

17 NE Lofting Way

4659

SFR

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Issued on AUGUST 13th, 1999

BUILDING PERMIT NO. 4659

Building to be erected for STEPHEN P. CONWAY

Type of Permit S.F.R.

Applied for by STEPHEN P. CONWAY CRC 053742 (Contractor)

Building Fee 3,984.00

Division THE PLANTATION Lot 20 Block _____

Radon Fee 55.62

Address 17 N.E. LOFTING WAY

Impact Fee 1,508.20

Use of structure SFR W/GUESTHOUSE

A/C Fee 120.00

Parcel Control Number:

Electrical Fee 120.00

263741013 000 002004 0000

Plumbing Fee 120.00

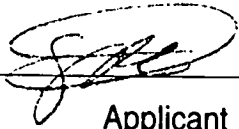
Amount Paid \$ 6,027.82 # 398.40 Check # 2237 Cash _____

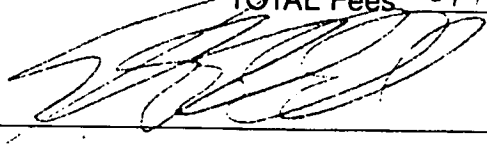
Roofing Fee 120.00

Other Fees (PLAN REVIEW) 398.40

Estimated Construction Cost \$ 415,000.00

TOTAL Fees \$ 6,426.22

Applicant 

Signed 
Town Building Inspector OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDSCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE _____

LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

**This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

Bldg. Pmt# _____

Town of Sewall's Point

Date 7/2/99

BUILDING PERMIT APPLICATION

Owner's Name: STEPHEN P. CONWAY Phone No. 561 287-7313
 Owner's Present Address: ONE RIVER CREST CT SEWALLS POINT, FL
 Fee Simple Titleholder's Name & Address if other than owner _____

Location of Job Site: LOT 20 THE PLANTATION AT SEWALLS POINT
 TYPE OF WORK TO BE DONE: SINGLE FAMILY RESIDENCE

CONTRACTOR INFORMATION
 Contractor/Company Name: STEPHEN P. CONWAY Phone No. 561 220-0064
 COMPLETE MAILING ADDRESS ONE RIVER CREST CT SEWALLS POINT FL 34996
 State Registration CRC 053742 State License _____
 Legal Description of Property LOT 20 THE PLANTATION
 Parcel Number 26 37 41013 000 002004 0000

ARCHITECT/ENGINEER INFORMATION
 Architect M.A. CORSON & ASSOCIATES, INC. Phone No. 561 223-8227
 Address 7374 SE FIDDLEWOOD LANE HOBE SOUND FL 33455
 Engineer JOHN W. OLSON Phone No. 561 287-8757
 Address 1366 SW JASMINE TRACE PALM CITY FL 34990
 Area Square Footage: Living Area 4652 Garage Area 910 Carport N/A
 Accessory Bldg. 456 Covered Patio 784 Scr. Porch N/A Wood Deck N/A
 Type Sewage: COUNTY Septic Tank Permit # from Health Dept. N/A
 NEW electrical SERVICE SIZE 300 AMPS

FLOOD HAZARD INFORMATION
 flood zone C minimum Base Flood Elevation (BFE) _____ NGVD
 proposed finish floor elevation 20 NGVD (minimum 1 foot above BFE)
 Cost of construction or Improvement 415,000
 Fair Market Value (FMV) prior to improvement 100,000
 Substantial Improvement 50% of FMV yes No _____
 Method of determining FMV PRICE PAID 4/99

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)
 Electrical COOK ELECTRIC State License ER 0008060
 Mechanical NISAIR State License# CACD 41199
 Plumbing MASTER PLUMBING State License# RF 0036357
 Roofing PACIFIC ROOFING State License# CCC 056793

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.



OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE Stephen P. Conway
 Sworn to and subscribed before me this 1st day of April, 1999 by Stephen P. Conway who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.
 CONTRACTOR SIGNATURE _____
 Sworn to and subscribed before me this _____ day of _____, 1998 by _____ who is personally known to me or has produced _____ and who did (did not) take an oath.

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed 18 No. to be retained 40 No. to be planted _____

Specimen tree removed _____ Fee _____ Authorized/Date _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____



OFFICIAL RECEIPT
(FOR MONEY RECEIVED)

No. 536382

DATE 4.5, 1999

Legal Svco.

SCHOOL

RECEIVED FROM

Stephen Conway
(NAME OR ORGANIZATION)

\$ 1,006.03

FOR

Imp fees - Lot 20, Plantation of Sewalls Pt.

FOR DEPOSIT IN

FUND(S)

D. Falls

PRINCIPAL OR RESPONSIBLE OFFICER

MARSHA STILLER
CLERK OF CIRCUIT COURT
MARTIN CO., FL

RECORDED & VERIFIED
BY *[Signature]*
D.C.

01360225

99 APR -5 PM 12:38

Prepared by/Return to:
Linda R. McCann, Attorney at Law
Royal Palm Financial Center
759 South Federal Highway, Suite 212
Stuart, Florida 34994
561-288-1144

DOC-DEED # 525.00 MARSHA STILLER
DOC-MTG # _____ MARTIN COUNTY
DOC-ASM # _____ CLERK OF CIRCUIT COURT
INT. TAX # _____ BY *[Signature]* D.C.

Property Control No. 26-37-41-013-000-00200-40000

Social Security Nos. of Grantee(s) 059-42-5526 & 264-77-1370

WARRANTY DEED

THIS INDENTURE, made this 1st day of April, 1999, between SAVERIO DeGIOIA and CORIE DeGIOIA, husband and wife, of the County of Martin, State of Florida, Grantors, and STEPHEN P. CONWAY and JENNIFER E. CONWAY, his wife, whose post office address is: 5471 SE Reef Way, Stuart, Florida 34997, Grantees (which term includes the singular or plural, as the case may be):

WITNESSETH. That said Grantors, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), and other good and valuable considerations to said Grantors in hand paid by said Grantees, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said Grantees, and Grantees' heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 20, of the Plantation at Sewall's Point, according to the Plat thereof, recorded in Plat Book 12, Page 70, Public Records of Martin County, Florida.

THIS IS VACANT LAND.

SUBJECT, HOWEVER, TO: Restrictions, reservations, and easements of record; and property taxes for 1999 and subsequent years;

and said Grantors do hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantors have hereunto set Grantors' hands and seals the day and year first above written.

Signed, sealed and delivered
in our presence:

[Signature]
Print Name: SAVERIO DeGIOIA

[Signature]
Print Name: Kathryn A. DiAmato

[Signature]
SAVERIO DeGIOIA

[Signature]
CORIE DeGIOIA

STATE OF FLORIDA)
COUNTY OF MARTIN)

The foregoing was acknowledged before me this 1 day of April, 1999, by Saverio DeGioia and Corie DeGioia, who [] are personally known to me, or [] have produced Drivers License as identification.

{Notary Public} PATRICIA A. FELKE
My Comm Exp. 10/21/2002
No. CC 784981
 Personally Known Other I.D.

[Signature]
Notary Name: Patricia A. Felke

OWNER'S AFFIDAVIT OF BUILDING COSTS

RECEIVED
NOV - 1 2000
BY: _____

STATE OF FLORIDA
COUNTY OF MARTIN

FILE

BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 425,000 *SPC*

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.

Stephen C. Long
Affiant
Property street address: -
17 NE LOFTING WAY
STUART, FL. 34996

Sworn to and subscribed
before me this 30th day of
October, 2000.

Joan H. Barrow
Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires:

(NOTARY SEAL)



Joan H. Barrow
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIN INSURANCE, INC.

STATEMENT OF INSPECTION

To: Building Official, Town of Sewall's Point
FROM: Architect or Engineer of Record
RE: Subject structure described as follows:

RECEIVED
OCT 31 2000
BY: _____

OWNER: STEPHEN P. CONWAY; ADDRESS: 1 RIVER CREST RD., SEWALL'S POINT

PROJECT ADDRESS: 17 NE LOTTING WAY LEGAL DESCRIPTION: LOT 20 BLK _____ SUB THE PLANTATION

GENERAL CONTRACTOR: STEPHEN P. CONWAY; LIC/CERT No. CRC053742

ADDRESS: 1 RIVER CREST RD.; TEL 220 0064; FAX _____

ARCHITECT OR ENGINEER: MARK A. CORSON; LIC/REG No. AA 2971

ADDRESS: 800 E. OCEAN BLVD., SUITE C; TEL 223-8227; FAX 223-8234
STUART, FL. 34994

PERMIT No: 4659; DATE OF ISSUE: _____; DATE OF THIS STATEMENT: 10/30/00

In accordance with the requirements of Section 0307.2 of the South Florida Building Code, I hereby attest as follows:

- I am the Architect or Engineer who sealed and signed the plans for the subject structure, or
 I am the substitute Architect or Engineer, having been accepted by the Building Official, for the Architect or Engineer who sealed and signed the plans for the subject structure, or
 I am the threshold or special inspector used in accordance with this Code.
- To the best of my knowledge, belief and professional judgment, the structural and envelope components of the structure are in compliance with the approved plans and other approved permit documents.
- To the best of my knowledge, belief and professional judgment, the approved permit plans represent the as-built condition of the structural and envelope components of the structure.

Executed at Stuart, FL, this 31st day of Oct, 2000

NAME: MARK A. CORSON; SIGNATURE: [Signature]; Lic. No: C625-541-61-389-0

STATE OF FLORIDA
COUNTY OF Martin

Sworn to and subscribed before me this 31st day of Oct, 2000, by Mark A. Corson, who is personally known to me or who has produced Fl. d.l. as identification and who did not take an oath.

(NOTARY SEAL)



Joan H. Barrow
MY COMMISSION # CC763445 EXPIRES
November 30, 2002
BONDED THRU TROY FAIN INSURANCE, INC.

[Signature]
Name Joan H. Barrow

I am a Notary Public of the State of Florida and my commission expires: _____

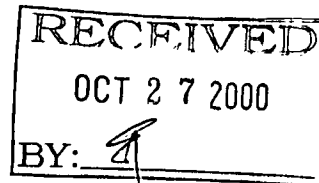


**P.O. Box 1756
Palm City, FL 34991**

Martin Cty CCC SP01681
City of Port St. Lucie PSL00-1900
St. Lucie Cty CCC 17854
Palm Beach Cty 11-18811

VIA FACSIMILE: 220.4765

October 27, 2000



FILE
AVN 4659

Mr. Ed Arnold
Building Department
Town of Sewalls Point
15 Sewalls Point Road
Stuart, FL 34998

RE: **17 N.E. Loring Way**

Dear Mr. Arnold:

The following equipment was used in the installation of the irrigation system at the above address:

Low gallon nozzles for the sprinkler heads;
Rain Sensor.

If you need any additional information, please call me at 561.220.3876 ext. 112.

Sincerely,

Rauben Turner (signature)
Rauben Turner

10/30/00 PERMIT EXTENSION CALCULATIONS:

3 MONTHS (THRU 11/12/00)

10% / MONTH

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT = (3)(446.40) = \$1,339.20

AUGUST 13th, 1999

BUILDING PERMIT NO. 4659

Building to be erected for STEPHEN P. CONWAY

Type of Permit S.F.R.

Applied for by STEPHEN P. CONWAY, CRC053742 (Contractor)

Building Fee 3,984.00

Division THE PLANTATION Lot 20 Block _____

Radon Fee 55.62

Address 17 N.E. LOFTING WAY

Impact Fee 1,508.20

Use of structure SFR W/GUESTHOUSE 3984.
480

AC Fee 120.00

Parcel Control Number:

BUDG FEES → 4464

Electrical Fee 120.00

263741013 000002004 0000

Plumbing Fee 120.00

Amount Paid \$ 6,027.82 #
398.40 Check #2237 Cash _____

Roofing Fee 120.00

Estimated Construction Cost \$ 415,000.00

Other Fees (PLAN REVIEW) 398.40

TOTAL Fees \$ 6,426.22

Signed [Signature] Applicant

Signed [Signature] Town Building Inspector OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
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TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDSCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455

WORK HOURS – 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

FILE

~~10/30/00 PERMIT EXPIRES (3 MONTHS) TO 11/13/00~~
~~\$1,339.20 TO 10/30/00 CASH~~

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date AUGUST 13th, 1999

BUILDING PERMIT NO. 4659

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Applied for by STEPHEN P. CONWAY, CRC 053742 (Contractor)

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Radon Fee 55.62

Address 17 N.E. LOFTING WAY

Impact Fee 1,508.20

Type of structure S.F.R. W/GUESTHOUSE

A/C Fee 120.00

BLDG FEES 3984.
4e120. 400.
4464. = \$446.40/1000 (10%)

Electrical Fee 120.00

Parcel Control Number:

263741013 000 002004 0000

Plumbing Fee 120.00

Amount Paid \$ 6,027.82 # 398.40 Check # 2237 Cash _____

Roofing Fee 120.00

Other Fees (PLAN REVIEW) 398.40

Total Construction Cost \$ 415,000.00

TOTAL Fees \$ 6,426.22

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector OFFICIAL

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One South Sewall's Point Road
Sewall's Point, Florida 34996
Tel: (561) 287-2455
Fax: (561) 220-4765

RECEIVED
OCT 03 2000
BY: GA FILE

TEMPORARY ELECTRIC HOOK-UP AGREEMENT: PN 4659.

OWNER: STEPHEN P CONWAY; ADDRESS: 9 RIVERVIEW DR STUART FL 34996

PROJECT ADDRESS: 17 NE LOFTING WAY; LEGAL: LOT 20 BLK PLANTATION AT SEWALLS POINT SUB

GENERAL CONTRACTOR: STEPHEN P. CONWAY; LIC/CERT NO. CRC053742

ADDRESS: 9 RIVERVIEW DR STUART FL 34996; TEL 561 220-0064; FAX 561 220-8601

ELECTRICAL CONTRACTOR: COOK ELECTRIC INC; LIC/CERT NO. ER0008060

ADDRESS: 4250 SE COMMERCE AVE STUART FL 34997; TEL 561 287-0931; FAX 561 287-9084

WHEREAS, pursuant to the provisions of, and governed by, Sections 0307.6 and 4504.6 of the South Florida Building Code as adopted in Section 4-16 of the Codes and Ordinances of the Town of Sewall's Point, temporary electrical service for use during building operations and for testing purposes under a valid building permit is authorized under prescribed terms and conditions; and,

WHEREAS, the above named responsible persons, firms or corporations have requested a temporary electrical hook-up of AC AND PNL EQUIPMENT for the purpose of DEHUMIDIFY + COMPLETE POOL at the above designated construction now in progress under a valid building permit; and

WHEREAS, it is necessary to have a temporary electric hook-up for testing of equipment and completion of building operations as herein above described.

NOW THEREFORE IT IS AGREED BY AND BETWEEN THE PARTIES THAT;

1. The parties to this agreement are Edwin B. Arnold, Building Official, Town of Sewall's Point, and the above named responsible persons, firms or corporations.
2. In order to allow electrical service to be provided to certain equipment being placed at the referenced construction address the Building Official hereby agrees to grant a temporary hook-up permit.
3. This temporary hook-up permit shall be effective for 30 calendar days from the date of this agreement, after which time the temporary hook-up will be revoked or a Certificate of Occupancy will be issued to verify completion.
4. This temporary electric hook-up is solely for the purposes stated. No furniture or occupants will be moved into the building until a Certificate of Occupancy is issued.

IN WITNESS WHEREOF the parties have caused this agreement to be executed this 3 day of OCTOBER, 2000.

Stephen P Conway
SIGNATURE OF GENERAL CONTRACTOR

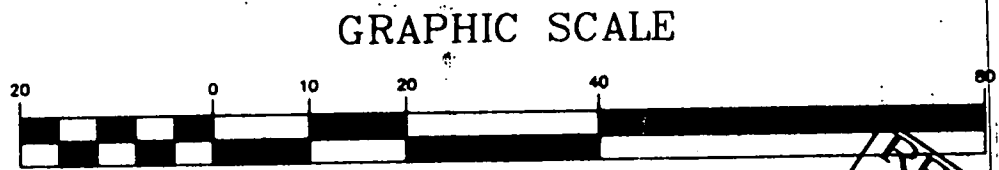
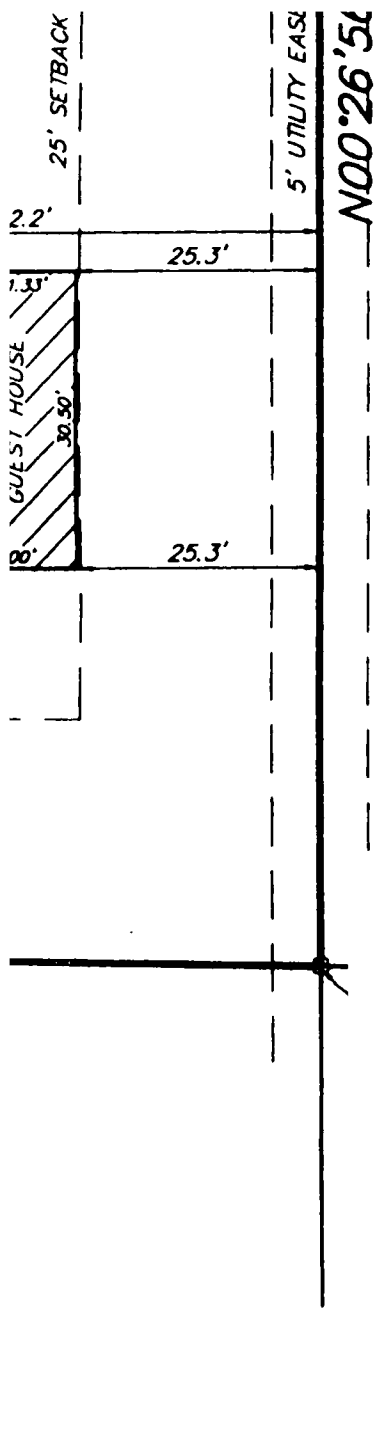
Matthew Arnold
SIGNATURE OF ELECTRICAL CONTRACTOR

Stephen P Conway
SIGNATURE OF OWNER

Edwin B. Arnold
EDWIN B. ARNOLD, BUILDING OFFICIAL

PREDICTABILITY + ACCOUNTABILITY = COMPLIANCE

10/4/00
METER RELEASE
10/4/00 11:45 AM GA
PACEN (ASP)
10/4/00 6:4



RECEIVED
 MAR 20 2000
 BY: [Signature]

(IN FEET)
 1 inch = 20 ft.
 17 NE-LOOKING
 FIELD COPY.
 (INCL. POOL PERMITS)

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AND MAPPERS IN CHAPTER 61G17-6, FLORIDA STATUTES, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NOT VALID WITHOUT THE SIGNATURE AND AN ORIGINAL RAISED SEAL OF A LICENSED FLORIDA SURVEYOR AND MAPPER.

Robert Bloomster Jr.
 ROBERT BLOOMSTER JR.
 PROFESSIONAL LAND SURVEYOR
 NO. 4134 STATE OF FLORIDA

3/24/00
 RE: 17 NE LOOKING WAY
 STEVE:
 PLS. CALL ME RE:
 REQUIRED REVISIONS
 ON FUTURE SURVEY
 SUBMITTALS. THANKS [Signature]

BLOOMSTER
 PROFESSIONAL LAND
 SURVEYORS, INC.
 791 N.E. DIXIE HIGHWAY
 JENSEN BEACH, FLORIDA 34957
 PHONE 561-334-0868

SHEET 1 OF 1	
SCALE:	1" = 20'
DATE:	03-20-2000
F.B.	SKETCH
JOB NO.	3204
REVISIONS	

PREPARED FOR: STEVE CONWAY
 LOT 20, THE PLANTATION OF SEWALL'S POINT
 STUART, MARTIN COUNTY, FLORIDA

M.A. CORSON & ASSOCIATES, Inc.

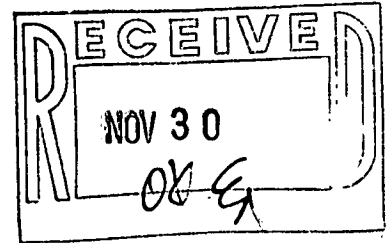
ARCHITECTURE STRUCTURAL DESIGN
7374 S. E. Fiddlewood Lane Hobe Sound, Fl. 33455
(561) 223-8227 * Lic.# AA2971

To: Sewall's Point Building Department

Date: 11/22/99

Re: Conway Residence
Lot #20 The Plantation
Permit #4659

17 LOGS W/4



This office approves of the following:

1. It is acceptable that the tie beams labeled B4 at the family room area have their steel spacing at 2" / 10" / 19" from the top of the beam. The short spans and minimal loading on the tie beams allows the beam to have no steel in the bottom 13".

Thank you for your time and consideration. If you have any questions please call.

CTR. REQUESTED
BASED ON ICSI.
11/19/99

Sincerely,


Mark A. Corson A.I.A.

cc: file
Conway
bldgsp2

**STEPHEN P. CONWAY
STATE CERTIFIED RESIDENTIAL CONTRACTOR**

Fax transmission Cover Sheet

Date: 7-19-99

Company: TOWN OF SEWALLS POINT

Fax Number: 220-4765

Attn: EDWIN ARNOLD

From : Stephen P. Conway

Number of pages including cover sheet : 2

Comments : COPY OF INSURANCE FY FILES.

ALSO RE #20 PLANTATION

APPLICATION: I PROPOSE TO
USE PLYWOOD FOR MURKANS
SAUTTERS.

THANKS,

Steve Conway.

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
 One South Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel: (561) 287-2455
 Fax: (561) 220-4765

▷ TO: CONWAY 220-8601
 ▷ FROM: ARNOLD 220-4765
8/8/99

PLAN REVIEW NOTES PAGE 1 OF 2

SINGLE FAMILY RESIDENCE; ADDITION; DOCK; POOL; FENCE; _____

OWNER: STEPHEN P. CONWAY; ADDRESS: 1 RIVER CREST, SEWALL'S POINT

PROJECT ADDRESS: 17 N.E. LOFTING WAY; LEGAL: LOT 20 BLK _____ SUB THE PLANTATION

GENERAL CONTRACTOR: STEPHEN P. CONWAY; LIC/CERT No. CRC 053742

ADDRESS: 1 RIVER CREST ROAD, SEWALL'S POINT; TEL 220-0064; FAX 220-8601

ARCHITECT OR ENGINEER: M. A. CORSON & ASSOCIATES, INC.
MARK A. CORSON, AIA; LIC/REG. No. 0012984

ADDRESS: 7374 S.E. FIDDLEWOOD LANE, HOBE SOUND; TEL 223-8227; FAX _____

Review of the application, supporting documents, plans and specifications submitted on the above project indicate the following items are required for submittal and/or revision:

1. SITE PLAN SURVEY TO BE REVISED & RESUBMITTED AT SUFFICIENT SCALE (MINIMUM 1" = 20') TO SHOW REQUIRED INFORMATION.
 - A. LOCATIONS & DIMENSIONS OF ALL SETBACKS & EASEMENTS REQUIRED BY TOWN CODE.
 - B. SIZES & LOCATIONS OF ALL BLDGS. & STRUCTURES, AND IMPERMEABLE AREAS, RELATIVE TO ALL FOUR (4) LOT LINES AS WELL AS THE ELEVATIONS OF BUILDINGS.
 - C. TOPOGRAPHIC SURVEY DATA INDICATING GRADE CHANGES PROPOSED FOR THE SITE, AND DRAINAGE DETAILS.
 - D. AREA CALCULATIONS: LOT, BLDG., TOTAL IMPERMEABLE & % PERM./IMPERM. AREAS.
 - E. IDENTIFICATION/DESCRIPTION TABULATION OF TREES TO BE REMOVED/RELOCATED.
2. ALL BUILDINGS AND STRUCTURES (EXCEPTION: BOUNDARY WALL OF FENCE) MUST COMPLY WITH 25' SIDE YARD SETBACK WHEN ACCESS. BLDG. PROVIDED.
3. REQUIRED 1 HR. FIRE SEPARATION OF GARAGE FROM RESIDENCE.
4. 1 HR. RATED CLOSET W/SELF-CLOSING RATED DOOR REQUIRED FOR A/C ENCLOSURE IN GARAGE.
5. CODE REFERENCES NOTES S/B MIAMI-DADE COUNTY ED. OF S.F.B.C.

Prepared By: CONTINUED ON PAGE 2 Title: _____ Date: _____

EA

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One South Sewall's Point Road
Sewall's Point, Florida 34996
Tel: (561) 287-2455
Fax: (561) 220-4765

PLAN REVIEW NOTES PAGE 2 OF 2

SINGLE FAMILY RESIDENCE; ADDITION; DOCK; POOL; FENCE; _____

OWNER: STEPHEN P. CONWAY; ADDRESS: _____

PROJECT ADDRESS: 17 N.E. LOFTING WAY; LEGAL: LOT _____ BLK _____ SUB _____ SEE PAGE 1

GENERAL CONTRACTOR: _____; LIC/CERT No. _____


ADDRESS: _____; TEL _____; FAX _____

ARCHITECT OR ENGINEER: _____; LIC/REG. No. _____

ADDRESS: _____; TEL _____; FAX _____

Review of the application, supporting documents, plans and specifications submitted on the above project indicate the following items are required for submittal and/or revision:

6. SUBMIT REQUIRED MECHANICAL PLANS FOR REVIEW & APPROVAL PRIOR TO 1ST MANDATORY INSPECTION (V/G ROUGH OR FRAMING)
7. STAIR & HANDRAIL DESIGN/DETAILS TO BE SUBMITTED FOR REVIEW & COMPLIANCE APPROVAL (NFPA 101-1994) PRIOR TO FRAMING INSPECTION. PLATFORM REQUIRED AT "FUTURE BONUS ROOM" STAIR.
8. WINDOW/DOOR SUBMITTALS IN ACCORDANCE W/MIAMI-DADE COUNTY PRODUCT APPROVAL TO BE SUBMITTED PRIOR TO FRAMING INSPECTION.
9. ENGINEERED STORM SHUTTERS - SEPARATE "NO-FEE" PERMIT REQ.*
10. ROOFING - SEPARATE "NO-FEE" PERMIT REQUIRED.*
- *SUBSEQUENT TO ISSUANCE OF PRIMARY BUILDING PERMIT.
11. CERTIFICATE OF LIABILITY INSURANCE W/TOWN OF SEWALL'S POINT AS CERTIFICATE HOLDER.
12. TREE REMOVAL PERMIT FEE \$100.00 (ISSUED W/ BLDG. PERMIT)

Prepared By:  Title: BLDG. OFFICIAL Date: 8/7/99
EDWIN B. ARNOLD

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

DAB Door Company, Inc.
12195 NW 98th Avenue
Hialeah Gardens FL 33016

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

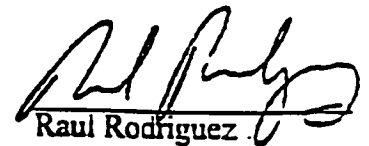
Your application for Product Approval of:
Sectional Residential Garage Door
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-0901.10 (Revises No.: 98-0409.03)

Expires: 08/14/01


Raul Rodriguez


Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

FILE

RECEIVED
OCT 31 2000
BY: 


Charles Danger, P.E.
Director

Building Code Compliance Dept.
Metropolitan Dade County

Approved: 10/22/98

17 ME
COPYING WORK



NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. SCOPE

1.1 This revises the Notice of Acceptance No. 98-0409.03 which was issued on 08/14/98. It approves a Sectional Steel Door 9 ft wide as described in Section 2 of this Notice of Acceptance. And it is designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County (SFBC) for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the design pressure rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

2.1 The DAB Sectional Door and its components shall be constructed in strict compliance with the following documents: Drawing No. 98-01, titled "Sectional Residential Garage Door" prepared by Al-Farooq Corporation, dated 01/30/98 with latest revision on 08/24/98, Sheet 1 to 2 of 2. It bears the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by Miami-Dade Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

3.1 Units with dimensions equal to or smaller than those shown on the approved drawings shall qualify under this approval.

3.2 This approval requires the manufacturer to do testing of all coils used to fabricate door panels under this Notice of Acceptance. A minimum of 2 specimens shall be cut from each coil and tensile tested according to ASTM E-8 by a Dade County Approved Laboratory selected and paid by the manufacturer. Every 3 months, 4 times a year the manufacturer shall mail to this office a copy of the Test Reports with confirmation that the specimens were selected from coils at the manufacturer's production facilities. And a notarized statement from the manufacturer that only coils with a yield strength of 34,000 PSI or more shall be used to make door panels for Dade County under this Notice of Acceptance.

4. INSTALLATION

4.1 The Sectional Door and its components shall be constructed in strict compliance with the approved drawings.

4.2 The installation of this door does not require a Hurricane Protection System

5. LABELING


5.1 Each door shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved"

6. BUILDING PERMIT

6.1 Building Permit shall be accompanied by copies of the following:


6.1.1 This Notice of Acceptance, including two copies of the approved drawings as identified in Section 2.

6.1.2 Any other document required by the Building Official or the SFBC in order to properly evaluate the installation of this system.


Candido Font, PE, Sr. Product Control Examiner
Product Control Division

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

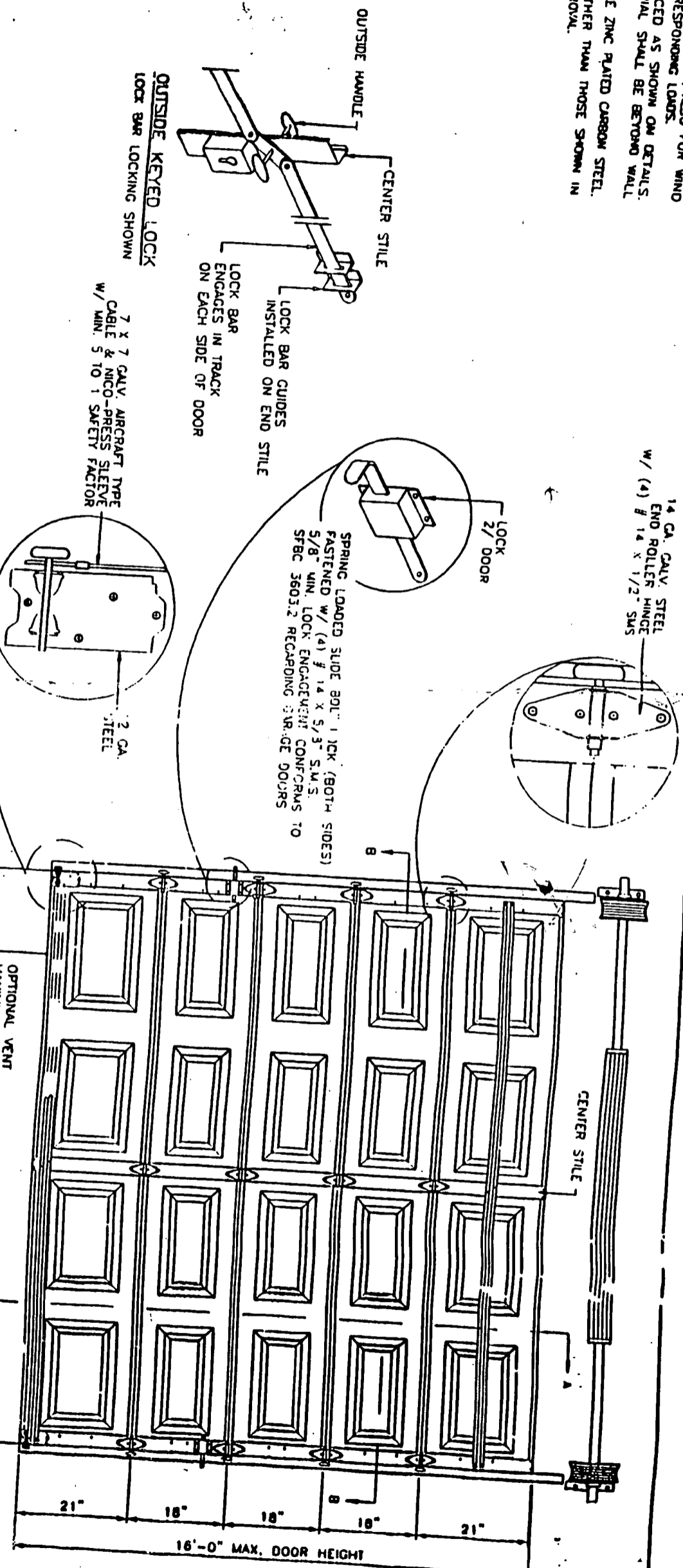
1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process.
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.


Candido Font, PE. Sr. Product Control Examiner
Product Control Division

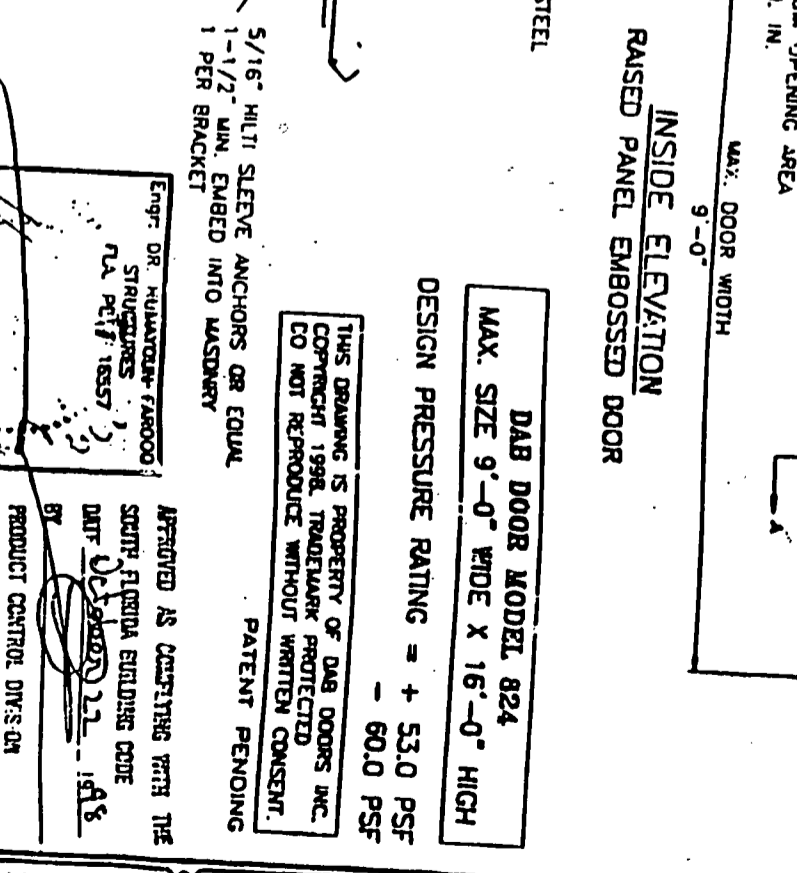
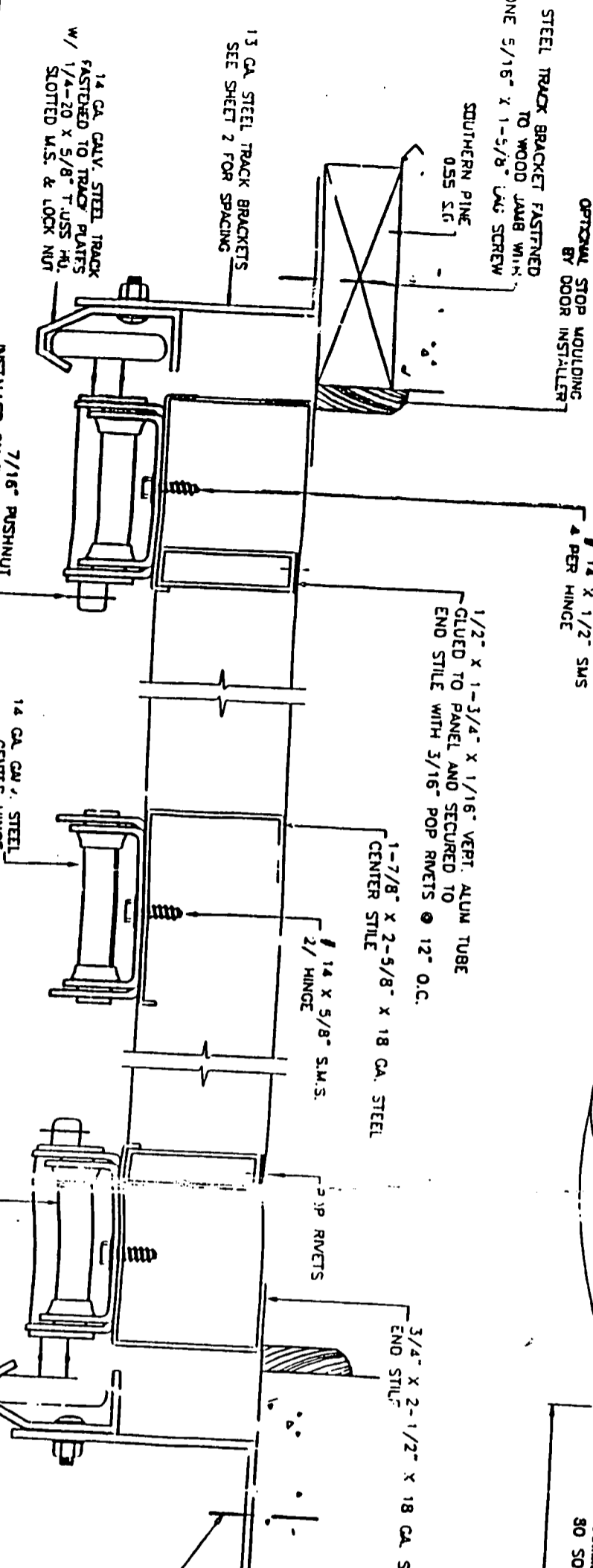
END OF THIS ACCEPTANCE

- ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. DRESSING OR STUCCO.
- ALL BOLTS, NUTS AND WASHERS SHALL BE ZINC PLATED CARBON STEEL.
- ANCHORING OR LOADING CONDITIONS OTHER THAN THOSE SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.

DOOR HEIGHT	COMPOSITS OF
6'-6"	2 SECTIONS 18"12 SECTIONS 21"
6'-9"	1 SECTION 18" 3 SECTIONS 21"
7'-3"	-
7'-6"	5 SECTIONS 18" -
7'-9"	4 SECTIONS 18"11 SECTIONS 21"
8'-3"	3 SECTIONS 18"12 SECTIONS 21"
8'-6"	2 SECTIONS 18"13 SECTIONS 21"
8'-9"	1 SECTION 18" 4 SECTIONS 21"
9'-3"	16 SECTIONS 18"1-
9'-6"	4 SECTIONS 18"11 SECTIONS 21"
9'-9"	3 SECTIONS 18"12 SECTIONS 21"
10'-3"	2 SECTIONS 18"13 SECTIONS 21"
10'-6"	1 SECTION 18" 15 SECTIONS 21"
10'-9"	6 SECTIONS 18"11 SECTIONS 21"
11'-3"	5 SECTIONS 18"12 SECTIONS 21"
11'-6"	4 SECTIONS 18"13 SECTIONS 21"
11'-9"	3 SECTIONS 18"14 SECTIONS 21"
12'-3"	2 SECTIONS 18"15 SECTIONS 21"
12'-6"	17 SECTIONS 21"1-
12'-9"	8 SECTIONS 18"12 SECTIONS 21"
13'-3"	5 SECTIONS 18"13 SECTIONS 21"
13'-6"	4 SECTIONS 18"14 SECTIONS 21"
13'-9"	3 SECTIONS 18"15 SECTIONS 21"
14'-3"	1 SECTION 18" 17 SECTIONS 21"
14'-6"	8 SECTIONS 18"13 SECTIONS 21"
14'-9"	5 SECTIONS 18"14 SECTIONS 21"
15'-3"	4 SECTIONS 18"15 SECTIONS 21"
15'-6"	3 SECTIONS 18"16 SECTIONS 21"
15'-9"	2 SECTIONS 18"17 SECTIONS 21"
16'-3"	1 SECTION 18" 19 SECTIONS 21"



<p>SECTIONAL RESIDENTIAL GARAGE DOOR</p> <p>DAB DOORS INC.</p> <p>12195 N.W. 98 TH. AVE.</p> <p>HIACLEAH GARDENS, FL. 33016</p> <p>TEL. (305) 556 - 6624</p>	<p>AL-FAROOQ CORPORATION</p> <p>ENGINEERS, PLANNERS & PRODUCT DESIGN</p> <p>1235 SW 87 AVE</p> <p>MIAMI, FLORIDA 33174</p> <p>TEL. (305) 264-8100 FAX. (305) 262-6978</p>
--	---



<p>DESIGN PRESSURE RATING = + 53.0 PSF - 60.0 PSF</p> <p>DAB DOOR MODEL 824</p> <p>MAX. SIZE 9'-0" WIDE X 16'-0" HIGH</p>	<p>INSIDE ELEVATION</p> <p>RAISED PANEL EMBOSSED DOOR</p> <p>OPTIONAL VENT</p> <p>MAXIMUM OPENING AREA</p> <p>80 SQ. IN.</p> <p>MAX. DOOR WIDTH</p> <p>9'-0"</p>
---	--

14 GA. GALV. STEEL TRACK FASTENED TO TRACK PLATES W/ 1/4-20 X 5/8" T. USS HD. SLOTTED W.S. & LOCK NUT

13 GA. STEEL TRACK BRACKETS SEE SHEET 2 FOR SPACING

SCUHERN PINE 0.55 S.G.

STEEL TRACK BRACKET FASTENED TO WOOD JAMB WITH ONE 5/16" X 1-5/8" WAG SCREW

OPTIONAL STOP MOLDING BY DOOR INSTALLER

1/2" X 1-3/4" X 1/16" VERT. ALUM TUBE GLUED TO PANEL AND SECURED TO END STILE WITH 3/16" POP RNETS @ 12" O.C.

1-7/8" X 2-5/8" X 18 GA. STEEL CENTER STILE

2/ HINGE

14 GA. GALV. STEEL CENTER HINGE

7/16" PUSHNUT INSTALLED ON ROLLER SHAFT

14 GA. GALV. STEEL CENTER HINGE

ROLLER HINGE

3/4" X 2-1/2" X 18 GA. STEEL END STILE

2 P RIVETS

5/16" MULTI SLEEVE ANCHORS OR EQUAL 1-1/2" MIN. EMBED INTO MASONRY 1 PER BRACKET

PATENT PENDING

DESIGN PRESSURE RATING = + 53.0 PSF - 60.0 PSF

DAB DOOR MODEL 824

MAX. SIZE 9'-0" WIDE X 16'-0" HIGH

THIS DRAWING IS PROPERTY OF DAB DOORS INC. COPYRIGHT 1998. TRADEMARK PROTECTED. DO NOT REPRODUCE WITHOUT WRITTEN CONSENT.

APPROVED AS CONSULTING WITH THE SOUTH FLORIDA BUILDING CODE

DATE: October 22, 1998

BY: [Signature]

PRODUCT CONTROL DIVISION

BUILDING CODE COMPLIANCE OFFICE

ADP FRANCE NO. 98-090110

Engr. DR. HUSAYIN FAROOQ

STRUCTURES

R.A. P.E. # 15557

AUG 25 1998

DATE: October 22, 1998

BY: [Signature]

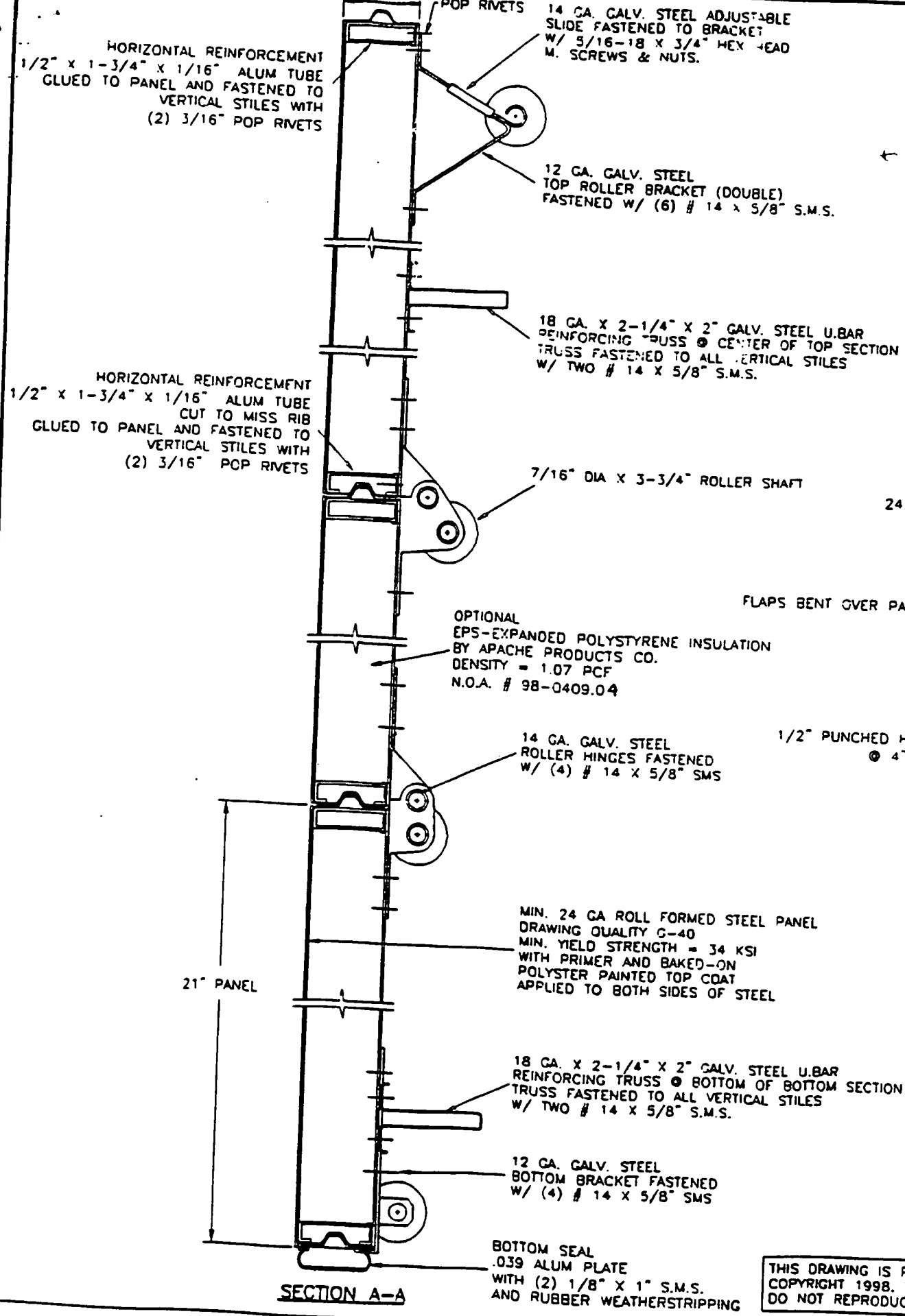
PRODUCT CONTROL DIVISION

BUILDING CODE COMPLIANCE OFFICE

ADP FRANCE NO. 98-090110

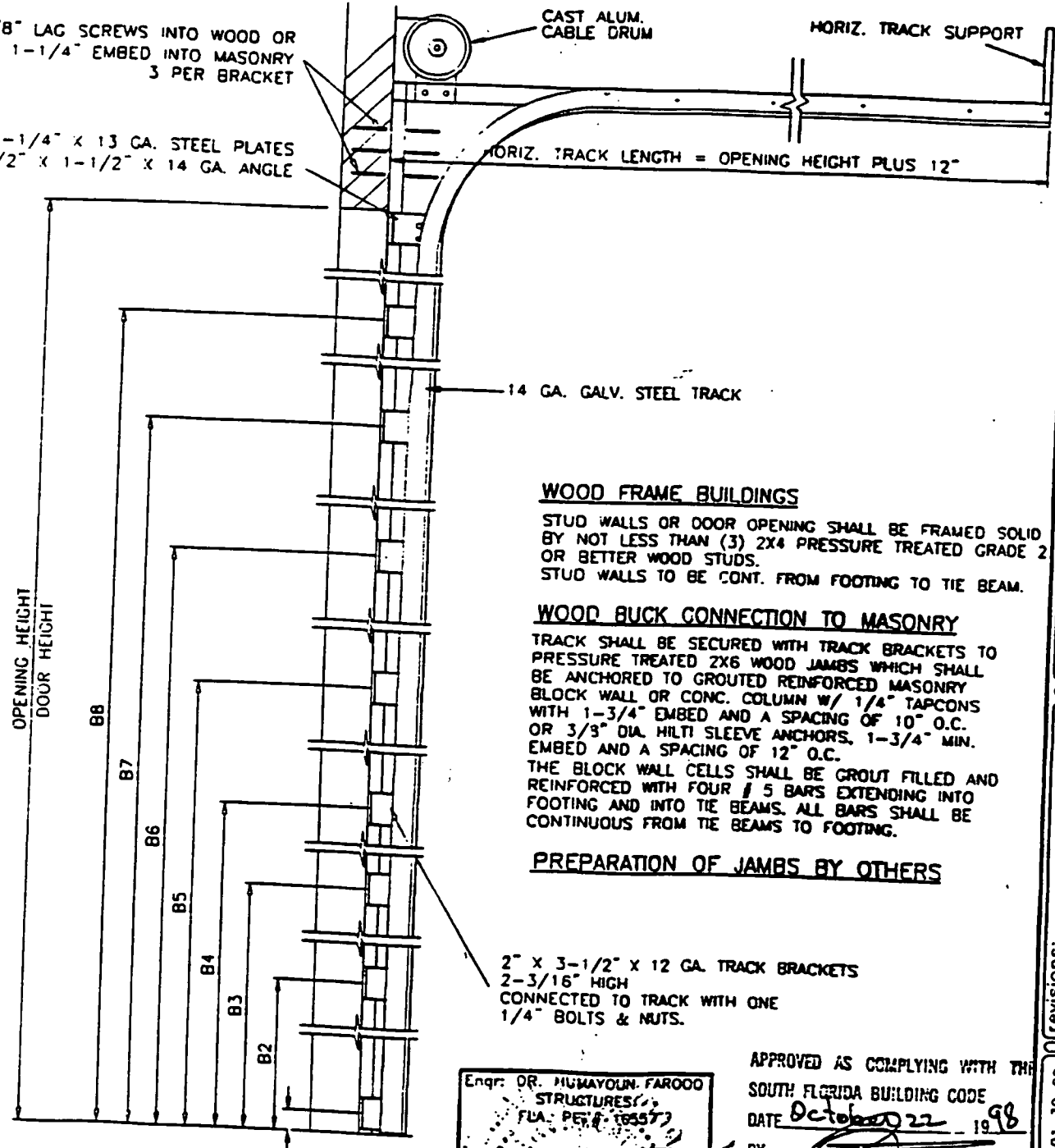
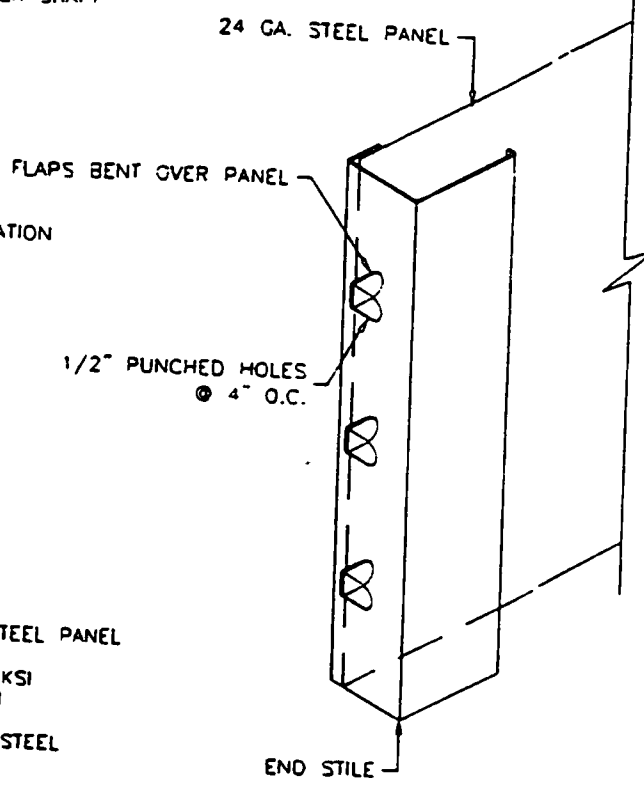
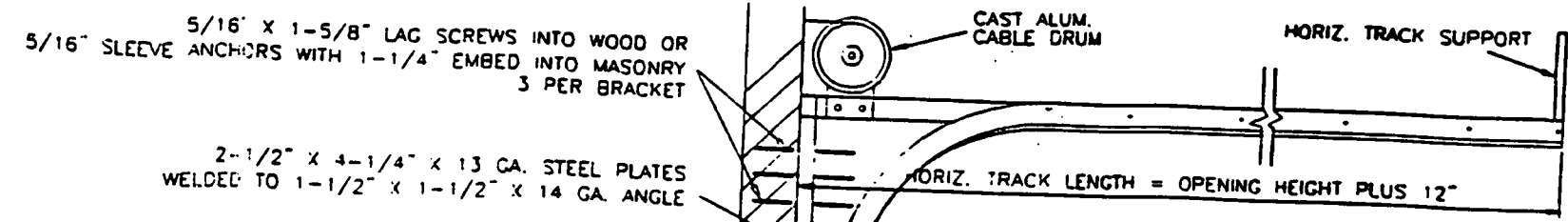
98-01

Sheet 1 of 2



DOOR HEIGHT	SECTION HEIGHTS					BRACKET PLACEMENTS							
	1ST	2ND	3RD	4TH	5TH	B1	B2	B3	B4	B5	B6	B7	B8
6'-0"	19"	18"	12"	18"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
6'-6"	21"	18"	15"	21"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
7'-0"	21"	21"	21"	21"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
7'-6"	18"	18"	15"	18"	18"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"
8'-0"	21"	18"	15"	18"	21"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"

*-SECTIONS ARE NUMBERED STARTING AT THE BOTTOM FOR DOORS MORE THAN 8 FT. HIGH USE ADDITIONAL TOP BRACKETS AT 10" O.C.



WOOD FRAME BUILDINGS
 STUD WALLS OR DOOR OPENING SHALL BE FRAMED SOLID BY NOT LESS THAN (3) 2X4 PRESSURE TREATED GRADE 2 OR BETTER WOOD STUDS. STUD WALLS TO BE CONT. FROM FOOTING TO THE BEAM.

WOOD BUCK CONNECTION TO MASONRY
 TRACK SHALL BE SECURED WITH TRACK BRACKETS TO PRESSURE TREATED 2X6 WOOD JAMBS WHICH SHALL BE ANCHORED TO GROUTED REINFORCED MASONRY BLOCK WALL OR CONC. COLUMN W/ 1/4" TAPCONS WITH 1-3/4" EMBED AND A SPACING OF 10" O.C. OR 3/8" DIA. HILTI SLEEVE ANCHORS, 1-3/4" MIN. EMBED AND A SPACING OF 12" O.C. THE BLOCK WALL CELLS SHALL BE GROUT FILLED AND REINFORCED WITH FOUR # 5 BARS EXTENDING INTO FOOTING AND INTO THE BEAMS. ALL BARS SHALL BE CONTINUOUS FROM THE BEAMS TO FOOTING.

PREPARATION OF JAMBS BY OTHERS

2" X 3-1/2" X 12 GA. TRACK BRACKETS 2-3/16" HIGH CONNECTED TO TRACK WITH ONE 1/4" BOLTS & NUTS.

THIS DRAWING IS PROPERTY OF DAB DOORS INC. COPYRIGHT 1998. TRADEMARK PROTECTED DO NOT REPRODUCE WITHOUT WRITTEN CONSENT. PATENT PENDING

Engr. DR. HUMAYUN FAROOD STRUCTURES, INC. FLA. PE # 18577
 AUG 25 1998

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE October 22, 1998
 BY [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0901-10

AL-FAROOQ CORPORATION
 ENGINEERS, PLANNERS & PRODUCT DESIGN
 1235 SW 87 AVE
 MIAMI, FLORIDA 33174
 TEL. (305) 264-8100 FAX. (305) 262-6978

SECTIONAL RESIDENTIAL GARAGE DOOR
 DAB DOORS INC.
 12195 N.W. 98 TH. AVE.
 HIALEAH GARDENS, FL. 33016
 TEL. (305) 556-6624

NO.	DATE	DESCRIPTION

Revisions:

date: 01-30-98
 scale: [Blank]
 dr. by: HAMID
 ch. by: [Blank]

drawing no. 98-01
 sheet 2 of 2



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING,
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

DAB Door Company, Inc.
12195 NW 98th Avenue
Hialeah Gardens FL 33016

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

Sectional Residential Garage Door

under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: **applicant, along with Dab Door Co. Inc. drawing No 98-05, sheet 1 to 3 of 3, dated 02/23/98, revised on 08/24/98, signed and sealed by H. Farooq PE.**

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-0901.09 (Revises No.: 98-0409.04)

Expires: 08/14/01

Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

FILE

RECEIVED
OCT 31 2000
BY:

Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 10/22/98

-1-

17 ME
COPYING
CART



DAB Door Company, Inc.

ACCEPTANCE NO: 98-0901.09

APPROVED : OCT 22 2001

EXPIRES : 08/14/01

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. SCOPE

- 1.1** This renews the Notice of Acceptance No. 98-0409.04 which was issued on 08/14/98. It approves a Sectional Steel Door 16 ft wide as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County (SFBC) for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the design pressure rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

- 2.1** The **Dab Sectional Door** and its components shall be constructed in strict compliance with the following documents: Drawing No. 98-05, titled "Sectional Residential Garage Door" prepared by Al-Farooq Corporation, dated 02/23/98 with latest revision on 08/24/98, Sheet 1 to 3 of 3. It bears the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by Miami-Dade Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

- 3.1** Units with dimensions equal to or smaller than those shown on the approved drawings shall qualify under this approval.
- 3.2** This approval requires the manufacturer to do testing of all coils used to fabricate door panels under this Notice of Acceptance. A minimum of 2 specimens shall be cut from each coil and tensile tested according to ASTM E-8 by a Dade County Approved Laboratory selected and paid by the manufacturer. Every 3 months, 4 times a year the manufacturer shall mail to this office a copy of the Test Reports with confirmation that the specimens were selected from coils at the manufacturer's production facilities. And a notarized statement from the manufacturer that only coils with a yield strength of 37,000 PSI or more shall be used to make door panels for Dade County under this Notice of Acceptance.

4. INSTALLATION


- 4.1** The Sectional Door and its components shall be constructed in strict compliance with the approved drawings.
- 4.2** The installation of this door **does not require** a Hurricane Protection System

5. LABELING

- 5.1** Each door shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved"

6. BUILDING PERMIT

- 6.1** Building Permit shall be accompanied by copies of the following:
- 6.1.1** This Notice of Acceptance, including two copies of the approved drawings as identified in section 2.
- 6.1.2** Any other document required by the Building Official or the SFBC in order to properly evaluate the installation of this system.


Candido Font, PE, Sr. Product Control Examiner
Product Control Division

DAB Door Company, Inc.

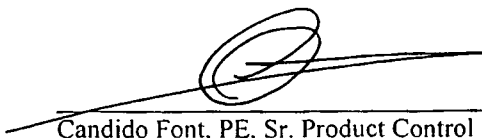
ACCEPTANCE NO.: 98-0901.09

APPROVED : OCT 22 2001

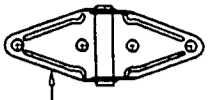
EXPIRES : 08/14/01

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

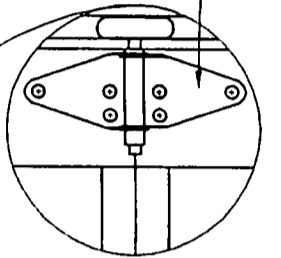
1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
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3. Renewals of Acceptance will not be considered if:
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 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process.
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.


Candido Font, PE, Sr. Product Control Examiner
Product Control Division

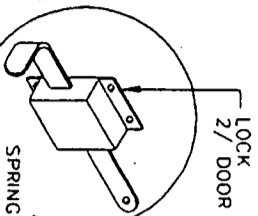
END OF THIS ACCEPTANCE



14 GA. GALV. STEEL
END ROLLER HINGE
W/ (6) # 14 X 1/2" SMS

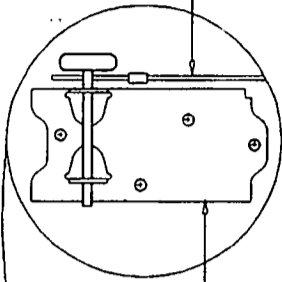


18 GA. GALV. STEEL
CENTER HINGE
W/ (4) # 14 X 1/2" SMS

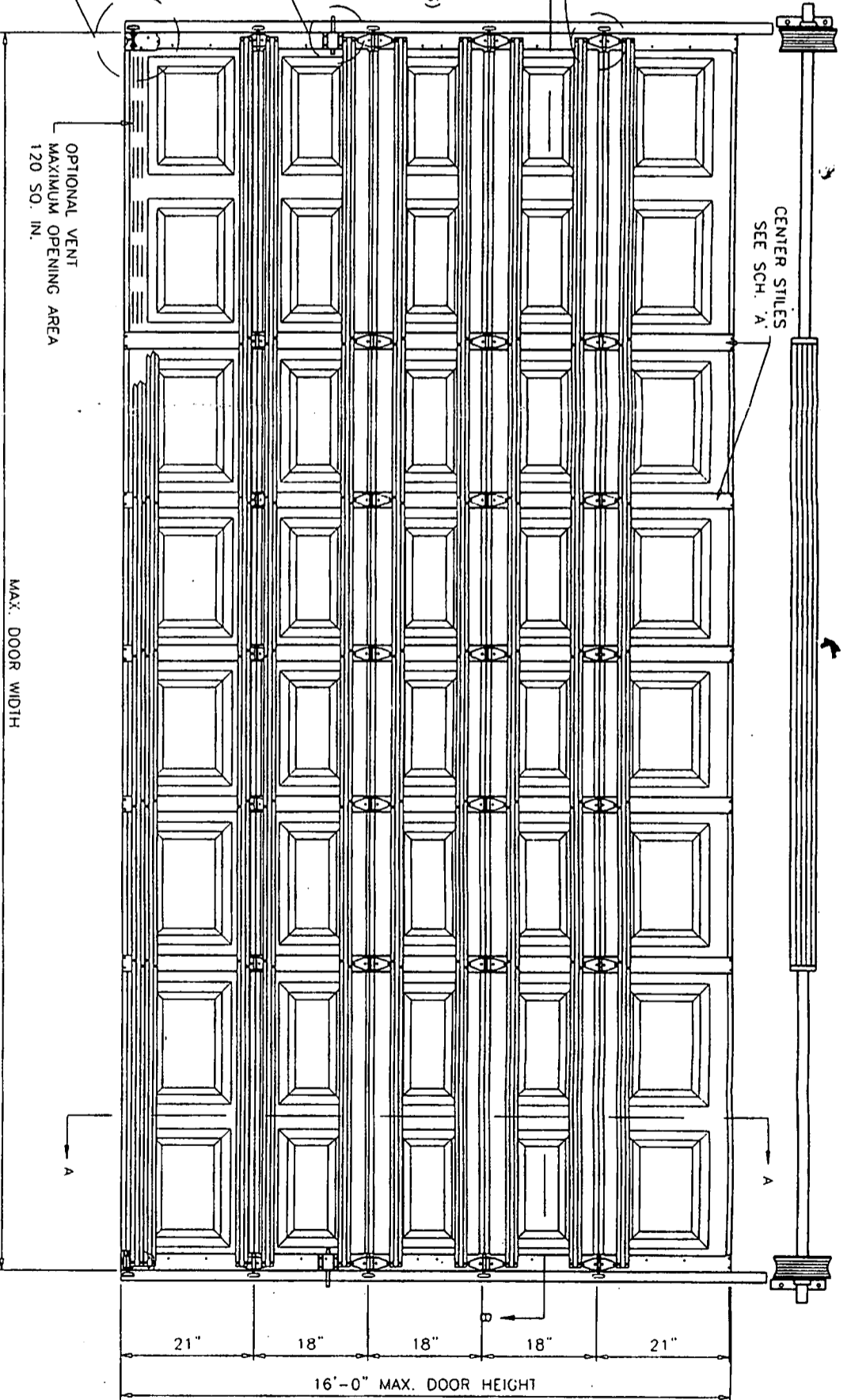


LOCK
2/ DOOR

SPRING LOADED SLIDE BOLT LOCK (BOTH SIDES)
FASTENED W/ (4) # 14 X 5/8" S.M.S.
5/8" MIN. LOCK ENGAGEMENT CONFORMS TO
SIFBC 3603.2 REGARDING GARAGE DOORS.



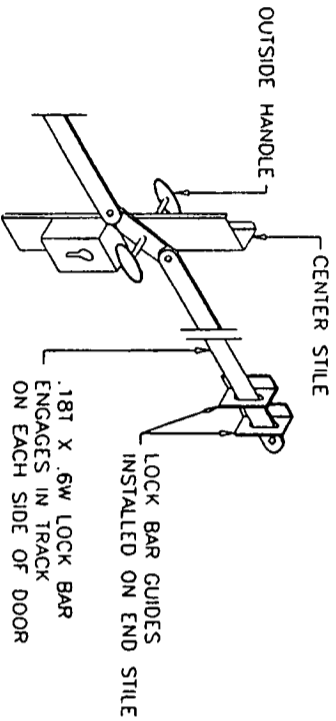
7 X 7 GALV. AIRCRAFT TYPE
CABLE & NICO-PRESS SLEEVE
W/ MIN. 5 TO 1 SAFETY FACTOR



SCHEDULE 'A'

DOOR WIDTHS	# OF CENTER STILES
9'-1" TO 11'-10"	2
12'-0" TO 13'-10"	3
14'-0" TO 15'-10"	4
15'-11" TO 16'-10"	5

DOOR HEIGHT	CONSISTS OF
6'-6"	2 SECTIONS 18" 2 SECTIONS 21"
6'-9"	1 SECTION 18" 3 SECTIONS 21"
7'-3"	4 SECTIONS 21"
7'-6"	5 SECTIONS 18" 1 SECTION 21"
7'-9"	4 SECTIONS 18" 2 SECTIONS 21"
8'-3"	3 SECTIONS 18" 3 SECTIONS 21"
8'-6"	2 SECTIONS 18" 4 SECTIONS 21"
8'-9"	1 SECTION 18" 5 SECTIONS 21"
9'-3"	5 SECTIONS 18" 1 SECTION 21"
9'-6"	4 SECTIONS 18" 2 SECTIONS 21"
9'-9"	3 SECTIONS 18" 3 SECTIONS 21"
10'-3"	2 SECTIONS 18" 4 SECTIONS 21"
10'-6"	1 SECTION 18" 5 SECTIONS 21"
10'-9"	6 SECTIONS 18" 1 SECTION 21"
11'-3"	5 SECTIONS 18" 2 SECTIONS 21"
11'-6"	4 SECTIONS 18" 3 SECTIONS 21"
11'-9"	3 SECTIONS 18" 4 SECTIONS 21"
12'-3"	2 SECTIONS 18" 5 SECTIONS 21"
12'-6"	1 SECTION 18" 6 SECTIONS 21"
12'-9"	6 SECTIONS 18" 2 SECTIONS 21"
13'-3"	5 SECTIONS 18" 3 SECTIONS 21"
13'-6"	4 SECTIONS 18" 4 SECTIONS 21"
13'-9"	3 SECTIONS 18" 5 SECTIONS 21"
14'-3"	2 SECTIONS 18" 6 SECTIONS 21"
14'-6"	8 SECTIONS 21"
14'-9"	0 SECTIONS 18" 3 SECTIONS 21"
15'-3"	4 SECTIONS 18" 5 SECTIONS 21"
15'-6"	3 SECTIONS 18" 6 SECTIONS 21"
15'-9"	2 SECTIONS 18" 7 SECTIONS 21"
16'-3"	1 SECTION 18" 8 SECTIONS 21"
16'-6"	0 SECTIONS 18" 4 SECTIONS 21"



INSIDE ELEVATION
RAISED PANEL EMBOSSED DOOR

OUTSIDE KEYPED LOCK
LOCK BAR LOCKING SHOWN

- GENERAL NOTES
- THIS STRUCTURE IS DESIGNED AS PER THE SOUTH FLORIDA BUILDING CODE 1954 EDITION FOR DADE COUNTY. ALSO FOR WIND LOADS AS PER ASCE 7-88 USING CORRESPONDING LOADS.
 - ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
 - ALL BOLTS, NUTS AND WASHERS SHALL BE ZINC PLATED CARBON STEEL.
 - ANCHORING OR LOADING CONDITIONS OTHER THAN THOSE SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.

DAB DOOR MODEL 824
MAX. SIZE '6'-2" WIDE X 16'-0" HIGH

DESIGN PRESSURE RATING = + 48.0 PSF
- 52.0 PSF

THIS DRAWING IS PROPERTY OF DAB DOORS INC.
COPYRIGHT 1998. TRADEMARK PROTECTED.
DO NOT REPRODUCE WITHOUT WRITTEN CONSENT.

PATENT PENDING

Engr. DR. HUMAYOUN FAROOQ

STRUCTURES
FLA. PE # 16557

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE 07/23/98 19.98

BY [Signature]

PRODUCT CONTROL DIV. SR

BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 96-090109

AVG 2-5 1998

date: 02-23-98	revisions:
scale: 1/2" = 1'-0"	no date by description
dr. by: HAMID	A 07.08.98 GENERAL REVISION
cht. by:	B 08.24.98 OPT. INSULATION ADDED
drawing no. 98-05	
sheet 1 of 3	

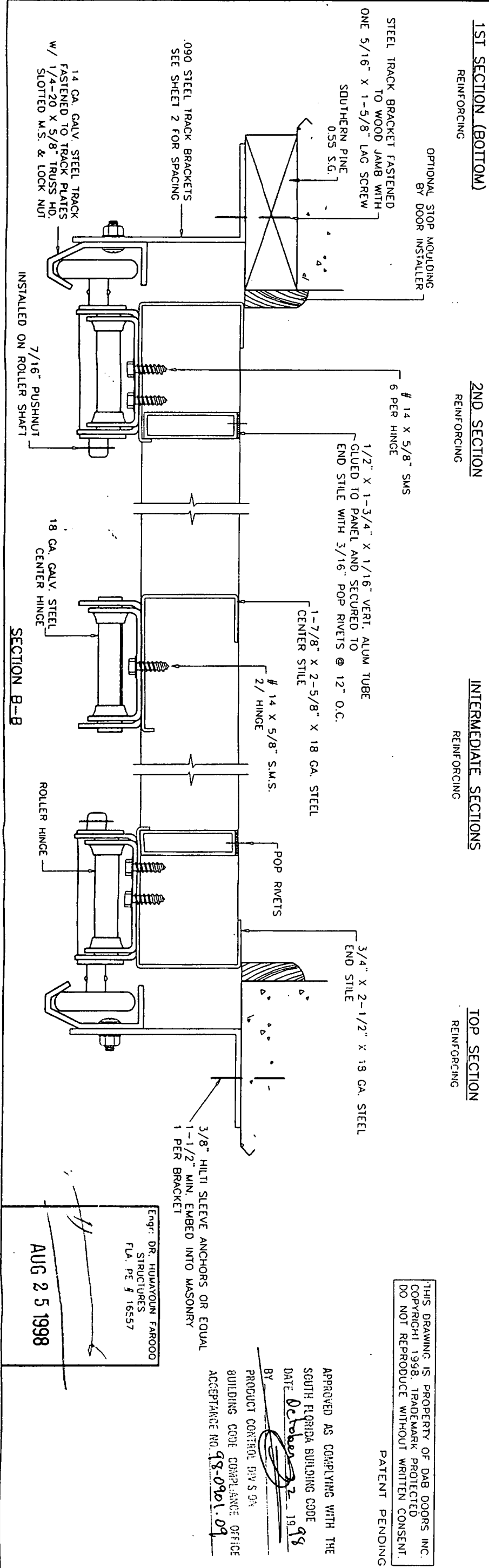
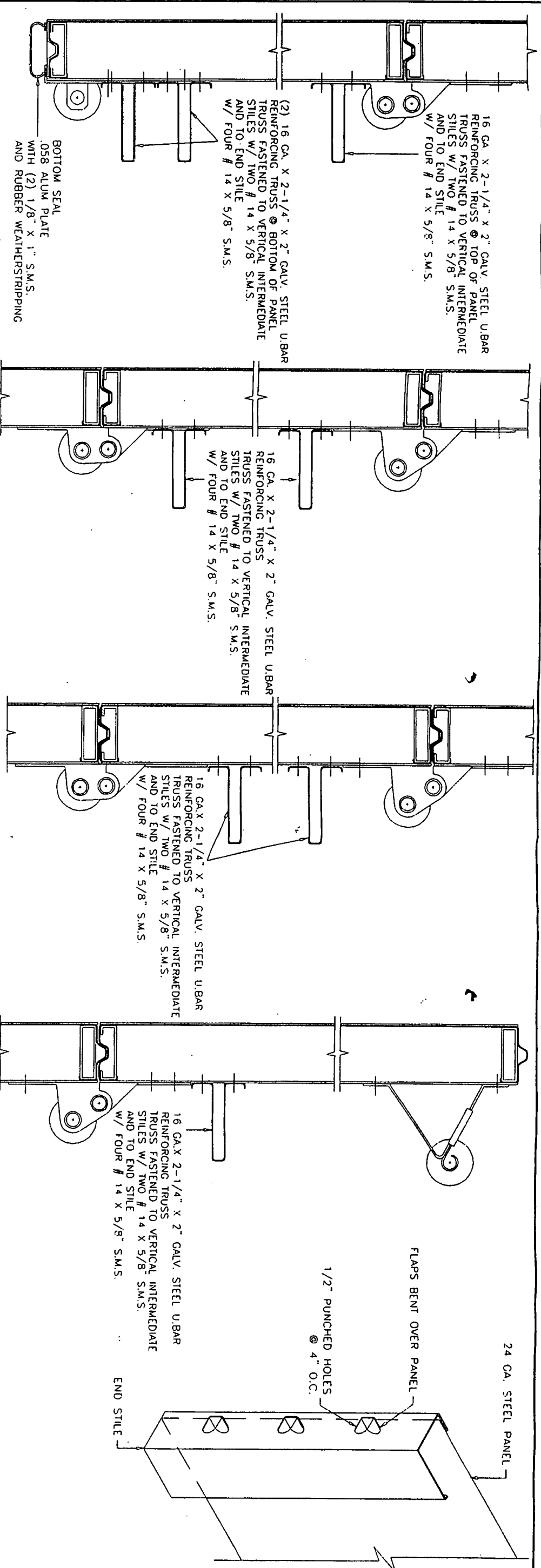
SECTIONAL RESIDENTIAL GARAGE DOOR

DAB DOORS INC.
12195 N.W. 98 TH. AVE.
HIALEAH GARDENS, FL. 33016
TEL.(305) 556 - 6624

AL-FAROOQ CORPORATION
ENGINEERS, PLANNERS & PRODUCT DESIGN
1235 SW 87 AVE
MIAMI, FLORIDA 33174
TEL. (305) 264-8100 FAX. (305) 262-6978

afc

GARAGE\98-05DAB



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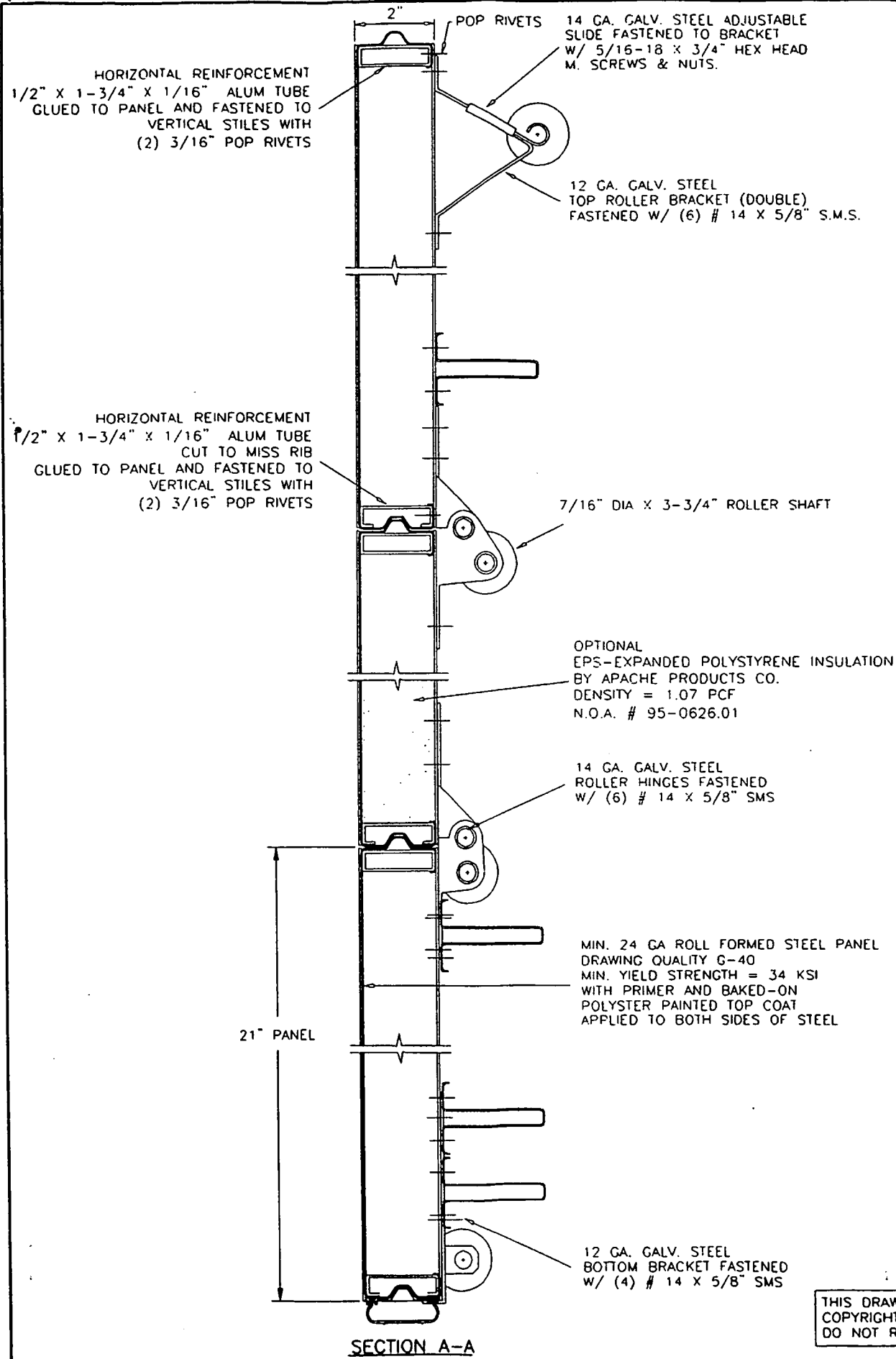
PATENT PENDING

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE October 2, 1998
 BY [Signature]
 PRODUCT CONTROL DIV S GA
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0901.09

Engr. DR. HUMAYOUN FAROOQ
 STRUCTURES
 FLA. PE # 16557

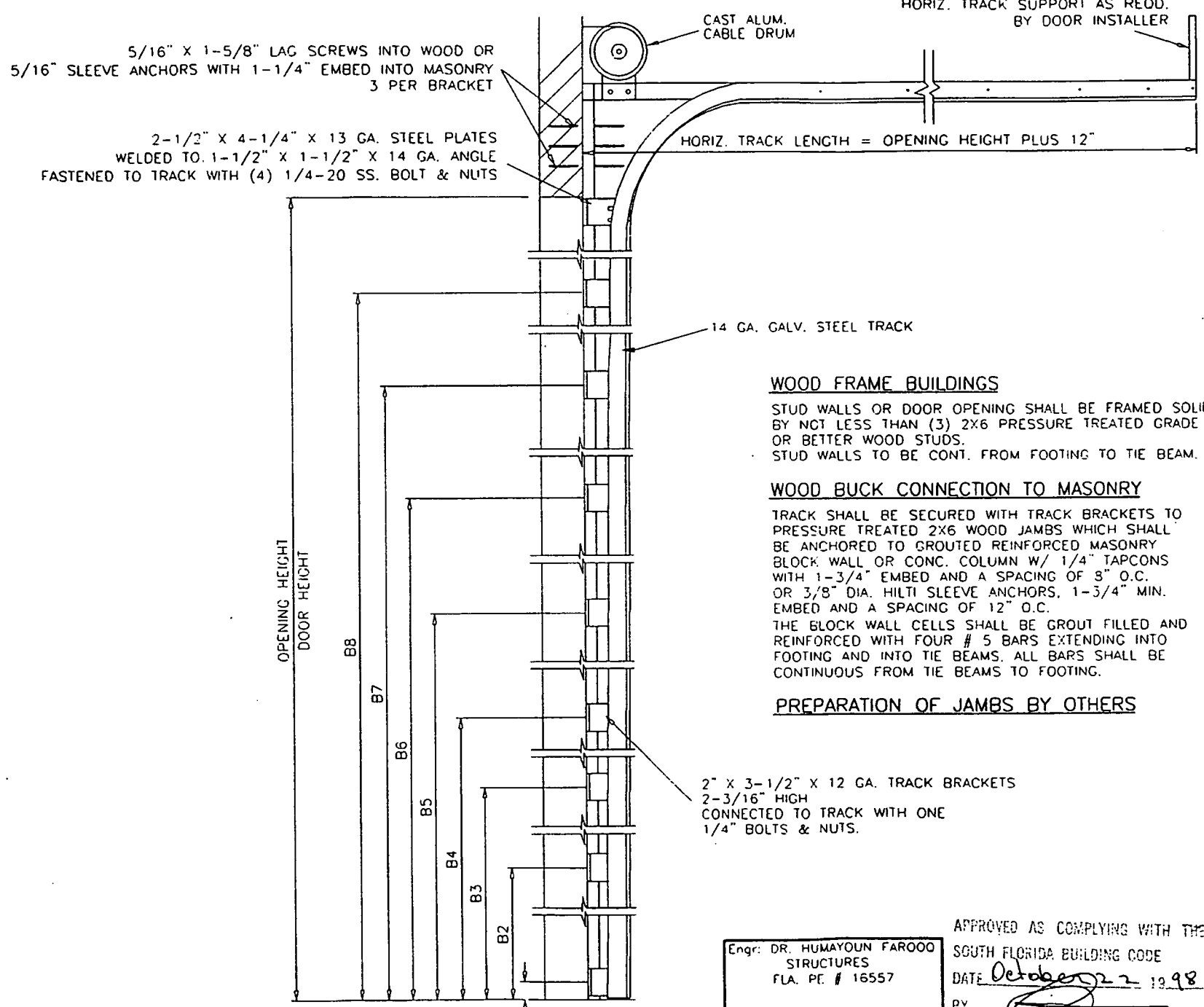
AUG 25 1998

drawing no. 98-05 Sheet 2 of 3	date: 02-23-98 scale: dr. by: HAMID chk. by:	revisions: no date by description	SECTIONAL RESIDENTIAL GARAGE DOOR DAB DOORS INC. 12195 N.W. 98 TH. AVE. HIALEAH GARDENS, FL. 33016 TEL. (305) 556 - 6624	AL-FAROOQ CORPORATION ENGINEERS, PLANNERS & PRODUCT DESIGN 1235 SW 87 AVE MIAMI, FLORIDA 33174 TEL. (305) 264-8100 FAX. (305) 262-6978	a f c
				GARAGE 98-05DAB	



DOOR HEIGHT	SECTION HEIGHTS					BRACKET PLACEMENTS							
	1ST	2ND	3RD	4TH	5TH	B1	B2	B3	B4	B5	B6	B7	B8
6'-0"	18"	18"	18"	18"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
6'-6"	21"	18"	18"	21"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
7'-0"	21"	21"	21"	21"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"
7'-6"	18"	18"	18"	18"	18"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"
8'-0"	21"	18"	18"	18"	21"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"

*-SECTIONS ARE NUMBERED STARTING AT THE BOTTOM FOR DOORS MORE THAN 8 FT. HIGH, USE ADDITIONAL TOP BRACKETS AT 10" O.C.



WOOD FRAME BUILDINGS

STUD WALLS OR DOOR OPENING SHALL BE FRAMED SOLID BY NOT LESS THAN (3) 2X6 PRESSURE TREATED GRADE 2 OR BETTER WOOD STUDS. STUD WALLS TO BE CONT. FROM FOOTING TO THE BEAM.

WOOD BUCK CONNECTION TO MASONRY

TRACK SHALL BE SECURED WITH TRACK BRACKETS TO PRESSURE TREATED 2X6 WOOD JAMBS WHICH SHALL BE ANCHORED TO GROUTED REINFORCED MASONRY BLOCK WALL OR CONC. COLUMN W/ 1/4" TAPCONS WITH 1-3/4" EMBED AND A SPACING OF 8" O.C. OR 3/8" DIA. HILTI SLEEVE ANCHORS, 1-3/4" MIN. EMBED AND A SPACING OF 12" O.C. THE BLOCK WALL CELLS SHALL BE GROUT FILLED AND REINFORCED WITH FOUR # 5 BARS EXTENDING INTO FOOTING AND INTO THE BEAMS. ALL BARS SHALL BE CONTINUOUS FROM THE BEAMS TO FOOTING.

PREPARATION OF JAMBS BY OTHERS

2" X 3-1/2" X 12 GA. TRACK BRACKETS 2-3/16" HIGH CONNECTED TO TRACK WITH ONE 1/4" BOLTS & NUTS.

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PATENT PENDING

Engr: DR. HUMAYOUN FAROOQ STRUCTURES FLA. PE. # 16557

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE October 22 1998
 BY [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0901-09

AUG 25 1998

AL-FAROOQ CORPORATION
 ENGINEERS, PLANNERS & PRODUCT DESIGN
 1235 SW 87 AVE
 MIAMI, FLORIDA 33174
 TEL. (305) 264-8100 FAX. (305) 262-6978
 GARAGE 198-05DAB

DAB DOORS INC.
 12195 N.W. 98 TH. AVE.
 HIALEAH GARDENS, FL. 33016
 TEL. (305) 556 - 6624

SECTIONAL RESIDENTIAL GARAGE DOOR

revisions:

no	date	description

date: 02-23-98
 scale:
 dr. by: HAMID
 chk. by:

drawing no. **98-05**
 sheet 3 of 3

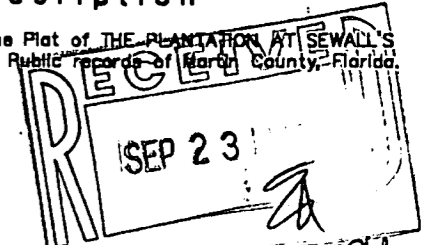
(UNPLATTED)

NORTH LINE THE PLANTATION AT SEWALL'S POINT

Boundary Survey For: Steve Conway

Legal Description

Being all of Lot 20, according to the Plat of THE PLANTATION AT SEWALL'S POINT, as recorded in Plat Book 12, Page 70, Public Records of Marion County, Florida.



Legend

Fd. ----- Found
 R/W ----- Right-of-way line
 PCP ----- Permanent Control Point
 CM ----- Concrete Monument
 PP ----- Power Pole
 (C) ----- Calculated Data
 ORB ----- Official Records Book
 ID ----- Identification Number

(M) ----- Measured Data
 IR ----- Iron Rod
 (P) ----- Plat Data
 IP ----- Iron Pipe
 Conc. ----- Concrete
 A/C ----- Air Conditions
 Pg. ----- Page
 TT ----- Tin Tab

TOWN COPY
17 BE COPIED AND
FORWARDED

General Notes

- The bearings shown hereon are referenced to the Centerline of N. E. Lofting Way, having a bearing of S 86°29'02" E, according to Plat of THE PLANTATION AT SEWALL'S POINT.
- All above ground fixed improvements, if any, have been located and shown hereon.
- Underground utilities and utility services have not been located on this survey.
- Flood Note: By graphic plotting only, this property is in Zone "C" according to the Flood Insurance Rate Map, Community Panel No. 120184 0001 D, effective date August 15, 1978, (revised 6/16/82). The exact designation can only be determined by an elevation certificate.
- Elevations shown hereon are referenced to NGVD, as based on U.S.-Army Corps of Engineers Bench Mark IWM-5, having an elevation of 4.395 feet.

Certification

(Not valid unless sealed with an embossed Surveyor's seal)

I HEREBY CERTIFY to Steve Conway that the survey of the property shown hereon was completed under my direction on July 18, 1995 and said survey is true and correct to the best of my knowledge and belief. There are no encroachments other than those shown hereon.

I FURTHER CERTIFY that this survey meets the Minimum Technical Standards as set forth by the Florida Board of Land Surveyors pursuant to Section 472.027, Florida State Statutes. No search of the public records has been made by this office. This survey is based on information furnished by the client or the client's representative.

9/21/99
Date of Signature

Richard W. Busell
Richard W. Busell
Professional Surveyor & Mapper
Florida Certificate No. 3858

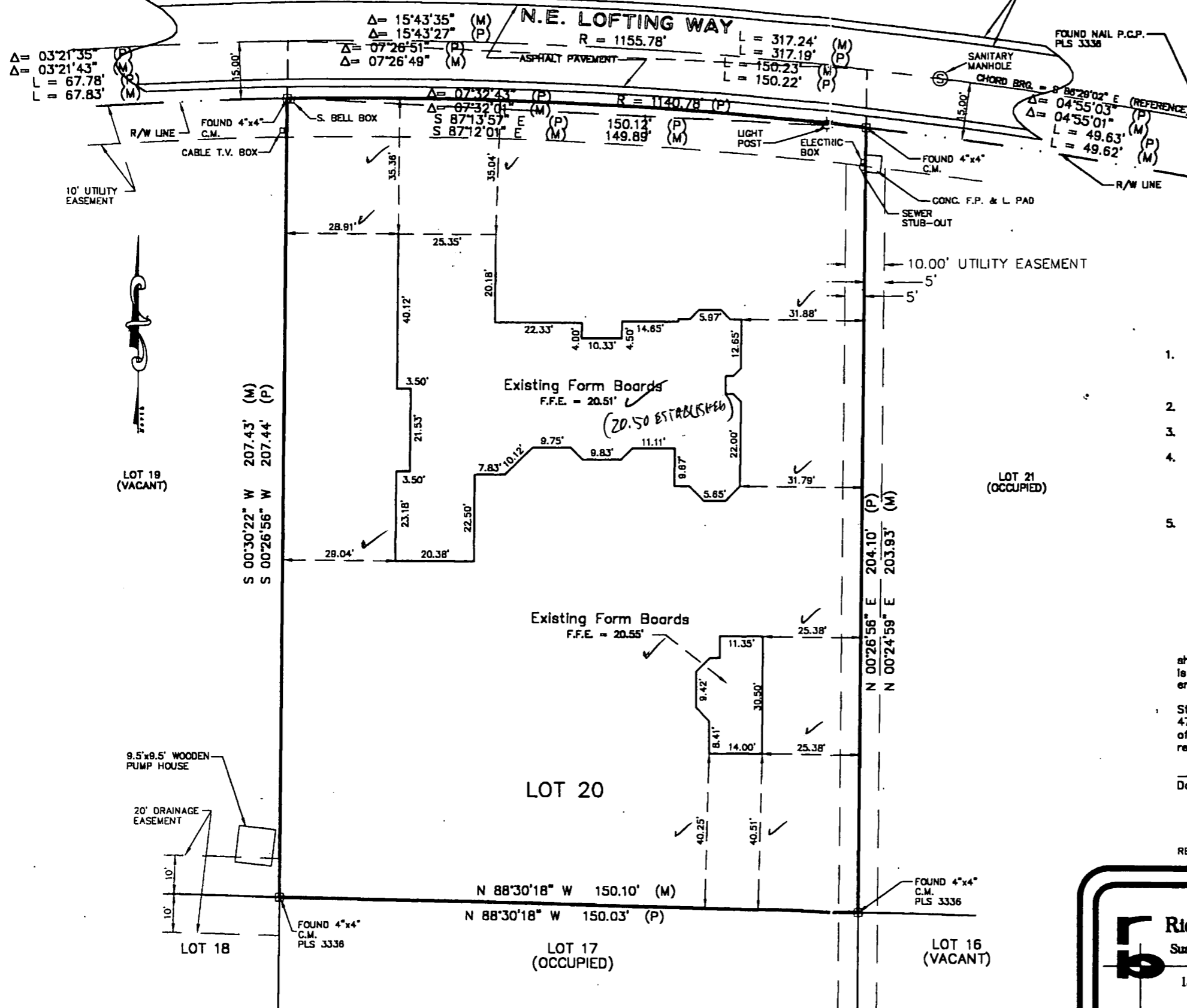
REVISION: Added Form Board Tie-in 9-20-99

PD4659

Richard W. Busell, Inc.
 Survey Sciences, Mapping & Consulting
 1320 S. Federal Highway, Suite 101
 Stuart, Florida 34984
 Phone (561) 220-8360 Fax (561) 220-2317

Boundary Survey For:
Steve Conway
 Town of Sewall's Point, Marion County, Florida

Scale: 1" = 30'
 Date: 7/13/99
 Drawn By: rwb
 Checked: []
 File & Drawing No.: 99-2-1072-01-01
 Sheet: 1 of 1



TOWN OF SEWALL'S POINT

BUILDING DEPARTMENT
One South Sewall's Point Road
Sewall's Point, Florida 34996
Tel: (561) 287-2455
Fax: (561) 220-4765

September 13, 1999

Stephen P. Conway
One Rivercrest Ct.
Sewall's Point, FL 34996

Re: **17 N.E. Lottis Way, PN 4650**
Plan Review Notes

Dear Mr. Conway:

In response to your follow-up inquiry to Commissioner Kissling of September 9, 1999, which I received by fax on September 10, 1999, code references for the specific items you have questioned are as follows:

Item 3. Required 1 hr. fire separation of garage from residence.

SFBC 1503.1(3) *A garage attached to a residence, shall be separated therefrom by a 1-hr. fire-resistive construction. The only openings in such fire separations shall be personnel doors not entering directly into bedrooms, and trap doors to attic spaces. Personnel doors shall be protected on the garage side with not less than 26-gage sheet metal or 1/4" rigid board, or shall be 1-3/8" solid-core doors, and such doors shall be equipped automatic closers. The floor of the main Occupancy shall be not less than 7 inches above the garage floor.*

Note: A further requirement under this section, not included in my plan review notes for permit issuance (as compliance may be achieved in garage door mandatory submittals - or field construction) provides:

SFBC 1506.1 *Closed garages shall be provided with fixed louvers or screened openings through the exterior walls for ventilation at or near the floor level, the clear effective area of which shall be not less than 60 sq.in. per motor vehicle accommodated. The total required effective area shall be located within 7" of the highest part of the garage floor.*

Item 4. 1 hr. rated closet w/self-closing rated door required for A/C encl. in garage.

SFBC 4904.2(b) *In CAR Garage (new construction)*
SFBC 4904.2(b)(1) *Return air shall be direct ducted.*
SFBC 4904.2(b)(2) *Air handler and ducts shall be protected by a one hour rated closet with a self closing door and an air tight seal around the door.*
SFBC 4904.2(b)(3) *Closet shall be large enough to allow for proper sealing of duct and service of air handler, but no larger than necessary. No storage in closet.*
SFBC 4904.2(b)(4) *Exposed ducts in garage shall be protected by a one hour rated enclosure.*

September 13, 1999
Stephen P. Conway

Item 6. Submit required mechanical plans for review and approval prior to 1st mandatory inspection (U/G rough or framing).

SFBC 302.2(e)(8) All plans shall contain the information required above in appendixes A and B of this Code.

SFBC Appendix A H.V.A.C. PLAN INFORMATION
Required on all projects.

(Recommend that same orientation as Floor Plan be used).

Scale: 1/4"=1'-0"min. req'd by SFBC for all buildings less than 5000 sq. ft. or equivalent metric scale. Recommend same scale as plan be used.

Dimensions: Non-typical conditions.

System: All ducts and diffuser sizes, fan coil and condensing unit location, specifications and CFM's per outlet.

Schedules: Equipment may be coded and have their specifications listed on a schedule.
Energy Calc's. As required per Energy Code, including heat and cooling load calculations.

Note: These submittals are required at the time of permit application under the SFBC. Exception for later submittal was permitted to expedite permit processing.

Item 8. Window/door submittals in accordance w/Miami-Dade County Product Approval to be submitted prior to framing inspection.

SFBC 302.2(e)(7) Prior to the request and/or performance of structural inspections, the engineer or architect shall submit all related shop drawings, product approval letters and delegated engineer drawings from manufacturers to the building department for approval.

SFBC 305.1(b) APPROVAL OF CONSTRUCTION PRODUCTS AND ASSEMBLIES:

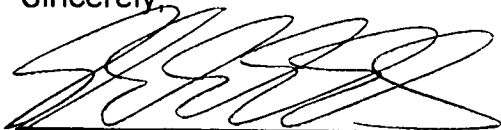
SFBC 305.1(b)(1) thru (6) Detail the product approval process (full text attached).

SFBC 3513.1 Unless exterior wall components including but not limited to structural glazing, doors and windows of enclosed buildings, are specifically designed and constructed to preserve the building envelope against wind pressures as set forth in Section 2309 of this Code, and impact loads as set forth in Section 2315 of this Code, all such components shall be protected by engineered storm shutters.

Enclosed are copies of the referenced Code sections, together with additional structural provisions relating to wind loads, impact testing, and door, window and storm shutter design and approval - although specific provisions must always be interpreted as they relate to the entire Code structure.

Please feel free to contact me if you have any questions.

Sincerely,

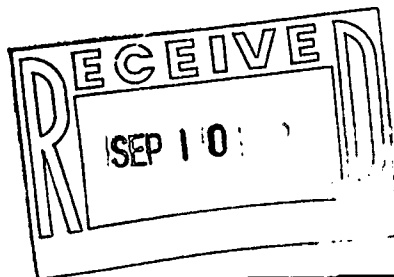


Edwin B. Arnold, Building Official

cc: Building Commissioner

FAX COVER SHEET

Stephen P. Conway
 State Certified residential Contractor
 One Rivercrest Ct
 Sewalls Point, Florida 34996
 CRC053742
 561 220-0064
 561 220-8601 fax



SEND TO Company name	From Steve Conway
Attention CV KISSLING	Date 9-9-99
Office location	Office location
Fax number 221-1249	Phone number

- Urgent
 Reply ASAP
 Please comment
 Please review
 For your information

Total pages, including cover: _____

COMMENTS

CV, JUST A FOLLOW UP REGARDING BLDG
 DEPT. SUPPLYING DOCUMENTATION FOR
 #1'S 3, 4, 6, & ON MY PLAN REVIEW.
 I SPOKE WITH MR. ARNOLD YESTERDAY, HE
 INFORMED ME THAT HE WAS NOT ASKED TO
 SUPPLY ANY DOCUMENTATION RELATIVE TO MY
 PERMIT. I THINK WE BOTH KNOW THAT'S NOT
 THE CASE.
 ANYWAY HE SAID "HE WOULD BE HAPPY TO DO
 SO IF ASKED"
 I AM ASKING YOU, ONLY BECAUSE WE DISCUSSED
 THIS WEEKS AGO.
 THANKS, STEVE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Issued on AUGUST 13th, 1999

BUILDING PERMIT NO. 4659

Building to be erected for STEPHEN P. CONWAY

Type of Permit S.F.R.

Applied for by STEPHEN P. CONWAY, CRC053742 (Contractor)

Building Fee 3,984.00

Division THE PLANTATION Lot 20 Block _____

Radon Fee 55.62

Address 17 N.E. LEFTING WAY

Impact Fee 1,508.20

Use of structure SFR W/GUESTHOUSE

A/C Fee 120.00

Parcel Control Number:

Electrical Fee 120.00

263741013 000002004 0000

Plumbing Fee 120.00


Amount Paid \$ 6,027.82 Check # 2237 Cash _____

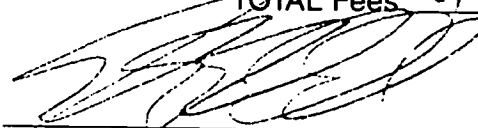
Roofing Fee 120.00

Other Fees (PLAN REVIEW) 398.40

TOTAL Fees \$ 6,426.22

Estimated Construction Cost \$ 415,000.00

Applicant 

Signed 
Town Building Inspector OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDSCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

**This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One South Sewall's Point Road
Sewall's Point, Florida 34996
Tel: (561) 287-2455
Fax: (561) 220-4765

FAX TRANSMITTAL 2 PAGES

TO: CONWAY 220-8601

FROM: ARADOL 220-4765

8/8/99

PLAN REVIEW NOTES PAGE 1 OF 2

SINGLE FAMILY RESIDENCE; ADDITION; DOCK; POOL; FENCE; _____

OWNER: STEPHEN P. CONWAY; ADDRESS: 1 RIVER CREST, SEWALL'S POINT

PROJECT ADDRESS: 17 N.E. LOFTING WAY; LEGAL: LOT 20 BLK _____ SUB THE PLANTATION

GENERAL CONTRACTOR: STEPHEN P. CONWAY; LIC/CERT NO. CRC 053742

ADDRESS: 1 RIVER CREST ROAD, SEWALL'S POINT; TEL 220-0064; FAX 220-8601

ARCHITECT OR ENGINEER: M. A. CORSON & ASSOCIATES, INC.
MARK A. CORSON, AIA; LIC/REG. NO. 0012984

ADDRESS: 7374 S.E. FIDDLEWOOD LAKE, HOBE SOUND; TEL 223-8227; FAX _____

Review of the application, supporting documents, plans and specifications submitted on the above project indicate the following items are required for submittal and/or revision:

1. SITE PLAN SURVEY TO BE REVISED & RESUBMITTED AT SUFFICIENT SCALE (MINIMUM 1"=20') TO SHOW REQUIRED INFORMATION.
 - A. LOCATIONS & DIMENSIONS OF ALL SETBACKS & EASEMENTS REQUIRED BY TOWN CODE.
 - B. SIZES & LOCATIONS OF ALL BLDGS. & STRUCTURES, AND IMPERMEABLE AREAS, RELATIVE TO ALL FOUR (4) LOT LINES AS WELL AS THE ELEVATIONS OF BUILDINGS.
 - C. TOPOGRAPHIC SURVEY DATA INDICATING GRADE CHANGES PROPOSED FOR THE SITE, AND DRAINAGE DETAILS.
 - D. AREA CALCULATIONS: LOT, BLDG., TOTAL IMPERMEABLE & % PERM./IMPERM. AREAS.
 - E. IDENTIFICATION/DESCRIPTION TABULATION OF TREES TO BE REMOVED/RELOCATED.
2. ALL BUILDINGS AND STRUCTURES (EXCEPTION: BOUNDARY WALL OF FENCE) MUST COMPLY WITH 25' SIDE YARD SETBACK WHEN ACCESS. BLDG. PROVIDED.
3. REQUIRED 1 HR. FIRE SEPARATION OF GARAGE FROM RESIDENCE
4. 1 HR. FIRE CLOSET W/ SELF-CLOSING RATED DOOR REQUIRED FOR A/C ENCLOSURE IN GARAGE.
5. CODE REFERENCES NOTES S/B MIAMI-DADE COUNTY ED. OF S.F.B.C.

Prepared By: CONTINUED ON PAGE 2 Title: _____ Date: _____

EA

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One South Sewall's Point Road
Sewall's Point, Florida 34996
Tel: (561) 287-2455
Fax: (561) 220-4765

PLAN REVIEW NOTES PAGE 2 OF 2

SINGLE FAMILY RESIDENCE; ADDITION; DOCK; POOL; FENCE; _____

OWNER: STEPHEN P. CONWAY; ADDRESS: _____

PROJECT ADDRESS: 17 N.E. LOFTING WAY; LEGAL: LOT _____ BLK _____ SUB _____ SEE PAGE 1

GENERAL CONTRACTOR: _____; Lic/CERT No. _____

ADDRESS: _____; TEL _____; FAX _____

ARCHITECT OR ENGINEER: _____; Lic/REG. No. _____

ADDRESS: _____; TEL _____; FAX _____

Review of the application, supporting documents, plans and specifications submitted on the above project indicate the following items are required for submittal and/or revision:

~~6. SUBMIT REQUIRED MECHANICAL PLANS FOR REVIEW & APPROVAL PRIOR TO 1ST MANDATORY INSPECTION (W/G ROUGH OR FRAMING)~~

7. STAIR & HANDRAIL DESIGN/DETAILS TO BE SUBMITTED FOR REVIEW & COMPLIANCE APPROVAL (NFPA 101-1994) PRIOR TO FRAMING INSPECTION. PLATFORM REQUIRED AT "FUTURE BONUS ROOM" STAIR.

~~8. WINDOW/DOOR SUBMITTALS IN ACCORDANCE W/MIAMI-DADE COUNTY PRODUCT APPROVAL TO BE SUBMITTED PRIOR TO FRAMING INSPECTION.~~

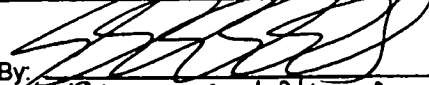
9. ENGINEERED STORM SHUTTERS - SEPARATE "NO-FEE" PERMIT REQ.*

10. ROOFING - SEPARATE "NO-FEE" PERMIT REQUIRED.*

*SUBSEQUENT TO ISSUANCE OF PRIMARY BUILDING PERMIT.

11. CERTIFICATE OF LIABILITY INSURANCE W/TOWN OF SEWALL'S POINT AS CERTIFICATE HOLDER.

12. TREE REMOVAL PERMIT FEE \$100.00 (ISSUED W/ BLDG. PERMIT)

Prepared By:  Title: BLDG OFFICIAL Date: 8/7/99
EDWIN B. ARNOLD

302.1(f) (1) Within 15 days after plans submitted for a building permit have been processed, the Building Official shall notify the applicant in writing that a permit is ready for issuance or that additional information is required.

(2) After 60 calendar days from the date of such notification, where such additional information has not been submitted or the permit has not been purchased, the application and/or permit shall become null and void.

(3) Where an application and/or permit has become null and void, an applicant shall be processed as though there had been no previous application.

302.2 PLANS AND SPECIFICATIONS:

(a) (1) Application for permit shall be accompanied by two sets of plans as set forth herein.

(2) Where required by the Building Official, a third copy of the plan showing parking, landscaping and drainage shall be provided.

(3) The elevation above mean sea level (MSL) of the top of all first floors shall appear on all construction plans and the Building Official shall require that such elevations be transferred to the accompanying application for permit.

(4) At any time during the course of construction, the Building Official may require the submittal of a first floor elevation survey, as built.

(b) (1) Each sheet of plans, and the cover sheet of specifications, for buildings and structures; alterations; repairs and improvements; replacements and additions; costing \$15,000 or more, as determined by the provisions of Subsection 104.5 of this Code, shall bear the date and the impress seal and signature of a licensed Architect or registered Professional Engineer, as defined in Section 401 of this Code.

(2) The Building Official may require that, regardless of cost where such construction involves structural design, the plans bear the impress seal of a Professional Engineer, as defined in Section 401 of this Code.

(3) Plans, procedures and specifications for the shoring and reshoring of all buildings and structures shall be prepared by and bear the impress seal and signature of a Professional Engineer duly registered in the State of Florida, and shall be submitted to the Building Official before issuance of the Building Permit.

302.2(c) (1) Plans for work which is preponderantly of architectural nature shall be prepared by and bear the impress seal of a registered Architect, and such work which involves extensive computation based on structural stresses shall, in addition, bear the impress seal of a Professional Engineer.

(2) Plans for work in which definite mechanical or electrical problems are involved shall, at the discretion of the Building Official, be prepared by and bear the impress seal of a Professional Engineer.

(d) Plans for work which are preponderantly of a structural nature shall be prepared by and bear the impress seal of a Professional Engineer.

(e) (1) Plans shall be mechanically reproduced prints on substantial paper or cloth showing completely all foundations, wall sections, floor plans, roof plans and elevations at a convenient scale which in the case of buildings with a floor area of less than 5000 square feet shall be not less than 1/4 inch equals one foot, and main details at a scale not less than 3/4 inch equals one foot.

(2) Together with the use or occupancy of all parts of the building, a plot plan showing all occupied and unoccupied portions of the lot or lots, and complete structural, mechanical, plumbing and electrical plans, and such other reasonable information as may be required to clearly show the nature, character and location of the proposed work, and to fully define the design of all of the construction elements.

(3) Included with the drawings, other items to be submitted shall be stress diagrams, structural load calculations, results of site soil tests, floor plans of existing buildings to which additions are proposed, roof framing plans with permanent bracing and lateral wind and uplift forces calculations.

(4) Any specifications, or notes on the plans in which general expressions are used to the effect that "work shall be done in accordance with the Building Code" or "to the satisfaction of the Building Official" shall be deemed imperfect and incomplete, and every reference to this Code shall be by section or subsection number applicable to the materials to be used, and the methods of construction proposed.

(5) Each sheet of submitted plans shall be identified with a title box that includes name, address, phone number(s), state registration number, discipline, signature, date and embossed seal of the Architect or Engineer of record and any professional consultant specially retained to design any part of the work.

(6) Each sheet of the submitted plans shall be identified with a title box that includes name, address and phone number(s) of the owner.

302.2(e) (7) Prior to the request and/or performance of structural inspections, the engineer or architect of record shall submit all related shop drawings, product approval acceptance letters and delegated engineer drawings from manufacturers to the building department for approval. The engineer or architect of record shall review, approve and certify that these documents comply with his/her design criteria. Approved copies of all these documents must be available for inspector's review at the job site and will become part of the originally approved plans.

(8) All plans shall contain the information required above in Appendixes A and B of this Code. The information shall be presented in substantially the form described in Appendixes A and B of this Code.

(f) Application for permit for new construction and additions shall be accompanied by a registered land surveyor's certificate and plan in duplicate on which shall be clearly indicated the property-corner stakes, property-line dimensions, existing structures and their location, existing right-of-way, sidewalks, easements, street zoning and property zoning of record, critical elevations and building setbacks required by law, general block plan and other pertinent survey data which may be required. The Building Official may waive the requirements for such survey when property-line stakes are existing and known to be in place, and the work involved is minor and/or is clearly within building lines.

(g) (1) The Building Official may authorize the issuance of a permit without plans and specifications for small or unimportant work, but in no instance where the work is of a structural nature except as set forth in Subparagraph 302.2(g) (2) hereinbelow.

(2) The Building Official may authorize the issuance of a permit for a single-family fallout shelter without a professional seal on the plans where the cost of such work does not exceed \$5,000.

(h) Where plans bear the impress seal of more than one Architect or Engineer, the first sheet of the plans shall designate a Prime Professional, as defined in Section 401 of this Code, and shall bear that individual's signature and impress seal.

302.3 APPLICATION FOR EXAMINATION OF PLANS:

a) Plans for proposed construction, where such plans are required by this Code to be prepared by and bear the impress seal of a licensed Architect or registered Professional Engineer, shall be submitted by the licensed Architect or registered Professional Engineer of record or his/her authorized representative.

(b) Application for permit will not be required for examination of plans prepared and submitted by a licensed Architect or registered Professional Engineer.

305.1(a)(Cont.)

(4) It shall be the duty of the permit holder to cause the work to remain accessible and exposed for inspection purposes. Neither the Building Official nor the jurisdiction shall be liable for expense incurred in the removal or replacement of any material for purposes of a required inspection.

(5) When deemed necessary to assure compliance with this Code, the Building Official may make inspection of construction products and assemblies at the point of manufacture or fabrication.

(b) APPROVAL OF CONSTRUCTION PRODUCTS AND ASSEMBLIES:

(1) Any person or firm desiring to supply, furnish, manufacture or fabricate construction products or assemblies, to the extent required by Section 204 of this Code shall make application for approval by the Chief Building Code Compliance Officer, in accordance with the administrative order governing product approval.

(2) The application shall be made on forms approved by the Chief Building Code Compliance Officer, in accordance with the administrative order governing product approval and shall set forth and describe plant methods, personnel, equipment, control procedure, and such other information as may be required to insure compliance of the product or assembly with this Code.

(3) The Chief Building Code Compliance Officer may approve such product, plant or manufacturing procedure and issue a Certificate of Competency or product approval, as appropriate, after payment of the required fee, upon a finding that such project, plant or manufacturing procedure complies with this Code. The Chief Building Code Compliance Officer may establish conditions and limitations on the use of any product submitted for approval.

(4) The Chief Building Code Compliance Officer may deny, suspend or revoke a product approval or Certificate of Competency upon a finding that a product, plant or procedure does not comply with this Code or violates a condition of its approval.

(5) The manufacturer's or fabricator's name or insignia shall be clearly indicated on each prefabricated structural assembly.

(6) Appeal from a decision of the Building Official to refuse to accept a product or assembly which has been previously approved by the Chief Building Code Compliance Officer shall be to the Building Code and Product Review Committee, in accordance with the administrative order governing product approval.

1503 REQUIREMENTS BY DIVISION**1503.1 DIVISION 1:**

(1) Where more than three motor vehicles are stored in an enclosed garage, such building shall be equipped with an extinguisher or extinguishers providing not less than 1 unit of fire protection.

(2) Floors of porte-cocheres and carports attached to buildings of other than Group I Occupancies and floors of enclosed garages shall be of nonabsorbent and noncombustible material. Asphalt paving shall be permitted in porte-cocheres and carports of Group I Occupancy. When a porte-cochere or carport is enclosed for any purpose the floor shall conform to the requirements of the proposed use.

(3) A garage attached to a residence, shall be separated therefrom by 1-hr. fire-resistive construction. The only openings in such fire separations shall be personnel doors not entering directly into bedrooms, and trap doors to attic spaces. Personnel doors shall be protected on the garage side with not less than 26-gage sheet metal or 1/4" rigid board, or shall be 1-3/8" solid-core doors, and such doors shall be equipped with automatic closers. Trap doors to attic spaces shall be fire-resistive. The floor of the main Occupancy shall be not less than 7 inches above the garage floor.

EXCEPTION: Carports and porte-cocheres, as defined in Chapter 4 of this Code, shall not be required to have a 1-hr. fire-resistive separation from the residence.

(4) Where any garage, porte-cochere or carport is located under another Occupancy, there shall be not less than 1-hr. fire-resistive construction, separating such Group J. Division 1 Occupancy from Group I Occupancy and not less than 2-hour fire-resistive construction separation from all other Occupancies.

1503.2 DIVISION 2: Isolated tanks for the storage of liquids or gases, radio towers, flag poles and similar structures may be constructed of unprotected steel or iron, and tanks for the storage of water on the roofs of buildings may be of wood or unprotected steel, enclosed with walls and roof as required for the building.

1503.3 DIVISION 3: Commercial and non-commercial marinas shall be classed as follows:

(a) Class A marinas shall include piers associated with Group I Occupancies, and piers and accessory structures for Group H Occupancies with total pierage not to exceed 100 linear feet and no pier greater than 25'-0" in length, providing slips for screw-driven vessels. No fueling or live-aboard utilities shall be permitted, and Class A marinas shall be further limited to the following facilities and services:

(1) Launching ramps and small hoists with a maximum rated lift capacity of 5000 pounds for the launching and removal of watercraft.

1505 EGRESS FACILITIES

1505.1 Means of egress for Group J Occupancies shall be as set forth in Chapter 31 of this Code. (See section 3112 of this Code for specific requirements for Group J Occupancies.)

1506 LIGHT AND VENTILATION

1506.1 DIVISION 1: Closed garages shall be provided with fixed louvers or screened openings through the exterior walls for ventilation at or near the floor level, the clear effective area of which shall be not less than 60 sq. in. per motor vehicle accommodated. The total required effective area shall be located within 7" of the highest part of the garage floor.

1506.2 DIVISIONS 3 and 4: All portions customarily used for human occupancy shall have light and ventilation as provided in the occupancy most suitably applicable.

1507 PROTECTION OF VERTICAL OPENINGS

1507.1 Vertical openings shall be protected as set forth for the type of construction in Part V and as required for the group of occupancy in Chapter 31 of this Code.

1507.2 Vertical opening not required to be enclosed and abrupt differences in floor level shall be safeguarded as set forth in Section 516 of this Code.

1508 SPECIAL PROVISIONS

1508.1 Automatic-sprinkler systems, fire extinguishers, fire alarm systems and standpipes shall be as set forth in Chapter 38 of this Code.

1508.2 Chimneys, flues and vents and heat-producing apparatus shall be as set forth in Chapter 40 of this Code.

1508.3 The service of hazardous utilities shall be as set forth in Section 509 of this Code and other portions of this Code applicable thereto.

1508.4 Electrical installations shall be as required herein and as specified in Chapter 45 of this Code.

1508.5 Transformer vaults shall be as set forth in Section 4101 of this Code.

1508.6 The storage of flammable materials shall be as set forth in Chapter 41 of this Code.

**TABLE 23-B3
PERCENTAGE ALLOWABLE LIVE LOAD REDUCTIONS FOR
MANUFACTURING BUILDINGS, STORES AND GARAGES**

Load	Allowable Reduction %
Roof.....	0
Roof and one floor.....	0
Roof and two floors.....	10
Roof and three floors.....	20
Roof and four or more floors.....	30

(cc) In no case shall the total live load reductions for girders exceed those set forth in Subsection 2308.3 hereinbelow.

2308.3 MAXIMUM ALLOWABLE REDUCTIONS FOR GIRDERS;

(a) A reduction of the total live load used in the design of girders based on a specific tributary floor area shall be permitted as set forth in Table 23-B4 hereinbelow.

(b) This reduction shall not be in addition to the permitted column reduction nor shall such reduction be used in design of buildings to be used or occupies as places of public assembly, warehouses or for other storage purposes.

**TABLE 23-B4
GIRDER LIVE LOAD REDUCTIONS**

Tributary Floor Area in square feet	Allowable Reduction %
100.....	5%
200.....	10%
300 or more.....	15%

2309 WIND LOADS

2309.1 GENERAL:

(a) Buildings and structures, and every portion thereof, shall be designed and constructed to meet the requirements of Section 6 of Standard 7-88 of the American Society of Civil Engineers (ASCE 7-88) entitled "Minimum Design Loads for Buildings and other Structures", as more specifically defined in this Section, based on a fifty-year mean recurrence interval.

2309.1 (b) All buildings and structures within Dade County shall be considered to be at the hurricane oceanline for purposes of application of the Importance Factor, I (Windload) contained within Table 5 of ASCE 7-88.

(c) Buildings and structures in the coastal building zone, as that term is defined in Subsection 2302.1 above, shall be considered to be in Exposure Category D as defined in Section 6.5.3 of ASCE 7-88.

(d) All buildings and structures not in the coastal building zone shall be considered to be in Exposure Category C as defined in Section 6.5.3 of ASCE 7-88.

(e) All references in this Code to former Subsections 2309.1 through 2309.3 shall be understood to refer to this Subsection 2309.1 and the Standards contained herein.

2309.4 OVERTURNING MOMENT AND UPLIFT:

(a) Computations for overturning moment and uplift shall be based on the building as a whole and shall include appropriate vertical surface shape factors.

(b) Overturning stability of any building, structure or part thereof taken as a whole shall be provided, and shall be not less than 150 percent of its wind load overturning moment.

(c) Uplift stability shall be provided for any building, structure, part thereof or isolated component thereof and shall be not less than 150 percent of the wind load uplift thereon.

(d) Stability may be provided by dead loads, anchors, attachments, the weight of earth superimposed over footings or anchors, the withdrawal resistance of piles or the resisting moment of vertical members embedded in the ground.

2309.5 STRESSES:

(a) For members carrying wind stresses only, and for combined stresses due to wind and other loads, the allowable stresses and the allowable loads on connections may be increased 33-1/3 percent from the maximums set forth in this code for the materials used.

EXCEPTIONS: (1) Such increased stresses shall not apply to foundations except as provided in Section 2312 herein.

2314.2(Cont.) live load shall deflect not more than as set forth in Subsection 2303.2 herein, and that the material or assembly shall sustain dead load plus twice the live load for a period of 24 hours, with a recovery of at least 80% or a 100% recovery after 1/2 test load.

2314.3 ALTERNATE TEST METHODS: When elements, assemblies or details of structural members are such that calculation of their load carrying capacity, deformation under load, or deflection cannot be made by rational analysis, their structural performance shall be established by test in accordance with test procedure as approved by the Building Official based on consideration of all probable conditions of loading.

2314.4 ROOF LOAD TESTING: Load tests on roofing shall comply with Section 3402 of this Code.

2314.5 FATIGUE LOAD TESTING

Where cladding assemblies (including cladding and connections) or roofing framing assemblies (including portions of roof structure and connections) are such that calculation of their load-carrying capacity or deformation under load cannot be made by rational analysis, the assemblies may be tested to resist the fatigue loading sequence given by the following table:

TABLE 23-F
Fatigue loading Sequence

Range of test	Number of cycle*
0 to 0.5p	600
0 to 0.6p	70
0 to 1.3p	1

where p=the design wind load for the height and location, when the assembly will be used. For wall and roof components, shape factors given in the South Florida Building Code as revised by ASCE 7-88 Standard shall be used.

* Each cycle shall have minimum duration of one second and a maximum duration of three seconds and must be performed in a continuous manner.

Assemblies shall be tested with no resultant failure or distress and shall have a recovery of at least 90% over maximum deflection.

Any cladding assembly not incorporated in the South Florida Building Code, after successfully completing the impact test outlined in section 2315 of this Code, shall be subject to fatigue loading testing and shall obtain product approval by the Code Compliance Office.

2315 IMPACT TESTS for windborne debris.

2315.1 Test procedures to determine resistance to windborne debris of wall cladding,

2315.1(Cont.) outside doors, skylights, glazing, glass block, shutters and any other external protection devices shall be performed in accordance to this section.

2315.2 Large missile impact test.

(a) This test shall be conducted on three test specimens. This test shall be applicable to the construction units, assemblies, and materials to be utilized up to and including 30 feet in height in any and all structures.

(b) The test specimens shall consist of the entire assembled unit, including frame and anchorage as supplied by the manufacturer for installation in the building, or as set forth in a referenced specification, if applicable. Fasteners used in mounting the test specimen shall be identical in size and spacing as to what is used in field installations.

(c) The large missile shall be comprised of a piece of timber having nominal dimensions of 2" x 4" weighing 9 lbs.

(d) The large missile shall impact the surface of each test specimen at a speed of 50 ft./sec.

(e) Each test specimen shall receive two impacts (except as noted in 2315.2(e)(1)(aa) and 2315.2(e)(2)(aa): the first within a 5" radius circle having its center on the midpoint of the test specimen and the second within a 5" radius circle in a corner having its center in a location 6 inches away from any supporting members.

(1) For window, glass block, fixed glass and skylight assemblies, both impacts shall be to glass or other glazing infill. For test specimens with more than one lite of glass, a single lite closest to the center of the assembly shall be selected and impacted twice in accordance with 2315.2(e). If a lite of glass is sufficiently small to cause the 5" radius circle to overlap, two separate lites shall be impacted one time each.

(aa) For window, fixed glass and skylight assemblies comprised of different glass thickness, types of glass or different types of glazing infill, each separate thickness or type shall be impacted twice in accordance with 2315.2(e).

(2) For doors, wall cladding and external protection devices, both impacts shall be to the thinnest section through the assembly. For doors, wall cladding and external protection devices with horizontal and/or vertical bracing, both impacts shall be within a single area which is not reinforced and shall be in accordance with 2315.2(e).

(aa) For doors with glass, the glass shall be impacted twice and the thinnest section through the assembly which is not glass shall be impacted twice in accordance with 2315.2(e).

(f) In the case of glazing, if the three test specimens which comprise a test

2315.1(f)(Cont.) successfully reject the two missile impacts, they shall then be subjected to the cyclic pressure loading defined in Table 1.

(1) If external protection devices are employed to protect windows, fixed doors or skylights, they must resist the large missile impacts specified in (c) and (d) without deformations which result in contact with the windows, fixed glass, glass block, and doors or skylights they are intended to protect.

(2) If external protection devices are not designed to be air tight, following the large missile impact test, they must resist an application of force corresponding to those listed on table 23-F of section 2314.5 (Fatigue load testing) of this Code without detaching from their mountings. The acting pressure cycles shall be simulated with loads applied through a mechanical system attached to the shutter specimen to apply uniformly around the shutter perimeter a force equal to the product of the required pressure and the area of the shutter specimen.

(g) If air leakage through the test specimen is excessive, tape may be used to cover any cracks and joints through which leakage is occurring. Tape shall not be used when there is a probability that it may significantly restrict differential movement between adjoining members. It is also permissible to cover both sides of the entire specimen and mounting panel with a single thickness of polyethylene film no thicker than 0.050 mm (2 mils). The technique of application is important in order that the full load is permitted to be transferred to the specimen and that the membrane does not prevent movement or failure of the specimen. Apply the film loosely with extra folds of material at each corner and at all offsets and recesses. When the load is applied, there shall be no fillet caused by tightness of plastic film.

(h) A particular system of construction shall be deemed to comply with this recommended practice if three test specimens reject the two missile impacts without penetration and resist the cyclic pressure loading with no crack forming longer than five inches and 1/16" wide through which air can pass.

(i) If only one of the three test specimens in a test fails to meet the above listed criteria, one retest of this system of construction (another test sequence with three specimen) shall be permitted.

2315.3 SMALL MISSILE IMPACT TEST :

(a) This test shall be conducted on three test specimens. This test shall be applicable to the construction units, assemblies, and materials to be utilized above 30 feet in height in any and all structures.

(b) Each test specimen shall consist of the entire assembled unit, including frame and anchorage as supplied by the manufacturer for installation in the building, or as set forth in a referenced specification, if applicable. The fasteners used in mounting the

2315.3(b)(Cont.) test specimen shall be identical in size and spacing to those to be used in field installations.

(c) The missiles shall consist of roof gravel weighing approximately 2 grams.

(d) Each missile shall impact the surface of each test specimen at a speed of 80 ft./sec.

(e) Each test specimen shall receive thirty small missile impacts (except as noted in 2315.3(e)(1)(aa) and 2315.3(e)(2)(aa)): the first ten distributed uniformly over a two square foot area located at the center of the test specimen, the second ten distributed uniformly over a two square foot area located at the center of the long dimension of the specimen near the edge, and the third ten distributed uniformly over a two square foot area located at a corner of the specimen.

(1) For window and skylight assemblies, all impacts shall be to glass or other glazing infill. For test specimens with more than one lite of glass, a single lite closest to the center of the assembly shall be selected and impacted in accordance with 2315.3(e). If a lite of glass is sufficiently small to cause the 5 inch radius circles to overlap, separate lites may be impacted, however, there must be a total of 30 impacts within the assembly.

(aa) For window, fixed glass and skylight assemblies comprised of glass with different thickness, types of glass or different types of glazing infill, each separate thickness or type shall be impacted in accordance with 2315.3(e).

(2) For doors, wall cladding and external protection devices, all impacts shall be to the thinnest section through the assembly. For doors, wall cladding and external protection devices with horizontal and/or vertical bracing, all impacts shall be within a single area which is not reinforced and shall be impacted in accordance with 2315.3(e).

(aa) For doors with glass, the glass shall be impacted in accordance with 2315.3(e) and the thinnest section through the assembly which is not glass shall be impacted in accordance with 2315.3(e).

(f) In the case of glazing, after completion of the small missile impacts, each test specimen shall then be subjected to the cyclic pressure loading defined in Table 1.

(1) If external protection devices are employed to protect windows, doors or skylights, they must resist the small missile impacts specified in (c) and (d) without deformations which result in contact with the windows, glass, doors or skylights they are intended to protect.

(2) If external protection devices are not designed to be air tight, following the small missile impact test, they must resist an application of force

2315.3(f)(2)(Cont.) corresponding to those listed on table 23-F of section 2314.5 (Fatigue load testing) of this Code, without detaching from their mountings. The acting pressure cycles shall be simulated with loads applied through a mechanical system attached to the shutter specimen to apply uniformly around the shutter perimeter a force equal to the product of the required pressure and the area of the shutter specimen.

(g) If air leakage through the test specimen is excessive, tape may be used to cover any cracks and joints through which leakage is occurring. Tape shall not be used when there is a probability that it may significantly restrict differential movement between adjoining members. It is also permissible to cover both sides of the entire specimen and mounting panel with a single thickness of polyethylene film no thicker than 0.050 mm (2 mills). The technique of application is important in order that the full load is permitted to be transferred to the specimen and that the membrane does not prevent movement or failure of the specimen. Apply the film loosely with extra folds of material at each corner and at all offsets and recesses. When the load is applied, there shall be no fillet caused by tightness of plastic film.

(h) A particular system of construction shall be deemed to comply with this test if three test specimens reject the small missile impacts without penetration and resist the cyclic pressure loading with no crack forming longer than five inches and 1/16" in width through which air can pass.

(i) If only one of the three test specimens in a test fails to meet the above listed criteria, one retest of the system (another test sequence with three specimens) of construction shall be permitted.

Table 1-Cyclic Wind Pressure Loading

Inward Acting Pressure		Outward Acting Pressure	
Range	Number of cycles*	Range	Number of cycles
0.2 P _{MAX} to 0.5P _{MAX}	3,500	0.3P _{MAX} to 1.0P _{MAX}	50
0.0 P _{MAX} to 0.6P _{MAX}	300	0.5P _{MAX} to 0.8P _{MAX}	1,050
0.5 P _{MAX} to 0.8P _{MAX}	600	0.0P _{MAX} to 0.6P _{MAX}	50
0.3 P _{MAX} to 1.0P _{MAX}	100	0.2P _{MAX} to 0.5P _{MAX}	3,350

Notes: P_{MAX} denotes maximum design load in accordance with ASCE 7-88. "Minimum Design Load for Buildings and Other Structures." The pressure spectrum shall be applied to each test specimen beginning with inward acting pressures followed by the outward acting pressures in the order from the top of each column to the bottom of each column.

* Each cycle shall have minimum duration of one second and a maximum duration of three seconds and must be performed in a continuous manner.

2315.4 Test Reports; Approvals and Appeals

As a condition of obtaining product approval for any construction unit, assembly, or material subject to the impact tests set forth in this section, test reports shall be submitted to the Product Control Section of the Building Code Compliance Office. The reports shall

2315.4(Cont.) be in the manner and contain such information relating to the test specimen and testing conditions as shall be required by the Product Control Section of the Building Code Compliance Office, as more specifically set forth in the Administrative Order governing product approval. The report shall be written, signed and sealed by a Florida registered professional engineer.

Approval, conditional approval, or rejection of any product or test shall be in the discretion of the Chief Code Compliance Officer, subject to appeal to the Building Code Committee all as more particularly set forth in the Administrative Order.

2315.5 Authorized delay in implementation

The County Manager is hereby authorized to delay the enforcement of the requirements of this Section in connection with shutters through a date not later than December 1, 1994, in the event that he determines that shutter manufacturers cannot reasonably comply with the requirements of this Section by May 30, 1994. Any delay authorized by this section shall be implemented by Administrative Order of the County Manager not later than May 1, 1994. This Code shall be amended or otherwise properly annotated to reflect any delay in implementation approved pursuant to this Section.

RESISTANCE FACTORS FOR GLAZING MATERIALS

Material	Factor
Laminated ²	0.60
Wired.....	0.50
Heat-Strengthened.....	2.00
Fully-Tempered ³	4.00
Insulating Glass (2 panes).....	1.50
Patterned ⁴	1.00
Sandblasted or Etched ⁵	0.40
Regular (annealed float).....	1.00

Notes:

1. Table values are based on annealed float. See Subparagraph 3508.2(a)(2).
2. Applicable when 2 plies are identical in thickness and type, and based on total thickness.
3. Applicable when each glass pane is of the same thickness and type and based on thickness of 1 pane.
4. Use minimum glass thickness, i.e., measure at the thinness part of pattern. Interpolation may be required.
5. Factor varies depending upon depth and severity of sand blasting. Value given is a minimum. An etched trademark or label not exceeding 2 sq. in. in area shall not be construed to classify the entire sheet as being etched.

(3) Corrugated glass and other special glass shall be limited to spans determined by analysis and test to resist the loads set forth in Chapter 23 of this Code based on fiber stresses not exceeding 4000 psi.

(4) Glass block shall be limited as set forth in Section 2704 of this Code.

3508.3 DOORS AND OPERATIVE WINDOWS IN EXTERIOR WALLS:

(a) DESIGN AND APPROVAL:

(1) The design and approval of sliding doors, swinging doors and operative windows in exterior walls, including the supporting members shall be based on the proposed use-height above grade in accordance with Chapter 23 of this Code.

(2) Where more than 1/2 of the area of such doors and window is glazed, the design and approval shall be supported by tests simulation, as nearly as practicable, the conditions of use at the proposed height above grade.

(3) Maximum glass sizes shall comply with TABLE 35-E herein.

(4) Swinging doors of glass, in exterior walls, without continuous frames shall be of full tempered glass only, and shall be not less than 1/2" in thickness.

(5) Glazing in sliding and in swinging doors shall be safety-glazing complying with Sections 1201.4 and 1201.5 of this Code in 16 CFR 1201, Safety Standard for Architectural glazing Materials, Consumer Product Safety Commission, and as described below.

3508.3(a)(5)(Cont.) (aa) Doors containing glazing material not greater than 9 sq. ft. in surface area shall be classified as Category I glazing products.

(bb) Doors, bath and shower enclosures, and sliding glass doors containing glazing material greater than 9 sq. ft. in surface area shall be classified as Category II glazing products.

(cc) Category I glazing products shall be capable of withstanding a 150 lb. impact test.

(dd) Category II glazing products shall be capable of withstanding a 400 lb. impact test.

(6) Doors shall be designed to be readily operative without contact with the glass.

(b) TESTS:

(1) Operative window and door assemblies shall be tested in accordance with the requirements of this Paragraph, ANSI/AAMA 101, and the forced entry preventions requirements of the Architectural Aluminum Manufacturers Association (AAMA) Standards 1302.5 and 1303.5

EXCEPTION: Door assemblies installed in non-habitable areas where the door assembly and area are designed to accept water infiltration, need not be tested for water infiltration.

(2) Such assemblies with permanent muntin bars shall be tested with muntin bars in place.

(3) Such assemblies shall be installed in accordance with the conditions of test and approval.

(4) Test loads for inward and outward pressures shall be equal to the velocity pressures for the appropriate height in accordance with Table 23-C in Chapter 23 of this Code, as modified by the appropriate shape factor set forth in Paragraph 2309(c) therein, and as further modified by a factor of 1.5.

(5) Comparative analysis of operative windows and glazed doors may be made provided the proposed unit:

(aa) Shall always be compared with a tested and currently approved unit.

(bb) Varies only in width height and/or load requirements.

(cc) Shall not exceed 100% of the proportional deflection for fiber stress of the intermediate members of the approved unit.

3508.3(b)(5)(Cont.) (dd) Shall conform as to extruded members, reinforcement and in all other ways with the tested approved unit.

(ee) Shall not exceed 100% of the concentrated load at the juncture of the intermediate members and the frame of the approved unit.

(ff) Shall not permit more air and water infiltration than the approved unit based on the height above grade.

(6) Pass-through windows for serving from a single-family kitchen, where protected by a roof overhang of 5'-0" or more shall be exempted from the requirements of the water infiltration test.

(c) **CONSTRUCTION DETAILS:** Construction details for fixed glass shall comply with the requirements of this paragraph except that structural glazing as defined in Section 401 of this Code, need not comply with this Paragraph but shall comply with Section 3515 herein.

(1) Each lite of fixed glass more than 3'-0" in width shall have 2 approved setting blocks or approved suspension clamps. Setting blocks shall be Neoprene 70-90 Shore A durometer hardness or approved equal.

(2) Fixed glass lites shall be set in non-corrosive metal frames; and

(aa) Shall comply with applicable requirements of Chapter 23 of this Code for windloads, allowable stresses and load tests.

(bb) Fixed glass lites may be set in wood metal or concrete frames as permitted for the types of construction by Chapters 18 through 22 of this Code.

(3) Wood shall have been preservative treated or shall be of a durable species as defined in Subparagraph 2913.2(a) of this Code.

(4) Attachment shall be as set forth in Section 2309 of this Code and shall be corrosion-resistant.

(5) Glass in fixed lites shall be securely and continuously supported at the perimeter of each sheet unless the design is based on one or more unsupported edges. Supporting members such as division bars and mullions shall be designed by rational analysis to support the wind pressures set forth in Chapter 23 of this Code. Supporting bars shall be attached at the ends to resist the loads set forth in Section 2309 of this Code.

(6) The depth of the glazing rabbet and depth of engagement in the rabbet, for fixed glass, shall be based on consideration of the dimensional reduction due to

3508.3(c)(6)(Cont.) deflection and the dimensional changes due to temperature.

(d) SAFEGUARDS: Glazed panels shall be protected as follows:

(1) Where there is a drop of 4'-0" or more on the far side of fixed glazed panel 24" or more in width, the bottom of which is less than 36" above the near side walking surface, safeguards as set forth in Section 516 of this Code shall be provided.

(2) Where there is a drop of less than 4'-0" on opposite sides of an operable or non-operable glazed panel 24" or more in width and 9 sq. ft. or more in area, 1 of the following safeguards shall be provided where persons might walk into or through such glazing:

(aa) Safety glazing conforming to federal standard 16 CFR 1201.

(bb) An opaque bulkhead not less than 18" higher than the upper level;

(cc) A single horizontal bar of handrail strength requirements not less than 1-1/2" in width measured parallel to the plane of the glazing and located between 24" and 36" above the upper level.

(3) Operable or non-operable glazed panels located adjacent to a door in the same plane shall be of safety glazing as defined in Subparagraph 3508.3(a) (5) herein and when the nearest edge of the glazing materials is within 12" from the door in the closed position and whose bottom edge is less than 48" from the walking surface.

(4) A solar screen may serve as a safeguard where such screen complies with strength requirements of railing.

(e) SAFEGUARDS: Operable windows shall be protected as follows:

(1) Where there is a drop of more than 4'-0" on the far side of such windows and the sill is less than 36" above the near side walking surface, safeguards shall be provided to prevent the fall of persons when such windows are open as set forth in Section 516 of this Code except:

(aa) Where the vent openings are 12" or less in least dimension and are restricted in operation to reject objects as required for safeguard in Paragraphs 516.2(d) and (e) of this Code.

(bb) Slats or grillwork constructed to comply with Standard OSHA-1910, set forth in Subsection 516.1 of this Code, or other construction approved by the Building Official, may be provided in lieu of other safeguards.

3508.3(e)(1)(Cont.) (cc) Where the near side of such windows is less than 4" above the floor and falling objects could present a hazard, toeboards shall be provided as required by 29 CFR 1910.

EXCEPTION: Approved alternate designs.

(2) Where the drop from such windows is less than 4'-0" or where such windows are adjacent to a door, the glazing shall comply with the Subparagraphs 3508.3(d)(2) and 3508.3(d)(3) herein.

3508.4 HAZARDOUS INTERIOR LOCATIONS:

(a) Swinging or sliding doors of glass without a continuous frame shall be of only fully tempered glass not less than 3/8" in thickness.

(b) **SAFEGUARDS:** The glazing in sliding and swinging doors and in shower to tub enclosures, including any glazing within 60" of the finished floor surface in walls surrounding any tub or shower enclosure, shall be safety glazing as set forth in Subparagraph 3508.3(a)(5) herein for Category II Glazing Products.

(c) The glazing in fixed panels adjacent to paths of egress shall comply with Paragraph 3508.2(c) herein.

(d) Glass shall not be solid painted or otherwise concealed where such painted glass may be mistaken for other construction materials.

(e) Glass mirrors of more than 9 sq. ft. in area that are used as surface finish material on walls in public spaces shall be directly secured to supports and shall not be hung.

3508.5 SAFETY GLAZING:

(a) Safety-glazing, where required, shall be as set forth in this Subsection.

(b) Safety-glazing shall comply with standard set forth in Paragraph 3508.1(c) herein for transparent and obscure safety-glazing materials and plastic glazing shall in addition comply with the specifications of Paragraph 3508.5(c) below.

(c) Plastics, with or without reinforcing or acrylic modifiers shall comply with Section 3505 herein, and consideration of dimension reduction caused by deflection and/or dimensional instability of the materials shall be given in the determination of the depth of the glazing rabbet and engagement of the plastic in the rabbet. Plastics shall be limited to spans determined by analysis and test to resist the loads set forth in Chapter 23 of this Code.

3512.1 (b) Wood and wood-products used for wall cladding as non-structural exterior trim, fascia and soffits on buildings of Type I, Type II, and Type III Construction may be used provided such materials comply with Subsection 1812.5 of this Code.

3512.2 ASPHALT SHINGLES: Asphalt shingles shall be applied only to solid wood sheathing and shall be in tin-capped and spot-stuck, as set forth in Chapter 34 of this Code.

3512.3 ROLL SLATE OR FELT: Roll slate or felt shall be applied only to solid wood sheathing and shall be secured by nailing, as set forth in Chapter 34 of this Code.

3512.4 METAL SHINGLES: Metal shingles shall be applied only to solid wood sheathing and shall be secured as set forth in Chapter 34 of this Code.

3512.5 STEEL SIDING: Steel Siding shall be designed and applied as set forth in Subsection 2809.5 of this Code.

3512.6 ALUMINUM SIDING: Aluminum siding shall be designed and applied as set forth in Chapter 30 of this Code.

3512.7 VENEERS: Masonry veneers shall be applied as set forth in Chapter 27 of this Code.

3512.8 COMBUSTIBLE MATERIALS: Combustible Materials and fire-resistive characteristics of all materials shall comply with the requirements for the group of occupancy or type of construction, and the required interior finish rating.

3512.9 OTHER MATERIALS: Any cladding materials or assembly not addressed in this Code shall be classified by the Building Official as the one it most nearly resembles, and shall comply with the requirements for loading and fire resistance herein required for such materials and assemblies.

3513 STORM SHUTTERS *

3513.1 Unless exterior wall components including but not limited to structural glazing, doors and windows of enclosed buildings, are specifically designed and constructed to preserve the enclosed building envelope against wind pressures as set forth in Section 2309 of this Code, and impact loads as set forth in Section 2315 of this Code, all such components shall be protected by engineered storm shutters.

* **NOTE:** See page 35-41 for temporary changes to Section 3513.

3513.2 The storm shutters shall be designed and constructed to insure a minimum of a 1" separation at maximum deflection with components and frames of components they are to protect unless the components and frame are specifically designed to receive the load of storm shutters, and shall be designed to resist the wind pressures as set forth in Section 2309 of this Code by methods admitting of rational analysis based on established principles of design. Storm shutter shall also be designed to comply with the impact load requirements for included within Section 2315 of this Code.

3513.3 The storm shutter design calculations and detailed drawings, including attachment to the main structure, shall be prepared by and bear the seal of a qualified Florida Registered delegated Engineer, or if qualified to prepare such design, by the Engineer or Architect of record, which Architect or Engineer shall be proficient in structural design. The Architect or Engineer of record shall, in all instances, review and approve documents prepared by the delegated Engineer.

3513.4 Storm shutters shall be approved by the Product Control Section of the Building Code Compliance Office and shall bear the name of the company engraved in every section of the system.

3513.5 Deflection shall not exceed the limits set forth in Subsection 2303.3 of this Code.

3513.6 Unless storm shutters are permanently attached to the main structure, all such storm shutters shall, where practicable, be neatly stored at all times in a designated and accessible area within the building.

3514 CURTAIN WALLS

3514.1 SCOPE: This section prescribes requirements for curtain walls of buildings or structures regulated by this Code.

3514.2 APPLICATION:

(a) Curtain walls, as defined in Section 401 of this Code, shall be designed and constructed in accordance with the requirements of this Section.

(b) Structural glazing in curtain walls shall also comply with the requirements of Section 3515 hereinbelow.

3514.3 DEFINITIONS: The terms used in this section shall be defined as set forth in Section 401 of this Code.

3514.4 STANDARDS: No requirements.

**CHAPTER 51
APPENDICES**

- 5101 APPENDIX A**
- 5102 APPENDIX B**
- 5103 APPENDIX E**
- 5104 APPENDIX F**
- 5105 APPENDIX G**

5101 APPENDIX A

MINIMUM INFORMATION REQUIREMENTS FOR CONSTRUCTION

DOCUMENTS

To be included in all sheets of drawings as applicable	
Project	Project and Owner's name & address.
Architect or Engineer of Record	Name, Address, telephone, & State registration number, discipline, signature, date and embossed seal.
Date:	Date drawings issued.
Sheet:	Number of particular sheet, & total number of sheets in project.
Scale:	If applicable to all plans and details on the complete sheet.
Revisions:	List and date all changes after issuance.

GENERAL INFORMATION FOR ALL PLANS

To be included in all sheets of drawings as applicable	
Title:	Drawings Title.
Scale:	Unless already indicated for all drawings on the sheet.
Orientation:	North arrow.

SITE PLAN INFORMATION

Site information	Legal Description. Lot dimensions & bearings, easements. Street/Water Way names
Zoning Data:	Zoning, occupancy type, building area breakdown, project data.
Site Features:	Existing. To be removed or new. Topographical Data. Existing & New Finish floor elevation of existing and new elements.
Landscaping:	Existing trees with 3 inches or greater caliper trunk - to remain or to be removed. Group of trees may be shown as perimeter area only if not being disturbed at construction New trees, bushes, ground cover and sod. Show on Site Plan on or separate Landscape Drawings.

Utilities:	Existing or new (Water service, meter, sanitary sewer or septic tank, electrical.)
Project:	New buildings or additions to existing. Setbacks. Lowest finish floor elevation. Equipment (pool, a/c, and similar) Other improvements (pool, decks, docks, paving walks slabs, walls, fences, planters and similar)

FLOOR PLAN INFORMATION

(Recommend that same orientation as Site Plan be used)	
Scale:	1/4" = 1'0" min. required by S.F.B.C. for all buildings of less than 5000 sq. ft. or equivalent metric scale.
Dimensions:	All required to define design and required to build.
Rooms:	Room names and finishes.
Floor:	Floor finishes, elevations, steps, ramps, curbs, dashed outline of structures occurring below this floor.
Walls/Partitions:	Materials or construction, Section cuts, fire rated walls or partitions, all structural columns and load bearing partitions.
Ceiling:	Attic access, fold down ladders, skylights, dashed outline of structures occurring above this floor.
Doors/Windows:	Door type & size, swing, code required hardware; Window type & size, egress requirements.
Vertical Access:	Stairs with number of risers, elevators, chutes.
Equipment/Fixtures	Indicate & label all kitchen equipment, toilet fixtures, laundry equipment, water heaters, a/c equipment, electrical panels, fireplaces, built in cabinets, and similar.
Ventilation:	All through the wall ventilation, (garage vents, dryer vents, exhaust fans, Kitchen exhausts, and similar)
Schedules:	Items such as finishes, doors, windows, fixed glass, fixtures equipment, partition construction, may be coded and listed on a schedule.

KEY PLAN INFORMATION

Required when size of project does not permit to show entire floor plan in one drawing at the selected scale.	
(Recommend that same orientation as Floor Plan be used).	
Scale:	As required.
Plan:	Building outline & match lines for different plan areas, areas indicated in adjacent plan highlighted.

FOUNDATION PLAN INFORMATION

(Recommend that same orientation as Floor Plan be used)	
Scale:	1/4" = 1'0" min required by S.F.B.C. for all buildings of less than 5000 sq. ft. or equivalent metric scale.
Dimensions:	All required.
Site:	Topography/fill requirements.
Structure:	All structural elements, their size & reinforcing (footings, slabs, filled cells, poured columns, bearing partitions, and similar) Slab elevation depressions, changes in level, section cuts, and similar.
Underground:	Major under slab items (cooktop vents, drainage and/or sanitary lines, and similar).
Design:	Soil bearing value, as per geotechnical engineers reports or based on known soil properties at the site.
Schedules:	Items such as footings, slabs, columns, may be coded and listed on corresponding schedules.

ADDITIONAL FLOORS FRAMING PLAN INFORMATION

Required for additional floors	
(Recommend that same orientation as Foundation Plan be used).	
Scale:	1/4" = 1'0" min. required by S.F.B.C. for all buildings of less than 5000 sq.ft. or equivalent metric scale.
Inf.:	Similar to required for Foundation and Roof Framing Plans.

ROOF PLAN & ROOF FRAMING PLAN INFORMATION

(Required that same orientation as Floor Plan be used)	
Scale:	1/4" = 1'0" min. required by S.F.B.C. for all buildings of less than 5000 sq.ft.
Dimensions:	All structural elements, their size & reinforcing. (rafters, trusses, bracing, beams, girders, and similar). Columns occurring below beam level, roof mounted equipment, skylights, hatches, dashed outline of structures occurring below this level, Section cuts, roof chimneys, and similar.
Design:	Loads and load transfer calculations required by S.F.B.C.
Drainage:	Roof pitches, drains, gutters, crickets, overflow scupper calculations, and similar.
Material:	Roofing and sheathing material.
Ventilation:	Attic ventilation calculations.

EXTERIOR ELEVATION INFORMATION

Scale	Same as Plans.
Dimensions:	Vertical features and horizontal projections.
Envelope:	Exterior doors, windows, skylights, hatches, wall finish, roof material & pitch, and similar.
Floor:	Elevation above grade & distance between floors.

BUILDING SECTIONS AND DETAIL INFORMATION

Scale:	1/4" = 1'-0" min. req'd by S.F.B.C. for Wall Sections. 3/4" = 1'-0" min. req'd by S.F.B.C. for Main Details, or equivalent metric scale.
Dimensions:	Vertical features and horizontal projections.
Structures:	All structural elements, their size & reinforcing, (footing, slab, wall, ceiling, and roof construction) insulation, connectors, and similar.
Finishes:	Exterior & interior wall finishes and construction roof & ceiling finishes and construction.
Schedules:	Items such as footings, slabs, columns, beams, may be coded and listed on a schedule.

ELECTRICAL PLAN, RISER & PANEL INFORMATION

(Recommend that same orientation as Site Plan be used).	
Scale:	1/4"-1'-0" min. req'd by S.F.B.C. for all buildings of less than 5000 sq. ft. or equivalent metric scale.
Dimensions:	Non-typical outlets, fixtures.
Outlets/Fixtures:	Show all interior & exterior receptacles, fixtures, switches, electrical exhaust and ceiling fans, attic or roof top receptacles, fixtures or equipment, all electrical equipment, (water heaters, a/c equip., pumps, and similar)
Service/Panel:	Show service entrance, meter, disconnect switches, and all electrical panels.
Panel Schedule:	All items circuited as per S.F.B.C. Panel size, all circuits with use, load, wire, breaker and conduit size indicated.
Calculation:	Load calculation as per N.E.C.
Riser:	Diagram with size of service, meter, ground, disconnect switches, feeders, and panels.

PLUMBING PLAN & RISER INFORMATION

Required on all projects except as noted.	
(Recommend that same orientation as Floor Plan be used)	
Scale:	1/4" = 1'-0" min. req'd by SFBC for all buildings of less than 5000 sq.ft. or equivalent metric scale
Dimensions:	Non-typical conditions.
System	Show all fixtures, sanitary Drainage, vents, water supply, water heaters, and similar. Indicate size & slope of lines.
Riser and isometric plans: Note: as required per Subparagraph 4601.5(e)(4).	Diagram with size of all lines and location of all fixtures and the number of fixture units of the fixture groups they serve.

H.V.A.C. PLAN INFORMATION

Required on all projects.	
(Recommend that same orientation as Floor Plan be used).	
Scale:	1/4" = 1'-0" min. req'd by SFBC for all buildings of less than 5000 sq.ft. or equivalent metric scale Recommend same scale as floor plan be used.
Dimensions:	Non-typical conditions.
System:	All ducts and diffuser sizes, fan coil and condensing unit location, specifications, and CFM's per outlet.
Schedules:	Equipment may be coded and have their specifications listed on a schedule.
Energy Calculations	As required per Energy Code, including heat and cooling load calculations.

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET * FORT PIERCE * FLORIDA * 34946
 VERO BEACH (561) 567-6167 FORT PIERCE (561) 481-7508 STUART (561) 283-7711 FT. PIERCE 1-800-233-9011

Report
 of
 DENSITY OF SOIL IN PLACE
 ASTM D2922

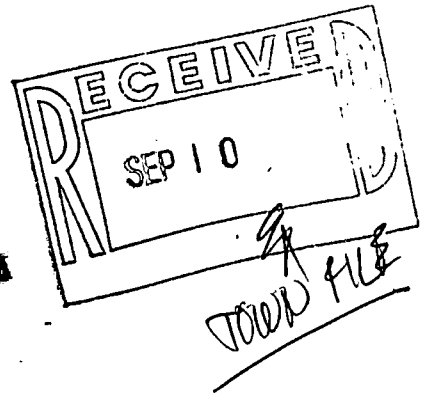
CLIENT: Steve conway

Date: 9/8/99

CONTRACTOR: Client

Permit #: 4669

Site: 1732 Lottin Way
 Foundation Fill



DENSITY TEST NO.	DATE TESTED	LOCATION	ELEVATION	MOISTURE-DENSITY RELATIONSHIP		IN PLACE DRY DENSITY	PERCENT COMPACTION
				TEST NO.	MAX. DRY WT.		
1462	9/8/99	N.E. Corner, Main House	0 - 1'	1462	108.5	103.3	95.2
		Center, Main House	"			103.5	95.4
		S.W. Corner, Main House	"			103.2	95.1
			1 - 2'			104.3	96.1
		N.E. Corner, Guest House	0 - 1'			106.2	97.9
		S.W. Corner, Guest House	"			106.1	97.8
ALL ELEVATIONS BELOW SLAB GRADE							

Copies: Client - 1
 Sewall's Point Bldg. Dept. - 1

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.

(Signature)
 Alexander H. Fraser, P.E. Fla. Reg. No. 16178

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET

FORT PIERCE, FLORIDA 34946

VERO BEACH (561) 567-6167

FORT PIERCE (561) 461-7598

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

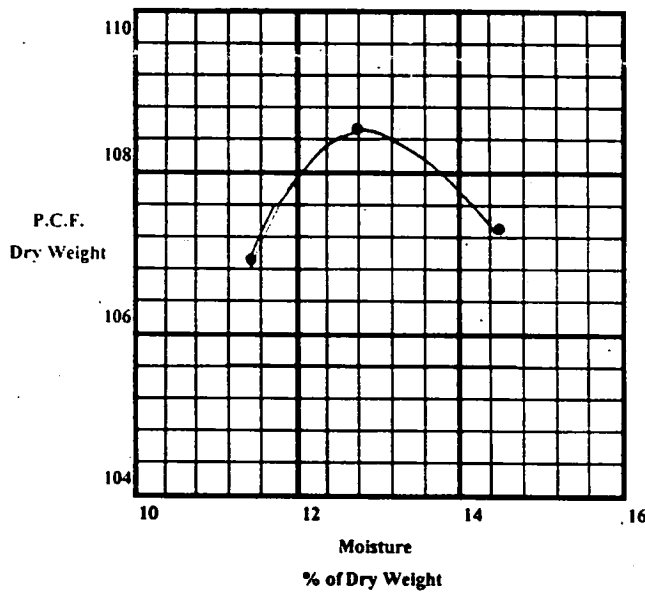
Report of MOISTURE DENSITY RELATIONSHIP ASTM D-1557.

CLIENT: Steve Conway

DATE: 9/8/99

CONTRACTOR: Client

SITE: 17 N.E. Lofting Way
Foundation Fill



Test No.	Test Method	Sample Location	Optimum Moisture %	Max. Dry Density- P.C.F.	Soil Description
1462	B	Composite	12.8	108.5	Brown, slightly silty, fine sand

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.

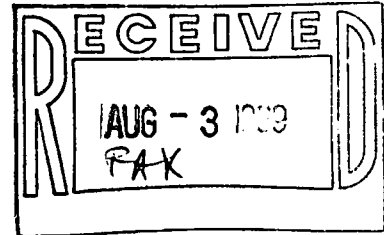
Alexander H. Fraser, P.E., Florida Reg. No. 16178

**SEWALL'S POINT PLANTATION HOMEOWNERS ASSOCIATION
2421 SE OCEAN BOULEVARD, #1093
STUART FLORIDA 34996**

Ellyn Stevenson 287-9995 Tony Smith 288-1244 Irene Todd 286-9897 Nick Elliott 223-0568

August 2, 1999

**Mr. and Mrs. Stephen Conway
One River Crest Court
Stuart FL 34996**



Dear Steve and Beth,

Please accept this letter as approval of the construction plans for Lot #20, The Plantation, pending confirmation that all Town of Sewall's Point Codes will be met, particularly as they pertain to setbacks. Also please note that complete landscape plans should be submitted prior to completion of you home.

We look forward to the commencement of your project.

Yours truly,

Ellyn Stevenson
**Ellyn Stevenson
SPPHOA**

**cc: Building Department
Town of Sewall's Point**

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)

04/05/99

*8/12/99
Permit file
copy*

PRODUCER
GORDON SANDBERG AGENCY
P.O. BOX 149264

ORLANDO, FL 32814
407-894-4831

INSURED
STEPHEN R. CONWAY
5471 S/E REEF WAY
STUART, FL
34997-2556

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

- COMPANY A ASSURANCE COMPANY OF AMERICA
- COMPANY B
- COMPANY C
- COMPANY D

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

COPY

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	BINDER# 99-013	03/29/99	03/29/00	GENERAL AGGREGATE \$ 600,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				PRODUCTS - COMP/OP AGG \$ 600,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				PERSONAL & ADV INJURY \$ 300,000
	OWNERS & CONTRACTORS PROT				EACH OCCURRENCE \$ 300,000
					FIRE DAMAGE (Any one fire) \$ 50,000
					MED EXP (Any one person) \$ 10,000
					COMBINED SINGLE LIMIT \$
	AUTOMOBILE LIABILITY				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> ALL OWNED AUTOS				PROPERTY DAMAGE \$
	<input type="checkbox"/> SCHEDULED AUTOS				
	<input type="checkbox"/> HIRED AUTOS				
	<input type="checkbox"/> NON-OWNED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY:
					EACH ACCIDENT \$
					AGGREGATE \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> UMBRELLA FORM				AGGREGATE \$
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM				\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS
	THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL				EL EACH ACCIDENT \$
	OTHER				EL DISEASE - POLICY LIMIT \$
					EL DISEASE - EA EMPLOYEE \$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

GENERAL CONTRACTOR

CERTIFICATE HOLDER

TOWN OF SEWALLS POINT
1 SOUTH SEWALLS POINT ROAD
STUART, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Gordon Sandberg

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

EFFECTIVE DATE OF EXEMPTION 07/08/94
EXEMPTED INDIVIDUAL NAME CONWAY STEPHEN P
SOCIAL SECURITY NUMBER 059-42-5526
BUSINESS NAME CONWAY STEPHEN P
FEDERAL IDENTIFICATION NUMBER 592230790
BUSINESS ADDRESS 1501 DECKER AVE UNIT E-519
STUART, FL 34994

STATE OF FLORIDA AC# 5153386
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CR -C053742-06/04/1998 97903856
CERTIFIED RESIDENTIAL CONTRACTOR
CONWAY, STEPHEN P
INDIVIDUAL
IS CERTIFIED under the provisions of Ch. 489 FS.
Expiration Date: AUG 31, 2000

M.A. CORSON & ASSOCIATES, Inc.

ARCHITECTURE STRUCURAL DESIGN
7374 S. E. Fiddlewood Lane Hobe Sound, Fl. 33455
(561) 223-8227 * Lic.# AA2971

To: Sewall's Point Building Department

Date: 6/28/99

Re: Conway Residence
Lot #20 The Plantation

This office approves of the following:

1. I here by certify that all areas of the structure, for the above mentioned residence, shall meet all of the structural load requirements for the 140 mile per hour wind loading as required for the area. The new structure is designed to meet all gravity, lateral, and uplift loads which will be created by a 140 wind force.

Thank you for your time and consideration. If you have any questions please call.

Sincerely,



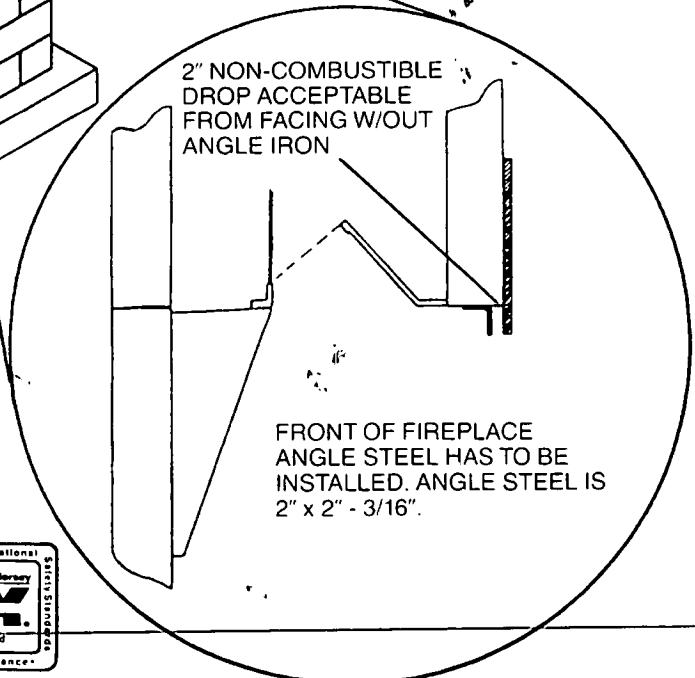
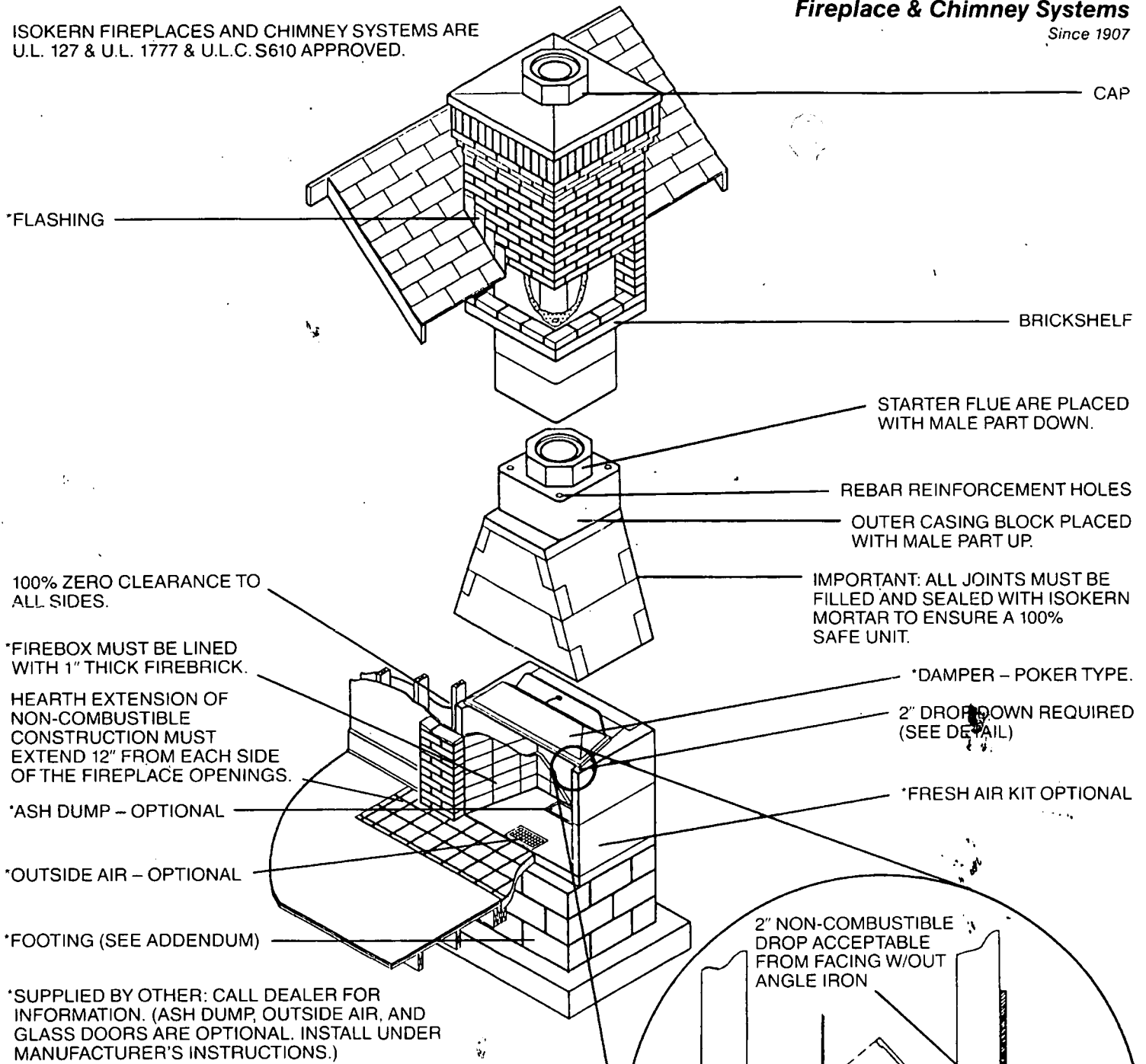
Mark A. Corson A.I.A.

cc: file
bldgsp

ISOKERN INSTALLATION

ISOKERN
U.S. INC.
Fireplace & Chimney Systems
Since 1907

ISOKERN FIREPLACES AND CHIMNEY SYSTEMS ARE U.L. 127 & U.L. 1777 & U.L.C. S610 APPROVED.



FOR MORE INFORMATION CALL 1-800-642-2920



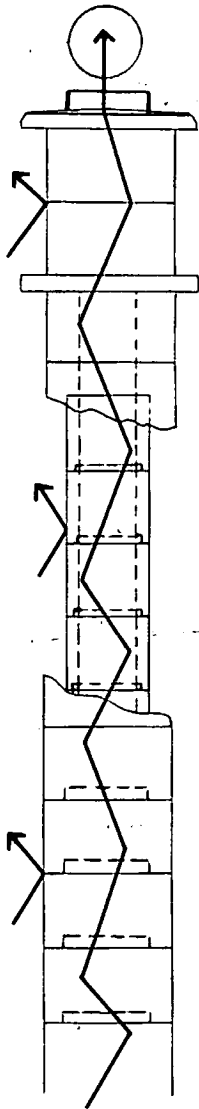
ISOKERN
EST. 1907

**THE LEADER IN PYROMASONRY
FOR OVER FIFTY YEARS**

- HIGH GRADE VOLCANIC PUMICE FROM THE VOLCANO "HEKLA" IN ICELAND IS THE AGGREGATE IN ALL ISOKERN PRODUCTS. THIS MAKES FOR A VERY HIGH INSULATION FACTOR, AND VERY REFLECTIVE SURFACE. IT KEEPS HEAT IN AND COLD OUT.
- ALL ISOKERN PRODUCTS PASS THE STRICTEST TESTS IN THE WORLD!
- CLAY FLUES AND BRICK ASSEMBLIES DO NOT MEET ANY TEST REQUIREMENTS - WHEN TESTED BY INDEPENDENT LABORATORIES 10 OUT OF 10 ASSEMBLIES FAILED!

ISOKERN

TYPICAL MASONRY



NO THERMAL SHOCK

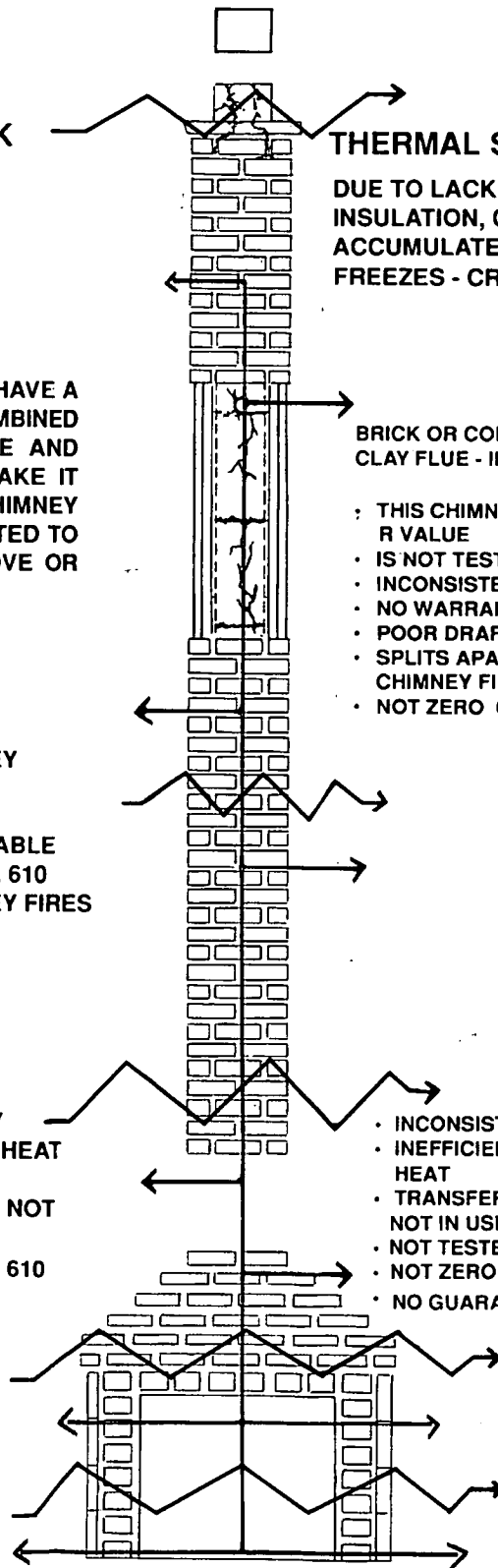
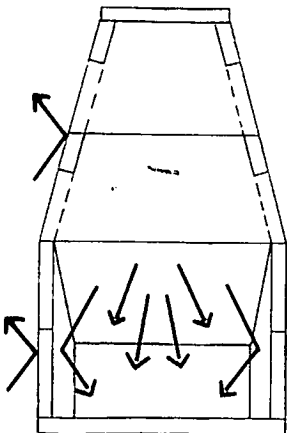
**BRICKLEDGE FOR
INTERNAL USE**

ALL ISOKERN CHIMNEYS HAVE A ROUND INTERIOR. THIS COMBINED WITH THE HIGH R VALUE AND REFLECTIVE SURFACE MAKE IT THE MOST EFFICIENT CHIMNEY AVAILABLE WHETHER MATED TO A FURNACE, A WOODSTOVE OR ISOKERN FIREPLACE.

YOU GET:

- CONSISTENT ASSEMBLY
- LESS CREOSOTE
- BEST DRAFTING CHIMNEY AVAILABLE
- 20 YEAR WARRANTY
- SAFEST CHIMNEY AVAILABLE
- TESTED - U.L. 1777 U.L.C. 610
- STAYS INTACT IN CHIMNEY FIRES
- ZERO CLEARANCE
- LESS TOXIC EMISSIONS

- EXPEDITIOUS ASSEMBLY
- *EFFICIENT* - REFLECTS HEAT INTO ROOM
- KEEPS COLD OUT WHEN NOT IN USE
- TESTED TO U.L. 127 U.L.C. 610
- ZERO CLEARANCE



THERMAL SHOCK

DUE TO LACK OF INSULATION, CONDENSATION ACCUMULATES: FREEZES - CRACKS

**BRICK OR CONCRETE - OUTSIDE
CLAY FLUE - INSIDE**

- THIS CHIMNEY HAS LOW R VALUE
- IS NOT TESTED
- INCONSISTENT ASSEMBLY
- NO WARRANTY
- POOR DRAFT
- SPLITS APART IN CHIMNEY FIRE
- NOT ZERO CLEARANCE

- INCONSISTENT ASSEMBLY
- INEFFICIENT - ABSORBS HEAT
- TRANSFERS COLD WHEN NOT IN USE
- NOT TESTED
- NOT ZERO CLEARANCE
- NO GUARANTEE

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 85.3

The higher the score, the more efficient the home.

MR. & MRS. CONWAY, Lot: 20, Sub: THE PLANTATION, Plat: , SEWALL'S POINT, FL,

<p>1. New construction or existing New <input type="checkbox"/></p> <p>2. Single family or multi-family Single family <input type="checkbox"/></p> <p>3. Number of units, if multi-family 1 <input type="checkbox"/></p> <p>4. Number of Bedrooms 4 <input type="checkbox"/></p> <p>5. Is this a worst case? No <input type="checkbox"/></p> <p>6. Conditioned floor area (ft²) 4196 ft² <input type="checkbox"/></p> <p>7. Glass area & type <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Clear - single pane 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Clear - double pane 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Tint/other SC/SHGC - single pane 1172.5 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">d. Tint/other SC/SHGC - double pane 0.0 ft² <input type="checkbox"/></p> <p>8. Floor types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Slab-On-Grade Edge Insulation R=0.0, 340.0(p) ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Raised Wood, Stem Wall R=30.0, 956.0ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>9. Wall types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Frame, Wood, Adjacent R=11.0, 322.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Concrete, Int Insul, Exterior R=5.0, 5674.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">d. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">e. N/A <input type="checkbox"/></p> <p>10. Ceiling types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Under Attic R=30.0, 2645.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>11. Ducts <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Sup: Unc. Ret: Unc. AH: Interior Sup. R=6.5, 325.0 ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p>	<p>12. Cooling systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Central Unit Cap: 116.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">SEER: 12.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>13. Heating systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Strip Cap: 108.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">COP: 1.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>14. Hot water systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Resistance Cap: 80.0 gallons <input type="checkbox"/></p> <p style="margin-left: 40px;">EF: 0.97 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Conservation credits <input type="checkbox"/></p> <p style="margin-left: 40px;">(HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits MZ-C, CF, MZ-H <input type="checkbox"/></p> <p style="margin-left: 20px;">(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, RB-Attic radiant barrier, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
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I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: Stephen P. Conway Date: 7-6-99

Address of New Home: 17 NE LOFTING WAY City/FL Zip: STUART, FL 34996



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStarSM designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 407/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name:	THE CONWAY RESIDENCE	Builder:	
Address:	Lot: 20, Sub: THE PLANTATION, Plat:	Permitting Office:	
City, State:	SEWALL'S POINT, FL	Permit Number:	
Owner:	MR. & MRS. CONWAY	Jurisdiction Number:	
Climate Zone:	South		

<table style="width: 100%; border-collapse: collapse;"> <tr><td>1. New construction or existing</td><td style="text-align: right;">New</td><td style="text-align: right;">___</td></tr> <tr><td>2. Single family or multi-family</td><td style="text-align: right;">Single family</td><td style="text-align: right;">___</td></tr> <tr><td>3. Number of units, if multi-family</td><td style="text-align: right;">1</td><td style="text-align: right;">___</td></tr> <tr><td>4. Number of Bedrooms</td><td style="text-align: right;">4</td><td style="text-align: right;">___</td></tr> <tr><td>5. Is this a worst case?</td><td style="text-align: right;">No</td><td style="text-align: right;">___</td></tr> <tr><td>6. Conditioned floor area (ft²)</td><td style="text-align: right;">4196 ft²</td><td style="text-align: right;">___</td></tr> <tr><td>7. Glass area & type</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> a. Clear - single pane</td><td style="text-align: right;">0.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> b. Clear - double pane</td><td style="text-align: right;">0.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> c. Tint/other SC/SHGC - single pane</td><td style="text-align: right;">1172.5 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> d. Tint/other SC/SHGC - double pane</td><td style="text-align: right;">0.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td>8. Floor types</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> a. Slab-On-Grade Edge Insulation</td><td style="text-align: right;">R=0.0, 340.0(p) ft</td><td style="text-align: right;">___</td></tr> <tr><td> b. Raised Wood, Stem Wall</td><td style="text-align: right;">R=30.0, 956.0ft²</td><td style="text-align: right;">___</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td>9. Wall types</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> a. Frame, Wood, Adjacent</td><td style="text-align: right;">R=11.0, 322.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> b. Concrete, Int Insul, Exterior</td><td style="text-align: right;">R=5.0, 5674.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> d. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> e. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td>10. Ceiling types</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> a. Under Attic</td><td style="text-align: right;">R=30.0, 2645.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td>11. 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Glass/Floor Area: 0.28	Total as-built points: 49305.00	PASS
	Total base points: 59621.00	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: _____ **JOSE**

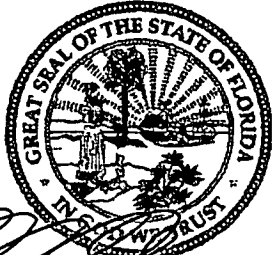
DATE: _____ **7-2-99**

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____ *Stephen P. Conway*

DATE: _____ **7-6-99**

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____ *[Signature]*

DATE: _____ **8/12/99**

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 20, Sub: THE PLANTATION, Plat: , SEWALL'S POINT, FL, PERMIT #:

BASE				AS-BUILT						
GLASS TYPES				Type/SC	Ornt	Overhang Len Hgt	Area X	SPM X	SOF =	Points
.18	X	Conditioned	X BSPM = Points							
Floor Area										
.18	4198.0	53.20	40182.9	Single, Tint	N	9.0 6.5	16.0	27.68	0.68	299.0
				Single, Tint	N	9.0 6.5	37.5	27.68	0.68	700.8
				Single, Tint	N	1.5 13.0	3.8	27.68	0.99	103.1
				Single, Tint	N	0.5 0.5	20.0	27.68	0.72	398.9
				Single, Tint	N	1.5 3.0	25.0	27.68	0.84	579.1
				Single, Tint	N	1.5 2.0	8.0	27.68	0.76	169.4
				Single, Tint	N	1.5 2.0	8.0	27.68	0.76	169.4
				Single, Tint	N	1.5 1.0	4.8	27.68	0.67	88.4
				Single, Tint	N	1.5 0.5	37.5	27.68	0.61	629.0
				Single, Tint	N	1.5 0.5	9.0	27.68	0.61	151.0
				Single, Tint	N	9.0 7.0	12.0	27.68	0.68	227.0
				Single, Tint	N	9.0 10.0	83.0	27.68	0.74	1283.2
				Single, Tint	E	1.5 1.5	18.0	61.31	0.53	588.1
				Single, Tint	N	1.5 1.5	24.0	27.68	0.72	478.7
				Single, Tint	E	1.5 1.5	7.5	61.31	0.53	245.0
				Single, Tint	E	1.5 1.0	4.8	61.31	0.44	130.7
				Single, Tint	E	1.5 2.0	9.0	61.31	0.61	336.4
				Single, Tint	E	1.5 2.5	16.0	61.31	0.68	667.7
				Single, Tint	E	1.5 5.5	96.0	61.31	0.90	5309.7
				Single, Tint	E	1.5 1.5	32.0	61.31	0.53	1045.4
				Single, Tint	W	1.5 7.5	12.0	54.85	0.95	628.2
				Single, Tint	W	1.5 2.5	12.5	54.85	0.70	476.7
				Single, Tint	W	1.5 5.5	37.5	54.85	0.90	1858.9
				Single, Tint	W	1.5 8.0	12.5	54.85	0.96	658.0
				Single, Tint	W	1.5 1.5	3.0	54.85	0.56	92.5
				Single, Tint	W	1.5 4.0	3.0	54.85	0.83	136.6
				Single, Tint	W	1.5 7.0	3.0	54.85	0.94	155.0
				Single, Tint	W	1.5 3.5	9.6	54.85	0.79	418.2
				Single, Tint	W	1.5 1.0	9.6	54.85	0.48	253.6
				Single, Tint	W	1.0 2.0	18.0	54.85	0.75	740.1
				Single, Tint	W	1.5 1.5	40.0	54.85	0.56	1233.6
				Single, Tint	S	1.5 11.5	24.0	52.00	0.99	1230.4
				Single, Tint	S	1.5 5.5	32.0	52.00	0.85	1416.7
				Single, Tint	S	1.5 1.5	18.0	52.00	0.52	488.2
				Single, Tint	S	1.5 1.5	24.0	52.00	0.52	650.9
				Single, Tint	S	1.5 5.0	8.0	52.00	0.83	343.6
				Single, Tint	S	1.5 0.5	28.0	52.00	0.43	623.2
				Single, Tint	S	1.5 0.5	30.0	52.00	0.43	667.7
				Single, Tint	S	7.0 3.0	24.0	52.00	0.44	547.6
				Single, Tint	S	1.5 4.5	8.0	52.00	0.79	330.6
				Single, Tint	S	14.0 7.0	126.0	52.00	0.45	2933.0
				Single, Tint	S	1.5 15.5	63.0	52.00	1.00	3261.6
				Single, Tint	S	1.5 7.0	84.0	52.00	0.91	3975.8
				Single, Tint	S	1.5 4.5	63.0	52.00	0.79	2603.6
				Single, Tint	S	1.5 0.5	28.0	52.00	0.43	623.2

FORM 600A-97

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 20, Sub: THE PLANTATION, Plat: , SEWALL'S POINT, FL, PERMIT #:

BASE				AS-BUILT						
WALL TYPES	Area X BSPM = Points			Type	R-Value	Area X SPM = Points				
Adajcent	322.0	1.0	322.0	Frame, Wood, Adajcent	11.0	322.0	1.00 322.0			
Exterior	5674.0	2.70	15319.8	Concrete, Int Insul, Exterior	5.0	5674.0	2.00 11348.0			
Base Total:	5996.0		15641.8	As-Built Total:		5996.0	11670.0			
DOOR TYPES	Area X BSPM = Points			Type		Area X SPM = Points				
Adajcent	44.8	2.60	116.5	Adajcent Wood		20.8	3.80 79.0			
Exterior	0.0	0.00	0.0	Adajcent Wood		24.0	3.80 91.2			
Base Total:	44.8		116.5	As-Built Total:		44.8	170.2			
CEILING TYPES	Area X BSPM = Points			Type	R-Value	Area X SPM = Points				
Under Attic	2645.0	0.80	2116.0	Under Attic	30.0	2645.0	0.80 2116.0			
Base Total:	2645.0		2116.0	As-Built Total:		2645.0	2116.0			
FLOOR TYPES	Area X BSPM = Points			Type	R-Value	Area X SPM = Points				
Slab	340.0(p)	-20.0	-6800.0	Slab-On-Grade Edge Insulation	0.0	340.0(p)	-20.00 -6800.0			
Raised	956.0	-2.16	-2065.0	Raised Wood, Stem Wall	30.0	956.0	-0.40 -382.4			
Base Total:			-8865.0	As-Built Total:			-7182.4			
INFILTRATION	Area X BSPM = Points					Area X SPM = Points				
	4196.0	18.79	78842.8			4196.0	18.79 78842.8			
Summer Base Points:	128035.1			Summer As-Built Points:	125560.1					
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component	X Cap Ratio	X Duct Multiplier	X System Multiplier	X Credit Multiplier	=	Cooling Points
128035.1	0.3560		45580.5	125560.1	1.000	0.968	0.284	0.902		31160.0

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 20, Sub: THE PLANTATION, Plat: , SEWALL'S POINT, FL, PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Ornt	Overhang Len Hgt		Area X WPM X WOF =	Points		
.18	4196.0	2.02	1529.0	Single, Tint	N	9.0	6.5	16.0	4.98	0.98	76.5
				Single, Tint	N	9.0	6.5	37.5	4.98	0.96	179.2
				Single, Tint	N	1.5	13.0	3.8	4.98	1.00	18.6
				Single, Tint	N	0.5	0.5	20.0	4.98	0.97	96.2
				Single, Tint	N	1.5	3.0	25.0	4.98	0.98	122.1
				Single, Tint	N	1.5	2.0	8.0	4.98	0.97	38.7
				Single, Tint	N	1.5	2.0	8.0	4.98	0.97	38.7
				Single, Tint	N	1.5	1.0	4.8	4.98	0.96	22.9
				Single, Tint	N	1.5	0.5	37.5	4.98	0.95	177.1
				Single, Tint	N	1.5	0.5	9.0	4.98	0.95	42.5
				Single, Tint	N	9.0	7.0	12.0	4.98	0.96	57.4
				Single, Tint	N	9.0	10.0	63.0	4.98	0.97	303.8
				Single, Tint	E	1.5	1.5	18.0	3.99	1.11	79.8
				Single, Tint	N	1.5	1.5	24.0	4.98	0.97	115.5
				Single, Tint	E	1.5	1.5	7.5	3.99	1.11	33.3
				Single, Tint	E	1.5	1.0	4.8	3.99	1.17	22.5
				Single, Tint	E	1.5	2.0	9.0	3.99	1.08	38.8
				Single, Tint	E	1.5	2.5	16.0	3.99	1.06	67.7
				Single, Tint	E	1.5	5.5	96.0	3.99	1.02	392.3
				Single, Tint	E	1.5	1.5	32.0	3.99	1.11	142.0
				Single, Tint	W	1.5	7.5	12.0	4.60	1.00	55.1
				Single, Tint	W	1.5	2.5	12.5	4.60	1.01	58.2
				Single, Tint	W	1.5	5.5	37.5	4.60	1.00	172.2
				Single, Tint	W	1.5	8.0	12.5	4.60	1.00	57.4
				Single, Tint	W	1.5	1.5	3.0	4.60	1.03	14.2
				Single, Tint	W	1.5	4.0	3.0	4.60	1.00	13.8
				Single, Tint	W	1.5	7.0	3.0	4.60	1.00	13.8
				Single, Tint	W	1.5	3.5	9.6	4.60	1.00	44.3
				Single, Tint	W	1.5	1.0	9.6	4.60	1.03	45.5
				Single, Tint	W	1.0	2.0	18.0	4.60	1.01	63.3
				Single, Tint	W	1.5	1.5	40.0	4.60	1.03	188.8
				Single, Tint	S	1.5	11.5	24.0	3.80	1.00	90.9
				Single, Tint	S	1.5	5.5	32.0	3.80	1.03	124.8
				Single, Tint	S	1.5	1.5	18.0	3.80	1.33	91.0
				Single, Tint	S	1.5	1.5	24.0	3.80	1.33	121.3
				Single, Tint	S	1.5	5.0	8.0	3.80	1.04	31.5
				Single, Tint	S	1.5	0.5	28.0	3.80	1.44	153.7
				Single, Tint	S	1.5	0.5	30.0	3.80	1.44	164.7
				Single, Tint	S	7.0	3.0	24.0	3.80	1.44	131.1
				Single, Tint	S	1.5	4.5	8.0	3.80	1.05	31.9
				Single, Tint	S	14.0	7.0	126.0	3.80	1.43	685.4
				Single, Tint	S	1.5	15.5	63.0	3.80	1.00	238.5
				Single, Tint	S	1.5	7.0	84.0	3.80	1.01	322.6
				Single, Tint	S	1.5	4.5	63.0	3.80	1.05	251.5
				Single, Tint	S	1.5	0.5	28.0	3.80	1.44	153.7

FORM 600A-97

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 20, Sub: THE PLANTATION, Plat: , SEWALL'S POINT, FL, PERMIT #:

BASE				AS-BUILT				
WALL TYPES	Area	X BWPM	= Points	Type	R-Value	Area	X WPM = Points	
Adajcent	322.0	0.5	161.0	Frame, Wood, Adjacent	11.0	322.0	0.50 161.0	
Exterior	5674.0	0.60	3404.4	Concrete, Int Insul, Exterior	5.0	5674.0	0.90 5106.6	
Base Total:	5996.0		3565.4	As-Built Total:		5996.0	5267.6	
DOOR TYPES	Area	X BWPM	= Points	Type		Area	X WPM = Points	
Adjacent	44.8	1.30	58.2	Adjacent Wood		20.8	1.90 39.5	
Exterior	0.0	0.00	0.0	Adjacent Wood		24.0	1.90 45.6	
Base Total:	44.8		58.2	As-Built Total:		44.8	85.1	
CEILING TYPES	Area	X BWPM	= Points	Type	R-Value	Area	X WPM = Points	
Under Attic	2645.0	0.10	264.5	Under Attic	30.0	2645.0	0.10 264.5	
Base Total:	2645.0		264.5	As-Built Total:		2645.0	264.5	
FLOOR TYPES	Area	X BWPM	= Points	Type	R-Value	Area	X WPM = Points	
Slab	340.0(p)	-2.1	-714.0	Slab-On-Grade Edge Insulation	0.0	340.0(p)	-2.10 -714.0	
Raised	956.0	-0.28	-267.7	Raised Wood, Stem Wall	30.0	956.0	-0.10 -95.6	
Base Total:			-981.7	As-Built Total:			-809.8	
INFILTRATION	Area	X BWPM	= Points			Area	X WPM = Points	
	4196.0	-0.06	-251.8			4196.0	-0.06 -251.8	
Winter Base Points:			4183.7	Winter As-Built Points:			9960.8	
Total Winter Points	X System Multiplier	= Heating Points		Total Component	X Cap Ratio	X Duct Multiplier	X System Multiplier	X Credit Multiplier = Heating Points
4183.7	1.0900	4560.3		9960.8	1.000	1.009	1.000	0.950 9548.4
				9960.8	1.00	1.009	1.000	0.950 9548.4

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 20, Sub: THE PLANTATION, Plat: , SEWALL'S POINT, FL, PERMIT #:

BASE				AS-BUILT							
WATER HEATING											
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X	Tank X Ratio	Multiplier X Credit	= Total Multiplier	
4		2370.00	9480.0	80.0	0.97	4		1.00	2149.20	1.00	8596.8
										As-Built Total:	8596.8

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	
45580.5		4560.3		9480.0		59620.7	
							31160.0
							9548.4
							8596.8
							49305.2

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 20, Sub: THE PLANTATION, Plat: , SEWALL'S POINT, FL, PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: 3 cfm/sq. ft. window area; .5 cfm/sq. ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

Lennox Objective Guide to Installation Comparison

 Nisair Airconditioning Inc.,
 1501 Decker Ave D-404
 Stuart, Fla
 1-407-283-0904

07/02/99

LOGIC 1000 RESIDENTIAL LOADS ANALYSIS

PAGE 1

THE CONWAY RESIDENCE

PREPARED FOR: MR. & MRS. CONWAY

PREPARED BY: JOSE

FILE TITLE: CONWA2
 DESIGN TEMPERATURES (DEGREES F)
 WINTER INSIDE 68 WINTER OUTSIDE 45
 SUMMER INSIDE 75 SUMMER OUTSIDE 91
 DAILY TEMPERATURE RANGE INDICATOR M
 DESIGN GRAINS RELATIVE HUMIDITY 41
 DEGREES NORTH LATITUDE 27
 SUMMER AIR CHANGES PER HOUR 0.4
 WINTER AIR CHANGES PER HOUR 0.7

			AREA SQ FT	BTUH LOSS	BTUH GAIN
ROOM -	1 FOYER IN ZONE 1	10 X 6			
WALL	14B 3 INCH. BLOCK R-5 INSUL OVERHANG = 9.0		49	162	87
DOOR	9C FRNCH DR, 1 PN CLR GLASS METAL F FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 9.0		63	1,753	718
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 7.0		12	200	137
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 6.5		16	267	182
CEILING	16G LIGHT R-30 INSULATION		60	46	63
FLOOR	22A NO EDGE INSULATION		32	596	0
WINTER INFILTRATION	45 CFM			1,131	
SUMMER INFILTRATION	26 CFM				450
					LATENT GAIN 712 L
PEOPLE	4				SENSIBLE GAIN 1200 LATENT GAIN 920 L
DUCT	LOSS MULT=.20 GAIN MULT=.20			831	567
TOTAL FOR ROOM 1	340 CU FT		60		

THE CONWAY RESIDENCE

		AREA	BTUH	BTUH
		SQ FT	LOSS	GAIN
			4,987	3,405
				1,632 L
				SENSIBLE LATENT
ROOM -	2 DIN RM IN ZONE 1			13 X 12
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 9.0	40	132	71
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	92	305	163
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 9.0	48	800	547
CEILING	16G LIGHT R-30 INSULATION	156	118	165
FLOOR	22A NO EDGE INSULATION	50	932	0
WINTER INFILTRATION	24 CFM		597	
SUMMER INFILTRATION	13 CFM			SENSIBLE GAIN LATENT GAIN
				237 376 L
PEOPLE	6			SENSIBLE GAIN LATENT GAIN
				1800 1380 L
DUCT	LOSS MULT=.20 GAIN MULT=.20		577	597
TOTAL FOR ROOM 2	1,560 CU FT	156		
			3,461	3,580
				1,756 L
				SENSIBLE LATENT
ROOM -	3 POWDER RM IN ZONE 1			11 X 10
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	86	286	153
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 9.0	4	63	43
WALL	13C R-11 + 1/2 INCH GYPSUM R-.5 OVERHANG = 9.0 PARTITION TEMP DIFF FOR WIN= 23 FOR SUM=16	140	290	139
CEILING	16G LIGHT R-30 INSULATION	110	83	116
FLOOR	22A NO EDGE INSULATION	42	782	0
WINTER INFILTRATION	2 CFM		47	
SUMMER INFILTRATION	1 CFM			SENSIBLE GAIN LATENT GAIN
				19 29 L
MECHANICAL VENTILATION	50.0 CFM		1,265	880
PEOPLE	2			SENSIBLE GAIN LATENT GAIN
				600 460 L

THE CONWAY RESIDENCE

		AREA SQ FT	BTUH LOSS	BTUH GAIN
DUCT	LOSS MULT=.20 GAIN MULT=.20		563	390
TOTAL FOR ROOM 3	1,100 CU FT	110		
			3,379	2,339
				1,883 L
ROOM - 4	LNDRY/PANTRY IN ZONE 1 12 X 11			
WALL	13C R-11 + 1/2 INCH GYPSUM R-.5 OVERHANG = 9.0 PARTITION TEMP DIFF FOR WIN= 23 FOR SUM=16	110	228	109
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	48	159	85
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 2.5	20	334	778
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 7.5	12	200	814
CEILING	16G LIGHT R-30 INSULATION	110	83	116
FLOOR	22A NO EDGE INSULATION	42	782	0
WINTER INFILTRATION	16 CFM		398	
SUMMER INFILTRATION	9 CFM			
				158
				251 L
MECHANICAL VENTILATION	100.0 CFM		2,530	1,760
PEOPLE	2			600
				460 L
DUCT	LOSS MULT=.20 GAIN MULT=.20		943	884
TOTAL FOR ROOM 4	1,320 CU FT	132		
			5,657	5,304
				3,499 L
ROOM - 5	STRWY AREA IN ZONE 1 11 X 10			
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	162	535	286
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 8.0	16	267	1,129
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 5.5	13	208	652
CEILING	16G LIGHT R-30 INSULATION	110	83	116
FLOOR	22A NO EDGE INSULATION	42	782	0

THE CONWAY RESIDENCE

			AREA SQ FT	BTUH LOSS	BTUH GAIN
WINTER INFILTRATION	14 CFM			354	
SUMMER INFILTRATION	8 CFM				
					141
					223 L
PEOPLE	2				600
					460 L
DUCT	LOSS MULT=.20	GAIN MULT=.20		446	585
TOTAL FOR ROOM	5	2,090 CU FT	110	2,677	3,508
					683 L
ROOM -	6 FAM RM IN ZONE 1	22 X 19			
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	49	162	87
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	290	960	514
WINDOW	3C	DOUBLE PANE CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 5.5	32	534	1,818
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 9.0	137	454	243
DOOR	9C	FRNCH DR, 1 PN CLR GLASS METAL F FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 7.0	126	3,507	1,436
WINDOW	3C	DOUBLE PANE CLR GLASS METAL FRM FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 3.0	24	400	274
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	196	649	347
WINDOW	3C	DOUBLE PANE CLR GLASS METAL FRM FACING-E TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 2.5	16	267	645
WINDOW	3C	DOUBLE PANE CLR GLASS METAL FRM FACING-E TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 5.5	96	1,601	4,330
CEILING	16G	LIGHT R-30 INSULATION	418	317	441
FLOOR	22A	NO EDGE INSULATION	82	1,528	0
WINTER INFILTRATION	144 CFM			3,655	
SUMMER INFILTRATION	83 CFM				
					1,453
					2,302 L
PEOPLE	4				1200
					920 L

THE CONWAY RESIDENCE

		AREA	BTUH	BTUH
		SO FT	LOSS	GAIN
DUCT	LOSS MULT=.20 GAIN MULT=.20		2,807	2,557
TOTAL FOR ROOM 6	5,852 CU FT	418		
			16,841	15,344
				3,222 L
ROOM - 7	KITCHEN IN ZONE 1			
	22 X 18			
WALL	13C R-11 + 1/2 INCH GYPSUM R-.5 OVERHANG = 9.0 PARTITION TEMP DIFF FOR WIN= 23 FOR SUM=16	48	99	48
DOOR	10D SOLID CORE	24	254	121
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	136	450	241
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 9.0	24	400	274
CEILING	16G LIGHT R-30 INSULATION	393	301	418
FLOOR	22A NO EDGE INSULATION	80	1,490	0
WINTER INFILTRATION	24 CFM		597	
SUMMER INFILTRATION	13 CFM			
				237
				376 L
MECHANICAL VENTILATION	75.0 CFM		1,898	1,320
PEOPLE	2			600
				460 L
APPLIANCES				1200
DUCT	LOSS MULT=.20 GAIN MULT=.20		1,098	892
TOTAL FOR ROOM 7	3,960 CU FT	396		
			6,587	5,351
				2,927 L
ROOM - 8	BRKFST AREA IN ZONE 1			
	12.5 X 11.5			
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	47	156	83
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 9.0	63	1,051	875
CEILING	16G LIGHT R-30 INSULATION	144	109	152
FLOOR	22A NO EDGE INSULATION	48	894	0
WINTER INFILTRATION	31 CFM		783	
SUMMER INFILTRATION	18 CFM			
				311
				493 L

THE CONWAY RESIDENCE

		AREA	BTUH	BTUH
		SO FT	LOSS	GAIN
PEOPLE	4			1200
				920 L
DUCT	LOSS MULT=.20 GAIN MULT=.20		599	524
TOTAL FOR ROOM 8	1,438 CU FT	144		
			3,591	3,145
				1,413 L
ROOM - 9	LIV RM IN ZONE 1			
	23 X 15			
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	126	417	223
DOOR	9C FRNCH DR, 1 PN CLR GLASS METAL F FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 7.0	84	2,338	1,070
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 4.5	16	267	182
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 5.5	40	667	456
CEILING	16G LIGHT R-30 INSULATION	345	262	364
FLOOR	22A NO EDGE INSULATION	76	1,416	0
WINTER INFILTRATION	69 CFM		1,741	
SUMMER INFILTRATION	39 CFM			692
				1,096 L
PEOPLE	4			1200
				920 L
DUCT	LOSS MULT=.20 GAIN MULT=.20		1,421	838
TOTAL FOR ROOM 9	4,830 CU FT	345		
			8,529	5,026
				2,016 L
ROOM - 10	DEN IN ZONE 1			
	13 X 11.5			
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	69	229	122
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 4.5	63	1,051	718
CEILING	16G LIGHT R-30 INSULATION	150	113	158
FLOOR	22A NO EDGE INSULATION	49	913	0
WINTER INFILTRATION	31 CFM		783	
SUMMER INFILTRATION	18 CFM			311
				493 L

THE CONWAY RESIDENCE

			AREA SQ FT	BTUH LOSS	BTUH GAIN
PEOPLE	4	SENSIBLE GAIN LATENT GAIN			1200 920 L
DUCT	LOSS MULT=.20 GAIN MULT=.20			618	502
TOTAL FOR ROOM 10	1,794 CU FT		150	3,706	3,012 1,413 L
ROOM - 11	MSTR STE/BTH IN ZONE 1	42.5 X 17			
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5		60	198	106
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.5		40	667	1,364
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5		239	792	424
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.5		24	400	274
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.5		36	600	410
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5		530	1,756	939
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-E TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.5		8	125	259
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-E TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.5		24	400	824
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5		180	596	319
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 0.5		20	334	228
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 0.5		20	334	228
CEILING	16G LIGHT R-30 INSULATION		723	548	763
FLOOR	22A NO EDGE INSULATION		119	2,217	0
WINTER INFILTRATION	34 CFM			2,132	
SUMMER INFILTRATION	48 CFM	SENSIBLE GAIN LATENT GAIN			348 1,343 L
MECHANICAL VENTILATION	50.0 CFM			1,265	880

THE CONWAY RESIDENCE

		AREA	BTUH	BTUH
		SQ FT	LOSS	GAIN
PEOPLE	2			600
				460 L
DUCT	LOSS MULT=.20 GAIN MULT=.20		2,473	1,693
TOTAL FOR ROOM 11	7,536 CU FT	723	14,838	10,158
				3,197 L
ROOM - 12 MEDIA RM IN ZONE 1				
	14 X 12.5			
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	153	507	271
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 2.0	8	133	91
WINDOW	3C DOUBLE PANE CLR GLASS METAL FRM FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 3.0	25	417	285
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 9.0	54	179	96
CEILING	16G LIGHT R-30 INSULATION	175	133	185
FLOOR	22A NO EDGE INSULATION	53	987	0
WINTER INFILTRATION	16 CFM		410	
SUMMER INFILTRATION	9 CFM			
				163
				258 L
PEOPLE	2			600
				460 L
DUCT	LOSS MULT=.20 GAIN MULT=.20		553	338
TOTAL FOR ROOM 12	2,100 CU FT	175	3,320	2,029
				718 L
ROOM - 13 HALLWAYS IN ZONE 1				
	32.5 X 5.5			
CEILING	16G LIGHT R-30 INSULATION	179	136	189
FLOOR	22A NO EDGE INSULATION	76	1,416	0
WINTER INFILTRATION	0 CFM		0	
SUMMER INFILTRATION	0 CFM			
				0
				0 L
PEOPLE	2			600
				460 L

THE CONWAY RESIDENCE

		AREA SQ FT	BTUH LOSS	BTUH GAIN
DUCT	LOSS MULT=.20 GAIN MULT=.20		310	158
TOTAL FOR ROOM 13	1,788 CU FT	179	1,862	947
				460 L
ROOM - 14	BD RM #2 IN ZONE 1			
	16 X 16			
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	106	351	188
WINDOW	3C DOUBLE PANE CLR. GLASS METAL FRM FACING-C TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 0.5	56	934	638
CEILING	16G LIGHT R-30 INSULATION	256	194	270
FLOOR	22A NO EDGE INSULATION	64	1,192	0
WINTER INFILTRATION	28 CFM		696	
SUMMER INFILTRATION	16 CFM			
				277
				438 L
PEOPLE	2			600
				460 L
DUCT	LOSS MULT=.20 GAIN MULT=.20		674	395
TOTAL FOR ROOM 14	2,304 CU FT	256	4,041	2,368
				398 L
ROOM - 15	BATH #2 IN ZONE 1			
	12 X 12			
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	81	268	143
CEILING	16G LIGHT R-30 INSULATION	144	109	152
FLOOR	22A NO EDGE INSULATION	48	894	0
WINTER INFILTRATION	0 CFM		0	
SUMMER INFILTRATION	0 CFM			
				0
				0 L
MECHANICAL VENTILATION	50.0 CFM		1,265	880
PEOPLE	1			300
				230 L
DUCT	LOSS MULT=.20 GAIN MULT=.20		507	295
TOTAL FOR ROOM 15	1,296 CU FT	144	3,044	1,771
				1,624 L

THE CONWAY RESIDENCE

			AREA SQ FT	BTUH LOSS	BTUH GAIN
ROOM - 16 BD RM #3 IN ZONE 1		15 X 15			
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	60	199	106
WINDOW	3C	DOUBLE PANE CLR GLASS METAL FRM FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 0.5	30	500	342
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	171	566	303
CEILING	16G	LIGHT R-30 INSULATION	225	171	238
FLOOR	22A	NO EDGE INSULATION	60	1,118	0
WINTER INFILTRATION		15 CFM		373	
SUMMER INFILTRATION		8 CFM			
					SENSIBLE GAIN 148
					LATENT GAIN 235 L
MECHANICAL VENTILATION		50.0 CFM		1,265	880
PEOPLE	2				SENSIBLE GAIN 600
					LATENT GAIN 460 L
DUCT		LOSS MULT=.20 GAIN MULT=.20		838	523
TOTAL FOR ROOM 16		2,025 CU FT	225		
				5,030	3,140
					LATENT 2,089 L
ROOM - 17 BD RM #4 IN ZONE 1		17 X 16.5			
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	126	417	223
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	68	224	120
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	197	651	348
WINDOW	3C	DOUBLE PANE CLR GLASS METAL FRM FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 0.5	38	625	428
CEILING	16G	LIGHT R-30 INSULATION	281	213	296
FLOOR	22A	NO EDGE INSULATION	67	1,248	0
WINTER INFILTRATION		18 CFM		466	
SUMMER INFILTRATION		11 CFM			
					SENSIBLE GAIN 185
					LATENT GAIN 294 L
MECHANICAL VENTILATION		50.0 CFM		1,265	880
PEOPLE	2				SENSIBLE GAIN 600
					LATENT GAIN 460 L
DUCT		LOSS MULT=.20 GAIN MULT=.20		1,022	616

THE CONWAY RESIDENCE

			AREA	BTUH	BTUH
			SO FT	LOSS	GAIN
TOTAL FOR ROOM 17			2,525 CU FT	281	
					SENSIBLE LATENT
				6,131	3,696 2,148 L
ROOM - 18 FUT BON RM IN ZONE 1			38 X 17		
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	238	789	422
WINDOW	3C	DOUBLE PANE CLR GLASS METAL FRM FACING-E TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.0	5	81	150
WINDOW	3C	DOUBLE PANE CLR GLASS METAL FRM FACING-E TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.5	9	150	317
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	283	938	502
WINDOW	3C	DOUBLE PANE CLR GLASS METAL FRM FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 0.5	9	150	103
WINDOW	3C	DOUBLE PANE CLR GLASS METAL FRM FACING-E TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.0	5	81	150
WALL	14B	8 INCH BLOCK R-5 INSUL OVERHANG = 1.5	373	1,235	660
WINDOW	3C	DOUBLE PANE CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 2.0	10	161	396
WINDOW	3C	DOUBLE PANE CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 2.0	18	300	701
CEILING	16G	LIGHT R-30 INSULATION	643	490	682
FLOOR	22A	NO EDGE INSULATION	110	2,049	0
WINTER INFILTRATION 27 CFM				688	
SUMMER INFILTRATION 16 CFM					
					SENSIBLE GAIN LATENT GAIN
					274 433 L
MECHANICAL VENTILATION 50.0 CFM				1,265	880
PEOPLE	4				SENSIBLE GAIN LATENT GAIN
					1200 920 L
DUCT	LOSS MULT=.20 GAIN MULT=.20			1,675	1,287
TOTAL FOR ROOM 18			5,814 CU FT	646	
					SENSIBLE LATENT
				10,053	7,724 2,747 L

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11/1, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 5095	Thorne (9/25/00)	fence final	PASSED	
(9)	22 Perriwinkle La. Just Wood Fence		☞	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S 5094	Nohejl	sheathing	PASSED	10:00 NOT READY
(4)	18 N. Via Lucindia Stein	NO TO COMPLETE T/F & K/R 11/3 AM	☞	11:15 REINS/REPT
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S 1702	Perry	insulation	PASSED	NOTE: VERIFIED COLLAR BM
(3)	18 N. Ridaevicw owner/builder		☞	SPOG. PER ARCH. LTR
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 4259	conway	e.g.	PASSED	PN 4853 (1002) } OPEN PN 5110 (PADO) } PLUMB 11/3/00
(7)	17 Lofting Way conway		☞	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 4775	Campo	pre-pour driveway	PASSED	CONCR. TO THICKEN EDGES @ STREET
(8)	5 Palama Way Seagate		☞	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 5084	Elliot	insulation	PASSED	
(6)	8 Lagoon Island Scammel		☞	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 5059	Whalen	roof final	PASSED	documents by
(10)	9 Knowles Cardinal	(REINSPECT) - PTL. REEROOF ONLY	☞	front door ✓

OTHER: 288 2000 260-5133 WILSON BROS

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/4/00, 2000; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S ① 4755	CLEMMENS 6 MIDDLE RD JIM CAMPBELL CONST.	ADD'L FRAMING (D.S.P.) (INTERIOR BATH) one Bath Area	OK BG.	BATH AREA ONLY
✓ S ② 5063	ROBINSON 173 S. River Rd ALAN MORRIS (DRIFTWOOD HOMES)	Rough Plumbing	PIB OK Need Permit	PLUMBING SUB PERMIT NOT ISSUED. CALLED ALLAN
✓ S ③ 4803	FOGLIA 101 Henry Sammlway FOGLIA CONST.	Summer - FINAL (REINSPECT)	OK BG.	VERIFY M-DC PROD APPLIC # OWNER OPER. LABEL.
✓ N ⑤ 4895	SEELY 37 N.E. LORING GRIBBEN CONST	Underground Electrical conduit	CANCEL RMU-001	NOTE: VERIFIED CONDUIT DEPTH (ELECT. SERVICE) OK TO FILL - REINSPE. NOT REQUIRED.
✓ N ⑥ 4157	Graves Conway 17 N.E. LORING CONWAY	Electrical submittal OK 11/5/00 W/alter release	OK BG.	TEMP. HOOKUP AGENT 10/3/00 A/C + Pool Equip TOOK ONE Key
✓ S ④ 5096	CHANTOS 83 S. Sewall's Pt Rd A+W ROOFING	Dry int metal FLAT AREA on Rear	Reject Rained out.	No metal installed. FLAT AREA not do.
✓ N ⑦ 5059	BARRY WHALEN 9 Knowles Rd. CARDINAL ROOFING	Installation of tile (IN PROGRESS?) (FINAL?)	CANCEL 10/4 2:00	SHEATHING: 8/25 TITANIC: 8/25

OTHER: _____

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri Sat, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4771	Van Wagner	dry-wall	Passed	
N ✓ (2)	3 Palama Way Diaz	screws	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4761	Foglia	final pool ✓	Rejects	DELIVER FIELD COPY OF SURVEY
S ✓ (6)	103 H. Sewall Way Foglia-STAR LIFE POOL		BG.	RAILING NOT BOWDED NO ONE ON JOB
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4955	Rica	driveway -	Partial	South Side
N ✓ (5)	5 Banyan (Indielucie)	partial BUWALMA'S CONC.	BG.	only.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4939	Kennedy	storm	Passed	
N ✓ (3)	3 Oak Hill Way L&S DESIGN & CONST.	shutters (FINAL) M.Y.N. 4565	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4857	Conway	sub siding	Passed	WALLS & Lower
N ✓ (4)	4 Oak Hill Way Conway	nails & roof on garage nail	BG.	Roof only.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4857	Conway	screws -	Passed	
N ✓ (1)	19 N. Laguna Conway	dry-wall	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: T/R PERMIT APPL. - 205. SEWALL'S POINT RD.; BAUSCH (O/B)

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri APRIL 24, 2000; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4857	Conway	tie-down	Passed	
N ✓ (2)	4 Oak Hill Way Conway	for floor	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
47659	Conway	insulation	Passed	Insulate windows
N ✓ (1)	17 Lofting Way Conway		BG	Arches
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4803	Foglia	tin-tag	Passed	
S ✓ (3)	101 H Sewall Way Pacific	metal	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4382	WCCds	soil poison	Passed	PLUMB'G SUB (PN 4885) ISSUED
(4)	116 S. River Rd. EMMICK CONST. INC.	footers foundation	BG	FREW COPY OF STRUCT. REV.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4877	LOYOLA/OSBORNE	TEMP. ELECT.	Passed	(w/ req. request Friday a.m. next)
✓ (2A)	20 CASTLE HILL WAY (LOT 23) BUFORD CONST.	(RON TAYLOR, INC.) SUB PN 4879	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4732	Hufnager	Chimney Stopping	Passed	
✓ (1B)	19 Lofting Way Tettamanti		BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: A. T/R PERMIT APPLICATION: 24 S. SEWALL'S POINT RD. (VILLA) ✓ RESEARCH (REPL. REG.)
 B. " " " ; 3 CASTLE HILL WAY (WILSON) ✓ APPROVED
 C. " " " ; 6 MIDDLE ROAD (CLEMENTS) ✓ RESCHEDULE
 D. PN 4613; 8 PALM COURT (SUBID/ALAN MORRIS) - DELIVER BREKETS TEMP. ELECT. AGMT. ✓

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/14, 2000; Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4510	ALLMAN 66 S. SEWALL'S POINT RD A#W RFG.	TINTAG/MTL,		CANCELLED - RAIN reschedule Monday
4901	Hogan 1 W. High Point Cardinal	sheathing - plywood		CANCELLED - RAIN reschedule Monday
4659	Conway 17 Lofting Way owner	a/c duct (re-check per Bill)	PASSED	

OTHER: _____

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/27, 2000; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4659	Conway	mechanicals	Reject	Tape or mastic
(2)	17 1/2 of tina way Conway		BG.	Duct Connections
			No Fee	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4870	Doathy Stephens	Pin-Tag	Passed	
(5)	62 N. River Rd. PACIFIC REG. (PERMITS)	Metal	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4869	Gail Digby	Final Inspe	Passed	
(6)	7 Oakwood Dr. 7 OAKWOOD DR.; PACIFIC REG.	RE ROOF	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4654	Faglin	Shutter	Reject	FIELD COPY OF SHUTTER DEC'S
(7)	105 Henry Sewall Way		BG.	APPROVED - FOR PERMITS
			No Fee	DRAWING NOT COMPLETE WILL GET CORRECT DRAWING
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4813	Folweiler	tie beam &	Partial	NO SUB PERMITS!
(3)	11 Lofting Way ARK HOMES	column	BG.	- A/C; PLUMBING; REG.
			SAID they	Have permits except Roofing
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4719	Van Wagner	roof metal	Passed	STOP WORK ON REG. PENDING
4771	3 Paloma Way	tinted	BG.	SUBMITTAL OF M-DC PROD. APPR
(4)	Diaz 2 (ENGINEERED HOMES)	(REG. CONTR.??)		FOR REVIEW/APPROVAL
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4613	Subin	driveway	Passed	REVISED D/W TURNOUT
(1)	3 Palm Court MORRIS		BG.	APPROVED - FIELD COPY TO CASE

OTHER: (8) LIND; 6 ISLAND RD.; DELIVER C.O. (w/cc FOR CONTR.)
ADDING DRAIN IN ONE SECTION OF SWALE.

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/7/02, 2000;

Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4628	Hellerge L	All Trades	Reject	Plan Not Readable.
④	11 Castel Hill way STRATHMORE	REINSPECTION 2nd Trip - Reject Fee.	BG	Need water in tub + PIB System.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS 2 story
4717	Zorico	steel	Passed	A/c slab
①	124 N S.F. Rd.	re-inspect before pour	BG	on Grade Beam.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4659	Steve Conway	Front, Rear	PARTIAL	Strapping + Elec.
⑨	17 NE Loftway Way	Guest house. Porch FRAMING	BG	Rough to install T+G Ceiling.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR (Name/Signature): _____

2000 ~~1998-1999~~

Town of Sewall's Point
Building Department - Inspection Log

Mon, 2-21-00

PAGE 1 OF 1

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4702	Perry	sheathing	Passed	Complete
②	18 N. Ridgeview O/B		B.G.	
4802	Carroll	tin tag & metal sheathing	Passed	10:30 AM
③	17 S. Ridgewood PACIFIC 27-0116		B.G.	
4838	J. Giacorte	sheathing	Partial	Wants at 1 PM Wants call in Fire Dept
①	14 N. Viatorria JIM'S REG.			
4527	SEBEE	PATIO SLABS	Passed	1st Fl. Slab
⑦	37 NE LUTHER WAY GRIFFIN-260.2375		B.G.	
4759	Dartor	sheathing	Passed	
⑤	7 Palm Court PACIFIC		B.G.	
4820	Franco	sheathing	Partial	
④	26 E. Hi. Pt. PACIFIC		B.G.	
4769	Conway	tin tag & metal	Passed	
⑥	17 Lotting PACIFIC		B.G.	

OTHER: 1. 76 S. SEWALL'S POINT RD (RABBIT) - DELIVER EXTRA COPIES OF SURVEY
(NOT REQUIRED IN PERMANENT TOWN FILE)

INSPECTOR: _____

DATE: _____

~~2000~~ ~~1998~~ ~~1991~~
Town of Sewall's Point
Building Department - Inspection Log

Fri, 2-18-00

PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4659 ③	Conway 17 Lofting Way	tintag & metal	Passed BG.	
4818 ⑦	Doss 85 S. River Rd.	fire block	Passed BG.	OK to dry wall papered.
4690 ⑪	Subert 2 E. High Point	Final	Passed BG.	
4748 ⑥	Dunn 7 N. Via Lucindia	rough pl.	Passed BG.	Gas Line in PVC. Wire Curb FOR Elec. More wire need cleaner.
4665 ⑤	Nicklas 21 Castle Hill Way	Insulation	Partial BG.	Windows only.
4813 ④	Follweiler 11 Lofting Way	stem wall footing	Partial By	D-Footer + Planter.

OTHER: _____

INSPECTOR: _____

DATE: _____

2000 ~~1999~~ ~~1998~~

Town of Sewall's Point
Building Department - Inspection Log

100-1-31-00

PAGE 1 of 1

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4657	105 HENRY SEWALL FOGLA	POOL DECK DRIVEWAY PORCH	Passed BG	
4658	FOGLA 103 HENRY SEWALL	POOL DECK DRIVEWAY PORCH	Passed BG	
4758	Stier 13 Knowles	tie beam wall	Passed BG	Several pieces of steel short. Add pieces before pouring
4795	Downing 42 S.E.P.	underlayment meat	Passed BG	late AM install 2nd story
4859	Conway 177 Lot 67	sheathing - 1st floor 2nd floor substituting	Passed BG	sheathing 1st floor 2nd fl. sheathing Delivered letter for
4771	3 PACANA WAY (RACUN PLAZ)	VERIFY PRE-CONSTR SERVICES ELECT/WTR/WHW/TELCT	Passed BG	RELEASE STOP WORK

OTHER: Steve Conway - Delivered Letter #4589 130N. S.P. & DeGiacca FOR 5/8 plywood on underside of main floor + NO HURRICANE SHUTTERS ON 1ST FL. KNOCK OUT WALLS. FROM ENG. S.J. AMICO PE DATED 1-24-00

INSPECTOR: [Signature] BLDG OFFICIAL DATE: 1/31/00

1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

Wed, 1-12-00

PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4590	GABBERT	driveway	CANCEL	PM prefer
4590	2 nd Hi. Pt. Rd.		(BY CONTR.)	will call 1-12-00 with
			@ SITE W/O	name of owner
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4659	Conway	roof nailing	PASSED	ROOF SHEATHING
	17 Lofting	sheathing		COMPLETE
		(LAST PL.)		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4727	Saccone	final roof	PASSED	AM prefer
	25 Pern			W/15 PER. CONTR REQ.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4750	LUCIDO	NO GUARDRAIL/	PASSED	CLOSE OUT BLDG FILE,
	Z SABAL CT.	VENT. (GPR) FINAL		PN 4750
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR:  DATE: 1/12/00

~~1998-1999~~ 2000

Town of Sewall's Point
Building Department - Inspection Log

Mon, 1-2-00

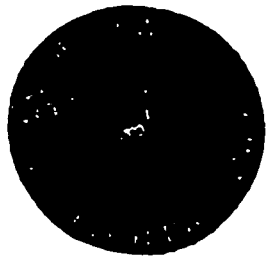
PAGE 1 OF 1

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
N 4650	Swiss Am 4 Banyan	re-inspect FRAMING - ALL ROOF FINAL	PASSED PASSED	
V 4707	Nicklas 21 C. Hill Way	pool deck	PASSED	10:10-10:50
4659	Conway 17 Lofting Way	sheathing dairling (MAD RE. SECT. "B")	PASSED	WIND ZONE (WEST) = REMARKS FOR UPSTAIRS
N 4775	Campo 5 Palama Way	trees	PASSED	9:00 AM OK for permit Manager; add. tree to be removed on site photo
S 285	LAGANA 144 S. SEWALLS PT. RD.	SITE VERIFICATION	PASSED	PERMIT ISSUED
S 4662	106 HEAVY SEWALL WAY FOGLIA CONST	TRUSS BLDG'G ROOF/WALL SHEATHING	PASSED PASSED	
V 4527	Seely 37 Lofting Way	column S. SOLID TUBE DOUBLS	PASSED	- CONTR. TO VERIFY SLAB ELEV FOR COL. STL. SPLICE LAP

OTHER:

INSPECTOR: 

DATE: 01/02/00



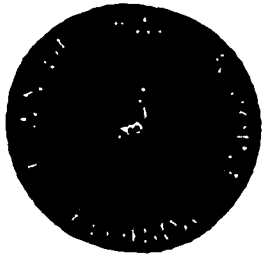
1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log
~~Wed. 12-22-99~~

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
41659	Coburn	sheathing	PASSED	
	17 N.E. Lofting	roofing		
		for pool house		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4589	De Goia	pre-pour	PASSED	AM PM
	130 N. S.P.	steel for INSULATION stairs		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4723	71 N. Riverview Koch	slab inspect.	PASSED	11:00 - REVISED FORMWORK SURVEY REQUIRED W/COMP TOPO. DATA FOR F.F.E.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4554	Fadden	final for	PASSED	before 10: AM
4553	16 S.S.P.	C.O.		C.O. ISSUED W/ COMPLIANCE LTR/AGMT - OUTSTANDING ITEMS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4628	Helriegel	tie beam	PASSED	
	11 C. Hill Way			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4766	McCarthy	sheathing	PASSED ✓	P.L. 10:00 AM
	4 N. Ridgeview			P.L. 12:00
	RIDGEVIEW			OK TO COMPLETE & ONLY-IN
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4527	Seeley	column pads	PASSED	
	37 NE LOFTING WAY (GILBEN CONST.)	x6		

OTHER: _____

INSPECTOR: _____ **DATE:** _____



**1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log**

Mon, 12-13-99

2

PAGE 2 of 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4553	Fadden 16 S.S.P.Rd.	temp. meter	FAILED	PM if possible - need approval for access to panel.
4672	Foglia 110 H. Sewall	tie beam	CANCELLED BY CONTRACTOR	NOT READY (cancelled on site)
4527	Seely 37 Lofting Way	pl. (undergr.)	PASSED	VERIFY PRESSURE TEST USED.
4659	CAVART 17 Lofting	pre-stressing strap	CONSTRUCTION PASSED	CONTRACTOR (completed 1:30 PM)
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER:

INSPECTOR:

DATE:



1998 - 1999 Town of Sewall's Point Building Department - Inspection Log

~~FRAMING 11/19/99~~

PAGE 1 OF 1

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4613	Subin 8 Palm Court	framing STRUCT/PLUMBING	FAILED	AM REINSPECT (NO FEE)
		ELECT/MECH (etc)	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4659	Conway 17 Loftingway	tiebeam/col pre-pour	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4527	Seely 37 Loftingway	footers	FAIL (NOT READY)	REINSPECT (NO FEE) MONDAY AM
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4690	NOBETL 2 VIA LUCINDIA	FRAMING (INCL ELECT.) STRAP/ANCHORS	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4739	KELSEY 11 EMARITA	T/T & MTL	PASSED	INSP. REQ VIA FAX 11/18/99
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: CODE E.L.F. - DRIVEWAY; 8 S. RIVER. ✓ VERIFIED NEW CONC P/W.
 # 19 LOFTING WAY (P.N. 4732) FIELD MTG. TO ESTABLISH FIN. FL. ELEV.
 (ORIGINAL SUBMITTAL HAD ON "LOW LOT" MAX F.F.E. 21.57); ELEVATIONS @ BKG LINE SHOT
 BY G.C. (SURVEY WILL VERIFY) B. 20.27 (same)
 C. 21.57 AVG = 21.1. F.F.E. MAX = 22.6

INSPECTOR: _____ **DATE:** 11/19/99



**1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log**


Tues, ~~11-2-99~~

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4589	CORWAY 130 N.S.P. Rd	steel	PASSED	9:AM POUR
		GROUP		
		Sub		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4657	Foglia 105 H. Sewall	tie/beam column	//	CANCEL
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4662	Foglia 105 H. Sewall	slab " bonding	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4696	Clements 6 Middle Rd	final roof	PASSED	PAPER (IN PROGRESS) INSPECTIONS UNDER PLOOR PERMIT
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4503	LUCIDO 2 SABAL CT (off RIDGE LANE)	TEMP. ELECT.	PASSED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

21 N. RIVER

OTHER: MARY ANN OAKLEY, 99 S. SECDAL'S PT. RD. 781-2469 (PRE-SITE INSP.)
DOUG BENT 975. " " " 286-5005

COMPLAINT - CONSTR w/o PERMIT (FENCE) 21 N. RIVER RD - ADVISED STOP WORK; PERMIT REQ
& AS TO LOCATION OF "BOUNDARY"
PORTION (25' FROM P.L.)

INSPECTOR:  **DATE:** 11/2/99



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

~~MON. 10-25-99~~

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4580	Zotta 23 Castle Hill Way	final for c.o. WALK-THRU	- CODE CITATIONS & DOCUMENTS TO CONTRACTOR w/gc	✓ EXTERIOR ONLY, GARAGE FIRE SUBPARATION (+ A/C EDGE); EQUIP. ASSESS. ERE; P.M. @ CONTR. REG. (11:30 AM)
4589	De Gioia 10 N.S.P.Rd.	footer steel pre-pour outdoor stairs	PASSED	
4659	Conway 17 Laguna	footer steel pre-pour finic stairs	PASSED	
4667	Erzizing 137 S. River	DOTO POOL DECK FORM.	PASSED	UNREINFORCED SLABS - PERMIT DOC'S. ILLEGIBLE - CONTR TO REPL.
4704	relocation of N.S.P. Rd.	final - ELECT. PANEL (IRRIG. SYSTEM)	PASSED	- MBEER RECHARGE FPL (ANDREA) 10/15 - 10/25/99
4684	LARAWAY 15 MIDDLE ROAD	POOL DECK (REINSP)	PASSED	RECHG. FEE PAID
4620	(CONC. CONST/A&G POOL)	EXT. STAIR FIG (REINSP)	PASSED	REINSP. FEE PAID

OTHER: _____

INSPECTOR: _____

DATE: 10/25/99



NORTH 1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log
~~Wed. 10-13-99~~

PAGE 4 OF 4

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4486	COOK 12 Oak Hill C Hill	C.O.	PASSED	10/14 11:00 AM METEX RELEASE CALL TO PPL (LEFT MESSAGE-SHEVA)
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4489	Conway 17 Loftgalloway Plantation	footers, gr. steel	PASSED	PIERS / PORCHES / PRIVACY WALL
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR: _____ **DATE:** _____



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

~~MOBILE 10/4/99~~

PAGE 1 OF 1

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4588	15 CASTLE HILL	RF. TR & MTL	PASSED	
		(PACIFIC RFG)		
4559	Conway 17 Lofting Way	pre-pour	PASSED	PM
		steel pool house main house		
4587	GUERARD 104 Abbie (STEATHMORE) COURT	all trades FRAMING		PM SPEEDY SET STRUCT
		ELECT/PLUMB/PLUMB/G	PASSED	LWD A.M.
4685	MORRISON 23 SIMARA 283-ROOF (PACIFIC)	RF - TIN FRG/MTL (REINSPECT)	PASSED	EARLY AM
		RICHARD GOMEZ 521-3988		
4620	LARAWAY 15 MIDDLE RD	FRAMING-REINSPE. (ELECT/PLUMB/STRUCT)	PASSED	EARLY AM
4699	TAORAMINA 26 FIELDWAY (STEIN & CO.) 465-9468	DRY-IN (RE-ROOF) (UNABLE TO INSPECT GARAGE RE. DRY-IN)	PASSED	AM - NO ONE ON SITE! REINSPECT PM (AFTER 2:0)
				2:30 PM

OTHER: _____

INSPECTOR: _____

DATE: 10/4/99



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log
 Fri., 9-24-99 PAGE 2 OF 2

N

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4683	Bruno/Andre's 2710 E. Ocean Harbour Bay	final	FAILED	PM NOT READY - RESCHEDULE 9/27 AM (1ST) (NO REINSP. FEE)
4640 (DOCK) (ELECT)	Amos 42 S. Sewall's 114	final dock dock electric	PASSED (PRIOR USP) PASSED	* 7662 code for gate
4659	Conway 1714 Loring	pl. (rough) 30 PVC-ACC 1.00 (QUEST CONCL.)	PASSED (ACC)	REQUEST AM (9/24 8.50) FIELD COPY (FORM BOARD SURVEY) TO SITE (COMPLETION TESTS ON FILE) ✓
4533	Fadden 16 S. Sewall's Pk. Rd.	all trades 260-3342 JEFF	PASSED (FULL FRAMING)	2:00 PM ✓
4590	Gebbert 2 E Hi Pt.	pl, a.c. HVC/PLMB	ELECT. PASSED FAIL	9:00 PTC; REINSPECT. LATE AM ORAL FOR REINSPECT (NO FEE) CONTR. REP ON SITE
4616	Kimmelmann 19 Abbie	pool deck	FAILED	PM (1:00) INCOMPLETE - NO ONE ON SITE
4665	Nicholas 21 Castle Hill	slab	PASSED	AAA FORBID. SURV. ON FILE NEED COMAP/SOL STER. REQUEST 1:00 - 1:30 (9/24 8:45)

OTHER: _____

INSPECTOR: _____

DATE: 9/24/99



1998 - 1999 Town of Sewall's Point Building Department - Inspection Log

Wed., 8-25

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4578	Arch 18 Palm Rd.	final - renovations		Cancel
4653	Clements 11 W. High Rd	electrical inspect		
4595	BRUNER 105 HILLCREST CT (Info AM - 11:00) (let)	CODE COMPLIANCE (MIKE GURTZ - ST. CLAIR BLDGS; 871-7911 (289-4891))	MR. BRUNER MIKE GURTZ BOB GURTZ BBA	REVIEWED GARAGE SEPARATION RECD. REVIEWED Pkg TO BE SUBMITTED (W COMPLIANCE) (RAISE HALL TO 7" ABOVE GARAGE; 5' FT. THICK WALLS; CAR. LG.; CLOSE OFF D.P.; SELF-CLOSING)
4660	H. Low Bay 3766 S.E. OCEAN 253-6722	framing inspect	Passed	TIE BM N/R; SHEATH/INSUL N/R STRAPPING ✓ FRAMING ✓
4659	[REDACTED] 17 NE COFFIN [REDACTED] PERMITS LOT 20	Temp. [REDACTED] elec	Passed (NOTE TO ADJUST)	ONSITE SERVICES IN PLACE ✓ OF (WATER, DUMPSTER, SAN.) BKR PANEL CONV. WITH FPL SERVICE ORDER 8/25 1:05 "SHEATH"
4588	Science 18 Front Hill Way	Roof structure inspect		Cancel
4628	H. [REDACTED] [REDACTED] Hill Way	garage, [REDACTED] & down [REDACTED]	Failed	Contractor on site; reviewed defects; will correct & reinspect reinspect fee \$30.00

OTHER: _____

INSPECTOR: _____

DATE: 8/25/99

FRASER ENGINEERING AND TESTING, INC.

VERO BEACH (561) 567-8187

3504 INDUSTRIAL 33rd STREET * FORT PIERCE * FLORIDA * 34948
 FORT PIERCE (561) 481-7508

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

Report
 of
 DENSITY OF SOIL IN PLACE
 ASTM D2922

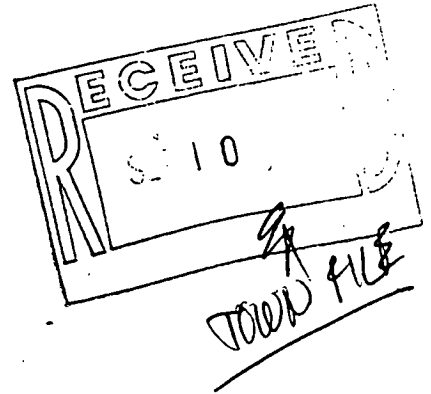
CLIENT: Steve conway

Date: 9/8/99

CONTRACTOR: Client

Permit #: 4659

SITE: 17 N.E. Lofting Way
 Foundation Fill

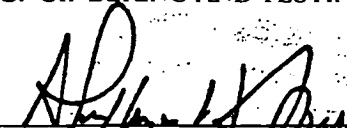


DENSITY TEST NO.	DATE TESTED	LOCATION	ELEVATION	MOISTURE-DENSITY RELATIONSHIP		IN PLACE DRY DENSITY	PERCENT COMPACTION
				TEST NO.	MAX. DRY WT.		
1462	9/8/99	N.E. Corner, Main House	0 - 1'	1462	108.5	103.3	95.2
		Center, Main House	"			103.5	95.4
		S.W. Corner, Main House	"			103.2	95.1
			1 - 2'			104.3	96.1
		N.E. Corner, Guest House	0 - 1'			106.2	97.9
		S.W. Corner, Guest House	"			106.1	97.8
ALL ELEVATIONS BELOW SLAB GRADE							

Copies: Client - 1
 Sewall's Point Bldg. Dept. - 1

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.


 Alexander H. Fraser, P.E. Fla. Reg. No. 16178

ROBERT M. WIENKE
Mayor

MARC S. TEPLITZ
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

THOMAS P. BAUSCH
Commissioner

E. DANIEL MORRIS
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCarthy
Chief of Police

EDWIN B. ARNOLD
Building Official

JOSE TORRES, JR.
Maintenance

COPY

CERTIFICATE OF OCCUPANCY

Single Family Residence Other _____

OWNER: STEPHEN P. CONWAY ; PROPERTY ADDRESS: 17 N.E. LOFTING WAY

LEGAL DESCRIPTION: LOT 20 BLOCK _____ SUBDIVISION PLANTATION

GENERAL CONTRACTOR: STEPHEN P. CONWAY ; LIC/CERT NO. CRC053742

ADDRESS: 1 RIVER CREST RD. ; TEL 220-0064 ; FAX _____

ARCHITECT OR ENGINEER: MARK A. CORSON ; LIC/REG. NO. AA 2971

ADDRESS: 800 E. OCEAN BLVD, SUITE C, STUART, FL 34994 ; TEL 773-8227 ; FAX 773-7234

PERMIT NO: 4659 ; DATE OF ISSUE: 8/13/99 ; RENEWAL PERMIT NO: * ; DATE OF ISSUE: _____
*PN 4659 EXTENDED TO 11/13/00

In accordance with the requirements of the South Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 1ST day of NOVEMBER, 2000.

Edwin B. Arnold, AIA, CBO
Building Official, Town of Sewall's Point

cc: CHIEF OF POLICE
TOWN CLERK
BLDG. FILE

PREDICTABILITY + ACCOUNTABILITY = COMPLIANCE



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

THE CONWAY RESIDENCE

	AREA SQ FT	BTUH LOSS	BTUH GAIN
STRUCTURE TOTALS	50,221 CU FT	4,648	
	SENSIBLE LOAD	107,734	21,845
			34,326 L

MINIMUM Cooling Capacity needed is 113,171 btu
 at 91 degrees outside and 75 degrees inside

Maximum desired Sensible Cooling Capacity is 94,122 btu
 (115% of Sensible Load)

***** Version 92.10 *****
 * This Heating and Cooling Load Computation was produced using the procedures *
 * and tables of the Air Conditioning Contractors of America's Manual J, *
 * Seventh Edition. The accuracy of the calculated loads depends upon the *
 * accuracy of the data used and the accuracy of the Manual J load calculation *
 * procedures for the given conditions. No warranty, either expressed or *
 * implied, is given by Lennox Industries Inc. with respect to the accuracy *
 * and/or sufficiency of the information provided by this report. *

4853

POOL/SPA

MASTER PERMIT NO. 4659

TOWN OF SEWALL'S POINT

Date 3/2/00 BUILDING PERMIT NO. 4853
 Building to be erected for STEVE CONWAY Type of Permit POOL/SPA
 Applied for by OLYMPIC POOLS OF STUART (Contractor) Building Fee \$240.00
 Subdivision PLANTATION Lot 20 Block _____ Radon Fee _____
 Address 17 N.E. LOFTING WAY Impact Fee _____
 Type of structure S.F.R. (OWNER CONST.) A/C Fee _____
 Electrical Fee _____
 Parcel Control Number: _____ Plumbing Fee _____
 Roofing Fee _____

Amount Paid \$240.00 Check # 11319 Cash _____ Other Fees (_____)
 Total Construction Cost \$ 25,000.00 TOTAL Fees \$240.00

Signed [Signature] Applicant Signed [Signature] Town Building Inspector OFFICIAL

POOL / SPA PERMIT

INSPECTIONS

SETBACKS	DATE _____	DECK	DATE _____
COMPACTION TESTS	DATE _____	ENCLOSURE & LATCH	DATE _____
GROUND ROUGH	DATE _____	DOOR ALARM(S)	DATE _____
STEEL & BOND	DATE _____	FINAL	DATE <u>11/3/00</u>
LIGHT NITCHE	DATE _____		

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS – 8:00 AM UNTIL 5:00 PM
MONDAY TROUGH SATURDAY

- New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

Permit No.

~~4659~~ 4853 (MATTER 4659)

RECEIVED

DATE 7/14/00

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable; and at least two (2) elevations, as applicable.

Owner Steve Conway Present Address 1 Rivier Crest Court

Phone 220-0064 Strat, Fla. 34997

Contractor Olympic Pools of Stuart Address 1565 S.W. Martin Hwy

Phone 286-6070 Palm City, Fla 34990

Where licensed State of Fla License number CPL039888

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Swimming Pool w/ Spa

State the street address at which the proposed structure will be built:

17 M.E. Lofting Way

Subdivision The Plantation Lot number 20 Block number _____

Contract price \$ 25000 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner _____

TOWN RECORD

Date submitted _____ Approved: _____ Building Inspector _____ Date _____

Approved: _____ Commissioner _____ Date _____ Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) _____ Date _____

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 718, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Lot # 20 The Plantation Seminars Pl 17th E Lottling Way

GENERAL DESCRIPTION OF IMPROVEMENT: Swimming Pool w/ Spa

OWNER: Stephen P. Conway + Jennifer E. Conway

ADDRESS: 1 River Crest Court

PHONE #: 220-6064

FAX #: 220-8601

CONTRACTOR: Olympic Pools of Stuart, Corp.

ADDRESS: 1565 S.W. Martin Hwy Palm City, Fla 3499.

PHONE #: 286-6070

FAX #: 288-6962

SURETY COMPANY (IF ANY) _____

ADDRESS: _____

PHONE #: _____

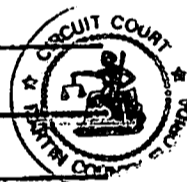
BOND AMOUNT: _____

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL

MARSHA STILLER, CLERK

BY TCOPUS DC
DATE 2-14-00



LENDER: First Union Mortgage Corp

ADDRESS: 130 North Ridgewood Ave Daytona Beach, Fla 32114

PHONE #: _____

FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 718.18(1XA)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

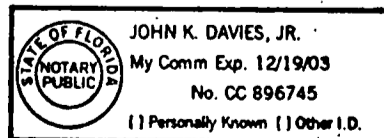
IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

PHONE #: _____

FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Stephen P. Conway
SIGNATURE OF OWNER



SWORN TO AND SUBSCRIBED BEFORE ME THIS 25 DAY OF JANUARY 2000 BY Stephen P. Conway

John K. Davies, Jr.

OR PERSONALLY KNOWN
PRODUCED ID _____
TYPE OF ID _____

(UNPLATTED)

NORTH LINE THE PLANTATION AT SEWALL'S POINT

Boundary Survey For: Steve Conway

Legal Description

Being all of Lot 20, according to the Plat of THE PLANTATION AT SEWALL'S POINT, as recorded in Plat Book 12, Page 70, Public records of Merth County, Florida.

Legend

Fd	Found	(M)	Measured Data
R/W	Right-of-way line	(IR)	Iron Rod
PCP	Permanent Control Point	(P)	Plot Data
CM	Concrete Monument	(P)	Iron Pipe
PP	Power Pole	(C)	Concrete
(C)	Calculated Data	A/O	As Consultant
DRB	Official Reports Book	PLS	Page
ID	Identification Number	TT	The Title

General Notes

- The bearings shown hereon are referenced to the Centerline of N. E. Lofting Way, having a bearing of S 86°29'02" E, according to Plat of THE PLANTATION AT SEWALL'S POINT.
- All above ground fixed improvements, if any, have been located and shown hereon.
- Underground utilities and utility services have not been located on this survey.
- Flood Note: By graphic plotting only, this property is in Zone "0" according to the Flood Insurance Rate Map, Community Panel No. 120184 0001 D, effective date August 15, 1978, (revised 6/16/82). The exact designation can only be determined by an elevation certificate.
- Elevations shown hereon are referenced to NGVD, as based on U.S. Army Corps of Engineers Bench Mark IWM-5, having an elevation of 4.395 feet.

Certification

(Not valid unless sealed with an embossed Surveyor's seal)

I HEREBY CERTIFY to Steve Conway that the survey of the property shown hereon was completed under my direction on July 18, 1995 and said survey is true and correct to the best of my knowledge and belief. There are no encroachments other than those shown hereon.

I FURTHER CERTIFY that this survey meets the Minimum Technical Standards as set forth by the Florida Board of Land Surveyors pursuant to Section 472.027, Florida State Statutes. No search of the public records has been made by this office. This survey is based on information furnished by the client or the client's representative.

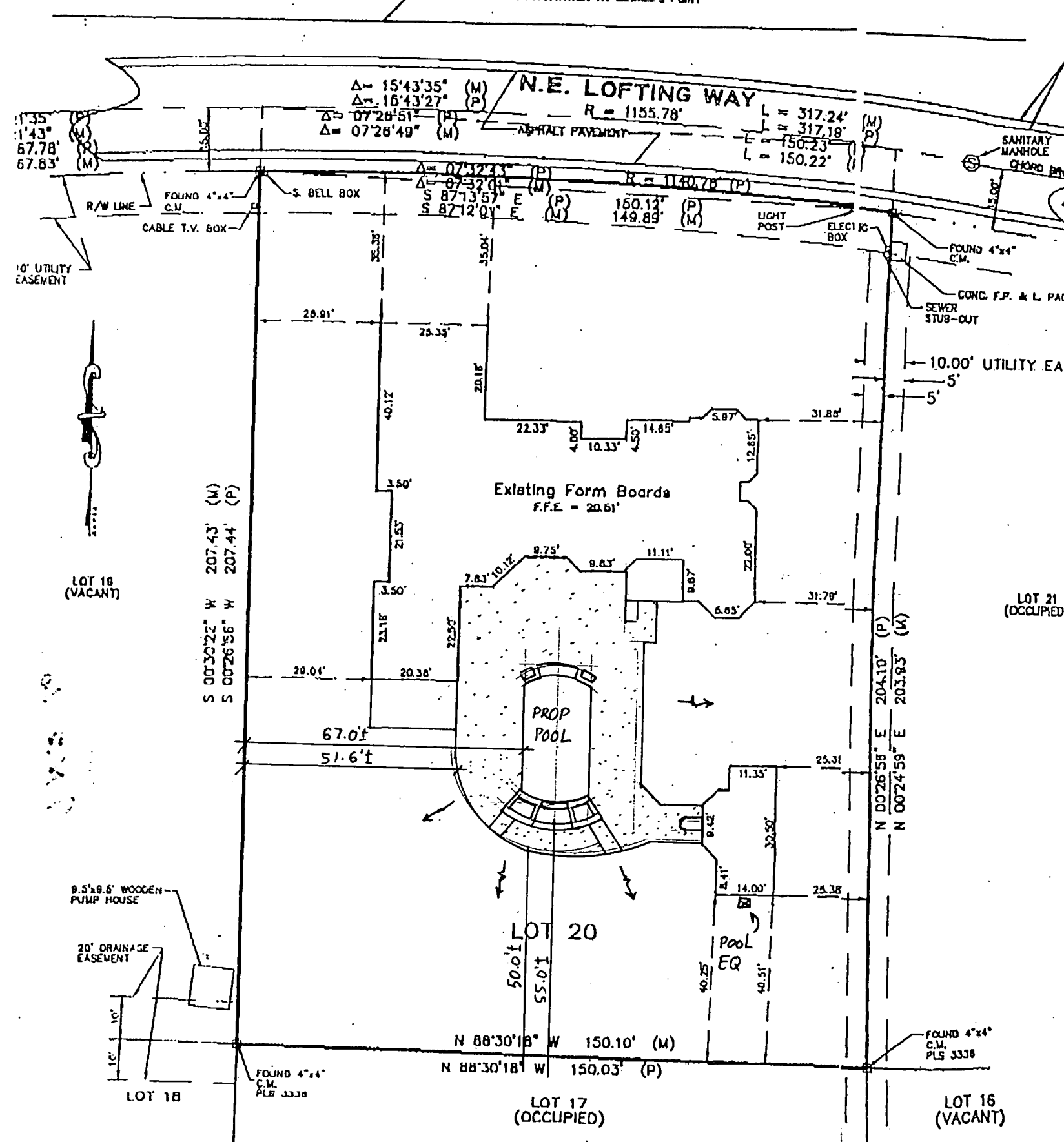
7/21/95
Date of Signature

Richard W. Bussell
Richard W. Bussell
Professional Surveyor & Mapper
Florida Certificate No. 3858

REVISION: Added Form Board Tie-In 8-20-99

Richard W. Bussell, Inc.
Survey Sciences, Mapping & Consulting
1920 S. Federal Highway, Suite 101

Boundary Survey For:
Steve Conway
Town of Sewall's Point Merth County Florida



ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
01/28/2000

PRODUCER (561)334-3181 FAX (561)334-7742
Rick Carroll Insurance Agency
2160 N.E. Dixie Highway
P.O. Box 877
Jensen Beach, FL 34958-0877
Attn:

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED
Olympic Pools Of Stuart Corporation
1565 Sw Martin Highway
Palm City, FL 34990-1370

Ext:

FILE
PERM IV

COMPANIES AFFORDING COVERAGE

COMPANY A Transcontinental Ins Co
COMPANY B CNA
COMPANY C Associated Industries of FL
COMPANY D

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR OWNERS & CONTRACTOR'S PROT	C113132148	02/01/2000	02/01/2001	GENERAL AGGREGATE \$ 1000000 PRODUCTS - COMP/OP AGG \$ 1000000 PERSONAL & ADV INJURY \$ 1000000 EACH OCCURRENCE \$ 1000000 FIRE DAMAGE (Any one fire) \$ 50000 MED EXP (Any one person) \$ 5000
B	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	C1028001140	02/01/2000	02/01/2001	COMBINED SINGLE LIMIT \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL	2000313225	02/01/2000	02/01/2001	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER EL EACH ACCIDENT \$ 500,000 EL DISEASE - POLICY LIMIT \$ 500,000 EL DISEASE - EA EMPLOYEE \$ 500,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS
CERTIFICATE IS FOR PROOF OF INSURANCE ONLY

CERTIFICATE HOLDER

TOWN OF SEWALLS POINT

MASTER 2000

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Keith Carroll/KAS

Keith Carroll

ACORD CORPORATION



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD
7960 ARLINGTON EXPRESSWAY
SUITE 300
JACKSONVILLE FL 32211-7467

(904) 727-6530

SMITH, KIM S
OLYMPIC POOLS OF STUART CORP
1565 SW MARTIN HWY
PALM CITY FL 34990-3390

STATE OF FLORIDA AC# 51731
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CP -C039888 06/17/1998 979040
CERT COMMERCIAL POOL/SPA CONTR
SMITH, KIM S
OLYMPIC POOLS OF STUART CORP

IS CERTIFIED under the provisions of Ch. 489
Expiration Date: AUG 31, 2000

DETACH HERE

AC# 5173165

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/17/1998	97904058	CP -C039888

The COMMERCIAL POOL/SPA CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2000

SMITH, KIM S
OLYMPIC POOLS OF STUART CORP
1565 SW MARTIN HWY
PALM CITY FL 34990-3390

RICHARD T FARRELL

ROBERT M. WIENKE
Mayor

MARC S. TEPLITZ
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

THOMAS P. BAUSCH
Commissioner

E. DANIEL MORRIS
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager


JOAN H. BARROW
Town Clerk

LARRY McCARTY
Chief of Police

EDWIN B. ARNOLD
Building Official

JOSE TORRES, JR.
Maintenance

NOTICE OF RESIDENTIAL POOL SAFETY REQUIREMENTS

To: Olympic Pools of Stuart
1565 SW Martin Highway
Palm City, FL 34990
From: Edwin B. Arnold, Building Official 
Subj: Preston de Ibern/McKenzie Merriam
Residential Swimming Pool Safety Act
Date: Sept. 1, 2000

COPY

Section 515.27 of the subject law provides in part as follows:

(1) In order to pass final inspection and receive a certificate of completion, a residential swimming pool must meet at least one of the following requirements relating to pool safety features:

(a) The pool must be isolated from access to a home by an enclosure that meets the pool barrier requirements of s. 515.29;

(b) The pool must be equipped with an approved safety pool cover;

(c) All doors and windows providing direct access from the home to the pool must be equipped with an exit alarm that has a minimum sound pressure rating of 85 dB A at 10 feet; or

(d) All doors and windows providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with a release mechanism placed no lower than 54 inches from the floor.

Department records indicate you have the following outstanding pool permits in our jurisdiction:

PN 4853	17 NE Lofting Way	Conway
PN 4949	4 Oak Hill Way	Conway
PN 4950	20 N. Ridgeview	Wattles
PN 5012	124 N. Sewall's Point Road	Zarro
PN 5029	6 Lantana Lane	Page

The effective date of this statute is October 1, 2000. All pools completed on or after that date will be required to fully comply with the provisions of the statute. Please contact me if you have any questions.



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org



*POOL
PN 4853
HARRIS*

*FILED
WSP, 10/1/00*

RECEIVED
NOV - 1 2000
BY: *[Signature]*

FILE

BABY GUARD™

"We Never Let Our Guard Down"

Removable Mesh Pool Fences

About the Product

Mesh:

Baby Guard manufactures two meshes:

1. A strong and durable textaline mesh is available in black only and placed on 36" centers.
- ② 2. The Baby Guard Premium Interlock mesh. This fence is an updated and improved version of what has been available in the industry to date. Due to Baby Guard's dedication to building and highest quality fence available, they are able to offer pool owners a totally rip-proof, shrink-proof, and mildew-proof fence. The premium mesh is installed on 30" centers for added strength and to provide more structure to the fence. The Baby Guard Premium Interlock fence is the first safety fence ever designed strictly for use as a pool fence.

The Interlock mesh is completely transparent and is available in colors to match any home decor.

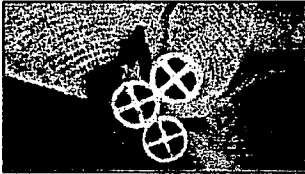
The mesh is available in the following colors:

- Black
- White
- ★ • Forest Green
- Beige

Baby Guard has truly found a way to build a fence that is strong, durable and great looking.

Poles:

Baby Guard constructs its fence using a non-corrosive, rust proof XT-6000 aluminum reinforced pole, considered the strongest pole in its class. This pole is available in colors to match the Baby Guard Premium Interlock mesh. The color is powder-coated to the pole, to prevent scratching, peeling and chipping. Baby Guard also offers a fiberglass composite pole, which is available in black only.



The Baby Guard "XT-6000" pole is non-corrosive and rust proof. These poles are the strongest in it's class and available in coordinating colors.



The Baby Guard fiberglass composite posts are strong and durable, built to out last your use. Available in black only.

Accessories:

All of the parts used to construct the Baby Guard pool safety fence are of the highest quality. Baby Guard uses stainless steel screws, heavy molded sleeve inserts and brass latches; all designed to stand up well to any environmental element.

Installation

All installers are trained and certified by Baby Guard to ensure quality installation of every Baby Guard pool safety fence. Baby Guard fences can be installed in virtually every deck surface, such as wood, tile, acrylic, brick pavers and seawalls.

[Who We Are](#) | [Our Products](#)
[Photo Gallery](#) | [Where to Find Us](#) | [Contact Us](#)

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All Rights Reserved

Website design by [US1 Internet, Inc](#)

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11-13, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5013	Dennis	exterior	PASSED	SOIL TREATMENT 1 1/2
①	16 Ridgeland Fla. Finest	porches prior to pour	☞	(INCL. STEPS & STAIRS)
4692	Bench	roof final	PASSED	call 285-8434-
③	4 Morgan Circle Wilfram (RON WILSON)		☞	ROOF TO BE UP TO BE N/A (LEFT MESSAGE)
5119	Kokoyannis	tin tag	X	CANCEL BY CONTR (RESCHEDULE N/A)
X	86 S River Rd. Pacific	meel	X	
4853	CONWAY	FINAL	PASSED	INCL. BARRIER FENCE
⑧	17 NE LOFTING WAY OLYMPIC POOLS		☞	
5110	CONWAY	FINAL	PASSED	
⑨	17 NE LOFTING WAY UNITED FENCE		☞	
5132	Erent	T/Roof (PITCH)	PASSED	as early as possible
②	6 Knowles Rd A & W	SUBMIT TRAIN (FLAT)	☞	
4797	Kennedy	pool final	PASSED	equip. has been
⑫	111 N.S.P. Rd.	(REINSPECTION - ZONING COMPL. ONLY.)	☞	moved - VERIFIED ALL POOL EQUIP. BEYOND 15' SETBACK

OTHER: 220-7626 MAYOR
285-8434 RON WILSON MILORDO
 ⑪ ✓ SITE VISIT: KISSLING; 75... moved planting day of prep
 INSPECTOR (Name/Signature): no determination of possible ord. viol.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6-7-00, 2000; Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4853	Conway	pool	X	THIS INSPECTION WAS PERFORMED 6/2/00 PASSED (BG)
4853	WILCO/CONWAY OLYMPIC POOLS	plumbing CANCEL		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JUNE 21, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4711	Guerrard	final pool	Passed	permit will be
✓ (3A)	104 Abbie Court Advantage	(REINSPECT) VERIFY FEE PD.	Bq.	on house 781-3033 Michel.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4803	Foglia	slab for	Passed	VALLEY SALT TREATMENT
✓ (2)	107 H. Sewall Way owner/cont.	covered patios	Bq.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4853	Corwey	pool	Passed	20 PSI
✓ (1)	12 Lofting Way owner/cont.	plumbing	Bq.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4569	GUERRARD	VERIFY C.O.	Passed	- WET BAR SINK INST.
✓ (3B)	104 ABBIE CT STRATHMORE	CONDITIONAL ITEMS COMPLETION	Bq.	- BARBQUE FAN
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4554	PAGE (287-0769)	CONST. STATUS		- PERMIT TO BE RENEWED
(EXP.)	B ST. LUCIE CT.			- POSSIBLE CHANGE OF CONTR
✓ (4)	GLACE HOMES OFF Hill CREST			- S/B NO CONST. ACTIVITY
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
	① Roof Loaded with Cement Tile - Spanish-S			
	② NO windows + DOORS. ③ WALLS installed			④ Trades installed
	⑤ CANT see 1st + 2nd fl. ANCHORING.			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: 17K APR. 132 S. RIVER RD - JAMISON (0/B)

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3-29, 2000;

Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4657	FOGLIA	TEMP. ELECTER	Passed	REQUEST CTR. OFFICE
⑩	105 HENRY SEWALL WAY FOGLIA CONST	(30-DAY)	B.G.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4803	FOGLIA	BOND BEAM &	Passed	
⑨	101 HENRY SEWALL WAY FOGLIA CONST	COLUMN	B.G.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4813	Folweiler	steel slab	Passed	
②	11 Lofting Way ARK HOMES	for front porch	B.G.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4823	Conway	POOL/SCUBA	Passed	DELIVER FIELD COPY OF FORM TO POOL SURVEY, B.C.
③	17 Lofting Way OLYMPIC POOLS		B.G.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/5/01

Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 5012 (9)	3000 124 NS Pt.	Pool final	Passed	J 1/5
✓ N 4973 (6)	Steve Conway 7 NE [redacted] Way (Plantation)	Pool final	Passed	J 1/5
✓ S 4978 (4)	RIMER -5206 29 S. RIVER RD. Pacific	SHEATHING		
✓ N 4963 (1)	JOHNSON (MAY) 9 QUAIL RUN PACIFIC	RE-ROOF - FINAL	Passed	9:00 J 1/5
✓ S 4930 (6)	KELLER 14 CRANES NEST PACIFIC	REROOF - FINAL	Passed	J 1/5
✓ S 4928 (2)	COOPER 33 W. HIGHPOINT PACIFIC	REROOF - FINAL (repair only)	Passed	J 1/5
✓ N 5082 (8)	VAN WAENER 3 PALMIA WAY ENGR'D HOMES	FENCE - FINAL	Passed	J

OTHER: _____

INSPECTOR (Name/Signature): _____

5110

FENCE

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 10/12/00

BUILDING PERMIT NO. 5110

Building to be erected for STEVE CONWAY

Type of Permit FENCE-CHAIN

Applied for by UNITED FENCE

(Contractor) Building Fee \$ 30.00

Subdivision PLANTATION Lot 20 Block _____

Address 17 N.E. LOFTING WAY

Type of structure SFR.

Radon Fee _____

Impact Fee _____

A/C Fee _____

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Parcel Control Number: _____

Amount Paid \$ 30.00 Check # 9511 Cash _____ Other Fees (_____)

Total Construction Cost \$ 2,480.00

TOTAL Fees \$ 30.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector [Signature]

FENCE PERMIT

INSPECTIONS

SETBACKS
FOOTINGS

DATE _____
DATE _____

HEIGHT
FINAL

DATE _____
DATE 11/3/00

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY TROUGH SATURDAY

New Construction **Remodel** **Addition** **Demolition**

This permit must be visible from the street, accessible to the inspector.

**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

Bldg. Pmt# _____

Town of Sewall's Point

Date 10/2/00
RECEIVED
OCT 03 2000
BY: LM
220-0064

BUILDING PERMIT APPLICATION

Owner's Name: Steve Conway Contractor's Phone No. _____
Owner's Present Address: _____
Fee Simple Titleholder's Name & Address if other than owner _____

Location of Job site: 17 N.E. Lottling Way Sewalls Pt. Fl.
TYPE OF WORK TO BE DONE: 4' Green Chainlink Around Backyard
CONTRACTOR INFORMATION
Contractor/Company Name: United Fence Phone No. 335 2627
COMPLETE MAILING ADDRESS: 367 Nottlem Dr. Ft Pierce Fl
State Registration _____ State License Martin Co. S.P00541
Legal Description of Property Lot 20 of Plantation at Sewalls Pt. Fl.
Parcel Number _____

Cost of Construction \$2480.00

ARCHITECT/ENGINEER INFORMATION

Architect _____ Phone No. _____
Address _____
Engineer _____ Phone No. _____
Address _____

Area Square Footage: Living Area _____ Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE _____ AMPS

Total Footage 398'

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement _____
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No _____
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing _____ State License# _____

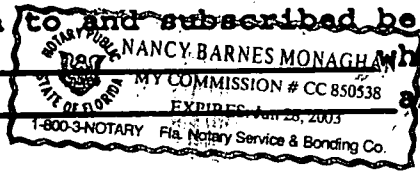
Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

Contractor
OWNER or AGENT SIGNATURE George Quinn
Sworn to and subscribed before me this 2nd day of October, 1998 by 2000
GEORGE QUINN who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.

CONTRACTOR SIGNATURE _____
Sworn to and subscribed before me this 2nd day of October, 1998 by 2000
by Nancy Barnes Monaghan who is personally known to me or has produced _____ and who did (did not) take an oath.



Nancy Barnes Monaghan
Page 1

TREE REMOVAL (Attach sealed survey)
No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
 7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

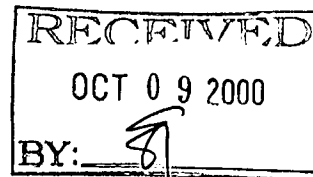
Job: Steer Conveyor Cont.

Material List

- All 48" gga. Vinyl Coated Fabric
- All 15/8" x 6' x .055 Pipe
- All 13/8" x .055 Top Rail
- All 2 1/2" x 6' x .055 Terminal Poles
- All 2 1/2" x 6' x .055 w/ Gate Poles
- All 1 3/8" welded Frame Gates
- All Poles in Concrete
- Maximum Pole Spacing 10'

Clerk of Sewall's Point

From: <Adsmews@aol.com>
To: <Clerk@sewallspoint.org>
Cc: <Ellynsmail@cs.com>
Sent: Friday, October 06, 2000 2:40 PM
Subject: Atten: Bld Inspector



Good afternoon

To confirm our conversation this afternoon the ~~Parade Home Owners~~
~~Association~~ approved the erection of a four foot (4') green vinyl covered
~~chain link fence located in the rear (back yard only) three (3') feet inside~~
~~of the property line of lot 20, the Conway property, adjacent to lot 17, #9,~~
~~& 21. Vegetation shall be planted on the neighbors side of the fence to~~
completely conceal the fence to include those portions which front or can be
viewed from the street. If you require any further information please don't
hesitate to call.

FILE
PENDING
PERMITS APPL.
17 NE LOFTING WAY

Anthony Smith Chair of the Architectural Review Board
7 NE Lofting Way

Phone 288 1244

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
05/02/00

PRODUCER
Admiral Insurance Assocs. Inc.
2213 South Kanner Highway
Stuart, FL 34994
561 781-1099

INSURED
George Quinn
dba United Fence & Ste
367 Notlem Dr
Ft. Pierce, FL 34982 *Me/ins*

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COPY

FILE

INSURERS AFFORDING COVERAGE

INSURER: A ESSEX INSURANCE CO.
INSURER B: *Permit*
INSURER C:
INSURER D: **FILE**
INSURER E:
RECEIVED
MAY - 4 2000
BY: *[Signature]*

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJ. <input type="checkbox"/> LOC	3AP4139	04-30-00	04-30-01	EACH OCCURRENCE \$100,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 1,000 PERSONAL & ADV INJURY \$100,000 GENERAL AGGREGATE \$200,000 PRODUCTS - COMP/OP AGG \$200,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU- TORY LIMITS <input type="checkbox"/> OTH- ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Fence Installation

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

City of Sewells Point
1 S Sewells Point Road
Sewells Point, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

220-4765

NOTICE OF ELECTION TO BE EXEMPT

Please refer to the written instructions prepared by the **PAID** Division of Workers' Compensation before completing this form.

By filing this application, you elect to be exempt from the provisions of Chapter 440, Florida Statutes and waive any right you may have to workers' compensation benefits in the State of Florida should you become injured on the job. Any person who knowingly and with intent to injure, defraud, or deceive the Division or any employer, employee, or insurance company or purposes program, files a Notice of Election to be Exempt containing any false or misleading information is guilty of a felony of the third degree. Certain documentation is required by law to be attached to this application - refer to the instruction sheet for more details.

STATE USE ONLY

Effective/Issue Date: _____

Expiration Date: _____

Control Number: _____

Postmark Date: NPD

Received Date: _____

1799-00980018

I am applying for exemption as a (check only one box in this section):

CONSTRUCTION INDUSTRY Sole Proprietor Partner Corporate Officer (your corp. title: _____))-0:

NON-CONSTRUCTION INDUSTRY Corporate Officer (your corp. title: _____))-0:

CORPORATE OFFICERS AND PARTNERS: List the registration number of your business on file with the Division of Corporations, Department of State's Office (NOTE: your partnership may not have one, but all corporations must have one. If your partnership doesn't have one, state "N/A"):

N/A

RECEIVED
JAN 10 2000

Are you a sole proprietor, partner, or corporate officer in any business entity other than the business to which this application applies?

NO YES list the name of all other businesses in which you have an ownership interest: _____

BUREAU OF W & C COMPLIANCE
WEST PALM BEACH

THIS EXEMPTION APPLICATION APPLIES ONLY TO THE PERSON SIGNING THE APPLICATION AND ONLY FOR THE BUSINESS ENTITY LISTED IN THE FOLLOWING SECTION

Business Name: <u>UNITED FENCE & STEEL</u>		Trade Name; d/b/a; or a/k/a:	
Business Mailing Address: <u>367 NOTLEM DR</u>		City: <u>FT. PIERCE</u>	State: <u>FLA</u>
Country: <u>ST. LUCIE</u>	Phone No.: <u>(904) 3352627</u>	Nature of Business: <u>FENCE INSTALLATION</u>	FEIN: <u>NONE</u>
Unemployment Compensation Tax No:	Date Business Established: <u>5.18.78</u>	No. of Employees: <u>NONE</u>	

Do you have a certified or registered license issued to you pursuant to Chapter 489, Florida Statutes? YES - identify the license and list the license no. of all licenses issued to you: SP-54, SP-204, 16723, 674 NO

AFFIDAVIT OF APPLICANT: I hereby certify that the information contained herein is true and correct to the best of my knowledge and belief; that this election does not exceed exemption limits for corporate officers or partners as provided in §440, Florida Statutes; and that I will secure the payment of workers' compensation benefits, pursuant to Chapter 440, Florida Statutes, for any employee I now have or may hereinafter acquire, for which my business is required by Florida law to secure such benefit.

GEORGE QUINN
TYPE/PRINT NAME OF PERSON APPLYING FOR EXEMPTION

George Quinn
APPLICANT'S SIGNATURE

NOTARY STATE OF FLORIDA, COUNTY OF St. Lucie

054, 34, 16262 6, 4, 14
SOCIAL SECURITY NO. mo. day yr

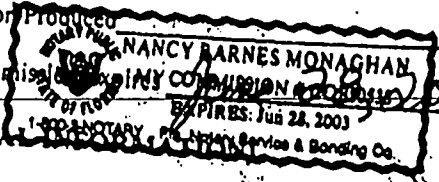
1. 10. 00
DATE OF BIRTH

DATE SIGNED

Sworn to and subscribed before me this 10th day of January, 2000, by GEORGE QUINN

Personally Known OR Produced Identification _____ Type of Identification _____

NOTARY SIGNATURE Nancy Barnes Monaghan
LES FORM BCM-250-T
Revised 12/17/98



(SEE REVERSE FOR ADDITIONAL INFORMATION)

COPY
permat

FILE

FILE
de/rus

RECEIVED
OCT 12 2000
BY: *[Signature]*



**MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency**

License: SP00541
Expires September 30, 2001

QUINN, GEORGE R
UNITED FENCE CO
367 NOTLEM DR
FT PIERCE, FL 34982
FENCE ERECTION

RECEIVED
FEB - 3 2000
BY: *A*

January 31, 2000

LIST OF SEWALL'S POINT HOMEOWNERS ASSOCIATION PRESIDENTS

ARCHIPELAGO
Bob Smith
11 Simara St
288 5092

PINEAPPLE LANE
Michael Viener → 10 PINEAPPLE LN.
288 3103
m.Viener@Maritimewoodproducts.co

CASTLE HILL *2/24/00*
~~Dick Williams~~ *BRANDON A. PERRON*
~~4 Castle Hill Way~~ *4 PALAMA WAY*
~~781 5240~~ *288-3607*
288-4910 (HAX)

~~PLANTATION
Elyn Stevenson
1 Lagoon Island Rd.
287 9996
fax 287 9996
elynsma1@cs.com~~

*10/6/00
left message
requesting
info on
association
please review*

HIGH POINT
Dick Miele
6 E High Point Rd
286 7155
fax 223 0070
Rmiele@gate.net

RIVERCREST
Ben Ashby
3 Rivercrest
223 8814
bgash@aol.com

10/

HILLCREST
Charles de Garmo
109 Hillcrest Ct.
220 2294 phone & fax
captcdeg@gate.net

INDIALUCE
David Evrard
14 N. River Rd
223 0425
deortho@bellsouth.net

PALM ROAD
Ed Klima
10 Palm Rd.
223 8529
dena1@gate.net

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Thu 11-23, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5013	Dennis	exterior	PASSED	SOIL TREATMENT 1 1/2
①	16 Ridgeland Fla. Finest	porches & prior to pour	☑	(INCL. FLOORS & STAIRS)
4692	Bench	roof final	PASSED	call 285-8434-
③	4 Morgan Circle Wilfram (RON WILSON)		☑	REPORT SENT UP TO BE N/A (LEFT MESSAGE)
5119	Kokoyannis	tin roof	X	CANCEL BY CONTR (RESCHEDULE NOW)
X	80 S. River Rd. Pacific	metal	X	
4853	CONWAY	FINAL	PASSED	INCL. BARRIER FENCE
⑧	17 NE LOFTING WAY OLYMPIC POOLS		☑	
5110	CONWAY	FINAL	PASSED	
⑨	17 NE LOFTING WAY UNITED FENCE		☑	
5132	Erent	Typical (pitch)	PASSED	as early as
②	6 Knowles Rd. A & W	STRENGTH & DRAIN (FLAT)	☑	possible
4797	Kennedy	pool final	PASSED	equip. has been
⑫	111 N.S.P. Rd.	(REINSPECTION - ZONING COMPL. ONLY.)	☑	moved - VERIFIED ALL POOL EQUIP. BEYOND 15' SETBACK

OTHER: 220-7626 MAYOR
285-8434 RON WILSON
⑪ ✓ SITE VISIT: KISSLING; 7:30 AM - moved Nat'l day off - MAP
INSPECTOR (Name/Signature): no documentation of possible ord. viol.

5149

STORM SHUTTERS

MASTER PERMIT NO. 4659

TOWN OF SEWALL'S POINT

Date 11/1/00

BUILDING PERMIT NO. 5149

Building to be erected for STEPHEN CONWAY

Type of Permit STORM SHUTTERS

Applied for by COMPLETE HURRICANE PROTECTION (Contractor)

Building Fee \$95.69

Subdivision PLANTATION Lot 20 Block _____

Radon Fee _____

Address 17 NE LOTTING WAY

Impact Fee _____

Type of structure SPR

A/C Fee _____

"AFTER PAET"

Electrical Fee _____

Parcel Control Number: 26-37-41-013-000-00-200-4000

Plumbing Fee _____

Amount Paid \$200.95 Check # 1051 Cash _____ Other Fees (PLUMB) _____

Roofing Fee 95.69

Total Construction Cost \$ 9,968.00

Penalty 9.57

TOTAL Fees \$200.95

Signed Mark Stewart
Applicant

Signed [Signature]
Town Building Inspector OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY DATE _____
 COMPACTION TESTS DATE _____
 GROUND ROUGH DATE _____
 SOIL POISONING DATE _____
 FOOTINGS / PIERS DATE _____
 SLAB ON GRADE DATE _____
 TIE-BEAMS & COLUMNS DATE _____
 STRAPS AND ANCHORS DATE _____
 DRIVEWAY DATE _____
 AS-BUILT SURVEY DATE _____

SHEATHING DATE _____
 FRAMING DATE _____
 INSULATION DATE _____
 ROOF DRY-IN DATE _____
 ROOF FINAL DATE _____
 METER FINAL DATE _____
 AS BUILT SURVEY DATE _____
 STORM PANELS DATE _____
 LANDCAPE & GRADE DATE _____
 FINAL INSPECTION DATE 11/1/00

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
 NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
 DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon ~~Wed~~ Fri 11/7, 2000; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 5091 (12)	O'Connor 16 Fieldway Dr. Pacific	tin tag metal	PASSED	
✓ S 5119 (2)	Kokovannis 80 So. River Rd. Pacific	tin-tag metal	NOT READY	LEFT MESSAGE FOR CONTRACTOR TO RESCHED. (ROB 263-0116)
✓ S 4965 (1)	Danielson 161 So. River Rd. Miller	tie beam & COLUMNS (2ND FL) - COMPLETE	PASSED	✓ FIELD CC TO SITE (BLACK LTR 10/11/00)
✓ N 5132 (11)	Brent 6 Knowles Rd. A & W	sheathing OK TO CONCRETE; TIT & METL 11/3W/PAT	PASSED	ISSUED NOT READY possible FIELD CC TO SITE (P/BLANK/D/DOC)
✓ N 4895 (5)	Secly 37 Lofting Way Gribben	framing & mechanical REINS/BLT - COMP. RM.	PASSED	- REVD R/C DUCT LAYOUT FIELD CC TO SITE (BLACK LTR 10/23/00)
5149 (7A)	COPWAY 1712 LOFTING WAY COMPOSITE HOOP PROT.	STEEL SHUTTER (P/BLANK)	PASSED	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR (Name/Signature): _____

Bldg. Pmt# _____

Town of Sewall's Point

Date 10-27-00

PERMIT APPLICATION

RECEIVED

OCT 30 2000
220-0064
BY: _____

Owner's Name: Conway - Stephen & Jennifer Phone No. _____
Owner's Present Address: 1 River Crest Court Sewalls Pt.
Fee Simple Titleholder's Name & Address if other than owner _____

Location of Job Site: 17 NE Lottling Wp.
TYPE OF WORK TO BE DONE: 050 Dade Aluminum Storm Panel installation,
CONTRACTOR INFORMATION

Contractor/Company Name: Complete Hurricane Protection Phone No. 692-8585
COMPLETE MAILING ADDRESS 1696 Old Okeechobee Rd. #2-F WPB FL.
State Registration _____ State License SPO2890

Legal Description of Property Plantation at Sewalls Pt. Lot 20
Parcel Number PI# 26-37-41-013-000-0000 200-40000

ARCHITECT/ENGINEER INFORMATION

Architect _____ Phone No. _____
Address _____
Engineer _____ Phone No. _____
Address _____

Area Square Footage: Living Area _____ Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit from Health Dept. _____
NEW electrical SERVICE SIZE _____ AMPS

RETRACTED
SUBMIT

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement 9,968.00
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No _____
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing _____ State License# _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

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OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE [Signature]
Sworn to and subscribed before me this _____ day of _____, 1998 by _____ who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.
CONTRACTOR SIGNATURE [Signature]
Sworn to and subscribed before me this _____ day of _____, 1998 by _____ who is personally known to me or has produced _____ and who did (did not) take an oath.

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER # _____

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 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
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ADDITIONAL Required Documents are:

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5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

~~Eastern Metal Supply, Inc.~~

3600 23rd Ave., South
Lake Worth FL 33461

Your application for Product Approval of:

~~0.050" Bertha Aluminum Storm Panel Shutter~~

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 00-0602.04

Expires: 08/07/2003

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

11/1/00 TOWN OF BEACHE'S POINT
REVIEWED

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

Approved: 08/17/2000

FILE of 3 TOWN COPY
17 NE LOFTING WAY

PN 5149



ACCEPTANCE No. : 00-0602.04

APPROVED : AUG 17 2000

EXPIRES : 08/07/2003

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. SCOPE

This renews the Notice of Acceptance No. 98-0817.16, which was issued on October 8, 1998. It approves an Aluminum Storm Panel Shutter, as described in Section 2 of this Notice of Acceptance designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

This Aluminum Storm Panel shutter and its components shall be constructed in strict compliance with the following documents: Drawing No. 98-172, titled "0.050" Bertha Storm Panel", prepared by Tilteco, Inc., dated July 7, 1998, last revision #1 dated July 7, 1998, sheets 1 through 8 of 8, signed and sealed by Walter A. Tillit Jr., P.E., bearing the Miami-Dade County Product Control Approval and Renewal stamps with the Notice of Acceptance numbers and approval dates by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

All permanent set components, included but not limited to embedded anchor bolts, threaded cones, metal shields, headers and sills, must be protected against corrosion, contamination and damage at all times.

4. INSTALLATION

This Aluminum Storm Panel Shutter and its components shall be installed in strict compliance with the approved drawings.

5. LABELING

Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved".

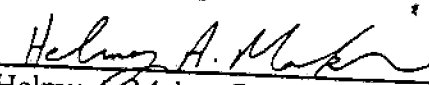
6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance.

6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.

6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.



Helmy A. Makar, P.E. -Product Control Examiner
Product Control Division

Eastern Metal Supply, Inc.

ACCEPTANCE No. : 00-0602.04

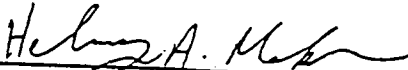
APPROVED : AUG 17 2000

EXPIRES : 08/07/2003

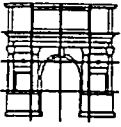
NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test-supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
 - b. The product is no longer the same product (identical) as the one originally approved.
 - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
 - d. The engineer, who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a. Unsatisfactory performance of this product or process.
 - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

END OF THIS ACCEPTANCE



Helmy A. Makar, P.E. -Product Control Examiner
Product Control Division




M.A. CORSON & ASSOCIATES, INC.
ARCHITECTURE • STRUCTURAL DESIGN
(561) 223-8227
Stuart, Florida

M.A. Corson

9/19/00

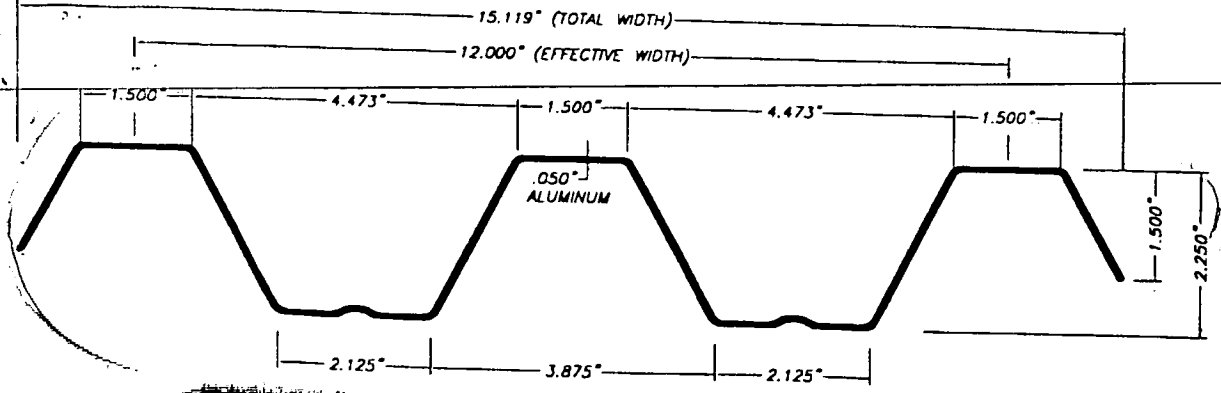
CONWAY RESIDENCE
LOT #20 THE PLANTATION

DESIGN PRESSURE SCHEDULE (FOR DOOR & WINDOW OPENINGS)

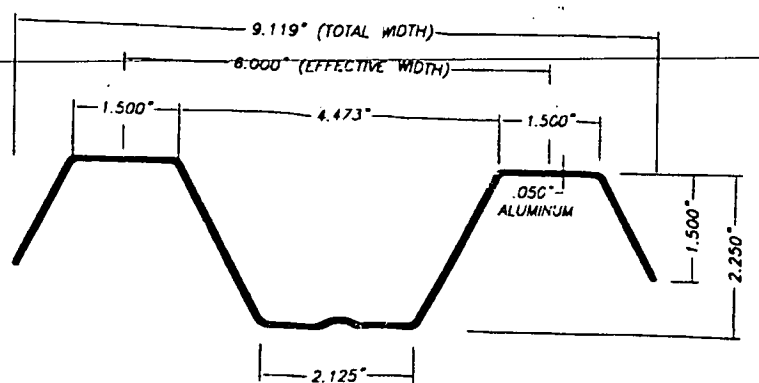
MARK 	HEIGHT ABOVE GRADE	AREA OF OPENING	DESIGN PRESSURE (PSF)
A	0 - 15' (1ST FLOOR)	0 - 64 SF.	+60.2 / -75.3
B	20' - 25' (2ND FLOOR)	0 - 64 SF.	+66.2 / -70.2
C	16'0" x 1'0" GARAGE DOOR		+36.1 / -40.2
D	8'0" x 1'0" GARAGE DOOR		+37.7 / -42.6

ALL PRESSURES CALCULATED WITH THE FOLLOWING:

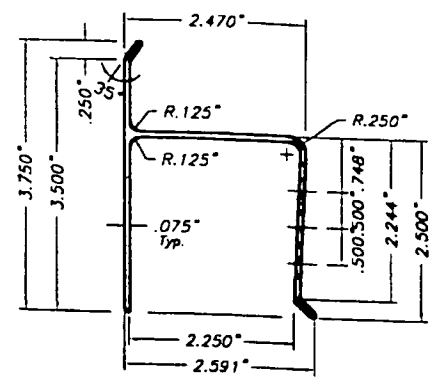
1. WIND SPEED: 140 MPH
2. EXPOSURE: D
3. IMPORTANCE FACTOR: 1.0 (CATEGORY II)
4. ALL OPENINGS ARE CALCULATED AS IF HAVING AN 'END ZONE' LOCATION (AREA 5 - WORST CASE)
5. WIND LOADS BASED ON ASCE 7-98 (3 SEC. GUST)
DATA PROVIDED AAMA - AMER. ARCH'L. MANUF. ASSOC.



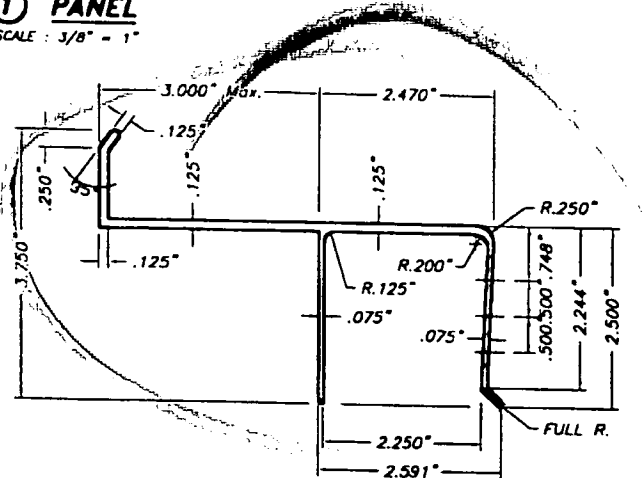
1 PANEL
SCALE: 3/8" = 1"



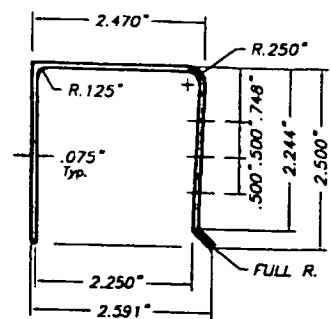
1A HALF PANEL
SCALE: 3/8" = 1"



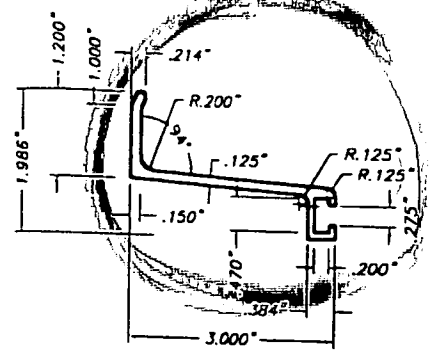
2 'h' HEADER
SCALE: 3/8" = 1"



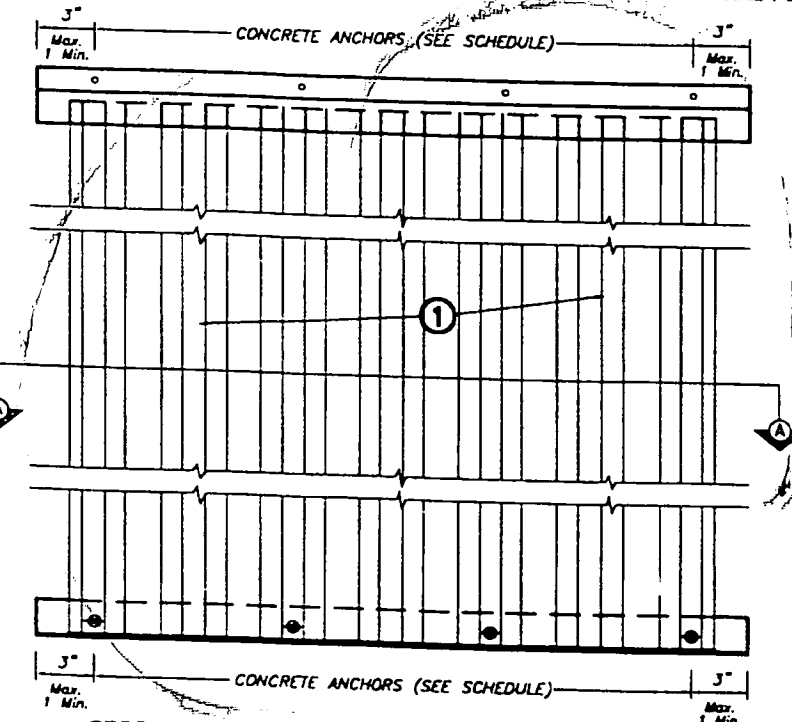
3 3" Max. 'U' BUILD OUT
SCALE: 3/8" = 1"



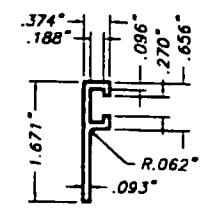
4 'U' HEADER
SCALE: 3/8" = 1"



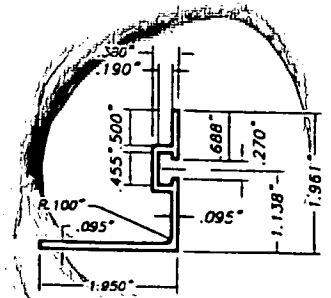
5 3" ANGLE BUILD OUT BRACKET
SCALE: 3/8" = 1"



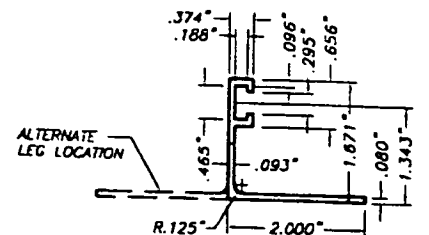
STORM PANEL TYPICAL ELEVATION
N.T.S.



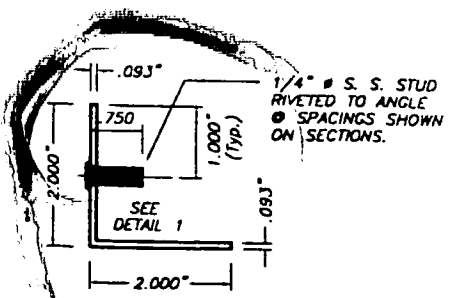
6 'F' TRACK
SCALE: 3/8" = 1"



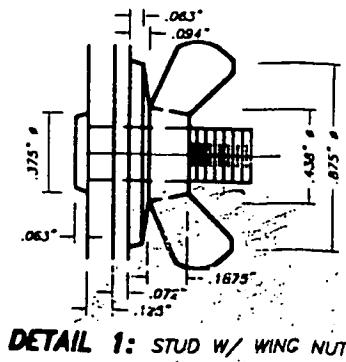
7 REVERSED 'F' ANGLE TRACK
SCALE: 3/8" = 1"



8 'F' TRACK ANGLE
SCALE: 3/8" = 1"



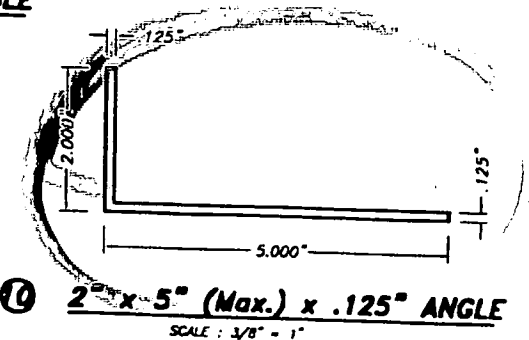
9 STUDDED ANGLE
6063-T5 ALLOY
SCALE: 3/8" = 1"



DETAIL 1: STUD W/ WING NUT

GENERAL NOTES:

- STORM PANEL HAS BEEN DESIGNED IN ACCORDANCE WITH THE DADE COUNTY, 1994 EDITION OF THE SOUTH FLORIDA BUILDING CODE. DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 6 OF ASCE 7-88, WITH 110 m.p.h. BASIC WIND SPEED. STORM PANEL'S ADEQUACY FOR IMPACT AND FATIGUE RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH SECTIONS 2315 & 2314 RESPECTIVELY OF THE ABOVE MENTIONED CODE AS PER AMERICAN TEST LAB REPORT # 1022.01-96.
 - ALL ALUMINUM SHEET METAL PANELS SHALL HAVE 5052-H32 ALLOY OR 3004-H34 ALLOY.
 - ALL ALUMINUM EXTRUSIONS SHALL BE 6063-T6 ALLOY UNLESS OTHERWISE NOTED.
 - ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 SERIES.
 - BOLTS TO BE 2024-T4 ALUMINUM ALLOY, GALVANIZED OR STAINLESS STEEL, WITH 36 ksi MINIMUM YIELD POINT.
 - ANCHORS TO WALL SHALL BE AS FOLLOWS: (UNLESS OTHERWISE NOTED)
 - TO EXISTING POURED CONCRETE:
 - 1/4" # TAPCON ANCHORS AS MANUFACTURED BY I.T.W. RAMSET OR ELCO INDUSTRIES.
 - 1/4" # CF TAP-GRIP ANCHORS (BERTHA STUD-CON), AS MANUFACTURED BY TRU-FAST CORPORATION.
 - 1/4" # RAWL ZAMAC NAILIN ANCHORS AS MANUFACTURED BY THE RAWL PLUG COMPANY, INC.
 - 1/4" # x 7/8" RAWL CALK-IN ANCHORS OR ELCO male & female "PANELMATE" AS MANUFACTURED BY THE RAWL PLUG COMPANY AND ELCO INDUSTRIES, RESPECTIVELY.
 - TO EXISTING CONCRETE BLOCK WALL:
 - 1/4" # TAPCON ANCHORS AS MANUFACTURED BY I.T.W. RAMSET OR ELCO INDUSTRIES.
 - 1/4" # CF TAP-GRIP ANCHORS (BERTHA STUD-CON), AS MANUFACTURED BY TRU-FAST CORPORATION.
 - 1/4" # RAWL ZAMAC NAILIN ANCHORS AS MANUFACTURED BY THE RAWL PLUG COMPANY, INC.
 - 1/4" # x 7/8" RAWL CALK-IN ANCHORS OR ELCO male & female "PANELMATE" AS MANUFACTURED BY THE RAWL PLUG CO. AND ELCO INDUSTRIES, RESPECTIVELY.
- NOTES:
- MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON ANCHORS IS 1 3/4"; FOR RAWL ZAMAC NAILIN IS 1 3/8"; & FOR ELCO PANELMATES IS 1 7/8", AND FOR CF TAP-GRIP ANCHORS IS 1 1/4".
 - 7/8" RAWL CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #-20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
 - IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, OR PAVERS BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES A.1) & A.2) ABOVE.
- MINIMUM EMBEDMENT OF TAPCON ANCHORS, RAWL ZAMAC NAILIN, ELCO PANELMATES AND CF TAP-GRIP, INTO THE CONCRETE BLOCK UNIT SHALL BE 1 1/4".
 - 7/8" RAWL CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE CONCRETE BLOCK UNIT. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #-20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
 - IN CASE THAT PRECAST STONE OR PRECAST CONCRETE PANELS BE FOUND ON THE EXISTING WALL, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES IN B.1) & B.2) ABOVE.
- ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.
- PANELS MAY ALSO BE INSTALLED HORIZONTALLY FOLLOWING INSTALLATION DETAILS SHOWN ON SECTIONS 1 THRU 8 (SHEET 2 & 3 OF 8) EXCEPT THAT HEADERS 2, 3 & 4 SHALL NOT BE USED.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHUTTER IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE. THIS SHUTTER SHALL ONLY BE ATTACHED TO CONCRETE, BLOCK OR WOOD FRAME BUILDINGS.
 - SHUTTER MANUFACTURER'S LABEL SHALL BE PLACED AT BOTTOM OF EACH PANEL. LABEL SHALL READ AS FOLLOWS:
EASTERN METAL SUPPLY, INC.
LAKE WORTH, FLORIDA
DADE COUNTY PRODUCT CONTROL APPROVED.

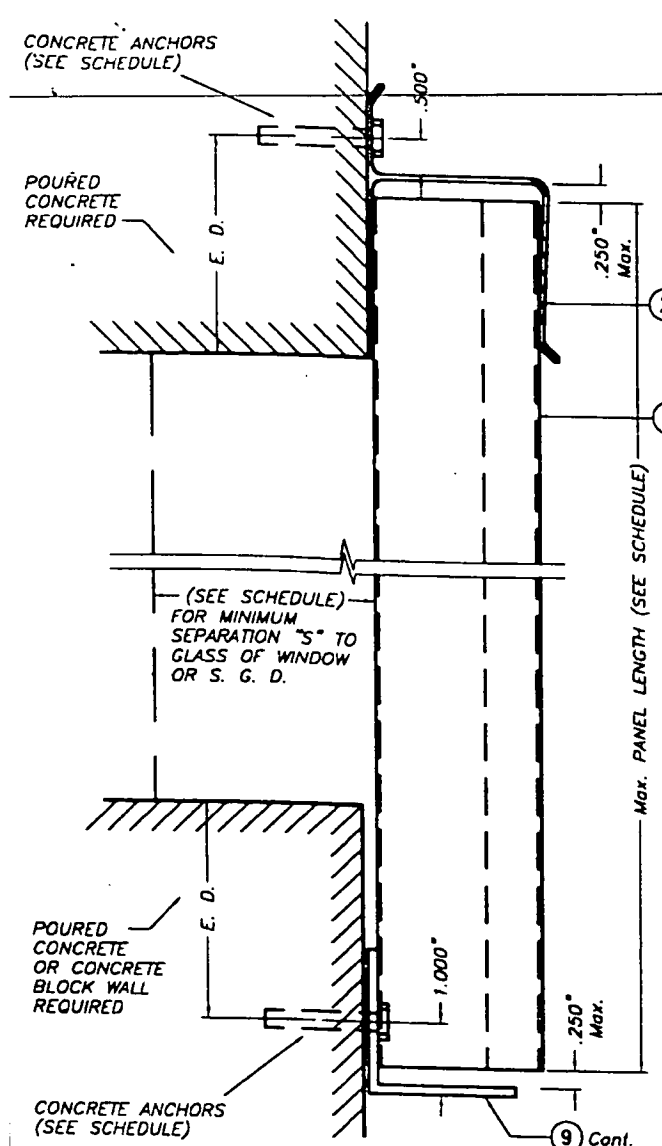


10 2" x 5" (Max.) x .125" ANGLE
SCALE: 3/8" = 1"

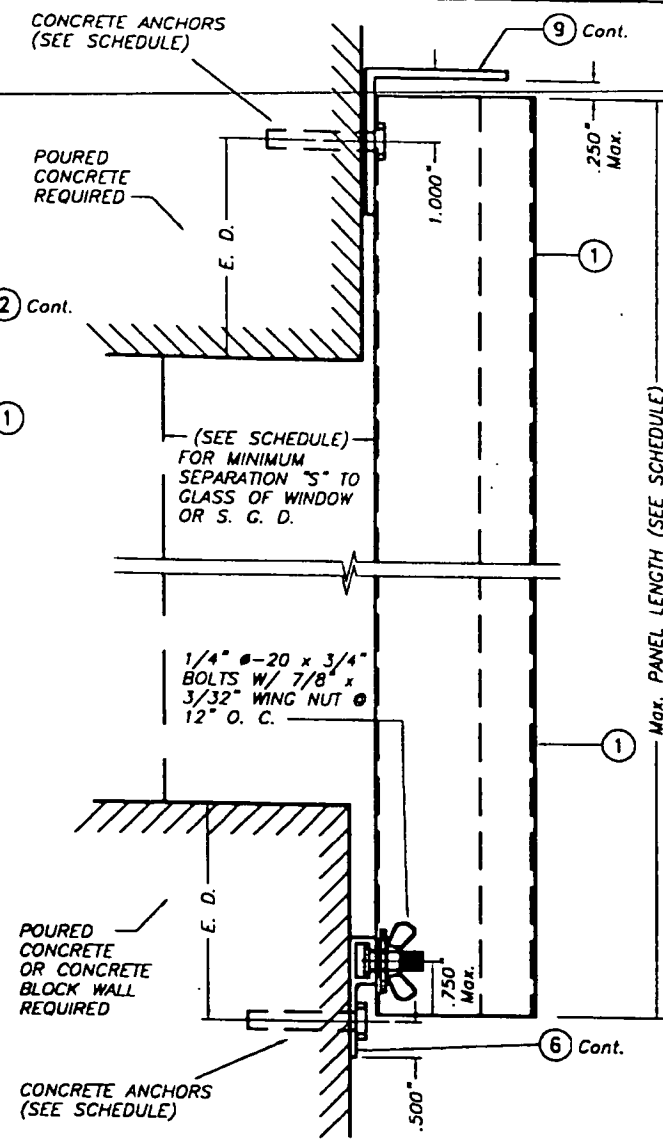
APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE October 9B, 1998
BY Helene J. Miller
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 98-0817-16

		DADE COUNTY	
		0.050" BERTHA STORM PANEL	AS SHOWN SCALE
TILLIT TESTING & ENGINEERING COMPANY 6503 N.W. 38th St., Ste. 217, WACARA GARDENS, FL 33166 Phone: (305)871-1530 Fax: (305)871-1531 EB-0006719		EASTERN METAL SUPPLY, INC 3800 23rd Ave. SOUTH LAKE WORTH, FL 33461-3247	
WALTER A. TILLIT, JR., P. E. FLORIDA Lic. # 44167		7/7/98 DATE 98 - 172 DRAWING No SHEET 1 OF 8	

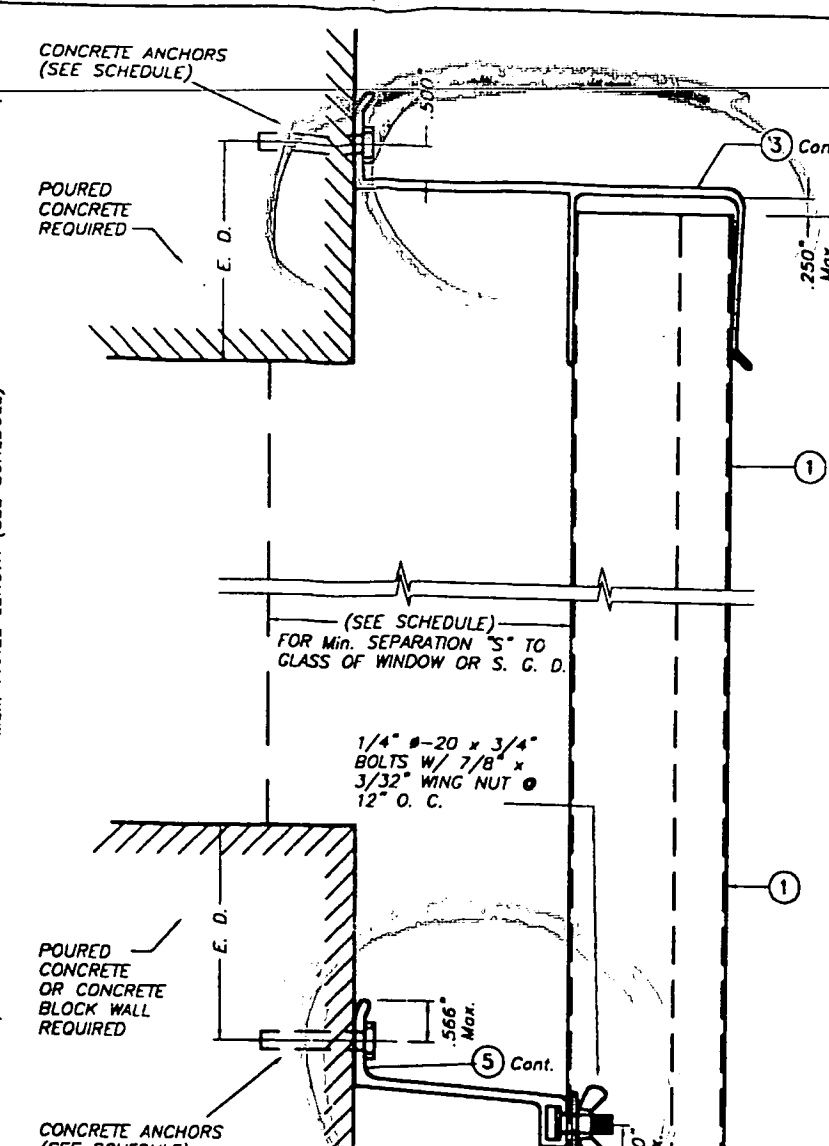
AUG 24 2000



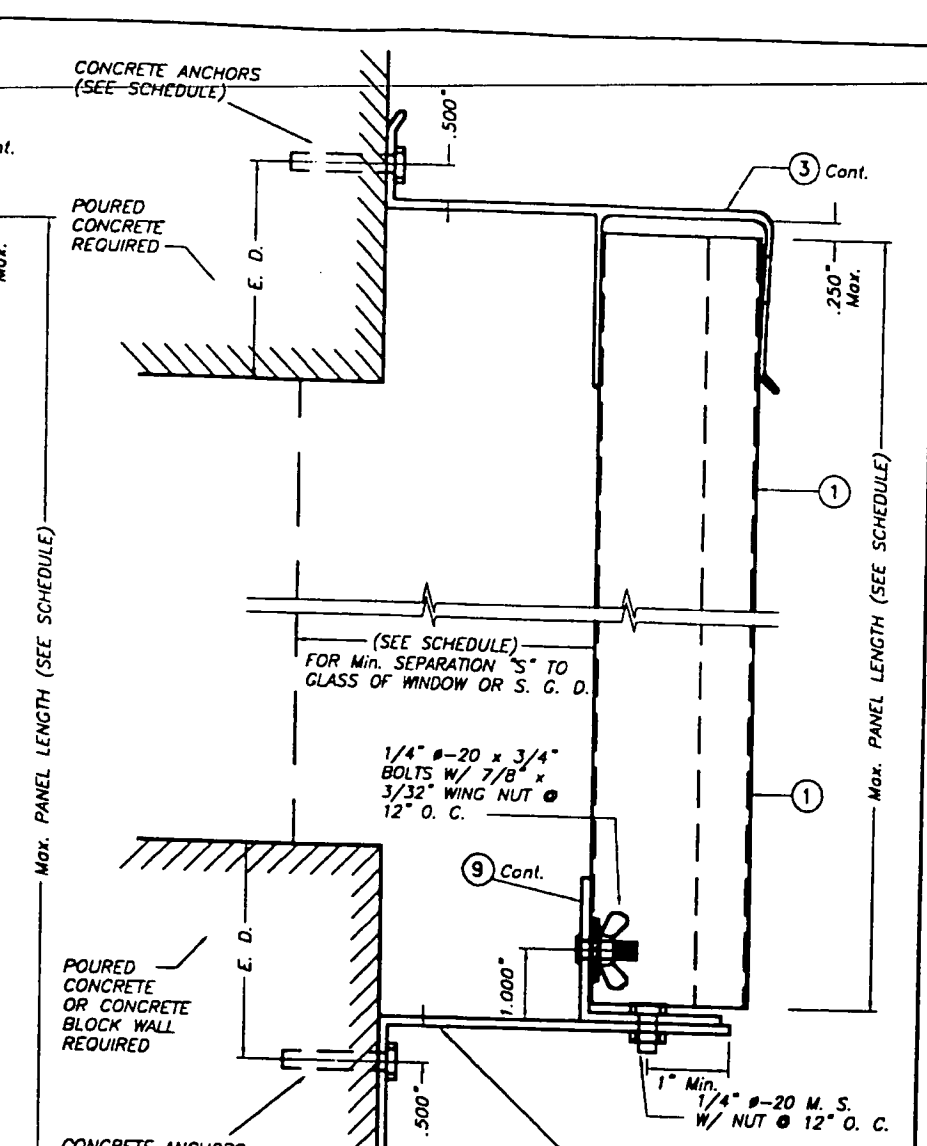
SECTION 1
WALL MOUNTING INSTALLATION
 SECTION 1
 SCALE: 3/8" = 1"
 NOTE: DETAIL OF SECTION 1 STUD VALID ALSO FOR WALL MOUNTING INSTALLATION - SECTION 2 (TOP)



SECTION 2
WALL MOUNTING INSTALLATION
 SECTION 2
 SCALE: 3/8" = 1"



SECTION 3
BUILD OUT INSTALLATION
 SECTION 3
 SCALE: 3/8" = 1"



SECTION 4
BUILD OUT INSTALLATION
 SECTION 4
 SCALE: 3/8" = 1"

E. D. = EDGE DISTANCE
 (SEE SCHEDULE ON
 SHEETS 5 & 6 OF 8)

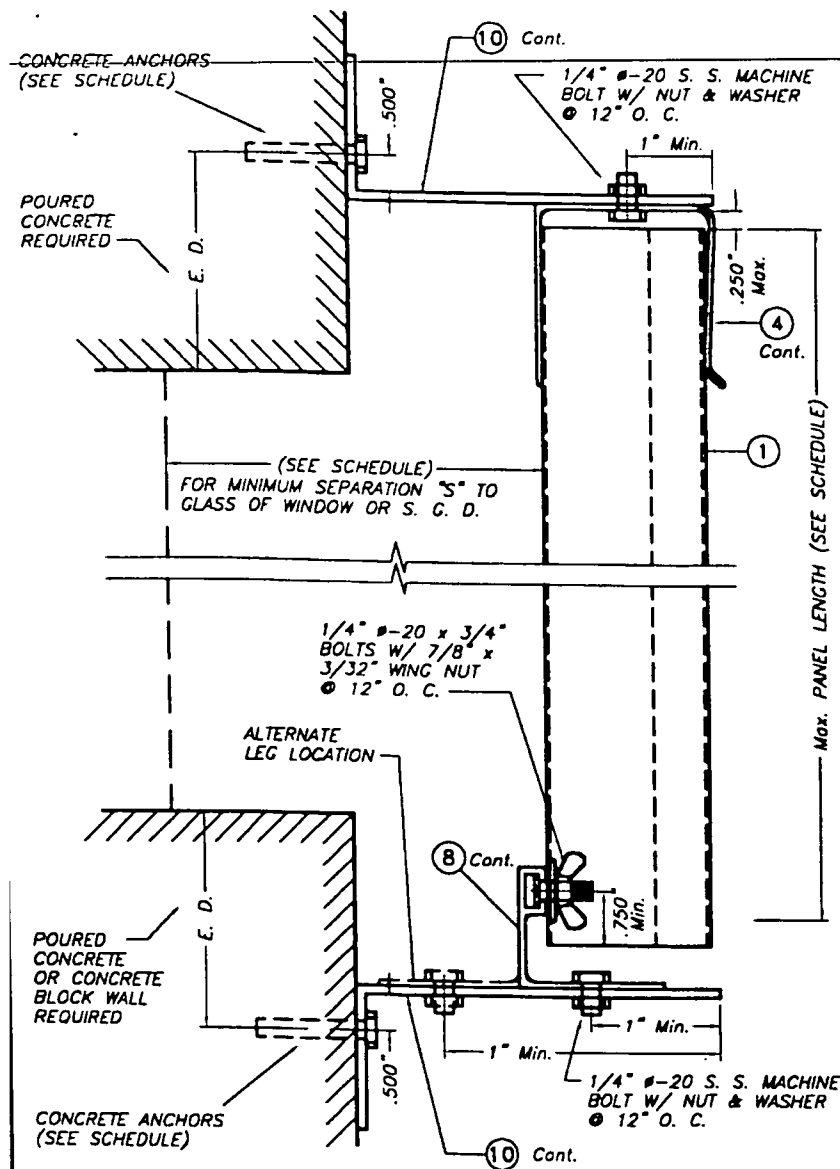
NOTE FOR COMBINATION OF SECTIONS:
 WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE
 COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

[Signature]
 AUG 24 2008

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE October 08, 1998
 BY Heather A. Miller
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0017-16

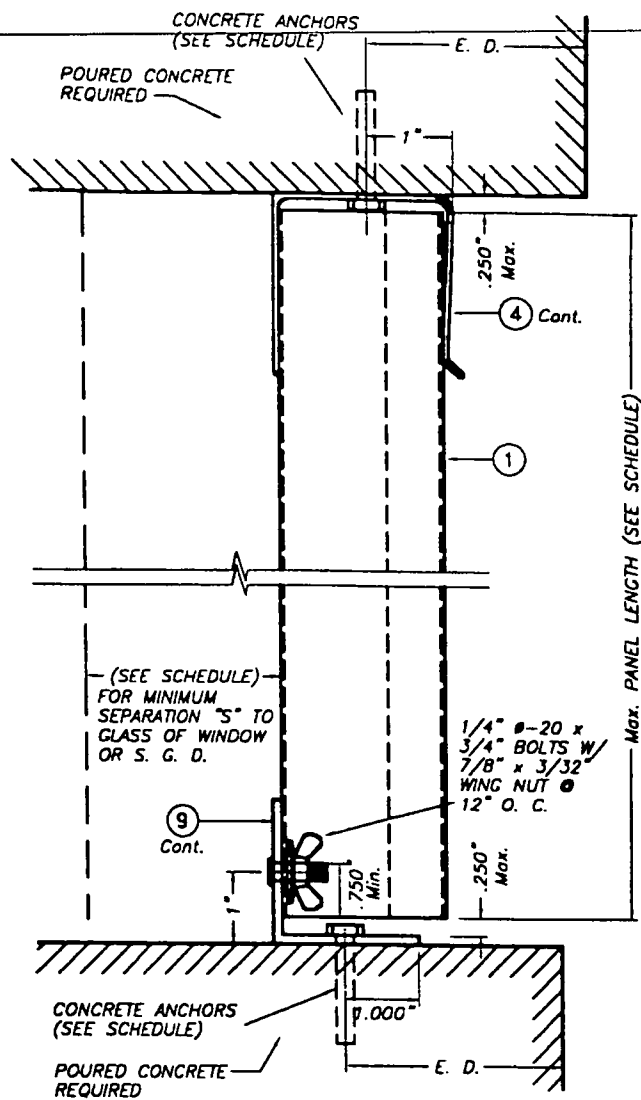
TILTECO inc.
 TILLIT TESTING & ENGINEERING COMPANY
 8585 N.W. 36th St., Ste. 217, WARGEM GARDENS, FL 33166
 Phone: (305)871-1530 Fax: (305)871-1531
 EB-0006719
 WALTER A. TILLIT Jr. P. E.
 FLORIDA Lic. # 44167

0.050" BERTHA STORM PANEL				DADE COUNTY	
EASTERN METAL SUPPLY, INC				AS SHOWN SCALE	
3600 23rd Ave. SOUTH LAKE WORTH, FL 33461-3247				7/7/98 DATE	
REV. NO. DESCRIPTION DATE				98 - 172 DRAWING No	
1	OLD 00-331	7/7/98	2		
2			4		
				SHEET 2 OF 8	



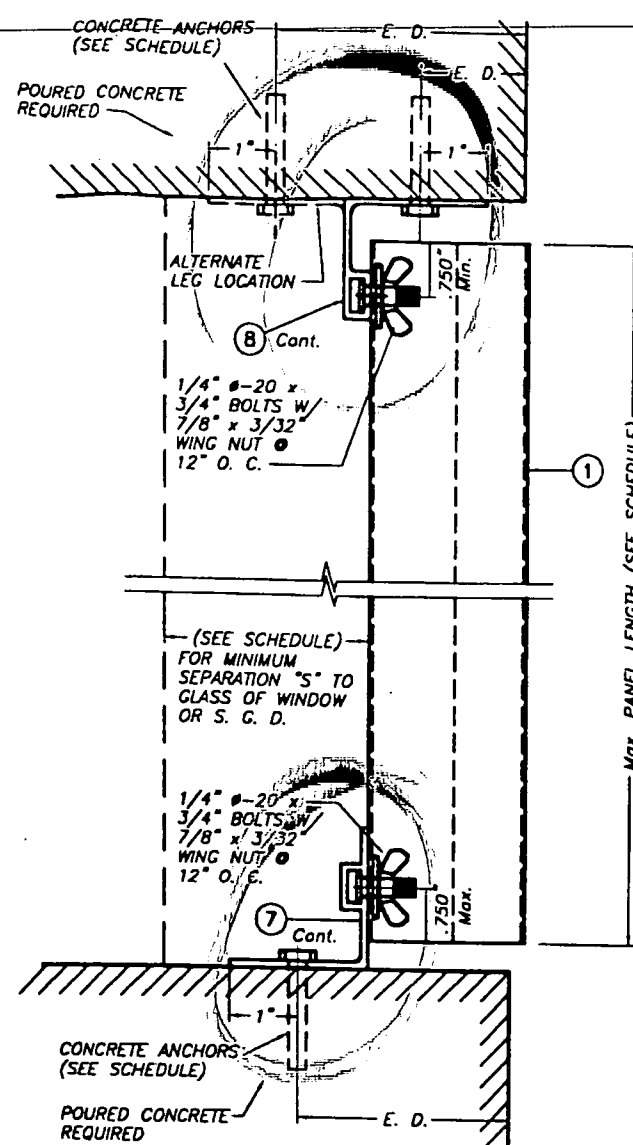
BUILD OUT INSTALLATION
- SECTION 5

SCALE: 3/8" = 1"



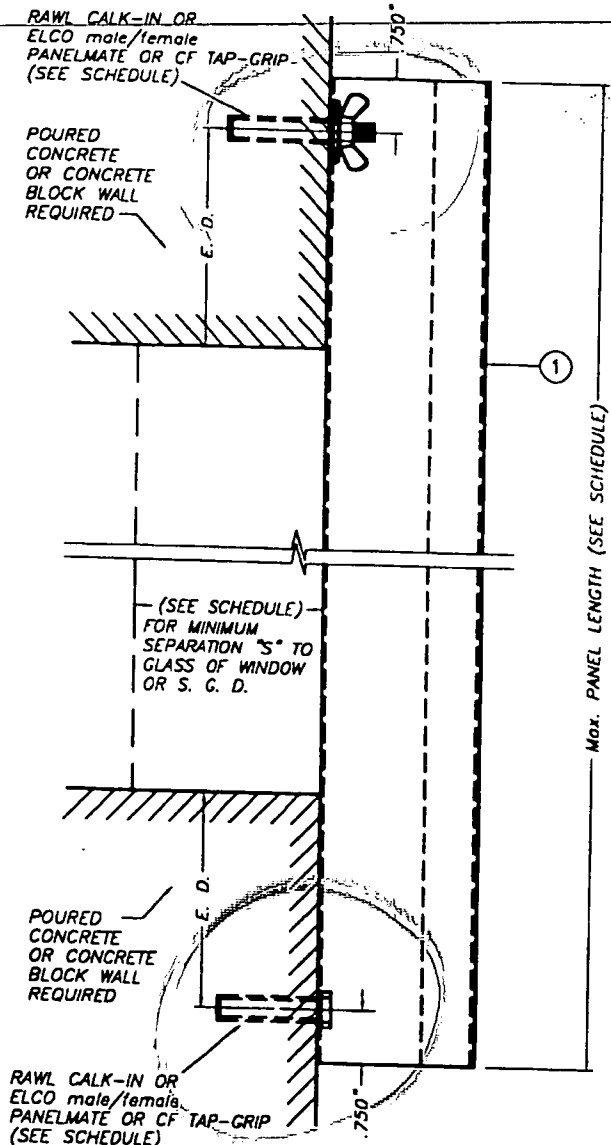
CEILING & FLOOR MOUNTING
INSTALLATION - SECTION 6

SCALE: 3/8" = 1"



CEILING & FLOOR MOUNTING
INSTALLATION - SECTION 7

SCALE: 3/8" = 1"



WALL MOUNTING INSTALLATION (D. M.)
- SECTION 8

SCALE: 3/8" = 1"

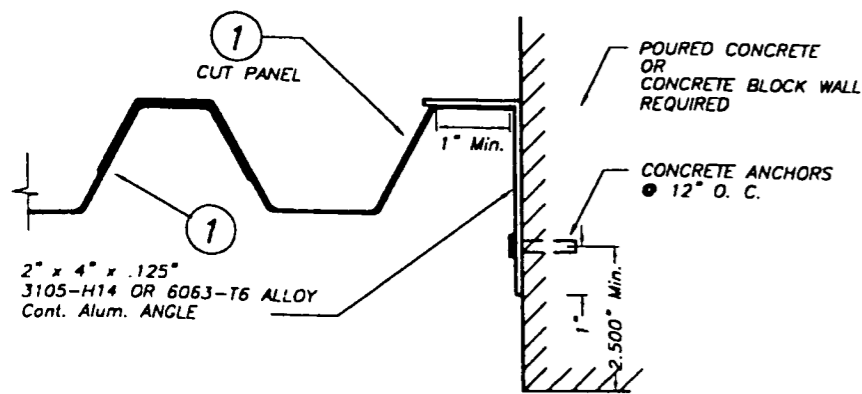
E. D. = EDGE DISTANCE
 (SEE SCHEDULE ON
 SHEET 5 & 6 OF 8)

NOTE FOR COMBINATION OF SECTIONS:
 WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE
 COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

[Signature]
 AUG 24 2000

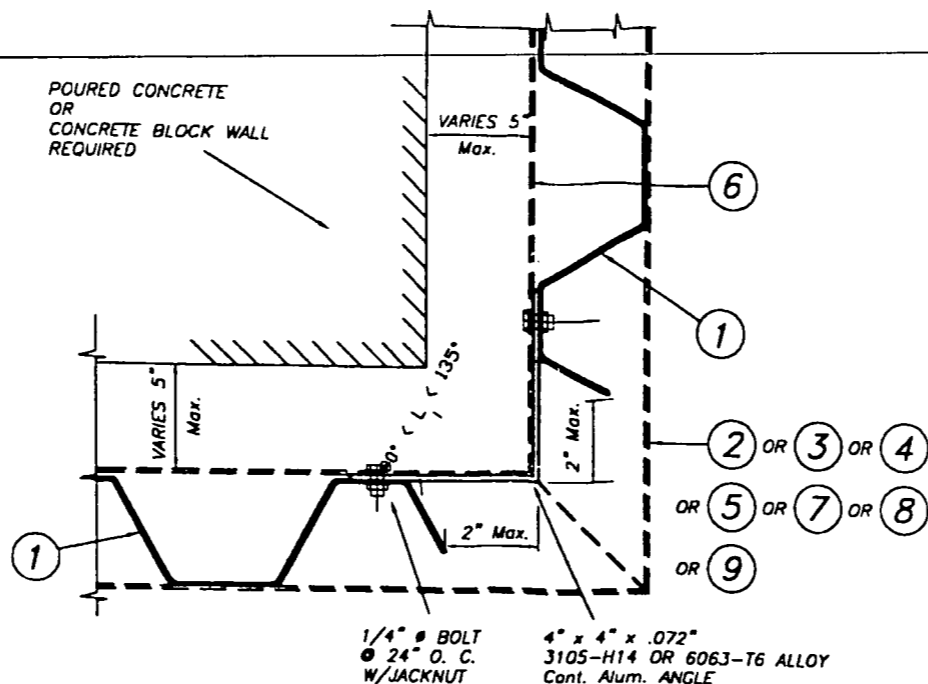
APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE *October 9B, 1998*
 BY *[Signature]*
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. *98-0817-16*

 TILECO INC. TILLIT TESTING & ENGINEERING COMPANY 6505 N.W. 30th St., Ste. 217, WICKHAM GARDENS, FL 33186 Phone: (305)871-1530 Fax: (305)871-1531 EB-0006719 WALTER A. TILLIT Jr., P. E. FLORIDA Lic. # 44187		0.050" BERTHA STORM PANEL AS SHOWN SCALE	
		EASTERN METAL SUPPLY, INC 3800 23rd Ave. SOUTH LAKE WORTH, FL 33461-3247	
DADE COUNTY		7/7/98 DATE	
98 - 172 DRAWING No		SHEET 3 OF 8	



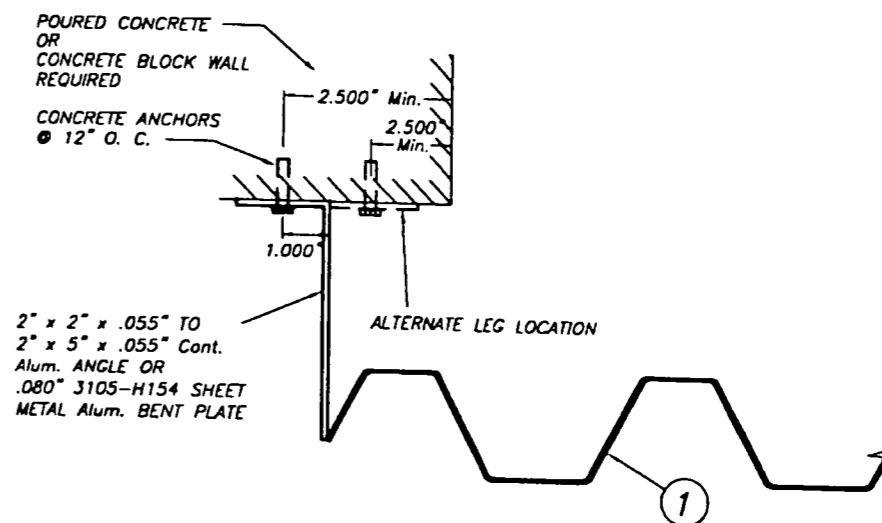
CASE A (Plan)

SCALE: 1/4" = 1"



CASE B (Plan)

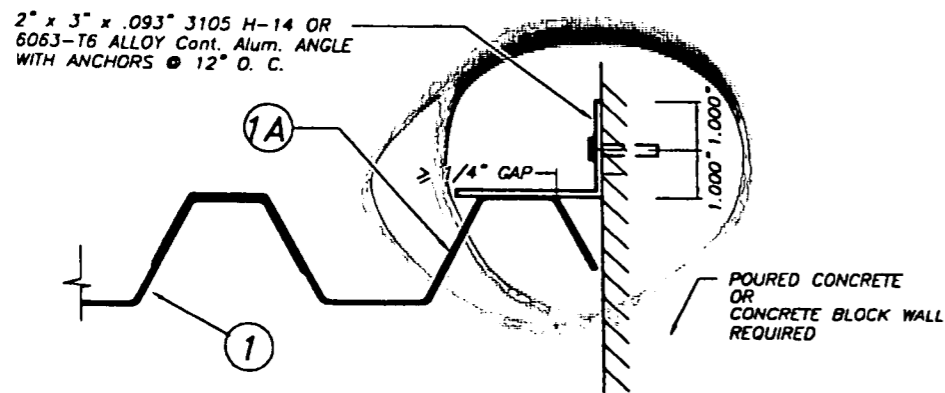
SCALE: 1/4" = 1"



CASE C (Plan)

SCALE: 1/4" = 1"

END CLOSURES DETAILS



CASE D (Plan)

SCALE: 1/4" = 1"

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM PANEL LENGTH "L" SCHEDULE

MAXIMUM DESIGN PRESSURE RATING W (p.s.f.)	Max. PANEL LENGTH L (ft.) (SEE SECTIONS)	MINIMUM SEPARATION TO GLASS	APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM
+65.0, -77.0	8'-0" OR LESS	2 1/4"	1 THRU 8
+65.0, -77.0	>8'-0" TO 9'-0"	3 11/16"	1 THRU 8
+62.0, -73.3	>9'-0" TO 10'-0"	3 7/8"	2, 6, 7 & 8

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE October 9B, 1998
 BY Walter A. Tillit
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0817-16

DADE COUNTY

Walter A. Tillit
 AUG 24 2000

 TILLIT TESTING & ENGINEERING COMPANY 6595 N.W. 36th St., Ste. 217, VIRGINIA GARDENS, FL 33166 Phone: (305)871-1530 Fax: (305)871-1531 EB-0006719 WALTER A. TILLIT JR., P. E. FLORIDA Lic. # 44167		0.050" BERTHA STORM PANEL		AS SHOWN SCALE	
		EASTERN METAL SUPPLY, INC 3800 23rd Ave. SOUTH LAKE WORTH, FL 33461-3247		7/7/98 DATE	
		98 - 172		DRAWING No	
REV. No	DESCRIPTION	DATE	REV. No	DESCRIPTION	DATE
1	OLD 88-331	7/7/98	2		
2			3		

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND C.B.S. STRUCTURES *

E. D. = EDGE DISTANCE

MAXIMUM DESIGN LOAD W (p.s.f.)	MAXIMUM ANCHORS SPACING FOR E. D. = 3 1/2" **										APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH L" (ft.)
	TAPCONS		RAWL ZAMAC NAILIN		RAWL CALK-IN		CF TAP-GRIP		PANELMATES			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
+55.0, -65.0	8"	N/A	4"	N/A	8"	N/A	5"	N/A	3 1/2"	N/A	1 (TOP)	9'-0" OR LESS
	12"	8"	12"	10"	12"	12"	12"	8"	11"	11"	1 (BOTTOM)	
	12"	N/A	12"	N/A	12"	N/A	12"	N/A	11"	N/A	2 (TOP)	
	12"	8"	12"	10"	12"	12"	12"	8"	11"	11"	2 (BOTTOM)	
	12"	N/A	12"	N/A	12"	N/A	12"	N/A	11"	N/A	3 (TOP)	
	12"	8"	12"	10"	12"	12"	12"	8"	11"	11"	3 (BOTTOM)	
	12"	N/A	12"	N/A	12"	N/A	12"	N/A	11"	N/A	4 (TOP)	
	12"	8"	12"	10"	12"	12"	12"	8"	11"	11"	4 (BOTTOM)	
	12"	N/A	12"	N/A	12"	N/A	12"	N/A	11"	N/A	5 (TOP)	
	12"	8"	12"	10"	12"	12"	12"	8"	11"	11"	5 (BOTTOM)	
	11 1/2"	N/A	7 1/2"	N/A	12"	N/A	8 1/2"	N/A	6"	N/A	6 (TOP/BOTTOM)	
	10"	N/A	6 1/2"	N/A	10 1/2"	N/A	7"	N/A	5"	N/A	7 (TOP/BOTTOM)	
	N/A	N/A	N/A	N/A	12"	12"	12"	6"	6"	6"	8 (TOP/BOTTOM)	
	+55.0, -65.0	6"	N/A	6"	N/A	6"	N/A	6"	N/A	6"	N/A	
6"		6"	6"	6"	6"	6"	5"	6"	6"	6"	2 (BOTTOM)	
6"		N/A	6"	N/A	6"	N/A	6"	N/A	5 1/2"	N/A	6 (TOP/BOTTOM)	
6"		N/A	5 1/2"	N/A	6"	N/A	6"	N/A	4 1/2"	N/A	7 (TOP/BOTTOM)	
N/A		N/A	N/A	N/A	6"	6"	6"	6"	6"	6"	8 (TOP/BOTTOM)	

* SEE SHEET 7 & 8 OF 8 FOR ANCHORS TYPE & SPACING FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS.
 ** MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE. FOR E. D. LESS THAN 3 1/2", REDUCE ANCHOR SPACING BY MULTIPLYING SPACINGS SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (Min. E. D. FOR RAWL CALK-IN ANCHORS & ELCO PANELMATE IS 2 1/2").

ACTUAL E. D.	FACTOR		
	TAPCON/ZAMAC NAILIN/PANELMATES	RAWL CALK-IN	CF TAP-GRIP
3"	.86	.75	1.00
2 1/2"	.71	.50	.80
2"	.50	-	-

AUG 24 2000

TILECO INC.
 TILLIT TESTING & ENGINEERING COMPANY
 6585 N.W. 36th St., Ste. 217, VIRGINIA GARDENS, FL 33166
 Phone: (305) 871-1530 Fax: (305) 871-1531
 EB-0006719
 WALTER A. TILLIT JR., P. E.
 FLORIDA Lic. # 44167

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE October 08, 1998
 BY Helene D. Mester
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0817-16

0.050" BERTHA STORM PANEL		AS SHOWN SCALE
EASTERN METAL SUPPLY, INC		7/7/98 DATE
3600 23rd Ave. SOUTH LAKE WORTH, FL 33461-3247		98 - 172 DRAWING No
REV. No	DESCRIPTION	DATE
1	OLD 88-331	7/7/98
2	-	-

DADE COUNTY

SHEET 5 OF 8

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND C.B.S. STRUCTURES *

E. D. = EDGE DISTANCE

MAXIMUM DESIGN LOAD W (p.s.f.)	MAXIMUM ANCHORS SPACING FOR E. D. = 3 1/2" **										APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH "L" (ft.)
	TAPCONS		RAWL ZAMAC NAILIN		RAWL CALK-IN		CF TAP-GRIP		PANELMATES			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
+65.6, -77.0	6"	N/A	3"	N/A	6"	N/A	3 1/2"	N/A	2 1/2"	N/A	1 (TOP)	9'-0" OR LESS
	12"	7"	11"	8"	12"	10"	12"	6 1/2"	9 1/2"	9 1/2"	1 (BOTTOM)	
	12"	N/A	11"	N/A	12"	N/A	12"	N/A	9 1/2"	N/A	2 (TOP)	
	12"	7"	11"	8"	12"	10"	12"	6 1/2"	9 1/2"	9 1/2"	2 (BOTTOM)	
	12"	N/A	11"	N/A	12"	N/A	12"	N/A	9 1/2"	N/A	3 (TOP)	
	12"	7"	11"	8"	12"	10"	12"	6 1/2"	9 1/2"	9 1/2"	3 (BOTTOM)	
	12"	N/A	11"	N/A	12"	N/A	12"	N/A	9 1/2"	N/A	4 (TOP)	
	12"	7"	11"	8"	12"	10"	12"	6 1/2"	9 1/2"	9 1/2"	4 (BOTTOM)	
	12"	N/A	11"	N/A	12"	N/A	12"	N/A	9 1/2"	N/A	5 (TOP)	
	12"	5 1/2"	9 1/2"	6 1/2"	12"	8"	10"	5"	7 1/2"	7 1/2"	5 (BOTTOM)	
	9 1/2"	N/A	6 1/2"	N/A	10"	N/A	7"	N/A	5"	N/A	6 (TOP/BOTTOM)	
	8 1/2"	N/A	5 1/2"	N/A	8 1/2"	N/A	6"	N/A	4 1/2"	N/A	7 (TOP/BOTTOM)	
	N/A	N/A	N/A	N/A	12"	6"	12"	6"	6"	6"	8 (TOP/BOTTOM)	
	+62.0, -73.3	6"	N/A	6"	N/A	6"	N/A	6"	N/A	6"	N/A	
6"		6"	6"	6"	6"	6"	5"	6"	6"	6"	2 (BOTTOM)	
6"		N/A	6"	N/A	6"	N/A	6"	N/A	5"	N/A	6 (TOP/BOTTOM)	
6"		N/A	5"	N/A	6"	N/A	5 1/2"	N/A	4"	N/A	7 (TOP/BOTTOM)	
N/A		N/A	N/A	N/A	6"	6"	6"	6"	6"	6"	8 (TOP/BOTTOM)	

All wood 6"oc
Concrete 12"oc.

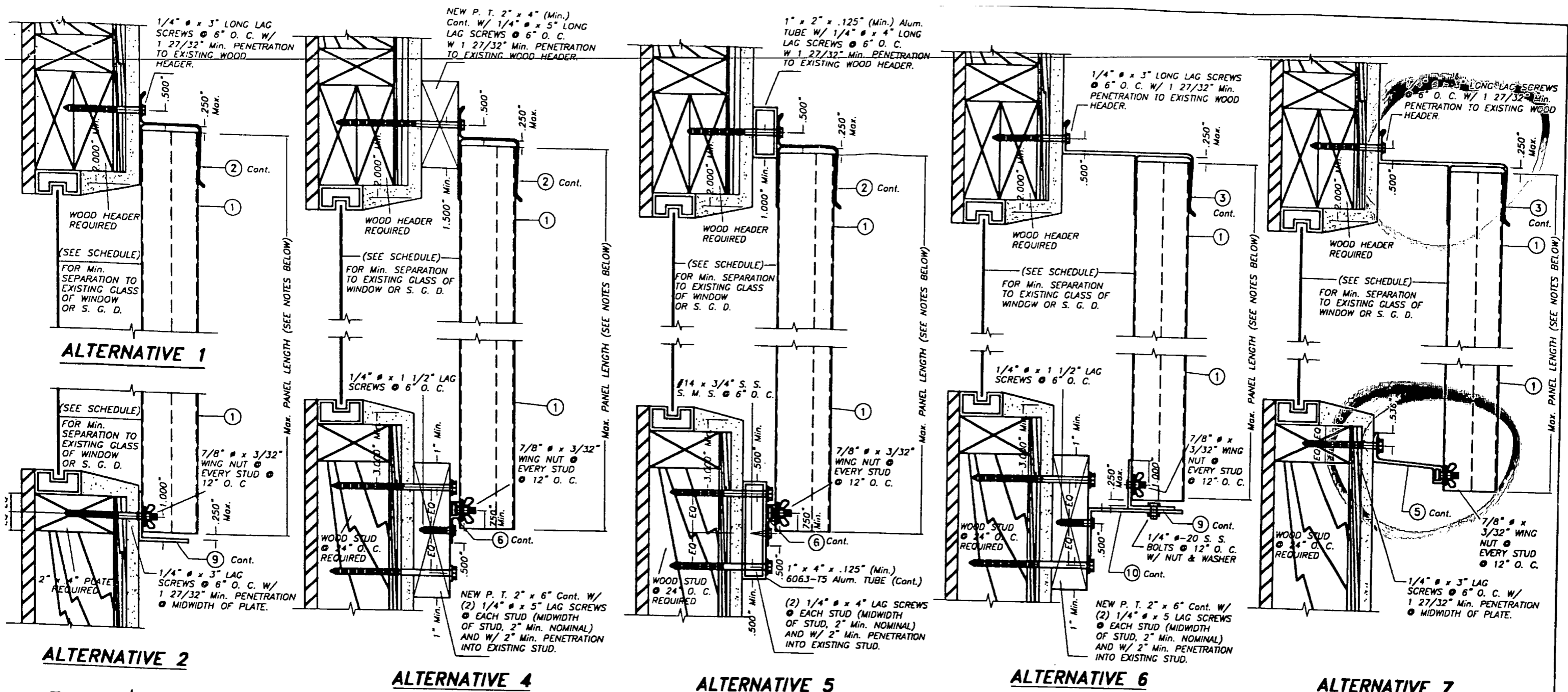
- * SEE SHEET 7 & 8 OF 8 FOR ANCHORS TYPE & SPACING FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS.
- ** MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE. FOR E. D. LESS THAN 3 1/2". REDUCE ANCHOR SPACING BY MULTIPLYING SPACINGS SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (Min. E. D. FOR RAWL CALK-IN ANCHORS & ELCO PANELMATE IS 2 1/2").

ACTUAL E. D.	FACTOR		
	TAPCON/ZAMAC NAILIN/PANELMATES	RAWL CALK-IN	CF TAP-GRIP
3"	.86	.75	1.00
2 1/2"	.71	.50	.80
2"	.50	-	-

[Signature]
AUG-24-2001

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
DATE October 08, 1998
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 98-0017-16

 TILTECO INC. TILLIT TESTING & ENGINEERING COMPANY 6595 N.W. 36th St., Ste. 217, WINGHAM CAROLINA, FL 33180 Phone: (305)871-1530 Fax: (305)871-1531 EB-0006719 WALTER A. TILLIT Jr. P. E. FLORIDA Lic. # 44167	0.050" BERTHA STORM PANEL EASTERN METAL SUPPLY, INC. 3000 23rd. Ave. SOUTH LAKE WORTH, FL 33461-3247	DADE COUNTY AS SHOWN SCALE 7/7/98 DATE 98 - 172 DRAWING No SHEET 6 OF 8																		
	<table border="1"> <tr> <th>REV. No</th> <th>DESCRIPTION</th> <th>DATE</th> <th>REV. No</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>OLD 98-331</td> <td>7/7/98</td> <td>2</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td>4</td> <td></td> <td></td> </tr> </table>	REV. No	DESCRIPTION	DATE	REV. No	DESCRIPTION	DATE	1	OLD 98-331	7/7/98	2			2			4			
REV. No	DESCRIPTION	DATE	REV. No	DESCRIPTION	DATE															
1	OLD 98-331	7/7/98	2																	
2			4																	



**WALL MOUNTING INSTALLATIONS
 SECTIONS A**

SCALE: 1/4" = 1"

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

NOTE FOR COMBINATION OF SECTIONS:
 WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:**
1. INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0, -72.0 psf AND PANEL'S LENGTHS UP TO 9'-0".
 2. NEW 2" x 6" P. T. TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 19 X M. M. C. W/ SPECIFIC DENSITY OF 0.55.
 3. FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE October 28, 1998
 BY Helmut A. Miller
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0817-16

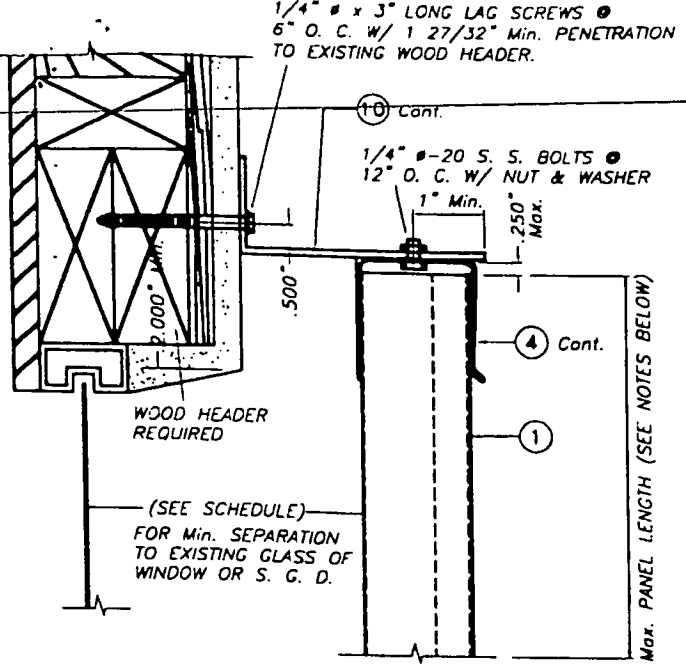
TILECO inc.
 TILLIT TESTING & ENGINEERING COMPANY
 8595 N.W. 36th St., Ste. 217, VIRGINIA GARDENS, FL 33166
 Phone: (305)871-1530 Fax: (305)871-1531
 EB-0006719
 WALTER A. TILLIT, JR., P. E.
 FLORIDA LIC. # 44167

EASTERN METAL SUPPLY, INC
 3800 23rd Ave. SOUTH
 LAKE WORTH, FL 33461-3247

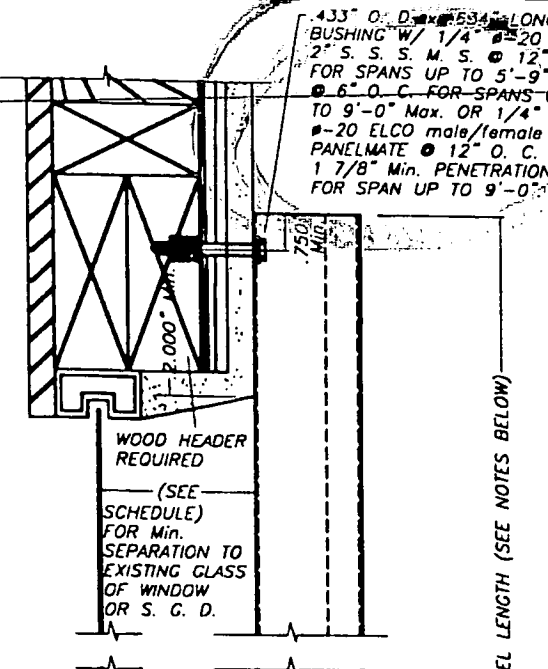
DADE COUNTY
 0.050" BERTHA STORM PANEL
 AS SHOWN SCALE
 7/7/98 DATE
 98 - 172 DRAWING No
 SHEET 7 OF 8

REV. No	DESCRIPTION	DATE	REV. No	DESCRIPTION	DATE
1	OLD 98-331	7/7/98	2		
2			4		

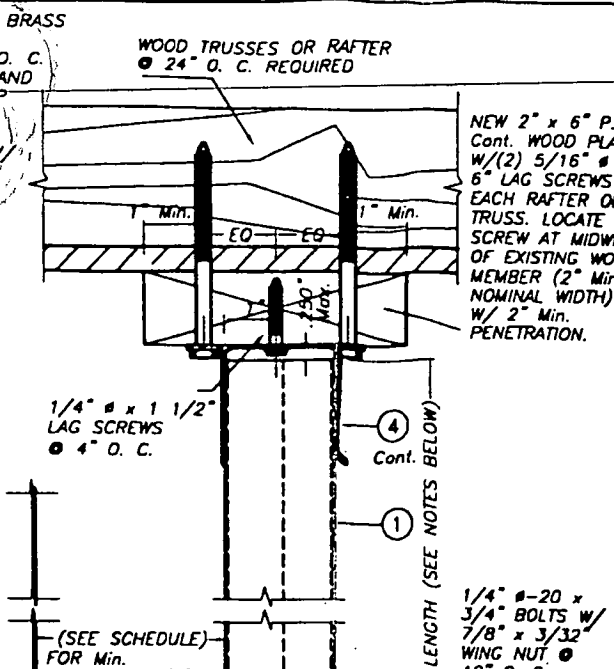
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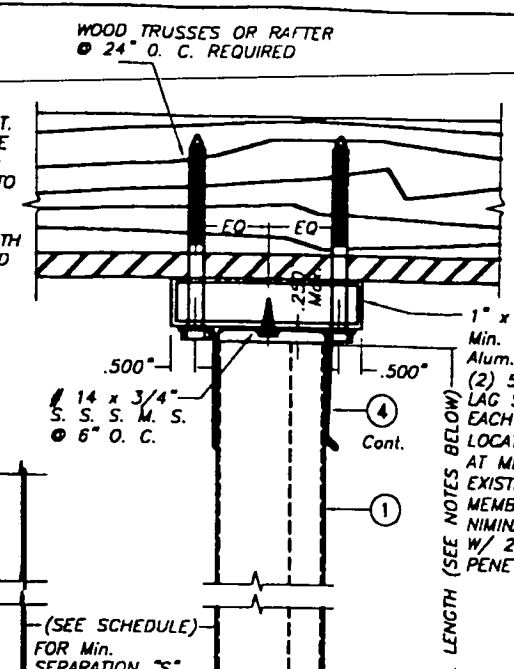
ALTERNATIVE 8



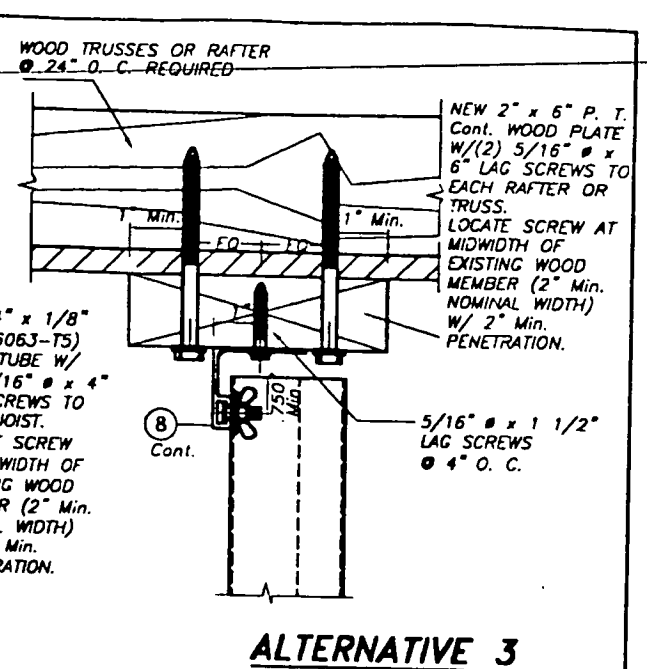
ALTERNATIVE 10



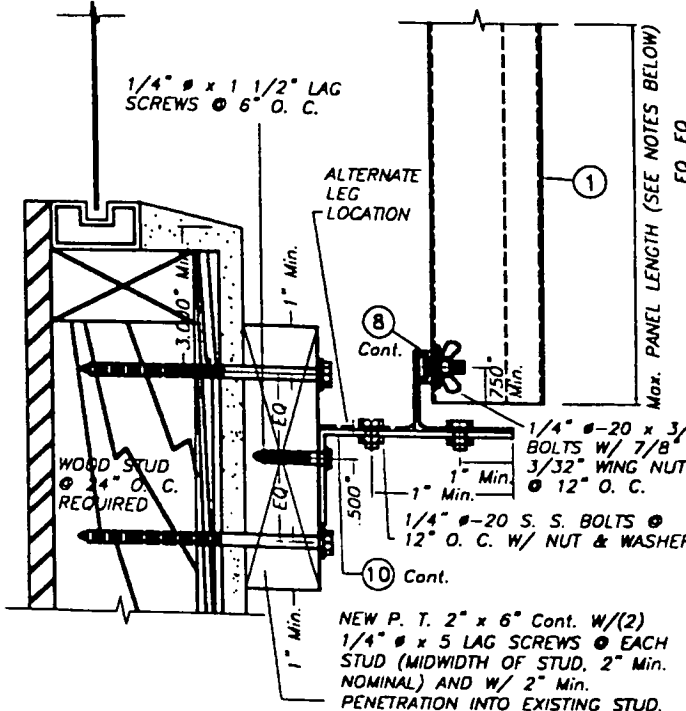
ALTERNATIVE 1



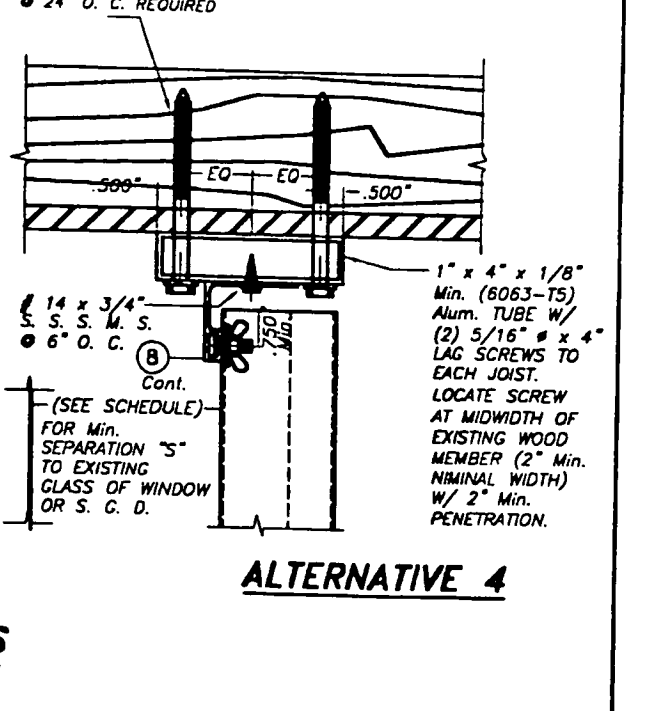
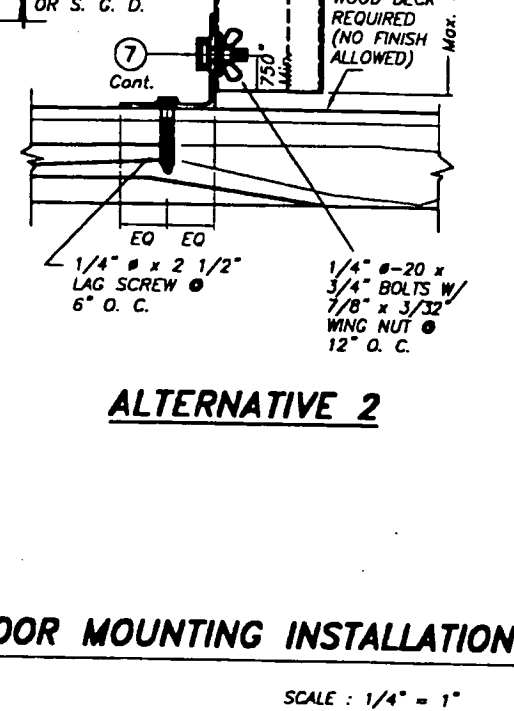
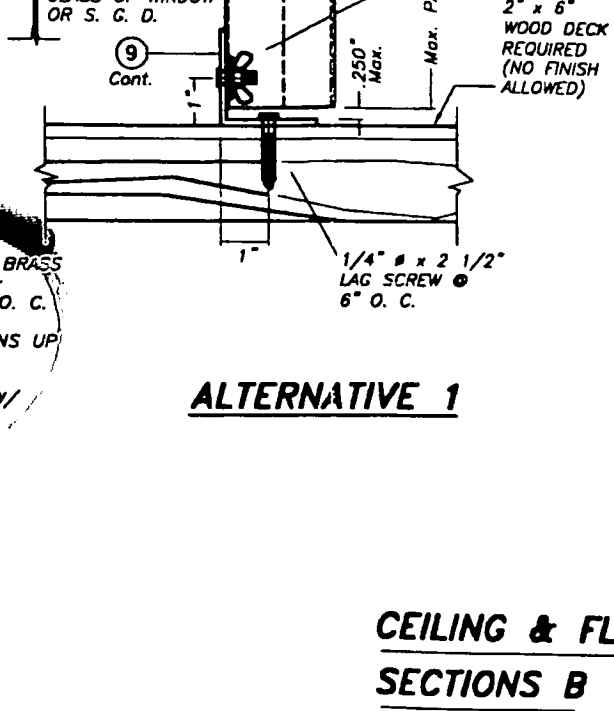
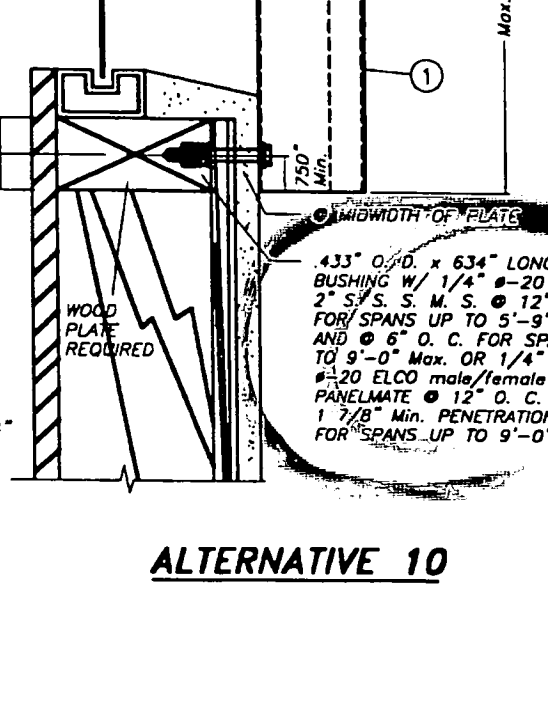
ALTERNATIVE 2



ALTERNATIVE 3



ALTERNATIVE 9



ALTERNATIVE 4

**CEILING & FLOOR MOUNTING INSTALLATIONS
SECTIONS B**

SCALE: 1/4" = 1"

**WALL MOUNTING INSTALLATIONS
SECTIONS A**

SCALE: 1/4" = 1"

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

David
AUG 24 2000

NOTE FOR COMBINATION OF SECTIONS:
FLOOR/ WALL/ CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:**
- INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0, -72.0 psf AND PANEL'S LENGTHS UP TO 9'-0".
 - NEW 2" x 6" P. T. TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 19 x M. M. C. W/ SPECIFIC DENSITY OF 0.55.
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TILECO inc.
TILLIT TESTING & ENGINEERING COMPANY
6585 N.W. 36th St., Ste. 217, VINCENNA GARDENS, FL 33196
Phone: (305)871-1530 Fax: (305)871-1531
EB-0006719
WALTER A. TILLIT, Jr., P. E.
FLORIDA Lic. # 44167

0.050" BERTHA STORM PANEL		DADE COUNTY	
EASTERN METAL SUPPLY, INC		AS SHOWN SCALE	
3600 23rd Ave. SOUTH LAKE WORTH, FL 33461-3247		7/7/98 DATE	
REV. No. DESCRIPTION DATE		98 - 172	
1 OLD 98-331 7/7/98		DRAWING No	
2		SHEET 8 OF 8	

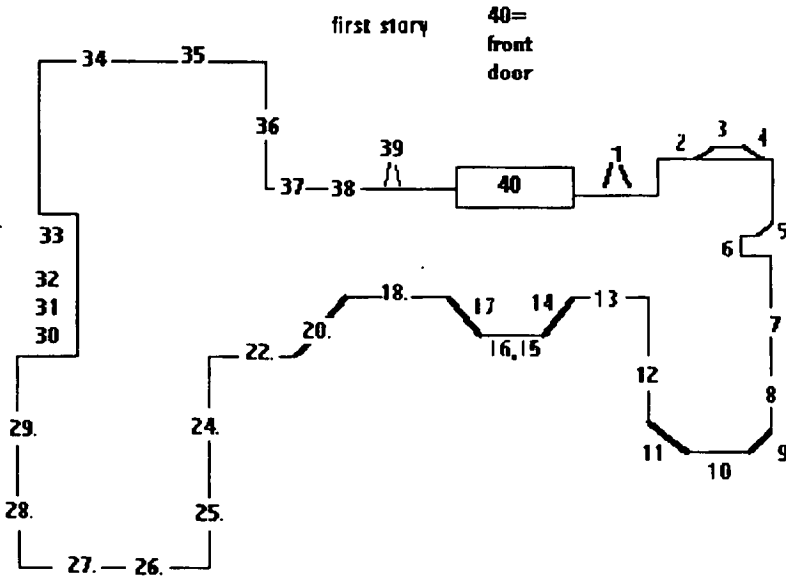
APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE October 08, 1998
BY Richard A. Miller
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 98-0817-16

PANEL LAY OUT SHEET

17 NE LOFTING WAY
SEWALLS POINT FL.34996

PLANTATION LOT 20

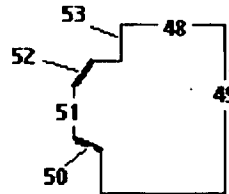
street



- 21. = 5p-44"
- 22. = 4p-45"
- 23. = 5p-44"
- 24. = 8p-73.5'
- 25. = 8p-73.5'
- 26. = 8p-73.5'
- 27. = 8p-73"
- 28. = 8p-48"
- 29. = 8p-50"
- 30. = 5p-43"
- 31. = 4p-43"
- 32. = 4p-43"
- 33. = 4p-45"
- 34. = 5p-45"
- 35. = 5p-45"
- 36. = 5p-45"
- 37. = 4p-41"
- 38. = 7p-41"
- 39. = 7p-79"
- 40. = 8p-96.5"

- 1. = 7p-88"
- 2. = 5p-30"
- 3. = 5p-58"
- 4. = 5p-33"
- 5. = 5p-26"
- 6. = 9p-53.5"
- 7. = 6p-31"
- 8. = 6p-31"
- 9. = 6p-57"
- 10. = 6p-59"
- 11. = 6p-56"
- 12. = 8p-61"
- 13. = 8p-74.5"
- 14. = 8p-36.5"
- 15. = 8p-36.5"
- 16. = 8p-36.5"
- 17. = 8p-36.5"
- 18. = 8p-73.5"
- 19. = 5p-81"
- 20. = 4p-45"

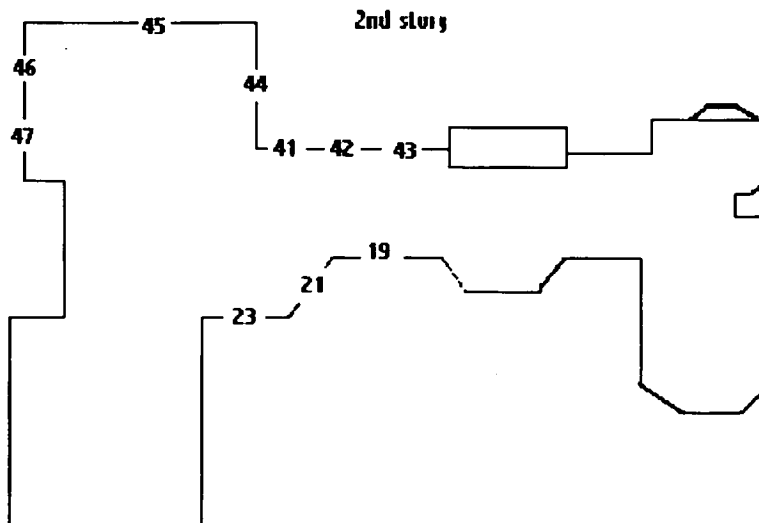
- 14 T= 2P ARCH CUT
- 15 T= 2P ARCH CUT
- 16 T= 2P ARCH CUT
- 17 T= 2P ARCH CUT



- 48= 4p-33"
- 49= 6p-45"
- 50= 8p-30"
- 51= 6p-82"
- 52= 6p-45"
- 53= 8p-28.5"

40T=3P ARCH CUT

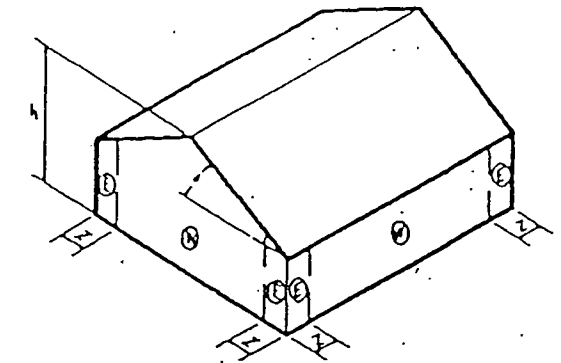
street



- 19=5p-81"
- 21=5p-44"
- 23=5p-44"
- 47=3p-68.5"
- 46=3p-69"
- 45= 4p-69.5"
- 44= 4p-69.5"
- 41=4.5p-42"
- 42=4.5p-38"
- 43=4.5p-38"

WIND LOAD CHART FOR 1997 STANDARD BUILDING CODE (SECTION 1606) FOR 110 m. p. h. BASIC WIND SPEED
- BUILDINGS WITH MEAN ROOF HEIGHT EQUAL OR LESS THAN 60 FEET (APARTMENT BUILDINGS & RESIDENTIAL HOMES)

MEAN ROOF HEIGHT (Ft)	DESIGN WIND LOAD (TRIBUTARY AREA - 10 FT ²)				DESIGN WIND LOAD (TRIBUTARY AREA - 20 FT ²)				DESIGN WIND LOAD (TRIBUTARY AREA - 50 FT ²)			
	ZONE E	ZONE W	ZONE E	ZONE W	ZONE E	ZONE W	ZONE E	ZONE W	ZONE E	ZONE W	ZONE E	ZONE W
0'-15'	+ 32.1	+ 32.1	- 37.1	- 32.1	+ 30.9	+ 30.9	- 35.1	- 31.4	+ 29.2	+ 29.2	- 35.9	- 30.1
>15'-20'	+ 34.8	+ 34.8	- 40.2	- 34.8	+ 33.5	+ 33.5	- 38.1	- 34.0	+ 31.6	+ 31.6	- 35.6	- 32.7
>20'-25'	+ 37.2	+ 37.2	- 42.9	- 37.2	+ 35.8	+ 35.8	- 40.6	- 36.3	+ 33.8	+ 33.8	- 38.0	- 34.9
>25'-30'	+ 39.1	+ 39.1	- 45.2	- 39.1	+ 37.6	+ 37.6	- 42.7	- 38.2	+ 35.5	+ 35.5	- 40.0	- 36.7
>30'-35'	+ 40.9	+ 40.9	- 47.3	- 40.9	+ 39.4	+ 39.4	- 44.7	- 40.0	+ 37.2	+ 37.2	- 41.9	- 38.4
>35'-40'	+ 42.5	+ 42.5	- 49.1	- 42.5	+ 40.9	+ 40.9	- 46.4	- 41.5	+ 38.6	+ 38.6	- 43.5	- 39.9
>40'-45'	+ 43.9	+ 43.9	- 50.7	- 43.9	+ 42.3	+ 42.3	- 48.0	- 43.0	+ 39.9	+ 39.9	- 45.0	- 41.2
>45'-50'	+ 45.4	+ 45.4	- 52.4	- 45.4	+ 43.6	+ 43.6	- 49.6	- 44.3	+ 41.2	+ 41.2	- 46.4	- 42.6
>50'-55'	+ 46.5	+ 46.5	- 53.7	- 46.5	+ 44.8	+ 44.8	- 50.8	- 45.5	+ 42.2	+ 42.2	- 47.7	- 43.7
>55'-60'	+ 47.7	+ 47.7	- 55.1	- 47.7	+ 45.9	+ 45.9	- 52.1	- 46.6	+ 43.3	+ 43.3	- 48.8	- 44.8

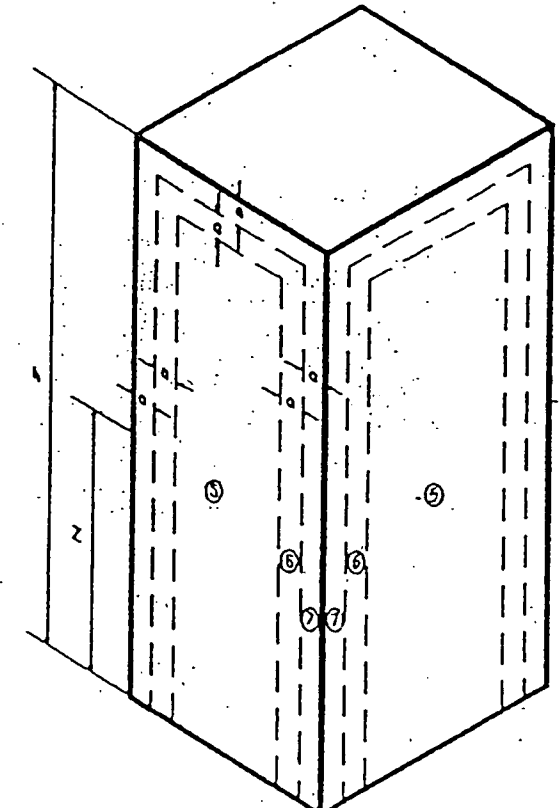


THE WIDTH OF THE EDGE STRIPS "Z" FOR WALLS AND ROOFS SHALL BE DETERMINED BY THE SMALLER OF 10% OF THE LEAST HORIZONTAL DIMENSION OF THE BUILDING OR 40% OF THE EAVE HEIGHT, BUT NOT LESS THAN THE LARGER OF 4% OF THE LEAST HORIZONTAL DIMENSION OF THE BUILDING OR 3 IN. (91.4 mm).

APARTMENT BUILDINGS AND RESIDENTIAL HOMES WITH MEAN ROOF HEIGHT "h" EQUAL OR LESS THAN 60 FEET.

BUILDING'S MEAN ROOF HEIGHT VS DESIGN LOAD FOR COMPONENTS & CLADDING (P.S.F.) FOR ASCE 7-88
- MEAN ROOF HEIGHT GREATER THAN 60 FEET (APARTMENT BUILDINGS)

MEAN ROOF HEIGHT (h)	EXPOSURE C						EXPOSURE D					
	EDGE ZONE (ZONE 7)		END ZONE (ZONE 6)		INTERIOR ZONE (ZONE 5)		EDGE ZONE (ZONE 7)		END ZONE (ZONE 6)		INTERIOR ZONE (ZONE 5)	
>60'-70'	+ 58.3	- 116.5	+ 57.3	- 86.8	+ 57.2	- 57.2	+ 76.6	- 153.1	+ 75.7	- 114.1	+ 75.1	- 75.1
>70'-80'	+ 60.6	- 121.2	+ 59.6	- 90.3	+ 59.5	- 59.5	+ 78.0	- 156.8	+ 77.15	- 116.9	+ 77.0	- 77.0
>80'-90'	+ 62.9	- 125.8	+ 61.9	- 93.8	+ 61.8	- 61.8	+ 80.3	- 160.6	+ 79.0	- 119.7	+ 78.8	- 78.8
>90'-100'	+ 64.8	- 129.6	+ 63.8	- 96.6	+ 63.6	- 63.6	+ 82.2	- 164.4	+ 80.9	- 122.5	+ 80.7	- 80.7
>100'-120'	+ 68.1	- 136.2	+ 67.0	- 101.5	+ 66.9	- 66.9	+ 85.0	- 170.0	+ 83.6	- 126.7	+ 83.4	- 83.4
>120'-140'	+ 71.4	- 142.8	+ 70.3	- 106.5	+ 70.1	- 70.1	+ 87.8	- 175.6	+ 86.4	- 130.9	+ 86.2	- 86.2
>140'-160'	+ 74.2	- 148.4	+ 73.0	- 110.6	+ 72.9	- 72.9	+ 90.2	- 180.3	+ 88.6	- 134.3	+ 88.5	- 88.5
>160'-180'	+ 76.5	- 153.1	+ 75.3	- 114.1	+ 75.1	- 75.1	+ 92.5	- 185.0	+ 91.0	- 137.9	+ 90.8	- 90.8
>180'-200'	+ 78.9	- 157.8	+ 77.6	- 117.6	+ 77.5	- 77.5	+ 94.0	- 188.0	+ 92.9	- 140.7	+ 92.7	- 92.7
>200'-250'	+ 84.1	- 168.1	+ 82.7	- 125.3	+ 82.5	- 82.5	+ 98.5	- 197.2	+ 97.0	- 147.0	+ 96.8	- 96.8
>250'-300'	+ 88.3	- 176.6	+ 86.9	- 131.6	+ 86.7	- 86.7	+ 102.4	- 204.7	+ 100.7	- 152.6	+ 100.5	- 100.5
>300'-350'	+ 92.5	- 185.0	+ 91.0	- 137.9	+ 90.8	- 90.8	+ 105.7	- 211.3	+ 104.0	- 157.5	+ 103.7	- 103.7
>350'-400'	+ 96.3	- 192.5	+ 94.7	- 143.5	+ 94.5	- 94.5	+ 108.5	- 216.9	+ 106.5	- 161.3	+ 106.7	- 106.7
>400'-450'	+ 99.9	- 199.8	+ 98.3	- 148.9	+ 98.1	- 98.1	+ 110.3	- 221.6	+ 109.0	- 165.2	+ 108.8	- 108.8
>450'-500'	+ 102.4	- 204.7	+ 100.7	- 152.6	+ 100.5	- 100.5	+ 113.2	- 226.3	+ 111.3	- 168.7	+ 111.1	- 111.1



NOTATION: z: 5% OF MINIMUM WIDTH OR 0.5h, WHICHEVER IS SMALLER.
 h: MEAN ROOF HEIGHT, IN FEET; AND
 Z: HEIGHT ABOVE GROUND, IN FEET.

APARTMENT BUILDINGS WITH MEAN ROOF HEIGHT "h" GREATER THAN 60 FEET.

TILECO INC.
 TILT TESTING & ENGINEERING COMPANY
 4305 N.W. 39th, Ste. 117, Miramar, Florida 33144
 Phone: (305) 671-4500 Fax: (305) 671-4512
 WALTER A. TILIT, P. E.
 FLORIDA LIC. # 44167

S. B. C.-97/WIND LOAD CHART						SCALE
						9/3/97 DATE
						97 - 237 DRAWING No
REV. No.	DESCRIPTION	DATE	REV. No.	DESCRIPTION	DATE	SHEET 1 OF 1
1			2			

**BUILDING'S MEAN ROOF HEIGHT VS DESIGN LOAD FOR COMPONENTS & CLADDING
(P.S.F.) FOR ASCE 7-88 - MEAN ROOF HEIGHT EQUAL OR LESS THAN 60 FEET**

(APARTMENT BUILDINGS)

MEAN ROOF HEIGHT (h)	COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 10 FT ² .)	
	END ZONE	INTERIOR ZONE
0'-15'	61.5	47.8
>15'-20'	66.9	52.0
>20'-25'	71.5	55.6
>25'-30'	75.3	58.6
>30'-40'	81.5	63.4
>40'-50'	86.8	67.5
>50'-60'	91.4	71.1

MEAN ROOF HEIGHT (h)	COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 20 FT ² .)	
	END ZONE	INTERIOR ZONE
0'-15'	57.7	45.8
>15'-20'	62.7	49.8
>20'-25'	67.0	53.2
>25'-30'	70.7	56.1
>30'-40'	76.4	60.7
>40'-50'	81.5	64.7
>50'-60'	85.8	68.1

MEAN ROOF HEIGHT (h)	COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 30 FT ² .)	
	END ZONE	INTERIOR ZONE
0'-15'	55.5	44.8
>15'-20'	60.4	48.8
>20'-25'	64.5	52.1
>25'-30'	68.0	54.9
>30'-40'	73.5	59.4
>40'-50'	78.4	63.3
>50'-60'	82.5	66.7

MEAN ROOF HEIGHT (h)	COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 40 FT ² .)	
	END ZONE	INTERIOR ZONE
0'-15'	53.3	43.9
>15'-20'	58.0	47.7
>20'-25'	62.0	51.0
>25'-30'	65.3	53.8
>30'-40'	70.6	58.1
>40'-50'	75.3	62.0
>50'-60'	79.3	65.3

MEAN ROOF HEIGHT (h)	COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 50 FT ² .)	
	END ZONE	INTERIOR ZONE
0'-15'	51.1	42.9
>15'-20'	55.6	46.7
>20'-25'	59.4	49.9
>25'-30'	62.6	52.6
>30'-40'	67.7	56.9
>40'-50'	72.2	60.6
>50'-60'	76.0	63.8

**BUILDING'S MEAN ROOF HEIGHT VS DESIGN LOAD FOR COMPONENTS & CLADDING
(P.S.F.) FOR ASCE 7-88 - MEAN ROOF HEIGHT GREATER THAN 60 FEET**

(APARTMENT BUILDINGS)

MEAN ROOF HEIGHT (h)	NON COASTAL ZONES			COASTAL ZONES		
	EDGE ZONE	END ZONE	INTERIOR ZONE	EDGE ZONE	END ZONE	INTERIOR ZONE
>60'-70'	116.5	86.8	57.2	153.1	114.1	75.1
>70'-80'	121.2	90.3	59.5	156.8	116.9	77.0
>80'-90'	125.8	93.8	61.8	160.6	119.7	78.8
>90'-100'	129.6	96.6	63.6	164.4	122.5	80.7
>100'-120'	136.2	101.5	66.9	170.0	126.7	83.4
>120'-140'	142.8	106.5	70.1	175.6	130.9	86.2
>140'-160'	148.4	110.6	72.9	180.3	134.3	88.5
>160'-180'	153.1	114.1	75.1	185.0	137.9	90.8
>180'-200'	157.8	117.6	77.5	189.0	140.7	92.7
>200'-250'	168.1	125.3	82.5	197.2	147.0	96.8
>250'-300'	176.6	131.6	86.7	204.7	152.6	100.5
>300'-350'	185.0	137.9	90.8	211.3	157.5	103.7
>350'-400'	192.5	143.5	94.5	216.9	161.3	106.7
>400'-450'	199.8	148.9	98.1	221.6	165.2	108.8
>450'-500'	204.7	152.6	100.5	226.3	168.7	111.1

NOTES:

PROFESSIONAL ENGINEER'S SIGNATURE AND SEAL INDICATED ON THIS DRAWING ARE ONLY APPLICABLE TO GENERIC WIND LOAD CHARTS BASED ON A.S.C.E 7-88 SECTION 6. REQUIREMENTS FOR A FASTEST WIND SPEED OF 110 M.P.H.

SPECIFIC WIND LOADS MARKED OR HIGH LIGHTED ON THIS GENERIC CHART BY THE CONTRACTOR FOR AN SPECIFIC JOB, AT THE TIME FOR APPLYING FOR A PERMIT AND DETERMINED BASED ON AN SPECIFIC MEAN ROOF HEIGHT, WIND EXPOSURE, AS WELL AS EDGE, END OR INTERIOR ZONE, HAVE NOT BEEN ANALYZED BY THIS ENGINEER NOR THEY ARE BEING CERTIFIED BY THIS ENGINEER.

SHOULD THIS CONDITION NOT THE ACCEPTABLE BY THE BUILDING OFFICIAL, THEN THIS SIGNED AND SEALED GENERIC WIND CHART SHALL NOT BE USED TO OBTAIN ANY PERMIT WHERE SPECIFIC DESIGN WIND LOADS ARE REQUIRED TO BE CERTIFIED BY A PROFESSIONAL ENGINEER.

DADE COUNTY

Handwritten signature: David Smith

TILECO INC.
TILT TESTING & ENGINEERING COMPANY
6585 N.W. 34th St., Ste. 217, Virginia Gardens, Florida 33166
Phone: (305) 471-1530 Fax: (305) 471-1532
WALTER A. TILIT, P. E.

ASCE 7-88/WIND LOAD SCHEDULES		AS SHOWN SCALE
		5/17/95 DATE
REV. NO.	DESCRIPTION	DRAWING No

BUILDING'S MEAN ROOF HEIGHT vs DESIGN LOAD FOR COMPONENTS & CLADDING (P.S.F.) FOR ASCE 7-98 - MEAN ROOF HEIGHT LESS THAN OR EQUAL TO 60 FEET

BASIC WIND SPEED = 140 mph CATEGORY II BUILDINGS (I=1.00)

DESIGN LOADS INDICATED BELOW SHALL ONLY BE USED FOR THE DETERMINATION OF POSITIVE OR NEGATIVE PRESSURES FOR A GIVEN OPENING OR OPENINGS OF A BUILDING WHERE SAID OPENINGS ARE SURROUNDED BY OTHER OPENINGS LOCATED WITHIN THE LOWEST 60 FEET OF BUILDING, AND WHICH ARE PROTECTED AGAINST WIND BORNE DEBRIS BY MEAN OF IMPACT RESISTANT GLASS OR ADEQUATE HURRICANE SHUTTERS.

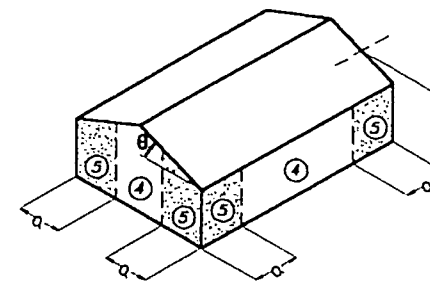
MEAN ROOF HEIGHT (h)	COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 10 FT ² .)			COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 20 FT ² .)			COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 50 FT ² .)			COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 10 FT ² .)			COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 20 FT ² .)			COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 50 FT ² .)		
	POSITIVE LOAD	NEGATIVE LOAD		POSITIVE LOAD	NEGATIVE LOAD		POSITIVE LOAD	NEGATIVE LOAD		POSITIVE LOAD	NEGATIVE LOAD		POSITIVE LOAD	NEGATIVE LOAD		POSITIVE LOAD	NEGATIVE LOAD	
	END & INTERIOR ZONE (5, 4)	END ZONE (5)	INTERIOR ZONE (4)	END & INTERIOR ZONE (5, 4)	END ZONE (5)	INTERIOR ZONE (4)	END & INTERIOR ZONE (5, 4)	END ZONE (5)	INTERIOR ZONE (4)	END & INTERIOR ZONE (5, 4)	END ZONE (5)	INTERIOR ZONE (4)	END & INTERIOR ZONE (5, 4)	END ZONE (5)	INTERIOR ZONE (4)	END & INTERIOR ZONE (5, 4)	END ZONE (5)	INTERIOR ZONE (4)
0' - 15'	50.3	67.3	54.5	47.7	61.7	51.9	44.4	55.0	48.8	66.0	83.1	70.3	63.4	77.4	67.7	60.2	70.8	64.5
> 15'-20'	53.4	71.5	57.9	50.6	65.5	55.2	47.2	58.5	51.8	70.1	88.2	74.7	67.4	82.3	71.9	64.0	75.2	68.6
> 20'-25'	56.0	74.9	60.7	53.1	68.7	57.8	49.5	61.3	54.3	73.5	92.5	78.3	70.6	86.2	75.4	67.0	78.8	71.9
> 25'-30'	58.2	77.9	63.1	55.1	71.4	60.1	51.4	63.7	56.4	76.4	96.1	81.3	73.4	89.6	78.3	69.7	81.9	74.7
> 30'-40'	61.8	82.7	67.0	58.6	75.8	63.9	54.6	67.7	60.0	81.2	102.1	86.4	78.0	95.2	83.2	74.0	87.0	79.3
> 40'-50'	64.8	86.7	70.2	61.4	79.5	66.9	57.3	70.9	62.8	85.1	107.0	90.6	81.7	99.8	87.2	77.6	91.2	83.1
> 50'-60'	67.3	90.1	73.0	63.8	82.6	69.6	59.5	73.7	65.3	88.4	111.2	94.1	84.9	103.7	90.7	80.6	94.8	86.4
0' - 15'	45.2	60.6	49.1	42.9	55.5	46.8	40.0	49.5	43.9	59.4	74.8	63.3	57.1	69.7	60.9	54.2	63.7	58.1
> 15'-20'	48.1	64.3	52.1	45.6	59.0	49.7	42.5	52.6	46.6	63.1	79.4	67.2	60.6	74.0	64.7	57.6	67.7	61.7
> 20'-25'	50.4	67.4	54.6	47.8	61.8	52.1	44.5	55.2	48.9	66.2	83.2	70.4	63.6	77.6	67.9	60.3	70.9	64.7
> 25'-30'	52.3	70.1	56.8	49.6	64.2	54.1	46.3	57.3	50.8	68.8	86.5	73.2	66.0	80.6	70.5	62.7	73.7	67.2
> 30'-40'	55.6	74.5	60.3	52.7	68.2	57.5	49.2	60.9	54.0	73.0	91.9	77.8	70.2	85.7	74.9	66.6	78.3	71.4
> 40'-50'	58.3	78.0	63.2	55.3	71.5	60.2	51.5	63.8	56.6	76.6	96.3	81.5	73.5	89.8	78.5	69.8	82.1	74.8
> 50'-60'	60.6	81.1	65.7	57.4	74.3	62.6	53.6	66.3	58.8	79.6	100.1	84.7	76.4	93.3	81.6	72.6	85.3	77.8

BUILDING'S MEAN ROOF HEIGHT vs DESIGN LOAD FOR COMPONENTS & CLADDING (P.S.F.) FOR ASCE 7-98 - MEAN ROOF HEIGHT GREATER THAN 60 FEET

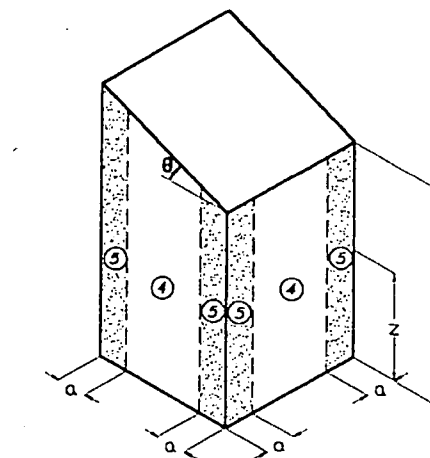
BASIC WIND SPEED = 140 mph CATEGORY II BUILDINGS (I=1.00)

DESIGN LOADS INDICATED BELOW SHALL ONLY BE USED FOR THE DETERMINATION OF POSITIVE OR NEGATIVE PRESSURES FOR A GIVEN OPENING OR OPENINGS OF A BUILDING WHERE SAID OPENINGS ARE SURROUNDED BY OTHER OPENINGS LOCATED WITHIN THE LOWEST 60 FEET OF BUILDING, AND WHICH ARE PROTECTED AGAINST WIND BORNE DEBRIS BY MEAN OF IMPACT RESISTANT GLASS OR ADEQUATE HURRICANE SHUTTERS.

MEAN ROOF HEIGHT (h)	COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 20 FT ² .)			COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 50 FT ² .)			COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 20 FT ² .)			COASTAL & NON COASTAL ZONES (TRIBUTARY AREA = 50 FT ² .)		
	POSITIVE LOAD	NEGATIVE LOAD		POSITIVE LOAD	NEGATIVE LOAD		POSITIVE LOAD	NEGATIVE LOAD		POSITIVE LOAD	NEGATIVE LOAD	
	END & INTERIOR ZONE (5, 4)	END ZONE (5)	INTERIOR ZONE (4)	END & INTERIOR ZONE (5, 4)	END ZONE (5)	INTERIOR ZONE (4)	END & INTERIOR ZONE (5, 4)	END ZONE (5)	INTERIOR ZONE (4)	END & INTERIOR ZONE (5, 4)	END ZONE (5)	INTERIOR ZONE (4)
> 60' - 70'	63.6	116.6	63.6	57.8	100.3	60.0	85.4	138.4	85.4	79.6	122.1	81.8
> 70' - 80'	65.4	120.0	65.4	59.5	103.2	61.7	87.9	142.4	87.9	81.9	125.6	84.1
> 80' - 90'	67.1	123.0	67.1	61.0	105.8	63.2	90.1	146.0	90.1	84.0	128.7	86.2
> 90' - 100'	68.6	125.7	68.6	62.4	108.1	64.6	92.1	149.2	92.1	85.9	131.6	88.1
> 100' - 120'	71.3	130.7	71.3	64.8	112.4	67.2	95.7	155.1	95.7	89.2	136.8	91.6
> 120' - 140'	73.6	135.0	73.6	66.9	116.1	69.4	98.8	160.2	98.8	92.2	141.3	94.6
> 140' - 160'	75.7	138.8	75.7	68.8	119.4	71.4	101.7	164.8	101.7	94.8	145.3	97.3
> 160' - 180'	77.6	142.3	77.6	70.6	122.4	73.2	104.2	168.9	104.2	97.2	149.0	99.7
> 180' - 200'	79.4	145.5	79.4	72.2	125.1	74.8	106.5	172.7	106.5	99.3	152.3	102.0
> 200' - 250'	83.2	152.5	83.2	75.6	131.1	78.4	111.7	181.0	111.7	104.1	159.6	106.9
> 250' - 300'	86.4	158.5	86.4	78.6	136.3	81.5	116.0	188.1	116.0	108.2	165.9	111.1
> 300' - 350'	89.3	163.7	89.3	81.2	140.8	84.1	119.9	194.3	119.9	111.8	171.3	114.7
> 350' - 400'	91.8	168.4	91.8	83.5	144.8	86.5	123.3	199.8	123.3	114.9	176.2	118.0
> 400' - 450'	94.1	172.6	94.1	85.6	148.4	88.7	126.4	204.8	126.4	117.8	180.7	121.0
> 450' - 500'	96.2	176.4	96.2	87.5	151.7	90.7	129.2	209.4	129.2	120.5	184.7	123.7



- a: 10% OF LEAST HORIZONTAL DIMENSION OR 0.4h, WHICHEVER IS SMALLER, BUT NOT LESS THAN EITHER 4% OF LEAST HORIZONTAL DIMENSION OR 3 ft.
- h: MEAN ROOF HEIGHT, IN FEET, EXCEPT THAT EAVE HEIGHT SHALL BE USED FOR $\theta \leq 10^\circ$
- θ : ANGLE OF PLANE OF ROOF FROM HORIZONTAL, IN DEGREES



- a: 10% OF LEAST HORIZONTAL DIMENSION, BUT NOT LESS THAN 3 ft.
- h: MEAN ROOF HEIGHT, IN FEET
- z: HEIGHT ABOVE GROUND, IN FEET
- θ : ANGLE OF PLANE OF ROOF FROM HORIZONTAL, IN DEGREES ($\theta \leq 10^\circ$)

NOTES:

PROFESSIONAL ENGINEER'S SIGNATURE AND SEAL INDICATED ON THIS DRAWING ARE ONLY APPLICABLE TO GENERIC WIND LOAD CHARTS BASED ON A.S.C.E. 7-98 SECTION 6, REQUIREMENTS FOR A BASIC WIND SPEED OF 140 mph & APPLICABLE IMPORTANCE FACTORS.

SPECIFIC WIND LOADS MARKED OR HIGHLIGHTED ON THIS GENERIC CHART BY THE CONTRACTOR FOR AN SPECIFIC JOB, AT THE TIME FOR APPLYING FOR A PERMIT, AND DETERMINED BASED ON AN SPECIFIC MEAN ROOF HEIGHT, WIND EXPOSURE, AS WELL AS END AND INTERIOR ZONE, HAVE NOT BEEN ANALYZED BY THIS ENGINEER NOR THEY BEING CERTIFIED BY THIS ENGINEER.

JLD THIS CONDITION NOT THE ACCEPTABLE TO THE BUILDING OFFICIAL, THEN THIS SIGNED AND SEALED ERIC WIND CHART SHALL NOT BE USED TO OBTAIN ANY PERMIT WHERE SPECIFIC DESIGN WIND LOADS ARE REQUIRED TO BE CERTIFIED BY A PROFESSIONAL ENGINEER.

TRIBUTARY AREA: (A_T)
 WINDOW DOOR OR SHUTTER AREA AS APPLICABLE EXCEPT THAT FOR FREE STANDING STORM PANELS & ACC SHUTTERS
 (A_T) = PANEL SPAN (ft) x PANEL SPAN (ft)

TILTECO INC.
 TILLIT TESTING & ENGINEERING COMPANY
 6393 N.W. 38th St., Ste. 217, VIRGINIA GARDENS, FL 33168
 Phone: (305)871-1530 Fax: (305)871-1531
 WALTER A. TILLIT Jr. P. E.
 FLORIDA Lic. # 44167

ASCE 7-98 / WIND LOAD SCHEDULES						AS SHOWN SCALE
WIND LOAD SCHEDULE BASIC WIND SPEED = 140 mph (W1)						3/01/00 DATE
						00-08 DRAWING No
REV. No	DESCRIPTION	DATE	REV. No	DESCRIPTION	DATE	SHEET 1 OF 1
1	-	-	3	-	-	
2	-	-	4	-	-	

MARTIN COUNTY

Producer
 Firestone Agency of Florida
 1500 University Drive
 Suite 212
 Coral Springs FL 33071

This certificate is issued as a matter of information only and confers no rights upon the certificate holder. This certificate does not amend, extend or alter the coverage afforded by the policies below.

FILE

COMPANIES AFFORDING COVERAGE

- Company letter A BURLINGTON INS. CO.
- Company letter B
- Company letter C
- Company letter D
- Company letter E

Insured
 COMPLETE HURRICANE PROTECTION, INC.
 SCOTT MARTINEZ D/B/A
 1696 OLD OKEECOBEE RD #20F
 WEST PALM BCH FL 33409

LIC/INS

COPY

FILE

permut

RECEIVED
 APR - 5 2000
 BY: *E*

COVERAGES This is to certify that policies of insurance listed below have been issued to the insured named above for the policy period indicated, notwithstanding any requirement term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions and conditions of such policies. Limits shown may have been reduced by paid claims.

Co Lt	Type of Insurance	Policy number	Policy Effective	Policy Expire	ALL LIMITS IN THOUSANDS	
A	GENERAL LIABILITY X Commercial General Liab. Claims made X Occurrence - Owner's & contractors protective	B0167G423554R1	2-25-00	2-25-01	General aggregate.....\$1,000 Products-completed operations aggregate..\$1,000 Personal & advertising injury....\$ EXC Each occurrence.....\$1,000 Fire damage (any one fire).....\$ EXC Medical expense (any one person).....\$ EXC	
	AUTOMOBILE LIABILITY - Any auto - All owned autos - Scheduled autos - Hired autos - Non-owned autos - Garage liability	THIS IS ISSUED PURSUANT TO THE FLORIDA SURPLUS LINES LAW. PERSONS INSURED BY SURPLUS LINES CARRIERS DO NOT HAVE THE PROTECTION OF THE FLORIDA INSURANCE GUARANTY ACT TO THE EXTENT OF ANY RIGHT OF RECOVERY FOR THE OBLIGATION OF AN INSOLVENT UNLICENSED INSURER			CSL	\$
					Bodily Injury (per person)	\$
					Bodily Injury (per accident)	\$
					Property damage	\$
	EXCESS LIABILITY - Umbrella form - Other than umbrella form				Each occurrence	Aggregat \$ \$
	WORKERS' COMPENSATION AND EMPLOYERS' LIABILITY				Statutory \$ (each accident) \$ (disease-policy limit) \$ (disease-each empl.)	
	OTHER					

Description of operations/locations/vehicles/special items

HURRICANE SHUTTERS

Certificate holder
 TOWN OF SEWALS POINT
 1 SOUTH SEWAL POINT
 FAX: (561)220-4765
 SEWALS POINT FL 34996

CANCELLATION Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavor to mail 10* days written notice to the certificate holder named to the left, but failure to mail such notice shall impose no obligation or liability of any kind upon the company, its agents or representatives.

Authorized representative

Steve C. Jackson



ACORD CERTIFICATE OF LIABILITY INSURANCE March 30, 2000

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

Insurers Affording Coverage

Producer
Paychex
The Hartford
FSBC
308 Farmington Avenue
Farmington, CT.
06032-1913

Insured
COMPLBTE HURRICANE PROTECTION INC
1696 OLD OKEECHOBEE RD
WEST PALM BEACH, FL 33409

Insurer A: HARTFORD UNDERWRITERS INS
Insurer B:
Insurer C:
Insurer D:
Insurer E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

General Liability Insurer:
Commercial General Liability
Claims Made:
Occur:
Policy Number:
Policy Effective Date:
Policy Expire Date:
General Aggregate Limit Applies Per:
Policy: Project: LOC:

Limits
Each Occurrence:
Fire Damage (any one fire):
Med Expense (any one person):
Personal & Adv Liability:
General Aggregate:
Products - Comp/Op Agg:

Automobile Liability Insurer:

Any Auto:
All Owned Autos:
Scheduled Autos:
Hired Autos:
Non Owned Autos:
Policy Number:
Policy Effective Date:
Policy Expiration Date:

Limits
Comb Single Limit(ea accident):
Bodily Injury(Per person):
Bodily Injury(Per Accident):
Property Damage(Per Accident):

Garage Liability Insurer:

Any Auto:
Policy Number:
Policy Effective Date:
Policy Expiration Date:

Limits
Auto Only - EA Accident:
Other Than Auto Only:
EA Accident:
Aggregate:

Excess Liability Insurer:

Occurrence:
Claims Made:
Deductible:
Retention:
Policy Number:
Policy Effective Date:
Policy Expiration Date:

Limits
Each Occurrence:
Aggregate:

Workers' Comp & Employer's Liab Insurer:

Policy Number: 76WE-JG3114
Policy Effective Date: 02-18-00
Policy Expiration Date: 02-18-01

Limits
WC Statutory Limits: X
Other:
E.L. Each Accident: \$100,000
E.L. Disease - EA Employee: \$100,000
E.L. Disease - Policy Limit: \$500,000

Description of operations/locations/vehicles/exclusions added by endorsements/special provisions

Certificate Holder
TOWN OF SEWALLS POINT
1 SOUTH SEWALLS POINT RD

SEWALLS POINT FL 34996
Fax:5612204765 Fax2:5616879925

Cancellation

Should any of the above described policies be canceled before the expiration date thereof, the issuing insurer will endeavor to mail 10 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agent or representatives.

AUTHORIZED REPRESENTATIVE:

Carol Lubowicz

DMS

RECEIVED
MAR 30 2000
BY: *[Signature]*

FILE

UC/105

RECEIVED

MAR 30 2000

BY: *[Signature]*

FILE

18

MARTIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY

SCOTT W MARTINEZ
COMPLETE HURRICANE PROTECTION, INC
1146 Elizabeth Ave #6
MPR FL 33401

EXPIRES SEPTEMBER 30, 00

CERTIFICATE NUMBER	37701	CERTIFICATE NUMBER	5P02890
--------------------	-------	--------------------	---------

CERTIFIED CONTRACTOR

HURRICANE SHUTTERS/AWINGS

SIGNATURE *[Signature]*

ATTEST: *[Signature]*
LICENSING ADMINISTRATOR

1729

Return to: (self addressed stamped envelope enclosed)

Complete Hurricane Protection-MARTIN, Inc.
50 NE DIXIE HWY. UNIT E-5
STUART FL. 34994

This Instrument Prepared by:

MARK STEWART
50 NE DIXIE HWY. UNIT E-5
STUART FL. 34994

Property Appraisers Parcel Identification Number

26-37-41-013-000-00-200-40000

SPACE ABOVE THIS LINE FOR PROCESSING DATA

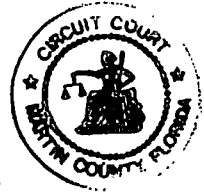
STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA STILLER, CLERK

BY [Signature] D.C.

DATE 9-11-00



SPACE ABOVE THIS LINE FOR RECORDING DATA

NOTICE of COMMENCEMENT

State of Florida
County of MARTIN

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with section 713.13 of the Florida Statutes, the following information is provided in this NOTICE of COMMENCEMENT.

Legal description of property: PLANTATION AT SEWELLS POINT LOT 20
Legal Description 2

Street address of property: 17 NE LOFTING WAY

Description of improvements: DADE APPROVED 050 ALUMINUM STORM PANELS

Property Owner Name: CONWAY; STEPHEN P. AND JENNIFER E.

Property Owner Address: 9 RIVERVIEW DRIVE STUART, FLORIDA 34996

Owner's interest in property: Owner

Fee Simple Title Holder Name: Title Holder's Name

Title Holder Address: Title Holder's Address Title Holder's City, State, Zip

Contractor Name: Complete Hurricane Protection-MARTIN, Inc.

Contractor Mailing Address: 50 NE DIXIE HWY. UNIT E-5 STUART FL. 34994

Surety Name: None Amt of Bond \$ None

Surety Mailing Address: None

Lender Name: Lender's Name

Lender Mailing Address: Lender's Mailing Address Lender's City, State, Zip

Person within the State of Florida designated by Owner upon which notices and other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes.

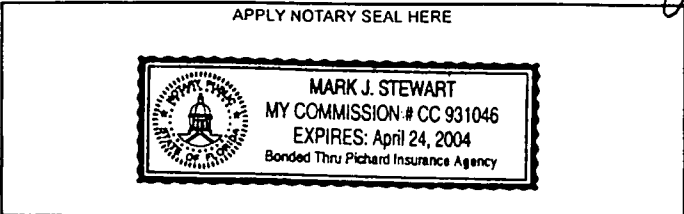
Name Serve Owner
Address Serve Address

In addition to himself, the Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Name Serve Owner
Address Serve Address

Expiration date of this Notice of Commencement: This Notice of Commencement expires in one year.

[Signature] Jennifer E. Conway
Signature of Owner
CONWAY; STEPHEN P. AND JENNIFER E.
Printed Signature of Owner



I have relied upon the following identification of the Affiant:
Personally Known To Me
Sworn to and subscribed before me this 11 day of Sept 2000
[Signature]
Notary Signature
Mark Stewart
Printed Notary Signature

7080

FENCE REPAIR

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 11/23/04

BUILDING PERMIT NO. 7080

Building to be erected for PAYSON

Type of Permit FENCE REPAIR

Applied for by STUART FENCE (Contractor)

Building Fee _____

Subdivision PLANTATION Lot 20 Block _____

Radon Fee _____

Address 17 NE LOFTING WAY

Impact Fee _____

Type of structure SFR

A/C Fee N/C

Parcel Control Number:

263741013000020040000

Electrical Fee HURRICANE

Plumbing Fee DAMAGE

Roofing Fee _____

Amount Paid - Check # - Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 1175.00

TOTAL Fees _____

Signed Janis Loudin

Applicant

Signed Gene Summers

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 10/12/00

BUILDING PERMIT NO. 5.110

Building to be erected for STEVE CONWAY

Type of Permit FENCE-CHAIN

Applied for by UNITED FENCE (Contractor)

Building Fee \$ 30.00

Subdivision PLANTATION Lot 20 Block _____

Radon Fee _____

Address 17 N.E. LOFTING WAY

Impact Fee _____

Type of structure SFR.

A/C Fee _____

Parcel Control Number: _____

Electrical Fee _____

Amount Paid \$ 30.00 Check # 9511 Cash _____

Plumbing Fee _____

Roofing Fee _____

Total Construction Cost \$ 2,400.00

Other Fees (_____)

TOTAL Fees \$ 30.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector [Signature]

FENCE PERMIT

INSPECTIONS

SETBACKS
FOOTINGS

DATE _____
DATE _____

HEIGHT
FINAL

DATE _____
DATE 11/3/00

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction **Remodel** **Addition** **Demolition**

**This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

RECEIVED
NOV 12 2004

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

OWNER/TITLE HOLDER NAME: DONNA PAXSON Phone (Day) 220-0163 (Fax) _____

Job Site Address: 17 NE Lofting Way City: Sewalls Point State: FL Zip: 34996

Legal Description of Property: Plantation at Sewalls Point Parcel Number: 263741013000002004
LOT 20

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: REPLACE 59' OF 4' GREEN VINYL CHAINLINK FENCE

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: STUART FENCE CO Phone: 288 1151 Fax: 288-3035

Street: 2832 SE IRIS ST City: STUART State: FL Zip: 34997

State Registration Number: _____ State Certification Number: _____ Martin County License Number: CFE 3584

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 1175.⁰⁰ (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Donna Paxson
State of Florida, County of: MARTIN
This the 14 day of Sept, 2004
by DONNA PAXSON who is personally known to me or produced FL DL as identification.

Janis L. Loudin
Notary Public
Commission # DD119654
Expires May 21, 2006
Bonded Thru
Atlantic Bonding Co., Inc.

My Commission Expires _____

CONTRACTOR SIGNATURE (required)
Chester Bilmond
On State of Florida, County of: MARTIN
This the 10 day of NOV, 2004
by CHESTER BILMOND who is personally known to me or produced _____ as identification.

Janis L. Loudin
Notary Public
Commission # DD119654
Expires May 21, 2006
Bonded Thru
Atlantic Bonding Co., Inc.

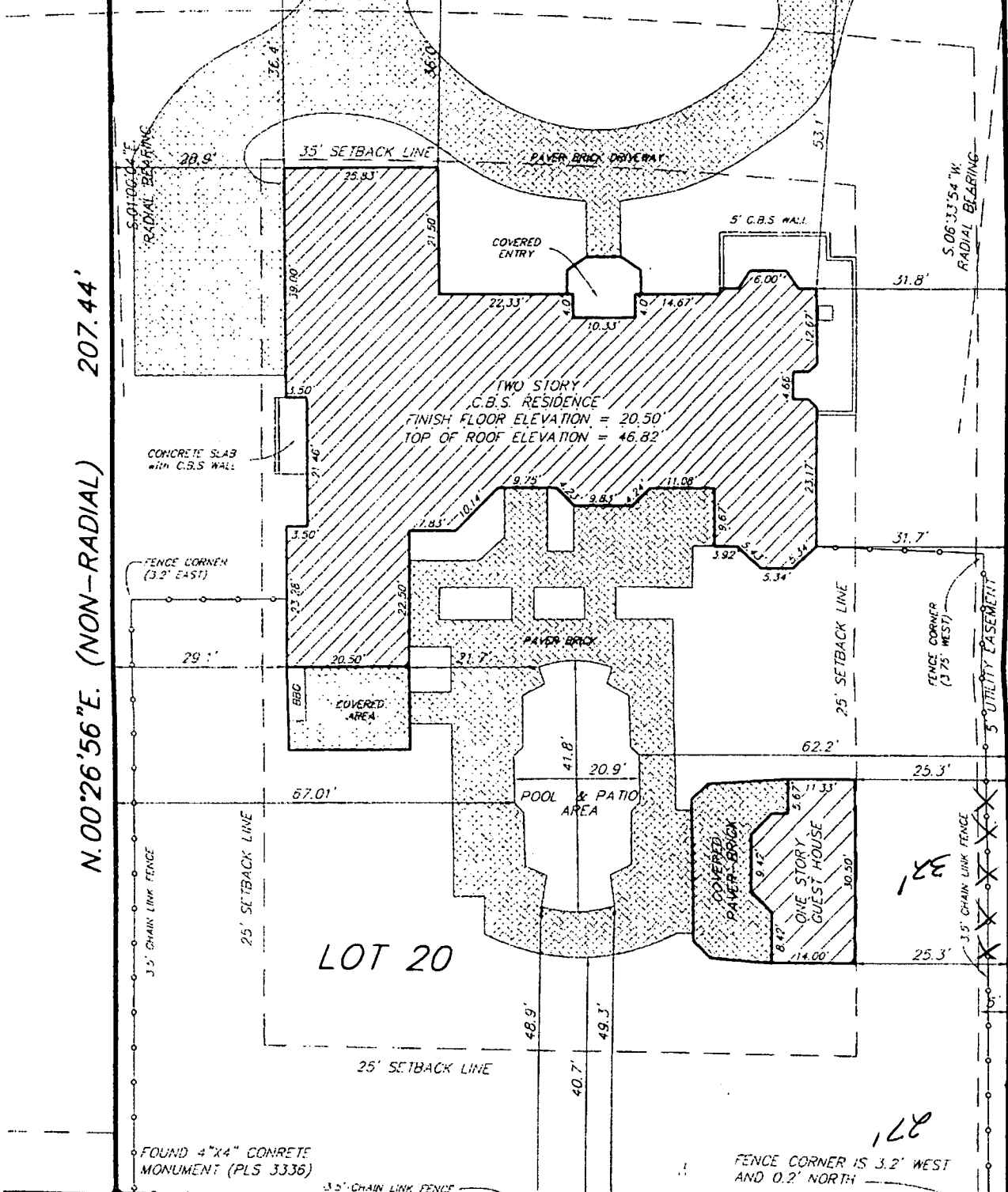
My Commission Expires _____

N.E. LOFTING WAY
CENTERLINE OF RIGHT OF WAY

$R=1140.78'$ $D=07^{\circ}32'44''$ $L=150.24'$

WAY
CONCRETE
(NO ID)

FOUND 4"x4" CONCR.
MONUMENT (NO ID)



N.00'26'56"E (NON-RADIAL) 204.10'

N.00'26'56"E (NON-RADIAL) 207.44'

LOT 20

4' GREEN VINYL
CHAIN LINK
FENCE
REPAIR

FOUND 4"x4" CONCRETE
MONUMENT (PLS 3336)

FENCE CORNER IS 3.2' WEST
AND 0.2' NORTH

FOUND 4"x4" CONCR
MONUMENT (PLS 33)

FENCE CORNER IS 3.0' EAST
AND 0.2' NORTH

S.88'30'18"E.

150.03'

LOT 17

4' GREEN VINYL
CHAIN LINK
FENCE
REPAIR

DUNNHAM JULY 11

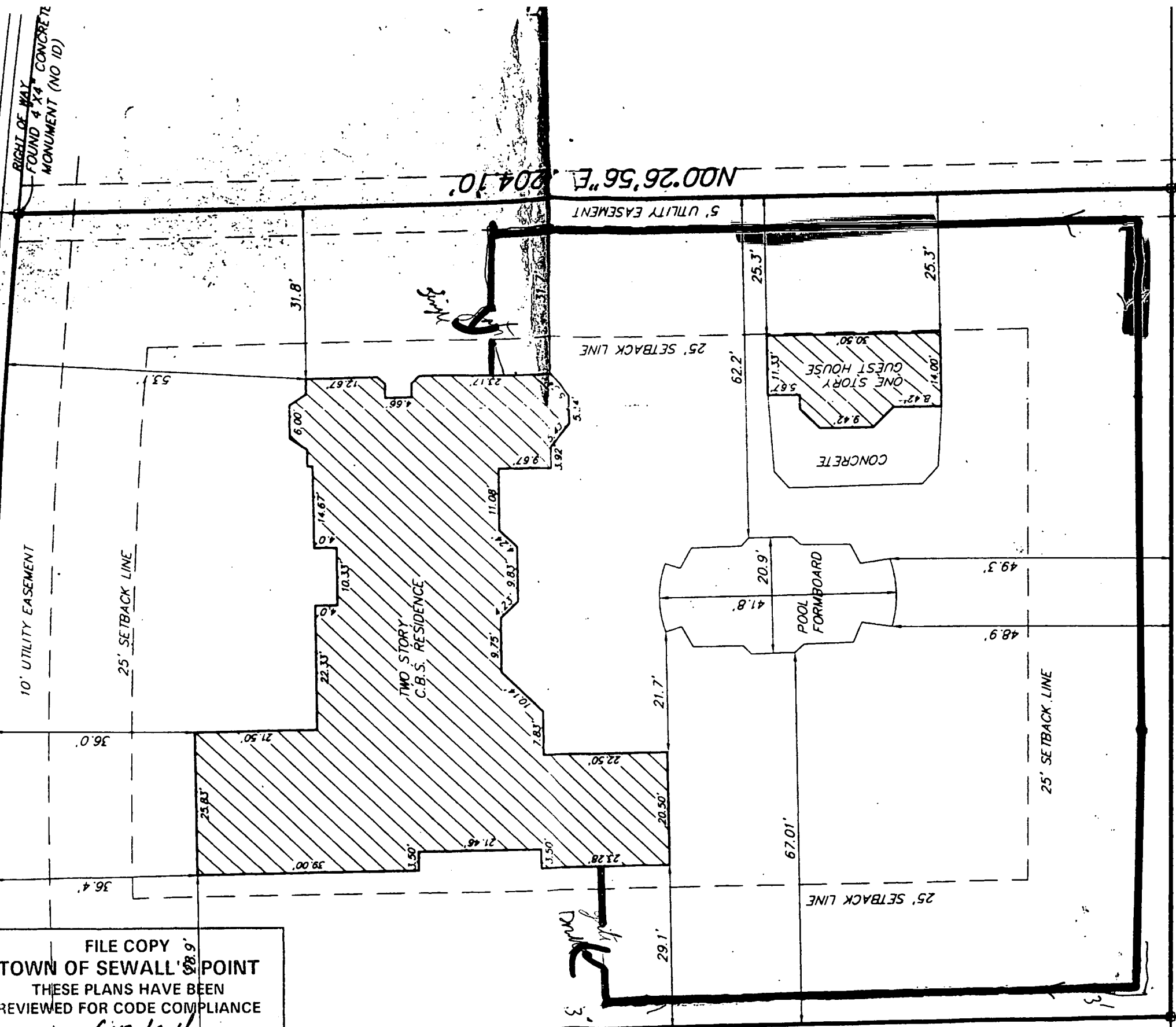
2' CONCRETE & GUT

20' ASPHALT PAVEMENT - 30' RIGHT OF WAY
N.E. LOFTING WAY
CENTERLINE OF RIGHT OF WAY

R=1140.78 L=150.24'
D=07'32'44"

FILE COPY
TOWN OF SEWALL POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
BUILDING OFFICIAL
Gene Simmons

REPAIR WORK FOR
HURRICANE DAMAGE

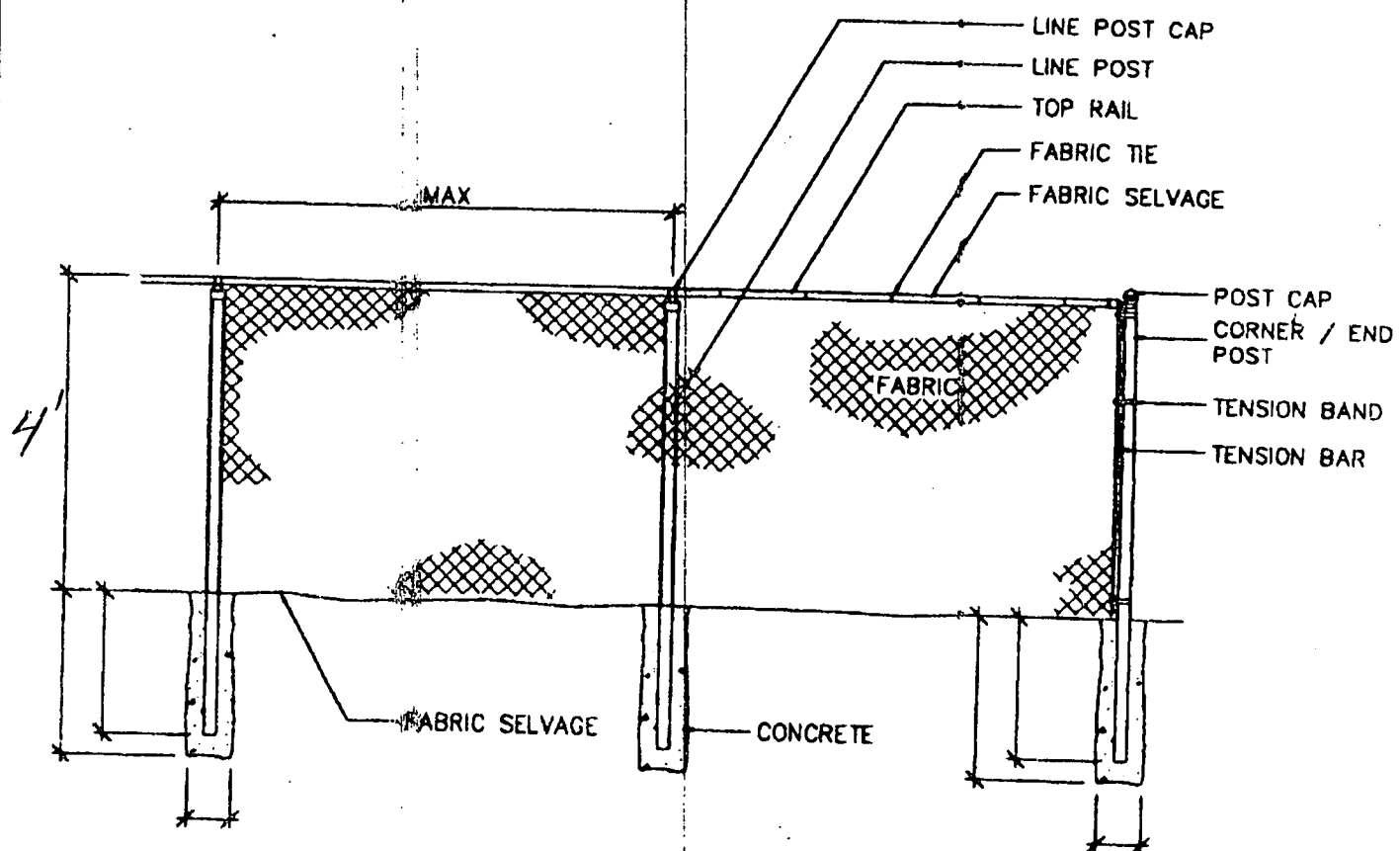


FOUND 4"x4" CONCRETE MONUMENT (NO ID)

FOUND 4"x4" CONCRETE MONUMENT (PLS 3336)

S88°30'18"E 150.03'

FOUND 4"x4" CONCRETE MONUMENT (PLS 3333)



GREEN VINYL **CHAIN LINK FENCING DETAIL**

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JAN 21, 2008 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6762	GIACHINO	FINAL KITCHEN/BATH	FAIL	
3	96 S. SEWALL'S PT BAYVIEW			INSPECTOR:
7030	PAXSON	FENCE FINAL	PASS	CLOSE
11	17 LOFTING WAY STUART FENCE			INSPECTOR:
7102	FREDERICK	FENCE FINAL	PASS	CLOSE
7	32 S. SEWALL'S PT STUART FENCE			INSPECTOR:
6952	WELGARD	TINTAG METAL	PASS	
2	118 S. SEWALL'S PT PACIFIC ROOFING			INSPECTOR:
Tree	FRANKS	TREE	PASS	
4	93 S. SEWALL'S PT			INSPECTOR:
Tree	GILL	TREE	PASS	
12	8 OAK HILL WAY			INSPECTOR:
6513	DUNN	INSULATION	PASS	REINSPECT FOR
10	31 N. RIVER RD	ELEC. TROUGH	PASS	MECH. SUBST
	FIRST FLORIDA	PLB TROUGH	PASS	INSPECTOR:
OTHER:		A/C. TROUGH	PASS	

9934

PLUMBING & ELECTRIC

REMODEL



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9934	DATE ISSUED:	11-29-2011
SCOPE OF WORK:	PLUMBING & ELECTRIC REMODEL		
CONTRACTOR:	OB		
PARCEL CONTROL NUMBER:	26-37-41-013-000-00200-4	SUBDIVISION:	PLANTATION - L 20
CONSTRUCTION ADDRESS:	17 NE LOFTING WAY		
OWNER NAME:	BRYAN GILLEN		
QUALIFIER:	OB	CONTACT PHONE NUMBER:	781-4937

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point Cell: 772-215-1541

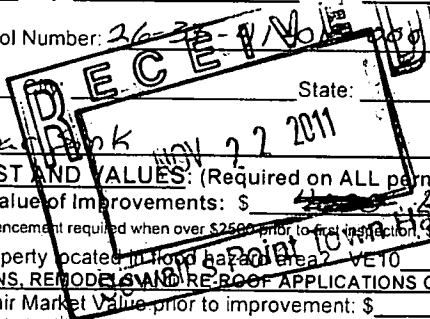
Date: 11/22/11 BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: Bryan Gillen Phone (Day) 772 781-4937 (Fax) 772-781-8809

Job Site Address: 17 NE LOFTING WAY City: STUART State: FL Zip: 34996

Legal Description: Plantation at Sewall's Point Lot 20 Parcel Control Number: 26-38-416-00200-4000

Owner Address (if different): _____ State: _____ Zip: _____



SCOPE OF WORK (PLEASE BE SPECIFIC): ADD 1 Bath

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES X NO

Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 4000 + 2800 = \$4000 (Notice of Commencement required when over \$2500 prior to final inspection \$7500 on HVAC change out) Is subject property located in Flood Hazard Area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Bassolino Plumbing Phone: 871-9002 Fax: 344-5235

Qualifiers name: _____ Street: 661 SW Bacon Terr City: P.S.L State: FL Zip: 34953

State License Number: _____ OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Treasure Coast Power Systems Phone Number: 631-0773

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____ * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1. 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

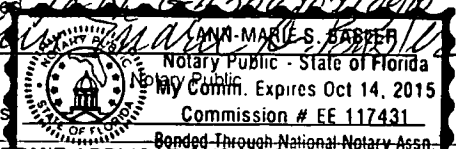
X [Signature] State of Florida, County of: Martin On This the 22nd day of November, 2011 by Bryan J. Gillen who is personally known to me or produced [Signature]

As identification: [Signature] My Commission Expires: Oct 14, 2015 Commission # EE 117431

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)

X _____ State of Florida, County of: _____ On This the _____ day of _____, 20____ by _____ who is personally known to me or produced _____

As identification: _____ My Commission Expires: _____ Notary Public



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Town of Sewall's Point

Date: _____ BUILDING PERMIT APPLICATION Permit Number: 9934

OWNER/TITLEHOLDER NAME: Bryan J. & Apinya P. Gillen Phone (Day) 772-781-4937 (Fax) 772-781-8909

Job Site Address: 17 NE LOFTING WAY City: STUART State: FL Zip: 34996

Legal Description PLANTATION AT SEWALL'S POINT LOT 20 REV Parcel Control Number: 26-37-41-013-000-00200-4000

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC):

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 2800.00 + 1200 \$4000
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Treasure Coast Power Systems Phone: 772 631 0773 Fax: _____

Qualifiers name: Derek Villar Street: 1504 SW Berkeley Ave City: Port St Lucie State: FL Zip: 34953

State License Number: EC0002053 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: _____ Phone Number: _____

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

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National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

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3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS; OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
X [Signature]
State of Florida, County of: MARTIN
On This the 9th day of November, 2011
by Bryan Gillen who is personally
known to me or produced _____
As identification: [Signature]

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)
X [Signature]
State of Florida, County of: Martin
On This the 17th day of November, 2011
by Derek Villar who is personally
known to me or produced [Signature]
As identification: [Signature]

My Commission Expires: _____
KAREN L. VAUGHAN
Notary Public - State of Florida
My Comm. Expires Dec 10, 2013
Commission # 00 849993

My Commission Expires: _____
MARIE B. BASTEN
Notary Public - State of Florida
My Comm. Expires Oct 14, 2015
Commission # EE 117431

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTICE OR ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

**OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT
 MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE**

**APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES
 AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE**

NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.

ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"

Owner/Builder Applicant Name: Bryan Gillen

Site address of the proposed building work: 17 NE LOFTING WAY, STUART FL 34986

Name of legal title owner of the address above: Plantation At Sewall's Point Lot 20 P1# 26-37-91-013-00000200-40003

Describe the scope of work for the proposed new construction: Bath room remodel & reconfigure
 ceiling lighting

Name of Architect of Record: N/A Structural Engineer of Record: N/A

Who will supervise the trade work to meet the applicable code? Subs Contractors are Licensed

What provisions have you made for Liability and Property Damage Insurance? Home Owners & Liability Policies
 & Subs are Required to Have their own Liability Insurance

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? N/A

What previous Owner/Builder improvements have you done in the State of Florida? NONE

Location: N/A Scope of Work Done: N/A Year: N/A

Location: N/A Scope of Work Done: N/A Year: N/A

What code books do you have available for reference? Building: N/A

Electric: N/A Plumbing: N/A HVAC: N/A

Other: N/A

I have internet access and will view The Florida Building code at www.floridabuilding.org YES NO

Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site? YES (yes/no)

Have you consulted with your Homeowner's Insurance Agent? yes Lender? N/A Attorney? yes

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. BB (initials).



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

OWNER/BUILDER DISCLOSURE STATEMENT

NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT.

13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE.

14. AS AN OWNER/BUILDER, YOU ARE LIABLE TO AND RESPONSIBLE FOR THOSE PEOPLE HIRED TO ASSIST YOU. SUCH LIABILITY AND RESPONSIBILITY MAY INCLUDE, BUT IS NOT LIMITED TO, COMPLIANCE WITH APPLICABLE LAWS RELATING TO LIENS, WORKERS' COMPENSATION, SOCIAL SECURITY, UNEMPLOYMENT, FEDERAL WITHHOLDING TAX, AND PUBLIC LIABILITY.

15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT.

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT.

ON THIS 29 DAY OF Nov, 2011.

PROPERTY ADDRESS 17 NE LOFTING WAY

CITY STUART STATE FL ZIP 34996

[Signature]

SIGNATURE OF OWNER/BUILDER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 29 DAY OF Nov 2011

BY Bryan J Green

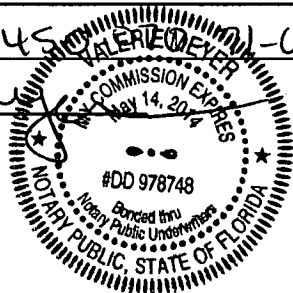
PERSONALLY KNOWN _____

OR PRODUCED ID

TYPE OF ID FDH#6457091-091-0

Valerie Meyer

NOTARY SIGNATURE



**Martin County, Florida
Laurel Kelly, C.F.A**
generated on 11/17/2011 9:04:34 AM EST
Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
26-37-41-013-000-00200-4	4103	17 NE LOFTING WY, SEWALL'S POINT	\$966,850	11/12/2011

Owner Information

Owner(Current)	GILLEN BRIAN J & APINYA P
Owner/Mail Address	17 NE LOFTING WAY STUART FL 34996
Sale Date	12/8/2006
Document Book/Page	2204 2827
Document No.	1979059
Sale Price	1547000

Location/Description

Account #	4103	Map Page No.	SP-01
Tax District	2200	Legal Description	PLANTATION AT SEWALL'S POINT LOT 20 PI# 26-37-41-013-000- 00200-40000
Parcel Address	17 NE LOFTING WY, SEWALL'S POINT		
Acres	.7130		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120800 Plantation @ SP

Assessment Information

Market Land Value	\$325,000
Market Improvement Value	\$641,850
Market Total Value	\$966,850

ok



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Bryan Gillen

CONSTRUCTION ADDRESS: 17 NE Lofting Way

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- _____ ELECTRIC
- PLUMBING
- _____ HVAC
- _____ IRRIGATION
- _____ FUEL GAS

TYPE OF SERVICE: _____ NEW SERVICE EXISTING SERVICE _____ OTHER

SCOPE OF WORK: Bathroom Remodel

VALUE OF CONSTRUCTION \$ 1200.00

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature] P.O. Box 7114 Port St. Lucie, FL 34985
SIGNATURE OF LICENSED CONTRACTOR ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Bassolino Plumbing

TELEPHONE NO: 772-528-7833 PLEASE PRINT FAX NO: 772-344-5235

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: RF0067263

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT. *****

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

WC
at State
DW



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Bryan Gillen

CONSTRUCTION ADDRESS: 17 NE LOFTING WAY

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- ELECTRIC
- _____ PLUMBING
- _____ HVAC
- _____ IRRIGATION
- _____ FUEL GAS

TYPE OF SERVICE: _____ NEW SERVICE EXISTING SERVICE _____ OTHER

SCOPE OF WORK: Reinforced bonus room

VALUE OF CONSTRUCTION \$ 2800.00

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature]
SIGNATURE OF LICENSED CONTRACTOR

1561 SW Birkey Ave, FL 34953
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Treasure Coast Power Systems

TELEPHONE NO: 772-631-6173 FAX NO: _____
PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: FC 0002053

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

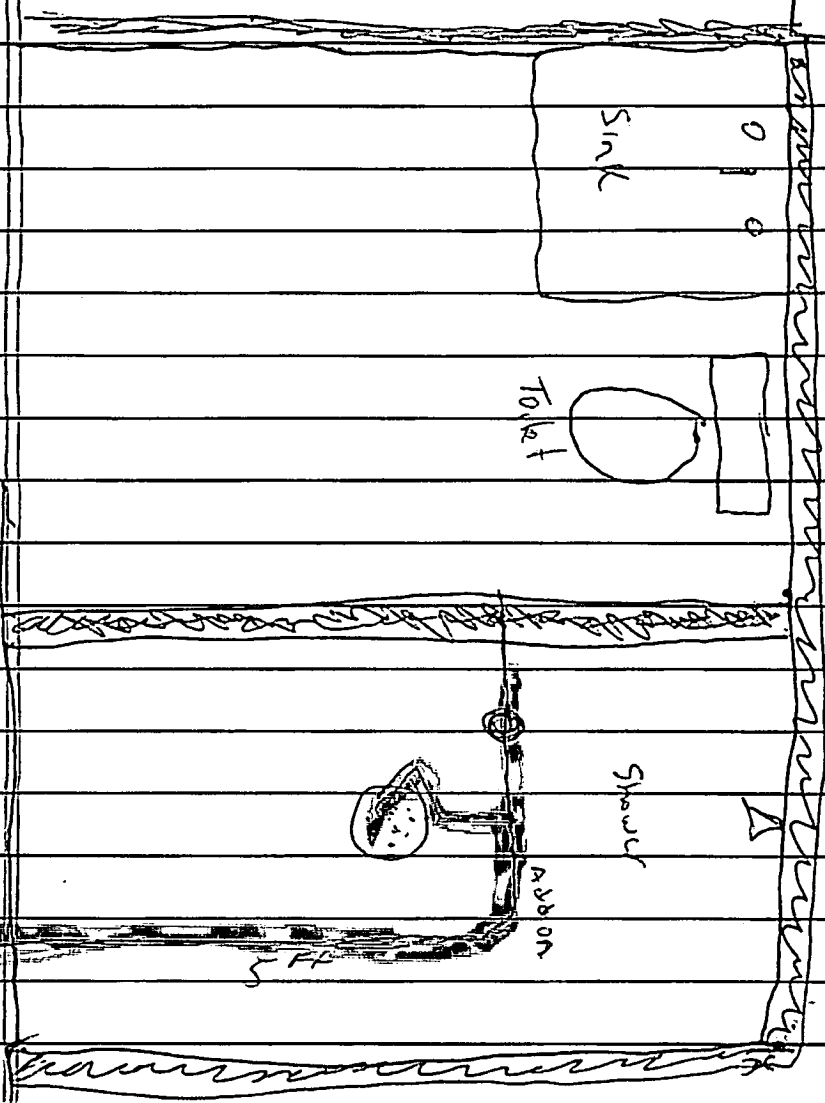
SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

Bryan & Apinya Gillen
17 NE Lofting Way Stuart, FL 34996

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



Second floor

Auto Vent



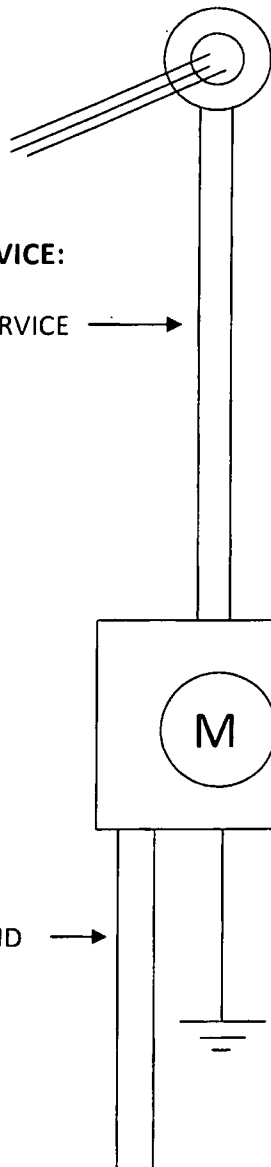
TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



ELECTRICAL RISER PLAN

For Temporary Power Pole and Single Family Service Change Only

ALL NEW SERVICES (INCLUDING SERVICE CHANGES) MUST BE INSTALLED AT OR ABOVE THE BASE FLOOD ELEVATION. IF YOU ARE UNSURE OF THE BFE ON IN THE AREA OF YOUR PROJECT, PLEASE CALL THE BUILDING DEPARTMENT AT 287-2455.



TYPE OF SERVICE:

OVERHEAD SERVICE →

UNDERGROUND →

Service size _____ Amps

Conductor size _____

Meter Main _____

Meter Can only _____

Service Change _____

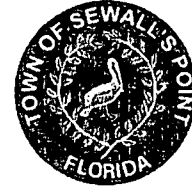
New Installation _____

Grounding Electrode Conductor Size

- # 6
- # 4
- # 2
- Other _____



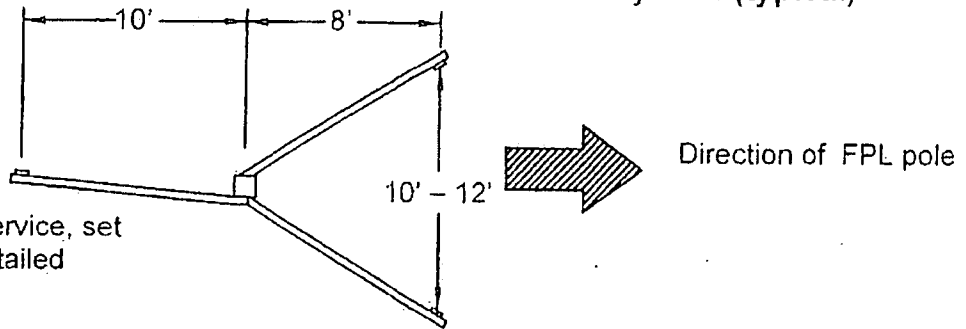
TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



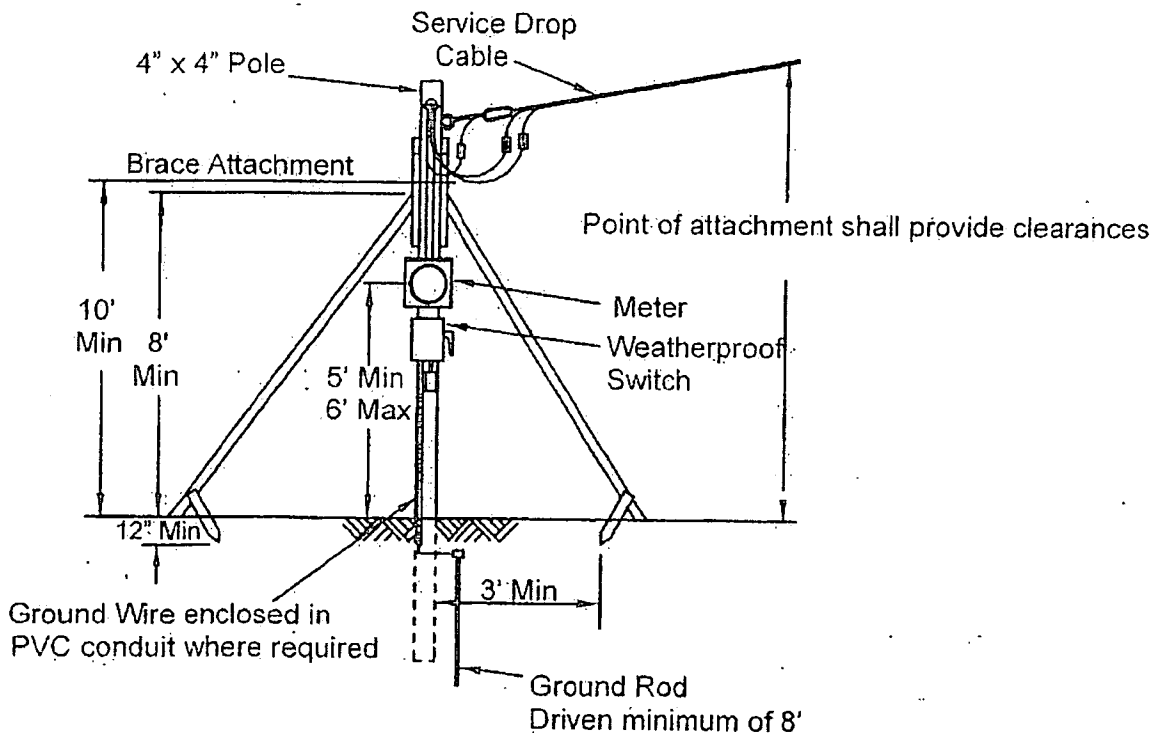
□ **TEMPORARY POLE**

MINIMUM REQUIREMENTS FOR TEMPORARY POWER POLE

Temporary/Construction Service - from Overhead System (typical)

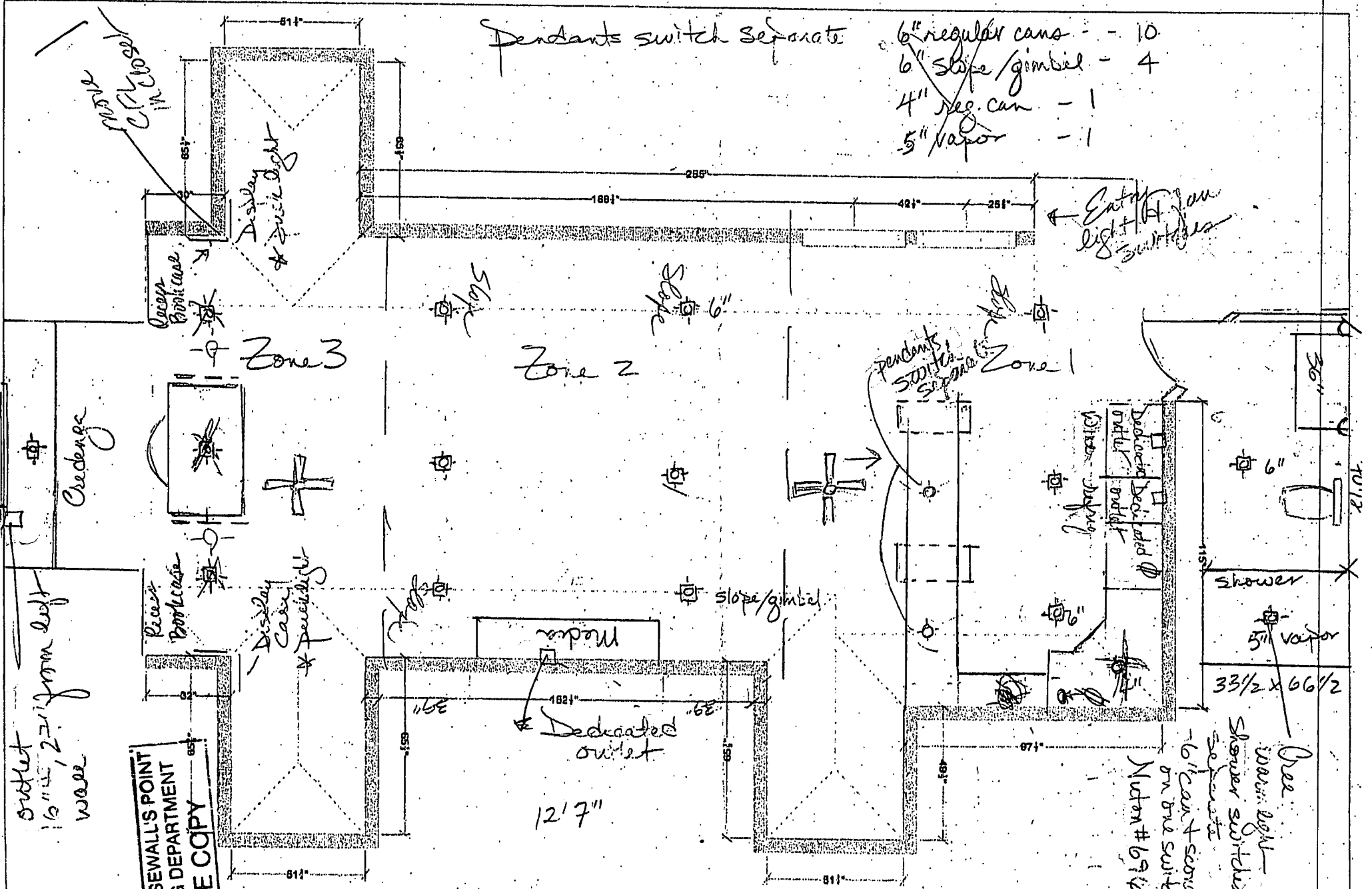


For prompt electric service, set temporary pole as detailed



Pendants switch separate

- 6" regular cans - 10
- 6" slope/gimbel - 4
- 4" reg. can - 1
- 5" vapor - 1



Outlet
16" x 22" from left
wall

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 9/2/2009
Printed: 9/2/2009



TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



Electrical Load Calculations

Electrical Contractor: Treasure Coast Power Systems License No. EC 0002053
 Phone #: 772-631-0773 Fax #: _____
 Project: Bryan Gillen Location: 17 NE Lofting Way
 Existing Service Feeder Size: 300A Existing Panel Size: 150A, 150A
 Main Breaker Size: 150A, 150A Number of Breakers: 77

Existing Loads

<u>5500</u> Sq. Ft. X 3 watts per sq. ft.....	<u>16500</u> watts
<u>3</u> Appliance cir. @1500 watts each.....	<u>4500</u> watts
<u>1</u> Laundry cir. @ 1500 watts each.....	<u>1500</u> watts
<u>1</u> Range @ 8 kw.....	<u>8000</u> watts
<u>1</u> Dishwasher and disposal @ 1500 watts each.....	<u>3000</u> watts
<u>1</u> Microwave @ 2000 watts.....	<u>2000</u> watts
<u>1</u> Water heater @ 4.5 kw.....	<u>4500</u> watts
_____ Tank less water heater.....	_____ watts
<u>1</u> Dryer @ 5 kw.....	<u>5000</u> watts
<u>1</u> Refrigerator @ 1500 watts.....	<u>1500</u> watts
_____ Bathroom 1 @ 1500 watts.....	_____ watts
<u>1</u> Sprinkler Pump	<u>2300</u> watts
_____ Other	_____ watts
_____ Other	_____ watts
_____ Other	_____ watts
	<u>48,800</u> Subtotal Watts

New Loads

_____ Pool pump.....	_____ watts
_____ Pool light.....	_____ watts
_____ Heat pump.....	_____ watts
_____ Chlorine generator.....	_____ watts
_____ Blower.....	_____ watts
_____ Boatlift.....	_____ watts
<u>1</u> Other <u>Frig</u>	<u>1500</u> watts
<u>1</u> Other <u>Wine Cooler</u>	<u>1500</u> watts
<u>1</u> Other <u>Media Center</u>	<u>1500</u> watts
	<u>53,300</u> Total Watts
_____ First 10 kw @ 100%.....	<u>10000</u> watts
_____ Remainder @ 40%.....	<u>17320</u> watts
_____ A/C heat @ 100%.....	<u>20000</u> watts

Total watts 47,320 Divided by 240 volts = 197.16 Amps 300 Amp service provided

Prepared by: [Signature] Date: 11/11/11



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

ELECTRICAL CHECKLIST

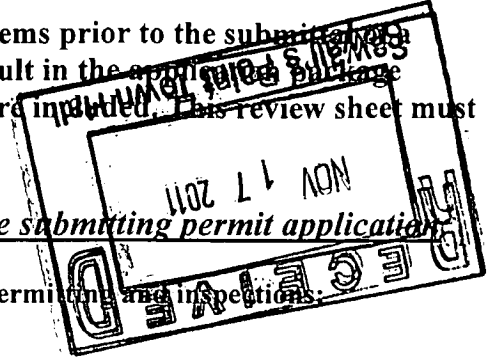
A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application being returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application.

The following minimum requirements must be provided for permitting and inspection:

- _____ 1 Copy Completed application
- _____ 2 Copies Electrical Load Calculations
- _____ 2 Copies Electrical Riser Plan - Service Change and Temp Pole only on sketch provided, please provide an appropriate electrical riser for all other new electrical work.

PLEASE DO NOT SUBMIT THIS FORM FOR NEW GENERATOR INSTALLATIONS. USE STANDBY GENERATOR APPLICATION FORMS ONLY.





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

REVISIONS – CORRECTIONS REQUEST FORM
MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 11-22-11 PERMIT NUMBER: 9939

JOB ADDRESS: 17 LOFTING

PLEASE CHECK ONE OF THE FOLLOWING:

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)

******ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING******

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): ADD BACK SIGN

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUE \$ _____
 INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: _____ SIGNATURE: _____

PHONE NUMBER: _____ FAX NUMBER: _____

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 11-28-11 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

Other declared value increase (must be based on value not cost) _____ x 2% = _____

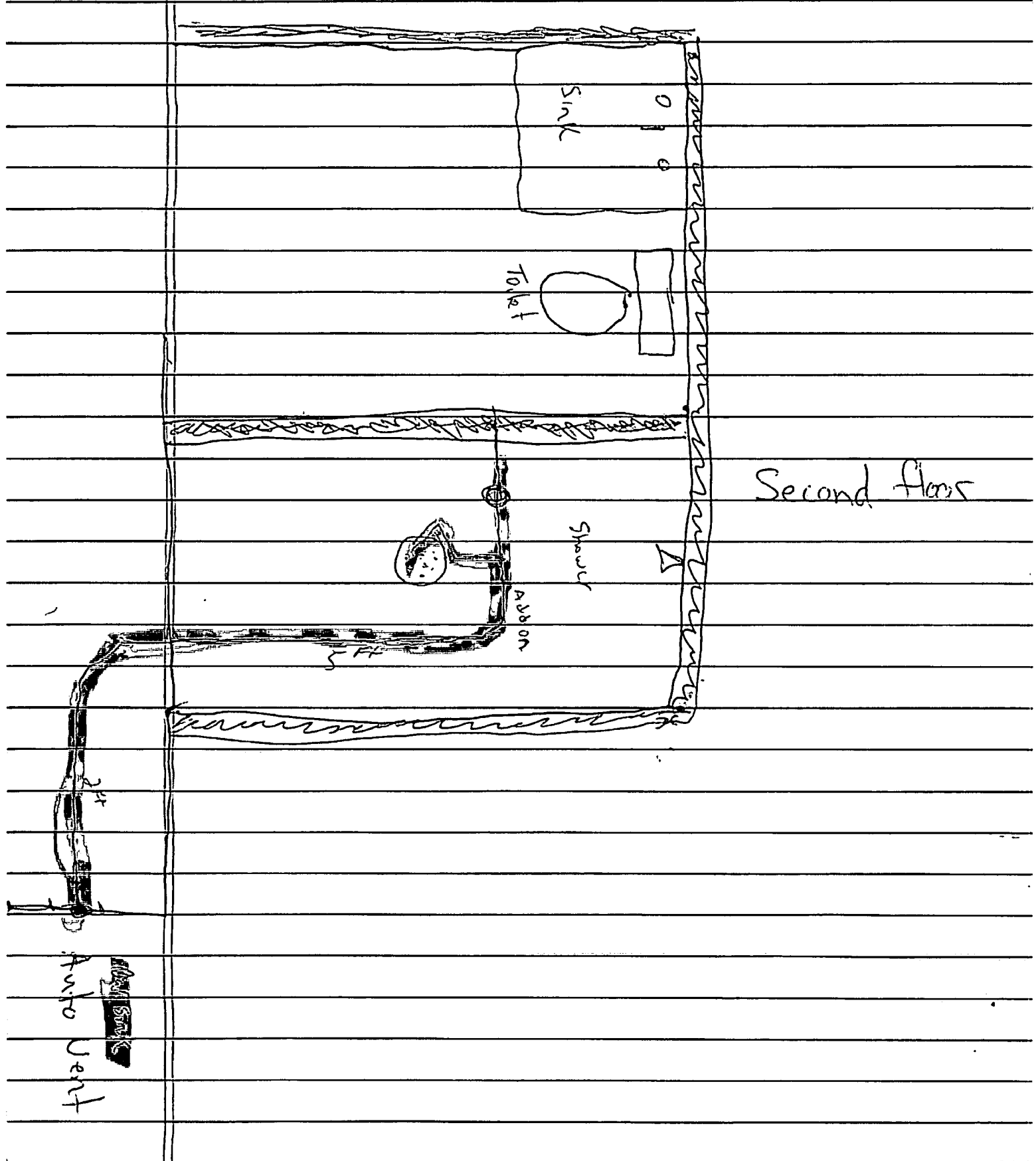
Other additional fees: 2-1 NSP @ 75 Revision review fee: _____ Pages @ \$25.00/Page _____

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 150.00

Applicant notified by: _____ Date: _____

Bryan & Apinya Gillen
17 NE Lofting Way Street, FL 34996



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 12-7-11 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9934	Gillal	Roofs & Deck Rugs	Pass	
9:00	17 LOFTING O/B			INSPECTOR <i>[Signature]</i>
9942	Todd 1 KNOWLES RD ALL AREA ROOF	DRY IN 4 METAL	USED FOR 12-8	INSPECTOR
9747	Schwartz 70 N Sewalls Driftwood	Rathe	Pass	INSPECTOR <i>[Signature]</i>
Tree	Kaess TWOVER CT	Tree	OK	INSPECTOR
	111 Henry Sewalls Way BAYSIDE COOLING - CAC 181 6066		APPROX TAE	FINE \$250
				INSPECTOR
				INSPECTOR
				INSPECTOR

TREE

REMOVAL/REPLACE/RELOCATE

Lot #20 The Plantation of Sewalls Point

TREES TO BE REMOVED 26

TREES TO BE RE-LOCATED 0

- #1 PALM
- #2 HICKORY
- #3 OAK
- #4 OAK
- #5 OAK
- #6 OAK
- #7 OAK
- #8 OAK

- #9
 - #10
 - #11
 - #12
- HICKORY

#13 OAK

- #14
 - #15
 - #16
 - #17
- OAK

#18 OAK

#19 PALM

#20 PALM

- #21 OAK
 - #22 PALM
 - #23
 - #24
 - #25
 - #26
- OAK

AS SHOWN ON SURVEY
 SITE PLAN DATED 8/11/99
 DRAWN BY RICHARD BUSSELL
 SUBMITTED 8/11/99

BY: Stephen P. Conroy

(UNPLATTED)

NORTH LINE THE PLANTATION AT SEWALL'S POINT

Site Plan For: Steve Conway

Legal Description

Being all of Lot 20, according to the Plat of THE PLANTATION AT SEWALL'S POINT, as recorded in Plat Book 12, Page 70, Public records of Martin County, Florida.

Legend

Fd	Found	(M)	Measured Data
R/W	Right-of-way line	IR	Iron Rod
PCP	Permanent Control Point	(P)	Plat Data
CM	Concrete Monument	IP	Iron Pipe
PP	Power Pole	Conc.	Concrete
(C)	Calculated Data	A/C	Air Conditioner
ORB	Official Records Book	Pg.	Page
ID	Identification Number	TT	Th Tab

General Notes

1. The bearings shown hereon are referenced to the Centerline of N. E. Lofting Way, having a bearing of S 86°28'02" E, according to Plat of THE PLANTATION AT SEWALL'S POINT.
2. All above ground fixed improvements, if any, have been located and shown hereon.
3. Underground utilities and utility services have not been located on this survey.
4. Flood Note: By graphic plotting only, this property is in Zone "C" according to the Flood Insurance Rate Map, Community Panel No. 120164 0001 D, effective date August 15, 1978, (revised 6/16/92). The exact designation can only be determined by an elevation certificate.
5. Elevations shown hereon are referenced to NGVD, as based on U.S. Army Corps of Engineers Bench Mark IWM-5, having an elevation of 4.395 feet.

TREE RECORD
PN 258
DOWN COPY

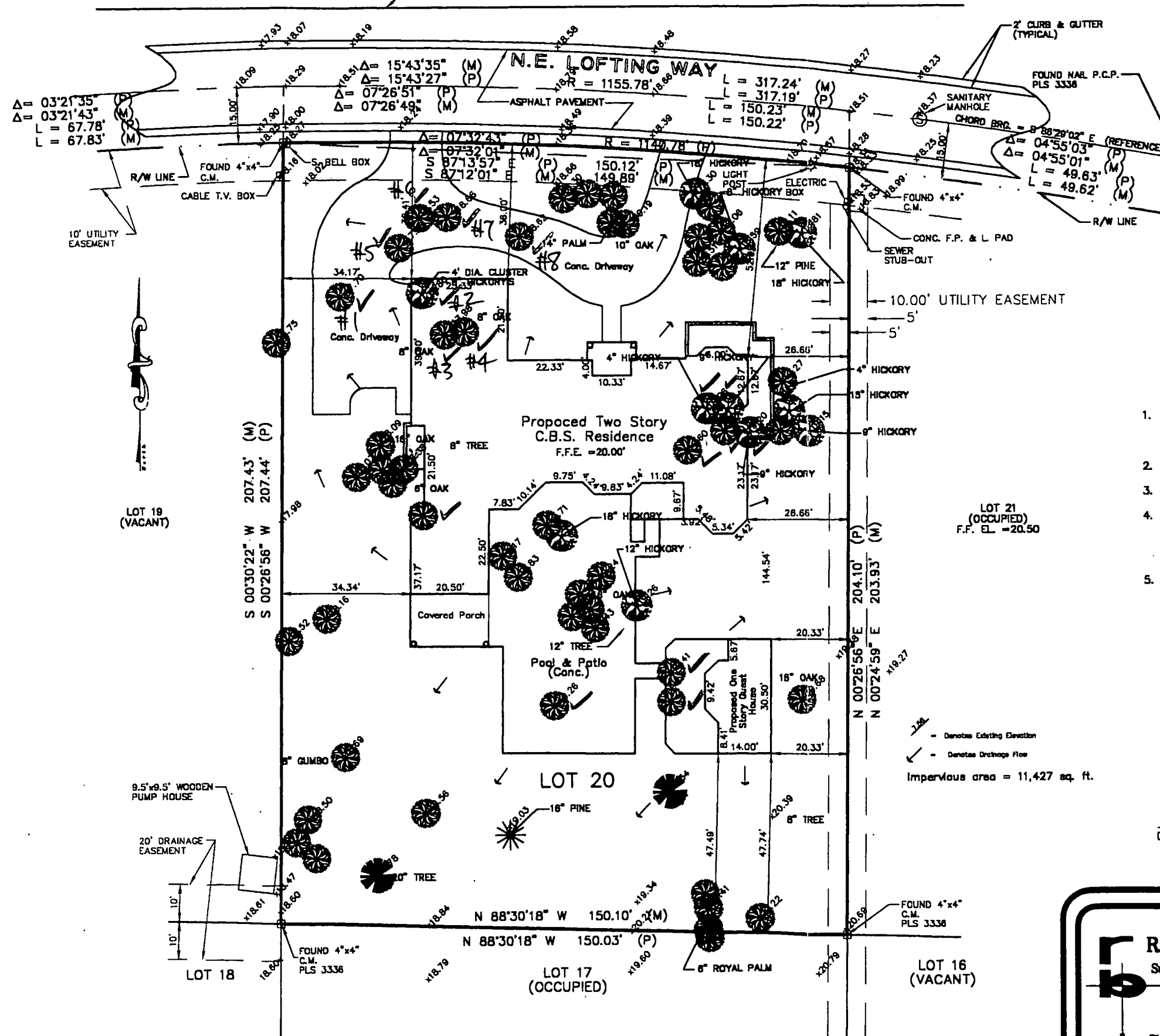
7-14-99
Date of Signature

Richard W. Busell
Richard W. Busell
Professional Surveyor & Mapper
Florida Certificate No. 3858

Richard W. Busell, Inc.
Survey Sciences, Mapping & Consulting
1320 S. Federal Highway, Suite 101
Stuart, Florida 34994
Phone (888) 220-3360 Fax (888) 220-2317

Site Plan For:
Steve Conway
Town of Sewall's Point, Martin County, Florida

Scale: 1" = 30'	Date: 7/13/99	File & Drawing No. 99-2-1072-01-01
Drawn By: rwb	Checked:	Sheet 1 of 1



Impervious area = 11,427 sq. ft.

TOWN OF SEWALL'S POINT, FLORIDA

Date AUGUST 13th 1999 TREE REMOVAL PERMIT No. 258

APPLIED FOR BY STEPHEN P. CONWAY, CRC 053742 (Contractor or Owner)

Owner (SAME)

Sub-division THE PLANTATION, Lot 20, Block _____

Kind of Trees SEE SITE PLAN ATTACHMENT

No. Of Trees: REMOVE 26

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS DEVELOPMENT PN 4650 ISSUED THIS DATE.

FEE \$ 100.00

Signed, [Signature] Applicant

Signed, [Signature] Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty grid area for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT, FLORIDA

Date 8/20 ~~X 2003~~ TREE REMOVAL PERMIT No 2072

APPLIED FOR BY PAYSON (Contractor or Owner)

Owner 17 NE LOFTING WAY

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 DEAD - ON ROOF OF HOUSE

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simmons (SOS) Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box for drawing or site plan.

PROJECT DESCRIPTION _____

Four horizontal lines for project description details.

REMARKS _____

Four horizontal lines for remarks.

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. ~~No permit fee~~ needed for tree which is dead, diseased, injured, ~~hazardous to life or property~~, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days. 215-8713

Owner Donna A Paxson Address 17 NE Lofting Way Phone 220 0163

Contractor Monte's Tree Service Address 4665 SW GARD St Phone 283 8828
Palm City 260 1433

No. of Trees: REMOVE 1 Type: _____

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: TREE FELL AND IS RESTING ON ROOF OF HOUSE
EAST SIDE OF RESIDENCE

Signature of Applicant DA Paxson Date 8/19/03

Approved by Building Inspector: [Signature] Date 8/19/03 Fee: -0-

Plans approved as submitted 10SP 8/19/03 Plans approved as revised/marked: _____

TOWN OF SEWALL'S POINT, FLORIDA

Date February 13 ~~16~~ 2004 TREE REMOVAL PERMIT No 2204

APPLIED FOR BY Tetamanti (Contractor or Owner)

Owner 19 NE LOFTING WAY

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 POINCIANA

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE 1 WITHIN 30 DAYS W/ NATIVE FLOWERING TREE

REMARKS _____

Signed, _____ Applicant Signed, Gene Simmons Town Clerk FEE \$ 0

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box for notes or drawings.

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner ANNA MARIE TETTAMANTI Address 19 NE LOFTING WAY Phone 288-2045

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: POINCIANA

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

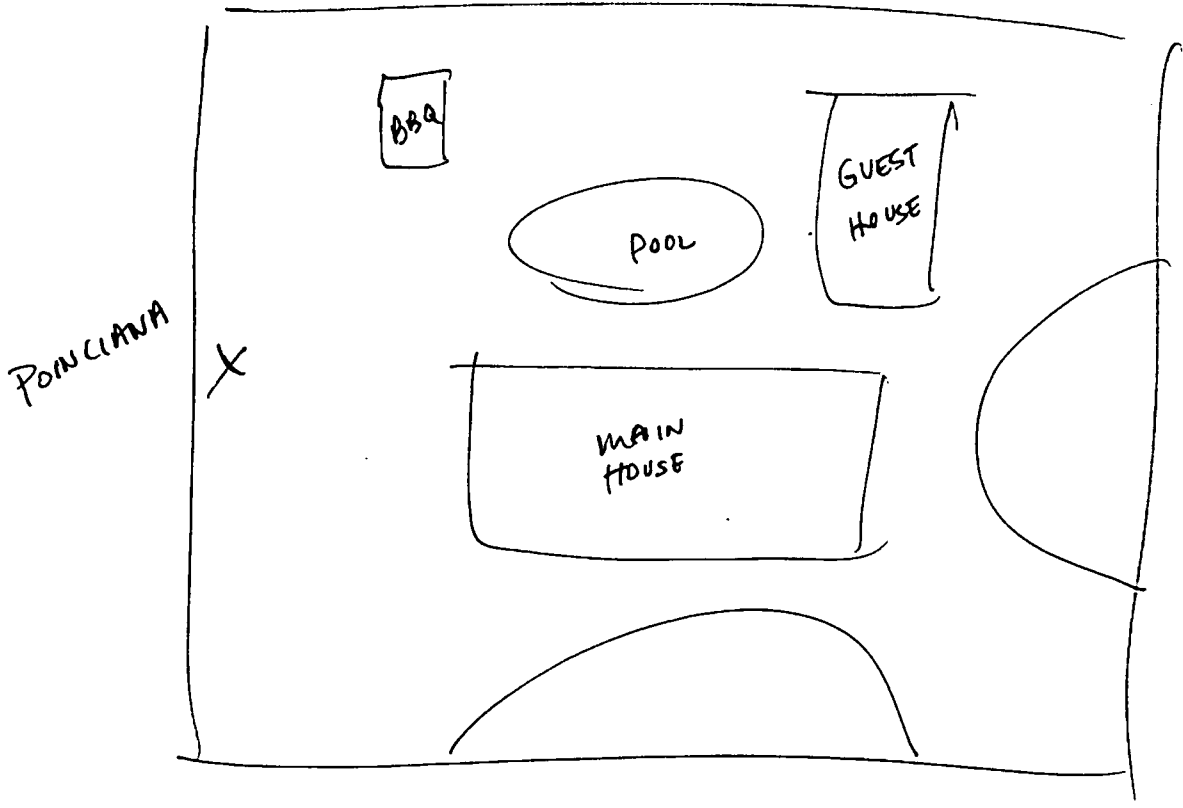
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: TOP HALF OF TREE SHEARED OFF

Signature of Applicant [Signature] Date 2/11/04

Approved by Building Inspector: [Signature] Date 2/13 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: WILL REPLACE w/ NATIVE FLOWERING TREE.



Handwritten notes and text, mostly illegible due to blurring and low contrast. Some faint words like "POMCIANA" and "GUEST HOUSE" are visible, matching the labels in the diagram above.

AKU 2 60
 AKU 2 50
 AKU 1 60
 AKU 1 30
 PANEL

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2/13, 2004 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
5937	FOSTER	FINAL SEED	PASS	CLOSE
	12.8 S. SEWALL'S PT	ADDITION		
6016	RALPH PARKS	FINAL GAS	PASS	INSPECTOR: <i>MW</i>
6465	BROWN	FINAL Remodel	PASS	
	7 FIELDWAY	ADDITION		
	IANIERO			INSPECTOR: <i>MW</i>
TREE	TETAMANTI	TREE	PASS	
	19 NE LOFTIN WAY			INSPECTOR: <i>MW</i>
6353	TAYLOR	FINAL PLUMBING		WILL RESCHEDULE
	22 E. HIGH POINT	BUDG FINAL		
	NAVAJO + MAGGAY			INSPECTOR: <i>MW</i>
6411	GREENE	FOOTER FOOT STEP	FAIL	\$30
	26 ISLAND RD			
	O/B			INSPECTOR: <i>MW</i>
0456	SHAFER	PARTIAL ROOF	PASS	
	73 N. SEWALL'S PT	DECLING		
				INSPECTOR: <i>MW</i>
5734	ABESADA - TERY	FINAL SFR	FAIL	
	8 MORGAN CIRCLE			
	CONWAY			INSPECTOR: <i>MW</i>
OTHER:	AKU 1 60 ✓	N/C	1 40V	
	AKU 2 60V		2 30V	
	3 30 ✓		3 20V	
	4 60 ✓		4 30V	



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Bryn Gillen Address [REDACTED] Phone [REDACTED]

Contractor Todd Carbone Address PO Box 1552 Phone 209-2031

No. of Trees: REMOVE 1 Species: Hickory Dead

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

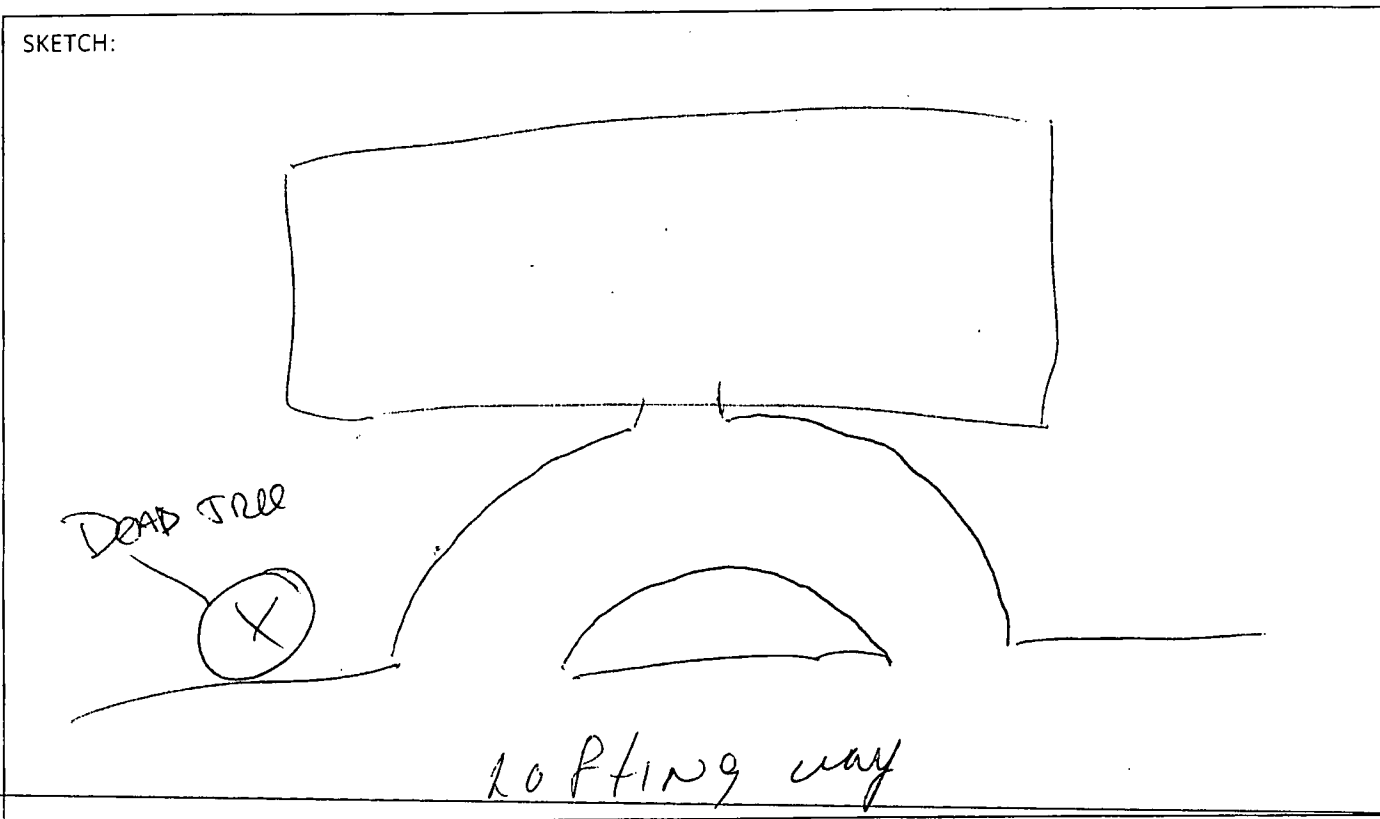
ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) Tree Dead for over a year
NOW FALLEN DOWN NEAR DRIVE

Signature of Property Owner [Signature] Date _____

Approved by Building Inspector: [Signature] Date 10-26-12 Fee: N/C

NOTES: _____





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Bryan Gillen Address 17 NE Lottins^{hwy} Phone 772-291-3571
Contractor Mitrees Address 2302 SE Calcutt Phone 772-201-8787
No. of Trees: REMOVE 2 Species: Dead cocoon palm Dead sabal palm
No. of Trees: RELOCATE _____ Species: _____
No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) _____

Signature of Property Owner [Signature] Date _____

Approved by Building Inspector: [Signature] Date 8-11-15 Fee: N/C

NOTES: TREES ARE DEAD

