

# 5 Lantana Lane

732

SFR

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RECEIVED  
AUG 3 1977

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 732  
Date 2 Aug 8/3/77

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner GUSTAV Schuckow Present Address \_\_\_\_\_ Ph \_\_\_\_\_

General Contractor ROYER MORAN Address \_\_\_\_\_ Ph \_\_\_\_\_

Where licensed MARTIN Co. License No. 27

Plumbing Contractor HOEDINGER License No. \_\_\_\_\_

Electrical Contractor D.J. HARMAN License No. \_\_\_\_\_

Street building will front on 5 LANTANA Lane

Subdivision RIO VISTA Lot No. 30 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft 1500

Other Construction (Pools, additions, etc.) NONE

Contract Price (excluding land, rugs, appliances, landscaping) \$ 31,000

Total cost of permit \$ 175<sup>00</sup> 155<sup>00</sup>  
20

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

[Signature]  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

[Signature] for GUSTAV Schuckow  
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

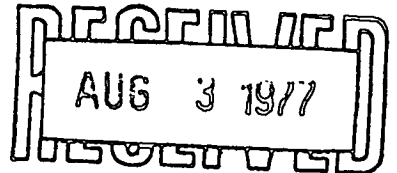
TOWN RECORD

Date submitted 8/5/77 [Signature]

Date approved 8/14/77 [Signature]

Certificate of Occupancy issued [Signature] Date 12/14/77 11:15 AM # 732

Application and Permit  
of  
Individual Sewage Disposal Facilities



THIS PERMIT EXPIRES ONE (1)  
YEAR FROM DATE OF ISSUANCE

Application/Permit  
No. HD 77-572

MARTIN County Health Department

Section I - Instructions:

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of plat of subdivision. If not platted, attach metes and bounds description.
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call 287-2277 and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.) LANTANA LANE  
 Lot 30 Block \_\_\_\_\_ Subdivision RIO VISTA  
 Date Platted \_\_\_\_\_ Directions to Job SEAQUIP RD TO  
RIO VISTA DR. W. TO LANTANA LANE.
2. Owner or Builder Charles W. Morgan  
 P.O. Address \_\_\_\_\_ City SE. OCEAN BLVD.  
 Septic tank system to be installed by:

Scale 1" = 50'

2 BR

(Rear)

3. Specifications:

750 gallon tank with  
170 square feet of  
drainfield with at least  
4" inside diameter pipe.

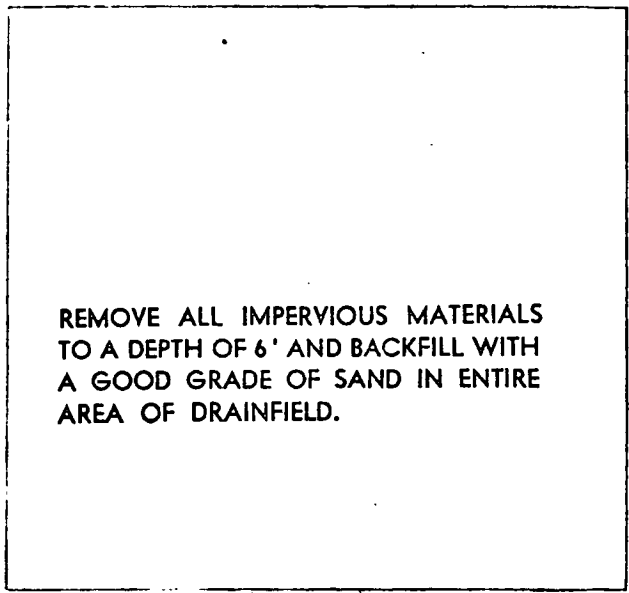
4. House to be constructed:

Check one:  FHA  
 VA  Conventional

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: ROGER MORGAN  
Please Print

(Name of Street or State Road)  
(Side)



(Name of Street or State Road)  
(Side)

(Front)

(Name of Street or State Road)

Signature: Roger Morgan

Date: 7/28/77

\*\*\*\*\* DO NOT WRITE BELOW THIS LINE \*\*\*\*\*

Section III - Application Approval & Construction Authorization

Installation subject to following special conditions: MAINTAIN A 10' SEPARATION FROM ANY PUBLIC WATER LINES.

The above signed application has been found to be in compliance with Chapter 10D-6, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By: Mark A. Weiss County Health Dept. MARTIN Date 7/28/77

Section IV - Final Construction Approval

Construction of installation approved:  Yes  No

Date: \_\_\_\_\_ By: \_\_\_\_\_

FHA No. \_\_\_\_\_ VA No. \_\_\_\_\_

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#770



DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES  
DIVISION OF HEALTH

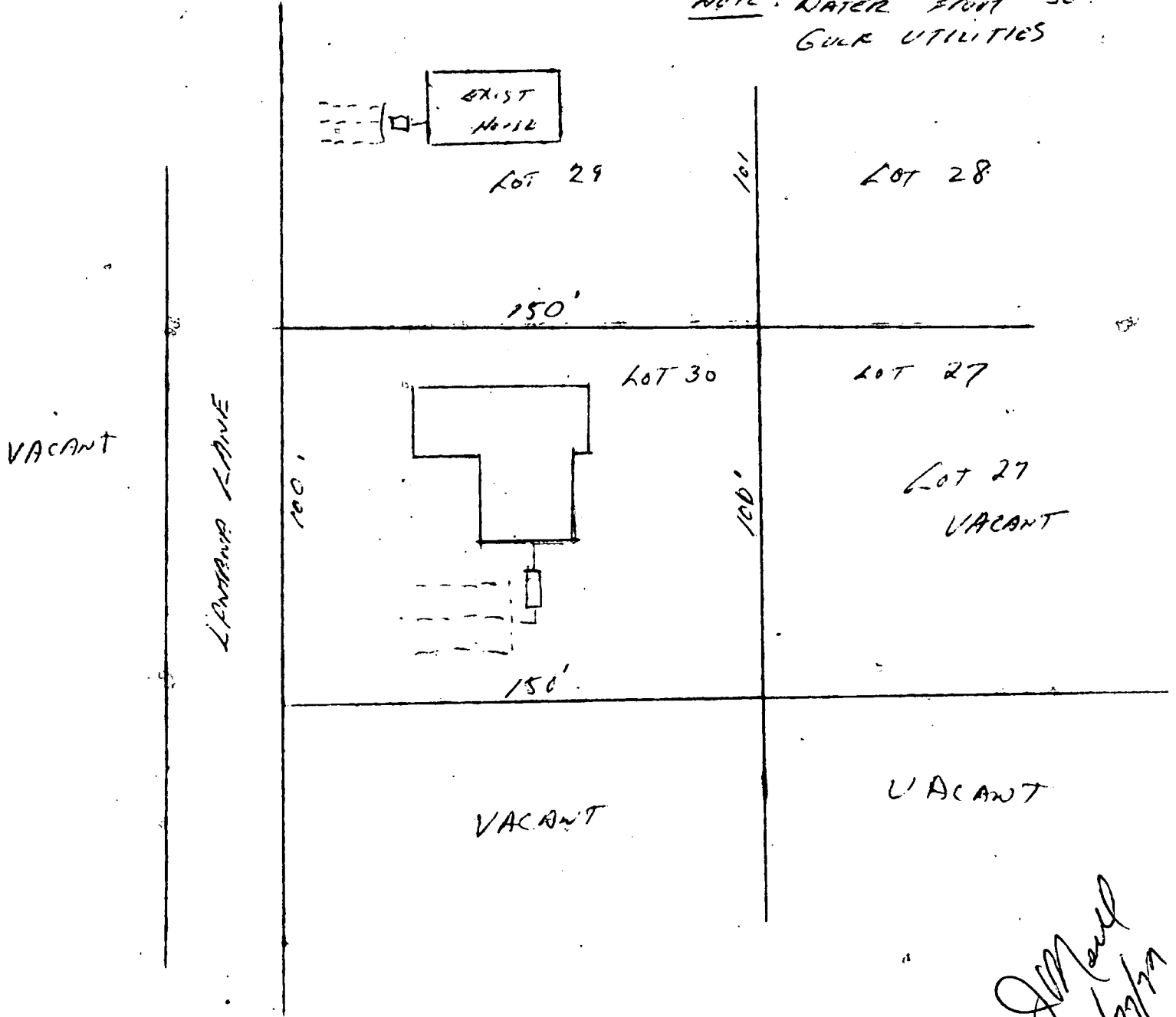
INDIVIDUAL SEWAGE DISPOSAL FACILITIES

DATA SHEET

Location: LOT 30 Applicant: SCHICKDANZ BROS.  
RIO VISTA County: MARTIN

NOTE This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply, nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.

NOTE: WATER FROM SO GULF UTILITIES



PLAN 40  
Scale 1" = 40'

SOIL BORING LOG

Soil Identification CLASS I GROUP SW  
Soil Characteristics SANDY

Percolation Rate 14 min/inch

Water Table Depth 3'-9"

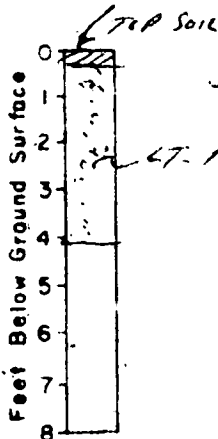
Water Table Depth During Wet Season 3'-9"

Compacted Fill Of 0 Req'd

Compacted Fill Checked By \_\_\_\_\_

Date \_\_\_\_\_

SOIL DATA



NOTE: SOIL DATA FROM 76-576

LEGEND

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

CERTIFIED BY: J. Mail

FLORIDA PROFESSIONAL No 16756

Date 7/28/77 Job No. 77-119-03

Sheet 2 of 2

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date \_\_\_\_\_

This is to request that a Certificate of Approval for Occupancy be issued to \_\_\_\_\_

For property built under Permit No. 732 Dated \_\_\_\_\_

when completed in conformance with the Approved Plans.

\_\_\_\_\_  
Signed

\*\*\*\*\*

RECORD OF INSPECTIONS

Item	Date	Approved by
Footings	8/9/77	8/18/77 SLAB
Rough plumbing	8/16/77	
Perimeter beam	8/26/77	
Rough electric		
Close in	10/6/77	
Final plumbing	12/14/77	
Final electric		

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector \_\_\_\_\_ date

Approved by Town Commission \_\_\_\_\_ date

Utilities notified \_\_\_\_\_ date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

Gustav Schickedanz  
Lot 30, Rio Vista  
5 Lantana Lane

#732

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date E. Aug 77  
August 9, 1977

This is to request that a Certificate of Approval for  
Occupancy be issued to Gustav Schickedanz

For property built under Permit No. 732 Dated August 9, 1977

when completed in conformance with the Approved Plans.

[Signature]  
Signed

\*\*\*\*\*

RECORD OF INSPECTIONS

Item	Date	Approved by
Footings	8/9/77	8/18/77 Slab Charles Duryea
Rough plumbing	8/16/77	"
Perimeter beam	8/26/77	"
Rough electric	8/6/77	"
Close in	8/6/77	"
Final plumbing	12/14/77	"
Final electric	12/14/77	"

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector [Signature] 12/14/77 date

Approved by Town Commission [Signature] 12/14/77 date

Utilities notified 11:15 a.m. 12/14/77 date

Original Copy sent to Roger Morgan

(Keep carbon copy for Town files)

#732

1818

SATTELITE DISC

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Dock

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number 1818

Date 5/20/85

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Wilson & Rhoda Wheeler Present Address Shantona Way  
Phone 286-0564 Sewalls Point

Contractor Sharon Pettie Address 235 Chilian  
Phone 655-0111 P.B. FIA

Where licensed General Contractor License number CGC 019763  
County wide

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Roofing contractor \_\_\_\_\_ License number \_\_\_\_\_

Air conditioning contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Satellite Disc - SINGLE FAMILY HOME

State the street address at which the structure will be built:

5 Shantona way

Subdivision Rio Vista Lot number 30 Block number 2

Contract price \$ 2000 Cost of permit \$ 10-

Plans approved as submitted X Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Sharon Pettie

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Rhoda S. Wheeler

Date submitted 5/24/85 TOWN RECORD Approved Bohman 5/24/85  
Building Inspector Date

Approved JC Strubee 8/29/85 Final Approval given \_\_\_\_\_  
Commissioner Date Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date

# TOWN *of* SEWALL'S POINT

One South Sewall's Point Road, Sewall's Point, Stuart, Florida 33494

## COMMISSIONERS

JOHN C. GUENTHER, Mayor  
GILBERT C. STRUBELL, Vice Mayor  
MIMI TOWL, Commissioner  
CLIFFORD B. DRAKE, Commissioner  
ROBERT R. AUNE, Commissioner

TELEPHONE (305) 287-2455

JOAN H. BARROW  
Town Clerk  
F.J. MATUSZEWSKI  
Chief of Police

July 30, 1985

Rhoda Wheeler  
5 Lantana Lane  
Sewall's Point  
Stuart, Florida 33494

Dear Mrs. Wheeler:

As I have had no response to my June 21st letter regarding the screening of your satellite antenna, I am proceeding with Code Enforcement Board procedures. I enclose the written notice of first violation as well as my affidavit regarding this violation.

If I have not heard from you within ten days then a second notice of violation will be sent.

Sincerely,

TOWN OF SEWALL'S POINT

Peter Johnsen, Building Inspector

PJ:jb

CODE ENFORCEMENT BOARD  
of the  
TOWN OF SEWALL'S POINT, FLORIDA

Report of Violation of Technical  
Provisions of the Code of Ordinances

Section I - First Offense

Name(s) of offender(s): Rhoda Wheeler

Address: 5 Lantana Lane, Sewall's Point, Stuart, Florida 33494

Address where violation observed if other than above: \_\_\_\_\_

Violation: Code Section No. XI, N-3 (Give description of violation including date, time and duration of violation):

Installation of satellite antenna with improper screening. On 5/24/85 Mrs. Wheeler was granted a permit for installation of a satellite antenna. She was told by the building inspector that the antenna would have to be screened. On June 21, 1985 the building inspector wrote a letter again reminding the Wheelers of the screening requirement. No response has been received and no action has been taken to screen the antenna.

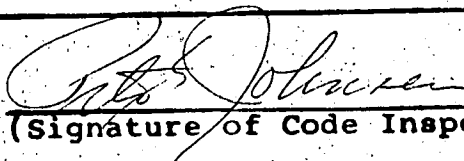
Date and time violation brought to attention of offender: \_\_\_\_\_

6/21/85 (letter) and 7/30/85 (first notice Code Enforcement Board procedure)

Action taken by Code Inspector: see above -violator given ten days to correct problem

Response of Offender: none

Case No. assigned: \_\_\_\_\_

  
(Signature of Code Inspector)

AFFIDAVIT

STATE OF FLORIDA, COUNTY OF MARTIN, TOWN OF SEWALL'S POINT

In the name of the Town of Sewall's Point, Florida: The undersigned certifies that he has just and reasonable grounds to believe, and does believe that:

On the 30th day of July, 1985, at 9:30 a.m., Rhoda Wheeler

whose address is 5 Lantana Lane at (location) 5 Lantana Lane in the Town of Sewall's Point, Florida, committed the following offense(s):

1. installed a satellite antenna in rear yard without sufficient concealment on the south side

2.

In violation of Town of Sewall's Point Code of Ordinances Section XI, N-3, or in violation of Section of the Ordinances of the Town of Sewall's Point.

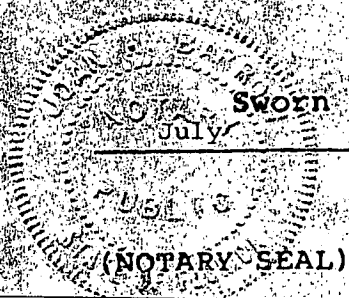
Additional information re: violation(s):

Violator informed of violation on June 21, 1985, no response has been received and no action has been taken to correct violation.

I swear the above and attached statements are true and correct to the best of my knowledge and belief.

[Signature]

Sworn to and subscribed before me this 30 day of July, 1985.



Dean H. Barrow Notary Public STATE OF FLORIDA AT LARGE My Commission Expires:

Notary Public, State of Florida My Commission Expires Nov. 16, 1986



sent 6-21-85

# TOWN of SEWALL'S POINT

One South Sewall's Point Road, Sewall's Point, Stuart, Florida 33494

**COMMISSIONERS**

GEORGE W. HARRIS, Mayor  
JAMES H. BARRON, Town Clerk  
ED. MALENT, Chief of Police  
WILLIAM J. ...  
...  
...

TELEPHONE (305) 287-2455

JUAN H. BARRON  
Town Clerk  
ED. MALENT, Chief of Police

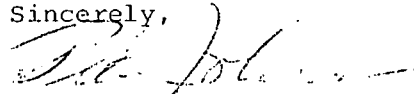
Mr. Wilson Wheeler  
5 Lantana Lane  
Sewall's Point  
Stuart, Florida 33494

Dear Mr. Wheeler:

Town of Sewall's Point ordinances state that satellite television antenna systems shall be concealed from the view of adjacent properties. Kindly refer to Appendix B-Zoning, XI, paragraph 3 (copy enclosed). It appears that the satellite antenna you have recently installed needs to be screened on the south side.

Thank you for your cooperation.

Sincerely,



Peter Johnsen, Building Inspector  
TOWN OF SEWALL'S POINT

PJ:jb  
Enclosure:

# TOWN of SEWALL'S POINT

Sewall's Point Road, Sewall's Point, Stuart, Florida 33494

TELEPHONE (305) 287-2455

JOHN C. G.  
GILBERT C.  
MIMI TOWN  
CLIFFORD  
ROBERT R.

JOAN H. BARROW  
Town Clerk  
F.J. MATUSZEWSKI  
Chief of Police

June 12, 1985

Inc.

ada 33404

Permit application # 1818 it shows you applied for  
price of two thousand dollars. The owner's affidavit  
however, was for over four thousand dollars.

this discrepancy.

Sincerely,

TOWN OF SEWALL'S POINT



Peter Johnsen, Building Inspector

Permit # 1878

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA  
COUNTY OF MARTIN

BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 4200.00.

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.

William J. Wheeler  
Affiant  
Property street address:  
5 Lantana Lane

Sworn to and subscribed  
before me this 11 day of  
June, 1985.

Joan H. Parrow  
Notary Public  
STATE OF FLORIDA AT LARGE  
My Commission Expires:

(NOTARY SEAL)

Notary Public  
Commission Expires May 4, 1988

Home ENTERTAINMENT Inc.  
3892 PROSPECT AVE  
Bay No. C-4  
RIVIERA BEACH FLA. 33404

DEAR SIR -

UPON REVIEWING PERMIT APPLICATION. YOU APPLIED  
FOR SAME AT A CONTRACT PRICE OF TWO THOUSAND  
DOLLARS. THE OWNER'S AFFIDAVIT OF BUILDING COST  
WAS OVER FOUR THOUSAND DOLLARS -

PLEASE EXPLAIN THE DISCREPANCY -

#1818

Home Entertainment Inc.  
3892 Prospect Ave.  
Box No 2-4  
Riviera Beach Fla. 33404

Dear Sir. -

Upon receiving permit applications, you  
applied for same for a two thousand dollar

JAMES L. TITZEL, P.E.

Consulting Engineer

Rm. 109 Lakeview Bldg. 513 U.S. Hwy. No. 1

NO. PALM BEACH, FL 33408

(305) 844-7249

JOB: TRAINING CENTER  
HOME ENTERTAINMENT ETC  
 SHEET NO. \_\_\_\_\_ OF MAY 13 1985  
 CALCULATED BY J.L.T. DATE \_\_\_\_\_  
 CHECKED BY J.L.T. DATE \_\_\_\_\_  
 SCALE AS SHOWN

NOTE: Satellite Dish and Pole  
 Installation will with-  
 stand a windload of 120 mph  
 or 30 lbs. per sq. ft.

SEABRESS®  
 ALUMINUM  
 MESH DISH

ANTENNA MOUNTING  
 CONNECTION

3 1/2" SCHEDULE  
 40 STEEL PIPE

5'-6"

3 1/2"

12" x 12"

2500 PSI CONC  
 ENCASEMENT.

ELEVATION

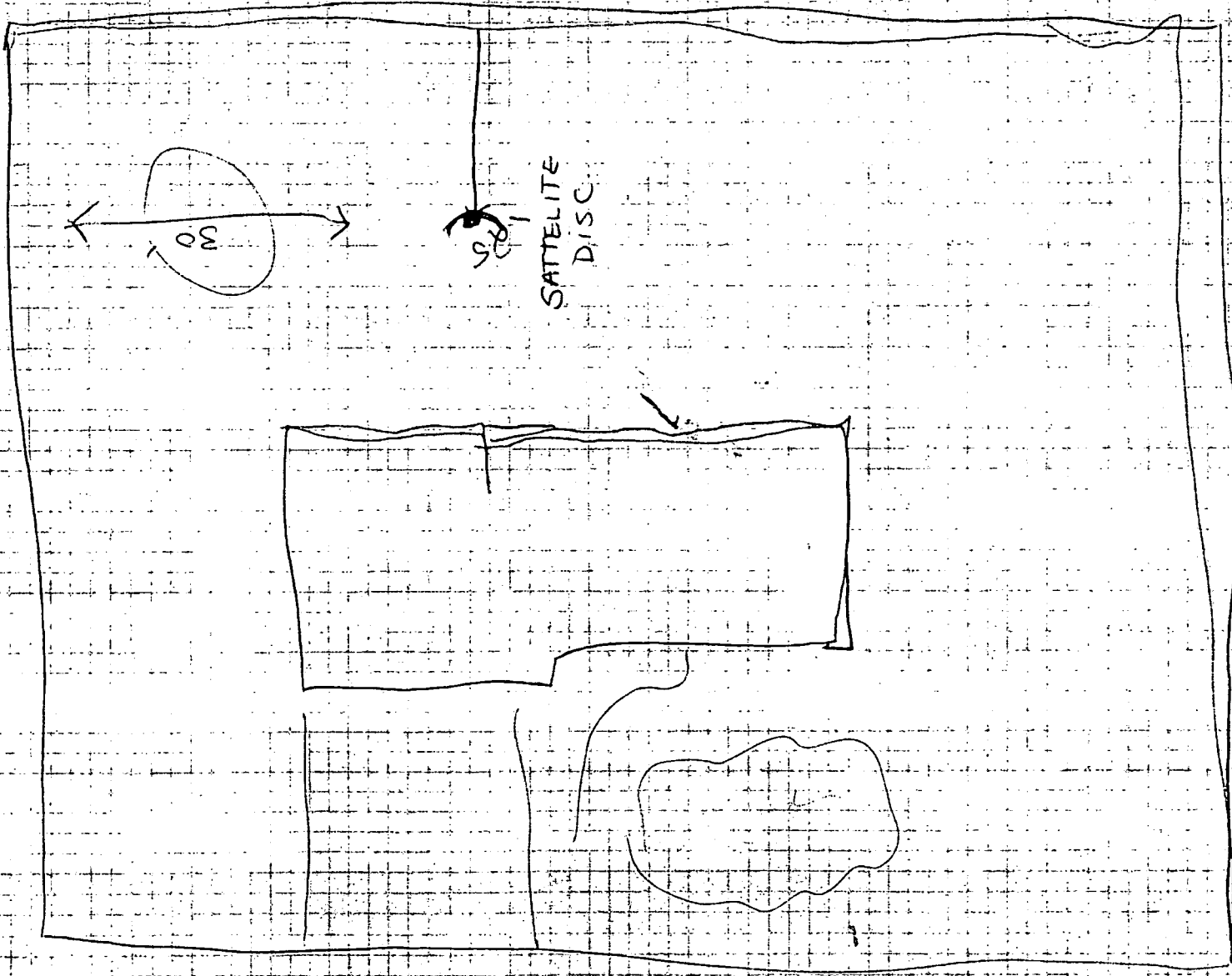
3/8" = 1'-0"

1" x 2" 0" ANTIROTATION  
 ROD

3'-0"

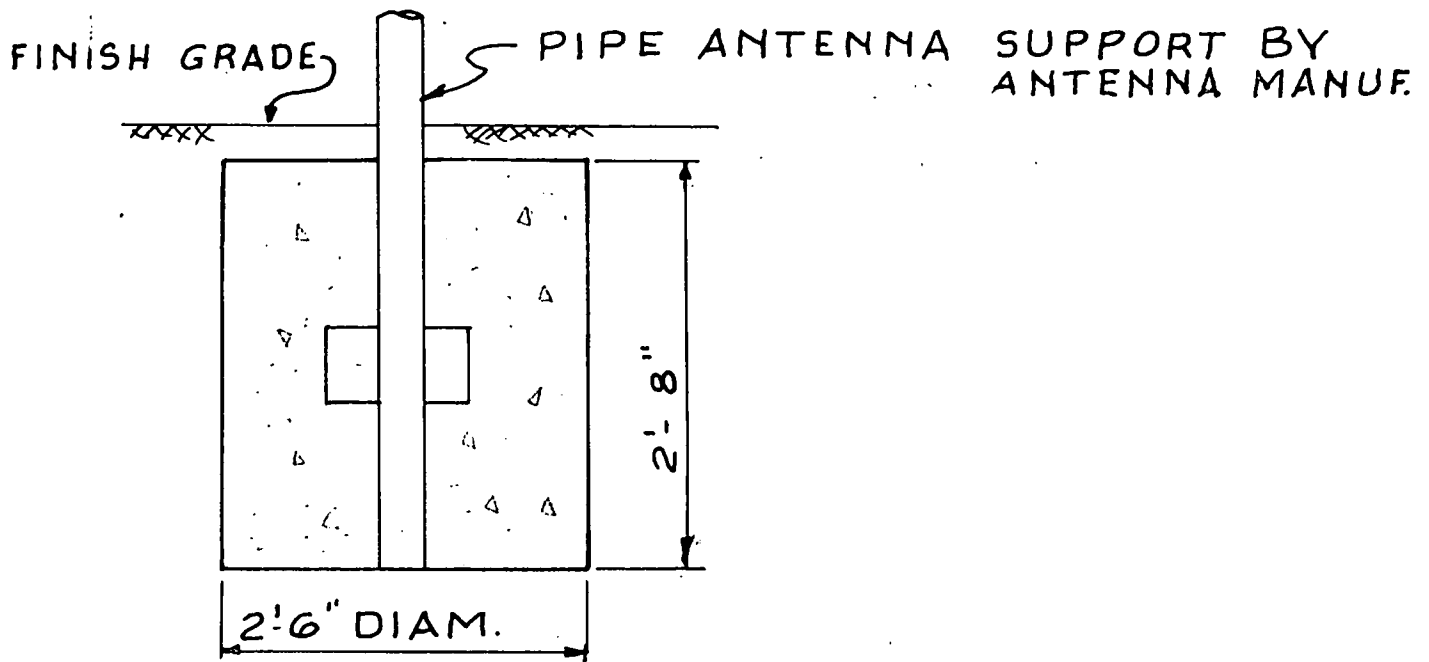
Wilson James & Knox S  
Whelan  
S Eastern Way  
R/o Vista Subdivision lot 30  
Block 2  
LOT 8

124  
R. G. Smith  
158 - Co. 1st  
at or near  
Berk Mountain



All aluminum expanded mesh.  
8 sections to assemble - 45 minutes.  
Mesh pre-installed - no sharp edges or clips.  
Round concentric ring struts added for maximum strength.  
Wind load survival - 120 m.p.h.  
73% efficiency.  
Straight center feed.  
Zinc plated hardware.  
Focal lengths:  
6' - 26" .36 F/D  
8' - 34.5" .36 F/D  
10' - 43" .36 F/D  
11' - 47.5" .36 F/D  
12' - 52" .36 F/D  
16' - 69" .36 F/D  
10' - 39.8 dB gain  
11' - 41. dB gain  
12' - 42.5 dB gain  
Available in black.  
Polar mount 3" I.D. ground pole.  
Antenna supported by concentric struts off  
Rear antenna hub for positive antenna support.  
1" pillow block bearings.  
Adjustable declination.  
Turnbuckle.  
LNA cover available.





SECTION ELEVATION THRU CONCRETE FOOTING  
 $\frac{3}{4}'' = 1'-0''$

NOTES:

1. FOOTING DESIGNED TO BEAR ON SAND OF ORIGINAL GROUND.
2. CONCRETE SHALL DEVELOP A 28-DAY CYLINDER STRENGTH OF 2500 P.S.I.
3. FOUNDATION DESIGN FOR 12'-6" DIAMETER SATELLITE RECEIVING ANTENNA. ANTENNA REFLECTOR MESH EXPANDED ALUMINUM. CENTER OF ANTENNA TO BE MOUNTED A MAXIMUM OF 7'-3" ABOVE GROUND.

*R. M. Dixon*

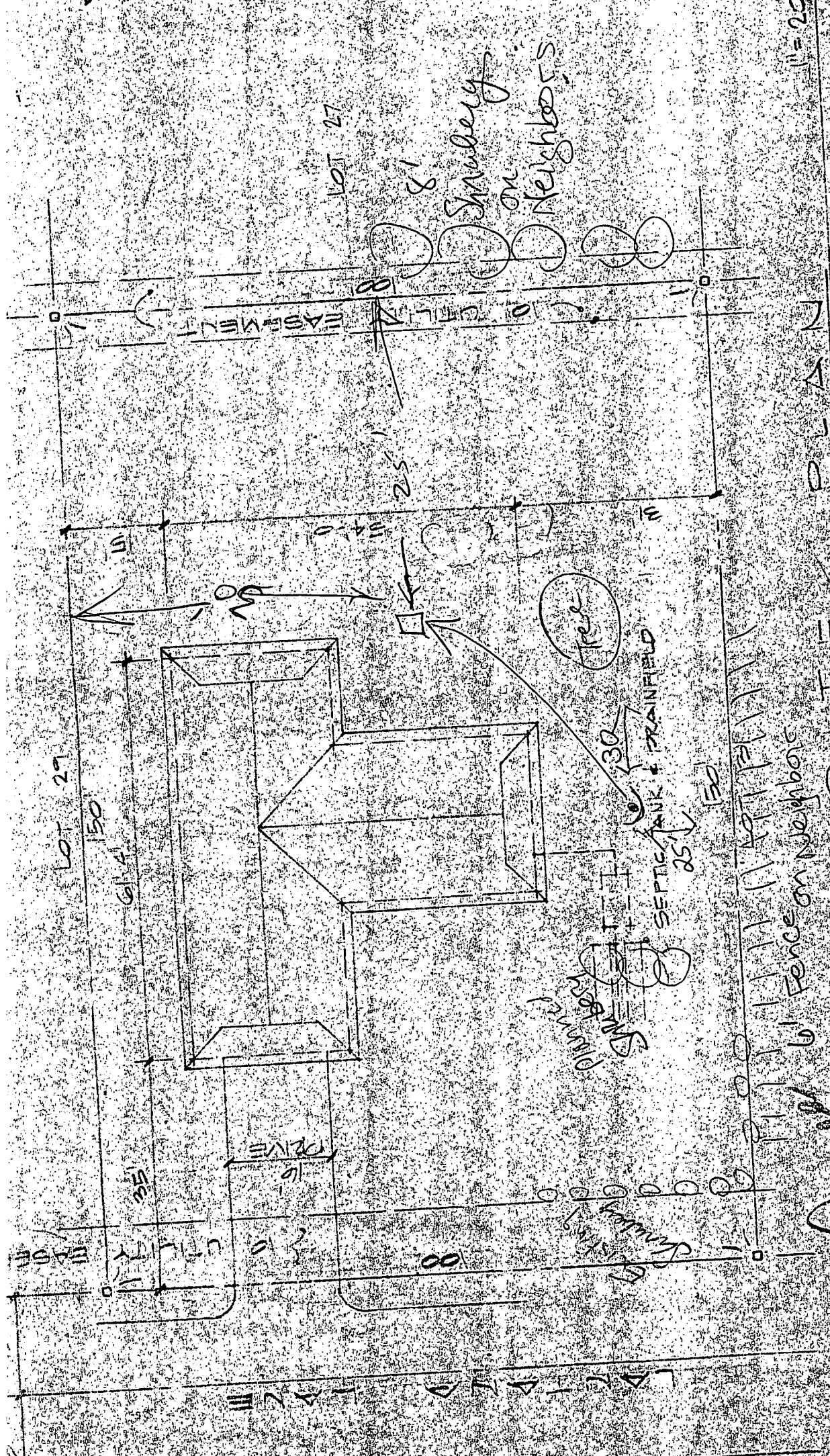
FOUNDATION FOR SATELLITE RECEIVING ANTENNA.

**DIXON AND ASSOCIATES ENGINEERS, INC.**

5725 CORPORATE WAY  
 SUITE 204  
 WEST PALM BEACH, FLORIDA 33407  
 (305) 684-1279

HOME ENTERTAINMENT, INC.  
 3892 PROSPECT AVE.  
 BAY NO. C-4  
 RIVIERA BEACH, FL 33404

NO PERMIT REQUIRED FOR STRUCTURE  
IN SETBACK AREAS



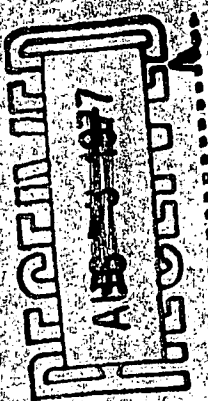
Shuberg  
on  
Neighbors

LEGAL DESCRIPTION  
LOT 30 OF RIO VISTA SUBDIVISION  
SEWALLS POINT MARTIN COUNTY FLORIDA

*Handwritten signatures and dates:*  
8/5/10  
8/5/10  
8/5/10

LARSON & O'NEILL INC  
ENGINEERS

RESIDENCE AT



Approval of these plans in NO-WAY  
relieves the contractor or builder of  
complying with the Town of Sewall's  
Point's Ordinances and the South  
Florida Building Code.

**1845**  
**FENCE**

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number 1845

Date 8/14/85

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Wilson + Roda Wheeler Present Address 5 LANTANA Way

Phone 286-0564

Contractor SELF Address \_\_\_\_\_

Phone \_\_\_\_\_

Where licensed \_\_\_\_\_ License number \_\_\_\_\_

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Roofing contractor \_\_\_\_\_ License number \_\_\_\_\_

Air conditioning contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: \_\_\_\_\_

FENCING TO SCREEN SATELLITE DISK  
State the street address at which the structure will be built: \_\_\_\_\_

Subdivision RIO VISA Lot number 30 Block number 2

Contract price \$ MAT. COST 158<sup>00</sup> Cost of permit \$ 5<sup>00</sup>

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor OWNER

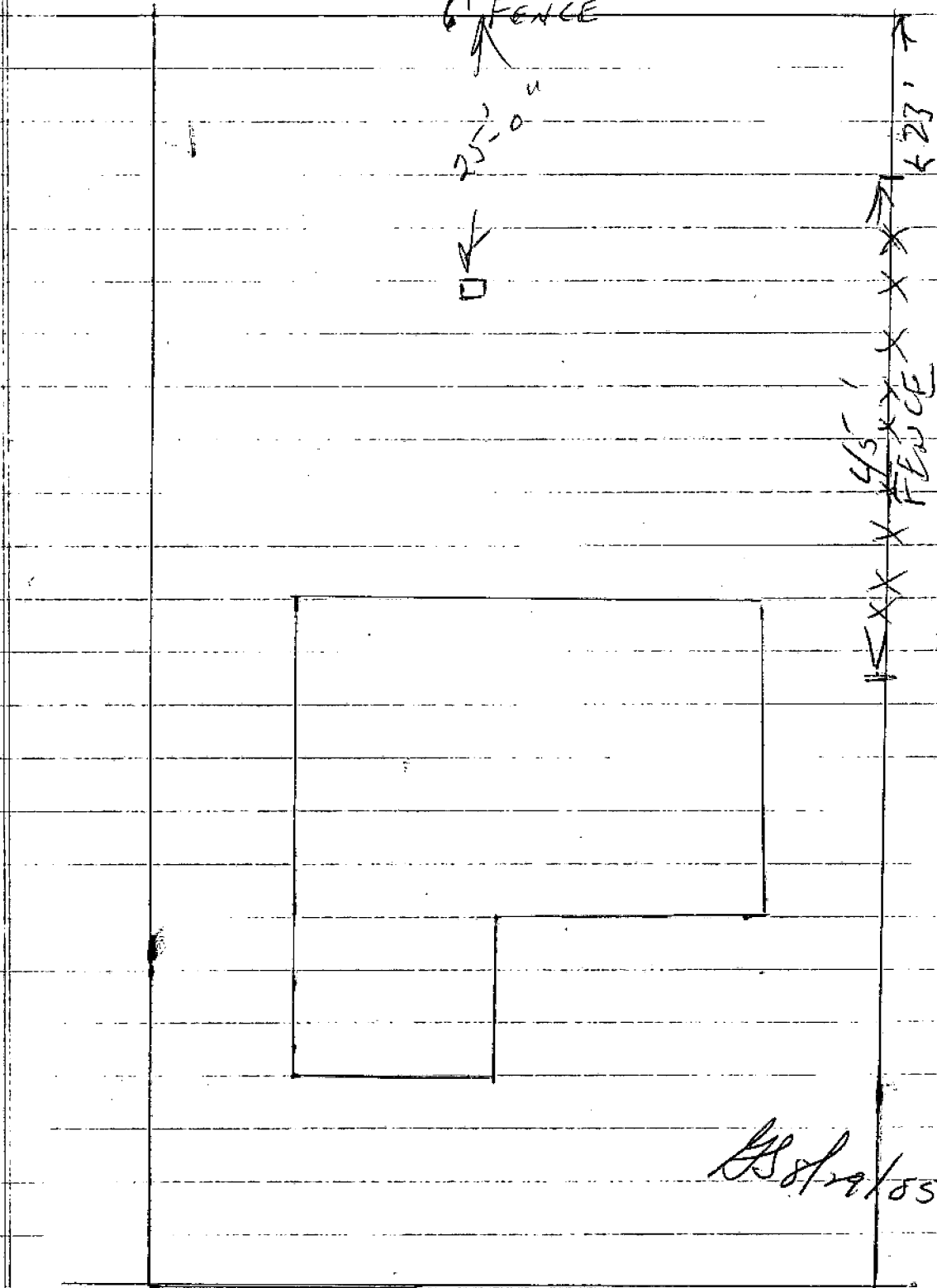
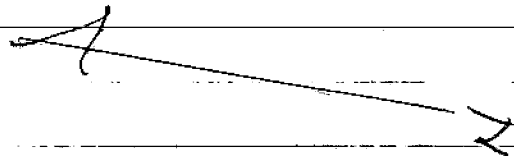
I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner \_\_\_\_\_

Date submitted 8/20/85 TOWN RECORD Approved [Signature] 8/21/85  
Building Inspector Date

Approved \_\_\_\_\_ Final Approval given \_\_\_\_\_  
Commissioner Date Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date



BB/29/55

# 5

NOT TO SCALE

LANTANA WAY

---

2349

SPA

Permit No.

Date

2349

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MR + MRS Wheeler Present Address 5 LANTANA LANE

Phone \_\_\_\_\_

Contractor BRIAN WEISGERBER Address 2344 CABALLERO

Phone 336 - 0410

Where licensed MARTIN COUNTY License number SP00981

Electrical contractor HERITAGE License number ME00094

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: SPA TO BE INSTALLED

State the street address at which the proposed structure will be built: 5 LANTANA LANE

Subdivision SEWALLS POINT Lot number \_\_\_\_\_ Block number \_\_\_\_\_

Contract price \$ 3000.00 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Brian D. Weisgerber

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Khoda S. Wheeler

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: Dale Brown 7/28/88  
Building Inspector Date

Approved: Steve Corke 7/28/88 Final Approval given: \_\_\_\_\_  
Commissioner Date Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



GENERAL NOTES

1. Design has been made based on a soil bearing capacity of 2,500 P.S.F. This value shall be verified in the field prior to construction.
2. Pool bottom shall be set above the flood criterion level, otherwise pool shall be designed for hydrostatic uplift and the calculations based on the individual site.
3. A hydrostatic relief valve (2") shall be installed on in-ground pools only.
4. All pool piping shall be PVC sch. 40, and shall bear the NSF-Pw logo.
5. Water supply and disposal shall be installed in a way as to have no cross connection with a domestic water supply or disposal system. Waste water disposal shall be disposed of through the sprinkler system or other approved system as per chapter 90, sec. 5004, South Florida Building Code.
6. All metal conduits, piping systems and metal parts of ladders, handrails shall be grounded and bonded together to a common ground. The bonding conductor shall be no less than # 8 copper wire.
7. Hair and lint strainer shall have a removable screen and shall be 4" dia. min.
8. No 90 degree elbows or radii in any of the PVC piping. (1/8" MIN. RADIUS)
9. All entrance steps to be non-slip.
10. All related equipment shall have METROPOLITAN DADE COUNTY PRODUCT APPROVAL.
11. All electrical must comply with NATIONAL ELECTRIC CODE Article 680.

SPA POOL MODEL - EL CORTEZ

CAPACITY (GALLONS) 350

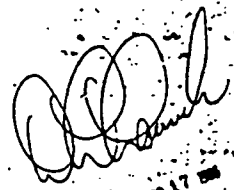
FILTER - 50 GPM min. for cartridge type and 16 G.P. min. for D.E. type

PUMP - 3/4 HP Sta Rite min. (pump shall be sized for the number of jets)

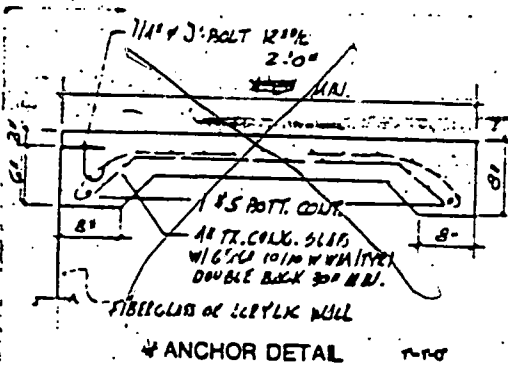
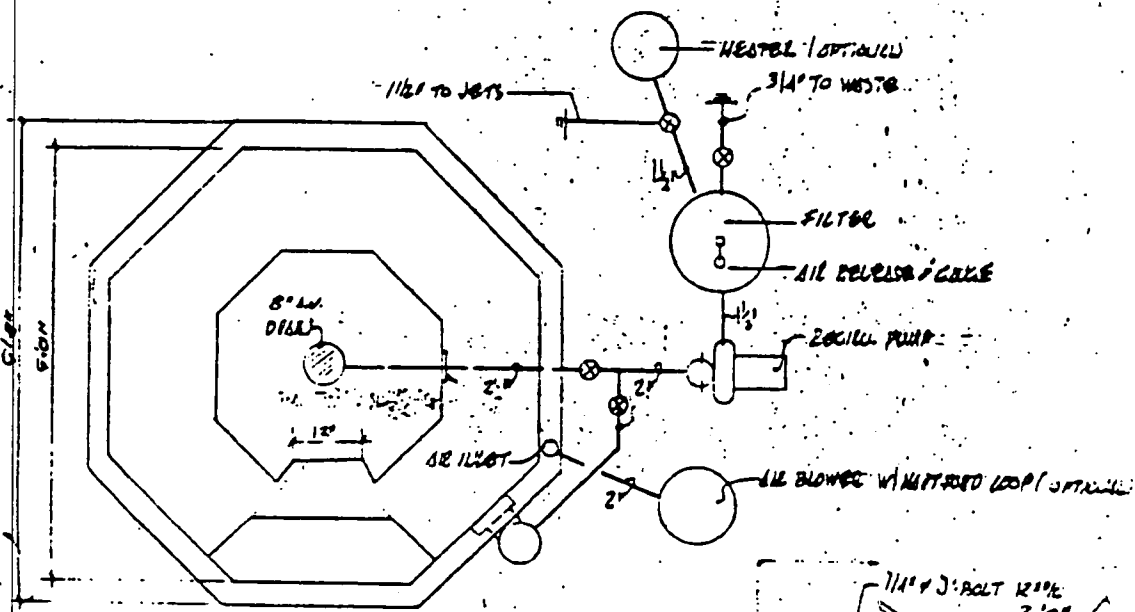
THESE PLANS ARE NOT VALID UNLESS THE ENGINEER'S SEAL (BELOW) IS EMBOSSED AND SIGNED BY DANIEL L. LAVRICE, P.E.

\* DADE COUNTY SEAL

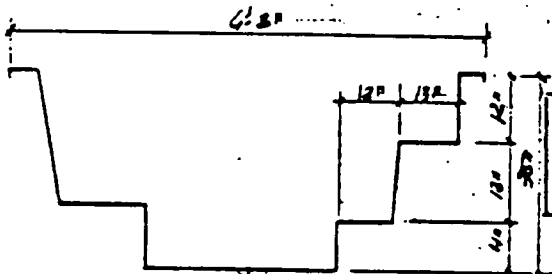
ENGINEER'S SEAL



FOR 27 1988



PLAN OF SPA 3/4\"/>

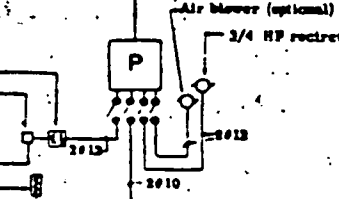


60 A. 1 ph. 240 V. Panel  
 1-2P-30A. heater  
 1-2P-15A. pump  
 1-2P-15A. air blower  
 1-1P-15A. pool light

Transformer  
 Junction box  
 Optional 12V. 100W. light  
 Optional elect. heater

Ground with #8 (min.) solid copper wire.  
 All conduit 1/2\"/>

300 W/ grnd. in 1\"/>
 To 2P-60 A. service in exist. panel



86-03178  
**APPROVED**

DATE April 19, 1988  
 BY [Signature]

PRODUCT CONTROL SECTION  
 METROPOLITAN DADE COUNTY  
 BUILDING & ZONING DEPT.



PLS. TECH INDUSTRIES, INC.

2\"/>
 UNITED STATES STEEL SINECAST  
 CONTINUOUS CAST ACRYLIC.  
 REFER TO U.S. SPECIFICATIONS FOR  
 DATA AND SPECIFICATIONS.

SPA ELEVATION 3/4\"/>

ELECTRICAL RISER

ACCEL... EL CORTEZ  
 DCA-17-1  
 2 of 1



APPROVED : April 14, 1986


EXPIRES : April 14, 1989

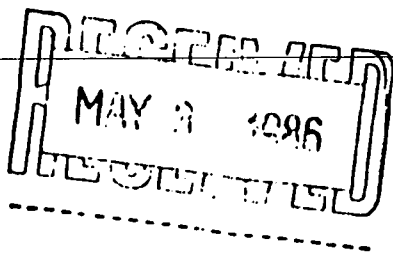
NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. This approves the following models of fiberglass spas.

Model	S I Z E				Drawing No.
	L	W	D	Gals.	
El Cortez (Oct.)	6' - 8"	6' - 8"	35"	400	DCPA 17-1
West Palm (sq.)	6' - 8"	6' - 8"	31"	360	DCPA 17-2
Sahara (Oct.)	8' - 0"	8' - 0"	36"	580	DCPA 17-3
Grand (kidney)	6' - 1"	10' - 6"	36"	600	DCPA-17-4
Dunes (sq.)	7' - 6"	7' - 6"	34"	420	DCPA 17-5

2. For inground installation the spa shall be set in a hydraulically placed sand bed having a minimum thickness of 4". Continuous anchorage of rim shall be provided by a 2' x 0" wide, 4" thick concrete patio, having 8" x 8" deep edges reinforced with one #5 bar and 6 x 6 -10/10 W.W.F. In addition, #2 dowels, at 24" o.c. shall be used to connect the spa to the concrete.
3. Approved equipment shall include:
- a) Filter, 50 g.p.m. cartridge type of 16 S.F. D.E. type
  - b) 3/4 h.p. pump and motor
  - c) 2" diameter hydrostatic relief valve
  - d) Non-slip steps and/or handrails as may be required for safe entering into and exiting from the spa
  - e) Air pump and/or heater optional
4. Installation shall be by a licensed plumbing contractor or pool piping contractor
5. Separate permits shall be secured for all electrical work.

  
\_\_\_\_\_  
Jack Olson, P.E.  
Product Control Supervisor  
Metropolitan Dade County  
Building & Zoning Department




PRODUCT CONTROL NOTICE OF ACCEPTANCE

Plas-Tech Industries, Inc.  
1730 Calumet  
Clearwater, Fla. 33515.

Your application for Product Approval of Acrylic Spas  
under Sections 203 and 204 of the South Florida  
Building Code governing the use of Alternate Materials and Types of Construction, and  
completely described in the plans, specifications and calculations as submitted by  
Broward Engineering Associates and drawings prepared by Daniel L. Lavrich, P.E. and dated  
11-82  
has been accepted by Product Control to be used in the Unincorporated areas of Dade  
County under the Specific Conditions set forth on Page 2 - 2a  
and the Standard Conditions on Page 3

ACCEPTANCE No.: 86-0317.8  
APPROVED : April 14, 1986  
EXPIRES : April 14, 1989

  
Jack Olson, P.E.  
Product Control Supervisor  
Metropolitan Dade County  
Building & Zoning Department

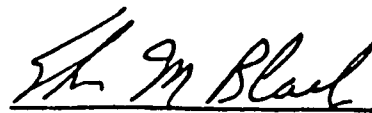
\*\*\* PLEASE NOTE \*\*\*

THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS.

BOARD OF RULES AND APPEALS NOTICE OF ACCEPTANCE

This application for Product Approval has been accepted by the Metropolitan Dade County  
Board of Rules and Appeals to be used in the Incorporated and Unincorporated areas of  
Dade County under the conditions set forth above.

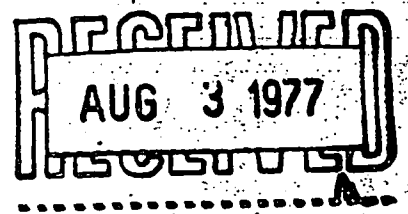
APPROVED: April 14, 1986

  
Thomas M. Black, P.E.  
Deputy Secretary  
Metropolitan Dade County  
Board of Rules & Appeals

Mr & Mrs. W. Wheeler  
5-LANTANA LANE  
SEWALLS POINT

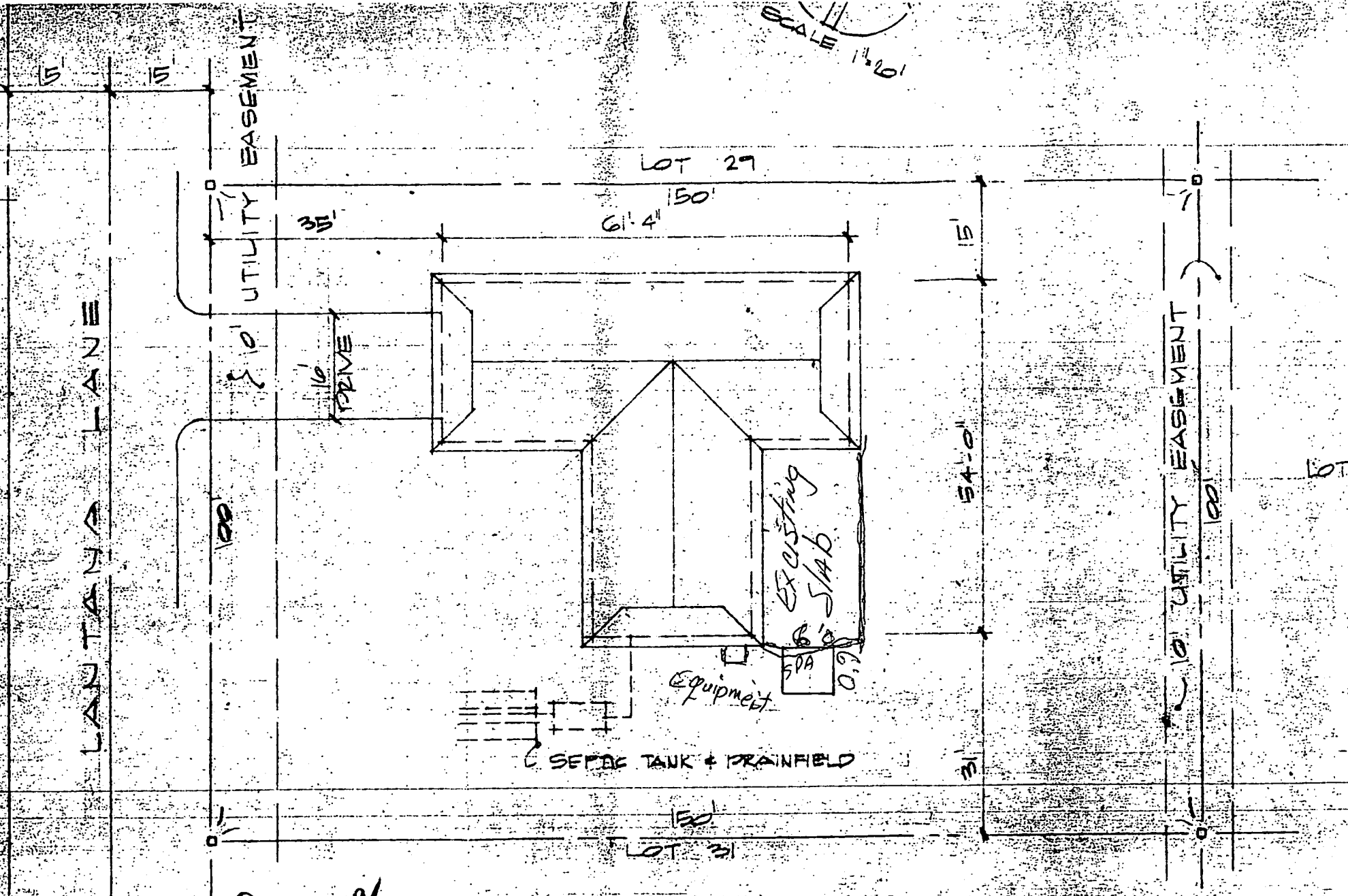
= SPA =  
Estimated Cost 3000.00

Electrical by Heritage  
SPA Only



Approval of these plans in NO-WAY  
relieves the contractor or builder of  
complying with the Town of Sewall's  
Point's Ordinances and the South  
Florida Building Code.

SCALE 1/4" = 1'-0"



8/4/77  
G. Dargatzis  
8/5/77  
R. Rank

SITE PLAN

LEGAL DESCRIP  
LOT 30 OF RIO VIST  
SEWALLS POINT, MARTI

Mr. W. Wheeler

5+ Lantana Lane  
Sewall's Point

SPR = 3000 sq

Best Made Cost Estimate

Approved by DP/12

SPR

RECEIVED  
AUG 3 1977

Approval of these plans in NO-WAY  
relieves the contractor or builder of  
complying with the Town of Sewall's  
Point's Ordinances and the South  
Florida Building Code.

LANTANA LANE

UTILITY BASEMENT

DRIVE

SEWER TANK & PUMP

Equipment

Existing Slab

LOT 27

150'

54'-0"

15'

UTILITY EASEMENT

LOT

Handwritten notes and signatures on the left side of the plan, including a large signature that appears to be 'D. W. Wheeler'.

SITE

PLAN

LEGAL DESCRIPTION

LOT 27 OF 28

3812

POOL AND PATIO

---

TAX FOLIO NO. \_\_\_\_\_

DATE 6/9/95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner ANNE AND DONNA BOUCHER Present address 5 SE LANTANA LN

Phone 221 8352

Contractor SUN COUNTRY POOLS INC Address 665 SW SEA HOLLY TER

Phone 340-4260

Where licensed STATE License number CPC 052507

Electrical Contractor ALL HOURS License number \_\_\_\_\_

Plumbing Contractor NA License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: GUNITE POOL AND PATIO

State the street address at which the proposed structure will be built:

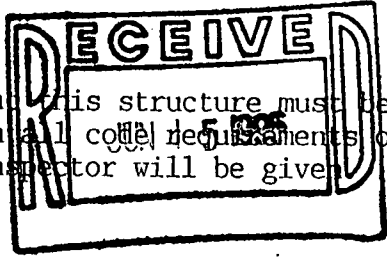
5 SE LANTANA LN

Subdivision RIO VISTA Lot Number 30 Block Number \_\_\_\_\_

Contract price \$ 11,000 Cost of permit \$ 200.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.



Contractor M. Paul Sengstack

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Donna Boucher

TOWN RECORD

Date submitted 6/9/95

Approved: Dale Brown  
Building Inspector Date

Approved: [Signature]  
Commissioner Date

Final approval given: \_\_\_\_\_  
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) \_\_\_\_\_  
Date

PERMIT NO. \_\_\_\_\_

REC. 2:35 PM  
6-9-95

5317

RE-ROOF

---

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 3/29/01 BUILDING PERMIT NO. 5317  
Building to be erected for KAREN DENISE NEARING Type of Permit RE ROOF (FLAT)  
Applied for by COOPER ROOFING (Contractor) Building Fee \_\_\_\_\_  
Subdivision RIO VISTA Lot 30 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
Address 5 LANTANA LANE Impact Fee \_\_\_\_\_  
Type of structure S.F.R. A/C Fee \_\_\_\_\_  
Electrical Fee \_\_\_\_\_

Parcel Control Number: 12-38-41-002-000-00300-40000  
Amount Paid \$120.00 Check # 2887 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )  
Total Construction Cost \$ 2,498.00 TOTAL Fees \$120.00  
Roofing Fee \$120.00

Signed Maria R. Jokie Applicant Signed [Signature] Town Building Inspector OFFICIAL

# RE-ROOFING PERMIT

INSPECTIONS			
DRY IN	DATE _____	PROGRESS	DATE _____
PROGRESS	DATE _____	FINAL	DATE <u>4/16/01</u>
<b>24 HOURS NOTICE REQUIRED FOR INSPECTIONS.</b>		<b>CALL 287-2455</b>	
<b>WORK HOURS – 8:00 AM UNTIL 5:00 PM</b>			
<b>MONDAY THROUGH SATURDAY</b>			

New Construction     Remodel     Addition     Demolition

**This permit must be visible from the street, accessible to the inspector.  
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,  
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.  
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**





**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Bldg. Permit Number: \_\_\_\_\_

Owner or Titleholder's Name: Karen Denise Neering Phone No. ( ) 288-3052  
 Street: 5 Lantana Lane City: Stuart State: FL Zip: 34986  
 Legal Description of Property: Rio Vista - lot # 30  
 Parcel Number: 12-93-41-02-00-0030-4000

Location of Job Site: 5 Lantana Lane  
 TYPE OF WORK TO BE DONE: Flat roof

CONTRACTOR/Company Name: Marla Renee Hoxie Phone No. ( ) 871-94105  
 Street: 1146 S. FEDERAL HIGHWAY City: PORT ST. LUCIE State: FL Zip: 34982  
 State Registration: 00051613 State License: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
 Street: \_\_\_\_\_ City \_\_\_\_\_ State: \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
 Street: \_\_\_\_\_ City \_\_\_\_\_ State: \_\_\_\_\_ Zip \_\_\_\_\_

**AREA SQUARE FOOTAGE - SEWER - ELECTRIC:**

Living Area: \_\_\_\_\_ Garage Area: \_\_\_\_\_ Carport: \_\_\_\_\_ Accessory Bldg: \_\_\_\_\_  
 Covered Patio: \_\_\_\_\_ Scr. Porch: \_\_\_\_\_ Wood Deck: \_\_\_\_\_  
 Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
 New Electrical Service Size: \_\_\_\_\_ AMPS

**FLOOD HAZARD INFORMATION**

Flood zone: \_\_\_\_\_ Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD  
 Proposed first habitable floor finished elevation: \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

**COSTS AND VALUES**

Estimated cost of construction or improvement: \$ 2498.00  
 Estimated Fair Market Value (FMV) prior to improvement: \$ \_\_\_\_\_  
 If improvement, is cost greater than 50% of Fair Market Value? YES \_\_\_ NO \_\_\_  
 Method of determining Fair Market Value: \_\_\_\_\_

**SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)**

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
 Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
 Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
 Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

**OWNER or AGENT SIGNATURE (Required)**

Karen Denise Neering  
 Owner  
 State of Florida, County of: Martin On this the 28th day of March, 2001  
 by K.D. Neering who is personally known to me or produced \_\_\_\_\_  
 as identification: \_\_\_\_\_

**CONTRACTOR SIGNATURE (Required)**

Marla Renee Hoxie  
 Contractor  
 State of Florida, County of: Martin On this the 28th day of March, 2001  
 by Marla Renee Hoxie who is personally known to me or produced \_\_\_\_\_  
 as identification: \_\_\_\_\_

Joan H. Barrow  
 Notary Public

Marla Renee Hoxie  
 Notary Public

My Commission Expires: Joan H. Barrow  
 MY COMMISSION # CC785649 EXPIRES  
 November 30, 2001  
 BONDED THRU TROY FAIN INSURANCE, INC.

My Commission Expires: \_\_\_\_\_  
 Commission # CC9 (Seal)  
 Expires Jan. 28, 2005  
 Bonded Thru  
 Atlantic Bonding Co., Inc.



**TREE REMOVAL (Attach sealed survey)**

Number of trees to be removed: \_\_\_\_\_ Number of trees to be retained: \_\_\_\_\_ Number of trees to be planted: \_\_\_\_\_ Number of Specimen trees removed: \_\_\_\_\_  
Fee: \$ \_\_\_\_\_ Authorized/Date: \_\_\_\_\_

**DEVELOPMENT ORDER # \_\_\_\_\_**

**1. ALL APPLICATIONS REQUIRE**

- a. Property Appraisers Parcel Number.
- b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- c. Contractors name, address, phone number & license numbers.
- d. Name all sub-contractors (properly licensed).
- e. Current Survey

2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.

3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.

4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:

- a. Floor Plan
- b. Foundation Details
- c. Elevation Views - Elevation Certificate due after slab inspection,
- d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
- e. Truss layout
- f. Vertical Wall Sections (one detail for each wall that is different)
- g. Fireplace drawing: If prefabricated submit manufacturers data

**ADDITIONAL Required Documents are:**

- 1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location. (State Road A-1-A East Ocean Boulevard only).
- 2. Well Permit or information on existing well & pump.
- 3. Flood Hazard Elevation (if applicable).
- 4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
- 5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
- 7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
- 8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

**NOTICE:** In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be 'additional permits required' from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official: \_\_\_\_\_ Date: \_\_\_\_\_

Approved by Town Engineer \_\_\_\_\_ Date: \_\_\_\_\_  
(If required)

PERMIT # \_\_\_\_\_

TAX FOLIO # 1238-41002-0000-3000/0000-

NOTICE OF COMMENCEMENT

WARRANTEE DEED - Volume 1193  
Page - 921

STATE OF FLORIDA

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

5 LANTANA LANE / RIO VISTA Lot # 30

GENERAL DESCRIPTION OF IMPROVEMENT: Flat roof

OWNER: Karen Denise NEARING

ADDRESS: 5 LANTANA LANE

PHONE #: 283-9788

FAX #: (C) 284-9690 (D) 288-3052

CONTRACTOR: Cooper Roofing

ADDRESS: 8446 S. FEDERAL HIGHWAY

PHONE #: 871-9405

FAX #: 871-6757

SURETY COMPANY (IF ANY) \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

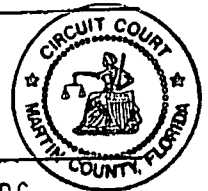
LENDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

STATE OF FLORIDA  
MARTIN COUNTY

FAX #: \_\_\_\_\_  
THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.  
MARSHA EWING, CLERK



BY TEOPH S D.C.  
DATE 3-28-01

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: Cooper Roofing

ADDRESS: 8446 S. FEDERAL HIGHWAY

PHONE #: 871-9405

FAX #: 871-6757

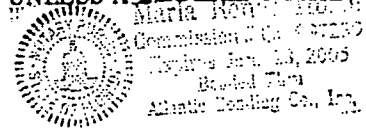
IN ADDITION TO HIMSELF, OWNER DESIGNATES Robert G. Cooper OF Cooper Roofing TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(E), FLORIDA STATUTES.

PHONE #: 871-9405

FAX #: 871-6757

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: 3/29/2002  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Karen Denise Nearing  
SIGNATURE OF OWNER



SWORN TO AND SUBSCRIBED BEFORE ME THIS 28<sup>th</sup> DAY OF March 2001 BY \_\_\_\_\_

Maria Renee's Holme  
NOTARY SIGNATURE

PERSONALLY KNOWN \_\_\_\_\_  
PRODUCED ID \_\_\_\_\_  
TYPE OF ID DRIVER'S license

960639WP

This Instrument Prepared by and Return to:  
AUGUST 23, 1996

01191518

96 AUG 26 AM 10:26

Delmar Title Company, Inc.  
6685 Forest Hill Blvd., Ste 211  
West Palm Beach, Florida 33413  
Property Appraisers Parcel Identification (Folio) Numbers:  
12-38-41-002-000-00300-4  
Grantee SS #: 257885656

DOC-DEED # 1137.50 MARSHA STILLER  
DOC-MTG # MARTIN COUNTY  
DOC-ASM # CLERK OF CIRCUIT COURT  
INT TAX # \_\_\_\_\_ D.C.

THIS WARRANTY DEED, made the 23rd day of August, 1996 BY ANDRE BOUCHER and DONNA WOODSON BOUCHER, his wife herein called the grantors, to KAREN DENISE NEARING, a single person whose post office address is: 2434 FOXPOINT TERRACE, PALM CITY, FL 34990, hereinafter called the

Grantee:  
(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantors, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in MARTIN County, State of Florida, viz:

Lot 30, RIO VISTA SUBDIVISION according to the plat thereof, as recorded in Plat Book 6, Page 95, Public Records of Martin County, Florida.

Subject to easements, restrictions and reservations and rights-of-way of record and taxes for the year 1996 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantors hereby covenant with said grantee that the grantors is/are lawfully seized of said land in fee simple; that the grantors have good right and lawful authority to sell and convey said land, and hereby warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1995.

IN WITNESS WHEREOF, the said grantors have signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Signature Susan Foster

Printed Signature Joanne B. Hives

Signature Joanne B. Hives  
Printed Signature

Andre Boucher L.S.  
ANDRE BOUCHER  
5 LANTANA LANE, STUART, FL

Donna Woodson Boucher L.S.  
DONNA WOODSON BOUCHER  
5 LANTANA LANE, STUART, FL

STATE OF FLORIDA  
COUNTY OF MARTIN

I HEREBY CERTIFY that on this day before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgements, personally appeared ANDRE BOUCHER and DONNA WOODSON BOUCHER, his wife to me known to be the persons described in or who has produced Deiwek Wilson as identification and who executed the foregoing instrument and they acknowledged before me that they executed the same and did not take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 23rd day of August, 1996.

[Signature]  
Notary Signature  
Printed Notary Signature

SEAL  
My Commission Expires



SUSAN FOSTER  
My Comm Exp. 8-23-97  
Bonded By Service Ins  
No. CC363987  
 Personally Known  Other L.S.





# CERTIFICATE OF LIABILITY INSURANCE

CERTIFICATE NO.: VC2-40585-165583  
 ISSUE DATE: 3/28/01 12:12:51 PM

**PRODUCER**  
 Hanafin Bates & Associates  
 8144 Walnut Hill Lane #1081  
 Dallas, TX 75231  
 214-346-1501 fax: 425-671-4667

**COPY FILE**  
*WCF*

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

### INSURERS AFFORDING COVERAGE

**INSURED**  
 COOPER ROOFING & CONSTRUCTION CO,  
 8446 SOUTH US HWY 1  
 PORT ST. LUCIE, FL 34952  
 561-871-9405 fax: 561-871-6757

INSURER A: Reliance Insurance Company of Illinois  
 INSURER B: American Casualty Ins. Co. of Reading Pennsylvania  
 INSURER C:  
 INSURER D:  
 INSURER E:

**RECEIVED**  
 MAR 28 2001

### COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	NGB0128236-04	6/1/00	6/1/01	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 5,000
					PERSONAL & ADV INJURY \$ 1,000,000
	GENL AGGREGATE LIMIT APPLIES PER:				GENERAL AGGREGATE \$ 2,000,000
	<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC				PRODUCTS - COMP/OP AGG \$ 1,000,000
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident) \$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> HIRED AUTOS				
	<input type="checkbox"/> NON-OWNED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY: EA ACC \$
					AGG \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
					\$
	DEDUCTIBLE				\$
	RETENTION \$				\$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC247859437	9/1/00	9/1/01	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER
	E.L. EACH ACCIDENT \$ 1,000,000				
	E.L. DISEASE - EA EMPLOYEE \$ 1,000,000				
	E.L. DISEASE - POLICY LIMIT \$ 1,000,000				
	OTHER				LIMIT \$
					LIMIT \$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

1. Certificate holder is an additional insured as respects to General Liability 2. Certificate holder is provided with a Waiver of Subrogation for Workers Compensation 3. Project Information UPDATE 4. Certificate holder is provided with a waiver of subrogation for General Liability 5. Insured is afforded Workers Compensation & Employers Liability as a co-employer under the policy for employees leased from AMS Staff Leasing, Inc.

<b>CERTIFICATE HOLDER</b>	<b>ADDITIONAL INSURED; INSURER LETTER:</b>	<b>CANCELLATION</b>
<b>CMP ACCOUNT:</b>		SHOULD ANY OF THE FOLLOWING DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
<b>REFERENCE:</b>		AUTHORIZED REPRESENTATIVE
TOWN HALL 1 SOUTH SEWELL'S POINT RD. MR. ARNOLD SEWELL'S POINT, FL 34996		<i>Keel C B...</i>



STATE OF FLORIDA  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CONST INDUSTRY LICENSING BOARD  
 7960 ARLINGTON EXPRESSWAY  
 STE 300  
 JACKSONVILLE FL 32211-7467

(904) 727-6511

COOPER, ROBERT GRANT  
 COOPER ROOFING & CONSTRUCTION CO  
 8446 S FEDERAL HWY  
 PORT SAINT LUCIE FL 34952

STATE OF FLORIDA AC# 5  
 DEPARTMENT OF BUSINESS  
 PROFESSIONAL REGULATION  
 CC -C057673 07/06/2000 00  
 CERTIFIED ROOFING CONTRACTOR  
 COOPER, ROBERT GRANT  
 COOPER ROOFING & CONSTRUCTION  
 IS CERTIFIED under the provisions of Ch.  
 Expiration Date: AUG 31, 2002

DETACH HERE

AC# 5901515

STATE OF FLORIDA  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
07/06/2000	00900024	CC -C057673

The ROOFING CONTRACTOR  
 Named below IS CERTIFIED  
 Under the provisions of Chapter 489 FS.  
 Expiration date: AUG 31, 2002

COOPER, ROBERT GRANT  
 COOPER ROOFING & CONSTRUCTION CO  
 8446 S FEDERAL HWY  
 PORT SAINT LUCIE FL 34952

JEB BUSH  
 GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERS  
 SECRETARY

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Johns Manville  
717 17th Street  
Denver CO 80202

Your application for Product Approval of:  
*SBS Modified Bitumen Roofing System (Recover)*

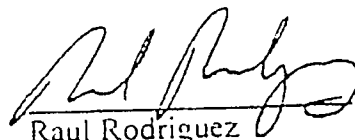
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 99-0427.08 (Revises No.: 98-0508.06)

Expires: 08/27/2001

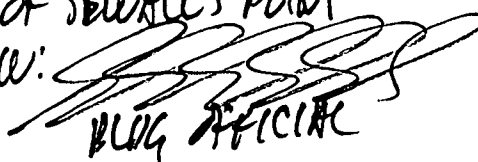


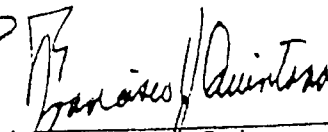
Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

**BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

3/27/01 TOWN OF SEWELL'S POINT  
REVIEW:   
BUILDING OFFICIAL

  
Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office

FILE of TOWN COPY  
5 LANTANA LANE

Approved: 07/09/1999

**PN 5317**



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri  Sat, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5325	BROTHERS	FENCE - FINAL	Passed	River Quest
N ①	Z VIA DE CRISTO QUALITY FENCE	STAR: 879-9126		INSPECTOR: J 4/16 ✓
✓ 5320	WILLIAMS	FENCE - FINAL	Passed	
S ⑦	110 HENRY SEWALL WAY CREWS CONST. CO.	692-3371		INSPECTOR: J 4/16 ✓
✓ 5143	GIFFORD	SHEATHING	Passed	
N ②	85 N SPR HOLMES	Roof		INSPECTOR: J 4/16 ✓
✓ 5007	PAGE	FINAL WALK	Cond.	PERMIT RENEWAL REQUIRED (2/2/01)
S ⑤	8 ST. LUCIE CT WHITE LAKE	THRU	only	10.00 INSPECTOR: J 4/16 ✓
✓ 5317	<del>NEARING</del>	<del>FINAL</del>	<del>Passed</del>	
S ⑪	5 LANTANA LN. COOPER	FLAT RE-ROOF		INSPECTOR: J 4/16 ✓
✓ 5233	INGRAM	SEAWALL - FINAL	Passed	
N ③	101 W. SEWALL'S POINT RD BLUE WATER MARINE	(561-286-5181)		INSPECTOR: J 4/16 ✓
S 5269	DANIELSON	REEROOF - FINAL	Passed	
✓ ⑥	161 S. RIVER RD. PACIFIC RFG. (808 263-0116)	(8576-KES.)		INSPECTOR: J 4/16 ✓

OTHER:



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri  Sat  Sun, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5013	DENNIS	STEEL-FIREPLACE	PASSED	
S (8)	16 RIDGELAND FLA. FINEST	FINAL-NAIL INSP-SHOW	PASSED	INSPECTOR: SA
✓ 5284	ST. LUCIE BLDG. CONDO	SHEATHING	PASSED	(2ND PORTION; A/C AREA & SOUTHENT NEXT. FINISH)
S (11)	3601 E. OCEAN BLVD A+W	ON FLAT DECK (IN PROGRESS)		INSPECTOR: SA
✓ 4943	<del>BOTWINIA</del>	<del>TEMP. ELECT</del>	<del>X</del>	<del>CANCEL BY CONTR.</del>
S X	<del>27 EMARITA WAY 1ST FLA DEV.</del>	<del>(FC INSP.)</del>	<del>X</del>	<del>4/10/01 SA</del>
✓ 5318	KOENKE	STL / BOND (LIGHTING)	PASSED	FORMBOARD SURVEY LCDP. (FIELD COPY TO SITE)
S (6)	66 S. SEWALL'S POINT RD ADVANTAGE POOL (781-3053)	-MICHELE		INSPECTOR: SA
✓ 5180	McKELVEY	SOFFIT REPL. -	PASSED	
S (2)	21 E. HIGH POINT SOUTHERN SHORE CONST. INC.	FINAL		INSPECTOR: SA
✓ 5234	MCCARTNEY	COL. STL. 8:45 -	FAILED	#5 COL. STL. TOO SHORT (2' MIN. 10')
S (1)	45 W. HIGH POINT WILSON. BURS. 260-5199	- REINSPECT 11:45	PASSED	INSPECTOR: SA
✓ 5317	BEARING	SHEATHING	PASSED	REQUEST INSP. 11:00-12:00 ✓
S (5)	COOPER PFG.	(FLAT DECK)		11:50 NOT READY 1:00 REINSPECT ✓ INSPECTOR: SA

OTHER: PN 4895 SEELY 37 NE COFTING WAY; GRIBBEN  
- PERMIT RENEWAL (EXP. 3/22/01) ✓ CONTR. ADVISED

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri May 2, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5229	Seely	Pool deck	Passed	878 8806
(4)	37 NE Lofting Way Harbor Bay Pools			INSPECTOR: J S/2 ✓
5192	RAO	INSULATION	Passed	ceiling: blown? ✓
(5)	30 CASTLE HILL WAY A.R. MARTIN (JOHN-260-0574)			INSPECTOR: J S/2 ✓
T/R	FRIEDLANDER	FIELD VERIF.	Under review	Signat. obtained
(7)	34 FIELDWAY DR. O/B 286-8464			T.B. Discussed INSPECTOR: J S/2 ✓
<del>5302</del>	<del>ASHLEY</del>	<del>UNDERGROUND</del>	<del>X</del>	<del>late as possible</del>
<del>X</del>	<del>6 N. RIDGEVIEW</del>	<del>PUMPS</del>	<del>X</del>	<del>CHANGE BY CONTR. 5/1 12:36</del>
	<del>MASTER</del>			INSPECTOR:
4990	ELDER	ROUGH ELECT	Passed	
(1)	4 EMARITA WAY O/B	+ PLUMBING		INSPECTOR: J S/2 ✓
5317	NEARING	REROOF - ANAL	Passed	
(2)	5 LANTANA COOPER			INSPECTOR: J S/2 ✓
T/R	GUNZEL	FIELD VERIFICATION	Passed	Sign appl. (not home)
(3)	19 N. VIA LUCINDIA O/B			INSPECTOR: J S/2 ✓

OTHER: CODE ENFORCEMENT COMPLAINT: DECK/TERRACE w/o PERMIT; SET BACK VIOLATION

(8) 9'x6' w 2x6 EXT = 66" (EAST) 7' SIDE RAB 22 SIMARA (MPT. 1:30 P.M.)  
 9'x8' = 72" (WEST) INSP. w/OWNER  
 5/2/01 1:30 PM - VERIFIED COMPLAINT. RECD PERMISSION FOR P.D. TO PHOTOGRAPH

6317

FENCE

---

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 7/8/03

BUILDING PERMIT NO. 6317

Building to be erected for NEARING Type of Permit FENCE

Applied for by ALUMINIUM CONCEPTS (Contractor) Building Fee 30.00

Subdivision RIO VISTA Lot 30 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 5 LANTANA LANE Impact Fee \_\_\_\_\_

Type of structure FENCE A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_ Electrical Fee \_\_\_\_\_

123841002 0000030040000 Plumbing Fee \_\_\_\_\_

Amount Paid 30.00 Check # 2580 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_ Roofing Fee \_\_\_\_\_

Total Construction Cost \$ 3669.40 TOTAL Fees 30.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL       |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK    |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS              |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION       |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION         |

## INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Permit Number: \_\_\_\_\_

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

OWNER/TITLEHOLDER NAME: Karen Denise Nearing Phone (Day) 772-288-3052 (Fax) \_\_\_\_\_

Job Site Address: 5 Lantana Lane City: Stuart State: FL Zip: 34996

Legal Description of Property: Rio Vista S/D LOT 30 Parcel Number: 12-38-41-002-000-003004

Owner Address (if different): SAME City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Provide + install Pool Fence - 103 FT OF 4 FT HIGH ALUM, 18 FT OF 5 FT HIGH ALUMINUM and 18.77 FT OF 6 FT HIGH WOOD FENCE, one double drive gate 6 FT HIGH (WOOD)  
WILL OWNER BE THE CONTRACTOR?: Yes  No  (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Aluminium Concepts Sales Inc Phone: 533-5340 Fax: 547-5699

Street: 1177 W. Blue Heron Blvd #108 City: Miwlara Bch State: FL Zip: 33404

State Registration Number: \_\_\_\_\_ State Certification Number: 11-16795 Martin County License Number: SP02567

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 3,669,40 (Notice of Commencement needed over \$2500)

**SUBCONTRACTOR INFORMATION:**

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
Karen Denise Nearing  
State of Florida, County of: Palm Beach  
This the 26th day of June, 2003  
by Karen Nearing who is personally  
known to me or produced FL DL # Above  
as identification. Robin Sabarra

Notary Public  
My Commission Expires: 3-9-04  
Seal

CONTRACTOR SIGNATURE (required)  
Matt Bartelwal  
On State of Florida, County of: Palm Beach  
This the 26th day of June, 2003  
by Matt Bartelwal who is personally  
known to me or produced personally known to me  
as identification. Robin Sabarra

Notary Public  
My Commission Expires: 3-9-04  
Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Aluminum Concepts Sales Inc.  
1177 W. Blue Heron Blvd #108  
561-533-5340 Phone ~ 561-547-5699 Fax  
[Alucon@bellsouth.net](mailto:Alucon@bellsouth.net) Email  
[www.fencenet.com](http://www.fencenet.com) Website

---

July 7, 2003


Town of Sewalls Pointe

Permitting Dept.

Please allow Louis Bernstein to submit and pick up permits on behalf of Aluminum Concepts Sales Inc. He is an employee of ours that resides in your area.

Thank you in advance for your cooperation regarding the above.

Sincerely,

  
Matt Barteluce, President

# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID LC  
ALUCO01

DATE (MM/DD/YYYY)  
04/24/03

<b>PRODUCER</b>  Gateway Insurance Agency 2430 W. Oakland Park Blvd. Fort Lauderdale FL 33311 Phone: 954-735-5500 Fax: 954-735-2852	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
	<b>INSURERS AFFORDING COVERAGE</b>	<b>NAIC #</b>
	INSURER A: <b>Nautilus Insurance Co.</b>	
	INSURER B: <b>Associated Industries</b>	
	INSURER C:	
<b>INSURED</b>  Aluminum Concepts Sales, Inc. 1177 WEST BLUE HERON BLVD #108 RIVIERA BEACH FL 33478	INSURER D:	
	INSURER E:	

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	NC197558	12/01/02	12/01/03	EACH OCCURRENCE	\$ 1000000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 5,000
					PERSONAL & ADV INJURY	\$ 1000000
					GENERAL AGGREGATE	\$ 1000000
					PRODUCTS - COMP/OP AGG	\$ EXCLUDED
	GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC					
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS					
	<input type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
					AUTO ONLY: AGG	\$
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
						\$
	DEDUCTIBLE					\$
	RETENTION \$					\$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	2000324399	07/31/02	07/31/03	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS	OTH-ER
	E.L. EACH ACCIDENT				\$ 100000	
	E.L. DISEASE - EA EMPLOYEE				\$ 100000	
	E.L. DISEASE - POLICY LIMIT	\$ 500000				
	OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

## CERTIFICATE HOLDER

SEWPO01

TOWN OF SEWALL'S POINT  
1 SOUTH SEWALL'S POINT RD  
SEWALLS POINT FL 34996

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

*Paul P. [Signature]*



**MARTIN COUNTY, FLORIDA**  
**Construction Industry Lic Bd**  
**Certificate of Competency**

License: SP02567  
Expires September 30, 2003

BARTELUCE, MATTHEW P JR  
ALUMINUM CONCEPTS SALES INC  
18844 125TH AVE NO  
JUPITER, FL 33478  
**FENCE ERECTION**



Return to: (enclose self-addressed stamped envelope)

Aluminum Concepts Sales, Inc.  
1884 125<sup>th</sup> Ave. North  
Jupiter, Florida 33478

This instrument prepared by:  
Aluminum Concepts Sales, Inc.  
1884 125<sup>th</sup> Ave. North  
Jupiter, Florida 33478

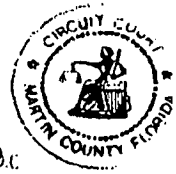
Parcel Control Number(s)

NOTICE OF COMMENCEMENT  
F.S. 713.13

STATE OF FLORIDA  
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.  
MARSHA EWING, CLERK

BY [Signature]  
DATE 6-27-03



NOTICE OF COMMENCEMENT

Permit No.  
State of Florida  
County of Palm Beach.

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT:

Legal description of property with address: 5 Kantana Lane, Stuart, FL 34996-6406  
lot 30, Rio Vistas Subdivision plat book 4, page 25, Public Records of Martin Co, FL  
12-38-41-002-000-0030-0-4

General description of improvements: Provide and install fence and gates

Owners name and address: Karen Denise Hearing, 5 SE Kantana Lane, Stuart, FL 34996-6406

Owner's interest in site of the improvement:

Fee simple title holder (if other than owner):  
Name and address:

Contractor Name and address: ALUMINUM CONCEPTS SALES, INC.  
1177 WEST BLUE HERON BLVD. #108 561-533-5340  
RIVIERA BEACH, FL 33404

Surety Name and Address:

Amount of bond \$

Any person making a loan for the construction of the improvements:  
Name and Address:

Person within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes.

Name and Address:

In addition to himself, owner designates:

To receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.  
The expiration date of this NOTICE OF COMMENCEMENT is one year from the date of recording unless a different date is specified.

Sworn to and subscribed before me this 25th  
Day of June 2003

[Signature]  
Notary Signature

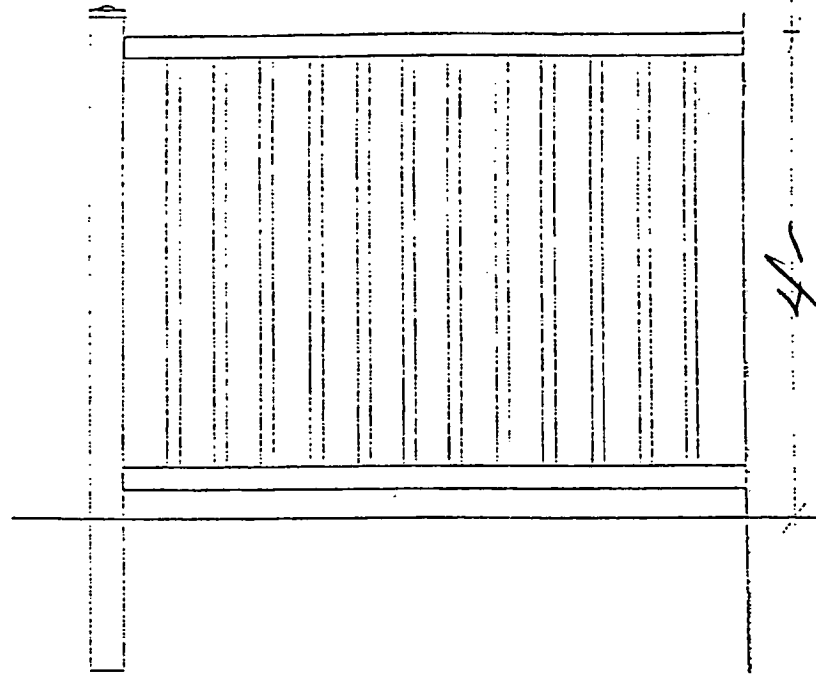
Robin Sabarra  
Printed Notary Signature

[Signature]  
Signature of Owner

Karen Denise Hearing  
Printed Signature of Owner



0.L. # N652-504-52-592-0



ALUMINUM FENCE DETAILS.

~~MECHANICAL FENCE~~

2" SQ. X .093" WALL POST & SNAP 60" ON CENTER.

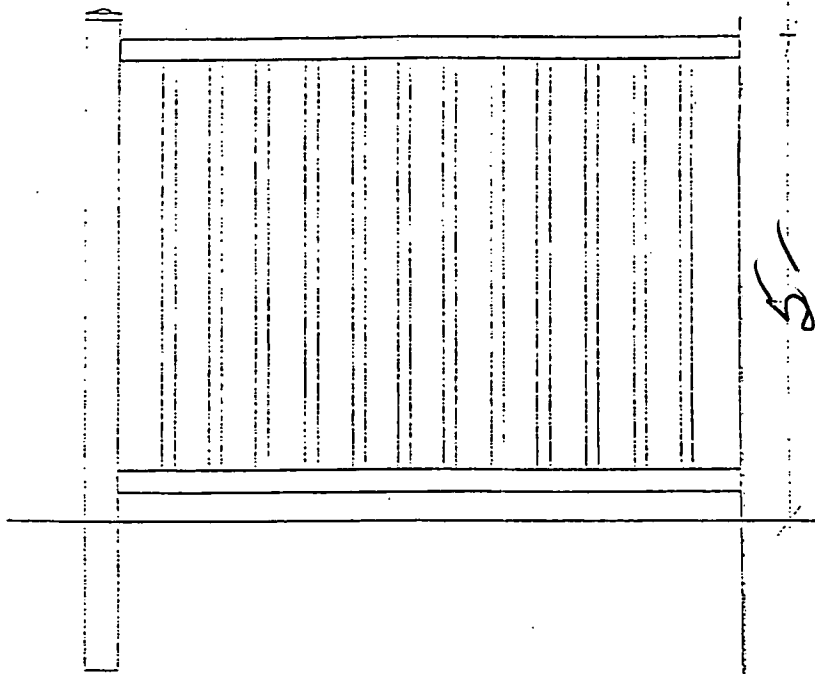
3/4" X .045" WALL PICKETS WITH 3 3/4" SPACES.

1" X 1 5/8" TOP & BOTTOM CHANNELS.

ASSEMBLED WITH THERMAL COATED SCREWS.

WHITE, BLACK OR BRONZE ESP FINISH.

ALUMINUM CONCEPTS SALES INC.  
18844 125<sup>TH</sup> AVENUE NORTH  
JUPITER, FL 33478  
561-533-5340 PHONE  
561-547-5699 FAX



ALUMINUM FENCE DETAILS.

MECHANICAL FENCE:

2" SQ. X .093" WALL POST & SNAP 60" ON CENTER.

3/4" X .045" WALL PICKETS WITH 3 3/4" SPACES.

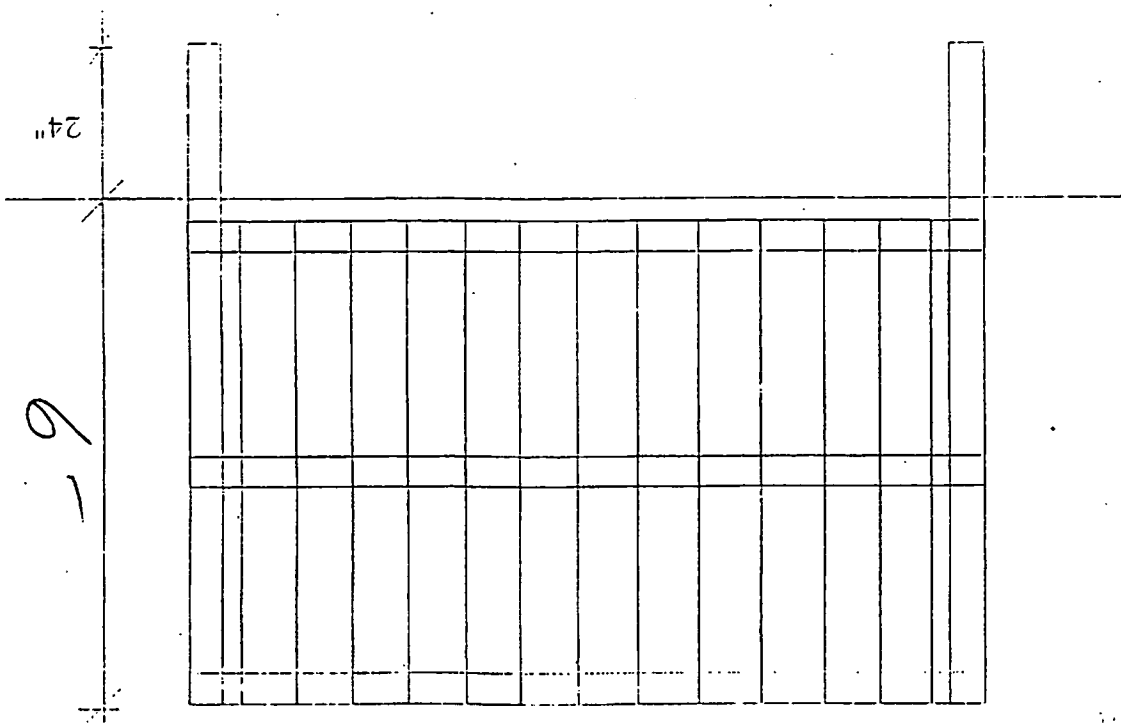
1" X 1 5/8" TOP & BOTTOM CHANNELS.

ASSEMBLED WITH THERMAL COATED SCREWS.

WHITE, BLACK OR BRONZE ESP FINISH.

ALUMINUM CONCEPTS SALES INC.  
18844 125<sup>TH</sup> AVENUE NORTH  
JUPITER, FL 33478  
561-533-5340 PHONE  
561-547-5699 FAX

# WOOD FENCE





7409

FENCE

---

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 3/21/05

BUILDING PERMIT NO. 7409

Building to be erected for NEARING

Type of Permit FENCE

Applied for by O/B (Contractor)

Building Fee 30.00

Subdivision RIO VISTA Lot 30 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 5 LANTANA LANE

Impact Fee \_\_\_\_\_

Type of structure FENCE

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:

Plumbing Fee \_\_\_\_\_

1238410020000030040000

Roofing Fee \_\_\_\_\_

Amount Paid 30.00 Check # 1513 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 700.00

TOTAL Fees 30.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

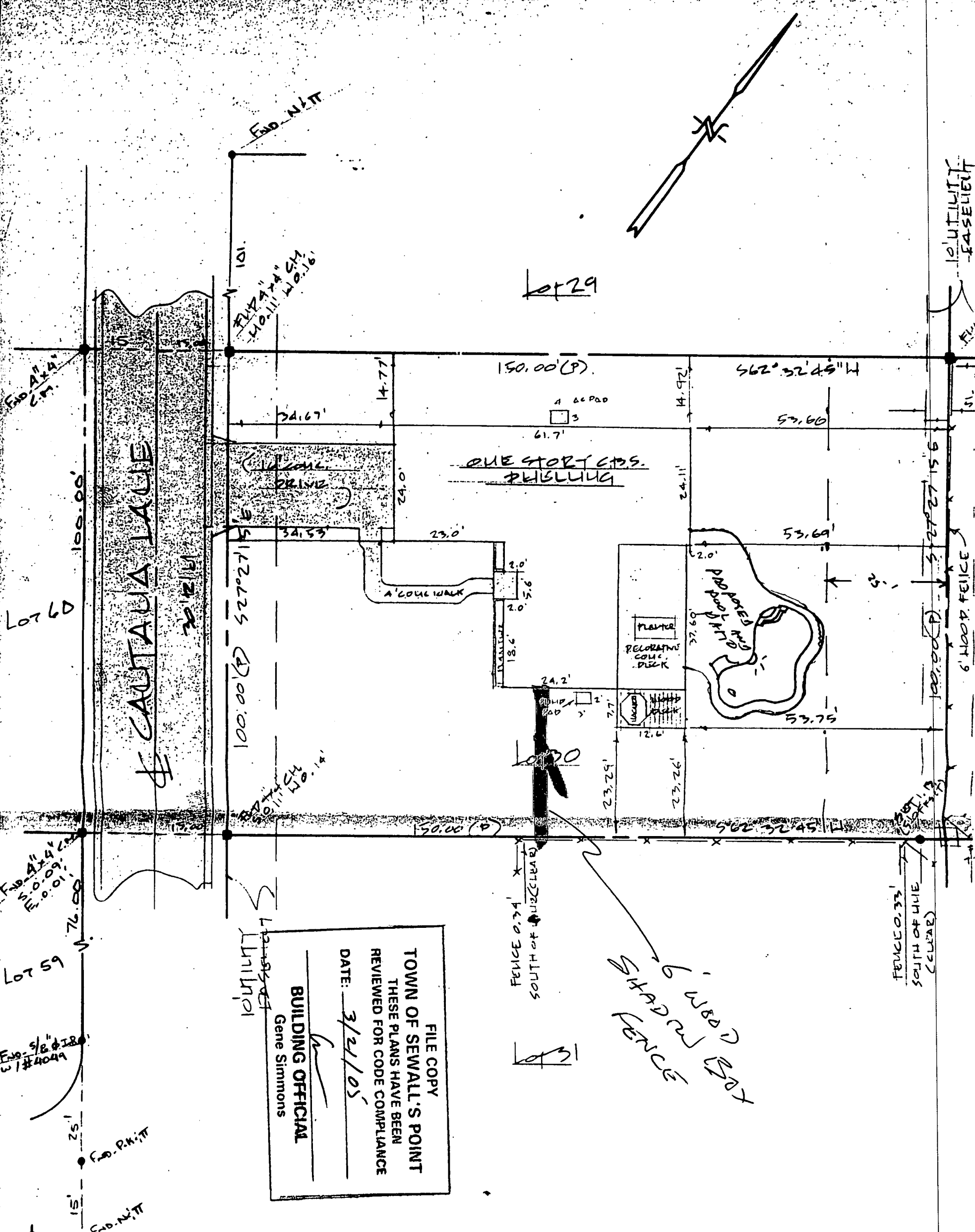
- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_



FILE COPY  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE: 3/21/05  
 BUILDING OFFICIAL  
 Gene Simmons

SHADOW  
 FENCE

- NOTES:**
- Survey of description as furnished by
  - Lands shown hereon were not abstract and/or rights-of-way of record.  
 (P) Denotes distance or bearing by description  
 (F) Denotes measured distance or bearing  
 (C) Denotes calculated distance or bearing.
  - All bearings are referenced to the Ins as shown hereon, unless otherwise noted.
  - Elevations shown hereon are relative to the Vertical Datum of 1929, and are based on the datum of 1929.
  - There are no above ground encroachments, easements, or other interests shown hereon.

SET I.B. - SET 5/8 IRON BAR & CAP #404  
 FND. - FOUND OBJECT  
 I.P. - IRON PIPE  
 C.M. - CONCRETE MONUMENT  
 I.B. - IRON BAR  
 P.K. - P K MARK



MAR 18 2005

BY:

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 03-18-05 Permit Number:

OWNER/TITLEHOLDER NAME: DENISE NEARING Phone (Day) 781-6082 (Fax) 781-6082

Job Site Address: SLANTANA LANE City: SEWALL'S PT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) SEE ATTACHED Parcel Number:

Owner Address (if different): SLANTANA LN City: SEWALL'S PT State: FL Zip: 34996

Description of Work To Be Done: 6' HIGH, WOOD SHADOW BOX FENCE

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 700
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value:

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Phone: Fax:

Street: City: State: Zip:

State Registration Number: State Certification Number: Martin County License Number:

SUBCONTRACTOR INFORMATION:

Electrical: State: License Number:

Mechanical: State: License Number:

Plumbing: State: License Number:

Roofing: State: License Number:

ARCHITECT Lic.#: Phone Number:

Street: City: State: Zip:

ENGINEER Lic# Phone Number:

Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Screened Porch:

Carport: Total Under Roof Wood Deck: Accessory Building:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of: MARTIN
This the 21st day of March, 2005
by Karen Denise Nearing who is personally known to me or produced as identification.

CONTRACTOR SIGNATURE (required)

On State of Florida, County of:
This the \_\_\_ day of \_\_\_, 200\_\_
by \_\_\_ who is personally known to me or produced as identification.

My Commission Expires: LAURA L O'BRIEN MY COMMISSION # DD 205961 EXPIRES: April 28, 2007

Notary Public Seal My Commission Expires:

**TOWN OF SEWALL'S POINT**  
ONE SOUTH SEWALL'S POINT ROAD  
SEWALL'S POINT, FLORIDA 34996

**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
(To be submitted if permit is to be pulled by Owner/Builder)

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: K. DENISE NEARING Date: 03-18-05

Signature: K. Denise Nearing

Address: 5 LANTANA LANE

City & State: SEWALL'S Pt, FL 34996

Permit No. \_\_\_\_\_

Please allow Stephen M. Sedor Jr.  
to pull and pick-up any permits  
for the residence I own @  
5 Lantana Lane, Sewall's Point,  
Stuart, Fl. 34996  
Phone # 288-3052

Karen Denise Nease  
3/21/05



7566

STORM PANELS

---

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 5/19/05

BUILDING PERMIT NO. 7566

Building to be erected for NEARINGS

Type of Permit STORM PANELS

Applied for by HOBE SOUND ALUM.

(Contractor) Building Fee 9.60 x 4450/1000 = 42.72

Subdivision RIO VISTA Lot 30 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 5 LANZANA LANE

Impact Fee \_\_\_\_\_

Type of structure SFR

AC Fee \_\_\_\_\_

Parcel Control Number:

Electrical Fee \_\_\_\_\_

123841002000003004000

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 42.72 Check # 9252 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 4450.00

TOTAL Fees 42.72

Signed M. Butcher  
Applicant

Signed Gene Summers  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

Date: \_\_\_\_\_ Permit Number: \_\_\_\_\_

**RECEIVED**  
5/10/05

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

STEVE SEDOR  
781 6082 288 8052

OWNER/TITLEHOLDER NAME: K NEARING Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address: 5 HANTANA LN City: STUART State: FL Zip: 34992

Legal Description of Property: 12 38 41 002 000 00300 4 Parcel Number: Rio Vista Sub/Div

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: INSTALL STORM PROTECTION

WILL OWNER BE THE CONTRACTOR?: Yes  No  (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: HOBE SOUND ALUMINUM Phone: 546 5483 Fax: 546 3187

Street: 10910 SE DIXIE HWY City: HOBE SOUND State: FL Zip: 33455

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: SP03236

COST AND VALUES: Estimated Cost of Construction or Improvements: \$4450 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION: N/A  
Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
A.D. Nearing  
State of Florida, County of: MARTIN  
This the 13<sup>th</sup> day of NOV, 2004  
by K NEARING who is personally  
known to me or produced  
as identification. Kathleen Gemme  
Notary Public

My Commission Expires: \_\_\_\_\_

CONTRACTOR SIGNATURE (required)  
Curtis Carlson  
On State of Florida, County of: MARTIN  
This the 13<sup>th</sup> day of NOV, 2004  
by CECIL ERIC CARLSON who is personally  
known to me or produced  
as identification. Kathleen Gemme  
Notary Public

My Commission Expires: \_\_\_\_\_

**KATHLEEN GEMME**  
MY COMMISSION # DD 139484  
PERMIT APPLICATIONS VALID 90 DAYS FROM APPROVAL NOTIFICATION  
Bonded Thru Notary Public Underwriters

**KATHLEEN GEMME**  
MY COMMISSION # DD 139484  
EXPIRES: August 5, 2006  
Bonded Thru Notary Public Underwriters

Seal

FAX

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

1238 41 003 000 00300 4 RIO VISTA S/D #30

GENERAL DESCRIPTION OF IMPROVEMENT: INSTALL STORM PANELS

OWNER: K. NEARING

ADDRESS: 56 ANTADA LAKE STUART, FL 34996

PHONE #: 781-6882 FAX #: \_\_\_\_\_

INTEREST IN PROPERTY: \_\_\_\_\_

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

CONTRACTOR: Nobe Sound Aluminum

ADDRESS: 10810 SE DIXIE NOBE SOUND, FL 33455

PHONE #: 545 5483 FAX #: 546 3187

STATE OF FLORIDA  
MARTIN COUNTY

SURETY COMPANY (IF ANY) \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX #: \_\_\_\_\_

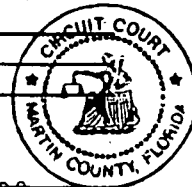
BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX #: \_\_\_\_\_

THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.  
MARSHA EWING, CLERK



BY: [Signature] D.C.  
DATE: 5/10/05

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: Nobe Sound Aluminum

ADDRESS: 10810 SE DIXIE NOBE SOUND, FL

PHONE #: 546 5483 FAX #: 546 3187

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES K Gemme

OF Nobe Sound Aluminum TO RECEIVE A COPY OF THE LIENOR'S

NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: 546 5483 FAX #: 546 3187

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

(THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.)

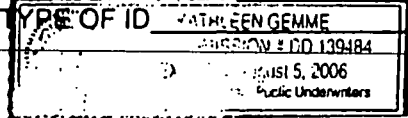
SIGNATURE OF OWNER [Signature]

SWORN TO AND SUBSCRIBED BEFORE ME THIS 1<sup>ST</sup> DAY OF APR 2005

BY Steve Neder

PERSONALLY KNOWN   
OR PRODUCED ID \_\_\_\_\_

NOTARY SIGNATURE



INSTR # 1839674 OR BK 02014 FS 1097 RECD 05/16/2005 02:16:30 PM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Walsh



# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
07/19/04

<b>PRODUCER</b>  GARDENS INSURANCE AGY  P O BOX 30099 PLM BCH GARDENS FL 33420	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.  <b>COMPANIES AFFORDING COVERAGE</b>  COMPANY A SCOTTSDALE INSURANCE CO.  COMPANY B ZENITH INSURANCE COMPANY  COMPANY C  COMPANY D
<b>INSURED</b>  HOBE SOUND ALUMINIUM AND SHUTTER INC. 10810 S.E. DIXIE HWY HOBE SOUND FL 33455	

**COVERAGES**  
 THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	CPS0587685	7/21/04	7/21/05	GENERAL AGGREGATE \$
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				PRODUCTS - COMP/OP AGG \$
	<input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR				PERSONAL & ADV INJURY \$
	OWNER'S & CONTRACTOR'S PROT				EACH OCCURRENCE \$
					FIRE DAMAGE (Any one fire) \$
					MED EXP (Any one person) \$
					COMBINED SINGLE LIMIT \$
	AUTOMOBILE LIABILITY				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> ALL OWNED AUTOS				PROPERTY DAMAGE \$
	<input type="checkbox"/> SCHEDULED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY:
					EACH ACCIDENT \$
					AGGREGATE \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> UMBRELLA FORM				AGGREGATE \$
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM				\$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	BINDER	7/21/04	7/21/05	<input checked="" type="checkbox"/> WC STATUTORY LIMITS
					OTHER:
	EL EACH ACCIDENT \$ 100,000				
	EL DISEASE-POLICY LIMIT \$ 500,000				
	OTHER				EL DISEASE-EA EMPLOYEE \$ 100,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

<b>CERTIFICATE HOLDER</b>  TOWN OF SEWALL'S POINT  1 SOUTH SEWALL'S POINT RD. SEWALL'S POINT, FL 34996	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.  AUTHORIZED REPRESENTATIVE <i>Debbie Mullin</i> Debbie Mullin SF A
---	--

2004-2005 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE 1987-513-930 CERT SP03236  
PHONE (561)546-5483 SIC NO 235990

LOCATION:  
10810 SE DIXIE HWY HS

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF ALUMINUM ADDITIONS

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

15 DAY OF SEPTEMBER 2004  
AND ENDING SEPTEMBER 30 2005

12 04091401 002163

CECIL ERIC CARLSON SP03236  
HOBE SOUND ALUMINUM & SHUTTER CORP  
GEMME KATHLEEN  
10810 SE DIXIE HWY  
HOBE SOUND FL 33455

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



**MARTIN COUNTY, FLORIDA**  
**Construction Industry Licensing Board**  
**Certificate of Competency**

***ALUMINUM/CONCRETE CONTRACTOR***

License Number SP03236 Expires: 30-SEP-05

CARLSON, CECIL ERIC  
HOBE SOUND ALUM & SHUTTER CORP  
10810 SE DIXIE HWY  
HOBE SOUND, FL 33455

FILE COPY

TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

DATE: 5/19/05

BUILDING OFFICIAL

Gene Simmons  
SBCCI PUBLIC SAFETY TESTING AND EVALUATION SERVICES INC.



900 Montclair Road, Suite A; Birmingham, Alabama 35213-1206

www.sbccies.org

a Participating Member of the NES, Inc.

Evaluation Reports are the opinion of the Committee on Evaluation, based on the findings, and do not constitute or imply an approval or acceptance by any local community. The Committee, in review of the data submitted, finds that in their opinion the product, material, system, or method of construction specifically identified in this report conforms with or is a suitable alternate to that specified in the Standard and International Codes, **SUBJECT TO THE LIMITATIONS IN THIS REPORT.**

The Committee on Evaluation has reviewed the data submitted for compliance with the *Standard Building Code*, the *SBCCI Standard for Hurricane Resistant Residential Construction SSTD 10*, the *Florida Building Code-Building*, and the *International One and Two Family Dwelling Code* and submits to the Building Official or other authority having jurisdiction the following report. The Committee on Evaluation, SBCCI PST & ESI and its staff are not responsible for any errors or omissions to any documents, calculations, drawings, specifications, tests or summaries prepared and submitted by the design professional or preparer of record that are listed in the Substantiating Data Section of this report. Portions of this report were previously included in Evaluation Report #2110. Copyrighted © 2003 SBCCI PST & ESI

3. USES

Town and Country Storm Panels and Shutters are used to protect glazed openings and doorways from windborne debris.

4. DESCRIPTION

4.1 General - Models

4.1.1 0.040 Storm Panel

The panel is 0.040 inch (1.0 mm) thick corrugated aluminum alloy sections conforming with 3004-H34 Aluminum Alloy with a minimum yield strength of 25 ksi (172 MPa). The full panels are 14.375 inches (365 mm) wide and 2 inches (51 mm) deep. Half panels 8.332 inches (212 mm) wide and 2 inches (51 mm) deep are also available. Panels are overlapped for unlimited width openings. Extrusions for mounting panels are 6063-T6 aluminum alloy. Mounting extrusions are "h" header, "U" Header, Build-Out "U" Header, Stud Angle, Angle, C-Track, Build-Out F-Track, "F" Track, and "F" Angle-Track. See Tables 1 and 2 of this report for allowable loads and maximum and minimum spans.

REPORT NO. 2304 FLA 331

EXPIRES: See current SBCCI PST & ESI EVALUATION REPORT LISTING

CATEGORY: DOORS AND WINDOWS

SUBMITTED BY:

TOWN AND COUNTRY INDUSTRIES, INC.  
400 WEST McNAB ROAD  
FORT LAUDERDALE, FLORIDA 33309

1. PRODUCT TRADE NAME

- 1.1 0.040 Storm Panel
- 1.2 0.050 Storm Panel
- 1.3 0.060 Storm Panel
- 1.4 6.8 Accordion Shutter
- 1.5 HR Accordion Shutter
- 1.6 Super 50 Roll-Up Shutter
- 1.7 0.0232" Steel Storm Panels
- 1.8 0.0285" Steel Storm Panels
- 1.9 0.085 Clear Polycarbonate Storm Panel

4.1.2 0.050 Storm Panel

The panel is 0.050 inch (1.3 mm) thick corrugated aluminum alloy sections conforming with 5052-H32 Aluminum Alloy with a minimum yield strength of 23 ksi (159 MPa). The full panels are 14.375 inches (365 mm) wide and 2 inches (51 mm) deep. Half panels 8.332 inches (212 mm) wide and 2 inches (51 mm) deep are also available. Panels are overlapped for unlimited width openings. Extrusions for mounting panels are 6063-T6 aluminum alloy. Mounting extrusions are "h" header, "U" Header, Build-Out "U" Header, Stud Angle, Angle, C-Track, Build-Out F-Track, "F" Track, and "F" Angle-Track. See Tables 1 and 2 of this report for allowable loads and maximum and minimum spans.

2. SCOPE OF EVALUATION

- 2.1 Impact Resistance under SSTD 12-99
- 2.2 Structural - Transverse Wind Loads

4.1.3 The 0.060 Storm Panel

The panel is 0.060 inch (1.5 mm) thick corrugated aluminum alloy sections conforming with 3004-H34 Aluminum Alloy with a minimum yield strength of 25 ksi (172 MPa).

The full panels are 14.375 inches (365 mm) wide and 2 inches (51 mm) deep. Half panels 8.332 inches (212 mm) wide and 2 inches (51 mm) deep are also available. Panels are overlapped for unlimited width openings. Extrusions for mounting panels are 6063-T6 aluminum alloy. Mounting extrusions are "h" header, "U" Header, Build-Out "U" Header, Stud Angle, Angle, C-Track, Build-Out F-Track, "F" Track, and "F" Angle-Track. See Tables 1 and 2 of this report for Allowable Loads and Maximum and Minimum Spans.

#### 4.1.4 6.8 Accordion Shutters

The 6.8 Accordion Shutters are 6063-T6 Aluminum Alloy Slats with interlocking male and female knuckles. The typical slats are 4.803 inches (117 mm) long and 0.054 inch (1.4 mm) thick. The alternate slats are 4.510 inches (115 mm) long and 0.054 inches (1.4 mm) thick. The coverage of two successive slats when the slats are fully extended is 6.8" (173 mm). Extrusions for mounting the Accordion Shutters are 6063-T6 Aluminum Alloy. Mounting Extrusions are Wall Headers, Build out Wall Header, Headers, Wall Sill, Base Sill, and Base Track. See Table 3 of this report for Allowable Loads and Maximum Spans.

#### 4.1.5 HR Accordion Shutters

The HR Accordion Shutters are 6063-T6 Aluminum Alloy Slats with interlocking male and female knuckles. The slats are 4.596 inches (117 mm) long and 0.060 inch (1.5 mm) thick. The coverage of two successive slats when the slats are fully extended is 5.62 inches (143 mm). Extrusions for mounting the Accordion Shutters are 6063-T6 Aluminum Alloy. Mounting Extrusions are Wall Headers, Headers, Base Sill, and Base Track. See Table 3 of this report for Allowable Loads and Maximum Spans.

#### 4.1.6 Super 50 Roll-Up Shutters

The Super 50 Roll-Up Shutters are assembled from interlocking Extruded Aluminum Slats. The Slats are 6036-T6 Aluminum Alloy with a thickness of 0.054 inches (1.4 mm) and a cross section of 2.410 inches (61 mm) wide by 0.540 inches (14 mm) deep. Extrusions for mounting are 6063-T6 Aluminum Alloy. The shutter is rolled up into a cover at the top of the opening when not in use. See Table 4 of this report for Allowable Loads and Maximum Spans.

#### 4.1.7 0.0232" Steel Storm Panel

The 0.0232" steel storm panels are bare metal thickness of 0.0232 inch (0.6 mm) corrugated steel sections conforming with ASTM A 653 SS Grade 40 with a minimum yield strength of 33 ksi (228 MPa) and galvanized under ASTM A G 60. The full panels are 14.375 inches (365 mm) wide and 2 inches (51 mm) deep. Panels are overlapped for unlimited width openings. They are mounted directly to the wall or by the use of mounting extrusions. Extrusions for mounting panels are 6063-T6 aluminum alloy. Mounting extrusions are "h" Header, "U" Header, Build-out "U" Header, Stud Angle, Angle, C-Track, Build-out F-Track, "F" Track, "F" Angle-Track. See Tables 1 and 5 of this report for minimum allowable panel lengths and allowable loads.

#### 4.1.8 0.0285" Steel Storm Panel

The 0.0285" steel storm panels are bare metal thickness of 0.0285 0.0478 inch (0.7 mm) corrugated steel sections conforming with ASTM A 653 SS Grade 33 with a minimum yield strength of 33 ksi (228 MPa) and galvanized under ASTM A G 60. The full panels are 14.375 inches (365 mm) wide and 2 inches (51 mm) deep. Panels are overlapped for unlimited width openings. They are mounted directly to the wall or by the use of mounting extrusions. Extrusions for mounting panels are 6063-T6 aluminum alloy. Mounting extrusions are "h" Header, "U" Header, Build-out "U" Header, Stud Angle, Angle, C-Track, Build-out F-Track, "F" Track, "F" Angle-Track. See Tables 1 and 5 of this report for minimum allowable panel lengths and allowable loads.

#### 4.1.9 0.085 Clear Polycarbonate Storm Panel

The clear polycarbonate storm panels are used in conjunction with the aluminum storm panels. The panels are 0.085 inches (2 mm) thick, 8 inches (203 mm) wide, and 2 inches (51 mm) deep. Panels are fabricated from Sheffield Plastic's HYZOD (SBCCI PST & ESI 9564D). A minimum of one full width aluminum panel is required to be installed immediately adjacent to each side of the polycarbonate panel. See Tables 1 and 6 of this report for minimum allowable panel lengths and allowable loads.

#### 4.2 Large Missile Impact Resistance under SSTD 12

The Town and Country Storm Panels and Shutters were tested for large missile impact resistance under SSTD 12 using 9 foot (2.7 m) long 9 pound (4 kg) projectiles traveling 50 feet (15 m) per second. The panels tested passed the large missile impact test. The panels listed in this report may be used to protect glazed openings and doorways from windborne debris in any wind zone region.

### 5. INSTALLATION

The manufacturer's published installation instructions and this report shall be strictly adhered to and a copy of these instructions shall be available at all times on the job site during installation. The instructions within this report govern if there are any conflicts between the manufacturer's instructions and this report.

**TABLE 1  
STORM PANELS  
MINIMUM ALLOWABLE PANEL LENGTHS**

MOUNTING CONDITIONS	MINIMUM PANEL LENGTH (Inches)					
	Direct Mount or Recessed C-Track	2" x 2" Stud Angle	C-Track	"h" or "U" Header	F Track	C-Track with Side Closure Pieces
Top Mounts ⇒ ↓ Bottom Mounts						
Direct Mount or Recessed C-Track	52	34	110	30	57	----
2" x 2" Stud Angle	36	30	35	30	31	----
F - Angle Track	57	31	90	31	62	----
C-Track	64	55	110	35	90	----
"F" Track	57	49	90	31	76	----
C-Track with Side Closure Pieces	----	----	----	----	----	52

SI: 1 inch = 25.4 mm

**TABLE 2  
ALUMINUM STORM PANELS  
ALLOWABLE TRANSVERSE WIND LOAD**

DESIGN LOAD (PSF)	MAXIMUM PANEL LENGTH <sup>1,2</sup> (Mounted Without F Angle-Track)			MAXIMUM PANEL LENGTH <sup>1,2</sup> (Mounted With F Angle-Track)		
	0.040 Storm Panel	0.050 Storm Panel	0.060 Storm Panel	0.040 Storm Panel	0.050 Storm Panel	0.060 Storm Panel
-30	10' - 11"	11' - 9"	14' - 11"	10' - 11"	11' - 9"	14' - 11"
-35	10' - 3"	10' - 10"	13' - 9"	10' - 3"	10' - 10"	13' - 0"
-40	9' - 7"	10' - 2"	12' - 11"	9' - 7"	10' - 2"	11' - 6"
-45	9' - 0"	9' - 7"	12' - 2"	9' - 0"	9' - 7"	10' - 5"
-50	8' - 7"	9' - 1"	11' - 5"	8' - 7"	9' - 1"	9' - 2"
-55	8' - 2"	8' - 8"	10' - 6"	8' - 2"	8' - 4"	8' - 4"
-60	7' - 10"	8' - 3"	9' - 9"	7' - 9"	7' - 9"	7' - 9"
-65	7' - 6"	7' - 9"	9' - 1"	7' - 2"	7' - 2"	7' - 2"
-70	7' - 3"	7' - 4"	8' - 5"	6' - 8"	6' - 8"	6' - 8"
-75	6' - 10"	6' - 10"	7' - 9"	6' - 2"	6' - 2"	6' - 2"
-80	6' - 5"	6' - 6"	7' - 4"	5' - 9"	5' - 8"	5' - 9"

SI: 1 inch = 25.4 mm; 1 psf = 47.88 Pa

1. Refer to engineering drawing 02-264 for the anchor schedules and installation details.
2. Opening width is not limited

**TABLE 1  
STORM PANELS  
MINIMUM ALLOWABLE PANEL LENGTHS**

MOUNTING CONDITIONS	MINIMUM PANEL LENGTH (Inches)					
	Direct Mount or Recessed C-Track	2" x 2" Stud Angle	C-Track	"h" or "U" Header	F Track	C-Track with Side Closure Pieces
Top Mounts ⇒ ↓ Bottom Mounts						
Direct Mount or Recessed C-Track	52	34	110	30	57	----
2" x 2" Stud Angle	36	30	35	30	31	----
F - Angle Track	57	31	90	31	62	----
C-Track	64	55	110	35	90	----
"F" Track	57	49	90	31	76	----
C-Track with Side Closure Pieces	----	----	----	----	----	52

SI: 1 inch = 25.4 mm

**TABLE 2  
ALUMINUM STORM PANELS  
ALLOWABLE TRANSVERSE WIND LOAD**

DESIGN LOAD (PSF)	MAXIMUM PANEL LENGTH <sup>1,2</sup> (Mounted Without F Angle-Track)			MAXIMUM PANEL LENGTH <sup>1,2</sup> (Mounted With F Angle-Track)		
	0.040 Storm Panel	0.050 Storm Panel	0.060 Storm Panel	0.040 Storm Panel	0.050 Storm Panel	0.060 Storm Panel
	-30	10' - 11"	11' - 9"	14' - 11"	10' - 11"	11' - 9"
-35	10' - 3"	10' - 10"	13' - 9"	10' - 3"	10' - 10"	13' - 0"
-40	9' - 7"	10' - 2"	12' - 11"	9' - 7"	10' - 2"	11' - 6"
-45	9' - 0"	9' - 7"	12' - 2"	9' - 0"	9' - 7"	10' - 5"
-50	8' - 7"	9' - 1"	11' - 5"	8' - 7"	9' - 1"	9' - 2"
-55	8' - 2"	8' - 8"	10' - 6"	8' - 2"	8' - 4"	8' - 4"
-60	7' - 10"	8' - 3"	9' - 9"	7' - 9"	7' - 9"	7' - 9"
-65	7' - 6"	7' - 9"	9' - 1"	7' - 2"	7' - 2"	7' - 2"
-70	7' - 3"	7' - 4"	8' - 5"	8' - 8"	6' - 8"	6' - 8"
-75	6' - 10"	6' - 10"	7' - 9"	6' - 2"	6' - 2"	6' - 2"
-80	6' - 5"	6' - 6"	7' - 4"	5' - 9"	5' - 8"	5' - 9"

SI: 1 inch = 25.4 mm; 1 psf = 47.88 Pa

1. Refer to engineering drawing 02-264 for the anchor schedules and installation details.
2. Opening width is not limited

**TABLE 3**  
**ACCORDION SHUTTERS**  
**ALLOWABLE TRANSVERSE WIND LOAD**

DESIGN LOAD (PSF)	MAXIMUM PANEL LENGTH		
	HR <sup>1,2</sup> Accordion Shutter	6.8 <sup>3,4</sup> Accordion Shutter	
		Mounting <sup>5</sup> "A", "D", "E" <sup>6</sup> or "F"	Mounting <sup>5</sup> "B" or "C"
-30	----	12' - 4"	12' - 4"
-35	----	12' - 0"	12' - 0"
-40	----	12' - 0"	12' - 0"
-45	----	12' - 0"	12' - 0"
-50	----	11' - 5"	11' - 5"
-55	----	10' - 5"	10' - 5"
-60	----	9' - 6"	9' - 6"
-65	15' - 5"	8' - 9"	8' - 9"
-70	14' - 10"	8' - 3"	8' - 3"
-75	14' - 4"	8' - 3"	8' - 3"
-80	13' - 8"	8' - 1"	8' - 3"
-85	13' - 1"	7' - 10"	8' - 3"
-90	12' - 4"	7' - 5"	8' - 3"
-95	11' - 8"	7' - 1"	8' - 3"
-100	11' - 2"	6' - 7"	8' - 3"
-110	11' - 1"	6' - 1"	8' - 3"
-120	11' - 0"	5' - 7"	8' - 0"
-130	10' - 10"	5' - 1"	7' - 4"
-140	10' - 1"	4' - 9"	6' - 10"
-150	8' - 5"	----	----
-160	9' - 0"	----	----
-170	8' - 0"	----	----
-175	8' - 0"	----	----

SI: 1 Inch = 25.4 mm; 1 psf = 47.88 Pa

1. Refer to engineering drawings 02-269 for the anchor schedules and installation details.
2. Minimum span for the HR Accordion Shutter is 32 inches.
3. Refer to engineering drawing 02-270 for the anchor schedules and installation details.
4. Minimum span for the 6.8 Accordion Shutter is 32 inches.
5. See sheet 3 of drawing 02-270 for mounting details "A" through "F".
6. The maximum allowable shutter length is 10' - 0" and the maximum allowable load is 60 psf for mounting "E".

**TABLE 4**  
**SUPER 50 ROLL UP SHUTTERS**  
**ALLOWABLE TRANSVERSE WIND LOAD**

DESIGN LOAD (PSF)	MAXIMUM SPAN WIDTH <sup>1</sup>		
	Single Span	Double Span	Triple Span
-25	11' - 5"	12' - 5"	12' - 5"
-30	10' - 6"	12' - 3"	12' - 5"
-35	9' - 11"	11' - 5"	12' - 3"
-40	9' - 4"	10' - 8"	11' - 5"
-45	8' - 11"	10' - 0"	10' - 10"
-50	8' - 5"	9' - 7"	10' - 4"
-55	8' - 1"	8' - 1"	9' - 10"
-60	7' - 8"	8' - 8"	9' - 5"
-65	7' - 5"	8' - 5"	8' - 1"
-70	7' - 1"	8' - 1"	8' - 8"
-80	6' - 7"	7' - 7"	8' - 1"
-90	6' - 2"	7' - 1"	7' - 8"
-100	5' - 10"	6' - 11"	7' - 3"
-115	5' - 5"	6' - 3"	6' - 9"
-130	5' - 0"	5' - 11"	6' - 3"

SI: 1 in = 25.4 mm, 1 psf = 48 Pa

1. Refer to engineering drawings 02-311 for the Anchor Schedules and installation details.

**TABLE 5**  
**STEEL STORM PANELS**  
**ALLOWABLE TRANSVERSE WIND LOAD**

DESIGN LOAD (PSF)	MAXIMUM PANEL LENGTH <sup>1,2</sup>			
	0.0232"		0.0285"	
	Mountings without Build-Out Mount	Build-Out Mount	Mountings without Build-Out Mount	Build-Out Mount
-40	9' - 5"	9' - 3"	11' - 0"	10' - 2"
-50	7' - 10"	7' - 9"	8' - 3"	7' - 9"
-90	6' - 1"	6' - 1"	6' - 1"	6' - 1"

SI: 1 Inch = 25.4 mm; 1 psf = 47.88 Pa

1. Refer to engineering drawings 02-467 for the anchor schedules and installation details.
2. Opening width is not limited



**TABLE 6**  
**ALUMINUM & CLEAR POLYCARBONATE STORM PANEL**  
**ALLOWABLE TRANSVERSE WIND LOAD**

DESIGN LOAD (PSF)	MAXIMUM STORM PANEL LENGTH <sup>1,2</sup>		
	Aluminum & Polycarbonate Panel Systems		
	0.040" With Clear Panels With Stitches	0.050" & 0.060" With Clear Panels With Stitches	0.050" & 0.060" With Clear Panels Without Stitches
-30	7' - 10"	7' - 10"	4' - 3"
-35	7' - 10"	7' - 10"	3' - 11"
-40	7' - 5"	7' - 10"	3' - 8"
-45	7' - 0"	7' - 10"	3' - 5"
-50	6' - 7"	7' - 10"	3' - 3"
-55	6' - 3"	7' - 8"	3' - 1"
-80	6' - 0"	6' - 11"	3' - 0"
-65	6' - 9"	6' - 5"	----
-70	5' - 7"	5' - 11"	----

SI: 1 inch = 25.4 mm; 1 psf = 47.88 Pa

- Refer to engineering drawings 02-483 for the anchor schedules and installation details.
- Opening width is not limited

#### 8. SUBSTANTIATING DATA

- Manufacturer's specifications and installation drawings:
  - 0.040", 0.050", 0.060" Aluminum Storm Panels, Drawing 02-264, dated March 21, 2002, Revision 3, dated October 29, 2002, 5 sheets, prepared by Knezevich & Associates, Inc., signed, sealed, and dated by V.J. Knezevich, P.E.
  - HR Accordion Shutter, Drawing 02-269, dated February 30, 2002, Revision 4, dated October 14, 2002, 5 sheets, prepared by Knezevich & Associates, Inc., signed, sealed, and dated by V.J. Knezevich, P.E.
  - 6.8 Accordion Shutter, Drawing 02-270, dated March 20, 2002, Revision 3, dated October 28, 2002, 5 sheets, prepared by Knezevich & Associates, Inc., signed, sealed, and dated by V. J. Knezevich, P.E.
  - Super 60 Roll-Up Shutter, Drawing 02-311, dated June 4, 2002, Revision No. 3, dated December 6, 2002, 10 sheets, prepared by Knezevich & Associates, Inc., signed, sealed, and dated by V. J. Knezevich, P.E.
  - 0.0232" & 0.0265" Steel Storm Panels, Drawing 02-487, dated August 27, 2002, Revision No. 1, dated October 28, 2002, 5 sheets, prepared by Knezevich & Associates, Inc., signed, sealed, and dated by V. J. Knezevich, P.E.
  - Clear Polycarbonate Storm Panels, Drawing 02-483, dated August 28, 2002, No Revisions, 5 sheets, prepared by Knezevich & Associates, Inc., signed, sealed, and dated by V. J. Knezevich, P.E.
- Test report on Pull Tests on Fasteners in accordance with ASTM E 488-90, prepared by Construction Testing Corporation, Report No. 97-065, dated January 6, 1998, signed by George Dotzler.
- Test report on Uniform Static Air Pressure in accordance with ASTM E 330 and Large Missile Impact in accordance with SSTD 12 on 0.050" Aluminum Storm Panel, prepared by Construction Testing Corporation, Report No. 87-063, dated December 31, 1997, signed by George Dotzler.
- Test report on Large Missile Impact in accordance with SSTD 12 on 0.050" Aluminum Storm Panel, prepared by Construction Testing Corporation, Report No. 98-009, dated February 5, 1998, signed by George Dotzler.
- Test report on Large Missile Impact in accordance with SSTD 12 on 0.040" Aluminum Storm Panel, prepared by Construction Testing Corporation, Report No. 98-010, dated April 23, 1998, signed by George Dotzler.
- Test report on Uniform Static Air Pressure in accordance with ASTM E 330 and Large Missile Impact in accordance with SSTD 12 on 0.040" Aluminum Storm Panel, prepared by Construction Testing Corporation, Report No. 98-011, dated April 23, 1998, signed by George Dotzler.
- Test report on Uniform Static Air Pressure in accordance with ASTM E 330 on 0.060" Aluminum Storm Panel, prepared by Construction Testing Corporation, Report No. 98-014, dated April 23, 1998, signed by George Dotzler.
- Test report on Large Missile impact Loadings on 0.040" Aluminum Storm Panel in accordance with SSTD 12-97, prepared by Construction Testing Corporation, Report No. 99-044, dated November 30, 1999, signed by George Dotzler.
- Test report on Large Missile Impact Loadings on 0.040 Aluminum Storm Panels in accordance with SSTD 12-99, prepared by Construction Testing Corporation, Report No. 02-003, dated February 7, 2002, signed by George Dotzler.
- Test report on Uniform Static Air Pressure in accordance with ASTM E 330 on 0.040" aluminum storm panels, prepared by Construction Testing Corporation, Report No. 02-012, dated March 19, 2002, signed by George Dotzler.
- Engineering Calculations on 0.040", 0.050", & 0.060" Aluminum Storm Panels, prepared by Knezevich & Associates, dated February 2, 1999, signed and sealed by V.J. Knezevich, P.E.
- Revisions to Engineering Calculations on 0.040", 0.050", & 0.060" Aluminum Storm Panels, prepared by Knezevich & Associates, dated June 14, 1999, signed and sealed by V.J. Knezevich, P.E.
- Engineering Calculations on 0.040", 0.050", & 0.060" Aluminum Storm Panels, prepared by Knezevich & Associates, dated January 3, 2000, signed and sealed by V.J. Knezevich, P.E.
- Revised Calculations for Florida Building Code 0.040", 0.050", 0.060" Aluminum Storm Panels KA Drawing No. 02-264, prepared by Knezevich and Associates, dated July 8, 2002, 42 pages, signed and sealed by V.J. Knezevich, P.E.
- Revised Calculations for Florida Building Code 0.040", 0.050", 0.060" Aluminum Storm Panels KA Drawing No. 02-264, prepared by Knezevich and Associates, dated August 28, 2002, 20 pages, signed and sealed by V.J. Knezevich, P.E.
- Revised Calculations for Florida Building Code & SBCCI 0.040", 0.050", 0.060" Aluminum Storm Panels KA Drawing No. 02-264, prepared by Knezevich and Associates, dated October 28, 2002, 48 pages, signed and sealed by V.J. Knezevich, P.E.
- Test report on 6.8 Accordion Shutter in accordance with ASTM E 330, prepared by Construction Testing

- Corporation, Report No. 98-016, dated April 29, 1998, signed by George Dotzler.
- 6.18 Test report on Large Missile Impact Loadings on 6.8 Accordion Shutter under SSTD 12-97, prepared by Construction Testing Corporation, Report No. 98-017, dated April 29, 1998, signed by George Dotzler.
- 6.19 Test report on Large Missile Impact Loadings on 6.8 Accordion Shutter under SSTD 12-97, prepared by Construction Testing Corporation, Report No. 98-017R, dated May 6, 1999, signed by George Dotzler.
- 6.20 Test report on Large Missile Impact Loadings on 6.8 Accordion Shutter under SSTD 12-97, prepared by Construction Testing Corporation, Report No. 98-057, dated April 21, 1999, signed by George Dotzler.
- 6.21 Test report on Large Missile Impact Loadings on 6.8 Accordion Shutter under SSTD 12-97, prepared by Construction Testing Corporation, Report No. 99-045, dated November 30, 1999, signed by George Dotzler.
- 6.22 Test report on Large Missile Impact Loadings on 6.8 Accordion Shutter under SSTD 12-97, prepared by Construction Testing Corporation, Report No. 00-051, dated October 21, 2000, signed by George Dotzler.
- 6.23 Engineering Calculations on 6.8 Accordion Shutter for Allowable Wind Pressures using the Aluminum Design Manual, prepared by Knezevich & Associates, dated February 5, 1999, signed and sealed by V.J. Knezevich, P.E.
- 6.24 Revisions to Engineering Calculations on 6.8 Accordion Shutter, prepared by Knezevich & Associates, dated May 11, 1999, signed and sealed by V.J. Knezevich, P.E.
- 6.25 Revised Engineering Calculations on 6.8 Accordion Shutter, prepared by Knezevich & Associates, dated September 7, 2000, signed and sealed by V.J. Knezevich, P.E.
- 6.26 Revised Engineering Calculations on 6.8 Accordion Shutter, prepared by Knezevich & Associates, dated November 2, 2000, signed and sealed by V.J. Knezevich, P.E.
- 6.27 Revised Calculations for Florida Building Code 6.8 Accordion Shutter KA Drawing No. 02-270, prepared by Knezevich and Associates, dated July 26, 2002, 31 pages, signed and sealed by V.J. Knezevich, P.E.
- 6.28 Revised Calculations for Florida Building Code 6.8 Accordion Shutter KA Drawing No. 02-270, prepared by Knezevich and Associates, dated August 28, 2002, 12 pages, signed and sealed by V.J. Knezevich, P.E.
- 6.29 Revised Calculations for Florida Building Code & SBCCI 6.8 Accordion Shutter KA Drawing No. 02-270, prepared by Knezevich and Associates, dated October 28, 2002, 33 pages, signed and sealed by V.J. Knezevich, P.E.
- 6.30 Test report on the HR Accordion Shutter in accordance with ASTM E 330, prepared by Construction Testing Corporation, Report No. 000013SBC, dated June 13, 2000, signed by George Dotzler.
- 6.31 Engineering Analysis of the HR Accordion Shutter, prepared by Knezevich and Associates, dated June 23, 2000, signed and sealed by V.J. Knezevich, P.E.
- 6.32 Anchor Calculation for the HR Accordion Shutter, prepared by Knezevich and Associates, dated August 24, 2000, signed and sealed by V.J. Knezevich, P.E.
- 6.33 Revised Calculations for Florida Building Code HR Accordion Shutter KA Drawing No. 02-269, prepared by Knezevich and Associates, dated July 26, 2002, 29 pages, signed and sealed by V.J. Knezevich, P.E.
- 6.34 Revised Calculations for Florida Building Code HR Accordion Shutter KA Drawing No. 02-269, prepared by Knezevich and Associates, dated August 28, 2002, 11 pages, signed and sealed by V.J. Knezevich, P.E.
- 6.35 Revised Calculations for Florida Building Code & SBCCI, PST & ESI HR Accordion Shutter KA Drawing No. 02-269, prepared by Knezevich and Associates, dated October 14, 2002, 29 pages, signed and sealed by V.J. Knezevich, P.E.
- 6.36 Test report on the Super 50 Roll-Up Shutter in accordance with ASTM E 330, prepared by Construction Testing Corporation, Report No. 98-037R, dated November 20, 1999, signed by George Dotzler.
- 6.37 Test report on the Super 50 Roll-Up Shutter in accordance with ASTM E 330 and SSTD 12, prepared by Construction Testing Corporation, Report No. 99-042, dated November 30, 1999, signed by George Dotzler.
- 6.38 Engineering Analysis of the Super 50 Roll-Up Shutter, prepared by Knezevich and Associates, dated February 23, 2000, signed and sealed by V.J. Knezevich, P.E.
- 6.39 Engineering Analysis of the Super 50 Roll-Up Shutter, prepared by Knezevich and Associates, dated August 29, 2000, signed and sealed by V.J. Knezevich, P.E.
- 6.40 Revised Calculations for Florida Building Code Super 50 Roll-Up Shutter KA Drawing No. 02-311, prepared by Knezevich and Associates, dated December 5, 2002, 60 pages, signed and sealed by V.J. Knezevich, P.E.
- 6.41 Test report on 0.025 & 0.030 Steel Storm Panels in accordance with ASTM E 330 and SSTD 12, prepared by Construction Testing Corporation, Report No. 02-027, dated August 23, 2002, signed by George Dotzler.
- 6.42 Test report on 0.025 & 0.030 Steel Storm Panels in accordance with ASTM E 330 and SSTD 12, prepared by Construction Testing Corporation, Report No. 02-027 REV, dated October 28, 2002, signed by George Dotzler.
- 6.43 Calculations for Florida Building Code 0.0232" & 0.0285" Bare Metal Thickness Galvanized Steel Storm Panels KA Drawing No. 02-467, prepared by Knezevich and Associates, dated August 26, 2002, 13 pages, signed and sealed by V.J. Knezevich, P.E.
- 6.44 Revised Calculations for Florida Building Code & SBCCI 0.0232" & 0.0285" Bare Metal Thickness Galvanized Steel Storm Panels KA Drawing No. 02-467, prepared by Knezevich and Associates, dated October 28, 2002, 19 pages, signed and sealed by V.J. Knezevich, P.E.
- 6.45 Test report on Large Missile Impact Loadings on Aluminum and Polycarbonate Storm Panels in accordance with SSTD 12-99, prepared by Construction Testing Corporation, Report No. 00-022, dated May 30, 2000, signed by George Dotzler.
- 6.46 Test report on Uniform Static Air Pressure in accordance with ASTM E 330 and Large Missile Impact Loading in accordance with SSTD 12-99 on aluminum and polycarbonate storm panels, prepared by Construction Testing Corporation, Report No. 00-041, dated August 20, 2000, signed by George Dotzler.
- 6.47 Engineering Calculations on 0.040", 0.050", & 0.060" Aluminum & Clear Polycarbonate Storm Panels, prepared by Knezevich & Associates, dated September 22, 2000, signed and sealed by V.J. Knezevich, P.E.
- 6.48 Revised Calculations for Florida Building Code Clear Polycarbonate Storm Panels KA Drawing No. 02-483, prepared by Knezevich and Associates, dated July 29, 2002, 4 pages, signed and sealed by V.J. Knezevich, P.E.
- 6.49 Revised Calculations for Florida Building Code Clear Polycarbonate Storm Panels KA Drawing No. 02-483, prepared by Knezevich and Associates, dated August

19, 2002, 4 pages, signed and sealed by V.J. Knezovich, P.E.

## 7. CODE REFERENCES

### Standard Building Code® - 1999 Edition

Section 103.7	Alternate Materials and Methods
Section 1606	Wind Loads
Chapter 17	Structural Tests and Inspections
Section 1707.4	Exterior Window and Door Assemblies
Chapter 20	Light Metal Alloys
Section 2002	Structural Aluminum
Appendix J	Special Requirements for Buildings Constructed in Hurricane-Prone Regions
Section J103	Windborne Debris Protection Requirements

### SBCCI Standard for Hurricane Resistant Residential Construction @ SSTD10-99

Section 101.3	Integrity of Building Envelope
Section 101.4	Alternate Materials and Methods
Section 101.6	Design Concepts
Section 104	Design Criteria
Section 104.1	Wind Loads
Appendix B	Design Load Assumptions

### Florida Building Code-Building - 2001 Edition

Section 103.7	Alternate Materials and Methods
Section 1606	Wind Loads
Chapter 17	Structural Tests and Inspections
Section 1707.4	Exterior Window and Door Assemblies
Chapter 20	Light Metal Alloys
Section 2002	Structural Aluminum
Section 2604.9	Exterior Veneer - Plastic

### International One and Two Family Dwelling Code - 1998 Edition

Section 108	Alternate Materials and Systems
Section 301	Design Criteria
Section 308.5	Glazing - Wind Loads
Section 603	Metal

## 8. COMMITTEE FINDINGS

The Committee on Evaluation in review of the data submitted finds that, in their opinion, the Town and Country Storm Panels, Accordion Shutters, and Roll Up Shutters as described in this report conform with or are suitable alternates to that specified in the *Standard Building Code®*, the *SBCCI Standard for Hurricane Resistant Residential Construction @ SSTD 10*, the *Florida Building Code-Building*, and the *International One and Two Family Dwelling Code* or Supplements thereto.

## 9. LIMITATIONS

9.1 The Structural Elements supporting the panels shall be designed for the appropriate loads. The calculations shall be submitted to the building official when applying for a permit. The calculations shall be signed, sealed, and dated by a Registered Professional Engineer when required by the code.

9.2 Fasteners into concrete or masonry require special inspection. See the SBCCI PST & ESI Evaluation Report for the specific fastener for special inspection requirements.

ITW Tapcon Fasteners shall be installed in concrete with a minimum Compressive Strength of 3000 psi (20.69 MPa) and hollow CMU with a minimum  $f'$  of 1200 psi (8.27 MPa). (SBCCI PST & ESI 9759A)

Powers Calk-In and Zamac Nail-In fasteners shall be installed in concrete with a minimum Compressive Strength of 3000 psi (20.69 MPa) and hollow CMU with a minimum  $f'$  of 3235 psi (22.32 MPa). (SBCCI PST & ESI 9944A)

Powers Steel Drop-In fasteners shall be installed in concrete with a minimum Compressive Strength of 4000 psi (27.58 MPa). (SBCCI PST & ESI 9943)

Elco PanelMate, Tapcon, and Crete-Flex fasteners shall be installed in concrete with a minimum Compressive Strength of 3350 psi (23.10 MPa) and hollow CMU with a minimum  $f'$  of 2000 psi (13.79 MPa). (SBCCI PST & ESI 2040A)

All Points Solid-Set fasteners shall be installed in concrete with a minimum Compressive Strength of 3000 psi (20.69 MPa) and hollow CMU with a minimum  $f'$  of 1800 psi (12.42 MPa). (SBCCI PST & ESI 2245)

9.3 Use of the ELCO Panelmate Anchors in Wood Framing requires special inspection. See the SBCCI PST & ESI Evaluation Report 2040A on ELCO Textron Inc. for special inspection requirements.

9.4 Wood framing shall be a minimum of #2 Southern Pine when fastening into wood.

9.5 Installations in High Velocity Hurricane Zones (Florida Building Code-Building) are outside the scope of this report.

## 10. IDENTIFICATION

Each Town and Country Storm Panel, Accordion Shutter, and Roll-Up Shutter covered by this report shall be labeled with the manufacturer's name and/or trademark, the SBCCI Public Safety Testing and Evaluation Services Inc. initials (SBCCI PST & ESI) or seal, and the number of this report for field identification.

The systems shall also be labeled in accordance with Section 102 of SSTD 12.

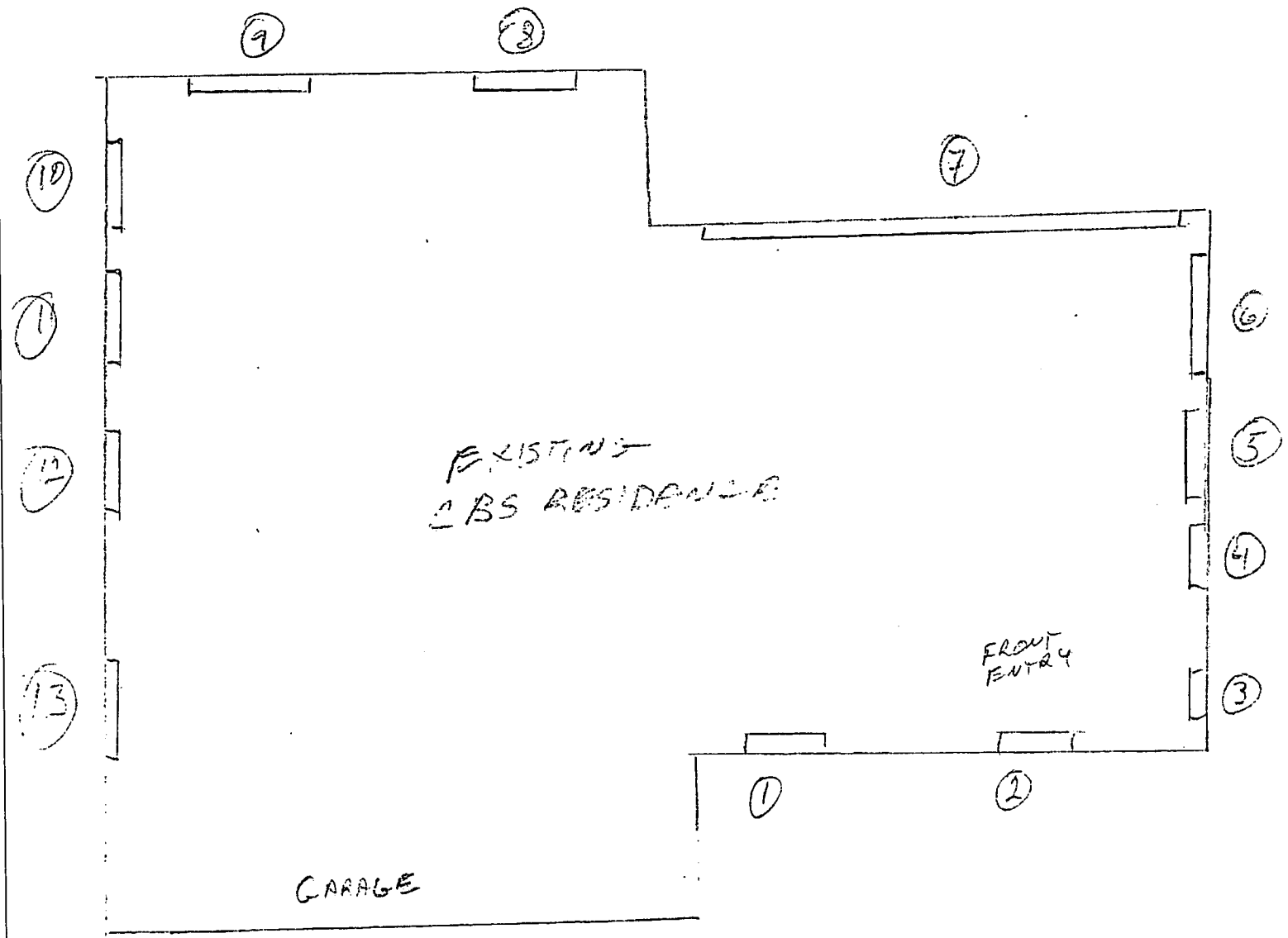
## 11. PERIOD OF ISSUANCE

SEE CURRENT SBCCI PST & ESI EVALUATION REPORT LISTING FOR STATUS OF THIS EVALUATION REPORT.

For information on this report contact:  
Woods McRoy, P.E.  
205/599-9800



PROPOSED STORM PANEL PROTECTION FOR:  
STEPHEN SEADOR #5 LANTANA LANE  
SEWALS POINT FL 34996



# FLORIDA BUILDING CODE 2001 DESIGN WIND LOADS FOR COMPONENTS & CLADDING WALLS AND VERTICAL SURFACES

BUILDINGS WITH A MEAN ROOF HEIGHT < 60 FEET

**BASIC WIND SPEED = 140 MPH EXPOSURE "B" Kd = 0.85**

**GENERAL NOTES:**

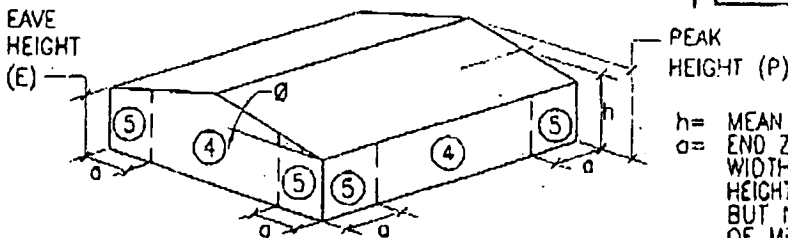
1. THESE WIND LOADS ARE FOR USE ON GENERAL RESIDENTIAL & COMMERCIAL CONSTRUCTION AND ARE NOT APPLICABLE TO ESSENTIAL FACILITIES OR PLACES OF ASSEMBLY.
2. TABULATED DESIGN WIND LOADS ARE BASED ON CHAPTER 6 OF A.S.C.E. 7-99 SPECIFICATIONS FOR COMPONENTS AND CLADDINGS. THE FOLLOWING DESIGN CRITERIA ARE USED:
  - A. PEAK ROOF HEIGHT LESS THAN OR EQUAL TO 60 FEET.
  - B. EXPOSURE CATEGORY, AS NOTED.
  - C. BASIC WIND SPEED (3 SECOND GUST) AS NOTED.
  - D. AN IMPORTANCE FACTOR OF 1.0 FOR CATEGORY II STRUCTURES. NOT VALID FOR ASSEMBLY OCCUPANCIES OR ESSENTIAL FACILITIES.
  - E. EFFECTIVE WIND AREA AS NOTED.
  - F. ANY ROOF SLOPES.
  - G. ENCLOSED BUILDING:  $G C_{pi} = \pm 0.18$ . IMPACT PROTECTION OF GLAZED OPENINGS REQUIRED.
  - H. DIRECTIONALITY FACTOR, AS NOTED
  - I. TOPOGRAPHIC FACTOR,  $Kz1 = 1.0$  FOR FLAT TERRAIN. NOT APPLICABLE FOR HILLY TERRAIN.
3. POSITIVE AND NEGATIVE DESIGN LOADS FOR EXTERIOR WALLS ARE BASED UPON THE MEAN ROOF HEIGHT OF THE BUILDING OR STRUCTURE.
4. DESIGN LOADS ARE BASED ON THE EXPOSURE NOTED AND ARE NOT VALID FOR OTHER EXPOSURES. EXPOSURE CATEGORY SHALL BE AS DETERMINED BY THE BUILDING OFFICIAL OR A SITE SPECIFIC EVALUATION BY AN ARCHITECT OR ENGINEER.
6. LINEAR INTERPOLATION MAY BE USED FOR ALL VALUES BETWEEN TABULATED ELEVATIONS.
6. THESE SCHEDULES REPRESENT AN ACCURATE CALCULATION OF WIND LOADS IN ACCORDANCE WITH THE GENERAL NOTES.
7. THIS SCHEDULE SHALL NOT BE MARKED UP OR MODIFIED.
8. WHERE THESE SCHEDULES ARE USED FOR PERMIT, THE CONTRACTOR AND BUILDING OFFICIAL SHALL VERIFY THE USE IS APPROPRIATE FOR A SPECIFIC SITE.
9. THIS DRAWING SHALL NOT BE USED FOR PERMIT WITHOUT THE SIGNATURE, DATE AND EMBOSSED SEAL OF V. J. KNEZEVICH, P.E.

**MAXIMUM DESIGN WIND LOADS (PSF)**

FOR ANY EFFECTIVE WIND AREA			
MEAN ROOF HEIGHT (FT.)	POSITIVE ZONE (4) & (5)	NEGATIVE ZONE (4)	NEGATIVE ZONE (5)
>0-15	35.3	-38.3	-47.2
>15-20	35.3	-38.3	-47.2
>20-25	35.3	-38.3	-47.2
>25-30	35.3	-38.3	-47.2
>30-40	38.3	-41.5	-51.2
>40-50	40.8	-44.3	-54.6
>50-60	43.0	-46.6	-57.5

EFFECTIVE WIND AREA ≥ 20 FT. <sup>2</sup>			
MEAN ROOF HEIGHT (FT.)	POSITIVE ZONE (4) & (5)	NEGATIVE ZONE (4)	NEGATIVE ZONE (5)
>0-15	33.7	-36.7	-44.0
>15-20	33.7	-36.7	-44.0
>20-25	33.7	-36.7	-44.0
>25-30	33.7	-36.7	-44.0
>30-40	36.6	-39.8	-47.8
>40-50	39.0	-42.4	-50.9
>50-60	41.1	-44.7	-53.7

EFFECTIVE WIND AREA ≥ 50 FT. <sup>2</sup>			
MEAN ROOF HEIGHT (FT.)	POSITIVE ZONE (4) & (5)	NEGATIVE ZONE (4)	NEGATIVE ZONE (5)
>0-15	31.6	-34.6	-39.8
>15-20	31.6	-34.6	-39.8
>20-25	31.6	-34.6	-39.8
>25-30	31.6	-34.6	-39.8
>30-40	34.3	-37.5	-43.2
>40-50	36.5	-40.0	-46.1
>50-60	38.5	-42.1	-48.6



$h =$  MEAN ROOF HEIGHT =  $(E+P)/2$   
 $a =$  END ZONE . 10% OF MIN. BUILDING WIDTH OR 40% OF MEAN ROOF HEIGHT (h), WHICHEVER IS SMALLER, BUT NOT LESS THAN EITHER 4% OF MINIMUM WIDTH OR 3 FEET.

V.J. KNEZEVICH  
PROFESSIONAL ENGINEER  
FL License No. PE 0010983

  
 JAN 23 2004



**KNEZEVICH & ASSOCIATES, INC.**  
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 WEBSITE: WWW.KNEZEVICH.COM • E-MAIL: KA@KNEZEVICH.COM  
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**BUILDINGS ≤ 60 FT.**

FLORIDA BUILDING CODE 2001  
 COMPONENTS & CLADDING  
 EXPOSURE "B"  
 140 M.P.H., Kd=0.85

ISSUE DATA	
NO. DATE BY DESCRIPTION	REVISION
1 02/23/04 VJK INITIAL REVISION	
2 02/23/04 VJK INITIAL REVISION	
3 02/23/04 VJK INITIAL REVISION	
drawn by MCR	design by VJK
checked by VJK	16:36
sheet 1 of 1	06/21/2004

Print Information: \\hurricane\ka\CADD\Cadd04\Town\_and\_Country\04-272\RO-sub\04-272-06.dwg M Cantu 03/18/2004 10:19:32am 03/18/04 10:

### ANCHOR SCHEDULE

FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS

EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 3/4" EDGE DISTANCE																			
			SPANS UP TO 5'-0" (SEE NOTE 1)					SPANS UP TO 8'-9" (SEE NOTE 1)					SPANS UP TO 12'-0" (SEE NOTE 1)					SPANS UP TO 15'-0" (SEE NOTE 1)				
			CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)				
	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5		
WOOD		33.0	12	12	12	12	12	12	12	12	12	12	12	10	10	12	9	8	8	8	8	
		44.2	12	12	12	12	12	12	12	10	11	12	9	7	8	12	8	6	7	7	7	
		47.2	12	12	12	12	12	12	11	9	10	12	8	7	7	12	8	6	7	7	7	
		64.0	12	12	12	12	12	12	8	7	7	12	8	6	7	12	8	6	7	7	7	
		80.0	12	12	10	10	12	12	8	6	7	12	8	6	7	12	8	6	7	7	7	
		33.0	12	12	12	12	12	12	10	12	12	11	8	9	12	9	6	7	7	7	7	
		44.2	12	12	12	12	12	12	8	9	12	8	5	6	12	8	5	6	6	6	6	
		47.2	12	12	12	12	12	12	11	7	8	12	8	5	6	12	8	5	6	6	6	
		64.0	12	12	9	11	12	12	8	5	6	12	8	5	6	12	8	5	6	6	6	
		80.0	12	11	7	9	12	12	8	5	6	12	8	5	6	12	8	5	6	6	6	
	33.0	12					12							9								
	44.2	12					12							8								
	47.2	12					11							8								
	64.0	12					8							8								
80.0	12					8							8									

**ANCHOR NOTES:**

- SPANS AND LOADS SHOWN HERE ARE FOR DETERMINING ANCHOR SPACING ONLY. ALLOWABLE STORM PANEL SPANS FOR SPECIFIC LOADS MUST BE LIMITED TO THOSE SHOWN IN TABLE 1.
- ENTER ANCHOR SCHEDULE BASED ON THE EXISTING STRUCTURE MATERIAL, ANCHOR TYPE AND EDGE DISTANCE. SELECT DESIGN LOAD GREATER THAN OR EQUAL TO NEGATIVE DESIGN LOAD ON SHUTTER AND SELECT SPAN GREATER THAN OR EQUAL TO SHUTTER SPAN.
- EXISTING STRUCTURE MAY BE CONCRETE, HOLLOW BLOCK OR WOOD FRAMING. REFERENCE ANCHOR SCHEDULE FOR PROPER ANCHOR TYPE BASED ON TYPE OF EXISTING STRUCTURE AND APPROPRIATE CONNECTION TYPE. SEE MOUNTING SECTION DETAILS FOR IDENTIFICATION OF CONNECTION TYPE.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDES WALL FINISH OR STUCCO.
- WHERE EXISTING STRUCTURE IS WOOD FRAMING, WOOD FRAMING CONDITIONS VARY. FIELD VERIFY THAT FASTENERS ARE INTO ADEQUATE WOOD FRAMING MEMBERS, NOT PLYWOOD. FASTENING TO PLYWOOD IS ACCEPTABLE ONLY FOR SIDE CLOSURE PIECES.
- WHERE LAG SCREWS FASTEN TO NARROW FACE OF STUD FRAMING, FASTENER SHALL BE LOCATED IN CENTER OF NOMINAL 2" x 4" (MIN.) WOOD STUD. 3/4" EDGE DISTANCE IS ACCEPTABLE FOR WOOD FRAMING. WOOD STUD SHALL BE "SOUTHERN PINE" G=0.55 OR GREATER DENSITY. LAG SCREWS SHALL HAVE PHILLIPS PAN HEAD OR HEX HEAD.
- MACHINE SCREWS SHALL HAVE MINIMUM OF 1/2" ENGAGEMENT OF THREADS IN BASE ANCHOR AND MAY HAVE EITHER A PAN HEAD, TRUSS HEAD, OR WAFER HEAD (SIDEWALK BOLT), U.O.N.
- DESIGNATES ANCHOR CONDITIONS WHICH ARE NOT ACCEPTABLE USES.
- \* DESIGNATES ANCHORS WHICH ARE REMOVABLE BY REMOVING MACHINE SCREW, NUT OR WASHERED WINGNUT.
- FOR LOADS GREATER THAN THOSE SPECIFIED (ANCHOR SCHEDULE), SITE SPECIFIC FASTENER ANALYSIS SHALL BE PREPARED BY KNEZEVICH & ASSOCIATES, INC.
- SEE THE APPROPRIATE SBCCI PST & EST OR NES EVALUATION REPORT ON THE SPECIFIC FASTENER FOR SPECIAL INSPECTION REQUIREMENTS WHEN REQUIRED AS WELL AS FOR INSTALLATION, LIMITATIONS & IDENTIFICATION PURPOSES.
- FASTENER MAXIMUM SPACING ARE BASED ON FACTOR OF SAFETY OF 4:1 ON TENSION AND SHEAR VALUES WITH THE EXCEPTION OF THE 1/4" WOOD LAG SCREW AND THE 7/16" WOOD BUSHING WHICH ARE BASED ON NDS REQUIREMENTS AND SBCCI TESTING REQUIREMENTS RESPECTIVELY.

### TABLE 2 MINIMUM PANEL LENGTH SCHEDULE

MOUNTING CONDITIONS	MINIMUM PANEL LENGTH- (IN)						
	TOP	DIRECT MOUNT OR RECESSED C-TRACK	2" x 2" STUD ANGLE	C-TRACK (6 OR 6a)	"h" OR "U" HEADER	F-TRACK	C-TRACK (6 OR 6a) W/ SIDE CLOSURE PIECES
BOTTOM	DIRECT MOUNT OR RECESSED C-TRACK (6a)	52	34	110	30	57	-
	2" x 2" STUD ANGLE	36	30	35	30	31	-
	F-ANGLE TRACK	57	31	90	31	62	-
	C-TRACK (6 OR 6a)	64	55	110	35	90	-
	F-TRACK	57	49	90	31	76	-
	C-TRACK (6 OR 6a) W/ SIDE CLOSURE PIECES	-	-	-	-	-	52

**TABLES 1 & 3 NOTE:**

ENTER TABLE WITH NEGATIVE DESIGN LOAD TO DETERMINE MAX. PANEL SPAN (Lmax.). POSITIVE LOADS LESS THAN OR EQUAL TO THE NEGATIVE LOAD ARE ACCEPTABLE. FOR DESIGN LOADS BETWEEN TABULATED VALUES, USE NEXT HIGHER LOAD OR LINEAR INTERPOLATION MAY BE USED TO DETERMINE ALLOWABLE SPANS.

**TABLE 2 NOTE:**

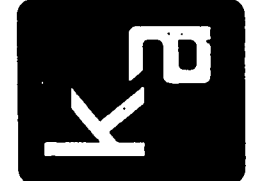
THIS SHUTTER SYSTEM IS DESIGNED SUCH THAT THERE IS NO SEPARATION FROM GLASS REQUIRED PROVIDED MINIMUM PANEL LENGTHS AS NOTED. PANEL LENGTHS LESS THAN THOSE NOTED IN TABLE ARE NOT ACCEPTABLE, UNLESS SITE SPECIFIC POROSITY CALCULATIONS ARE PERFORMED BY A PROFESSIONAL ENGINEER.

### TABLE 1 STORM PANEL MAXIMUM SPAN SCHEDULE

NEGATIVE DESIGN LOAD W (P.S.F.)	THICKNESS		
	0.040"	0.050"	0.060"
	ALL MOUNTING CONDITIONS EXCEPT "F" ANGLE TRACK	ALL MOUNTING CONDITIONS EXCEPT "F" ANGLE TRACK	ALL MOUNTING CONDITIONS EXCEPT "F" ANGLE TRACK
	L MAX. (FT - IN)	L MAX. (FT - IN)	L MAX. (FT - IN)
30	11' - 1"	11' - 9"	14' - 11"
33	10' - 7"	11' - 2"	14' - 3"
35.8	10' - 2"	10' - 9"	13' - 8"
38.3	9' - 10"	10' - 4"	13' - 2"
40.7	9' - 6"	10' - 1"	12' - 10"
44.2	9' - 1"	9' - 8"	12' - 3"
47.2	8' - 10"	9' - 4"	11' - 11"
50.9	8' - 6"	9' - 0"	11' - 5"
52.4	8' - 4"	8' - 10"	11' - 2"
56	8' - 1"	8' - 7"	10' - 6"
60	7' - 10"	8' - 3"	9' - 9"
64	7' - 7"	8' - 0"	9' - 2"
68	7' - 4"	7' - 6"	8' - 7"
72	7' - 1"	7' - 1"	8' - 2"
76	6' - 9"	6' - 9"	7' - 8"
80	6' - 5"	6' - 6"	7' - 4"

### TABLE 3 STORM PANEL WITH "F" ANGLE TRACK (TOP OR BOTTOM) MAX. SPAN SCHED.

NEGATIVE DESIGN LOAD W (P.S.F.)	THICKNESS		
	0.040"	0.050"	0.060"
	ALL MOUNTING CONDITIONS	ALL MOUNTING CONDITIONS	ALL MOUNTING CONDITIONS
	L MAX. (FT - IN)	L MAX. (FT - IN)	L MAX. (FT - IN)
30	11' - 1"	11' - 9"	14' - 11"
33	10' - 7"	11' - 2"	14' - 11"
35.8	10' - 2"	10' - 9"	12' - 11"
38.3	9' - 10"	10' - 4"	12' - 11"
40.7	9' - 6"	10' - 1"	11' - 5"
44.2	9' - 1"	9' - 8"	10' - 6"
47.2	8' - 10"	9' - 4"	9' - 10"
50.9	8' - 6"	9' - 0"	9' - 1"
52.4	8' - 4"	8' - 10"	8' - 10"
56	8' - 1"	8' - 3"	8' - 3"
60	7' - 9"	7' - 9"	7' - 9"
64	7' - 3"	7' - 3"	7' - 3"
68	6' - 10"	6' - 10"	6' - 10"
72	6' - 5"	6' - 5"	6' - 5"
76	6' - 1"	6' - 1"	6' - 1"
80	5' - 9"	5' - 9"	5' - 9"



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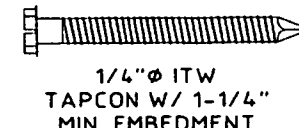
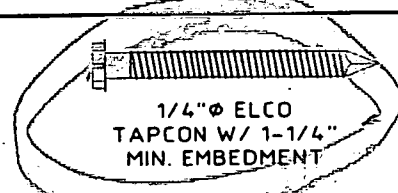
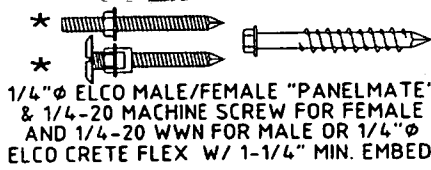
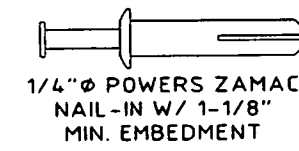
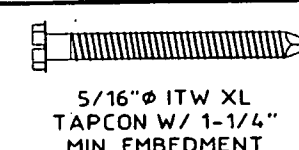
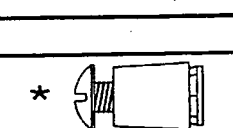
**V.J. Knezevich**  
 Professional Engineer  
 FL License No.: PE 0010983

revisions	
no	description
0	03/18/04/VJK PREV. DWG. No. 03-231

date 03/18/2004  
 scale AS NOTED  
 design by VJK  
 drawn by ARV  
 checked by VJK  
 drawing no. 04-272  
 sheet 6 of 6

FLORIDA BUILDING CODE

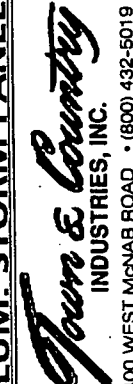


		ANCHOR SCHEDULE																																								
		FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS																																								
EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 2" EDGE DISTANCE																MIN. 3" EDGE DISTANCE																							
			SPANS UP TO 5'-0" (SEE NOTE 1)				SPANS UP TO 8'-9" (SEE NOTE 1)				SPANS UP TO 12'-0" (SEE NOTE 1)				SPANS UP TO 15'-0" (SEE NOTE 1)				SPANS UP TO 5'-0" (SEE NOTE 1)				SPANS UP TO 8'-9" (SEE NOTE 1)				SPANS UP TO 12'-0" (SEE NOTE 1)				SPANS UP TO 15'-0" (SEE NOTE 1)											
			CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)									
C1 C2 C3 C4 C5					C1 C2 C3 C4 C5					C1 C2 C3 C4 C5					C1 C2 C3 C4 C5					C1 C2 C3 C4 C5					C1 C2 C3 C4 C5					C1 C2 C3 C4 C5												
HOLLOW CONCRETE BLOCK	 <p>1/4" <math>\phi</math> ITW TAPCON W/ 1-1/4" MIN. EMBEDMENT</p>	33.0	17	13	8	9	9	7	4	5	7	5	3	4	5	4	3	3	18	15	9	11	10	9	5	6	7	6	3	4	5	4	3	3	6	5	3	3				
		44.2	12	10	6	7	7	5	3	4	5	4	3	3	4	3	3	3	13	11	7	8	7	6	3	4	5	4	3	3	5	4	3	3	5	4	3					
		47.2	11	9	5	6	6	5	3	3	4	4	3	3	3	4	3	3	3	13	11	6	7	7	6	3	4	5	4	3	3	5	4	3	3	5	4	3				
		64.0	8	6	4	5	5	3	3	3	4	4	3	3	3	4	3	3	3	9	8	4	5	5	4	3	3	4	5	4	3	3	5	4	3	3	5	4	3			
		80.0	7	5	3	4	4	3	3	3	4	4	3	3	3	4	3	3	3	7	6	3	4	5	4	3	3	4	5	4	3	3	5	4	3	3	5	4	3			
	 <p>1/4" <math>\phi</math> ELCO TAPCON W/ 1-1/4" MIN. EMBEDMENT</p>	33.0	18	18	16	18	18	14	9	11	16	10	6	8	13	8	5	6	18	18	18	18	18	17	11	13	18	13	8	10	15	9	6	7	13	8	5	6				
		44.2	18	18	12	14	16	10	7	8	12	7	5	6	11	7	4	5	11	7	4	5	11	7	4	5	18	18	15	18	18	13	8	10	14	9	6	7	13	8	5	6
		47.2	18	17	11	13	15	9	6	7	11	7	4	5	11	7	4	5	11	7	4	5	11	7	4	5	18	18	14	16	18	12	8	9	14	9	6	7	13	8	5	6
		64.0	18	13	8	10	11	7	4	5	11	7	4	5	11	7	4	5	11	7	4	5	11	7	4	5	18	16	10	12	14	9	6	7	13	8	5	6	13	8	5	6
		80.0	16	10	6	8	11	7	4	5	11	7	4	5	11	7	4	5	11	7	4	5	11	7	4	5	18	13	8	10	13	8	5	6	13	8	5	6	13	8	5	6
	 <p>1/4" <math>\phi</math> ELCO MALE/FEMALE "PANELMATE" &amp; 1/4-20 MACHINE SCREW FOR FEMALE AND 1/4-20 WWN FOR MALE OR 1/4" <math>\phi</math> ELCO CRETE FLEX W/ 1-1/4" MIN. EMBED.</p>	33.0	18	18	12	14	17	10	7	8	12	7	5	6	10	6	4	4	18	18	15	18	18	13	8	10	16	9	6	7	12	7	5	6	12	7	5	6				
		44.2	18	13	9	10	13	7	5	6	9	5	3	4	8	5	3	4	8	5	3	4	8	5	3	4	18	17	11	13	16	9	6	7	11	7	4	5	10	6	4	5
		47.2	18	13	8	10	12	7	4	5	8	5	3	4	8	5	3	4	8	5	3	4	8	5	3	4	18	16	10	12	15	9	6	7	11	6	4	5	10	6	4	5
		64.0	15	9	6	7	9	5	3	4	8	5	3	4	8	5	3	4	8	5	3	4	8	5	3	4	18	12	8	9	11	6	4	5	10	6	4	5	10	6	4	5
		80.0	12	7	5	6	8	5	3	4	8	5	3	4	8	5	3	4	8	5	3	4	8	5	3	4	15	9	6	7	10	6	4	5	10	6	4	5	10	6	4	5
	 <p>1/4" <math>\phi</math> POWERS ZAMAC NAIL-IN W/ 1-1/8" MIN. EMBEDMENT</p>	33.0	18	18	14	16	18	12	7	9	14	8	5	6	11	7	4	5	18	18	17	18	18	15	9	11	15	11	7	8	12	9	5	6	12	9	5	6				
		44.2	18	15	10	12	14	8	5	6	10	6	4	5	9	5	3	4	9	5	3	4	9	5	3	4	18	18	12	15	15	11	7	8	11	8	5	6	10	7	4	5
		47.2	18	14	9	11	13	8	5	6	9	6	4	4	9	5	3	4	9	5	3	4	9	5	3	4	18	18	12	14	14	10	6	8	11	8	5	5	10	7	4	5
		64.0	17	10	7	8	9	6	4	4	9	5	3	4	9	5	3	4	9	5	3	4	9	5	3	4	18	14	8	10	11	8	5	6	10	7	4	5	10	7	4	5
		80.0	13	8	5	6	9	5	3	4	9	5	3	4	9	5	3	4	9	5	3	4	9	5	3	4	15	11	7	8	10	7	4	5	10	7	4	5	10	7	4	5
 <p>5/16" <math>\phi</math> ITW XL TAPCON W/ 1-1/4" MIN. EMBEDMENT</p>	33.0	18	16	10	12	14	9	6	7	10	6	4	5	8	5	3	4	18	18	15	18	18	13	8	10	15	9	6	7	12	7	5	6	12	7	5	6					
	44.2	18	12	8	9	11	6	4	5	8	5	3	3	7	4	3	3	18	17	11	13	15	9	6	7	11	7	4	5	10	6	4	5	10	6	4	5	10	6	4	5	
	47.2	18	11	7	8	10	6	4	4	7	4	3	3	7	4	3	3	18	16	10	12	14	9	6	7	10	6	4	5	10	6	4	5	10	6	4	5	10	6	4	5	
	64.0	13	8	5	6	7	4	3	3	7	4	3	3	7	4	3	3	18	11	7	9	10	6	4	5	10	6	4	5	10	6	4	5	10	6	4	5	10	6	4	5	
	80.0	10	6	4	5	7	4	3	3	7	4	3	3	7	4	3	3	15	9	6	7	10	6	4	5	10	6	4	5	10	6	4	5	10	6	4	5	10	6	4	5	
 <p>1/4" <math>\phi</math> ALL-POINTS SOLID-SET ANCHOR W/ 7/8" EMBEDMENT &amp; 1/4-20 STAINLESS STEEL MACHINE SCREW</p>	33.0	18	15	11	12	17	9	6	7	12	6	4	5	10	5	3	4	18	15	11	12	17	9	6	7	12	6	4	5	10	5	3	4	10	5	3	4					
	44.2	18	11	8	9	12	6	4	5	9	4	3	3	8	4	3	3	18	11	8	9	12	6	4	5	9	4	3	3	8	4	3	3	8	4	3	3	8	4	3	3	
	47.2	18	11	7	8	11	6	4	5	8	4	3	3	8	4	3	3	18	11	7	8	11	6	4	5	8	4	3	3	8	4	3	3	8	4	3	3	8	4	3	3	
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	80.0	12	6	4	5	8	4	3	3	8	4	3	3	8	4	3	3	12	6	4	5	8	4	3	3	8	4	3	3	8	4	3	3	8	4	3	3	8	4	3	3	

SEE PAGE 6 OF 6 FOR COMPLETE ANCHOR NOTES.



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**V.J. Knezevich**  
 Professional Engineer  
 FL License No.: PE 0010983

no.	date	description
1	03/18/04/VJK	PREV. DWG. NO. 03-231

date: 03/18/2004  
 scale: AS NOTED  
 design by: VJK  
 drawing no.: 04-272  
 sheet 5 of 6





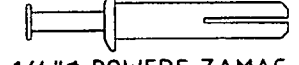


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Print Information: \\hurricane\ka\CADD\Cadd04\Town\_and\_Country\04-272\RO-sub\04-272-04.dwg MContu 03/18/2004 10:18:17am 03/18/04 10:

### ANCHOR SCHEDULE

FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS

EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 2" EDGE DISTANCE										MIN. 3" EDGE DISTANCE																													
			SPANS UP TO 5'-0" (SEE NOTE 1)					SPANS UP TO 8'-9" (SEE NOTE 1)					SPANS UP TO 12'-0" (SEE NOTE 1)					SPANS UP TO 15'-0" (SEE NOTE 1)					SPANS UP TO 5'-0" (SEE NOTE 1)					SPANS UP TO 8'-9" (SEE NOTE 1)					SPANS UP TO 12'-0" (SEE NOTE 1)					SPANS UP TO 15'-0" (SEE NOTE 1)				
			CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)					CONNECTION TYPE (SEE NOTE 3)				
			C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5	C1	C2	C3	C4	C5
CONCRETE	 1/4" ITW TAPCON W/ 1-1/4" MIN. EMBEDMENT (MIN. 3,000 P.S.I. CONCRETE)	33.0	18	18	12	14	15	11	7	8	11	8	5	6	8	6	4	4	18	18	14	17	16	13	8	9	12	9	5	7	9	7	4	5	8	6	3	4				
		44.2	18	14	9	11	11	8	5	6	8	6	3	4	7	5	3	4	18	17	10	12	12	9	6	7	9	7	4	5	8	6	3	4								
		47.2	18	13	8	10	10	7	4	5	7	5	3	4	7	5	3	4	18	16	9	11	11	9	5	6	8	6	4	4	8	6	3	4								
		64.0	13	10	6	7	7	5	3	4	7	5	3	4	7	5	3	4	15	12	7	8	8	6	4	4	8	6	3	4	8	6	3	4								
		80.0	11	8	5	6	7	5	3	4	7	5	3	4	7	5	3	4	12	9	5	7	8	6	3	4	8	6	3	4	8	6	3	4								
	 1/4" ITW TAPCON W/ 2" MIN. EMBEDMENT (MIN. 3,000 P.S.I. CONCRETE)	33.0	18	18	18	18	18	18	13	14	18	13	9	10	18	10	7	8	18	18	18	18	18	18	15	17	18	16	11	12	18	12	8	10								
		44.2	18	18	17	18	18	13	9	11	18	10	7	8	18	9	6	7	18	18	18	18	18	16	11	13	18	12	8	9	18	10	7	8								
		47.2	18	18	16	18	18	12	9	10	18	9	6	7	18	9	6	7	18	18	18	18	18	15	10	12	18	11	7	8	18	10	7	8								
		64.0	18	16	11	13	18	9	6	7	18	9	6	7	18	9	6	7	18	18	13	15	18	11	7	9	18	10	7	8	18	10	7	8								
		80.0	18	13	9	10	18	9	6	7	18	9	6	7	18	9	6	7	18	15	11	12	18	10	7	8	18	10	7	8	18	10	7	8								
	 1/4" ELCO TAPCON W/ 1-3/4" MIN. EMBEDMENT (MIN. 3,350 P.S.I. CONCRETE)	33.0	18	18	18	18	18	18	14	16	18	15	10	12	18	12	8	9	18	18	18	18	18	18	17	18	18	18	13	15	18	15	10	12								
		44.2	18	18	18	18	18	15	10	12	18	11	7	9	17	10	6	8	18	18	18	18	18	18	13	15	18	14	9	11	18	13	8	10								
		47.2	18	18	17	18	18	14	9	11	17	10	7	8	17	10	6	8	18	18	18	18	18	18	12	14	18	13	9	10	18	13	8	10								
		64.0	18	18	12	14	17	10	7	8	17	10	6	8	17	10	6	8	18	18	16	18	18	13	9	10	18	13	8	10	18	13	8	10								
		80.0	18	15	10	11	17	10	6	8	17	10	6	8	17	10	6	8	18	18	12	14	18	13	8	10	18	13	8	10	18	13	8	10								
	 1/4" ELCO MALE/FEMALE "PANELMATE" & 1/4-20 MACHINE SCREW FOR FEMALE AND 1/4-20 WWN FOR MALE OR 1/4" ELCO CRETE FLEX W/ 1-3/4" MIN. EMB. (MIN. 3,350 P.S.I. CONCRETE)	33.0	18	18	18	18	18	18	13	15	18	14	10	11	18	11	8	9	18	18	18	18	18	18	17	18	18	17	12	14	18	14	10	11								
		44.2	18	18	18	18	18	14	10	11	18	10	7	8	18	9	6	7	18	18	18	18	18	18	13	14	18	13	9	10	18	12	8	9								
		47.2	18	18	17	18	18	13	9	11	18	10	7	8	18	9	6	7	18	18	18	18	18	18	12	13	18	12	8	10	18	12	8	9								
		64.0	18	17	12	14	18	10	7	8	18	9	6	7	18	9	6	7	18	18	15	18	18	12	8	10	18	12	8	9	18	12	8	9								
		80.0	18	14	10	11	18	9	6	7	18	9	6	7	18	9	6	7	18	17	12	14	18	12	8	9	18	12	8	9	18	12	8	9								
 1/4" POWERS ZAMAC NAIL-IN W/ 1-1/8" MIN. EMBEDMENT (MIN. 3,000 P.S.I. CONCRETE)	33.0	18	18	13	15	18	10	7	8	14	7	5	6	11	6	4	5	18	18	16	18	18	14	9	10	16	10	6	8	12	7	5	5									
	44.2	18	14	9	11	14	8	5	6	10	5	4	4	9	5	3	4	18	18	12	14	16	10	6	8	12	7	5	5	10	7	4	5									
	47.2	18	13	9	10	13	7	5	6	10	5	3	4	9	5	3	4	18	17	11	13	15	9	6	7	11	7	4	5	10	7	4	5									
	64.0	17	9	6	7	10	5	3	4	9	5	3	4	9	5	3	4	18	12	8	9	11	7	4	5	10	7	4	5	10	7	4	5									
	80.0	14	7	5	6	9	5	3	4	9	5	3	4	9	5	3	4	16	10	6	7	10	7	4	5	10	7	4	5	10	7	4	5									
 5/16" ITW XL TAPCON W/ 2-1/4" MIN. EMBEDMENT (MIN. 3,000 P.S.I. CONCRETE)	33.0	18	18	18	18	18	18	18	18	18	18	18	18	18	18	15	17	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18								
	44.2	18	18	18	18	18	18	18	18	18	18	14	16	18	18	12	15	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18								
	47.2	18	18	18	18	18	18	18	18	18	18	13	15	18	18	12	15	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18								
	64.0	18	18	18	18	18	18	13	15	18	18	12	15	18	18	12	15	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18								
	80.0	18	18	18	18	18	18	12	15	18	18	12	15	18	18	12	15	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18								
 1/4" ALL-POINTS SOLID-SET ANCHOR W/ 7/8" EMBEDMENT & 1/2-20 STAINLESS-STEEL MACHINE-SCREW (MIN. 3,000 P.S.I. CONCRETE)	33.0	18	18	15	17	18	11	8	9	18	8	6	7	15	6	5	5	18	18	18	18	18	18	15	17	18	16	11	12	18	13	8	10									
	44.2	18	15	11	12	18	8	6	7	14	6	4	5	13	5	4	4	18	18	18	18	18	18	17	11	13	18	12	8	9	17	11	7	8								
	47.2	18	14	10	12	18	8	6	6	13	6	4	5	13	5	4	4	18	18	18	18	18	18	16	10	13	18	11	7	9	17	11	7	8								
	64.0	18	10	7	8	13	6	4	5	13	5	4	4	13	5	4	4	18	18	13	16	18	11	7	9	17	11	7	8	17	11	7	8									
	80.0	18	8	6	7	13	5	4	4	13	5	4	4	13	5	4	4	18	16	10	12	17	11	7	8	17	11	7	8	17	11	7	8									

SEE PAGE 6 OF 6 FOR COMPLETE ANCHOR NOTES.

FLORIDA BUILDING CODE

**Knezevich & Associates, Inc.**  
 Consulting Engineers • Product Testing  
 330 N. Andrews Ave., Suite 450 • Ft. Lauderdale, FL 33301  
 Tel. (954) 522-3690 • Fax (954) 522-3691 • COA # 3205  
 Website: www.knezevich.com • E-mail: KA@knezevich.com  
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**0.040" x 0.050" x 0.060" ALUM. STORM PANELS**  
*Town & Country*  
 INDUSTRIES, INC.  
 400 WEST McVAB ROAD • (800) 432-5019  
 FT. LAUDERDALE, FL 33309

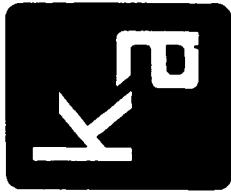
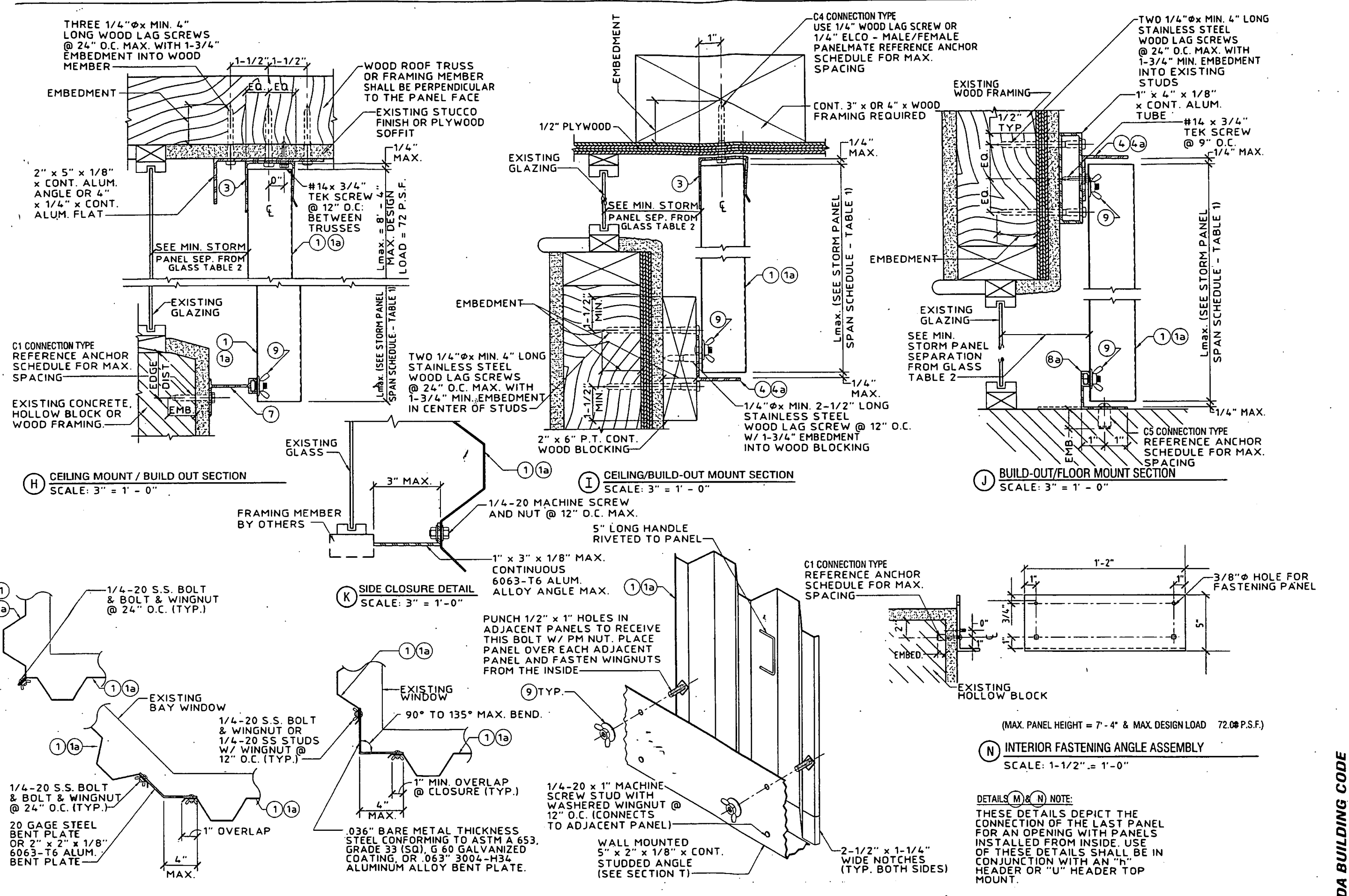
V.J. Knezevich  
 Professional Engineer  
 FL License No.: PE 0010983

REVISIONS	
no.	description
0	03/18/04/VJK PREV. DWG. No. 03-231

date 03/18/2004  
 scale AS NOTED drawn by ARV  
 design by VJK checked by VJK  
 drawing no. 04-272  
 sheet 4 of 6



03/18/04 10:17:31am 03/18/2004 10:17:31am MContu 03/18/2004 10:17:31am \\hurricane\ka\CADD\Cadd04\Town\_and\_Country\04-272\RO-sub\04-272-03.dwg



**Knezevich & Associates, Inc.**  
Consulting Engineers • Product Testing  
330 N. Andrews Ave., Suite 450 • Ft. Lauderdale, FL 33301  
Tel. (954) 522-3690 • Fax (954) 522-3691 • COA # 3205  
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FT. LAUDERDALE, FL 33309

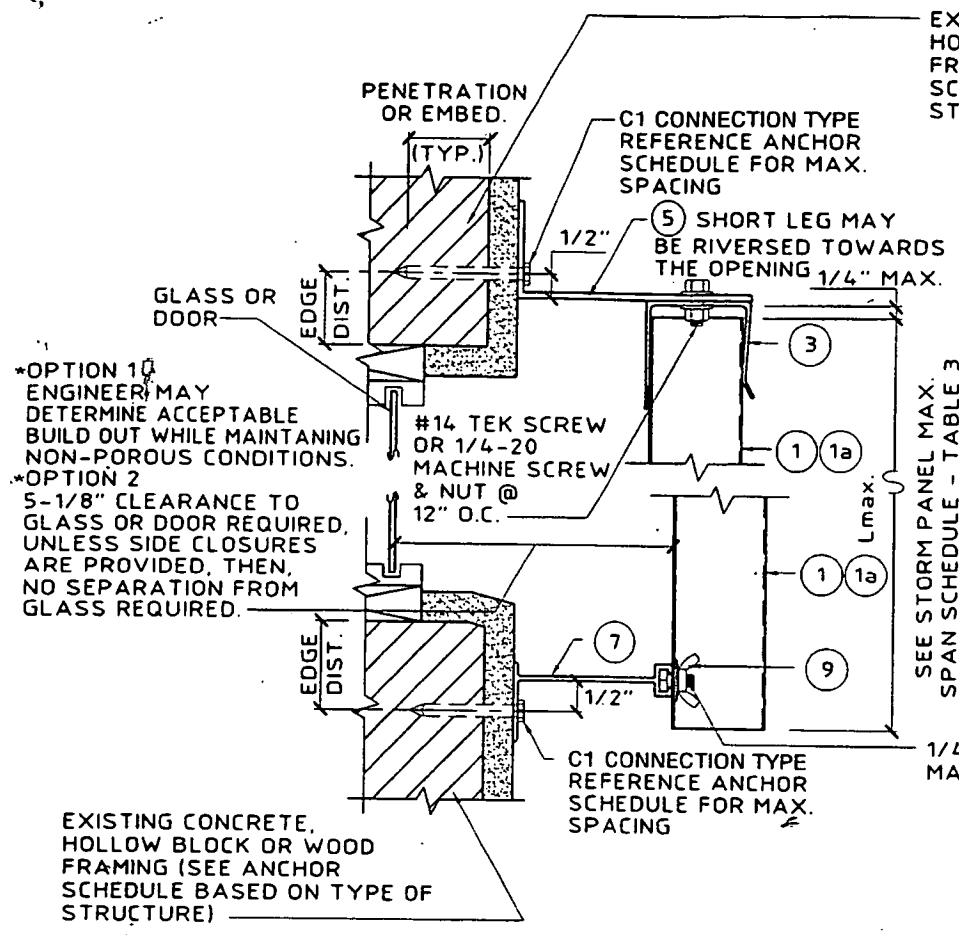
**V.J. Knezevich**  
Professional Engineer  
FL License No.: PE 0010983

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no.	description
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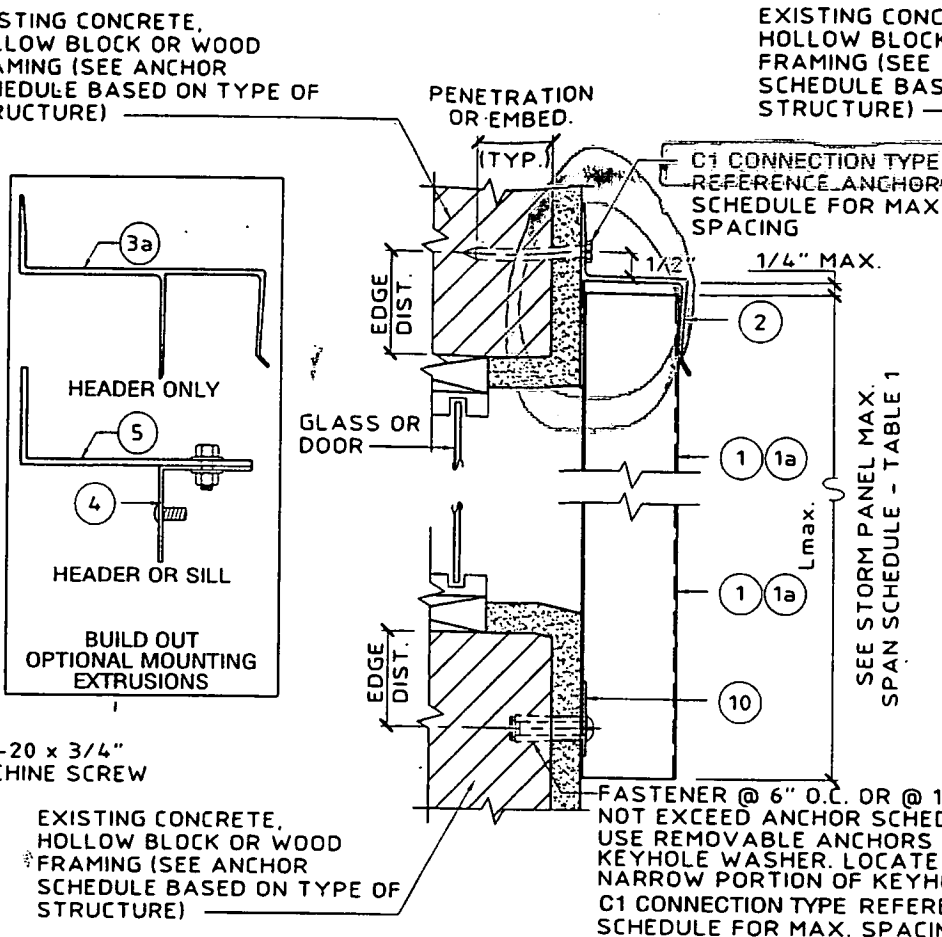
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design by VJK  
checked by VJK  
drawing no. 04-272  
sheet 3 of 6

FLORIDA BUILDING CODE

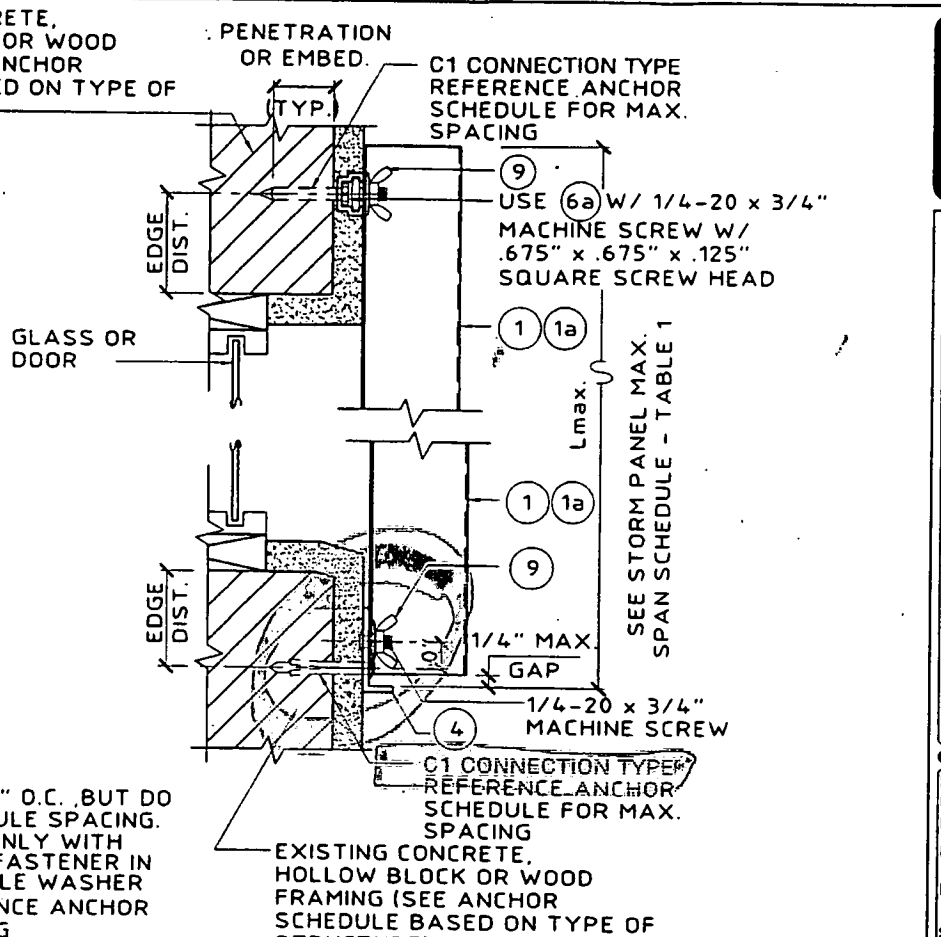
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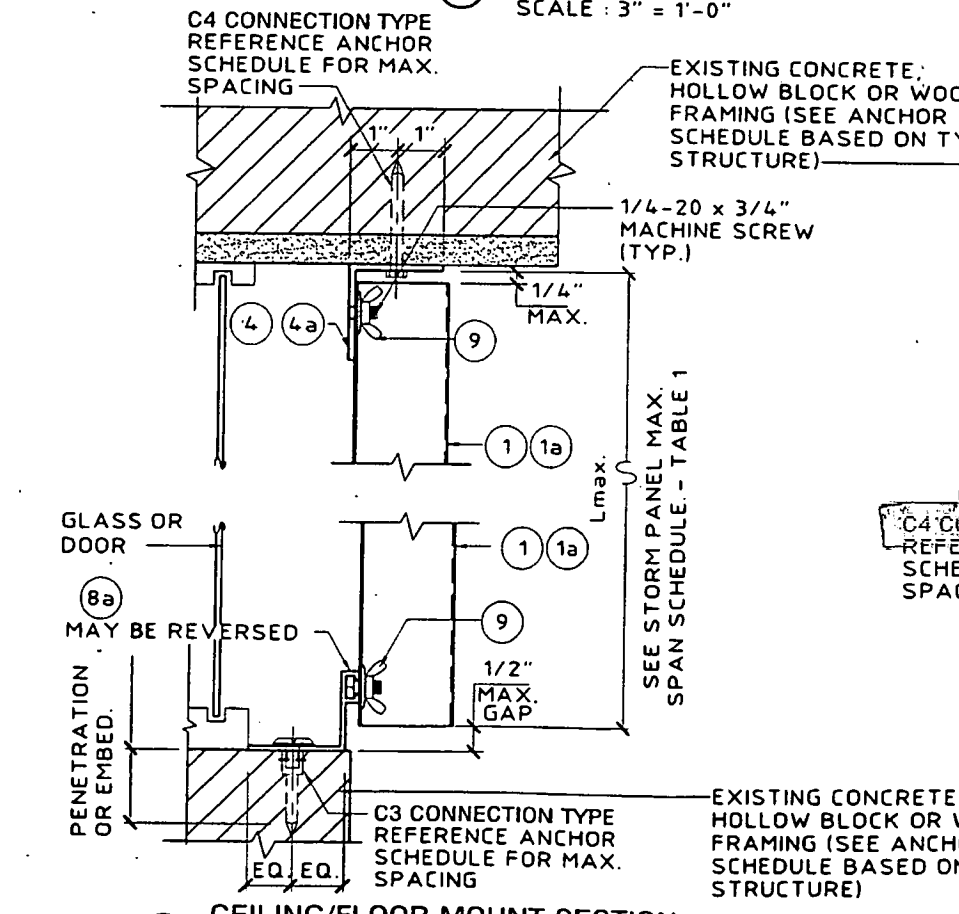
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SCALE: 3" = 1'-0"



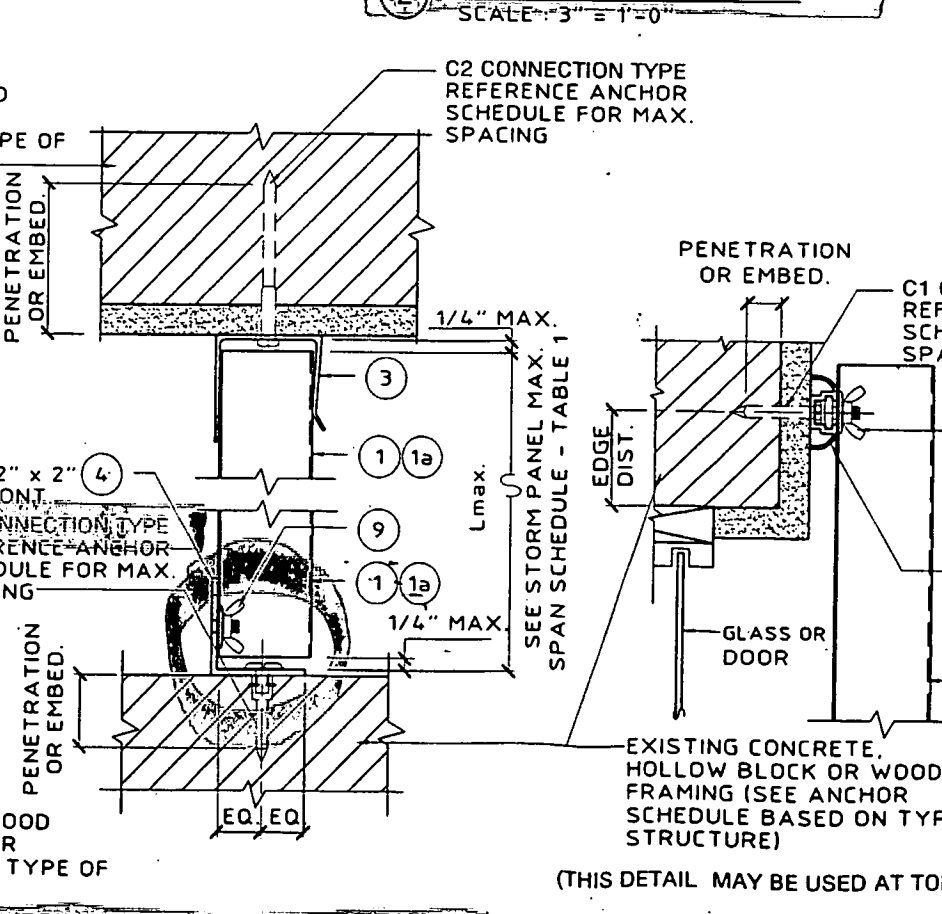
**E WALL MOUNT SECTION**  
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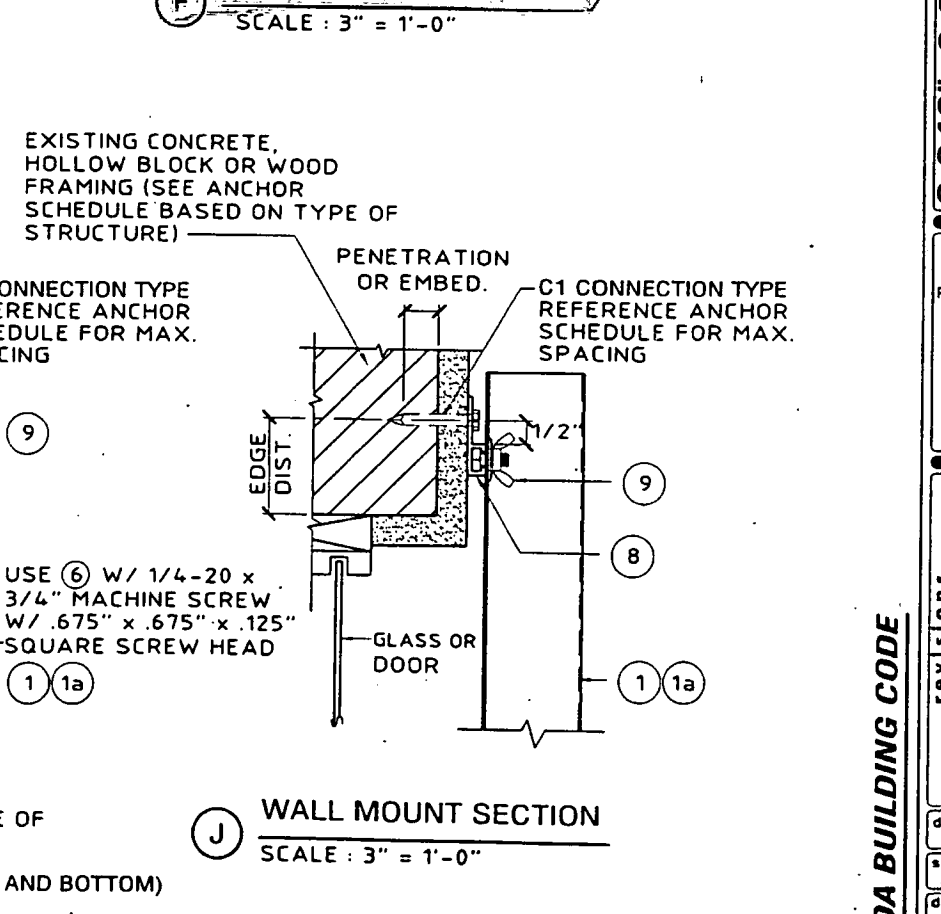
**F WALL MOUNT SECTION**  
SCALE: 3" = 1'-0"



**G CEILING/FLOOR MOUNT SECTION**  
SCALE: 3" = 1'-0"

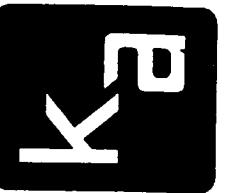


**H CEILING/FLOOR MOUNT SECTION**  
SCALE: 3" = 1'-0"



**J WALL MOUNT SECTION**  
SCALE: 3" = 1'-0"

(THIS DETAIL MAY BE USED AT TOP AND BOTTOM)



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Consulting Engineers • Product Testing  
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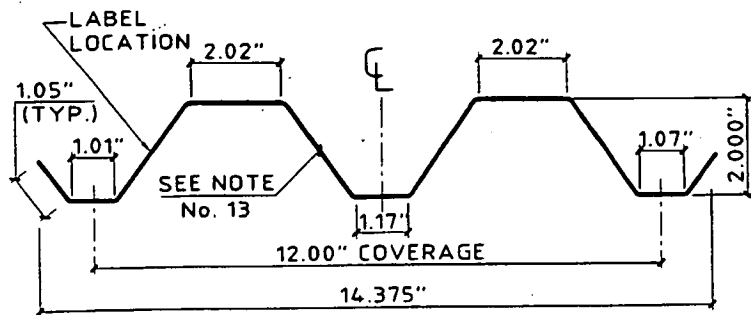
**V.J. Knezevich**  
Professional Engineer  
FL License No.: PE 0010983

Revisions	
no.	description
0	03/18/04/VJK PREV. DWG. No. 03-231

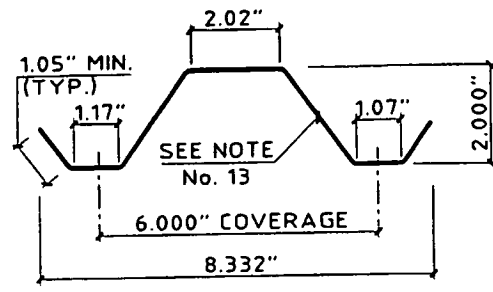
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drawing no. 04-272  
sheet 2 of 6

FLORIDA BUILDING CODE

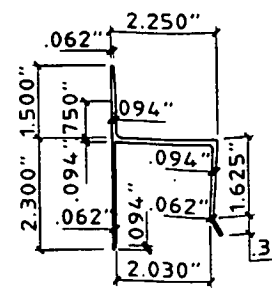
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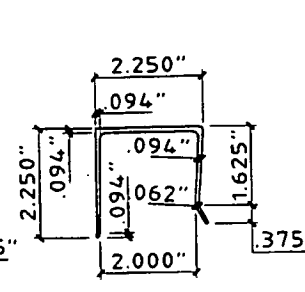
**1 STORM PANEL**  
SCALE: 3" = 1'-0"



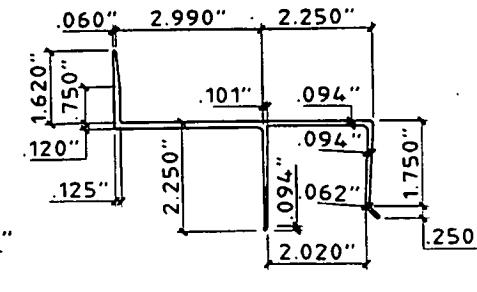
**1a HALF STORM PANEL**  
SCALE: 3" = 1'-0"



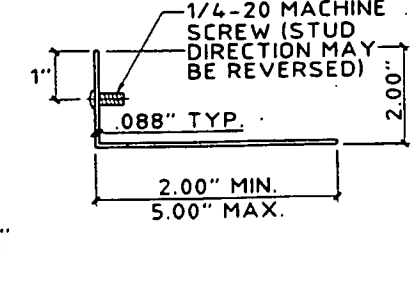
**2 H-HEADER**  
SCALE: 3" = 1'-0"



**3 U-HEADER**  
SCALE: 3" = 1'-0"



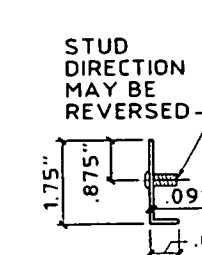
**3a BUILD-OUT U-HEADER**  
SCALE: 3" = 1'-0"



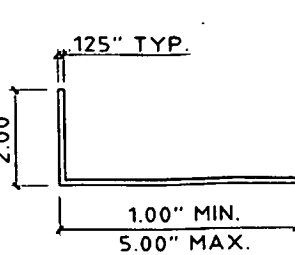
**4 STUD ANGLE**  
SCALE: 3" = 1'-0"

**GENERAL NOTES:**

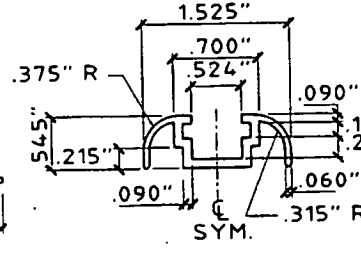
1. THESE PRODUCT EVALUATION DOCUMENTS REPRESENT A SHUTTER SYSTEM DESIGNED AND TESTED AS A LARGE MISSILE IMPACT PROTECTIVE SYSTEM IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2001, WITH 2003 REVISIONS.
2. THIS SHUTTER SYSTEM HAS BEEN TESTED FOR LARGE MISSILE IMPACT RESISTANCE IN CONFORMANCE WITH THE SBCCI STANDARD SSTD 12-99 AND FOR UNIFORM STATIC AIR PRESSURE IN CONFORMANCE WITH ASTM E330. REFERENCED TEST REPORTS CONSTRUCTION TESTING CORPORATION (C.T.C.), TEST REPORT No's. 97-063, 98-009, 98-010, 98-011, 98-014, 99-044, 00-041, 00-022, 01-037 AND 02-012.
3. AN ALLOWABLE STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT.
4. DETERMINE THE POSITIVE AND NEGATIVE DESIGN LOADS TO USE WHEN REFERENCING THESE DOCUMENTS IN ACCORDANCE WITH THE GOVERNING CODE AND GOVERNING WIND VELOCITY.
5. THESE PRODUCT EVALUATION DOCUMENTS ARE PREPARED BY THE PRODUCT ENGINEER AND ARE GENERIC. THEY DO NOT INCLUDE INFORMATION PREPARED FOR A SPECIFIC SITE.
6. THESE APPROVAL DOCUMENTS SHALL COMPLY WITH CHAPTER 61G15-23 OF THE FLORIDA ADMINISTRATIVE CODE.
7. THESE PRODUCT EVALUATION DOCUMENTS ARE SUITABLE TO BE APPLIED BY THE CONTRACTOR PROVIDED THE CONTRACTOR DOES NOT DEVIATE FROM THE CONDITIONS DETAILED HEREIN AND THE CONTRACTOR VERIFIES THE EXISTING STRUCTURE IS CAPABLE OF SUPPORTING THE SUPERIMPOSED LOADS.
8. ALTERATIONS OR ADDITIONS TO THIS DOCUMENT ARE NOT PERMITTED.
9. WHEN THE SITE CONDITIONS DEVIATE FROM THESE PRODUCT EVALUATION DOCUMENTS, SITE SPECIFIC DOCUMENTS SHALL BE PREPARED BY A DULY LICENSED AND REGISTERED ENGINEER OR ARCHITECT. SAID DOCUMENTS SHALL BEAR THE DATE, SIGNATURE AND EMBOSSED SEAL OF THE DELEGATED ENGINEER OR ARCHITECT AND SHALL BE SUBMITTED TO THE PRODUCT ENGINEER FOR REVIEW.
10. WHERE COMPLIANCE WITH SSTD 12-99 IS REQUIRED, PANELS SHALL BE PERMANENTLY LABELED WITH A MINIMUM OF ONE LABEL PER OPENING OR THE MANUFACTURER AND INSTALLER SHALL PROVIDE A CERTIFICATE OF COMPLIANCE. WHERE LABELS ARE USED, THE LABEL SHALL READ AS FOLLOWS:  
**TOWN & COUNTRY INDUSTRIES, INC.**  
**FORT LAUDERDALE, FLORIDA**  
**SSTD 12-99 LARGE MISSILE IMPACT RESISTANT**
11. ALL SCREWS, BOLTS AND WASHERS SHALL BE 2024-T4 ALUMINUM ALLOY, STAINLESS STEEL OR GALVANIZED STEEL WITH A MINIMUM TENSILE STRENGTH OF 60 KSI, U.O.N.
12. TOP & BOTTOM DETAILS SHOWN MAY BE INTERCHANGED AS FIELD CONDITIONS DICTATE. PANELS MAY BE MOUNTED HORIZONTALLY IF C-TRACK, BUILD-OUT F-TRACK, F-TRACK, F-ANGLE, STUD ANGLE OR DIRECT MOUNTED IS USED.
13. STORM PANELS SHALL BE ALUMINUM ALLOY WITH THE FOLLOWING METAL THICKNESS:  
0.040" (3004-H34)  
0.050" (5052-H32)  
0.060" (3004-H34)
14. ALL EXTRUSIONS SHALL BE 6063-T6 ALUMINUM ALLOY, U.O.N.



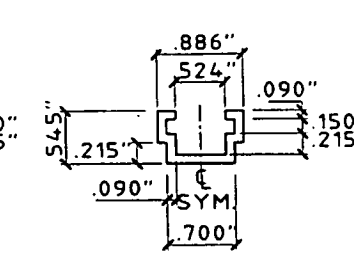
**4a STUD ANGLE**  
SCALE: 3" = 1'-0"



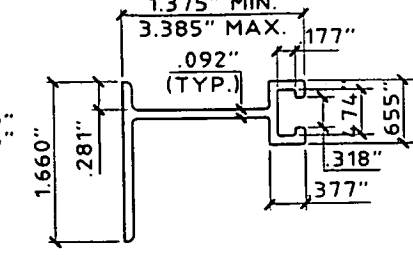
**5 ANGLE**  
SCALE: 3" = 1'-0"



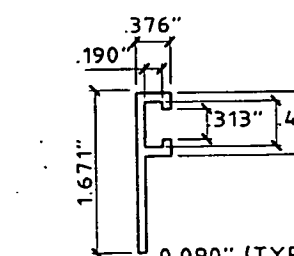
**6 C-TRACK**  
SCALE: HALF SIZE



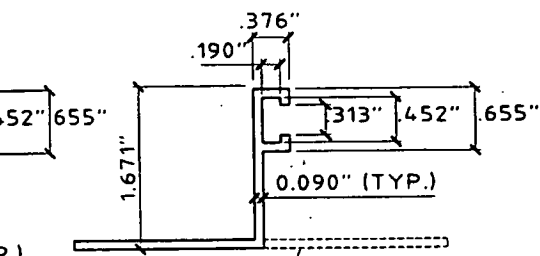
**6a C-TRACK**  
SCALE: HALF SIZE



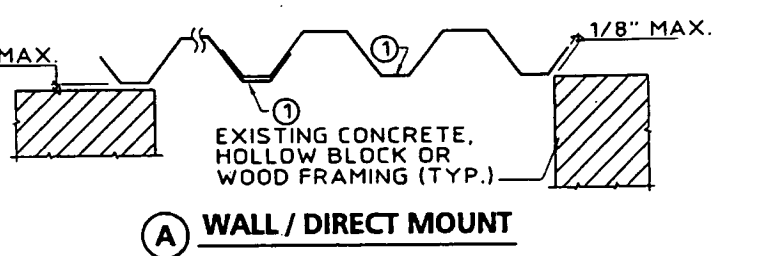
**7 BUILD-OUT F-TRACK**  
SCALE: HALF SIZE



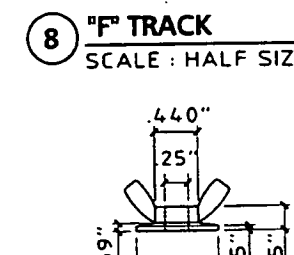
**8 F-TRACK**  
SCALE: HALF SIZE



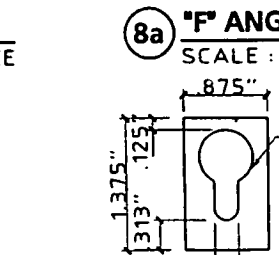
**8a F-ANGLE - TRACK**  
SCALE: HALF SIZE



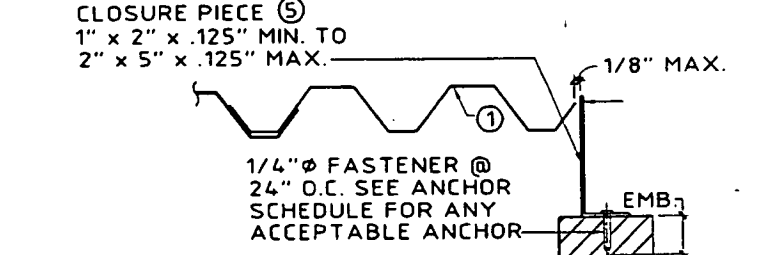
**A WALL / DIRECT MOUNT**



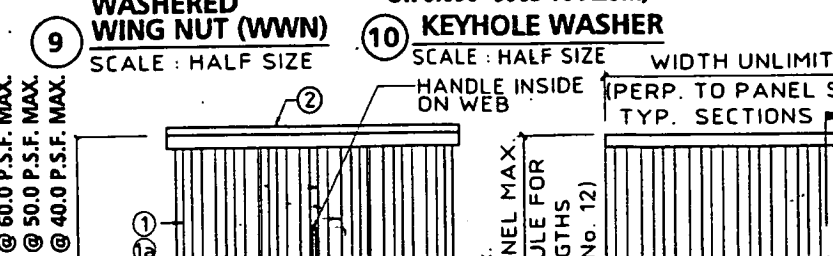
**9 WASHERED WING NUT (WWN)**  
SCALE: HALF SIZE



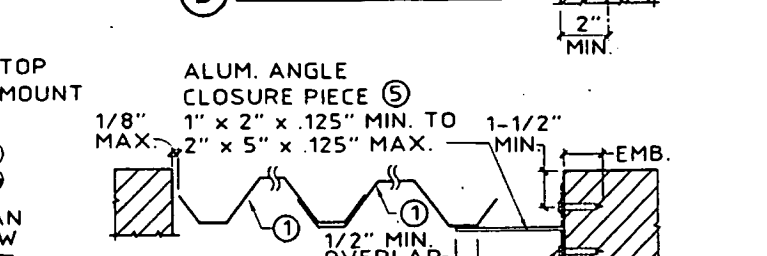
**10 KEYHOLE WASHER**  
SCALE: HALF SIZE



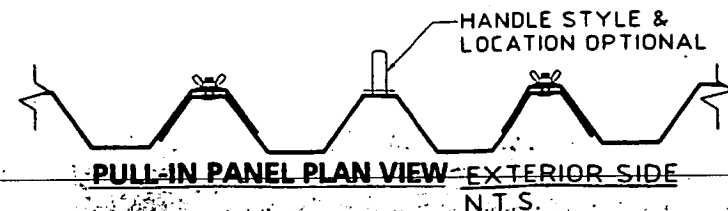
**B BUILD-OUT MOUNT**



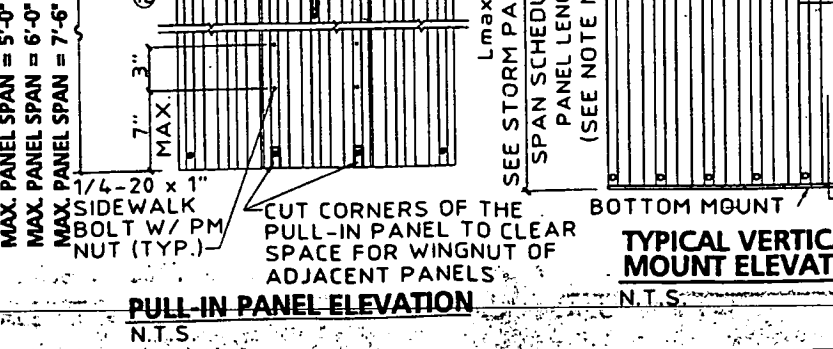
**C TRAP MOUNT**



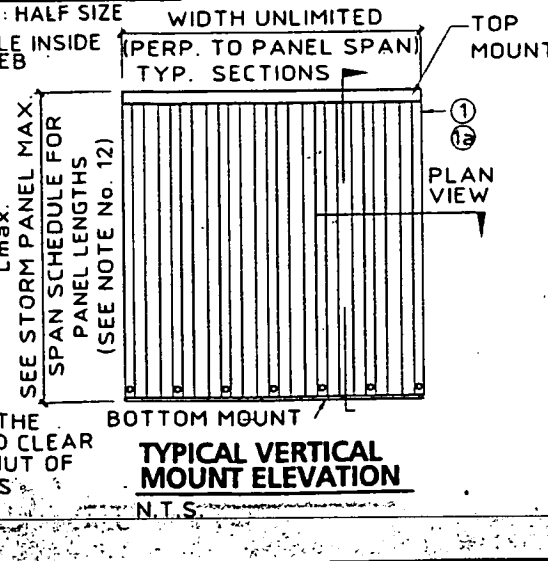
**C TRAP MOUNT**



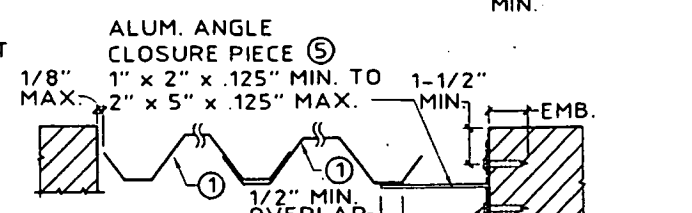
**PULL-IN PANEL PLAN VIEW - EXTERIOR SIDE**  
N.T.S.



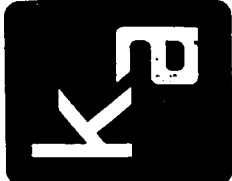
**PULL-IN PANEL ELEVATION**  
N.T.S.



**TYPICAL VERTICAL MOUNT ELEVATION**  
N.T.S.



**TYPICAL CLOSURE DETAILS (PLAN)**  
SCALE: 1-1/2" = 1'-0"



**Knezevich & Associates, Inc.**  
Consulting Engineers • Product Testing  
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Website: www.knezevich.com • E-mail: KA@knezevich.com  
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400 WEST McNAB ROAD • (800) 432-5019  
FT. LAUDERDALE, FL 33309

**V.J. Knezevich**  
Professional Engineer  
FL License No.: PE 0010983

no.	date	description
0	03/18/2004	VJK PREV. DWG. NO. 03-231

**FLORIDA BUILDING CODE**

date	03/18/2004
scale	AS NOTED
drawn by	ARV
design by	VJK
checked by	VJK
drawing no.	04-272
sheet	1 of 6

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 7/15, 2005 Page 1 of    

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6945	JOYNER	FINAL WINDOWS	PASS	CLOSE
6	85 S. SEWALLS O/B	+ GARAGE DOOR 772-286-5647 125th St (XL)		INSPECTOR: <i>OM</i>
6924	BUSHA	POCK	FAIL	
21	10 PALM CT.			INSPECTOR: <i>OM</i>
7615	VITALE	FINAL REEROOF	FAIL	
7	13 KNOWLES RD FLA CUSTOM CONST			INSPECTOR: <i>OM</i>
7568	<del>NEARINA</del>	<del>FINAL HORIZON</del>	<del>PASS</del>	
8	SLANTANALA Hobe Sound Alum	SHUTTERS 284-9690 call 283-9788 (After 10 please)		INSPECTOR: <i>OM</i>
7565	KUHNS.	METAL LATH	PASS	
4	99 S. RIVER RD. O/B			INSPECTOR: <i>OM</i>
7469	NORGREN	POOL DECK	PASS	
3	5 KINGSTON CT OLYMPIC POOLS			INSPECTOR: <i>OM</i>
7390	GOODMAN	TIE BEAMS +		CXL
	5 SUMMER LANE O/B	COLUMNS *LAST PLEASE		INSPECTOR:

OTHER:

SANDRA PALTER  
91 S RIVER RD.

9833

A/C CHANGEOUT

---





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9833	DATE ISSUED:	JULY 14, 2011
SCOPE OF WORK:	AC CHANGEOUT		
CONDITIONS :			
CONTRACTOR:	ALL YEAR COOLING		
PARCEL CONTROL NUMBER:	123841002-000-003004	SUBDIVISION	RIO VISTA-LOT 30
CONSTRUCTION ADDRESS:	5 LANTANA LANE		
OWNER NAME:	NEARING		
QUALIFIER:	GRETA SMITH	CONTACT PHONE NUMBER:	954-566-4644

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

Town of Sewall's Point

9833

Date: 7/11/11
OWNER/TITLEHOLDER NAME: Karen Nearing
Job Site Address: 5 Lantana Lane
Legal Description: Rio Vista
Parcel Control Number: 12-38-41-002-000-003 00-4

Scope of work (please be specific): A/C Changeout for 4 Ton 16 seer Rheem
WILL OWNER BE THE CONTRACTOR? YES
COST AND VALUES: Estimated Value of Improvements: \$ 3470
Has a Zoning Variance ever been granted on this property? YES

CONTRACTOR/Company: All Year Cooling
Street: 6781 W Sunrise Blvd
State License Number: CA058160
LOCAL CONTACT: Ingrys Farias
DESIGN PROFESSIONAL:
AREAS SQUARE FOOTAGE: Living, Garage, Covered Patios/Porches, Enclosed Storage

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY...
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM...
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS...
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS...

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE...

OWNER SIGNATURE: (required) Karen Nearing
CONTRACTOR SIGNATURE: (required) Greta B. Smith
State of Florida, County of:
This the 11th day of July, 2011

as identification: Ingrys Farias, Notary Public - State of Florida
My Commission Expires: Sep 15, 2013

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION... ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida  
Laurel Kelly, C.F.A**
*generated on 7/14/2011 10:23:04 AM EDT*
**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
12-38-41-002-000-00300-4	27543	5 LANTANA LN, SEWALL'S POINT	\$239,280	7/9/2011

---

**Owner Information**

<b>Owner(Current)</b>	NEARING KAREN DENISE
<b>Owner/Mail Address</b>	5 LANTANA LN STUART FL 34996
<b>Sale Date</b>	8/23/1996
<b>Document Book/Page</b>	1193 0921
<b>Document No.</b>	
<b>Sale Price</b>	162500

---

**Location/Description**

<b>Account #</b>	27543	<b>Map Page No.</b>	SP-04
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 30
<b>Parcel Address</b>	5 LANTANA LN, SEWALL'S POINT		
<b>Acres</b>	.3450		

---

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 RIO VISTA DRY

---

**Assessment Information**

<b>Market Land Value</b>	\$127,000
<b>Market Improvement Value</b>	\$112,280
<b>Market Total Value</b>	\$239,280

7-11



CONTRACT
6781 W. Sunrise Boulevard, Plantation, FL 33313
Phone: (954) 566-4644 Fax: (954) 667-1290
www.aycair.com
Est. 1973 with over 150,000 Installations

CONTRACT PURCHASER
We hereby submit specifications for:
Equipment Installation
Indoor Air Quality
Other
All Year Cooling will furnish all parts, labor and equipment necessary to facilitate the service checked above in accordance with the conditions and specifications listed in this contract. Does not include electrical upgrade unless stated.

INDOOR AIR IMPROVEMENT
Duct Cleaning & Sanitizing # Vents # of Duct Systems
High Quality Air Filter Location
High Quality Air Cleaner Location

RETURN & SUPPLY DISTRIBUTION
Modify/New Supply Duct(s)
Modify/New Return Duct(s)
New Return Air Grill, Size: x Qty
New Supply Grill, Size: x Qty
Seal Up Leaks In Ducts #
Modifications of: Supply Plenum Return Air Plenum

NEW EQUIPMENT WIRING
Split System
Package Unit
Heat Pump
Straight Cool
Horizontal Application
Other
Electric Heat
Heat Recovery Unit
# of Systems
Attic
Vertical Application
Air Handler Breaker Wire Size
New Breaker
Condenser Breaker Wire Size
New Breaker

Table with columns: MAKE, MODEL, SEER. Row 1: RHEEM, A#RHUMM4921, 16. Row 2: 4 ton, Q#14AJM49.

Electrical Disconnect Box
Provided By All Year Cooling
Existing Electrical to Code

OTHER
In-line Float Switch
Auxiliary Float Safety Switch
Type of Thermostat - Specify Type (AT701) DIGITAL
Weather Resistant Vibration, Isolation Pads
1 Year 1 Visit Maintenance Agreement
5 Year Extended Warranty 10 Year Extended Warranty

CONDENSATION & COPPER PIPING
Condensate Drain Hook-Up
New Condensate Pump
Refrigerant Copper Liquid Line, Size
Primary
Secondary
Auxiliary Drain Pan
Refrigerant Copper Suction Line with Insulation, Size:
Length of Run
New or Existing Copper
Refrigerant Line Cover

OTHER
Liabilities and Workmen's Comp for Our Work Performed with Existing Codes
Mounting Hardware of Stand for Air Handler
Hurricane Code Strapping
Smoke Detector - Existing/New
Straps
Extend Slab
Crane/Genie Lift
New Slab
Labor Needed ft

WARRANTIES
1 Year Warranty by All Year Cooling on work performed, and manufacturer's warranty on equipment unless otherwise stated below.
Labor provided by seller in this period is Monday through Sunday.
Manufacturer's Warranties
Compressor 10 Years
Condenser 10 Years
Evap. Coil 10 Years
Labor 1 Years
Parts 10 Years

INVESTMENT BREAKDOWN and DETAILS OF WORK PERFORMED
Subtotal \$ 4100
Permit \$ +150
Utility Rebate \$ -780
Man. Rebate \$ -150
Misc Credits \$
Total Investments \$ 3320
Balance Due \$ 3470
- REMOVE OLD UNITS
- NEW DRAIN PAN
- REMOVE STAIRS IF NECESSARY TO FIT UNIT THROUGH OPENING
Amex Express

TERMS: Any financing must be arranged 24 hours prior to starting any work. Balance Due to Technician Upon Completion of Job.
Form of Payment: Cash Check CC Finance

All Year Cooling Rep. Signature Date 7-8-11 Customer Signature Date
License # CAC058159, 94CME1506X, U16711, 08E000413, ER0012903
SEE REVERSE FOR TERMS AND CONDITIONS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Air Conditioning Change out Affidavit

Residential [checked] Commercial
Package Unit Yes [checked] No
Duct Replacement Yes [checked] No - Refrigerant line replacement Yes [checked] No
Flushing Existing Refrigerant lines [checked] Yes No - Adding Refrigerant Drier [checked] Yes No
Rooftop A/C Stand Installation Yes [checked] No - Curb Installation [checked] Yes No
Smoke Detector in Supply (over 2000 CFM) Yes [checked] No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: Rheem Model# R26LL117M 4831
Volts 230 CFM's Heat Strip 7 Kw
Min. Circuit Amps 40 Wire gauge 6/2
Max. Breaker size 50 Min. Breaker size 45
Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type 410
Location: Existing [checked] New
Attic/Garage/Closet (specify) Attic
Access: yes
(Contractor must provide ladder if required)

Condenser: Mfg Rheem Model# 14AJM 49
Volts 230 SEER/EER 16 BTU's 46000
Min. Circuit Amps 30 Wire gauge 8/2
Max. Breaker size 45 Min. Breaker size 35
Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type 410
Location: Existing [checked] New
Left/Right/Rear/Front/Roof Ground
Condensate Location

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: Rheem Model#
Volts 230 CFM's Heat Strip 7 Kw
Min. Circuit Amps 40 Wire gauge 6/2
Max. Breaker size 50 Min. Breaker size 45
Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type R22
Location: Ext. [checked] New
Attic/Garage/Closet (specify) Attic
Access:

Condenser: Mfg Rheem Model#
Volts 230 SEER/EER 10 BTU's 46000
Min. Circuit Amps 30 Wire gauge 8/2
Max. Breaker size 45 Min. Breaker size 35
Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type R22
Location: Ext. [checked] New
Left/Right/Rear/Front/Roof Ground
Condensate Location

Certification:

I herby certify that the information entered on this form accurately represents the equipment installed and further affirm that this equipment is considered matched as required by FBC - R (N)1107 & 1108

Signature: [Handwritten Signature]

Date: 7-11-11



This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2011.

# Certificate of Product Ratings

AHRI Certified Reference Number: 3799429

Date: 7/8/2011

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 14AJM49

Indoor Unit Model Number: RHLL-HM4821+RCSL-H\*4821

Manufacturer: RHEEM MANUFACTURING COMPANY

Trade/Brand name: RHEEM 14AJM SERIES

Manufacturer responsible for the rating of this system combination is RHEEM MANUFACTURING COMPANY

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	46000
EER Rating (Cooling):	13.00
SEER Rating (Cooling):	16.00

\* Ratings followed by an asterisk (\*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

#### DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at [www.ahridirectory.org](http://www.ahridirectory.org).

#### TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

#### CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at [www.ahridirectory.org](http://www.ahridirectory.org), click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



Air-Conditioning, Heating, and Refrigeration Institute

©2011 Air-Conditioning, Heating, and Refrigeration Institute

CERTIFICATE NO.:

129546329642272560



10069

SERVICE CHANGEOUT

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TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10069	DATE ISSUED:	APRIL 16, 2012
SCOPE OF WORK:	REPLACE ELECTRIC SERVICE BOX & BREAKERS		
CONTRACTOR:	ADR ELECTRIC		
PARCEL CONTROL NUMBER:	123841002-000-003004	SUBDIVISION	RIO VISTA - LOT 30
CONSTRUCTION ADDRESS:	5 LANTANA LANE		
OWNER NAME:	SEDOR		
QUALIFIER:	ALAN RANDALL	CONTACT PHONE NUMBER:	284-2102

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10069
ADDRESS	5 LANTANA LANE - SEDOR
DATE : 4/16/12	SCOPE OF WORK REPL ELECTRIC SERVICE BOX & BREAKERS

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)		s.f.	
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)		s.f.	
Total square feet remodel with new trusses: @ \$90.78 per sq. ft.		\$	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	

ACCESSORY PERMIT	Declared Value:	\$	
Total number of inspections @ \$75.00 each			75
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	84

*pd*  
*ck#552*



**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Permit Number: 10069

Date: 4/5/12

OWNER/LESSEE NAME: Steve Sedor Phone (Day) 772-781-6082 (Fax) 772-791-6082

Job Site Address: 5 Lawtava City: Sewalls Point State: Fla Zip: 34996

Legal Description: RIG VISTA S/D LOT 30 Parcel Control Number: \_\_\_\_\_

Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):** REPLACE ELECTRICAL SERVICE BOX + BREAKERS

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO

**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO   
(Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 1800.00  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10  AE9  AE8  X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: ADR Ele. Inc Phone: 772-284-2102 Fax: \_\_\_\_\_

Qualifiers name: Alan Randall Street: P.O. Box 665 City: JB State: FL Zip: 34958

State License Number: EC0001291 OR: \_\_\_\_\_ Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

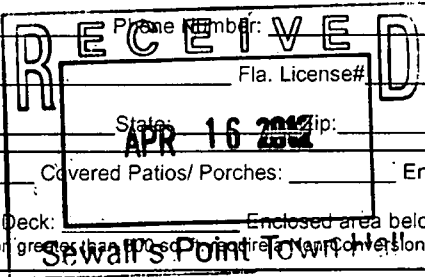
LOCAL CONTACT: \_\_\_\_\_ Phone Number: \_\_\_\_\_

DESIGN PROFESSIONAL: ADR Fla. License# \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 10 feet from the front property line.



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**

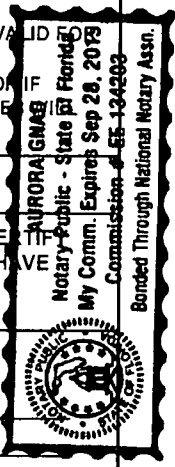
- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE: [Signature]  
State of Florida, County of: Martin  
On This the 16 day of April, 2012  
by Stephen M Sedor who is personally known to me or produced FLD# 5360-793-41-1850  
As identification: [Signature]  
My Commission Expires: \_\_\_\_\_

CONTRACTOR/DICENSEE NOTARIZED SIGNATURE: [Signature]  
State of Florida, County of: Martin  
On This the 04 day of April, 2012  
by Alan Randall who is personally known to me or produced 1d R534 00459 0150  
As identification: [Signature]  
My Commission Expires: 09/28/2015



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida  
Laurel Kelly, C.F.A**

generated on 4/16/2012 9:17:37 AM EDT

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00300-4	27543	5 LANTANA LN, SEWALL'S POINT	\$234,340	4/7/2012

---

**Owner Information**

<b>Owner(Current)</b>	SEDOR STEPHEN M JR
<b>Owner/Mail Address</b>	5 LANTANA LN STUART FL 34996
<b>Sale Date</b>	9/28/2011
<b>Document Book/Page</b>	2539 2408
<b>Document No.</b>	2296217
<b>Sale Price</b>	280000

---

**Location/Description**

<b>Account #</b>	27543	<b>Map Page No.</b>	SP-04
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 30
<b>Parcel Address</b>	5 LANTANA LN, SEWALL'S POINT		
<b>Acres</b>	.3450		

---

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 RIO VISTA DRY

---

**Assessment Information**

<b>Market Land Value</b>	\$127,000
<b>Market Improvement Value</b>	\$107,340
<b>Market Total Value</b>	\$234,340



TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



### Electrical Load Calculations

Electrical Contractor: ADR Ele. inc License No. EC0001291  
 Phone #: 772-284-2102 Fax #: 772-334-0181  
 Project: Sedor Location: 5 Lawtawo  
 Existing Service Feeder Size: #4/0AL 200a Existing Panel Size: 200a MCB 300v  
 Main Breaker Size: 200 Number of Breakers: ± 30

Existing Loads

<u>1800</u> Sq. Ft. X 3 watts per sq. ft.....	<u>5100</u> watts
<u>3</u> Appliance cir. @1500 watts each.....	<u>4500</u> watts
<u>1</u> Laundry cir. @ 1500 watts each.....	<u>1500</u> watts
<u>1</u> Range @ 8 kw.....	<u>8000</u> watts
<u>1</u> Dishwasher and disposal @ 1500 watts each.....	<u>3000</u> watts
<u>1</u> Microwave @ 2000 watts.....	<u>2000</u> watts
<u>1</u> Water heater @ 4.5 kw.....	<u>4500</u> watts
<u>0</u> Tank less water heater.....	_____ watts
<u>1</u> Dryer @ 5 kw.....	<u>5000</u> watts
<u>2</u> Refrigerator @ 1500 watts.....	<u>3000</u> watts
<u>1</u> Bathroom 1 @ 1500 watts.....	<u>1500</u> watts
<u>0</u> Sprinkler Pump .....	_____ watts
_____ Other .....	_____ watts
_____ Other .....	_____ watts
_____ Other .....	_____ watts

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

Subtotal Watts

More Loads

<u>2</u> Pool pump..... <u>1725 ea</u>	<u>3450</u> watts
<u>1</u> Pool light.....	<u>100</u> watts
<u>1</u> Heat pump..... <u>Pool</u>	<u>5500</u> watts
<u>0</u> Chlorine generator.....	_____ watts
<u>1</u> Blower.....	<u>1000</u> watts
<u>0</u> Boatlift.....	_____ watts
_____ Other .....	_____ watts
_____ Other .....	_____ watts
_____ Other .....	_____ watts

48450 Total Watts

_____ First 10 kw @ 100%.....	<u>10 000</u> watts
_____ Remainder @ 40%.....	<u>15380</u> watts
<u>1</u> A/C heat @ 100%.....	<u>10,000</u> watts

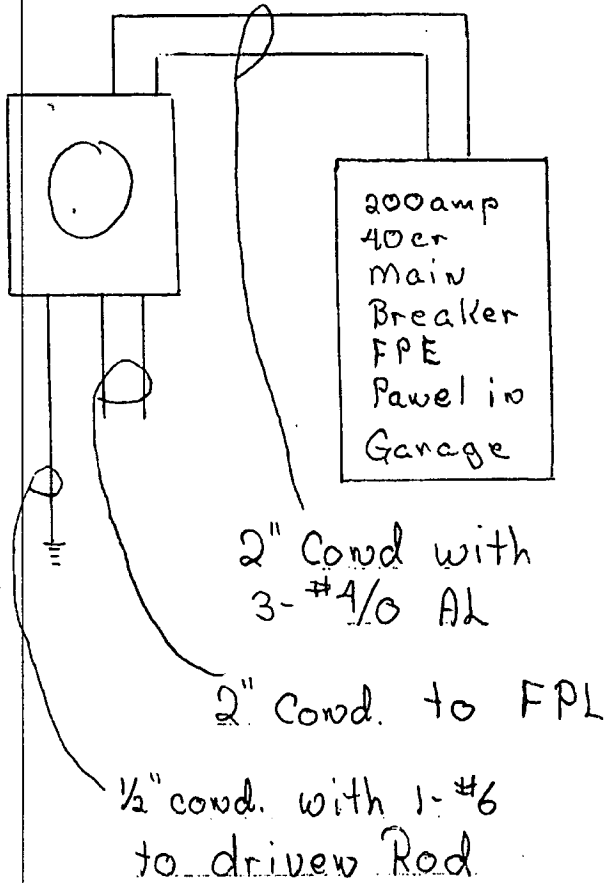
Total watts 35380 Divided by 240 volts = 147.41 Amps 200 Amp service provided

Prepared by: Al Rawdall  
 Pres. ADR Ele inc

Date: 4/4/12

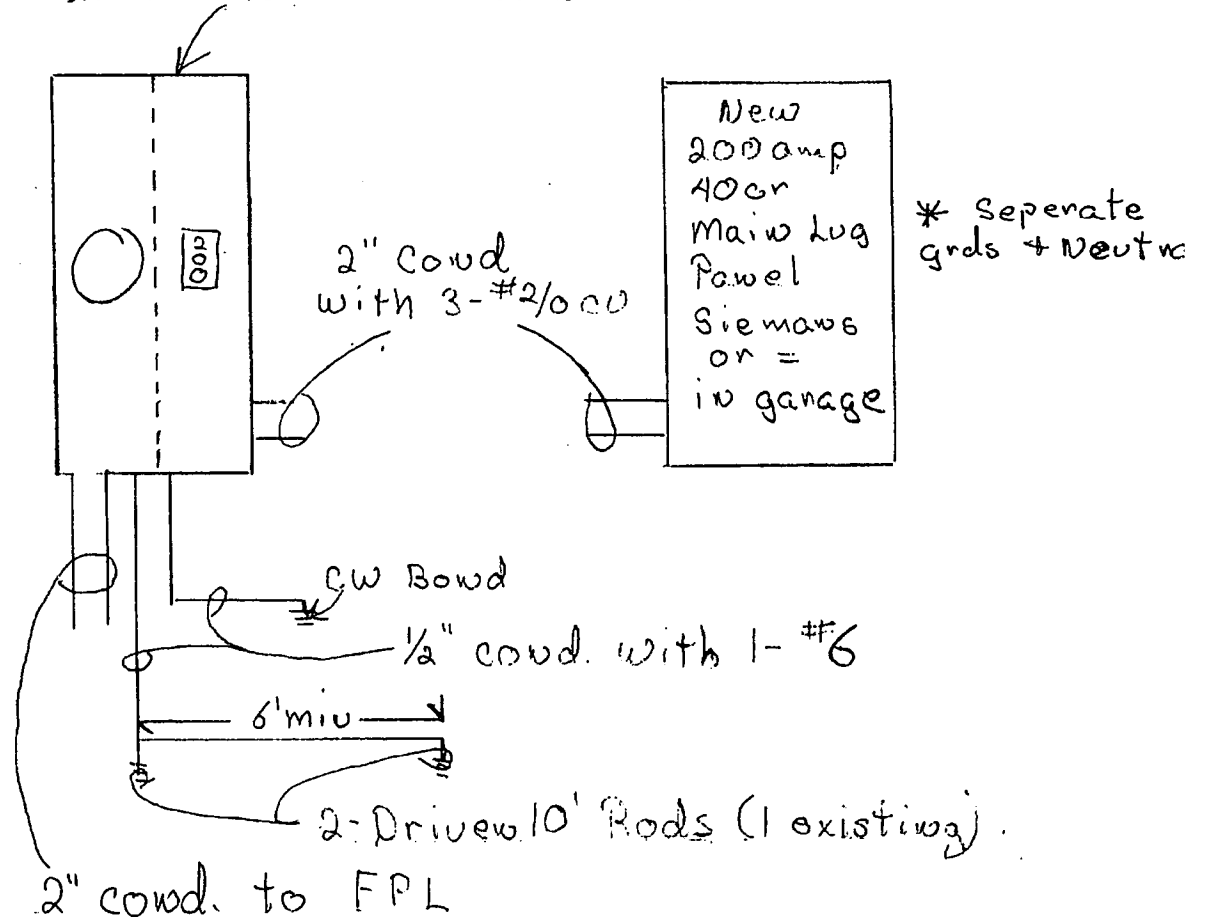
# Existing Riser

Existing 200amp  
Meter Caw (to Be Replaced)



# New Riser

New 200amp Meter/Main  
Feed thru Panel 6 cr Min  
Allow for manual Gew. Inter lock



Job location:

5 Lawtawa, Sewalls Point FL  
Plaw By

Al Raddell (Proc) [Signature]

[Signature]

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 6-12-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10069	<del>Sidon</del> <del>514 Antonio Ln</del>	<del>Final</del>	<del>Pass</del>	<del>Needs Final</del>
10:15	ADL Elle			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
4894	Comcast SSPR & Henry Sewall Reel Tele	Final UG CATV	Pass	Close INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10093	CHICKY 5 KNOWLES PINNACLE ROOFING	ROOF FINAL	Pass	Close INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	DEAN SWILLEN	323 1126		INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 6-27-12 Page 1 of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	<del>SEWALLS POINT</del>	<del>FIRE</del>		
9:30-10:00	<del>5 LANTANA</del> AOR ELEC	<del>ELECTRIC</del>	<del>PASS</del>	<del>OK</del> INSPECTOR <i>AF</i>
10101	Sitara FI	Wall Rous #		
1:00-1:30	3601 SE OCEAN Werner	SLAB FIRE PENETRATIONS	PASS	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10550

RE-ROOF

---



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10550	DATE ISSUED:	AUGUST 6, 2013
SCOPE OF WORK:	REROOF		
CONTRACTOR:	ALL AMERICAN ROOFING & COATING		
PARCEL CONTROL NUMBER:	123841002-000-003004	SUBDIVISION	RIO VISTA - L 30
CONSTRUCTION ADDRESS:	5 LANTANA LN		
OWNER NAME:	SEDOR		
QUALIFIER:	JESUS VASQUEZ	CONTACT PHONE NUMBER:	781-4410

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE**  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 12-38-41-002-000-00300-4

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): Rio Vista S/D Lot 30 5 Lantana Lane, Sewalls Point, FL 34996

GENERAL DESCRIPTION OF IMPROVEMENT: Roof

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: Stephen Sedor
ADDRESS: 5 Lantana Lane, Sewalls Point, FL 34997
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_
INTEREST IN PROPERTY: OWNER

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: All American Roofing & Coatings of Florida, Inc.
ADDRESS: 2504 SE Willoughby Blvd, Stuart, FL 34994
PHONE NUMBER: 772-781-4400 FAX NUMBER: 772-781-4408

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)
ADDRESS: \_\_\_\_\_
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_
BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY: \_\_\_\_\_
ADDRESS: \_\_\_\_\_
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES:

NAME: \_\_\_\_\_
ADDRESS: \_\_\_\_\_
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

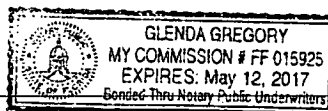
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT: [Signature]
SIGNATORY'S TITLE/OFFICE: OWNER

FLD# 360 -793-41-185-0

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 16 DAY OF July, 2013
BY: Stephen Sedor AS OWNER FOR self
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION TYPE OF IDENTIFICATION PRODUCED: DL

NOTARY SIGNATURE/ SEAL



STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE
BY: [Signature]
DATE: 7/31/13
CAROLYN TIMMANN, CLERK
DC



INSTR # 2408593 DR BK 2667 PG 532 RECD 07/31/2013 12:42:18 PM
(1 Page)
CAROLYN TIMMANN MARTIN COUNTY CLERK
DEER DOC \$0.00, MFG DOC \$0.00, INTANGIBLE \$0.00

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

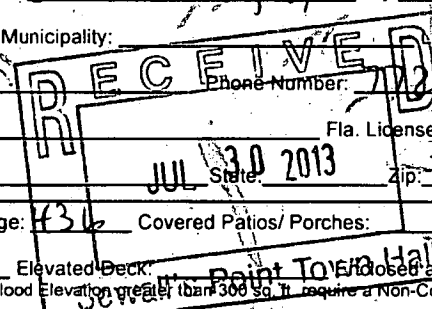
Date: 7/28/13 Permit Number: 10550  
 OWNER/LESSEE NAME: Stephen Sedor Phone (Day) 772-781-6082 (Fax) \_\_\_\_\_  
 Job Site Address: 5 Lantana Lane City: Sewalls Point State: FL Zip: 34996  
 Legal Description: Rio Vista S/D Lot 30 Parcel Control Number: 12-39-41-002-000-00300-4  
 Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):** Re-Roof

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO X  
**Has a Zoning Variance ever been granted on this property?**  
N/A YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES: (Required on ALL permit applications)**  
 Estimated Value of Improvements: \$ 17117.00  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10 \_\_\_\_\_ AE9 \_\_\_\_\_ AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ N/A  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: All American Roofing & Coatings of Florida Inc Phone: 772-781-4410 Fax: 772-781-4408  
 Qualifiers name: Jesus Vasquez Jr Street: 2504 SE Willoughby Blvd City: Stuart State: FL Zip: 34974  
 State License Number: CCC1329384 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_  
 LOCAL CONTACT: Jesus Vasquez Jr Phone Number: 772-263-0610  
 DESIGN PROFESSIONAL: \_\_\_\_\_ Fla. License# \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: FL Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_



AREAS SQUARE FOOTAGE: Living: 1778 Garage: 436 Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof: 2214 Elevated Deck: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

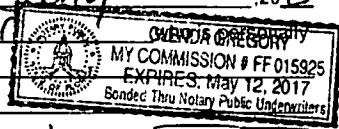
**WARNINGS TO OWNERS AND CONTRACTORS:**

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007/SECT. 105.4.1, 105.4.1.1 - 5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:  
Stephen Sedor  
 State of Florida, County of: Martin  
 On This the 16 day of July, 2013  
 by Stephen Sedor  
 known to me or produced \_\_\_\_\_  
 As identification: DL  
 Notary Public \_\_\_\_\_  
 My Commission Expires: 5/12/17



CONTRACTOR/LICENSEE - NOTARIZED SIGNATURE:  
Jesus Vasquez Jr  
 State of Florida, County of: Martin  
 On This the 29 day of July, 2013  
 by Jesus Vasquez Jr who is personally  
 known to me or produced \_\_\_\_\_  
 As identification: \_\_\_\_\_  
 Notary Public \_\_\_\_\_  
 My Commission Expires: 5/12/17



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

PL0L# 5360-793-41-185-0

**Martin County, Florida  
Laurel Kelly, C.F.A**

generated on 7/29/2013 1:32:27 PM EDT

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00300-4	27543	5 LANTANA LN, SEWALL'S POINT	\$262,030	7/27/2013

**Owner Information**

<b>Owner(Current)</b>	SEDOR STEPHEN M JR
<b>Owner/Mail Address</b>	5 LANTANA LN STUART FL 34996
<b>Sale Date</b>	9/28/2011
<b>Document Book/Page</b>	2539 2408
<b>Document No.</b>	2296217
<b>Sale Price</b>	280000

**Location/Description**

<b>Account #</b>	27543	<b>Map Page No.</b>	SP-04
<b>Tax District</b>	2200	<b>Legal Description</b>	RIO VISTA S/D LOT 30
<b>Parcel Address</b>	5 LANTANA LN, SEWALL'S POINT		
<b>Acres</b>	.3450		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120250 RIO VISTA DRY

built 1977  
1770  
4369 sq ft  

---

2214

**Assessment Information**

<b>Market Land Value</b>	\$160,000
<b>Market Improvement Value</b>	\$102,030
<b>Market Total Value</b>	\$262,030



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

RE-ROOF CERTIFICATION

PERMIT # \_\_\_\_\_  
 CONTRACTOR'S NAME: All American Roofing & Coating of Florida Inc. PHONE #: 772-781-4410 FAX: 772-781-4408

OWNER'S NAME: Stephen Sedor  
 CONSTRUCTION ADDRESS: 5 Lantana Lane CITY Sewall's Pt STATE FL

RE-ROOF:  RESIDENTIAL (SINGLE FAMILY)  
 COMMERCIAL \*\*--REMOVE/REINSTALL ROOF TOP HVAC EQUIP  YES  NO

\*\*...DISCONNECT/RECONNECT HVAC ELECTRIC  YES  NO  
 \*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S.  YES  NO - INSURED VALUE OF RESIDENCE: \$ \_\_\_\_\_

ROOF TYPE:  HIP  BOSTON-HIP  GABLE  FLAT  OTHER

ROOF PITCH: 5 /12 SLOPE

ROOF DECK: \*  SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED  
 RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".  
 SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".  
 EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: tile EXISTING COVERING TO BE REMOVED? YES  NO   
 PROPOSED NEW ROOF COVERING: metal 24ga 5-V  
 MANUFACTURER Gulf Coast PRODUCT NAME 24ga 5-V PRODUCT APPR # FL11402  
FL11651

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)  
 MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING:  GALV./STEEL  ALUMINUM  COPPER  OTHER

RIDGEVENT TO BE INSTALLED:  YES  NO

DESCRIPTION OF WORK: Reroof tile to metal

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR: [Signature] DATE: 7/29/13





Florida Department of Business & Professional Regulation

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Product Approval  
USER: Public User

License efficiently. Regulate fairly.

Product Approval Menu > Product or Application Search > Application List > Application Detail



FL #	FL11602-R2
Application Type	Revision
Code Version	2010
Application Status	Approved
Comments	
Archived	<input type="checkbox"/>
Product Manufacturer	InterWrap, Inc.
Address/Phone/Email	32923 Mission Way Mission, NON-US 00000 (778) 945-2891 elozano@interwrap.com
Authorized Signature	Eduardo Lozano elozano@interwrap.com
Technical Representative	Eduardo Lozano
Address/Phone/Email	32923 Mission Way Mission, NON-US 00000 (778) 945-2891 elozano@interwrap.com
Quality Assurance Representative	
Address/Phone/Email	
Category	Roofing
Subcategory	Underlayments
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input type="checkbox"/> Evaluation Report - Hardcopy Received
Florida Engineer or Architect Name who developed the Evaluation Report	Robert Nieminen
Florida License	PE-59166
Quality Assurance Entity	Intertek Testing Services NA Inc. - ETL/Warnock Hersey
Quality Assurance Contract Expiration Date	09/21/2013
Validated By	John W. Knezevich, PE <input type="checkbox"/> Validation Checklist - Hardcopy Received
Certificate of Independence	<a href="#">FL11602_R2_COI_Trinity_ERD_CI - Nieminen.pdf</a>
Referenced Standard and Year (of Standard)	
Equivalence of Product Standards Certified By	
Sections from the Code	1507.2.3 1507.2.4

Self-adhered Underlayment

1507.2.9.2  
 1507.3.3  
 1507.5.3  
 1507.7.3  
 1507.8.3  
 1507.9.3  
 1507.9.5  
 1523.6.5.2.1

Product Approval Method                      Method 2 Option B

Date Submitted                                    02/17/2012

Date Validated                                    04/18/2012

Date Pending FBC Approval                    02/27/2012

Date Approved                                    04/23/2012

Summary of Products		
FL #	Model, Number or Name	Description
11602.1	Titanium Roof Underlayments	Synthetic sheet-type roof underlayments
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-45 Other: 1.) The design pressure noted herein pertains to use of a specific underlayment system beneath foam-on-tile systems. Refer to ER Section 5.5.3 for details. 2.) Refer to ER Sections 5 and 6 for other Limits of Use.		<b>Installation Instructions</b> <a href="#">FL11602_R2_II_er021712FINAL_INTERWRAP_FL11602-R2.pdf</a> Verified By: Robert Nieminen PE-59166 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL11602_R2_AE_er021712FINAL_INTERWRAP_FL11602-R2.pdf</a> Created by Independent Third Party: Yes

**Contact Us :: 1940 North Monroe Street, Tallahassee FL 32399 Phone: 850-487-1824**

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Product Approval Accepts:





EXTERIOR RESEARCH & DESIGN, LLC.  
Certificate of Authorization #9503  
353 CHRISTIAN STREET, UNIT #13  
OXFORD, CT 06478  
PHONE: (203) 262-9245  
FAX: (203) 262-9243

## EVALUATION REPORT

Interwrap, Inc.  
32923 Mission Way  
Mission, BC V2V-6E4  
Canada

Evaluation Report I1980.11.08-R2  
FL11602-R2  
Date of Issuance: 11/03/2008  
Revision 2: 02/17/2012

### SCOPE:

This Evaluation Report is issued under Rule 9N-3 and the applicable rules and regulations governing the use of construction materials in the State of Florida. The documentation submitted has been reviewed by Robert Nieminen, P.E. for use of the product under the Florida Building Code and Florida Building Code, Residential Volume. The products described herein have been designed to comply with the 2010 Florida Building Code sections noted herein.

### DESCRIPTION: Titanium™ Roof Underlayments

**LABELING:** Each unit shall bear labeling in accordance with the requirements of the Accredited Quality Assurance Agency noted herein.

**CONTINUED COMPLIANCE:** This Evaluation Report is valid until such time as the named product(s) changes, the referenced Quality Assurance documentation changes, or provisions of the Code that relate to the product change. Acceptance of this Evaluation Report by the named client constitutes agreement to notify Robert Nieminen, P.E. if the product changes or the referenced Quality Assurance documentation changes. Trinity|ERD requires a complete review of this Evaluation Report relative to updated Code requirements with each Code Cycle.

**ADVERTISEMENT:** The Evaluation Report number preceded by the words "Trinity|ERD Evaluated" may be displayed in advertising literature. If any portion of the Evaluation Report is displayed, then it shall be done in its entirety.

**INSPECTION:** Upon request, a copy of this entire Evaluation Report shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This Evaluation Report consists of pages 1 through 6.

### Prepared by:

**Robert J.M. Nieminen, P.E.**  
Florida Registration No. 59166, Florida DCA ANE1983



The facsimile seal appearing was authorized by Robert Nieminen, P.E. on 02/17/2012. This does not serve as an electronically signed document. Signed, sealed hardcopies have been transmitted to the Product Approval Administrator and to the named client.

### CERTIFICATION OF INDEPENDENCE:

1. Trinity|ERD does not have, nor does it intend to acquire or will it acquire, a financial interest in any company manufacturing or distributing products it evaluates.
2. Trinity|ERD is not owned, operated or controlled by any company manufacturing or distributing products it evaluates.
3. Robert Nieminen, P.E. does not have nor will acquire, a financial interest in any company manufacturing or distributing products for which the evaluation reports are being issued.
4. Robert Nieminen, P.E. does not have, nor will acquire, a financial interest in any other entity involved in the approval process of the product.



**ROOFING COMPONENT EVALUATION:**
**1. SCOPE:**
**Product Category:** Roofing

**Sub-Category:** Underlayment

**Compliance Statement:** Titanium™ Roof Underlayments, as produced by Interwrap, Inc., have demonstrated compliance with the intent of the following sections of the Florida Building Code through testing in accordance with applicable sections the following Standards. Compliance is subject to the Installation Requirements and Limitations / Conditions of Use set forth herein.

**2. STANDARDS:**

<u>Section</u>	<u>Property</u>	<u>Standard</u>	<u>Year</u>
1507.2.3, 1507.3.3, 1507.5.3, 1507.7.3, T1507.8, 1507.8.3, 1507.9.3, 1507.9.5	Unrolling, Breaking Strength, Pliability, Loss on Heating	ASTM D226	2006
1507.2.4, 1507.2.9.2, 1507.5.3	Thickness, Load-Strain, Adhesion, Thermal Stability, Flexibility, Tear, Permeance	ASTM D1970	2001
1507.3.3	Installation Practice	FRSA/TRI 07320	2005
1523.6.5.2.1	Dimensional Stability, Tear, Load- Strain, Water Absorption, Low Temp Flex, Cyclic Elongation, Puncture, Crack Cycling, Peel Adhesion, WVT, Tile Slippage	TAS 103	1995
TAS 110	Accelerated Weathering	TAS 110	2000

**3. REFERENCES:**

<u>Entity</u>	<u>Examination</u>	<u>Reference</u>	<u>Date</u>
ERD (TST6049)	Physical Properties	I15010.04.09	04/29/2009
ERD (TST6049)	Physical Properties	I15010.05.10	05/14/2010
ERD (TST6049)	Physical Properties	I35520.06.11	06/15/2011
ERD (TST6049)	Wind Uplift	I35520.08.11-1	08/12/2011
ITS (TST1509)	Physical Properties	3146738COQ-003A	03/28/2008
ITS (TST1509)	Physical Properties	3146738COQ-003B	03/28/2008
ITS (TST1509)	Physical Properties	3126617COQ-005	10/31/2007
ITS (QUA1673)	Quality Control	ITS Listings	Current
ITS (QUA1673)	Quality Control	Inspection Report	12/13/2011

**4. PRODUCT DESCRIPTION:**
**4.1 Self-Adhering Underlayments:**

**4.1.1 Titanium™ PSU-30** is an unreinforced polymer modified bitumen material adhered to the underside of a polymer-coated, synthetic woven sheet. The underside is backed with a release film. Unit weight 24 lbs/square.

**4.2 Mechanically Fastened Underlayments:**

**4.2.1 Titanium™ UDL-25 PLUS** is a synthetic sheet-type underlayment comprised of a woven core coated on one side with a polymer coating. Unit weight 2.9 lbs/square.

**4.2.2 Titanium™ UDL-30** is a synthetic sheet-type underlayment comprised of a woven core coated on both sides with a polymer coating. Unit weight 4.0 lbs/square.

**4.2.3 Titanium™ UDL-50** is a synthetic sheet-type underlayment comprised of a woven core coated on both sides with a polymer coating. Unit weight 4.7 lbs/square.

- 4.2.4 **Titanium™ UDL-TT** is a synthetic sheet-type underlayment comprised of a woven core coated on one side with a polymer coating. Unit weight 2.9 lbs/square
- 4.2.5 **Titanium™ UDL-TF** is a synthetic sheet-type underlayment comprised of a woven core coated on both sides with a polymer coating. Unit weight 2.9 lbs/square.
- 4.2.6 **UDL-TTMC300** is a synthetic sheet-type underlayment comprised of a woven core coated on both sides with a polymer coating. Unit weight 3.2 lbs/square.

**5. LIMITATIONS:**

- 5.1 This Evaluation Report is not for use in the HVHZ.
- 5.2 Fire Classification is not part of this report; refer to current Approved Roofing Materials Directory for fire ratings of this product.
- 5.3 Titanium™ Roof Underlayments may be used with any prepared roof cover where the product is specifically referenced within FBC approval documents. If not listed, a request may be made to the AHJ for approval based on this evaluation combined with supporting data for the prepared roof covering.
- 5.4 Allowable roof covers applied atop Titanium™ Roof Underlayments are follows:

Underlayment	Asphalt Shingles	Nail-On Tile	Foam-On Tile	Metal	Wood Shakes & Shingles	Slate
PSU-30	Yes	Yes	Yes (See 5.4.1)	Yes	Yes	Yes
UDL-25 PLUS	Yes	Yes	No	Yes	Yes	Yes
UDL-30	Yes	Yes	No	Yes	Yes	Yes
UDL-50	Yes	Yes	No	Yes	Yes	Yes
UDL-TT	Yes	Yes	No	Yes	Yes	Yes
UDL-TF	Yes	Yes	No	Yes	Yes	Yes
UDL-TTMC300	Yes	Yes	No	Yes	Yes	Yes

<sup>1</sup>Private Labeled

- 5.4.1 "Foam-On Tile" is limited to use of Polyfoam PolyPro AH160 or Dow Tile Bond applications unless tensile adhesion / long term aging data from an accredited testing laboratory is provided.
- 5.5 Allowable substrates for PSU-30 are noted below:
  - 5.5.1 Direct-Bond to Deck:
    - New untreated plywood;
    - Existing untreated plywood, primed as needed with D41 primer to achieve bond.
  - 5.5.2 Bond to Mechanically Attached Base Underlayment:
    - ASTM D226, Type I or II felt.
    - Titanium UDL-25 PLUS, UDL-30 (primed with D41 primer) or UDL-30 (Inverted).
  - 5.5.3 Wind Resistance for Underlayment Systems in Foam-On Tile Applications: FRSA/TRI 07320 does not address wind uplift resistance of all underlayment systems beneath foam-on tile systems, where the underlayment forms part of the load-path. The following wind uplift limitations apply to underlayment systems that are not addressed in FRSA/TRI 07320 and are used in foam-on tile applications. Maximum Design Pressure is the result of testing for wind load resistance based on allowable wind loads. Refer to FBC 1609.1.5 for determination of design wind pressures.



- 5.5.3.1 Maximum Design Pressure = -45 psf.  
 Deck: Min. 15/32-inch plywood to meet project requirements to satisfaction of AHJ.  
 Primer: (Optional) ASTM D41  
 Underlayment: Titanium PSU-30, self-adhered
- 5.5.3.2 Maximum Design Pressure = -45 psf.  
 Deck: Min. 15/32-inch plywood to meet project requirements to satisfaction of AHJ.  
 Base Layer: Titanium UDL-25 PLUS or UDL-30 (Inverted), mechanically attached with FBC HVHZ ring shank nails and 1-5/8" diameter tin caps spaced 6-inch o.c. at 4-inch wide side laps and 8-inch o.c. at three (3), equally spaced center rows.  
 Primer: ASTM D41 primer required at all tin-caps.  
 Underlayment: Titanium PSU 30, self-adhered
- 5.5.3.3 Maximum Design Pressure = -45 psf.  
 Deck: Min. 15/32-inch plywood to meet project requirements to satisfaction of AHJ.  
 Base Layer: Titanium UDL-30 (printed side up), mechanically attached with FBC HVHZ ring shank nails and 1-5/8" diameter tin caps spaced 6-inch o.c. at 4-inch wide side laps and 8-inch o.c. at three (3), equally spaced center rows.  
 Primer: ASTM D41 primer required over printed side of UDL-30.  
 Underlayment: Titanium PSU 30, self-adhered
- 5.6 Exposure Limitations:
- 5.6.1 UDL-25 PLUS, UDL-30, UDL-50, UDL-TT or UDL-TF shall not be left exposed for longer than 30-days.
- 5.6.2 PSU-30 shall not be left exposed for longer than 90-days.
- 5.6.3 UDL-TTMC300 not be left exposed for longer than 180-days.
- 5.7 For tile roof installations governed by the FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, use is limited to the following.

Table 2: Tile System Options per FRSA/TRI 07320/8-05				
System	Underlay Option	Section	Reference	Roof Underlayment(s)
System One: Mechanically Fastened Tile, Unsealed or Sealed Underlayment System	4	3.02D	Two Ply No. 30	Double-layer, UDL 25, UDL 30, UDL 50, UDL TT, UDL TF or UDL-TTMC300
	5	3.02E	Self-Adhered Underlayment	PSU 30
	6	3.02F	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM 226, Type II felt, UDL 25 PLUS, UDL 30 (primed with D41 primer) or UDL 30 (Inverted) Top Layer: PSU 30
System Two: Mechanically Fastened Tile, Sealed Underlayment System	4	3.02D	Self-Adhered Underlayment	PSU 30
	5	3.02E	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM 226, Type II felt, UDL 25 PLUS, UDL 30 (primed with D41 primer) or UDL 30 (Inverted) Top Layer: PSU 30
System Four "A": Adhesive-Set Tile, Unsealed or Sealed Underlayment System	4	3.02D	Self-Adhered Underlayment	PSU 30
	5	3.02E	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM 226, Type II felt, UDL 25 PLUS, UDL 30 (primed with D41 primer) or UDL 30 (Inverted) Top Layer: PSU 30
System Four "B": Adhesive-Set Tile, Sealed Underlayment System	3	3.02C	Self-Adhered Underlayment	PSU 30
	4	3.02D	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM 226, Type II felt, UDL 25 PLUS, UDL 30 (primed with D41 primer) or UDL 30 (Inverted) Top Layer: PSU 30

## 6. INSTALLATION:

- 6.1 Titanium Roof Underlayments shall be installed in accordance with Interwrap published installation requirements subject to the limitations set forth in Section 5 herein and the specifics noted below.
- 6.2 Re-fasten any loose decking panels, and check for protruding nail heads. Sweep the substrate thoroughly to remove any dust and debris prior to application, and prime the substrate (if applicable).
- 6.3 Titanium™ PSU-30:**
- 6.3.1 PSU-30 shall be installed in compliance with the requirements for ASTM D1970 underlayment in FBC Sections 1507 for the type of prepared roof covering to be installed.
- 6.3.2 Cut to 10- to 15-foot manageable sections and re-roll with the release film side out.
- 6.3.3 **Membrane Application:**
- Peel back release film approximately 1 to 2 feet and align with the lower edge of the roof and set in place, printed side up.
  - Apply the balance of the membrane to the substrate by removing the film and firmly pressing the membrane into place.
  - Apply subsequent courses parallel to the eave in a shingle-type, water-shedding manner.
  - End (vertical) laps shall be minimum 12-inches and side (horizontal) laps shall be minimum 3-inches.
  - If the membrane becomes misaligned, cut the roll and re-start.
  - Upon completion, inspect the membrane and repair any defects or fish-mouths.
- 6.3.4 For use in tile applications:
- 6.3.4.1 Reference is made to FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Section 5.7 herein, using the instructions noted above as a guideline.
- 6.3.4.2 Wait a minimum of 24 hours prior to loading roof tiles.
- 6.3.4.3 Tiles shall be staged so as to avoid slippage and/or damage to the roof underlayment.
- 6.4 Titanium™ UDL-25 PLUS, UDL-30, UDL-50, UDL-TT, UDL-TF and (Private Labeled) UDL-TTMC300:**
- 6.4.1 Install in compliance with manufacturer's published installation instructions and the requirements for ASTM D225, Type I and II underlayments in FBC Sections 1507 for the type of prepared roof covering to be installed.
- 6.4.2 Fasteners:
- 6.4.2.1 Mechanical attachment of UDL-25 PLUS and UDL-30 is limited to ring shank roofing nails with minimum 1-inch diameter plastic caps.
- 6.4.2.2 Mechanical attachment of UDL-50, UDL-TT, UDL-TF and (Private Labeled) UDL-TTMC300 is limited to ring shank roofing nails with minimum 3/8-inch diameter heads; ring shank roofing nails with minimum 1-inch diameter plastic caps; screws and plates; or plastic cap staples.
- 6.4.3 Slopes of 4:12 or greater:
- 6.4.3.1 End (vertical) laps shall be minimum 6-inches and side (horizontal) laps shall be minimum 4-inches.



6.4.3.2 Minimum attachment shall be 12-inches o.c. vertically and 24-inches o.c. horizontally in accordance with the surface markings on the exposed face of the underlayment. When batten systems are to be installed atop the underlayment, the underlayment need only be preliminarily attached pending attachment of the battens.

6.4.4 Slopes of 2:12 to less than 4:12:

6.4.4.1 Double layer application; begin by fastening a 25-inch wide strip along the eaves. Place a full-width sheet over the starter, completely overlapping the starter course. Continue as noted in 6.4.3, but maintaining minimum 25-inch side (horizontal) laps, resulting in a double-layer application.

6.4.5 For use in tile applications:

6.4.5.1 Reference is made to FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Section 5.7 herein.

6.4.5.2 Titanium™ UDL underlayments are 48-inches wide; wider than the typical, codified 36-inch wide ASTM D226, Type I and II underlayment. The placement and attachment requirements set forth in Sections 6.4.3 (single layer with PSU-30 overtop) and 6.4.4 (double-layer) are suitable to maintain the intent of FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, Systems 1 and 2.

6.4.5.3 Tiles shall be staged so as to avoid slippage and/or damage to the roof underlayment.

**7. LABELING:**

Each unit shall bear a permanent label with the manufacturer's name, logo, city, state and logo of the Accredited Quality Assurance Agency noted herein.

**8. BUILDING PERMIT REQUIREMENTS:**

As required by the Building Official or Authority Having Jurisdiction in order to properly evaluate the installation of this product.

**9. MANUFACTURING PLANTS:**

Contact the named QA agency for information on production locations covered by F.A.C. Rule 9N-3 QA requirements.

**10. QUALITY ASSURANCE ENTITY:**

Intertek Testing Services NA Inc. - ETL/Warnock Hersey - QUA1673; (604) 520-3321

**- END OF EVALUATION REPORT -**



Florida Department of  
Business & Professional  
Regulation

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FL #	FL11651-R1														
Application Type	Revision														
Code Version	2010														
Application Status	Approved														
Comments															
Archived	<input type="checkbox"/>														
Product Manufacturer Address/Phone/Email	Gulf Coast Supply & Manufacturing, LLC. 4020 S. W. 449th Street Horseshoe Beach, FL 32648 (352) 498-7852 ray@gulfcoastsupply.com														
Authorized Signature	Ray Bowen ray@gulfcoastsupply.com														
Technical Representative Address/Phone/Email															
Quality Assurance Representative Address/Phone/Email															
Category	Roofing														
Subcategory	Metal Roofing														
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input type="checkbox"/> Evaluation Report - Hardcopy Received														
Florida Engineer or Architect Name who developed the Evaluation Report	Terrence E. Wolfe														
Florida License	PE-44923														
Quality Assurance Entity	Keystone Certifications, Inc.														
Quality Assurance Contract Expiration Date	04/12/2014														
Validated By	Locke Bowden <input type="checkbox"/> Validation Checklist - Hardcopy Received														
Certificate of Independence	<a href="#">FL11651_R1_COI_Letter of Certif.pdf</a> <a href="#">FL11651_R1_COI_Letter of Name change.pdf</a>														
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th><u>Standard</u></th> <th><u>Year</u></th> </tr> </thead> <tbody> <tr> <td>FM 4471</td> <td>1995</td> </tr> <tr> <td>FM 4471</td> <td>2010</td> </tr> <tr> <td>TAS 100</td> <td>1995</td> </tr> <tr> <td>TAS 125</td> <td>2003</td> </tr> <tr> <td>UL 1897</td> <td>2004</td> </tr> <tr> <td>UL 580</td> <td>2006</td> </tr> </tbody> </table>	<u>Standard</u>	<u>Year</u>	FM 4471	1995	FM 4471	2010	TAS 100	1995	TAS 125	2003	UL 1897	2004	UL 580	2006
<u>Standard</u>	<u>Year</u>														
FM 4471	1995														
FM 4471	2010														
TAS 100	1995														
TAS 125	2003														
UL 1897	2004														
UL 580	2006														
Equivalence of Product Standards															

2699  
S-V Crimp

Certified By

Sections from the Code

Product Approval Method

Method 1 Option D

Date Submitted

02/15/2012

Date Validated

02/23/2012

Date Pending FBC Approval

02/29/2012

Date Approved

04/03/2012

Summary of Products		
Go to Page		Page 1 / 2
FL #	Model, Number or Name	Description
11651.1	0.032" Aluminum 5V Crimp	0.032" 5 V Crimp Aluminum Roof Panel over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-108.5PSF Other: -108.5 psf @ 12" o.c. Install per manufacturers details. Not for use in HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651_R1_II_Alum_5_V_Crimp_Details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651_R1_AE_Alum_5V_Crimp_Panel_over_.5_Plywood_NONHVHZ_Roof_2010_Format.pdf</a> Created by Independent Third Party: Yes
11651.2	0.032" Aluminum Gulf Lok	0.032" Aluminum Gulf Lok 16" Wide Roof Panel over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-116.0PSF Other: -52.5 psf @ 5 3/16" o.c. fastener spacing. -116.0 psf @ 5 3/16" o.c. fastener spacing. Install per manufacturers details. Not for use in HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651_R1_II_Alum_Gulf_Lok_over_.5_plywood_NonHVHZ_detail.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651_R1_AE_Alum_Gulf_lock_over_15-32_Plywood_Roof_2010_format.pdf</a> Created by Independent Third Party: Yes
11651.3	1" Mechanical Lock	1" Mechanical Lock 24 Ga. 16 1/2" Wide Roof over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-138.5PSF Other: -71.0 psf @ 24" o.c. clip spacing. -138.5 psf @ 6" o.c. clip spacing. Install per manufacturers details. For use in HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651_R1_II_1_Mech_Lock_24_gal_over_.5_ply_HVHZ_detail.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651_R1_AE_1_Mech_Lock_24_ga._over_.5_Plywood_HVHZ_Roof_2010_format.pdf</a> Created by Independent Third Party: Yes
11651.4	1" Mechanical Lock	1" Mechanical Lock 0.032" Aluminum 16" Wide Roof Panel over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-101.0PSF Other: -63.5 psf @ 24" o.c. clip spacing. -101.0 psf @ 6" o.c. clip spacing. Install per manufacturers details. For use in HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651_R1_II_1_In_Mech_Lock_Alum_details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651_R1_AE_1_Mech_Lock_Alum_over_.5_Plywood_HVHZ_Roof_2010_format.pdf</a> Created by Independent Third Party: Yes
11651.5	1" Snap Lock	1" Snap Lock 24 Ga. Roof over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-131.0PSF Other: -67.3 psf @ 24" o.c. clip spacing. -131.0 psf @ 6" o.c. clip spacing. Install per manufacturers details. For use in HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651_R1_II_24_ga_1_in_Snap_lock_over_.5_plywood_HVHZ_details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651_R1_AE_1.0_Snap_Lock_24_ga._over_.5_Plywood_HVHZ_Roof_2010_format.pdf</a>

		Created by Independent Thrd Party: Yes
11651.6	1.5" Mechanical Lock	1.5" Mechanical Lock 24 Ga. 16" Wide Roof Panel over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-123.5PSF Other: -59.75 psf @ 24" o.c. clip spacing. -123.5 psf @ 6" o.c. clip spacing. Install per manufacturers details. For use in HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651_R1_II_1.5 In Mech Lock over .5 plywood HVHZ details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651_R1_AE_1.5 Mech Lock 24 ga. over .5 Plywood HVHZ Roof 2010 format.pdf</a> Created by Independent Thrd Party: Yes
11651.7	1.5" Snap Lock	1.5" Snap Lock 24 Ga. Roof Panel over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-116.0PSF Other: -86.0 psf @ 24" o.c. clip spacing. -108.5 psf @ 12" o.c. clips spacing. -116.0 psf @ 6" o.c. clips spacing. Install per manufacturers details. For use in HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651_R1_II_1.5 In Snap Lock 24 Ga. details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651_R1_AE_1.5 Snap Lock 24 ga. over .5 Plywood HVHZ Roof 2010 Format.pdf</a> Created by Independent Thrd Party: Yes
11651.8	24 Ga. Gulf Coast Mechanical Seam	24 Ga. Gulf Coast Mechanical Seam 18" Wide over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-108.5PSF Other: -71.0 psf @ 24" o.c. clip spacing. -108.5 psf @ 12" o.c. clip spacing. Install per manufacturers details. Not for use in HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651_R1_II_24 Ga. Gulf Coast Mech Seam over .5 ply NONHVHZ details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651_R1_AE_2 Mech Lock 24 ga. over .5 Plywood Roof 2010 Format.pdf</a> Created by Independent Thrd Party: Yes
11651.9	24 Ga. Gulf Lok	24 Ga. Gulf Lok 16" Wide over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-96.7PSF Other: -81.75 psf @ 10-1/4" o.c. fastener spacing. -96.76 psf @ 5-1/8" o.c. fastener spacing. Install per manufacturers details. Not for use in HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651_R1_II_24 Ga. Gulf Lock over .5 Plywood NonHVHZ Details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651_R1_AE_24 ga. Gulf lock over 15-32 Plywood Roof 2010.pdf</a> Created by Independent Thrd Party: Yes
11651.10	24 Ga. Gulf Seam	24 Ga. Gulf Seam 16" Wide Roof Panel over 1x4 Wood Purlins over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-93.5PSF Other: -93.5 psf @ 18" o.c. Install per manufacturers details. Not for use in HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651_R1_II_24 Ga. 1.75 Gulf Seam over 1x4 details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651_R1_AE Gulf Seam 24 ga. over 1x4 purlins Roof 2010 format.pdf</a> Created by Independent Thrd Party: Yes
11651.11	24 Ga. Gulf Seam	24 Ga. Gulf Seam, 1 3/4" Snap Lock, 18" Wide Roof Panel over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-108.5PSF Other: -69.25 psf @ 24" o.c. clip spacing. -108.5 psf @ 12" o.c. clip spacing. Install per manufacturers details. Not for use in HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651_R1_II_24 Ga. Gulf Seam over .5 Non HVHZ Details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651_R1_AE_1.75 Snap Lock 24 ga. over .5 Plywood Roof 2010 format.pdf</a> Created by Independent Thrd Party: Yes
11651.12	26 Ga. 5V Crimp	26 Ga. 5V Crimp Roof Panel over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-156.5PSF Other: -108.5 psf @ 12" o.c. fastener spacing. -156.5 psf @ 6" o.c. fastener spacing. Install per manufacturers		<b>Installation Instructions</b> <a href="#">FL11651_R1_II_26 Ga. 5V Crimp over .5 plywood HVHZ details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651_R1_AE_26 Ga. 5V Panel over .5 Plywood HVHZ</a>





details. For use In HVHZ Zones.		<a href="#">Roof 2010Format.pdf</a> Created by Independent Thrd Party: Yes
11651.13	26 Ga. 5V Crimp	26 Ga. 5V Crimp over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-131.PSF Other: -94.25 psf @ 16" o.c. fastener pattern. -131.0 psf @ 16" o.c. fastener pattern. Install per manufacturers details. Not for use in HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651 R1 II 26 Ga. 5V Crimp over plywood detailsNON HVHZ.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651 R1 AE 5V Crimp Panel over .5 Plywood NON HVHZ Roof 2010 format.pdf</a> Created by Independent Thrd Party: Yes
11651.14	26 Ga. 5V Crimp	26 Ga. 5V Crimp Roof Panel over 1x4 Wood Purlins over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-149.2PSF Other: -149.25 psf @ 16" o.c. fastener pattern. Install per manufacturers details. Not for use In HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651 R1 II 26 Ga. 5V Crimp over 1x4 purlins NHVHZ details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651 R1 AE 5V Crimp Panel over 1x4 wood purlins NON HVHZ Roof 2010 Format.pdf</a> Created by Independent Thrd Party: Yes
11651.15	26 Ga. Gulf Lok	26 Ga. Gulf Lok 16" Wide Roof Panel over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-161.0PSF Other: -63.5 psf @ 5 3/16" o.c. fastener spacing. -161.0 psf @ 5 3/16" o.c. fastener spacing. Install per manufacturers details. For use In HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651 R1 II 26 Ga. Gulf Lock over .5 plywood details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651 R1 AE 26 ga. Gulf lock over 15-32 Plywood Roof format.pdf</a> Created by Independent Thrd Party: Yes
11651.16	26 Ga. Gulf Lok	26 Ga. Gulf Lok 16" Wide Roof Panel over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-63.5PSF Other: -63.5 psf @ 5 3/16" o.c. fastener spacing. Install per manufacturers details. Not for use In HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651 R1 II 26 Ga. Gulf Lock 16 in over .5 plywood NHVHZ details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651 R1 AE 26 ga. Gulf lock over 15-32 Plywood Roof.pdf</a> Created by Independent Thrd Party: Yes
11651.17	26 Ga. PBR	26 Ga. PBR 36" Wide over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-154.7PSF Other: -59.25 psf @ 24" o.c. fastener spacing. -154.75 psf @ 12" o.c. fastener spacing. Install per manufacturers details. Not for use In HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651 R1 II 26 Ga. PBR over .5 plywood NonHVHZ detail.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651 R1 AE 26 Ga. PBR Panel over .5 plywood NONHVHZ Roof 2010 format.pdf</a> Created by Independent Thrd Party: Yes
11651.18	26 Ga. PBR	26 Ga. PBR Roof Panel over 1 x 4 Wood Purlins over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-151.7PSF Other: -100.5 psf @ 24" o.c. fastener spacing. -151.75 psf @ 12" o.c. fastener spacing. Install per manufacturers details. For use In HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651 R1 II 26 Ga. PBR over 1x4 purlins HVHZ details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651 R1 AE 26 Ga. PBR Panel over 1x4 HVHZ Roof 2010 format.pdf</a> Created by Independent Thrd Party: Yes
11651.19	26 Ga. PBR	26 Ga. PBR Roof Panel over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-154.7PSF		<b>Installation Instructions</b> <a href="#">FL11651 R1 II 26 ga. PBR over .5 plywood HVHZ detail.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Thrd Party: Yes

<b>Other:</b> -60.5 psf @ 24" o.c. fastener spacing. -154.75 psf @ 12" o.c. fastener spacing. Install per manufacturers details. For use in HVHZ Zones.		<b>Evaluation Reports</b> <a href="#">FL11651 R1 AE 26 Ga. PBR Panel over .5 Plywood HVHZ Roof 2010 format.pdf</a> Created by Independent Third Party: Yes
11651.20	26 Ga. PBR	26 Ga. PBR Roof Panel 36" Wide over 1 x 4 Wood Purlins over 15/32" Plywood
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-151.7PSF <b>Other:</b> -94.25 psf @ 24" o.c. -151.75 psf @ 12" o.c. Install per manufacturers details. Not for use in HVHZ Zones.		<b>Installation Instructions</b> <a href="#">FL11651 R1 II 26 Ga PBR over 1x4 purlins NONHVHZ Details.pdf</a> Verified By: Terrence E. Wolfe, P.E. 44923 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL11651 R1 AE 26 Ga. PBR Panel over 1x4 NONHVHZ Roof 2010 format.pdf</a> Created by Independent Third Party: Yes
Go to Page		Page 1 / 2

**Contact Us :: 1940 North Monroe Street, Tallahassee FL 32399 Phone: 850-487-1824**

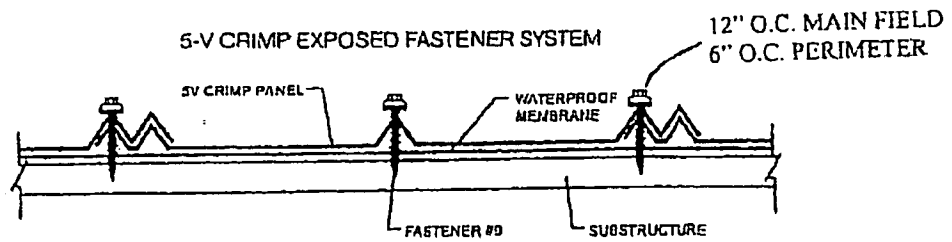
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 \*Pursuant to Section 455.275(1), Florida Statutes, effective October 1, 2012, licensees licensed under Chapter 455, F.S. must provide the Department with an email address if they have one. The emails provided may be used for official communication with the licensee. However email addresses are public record. If you do not wish to supply a personal address, please provide the Department with an email address which can be made available to the public. To determine if you are a licensee under Chapter 455, F.S., please click [here](#).

**Product Approval Accepts:**



26 Ga. SV Crimp Roof Panel over 1/2" Plywood



MATERIAL OPTIONS	FINISH OPTIONS
ASTM A 653 G-95 ASTM A 792	<p>CUSTOM COLORS WE CAN PROVIDE FULL CUSTOM COLOR SERVICES TO MATCH PRACTICALLY ANY MATERIAL, SURFACE OR THAT YOU REQUEST.</p>
FABRICATION OPTIONS	
STEEL 26	
TECHNICAL DATA	

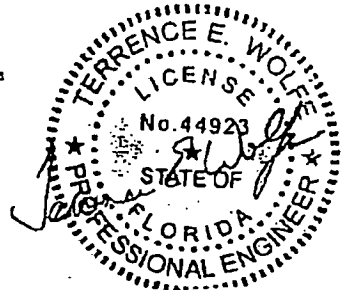
5-V CRIMP FASTENERS

NUMBER & LENGTH	HEAD TYPE	DRILL TYPE	NEEDS FLAT HEAD
←	#8-15 x 1-1/2" WOODZAC		w/246 HE40

State of Florida  
 P.E.A.  
 #28778  
 FEB 09 2012  
 PROFESSIONAL ENGINEER  
 TERRENCE E. WOLFE  
 LICENSE NO. 44823  
 STATE OF FLORIDA

26 Ga. 5V Crimp Roof Panel over 1/2" Plywood

State of Florida  
C.O.A.  
# 25778



ROLL FORMER CORP.  
140 INDEPENDENCE LANE  
CHALFONT, PA 18914

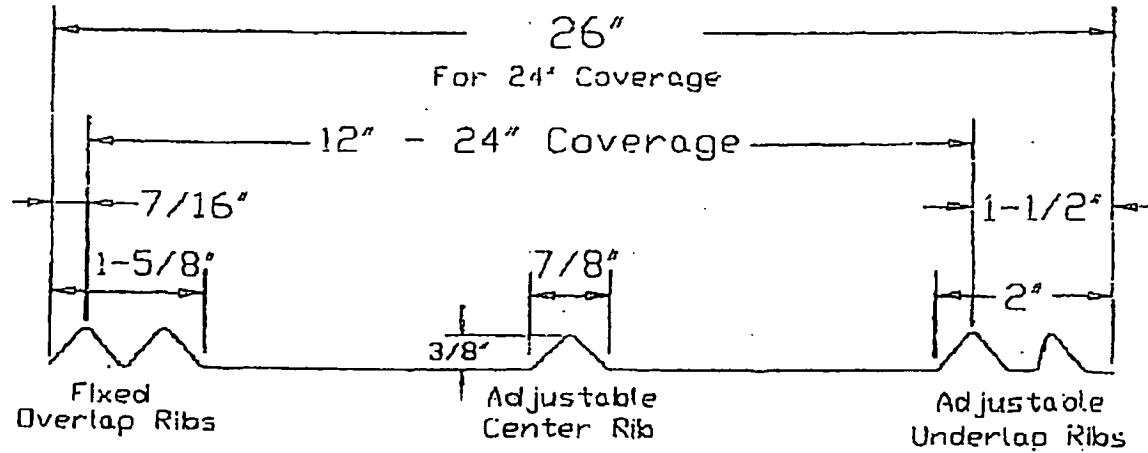
5V

FEB 09 2012

27-1/2" Flat Stock Material For 24" Coverage

Note : All Radii 0.05

12NOV99





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

**RESIDENTIAL REROOF WINDSTORM LOSS  
MITIGATION CERTIFICATION (FLORIDA STATUTE 553.844)**

**ALL RE-ROOFS REGARDLESS OF VALUE SHALL COMPLY WITH THE FOLLOWING:**

**Re-nailing:** All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

\_\_\_\_\_ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

X \_\_\_\_\_ Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

\_\_\_\_\_ Outside of the HVHZ, an underlayment complying with section 1507.2.3 of the Florida Building Code, Building fastened as described below or a layer of asphalt impregnated approved #30 felt shall be installed. The felt is to be fastened with 1" round plastic cap or metal cap nails, attached to a nailable deck in a grid pattern of 12 inches (305 mm) staggered between the overlaps, with 6-inch (152 mm) spacing at the overlaps. For slopes of 2:12 to 4:12 an additional layer of felt shall be installed in a single-fashion and lapped 19" and fastened as described above. (No additional underlayment shall be required over the top of this sheet.)

\_\_\_\_\_ Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-moped shall be deemed to meet the requirements for secondary water barrier.

**Residential Structures valued at \$300,000 or more shall comply with the following:**

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

N/A

**LICENSED GENERAL, BUILDING OR RESIDENTIAL CONTRACTORS'  
 REROOF WINDSTORM LOSS MITIGATION COMPLIANCE AFFIDAVIT**

**A RESIDENTIAL STRUCTURE VALUED AT \$300,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:**

- Roof to wall connections must be enhanced up to 15% additional cost of the reroofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

**A RESIDENTIAL STRUCTURE VALUED AT \$750,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:**

When any activity requiring a building permit that is applied for on or after July 1, 2008, and for which the estimated cost is \$50,000 or more for a building that is located in the wind borne debris region as defined in s. 1609.2 of the Florida Building Code, Building: Opening protections as required within the Florida Building Code, Building or Florida Building Code, Residential for new construction shall be provided.

TO BE COMPLETED IF INSURED VALUE OF SINGLE FAMILY IS OVER \$300,000.00 AND WAS PERMITTED PRIOR TO MARCH 1, 2002.

YEAR PERMITTED \_\_\_\_\_ INSURED OR P.A. IMPROVED VALUE \$ \_\_\_\_\_  
 DETAILS OF MITIGATION WORK TO BE PERFORMED (Add additional sheets if necessary):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

JOB SITE ADDRESS: \_\_\_\_\_

QUALIFIER NAME: \_\_\_\_\_ LICENSE NO.: \_\_\_\_\_

COMPANY NAME: \_\_\_\_\_ PHONE NO.: \_\_\_\_\_

X \_\_\_\_\_

Qualifier's Signature

Date: \_\_\_\_\_

Sworn to and subscribed before me

this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_

By \_\_\_\_\_

Notary Public, State of Florida

Personally known to me \_\_\_\_\_

Produced ID \_\_\_\_\_

Type: \_\_\_\_\_

X \_\_\_\_\_

Owner's Signature

Date: \_\_\_\_\_

Sworn to and subscribed before me

this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_

By \_\_\_\_\_

Notary Public, State of Florida

Personally known to me \_\_\_\_\_

Produced ID \_\_\_\_\_

Type: \_\_\_\_\_

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

8-22-13

Page 2 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
930	72 S River Rd Horizon Pools	(wade) 801-8510	OK	INSPECTOR
10331	Stejskal 108 S Sewalls Driftwood	Final Final	Pass	Close INSPECTOR
10564	Caruso 24 S. St Rd Tone Homes by Rick	FINAL 3 RATTEN	Pass	Close INSPECTOR
10503	Mc BRIDE 19 N. Via Lucinda OB	R. PLUMB R. FLEET	Pass	INSPECTOR
10550	SECTOR 5 LANTANA RAC AMERICAN	DRY IN & LEGAL	FAIL	NAILS EXPOSED AT DRIP EDGE INSPECTOR
				INSPECTOR
				INSPECTOR

# 10550



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

RE: Permit # \_\_\_\_\_

Date 8/14/13

**Inspection Affidavit**

I Jesus Vasquez Jr., licensed as a(n) Contractor\* /Engineer/Architect,  
(please print name and circle Lic. Type) FS 468 Building Inspector\*

License #: CCC1329384

On or about August 14, 2013, I did personally inspect the roof  
(Date & time)

deck nailing and/or secondary water barrier work at 5 Lantana Lane,  
(circle one) (Job Site Address)

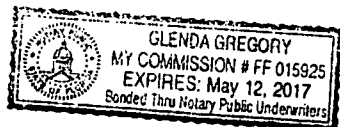
Based upon that examination I have determined the installation was done according to the  
Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

[Signature]  
Signature

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_

Sworn to and subscribed before me this 14 day of August, 2013

By Jesus Vasquez Jr.  
Notary Public, State of Florida



\_\_\_\_\_  
(Print, type or stamp name)

Commission No.: DF

Personally known  or  
Produced Identification   
Type of identification produced. \_\_\_\_\_

\* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection.

FILE





TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 9-4-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10550</del>	<del>Seda</del>	<del>Final</del>		
	5 Lantana Ln All Am Roof & Centers	Roof	OK	INSPECTOR [Signature]
10551	Novins 111 S. Sewalls Raintronics	Final Irrigation	Pass	CLOSE INSPECTOR [Signature]
10516	Aune 6 Michael Rd Gulfstream	Final Shutter	Pass	CLOSE INSPECTOR [Signature]
Tree	16 Cranes Nest	Tree	OK	INSPECTOR
Tree	HOA Plantation	Trees	OK	INSPECTOR
	35 Ridgview 23 N Ridgview	Tree Tree	OK OK	INSPECTOR
	Indialucie	Investigate	nest + grass Picture	INSPECTOR

# CORRESPONDENCE

---

THOMAS BAUSCH  
Mayor

PAMELA BUSHA  
Vice Mayor

JACQUI THURLOW-  
LIPPISCH  
Commissioner

PAUL LUGER  
Commissioner

VINCENT BARILE  
Commissioner

# TOWN OF SEWALL'S POINT



ROBERT KELLOGG  
Town Manager

JOHN R. ADAMS  
Building Official

JOHN DONADIO  
Chief of Police

ANN-MARIE  
SULLIVAN BASLER  
Town Clerk

JOSE TORRES, JR.  
Maintenance

June 26, 2013

STEPHEN M SEDOR  
PO BOX 1727  
JENSEN BEACH, FL 34958-1727

RE: FEMA FLOOD INSURANCE RATE MAP DETERMINATION FOR **6 LANTANA LANE**, SEWALL'S POINT,  
FLORIDA 34996

To whom it may concern,

According to our records, the subject property was constructed in 1977. The Town of Sewall's Point began participation in the National Flood Insurance Program in 1974. The first Flood Insurance Rate Map (FIRM) was issued to the town on March 15, 1974. The 1974 FIRM only showed the corporate limits of the town and contained no flood zone delineation or Base Flood Elevations (BFE).

A second map was issued to the town with flood zone delineations and BFE data on August 15, 1978, after the subject property was constructed. This would mean the 1974 FIRM was the map in force at the time of construction, and not regulated by any known required flood zone or elevation data.

It is my opinion the subject property was constructed in compliance with the FIRM that was in effect at the time it was built, and should qualify for grandfathering under FEMA Grandfather Rule.

With best regards,

John R. Adams, CBO  
BUILDING OFFICIAL  
FLOOD PLAIN ADMINISTRATOR



One S. Sewall's Point Road, Sewall's Point, Florida 34996

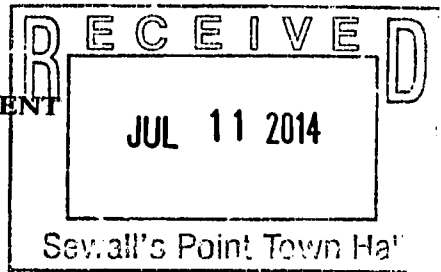
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: [clerk@sewallspoint.martin.fl.us](mailto:clerk@sewallspoint.martin.fl.us)

Building Department (772) 287-2455 • Fax (772) 220-4765 • E-Mail: [jadams@sewallspoint.martin.fl.us](mailto:jadams@sewallspoint.martin.fl.us)

# TREE PERMITS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner STEPHEN M. SEDOR JR Address 5 LANTANA LANE Phone 772-781-6082

Contractor ISMAEL RODRIGUEZ Address PO BOX 1261 SALEM FL Phone 772-530-2289

No. of Trees: REMOVE (1) Species: FLOWERING YELLOW "SCRAMBLED EGG" TREE

No. of Trees: RELOCATE N/A Species: N/A

No. of Trees: REPLACE N/A Species: N/A

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

**ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY**

Reason for tree removal ~~relocation~~ (See notice above) DEAD

Signature of Property Owner [Signature]

Date 07-10-2014

Approved by Building Inspector: [Signature]

Date 7-11-14 Fee: N/C

NOTES:

SKETCH:

