

23 Lantana Lane

1124

SFR

TOWN OF SEWALL'S POINT FLORIDA

Permit No. 1124 Date _____

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner PATRICK M SCHUERMAN Present address 1600 DIXIE HIGHWAY PLO

Phone 334-9489

General contractor SAME Address SAME

Phone 334-9489-286-1185

Where licensed _____ License No. _____

Plumbing contractor HOWARD BROS License No. M-57

Electrical contractor KRAUSS & CO-INC License No. CG 187

Air-conditioning contractor PERSONALIZED AIR COND OF STUNET License No. RA 0018072

Describe the building, or alteration to existing building residence

Name the street on which the building, its front building line and its front yard will face LANTANA LANE address 23 Lantana Lane

Subdivision PIC VISTA Lot No. 38 Area _____

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 23 LANTANA LANE 1947

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 68,145

Cost of permit \$ 371 Plans approved as submitted _____ or, as marked NOTATION ON SHEET 6

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor Patrick Schurman

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner Patrick M Schurman

Relation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted _____

Building Inspector (date) 3/28/80

Inspector's initials JAM

Town Commissioner (date) 3/28/80

Commissioner's initials ACB

Of Occupancy issued (date) _____

1124

Approval of these plans in no way relieves the contractor or builder of his obligations to the Town of Sewall's Point, the South Florida Building Code, and the State of Florida Energy Efficiency Building Code.

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 7/16/80

This is to request that a Certificate of Approval for Occupancy be issued to P. Shuerman
For property built under Permit No. 1124 Dated 3/28/80 when completed in
conformance with the Approved Plans.

Peter M. Shuerman
Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	4/25/80	} <u>JAM</u>
Rough plumbing	4/23/80 & 6/28/80	
Slab	4/25/80	
Perimeter beam	—	
Close-in, roof and rough electric	6/28/80	
Final Plumbing	7/15/80	
Final Electric	7/15/80	
Insulation	6/6/80	
Final Inspection for Issuance of Certificate for Occupancy.		

Approved by Building Inspector J. Amazeuse date 7/15/80
Approved by Building Commissioner J.C. Strubel date 7/16/80

Utilities notified July 15, 1980 date

Original Copy sent to _____

(Keep carbon copy for Town files)

WARRANTY DEED

THIS DEED dated the date set forth hereinbelow between GUSTAV SCHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SCHICKEDANZ, of Toronto, Province of Ontario, Canada, the Grantor, and PATRICK M. SCHUERMAN and PATRICIA SCHUERMAN, his wife, whose mailing address is 2521 S. E. Ocean Blvd., Stuart, Florida 33494, County of Martin, State of Florida, Grantee,

WITNESSETH:

That for the sum of Ten (\$10.00) Dollars and other good and valuable consideration, said Grantor does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the said Grantee all that certain parcel of land situate in Martin County, Florida, described as follows:

Lot 38, RIO VISTA SUBDIVISION, according to the Plat thereof, filed December 11, 1975, in Plat Book 6, Page 95, Martin County, Florida, Public Records.

SUBJECT HOWEVER, to the following:

1. Taxes accruing subsequent to December 31, 1979;
2. Zoning regulations and ordinances of the Town of Sewall's Point, Florida;
3. The provisions and easements set forth on the aforesaid plat of RIO VISTA SUBDIVISION;
4. The provisions of DECLARATION OF PROTECTIVE COVENANTS COVERING ALL OF RIO VISTA SUBDIVISION recorded in Official Records Book 393, Page 1469, Martin County, Florida, Public Records, as amended by the First Amendment to Declaration of Protective Covenants Covering All of Rio Vista Subdivision recorded in Official Records Book 403, Page 549, Martin County, Florida, Public Records;

and the said Grantor does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said Grantor has set forth his Hand and Seal this 9th day of January, 1980.

WITNESSES:

[Signature]

[Signature] (SEAL)
GUSTAV SCHICKEDANZ, Individually
and as Trustee

[Signature]

[Signature] (SEAL)
ANN SCHICKEDANZ

DOMINION OF CANADA
PROVINCE OF ONTARIO
DISTRICT OF YORK

The foregoing instrument was acknowledged before me by GUSTAV SCHICKEDANZ, Individually and as Trustee, joined by his wife, ANN SCHICKEDANZ, on this 9 day of January, 1980.

[Signature]
Notary Public

(Notary Seal)

My Commission Does Not Expire.
It is for Life.

This instrument prepared by:
JOHN FENNIMAN, CHARTERED
501 East Osceola Street
P. O. Box 2473
Stuart, Florida 33494
Phone: (305) 287-4300

BOOK 487 PAGE 1606

30 JAN 17 1980
12:51
LOUISIANA
CLERK
BY [Signature]

STATE OF FLORIDA
DOCUMENTARY STAMP TAX
DEPT. OF REVENUE
JAN 17 1980
\$104.00

MARTIN COUNTY

JOHN FENNIMAN
CHARTERED
ATTORNEY AT LAW
POST OFFICE BOX 2473
STUART, FLORIDA 33494
(305) 287-4300

"U" VALUE CALCULATIONS FOR SUB ASSEMBLIES

M/R: MRS. PAI SCHAFFNER

TYPE ASSEMBLY	W ₁ - C.B.S.		W ₂ - GARAGE		W ₃ -		W ₄ -	
	R VALUE FRAMING	R VALUE CAVITY	R VALUE FRAMING	R VALUE CAVITY	R VALUE FRAMING	R VALUE CAVITY	R VALUE FRAMING	R VALUE CAVITY
FILM EXTERIOR	.17	.17	.68	.68			.61	.61
SURFACE TREATMENT	.78	.78	.45	.45			.45	.45
OUTER SHEATING	—	—	—	—				—
FRAMING	4.35	—	4.35	—			4.35	—
CAVITY: A. INSULATION		11.0	—	11.0				19.0
B. FURRING								
EXTERIOR SURFACE	.45	.45	.45	.45				
AIR FILM INSIDE	.68	.68	.68	.68				
OTHER								
R _v = TOTAL	6.43	13.08	6.61	13.26			5.41	20.0
U ₀ = 1/R TOTAL	.155	.076	.151	.075			.184	.049

U₀ (OVERALL "U" VALUE (ENVELOPE CALCULATIONS))

TYPE OF ASSEMBLY	DESCRIPTION	AREA	GROSS AREA RATIO	"U" VALUE	"U" X RATIO
GROSS WALL		1848.03			
GLASS	WINDOWS / DOORS	175.14	.094	1.10	.104
	REGULAR SHADE	138.30	.074	.65	.048
DOORS	WOOD	86.68	.046	.65	.030
	FUR	116.54	.063	.155	.009
	CAVITY	1048.92	.567	.076	.043
	STUDS	26.24	.014	.151	.002
	CAVITY	236.21	.127	.075	.009
	STUDS				
	CAVITY				
	STUDS				
	CAVITY				

*****-TOTAL WALL "U" VALUE = .245

CEILING GROSS	TRUSS	195.29	.10	.184	.018
	CAVITY	1757.61	.90	.049	.044

****TOTAL CEILING "U" VALUE = .062

3800.93

THIS CODE HOUSE	WALLS	1848.03	.486	.245	.119
	CEILING	1952.90	.513	.062	.031

*TOTAL CODE HOUSE "U" VALUE = .15

THIS HOUSE COMPLETES LESS THAN .17

TERRANCE F. VENNE, F.R.D.A.

STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

Post Office Box 210 Jacksonville, Florida 32201

Application and Permit
of

Individual Sewage Disposal Facilities

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

Application/Permit No. HD 80-198

MARTIN County Health Department

Section I - Instructions:

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of plat of subdivision. If not platted, attach metes and bounds description.
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call 287-2277 and give this office a 24-hour notice when ready for inspection.

THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

Section II - Information:

1. Property Address (Street & House No.)
Lot 38 Block - Subdivision RIO VISTA
Date Platted 1974 Directions to Job NORTH ON AIA TO SEWALL'S POINT - SOUTH ON SEWALLS PT TO RIO VISTA
2. Owner or Builder PAT SCHVERMAN
P.O. Address 2521 S.E. OCEAN BLVD., STUART, FL. 33494
Septic tank system to be installed by:

TEL: 286-1188

Scale 1" = 50'

3 BEDROOMS

(Rear)

3. Specifications:

900 gallon tank with 255 square feet of drainfield with at least 4" inside diameter pipe.

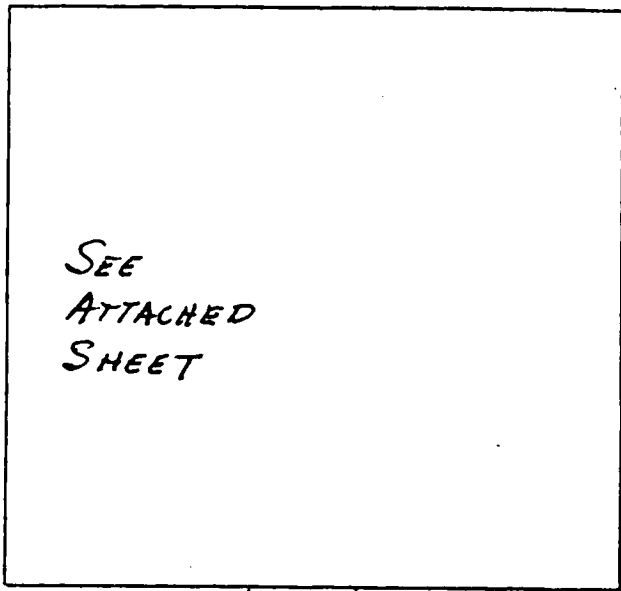
4. House to be constructed:

Check one: FHA
VA Conventional

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: P. SCHVERMAN
Please Print

Signature: P. Schverman / P. E. L... Date: 3-18-80



(Side)
(Name of Street or State Road)

(Side)
(Name of Street or State Road)

(Front)

(Name of Street or State Road)

***** DO NOT WRITE BELOW THIS LINE *****

Section III - Application Approval & Construction Authorization

Installation subject to following special conditions: _____

The above signed application has been found to be in compliance with Chapter 10D-6, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By: Robert Washam County Health Dept. MARTIN Date 3-19-80

Section IV - Final Construction Approval

Construction of installation approved: Yes No

Date: _____ By: _____

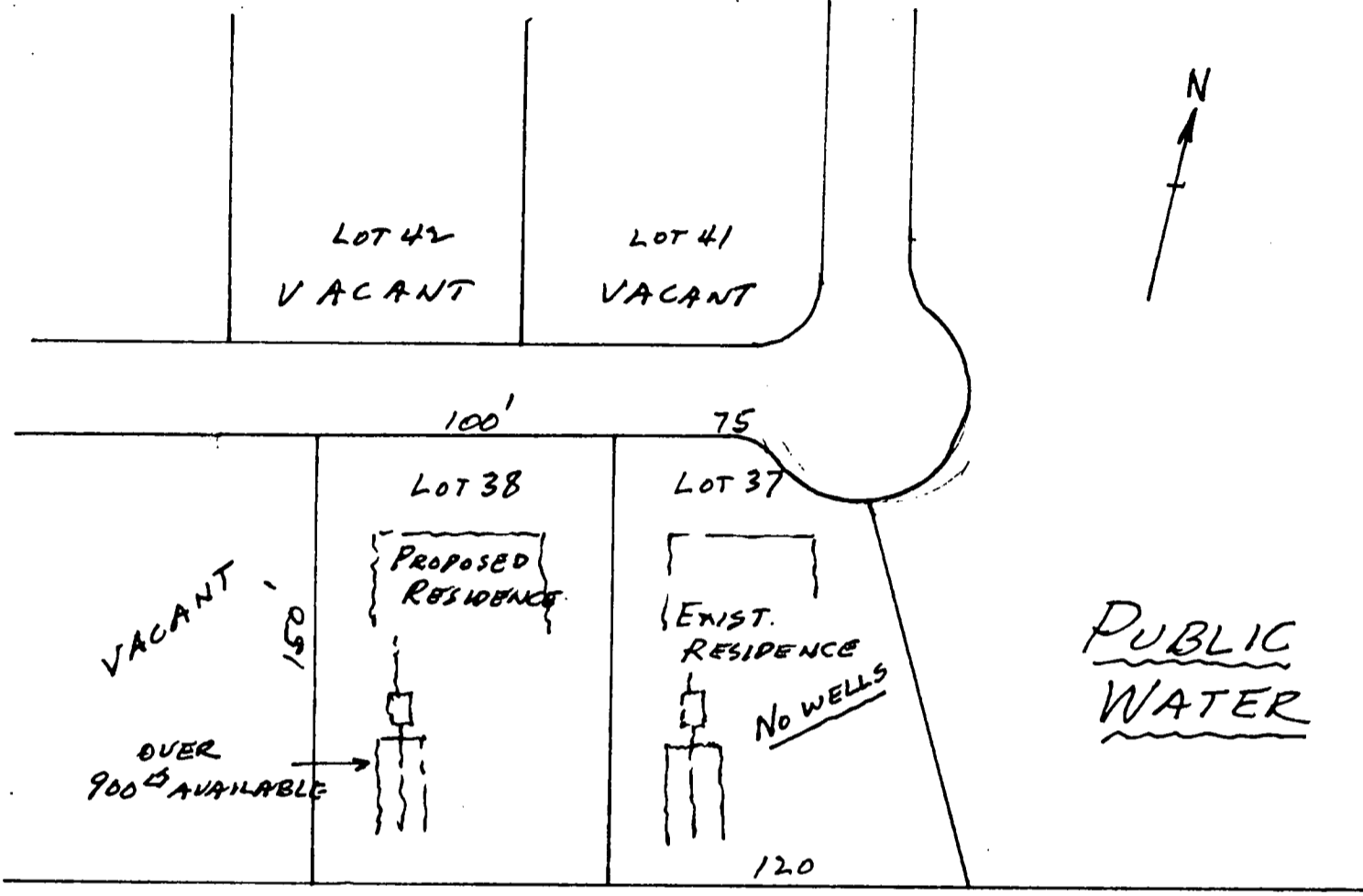
FHA No. _____ VA No. _____

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
DIVISION OF HEALTH

INDIVIDUAL SEWAGE DISPOSAL FACILITIES

Location: LOT 38- RIO VISTA S/D DATA SHEET Applicant: P. SCHVERMAN
SEWALL'S POINT County: MARTIN

NOTE. This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.

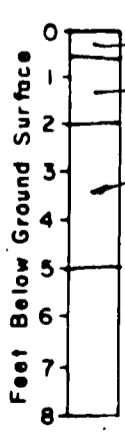


NOTE: SEPTIC SYSTEM TO BE 10' FROM WATER SUPPLY PIPES.

K.S. Larson

PLAN Scale: 1" = 60'

SOIL DATA



LEGEND

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

SOIL BORING LOG

Soil Identification: CLASS I GROUP SW
Soil Characteristics SAND

Percolation Rate 1/4 min/inch
Water Table Depth OVER 5'
Water Table Depth During Wet Season OVER 4'
Compacted Fill Of — Req'd
Compacted Fill Checked By: _____
Date _____

CERTIFIED BY: Kenneth S. Larson P.E.

FLORIDA PROFESSIONAL No. 16552
Date 3.18.80 Job No. 80-14-03

LARSON & O'NEILL, INC.

30 S.E. OCEAN BOULEVARD
STUART, FLORIDA 33494
TEL. (305) 287-3733

TO: Mr. Pat Schuerman
2521 S. E. Ocean Boulevard
Stuart, Florida 33494

DATE: Mar. 19, 1980
PROJECT NO.: 80-14-03
DUE DATE: _____

Percolation test and Septic Tank Permit, Lot 38, Rio Vista	85	00
Health Department Fee	15.	00
Total	100	00

1243

POOL

12413

TOWN OF SEWALL'S POINT FLORIDA

Permit No. _____

Date 11/12/80

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner Mr. ^{Stanley} Ruger Present address 23 Lantana Lane

Phone 225-3372 Stuart, Florida 33494

Contractor Greg Schroeder, Pools by Greg Address 50 NE Dixie Highway

Phone 287-1418 Stuart, Florida

Where licensed Martin County License number 4492-0003418

Electrical contractor D.J. Harman License number 00049

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: construction of swimming pool

State the street address at which the proposed structure will be built:

23 Lantana Lane, Stuart, Florida

Subdivision Rio Vista Lot No. 38

Contract price \$ 8,661.50 Cost of Permit \$ 40.00 ^{Elec. \$10.00} 50.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Greg Schroeder
Greg Schroeder

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Stanley Ruger
Mr. Ruger

TOWN RECORD

Date submitted _____

Approved: J. Mazzucca 11/17/80
Building Inspector Date

Approved: [Signature] _____
Commissioner Date

Final Approval given: _____

Certificate of Occupancy issued _____
Date _____

Steel & Aluminum 11/24/80
Pool Pave 12/8/80

12413

1431

SCREEN ENCLOSURE

RECEIVED NOV 30 1981

TOWN OF SEWALL'S POINT FLORIDA

1431

Permit No. _____

Date 11/29/81

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner Mr. Stanley Rieger Present address 24 Lawtana Rd.

Phone _____

Contractor Pioneer Screen Co. Address 2201 S.E. Indigo St.

Phone 283 9197

Where licensed Martin County, Ft. St. Louis License number ~~2421~~ 00409
Add Control-3240

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought:

Screen Enclosure For Pool

State the street address at which the proposed structure will be built:

24 Lawtana Rd.

Subdivision Rio-Vista Lot No. 38

Contract price \$ 2680.00 Cost of Permit \$ 14.00

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Craig Rice

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Mrs. Stanley Rieger

TOWN RECORD

Date submitted

Approved: [Signature] Building Inspector Date 12/1/81

Approved: [Signature] Commissioner Date 12/2/81

Final Approval given: [Signature] Date 1/5/82

Certificate of Occupancy issued Not Req Date _____

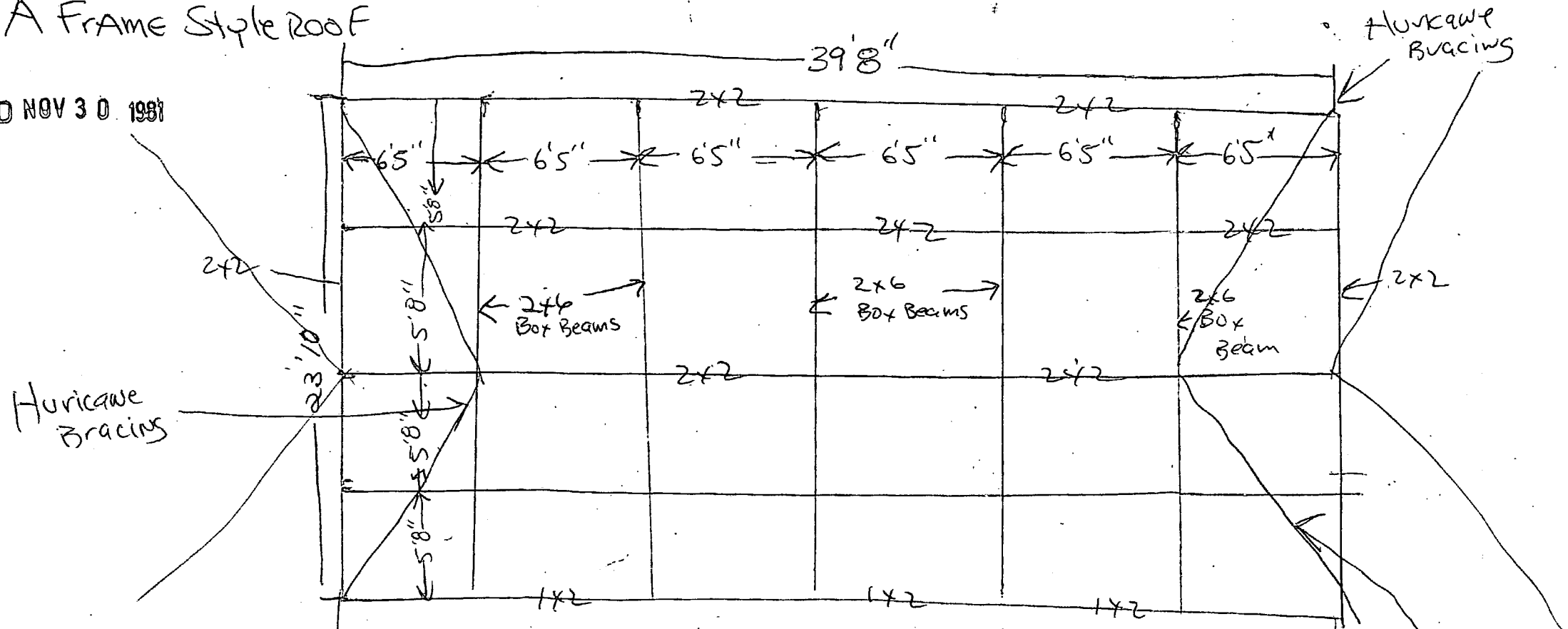
SP/1-79

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

1431

A Frame Style Roof

RECEIVED NOV 30 1981



Sides to be made with 2x3 uprights to match roof widths.

Side to be Anchored with 2 1/2" thunder bolts

Hurricane bracing on two outside corners also on sides, roof to be attached to structural gutter

HOUSE

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

Name Roger
lot - 38
Rio vista Sub

Address
23 LAWANAWAY AVE
STUART FLA

12/1/81

3360

ROOF

TAX FOLIO NO. 12-38-41-002-000-00380-70000 DATE 4/14/93

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mr. Ruger Present Address 23 Lantana Ln

Phone 280-0672

Contractor Gary Marzo Roofing Address Coat. P.O. Box 8955
PSL FL

Phone 877-2489

Where licensed Martin Co. 5P01121 License Number 5P01121

Electrical Contractor _____ License Number _____

Plumbing Contractor _____ License Number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Roof

State the street address at which the proposed structure will be built:

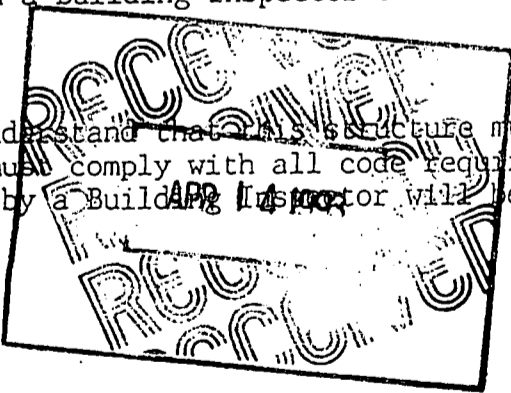
23 Lantana Lane

Subdivision Rio Vista Lot Number 38 Block Number _____

Contract Price \$ 2475.⁰⁰ Cost of Permit \$ \$100.⁰⁰

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector of Town Commissioner "Red-Tagging" the construction project.



I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Contractor Gary Marzo

per Lynn Marzo

Owner MR. Ruger

TOWN RECORD per Lynn Marzo

Date submitted _____ Approved: _____ Building Inspector _____ Date _____

Approved: [Signature] 4/14/93 Final Approval given: _____ Date _____
Commissioner Date

Certificate of Occupancy issued(if applicable) _____ Date _____

SP1282 Permit No. _____

8070

GARAGE DOOR

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 2/23/06

BUILDING PERMIT NO. 8070

Building to be erected for ENGLESTAD

Type of Permit GARAGE DOOR

Applied for by O/B (Contractor)

Building Fee 35.00

Subdivision RIO VISTA Lot 38 Block _____

Radon Fee _____

Address 23 LANTANA LANE

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:
12384100200000380

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 35.00 Check # 1370 Cash _____ Other Fees (_____) _____

TOTAL Fees 35.00

Total Construction Cost \$ 1295

Signed Julian B. Englestad
Applicant

Signed Gene Sumner
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION
- GARAGE DOOR

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 2-14-06

OWNER/TITLEHOLDER NAME: Engelstad, Julian Phone (Day) 220-7440 (Fax) _____

Job Site Address: 23 LANTANA LN City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) 12 38 41 RIO VISTA Parcel Number: #12-38-41-002-000-00380

Owner Address (if different): S/D Lot 38 City: STUART State: FL Zip: 34996

Description of Work To Be Done: INSTALL NEW OVERHEAD GARAGE DOOR

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 1295⁰⁰
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: CRABTREE Vocational Dev Phone: 528 5760 Fax: 232 9830

Street: 1555 N.W. QUAIL Circle City: Stuart State: FLA Zip: 34994

State Registration Number: _____ State Certification Number: _____ Martin County License Number: 403312

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Julian B. Engelstad

State of Florida, County of: MARTIN

This the 22ND day of FEBRUARY, 2006

by JULIAN BARTHEL ENGELSTAD who is personally

known to me or produced FLDL ES244222046470

as identification. Laura L. O'Brien x12/24/10

My Commission Expires _____

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____

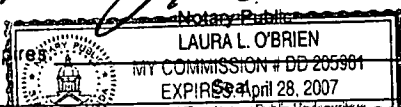
This the _____ day of _____, 200

by _____ who is personally

known to me or produced _____

As identification. _____

My Commission Expires: _____



Notary Public

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: ^{JULIAN B ENGELESTAD} Julian B. Engelstad Date: 2-22-06

Signature: Julian B. Engelstad

Address: 13 LANTANA LANE

City & State: STUART, FL 34996

Permit No. _____

STRUCTURAL SOLUTIONS, P.A.

Structural Engineering ■ Investigations ■ Consulting

September 12, 2003

Mr. Danny Joyner
Amarr Garage Doors
P.O. Box 288
Winston-Salem, NC 27102

RE: Garage Door Test No. IRC-6016-145-24
Test Date: 12/8/2003
Amarr Garage Doors
Project No. 03-052

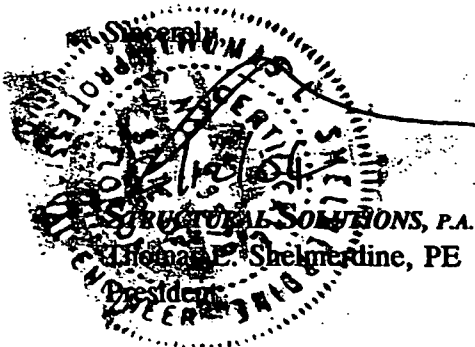
Dear Mr. Joyner:


Enclosed are the signed and sealed reports covering the static pressure test conducted at Amarr Garage Doors, Kernersville, NC, which I witnessed on December 8, 2003.

The method of testing was in substantial conformance with the procedures described in DASMA 108 and ASTM E330. The pressures shown on the drawings were determined and calculated using ASCE 7-98 with the following parameters:

Basic Wind Speed: 3-second Gust Wind Speed 145 mph (Exposure B)
Location of Door: 5 feet in Edge Strip
Mean Roof Height: <30'

As described in the attached report, the Amarr Garage Door Model Nos. 600 and 950 meet or exceed the above testing criteria.



FILE COPY TOWN OF SEWALL'S POINT THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE DATE: <u>2/23/06</u>  BUILDING OFFICIAL Gene Simmons
--

Garage Door Test for Structural Performance

Test Date: December 8, 2003

Test Location: Amarr Garage Doors
Kernersville, NC

Manufacturer: Amarr Garage Doors

Description of Test Specimen:

A 16'-0" wide x 7'-0" high residential steel sectional garage door, one (1) section wide by four (4) sections high, each section being 2" inches thick by 21" high galvanized steel sheet. Each section was reinforced with one (1) 4-1/2"x20 gauge "R"-Truss. In addition, the bottom section was reinforced with one (1) 3"x20 gage galvanized steel strut at the bottom of the section. The door sections were connected together with one (1) 14 gauge galvanized steel end hinge at each end stile and one (1) 14 gauge galvanized steel center hinge at three of the five interior stiles as shown on the drawing. Garage door Model No. 600 manufactured by Amarr Garage Doors was used in the test.

The test unit is further described on drawing IRC-6016-145-24.

Witnessed by: Danny Joyner - Amarr Garage Doors
Thomas L. Shelmerdine, PE - *STRUCTURAL SOLUTIONS, P.A.*

Manner of Testing:

The specimen was tested for static pressure structural performance in substantial conformance with the procedures described in DASMA 108 "Standard Method for Testing Sectional Garage Doors - Determination of Structural Performance Under Uniform Static Air Pressure Difference", and ASTM E330 "Standard Test Method for Structural Performance of Exterior Windows, Curtain Walls, and Doors by Uniform Static Air Pressure Difference". Both positive and negative pressures were tested.

The specimen was installed in an enclosure measuring approximately 4' deep, 9' high, and 20' long. The enclosure was framed with shop welded steel angles and covered with 3/4" thick plywood. The door was covered with plastic sheeting to prevent leakage of air pressure. At one end of the enclosure, a "Dwyer" Series 477 Digital manometer was attached to measure pressure inside the enclosure. Two duct fans were attached in series to the enclosure with flexible ducting to provide the positive and negative pressures.

Structural Performance by Static Pressure (ASTM E330 & DASMA 108)

The specimen was subjected to the following structural loadings and durations. Positive pressure was applied first, and then negative pressure. Test pressures were based on a 30' mean roof height for 145 mph (3-second gust) with 5' in the Edge Strip (Exposure B).

Test Procedure

- Step 1. Preload the door to 50% of the Design Pressure and hold for 10 seconds.
- Step 2. Unload the door for 1 to 5 minutes.
- Step 3. Load the door to 100% of the Design Pressure and hold for 60 seconds.
- Step 4. Unload the door for 1 to 5 minutes.
- Step 5. Load the door to 150% of the Design Pressure (which equals 100% of the Test Pressure) and hold for 10 seconds.

Test and Design Pressures

(Positive Pressure Applied on Exterior Face of Door, Negative Pressure Applied on Interior Face of Door)

Test Pressure +47.8 psf	Design Pressure + 31.9 psf
Test Pressure - 55.8 psf	Design Pressure - 37.2 psf

Observations

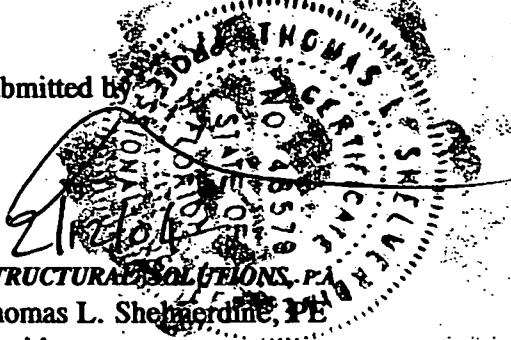
No failures occurred as a result of the noted loadings. The door remained operable after both tests.

Summary

The 16' x 7' Model 600 as described on Drawing IRC-6016-145-24 meets or exceeds the testing criteria as described above. By comparison to the construction of the 16' x 7' Model 600, the following doors also meet or exceed the above testing criteria, when constructed in accordance with Drawing IRC-6016-145-24:

- 16' x 7' Model 950 doors (which are constructed of thicker 24 gauge steel in lieu of 25 gauge steel)
- 10' to 16' wide Model 600 doors with heights of 6'-6" through 14'-0"
- 10' to 16' wide Model 950 doors with heights of 6'-6" through 14'-0"

Submitted by



STRUCTURAL SOLUTIONS, P.A.
 Thomas L. Sheppard, PE
 President
 Florida PE 0048579



8070

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 23 LANTANA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

CAR DOOR

WOOD BUCK NEEDS LAG BOLTS @ 16" O.C.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/10

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/10, 2006 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7901	ALUMAN	FINAL WINDOWS	FAIL	
8	45 RIO VISTA O/B			INSPECTOR: <i>OM</i>
8073	SHAW	SCREEN DM	PASS	CLOSE
12	78 N SEWALLS Pt STRUCTURE CON	REPAIR FINAL		INSPECTOR: <i>OM</i>
6812	MADER	INSULATION	PASS	
4	106 ABBIE COURT BUFORD			INSPECTOR: <i>OM</i>
7764	RUCKS.	SUB SIDING	FAIL PASS	
13	20 N. SEWALLS PT. MASTER PIECE	WINDOW + DOOR BUCKS TRUSS EN	FAIL FAIL	INSPECTOR: <i>OM</i>
7883	DENNLSON	IN PROGRESS	PASS	
3	49 W HIGH POINT SQUARE ROOFING			INSPECTOR: <i>OM</i>
8070	ENGELSTAD	FINAL GARAGE	FAIL	
9	23 LANRANA LA O/B	DOOR		INSPECTOR: <i>OM</i>
7209	MOSCATELLO	FINAL ROOF	PASS	CLOSE
6	6 PINEAPPLE LA ENERGY COATINGS			INSPECTOR: <i>OM</i>

OTHER:

12. S. S. P.D.

PERMIT NOT TO BE

WAIVED TO TREE

129 S.S.P.D.

FINAL ELEC.

PASS *OM*

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/20, 2006 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7297	MARTIN	FINAL ROOF	FAIL	
2	23 ISLAND RD PACIFIC ROOFING			INSPECTOR: <i>OW</i>
7913	MORROW	REP/REP DRYWALL FINAL	PASS	CLOSE
1	24 S. SEWALLS Pt O/B			INSPECTOR: <i>OW</i>
7338	McCormick	STRAPPING	FAIL	
7	59 N. RIVER RD PINE ORCHARD	TRUSS ENG		INSPECTOR: <i>OW</i>
8070	ENGLEST	FINAL GARAGE DOOR	PASS	CLOSE
4	23 LANTANA O/B			INSPECTOR: <i>OW</i>
7993	GLACHINO	TIE BEAM	FAIL	
6	11 WENDY LA SEAGATE BLDES			INSPECTOR: <i>OW</i>
6772	ELDER	FINAL SPR	CANCEL	
7	4 MARGUERITA OB			INSPECTOR:
8065	LAPIKAS	FINAL SCR. ENCL	PASS	CLOSE
5	3 INDIA WOODWAY SULLIVAN DESIGN			INSPECTOR: <i>OW</i>
OTHER: 8103	DONIFACE 63 S. RIVER RD BLUE WATER MAR.	TIE BACK	PASS	<i>OW</i>

8158

REROOF

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 4-4-06

BUILDING PERMIT NO. **8158**

Building to be erected for ENGELSTAD

Type of Permit REROOF

Applied for by PACIFIC ROOFING (Contractor)

Building Fee 120.00

Subdivision RIO VISTA Lot 38 Block _____

Radon Fee _____

Address 23 LANTANA LA

Impact Fee _____

Type of structure SR

A/C Fee _____

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Other Fees (_____)

TOTAL Fees 120.00

Parcel Control Number:

1238410020000038070000

Amount Paid 120.00 Check # 11449 Cash _____

Total Construction Cost \$ 22,000

Signed Christina MacFuller
Applicant

Signed Gene Simmons (PUB)
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

Date: **RECEIVED**
3/16/06

Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: JULIAN B. ANN ENGELSTAD (L/E) Phone (Day): 772 220-7440 (Fax): _____

Job Site Address: 23 LANTANA LANE City: STUART State: FL Zip: 34996

Legal Description of Property: 12 38 41 RIOVISTA S/D LOT 38 Parcel Number: LOT 38 12-38-41-002-000

Owner Address (if different): _____ City: _____ State: _____ Zip: 00380-7

Description of Work To Be Done: REPLACE ROOF - remove shingle and replace w/ 5v Crimp

WILL OWNER BE THE CONTRACTOR?: Yes (No) (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: GOMES RICHARD JOHN PACIFIC ROOFING CORP Phone: 772-283-7663 Fax: 772 283-9505

Street: 808 SE DIXIE HIGHWAY City: STUART State: FL Zip: 34994

State Registration Number: _____ State Certification Number: CCC056793 Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 22,000 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: 1300 Garage: 500 Covered Patios: 120 Screened Porch: 0
Carport: _____ Total Under Roof: 1920 Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Julian B. Engelstad
State of Florida, County of: MARTIN
This the 6th day of MARCH, 2006
by JULIAN ENGELSTAD who is personally known to me or produced as identification. [Signature]
Notary Public

CONTRACTOR SIGNATURE (required)
[Signature]
On State of Florida, County of: Martin
This the 6th day of March, 2006
by Richard Gomes who is personally known to me or produced as identification. Margaret Mendanas
Notary Public

My Commission Expires: _____
LAURA L. O'BRIEN
MY COMMISSION # DD 205961
EXPIRES: April 28, 2007
Banded Thru Notary Public Underwriters

My Commission Expires: _____
Notary Public State of Florida
Margaret Moritar
My Commission DD476238
Expires 10/08/2009

ACORD CERTIFICATE OF LIABILITY INSURANCE

CSR TJ
PACIR-1

DATE (MM/DD/YYYY)
01/03/06

PROJ, JCER

Stuart Insurance, Inc.
3070 S W Mapp
Palm City FL 34990
Phone: 772-286-4334 Fax: 772-286-9389

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED

Pacific Roofing Corporation
P.O. Box 2697
Stuart FL 34995

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: Nautilus Insurance Company	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L TR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	BN505626	12/31/05	12/31/06	EACH OCCURRENCE \$ 1000000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100000 MED EXP (Any one person) \$ 5000 PERSONAL & ADV INJURY \$ 1000000 GENERAL AGGREGATE \$ 2000000 PRODUCTS - COMP/OP AGG \$ 2000000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				<input type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
Roofing Contractor - State of Florida

CERTIFICATE HOLDER

TOWNS - 1

Town of Sewalls Point
FAX 220-4765
1 S Sewalls Point Road
Stuart FL 34996

CANCELLATION
 SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
 AUTHORIZED REPRESENTATIVE *Joseph E. Coors*

ACORD CERTIFICATE OF LIABILITY INSURANCE

ACORD 7900013-295949
12/01/2005 12:09 PM

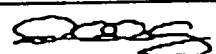
PRODUCER Highpoint Risk Services LLC 14160 Dallas Parkway #500 Dallas, TX 75254 (800) 632-5096 Fax: (972) 404-4450	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.
	INSURERS AFFORDING COVERAGE INSURER A: Companion Property and Casualty (800) 632-5096 INSURER B: INSURER C: INSURER D: INSURER E:
INSURED: AMS I/C/E: PACIFIC ROOFING CORPORATION 808 SE DIXIE HWY STUART, FL 34994 (772) 283-7663 Fax: (772) 283-9505	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC				EACH OCCURRENCE \$ FIRE DAMAGE (Any One Fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC777799900	12/01/2005	12/01/2006	X WC STATUTORY LIMITS OTH-ER E.L EACH ACCIDENT \$ 1000000 E.L DISEASE - EA EMPLOYEE \$ 1000000 E.L DISEASE - POLICY LIMIT \$ 1000000
	OTHER <input type="checkbox"/>				LIMITS \$ LIMITS \$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 1. Insured is afforded Workers Compensation & Employers Liability as a co-employer under the policy for employees leased from AMS Staff Leasing, Inc. 2. This certificate remains in effect, provided the client's account is in good standing with AMS. Coverage is not provided for any employee for which the client is not reporting wages to AMS. Applies to 100% of the employees of AMS leased to PACIFIC ROOFING CORPORATION, effective 12/01/2005

CERTIFICATE HOLDER Sewalls Point Building Department 1 South Sewalls Point Road Sewalls Point, FL 34996	ADDITIONAL INSURED; INSURER LETTER:	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
---	--	---

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
PO BOX 2697
STUART

FL 34995

STATE OF FLORIDA AC#1601424
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 CCC056793 09/11/04 040233678
 CERTIFIED ROOFING CONTRACTOR
 GOMES, RICHARD JOHN
 PACIFIC ROOFING CORP
 IS CERTIFIED under the provisions of Ch. 489 FS.
 Expiration date: AUG 31, 2006 L04091102194

DETACH HERE

1601424 STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD SEQ# L04091102194

DATE	BATCH NUMBER	LICENSE NBR
9/11/2004	040233678	CCC056793

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2006

GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
PO BOX 2697
STUART FL 34995

JEB BUSH
GOVERNOR

DIANE CARR
TOTAL P.01



**CITY OF STUART
OCCUPATIONAL LICENSE
2005-2006**

LICENSE NO.	ACCOUNT NO.	CATEGORY NO.
1731	15052	170530

TAX YEAR BEGINS OCTOBER 1 AND ENDS SEPTEMBER 30
PAYMENT AFTER OCTOBER 1 CONSTITUTES VIOLATION
OF CITY CODE OF ORDINANCES

BUSINESS TYPE	CONTRACTOR - ROOFING
---------------	----------------------

OWNER AND LOCATION	QUALIFIER-RICHARD J GOMES 808 SE DIXIE HIGHWAY
--------------------	---

This occupational license does not permit the holder to operate in violation of any City law, ordinance, or regulation. Any changes in location or ownership must be approved by the City License Section, subject to zoning restrictions. This license does not constitute an endorsement, approval, or disapproval of the holder's skill or competence or of the compliance or non-compliance of the holder with other laws, regulations, or standards.

Occupational Licensing 772-288-5319

TAXES	FEES	CHARGES	PENALTY	TRANSFER	MISCELLANEOUS	PAID
	100.00		0.00	0.00	0.00	100.00

BUSINESS NAME AND MAILING ADDRESS	PACIFIC ROOFING CORP QUALIFIER-RICHARD J GOMES 808 SE DIXIE HIGHWAY STUART, FL 34994
-----------------------------------	---

DATE	11/03/2005
------	------------

CHERYL WHITE
CITY CLERK

NOTICE OF COMMENCEMENT

Permit No. _____
State of Florida
County of Martin

Tax Folio No 12-38-41-002 000 00380-7

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

- 1. Description of property: (legal description of the property, and street address if available) _____
12 38 41 RIO VISTA S/D LOT 38
23 LANTANA LANE, STUART, FL 34996
- 2. General description of improvement: _____
REPLACE ROOF
- 3. Owner information:
Name: JULIAN B. + ANN ENGELSTAD (L/E)
Address: 23 LANTANA LANE, STUART, FL 34996
Interest in property: OWNERS
Name and address of fee simple titleholder (if other than Owner): _____

- 4. Contractor Information:
Name: PACIFIC ROOFING CORP.
Address: 808 SE DIVIE HIGHWAY, STUART, FL 34994
Phone number: 772-283-7663
Fax number: 772-283-9505 (optional, if service by fax is acceptable)

- 5. Surety Information:
Name: STUART INS. INC
Address: 2070 SW MADP, PALM CITY, FL 34990
Phone number: 772 286-4331
Fax number: 772 286-9389 (optional, if service by fax is acceptable)
Amount of bond: \$ 2,000,000.00

- 6. Lender:
Name: HARBOR FEDERAL
Address: FT. PIERCE, FL
Phone number: _____
Fax number: _____ (optional, if service by fax is acceptable)

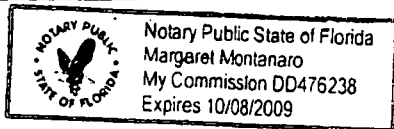
- 7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes.
Name: _____
Address: _____
Phone number: _____
Fax number: _____ (optional, if service by fax is acceptable)

- 8. In addition to himself or herself, Owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
Phone number: _____
Fax number: _____ (optional, if service by fax is acceptable)

- 9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified) _____

Julian B. Engelstad
Signature of Owner Julian B. Engelstad
Sworn to (or affirmed) and subscribed before me this 21 day of March, 2006 by
Julian Engelstad (print name of person making statement)
Personally Known _____ OR Produced Identification FLDL
Margaret Montanaro Signature of Notary Public - State of Florida

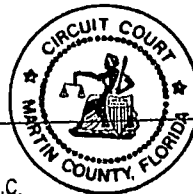
Print, Type, or Stamp Commissioned Name of Notary Public)



STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
MARGARET EWING CLERK

BY [Signature]
DATE 3/09/06 D.C.



INSTR # 1921389 OR BK 02126 PG 2336 RECD 03/29/2006 11:23:26 AM
Pg 2336 (1 of 1)
MARGARET EWING CLERK L Wood



BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

J.M. Metals
1505 Cox Road
Cocoa, FL 32926

Your application for Notice of Acceptance (NOA) of:
JM "5V" Crimp Architectural Metal Roof System
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0622.02
EXPIRES: 08/16/2006

Raul Rodriguez
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 08/16/2006

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: <u>3/29/06</u>
BUILDING OFFICIAL
Gene Simmons

ROOFING SYSTEM APPROVAL:

<u>Category:</u>	Roofing	Approval Date: <u>August 16, 2001</u>
<u>Sub-Category:</u>	Metal, Panels (Non-Structural)	Expiration Date: <u>August 16, 2006</u>
<u>Material:</u>	Steel	
<u>Deck Type:</u>	Wood	
<u>Maximum Design Pressure</u>	-85 psf.	

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
5V Steel Roofing Panel	l = varies w = 26" h = 1/2" Min. Thickness 0.019"	PA 110	Metal Roof panel coated with Fluropon®.

TRADE NAMES OF PRODUCTS MANUFACTURED BY OTHERS:

<u>Product</u>	<u>Dimensions</u>	<u>Product Description</u>	<u>Manufacturer</u>
Fasteners (Panel)	#9-15 HH	Corrosion resistant, sharp point hex-head screws with 1/2" EPDM Bonded Steel sealing washer.	generic

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
The Valspar Corporation	Lab Test Certification	ASTM B-117 ASTM G-23	
PRI Asphalt Technologies, Inc.	JMM-001-01-01	PA 100	05/10/01
Underwriters Laboratories, Inc.	01NK5594	UL 580	01/15/01



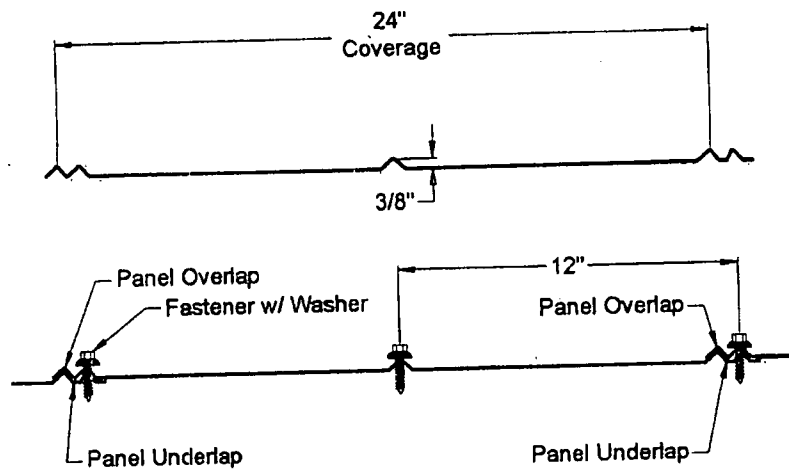
APPROVED SYSTEMS:

- SYSTEM:** 5V Steel Roofing Panel
- Deck Type:** Wood, Non-insulated
- Deck Description:** New Construction or Re-roof
¹⁹/₃₂" or greater plywood or wood plank.
- Slope Range:** 2":12" or greater
- Maximum Uplift Pressure:** The maximum allowable design pressure -85 psf
- Deck Attachment:** In accordance with applicable building code, but in no case shall it be less than 8d ring shank nails spaced 6" o.c. In reroofing, where the deck is less than ¹⁹/₃₂" thick (Minimum ¹⁵/₃₂") The above attachment method must be in addition to existing attachment.
- Underlayment:** Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1 ¼" annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll.
- Valleys:** Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with JM Metals 5V Steel Roofing Panel' current published installation instructions.
- Fire Barrier Board:** For class A or B fire rating, install minimum ¼" thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or 5/8" water resistant type X gypsum sheathing with treated core and facer.
- Metal Panels and Accessories:** Install the "5V Steel Roofing Panel" and accessories in compliance with JM Metals' current published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.
- 5V Roofing Panels shall be fastened with a minimum of #9-15 HH corrosion resistant fasteners with sealing washer. Fasteners shall of sufficient length to penetrate through the sheathing a minimum of ³/₁₆". Fasteners shall be place in accordance with fastener detail herein as follows:
- Fasteners shall be installed at a maximum of 12" o.c. at side laps perpendicular to roof slope and at a maximum of 12" o.c. in the center of the panel at the field perpendicular to roof slope. Fastener shall be placed at high points of panel ribs.

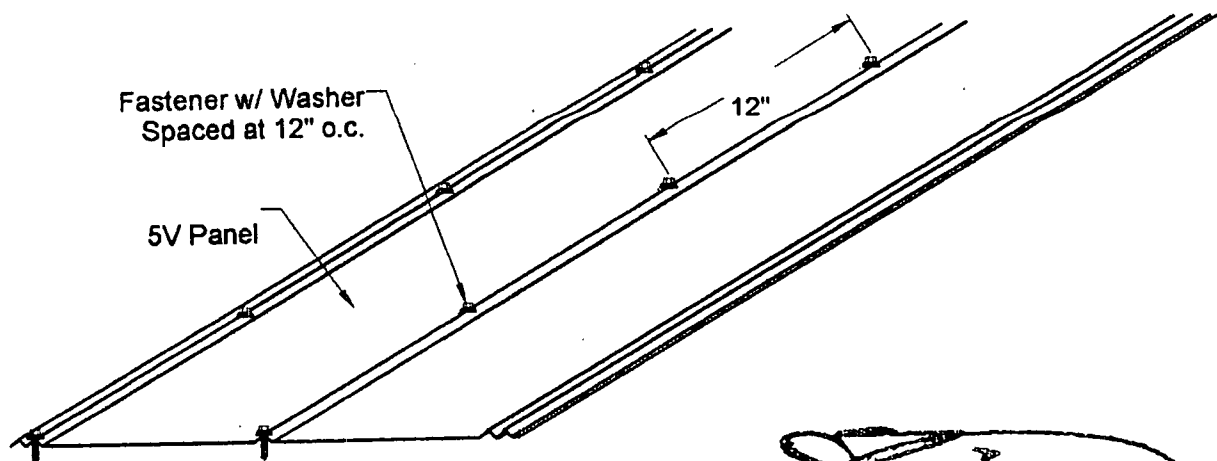


SYSTEM LIMITATIONS:

1. Increased design pressures at perimeter and corner areas, in compliance with applicable building code may be met through rational analysis by increasing the number of attachment points in these areas. The maximum fastener spacing noted in the "Systems Description" section of this approval shall not be exceeded. All rational analysis computation shall be prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant.
2. Panels shall be roll formed in continuous lengths from eave to ridge. Maximum lengths shall be as described in Miami-Dade County Roofing Application Protocol RAS 133.
3. All panels shall be permanently labeled with the manufacturer's name or logo, and the following statement: "Miami-Dade County Product Control Approved."



5V STEEL ROOFING PANEL



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5-12, 2006

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8123	Luloh	Tie Beam for Holding tank	PASS	
3	20 E High Pt. SEAGATE	1 SE		INSPECTOR: <i>[Signature]</i>
8105	Galinas	GRADE BEAM	PASS	
2	26 S. SPR. Driftwood	FT paining		INSPECTOR: <i>[Signature]</i>
	Moran	Final	PASS FAIL	INSPECTOR: [Signature]
5	2 Palm Rd Driftwood			INSPECTOR: <i>[Signature]</i>
8104	Miragliai	Final	FAIL	
8	66 N. S. PR Pacific Roofing			INSPECTOR: <i>[Signature]</i>
8150	Engelstadt	Driftwood	FAIL	
6	23 Lantana Dr Pacific Roofing	FINAL		INSPECTOR: <i>[Signature]</i>
		Call 772-263-1902		
7054	Tapper	Power release	PASS	CALL FPL.
4	22 Island Rd Winchup Const.			INSPECTOR: <i>[Signature]</i>
8193	CABRELLO	PLYWOOD	FAIL	
1	8 N. SPR. CHABOT			INSPECTOR: <i>[Signature]</i>

OTHER: _____



8158

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 23 CANTANA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ROOF FINAL

NO PERMIT POSTED

REMOVE ~~HOUSE~~ UNUSED
ROOF MATERIALS -

\$40 FEE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 5/17

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5-17, 2006 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8185	FRICK	Meter Disconn Recon	PASS	CALL FPL re former installation
10	21 Palm Rd Resiner Elec	11AM		INSPECTOR: <i>[Signature]</i>
8215	Helman	GENERATOR ^{FINAL}	PASS	CLOSE
5	6 Ridgelyns Dr OB			INSPECTOR: <i>[Signature]</i>
8155	Engelst	Final tag	FAIL	NO FEE
2	23 Lantana Pacific Roofing	Final		INSPECTOR: <i>[Signature]</i>
8104	Miraglia	Final	FAIL	\$40 FEE
9	66 N SPR Pacific Roofing			INSPECTOR: <i>[Signature]</i>
7118	RAAB	Final dock	FAIL	\$40 FEE
3	22 SIMARA St OB		PASS	CLOSE INSPECTOR: <i>[Signature]</i>
8228	Ingo	Final gas	PASS	CLOSE
7	11 Heritage Way C+C Diversified			INSPECTOR: <i>[Signature]</i>
Tree	Moran	Tree	PASS	
1	2 Palm Rd OB			INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5-24, 2006 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
1764	Ruck	Rathe	PASS	
9	20 N SPR Masterpiece			INSPECTOR: <i>OM</i>
8123	Lulok	UNDERGROUND PLUMBING	PASS	
1	20 E. High Pt Rd Seagate	Beam insp.	FAIL	INSPECTOR: <i>OM</i>
8158	Enclosed	Final tag final	PASS	CASE
5	23 Lantern Rd Pacific Roofing	Fee Pd to ROOFING	PASS	INSPECTOR: <i>OM</i>
8104	Miraglia	Final	FAIL	
10	66 N. SPR Pacific Roofing	Fee Pd e		INSPECTOR: <i>OM</i>
Tree	Lamb	Tree	PASS	
4	110 S SPR			INSPECTOR: <i>OM</i>
1576	Silas	Driveway Pour	PASS	(PARTIAL)
11	10 Castle Hill Way Statewide - Gene 473-0271			INSPECTOR: <i>OM</i> call before
8100	PASS	CANCEL		
	5 WORTH CT.			
	ALL-AMERICAN			INSPECTOR:
OTHER:				
	39 N. RIVER	DOCK FIXED?		YES WILL SEE VALUABLE TO PAY FOR PERMIT -

8553

SCREEN ENCLOSURE

TOWN OF SEWALL'S POINT

Date 3-27-07

BUILDING PERMIT NO. 8553

Building to be erected for Englestad

Type of Permit Screen Enclosure

Applied for by Pioneer Screen (Contractor)

Building Fee 120-

Subdivision Rio Vista Lot 38 Block _____

Radon Fee _____

Address 23 Santana Ln

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

123841-002-000-003807-0000

Electrical Fee _____

Plumbing Fee _____

Amount Paid \$120 Check # 1824 Cash _____

Other Fees (_____) _____

Total Construction Cost \$ 12990-

TOTAL Fees 120-

Signed Michelle Deagan
Applicant

Signed John Adam
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

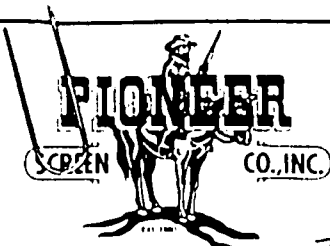
- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

- Aluminum Roofs
- Pool Enclosures
- Railings
- Screened Lanais
- Re-Screens
- Service Work
- Hurricane Protection
- Plastic Screen Inserts
- Screen Enclosures w/ Aluminum Roofs
- Patio Enclosures



9011 SW Old Kansas Ave., Stuart, FL 34997
 Construction License # SCC046064
 Stuart 772-283-9197
 West Palm Beach 561-575-0033
 FAX 772-283-3028
 www.pioneerscreen.com

OLD TO Englestad PHONE 220-7440 DATE 3/7/06
 MAILING ADDRESS 23 LANTANA Lane INSTALLATION ADDRESS _____
 CITY, STATE, ZIP SEWALLS Point PROPERTY OWNER ADDRESS same
 APPROXIMATE FINISH DATE (AFTER PERMIT AND ASSOCIATION APPROVAL IF NEEDED) WEATHER CONDITIONS MAY DELAY START AND FINISH DATE. 6-8 months

Screen Color: Charcoal
 Mesh Type: 18x14 20x20 20x30
 Flat Gable
 Tip: Mansard A-Frame Porch
 Beam(s) Type: Code
 Uprights: Code
 Aluminum Roof: Insulated Non Insulated
 Doors: 2
 Chair Rail: Match
 Florida Glass: 18" 24" 36"
 Kickplate:
 Gutters: yes
 Frame Color: BRONZ
 Permit #:
 Lot: Block:
 Subdivision: Sewalls Point
 Concrete: Yes No

THIS PROPOSAL MAY BE WITHDRAWN BY US IF NOT ACCEPTED WITHIN 30 DAYS
 A survey sheet or a plot plan and complete legal description is required on all pool patio enclosures and aluminum roofs.

INITIAL DESIGN LAYOUT

Tear-Out? Yes No Ready to Measure? Yes No

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 3/12/06
[Signature]
BUILDING OFFICIAL

25 1/2'

40'

Proposal Price: \$12,990.00

TERMS AND CONDITIONS ON BACK SIDE OF THIS CONTRACT.

The undersigned acknowledges receipt of a true copy of this contract and acknowledges that he has read and understands the contents thereof and accepts the same on terms and conditions stated herein. 35% Deposit required, 2/3 on delivery of material, balance on completion. Credit Card Fees apply at 2.37% per transaction.



We Do Not Send Invoices, Balance Due On Completion. 20%

Purchaser: Julian B. Englestad Date: 3-7-06

Pioneer Screen Co., Inc.: Same

		PAYMENT TOTALS WITH CREDIT CARD FEES 2.37%
Contract Price	\$12,990.00	
35% Deposit	\$2,600.00	
Concrete Draw	---	
2/3 Screen Draw	\$6,890.00	
Balance Due	\$3,500.00	

SCREEN ENCLOSURES ANALYSIS AND DESIGN

DOUBLE D ALUMINUM ENGINEERING, LLC

MansardExcel

OWNER: Pioneer Screen-Engelstad

Revised 02192007

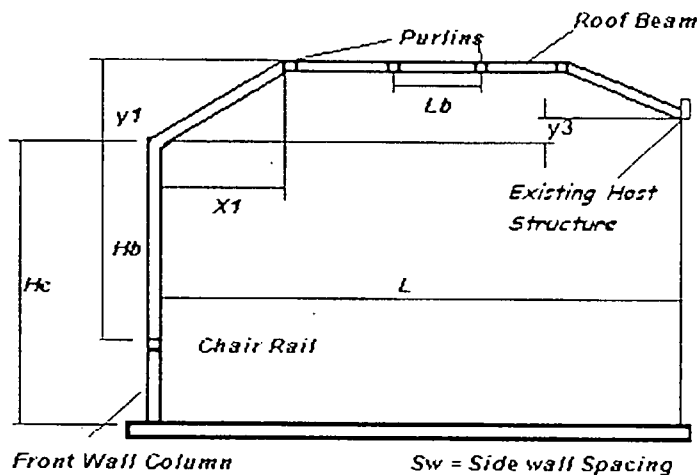
JOB NO. 261

FRAME ID: Mansard


Roof Type	WindSpeed & Exposure	Alloy
MANSARD	140-B	6063-T6

GEOMETRY OF FRAME

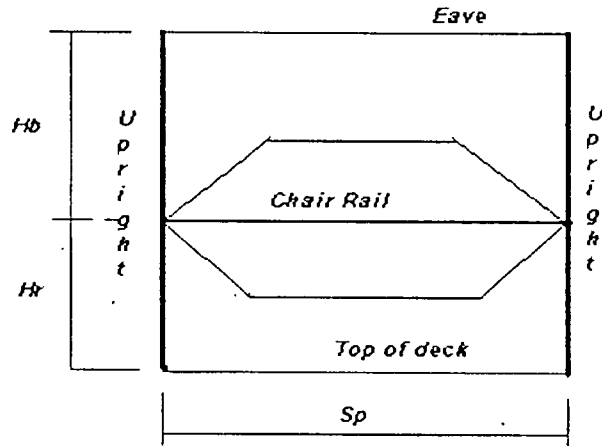
L	23.5	Span (ft)
Sfw	8	Beam spacing (ft)
Lb	7.83	Maximum spacing from purlin to purlin (ft)
Hc	8	Front column height (ft)
Hb	5.33	Laterally unsupported length of column (Height of column above chair rail) (ft)
y1	36	Rise (in)
x1	94	Base (in)
y3	0	Height difference between top of column and bottom of fascia (in)
Sw	7.83	Side wall spacing (ft)

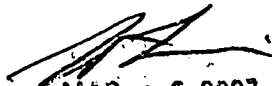


Roof Beam	Front Column	Side Column	Splice Gusset Plates
2X9H	2X6	2X6	3/16
ROOF BEAM OK	FRONT COLUMN OK	SIDE COLUMN OK	GUSSET PLATE OK
UTILIZATION 86%	100%	86%	80%
Eq 4.1.1-1 82%	90%		
Eq 4.1.1-2 86%	100%		
Eq 4.1.1-3 90%	101%	86%	Eq 4.1.1.3 80%
SECTION PROPERTIES			
Flange width b (in) 1.120	1.120	1.120	Sg 4.352
Flange thickness tf (in) 0.153	0.060	0.060	fb 15.285
Web height h (in) 8.345	5.353	5.353	Fb 19.500
Web thickness tw (in) 0.082	0.050	0.050	
Area (in^2) 2.600	1.056	1.056	
Section Modulus Sc (in^3) 5.910	1.920	1.920	
LOADS AND REACTIONS			
Roof Wind Load (psf) 6.000			
Front Wall Wind Load (psf) 21.000			
Side Wall Wind Load (psf) 21.000			
Hor. React. on FWall (kip) 0.672			
Ver. React. Wind L. (kips) 0.564			
DEVELOPED AND ALLOWABLE MOMENTS AND AXIAL FORCES			
Moment Developed (k-in) 66.744	16.128	15.785	
Moment Allowable (k-in) 82.331	18.412	18.412	
Axial Force Developed (k) 0.866	0.564		
Axial Force Allowable (kip) 9.661	4.092		
Critical Deflection (in) 0.026	0.2688	0.2631	
Allowable Deflection (in) 1.567	1.6000	1.6000	
Deflection is Acceptable	Deflection is Acceptable	Deflection is Acceptable	

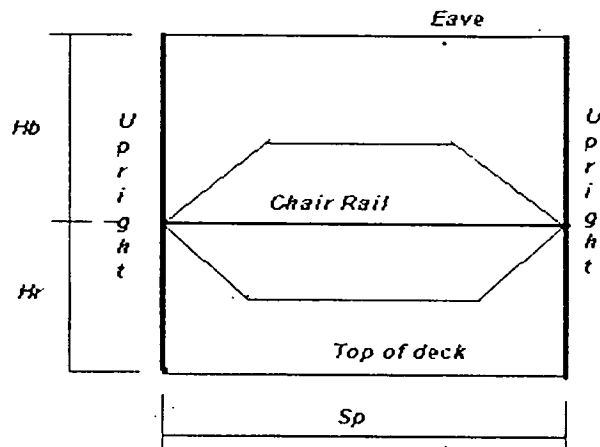

MAR 16 2007
 ANTONIO LUCIA
 6903 VISTA PARKWAY NORTH UNIT #10
 WEST PALM BEACH, FLORIDA 33411
 VALID ONLY W/RAISED ENGINEER SEAL
 SEALED DRAWING VALID FOR ONE JOB
 (561) 932-0401
 P.E. NO: 60160

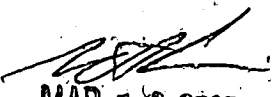
	A	B	C	D	E	F	G	H	I	J	K	L
1	DOUBLE D ALUMINUM ENGINEERING, LLC											
2												
3	CHAIR RAIL CALCULATIONS INPUT SHEET											
4												
5	JOB NO:	261		EXP	1 1=140-B 2=140-C 3=100-B 4=100-C 5=110 6=110-C							
6	OWNER:	Pioneer Screen-Engelstad			7=120-B 8=120-C 9=130-B 10=130-C 11=1 12=150-C							
7	WALL ID :	FRONT		ALLOY	2 1=6061-T6							
8					2=6063-T6							
9	Sp	8 ft		Spacing								
10	Hb	5.33 ft		Height above the chair	5.33							
11	Hr	2.66 ft		Height below the chair								
12												
13	Wp	21.00 lb/sq.ft		Wind pressure on wall								
14												
15												
16												
17	Applied M	7.16		k-in								
18	Allowable M	8.67		k-in								
19												
20												
21	Chair Rail Size	2X4 BOX										
22												
23	UTILIZATION	0.83										
24												
25												
26												
27												
28												
29												




MAR 16 2007
 ANTONINO LUCIA
 6903 VISTA PARKWAY NORTH UNIT #10
 WEST PALM BEACH, FLORIDA 33411
 VALID ONLY W/RAISED ENGINEER SEAL
 SEALED DRAWING VALID FOR ONE JOB
 (561) 934-0494
 P.E. NO: 60160

	A	B	C	D	E	F	G	H	I	J	K	L
1	DOUBLE D ALUMINUM ENGINEERING, LLC											
2												
3	CHAIR RAIL CALCULATIONS INPUT SHEET											
4												
5	JOB NO:	261	EXP	1	1=140-B	2=140-C	3=100-B	4=100-C	5=110-B	6=110-C		
6	OWNER:	Pioneer Screen-Engelstad			7=120-B	8=120-C	9=130-B	10=130-C	11=140-B	12=150-C		
7	WALL ID :	Side	ALLOY	2	1=6061-T6							
8					2=6063-T6							
9	Sp	7.83 ft	Spacing									
10	Hb	5.33 ft	Height above the chair									
11	Hr	2.66 ft	Height below the chair									
12												
13	Wp	21.00 lb/sq.ft	Wind pressure on wall									
14												
15												
16												
17	Applied M	6.82	k-in									
18	Allowable M	8.67	k-in									
19												
20												
21	Chair Rail Size	2X4 BOX										
22												
23	UTILIZATION	0.79										
24												
25												
26												
27												
28												
29												



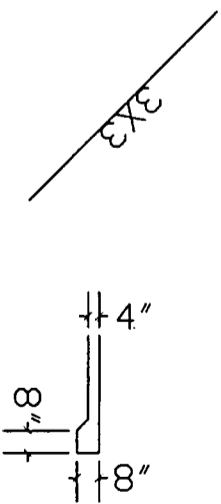
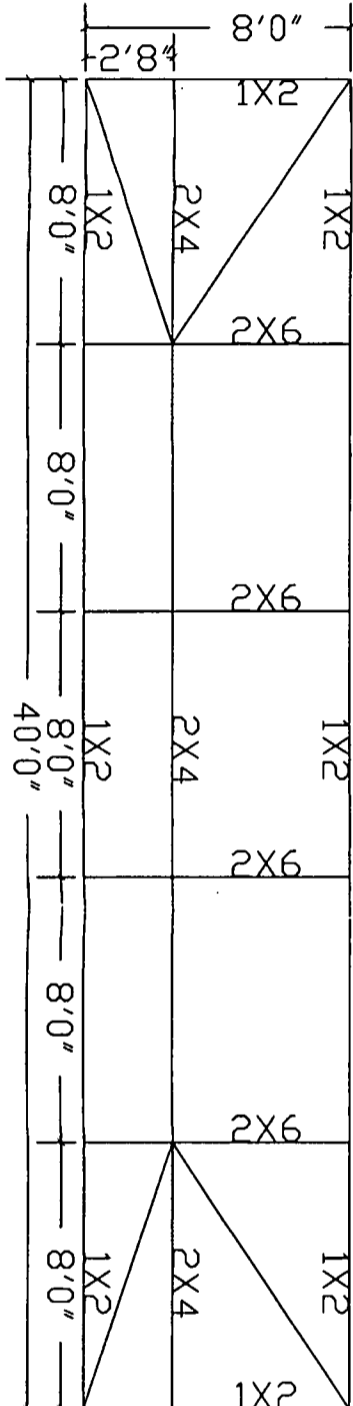
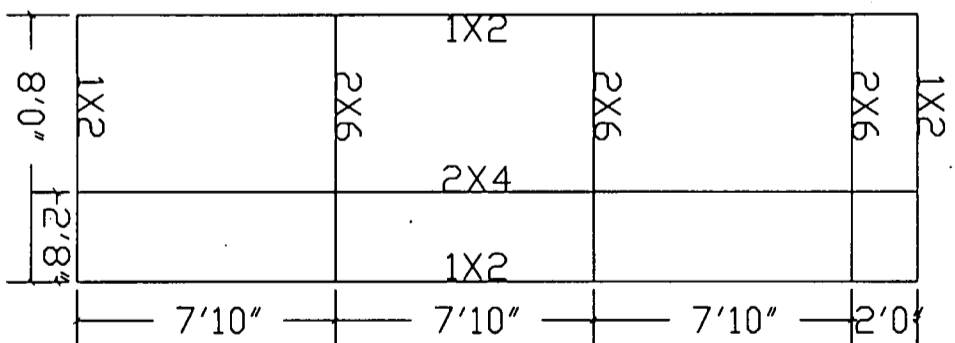
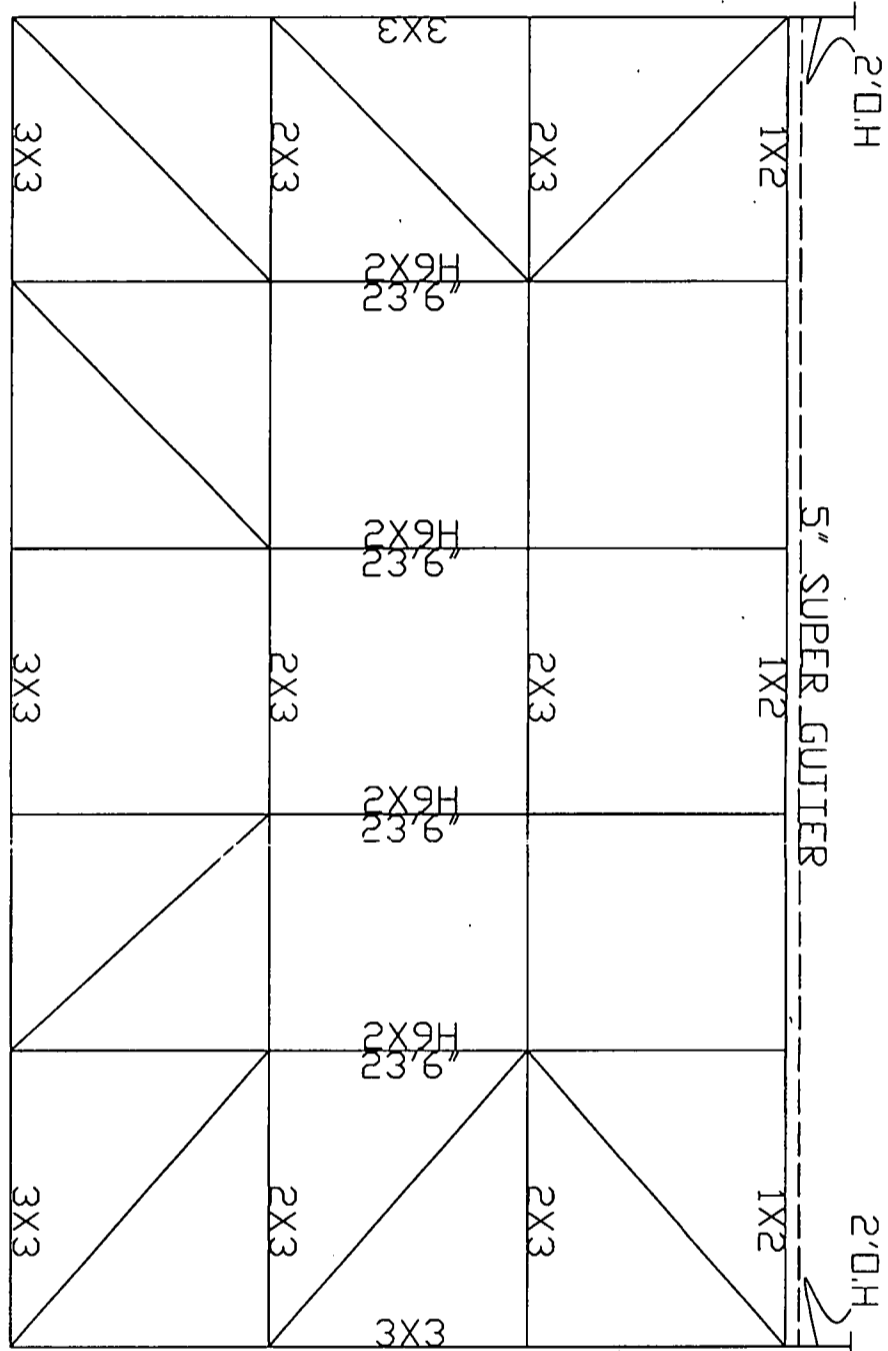
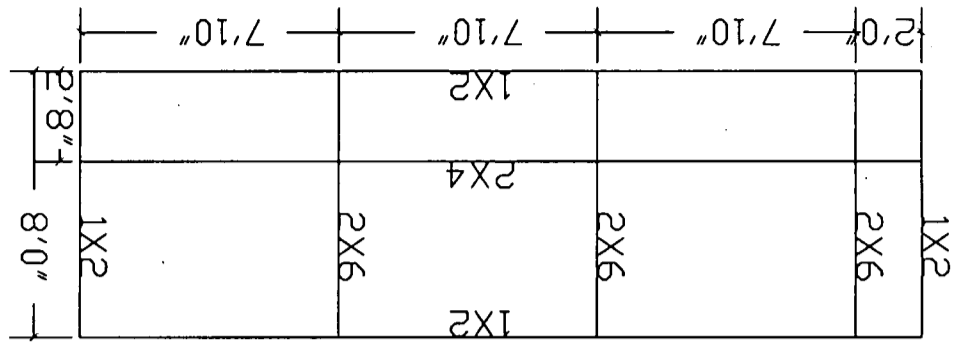

MAR 16 2007
 ANTONIO LOU
 6903 VISTA PARKWAY NORTH UNIT #1,
 WEST PALM BEACH, FLORIDA 33411
 VALID ONLY W/RAISED ENGINEER SEAL
 SEALED DRAWING VALID FOR ONE JOB
 (561) 932-0494
 PE: NO: E0160

JOB NUMBER: 261
 CONTRACTOR: PIONEER SCREEN

JOB NAME: ENGLESTAD
 JOB ADDRESS: 23 LANTANA RD.
 CITY: STUART

...If the measurements on this drawing are changed then the engineering is invalid and Double D Aluminum Engineering must be contacted for a revision.
 NOTE: DOOR LOCATION IS NON-STRUCTURAL. THEREFORE CONTRACTOR MAY ADJUST DOOR LOCATION PER HOMEOWNER REQUEST.

140 M.P.H.
 EXPOSURE B
 RISE 3'
 GUSSET 1/8"



EXISTING SLAB &
 FOOTER

SCALE: 1/8"=1'

MAR 16 2007

JOB# 261
 SHEET NO. 1

DRAWN BY: BRIAN VILKINSON
 CHECKED BY:
 SCALE: AS NOTED
 DATE:
 PROJECT:

Double D Aluminum Engineering LLC
 CA#27129

SCREEN ROOF POOL/PATIO ENCLOSURE

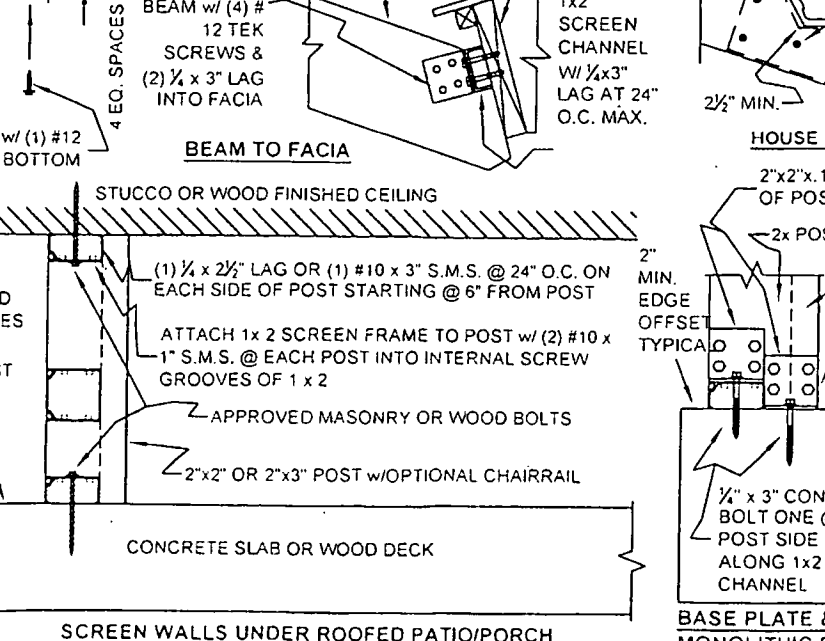
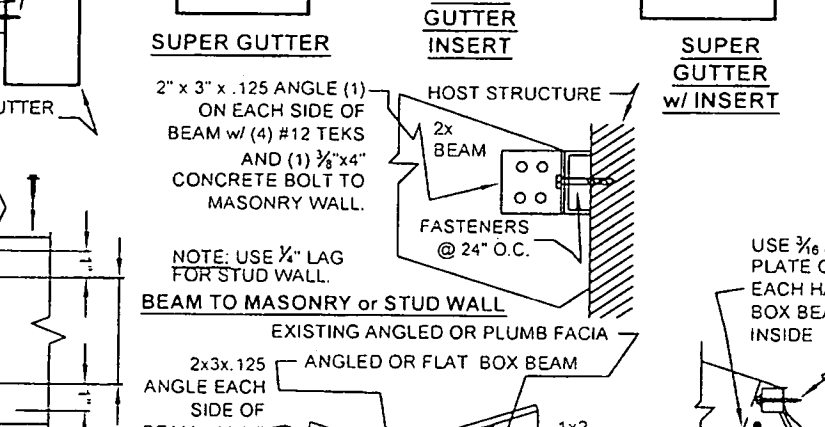
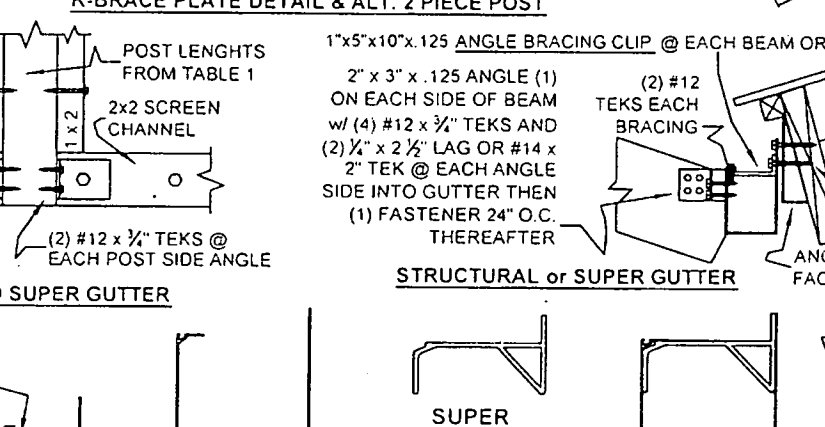
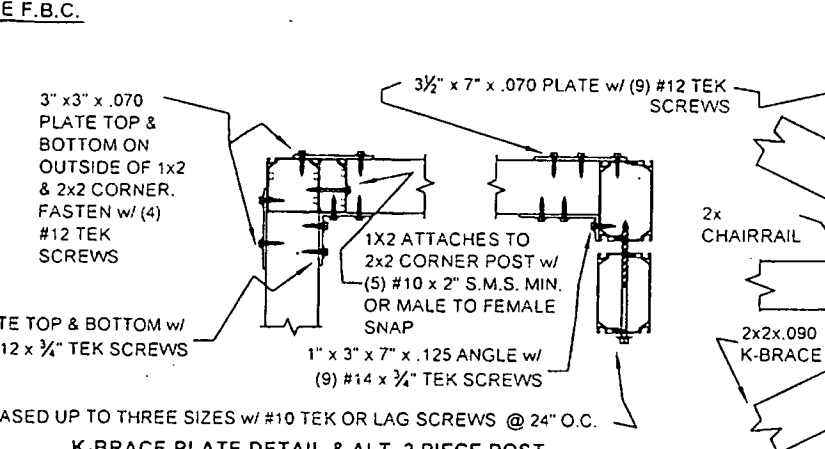
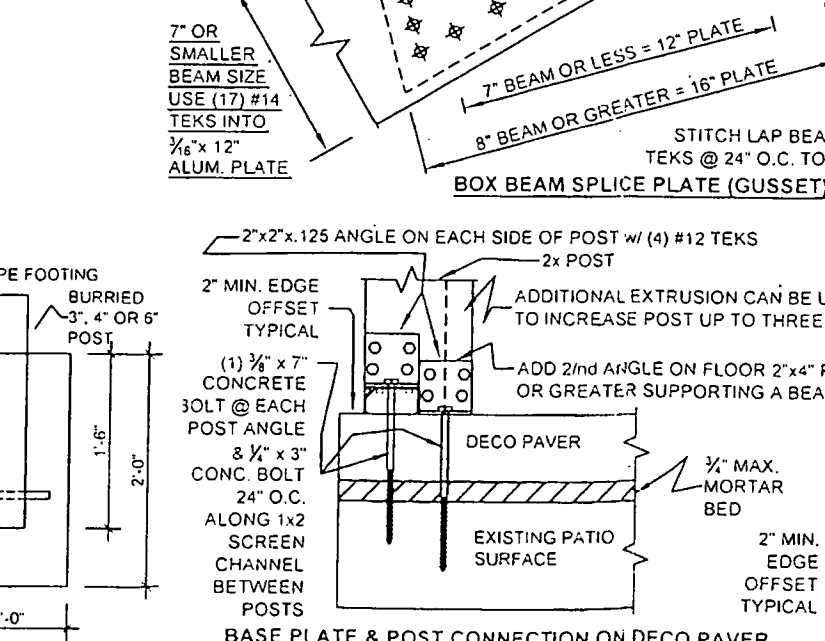
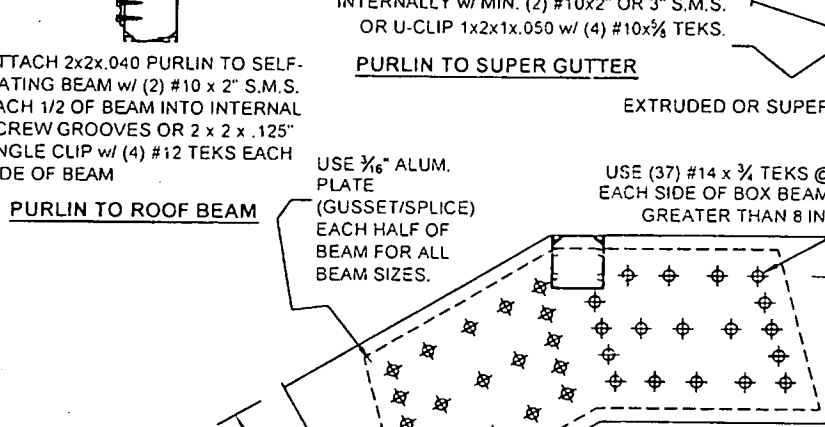
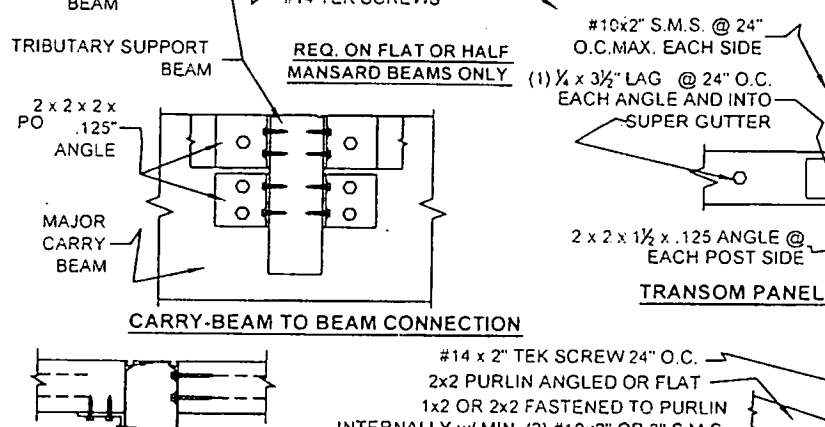
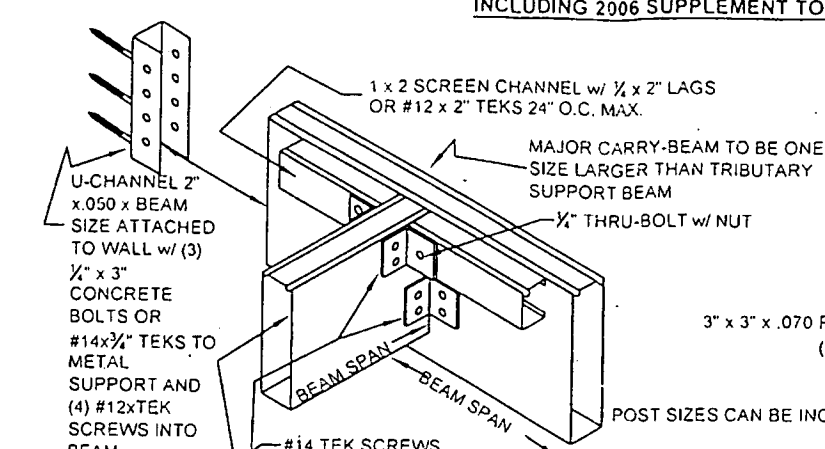
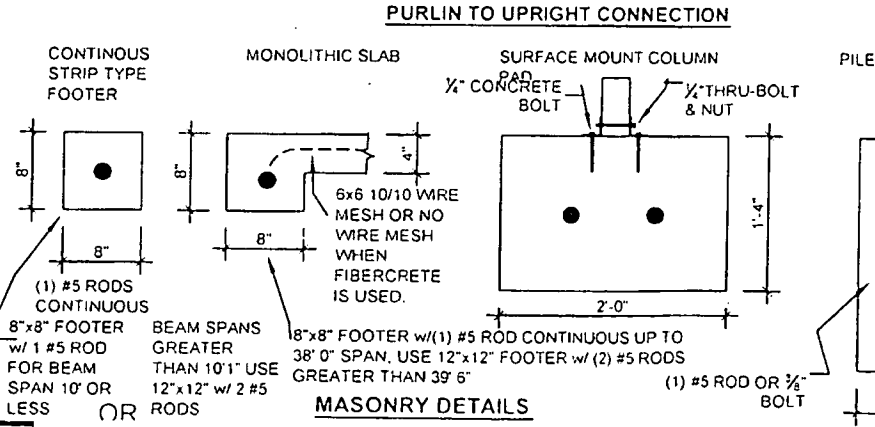
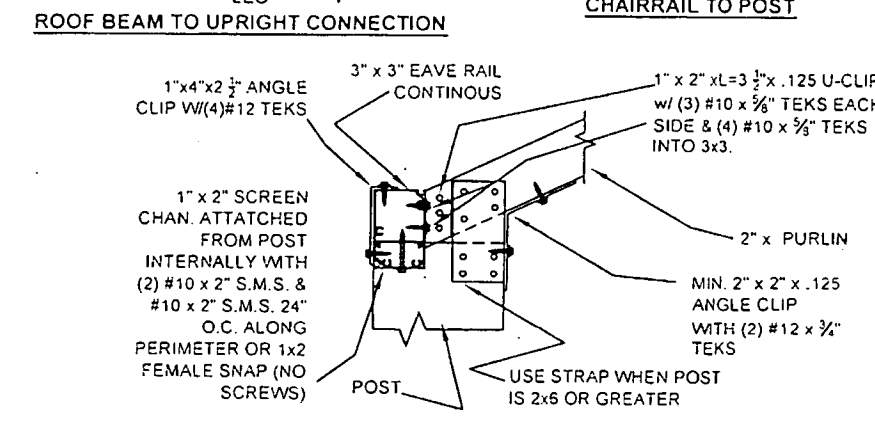
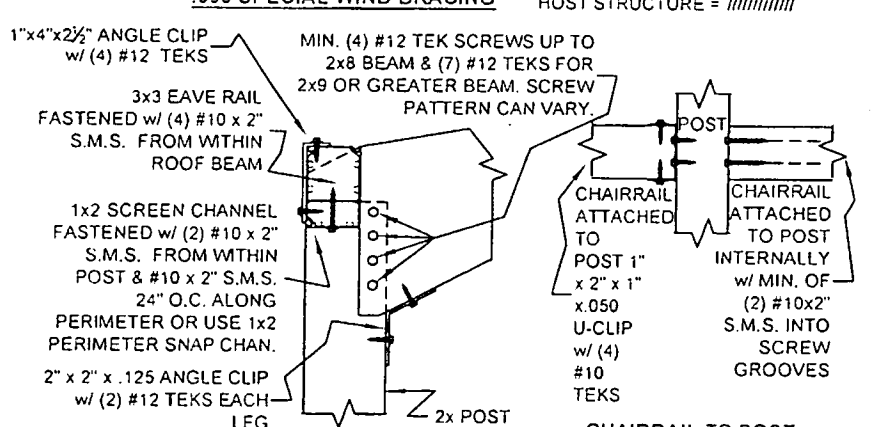
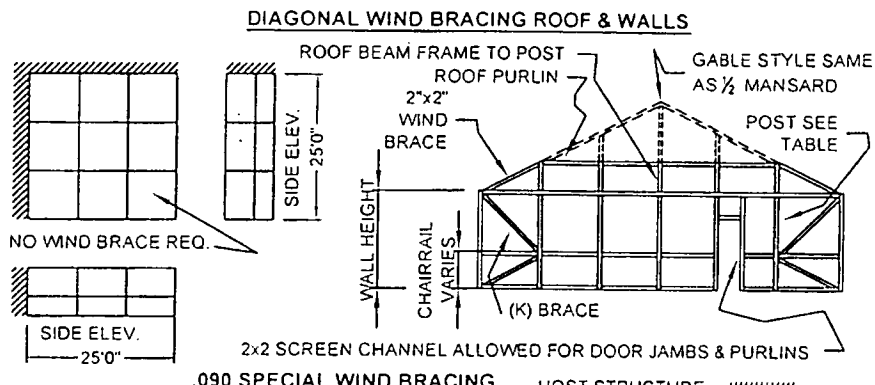
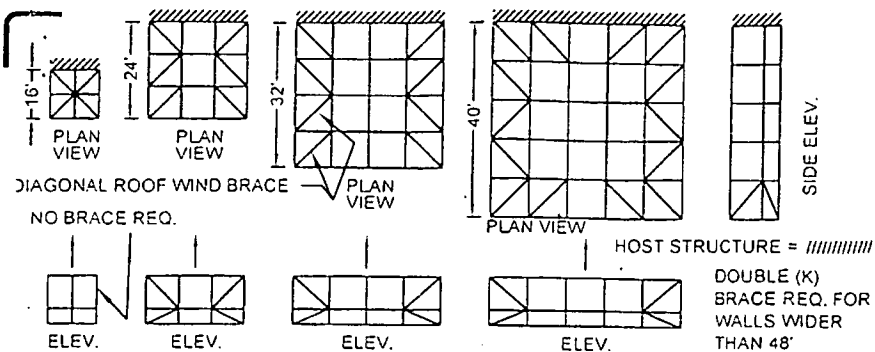
ANTONINO LUCIA
 6903 VISTA-PARKWAY NORTH UNIT #10
 WEST PALM BEACH, FLORIDA 33411
 VALID ONLY W/RAISED ENGINEER SEAL
 SEALED DRAWING VALID FOR ONE JOB
 (561)932-0404
 P.E. NO. 60160

REVISIONS
 2/14/07

ALUMINUM SCREEN ROOF & WALL DETAILS

2004 FLORIDA BUILDING CODE SECTION 2002
INCLUDING 2006 SUPPLEMENT TO THE F.B.C.

REVISIONS
JAN 18, 2007



MAR 1 6 2007

ANTONIO: L...
6903 VISTA PHENIX...
WEST PALM BEACH, FLORIDA 33411
VALID ONLY WRASSED ENGINEER'S SEAL
SEALED DRAWING VALID FOR ONE JOB
(561) 992-0009
P.E. NO: 60160

SCREEN ROOF
POOL/PATIO
ENCLOSURES

Double D
Aluminum
Engineering
LLC

DRAWN BY: BRIAN WILKINSON
CHECKED BY: FERDI BALER
SCALE:
DATE:
PROJECT: SCREEN ROOF

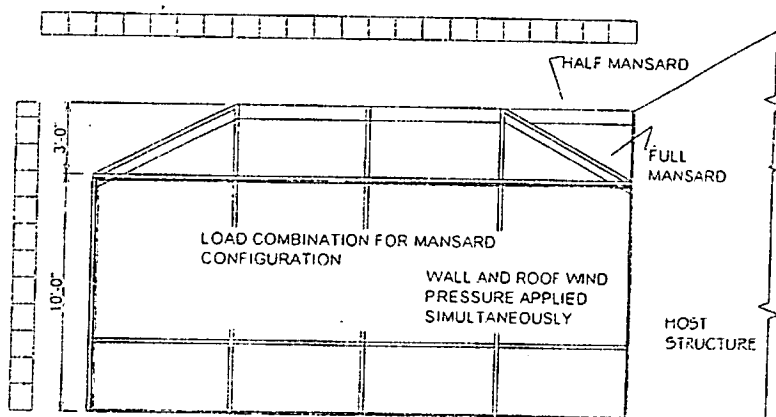
JOB# 2601
SHEET NO. 2

ALUMINUM SCREEN ROOF & WALL SPECIFICATIONS

2004 FLORIDA BUILDING CODE SECTION 2002
INCLUDING 2006 SUPPLEMENT TO THE F.B.C.

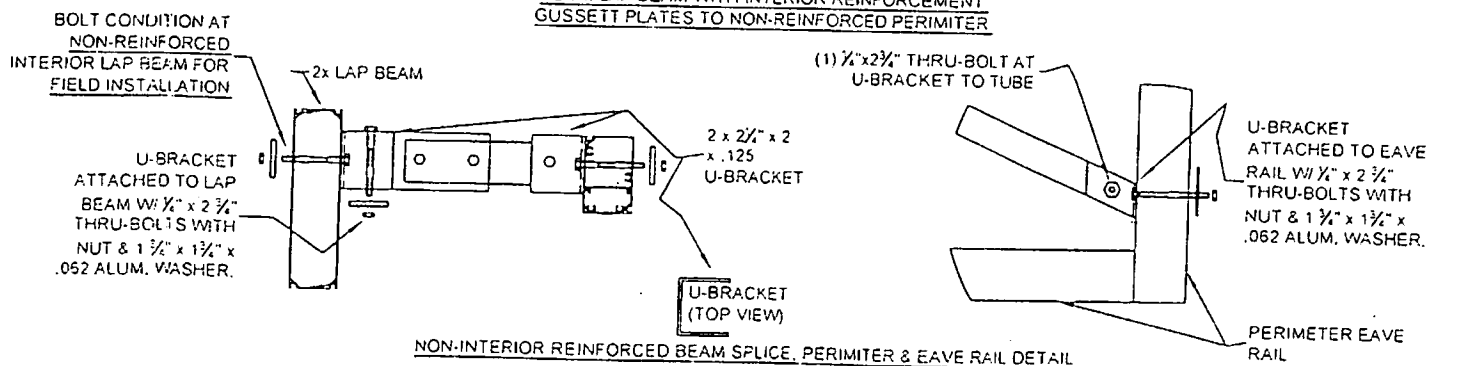
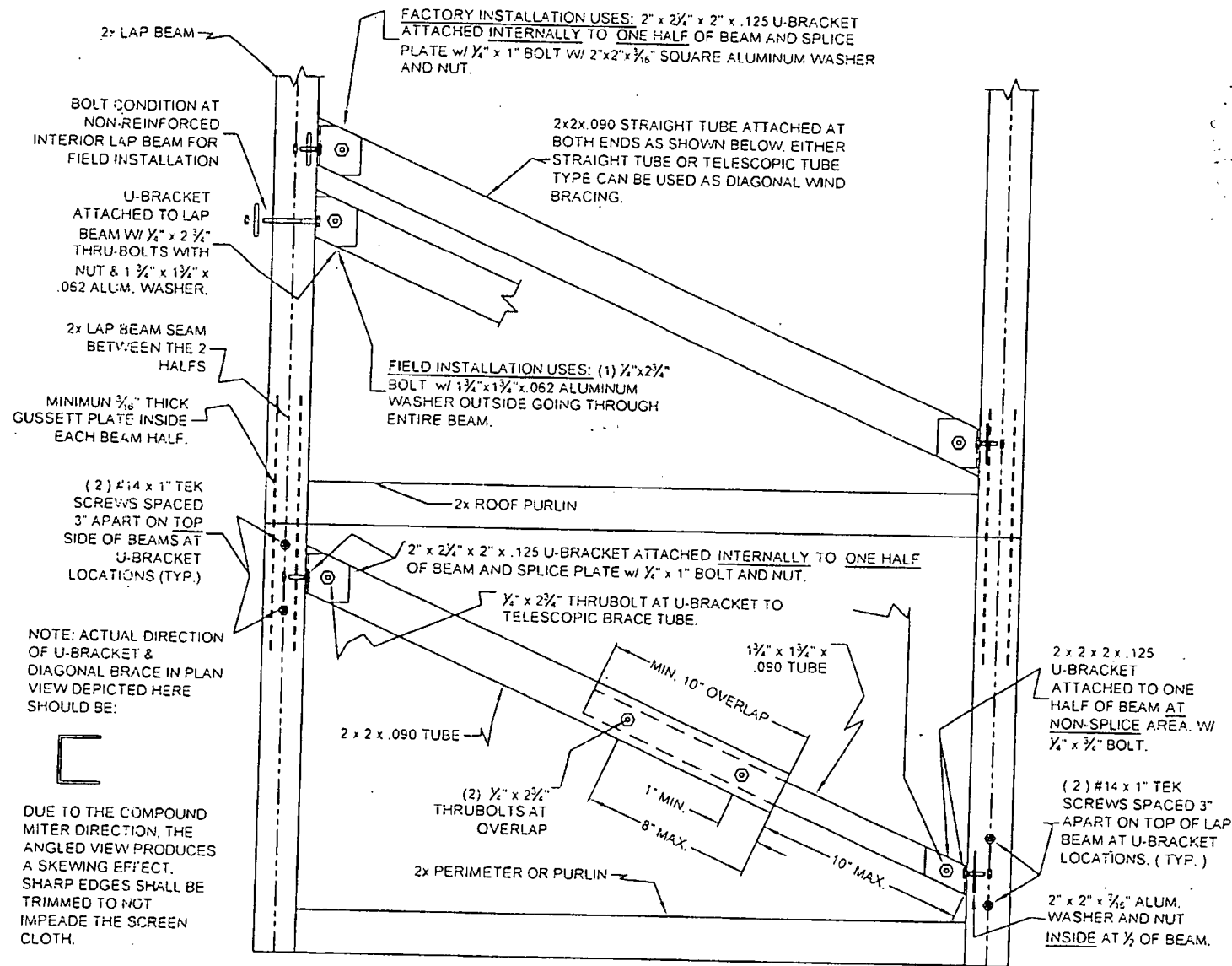
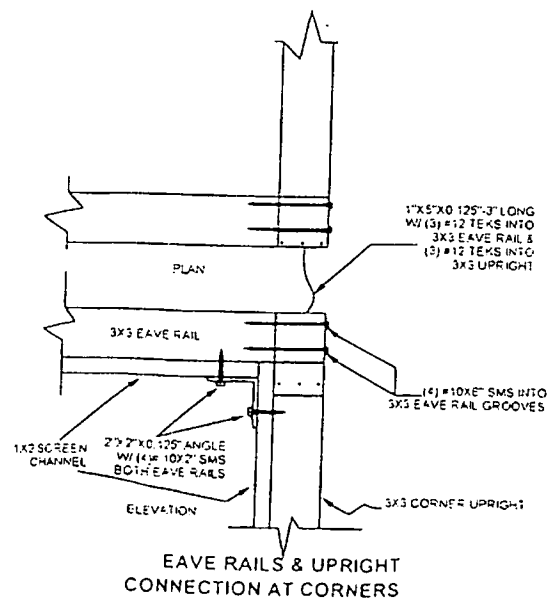
Project Name: Englestad / Pioneer Screen Co
Project Address: 23 Lantana Rd. Stuart. 34996.
Occupancy/Use Type: SCREEN ENCLOSURE

Wind Loads
Code Edition Used: 2004 FBC (INCLUDING 2006 SUPPLEMENT TO THE F.B.C.) OR ASCE 7-02
Basic Wind Speed: 140 (3 second gust) OR ASCE 7-02 _____
Exposure Category: B (B or C or Tested)
Design Pressures: Simultaneous loading with ROOF 6 P.S.F. WINDWARD WALL 21 P.S.F.
LEEWARD WALL 15 P.S.F.
Building Designed as open
Mean Roof Height: ≤ 30 Ft. (Greater than 60 ft. must use ASCE 7-02)
Reviewed for Shearwall Requirements
Impact Protection Not Required (SCREEN)



GENERAL NOTES

1. SHEET METAL SCREWS SHALL BE PLATED OR STAINLESS
2. ALUMINUM FASTENERS SHALL BE OF ALLOY 2024-T4
3. BEAM POST, PURLINS, ANGLES, AND CHANELLS SHALL BE ALLOY 6063-T6, SPLICE GUSSETT PLATES SHALL BE ALLOY 6061-T6.
4. MINIMUM THICKNESS OF THE ALLOYS SHALL BE 0.040 INCHES.
5. CONCRETE TO BE 2500 P.S.I.
6. CONCRETE BOLTS/ANCHOR SHALL BE 24" O.C.
7. CONCRETE BOLTS/ANCHOR SHALL BE AS PER MANUFACTURER SPECS. IN ACCORDANCE WITH F.B.C. 2004.
8. ALL EXTRUSIONS MAY ACCEPT EITHER FLAT OR ROUND SPLINE. INSTALLED TO HOLD 18 / 14 OR 20 / 20 SCREEN INTO EXTRUDED SPLINE GROOVES.



SOLID AND TELESCOPIC DIAGONAL ROOF WIND BRACE CONNECTION

REVISIONS
JAN 18, 2007

MAR 1 9:26 07
ANTONIO LUCIA
6903 VISTA PARKWAY NORTH UNIT #10
WEST PALM BEACH, FLORIDA 33411
VALID ONLY WHEN SEALED ENGINEER SEAL
SEALED DRAWING VALUATION ONE
(561) 932-0094
P.E. NO. 201166

SCREEN ROOF
POOL/PATIO
ENCLOSURES

Double D
Aluminum
Engineering
LLC

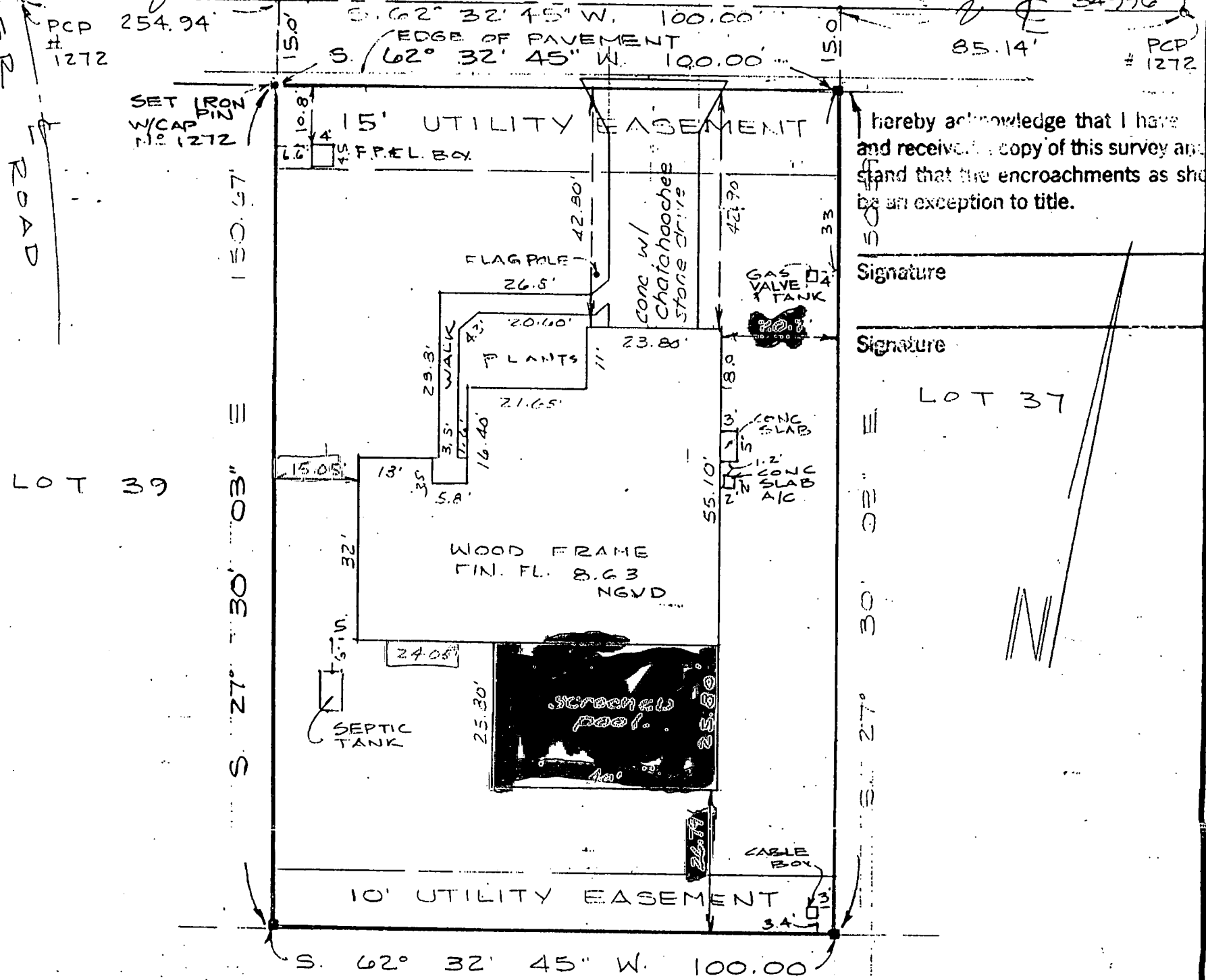
DRAWN BY
BRIAN WILKINSON
CHECKED BY
FERDI BALER
SCALE
DATE
PROJECT
SCREEN ROOF

JOB# 261
SHEET NO.
Three

NOTES

1. LOCATED IN FLOOD ZONE 'B&C'
2. PCP= PERMANENT CONTROL POINT
3. CL= CENTERLINE
4. CONC= CONCRETE
5. ■ = FOUND CONC. MONUMENT
6. CITY WATER

23 LANTANA AVENUE, STUART, FL.



I hereby acknowledge that I have and received a copy of this survey and understand that the encroachments as shown will be an exception to title.

Signature _____ Date _____

Signature _____ Date _____

LOT 37

A BOUNDARY SURVEY OF

LOT 38

RIO VISTA SUBDIVISION

ACCORDING TO THE PLAT THEREOF FILED DECEMBER 11, 1975
IN PLAT BOOK 6, PAGE 95, PUBLIC RECORDS OF
MARTIN COUNTY, FLORIDA

FOR

JULIAN B. & ANN M. ENGELSTAD

UPDATED: 3-4-97
UPDATED: 11-21-94

This survey meets the minimum technical standards for Land Surveying in Florida, as prescribed in Section 472.027, Florida Statutes (or Rule Chapter 61G17-6, F.A.C.). I Hereby Certify to Inland Mortgage Corporation, its Successors and/or Assigns, as their interest may appear; First American Title Insurance Company; Julian B. Engelstad & Ann M. Engelstad that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief. There are no encroachments unless otherwise shown. No search of the public records made for errors or omissions of said description. Easements of record not shown unless furnished.

DON WILLIAMS & ASSOCIATES, INC.

LAND SURVEYORS
P.O. BOX 2342 STUART, FL. 34995
PHONE: 283-2977 (1850 Palm Beach Road)
FAX: 283-2979

W.L. Williams
W.L. WILLIAMS

R.L.S. FLA. REG. No. 1272

RECEIVED
3-21-07

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 1-26-07 Permit Number: _____

OWNER/TITLEHOLDER NAME JULIAN ENGELSTAD Phone (Day) 220-7440 (Fax) _____

Job Site Address: 23 LANTANA LANE City: STUART State: FL Zip: 34994

Legal Desc. Property (Subd/Lot/Block) RIO VISTA S/D - LOT 38 Parcel Number: 123841-002-000-003807-0000

Owner Address (if different): SAME City: _____ State: _____ Zip: _____

Description of Work To Be Done: REPLACE POOL SCREEN ENCL. - STORM DAMAGE

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 12,990.⁰⁰
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: CRAIG RICE
PIONEER SCREEN CO. Phone: 283-9197 Fax: 283-3028

Street: 4386 S.W. PORT WAY City: PALM CITY State: FL Zip: 34990

State Registration Number: _____ State Certification Number: SCC046064 Martin County License Number: 1987-520-0086

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic #: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: ENCL. 1000
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

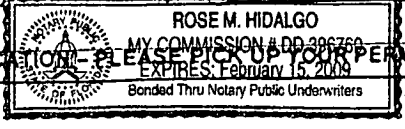
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Julian B. Engelstad
State of Florida, County of: MARTIN
This the 1ST day of DEC, 2006
by JULIAN B. ENGELSTAD who is personally known to me or produced _____ as identification. DL

CONTRACTOR SIGNATURE (required)
Craig Rice Pres
On State of Florida, County of: _____
This the 26TH day of JAN., 2007
by CRAIG RICE, PRES. who is personally known to me or produced _____ As identification. _____

My Commission Expires: Rose M. Hidalgo
Notary Public

My Commission Expires: Rose M. Hidalgo
Notary Public

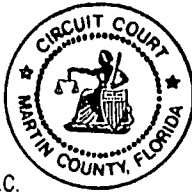


PERMIT APPLICATIONS VALID 30-DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK

BY: T. COPUS D.C.
DATE: 6-26-06



INSTR # 1943356
OR BK 02156 PG 0289
Pg 0289; (1pg)
RECORDED 06/26/2006 10:58:33 AM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY T Copus (asst mgr)

SPACE ABOVE THIS LINE FOR RECORDING DATA

NOTICE OF COMMENCEMENT

Permit No. _____

Tax Folio No. _____

State of Florida

County Of MARTIN

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with chapter 713 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

Legal description of property (include street address, if available) RIO VISTA S/D - LOT 38

General description of improvements REPLACE POOL ENCL. - STORM DAMAGE

Owner's Name JULIAN ENGELSTAD

Address 23 LANTANA LAKE, STUART, FL 34996

Contractor: Pioneer Screen Company

Address: 9011 S.W. Old Kansas Avenue, Stuart, Florida Phone: 772-283-9197 Fax: 772-283-3028

Persons within the State of Florida designed by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7, Florida Statutes.

Name _____

Address N/A Phone: _____ Fax: _____

In addition to himself, owner designates _____

Of _____ Phone: _____ Fax: _____

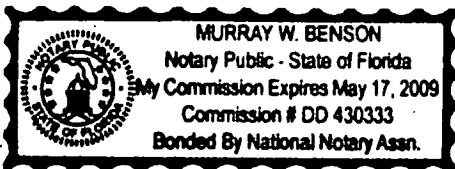
to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified)..

Julian B. Engelstad
Signature of Owner

Julian B. Engelstad
Printed Name of Owner

Notary Rubber Stamp Seal



Driver's License No. of Owner _____

I have relied upon the following identification of the Affiant

Self

Sworn to and subscribed before me this 7th day of MARCH 2006

Murray W. Benson
Notary Signature

MURRAY W. BENSON
Printed Name

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID JL
PIOSC-1

DATE (MM/DD/YYYY)
01/25/07

PRODUCER Kearns Agency of Florida Inc. P O Box 1849 Jensen Beach FL 34958 Phone: 772-334-5822 Fax: 772-334-0940	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
	INSURERS AFFORDING COVERAGE	NAIC #
INSURED Pioneer Screen Co., LLC. 4386 SW Port Way Palm City FL 34990-5583	INSURER A: Owners Insurance Co.	32700
	INSURER B: Auto-Owners Insurance	18988
	INSURER C:	
	INSURER D:	
	INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	72676506	01/01/07	01/01/08	EACH OCCURRENCE	\$ 1,000,000
						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 300,000
						MED EXP (Any one person)	\$ 10,000
						PERSONAL & ADV INJURY	\$ 1,000,000
						GENERAL AGGREGATE	\$ 1,000,000
						PRODUCTS - COMP/OP AGG	\$ 1,000,000
B		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	96-881-068-00	01/01/07	01/01/08	COMBINED SINGLE LIMIT (Ea accident)	\$ 500,000
						BODILY INJURY (Per person)	\$
						BODILY INJURY (Per accident)	\$
						PROPERTY DAMAGE (Per accident)	\$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
						OTHER THAN AUTO ONLY: EA ACC	\$
						AGG	\$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE	\$
						AGGREGATE	\$
							\$
							\$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS	OTHER
						E.L. EACH ACCIDENT	\$
						E.L. DISEASE - EA EMPLOYEE	\$
						E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

Town of Sewalls Point
1 S. Sewalls Point Rd
Stuart FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
LAWRENCE E. KEARNS

ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
12/11/2006

PRODUCER (407)788-3000 FAX (407)788-7933
Insurance Office of America, Inc.
P.O. Box 162207
Altamonte Springs, FL 32716-2207

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE NAIC #

INSURED Pioneer Screen Co, LLC
4386 SW Port Way
Palm City, FL 34990

INSURER A: Bridgefield Employers Ins./Summit
INSURER B:
INSURER C:
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
		GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE	\$
						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$
						MED EXP (Any one person)	\$
						PERSONAL & ADV INJURY	\$
						GENERAL AGGREGATE	\$
						PRODUCTS - COMP/OP AGG	\$
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident)	\$
						BODILY INJURY (Per person)	\$
						BODILY INJURY (Per accident)	\$
						PROPERTY DAMAGE (Per accident)	\$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
						OTHER THAN AUTO ONLY: EA ACC	\$
						AGG	\$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE	\$
						AGGREGATE	\$
							\$
							\$
A		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER	0830-35714	01/01/2007	01/01/2008	X WC STATU-TORY LIMITS	OTH-ER
						E.L. EACH ACCIDENT	\$ 1,000,000
						E.L. DISEASE - EA EMPLOYEE	\$ 1,000,000
						E.L. DISEASE - POLICY LIMIT	\$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
 *10 days notice of cancellation for non-payment of premium.

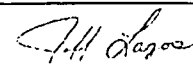
CERTIFICATE HOLDER

Town of Sewall Point
1 South Sewall Point Road
Stuart, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Jeffrey Lagos/GONZAR



NEW ADDRESS:

4386 S.W. PORT WAY
PALM CITY, FL 34990

PHONES:

SAME

AC# 2675395

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L05072200883

DATE	BATCH NUMBER	LICENSE NBR
07/22/2006	050831219	SCC045064

The SPECIALTY STRUCTURE CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

RICE, CRAIG DAVIS
PIONEER SCREEN INC
9011 S W OLD KANSAS AVE
STUART FL 34997

JEB BUSH
GOVERNOR

SIMONE MARSTILLER
SECRETARY

DISPLAY AS REQUIRED BY LAW

2006-2007 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE
Larry C. O'Steen, Tax Collector, P.O. Box 8013, Stuart, FL 34995
(772) 288-3604

LICENSE 987-520-0086 CERT SCC046064
PHONE (772) 283-9197 SIC NO 001799
LOCATION:
4386 SW PORT WAY PC

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR \$	.00	LIC FEE \$	25.00
\$	.00	PENALTY \$	.00
\$	.00	COL. FEE \$	.00
\$	.00	TRANSFER \$	.00
TOTAL			25.00

RECEIPT of PAYMENT
LARRY C. O'STEEN
89 09/21/2006 NORMA
19870005200008
002 2006 0016149.
PIONEER SCREEN, INC

IS SPECIALTY STRUCTURE CONTRACTOR
OF
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE
20 SEPTEMBER 06
DAY OF 2007
AND ENDING SEPTEMBER 30,

RICE, CRAIG D.
PIONEER SCREEN, INC.
4386 SW PORT WAY
PALM CITY, FL 34990

TOWN OF SEWALL'S POINT

-Building Department - Inspection Log

Date of inspection: Mon Wed Fri 6-4, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8599 2	Ciel 33 Rio Vista Koladen	Final - murtas	FAIL	\$40 FEE INSPECTOR:
8552 8552	3 PALMETTO 3 PALMETTO	FINAL ROOF	PASS	CLOSE INSPECTOR:
8576 4	Cumming 83 S River Rd Wilco	cap	PASS	 INSPECTOR:
8592 6	Lelo 27 Simara St SDH	Final re-insp.	PASS	CLOSE INSPECTOR:
8553 3	Engelhardt 23 Lantana La Honer Screen	Final	PASS	CLOSE INSPECTOR:
8615 5	DOSS 85 S River Rd Renar	Gen. Pad & Elec 201-3108 ROK. RETAINING WALL	PASS FAIL	CLOSE INSPECTOR:
0088 7	foole 94 N. Sewalls Walter white	Plumbing	FAIL	 INSPECTOR:
OTHER:	5 MANDALAY MASTER PIECE	2nd FLS. PORCH COLS FRONT/REAR	PASS	



12741 Miramar Parkway 102
Miramar, FL 33027
Off 954-447-6947 / 866-717-5120
Fax 954-447-6946 / 866-717-5119

Please Fax Back to 954-447-6946

(Attention: French Martinez, French@reliablelienssearch.com)

January 30, 2011

City: Town of Sewall's Point
Dept: City Clerk Town Hall
Address: One South Sewall's Point
City,St,Zip: Sewall's Point FL 34996
Phone: 772-287-2455
Fax: 772-220-4765
Fee Pay: 0.00

PLEASE PROVIDE ACCOUNT HISTORY FOR ALL BALANCES

We have been contracted to search and report any Utility balances or fees of anykind, code violations or open/expired permits that may pertain to the below property. This information is required for property title transfer purposes.

Our File #: 11-152610
Tax Folio #: 12-38-41-002-000-00380-7
Owners Name: Secretary of Veterans Affairs
Property Address: 2311 Lanatana Ln, Stuart, FL 34996
Legal Description: RIO VISTA SUBDIVISION

RECORDED OR PENDING LIENS

Recorded/pending liens? Yes ___ No ___ Type of Lien: _____ Amount Due _____
Other Unpaid Invoices: _____ Amount Due _____
Other Unpaid Invoices: _____ Amount Due _____

UTILITY ACCOUNT

Services Provided: ___ Water ___ Sewer ___ Garbage ___ Storm (Garbage/Storm included in taxes? Yes ___ No ___)
Active Account? Yes ___ No ___ Acct # _____ Acct Balance: _____
Through Date: _____ Name on account: _____
Prior utility balances? Yes ___ No ___ if Yes, Acct # _____ Acct Balance _____
Other Service Type: _____ Acct Balance _____

OPEN OR EXPIRED PERMITS

Permit #(s) _____ Permit Type: _____ Permit Status _____
Is Permit in violation? Yes ___ No ___ Comments: _____

CODE VIOLATIONS

Violation/Citation #(s) n/a Violation Type: _____ Amount Due _____
Comments: _____

OTHER/SPECIAL ASSESSMENTS

Assessment Type: _____ Amount Due _____
Other/Comments: _____

If using this form for your reply please sign and date.

Researched by Valerie Meyer Title Blog Dept Clerk Date 2-1-11

TOWN OF SEWALL'S POINT

Town records indicate that the Town of Sewall's Point has no Liens or assessments on the Referenced property. However, it should be noted that the complete record of liens and assessments on this property is on file with the Martin County Clerk of Circuit Court, PO Box 9016, Stuart, Florida 34995-9016.

French

9988

A/C CHANGEOUT & DUCTS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9988	DATE ISSUED:	JANUARY 31, 2012
SCOPE OF WORK:	AC CHANGEOUT & DUCTS		
CONTRACTOR:	CLEAN AIR TECHNOLOGIES		
PARCEL CONTROL NUMBER:	123841002-000-003807	SUBDIVISION	RIO VISTA - L 38
CONSTRUCTION ADDRESS:	23 LANTANA LANE		
OWNER NAME:	BARRETT		
QUALIFIER:	JEFFREY ALMEIDA	CONTACT PHONE NUMBER:	335-2061

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____	UNDERGROUND GAS _____
UNDERGROUND MECHANICAL _____	UNDERGROUND ELECTRICAL _____
STEM-WALL FOOTING _____	FOOTING _____
SLAB _____	TIE BEAM/COLUMNS _____
ROOF SHEATHING _____	WALL SHEATHING _____
TIE DOWN /TRUSS ENG _____	INSULATION _____
WINDOW/DOOR BUCKS _____	LATH _____
ROOF DRY-IN/METAL _____	ROOF TILE IN-PROGRESS _____
PLUMBING ROUGH-IN _____	ELECTRICAL ROUGH-IN _____
MECHANICAL ROUGH-IN _____	GAS ROUGH-IN _____
FRAMING _____	METER FINAL _____
FINAL PLUMBING _____	FINAL ELECTRICAL _____
FINAL MECHANICAL _____	FINAL GAS _____
FINAL ROOF _____	BUILDING FINAL _____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9988
ADDRESS	23 LANTANA LA - BARRETT
DATE : 1/31/12	SCOPE OF WORK AC CHANGEOUT & DUCTS

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)		s.f.	
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)		s.f.	
Total square feet remodel with new trusses: @ \$90.78 per sq. ft.		\$	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	1225
Total number of inspections @ \$75.00 each			75
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	84

Handwritten signature and initials:
 Pd
 Cass
 MW



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 10040 ~~9988~~

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Michael Barrett

CONSTRUCTION ADDRESS: 23 Lantana Lane

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS
- ROOFING

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: Electrical work - AC disconnect box - Smoke det. - L.R cans

VALUE OF CONSTRUCTION \$ _____

<input type="checkbox"/> LOW VOLTAGE	
TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER	
SCOPE OF WORK: _____	VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Timothy L. Lyle
 SIGNATURE OF LICENSED CONTRACTOR

PO Box 216 Jensen Beach 34958
 ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: The Electric Jude LLC

TELEPHONE NO: 772-3346822 FAX NO: _____
PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: ER 13013712

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT. *****

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: Michael Barrett and Laurel Couchman

PARCEL CONTROL #: 12-38-41-002-000 - 00380-7

SUBDIVISION: Rid Vista LOT: 38 BLK: _____ PHASE: _____

SITE ADDRESS: 23 Lantana Lane

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

Town of Sewall's Point

Date: 1/17/2012 BUILDING PERMIT APPLICATION Permit Number: 9988

OWNER/TITLEHOLDER NAME: MICHAEL BARRETT Phone (Day) 285-1968 (Fax) 545-7914

Job Site Address: 23 LANTANA LN City: SEWALLS PT State: FL Zip: 34996

Legal Description RIO VISTA S/D LOT 38 Parcel Control Number: 12-38-41-002-000-00380-7

Owner Address (if different): 7982 SE HIGHPOINT WAY City: HOBE SOUND State: FL Zip: 33455

SCOPE OF WORK (PLEASE BE SPECIFIC): A/c Change Out to Duct work

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO Has a Zoning Variance ever been granted on this property? YES (YEAR) NO

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 1225.00 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: CLEAN AIR TECHNOLOGIES Phone: 772-335-2061 Fax: 772-335-1802

Qualifiers name: JEFFERY ALMEIDA Street: 1578 SE S NIEMEYER CR City: PSL State: FL Zip: 34952

State License Number: CA 2058660 OR: Municipality: License Number:

LOCAL CONTACT: Phone Number:

DESIGN PROFESSIONAL: Fla. License#

Street: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage:

Carport: Total under Roof Elevated Deck: Enclosed area below BFE:

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007.

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) X State of Florida, County of: On This the day of 20 by who is personally known to me or produced As identification. Notary Public

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.) X State of Florida, County of: On This the day of JANUARY 2012 by SANDRA WALSH who is personally known to me or produced MY COMMISSION # DD980431 EXPIRES April 11, 2014 As identification. (407) 398-0153 FloridaNotaryService.com Notary Public

My Commission Expires: SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**
generated on 1/19/2012 1:27:24 PM EST
Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00380-7	27551	23 LANTANA LN, SEWALL'S POINT	\$238,320	1/14/2012

Owner Information

Owner(Current)	BARRETT MICHAEL COUCHMAN LAURA
Owner/Mail Address	7982 SE HIGHPOINT WAY HOBE SOUND FL 33455
Sale Date	11/28/2011
Document Book/Page	2549 0086
Document No.	2305278
Sale Price	230000

Location/Description

Account #	27551	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 38
Parcel Address	23 LANTANA LN, SEWALL'S POINT		
Acres	.3470		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

Market Land Value	\$127,000
Market Improvement Value	\$111,320
Market Total Value	\$238,320



- Sales
- Service
- Installation

Clean Air

TECHNOLOGIES

Air Conditioning / Air Purification
 1578 Niemeyer Circle
 Port St. Lucie, FL 34952

Phone: (772) 335-2061
 Fax: (772) 335-1802

License #
 Lic # CA-CO58660

REPAIR PROPOSAL

Customer Name Mike Barrett Phone 285-1968 Date 1 9 2012

Address 23 LANTANA LN Job Address Fx 545-7914

City, State, Zip Seewards Point FL Work Phone (s) _____

We will repair your equipment at the price on this proposal.

REPAIR SPECIFICATIONS

Diagnosis Complete Duct System Replacement All supply grills included
Manual J And Energy Calculations
with A/c Permit Kitchen and Dining supply can to stay
2 Bedroom supply can's to stay

GEN #	DESCRIPTION	PRICE	
		ESA	NON

Warranty on these repairs as follows: 1 year Parts Warranty
1 year Labor Warranty

ESA - Energy Savings agreement is a semi-annual complete precision tune-up agreement with Clean Air Technologies Inc.. All ESA customers receive a 15% discount on all repairs.

Option (below) Alternative (below) Is Is not included in price. ∞

TOTAL AMOUNT \$ 3000

Terms 1-19-12
 Acceptance (Customer) _____ Approved (Company) _____

By _____ Date 1 19 12 By _____ Date _____

PO03/005

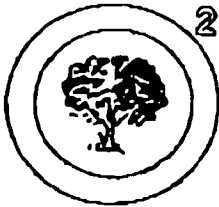
Jan 9 2012 11:25

CLEAN AIR TECHNOLOGIES FAX: 772-335-1802

1678 Nlameyer Circle
Port St. Lucie, FL 34852

Clean Air Technologies

(772) 335-2061
Fax 335-1802



PROPOSAL AND AGREEMENT
AAC Sales Service Installation
By Jeffrey Almeida - Lic # CA-C050660

CUSTOMER NAME Mike Barrett
ADDRESS 23 LANTANA LN
CITY, STATE, ZIP Sewell Point FL 34996

PHONE 285-1968 DATE 1 9 2012
JOB ADDRESS Fax 545-7914
WORK PHONE _____

We will furnish, install and service the equipment listed below at the price, terms and conditions outlined on all pages of this proposal.

EQUIPMENT SPECIFICATIONS

Make LENNOX 4 TON Model Number(s) XCA1048-230 CBX3AMV048230
SEER 18 EER _____ BTUH Cooling 49,500 BTUH Heating 9 CFM _____

Installation shall include: 3/8 + 7/8 COPPER W/ LINE COVER - NEW PAN
TIE DOWNS SAFETY-FLOAT-SWITCH
TWO STAGE OPERATION W/ HUMIDITY CONTROL
FILTER RACK ON UNIT MERV 10

X = Yes

- | | |
|--|---|
| <input type="checkbox"/> New Amp disconnect | <input checked="" type="checkbox"/> Make air tight plenum transition <u>NEW</u> |
| <input checked="" type="checkbox"/> New low voltage wiring | <input type="checkbox"/> New dehumidistat |
| <input type="checkbox"/> New reinforced equipment pad | <input type="checkbox"/> New supply diffuser |
| <input type="checkbox"/> New vibration isolation pads | <input type="checkbox"/> New duct run from _____ to _____ |
| <input checked="" type="checkbox"/> New properly sized refrigerant lines | <input type="checkbox"/> New return air filter grill |
| <input type="checkbox"/> New, clean, dry ACR copper tubing | <input type="checkbox"/> Noise reducing flexible duct connector |
| <input checked="" type="checkbox"/> Change to manufacturer's specs | <input checked="" type="checkbox"/> Clean work area to customer's satisfaction |
| <input checked="" type="checkbox"/> Insulate refrigerant suction lines | <input type="checkbox"/> New condensate drain system |
| <input checked="" type="checkbox"/> Install refrigerant drier(s) | <input type="checkbox"/> Install aux. condensate drain pan |
| <input type="checkbox"/> Evacuate refrigerant system | <input checked="" type="checkbox"/> New high efficiency air filter |
| <input type="checkbox"/> Remove existing equipment from premises | <input checked="" type="checkbox"/> Meet all code requirements |
| <input checked="" type="checkbox"/> Install new <u>Comet</u> thermostat | <input type="checkbox"/> <u>10</u> year parts warranty |
| <input type="checkbox"/> New copper wire from _____ to _____ | <input checked="" type="checkbox"/> <u>1</u> year labor warranty |
| <input checked="" type="checkbox"/> Complete system start up | <input type="checkbox"/> <u>10</u> year compressor |
| | <input checked="" type="checkbox"/> <u>1</u> year service agreement |

____ Option (below) ____ Alternative (below) ____ Is (____ Is not) Included in price

Terms: LENNOX 1000⁰⁰ Rebate
AETZ ALL REBATES \$4225⁰⁰

Installed Price \$6400⁰⁰
FPL - \$1175⁰⁰
Taxes \$INCLUDED
Total Amount \$ _____
Down Payment \$ _____
Balance Due \$5225⁰⁰

Acceptance by: [Signature] 1-19-12
Date: [Signature] Approved by: _____ Date: _____



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

Air Conditioning Change out Affidavit

Residential Commercial _____
 Package Unit ___ Yes No (Use Condenser side of form below for equipment listing)
 Duct Replacement Yes ___ No - Refrigerant line replacement Yes ___ No
 Flushing Existing Refrigerant lines ___ Yes ___ No - Adding Refrigerant Drier Yes ___ No
 Rooftop A/C Stand Installation ___ Yes No - Curb Installation ___ Yes No
 Smoke Detector in Supply (over 2000 CFM) ___ Yes No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: LENNOX Model# CBX32MV48
 Volts 230 CFM's 1633 Heat Strip 9 Kw
 Min. Circuit Amps 52 Wire gauge 6
 Max. Breaker size 60 Min. Breaker size 58
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type 410A
 Location: Existing New _____
 Attic/Garage/Closet (specify) ATTIC
 Access: _____
 (Contractor must provide ladder if required)

Condenser: Mfg LENNOX Model# XC21-48
 Volts 230 SEER/EER 17.8/12.8 BTU's 49,000
 Min. Circuit Amps 28.5 Wire gauge 8
 Max. Breaker size 45 Min. Breaker size 30
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type 410A
 Location: Existing New _____
 (Left/Right/Rear/Front/Roof) LEFT
 Condensate Location LEFT NEAR UNIT

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: Rudd Model# N/A
 Volts 230 CFM's NA Heat Strip 10 Kw
 Min. Circuit Amps 60 Wire gauge 6
 Max. Breaker size 60 Min. Breaker size 60
 Ref. line size: Liquid 3/8 Suction 3/4
 Refrigerant type R22
 Location: Ext. New _____
 (Attic/Garage/Closet (specify) ATTIC
 Access: PULL DOWN STAIRS

Condenser: Mfg Rudd Model# JAZ048
 Volts 230 SEER/EER N/A BTU's N/A
 Min. Circuit Amps 35 Wire gauge 8
 Max. Breaker size 40 Min. Breaker size 30
 Ref. line size: Liquid 3/8 Suction 3/4
 Refrigerant type R22
 Location: Ext. New _____
 (Left/Right/Rear/Front/Roof) LEFT
 Condensate Location NEXT TO UNIT

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further affirm that this equipment is considered matched as required by FBC - R (N)1107 & 1108

[Signature]
 Signature

1-17-12
 Date



STANDARD CONSTRUCTION

MATERIAL:
14 GAUGE/G-90 ASTM A-653 COLD-ROLLED GALVANIZED STEEL

STANDARD SIZES:

TYPE	BASE DEPTH	WIDTH	HEIGHT	PACK QTY.
CUTD4	1.25"	1"	4"	4 PKG.
CUTD4-B	1.25"	1"	4"	BULK
CUTD6	1.25"	1"	6"	4 PKG.
CUTD6-B	1.25"	1"	6"	BULK
CUTD8-B	1.25"	1"	8"	BULK
CUTD11-B	1.25"	1"	11"	BULK
CUTD14-B	1.25"	1"	14"	BULK
CUTD18-B	1.25"	1"	18"	BULK

FEATURES

GALVANIZED STEEL PROVIDES EXCELLENT CORROSION RESISTANCE AND LONGEVITY.

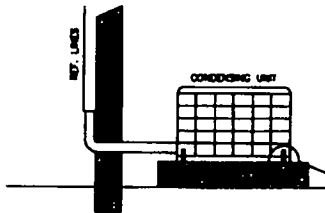
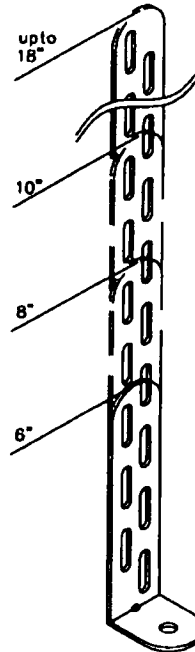
SLATTED DESIGN PROVIDES A UNIVERSAL MOUNT.

AVAILABLE IN PEG BOARD DISPLAY PACKAGES (4 PER PACKAGE) UPTO 6".

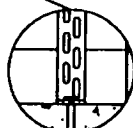
BULK PACKAGING AVAILABLE FOR ALL SIZES.

AVAILABLE IN ALUMINUM FOR EVEN GREATER CORROSION RESISTANCE (MODEL CUTDAX)

SINGLE HOLE DESIGN



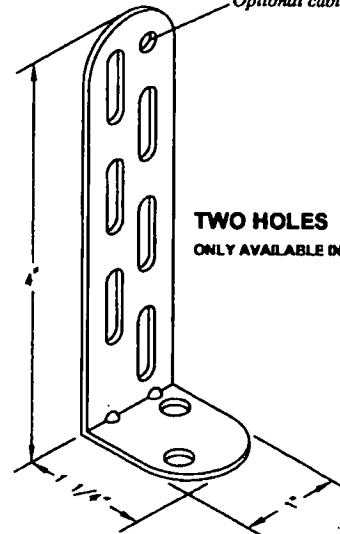
NOTE: ENGINEERING DATA AND CALCULATIONS AVAILABLE UPON REQUEST.



anchor with (1) 1/4" diameter ITW Buildex (or equivalent) carbon steel Tapcon embedded 1-3/4" minimum into 3,000 psi concrete with 2-1/2" minimum edge distance.

Optional cable hole

TWO HOLES DESIGN ONLY AVAILABLE IN 4" HEIGHT



JOB NAME: _____

LOCATION: _____

ARCHITECT: _____

ENGINEER: _____

CONTRACTOR: _____

CONTACT MIAMI TECH INC. FOR ADDITIONAL INFORMATION OR WITH SPECIAL REQUIREMENTS.

3611 NW 74TH ST
MIAMI, FL 33147
PHONE: 305-693-7054 FAX: 305-693-6152

WEB: WWW.MIAMITECH.COM
EMAIL: SALES@MIAMITECH.COM

CUTD

CONDENSING UNIT TIE DOWN
PRODUCT SPECIFICATIONS

NOTE: ALL DRAWINGS SUBJECT TO CHANGE WITHOUT PRIOR NOTICE.



DESIGN BY: AF	DATE: 06-01-2009	SCALE: NOT TO SCALE
CHECKED BY: IV	DATE: 06-30-2010	REVISION: IG

A/H

TABLE 6 - ELECTRIC HEAT DATA

SINGLE PHASE ELECTRIC HEAT					CBX32MV-048, CBX32MV-060 and CBX32MV-068							
Model Number	No. of Steps	Volts Input	kW Input	1 Btuh Input	2 Blower Motor Full Load Amps	3 Minimum Circuit Ampacity			5 Maximum Overcurrent Protection			
						Circuit 1	Circuit 2	Circuit 3	Circuit 1	Circuit 2	Circuit 3	
5 kW 4 lbs. ECB29-5 (28K31) Terminal Block ECB29-5CB (28K32) 30A Circuit breaker	1	208	3.8	12,800	9.1	34	---	---	40	---	---	
		220	4.2	14,300	9.1	37	---	---	45	---	---	
		230	4.6	15,700	9.1	37	---	---	45	---	---	
		240	5.0	17,100	9.1	37	---	---	45	---	---	
6 kW 4 lbs. ECB29-6 (47L22) Terminal Block ECB29-6CB (47L23) 35A Circuit breaker	1	208	4.5	15,400	9.1	36	---	---	45	---	---	
		220	5.0	17,100	9.1	43	---	---	50	---	---	
		230	5.5	18,800	9.1	43	---	---	50	---	---	
		240	6.0	20,500	9.1	43	---	---	50	---	---	
8 kW 5 lbs. ECB29-8 (28K33) Terminal Block ECB29-8CB (28K34) 45A Circuit breaker	2	208	6.0	20,500	9.1	47	---	---	50	---	---	
		220	6.7	22,900	9.1	53	---	---	60	---	---	
		230	7.3	25,100	9.1	53	---	---	60	---	---	
		240	8.0	27,300	9.1	53	---	---	60	---	---	
9 kW 5 lbs. ECB29-9CB (10L11) 50A Circuit breaker ECB29EH-9CB (91K67) 50A Circuit breaker	2	208	6.8	23,100	9.1	52	---	---	60	---	---	
		220	7.6	25,800	9.1	58	---	---	60	---	---	
		230	8.3	28,200	9.1	58	---	---	60	---	---	
		240	9.0	30,700	9.1	58	---	---	60	---	---	
12.5 kW 10 lbs. ECB29-12.5CB (28K37) (1) 25A & (1) 50A Circuit breaker ECB29EH-12.5CB (91K68) (1) 25A & (1) 50A Circuit breaker	3	208	9.4	32,000	9.1	30	31	---	⁴ 40	⁴ 45	---	
		220	10.5	35,800	9.1	33	35	---	⁴ 45	50	---	
		230	11.5	39,200	9.1	33	35	---	⁴ 45	50	---	
		240	12.5	42,600	9.1	33	35	---	⁴ 45	50	---	
15 kW 12 lbs. ECB29-15CB (28K38) (1) 30A & (1) 60A Circuit breaker ECB29EH-15CB (91K69) (1) 30A & (1) 60A Circuit breaker	3	208	11.3	38,400	9.1	34	37	---	⁴ 40	⁴ 50	---	
		220	12.6	43,000	9.1	37	42	---	⁴ 45	60	---	
		230	13.5	47,000	9.1	37	42	---	⁴ 45	60	---	
		240	15.0	51,200	9.1	37	42	---	⁴ 45	60	---	
20 kW 19 lbs. ECB29-20CB (11L31) (1) 50A & (1) 60A Circuit breaker ECB29EH-20CB (91K70) (1) 50A & (1) 60A Circuit breaker	4	208	15.0	51,200	9.1	53	41	---	60	60	---	
		220	16.8	57,300	9.1	58	46	---	60	60	---	
		230	18.4	62,700	9.1	58	46	---	60	60	---	
		240	20.0	68,200	9.1	58	46	---	60	60	---	
25 kW 19 lbs. ECB29-25CB (28K40) (3) 50A Breakers	6	208	18.8	64,100	9.1	49	31	31	50	⁴ 45	⁴ 45	
		220	21.0	71,700	9.1	54	35	35	60	50	50	
		230	23.0	78,300	9.1	54	35	35	60	50	50	
		240	25.0	85,300	9.1	54	35	35	60	50	50	
THREE PHASE ELECTRIC HEAT												
8 kW 5 lbs. ECB29-8 (28K42) Terminal block	3	208	6.0	20,500	9.1	32	---	---	40	---	---	
		220	6.7	22,900	9.1	35	---	---	40	---	---	
		230	7.3	25,100	9.1	35	---	---	40	---	---	
		240	8.0	27,300	9.1	35	---	---	40	---	---	
10 kW 6 lbs. ECB29-10 (28K43) Terminal block	3	208	7.5	25,600	9.1	37	---	---	45	---	---	
		220	8.4	28,700	9.1	41	---	---	50	---	---	
		230	9.2	31,400	9.1	41	---	---	50	---	---	
		240	10.0	34,100	9.1	41	---	---	50	---	---	
15 kW 12 lbs. ECB29-15CB (28K44) 50A Circuit breaker	3	208	11.3	38,400	9.1	50	---	---	60	---	---	
		220	12.6	43,000	9.1	56	---	---	60	---	---	
		230	13.5	47,000	9.1	56	---	---	60	---	---	
		240	15.0	51,200	9.1	56	---	---	60	---	---	
20 kW 19 lbs. ECB29-20CB (28K45) (2) 35A Circuit breakers	6	208	15.0	51,200	9.1	37	21	---	⁴ 45	⁴ 30	---	
		220	16.8	57,300	9.1	41	24	---	⁴ 50	35	---	
		230	18.4	62,700	9.1	41	24	---	⁴ 50	35	---	
		240	20.0	68,200	9.1	41	24	---	⁴ 50	35	---	
25 kW 19 lbs. ECB29-25CB (28K46) (2) 45A Circuit breakers	6	208	18.8	64,100	9.1	44	27	---	50	⁴ 40	---	
		220	21.0	71,700	9.1	49	30	---	⁴ 60	45	---	
		230	23.0	78,300	9.1	49	30	---	⁴ 60	45	---	
		240	25.0	85,300	9.1	49	30	---	⁴ 60	45	---	

NOTE - Circuit 1 Minimum Circuit Ampacity includes the Blower Motor Full Load Amps.

¹ Electric heater capacity only — does not include additional blower motor heat capacity.

² Amps shown are for blower motor only.

³ Refer to National or Canadian Electrical Code manual to determine wire, fuse and disconnect size requirements. Use wires suitable for at least 167°F (75°C).

⁴ Bold text indicates that the circuit breaker on "CB" circuit breaker models must be replaced with size noted.

⁵ HACR-type circuit breaker or fuse.

A/H

SPECIFICATIONS

General Data		Model Number	CBX32MV-048	CBX32MV-060	CBX32MV-068
	Nominal cooling capacity - tons (kW)		4 (14.1)	5 (17.6)	5+ (17.6+)
	Refrigerant		R-410A	R-410A	R-410A
Connections in. (mm)	Suction (vapor) line - sweat		7/8 (22.2)	1-1/8 (28)	1-1/8 (28)
	Liquid line - sweat		3/8 (9.5)	3/8 (9.5)	3/8 (9.5)
	Condensate drain (fpt)		(2) 3/4 (19)	(2) 3/4 (19)	(2) 3/4 (19)
Indoor Coil	Net face area - ft. ² (m ²)		7.22 (0.67)	7.22 (0.67)	7.77 (0.72)
	Tube outside diameter - in. (mm)		3/8 (9.5)	3/8 (9.5)	3/8 (9.5)
	Number of rows		3	3	3
	Fins per inch (fins per m)		12 (472)	12 (472)	12 (472)
Blower Data	Wheel nominal diameter x width - in. (mm)		12 x 9 (305 x 229)	12 x 9 (305 x 229)	15 x 9 (381 x 229)
	Motor output - hp (W)		1 (746)	1 (746)	1 (746)
Filters	¹ Number and size - in.		(1) 20 x 24 x 1	(1) 20 x 24 x 1	(1) 20 x 25 x 1
	mm		508 x 610 x 25	508 x 610 x 25	508 x 635 x 25
Shipping Data - 1 Package - lbs. (kg)			212 (96)	212 (96)	244 (111)
ELECTRICAL DATA					
Voltage - phase - 60hz			208/230V-1ph	208/230V-1ph	208/230V-1ph
² Maximum overcurrent protection (unit only)			20	20	20
Minimum circuit ampacity (unit only)			11	11	11
Optional Accessories - Must Be Ordered Extra					
Down-Flow Combustible Base - Ship. weight - lbs. (kg)			34J73 - 8 (4)	34J73 - 8 (4)	82M57 - 8 (4)
Electric Heat		2.5 to 25 kW - See Electric Heat Data tables			
Horizontal Support Frame Kit - Ship. weight - lbs. (kg)			56J18 - 18 (8)	56J18 - 18 (8)	N/A
Side Return Unit Stand (Up-Flow) - Ship. weight - lbs. (kg)			45K32 - 6 (3)	45K32 - 6 (3)	N/A
SignatureStat™ Home Comfort Control	2 Heat / 2 Cool - Heat Pump		81M28	81M28	81M28
	2 Heat/2 Cool - Conventional		81M27	81M27	81M27
	1 Heat/1 Cool - Conventional or Heat Pump		81M26	81M26	81M26
Single-Point Power Source Control Box - Ship. wt. - lbs. (kg)			21H39 - 5 (2)	21H39 - 5 (2)	21H39 - 5 (2)
Wall Hanging Bracket Kit (Up-Flow) - Ship. weight - lbs. (kg)			45K30 - 3 (1)	45K30 - 3 (1)	45K30 - 3 (1)

¹ Disposable frame type filter.

² HACR type circuit breaker or fuse.

Optional CIRCUIT BREAKER KITS - Must Be Ordered Extra							
Amperage	25	30	35	40	45	50	60
Single Phase	23M58	23M59	23M60	23M61	23M62	23M63	23M64
Three Phase	---	23M65	---	23M66	23M67	23M68	23M69

CONDENSER

Electrical Data

208/230V-60 Hz-1 Ph

Model Number	Unit		Compressor		Condenser Fan			
	Maximum Over-current Protection (amps) ¹	Minimum Circuitry Ampacity ²	Rated Load Amps (RLA)	Locked Rotor Amps (LRA)	Motor HP	Nominal RPM 1-Stage	Nominal RPM 2-Stage	Full Load Amps (FLA)
XC21-024-230-04	25	16.7	10.3	52.0	1/3	700	820	2.8
XC21-024-230-05	30	18.9	13.5	58.3	1/4	475	550	2.0
XC21-024-230-08	30	18.9	13.5	58.3	1/4	475	550	2.0

208/230V-60 Hz-1 Ph

Model Number	Unit		Compressor		Condenser Fan			
	Maximum Over-current Protection (amps) ¹	Minimum Circuitry Ampacity ²	Rated Load Amps (RLA)	Locked Rotor Amps (LRA)	Motor HP	Nominal RPM 1-Stage	Nominal RPM 2-Stage	Full Load Amps (FLA)
XC21-036-230-04	40	23.7	16.7	82.0	1/3	700	820	2.8
XC21-036-230-05	35	22.9	16.7	82.0	1/4	475	550	2.0
XC21-036-230-08	35	22.9	16.7	82.0	1/4	475	550	2.0

208/230V-60 Hz-1 Ph

Model Number	Unit		Compressor		Condenser Fan			
	Maximum Over-current Protection (amps) ¹	Minimum Circuitry Ampacity ²	Rated Load Amps (RLA)	Locked Rotor Amps (LRA)	Motor HP	Nominal RPM 1-Stage	Nominal RPM 2-Stage	Full Load Amps (FLA)
XC21-048-230-04	50	29.3	21.2	96.0	1/3	700	820	2.8
XC21-048-230-05	45	28.5	21.2	96.0	1/4	600	675	2.0
XC21-048-230-08	45	28.5	21.2	96.0	1/4	600	675	2.0

208/230V-60 Hz-1 Ph

Model Number	Unit		Compressor		Condenser Fan			
	Maximum Over-current Protection (amps) ¹	Minimum Circuitry Ampacity ²	Rated Load Amps (RLA)	Locked Rotor Amps (LRA)	Motor HP	Nominal RPM 1-Stage	Nominal RPM 2-Stage	Full Load Amps (FLA)
XC21-060-230-04	60	34.9	25.7	118.0	1/3	700	820	2.8
XC21-060-230-05	50	25.7	25.7	118.0	1/4	600	675	2.0
XC21-060-230-08	50	25.7	25.7	118.0	1/4	600	675	2.0

¹ HACR type circuit breaker or fuse.

² Refer to National or Canadian Electrical Code manual to determine wire, fuse and disconnect size requirements.



This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2011.

Certificate of Product Ratings

AHRI Certified Reference Number: 5012258

Date: 1/16/2012

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: XC21-048-230-07

Indoor Unit Model Number: CBX32MV-048*+TDR

Manufacturer: LENNOX INDUSTRIES, INC.

Trade/Brand name: XC21 SERIES

Manufacturer responsible for the rating of this system combination is LENNOX INDUSTRIES, INC.

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	49500
EER Rating (Cooling):	13.20
SEER Rating (Cooling):	18.00

* Ratings followed by an asterisk (*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

DISCLAIMER

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CERTIFICATE NO.: 129712088039150455

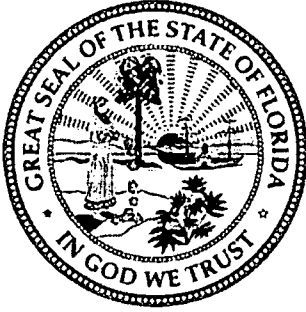
FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

<p>Project Name: MIKE BARRETT_23 LANTANA Street: 23 LANTANA LN City, State, Zip: SEWALLS POINT , FL , 34996 Owner: MIKE BARRETT Design Location: FL, West Palm Beach</p>	<p>Builder Name: Clean Air Technologies Permit Office: Permit Number: Jurisdiction:</p>
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<table style="width:100%; border-collapse: collapse;"> <tr> <td style="width:30%;">1. New construction or existing</td> <td style="width:30%;">Existing (Projecte</td> <td style="width:40%;"></td> </tr> <tr> <td>2. Single family or multiple family</td> <td>Single-family</td> <td></td> </tr> <tr> <td>3. Number of units, if multiple family</td> <td>1</td> <td></td> </tr> <tr> <td>4. Number of Bedrooms</td> <td>3</td> <td></td> </tr> <tr> <td>5. Is this a worst case?</td> <td>No</td> <td></td> </tr> <tr> <td>6. Conditioned floor area (ft²)</td> <td>1955</td> <td></td> </tr> <tr> <td>7. Windows(285.5 sqft.)</td> <td>Description</td> <td>Area</td> </tr> <tr> <td>a. U-Factor:</td> <td>Dbl, default</td> <td>240.80 ft²</td> </tr> <tr> <td>SHGC:</td> <td>Clear, default</td> <td></td> </tr> <tr> <td>b. U-Factor:</td> <td>Sgl, default</td> <td>24.00 ft²</td> </tr> <tr> <td>SHGC:</td> <td>Clear, default</td> <td></td> </tr> <tr> <td>c. U-Factor:</td> <td>Dbl, default</td> <td>20.67 ft²</td> </tr> <tr> <td>SHGC:</td> <td>Clear, default</td> <td></td> </tr> <tr> <td>d. U-Factor:</td> <td>N/A</td> <td>ft²</td> </tr> <tr> <td>SHGC:</td> <td></td> <td></td> </tr> <tr> <td>e. U-Factor:</td> <td>N/A</td> <td>ft²</td> </tr> <tr> <td>SHGC:</td> <td></td> <td></td> </tr> <tr> <td>8. Floor Types (1955.0 sqft.)</td> <td>Insulation</td> <td>Area</td> </tr> <tr> <td>a. Slab-On-Grade Edge Insulation</td> <td>R=0.0</td> <td>1955.00 ft²</td> </tr> <tr> <td>b. N/A</td> <td>R=</td> <td>ft²</td> </tr> <tr> <td>c. N/A</td> <td>R=</td> <td>ft²</td> </tr> </table>	1. New construction or existing	Existing (Projecte		2. Single family or multiple family	Single-family		3. Number of units, if multiple family	1		4. Number of Bedrooms	3		5. Is this a worst case?	No		6. Conditioned floor area (ft ²)	1955		7. Windows(285.5 sqft.)	Description	Area	a. U-Factor:	Dbl, default	240.80 ft ²	SHGC:	Clear, default		b. U-Factor:	Sgl, default	24.00 ft ²	SHGC:	Clear, default		c. U-Factor:	Dbl, default	20.67 ft ²	SHGC:	Clear, default		d. U-Factor:	N/A	ft ²	SHGC:			e. U-Factor:	N/A	ft ²	SHGC:			8. Floor Types (1955.0 sqft.)	Insulation	Area	a. Slab-On-Grade Edge Insulation	R=0.0	1955.00 ft ²	b. N/A	R=	ft ²	c. N/A	R=	ft ²	<table style="width:100%; border-collapse: collapse;"> <tr> <td style="width:30%;">9. Wall Types(2044.8 sqft.)</td> <td style="width:30%;">Insulation</td> <td style="width:40%;">Area</td> </tr> <tr> <td>a. Concrete Block - Ext Insul, Exterior</td> <td>R=4.2</td> <td>1723.50 ft²</td> </tr> <tr> <td>b. Frame - Wood, Exterior</td> <td>R=11.0</td> <td>321.33 ft²</td> </tr> <tr> <td>c. N/A</td> <td>R=</td> <td>ft²</td> </tr> <tr> <td>d. N/A</td> <td>R=</td> <td>ft²</td> </tr> <tr> <td>10. Ceiling Types (1955.0 sqft.)</td> <td>Insulation</td> <td>Area</td> </tr> <tr> <td>a. Under Attic (Vented)</td> <td>R=19.0</td> <td>1955.00 ft²</td> </tr> <tr> <td>b. N/A</td> <td>R=</td> <td>ft²</td> </tr> <tr> <td>c. N/A</td> <td>R=</td> <td>ft²</td> </tr> <tr> <td>11. Ducts</td> <td></td> <td></td> </tr> <tr> <td>a. Sup: Attic Ret: Attic AH: Attic Sup. R= 6, 500 ft²</td> <td></td> <td></td> </tr> <tr> <td>12. Cooling systems</td> <td></td> <td></td> </tr> <tr> <td>a. Central Unit</td> <td>Cap: 49.5 kBtu/hr</td> <td>SEER: 18</td> </tr> <tr> <td>13. Heating systems</td> <td></td> <td></td> </tr> <tr> <td>a. Electric Strip Heat</td> <td>Cap: 32.1 kBtu/hr</td> <td>COP: 1</td> </tr> <tr> <td>14. Hot water systems</td> <td></td> <td></td> </tr> <tr> <td>a. Electric</td> <td>Cap: 40 gallons</td> <td>EF: 0.92</td> </tr> <tr> <td>b. Conservation features</td> <td>None</td> <td></td> </tr> <tr> <td>15. Credits</td> <td></td> <td>CF, Pstat</td> </tr> </table>	9. Wall Types(2044.8 sqft.)	Insulation	Area	a. Concrete Block - Ext Insul, Exterior	R=4.2	1723.50 ft ²	b. Frame - Wood, Exterior	R=11.0	321.33 ft ²	c. N/A	R=	ft ²	d. N/A	R=	ft ²	10. Ceiling Types (1955.0 sqft.)	Insulation	Area	a. Under Attic (Vented)	R=19.0	1955.00 ft ²	b. N/A	R=	ft ²	c. N/A	R=	ft ²	11. Ducts			a. Sup: Attic Ret: Attic AH: Attic Sup. R= 6, 500 ft ²			12. Cooling systems			a. Central Unit	Cap: 49.5 kBtu/hr	SEER: 18	13. Heating systems			a. Electric Strip Heat	Cap: 32.1 kBtu/hr	COP: 1	14. Hot water systems			a. Electric	Cap: 40 gallons	EF: 0.92	b. Conservation features	None		15. Credits		CF, Pstat
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b. U-Factor:	Sgl, default	24.00 ft ²																																																																																																																							
SHGC:	Clear, default																																																																																																																								
c. U-Factor:	Dbl, default	20.67 ft ²																																																																																																																							
SHGC:	Clear, default																																																																																																																								
d. U-Factor:	N/A	ft ²																																																																																																																							
SHGC:																																																																																																																									
e. U-Factor:	N/A	ft ²																																																																																																																							
SHGC:																																																																																																																									
8. Floor Types (1955.0 sqft.)	Insulation	Area																																																																																																																							
a. Slab-On-Grade Edge Insulation	R=0.0	1955.00 ft ²																																																																																																																							
b. N/A	R=	ft ²																																																																																																																							
c. N/A	R=	ft ²																																																																																																																							
9. Wall Types(2044.8 sqft.)	Insulation	Area																																																																																																																							
a. Concrete Block - Ext Insul, Exterior	R=4.2	1723.50 ft ²																																																																																																																							
b. Frame - Wood, Exterior	R=11.0	321.33 ft ²																																																																																																																							
c. N/A	R=	ft ²																																																																																																																							
d. N/A	R=	ft ²																																																																																																																							
10. Ceiling Types (1955.0 sqft.)	Insulation	Area																																																																																																																							
a. Under Attic (Vented)	R=19.0	1955.00 ft ²																																																																																																																							
b. N/A	R=	ft ²																																																																																																																							
c. N/A	R=	ft ²																																																																																																																							
11. Ducts																																																																																																																									
a. Sup: Attic Ret: Attic AH: Attic Sup. R= 6, 500 ft ²																																																																																																																									
12. Cooling systems																																																																																																																									
a. Central Unit	Cap: 49.5 kBtu/hr	SEER: 18																																																																																																																							
13. Heating systems																																																																																																																									
a. Electric Strip Heat	Cap: 32.1 kBtu/hr	COP: 1																																																																																																																							
14. Hot water systems																																																																																																																									
a. Electric	Cap: 40 gallons	EF: 0.92																																																																																																																							
b. Conservation features	None																																																																																																																								
15. Credits		CF, Pstat																																																																																																																							

Glass/Floor Area: 0.146	Total As-Built Modified Loads: 46.72	PASS
	Total Baseline Loads: 55.26	

<p>I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.</p> <p>PREPARED BY: <i>Richard Spicer</i> RICHARD SPICER DATE: 01/18/2012</p> <p>I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.</p> <p>OWNER/AGENT: _____ DATE: _____</p>	<p>Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.</p> <div style="text-align: center;">  <p>GREAT SEAL OF THE STATE OF FLORIDA IN GOD WE TRUST</p> </div> <p>BUILDING OFFICIAL: _____ DATE: _____</p>
---	--

PROJECT

Title:	MIKE BARRETT_23 LANTAN	Bedrooms:	3	Adress Type:	Street Address
Building Type:	FLAsBuilt	Conditioned Area:	1955	Lot #	
Owner:	MIKE BARRETT	Total Stories:	1	Block/SubDivision:	
# of Units:	1	Worst Case:	No	PlatBook:	
Builder Name:	Clean Air Technologies	Rotate Angle:	0	Street:	23 LANTANA LN
Permit Office:		Cross Ventilation:	No	County:	Martin
Jurisdiction:		Whole House Fan:	No	City, State, Zip:	SEWALLS POINT , FL , 34996
Family Type:	Single-family				
New/Existing:	Existing (Projected)				
Comment:					

CLIMATE

✓	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	2.5 %	Int Design Temp Winter	Summer	Heating Degree Days	Design Moisture	Daily Temp Range
	FL, West Palm Beach	FL_WEST_PALM_BEAC	2	44	90	75	70	316	60	Medium

FLOORS

✓	#	Floor Type	Perimeter	R-Value	Area	Tile	Wood	Carpet
	1	Slab-On-Grade Edge Insulatio	191.5 ft	0	1955 ft²	1	0	0

ROOF

✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
	1	Gable or Shed	Metal	2060 ft²	326 ft²	Medium	0.5	N	0	18.4 deg

ATTIC

✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
	1	Full attic	Vented	300	1955 ft²	N	N

CEILING

✓	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
	1	Under Attic (Vented)	19	1955 ft²	0.1	Wood

WALLS

✓	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
	1	N	Exterior	Concrete Block - Ext Insul	4.2	352 ft²	0	0	0.8
	2	E	Exterior	Concrete Block - Ext Insul	4.2	338 ft²	0	0	0.8
	3	S	Exterior	Concrete Block - Ext Insul	4.2	628.5 ft²	0	0	0.8
	4	W	Exterior	Concrete Block - Ext Insul	4.2	405 ft²	0	0	0.8
	5	S	Exterior	Frame - Wood	11	321.3333	0	0.25	0.8

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: 23 LANTANA LN
SEWALLS POINT, FL, 34996

PERMIT #:

INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N1112.ABC.3 Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 85

The lower the EnergyPerformance Index, the more efficient the home.

23 LANTANA LN, SEWALLS POINT, FL, 34996

1. New construction or existing	Existing (Projecte	9. Wall Types	Insulation	Area	
2. Single family or multiple family	Single-family	a. Concrete Block - Ext Insul, Exterior	R=4.2	1723.50 ft ²	
3. Number of units, if multiple family	1	b. Frame - Wood, Exterior	R=11.0	321.33 ft ²	
4. Number of Bedrooms	3	c. N/A	R=	ft ²	
5. Is this a worst case?	No	d. N/A	R=	ft ²	
6. Conditioned floor area (ft ²)	1955	10. Ceiling Types	Insulation	Area	
7. Windows**	Description	Area	a. Under Attic (Vented)	R=19.0	1955.00 ft ²
a. U-Factor:	Dbl, default	240.80 ft ²	b. N/A	R=	ft ²
SHGC:	Clear, default		c. N/A	R=	ft ²
b. U-Factor:	Sgl, default	24.00 ft ²	11. Ducts		
SHGC:	Clear, default		a. Sup: Attic Ret: Attic AH: Attic Sup. R= 6, 500 ft ²		
c. U-Factor:	Dbl, default	20.67 ft ²	12. Cooling systems		
SHGC:	Clear, default		a. Central Unit	Cap: 49.5 kBtu/hr	SEER: 18
d. U-Factor:	N/A	ft ²	13. Heating systems		
SHGC:			a. Electric Strip Heat	Cap: 32.1 kBtu/hr	COP: 1
e. U-Factor:	N/A	ft ²	14. Hot water systems		
SHGC:			a. Electric	Cap: 40 gallons	EF: 0.92
8. Floor Types	Insulation	Area	b. Conservation features		
a. Slab-On-Grade Edge Insulation	R=0.0	1955.00 ft ²	None		
b. N/A	R=	ft ²	15. Credits		CF, Pstat
c. N/A	R=	ft ²			

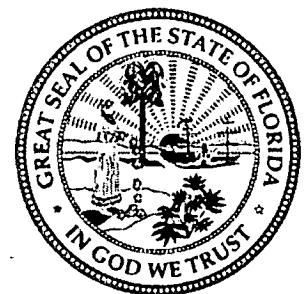
I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____

Date: _____

Address of New Home: _____

City/FL Zip: _____



*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at energygauge.com for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the Department of Community Affairs at (850) 487-1824.

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.



Project Summary
Entire House
Clean Air Technologies

Job: BARRETT
 Date: 01/04/2012
 By: RDS

1578 SE S Niemeyer Circle, Port Saint Lucie, FL 34952 Phone: 772-335-2061 Fax: 772-335-1802

Project Information

For: MIKE BARRETT
 23 LANTANA LN, SEWALLS POINT, FL 34996

Notes: ORIENTATION (S)

Design Information

Weather: W Palm Beach, FL, US

Winter Design Conditions

Outside db 47 °F
 Inside db 70 °F
 Design TD 23 °F

Summer Design Conditions

Outside db 90 °F
 Inside db 75 °F
 Design TD 15 °F
 Daily range L
 Relative humidity 50 %
 Moisture difference 64 gr/lb

Heating Summary

Structure 25236 Btuh
 Ducts 6909 Btuh
 Central vent (0 cfm) 0 Btuh
 Humidification 0 Btuh
 Piping 0 Btuh
 Equipment load 32145 Btuh

Sensible Cooling Equipment Load Sizing

Structure 28231 Btuh
 Ducts 11170 Btuh
 Central vent (0 cfm) 0 Btuh
 Blower 0 Btuh
 Use manufacturer's data n
 Rate/swing multiplier 0.95
 Equipment sensible load 37509 Btuh

Infiltration

Method Simplified
 Construction quality Loose
 Fireplaces 1 (Loose)

	Heating	Cooling
Area (ft ²)	1955	1955
Volume (ft ³)	17586	17586
Air changes/hour	0.91	0.42
Equiv. AVF (cfm)	267	123

Latent Cooling Equipment Load Sizing

Structure 6154 Btuh
 Ducts 2777 Btuh
 Central vent (0 cfm) 0 Btuh
 Equipment latent load 8931 Btuh
 Equipment total load 46440 Btuh
 Req. total capacity at 0.70 SHR 4.5 ton

Heating Equipment Summary

Make
 Trade
 Model
 GAMA ID n/a

Efficiency 100 EFF
 Heating input 0 Btuh
 Heating output 32145 Btuh
 Temperature rise 18 °F
 Actual air flow 1633 cfm
 Air flow factor 0.051 cfm/Btuh
 Static pressure 0 in H2O
 Space thermostat

Cooling Equipment Summary

Make Lennox
 Trade XC21 SERIES
 Cond XC21-048-230-07
 Coil CBX32MV-048*+TDR
 ARI ref no. 5012258
 Efficiency 13.2 EER, 18 SEER
 Sensible cooling 34650 Btuh
 Latent cooling 14850 Btuh
 Total cooling 49500 Btuh
 Actual air flow 1633 cfm
 Air flow factor 0.041 cfm/Btuh
 Static pressure 0 in H2O
 Load sensible heat ratio 0.82

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Load Short Form
Entire House
 Clean Air Technologies

Job: BARRETT
 Date: 01/04/2012
 By: RDS

1578 SE S Niemeyer Circle, Port Saint Lucie, FL 34952 Phone: 772-335-2061 Fax: 772-335-1802

Project Information

For: MIKE BARRETT
 23 LANTANA LN, SEWALLS POINT, FL 34996

Design Information

	Htg	Clg		Infiltration
Outside db (°F)	47	90	Method	Simplified
Inside db (°F)	70	75	Construction quality	Loose
Design TD (°F)	23	15	Fireplaces	1 (Loose)
Daily range	-	L		
Inside humidity (%)	30	50		
Moisture difference (gr/lb)	-6	64		

HEATING EQUIPMENT

Make
 Trade
 Model
 GAMA ID n/a

Efficiency 100 EFF

Heating input 0 Btuh
 Heating output 32145 Btuh
 Temperature rise 18 °F
 Actual air flow 1633 cfm
 Air flow factor 0.051 cfm/Btuh
 Static pressure 0 in H2O
 Space thermostat

COOLING EQUIPMENT

Make Lennox
 Trade XC21 SERIES
 Cond XC21-048-230-07
 Coil CBX32MV-048*+TDR
 ARI ref no. 5012258

Efficiency 13.2 EER, 18 SEER

Sensible cooling 34650 Btuh
 Latent cooling 14850 Btuh
 Total cooling 49500 Btuh
 Actual air flow 1633 cfm
 Air flow factor 0.041 cfm/Btuh
 Static pressure 0 in H2O
 Load sensible heat ratio 0.82

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
MASTER BDR	240	4465	6201	227	257
WIC	42	717	391	36	16
WTR CLST	23	1044	481	53	20
MAST BATH	96	1930	2107	98	87
BEDRM 2	191	2132	2259	108	94
BEDRM 3	135	3569	5335	181	221
WIC 2	25	309	217	16	9
CL	17	0	0	0	0
CL2	14	0	0	0	0
HALL BATH	36	65	131	3	5
UTILITY	54	176	260	9	11
PANTRY	44	200	253	10	10
KITCHEN	140	3885	6358	197	264
DINING	210	5438	6141	276	255
HALL 1	71	0	0	0	0
HALL 2	46	0	0	0	0

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LIVING		573	8214	9267	417	384
Entire House	d	1955	32145	39401	1633	1633
Other equip loads			0	0		
Equip. @ 0.95 RSM				37509		
Latent cooling				8931		
TOTALS		1955	32145	46440	1633	1633

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J® Worksheet
Entire House
Clean Air Technologies

Job: BARRETT
 Date: 01/04/2012
 By: RDS

1578 SE S Niemeyer Circle, Port Saint Lucie, FL 34952 Phone: 772-335-2061 Fax: 772-335-1802

		Entire House		MASTER BDR										
1	Room name	191.5 ft		29.5 ft										
2	Exposed wall	9.0 ft		9.0 ft										
3	Ceiling height	d		1.0 x 239.5 ft										
4	Room dimensions	1955.0 ft ²		239.5 ft ²										
5	Room area													
	Ty	Construction number	U-value (Btu/h/ft ² ·°F)	Or	HTM (Btu/h/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btu/h)		Area (ft ²) or perimeter (ft)		Load (Btu/h)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-4ocs	0.143	n	3.25	2.72	352	267	866	725	0	0	0	0
	G	1D-c2om	0.870	n	19.75	27.27	9	0	171	236	0	0	0	0
	G	1D-c2om	0.870	n	19.75	27.27	42	0	822	1134	0	0	0	0
	D	11D0	0.390	n	8.85	11.78	35	35	310	412	0	0	0	0
11	W	13A-4ocs	0.143	e	3.25	2.72	338	247	803	672	0	0	0	0
	G	1A-c1omd	1.270	e	28.83	91.37	24	0	692	2193	0	0	0	0
	G	1D-c2om	0.870	e	19.75	77.61	24	0	474	1863	0	0	0	0
	G	1D-c2om	0.870	e	19.75	77.61	25	0	498	1956	0	0	0	0
	D	11D0	0.390	e	8.85	11.78	18	18	155	206	0	0	0	0
	W	13A-4ocs	0.143	s	3.25	2.72	629	494	1604	1342	113	92	298	249
	G	1A-c1omd	1.270	s	28.83	35.03	24	24	692	841	0	0	0	0
	G	1D-c2om	0.870	s	19.75	27.27	48	48	948	1309	0	0	0	0
	G	1D-c2om	0.870	s	19.75	27.27	62	62	1232	1702	21	21	411	567
	W	13A-4ocs	0.143	w	3.25	2.72	405	356	1157	969	153	132	429	359
	G	1D-c2om	0.870	w	19.75	77.61	7	0	137	538	0	0	0	0
	G	1D-c2om	0.870	w	19.75	77.61	42	0	822	3228	21	0	411	1614
	P	12B-0sw	0.097	-	2.20	1.69	321	321	707	542	0	0	0	0
	C	16C-19ml	0.049	-	1.11	2.14	1955	1955	2175	4186	240	240	266	513
	F	22A-tpl	0.989	-	22.45	0.00	1955	192	4299	0	240	30	662	0
6	c) AED excursion													363
	Envelope loss/gain								18562	24054			2477	3666
12	a) Infiltration								6674	2057			1028	317
	b) Room ventilation								0	0			0	0
13	Internal gains:		Occupants @	230			4			920	2			460
			Appliances/other							1200				0
	Subtotal (lines 6 to 13)								25236	28231			3505	4443
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								0	0			0	0
14	Subtotal								25236	28231			3505	4443
15	Duct loads						27%	40%	6909	11170	27%	40%	960	1758
	Total room load								32145	39401			4465	6201
	Air required (cfm)								1633	1633			227	257

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J® Worksheet

Entire House

Clean Air Technologies

Job: BARRETT
 Date: 01/04/2012
 By: RDS

1578 SE S Niemeyer Circle, Port Saint Lucie, FL 34952 Phone: 772-335-2061 Fax: 772-335-1802

1	Room name				WIC				WTR CLST					
	Exposed wall				8.0 ft 6.5 ft heat/cool				8.0 ft 10.0 ft heat/cool					
	Ceiling height				6.5 x 6.5 ft				6.5 x 3.5 ft					
3	Room dimensions				42.3 ft ²				22.8 ft ²					
5	Room area													
	Ty	Construction number	U-value (Btuh/ft ² ·°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-4ocs	0.143	n	3.25	2.72	0	0	0	0	52	52	169	141
	G	1D-c2om	0.870	n	19.75	27.27	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	n	19.75	27.27	0	0	0	0	0	0	0	0
	D	11D0	0.390	n	8.85	11.78	0	0	0	0	0	0	0	0
11	W	13A-4ocs	0.143	e	3.25	2.72	0	0	0	0	0	0	0	0
	G	1A-c1omd	1.270	e	28.83	91.37	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	e	19.75	77.61	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	e	19.75	77.61	0	0	0	0	0	0	0	0
	D	11D0	0.390	e	8.85	11.78	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	s	3.25	2.72	0	0	0	0	0	0	0	0
	G	1A-c1omd	1.270	s	28.83	35.03	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	s	19.75	27.27	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	s	19.75	27.27	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	w	3.25	2.72	52	52	169	141	28	28	91	76
	G	1D-c2om	0.870	w	19.75	77.61	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	w	19.75	77.61	0	0	0	0	0	0	0	0
	P	12B-0sw	0.097	-	2.20	1.69	0	0	0	0	0	0	0	0
	C	16C-19ml	0.049	-	1.11	2.14	42	42	47	90	23	23	25	49
	F	22A-1pl	0.989	-	22.45	0.00	42	7	146	0	23	10	225	0
6	c) AED excursion									-14				-17
	Envelope loss/gain								362	218			509	249
12	a) Infiltration								201	62			310	95
	b) Room ventilation								0	0			0	0
13	Internal gains:				Occupants @	230	0			0	0	0		0
					Appliances/other					0				0
	Subtotal (lines 6 to 13)								563	280			819	344
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								0	0			0	0
14	Subtotal								563	280			819	344
15	Duct loads						27%	40%	154	111	27%	40%	224	136
	Total room load								717	391			1044	481
	Air required (cfm)								36	16			53	20

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Right-J® Worksheet
Entire House
 Clean Air Technologies

Job: BARRETT
 Date: 01/04/2012
 By: RDS

1578 SE S Niemyer Circle, Port Saint Lucie, FL 34952 Phone: 772-335-2061 Fax: 772-335-1802

1 Room name				MAST BATH				BEDRM 2						
2 Exposed wall				14.5 ft				11.0 ft						
3 Ceiling height				8.0 ft				8.0 ft						
4 Room dimensions				1.0 x 95.5 ft				1.0 x 190.5 ft						
5 Room area				95.5 ft²				190.5 ft²						
6 Ty	Construction number	U-value (Btuh/ft²·°F)	Or	HTM (Btuh/ft²)		Area (ft²) or perimeter (ft)		Load (Btuh)		Area (ft²) or perimeter (ft)		Load (Btuh)		
				Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool	
6	W	13A-4ocs	n	0.143	3.25	2.72	48	39	128	107	88	67	218	183
	G	1D-c2om	n	0.870	19.75	27.27	9	0	171	236	0	0	0	0
	G	1D-c2om	n	0.870	19.75	27.27	0	0	0	0	21	0	411	567
	D	11D0	n	0.390	8.85	11.78	0	0	0	0	0	0	0	0
11	W	13A-4ocs	e	0.143	3.25	2.72	28	28	91	76	0	0	0	0
	G	1A-c1omd	e	1.270	28.83	91.37	0	0	0	0	0	0	0	0
	G	1D-c2om	e	0.870	19.75	27.27	0	0	0	0	0	0	0	0
	G	1D-c2om	e	0.870	19.75	27.27	0	0	0	0	0	0	0	0
	D	11D0	e	0.390	8.85	11.78	0	0	0	0	0	0	0	0
	W	13A-4ocs	s	0.143	3.25	2.72	0	0	0	0	0	0	0	0
	G	1A-c1omd	s	1.270	28.83	35.03	0	0	0	0	0	0	0	0
	G	1D-c2om	s	0.870	19.75	27.27	0	0	0	0	0	0	0	0
	G	1D-c2om	s	0.870	19.75	27.27	0	0	0	0	0	0	0	0
	W	13A-4ocs	w	0.143	3.25	2.72	40	33	107	90	0	0	0	0
	G	1D-c2om	w	0.870	19.75	27.27	7	0	137	538	0	0	0	0
	G	1D-c2om	w	0.870	19.75	27.27	0	0	0	0	0	0	0	0
	P	12B-0sw	-	0.097	2.20	1.69	0	0	0	0	104	104	229	176
	C	16C-19ml	-	0.049	1.11	2.14	96	96	106	204	191	191	212	408
	F	22A-1pl	-	0.989	22.45	0.00	96	15	326	0	191	11	247	0
6	c) AED excursion									119				-79
	Envelope loss/gain								1066	1371			1317	1255
12	a) Infiltration								449	138			341	105
	b) Room ventilation								0	0			0	0
13	Internal gains:		Occupants @	230			0				1			230
			Appliances/other											0
	Subtotal (lines 6 to 13)								1515	1509			1658	1590
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								0	0			16	29
14	Subtotal								1515	1509			1673	1619
15	Duct loads						27%	40%	415	597	27%	40%	458	641
	Total room load								1930	2107			2132	2259
	Air required (cfm)								98	87			108	94

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Right-J® Worksheet
Entire House
 Clean Air Technologies

Job: BARRETT
 Date: 01/04/2012
 By: RDS

1578 SE S Niemeyer Circle, Port Saint Lucie, FL 34952 Phone: 772-335-2061 Fax: 772-335-1802

				BEDRM 3 24.5 ft 8.0 ft 1.0 x 135.0 ft 135.0 ft²				WIC 2 2.5 ft 8.0 ft 4.5 x 5.5 ft 24.8 ft²															
1	2	3	4	5	Room name	Exposed wall	Ceiling height	Room dimensions	Room area	Ty	Construction number	U-value (Btuh/ft²·°F)	Or	HTM (Btuh/ft²)		Area (ft²) or perimeter (ft)		Load (Btuh)		Area (ft²) or perimeter (ft)		Load (Btuh)	
														Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-4ocs	0.143	n	3.25	2.72	84	63	205	172	0	0	0	0	0	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	n	19.75	27.27	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	n	19.75	27.27	21	0	411	567	0	0	0	0	0	0	0	0	0	0	0	0	0
	D	11D0	0.390	n	8.85	11.78	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11	W	13A-4ocs	0.143	e	3.25	2.72	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	G	1A-c1omd	1.270	e	28.83	91.37	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	e	19.75	77.61	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	e	19.75	77.61	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	D	11D0	0.390	e	8.85	11.78	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	s	3.25	2.72	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	G	1A-c1omd	1.270	s	28.83	35.03	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	s	19.75	27.27	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	s	19.75	27.27	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	w	3.25	2.72	112	91	296	248	20	20	65	54	0	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	w	19.75	77.61	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	w	19.75	77.61	21	0	411	1614	0	0	0	0	0	0	0	0	0	0	0	0	0
	P	12B-0sw	0.097	-	2.20	1.69	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	C	16C-19ml	0.049	-	1.11	2.14	135	135	150	289	25	25	28	53	0	0	0	0	0	0	0	0	0
	F	22A-1pl	0.989	-	22.45	0.00	135	25	550	0	25	3	56	0	0	0	0	0	0	0	0	0	0
6	c) AED excursion									432													-6
	Envelope loss/gain								2023	3322				149	101								
12	a) Infiltration								759	234				77	24								
	b) Room ventilation								0	0				0	0								
13	Internal gains:		Occupants @	230			1			230	0			0	0								0
			Appliances/other							0													0
	Subtotal (lines 6 to 13)								2782	3786				226	125								
	Less external load								0	0				0	0								0
	Less transfer								0	0				0	0								0
	Redistribution								20	37				17	30								0
14	Subtotal								2802	3823				243	155								0
15	Duct loads							27%	767	1513		40%		66	61								0
	Total room load								3569	5335				309	217								0
	Air required (cfm)								181	221				16	9								0

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Right-J® Worksheet
Entire House
Clean Air Technologies

Job: **BARRETT**
 Date: **01/04/2012**
 By: **RDS**

1578 SE S Niemyer Circle, Port Saint Lucie, FL 34952 Phone: 772-335-2061 Fax: 772-335-1802

1 2 3 4 5	Room name Exposed wall Ceiling height Room dimensions Room area				CL 0 ft heat/cool 8.0 ft 2.0 x 8.5 ft 17.0 ft ²				CL2 0 ft heat/cool 8.0 ft 4.5 x 3.0 ft 13.5 ft ²					
	Ty	Construction number	U-value (Btuh/ft ² ·°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-4ocs	0.143	n	3.25	2.72	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	n	19.75	27.27	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	n	19.75	27.27	0	0	0	0	0	0	0	0
	D	11D0	0.390	n	8.85	11.78	0	0	0	0	0	0	0	0
11	W	13A-4ocs	0.143	e	3.25	2.72	0	0	0	0	0	0	0	0
	G	1A-c1omd	1.270	e	28.83	91.37	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	e	19.75	77.61	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	e	19.75	77.61	0	0	0	0	0	0	0	0
	D	11D0	0.390	e	8.85	11.78	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	s	3.25	2.72	0	0	0	0	0	0	0	0
	G	1A-c1omd	1.270	s	28.83	35.03	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	s	19.75	27.27	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	s	19.75	27.27	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	w	3.25	2.72	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	w	19.75	77.61	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	w	19.75	77.61	0	0	0	0	0	0	0	0
	P	12B-0sw	0.097	-	2.20	1.69	0	0	0	0	0	0	0	0
	C	16C-19ml	0.049	-	1.11	2.14	17	17	19	36	14	14	15	29
	F	22A-1pl	0.989	-	22.45	0.00	17	0	0	0	14	0	0	0
6	c) AED excursion									-2				-1
	Envelope loss/gain								19	35			15	28
12	a) Infiltration								0	0			0	0
	b) Room ventilation								0	0			0	0
13	Internal gains:		Occupants @	230			0			0	0			0
			Appliances/other							0				0
	Subtotal (lines 6 to 13)								19	35			15	28
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								-19	-35			-15	-28
14	Subtotal								0	0			0	0
15	Duct loads						27%	40%	0	0	27%	40%	0	0
	Total room load								0	0			0	0
	Air required (cfm)								0	0			0	0

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Right-J® Worksheet
Entire House
 Clean Air Technologies

Job: **BARRETT**
 Date: **01/04/2012**
 By: **RDS**

1578 SE S Niemyer Circle, Port Saint Lucie, FL 34952 Phone: 772-335-2061 Fax: 772-335-1802

				HALL BATH				UTILITY						
				0 ft				0 ft						
				8.0 ft				8.0 ft						
				8.0 x 4.5 ft				1.0 x 54.3 ft						
				36.0 ft ²				54.3 ft ²						
	Ty	Construction number	U-value (Btuh/ft ² ·°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-4ocs	0.143	n	3.25	2.72	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	n	19.75	27.27	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	n	19.75	27.27	0	0	0	0	0	0	0	0
	D	11D0	0.390	n	8.85	11.78	0	0	0	0	0	0	0	0
11	W	13A-4ocs	0.143	e	3.25	2.72	0	0	0	0	0	0	0	0
	G	1A-c1omd	1.270	e	28.83	91.37	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	e	19.75	77.61	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	e	19.75	77.61	0	0	0	0	0	0	0	0
	D	11D0	0.390	e	8.85	11.78	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	s	3.25	2.72	0	0	0	0	0	0	0	0
	G	1A-c1omd	1.270	s	28.83	35.03	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	s	19.75	27.27	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	s	19.75	27.27	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	w	3.25	2.72	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	w	19.75	77.61	0	0	0	0	0	0	0	0
	G	1D-c2om	0.870	w	19.75	77.61	0	0	0	0	0	0	0	0
	P	12B-0sw	0.097	-	2.20	1.69	0	0	0	0	28	28	62	47
	C	16C-19ml	0.049	-	1.11	2.14	36	36	40	77	54	54	60	116
	F	22A-1pl	0.989	-	22.45	0.00	36	0	0	0	54	0	0	0
6	c) AED excursion													-8
	Envelope loss/gain								40	73			122	156
12	a) Infiltration								0	0			0	0
	b) Room ventilation								0	0			0	0
13	Internal gains:		Occupants @	230			0				0			0
			Appliances/other								0			0
	Subtotal (lines 6 to 13)								40	73			122	156
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								11	21			17	30
14	Subtotal								51	94			139	186
15	Duct loads						27%	40%	14	37	27%	40%	38	74
	Total room load								65	131			176	260
	Air required (cfm)								3	5			9	11

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 Date: **01/04/2012**
 By: **RDS**

1578 SE S Niemeyer Circle, Port Saint Lucie, FL 34952 Phone: 772-335-2061 Fax: 772-335-1802

				PANTRY				KITCHEN														
				0 ft				24.0 ft														
				8.0 ft 5.5 x 8.0 ft				9.0 ft 14.0 x 10.0 ft														
				44.0 ft²				140.0 ft²														
1	2	3	4	5	Room name	Exposed wall	Ceiling height	Room dimensions	Room area	U-value (Btuh/ft²·°F)	Or	HTM (Btuh/ft²)		Area (ft²) or perimeter (ft)		Load (Btuh)		Area (ft²) or perimeter (ft)		Load (Btuh)		
												Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool	
6	W				13A-4ocs					0.143	n	3.25	2.72	0	0	0	0	0	0	0	0	
	G				1D-c2om					0.870	n	19.75	27.27	0	0	0	0	0	0	0	0	
	G				1D-c2om					0.870	n	19.75	27.27	0	0	0	0	0	0	0	0	
	D				11D0					0.390	n	8.85	11.78	0	0	0	0	0	0	0	0	
11	W				13A-4ocs					0.143	e	3.25	2.72	0	0	0	0	90	66	214	179	
	G				1A-c1omd					1.270	e	28.83	91.37	0	0	0	0	0	0	0	0	
	G				1D-c2om					0.870	e	19.75	27.61	0	0	0	0	24	0	474	1863	
	G				1D-c2om					0.870	e	19.75	27.61	0	0	0	0	0	0	0	0	
	D				11D0					0.390	e	8.85	11.78	0	0	0	0	0	0	0	0	
	W				13A-4ocs					0.143	s	3.25	2.72	0	0	0	0	126	102	331	277	
	G				1A-c1omd					1.270	s	28.83	35.03	0	0	0	0	0	0	0	0	
	G				1D-c2om					0.870	s	19.75	27.27	0	0	0	0	24	24	474	655	
	G				1D-c2om					0.870	s	19.75	27.27	0	0	0	0	0	0	0	0	
	W				13A-4ocs					0.143	w	3.25	2.72	0	0	0	0	0	0	0	0	
	G				1D-c2om					0.870	w	19.75	27.61	0	0	0	0	0	0	0	0	
	G				1D-c2om					0.870	w	19.75	27.61	0	0	0	0	0	0	0	0	
	P				12B-0sw					0.097	-	2.20	1.69	44	44	97	74	0	0	0	0	
	C				16C-19ml					0.049	-	1.11	2.14	44	44	49	94	140	140	156	300	
	F				22A-1pi					0.989	-	22.45	0.00	44	0	0	0	140	24	539	0	
6	c) AED excursion																				-223	
	Envelope loss/gain																				2188	3050
12	a) Infiltration																				836	258
	b) Room ventilation																				0	0
13	Internal gains:		Occupants @	230																	0	1200
	Appliances/other																				0	0
	Subtotal (lines 6 to 13)																				146	161
	Less external load																				0	0
	Less transfer																				0	0
	Redistribution																				11	21
14	Subtotal																				157	181
15	Duct loads																				43	72
	Total room load																				200	253
	Air required (cfm)																				10	10

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Entire House
 Clean Air Technologies

Job: **BARRETT**
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1578 SE S Niemyer Circle, Port Saint Lucie, FL 34952 Phone: 772-335-2061 Fax: 772-335-1802

				DINING				HALL 1							
				27.5 ft				0 ft							
				14.5 x 14.5 ft				1.0 x 70.8 ft							
				heat/cool				heat/cool							
				210.3 ft²				70.8 ft²							
1	Room name														
2	Exposed wall														
3	Ceiling height														
4	Room dimensions														
5	Room area														
	Ty	Construction number	U-value (Btuh/ft²·F)	Or	HTM (Btuh/ft²)		Area (ft²) or perimeter (ft)		Load (Btuh)		Area (ft²) or perimeter (ft)		Load (Btuh)		
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool	
6	W	13A-4ocs	0.143	n	3.25	2.72	0	0	0	0	0	0	0	0	
	G	1D-c2om	0.870	n	19.75	27.27	0	0	0	0	0	0	0	0	
	G	1D-c2om	0.870	n	19.75	27.27	0	0	0	0	0	0	0	0	
	D	11D0	0.390	n	8.85	11.78	0	0	0	0	0	0	0	0	
11	W	13A-4ocs	0.143	e	3.25	2.72	145	102	332	278	0	0	0	0	
	G	1A-c1omd	1.270	e	28.83	91.37	0	0	0	0	0	0	0	0	
	G	1D-c2om	0.870	e	19.75	77.61	0	0	0	0	0	0	0	0	
	G	1D-c2om	0.870	e	19.75	77.61	25	0	498	1956	0	0	0	0	
	D	11D0	0.390	e	8.85	11.78	18	18	155	206	0	0	0	0	
	W	13A-4ocs	0.143	s	3.25	2.72	130	106	344	288	0	0	0	0	
	G	1A-c1omd	1.270	s	28.83	35.03	24	24	692	841	0	0	0	0	
	G	1D-c2om	0.870	s	19.75	27.27	0	0	0	0	0	0	0	0	
	G	1D-c2om	0.870	s	19.75	27.27	0	0	0	0	0	0	0	0	
	W	13A-4ocs	0.143	w	3.25	2.72	0	0	0	0	0	0	0	0	
	G	1D-c2om	0.870	w	19.75	77.61	0	0	0	0	0	0	0	0	
	G	1D-c2om	0.870	w	19.75	77.61	0	0	0	0	0	0	0	0	
	P	12B-0sw	0.097	-	2.20	1.69	145	145	319	245	0	0	0	0	
	C	16C-19ml	0.049	-	1.11	2.14	210	210	234	450	71	71	79	151	
	F	22A-1pl	0.989	-	22.45	0.00	210	28	617	0	71	0	0	0	
6	c) AED excursion									-216				-7	
	Envelope loss/gain								3191	4047			79	144	
12	a) Infiltration								1065	328			0	0	
	b) Room ventilation								0	0			0	0	
13	Internal gains:		Occupants @	230			0			0	0			0	
			Appliances/other							0				0	
	Subtotal (lines 6 to 13)								4256	4375			79	144	
	Less external load								0	0			0	0	
	Less transfer								0	0			0	0	
	Redistribution								13	25			-79	-144	
14	Subtotal								4270	4400			0	0	
15	Duct loads						27%	40%	1169	1741	27%	40%	0	0	
	Total room load								5438	6141			0	0	
	Air required (cfm)								276	255			0	0	

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J® Worksheet
Entire House
Clean Air Technologies

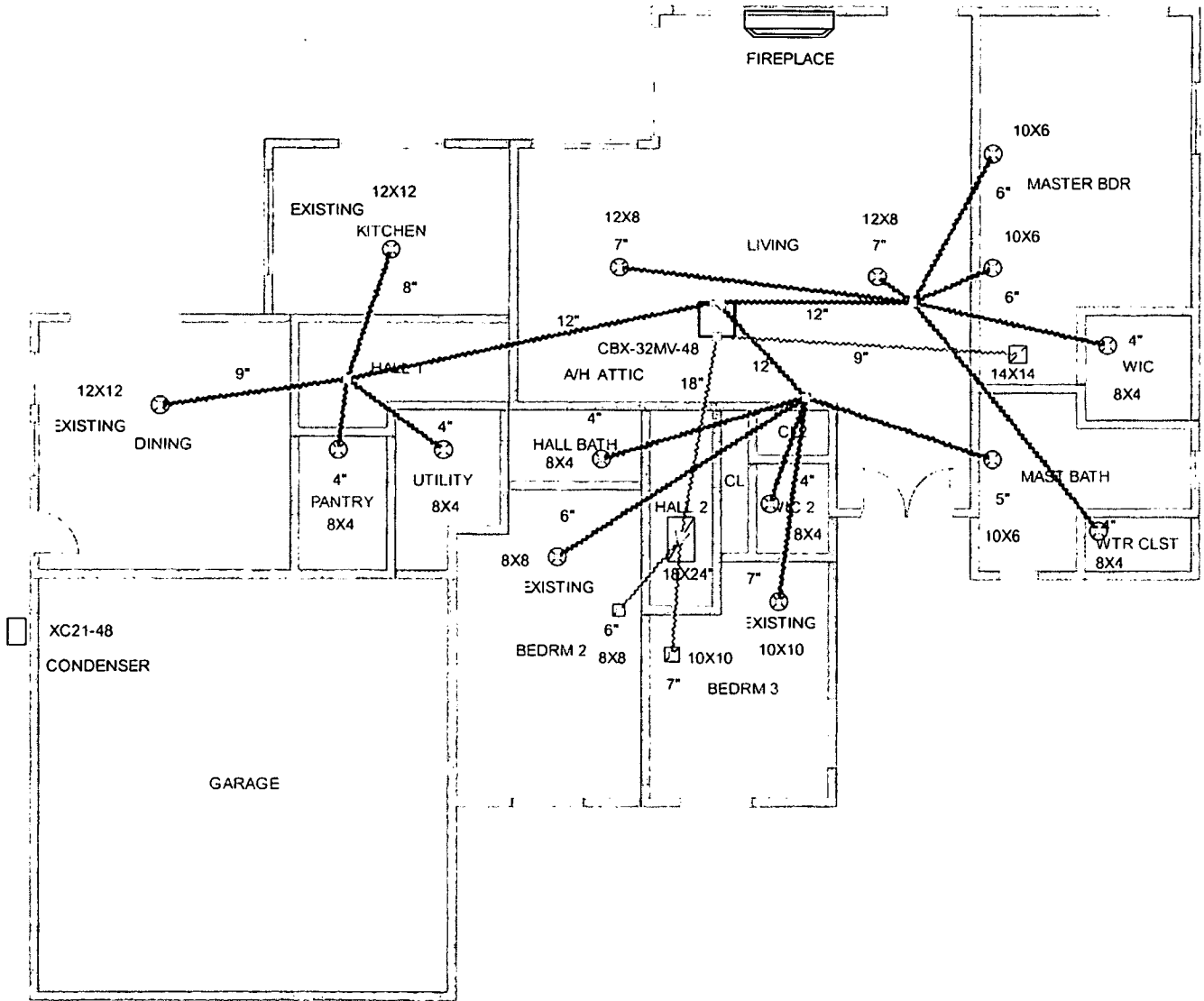
Job: **BARRETT**
 Date: **01/04/2012**
 By: **RDS**

1578 SE S Niemyer Circle, Port Saint Lucie, FL 34952 Phone: 772-335-2061 Fax: 772-335-1802

1 Room name		HALL 2								LIVING			
2 Exposed wall		0 ft								41.5 ft			
3 Ceiling height		8.0 ft								10.0 ft			
4 Room dimensions		4.0 x 11.5 ft								1.0 x 573.0 ft			
5 Room area		46.0 ft ²								573.0 ft ²			
Ty	Construction number	U-value (Btuh/ft ² ·°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
				Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W 13A-4ocs	0.143	n	3.25	2.72	0	0	0	0	80	45	146	122
	G 1D-c2om	0.870	n	19.75	27.27	0	0	0	0	0	0	0	0
	G 1D-c2om	0.870	n	19.75	27.27	0	0	0	0	0	0	0	0
	D 11D0	0.390	n	8.85	11.78	0	0	0	0	35	35	310	412
11	W 13A-4ocs	0.143	e	3.25	2.72	0	0	0	0	75	51	166	139
	G 1A-c1omd	1.270	e	28.83	91.37	0	0	0	0	24	0	692	2193
	G 1D-c2om	0.870	e	19.75	77.61	0	0	0	0	0	0	0	0
	G 1D-c2om	0.870	e	19.75	77.61	0	0	0	0	0	0	0	0
	D 11D0	0.390	e	8.85	11.78	0	0	0	0	0	0	0	0
	W 13A-4ocs	0.143	s	3.25	2.72	0	0	0	0	260	194	631	528
	G 1A-c1omd	1.270	s	28.83	35.03	0	0	0	0	0	0	0	0
	G 1D-c2om	0.870	s	19.75	27.27	0	0	0	0	24	24	474	655
	G 1D-c2om	0.870	s	19.75	27.27	0	0	0	0	42	42	822	1134
	W 13A-4ocs	0.143	w	3.25	2.72	0	0	0	0	0	0	0	0
	G 1D-c2om	0.870	w	19.75	77.61	0	0	0	0	0	0	0	0
	G 1D-c2om	0.870	w	19.75	77.61	0	0	0	0	0	0	0	0
	P 12B-0sw	0.097	-	2.20	1.69	0	0	0	0	0	0	0	0
	C 16C-19ml	0.049	-	1.11	2.14	46	46	51	98	573	573	637	1227
	F 22A-1pl	0.989	-	22.45	0.00	46	0	0	0	573	42	932	0
6	c) AED excursion												-326
	Envelope loss/gain							51	94			4809	6085
12	a) Infiltration							0	0			1607	496
	b) Room ventilation							0	0			0	0
13	Internal gains:		Occupants @	230		0				0	0		0
			Appliances/other							0	0		0
	Subtotal (lines 6 to 13)							51	94			6416	6580
	Less external load							0	0			0	0
	Less transfer							0	0			0	0
	Redistribution							-51	-94			33	60
14	Subtotal							0	0			6449	6640
15	Duct loads					27%	40%	0	0	27%	40%	1765	2627
	Total room load							0	0			8214	9267
	Air required (cfm)							0	0			417	384

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.

Sheet 1



Job #: BARRETT
Performed by RDS for:
MIKE BARRETT
23 LANTANA LN
SEWALLS POINT, FL 34996

Clean Air Technologies
1578 SE S Niemyer Circle
Port Saint Lucie, FL 34952
Phone: 772-335-2061 Fax: 772-335-1802

Scale: 1 : 118
Page 1
Right-Suite® Universal
7.1.25 RSU00716
2012-Jan-16 12:48:56
...SoftMIKE BARRETT_23 LANT...



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

A/C PERMIT APPLICATION

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

1 Copy Completed permit application

2 Copies of the following:

- a Manufacturer's data sheet to include make, model, seer/eer, tonnage, electrical requirements, refrigerant piping size, and AHRI listing page.
- b Replacing ductwork requires Manual D layout plan with grille sizes
- c Replacing entire system including ductwork requires Manual J and Energy calculations.
- d Condenser tie down and Air Handler mounting details
- e A/C change out affidavit

COMMERCIAL APPLICATIONS ADDITIONALLY REQUIRE

_____ 2 Copies A/C Stand NOA or Engineers letter to retrofit to existing mounts.

_____ Smoke Detectors in supply duct for units over 2000 CFM

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

 Date of Inspection Mon

 Tue

 Wed

 Thur

 Fri

4-17-12

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10040	Parrett 23 Lantana M L Parrett	framing PRE POUR SLAB	PASS	INSPECTOR <i>[Signature]</i>
10041	Blacked out	Blacked out	Blacked out	Blacked out
	Blacked out Clear Air	Blacked out	Blacked out	INSPECTOR <i>[Signature]</i>
10045	Wood / Greenwich 15 Lantana All Am Roof	partial dry-in/metal	? CALL	STILL NOT READY INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel: 772-287-2455 Fax 772-220-4765

FLORIDA ENERGY CONSERVATION CODE

Mandatory Duct Inspection Certification for HVAC change-out

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: MIKE BARRETT Contractor name: CLEAN AIR TECHNOLOGIES
Street address: 23 LANTANA LN Jurisdiction:
City: SEWALLS POINT Permit No.: 9988
Zip: 34996 Final inspection date: 6-4-12

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.
Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)
The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
System was tested (see below) and repairs were made as necessary - (Section 101.4.7.1.1 exception 3)

Signature: Jeffery Almeida Date: 5-11-12
Printed Name: JEFFERY ALMEIDA
Contractor License #: CA-0058660

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: Date:
Printed Name:

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-4-12 Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9788	60 West	Hand		
	23 West	Hand		Close
	Clear Air			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10107	Fabinoski	Ferial		LINE SET COVER
<i>1st</i>	10 Mandalay Krauss & Crane	AC	FAIL	Loose - NO LOAD
				INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10100	Preissman	in-progress		
<i>PM</i>	30 Simara St Onshore		CANCEL	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<i>Trees</i>	8 Morgan Cir	Trees		
			N.G	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10083	White	Footer		
	15 Ridgeland Tuscany Bay		PASS	
				INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10103	Beuro	Plumbing		
<i>PM</i>	101 Henry Sewall Apey	(POOL EQUIP)	PASS	
				INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	Debris on 515 Sewalls from 3 Ridgeland			
	DEBRIS CONVEN 1st E ALCA Pt			
				INSPECTOR

10040

RENOVATIONS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10040	DATE ISSUED:	MARCH 22, 2012
SCOPE OF WORK:	RENOVATIONS		
CONTRACTOR:	ML BARRETT INC		
PARCEL CONTROL NUMBER:	123841002-000-003807	SUBDIVISION	RIO VISTA - LOT 38
CONSTRUCTION ADDRESS:	23 LANTANA LANE		
OWNER NAME:	BARRETT		
QUALIFIER:	MICHAEL BARRETT	CONTACT PHONE NUMBER:	285-1968

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

Date: 3-7-12 BUILDING PERMIT APPLICATION Permit Number: 10040

OWNER/TITLEHOLDER NAME: Michael Barrett Laurel Couchman Phone (Day) 285-1968 (Fax) 545-7914

Job Site Address: 23 Lantana Lane City: Stuart State: FL Zip: 34996

Legal Description Rio Vista S/D Lot 38 Parcel Control Number: 12-38-41-002-000-00380-7

Owner Address (if different): Same City: State: Zip:

SCOPE OF WORK (PLEASE BE SPECIFIC): Concrete slab / Windows / Doors / Siding / Structural alteration

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO

Has a Zoning Variance ever been granted on this property? YES (YEAR) NO ? (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 20,000 (26,300) (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVA change out) Is subject property located in flood hazard area? VE10 AEG AEB X X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: ML Barrett Inc Phone: 285-1968 Fax: 545-7914

Qualifiers name: Michael L Barrett Street: 23 Lantana Lane City: Stuart State: FL Zip: 34996

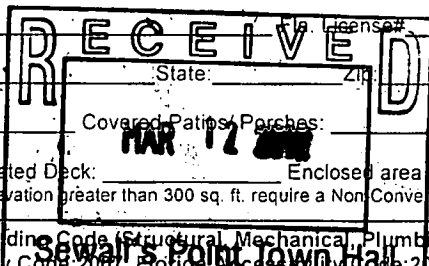
State License Number: EGC 037702 OR: Municipality: License Number:

LOCAL CONTACT: Michael Barrett Phone Number: 772-285-1968

DESIGN PROFESSIONAL: Street: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: 2200 Garage: Covered Patios/Porches: Enclosed Storage:

Carpport: Total under Roof Elevated Deck: Enclosed area below BFE*: * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

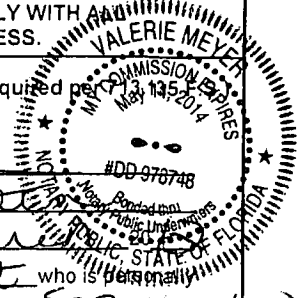
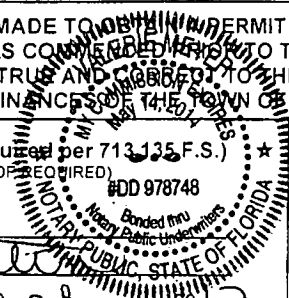
- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN THIS PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) State of Florida, County of: Manatee On This the 12 day of March, 2012 by Michael L. Barrett who is personally known to me or produced FD# B630-552-56-176-0 As identification: Valerie Meyer Notary Public My Commission Expires:

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.) State of Florida, County of: Manatee On This the 12 day of March, 2012 by Michael L. Barrett who is personally known to me or produced FD# B630-552-56-176-0 As identification: Valerie Meyer Notary Public My Commission Expires:



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: 10040 / 9988 TAX FOLIO #: 12-38-41-002-000-00380-7

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): 23 Cantana Lane Stuart FL 34996 Rio Vista s/p Lot 38

GENERAL DESCRIPTION OF IMPROVEMENT: Renovations, AC change out

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: Michael Barrett, Laurel Couchman
ADDRESS: 23 Cantana Lane Stuart FL 34996
PHONE NUMBER: 772-285-1968 FAX NUMBER: _____
INTEREST IN PROPERTY: 100%

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

~~Wells Fargo Bank~~

CONTRACTOR: ML Barrett Inc

ADDRESS: 23 Cantana Lane Stuart FL 34996
PHONE NUMBER: 772-285-1968 FAX NUMBER: _____

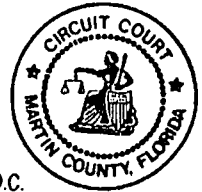
SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)

ADDRESS: _____ STATE OF FLORIDA
PHONE NUMBER: _____ MARTIN COUNTY
BOND AMOUNT: _____ FAX NUMBER: _____

LENDER/MORTGAGE COMPANY: Wells Fargo Bank

ADDRESS: Stuart FL
PHONE NUMBER: _____ FAX NUMBER: _____

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING CLERK



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICE BY OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES DATE: 4.16.12 D.C.

NAME: _____ ADDRESS: _____ PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ (EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Michael Barrett
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

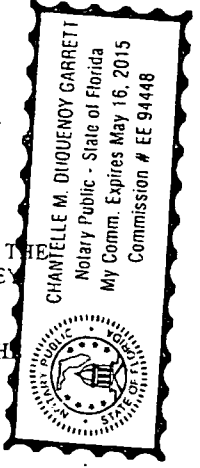
SIGNATORY'S TITLE/OFFICE Michael Barrett Owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 16 DAY OF April, 2012

BY: Michael Lane Barrett AS owner TYPE OF AUTHORITY FOR: Michael Barrett + Laurel Couchman NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN _____ OR PRODUCED IDENTIFICATION

TYPE OF IDENTIFICATION PRODUCED FL DL 630-552-561-760 Chantelle M. Duquenois Garrett





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: ~~15042~~ 49988

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Michael Barrett

CONSTRUCTION ADDRESS: 23 Lantana Lane

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS
- ROOFING

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: Electrical work - AC disconnect box - Smoke det. - L.R cans

VALUE OF CONSTRUCTION \$ _____

<input type="checkbox"/> LOW VOLTAGE	
TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER	
SCOPE OF WORK: _____	VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

SIGNATURE OF LICENSED CONTRACTOR: Timothy L. Loh ADDRESS OF CONTRACTOR: PO Box 216 Jensen Beach 34958

COMPANY OR QUALIFIER'S NAME: The Electric Jude LLC

TELEPHONE NO: 772-334-6822 PLEASE PRINT FAX NO: _____

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: ER 130 13712

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT. *****

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: Michael Barrett and Laurel Couchman

PARCEL CONTROL #: 12-38-41-002-000-00380-7

SUBDIVISION: Rio Vista LOT: 38 BLK: _____ PHASE: _____

SITE ADDRESS: 23 Lantana Lane

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 3/12/2012 10:49:42 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00380-7	27551	23 LANTANA LN, SEWALL'S POINT	\$238,320	2/25/2012

Owner Information

Owner(Current)	BARRETT MICHAEL COUCHMAN LAURA
Owner/Mail Address	7982 SE HIGHPOINT WAY HOBE SOUND FL 33455
Sale Date	11/28/2011
Document Book/Page	2549 0086
Document No.	2305278
Sale Price	230000

Location/Description

Account #	27551	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 38
Parcel Address	23 LANTANA LN, SEWALL'S POINT		
Acres	.3470		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

Market Land Value	\$127,000
Market Improvement Value	\$111,320
Market Total Value	\$238,320

PAUL WELCH INC.

Mechanical * Electrical * Civil Engineering

1984 S.W. Biltmore St. Suite#114

Port Saint Lucie, FL 34984

Phone (772) 785 - 9888

Fax (772) 785-9933

FEBRUARY 16, 2012

RE: BARRETT TRUSS ALTERATION / DOOR INSTALLATION
23 LANTANA LN. STUART, FL

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE DATE <u>3-28-12</u>
BUILDING OFFICIAL

SCOPE OF WORK

- REMOVE EXISTING 36" W DOOR DEMO PORTION OF WALL, INSTALL NEW HEADER ABOVE PER DETAIL AND INSTALL NEW 5'-0" W X 6'-8"H S.G.D PER PRODUCT APPROVAL.
- REMOVE EXISTING 72" W DOOR DEMO PORTION OF WALL, INSTALL NEW HEADER ABOVE PER DETAIL AND INSTALL NEW 9'-0" W X 6'-8"H S.G.D PER PRODUCT APPROVAL
- CONVERT EXISTING FLAT CEILING TO COFFERED CEILING PER DETAIL.

NOTES:

- THE CONTRACTOR, SUBCONTRACTOR, SUPPLIER, ECT. SHALL VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE, PLANS, SPECIFICATIONS, ECT.
- STRUCTURAL FEATURES NOT DETAILED ON THESE PLANS WILL BE ADDRESSED BY THE ENGINEER AS CONSTRUCTION PROGRESSES.
- ALL WRITTEN DIMENSIONS ON THESE DRAWINGS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE FBC 2007 WITH THE 2009 REVISIONS.
- ALL CONSTRUCTION MUST COMPLY WITH THE FBC 07 WITH 2009 SUPPLIMENTS, AND THE FBC 07 RESIDENTIAL WITH 2009 SUPPLIMENTS, 2007 PLUMBING CODE, 2007 MECHANICAL CODE WITH 2009 SUPPLIMENTS AND THE NEC (NFPA 70) 2008 EDITION

STRUCTURAL NOTES

- 1) DESIGN LOADS IN ACCORDANCE WITH ASCE7-05.
- 2) SPLITTING OR CRACKING OF STRUCTURAL COMPONENTS DUE TO INSTALATION OF HARDWARE IS NOT PERMITTED.
- 3) UNLESS OTHERWISE NOTED, THE INSTALLATION OF SPECIFIED HARDWARE SHALL CONFORM TO THE MANUFACTURES INSTRUCTIONS AND STANDARD PRACTICIES.
- 4) UNLESS OTHERWISE NOTED FOR EXTERIOR WALLS, EXTERIOR PLYWOOD SHEATHING AND INTERIOR DRYWALL IS TO BE NAILED WITH 10d OR BETTER NAILS 6" O.C. EDGES, AND 6" O.C. FIELD, OR SCREWED WITH DRYWALL SCREWS 1.5" LONG AND 0.131 DIA.
- 5) ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- 6) SLAB / FOOTINGS TO BE CONCRETE WITH A MINIMUM 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS. SEE PLAN FOR SIZES & STEEL REQUIREMENTS.
- 7) INSTALL ALL BRACING BEFORE CUTTING TRUSSES.

Submitted by:
PAUL WELCH INC.



Paul Welch, P.E.
Reg. No 29945
PW:pj



MARTIN COUNTY BUILDING DEPARTMENT
 900 SE RUHNKE STREET
 STUART, FL 34994
 (772) 288-5916
 FAX (772) 288-5911

MARTIN COUNTY BUILDING DEPARTMENT PRODUCT APPROVAL CHECKLIST

Permit Type: _____ Permit Number: _____ Owner's Name: BARRETT

Design Professional Name A/E: PAUL WELCH P.E. Job Site Location: 23 LANTANA ST. STUART, FL

Rule 9 B-72 requires the following information as promulgated by the Florida Building Commission. In the event that information required for product approval has been incorporated in to the plans, specifications or general notes; simply indicate page number on the affidavit.

Product	Model Number	Manufacturer	Evaluation Agency	Expiration Date	NOA OR FL #'S
Windows	N/A				
Exit Doors	SGD 770	PGT	MDPCD	2/17/15	NOA # 11-1018.14
Garage Doors	N/A				
Off Ridge Vents/ Ridge Vent	↓				
Soffits					
Skylights					
Shutters					
Roofing Materials					
Panel Walls					
Structural Components and Cladding					
New/Alternative Materials					

In accordance with the Florida Architects and Engineers product approval system, this affidavit certifies that I have performed the building envelope evaluation as required by the Florida Building Code.

FEB 16 2012

29945

Architect/Engineer's Signature & Seal

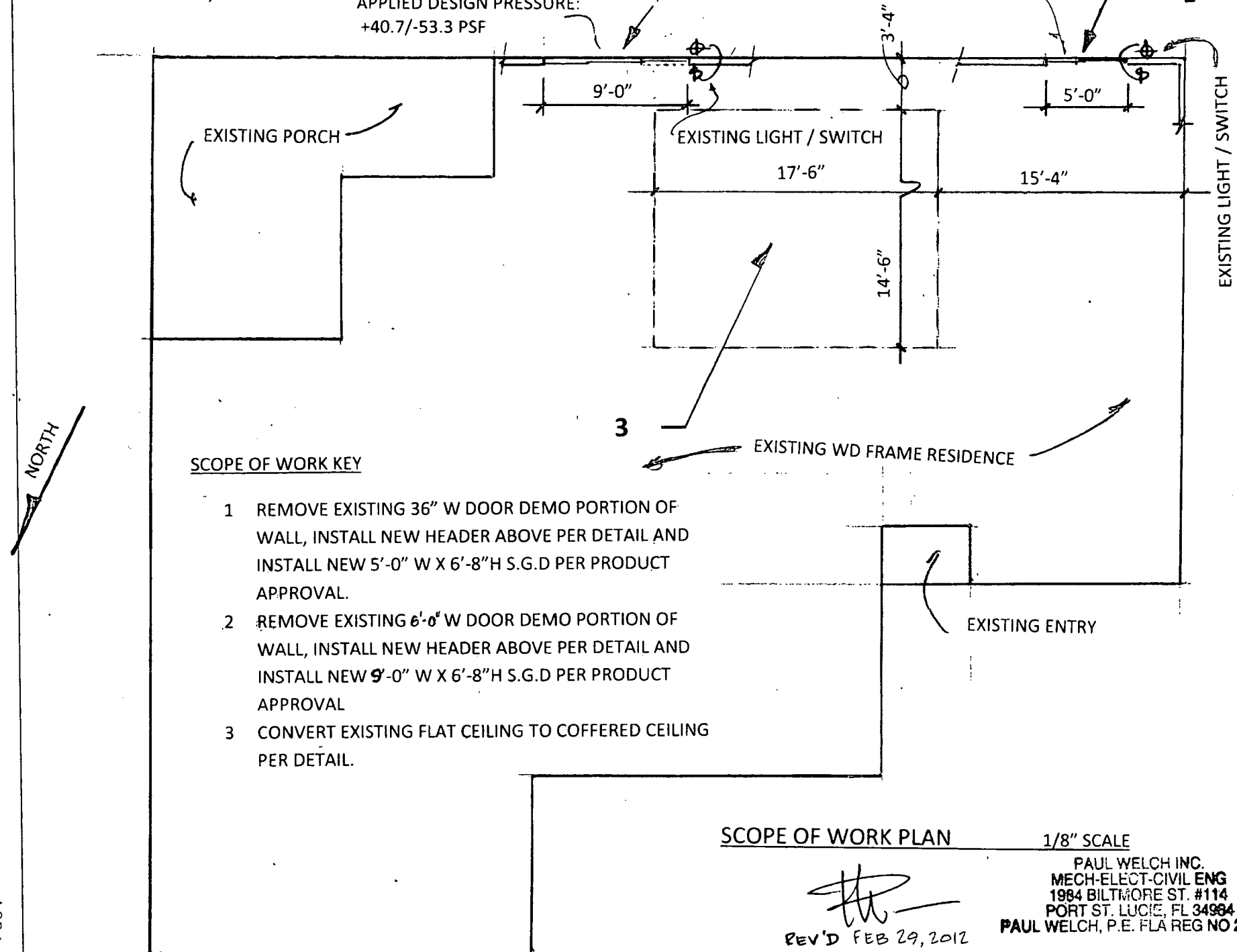
FL Cert. /Reg. Number

BARRETT TRUSS ALTERATION / DOOR INSTALLATION

23 LANTANA LN. STUART, FL

APPLIED DESIGN PRESSURE:
+40.7/-53.3 PSF

APPLIED DESIGN PRESSURE:
+40.7/-53.3 PSF



SCOPE OF WORK KEY

- 1 REMOVE EXISTING 36" W DOOR DEMO PORTION OF WALL, INSTALL NEW HEADER ABOVE PER DETAIL AND INSTALL NEW 5'-0" W X 6'-8"H S.G.D PER PRODUCT APPROVAL.
- 2 REMOVE EXISTING 6'-0" W DOOR DEMO PORTION OF WALL, INSTALL NEW HEADER ABOVE PER DETAIL AND INSTALL NEW 9'-0" W X 6'-8"H S.G.D PER PRODUCT APPROVAL
- 3 CONVERT EXISTING FLAT CEILING TO COFFERED CEILING PER DETAIL.

SCOPE OF WORK PLAN

1/8" SCALE

PAUL WELCH INC.
MECH-ELECT-CIVIL ENG
1984 BILTMORE ST. #114
PORT ST. LUCIE, FL 34984
PAUL WELCH, P.E. FLA REG NO 29045

[Signature]
REV'D FEB 29, 2012

PROVIDE LANDING AT DOOR 4" THK CONC. OR BRICK PAVERS MINIMUM 36" PROJECTION FROM DOOR AND SAME WIDTH OF DOOR (TYPICAL BOTH DOORS)

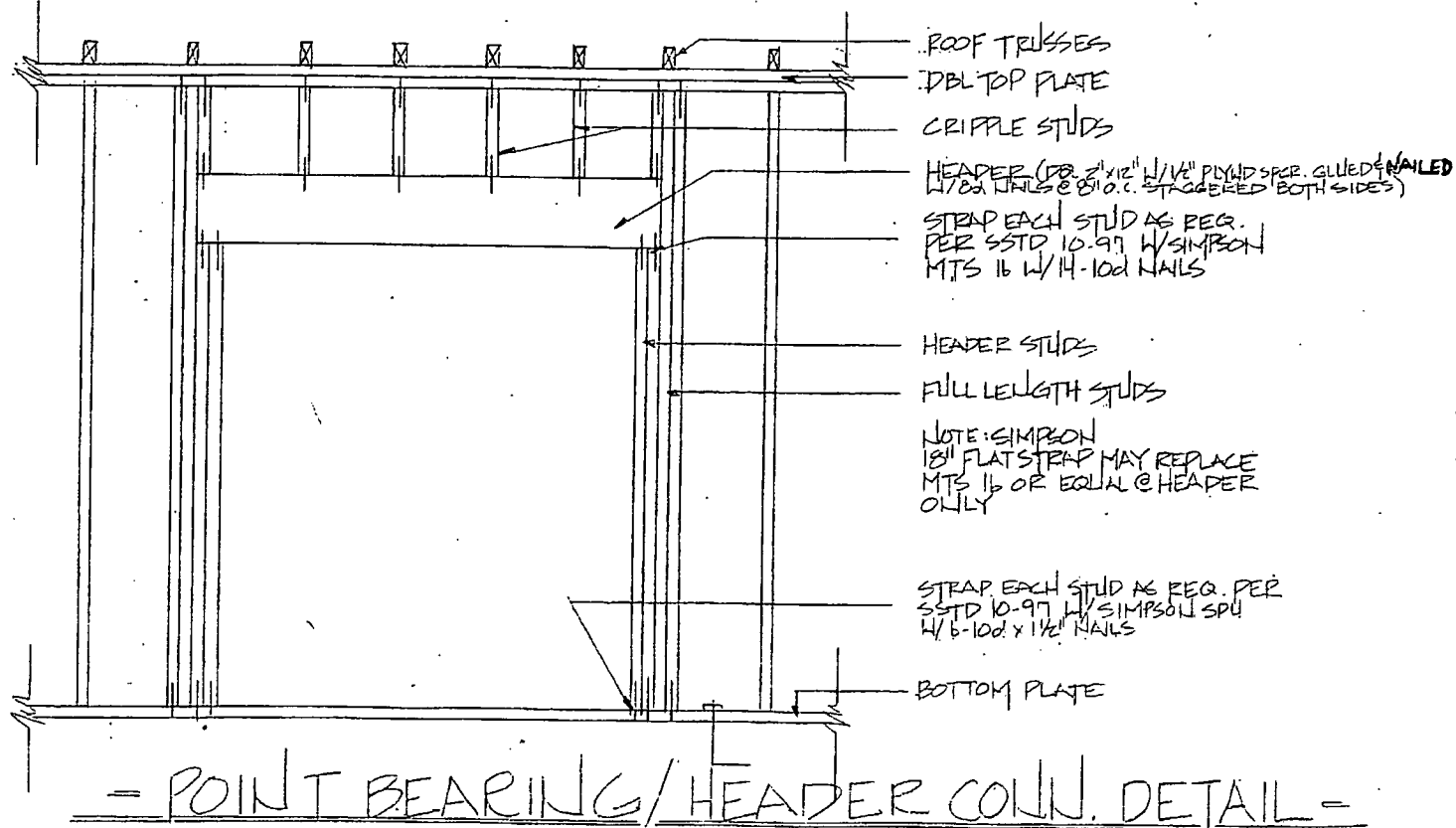
BARRETT TRUSS ALTERATION / DOOR INSTALLATION

23 LANTANA LN. STUART, FL

MAXIMUM HEADER SPAN

3'	6'	9'	12'	15'	18'
----	----	----	-----	-----	-----

<u>WALL HEIGHT</u> 10' OR LESS 10' OR MORE	<u>STUD SPACING</u> 16" O.C. 16" O.C.	<u># OF HEADER STUDS SUPPORTING END OF HEADER</u>						<u># OF FULL LENGTH STUDS @ EACH END OF HEADER</u>
		1'	2'	2'	2'	2'	2'	
	16" O.C.	2	2	3	3	3	3	
	16" O.C.	2	2	3	3	4	4	



ROOF TRUSSES
 DBL TOP PLATE
 CRIPPLE STUDS
 HEADER (DR. 2x12 1/2" W/ 1/2" PLYWD SPCR. GLUED & NAILED
 W/ 6d NAILS @ 8" O.C. STAGGERED BOTH SIDES)
 STRAP EACH STUD AS REG.
 PER SSTD 10-97 W/ SIMPSON
 MTS 16 W/ 14-10d NAILS
 HEADER STUDS
 FULL LENGTH STUDS
 NOTE: SIMPSON
 18" FLAT STRAP MAY REPLACE
 MTS 16 OF EQUAL @ HEADER
 ONLY
 STRAP EACH STUD AS REG. PER
 SSTD 10-97 W/ SIMPSON SPU
 W/ 6-10d x 1 1/2" NAILS
 BOTTOM PLATE

[Signature]

PAUL WELCH INC.
 MECH-ELECT-CIVIL ENG
 1984 BILTMORE ST. #114
 PORT ST. LUCIE, FL 34984
 PAUL WELCH, P.E. FLA REG NO 29945

FEB 16 2012

8" W X 12" 1/2" THICK
PLYWOOD SPLICE
PLATE BOTH SIDES W/
(4)- 16d NAILS EACH
MEMBER

EXISTING WD TRUSSES
AT 24" O.C.

EXISTING 2X4 TOP
CORD

6 | 12

REV'D 2-29-12
2X8 WD WEB BRACE
EACH SIDE W/ (4)- 1/2"
X 3" LAG SCREWS
EACH WEB - OR (1)- 1/2" THRU BOLT W/ WASHERS
EA. WEB

PROVIDE (4) 1/4" X 3"
LAG SCREWS EACH
SIDE EACH WEB AND
TOP CORD OR (1)- 1/2"
THRU BOLT W/ WASHERS
EA WEB

2X6 WD BOTTOM
BRACING EACH SIDE
OF EXISTING TRUSS

SPLICE 2X6 BOT.
BRACE @ VERT. WEB

EXISTING BOTTOM
CORD CUT OUT

EXISTING 2X4
BOTTOM CORD

2X4 WD VERT. W/ (4)-
1/4" X 3" LAG SCREWS
TO EXIST. BOT. CORD
OR (1)- 1/2" THRU BOLT
W/ WASHER

EXISTING WEB CUT

3'-4"

14'-6"

14'-2"

REV'D
2/29/12



PAUL WELCH INC.
MECH-ELECT-CIVIL ENG
1984 BILTMORE ST. #114
PORT ST. LUCIE, FL 34984

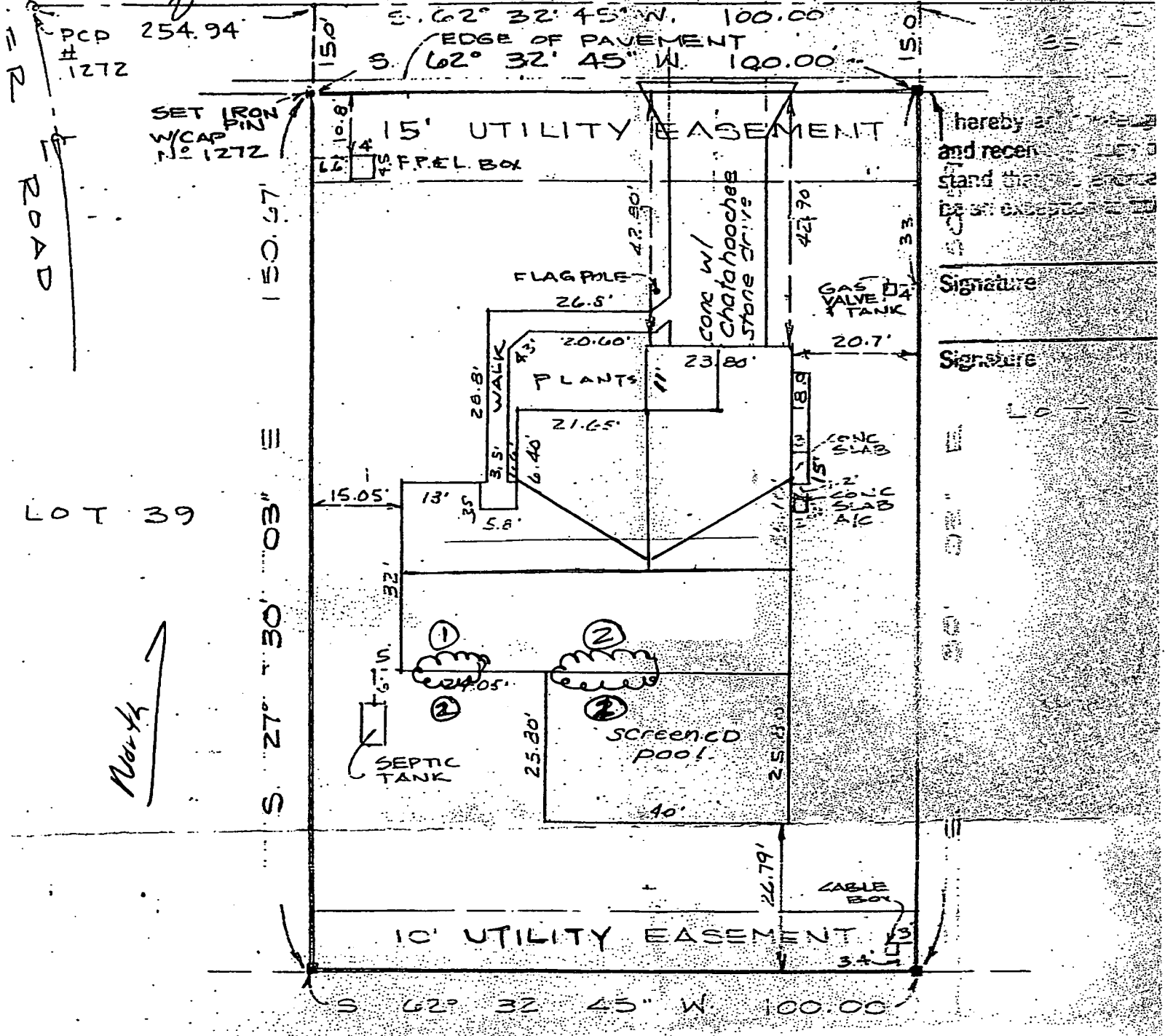
FEB 16 2012 PAUL WELCH, P.E. FLA REG NO 29845

REV'D 2-29-12

BARRETT TRUSS ALTERATION

23 LANTANA LN. STUART, FL

23 LANTANA AVENUE



hereby
and rece
stand th
EASEMENT

Signature

Signature

Michael Barrett + Laurel Couchman

A BOUNDARY-SURVEY OF

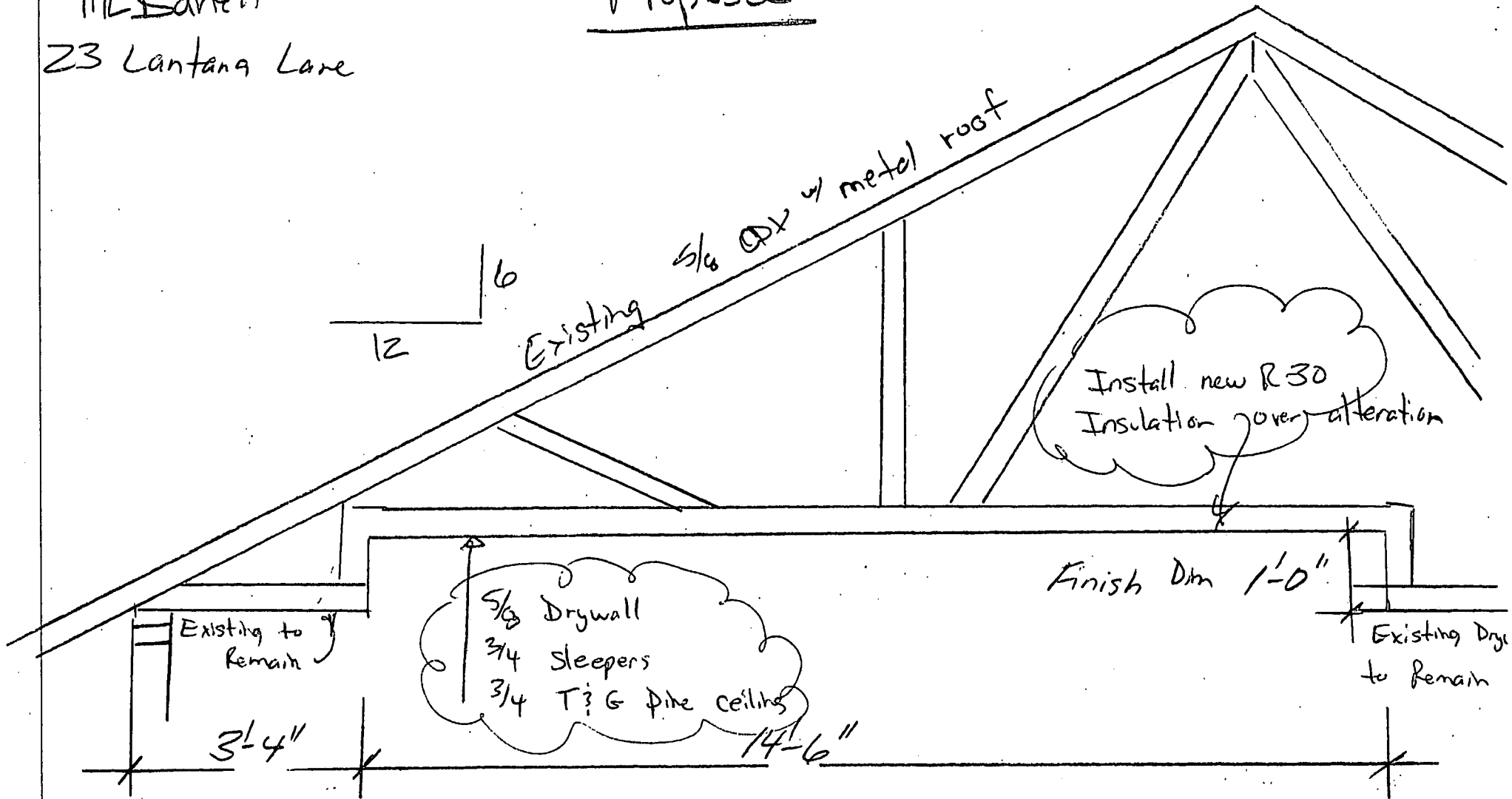
LOT 38

RIO VISTA SUBDIVISION

ACCORDING TO THE PLAT THEREOF FILED DECEMBER
IN PLAT BOOK 6, PAGE 95 PUBLIC RECORDS

ML Barrett
23 Lantana Lane

Proposed



WINDOW/DOOR SCHEDULE

ID NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	7x16					Existing garage door to
2	36x80		Door			Existing Side door to
3	36x50		SH	X		CWS Nail Fin
4	36x50		SH	X		CWS Nail Fin
5	72x80		FD	X		FD 101 outswing
6	60x80		FD	X		FD 101 " Door
7	60x40		SL			SGD 770 Sliding Door
8	36x80		Door			Existing to Remain
9	26x40		SH	X		CWS Nail Fin
10	108x80		SL	X		SGD 770 Sliding Dr
11	60x80		SL	X		SGD 770 " Door
12	36x50		SH	X		CWS Nail Fin
13	26x40		SH	X		"
14	26x50		SH	X		"
15	60x80		DR	X		Front Door PlastPro
16	36x50		SH	X		CWS Nail Fin
17	36x50		SH	X		"
18	36x50		SH	X		"
19	36x50		SH	X		"
20						
21						
22						
23						
24						
25						
26						
27						
28						
29						
30						

TOTAL GLAZED OPENING AREA FOR STRUCTURE: 300 S.F.

*PERCENTAGE OF NEW GLAZED AREA: 100 %

(TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutter or impact resistant glazing) as per 2009 FBC/ EXISTING BUILDING 507.3.

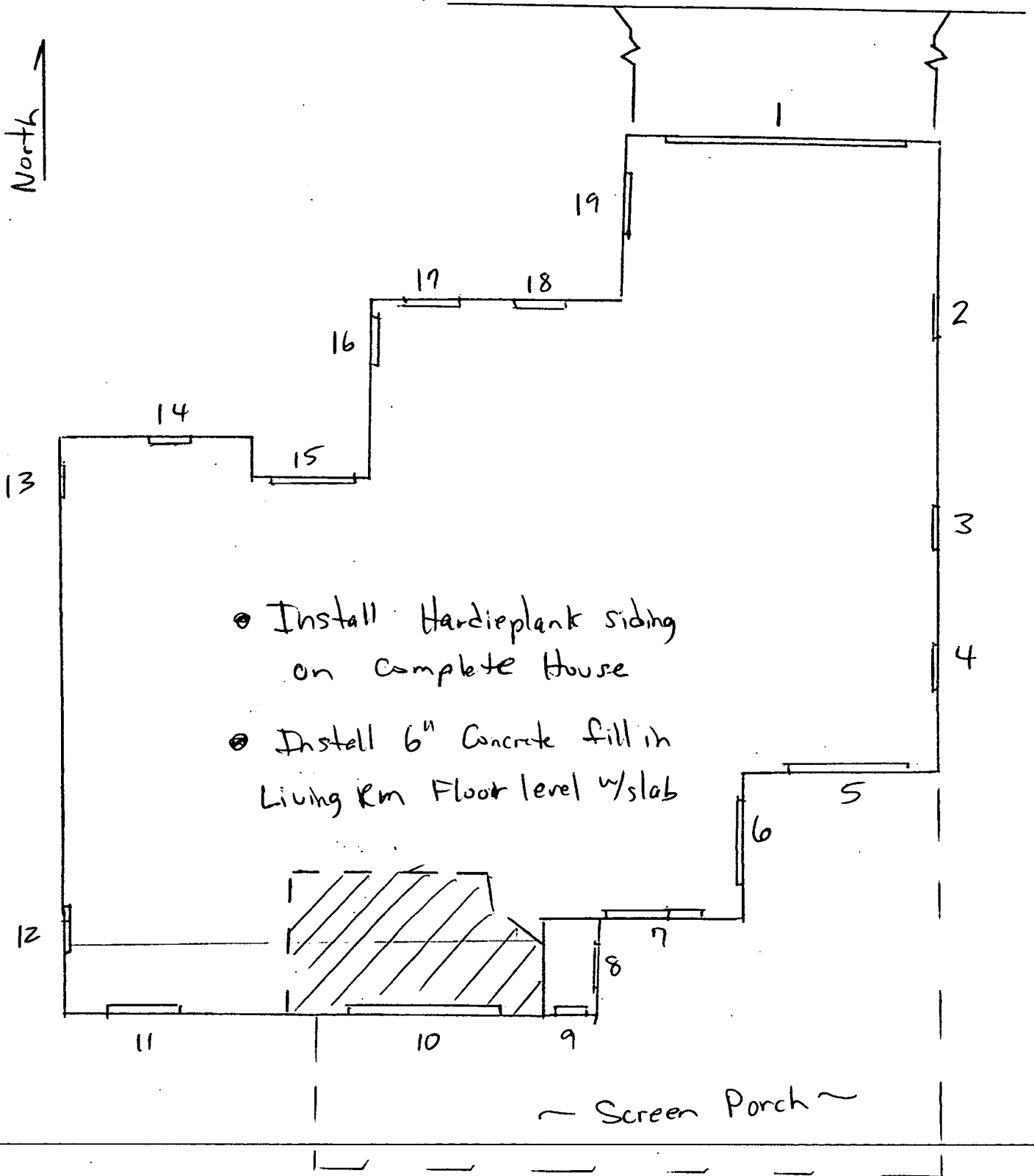
* TYPE WINDOWS

SH - SINGLE HUNG
DH - DOUBLE HUNG

AWN - AWNING
CAS - CASEMENT

SL - SLIDING
FIX - FIXED

ML Barrett Inc.
23 Lantana Lane, Stuart, Fl. 34996
mlbarrettinc@bellsouth.net 772-285-1968
General Contractor CGC 037702



R
W
B
C

Front Door

R W Building Consultants, Inc.

Consulting and Engineering Services for the Building Industry

P.O. Box 230 Valrico, FL 33595 Phone 813.659.9197 Facsimile 813.754.9989

Florida Board of Professional Engineers Certificate of Authorization No. 9813

Product Evaluation Report

Report No.: FL 6184.6 R1
Date: October 1, 2008
Product Category: Exterior Doors
Product sub-category: Swinging Exterior Door Assemblies
Product Name: Distinction Series Opaque Fiberglass Door
Inswing / Outswing
"Impact:
Manufacturer: Nan Ya Plastics Corporation
Plastpro Inc.
9 Peach Tree Hill Road
Livingston, NJ 07039
Phone: 800-779-0561 Facsimile: 973-758-4001

Scope: This is a Product Evaluation report issued by R W Building Consultants, Inc. and Lyndon F. Schmidt, P.E. (System ID # 1998) for Nan Ya Plastics Corporation, Plastpro Inc. based on Rule Chapter No. 9B-72.070, Method 1d of the State of Florida Product Approval, Department of Community Affairs-Florida Building Commission.

RW Building Consultants and Lyndon F. Schmidt, P.E. do not have nor will acquire financial interest in the company manufacturing or distributing the product or in any other entity involved in the approval process of the product named herein.

This product has been evaluated for use in locations adhering to the Florida Building Code (2007 Edition).

See Drawing No. FL-6184.6 prepared by R W Building Consultants, Inc. and signed and sealed by Lyndon F. Schmidt, P.E. (FL # 43409) for specific use parameters.



Lyndon F. Schmidt, P.E.
FL No. 43409
October 1, 2008

Limitations

1. This product has been evaluated and is in compliance with the 2007 Florida Building Code (FBC) structural requirements excluding the "High Velocity Hurricane Zone" (HVHZ).
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
3. When used in areas requiring wind borne debris protection this product complies with Section 1609.1.2 of the FBC and does not require an impact resistant covering. This product meets missile level "D" and includes Wind Zone 4 as defined in ASTM E1996.
4. For 2x stud framing construction, anchoring of these units shall be the same as that shown for 2x buck masonry construction.
5. Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.
6. See drawing FL-6184.6 for size and design pressure limitations.



Lyndon F. Schmidt, P.E.
FL No. 43409
October 1, 2008

Supporting Documents

A Drawing

Drawing No. FL-6184.6 prepared by R W Building Consultants, Inc. (Florida Board of Professional Engineers Certificate of Authorization No. 9813), signed and sealed by Lyndon F. Schmidt, P.E.

B Tests Performed

1. Testing per ASTM E330-02, and ASTM E1886/E1996 as performed by Testing Evaluation Laboratories Inc., and reported in test report number TEL 20040713016 signed and sealed by Wendell W. Haney, P.E.
2. Testing per TAS 201-94, TAS 202-94 and TAS 203-94 as performed by Certified Testing Laboratories, and reported in test report number CTLA 924W, signed and sealed by Ramesh Patel, P.E.

C Calculations

1. Product anchoring is in accordance with manufacturer's published recommendations as substantiated by tested specimens reported in test report number TEL 20040713016 and CTLA 924W. Additional product anchor analysis for loading conditions, prepared, signed and sealed by Lyndon F. Schmidt, P.E.
2. Buck anchor analysis for loading conditions, prepared, signed and sealed by Lyndon F. Schmidt, P.E.

D Other

1. Certificate of Participation issued by National Accreditation & Management Institute, Inc., certifying that Nan Ya Plastics Corporation, Plastpro Inc is manufacturing products within a quality assurance program that complies with ISO/IEC 17020 and Guide 53.



Lyndon F. Schmidt, P.E.
FL No. 43409
October 1, 2008



NAN YA PLASTICS CORP. PLASTPRO INC.

9 PEACH TREE HILL ROAD
LIVINGSTON, NEW JERSEY 07039

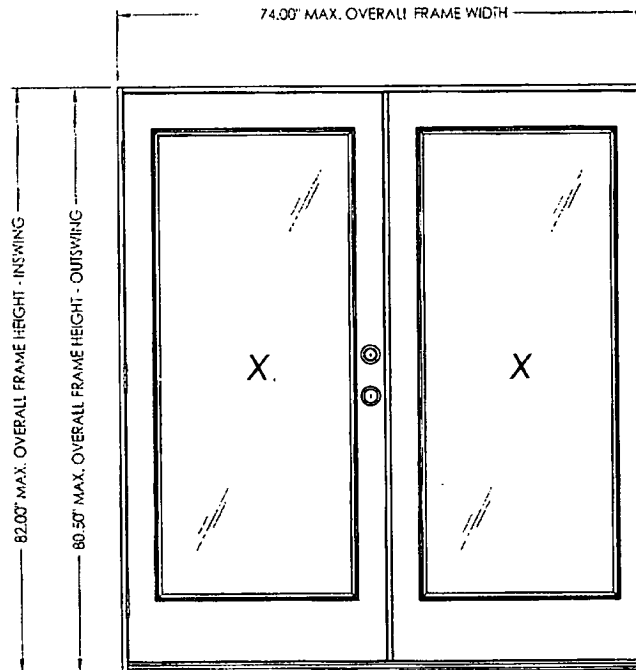
DISTINCTION SERIES GLAZED FIBERGLASS DOORS IN SWING / OUT SWING "NON-IMPACT"

GENERAL NOTES

- This product has been evaluated and is in compliance with the 2007 Florida Building Code (FBC) structural requirements excluding the "High Velocity Hurricane Zone" (HVHZ).
- Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
- When used in areas requiring wind borne debris protection this product is required to be protected with an impact resistant covering that complies with Section 1609.1.2 of the 2007 FBC.
- For 2x stud framing construction, anchoring of these units shall be the same as that shown for 2x buck masonry construction.
- Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.

TABLE OF CONTENTS

SHEET #	DESCRIPTION
1	Typical elevation, design pressures, & general notes
2	Door panel details
3	Horizontal cross sections
4	Vertical cross sections
5	Buck and frame anchoring - 2X buck masonry construction
6	Frame anchoring - 1X buck masonry construction
7	Endura astragal details
8	Bill of materials, glazing detail & components



SWING	OVERALL FRAME DIMENSION	DOOR D.L.O DIMENSION	GLASS TYPE	DESIGN PRESSURE (PSF)	
				POSITIVE	NEGATIVE
IN SWING	74.00" x 82.00"	21.00" x 63.00"	G1	+47.0	-47.0
OUT SWING	74.00" x 80.50"	21.00" x 63.00"		+47.0	-47.0

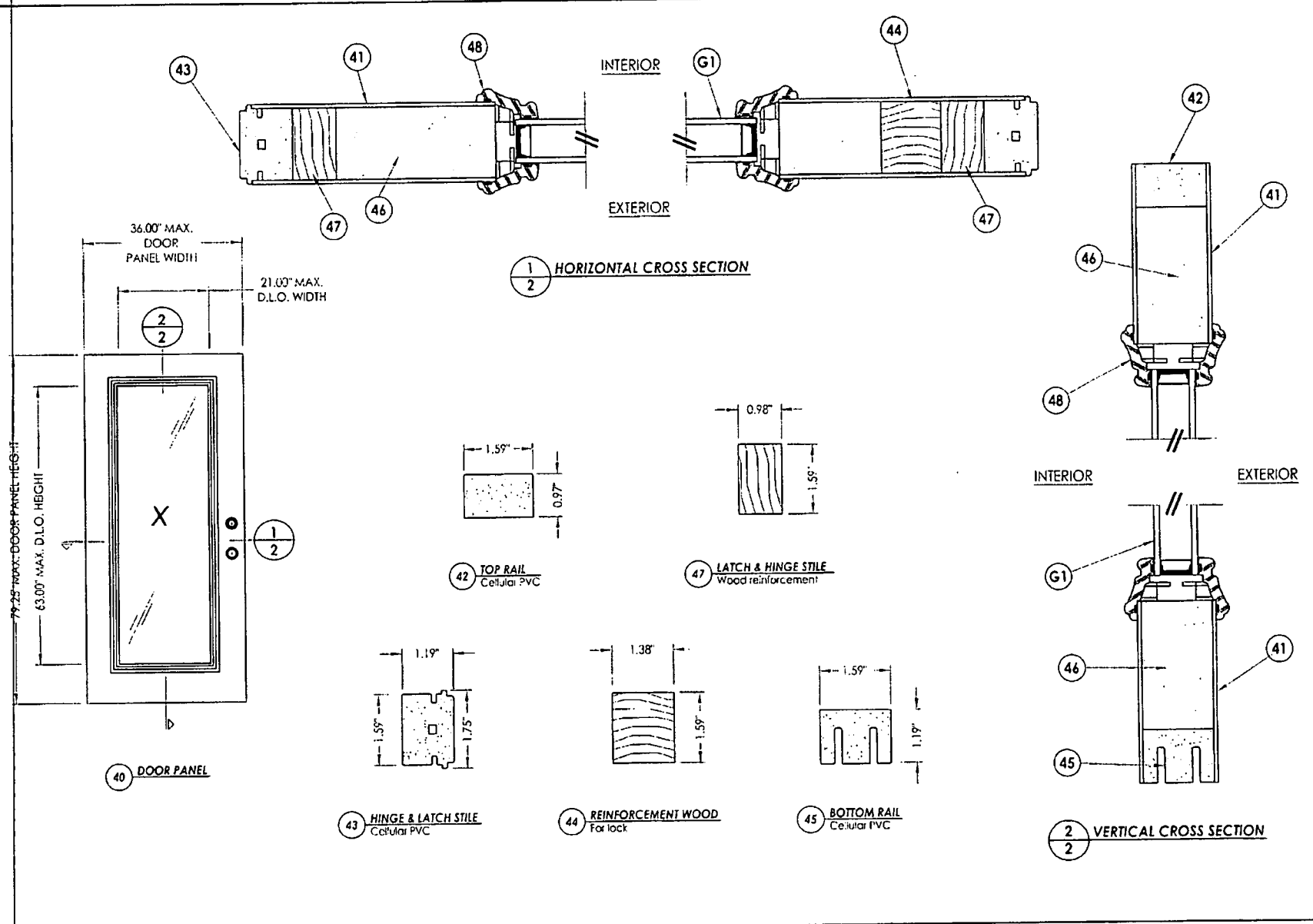
Documents Prepared By:
RW BUILDING CONSULTANTS, INC.
 P.O. Box 230 Vero Beach, FL 33595
 Phone No.: 813.659.9197
 Florida Board of Professional Engineers
 Certificate of Authorization No. 9813
 Lynden F. Schmitt, P.E. No. 43409

PRODUCT: NAN YA PLASTICS CORP.
 PLASTPRO INC.
 FIBERGLASS DOOR
 PART OR ASSEMBLY:
 TYPICAL ELEVATION, DESIGN PRESSURES & GENERAL NOTES

NO.	DATE	REVISIONS

DATE: 09/05/08
 SCALE: N.T.S.
 DWG. BY: JK
 CHK. BY: LFS
 DRAWING NO.: FL-6142.4
 SHEET 1 of 8

R.W. - PROJECTS/PROJECT MANAGERS/DESIGNER - 3000 W. BAYVIEW BLVD. SUITE 1000 - MIAMI, FL 33133 - TEL: 305.555.1111 - FAX: 305.555.1112



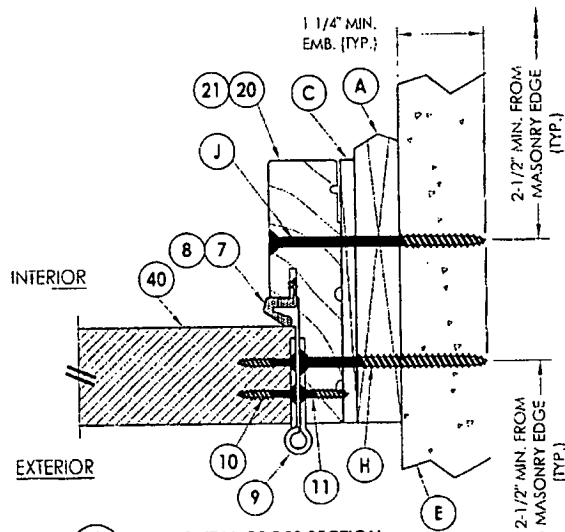
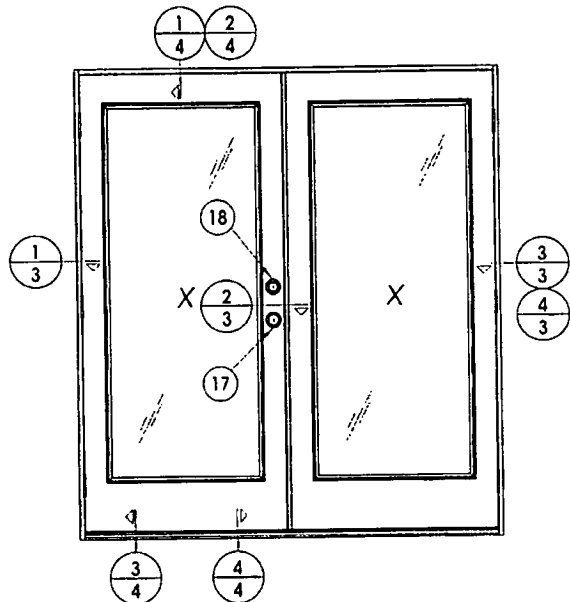
Documents Prepared By:
R.W. BUILDING CONSULTANTS, INC.
 P.O. Box 230 Venice FL 33595
 Phone No.: 813.656.9187
 Florida Board of Professional Engineers
 Certificate Of Authorization No. 9813
 Lyndon F. Schmidt, P.E. No. 43409

PRODUCT: NAN YA PLASTICS CORP. PLASIPRO INC. FIBERGLASS DOOR
 PART OR ASSEMBLY: DOOR PANEL DETAILS

NO.	DATE	BY	REVISIONS

DATE: 09/03/08
 SCALE: N.T.S.
 DWG. BY: JK
 CHK. BY: LFS
 DRAWING NO.: FL-6142.4
 SHEET 2 of 8

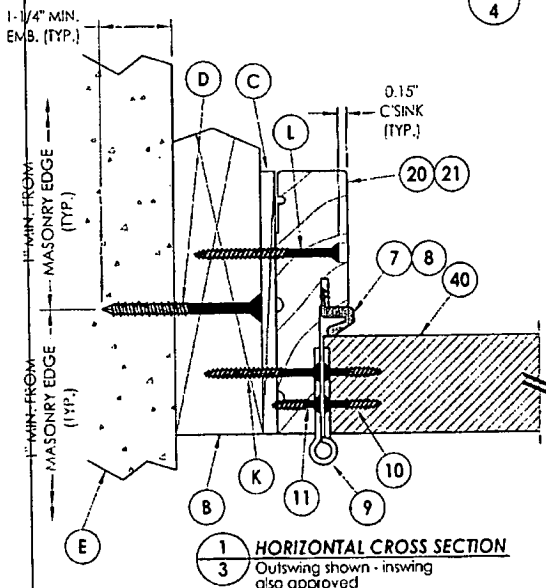
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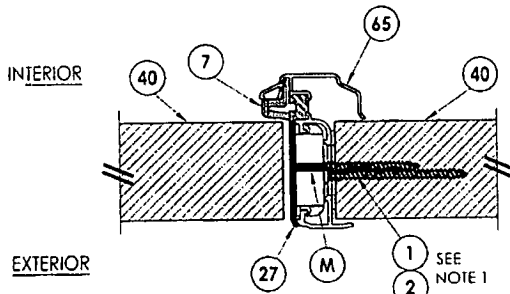
4 HORIZONTAL CROSS SECTION
 Shown w/IX sub-buck substituting concrete screws for wood screws per Section 1714.5.4.2 of the FBC

NOTE:

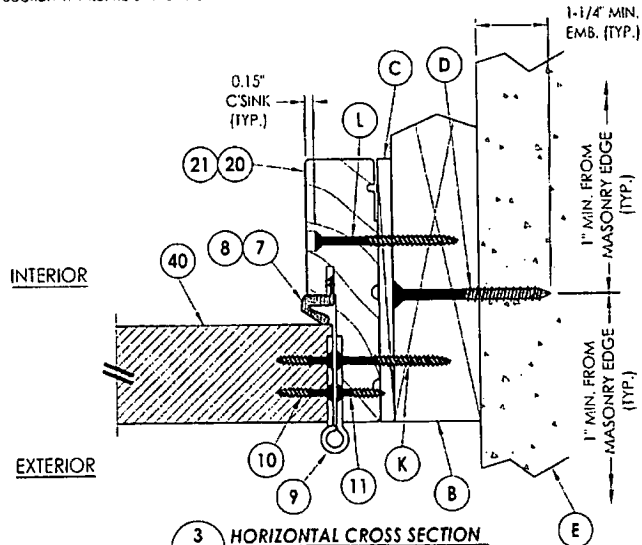
1. As noted in the last report astragal was attached to the inactive leaf with (10) #8 x 3" psh sms and (4) #10 x 2-1/2" pth sms for all 6'-8" (outswing). Astragal was attached to the inactive leaf with (9) #8 x 3" psh sms and (4) #10 x 2-1/2" pth sms for all 6'-8" (inswing).



1 HORIZONTAL CROSS SECTION
 Outswing shown - inswing also approved

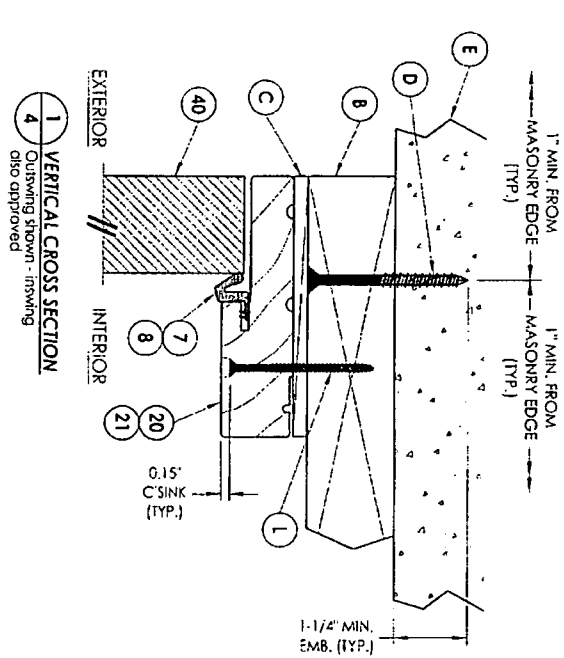


2 HORIZONTAL CROSS SECTION
 Outswing shown - inswing also approved

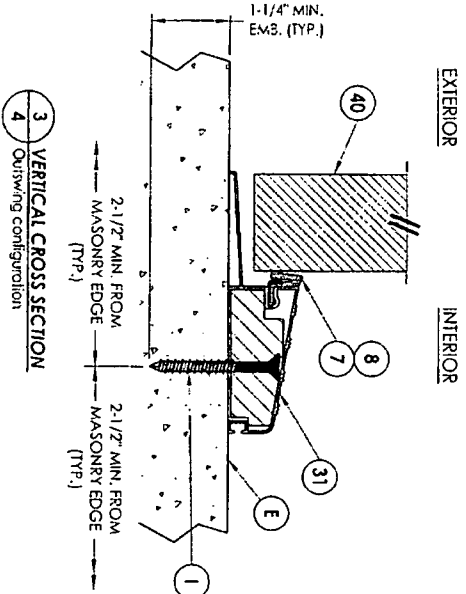


3 HORIZONTAL CROSS SECTION
 Outswing shown - inswing also approved

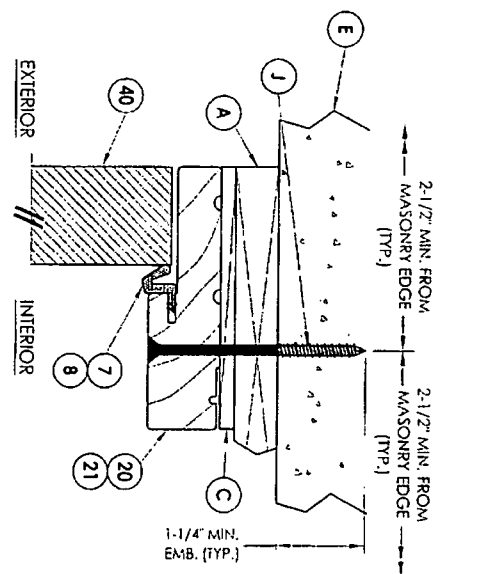
DOCUMENT PREPARED BY: BUILDING CONSULTANTS, INC. P.O. Box 230 Varco FL 33585 Phone No.: 813.659.9197 Florida Board of Professional Engineers Certificate of Authorization No. 9813 Lyndon F. Schmidt, P.E. No. 43409	
PRODUCT: NAY PLASTICS CORP. PLASTPRO INC. FIBERGLASS DOOR	PART OR ASSEMBLY: HORIZONTAL CROSS SECTIONS
DATE: 09/05/08	SCALE: N.T.S.
DWG. BY: JK	CHK. BY: LFS
DRAWING NO.: FL-6142.4	SHEET 3 of 8
REVISIONS NO. DATE BY	



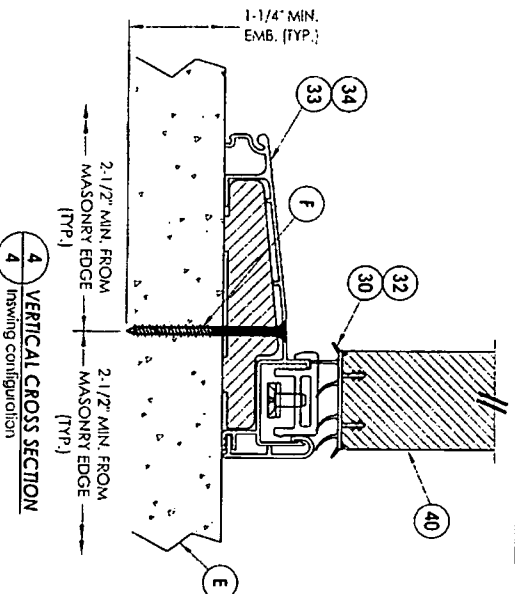
1 VERTICAL CROSS SECTION
 4 Outswinging configuration - (revised)
 also approved



3 VERTICAL CROSS SECTION
 4 Outswinging configuration

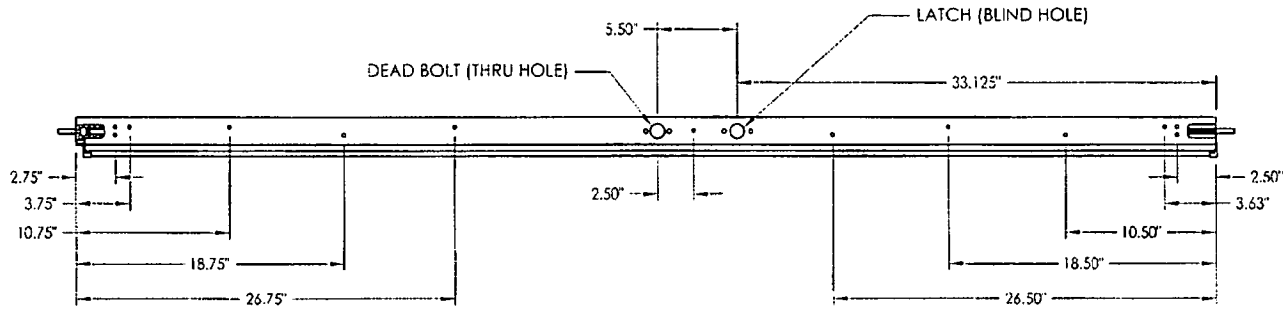


2 VERTICAL CROSS SECTION
 4 Shown w/1X sub-buck substituting concrete screws for wood screws per Section 1714.5.4.2 of the FBC



4 VERTICAL CROSS SECTION
 4 Inswinging configuration

DATE: 9/3/08 SCALE: N.T.S. DWG. BY: JK CHK. BY: LFS DRAWING NO.: FL-6142.4 SHEET: 4 of 8		PRODUCT: NAN YA PLASTICS CORP. PLASTPRO INC. FIBERGLASS DOOR	Documents Prepared By: R.W. BUILDING CONSULTANTS, INC. P.O. Box 230 Valrico FL, 33595 Phone No.: 813.659.9197 Florida Board of Professional Engineers Certificate of Authorization No. 9813 Lyndon F. Schmidt, P.E. No. 43409
NO. DATE REVISIONS BY		PART OR ASSEMBLY: VERTICAL CROSS SECTIONS	

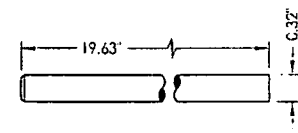


TOP

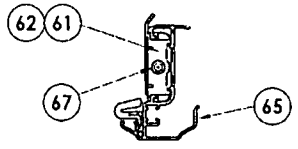
BOTTOM

A-A

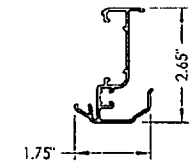
6'8 ALUMINUM ASTRAGAL ASSEMBLY
By Enduro Product



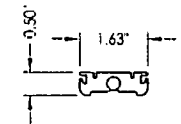
67 SLIDE BOLT ROD
MATERIAL: Steel



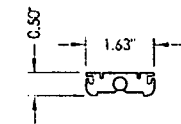
VIEW A-A
Aluminum Astragal Assembly



65 ALUMINUM ASTRAGAL
By Enduro Product



62 TOP BOLT RETAINER
MATERIAL: 5/32" Aluminum



61 TOP BOLT RETAINER
MATERIAL: 4/34" HDPE

Documents Prepared By:
RW BUILDING CONSULTANTS, INC.
 P.O. Box 230 Venice FL 33585
 Phone No.: 813.659.9197
 Florida Board of Professional Engineers
 Certificate of Authorization No. 9813
 Lyndon F. Schmidt, P.E. No. 43409

PRODUCT: NAN YA PLASTICS CORP.
 PLASTIPRO INC.
 FIBERGLASS DOOR

PART OR ASSEMBLY:
 ENDURA ASTRAGAL DETAILS

NO.	DATE	BY	REVISIONS

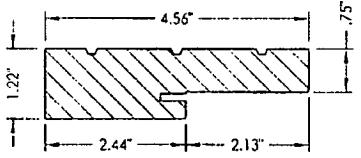
DATE: 9/4/08
 SCALE: N.T.S.
 DWG. BY: JK
 CHK. BY: LFS
 DRAWING NO.: FL-6142.4
 SHEET 7 OF 8

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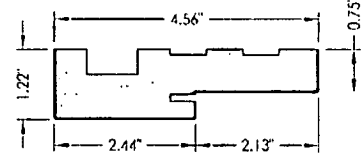
K:\A - PROJECTS\PROJECT - 652 K11\U. HVEL Drawings\FL-6142\1-0-4.dwg, Model

BILL OF MATERIALS

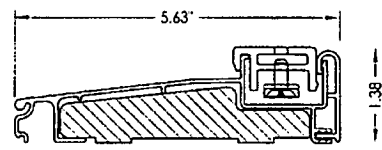
ITEM	DESCRIPTION	MATERIAL	ITEM	DESCRIPTION	MATERIAL
A	1X BUCK SG >= 0.55	WOOD	20	FINGER JOINTED PINE FRAME, HEAD & HINGE JAMBS	WOOD
B	2X BUCK SG >= 0.55	WOOD	21	POLYFIBER JAMB	COMP. / VINYL
C	1/4" MAX. SHIM SPACE	-	27	LATCH STRIKE PLATE	STEEL
D	1/4" X 2-3/4" PFH ELCO CONCRETE SCREW	STEEL	28	DEADBOLT PLATE	STEEL
E	MASONRY - 3,192 PSI MIN. CONCRETE CONFORMING TO ACI 301 OR HOLLOW BLOCK CONFORMING TO ASTM C90	CONCRETE	30	WEATHER-STOP 3647 HOLM INDUSTRIES	VINYL
F	1/4" X 2-3/4" PFH ITW CONCRETE SCREW	STEEL	31	OUTSWING BUMP THRESHOLD	ALUM.
G	3/16" X 3 1/4" PFH ITW CONCRETE SCREW	STEEL	32	VINYL DOOR BOTTOM SWEEP #3628 BY HOLM IND.	PVC
H	1/4" X 3 1/4" PFH ITW CONCRETE SCREW	STEEL	33	INSWING ADJUSTABLE THRESHOLD BY ENDURA	ALUM. / WOOD
I	1/4" X 2-1/4" PFH ITW CONCRETE SCREW	STEEL	34	INSWING ADJUSTABLE ALUMINUM THRESHOLD BY DLP	ALUM. / WOOD
J	1/4" X 3-3/4" PFH ITW CONCRETE SCREW	STEEL	40	DOOR PANEL - SEE DOOR PANEL DETAIL SHEET FOR CONSTRUCTION DETAILS	-
K	#9X 2-1/2" PFH WOOD SCREW	STEEL	41	DOOR SKIN (MIN. 0.075" THICK)	FIBERGLASS
L	#10 X 2-1/2" PFH WOOD SCREW	STEEL	42	TOP RAIL	CELLULAR PVC
M	#9 X 2-1/4" PFH WOOD SCREW	STEEL	43	LATCH & HINGE STILE	CELLULAR PVC
N	3/16" X 3-1/2" PFH ITW CONCRETE SCREW	STEEL	44	LOCK REINFORCEMENT	WOOD
O	3/16" X 3-1/2" PFH ITW CONCRETE SCREW	STEEL	45	BOTTOM RAIL	CELLULAR PVC
1	#10 X 2-1/2" PFH SMS	STEEL	46	POLYURETHANE FOAM BY NAN YA	POLYURETHANE
2	#8 X 3" PSH SMS	STEEL	47	CONTINUOUS LATCH & HINGE STILE REINFORCEMENT	WOOD
3	FLUSH BOLT STRIKE PLATE	STEEL	48	SNAP IN LITE FRAME	ABS
7	Q-LON 650 WEATHER STRIP SCHLEGEL	FOAM	49	GLAZING COMPOUND DOW 995	SILICONE
8	COMPRESSION WEATHER STRIP Q-LON 650 BY SCHLEGEL	FOAM	56	GLAZING SPACER	ALUM.
9	4" X 4" BUTT HINGE	STEEL	61	4-3/4" LENGTH TOP BOLT RETAINER	HDPE
10	#9 X 1" PFH WOOD SCREW	STEEL	62	9-8/4" LENGTH TOP BOLT RETAINER	ALUMINUM
11	#9 X 3/4" PFH WOOD SCREW	STEEL	65	ASTRAGAL BY ENDURA PRODUCTIS	ALUMINUM
17	KWIKSET KEYED ENTRY GRADE 2	STEEL	67	SLIDE BOLT ROD	STEEL
18	KWIKSET DEADBOLT GRADE 2	STEEL			



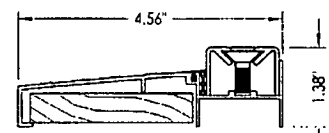
20 HEAD & SIDE Jamb



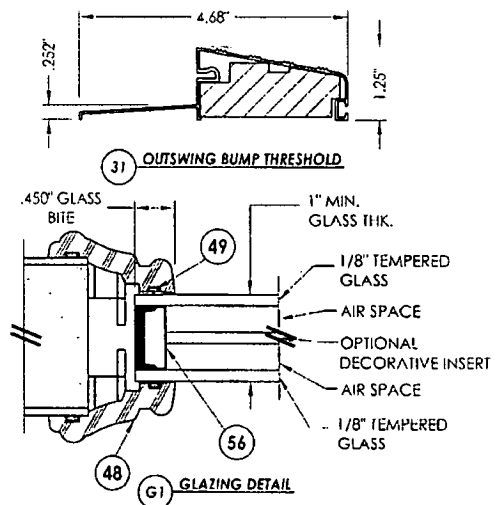
21 HEAD & SIDE Poly fiber jamb



33 ADJUSTABLE INSWING THRESHOLD



34 ADJUSTABLE INSWING THRESHOLD



G1 GLAZING DETAIL

Documents Prepared By: **RW** BUILDING CONSULTANTS, INC.
P.O. Box 230 Vero Beach, FL 33593
Phone No.: 813.659.9187
Florida Board of Professional Engineers
Certificate of Authorization No. 9813
Lyndon F. Schmidt, P.E. No. 43409

PRODUCT: NAN YA PLASTICS CORP. PLASTPRO INC. FIBERGLASS DOOR
PART OR ASSEMBLY: BILL OF MATERIALS, GLAZING DETAIL & COMPONENTS

NO	DATE	BY

REVISIONS

DATE: 9/4/08
SCALE: N.T.S.
DWG. BY: JK
CHK. BY: LFS
DRAWING NO.: FL-6142.4
SHEET 8 OF 8

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Siding



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

James Hardie Building Product, Inc.
10901 Elm Avenue
Fontana, CA 92337

SCOPE: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone.

DESCRIPTION: Hardiplank, Cemplank, Hardipanel, Cempanel, Hardisoffit and Cemsoffit

APPROVAL DOCUMENT: Drawing No. HPNL-8X, HPLK-4X8 & HSOFFIT-8X, titled "Hardipanel & Cempanel; Hardiplank & Cemplank; Hardisoffit & Cemsoffit Installation Details", sheets 1 through 3 with no revisions, prepared, signed and sealed by Ronald Ogawa, P.E., dated 04/02/04, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 02-0729.02 and, consists of this page, evidence page as well as approval document mentioned above.

The submitted documentation was reviewed by Carlos M. Utrera, P.E.



NOA No 07-0418.04
Expiration Date: May 01, 2012
Approval Date: May 31, 2007
Page 1

NOTICE OF ACCEPTANCE: EVIDENCE PAGE

A DRAWING (submitted under NOA No. 02-0729.02)

1. Drawing prepared by James Hardie Building Products, Inc. titled "Hardipanel & Cempanel; Hardiplank & Cemplank; Hardisoffit & Cemsoffit Installation Details", drawing No HPNL-8X, HPLK-4X8 & HSOFFIT-8X, dated 04/02/04, with no revisions, signed and sealed by R. L. Ogana, PE.

B TEST (submitted under NOA No. 02-0729.02)

	Laboratory Report	Test	Date	Signature
1.	ATI-16423-1	PA 202 & 203	03/18/96	A. N. Reeves PE.
2.	ATI 16423-2	PA 202 & 203	03/18/96	A. N. Reeves PE.
3.	ATI 16423-3	PA 202 & 203	03/18/96	A. N. Reeves PE.

C QUALITY ASSURANCE

1. Building Code Compliance Office.

D MATERIAL CERTIFICATION (submitted under NOA No. 02-0729.02)

- 1 Standard Compliance (ASTM C-1185) issued by ETL Testing Laboratories on 05/09/95 signed by D. K. Tucker, PE.
- 2 Evaluation Report NER-405 issued by National Evaluation Service, Inc. on 01/01/93, with no signature.

E STATEMENT (submitted under NOA No. 02-0729.02)

1. No change letter issued by James Hardie Building Products, Inc. issued on 02/16/99, signed and by J. L. Mulder.
2. Power of Attorney and Appointment of Domestic Representative, signed by P. Shafron on 04/17/02, Assignment and Memorandum of Assignment signed by T. P. Dolmans on 04/16/02 and Assignment for the trade marks of Cemplank, Cempanel and Cemsoffit to the Assistant Commissioner for Trademarks signed by V. Lester and P. Shafron on 04/18/02.

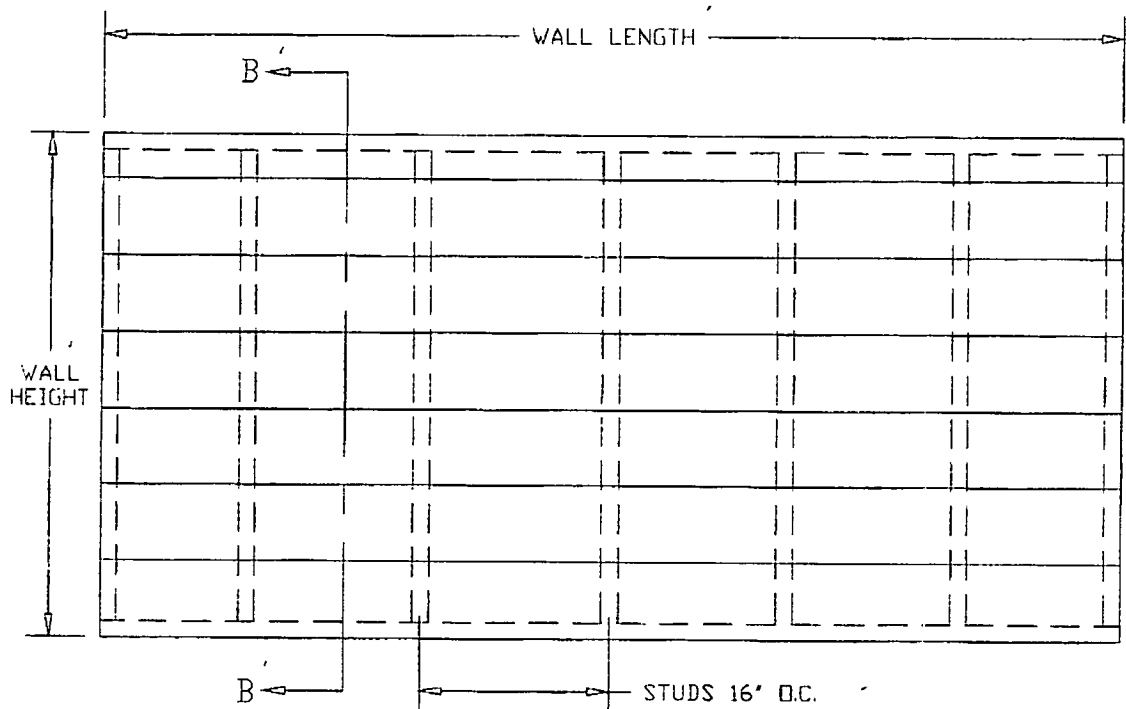
E OTHERS

1. No change letter issued by James Hardie Building Products, Inc. issued on 04/02/07, signed and sealed by Chad Diercks, Technical Services Manger.
2. Engineer of record letter issued by Ronald Ogawa & Associates, Inc., dated April 3, 2007, signed and sealed by Ronald I. Ogawa, P.E.

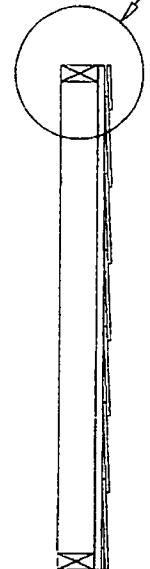


Carlos M. Utrera, P.E.
Product Control Examiner
NOA No 07-0418.04
Expiration Date: May 01, 2012
Approval Date: May 31, 2007

REVISION BLOCK
REV. / DATE



DETAIL A



DESCRIPTION
 Hardiplank & Cemplank siding material is a non asbestos fiber cement product tested in accordance with ASTM C-1185 and meeting the requirements of the Florida Building Code.

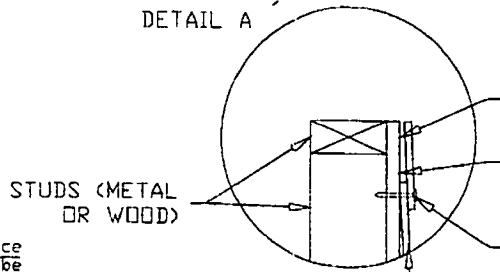
PLANK DIMENSIONS
 Width Length Thickness
 59 1/2' 12' & 14' 5/16'

DESIGN PRESSURE RATING
 Installation Design Pressure
 Wood frame -92 PSF
 Metal frame -92 PSF

NOTES
 1) ALL INSTALLATION SHALL BE DONE IN CONFORMANCE WITH THIS NOTICE OF ACCEPTANCE, THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS, AND THE APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE.
 2) STUDS OF METAL OR WOOD WHERE HARDIPLANK & CEMPLANK WILL BE INSTALLED SHALL BE DESIGNED BY AN ENGINEER OR ARCHITECT PER THE F.B.C. AND THE REQUIREMENTS OF THIS N.O.A.

SECTION B-B

DETAIL A



5/8" PLYWOOD SHEATHING WATERPROOFING PER 2121.6.2.1 OF F.B.C.

NAIL OR SCREW

HARDIPLANK & CEMPLANK SIDING

HARDIPLANK & CEMPLANK SIDING INSTALLATION DETAILS
 The planks are applied horizontally commencing from the bottom course of a wall with 1 1/4" wide laps at top of the plank. The optional PVC cover molding 1 5/8" wide is applied to the bottom plate under the bottom plank course. The vertical joints must be over framing members. Optional PVC butt joints inserts are used for on-stud jointing. The planks are to be installed over 5/8" (5 ply) APA rated plywood supported by a minimum of 2"x4" wood studs or 20 ga. x 3 5/8" x 1 3/8" steel studs spaced a maximum of 16" o.c. The siding shall be fastened through over lapping planks with 8d x 2 1/2" long galvanized box nails over wood studs or with #8 x 2 1/4" long x 0.315" corrosion resistance H.D. ribbed bugle screws over steel studs. The fasteners shall be placed in the over-lapping area 38" o.c. vertically and 16" o.c. horizontally into the studs through the 5/8" plywood sheathing. A distance of 3/4" from the edges shall always be observed.

5/8" PLYWOOD SHEATHING SHALL BE ATTACHED TO THE STUDS IN ACCORDANCE TO FLORIDA BUILDING CODE, WITH ANOTHER SET OF NAILS OR SCREWS AS UNDERLINED ABOVE.

PRODUCT REVIEWED
 as complying with the Florida Building Code
 Approved By: 02-0418.04
 Expiration: 02/21/2012
 By: [Signature]
 Michael Hardie Product Control Division

PRODUCT REVIEWED
 as complying with the Florida Building Code
 Approved By: 02-0729.02
 Expiration: 05/14/12
 By: [Signature]
 Michael Hardie Product Control Division

JAMES HARDIE BUILDING PRODUCTS - USA RESEARCH & DEVELOPMENT CENTER	10901 ELM AVENUE FONTANA, CA 92337 909-356-6300 FAX: 909-427-0534
	DATE: 04/02/2004 DRG NO: HPLK-4XB SHEET NO: 2/3
This drawing and the copyright therein are the property of the above company and accordingly the drawing must not be copied or reproduced in any material form whatsoever.	SCALE: NTS DRAWN BY: C DIERCKS
TITLE: HARDIPLANK® & CEMPLANK® INSTALLATION DETAILS	APPROVING ENG: _____ ENG DISCIPLINE: _____ ENG NO: _____



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Florida Department of
Business & Professional Regulation

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Product Approval
USER: Public User

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Product Approval Menu > Product or Application Search > Application List > **Application Detail**



FL #	FL13192-R1						
Application Type	Revision						
Code Version	2007						
Application Status	Approved						
Comments							
Archived							
Product Manufacturer	James Hardle Building Products, Inc.						
Address/Phone/Email	26300 La Alameda Ste. 250 Mission Viejo, CA 92691 (909) 356-6366 chad.diercks@jameshardle.com						
Authorized Signature	Chad Diercks chad.diercks@jameshardle.com						
Technical Representative	Chad Diercks						
Address/Phone/Email	10901 Elm Ave Fontana, CA 92337 (909) 356-6366 chad.diercks@jameshardle.com						
Quality Assurance Representative	Chad Diercks						
Address/Phone/Email	10901 Elm Ave Fontana, CA 92337 (909) 356-6366 chad.diercks@jameshardie.com						
Category	Panel Walls						
Subcategory	Siding						
Compliance Method	Evaluation Report from a Product Evaluation Entity						
Evaluation Entity	ICC Evaluation Service, LLC						
Quality Assurance Entity	Intertek Testing Services NA Inc						
Quality Assurance Contract Expiration Date	01/01/2013						
Validated By	John Southard, P.E. Validation Checklist - Hardcopy Received						
Certificate of Independence	FL13192 R1 COI Florida Certification - ICC-ES Certificate of Independ.pdf						
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th><u>Standard</u></th> <th><u>Year</u></th> </tr> </thead> <tbody> <tr> <td>ASTM C1186</td> <td>2002</td> </tr> <tr> <td>ASTM E330</td> <td>2002</td> </tr> </tbody> </table>	<u>Standard</u>	<u>Year</u>	ASTM C1186	2002	ASTM E330	2002
<u>Standard</u>	<u>Year</u>						
ASTM C1186	2002						
ASTM E330	2002						
Equivalence of Product Standards Certified By							
Sections from the Code							

ICC-ES Evaluation Report**ESR-2290**

Issued April 1, 2010

This report is subject to re-examination in one year.

www.icc-es.org | (800) 423-6587 | (562) 699-0543

A Subsidiary of the International Code Council®

DIVISION: 07—THERMAL AND MOISTURE PROTECTION
Section: 07450—Fiber-Reinforced Cementitious Panels
Section: 07460—Siding

REPORT HOLDER:

JAMES HARDIE BUILDING PRODUCTS, INC.
10901 ELM AVENUE
FONTANA, CALIFORNIA 92337
(800) 942-7343
www.jameshardie.com
chad.diercks@jameshardie.com

EVALUATION SUBJECT:

HARDIESHINGLE™ PANELS, HARDIEPLANK™ LAP SIDING, AND HARDIESHINGLE™ INDIVIDUAL SHINGLES

1.0 EVALUATION SCOPE**Compliance with the following codes:**

- 2006 International Building Code® (IBC)
- 2006 International Residential Code® (IRC)

Properties evaluated:

- Weather protection
- Structural
- Types I, II, III, and IV (noncombustible) construction
- Fire-resistance-rated construction
- Thermal resistance

2.0 USES

James Hardie fiber-cement panels, plank lap siding, and cladding shingles are used as exterior wall covering.

3.0 DESCRIPTION**3.1 General:**

The exterior sidings are single-faced, cellulose fiber-reinforced cement (fiber-cement) products. Exterior sidings are identified as HardieShingle™ panel siding, HardiePlank™ (Cemplank®, Sentry™ and RFC®) lap siding, and HardieShingle™ individual shingles.

The products comply with ASTM C 1186 as Grade II, Type A. The products have a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E 84. The products (HardiePlank™, Cemplank®, Sentry™, RFC®, and HardieShingle™) are

classified as noncombustible when tested in accordance with ASTM E 136. For testing in accordance with ASTM C 177, conductance "K" and resistance "R" values for the products are as shown in Table 2 of this report. When tested in accordance with ASTM E 96, desiccant method, products with a thickness of 1/4 inch (6.4 mm) and 5/16 inch (7.5 mm) have demonstrated the permeance values given in Table 3 of this report.

3.2 Siding:

HardieShingle™ panels, HardiePlank™ (Cemplank® Sentry™ and RFC®) lap siding, and HardieShingle™ individual shingles may be used as siding on exterior walls. The exterior sidings are supplied either unprimed or primed for subsequent application of a compatible primer and/or exterior-grade top coat. Nominal product dimensions are noted in Table 1.

3.2.1 HardieShingle™ Panels: HardieShingle™ panels are available in a variety of finish textures and are offered in three configurations: half-round, staggered-edge, and square-edge.

3.2.2 HardiePlank™ (Cemplank®, Sentry™ and RFC®) Lap Siding: Hardiplank, Cemplank, Sentry and RFC lap sidings are available in a variety of finish textures.

3.2.3 HardieShingle™ Individual Shingles: HardieShingle™ individual shingles are available in a variety of finish textures.

3.3 Fasteners:

Fastener spacing must be as shown in the tables of this report. Fasteners must be corrosion-resistant steel.

4.0 DESIGN AND INSTALLATION**4.1 Design:**

4.1.1 Walls: The maximum basic wind speeds for positive or negative transverse load resistance of HardieShingle™ panel, HardiePlank™ (Cemplank®, Sentry™ and RFC®) lap siding, and HardieShingle™ individual shingles are presented in Tables 4 through 14.

4.2 Installation:

4.2.1 General: Installation must comply with this report, and a copy of this report must be available at all times on the jobsite during installation. All products are permitted to be cut to shape on-site by the score-and-snap method using a score-and-snap knife, a hand guillotine or a handsaw utilizing a carbide blade. A clear distance of 6 inches (152 mm) must be maintained between the siding

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Page 1 of 18

and grade. Fasteners used to attach the products are described in Tables 4 through 14.

4.2.2 HardieShingle™ Panels: When installation is on braced wood or metal framing members or solid wood sheathing, a water-resistive barrier must be applied over the wood or metal framing members or solid wood sheathing in accordance with the applicable code. The first notched panel must be trimmed so the end aligns with the furthest stud and is secured above keyways [approximately 8 inches (203 mm) clearance from butt edges of panel] on 16-inch (406 mm) or 24-inch (610 mm) centers [maximum 13³/₄-inch (349 mm) centers for application only to minimum 7/₁₆-inch-thick (11.1 mm) oriented strand board sheathing (OSB) complying with U.S. DOC PS2]. The panels must be fastened in accordance with the provisions of Table 4 of this report. A nominally 1¹/₄-inch-wide-by-¹/₄-inch-thick (31.8 mm by 6.4 mm) starter strip and a minimum 8¹/₄-inch-wide (210 mm) HardiePlank™ (Cemplank®, Sentry™ and RFC®) lap siding starter course are installed over the water-resistive barrier, with the bottom of the starter strip and starter course even with the bottom of the bottom plate. The siding must be applied horizontally commencing from the bottom course of a wall.

The second course, and every following even number course (i.e., fourth, sixth) must commence the equivalent of one full stud cavity from the straight edge end. The fasteners must penetrate through the previous course and into the substrate (framing members, wood structural panel sheathing or concrete masonry units).

When a course is interrupted by a window or doorway, the notched panel application pattern continues as if the wall were complete. Trim and corners must be installed and the siding must be finished in accordance with the manufacturer's application instructions. A 1/₈-inch (3.2 mm) gap must be left at locations where the siding butts against door and window trim and at internal or external corners; such gaps must be flashed in accordance with the applicable code, then caulked. Vertical joints must occur over framing members and must be sealed with caulking or covered with battens.

4.2.3 HardiePlank™ (Cemplank®, Sentry™ and RFC®) Lap Siding: When installation is on braced wood or metal framing members or solid wood sheathing, the lap siding must be fastened either through the overlapping planks (face nailed) or through the top edge of single planks (blind nailed) in accordance with the provisions of Table 5 of this report. A water-resistive barrier must be applied over the wood or metal framing members or solid wood sheathing in accordance with the applicable code. Lap siding is also permitted to be fastened to a wall constructed of concrete masonry units complying with ASTM C 90, in accordance with Tables 6 through 11. The lap siding requires the use of a starter strip to set the first course on the proper angle and to create a drip edge. A nominally 1¹/₄-inch-wide-by-⁵/₁₆-inch-thick (31.8 mm by 7.9 mm) starter strip is installed over the water-resistive barrier, with the bottom of the starter strip even with the bottom of the bottom plate. The siding must be applied starting at the bottom course of the wall, with a minimum 1¹/₄-inch-wide (31.8 mm) overlap at the top of each plank. Vertical joints must occur over studs, except where the "off-stud splice device" is installed or where the planks are installed to solid wood sheathing complying with the applicable code, and must be staggered on subsequent courses. Where the "off-stud splice device" is installed, the splice device's bottom lip must be placed over the adjacent solid course of planks. The plank must then be fastened to the framing with corrosion-resistant fasteners. The abutting plank must be

positioned and fastened into place ensuring that the lower edges of the two planks align. The metal device must be located centrally over the vertical joint.) Vertical joints between planks must be lightly butted or gapped and must be protected by one of the following methods: (a) sealed with caulking in accordance with the caulk manufacturer's published gapping requirements and caulking application instructions; or (b) covered with an H-section joint cover; or (c) located over a strip of nonperforated flashing complying with ASTM D 226, Type I felt, or other approved flashing. Trim and corners must be installed and the siding must be finished in accordance with the manufacturer's application instructions. A 1/₈-inch (3.2 mm) gap must be left at locations where the siding butts against door and window trim and at internal or external corners; such gaps must be flashed in accordance with the applicable code, then caulked.

4.2.4 HardieShingle™ Individual Shingles: When installed on solid wood sheathing or equivalent, the cladding shingles are fastened in accordance with the provisions of either Table 12, 13 or 14 of this report. A water-resistive barrier in accordance with the applicable code must be applied over the substrate to which the shingles are attached.

The individual shingles require the use of a starter strip to set the first course on the proper angle and to create a drip edge. The nominally 1¹/₄-inch-wide-by-¹/₄-inch-thick (31.8 mm by 6.4 mm) starter strip and a minimum 8¹/₄-inch-wide (210 mm) HardiePlank™ (Cemplank®, Sentry™ and RFC®) lap siding starter course are installed over the water-resistive barrier with the bottom of the starter strip and starter course even with the bottom of the bottom plate. Shingles are spaced a maximum of 1/4 inch (6.4 mm) apart leaving a minimum side lap of 1 1/2 inches (38 mm) between the joints of successive courses. Fasteners must be spaced a minimum of 1/4 inch (19 mm) and a maximum of 1 inch (25.4 mm) from shingle edges and must be positioned to be covered a nominal 1 1/4 inches (32 mm) by the succeeding shingle course; for 12-inch-wide (305 mm) shingles, the third nail (see Table 14) must be installed mid-span of the shingle. Nails must secure shingles but must not be over-driven. Trim and corners must be installed and the shingles must be finished in accordance with the manufacturer's application instructions. A 1/₈-inch (3.2 mm) gap must be left at locations where the shingle butts against door and window trim and at internal or external corners; such gaps must be flashed in accordance with the applicable code, then caulked.

4.3 Fire-resistance-rated Assembly (HardiePlank™ Lap Siding):

The asymmetrical, load-bearing, one-hour fire-resistance-rated wall assembly must consist of nominally 2-by-4 wood studs spaced a maximum of 24 inches (610 mm) on center, with two top plates and a single bottom plate. One layer of 5/₈-inch-thick (15.9) Type X gypsum wallboard complying with ASTM C 36 or ASTM C 1396, 48 inches (1219 mm) wide, must be applied vertically to the interior face of the studs and secured with minimum 1³/₄-inch-long (44 mm) cup-head gypsum wall board nails, spaced 7 inches (178 mm) on center at board edges and intermediate framing members. All board joints must be backed by framing. The 5/₈-inch-thick (15.9 mm) Type X gypsum wallboard joints and nail heads must be finished in accordance with ASTM C 840 or GA216. The exterior face of the wall must be covered with one layer of 1/₂-inch-thick (12.7 mm) Type X water-resistant core treated gypsum sheathing complying with ASTM C 36 or ASTM C 1396 and one layer of maximum 12-inch-wide (305 mm) HardiePlank™ (Cemplank®, Sentry™ and RFC®) lap siding

TABLE 5—MAXIMUM WIND SPEED (mph) (Continued)

HardiePlank™	5/16	7¼ 7½	No. 8 × 1-5/8" long × 0.323" HD ribbed bugle head screw	Face Screwed	Min. No. 20 ga. × 3.62" × 1.375" Metal C-stud	24	0-15 20 40 60	168 168 147 137	126 121 110 105	105 105 95 95
HardiePlank™	5/16	8	No. 8 × 1-5/8" long × 0.323" HD ribbed bugle head screw	Face Screwed	Min. No. 20 ga. × 3.62" × 1.375" Metal C-stud	24	0-15 20 40 60	168 168 147 137	126 121 110 105	105 100 95 89
HardiePlank™	5/16	8¼	No. 8 × 1-5/8" long × 0.323" HD ribbed bugle head screw	Face Screwed	Min. No. 20 ga. × 3.62" × 1.375" Metal C-stud	24	0-15 20 40 60	168 168 137 131	121 121 105 100	105 100 95 89
HardiePlank™	5/16	9¼ 9½	No. 8 × 1-5/8" long × 0.323" HD ribbed bugle head screw	Face Screwed	Min. No. 20 ga. × 3.62" × 1.375" Metal C-stud	24	0-15 20 40 60	158 158 137 126	116 110 100 95	95 95 89 85
HardiePlank™	5/16	4	No. 11 ga. 1-1/4" long Galv. roofing Nail	Blind Nailed	2 × 4 wood	16	0-15 20 40 60	168 168 168 168	168 168 147 147	147 137 131 126
HardiePlank™	5/16	6	No. 11 ga. 1-1/4" long galv. roofing Nail	Blind Nailed	2 × 4 wood	16	0-15 20 40 60	168 168 168 168	168 168 147 147	147 137 131 126
HardiePlank™	5/16	6¼	No. 11 ga. 1-1/4" long galv. roofing Nail	Blind Nailed	2 × 4 wood	16	0-15 20 40 60	168 168 168 168	168 158 147 137	137 137 126 126
HardiePlank™	5/16	7¼ 7½	No. 11 ga. 1-1/4" long galv. roofing Nail	Blind Nailed	2 × 4 wood	16	0-15 20 40 60	168 168 168 168	147 147 137 126	126 126 116 110
HardiePlank™	5/16	8	No. 11 ga. 1-1/4" long galv. roofing Nail	Blind Nailed	2 × 4 wood	16	0-15 20 40 60	168 168 168 158	147 137 131 126	121 116 110 110
HardiePlank™	5/16	8¼	No. 11 ga. 1-1/4" long galv. roofing Nail	Blind Nailed	2 × 4 wood	16	0-15 20 40 60	168 168 168 158	147 137 130 121	121 121 110 105
HardiePlank™	5/16	9¼ 9½	No. 11 ga. 1-1/4" long galv. roofing Nail	Blind Nailed	2 × 4 wood	16	0-15 20 40 60	168 168 158 147	137 131 116 116	116 110 105 100
HardiePlank™	5/16	12	No. 11 ga. 1-1/4" long galv. roofing Nail	Blind Nailed	2 × 4 wood	16	0-15 20 40 60	168 158 137 126	121 116 110 100	100 95 89 89
HardiePlank™	5/16	4	No. 11 ga. 1-1/4" long galv. roofing Nail	Blind Nailed	2 × 4 wood	24	0-15 20 40 60	168 168 168 168	147 137 126 121	121 121 110 105
HardiePlank™	5/16	6	No. 11 ga. 1-1/4" long galv. roofing Nail	Blind Nailed	2 × 4 wood	24	0-15 20 40 60	168 168 168 158	147 137 126 121	121 121 110 105

SH windows



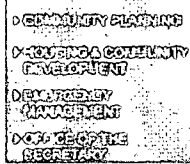
FLORIDA DEPARTMENT OF COMMUNITY AFFAIRS



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Product Approval Menu > Product or Application Search > Application List



Search Criteria

[Refine Search](#)

Code Version	2007	FL#	5823.2
Application Type	ALL	Product Manufacturer	ALL
Category	ALL	Subcategory	ALL
Application Status	ALL	Compliance Method	ALL
Quality Assurance Entity	ALL	Quality Assurance Entity Contract Expired	ALL
Product Model, Number or Name	ALL	Product Description	ALL
Approved for use in HVHZ	ALL	Approved for use outside HVHZ	ALL
Impact Resistant	ALL	Design Pressure	ALL
Other	ALL		

Search Results - Applications

FL#	Type	Manufacturer	Validated By	Status
FL5823-R4 History	Revision	Custom Window Systems Inc. FL#: FL5823.2 Model: SH-8100 Vinyl Single Hung Description: SH-8100 Vinyl Single Hung (Impact) Category: Windows Subcategory: Single Hung	Steven M. Urich, PE (717) 932-8500	Approved

* Approved by DCA. Approvals by DCA shall be reviewed and ratified by the POC and/or the Commission if necessary.

Department of Community Affairs
Florida Building Code Online
Codes and Standards
2555 Shumard Oak Boulevard
Tallahassee, Florida 32399-2100
(850) 487-1824, Fax (850) 414-8436
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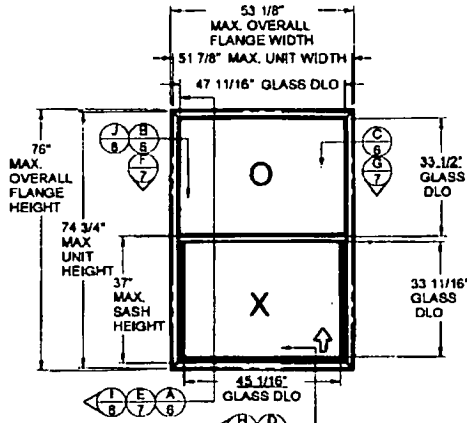
Product Approval Accepts:



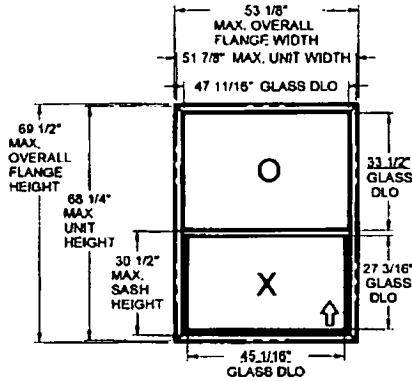
SINGLE HUNG ELEVATION (IMPACT)
(SHOWN W/ DIFFERENT OPTIONS)

PVC IMPACT REQUIREMENT:

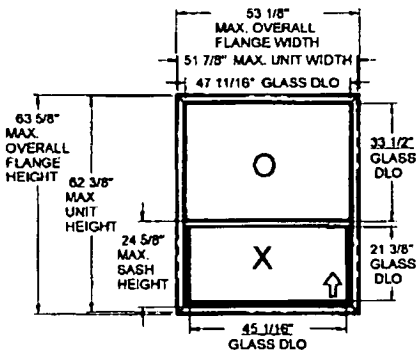
1. THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE FLORIDA BUILDING CODE, CURRENT EDITION
2. GLAZING OPTIONS: (SEE SHEET 3)
3. CONFIGURATIONS: "O/X".
4. DESIGN PRESSURE RATING: (SEE TABLES-SHEET 3)
-NEGATIVE DESIGN LOADS BASED ON TESTED PRESSURE AND GLASS TABLES ASTM E 1300..
-POSITIVE DESIGN LOADS BASED ON, TESTED PRESSURE, WATER INFILTRATION TEST PRESSURE AND GLASS TABLES ASTM E 1300.
5. ANCHORAGE: THE 33 1/3% STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT. SEE SHEETS 6-8 FOR ANCHOR DETAIL.
6. SHUTTERS ARE NOT REQUIRED.
7. ALL FRAMES AND VENTS FULLY WELDED. SMALL JOINT SEAM SEALANT USED AT FIXED MEETING RAIL AND JAMB.
8. REFERENCE TEST REPORTS: NCTL-210-3168-2, NCTL-210-3168-2A, NCTL-210-3168-3, NCTL-210-3168-3B
9. SERIES / MODEL DESIGNATION SH-8100.
10. WOOD BUCK OR STUD FRAMING TO BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO STRUCTURE, BUCK AND FRAMING IS RESPONSIBILITY OF ARCHITECT OR ENGINEER OF RECORD.
11. THE DESIGNATION X AND O STAND FOR THE FOLLOWING: X = OPERABLE SASH, O = FIXED SASH
12. SECTION CALLOUTS FROM EQUAL SPLIT ELEVATION APPLY TO ALL ELEVATIONS IN A SIMILAR LOCATION.



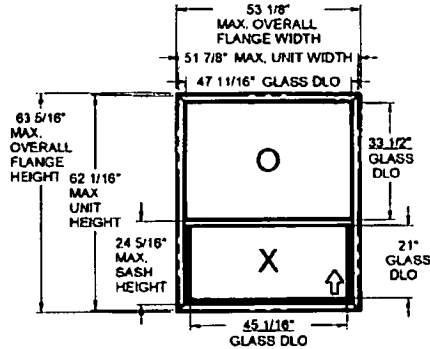
EQUAL SPLIT



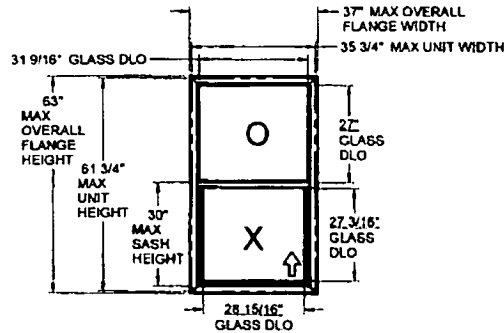
5 HI SASH ORIEL



60/40 SPLIT ORIEL



4 HI SASH ORIEL



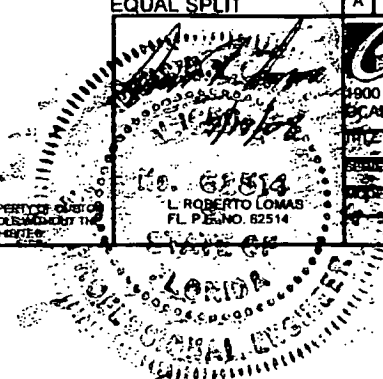
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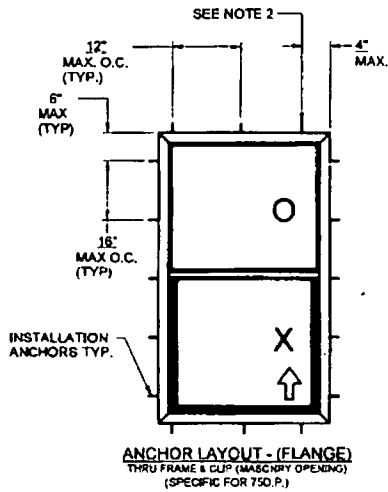
TABLE OF CONTENTS

- GENERAL NOTES & ELEVATIONS.....1
- ANCHOR SCHEDULE & NOTES.....2
- DP CHARTS & GLAZING DETAIL.....3
- SECTION VIEWS.....4
- EXTRUSIONS & B.O.M.....5
- INSTALLATION DETAIL.....6-8

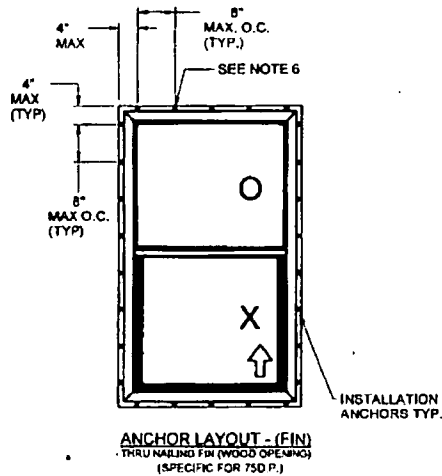
PROPRIETARY AND CONFIDENTIAL
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A		UPDATED PER NEW FBC REQUIREMENTS		07/07/08	
1900 SW 44TH AVE. SCALA, FLORIDA 34474					
GENERAL NOTES & ELEVATIONS - IMPACT					
PROJECT:	PVC SINGLE HUNG	DRAWN BY:	ADE	DATE:	7/7/2008
SCALE:	B100	SCALE:	NTS	DWG. NO.:	CWS-155
REV. LETTER:	A	REV. LETTER:	A	SHEET:	1 OF 8

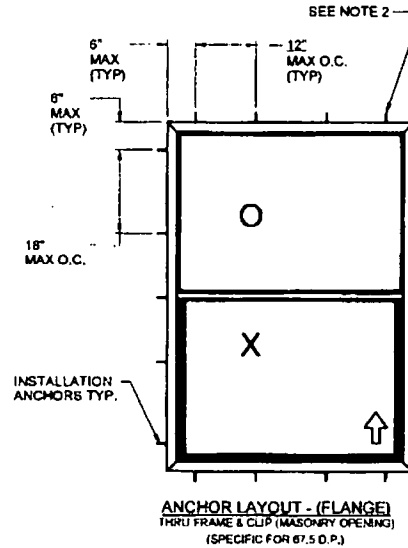




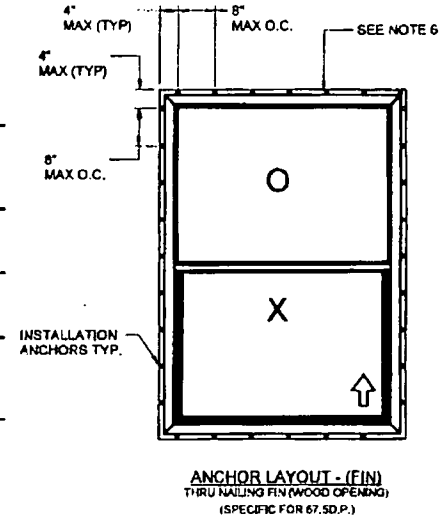
ANCHOR LAYOUT - (FLANGE)
THRU FRAME & CLIP (MASONRY OPENING)
(SPECIFIC FOR 750 P.)



ANCHOR LAYOUT - (FIN)
THRU NAILING FIN (WOOD OPENING)
(SPECIFIC FOR 750 P.)



ANCHOR LAYOUT - (FLANGE)
THRU FRAME & CLIP (MASONRY OPENING)
(SPECIFIC FOR 67.5 D.P.)



ANCHOR LAYOUT - (FIN)
THRU NAILING FIN (WOOD OPENING)
(SPECIFIC FOR 67.5 D.P.)

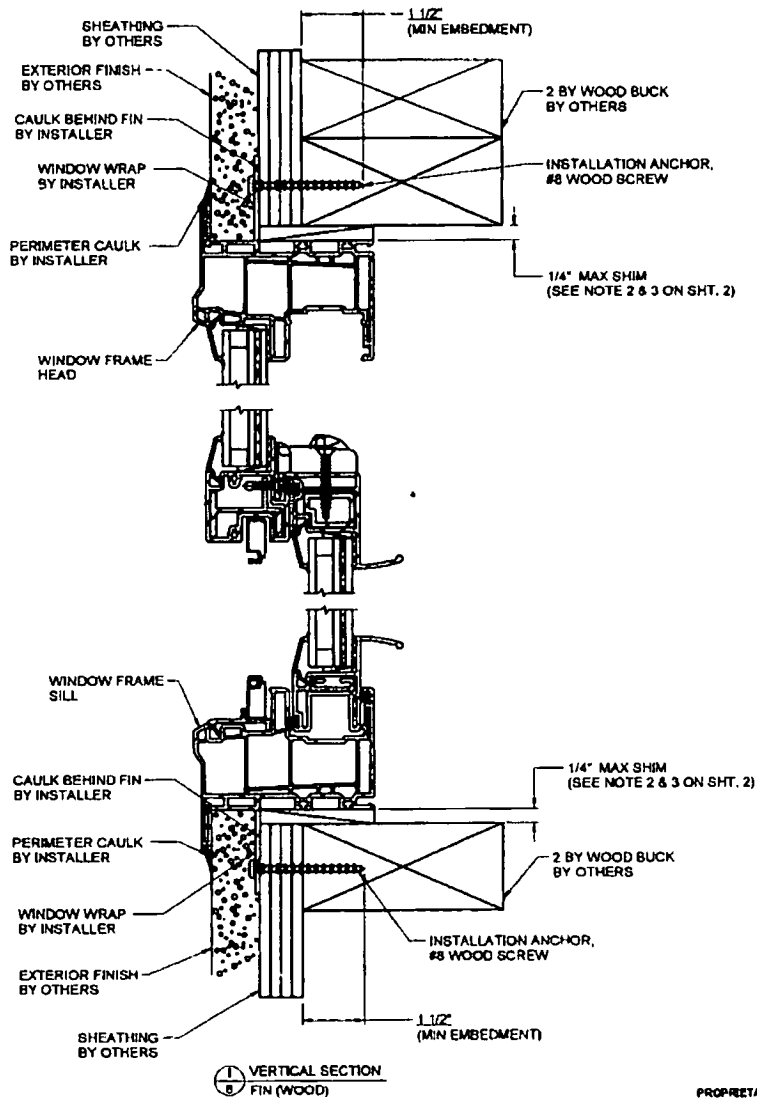
NOTES:

1. INSTALL ONE ANCHOR AT EACH INSTALLATION LOCATION.
2. SHIM AS REQ'D AT EACH SET OF INSTALLATION ANCHORS USING LOAD BEARING SHIMS. MAX. ALLOWABLE SHIM STACK TO BE 1/4". USE SHIMS WHERE SPACE GREATER THAN 1/16" IS PRESENT.
3. LOAD BEARING SHIMS SHALL BE CONSTRUCTED OF HIGH DENSITY PLASTIC OR BETTER. WOOD SHIMS ARE NOT ALLOWED.
4. 3/16" DIA. ELCO TAPCON MASONRY ANCHORS MUST BE OF SUFFICIENT LENGTH TO ACHIEVE A MIN. EMBEDMENT OF 1 1/4" INTO MASONRY THRU FRAME OR THRU 1 BY WOOD BUCK INTO MASONRY. A MINIMUM EDGE DISTANCE OF 2 1/2" SHALL BE ACHIEVED.
5. #10 WOOD SCREW ANCHORS MUST BE OF SUFFICIENT LENGTH TO ACHIEVE A MIN. EMBEDMENT OF 1 3/8" INTO 2 BY WOOD BUCK.
6. #8 WOOD SCREW ANCHORS MUST BE OF SUFFICIENT LENGTH TO ACHIEVE A MIN. EMBEDMENT OF 1 1/2" INTO 2 BY WOOD BUCK FOR FIN INSTALLATION
7. SEAL CORNERS WITH SMALL JOINT SEAM SEALANT.
8. ALL INSTALLATION ANCHORS MUST BE MADE OF A CORROSION RESISTANT MATERIAL OR COATING.
9. INSTALLATION ANCHORS SHALL BE IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BELOW.
10. INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIAL WITH THE FOLLOWING PROPERTIES
 - A. WOOD - MINIMUM SPECIFIC GRAVITY OF G=0.42
 - B. CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 3,200 PSI.
 - C. MASONRY - STRENGTH CONFORMANCE TO ASTM C-90, GRADE N, TYPE 1 (OR GREATER).

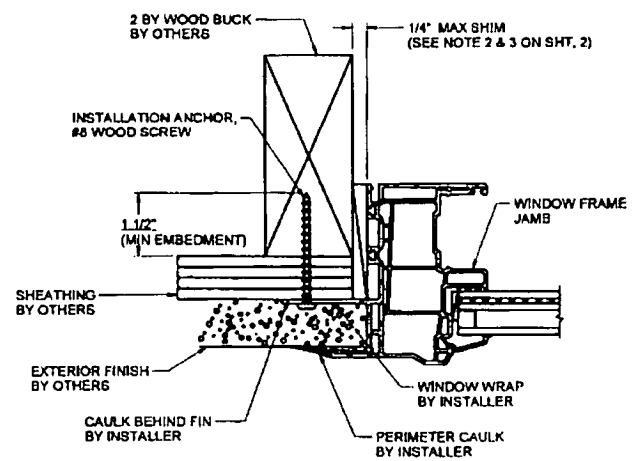
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Handwritten signature and date: 1/22/08
L. ROBERTO LOMAS
FL. P.E. NO. 62514

A		UPDATED PER NEW FBC REQUIREMENTS		07/07/08	
1900 SW 44TH AVE. OCALA, FLORIDA 34474					
TITLE: ANCHOR SCHEDULE & NOTES - IMPACT					
SERIES: PVC SINGLE HUNG	DRAWN BY: ADE	DATE: 7/7/2008			
MODEL: 8100	SCALE: NTS	DWG. NO.: CWS-155			
REV. LETTER: A				SHEET: 2 OF 8	



1 VERTICAL SECTION
2 FIN (WOOD)

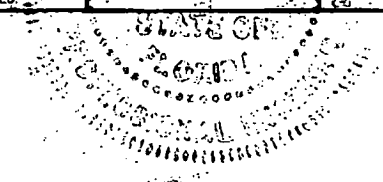


J HORIZONTAL SECTION
B FIN (WOOD)

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Robert Logan
3/13/08
ROBERTO LOGAN
FL P.E. NO. 82514

A UPDATED PER NEW FBC REQUIREMENTS		07/07/08	
1800 SW 44TH AVE. OCALA, FLORIDA 34474			
TITLE: INSTALLATION DETAIL WOOD CONST. - IMPACT			
SERIES: PVC SINGLE HUNG	DRAWN BY: ADE	DATE: 7/7/2008	
MODEL: 8100	SCALE: NTS	DWG. NO.: CWS-155	
	REV. LETTER: A	SHEET: 8 OF 8	



French door



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

www.buildingcodeonline.com

NOTICE OF ACCEPTANCE (NOA)

PGT Industries
1070 Technology Drive,
Nokomis, Fl. 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "FD-101" Outswing Aluminum French Door w/ Sidelites

APPROVAL DOCUMENT: Drawing No.11005-1, titled "Aluminum French door & Sidelite-Impact", sheets 1 through 10 of 10, prepared by manufacturer, dated 02-22-07 and last revised on 09/25/07, signed and sealed by Robert L. Clark, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

Limitation:

1. Use of Table 1, require full length reinforcements for OX, XO, XXO, OXX, OXO and OXXO. The lower design pressure from X, XX doors or O (sidelite) shall control.
2. Egress operable doors must comply with min clear width per FBC, as applicable.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 as well as evidence sheet E-1 and approval document mentioned above.

The submitted documentation was reviewed by **Ishaq I. Chanda, P. E.**



9/27/17

NOA No. 07-0629.10
Expiration Date: October 18, 2012
Approval Date: October 18, 2007
Page 1

PGT Industries

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Manufacturer's die drawings and sections.
2. Drawing No.11005-1, titled "Aluminum French door & Sidelite-Impact", sheets 1 through 10 of 10, prepared by manufacturer, dated 02-22-07 and last revised on 09/25/07, signed and sealed by Robert L. Clark, P.E.

B. TESTS

- Test report on
- 1) Air Infiltration Test, per FBC, TAS 202-94
 - 2) Uniform Static Air Pressure Test, per FBC, TAS 202-94
 - 3) Water Resistance Test, per FBC, TAS 202-94.
 - 4) Large Missile Impact Test per FBC, TAS 201-94
 - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
 - 6) Forced Entry Test, per FBC 2411.3.2.1 (b) and TAS 202-94

Along with marked-up drawings and installation diagram of aluminum out swinging French door w/ sidelites, prepared by Fenestration Testing Laboratory, Inc., Test Report No FTL-5212, dated May 05, 2007, signed and sealed by Carlos S. Rionda, P.E.

C. CALCULATIONS

1. Anchor verification and comparative analysis dated 06-21-07 and last revised on 09/25/07, prepared by PGT, signed and sealed by Robert L. Clark, P.E.
2. Glazing complies with ASTM E-1300-02

D. QUALITY ASSURANCE

1. Miami Dade Building Code Compliance Office (BCCO).

E. MATERIAL CERTIFICATIONS

1. Notice of Acceptance No. **05-1208.02** issued to "E.I. DuPont Denemours" for "DuPont Butacite © PVB" dated 02/15/01, expiring on 12/11/10.
2. Notice of Acceptance No. **03-0827.08** issued to Solutia Inc, for "Solutia Interlayer for laminated glass", expiring on 03/04/09.

F. STATEMENTS

1. Statement letter of conformance and no financial interest, dated 06-21-07, signed by Robert L. Clark, P.E.
2. Letter of lab compliance, part of the above test reports.

G. OTHER

1. Test proposal dated Jan. 18, 2007 approved by BCCO.

Ishaq I. Chanda

Ishaq I. Chanda, P.E.

Product Control Examiner

NOA No. 07-0629.10

Expiration Date: October 18, 2012

Approval Date: October 18, 2007

NOTES: OUTSWING IMPACT FRENCH DOOR(S) AND SIDE LITE(S)

1. GLAZING OPTIONS:

- A. 3/8" LAMI NOM. (.402") CONSISTING OF (1) LITE OF 1/8" ANNEALED GLASS PLUS AN .090 PVB INTERLAYER OF DUPONT BUTACITE OR SAFLEX/KEEPSAFE MAXIMUM PLUS (1) LITE OF 3/16" HEAT STRENGTHENED GLASS.
- B. 3/8" LAMI NOM. (.402") CONSISTING OF (1) LITE OF 1/8" HEAT STRENGTHENED GLASS PLUS AN .090 PVB INTERLAYER OF DUPONT BUTACITE OR SAFLEX/KEEPSAFE MAXIMUM PLUS (1) LITE OF 3/16" HEAT STRENGTHENED GLASS.
- C. 7/16" LAMI NOM. (.465") CONSISTING OF (1) LITE OF 3/16" ANNEALED GLASS PLUS AN .090 PVB INTERLAYER OF DUPONT BUTACITE OR SAFLEX/KEEPSAFE MAXIMUM PLUS (1) LITE OF 3/16" HEAT STRENGTHENED GLASS.
- D. 7/16" LAMI NOM. (.465") CONSISTING OF (1) LITE OF 3/16" HEAT STRENGTHENED GLASS PLUS AN .090 PVB INTERLAYER OF DUPONT BUTACITE OR SAFLEX/KEEPSAFE MAXIMUM PLUS (1) LITE OF 3/16" HEAT STRENGTHENED GLASS.

2. DESIGN PRESSURES: SEE TABLES 1 AND 2 ON SHEET 2.

- A. NEGATIVE DESIGN LOADS BASED ON TESTED PRESSURE AND GLASS TABLES ASTM E 1300-02.
- B. POSITIVE DESIGN LOADS BASED ON WATER TEST PRESSURE AND GLASS TABLES ASTM E 1300-02.

3. CONFIGURATIONS: X, O, XX, XO, OX, XXO, OXX, OXO, AND OXXO.

4. ANCHORAGE: THE 33 1/3% STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT. MATERIALS, INCLUDING BUT NOT LIMITED TO STEEL SCREWS, THAT COME INTO CONTACT WITH OTHER DISSIMILAR MATERIALS. SHALL MEET THE REQUIREMENTS OF THE FBC, CURRENT EDITION. FOR ANCHORAGE REQUIREMENTS SEE SHEETS 8 THROUGH 10.

5. SHUTTERS ARE NOT REQUIRED.

6. SEALANT: INSTALLATION SCREWS, FRAME AND PANEL CORNERS SEALED WITH CLEAR COLORED SEALANT.

7. REFERENCES:

TEST REPORT FTL-5212, ELCO TEXTRON NOA: 04-0721.01, 03-0225.05, ANSI/AF&PA NDS-2005 FOR WOOD CONSTRUCTION AND ADM-2005 ALUMINUM DESIGN MANUAL.

8. THIS PRODUCT HAS BEEN DESIGNED & TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, CURRENT EDITION INCLUDING THE HIGH VELOCITY HURRICANE ZONE (HVHZ).

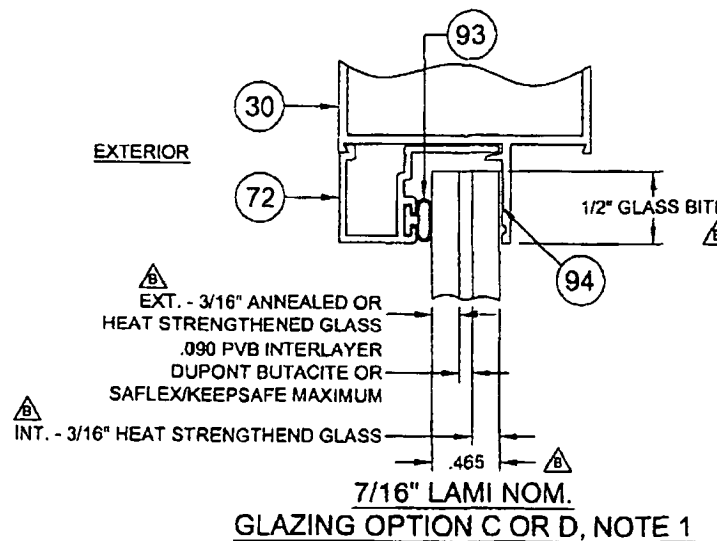
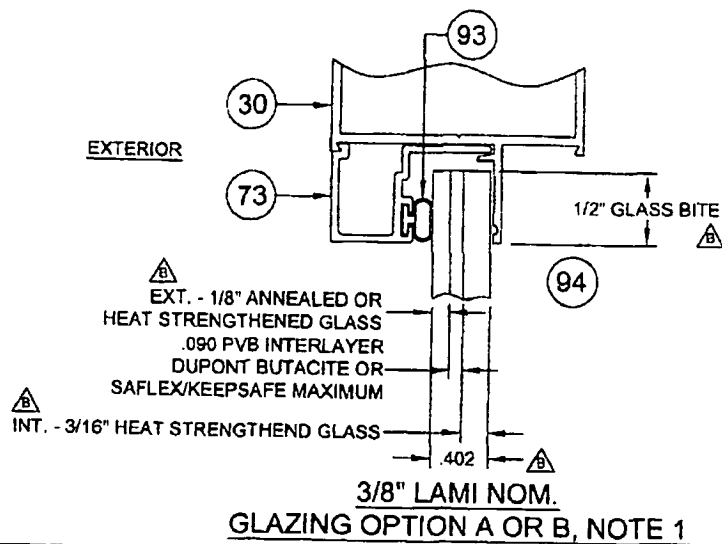
9. CONFIGURATIONS WHICH CONTAIN A SIDE LITE TO DOOR CONNECTION:

A. THE LOWER DESIGN PRESSURE FROM TABLE 1. OR 2. PREVAILS.

B. FULL LENGTH REINFORCEMENT (ITEM 22 SHOWN IN SECTION E-E, SHEET 5), IS REQUIRED ONLY AT ALL DOOR TO SIDE LITE CONNECTIONS FROM TABLE 1., SHT. 2. REFER TO TABLE 2, SHT. 2 FOR DOOR TO SIDE LITE CONNECTIONS WHICH DO NOT REQUIRE ITEM 22 REINFORCEMENT.

NOA DRAWING MAP

TOPIC	SHEET
GENERAL NOTES.....	1
CONFIGURATIONS.....	1
GLAZING DETAILS.....	1
DESIGN PRESSURES.....	2
ELEVATIONS.....	3
VERT. SECTIONS.....	4
HORIZ. SECTIONS.....	5
PARTS LIST.....	6
EXTRUSIONS.....	6, 7
ANCHORAGE.....	8-10



Approved as complying with the Florida Building Code
Date October 18, 2007
NOA# 07-0628-10
Miami Dade Product Control Division
By: Isaac J. Clark

Robert L. Clark
9/25/07

Revised By:	Date:	Revision:
F.K.	8/18/07	B
F.K.	8/14/07	A
Drawn By:	Date:	Checked By:
F.K.	2/22/07	J.J.

1070 TECHNOLOGY DRIVE
NOKOMIS, FL 34275
P.O. BOX 1528
NOKOMIS, FL 34274



Description: NOTES AND GLAZING DETAILS			
Title: ALUM. FRENCH DOOR & SIDE LITES, IMPACT			
Series/Model: FD101	Scale: 1X	Sheet: 1 of 10	Drawing No.: 11005-1
			Rev.: B

Robert L. Clark, P.E.
PE #39712
Structural

TABLE 1. DESIGN PRESSURES FOR ALL CONFIGURATIONS

APPROVED CONFIGURATIONS: X, XX, O, OX, XO, OXO, XXO, OXX & OXXO
 (FOR DOORS W/ SIDE LITES THE LOWER DP FOR THE DOOR OR SIDE LITE PREVAILS)
REINFORCEMENT IS REQUIRED AT DOOR & SIDE LITE CONNECTIONS

		DOORS WITH GLASS TYPES A, B, C OR D											
		HEIGHT											
X WIDTH	XX WIDTH	6 ⁸ - 79 3/4"	7 ⁰ - 83 3/4"	87 3/4"	91 3/4"	8 ⁰ - 95 3/4"							
3 ⁰ 37 1/2"	6 ⁰ 71 3/4"	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0
O WIDTH		SINGLE SIDE LITES WITH GLASS TYPE A											
27 3/4"		+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0
36 1/8"		+75.0	-75.0	+75.0	-75.0	+71.4	-71.4	+67.6	-67.6	+64.2	-64.2	+64.2	-64.2
36 3/4"		+75.0	-75.0	+74.9	-74.9	+70.4	-70.4	+66.6	-66.6	+63.1	-63.1	+63.1	-63.1
O WIDTH		SINGLE SIDE LITES WITH GLASS TYPES B, C OR D											
36 3/4"		+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0

NOTES:

- 1. GLASS TYPES:
 - A. 3/8" LAMI (1/8" A, .090 PVB, 3/16" HS)
 - B. 3/8" LAMI (1/8" HS, .090 PVB, 3/16" HS)
 - C. 7/16" LAMI (3/16" A, .090 PVB, 3/16" HS)
 - D. 7/16" LAMI (3/16" HS, .090 PVB, 3/16" HS)
- 2. COMBINED DOOR & SIDE LITE WIDTHS FOR TABLE 1 OR 2.
 - MAX. OX/XO WIDTH = 73 1/2"
 - MAX. OXO WIDTH = 109 1/2"
 - MAX. XXO/OXX WIDTH = 107 3/4"
 - MAX. OXXO WIDTH = 143 3/4"
- 3. SINGLE DOORS 33 5/8" WIDE OR OVER AND THE OPERABLE PANEL OF DOUBLE DOORS 64 1/8" WIDE OR OVER FROM EITHER TABLE COMPLY WITH THE EGRESS REQUIREMENTS OF THE FBC, CURRENT EDITION. NARROWER DOORS MAY BE USED WHERE EGRESS IS NOT REQUIRED BY CODE.
- 4. DESIGN PRESSURES UNDER 40 P.S.F. ARE NOT APPLICABLE IN MIAMI-DADE COUNTY.
- 5. EXAMPLES OF COMBINED DOOR AND SIDE LITE DESIGN PRESSURES:

- EX. A FROM TABLE 1.
OXO WITH GLASS TYPE A
30" WIDE x 90" HIGH SINGLE DOOR WITH 29" SIDE LITES
DESIGN PRESSURE = +67.6 / -67.6 PSF
- EX. B FROM TABLE 1.
OXXO WITH GLASS TYPE A
68" WIDE x 85" HIGH DOUBLE DOOR WITH 36 1/2" SIDE LITES
DESIGN PRESSURE = +70.4 / -70.4 PSF
- EX. C FROM TABLE 2.
OXO WITH GLASS TYPE C
30" WIDE x 87 3/4" HIGH SINGLE DOOR WITH 26" SIDE LITES
DESIGN PRESSURE = +43.6 / -43.6 PSF
- EX. D FROM TABLE 2.
OXXO WITH GLASS TYPE C
63 3/4" WIDE x 80" HIGH DOUBLE DOOR WITH 26" SIDE LITES
DESIGN PRESSURE = +43.1 / -43.1 PSF

- 6. FOR COMBINED DOOR AND SIDE LITES FROM TABLE 1, WHICH REQUIRED REINFORCEMENT AT DOOR TO SIDE LITE CONNECTION SEE SECTION E-E, SHEET 5 FOR REINFORCEMENT DETAIL.

TABLE 2. DESIGN PRESSURES FOR COMBINED DOOR / SIDE LITES ONLY

APPROVED CONFIGURATIONS: OX, XO, OXO, XXO, OXX & OXXO
 (THE LOWER DP FOR THE DOOR OR SIDE LITE PREVAILS.)
REINFORCEMENT IS NOT REQUIRED AT DOOR & SIDE LITE CONNECTION

		GLASS TYPES A, B, C OR D											
		HEIGHT											
X WIDTH	XX WIDTH	6 ⁸ - 79 3/4"	7 ⁰ - 83 3/4"	87 3/4"	91 3/4"	8 ⁰ - 95 3/4"							
2 ⁰ 25 1/2"	4 ⁰ 47 3/4"	+58.6	-58.6	+55.4	-55.4	+52.4	-52.4	+49.8	-49.8	+47.4	-47.4	+47.4	-47.4
27 1/2"		+54.9	-54.9	+51.8	-51.8	+49.0	-49.0	+46.5	-46.5	+44.3	-44.3	+44.3	-44.3
29 1/2"		+51.7	-51.7	+48.8	-48.8	+46.1	-46.1	+43.8	-43.8	+41.6	-41.6	+41.6	-41.6
2 ⁶ 31 1/2"	5 ⁰ 59 3/4"	+49.0	-49.0	+46.2	-46.2	+43.6	-43.6	+41.4	-41.4	+39.3	-39.3	+39.3	-39.3
2 ⁸ 33 1/2"	5 ⁴ 63 3/4"	+43.1	-43.1	+43.1	-43.1	+41.5	-41.5	+39.3	-39.3	+37.3	-37.3	+37.3	-37.3
35 1/2"		+38.1	-38.1	+38.1	-38.1	+38.1	-38.1	+37.5	-37.5	+35.6	-35.6	+35.6	-35.6
3 ⁰ 37 1/2"	6 ⁰ 71 3/4"	+34.0	-34.0	+34.0	-34.0	+34.0	-34.0	+34.0	-34.0	+34.0	-34.0	+34.0	-34.0
SINGLE SIDE LITE	O WIDTH	GLASS TYPES A, B, C OR D											
10 3/4"		+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0
12 3/4"		+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0	+75.0	-75.0
19"		+72.4	-72.4	+68.5	-68.5	+65.0	-65.0	+61.9	-61.9	+59.0	-59.0	+59.0	-59.0
21 3/4"		+64.5	-64.5	+61.0	-61.0	+57.8	-57.8	+55.0	-55.0	+52.4	-52.4	+52.4	-52.4
27 3/4"		+52.9	-52.9	+49.9	-49.9	+47.2	-47.2	+44.7	-44.7	+42.6	-42.6	+42.6	-42.6
36 1/8"		+35.2	-35.2	+35.2	-35.2	+35.2	-35.2	+35.2	-35.2	+34.4	-34.4	+34.4	-34.4
36 3/4"		+34.0	-34.0	+34.0	-34.0	+34.0	-34.0	+34.0	-34.0	+34.0	-34.0	+34.0	-34.0

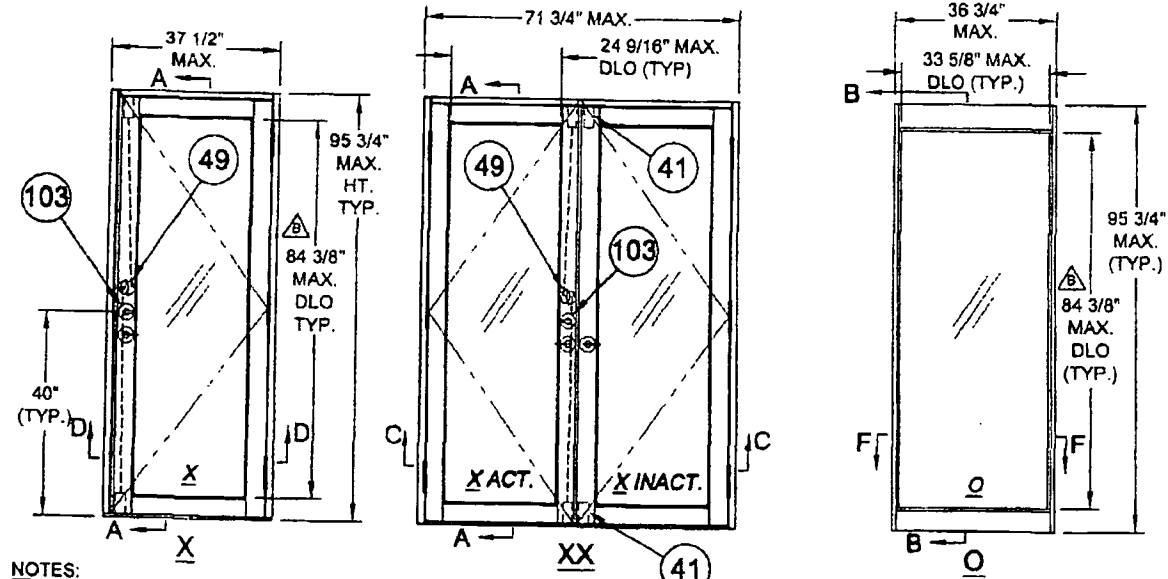
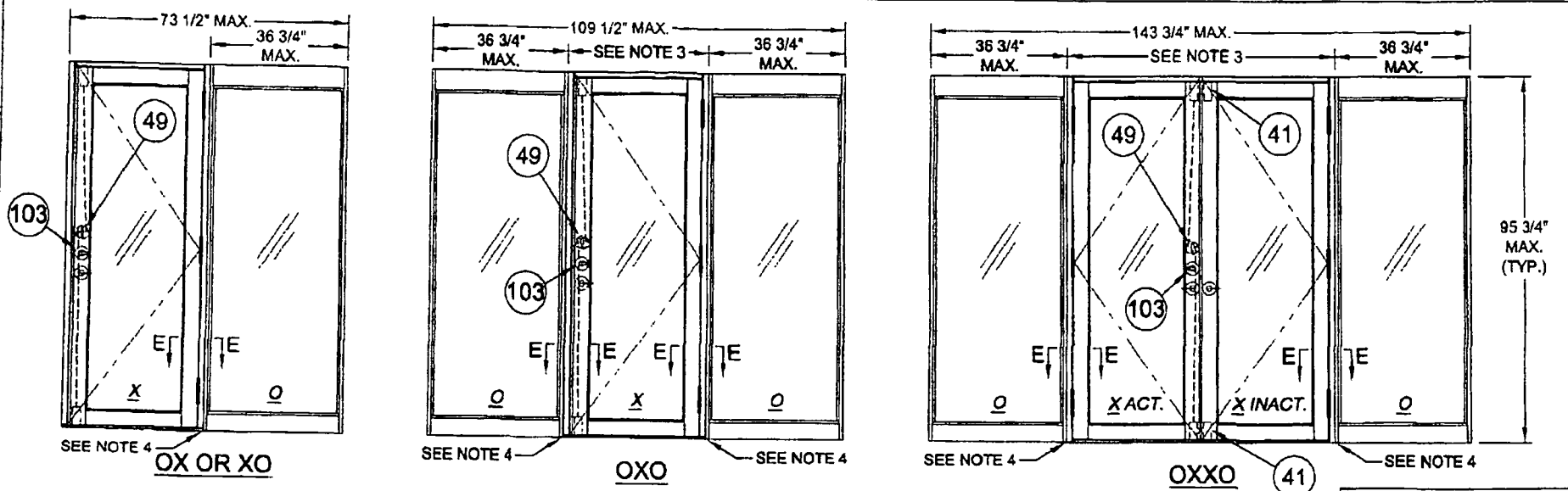
Approved as complying with the Florida Building Code
 Date: Oct 18, 2007
 NOAR: 07-2629-10
 Miami Code Product Control
 Division
 By: Shag1. Chandra

Robert L. Clark
 9/27/07
 Robert L. Clark, P.E.
 PE #39712
 Structural

Revised By: F.K.	Date: 9/18/07	Revisions: B	REVISOR: REVISED TABLE 2. DESIGN PRESSURES AND CLARIFIED NON-REINF. VERSION COMBINE GLASS TYPES & MAX SIZES INTO NOTES & ADD NOTES 5 & 6.	1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275
Revised By: F.K.	Date: 8/14/07	Revisions: A	REVISOR: REVISE NOTE 1, 2 & 3. ADD NOTATIONS TO TABLE 1 AND 2. REDUCE MAX. SIZE DESIGN PRESSURE AND ADJUST. ALL DPs FOR TABLE 2	P.O. BOX 1529 NOKOMIS, FL 34274
Drawn By: F.K.	Date: 2/22/07	Checked By: J.J.	Date: 6/21/07	



Description: DESIGN PRESSURES		Title: ALUM. FRENCH DOOR & SIDE LITES, IMPACT	
Specification: FD101	Scale: 1X	Sheet: 2 of 10	Drawing No: 11005-1
		Rev: B	



DOOR
 DLO HEIGHT = HEIGHT - 11 3/8" Δ
 DLO WIDTH 'X' = DOOR WIDTH - 12 15/16"
 DLO WIDTH 'XX' = DOOR WIDTH/2 - 11 5/16"

SIDE LITE
 DLO HEIGHT = HEIGHT - 11 3/8" Δ
 DLO WIDTH = WIDTH - 3 1/8"

- NOTES:**
1. FOR ANCHORAGE DETAILS SEE SHEETS 8 THROUGH 10.
 2. FOR HORIZONTAL AND VERTICAL SECTIONS SEE SHEETS 4 AND 5.
 3. SIDE LITES OVERLAP 'X' AND 'XX' DOORS BY 3/4" WHEN ASSEMBLED TO MAKE 'XO', 'OX', 'OXO', 'XXO', 'OXX' AND 'OXXO' CONFIGURATIONS.
 4. REINFORCEMENT LOCATION FOR SIDE LITE TO DOOR CONNECTIONS (SEE APPLICABILITY SHEET 2).
 5. CLEAR OPENING FOR 'X' AND 'XX' DOORS AS FOLLOWS: ('X' DOORS = WIDTH - 5.648) ('XX' DOOR = DOOR WIDTH/2 - 4.079)

Approved for compliance with the Florida Building Code
 Date: OCT 19, 2007
 Initial: 07-0529-10
 4400 West Alafair Street
 Suite 200
 Ft. Lauderdale, FL 33309
 By: T. Shaq L. Chanda

Robert L. Clark
 9/25/07
 Robert L. Clark, P.E.
 PE #39712
 Structural

Revised By: F.K.	Date: 9/18/07	Revised By: B	1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275	 ELEVATIONS ALUM. FRENCH DOOR & SIDE LITES, IMPACT	Scale: NTS	Sheet: 3 of 10	Drawing No: 11005-1	Rev: B	
Revised By: F.K.	Date: 9/14/07	Revised By: A	P.O. BOX 1629 NOKOMIS, FL 34274		 Visibly Better	Material: FD101			
Drawn By: F.K.	Date: 2/22/07	Checked By: J.J.							

EXAMPLE ANCHORAGE SOLUTION FOR A CONCRETE OXXO INSTALLATION

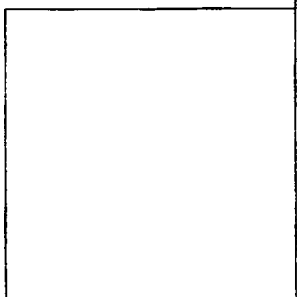
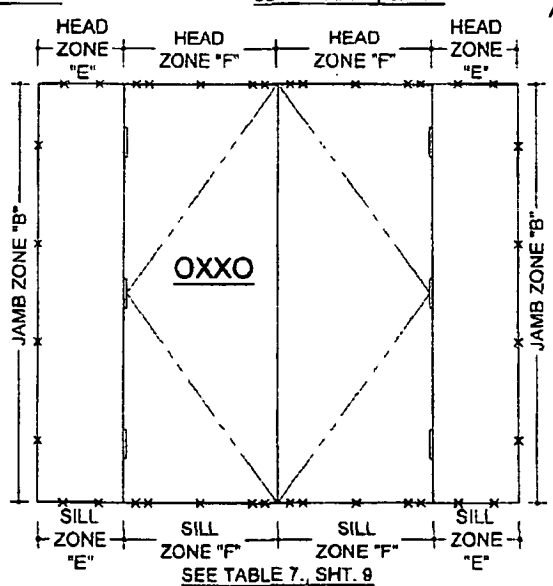
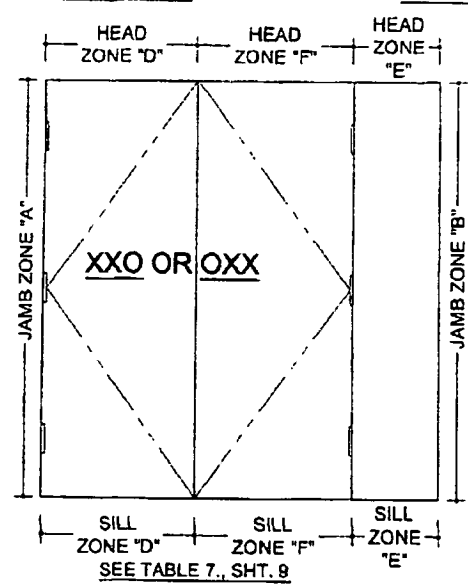
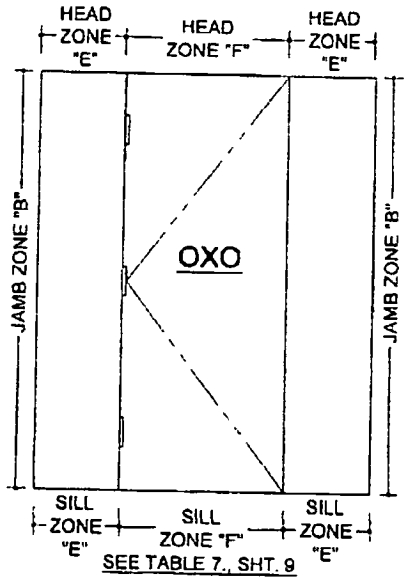
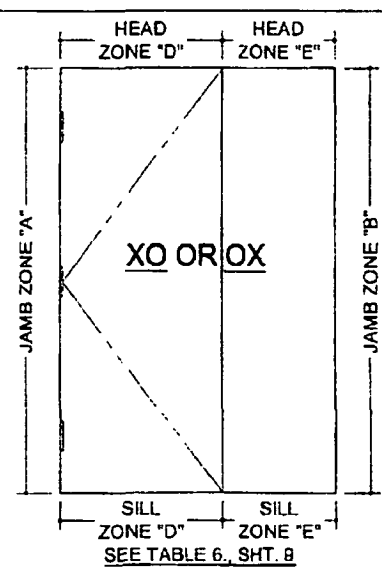
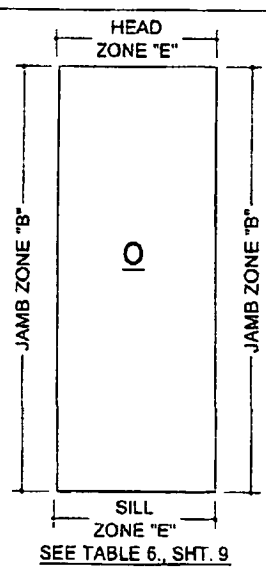
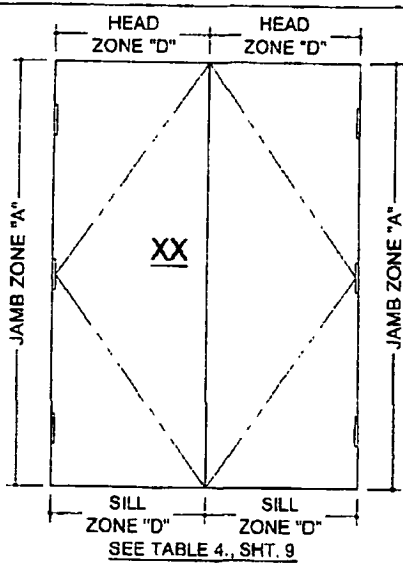
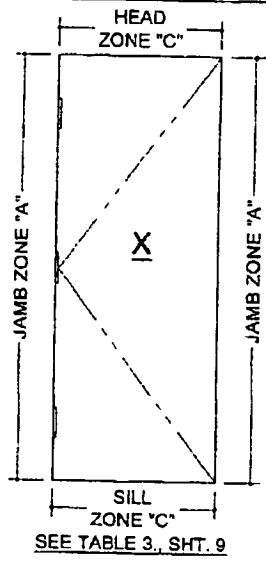
A. 19" x 83 3/4" SIDE LITES "B" AND "E" ZONE ANCHORS FROM TABLE 7, SHEET 9.

PLUS;

B. 71 3/4" x 83 3/4" XX DOOR ZONE "F" ANCHORS FROM TABLE 4, SHEET 9, EACH "F" ZONE.

SEE ENCIRCLED VALUES, SHEET 9

SOLUTION:
 TOTALS (4) TYPE 1 OR 2 ANCHORS EACH JAMB AND 2+5+5+2 = (14) TYPE 1 OR 2 ANCHORS AT HEAD AND AT SILL.




Approved as complying with the Florida Building Code
 Date: Oct 18, 2007
 NUA# 07-0629-10
 Miami Dade Product Control Division
 By: Isaac L. Chandra

NOTES:

- APPROVED ANCHOR TYPES ARE: 1. 1/4" ELCO TAPCONS 2. 1/4" ELCO SS4 CRETE-FLEX MASONRY ANCHORS 3. #12 SCREWS
- ANCHOR QUANTITIES ARE BASED ON SPACING AS FOLLOWS (3" MIN. O.C. FOR CONCRETE); SEE EXAMPLE OXXO ANCHOR LAYOUT ABOVE.
 JAMBS (ALL): 13 1/4" MAX. FROM CORNERS AND 23 1/8" MAX. O.C.
 HEAD & SILL OF DOORS: 6" MAX. FROM CORNERS, 9" MAX. FROM ASTRAGAL CENTERS AND 20 7/8" MAX. O.C.
 HEAD & SILL OF SIDE LITES: 6" MAX. FROM CORNERS AND 24 3/4" MAX. O.C.
- TO DETERMINE ANCHOR QUANTITIES FIND THE CONFIGURATION ABOVE THEN REFER TO THE APPROPRIATE TABLES ON SHEET 9.

ALSO USED AS AN EXAMPLE OF ANCHORAGE FOR A 83 3/4"H UNIT, 71 3/4"W 'XX' DOOR WITH 19"W SIDE LITES (SEE SOLUTION ABOVE)

Revised By: F.K.	Date: 8/18/07	Revision: B	NO CHANGE THIS SHEET.	1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275 P.O. BOX 1528 NOKOMIS, FL 34274	 Visibly Better	Description: ANCHORAGE, CONFIGURATIONS				Sheet: 8 of 10	Drawing No. 11005-1	Part: B
Revised By: F.K.	Date: 8/14/07	Revision: A	CHANGE 'XO' OR 'OX' ANCHOR ZONE FROM 'C' TO 'D'. ADD ANCHOR TYPES TO SOLUTION.			Title: ALUM. FRENCH DOOR & SIDE LITES, IMPACT						
Drawn By: F.K.	Date: 2/22/07	Checked By: J.J.	Date: 6/21/07			Order/Model: FD101	Block: NTS	Sheet: 8 of 10	Drawing No. 11005-1				Part: B

Robert L. Clark
 8/25/07
 Robert L. Clark, P.E.
 PE #38712
 Structural

TABLE 3. X DOORS

GLASS TYPES ANCHOR TYPE & SUBSTRATE	A, B, C, D			
	2,3. WOOD		1,2. CONC	
DOOR WIDTHS	LOAD ZONES			
"X" - 25.50 TO 37.50	X - JAMB "A"	X - HEAD/SILL "C"	X - HEAD/SILL "F"	X - JAMB "A"
	X - HEAD/SILL "C"	X - JAMB "A"	X - HEAD/SILL "F"	X - HEAD/SILL "F"
	(USE W/ TABLE 7.)			
WIDTH x HT.				
25.50 x 79.75	5	2	7	4
83.75	5	2	7	4
87.75	5	2	7	4
91.75	5	2	7	4
95.75	6	2	7	4
27.50 x 79.75	5	2	7	4
83.75	5	2	7	4
87.75	5	2	7	4
91.75	6	2	7	4
95.75	6	2	7	4
29.50 x 79.75	5	2	8	4
83.75	5	2	8	4
87.75	6	2	8	4
91.75	6	2	8	4
95.75	6	2	8	4
31.50 x 79.75	5	2	8	4
83.75	6	2	8	4
87.75	6	2	8	4
91.75	6	2	8	4
95.75	7	2	10	4
33.50 x 79.75	6	3	8	4
83.75	6	3	8	4
87.75	6	3	8	4
91.75	7	3	10	4
95.75	7	3	10	4
35.50 x 79.75	6	3	8	4
83.75	6	3	8	4
87.75	6	3	8	4
91.75	7	3	10	4
95.75	7	3	10	4
37.50 x 79.75	6	3	8	4
83.75	6	3	8	4
87.75	7	3	10	4
91.75	7	3	10	4
95.75	7	3	10	4

TABLE 4. XX DOORS
(ALSO X DOOR OF XO & OX)

GLASS TYPES ANCHOR TYPE & SUBSTRATE	A, B, C, D			
	2,3. WOOD		1,2. CONC	
DOOR WIDTHS	LOAD ZONES			
"XX" - 47.75 TO 71.75	XX - JAMB "A"	XX - HEAD/SILL "D"	XX - HEAD/SILL "F"	XX - JAMB "A"
	XX - HEAD/SILL "D"	XX - HEAD/SILL "F"	XX - JAMB "A"	XX - HEAD/SILL "F"
	(USE W/ TABLE 7.)			
WIDTH x HT.				
47.75 x 79.75	4	3	6	4
83.75	6	4	7	4
87.75	5	4	7	4
91.75	5	4	7	4
95.75	5	4	7	4
51.75 x 79.75	5	4	7	4
83.75	5	4	7	4
87.75	5	4	7	4
91.75	5	4	7	4
95.75	6	4	7	4
55.75 x 79.75	5	4	7	4
83.75	5	4	7	4
87.75	5	4	7	4
91.75	6	4	7	4
95.75	6	4	7	4
58.75 x 79.75	5	5	8	4
83.75	5	5	8	4
87.75	6	5	8	4
91.75	6	5	8	4
95.75	6	5	8	4
63.75 x 79.75	5	5	8	4
83.75	6	5	8	4
87.75	6	5	8	4
91.75	6	5	8	4
95.75	7	6	10	4
67.75 x 79.75	6	5	8	4
83.75	6	5	8	4
87.75	6	5	8	4
91.75	7	6	10	4
95.75	7	6	10	4
71.75 x 79.75	6	5	8	4
83.75	6	5	8	4
87.75	6	5	8	4
91.75	7	6	10	4
95.75	7	6	10	4

TABLE 5. O SIDE LITE

GLASS TYPES ANCHOR TYPE & SUBSTRATE	A, B, C, D			
	2,3. WOOD		1,2. CONC	
DOOR WIDTHS	LOAD ZONES			
"O" - 10.75 TO 36.75	O - JAMB "B"	O - HEAD/SILL "E"	O - JAMB "B"	O - HEAD/SILL "E"
WIDTH x HT.				
10.75 x 79.75	4	1	4	1
83.75	4	1	4	1
87.75	4	1	4	1
91.75	4	1	4	1
95.75	4	1	4	1
12.75 x 79.75	4	2	4	2
83.75	4	2	4	2
87.75	4	2	4	2
91.75	4	2	4	2
95.75	4	2	4	2
19.00 x 79.75	4	2	4	2
83.75	4	2	4	2
87.75	4	2	4	2
91.75	4	2	4	2
95.75	4	2	4	2
21.75 x 79.75	4	2	4	2
83.75	4	2	4	2
87.75	4	2	4	2
91.75	5	2	4	2
95.75	5	2	4	2
27.75 x 79.75	5	2	4	2
83.75	5	2	4	2
87.75	5	2	4	2
91.75	6	2	4	2
95.75	6	2	4	2
36.13 x 79.75	6	3	4	3
83.75	6	3	4	3
87.75	7	3	4	3
91.75	7	3	4	3
95.75	7	3	4	3
38.75 x 79.75	6	3	4	3
83.75	6	3	4	3
87.75	7	3	4	3
91.75	7	3	4	3
95.75	7	3	4	3

TABLE 6. XO & OX

GLASS TYPES ANCHOR TYPE & SUBSTRATE	A, B, C, D			
	2,3. WOOD		1,2. CONC	
DOOR WIDTHS	LOAD ZONES			
"X" - 25.50 TO 37.50	X - JAMB "B"	X - HEAD/SILL "E"	X - JAMB "A"	X - HEAD/SILL "F"
	X - HEAD/SILL "E"	X - JAMB "A"	X - HEAD/SILL "F"	X - JAMB "A"
	X - JAMB "B"	X - HEAD/SILL "E"	X - JAMB "A"	X - HEAD/SILL "F"
	(USE W/ TABLE 7.)			
WIDTH x HT.				
10.75 x 79.75	4	2	4	2
83.75	4	2	4	2
87.75	4	2	4	2
91.75	4	2	4	2
95.75	4	2	4	2
12.75 x 79.75	4	2	4	2
83.75	4	2	4	2
87.75	4	2	4	2
91.75	4	2	4	2
95.75	4	2	4	2
19.00 x 79.75	4	3	4	2
83.75	4	3	4	2
87.75	4	3	4	2
91.75	4	3	4	2
95.75	4	3	4	2
21.75 x 79.75	4	3	4	2
83.75	4	3	4	2
87.75	4	3	4	2
91.75	5	3	4	2
95.75	5	3	4	2
27.75 x 79.75	5	3	4	2
83.75	5	3	4	2
87.75	5	3	4	2
91.75	6	3	4	2
95.75	6	3	4	2
35.13 x 79.75	6	4	4	3
83.75	6	4	4	3
87.75	7	5	4	3
91.75	7	5	4	3
95.75	7	5	4	3
38.75 x 79.75	6	4	4	3
83.75	6	4	4	3
87.75	7	5	4	3
91.75	7	5	4	3
95.75	7	5	4	3

TABLE 7. OXO, XXO, OXX & OXXO

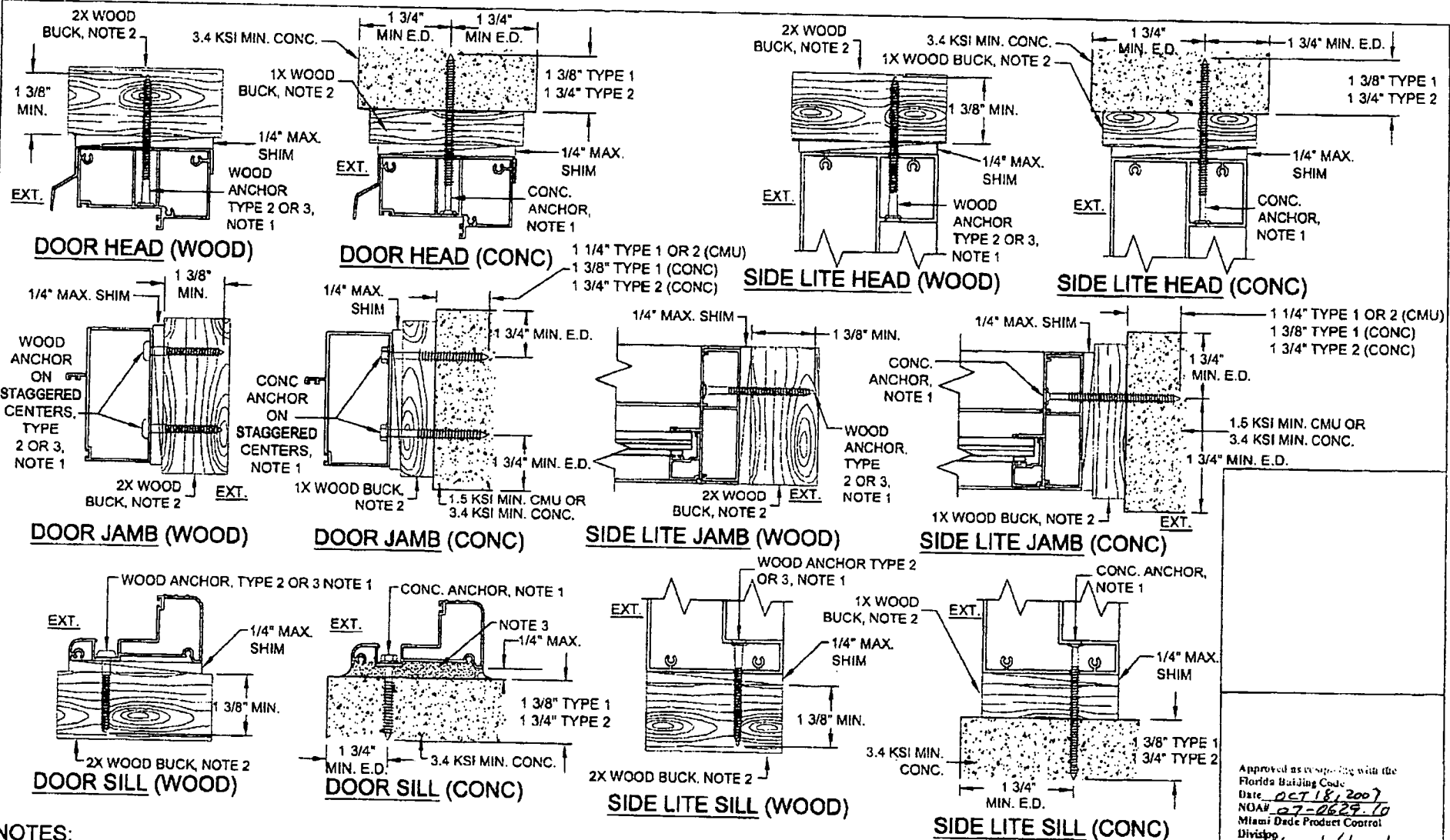
GLASS TYPES ANCHOR TYPE & SUBSTRATE	A, B, C, D			
	2,3. WOOD		1,2. CONC	
DOOR WIDTHS	LOAD ZONES			
"X" - 25.50 TO 37.50	X - JAMB "B"	X - HEAD/SILL "E"	X - JAMB "B"	X - HEAD/SILL "E"
	X - HEAD/SILL "E"	X - JAMB "B"	X - HEAD/SILL "E"	X - JAMB "B"
	X - JAMB "B"	X - HEAD/SILL "E"	X - JAMB "B"	X - HEAD/SILL "E"
	(USE W/ TABLE 7.)			
WIDTH x HT.				
10.75 x 79.75	4	2	4	2
83.75	4	2	4	2
87.75	4	2	4	2
91.75	4	2	4	2
95.75	4	2	4	2
12.75 x 79.75	4	2	4	2
83.75	4	2	4	2
87.75	4	2	4	2
91.75	4	2	4	2
95.75	4	2	4	2
19.00 x 79.75	4	3	4	2
83.75	4	3	4	2
87.75	4	3	4	2
91.75	4	3	4	2
95.75	4	3	4	2
21.75 x 79.75	4	3	4	2
83.75	4	3	4	2
87.75	4	3	4	2
91.75	5	3	4	2
95.75	5	3	4	2
27.75 x 79.75	5	3	4	2
83.75	5	3	4	2
87.75	5	3	4	2
91.75	6	3	4	2
95.75	6	3	4	2
36.13 x 79.75	6	4	4	3
83.75	6	4	4	3
87.75	7	6	4	3
91.75	7	6	4	3
95.75	7	6	4	3
38.75 x 79.75	6	4	4	3
83.75	6	4	4	3
87.75	7	5	4	3
91.75	7	5	4	3
95.75	7	5	4	3

APPROVED ANCHOR TYPES:

- 1/4" ELCO TAPCONS
- 1/4" ELCO SS4 CRETE-FLEX MASONRY ANCHORS
- #12 SCREWS (G5)
- ENCIRCLED ANCHOR QUANTITIES IN TABLES 4 AND 7 PERTAIN TO THE EXAMPLE ANCHORAGE SOLUTION ON SHEET 8.

Approved as complying with the Florida Building Code
 Date: 05/18/2007
 NOAH 07-0629.10
 Miami Dade Product Control
 Division
 by: *Shang I. Chang*

Robert L. Clark
 9/20/11



NOTES:

- FOR CONCRETE INSTALLATIONS IN MIAMI-DADE COUNTY, USE ONLY MIAMI-DADE COUNTY APPROVED ELCO 1/4" TAPCONS EMBEDDED 1 3/4" MIN. (TYPE 2). THE MINIMUM DISTANCE FROM CENTER OF ANCHOR TO CONCRETE EDGE IS 1 3/4". FOR WOOD INSTALLATIONS USE CRETE-FLEX EMBEDDED 1 3/4" MIN. (TYPE 2). THE MINIMUM DISTANCE FROM CENTER OF ANCHOR TO CONCRETE EDGE IS 1 3/4". FOR WOOD INSTALLATIONS USE #12 SCREWS, G5 (TYPE 3) OR ELCO 1/4" SS4 CRETE-FLEX ANCHORS EMBEDDED 1 3/8" MIN. (TYPE 2).
- WOOD BUCKS DEPICTED AS 1x ARE LESS THAN 1 1/2" THICK. 1x WOOD BUCKS ARE OPTIONAL IF UNIT IS INSTALLED DIRECTLY TO SOLID CONCRETE. WOOD BUCKS DEPICTED AS 2x ARE 1 1/2" THICK OR GREATER. INSTALLATION TO THE SUBSTRATE OF WOOD BUCKS TO BE ENGINEERED BY OTHERS OR AS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ).
- IF SILL IS TIGHT TO SUBSTRATE, GROUT OR OTHER MATERIAL IS NOT REQUIRED. IF USED, NON-SHRINK, NON-METALLIC GROUT (3400 PSI MIN.), (DONE BY OTHERS) MUST FULLY SUPPORT THE ENTIRE LENGTH OF THE SILL THAT IS NOT TIGHT TO THE SUBSTRATE, AND TRANSFER SHEAR LOAD TO SUBSTRATE. IF SUBSTRATE IS WOOD, 30# FELT PAPER OR MASTIC IS REQUIRED BETWEEN THE GROUT AND WOOD SUBSTRATE, OR AS APPROVED BY THE AUTHORITY HAVING JURISDICTION.

Approved as representing with the Florida Building Code
 Date: 02/18/2007
 NOA#: 07-2629-10
 Miami Dade Product Control Division
 By: Shag I. Clark

Robert L. Clark
 2/21/07

Revised By:	Date:	Revisions:
F.K.	8/18/07	B NO CHANGE THIS SHEET.
F.K.	8/14/07	A SPEC. TYPE 1 & 2 EMBED. ON CONC. DETAILS. SPEC. TYPE 2 & 3 ON WOOD DETAILS. ADD ANCHOR TYPES TO NOTE 1.
Drawn By:	Date:	Checked By:
F.K.	2/22/07	J.J.

1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1529
 NOKOMIS, FL 34274



Description: **ANCHORAGE DETAILS**
 Title: **ALUM. FRENCH DOOR & SIDE LITES, IMPACT**
 Specification: FD101
 Date: NTS
 Qty: 10 x 10
 Drawing No: 11005-1
 Rev: B

Robert L. Clark, P.E.
 PE #39712
 Structural

Sliding door



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY AFFAIRS (PERA) BOARD AND CODE ADMINISTRATION DIVISION NOTICE OF ACCEPTANCE (NOA)

MIAMI-DADE COUNTY PRODUCT CONTROL SECTION 11805 SW 26 Street, Room 208 Miami, Florida 33175-2474 T (786) 315-2590 F (786) 315-2599 www.miamidade.gov/pera/

PGT Industries 1070 Technology Drive, Nokomis, Fl. 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA -Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "SGD-770" Aluminum Sliding Glass Doors w / wo Reinforcements

APPROVAL DOCUMENT: Drawing No.PGT0002 Rev C, titled "Series 770 Alum SGD-LMP", sheets 1 through 23 of 23, prepared by manufacturer, dated 08/05/07 and last revised on 10/11/11, signed and sealed by Lynn Miller, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

Limitations:

- 1. See table 1, 2 & 3, sheets 7, 8 & 9 of this approved drawing set for applicable SGD unit sizes, design pressures, reinforcements, glass types, sill riser and anchors requirements.
2. Egress operable doors must comply with min clear width per FBC, as applicable.
3. All laminated glazing options are with interior HS glass, see glazing options, sheet 1, 5 & 6.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and series and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 09-0826.10 and consists of this page 1 and evidence pages E-1, as well as approval document mentioned above.

The submitted documentation was reviewed by Ishaq I. Chanda, P.E.



NOA No 11-1018.14 Expiration Date: February 17, 2015 Approval Date: December 01, 2011 Page 1

11/22/11

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Manufacturer's die drawings and sections (transferred from file # 09-0826.10).
2. Drawing No. PGT0002 Rev C, titled "Series 770 Alum SGD-LMI", sheets 1 through 23 of 23, prepared by manufacturer, dated 08/05/07 and last revised on 10/11/11, signed and sealed by Lynn Miller, P.E.

B. TESTS (transferred from file # 09-0826.10)

- Test report on
- 1) Air Infiltration Test, per FBC, TAS 202-94
 - 2) Uniform Static Air Pressure Test, per FBC, TAS 202-94
 - 3) Water Resistance Test, per FBC, TAS 202-94.
 - 4) Large Missile Impact Test per FBC, TAS 201-94
 - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
 - 6) Forced Entry Test, per FBC 2411.3.2.1 (b) and TAS 202-94

Along with marked-up drawings and installation diagram of aluminum Sliding Glass Doors, prepared by Fenestration Testing Laboratory, Inc., Test Report No FTL-5980, FTL-5993, FTL-6036, FTL-6001, FTL-6014, FTL-6015, FTL-6017, FTL-6023, FTL-6024, FTL-6025, FTL-6028, FTL-6031, FTL-6033 and FTL-6036 dated 08/10/09, all signed and sealed by Julio Gonzales, P.E.

Note: The test reports No. FTL 5980, FTL 6001 and FTL 6015 have been revised and reissued on 12/29/09, signed and sealed by Julio Gonzales, P.E.

C. CALCULATIONS

1. Statement letter dated OCT 11, 2011 of compliance to FBC 2007 & FBC 2010, prepared by PGT, signed & sealed by Lynn Miller, P.E.
2. Statement letter dated 10/07/11, Successor Engineer adopting the another engineer's work per FAR 61G15-27-001, signed & sealed by Lynn Miller, P.E.
3. Anchor verification and comparative analysis dated 08-19-09, 12/03/09, 01/06/10 and last revised on 01/08/10, prepared by PTC, LLC, Robert J. Amoruso, P.E. (transferred from file # 09-0826.10)
4. Glazing complies with ASTM E-1300-02 & -04

D. QUALITY ASSURANCE

1. Miami Dade Department of Permitting, Environment, and Regulatory Affairs (PERA).

E. MATERIAL CERTIFICATIONS

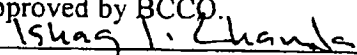
1. Notice of Acceptance No. 07-1116.04 issued to E.I. DuPont De Nemours & CO., Inc. for "DuPont SentryGlas ® Plus", expiring on 01/14/2012.
2. Notice of Acceptance No. 11-0624.01 issued to "E.I. DuPont Denemours" for "DuPont Butacite ® PVB", expiring on 12/11/16.

F. STATEMENTS

1. Statement letter dated OCT 11, 2011 of compliance to FBC 2007 & FBC 2010 and "No financial interest", prepared by PGT, signed & sealed by Lynn Miller, P.E.
1. Statement letter of conformance to FBC 2007 and no financial interest, dated 08-19-09, signed by Robert J. Amoruso, P.E. (transferred from file # 09-0826.10)
2. Letter of lab compliance, part of the above test reports.

G. OTHER

1. This NOA revises # 09-0826.10, expiring February 17, 2015.
2. Test proposals No(s) 09-0177, 0177-A, B & C approved by BCCO.


Ishaq I. Chanda, P.E.
Product Control Examiner
NOA No 11-1018.14
Expiration Date: February 17, 2015
Approval Date: December 01, 2011

GENERAL NOTES: SERIES 770 LMI SLIDING GLASS DOOR

GLAZING TYPE OPTIONS: (GLASS RECIPES ARE FROM EXTERIOR TO INTERIOR)

- GLASS STRENGTHS - T = TEMPERED HS = HEAT STRENGTHED
 INTERLAYER TYPES - SGP = .090 DUPONT SENTRY GLAS PLUS DBPVB = .090 DUPONT BUTACITE PVB
- G3 - 7/16" LAMINATED: (2) LITES OF 3/16" HS GLASS WITH AN .090 DBPVB INTERLAYER.
 - G4 - 7/16" LAMINATED: (2) LITES OF 3/16" HS GLASS WITH AN .090 SGP INTERLAYER.
 - G3A - 9/16" LAMINATED: (2) LITES OF 1/4" HS GLASS WITH AN .090 DBPVB INTERLAYER.
 - G4A - 9/16" LAMINATED: (2) LITES OF 1/4" HS GLASS WITH AN .090 SGP INTERLAYER.
 - G5 - 1" LAMINATED I.G. 3/16" T EXT. CAP + 3/8" AIR SPACE + 7/16" LAMINATED: (2) LITES OF 3/16" HS GLASS WITH AN .090 DBPVB INTERLAYER.
 - G6 - 1" LAMINATED I.G. 3/16" T EXT. CAP + 3/8" AIR SPACE + 7/16" LAMINATED: (2) LITES OF 3/16" HS GLASS WITH AN .090 SGP INTERLAYER.
 - G5A - 1" LAMINATED I.G. 1/4" T EXT. CAP + 5/16" AIR SPACE + 7/16" LAMINATED: (2) LITES OF 3/16" HS GLASS WITH AN .090 DBPVB INTERLAYER.
 - G6A - 1" LAMINATED I.G. 1/4" T EXT. CAP + 5/16" AIR SPACE + 7/16" LAMINATED: (2) LITES OF 3/16" HS GLASS WITH AN .090 SGP INTERLAYER.

DESIGN PRESSURE CHART

SEE TABLES 1, 2 & 3 ON SHEETS 7, 8 & 9

NOA DRAWING MAP

SHEET	
GENERAL NOTES.....	1
QUALIFIED CONFIG.....	2-4
GLAZING DETAILS.....	5-6
ANCHORAGE.....	7-15
DESIGN PRESSURES.....	7-9
ELEVATIONS.....	15-16
CONFIGURATIONS.....	17
VERT. SECTIONS.....	18
HORIZ. SECTIONS.....	19-20
PARTS LIST.....	21
EXTRUSIONS.....	22-23

2. DESIGN PRESSURES:

- A. NEGATIVE DESIGN LOADS BASED ON TESTED PRESSURE AND GLASS TABLES ASTM E 1300.
- B. POSITIVE DESIGN LOADS BASED ON WATER TEST PRESSURE AND GLASS TABLES ASTM E 1300.
- 3. ANCHORAGE: THE 33 1/3% STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT. MATERIALS, INCLUDING BUT NOT LIMITED TO STEEL SCREWS, THAT COME INTO CONTACT WITH OTHER DISSIMILAR MATERIALS SHALL MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. FOR ANCHORAGE DETAILS SEE SHEETS 7 THROUGH 15.
- 4. SHUTTERS ARE NOT REQUIRED.
- 5. INSTALLATION SCREWS, FRAME AND PANEL CORNERS TO BE SEALED WITH NARROW JOINT SEALANT.
- 6. REFERENCES:

TEST REPORTS FTL-5980, FTL-5983, FTL-8001, FTL-6014, FTL-8015, FTL-6017, FTL-6022, FTL-6023, FTL-6024, FTL-6025, FTL-6028, FTL-6031, FTL-6033 AND FTL-6036, DATED 8/7/09.
 ELCO TEXTRON NOA: 07-0425.01, 03-0225.05, ANSII/AF&PA NDS-2005 FOR WOOD CONSTRUCTION AND ADM-2005 ALUMINUM DESIGN MANUAL
 7. THIS PRODUCT HAS BEEN DESIGNED & TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, INCLUDING THE HIGH VELOCITY HURRICANE ZONE (HVHZ).
 8. DOOR SIZES MUST BE VERIFIED FOR COMPLIANCE WITH EGRESS REQUIREMENTS PER FLORIDA BUILDING CODE, AS APPLICABLE.
 9. CONFIGURATIONS: SEE DP TABLES (SHEETS 7-9) AND CONFIGURATION ILLUSTRATIONS (SHEETS 2-4).
 A. D.L.O. WIDTH = PANEL WIDTH - 7" B. D.L.O. HEIGHT = PANEL HEIGHT - 8.25"

NOTES PERTAINING TO ANCHORAGE DETAILS ON SHTS. 13-15:

- 1. FOR CONCRETE APPLICATIONS IN MIAMI-DADE COUNTY, USE ONLY MIAMI-DADE COUNTY APPROVED ELCO 1/4" OR 5/16" ULTRACON (FORMERLY TAPCON) CONCRETE SCREWS OR 1/4" ELCO SS4 CRETE-FLEX. SEE TABLE ON THIS SHEET FOR EMBEDMENT, EDGE DISTANCE AND SUBSTRATE REQUIREMENTS.
- 2. FOR WOOD APPLICATIONS USE #12 STEEL SCREWS (G5). 1/4" ELCO SS4 CRETE-FLEX MAY BE USED INSTEAD OF #12 SCREWS (PAN HEAD).
- 3. WOOD BUCKS DEPICTED AS 1x ARE LESS THAN 1 1/2" THICK. 1x WOOD BUCKS ARE OPTIONAL IF UNIT IS INSTALLED DIRECTLY TO SOLID CONCRETE. WOOD BUCKS DEPICTED AS 2x ARE 1 1/2" THICK OR GREATER. 1X AND 2X BUCKS (WHEN USED) SHALL BE DESIGNED TO PROPERLY TRANSFER LOADS TO THE STRUCTURE. BUCK DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD.
- 4. FOR ATTACHMENT TO ALUMINUM: THE ALUMINUM SHALL BE A MINIMUM STRENGTH OF 6063-T5 AND A MINIMUM OF 1/8" THICK. THE ALUMINUM STRUCTURAL MEMBER SHALL BE OF A SIZE TO PROVIDE FULL SUPPORT TO THE DOOR FRAME SIMILAR TO THAT SHOWN IN THE DETAILS USING 2x WOOD BUCKS. THE ANCHORS SHALL BE #12 SHEET METAL SCREWS WITH FULL THREAD ENGAGEMENT INTO THE ALUMINUM. IF THESE CRITERIA ARE MET, THE FULL DESIGN PRESSURES USING ANCHORAGE REQUIREMENTS SHOWN IN TABLES 1-3, SHTS. 7-9, FOR ANCHOR TYPE 4 ARE ACCEPTABLE.
- 5. IF SILL IS TIGHT TO SUBSTRATE, GROUT OR OTHER MATERIAL IS NOT REQUIRED. IF USED, NON-SHRINK, NON-METALLIC GROUT, 3400 PSI MIN., (DONE BY OTHERS) (MAX. 1/4" SHIM SPACE FOR GROUT) MUST FULLY SUPPORT THE ENTIRE LENGTH OF THE SILL THAT IS NOT TIGHT TO THE SUBSTRATE, AND TRANSFER SHEAR LOAD TO SUBSTRATE. IF SUBSTRATE IS WOOD, 30# FELT PAPER OR MASTIC IS REQUIRED BETWEEN THE GROUT AND WOOD SUBSTRATE, OR AS APPROVED BY THE AUTHORITY HAVING JURISDICTION.

PRODUCT REVISED to comply with the Florida Building Code
 Annotations No. 11-1015.14
 Registration Date: 2/17/2015
 By: [Signature]
 Board State Professional Control

Concrete Screw Anchorage Minimum Embedment and Minimum Edge Distance Requirements

Type	Dia.	Head and Sill		Jamba			
		Concrete		Un-Grouted CMU		Grouted CMU	
		Min. Emb.	Min. Ed.	Min. Emb.	Min. Ed.	Min. Emb.	Min. Ed.
Elco Ultracon	1/4"	1 3/8	2 1/2	1 1/4	2 1/2	1 3/4	2 1/2
	5/16"	1 3/4	1 1/4	1 1/4	1 9/16	1 3/4	2 1/2
Elco Crete-Flex SS4	1/4"	1 3/4	2 1/2	1 1/4	2 1/2	Not Recommended	

Concrete Strength Requirements

Type	Dia.	fc'
Elco Ultracon	1/4"	2700 psi
	5/16"	3500 psi
Elco Crete-Flex SS4	1/4"	3350 psi

Masonry Strength Requirements

Ungrouted CMU	ASTM C-90
Grouted CMU	ASTM C-80 with grout conforming to Sections 2105.2.2, 1.2 and R809 of the FBC.

Definitions:

- Emb. = Embedment
- Ed = Edge Distance
- Min. = Minimum

CONCRETE SCREWS STRENGTHS:
 Fy MIN. = 135 KSI
 Fu MIN. = 177 KSI

Wood Screws (Head, Sill & Jamb) In.

Type	Min. Emb.	Min. Ed.
#12 Wood Screw	1 3/8"	1"
Elco Crete-Flex SS4	1 3/8"	1"

P-Hook (Anchor Tension)

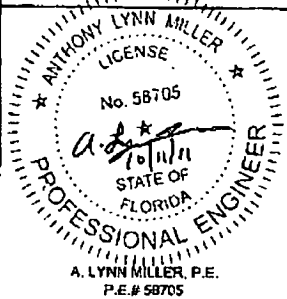
Type	Dia.	Concrete		Grouted CMU		Concrete		Grouted CMU	
		Min. Emb.	Min. Ed.	Min. Emb.	Min. Ed.	Min. Emb.	Min. Ed.	Min. Emb.	Min. Ed.
Elco Ultracon	1/4"	1 3/4	2 1/2	1 3/4	2 1/2	1 3/4	2 1/2	1 3/4	1 1/4
Elco Crete-Flex SS4	1/4"	1 3/4	2 1/2	Not Recommended		1 3/4	2 1/2	Not Recommended	

Revised By	Date	Revisions	Comments
J.J.	10/11/11	C	FBC 2010 CODE CHANGE
SMC	01/05/10	B	PER MIAMI DADE COMMENTS
SMC	11/16/09	A	PER MIAMI DADE COMMENTS
SMC	08/05/07		

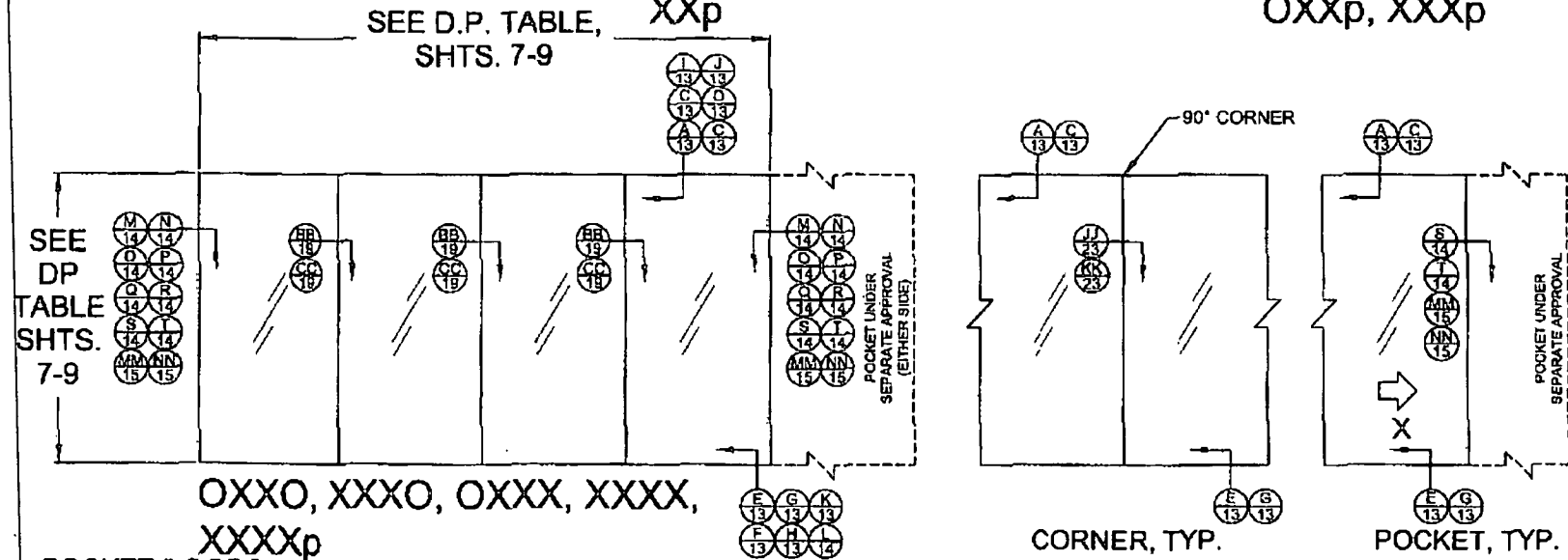
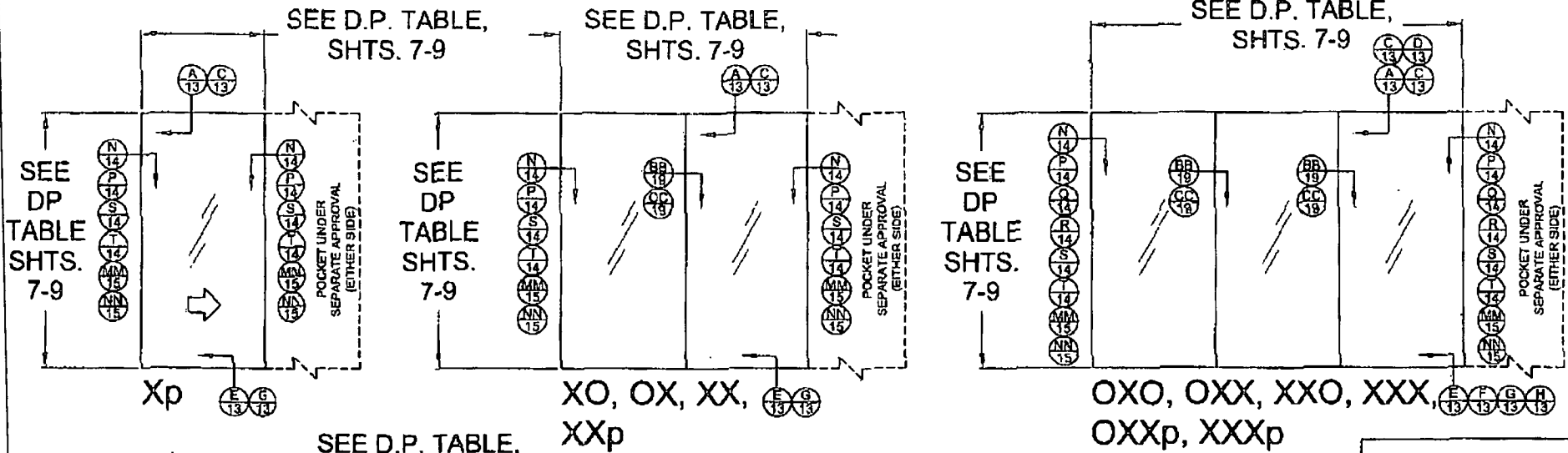
1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1528
 NOKOMIS, FL 34274



GENERAL NOTES AND MAP			
Title			
SERIES 770 ALUMINUM SGD - LMI			
Accession No.	Sheet	Sheet	Drawing No.
SGD770	NTS	1 of 23	PGT0002
Rev			C



APPROVED CONFIGURATIONS:



PRODUCT REVISED
 in compliance with the Florida
 Building Code
 Amendment No. 11-1018.14
 Effective Date 2/1/16
 By *Shag J. Linn*
 Board State Professional Engineer

POCKET DOORS:

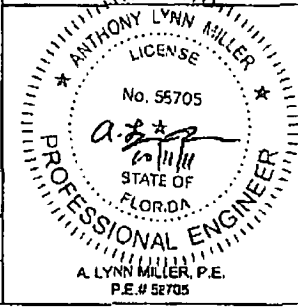
ALL CONFIGURATIONS SHOWN ALSO AVAILABLE AS POCKET DOORS AT EITHER JAMB LOCATION USING
 DETAIL "S" OR "T" INSTALLATION. EXAMPLE:
 XXXX IN POCKET CONFIGURATION CAN BE pXXXXp, pXXXX OR XXXXp. OXXX IN POCKET
 CONFIGURATION CAN BE OXXXp. POCKET DOOR REQUIRES OPERABLE PANEL.
 X SIGNIFIES OPERABLE PANEL, O SIGNIFIES INOPERABLE PANEL.

Revised By: J.J.	Date: 10/11/11	Revision: C	NO CHANGE THIS SHEET
Revised By: SMC	Date: 01/05/10	Revision: B	PER MIAMI DADE COMMENTS
Revised By: SMC	Date: 11/18/09	Revision: A	PER MIAMI DADE COMMENTS
Drawn By: SMC	Date: 09/05/09	Checked By:	Date:

1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1529
 NOKOMIS, FL 34274



Description: QUALIFIED CONFIGURATIONS			
Title: SERIES 770 ALUM. SGD - LMI			
Sheet No: SGD770	Spec: NTS	Sheet: 2 of 23	Drawing No: PGT0002
Rev: C			

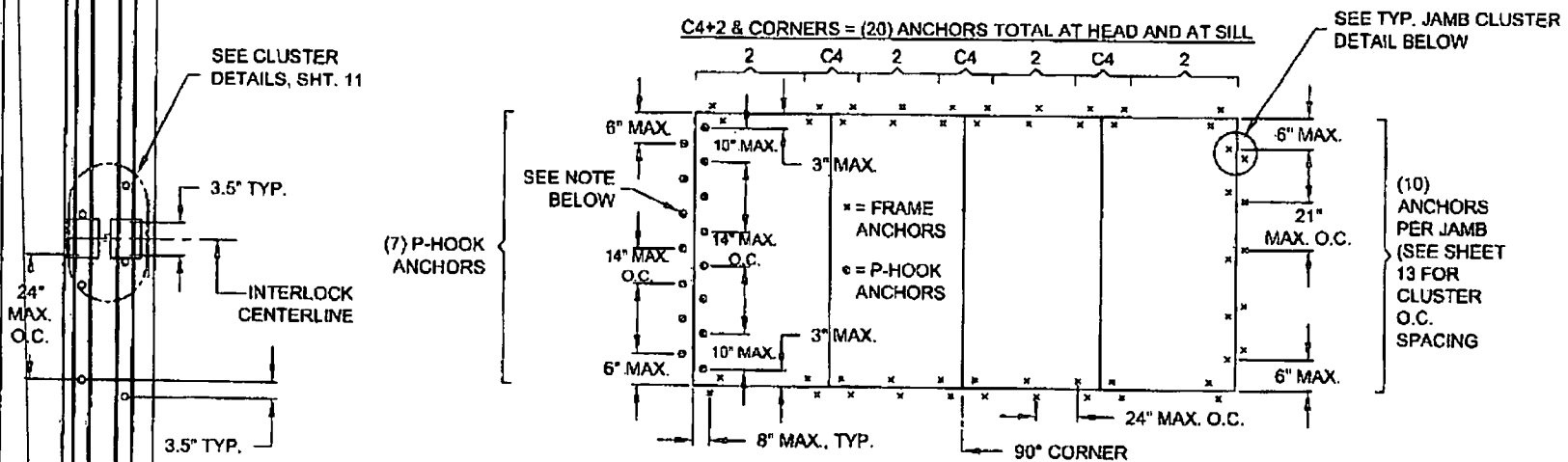
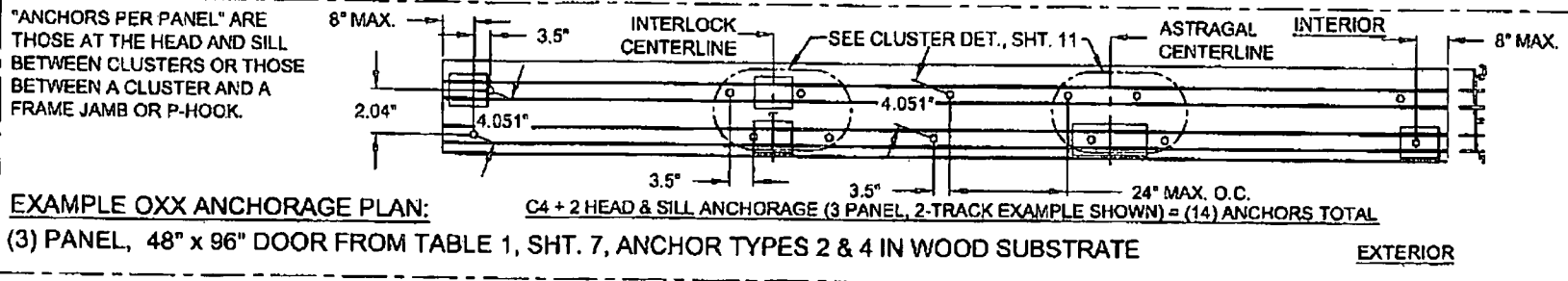


ANCHORAGE REQUIREMENTS NOTES:

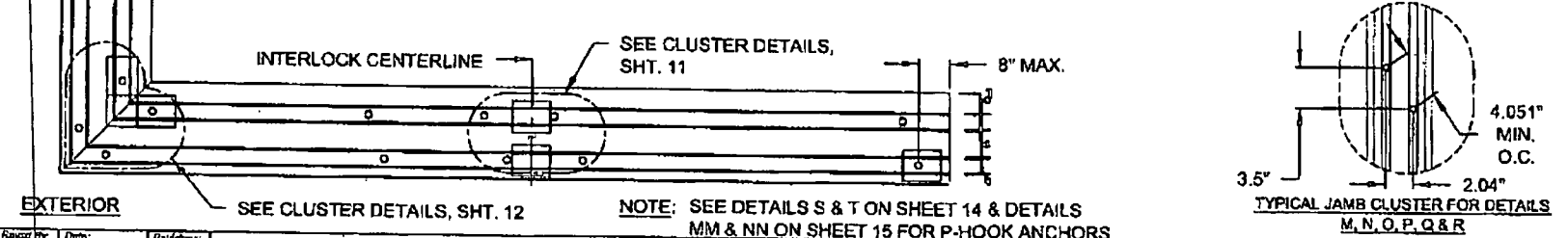
1. APPROVED ANCHOR TYPES: 1) 1/4" ELCO ULTRACON (FORMERLY TAPCON) 2) 1/4" ELCO SS4 CRETE-FLEX 3) 5/16" ULTRACON 4) #12 STEEL SCREW (G5)
 2. ANCHOR LOCATION SPACING FOR ANCHOR QUANTITIES SPECIFIED IN TABLES 1-3, SHTS. 7-9:

HEAD & SILL..... 8" MAX. FROM FRAME CORNERS. USE SPECIFIED CLUSTER FROM APPROPRIATE TABLES, SHTS. 7-9 AT EACH INTERLOCK AND STRAIGHT AND CORNER ASTRAGAL LOCATION, PLUS SPECIFIED QUANTITY OF ADDITIONAL INTERMEDIATE ANCHORS PER PANEL (THE 8" FROM CORNER ANCHORS CAN BE INCLUDED). ADDITIONAL ANCHORS 24" MAX. O.C. SEE EXAMPLE ANCHORAGE PLANS BELOW AND EXAMPLE CLUSTERS AT ASTRAGAL, INTERLOCK & 90° CORNER ON SHT. 11-12.

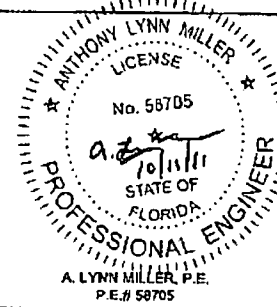
JAMBS & P-HOOKS... 6" MAX. FROM BOTTOM AND 21" MAX. O.C. UTILIZING ANCHOR QUANTITIES FROM APPROPRIATE TABLES, SHTS. 7-9. SEE P-HOOK ANCHOR DETAILS ON SHEETS 14-15.



EXAMPLE OX-90° OUTSIDE CORNER-XO CORNER ANCHORAGE PLAN:
 (4) PANEL, 60" x 96" DOOR FROM TABLE 2, SHT. 8, ANCHOR TYPE 1 & 2 IN CONCRETE SUBSTRATE



PRODUCT REVISED to comply with the Florida Building Code Acceptance No. 11-1018-14 (Expiration Date 3/17/15) By: [Signature] School Code: [Blank]

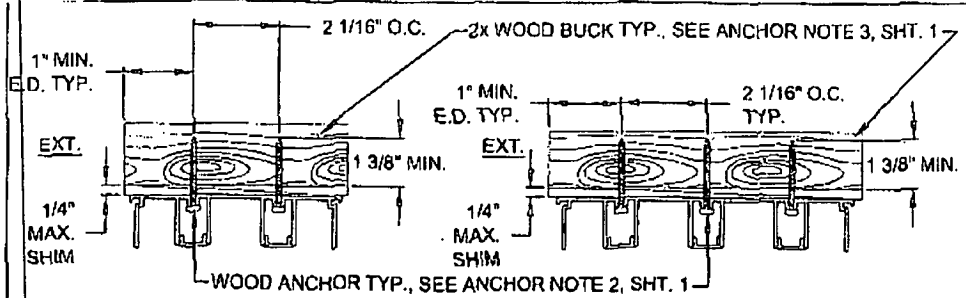


Revised By: J.J.	Date: 10/11/11	Revision: C	NO CHANGE THIS SHEET
Revised By: SMC	Date: 01/03/10	Revision: B	PER MIAMI DADE COMMENTS
Revised By: SMC	Date: 11/15/09	Revision: A	PER MIAMI DADE COMMENTS
Drawn By: SMC	Date: 08/05/09	Checked By: RJA	Date:

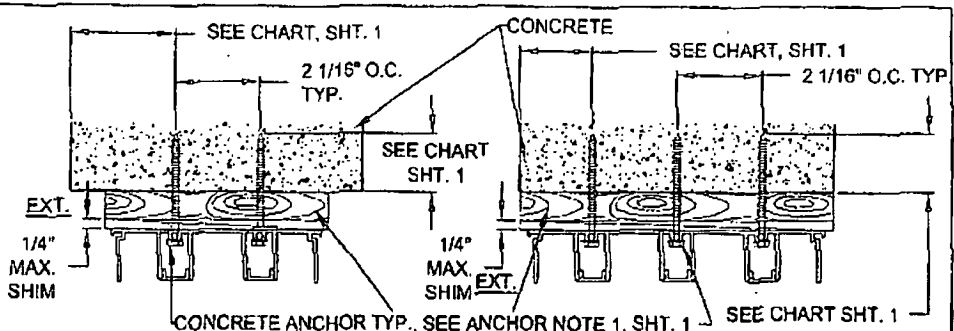
1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1528
 NOKOMIS, FL 34274



Description: ANCHORAGE SPACING & EXAMPLE PLANS			
Title: SERIES 770 ALUMINUM SGD - LMI			
Order/Rev: SGD770	Scale: NTS	Sheet: 10 of 23	Order No: PGT0002
Rev: C			



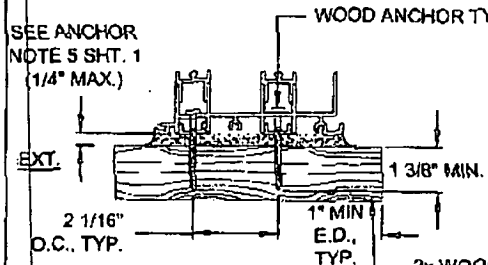
DETAIL A, 2-TRACK FRAME HEAD WOOD INSTALLATION



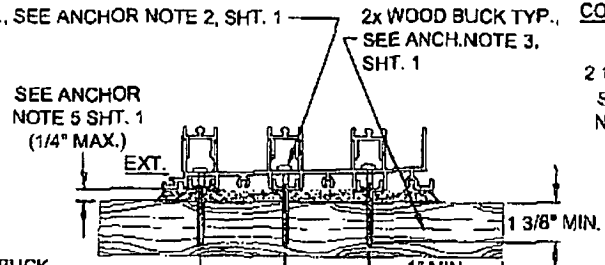
DETAIL C, 2-TRACK FRAME HEAD CONCRETE INSTALLATION

DETAIL B, 3-TRACK FRAME HEAD WOOD INSTALLATION

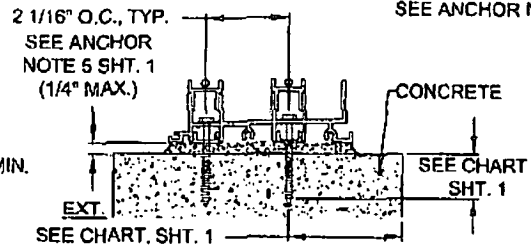
DETAIL D, 3-TRACK FRAME HEAD CONCRETE INSTALLATION



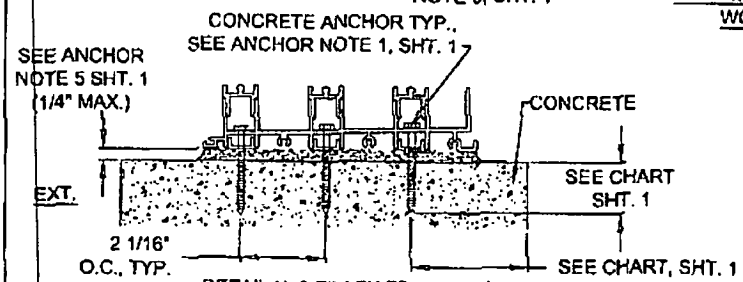
DETAIL E, 2-TRACK FRAME SILL WOOD INSTALLATION



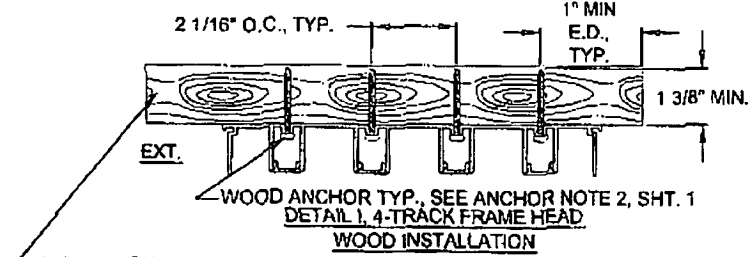
DETAIL F, 3-TRACK FRAME SILL WOOD INSTALLATION



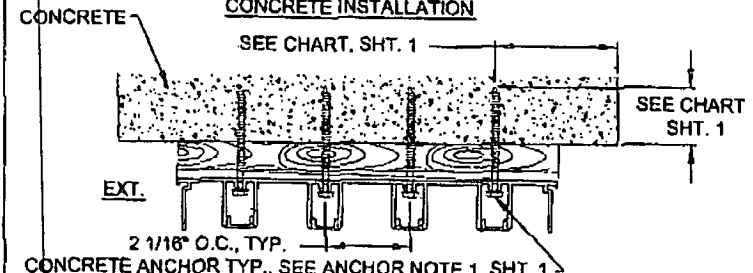
DETAIL G, 2-TRACK FRAME SILL CONCRETE INSTALLATION



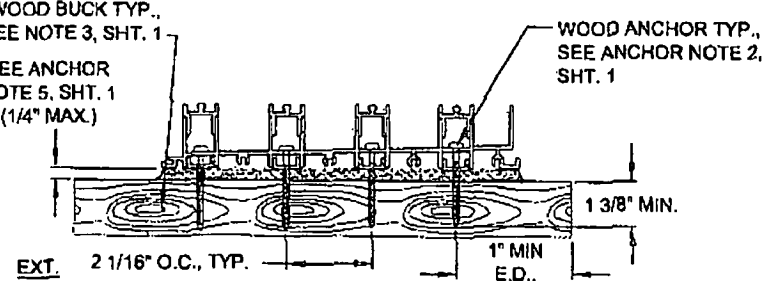
DETAIL H, 3-TRACK FRAME SILL CONCRETE INSTALLATION



DETAIL I, 4-TRACK FRAME HEAD WOOD INSTALLATION



DETAIL J, 4-TRACK FRAME HEAD CONCRETE INSTALLATION



DETAIL K, 4-TRACK FRAME SILL WOOD INSTALLATION

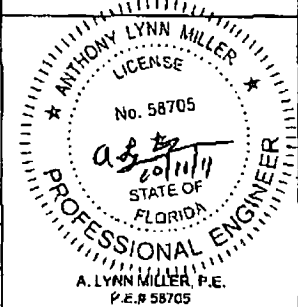
PRODUCT REVISED
 to comply with the Florida
 Building Code
 Amendment No. 11-1018-14
 Ordinance No. 2-17-15
 by *Anthony Lynn Miller*
 Licensed Professional Engineer

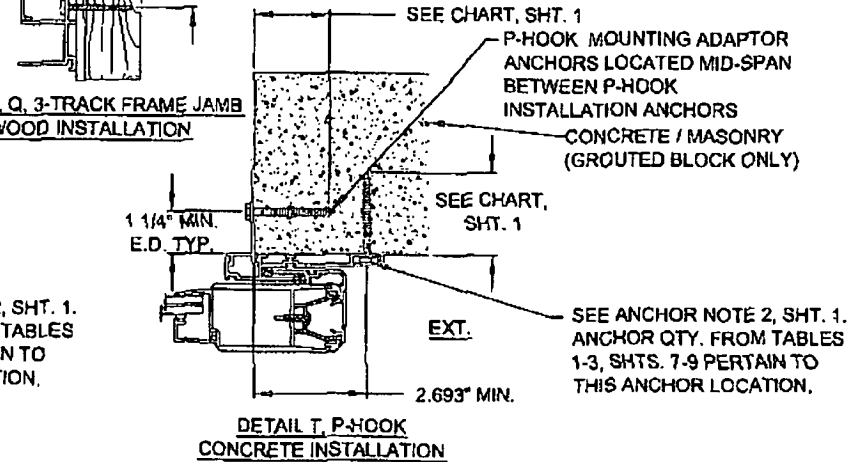
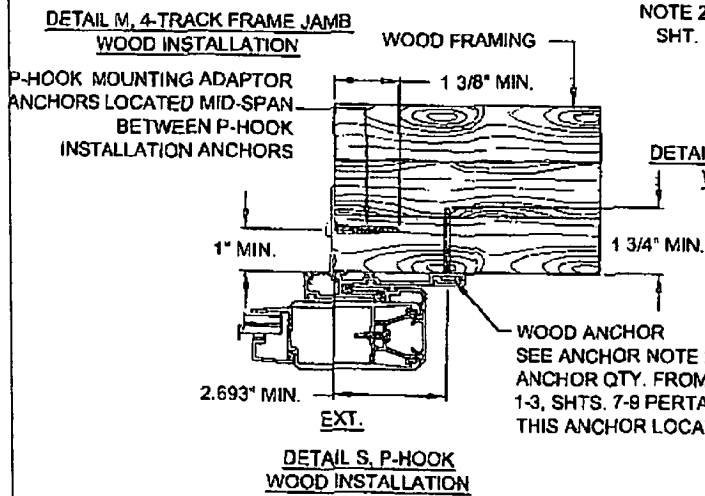
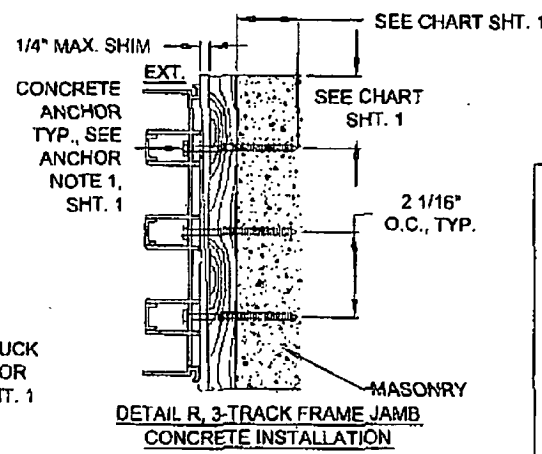
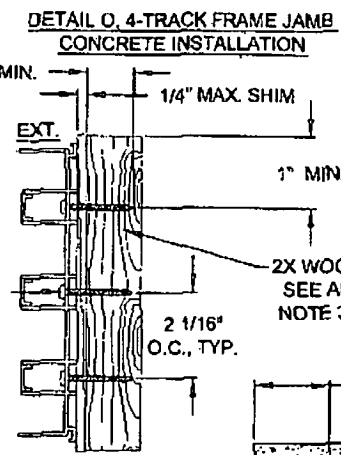
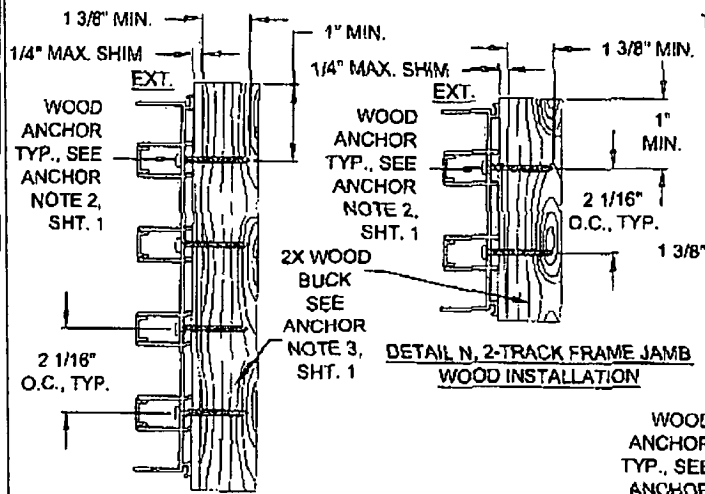
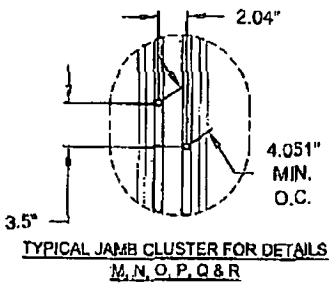
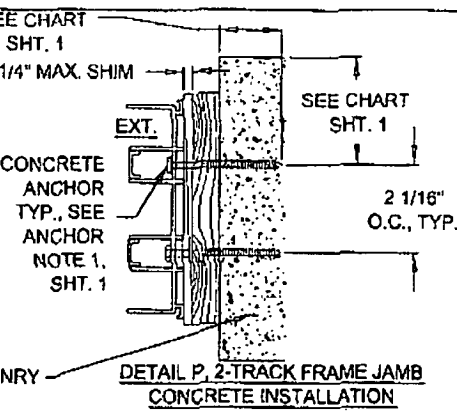
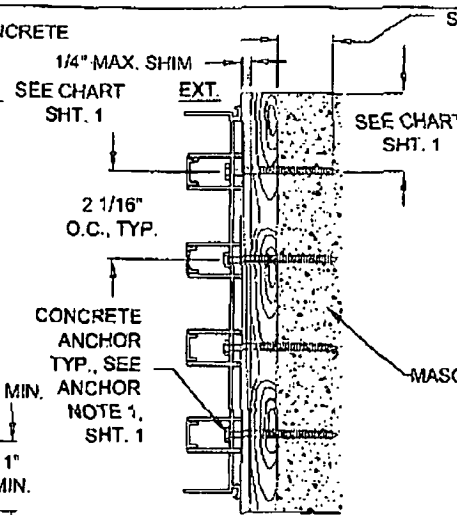
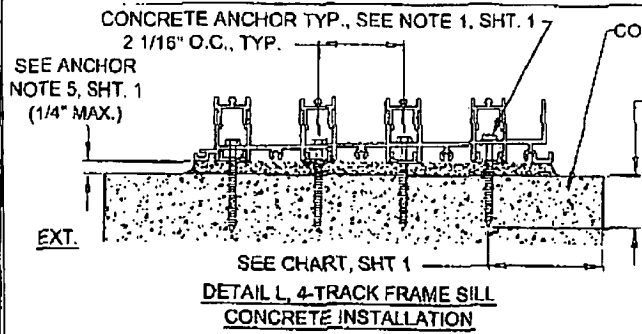
Revised By: J.J.	Date: 10/11/11	Revisions: C	NO CHANGE THIS SHEET
Revised By: SMC	Date: 01/05/10	Revisions: B	PER MIAMI DADE COMMENTS
Revised By: SMC	Date: 11/18/09	Revisions: A	PER MIAMI DADE COMMENTS
Drawn By: SMC	Date: 08/05/09	Checked By:	Date:

1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1629
 NOKOMIS, FL 34274



Description: ANCHORAGE DETAILS			
Title: SERIES 770 ALUMINUM SGD - LMI			
Series/Model: SGD770	Shore: NTS	Size: 13 x 23	Drawing No: PGT0002
Date: 08/05/09	Scale:	Sheet No: 13 of 23	Rev: C





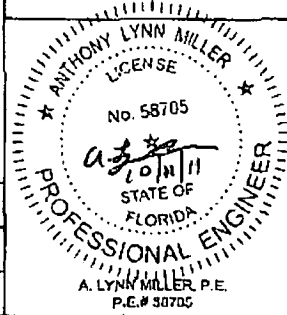
PRODUCT REVISED
 to comply with the Florida
 Building Code
 Amendments for 11-10-15, 14
 Registration No. 2117115
 by *Anthony L. Miller*
 Licensed Professional Engineer

Revised By: J.J.	Date: 10/11/11	Revision: C	NO CHANGE THIS SHEET
Revised By: SMC	Date: 01/05/10	Revision: B	PER MIAMI DADE COMMENTS
Revised By: SMC	Date: 11/16/09	Revision: A	PER MIAMI DADE COMMENTS
Drawn By: SMC	Date: 08/05/09	Checked By:	Date:

1070 TECHNOLOGY DRIVE
 NOKOMIS, FL 34275
 P.O. BOX 1528
 NOKOMIS, FL 34274



Description: ANCHORAGE DETAILS			
For: SERIES 770 ALUMINUM SGD - LMI			
Rev./No.:	Scale:	Sheet:	Drawing No.:
SGD770	NTS	14 of 23	PGT0002



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-21-12 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10040	100M ST 23 LANTANA	WIND STORM ROUGH	FAIL PASS	
	M L Barrett Inc			INSPECTOR <i>JA</i>
10123	Murphy / Bubak 6 HERONS NEST	FINAL ROOF	PASS	CLOSE
	On Shore Roofs			INSPECTOR <i>JA</i>
10095	Gould 48 S SPT RD	SLAB	PASS	
	Crist Const.			INSPECTOR <i>JA</i>
10097	Buro 101 HENRY SEWALLS WAY	THE BEAM FIRE PLACE	PASS	
	GM CONST			INSPECTOR <i>JA</i>
	49 N. RIVER	TREE	OK	
				INSPECTOR
10088	Grachino 11 RIVISTA	TRUSS ENG TIE DOWN	PASS	
	Glenmark Homes	DRY IN MOON		INSPECTOR <i>JA</i>
10116	Marcum 34 W. HIGH PT	FINAL FENCE	PASS	CLOSE
	SWIM FENCE			INSPECTOR <i>JA</i>

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **7-13-12** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10137	Connolly 10 Ridgeland Dr Home Depot	sub siding	PASS	INSPECTOR <i>gt</i>
10027	Goudis 25 S Levee Rd Team Parks	slab plumbing Garage Guest House	PASS	INSPECTOR <i>gt</i>
10097	Buro 101 St. Sewall Way G.M. Construction	Roof Sheathing	PASS	INSPECTOR <i>gt</i>
10017	Mc Barrett Inc	Roof Sheathing	PASS	INSPECTOR <i>gt</i>
10083	WHITE 15 RIDGE LAND TUSCANY BAY	ROOF SHEATHING & sub siding	PASS	INSPECTOR <i>gt</i>
	23 LANTANA	TREE	OK	INSPECTOR
10114	Barrett 23 Lantana Mc Barrett Inc	Final Fence	PASS	INSPECTOR <i>gt</i>

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 9-18-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10211	Wattles	Final		
15E	20 N Ridgeway NisDin	AC	Pass	CLOSE INSPECTOR <i>gt</i>
1000	Barrett	Final		
	23 Linden M J Barrett	AC	Pass	CLOSE INSPECTOR <i>A</i>
10099	Puro	plumbing rough electrical rough AC rough framing		
	101 Henry Sewall Em Const			INSPECTOR
10172	Curry	UG rough electrical		Gen Prod w/inspect
10- 10:30	5 Rivercrest Ct Energized Elect		Pass	INSPECTOR <i>A</i>
	Morris, Dan Ridgeland	Investigate	OK	INSPECTOR
	6 Indialucie Pkwy Dennis Serafini	521-4440	NEED ROW HEIGHT ROW LIMITATION & WIDTH OF ROW	INSPECTOR
10223	Hurd	Final		
	34 N Sewalls Duncan Group	Fence	Pass	CLOSE INSPECTOR <i>gt</i>

10114

FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10114	DATE ISSUED:	JUNE 1, 2012
SCOPE OF WORK:	FENCE		
CONTRACTOR:	ML BARRETT INC		
PARCEL CONTROL NUMBER:	123841002-000-003807	SUBDIVISION	RIO VISTA - LOT 38
CONSTRUCTION ADDRESS:	23 LANTANA LN		
OWNER NAME:	BARRETT		
QUALIFIER:	ML BARRETT	CONTACT PHONE NUMBER:	285-1968

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: 10114

Date: 5-28-12

OWNER/LESSEE NAME: Michael Barrett Laurel Couchman Phone (Day) 285-1968 (Fax) _____

Job Site Address: 23 Lantana Lane City: Stuart State: FL Zip: 34996

Legal Description: Rio Vista S/D Lot 38 Parcel Control Number: 12-38-41-002-000-00380-7

Fee Simple Holder Name: N/A Address: _____
City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):**

Fence

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES NO _____

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 3000
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

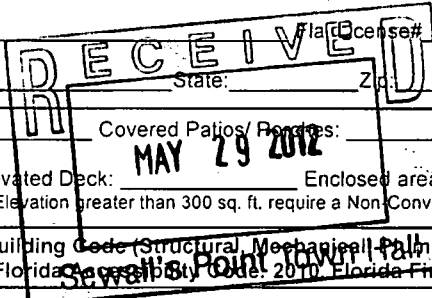
Construction Company: ML Barrett Inc Phone: 285-1968 Fax: _____

Qualifiers name: Michael L Barrett Street: 23 Lantana Lane City: Stuart State: FL Zip: 34996

State License Number: CGC 037702 OR: _____ Municipality: _____ License Number: _____

LOCAL CONTACT: Michael Barrett Phone Number: 285-1968

DESIGN PROFESSIONAL: N/A State License # _____
Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____



AREAS SQUARE FOOTAGE: Living: 2200 Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE AND TO CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE: _____
State of Florida, County of: Martin #DD 978748
On This the 29 day of May
by Michael Barrett
known to me or produced FDL# B630-552-56-176-0
As identification: Valerie Meyer
Notary Public

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE: _____
State of Florida, County of: Martin
On This the 29 day of May 20 12
by Michael Barrett who is personally
known to me or produced FDL# B630-552-56-176-0
As identification: Valerie Meyer
Notary Public

My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**
generated on 5/29/2012 3:40:38 PM EDT
Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00380-7	27551	23 LANTANA LN, SEWALL'S POINT	\$238,320	5/26/2012

Owner Information

Owner(Current)	BARRETT MICHAEL COUCHMAN LAURA
Owner/Mail Address	23 LANTANA LN STUART FL 34996
Sale Date	11/28/2011
Document Book/Page	2549 0086
Document No.	2305278
Sale Price	230000

Location/Description

Account #	27551	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 38
Parcel Address	23 LANTANA LN, SEWALL'S POINT		
Acres	.3470		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

Market Land Value	\$127,000
Market Improvement Value	\$111,320
Market Total Value	\$238,320

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PERMIT #: 10114 TAX FOLIO #: 12 38 41 002-000-003807

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): 23 Lantana Lane Rio Vista subdivision Lot 38

GENERAL DESCRIPTION OF IMPROVEMENT: Fence

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: Michael Barrett
ADDRESS: 23 Lantana Lane Stuart FL 34996
PHONE NUMBER: 772-285-1968 FAX NUMBER:
INTEREST IN PROPERTY: 100%

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: ML Barrett Inc
ADDRESS: 23 Lantana Lane Stuart FL 34996
PHONE NUMBER: 772-285-1968 FAX NUMBER:

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)
ADDRESS:
PHONE NUMBER: FAX NUMBER: STATE OF FLORIDA MARTIN COUNTY
BOND AMOUNT:

LENDER/MORTGAGE COMPANY:
ADDRESS:
PHONE NUMBER: FAX NUMBER:

THIS IS TO CERTIFY THAT THE FOREGOING PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES BY DATE 7/12/12 D.C.

NAME:
ADDRESS:
PHONE NUMBER: FAX NUMBER:

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES OF TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: FAX NUMBER: EXPIRATION DATE OF NOTICE OF COMMENCEMENT:

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Signature of Michael Lane Barrett, Owner
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

SIGNATORY'S TITLE/OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12th DAY OF July 2012

BY: Michael Lane Barrett AS owner FOR N/A PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION X TYPE OF IDENTIFICATION PRODUCED FL DL B630-55256-1760

NOTARY SIGNATURE/SEA



Handwritten number: 5-16-20

INSTR # 2340799-OR BK 02588-PG 1456 RECD 07/12/2012 01:41:51 PM
Pg 14567 (1P9)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK

R4101.17.1 Outdoor swimming pools. Outdoor swimming pools shall be provided with a barrier complying with R4101.17.1.1 through R4101.17.1.14.

R4101.17.1.1 The top of the barrier shall be at least 48 inches (1219 mm) above grade measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between grade and the bottom of the barrier shall be 2 inches (51 mm) measured on the side of the barrier which faces away from the swimming pool. Where the top of the pool structure is above grade the barrier may be at ground level or mounted on top of the pool structure. Where the barrier is mounted on top of the pool structure, the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be 4 inches (102 mm).

R4101.17.1.2 The barrier may not have any gaps, openings, indentations, protrusions, or structural components that could allow a young child to crawl under, squeeze through, or climb over the barrier as herein described below. One end of a removable child barrier shall not be removable without the aid of tools. Openings in any barrier shall not allow passage of a 4-inch-diameter (102 mm) sphere.

R4101.17.1.3 Solid barriers which do not have openings shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.

R4101.17.1.4 Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches (1143 mm), the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed 13/4 inches (44 mm) in width. Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 13/4 inches (44 mm) in width.

R4101.17.1.5 Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is 45 inches (1143 mm) or more, spacing between vertical members shall not exceed 4 inches (102 mm). Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 13/4 inches (44 mm) in width.

R4101.17.1.6 Maximum mesh size for chain link fences shall be a 2 1/4 inch square (57 mm) unless the fence is provided with slats fastened at the top or bottom which reduce the openings to no more than 13/4 inches (44 mm).

R4101.17.1.7 Where the barrier is composed of diagonal members, the maximum opening formed by the diagonal members shall be no more than 13/4 inches (44 mm).

R4101.17.1.8 Access gates, when provided, shall be self-closing and shall comply with the requirements of Sections R4101.17.1.1 through R4101.17.1.7 and shall be equipped with a self-latching locking device located on the pool side of the gate. Where the device release is located no less than 54 inches (1372 mm) from the bottom of the gate, the device release mechanism may be located on either side of the gate and so placed that it cannot be reached by a young child over the top or through any opening or gap from the outside. Gates that provide access to the swimming pool must open outward away from the pool. The gates and barrier shall have no opening greater than 1/2 inch (12.7 mm) within 18 inches (457 mm) of the release mechanism.

EASEMENT AGREEMENT

Date: _____

Gentlemen:

I propose to apply for a Town of Sewall's Point permit to erect a _____

In the (utility/drainage) easement on my property located at _____

LEGAL DESCRIPTION: LOT _____, BLOCK _____, SUBDIVISION _____

(Give a brief description of dimensions and location from property lines)

In the event you have no objection to this project, please complete this form and return to me at:

Address: _____

City: _____ State: _____ Zip: _____

I understand your company will not be responsible in any way for repair or replacement of any portion of This _____ and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signed: _____ Phone: _____

THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY***

We agree to the proposed construction under the circumstances described above.

Company: _____

By: _____

Title: _____

Company records indicate that a potential conflict DOES DOES NOT exist.

The conflict consists of: _____

UTILITY CONTACT LIST

MARTIN COUNTY UTILITIES: JIM CHRIST 772-288-3034 - FAX: 221-1447

FLORIDA POWER AND LIGHT: ROB MORRIS 772-223-4215 – FAX: 223-4221

COMCAST: TIM KORNDORF 772-692-9010 EXT. 29 – FAX: 692-0759

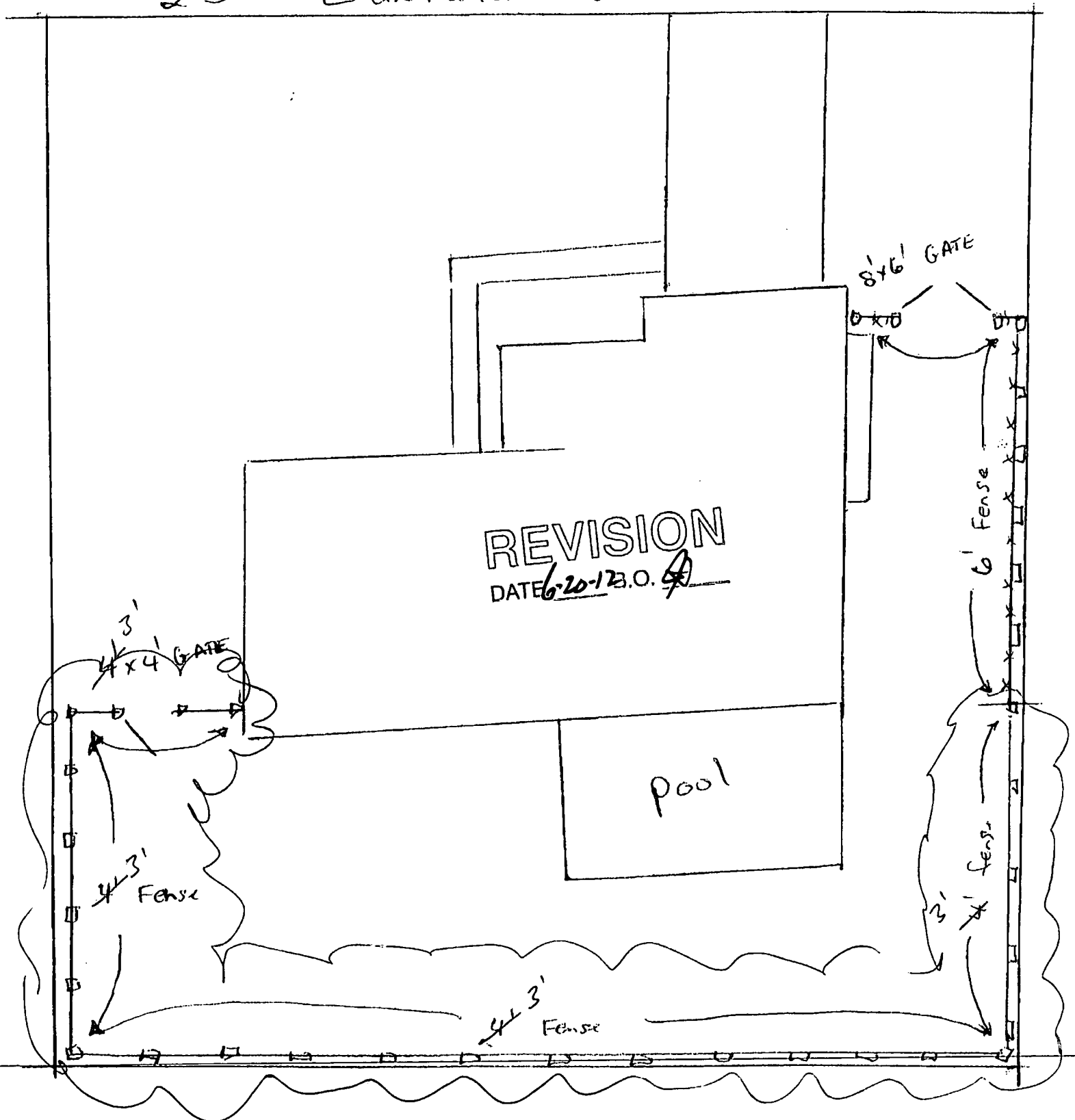
AT&T: JAMES VINGA 772-460-4452 FAX: 772-466-5651

10114

M L BARRETT INC
23 Lantana Lane, Stuart, Fl. 34996
772-285-1968 mlbarrettinc@bellsouth.net
CGC 037702

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

23 Lantana Lane

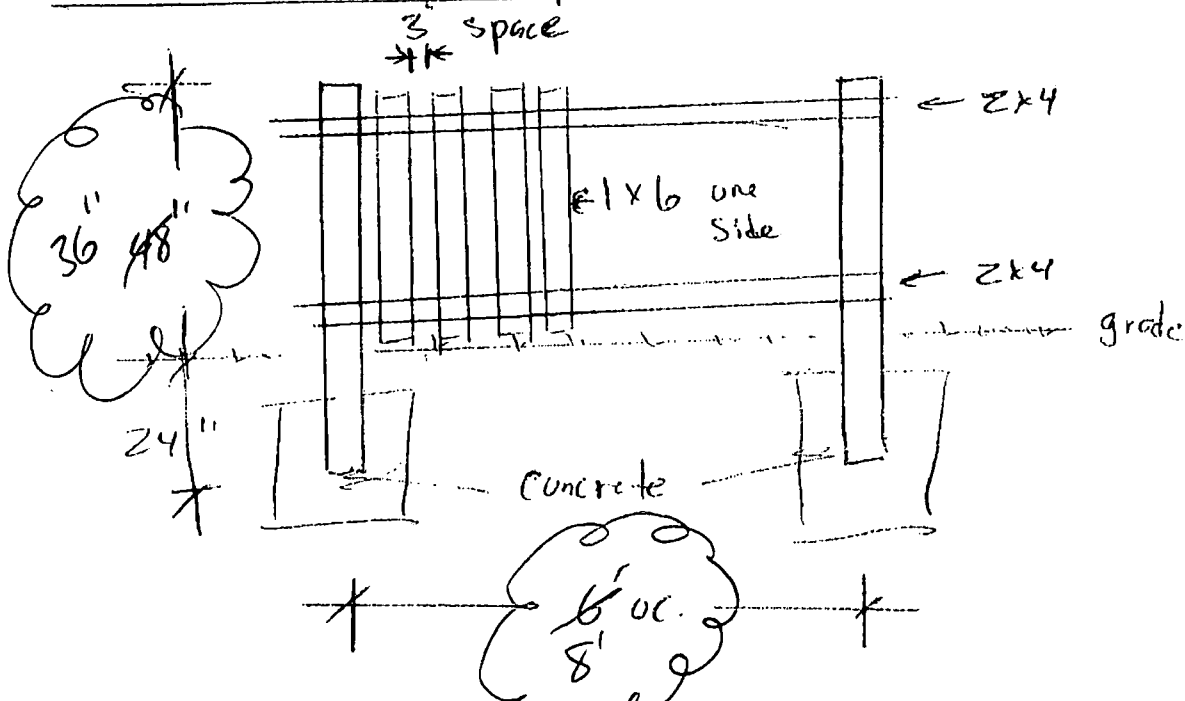


10114

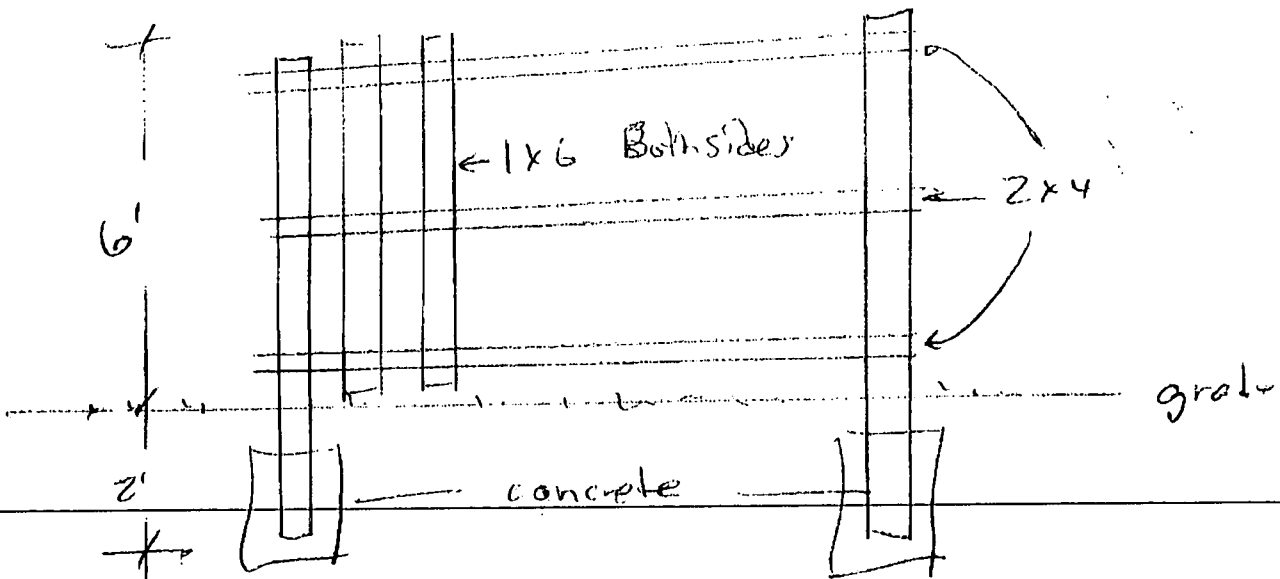
M. L. BARRETT
23 Lantana Lane, Stuart, Fl. 34996
772-285-1968 mlbarrettinc@bellsouth.net

23 Lantana Lane Fence

4' - vertical picket



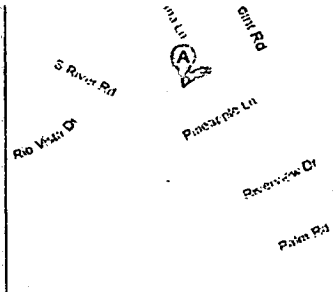
6' - Vertical Shadowbox



Ordered By:

NORTH AMERICAN TITLE COMPANY

Like Clockwork®



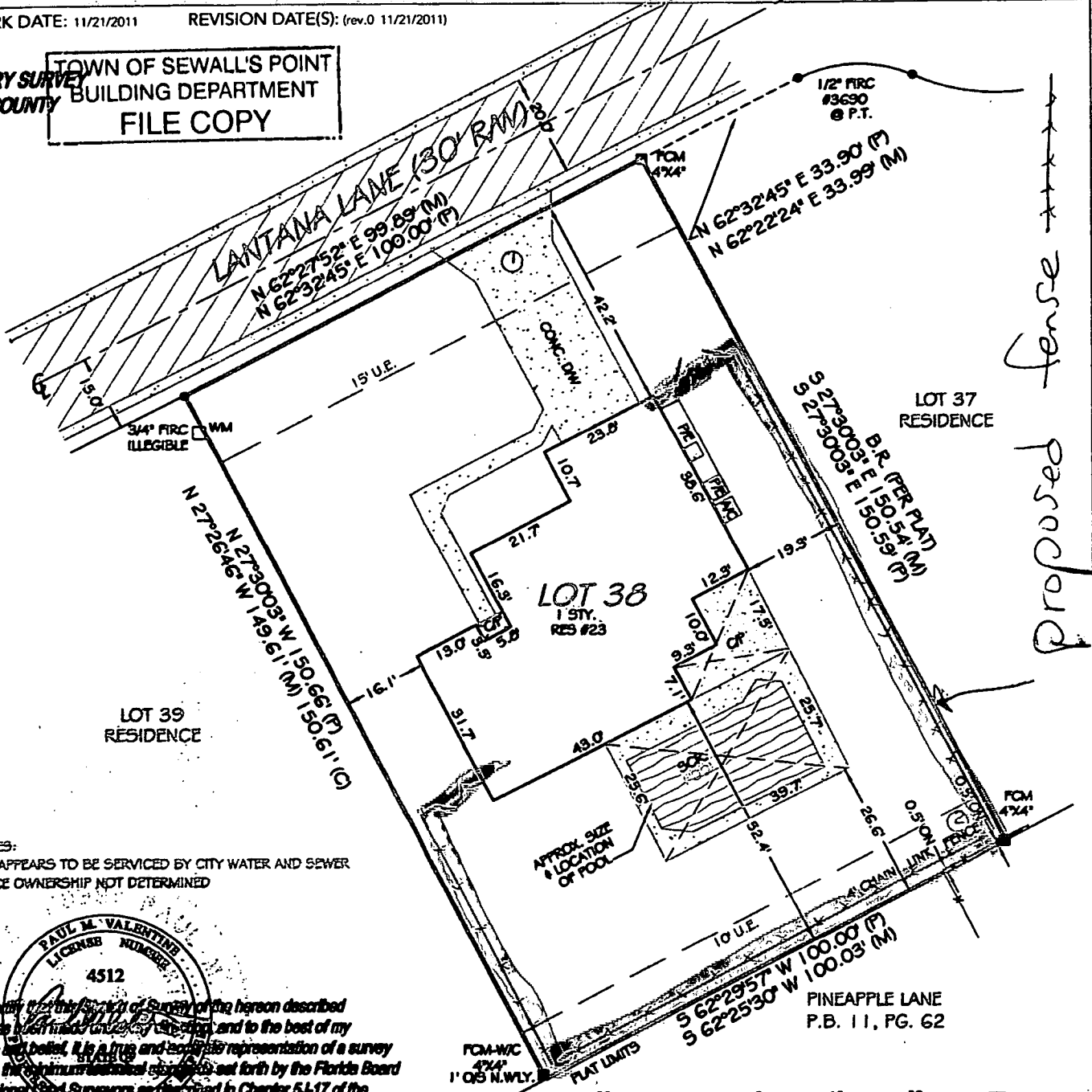
PROPERTY ADDRESS: 23 Lantana Lane SEWALL'S POINT, Florida 34996

SURVEY NUMBER: 1111.1300

FIELD WORK DATE: 11/21/2011 REVISION DATE(S): (rev.0 11/21/2011)

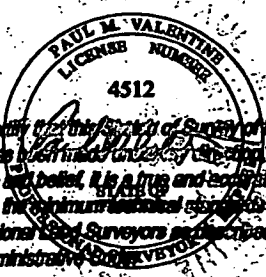
1111.1300
BOUNDARY SURVEY
MARTIN COUNTY

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



Proposed fence

NOTES:
LOT APPEARS TO BE SERVICED BY CITY WATER AND SEWER
FENCE OWNERSHIP NOT DETERMINED



I hereby certify that this is a true and correct copy of the survey of the person described property has been made in accordance with the laws and to the best of my knowledge and belief, it is a true and correct representation of a survey that meets the minimum standards set forth by the Florida Board of Professional Land Surveyors as described in Chapter 6J-17 of the Florida Administrative Code.

PAUL M. VALENTINE
State of Florida Professional Surveyor and Mapper
License No. 4512



GRAPHIC SCALE (In Feet)
1 inch = 30' ft.



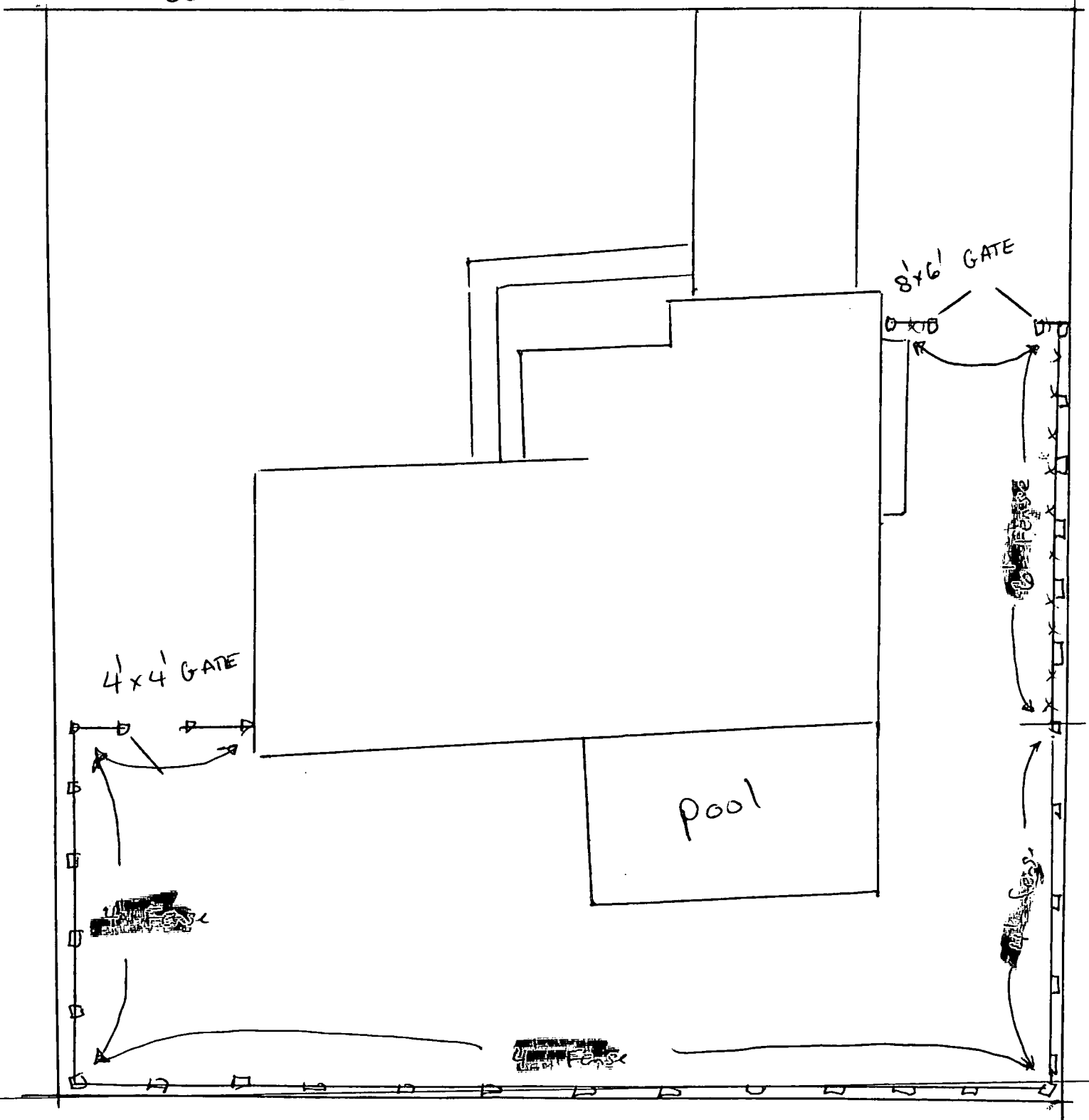
Use of This Survey for Purposes other than Intended, Without Written Verification, will be at the User's Sole Risk and Without Liability to the Surveyor.
Nothing hereon shall be Constructed to Give ANY Rights or Benefits to Anyone Other than those Certified.

FLOOD INFORMATION:
By performing a search with the local governmentality or www.

POINTS OF INTEREST
1) CONCRETE DRIVE

M L BARRETT INC
23 Lantana Lane, Stuart, Fl. 34996
772-285-1968 mlbarrettinc@bellsouth.net
CGC 037702

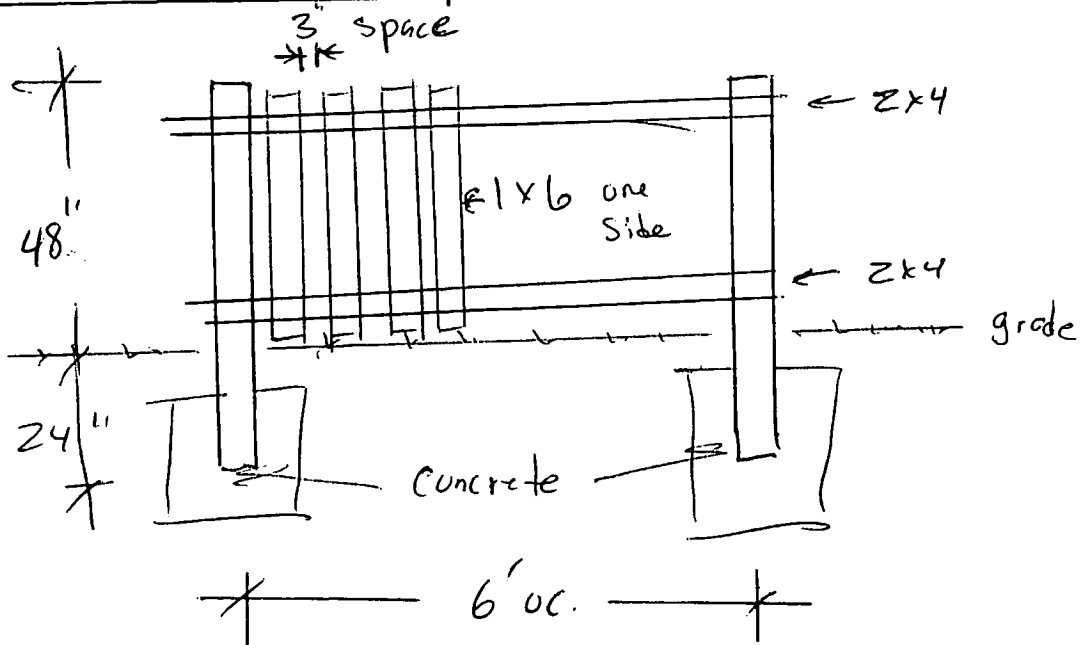
23 Lantana Lane



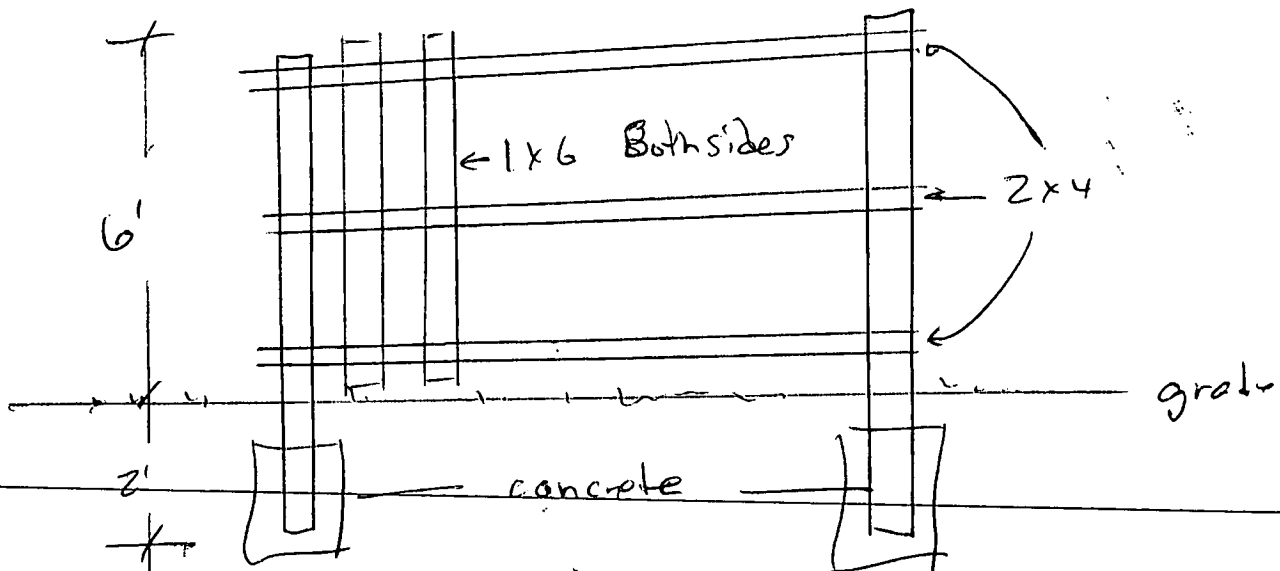
M L BARRETT
23 Lantana Lane, Stuart, Fl. 34996
772-285-1968 mlbarrettinc@bellsouth.net

23 Lantana Lane Fence

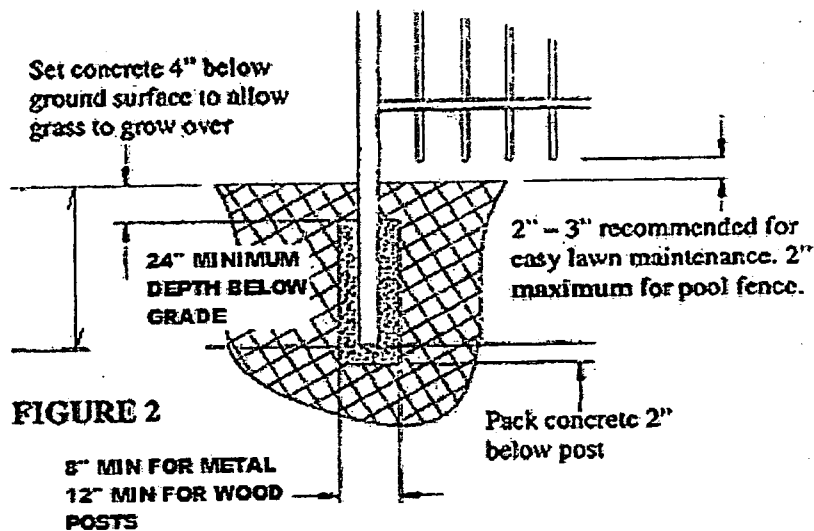
4' - vertical picket



6' - Vertical Shadowbox



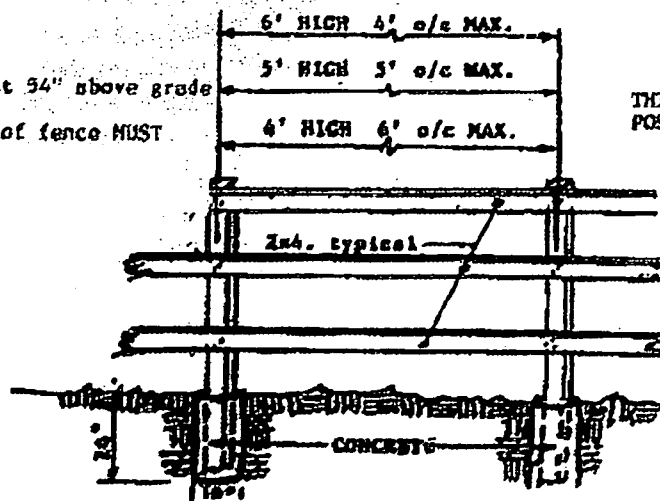
Typical Fence Footer



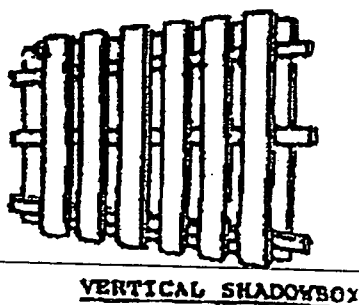
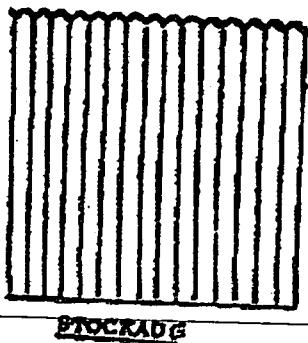
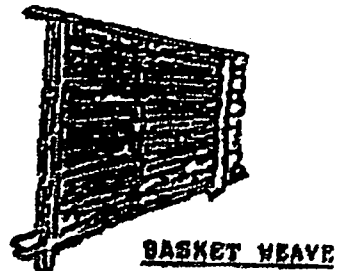
a. Vertical post of pressure treated 4" x 4" spaced as indicated below. Post shall be embedded a minimum of 24" into a concrete footing 12" in diameter. Horizontal framing shall consist of a minimum of 3 (three) horizontal rails of pressure treated 2" x 4" boards for 6 ft. and 5 ft. high fences and 2 (two) horizontal rails of pressure treated 2" x 4" boards for 4 ft. high fencing. Rails shall be fastened with 2 - 16D nails or 2 - 3" deck screws at each post. 3/4" thick boards (pickets) a maximum of 8" in width shall be fastened to each rail with 2 - 6D nails or 2 - 2" deck screws. All lumber shall be a minimum of #2 grade or better. All fasteners shall be corrosion resistant.

NOTE:

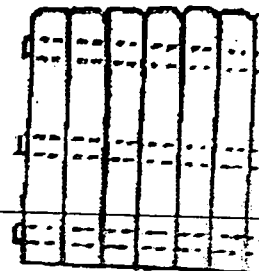
Gate latch at 94" above grade
Finish side of fence MUST FACE OUT.



THIS IS THE DETAIL FOR POST SPACING FOR WOOD FENCES.



BOARD ON BOARD



EASEMENT AGREEMENT

Date: 1/16/11

Gentlemen:
I propose to apply for a Town of Sewall's Point permit to erect a fence

In the (utility/drainage) easement on my property located at 23 Lantana Lane
Stuart, Florida 34996

LEGAL DESCRIPTION: LOT 38, BLOCK 6, SUBDIVISION RIO VISTA

(Give a brief description of dimensions and location from property lines)

S 62° 32' 45" W - South property line - 100 ft long

In the event you have no objection to this project, please complete this form and return to me at:

Fax: (772) 545-7914

Address: 7982 SE Highpoint Way
City: Hebe Sound State: FL Zip: 33455

I understand your company will not be responsible in any way for repair or replacement of any portion of
This fence and that any removal or replacement of such, necessary for your use of this
easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage)
easement by the construction or maintenance of this structure.

Signed: [Signature] Phone: 772-285-1968

THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY***

We agree to the proposed construction under the circumstances described above.

Company: ~~Comcast~~ Comcast
By: Tim Kenderfer
Title: SE Field Coordinator

**CALL
SUNSHINE
48 HOURS BEFORE
DIGGING
1-800-432-4770**

Company records indicate that a potential conflict DOES DOES NOT exist.

The conflict consists of: _____

UTILITY CONTACT LIST

- MARTIN COUNTY UTILITIES: PHIL KEATHLY 772-223-7977 JIM CHRIST 772-288-3034
- FLORIDA POWER AND LIGHT: BOB PIRSON, TANEISHA WHILBY 772-223-4253
- COMCAST: WAYNE INGRAM 772-692-9010 EXT. 29
- BELLSOUTH (AT&T): SHEILA 772-460-4407

EASEMENT AGREEMENT

Date: 11/18/11

Gentlemen:

I propose to apply for a Town of Sewall's Point permit to erect a fence

In the (utility/drainage) easement on my property located at 23 Lantana Lane
Stuart, Florida 34996

LEGAL DESCRIPTION: LOT 38, BLOCK 6, SUBDIVISION RIO VISTA

(Give a brief description of dimensions and location from property lines)

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Fax:
(772) 545-7914

Address: 7982 SE Highpoint Way

City: Hobe Sound State: FL Zip: 33455

I understand your company will not be responsible in any way for repair or replacement of any portion of This fence and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signed: [Signature] Phone: 772-285-1968

THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY***

We agree to the proposed construction under the circumstances described above.

Company: FPL
By: Rob Morris
Title: Project Manager

Company records indicate that a potential conflict DOES DOES NOT exist.

The conflict consists of: OK TO INSTALL

UTILITY CONTACT LIST

MARTIN COUNTY UTILITIES: PHIL KEATHLY 772-223-7977 JIM CHRIST 772-288-3034

FLORIDA POWER AND LIGHT: BOB FIRSON, TANEISHA WHILBY 772-223-4253

COMCAST: WAYNE INGRAM 772-692-9010 EXT. 29

BELLSOUTH (AT&T): SHEILA 772-460-4407

EASEMENT AGREEMENT

Date: 1/16/11

Gentlemen:
I propose to apply for a Town of Sewall's Point permit to erect a fence

In the (utility/drainage) easement on my property located at 23 Lantana Lane
Stuart, Florida 34996

LEGAL DESCRIPTION: LOT 38, BLOCK 6, SUBDIVISION RIO VISTA

(Give a brief description of dimensions and location from property lines)

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Fax: (772) 545-7914

Address: 7982 SE Highpoint Way

City: Hohe Sound State: FL Zip: 33455

I understand your company will not be responsible in any way for repair or replacement of any portion of
This fence and that any removal or replacement of such, necessary for your use of this
easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage)
easement by the construction or maintenance of this structure.

Signed: [Signature] Phone: 772-285-1968

THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY***

We agree to the proposed construction under the circumstances described above.

Company: AT+T

By: Linda Azika

Title: Engineering Assistant

Company records indicate that a potential conflict DOES DOES NOT exist.
AT&T Florida has buried facilities in this easement. These

The conflict consists of: facilities must be located prior to digging by calling
1-800-432-4770. Hand digging must be done within 2 feet of
facilities. Should we need access to our facilities in the
future, it will be at customer expense.

UTILITY CONTACT LIST

MARTIN COUNTY UTILITIES: PHIL KEATHLY 772-223-7977 JIM CHRIST 772-288-3034

FLORIDA POWER AND LIGHT: BOB PIRSON, TANEISHA WHILBY 772-223-4253

COMCAST: WAYNE INGRAM 772-692-9010 EXT. 29

BELLSOUTH (AT&T): SHEILA 772-460-4407

EASEMENT AGREEMENT

Date: 11/01/11

Gentlemen:

I propose to apply for a Town of Sewall's Point permit to erect a fence

In the (utility/drainage) easement on my property located at 23 Lantana Lane
Stuart, Florida 34996

LEGAL DESCRIPTION: LOT 38, BLOCK 6, SUBDIVISION RIO VISTA

(Give a brief description of dimensions and location from property lines)

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Fax: (772) 545-7914

Address: 7982 SE Highpoint Way

City: Hebe Sound State: FL Zip: 33455

I understand your company will not be responsible in any way for repair or replacement of any portion of This fence and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signed: [Signature] Phone: 772-285-1968

THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY***

We agree to the proposed construction under the circumstances described above.

Company: Martin County Utilities

By: Jim Christ

Title: Associate Planner

Company records indicate that a potential conflict DOES DOES NOT exist.

The conflict consists of: _____

UTILITY CONTACT LIST

MARTIN COUNTY UTILITIES: PHIL KEATHLY 772-223-7977 JIM CHRIST 772-288-3034

FLORIDA POWER AND LIGHT: BOB FIRSON, TANEISHA WHILBY 772-223-4253

COMCAST: WAYNE INGRAM 772-692-9010 EXT. 29

BELLSOUTH (AT&T): SHEILA 772-460-4407

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-13-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10139	Connolly 10 Ridgeland Dr Home Depot	sub siding	PASS	INSPECTOR <i>gf</i>
10027	Goudis 25 S River Rd Team Parks	slab plumbing Garage Guest House	PASS	INSPECTOR <i>gf</i>
10097	Buro 101 H. Sewall Way G.M. Construction	Roof Sheathing	PASS	INSPECTOR <i>gf</i>
10040	M L Barrett 23 Lantana Ln. ML Barrett Inc	Sub siding Sub siding	PASS	INSPECTOR <i>gf</i>
10083	WHITE 15 RIDGE LAND TUSCANY BAY	ROOF SHEATHING & sub siding	PASS	INSPECTOR <i>gf</i>
	23 LANTANA	TREE	OK	INSPECTOR
	23 LANTANA	TREE	OK	INSPECTOR
	ML Barrett Inc			INSPECTOR <i>gf</i>

10303

ENTRY SCREEN AND GARAGE
DOOR SCREEN



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10303	DATE ISSUED:	DECEMBER 12, 2012
SCOPE OF WORK:	ENTRY SCREEN & GARAGE DOOR SCREEN		
CONTRACTOR:	ML BARRETT		
PARCEL CONTROL NUMBER:	123841002-000-003807	SUBDIVISION	RIO VISTA - LOT 38
CONSTRUCTION ADDRESS:	23 LANTANA LN		
OWNER NAME:	BARRETT		
QUALIFIER:	MICHAEL BARRETT	CONTACT PHONE NUMBER:	285-1968

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

Date: 12-11-12 BUILDING PERMIT APPLICATION Permit Number: 10303

OWNER/LESSEE NAME: Michael Barrett Phone (Day) 772-285-1968 (Fax)
Job Site Address: 23 Lantana Lane City: Stuart State: FL Zip: 34996
Legal Description: RIO Vista Lot 38 Parcel Control Number: 12384/062-000-003807
Fee Simple Holder Name: N/A Address:
City: State: Zip: Telephone:

*SCOPE OF WORK (PLEASE BE SPECIFIC): Front screen door - Garage screen door

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES NO
Has a Zoning Variance ever been granted on this property?
YES (YEAR) NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 2000
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: MC Barrett Inc Phone: 772-285-1968 Fax:
Qualifiers name: Michael Barrett Street: 23 Lantana Lane City: Stuart State: FL Zip: 34996

State License Number: CGC 037702 OR: Municipality: License Number:
LOCAL CONTACT: Michael Barrett Phone Number: 772-285-1968

DESIGN PROFESSIONAL: N/A
Street: City: State: Zip: Phone Number:
RECEIVED DEC 11 2012

AREAS SQUARE FOOTAGE: Living: Garage: Covered Porches: Enclosed Storage:
Carport: Total under Roof Elevated Deck: Enclosed area below BFE*:
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

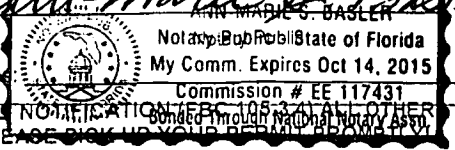
WARNINGS TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
X
State of Florida, County of:
On This the day of 2012
by who is personally
known to me or produced
As identification.
Notary Public
My Commission Expires:

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
X
State of Florida, County of: Martin
On This the 11th day of December 2012
by Michael H. Barrett who is personally
known to me or produced 5630-552-176-0 PHD
As identification.
Notary Public State of Florida
My Comm. Expires Oct 14, 2015
Commission # EE 117431



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION FBC 105.3.2 (ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 12/12/2012 8:43:26 AM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00380-7	27551	23 LANTANA LN, SEWALL'S POINT	\$218,460	12/8/2012

Owner Information

Owner(Current)	BARRETT MICHAEL COUCHMAN LAURA
Owner/Mail Address	23 LANTANA LN STUART FL 34996
Sale Date	11/28/2011
Document Book/Page	2549 0086
Document No.	2305278
Sale Price	230000

Location/Description

Account #	27551	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 38
Parcel Address	23 LANTANA LN, SEWALL'S POINT		
Acres	.3470		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 RIO VISTA DRY

Assessment Information

Market Land Value	\$120,000
Market Improvement Value	\$98,460
Market Total Value	\$218,460

M L Barrett Inc.
23 Lantana Lane, Stuart, Fl. 34996
mlbarrettinc@bellsouth.net 772-285-1968
General Contractor CGC 037702

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Scope of work

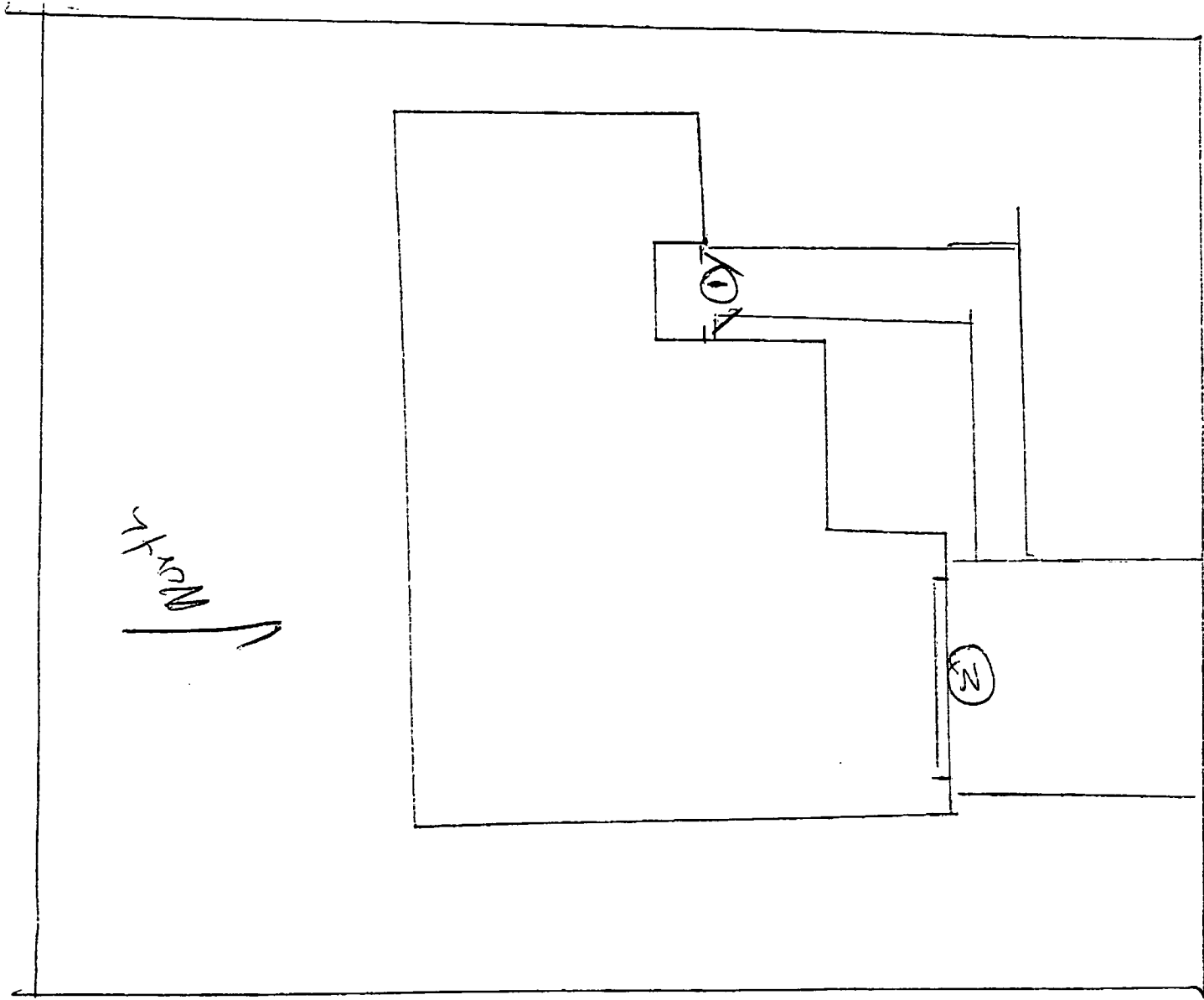
Date 12-11-12

23 Lantana Lane

- ① Install Entry screen door (Suntech)
to existing ^{" "} 2x2 Aluminum Frame at
Front entry way. ^{" "} 2x2 Aluminum bucks
installed w/ #10 x ~~2~~⁴" steel screws @ 24" o.c.

- ② Install Garage screen door (PGT)
to existing garage door Jamb - Header
and floor w/ #10 x 2" embedment into
structure min. 1 1/2"

Handwritten signature or initials.



23 Lantana Lane



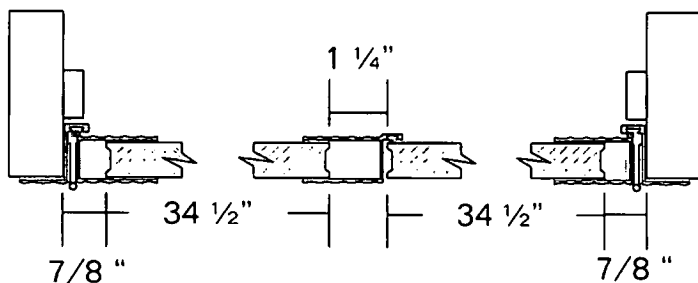
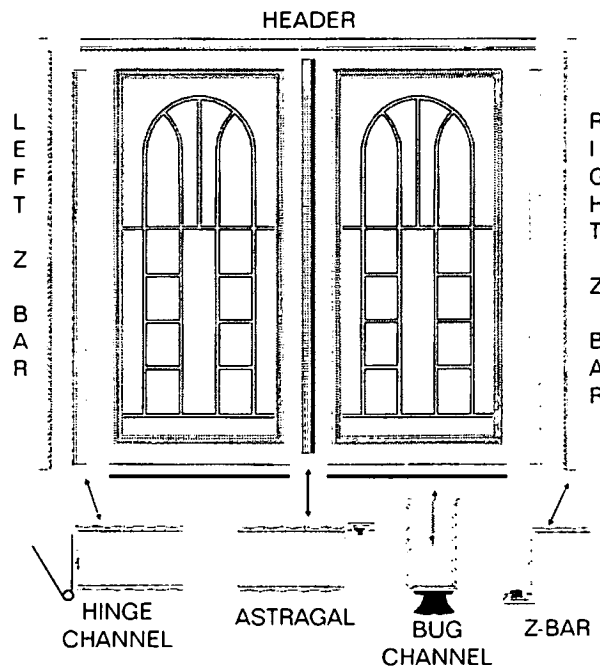
Double Screen Door Installation Instructions

Tools Needed

- Measuring Tape
- Hack Saw or Chop Saw
- Cordless Drill / Screw Gun
- # 2 Philips screw driver bit
- 1/4" drill bit
- 1/8" drill bit

Components

- 2 Screen Doors
- 2 Z-Bars, Left & Right
- 1 Header Z-Bar
- 2 Piano Hinge & Channels
- 1 Astragal with 2 Flush Bolts
- 2 Bug Channels
- 36 # 8 x 1" Philips self tapping screws
- 36 # 8 x 1/2" Philips self tapping screws
- Hydraulic closure tube & Handel kit



For a double door set up we deduct 3" from the daylight opening.

A 72" opening = each door 34 1/2" Tip - Tip
Add your 2 doors plus 3" this should be your daylight opening

$$34 \frac{1}{2} + 34 \frac{1}{2} = 69$$

$$7/8 + 1 \frac{1}{4} + 7/8 = 3 \quad 69 + 3 = 72$$

1) **Z - Bars:** the left & right z-bars are notched for ease of installation. Measure the inside of each side of the opening, then mark the bottom of the z-bars measuring from where notched (fig.1) and cut. Fasten in place with two (2) # 8 x 1" screws in each for the present. (you may need to adjust them later.)

2) **Header:** measure from z-bar to z-bar, cut the header & then fasten in place.

3) **Hinge:** to install measure from the header to the floor, deduct 2 1/2", then cut the hinge off at the bottom. (2 1/2" will allow the bug channel to fit up under the hinge Fig. 2)

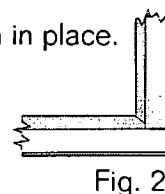


Fig. 2

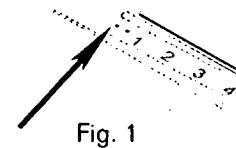


Fig. 1

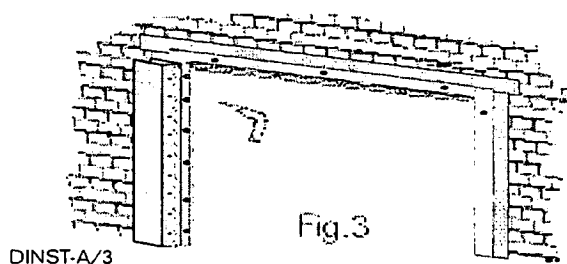


Fig.3

DINST-A/3

Fasten the hinge 1/8" - 3/16" down from the header approximately 3/16" from the felt with 2 #8 x 1" Use the slotted holes at the top and bottom, then adjust the hinge to close against the felt without binding. Fasten off rest of hinge screws. (fig.3)

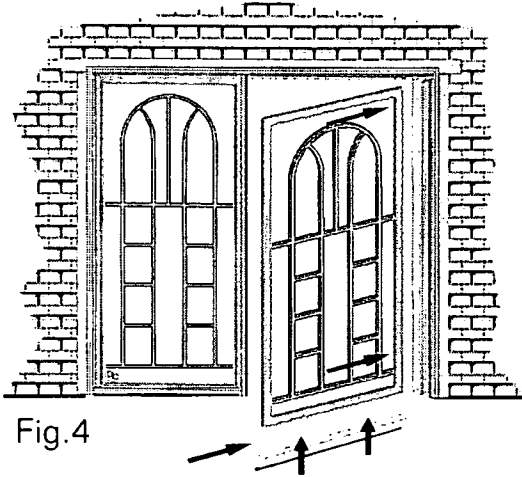


Fig. 4

4) **Doors:** fit into the hinge channels (Screen to inside on all Suntech Doors) (fig.4) position doors to give a 1/8" - 3/16" reveal along header and a 1 1/4" space between doors. Screw a #8 x 1/2" screw near the top and bottom of the hinge channels. Recheck the reveal (it may be necessary to adjust z-bar, header or door if the door frame of the house is out-of-square.)

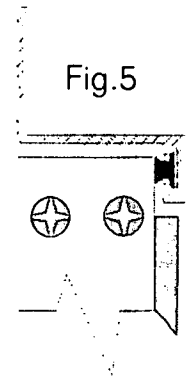


Fig. 5

5) **Astragal:** measure from header to floor deduct 1/8" then cut off bottom. Notch felt lip at top (Fig 5) of astragal to fit under header. Install flush bolts then fit astragal onto stationary door, adjust to give an even reveal between active door & astragal. Fasten off screws 5 # 8 x 1/2" on each side of astragal. With door in closed position move flush bolt lever & mark where to drill 1/4" hole to accept flush bolt pin. Drill hole check to make sure flush bolt moves without binding.

5) **Bug Channels:** with the doors closed measure from the edge of the active door to the z-bar & from astragal to z-bar on stationary door. Cut the bug channels, and then slide onto the bottom of the doors. (fig.3) lift up to meet the hinge channel and adjust other end. Fasten to doors with 3 #8 x 1/2" screws on both sides of doors.

6) **Hardware: Latch** locate it where it will not interfere with the door knob, dead-bolt, spreader bar, etc. Using template (fig.4) drill 3 1/4" holes thru door frame on the center rib, assemble latch (fig.5) & mount on door. The latch will latch onto the astragal.

Hydraulic closure tube: locate a position on the spreader bar, kick bar or door frame to mount closure tube. Line up jamb bracket with open side towards z-bar on house jamb, fasten with screws provided. (fig.6) place hold open clip on shaft against lugs to set closure with correct tension for installation, insert shaft into jamb bracket with pin. Attach door bracket on other end, position on door & screw bracket to door. Release hold open clip. Check for closing speed & rotate barrel to adjust if necessary.

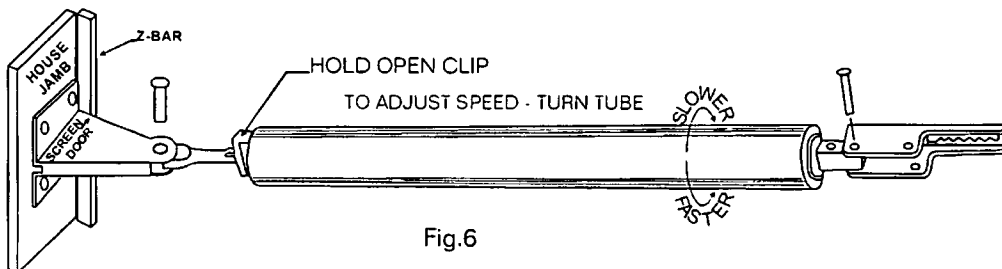


Fig. 6

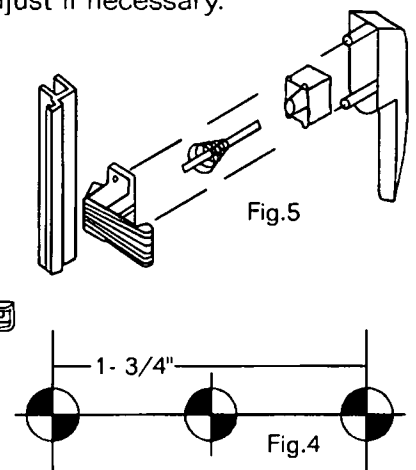


Fig. 5

Fig. 4



Visibly Better.®

INSTALLATION INSTRUCTIONS VERTICAL FOUR-TRACK INSIDE MOUNT

Step One

Set unit into opening dry (uncaulked). DO NOT REMOVE INSTALLATION CLIP IN THE UNIT. Be sure the unit fits properly and that the lip is flush all the way around.

Remove the unit and carefully caulk the existing opening. Proper caulking is one of the most important elements of installation. Pay special attention to the joints, where the horizontal member meets the vertical.

Main frame should be as square as possible within the opening. Make sure vents are all the way down. Place unit in opening again and place a screw in each corner (A).

This unit has been shipped with metal clips and plastic spacers positioned to assist you during installation. On the top right and left sides of the top vent you will see thin plastic spacers adjacent to the vent latches and main jamb. The purpose of these spacers is to maintain proper vent clearance during installation.

Place screw in left main jamb adjacent to the top of the bottom vent (B). Place another screw in right main jamb (C). Using a screwdriver, remove stainless steel clips, located at (B) and (C). DO NOT REMOVE TOP CLIPS.

Step Two

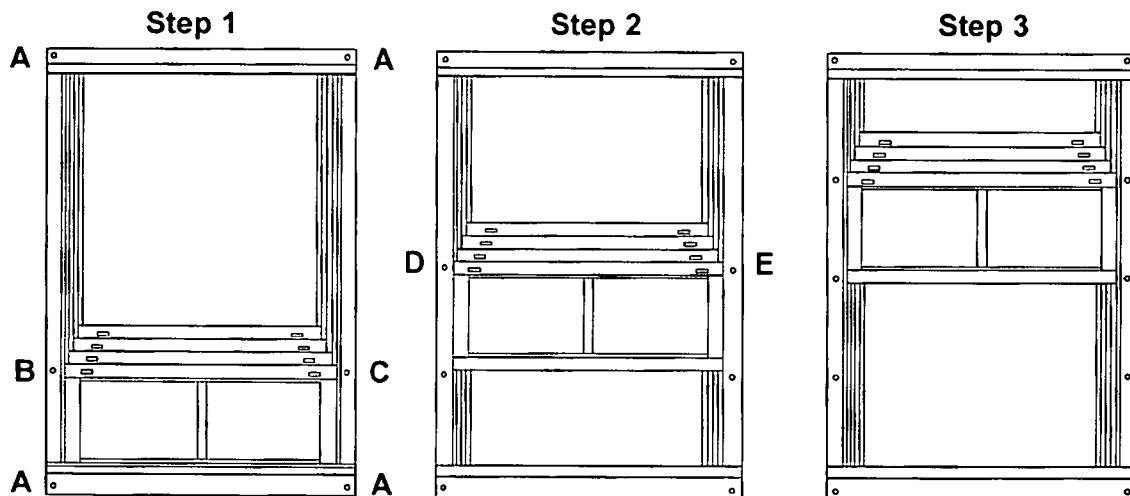
Next, raise all vents, leaving the spacers in place until the lower edge of the bottom vent is even with the top screws you just installed (B & C). Making sure spacers are snug, install screws on each side of the frame at the top of the vent (D & E).

Step Three

Repeat this procedure until you have completed the installation by installing the top screws. (Maximum three screws in each jamb.)

Step Four

When finished, remove and discard the plastic spacers. Install the balance of the screws in the main header and sill.



INSIDE MOUNT



Visibly Better.®

EZE-BREEZE VERTICAL FOUR-TRACK

Since the screen on a screen enclosure is permanently affixed to the outside of the room, the vents of other vinyl units must be removed to enable cleaning. Due to the "step down" design of the Eze-Breeze vertical four-track units, the vents can be easily tilted in for cleaning.



The all aluminum extruded main frame guarantees strength and the fully weatherstripped, interlocking vents help to reduce air passage and prevent rattling.

A vertical four-track frame is also available with three vents. This is generally used when the width of the opening exceeds the height. The vertical three vent is the same price as the four vent vertical four-track.

All Eze-Breeze vertical four-tracks will have a vertical spreader bar. (Exception: On units less than 30" in width, the spreader bar can be left out if customer requests.)

VINYL GLAZING

The vinyl glazing used in Eze-Breeze Sliding Panels is lighter in weight and more affordable than glass. The tough, 10-mil vinyl offers a panoramic view, while keeping wind and weather out. If accidentally distorted, the vinyl will return to its original shape within minutes. Clean with mild dishwashing detergent and a clear water rinse. For best results, we recommend a final cleaning with PGT® Vinyl Cleaner and Preservative. Homeowners should remove vents if winds exceed 65 mph.

Like the screen enclosure itself, vinyl enclosures are not hurricane proof and in the event of high winds, vents should be removed or raised to prevent damage. Floor covering should be weather resistant.

Notice: Vinyl has inherent characteristics such as bubbles, blurs and hairline scratches. These are to be expected and not considered defects.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **2/7 - 14** Page of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10590	Roberson 12 N Redgemen Country Const.	Final	Pass	Steve 320-8072 CLOSE INSPECTOR <i>[Signature]</i>
40303	Barrett 73 Lantana Lane Barrett	Final	Pass	472-285-1968 INSPECTOR <i>[Signature]</i>
10762	Rusano 16 E. Hill Pt Drumworks	SLAB	CANCEL See Monday	INSPECTOR
107				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR

TREE

REMOVAL REPLACEMENT,
RELOCATION

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

~~TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT~~

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Michael Barrett Address 23 Lantana Lane Phone 772-285-1968

Contractor ML Barrett Inc Address 23 Lantana Lane Phone 285-1968

No. of Trees: REMOVE 1 Species: Carrut wood

No. of Trees: RELOCATE 1 Species: chinese Fan palm

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

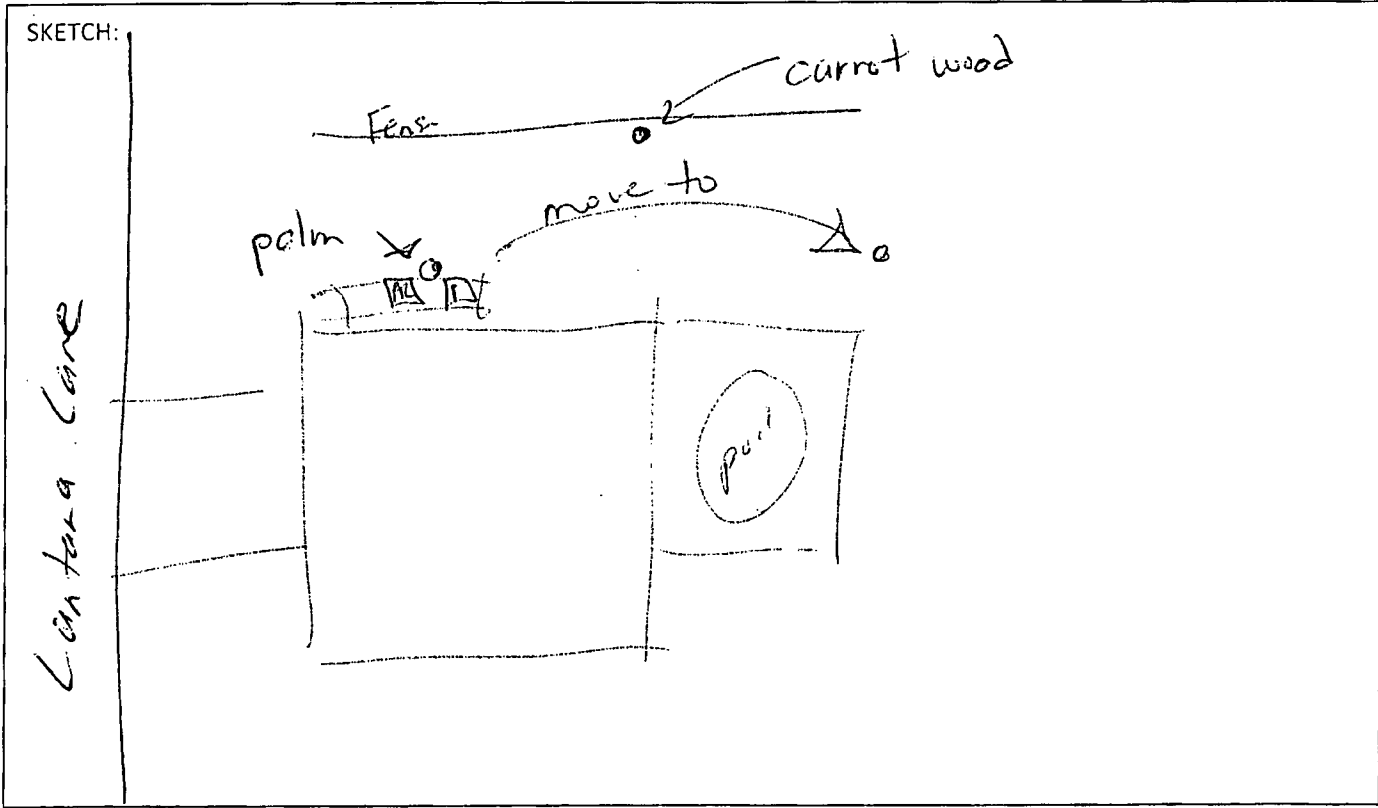
ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) prohibited species

Signature of Property Owner [Signature] Date 7-7-12

Approved by Building Inspector: [Signature] Date 7.13.12 Fee: N/A

NOTES: _____





TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



BUILDING DEPARTMENT RECORDS REQUEST FORM

Name of Requestor: Laurel Couchman Date of Request: 10/28/11

Telephone/Fax: 772 215 3147 E-mail _____

Subdivision: _____ Permit Number(s) _____

Address of Building(s) 23 Lantana Ln Street FL

Records/Documents Requested (Be specific) Blue Prints
Use back of form if necessary

Reproduction of Architectural Plans and Drawings under Seal:

We are required to advise individuals seeking to copy architectural records under seal of the limitations of the federal copyright law and the consequences of violating its provisions:

Federal Copyright laws vests the owner of a copyright, subject to certain limitations, the exclusive right to do or authorize, among other things, the reproduction of the copyrighted work in copies and the distribution of the copyrighted work to the public by sale or transfer of ownership. The unauthorized reproduction in part or in whole of any copyrighted work in copies constitutes an infringement of such copyright. Copyright infringement is a tort and all persons concerned therein are jointly and severally liable as joint tort-feasors.

Removal of Records from Town Hall, Indemnification:

In consideration of being permitted to remove these public records from Town Hall, I hereby agree to defend, hold harmless and indemnify The Town of Sewall's Point, its officers, employees, and agents, individually or in an official capacity for the Town from and against any and all liability on account of any damages, omissions, commissions, actions, causes of action, claims, suits, judgments and damages accruing, including court costs and attorney's fees at all levels of trial and appeal, that may arise from the undersigned's removal of these public records from Town Hall. I further agree that all records removed from Town Hall will be returned in the same condition they were received and on the date specified below.

In the further event the undersigned shall fail to so defend and/or indemnify and save harmless, then in such instance the Indemnities shall have full rights to defend, pay or settle any claim on their behalf without notice to undersigned and with full rights to recourse against the undersigned or all fees, costs, expenses and payments made or agreed to be paid to discharge said claim.

DEPARTMENT USE ONLY:

Total copies @ _____ / copy.....\$ _____

Total minutes (after first 15 minutes) _____ spent on retrieval @ _____ / minute.....\$ _____

Miscellaneous fees or charges (describe): _____ \$ _____

Returned *BCB* Total fees: \$ _____
10/28/11

Condition of Records: Poor Fair Good Excellent Total Pages _____ Clerk (Int.) _____

The undersigned agrees to return these records by: _____

Signature: _____ Print Name: _____ Date: _____

Address _____ Phone: _____

11092

DRIVEWAY

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 11092Date: 11-13-14OWNER/LESSEE NAME: Michael Barrett Phone (Day) 285-1968 (Fax) _____Job Site Address: 23 Lantana Lane City: Stuart State: FL Zip: 34996Legal Description: RIO VISTA Lot 38 Parcel Control Number: 123841002-000-003807Fee Simple Holder Name: N/A Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Install Paver Driveway - (Irrigation - Sod) rework existing to be**WILL OWNER BE THE CONTRACTOR?**
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X**Has a Zoning Variance ever been granted on this property?**
YES _____ (YEAR) _____ NO X
(Must include a copy of all variance approvals with application)**COST AND VALUES:** (Required on ALL permit applications)
Estimated Value of Improvements: \$ 72200
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATIONConstruction Company: ML Barrett Inc Phone: 285-1968 Fax: _____Qualifiers name: Michael Barrett Street: 23 Lantana Lane City: Stuart State: FL Zip: 34996State License Number: CGC 037702 OR: Municipality: _____ License Number: _____LOCAL CONTACT: Mike Barrett Phone Number: 285-1968 (772)DESIGN PROFESSIONAL: N/A Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof N/A Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

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OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
X _____
State of Florida, County of: _____
On This the _____ day of _____, 20____
by _____ who is personally
known to me or produced _____
As identification. _____
Notary Public
My Commission Expires: _____CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
X _____
State of Florida, County of: _____
On This the _____ day of _____, 20____
by _____ who is personally
known to me or produced _____
As identification. _____
Notary Public
My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

2014-2015 **MARTIN COUNTY ORIGINAL**
BUSINESS TAX RECEIPT
 HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR
 3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994
 (772) 288-5604

ACCOUNT 2008-513-1187 CERT
 PHONE (772)285-1968 SIC NO 236116
 LOCATION: 23 LANTANA LN STU



CHARACTER COUNTS IN MARTIN COUNTY

PREV YR.	\$.00	LIC. FEE	\$ 26.25
	\$.00	PENALTY	\$.00
	\$.00	COL. FEE	\$.00
	\$.00	TRANSFER	\$.00
TOTAL		26.25	

BARRETT, MICHAEL LANE
M L BARRETT, INC.
 23 LANTANA LN
 STUART, FL 34996

HAS SATISFIED REQUIREMENTS TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
GENERAL CONTRACTOR
 OF
 AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

29 DAY OF AUGUST 2014
 AND ENDING SEPTEMBER 30, 2015

11 2013 44039.0001 26.25 PAID

RICK SCOTT, GOVERNOR

KEN LAWSON, SECRETARY

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

LICENSE NUMBER	
CGC037702	

The **GENERAL CONTRACTOR**
 Named below IS **CERTIFIED**
 Under the provisions of Chapter 489 FS.
 Expiration date: **AUG 31, 2016**



BARRETT, MICHAEL LANE
M L BARRETT, INC.
 23 LANTANA LANE
 STUART FL 34996



ISSUED: 06/08/2014

DISPLAY AS REQUIRED BY LAW

SEQ # L1406080001317

JEFF ATWATER
 CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

**** CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW ****

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 1/18/2014 EXPIRATION DATE: 1/18/2016

PERSON: BARRETT MICHAEL L

FEIN: 650826071

BUSINESS NAME AND ADDRESS:

ML BARRETT INC

23 LANTANA LANE

STUART FL 34996

SCOPES OF BUSINESS OR TRADE:

LICENSED GENERAL



CERTIFICATE OF LIABILITY INSURANCE

MLBAR-1 OP ID: JH

DATE (MM/DD/YYYY)
11/13/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Stuart Insurance, Inc. 3070 SW Mapp Palm City, FL 34990 Cabot W. Lord, CIC.	Phone: 772-286-4334 Fax: 772-286-9389	CONTACT NAME: _____ PHONE (A/C, No, Ext): _____ E-MAIL ADDRESS: _____	FAX (A/C, No): _____
	INSURED M L Barrett, Inc. Attn: Mike Barrett 7982 SE Highpoint Way Hobe Sound, FL 33455		INSURER(S) AFFORDING COVERAGE INSURER A : Southern Owners NAIC # 10190 INSURER B : _____ INSURER C : _____ INSURER D : _____ INSURER E : _____ INSURER F : _____

COVERAGES CERTIFICATE NUMBER: _____ REVISION NUMBER: _____

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR _____ _____ GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC			72713377	10/22/2014	10/22/2015	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OF AGG \$ 1,000,000 _____
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ _____ BODILY INJURY (Per person) \$ _____ BODILY INJURY (Per accident) \$ _____ PROPERTY DAMAGE (Per accident) \$ _____ _____
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED _____ RETENTION \$ _____						EACH OCCURRENCE \$ _____ AGGREGATE \$ _____ _____
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y/N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A				WC STATUTORY LIMITS _____ OTHER _____ E.L. EACH ACCIDENT \$ _____ E.L. DISEASE - EA EMPLOYEE \$ _____ E.L. DISEASE - POLICY LIMIT \$ _____

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
CARPENTRY NOC

CERTIFICATE HOLDER TOWNS-1 Town of Sewalls Point 1 S Sewalls Point Road Stuart, FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
---	--



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	11092		
ADDRESS:	23 Lantana Lane		
DATE ISSUED:	11/17/2014	SCOPE OF WORK:	Install Paver Driveway
SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)			\$

M L BARRETT INC
 23 LANTANA LN
 STUART, FL 34996-6406

3214
 63-4/630 FL
 24474

DATE 11-18-14

PAY TO THE ORDER OF Town of Sewall's Point \$ 109⁰⁰

One hundred nine ⁰⁰/₁₀₀ DOLLARS

Bank of America
 ACH R/T 063100277

FOR 23 Lantana permit

[Signature]

Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:	\$		
TOTAL BUILDING PERMIT FEE:	\$	\$	-

ACCESSORY PERMIT	Declared Value:	\$	\$ 2,200.00
Total number of inspections:	@ \$ 100.00 per insp. # insp	1	\$ 100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	\$ 5.00
TOTAL ACCESSORY PERMIT FEE:		\$	\$ 109.00



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

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SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
---	--	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 2,200.00
Total number of inspections: @ \$ 100.00 per insp. # insp		\$	\$ 100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	\$ 5.00

TOTAL ACCESSORY PERMIT FEE:		\$	\$ 109.00
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Ordered By:



PROPERTY ADDRESS: 23 Lantana Lane SEWALL'S POINT, Florida 34996

SURVEY NUMBER: 1111.1300

FIELD WORK DATE: 11/21/2011 REVISION DATE(S): (rev.0 11/21/2011)

1111.1300
BOUNDARY SURVEY
MARTIN COUNTY



Proposed Paver Drive 12x100'
Irrigation/Sod Complete Lot

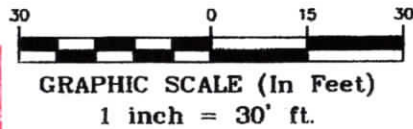
NOTES:
LOT APPEARS TO BE SERVICED BY CITY WATER AND SEWER
FENCE OWNERSHIP NOT DETERMINED



I hereby certify that the *contents* of this survey of the hereon described property has been made *correctly* and to the best of my knowledge and belief, it is a true and accurate representation of a survey that meets the minimum technical standards set forth by the Florida Board of Professional Surveyors as described in Chapter 5J-17 of the Florida Administrative Code.

PAUL M. VALENTINE
State of Florida Professional Surveyor and Mapper
License No. 4512

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



Use of This Survey for Purposes other than Intended, Without Written Verification, will be at the User's Sole Risk and Without Liability to the Surveyor.
Nothing hereon shall be Construed to Give ANY Rights or Benefits to Anyone Other than those Certified.

FLOOD INFORMATION:

POINTS OF INTEREST



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

**RIGHT OF WAY DRIVEWAY COVENANT
 FOR MATERIAL OTHER THAN BROOM FINISHED CONCRETE OR ASPHALT**

STATE OF FLORIDA PERMIT NUMBER _____
 COUNTY OF MARTIN

THIS COVENANT, made by Michael Barrett and legal owners

(hereinafter "The Owners") of the property described as: Lot 38, Block _____, according to the Plat of Rio Vista Subdiv as recorded in Plat Book 6, Page 95, of the Public Records of Martin County, Florida, also known as 23 Lantana Lane, Stuart FL, 34996.
 (Street address)

WHEREAS, the Owners have applied for a permit to construct a driveway of Paver Brick construction, a portion of which will be constructed in the Town right-of-way, and such construction will not be of asphalt or regular broom finish concrete, typical for driveways in right-of-way, and such construction will not be of asphalt or regular broom finish concrete, typical for driveways in right-of-way authorized by the Town of Sewall's Point or of driveway materials which the Town constructs, repairs, or replaces when it performs activities in its rights-of ways; and

WHEREAS, the Owners desire to construct the driveway and wish to recognize that the Town of Sewall's Point shall have no responsibility to replace the driveway if it performs any activity on the right-of-way.

NOW THEREFORE, in return for the benefits that will accrue from the construction of their driveway, and in accordance with the criteria for permits for constructing driveways other than those types aforementioned through Land Covenant right-of-way, The Owners of the above described property hereby agree and covenant that the Town of Sewall's Point shall not bear any responsibility for replacement of such driveway located within the right-of-way on this said property, should the need arise.

The Owners agree and covenant that the cost of replacement of the driveway, if required, will be borne by the Owners, their heirs, assigns and successors. This Covenant shall run with the land.

[Signature]
 OWNER SIGNATURE

SWORN TO AND SUBSCRIBED BEFORE ME THIS 13 DAY OF Nov 2014

BY Michael Barrett

PERSONALLY KNOWN _____ OR PRODUCED ID _____

TYPE OF ID ✓ FDL
Sharyl H. McCreary
 NOTARY SIGNATURE



SHARYL H. MCCREARY
 MY COMMISSION # EE 859604
 EXPIRES: April 19, 2017
 Bonded Thru Budget Notary Services

THIS COVENANT MUST BE RECORDED AT THE CLERK'S OFFICE AND THE RECORDED COPY SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO ISSUING CERTIFICATE OF OCCUPANCY OR A FINAL DRIVEWAY INSPECTION.

STATE OF FLORIDA
 MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE.

CAROLYN TIMMANN, CLERK
 BY: [Signature] P.C.
 DATE: 11-13-2014



INSTR # 2485600 DR BK 2751 PG 1592 RECD 11/13/2014 03:45:38 PM
 (1 pgs)
 CAROLYN TIMMANN MARTIN COUNTY CLERK
 RECD DDC \$0.00, MITG DDC \$0.00, INTANGIBLE \$0.00

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 11/17/2014 3:16:58 PM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-002-000-00380-7	27551	23 LANTANA LN, SEWALL'S POINT	\$309,880	11/15/2014

Owner Information

Owner(Current)	BARRETT MICHAEL COUCHMAN LAUREL
Owner/Mail Address	23 LANTANA LN STUART FL 34996
Sale Date	11/28/2011
Document Book/Page	2549 0086
Document No.	2305278
Sale Price	230000

Location/Description

Account #	27551	Map Page No.	SP-04
Tax District	2200	Legal Description	RIO VISTA S/D LOT 38
Parcel Address	23 LANTANA LN, SEWALL'S POINT		
Acres	.3470		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120250 Rio Vista DRY

Assessment Information

Market Land Value	\$160,000
Market Improvement Value	\$149,880
Market Total Value	\$309,880

JAMES W. CAMPO, CFP
Mayor

PAUL LUGER
Vice Mayor

VINCENT N. BARILE
Commissioner

FRANK FENDER
Commissioner

DAN MORRIS
Commissioner

TOWN OF SEWALL'S POINT



PAMELA MAC'KIE WALKER
Town Manager

LAKISHA Q. BURCH, CMC
Town Clerk

TINA CIECHANOWSKI
Chief of Police

JOHN ADAMS
Building & Facilities Director

February 2, 2017

NOTICE OF EXPIRED PERMIT

This correspondence is intended as a follow-up to a building permit and specific improvements associated with 23 Lantana Lane, more specifically permit #11092 issued on November 17, 2014 for Paver Driveway.

Town records indicate that at least 180 days have passed without a successful recorded inspection. Your permit is now expired without benefit of a required final inspection.

Town of Sewall's Point Code of Ordinances section 50-94 states: (1) Failure to obtain an approved inspection within 180 days of the previous approved inspection shall constitute suspension or abandonment. (2) If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and the work required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

In order to avoid further administrative action please arrange to schedule a final inspection of this permit by the Town of Sewall's Point Building Department no later than ten days from date of this letter. Your permit will need to be renewed and is subject to any applicable renewal or inspection fees.

Failure to renew your permit and receive a final inspection will result in your permit becoming null and void, and the Town will report this to the property owner and the appropriate agencies as required. This will also constitute justification for denying any future permits requested by you, or your company.

Please contact me with any questions.

With Best Regards,

John R. Adams, C.B.O.
Building Official

One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: pwalker@sewallspoint.org
Police Department (772) 781-3378 • Fax (772) 286-7669 • E-Mail: sppd@sewallspoint.org



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	11092	DATE ISSUED:	November 17, 2014
SCOPE OF WORK:	Install Paver Driveway		
CONTRACTOR:	ML Barrett, Inc		
PARCEL CONTROL NUMBER:	12-38-41-002-000-00380-7	SUBDIVISION:	Rio Vista S/D Lot 38
CONSTRUCTION ADDRESS:	23 Lantana Lane		
OWNER NAME:	Barrett		
QUALIFIER:	Michael Barrett	CONTACT PHONE NUMBER:	285-1968

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE CALL 287-2455 - 8:00AM TO 4:00PM

INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING _____
 UNDERGROUND MECHANICAL _____
 STEM-WALL FOOTING _____
 SLAB _____
 ROOF SHEATHING _____
 TIE DOWN /TRUSS ENG _____
 WINDOW/DOOR BUCKS _____
 ROOF DRY-IN/METAL _____
 PLUMBING ROUGH-IN _____
 MECHANICAL ROUGH-IN _____
 FRAMING _____
 FINAL PLUMBING _____
 FINAL MECHANICAL _____
 FINAL ROOF _____

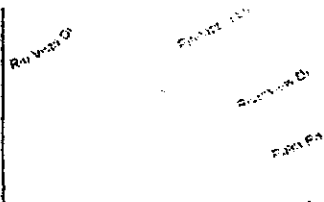
UNDERGROUND GAS _____
 UNDERGROUND ELECTRICAL _____
 FOOTING _____
 TIE BEAM/COLUMNS _____
 WALL SHEATHING _____
 INSULATION _____
 LATH _____
 ROOF TILE IN-PROGRESS _____
 ELECTRICAL ROUGH-IN _____
 GAS ROUGH-IN _____
 METER FINAL _____
 FINAL ELECTRICAL _____
 FINAL GAS _____
 BUILDING FINAL _____

9-10-15

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

AMERICAN TITLE COMPANY

Like Clockwork®



PROPERTY ADDRESS: 23 Lantana Lane SEWALL'S POINT, Florida 34996

SURVEY NUMBER: 1111.1300

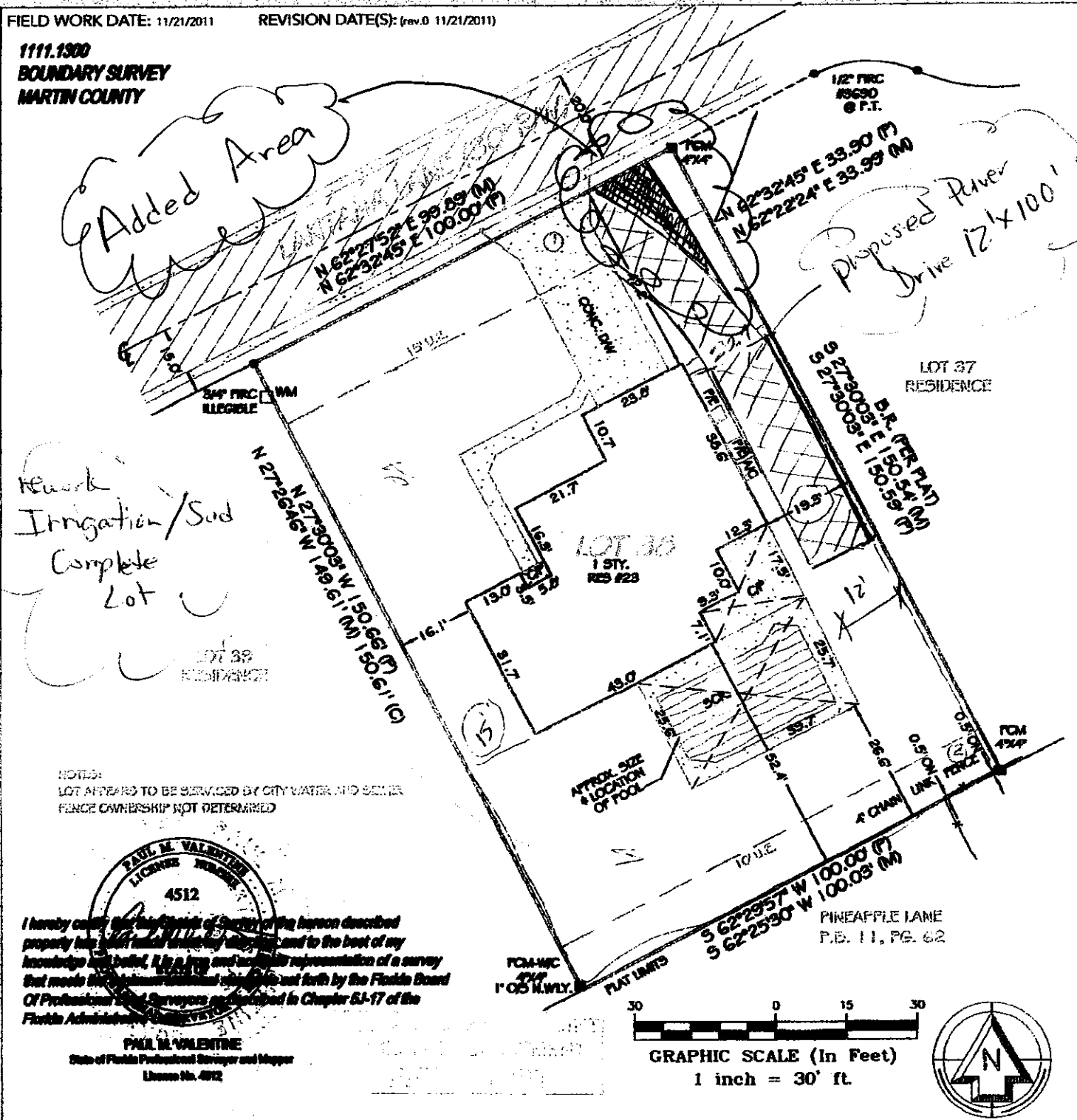
FIELD WORK DATE: 11/21/2011 REVISION DATE(S): (rev.0 11/21/2011)

**1111.1300
BOUNDARY SURVEY
MARTIN COUNTY**

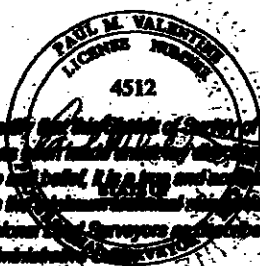
Added Area

Proposed River Drive 12'x100'

Keweenaw Irrigation/Sud Complete Lot

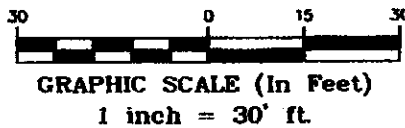


NOTES:
LOT APPEARS TO BE SERVED BY CITY WATER AND SEWER
FENCE OWNERSHIP NOT DETERMINED



I hereby certify that this is a true and correct copy of the survey as shown on the plat and to the best of my knowledge and belief, it is a true and accurate representation of a survey that meets the minimum standards set forth by the Florida Board of Professional Land Surveyors as described in Chapter 63-17 of the Florida Administrative Code.

PAUL M. VALENTINE
State of Florida Professional Surveyor and Mapper
License No. 4512



Use of This Survey for Purposes other than Intended, Without Written Verification, will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing hereon shall be construed to Give ANY Rights or Benefits to Anyone Other than those Certified.

FLOOD INFORMATION:

POINTS OF INTEREST: