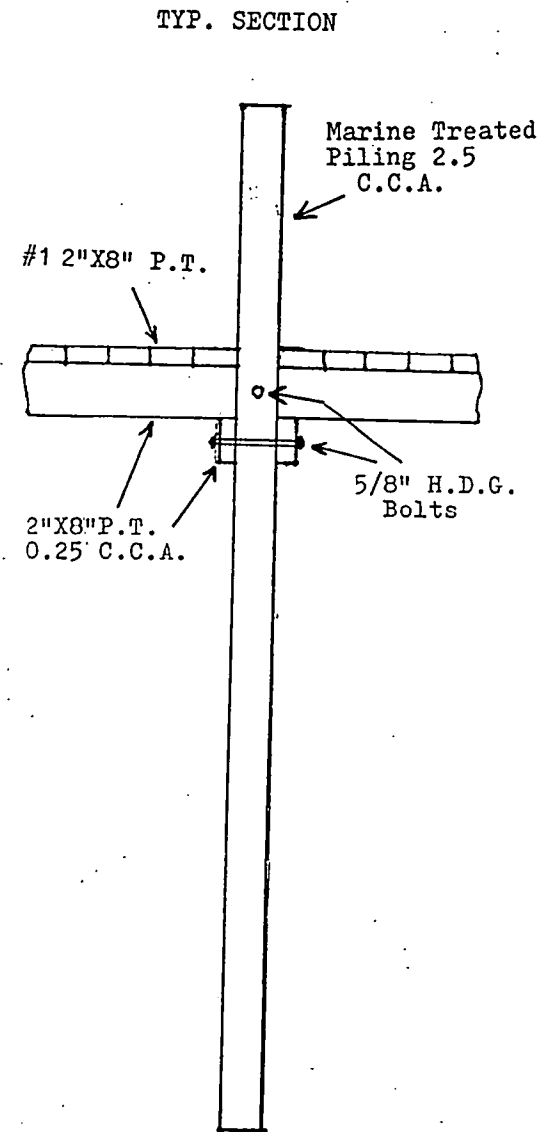
SCALE IN FEET
 0 1 2 3 4



Sect. c.c.



Sect. B.B.



Robert Sandy Construction, Inc.
 3452 N.E. Indian Drive
 Jensen Beach, FL 34957
 407-334-3045

3385

DEMOLITION

3385

DATE 5-13-93

TAX FOLIO NO.

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner ^{Bald} Mr. A. Lewksbury Present Address 6680 SE Harbour Circle

Phone 225-2858 STUART, FL 34996

Contractor Thomas B. Cushing Demo. Address 8210 8th Rd. N. W. DB. 33411

Phone 407-793-6173

Where licensed Martin County License Number SPO 1624

Electrical Contractor License Number 91520 112

Plumbing Contractor License Number

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: ONE STORY CBS HOUSE

(demolish)

State the street address at which the proposed structure will be built: 21 NE Lagoon Island CT Sewall's Point

Subdivision PLANTATION Lot Number Block Number

Contract Price \$ 4700.- Cost of Permit \$ 40.00

Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector of Town Commissioner "Red-Tagging" the construction project.

Contractor Paul S. Cushing

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner A. Lewksbury

TOWN RECORD Approved: R. J. Mary Building Inspector Date

Date submitted 5/12/93

Approved: Commissioner Date Final Approval given: Date

Certificate of Occupancy issued(if applicable) Date

Permit No. 3385

CERTIFICATE OF INSURANCE

ISSUE DATE (MM/DD/YY)

5/12/93

PRODUCER

Poe and Associates
1401 Forum Way, 6th Floor
West Palm Beach, FL 33401

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW

COMPANIES AFFORDING COVERAGE

- COMPANY LETTER **A** ESSEX INSURANCE COMPANY
- COMPANY LETTER **B** INSURANCE COMPANY OF NORTH AMERICA
- COMPANY LETTER **C** LUMBERMAN'S MUTUAL CASUALTY COMPANY
- COMPANY LETTER **D**
- COMPANY LETTER **E**

INSURED

Thomas Cushing Demolition
8210 8th Road North
West Palm Beach FL 33411

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFF. DATE (MM/DD/YY)	POLICY EXP. DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	3AF4267	1/17/93	1/17/94	BODILY INJURY OCC.	
	<input type="checkbox"/> COMPREHENSIVE FORM				BODILY INJURY AGG.	
	<input checked="" type="checkbox"/> PREMISES/OPERATIONS UNDERGROUND EXPLOSION & COLLAPSE HAZ. PRODUCTS/COMPLETED OPER.				PROP. DAMAGE OCC.	
	<input type="checkbox"/> CONTRACTUAL				PROP. DAMAGE AGG.	
	<input type="checkbox"/> INDEPENDENT CONTRACTORS				BI & PD COMBINED OCC	1,000,000
	<input type="checkbox"/> BROAD FORM PROP. DAMAGE				BI & PD COMBINED AGG	1,000,000
	<input type="checkbox"/> PERSONAL INJURY				PERSONAL INJURY AGG	
B	AUTOMOBILE LIABILITY	H01120165	3/17/93	3/17/94	BODILY INJURY (Per person)	300,000
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per accident)	
	<input type="checkbox"/> ALL OWNED AUTOS (Priv Pass)				PROPERTY DAMAGE	
	<input type="checkbox"/> ALL OWNED AUTOS (Other Than Priv Pass)				BODILY INJURY & PROPERTY DAMAGE COMBINED	
	<input type="checkbox"/> HIRED AUTOS				EACH OCCURRENCE	
	<input checked="" type="checkbox"/> SCHEDULED AUTO				AGGREGATE	
C	EXCESS LIABILITY	3BA041449	2/2/93	2/2/94	<input checked="" type="checkbox"/> STATUTORY LIMITS	
	<input type="checkbox"/> UMBRELLA FORM				EACH ACCIDENT	100,000
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM				DISEASE-POLICY LIMIT	500,000
	WORKERS' COMPENSATION AND EMPLOYER'S LIABILITY				DISEASE-EACH EMP.	100,000
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

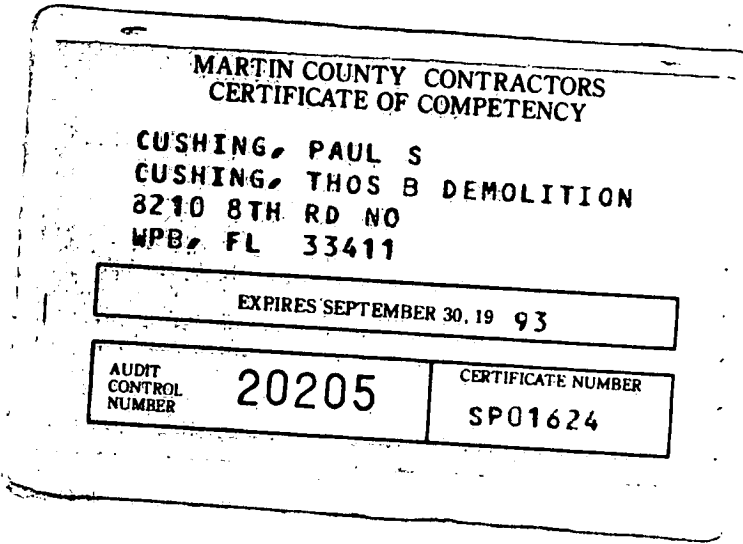
CERTIFICATE HOLDER

TOWN OF SEWALLS POINT

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE



MARTIN COUNTY
1992 COUNTY OCCUPATIONAL LICENSE 1993

LICENSE 91-520-112 CERT SP MC 12/16/92
PHONE 407-793-6173 SIC NO. 1795
LOCATION: 8210 8TH RD N

NOTE - A PENALTY IS IMPOSED FOR FAILURE TO KEEP THIS LICENSE EXHIBITED CONSPICUOUSLY AT YOUR ESTABLISHMENT OR PLACE OF BUSINESS.

THIS FORM BECOMES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING MACHINE SHOWING TRANSACTION NUMBER, DATE AND AMOUNT PAID.

PENALTY 10% FOR MONTH OF OCTOBER,
5% ADDITIONAL EACH MONTH THEREAFTER UP TO 25% PLUS COLLECTION COSTS.

33 52011291 00002100 2

PREV YR. \$ _____ LIC. FEE \$ 9.00
TRANSFER \$ _____ HAZ. WST. \$ 10.00
DEL. PEN \$ 1.80 COL. FEE \$ 2.00
SUBTOTAL \$ _____ SUBTOTAL \$ 21.00
TOTAL 22.80

MAKE CHECKS PAYABLE TO:

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(407) 288-5604

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF **DEMOLITION CONTRACTOR**

THOMAS B CUSHING DEMOLITION
8210 8TH RD N
WEST PALM BEACH FL 33411

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

1ST DAY OF OCTOBER 19 92 SEC. _____
AND ENDING FIRST DAY OF OCTOBER A.D. 1993.

ORIGINAL

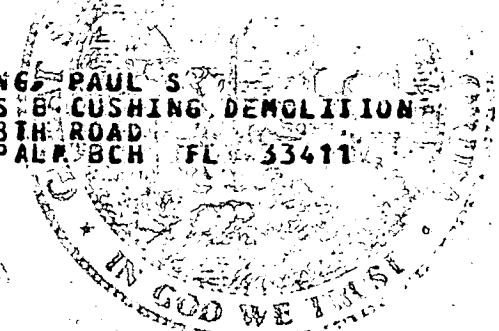
LARRY O'STEEN-TC080003582 ALL 04 12/16/92
OCCUPATIONAL \$ 052011291

AC# 1672575 STATE OF FLORIDA
DEPARTMENT OF PROFESSIONAL REGULATION
 CONSTRUCTION INDUSTRY LICENSING BOARD

DATE	LICENSE NO.	BATCH NO.
02/26/92	RX 0064525	05382

THE REG. MISCELLANEOUS SPECIALTY CONTR
 NAMED BELOW HAS REGISTERED
 UNDER THE PROVISIONS OF CHAPTER 489 F.S. FOR THE YEAR
 EXPIRING AUG 31, 1993 (MUST MEET ALL LOCAL LICENSING
 REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA)

CUSHING, PAUL S
 THOMAS B. CUSHING DEMOLITION
 8210 8TH ROAD
 WEST PALM BCH FL 33411



Lawton Chiles
 LAWTON CHILES
 GOVERNOR

DISPLAY IN A CONSPICUOUS PLACE

George Stuart, Jr.
 GEORGE STUART, JR.
 SECRETARY, D.P.R.

02/26/92 AUDIT CONTROL NO. 1672575
 LICENSE NO. BATCH NO. AMOUNT PAID
 RX 0064525 05382 \$104.00
 CONSTRUCTION INDUSTRY LICENSING BOARD
 POST OFFICE BOX 2
 JACKSONVILLE, FL 32201

Paul S. Cushing
 LICENSEE SIGNATURE

(WALLET CARD — FOLD HERE)

STATE OF FLORIDA
 DEPARTMENT OF PROFESSIONAL REGULATION
 CONSTRUCTION INDUSTRY
 LICENSING BOARD

REG MISCELLANEOUS SPECIALTY CONTR
 CUSHING, PAUL S
 THOMAS B CUSHING DEMOLITION
 (INDIV. MUST MEET LOCAL LICENSING
 REG. PRIOR TO CONTR. IN ANY AREA)
 HAS PAID THE FEE REQUIRED BY CHAPTER 489 F.S.
 FOR THE YEAR EXPIRING AUG 31, 1993

Lawton Chiles
 LAWTON CHILES
 GOVERNOR

George Stuart, Jr.
 GEORGE STUART, JR.
 SECRETARY, D.P.R.

3721

BRIDGE

Permit No. _____

TOWN OF SEWALL'S POINT

Date 11-16-94

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, STORAGE OR AN OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Baird Tewksbury Present Address 6680 SE Harbor Circle
Phone 225-2858 Stuart, FL 34996

Contractor Robert Sandy Construction, Inc. Address 3452 NE Indian Drive
Phone 407-334-3046 Jensen Beach, FL 34957

Where licensed State of Florida License number CGC040310

Electrical contractor License number _____

Plumbing contractor License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: construction of a 4'x80' cross over

bridge

State the street address at which the proposed structure will be built:

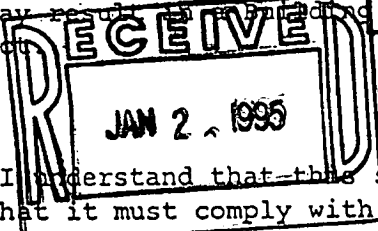
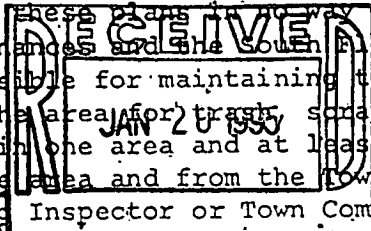
3 NE Lagoon Island Court

Subdivision: Plantation Lot number 11 Block number _____

Contract price \$ 5800.00 Cost of permit \$ 48.00

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in the area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.



Contractor Robert Sandy

I understand that the structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Baird Tewksbury

TOWN RECORD

Date submitted _____ Approved: Rob Brown 1/20/95
Building Inspector Date

Approved: [Signature] Commissioner Date Final Approval given: _____ Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

PERMIT # _____ TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENTS WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS, IF KNOWN)

LOT 11 OF THE PLANTATION OF SEWALL'S POINT 3 NE LAGOON ISLAND COURT

GENERAL DESCRIPTION OF IMPROVEMENTS CONSTRUCTION OF A 4' X 80' CROSS OVER BRIDGE

OWNER BAIRD TEWKSBURY

ADDRESS 6680 SE HARBOR CIRCLE, STUART, FL 34996

OWNER'S INTEREST IN PROPERTY SELF

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER) _____

ADDRESS _____

CONTRACTOR ROBERT SANDY CONSTRUCTION, INC.

ADDRESS 3452 N.E. INDIAN DRIVE, JENSEN BEACH, FLA. 34957

SURETY CO. (IF ANY) _____

ADDRESS _____ AMT. OF BOND _____

LENDER'S NAME _____

ADDRESS _____

PERSON WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.3(1) (A)7., FLORIDA STATUTES:

NAME _____

ADDRESS _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1) (B), FLORIDA STATUTES.

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: THE EXPIRATION DATE IS 1 YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED.

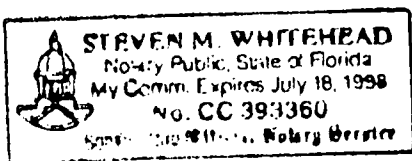
Baird Tewksbury
SIGNATURE OF OWNER

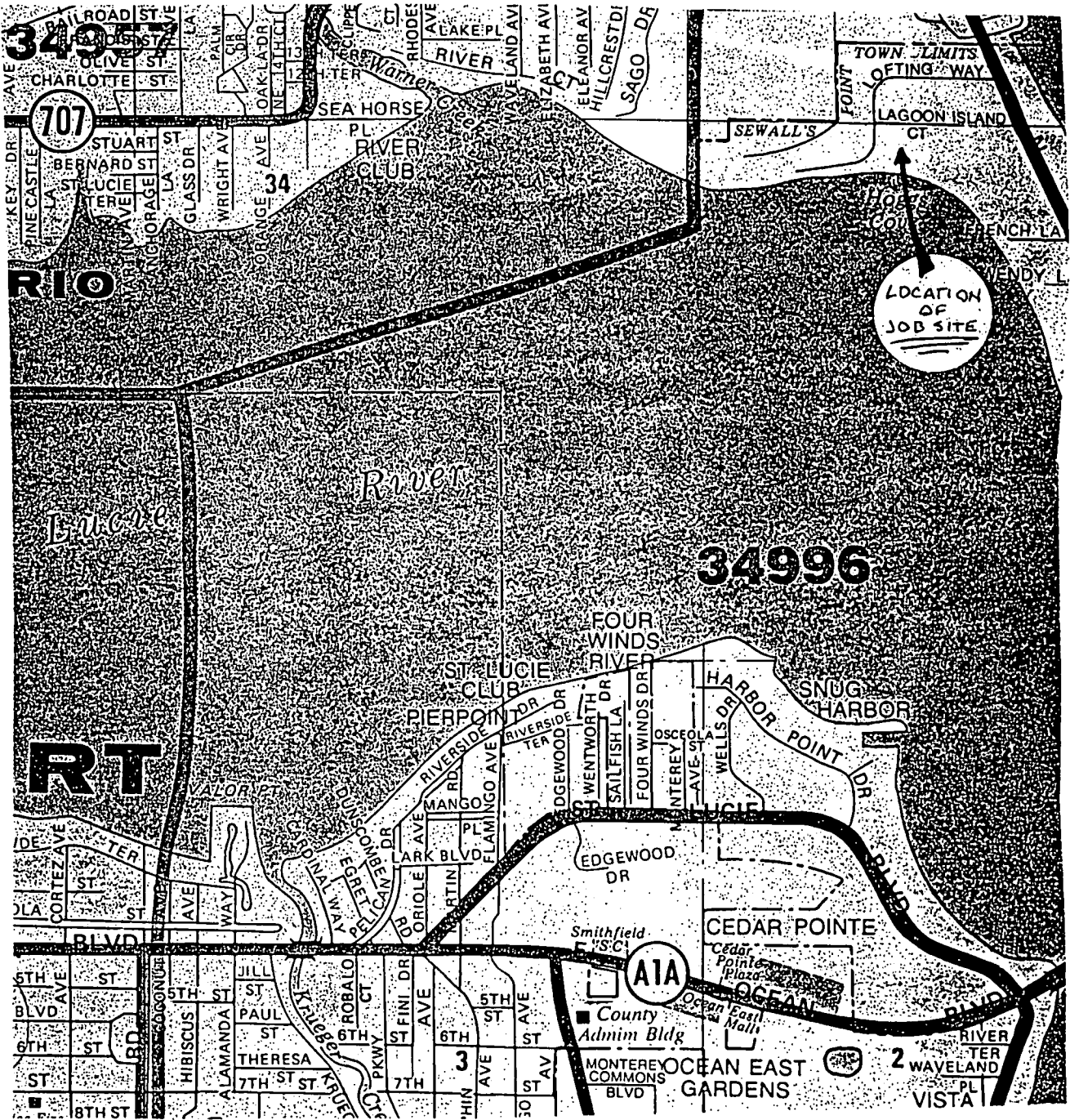
STATE OF FL.

COUNTY OF MARTIN

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20 DAY OF OCTOBER, 1994, BY BAIRD TEWKSBURY WHO IS KNOWN TO ME OR WHO PRODUCED FL. DRIVERS LICENSE AND WHO DID NOT TAKE AN OATH.

Steven M. Whitehead
NOTARY SIGNATURE





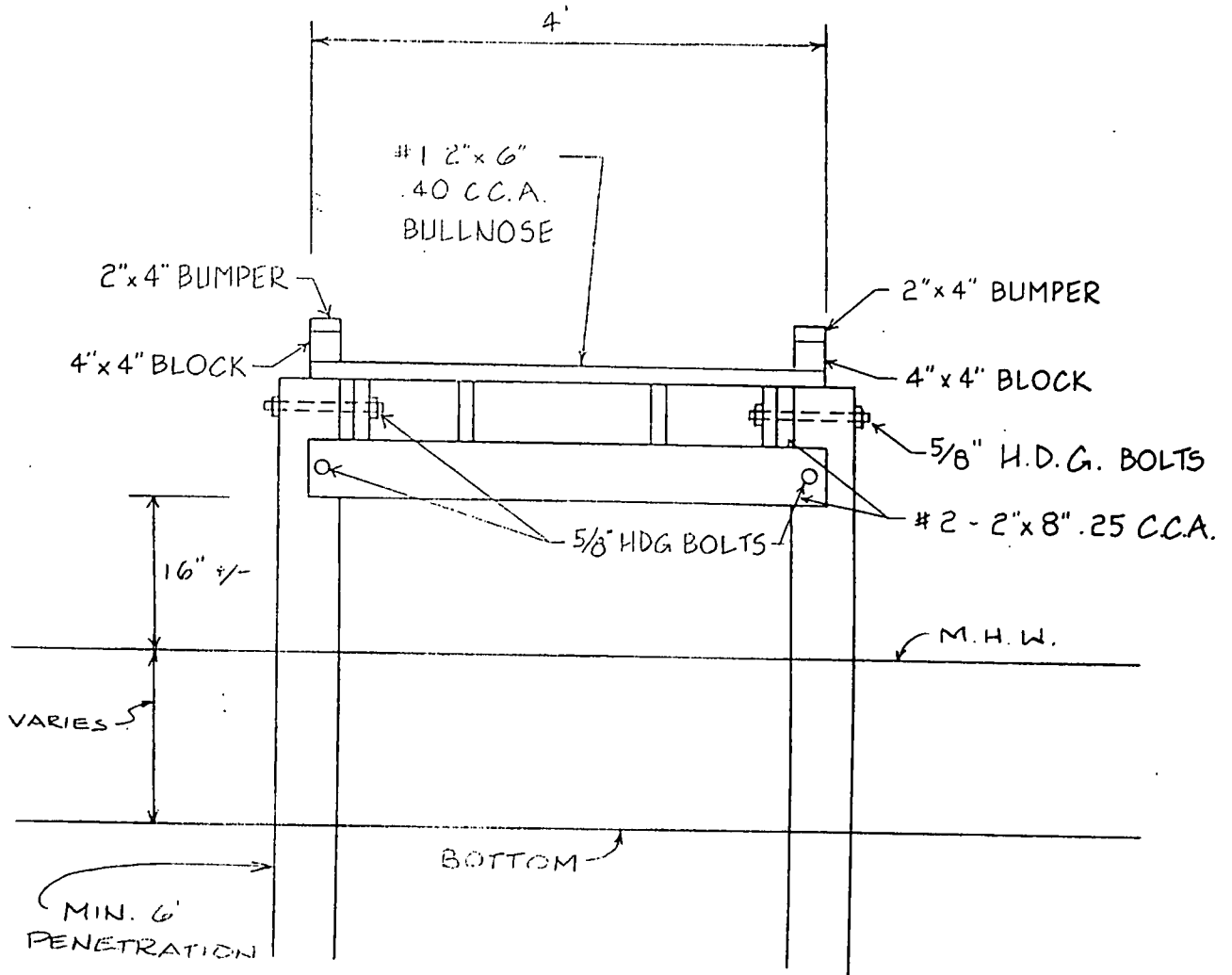
LOT 11 OF THE PLANTATION SEWALLS PT.

PN#
3721

PROPOSED CROSS OVER
BRIDGE FOR TEWKSBURY

ROBERT SANDY CONSTRUCTION, INC.
3452 N.E. INDIAN DR.
JENSEN BCH., FLA. 34957 (407)334-3046

TYPICAL SECTION

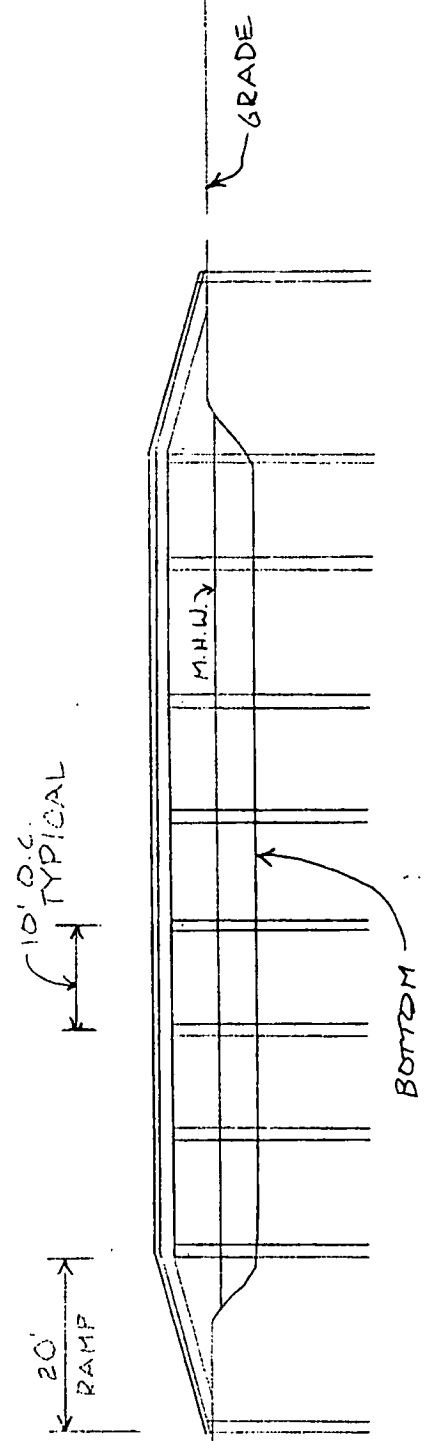


CROSS OVER BRIDGE

* NOT TO SCALE

PROPOSED CROSS OVER BRIDGE
FOR: TEWKSBURY

ROBERT SANDY CONSTRUCTION, INC.
3452 N.E. INDIAN DR.
JENSEN BCH., FLA. 34957 (407) 334 - 3046



* NOT TO SCALE

PROPOSED CROSS-OVER
BRIDGE FOR TEWKSBURY

ROBERT SANDY CONSTRUCTION, INC.
3452 N.E. INDIAN DR.
JENSEN BCH., FLA. 34957 (407) 334-3046

ST. LUCIE RIVER

POND

POND

POND

91' ±

4'

30'

80'

125' ±

LOT 11
PLANTATION

PROPOSED
CROSS OVER
BRIDGE

PROPERTY
LINE

PROPERTY
LINE

* NOT TO SCALE

PROPOSED CROSS OVER
BRIDGE FOR: TEWKSBURY

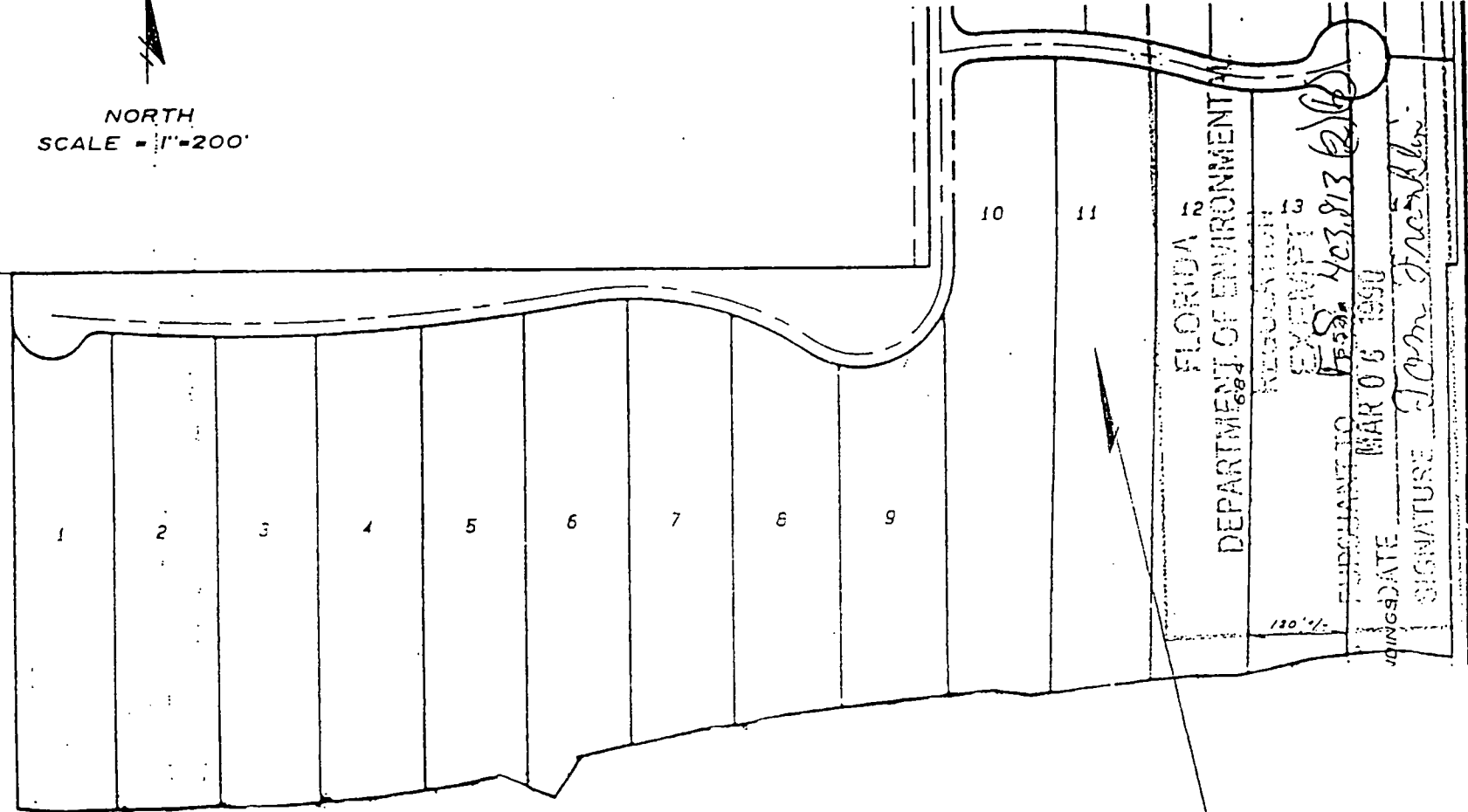
ROBERT SANDY CONSTRUCTION, INC.
3452 N.E. INDIAN DR.
JENSEN BCH., FLA. 34957 (407) 334-3046

PROPOSED CROSS OVER
BRIDGE FOR: TENKSBURY

ROBERT SANDY CONSTRUCTION, INC.
3452 N.E. INDIAN DR.
JENSENBCH, FLA. 34957 (407)334-3046

APPROX. RIPARIAN LINE & SET-BACK
PER TOWN OF SEWALL'S POINT

NORTH
SCALE = 1"=200'



APPROXIMATE
LOCATION
OF JOB SITE

← FLOOD
E88 →

ST. LUCIE RIVER
(OKEECHOBEE
WATERWAY)

FLORIDA
DEPARTMENT OF ENVIRONMENT
& REGULATION

PERMIT NO. 403,813 (2)(B)
PURCHASANT TO
DATE MAR 06 1990
SIGNATURE Tom Franklyn

4036

SFR

TOWN OF SEWALL'S POINT BUILDING PERMIT

PARCEL CONTROL NUMBER _____

PERMIT NUMBER 4036
DATE ISSUED 8/19/96

OWNER MJ Grouzdev
ADDRESS _____
CITY/ST/ZIP SP
TELEPHONE _____

CONTRACTOR OR OWNER/BLDR. MJD
ADDRESS 935 Barnett Drive
CITY/ST/ZIP Leh Worth
TELEPHONE 854-3028

FLOOD ZONE N/A
TO BE CONSTRUCTED HOUSE
SITE ADDRESS 3 Island Legion Court
SUBDIVISION Plantation
CONSTRUCTION VALUE 600.00

FEES

REMODELING/NEW CONSTRUCTION _____
IMPACT 1500.00
RADON 120.00
SEPTIC _____
WELL _____
FENCE _____
POOL _____
DOCK _____

PLUMBING 100.00
ELECTRICAL 100.00
MECH./A.C. 100.00
ROOF 100.00
WALL _____
POOL ENCLOSURE _____
OWNER/BUILDER _____

TOTAL 6828.00
PAID BY CHECK 4948

BUILDING INSPECTION
(SIGN OFF)

(FOR OFFICIAL USE ONLY)

FORM BOARD SURVEY _____ DATE _____
ROUGH PLUMBING _____ DATE _____
TERMITE PROTECTION _____ DATE _____
FOOTING-SLAB _____ DATE _____
LINTEL _____ DATE _____
ROUGH ELECTRIC MAIN HOUSE _____ DATE _____
FRAMING MAIN HOUSE _____ DATE _____
A/C DUCTS MAIN HOUSE _____ DATE _____

NAILING _____ DATE 4/2/97
ROOF _____ DATE _____
INSULATION Ext walls _____ DATE 5/8/97
FINAL ELECTRIC _____ DATE _____
FINAL PLUMBING _____ DATE _____
SEPTIC FINAL _____ DATE _____
DRIVEWAY _____ DATE _____
FINAL C.O. _____ DATE _____

PERMIT AUTHORIZED BY Dale Brown

- Call 287-2455 from 8:00 a.m. to 4:00 p.m. for inspections.
- Requests for inspections require 24 hours notice.
- All work must be in compliance with the Town of Sewall's Point ordinances, the South Florida Building Code, the State of Florida Energy Efficiency Building Code and Elevations based on the latest flood insurance rate map.
- Portable toilet facilities and haul-off trash container must be in job site before initial inspection.
- Working hours are from 8:00 a.m. to 5:00 p.m. Monday through Saturday.
- No trucks, trailers or other commercial vehicles may be left on job site overnight unless totally concealed. Violators will be cited. Questions regarding such equipment should be directed to the Building or Police Departments.

4036

Tax Folio No. _____

TOWN OF SEWALL'S POINT, FLORIDA

BUILDING PERMIT APPLICATION

Owner's Name CROZDEV RESIDENCE

Owner's Address 1918 S.E. Port St Lucie Blvd Port St Lucie FL 34952

Owner's Telephone 561-398-1544

Fee Simple Titleholder's Name (if other than owner) _____

Fee Simple Titleholder's Address (if other than owner) _____

City _____ State _____ Zip _____

Contractor's Name MJD CONSTRUCTION SERVICES INC.

Contractor's Address 935 BARNETT DRIVE

City LAKE WORTH State FL Zip 33460

Contractor's Telephone 407 588 8494 License Number CGC021925

Job Name CROZDEV RESIDENCE

Job Address LOT 11 THE PLANTATION AT SEWALL POINT

City 3 Island Lagoon Court Town of Sewall's Point State Florida Zip 34996

Legal Description _____

Bonding Company None

Bonding Company Address N.A.

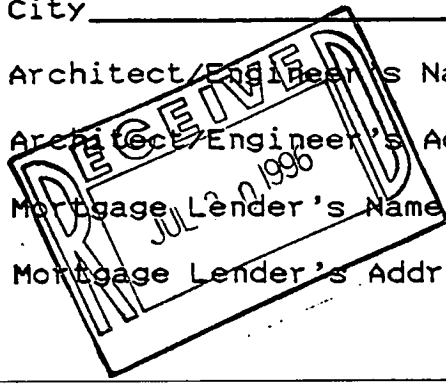
City _____ State _____

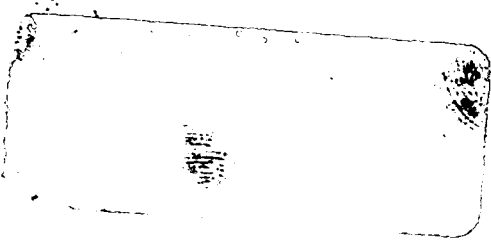
Architect/Engineer's Name GARY KELLY

Architect/Engineer's Address 119 W. SIXTH STREET SUITE FL. 34994

Mortgage Lender's Name JEFFERSON BANK OF FLORIDA

Mortgage Lender's Address 2900 HOLLYWOOD BLVD HOLLYWOOD FL.





GAME ROOM

17 Lot. Patrick 11/18/96
Exterminating Inc.
3061 S.E. JAY ST.
STUART, FL 34997
407-286-6812 / 407-546-3722

GARAGE

17 Lot 96 Patrick 11/18/96
Exterminating Inc.
3061 S.E. JAY ST.
STUART, FL 34997
407-286-6812 / 407-546-3722

MAIN SLAS ELEV. 23'0"

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS APPLICATION, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, MARTIN COUNTY, STATE AGENCIES, OR FEDERAL AGENCIES.

Plumbing Contractor FRANKS PLUMBING License No. _____

Electrical Contractor RUSO & SONS ELECTRIC License No. _____ ✓

Roofing Contractor TOTAL ROOFING License No. _____

A/C Contractor SASSO AIR CONDITIONING License No. _____

Description of Building or Alterations _____

10,000\$ SINGLE FAMILY RESIDENCE

Name of Street Designated as Front Building Line and Front Yard _____

Subdivision PLANTATION AT SEWELL POINT Lot 11 Block _____

Building Area (air conditioned) 8500 sq. ft.

Garage, Porch, Carport Area 7500 sq. ft.

Contract Price (excluding carpet, land, appliance, landscaping)

\$ 600,000

M. L. Giddens
(Owner or Authorized Agent)

DATE 7-24-96

Sworn and Subscribed before me this

12th day of August 1996

(SEAL)

Joan H. Barrow
NOTARY PUBLIC
State of Florida at Large
My Commission Expires:

OFFICIAL NOTARY SEAL
JOAN H BARROW
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. CC423705
MY COMMISSION EXP. NOV. 30, 1998

M. L. Giddens
(Contractor)

DATE 7-23-96

Sworn and Subscribed before me this

12th day of August 1996

(SEAL)

Joan H. Barrow
NOTARY PUBLIC
State of Florida at Large
My Commission Expires:

OFFICIAL NOTARY SEAL
JOAN H BARROW
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. CC423705
MY COMMISSION EXP. NOV. 30, 1998

Certificate of Competency Holder

Contractor's State Certification or Registration No. 66021925

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY Dale Brown 8/12/96 Permit Officer

For Official Use Only

Plans approved as submitted _____ Date _____

Plans approved as marked ✓ Date 8/12/96

A/C Area 8500 sq. ft. x \$60. = \$ 510,000.00

Non A/C Area 3500 sq. ft. x \$25. = \$ 87,500.00

Total = \$ 597,500.00

Contract Price \$ 600,000.00 (fee will be charged on higher amount)

600,000 M. x \$8.00 = \$ 4,800 Building Fee
 25% Owner/Builder Fee \$ N/A (if applicable)
 A/C Fee \$ 100.00
 Electrical Fee \$ 100.00
 Plumbing Fee \$ 100.00
 Roofing Fee \$ 100.00
 Radon Fee \$ 120.00
 County Impact Fee \$ 1508.20
 TOTAL PERMIT FEE \$ 6828.20
 PAYMENT RECEIVED Dele Brun 8/14/06
 Signature Date

Contractor's License ✓
 Sub-Contractors' Licenses _____
 Workers' Comp. Insurance CALLED IN for CERTIFICATE
 General Liability Insurance " " "
 Three sets of Plans 2 SETS
 Plans sealed by architect or engineer YES
 Plot Plan YES
 Boundary survey _____
 Topographic survey certified to the YES
 Town of S.P.
 Recorded warranty deed YES
 Septic tank permit N.A.
 Energy Code calculations YES
 Elevation certificate _____
 Recorded notice of commencement YES ✓
 Application for c.o. YES

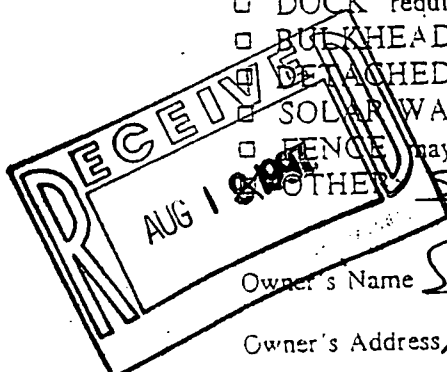
Town of Sewall's Point

P.I.N. _____

Date 7-11-97

ACCESSORY STRUCTURE PERMIT APPLICATION
to construct:

- DOCK requires prerequisite approval from State and Army Corps of Engineers.
- BULKHEAD requires prerequisite approval from State and Army Corps of Engineers.
- DETACHED GARAGE SWIMMING POOL WALL
- SOLAR WATER HEATER SCREENED ENCLOSURE
- FENCE may not require sealed drawings.
- OTHER STORM PANELS



Owner's Name SERGEI + VICTORIA BROUDEV
 Owner's Address 10223 S.E. LENNARD ROAD PORT St. LUCIE FL. 34952

Fee Simple Titleholder's Name (If other than owner) N.A.

Fee Simple Titleholder's Address (If other than owner) N.A.

City _____ State _____ Zip _____

Contractor's Name MJD CONSTRUCTION SERVICES INC.

Contractor's Address 3569 91ST STREET

City LAKE PARK State FL. Zip 33403

Job Name BROUDEV RESIDENCE

Job Address 3 LAGOON ISLAND

City SEWALL POINT County MARTIN

Legal Description _____

Bonding Company NONE

Bonding Company Address N.A.

City N.A. State N.A.

Architect/Engineer's Name Kelly + Kelly

Architect/Engineer's Address 119 WEST 6TH STREET SUITE #1 34994

Mortgage Lender's Name JEFFERSON BANK OF FLORIDA

Mortgage Lender's Address 2434 HOLLYWOOD BLVD. HOLLYWOOD

Handwritten notes:
 FINANCIAL
 10/10/97
 [Signature]

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.



4036
STORM SUTTERS

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
Owner or Agent

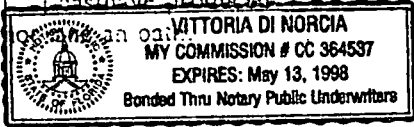
7-15-97
Date

[Signature]
Contractor

7-15-97
Date

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 15 day of July 1997, by GRISHA GROUDREGER who: is/are personally known to me, or has/have produced personally known as identification, and who did



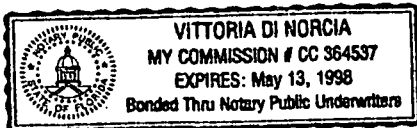
[Signature] per Vittoria DiNoccia
Name: Grisha Groudreger VITTORIA DINOCIA

(NOTARY SEAL)

Typed, printed or stamped
I am a Notary Public of the State of Florida having a commission number of CC 364537 and my commission expires: MAY 13, 1998

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 15th day of July 1997, by Michael J. DiEgidio who: is/are personally known to me, or has/have produced personally known as identification, and who did not take an oath.



(NOTARY SEAL)

Vittoria DiNoccia
Name: VITTORIA DINOCIA
Typed, printed or stamped
I am a Notary Public of the State of Florida having a commission number of CC 364537 and my commission expires: MAY 13, 1998

Certificate of Competency Holder

Contractor's State Certification or Registration No. CC021925

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY [Signature] Permit Officer

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

EFFECTIVE DATE OF EXEMPTION 05/08/95
EXEMPTED INDIVIDUAL NAME RUSSO DONALD G
SOCIAL SECURITY NUMBER 351-20-0117
BUSINESS NAME RUSSO & SONS ELECTRIC INC
FEDERAL IDENTIFICATION NUMBER 592594800
BUSINESS ADDRESS 3405 SOUTH LAKE DRIVE
BOYNTON BCH, FL 33435

NOTE: Pursuant to chapter 440.10(1)(g).2, F.S., a sole proprietor, partner, or officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

F
O
L
D

H
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R
E

Russell A. Morris

AUTHORIZED SIGNATURE

CUT HERE

* Carry bottom portion on the job, keep upper portion for your records.

**PALM BEACH COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY**

EXPIRES SEPTEMBER 30 19 99

CERTIFICATE NUMBER

U-13092

NAME: EDWARD DRIZIN
FIRM: RUSSO & SONS ELECTRIC INC.

3408 S LAKE DR
BOYNTON BEACH, FL

33435

FEE : 105.00

CERTIFIED
CONTRACTOR ELECTRICAL

ID #0007482

08/14/99

SIGNATURE:

Edward Drizin

ATTEST:

J. Mitchell

CONSTRUCTION INDUSTRY LICENSING BOARD
OF PALM BEACH COUNTY

01123807

95 JUN 26 AM 8:28

Return to Preparer
THIS INSTRUMENT PREPARED BY:

LEIGH A. WILLIAMS, Esquire
CRARY, BUCHANAN, BOWDISH, BOVIE,
LORD, ROBY & EVANS, CHARTERED
555 S.W. Colorado Avenue, Suite 1
Post Office Drawer 24
Stuart, Florida 34995-0024
(407) 287-2600

DOC-DEED \$ 4753.00 MARSHA STILLER
DOC-MTA _____ MARTIN COUNTY
DOC-ASWD _____ CLERK OF CIRCUIT COURT
INT. TAX \$ _____ BY TC D.C.

Parcel ID # 26-37-41-013-000-00110-30000

Grantee #1 SS # _____
Grantee #2 SS # _____

WARRANTY DEED

THIS INDENTURE, Made this 22nd day of June, 1995, Between BAIRD TEWKSBURY and GERALDINE TEWKSBURY, his wife, grantor*, and SERGUEI GROUZDEV and VICTORIA GROUZDEV, his wife, whose post office address is 1918 S.E. Port St. Lucie Blvd, Port St. Lucie, Florida 34952, grantee*,

WITNESSETH, That said grantor, for and in consideration of the sum of TEN AND NO/100 (\$10.00) Dollars, and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee, and grantee's heirs and assigns forever, all that certain land situate in Martin County, Florida, to-wit:

Lot 11, THE PLANTATION AT SEWALL'S POINT, according to the Plat thereof recorded in Plat Book 12, page 70, Martin County, Florida public records.

SUBJECT TO conditions, restrictions, reservations, limitations and easements of record; zoning and other regulatory ordinances; and taxes for the year 1995 and subsequent years.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*"Grantor" and "grantee" are used for singular and plural, as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Leigh A. Williams
Print name of Witness Leigh A. Williams

Patricia H. Griffin
Print name of Witness PATRICIA H. GRIFFIN

Baird Tewksbury
BAIRD TEWKSBURY
Address: 6680 S.E. Harbor Circle, Stuart, FL 34996

Geraldine Tewksbury
GERALDINE TEWKSBURY
Address: 6680 S.E. Harbor Circle, Stuart, FL 34996

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 22nd day of June 1995, by BAIRD TEWKSBURY and GERALDINE TEWKSBURY, his wife, (PLEASE CHECK ONE OF THE FOLLOWING) [] who are personally known to me or [X] who have produced DRIVERS LICENSE (TYPE OF IDENTIFICATION) as identification.

(Notary Seal)

Patricia H. Griffin
Print Name PATRICIA H. GRIFFIN
Notary Public State of FLORIDA
Commission No. _____
My Commission Expires: _____

BONDED THRU TROY FAIR INSURANCE, INC.
NOVEMBER 1, 1998
MY COMMISSION # CC406915 EXPIRES
PATRICIA H. GRIFFIN



PATRICIA H. GRIFFIN
MY COMMISSION # CC406915 EXPIRES
November 1, 1998
BONDED THRU TROY FAIR INSURANCE, INC.

OR BK 1 2 8 PGO 9 4 9

1
W

RIGHT-J LOAD AND EQUIPMENT SUMMARY

File name: GROUZDEV.BLD
 For: GROUZDEV RESIDENCE
 LOT 11/THE PLANTATION
 SEWALL'S POINT FL 34996

9/27/95

By: VERIFY ALL CALCULATIONS WITH LICENSED
 AIR CONDITIONING CONTRACTOR/PRIOR TO STARTING
 THE WORK

FIVE ZONE/TWO STORY

Job #: GROUZDEV RESIDENCE
 Wthr : West Palm Beach AP FL
 Zone : Entire House

WINTER DESIGN CONDITIONS

Outside db: 45 Deg F
 Inside db: 70 Deg F
 Design TD: 25 Deg F

SUMMER DESIGN CONDITIONS

Outside db: 91 Deg F
 Inside db: 75 Deg F
 Design TD: 16 Deg F
 Daily Range M
 Rel. Hum. : 50 %
 Grains Water 60 gr

HEATING SUMMARY

Bldg. Heat Loss 138179 Btuh
 Ventilation Air 650 CFM
 Vent Air Loss 17875 Btuh
 Design Heat Load 156054 Btuh

SENSIBLE COOLING EQUIP LOAD SIZING

Structure 160396 Btuh
 Ventilation 11440 Btuh
 Design Temp. Swing 3.0 Deg F
 Use Mfg. Data n
 Rate/Swing Mult. 0.95
 Total Sens Equip Load 163244 Btuh

INFILTRATION

Method	Simplified	
Construction Quality	Average	
Fireplaces	0	
	HEATING	COOLING
Area (sq.ft.)	8547	8547
Volume (cu.ft.)	88206	88206
Air Changes/Hour	0.7	0.4
Equivalent CFM	1031	589

LATENT COOLING EQUIP LOAD SIZING

Internal Gains 7820 Btuh
 Ventilation 26520 Btuh
 Infiltration 24040 Btuh
 Tot Latent Equip Load 58380 Btuh
 Total Equip Load 221624 Btuh

HEATING EQUIPMENT SUMMARY

Make
 Model
 Type

Efficiency / HSPF 0.0
 Heating Input 0 Btuh
 Heating Output 0 Btuh
 Heating Temp Rise 0 Deg F
 Actual Heating Fan 7674 CFM
 Htg Air Flow Factor 0.056 CFM/Btuh

Space Thermostat

COOLING EQUIPMENT SUMMARY

Make
 Model
 Type

COP/EER/SEER 10.0
 Sensible Cooling 0 Btuh
 Latent Cooling 0 Btuh
 Total Cooling 0 Btuh
 Actual Cooling Fan 7674 CFM
 Clg Air Flow Factor 0.048 CFM/Btuh

Load Sens Heat Ratio 83

ELEVATION CERTIFICATE

FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No. 3067-0077
Expires July 31, 1999

ATTENTION: Use of this certificate does not provide a waiver of the flood insurance purchase requirement. This form is used only to provide elevation information necessary to ensure compliance with applicable community floodplain management ordinances, to determine the proper insurance premium rate, and/or to support a request for a Letter of Map Amendment or Revision (LOMA or LOMR). You are not required to respond to this collection of information unless a valid OMB control number is displayed in the upper right corner of this form.

Instructions for completing this form can be found on the following pages.

SECTION A PROPERTY INFORMATION

BUILDING OWNER'S NAME <u>Serguei Grouzdev & Victoria Grouzdev</u>	RECEIVED FOR INSURANCE COMPANY USE MAR 24 2000 NUMBER BY: <u>EA</u> COMPANY NAME NUMBER
STREET ADDRESS (Including Apt., Unit, Suite and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER <u>N.E. Lagoon Island Court #3 LAGOON ISLAND CT.</u>	
OTHER DESCRIPTION (Lot and Block Numbers, etc.) <u>Lot 11, The Plantation</u>	
CITY <u>Jensen Beach, Florida</u>	STATE <u>FL</u>
ZIP CODE <u>33455</u>	

SECTION B FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM (See Instructions).

1. COMMUNITY NUMBER	2. PANEL NUMBER	3. SUFFIX	4. DATE OF FIRM INDEX	5. FIRM ZONE	6. BASE FLOOD ELEVATION (in AO Zones, use depth)
120164	0002	D	6-16-92	AE	8

7. Indicate the elevation datum system used on the FIRM for Base Flood Elevations (BFE): NGVD '29 Other (describe on back)
8. For Zones A or V, where no BFE is provided on the FIRM, and the community has established a BFE for this building site, indicate the community's BFE: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION C BUILDING ELEVATION INFORMATION

1. Using the Elevation Certificate Instructions, indicate the diagram number from the diagrams found on Page 2 that describes the subject building's reference level 1.
- 2(a). FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of 12.3 feet NGVD (or other FIRM datum—see Section B, Item 7).
- (b). FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level from the selected diagram, is at an elevation of 11.5 feet NGVD (or other FIRM datum—see Section B, Item 7).
- (c). FIRM Zone A (without BFE). The floor used as the reference level from the selected diagram is 12.3 feet above or below (check one) the highest grade adjacent to the building.
- (d). FIRM Zone AO. The floor used as the reference level from the selected diagram is 12.3 feet above or below (check one) the highest grade adjacent to the building. If no flood depth number is available, is the building's lowest floor (reference level) elevated in accordance with the community's floodplain management ordinance? Yes No Unknown
3. Indicate the elevation datum system used in determining the above reference level elevations: NGVD '29 Other (describe under Comments on Page 2). (NOTE: If the elevation datum used in measuring the elevations is different than that used on the FIRM [see Section B, Item 7], then convert the elevations to the datum system used on the FIRM and show the conversion equation under Comments on Page 2.)
4. Elevation reference mark used appears on FIRM: Yes No (See Instructions on Page 4)
5. The reference level elevation is based on: actual construction construction drawings
(NOTE: Use of construction drawings is only valid if the building does not yet have the reference level floor in place, in which case this certificate will only be valid for the building during the course of construction. A post-construction Elevation Certificate will be required once construction is complete.)
6. The elevation of the lowest grade immediately adjacent to the building is: 12.2 feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION D COMMUNITY INFORMATION

1. If the community official responsible for verifying building elevations specifies that the reference level indicated in Section C, Item 1 is not the "lowest floor" as defined in the community's floodplain management ordinance, the elevation of the building's "lowest floor" as defined by the ordinance is: feet NGVD (or other FIRM datum—see Section B, Item 7).
2. Date of the start of construction or substantial improvement _____

SECTION E CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state or local law to certify elevation information when the elevation information for Zones A1-A30, AE, AH, A (with BFE), V1-V30, VE, and V (with BFE) is required. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. In the case of Zones AO and A (without a FEMA or community issued BFE), a building official, a property owner, or an owner's representative may also sign the certification.

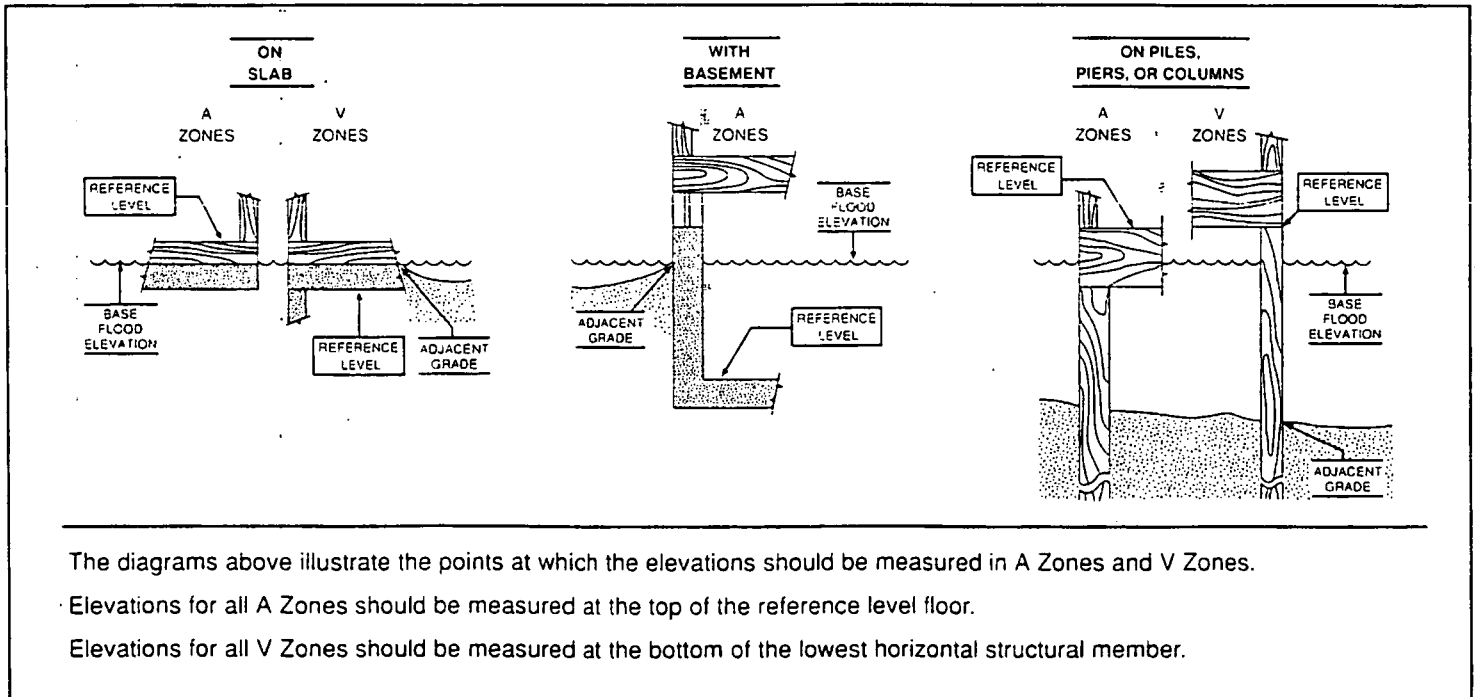
Reference level diagrams 6, 7 and 8 - Distinguishing Features-If the certifier is unable to certify to breakaway/non-breakaway wall, enclosure size, location of servicing equipment, area use, wall openings, or unfinished area Feature(s), then list the Feature(s) not included in the certification under Comments below. The diagram number, Section C, Item 1, must still be entered.

I certify that the information in Sections B and C on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME <i>Edwin R. Matthews, PSM</i>		LICENSE NUMBER (or Affix Seal) <i>3954</i>	
TITLE <i>Professional Surveyor & Mapper</i>		COMPANY NAME <i>Velcon Group, Inc.</i>	
ADDRESS <i>718 SW Port St. Lucie Boulevard</i>		CITY <i>Port St. Lucie, FL</i>	STATE <i>FL</i>
SIGNATURE <i>[Signature]</i>		DATE <i>3-22-00</i>	PHONE <i>561-879-0477</i>

Copies should be made of this Certificate for: 1) community official, 2) insurance agent/company, and 3) building owner.

COMMENTS: _____



RIGHT-J LOAD AND EQUIPMENT SUMMARY

File name: GROUZDEV.BLD

9/27/95

For: GROUZDEV RESIDENCE
 LOT 11/THE PLANTATION
 SEWALL'S POINT

FL 34996

By: VERIFY ALL CALCULATIONS WITH LICENSED
 AIR CONDITIONING CONTRACTOR/PRIOR TO STARTING
 THE WORK

FIVE ZONE/TWO STORY

Job #: GROUZDEV RESIDENCE
 Wthr : West Palm Beach AP
 Zone : Entire House

FL

WINTER DESIGN CONDITIONS

Outside db: 45 Deg F
 Inside db: 70 Deg F
 Design TD: 25 Deg F

SUMMER DESIGN CONDITIONS

Outside db: 91 Deg F
 Inside db: 75 Deg F
 Design TD: 16 Deg F
 Daily Range M
 Rel. Hum. : 50 %
 Grains Water 60 gr

HEATING SUMMARY

Bldg. Heat Loss 138179 Btuh
 Ventilation Air 650 CFM
 Vent Air Loss 17875 Btuh
 Design Heat Load 156054 Btuh

SENSIBLE COOLING EQUIP LOAD SIZING

Structure 160396 Btuh
 Ventilation 11440 Btuh
 Design Temp. Swing 3.0 Deg F
 Use Mfg. Data n
 Rate/Swing Mult. 0.95
 Total Sens Equip Load 163244 Btuh

INFILTRATION

Method Simplified
 Construction Quality Average
 Fireplaces 0

LATENT COOLING EQUIP LOAD SIZING

Internal Gains 7820 Btuh
 Ventilation 26520 Btuh
 Infiltration 24040 Btuh
 Tot Latent Equip Load 58380 Btuh

	HEATING	COOLING
Area (sq.ft.)	8547	8547
Volume (cu.ft.)	88206	88206
Air Changes/Hour	0.7	0.4
Equivalent CFM	1031	589

Total Equip Load 221624 Btuh

HEATING EQUIPMENT SUMMARY

Make
 Model
 Type

Efficiency / HSPF 0.0
 Heating Input 0 Btuh
 Heating Output 0 Btuh
 Heating Temp Rise 0 Deg F
 Actual Heating Fan 7674 CFM
 Htg Air Flow Factor 0.056 CFM/Btuh

COOLING EQUIPMENT SUMMARY

Make
 Model
 Type

COP/EER/SEER 10.0
 Sensible Cooling 0 Btuh
 Latent Cooling 0 Btuh
 Total Cooling 0 Btuh
 Actual Cooling Fan 7674 CFM
 Clg Air Flow Factor 0.048 CFM/Btuh

Space Thermostat

Load Sens Heat Ratio 83

RIGHT-J CALCULATION PROCEDURES A,B,C,D

Job #: GROUZDEV RESIDENCE File name: GROUZDEV.BLD 9/27/95
 Zone: Entire House
 Procedure A - Winter Infiltration HTM Calculation*

1. Winter Infiltration CFM
 0.7 AC/HR x 88206 Cu.Ft. x 0.0167 = 1031 CFM

2. Winter Infiltration Btuh
 1.1 x 1031 CFM x 25 Winter TD = 28356 Btuh

3. Winter Infiltration HTM
 28356 Btuh / 1900 Total Window & Door Area = 14.9 HTM

Procedure B - Summer Infiltration HTM Calculation*

1. Summer Infiltration CFM
 0.4 AC/HR x 88206 Cu.Ft. x 0.0167 = 589 CFM

2. Summer Infiltration Btuh
 1.1 x 589 CFM x 16 Summer TD = 10370 Btuh

3. Summer Infiltration HTM
 10370 Btuh / 1900 Total Window & Door Area = 5.5 HTM

Procedure C - Latent Infiltration Gain

0.68 x 60 gr.diff. x 589 CFM = 24040 Btuh

Procedure D - Equipment Sizing Loads

1. Sensible Sizing Load

Sensible Ventilation Load
 1.1 x 650 Vent.CFM x 16 Summer TD = 11440 Btuh
 Sensible Load for Structure (Line 19) + 160396 Btuh
 Sum of Ventilation and Structure Loads = 171836 Btuh
 Rating and Temperature Swing Multiplier x 0.95 RSM
 Equipment Sizing Load - Sensible + 163244 Btuh

2. Latent Sizing Load

Latent Ventilation Load
 0.68 x 650 Vent.CFM x 60 gr.diff. = 26520 Btuh
 Internal Loads = 230 x 34 No. People + 7820 Btuh
 Infiltration Load From Procedure C + 24040 Btuh
 Equipment Sizing Load - Latent = 58380 Btuh

*Construction Quality is: a No. of Fireplaces is: 0

1 Name of Room		Entire House						CABANA			BASEMENT			MAIN LEVEL		
2 Running Ft. Exposed Wall		838.0 Ft.						64.0 Ft.			160.0 Ft.			318.0 Ft.		
3 Room Dimensions, Ft.								15.0 x 17.0 Ft.			64.0 x 18.0 Ft.			90.0 x 40.0 Ft.		
4 Ceilngs,Ft Condit. Option		12.0	d				10.0	heat/cool		9.0	heat/cool		10.0	heat/cool		
TYPE OF EXPOSURE	CST NO.	HTM Htg	HTM Clg	Area Length	Btuh Htg	Btuh Clg	Area Length	Btuh Htg	Btuh Clg	Area Length	Btuh Htg	Btuh Clg	Area Length	Btuh Htg	Btuh Clg	
5 Gross Exposed Walls and Partitions	a 14B	3.6	1.8	7110	****	****	640	****	****	0	****	****	3180	****	****	
	b 15B	1.9	0.0	1440	****	****	0	****	****	1440	****	****	0	****	****	
	c	0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****	
	d	0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****	
	e	0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****	
	f	0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****	
6 Windows & Glass Doors Htg.	a 1D	22.9	**	1900	43605	****	224	5141	****	153	3511	****	681	15629	****	
	b	0.0	**	0	0	****	0	0	****	0	0	****	0	0	****	
	c	0.0	**	0	0	****	0	0	****	0	0	****	0	0	****	
	d	0.0	**	0	0	****	0	0	****	0	0	****	0	0	****	
	e	0.0	**	0	0	****	0	0	****	0	0	****	0	0	****	
	f	0.0	**	0	0	****	0	0	****	0	0	****	0	0	****	
7 Windows & Glass Doors Clg.	North	21.0		264	****	5544	72	****	1512	0	****	0	120	****	2520	
	NE&NW	0.0		0	****	0	0	****	0	0	****	0	0	****	0	
	E&W	70.0		761	****	53270	80	****	5600	57	****	3990	381	****	26670	
	SE&SW	0.0		0	****	0	0	****	0	0	****	0	0	****	0	
	South	36.0		875	****	31500	72	****	2592	96	****	3456	180	****	6480	
	Horz	0.0		0	****	0	0	****	0	0	****	0	0	****	0	
8 Othr doors	a 10D	11.5	9.0	0	0	0	0	0	0	0	0	0	0	0	0	
	b	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
9 Net Exposed Walls and Partitions	a 14B	3.6	1.8	5363	19307	9499	416	1498	737	0	0	0	2499	8996	4426	
	b 15B	1.9	0.0	1287	2381	0	0	0	0	1287	2381	0	0	0	0	
	c	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
	d	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
	e	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
	f	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
10 Ceilings	a 16G	0.8	1.3	7429	6129	9806	255	210	337	0	0	0	3634	2998	4797	
	b 18A	7.7	11.5	1152	8870	13225	0	0	0	1152	8870	13225	0	0	0	
	c	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
11 Floors	a 22A	20.2	0.0	838	16970	0	64	1296	0	160	3240	0	318	6440	0	
	b	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
	c	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
12 Infiltration a		14.9	5.5	1900	28356	10370	224	3343	1223	153	2283	835	681	10163	3717	
13 Subtot Btuh Loss=6+8.+11+12				****	125618	****	****	11488	****	****	20286	****	****	44226	****	
14 Duct Btuh Loss				10%	12562	****	10%	1149	****	10	2029	****	10	4423	****	
15 Total Btuh Loss = 13+14				****	138179	****	****	12637	****	****	22315	****	****	48649	****	
16 Int. Gains: People @ Appl. @	300			34	****	10200	2	****	600	8	****	2400	8	****	2400	
	1200			2	****	2400	0	****	0	1	****	1200	1	****	1200	
17 Subtot RSH Gain=7+8.+12+16				****	****	145814	****	****	12600	****	****	25106	****	****	52210	
18 Duct Btuh Gain				10%	****	14581	10%	****	1260	10%	****	2511	10%	****	5221	
19 Total RSH Gain=(17+18)*PLF				1.00	****	160396	1.00	****	13860	1.00	****	27617	1.00	****	57431	
20 CFM Air Required				****	7674	7674	****	702	663	****	1239	1321	****	2702	2748	

1) Name of Room		GATHERING ROOM						UPPER LEVEL									
2) Running Ft. Exposed Wall		30.0 Ft.						266.0 Ft.						Ft.		Ft.	
3) Room Dimensions, Ft.		36.0 x 36.0 Ft.						68.0 x 33.0 Ft.						x Ft.		x Ft.	
4) Ceilngs,Ft Condit. Option		21.0 heat/cool						10.0 heat/cool									
TYPE OF EXPOSURE	CST NO.	HTM Htg	HTM Clg	Area Length	Btuh Htg	Btuh Clg	Area Length	Btuh Htg	Btuh Clg	Area Length	Btuh Htg	Btuh Clg	Area Length	Btuh Htg	Btuh Clg		
5) Gross Exposed Walls and Partitions	a 14B	3.6	1.8	630	****	****	2660	****	****		****	****		****	****		
	b 15B	1.9	0.0	0	****	****	0	****	****		****	****		****	****		
	c	0.0	0.0	0	****	****	0	****	****		****	****		****	****		
	d	0.0	0.0	0	****	****	0	****	****		****	****		****	****		
	e	0.0	0.0	0	****	****	0	****	****		****	****		****	****		
	f	0.0	0.0	0	****	****	0	****	****		****	****		****	****		
6) Windows & Glass Doors Htg.	a 1D	22.9	**	330	7573	****	512	11750	****		****	****		****	****		
	b	0.0	**	0	0	****	0	0	****		****	****		****	****		
	c	0.0	**	0	0	****	0	0	****		****	****		****	****		
	d	0.0	**	0	0	****	0	0	****		****	****		****	****		
	e	0.0	**	0	0	****	0	0	****		****	****		****	****		
	f	0.0	**	0	0	****	0	0	****		****	****		****	****		
7) Windows & Glass Doors Clg.	North	21.0		0	****	0	72	****	1512		****	****		****	****		
	NE&NW	0.0		0	****	0	0	****	0		****	****		****	****		
	E&W	70.0		0	****	0	243	****	17010		****	****		****	****		
	SE&SW	0.0		0	****	0	0	****	0		****	****		****	****		
	South	36.0		330	****	11880	197	****	7092		****	****		****	****		
Horz	0.0		0	****	0	0	****	0		****	****		****	****			
8) Othr doors	a 10D	11.5	9.0	0	0	0	0	0	0								
	b	0.0	0.0	0	0	0	0	0	0								
9) Net Exposed Walls and Partitions	a 14B	3.6	1.8	300	1080	531	2148	7733	3805								
	b 15B	1.9	0.0	0	0	0	0	0	0								
	c	0.0	0.0	0	0	0	0	0	0								
	d	0.0	0.0	0	0	0	0	0	0								
	e	0.0	0.0	0	0	0	0	0	0								
	f	0.0	0.0	0	0	0	0	0	0								
10) Ceilings	a 16G	0.8	1.3	1296	1069	1711	2244	1851	2962								
	b 18A	7.7	11.5	0	0	0	0	0	0								
	c	0.0	0.0	0	0	0	0	0	0								
11) Floors	a 22A	20.2	0.0	30	608	0	266	5386	0								
	b	0.0	0.0	0	0	0	0	0	0								
	c	0.0	0.0	0	0	0	0	0	0								
12) Infiltration a	14.9	5.5	330	4925	1801	512	7641	2794									
13) Subtot Btuh Loss=6+8..+11+12			****	15255	****	****	34362	****	****		****	****	****	****	****		
14) Duct Btuh Loss			10%	1526	****	10%	3436	****	****		****	****	****	****	****		
15) Total Btuh Loss = 13+14			****	16781	****	****	37798	****	****		****	****	****	****	****		
16) Int. Gains: People @ Appl. @	300	8	****	2400	8	****	2400		****		****	****		****	****		
	1200	0	****	0	0	****	0		****		****	****		****	****		
17) Subtot RSH Gain=7+8..+12+16			****	****	18323	****	****	37575	****	****	****	****	****	****	****		
18) Duct Btuh Gain			10%	****	1832	10%	****	3758	****	%	****	****	%	****	****		
19) Total RSH Gain=(17+18)*PLF			1.00	****	20156	1.00	****	41333	****	****	****	****	****	****	****		
20) CFM Air Required			****	932	964	****	2099	1978	****		****	****	****	****	****		

RIGHT-J WINDOW DATA

Job #:	GROUZDEV RESIDENCE										File name: GROUZDEV.BLD			9/27/95			
W	S	D	W	G	L	S	S	O	N	A	S	O	O	W	C	W	S
N	K	I	A	L	O	T	H	V	G	N	H	V	V	H	H	N	H
D	Y	R	L	A	W	R	A	H	L	G	C	R	R	G	T	A	A
W			L	Z	E	M	D	G	Z	L	O	X	Y	T	M	R	A
CABANA																	
a	n	n	a	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	21.0	72.0	0.0
a	n	s	a	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	36.0	72.0	0.0
a	n	w	a	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	70.0	80.0	0.0
BASEMENT																	
a	n	e	b	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	70.0	57.0	0.0
a	n	s	b	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	36.0	96.0	0.0
MAIN LEVEL																	
a	n	n	a	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	21.0	120.	0.0
a	n	w	a	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	70.0	131.	0.0
a	n	s	a	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	36.0	180.	0.0
a	n	e	a	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	70.0	250.	0.0
GATHERING ROOM																	
a	n	s	a	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	36.0	330.	0.0
UPPER LEVEL																	
a	n	n	a	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	21.0	72.0	0.0
a	n	s	a	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	36.0	197.	0.0
a	n	w	a	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	70.0	109.	0.0
a	n	e	a	c	y	n	n	y	1	90	1.0	0.0	0.0	1.0	70.0	134.	0.0

Department of Community Affairs

SN: 2464

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

FORM 600A-93

Residential Whole Building Performance Method A

SOUTH

PROJECT NAME: GROUZDEV RESIDENCE
AND ADDRESS: LOT 11/THE PLANTATIO
SEWALL'S POINT, FLOR
OWNER: GROUZDEV

BUILDER:
PERMITTING
OFFICE: TOWN OF SEWA
PERMIT NO.

CLIMATE
ZONE: 7 | 8 | 9 |
JURISDICTION NO. 531300

1. New construction or addition	1. New Construction	_____
2. Single family detached or Multifamily attached	2. Single-Family	_____
3. If Multifamily-No. of units	3. 0	_____
4. If Multifamily, is this a worst case (yes/no)	4. _____	_____
5. Conditioned floor area (sq.ft.)	5. 8547.00	_____
6. Predominant eave overhang (ft.)	6. 2.50	_____
7. Porch overhang length (ft.)	7. 0.00	_____
8. Glass area and type:	Single Pane Double Pane	_____
a. Clear Glass	8a. 0.0sqft 0.00sqft	_____
b. Tint, film or solar screen	8b. 1900.0sqft 0.00sqft	_____
9. Floor type and insulation:	9a. R= 0.00 , 838.00 ft	_____
a. Slab on grade (R-value, perimeter)	10a-1 R= 6.00, 6650.00sqft	_____
10. Net Wall type area and insulation:	11a. R=30.00 , 7429.00sqft	_____
a. Exterior: 1. Concrete (Insulation R-value)	11b. R=11.00 , 1152.00sqft	_____
11. Ceiling type area and insulation:	12a. R= 6.00 , cond	_____
a. Under attic (Insulation R-value)	13. Type: Central A/C	_____
b. Single assembly (Insulation R-value)	EER: 11.00	_____
12. Air distribution systems	14. Type: Strip Heat	_____
a. Ducts (Insulation + Location)	COP: 1.00	_____
13. Cooling system	15. Type: Electric	_____
14. Heating System:	EF: 0.84	_____
15. Hot water system:	15. Type: Electric	_____
15. Hot water system:	EF: 0.84	_____
16. Hot Water Credits: (HR-Heat Recovery, DHP-Dedicated Heat Pump)	16. _____	_____
17. Infiltration practice: 1, 2 or 3	17. 2	_____
18. HVAC Credits (CF-Ceiling Fan, CV-Cross vent, HF-Whole house fan, RB-Attic radiant barrier, MZ-Multizone)	18. CF MZ	_____
19. EPI (must not exceed 100 points)	19. 82.48	_____
a. Total As-Built points	19a. 107914.03	_____
b. Total Base points	19b. 130829.30	_____

I Hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Mary Noratt
DATE: 10/20/95

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER/AGENT: _____
DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance in accordance with Section 553.908 F.S.

BUILDING OFFICIAL: _____
DATE: _____

SUMMER CALCULATIONS

=== BASE ===

=== AS-BUILT ===

GLASS-----										
ORIEN	AREA	x BSPM	= POINTS	TYPE	SC	ORIEN	AREA	x SPM	x SOF	= POINTS
N	264.00	109.7	28960.8	SGL	.60	N	72.0	57.4	.54	2239.5
				SGL	.60	N	120.0	57.4	.54	3732.5
E	441.00	109.7	48377.7	SGL	.60	N	72.0	57.4	.54	2239.5
				SGL	.60	E	57.0	115.2	.36	2341.8
				SGL	.60	E	250.0	115.2	.36	10271.0
S	875.00	109.7	95987.5	SGL	.60	E	134.0	115.2	.36	5505.3
				SGL	.60	S	72.0	113.9	.31	2518.7
				SGL	.60	S	96.0	113.9	.31	3358.3
				SGL	.60	S	180.0	113.9	.31	6296.8
W	320.00	109.7	35104.0	SGL	.60	S	330.0	113.9	.31	11544.0
				SGL	.60	S	197.0	113.9	.31	6891.4
				SGL	.60	W	80.0	115.2	.36	3286.7
				SGL	.60	W	131.0	115.2	.36	5382.0
				SGL	.60	W	109.0	115.2	.36	4478.2

.15 x COND. FLOOR /	TOTAL GLASS	= ADJ. x	GLASS	=	ADJ GLASS	GLASS
AREA	AREA	FACTOR	POINTS		POINTS	POINTS
.15	8,547.00	1,900.00	.675	208,430.00	140,640.89	70,085.74

NON GLASS-----										
AREA	x	BSPM	= POINTS	TYPE	R-VALUE	AREA	x	SPM	= POINTS	
WALLS-----										
Ext	6650.0	1.6	10640.0	Ext NormWtBlock In	6.0	5363.0	1.80	9653.4		
				Ext NormWtBlock In	6.0	1287.0	1.80	2316.6		
DOORS-----										
Ext	48.0	6.4	307.2	Ext Wood		48.0	9.40	451.2		
CEILINGS-----										
UA	8547.0	.8	6837.6	Under Attic	30.0	7429.0	.80	5943.2		
				Single Assembly	11.0	1152.0	3.60	4147.2		
FLOORS-----										
Slb	838.0	-20.0	-16760.0	Slab-on-Grade	.0	838.0	-20.00	-16760.0		
INFILTRATION-----										
	8547.0	14.7	125640.9	Practice #2		8547.0	14.70	125640.9		

TOTAL SUMMER POINTS	267,306.59	201,478.23
---------------------	------------	------------

TOTAL x SYSTEM	= COOLING	TOTAL x CAP x DUCT x SYSTEM x CREDIT	= COOLING
SUM PTS	MULT	COMPON RATIO MULT MULT MULT	POINTS
267,306.59	.37	201,478.23 1.00 1.100 .310 .817	56,131.23

WINTER CALCULATIONS

=== BASE ===

=== AS-BUILT ===

GLASS-----											
ORIEN	AREA	x BWPM	= POINTS	TYPE	SC	ORIEN	AREA	x WPM	x WOF	= POINTS	
N	264.00	-.4	-105.6	SGL	.60	N	72.0	3.9	1.25	351.1	
				SGL	.60	N	120.0	3.9	1.25	585.2	
				SGL	.60	N	72.0	3.9	1.25	351.1	
E	441.00	-.4	-176.4	SGL	.60	E	57.0	.7	21.11	842.2	
				SGL	.60	E	250.0	.7	21.11	3694.0	
				SGL	.60	E	134.0	.7	21.11	1980.0	
S	875.00	-.4	-350.0	SGL	.60	S	72.0	-1.1	-1.86	147.5	
				SGL	.60	S	96.0	-1.1	-1.86	196.7	
				SGL	.60	S	180.0	-1.1	-1.86	368.9	
				SGL	.60	S	330.0	-1.1	-1.86	676.3	
				SGL	.60	S	197.0	-1.1	-1.86	403.7	
W	320.00	-.4	-128.0	SGL	.60	W	80.0	.7	21.11	1182.1	
				SGL	.60	W	131.0	.7	21.11	1935.7	
				SGL	.60	W	109.0	.7	21.11	1610.6	

.15 x COND. FLOOR /	TOTAL GLASS	= ADJ. x	GLASS	=	ADJ GLASS	GLASS
AREA	AREA	FACTOR	POINTS		POINTS	POINTS
.15	8,547.00	1,900.00	.675	-760.00	-512.82	14,325.12

NON GLASS-----							
AREA	x	BWPM	= POINTS	TYPE	R-VALUE	AREA	x WPM = POINTS
WALLS-----							
Ext	6650.0	.3	1995.0	Ext NormWtBlock In	6.0	5363.0	.80 4290.4
				Ext NormWtBlock In	6.0	1287.0	.80 1029.6
DOORS-----							
Ext	48.0	1.8	86.4	Ext Wood		48.0	2.80 134.4
CEILINGS-----							
UA	8547.0	.1	854.7	Under Attic	30.0	7429.0	.10 742.9
				Single Assembly	11.0	1152.0	.50 576.0
FLOORS-----							
Slb	838.0	-2.1	-1759.8	Slab-on-Grade	.0	838.0	-2.10 -1759.8
INFILTRATION-----							
	8547.0	1.2	10256.4	Practice #2		8547.0	1.20 10256.4

TOTAL WINTER POINTS	10,919.88						29,595.02
---------------------	-----------	--	--	--	--	--	-----------

TOTAL	x	SYSTEM	=	HEATING	TOTAL	x	CAP	x	DUCT	x	SYSTEM	x	CREDIT	=	HEATING
WIN PTS	MULT			POINTS	COMPON	RATIO	MULT	MULT	MULT	MULT	MULT	MULT		POINTS	
10,919.88	1.10			12,011.87	29,595.02	1.00	1.100	1.000		.950				30,926.80	

WATER HEATING

=== BASE ===

=== AS-BUILT ===

NUM OF BEDRMS	x	MULT	=	TOTAL	TANK VOLUME	EF	TANK RATIO	x	MULT	x	CREDIT MULT	=	TOTAL
6		3319.0		19,914.00	65	.84	.500		3476.0		1.00		10,428.00
					65	.84	.500		3476.0		1.00		10,428.00
				19,914.00									20,856.00

SUMMARY

=== BASE ===

=== AS-BUILT ===

COOLING POINTS	+	HEATING POINTS	+	HOT WATER POINTS	=	TOTAL POINTS	COOLING POINTS	+	HEATING POINTS	+	HOT WATER POINTS	=	TOTAL POINTS
98903.4		12011.9		19914.0		130,829.30	56131.2		30926.8		20856.0		107,914.03

* EPI = 82.48 *

ENERGY GUIDE

For detailed information of the EPI rating number or for any ITEM listed, ask your Builder for DCA Form 600A-93 or Form 600B-93

EPI= 82.5

0 10 20 30 40 50 60 70 80 90 100
 |-----X-----|
 The maximum allowable EPI is 100. The lower the EPI the more efficient the home

RESIDENTIAL ENERGY PERFORMANCE RATING SHEET

ITEM	HOME VALUE	Low Efficiency		High Efficiency	
		SINGL CLR		DBL TINT	
WINDOWS.....	Single Tint	-----X-----			
INSULATION.....					
Ceiling R-Value.....	30.0	R-10		R-30	
Wall R-Value.....	6.0	R-0		R-7	
Floor R-Value.....	0.0	R-0		R-19	
AIR CONDITIONER.....					
EER.....	11.0	9.7	EER	16.0	
HEATING SYSTEM.....					
Electric COP.....	1.0	2.50	COP	4.19	
WATER HEATER.....					
Electric EF.....	0.84	0.88		0.96	
Gas EF.....	0.00	0.54		0.90	
Solar EF.....		0.40		0.80	
OTHER FEATURES.....					

I certify that these energy saving features required for the Florida Energy Code have been installed in this house.

Address: _____ Builder Signature: _____ Date: _____

City/Zip _____
 Florida Energy Code for Building Construction - 1993
 Florida Department of Community Affairs

FL-EPL CARD93

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

EFFECTIVE DATE OF EXEMPTION 07/20/95
EXEMPTED INDIVIDUAL NAME DRIZIN EDWARD
SOCIAL SECURITY NUMBER 194-16-7659
BUSINESS NAME RUSSO & SONS ELECTRIC INC
FEDERAL IDENTIFICATION NUMBER 592594800
BUSINESS ADDRESS 3405 SOUTH LAKE DRIVE
BOYNTON BCH, FL 33435

NOTE: Pursuant to chapter 440.10(1)(g),2, F.S., a sole proprietor, partner, or officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

F
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E

Russell A. Morris

AUTHORIZED SIGNATURE

CUT HERE

* Carry bottom portion on the job, keep upper portion for your records.

AC# 2789692

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
ELECT CONTRACTORS LICENSING BD

DATE	LICENSE NO.	BATCH NO.
07/26/94	ER 0010119	94900017

THE REGISTERED ELECTRICAL CONTRACTOR
NAMED BELOW HAS REGISTERED
UNDER THE PROVISIONS OF CHAPTER 489 F.S. FOR THE YEAR
EXPIRING AUG 31, 1996 MUST MEET ALL LOCAL COMPETENCY
REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA

DRIZIN, EDWARD
RUSSO & SONS ELECTRIC INC
207 PIEDMONT "E"
DELRAY BEACH FL 33484-6643


LAWTON CHILES
GOVERNOR

DISPLAY IN A CONSPICUOUS PLACE


GEORGE STUART, JR.
SECRETARY, D.B.P.R.

3
 RECORD OF INSPECTIONS
 TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date _____

This is to request that a Certificate of Approval for Occupancy be issued to _____.

For property at _____ built under Permit
 (street address)
 No. _____ Dated _____ when completed in conformance with the
 Approved Plans.

Signed M. J. Reidio

ITEM	DATE	APPROVED BY (initials)
1. Form board tie in	_____	_____
2. Termite protection	_____	_____
3. Footing - slab	_____	_____
4. Rough plumbing - slab	_____	_____
5. Rough electric - slab	_____	_____
6. Lintel	_____	_____
7. Dry in (final)	_____	_____
8. Roof	_____	_____
9. Framing	_____	_____
10. Rough electric	_____	_____
11. Rough plumbing	_____	_____
12. A/C Ducts	_____	_____
13. Insulation	_____	_____
14. Final electric	_____	_____
15. Final plumbing	_____	_____
16. Final construction	_____	_____
17. As-built survey	_____	_____
18. Affidavit of cost	_____	_____

Final Inspection for Issuance of Certificate for Occupancy

Approved by Building Inspector _____ date

Approved by Building Commissioner _____ date

Utilities notified _____ date

Original Copy sent to _____ date
 (owner)

(Keep carbon copy for Town files)

Name:

Address:

This Instrument Prepared by:

Address:

Property Appraisers Parcel Identification (Folio) Number(s):

OSeminole Paper & Printing Co., Inc. 1987

NOTICE OF COMMENCEMENT
MARTIN COL. FL
CLERK OF CIRCUIT COURT
FS 713.13

01189506

RECORDED & VERIFIED
BY

98 AUG 12 AM 9:42

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

Permit No. _____

NOTICE OF COMMENCEMENT

State of Florida
County of _____

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

Legal description of property (Include Street Address, If available) _____
Lot 11 The Plantation at Sewell Point
N.E. Lagoon Island Court , Stuart, Fl.

General description of Improvements Single Family Residence

Owner Serguei And Victoria Grouzdev

Address c/o Carat 7 International Inc. 10223 S.E Lennard Road
Port St. Lucie , Fl. 34952

Owner's Interest in site of the improvement _____

Fee Simple Title holder (If other than owner) None

Name _____

Address _____

Contractor MJD Construction Services Inc.

Address 935 Barnett Drive Lake Worth Fl. 33461

Surety None

Address _____ Amount of bond \$ _____

Any person making a loan for the construction of the Improvements:

Name Jefferson Bank of Florida

Address 2434 Hollywood Blvd. Hollywood, Fl. 33020

Person within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes.

Name Grisha Gorodenker

Address 10223 S.E. Lennard Road Port St. Lucie , Fl. 34952

In addition to himself, owner designates _____

Of _____

to receive a copy of the Llenor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified).

[Handwritten Signature]
Signature of Owner

Serguei Grouzdev

Printed Signature of Owner

NOTARY RUBBER STAMP SEAL

I have relied upon the following identification of the Affiant FDL # 4623-
780-60-127-0

Sworn to and subscribed before me this 25 day of July
19 96

[Handwritten Signature]
Notary Signature

JUDITH S. ELLIS

MY COMMISSION # CC428909 EXPIRES

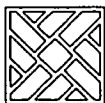
February 14, 1999

Printed Notary Signature

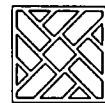


BONDED THRU TROY FAINT INSURANCE, INC.

LAST PAGE



K E L L Y & K E L L Y A R C H I T E C T S



January 9, 1998

Town of Sewall's Point
Building Department
1 South Sewall's Point Road
Stuart, Florida 34996

RE: Grouzdev Residence

Dear Sir or Madam,

Please find enclosed four (4) copies of the correspondence from Bart Henry, the structural engineer from St. Lucie Truss Corporation. The additional bracing required at truss "A T" to facilitate the additional weight anticipated from the light fixture and mechanical lower system is indicated.

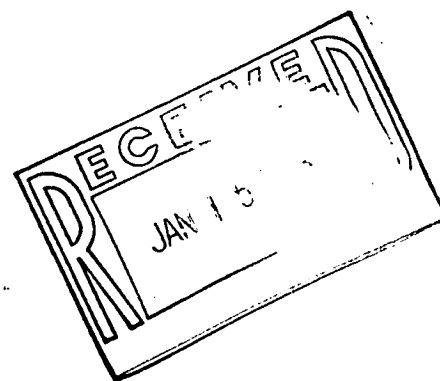
Should you have any questions or comments please feel free to call.

Respectfully,

KELLY & KELLY ARCHITECTS

Gary R. Kelly
Architect Reg. #8341

GRK/dm



FAX

ST. LUCIE TRUSS CORP.

10331 LENNARD RD.
PORT ST. LUCIE, FL 34951

Date 10-21-97
Number of pages including cover sheet 4



To: GARY KELLY

From: BOB HENRY

Phone 283-3492
Fax Phone 270-7310
CC: _____

Phone (407) 335-3207
Fax Phone (407) 335-3209

REMARKS:

- Urgent
- For your review
- Reply ASAP
- Please comment

TRUSS 'AT' CARRIES THE 700# MOTOR AS IS BUT
REQUIRES ADDITIONAL BRACING.

THE GIRDER THAT CARRIES 'AT', GIRDER 'A', REQUIRES
ADDITIONAL SCAB MATERIAL AS I'VE NOTED.

THE HANGER THAT SUPPORTS 'AT' ON THE GIRDER
DOES NOT NEED TO BE MODIFIED.

I HOPE I'VE ANSWERED ALL YOUR QUESTIONS. IF I
MAY BE OF FURTHER ASSISTANCE, PLEASE CALL

MY REGARDS,

Job	Truss	Truss Type	Qty	Ply	
8273BK	A	ROOF TRUSS	2	3	MJD CONSTRUCTION GROUZDEV

ST. LUCIE TRUSS CORP.

3.3T Dec 11 1996 MiTek Industries, Inc. Tue Oct 2 12:36:28 1997 Page 1

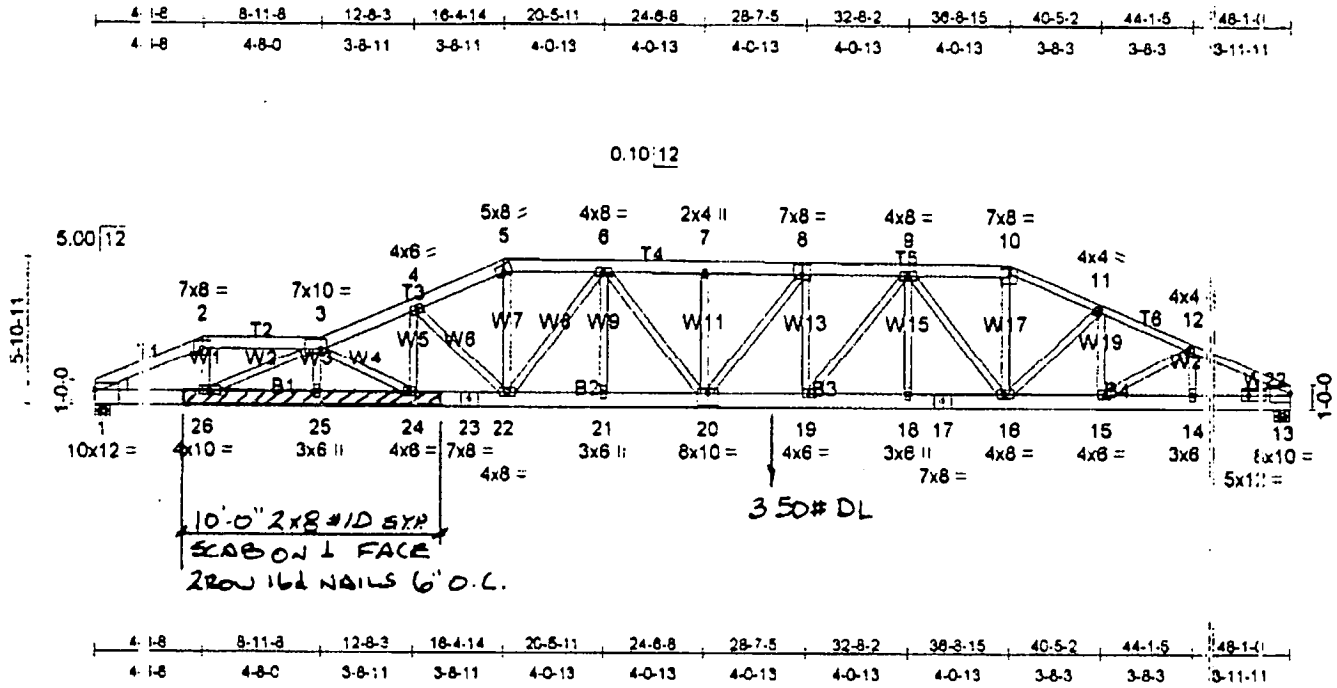


Plate Offsets (X,Y):	1:0-0-0,0-0-5], [3:0-2-12,0-4-12], [5:0-0-0,0-3-0], [8:0-0-0,0-4-12], [10:0-3-8,0-2-4], [13:0-0-0,0-4-0], [20:0-0-0,0-6-0]						
LOADING (psf)	SPACING	CSI	DEFL (in)	(loc)	V/defl	PLATES	GRIP
TCLL 30.0	Plates Increase 1.33	TC 0.96	Vert(LL) 0.49	21/20	999	M20(20ga)	48/150
TCDL 15.0	Lumber Increase 1.33	BC 0.91	Vert(TL) 0.89	21/20	638		
BCLL 0.0	Rep Stress Incr NO	WB 0.85	Horz(TL) 0.20	13	n/a		
BCDL 10.0	Code SSBC		Min Length / LL defl = 360			Weight: 410 (lb)	

LUMBER	BRACING
TOP CHORD 2 X 8 SYP No.2 *Except	TOP CHORD Sheathed or 6-0-0 on center purlin spacing.
T3 2 X 8 SYP No.1D, T8 2 X 4 SYP No.2D	BOT CHORD Rigid ceiling directly applied, or 10-00-00 on center bracing.
BOT CHORD 2 X 8 SYP No.1D	Except: 25-26:7-11-10, 24-25:8-0-0, 23-24:9-4-14, 22-23:8-4-14, 21-22:9-10-8, 20-21:9-10-8, 19-20:9-10-11.
WEBS 2 X 4 SYP No.3 *Except	
W2 2 X 4 SYP No.2D	
OTHERS 2 X 6 SYP No.2	
WEDGE Left: X 8	

REACTIONS (lbs/size)	1=9702/0-8-0, 13=9702/0-8-0
Max Horz	1=-813(load case 2)
Max Uplift	1=-8865(load case 4), 13=-8865(load case 4)

FORCES	
TOP CHORD	1-2=-8138, 2-3=-15813, 3-4=-25378, 4-5=-20934, 5-6=-19306, 6-7=-21757, 7-8=-21747, 8-9=-21086, 9-10=-15729, 10-11=-16982, 11-12=-17534, 12-13=-17474
BOT CHORD	13-14=15008, 14-15=15008, 15-16=16185, 16-17=13126, 17-18=19126, 18-19=19126, 19-20=21119, 20-21=21139, 21-22=21139, 22-23=23447, 23-24=23447, 24-25=30586, 25-26=30586, 1-26=15813
WEBS	2-26=3495, 3-26=-16397, 3-25=1336, 3-24=-8336, 4-24=5495, 4-22=-5908, 5-22=7855, 6-22=-3020, 6-21=1319, 6-20=996, 7-20=-360, 8-20=1376, 8-19=1248, 9-18=3190, 9-18=1295, 9-18=-5532, 10-16=6062, 11-16=-648, 11-15=472, 12-15=1370, 12-14=1173

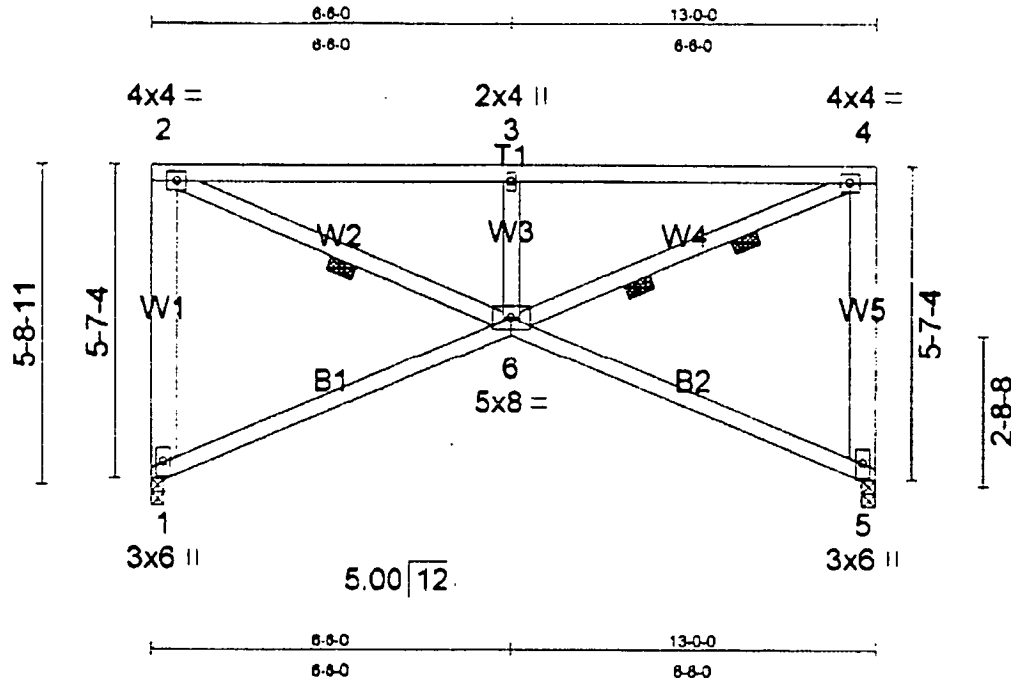
- NOTES**
- 1) 3-ply truss to be connected together with 10d nails as follows: Top chords connected with 1 row(s) at 12 inches on center. Bottom chords connected with 1 row(s) at 8 inches on center. Webs connected with 1 row at 8 inches on center.
 - 2) This truss has been designed for the wind loads generated by 140.0 m.p.h. winds at 15.0 feet above ground level, using 5.0 p.s.f. top chord dead load and 5.0 p.s.f. bottom chord dead load, 5.0 miles from hurricane oceanline, on a category I enclosed building, of dimensions 180.0 by 70.0 with exposure C (SBCCI/ASCE 7-93). Lumber Increase = 1.33, Plate Increase = 1.33. Both end verticals are exposed.
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) This truss has been designed with ANSI/TPI 1-1995 criteria.

LOAD CASE(S)
 1) Lumber Increase=1.33, Plate Increase=1.33

Job	Truss	Truss Type	Qty	Ply	
9273BK	ATGR	ROOF TRUSS	1	1	MJD CONSTRUCTION GROUZDEV

ST. LUCIE TRUSS CORP.

3.3T s Dec 11 1996 MiTak Industries, Inc. Tue Oct 2 12:31:54 1997 Page 1



LOADING (psf)	SPACING	2-0-0	CSI	DEFL	(in)	(loc)	l/def	PLATES	GRIP
TCLL 30.0	Plates Increase	1.33	TC 0.83	Vert(LL)	0.07	6/5	999	M20(20ga)	1 (9/19)
TCDL 15.0	Lumber Increase	1.33	BC 0.28	Vert(TL)	0.13	6/5	999		
BCLL 0.0	Rep Stress Incr	NO	WB 0.77	Horz(TL)	-0.11	5	n/a		
BCDL 10.0	Code	SSBC	(Matrix)	Min Length / LL def	= 360			Weight: 94 (lbs)	

LUMBER

TOP CHORD 2 X 4 SYP No.2D
 BOT CHORD 2 X 4 SYP No.2D
 WEBS 2 X 4 SYP No.3 *Except*
 W1 2 X 6 SYP No.2, W5 2 X 6 SYP No.2

BRACING

TOP CHORD Sheathed or 3-1-7 on center purlin spacing, except end verticals.
 BOT CHORD Rigid ceiling directly applied, or 1-6-5-8-12 5-8-6-3-0 on center bracing.
 WEBS 1 Row at midpt 2-6
 2 Rows at 1/3 pts 6-4

REACTIONS (lbs/size) 1=1040/0-3-0, 5=1040/0-3-0
 Max 1 orz 1=-1350(load case 2)
 Max 1 plift 1=-1150(load case 2), 5=-1124(load case 3)

FORCES

TOP CHORD 1-2=-677, 2-3=-1757, 3-4=-1757, 4-5=-877
 BOT CHORD 5-6=24, 1-6=-24
 WEBS 3-6=-634, 2-6=1914, 4-6=1914

NOTES

- This truss has been checked for unbalanced loading conditions about joint 4.
- This truss has been designed for the wind loads generated by 140.0 m.p.h. winds at 15.0 feet above ground level, using 5.0 p.s.f. top chord dead load and 5.0 p.s.f. bottom chord dead load, 5.0 miles from hurricane oceanline, on a category I enclosed building, of dimensions 180.0 by 70.0 with exposure 1 (SBC/ASCE 7-83). Lumber Increase = 1.33, Plate Increase = 1.33. Both end verticals are exposed.
- Provide adequate drainage to prevent water ponding.
- This truss has been designed with ANSI/TPI 1-1995 criteria.

LOAD CASE(S)

- Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (lbs per ft)
 Vert:2-3=20.0, 3-4=90.0, 5-8=20.0, 1-6=20.0
 Concentrated Loads (lbs)
 Vert:6=700.0

RECEIVED
JAN 12 1998



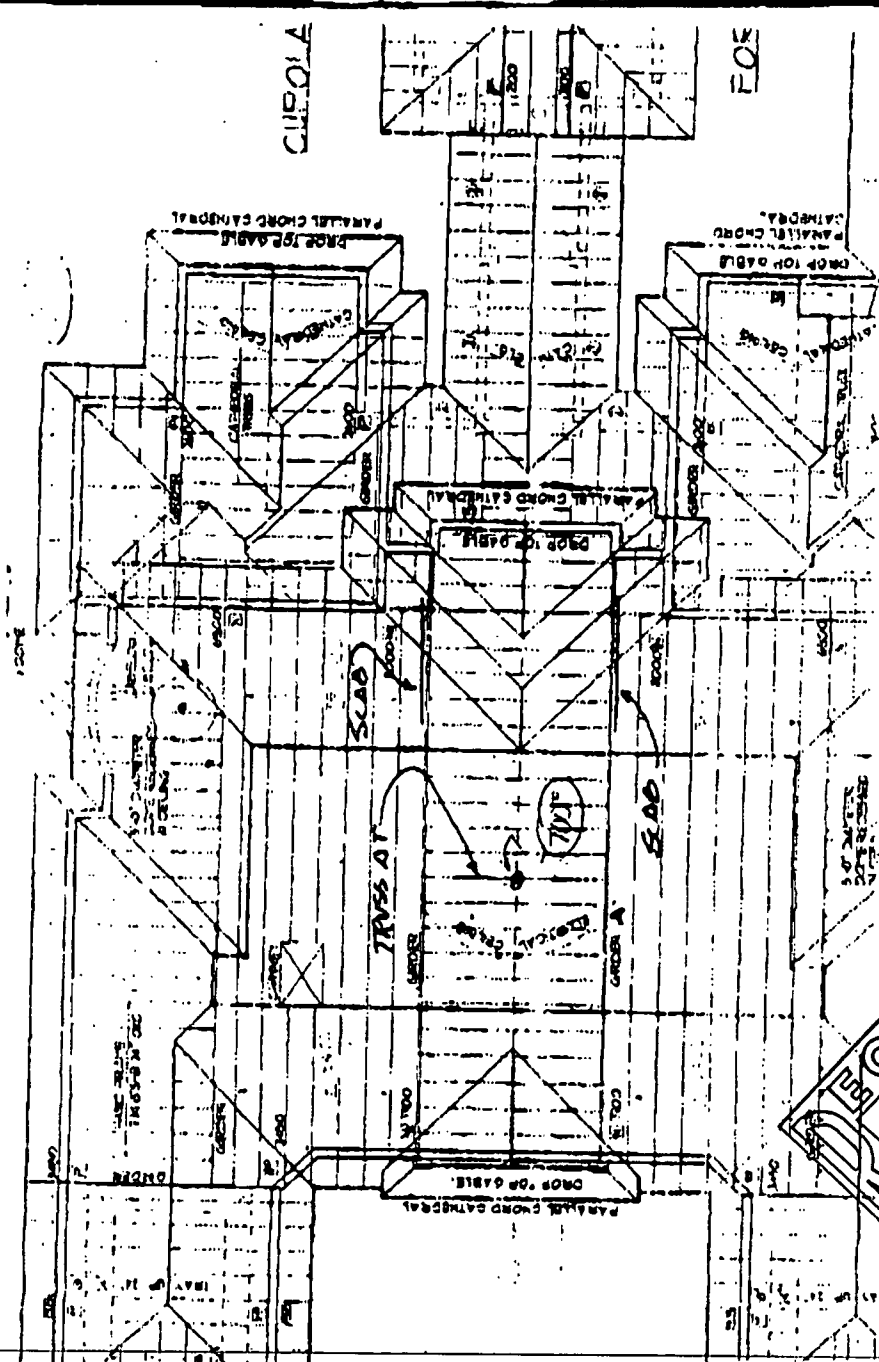
KELLY & KELLY ARCHITECTS
115 WEST 6TH STREET, STUART, FL. 34984
(801) 703-3492 * FAX(801) 220-7310 * REG. #834

DATE: 21 OCT 97 TOTAL NUMBER OF PAGES 4
(INCLUDING COVER PAGE)

RECIPIENT: BART BENDER: GARY

RECIPIENTS FAX NO.: 335-3209

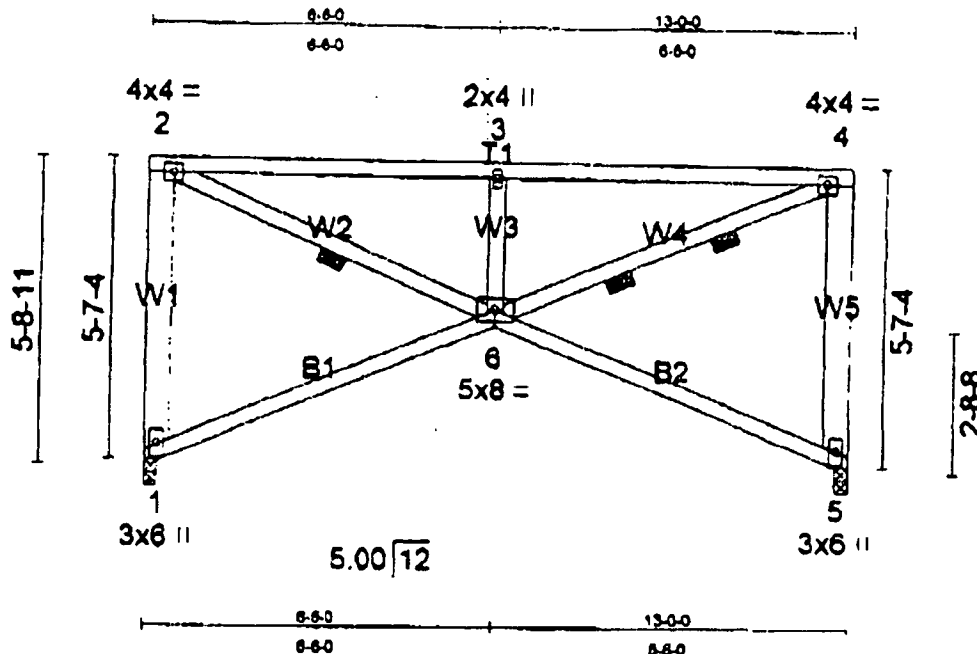
BENDERS COMMENTS: PROUDLY CHAND.



RECEIVED
JAN 12 1998

Job	Truss	Truss Type	Qty	Ply	
8273BK	ATQ-R	ROOF TRUSS	1	1	MJD CONSTRUCTION GROUZDEV

ST. LUCIE TRUSS C'DRP.



LOADING (psf)	SPACING	OSI	DEFL	(in)	(loc)	Udefl	PLATES	GRID
TCLL 30.0	Plates Increase 1.33	TC 0.83	Vert(LL) 0.07	6/5	999		M20(20ga)	19(16)
TCDL 15.0	Lumber Increase 1.33	BC 0.28	Vert(TL) 0.13	6/5	999			
BCLL 0.0	Rep Stress Incr NO	WB 0.77	Horz(TL) -0.11	5	r/s			
BCDL 10.0	Code SBBC	(Matrix)	Min Length / LL def = 360				Weight: B4 (lbs)	

LUMBER

TOP CHORD 2 X 4 SYP No.2D
 BOT CHORD 2 X 4 SYP No.2D
 WEBS 2 X 4 SYP No.3 *Except*
 W1 2 X 6 SYP No.2, W6 2 X 6 SYP No.2

BRACING

TOP CHORD Sheathed or 3-1-7 on center purlin spacing, except end verticals.
 BOT CHORD Rigid ceiling directly applied, or 1-6:5-6-12, 5-8:1-3-0 on center bracing.
 WEBS 1 Row at midpt 2-6
 2 Rows at 1/3 pts 6-4

REACTIONS

(lbs/ft: ce) 1=1040/0-3-0, 5=1040/0-3-0
 Max l orz 1=1350(load case 2)
 Max l plfr 1=1150(load case 2), 5=1124(load case 3)

FORCES

TOP CHORD 1-2=677, 2-3=-1757, 3-4=-1757, 4-5=977
 BOT CHORD 6-6=214, 1-6=-214
 WEBS 3-6=214, 2-6=1914, 4-6=1914

NOTES

- This truss has been checked for unbalanced loading conditions about joint 4.
- This truss has been designed for the wind loads generated by 140.0 m.p.h. winds at 15.0 feet above ground level, using 5.0 p.s.f. top chord dead load and 8.0 p.s.f. bottom chord dead load, 5.0 miles from hurricane oceanline, on a category I enclosed building, of dimensions 180.0 by 70.0 with exposure 1 (SBCCI/ASCE 7-93). Lumber Increase = 1.33, Plate Increase = 1.33. Both end verticals are exposed.
- Provide adequate drainage to prevent water ponding.
- This truss has been designed with ANSI/TPI 1-1995 criteria.

LOAD CASE(S)

- Lumber Increase=1.33, Plate Increase=1.33
 Uniform Loads (lbs per ft)
 Vert: 2-3=15.0, 3-4=30.0, 5-6=70.0, 1-6=20.0
 Concentrated Load: (lbs)
 Vert: 6=70.0

Job	Truss	Truss Type	Qty	Ply	
92738K	A	ROOF TRUSS	2	3	MJD CONSTRUCTION GROUZDEV

ST. LUCIE TRUSS CORP.

3.31 Dec 11 1998 MITek Industries, Inc. Tue Oct 12:36:28 1997 Page 1

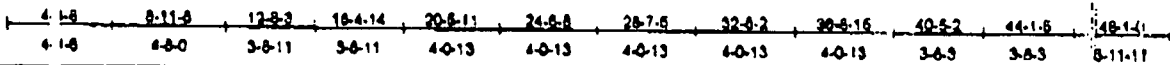
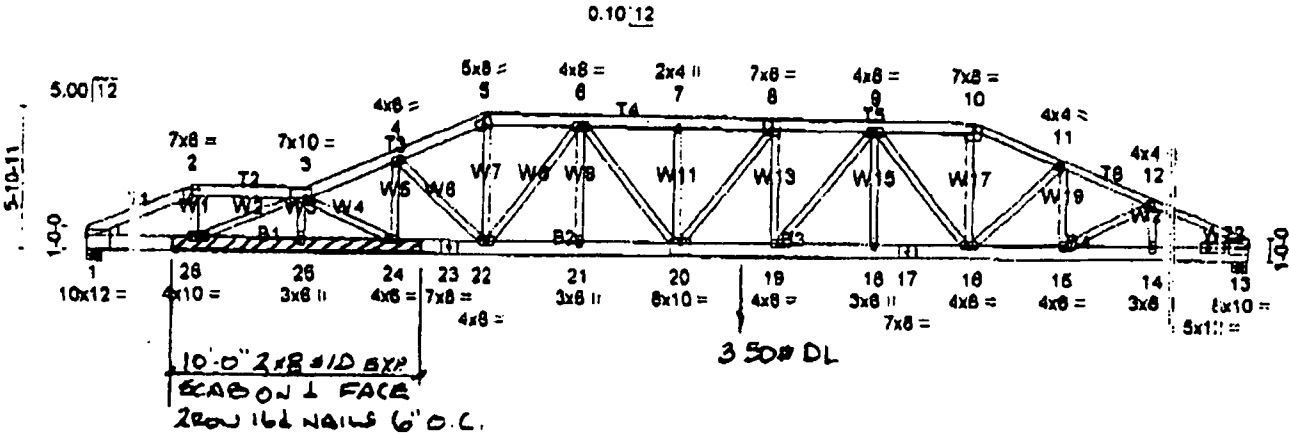
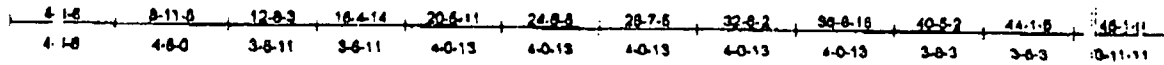


Plate Offsets (X,Y):		1:0-0-0,0-0-5], [3:0-2-12,0-4-12], [5:0-0-0,0-3-0], [8:0-0-0,0-4-12], [10:0-3-8,0-2-4], [13:0-0-0,0-4-0], [20:0-0-0,0-8-0]							
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	(in)	(loc)	Vdef	PLATES	GRIP
TCLL 30.0	Plates Increase	1.33	TC 0.86	Vert(LL)	0.48	21/20	889	M20(20ga)	48/160
TCOL 15.0	Lumber Increase	1.33	BC 0.81	Vert(TL)	0.89	21/20	838		
BCLL 0.0	Rep Stress Incr	NO	WB 0.85	Horz(TL)	0.20	13	n/a		
BCDL 10.0	Code	S9BC		Min Length / LL def	= 380			Weight: 410 (lb)	

LUMBER	TOP CHORD	2 X 6 SYP No.2 *Except	BRACING	TOP CHORD	Sheathed or 8-0-0 on center purlin spacings.
		T2 2 X 8 SYP No.1D, T6 2 X 4 SYP No.2D		BOT CHORD	Rigid ceiling directly applied, or 10-00-00 on center bracing.
	BOT CHORD	2 X 8 SYP No.1D			Except: 25-26:7-11-10, 24-28:8-0-0, 23-24:9-4-14, 22-23:9-4-14, 21-22:9-10-8, 20-21:9-10-8, 19-20:9-10-11.
	WEBS	2 X 4 SYP No.3 *Except			
		W2 2 X 4 SYP No.2D			
	OTHERS	2 X 6 SYP No.2			
	WEDGE	Left: X 8			

REACTIONS	(lbs/ft)	1=8702/0-8-0, 13=8702/0-8-0
	Max forz	1=-813(load case 2)
	Max Jpllr	1=-8865(load case 4), 13=-8865(load case 4)

FORCES	TOP CHORD	1-2=-8138, 2-3=-15813, 3-4=-25378, 4-5=-20934, 5-6=-19308, 6-7=-21757, 7-8=-21747, 8-9=-21086, 9-10=-15728, 10-11=-8882, 11-12=-17634, 12-13=-17474
	BOT CHORD	13-14=16008, 14-15=15008, 15-16=16185, 16-17=19128, 17-18=19128, 18-19=19128, 19-20=21118, 20-21=21138, 21-22=11138, 22-23=23447, 23-24=23447, 24-25=30588, 25-26=30588, 1-28=16813
	WEBS	2-28=3495, 3-28=-18397, 3-26=1338, 3-24=-8338, 4-24=6495, 4-22=-5908, 5-22=7865, 6-22=-3020, 6-21=1319, 6-20=896, 7-20=-380, 8-20=1376, 8-19=1248, 8-18=3190, 9-18=1285, 9-16=-8632, 10-18=6062, 11-18=-648, 11-15=472, 12-15=1370, 12-14=1173

- NOTES
- 3-ply truss to be connected together with 10d nails as follows: Top chords connected with 1 row(s) at 12 inches on center. Bottom chords connected with 1 row(s) at 8 inches on center. Webs connected with 1 row at 8 inches on center.
 - This truss has been designed for the wind loads generated by 140.0 m.p.h. winds at 15.0 feet above ground level, using 5.0 p.s.f. top chord dead load and 5.0 p.s.f. bottom chord dead load, 5.0 miles from hurricane coastline, on a category I enclosed building, of dimensions 180.0 by 70.0 with exposure C (SBC/ASCE 7-93). Lumber Increase = 1.33. Plate Increase = 1.33. Both end verticals are exposed.
 - Provide adequate drainage to prevent water ponding.
 - This truss has been designed with ANSI/TPI 1-1995 criteria.

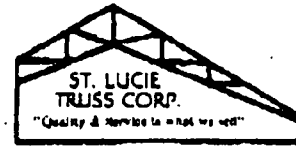
LOAD CASE(S)

1) Lumber Increase=1.33, Plate Increase=1.33

FAX

ST. LUCIE TRUSS CORP.
10331 LENNARD RD.
PORT ST. LUCIE, FL 34951

Date 10-21-97
Number of pages including cover sheet 4



To: GARY KELLY

From: BART HENRY

Phone 283-3492

Phone (407) 335-3207

Fax Phone 220-7310

Fax Phone (407) 335-3209

CC: _____

REMARKS:

- Urgent
- For your review
- Reply ASAP
- Please comment

TRUSS 'AT' CARRIES THE 700# MOTOR AS IS BUT REQUIRES ADDITIONAL BRACING.

THE GIRDER THAT CARRIES 'AT', GIRDER 'A', REQUIRES ADDITIONAL SCAB MATERIAL AS I'VE NOTED.

THE HANGER THAT SUPPORTS 'AT' ON THE GIRDER DOES NOT NEED TO BE MODIFIED.

I HOPE I'VE ANSWERED ALL YOUR QUESTIONS. IF I MAY BE OF FURTHER ASSISTANCE, PLEASE CALL

MY REGARDS,

BART HENRY



K E L L Y & K E L L Y A R C H I T E C T S



January 9, 1998

Town of Sewall's Point
Building Department
1 South Sewall's Point Road
Stuart, Florida 34996

RE: Grouzdev Residence

Dear Sir or Madam,

Please find enclosed four (4) copies of the correspondence from Bart Henry, the structural engineer from St. Lucie Truss Corporation. The additional bracing required at truss "A T" to facilitate the additional weight anticipated from the light fixture and mechanical lower system is indicated.

Should you have any questions or comments please feel free to call.

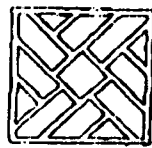
Respectfully,

KELLY & KELLY ARCHITECTS

Gary R. Kelly
Architect Reg. #8341

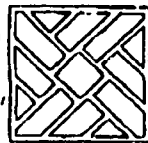
GRK/dm

110 WEST 6TH STREET, STUART, FL. 34994
(561) 283-3492 * FAX 220-7310 * REG # 8341



KELLY & KELLY ARCHITECTS

119 WEST 6TH STREET, STUART, FL. 34994
(561) 283-3492 * FAX(561) 220-7310 * REG.#8341



DATE: 1/9/98

TOTAL NUMBER OF PAGES 6

TOWN OF SEWALL'S POINT (INCLUDING COVER PAGE)

RECIPIENT: BUILDING DEPT.

SENDER: DIANA

RECIPIENTS FAX NO: 220-4765

SENDER'S COMMENTS:



VELCON GROUP, INC.

ENGINEERS & SURVEYORS

March 5, 1997

M.J.D. Construction Services, Inc.
3569 91st Street North, #5
Lake Park, Florida 33403

Re: Grouzdev Residence
Lot 11, The Plantation

Dear Mike:

Please be advised that we found the roof trusses at the above referenced property to peak at 27.04' above the finish floor elevation of 23.05'.

Certified by:

Michael T. Owen, P.S.M. #5556
Project Manager
Velcon Group, Inc.

MO/ks

CC: 95-99 File



K E L L Y & K E L L Y A R C H I T E C T S



February 16, 1998

Town of Sewall's Point
Building Department
1 South Sewall's Point Road
Stuart, Florida 34996

RE: Grouzdev Residence

Dear Sir or Madam,

To the best of my knowledge the Grouzdev residence is constructed as designed.

Respectfully,

KELLY & KELLY ARCHITECTS



Gary R. Kelly
Architect Reg. #8341

GRK/dm

1 1 9 W E S T 6 T H S T R E E T , S T U A R T , F L , 3 4 9 9 4

~~(5 6 1) 2 8 3 - 3 4 9 2 * F A X 2 2 0 - 7 3 1 0 * R E G # 8 3 4 1~~

St. Lucie Truss Corp.

10331 LENNARD RD., PORT ST. LUCIE, FL 34952
Ph. 407-335-3207 Fax 407-335-3209

MJD Construction Services
935 Barnett Drive
Lake Worth, FL 33460

February 9, 1998

Re: Roof girder truss 'A'
Grouzdev residence
Lot 11, The Plantation

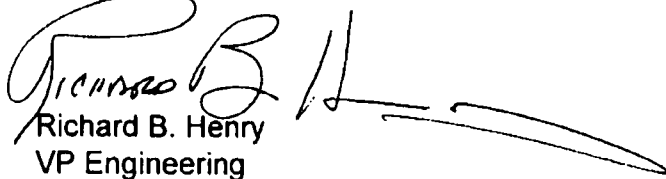
To whom it may concern;

I have been informed that the modification originally detailed for girder truss 'A' to allow it to carry the additional dead load for a motor assembly is not practical. Current conditions do not allow for the installation of the additional 2x8 scab and an alternate repair must be provided.

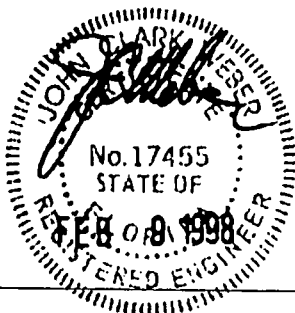
Instead of the single 2x8 scab, install 3/4" BC plywood to both faces of the girder in the same area originally specified for the scab. This plywood gusset must be 8" deep and 96" long. Nail all plywood using 10d nails, 2 rows 8" O.C. in a staggered pattern along the bottom chord. Equivalent gun nails may be used such as a 2"x.113".

Please feel free to contact me if you should require any additional help or clarification regarding this matter.

My regards,


Richard B. Henry
VP Engineering

Cc: J. C. Weber, PE



GARY KELLY

0273BK	Truss	Truss Type	Qty	Ply	MJD CONSTRUCTION GROUZDEV
ST. LUCIE TRUSS GRP.	A	ROOF TRUSS	2	3	

3.37 Dec 11 1998 MITek Industries, Inc. Tue Oct 21 12:56:29 1997 Page 1

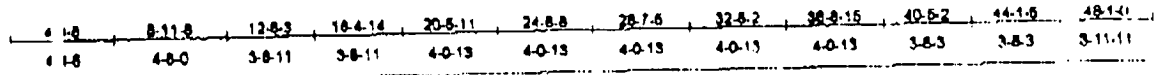
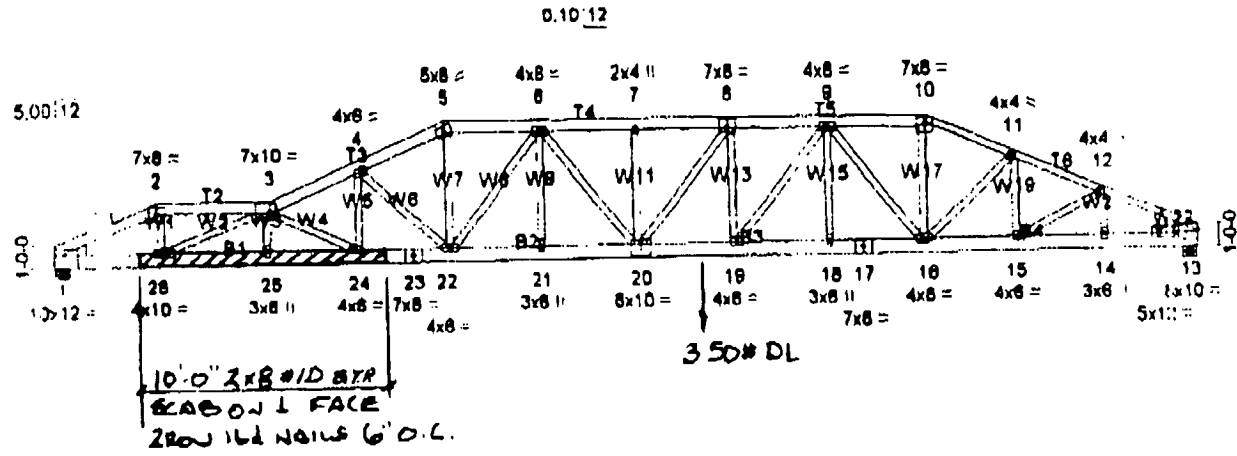
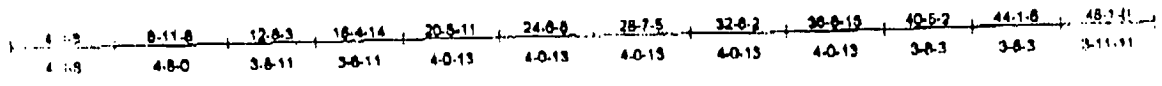


Plate Offsets (X,Y): [1:0-0-0,0-0-6], [3:0-2-12,0-4-12], [5:0-0-0,0-3-0], [8:0-0-0,0-4-12], [10:0-3-8,0-2-4], [13:0-0-0,0-4-0], [20:0-0-0,0-8-0]

LOADING (psf)	SPACING	CSI	DEFL (in)	(loc)	Vdefl	PLATES	GRIP
TCLL 30.0	Plates Increase 1.33	TC 0.88	Vert(LL) 0.48	2 1/20	899	M20(20ga)	48/160
TCDL 15.0	Lumber Increase 1.33	BC 0.81	Vert(TL) 0.88	2 1/20	638		
BCLL 0.0	Rep Stress Incr NO	WB 0.85	Horz(TL) 0.20	13	n/a		
BCDL 10.0	Code 99BC		Min Length / LL defl = 360				Weight: 410 (lb)

LUMBER
 TOP CHORD 2 X 8 BYP No.2 *Except*
 T3 2 X 6 BYP No.1D, T6 2 X 4 BYP No.2D
 BOT CHORD 2 X 8 BYP No.1D
 WEBS 2 X 4 BYP No.3 *Except*
 W2 2 X 4 BYP No.2D
 OTHERS 2 X 6 BYP No.2
 WEDGE 1x8 X 8

REACTIONS (lbs/lin) 1=8702/0-8-0, 13=8702/0-8-0
 Max forz 1=-813(load case 2)
 Max Jplft 1=-8865(load case 4), 13=-8865(load case 4)

BRACING
 TOP CHORD Sheathed or 8-0-0 on center purlin spacing.
 BOT CHORD Rigid galling directly applied, or 10-00-00 on center bracing.
 Except: 25-28:7-11-10, 24-25:8-0-0, 23: 4:0-4-14, 22-23:6-4-14,
 21-22:9-10-8, 20-21:8-10-8, 19-20:9-10-11

FORCES
 TOP CHORD 1-2=- 8138, 2-3=-15813, 3-4=-25378, 4-5=-20934, 5-6=-18308, 6-7=-21757, 7-8=-21747, 8-9=-21088, 9-10=-15729, 10-11=-16882, 11-12=-17534,
 12-13=-17474
 BOT CHORD 13-14=18008, 14-15=15008, 15-16=16185, 16-17=19128, 17-18=19128, 18-19=19126, 19-20=21119, 20-21=21139, 21-22=1139, 22-23=23417,
 23-24=23447, 24-25=30588, 25-28=30588, 1-28=15813
 WEBS 2-26=1495, 3-28=-16397, 3-25=1338, 3-24=-8338, 4-24=5495, 4-22=-5908, 6-22=7855, 6-22=-3020, 6-21=1319, 6-20=696, 6-20=-360, 8-20=1078,
 8-19=1248, 9-19=3180, 9-18=1295, 9-18=-5532, 10-16=6082, 11-16=-848, 11-15=472, 12-15=1370, 12-14=1173

- NOTES**
- 1) 3-ply truss to be connected together with 10d nails as follows: Top chords connected with 1 row(s) at 12 inches on center. Bottom chords connected with 1 row(s) at 8 inches on center. Webs connected with 1 row at 8 inches on center.
 - 2) This truss has been designed for the wind loads generated by 140.0 m.p.h. winds at 15.0 feet above ground level, using 5.0 psf, top chord dead load and 5.0 psf bottom chord dead load, 5.0 miles from hurricane oceanline, on a category I enclosed building, of dimensions 180.0 by 70.0 with exposure C (SBCCI/ASCE 7-93). Lumber Increase = 1.33, Plate Increase = 1.33. Both end verticals are exposed.
 - 3) Provide adequate drainage to prevent water ponding.
 - 4) This truss has been designed with ANSI/TPI 1-1995 criteria.

LOAD CASE(S)
 1) Lumber Increase=1.33, Plate Increase=1.33

Date: 10/21/97 Time: 12:49:13 PM

GARY KELLY

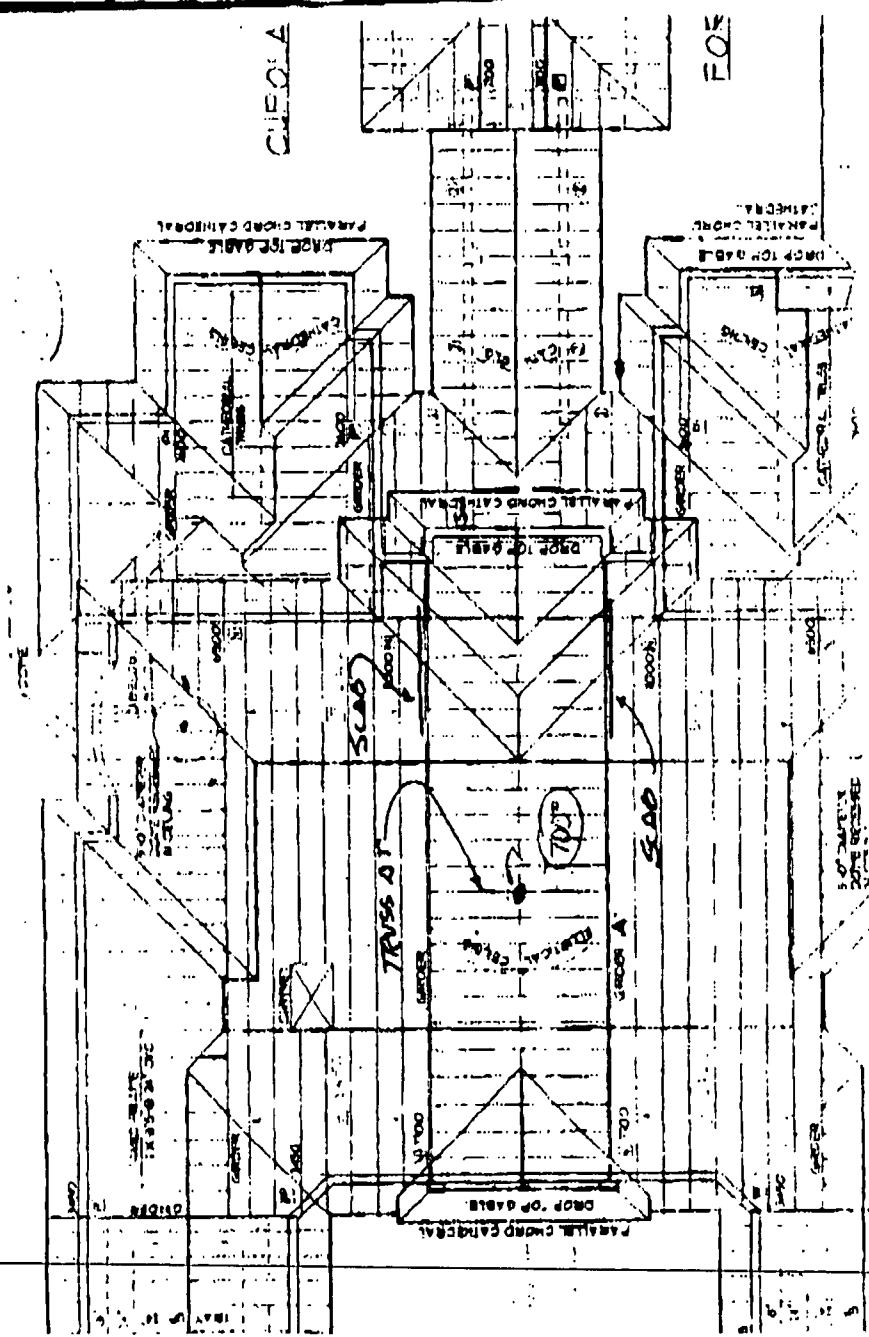
220-7310 KELLY & KELLY ARCH.

221 001 OCT 21 1997 11:54



KELLY & KELLY ARCHITECTS
 119 WEBB 6TH STREET, STUART, FL. 34984
 (888) 783-3437 • FAX(888) 220-7310 • REG. 0834

DATE: 21 OCT 97 TOTAL NUMBER OF PAGES 4
 (INCLUDING COVER PAGE)
 RECIPIENT: AART SENDER: GARY
 RECIPIENT'S FAX NO.: 325-3203
 SENDER'S COMMENTS: GROUNDWORK CHANG.



FAX

ST. LUCIE TRUSS CORP.
10331 LENNARD RD.
PORT ST. LUCIE, FL 34951

Date 10-21-97
Number of pages including cover sheet 4



Town of Sewall's Point
- 287-2455

To: GARY KELLY

From: BACT HENRY

Phone 283-3492

Phone (407) 335-3207

Fax Phone 270-7310

Fax Phone (407) 335-3209

CC: _____

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- Urgent
- For your review
- Reply ASAP
- Please comment

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THE GIRDER THAT CARRIES 'AT', GIRDER 'A', REQUIRES
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DOES NOT NEED TO BE MODIFIED.

I HOPE I'VE ANSWERED ALL YOUR QUESTIONS. IF I
MAY BE OF FURTHER ASSISTANCE, PLEASE CALL

MY REGARDS,

St. Lucie Truss Corp.

10331 LENNARD RD., PORT ST. LUCIE, FL 34952
Ph. 407-335-3207 Fax 407-335-3209

MJD Construction Services
935 Barnett Drive
Lake Worth, FL 33460

January 23, 1998

Re: Roof girder truss 'A'
Grouzdev residence
Lot 11, The Plantation

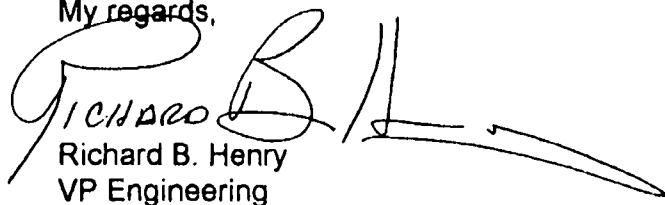
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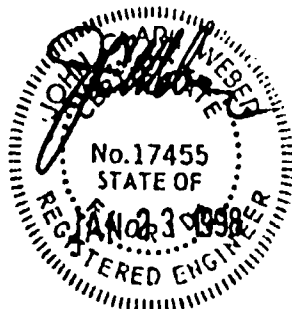
Instead of the single 2x8 scab, install 3/4" BC plywood to both faces of the girder in the same area originally specified for the scab. This plywood gusset must be full depth but may be pieced in 24" wide sections to allow for easier installation. If mechanicals are in the way, the plywood may be slotted around these mechanicals, plumbing, electrical, etc. Nail all plywood using 12d nails at 4" O.C. at all crossed members, top chord, bottom chord, and webs. Equivalent gun nails may be used such as a 2"x.113".

Please feel free to contact me if you should require any additional help or clarification regarding this matter.

My regards,


Richard B. Henry
VP Engineering

Cc: J. C. Weber, PE



Name:

Address:

This Instrument Prepared by:

Address:

Property Appraisers Parcel Identification (Folio) Number(s):

OSeminole Paper & Printing Co., Inc. 1987

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

Permit No: _____

NOTICE OF COMMENCEMENT

State of Florida

County of _____

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

Legal description of property (Include Street Address, if available) _____

Lot 11 The Plantation at Sewell Point

N.E. Lagoon Island Court, Stuart, Fl.

General description of improvements Single Family Residence

Owner Serguei And Victoria Grouzdev

Address c/o Carat 7 International Inc. 10223 S.E Lennard Road

Port St. Lucie, Fl. 34952

Owner's interest in site of the improvement _____

Fee Simple Title holder (if other than owner) None

Name _____

Address _____

Contractor MJD Construction Services Inc.

Address 935 Barnett Drive Lake Worth Fl. 33461

Surety None

Address _____ Amount of bond \$ _____

Any person making a loan for the construction of the improvements:

Name Jefferson Bank of Florida

Address 2434 Hollywood Blvd. Hollywood, Fl. 33020

Person within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes.

Name Grisha Gorodenker

Address 10223 S.E. Lennard Road Port St. Lucie, Fl. 34952

In addition to himself, owner designates _____

Of _____

to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified).

[Handwritten Signature]

Signature of Owner

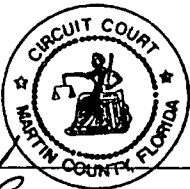
Serguei Grouzdev

Printed Signature of Owner

NOTARY RUBBER STAMP SEAL

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.
MARSHA TILLEY, CLERK



BY _____ B.C.

DATE 8/12/96

I have relied upon the following identification of the Affiant FDL # 4623-
780-60.127-0

Sworn to and subscribed before me this 25 day of July
19 96

[Handwritten Signature]

Notary Signature

JUDITH S. ELLIS

MY COMMISSION # CC428909 EXPIRES
February 14, 1999



Printed Notary Signature

BONDED THRU TROY FAIR INSURANCE, INC.



BUILDING CODE COMPLIANCE OFFICE
SUITE 1603
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Madden Manufacturing
1889 N.W. 22nd Street
Pompano Beach FL 33069

PRODUCT CONTROL SECTION
(305) 375-2902
FAX (305) 372-6339

Your application for Product Approval of:

.050" Aluminum Alloy Storm Panel

under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: *applicant along with Madden Manufacturing Co. drawing # 96-110 sheets 1 through 7 revised on 02/26/97 and signed by V.J. Knezevich P.E. (For listing of all evidence see section 8 of this Notice of Acceptance).*

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 96-0520.02

Expires: 03/13/00

Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 03/13/97



BUILDING CODE COMPLIANCE OFFICE
SUITE 1603
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Madden Manufacturing
1889 N.W. 22nd Street
Pompano Beach FL 33069

PRODUCT CONTROL SECTION
(305) 375-2902
FAX (305) 372-6339

Your application for Product Approval of:

.050" Aluminum Alloy Storm Panel

under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: *applicant along with Madden Manufacturing Co. drawing # 96-110 sheets 1 through 7 revised on 02/26/97 and signed by V.J. Knezevich P.E. (For listing of all evidence see section 8 of this Notice of Acceptance).*

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 96-0520.02

Expires: 03/13/00

Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

Charles Danger, P.E.
Director
Building Code Compliance
Metropolitan Dade County

Approved: 03/13/97



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Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 03/13/97

PREPARED BY AND RETURN TO:
Town of Sewall's Point
1 S. Sewall's Point Road
Stuart, FL 34996

[Space above this line for recording]

Date: February 18, 1998

This is to request a Certificate of Approval for Occupancy to be issued to:
SERGEI GROUZDEV for Permit No. 4036 issued to construct a SINGLE FAMILY
RESIDENCE upon property described as follows:

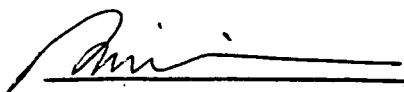
Lot 11, Block -, Section -, Subdivision the PLANTATION
known as: 3 ISLAND LAGOON COURT When completed in conformance
with the approved plans and approval of the following required inspections.

CERTIFICATE OF OCCUPANCY

TOWN OF SEWALL'S POINT, FLORIDA

Lot Stakes/Setbacks	Approved: <u>DALE BROWN</u>	Termite Protection	Approved: <u>DALE BROWN</u>
Footings/Slab	Approved: <u>I</u>	Rough Plumbing	Approved: <u>4/3/97</u>
Rough Electric	Approved: <u>4/31/97</u>	Lintel/Tie-beam	Approved: <u>DALE BROWN</u>
Roofing	Approved: <u> </u>	Framing/Furring	Approved: <u>4/31/97</u>
Insulation	Approved: <u>5/8/97</u>	HVAC Rough	Approved: <u>4/3/97</u>
Final Electric	Approved: <u>2/16/98</u>	Final Plumbing	Approved: <u>11/9/98</u>
Final HVAC	Approved: <u>2/16/98</u>	Storm Shutters	Approved: <u>10/10/97</u>
Tie-in Survey	Approved: <u>10/5/97</u>	Landscape	Approved: <u>2/16/98</u>

ISSUED THIS 18th DAY OF February, 19 98


Building Inspector


Building Commissioner


Town Clerk

4058

POOL

TOWN OF SEWALL'S POINT BUILDING PERMIT

DO NOT REMOVE UNTIL JOB IS COMPLETED **162R**

NO. 4058 DATE ISSUED 10/17/96

FOR INSPECTIONS CALL 287-2455 FROM
8:00 A.M. - 12:00 NOON AND 1:00 P.M. - 4:00 P.M.

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

OWNER Gravzer
 CONTRACTOR Olympic
 LOT 11 BLOCK _____ SUB Plantation
 NO. 3 Island Laguna Court

- REQUESTS FOR INSPECTIONS REQUIRE AT LEAST 24 HOURS NOTICE.
- ALL WORK MUST BE IN COMPLIANCE WITH THE TOWN OF SEWALL'S POINT ORDINANCES, THE SOUTH FLORIDA BUILDING CODE, THE STATE OF FLORIDA ENERGY EFFICIENCY BUILDING CODE AND ELEVATIONS BASED ON THE LATEST FLOOD INSURANCE RATE MAP.
- WORKING HOURS ARE FROM 8:00 A.M. TO 5:00 P.M. MONDAY THRU SATURDAY.

TO CONSTRUCT Pool

REMARKS:

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
ROOF:		
A. TIN TAG		
B. FINAL		
POOL:		
A. STEEL & GROUND	10/16/96	OK DB
B. DECK	11/19/96	OK DB
C. FINAL		
DOCK:		
A. PILINGS		
B. FINAL		
FENCE:		
STORM SHUTTERS:		
OTHER:		

Permit No. _____

Date 10/2/96

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable; and at least two (2) elevations, as applicable.

4058

Owner Serguei Grouzdev Present Address 10223 S.E. Lennard Rd

Phone 219-8829 PT 54000 Fla 34952

Contractor Olympic Pools Address 1565 S.W. Martin Hwy

Phone 286-6070 Palm City Fla 34990

Where licensed State of Fla License number CR039888

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Swimming Pool w/ Spa & Fountain

3

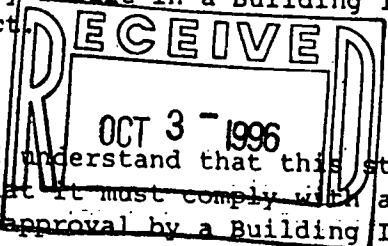
State the street address at which the proposed structure will be built: _____

Subdivision The Plantations Lot number 11 Block number _____

Contract price \$ 35,000 Cost of permit \$ 200.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.



Contractor KSJ

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Mark Eido Pres.

TOWN RECORD

Date submitted _____ Approved: Rob Brown 10/17/96
Building Inspector Date

Approved: [Signature] Commissioner Date Final Approval given: _____ Date

Certificate of Occupancy issued (if applicable) _____ Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

M.J.D

162R

TO BE COMPLETE WHEN CONSTRUCTION VALUE IS \$2500.00 OR MORE

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENTS WILL BE MADE CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS, IF KNOWN)

Lot # 11 The Plantation @ Sewalls Pt
N.E. Lagoon Island Court

GENERAL DISCRETION OF IMPROVEMENTS Swimming Pool w/ Spa Fountain

OWNER: Serguei & Victoria Grouzdev

ADDRESS: 46 Carat 7 International, Inc., 10223 S.E. Leonard Rd

OWNER'S INTEREST IN PROPERTY: Pt St. Lucie, Fla 34952

FEE SIMPLE TITLE HOLD (IF OTHER THAN OWNER): _____

ADDRESS: _____

CONTRACTOR: Olympic Pools of Stuart Corp

ADDRESS: 1565 SW Martin Hwy Palm City, Fla 34990

SURETY COMPANY (IF ANY) _____

ADDRESS: _____

LENDER'S NAME: Jefferson Bank of Florida

ADDRESS: 2434 Hollywood Blvd, Hollywood, Fla 33020

PERSON WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.3(1) (A)7., FLORIDA STATUTES:

NAME: MJD Construction
ADDRESS: 935 Barnett Dr, Lake Worth, Fla 33460

IN ADDITION TO HIMSELF, OWNER DESIGNATES Mike TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13 (1) (B), FLORIDA STATUTES.

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED.

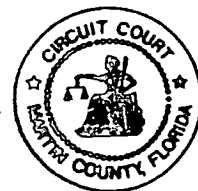
[Signature]
SIGNATURE OF OWNER

STATE OF Florida
COUNTY OF Martin

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHA STILLER, CLERK
BY T. COPUS D.C.
DATE 10-4-96



THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20 DAY OF September, 1996, BY Michael J Diegidio WHO IS KNOWN TO ME OR WHO PRODUCED _____ AND WHO DID NOT TAKE AN OATH.

[Signature]
NOTARY SIGNATURE



JOHN K DAVIES JR
My Commission CC457551
Expires May 07, 1999
Bonded by ANB
800-852-5878

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (561) 461-7508

VERO BEACH: (561) 567-6167

STUART: (561) 283-7711

Report of DENSITY OF SOIL IN PLACE ASTM D2922

Client MJD Construction Services, Inc.

Date August 30, 1996

Contractor Client

Site 3 Lagoon Island Court
Sewalls Point
Pool Foundation Area

Permit # *4036*

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max Dry Density	
226	N.W. Corner	0 - 1'	103.1	2262	104.3	98.8
	"	1 - 2'	103.8			99.5
	Center	0 - 1'	103.7			99.4
	"	1 - 2'	104.0			99.7
	S.E. Corner	0 - 1'	103.5			99.2
	"	1 - 2'	103.9			99.6
All elevations below bottom of pool.						

Copies Client - 2

Respectfully submitted.

Paul H. Danforth
PAUL H. DANFORTH, P.E.

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (561) 461-7508
 VERO BEACH: (561) 567-6167
 STUART: (561) 283-7711

Report of MOISTURE DENSITY RELATIONSHIP ASTM 1557-70

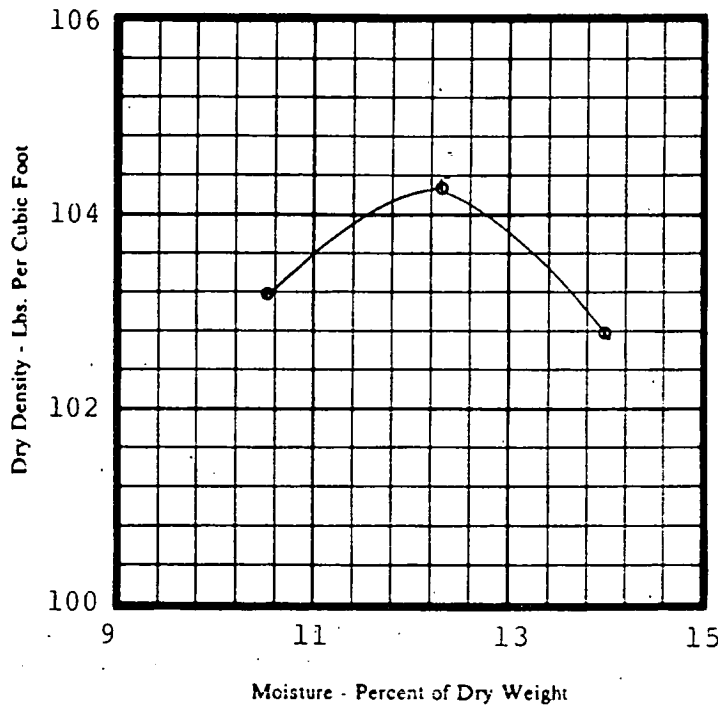
Client MJD Construction Services, Inc.

Date August 30, 1996

Contractor Client

Site 3 Lagoon Island Court
 Sewalls Point
 Pool Foundation Area

Permit # *4036*



Test No.	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P.C.F.	Soil Description
2262	B	Composite	12.3	104.3	Orange fine sand.

Copies

Respectfully submitted,

Paul H. Danforth
 PAUL H. DANFORTH, P.E.

5537

DOCK ALTERATION/BOAT

LIFT/ROOF

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 9/20/01 BUILDING PERMIT NO. 5537
Building to be erected for STEPHEN L. EARSLEY Type of Permit DOCK ALT./LIFT/ROOF
Applied for by NICK RAICH BLDG. CORP. (Contractor) Building Fee \$240.00
Subdivision PLANTATION Lot 11 Block _____ Radon Fee _____
Address 3 N.E. LAGOON ISLAND COURT Impact Fee _____
Type of structure S.F.R. A/C Fee _____

Parcel Control Number: _____
26-37-41-013-000-00110-30000
Electrical Fee 120.00
Plumbing Fee _____
Roofing Fee 120.00

Amount Paid \$480.00 Check # _____ Cash Other Fees (_____)
Total Construction Cost \$ 16,000.00 TOTAL Fees \$480.00

Signed [Signature] Applicant Signed [Signature] Town Building Inspector OFFICIAL

DOCK PERMIT

INSPECTIONS

SETBACKS	DATE _____	WATER	DATE _____
PILINGS	DATE _____	ELECTRIC	DATE _____
BOAT LIFT	DATE _____	DECK	DATE _____
		FINAL	DATE <u>2/8/02</u>

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS - 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

- New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

Sec. 62-173. Private residential common boundary docks.

In addition to the standards and criteria enumerated in sections 62-171 and 62-172 that are not in conflict with this section, private residential common boundary docks shall also conform to the following specific standards and criteria:

- (1) The dock shall be used only for private, recreational or leisure purposes by the owners or lessees of the upland riparian properties from the common boundary of which the dock extends, and by the families and social guests of the owners or lessees.
- (2) The dock shall be designed and used to moor not more than four boats.
- (3) No more than one dock shall be constructed from any upland riparian property.
- (4) The applicant shall furnish a written agreement signed and acknowledged by all record owners of the adjacent upland riparian properties, in a form acceptable to the town, providing for appropriate cross-easements, restrictions and covenants running with the land, which shall be filed in the public records of the county at the expense of the applicant.

(Code 1978, § 4.5-5(c))

FILE BARSLEY
3 LAGOON CT
NICK RAICH BLDG CORP.

Sec. 62-174. Prohibited docks.

Except for private residential single docks and private residential common boundary docks, there shall be no docks (including commercial docks) permitted within the jurisdictional limits of the town.

(Code 1978, § 4.5-5(d))

COMPLIANCE REVIEW
PROPOSED ROOF @ ISONT LIFT. 9/19/01

Sec. 62-175. Roofs.

The applicant must submit plans for a proposed roof to be constructed as part of an existing or proposed dock to the building department for approval. The following conditions must be met:

UPLAND STRUCTURE - ELEV. CERT.; ADJ. GR. = NGVD 22.65 ✓

- ✓ (1) The plans shall indicate that the height of the roof shall not exceed the finished grade of the upland riparian property to which the dock is appurtenant; however, in no event shall the height of the roof exceed 15 feet measured from the terminal platform of the dock to which the roof is appurtenant.
- ✓ (2) The area to be covered by the roof shall not exceed 500 square feet.
- ✓ (3) The construction of roofs over submerged grassbeds is prohibited.
- (4) The plans shall indicate that the roof will be constructed of materials and in a manner that will, in all probability, withstand sustained winds of 120 miles per hour as specified by the town building code.
- ✓ (5) The applicant shall submit letters of no objection to the roof from the record owners of the upland riparian properties abutting each side of the applicant's property.

(Code 1978, § 4.5-6)

DIA. HGT.
= 15'-0"

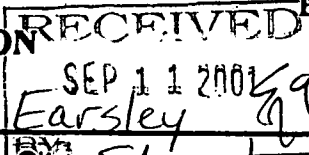
20x20 = 400 ✓
NEP RPER ✓

M-DC
RFE
NOTED.

RCVD

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Bldg. Permit Number: _____



Owner or Titleholder's Name Stephen L. Earsley Phone No. (561) 475-7194
Street: 3 NE Lagoon Island Ct. City: Stuart State: FL Zip 33403
Legal Description of Property: Plantation at Sewall's Point Lot 11

Parcel Number: 2437416130000011030000
Location of Job Site: 3 NE Lagoon Island Court Stuart, FL 33403

TYPE OF WORK TO BE DONE: Shorten existing dock, install boatlift, build boathouse

CONTRACTOR/Company Name: Nick Raich Building Corp. Phone No. (561) 260-3950
Street: 1535 Prosperity Farms Rd City: Lake Park State: FL Zip 33403
State Registration: FL State License: CGC020648

ARCHITECT: Mark McCree Phone No. (561) 615-0636
Street: 4753 Belvedere Rd City: WPB State: FL Zip 33415

ENGINEER: Mathers Engineering Phone No. (561) 287-0525
Street: 2431 SE Dixie Highway City: Stuart State: FL Zip 34996

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:
Living Area: _____ Garage Area: _____ Carport: _____ Accessory Bldg: _____
Covered Patio: _____ Scr. Porch: _____ Wood Deck: _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
New Electrical Service Size: _____ AMPS

FLOOD HAZARD INFORMATION
Flood zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD
Proposed first habitable floor finished elevation: _____ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES
Estimated cost of construction or improvement: \$ 16,000.00
Estimated Fair Market Value (FMV) prior to improvement: \$ _____
If improvement, is cost greater than 50% of Fair Market Value? YES _____ NO _____
Method of determining Fair Market Value: _____

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)
Electrical: _____ State: _____ License # _____
Mechanical: _____ State: _____ License # _____
Plumbing: _____ State: _____ License # _____
Roofing: PACIFIC ROOFING State: FL License # CCC056793

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE 'BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)
[Signature]

CONTRACTOR SIGNATURE (Required)
[Signature]

State of Florida, County of: MARTIN On this the 12th day of _____, 2000, by STEPHIN EARSLEY who is personally known to me or produced as identification.

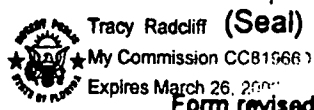
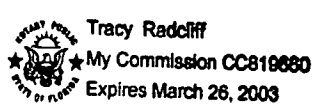
State of Florida, County of: MARTIN On this the 12th day of _____, 2000, by NICK RAICH who is personally known to me or produced as identification.

Notary Public
[Signature]

Notary Public
[Signature]

My Commission Expires: 3/26/03

My Commission Expires: 3/26/03



TREE REMOVAL (Attach sealed survey)

Number of trees to be removed: _____ Number of trees to be retained: _____ Number of trees to be planted: _____ Number of Specimen trees removed: _____
Fee: \$ _____ Authorized/Date: _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE

- a. Property Appraisers Parcel Number.
- b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- c. Contractors name, address, phone number & license numbers.
- d. Name all sub-contractors (property licensed).
- e. Current Survey

- 2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
- 3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
- 4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:
 - a. Floor Plan
 - b. Foundation Details
 - c. Elevation Views - Elevation Certificate due after slab inspection,
 - d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 - e. Truss layout
 - f. Vertical Wall Sections (one detail for each wall that is different)
 - g. Fireplace drawing: If prefabricated submit manufacturers data

ADDITIONAL Required Documents are:

- 1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
- 2. Well Permit or information on existing well & pump.
- 3. Flood Hazard Elevation (if applicable).
- 4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
- 5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
- 7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
- 8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official: _____ Date: 9/14/07

Approved by Town Engineer _____ Date: _____
(If required)

EARSLEY

INSTALL BOATLIFT

BUILD BOAT ROOF

SHORTEN EXISTING DOCK

LETTER OF NO OBJECTION

We, Ellyn Stevenson and RAY STEVENSON

being the owner(s) of certain property adjacent to and abutting the property of STEVE EARSLEY who have applied for a dock permit for construction, have read and reviewed the drawing of the dock and I have no objection to the proposed dock pursuant to the plan attached herein.

Ray Stevenson
Ellyn Stevenson

STATE OF

COUNTY OF

SWORN TO AND SUBSCRIBED before me this 30 day of August, 2001

Judith A. Cooke
Notary Public

My Commission Expires: 6/03/04



Judith A Cooke
My Commission CC931284
Expires June 03, 2004

LETTER OF NO OBJECTION

We, Jack Wakenberg and CJ Wakenberg
 being the owner(s) of certain property adjacent to and abutting the
 property of Steve Conley who have applied for a
 dock permit for construction, have read and reviewed the drawing of the
 dock and I have no objection to the proposed dock pursuant to the plan
 attached herein.

Jack Wakenberg
CJ Wakenberg

STATE OF Michigan
 COUNTY OF Emmet

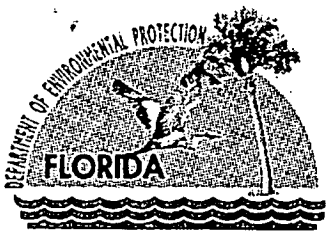
SWORN TO AND SUBSCRIBED before me this 30 day of Aug, 2001

Elizabeth Wilson
 Notary Public

My Commission Expires: 7-29-04

ELIZABETH C. WILSON
 Notary Public, Emmet, MI
 My Commission Expires July 29, 2004

Fax 398-2815 Mark Youmans
attn



Jeb Bush
Governor

Department of Environmental Protection

Port St. Lucie Branch Office
1801 SE Hillmoor Drive
Suite C-204
Port St. Lucie, FL 34952
(561)398-2806

David B. Struhs
Secretary

JUN 26 2001

Steve and Donna Earsley
3 Lagoon Island Court
Stuart, FL 34997

286-8300

FILE

File Number: 43-0185596-001
Martin County

Dear Mr. and Mrs. Earsley:

On June 15, 2001, we received your application for an exemption to perform the following activities: reconfigure an existing dock to a 1000 square foot structure with an access measuring 5' wide by 92' long, a terminal platform measuring 7' wide by 20' long with a covered boatlift (20' long and a 20' wide) in the St. Lucie River Class III waters of the state, located at 3 Lagoon Island Court (Section 26, Township 37 South, Range 41 East), Stuart, Martin County.

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project may not have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

1. Regulatory Review - EXEMPTION VERIFIED

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, Florida Administrative Code (F.A.C.), and in accordance with operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

Based on the information you submitted, we have determined that your project is exempt from the need to obtain a DEP Environmental Resource Permit under Rule 40E-4.051(3)(b), (F.A.C.).

2. Proprietary Review (related to state-owned lands) - GRANTED

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (B.O.T.) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project may occur on sovereign submerged land and may require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for consent to use sovereign submerged lands. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees for the upland riparian owner to perform the project.

"More Protection, Less Process"

Steve and Donna Earsley
File Number: 43-0185596-001
Page Two

3. Federal Review (State Programmatic General Permit) - AUTHORIZATION GRANTED

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (the Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.*

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). Your proposed activity as outlined on the attached drawings is in compliance with the SPGP program. U.S. Army Corps of Engineers (Corps) General conditions apply to your project, as attached. **No further permitting for this activity is required by the Corps.** The authority granted under this SPGP expires December 17, 2003. Your project must be completed prior to this expiration date.

The determinations in this letter are based solely on the information provided to the Department and on the statutes and rules in effect when the application was submitted. The determinations are effective only for the specific activity proposed. These determinations shall automatically expire if site conditions materially change or if the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

This letter does not relieve you from the responsibility of obtaining other permits (federal, state, or local) that may be required for the project.

NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS

This letter acknowledges that the proposed activity is exempt from ERP permitting requirements under Rule 40E-4.051(3)(b), F.A.C. This determination is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this determination automatically becomes only proposed agency action subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. The procedures for petitioning for a hearing are set forth in the attached notice.

This determination is based on the information you provided the Department and the statutes and rules in effect when the application was submitted and is effective only for the specific activity proposed. This determination shall automatically expire if site conditions materially change or the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. Because the administrative hearing process is designed to redetermine final agency action on the application, the filing of a petition for an administrative hearing may result in a final determination that the proposed activity is not authorized under the exemption established under Rule 40E-4.051(3)(b), F.A.C.

Steve and Donna Earsley
File Number: 43-0185596-001
Page Three

The Department will not publish notice of this determination. Publication of this notice by you is optional and is not required for you to proceed. However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permit.

If you wish to limit the time within which all substantially affected persons may request an administrative hearing, you may elect to publish, at your own expense, the enclosed notice (Attachment A) in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place. A single publication will suffice.

If you wish to limit the time within which any specific person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of sections 50.011 and 50.031 of the Florida Statutes. In the event you do publish this notice, within seven days of publication, you must provide to the following address proof of publication issued by the newspaper as provided in section 50.051 of the Florida Statutes. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

Florida Department of Environmental Protection, Southeast District - Port St. Lucie Branch Office
Submerged Lands & Environmental Resources Program, 1801 SE Hillmoor Drive Suite C-204
Port St. Lucie, FL 34952

Thank you for applying to the Submerged Lands and Environmental Resource Program. If you have questions regarding this matter, please contact **Mark Youmans** of this office, at telephone (561)398-2806.

Sincerely,

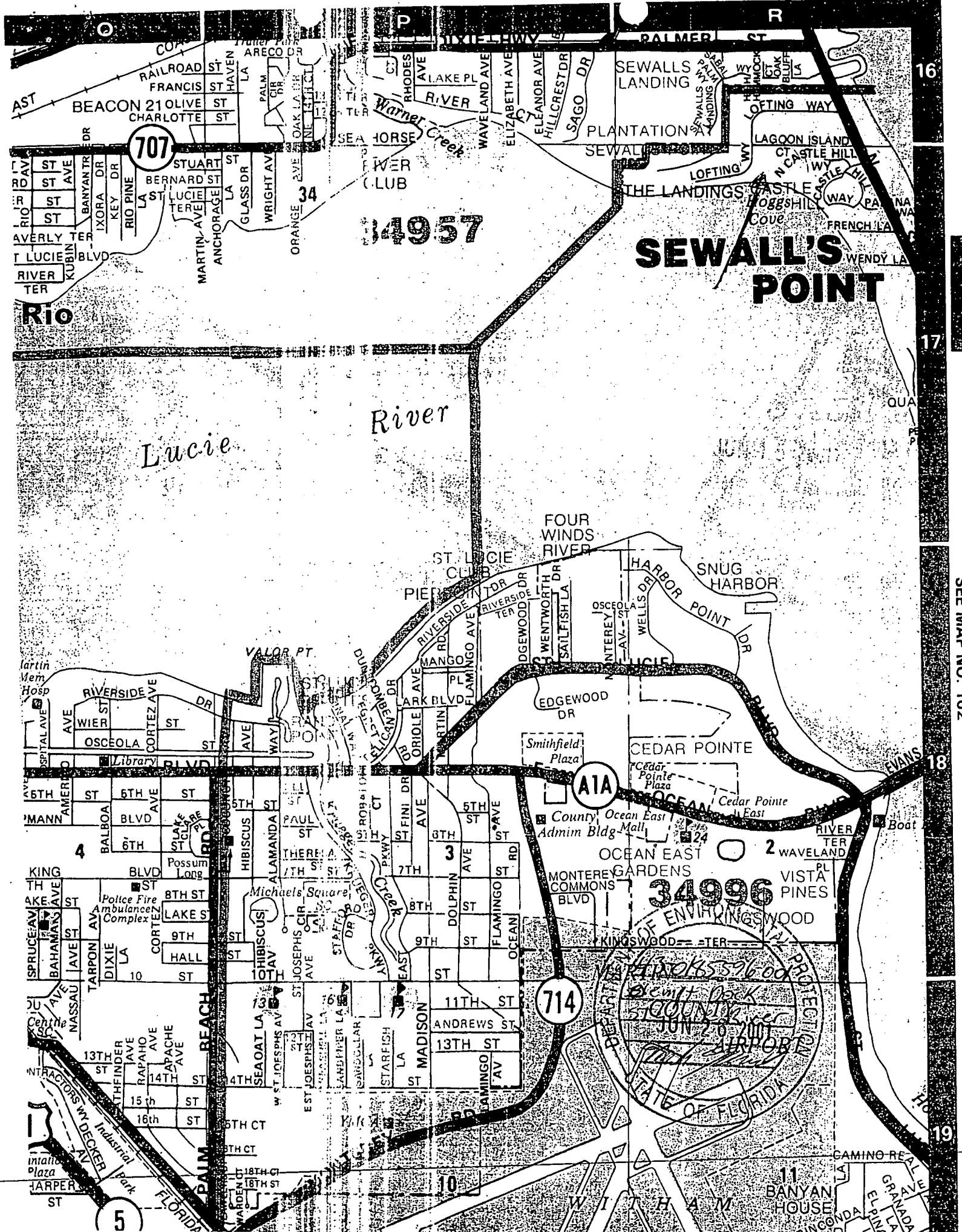
Donna Civetti

for Gary N. Roderick
Environmental Administrator

GNR\MY\

Enclosures: General Consent Conditions
Federal Manatee Conditions, Federal General Conditions for SPGP III- R1 and Transfer Request
Attachment A- Notice of Determination of Qualification for Exemption
Attachment D- General Single-Family Dock Information

cc: U.S. Army Corps of Engineers, Stuart [without enclosures]
Nationwide Marine Corp. (Agent) [without enclosures]



SEWALL'S POINT

4957

34996

AIA

714

707

5

SEE MAP NO. 102

DEPARTMENT OF ENVIRONMENTAL PROTECTION
 STATE OF FLORIDA
 JUN 26 2001
 155376-00
 155376-01

Rio

Lucie River

River

FOUR WINDS RIVER

HARBOR POINT DR

CEDAR POINT

OCEAN EAST

KINGSWOOD

VISTA PINES

WAVELAND

MONTEREY COMMONS

SEWALLS LANDING

PLANTATION

LAGOON ISLAND

THE LANDINGS

SEWALLS LANDING

SEWALLS LANDING

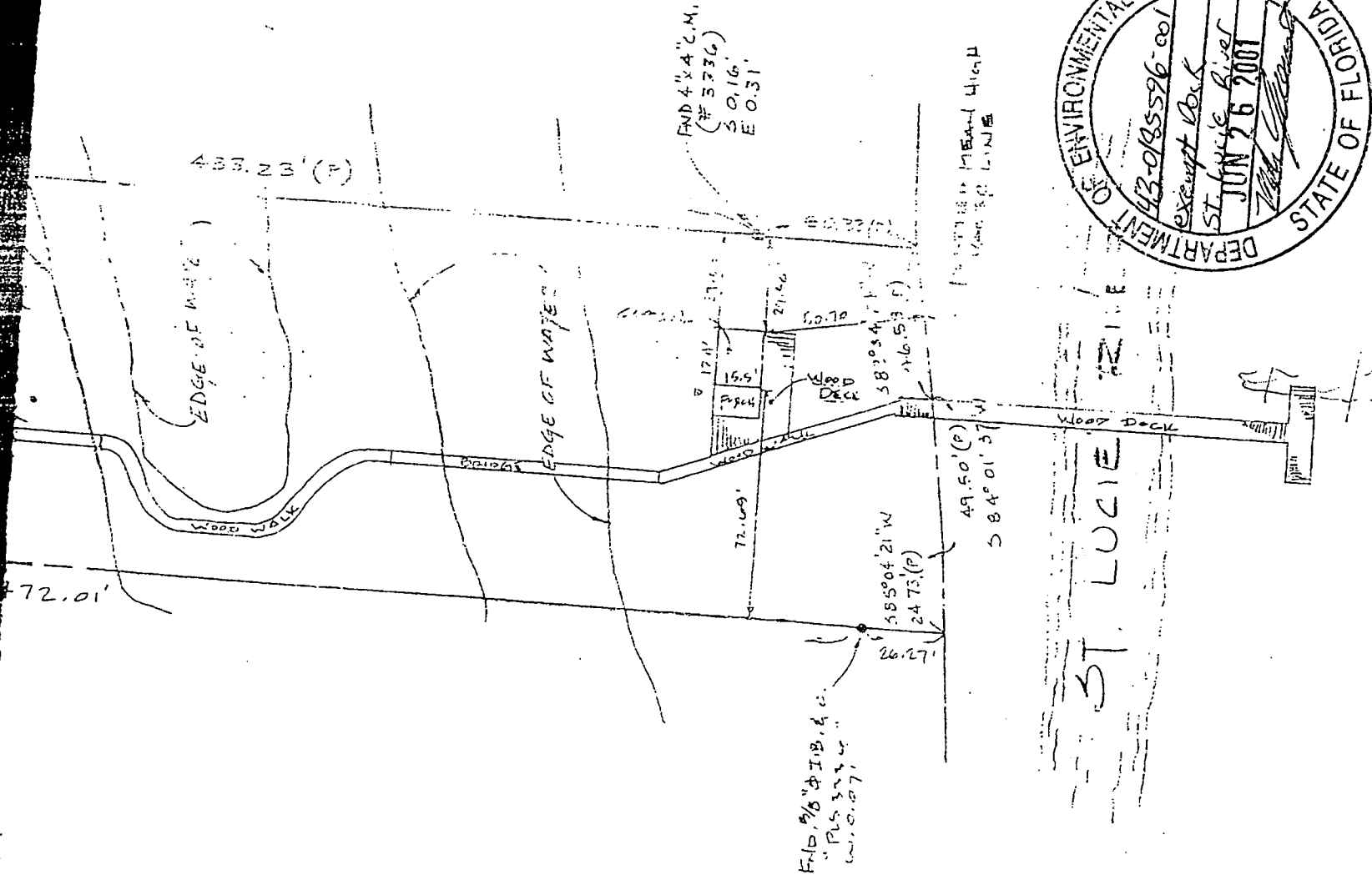
SEWALLS LANDING

SEWALLS LANDING

SEWALLS LANDING

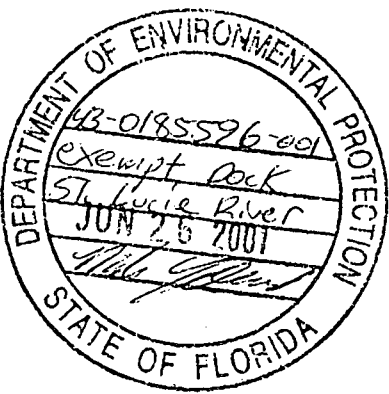
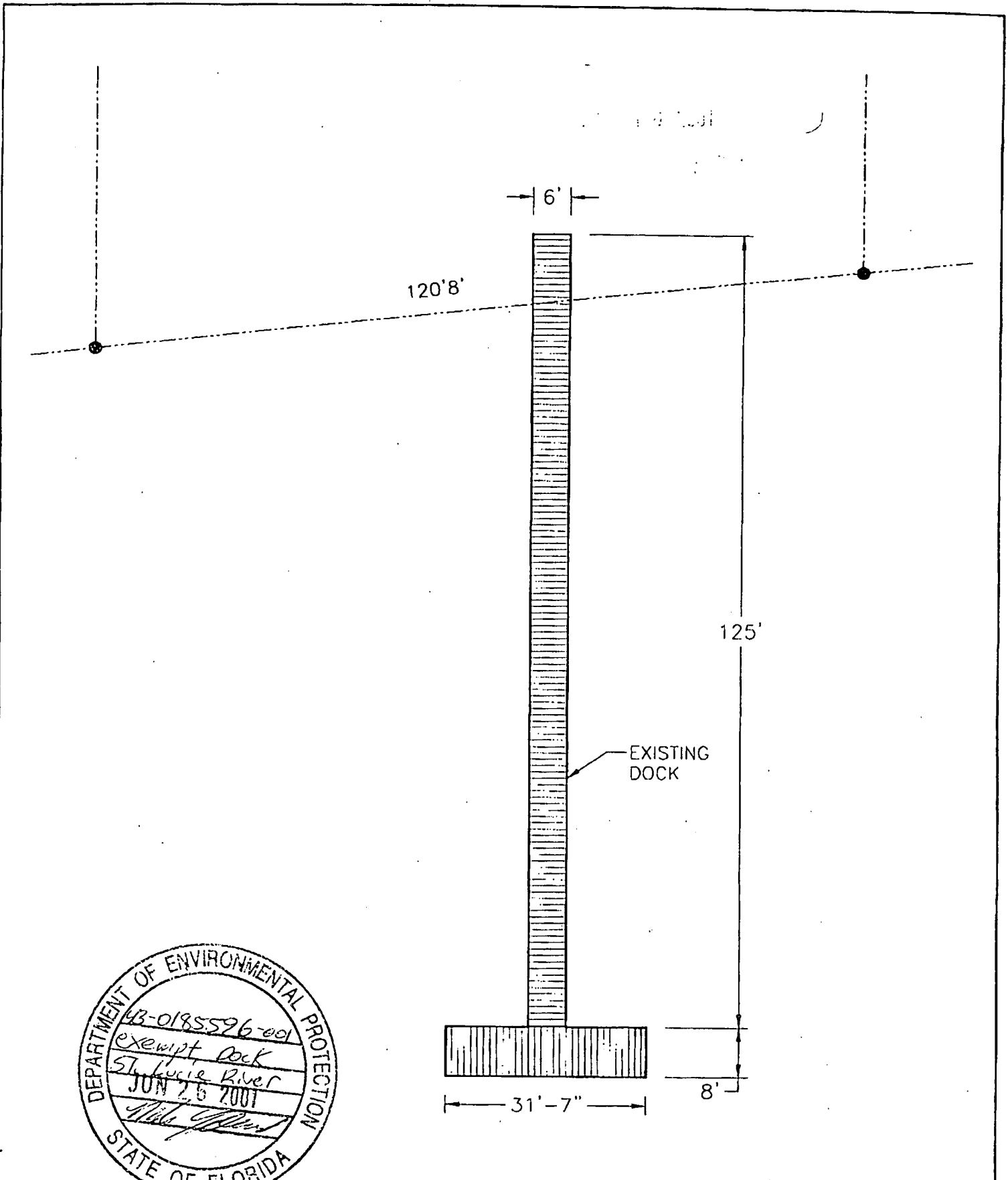
SEWALLS LANDING

LOCATION MAP

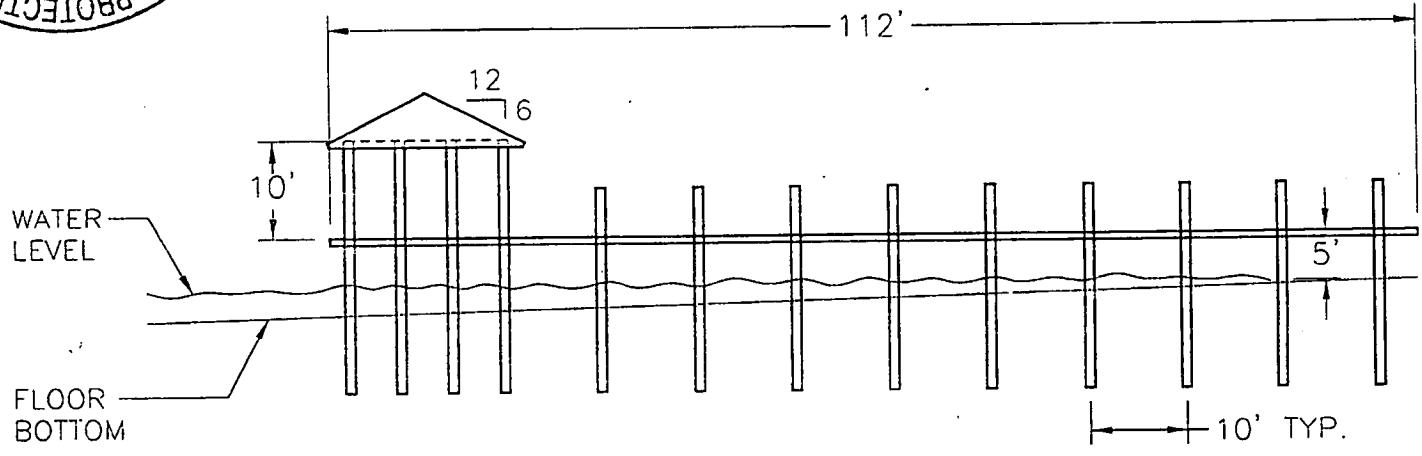
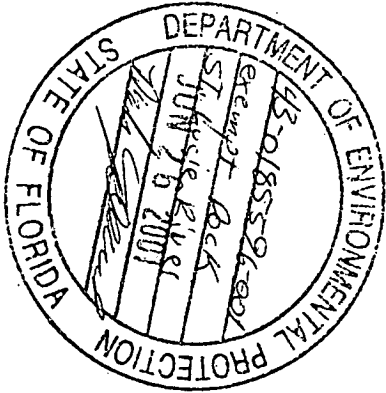


NOTATION AT
RECORDED IN PLAT

BOUNDARY SURVEY



TITLE			
EARSLEY - EXISTING DOCK			
DRAWING #		DATE	REV
		6/8/01	
		PAGE	



JUN 15 2001
 ST. JESIE RIVER

TITLE EARSLEY - NEW DOCK CROSS SECTION			
DRAWING #		DATE 6/8/01	REV PAGE

112'-0"

2"x8" DECKING W/ 1/2" PLANK SPACING. TOP OF DECK 4'-5' ABOVE MHW ELEVATION

OPTIONAL 2x6 RIGID FAIL

STRINGER COUNT
<4' WIDE -2
4'-6' WIDE -3
8' WIDE - 4

OLD PILING, STRINGER AND CROSS BRACING TO BE REMOVED

2"x8" CROSS BRACE ON EACH SIDE OF PILE - .40 CCA

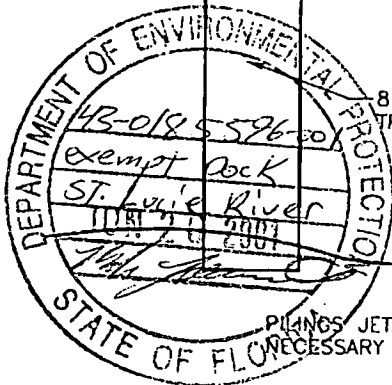
2"x8" STRINGERS MARINE TREATED. ALL STRINGERS STAGGER LAP SPLICED

MHW

MLW

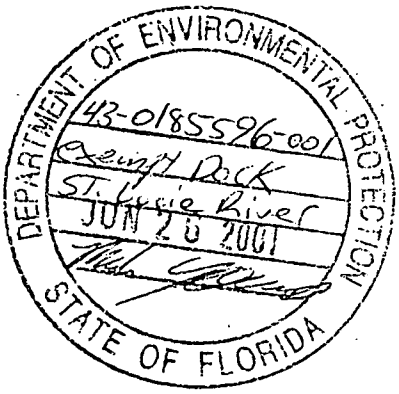
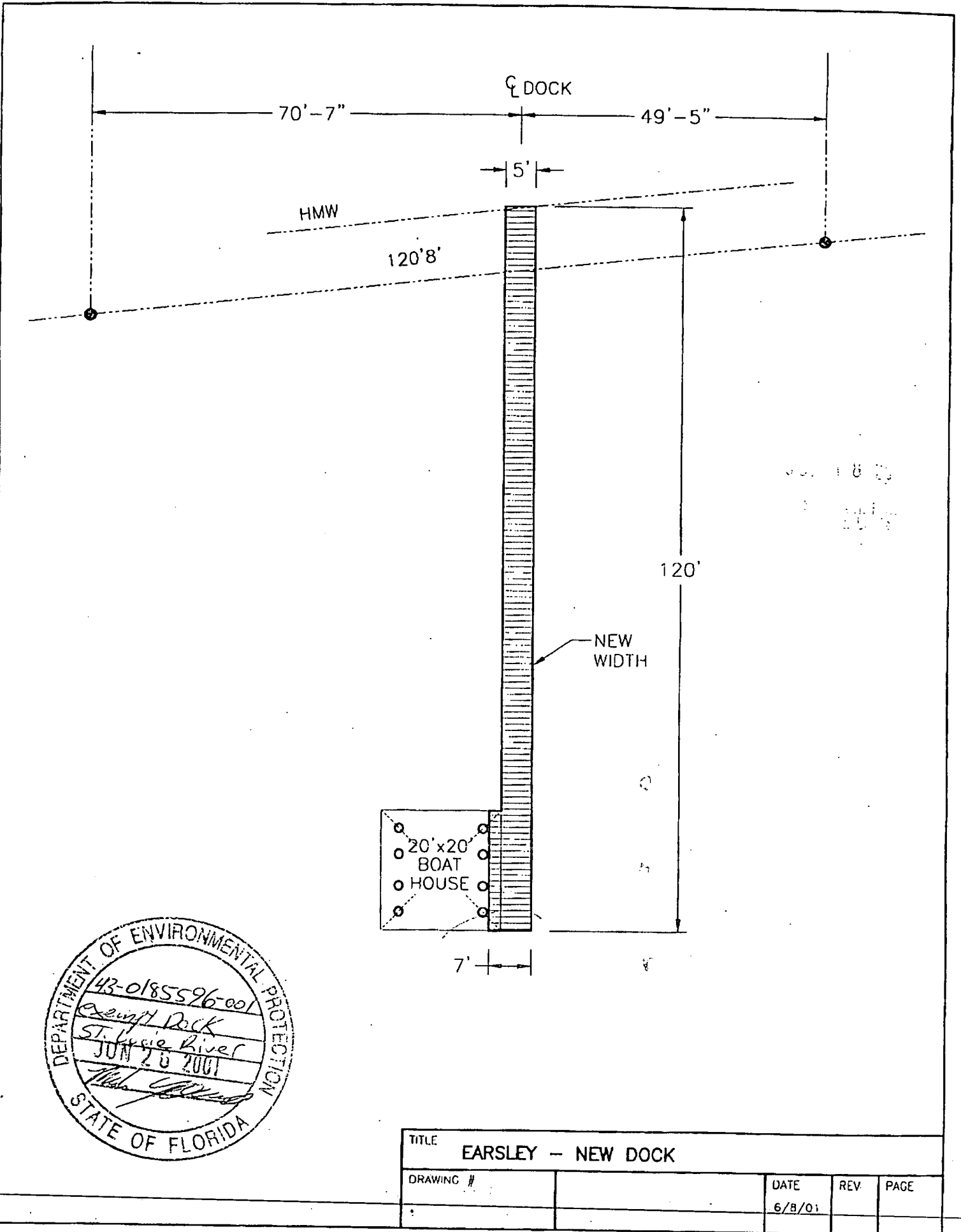
8" DIA 2.5 CCA MARINE TREATED PILING

BOTTOM ELEV VARIES



PILING JETTED TO A MINIMUM DEPTH OF 6' AND AS NECESSARY TO PROVIDE ADEQUATE BEARING AND STABILITY

TITLE EARSLEY - DOCK CROSS SECTION			
DRAWING #		DATE 6/8/01	RFV PAGE



TITLE EARSLEY - NEW DOCK				
DRAWING #		DATE	REV.	PAGE
		6/8/01		

ACORD. CERTIFICATE OF LIABILITY INSURANCE OPID RP RAICH-1 DATE 09/11/2001

PRODUCER
 Massey, Clark, Fischer, Inc
 400 Executive Ctr Dr, Ste 200
 West Palm Beach FL 33401
 Phone: 561-478-1660 Fax: 561-478-5876

INSURED
 Rick Raich Building Corp
 1535 Prosperity Park Road
 Lake Park FL 33403

INSURERS AFFORDING COVERAGE
 Great American Ins Co
 Clarendon National Ins Co

COVERAGES

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELIEVED TO BE IN FORCE.

RECEIVED
 SEP 11 2001

FILE
Permit
FILE
Refuse

COPY

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED, IT MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	02-10000-7051	07/27/01	07/27/02	COMMERCIAL GENERAL LIABILITY 100,000 PERSONAL AND ADVERTISING 10,000 PERSONAL AUTO LIABILITY 10,000 GENERAL AGGREGATE 20,000 PRODUCTS AND COMPLETED OPERATIONS 20,000
A	AUTOMOBILE LIABILITY	02-10000-7051	07/27/01	07/27/02	COMBINED SINGLE LIMIT 100,000 BODILY INJURY 10,000 PROPERTY DAMAGE 10,000
	GARAGE LIABILITY				COMMERCIAL GARAGE 100,000
	EXCESS LIABILITY				COMMERCIAL EXCESS 100,000
B	EMPLOYERS COMPENSATION AND EMPLOYERS LIABILITY	3818GDW5-51-01	08/04/01	08/04/02	WORKERS COMPENSATION 100,000 EMPLOYERS LIABILITY 100,000
	OTHER				100,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLE USE/CONDITIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 10 Days notice of Cancellation except for Workers Compensation (30)

CERTIFICATE HOLDER N ADDITIONAL SURETY SURETY LETTER: SEWELLS

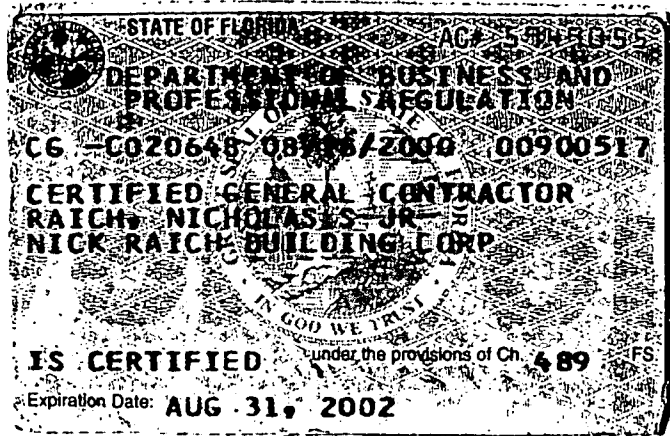
CANCELLATION
 SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

SEWELLS
 Town of Sewells
 Fax 561-220-4765
 1 S. Sewells Point Road
 Sewells Point FL 34116

J. Michael Massey

RECEIVED
SEP 20 2001
BY: *[Signature]*

COOPY
[Handwritten signature]



CG-C020648

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

FILE

PERMIT # _____

TAX FOLIO # 26374101300000110

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

3 Lagoon Island Court Stuart, FL 34997

RECEIVED
SEP 20 2001
BY: [Signature]

GENERAL DESCRIPTION OF IMPROVEMENT: _____

OWNER: Steve Earsley

ADDRESS: 3 Lagoon Island Court, Stuart, FL 34997

PHONE #: _____

FAX #: _____

CONTRACTOR: Nick Raich Building Corp.

ADDRESS: 1535 Prosperity Farms Rd. Lake Park, FL 33403

PHONE #: 561-260-3950

FAX #: 561-781-4854

SURETY COMPANY (IF ANY) _____

ADDRESS: _____

STATE OF FLORIDA

PHONE #: _____

MARTIN COUNTY

FAX #: _____

BOND AMOUNT: _____

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

LENDER: _____

MARSHA EWING, CLERK

ADDRESS: _____

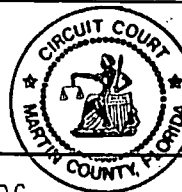
BY [Signature]

D.C.

PHONE #: _____

FAX #: _____

DATE 9-19-01



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____

OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____

FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

THE EXPIRATION DATE IS ~~ONE~~ (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]

SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 18TH DAY OF SEP

2001 BY STEVE EARSLEY

PERSONALLY KNOWN

OR PRODUCED ID _____

TYPE OF ID _____

[Signature]

NOTARY SIGNATURE



Tracy Radcliff
My Commission CC819680
Expires March 26, 2003



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 3 ~~LAFFIN WAY~~ LAGOON ISLAND

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DOCK FINAL

DOCK FOOTPRINT DOES NOT CONFORM TO APPROVED PLANS SUBMITTED FOR PERMIT.

THERE ARE MOORING PILES ON EAST END & BOAT LIFT & BOAT HOUSE ON WEST END NEITHER OF WHICH ARE INDICATED ON PERMITTED PLANS - CONFER W/ BOAT STATION TO GET COURSE OF ACTION

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/20

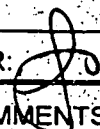


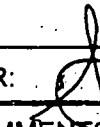
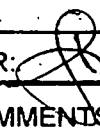


INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~_____~~, 2001; Page 1 of .

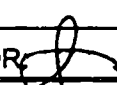
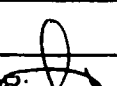
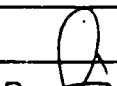
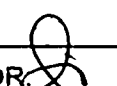
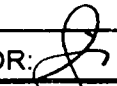
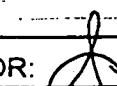
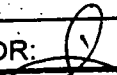
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5643		Pool Steel	Passed	
(8)	105 Abbie Ct. A + G Pools			INSPECTOR: 
5453	BRADEN	FINAL TIM TAG	Passed	
(2)	12 OAK WOOD PACIFIC			INSPECTOR: 
5642	WILLET	FINAL TIN TAG	FAILED	
(1)	3 TUMOR ST. PACIFIC	POB. RUSH 283 7663		INSPECTOR: 
5612	DEGARMO	TRUSS ENGR	Failed	
(3)	24 W INGH POINT DEGARMO			INSPECTOR: 
5531	EARLEY	DECK/BOAT LIFT	Passed	
N	3 N.E LAGOON ISL. CT. RAICH	FINAL		INSPECTOR: 
5427	FOGLIA	FRAMING	Failed	
(7)	105 ABBIE FOGLIA			INSPECTOR: 
5548	PETTINOS	HURRICANE SHUTTER	Passed	
(6)	117 HENRY SEWALLS WAY HARRY BLUE			INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~NOV 30~~, 2001; Page 0

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5603	JORDAN	POOL STEEL/DRAIN	Passed	
(1)	110 N. SEWALL PT. RD. SCHILLER POOLS			INSPECTOR: 
5391	PITTLINOS	DRIVEWAY	Failed	
(8)	117 HENRY SEWALL WAY. JMC CONTRACTING			INSPECTOR: 
5489	STRACUZZI	SHEATHING DET TO ROOF	Failed	
(9)	12 RIO VISTA DR RUCCOLO			INSPECTOR: 
5537	EARLETT	SHEATHING	Passed	
(3)	3 ISLAND LAGOON CT. RAICH			INSPECTOR: 
5421	ROBSON	FENCE -	Failed	
(4)	10 BANYAN RD. FENCE CRAFTERS	FINAL		INSPECTOR: 
5501	ALLMAN	COPPER OUT OF	Passed	
(11)	3 SUMMER LANE O/B	COLUMN		INSPECTOR: 
5592	MASSEY		Failed	
(10)	1 MINDORO (SIMARA) PACIFIC			INSPECTOR: 

OTHER: _____

6249

STORM SHUTTERS

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 4/30/03

BUILDING PERMIT NO. 6249

Building to be erected for EARSLEY Type of Permit _____

Applied for by BANNER ALUMINUM (Contractor) Building Fee 470.40

Subdivision PLANTATION Lot 11 Block _____ Radon Fee _____

Address 3 NE LAGOON ISLAND COURT Impact Fee _____

Type of structure SFR A/C Fee _____

Parcel Control Number: _____ Electrical Fee _____

2637410130000011030000 Plumbing Fee _____

Amount Paid 470.40 Check # 6357 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 49,000.00 Roofing Fee _____

TOTAL Fees 470.40

Signed Helene J. Dufour
Applicant

Signed Gene Simmons
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input checked="" type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: STEVE EARSLEY Phone (Home) _____ (Work) _____

Job Site Address: 3 N.E. LAGOON ISLAND CT City: STUART State: FL Zip: 34997

Legal Description of Property: PLANTATION AT SEWELL PT LOT II Parcel Number: 2637-41-013-000-001103-0000

Owner Address (if different): SAME City: _____ State: _____ Zip: _____

Description of Work To Be Done: INSTALL ACCORDIAN TYPE HURRICANE SHUTTERS

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company Name: BANNER ALUMINUM Phone Number: (772)4667210

Street: 5045 33RD ST City: FT PIERCE State: FL Zip: 466

State Registration Number: _____ State Certification Number: _____ Martin County License Number: SP02469

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 49000.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER KNEZEVICH + ASSOCTS Phone Number: 1954382-2800
Street: 1260 N UNIVERSITY DR City: FT LAUDER State: FL Zip: 33322

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
[Signature]
State of Florida, County of: MARTIN
This the 28TH day of APR, 2003
by STEVEN EARSLEY (who is personally known to me or produced as identification.

CONTRACTOR SIGNATURE (required)
[Signature]
On State of Florida, County of: ST. LUCIE
This the 28TH day of APR, 2003
by DAVID N. LOPER (who is personally known to me or produced as identification.

My Commission Expires: _____
Notary Public
Janes E. Dagata
Seal
My Commission DD191214
Expires May 16, 2007

My Commission Expires: _____
Notary Public
Janes E. Dagata
Seal
My Commission DD191214
Expires May 16, 2007

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR HURRICANE SHUTTERS

IMPORTANT NOTICE: All items listed below must accompany your permit application.
No application will be accepted unless all items that are applicable are submitted.

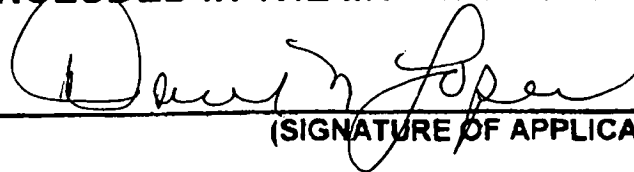
Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number.
6. Estimated cost of construction.
7. Original signature of owner and notarized
8. Original signature of Contractor and notarized.

Submittals (2 copies)

1. Window design pressures for site specific conditions
2. Product approvals from Miami/Dade for the following items:
 - a. Hurricane Shutters
3. Statement of Fact (owner/builder affidavit)
4. Proof of ownership (deed or tax recpt.)
5. Manufactures specifications or shop drawings for hurricane shutters with highlighted areas of specific installation connectors and tracks (one copy signed and sealed)
6. A certified copy of the Notice of Commencement for any work over \$2500.00
7. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
8. Copy of Workmen's Compensation
9. Copy of Liability Insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: _____

ASCE 7-98

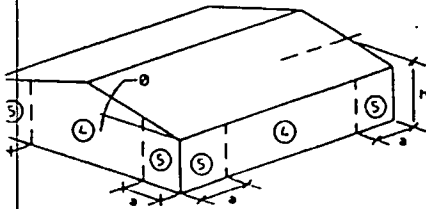
DESIGN LOADS FOR COMPONENTS & CLADDINGS - WALLS & VERTICAL SURFACES BUILDINGS WITH A MEAN ROOF HEIGHT ≤ 60 FEET

WIND SPEED = 130 MPH; EXPOSURE CATEGORY "B"

DESIGN WIND LOADS FOR EFFECTIVE WIND AREA			DESIGN WIND LOADS FOR EFFECTIVE WIND AREA ≥ 20 SQ. FT.			
POSITIVE ZONE (L) & (S)	NEGATIVE INT. ZONE (L)	NEGATIVE END ZONE (S)	MEAN ROOF HEIGHT (FT.)	POSITIVE ZONE (L) & (S)	NEGATIVE INT. ZONE (L)	NEGATIVE END ZONE (S)
30.4	-33.0	-40.7	0 - 30	29.0	-31.6	-38.0
33.0	-35.8	-44.2	> 30 - 40	31.5	-34.3	-41.2
35.2	-38.2	-47.1	> 40 - 50	33.6	-36.6	-43.9
37.1	-40.2	-49.6	> 50 - 60	35.4	-38.5	-46.3

BASIC WIND SPEED = 140 MPH; EXPOSURE CATEGORY "B"

MAXIMUM DESIGN WIND LOADS FOR ANY EFFECTIVE WIND AREA				DESIGN WIND LOADS FOR EFFECTIVE WIND AREA ≥ 20 SQ. FT.			
MEAN ROOF HEIGHT (FT.)	POSITIVE ZONE (L) & (S)	NEGATIVE INT. ZONE (L)	NEGATIVE END ZONE (S)	MEAN ROOF HEIGHT (FT.)	POSITIVE ZONE (L) & (S)	NEGATIVE INT. ZONE (L)	NEGATIVE END ZONE (S)
0 - 30	35.3	-38.3	-47.2	0 - 30	33.7	-36.9	-46.0
> 30 - 40	38.3	-41.5	-51.2	> 30 - 40	36.6	-39.8	-47.8
> 40 - 50	40.8	-44.3	-54.6	> 40 - 50	39.0	-42.4	-50.9
> 50 - 60	43.0	-46.6	-57.5	> 50 - 60	41.1	-44.7	-53.7



GENERAL NOTES:

- TABULATED DESIGN WIND LOADS ARE BASED ON ASCE 7-98 SPECIFICATIONS FOR COMPONENTS AND CLADDINGS. THE FOLLOWING DESIGN CRITERIA ARE USED:
 - MEAN ROOF HEIGHT LESS THAN OR EQUAL TO 60 FEET.
 - EXPOSURE CATEGORY "C" OR "D" AS NOTED.
 - BASIC WIND SPEED (3 SECOND GUST) AS NOTED.
 - AN IMPORTANCE FACTOR OF 1.0 FOR CATEGORY II STRUCTURES.
 - EFFECTIVE WIND AREA AS NOTED.
 - ROOF SLOPE GREATER THAN 10 DEGREES.
 - ENCLOSED BUILDING: $GCP_i = \pm 0.18$. IMPACT PROTECTION OF GLAZED OPENINGS REQUIRED.
 - DIRECTIONALITY FACTOR, $K_d = 0.85$.
 - TOPOGRAPHIC FACTOR, $K_{zt} = 1.0$ FOR FLAT TERRAIN. NOT APPLICABLE FOR HILLY TERRAIN.
- THIS DRAWING SHALL NOT BE USED FOR PERMIT WITHOUT THE SIGNATURE AND RAISED SEAL OF V.J. KNEZEVICH, P.E.
- POSITIVE AND NEGATIVE DESIGN LOADS FOR ALL FLOORS ARE BASED UPON THE MEAN ROOF HEIGHT OF THE BUILDING OR STRUCTURE.
- DESIGN LOADS ARE BASED ON EXPOSURE "B" AND ARE NOT VALID FOR EXPOSURE "C" OR "D". EXPOSURE CATEGORY SHALL BE AS DETERMINED BY THE BUILDING OFFICIAL OR A SITE SPECIFIC EVALUATION BY AN ARCHITECT OR ENGINEER.

- FOR CATEGORY III AND IV STRUCTURES (ESSENTIAL FACILITIES AND ASSEMBLY BUILDINGS), MULTIPLY APPLICABLE LOAD BY 1.15 TO ACCOUNT FOR AN INCREASED IMPORTANCE FACTOR.
 - EFFECTIVE WIND AREA REFERS TO THE AREA USED TO DETERMINE GCP . LARGER AREAS WILL REDUCE THE WIND LOAD AND SHOULD NOT BE USED UNLESS APPLICABLE. FOR STORM PANELS AND ACCORDION SHUTTERS, THE EFFECTIVE WIND AREA MAY BE TAKEN AS THE SHUTTER SPAN (L) TIMES ONE THIRD THE SHUTTER SPAN (L/3).
- A_e = EFFECTIVE WIND AREA
- FOR ANY OTHER SYSTEMS, REFER TO THE ENGINEERED DRAWINGS OR THIS OFFICE FOR APPROPRIATE EFFECTIVE WIND AREA OR USE TABLES DESIGNATED AS: "MAXIMUM DESIGN WIND LOADS FOR ANY EFFECTIVE WIND AREA."
- FOR FLAT ROOFS OR ROOF SLOPES LESS THAN OR EQUAL TO 10 DEGREES (2:12 SLOPE), THE LOADS SHOWN MAY BE REDUCED BY MULTIPLYING THE APPLICABLE LOAD BY 0.92.
 - BUILDING ZONES SHALL BE DETERMINED IN ACCORDANCE WITH THE DIAGRAM SHOWN. DIMENSION "a" EQUALS 10% OF MINIMUM BUILDING WIDTH OR 40% OF MEAN ROOF HEIGHT (H), WHICHEVER IS SMALLER, BUT NOT LESS THAN EITHER 4% OF MINIMUM WIDTH OR 3 FEET.
 - LINEAR INTERPOLATION MAY BE USED FOR ALL VALUES BETWEEN TABULATED ELEVATIONS.

K

KNEZEVICH & ASSOCIATES, INC.
 CONSULTING ENGINEERS • PRODUCT TESTING
 1100 N. UNIVERSITY DRIVE, SUITE 100 • FORT LAUDERDALE, FL 33304
 TEL: (954) 344-1100 • FAX: (954) 344-1101 • FLORIDA COA #7200
 WEBSITE: WWW.KNEZEVICH.COM • EMAIL: K@KNEZEVICH.COM
 COPYRIGHT © 1999 KNEZEVICH & ASSOCIATES, INC.

BUILDINGS ≤ 60 FT.
ASCE 7-98 WIND LOADS
COMPONENTS & CLADDINGS
130 & 140 M.P.H.

EXAMINER V.J. KNEZEVICH PROFESSIONAL ENGINEER FL License No: PE 0010983	DESIGNER V.J. KNEZEVICH PROFESSIONAL ENGINEER FL License No: PE 0010983
---	---

MAR 29 2000

DESIGN CERTIFICATION FOR WIND LOAD
COMPLIANCE BY ARCHITECT OR ENGINEER
OF RECORD

PROJECT NAME AND ADDRESS

STEVE FARLEY
13. NE LAGOON ISLAND CT.
STUART FL 34997

BUILDING DIVISION USE ONLY

BLDG. PERMIT # _____
OCCUPANCY TYPE _____
CONST. TYPE: _____
COMMENTS: _____

STATEMENT

I certify that, to the best of my knowledge and belief, these plans and specifications have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced by Martin County Building Division. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I hereby accept responsibility for the structural design.

DESIGN PARAMETERS AND ANALYSIS

CODE EDITIONS: 1997 STANDARD BUILDING CODE
CHAPTER 6 OF ASCE 7-98
MARTIN COUNTY HURRICANE ORDINANCE #559
MARTIN COUNTY BARRIER ISLAND ORDINANCE #288

BUILDING DESIGN AS: PARTIALLY ENCLOSED _____ ENCLOSED _____ OPEN _____
WIND TUNNEL TEST _____

BASIC WIND SPEED: WEST OF TURNPIKE 130 MPH 3 SECOND GUST _____
EAST OF TURNPIKE 140 MPH 3 SECOND GUST 140

IMPORTANCE/USE FACTOR _____
VELOCITY PRESSURE: 44 psf
GARAGE DOOR DESIGN PRESSURE _____ psf (positive) _____ psf (negative)

MINIMUM SOIL BEARING PRESSURE _____ psf

EXPOSURE B
MEAN BUILDING HEIGHT 0-30

FLOOR LOADS _____
ROOF DEAD LOAD _____

ROOF LIVE LOAD _____
SHEAR WALL CONSIDERED _____ YES _____ NO

CONTINUOUS LOAD PATH PROVIDED _____ YES _____ NO
COMPONENTS AND CLADDING DETAILS PROVIDED _____ YES _____ NO

IMPACT PROTECTION SPECIFIED _____ YES (MUST BE INDICATED ON PERMIT DOCUMENTS FOR ALL RESIDENTIAL/COMMERCIAL BUILDINGS, ALTERATIONS, AND RENOVATIONS)

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST BE INDICATED ON CONSTRUCTION PLANS.

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

NAME _____
CERTIFICATION # _____
DATE _____
DESIGN FIRM _____
OTHER _____

SEAL

***** THIS FORM MUST INCLUDE THE PLAN REVIEW CHECKLIST IF IN THE "FAST TRACK" PERMIT PROGRAM.*****

01425117

00 MAR 29 AM 11:47

This Instrument Prepared by Edward T. Blerce
Flagler Title Company
1897 Palm Beach Lakes Blvd., Suite 125
West Palm Beach, Florida 33409
Return to Grantee
3 N.E. Lagoon Island Ct.
Stuart, FL 34996

DOC-DEED # 21000 MARSHA STILLER
DOC-MTG # _____ MARTIN COUNTY
DOC-ASM # _____ CLERK OF CIRCUIT COURT
INT. TAX # _____ BY Hmy D.C.

Property Appraisers Parcel I.D. (Folio) Number(s):
2637410130000011030000

WARRANTY DEED

This Warranty Deed Made the 24th day of March, 2000, by Serguet Grouzdev and Victoria Grouzdev, his wife, hereinafter called the grantor, whose post office address is: 3 N.E. Lagoon Island Ct., Stuart, FL 34996

to Stephen L. Earsley, a married person, whose post office address is: 3 N.E. Lagoon Island Ct., Stuart, FL 34996

hereinafter called the grantee,

WITNESSETH: That said grantor, for and in consideration of the sum of \$10.00 Dollars and other valuable considerations, receipt whereof is hereby acknowledged hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Martin County, Florida, viz:

Lot(s) 11, THE PLANTATION AT SEWALL'S POINT, according to the Plat thereof on file in the office of the Clerk of the Circuit Court in and for MARTIN County, Florida, recorded in Plat Book 12, Page 70. Said lands situate, lying and being in Palm Beach County, Florida.

SUBJECT TO restrictions, reservations, easements and covenants of record, if any, to the extent that same are valid and enforceable.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND THE GRANTOR hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1999.

(The terms "grantor" and "grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

IN WITNESS WHEREOF. Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Signature: Constance Drury

Printed Name: CONSTANCE DRURY

Witness Signature: L. Star

Printed Name: L. STAR

Witness Signature: _____

Printed Name: _____

Serguet Grouzdev L.S.
Serguet Grouzdev

Victoria Grouzdev L.S.
Victoria Grouzdev

_____ L.S.

Witness Signature: _____

L.S.

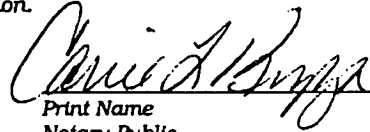
Printed Name: _____

WARRANTY DEED, Continued

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 21st day of March, 2000, by Serguei Grouzdev and Victoria Grouzdev, his wife, who is/are personally known to me or who has/have produced driver license(s) as identification.

My Commission Expires:



Print Name
Notary Public

(Notary Seal)



Carrie L. Rizza
MY COMMISSION # CC885662 EXPIRES
November 4, 2003
BONDED THROUGH TROY FAIR INSURANCE, INC.

PLANTATION AT SEWALL POINT
P. O. BOX 542522
MERRITT ISLAND, FL 32954-2522

March 23, 2000

RE: SALE OF LOT 11, THE PLANTATION AT SEWALL'S POINT

This serves as approval of the sale of Lot 11 to STEPHEN EARSLEY by SERGUEI GROUZDEV.

Based on the records of the Homeowner's Association, the balance owed to the Association by Mr. Grouzdev is \$0.00 as of March 31, 2000.

The new purchase should acknowledge to the Association that they are taking title to Lot 11, subject to the Homeowners Association's rules and regulations and agree to abide by them.

THE PLANTATION AT SEWALL'S POINT
HOMEOWNER'S ASSOCIATION

Irene Todd
Director

ACORD. CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)

DEC 3 02

PRODUCER
SID BANACK INSURANCE AGENCY
 2045 14TH AVE.
 P O BOX 130
 VERO BEACH FL 32961
 PHONE: 772-562-3369

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

INSURED
BANNER ALUMINUM, INC., BANNER EXTERIORS, INC.
 504 SOUTH 33RD STREET
 FT PIERCE FL 34947

COMPANY A: **AUTO OWNERS INSURANCE CO**
 COMPANY B: **OWNERS INSURANCE CO**
 COMPANY C: **AUTO OWNERS INSURANCE CO**
 COMPANY D:
 COMPANY E:

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
B	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	912312-20525363-02	DEC 1 02	DEC 1 03	EACH OCCURRENCE \$ 500,000
					FIRE DAMAGE (Any One Fire) \$ 100,000
					MED. EXP (Any One Person) \$ 10,000
					PERSONAL & ADV INJURY \$ 500,000
					GENERAL AGGREGATE \$ 500,000
					PRODUCTS-COMP/OP AGG. \$ 500,000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC
C	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	95-424-573-00	DEC 1 02	DEC 1 03	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
A	EXCESS LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$	95-424-573-01	DEC 1 02	DEC 1 03	EACH OCCURRENCE \$ 1,000,000
					AGGREGATE \$ 1,000,000
					\$
					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE-EA EMPLOYEE \$ E.L. DISEASE-POLICY LIMIT \$
	OTHER:				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

FAX 561-462-1148

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

ST LUCIE COUNTY CONTRACTOR CERTIFICATION
 2300 VIRGINIA AVE
 FT PIERCE FL 34982

Attention: EMILY

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, IT'S AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE



ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
03/29/2002

PRODUCER USI Northeast 555 Pleasantville Rd. Ste 201 N Briarcliff Manor NY 10510	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.
COMPANIES AFFORDING COVERAGE	
COMPANY A Twin City Fire Insurance Company	

INSURED Strategic Outsourcing, Inc. PO Box 241448 Charlotte NC 28224 800-572-2412-7020	COMPANY B COMPANY C COMPANY D
---	---

COVERAGES
 THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS																				
	GENERAL LIABILITY <input type="checkbox"/> COMPREHENSIVE FORM <input type="checkbox"/> PREMISES/OPERATIONS UNDERGROUND EXPLOSION & COLLAPSE HAZARD <input type="checkbox"/> PRODUCTS/COMPLETED OPER <input type="checkbox"/> CONTRACTUAL <input type="checkbox"/> INDEPENDENT CONTRACTORS <input type="checkbox"/> BROAD FORM PROPERTY DAMAGE <input type="checkbox"/> PERSONAL INJURY				BODILY INJURY OCC \$ BODILY INJURY AGG \$ PROPERTY DAMAGE OCC \$ PROPERTY DAMAGE AGG \$ BI & PD COMBINED OCC \$ BI & PD COMBINED AGG \$ PERSONAL INJURY AGG \$																				
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS (Private Pass) <input type="checkbox"/> ALL OWNED AUTOS (Other than Private Passenger) <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY				BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$ BODILY INJURY & PROPERTY DAMAGE COMBINED \$																				
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$																				
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL	16WNJ76500	03/01/2003	03/01/2004	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;">WC STATUTORY LIMITS</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;">OTHER</td> <td></td> </tr> <tr> <td></td> <td>EL EACH ACCIDENT</td> <td>\$</td> <td></td> <td style="text-align: right;">1,000,000</td> </tr> <tr> <td></td> <td>EL DISEASE - POLICY LIMIT</td> <td>\$</td> <td></td> <td style="text-align: right;">1,000,000</td> </tr> <tr> <td></td> <td>EL DISEASE - EA EMPLOYEE</td> <td>\$</td> <td></td> <td style="text-align: right;">1,000,000</td> </tr> </table>	<input checked="" type="checkbox"/>	WC STATUTORY LIMITS	<input type="checkbox"/>	OTHER			EL EACH ACCIDENT	\$		1,000,000		EL DISEASE - POLICY LIMIT	\$		1,000,000		EL DISEASE - EA EMPLOYEE	\$		1,000,000
<input checked="" type="checkbox"/>	WC STATUTORY LIMITS	<input type="checkbox"/>	OTHER																						
	EL EACH ACCIDENT	\$		1,000,000																					
	EL DISEASE - POLICY LIMIT	\$		1,000,000																					
	EL DISEASE - EA EMPLOYEE	\$		1,000,000																					
	OTHER																								

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

Banner Exteriors, Inc. aka Banner Aluminum, Inc. 504 S. 33rd Street Fort Pierce, FL 34947	Limited to Employees Leased to Banner Exteriors, Inc aka Banner Aluminum, Inc by SOI attn Janese Dagata Coverage Applies in the State of Florida
---	---

CERTIFICATE HOLDER St. Lucie County Contractor Certification 2300 Virginia Avenue Ft. Pierce FL 32982	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL <u>30</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE
---	---



MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency

License: SP02469
Expires September 30, 2003

LOPER, DAVID N
BANNER ALUMINUM INC
504 S 33 ST
FT PIERCE, FL 34947
ALUMINUM/CONCRETE CONTRACTOR

NOTICE OF COMMENCEMENT

Permit No. _____
State Of FL

Tax ID No. 263 741 0130000011030000
County Of MARTIN

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of property and street address, if available PLANTATION AT SEWELS POINT LOT 11

General description of improvements INSTALL HURRICANE SHUTTERS TO HOME
Owner STEVE EARSLEY
Address 3 NE LAGOON ISLAND CT STUART FL 34997
Owner's interest in site of improvement FREE SIMPLE

Fee Simple Title holder (if other than owner) _____

Address _____

Contractor BANNER ALUMINUM Phone# 466-7210
Address 5045 33RD ST FT PIERCE FL 34947 Fax# 466-1427

Surety _____ Phone# _____
Address _____ Fax# _____
Amount of Bond \$ _____

Lender _____ Phone# _____
Address _____ Fax# _____

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

Name _____ Phone# _____
Address _____ Fax# _____

In addition to himself, owner designates DAVID N. LOPER of BANNER ALUMINUM (Phone# 466-7210 Fax# 466-1427) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of notice of commencement is one year from the date of recording unless a different date is specified. _____

[Handwritten Signature]

OWNERS SIGNATURE

STATE OF FLORIDA, COUNTY OF MARTIN
The foregoing instrument was acknowledged before me this 12TH day of APR. 2003, by STEVE EARSLEY, (who is personally known to me) or who has produced _____ as identification.

(seal)



Janese E Dagata
My Commission DD191214
Expires May 16, 2007

[Handwritten Signature]

SIGNATURE OF NOTARY

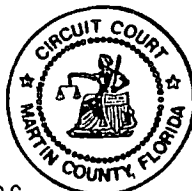
JANESE E DAGATA
TYPE OR PRINT NAME OF NOTARY
NOTARY PUBLIC TITLE
COMMISSION NUMBER

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK

BY 1 COPHS D.C.
DATE 4-21-03



01425117

00 MAR 29 AM 11:47

This Instrument Prepared by Edward T. Bierce
Flagler Title Company
1897 Palm Beach Lakes Blvd., Suite 125
West Palm Beach, Florida 33409
Return to Grantee
3 N.E. Lagoon Island Ct.
Stuart, FL 34996

DOC-DEED # 21000.00 MARSHA STILLER
DOC-MTS # _____ MARTIN COUNTY
DOC-ASM # _____ CLERK OF CIRCUIT COURT
INT. TAX # _____ BY Hm D.C.

Property Appraisers Parcel I.D. (Folio) Number(s):
2637410130000011030000

WARRANTY DEED

This Warranty Deed Made the 24th day of March, 2000, by Serguet Grouzdev and Victoria Grouzdev, his wife, hereinafter called the grantor, whose post office address is: 3 N.E. Lagoon Island Ct., Stuart, FL 34996

to Stephen L. Earsley, a married person, whose post office address is: 3 N.E. Lagoon Island Ct., Stuart, FL 34996

hereinafter called the grantee.

WITNESSETH: That said grantor, for and in consideration of the sum of \$10.00 Dollars and other valuable considerations, receipt whereof is hereby acknowledged hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Martin County, Florida, viz:

Lot(s) 11, THE PLANTATION AT SEWALL'S POINT, according to the Plat thereof on file in the office of the Clerk of the Circuit Court in and for MARTIN County, Florida, recorded in Plat Book 12, Page 70. Said lands situate, lying and being in Palm Beach County, Florida.

SUBJECT TO restrictions, reservations, easements and covenants of record, if any, to the extent that same are valid and enforceable.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND THE GRANTOR hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1999.

(The terms "grantor" and "grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Signature: Constance Drury

Printed Name: CONSTANCE DRURY

Witness Signature: L. Starn

Printed Name: L. STARN

Witness Signature: _____

Printed Name: _____

[Signature] L.S.
Serguet Grouzdev

Victoria Grouzdev

[Signature] L.S.

Witness Signature: _____ L.S.

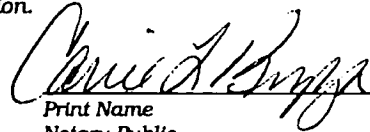
Printed Name: _____

WARRANTY DEED, Continued

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this ^{24th} ~~21st~~ day of March, 2000, by Serguei Grouzdev and Victoria Grouzdev, his wife, who is/are personally known to me or who has/have produced driver license(s) as identification.

My Commission Expires:


Print Name
Notary Public

(Notary Seal)



Carrie L. Rizza
MY COMMISSION # CC885662 EXPIRES
November 4, 2003
BONDED THRU TROY FAH INSURANCE, INC.

PLANTATION AT SEWALL POINT
P. O. BOX 542522
MERRITT ISLAND, FL 32954-2522

March 23, 2000

RE: SALE OF LOT 11, THE PLANTATION AT SEWALL'S POINT

This serves as approval of the sale of Lot 11 to STEPHEN EARSLEY by SERGUEI GROUZDEV.

Based on the records of the Homeowner's Association, the balance owed to the Association by Mr. Grouzdev is \$0.00 as of March 31, 2000.

The new purchase should acknowledge to the Association that they are taking title to Lot 11, subject to the Homeowners Association's rules and regulations and agree to abide by them.

THE PLANTATION AT SEWALL'S POINT
HOMEOWNER'S ASSOCIATION

Irene Todd
Director



MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency

License: SP02469
Expires September 30, 2003

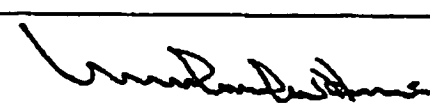
LOPER, DAVID N
BANNER ALUMINUM INC
504 S 33 ST
FT PIERCE, FL 34947
ALUMINUM/CONCRETE CONTRACTOR

ACORD PRODUCER SID BANACK INSURANCE AGENCY 2045 14TH AVE. P O BOX 130 VERO BEACH FL 32961 PHONE: 772-562-3369	DATE (MM/DD/YY) DEC 5 02
CERTIFICATE OF LIABILITY INSURANCE	
THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURERS AFFORDING COVERAGE	
INSURED BANNER ALUMINUM, INC., BANNER EXTERIORS, INC. 504 SOUTH 33RD STREET FT PIERCE FL 34947	INSURER A: AUTO OWNERS INSURANCE CO INSURER B: OWNERS INSURANCE CO INSURER C: INSURER D: INSURER E:

COVERAGES
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	912312-20525363-02	DEC 1 02	DEC 1 03	EACH OCCURRENCE \$ 500,000
					DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
					MED. EXP (Any One Person) \$ 10,000
					PERSONAL & ADV INJURY \$ 500,000
					GENERAL AGGREGATE \$ 500,000
					PRODUCTS-COMP/OP AGG. \$ 500,000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC
B	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	95-424-573-00	DEC 1 02	DEC 1 03	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY AGG \$
A	EXCESS / UMBRELLA LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$	952112 20515540	DEC 1 02	DEC 1 03	EACH OCCURRENCE \$ 1,000,000
					AGGREGATE \$ 1,000,000
					\$
					\$
					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE-EA EMPLOYEE \$ E.L. DISEASE-POLICY LIMIT \$
	OTHER:				

DESCRIPTION OF OPERATIONS/LOCATION/VEHICLES/EXCLUSIONS ADDED ENDORSEMENT/ SPECIAL PROVISIONS
 FAX 561-462-1736

CERTIFICATE HOLDER ST LUCIE COUNTY CONTRACTOR CERTIFICATION 2300 VIRGINIA AVE FT PIERCE FL 34982 Attention:	ADDITIONAL INSURED; INSURER LETTER: CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, IT'S AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
--	---

ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
03/29/2002

PRODUCER
USI Northeast
555 Pleasantville Rd. Ste 201 N
Briarcliff Manor NY 10510

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY
A Twin City Fire Insurance Company

INSURED
Strategic Outsourcing, Inc.
PO Box 241448
Charlotte NC 28224
800-572-2412-7020

COMPANY
B

COMPANY
C

COMPANY
D

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY				
	<input type="checkbox"/> COMPREHENSIVE FORM				BODILY INJURY OCC \$
	<input type="checkbox"/> PREMISES/OPERATIONS				BODILY INJURY AGG \$
	<input type="checkbox"/> UNDERGROUND EXPLOSION & COLLAPSE HAZARD				PROPERTY DAMAGE OCC \$
	<input type="checkbox"/> PRODUCTS/COMPLETED OPER				PROPERTY DAMAGE AGG \$
	<input type="checkbox"/> CONTRACTUAL				BI & PD COMBINED OCC \$
	<input type="checkbox"/> INDEPENDENT CONTRACTORS				BI & PD COMBINED AGG \$
	<input type="checkbox"/> BROAD FORM PROPERTY DAMAGE				PERSONAL INJURY AGG \$
	<input type="checkbox"/> PERSONAL INJURY				
	AUTOMOBILE LIABILITY				
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS (Private Pass)				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> ALL OWNED AUTOS (Other than Private Passenger)				PROPERTY DAMAGE \$
	<input type="checkbox"/> HIRED AUTOS				BODILY INJURY & PROPERTY DAMAGE COMBINED \$
	<input type="checkbox"/> NON-OWNED AUTOS				
	<input type="checkbox"/> GARAGE LIABILITY				
	EXCESS LIABILITY				
	<input type="checkbox"/> UMBRELLA FORM				EACH OCCURRENCE \$
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM				AGGREGATE \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	16WNJ76500	03/01/2003	03/01/2004	
	THE PROPRIETOR/ PARTNERS/EXECUTIVE OFFICERS ARE:	<input type="checkbox"/> INCL <input type="checkbox"/> EXCL			<input checked="" type="checkbox"/> WC STATU- TORY LIMITS
					OTH- ER
					EL EACH ACCIDENT \$ 1,000,000
					EL DISEASE - POLICY LIMIT \$ 1,000,000
					EL DISEASE - EA EMPLOYEE \$ 1,000,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

Banner Exteriors, Inc. aka Banner Aluminum, Inc.
504 S. 33rd Street
Fort Pierce, FL 34947
fax 772-462-1148
& 772-466-1427

Limited to Employees Leased to Banner Exteriors, Inc aka
Banner Aluminum, Inc by SOI attn Janese Dagata
Coverage Applies in the State of Florida

CERTIFICATE HOLDER

St. Lucie County Contractor Certification
2300 Virginia Avenue
Ft. Pierce FL 32982

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

SCHEDULE FOR INSTALLATION OF OPENING PROTECTIVE DEVICES OR ASSEMBLIES

The following information is requested to facilitate plan review and inspection of the proposed installation
(This schedule may be duplicated for use under manufacturer's letterhead)

Date 4/21/03 Permit number _____
 Address 3 N.E. LAGOON ISLAND CT STUART FL 34997

Type of construction or attachment surface Wood Frame
 Masonry/Concrete
 Steel Frame
 Other (Insulated Wall, Curtain Wall, Precast, etc.)
 Describe _____

Type of Glazing Protection Device or Assembly Impact Resistant Glazing
 Removable Storm Panels
 Permanently Affixed Assembly

Glazing Protective Device/Assembly Manufacturer TOWN & COUNTRY

Product Compliance Report and Report Number SBCCI # X
 Metro Dade County # _____
 Other # _____

Building Height 0-30 Design Pressure ASCE 7-98 (Exposure Category _____)

NOTE: Design pressures determined by a registered engineer.
 Pressures may be taken from a standard wind load schedule prepared by the manufacturer's design engineer

Type of Anchor Specified TAP-CON

INSTALLATION SCHEDULE

Items noted in the schedule represent minimum information standards. The schedule may be expanded to include additional manufacturer's information about particular products, systems, or assemblies.

SAMPLE

Unit No.	Wall Pressure Inter/End Zone	Opening Size W X H	Shutter Width	Shutter Height	Shutter Span	Storm Bars # Req'd	Anchor Spec's	Header Rein Req'd Y/N	Storm Panels Bolted Y/N
SAMPLE									

All products shall be labeled pursuant to Section 102 of the SBCCI TEST STANDARD FOR DETERMINING IMPACT RESISTANCE FROM WINDBORNE DEBRIS SSTD 12-94.

DESIGN CERTIFICATION FOR WIND LOAD
COMPLIANCE BY ARCHITECT OR ENGINEER
OF RECORD

PROJECT NAME AND ADDRESS

STEVE FARSLEY
3. NE LAGOON ISLAND CT.
STUART FL 34997

BUILDING DIVISION USE ONLY

BLDG. PERMIT # _____
OCCUPANCY TYPE _____
CONST. TYPE: _____
COMMENTS: _____

STATEMENT

I certify that, to the best of my knowledge and belief, these plans and specifications have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced by Martin County Building Division. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I hereby accept responsibility for the structural design.

DESIGN PARAMETERS AND ANALYSIS

CODE EDITIONS: 1997 STANDARD BUILDING CODE
CHAPTER 6 OF ASCE 7-98
MARTIN COUNTY HURRICANE ORDINANCE #559
MARTIN COUNTY BARRIER ISLAND ORDINANCE #288

BUILDING DESIGN AS: PARTIALLY ENCLOSED _____ ENCLOSED _____ OPEN _____
WIND TUNNEL TEST _____

BASIC WIND SPEED: WEST OF TURNPIKE 130 MPH 3 SECOND GUST _____
EAST OF TURNPIKE 140 MPH 3 SECOND GUST 140

IMPORTANCE/USE FACTOR _____
VELOCITY PRESSURE: -44 psf

GARAGE DOOR DESIGN PRESSURE _____ psf (positive) _____ psf (negative)

MINIMUM SOIL BEARING PRESSURE _____ psf

EXPOSURE B

MEAN BUILDING HEIGHT 0-30

FLOOR LOADS _____

ROOF DEAD LOAD _____

ROOF LIVE LOAD _____

SHEAR WALL CONSIDERED _____ YES _____ NO

CONTINUOUS LOAD PATH PROVIDED _____ YES _____ NO

COMPONENTS AND CLADDING DETAILS PROVIDED _____ YES _____ NO

IMPACT PROTECTION SPECIFIED _____ YES (MUST BE INDICATED ON PERMIT DOCUMENTS FOR ALL
RESIDENTIAL/COMMERCIAL BUILDINGS, ALTERATIONS, AND RENOVATIONS)

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND
SIMILAR ENVELOPE ELEMENTS MUST BE INDICATED ON CONSTRUCTION PLANS.

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

NAME _____
CERTIFICATION # _____
DATE _____
DESIGN FIRM _____
OTHER _____

SEAL

***** THIS FORM MUST INCLUDE THE PLAN REVIEW CHECKLIST IF IN THE "FAST TRACK" PERMIT PROGRAM.*****

SBCCI PUBLIC SAFETY TESTING AND EVALUATION SERVICES INC.

900 Montclair Road, Suite A; Birmingham, Alabama 35213-1206

www.sbccies.org

a Participating Member of the NES, Inc.

Evaluation Reports are the opinion of the Committee on Evaluation, based on the findings, and do not constitute or imply an approval or acceptance by any local community. The Committee, in review of the data submitted, finds that in their opinion the product, material, system, or method of construction specifically identified in this report conforms with or is a suitable alternate to that specified in the Standard and International Codes,
SUBJECT TO THE LIMITATIONS IN THIS REPORT.

The Committee on Evaluation has reviewed the data submitted for compliance with the *Standard Building Code*®, the *SBCCI Standard for Hurricane Resistant Residential Construction*® SSTD 10, the Florida Building Code-Building, and the International One and Two Family Dwelling Code and submits to the Building Official or other authority having jurisdiction the following report. The Committee on Evaluation, SBCCI PST & ESI and its staff are not responsible for any errors or omissions to any documents, calculations, drawings, specifications, tests or summaries prepared and submitted by the design professional or preparer of record that are listed in the Substantiating Data Section of this report. Portions of this report were previously included in Evaluation Report #2110. Copyrighted © 2003 SBCCI PST & ESI

REPORT NO.: 2304

EXPIRES: See current SBCCI PST & ESI EVALUATION REPORT LISTING

CATEGORY: DOORS AND WINDOWS

SUBMITTED BY:

TOWN AND COUNTRY INDUSTRIES, INC.
400 WEST McNAB ROAD
FORT LAUDERDALE, FLORIDA 33309

1. PRODUCT TRADE NAME

- 1.1 0.040 Storm Panel
- 1.2 0.050 Storm Panel
- 1.3 0.060 Storm Panel
- 1.4 6.8 Accordion Shutter
- 1.5 HR Accordion Shutter
- 1.6 Super 50 Roll-Up Shutter
- 1.7 0.0232" Steel Storm Panels
- 1.8 0.0285" Steel Storm Panels
- 1.9 0.085 Clear Polypropylene Storm Panel

2. SCOPE OF EVALUATION

- 2.1 Impact Resistance under SFD 12-99
- 2.2 Structural - Transverse Wind Loads

3. USES

Town and Country Storm Panels and Shutters are used to protect glazed openings and doorways from windborne debris.

4. DESCRIPTION

4.1 General - Models

4.1.1 0.040 Storm Panel

The panel is 0.040 inch (1.0 mm) thick corrugated aluminum alloy sections conforming with 3004-H34 Aluminum Alloy with a minimum yield strength of 25 ksi (172 MPa). The full panels are 14.375 inches (365 mm) wide and 2 inches (51 mm) deep. Half panels 8.332 inches (212 mm) wide and 2 inches (51 mm) deep are also available. Panels are overlapped for unlimited width openings. Extrusions for mounting panels are 6063-T6 aluminum alloy. Mounting extrusions are "h" header, "U" Header, Build-Out "U" Header, Stud Angle, Angle, C-Track, Build-Out F-Track, "F" Track, and "F" Angle-Track. See Tables 1 and 2 of this report for allowable loads and maximum and minimum spans.

4.1.2 0.050 Storm Panel

The panel is 0.050 inch (1.3 mm) thick corrugated aluminum alloy sections conforming with 5052-H32 Aluminum Alloy with a minimum yield strength of 23 ksi (159 MPa). The full panels are 14.375 inches (365 mm) wide and 2 inches (51 mm) deep. Half panels 8.332 inches (212 mm) wide and 2 inches (51 mm) deep are also available. Panels are overlapped for unlimited width openings. Extrusions for mounting panels are 6063-T6 aluminum alloy. Mounting extrusions are "h" header, "U" Header, Build-Out "U" Header, Stud Angle, Angle, C-Track, Build-Out F-Track, "F" Track, and "F" Angle-Track. See Tables 1 and 2 of this report for allowable loads and maximum and minimum spans.

4.1.3 The 0.060 Storm Panel

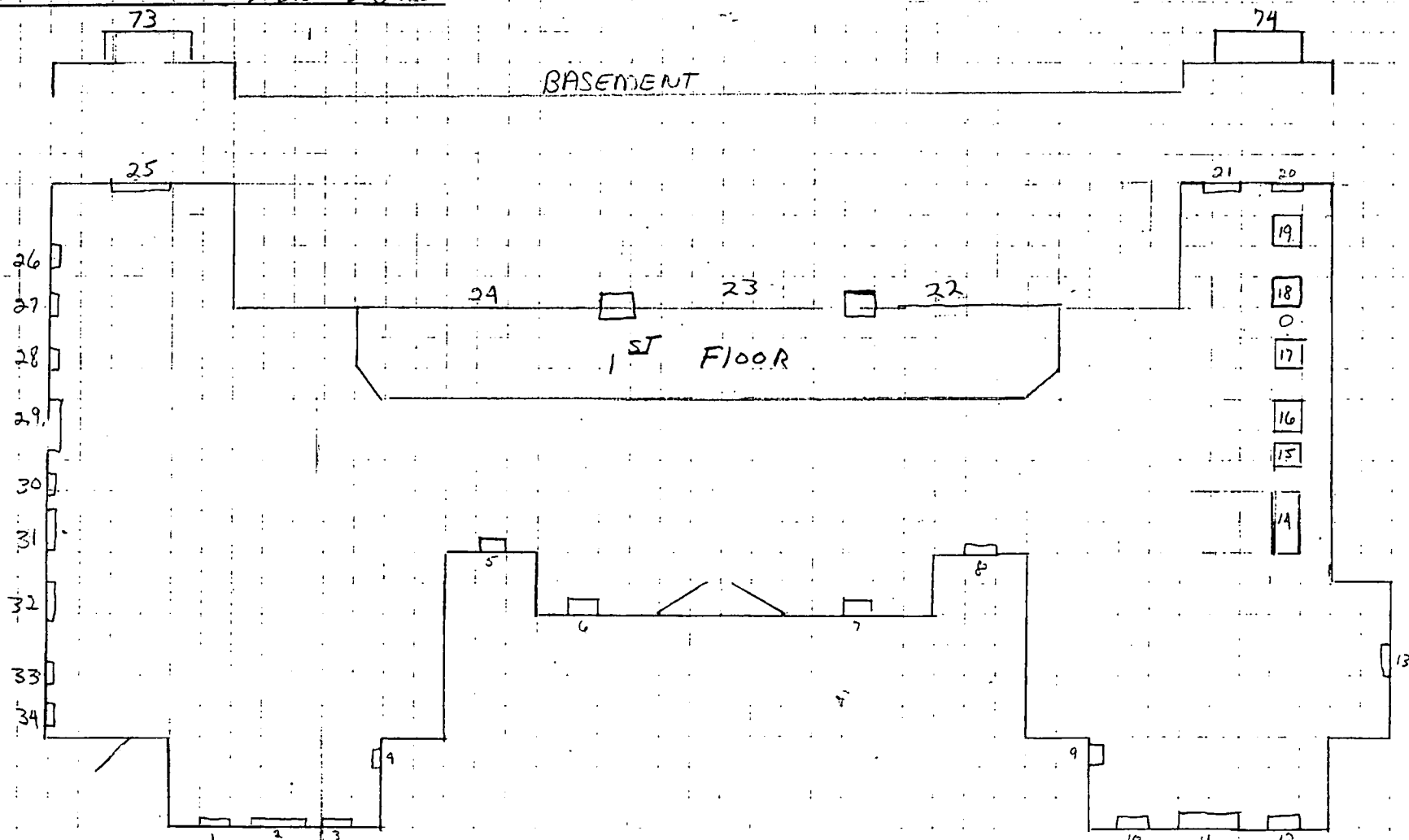
The panel is 0.060 inch (1.5 mm) thick corrugated aluminum alloy sections conforming with 3004-H34 Aluminum Alloy with a minimum yield strength of 25 ksi (172 MPa).

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR COMPLIANCE
DATE: 4/28/03
SFD 12-99
BUILDING OFFICIAL
Gene Simmons

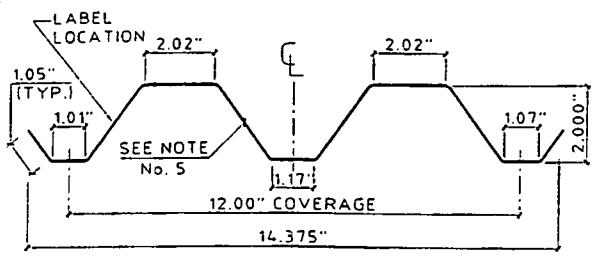
S. Earsley

3 N.E. LAGOON ISLAND CT

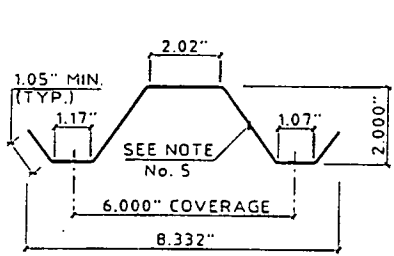
STUART FL 286-8300



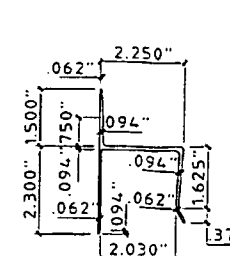
BANNER ALUMINUM
772-466-7210



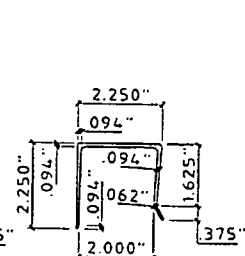
1 STORM PANEL
SCALE: 3" = 1'-0"



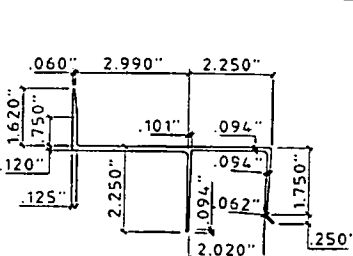
1a HALF STORM PANEL
SCALE: 3" = 1'-0"



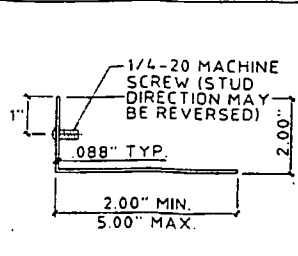
2 "h" HEADER
SCALE: 3" = 1'-0"



3 "U" HEADER
SCALE: 3" = 1'-0"



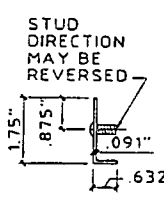
3a BUILD-OUT "U" HEADER
SCALE: 3" = 1'-0"



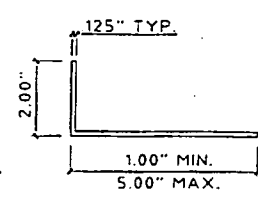
4 STUD ANGLE
SCALE: 3" = 1'-0"

GENERAL NOTES:

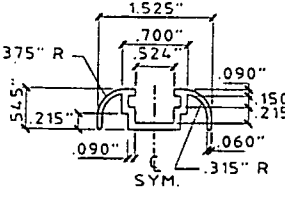
- THESE PRODUCT EVALUATION DOCUMENTS REPRESENT A SHUTTER SYSTEM DESIGNED AND TESTED AS A LARGE MISSILE IMPACT PROTECTIVE SYSTEM IN ACCORDANCE WITH THE 1999 STANDARD BUILDING CODE AND THE FLORIDA BUILDING CODE 2001, NON HIGH VELOCITY HURRICANE ZONES.
- THIS SHUTTER SYSTEM HAS BEEN TESTED FOR LARGE MISSILE IMPACT RESISTANCE IN CONFORMANCE WITH THE SBCCI STANDARD SSTD 12-99 AND FOR UNIFORM STATIC AIR PRESSURE IN CONFORMANCE WITH ASTM E330. REFERENCED TEST REPORTS CONSTRUCTION TESTING CORPORATION (C.T.C.), TEST REPORT No's. 97-063, 98-009, 98-010, 98-011, 98-014, 99-044, 00-041, 00-022, 01-037 AND 02-012.
- AN ALLOWABLE STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT.
- DETERMINE THE POSITIVE AND NEGATIVE DESIGN LOADS TO USE WHEN REFERENCING THESE DOCUMENTS IN ACCORDANCE WITH THE GOVERNING CODE AND GOVERNING WIND VELOCITY.
- THESE PRODUCT EVALUATION DOCUMENTS ARE PREPARED BY THE PRODUCT ENGINEER AND ARE GENERIC. THEY DO NOT INCLUDE INFORMATION PREPARED FOR A SPECIFIC SITE.
- THESE PRODUCT EVALUATION DOCUMENTS ARE NOT VALID FOR PERMIT WITHOUT ORIGINAL SIGNATURE, DATE AND EMBOSSED SEAL ON EACH PERMIT COPY, WHETHER OR NOT A MASTER APPROVAL DOCUMENT IS ON FILE WITH A MUNICIPALITY OR OTHER GOVERNING AGENCY.
- THESE PRODUCT EVALUATION DOCUMENTS ARE SUITABLE TO BE APPLIED BY THE CONTRACTOR PROVIDED THE CONTRACTOR DOES NOT DEVIATE FROM THE CONDITIONS DETAILED HEREIN AND THE CONTRACTOR VERIFIES THE EXISTING STRUCTURE IS CAPABLE OF SUPPORTING THE SUPERIMPOSED LOADS.
- ALTERATIONS OR ADDITIONS TO THIS DOCUMENT ARE NOT PERMITTED.
- WHEN THE SITE CONDITIONS DEVIATE FROM THESE PRODUCT EVALUATION DOCUMENTS, SITE SPECIFIC DOCUMENTS SHALL BE PREPARED BY A DULY LICENSED AND REGISTERED ENGINEER OR ARCHITECT. SAID DOCUMENTS SHALL BEAR THE DATE, SIGNATURE AND EMBOSSED SEAL OF THE DELEGATED ENGINEER OR ARCHITECT AND SHALL BE SUBMITTED TO THE PRODUCT ENGINEER FOR REVIEW.
- WHERE COMPLIANCE WITH SSTD 12-99 IS REQUIRED, PANELS SHALL BE PERMANENTLY LABELED WITH A MINIMUM OF ONE LABEL PER OPENING OR THE MANUFACTURER AND INSTALLER SHALL PROVIDE A CERTIFICATE OF COMPLIANCE. WHERE LABELS ARE USED, THE LABEL SHALL READ AS FOLLOWS:
TOWN & COUNTRY INDUSTRIES, INC.
FORT LAUDERDALE, FLORIDA
SSTD 12-99 LARGE MISSILE IMPACT RESISTANT
STAINLESS STEEL OR GALVANIZED STEEL WITH A MINIMUM TENSILE STRENGTH OF 60 KSI, U.O.N.
- ALL SCREWS, BOLTS AND WASHERS SHALL BE 2024-T4 ALUMINUM ALLOY, STAINLESS STEEL OR GALVANIZED STEEL WITH A MINIMUM TENSILE STRENGTH OF 60 KSI, U.O.N.
- TOP & BOTTOM DETAILS SHOWN MAY BE INTERCHANGED AS FIELD CONDITIONS DICTATE. PANELS MAY BE MOUNTED HORIZONTALLY IF C-TRACK, BUILD-OUT F-TRACK, 'F' TRACK, 'F' ANGLE, STUD ANGLE OR DIRECT MOUNTED IS USED.
- STORM PANELS SHALL BE ALUMINUM ALLOY WITH THE FOLLOWING METAL THICKNESS:
0.040" (3004-H34)
0.050" (5052-H32)
0.060" (3004-H34)
- ALL EXTRUSIONS SHALL BE 6063-T6 ALUMINUM ALLOY, U.O.N.



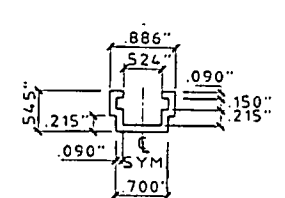
4a STUD ANGLE
SCALE: 3" = 1'-0"



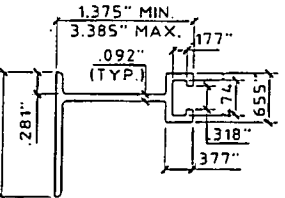
5 ANGLE
SCALE: 3" = 1'-0"



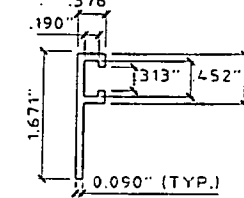
6 C-TRACK
SCALE: HALF SIZE



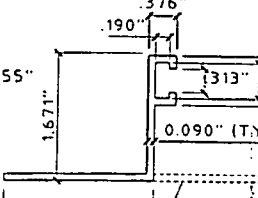
6a C-TRACK
SCALE: HALF SIZE



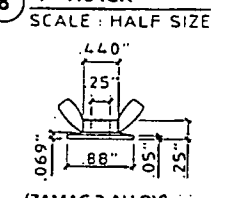
7 BUILD-OUT F-TRACK
SCALE: HALF SIZE



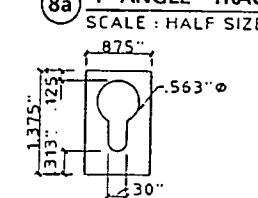
8 "F" TRACK
SCALE: HALF SIZE



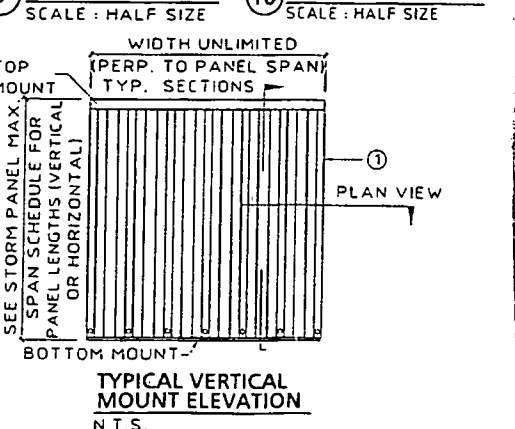
8a "F" ANGLE - TRACK
SCALE: HALF SIZE



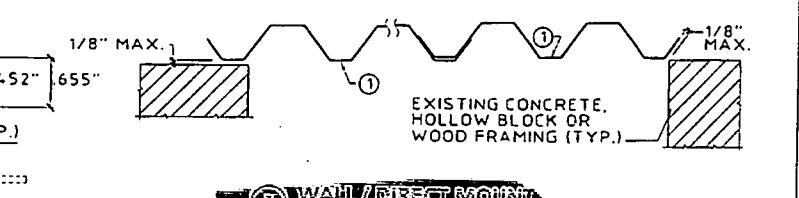
9 WASHNERED WING NUT (WWN)
SCALE: HALF SIZE



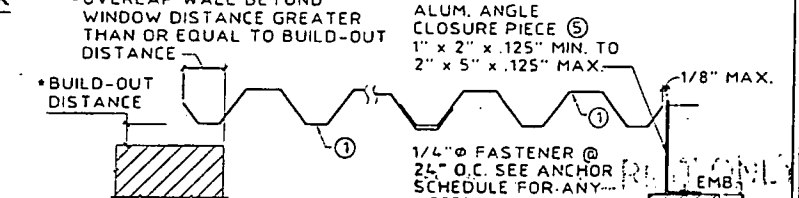
10 KEYHOLE WASHER
SCALE: HALF SIZE



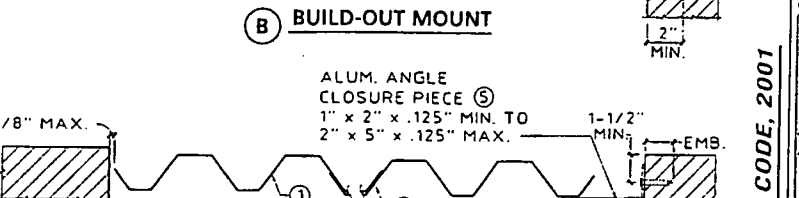
TYPICAL VERTICAL MOUNT ELEVATION
N.T.S.



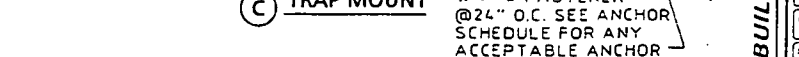
A WALL/DIRECT MOUNT



B BUILD-OUT MOUNT



C TRAP MOUNT



TYPICAL CLOSURE DETAILS (PLAN)
SCALE: 1-1/2" = 1'-0"



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KNEZEVICH & ASSOCIATES, INC.
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1260 W. UNIVERSITY DRIVE, SUITE 180 • FORT LAUDERDALE, FL 33322
TEL: (954) 382-2800 • FAX: (954) 382-7989 • FLORIDA COA #3705
WEBSITE: WWW.KNEZEVICH.COM • E-MAIL: K&A@KNEZEVICH.COM
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0.040", 0.050", 0.060"
ALUM. STORM PANELS
V.J. KNEZEVICH
PROFESSIONAL ENGINEER
FL License No. PC7010983

MAR 20 2003

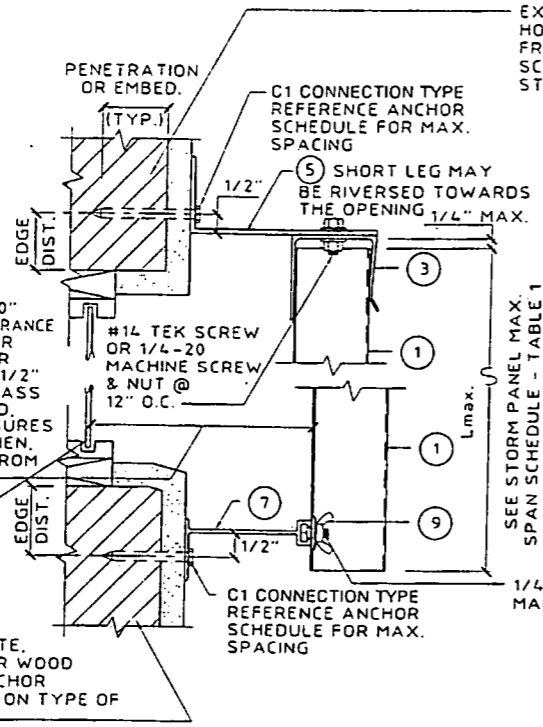
REVISIONS		
NO.	DATE	DESCRIPTION
1	03/21/2002	GENERAL REVISION
2	03/21/2002	ANCHOR SCHEDULE
3	03/21/2002	SBCCI COMMENTS

date: 03/21/2002
scale: AS NOTED
design by: WAS
checked by: VJK
drawing no.: 02-264
sheet 1 of 5

FLORIDA BUILDING CODE, 2001

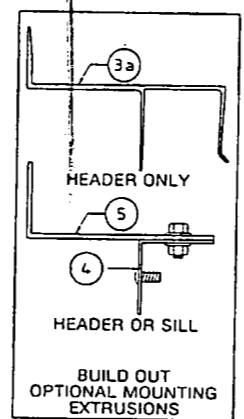
-OPTION 1
ENGINEER MAY
DETERMINE
ACCEPTABLE
BUILD OUT WHILE
MAINTAINING
NON-POROUS
CONDITIONS.
-OPTION 2
FOR 0.050" & 0.060"
PANELS 6-1/4" CLEARANCE
TO GLASS OR DOOR
REQUIRED AND FOR
0.040" PANELS 8-1/2"
CLEARANCE TO GLASS
OR DOOR REQUIRED.
UNLESS SIDE CLOSURES
ARE PROVIDED, THEN,
NO SEPARATION FROM
GLASS REQUIRED

EXISTING CONCRETE,
HOLLOW BLOCK OR WOOD
FRAMING (SEE ANCHOR
SCHEDULE BASED ON TYPE OF
STRUCTURE)



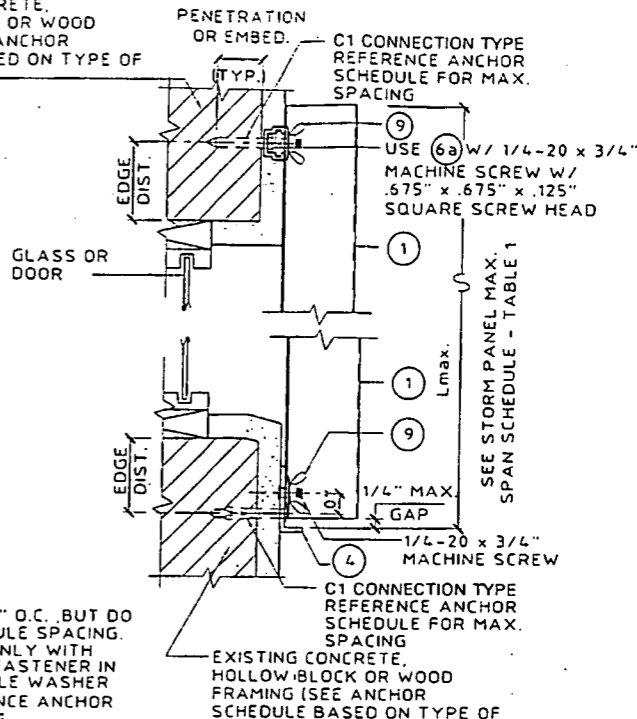
D BUILD-OUT MOUNT SECTION
SCALE: 3" = 1'-0"

EXISTING CONCRETE,
HOLLOW BLOCK OR WOOD
FRAMING (SEE ANCHOR
SCHEDULE BASED ON TYPE OF
STRUCTURE)



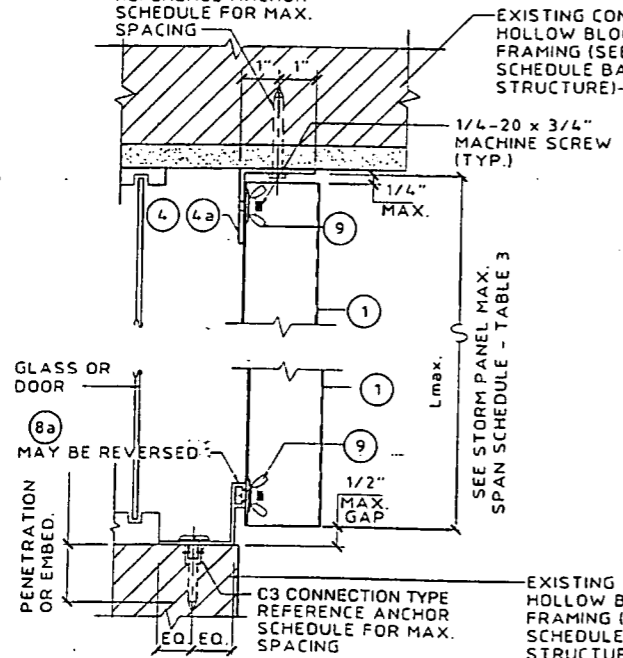
E WALL MOUNT SECTION
SCALE: 3" = 1'-0"

EXISTING CONCRETE,
HOLLOW BLOCK OR WOOD
FRAMING (SEE ANCHOR
SCHEDULE BASED ON TYPE OF
STRUCTURE)



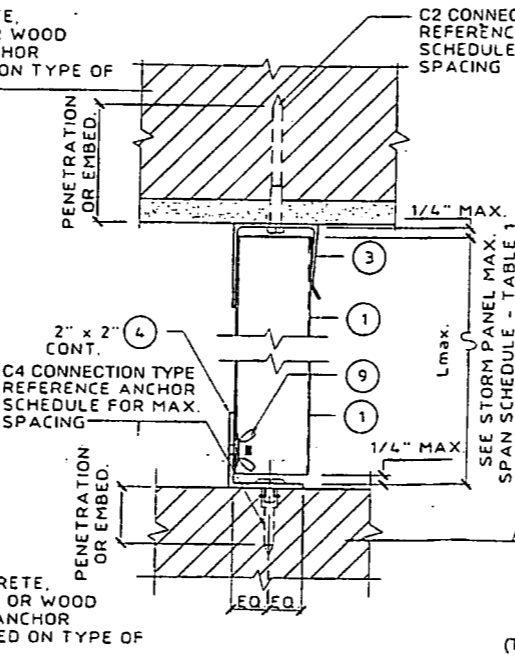
F WALL MOUNT SECTION
SCALE: 3" = 1'-0"

C4 CONNECTION TYPE
REFERENCE ANCHOR
SCHEDULE FOR MAX.
SPACING



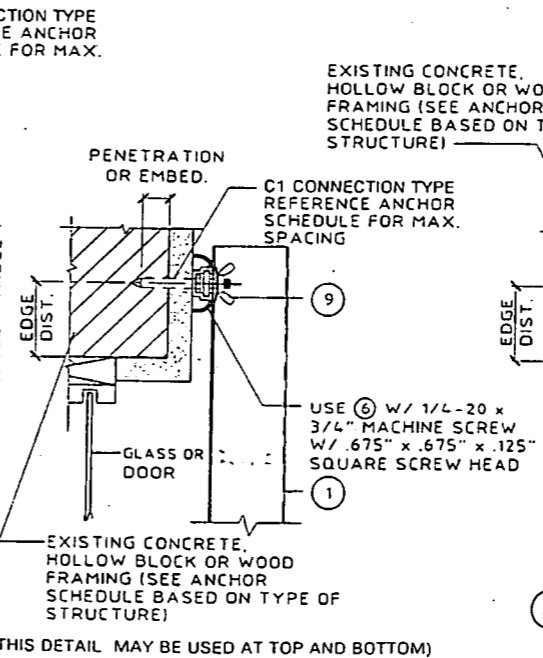
G CEILING/FLOOR MOUNT SECTION
SCALE: 3" = 1'-0"

EXISTING CONCRETE,
HOLLOW BLOCK OR WOOD
FRAMING (SEE ANCHOR
SCHEDULE BASED ON TYPE OF
STRUCTURE)



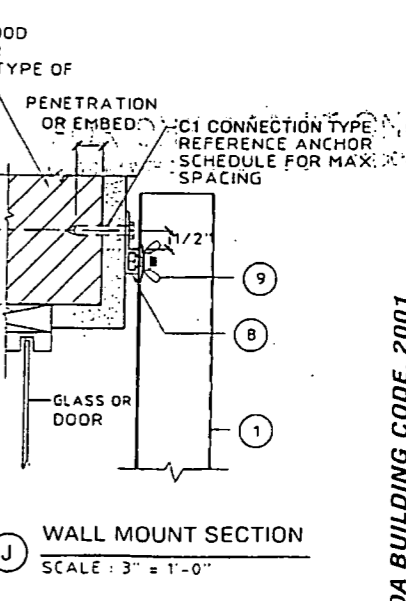
H CEILING/FLOOR MOUNT SECTION
SCALE: 3" = 1'-0"

C2 CONNECTION TYPE
REFERENCE ANCHOR
SCHEDULE FOR MAX.
SPACING



I WALL MOUNT SECTION
SCALE: 3" = 1'-0"

EXISTING CONCRETE,
HOLLOW BLOCK OR WOOD
FRAMING (SEE ANCHOR
SCHEDULE BASED ON TYPE OF
STRUCTURE)



J WALL MOUNT SECTION
SCALE: 3" = 1'-0"

(THIS DETAIL MAY BE USED AT TOP AND BOTTOM)



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**0.040" 0.050" 0.060"
ALUM. STORM PANELS**
Down & Country
INDUSTRIES, INC.
400 WEST McNAB ROAD • (800) 432-5019
FT. LAUDERDALE, FL 33308

V.J. KNEZEVICH
PROFESSIONAL ENGINEER
FL License No. 1007983

MAR 20 2002

REVISIONS	
DATE	DESCRIPTION
07/07/04	GENERAL REVISION
07/17/04	ANCHOR SCHEDULE
07/29/04	SECC COMMENTS

DATE: 03/21/2002
SCALE: AS NOTED
DESIGN BY: WAS
CHECKED BY: VJK
DRAWING NO.: 02-264
SHEET 2 OF 5

FLORIDA BUILDING CODE, 2001



ANCHOR SCHEDULE

FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS

EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 2" EDGE DISTANCE																MIN. 3" EDGE DISTANCE																		
			SPANS UP TO 5'-0"				SPANS UP TO 8'-9"				SPANS UP TO 12'-0"				SPANS UP TO 15'-0"				SPANS UP TO 5'-0"				SPANS UP TO 8'-9"				SPANS UP TO 12'-0"				SPANS UP TO 15'-0"						
			(SEE NOTE 1)				(SEE NOTE 1)				(SEE NOTE 1)				(SEE NOTE 1)				(SEE NOTE 1)				(SEE NOTE 1)				(SEE NOTE 1)				(SEE NOTE 1)						
			CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)						
			C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5
CONCRETE	1/4" ITW TAPCON W/ 1-1/4" MIN. EMBEDMENT (MIN. 3,000 P.S.I. CONCRETE)	33.0	18	18	12	14	15	11	7	8	11	8	5	6	8	6	4	4	18	18	14	17	16	13	8	9	12	9	5	7	9	7	4	5			
		44.2	18	14	9	11	11	8	5	5	8	6	3	4	7	5	3	4	18	17	10	12	12	9	6	7	9	7	4	5	8	6	3	4			
		47.2	18	13	8	10	10	7	4	5	7	5	3	4	7	5	3	4	18	16	9	11	11	9	5	6	8	6	4	4	8	6	3	4			
		64.0	13	10	6	7	7	5	3	4	7	5	3	4	7	5	3	4	15	12	7	8	8	6	4	4	8	6	3	4	8	6	3	4			
	80.0	11	8	5	6	7	5	3	4	7	5	3	4	7	5	3	4	12	9	5	7	8	6	3	4	8	6	3	4	8	6	3	4				
	1/4" ITW TAPCON W/ 2" MIN. EMBEDMENT (MIN. 3,000 P.S.I. CONCRETE)	33.0	18	18	18	18	18	18	13	14	18	13	9	10	18	10	7	8	18	18	18	18	18	18	15	17	18	16	11	12	18	12	8	10			
		44.2	18	18	17	18	18	13	9	11	18	10	7	8	18	9	6	7	18	18	18	18	18	18	16	11	13	18	12	8	9	18	10	7	8		
		47.2	18	18	15	18	18	12	9	10	18	9	6	7	18	9	6	7	18	18	18	18	18	18	15	10	12	18	11	7	8	18	10	7	8		
		64.0	18	16	11	13	18	9	6	7	18	9	6	7	18	9	6	7	18	18	13	15	18	11	7	9	18	10	7	8	18	10	7	8			
	80.0	18	13	9	10	18	9	6	7	18	9	6	7	18	9	6	7	18	15	11	12	18	10	7	8	18	10	7	8	18	10	7	8				
	1/4" ELCO TAPCON W/ 1-3/4" MIN. EMBEDMENT (MIN. 3,350 P.S.I. CONCRETE)	33.0	18	18	18	18	18	18	14	16	18	15	10	12	18	12	8	9	18	18	18	18	18	18	17	18	18	18	13	15	18	15	10	12			
		44.2	18	18	18	18	18	15	10	12	18	11	7	9	17	10	6	8	18	18	18	18	18	18	13	15	18	14	9	11	18	13	8	10			
		47.2	18	18	17	18	18	14	9	11	17	10	7	8	17	10	6	8	18	18	18	18	18	18	12	14	18	13	9	10	18	13	8	10			
		64.0	18	18	12	14	17	10	7	8	17	10	6	8	17	10	6	8	18	18	16	18	18	13	9	10	18	13	8	10	18	13	8	10			
	80.0	18	15	10	11	17	10	6	8	17	10	6	8	17	10	5	8	18	18	12	14	18	13	8	10	18	13	8	10	18	13	8	10				
	1/4" ELCO MALE/FEMALE "PANELMATE" & 1/4-20 MACHINE SCREW FOR FEMALE AND 1/4-20 WWN FOR MALE OR 1/4" ELCO CRETE FLEX W/ 1-3/4" MIN. EMBED. (MIN. 3,350 P.S.I. CONCRETE)	33.0	18	18	18	18	18	18	13	15	18	14	10	11	13	11	8	9	18	18	18	18	18	17	18	18	17	18	18	12	14	18	14	10	11		
		44.2	18	18	18	18	18	14	10	11	18	10	7	8	18	9	6	7	18	18	18	18	18	18	13	14	18	13	9	10	18	12	8	9			
		47.2	18	18	17	18	18	13	9	11	18	10	7	8	18	9	6	7	18	18	18	18	18	18	17	18	18	17	18	18	12	13	18	12	8	9	
		64.0	18	17	12	14	18	10	7	8	18	9	6	7	18	9	6	7	18	18	15	18	18	12	8	9	18	12	8	9	18	12	8	9			
	80.0	18	14	10	11	18	9	6	7	18	9	6	7	18	9	6	7	18	17	12	14	18	12	8	9	18	12	8	9	18	12	8	9				
	1/4" POWERS ZAMAC NAIL-IN W/ 1-1/8" MIN. EMBEDMENT (MIN. 3,000 P.S.I. CONCRETE)	33.0	18	18	13	15	18	10	7	8	14	7	5	6	11	6	4	5	18	18	16	18	18	14	9	10	16	10	6	8	12	7	4	5			
		44.2	18	14	9	11	14	8	5	6	10	5	4	4	9	5	3	4	18	18	12	14	16	10	6	8	12	7	5	5	10	7	4	5			
		47.2	18	13	9	10	13	7	5	6	10	5	3	4	9	5	3	4	18	17	11	13	15	9	6	7	11	7	4	5	10	7	4	5			
		64.0	17	9	6	7	10	5	3	4	9	5	3	4	9	5	3	4	18	12	8	9	11	7	4	5	10	7	4	5	10	7	4	5			
	80.0	14	7	5	6	9	5	3	4	9	5	3	4	9	5	3	4	16	10	6	7	10	7	4	5	10	7	4	5	10	7	4	5				
	5/16" ITW XL TAPCON W/ 2-1/4" MIN. EMBEDMENT (MIN. 3,000 P.S.I. CONCRETE)	33.0	18	18	18	18	18	18	18	18	18	18	18	18	18	18	15	17	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18			
		44.2	18	18	18	18	18	18	18	18	18	18	14	15	18	18	12	15	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18			
		47.2	18	18	18	18	18	18	18	18	18	18	13	15	18	18	12	15	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18			
64.0		18	18	18	18	18	18	13	15	18	18	12	15	18	18	12	15	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18				
80.0	18	18	18	18	18	18	12	15	18	18	12	15	18	18	12	15	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18					
1/4" ALL-POINTS SOLID-SET ANCHOR W/ 7/8" EMBEDMENT & 1/4-20 STAINLESS STEEL MACHINE SCREW (MIN. 3,000 P.S.I. CONCRETE)	33.0	18	18	15	17	18	11	8	9	18	8	6	7	15	6	5	5	18	18	18	18	18	18	15	17	18	16	11	12	18	13	8	10				
	44.2	18	15	11	12	18	8	6	7	14	6	4	5	13	5	4	4	18	18	18	18	18	18	17	11	13	18	12	8	9	17	11	7	8			
	47.2	18	14	10	12	18	8	5	6	13	6	4	5	13	5	4	4	18	18	18	18	18	18	16	10	12	18	11	7	9	17	11	7	8			
	64.0	18	10	7	8	13	6	4	5	13	5	4	4	13	5	4	4	18	18	13	16	18	11	7	9	17	11	7	8	17	11	7	8				
80.0	18	8	6	7	13	5	4	4	13	5	4	4	13	5	4	4	18	16	10	12	17	11	7	8	17	11	7	8	17	11	7	8					

SEE PAGE 5 OF 5 FOR COMPLETE ANCHOR NOTES.

NOT ONLY
SEE & MARKS ON SEAL

KNEZEVICH & ASSOCIATES, INC.
 CONSULTING ENGINEERS - PRODUCT TESTING
 1260 N. UNIVERSITY DRIVE, SUITE 180 - FORT LAUDERDALE, FL 33322
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 WEBSITE: WWW.KNEZEVICH.COM - E-MAIL: KAG@KNEZEVICH.COM
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0.040" 0.050" 0.060" ALUM. STORM PANELS
Down & Country
 INDUSTRIES, INC.
 400 WEST McNAB ROAD, (800) 432-5019
 FT. LAUDERDALE, FL 33309

V.J. KNEZEVICH
 PROFESSIONAL ENGINEER
 FL License No: 12-0070983

MAR 20 2003

NO.	DATE	DESCRIPTION
1	03/21/2002	GENERAL REVISION
2	03/27/2002	ANCHOR SCHEDULE
3	03/27/2002	SPEC COMMENTS

DATE: 03/21/2002
 SCALE: AS NOTED
 DRAWN BY: AV
 DESIGN BY: WAS
 CHECKED BY: VJK
 DRAWING NO: 02-264
 SHEET 3 OF 5

FLORIDA BUILDING CODE, 2001



ANCHOR SCHEDULE

FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS

EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 2" EDGE DISTANCE																																
			SPANS UP TO 5'-0" (SEE NOTE 1)				SPANS UP TO 8'-9" (SEE NOTE 1)				SPANS UP TO 12'-0" (SEE NOTE 1)				SPANS UP TO 15'-0" (SEE NOTE 1)																				
			CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)																				
			C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5													
HOLLOW CONCRETE BLOCK		33.0	17	13	8	9	9	7	4	5	7	5	3	4	5	4	3	18	15	9	11	10	9	5	6	7	6	3	4	5	4	3	3		
		44.2	12	10	6	7	7	5	3	4	5	4	3	13	11	7	8	7	6	3	4	5	4	3	13	11	6	7	7	6	3	4	5	4	3
		47.2	11	9	5	6	6	5	3	3	4	4	3	13	11	6	7	7	6	3	4	5	4	3	13	11	6	7	7	6	3	4	5	4	3
		64.0	8	6	4	5	5	3	3	4	4	3	13	11	6	7	7	6	3	4	5	4	3	13	11	6	7	7	6	3	4	5	4	3	
	80.0	7	5	3	4	4	3	3	4	4	3	13	11	6	7	7	6	3	4	5	4	3	13	11	6	7	7	6	3	4	5	4	3		
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		44.2	18	18	12	14	16	10	7	8	12	7	5	6	11	7	4	5	18	18	15	18	18	13	8	10	15	9	6	7	13	8	5	6	
		47.2	18	17	11	13	15	9	6	7	11	7	4	5	11	7	4	5	18	18	15	18	18	13	8	10	15	9	6	7	13	8	5	6	
		64.0	18	13	8	10	11	7	4	5	11	7	4	5	11	7	4	5	18	18	14	16	18	12	8	9	14	9	6	7	13	8	5	6	
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		33.0	18	18	12	14	17	10	7	8	12	7	5	6	10	6	4	4	18	18	15	18	18	13	8	10	16	9	6	7	11	7	4	5	
		44.2	18	13	9	10	13	7	5	6	9	5	3	4	8	5	3	4	18	17	11	13	16	9	6	7	11	7	4	5	10	6	4	5	
		47.2	18	13	8	10	12	7	4	5	8	5	3	4	8	5	3	4	18	16	10	12	15	9	6	7	11	6	4	5	10	5	4	5	
		64.0	15	9	6	7	9	5	3	4	8	5	3	4	8	5	3	4	18	12	8	9	11	6	4	5	10	6	4	5	10	6	4	5	
	80.0	12	7	5	6	8	5	3	4	8	5	3	4	8	5	3	4	15	9	5	7	10	5	4	5	10	6	4	5	10	6	4	5		
		33.0	18	18	14	16	18	12	7	9	14	8	5	6	11	7	4	5	18	18	17	18	18	15	9	11	15	11	7	8	12	9	5	6	
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47.2		18	14	9	11	13	8	5	6	9	6	4	4	9	5	3	4	18	18	12	14	14	10	6	8	11	8	5	5	10	7	4	5		
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	33.0	18	16	10	12	14	9	6	7	10	6	4	5	8	5	3	4	18	18	15	18	18	13	8	10	15	9	6	7	12	7	5	6		
	44.2	18	12	8	9	11	6	4	5	8	5	3	3	7	4	3	3	18	17	11	13	15	9	6	7	11	7	4	5	10	6	4	5		
	47.2	18	11	7	8	10	6	4	4	7	4	3	3	7	4	3	3	18	17	11	13	15	9	6	7	11	7	4	5	10	6	4	5		
	64.0	13	8	5	6	7	4	3	3	7	4	3	3	7	4	3	3	18	16	10	12	14	9	6	7	10	6	4	5	10	6	4	5		
80.0	10	6	4	5	7	4	3	3	7	4	3	3	7	4	3	3	18	11	7	9	10	6	4	5	10	6	4	5	10	6	4	5			
* * * * *		MIN. 1.25" EDGE DISTANCE																MIN. 2" EDGE DISTANCE																	
		33.0	18	15	11	12	17	9	6	7	12	6	4	5	10	5	3	4	18	15	11	12	17	9	6	7	12	6	4	5	10	5	3	4	
		44.2	18	11	8	9	12	6	4	5	9	4	3	3	8	4	3	3	18	11	8	9	12	6	4	5	9	4	3	3	8	4	3	3	
		47.2	18	11	7	8	11	6	4	5	8	4	3	3	8	4	3	3	18	11	7	8	11	6	4	5	8	4	3	3	8	4	3	3	
64.0	15	8	5	6	8	4	3	3	8	4	3	3	8	4	3	3	15	8	5	6	8	4	3	3	8	4	3	3	8	4	3	3			
80.0	12	6	4	5	8	4	3	3	8	4	3	3	8	4	3	3	12	6	4	5	8	4	3	3	8	4	3	3	8	4	3	3			

SEE PAGE 5 OF 5 FOR COMPLETE ANCHOR NOTES.

PERMIT ONLY
ORIGINAL SIGNATURE & IMPRESSION REQUIRED

KNEZEVICH & ASSOCIATES, INC.
CONSULTING ENGINEERS - PRODUCT TESTING
17660 N. UNIVERSITY DRIVE, SUITE 180 • FORT LAUDERDALE, FL 33322
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WEBSITE: WWW.KNEZEVICH.COM • E-MAIL: K@KNEZEVICH.COM
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0.040", 0.050", 0.060"
ALUM. STORM PANELS
Down & Country
INDUSTRIES, INC.
400 WEST MCNAB ROAD, (800) 432-5019
FT. LAUDERDALE, FL 33309

V.J. KNEZEVICH
PROFESSIONAL ENGINEER
FL License No. PE 010983

MAR 20 2003

FLORIDA BUILDING CODE, 2001

NO.	DATE	DESCRIPTION
1	03/21/2002	GENERAL REVISION
2	03/21/2002	ANCHOR SCHEDULE
3	03/21/2002	SELECT COMMENTS

Date: 03/21/2002
Scale: AS NOTED
Design by: WAS
Checked by: VJK
Drawing no: 02-264
Sheet: 4 of 5

ANCHOR SCHEDULE

FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS

EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 3/4" EDGE DISTANCE																					
			SPANS UP TO 5'-0" (SEE NOTE 1)				SPANS UP TO 8'-9" (SEE NOTE 1)				SPANS UP TO 12'-0" (SEE NOTE 1)				SPANS UP TO 15'-0" (SEE NOTE 1)									
			CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)									
			C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5		
WOOD	1/4" Ø WOOD LAG W/ 1-27/32" MIN. THREAD PENETRATION SHEAR PARALLEL OR PERP. TO WOOD GRAIN	33.0	12	12	12	12	12	12	12	12	12	12	12	12	12	10	10	12	9	8	8	8	8	
		44.2	12	12	12	12	12	12	12	10	11	12	9	7	8	12	8	6	7	8	6	7	8	8
		47.2	12	12	12	12	12	12	11	9	10	12	8	7	7	12	8	6	7	12	8	6	7	8
		64.0	12	12	12	12	12	12	8	7	7	12	8	6	7	12	8	6	7	12	8	6	7	8
	80.0	12	12	10	10	12	12	8	6	7	12	8	6	7	12	8	6	7	12	8	6	7	8	
	1/4" Ø ELCO MALE/FEMALE "PANELMATE" 1-7/8" MIN. PENETRATION & 1/4-20 MACHINE SCREW FOR FEMALE AND 1/4-20 WVN FOR MALE	33.0	12	12	12	12	12	12	12	10	12	12	11	8	9	12	9	6	7	12	9	6	7	8
		44.2	12	12	12	12	12	12	12	8	9	12	8	5	6	12	8	5	6	12	8	5	6	7
		47.2	12	12	12	12	12	12	11	7	8	12	8	5	6	12	8	5	6	12	8	5	6	7
		64.0	12	12	9	11	12	12	8	5	6	12	8	5	6	12	8	5	6	12	8	5	6	7
	80.0	12	11	7	9	12	12	8	5	6	12	8	5	6	12	8	5	6	12	8	5	6	7	
	7/16" Ø WOOD BUSHING 5/8" MIN. PENETRATION & 1/4-20 SIDEWALK BOLT	33.0	12					12											9					
		44.2	12					12											8					
47.2		12					11											8						
64.0		12					8											8						
80.0	12					8											8							

ANCHOR NOTES:

- SPANS AND LOADS SHOWN HERE ARE FOR DETERMINING ANCHOR SPACING ONLY. ALLOWABLE STORM PANEL SPANS FOR SPECIFIC LOADS MUST BE LIMITED TO THOSE SHOWN IN TABLE 1.
- ENTER ANCHOR SCHEDULE BASED ON THE EXISTING STRUCTURE MATERIAL, ANCHOR TYPE AND EDGE DISTANCE. SELECT DESIGN LOAD GREATER THAN OR EQUAL TO NEGATIVE DESIGN LOAD ON SHUTTER AND SELECT SPAN GREATER THAN OR EQUAL TO SHUTTER SPAN.
- EXISTING STRUCTURE MAY BE CONCRETE, HOLLOW BLOCK OR WOOD FRAMING. REFERENCE ANCHOR SCHEDULE FOR PROPER ANCHOR TYPE BASED ON TYPE OF EXISTING STRUCTURE AND APPROPRIATE CONNECTION TYPE. SEE MOUNTING SECTION DETAILS FOR IDENTIFICATION OF CONNECTION TYPE.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDES WALL FINISH OR STUCCO.
- WHERE EXISTING STRUCTURE IS WOOD FRAMING, WOOD FRAMING CONDITIONS VARY. FIELD VERIFY THAT FASTENERS ARE INTO ADEQUATE WOOD FRAMING MEMBERS, NOT PLYWOOD. FASTENING TO PLYWOOD IS ACCEPTABLE ONLY FOR SIDE CLOSURE PIECES.
- WHERE LAG SCREWS FASTEN TO NARROW FACE OF STUD FRAMING, FASTENER SHALL BE LOCATED IN CENTER OF NOMINAL 2" x 4" (MIN.) WOOD STUD. 3/4" EDGE DISTANCE IS ACCEPTABLE FOR WOOD FRAMING. WOOD STUD SHALL BE "SOUTHERN PINE" G-0.55 OR GREATER DENSITY. LAG SCREWS SHALL HAVE PHILLIPS PAN HEAD OR HEX HEAD.
- MACHINE SCREWS SHALL HAVE MINIMUM OF 1/2" ENGAGEMENT OF THREADS IN BASE ANCHOR AND MAY HAVE EITHER A PAN HEAD, TRUSS HEAD, OR WAFER HEAD (SIDEWALK BOLT), U.O.N.
- DESIGNATES ANCHOR CONDITIONS WHICH ARE NOT ACCEPTABLE USES.
- DESIGNATES ANCHORS WHICH ARE REMOVABLE BY REMOVING MACHINE SCREW, NUT OR WASHERED WINGNUT.
- FOR LOADS GREATER THAN THOSE SPECIFIED (ANCHOR SCHEDULE), SITE SPECIFIC FASTENER ANALYSIS SHALL BE PREPARED BY KNEZEVICH & ASSOCIATES, INC.
- SEE THE APPROPRIATE SBCCI PST & EST OR NES EVALUATION REPORT ON THE SPECIFIC FASTENER FOR SPECIAL INSPECTION REQUIREMENTS WHEN REQUIRED AS WELL AS FOR INSTALLATION, LIMITATIONS & IDENTIFICATION PURPOSES.
- FASTENER MAXIMUM SPACING ARE BASED ON FACTOR OF SAFETY OF 4:1 ON TENSION AND SHEAR VALUES WITH THE EXCEPTION OF THE 1/4" Ø WOOD LAG SCREW AND THE 7/16" Ø WOOD BUSHING WHICH ARE BASED ON NDS REQUIREMENTS AND SBCCI TESTING REQUIREMENTS RESPECTIVELY.

TABLE 2 MINIMUM PANEL LENGTH SCHEDULE

MOUNTING CONDITIONS	MINIMUM PANEL LENGTH- (IN)						
	TOP	DIRECT MOUNT OR RECESSED C-TRACK	2" x 2" STUD ANGLE	C-TRACK (6 OR 6a)	"h" OR "U" HEADER	F-TRACK	C-TRACK (6 OR 6a) W/ SIDE CLOSURE PIECES
DIRECT MOUNT OR RECESSED C-TRACK (6a)		52	34	110	30	57	-
2" x 2" STUD ANGLE		36	30	35	30	31	-
F-ANGLE TRACK		57	31	90	31	62	-
C-TRACK (6 OR 6a)		64	55	110	35	90	-
F-TRACK		57	49	90	31	76	-
C-TRACK (6 OR 6a) W/ SIDE CLOSURE PIECES		-	-	-	-	-	52

TABLES 1 & 3 NOTE:

ENTER TABLE WITH NEGATIVE DESIGN LOAD TO DETERMINE MAX. PANEL SPAN (Lmax.). POSITIVE LOADS LESS THAN OR EQUAL TO THE NEGATIVE LOAD ARE ACCEPTABLE. FOR DESIGN LOADS BETWEEN TABULATED VALUES, USE NEXT HIGHER LOAD OR LINEAR INTERPOLATION MAY BE USED TO DETERMINE ALLOWABLE SPANS.

TABLE 2 NOTE:

THIS SHUTTER SYSTEM IS DESIGNED SUCH THAT THERE IS NO SEPARATION FROM GLASS REQUIRED PROVIDED MINIMUM PANEL LENGTHS AS NOTED. PANEL LENGTHS LESS THAN THOSE NOTED IN TABLE ARE NOT ACCEPTABLE, UNLESS SITE SPECIFIC POROSITY CALCULATIONS ARE PERFORMED BY A PROFESSIONAL ENGINEER.

TABLE 1 STORM PANEL MAXIMUM SPAN SCHEDULE

NEGATIVE DESIGN LOAD W (P.S.F.)	THICKNESS		
	0.040"	0.050"	0.060"
	ALL MOUNTING CONDITIONS	ALL MOUNTING CONDITIONS	ALL MOUNTING CONDITIONS
	L MAX. (FT - IN)	L MAX. (FT - IN)	L MAX. (FT - IN)
30	11' - 1"	11' - 9"	14' - 11"
33	10' - 7"	11' - 2"	14' - 3"
35.8	10' - 2"	10' - 9"	13' - 8"
38.3	9' - 10"	10' - 4"	13' - 2"
40.7	9' - 6"	10' - 1"	12' - 10"
44.2	9' - 1"	9' - 8"	12' - 3"
47.2	8' - 10"	9' - 4"	11' - 11"
50.9	8' - 6"	9' - 0"	11' - 5"
52.4	8' - 4"	8' - 10"	11' - 2"
56	8' - 1"	8' - 7"	10' - 6"
60	7' - 10"	8' - 3"	9' - 9"
64	7' - 7"	8' - 0"	9' - 2"
68	7' - 4"	7' - 6"	8' - 7"
72	7' - 1"	7' - 1"	8' - 2"
76	6' - 9"	6' - 9"	7' - 8"
80	6' - 5"	6' - 6"	7' - 4"

TABLE 3 "F" ANGLE TRACK STORM PANEL MAXIMUM SPAN SCHEDULE

NEGATIVE DESIGN LOAD W (P.S.F.)	THICKNESS		
	0.040"	0.050"	0.060"
	ALL MOUNTING CONDITIONS	ALL MOUNTING CONDITIONS	ALL MOUNTING CONDITIONS
	L MAX. (FT - IN)	L MAX. (FT - IN)	L MAX. (FT - IN)
30	11' - 1"	11' - 9"	14' - 11"
33	10' - 7"	11' - 2"	14' - 1"
35.8	10' - 2"	10' - 9"	12' - 11"
38.3	9' - 10"	10' - 4"	12' - 1"
40.7	9' - 6"	10' - 1"	11' - 5"
44.2	9' - 1"	9' - 8"	10' - 6"
47.2	8' - 10"	9' - 4"	9' - 10"
50.9	8' - 6"	9' - 0"	9' - 1"
52.4	8' - 4"	8' - 10"	8' - 10"
56	8' - 1"	8' - 3"	8' - 3"
60	7' - 9"	7' - 9"	7' - 9"
64	7' - 3"	7' - 3"	7' - 3"
68	6' - 10"	6' - 10"	6' - 10"
72	6' - 5"	6' - 5"	6' - 5"
76	6' - 1"	6' - 1"	6' - 1"
80	5' - 9"	5' - 9"	5' - 9"



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 FT. LAUDERDALE, FL 33309

V.J. KNEZEVICH
 PROFESSIONAL ENGINEER
 FL License No. PE 0410983

MAR 30 2003

date	03/21/2002
scale	AS NOTED
design by	VAS
checked by	VJK
drawing no.	02-264
sheet	5 of 5

FLORIDA BUILDING CODE, 2001

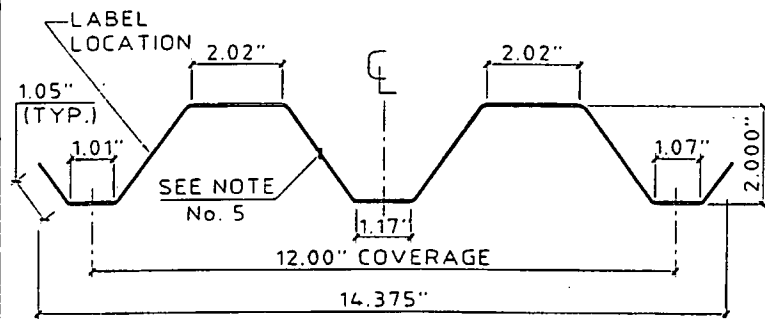
MR + MRS STEVE EAKSLEY
 3 NE LAGCON ISLAND CT. 286-8300
 STUART FL.

TYPE CONST. CBS 0-30 H2197
 EXPOSURE B
 Vel PRESSURE +44

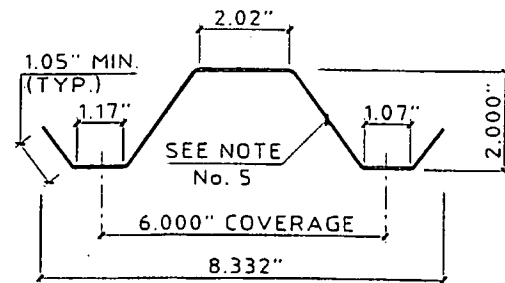
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1	PANEL	TAP-CON	12"	60"	C-2	37	ACCORDIAN	TAP-CON	80"	C-2				
2	PAN	TAP-CON	12	106"	"	38	"	"	108	C-2				
3	"	"	12	60"	"	39	"	"	60	C-2	73	ACC	TAPCON	48
4	"	"	12	72	"	40	"	"	48	"	74	ACC	"	48
5	"	"	12	72	"	41	"	"	40	"				
6	"	"	12	72	"	42	"	"	40	C-2				
7	"	"	12	72	"	43	"	"	40	C-2				
8	"	"	12	72	"	44	"	"	72	C-2				
9	"	"	12	72	"	45	"	"	72	C-2				
10	"	"	12	60	"	46	"	"	80	C-2				
11	"	"	12	106"	"	47	"	"	36	C-2				
12	"	"	12	60	"	48	"	"	80	C-2				
13	"	"	12	60	"	49	"	"	80	C-2				
14	ACCORDIAN	"	9"	72"	"	50	"	"	72	C-2				
15	"	"	9"	90"	"	51	"	"	90	C-2				
16	"	"	9"	90"	"	52	"	"	90	C-2				
17	"	"	9"	36	"	53	"	"	72	"				
18	"	"	9"	36	"	54	"	"	96	"				
19	"	"	9"	108	"	55	"	"	80	"				
20	"	"	9"	108	"	56	"	"	80	"				
21	"	"	9"	72	"	57	"	"	96	"				
22	"	"	4"	140	C-2/CA	58	"	"	96	"				
23	"	"	4"	140	"	59	"	"	96	"				
24	"	"	4"	140	"	60	"	"	80	"				
25	"	"	12	60	C-2	61	"	"	80	"				
26	"	"	12	90"	C-2	62	"	"	80	C-2/CA				
27	"	"	12	90	C-2	63	"	"	90	C-2				
28	"	"	12	60	C-2	64	"	"	90	"				
29	"	"	12	60	C-2	65	"	"	80	"				
30	"	"	12	60	C-2	66	"	"	80	"				
31	"	"	12	90	C-2	67	"	"	80	"				
32	"	"	12	60	C-2	68	"	"	36	"				
33	"	"	12	48	C-2	69	"	"	36	"				
34	"	"	12	48	C-2	70	"	"	90	"				
35	"	"	12	60	C-2	71	"	"	90	"				
36	"	"	12	80	C-2	72	"	"	90	"				

BANNER ALUMINUM
 Dave Lopez

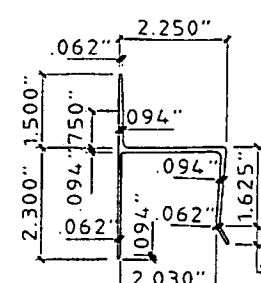
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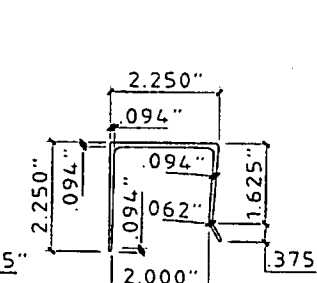
1 STORM PANEL
SCALE: 3" = 1'-0"



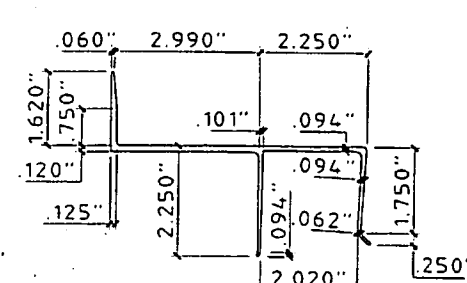
1a HALF STORM PANEL
SCALE: 3" = 1'-0"



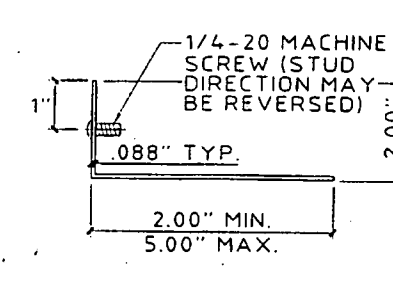
2 "h" HEADER
SCALE: 3" = 1'-0"



3 "U" HEADER
SCALE: 3" = 1'-0"



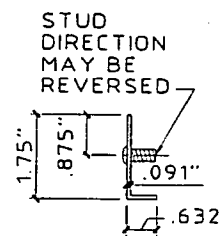
3a BUILD-OUT "U" HEADER
SCALE: 3" = 1'-0"



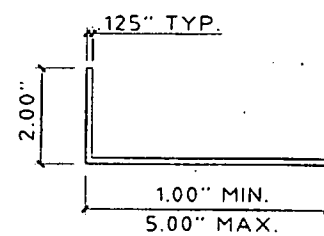
4 STUD ANGLE
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GENERAL NOTES:

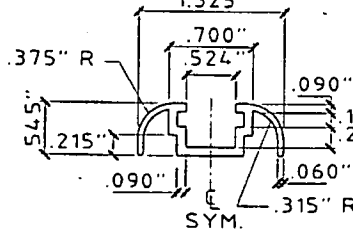
- THESE PRODUCT EVALUATION DOCUMENTS REPRESENT A SHUTTER SYSTEM DESIGNED AND TESTED AS A LARGE MISSILE IMPACT PROTECTIVE SYSTEM IN ACCORDANCE WITH THE 1999 STANDARD BUILDING CODE AND THE FLORIDA BUILDING CODE 2001, NON HIGH VELOCITY HURRICANE ZONES.
- THIS SHUTTER SYSTEM HAS BEEN TESTED FOR LARGE MISSILE IMPACT RESISTANCE IN CONFORMANCE WITH THE SBCCI STANDARD SSTD 12-99 AND FOR UNIFORM STATIC AIR PRESSURE IN CONFORMANCE WITH ASTM E330. REFERENCED TEST REPORTS CONSTRUCTION TESTING CORPORATION (C.T.C.), TEST REPORT No's. 97-063, 98-009, 98-010, 98-011, 98-014, 99-044, 00-041, 00-022, 01-037 AND 02-012.
- AN ALLOWABLE STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT.
- DETERMINE THE POSITIVE AND NEGATIVE DESIGN LOADS TO USE WHEN REFERENCING THESE DOCUMENTS IN ACCORDANCE WITH THE GOVERNING CODE AND GOVERNING WIND VELOCITY.
- THESE PRODUCT EVALUATION DOCUMENTS ARE PREPARED BY THE PRODUCT ENGINEER AND ARE GENERIC. THEY DO NOT INCLUDE INFORMATION PREPARED FOR A SPECIFIC SITE.
- THESE PRODUCT EVALUATION DOCUMENTS ARE NOT VALID FOR PERMIT WITHOUT ORIGINAL SIGNATURE, DATE AND EMBOSSED SEAL ON EACH PERMIT COPY, WHETHER OR NOT A MASTER APPROVAL DOCUMENT IS ON FILE WITH A MUNICIPALITY OR OTHER GOVERNING AGENCY.
- THESE PRODUCT EVALUATION DOCUMENTS ARE SUITABLE TO BE APPLIED BY THE CONTRACTOR PROVIDED THE CONTRACTOR DOES NOT DEVIATE FROM THE CONDITIONS DETAILED HEREIN AND THE CONTRACTOR VERIFIES THE EXISTING STRUCTURE IS CAPABLE OF SUPPORTING THE SUPERIMPOSED LOADS.
- ALTERATIONS OR ADDITIONS TO THIS DOCUMENT ARE NOT PERMITTED.
- WHEN THE SITE CONDITIONS DEVIATE FROM THESE PRODUCT EVALUATION DOCUMENTS, SITE SPECIFIC DOCUMENTS SHALL BE PREPARED BY A DULY LICENSED AND REGISTERED ENGINEER OR ARCHITECT. SAID DOCUMENTS SHALL BEAR THE DATE, SIGNATURE AND EMBOSSED SEAL OF THE DELEGATED ENGINEER OR ARCHITECT AND SHALL BE SUBMITTED TO THE PRODUCT ENGINEER FOR REVIEW.
- WHERE COMPLIANCE WITH SSTD 12-99 IS REQUIRED, PANELS SHALL BE PERMANENTLY LABELED WITH A MINIMUM OF ONE LABEL PER OPENING OR THE MANUFACTURER AND INSTALLER SHALL PROVIDE A CERTIFICATE OF COMPLIANCE. WHERE LABELS ARE USED, THE LABEL SHALL READ AS FOLLOWS:
TOWN & COUNTRY INDUSTRIES, INC.
FORT LAUDERDALE, FLORIDA
SSTD 12-99 LARGE MISSILE IMPACT RESISTANT
- ALL SCREWS, BOLTS AND WASHERS SHALL BE 2024-T4 ALUMINUM ALLOY, STAINLESS STEEL OR GALVANIZED STEEL WITH A MINIMUM TENSILE STRENGTH OF 60 KSI, U.O.N.
- TOP & BOTTOM DETAILS SHOWN MAY BE INTERCHANGED AS FIELD CONDITIONS DICTATE. PANELS MAY BE MOUNTED HORIZONTALLY IF C-TRACK, BUILD-OUT F-TRACK, 'F' ANGLE, STUD ANGLE OR DIRECT MOUNTED IS USED.
- STORM PANELS SHALL BE ALUMINUM ALLOY WITH THE FOLLOWING METAL THICKNESS:
0.040" (3004-H34)
0.050" (5052-H32)
0.060" (3004-H34)
- ALL EXTRUSIONS SHALL BE 6063-T6 ALUMINUM ALLOY, U.O.N.



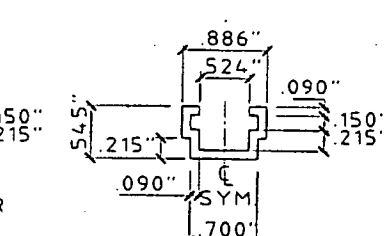
4a STUD ANGLE
SCALE: 3" = 1'-0"



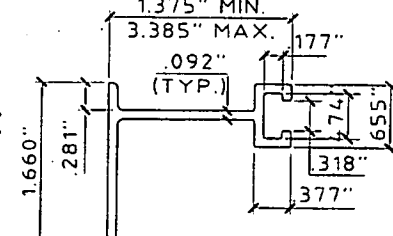
5 ANGLE
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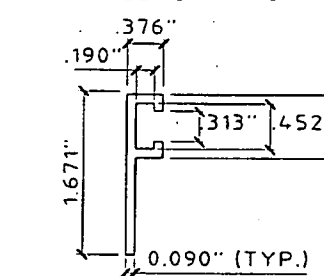
6 C-TRACK
SCALE: HALF SIZE



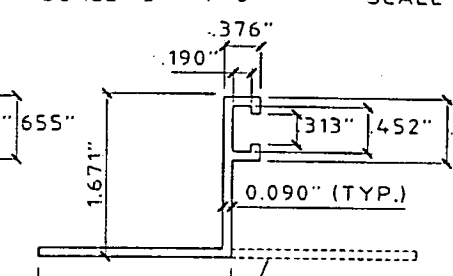
6a C-TRACK
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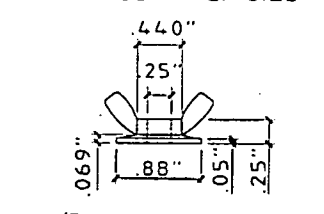
7 BUILD-OUT F-TRACK
SCALE: HALF SIZE



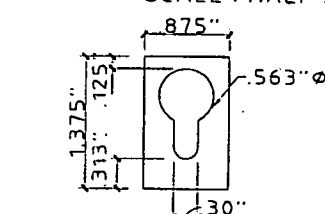
8 "F" TRACK
SCALE: HALF SIZE



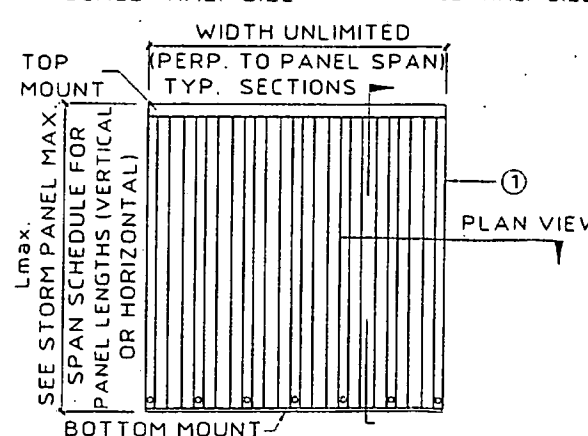
8a "F" ANGLE - TRACK
SCALE: HALF SIZE



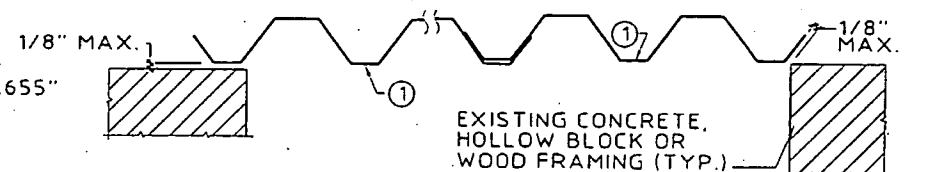
9 WASHERED WING NUT (WWN)
SCALE: HALF SIZE



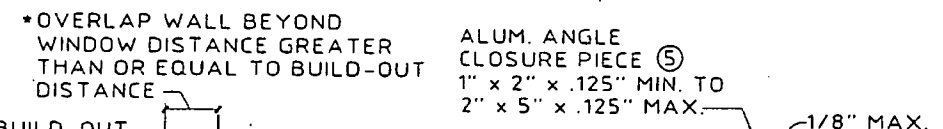
10 KEYHOLE WASHER
SCALE: HALF SIZE



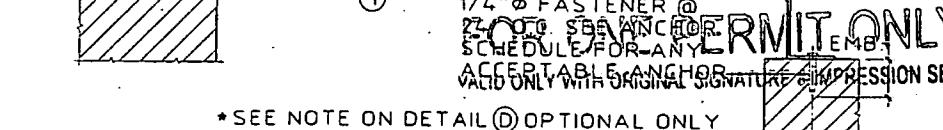
11 TYPICAL VERTICAL MOUNT ELEVATION
N.T.S.



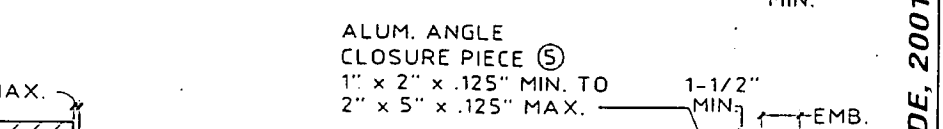
12 EXISTING CONCRETE, HOLLOW BLOCK OR WOOD FRAMING (TYP.)



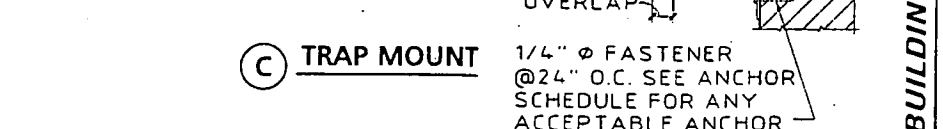
13 WALL/DIRECT MOUNT



14 BUILD-OUT MOUNT



15 TRAP MOUNT



16 TYPICAL CLOSURE DETAILS (PLAN)
SCALE: 1-1/2" = 1'-0"



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WEBSITE: WWW.KNEZEVICH.COM • E-MAIL: KA@KNEZEVICH.COM
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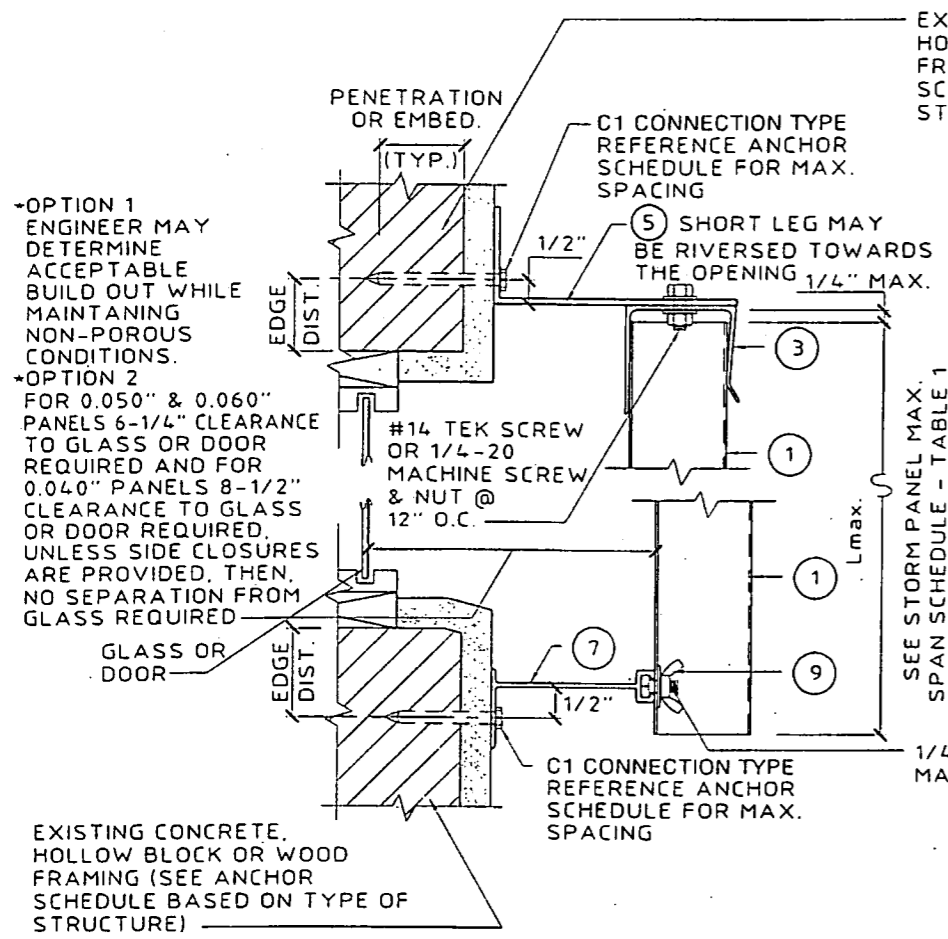
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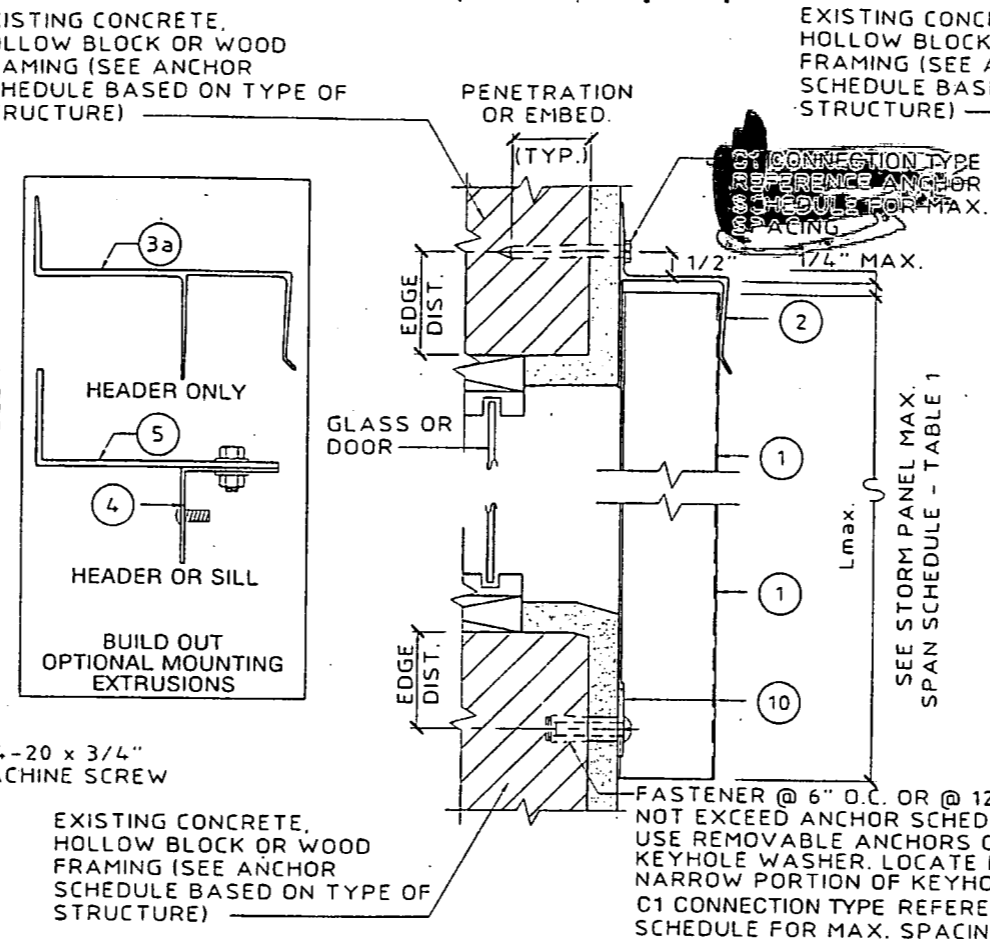
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NO.	DESCRIPTION
1	07/10/02 GENERAL REVISION
2	08/27/02 ANCHOR SCHEDULE
3	10/19/02 SBCCI COMMENTS

DATE: 03/21/2002
SCALE: AS NOTED
DRAWN BY: AV
DESIGN BY: WAS
CHECKED BY: VJK
DRAWING NO.: 02-264
SHEET 1 OF 5

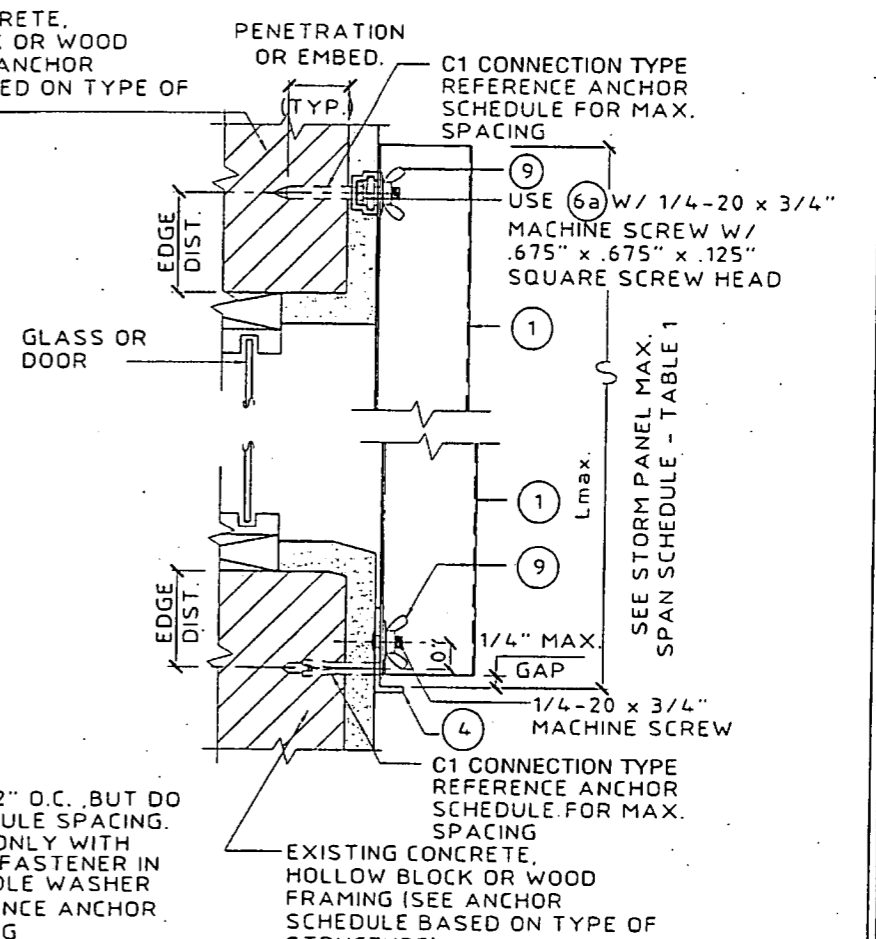
FLORIDA BUILDING CODE, 2001



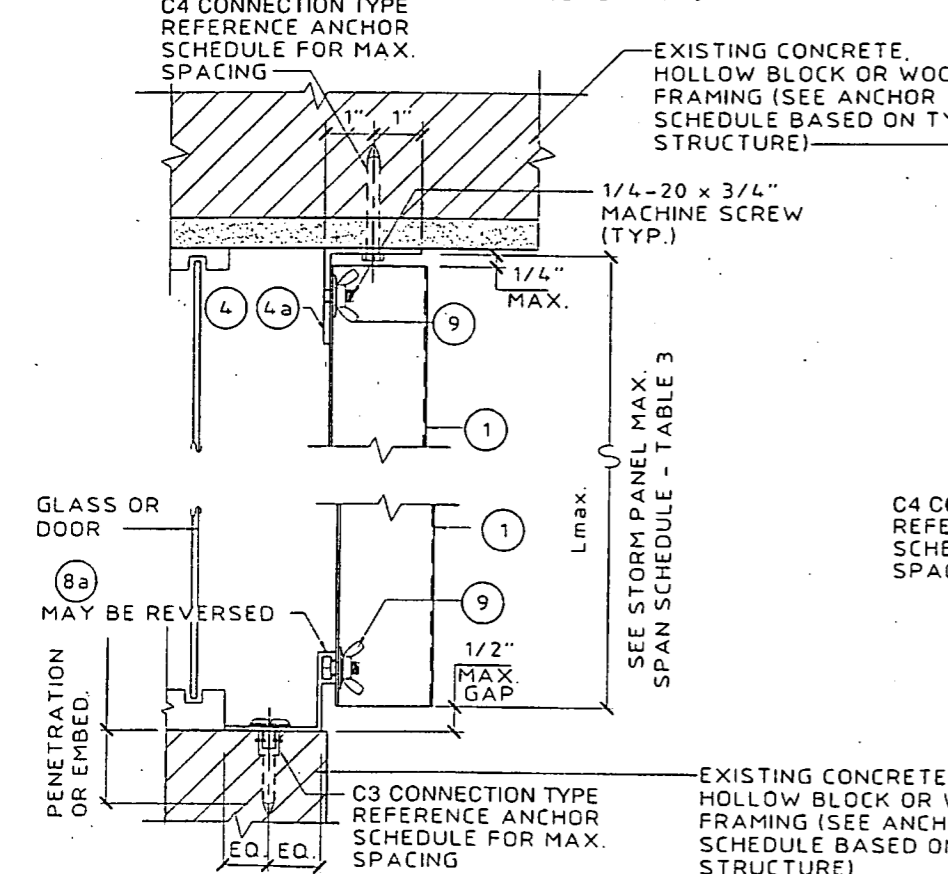
D BUILD-OUT MOUNT SECTION
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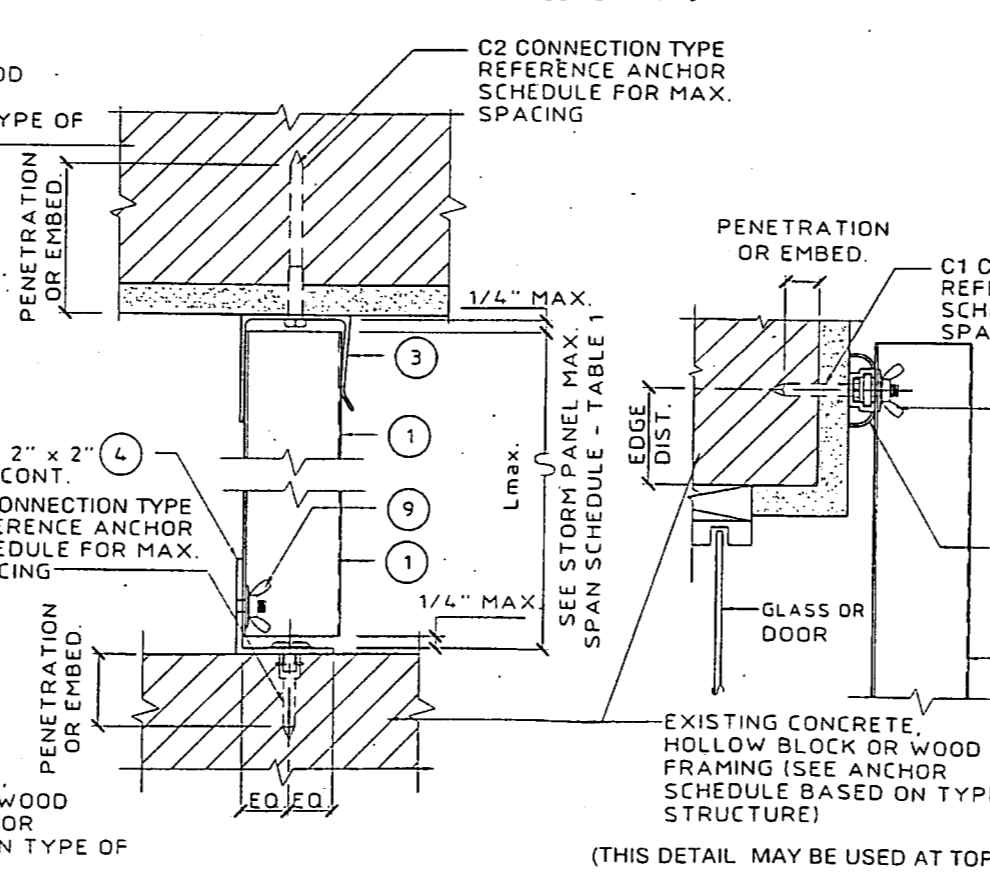
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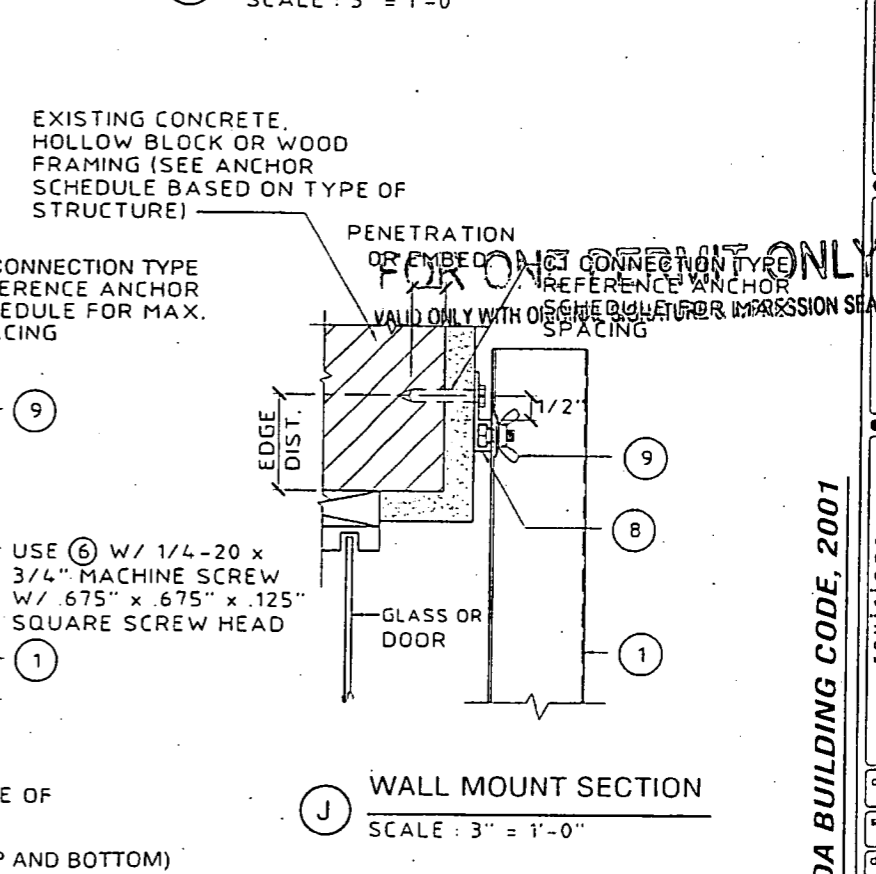
F WALL MOUNT SECTION
SCALE: 3" = 1'-0"



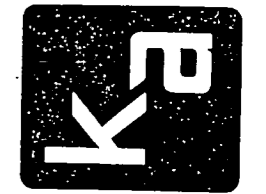
G CEILING/FLOOR MOUNT SECTION
SCALE: 3" = 1'-0"



H CEILING/FLOOR MOUNT SECTION
SCALE: 3" = 1'-0"



I WALL MOUNT SECTION
SCALE: 3" = 1'-0"



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V.J. KNEZEVICH
PROFESSIONAL ENGINEER
FL License No: PE 0070983

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MAR 20 2003

no.	date	by	description
1	07/10/02	WAS	GENERAL REVISION
2	08/27/02	WAS	ANCHOR SCHEDULE
3	10/29/02	WAS	SUBJECT COMMENTS

date 03/21/2002
scale AS NOTED drawn by AV
design by WAS checked by VJK
drawing no. **02-264**
sheet 2 of 5

FLORIDA BUILDING CODE, 2001



ANCHOR SCHEDULE

FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS

EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 2" EDGE DISTANCE																				MIN. 3" EDGE DISTANCE																			
			SPANS UP TO 5'-0" (SEE NOTE 1)					SPANS UP TO 8'-9" (SEE NOTE 1)					SPANS UP TO 12'-0" (SEE NOTE 1)					SPANS UP TO 15'-0" (SEE NOTE 1)					SPANS UP TO 5'-0" (SEE NOTE 1)					SPANS UP TO 8'-9" (SEE NOTE 1)					SPANS UP TO 12'-0" (SEE NOTE 1)					SPANS UP TO 15'-0" (SEE NOTE 1)				
			CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)									
			C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5					
CONCRETE	<p>1/4" ITW TAPCON W/ 1-1/4" MIN. EMBEDMENT (MIN. 3,000 P.S.I. CONCRETE)</p>	33.0	18	18	12	14	15	11	7	8	11	8	5	6	8	6	4	4	18	18	14	17	16	13	8	9	12	9	5	7	9	7	4	5								
		44.2	18	14	9	11	11	8	5	6	8	6	3	4	7	5	3	4	18	17	10	12	12	9	6	7	9	7	4	5	8	6	3	4								
		47.2	18	13	8	10	10	7	4	5	7	5	3	4	7	5	3	4	18	16	9	11	11	9	5	6	8	6	4	4	8	6	3	4								
		64.0	13	10	6	7	7	5	3	4	7	5	3	4	7	5	3	4	15	12	7	8	8	6	4	4	8	6	3	4	8	6	3	4								
		80.0	11	8	5	6	7	5	3	4	7	5	3	4	7	5	3	4	12	9	5	7	8	6	3	4	8	6	3	4	8	6	3	4								
	<p>1/4" ITW TAPCON W/ 2" MIN. EMBEDMENT (MIN. 3,000 P.S.I. CONCRETE)</p>	33.0	18	18	18	18	18	18	13	14	18	13	9	10	18	10	7	8	18	18	18	18	18	18	15	17	18	16	11	12	18	12	8	10								
		44.2	18	18	17	18	18	13	9	11	18	10	7	8	18	9	6	7	18	18	18	18	18	18	18	15	13	18	16	11	13	18	12	8	9							
64.0		18	16	11	13	18	9	6	7	18	9	6	7	18	9	6	7	18	18	18	18	18	18	18	15	10	12	18	11	7	8	18	10	7	8							
<p>1/4" ELCO TAPCON W/ 1-3/4" MIN. EMBEDMENT (MIN. 3,350 P.S.I. CONCRETE)</p>	33.0	18	18	18	18	18	18	14	16	18	15	10	12	18	12	8	9	18	18	18	18	18	18	17	18	18	18	13	15	18	15	10	12									
	44.2	18	18	18	18	18	15	10	12	18	11	7	9	17	10	6	8	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18								
	64.0	18	18	17	18	18	14	9	11	17	10	7	8	17	10	6	8	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18								
<p>1/4" ELCO MALE/FEMALE "PANELMATE" & 1/4-20 MACHINE SCREW FOR FEMALE AND 1/4-20 WVN FOR MALE OR 1/4" ELCO CRETE FLEX W/ 1-3/4" MIN. EMBED. (MIN. 3,350 P.S.I. CONCRETE)</p>	33.0	18	18	18	18	18	18	13	15	18	14	10	11	18	11	8	9	18	18	18	18	18	18	17	18	18	18	17	12	14	18	14	10	11								
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<p>1/4" POWERS ZAMAC NAIL-IN W/ 1-1/8" MIN. EMBEDMENT (MIN. 3,000 P.S.I. CONCRETE)</p>	33.0	18	18	13	15	18	10	7	8	14	7	5	6	11	6	4	5	18	18	16	18	18	14	9	10	16	10	6	8	12	8	5	6									
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	64.0	17	9	6	7	10	5	3	4	9	5	3	4	9	5	3	4	18	17	11	13	15	9	6	7	11	7	4	5	10	7	4	5									
<p>5/16" ITW XL TAPCON W/ 2-1/4" MIN. EMBEDMENT (MIN. 3,000 P.S.I. CONCRETE)</p>	33.0	18	18	18	18	18	18	18	18	18	18	18	18	18	18	15	17	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18									
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	64.0	18	18	18	18	18	18	18	18	18	18	18	15	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18								
<p>1/4" ALL-POINTS SOLID-SET ANCHOR W/ 7/8" EMBEDMENT & 1/4-20 STAINLESS STEEL MACHINE SCREW (MIN. 3,000 P.S.I. CONCRETE)</p>	33.0	18	18	15	17	18	11	8	9	18	8	6	7	15	6	5	5	18	18	18	18	18	18	15	17	18	16	11	12	18	13	8	10									
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SEE PAGE 5 OF 5 FOR COMPLETE ANCHOR NOTES.

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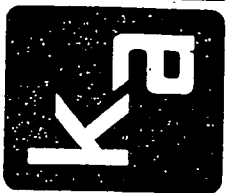
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 PROFESSIONAL ENGINEER
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MAR 20 2003
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FLORIDA BUILDING CODE, 2001

Revisions		
no	date	description
1	07/10/02	GENERAL REVISION
2	08/27/02	ANCHOR SCHEDULE
3	10/29/02	SBCCI COMMENTS
date 03/21/2002		
scale AS NOTED	drawn by AV	
design by WAS	checked by VJK	
drawing no. 02-264		
sheet 3 of 5		



ANCHOR SCHEDULE

FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS

EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 2" EDGE DISTANCE																				MIN. 3" EDGE DISTANCE																			
			SPANS UP TO 5'-0" (SEE NOTE 1)					SPANS UP TO 8'-9" (SEE NOTE 1)					SPANS UP TO 12'-0" (SEE NOTE 1)					SPANS UP TO 15'-0" (SEE NOTE 1)					SPANS UP TO 5'-0" (SEE NOTE 1)					SPANS UP TO 8'-9" (SEE NOTE 1)					SPANS UP TO 12'-0" (SEE NOTE 1)					SPANS UP TO 15'-0" (SEE NOTE 1)				
			CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)									
			C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5
HOLLOW CONCRETE BLOCK		33.0	17	13	8	9	9	7	4	5	7	5	3	4	5	4	3	3	3	3	18	15	9	11	10	9	5	6	7	6	3	4	5	4	3	3	3					
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		33.0	18	18	14	16	18	12	7	9	14	8	5	6	11	7	4	5	5	5	18	18	17	18	18	15	9	11	15	11	7	8	12	9	5	6						
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		47.2	18	14	9	11	13	8	5	6	9	6	4	4	9	5	3	4	4	4	18	18	12	14	14	10	6	8	11	8	5	5	10	7	4	5						
		64.0	17	10	7	8	9	6	4	4	9	5	3	4	9	5	3	4	4	4	18	14	8	10	11	8	5	6	10	7	4	5	10	7	4	5						
		80.0	13	8	5	6	9	5	3	4	9	5	3	4	9	5	3	4	4	4	15	11	7	8	10	7	4	5	10	7	4	5	10	7	4	5						
	33.0	18	16	10	12	14	9	6	7	10	6	4	5	8	5	3	4	4	4	18	18	15	18	18	13	8	10	15	9	6	7	12	7	5	6							
	44.2	18	12	8	9	11	6	4	5	8	5	3	3	7	4	3	3	3	3	18	17	11	13	15	9	6	7	11	7	4	5	10	6	4	5							
	47.2	18	11	7	8	10	6	4	4	7	4	3	3	7	4	3	3	3	3	18	16	10	12	14	9	6	7	10	6	4	5	10	6	4	5							
	64.0	13	8	5	6	7	4	3	3	7	4	3	3	7	4	3	3	3	3	18	11	7	9	10	6	4	5	10	6	4	5	10	6	4	5							
	80.0	10	6	4	5	7	4	3	3	7	4	3	3	7	4	3	3	3	3	15	9	6	7	10	6	4	5	10	6	4	5	10	6	4	5							
	33.0	18	15	11	12	17	9	6	7	12	6	4	5	10	5	3	4	4	4	18	15	11	12	17	9	6	7	12	6	4	5	10	5	3	4							
	44.2	18	11	8	9	12	6	4	5	9	4	3	3	8	4	3	3	3	3	18	11	8	9	12	6	4	5	9	4	3	3	8	4	3	3							
	47.2	18	11	7	8	11	6	4	5	8	4	3	3	8	4	3	3	3	3	18	11	7	8	11	6	4	5	8	4	3	3	8	4	3	3							
	64.0	15	8	5	6	8	4	3	3	8	4	3	3	8	4	3	3	3	3	15	8	5	6	8	4	3	3	8	4	3	3	8	4	3	3							
	80.0	12	6	4	5	8	4	3	3	8	4	3	3	8	4	3	3	3	3	12	6	4	5	8	4	3	3	8	4	3	3	8	4	3	3							

SEE PAGE 5 OF 5 FOR COMPLETE ANCHOR NOTES.

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KNEZEVICH & ASSOCIATES, INC.
 CONSULTING ENGINEERS • PRODUCT TESTING
 1260 N. UNIVERSITY DRIVE, SUITE 180 • FORT LAUDERDALE, FL 33322
 TEL: (954) 382-2800 • FAX: (954) 382-2989 • FLORIDA COA #3205
 WEBSITE: WWW.KNEZEVICH.COM • E-MAIL: KA@KNEZEVICH.COM
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0.040" x 0.050" x 0.060" ALUM. STORM PANELS

 STORM & COUNTRY INDUSTRIES, INC.
 400 WEST MGNAB ROAD • (800) 432-5019
 FT. LAUDERDALE, FL 33309

V.J. KNEZEVICH
 PROFESSIONAL ENGINEER
 FL License No. PE 010983

 MAR 20 2003

NO	DATE	BY	DESCRIPTION
1	07/10/02	WAS	GENERAL REVISION
2	08/27/02	WAS	ANCHOR SCHEDULE
3	10/29/03	DLB	SBCC COMMENTS

FLORIDA BUILDING CODE, 2001
 date 03/21/2002
 scale AS NOTED
 design by WAS
 checked by VJK
 drawing no. 02-264
 sheet 4 of 5

ANCHOR SCHEDULE

FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS

EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 3/4" EDGE DISTANCE																			
			SPANS UP TO 5'-0" (SEE NOTE 1)				SPANS UP TO 8'-9" (SEE NOTE 1)				SPANS UP TO 12'-0" (SEE NOTE 1)				SPANS UP TO 15'-0" (SEE NOTE 1)							
			CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)							
			C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5
WOOD		33.0	12	12	12	12	12	12	12	12	10	10	10	10	10	10	10	10	8	8	8	8
		44.2	12	12	12	12	12	12	12	10	11	12	9	7	8	12	8	6	7	7	7	7
		47.2	12	12	12	12	12	12	11	9	10	12	8	7	7	12	8	6	7	7	7	7
		64.0	12	12	12	12	12	12	8	7	7	12	8	6	7	12	8	6	7	7	7	7
	80.0	12	12	10	10	12	12	8	6	7	12	8	6	7	12	8	6	7	7	7	7	7
		33.0	12	12	12	12	12	12	12	10	12	12	11	8	9	12	9	6	7	7	7	7
		44.2	12	12	12	12	12	12	12	8	9	12	8	5	6	12	8	5	6	6	6	6
		47.2	12	12	12	12	12	12	11	7	8	12	8	5	6	12	8	5	6	6	6	6
		64.0	12	12	9	11	12	8	5	6	12	8	5	6	12	8	5	6	6	6	6	6
	80.0	12	11	7	9	12	8	5	6	12	8	5	6	12	8	5	6	6	6	6	6	6
		33.0	12					12								9						
		44.2	12					12								8						
47.2		12					11								8							
64.0		12					8								8							
80.0	12					8								8								

ANCHOR NOTES:

1. SPANS AND LOADS SHOWN HERE ARE FOR DETERMINING ANCHOR SPACING ONLY. ALLOWABLE STORM PANEL SPANS FOR SPECIFIC LOADS MUST BE LIMITED TO THOSE SHOWN IN TABLE 1.
2. ENTER ANCHOR SCHEDULE BASED ON THE EXISTING STRUCTURE MATERIAL, ANCHOR TYPE AND EDGE DISTANCE. SELECT DESIGN LOAD GREATER THAN OR EQUAL TO NEGATIVE DESIGN LOAD ON SHUTTER AND SELECT SPAN GREATER THAN OR EQUAL TO SHUTTER SPAN.
3. EXISTING STRUCTURE MAY BE CONCRETE, HOLLOW BLOCK OR WOOD FRAMING. REFERENCE ANCHOR SCHEDULE FOR PROPER ANCHOR TYPE BASED ON TYPE OF EXISTING STRUCTURE AND APPROPRIATE CONNECTION TYPE. SEE MOUNTING SECTION DETAILS FOR IDENTIFICATION OF CONNECTION TYPE.
4. ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
5. MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDES WALL FINISH OR STUCCO.
6. WHERE EXISTING STRUCTURE IS WOOD FRAMING, WOOD FRAMING CONDITIONS VARY. FIELD VERIFY THAT FASTENERS ARE INTO ADEQUATE WOOD FRAMING MEMBERS, NOT PLYWOOD. FASTENING TO PLYWOOD IS ACCEPTABLE ONLY FOR SIDE CLOSURE PIECES.
7. WHERE LAG SCREWS FASTEN TO NARROW FACE OF STUD FRAMING, FASTENER SHALL BE LOCATED IN CENTER OF NOMINAL 2" x 4" (MIN.) WOOD STUD. 3/4" EDGE DISTANCE IS ACCEPTABLE FOR WOOD FRAMING. WOOD STUD SHALL BE "SOUTHERN PINE" G=0.55 OR GREATER DENSITY. LAG SCREWS SHALL HAVE PHILLIPS PAN HEAD OR HEX HEAD.
8. MACHINE SCREWS SHALL HAVE MINIMUM OF 1/2" ENGAGEMENT OF THREADS IN BASE ANCHOR AND MAY HAVE EITHER A PAN HEAD, TRUSS HEAD, OR WAFER HEAD (SIDEWALK BOLT), U.O.N.
9. DESIGNATES ANCHOR CONDITIONS WHICH ARE NOT ACCEPTABLE USES.
10. * DESIGNATES ANCHORS WHICH ARE REMOVABLE BY REMOVING MACHINE SCREW, NUT OR WASHERED WINGNUT.
11. FOR LOADS GREATER THAN THOSE SPECIFIED (ANCHOR SCHEDULE), SITE SPECIFIC FASTENER ANALYSIS SHALL BE PREPARED BY KNEZEVICH & ASSOCIATES, INC.
12. SEE THE APPROPRIATE SBCCI PST & EST OR NES EVALUATION REPORT ON THE SPECIFIC FASTENER FOR SPECIAL INSPECTION REQUIREMENTS WHEN REQUIRED AS WELL AS FOR INSTALLATION, LIMITATIONS & IDENTIFICATION PURPOSES.
13. FASTENER MAXIMUM SPACING ARE BASED ON FACTOR OF SAFETY OF 4:1 ON TENSION AND SHEAR VALUES WITH THE EXCEPTION OF THE 1/4" WOOD LAG SCREW AND THE 7/16" WOOD BUSHING WHICH ARE BASED ON NDS REQUIREMENTS AND SBCCI TESTING REQUIREMENTS RESPECTIVELY.

TABLE 2		MINIMUM PANEL LENGTH SCHEDULE					
MOUNTING CONDITIONS		MINIMUM PANEL LENGTH- (IN)					
TOP BOTTOM	DIRECT MOUNT OR RECESSED C-TRACK	2" x 2" STUD ANGLE	C-TRACK (6 OR 6a)	"H" OR "U" HEADER	F-TRACK	C-TRACK (6 OR 6a) W/ SIDE CLOSURE PIECES	
		DIRECT MOUNT OR RECESSED C-TRACK (6a)	52	34	110	30	57
2" x 2" STUD ANGLE	36	30	35	30	31	-	
F-ANGLE TRACK	57	31	90	31	62	-	
C-TRACK (6 OR 6a)	64	55	110	35	90	-	
F-TRACK	57	49	90	31	76	-	
C-TRACK (6 OR 6a) W/ SIDE CLOSURE PIECES	-	-	-	-	-	52	

TABLES 1 & 3 NOTE:

ENTER TABLE WITH NEGATIVE DESIGN LOAD TO DETERMINE MAX. PANEL SPAN (L_{max}). POSITIVE LOADS LESS THAN OR EQUAL TO THE NEGATIVE LOAD ARE ACCEPTABLE. FOR DESIGN LOADS BETWEEN TABULATED VALUES, USE NEXT HIGHER LOAD OR LINEAR INTERPOLATION MAY BE USED TO DETERMINE ALLOWABLE SPANS.

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TABLE 2 NOTE:

THIS SHUTTER SYSTEM IS DESIGNED SUCH THAT THERE IS NO SEPARATION FROM GLASS REQUIRED PROVIDED MINIMUM PANEL LENGTHS AS NOTED. PANEL LENGTHS LESS THAN THOSE NOTED IN TABLE ARE NOT ACCEPTABLE, UNLESS SITE SPECIFIC POROSITY CALCULATIONS ARE PERFORMED BY A PROFESSIONAL ENGINEER.

TABLE 1	STORM PANEL MAXIMUM SPAN SCHEDULE		
	THICKNESS		
	0.040"	0.050"	0.060"
NEGATIVE DESIGN LOAD W (P.S.F.)	ALL MOUNTING CONDITIONS	ALL MOUNTING CONDITIONS	ALL MOUNTING CONDITIONS
	L MAX. (FT - IN)	L MAX. (FT - IN)	L MAX. (FT - IN)
	30	11' - 1"	11' - 9"
	33	10' - 7"	11' - 2"
	35.8	10' - 2"	10' - 9"
	38.3	9' - 10"	10' - 4"
	40.7	9' - 6"	10' - 1"
	44.2	9' - 1"	9' - 8"
	47.2	8' - 10"	9' - 4"
	50.9	8' - 6"	9' - 0"
	52.4	8' - 4"	8' - 10"
	56	8' - 1"	8' - 7"
	60	7' - 10"	8' - 3"
64	7' - 7"	8' - 0"	
68	7' - 4"	7' - 6"	
72	7' - 1"	7' - 1"	
76	6' - 9"	6' - 9"	
80	6' - 5"	6' - 6"	

TABLE 3	"F" ANGLE TRACK STORM PANEL MAXIMUM SPAN SCHEDULE		
	THICKNESS		
	0.040"	0.050"	0.060"
NEGATIVE DESIGN LOAD W (P.S.F.)	ALL MOUNTING CONDITIONS	ALL MOUNTING CONDITIONS	ALL MOUNTING CONDITIONS
	L MAX. (FT - IN)	L MAX. (FT - IN)	L MAX. (FT - IN)
	30	11' - 1"	11' - 9"
	33	10' - 7"	11' - 2"
	35.8	10' - 2"	10' - 9"
	38.3	9' - 10"	10' - 4"
	40.7	9' - 6"	10' - 1"
	44.2	9' - 1"	9' - 8"
	47.2	8' - 10"	9' - 4"
	50.9	8' - 6"	9' - 0"
	52.4	8' - 4"	8' - 10"
	56	8' - 1"	8' - 3"
	60	7' - 9"	7' - 9"
64	7' - 3"	7' - 3"	
68	6' - 10"	6' - 10"	
72	6' - 5"	6' - 5"	
76	6' - 1"	6' - 1"	
80	5' - 9"	5' - 9"	



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 WEBSITE: WWW.KNEZEVICH.COM • E-MAIL: KA@KNEZEVICH.COM
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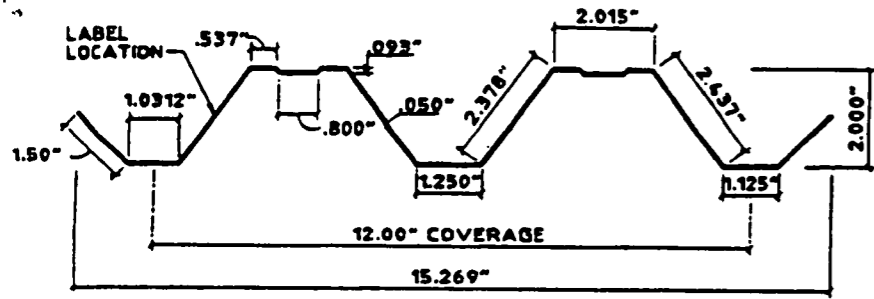
V.J. KNEZEVICH
 PROFESSIONAL ENGINEER
 FL License No. PE 0010583

MAR 20 2002

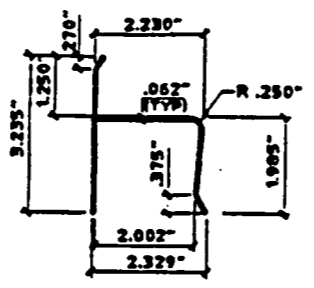
Revisions	
no.	description
1	07/10/02 WAS GENERAL REVISION
2	08/27/02 WAS ANCHOR SCHEDULE
3	10/29/02 OLB SBCCI COMMENTS

date 03/21/2002
 scale AS NOTED
 design by WAS
 checked by VJK
 drawing no. **02-264**
 sheet 5 of 5

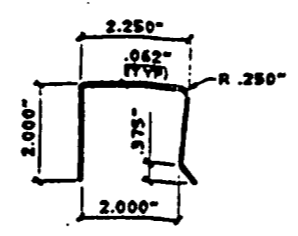
FLORIDA BUILDING CODE, 2001



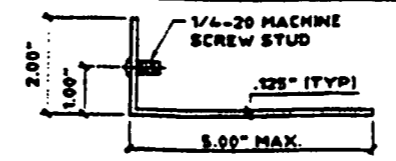
1 STORM PANEL
SCALE: 1/4" = 0'-1"



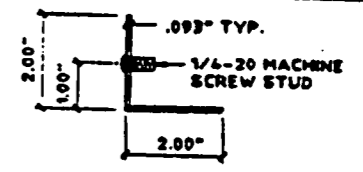
2 "h" HEADER
SCALE: 1/4" = 0'-1"



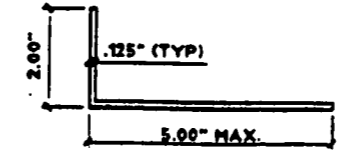
3 "U" HEADER
SCALE: 1/4" = 0'-1"



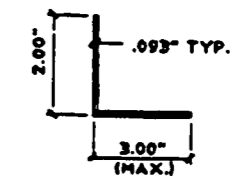
4a STUDED ANGLE
SCALE: 1/4" = 0'-1"



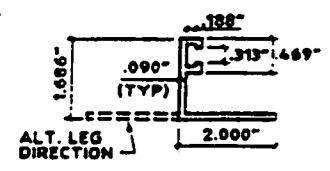
6 STUDED ANGLE
SCALE: 1/4" = 0'-1"



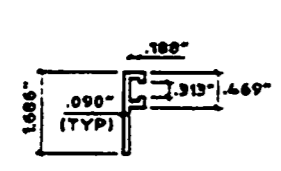
4 ANGLE 6063-T6 TYPICAL
6061-T6 FOR DETAIL "T"
SCALE: 1/4" = 0'-1"



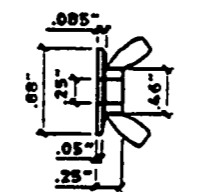
5 ANGLE
SCALE: 1/4" = 0'-1"



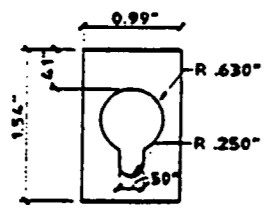
7 "E" TRACK
SCALE: 1/4" = 0'-1"



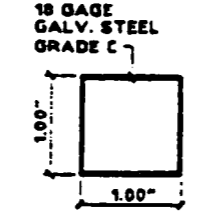
7a "F" TRACK
SCALE: 1/4" = 0'-1"



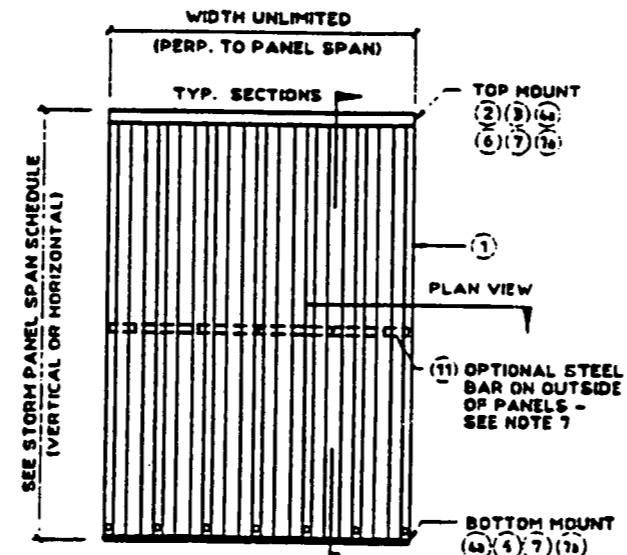
8 WINGNUT
SCALE: HALF SIZE



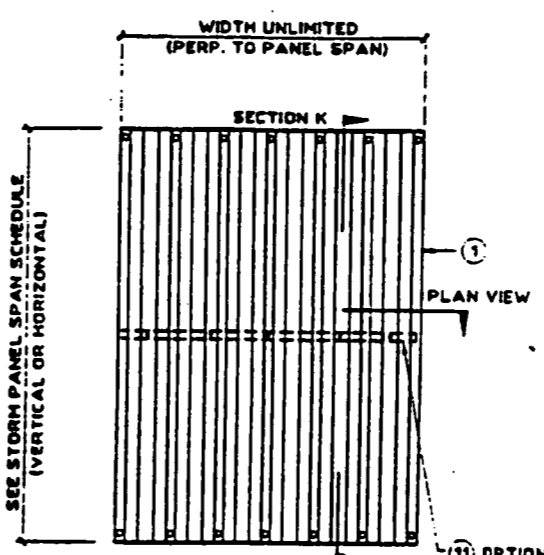
10 KEYHOLE WASHER
SCALE: HALF SIZE



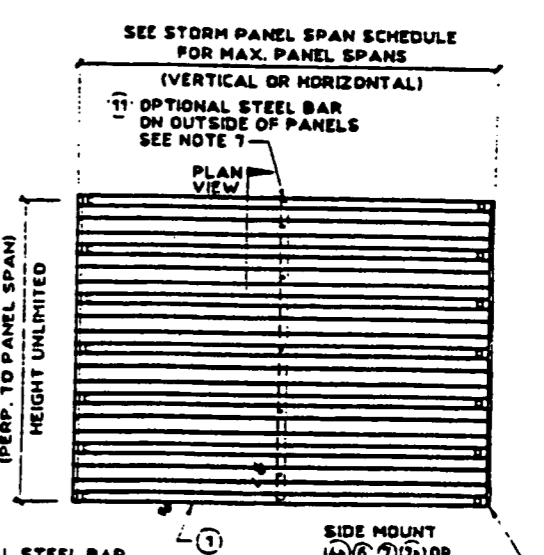
11 STEEL BAR
SCALE: HALF SIZE



TYPICAL VERTICAL MOUNT ELEVATION



DIRECT MOUNT ELEVATION



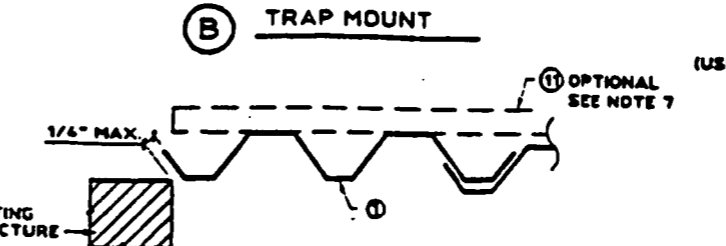
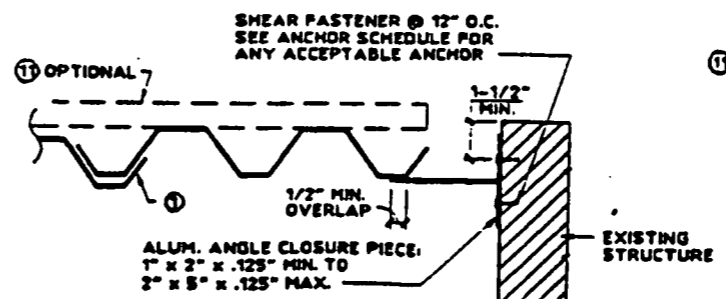
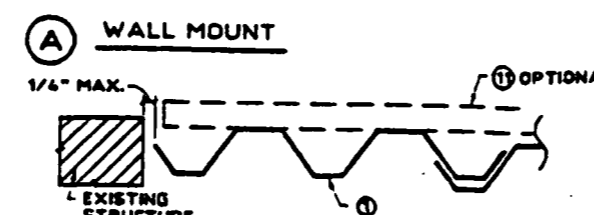
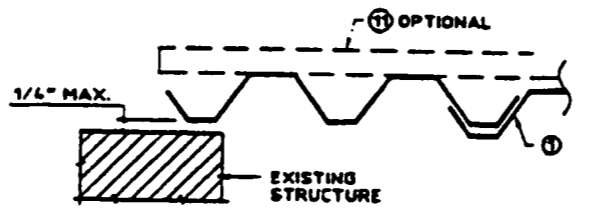
HORIZONTAL MOUNT ELEVATION

- GENERAL NOTES:**
- THIS STORM PANEL SHUTTER SYSTEM IS DESIGNED AND TESTED IN ACCORDANCE WITH THE SOUTH FLORIDA BUILDING CODE 1994 EDITION.
 - POSITIVE AND NEGATIVE DESIGN PRESSURE CALCULATIONS SHALL BE PERFORMED FOR SPECIFIC JOBS IN ACCORDANCE WITH ASCE 7-88 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES." TABLES SHALL BE REFERENCED AT APPROPRIATE DESIGN LOADS.
 - PRODUCT MARKINGS SHALL BE WITHIN 12" OF ONE END OF THE PANEL WITH A MIN. OF ONE MARKING PER PANEL AND SHALL BE LABELED AS FOLLOWS:
MADDEN MFG CO.
POMPANO BEACH, FL
DADE COUNTY PRODUCT APPROVED
 - PANELS HAVE BEEN TESTED IN ACCORDANCE WITH THE DADE COUNTY PROTOCOLS PA 201, PA 202, AND PA 203. DESIGN IS BASED ON CONSTRUCTION TESTING CORPORATION (CTC) TEST REPORT No. 96-014.
 - STORM PANELS SHALL BE 6063-T6 ALUMINUM ALLOY, 0.050" THICKNESS. ALL ALUMINUM EXTRUSIONS SHALL BE 6063-T6, U.O.M.
 - ALL SCREWS AND BOLTS TO BE 2024-T4 ALUMINUM ALLOY, STAINLESS STEEL, OR GALVANIZED STEEL WITH A 33 KSI MINIMUM YIELD STRENGTH.
 - FOR INSTALLATIONS 30 FT. OR LESS ABOVE GRADE, AN OPTIONAL 1" x 1" 18 GAGE STEEL BAR MAY BE USED TO CONTROL DEFLECTION OF STORM PANEL SYSTEM PROVIDED THAT THE PANEL SPANS USED ARE 104" OR LESS, AND THAT THE SEPARATION FROM THE GLASS IS 2" OR MORE BUT LESS THAN 3-3/4". STEEL BAR MAY BE USED FASTENED AT PANEL OVERLAPS, AT MIDSPAN, W/ 1/4-20 x 4" BOLTS AND DIE CAST ALUMINUM WASHERED WINGNUTS. SEE MINIMUM PANEL SEPARATION FROM GLASS SCHEDULE, PAGE 7 OF 7, FOR REDUCED SEPARATIONS.
 - TOP AND BOTTOM DETAILS MAY BE INTERCHANGED AS FIELD CONDITIONS REQUIRE. PANELS MAY ALSO BE MOUNTED WITH STUD ANGLE OR DIRECT MOUNTED HORIZONTALLY.
 - THE PERPET HOLDER SHALL VERIFY THE ADEQUACY OF THE EXISTING STRUCTURE TO SUSTAIN THE NEW SUPERIMPOSED LOADS AND TO VERIFY ALL DIMENSIONS AT THE JOB SITE BEFORE COMMENCING WITH THE WORK.
 - ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. EMBEDMENT LENGTHS SHALL BE AS NOTED AND DO NOT INCLUDE STUCCO OR OTHER FINISHES.
 - AT LEAST ONE WARNING NOTE PER OPENING SHALL BE PLACED IN A CONSPICUOUS LOCATION ON ANY OF THE COMPONENTS OF STORM PANEL SYSTEM ADVISING THE HOME OWNER OR TENANT THAT "STORM PANELS WILL NOT OFFER HURRICANE PROTECTION UNLESS STEEL TUBE & BOLTS ARE PROPERLY INSTALLED WHEN NEEDED".

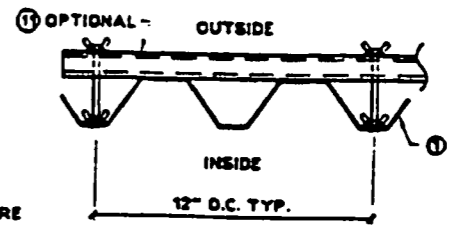
FOR ALL INSTALLATIONS SEE TABLE 2, PAGE 7 OF 7, FOR REQUIRED MIN. PANEL SEPARATION FROM GLASS.

FOR ALL INSTALLATIONS SEE TABLE 2, PAGE 7 OF 7, FOR REQUIRED MIN. PANEL SEPARATION FROM GLASS.

FOR ALL INSTALLATIONS SEE TABLE 2, PAGE 7 OF 7, FOR REQUIRED MIN. PANEL SEPARATION FROM GLASS.



TYPICAL CLOSURE DETAILS (PLAN)



TYPICAL BAR ATTACHMENT
(USE ONLY WHEN IMPROVED DEFLECTION REQUIRED)

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
DATE MARCH 13 1997
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 96-0520-02



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.050" ALUMINUM STORM PANEL
MADDEN MANUFACTURING CO.
1889 N.W. 22 ST.
POMPANO BEACH, FL 33069
(800) 272-2071

Revisions	No.	Date	By	Description
	1	1/21/96	JRV	GENERAL REVISION
	2	3/1/97	JRV	COUNTY COMMENTS
	3	3/1/97	JRV	REV. ANCHOR SCHEDULE
	4	3/10/97	JRV	REV. ANCHOR SCHEDULE

V.J. KNEZEVICH
PROFESSIONAL ENGINEER
FL License No. PE 0010083
[Signature]
FEB 26 1997
date 2/22/96
drawn by GG
checked by VJK
drawing no. 96-110



KNEZEVICH & ASSOCIATES, INC.
 CONSULTING ENGINEERS & PRODUCT TESTING
 641 MORENA DRIVE SUITE 240
 MIAMI SPRINGS, FL 33166 FT. LAUDERDALE, FL 33311
 PHONE: (305) 883-9571 PHONE: (954) 677-9500
 FAX: (305) 883-9572
 COPYRIGHT 1997 KNEZEVICH & ASSOCIATES, INC.

.050" ALUMINUM STORM PANEL
MADDEN MANUFACTURING CO.
 1889 N.W. 22 ST.
 POMPANO BEACH, FL 33069
 (800) 272-2071

NO.	DATE	BY	DESCRIPTION
1	10/21/96	JVK	GENERAL REVISION
2	1/19/97	JVK	COUNTY COMMENTS
3	3/14/97	JVK	REV. ANCHOR SCHEDULE
4	2/27/97	JVK	REV. ANCHOR SCHEDULE

V.J. KNEZEVICH
 PROFESSIONAL ENGINEER

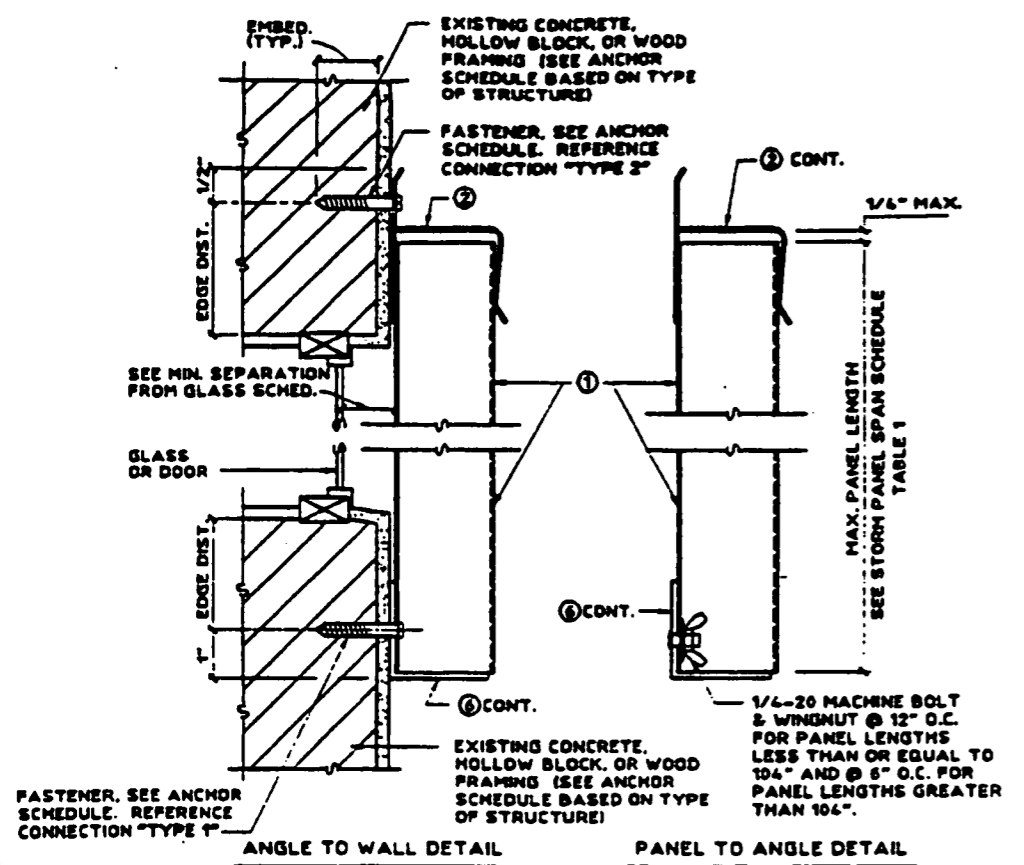
FL License No.
 PE 0510983

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE MARCH 13 1997
 FEB 26 1997

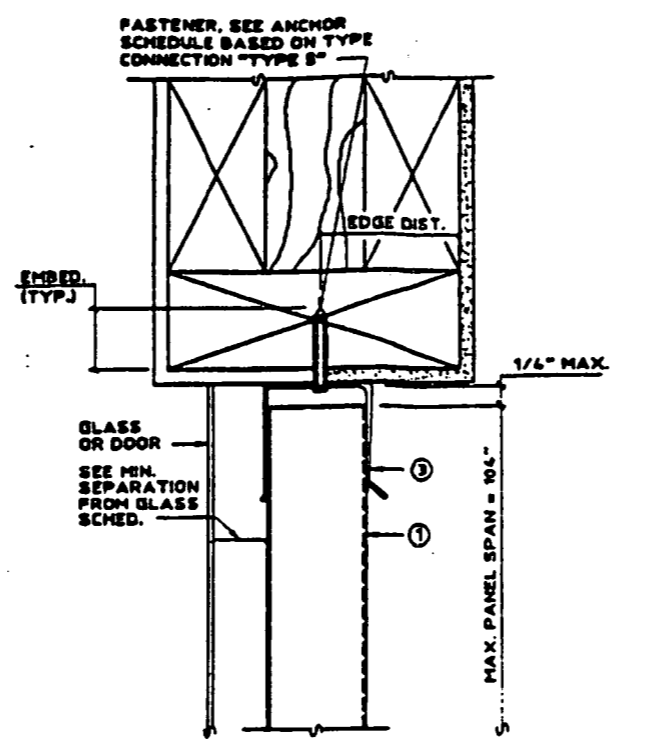
date 2/22/96
 design by VJK checked by VJK
 drawn by GG

drawing no.
 96-110

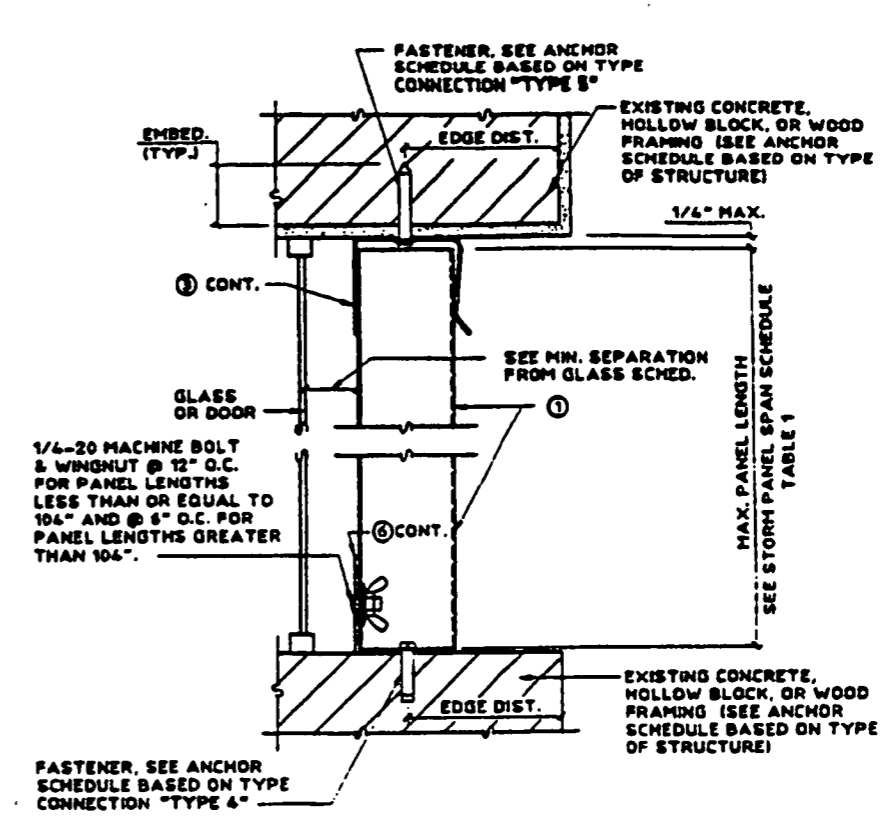
sheet 2 of 7



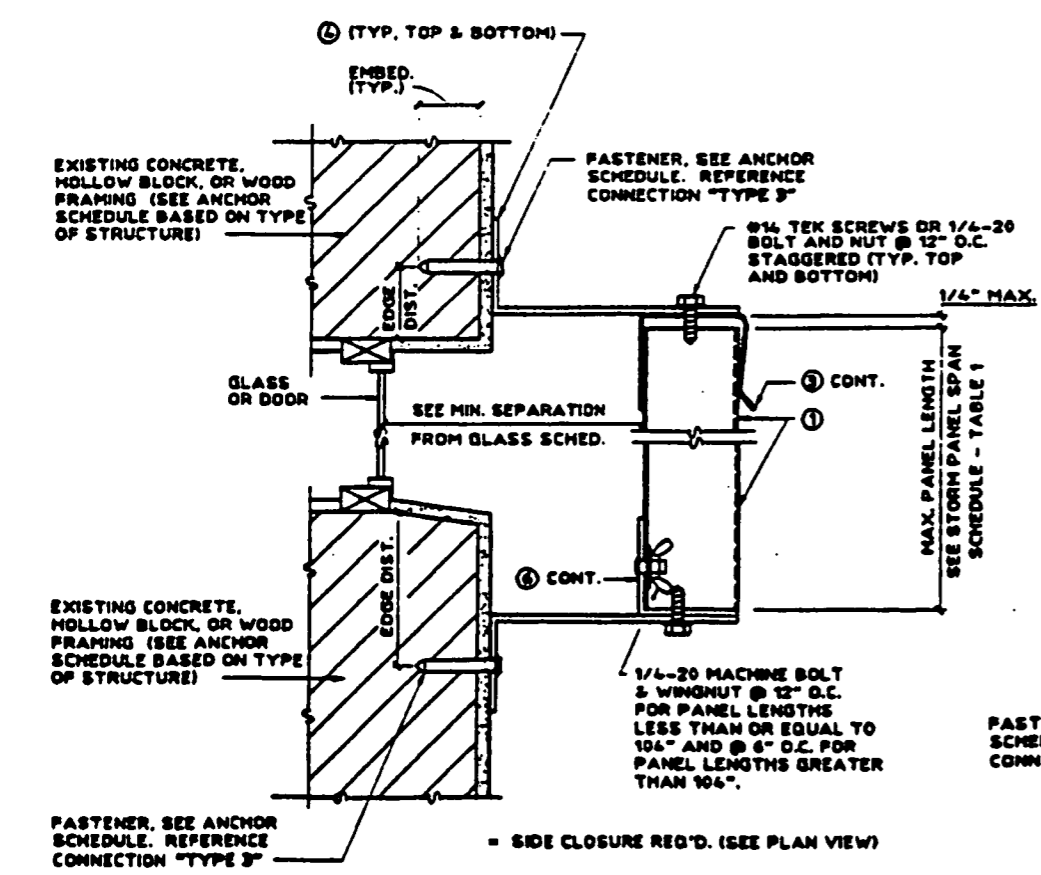
E WALL MOUNT SECTION
 SCALE: 3" = 1'-0"



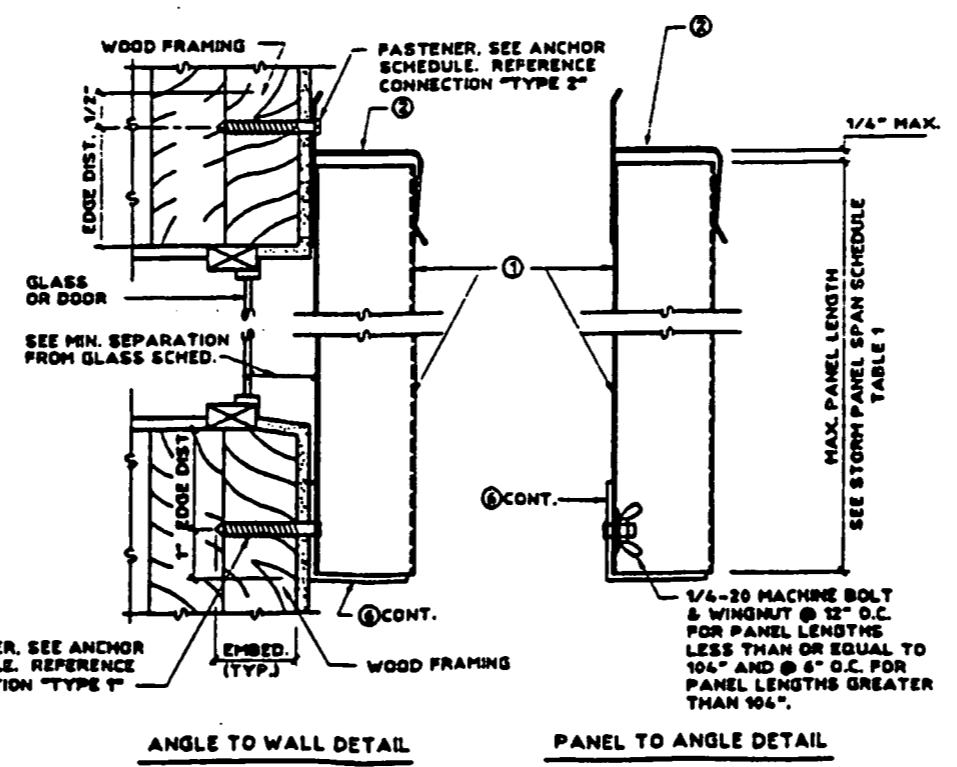
F WOOD CEILING/ INSIDE MOUNT SECTION
 SCALE: 3" = 1'-0"



G CEILING/INSIDE MOUNT SECTION
 SCALE: 3" = 1'-0"

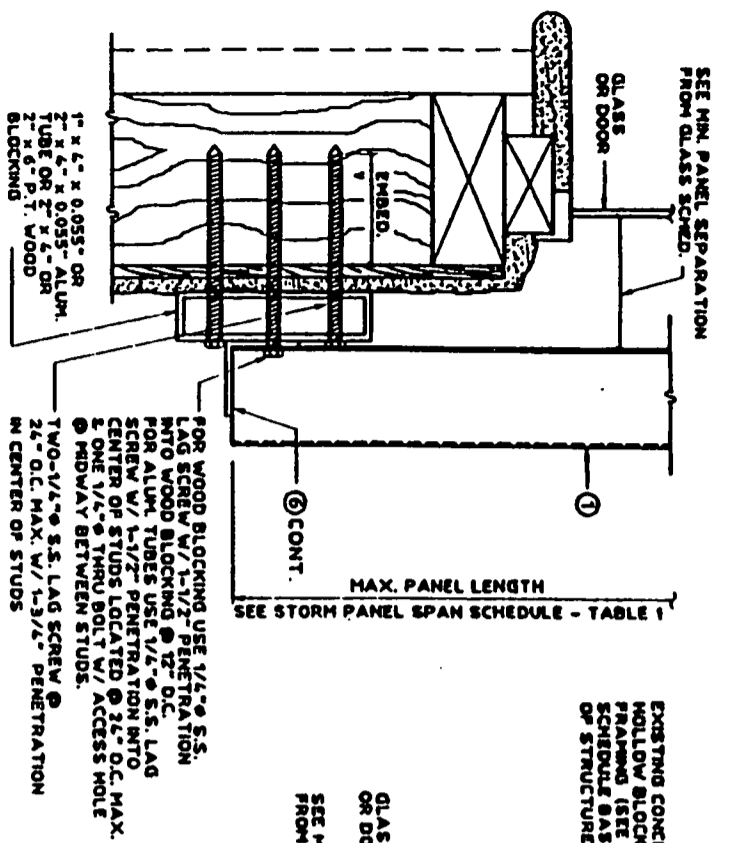


H BUILD-OUT MOUNT SECTION
 SCALE: 3" = 1'-0"

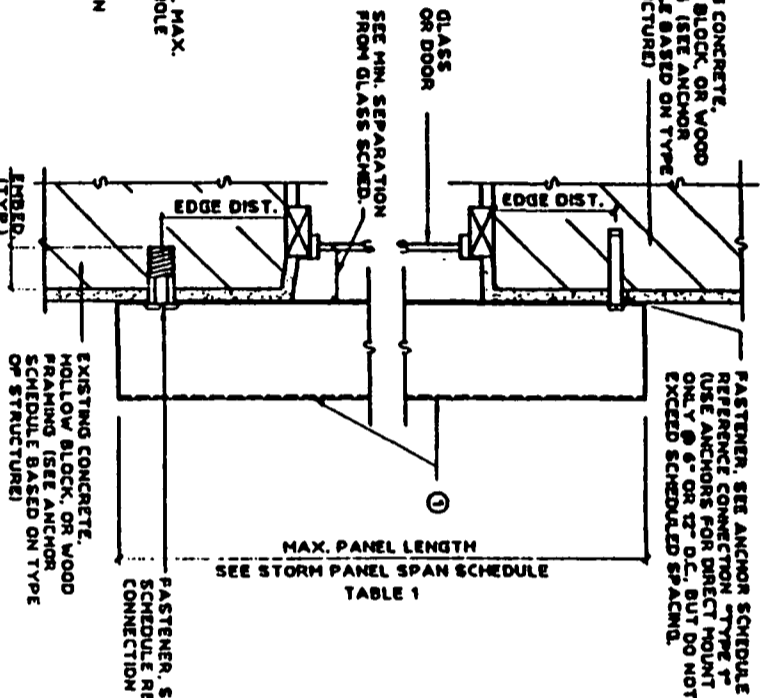


I WALL MOUNT SECTION
 SCALE: 3" = 1'-0"

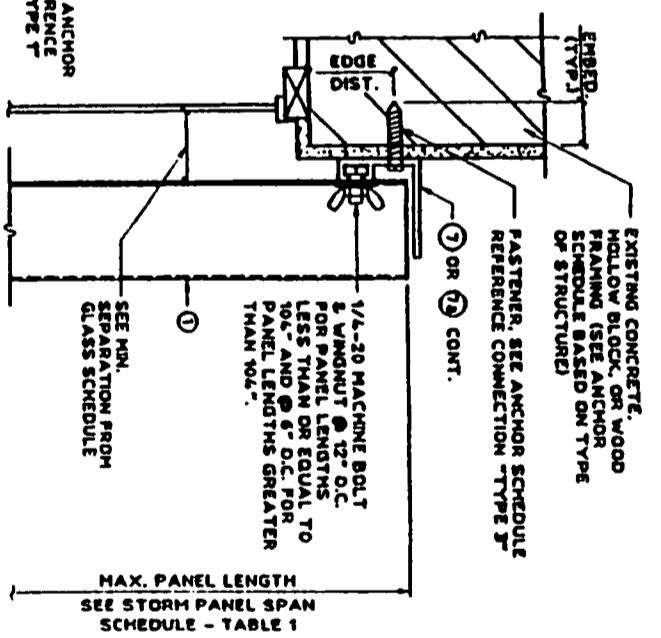
APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE MARCH 13 1997
 BY [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 96-0520.02



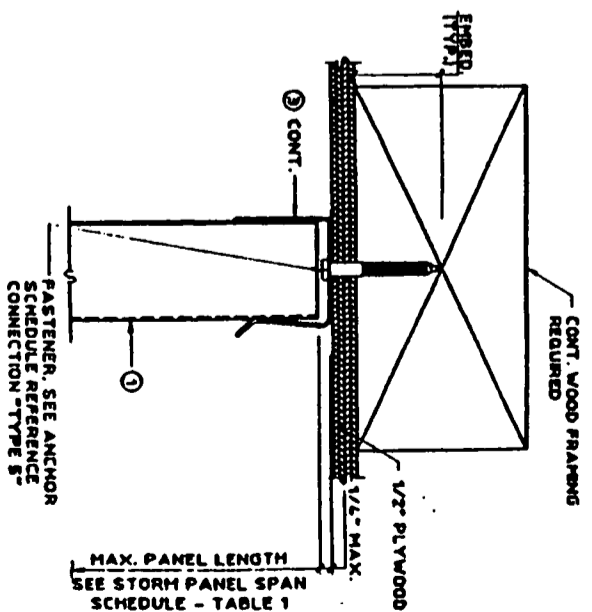
J WALL MOUNT SECTION (BOTTOM)
SCALE: 3" = 1'-0"



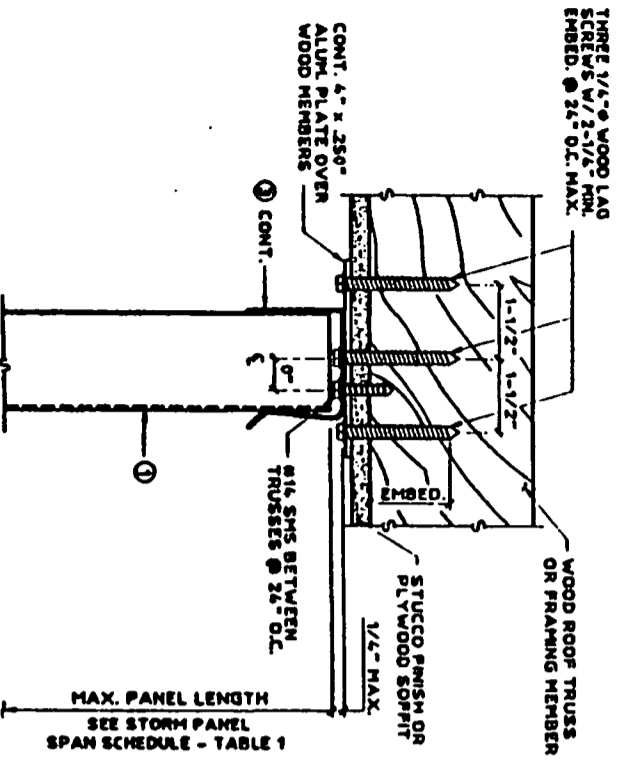
K WALL MOUNT SECTION (DIRECT MOUNT)
SCALE: 3" = 1'-0"



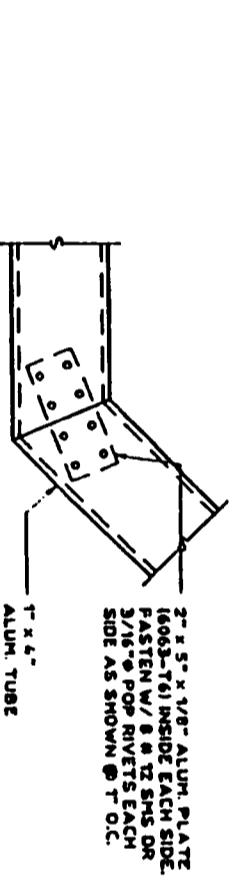
L WALL MOUNT DETAIL
SCALE: 3" = 1'-0"



M SOFFIT CONNECTION DETAIL
SCALE: 3" = 1'-0"



N SOFFIT CONNECTION DETAIL
SCALE: 3" = 1'-0"



O ALT. SOFFIT CONNECTION DETAIL
SCALE: 3" = 1'-0"
(MAX. DESIGN LOAD = 54 P.S.F.)

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE FEB 13 1997
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 96-0520.02

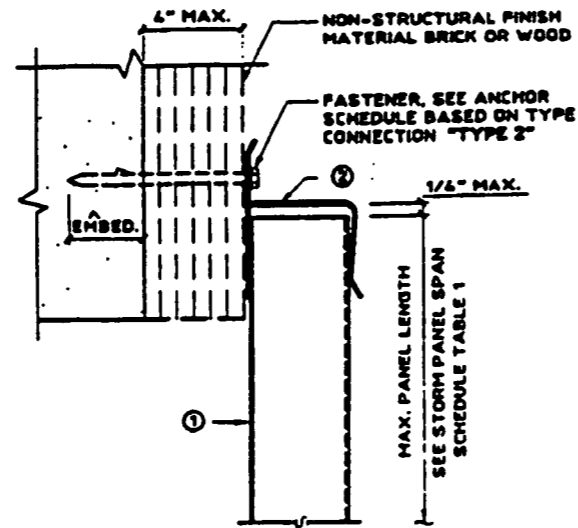


no	date	by	description
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2	1/1/97	JVK	COUNTY COMMENTS
3	2/4/97	JVK	REV. ANCHOR SCHEDULE
4	2/26/97	JVK	REV. ANCHOR SCHEDULE

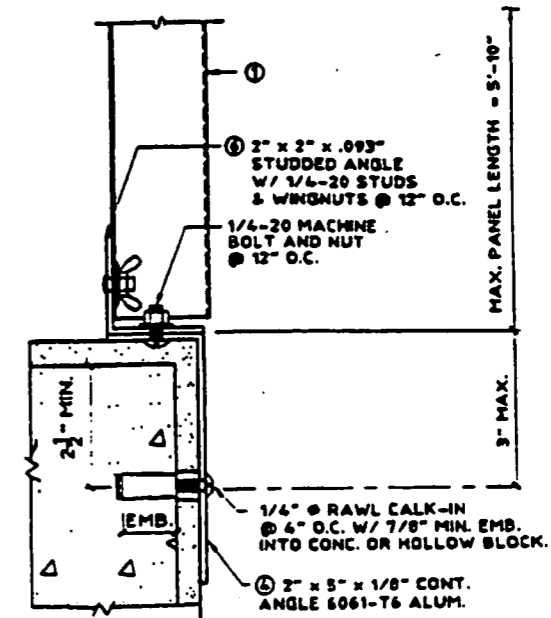
.050" ALUMINUM STORM PANEL
MADDEN MANUFACTURING CO.
1889 N.W. 22 ST.
POMPANO BEACH, FL 33069
(800) 272-2071

KNEZEVICH & ASSOCIATES, INC.
CONSULTING ENGINEERS & PRODUCT TESTING
641 MOKENA DRIVE
POMPA SPRINGS, FL 33166
PHONE: (305) 883-9571
FAX: (305) 883-9572
2701 W. OAKLAND PK. BLVD.
SUITE 240
FT. LAUDERDALE, FL 33311
PHONE: (954) 677-9500
COPYRIGHT 1997 KNEZEVICH & ASSOCIATES, INC.

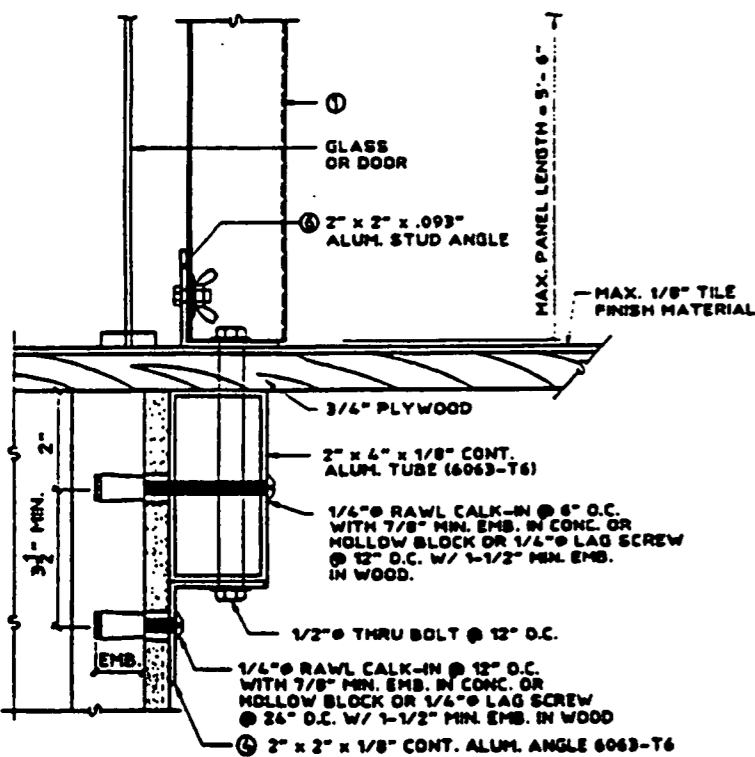




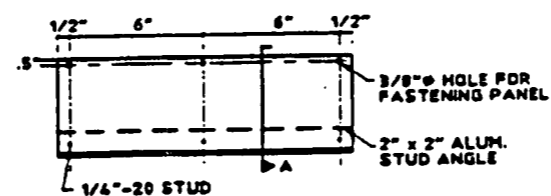
R WALL MOUNT
SCALE: 3" = 1'-0"



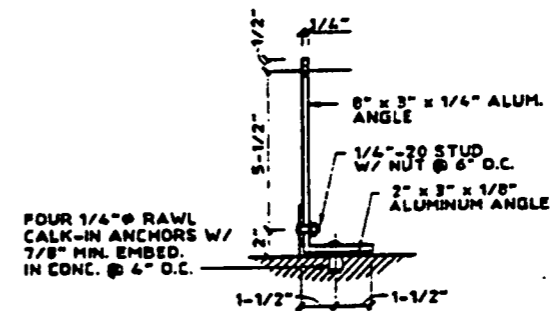
T EDGE MOUNT DETAIL
SCALE: 3" = 1'-0"



U \"PASS THRU\" DETAIL
SCALE: 3" = 1'-0"



V ALT. CORNER DETAIL
SCALE: 3" = 1'-0"



W STORM PANEL INTERIOR FASTENING (ISOMETRIC)
SCALE: 3" = 1'-0"

NOTES: THIS DETAIL MAY BE USED AT TOP OR BOTTOM OF PANEL.
(MAX. DESIGN LOAD = 72 PSF)

INTERIOR FASTENING ANGLE ASSEMBLY
SCALE: 1-1/2" = 1'-0"

INTERIOR FASTENING ANGLE ASSEMBLY
SCALE: N.T.S.



KNEZEVICH & ASSOCIATES, INC.
CONSULTING ENGINEERS & PRODUCT TESTING
641 HOKENA DRIVE
MIAMI SPRINGS, FL 33166
PHONE: (305) 893-9571
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2701 W. OAKLAND PK. BLVD.
SUITE 240
FT. LAUDERDALE, FL 33311
PHONE: (954) 677-9500
COPYRIGHT 1997 KNEZEVICH & ASSOCIATES, INC.

.050\"/>

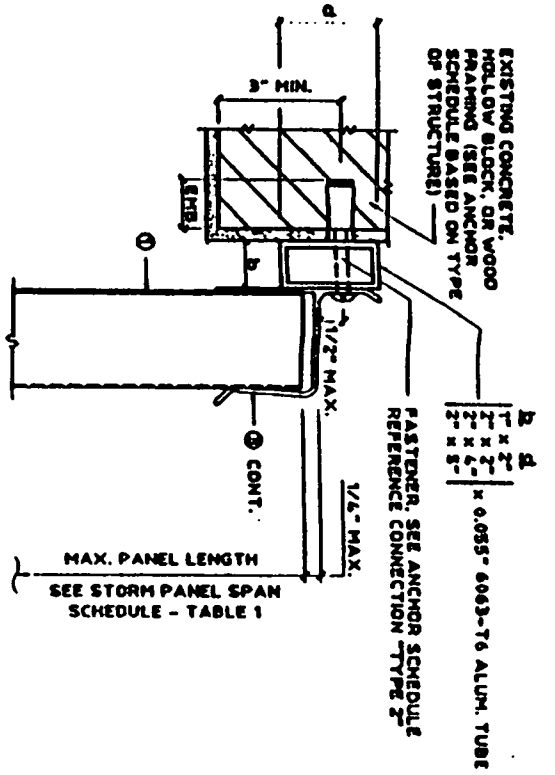
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	2	11/17/97	COUNTY COMMENTS
	3	2/14/97	REV. ANCHOR SCHEDULE
	4	2/24/97	REV. ANCHOR SCHEDULE

V.J. KNEZEVICH
PROFESSIONAL ENGINEER
FL License No:
PE 0010983

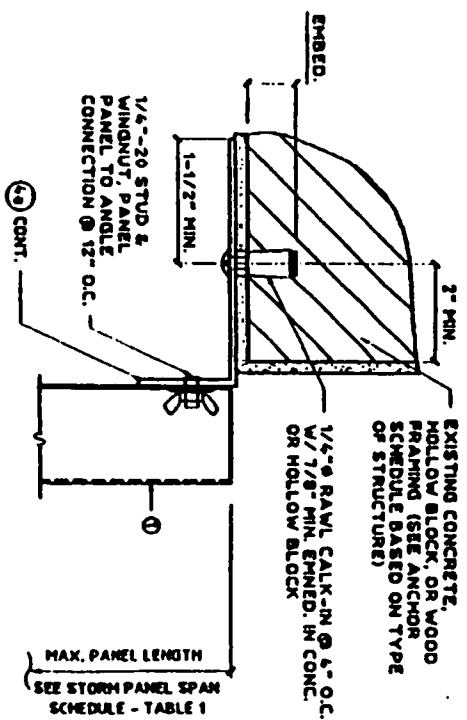
FEB 26 1997

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
DATE MARCH 13, 1997
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 96-0520.02

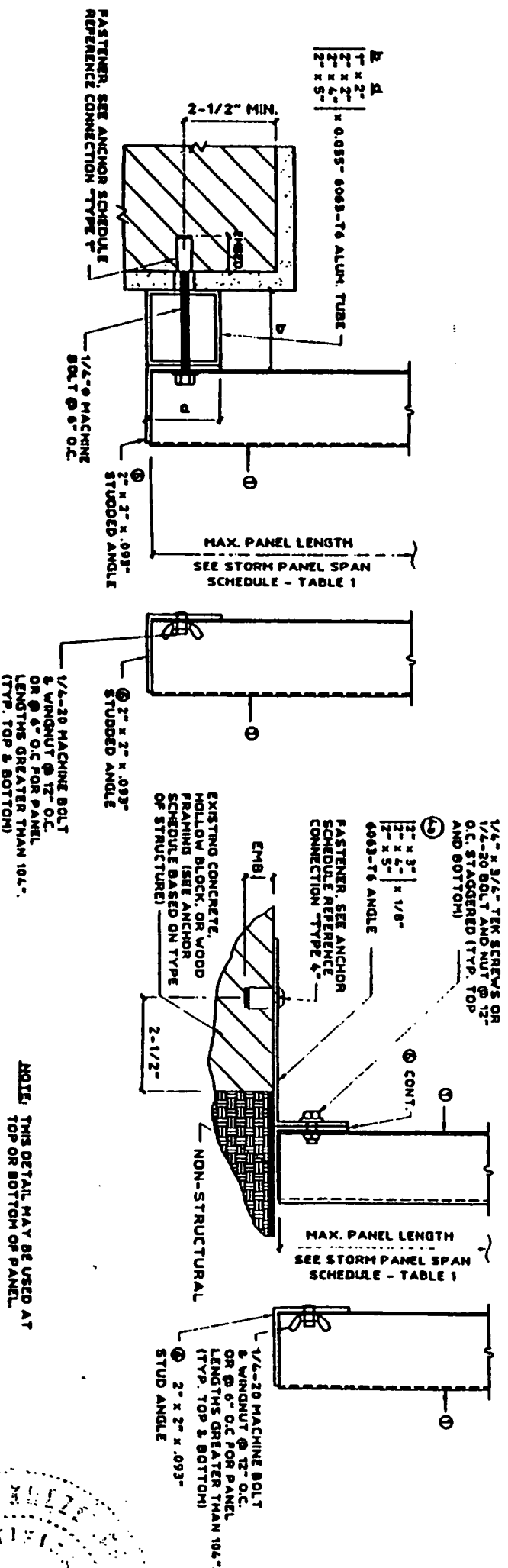
date	4/2/96
base	AS NOTED
drawn by	GD
design by	VJK
checked by	VJK
drawing no.	96-110
sheet	4 of 7



① HEADER MOUNT DETAIL
SCALE: 3" = 1'-0"



② ALT. TRAP MOUNT DETAIL
SCALE: 3" = 1'-0"



NOTE: THIS DETAIL MAY BE USED AT TOP OR BOTTOM OF PANEL.

NOTE: THIS DETAIL MAY BE USED AT TOP OR BOTTOM OF PANEL.

③ 2" x 2" ALUM. TUBE BUILD-OUT
SCALE: 3" = 1'-0"

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
DATE: 13 / 19 / 97
BY: [Signature]
PRODUCT CONTROL DIVISION

④ STORM PANEL BUILD-OUT
SCALE: 3" = 1'-0"



no.	date	by	description
1	10/24/96	REV	GENERAL REVISION
2	1/9/97	JW	COUNTY COMMENTS
3	2/4/97	JW	REV. ANCHOR SCHEDULE
4	2/26/97	JW	REV. ANCHOR SCHEDULE

.050" ALUMINUM STORM PANEL
MADDEN MANUFACTURING CO.
1889 N.W. 22 ST.
POMPAHO BEACH, FL 33069
(800) 272-2071

KNEZEVICH & ASSOCIATES, INC.
CONSULTING ENGINEERS & PRODUCT TESTING
641 HOKENA DRIVE MIAMI SPRINGS, FL 33166
PHONE: (305) 883-9571
FAX: (305) 883-9572
2701 W. OAKLAND PK. BLVD. SUITE 240 FT. LAUDERDALE, FL 33311
PHONE: (954) 677-9500
COPYRIGHT 1997 KNEZEVICH & ASSOCIATES, INC.



date: 2/26/97
FEB 26 1997
FL License No. PE 061983
AS NOTED
DESIGN BY: VJK
CHECKED BY: VJK
DRAWING NO. 96-110
SHEET 5 OF 7



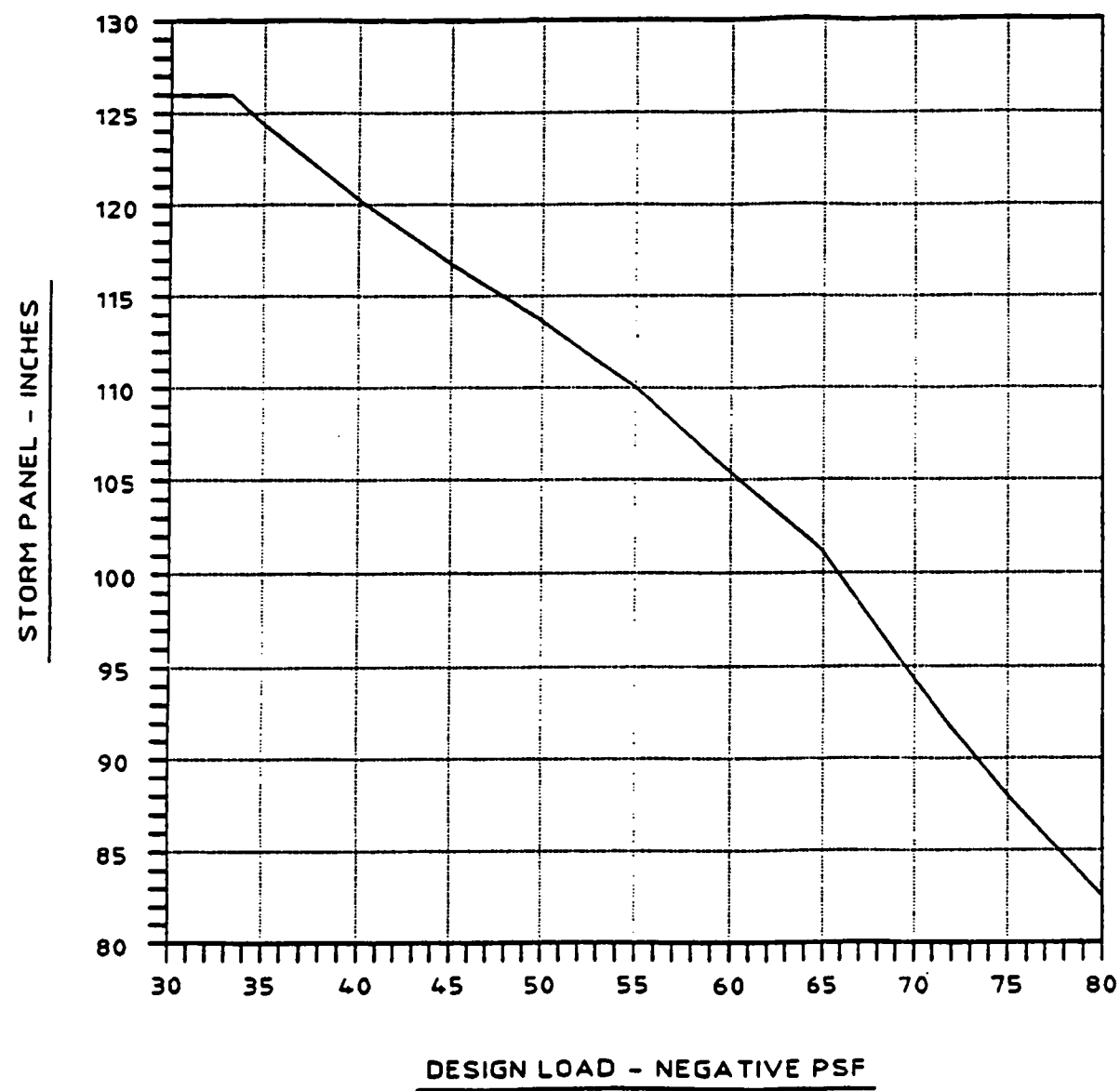
KNEZEVICH & ASSOCIATES, INC.
 CONSULTING ENGINEERS & PRODUCT TESTING
 641 WOKENA DRIVE SUITE 240
 MAAMI SPRINGS, FL 33166
 PHONE: (305) 883-9571
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.050" ALUMINUM STORM PANEL
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 1889 N.W. 22 ST.
 POMPANO BEACH, FL 33369
 (800) 272-2071

no.	date	by	description
1	1/22/96	JVK	GENERAL REVISION
2	1/29/97	JVK	COUNTY COMMENTS
3	2/1/97	JVK	REV. ANCHOR SCHEDULE
4	2/26/97	JVK	REV. ANCHOR SCHEDULE

V.J. KNEZEVICH
 PROFESSIONAL ENGINEER
 FL License No:
 PE 0070983
FEB 26 1997
 date 4/23/96
 AS NOTED
 design by VJK checked by VJK
 drawing no.
96-110
 sheet 7 of 7

PANEL SPAN-DESIGN LOAD DIAGRAM



STORM PANEL SPAN SCHEDULE

NEGATIVE DESIGN LOAD W (PSF)	FOR ALL MOUNTING CONDITIONS L min. (FT-IN)
30.0	10 - 6
35.0	10 - 4
40.0	10 - 0
45.0	9 - 8
50.0	9 - 5
55.0	9 - 2
60.0	8 - 9
62.0	8 - 7
65.0	8 - 5
70.0	7 - 10
72.0	7 - 7
75.0	7 - 3
80.0	6 - 10
90.0	6 - 1
100.0	5 - 6
110.0	5 - 0
120.0	4 - 7
130.0	4 - 2
140.0	3 - 11
150.0	3 - 8
160.0	3 - 5
170.0	3 - 2
180.0	3 - 0
190.0	2 - 10
200.0	2 - 9

MIN. SEPARATION FROM GLASS SCHEDULE

POSITIVE DESIGN LOAD (W) (PSF)	ACTUAL SHUTTER SPAN (FT - IN)	MINIMUM SEPARATION FOR INSTALLATIONS 30' OR LESS ABOVE GRADE (INCHES)		MINIMUM SEPARATION FOR INSTALLATIONS GREATER THAN 30' ABOVE GRADE (INCHES)
		BAR	NO BAR	NO BAR
30.0	3 - 0	2	3	1-1/8
	4 - 0	2	3	1-1/4
	5 - 0	2	3	1-1/4
	7 - 0	2	3	1-1/2
	8 - 8	2-1/8	3	2-1/8
	10 - 6	3-3/4	3-3/4	3-3/8
40.0	3 - 0	2	3	1-1/8
	4 - 0	2	3	1-1/4
	5 - 0	2	3	1-3/8
	7 - 0	2	3	1-5/8
	8 - 8	2-1/2	3	2-1/2
	10 - 0	3-3/4	3-3/4	3-1/2
50.0	3 - 0	2	3	1-1/8
	4 - 0	2	3	1-1/4
	5 - 0	2	3	1-3/8
	7 - 0	2	3	1-3/4
	8 - 8	2-3/4	3	2-3/4
	9 - 5	3-3/4	3-3/4	3-5/8
60.0	3 - 0	2	3	1-1/8
	4 - 0	2	3	1-1/4
	5 - 0	2	3	1-3/8
	7 - 0	2	3	1-7/8
	8 - 8	3	3	3
	9 - 0	3-3/4	3-3/4	3-1/4
70.0	3 - 0	2	3	1-1/8
	4 - 0	2	3	1-1/4
	5 - 0	2	3	1-3/8
	6 - 0	2	3	1-7/8
	7 - 0	3	3	3
	8 - 8	3-3/4	3-3/4	3

- NOTES:**
- ENTER TABLE 1 WITH NEGATIVE DESIGN LOAD TO DETERMINE MAX. PANEL SPAN. POSITIVE LOADS LESS THAN OR EQUAL TO THE NEGATIVE LOAD ARE ACCEPTABLE.
 - ENTER TABLE 2 WITH POSITIVE DESIGN LOAD TO DETERMINE MIN. SEPARATION FROM GLASS.
 - FOR DESIGN LOADS BETWEEN TABULATED VALUES, USE NEXT HIGHER LOAD OR LINEAR INTERPOLATION MAY BE USED TO DETERMINE ALLOWABLE SPANS.
 - PANEL SPAN - DESIGN LOAD DIAGRAM MAY BE USED FOR INTERPOLATION OF PANEL SPANS AT A GIVEN LOAD.

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE MARCH 13 1997
 BY [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 96-0520.02

7408

DOCK REPAIR

INTERDEPARTMENTAL REFERRAL


7408

To:

Building Dept. Maintenance Dept. Police Dept. Other

Date: 3/10 Time: 4:00 Location: 3 LAGOON ISLAND

Nature of Problem: SEE TINA
- TCBI - NO DOCK PERMIT

Observed By:  KIECHANOWSKI

Action Taken: POST A "STOP WORK ORDER"

STOP WORK ORDER

DATE: 3/11/05

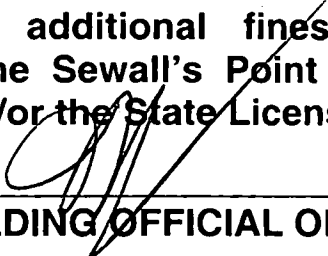
ADDRESS: 3 CABOON IS

OWNER/CONTRACTOR is hereby notified to **STOP WORK** immediately upon reading this notice.

The work described below requires a permit:

DOCK REPAIR

Continued work from the date of this notice will constitute additional fines and prosecution through the Sewall's Point Code Enforcement Board and/or the State Licensing Board.



BUILDING OFFICIAL OR INSPECTOR

**DO NOT REMOVE THIS NOTICE
UNTIL PERMIT IS OBTAINED!**

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 3/18/05

BUILDING PERMIT NO. 7408

Building to be erected for FARLEY

Type of Permit DOCK REPAIR

Applied for by TCBI

(Contractor)

Building Fee 240.00

Subdivision PLANATION Lot 11 Block _____

Radon Fee 1

Address 3 NE LAGOON ISLAND CT

Impact Fee _____

Type of structure DOCK

A/C Fee _____

Parcel Control Number:

Electrical Fee _____

Plumbing Fee _____

2637410/30000011030000

Roofing Fee 24.00

Amount Paid 528.00 Check # 2647 Cash _____

Other Fees 10% PLAN REVIEW 24.00
PLUMBING 264.00
(WORK UP PERMIT) 528.00

Total Construction Cost \$ 19,000.

TOTAL Fees 528.00

Signed [Signature]
Applicant

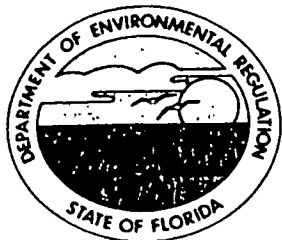
Signed [Signature]
Town Building Official

PERMIT

- | | | |
|--|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input checked="" type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |



Florida Department of Environmental Regulation

Southeast District Branch Office • 2745 S.E. Morningside Blvd. • Port St. Lucie, FL 34952 • 407-878-3890/335-4310

Bob Martinez, Governor

Dale Twachtmann, Secretary

John Shearer, Assistant Secretary
Scott Benyon, Deputy Assistant Secretary

MAR 26 1990

John Bourassa
c/o PLANDEV, Inc.
957 Central Parkway
Stuart, Florida 34994

WRM - Martin County

Dear Mr. Bourassa:

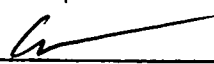
This is to acknowledge receipt of your application, file number 431724548, for a permit to:

Construct a 968 square foot dock consisting of a 120' by 6' access pier terminating in a 31' by 8' T-platform. This project is to be located at Lot 11 of Plantation at Sewall's Point, Class III waters, St. Lucie River, Section 26, Township 37 South, Range 41 East, Sewalls Point, Martin County.

At this time no permit is required for your project by this Department. Any modifications in your plans should be submitted for review, as changes may result in permits being required. This letter does not relieve you from the need to obtain any other permits (local, state or federal) which may be required. This project, as proposed, is exempt from permitting pursuant to 403.813(2)(b), Florida Statutes, in accordance with the three (3) attached stamped drawings.

A copy of your application has also been sent to the Department of Natural Resources for review. Consent of use of State owned lands may be required from the Department of Natural Resources prior to construction. For further information, you may contact Mr. Don Keirn at (407) 967-6057.

If you have any questions, please contact Brad Rieck of this office. When referring to this project, please use the file number indicated.

<p>FILE COPY</p> <p>TOWN OF SEWALL'S POINT</p> <p>THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE</p> <p>DATE: <u>3/16/05</u></p> <p></p> <p>BUILDING OFFICIAL Gene Simmons</p>

Sincerely,

Tom Franklin

Tom Franklin
Supervisor
Wetlands Resource Management

TF:brt/37

cc: Army Corps of Engineers, Miami
Don Keirn, D.N.R.
Marine Construction, Inc.

**REPAIR WORK FOR
HURRICANE DAMAGE**



DEPARTMENT OF THE ARMY
MIAMI FIELD OFFICE, 8410 NW 53RD TERRACE MONTEREY BLDG., SUITE 225
MIAMI, FLORIDA 33166-4565

1 July 1990

REPLY TO
ATTENTION OF

Regulatory Section
Miami
90GP30094

John Bourassa
C/O ASLAN Inc.
P. O. Box 1500
Stuart, Florida 34995

Dear Mr. Bourassa:

RE: access ramp 120'X6' with a platform
31' X 8', Lot 11, Martin County.

Reference is made to your request for a Department of the Army permit.

The project as proposed is authorized by General Permit 20, a copy of which is enclosed for your information and use. You are authorized to proceed with the project in accordance with the enclosed drawings subject to all conditions of the permit.

This letter of authorization does not obviate the necessity to obtain any other Federal, State, or local permits which may be required.

It appears that a permit from the Florida Department of Environmental Regulation may be required. A list of addresses of the appropriate State offices is enclosed for your information and use.

Thank you for your cooperation with our permit program.

Sincerely,

A handwritten signature in cursive script that reads "Charles A. Schnepel".

Charles A. Schnepel
Chief, Regulatory Section

DEPARTMENT OF ENVIRONMENTAL REGULATION

Bureau of Permitting
2600 Blair Stone Road
Tallahassee, FL 32301
904 488 0130

NORTHWEST DISTRICT

Dredge & Fill Supervisor
168 Governmental Center
Panama City, FL 32401
904 438-6380

NORTHEAST DISTRICT

Dredge & Fill Supervisor
3426 Billie Blvd
Jacksonville, FL 32207
904 396 0359

State of Florida
DEPARTMENT OF ENVIRONMENTAL REGULATION

**DREDGE & FILL
PERMITTING OFFICES**

SOUTHWEST DISTRICT

Dredge & Fill Supervisor
7601 Highway 301 North
Tempe, FL 33610
813-988-7402

**SOUTH FLORIDA DIST.
BRANCH OFFICE**

Dredge & Fill Supervisor
3201 Golf Course Blvd.
Punta Gorda, FL 33960
813-638-4987

**ST. JOHNS RIVER
DISTRICT**

Dredge & Fill Supervisor
3319 Maguire Blvd., Suite 232
Orlando, FL 32803
306 423 6380

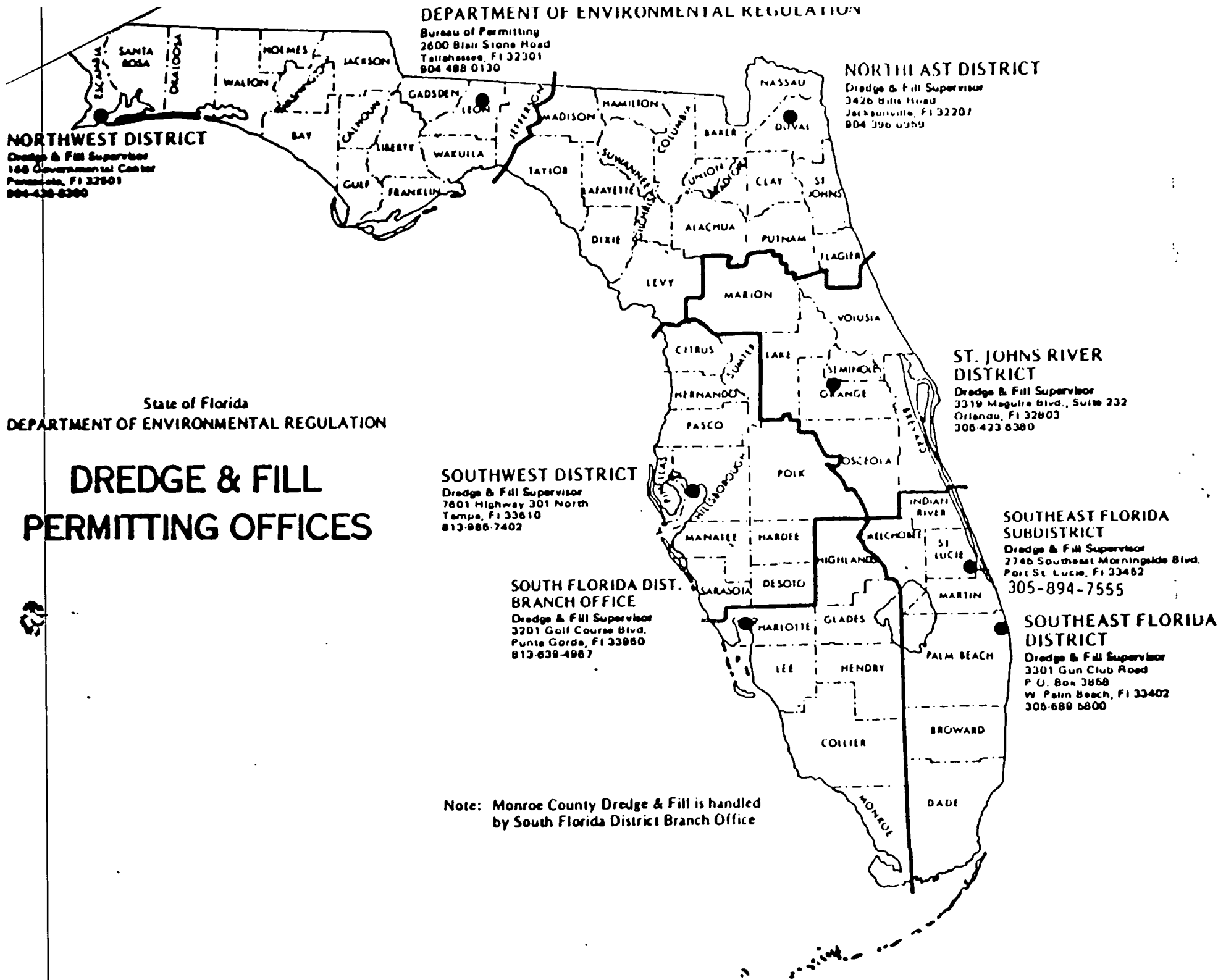
**SOUTHEAST FLORIDA
SUBDISTRICT**

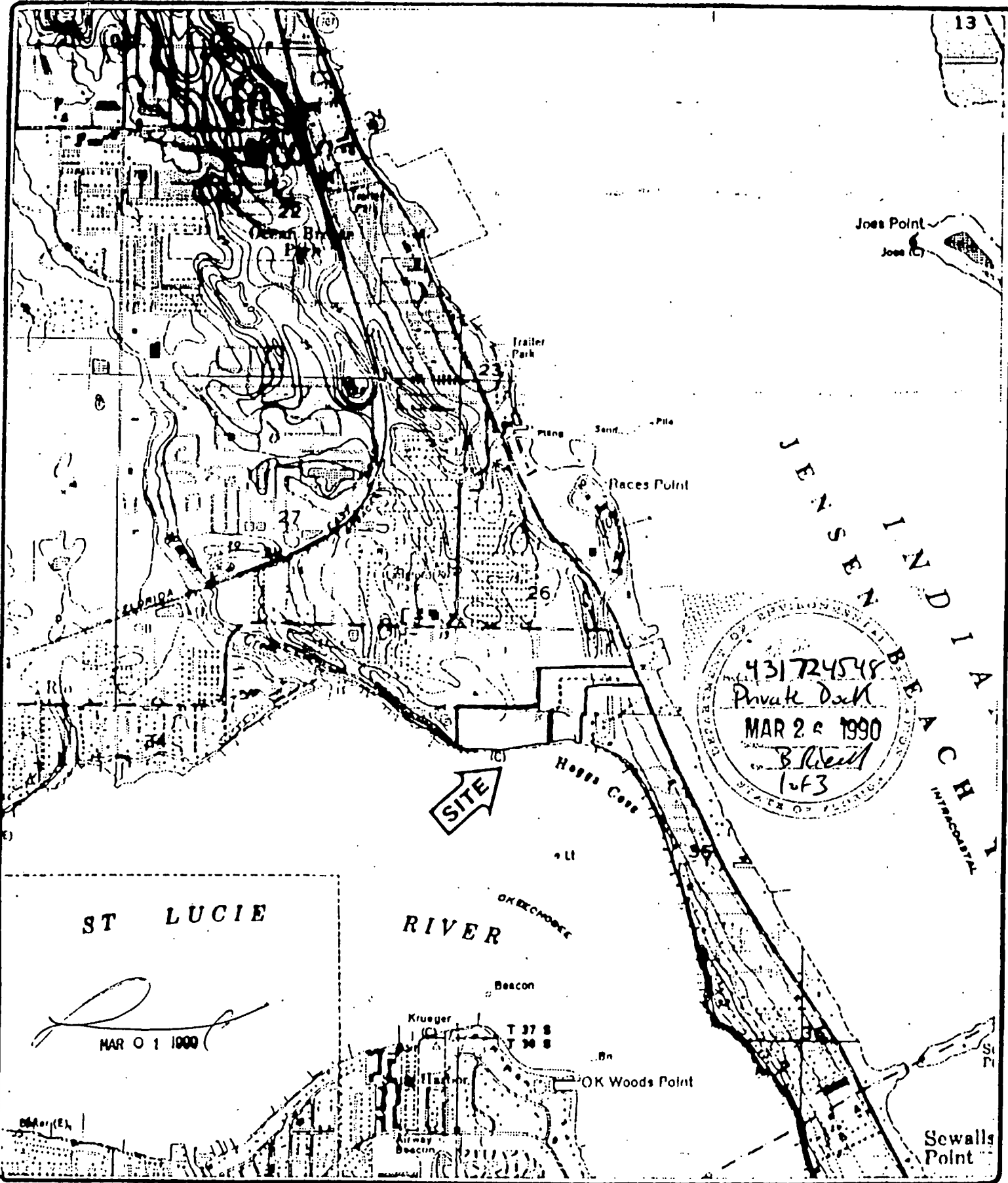
Dredge & Fill Supervisor
2746 Southeast Morningside Blvd.
Port St. Lucie, FL 33462
305-894-7555

**SOUTHEAST FLORIDA
DISTRICT**

Dredge & Fill Supervisor
3301 Gun Club Road
P. O. Box 3858
W. Palm Beach, FL 33402
305-680 6800

Note: Monroe County Dredge & Fill is handled
by South Florida District Branch Office





431724548
 Private Deck
 MAR 22 1990
 B. Reed
 lot 3

ST LUCIE RIVER

SITE

MAR 01 1990



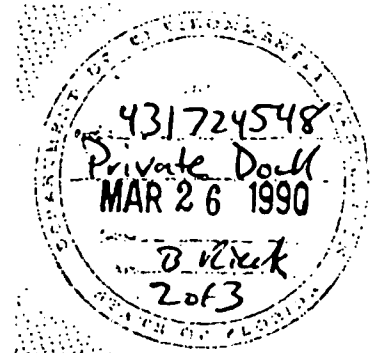
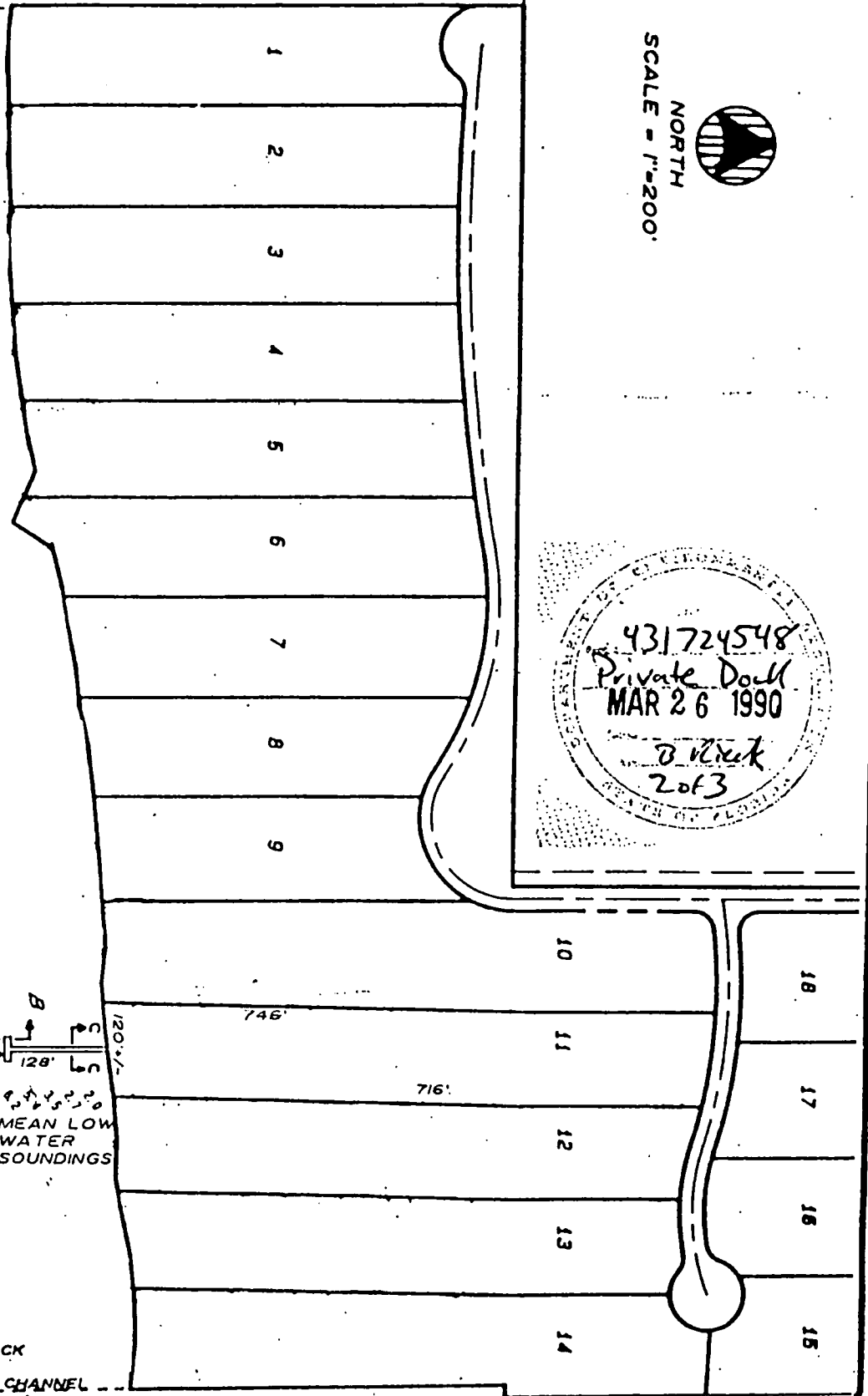
PLANDEV INC
 ENGINEERS-PLANNERS-SURVEYORS
 957 CENTRAL PARKWAY
 STUART, FL 34994 407-206-2020

Prepared For: PLANTATION of SEWALL'S PT.

Drawn By: TPS
 Date: FEBRUARY 6, 90 SHEET of
 Job No.: 288-01-19

APPROX. RIPARIAN LINE & SET-BACK
PER TOWN OF SEWALL'S POINT

NORTH
SCALE = 1"=200'



ST. LUCIE RIVER
(OKEECHOBEE
WATERWAY)

FLOOD
288
MAR 07 1990

6' x 3' TYPICAL
TERMINAL
PLATFORM
MEAN LOW
WATER
SOUNDINGS
128' +/-
120' +/-
746'
716'

APPROX. RIPARIAN LINE & SET-BACK
PER TOWN OF SEWALL'S POINT
1,800' +/- TO OKEECHOBEE WATERWAY CHANNEL



PLANDEV Inc
ENGINEERS-PLANNERS-SURVEYORS
957 CENTRAL PARKWAY
STUART, FL 34994

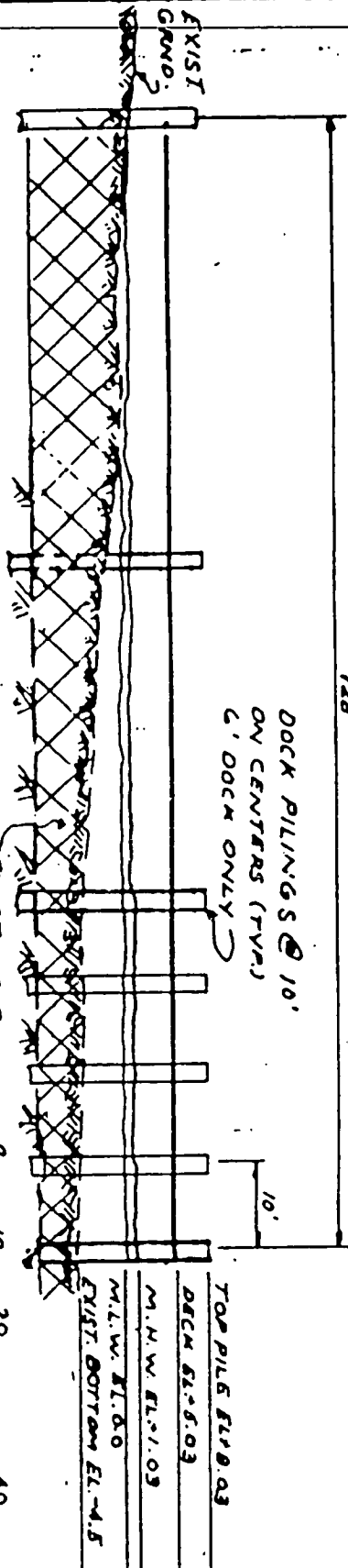
407-286-2020

Prepared For: PLANTATION OF SEWALL'S PT.

Drawn By: IPS
Date: FEBRUARY 5, 90
Job No.: 288-01-19 SHEET 01

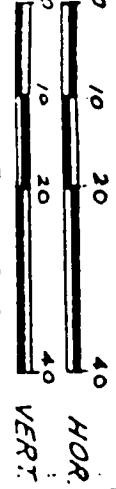
128'

DOCK PILING'S @ 10'
ON CENTERS (TYP.)
C' DOCK ONLY



DOCK ELEVATION

SCALE IN FEET



8'-0"

DECKING
2x8 PT.

2x8 P.T. (TYP.)
2x8 P.T. (TYP.)

2x8 CCA 2.5
CROSS BRACE
(TYP.)

TOP PILE EL. + 8.03

DECK EL. + 5.03

DOUBLE 2x8 PT. STRINGER
THRU-BOLTED W/ 1/2" x 4" GALV.
BOLTS (HOT DIPPED)

M.H.W. EL. + 1.03

M.L.W. EL. - 0.03

5' 8" CCA PILING
(TYP.)

EXIST. BOT. VARIES

Permit Date
MAR 26 1990

LEE BROCK P.E.
FL. CERT. NO. 11218

3/16/90

3/16/90

Permitting Office

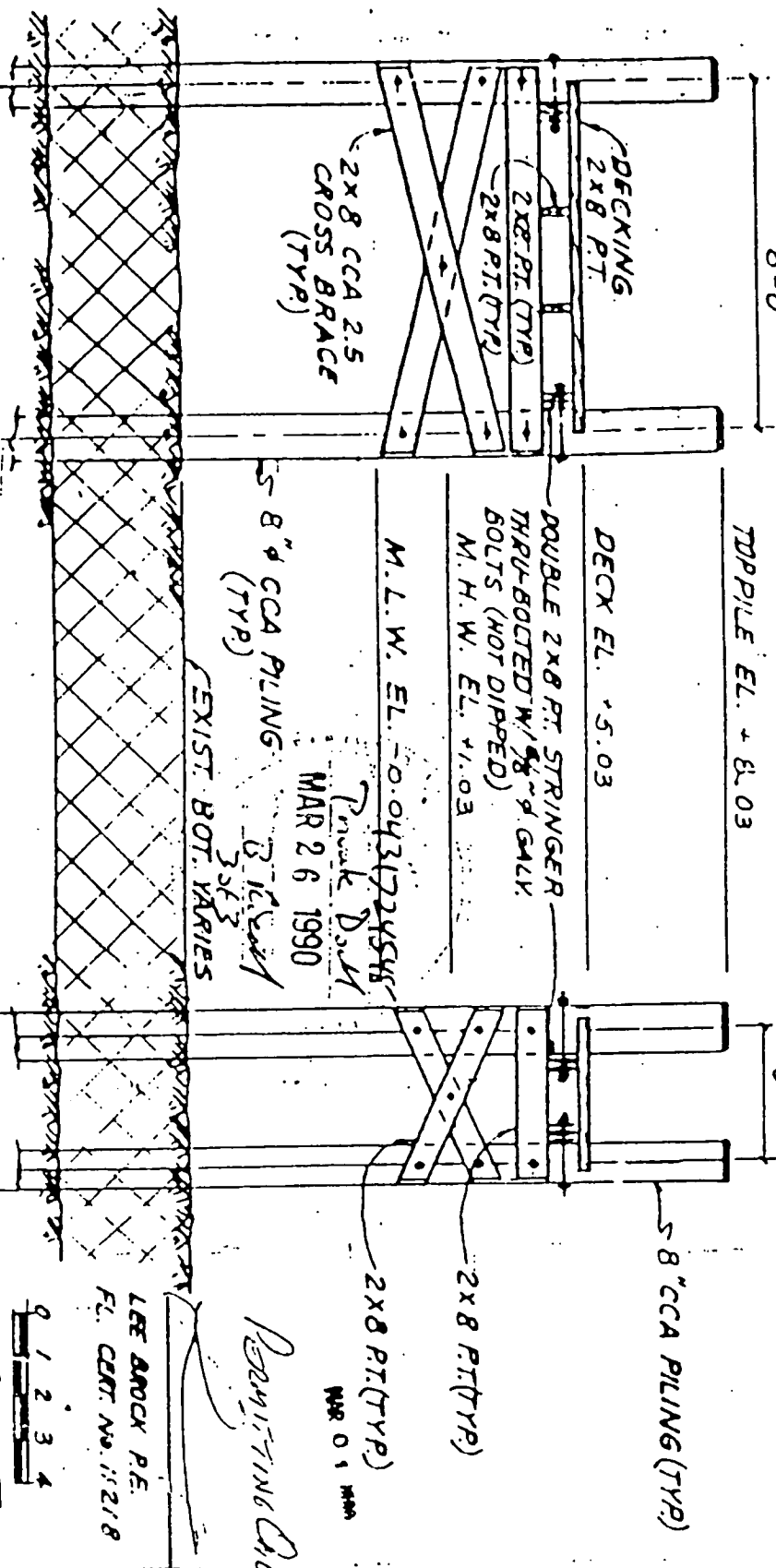
2x8 P.T. (TYP.)

2x8 P.T. (TYP.)

MAR 01 1990

SECT. B-B

1/4" = 1'-0"



SECT. C-C

1/4" = 1'-0"

LEE BROCK P.E.
FL. CERT. NO. 11218

0 1 2 3 4

SCALE IN FEET

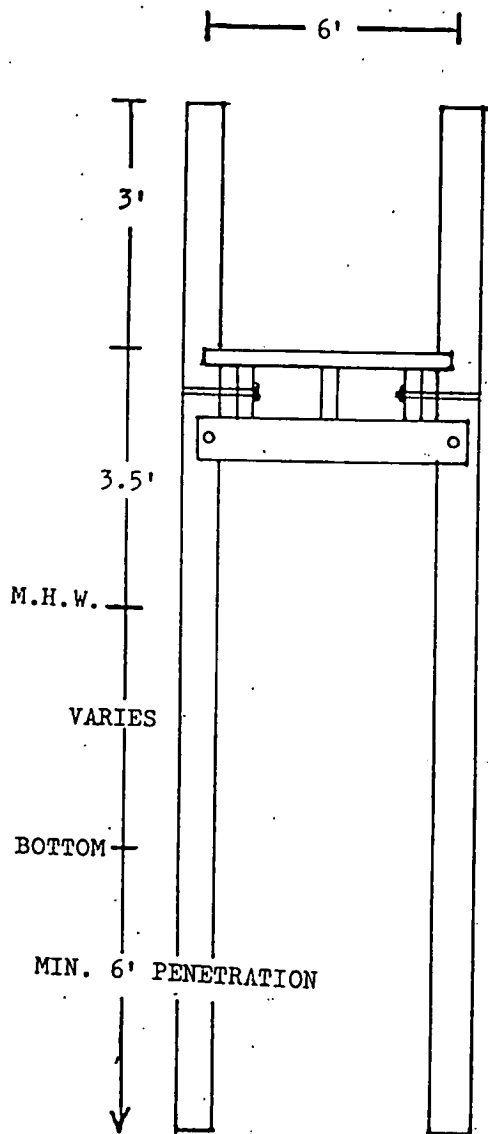


PLANDEV Inc
ENGINEERS-PLANNERS-SURVEYORS
857 CENTRAL PARKWAY
STUART, FL 34994

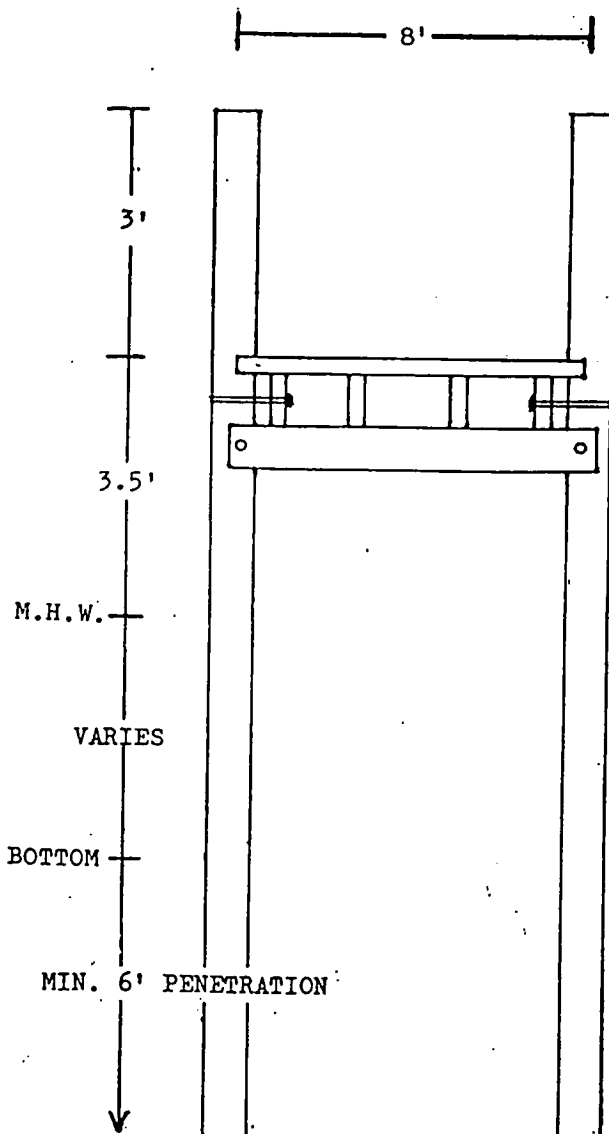
407-286-2020

LOT II
Prepared For: PLANTATION at SEWALL'S PT.

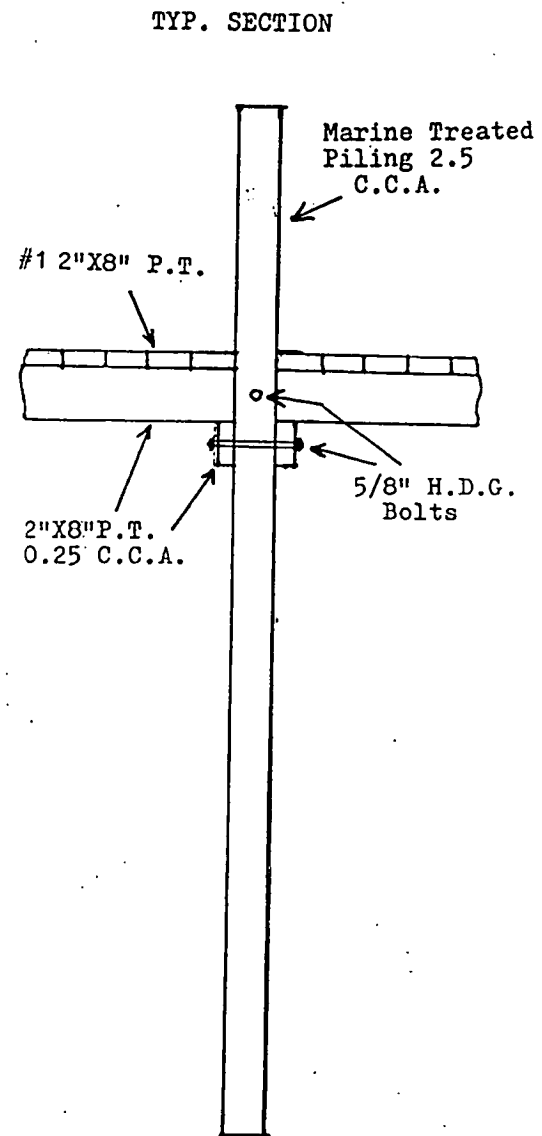
Drawn By: TPS
Date: FEBRUARY 5, 90 SHEET 01
Job No.: 288-01-19



Sect. C.C.



Sect. B.B.



Robert Sandy Construction, Inc.
 3452 N.E. Indian Dike
 Jensen Beach, FL 34957
 407-334-3046

MAR 15 2005

BY:

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 3-

OWNER/TITLEHOLDER NAME: STEVE EARSLEY Phone (Day) 286-8300 (Fax) 286-7897

Job Site Address: 3 N.E. LAGOON ISLAND CT. City: Sewalus Pt. State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) RECREATION LOT 11 Parcel Number: 2637410130000011030000

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: REPAIR DOCK FROM HURRICANE DAMAGE

WILL OWNER BE THE CONTRACTOR?:

YES

NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 19,000⁰⁰
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: TREASURE COAST BARGE INC. Phone: 260-4186 Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

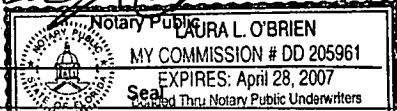
CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Steve Earsley
State of Florida, County of: MARTIN
This the 15th day of MARCH, 2005
by STEPHEN LEADY EARSLEY who is personally known to me or produced FDL E628-72-47-716-0 as identification. 11/16/06

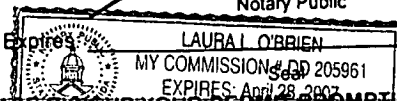
My Commission Expires:



CONTRACTOR SIGNATURE (required)

Natalie Juliano
Michael Guidice
On State of Florida, County of: MARTIN
This the 18th day of MARCH, 2005
by Natalie Juliano who is personally known to me or produced FDL 34996-20-72-6370 as identification. 4/15/06

My Commission Expires:



ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE
03/17/2005

PRODUCER 877-945-7378 Willis North America, Inc. - Regional Cert Center 26 Century Blvd. P. O. Box 305191 Nashville, TN 372305191		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED Bulldog Marine, Inc. 1740 Hudson Bridge Rd Suite 1012 Stockbridge, GA 30281		INSURERS AFFORDING COVERAGE INSURERA: St. Paul Fire & Marine Ins. Co. INSURERB: INSURERC: INSURERD: INSURERE:	NAIC# 24767-001

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Wharfinger's/Stevedor <input checked="" type="checkbox"/> Legal Liability GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PRO.JECT <input type="checkbox"/> LOC	OL06100034	2/1/2005	2/1/2006	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY EA ACC \$ AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS OTHER EL EACH ACCIDENT \$ EL DISEASE - EA EMPLOYEE \$ EL DISEASE - POLICY LIMIT \$
A	OTHER Bums shoot Marine Excess Liability	OX06100013	2/1/2005	2/1/2006	\$1,000,000 Each Occurrence \$1,000,000 Aggregate


DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 Certificate issued with respect to employees subcontracted to T.C.B.I

CERTIFICATE HOLDER

Town of Sewalls Pt.
 1 South Sewalls Pt. Dr.
 Sewalls Pt., FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE


ISSUE DATE
03-17-05

PRODUCER
MARSH ADVANTAGE AMERICA
1560 SAWGRASS CORP PKWY #300
PO BOX 459010
SUNRISE, FL 33345

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY LETTER	A	FWCJUA/ST PAUL TRAVELERS
COMPANY LETTER	B	
COMPANY LETTER	C	
COMPANY LETTER	D	
COMPANY LETTER	E	

BULLDOG MARINE INC
1740 HUDSON BRIDGE RD
SUITE 1012
STOCKBRIDGE, GA 30281

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR <input checked="" type="checkbox"/> OWNER'S & CONTRACTOR'S PROT. <input type="checkbox"/> _____				GENERAL AGGREGATE	\$
					PRODUCTS-COMP/CP AGG.	\$
					PERSONAL & ADV. INJURY	\$
					EACH OCCURRENCE	\$
					FIRE DAMAGE (Any One Fire)	\$
					MED. EXPENSE (Any One Person)	\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> RENTED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY <input type="checkbox"/>				COMBINED SINGLE LIMIT	\$
					BODILY INJURY (Per Person)	\$
					BODILY INJURY (Per Accident)	\$
					PROPERTY DAMAGE	\$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input checked="" type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE	\$
					AGGREGATE	\$
					STATUTORY LIMITS []	
A	WORKERS' COMPENSATION AND EMPLOYER'S LIABILITY The Sole Proprietor/Partner(s)/Executive Officer(s) are	1/R-7236B067-04	10/10/04	10/10/05	EACH ACCIDENT	\$1,000,000
					DISEASE-POLICY LIMIT	\$1,000,000
					DISEASE-EACH EMPLOYEE	\$1,000,000
	OTHER					

Policy endorsed at inception to include US Longshore & Harbor Workers Comp Act

Certificate issued with respect to employees subcontracted to T.C.B.I.

THIS REPLACES ANY PRIOR CERTIFICATE ISSUED TO THE CERTIFICATE HOLDER AFFECTING WORKERS COMP COVERAGE

~~CERTIFICATE HOLDER~~
Town of Sewalls Pt
1 South Sewalls Pt Road
Sewalls Pt, Fl 34996

~~CANCELLED~~
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES

AUTHORIZED REPRESENTATIVE

2004-2005 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

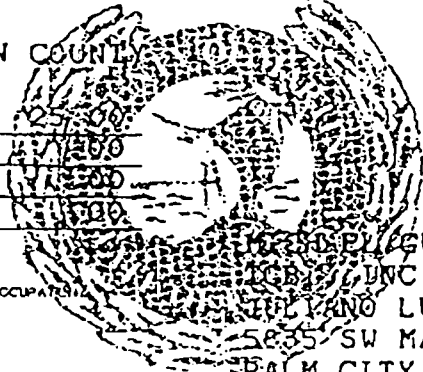
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE 2003-125-030 CERT SP01521
PHONE (722)604-5186 SIC NO 234990

LOCATION:
1200 CUTOFF RD STU

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>0.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>0.00</u>
TOTAL			<u>25.00</u>



MICHAEL J GUIDICE QUALIFIER SP01521
TREASURE COAST BARGE INC.
LUCY - PRES
5835 SW MAPP ROAD
PALM CITY FL 34990

IN ORDER TO BE LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF

MARINE CONSTRUCTION

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

17 DAY OF SEPTEMBER 04
AND ENDING SEPTEMBER 2005

12 04091703 004482



MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency
License: SP01521

Expires September 30, 2004

Name: MICHAEL J GUIDICE JR
Company: TREASURE COAST BARGE INC
Address: 1200 SE Cutoff Rd
City, St: Stuart FL 34994
MARINE CONTRACTOR

T.C.B.I

1200 CUTOFF RD.
STUART, FL 34994
MARINE CONSTRUCTION

Phone 772-220-3625
Fax 772-221-1611

MARCH 19 2004

TOWN OF SEWALLS POINT.

*1 SOUTH SEWALLS PT. DR.
SEWALLS PT FL 34996*

***I MICHAEL GUIDICE QUALIFIER OF T.C.B.I GIVE NATILIE JULIANO PERMISSION
TO SIGN THE SEWALLS PT. PERMIT APPLICATION FOR ME.***

THANK YOU,

A handwritten signature in cursive script that reads "Michael Guidice".

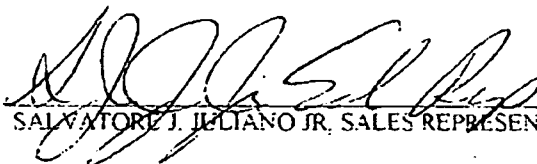
MICHEAL GUIDICE

PAYMENT SCHEDULE: 10% DUE UPON SIGNING, 70% DUE UPON ORDERING MATERIALS, 20% DUE UPON COMPLETION.

ENGINEERING STAMPS & DRAWINGS ARE TO BE BILLED BY BRUCE JERNER OUR DESIGNING ENGINEER. ALL PERMITS ARE NOT INCLUDED. DEP, ARMYCORP, COUNTY, CITY PERMITS. SFWM.

* NOTE: PROJECT WILL NOT COMENCE UNTIL ALL NECESSARY PERMITS ARE OBTAINED. ELECTRIC IS NOT INCLUDED IN PRICE QUOTE. THERE IS AN EXTRA CHARGE FOR PUNCHING THROUGH ROCK OR ANY OTHER OBSTRUCTIONS. ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED. ALL WORK IS TO BE COMPLETED IN A SUBSTANTIAL MANNER ACCORDING TO SPECIFICATIONS SUBMITTED. PER STANDARD PRACTICES.

ANY ALTERATION OR DEVIATION FROM ABOVE SPECIFICATIONS INVOLVING EXTRA COSTS WILL BE EXECUTED ONLY UPON WRITTEN ORDERS AND WILL BECOME AN EXTRA CHARGE OVER AND ABOVE THE ESTIMATE. ALL AGREEMENTS CONTINGENT UPON STRIKES, ACCIDENTS OF DELAYS BEYOND OUR CONTROL, OWNER TO CARRY FIRE, TORNADO, AND OTHER NECESSARY INSURANCE. OUR WORKERS ARE FULLY COVERED BY WORKMEN'S COMPENSATION INSURANCE. ACCEPTANCE OF PROPOSAL. THE ABOVE PRICES, SPECIFICATIONS AND CONDITIONS ARE SATISFACTORY AND ARE HEREBY ACCEPTED. YOU ARE AUTHORIZED TO DO THE WORK AS SPECIFIED. PAYMENT WILL BE MADE AS OUTLINED ABOVE. I AGREE TO PAY ALL REASONABLE ATTORNEY FEES AND COURT COSTS SHOULD IT BECOME NECESSARY FOR T.C.B.I. TO USE LEGAL MEANS TO COLLECT PAYMENT ON THIS CONTRACT. THIS PROPOSAL IS NOT A CONTRACT UNTIL ALL OF THE TERMS ARE MET INCLUDING THE PAYMENT BEING RECEIVED UPON THE SIGNING OF THE CONTRACT AND THE PERMITS ARE OBTAINED. ALL PAST DUE BALANCES WILL BE CHARGED INTEREST 1 1/2 PER MONTH (18% PER ANNUM) . T.C.B.I. IS NOT RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES, WATER PIPES, ELECTRIC CONDUITS, OF TELEPHONE LINES, ETC.


SALVATORE J. IULIANO JR, SALES REPRESENTATIVE

T.C.B.I.

Cell # 263-0876
- Jim -

5835 MAPPLE RD.
MARINE CONSTRUCTION
PALM CITY, FL 34999
USA

Phone 772-209-4186
Fax 772-221-5177

JEVE EARSTY
14 W. Lagoon Island Ct
SPAN FL

336-1300

TW 336-7897

TREASURE COAST BARGE INC. AGREES TO PROVIDE ALL EQUIPMENT LABOR AND MATERIAL TO -
DO THE FOLLOWING:

Dock

- REUSED piling
- Level Boat House
- 100' X 5' ENTRANCE END DECK 8' X 20' 660 SF
- All Decking 2" X 6" P.T. NOSE
- All ~~3" X 2"~~ stringers 3" X 2" P.T.
- All CROSS BUCKS 3" X 2" P.T.
- All FLOORING 1/2" THICK STAINLESS STEEL
- SIDE OF DOCKING "2" P.T. TRIM

10/24/04
 CW 2534
 3/10
 SUPPLY
 # 18,000⁰⁰
 Report # 7,000⁰⁰

PERMIT # _____

TAX FOLIO # 32637410130000011730000

NOTICE OF COMMENCEMENT

STATE OF _____

COUNTY OF _____

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Plantation Lot 11

GENERAL DESCRIPTION OF IMPROVEMENT: REPAIR DOCK FROM HURRICANE DAMAGE

OWNER: STEVE EARSLEY

ADDRESS: 3 N.E. LAGOON ISLAND CT.

PHONE #: 286-8300 FAX #: 286-7897

CONTRACTOR: TREASURE COAST BARGE INC.

ADDRESS: 5835 MAPPLE RD. MARINE CONSTRUCTION PALM CITY, FL 34990

PHONE #: 260-4186 FAX #: _____

SURETY COMPANY (IF ANY) _____

ADDRESS: _____

PHONE #: _____

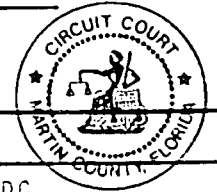
BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____

STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
MARSHA EWING, CLERK
BY: [Signature] D.C.
FAX # _____
DATE 3/15/05



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

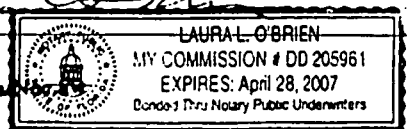
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE

[Signature]
SIGNATURE OF OWNER

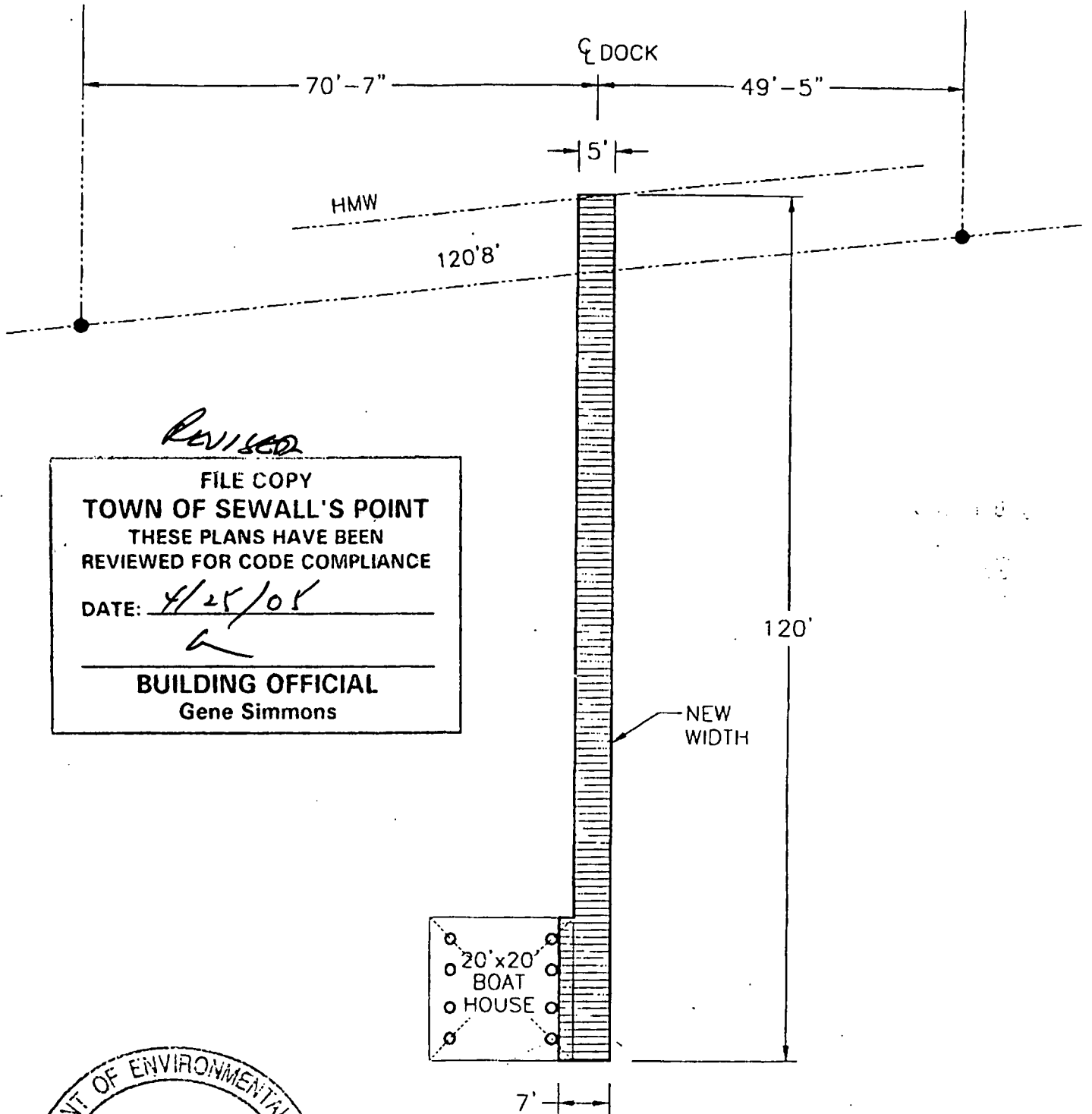
SWORN TO AND SUBSCRIBED BEFORE ME THIS 15th DAY OF MARCH
2005 BY STEPHEN LEROY EARSLEY

OR
PERSONALLY KNOWN
PRODUCED ID EG24-792-47-416-0
TYPE OF ID FLDL 2/11/06

[Signature]
NOTARY SIGNATURE



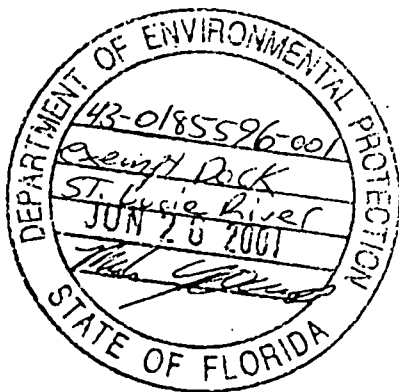
INSTR # 1822222 OF BK 01991 PG 1834 RECD 03/15/2005 11:11:24 AM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L 11/0000



Revised

FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 4/25/05

 BUILDING OFFICIAL
 Gene Simmons



TITLE EARSLEY - NEW DOCK			
DRAWING #		DATE 6/8/01	REV PAGE

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/26, 2008 Page 3 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7084	NAUP 21 N. River Rd O/B	FINAL DOCK	PASS	CLOSE INSPECTOR:
7408	EARLEY BINGHAM BOULEVARD TEASDALE	DOCK REPAIR	PASS	CLOSE INSPECTOR:
7222	BAUSCH 8 HERRIN ST O/B	FINAL DOCK	PASS	CLOSE INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

LAGOON ISLAND

ADDRESS: 3 ~~LAKEWAY~~

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DOCK FINAL

DOCK FOOTPRINT DOES NOT CONFORM
TO APPROVED PLANS SUBMITTED
FOR PERMIT.

THERE ARE MOORING PILES ON
EAST END & BOAT LIFT & BOAT
HOUSE ON WEST END NEITHER
OF WHICH ARE INDICATED ON
PERMITTED PLANS - CONFER W/
GENE SIMMONS TO SET COURSE OF ACTION

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/28

OK
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/20, 2008 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6749	NAUDIN	PRE-BUR GARAGE FOUNDATION	FAIL	
11	19 N. RIDGEVIEW OLB	(FIRST PLEASE)		INSPECTOR: <i>[Signature]</i>
7031	LASKY	TANK & LINE	PASS	
1	27 W. HIGH POINT FERRIS GAS			INSPECTOR: <i>[Signature]</i>
7484	LASKY	COW STEEL FENCE	PASS	
1	27 W. HIGH POINT SEDGATE BUILDERS			INSPECTOR: <i>[Signature]</i>
7430	MURPHY	DECK FINAL	PASS	DUPLICATE INSPECTION
10	8 HERON'S NEST OLB			INSPECTOR: <i>[Signature]</i>
7466	BURKE	FINAL ROOF	FAIL	
15	7 MIRAMAR RD CODE RED			INSPECTOR: <i>[Signature]</i>
7262	HASSON SAOUDIN	ELECTRICAL		SCHEDULE FOR 4/22 FRI.
17	3760 SE OCEAN KIRCHMAN	FRAMING MECH.		INSPECTOR: <i>[Signature]</i>
7408	ENGLISH	DECK RAFT	FAIL	
19	3 LAGOON ISLG TCB I			INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/14/05, 2002 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6741	Osteen	Electrical - final		NEEDS POWER
9	1 S. Ridgview Rd	POWER RELEASE	PASS	RELEASE PERM.
	Angus Enters			INSPECTOR: <i>[Signature]</i>
7481	Millard	Final A/C	PASS	CLOSE
12	5 India Lucie Pkwy			
	O/B			INSPECTOR: <i>[Signature]</i>
6614	Mubson	Fountain	PASS	
11	17 S. River Road			
	Advance Pools			INSPECTOR: <i>[Signature]</i>
7516	Farrero	Roofing Insp.		Respect
	4 Kingston Court	Rough Gas		Cancelled - no fee paid
	Getrick			INSPECTOR: <i>[Signature]</i>
7512	Lenhan	Dry-in	PASS	MUST RESUBMIT
8	25 Lantana Lane	Sheeting		REVISED PRODUCT
	Collins Roofing			INSPECTOR: APPROVAL <i>[Signature]</i>
7371	O'Connor	Final - Roofs	FAIL	
10	14 E. Markway			
	Tuthe Roofing			INSPECTOR: <i>[Signature]</i>
7328	Schmader	Column Steel	PASS	
4	102 Henry Sewall Sub			
	Conway			INSPECTOR: <i>[Signature]</i>
OTHER:	NOS			

7549

DOCK ELECTRIC REPAIR

TOWN OF SEWALL'S POINT

Date MAY 10, 2005

BUILDING PERMIT NO. 7549

Building to be erected for EARLSLEY

Type of Permit DOCK/ELECTRICAL REPAIR

Applied for by RIVERSIDE ELECTRIC (Contractor)

Building Fee 35.00

Subdivision PLANTATION Lot 11 Block _____

Radon Fee _____

Address 3 LAGOON ISLAND CT

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

2637410130000011030000

Electrical Fee _____


Plumbing Fee _____

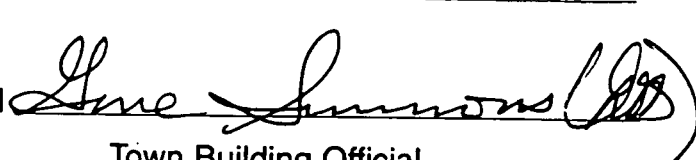
Roofing Fee _____

Amount Paid 35.00 Check # _____ Cash Other Fees (_____)

Total Construction Cost \$ 1500.00

TOTAL Fees 35.00

Signed 

Signed 

Applicant

Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input checked="" type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

RECEIVED

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 05.02.05

OWNER/TITLEHOLDER NAME: STEVE EARLY Phone (Day) 286-8300 (Fax) _____

Job Site Address: #3 LAGOONA ISLAND CT, City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: DOCK ELECTRICAL REPAIR

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 1500.00

(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below) (If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: Riverside Electric Inc. State: FL License Number: ME 00243

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic. #: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic. #: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carpport: _____ Total Under Roof: _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of: MARTIN

This the 9th day of May, 2005

by STEPHEN LEROY EARLY who is personally known to me or produced [Signature] as identification.

Notary Public My Commission Expires: _____

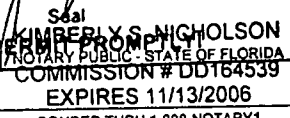
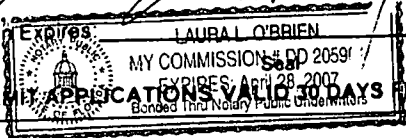
CONTRACTOR SIGNATURE (required)

On State of Florida, County of: Colman, Thurston

This the 3rd day of May, 2005

by SAOR FLAUTO who is personally known to me or produced [Signature] as identification.

Notary Public My Commission Expires: _____



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT AT THE TOWN OF SEWALL'S POINT

Q. 1A

Repair broken conduits under
dock, pull new wire in short segments
where conduits were replaced.

Replace bad GFI outlet in power
redistrib., re-mount broken lights.

CERTIFICATE OF INSURANCE

This certifies that

- STATE FARM FIRE AND CASUALTY COMPANY, Bloomington, Illinois
- STATE FARM GENERAL INSURANCE COMPANY, Bloomington, Illinois
- STATE FARM FIRE AND CASUALTY COMPANY, Scarborough, Ontario
- STATE FARM FLORIDA INSURANCE COMPANY, Winter Haven, Florida
- STATE FARM LLOYDS, Dallas, Texas

insures the following policyholder for the coverages indicated below:

Name of policyholder Riverside Electrical Contracting, Inc.
 Address of policyholder 3185 S.E. Slater Street
 Location of operations Stuart, FL 34997-5756
 Description of operations Martin County

The policies listed below have been issued to the policyholder for the policy periods shown. The insurance described in these policies is subject to all the terms, exclusions, and conditions of those policies. The limits of liability shown may have been reduced by any paid claims.

POLICY NUMBER	TYPE OF INSURANCE	POLICY PERIOD		LIMITS OF LIABILITY (at beginning of policy period)	
		Effective Date	Expiration Date		
98PH47585B	Comprehensive Business Liability	09-25-04	09-25-05	BODILY INJURY AND PROPERTY DAMAGE	
This insurance includes:				Each Occurrence	\$ 300,000
<input checked="" type="checkbox"/> Products - Completed Operations				General Aggregate	\$ 500,000
<input checked="" type="checkbox"/> Contractual Liability				Products - Completed Operations Aggregate	\$ 600,000
<input checked="" type="checkbox"/> Underground Hazard Coverage					
<input checked="" type="checkbox"/> Personal Injury					
<input checked="" type="checkbox"/> Advertising Injury					
<input checked="" type="checkbox"/> Explosion Hazard Coverage					
<input type="checkbox"/> Collapse Hazard Coverage					
<input type="checkbox"/>					
<input type="checkbox"/>					
	EXCESS LIABILITY	POLICY PERIOD		BODILY INJURY AND PROPERTY DAMAGE (Combined Single Limit)	
	<input type="checkbox"/> Umbrella	Effective Date	Expiration Date	Each Occurrence	\$
	<input type="checkbox"/> Other			Aggregate	\$
98PH49045F	Workers' Compensation and Employers Liability	09-25-04	09-25-05	Part 1 STATUTORY Part 2 BODILY INJURY	
				Each Accident	\$ 100,000
				Disease Each Employee	\$ 100,000
				Disease - Policy Limit	\$ 500,000
POLICY NUMBER	TYPE OF INSURANCE	POLICY PERIOD		LIMITS OF LIABILITY (at beginning of policy period)	
		Effective Date	Expiration Date		

THE CERTIFICATE OF INSURANCE IS NOT A CONTRACT OF INSURANCE AND NEITHER AFFIRMATIVELY NOR NEGATIVELY AMENDS, EXTENDS OR ALTERS THE COVERAGE APPROVED BY ANY POLICY DESCRIBED HEREIN.

Name and Address of Certificate Holder

City of Sewalls Point
 1 South Sewalls Point Road
 Sewalls Point, FL 34996

If any of the described policies are canceled before its expiration date, State Farm will try to mail a written notice to the certificate holder 30 days before cancellation. If however, we fail to mail such notice, no obligation or liability will be imposed on State Farm or its agents or representatives.

Jim Harvey MS
 Signature of Authorized Representative
 Agent: _____ Date: 09-21-04
 Title: _____

Agent's Code Stamp
 AFO Code F607



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION

AC# 1500546

ER0009383

07/21/04 040074846

REG ELECTRICAL CONTRACTOR
FLAUTO, SALVATORE T
RIVERSIDE ELEC CONTRACTING INC
(INDIVIDUAL MUST MEET ALL LOCAL
LICENSING REQUIREMENTS PRIOR
TO CONTRACTING IN ANY AREA)

HAS REGISTERED under the provisions of Ch. 489
Expiration date: AUG 31, 2006 L04072102018

2004-2005 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

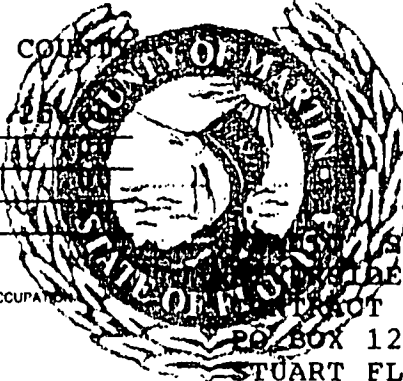
LICENSE 1982-508-166 CERT ER0009383

PHONE (561)286-9231 SIC NO 2350101

LOCATION: 3185 SE SLATER ST MAR 6016

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	
\$	<u>.00</u>	COL. FEE \$	
\$	<u>.00</u>	TRANSFER \$	
TOTAL			<u>25.00</u>



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF
ELEC. CONTR.
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE
01 DAY OF OCTOBER 04
AND ENDING SEPTEMBER 30, 2005

SAM (QUALIFIER)
ELCOTRIDE ELECTRICAL
ELCOTRIDE INC
PO BOX 1265
STUART FL 34995

RECEIPT OF PAYMENT

LARRY C. O'STEEN
99 10/01/2004 OCCI NORMAL
198250800166000
REC200410010000923X
\$25.00

TOWN OF SEWALL'S POINT

Building Department - Inspection Log




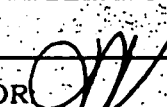
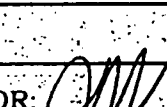
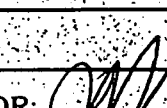
Date of Inspection: Mon Wed Fri 5/20, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
7432	MURPHY/BASSH	FENCE FINAL	PASS	CLOSE
8	8 HERON'S NEST O/B			INSPECTOR: <i>[Signature]</i>
7285	ZYGMAN	ROOF FINAL	FAIL	
7	18 SIMARA ALL AMERICAN			INSPECTOR: <i>[Signature]</i>
6839	WADE	BARREN-BAUL	FAIL	
1	9 E. HIGH POINT PINE ORCH BLDG			INSPECTOR: <i>[Signature]</i>
7527	GAUL	FINAL GAS	PASS	CLOSE
3	107 S. RIVER RD MARTINGY PROP.			INSPECTOR: <i>[Signature]</i>
7539	D. S. JONES	WINDOW BUCK	PASS	INSPECTOR: <i>[Signature]</i>
5	73 S. RIVER RD SPECIAL FORCES			INSPECTOR: <i>[Signature]</i>
7666	WITTMAN	TREE	PASS	
6	13 RIVERVIEW DR			INSPECTOR: <i>[Signature]</i>
7548	NORDGREEN	IN CERTAIN LANE		CX
	5 KINGSTON CT PROPANE DISCOUNTS			INSPECTOR: <i>[Signature]</i>
OTHER:	7127 20 FIELDWAY CLIFORD	ELEC. FINAL	PASS	CLOSE <i>[Signature]</i>

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/23, 20015 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
7539	DESANTIS	WINDOW/BICK	CXL	CLOSED FRIDAY
	73 S. RIVER RD SPECIAL FORCES			INSPECTOR:
7549	CAUSEY	FINAL DOOR ELEC	PASS	CLOSE
4	3 LAGOON (SLG) RIVERSIDE ELEC	REMOVE		INSPECTOR: 
TREE	DUNLAP	TREE	PASS	
3	115 HILLCREST DR			INSPECTOR: 
TREE	TOPPING	TREE	PASS	
2	7 MIDDLE RD			INSPECTOR: 
7297	MARTIN	TIN TAG	PASS	
1	23 ISLAND RD PACIFIC ROOFING			INSPECTOR: 
TREE	MELASH	TREE	PASS	
	132 S. SEWALL ST			INSPECTOR: 
TREE	ARMSTRONG	TREE	PASS	
	41 W. HIGH POINT			INSPECTOR: 

OTHER: _____

7882

HURRICANE SHUTTERS

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 11-10-05

BUILDING PERMIT NO. 7882

Building to be erected for EARSLEY

Type of Permit HURRICANE SHUTTERS

Applied for by FOLDING SHUTTER COEP (Contractor)

Building Fee 120.00

Subdivision PLANTATION Lot 11 Block _____

Radon Fee _____

Address 3 LAGOON ISLAND COURT

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

263741013000001103

Electrical Fee _____

Plumbing Fee _____

Amount Paid 120.00 Check # 10154 Cash _____

Other Fees (_____) _____

Total Construction Cost \$ 29,835

TOTAL Fees 120.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

561-209-7668
Chris

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED
120 12604004

Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Stephen Earsley Phone (Day) (772) 286-8300 (Fax) _____

Job Site Address: 3 NE Lagoon Island Court City: Stuart State: FL Zip: 34996

Legal Description of Property: Plantation at Sewall's Point Parcel Number: 26-37-41-013-000-00110-3

Owner Address (if different): 3 NE Lagoon Island Court City: Stuart State: FL Zip: 34996

Description of Work To Be Done: Install 14 Folding Shutters and 10 panels

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Folding Shutter Corporation Phone: (561)683-4811 Fax: (561)640-8204

Street: 7089 Hemstreet Place City: West Palm Beach State: FL Zip: 33413

State Registration Number: _____ State Certification Number: _____ Martin County License Number: 000012622

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 29,835 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of Polk
This the 30th day of September, 2005
by Stephen Earsley who is personally
known to me or produced [Signature]
as identification.

Notary Public

My Commission Expires: 10-1-09

Seal

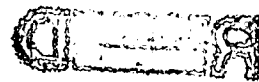
CONTRACTOR SIGNATURE (required)

On State of Florida, County of Palm Beach
This the 30 day of SEPT, 2005
by Kevin K. Hemstreet who is personally
known to me or produced [Signature]
as identification.

JUDITH I. KENT
MY COMMISSION # DD 436354
EXPIRES: JUNE 1, 2009
Bonded Notary Public License # _____

My Commission Expires: [Signature]

Seal



11/11/11

SHEILA
561.254.2464

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID JT
FOLDING

DATE (MM/DD/YYYY)
12/30/04

PRODUCER SLATON INSURANCE P.O. Box 220537 Ft. Palm Beach FL 33422 Phone: 561-683-8383 Fax: 561-684-5995	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
	INSURED Folding Shutter Corporation 7089 Hemstreet Place West Palm Beach FL 33413	INSURERS AFFORDING COVERAGE
	INSURER A: Nautlius Insurance Company	
	INSURER B: Landmark American Insurance Co	
	INSURER C:	
	INSURER D:	
	INSURER E:	

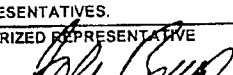
COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY	NAU112005	01/01/05	01/01/06	EACH OCCURRENCE	\$ 1,000,000
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ Excluded
		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ Excluded
						PERSONAL & ADV INJURY	\$ 1,000,000
						GENERAL AGGREGATE	\$ 2,000,000
		GEN'L AGGREGATE LIMIT APPLIES PER:				PRODUCTS - COMP/OP AGG	\$ 2,000,000
		<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC					
		AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		<input type="checkbox"/> A.L. OWNED AUTOS				BODILY INJURY (Per accident)	\$
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
		<input type="checkbox"/> HIRED AUTOS					
<input type="checkbox"/> NON-OWNED AUTOS							
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
						AUTO ONLY: AGG	\$
B		EXCESS/UMBRELLA LIABILITY	LHA028495-00	01/01/05	01/01/06	EACH OCCURRENCE	\$ 5,000,000
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$ 5,000,000
		<input type="checkbox"/> DEDUCTIBLE					
		<input checked="" type="checkbox"/> RETENTION \$10,000					
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS	OTH-ER
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$
		OTHER				E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
 *FLORIDA STATUTES REQUIRES TEN (10) DAYS NOTICE OF CANCELLATION FOR NON PAYMENT & FORTY FIVE (45) DAYS FOR NON RENEWAL

FAX: 561-334-5232

CERTIFICATE HOLDER Town Of Sewells Point 1 S Sewells Point Road Sewells Point FL 34996	TOWNSEW	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL *10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
		AUTHORIZED REPRESENTATIVE 

Producer: Lion Insurance Company
2739 U.S. Highway 19 N.
Holiday, FL 34691
Phone: 727-938-5562 Fax: 727-937-2138

This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.

Insured: South East Personnel Leasing
2739 U.S. Highway 19 N.
Holiday, FL 34691
Phone : (727)938-5562

Insurers Affording Coverage		NAIC #
Insurer A:	Lion Insurance Company	
Insurer B:		
Insurer C:		
Insurer D:		
Insurer E:		

Coverages

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits	
		GENERAL LIABILITY <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence	\$
						Damage to rented premises (EA occurrence)	\$
						Med Exp	\$
						Personal Adv Injury	\$
						General Aggregate	\$
						Products - Comp/Op Agg	\$
		AUTOMOBILE LIABILITY <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident)	\$
						Bodily Injury (Per Person)	\$
						Bodily Injury (Per Accident)	\$
						Property Damage (Per Accident)	\$
		GARAGE LIABILITY <input type="checkbox"/> Any Auto				Auto Only - Ea Accident	\$
						Other Than EA Acc. Autos Only. AGG.	\$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible <input type="checkbox"/> Retention				Each Occurrence	
						Aggregate	
A		Workers Compensation and Employers' Liability Any proprietor/partner/executive officer/member excluded? If Yes, describe under special provisions below.	WC 71949	01/01/2005	01/01/2006	X	WC Statutory Limits OTH-ER E.L. Each Accident \$1000000 E.L. Disease - Ea Employee \$1000000 E.L. Disease - Policy Limits \$1000000

Other 3460038 Folding Shutter Corp. **COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED, NOT TO SUBCONTRACTORS.**

Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions: **ADD ON DATE: 2/28/04**
COVERAGE APPLIES ONLY IN THE STATE OF FLORIDA TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF Folding Shutter Corp. * FAX: 561-640-8204 / ISSUE 03-16-04 (CF)

CERTIFICATE HOLDER
CITY OF STUART

121 SW FLAGLER AVENUE
STUART FL 34994

CANCELLATION
Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.

John L. ...



Martin County Building Department

2401 SE Monterey Road

Stuart, FL 34996

(772) 288-5482

Fax (772) 288-5911

HEMSTREET, KEVIN R
FOLDING SHUTTER CORP
7089 HEMSTREET PL
WEST PALM BEACH, FL 33413

NOTICE TO ALL CONTRACTORS

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

PROHIBITED ACTIVITIES:

43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter, please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency

ALUMINUM/CONCRETE CONTRACTOR

License Number SP00839 Expires: 30-SEP-07

HEMSTREET, KEVIN R
FOLDING SHUTTER CORP
7089 HEMSTREET PL
WEST PALM BEACH, FL 33413



2005-2006 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

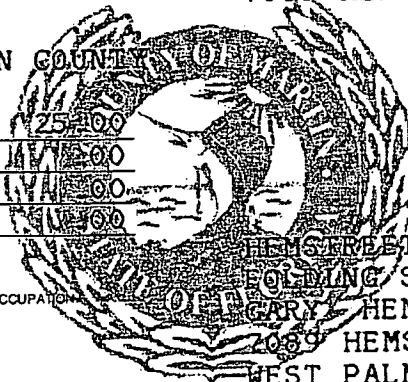
LICENSE 1976-650-289 CERT _____

PHONE (561)286-2633 SIC NO 001541

LOCATION:
7089 HEM ST MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>0.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>0.00</u>
TOTAL			<u>25.00</u>



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION

OF RETAIL/ALUMINUM CONTR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

13 DAY OF SEPTEMBER 2005
AND ENDING SEPTEMBER 30, 2006

HEMSTREET, KEVIN R (V. PRES)
FOLDING SHUTTER CORP
HEMSTREET QUALIFIER
7089 HEMSTREET PLACE
WEST PALM BEACH FL 33413

12 05091303 006290

PRODUCTS MANUFACTURED

Titan Folding Shutters
Roll-A-Flex Rolling Shutters
Nassau Bahama Shutters
Cape Cod Colonial Shutters
Titan Removable Storm Panels



"THE INDUSTRY LEADER SINCE 1969"

Ft. Lauderdale to
Delray Beach
(954) 427-8009
Stuart
(772) 286-2633
Fax
(561) 640-8204

TO: Sewall's Point
BUILDING DEPARTMENT

Folding Shutter Corporation hereby gives authorization for Shelia Laumier of Permit Providers to submit, sign for and pickup permits in Sewall's Point.

If you should have any questions, please do not hesitate to call Pamela Evans, extension 7644.

Thank you in advance for your cooperation in this matter.

Sincerely,

FOLDING SHUTTER CORPORATION

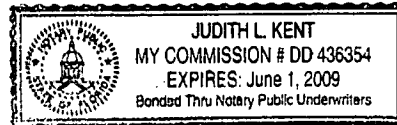
A handwritten signature in cursive script, appearing to read "Kevin R. Hemstreet".

Kevin R. Hemstreet
Vice President/Qualifier

State of Florida
County of Palm Beach

Sworn and subscribed before me this 23rd day of September, 2005 by Kevin R. Hemstreet, Vice President/Qualifier who is personally known to me.

A handwritten signature in cursive script, appearing to read "Judith L. Kent".
Notary Public, Judith L. Kent





INSTR # 1878895
OR BK 02069 PG 0739
RECORDED 10/06/2005 09:43:11 AM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY C Walsh

Return to: (enclose self-addressed stamped envelope)
12672004009

Name: **Folding Shutter Corp.**
Address: **7089 Hemstreet Place WPB, FL 33413**

This instrument Prepared by:

Name:
Address: **SAME AS ABOVE**

Property Appraisers Parcel Identification:

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR PROCESSING DATA

NOTICE OF COMMENCEMENT

Permit No. _____ TaxFolioNo. 26-37-41-013-000-00110-3

State of Florida
County of **Martin**

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with chapter 713 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

Legal description of property (include street address) Plantation at Sewall's Point, Lot 11,
3 NE Lagoon Island Court STATE OF FLORIDA
MARTIN COUNTY

General description of Improvements INSTALL SHUTTERS

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

Owner's Name Stephen Earsley

MARSHA EWING, CLERK
BY: [Signature] D.C.

Address 3 NE Lagoon Island Court, Stuart, Fl 34996

Owner's Interest in site of the improvement OWNER

DATE: 10/6/05

Fee Simple Title holder (if other than owner)

Address _____ Phone: _____ Fax: _____

Contractor Folding Shutter Corp

Address 7089 Hemstreet Pl WPB FL 33413 Phone: 561-6834811 Fax: 561-6408204

Surety _____ Phone: _____ Fax: _____

Address _____ Amount of bond \$ _____

Lender's Name _____

Address _____ Phone: _____ Fax: _____

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7, Florida Statutes.

Name _____

Address _____ Phone: _____ Fax: _____

In addition to himself, owner designates _____

Of _____ Phone: _____ Fax: _____

to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified)

[Signature]

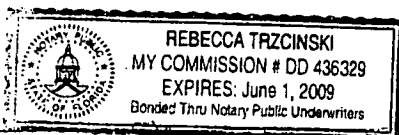
Signature of Owner

STEVE EARSLEY

Printed Name of Owner

NOTARY RUBBER STAMP SEAL

I have relied upon the following identification of the Affiant _____



Sworn to and subscribed before me this day 20th of September 2005

[Signature]
Notary Signature

REBECCA TRZCINSKI
Printed Name

FOLDING SHUTTER CORP. ENGINEERING LAYOUT SHEET

CUSTOMER NAME

EARSTLEY

WORK ORDER NO.

12072004009 NO301

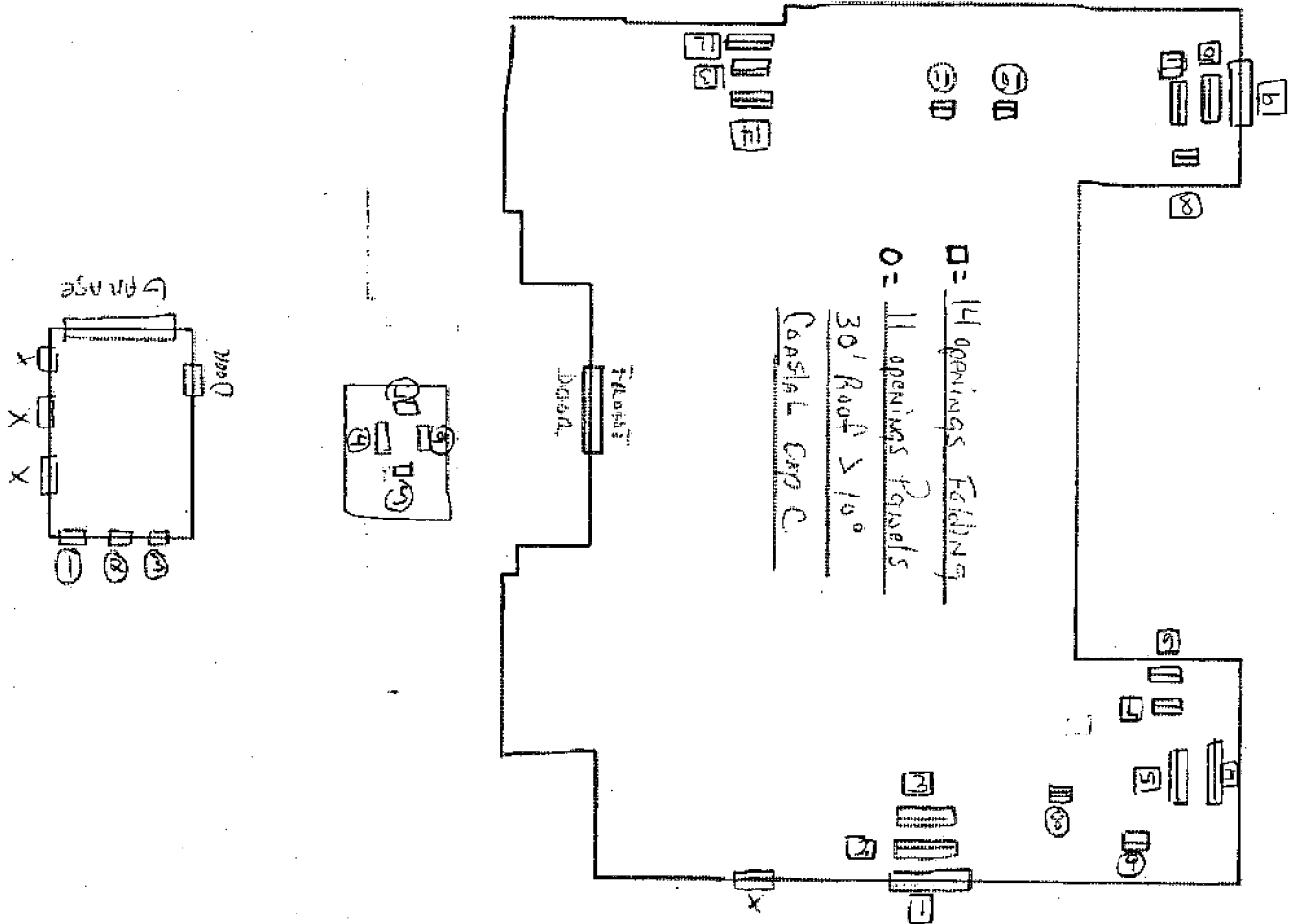
SHEET OF

BY:

DRH

DATE:

Layout



FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 10/10/05

 BUILDING OFFICIAL
 Gene Simmons

FOLDING SHUTTER CORP. ENGINEERING LAYOUT SHEET

CUSTOMER NAME

EARSTEG

WORK ORDER NO.

12072004009 N0701

SHEET

OF

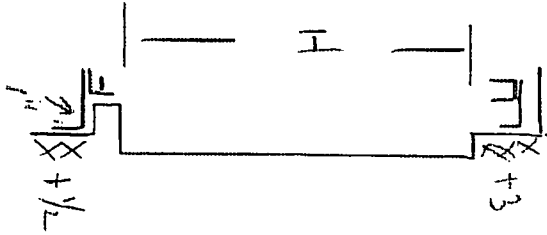
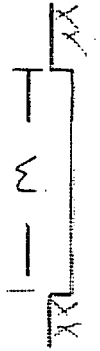
BY:

DRH

DATE:

2

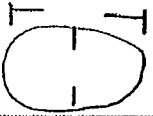
(1)



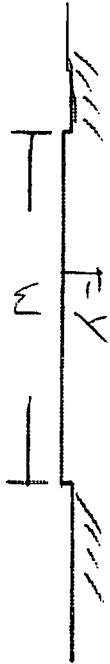
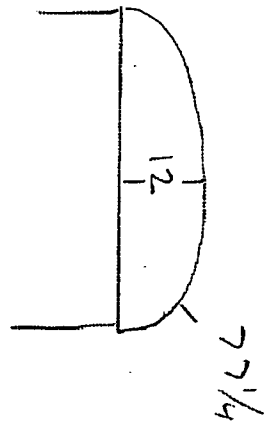
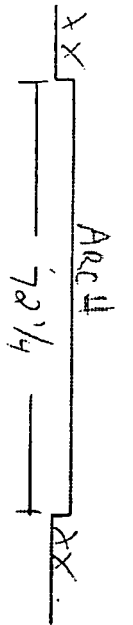
	W	H
1	18 1/4	76 1/4
3	18 1/4	76 1/4

4 Clear Panels
2 Panels
12" oc
12" oc

43" Stud to stud



(2)



	W	H
4	28 1/4	28 1/4
5	28 1/4	28 1/4
6	28 1/4	28 1/4
7	28 1/4	28 1/4

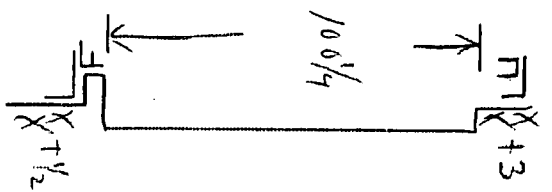
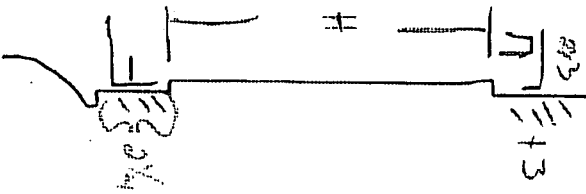


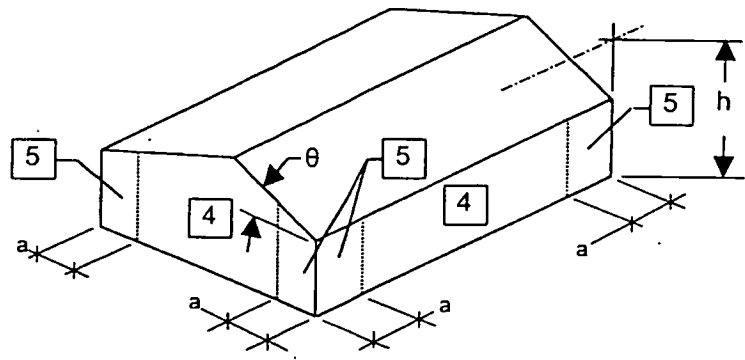
TABLE 3.41
WIND LOADS FOR WALL COMPONENTS & CLADDING
PER ASCE 7-98

* (ROOF HEIGHTS LESS THAN 90 FT.)

3- SECOND GUST WIND SPEED: 140 MPH
 TRIBUTARY AREA: 10 SQ. FT. OR LESS
 IMPORTANCE FACTOR ("I"): 1.00

MEAN ROOF HEIGHT (FT.)	EXPOSURE "B"						EXPOSURE "C"					
	ROOF SLOPE $\geq 10^\circ$			ROOF SLOPE $< 10^\circ$			ROOF SLOPE $\geq 10^\circ$			ROOF SLOPE $< 10^\circ$		
	ZONE 4 & 5	ZONE 4	ZONE 5	ZONE 4 & 5	ZONE 4	ZONE 5	ZONE 4 & 5	ZONE 4	ZONE 5	ZONE 4 & 5	ZONE 4	ZONE 5
"H"	(+)	(-)	(-)	(+)	(-)	(-)	(+)	(-)	(-)	(+)	(-)	(-)
15	35.2	38.2	47.2	32.2	34.9	43.0	42.8	46.4	57.3	39.2	42.4	52.2
20	35.2	38.2	47.2	32.2	34.9	43.0	45.3	49.1	60.6	41.5	44.9	55.3
25	35.2	38.2	47.2	32.2	34.9	43.0	47.3	51.3	63.3	43.3	46.9	57.7
30	35.2	38.2	47.2	32.2	34.9	43.0	49.3	53.5	66.0	45.1	48.9	60.2
35	36.7	39.9	49.2	33.6	36.4	44.8	50.8	55.1	68.1	46.5	50.4	62.0
40	38.2	41.5	51.2	35.0	37.9	46.7	52.3	56.8	70.1	47.9	51.9	63.9
45	39.5	42.9	52.9	36.2	39.2	48.2	53.6	58.1	71.8	49.1	53.1	65.4
50	40.8	44.2	54.6	37.3	40.4	49.7	54.9	59.5	73.5	50.2	54.4	66.9
55	41.8	45.3	55.9	38.2	41.4	51.0	55.9	60.6	74.8	51.1	55.4	68.2
60	42.8	46.4	57.3	39.2	42.4	52.2	56.9	61.7	76.1	52.0	56.4	69.4
* 65	43.8	47.5	58.6	40.1	43.4	53.4	57.9	62.8	77.5	53.0	57.4	70.6
* 70	44.8	48.6	60.0	41.0	44.4	54.7	58.9	63.9	78.8	53.9	58.4	71.9
* 75	45.8	49.7	61.3	41.9	45.4	55.9	59.9	65.0	80.2	54.8	59.4	73.1
* 80	46.8	50.8	62.7	42.8	46.4	57.1	60.9	66.1	81.5	55.7	60.4	74.3
* 85	47.6	51.6	63.7	43.5	47.2	58.0	61.6	66.9	82.5	56.4	61.1	75.2
* 89	48.0	52.1	64.3	43.9	47.6	58.6	62.1	67.4	83.2	56.8	61.6	75.8

NOTE: ALL DESIGN LOADS ARE IN POUNDS PER SQUARE FOOT (PSF)



NOTES:

1. PLUS & MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARD & AWAY FROM SURFACES RESPECTFULLY.
2. $a = 10\%$ OF LEAST HORIZONTAL DIMENSION OR $0.4H$, WHICHEVER IS SMALLER, BUT NOT LESS THAN EITHER 4% OF LEAST HORIZONTAL DIMENSION OR 3 FT.
3. LOADS, POSITIVE & NEGATIVE, ARE TAKEN AT MEAN ROOF HEIGHT (h) & APPLY TO ALL FLOORS.
4. LOADS BETWEEN ELEVATIONS SHOWN IN TABLE MAY BE INTERPOLATED.
- * 5. AT MEAN ROOF HEIGHT (h), $60 \text{ ft.} < h < 90 \text{ ft.}$, PRESSURES HAVE BEEN DETERMINED USING THE SAME METHOD AS FOR 60 ft. & LESS PER ASCE 7-98 SECTION 6.5.12.4.3. THESE PRESSURES ARE ONLY APPLICABLE IF THE HEIGHT TO WIDTH RATIO IS 1 OR LESS (IF THE HEIGHT IS NO MORE THAN 1 TIMES THE MINIMUM BUILDING WIDTH).
6. TABLE VALUES DO NOT CONSIDER EFFECTS FROM TOPOGRAPHIC CONDITIONS & FACTOR K_{zt} IS TAKEN AS 1.0 (FLAT GRADE). IF TOPOGRAPHIC CONDITIONS ARE NOT FLAT, THE VALUES IN THIS TABLE MUST BE MULTIPLIED BY THE PROPER K_{zt} FACTOR IN ACCORDANCE WITH ASCE 7-98 SECTION 6.5.7.
7. ALL VALUES IN THIS TABLE CONSIDER A WIND DIRECTIONALITY FACTOR (K_d) OF 0.85 PER ASCE 7-98 TABLE 6-6.



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Folding Shutter Corp.
7089 Hemstreet Place
West Palm Beach, FL 33413**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: "Titan" 0.060" Aluminum Storm Panels Shutter

APPROVAL DOCUMENT: Drawing No. 94-34, titled "Storm Panel Details", sheets 1 through 6 of 6, prepared by Al-Farooq Corporation, dated June 3, 1994, last revision #H dated November 24, 2003, signed and sealed by Humayoun Farooq, P.E. on November 24, 2003, bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

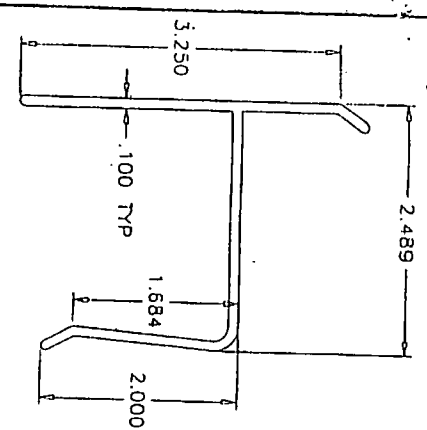
This NOA revises & renews NOA # 02-0226.04 and consists of this page 1, evidence submitted page(s) as well as approval document mentioned above.

The submitted documentation was reviewed by Helmy A. Makar, P.E.

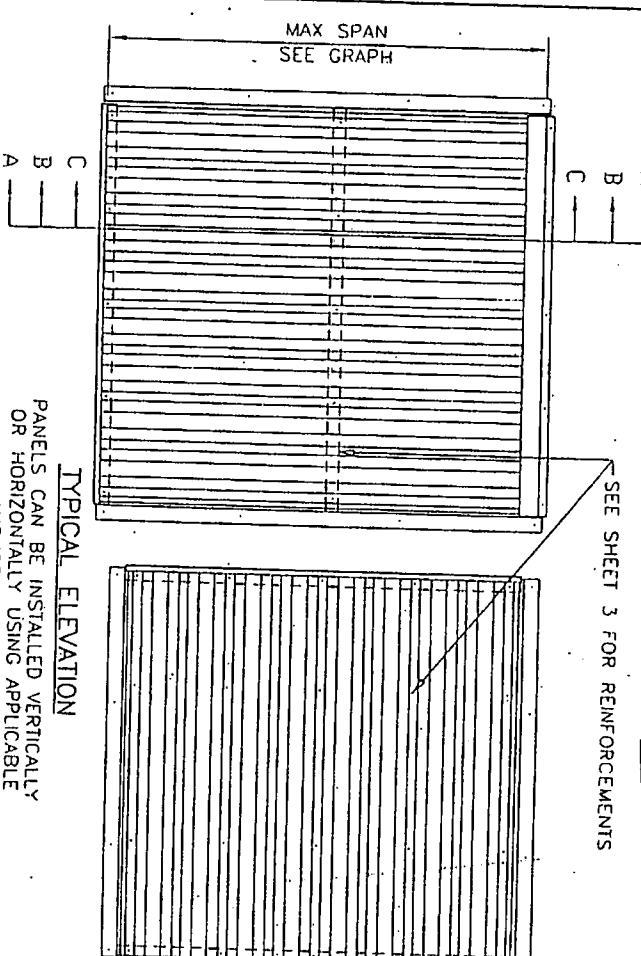
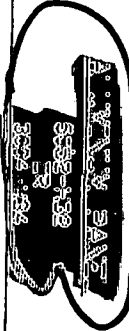
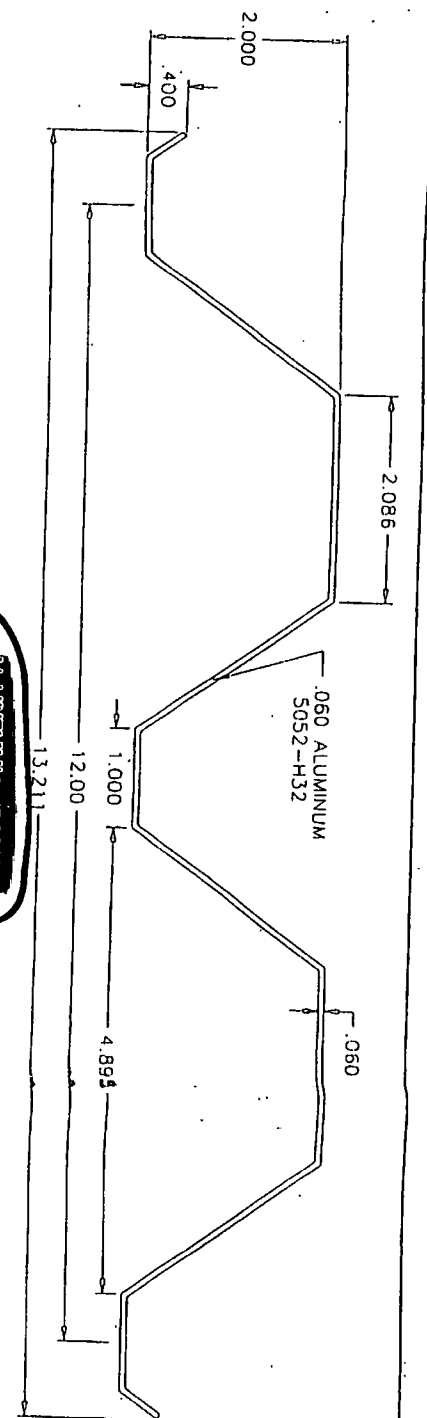


Helmy A. Makar
12/18/03

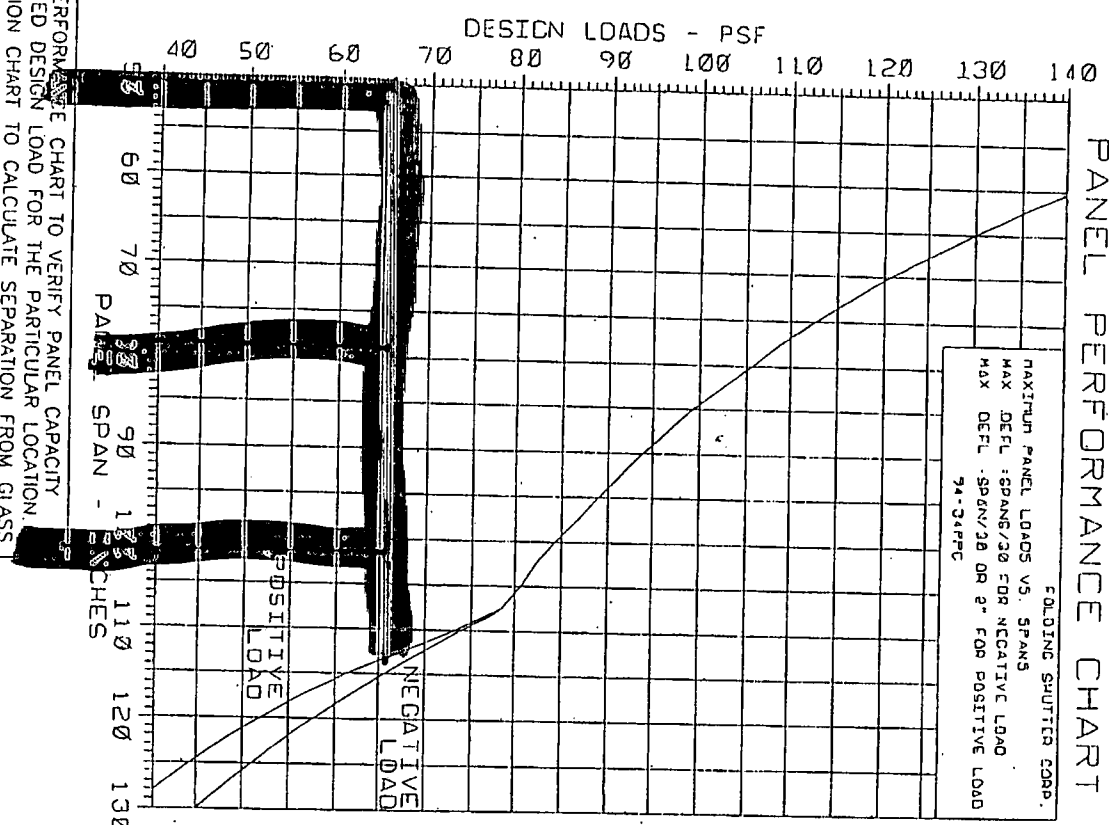
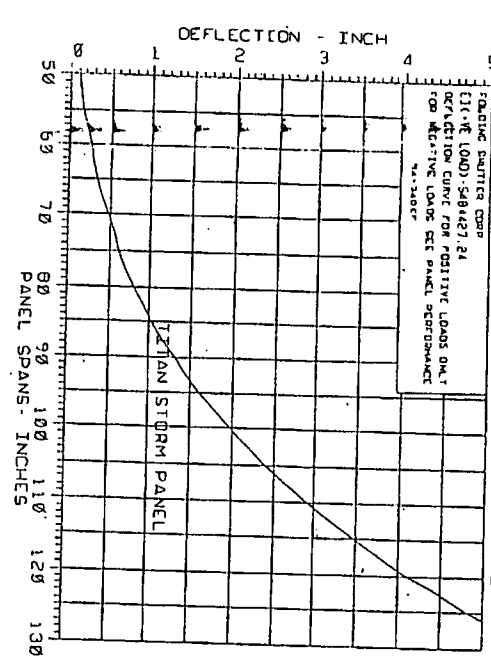
**NOA No 03-0623.01
Expiration Date: 11/20/ 2008
Approval Date: 12/18/ 2003**



WALL MOUNT HEADER
6063-T5



TYPICAL ELEVATION
PANELS CAN BE INSTALLED VERTICALLY OR HORIZONTALLY USING APPLICABLE ANCHORING DETAILS.



USE PANEL PERFORMANCE CHART TO VERIFY PANEL CAPACITY FOR THE REQUIRED DESIGN LOAD FOR THE PARTICULAR LOCATION. USE SPAN DEFLECTION CHART TO CALCULATE SEPARATION FROM GLASS.

MINIMUM SEPARATION FROM GLASS

SEPARATION REQ. DUE TO WIND LOAD	SEPARATION FOR INSTALLATIONS UP TO 30 FT. OF GRADE DUE TO LARGE MISSILE IMPACT
SHUTTER SPAN = H =	IN.
DESIGN LOAD = Pd =	PSF
FACTOR = K = Pd/100 =	IN.
READING FROM SPAN D. CURVE = D =	IN.
DEFLECTION AT Pd = K*D =	IN.
MIN. SEPARATION REQ. = K*D+1" =	IN.

FOR INSTALLATIONS UP TO 30' OF GRADE USE MAXIMUM OF WIND LOAD OR IMPACT LOAD REQUIREMENTS SHOWN ABOVE.
FOR INSTALLATIONS ABOVE 30' OF GRADE IGNORE LARGE MISSILE IMPACT REQUIREMENT.
NOTE: NO PART OF SHUTTER SHALL BE UNDER 30' ABOVE GRADE TO WAVE LARGE MISSILE IMPACT REQUIREMENT.

* FOR BUILT-OUT WITH 2X5 ANGLE ONLY

GENERAL NOTES

1. THIS PRODUCT IS DESIGNED TO COMPLY WITH THE HIGH VELOCITY HURRICANE ZONE OF THE 2001 FLORIDA BUILDING CODE.
2. DESIGN CRITERIA FOR ALUMINIUM, MINIMUM MECHANICAL PROPERTIES, AND SAFETY FACTORS ARE IN ACCORDANCE WITH THE "ALUMINIUM CONSTRUCTION MANUAL" LATEST EDITION.
3. ALUMINIUM ALLOYS: ALL EXTRUSIONS SHALL BE ALLOY 6063-T5.
4. STEEL SURFACES TO BE PLACED IN CONTACT WITH ALUMINIUM SHALL BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER IN ACCORDANCE WITH FEDERAL SPEC. NO. TTP-645, OR BE GALVANIZED.
5. ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
6. ALL BOLTS SHALL BE STAINLESS STEEL, ALUMINIUM ALLOY 2024-T4 OR 7075-T6. WING NUTS SHALL BE OF ZINC ALLOY.
7. DESIGN CRITERIA FOR PANELS: MAX DEFLECTION \leq L/30 FOR NEGATIVE LOAD AND THE LESSER OF L/30 OR 2" FOR POSITIVE LOAD.
8. ANCHORING OR LOADING CONDITIONS OTHER THAN THOSE SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.
9. EXISTING STRUCTURES MUST BE CAPABLE OF SUSTAINING LOADS IMPOSED BY SHUTTER.
10. EACH OPENING SHALL HAVE A LEGIBLE AND READILY VISIBLE DECAL OF PRINTED INSTRUCTIONS TO THE OWNER OR TENANT INDICATING THE MANDATORY USE OF REINFORCEMENTS (ALUMINIUM STRAP AT MIDSPAN OR ROWS OF JACK NUTS AT LAP JOINTS) DURING PERIODS OF HURRICANE WARNING.
11. A 33% INCREASE IN ALLOWABLE STRESS WAS USED IN DESIGN OF ANCHOR SPACING.

PRODUCT MARKING

A LABEL SHALL APPEAR ON EVERY PANEL WITH THE FOLLOWING STATEMENT:
"FOLDING SHUTTER CORP. WEST PALM BEACH, FL
"MIAMI-DADE COUNTY PRODUCT CONTROL APPROVED"

DESIGN LOADS SHALL BE CALCULATED AS PER REQUIREMENTS OF ASCE 7-98 AS REQUIRED BY BUILDING CODE.

FOR INSTALLATION DETAILS SEE SHEET 2, 3 & 4.
FOR ANCHOR REQUIREMENTS SEE SHEET 5 OF 6.

Engr: DR. HOUAYOUN FAROOQ
STRUCTURES
FLA. P.E. # 18537
C.A.N. 3538

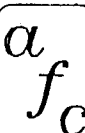
NOV 24 2003

PRODUCT REVISED
as complying with the Florida Building Code
Acceptance No 03-0623.01
Expiration Date 11/20/2008
By: Helem A. Williams
Miami Dade Product Control Division

no	date	by	description
D	10.15.97	H	GENERAL REVISION
E	07.27.98	H	GENERAL REVISION
F	06.09.00	H	ALT. ALUM ALLOY ADDED
G	04.14.03	H	UPDATED FOR FBC. & NDS 97
H	11.24.03	H	REV. PER BCCO COMMENTS

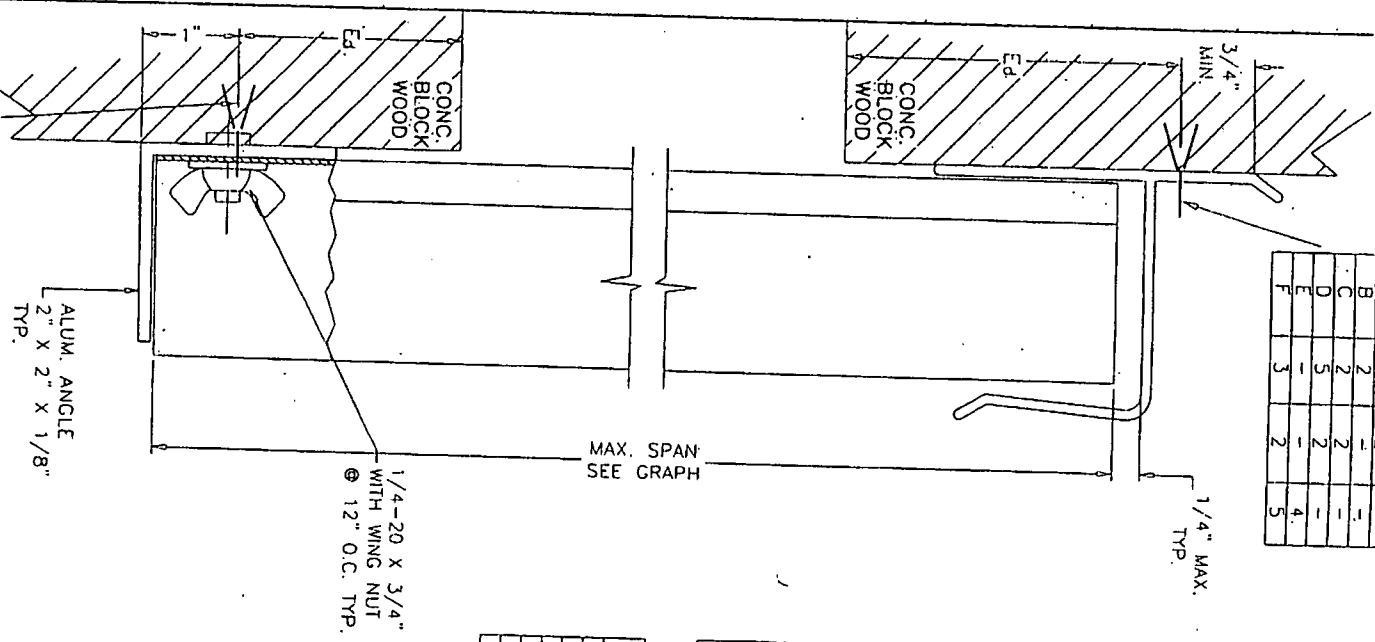
STORM PANEL DETAILS
FOLDING SHUTTER CORP.
7089 HEMSTREET PLACE
WEST PALM BEACH, FL 33406
TEL.(561) 683-4811 FAX.(561) 640-8204

AL-FAROOQ CORPORATION
ENGINEERS, PLANNERS & PRODUCT DESIGN
1235 SW 87 AVE
MIAMI, FLORIDA 33174
TEL. (305) 264-8100 FAX. (305) 262-6978
PANELS 94-34FSC



WALL MOUNTS

ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	5
B	2
C	2
D	2
E	2
F	3

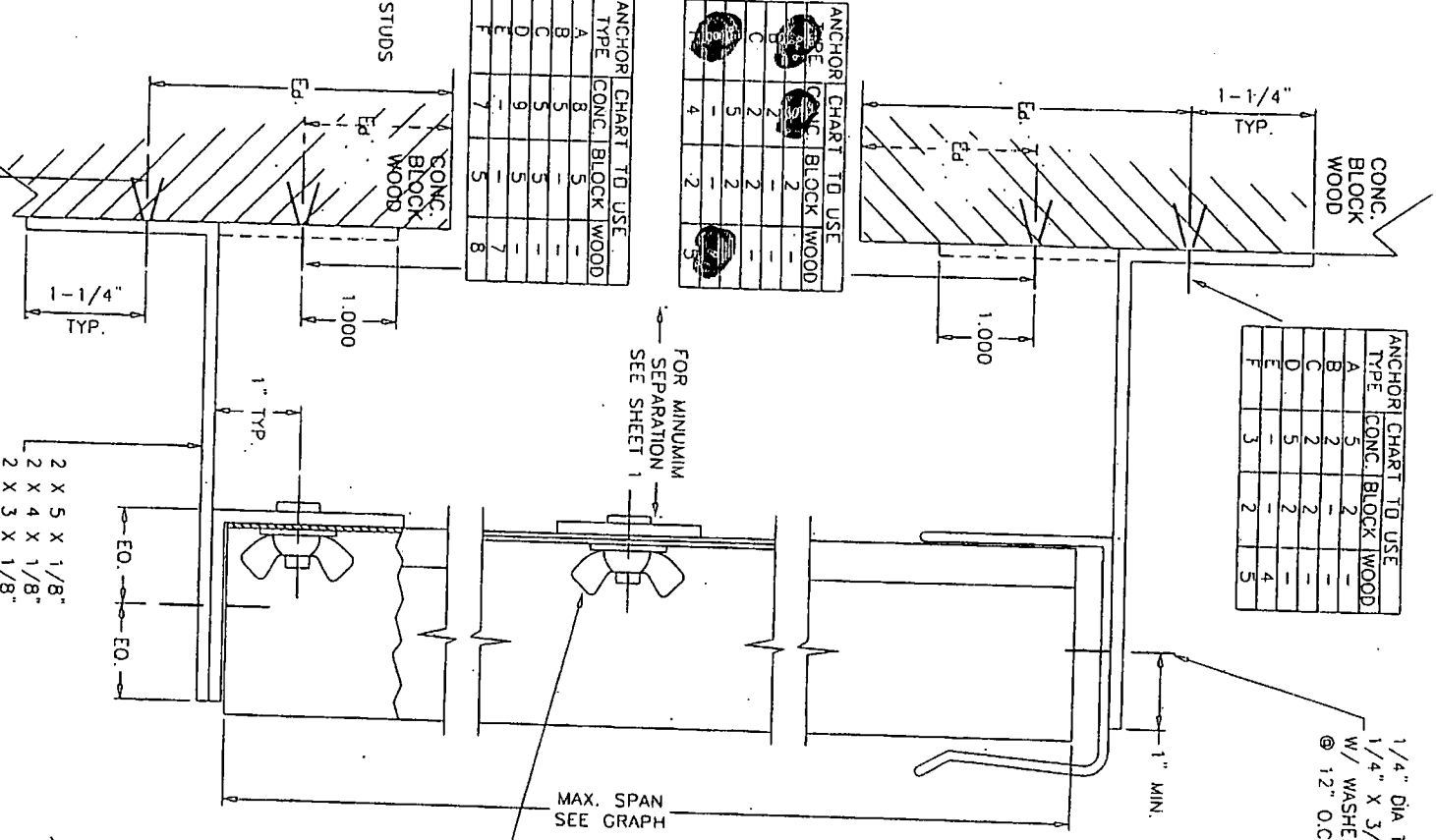


ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	8
B	5
C	5
D	5
E	5
F	4

SECTION A-A

BUILT-OUT CONDITION

ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	5
B	2
C	2
D	2
E	2
F	3

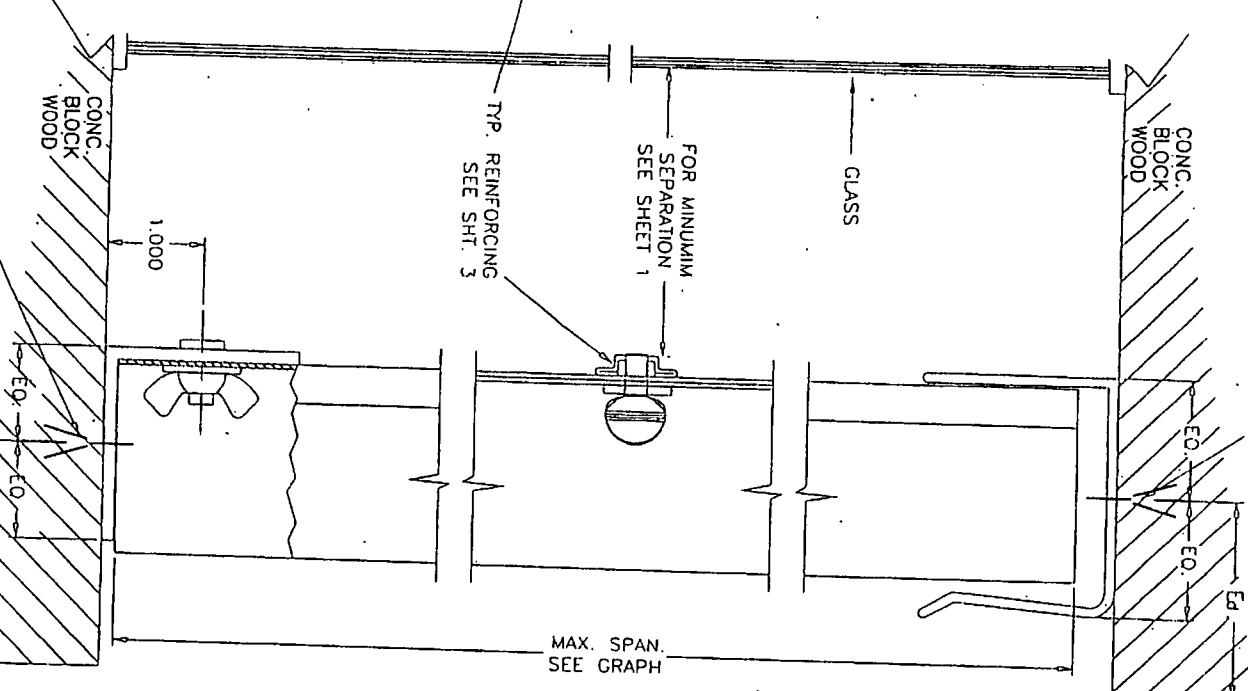


ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	5
B	5
C	5
D	5
E	5
F	4

SECTION B-B

INSIDE MOUNTS

ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	6
B	4
C	4
D	4
E	4
F	3

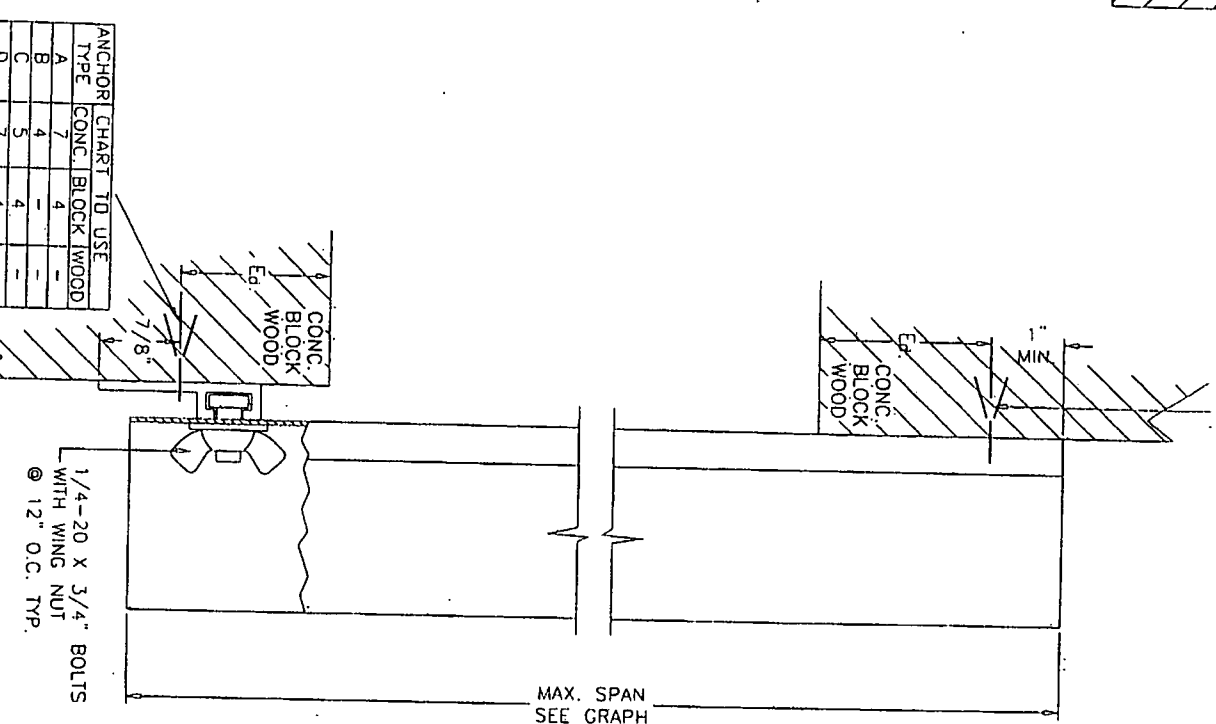


ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	7
B	5
C	5
D	5
E	5
F	4

SECTION C-C

DIRECT MOUNTS

ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	6
B	6
C	6
D	6
E	6
F	9



ANCHOR CHART TO USE	
TYPE	CONC. BLOCK WOOD
A	7
B	4
C	4
D	4
E	4
F	6

SECTION D-D

FOR GENERAL NOTES AND EXTRUSION DETAILS SEE SHEET 1 OF 6.

HEADER AND SILL DETAILS CAN BE USED IN ANY COMBINATIONS.

ANCHORS: EMBEDMENT & EDGE DISTANCES SHOWN ARE BEYOND THE WALL & FLOOR COVERING (STUCCO, TILES, ETC.)

Ed = TYPICAL EDGE DISTANCE
CONC. & BLOCK = 12d (12 ANCHOR DIAMETERS)
WOOD = 5d
FOR LESSER EDGE DISTANCES SEE SHEET 5 OF 6.

Eng: DR. HUNAYOUN FAROOQ
STRUCTURES
FLA. PE # 48557
CAN. 3539

NOV 24 2003

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 03-062301
Expiration Date 11/25/2008
By: *Helwan A. Al-Farooq*
Miami Dade Product Control
Division

revisions:			
no	date	by	description
C	04.14.03	H	ANCHOR CHARTS REV.
H	11.24.03	H	REV. PER BCCO COMMENTS

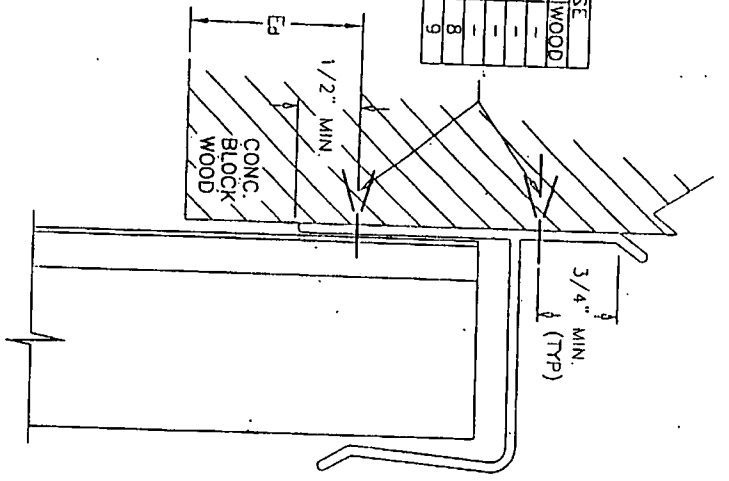
STORM PANEL DETAILS
FOLDING SHUTTER CORP.
7089 HEMSTREET PLACE
WEST PALM BEACH, FL 33406
TEL.(561) 683-4811 FAX.(561) 640-8204

AL-FAROOQ CORPORATION
ENGINEERS, PLANNERS & PRODUCT DESIGN
1235 SW 87 AVE
MIAMI, FLORIDA 33174
TEL. (305) 264-8100 FAX. (305) 262-6978

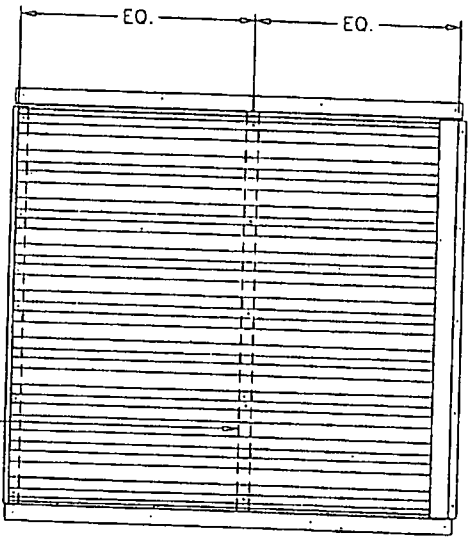


date: 06-03-94
scale: 1/2" = 1"
dr. by: HAMID
chk. by:
growing no. 94-34
Sheet 2 of 6

ANCHOR CHART TO USE		
TYPE	CONC.	BLOCK WOOD
A	10	7
B	7	7
C	7	7
D	10	7
E	-	8
F	8	6
G	-	9

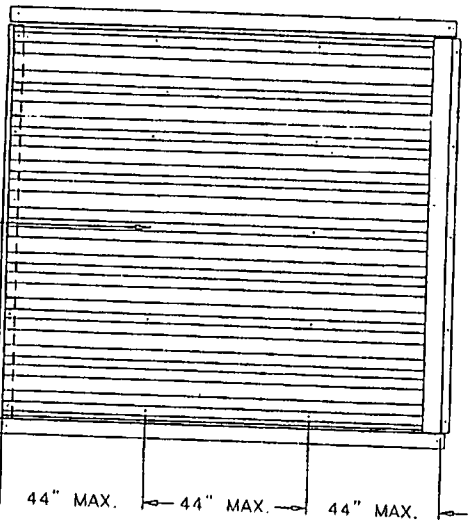


ALT WALL HEADER



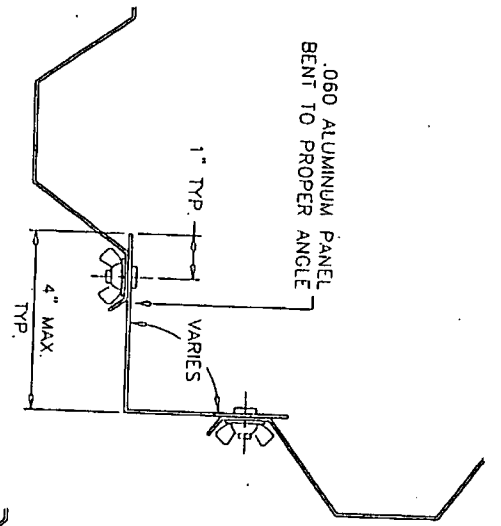
1-1/2"x1/8" ALUM. STRAP(6063-T6) AT MID SPAN
FASTENED W/ 1/4"-20 X 3/4" STUDS
W/ WING NUT & WASHER @ 12" O.C.

STRAP REINFORCEMENT



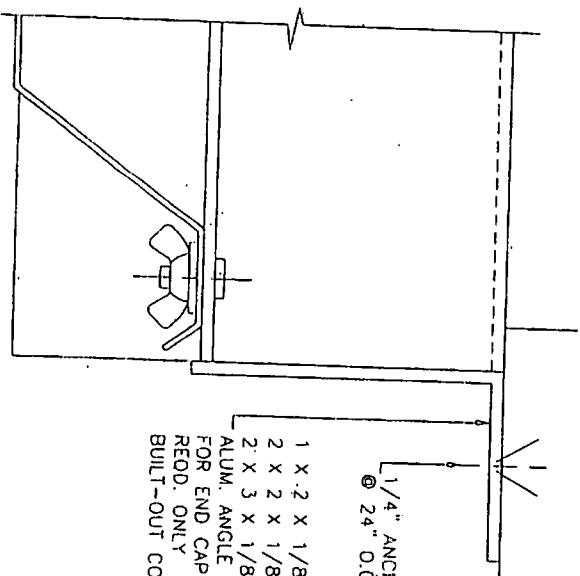
1/4" MACHINE SCREWS WITH WASHERS
IN JACK NUTS AT LAP JOINTS

JACK NUTS REINFORCEMENT



CORNER DETAILS

1/4" x 1/2"
THUMB SCREWS IN
MOLLY JACK NUTS
@ 24" O.C.



END CAP BUILT-OUT CONDITION

1 X 2 X 1/8"
2 X 2 X 1/8"
2 X 3 X 1/8"
ALUM. ANGLE
FOR END CAP
REOD. ONLY
BUILT-OUT CONDITION

Engr. DR. HUMAYOON FAROOQ

STRUCTURES
FLA. PE # 16557
C.A.N. 3538

NOV 24 2003

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 03-0623.01
Expiration Date 11/24/2008
By *Hamid*
Brahmi Trade Product Control
Division

STORM PANEL DETAILS

FOLDING SHUTTER CORP.
7089 HEMSTREET PLACE
WEST PALM BEACH, FL 33406
TEL.(561) 683-4811 FAX.(561) 640-8204

AL-FAROOQ CORPORATION
ENGINEERS, PLANNERS & PRODUCT DESIGN
1235 SW 87 AVE
MIAMI, FLORIDA 33174
TEL. (305) 264-8100 FAX. (305) 262-6978

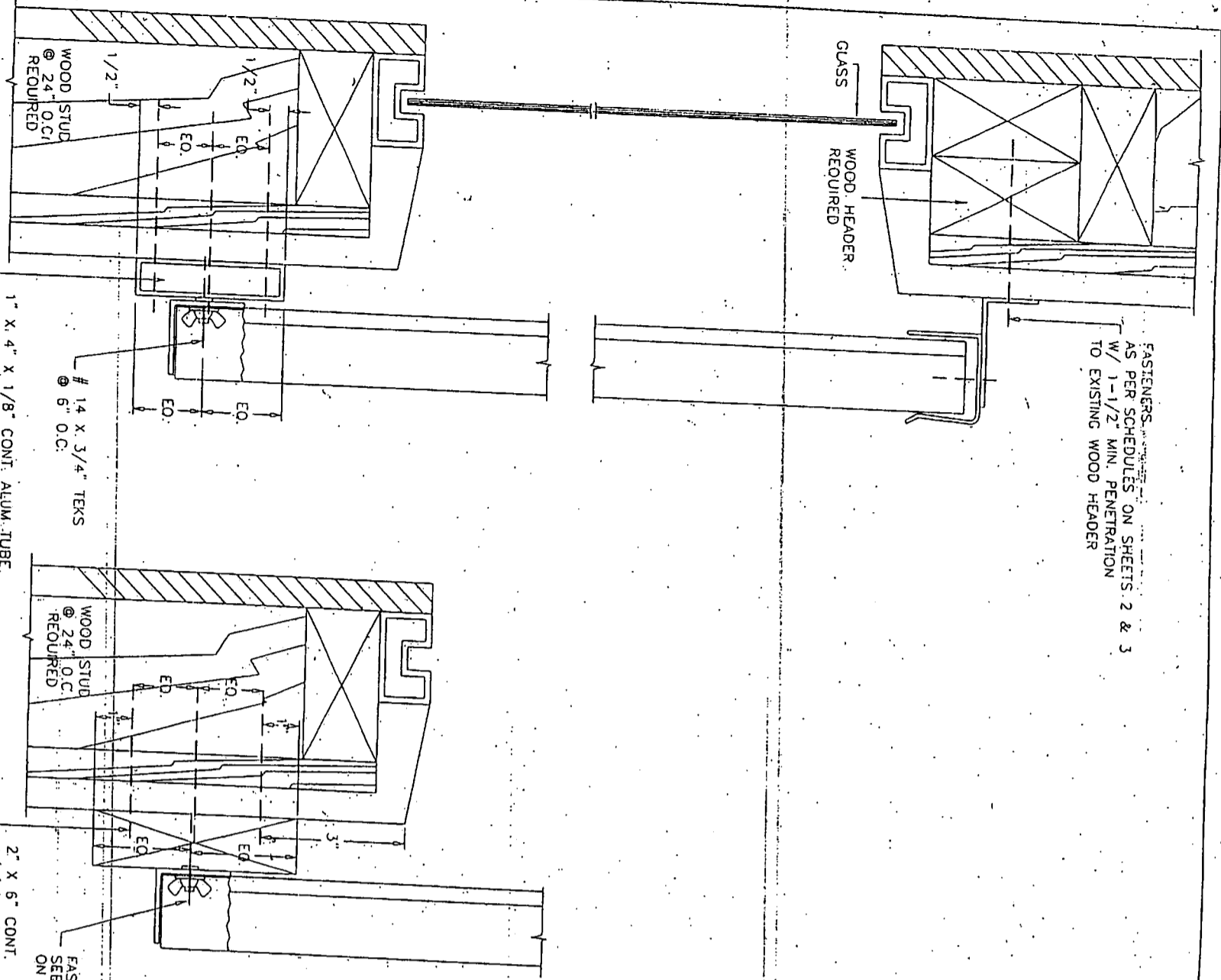


revisions:			
no	date	by	description
C	04.14.03	H	ANCHOR CHARTS REV.
H	11.24.03	H	NO CHANGE THIS SHEET

date:	06-03-94
scale:	1/2" = 1"
dr. by:	HAMID
chk. by:	

drawing no.	94-34
Sheet	3 of 6

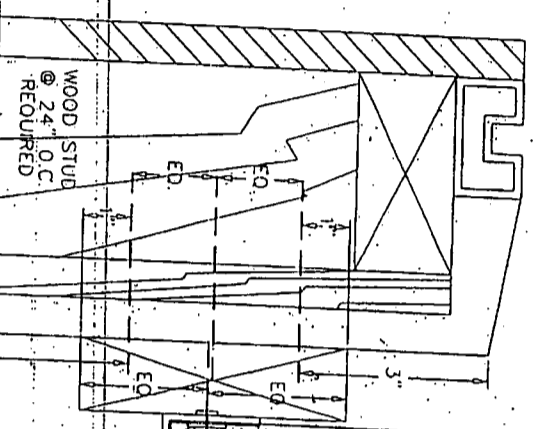
FASTENERS AS PER SCHEDULES ON SHEETS 2 & 3
W/ 1-1/2" MIN. PENETRATION
TO EXISTING WOOD HEADERS



INSTALLATION DETAIL ON EXISTING WOOD BUCKS SCALE: 1/4"=1"
FOR SHUTTER HEIGHT OF 108" MAX. DESIGN LOAD = 134.0 PSF
FOR SHUTTER HEIGHT OF 96" MAX. DESIGN LOAD = 140.0 PSF
FOR HEADER/SILL DETAILS CONNECTED TO CONTINUOUS WOOD MEMBERS SEE SHEETS 2 & 3.

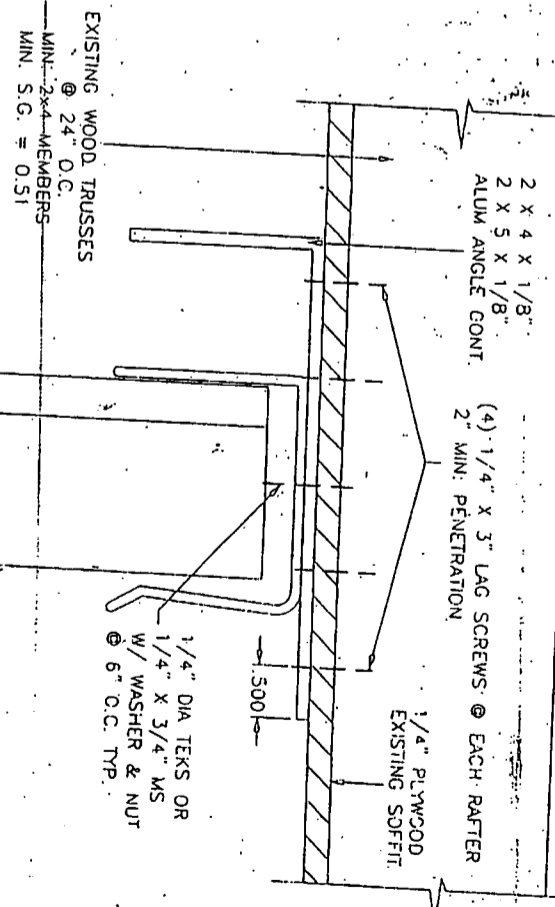
1" x 4" x 1/8" CONT. ALUM. TUBE
W/ (3) 1/4" x 4" LAG SCREWS
@ EACH STUD W/ 2" MIN. PENETRATION
INTO EXISTING STUD

14 x 3/4" TEKS
@ 6" O.C.



FASTENERS AS PER SCHEDULES ON SHEET 2 & 3

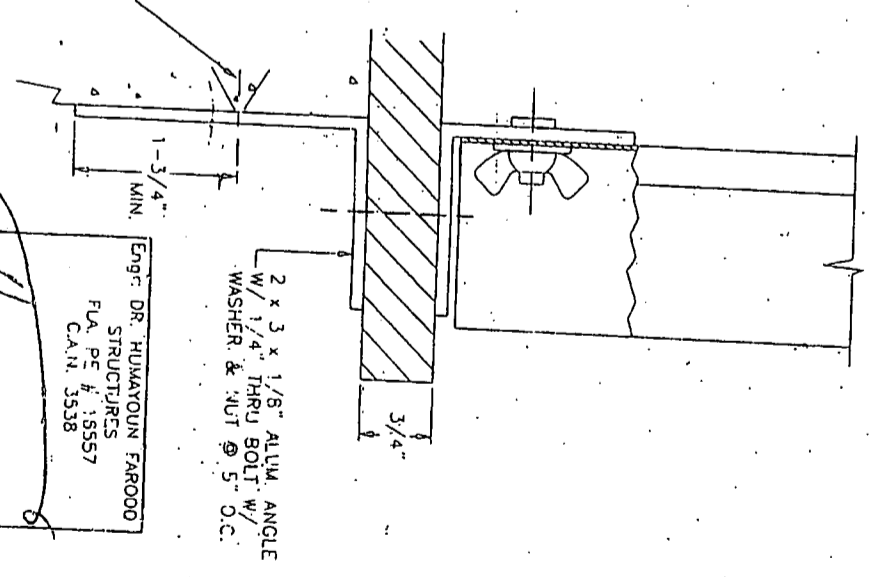
2" x 6" CONT.
W/ (3) 1/4" x 5" LAG SCREWS
@ EACH STUD W/ 2" MIN. PENETRATION
INTO EXISTING STUD



HEADER CONNECTION TO WOOD TRUSSES
FOR SHUTTER HEIGHT OF 108" MAX. DESIGN LOAD = 58 PSF
FOR SHUTTER HEIGHT OF 96" MAX. DESIGN LOAD = 65 PSF
FOR SHUTTER HEIGHT OF 84" MAX. DESIGN LOAD = 75 PSF

ANCHOR TYPE	ANCHOR SPACING INCHES	UP TO 40 PSF	UP TO 70 PSF
A	CONC. BLOCK	14.5	18.3
B	WOOD	13.8	8.2
C	CONC. BLOCK	13.8	9.5
D	WOOD	14.5	7.9
E	CONC. BLOCK	13.9	8.3
F	WOOD	8.3	24

COUNTER TOP CONDITION
(PASS THRU WINDOW)
MAX SHUTTER HEIGHT = 6 FT.

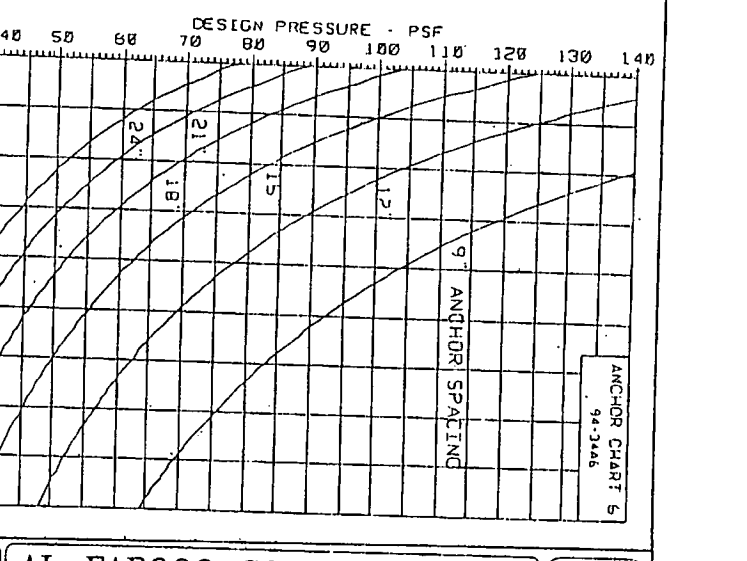
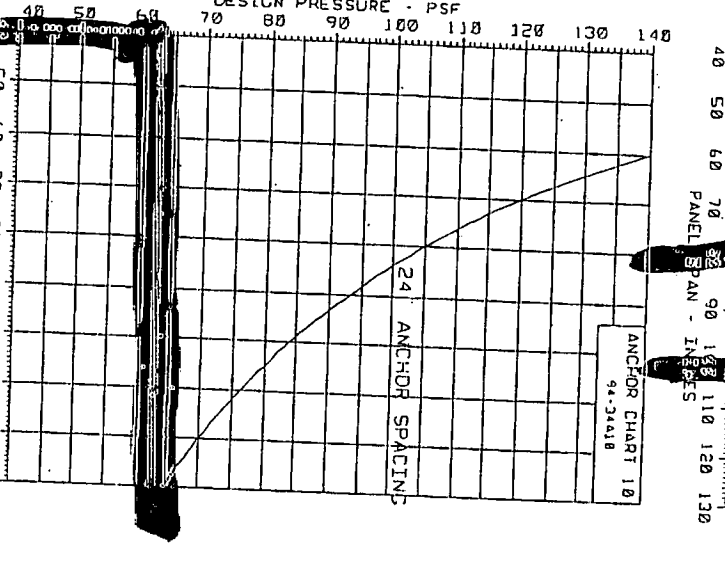
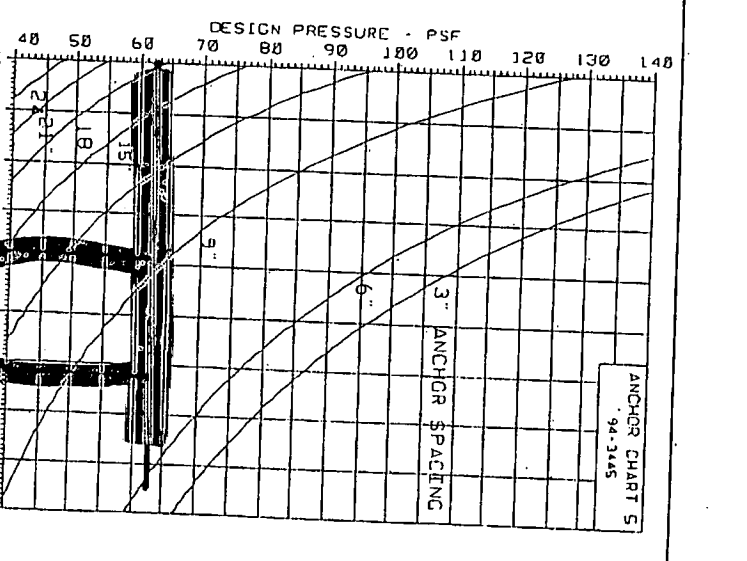
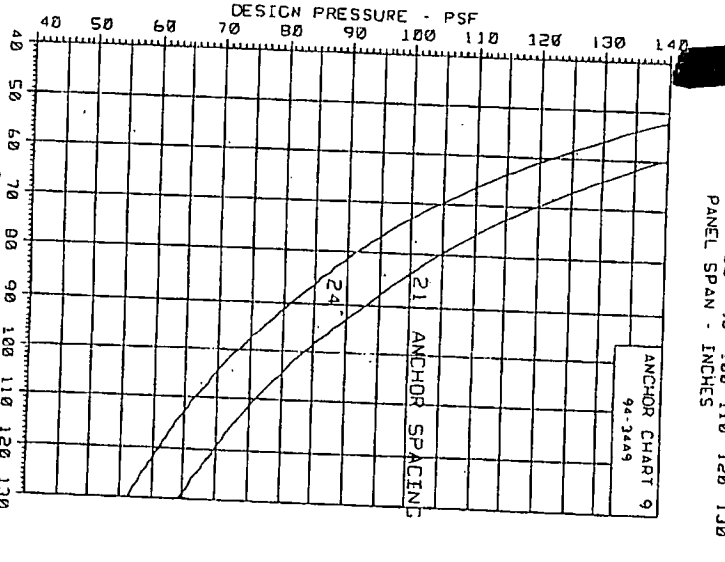
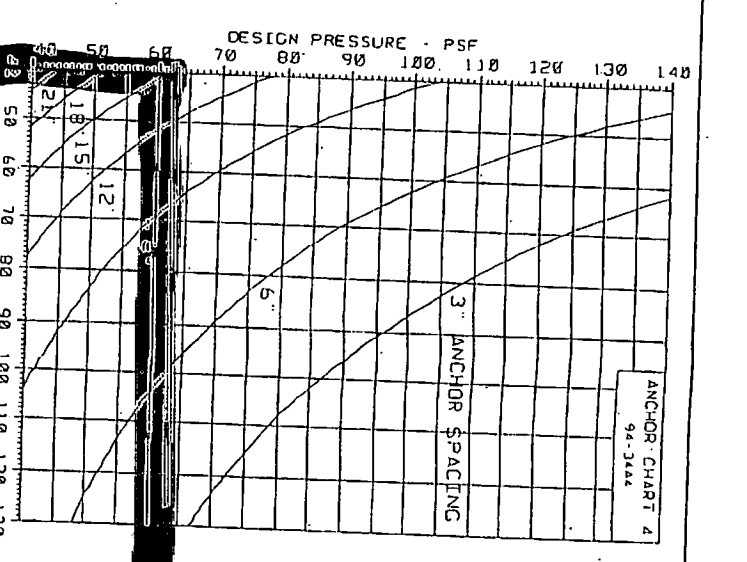
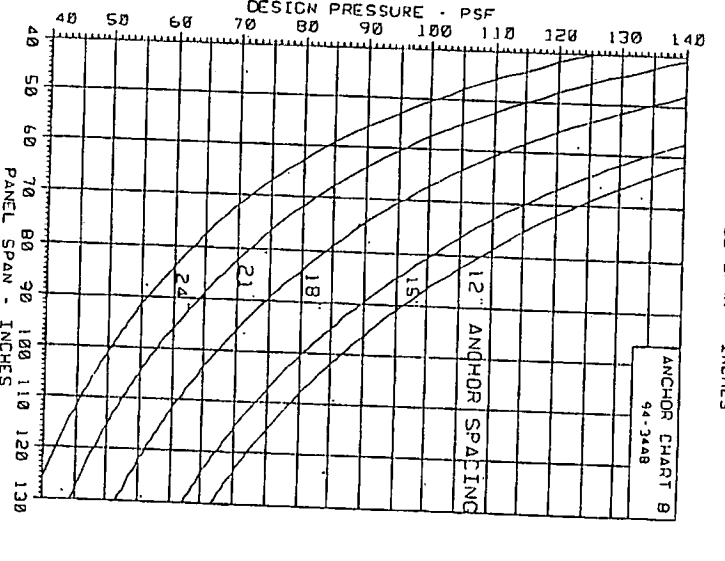
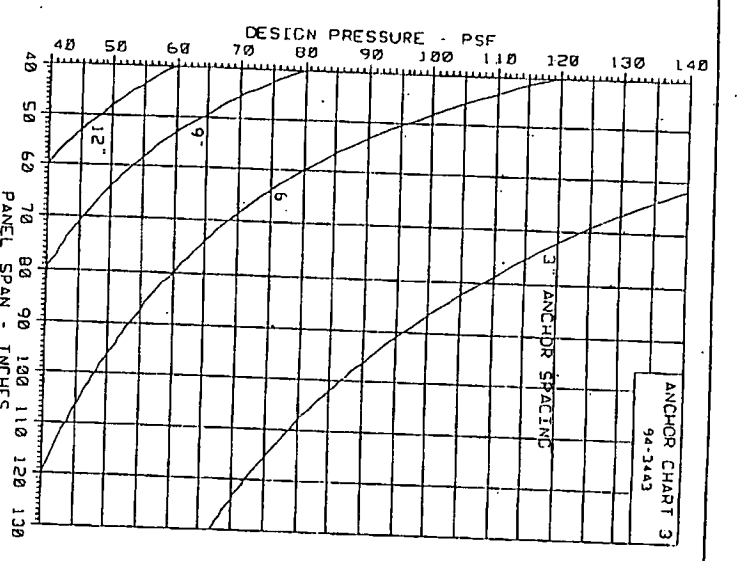
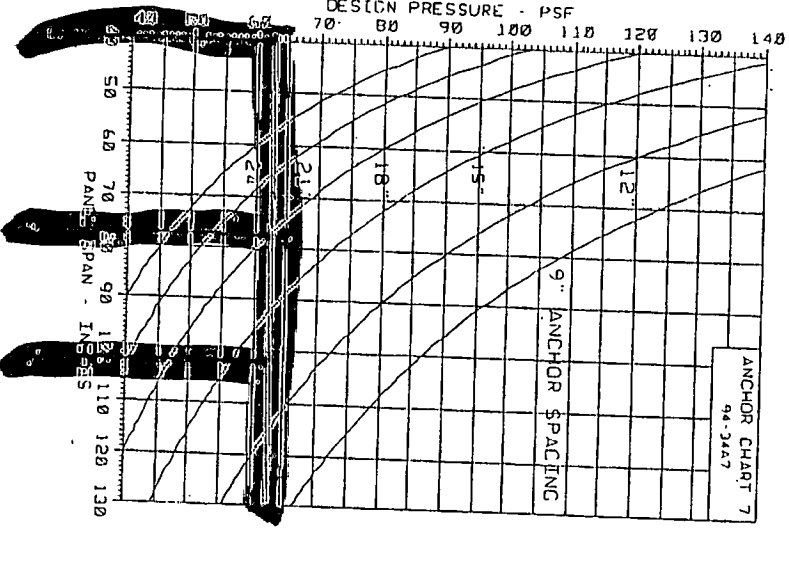
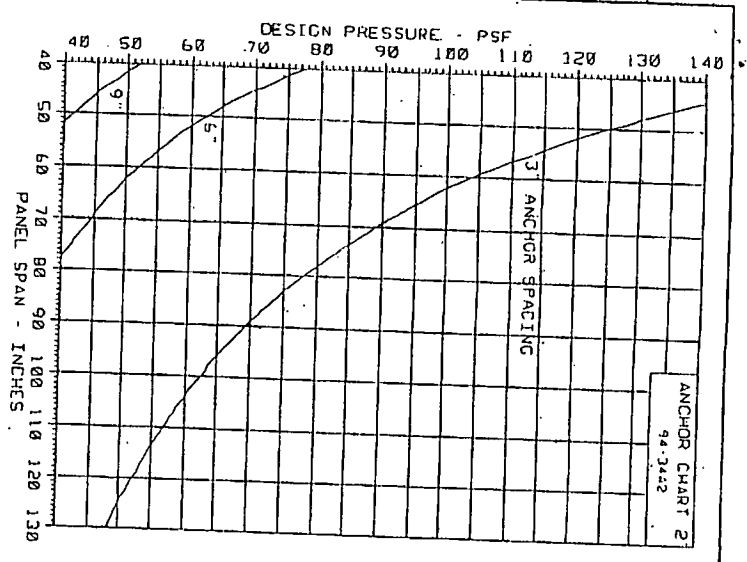


Eng: DR. HUMAYOON FAROOQ
STRUCTURES
FLA. P.E. # 15957
C.A.N. 3538

NOV 24 2003

PRODUCT REVISED:
as complying with the Florida
Building Code
Acceptance No: 03-0623-01
Expiration Date: 11/29/2008
By: *[Signature]*
Miami Deck Product Control
Division:

date: 06-03-94	revisions:	STORM PANEL DETAILS	AL-FAROOQ CORPORATION ENGINEERS, PLANNERS & PRODUCT DESIGN 1235 SW 87 AVE MIAMI, FLORIDA 33174 TEL. (305) 264-8100 FAX. (305) 262-6978
scale: 1/2" = 1'	no date by description		
dr. by: HAMID	c 04.14.03 H ANCHOR CHARTS REV.		a f c
chk. by:	H 11.24.03 H NO CHANGE THIS SHEET		
drawing no. 94-34			
Sheet 4 of 6			

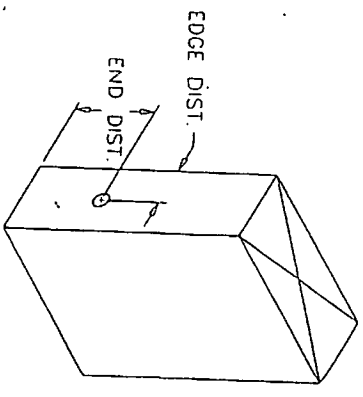


FASTENER SPACING IN MASONRY

CHARTS ARE BASED ON TYPICAL EDGE DISTANCE = 12".
FOR LESSER EDGE DISTANCE DECREASE SPACING BY
MULTIPLYING WITH THE FACTOR BELOW

EDGE DIST. 12" = 3"	1.00	0.85	0.71	0.57	0.50
EXAMPLE: FOR 3" EDGE DIST. SPACING = 12" O.C. (FROM CHART)					
FOR 2" EDGE DIST. SPACING = 12" X .71 = 8.5" O.C.					

TYPICAL EDGE DISTANCE IN WOOD = 3/4"
TYPICAL END DISTANCE IN WOOD = 1"
NO REDUCTION FACTOR IS REQUIRED



TYPICAL ANCHORS

- ANCHOR (A) = 1/4" DIA. TYPICAL ANCHORS (ALCO-TEXTIRON)
- ANCHOR (B) = #14 S.M.S. W/ 'POWERS' SCRU-LEAD
- ANCHOR (C) = 1-1/2" EMBEDMENT INTO 3000 PSI CONC.
- ANCHOR (D) = 1/4" x 1-1/4" 'POWERS' ZAMAC NAILIN.
- ANCHOR (E) = 1" EMBEDMENT TO CONCRETE OR BLOCK
- ANCHOR (F) = 1/4" DIA. TYPICAL ANCHORS (ALCO-TEXTIRON)
- ANCHOR (G) = 1/4" DIA. TYPICAL ANCHORS (ALCO-TEXTIRON)
- ANCHOR (H) = 1-7/8" EMBEDMENT TO CONC.
- ANCHOR (I) = 1-7/8" EMBEDMENT TO WOOD (S.G.=0.55)

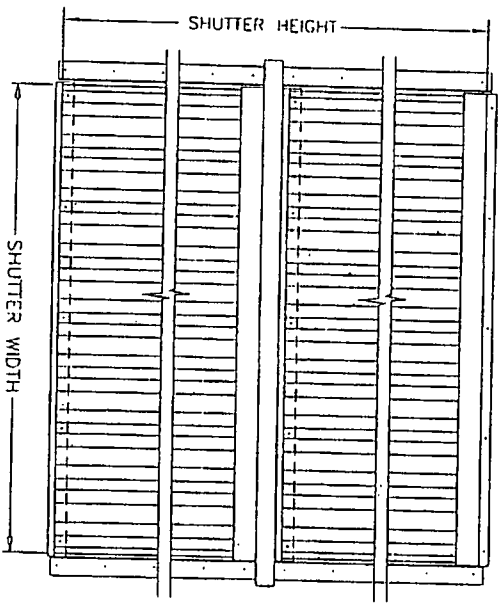
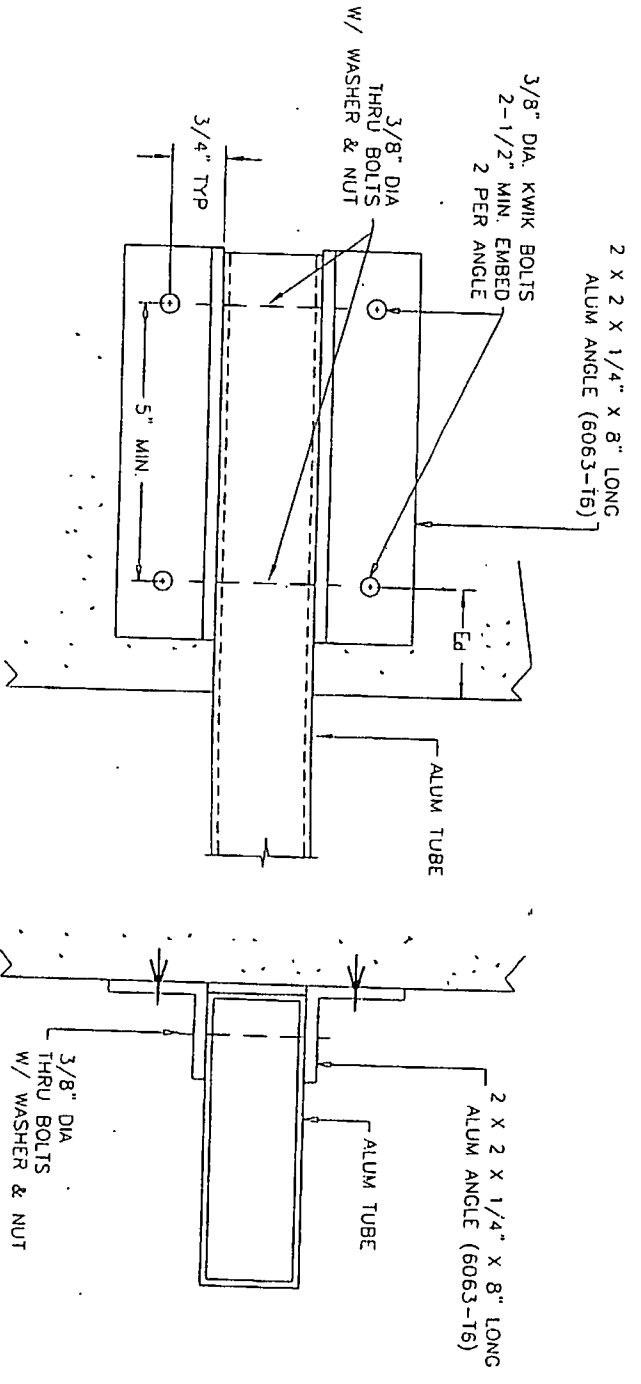
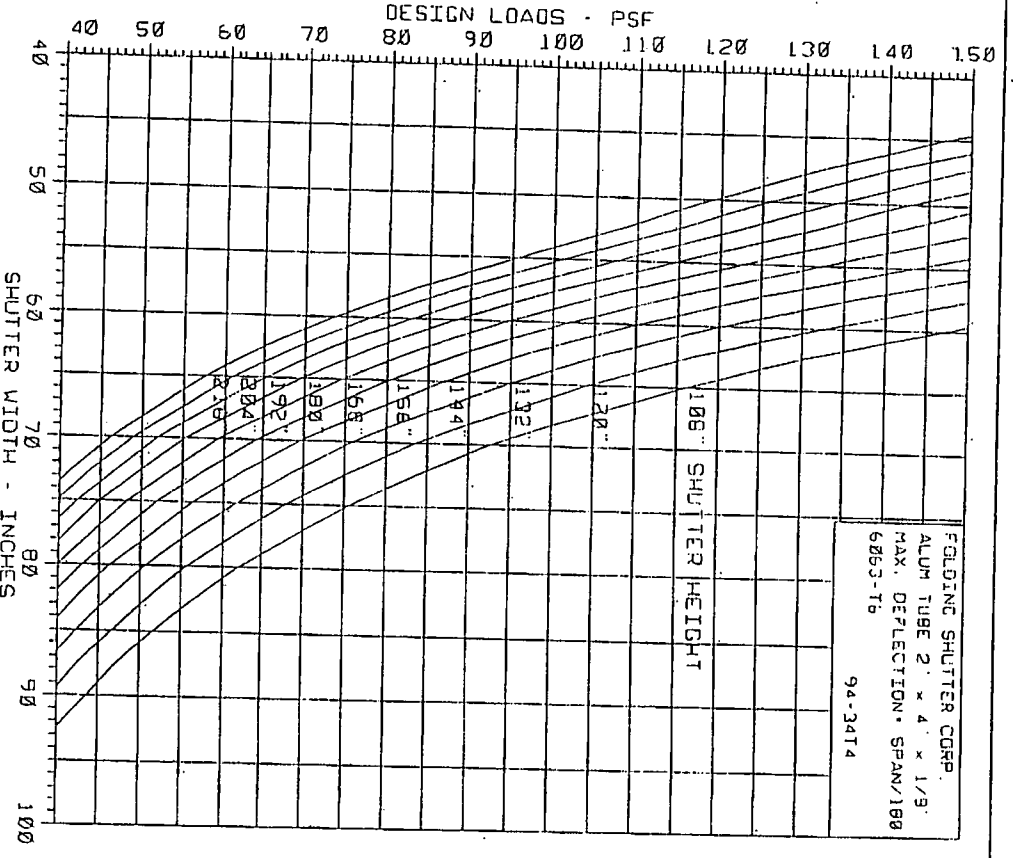
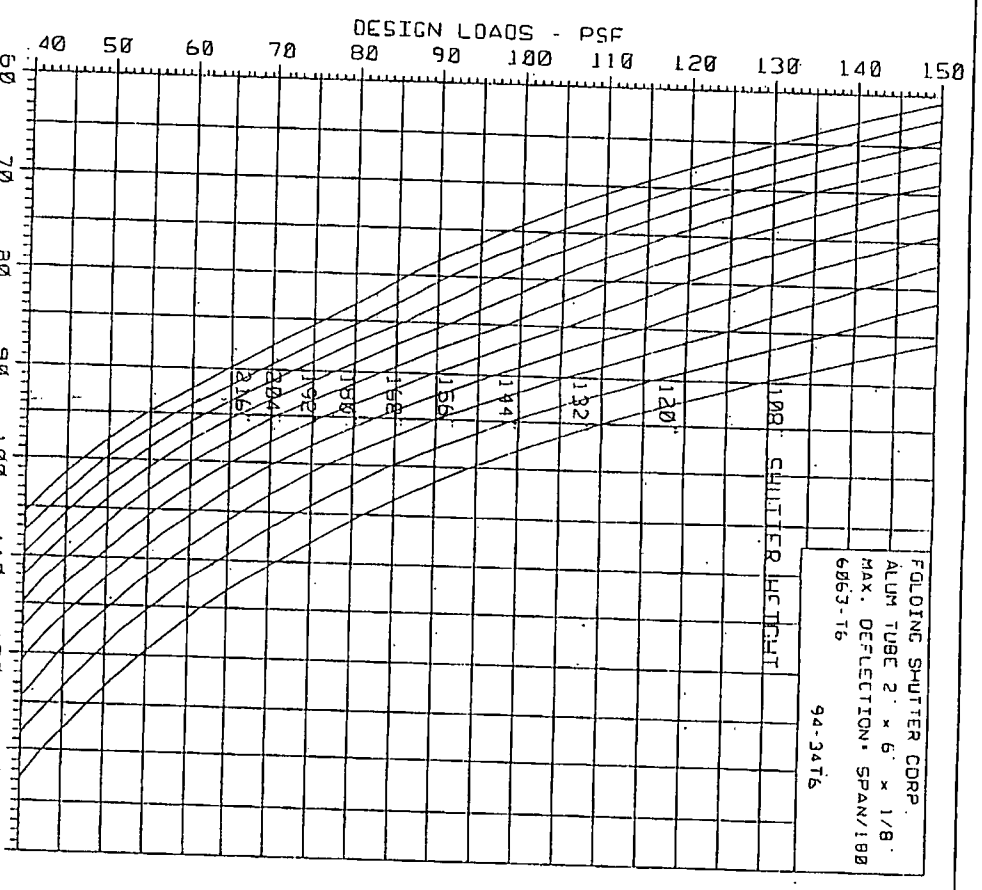
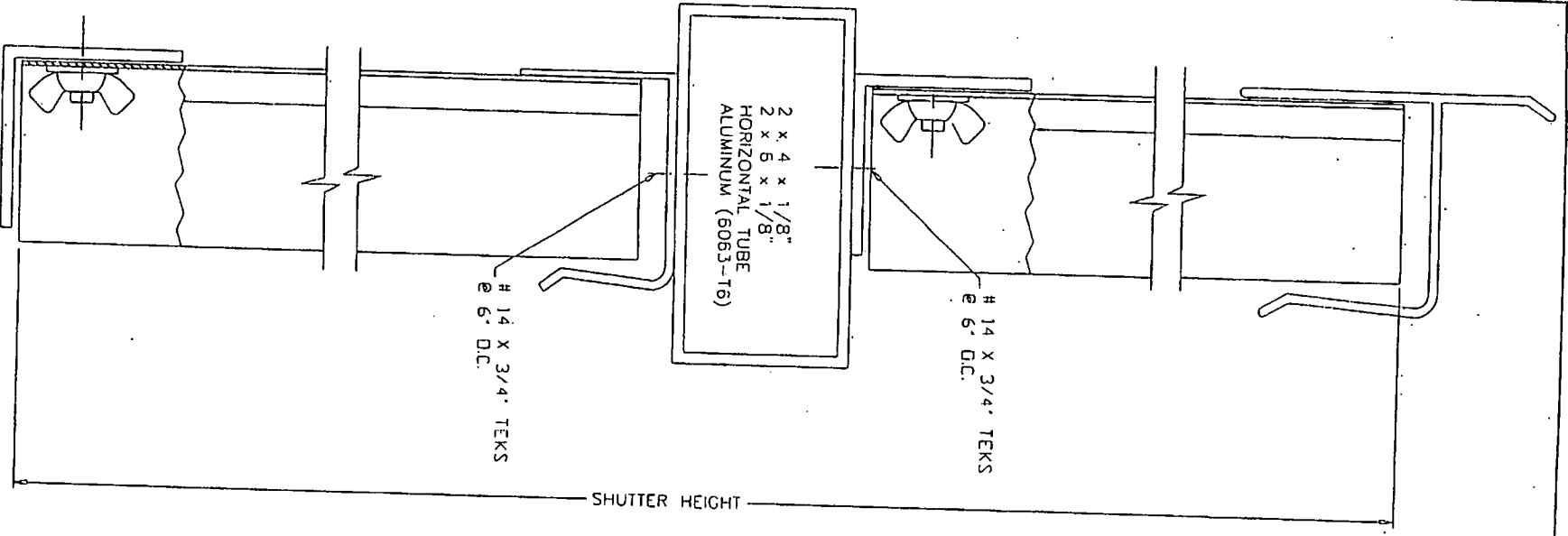
USE CHARTS 2 THRU 10 TO VERIFY ANCHOR REQUIREMENTS AND STRESS LIMITATIONS OF LOAD/SPAN COMBINATIONS FOR HEADER AND SILL.
NOTE: ANCHORS, USE FULL EMBEDMENT IN CONCRETE BEYOND THE COVERING (STUCCO, TILES, ETC.)

Eng. DR. HURAYOUN FAROOQ
STRUCTURES
T.L.A. PE # 15557
C.A.N. 3518

NOV 24 2003

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No 03-0623.01
Expiration Date 11/20/2308
By: *Heavenly H. Walker*
Miami Design Product Control
Division

date: 06-03-94 scale: 1/2" = 1" dr. by: HAMID chk. by:	revisions: <table border="1"> <tr> <th>no</th> <th>date</th> <th>by</th> <th>description</th> </tr> <tr> <td>C</td> <td>04.14.03</td> <td></td> <td>ANCHOR REV.</td> </tr> <tr> <td>H</td> <td>11.24.03</td> <td>H</td> <td>NO CHANGE THIS SHEET</td> </tr> </table>	no	date	by	description	C	04.14.03		ANCHOR REV.	H	11.24.03	H	NO CHANGE THIS SHEET	STORM PANEL DETAILS FOLDING SHUTTER CORP. 7089 HEMSTREET PLACE WEST PALM BEACH, FL 33406 TEL.(561) 683-4811 FAX.(561) 640-8204	AL-FAROOQ CORPORATION ENGINEERS, PLANNERS & PRODUCT DESIGN 1235 SW 87 AVE MIAMI, FLORIDA 33174 TEL. (305) 264-8100 FAX. (305) 262-6978	
no	date	by	description													
C	04.14.03		ANCHOR REV.													
H	11.24.03	H	NO CHANGE THIS SHEET													



TUBES MAY BE USED VERTICALLY FOR HORIZONTAL PANEL INSTALLATION.

TYPICAL ELEVATION

Engr. DR. HUSSEIN FAROOQ

STRUCTURES
FLA. P.E. # 16557
CAN. 3538

NOV 24 2003

PRODUCT REVISED
as complying with the Florida
Building Code

Acceptance No 03-0623-0
Expiration Date 11/29/2005

By *Hussein A. Farooq*
Miami Design Product Control
Division

STORM PANEL DETAILS

FOLDING SHUTTER CORP.
7089 HEMSTREET PLACE
WEST PALM BEACH, FL 33406
TEL.(561) 683-4811 FAX.(561) 640-8204

AL-FAROOQ CORPORATION
ENGINEERS, PLANNERS & PRODUCT DESIGN
1235 SW 87 AVE
MIAMI, FLORIDA 33174
TEL. (305) 264-8100 FAX. (305) 262-6978



PANELS/94-34/FSC

revisions:			
no	date	by	description
C	04.14.03		NO CHANGE THIS SHEET
H	11.24.03	H	NO CHANGE THIS SHEET

date:	06-03-94
scale:	1/2" = 1"
dr. by:	HAMID
chk. by:	

drawing no.
94-34
Sheet 6 of 6

FOR HEAD & SILL COMBINATIONS
SEE TYPICAL DETAILS AND SCHEDULES
END CLOSURE ANGLE RECD. ONLY ON BUILT-OUT CONDITION.

TUBE CONNECTION TO WALL OR FLOOR/CEILING
SCALE: 1/4"=1"

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11/28, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6911	PREISSMAN	FINAL GAS	PASS	CLOSE
1	28 RIO VISTA DR FERRELL GAS			INSPECTOR: <i>OM</i>
7882	BARSELY	FINAL HURRICANE SHUTTERS	PASS	CLOSE
2	3 NE LAGOON ISLAND FOLDING SHUTTER			INSPECTOR: <i>OM</i>
7909	GIACHINO	TEMP POLE	PASS	CALL P. LOK
3	11 WENDY LANE SEAGATE			INSPECTOR: <i>OM</i>
TREE	KRANSOE	TREE	PASS	
	112 HILLCREST MONTE			INSPECTOR: <i>OM</i>
TREE	CLEMENTS	TREE	PASS	
	60 MIDDLE ROAD O.B.			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

TREE

REMOVAL/REPLACEMENT/

RELOCATION

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

DO NOT REMOVE UNTIL JOB IS COMPLETED

OWNER S Grouzdev
CONTRACTOR MJD
LOT 10 BLOCK _____ SUB. Plantation
NO. 3 Island Lagoon Court ST. or AVE.

NO. 327
Date Issued 8/19/96

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TOWN OF SEWALL'S POINT

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty lined area for notes or drawings]

PROJECT DESCRIPTION Remove 7 Trees
Replant 2 Sabal palms

REMARKS _____

TOWN OF SEWALL'S POINT, FLORIDA

Date JULY 16 ~~2004~~ TREE REMOVAL PERMIT No 2301

APPLIED FOR BY CARLSEN (Contractor or Owner)

Owner 3 NE LAGOON ISLAND

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 COCONUT PALM

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant

Signed, Jane Simmons (698)
Town Clerk
BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberrry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Steve Eadsley Address #3 NE Lagoon Island Phone 286 8300

Contractor Tropical palms Address PO Box 2104 Phone 781-2979

No. of Trees: REMOVE 1 Type: Coconut palm Fell over in Lagoon in back yard

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Palm Split & Fell over in Lagoon in back yard

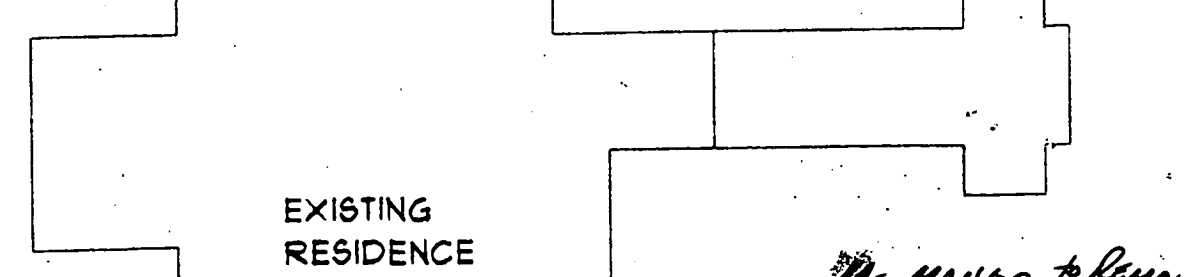
Signature of Applicant Michael Eadsley (Michael Eadsley) Date June 14-04
House Insp

Approved by Building Inspector: [Signature] Date 7/16 Fee: 0

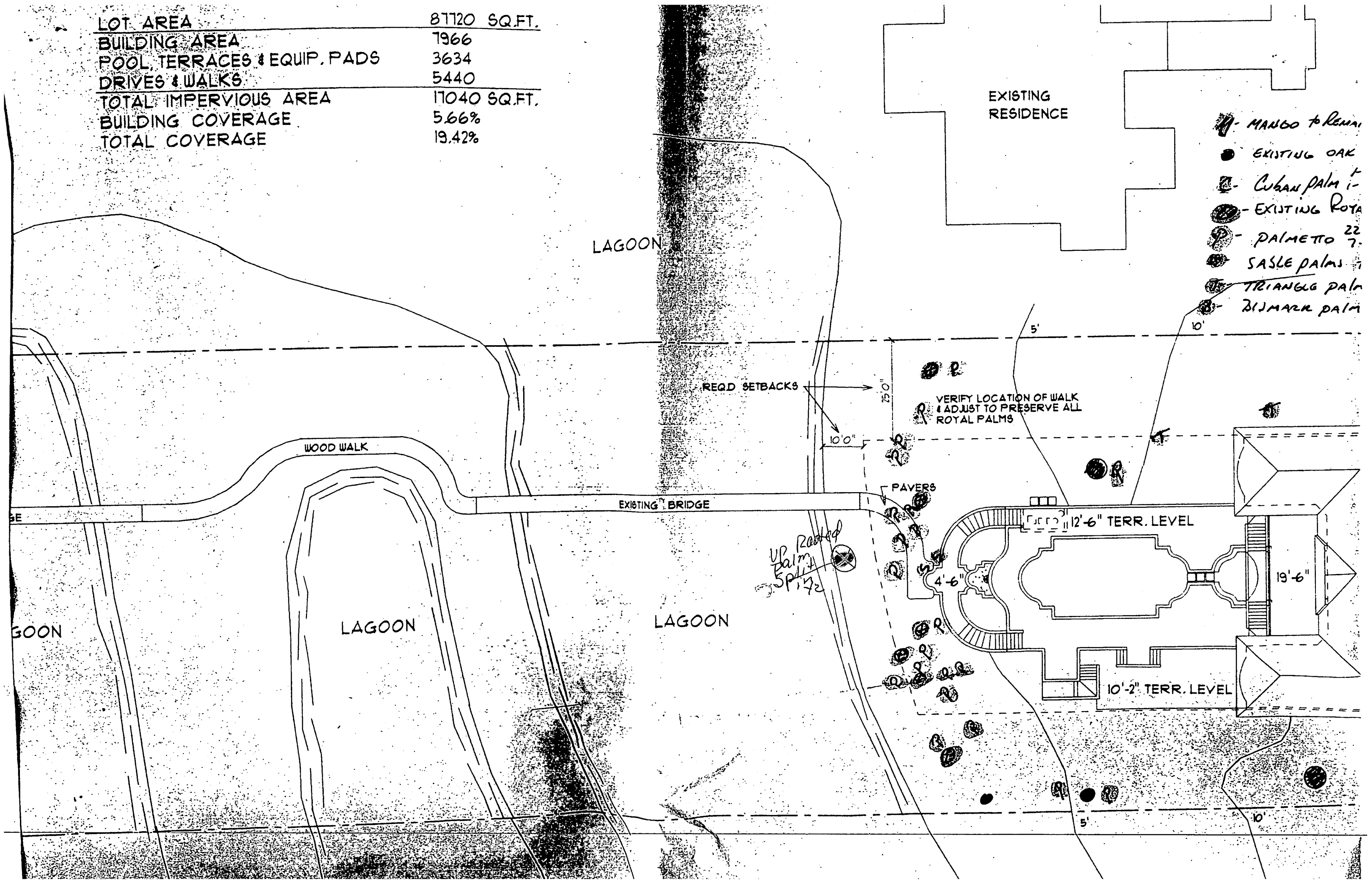
Plans approved as submitted _____ Plans approved as revised/marked: _____

Palm is in Lagoon in back
Yard - Split in half.

LOT AREA	87720 SQ.FT.
BUILDING AREA	7966
POOL, TERRACES & EQUIP. PADS	3634
DRIVES & WALKS	5440
TOTAL IMPERVIOUS AREA	17040 SQ.FT.
BUILDING COVERAGE	5.66%
TOTAL COVERAGE	19.42%



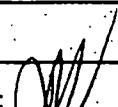

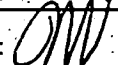
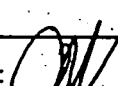
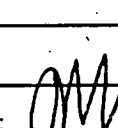
- MANGO to remain
- EXISTING OAK
- Cuban Palm 1
- EXISTING ROYAL
- PALMETTO 22
- SASLE PALMS 7
- TRIANGLE PALM
- BISMARCK PALM



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7/16, 2004 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6581	LASKY	PARTIAL TINTAR	PASS	
1A	27 W. HIGH POINT	ON FLAT ROOF		
	SEAGATE BLDGS	EARLY PLEASE		INSPECTOR: 
6480	WADE	TIE BEAM	FAIL	
1	9 E. HIGH POINT			\$40 FEE
	PINE ORCHARD			INSPECTOR: 
6232	MOORE	POWER RELEASE	PASS	CALL FPL TO
8	5 Oak Hill Way			INSTALL METER
	AR HOMES			INSPECTOR: 
6678	DUNKER	FOOTER PREPOUR	FAIL	
7	19 PERRIWINKLE CRES	SCRE. ENCL.		
	COASTAL ALUMINUM			INSPECTOR: 
6678	CARLSEN	TREE	PASS	
	3 NE LAGOON ISL			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

2/16/01 SCRP/OSP

RECEIVED	FEB 15 2001
Permit #	0410

Date Issued 2/16/01

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Jack Heckenbers Address 5 NE LAGOON ISL CT Phone 521-3099

Contractor SELF Address _____ Phone _____

Number of trees to be removed(list kinds of trees) _____

2 -
Number of trees to be relocated within 30 days(no fee)(list kinds of trees):

2 Sable Palms 1 Queen Palm DBL TAPED ORANGE
Number of trees to be replaced (list kinds of trees):

Permit Fee \$ ~~(\$25.00 first tree plus \$10.00 - each additional tree - no to exceed \$100.00)~~ \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved, as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 2-15-01

Approved by Building Inspector [Signature] Date 2/16/01

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

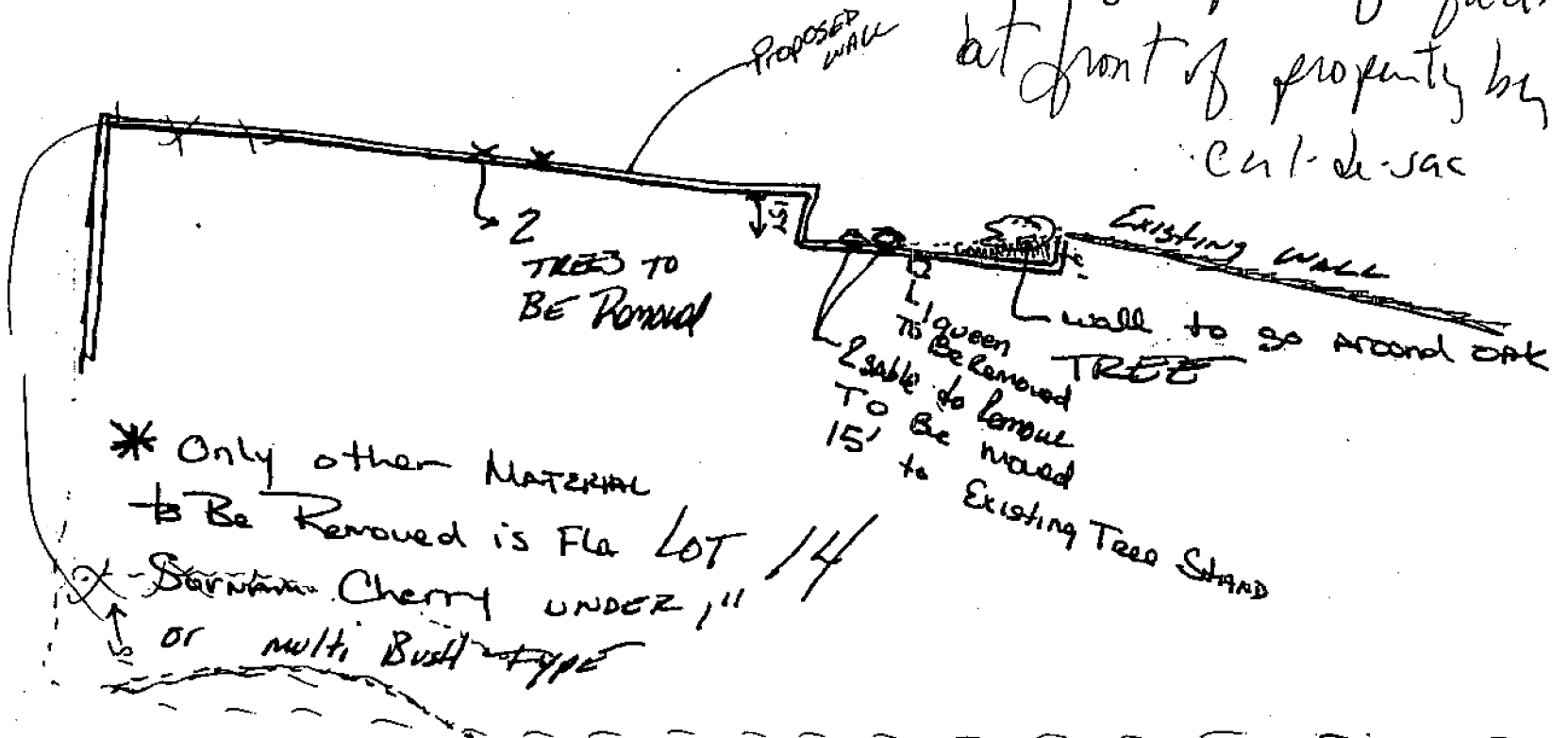
THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBTAINING A PERMIT~~ **PERMIT** BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

Lot 14

PLANTATION @ Sawells Pt

Moving 6" trees from prop wall area & putting in place of 3' ficus at front of property by cut-in-sac



* Only other MATERIAL to be removed is Fla LOT 14

Sourwood Cherry UNDER 11" or multi Bush type