

# **37 NE Lofting Way**

**3775**

**DOCK**

---

FOLIO NO. \_\_\_\_\_

# DATE **3775**

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner GREG SEELY Present address 131 SW WILLOW LAKE TR.

Phone 407-288-1920 288-4669 STUART, FL. 34997

Contractor SHAUN JONES Address 5914 SE MITZI LN.

Phone 407-220-2306 STUART, FL. 34997

Where licensed FLORIDA/MARTIN COUNTY License number SPO2264

Electrical Contractor N/A License number \_\_\_\_\_

Plumbing Contractor N/A License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: TO CONSTRUCT A 428'x 4' DOCK WITH AN 8'x 31' PLATFORM

AT THE END. ALSO TO INSTALL 4 BOATLIFT PILINGS.

State the street address at which the proposed structure will be built:

LOT # <sup>37</sup> 37 ANE LOFTING WAY PLANTATION IN SEWALLS POINT

Subdivision PLANTATION Lot Number 3 Block Number \_\_\_\_\_

Contract price \$ 24,000.00 Cost of permit \$ 200TX

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor Shaun Jones

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Greg Seely

TOWN RECORD

Date submitted \_\_\_\_\_

Approved: Pete Brown 3/23/95  
Building Inspector Date

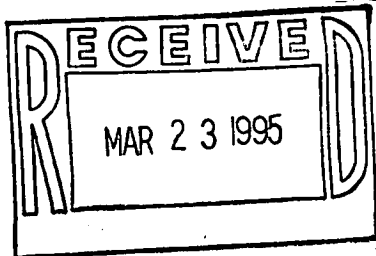
Approved: [Signature]  
Commissioner Date

Final approval given: \_\_\_\_\_  
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) \_\_\_\_\_  
Date

PERMIT NO. \_\_\_\_\_

SP1282  
3/94



# **3775**

Comm. approved  
4-12-95

TOWN OF SEWALL'S POINT, FLORIDA

NOTICE OF APPEAL FROM DENIAL OF DOCK PERMIT

NOTICE IS HEREBY GIVEN, pursuant to Section 4.5-4(d) of the Code of Ordinances of the Town of Sewall's Point, Florida, that the applicant identified below will appeal to the Town Commission of the Town of Sewall's Point, Florida, from the denial of a permit for the construction of a dock on the property located at the street address given below for the reasons indicated below at a meeting of the Sewall's Point Town Commission at the Sewall's Point Town Hall, One South Sewall's Point Road, Sewall's Point, Florida at the time and on the date set forth below, or as soon thereafter as is possible.

NAME OF APPLICANT: GREG SEELY

STREET ADDRESS OF PROPERTY: LOT #3 NE LOFTING WAY PLANTATION  
SEWALLS POINT, FL.

REASON FOR DENIAL OF DOCK PERMIT:

- Failure to obtain letters of no objection from adjacent upland repairing and owners.
- Failure to comply with the standards and criteria for docks in the following respects:

Length: 428'x 4' DOCK WITH 8'x 31' PLATFORM  
(TOWN CODE SEC. 4.5-5(1)a)

Design: \_\_\_\_\_

Construction: \_\_\_\_\_

Siting: \_\_\_\_\_


Other: \_\_\_\_\_

DATE AND TIME OF MEETING: APRIL 12, 1995, 7:30 P.M.

The completed application for the permit to construct the dock may be inspected at the Town Hall during regular business hours. All interested parties may appear at the meeting and may be heard with respect to the appeal. If any person decides to appeal any decision made by the Town Commission with respect to any matter considered at the meeting or hearing, he will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

This notice shall be posted on the Town Hall bulletin board and shall be sent by certified mail, return receipt requested, by the applicant and at the applicant's expense, to all record owners of upland riparian property located adjacent to the property involved in the appeal, with the date of mailing being at least fifteen (15) days before the date of the hearing. At or before the public hearing, the applicant shall present proof of the identity and address of the persons entitled to receive notice by mail and of the mailing of the notice to those persons.

Dated: 4/12/, 1995.

  
JOAN H. BARROW, Town Clerk

LETTER OF NO OBJECTION

We, Ms. + Mrs. John E. Britt and \_\_\_\_\_  
being the owner(s) of certain property adjacent to and abutting the  
property of GREG + Portia SEELEY who have applied for a  
dock permit for construction, have read and reviewed the drawing of the  
dock and I have no objection to the proposed dock pursuant to the plan  
attached herein.

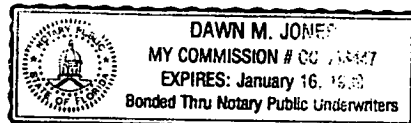
[Signature]  
\_\_\_\_\_  
\_\_\_\_\_

STATE OF Florida  
COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 20<sup>th</sup> day of March, 1995

[Signature]  
\_\_\_\_\_  
Notary Public

My Commission Expires: 99



**FILE**



*Florida Department of Environmental Regulation*

Southeast District Branch Office • 2745 S.E. Morningside Blvd. • Port St. Lucie, FL 34952 • 407-878-3890/335-4310

Bob Martinez, Governor

Dale Twachtmann, Secretary

John Shearer, Assistant Secretary  
Scott Benyon, Deputy Assistant Secretary

JUN 12 1990

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

STATE OF FLORIDA  
DEPARTMENT OF ENVIRONMENTAL REGULATION  
NOTICE OF PERMIT ISSUANCE

In the Matter of an Application  
for Permit by:

DER File No. 431772838  
WRM - Martin County

John Bourassa  
c/o Eric B. Holly  
Post Office Box 1500  
Stuart, Florida 34995-1500

Dear Mr. Bourassa:

Enclosed is Permit Number 431772838 to construct a private dock issued pursuant to Chapter 403 Florida Statutes.

A person whose substantial interests are affected by this permit may petition for an administration proceeding (hearing) in accordance with Section 120.57, Florida Statutes. The petition must contain the information set forth below and must be filed (received) in the Office of General Counsel of the Department at 2600 Blair Stone Road, Tallahassee, Florida 32399-2400, within 14 days of receipt of this Permit. Petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. Failure to file a petition within this time period shall constitute a waiver of any right such person may have to request an administrative determination (hearing) under Section 120.57 Florida Statutes.

The Petition shall contain the following information:

- (a) The name, address, and telephone number of each petitioner, the applicant's name and address, the Department Permit File Number and the county in which the project is proposed;
- (b) A statement of how and when each petitioner received notice of the Department's action or proposed action;
- (c) A statement of how each petitioner's substantial interest are affected by the Department's action of proposed action;
- (d) A statement of the material facts disputed by petitioner, if any;
- (e) A statement of facts which petitioner contends warrant reversal or modification of the Department's action or proposed action;

Page Two  
John Bourassa  
Permit No.431772838

(f) A statement of which rules or statutes petitioner contends require reversal or modification of the Department's action or proposed action; and

(g) A statement of the relief sought by petitioner, stating precisely the action petitioner wants the Department to take with respect to the Department's action or proposed action.

If a petition is filed, the administrative hearing process is designed to formulate agency action. Accordingly, the Department's final action may be different from the position taken by it in this permit. Persons whose substantial interests will be affected by any decision of the Department with regard to the application have the right to petition to become a party to the proceeding. The petition must conform to the requirements specified above and be filed (received) within 14 days of receipt of this notice in the Office of General Counsel at the above address of the Department. Failure to petition within the allowed time frame constitutes a waiver of any right such person has to request a hearing under Section 120.57, F.S., and to participate as a party to this proceeding. Any subsequent intervention will only be at the approval of the presiding office upon motion filed pursuant to Rule 28-5.207, F.A.C.


This permit is final and effective on the date filed with the Clerk of the Department unless a petition is filed in accordance with the above paragraphs or unless a request for extension of time in which to file a petition is filed within the time specified for filing a petition and conforms to Rule 17-103.070, F.A.C. Upon timely filing of a petition or a request for an extension of time this permit will not be effective until further order of the Department.

When the Order (Permit) is final, any party to the Order has the right to seek judicial review of the Order pursuant to Section 120.68, Florida Statutes, by the filing of a Notice of Appeal pursuant to Rule 9.110, Florida Rules of Appellate procedure, with the Clerk of the Department in the Office of General Counsel, 2600 Blair Stone Road, Tallahassee, Florida 32399-2400; and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate District Court of Appeal. The Notice of Appeal must be filed within 30 days from the date the Final Order is filed with the Clerk of the Department.

Any questions regarding this permit should be directed to Brad Rieck at (407) 878-3890.

Executed in West Palm Beach, Florida.

STATE OF FLORIDA DEPARTMENT  
OF ENVIRONMENTAL REGULATION

  
\_\_\_\_\_  
Scott Benyon  
Deputy Assistant Secretary  
1900 S. Congress Avenue, Suite A  
West Palm Beach, Florida 33406  
407-964-9668

Page Three  
John Bourassa  
c/o Eric Holly  
Post Office Box 1500  
Stuart, Florida 34995-1500

Permit No. 431772838

CERTIFICATE OF SERVICE

This is to certify that this NOTICE OF PERMIT and all copies were mailed before the close of business on JUN 12 1990 to the listed persons.

Clerk Stamp

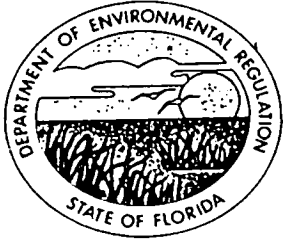
FILING AND ACKNOWLEDGEMENT  
FILED, on this date, pursuant to  
§120.52(9), Florida Statutes, with  
the designated Department Clerk,  
receipt of which is hereby  
acknowledged.

Loretta Walsh  
(Clerk)

6-12-90  
(Date)

cc: U.S. Army Corps of Engineers  
Department of Natural Resources  
Martin County Property Appraiser  
Town of Sewall's Point





# Florida Department of Environmental Regulation

Southeast District Branch Office • 2745 S.E. Morningside Blvd. • Port St. Lucie, FL 34952 • 407-878-3890/335-4310

Bob Martinez, Governor

Dale Twachtman, Secretary

John Shearer, Assistant Secretary  
Scott Benyon, Deputy Assistant Secretary

**JUN 12 1990**

**PERMITTEE:**

John Bourassa  
c/o Eric Holly  
Post Office Box 1500  
Stuart, Florida 34995-1500

I.D. Number: 5143P00954  
Permit/Certification Number: 4~~1~~<sup>31</sup>772838  
Date of Issue:  
Expiration Date:  
County: Martin  
Latitude/Longitude: 27°13'00"/80°13'00"  
Section/Township/Range: 26/37 South/41 East  
Project: Private Dock

This permit is issued under the provisions of Chapter 403, Florida Statutes, and Florida Administrative Code Rules 17-3, 17-312 and 17-4. The above named permittee is hereby authorized to perform the work or operate the facility shown on the application and approved drawing(s), plans, and other documents attached hereto or on file with the department and made a part hereof and specifically described as follows:

**TO:**

Construct a 1960 square foot dock consisting of a 428' by 4' access pier terminating in a 31' by 8' T-Platform.

**IN ACCORDANCE WITH:**

The three (3) stamped drawings which are attached and a part hereof and DER Application Form 17-1.203(1) dated March 8, 1990 and signed by John Bourassa (not attached).

**LOCATED AT:**

Lot 3 of Plantation at Sewall's Point, St. Lucie River, Class III waters, Sewall's Point, Martin County.

**SUBJECT TO:**

GENERAL CONDITIONS one (1) through fifteen (15) and SPECIFIC CONDITIONS one (1) through eleven (11).

PERMITTEE: John Bourassa

I.D. Number: 5143P00954

Permit/Certification Number: 431772838

Date of Issue: June 12, 1990

Expiration Date: June 12, 1995

b. the period of noncompliance, including exact dates and times; or, if not corrected, the anticipated time the non-compliance is expected to continue, and steps being taken to reduce, eliminate, and prevent recurrence of the non-compliance.

The permittee shall be responsible for any and all damages which may result and may be subject to enforcement action by the department for penalties or revocation of this permit.

9. In accepting this permit, the permittee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this permitted source, which are submitted to the department, may be used by the department as evidence in any enforcement case arising under the Florida Statutes or department rules, except where such use is proscribed by Sections 403.73 and 403.111, Florida Statutes.

10. The permittee agrees to comply with changes in department rules and Florida Statutes after a reasonable time for compliance, provided however, the permittee does not waive any other rights granted by Florida Statutes or department rules.

11. This permit is transferable only upon department approval in accordance with Florida Administrative Code Rules 17-4.12 and 17-30.30, as applicable. The permittee shall be liable for any non-compliance of the permitted activity until the transfer is approved by the department.

12. This permit is required to be kept at the work site of the permitted activity during the entire period of construction or operation.

13. This permit also constitutes:

- ( ) Determination of Best Available Control Technology (BACT)
- ( ) Determination of Prevention of Significant Deterioration (PSD)
- ( ) Certification of Compliance with State Water Quality Standards (Section 401, PL 92-500)
- ( ) Compliance with New Source Performance Standards

14. The permittee shall comply with the following monitoring and record keeping requirements:

a. Upon request, the permittee shall furnish all records and plans required under department rules. The retention period for all records will be extended automatically, unless otherwise stipulated by the department, during the course of any unresolved enforcement action.

b. The permittee shall retain at the facility or other location designated by this permit records of all monitoring information (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation), copies of all reports required by this permit, and records of all data used to complete the application for this permit. The time period of retention shall be at least three years from the date of the sample, measurement, report or application unless otherwise specified by department rule.

c. Records of monitoring information shall include:

- the date, exact place, and time of sampling or measurements;
- the person responsible for performing the sampling or measurements;
- the date(s) analyses were performed;
- the person responsible for performing the analyses;
- the analytical techniques or methods used; and
- the results of such analyses.

15. When requested by the department, the permittee shall within a reasonable time furnish any information required by law which is needed to determine compliance with the permit. If the permittee becomes aware that relevant facts were not submitted or were incorrect in the permit application or in any report to the department, such facts or information shall be submitted or corrected promptly.

PERMITEE:

John Bourassa  
c/o Eric Holly  
Post Office Box 1500  
Stuart, Florida 34995-1500

I.D. Number: 5143P00954  
Permit/Certification Number: 431772838  
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SPECIFIC CONDITIONS:

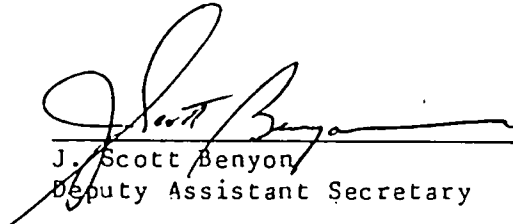
10. "No person shall commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund or the Department of Natural Resources under Chapter 253, until such person has received from the Board of Trustees of the Internal Improvement Trust Fund the required lease, license, easement, or other form of consent authorizing the proposed use." Pursuant to Florida Administrative Code Rule 16Q-14, if such work is done without consent, or if a person otherwise damages state land or products of state land, the Board of Trustees may levy administrative fines of up to \$10,000 per offense.
11. The permittee shall be aware of and operate under the attached "General Permit Conditions Number 1 thru 15". General Permit Conditions are binding upon the permittee and enforceable pursuant to Chapter 403 of the Florida Statutes.

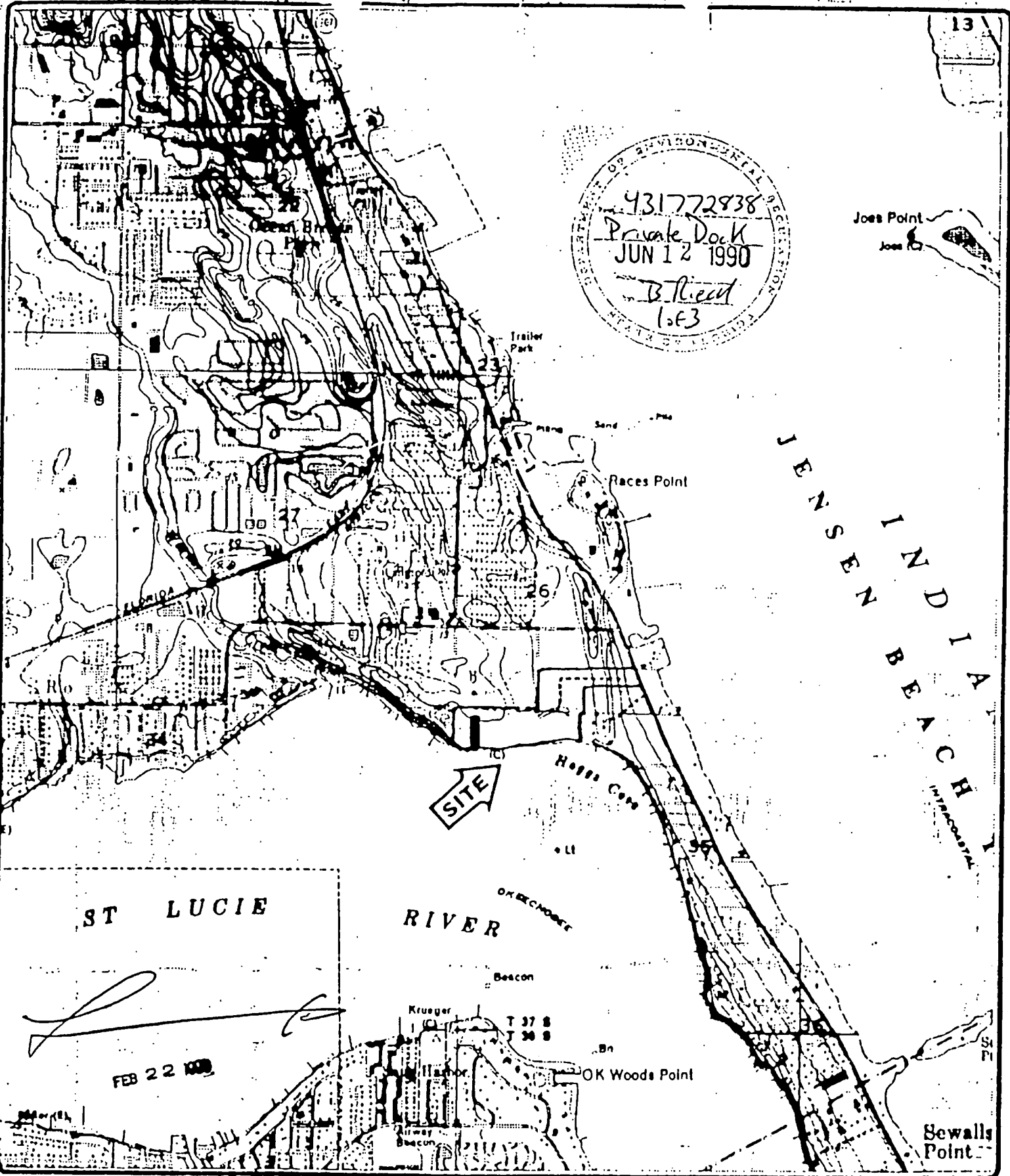
Issued this 8<sup>th</sup> day of June, 1990

STATE OF FLORIDA  
DEPARTMENT OF ENVIRONMENTAL REGULATION

3 pages attached

JSB/brw/10

  
\_\_\_\_\_  
J. Scott Benyon  
Deputy Assistant Secretary



431772838  
 Private Dock  
 JUN 12 1990  
 B. Reed  
 1 of 3

Joes Point  
 Joes Pt

JENSEN BEACH

ST LUCIE

RIVER

SITE

FEB 22 1990

Prepared For: PLANTATION, of SEWALL'S PT.

**PLANDEV Inc**  
 ENGINEERS-PLANNERS-SURVEYORS  
 957 CENTRAL PARKWAY  
 STUART, FL 34994

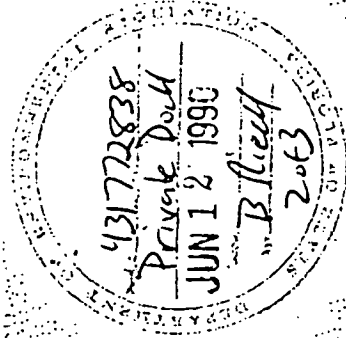
407-286-2020

Drawn By: TPS  
 Date: FEBRUARY 6, 90 SHEET of  
 Job No.: 286-01-19



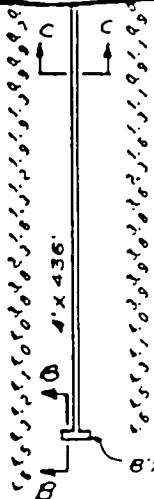


NORTH  
SCALE = 1"=200'



APPROX. RIPARIAN LINE & SET-BACK PER TOWN OF SEWALL'S POINT

MEAN LOW WATER SOUNDINGS



8' x 3" TYPICAL TERMINAL PLATFORM

THIS DRAWING IS CERTIFIED AS A PRESENTATION FOR PERMITTING PURPOSES ONLY. THIS IS NOT A CONSTRUCTION DRAWING AND IS NOT TO BE USED AS SUCH.

LEE BROCK, P.E.  
FLORIDA REGISTRATION NO. 11218  
DATE: 6/12/1990

ST. LUCIE RIVER  
(OKEECHOBEE WATERWAY)

FLOOD  
EBB

APPROX. RIPARIAN LINE & SET-BACK PER TOWN OF SEWALL'S POINT 1,800' +/- TO OKEECHOBEE WATERWAY CHANNEL



**PLANDEV INC**  
ENGINEERS-PLANNERS-SURVEYORS  
957 CENTRAL PARKWAY  
STUART, FL 34994

407-286-2020

Prepared For: PLANTATION OF SEWALL'S PT.

Drawn By: JES  
Date: FEBRUARY 5, 1990  
Job No: 288-01-19

of 3  
6.7-3

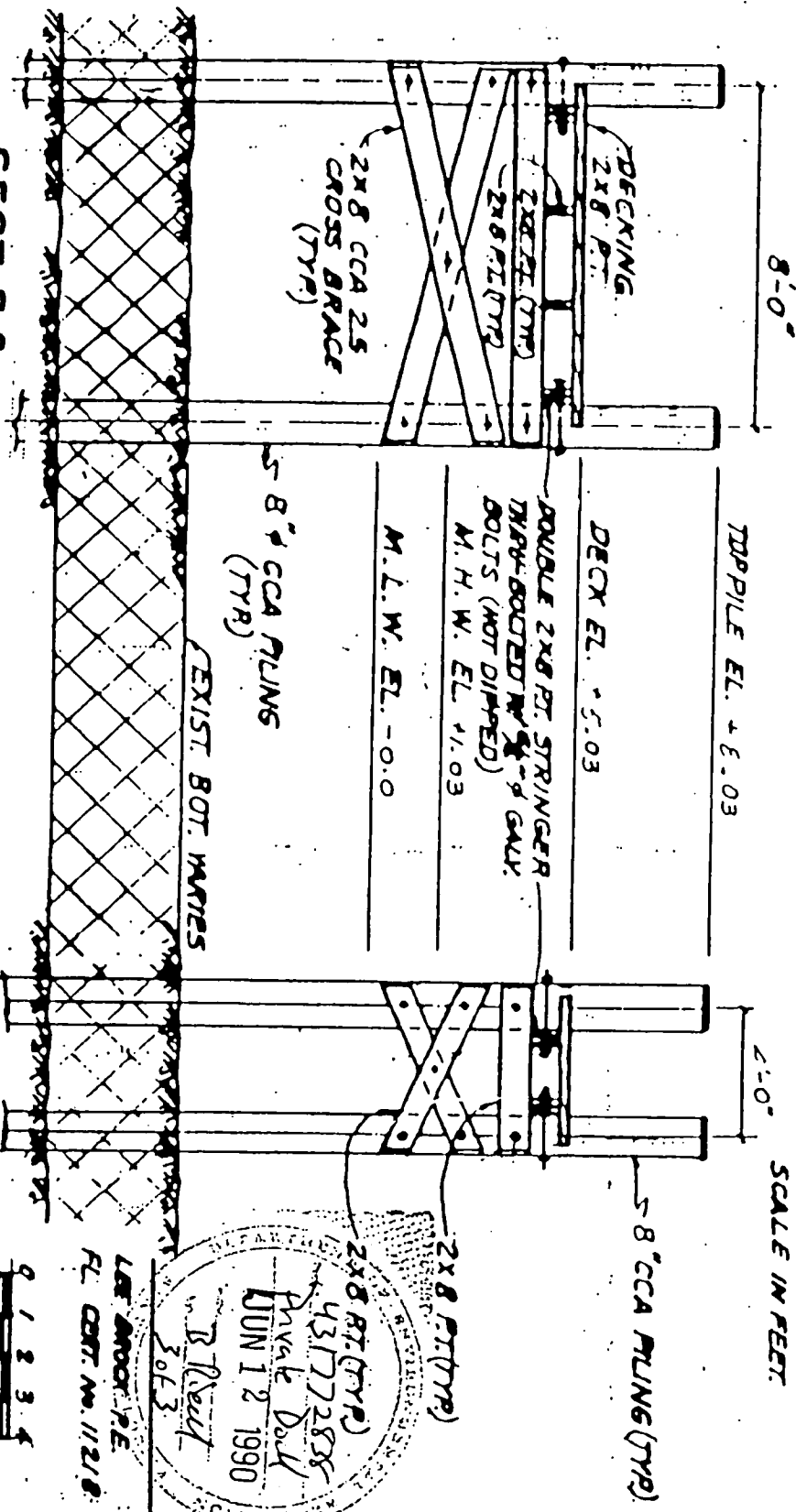
REV. 5-15-90 - 4' DOCK - T.S.

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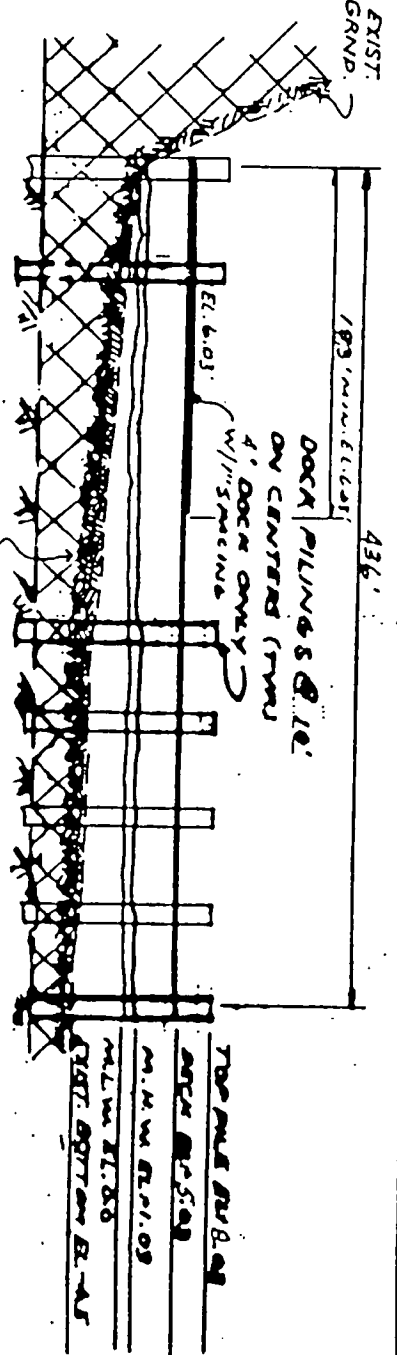
LEE BROCK, P.E.  
 FLORIDA REGISTRATION NO. 11218  
 DATE MAY 2 1990

SECT. B-B  
 1/4" = 1'-0"

SECT. C-C  
 1/4" = 1'-0"



DOCK ELEVATION



LEE BROCK, P.E.  
 JUN 12 1990  
 431772838  
 3073

SCALE IN FEET  
 0 1 2 3 4

LEE BROCK, P.E.  
 FL. CERT. NO. 11218

REV. 5-15-90 - 4' DOCK ELEV.



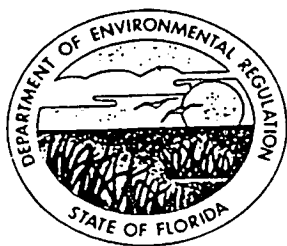
**PLANDER Inc.**  
 ENGINEERS-PLANNERS-SURVEYORS  
 957 CENTRAL PARKWAY  
 STUART, FL 34994

407-288-2020

LOT 3  
 Prepared For: PLANTATION at SEWALL'S PT.

Drawn By: TPS  
 FEBRUARY 5, 90  
 Job No.: 288-01-19

SHEET 01



# Florida Department of Environmental Regulation

Southeast District Branch Office • 2745 S.E. Morningside Blvd. • Port St. Lucie, FL 34952 • 407-878-3890/335-4310

Bob Martinez, Governor

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JUN 12 1990

PERMITTEE:

John Bourassa  
c/o Eric Holly  
Post Office Box 1500  
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I.D. Number: 5143P00954  
Permit/Certification Number: 4<sup>31</sup>772838  
Date of Issue:  
Expiration Date:  
County: Martin  
Latitude/Longitude: 27°13'00"/80°13'00"  
Section/Township/Range: 26/37 South/41 East  
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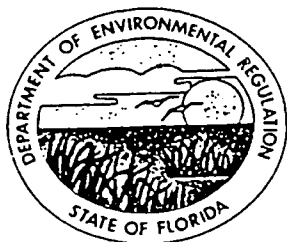
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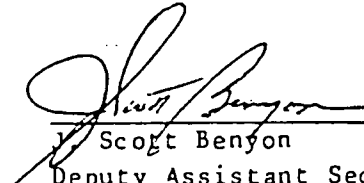
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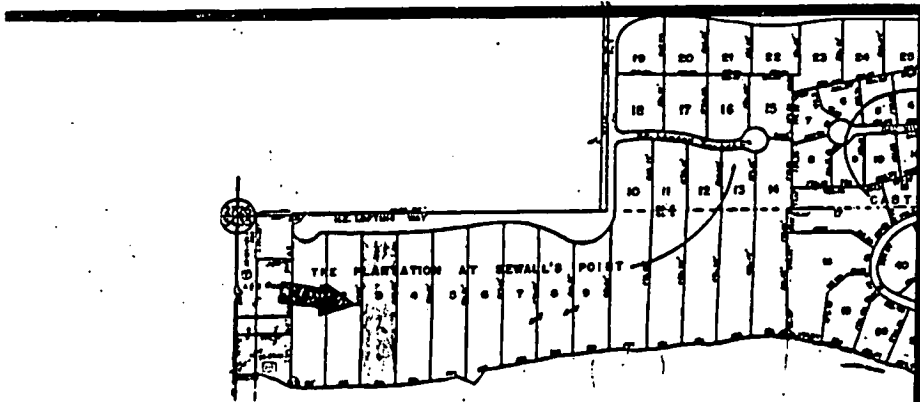
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STATE OF FLORIDA DEPARTMENT  
OF ENVIRONMENTAL REGULATION

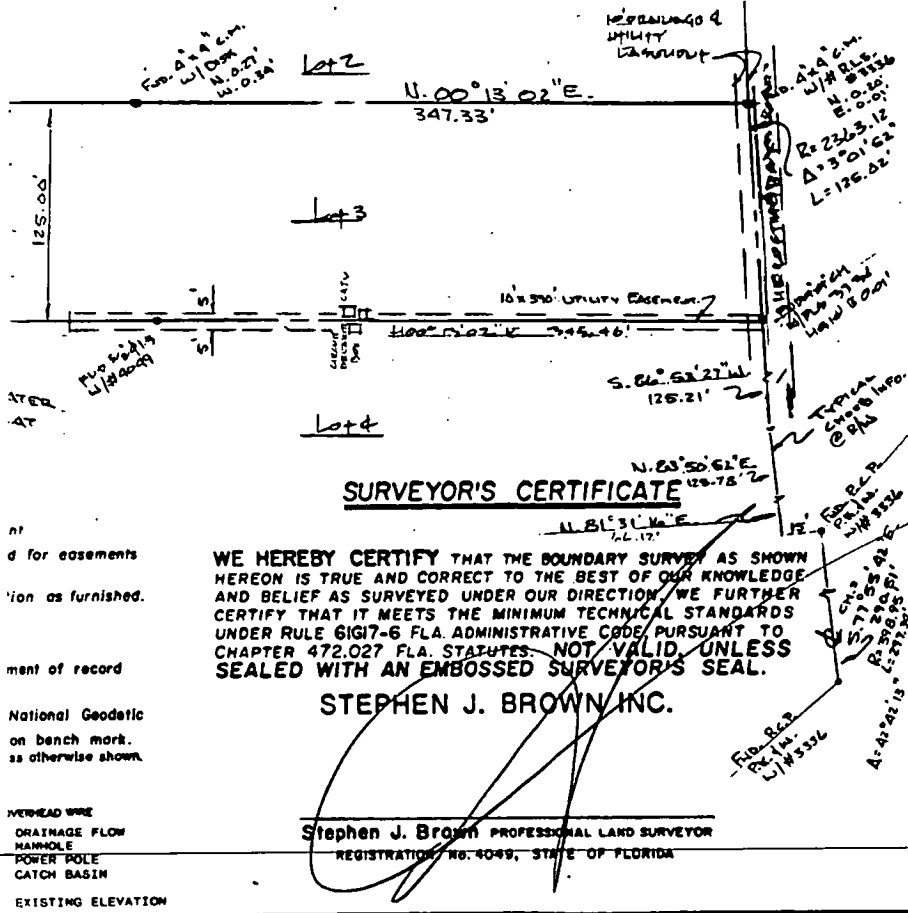
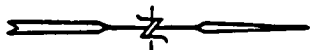
  
\_\_\_\_\_  
Scott Benyon  
Deputy Assistant Secretary  
1900 S. Congress Avenue, Suite A  
West Palm Beach, Florida 33406  
407-964-9668



LOCATION MAP

LEGAL DESCRIPTION

KNOWN AS LOT 3, THE PLANTATION AT SEWALL'S POINT, AS RECORDED IN PLAT BOOK 12, PAGE 70, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.



SURVEYOR'S CERTIFICATE

WE HEREBY CERTIFY THAT THE BOUNDARY SURVEY AS SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS SURVEYED UNDER OUR DIRECTION. WE FURTHER CERTIFY THAT IT MEETS THE MINIMUM TECHNICAL STANDARDS UNDER RULE 6G17-6 FLA. ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027 FLA. STATUTES. **NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.**

STEPHEN J. BROWN INC.

Stephen J. Brown PROFESSIONAL LAND SURVEYOR  
REGISTRATION NO. 6049, STATE OF FLORIDA

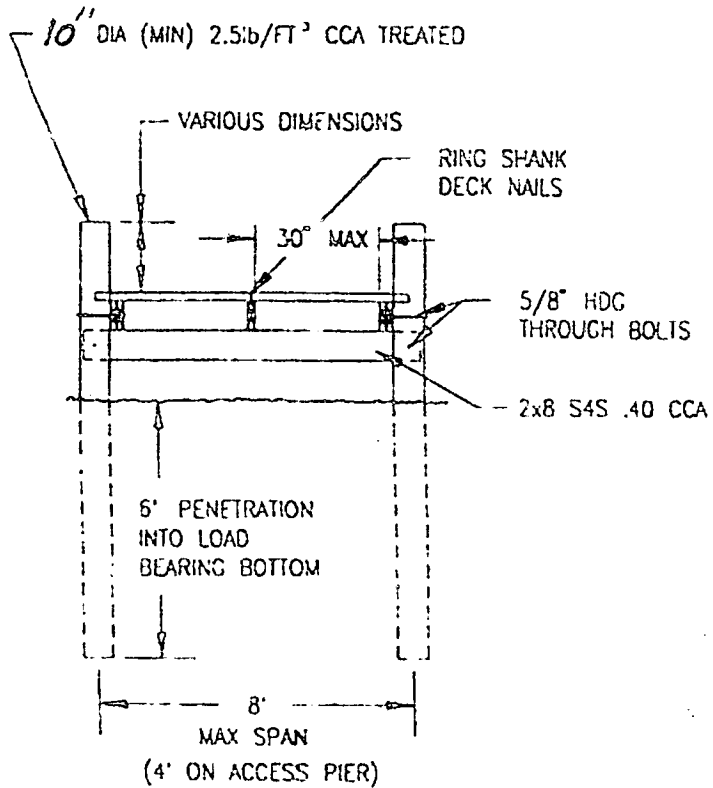
ment of record  
National Geodetic  
on bench mark.  
as otherwise shown.  
VERHEAD WIRE  
DRAINAGE FLOW  
MANHOLE  
POWER POLE  
CATCH BASIN  
EXISTING ELEVATION

BOUNDARY SURVEY

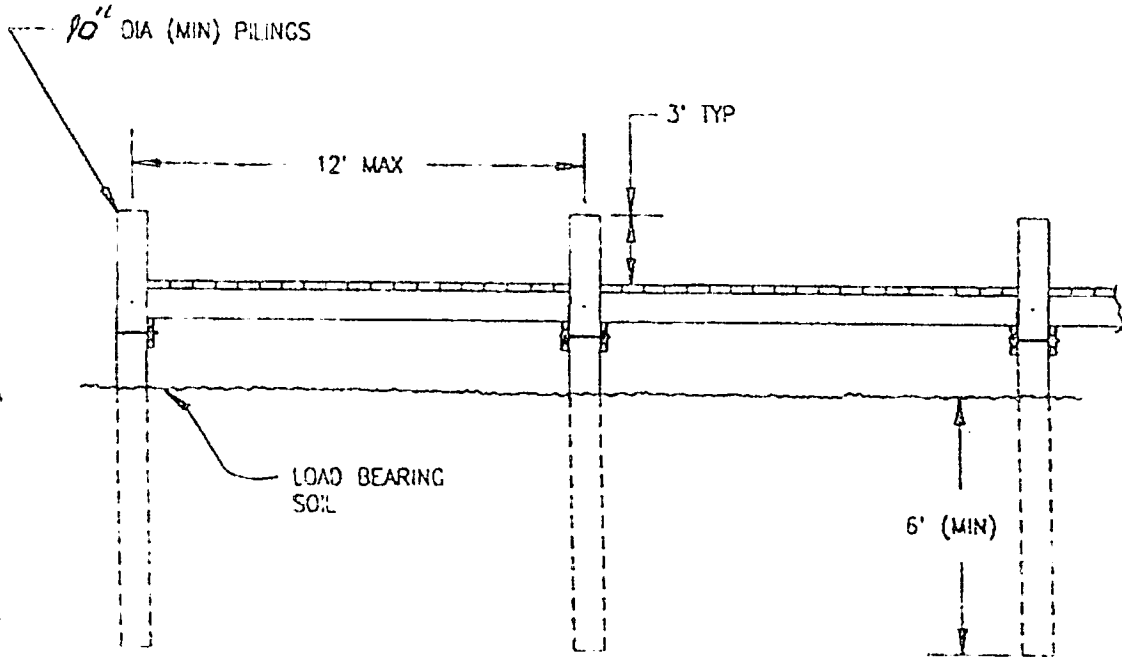
REVISIONS	BY

PREPARED FOR: SEELY  
**STEPHEN J. BROWN INC.**  
SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS  
290 FLORIDA STREET, SUITE "C", STUART, FLORIDA; 34894  
(407) 288 - 7178

DRAWN S. J. B.
CHECKED S. J. B.
DATE 03/21/95
SCALE 1" = 60'
JOB NO. 2270-01-01
SHEET ONE
OF ONE SHEETS



END VIEW



SIDE VIEW

MATERIAL SPECIFICATIONS

PILINGS: 10" DIA (MIN) MARINE TREATED  
(2.5lb/FT<sup>3</sup> CCA  
6" PENETRATION FOR STRUCTURE.

LUMBER: 2x8 0.40lb/FT<sup>3</sup> CCA SOUTHERN YELLOW  
PINE. 2x6 MAY BE USED FOR DECKING

BOLTS: 5/8 DIAMETER THROUGH BOLTS  
STAINLESS STEEL

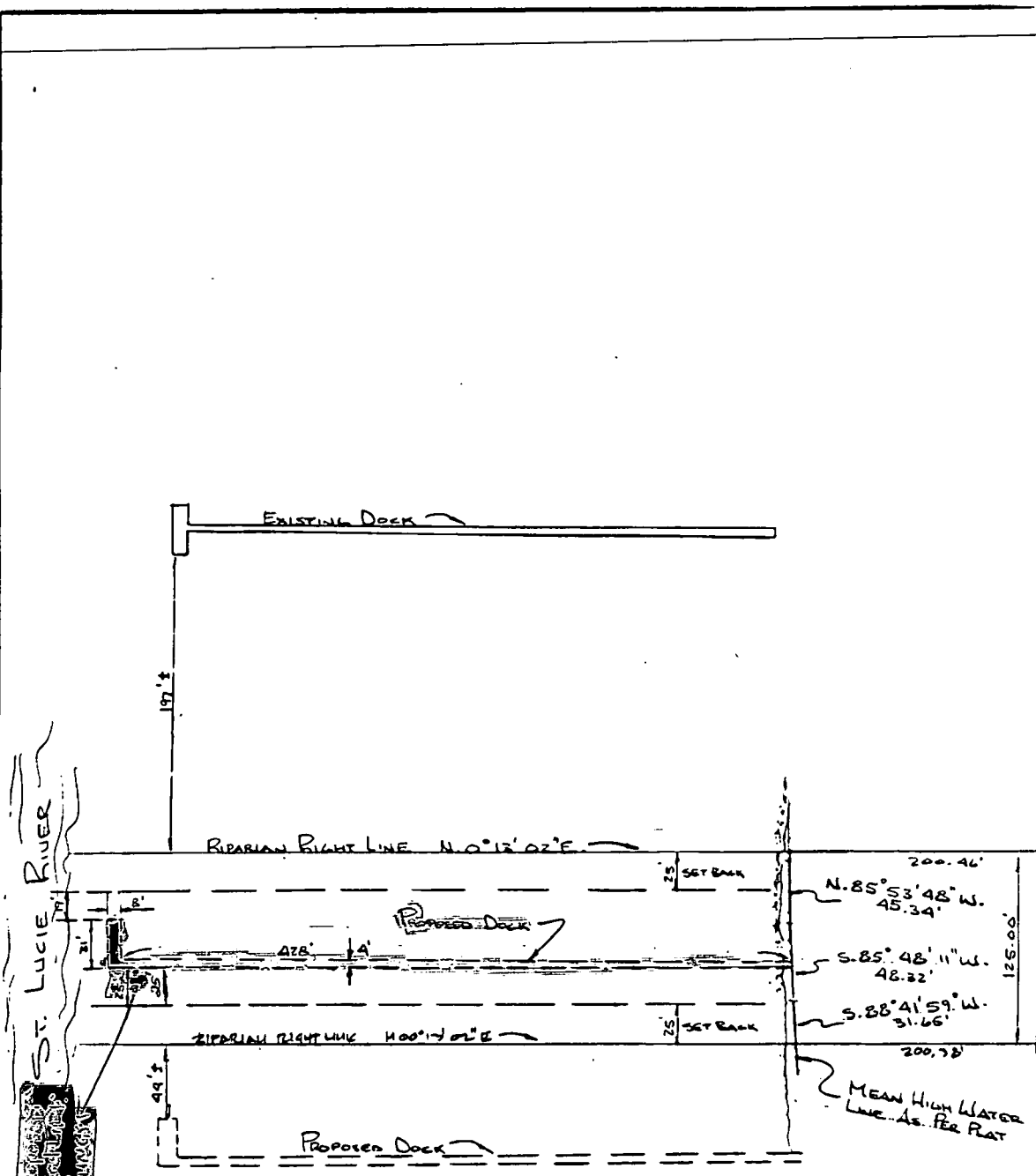
NAILS: 16d ON FRAMING. 12d ON DECKING. RING  
SHANKED STAINLESS STEEL

OWNER INFORMATION:  
Greg Seely  
Lot # 3 PLANTATION (LOFTING WAY)  
SEWALLS POINT, FL.  
407-288-1920

JOB SITE INFORMATION  
Lot # 3 PLANTATION  
Sewalls Point, FL.

STANDARD SPECIFICATIONS  
FOR WOODEN DOCKS

SUPERIOR MARINE CONSTRUCTION  
5914 S.E. MITZI LANE  
STUART, FL 34997  
1-407-220-2306



ST. LUCIE RIVER  
 PROPOSED BEACON  
 TRUCK

1. PROPERTY LOCATED WITHIN FLOOD ZONE: "C"
2. PROPERTY ADDRESS: NE LOFTING WAY
3. CERTIFIED TO: GREG SEELY

**NOTES:**

1. Survey of description as furnished by Client.
2. Lands shown hereon were not abstracted for e. and/or rights-of-way of record.
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- (C) Denotes calculated distance or bearing.
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4. Elevations shown hereon are relative to National Vertical Datum of 1929, and are based on bench
5. There are no above ground encroachments, unless otherwise noted.

SET I.B. - SET 5/8 IRON BAR & CAP 84049  
 F.M.D. - FOUND OBJECT  
 I.P. - IRON PIPE  
 C.M. - CONCRETE MONUMENT  
 I.B. - IRON BAR  
 P.K. - P.K. MAIL  
 R.R.S. - RAILROAD SPIKE  
 N. & W. - NAIL & WASHER  
 N. & TT - NAIL & TIM TAB

OHW - OVERHEAD  
 DRAINAGE  
 M.H. - MANHOLE  
 P.P. - POWER  
 C.B. - CATCH  
 S.50  
 X - EXISTING

P.O.C. - POINT OF COMMENCEMENT  
 P.O.B. - POINT OF BEGINNING  
 ENC. - ENCROACHMENT

MARSHA STILLER  
CLERK OF CIRCUIT COURT  
MARTIN CO., FL

RECORDED & VERIFIED  
BY *W* D.C.

This Instrument Prepared by and Returned to:  
DAVID D. MURRAY, MURRAY  
Cohen, Chernay, Norris, Weinberger & Harris  
712 U. S. Highway One, 4th Floor  
North Palm Beach, Florida 33408

01101706 3850 1995 FEB -2 AM 9:05  
MARTIN COUNTY  
CLERK OF CIRCUIT COURT

WARRANTY DEED BY \_\_\_\_\_ D.C.

THIS INDENTURE, made this 25<sup>th</sup> day of January, 1995, by and between SEWALL'S POINT PLANTATION PARTNERSHIP, a Florida general partnership (hereinafter called "Grantor"), and Greg Seely and Portia Seely, husband and wife, whose address is 131 S. W. Willow Lake Trail, Stuart, Florida 34997 (hereinafter called "Grantee").

WITNESSETH, that said Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt of which is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns, forever, the following described property, situate, lying and being in Martin County, Florida, to wit:

Lot 3, of THE PLANTATION AT SEWALL'S POINT, according to the plat thereof, recorded in Plat Book 12, page 70 of the Public Records of Martin County, Florida.

THIS IS VACANT LAND.

THIS CONVEYANCE is subject to and by accepting this Deed, the Grantee herein agrees to assume and abide by the following:

1. All matters as shown on the plat of the Plantation at Sewall's Point recorded in Plat Book 12, page 70 of the Public Records of Martin County, Florida; and
2. The Declaration of Covenants and Restrictions for the Plantation at Sewall's Point recorded in Official Record Book 882, page 251 of the Public Records of Martin County, Florida and all exhibits and all amendments thereto; and
3. Memoranda, conditions, limitations, restrictions, reservations and easements of record, if any; and
4. The Articles of Incorporation and By-Laws of the SEWALL'S POINT PLANTATION HOMEOWNERS ASSOCIATION, INC., as now or hereafter promulgated and amended which shall be covenants running with the land and the lien provisions thereof; and
5. Real estate taxes for the year 1995 and all subsequent years.

AND SAID GRANTOR does hereby fully warrant the title to said property and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

SEWALL'S POINT PLANTATION PARTNERSHIP,  
a Florida general partnership

*Korriane Deponty*  
print KORRIANE DEPONTY  
*Karen C. Hodges*  
print KAREN C. HODGES

BY: Sewall's Point Plantation, Inc., a Florida corporation as General Partner

*John H. Bourassa*  
BY: JOHN H. BOURASSA, President

BY: Yendis Corporation, a Wisconsin corporation, as General Partner

*Leslie P Moss*

BY:

*[Signature]*

SIDNEY KOHL, President

print LESLIE P MOSS

*Melissa S. Sloschen*

print MELISSA SLOSCHEN

STATE OF FLORIDA )  
COUNTY OF PALM BEACH ) SS:

I hereby certify that the foregoing instrument was acknowledged before me this 25 day of JAN., 1995, by John H. Bourassa, as President of Sewall's Point Plantation, Inc., a Florida corporation as General Partner of Sewall's Point Plantation Partnership, a Florida general partnership, on behalf of the corporation. He/She is personally known to me or has produced as identification and did (did not) take an oath.



Sign: *Karen C Hodge*  
Notary Public

Print: KAREN HODGE

My commission expires: 12/6/98

STATE OF FLORIDA )  
COUNTY OF PALM BEACH ) SS:

I hereby certify that the foregoing instrument was acknowledged before me this 26 day of JAN, 1995, by Sidney Kohl as President of Yendis Corporation, a Wisconsin corporation as General Partner of Sewall's Point Plantation Partnership, a Florida general partnership, on behalf of the corporation. He/She is personally known to me or has produced as identification and did (did not) take an oath.

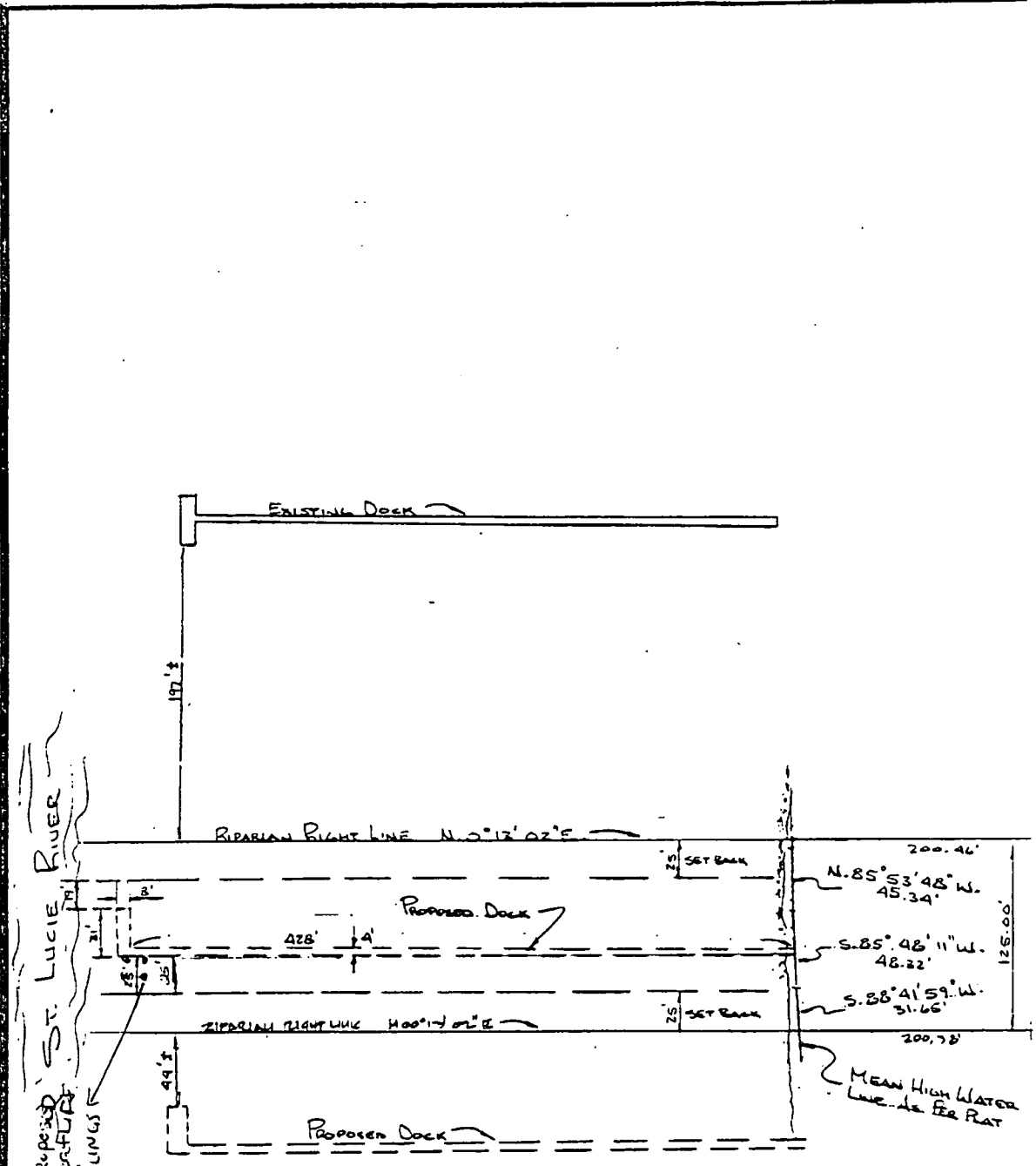


LESLIE P MOSS  
My Comm Exp. 6/05/98  
Bonded By Service Ins  
No. CC378935  
 Personally Known  Not

Sign: *Leslie P Moss*  
Notary Public

Print: LESLIE P MOSS

My commission expires: 6-5-98



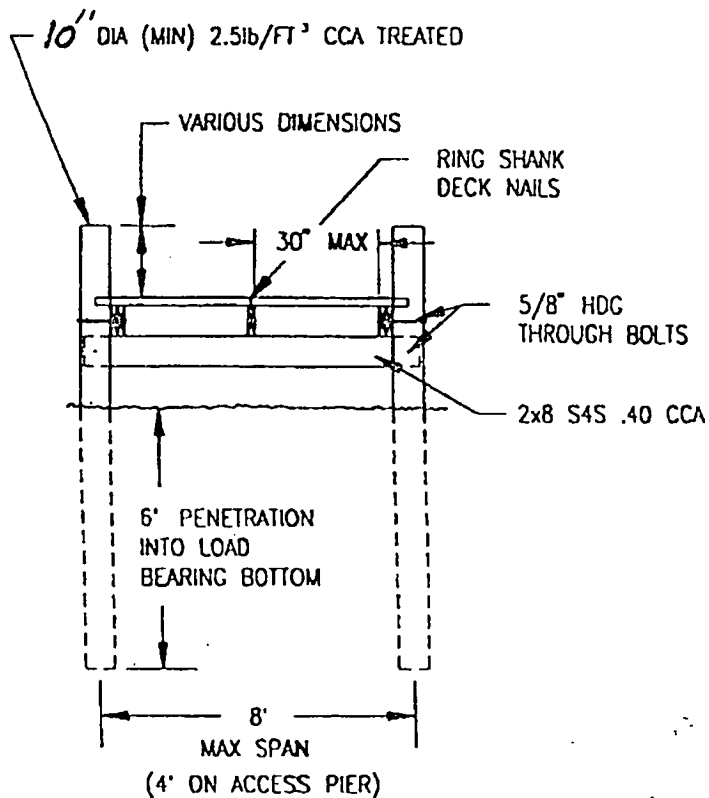
1. PROPERTY LOCATED WITHIN FLOOD ZONE: "C"
2. PROPERTY ADDRESS: NE LOFTING WAY
3. CERTIFIED TO: GREG SEELY

**NOTES:**

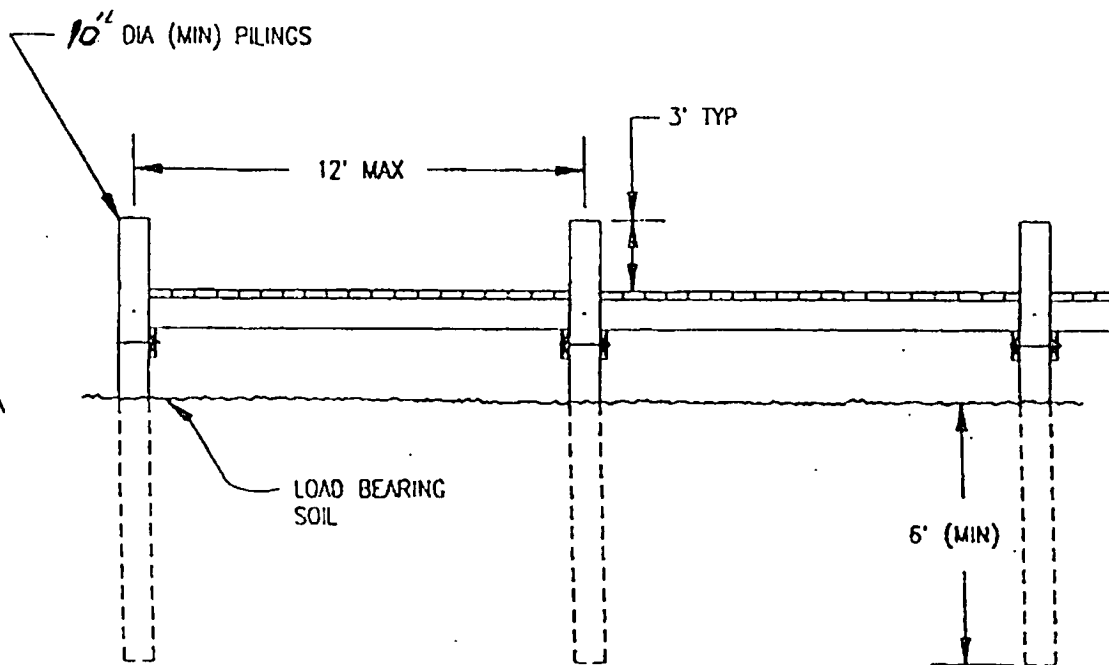
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5. There are no above ground encroachments, unless otherwise noted.

SET I.B. - SET 5/8 IRON BAR & CAP #4049	Over - OVERHEAD
FND. - FOUND OBJECT	- DRAINAGE
I.P. - IRON PIPE	M.M. - MAMMOTH
C.M. - CONCRETE MONUMENT	P.P. - POWER
I.B. - IRON BAR	C.B. - CATCH
P.K. - P.A. NAIL	8.50
R.R.S. - RAILROAD SPIKE	x - EXISTING
N. & W. - NAIL & WASHER	
N. & TT - NAIL & TIM TAP	

P.O.C. - POINT OF COMMENCEMENT  
 P.O.B. - POINT OF BEGINNING  
 ENC. - ENCROACHMENT



END VIEW



SIDE VIEW

MATERIAL SPECIFICATIONS

PILINGS: 10" DIA (MIN) MARINE TREATED  
(2.5lb/FT<sup>3</sup> CCA  
6' PENETRATION FOR STRUCTURE.

LUMBER: 2x8 0.40lb/FT<sup>3</sup> CCA SOUTHERN YELLOW  
PINE. 2X6 MAY MAY BE USED FOR DECKING

BOLTS: 5/8 DIAMETER THROUGH BOLTS  
STAINLESS STEEL

NAILS: 16d ON FRAMING. 12d ON DECKING. RING  
SHANKED STAINLESS STEEL

OWNER INFORMATION:

Greg Seely  
Lot # 3 PLANTATION (LOFTINGWAY)  
SEWALLS POINT, FL.  
407-288-1920

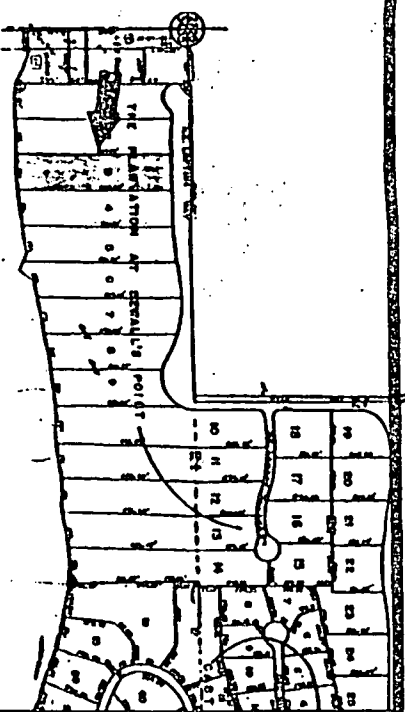
JOB SITE INFORMATION

Lot # 3 PLANTATION  
SEWALLS POINT, FL.

STANDARD SPECIFICATIONS  
FOR WOODEN DOCKS

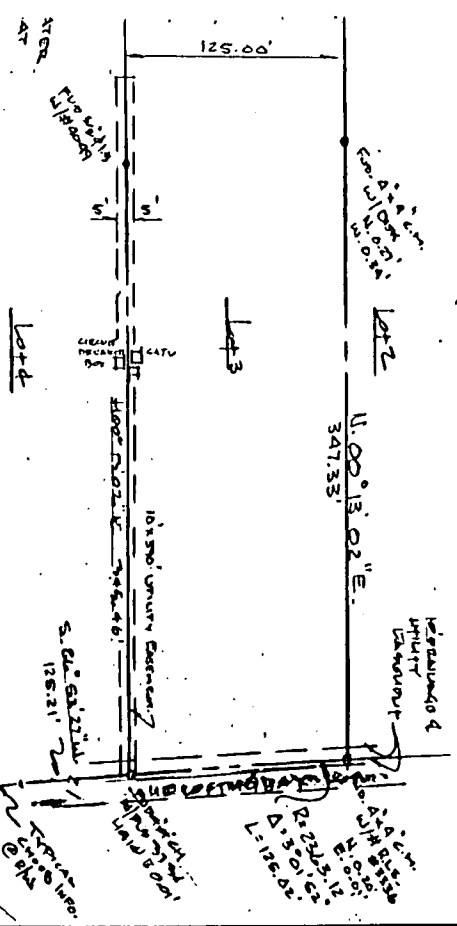
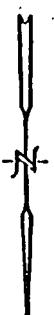
**Superior Marine Construction**  
5914 S.E. MITZI LANE  
STUART, FL 34997  
1-407-220-2706





LOCATION MAP

LEGAL DESCRIPTION  
 KNOWN AS LOT 3, THE PLANTATION AT SEELY'S POINT, AS RECORDED IN PLAT BOOK 12, PAGE 70, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.



**SURVEYOR'S CERTIFICATE**

WE HEREBY CERTIFY THAT THE BOUNDARY SURVEY AS SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS SURVEYED UNDER OUR DIRECTION. WE FURTHER CERTIFY THAT IT MEETS THE MINIMUM TECHNICAL STANDARDS UNDER RULE 61G17-6 FLA. ADMINISTRATIVE CODE PURSUANT TO CHAPTER 472.027 FLA. STATUTES. NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

**STEPHEN J. BROWN, INC.**

Stephen J. Brown Professional Land Surveyor  
 Registration No. 40499, State of Florida

NOTED FOR EASEMENTS  
 None as furnished.  
 Method of record  
 National Geodetic  
 on bench mark,  
 as otherwise shown.  
 METHOD USED  
 ORIGINATOR'S FLOW  
 POWER POLE  
 CATCH BASIN  
 EXISTING ELEVATION

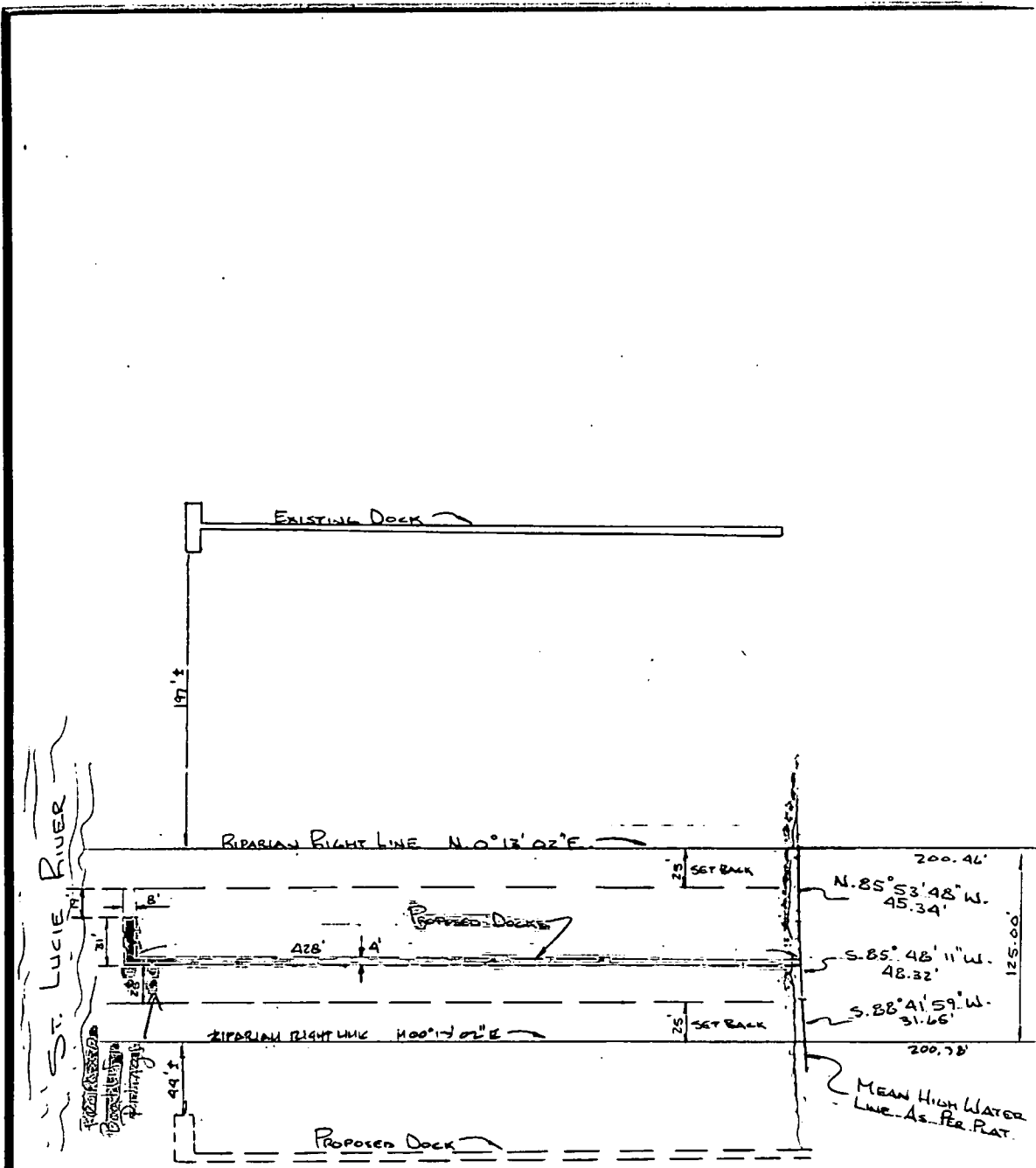
**BOUNDARY SURVEY**

PREPARED FOR: SEELY

**STEPHEN J. BROWN INC.**  
 SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS  
 290 FLORIDA STREET, SUITE "C", STUART, FLORIDA; 34994 (407) 288 - 7178

REVISIONS	BY

S. J. B.	DRAWN
S. J. B.	CHECKED
03/21/95	DATE
1" = 60'	SCALE
2270-01-01	JOB NO.
ONE	SHEET



1. PROPERTY LOCATED WITHIN FLOOD ZONE: "C"
2. PROPERTY ADDRESS: NE LOFTING WAY
3. CERTIFIED TO: GREG SEELY

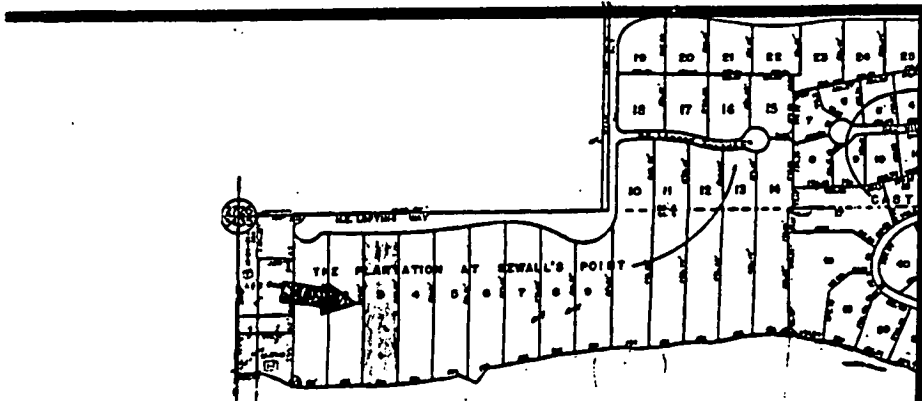
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 R.R.S. - RAILROAD SPIKE  
 N. & W. - NAIL & WASHER  
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OHW - OVERHEAD  
 DRAINAGE  
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 C.B. - CATCH  
 8.50  
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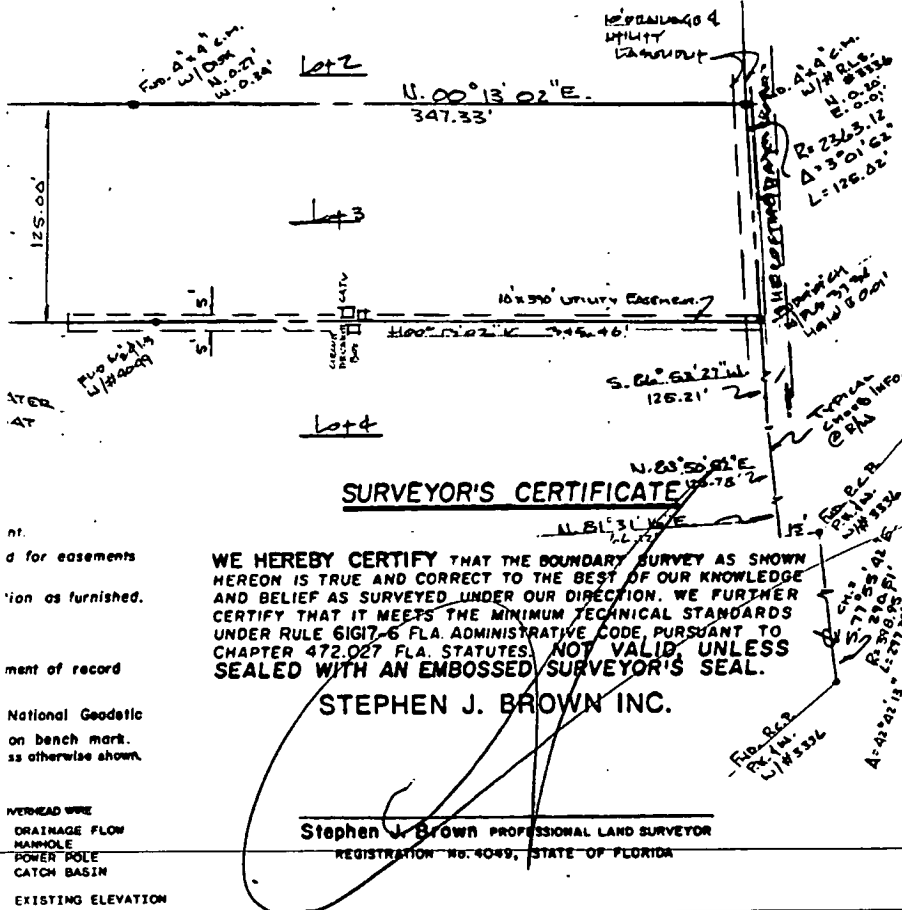
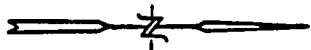
P.O.C. - POINT OF COMMENCEMENT  
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 ENC. - ENCROACHMENT



LOCATION MAP

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STEPHEN J. BROWN INC.

Stephen J. Brown PROFESSIONAL LAND SURVEYOR  
REGISTRATION NO. 4049, STATE OF FLORIDA

REVISIONS	BY

BOUNDARY SURVEY

PREPARED FOR: SEELY

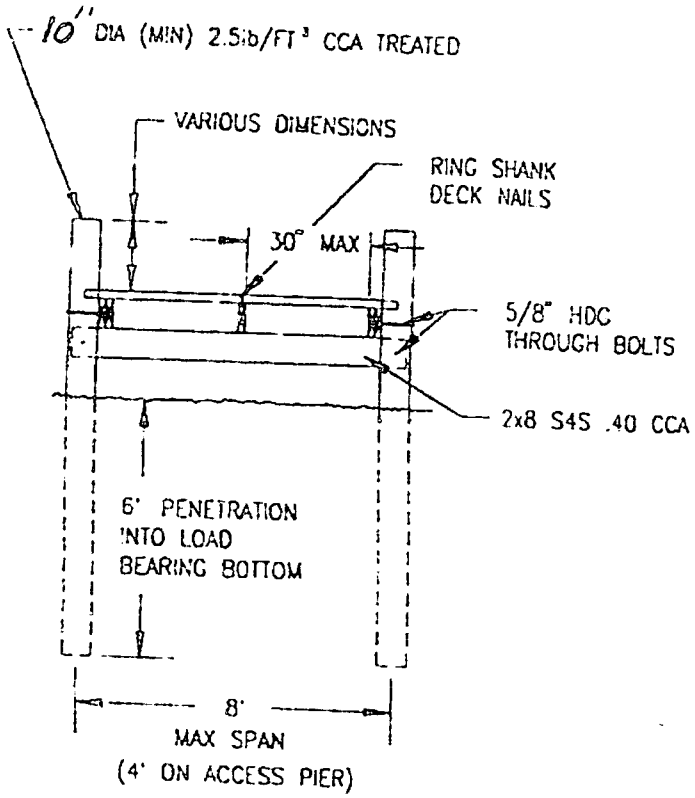
STEPHEN J. BROWN INC.

SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS

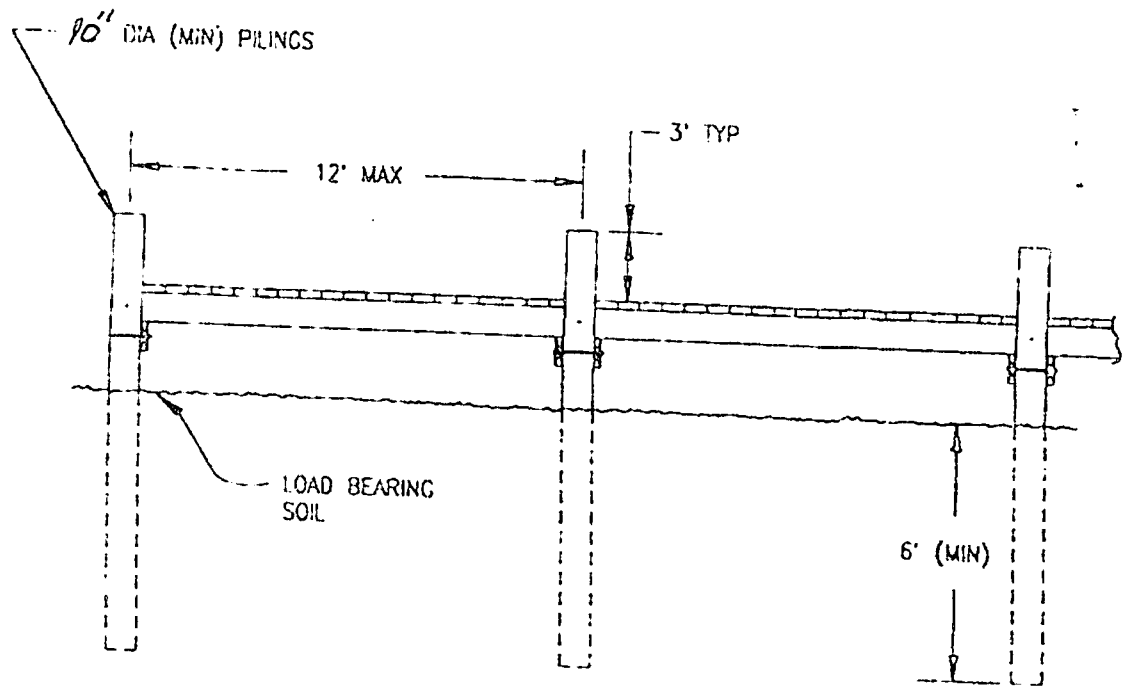
290 FLORIDA STREET, SUITE "C", STUART, FLORIDA; 34994

(407) 288 - 7178

DRAWN S. J. B.
CHECKED S. J. B.
DATE 03/21/95
SCALE 1" = 60'
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SHEET ONE
OF ONE SHEETS



END VIEW



SIDE VIEW

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OWNER INFORMATION:

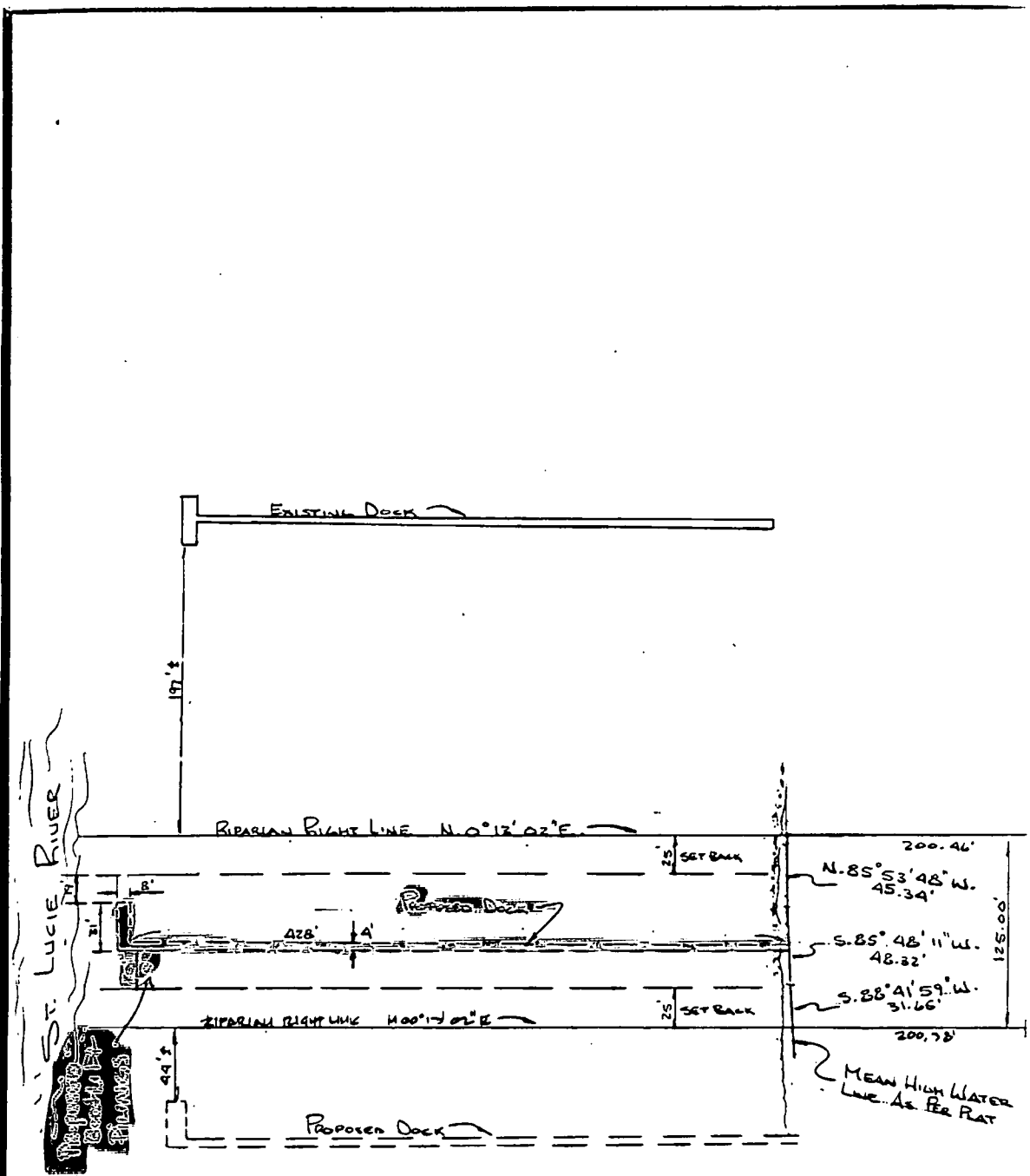
Greg Seely  
Lot # 3 PLANTATION (LOFTINSWAY)  
SEWALLS POINT, FL.  
407-288-1920

JOB SITE INFORMATION

Lot # 3 PLANTATION  
Sewalls Point, FL.

**STANDARD SPECIFICATIONS  
FOR WOODEN DOCKS**

**SUPERIOR MARINE CONSTRUCTION**  
5914 S.E. MITZI LANE  
STUART, FL 34997  
1-407-220-2306



1. PROPERTY LOCATED WITHIN FLOOD ZONE: "C"
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EXISTING DOCK
3. CERTIFIED TO: GREG SEELY

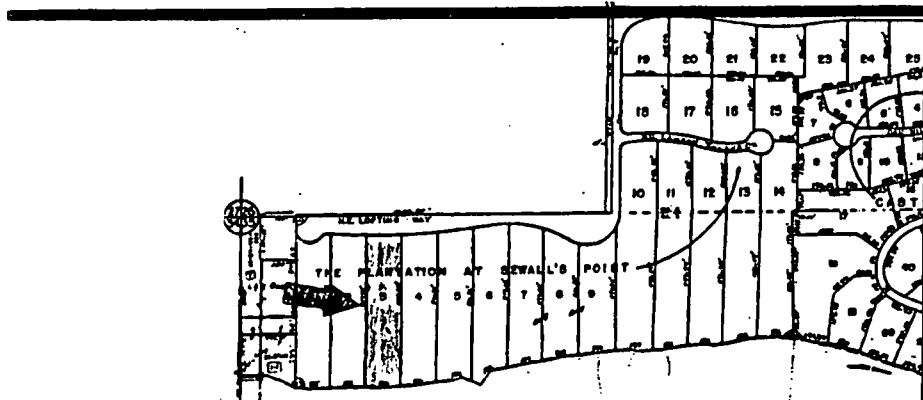
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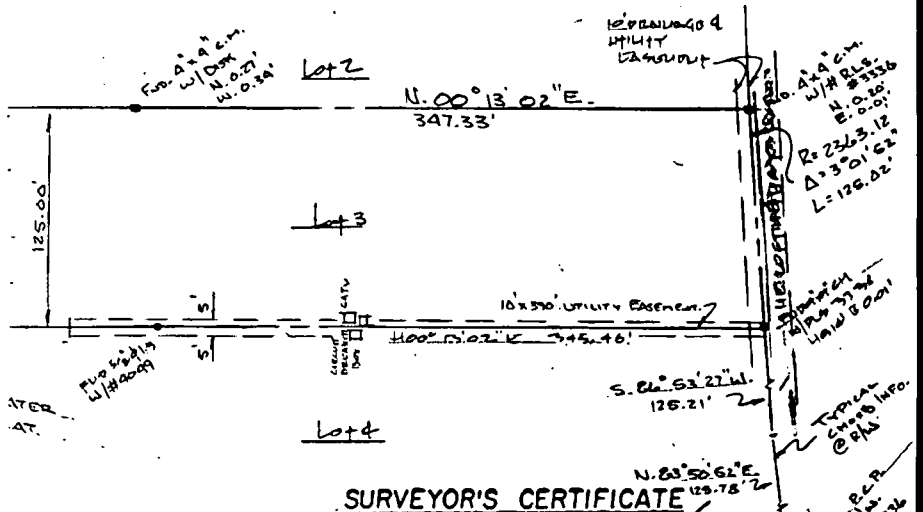
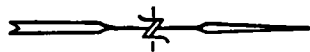
P.O.C. - POINT OF COMMENCEMENT  
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 ENC. - ENCROACHMENT



LOCATION MAP

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STEPHEN J. BROWN INC.

Stephen J. Brown PROFESSIONAL LAND SURVEYOR  
REGISTRATION NO. 40492 STATE OF FLORIDA

- not for easements
- ion as furnished.
- ment of record
- National Geodetic on bench mark. as otherwise shown.
- OVERHEAD WIRE
- DRAINAGE FLOW
- MANNHOLE
- POWER POLE
- CATCH BASIN
- EXISTING ELEVATION

REVISIONS	BY

BOUNDARY SURVEY

PREPARED FOR: SEELY

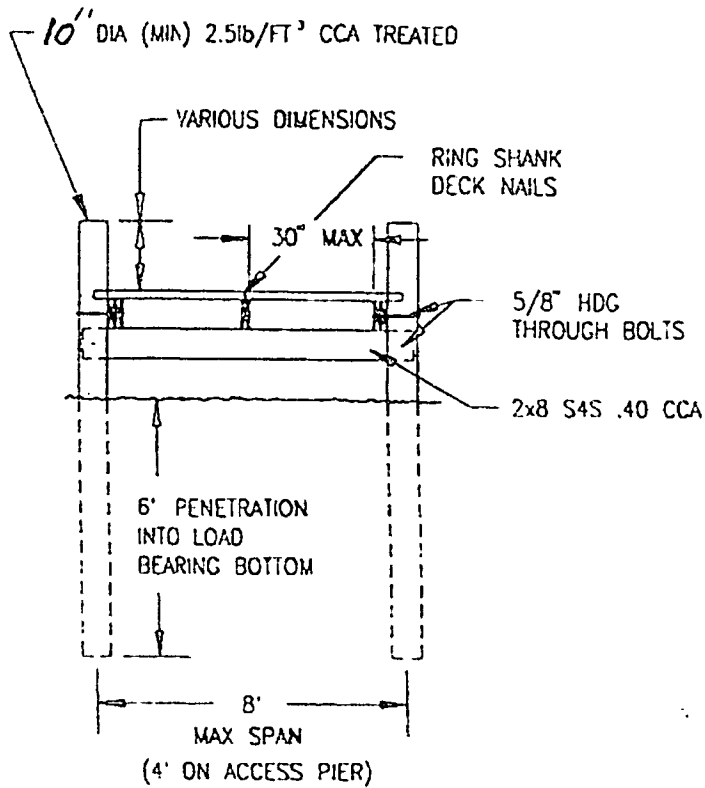
STEPHEN J. BROWN INC.

SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS

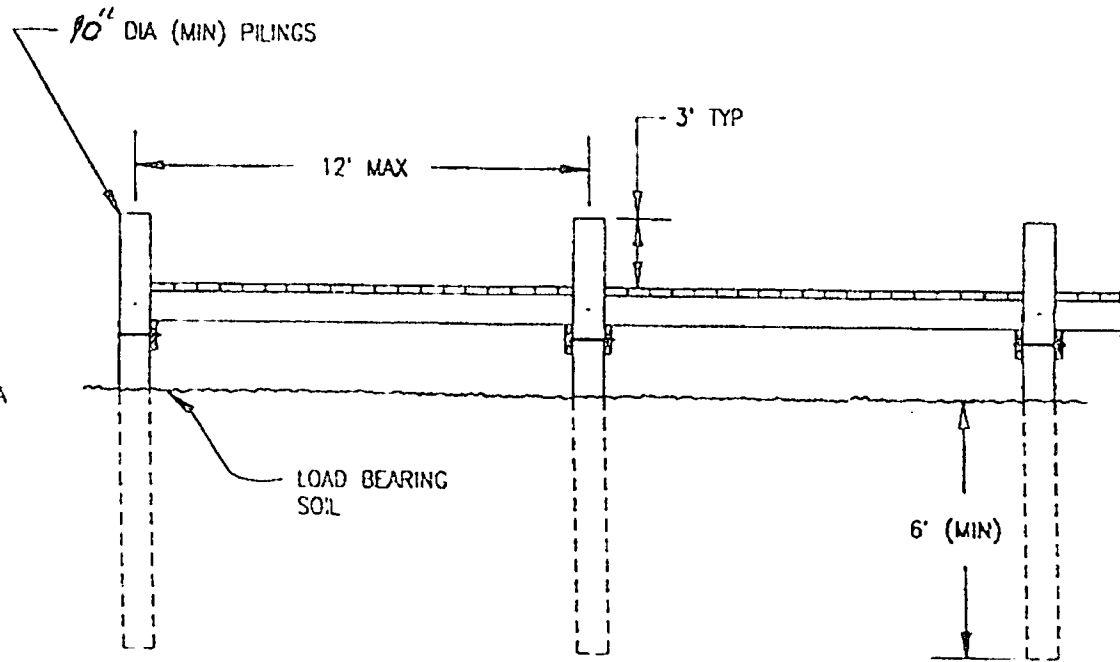
290 FLORIDA STREET, SUITE "C", STUART, FLORIDA; 34894

(407) 288 - 7176

DRAWN	
S. J. B.	CHECKED
S. J. B.	DATE
03/21/95	SCALE
1" = 60'	JOB NO.
2270-01-01	SHEET
ONE	ONE
OF ONE	SHEETS



END VIEW



SIDE VIEW

MATERIAL SPECIFICATIONS

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6' PENETRATION FOR STRUCTURE

LUMBER: 2x8 0.40lb/FT<sup>3</sup> CCA SOUTHERN YELLOW  
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OWNER INFORMATION:

Greg Seely  
Lot # 3 PLANTATION (LOFTINGWAY)  
SEWALLS POINT, FL.  
407-288-1920

JOB SITE INFORMATION

Lot # 3 PLANTATION  
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STANDARD SPECIFICATIONS  
FOR WOODEN DOCKS

**SUPERIOR MARINE CONSTRUCTION**  
5914 S.E. MITZI LANE  
STUART, FL 34997  
1-407-220-2306

**DOCK RESOLUTION # 447**

A RESOLUTION OF THE TOWN OF SEWALL'S POINT, FLORIDA,  
GRANTING THE APPEAL OF GREG SEELY FROM THE DENIAL OF A  
DOCK PERMIT FOR CONSTRUCTION OF A DOCK ADJACENT TO LOT  
3, THE PLANTATION AT SEWALL'S POINT.

WHEREAS, GREG SEELY (the "Applicant") applied to the Town of Sewall's Point Building Department for a Dock Permit to construct a dock adjacent to Lot 3; and

WHEREAS, the Applicant's application was denied because the proposed dock did not meet the specifications of Chapter 4.5, Town of Sewall's Point Code of Ordinances; and

WHEREAS, the Applicant filed a Notice of Appeal pursuant to Section 4.5-4(d) of the Town Code; and

WHEREAS, the Town Commission held a public hearing on the appeal on April 12, 1995; and

WHEREAS, notice of the public hearing was posted at the Town Hall bulletin board and notice of the public hearing was sent by certified mail, return receipt requested, by the Applicant, to all record owners of upland riparian property located adjacent to the property involved in the appeal and the date of the mailing was at least fifteen (15) days before the date of the hearing (or notice was waived by the adjacent owners); and

WHEREAS, the Applicant at the public hearing presented proof of the identity and address of the persons entitled to receive notice by mail and of the mailing of the notice to those persons (or their waiver); and

WHEREAS, the Town Commission at the public hearing made the finding that the Applicant demonstrated an extreme hardship which justified a variance from Chapter 4.5 of the Town Code;

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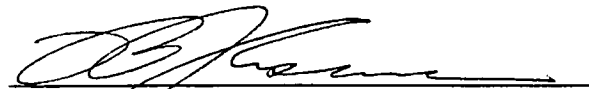
NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, AS FOLLOWS:

1. The Applicant's appeal is hereby granted.
2. The Town Building Department, upon the payment of the appropriate permit application fee, shall issue a Dock Permit for the Applicant to construct the dock in accordance with the plans and specifications reviewed by the Town Commission at the public hearing.
3. This resolution shall not constitute permission or a license, either now or in the future, to conduct any activity other than the construction of the dock as proposed by the Applicant in its permit application. Any material deviation in construction from the Dock Permit, survey, drawings, plans, or other application materials provided to the Town Building Department by the Applicant, shall revoke the approval granted by this resolution and shall be a violation of the Town of Sewall's Point Code of Ordinances.

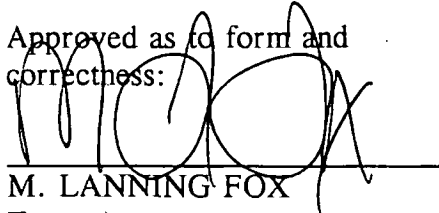
PASSED AND ADOPTED this 12<sup>th</sup> day of April 1995.


ATTEST:

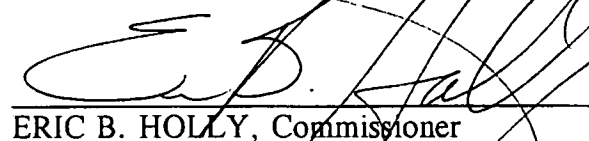
  
JOAN BARROW, Town Clerk

  
B. J. ESCUE, Mayor - Commissioner

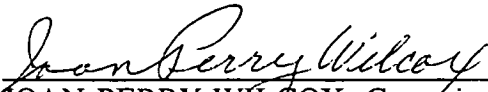
Approved as to form and  
correctness:

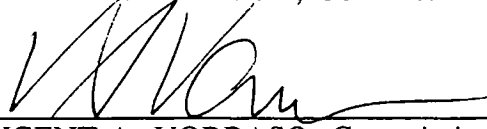
  
M. LANNING FOX  
Town Attorney

  
DAVID L. MILLARD, Vice-Mayor Commissioner

  
ERIC B. HOLLY, Commissioner

Resolution No. # 447  
Page 3

  
\_\_\_\_\_  
JOAN PERRY WILCOX, Commissioner

  
\_\_\_\_\_  
VINCENT A. VORRASO, Commissioner

kathy/tosp/resol/seely

**4527**

**SFR**

**(EXPIRED)**

---

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 12-21-98

BUILDING PERMIT NO. 4527

Building to be erected for G. & P Seely

Type of Permit S.F. residence

Applied for by Gribben Corst

(Contractor)

Building Fee 8 007.80

Subdivision The Plantation Lot 3

Block ---

Radon Fee 108.30

Address 37 N.E. Lofting Way

Impact Fee 1508.20

Type of structure S.F. residence

A/C Fee 100.00

Electrical Fee 100.00

Parcel Control Number:

Plumbing Fee 100.00

26-37-41-013-000-000-30-00000

Roofing Fee 100.00

Amount Paid 10,024.30 Check # 16886 Cash

**10777 PAID RECEIVED**  
Other Fees ( ) 800.00

Total Construction Cost \$ 1100,000 x

**PAID \$10,024.30**  
TOTAL Fees 10024.30

Signed [Signature]

Signed [Signature]

Applicant

Town Building Inspector

**10777 PAID RECEIVED**  
**PAID \$10,024.30**  
**TOTAL Fees 10024.30**  
**COUNCIL RESOLUTION**  
**NO. 2000-12-21-001**  
**ISSUED**

# Town of Sewall's Point

P.L.N. \_\_\_\_\_

Date November 19/98

## BUILDING PERMIT APPLICATION #4527

to construct

NEW CONSTRUCTION     ADDITION     ALTERATION     DEMOLITION

RESIDENTIAL     COMMERCIAL    \_\_\_\_\_ SF    \_\_\_\_\_ CF

OTHER: \_\_\_\_\_ CONTRACT PRICE 1,100,000

Owner's Name Seely, Greg & Portia

Owner's Address Lot # 3 The Plantation

Fee Simple Titleholder's Name (If other than owner) \_\_\_\_\_

Fee Simple Titleholder's Address (If other than owner) \_\_\_\_\_

City Sewall's Point State FL Zip \_\_\_\_\_

Contractor's Name Gibben Construction Co.

Contractor's Address 3077 SE Dixie Hwy

City Stuart State FL Zip 34997

Job Name Seely Residence

Job Address Lot # 3 The Plantation

City Sewall's Point State FL Zip \_\_\_\_\_

Legal Description \_\_\_\_\_

Bonding Company \_\_\_\_\_

Bonding Company Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Architect/Engineer's Name H.A. Carson & Assoc Inc

Architect/Engineer's Address 7188 SE Seagate Lane Stuart

Mortgage Lender's Name \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]  
Owner or Agent

11-16-98  
Date

[Signature]  
Contractor

November 16/98  
Date

COUNTY OF MARTIN  
STATE OF FLORIDA

Sworn to and subscribed before me this 16 day of NOV, 1998 by  
Greg Seely who: [ ] is/are personally known to me, or [ ] has/have produced \_\_\_\_\_  
as identification, and who did not take an oath.

Name: [Signature]

Typed, printed or stamped

(NOTARY SEAL)

I am a Notary Public of the State of Florida having a  
commission number of \_\_\_\_\_

and my  
commission expires: \_\_\_\_\_



David D. Morelli  
MY COMMISSION # CC720681 EXPIRES  
March 1, 2002  
BONDED THRU TROY FAIN INSURANCE, INC.

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 16 day of NOV, 1998 by  
Portia Seely who: [ ] is/are personally known to me, or [ ] has/have produced \_\_\_\_\_  
as identification, and who did not take an oath.

Name: [Signature]

Typed, printed or stamped

(NOTARY SEAL)

I am a Notary Public of the State of Florida having a  
commission number of \_\_\_\_\_

and my  
commission expires: \_\_\_\_\_



David D. Morelli  
MY COMMISSION # CC720681 EXPIRES  
March 1, 2002  
BONDED THRU TROY FAIN INSURANCE, INC.

Certificate of Competency Holder

Contractor's State Certification or Registration No. \_\_\_\_\_

Contractor's Certificate of Competency No. \_\_\_\_\_

APPLICATION APPROVED BY

[Signature]

Permit Officer

Building Commissioner

296  
2012

Portia, Seely  
Lot 3 Plantation

Gribben Court.

PLAN REVIEW  
SEWALL'S POINT

residential

Town Ordinances

~~Proof of Ownership~~  
~~Fema Certificate~~

- Completed application for permit
- Impact fee receipt
- Notice of Commencement if over \$2,500.00
- Applicable permits from other agencies (ie)DEP, Sewer and Irrigation, Road use
- Approval from homeowners Association or Arch. Review
- License and insurance for General and Subs, or affidavit for Owner Builder
- Signed and Sealed building plans
- Wind load certifications for 140mph. exposure D
- Survey showing; FFE, flood zone, setbacks, sq. ft. of lot, and impervious surfaces
- Landscaping Plan
- Zoning applicable
- Setbacks for zoning
- Flood Zone
- First floor Elevation
- Overall height not to include chimney, vents, cupola
- Tree permit
- Florida energy code forms
- Fema Certificate prior to C.O.

Plans to include

- Site Plan showing retainage of stormwater and proposed elevations, *Site to hold 15" 1" of 100 storm*  
attach calculations *Driveway swaled to on site retainage area*
- Driveway and parking plans
- Exterior elevations
- Foundation Plan, bottom of all footings 12" below finished grade
- Framing plan showing ceiling heights, egress windows, safety glazing
- Typical wall sections
- Roof Plan with truss engineering
- Door and Window engineering
- Electrical Calculations, conformance with 1996 NEC
- Smoke detectors in compliance with NFPA 702
- Plumbing riser showing vent, drain sizes
- Conformance with South Florida Code for 140mph. wind exposure D
- Storm protection required for all doors and windows
- Mechanical Plan showing sizes of ducts
- Cross sections, details, elevations
- Specifications on gravity, uplift connections
- Attic access 22" X 36

See notes Page (2)

Florida Accessibility Code 8 3/4 x 12'

- Stairs risers max. height, min. depth, nosing 1 1/2" max
- Handrail 2" high 42"
- thresholds max. height 1/2"
- 3 or more steps 30"sq. landing at top, doors not to swing over steps.
- 29" clear openings to toilet facilities
- 

Local Amendments to the South Florida

Lintels 4-22

- filled cells in lieu of poured columns require #5 bars placed in both jambs of all openings and 2 #5 bars at each corner poured solid and lapped properly
- Copper wiring from load side of meter base
- Wood 6" clearance from grade
- Attic ventillation
- Guardrails for decks, balaconies etc.
- Toilet room ventilation
- Fireplace details
- Gas plan and permit
- Jacuzzi pump access and shock prevention
- Thickened edges on all concrete slabs, 8" width and depth with 1 #3 continous
- V-Zone requirements
- Stairwell protection if storage under stairs, type X 5/8 drywall
- 

Robert A Bott  
Plans Examiner

12-15-98  
Date

\_\_\_\_\_  
Owner or Builder

\_\_\_\_\_  
Date

Notes

① Does not include Tennis Court requires seperate permit

② Front wall no higher than 5' if less than 35' from front ~~building~~ lot line, otherwise 7' high.

③ No hania allowed in side yard - privacy wall only allowed

Bob Bott  
12-15-98



Building Permit No. \_\_\_\_\_ Tax Folio No. \_\_\_\_\_  
STATE OF Florida  
COUNTY OF Martin

RETURN TO:  
McCarthy, Summers, Bobko,  
McKey, Wood & Sawyer, P.A.  
2084 E. Ocean Blvd. Second Floor  
Stuart, FL 34996  
635200

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of Property:  
(legal description of the property, and street address if available)  
XX NE LOFTING WAY, SEWALL'S POINT, FL 34996

*This area reserved for Recording Purposes only*

SEE ATTACHED "EXHIBIT A" FOR LEGAL DESCRIPTION

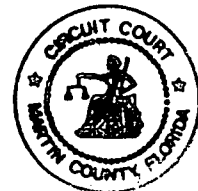
2. General Description of Improvements  
Construction of: Single-Family Residence

3. Owner Information  
a. Name and Address GREG SEELY AND PORTIA SEELY  
131 S.W. WILLOW LAKE TRAIL, STUART, FL 34997  
b. Interest in property FEE SIMPLE  
c. Name and address of fee simple titleholder (if other than owner)

4. Contractor (name and address)  
GRIFFEN CONSTRUCTION CO., INC.  
3077 SE DIXIE HIGHWAY, STUART, FL 34997  
a. Phone number (561) 288-6330  
b. FAX number (optional, if service by FAX is acceptable)

5. Surety  
a. Name and Address  
b. Phone number  
c. FAX number (optional, if service by FAX is acceptable)  
d. Amount of bond \$

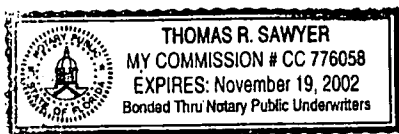
6. Lender Information  
a. Name and Address  
SunTrust Bank, South Florida, N. A.  
2626 E. Oakland Park Blvd., Ft. Lauderdale, FL 33306  
b. Phone number  
(954) 766-2175  
d. Designated Contact CONSTRUCTION DEPT.



7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes (name and address)  
a. Phone number  
b. FAX number (optional, if service by FAX is acceptable)

8. In addition to himself, Owner designates CONSTRUCTION LOAN ADMINISTRATION of SunTrust Bank, South Florida, N. A. to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.  
501 E. Las Olas Blvd., 6th Floor, P.O. Box 405100, MC 1061, Ft. Lauderdale, FL 33301  
a. Phone number  
(954.) 765-7342

9. Expiration date of Notice of Commencement (the expiration date is one (1) Year from the date of recording unless a different date is specified). Other expiration date \_\_\_\_\_



STATE OF FLORIDA  
COUNTY OF Martin

Sworn to and subscribed before me, by the Owner who is personally known to me or who produced  
Florida Drivers License  
as identification, this 18<sup>th</sup> day  
of December, 1998

Greg Seely  
Signature of Owner

GREG SEELY  
Owner's Name (must be typed)

Portia Seely  
PORTIA SEELY

Notary Public  
Signature Thomas R. Sawyer

Print or Type Name THOMAS R. SAWYER

My Commission  
Expires \_\_\_\_\_

EXHIBIT A

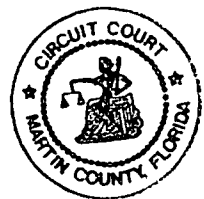
LOT 3, OF THE PLANTATION AT SEWALL'S POINT, ACCORDING TO THE PLAT THEREOF  
RECORDED IN PLAT BOOK 12, PAGE 70, OF THE PUBLIC RECORDS OF MARTIN COUNTY,  
FLORIDA

STATE OF FLORIDA  
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE  
FOREGOING 2 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.

MARSHA STILLER, CLERK

BY *Marsha Stiller* D.C.  
DATE 12-18-98



RIGHT-J LOAD AND EQUIPMENT SUMMARY

File name: SEELY.BLD  
 For: SEELY RESIDENCE  
 LOT #3, THE PLANTATION  
 SEWALL'S POINT FL

11/08/98

By:

THREE STORY/FOUR ZONE RESIDENCE  
 VERIFY ALL CALCULATIONS WITH  
 LICENSED AIR COND. CONTRACTOR

Job #:  
 Wthr : West Palm Beach\_AP FL  
 Zone : Entire House

WINTER DESIGN CONDITIONS

Outside db: 45 Deg F  
 Inside db: 70 Deg F  
 Design TD: 25 Deg F

SUMMER DESIGN CONDITIONS

Outside db: 91 Deg F  
 Inside db: 75 Deg F  
 Design TD: 16 Deg F  
 Daily Range M  
 Rel. Hum. : 50 %  
 Grains Water 60 gr

HEATING SUMMARY

Bldg. Heat Loss 127434 Btuh  
 Ventilation Air 0 CFM  
 Vent Air Loss 0 Btuh  
 Design Heat Load 127434 Btuh

SENSIBLE COOLING EQUIP LOAD SIZING

Structure 132722 Btuh  
 Ventilation 0 Btuh  
 Design Temp. Swing 3.0 Deg F  
 Use Mfg. Data n  
 Rate/Swing Mult. 0.95  
 Total Sens Equip Load 126086 Btuh

INFILTRATION

Method	Simplified	
Construction Quality	Average	
Fireplaces	2	
	HEATING	COOLING
Area (sq.ft.)	7600	7600
Volume (cu.ft.)	69316	69316
Air Changes/Hour	1.1	0.4
Equivalent CFM	1273	463

LATENT COOLING EQUIP LOAD SIZING

Internal Gains 2070 Btuh  
 Ventilation 0 Btuh  
 Infiltration 18892 Btuh  
 Tot Latent Equip Load 20962 Btuh  
 Total Equip Load 147047 Btuh

HEATING EQUIPMENT SUMMARY

Make  
 Model  
 Type

Efficiency / HSPF 0.0  
 Heating Input 0 Btuh  
 Heating Output 0 Btuh  
 Heating Temp Rise 0 Deg F  
 Actual Heating Fan 7097 CFM  
 Htg Air Flow Factor 0.056 CFM/Btuh

Space Thermostat

COOLING EQUIPMENT SUMMARY

Make  
 Model  
 Type

COP/EER/SEER 11.0  
 Sensible Cooling 0 Btuh  
 Latent Cooling 0 Btuh  
 Total Cooling 0 Btuh  
 Actual Cooling Fan 7097 CFM  
 Clg Air Flow Factor 0.053 CFM/Btuh

Load Sens Heat Ratio 86

RIGHT-J LOAD AND EQUIPMENT SUMMARY

File name: SEELY.BLD  
 For: SEELY RESIDENCE  
 LOT #3, THE PLANTATION  
 SEWALL'S POINT FL

11/08/98

By:

THREE STORY/FOUR ZONE RESIDENCE  
 VERIFY ALL CALCULATIONS WITH  
 LICENSED AIR COND. CONTRACTOR

Job #:  
 Wthr : West Palm\_Beach\_AP FL  
 Zone : ZONE 1

WINTER DESIGN CONDITIONS

Outside db: 45 Deg F  
 Inside db: 70 Deg F  
 Design TD: 25 Deg F

SUMMER DESIGN CONDITIONS

Outside db: 91 Deg F  
 Inside db: 75 Deg F  
 Design TD: 16 Deg F  
 Daily Range M  
 Rel. Hum. : 50 %  
 Grains Water 60 gr

HEATING SUMMARY

Bldg. Heat Loss 55547 Btuh  
 Ventilation Air 0 CFM  
 Vent Air Loss 0 Btuh  
 Design Heat Load 55547 Btuh

SENSIBLE COOLING EQUIP LOAD SIZING

Structure 85777 Btuh  
 Ventilation 0 Btuh  
 Design Temp. Swing 3.0 Deg F  
 Use Mfg. Data n  
 Rate/Swing Mult. 0.95  
 Total Sens Equip Load 81488 Btuh

INFILTRATION

Method	Simplified	
Construction Quality	Average	
Fireplaces	2	
	HEATING	COOLING
Area (sq.ft.)	3020	3020
Volume (cu.ft.)	30200	30200
Air Changes/Hour	1.2	0.4
Equivalent CFM	623	226

LATENT COOLING EQUIP LOAD SIZING

Internal Gains 920 Btuh  
 Ventilation 0 Btuh  
 Infiltration 9237 Btuh  
 Tot Latent Equip Load 10157 Btuh  
 Total Equip Load 91645 Btuh

HEATING EQUIPMENT SUMMARY

Make  
 Model  
 Type

Efficiency / HSPF 0.0  
 Heating Input 0 Btuh  
 Heating Output 0 Btuh  
 Heating Temp Rise 0 Deg F  
 Actual Heating Fan 4587 CFM  
 Htg Air Flow Factor 0.056 CFM/Btuh

Space Thermostat

COOLING EQUIPMENT SUMMARY

Make  
 Model  
 Type

COP/EER/SEER 0.0  
 Sensible Cooling 0 Btuh  
 Latent Cooling 0 Btuh  
 Total Cooling 0 Btuh  
 Actual Cooling Fan 4587 CFM  
 Clg Air Flow Factor 0.053 CFM/Btuh

Load Sens Heat Ratio 89

RIGHT-J LOAD AND EQUIPMENT SUMMARY

File name: SEELY.BLD  
 For: SEELY RESIDENCE  
 LOT #3, THE PLANTATION  
 SEWALL'S POINT FL

11/08/98

By:

THREE STORY/FOUR ZONE RESIDENCE  
 VERIFY ALL CALCULATIONS WITH  
 LICENSED AIR COND. CONTRACTOR

Job #:  
 Wthr : West Palm\_Beach\_AP FL  
 Zone : ZONE 2

WINTER DESIGN CONDITIONS

Outside db: 45 Deg F  
 Inside db: 70 Deg F  
 Design TD: 25 Deg F

SUMMER DESIGN CONDITIONS

Outside db: 91 Deg F  
 Inside db: 75 Deg F  
 Design TD: 16 Deg F  
 Daily Range M  
 Rel. Hum. : 50 %  
 Grains Water 60 gr

HEATING SUMMARY

Bldg. Heat Loss 27834 Btuh  
 Ventilation Air 0 CFM  
 Vent Air Loss 0 Btuh  
 Design Heat Load 27834 Btuh

SENSIBLE COOLING EQUIP LOAD SIZING

Structure 34330 Btuh  
 Ventilation 0 Btuh  
 Design Temp. Swing 3.0 Deg F  
 Use Mfg. Data n  
 Rate/Swing Mult. 0.95  
 Total Sens Equip Load 32614 Btuh

INFILTRATION

Method Simplified  
 Construction Quality Average  
 Fireplaces 2

LATENT COOLING EQUIP LOAD SIZING

Internal Gains 460 Btuh  
 Ventilation 0 Btuh  
 Infiltration 3680 Btuh  
 Tot Latent Equip Load 4140 Btuh  
 Total Equip Load 36754 Btuh

	HEATING	COOLING
Area (sq.ft.)	1690	1690
Volume (cu.ft.)	16900	16900
Air Changes/Hour	0.9	0.4
Equivalent CFM	248	90

HEATING EQUIPMENT SUMMARY

Make  
 Model  
 Type  
 Efficiency / HSPF 0.0  
 Heating Input 0 Btuh  
 Heating Output 0 Btuh  
 Heating Temp Rise 0 Deg F  
 Actual Heating Fan 1836 CFM  
 Htg Air Flow Factor 0.056 CFM/Btuh

COOLING EQUIPMENT SUMMARY

Make  
 Model  
 Type  
 COP/EER/SEER 0.0  
 Sensible Cooling 0 Btuh  
 Latent Cooling 0 Btuh  
 Total Cooling 0 Btuh  
 Actual Cooling Fan 1836 CFM  
 Clg Air Flow Factor 0.053 CFM/Btuh

Space Thermostat

Load Sens Heat Ratio 89

RIGHT-J LOAD AND EQUIPMENT SUMMARY

File name: SEELY.BLD  
 For: SEELY RESIDENCE  
 LOT #3, THE PLANTATION  
 SEWALL'S POINT FL

11/08/98

By:

THREE STORY/FOUR ZONE RESIDENCE  
 VERIFY ALL CALCULATIONS WITH  
 LICENSED AIR COND. CONTRACTOR

Job #:  
 Wthr : West Palm\_Beach\_AP FL  
 Zone : ZONE 3

WINTER DESIGN CONDITIONS

Outside db: 45 Deg F  
 Inside db: 70 Deg F  
 Design TD: 25 Deg F

SUMMER DESIGN CONDITIONS

Outside db: 91 Deg F  
 Inside db: 75 Deg F  
 Design TD: 16 Deg F  
 Daily Range M  
 Rel. Hum. : 50 %  
 Grains Water 60 gr

HEATING SUMMARY

Bldg. Heat Loss 35940 Btuh  
 Ventilation Air 0 CFM  
 Vent Air Loss 0 Btuh  
 Design Heat Load 35940 Btuh

SENSIBLE COOLING EQUIP LOAD SIZING

Structure 40833 Btuh  
 Ventilation 0 Btuh  
 Design Temp. Swing 3.0 Deg F  
 Use Mfg. Data n  
 Rate/Swing Mult. 0.95  
 Total Sens Equip Load 38791 Btuh

INFILTRATION

Method	Simplified	
Construction Quality	Average	
Fireplaces	2	
	HEATING	COOLING
Area (sq.ft.)	2180	2180
Volume (cu.ft.)	20339	20339
Air Changes/Hour	1.0	0.4
Equivalent CFM	341	124

LATENT COOLING EQUIP LOAD SIZING

Internal Gains 460 Btuh  
 Ventilation 0 Btuh  
 Infiltration 5057 Btuh  
 Tot Latent Equip Load 5517 Btuh  
 Total Equip Load 44308 Btuh

HEATING EQUIPMENT SUMMARY

Make  
 Model  
 Type

Efficiency / HSPF 0.0  
 Heating Input 0 Btuh  
 Heating Output 0 Btuh  
 Heating Temp Rise 0 Deg F  
 Actual Heating Fan 2184 CFM  
 Htg Air Flow Factor 0.056 CFM/Btuh

Space Thermostat

COOLING EQUIPMENT SUMMARY

Make  
 Model  
 Type

COP/EER/SEER 0.0  
 Sensible Cooling 0 Btuh  
 Latent Cooling 0 Btuh  
 Total Cooling 0 Btuh  
 Actual Cooling Fan 2184 CFM  
 Clg Air Flow Factor 0.053 CFM/Btuh

Load Sens Heat Ratio 88

RIGHT-J LOAD AND EQUIPMENT SUMMARY

File name: SEELY.BLD  
 For: SEELY RESIDENCE  
 LOT #3, THE PLANTATION  
 SEWALL'S POINT FL

11/08/98

By:

THREE STORY/FOUR ZONE RESIDENCE  
 VERIFY ALL CALCULATIONS WITH  
 LICENSED AIR COND. CONTRACTOR

Job #:  
 Wthr : West Palm\_Beach\_AP FL  
 Zone : ZONE 4

WINTER DESIGN CONDITIONS

Outside db: 45 Deg F  
 Inside db: 70 Deg F  
 Design TD: 25 Deg F

SUMMER DESIGN CONDITIONS

Outside db: 91 Deg F  
 Inside db: 75 Deg F  
 Design TD: 16 Deg F  
 Daily Range M  
 Rel. Hum. : 50 %  
 Grains Water 60 gr

HEATING SUMMARY

Bldg. Heat Loss 8113 Btuh  
 Ventilation Air 25 CFM  
 Vent Air Loss 678 Btuh  
 Design Heat Load 8790 Btuh

SENSIBLE COOLING EQUIP LOAD SIZING

Structure 7880 Btuh  
 Ventilation 0 Btuh  
 Design Temp. Swing 3.0 Deg F  
 Use Mfg. Data n  
 Rate/Swing Mult. 0.95  
 Total Sens Equip Load 7486 Btuh

INFILTRATION

Method	Simplified	
Construction Quality	Average	
Fireplaces	2	
	HEATING	COOLING
Area (sq.ft.)	710	710
Volume (cu.ft.)	1876	1876
Air Changes/Hour	2.0	0.4
Equivalent CFM	62	22

LATENT COOLING EQUIP LOAD SIZING

Internal Gains 230 Btuh  
 Ventilation 0 Btuh  
 Infiltration 917 Btuh  
 Tot Latent Equip Load 1147 Btuh  
 Total Equip Load 8634 Btuh

HEATING EQUIPMENT SUMMARY

Make  
 Model  
 Type

Efficiency / HSPF 0.0  
 Heating Input 0 Btuh  
 Heating Output 0 Btuh  
 Heating Temp Rise 0 Deg F  
 Actual Heating Fan 421 CFM  
 Htg Air Flow Factor 0.056 CFM/Btuh

Space Thermostat

COOLING EQUIPMENT SUMMARY

Make  
 Model  
 Type

COP/EER/SEER 0.0  
 Sensible Cooling 0 Btuh  
 Latent Cooling 0 Btuh  
 Total Cooling 0 Btuh  
 Actual Cooling Fan 421 CFM  
 Clg Air Flow Factor 0.053 CFM/Btuh

Load Sens Heat Ratio 87

PROJECT NAME: SEELY RESIDENCE
AND ADDRESS: LOT #3, THE PLANTATIO
SEWALL'S POINT, FL

BUILDER:
PERMITTING OFFICE:
PERMIT NO.

CLIMATE
ZONE: 7 | 8 | 9 |
JURISDICTION NO.

OWNER:

CK

- 1. New construction or addition
2. Single family detached or Multifamily attached
3. If Multifamily-No. of units
4. If Multifamily, is this a worst case (yes/no)
5. Conditioned floor area (sq.ft.)
6. Predominant eave overhang (ft.)
7. Porch overhang length (ft.)
8. Glass area and type:
a. Clear Glass
b. Tint, film or solar screen
9. Floor type and insulation:
a. Slab on grade (R-value, perimeter)
b. Wood, raised (R-value, area )
10. Net Wall type area and insulation:
a. Exterior: 1. Concrete (Insulation R-value)
b. Adjacent: 1. Concrete (Insulation R-value)
b. Adjacent: 2. Wood frame (Insulation R-value)
11. Ceiling type area and insulation:
a. Under attic (Insulation R-value)
a. Under attic (Insulation R-value)
12. Air distribution systems
a. Ducts (Insulation + Location)
13. Cooling system
14. Heating System:
15. Hot water system:
15. Hot water system:
16. Hot Water Credits: (HR-Heat Recovery,
DHP-Dedicated Heat Pump)
17. Infiltration practice: 1, 2 or 3
18. HVAC Credits (CF-Ceiling Fan, CV-Cross vent,
HF-Whole house fan, RB-Attic radiant
barrier, MZ-Multizone)
19. EPI (must not exceed 100 points)
a. Total As-Built points
b. Total Base points

I Hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Duane McDougall
DATE: 11/8/98

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER/AGENT:
DATE:

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance in accordance with Section 553.908 F.S.

BUILDING OFFICIAL: Bob Bott
DATE: 12-1-98



\*\*\*\*\*  
 SUMMER CALCULATIONS  
 \*\*\*\*\*

=== BASE ===

=== AS-BUILT ===

GLASS-----										
ORIENT	AREA	x BSPM	= POINTS	TYPE	SC	ORIENT	AREA	x SPM	x SOF	= POINTS
N	271.00	109.7	29728.7	SGL TINT		N	26.0	65.2	.57	960.6
				SGL TINT		N	47.0	65.2	.94	2895.9
				SGL TINT		N	46.0	65.2	.91	2729.3
				SGL TINT		N	40.0	65.2	.92	2386.3
				SGL TINT		N	20.0	65.2	.77	1007.6
				SGL TINT		N	21.0	65.2	.79	1084.2
				SGL TINT		N	71.0	65.2	.91	4192.0
E	163.00	109.7	17881.1	SGL TINT		E	11.0	133.9	.80	1177.0
				SGL TINT		E	21.0	133.9	.90	2540.1
				SGL TINT		E	20.0	133.9	.74	1972.0
				SGL TINT		E	12.0	133.9	.79	1266.5
				SGL TINT		E	69.0	133.9	.86	7914.8
				SGL TINT		E	16.0	133.9	.70	1509.4
				SGL TINT		E	14.0	133.9	.83	1555.9
S	874.00	109.7	95877.8	SGL TINT		S	128.0	132.5	.37	6218.7
				SGL TINT		S	64.0	132.5	.30	2544.0
				SGL TINT		S	40.0	132.5	.30	1593.1
				SGL TINT		S	96.0	132.5	.94	12020.4
				SGL TINT		S	96.0	132.5	.95	12084.0
				SGL TINT		S	18.0	132.5	.61	1461.4
				SGL TINT		S	32.0	132.5	.48	2035.2
				SGL TINT		S	144.0	132.5	.39	7420.0
				SGL TINT		S	96.0	132.5	.83	10557.6
				SGL TINT		S	86.0	132.5	.90	10268.2
				SGL TINT		S	18.0	132.5	.81	1937.2
				SGL TINT		S	32.0	132.5	.87	3670.0
				SGL TINT		S	24.0	132.5	.87	2752.5
				SGL TINT		S	18.0	133.9	.95	2281.7
				W	291.00	109.7	31922.7	SGL TINT		W
SGL TINT		W	9.0					133.9	.95	1140.8
SGL TINT		W	54.0					133.9	.93	6748.6
SGL TINT		W	40.0					133.9	.79	4221.5
SGL TINT		W	16.0					133.9	.93	1992.4
SGL TINT		W	4.0					133.9	.74	394.4
SGL TINT		W	9.0					133.9	.77	923.5
SGL TINT		W	39.0					133.9	.84	4369.2
SGL TINT		W	18.0					133.9	.77	1847.1
SGL TINT		W	26.0					133.9	.96	3350.8

.15 x COND. FLOOR /	TOTAL GLASS	= ADJ.	x GLASS	= ADJ GLASS	GLASS
AREA	AREA	FACTOR	POINTS	POINTS	POINTS
.15	7,600.00	1,599.00	.713	175,410.30	125,058.00   142,433.83

NON GLASS-----										
AREA	x BSPM	= POINTS	TYPE	R-VALUE	AREA	x SPM	= POINTS			
WALLS-----										
Ext	5100.0	1.6	8160.0	Ext NormWtBlock In	4.2	5100.0	2.28 11628.0			
Adj	1206.0	1.0	1206.0	Adj NormWtBlock In	4.2	137.0	1.18 161.7			
				Adj Wood Frame	11.0	1069.0	1.00 1069.0			
DOORS-----										
Ext	105.0	6.4	672.0	Ext Wood		66.0	9.40 620.4			
				Ext Insulated		19.0	6.40 121.6			
				Ext Wood		20.0	9.40 188.0			
Adj	108.0	2.6	280.8	Adj Wood		45.0	3.80 171.0			
				Adj Wood		42.0	3.80 159.6			

				Adj Wood	21.0	3.80	79.8		
CEILINGS-----									
UA	7600.0	.8	6080.0	Under Attic	30.0	4710.0	.80	3768.0	
				Under Attic	19.0	2890.0	1.50	4335.0	
FLOORS-----									
Slb	428.0	-20.0	-8560.0	Slab-on-Grade	.0	428.0	-20.00	-8560.0	
Rsd	2180.0	-2.2	-4708.8	Rsd Wood Adjacent	19.0	2180.0	.60	1308.0	
INFILTRATION-----									
	7600.0	14.7	111720.0	Practice #2	7600.0	14.70	111720.0		
TOTAL SUMMER POINTS									
			239,908.00						269,203.88
TOTAL x SYSTEM = COOLING				TOTAL x CAP x DUCT x SYSTEM x CREDIT = COOLING					
SUM PTS	MULT		POINTS	COMPON	RATIO	MULT	MULT	MULT	POINTS
239,908.00	.37		88,765.96	269,203.88	1.00	1.100	.310	.817	74,999.39

\*\*\*\*\*

WINTER CALCULATIONS

\*\*\*\*\*

=== BASE ===

=== AS-BUILT ===

GLASS-----										
ORIENT	AREA	x BWPM	= POINTS	TYPE	SC	ORIENT	AREA	x WPM	x WOF	= POINTS
N	271.00	-.4	-108.4	SGL TINT		N	26.0	3.7	1.23	118.4
				SGL TINT		N	47.0	3.7	1.03	178.7
				SGL TINT		N	46.0	3.7	1.04	177.0
				SGL TINT		N	40.0	3.7	1.04	153.7
				SGL TINT		N	20.0	3.7	1.11	82.0
				SGL TINT		N	21.0	3.7	1.10	85.1
				SGL TINT		N	71.0	3.7	1.04	273.8
E	163.00	-.4	-65.2	SGL TINT		E	11.0	.2	5.31	11.7
				SGL TINT		E	21.0	.2	3.11	13.1
				SGL TINT		E	20.0	.2	6.92	27.7
				SGL TINT		E	12.0	.2	5.59	13.4
				SGL TINT		E	69.0	.2	4.06	56.0
				SGL TINT		E	16.0	.2	7.79	24.9
				SGL TINT		E	14.0	.2	4.62	12.9
S	874.00	-.4	-349.6	SGL TINT		S	128.0	-1.8	-1.33	306.8
				SGL TINT		S	64.0	-1.8	-1.92	221.2
				SGL TINT		S	40.0	-1.8	-1.92	137.9
				SGL TINT		S	96.0	-1.8	.94	-163.3
				SGL TINT		S	96.0	-1.8	.95	-164.2
				SGL TINT		S	18.0	-1.8	.31	-10.2
				SGL TINT		S	32.0	-1.8	-.34	19.6
				SGL TINT		S	144.0	-1.8	-1.12	290.4
				SGL TINT		S	96.0	-1.8	.79	-136.5
				SGL TINT		S	86.0	-1.8	.90	-138.8
				SGL TINT		S	18.0	-1.8	.76	-24.6
				SGL TINT		S	32.0	-1.8	.84	-48.6
				SGL TINT		S	24.0	-1.8	.84	-36.4
				W	291.00	-.4	-116.4	SGL TINT		W
SGL TINT		W	58.0					.2	1.95	22.7
SGL TINT		W	9.0					.2	2.13	3.8
SGL TINT		W	54.0					.2	2.49	26.9
SGL TINT		W	40.0					.2	5.59	44.7
SGL TINT		W	16.0					.2	2.58	8.3
SGL TINT		W	4.0					.2	6.92	5.5
SGL TINT		W	9.0					.2	6.13	11.0
SGL TINT		W	39.0					.2	4.48	34.9
SGL TINT		W	18.0					.2	6.13	22.1
SGL TINT		W	26.0					.2	1.78	9.3

.15 x COND. FLOOR /	TOTAL GLASS	= ADJ. x	GLASS	=	ADJ GLASS	GLASS
AREA	AREA	FACTOR	POINTS		POINTS	POINTS
.15	7,600.00	1,599.00	.713	-639.60	-456.00	1,678.61

NON GLASS-----										
AREA	x	BWPM	= POINTS	TYPE	R-VALUE	AREA	x	WPM	= POINTS	
WALLS-----										
Ext	5100.0	.3	1530.0	Ext NormWtBlock	In 4.2	5100.0	1.02	5202.0		
Adj	1206.0	.5	603.0	Adj NormWtBlock	In 4.2	137.0	.44	60.3		
				Adj Wood Frame	11.0	1069.0	.50	534.5		
DOORS-----										
Ext	105.0	1.8	189.0	Ext Wood		66.0	2.80	184.8		
				Ext Insulated		19.0	1.80	34.2		
				Ext Wood		20.0	2.80	56.0		
Adj	108.0	1.3	140.4	Adj Wood		45.0	1.90	85.5		
				Adj Wood		42.0	1.90	79.8		

				Adj Wood	21.0	1.90	39.9								
CEILINGS-----															
UA	7600.0	.1	760.0	Under Attic	30.0	4710.0	.10	471.0							
				Under Attic	19.0	2890.0	.30	867.0							
FLOORS-----															
Slb	428.0	-2.1	-898.8	Slab-on-Grade	.0	428.0	-2.10	-898.8							
Rsd	2180.0	-.3	-610.4	Rsd Wood Adjacent	19.0	2180.0	.30	654.0							
INFILTRATION-----															
	7600.0	1.2	9120.0	Practice #2	7600.0	1.20	9120.0								
=====				=====											
TOTAL WINTER POINTS															
			10,377.20						18,168.79						
=====				=====											
TOTAL	x	SYSTEM	=	HEATING	TOTAL	x	CAP	x	DUCT	x	SYSTEM	x	CREDIT	=	HEATING
WIN PTS		MULT		POINTS	COMPON		RATIO		MULT		MULT		MULT		POINTS
10,377.20		1.10		11,414.92	18,168.79		1.00		1.100		1.000		.950		18,986.39
=====				=====											

\*\*\*\*\*  
WATER HEATING  
\*\*\*\*\*

=== BASE ===				=== AS-BUILT ===					
NUM OF BEDRMS	x	MULT	= TOTAL	TANK VOLUME	EF	TANK RATIO	x MULT	x CREDIT MULT	= TOTAL
4		3319.0	13,276.00	80	.90	.500	3244.7	1.00	6,489.33
				80	.90	.500	3244.7	1.00	6,489.33
			13,276.00						12,978.67

\*\*\*\*\*  
SUMMARY  
\*\*\*\*\*

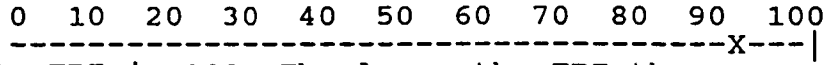
=== BASE ===				=== AS-BUILT ===			
COOLING POINTS	HEATING POINTS	HOT WATER POINTS	= TOTAL POINTS	COOLING POINTS	HEATING POINTS	HOT WATER POINTS	= TOTAL POINTS
88766.0	11414.9	13276.0	113,456.88	74999.4	18986.4	12978.7	106,964.45

\*\*\*\*\*  
\* EPI = 94.28 \*  
\*\*\*\*\*

ENERGY GUIDE

For detailed information of the EPI rating number or for any ITEM listed, ask your Builder for DCA Form 600A-93 or Form 600B-93

EPI= 94.3



The maximum allowable EPI is 100. The lower the EPI the more efficient the home

RESIDENTIAL ENERGY PERFORMANCE RATING SHEET

ITEM	HOME VALUE	Low Efficiency		High Efficiency	
		SINGL CLR		DBL TINT	
WINDOWS.....	Single Tint	-----X-----			
INSULATION.....					
Ceiling R-Value.....	30.0	R-10		R-30	
Wall R-Value.....	4.2	R-0		R-7	
Floor R-Value.....	19.0	R-0		R-19	
AIR CONDITIONER.....					
SEER.....	11.0	10.0	SEER	17.0	
HEATING SYSTEM.....					
Electric COP.....	1.0	2.50	COP	4.19	
WATER HEATER.....					
Electric EF.....	0.90	0.88		0.96	
Gas EF.....	0.00	0.54		0.90	
Solar EF.....		0.40		0.80	
OTHER FEATURES.....					

I certify that these energy saving features required for the Florida Energy Code have been installed in this house.

Address: \_\_\_\_\_ Builder Signature: \_\_\_\_\_ Date: \_\_\_\_\_

City/Zip \_\_\_\_\_  
 Florida Energy Code for Building Construction - 1993  
 Florida Department of Community Affairs

# BABER & ASSOCIATES

## ENGINEERING & TECHNICAL SERVICES

732 BUCK HENDRY WAY  
NORTH STUART BUSINESS PARK  
STUART, FL 34994  
PH/FAX: (561) 692-4910  
E-MAIL: BABERENGINEER@MINDSPRING.COM

Aug 27, 1999

**RE: SEELY RESIDENCE, SURFACE WATER MANAGEMENT**

### I. INTRODUCTION

These calculations are for the management and storage of surface waters (storm water runoff) using a detention area. Calculations and design were based on South Florida Water Management's "District Management and Storage of Surface Waters, Permit Information Manual Volume IV, 1994"

### II. DESIGN PARAMETERS & ANALYSIS

- A. Total Site Area: 68,521 sq-ft
- B. Impervious Area: 18,724 sq-ft
- C. % Impervious =  $18724/68521 = 0.27$
- D. Design Storm: 100 year, 3 Day
- E. Soils:
  - Classification: Sand
  - Permeability: 30"/hr
  - Depth to water Table: 72" (or more)
  - Dry Detention
  - Flood Routing/Design Event: 100 yr, 3 Day (14.3" Total Rainfall)

### III. WATER QUALITY

Water quality will be accommodated by treatment of runoff into swales. Retention or Detention Criteria: Greater volume first inch of runoff or 2.5% x % impervious. Dry detention is 75% less than results of above calculation.

First Inch Criteria:  $68,521 \text{ sq-ft} \times 1 \text{ in} \times 1 \text{ ft} / 12 \text{ in} = 5,710 \text{ ft}^3$

$2.5 \times \% \text{ Impervious} = 2.5 \times .27 = .67 \text{ inches}$ , First Inch runoff controls.

Dry Detention Volume Required:  $5710 \text{ ft}^3 \times 0.75 = 4,280 \text{ ft}^3$  (Water Quality)

### IV. DESIGN STORM: 100 Year, 3 Day, No Offsite Discharge

- A. 100 Year, 1 Day – 10.5" (SFWMD IV, C-1-7)
- B. 100 Year, 3 Day = 10.5" x 1.359 = 14.3"
- C. Intensity Histogram (C-1-8)
- D. Maximum Runoff is at t = 59 hrs, 3 inch / hr

## V. RUNOFF CALCULATION

Runoff is the amount of water that does not percolate, accumulates in the swale, and flows to a collection point. Parameters affecting the amount of runoff are surface roughness (sodded, planted, natural) slope (gradient) and the amount of depressions or "ponding".

Soil Storage (S) is the volume of water the soil is capable of accommodating by percolation. This is taken as the maximum of 12 inches.

The weighted soil storage is corrected for impervious area.

$$S_w = 12 (1-.27) = 8.76''$$

$$P = \text{Cumulative Rainfall} = 14.3''$$

$$Q = \text{Runoff} = (P-0.2S)^2 / (P+0.8S_w) = 6.64 \text{ Inches (For 100 year 3 day).}$$

$$\text{Volume Required to be Percolated or Stored in 72 hours} = (6.64/12) \times 68,521 = 37,914 \text{ ft}^3$$

Based on soil storage capacity, excellent percolation, and high depth to water table, accommodation of the above volume will be by swale or retention area percolation. Percolation area sizing based on maximum runoff rate.

Maximum runoff rate 3 inches per hour (t = 59 hrs)

$$3 \text{ inches} \times 1 \text{ ft} / 12 \text{ inches} = 17,130 \text{ cubic feet / hr, maximum runoff rate.}$$

$$\text{Percolation rate} = 30 \text{ inches / hr} = 2.5 \text{ ft / hr.}$$

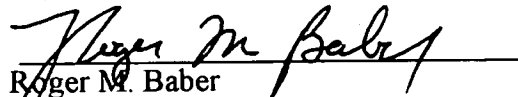
$$\text{Retention surface area required: } 17,130 \text{ cubic feet} / 2.5 = 6,852 \text{ sq-ft.}$$

The site grading plan should accommodate an impoundment area of 6,850 sq-ft by swales, or front / rear lot retention.

The calculations indicate that the design will impound and percolate a 100 year 3 day storm event with no offsite discharge.

## VI. CONCLUSION

The above quantitative analysis concurs with the qualitative evaluation of the site. The soil log, depth to the water table, high permeability, and soil storage capacity indicate that the site is well drained and is unlikely to flood under all but the most extreme circumstances. The qualitative evaluation is consistent with the quantitative analysis described above.

  
Roger M. Baber  
Professional Engineer  
FL 43855





OFFICIAL RECEIPT  
(FOR MONEY RECEIVED)

No. 536372

DATE 12.11, 1998

Legal Svs. SCHOOL

RECEIVED FROM Portia + Greg Seely \$ 1,006.03  
(NAME OR ORGANIZATION)

FOR imp fees - lot 3, Plantation

FOR DEPOSIT IN \_\_\_\_\_ FUND(S)

D. Falls  
PRINCIPAL OR RESPONSIBLE OFFICER

# M.A. CORSON & ASSOCIATES, Inc.

ARCHITECTURE      STRUCTURAL DESIGN

7188 S. E. Seagate Lane Stuart, Fl. 34997

(561) 223-8227 \* Lic.# AA2971

To: Sewall's Point Building Department

Date: 11/11/98

Re: Seely Residence  
Lot #3 The Plantation

This office approves of the following:

1. I here by certify that all areas of the structure, for the above mentioned residence, shall meet all of the structural load requirements for the 140 mile per hour wind loading as required for the area. The new structure is designed to meet all gravity, lateral, and uplift loads which will be created by a 140 wind force.

Thank you for your time and consideration. If you have any questions please call.

Sincerely,



Mark A. Corson A.I.A.

cc: file



**SEWALL'S POINT PLANTATION HOMEOWNERS ASSOCIATION  
2421 SE OCEAN BOULEVARD, #1093  
STUART FLORIDA 34996**

Ellyn Stevenson 287-9995 Tony Smith 288-1244 Irene Todd 286-9897 Nick Elliott 223-0566

**To: Town of Sewall's Point  
Building Department**

**Re: Seely Residence**

**Please be advised that the Sewall's Point Plantation HOA has reviewed the proposed plans for the construction of the Seely home, and finds that the design and scope of this project are compatible with the homes within our development.**

**At this time, we have not submitted the plans to an independent architect for review, nor have we approved exterior color or landscape plans. When these items are completed we will be able to give further approval. However, we would like to see this project commence as soon as possible. The Plantation HOA is relying on the Town of Sewall's Point and other applicable authorities to determine that all regulations, zoning ordinances, height restrictions, and principles of sound construction are followed.**

**Please call me if there are any questions regarding the requirements of the Plantation.**

**Sincerely,**

**Ellyn Stevenson, President  
Sewall's Point Plantation HOA**

*Handwritten notes:*  
W W W  
W W W  
W W W  
W W W  
W W W

**SEWALL'S POINT PLANTATION HOMEOWNERS ASSOCIATION  
2421 SE OCEAN BOULEVARD, #1093  
STUART FLORIDA 34996**

**Ellyn Stevenson 287-9996 Tony Smith 288-1244 Irene Todd 286-9897 Nick Elliott 223-0566**

**To: Town of Sewall's Point  
Building Department**


**Re: Seely Residence**

**Please be advised that the Sewall's Point Plantation HOA has reviewed the proposed plans for the construction of the Seely home, and finds that the design and scope of this project are compatible with the homes within our development.**

**At this time, we have not submitted the plans to an independent architect for review, nor have we approved exterior color or landscape plans. When these items are completed we will be able to give further approval. However, we would like to see this project commence as soon as possible. The Plantation HOA is relying on the Town of Sewall's Point and other applicable authorities to determine that all regulations, zoning ordinances, height restrictions, and principles of sound construction are followed.**

**Please call me if there are any questions regarding the requirements of the Plantation.**

**Sincerely,**



**Ellyn Stevenson, President  
Sewall's Point Plantation HOA**

**SEWALL'S POINT PLANTATION HOMEOWNERS ASSOCIATION  
2421 SE OCEAN BOULEVARD, #1093  
STUART FLORIDA 34996**

Ellyn Stevenson 287-9995 Tony Smith 288-1244 Irene Todd 286-9897 Nick Elliott 223-0566

**2/1/99**

**To:  
Town of Sewall's Point, Building Dept.  
Mr. and Mrs. Greg Seely**

**Please review the following comments submitted to the Sewall's Point  
Plantation HOA following our request for an independent study of the  
building plans presented to us for approval.**

**I look forward to receiving your comments regarding plans for  
compliance.**

**Thank you,**

A handwritten signature in cursive script that reads "Ellyn Stevenson". The signature is written in black ink and is positioned above the typed name and title.

**Ellyn Stevenson, President  
Sewall's Point Plantation HOA**



# KELLY & KELLY ARCHITECTS



January 29, 1999

The Plantation A.R.B.  
1 N.E. Lagoon Island Court  
Sewall's Point, Florida 34996

REGARDING: Architectural Review Board

REVIEW OF: Seely Residence

COMMENTS:

This review is for compliance of "The Plantation" architectural criteria only and not for Sewall's Point and the South Florida Building Codes.

- 1.) A/C compressors & sprinkler pump can not be located within the sideline setbacks according to the Sewall's point code.
- 2.) Any structure over 6'-0" in height may not be located within setback (trellis and equipment enclosure).
- 3.) Chimney structure exceeds the 3'-0" maximum height above 27'-0" allowed by code.
- 4.) Please indicate rear setback for the proposed residence.
- 5.) A minimum 5/12 roof pitch is required unless waived by the A.R.B.

CONCLUSION:

Approval recommend subject to above comments.

Respectfully submitted,  
KELLY & KELLY ARCHITECTS

Gary R. Kelly  
Architect

GRK/dm

Cyrus H. Kissling

4 Mindoro St.

Sewall's Point, Fl. 34996

Phone 561-221-1242

Fax 561-221-1249

#4527

April 1, 1999

To: Town of Sewall's Point  
BUILDING DEPARTMENT

Re: Seely building project, The Plantation

Dear Richard and Pat,

Eric Holley, Dale Brown and I met today at the Seely site in the Plantation.

After a through review of the building plans and a topo that Eric prepared, Dale and Eric concluded that the finish floor elevation was to be set at 32 feet above msl.

This finding indicates that the finish floor as set forth in the plans must be built at an elevation slightly higher than the garage footer form boards are presently located. There is a 30' mark on the north wall.

Eric has agreed to furnish the building department with a copy of his topo for our file.

Sincerely



Cyrus Kissling

# FRASER ENGINEERING AND TESTING, INC.

VERO BEACH (561) 567-6167

3504 INDUSTRIAL 33rd STREET • FORT PIERCE • FLORIDA • 34946  
 FORT PIERCE (561) 461-7508

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

Report  
 of  
 DENSITY OF SOIL IN PLACE  
 ASTM D2922

CLIENT: Gribben Construction

Date: 10/1/99

CONTRACTOR: Client

Permit #: 4527

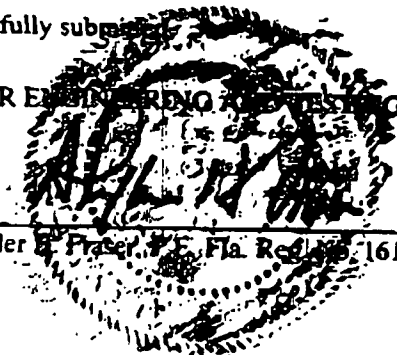
SITE: ~~FRASER ENGINEERING AND TESTING, INC.~~  
 Foundation Fill

DENSITY TEST NO.	DATE TESTED	LOCATION	ELEVATION	MOISTURE-DENSITY RELATIONSHIP		IN PLACE DRY DENSITY	PERCENT COMPACTION
				TEST NO.	MAX. DRY WT.		
1656	10/1/99	N.E. Corner	0 - 1'	1656	100.7	98.9	98.2
			1 - 2'			99.2	98.5
			2 - 3'			99.0	98.3
			3 - 4'			99.6	98.9
		Center	4 - 5'			99.3	98.6
			0 - 1'			99.5	98.8
			1 - 2'			98.8	98.1
			2 - 3'			99.3	98.6
		S.W. Corner	3 - 4'			99.5	98.8
			4 - 5'			99.6	98.9
			0 - 1'			98.9	98.2
			1 - 2'			99.4	98.7
			2 - 3'			99.0	98.3
			3 - 4'			98.8	98.1
			4 - 5'			99.1	98.4
			ALL ELEVATIONS BELOW SLAB GRADE				

Copies: Client - 1  
 Sewall's Point Bldg. Dept. - 1

Respectfully submitted,  
 FRASER ENGINEERING AND TESTING, INC.

Alexander E. Fraser, P.E., Fla. Reg. No. 16178





# FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET

FORT PIERCE, FLORIDA 34946

VERO BEACH (361) 567-6167

FORT PIERCE (881) 481-7598

STUART (881) 283-7711

FT. PIERCE 1-800-233-8011

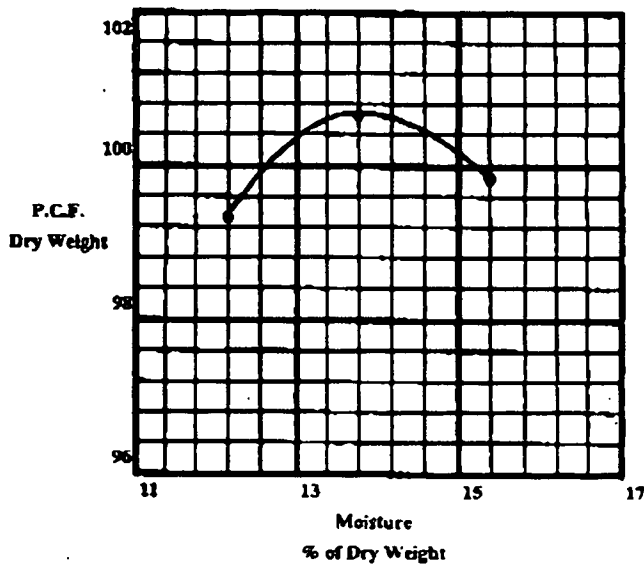
## Report of MOISTURE DENSITY RELATIONSHIP ASTM D-1557

CLIENT: Gribben Construction

DATE: 10/1/99

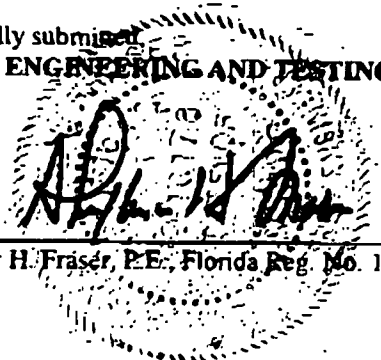
CONTRACTOR: Client

SITE: 37 N.E. Lofting Way  
Foundation Fill



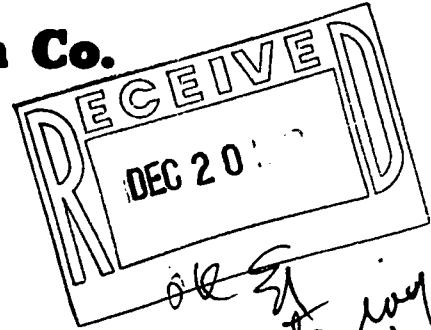
Test No.	Test Method	Sample Location	Optimum Moisture %	Max. Dry Density- P.C.F.	Soil Description
1656	B	Composite	13.8	100.7	Brown, fine sand

Respectfully submitted,  
FRASER ENGINEERING AND TESTING, INC.



Alexander H. Fraser, P.E., Florida Reg. No. 16178

**GRIBBEN**  
**Construction Co.**



December 20, 1999

Town of Sewall's Point Building Dept.  
Stuart, FL 34996

Attn: Ed Arnold

Dear Mr. Arnold,

37 LOWTAGE WAY  
PW 4527 (SECRET)

OK S  
12/20  
file copy of  
letter w/ cover

We apologize for any confusion regarding the re-inspection of the column pads for Friday morning inspection. We thought that you were coming out Friday morning between 8:30 a.m. and 9:00 a.m. and were not aware we had to call the inspection in to the office. We apologize for any miscommunication on our part. We have enclosed an affidavit stating that the extra bars were installed in the column footings. If you have any questions, please call.

Sincerely,

Edward W. Gribben  
President



AFFAVIDIT

This is to certify that an addition bar was placed in each direction for every column pad on the Seely job site as per request and discussion with Ed Arnold.

A handwritten signature in cursive script, appearing to read 'E. Gribben', written over a horizontal line.

Edward W. Gribben  
President

A handwritten signature in cursive script, appearing to read 'Jason Moras', written over a horizontal line.

Jason Moras  
Foreman

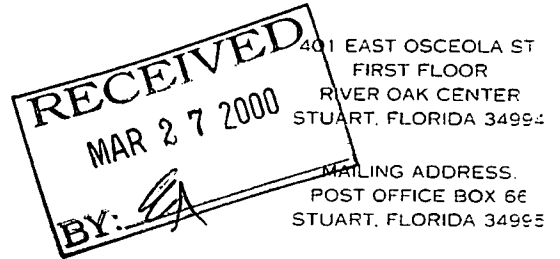
A handwritten signature in cursive script, appearing to read 'Lou Decarolis', written over a horizontal line.

Lou Decarolis  
Concrete finisher

LAW OFFICES OF  
CORNETT, GOOGE, ROSS & EARLE, P.A.

JANE L. CORNETT  
HOWARD E. GOOGE  
DEBORAH L. ROSS  
DAVID B. EARLE

\_\_\_\_\_  
CHARLES W. SINGER  
OF COUNSEL  
\_\_\_\_\_



(561) 286-2990  
FAX (561) 286-2996

March 23, 2000

Via Facsimile and U.S. Regular Mail

Joseph Dorsky, Town Manager  
Town of Sewall's Point  
1 South Sewall's Point Road  
Stuart, FL 34996

Ed Arnold, Town Building Official  
Town of Sewall's Point  
1 South Sewall's Point Road  
Stuart, FL 34996

and

Tim Wright, Esq.  
Attorney for Town of Sewall's Point  
Warner, Fox, Wackeen, Seely, Dungey,  
Sweet & Wright, L.L.P.  
P. O. Drawer 6  
Stuart, FL 34995-0006

RE: Seely Property/Building Permit Issue - 37 N.E. COPPIN WAY

Gentlemen:

Please consider this letter as a follow-up to my conversations with Tim Wright relative to the above-referenced property ("Subject Property") and the owner's desire to construct a single-family home. My firm represents the property owner's general contractor - Gribben Construction Company.

Joseph Dorsky, Town Manager  
Ed Arnold, Town Building Official  
Tim Wright, Esq.  
March 23, 2000  
Page 2

As a matter of some background, an initial building permit was issued by the Town of Sewall's Point in December of 1998 for the subject property (at a cost of approximately \$8,400.00). However, at that time, no one - including the Town's Building Official at the time - realized that an elevation problem existed with the proposed plans to construct a single-family home on the subject property. After the initial building permit was issued, the Town of Sewall's Point Building Department placed a red tag on the property related to the elevation issue. As I am sure you are well aware, a considerable effort was undertaken by all concerned to arrive at a suitable solution to this problem. Notwithstanding, the end result was that the elevation problem necessitated a complete architectural re-design and a significant delay before any efforts could be undertaken to construct a single-family residence on the subject property. It is my understanding that it was not until November of 1999 when these new plans were reviewed and approved by the current Town Building Official (at a cost of \$800.00 for that review).

The practical result of all of this effort is that a completely different home is being planned and built on the subject property. Moreover, the December 1998 permit has languished and expired. It is my understanding from Mr. Gribben that the Town's Building Officials have only in the last week or so requested an additional permit fee be paid to the Town pursuant to its ordinance.

Fully understanding that the Town must enforce its regulations regarding the time constraints associated with building permits, but also believing that there are certain inequities associated with requiring an additional permit fee to be paid regarding the subject property, we would like to formally request that the Town rebate the cost of the initial building permit (in that the proposed residence under that building permit was never really constructed or pursued). Furthermore, we would request that any such rebate be retroactively applied to the November 1999 plan approval for the new residence intended to be constructed on the subject property so that, from a time standpoint, we would be in the middle of a permit period. Mr. Gribben anticipates completion of the single-family residence in the November/December 2000 time frame. We understand that the recent ordinance modifications allowing for up to an additional six (6) months extension for pro rata fee payments may provide a suitable and fair solution to the current situation.

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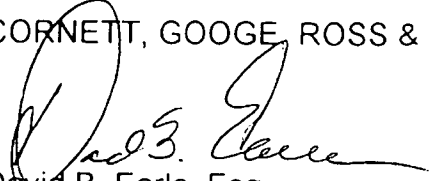
Joseph Dorsky, Town Manager  
Ed Arnold, Town Building Official  
Tim Wright, Esq.  
March 23, 2000  
Page 3

My conversations with Mr. Wright indicate that there is nothing in the Sewall's Point Town ordinances which would prevent such a rebate. I also am attempting to find further support for this solution within other applicable statutory and/or code provisions. I would like the opportunity to discuss this matter with you at your earliest convenience and would respectfully request that you temporarily delay any efforts to red tag the subject property until a suitable solution can be reached.

Please contact me at your earliest convenience. I look forward to discussing this matter with you.

Very truly yours,

CORNETT, GOUGE, ROSS & EARLE, P.A.

  
David B. Earle, Esq.

DBE/mj

cc: Gribben Construction Company  
Greg Seely

# WARNER, FOX, WACKEEN, DUNGEY SEELEY, SWEET & WRIGHT, L.L.P.

DEBORAH B. BEARD  
RICHARD J. DUNGEY  
M. LANNING FOX  
GARY L. SWEET  
W. THOMAS WACKEEN  
THOMAS E. WARNER  
TIM B. WRIGHT

1100 S. FEDERAL HIGHWAY  
P.O. DRAWER 6  
STUART, FLORIDA 34995-0006  
(561) 287-4444  
TELEFAX (561) 220-1489  
JUPITER (561) 744-0499

ANTHONY L. CONTICELLO  
SHAWN C. GRAY  
LOUIS E. LOZEAU, JR.  
MICHAEL J. McCLUSKEY  
WILLIAM R. PONSOLDT, JR.  
SUSANN B. WARD

\* BOARD CERTIFIED REAL ESTATE LAWYER  
\*\* BOARD CERTIFIED CIVIL TRIAL LAWYER

AARON A. FOOSANER  
ROBERT L. SEELEY  
OF COUNSEL

RECEIVED  
MAR 30 2000  
BY: EA (far)

March 29, 2000

Mr. David B. Earle  
Cornett, Googe, Ross & Earle, P.A.  
P.O. Box 66  
Stuart, Florida 34995-0066

Re: Town of Sewall's Point; Seely Property

Dear David:

This letter is in response to your letter to the Town of Sewall's Point requesting a refund of your client's building permit fee. I have reviewed this matter with the building official, and reviewed the Town Code, and it is my opinion that your client is not entitled to, nor is there any authority for him, to receive a refund of the fee. As we discussed in our telephone conversation on Monday, if the building permit for the work being done on the property is not obtained from the Town by the close of business Friday afternoon, the building official will red tag the job.

Sincerely yours,

Tim E. Wright

TBW/mcf

cc: Commissioner Thomas Bausch  
Mr. Joseph C. Dorsky  
Mr. Edwin Arnold  
Mrs. Joan H. Barrow

READ  
(EA 9/1) →

3/31 P/C TIM WRIGHT  
- KITTY EARLE WILL FAX  
MATTER "PERMIT ISSUE"  
ARGUMENT TODAY VIA FAX  
- DEFER RED TAG  
- RESPOND TO REQUEST (DEADLINE)  
THEY THEY CAN APPEAL TO  
BZA.

LAW OFFICES OF  
CORNETT, GOOGE, ROSS & EARLE, P.A.

JANE L. CORNETT  
HOWARD E. GOOGE  
DEBORAH L. ROSS  
DAVID B. EARLE

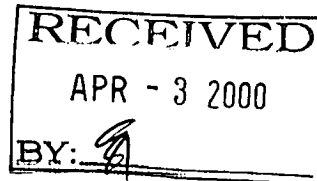
401 EAST OSCEOLA ST.  
FIRST FLOOR  
RIVER OAK CENTER  
STUART, FLORIDA 34994

MAILING ADDRESS:  
POST OFFICE BOX 66  
STUART, FLORIDA 34995

(561) 286-2990  
FAX (561) 286-2996

\_\_\_\_\_  
CHARLES W. SINGER  
OF COUNSEL

**FILE**



*response prepared  
(fax cc rec'd 3/31)*

March 31, 2000

Via Facsimile and U.S. Regular Mail

Joseph Dorsky, Town Manager  
Town of Sewall's Point  
1 South Sewall's Point Road  
Stuart, FL 34996

Ed Arnold, Town Building Official  
Town of Sewall's Point  
1 South Sewall's Point Road  
Stuart, FL 34996

and

Tim Wright, Esq.  
Attorney for Town of Sewall's Point  
Warner, Fox, Wackeen, Seely, Dungey,  
Sweet & Wright, L.L.P.  
P. O. Drawer 6  
Stuart, FL 34995-0006

RE: Seely Property/Building Permit Issue

Gentlemen:

This letter is in furtherance to my conversations with Tim Wright about the above-referenced property ("Subject Property"), and my prior correspondence dated March 23, 2000, and Mr. Wright's correspondence dated March 29, 2000.



Joseph Dorsky, Town Manager  
Ed Arnold, Town Building Official  
Tim Wright, Esq.  
March 31, 2000  
Page 2

As I have indicated to Mr. Wright, we are diligently attempting to find a mutually agreeable alternative to the payment of an additional building permit fee (at a cost of approximately \$8,400.00) for the residence proposed on the Subject Property. The arguments raised in my prior correspondence are incorporated in this further request for reconsideration. As noted in my prior correspondence, I have been researching this matter and would like to draw your attention to additional support for my argument from the South Florida Building Code; the adopted building code of the Town of Sewall's Point.

Specifically, Section 3.02.1(e), entitled "Changes to Application", states in pertinent part:

"In the event of a change in any material specification given in the application which served as a basis for issuing the permit, the permit holder shall immediately file an amended application detailing such changed conditions . . . . If such changed conditions are determined to be in compliance with the Code and other applicable regulations, an amended building permit will be issued, without additional fee if the changed condition shall not be greater than those permitted in the original permit." (emphasis added).

As noted in my prior correspondence, the circumstances in this case warranted a delay of several months before revised architectural renderings and materials could be sufficiently prepared for the Town of Sewall's Point Building Department. Those changes were clearly material and, in fact, the residence that was initially proposed to be built on the Subject Property was not capable of being built and was changed.

Given the foregoing provisions of the South Florida Building Code, there is sufficient authority available to the Building Official to determine that an amended building permit should be considered as issued upon the November approval of the revised plans for the Subject Property (costing, as you know, \$800.00 for such a review). Moreover, there is nothing which would prevent a tolling of time from the initial application until the November approval of the revised plans.

---

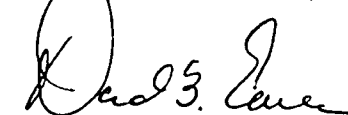
Joseph Dorsky, Town Manager  
Ed Arnold, Town Building Official  
Tim Wright, Esq.  
March 31, 2000  
Page 3

Indeed, under the circumstances, it is completely equitable to allow the requested tolling and application of the prior fee to a new or "amended" building permit. As I am sure you are aware, building permit fees are designed to provide recompense to local governments for the actual time and cost expended by its building department to review plans and provide periodic inspections. In this case, the initial fee paid in December of 1998 was never really utilized for those purposes. The job was red-tagged in its infancy and could not move forward as a result of the undiscovered elevation issue until such time as the revised plans were presented and approved at additional cost in November of 1999. Payment of another fee at this time would be akin to a penalty.

Consequently, we respectfully request consideration for the initial fee to be applied to the November, 1999 plan approval so that, from a time standpoint, we would be in the middle of a permit period. Upon expiration of one (1) year from the November, 1999 time frame, Mr. Gribben would be able to seek an additional six (6) months extension and a pro rata fee payment basis and provide for a suitable and fair resolution to these current problems. Please advise us of your interpretation of the foregoing authority and determination regarding this request as soon as possible.

Very truly yours,

CORNETT, GOOGE, ROSS & EARLE, P.A.



David B. Earle, Esq.

DBE/mj

cc: Gribben Construction Company  
Greg Seely

ROBERT M. WIENKE  
Mayor

MARC S. TEPLITZ  
Vice Mayor

DAWSON C. GLOVER, III  
Commissioner

THOMAS P. BAUSCH  
Commissioner

E. DANIEL MORRIS  
Commissioner

# TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY  
Town Manager

JOAN H. BARROW  
Town Clerk

LARRY E. McCarthy  
Chief of Police

EDWIN B. ARNOLD  
Building Official

JOSE TORRES, JR.  
Maintenance

March 31, 2000

David B. Earle, Esq.  
Cornett, Goge, Ross & Earle, P.A.  
401 East Osceola Street  
P.O. Box 66  
Stuart, Florida 34995

Re: Building Permit No. 4527  
Gribben Construction  
37 N.E. Lofting Way

Dear Mr. Earle:

On behalf of the contractor you have requested that the referenced permit, which expired on December 20, 1999, be extended and/or renewed without payment of renewal fees; alternatively, you have requested that the fees paid for this permit be rebated, with the proceeds applied to issuance of a "new" permit commencing at the time the revised plans were reviewed and construction recommenced in November, 1999. These requests are denied.

Through inadvertence (hardly to your client's detriment), construction work was allowed to continue after the permit expiration on December 20, 1999; I have deferred action during the past three weeks to provide time for all parties to thoroughly acquaint themselves with the issues - and hopefully, thereupon to comply.

It is my understanding that Mr. Wright has confirmed that there is no provision under our code for extension of the permit under the conditions of this project. The South Florida Building Code provision which you cite in your most recent letter (an administrative provision which I do not believe would in any event take precedence over local ordinance) is directed to additional building permit fees - which were not assessed against your client and have never been an issue.

FAX TRANSMITTAL 2 PAGES

▷ TO: TIM WRIGHT

▷ FROM: EW ARNOLD

4/3/00 FAX TO: 220-489

*9/13 2:00 PM  
- reviewed w/ Tim (please)  
- release letter; he will  
- send separate letter to  
attorney & request of  
proceeds*

*TIM;  
THIS LETTER HAS NOT BEEN  
DISTRIBUTED - COMMENTS?*



One South Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org  
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

March 31, 2000  
David B. Earle, Esq.  
Page 2 of 2

In accordance with the provisions of the Codes and Ordinances of the Town of Sewall's Point, I am prepared to renew the original permit for a period of one (1) year, from December 21, 1999 through December 20, 2000, upon payment of the sum of Eight Thousand Four Hundred Seven and 80/100 Dollars (\$8,407.80), constituting the amount of building fees (Building, A/C, Electrical, Plumbing and Roofing) assessed at the time of issuance of the original permit.

In the event the renewal fee as noted above is not paid by Friday, April 7, 2000, a Stop Work Order will be posted on the job site at 5:00 p.m. on that date. Further construction activities shall be prohibited thereafter until such time as the fee is paid and a valid permit renewal issued.

Sincerely,

Edwin B. Arnold, AIA, CBO  
Building Official

cc: Thomas P. Bausch, Building Commissioner  
Joseph C. Dorsky, Town Manager  
Tim B. Wright, Town Attorney

---

**WARNER, FOX, WACKEEN, DUNGEY  
SEELEY, SWEET & WRIGHT, L.L.P.**

DEBORAH B. BEARD  
RICHARD J. DUNGEY\*  
M. LANNING FOX\*  
GARY L. SWEET  
W. THOMAS WACKEEN\*\*  
THOMAS E. WARNER\*\*  
TIM B. WRIGHT

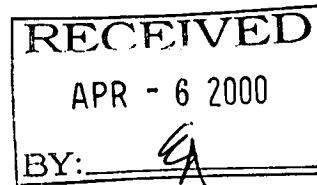
1100 S. FEDERAL HIGHWAY  
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SUSANN B. WARD

\* BOARD CERTIFIED REAL ESTATE LAWYER  
\*\* BOARD CERTIFIED CIVIL TRIAL LAWYER

AARON A. FOOSANER  
ROBERT L. SEELEY  
OF COUNSEL

**FILE**  
37 NE LOFTING



April 4, 2000

Mr. David B. Earle  
Cornett, Googe, Ross & Earle, P.A.  
P.O. Box 66  
Stuart, Florida 34995-0066

Re: Town of Sewall's Point; Seely Property

Dear David:

This letter is a supplement to Mr. Arnold's response to your letter of March 31, 2000. While the Town will require that the permit fee be paid, we will not take the position that payment of the fee waives any right to appeal the matter to the BZA, nor take the position that once paid the fee could not be refunded even if the decision was reversed by the BZA.

Please call me if you have any questions.

Sincerely yours,

  
Tim B. Wright

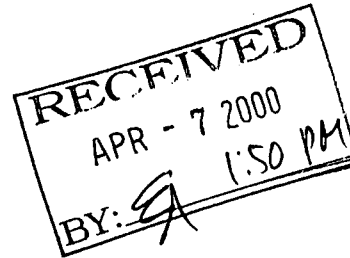
TBW/mcf

cc: Commissioner Thomas P. Bausch  
Mr. Joseph C. Dorsky  
Mr. Edwin B. Arnold ✓  
Mrs. Joan H. Barrow

LAW OFFICES OF  
CORNETT, GOOGE, ROSS & EARLE, P.A.

JANE L. CORNETT  
HOWARD E. GOOGE  
DEBORAH L. ROSS  
DAVID B. EARLE

\_\_\_\_\_  
CHARLES W. SINGER  
OF COUNSEL



401 EAST OSCEOLA ST.  
FIRST FLOOR  
RIVER OAK CENTER  
STUART, FLORIDA 34994

MAILING ADDRESS:  
POST OFFICE BOX 66  
STUART, FLORIDA 34995

(561) 286-2990  
FAX (561) 286-2996

April 7, 2000

**Via Hand Delivery**

Ed Arnold, Town Building Official  
Town of Sewall's Point  
1 South Sewall's Point Road  
Stuart, FL 34996

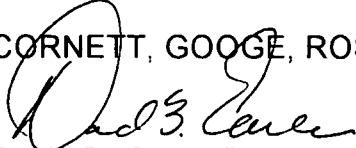
RE: Permit No. 4527/Gribben Construction  
37 NE Lofting Way

Dear Mr. Arnold:

In response to your letter of March 31, 2000, the sum of \$8,407.80 is being remitted to the Town of Sewall's Point to renew the original building permit for the above-referenced job site. Pursuant to my discussions with the Sewall's Point Town attorney, Tim Wright, this payment is being made under protest without waiver of any rights to challenge the interpretation of the Building Department with regard to the renewal of this permit. Nevertheless, this payment is being made to avoid any further delay associated with reg-tagging the job.

Very truly yours,

CORNETT, GOOGE, ROSS & EARLE, P.A.

  
David B. Earle, Esq.

DBE/mj  
Encl.  
cc: Gribben Construction Company  
Greg Seely

PORTIA SEELY OR GREG SEELY  
CONSTRUCTION LOAN ACCOUNT  
131 Sw Willow Lake Trail  
Stuart, Fl 34997

0132

63-607/670

Date 4/6/00

Pay to the  
Order of

Town of Seewall's Point

\$ 4,203.90

Four thousand two hundred three & 90/100

Dollars

Security features  
included.  
Details on back.

**SUNTRUST**

SunTrust Bank, South Florida, N.A.  
Financial Center Office  
Stuart, Florida

For

1/2 Bldg Permit Renewal

Portia Seely

⑆067006076⑆0⑆28300033936⑆ 0132

CHEQUE 1997

**GRIBBEN CONSTRUCTION COMPANY**

3077 SE DIXIE HIGHWAY  
STUART FL 34997  
(888) 288-8330

**FIRST NATIONAL  
BANK AND TRUST COMPANY**

STUART, FLORIDA 34997  
(888) 516-670

19609

PAY  
TO THE  
ORDER OF

Four thousand two hundred three and 90/100  
Town of Seewall's Point

DATE

4-7-00

AMOUNT

\$ 4,203.90

Lavonne K. Bell

AUTHORIZED SIGNATURE

⑆019609⑆ ⑆067005158⑆

0032109871⑆

**GRIBBEN CONSTRUCTION COMPANY**

19609

Seely permit

**ROBERT M. WIENKE**  
Mayor

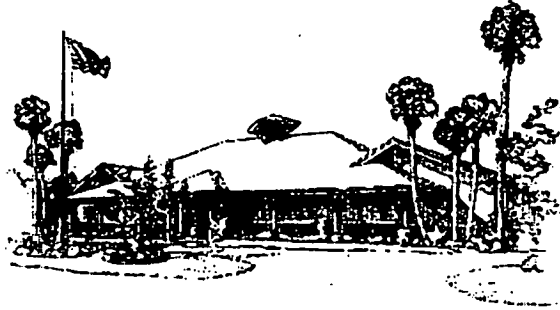
**MARC S. TEPLITZ**  
Vice Mayor

**DAWSON C. GLOVER, III**  
Commissioner

**THOMAS P. BAUSCH**  
Commissioner

**E. DANIEL MORRIS**  
Commissioner

# TOWN OF SEWALL'S POINT



**JOSEPH C. DORSKY**  
Town Manager

**JOAN H. BARROW**  
Town Clerk

**LARRY E. McCarthy**  
Chief of Police

**EDWIN B. ARNOLD**  
Building Official

**JOSE TORRES, JR.**  
Maintenance

April 14, 2000

David B. Earle, Esq.  
Cornett, Goge, Ross & Earle, P.A.  
401 East Osceola Street  
P.O. Box 66  
Stuart, Florida 34995

**COPY**

**FILE**

Re: Building Permit No. 4527  
Gribben Construction  
37 N.E. Lofting Way

Dear Mr. Earle:

On April 7, 2000, the sum of \$8,407.80, remitted to the Town of Sewall's Point on that date from your office, was applied in renewal of the referenced building permit, which had expired on December 20, 1999. This payment having been timely made pursuant to my letter of March 31, 2000, construction activities have been allowed to proceed without interruption.

A renewal Building Permit (No. 4895) was prepared on April 7, 2000, effective for the twelve month period commencing 12/21/99 through 12/20/2000; this document requires the contractor's signature as applicant and I have requested Mr. Gribben to do so. This is more than a "technicality" in that a valid building permit must be posted on the job site at all times, and I would request through you that he immediately comply. A copy of the permit is attached.

You have indicated that you may seek administrative review of my decision regarding renewal requirements for the permit. Please note that under Section 82-101 of the Sewall's Point Code (formerly App. B, Sec. XV,B,1) such appeal to the BZA must be taken within 30 days of the order, requirement, decision or determination appealed - in this instance: April 7, 2000.



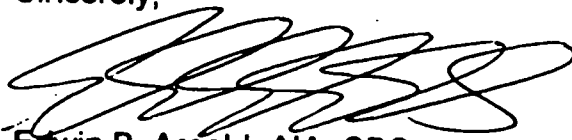
One South Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: [clerk@sewallspoint.org](mailto:clerk@sewallspoint.org)  
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: [police@sewallspoint.org](mailto:police@sewallspoint.org)



April 14, 2000  
David B. Earle, Esq.  
Page 2 of 2

As a convenience, I am enclosing copies of the referenced Code sections on administrative review, appreciating, of course, that all legal issues will be addressed through the Town Attorney. If I can otherwise be of any assistance, or answer any questions, feel free to contact me.

Sincerely,



Edwin B. Arnold, AIA, CBO  
Building Official

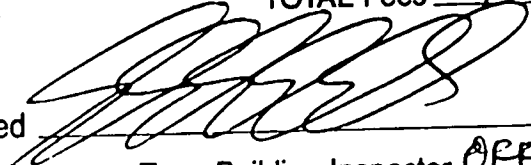
cc: Thomas P. Bausch, Building Commissioner  
Joseph C. Dorsky, Town Manager  
Tim B. Wright, Town Attorney

(EXPIRED)  
MASTER PERMIT NO. 4527

**TOWN OF SEWALL'S POINT**

Date 4/7/00; EFFECTIVE 12/21/99 THRU 12/20/00 BUILDING PERMIT NO. 4895  
Building to be erected for G. & P. SEELY Type of Permit BLDG. - S.F.R.  
Applied for by GRIBBEN CONST. (Contractor) Building Fee \$8,007.80  
Subdivision PLANTATION Lot 3 Block \_\_\_\_\_ Radon Fee N/A  
Address 37 N.E. LOFTING WAY Impact Fee N/A  
Type of structure S.F.R. (UNDER CONSTRUCTION) A/C Fee 100.00  
ONE YEAR PERMIT RENEWAL FEE Electrical Fee 100.00  
Parcel Control Number: Plumbing Fee 100.00  
26-37-41-013-000-000-30-00000 Roofing Fee 100.00  
Amount Paid \$4,203.90 CHECK # 0132 (SEELY) Other Fees ( \_\_\_\_\_ ) -0-  
\$4,203.90 Check # 19609 (GRIBBEN) TOTAL Fees \$8,407.80  
Total Construction Cost \$ 1,100,000.00

Signed \_\_\_\_\_  
Applicant

Signed   
Town Building Inspector OFFICIAL

**WARNER, FOX, WACKEEN, DUNGEY  
SEELEY, SWEET & WRIGHT, L.L.P.**

DEBORAH B. BEARD  
RICHARD J. DUNGEY\*  
M. LANNING FOX\*  
GARY L. SWEET  
W. THOMAS WACKEEN\*\*  
THOMAS E. WARNER\*\*  
TIM B. WRIGHT

1100 S. FEDERAL HIGHWAY  
P.O. DRAWER 6  
STUART, FLORIDA 34995-0006  
(561) 287-4444  
TELEFAX (561) 220-1489  
JUPITER (561) 744-6489

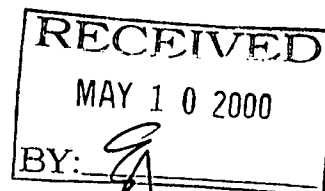
ANTHONY L. CONTICELLO  
SHAWN C. GRAY  
LOUIS E. LOZEAU, JR.  
MICHAEL J. McCLUSKEY  
WILLIAM R. PONSOLDT, JR.  
SUSANN B. WARD

\* BOARD CERTIFIED REAL ESTATE LAWYER  
\*\* BOARD CERTIFIED CIVIL TRIAL LAWYER

AARON A. FOOSANER  
ROBERT L. SEELEY  
OF COUNSEL

May 5, 2000

**FILE**



Via Facsimile No. 286-2996

Mr. David B. Earle  
Cornett, Googe, Ross & Earle, P.A.  
P.O. Box 66  
Stuart, Florida 34995-0066

*CLIENT'S COPY*  
*37 NE LANTANA WAY*

Re: Town of Sewall's Point, ~~Seely Property~~

Dear David:

This letter is in response to your letter of May 4, 2000. I enclose a copy of the Town of Sewall's Point Ordinance No. 276.

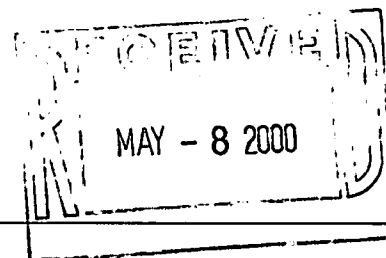
Please call me if you have any questions.

Sincerely yours,

Tim B. Wright

TBW/mcf

cc: Commissioner Thomas P. Bausch  
Mr. Joseph C. Dorsky  
Mr. Edwin B. Arnold  
Mrs. Joan H. Barrow



# FRASER ENGINEERING AND TESTING, INC.

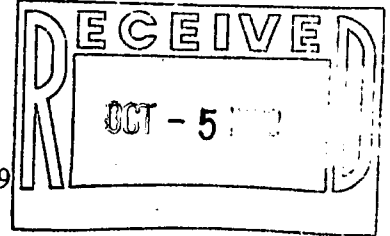
VERO BEACH (561) 567-6167

3504 INDUSTRIAL 33rd STREET \* FORT PIERCE \* FLORIDA \* 34946  
 FORT PIERCE (561) 461-7508

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

Report  
 of  
 DENSITY OF SOIL IN PLACE  
 ASTM D2922



CLIENT: Gribben Construction

Date: 10/1/99

CONTRACTOR: Client

Permit #: 4527

SITE: 37 N.E. Laffan Way  
 Foundation Fill

DENSITY TEST NO.	DATE TESTED	LOCATION	ELEVATION	MOISTURE-DENSITY RELATIONSHIP		IN PLACE DRY DENSITY	PERCENT COMPACTION
				TEST NO.	MAX. DRY WT.		
1656	10/1/99	N.E. Corner	0 - 1'	1656	100.7	98.9	98.2
			1 - 2'			99.2	98.5
			2 - 3'			99.0	98.3
			3 - 4'			99.6	98.9
		Center	4 - 5'			99.3	98.6
			0 - 1'			99.5	98.8
			1 - 2'			98.8	98.1
			2 - 3'			99.3	98.6
		S.W. Corner	3 - 4'			99.5	98.8
			4 - 5'			99.6	98.9
			0 - 1'			98.9	98.2
			1 - 2'			99.4	98.7
			2 - 3'			99.0	98.3
			3 - 4'			98.8	98.1
			4 - 5'			99.1	98.4
			ALL ELEVATIONS BELOW SLAB GRADE				

Copies: Client - 1  
 Sewall's Point Bldg. Dept. - 1

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.

Alexander H. Fraser, P.E. Fla. Reg. No. 16178

# FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET

FORT PIERCE, FLORIDA 34946

VERO BEACH (561) 567-6167

FORT PIERCE (561) 461-7598

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

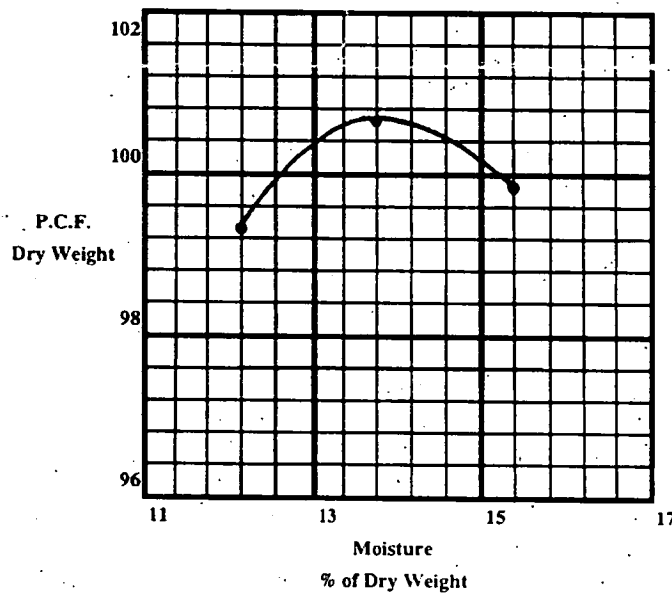
## Report of MOISTURE DENSITY RELATIONSHIP ASTM D-1557

CLIENT: Gribben Construction

DATE: 10/1/99

CONTRACTOR: Client

SITE: 37 N.E. Lofting Way  
Foundation Fill



Test No.	Test Method	Sample Location	Optimum Moisture %	Max. Dry Density- P.C.F.	Soil Description
1656	B	Composite	13.8	100.7	Brown, fine sand

Respectfully submitted  
FRASER ENGINEERING AND TESTING, INC.

Alexander H. Fraser, P.E., Florida Reg. No. 16178

# FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET \* FORT PIERCE \* FLORIDA \* 34946

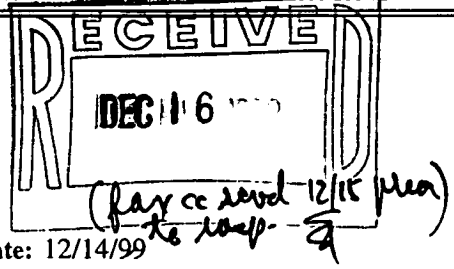
VERO BEACH (561) 567-6167

FORT PIERCE (561) 461-7508

STUART (561) 283-7711

FT. PIERCE 1-800-233-6011

Report  
of  
DENSITY OF SOIL IN PLACE  
ASTM D2922



CLIENT: Gribben Construction Company

Date: 12/14/99

CONTRACTOR: Client

Permit #: 4527

SITE: ~~37 Loring Way~~  
Stemwall Backfill

DENSITY TEST NO.	DATE TESTED	LOCATION	ELEVATION	MOISTURE-DENSITY RELATIONSHIP		IN PLACE DRY DENSITY	PERCENT COMPACTION
				TEST NO.	MAX. DRY WT.		
2414	12/14/99	N.E. Corner	0 - 1'	2414	104.8	101.3	96.7
		Center	"			107.2	102.3
		S.W. Corner	"			104.5	99.7
ALL ELEVATIONS BELOW SLAB GRADE							

Copies: Client - 1  
Sewall's Point Bldg. Dept. - 1

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.

Alexander H. Fraser, P.E. Fla. Reg. No. 16178

# FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET

FORT PIERCE, FLORIDA 34946

VERO BEACH (561) 567-6167

FORT PIERCE (561) 461-7598

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

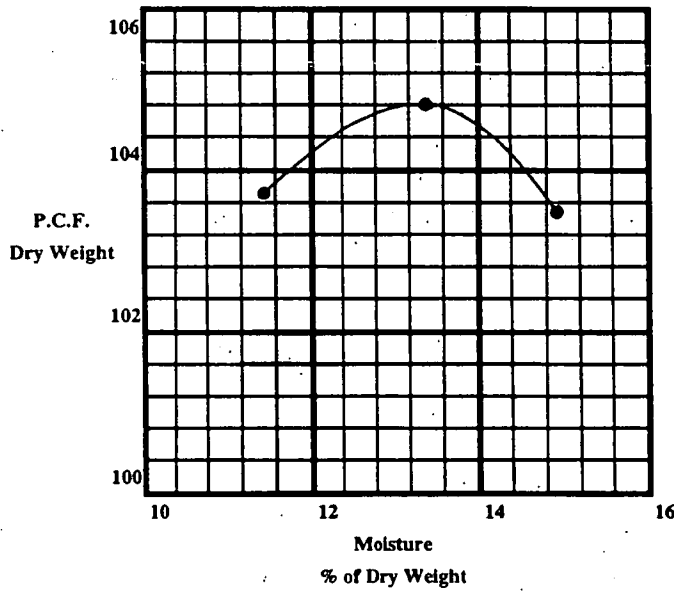
## Report of MOISTURE DENSITY RELATIONSHIP ASTM D-1557

CLIENT: Gribben Construction company

DATE: 12/14/99

CONTRACTOR: Client

SITE: 37 Lofting Way  
Stemwall Backfill



Test No.	Test Method	Sample Location	Optimum Moisture %	Max. Dry Density- P.C.F.	Soil Description
2414	B	Composite	13.4	104.8	Brown, fine sand with traces of shell fragments

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.

Alexander H. Fraser, P.E., Florida Reg. No. 16178

# FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET \* FORT PIERCE \* FLORIDA \* 34946

VERO BEACH (888) 567-6167

FORT PIERCE (888) 461-7608

STUART (888) 283-7711

FT. PIERCE 1-800-233-9011

Report  
of  
DENSITY OF SOIL IN PLACE  
ASTM D2922

**CLIENT:** Gribben Construction Co.

**Date:** 1/4/00

**CONTRACTOR:** Client

**Permit #:** 4527

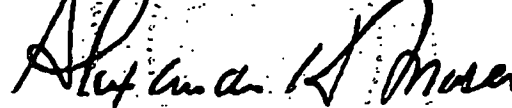
**SITE:** 37 Lofting Way  
Footings Racquetball/Garage

DENSITY TEST NO.	DATE TESTED	LOCATION	ELEVATION	MOISTURE-DENSITY RELATIONSHIP		IN PLACE DRY DENSITY	PERCENT COMPACTION
				TEST NO.	MAX. DRY WT.		
2562	1/4/00	S.E. Corner	0 - 1'	2562	102.3	101.1	98.8
		S.W. Corner	"			100.8	98.5
		Center, E.	"			100.9	98.6
		Center, W.	"			101.3	99.0
		N.E. Corner	"			100.7	98.4
ALL ELEVATIONS BELOW FOOTING GRADE							

Copies: Client - 1  
Sewall's Point Bldg. Dept. - 1

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.



Alexander H. Fraser, P.E. Fla. Reg. No. 16178



**FRASER ENGINEERING AND TESTING, INC.**

3304 INDUSTRIAL 33RD STREET

FORT PIERCE, FLORIDA 34946

VERO BEACH (561) 567-6167

FORT PIERCE (561) 461-7598

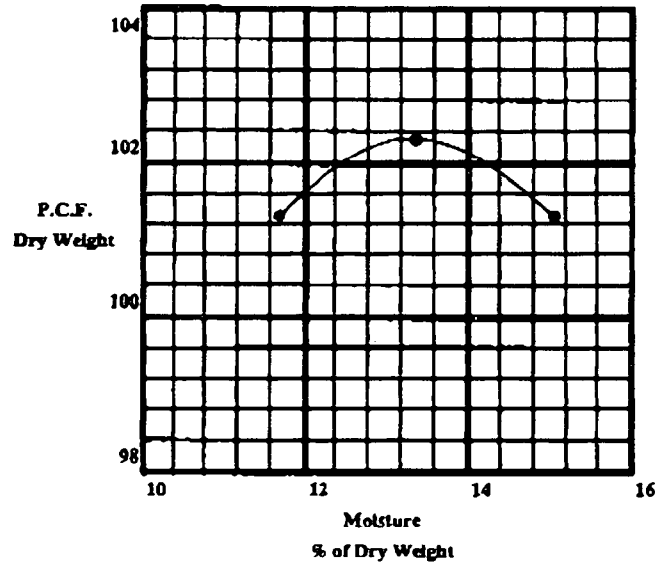
STUART (561) 283-7711

FT. PIERCE 1-800-233-8011

Report  
of  
**MOISTURE DENSITY RELATIONSHIP**  
**ASTM D-1557**

**CLIENT:** Gribben Construction Co.**DATE:** 1/4/00**CONTRACTOR:** Client

**SITE:** 3700 Löffing Way  
Footings Racquetball/Garage



Test No.	Test Method	Sample Location	Optimum Moisture %	Max. Dry Density- P.C.F.	Soil Description
2562	B	Composite	13.4	102.3	Brown, fine sand

Respectfully submitted,

**FRASER ENGINEERING AND TESTING, INC.**

Alexander H. Fraser, P.E., Florida Reg. No. 16178

**4895**

**SFR**

---

(EXPIRED)  
MASTER PERMIT NO. 4527

**TOWN OF SEWALL'S POINT**

Date 4/7/00; EFFECTIVE 12/21/99 THRU 12/20/00

BUILDING PERMIT NO. 4895

Building to be erected for G. & P. SEELY

Type of Permit BLDG. - S.F.R.

Applied for by GRIBBEN CONST.

(Contractor)

Building Fee \$8,007.80

Subdivision PLANTATION

Lot 3

Block \_\_\_\_\_

Radon Fee N/A

Address 37 N.E. LOFTING WAY

Impact Fee N/A

Type of structure S.F.R. (UNDER CONSTRUCTION)

A/C Fee 100.00

ONE YEAR PERMIT RENEWAL FEE

Electrical Fee 100.00

Parcel Control Number:

Plumbing Fee 100.00

26-37-41-013-000-000-30-00000

Roofing Fee 100.00

Amount Paid \$4,203.90 CHECK # 0132 (SEELY)  
\$4,203.90 Check # 19609 (GRIBBEN)

Other Fees ( \_\_\_\_\_ ) -0-

Total Construction Cost \$ 1,100,000.00

TOTAL Fees \$8,407.80

Signed [Signature]

Applicant

Signed [Signature]

Town Building Inspector OFFICIAL

**BUILDING PERMIT**

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE \_\_\_\_\_

LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

**WORK HOURS - 8:00 AM UNTIL 5:00 PM**

**MONDAY THROUGH SATURDAY**

New Construction    Remodel    Addition    Demolition

**This permit must be visible from the street, accessible to the inspector.**

**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT, NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**

**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

4895

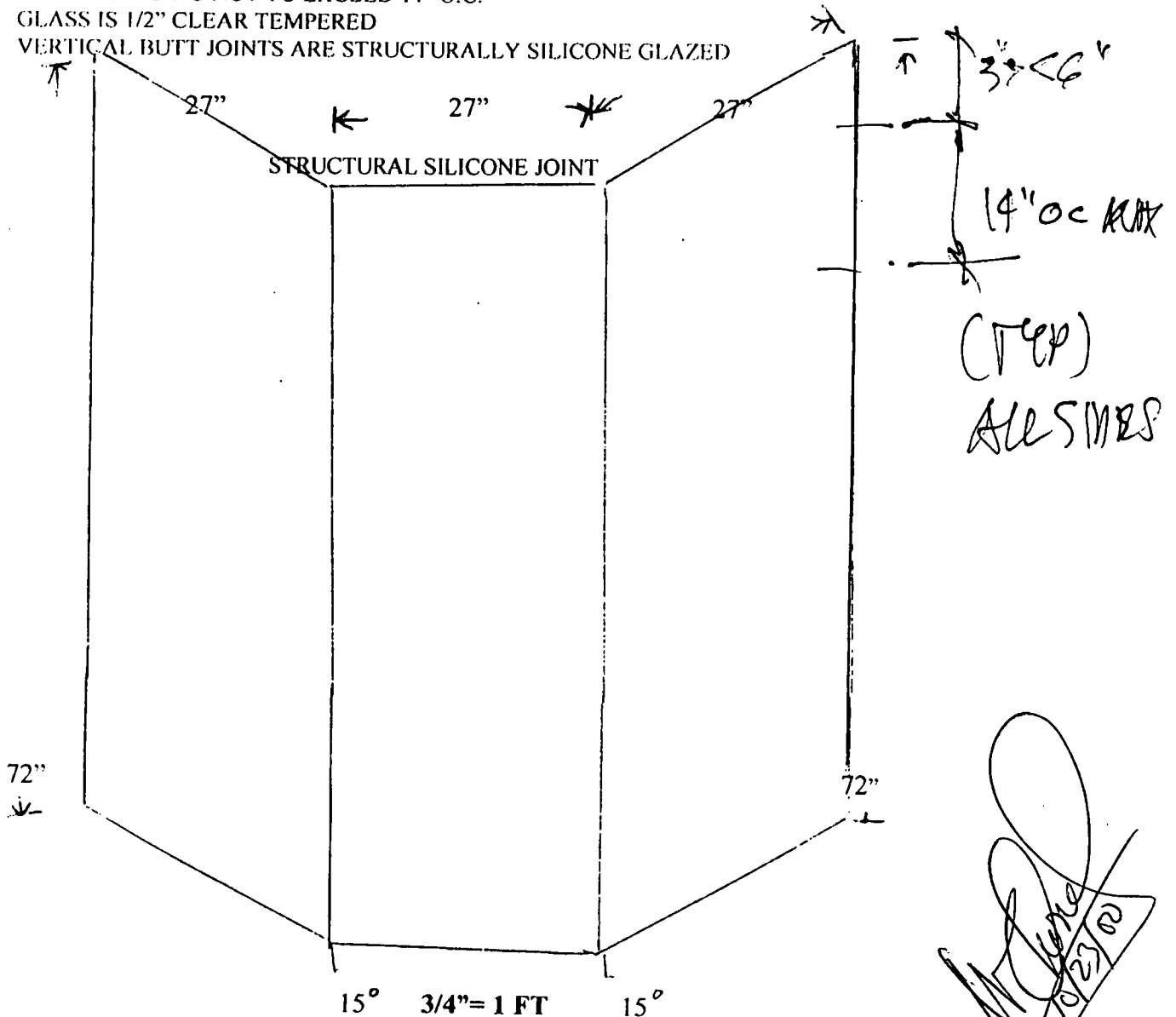
Street  
4984  
1922  
6065  
2262

37 DE COATING  
IN 4895

REC'D 10/27/00

THE FOLLOWING SYSTEM WILL MEET THE CURRENT 140 MPH WIND LOAD  
 THE SYSTEM IS TO BE SHUTTERED AND DOES NOT NEED TO MEET THE IMPACT REQUIREMENTS

PERIMETER FRAMING IS ARCH ALUMINUM'S SERIES 2400 2" X 4" FLUSH-GLAZE  
 PERIMETER IS FASTENED TO SUBSTRATE WITH 1/4 X 3" TAPCONS  
 SCREWS ON ENDS OF SILL/HEADER /JAMBS NOT LESS THAN 3" AND NOT MORE THAN 6"  
 SCREW SPACING NOT TO EXCEED 14" O.C.  
 GLASS IS 1/2" CLEAR TEMPERED  
 VERTICAL BUTT JOINTS ARE STRUCTURALLY SILICONE GLAZED



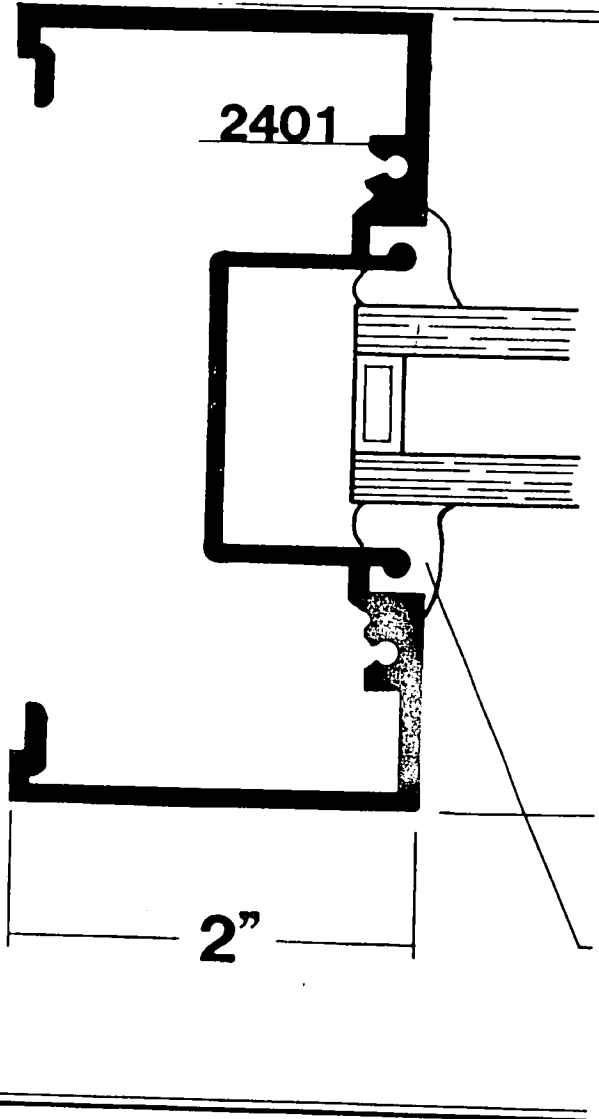
*[Signature]*  
10/27/00

# East Coast Specialties INC.

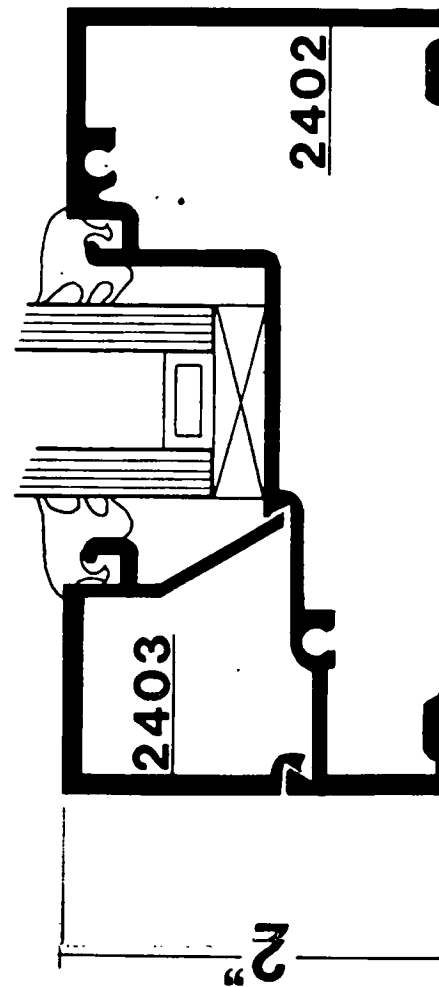
1758 S.W. Biltmore Street  
Port St. Lucie, Florida 34984

561-871-1922  
800-258-6065  
Fax 561-871-2262

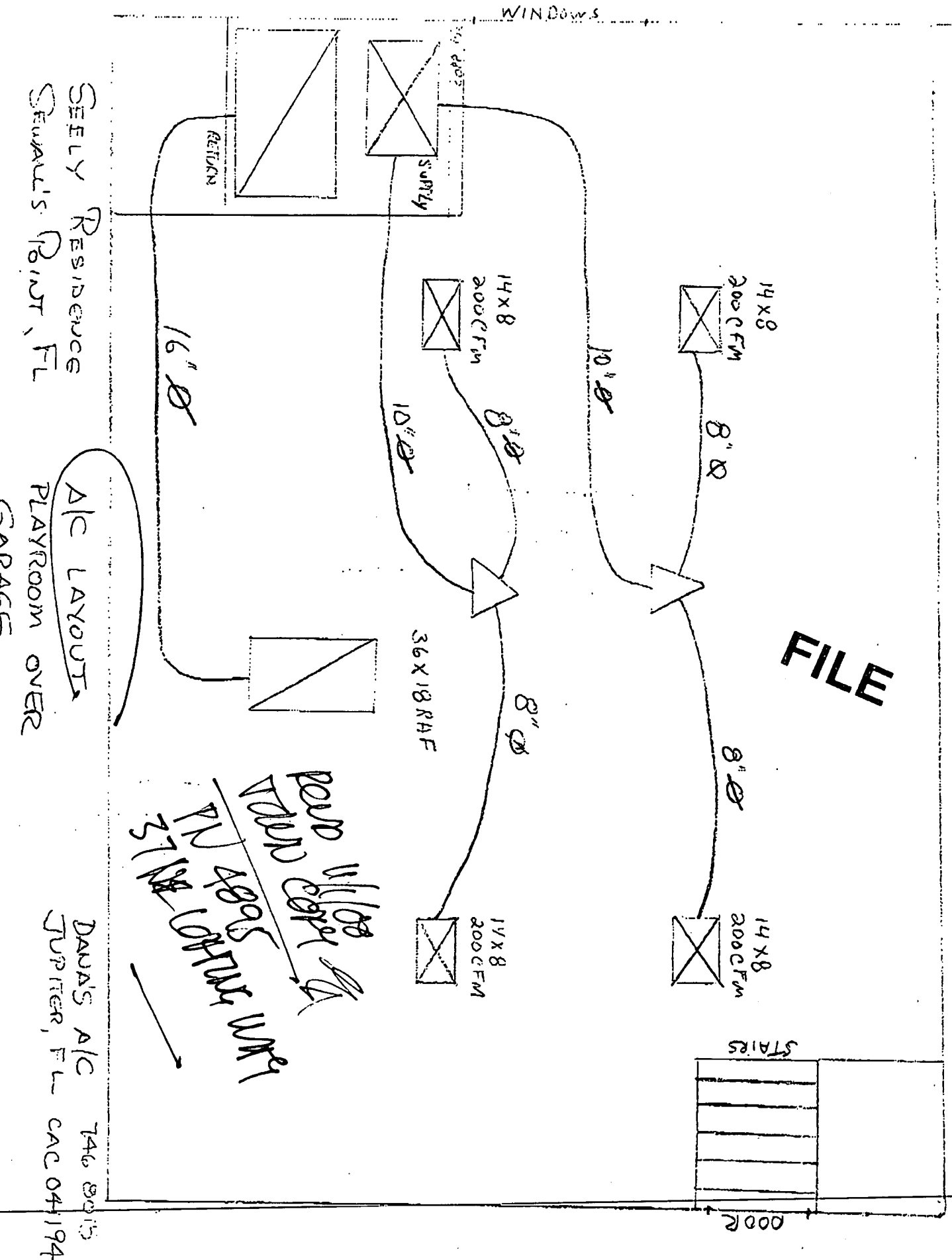
## JAMB



## HEAD / SILL



10/23/08



DANAS AIR 746 8015  
 JUPITER, FL CAC 04194

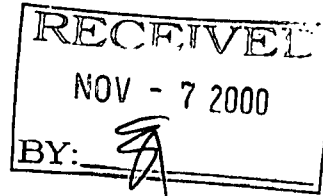
# M.A. CORSON & ASSOCIATES, Inc.

ARCHITECTURE      STRUCTURAL DESIGN  
800 S.E. Ocean Blvd., Suite C    Stuart, Fl. 34994  
(561) 223-8227 \* Lic.# AA2971

To: Sewall's Point Building Department

Date: 11/3/00

Re: Seely Residence  
Lot #3 The Plantation  
Permit #



**FILE**

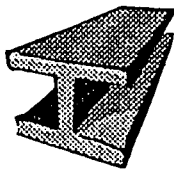
I have reviewed the shop drawings provided by Palm Beach Woodwork Co. and the engineering provided by Mr. Tibedo, P.E. for the front entry door for the above mentioned residence. The details and calculations are acceptable and appear to meet the required codes, and I approve of the fabrication of the doors.

Thank you for your time and consideration. If you have any questions please call.

Sincerely,

Mark A. Corson A.I.A.

cc: file  
Gribben  
hfdgsp3



**GEORGE A. TIBEDO, P.E.**

1214 North K Street

Lake Worth, FL 33460-2238


ph: (561) 547-5350, fax: (561) 547-5350, cell: (561) 758-5995

email: engineeringnet@yahoo.com

October 23, 2000

Palm Beach Woodwork  
800 - 23<sup>rd</sup> Street  
West Palm Beach, FL 33407

**FILE**  
TOWN FILE

RECEIVED  
OCT 26 2000  
BY: 

Subject Property:

Single Family Residence

~~37 NE Palm Beach Blvd~~  
Sewalls Point, FL

SHOP DRGS TO BE SUBMITTED  
TO BLDG DEPT. AFTER REVIEW  
& APPROVAL BY DESIGN ARCHITECT  
ON RECORD.

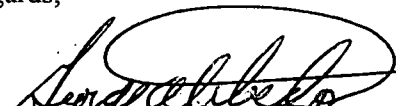
Re: Analysis of Double Entry Exterior Door Assembly

Gentlemen:

The double entry exterior door assembly for the above referenced residence has been analyzed and a comparative analysis made to other doors tested in accordance with Dade County protocol satisfying ASTM E330-84, ASTM E331-86, ASTM E283-84, and AAMA 1302.5. The frame design and anchorage details for the door assembly have been designed for compliance with provisions set forth in the Standard Building Code, the ASTM, and the South Florida Building Code, in accordance with ASCE 7-88 as well as ASCE 7-95. Maximum design pressures were yielded by following provisions set forth in ASCE 7-95 for a 140-mph wind. These maximum design pressures were determined to be +53.35 psf and -75.82 psf, greater than that yielded by an ASCE 7-88 analysis. Results of the wind load analysis and subsequent design details for the door assembly are attached herewith.

To the best of the Engineer's knowledge, the design details listed herein for the double entrance door assembly satisfy requirements set forth in the Standard Building Code.

Regards,

  
George A. Tibedo, P.E. FL # 54291

10/23/2000

C:\Tibedo Eng\PB Woodwork\Door\_PBW101A.doc

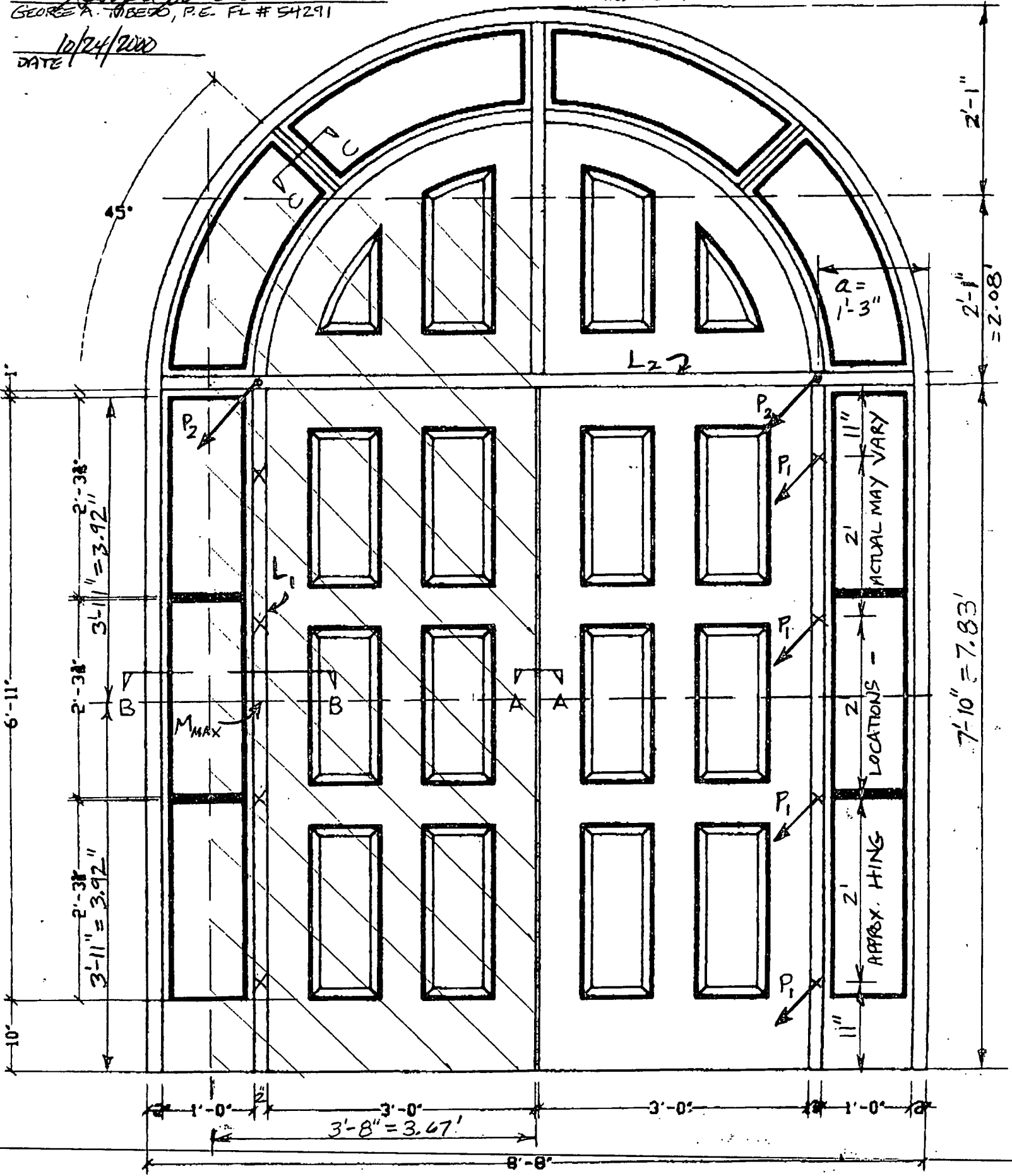


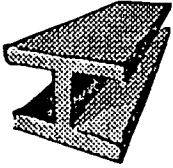
*George A. Toledo*  
 GEORGE A. TOLEDO, P.E. FL # 54291

DATE 10/24/2000

- 37 NE LOFTING
- SEWALLS POINT, FL
- DOOR ANALYSIS
- WOOD HOUSE FRAME INSTALLATION

1





GEORGE A. TIBEDO, P.E.

1214 North K Street

Lake Worth, FL 33460-2238

ph: (561) 547-5350, fax: (561) 547-5350, cell: (561) 758-5995

email: engineeringnet@yahoo.com

October 23, 2000

Palm Beach Woodwork  
800 - 23<sup>rd</sup> Street  
West Palm Beach, FL 33407

Subject Property:  
Single Family Residence  
37 NE Lofting  
Sewalls Point, FL

• FROM WIND LOADING ANALYSIS (PROGRAM)

$$P_{max} = 75.82 \text{ PSF (NEGATIVE)}$$

• CALCULATE MAXIMUM MOMENT ALONG DOOR JAMB SUPPORT L<sub>1</sub>

$$W = 75.82 \text{ PSF} \times 3.67 \text{ FT} = 278 \text{ PLF (VERTICALLY UPWARD } \uparrow \text{)}$$

FOR 4-POINT LOADINGS PULLING ON HINGES AS SHOWN,

$$P_1 = 278 \text{ PLF} \times 7.83 \text{ FT} / 4 \text{ HINGE POINTS} = 544 \text{ LBS EACH HINGE}$$

USING THIS VALUE IN THE COMPUTER ANALYSIS YIELDED

$$M_{max} = 25,019 \text{ IN-LBS}$$

• CALCULATE REQ'D SECTION MODULUS FOR DOOR JAMB, L<sub>1</sub>

$$S = \frac{M}{f_{allow}} = \frac{25,019 \text{ IN-LBS}}{1,850 \text{ LBS/IN}^2} = 13.5 \text{ IN}^3$$

• CALCULATE ACTUAL SECTION MODULUS FOR DOOR JAMB, L<sub>1</sub>

CONSERVATIVELY, THE HATCHED SECTION WILL BE CHECKED FOR SECTION MODULUS

$$S_{ACTUAL} = \frac{bh^2}{6} = \frac{(2 \times 1.5")}{6} (5.25")^2 = 13.8 \text{ IN}^3$$

$$S_{ACTUAL} > S_{REQ'D} \therefore \text{OK.}$$

• CALCULATE MAXIMUM MOMENT AT HEADER, L<sub>2</sub>

$$\text{FROM DRAWING, } P_2 = 75.82 \text{ PSF} \times (3.92' + 2.08') \times 3.67' = 1670 \text{ LB}$$

$$M_{max} = P_2 (a = 1'-3") = 1670 \text{ LB} \times 1.25 \text{ FT} \times 12 \frac{\text{IN}}{\text{FT}} = 25,050 \text{ IN-LB}$$

$$S_{REQ} = \frac{M}{f_{allow}} = \frac{25,050 \text{ IN-LBS}}{1850 \text{ LBS/IN}^2} = 13.5 \text{ IN}^3 \Rightarrow S_{ACTUAL} > S_{REQ'D} \therefore \text{OK.}$$

• FRAME DESIGN IS O.K.  $\Rightarrow$  CALCULATE ANCHORAGE DETAILS

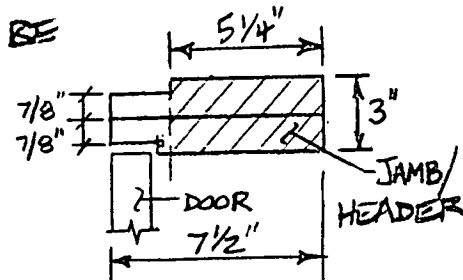
$$75.82 \text{ PSF} \times 8.67' (\text{WIDTH}) \times 12' (\text{HEIGHT}) = 7888 \text{ LBS.}$$

$$7888 \text{ LBS} / (7.83' + 7.83' + \frac{\pi}{2} (d = 8.67'))$$

$$= 269 \text{ LBS/FT REQ'D.}$$

$$269 \text{ LBS} \times 16" \text{ o.c.} / 12" = 360 \text{ LBS/FASTENER}$$

USE 1/4" LAG SCREWS @ 16" O.C. MAX WITH 3/4" MIN. EMBED (OR PROVEN EQUIV.)



*George A. Tibedo*  
George A. Tibedo, P.E. - FL # 54291

C:\Tibedo Eng\PB Woodwork\Cales\_PBW101.doc

# George A. Tibedo, P.E.

Project : Palm Beach Woodwork Company  
 Subject : Door Wind Loading Analysis  
 Location : 37 NE Lofting, Sewel's Point, FL

File : PBW\_101  
 Date : 9/28/00  
 Eng. : GAT

## Design Wind Pressure, p, TABLE 6-1

Design wind pressures and forces are determined per equations given in table 6-1

Design wind loading	Structure type	Equation
Components and cladding	Buildings and Low-rise buildings h ≤ 60 ft Gabled, Hipped and Stepped Roofs	$p$ : $q_h \cdot [(GC_p) - (GC_{pi})]$
		$q_h$ : at mean roof height using Exposure C for all terrain
		$GC_p$ : given in Figure 6-5
		$GC_{pi}$ : given in Table 6-4

## Velocity Pressure Calculations, $q_h$

Velocity pressure  $q_h$  is calculated in accordance with section 6.5

$q_h$  = Velocity pressure @ mean roof height (h)

$q_h$  = Constant ·  $K_h$  ·  $K_{zt}$  ·  $V^2 \cdot I$

$q_h$  = Velocity pressure @ mean roof height (h)

Where :	Constant	= Numerical constant = $\frac{1}{2} \cdot [ ( \text{Air density lb/ cu ft} ) / ( 32.2 \text{ ft/s}^2 ) ] \cdot [ ( \text{mi/h} ) ( 5280 \text{ ft/mi} ) \cdot ( 1 \text{ hr/3600 s} ) ]^2$ = 0.00256	(C2)
	Mean Sea Level	= 0.00 ft	
	Air Density @ MSL	= 0.0765 lb/cu ft	(Table C6-1)
	Category	= II	(Table 1-1)
	Importance Factor	= 1.00	(Table 6-2)
	Exposure Category	= C (Open terrain)	
	Alpha	= 9.50	(Table C6-2)
	Zg	= 900.00 ft	(Table C6-2)
	Basic Wind Speed	= 140.00 mph	(Figure 6-1)
	Mean Roof Height	= 15.00 ft	

*George A. Tibedo*  
 10/24/2000

# George A. Tibedo, P.E.

Project : Palm Beach Woodwork Company  
Subject : Door Wind Loading Analysis  
Location : 37 NE Lofting, Sewel's Point, FL

File : PBW\_101  
Date : 9/28/00  
Eng. : GAT

## Velocity Pressure Calculations, qz (Cont.)

Where : Kh = Velocity pressure coefficient @ height z (C3a)  
=  $2.01 \cdot (Z/Z_g)^{2/\alpha}$  for  $15 \text{ ft} \leq Z \leq Z_g$  (C3b)  
=  $2.01 \cdot (15/Z_g)^{2/\alpha}$  for  $Z < 15 \text{ ft}$   
= 0.85

Kzt = Topographic factor obtained from Fig. 6-2  
=  $(1 + K_1 \cdot K_2 \cdot K_3)^2$

Kzt @ h = 1.00

Topography = None

qh = 42.59 (psf)

## Internal Pressure Coefficient, GCpi, Table 6-4

The internal pressure coefficients are given in Table 6-4

Condition	GCpi (+)	GCpi (-)
Buildings		
(1) Sited in hurricane regions	0.80	-0.30
(2) With glazed openings in lower 60 ft		

Calculated pressures shall be multiplied by 0.85 for buildings sited with in Exposure B and mean roof height less than 60.0 ft

*George Tibedo*  
10/24/2000

# George A. Tibedo, P.E.

Project : Palm Beach Woodwork Company  
 Subject : Door Wind Loading Analysis  
 Location : 37 NE Lofting, Sewel's Point, FL

File : PBW\_101  
 Date : 9/28/00  
 Eng. : GAT

## External Pressure Coefficient, GCp, Figure 6-5

The pressure force coefficient are given in Figure 6-5

Zone	Area (sq. ft.)	Angle (deg)	GCp+	GCp-	GCp R.O.
1	1.00	23.00	0.50	-0.90	-
2	1.00	23.00	0.50	-2.10	-2.20
3	1.00	23.00	0.50	-2.10	-3.70
4	1.00	All	1.00	-1.10	-
5	1.00	All	1.00	-1.40	-

## Design Wind Pressure, p, TABLE 6-1

Design wind pressures and forces are determined per equations given in table 6-1  
 Values of external and internal pressures shall be combined algebraically

Zone	qh (psf)	GCp+	GCp-	GCpi+	GCpi-	p1 (psf)	p2 (psf)	p3 (psf)	p4 (psf)
1	42.59	0.50	-0.90	0.80	-0.30	-10.00	32.16	-67.30	-27.47
2	42.59	0.50	-2.10	0.80	-0.30	-10.00	32.16	-118.41	-78.59
3	42.59	0.50	-2.10	0.80	-0.30	-10.00	32.16	-118.41	-78.59
4	42.59	1.00	-1.10	0.80	-0.30	13.63	53.45	-75.82	-35.99
5	42.59	1.00	-1.40	0.80	-0.30	13.63	53.45	-88.59	-48.77

## Roof overhang wind pressures

Zone	qh (psf)	GCp- (R.O.)	p1 (psf)	p2 (psf)
2	42.59	-2.20	-93.71	-93.71
3	42.59	-3.70	-157.60	-157.60

$$P_{MAX}^+ = 53.45 \text{ PSF}$$

$$P_{MAX}^- = -75.82 \text{ PSF}$$

*George A. Tibedo*  
 10/24/2000



Job No <b>PBW_102300</b>	Sheet No <b>1</b>	Rev
Part		
Ref TIMBER JAMB SUPPORT		
By G. TIBEDO	Date 23-Oct-00	Chd
File Jamb.std	Date/Time 24-Oct-2000 11:44	

Job Title 37 NE LOFTING, SEWALLS POINT

Client PBW

### Job Information

	Engineer	Checked	Approved
Name:	G. TIBEDO		
Date:	23-Oct-00		

**Structure Type** SPACE FRAME

Number of Nodes	6	Highest Node	6
Number of Elements	5	Highest Beam	5

Number of Basic Load Cases	1
Number of Combination Load Cases	0

Included in this printout are data for:

All	The Whole Structure
-----	---------------------

Included in this printout are results for load cases:

Type	LC	Name
Primary	1	WIND LOAD

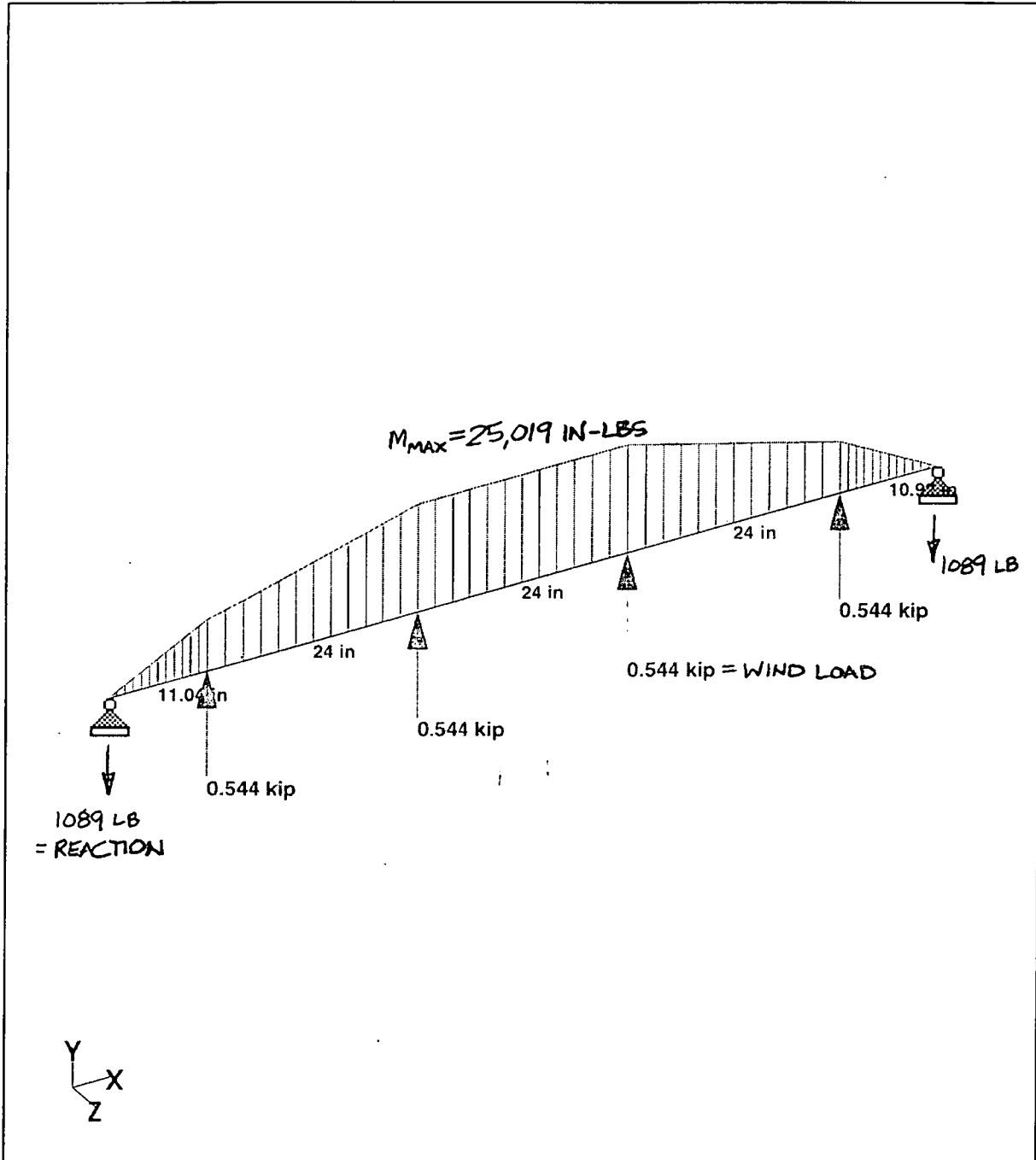
*G. Tibedo*  
10/24/2000



Job No <b>PBW_102300</b>	Sheet No <b>2</b>	Rev
Part		
Ref <b>TIMBER JAMB SUPPORT</b>		
By <b>G. TIBEDO</b>	Date <b>23-Oct-00</b>	Chd
File <b>Jamb.std</b>	Date/Time <b>24-Oct-2000 11:44</b>	

Job Title **37 NE LOFTING, SEWALLS POINT**

Client **PBW**



Whole Structure Loads 0.0445691kip:1in Mz 2kip-in:1in 1 WIND LOAD

*George Tibedo*  
10/24/2000



Job No <b>PBW_102300</b>	Sheet No <b>3</b>	Rev
Part		
Ref TIMBER JAMB SUPPORT		
By G. TIBEDO	Date 23-Oct-00	Chd
File Jamb.std	Date/Time 24-Oct-2000 11:44	

Job Title 37 NE LOFTING, SEWALLS POINT

Client PBW

### Beam Maximum Moments

Distances to maxima are given from beam end A.

Beam	Node A	Length (in)	L/C		d (in)	Max My (kip'in)	d (in)	Max Mz (kip'in)
1	1	11.040	1:WIND LOAD	Max -ve	0.000	0.000	11.040	11.996
				Max +ve	0.000	0.000		
2	2	24.000	1:WIND LOAD	Max -ve	0.000	0.000	24.000	▶ 25.019
				Max +ve	0.000	0.000		
3	3	24.000	1:WIND LOAD	Max -ve	0.000	0.000	0.000	▶ 25.019
				Max +ve	0.000	0.000		
4	4	24.000	1:WIND LOAD	Max -ve	0.000	0.000	0.000	24.985
				Max +ve	0.000	0.000		
5	5	10.920	1:WIND LOAD	Max -ve	0.000	0.000	0.000	11.896
				Max +ve	0.000	0.000		

•  $M_{MAX} = 25,019 \text{ IN-LBS}$

### Reactions

Node	L/C	Horizontal	Vertical	Horizontal	Moment		
		FX (kip)	FY (kip)	FZ (kip)	MX (kip'in)	MY (kip'in)	MZ (kip'in)
1	1:WIND LOAD	0.000	-1.087	0.000	0.000	0.000	0.000
6	1:WIND LOAD	0.000	▶ -1.089	0.000	0.000	0.000	0.000

• REACTION = 1089 LBS

*George Tibedo*  
10/24/2000



MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 12-21-98

BUILDING PERMIT NO. 4527

Building to be erected for G. F. Seely

Type of Permit S.F. residence

Applied for by Gribben Corp.

(Contractor)

Building Fee 8,007.80

Subdivision The Plantation Lot 3

Block ---

Radon Fee 108.30

Address 37 N.E. Lofting Way

Impact Fee 1508.20

Type of structure S.F. residence

A/C Fee 100.00

Electrical Fee 100.00

Parcel Control Number:

26-37-41-013-000-000-30-00000

Plumbing Fee 100.00

Roofing Fee 100.00

Amount Paid 10,024.30 Check # 16886 Cash \_\_\_\_\_

Other Fees ( --- ) \_\_\_\_\_

Total Construction Cost \$ 1,100,000.00 \*x

TOTAL Fees 10,024.30

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Inspector

# FRASER ENGINEERING AND TESTING, INC.

VERO BEACH (561) 567-6167

3504 INDUSTRIAL 33rd STREET  
FORT PIERCE (561) 461-7508

FORT PIERCE FLORIDA 34946  
STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

## Report of DENSITY OF SOIL IN PLACE ASTM D2922

**CLIENT:** Gribben Construction Company

**DATE:** 2/23/99

**CONTRACTOR:** Client

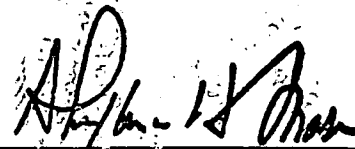
**SITE:** Lot 3 Plantation, 37 N.E. Lofting Way      **PERMIT #:** 4527  
Sewall's Point, Footing Densities - Garage Area

DENSITY TEST NO.	DATE TESTED	LOCATION	ELEVATION	MOISTURE-DENSITY RELATIONSHIP		IN PLACE DRY DENSITY	PERCENT COMPACTION
				TEST NO.	MAX. DRY WT.		
9279	2/23/99	N.W. Corner	0 - 1'	9279	106.4	104.7	98.4
		Center of West Side				104.9	98.6
		S.W. Corner				104.5	98.2
		S.E. Corner				104.8	98.5
		Center of East Side				105.0	98.7
		N.E. Corner				104.9	98.6
ALL ELEVATIONS BELOW FOOTING GRADE							

Copies: Client - 1  
Sewall's Point Building Dept. - 1

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.



Alexander H. Fraser, P.E. Fla. Reg. No. 16178

# FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET

FORT PIERCE, FLORIDA 34946

VERO BEACH (561) 567-6167

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FT. PIERCE 1-800-233-9011

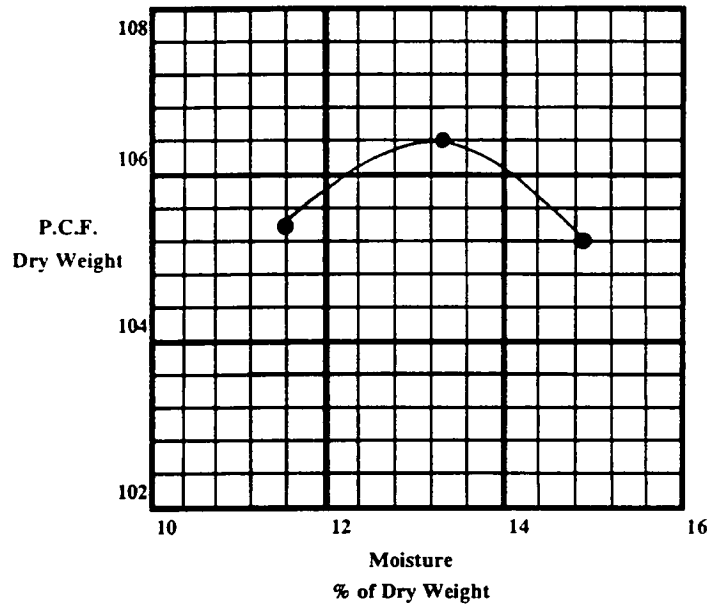
## Report of MOISTURE DENSITY RELATIONSHIP ASTM D-1557

CLIENT: Gribben Construction Company

DATE: 2/23/99

CONTRACTOR: Client

SITE: Lot 3 Plantation, 37 N.E. Lofting Way, Sewall's Point  
Footing Densities - Garage Area



Test No.	Test Method	Sample Location	Optimum Moisture %	Max. Dry Density- P.C.F.	Soil Description
9279	B	Composite	13.3	106.4	White, fine sand.

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.

Alexander H. Fraser, P.E., Florida Reg. No. 16178

4/5/01 RE: SEBELY

FILE

4903.3(b)(Cont) inspection, service, repair and replacement.

37 W. E. LOTTING WAY  
PN 4895

§ 4904.2(a)  
REQUIREMENTS

(c) Air handling units installation shall be done in a manner to allow the filter media to be easily accessible.

(e) Equipment shall be secured in such a way as to prevent from movement and to comply with the wind load requirements of Chapter 23.

ZON HL A/C CLOSET

(f) In installations of unitary equipment, no accessories shall be added to or deleted from the equipment which will invalidate the test by a recognized laboratory, the approval of such agencies shall be done by the Chief Building Code Compliance Officer.

(g) When a component of an existing system is replaced and there has been no problem with the system other than the component being replaced, it shall be replaced with a piece of equipment as near as possible in design and capacity to the piece of equipment being replaced.

**4903.4 USED OR SECONDHAND EQUIPMENT:** It shall be unlawful to purchase, sell, or install used equipment or material for mechanical installations unless it complies with the minimum standards set forth in the Energy Efficiency Code for Building Construction and other standards set forth in this Code.

**4903.5 USE OF EQUIPMENT:** All equipment and material shall be installed and utilized in accordance with the manufacturer's recommendations.

**4904 AIR CONDITIONING**

**4904.1 WINDOW TYPE AIR CONDITIONING UNITS:** All individual air conditioning units installed in walls or windows shall be securely anchored to the walls by approved methods. Units installed over public property, paths of egress or more than 10 feet above grade shall be secured to the structure by bolts or screws to resist horizontal wind loads. Such units cantilevering more than 8" on the exterior of a building shall be supported by steel angle brackets secured by bolting. Bolts to masonry shall be set in lead shields or similarly corrosion resistant fastenings. Units installed above public property shall have a clearance of 8 feet above the walking surface below the unit. Details of the fastening shall be submitted for approval. Careful consideration shall be taken for the proper disposal of condensate, as described in Chapter 46 of this Code.

**4904.2 AIR HANDLING UNITS INSTALLATIONS (H AND I OCCUPANCIES)**

**(a) CLOSETS IN CONDITIONED AREAS**

(1) Space shall be provided adjacent to all mechanical components located in or forming a part of the air distribution system to assure adequate access for construction and sealing, cleaning, maintenance, repair and replacement, as per manufacturer's recommendations and published data.

**4904.2(a)**

- (2) All penetration of closet walls or ceiling shall be sealed.
- (3) No obstructions shall be allowed for the easily accessible removal of a one piece rigid filter.
- (4) The return for air handlers in closet in Group I Occupancy other than hallway assigned mechanical closet shall be direct ducted from outside the closet.
- (5) There shall be no clothes washers, clothes dryers, combustion water heaters located in mechanical closets used as return air plenums.
- (6) Return air grilles shall not be located in bathrooms, kitchens, garages, utility spaces, space used for storage of fuel or flammable material, or to which combustion air is supplied.
- (7) (aa) Closets for air handling units in Group I and H Occupancies shall be considered return air plenums, unless direct ducted, and shall be used solely for the installation of the air handling unit and or (non combustion) water heater.  
  
(bb) Room or spaces in Group H Occupancy containing air conditioning equipment shall be of non-combustible or limited combustibile materials and have a flame spread rating not greater than 25, and a smoke developed rating not greater than 50.
- (8) Air conditioning and air handling installations in Group I Occupancies shall be located and ducted in such manner as to prevent possible carbon monoxide emission in enclosed garages from entering other areas of the building.

**(b) IN CAR GARAGE ( new construction)**

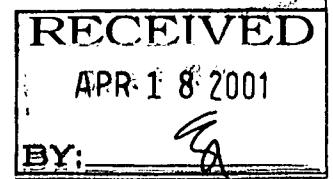
- (1) Return air shall be direct ducted.
- (2) Air handler and ducts shall be protected by a one hour rated closet with a self closing rated door and an air tight seal around the door.
- (3) Closet shall be large enough to allow for proper sealing of duct and service of air handler, but no larger than necessary. No storage in closet.
- (4) Exposed ducts in garage area shall be protected by a one hour rated enclosure.

**Exception:** On change outs or new installations in existing homes, a dynamic type fire damper may be used at the wall and or ceiling penetration in place of the closet. All ducts shall be protected from damage up to a height of 6 feet. An overhead clearance of 6'8" shall be maintained.

DANA'S  
ACCURATE AIR & HEAT  
1741 S.W.S. MACEDO BLVD.  
PORT ST. LUCIE, FL 34984  
561-878-6868

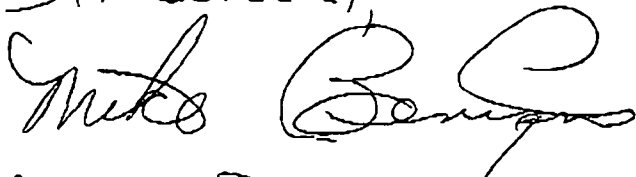
TO: ED - BLDG INSPECTOR

ED



THIS IS A LETTER FROM GEMAIRE  
DISTRIBUTORS, THE COMPANY THAT  
REPRESENTS RHEEM EQUIPMENT.  
THIS IS FOR THE SYSTEM IN THE  
UPSTAIRS CLOSET THAT YOU HAD  
CONCERNS ABOUT, AT THE SEELY RESIDENCE.  
THIS SHOULD CALM ALL DOUBTS ABOUT  
THE OPERATION OF THAT SYSTEM.  
SHOULD YOU HAVE ANY QUESTIONS, FEEL  
FREE TO CONTACT ME.

SINCERELY,



MIKE BENIGNO

**Gemaire Distributors Inc.**  
**2151 W.Hillsboro Blvd.**  
**Deerfield Bch., Fl 33442**

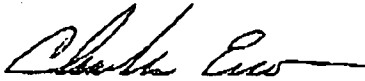
April 17, 2001

Attn: John Morgan  
Dana's Air Conditioning  
Jupiter, Florida

Dear John,

I have carefully reviewed the information that your associate Mike Benigno of Dana's Accurate Air in Port St. Lucie sent to me regarding the installation of a Rheem High Efficiency air conditioning system at Sewells Point. We have found that this type of installation works very well, providing that the return air grilles located on either side of the air handling unit remain free and clear of any type of obstruction. The temperatures and operating pressures all looked good also. Your customer should enjoy many years of trouble free service from this system. If I can be of further service please contact me at (561) 854-4878.

Sincerely,



Charles M. Eno

Territory Manager

4904.2(a)

- (2) All penetration of closet walls or ceiling shall be sealed.
- (3) No obstructions shall be allowed for the easily accessible removal of a one piece rigid filter.
- (4) The return for air handlers in closet in Group I Occupancy other than hallway assigned mechanical closet shall be direct ducted from outside the closet.
- (5) There shall be no clothes washers, clothes dryers, combustion water heaters located in mechanical closets used as return air plenums.
- (6) Return air grilles shall not be located in bathrooms, kitchens, garages, utility spaces, space used for storage of fuel or flammable material, or to which combustion air is supplied.
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(b) IN CAR GARAGE ( new construction)

- (1) Return air shall be direct ducted.
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- (4) Exposed ducts in garage area shall be protected by a one hour rated enclosure.

**Exception:** On change outs or new installations in existing homes, a dynamic type fire damper may be used at the wall and or ceiling penetration in place of the closet. All ducts shall be protected from damage up to a height of 6 feet. An overhead clearance of 6'8" shall be maintained.



RECEIVED  
APR 23 2001  
BY: *g*

*REVIEW w/ RON  
DITTMAR*

**G GRIBBEN**  
**Construction Co.**  
General Contractor & Project Managers  
BY: *RON*

Ron Dittmar  
Project Manager  
3077 S.E. Dixie Hwy.  
Stuart, Florida 34997

(561) 288-6330  
FAX (561) 286-2072

*260-7759(C)*

4/19/01 RE: SEELY - 37 N.E. LOFTING WAY

HELMUT:

I HAVE REVIEWED OUTSTANDING ITEMS FOR C.O. WITH RON THIS MORNING, & HAVE AGREED AS FOLLOWS:

- DONE 4/20* ✓ 1. ~~FOR~~ YOU WILL PERFORM FINAL INSP. 4/20 AS SCHEDULED.
- 2. IF BLDG. COMPLETE & FINAL PASSES (EXCEPT RACQUETBALL)

THEN:

- DONE 4/20* ✓ A. DELIVER PANEL KEY (ATTACHED)
- ✓ B. OKAY FOR PARTIAL OCCUPANCY.

- 4/23* ✓ 3. RON WILL PROVIDE YOU W/ OWNER CONTR. AGMT. RE: COMPLETION OF RACQUETBALL/GARAGE - 7 DAYS

4. DELIVER ATTACHED FORMS TO RON:

- RON 4/23* ✓ A. OWNER'S AFFIDAVIT
- RON 4/23* ✓ B. ARCHITECT STATEMENT OF INSPECTION

5. RON WILL MEET W/ME MONDAY & PROVIDE COMPLETED DOCUMENTS + AS BUILT SURVEY

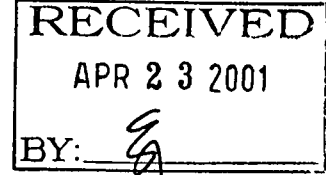
TO BE DELIVERED 4/24/01

6. I WILL ISSUE C.O. (EFFECTIVE 4/20/01) UPON COMPLETE SUBMITTALS & PAYMT. OF ~~ADD'L PERMIT FEE (IF REQUIRED)~~

NOT REQUIRED



FILE



April 20, 2001

Sewall's Point Building Dept.  
Sewall's Point, FL 34996

Attn: Ed Arnold

Dear Mr. Arnold,

The Seely's will not be using the racquetball court building until they receive the final certificate of occupancy. Thank you for your help and consideration.

Sincerely,

A handwritten signature in cursive script, appearing to read 'E. W. Gribben', written over a horizontal line.

Edward W. Gribben

A handwritten signature in cursive script, appearing to read 'Portia Seely', written over a horizontal line.

Portia Seely

OWNER'S AFFIDAVIT OF BUILDING COSTS

RECEIVED  
APR 23 2001  
BY: *[Signature]*

STATE OF FLORIDA  
COUNTY OF MARTIN

FILE

BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 1,100,000.<sup>00</sup>.

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.

*[Signature]*

Affiant  
Property street address: Lot 3 Plantation, Sewalls Pt

Sworn to and subscribed  
before me this 21 day of  
April, ~~19~~ 2001.

*[Signature]*  
Notary Public  
STATE OF FLORIDA AT LARGE  
My Commission Expires:



Lavonne K. Gribben  
MY COMMISSION # CC710827 EXPIRES  
May 22, 2002  
BONDED THRU TROY FAIR INSURANCE, INC.

(NOTARY SEAL)

STATEMENT OF INSPECTION

To: Building Official, Town of Sewall's Point  
FROM: Architect or Engineer of Record  
RE: Subject structure described as follows:

RECEIVED  
APR 23 2001  
BY: [Signature]

OWNER: Seely; ADDRESS: \_\_\_\_\_

PROJECT ADDRESS: Lot 3 Plantation; LEGAL DESCRIPTION: LOT 3 BLK \_\_\_\_\_ SUB \_\_\_\_\_

GENERAL CONTRACTOR: Grilben Const Co; LIC/CERT No. RG 0054342

ADDRESS: 3077 SE Dixie Hwy; TEL 288-6330, FAX 286-2072

ARCHITECT OR ENGINEER: M. A. CORSON & ASSOC. INC.; LIC/REG No. AA2971

ADDRESS: 800 S.E. OCEAN BLVD. SUITE C STUART; TEL 223-8227; FAX 223-8234  
34994

PERMIT No: 4527; DATE OF ISSUE: \_\_\_\_\_; DATE OF THIS STATEMENT: 4/23/01

In accordance with the requirements of Section 0307.2 of the South Florida Building Code, I hereby attest as follows:

- 1.  I am the Architect or Engineer who sealed and signed the plans for the subject structure, or  
 I am the substitute Architect or Engineer, having been accepted by the Building Official, for the Architect or Engineer who sealed and signed the plans for the subject structure, or  
 I am the threshold or special inspector used in accordance with this Code.
- 2.  To the best of my knowledge, belief and professional judgment, the structural and envelope components of the structure are in compliance with the approved plans and other approved permit documents.
- 3.  To the best of my knowledge, belief and professional judgment, the approved permit plans represent the as-built condition of the structural and envelope components of the structure.

Executed at Town Hall, this 23 day of April, 2001

NAME: Mark A. Corson; SIGNATURE: [Signature]; LIC. No. 0625-581-61-382

STATE OF FLORIDA  
COUNTY OF Martin

Sworn to and subscribed before me this 23 day of April, 2001, by Mark A. Corson, who is personally known to me or who has produced FL. I.D. as identification and who did not take an oath.

(NOTARY SEAL) LARRY E. MC CARTY  
MY COMMISSION # CC 711235  
EXPIRES: January 26, 2002  
Bonded Thru Notary Public Underwriters

Name \_\_\_\_\_

I am a Notary Public of the State of Florida and my commission expires: \_\_\_\_\_

ROBERT M. WIENKE  
Mayor

MARC S. TEPLITZ  
Vice Mayor

DAWSON C. GLOVER, III  
Commissioner

THOMAS P. BAUSCH  
Commissioner

E. DANIEL MORRIS  
Commissioner

# TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY  
Town Manager

JOAN H. BARROW  
Town Clerk

LARRY E. McCARTY  
Chief of Police

EDWIN B. ARNOLD  
Building Official

JOSE TORRES, JR.  
Maintenance

COPY

## CERTIFICATE OF OCCUPANCY

Single Family Residence       Other \_\_\_\_\_

OWNER: G & P. SEELY ; PROPERTY ADDRESS: 37 N.E. LOFTING WAY

LEGAL DESCRIPTION: LOT 3 BLOCK \_\_\_\_\_ SUBDIVISION PLANTATION

GENERAL CONTRACTOR: GRIBBEN CONSTRUCTION CO ; LIC/CERT NO. RG0054342

ADDRESS: 3077 S.E. DIXIE HWY, STUART, FL 34997 ; TEL 288-6330 ; FAX 286-2072

ARCHITECT OR ENGINEER: M.A. CORSON & ASSOC., INC ; LIC/REG. NO. AA2971

ADDRESS: 8005 E. OCEAN BLVD. SUITE C, STUART, FL 34994 ; TEL 223-8227 ; FAX 223-8234

PERMIT NO: 4527 ; DATE OF ISSUE: 12/21/98 ; RENEWAL PERMIT NO: 4895 ; DATE OF ISSUE: 12/21/99  
4 MONTH EXTENSION TO 4/22/01

In accordance with the requirements of the South Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 20<sup>th</sup> day of APRIL, 2001.

Edwin B. Arnold, AIA, CBO  
Building Official, Town of Sewall's Point

cc: TOWN CLERK  
POLICE CHIEF

**BUCK FILE**



PREDICTABILITY + ACCOUNTABILITY = COMPLIANCE

One South Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: [clerk@sewallspoint.org](mailto:clerk@sewallspoint.org)  
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: [police@sewallspoint.org](mailto:police@sewallspoint.org)



1998 - 1999 North

**Town of Sewall's Point**  
**Building Department - Inspection Log**

~~FRI. 10-22-99~~

PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4619	Roos 8 Quail Run	meter & temp. disconnect	FAILED	NOT COMPLETE - ELECTRIC TO BE ON SITE FOR REINSPECTION.
4628	Helnegel 11 Castle Hill	tie beam/ SLABS U/G PLUMB - STUDIO	FAIL	REINSPECT (NO FEE) STL. PCMT. SLABS & BM PER REVISED DWG.
4501	Shaffer 26 C. Hill	meter panel (30 DAY TRMP)	PASSED	- CALL PPL FOR POWER RELEASE UPON RCPT. OF AGL ✓ DONE 10/22 12:40 (SHELI)
<del>4527</del>	<del>SEELY</del> <del>37 W. LOTTING WAY</del>	SITE INSP - COMPACT AND SOIL EROSION; ADJ AREAS	PERFORMED	- RUN OFF PROTECTION (PFC) ON R McKINNON - 39 NE LOTTING WAY (CARETAKER GEORGE STEPHENSON)
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

INSPECTOR: \_\_\_\_\_

DATE: 10/22/99 \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4-26-2000, 2000; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N ✓ 4906	Alikahn	meter can	Passed	10: -10:30 H
6	104 N.S.P. Rd.	change	Bg	possible
	FPL Replacing under Ground Service & Temp. Transformer being use			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S ✓ 4803	Foglia	roof frame	Reject	① Missing BRACING
5	107 H. Sewall W	1/3 trusses	Fee	② Letter for TRUSS wave str
	Foglia		BG	③ Add RAT RAILS ④ Tightened Bolt + nut
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N ✓ 4527	Seely	2nd story	Passed	
7	27 Ldgway	tie-beam	BG	
	Gribben	For House		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4531	Lino	Pool Final	Passed	
5B	6 Island Rd		BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4908	NICKLAS	STORM SHUTTER	PASSED	- REQUIRED FOR C.O.
	21 CASTLE HILL WAY	- FINAL	EA	OK TO RELEASE UPON COMPLETION.
	AR MARTIN CORP			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4904	MIRANDA	PRE-DEVELOPMENT	PASSED	
	34 CASTLE HILL WAY	T/R PERMIT	(AS NOTED)	
	O/B	INSPECTION		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: T/R PERMIT APPL. - 55. RIVER RD; FRANKS ✓ APPROVED  
 T/R " " - 6 MIDDLE RD; CLEMENTS ✓ HOLD - ADD'L INFO/REPL. PROC. REQ.  
 T/R " " - 8 PACINETTO DR; FLUIT ✓ NO PERMIT REQUIRED; NON-NATIVE SHROB.

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 5/10, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N ✓ 4527 (BXD.) 4895	Seely <del>37 WE COPTUNGWAY</del> GRIBBEN CONST.	<del>footings</del> for columns	Passed Bg.	7-Pads
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4859	Abbott 108 N.S.P. Rd. E.S. UNLIMITED 775-1887	pool deck (REINSPECT) - POOL STL/MAIN DRAIN 3/15/00	CANCEL Bg. (CONTR. NOTIFIED)	NO FORMBOARD SURVEY " COMPLETION QUAC. STEPHEN MACART
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S ✓ 4658	Foglia 103 H. Sewall FOGLIA CONST.	final c.o. (REINSPECT)	Passed Bg.	C.O. TO OWNER'S REP. @ SITE
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S ✓ 4909	VILLA 24 S. SEWALL'S PT. RD. Stein	final roof	Passed Bg.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4903	Koch 71 N. River Rd ALMAR/JACKSON Pools	Pool Steel + Main Drain 561-746-4910; GERALD WASSER	CANCEL Bg. (CONTR. NOTIFIED)	NO FORMBOARD SURVEY (REQUIRE 24 HRS PRIOR) TO INSPECTION
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N ✓ 4527 (BXD.) 4895	<del>SEELY</del> <del>37 WE COPTUNGWAY</del> GRIBBEN CONST.	POST NOTICE OF PENDING STOP WORK ORDER	GAVE TO Supt.	G.C. TO SIGN RENEWAL PERMIT PRIOR TO 5:00 PM FRIDAY MAY 12, 2000
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N ✓ 4888	Obersheimer 75 N S Pt. Rd. DREDGE & MARWE (KREMSER)	final in dock	Passed Bg.	Elec. Disconnected. Electrician on job. He will pull permit FOR New Elec. Removing old Elec.

OTHER: T/R APPL. - 10 CRAVES NEST (TORRANCE); ✓ CLYDES LANDSCAPE Running New Water Line. will get perm  
 T/R APPL. - INDIA LUCIE COMMON (H.O. ASSN); ✓ " " "  
 T/R APPL. - 14 HERONS NEST; (JONES) ✓ BAYSHORE LAND MARK  
 T/R APPL. - 4 OAK HILL WAY; (CONWAY) ✓ CONWAY CONST  
 INSPECTOR (Name/Signature):  
 T/R APPL. - 825 SEWALLS PT RD. (CHOPUS) ✓ FPL  
 CONTRACTOR - G MINDORO (SEA) ✓ POSSIBLE HEDGE HGT VUL. - CONSULTATION



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri ~~11/17~~, 2000; Page 1 of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4839	Schremm 109 <sup>S</sup> Sewall's Pt. Rd	footings + piers 6-Pads	Passed B.G.	1st inspection turn at 109 - long driveway
4812	Tidikis 6 Kingston	roof final	Passed B.G.	
<del>4771</del>	<del>Van Wagner 3 Paloma Way</del>	<del>framing/ all trades</del>	<del></del>	<del>Fri.</del>
4912	Chico's Harbour Bay	screws for dry wall	Partial B.G.	
4895	Seely <del>37 L. L. Way</del>	tie beam & sonotube columns	Passed B.G.	7- Columns 2nd Fl. GARAGE BEP
4877	Loyola/osborne 20 Castle Hill	rough pl.	Passed B.G.	
4732	Tetamanti 19 Lofting Way Hufnagel	insulation Joan Called said inspection is for Fri. <u>No Fee</u>	<del>Passed</del> <del>B.G.</del> <del>Fee</del>	Installer said it won't be ready for two days - JUST STARTED.

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri ~~May 22~~, 2000; Page 1 of    .

NO SURVEY  
CANCELLED

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
<del>4899</del>	<del>KOHLER</del>	<del>POOL SET/AAAD DTC</del>		<del>VERIFY FORMERLY SURVEY ON FILE</del>
<del>(2)</del>	<del>19 S. VIA LUCINDIA</del>	<del>ADJUST 561 692 9091 mobile</del>		<del>SHORING -</del>
	<del>CHALLENGER 471-3033</del>	<del>TEO OFFICE 471-3033</del>		<del>Pool - 2'-8" ANGLE UP</del>
				<del>Repair.</del>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4872	GLOVER	ROOF FINAL	Passed	\$30.00 REINSP. FEE REQ.
4875	16 RIVERVIEW	(REINSP.)	BG	EARLY A.M. INSP
(1)	COOPER RFG			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4771	VAN WAGENER	FRAMING-	Passed	
(5)	3 PALAMA WAY	ALL TRAVES	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4732	Tetamenti	check gas	Reject	0 - PRESSURE.
(4)	19 Lofting Way	value	BG	Main House Side
	turn=gal		w/Fee	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4797	KENNEDY	DECK INSP		<b>CANCEL -</b>
	111 N. SEWALL'S POINT RD.			<b>RESCHED</b>
	A & G CONC 878-7852			<b>5/24</b>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4929	Delaney	roof sheathing	Passed	- Rainwater -
(6)	116 S.S.P. Rd.		BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4895	Sealy	part of	Passed	Main House
(3)	37 Lofting Way	roof	BG	
	Gnbben			

OTHER: A. T/R PERMIT APPL; SMITH - O/B, 11 SIACARA ✓ TREE DOWN - NO PERMIT.  
 B. " " " ; SINTOW - O/B, 33 N. RIVER RD ✓ APPROVED

Miles - 94176 to 94188 = 12 miles.

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 6-28-00, 2000;

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4803	Foglia	dry wall	Passed	
✓ (6)	101 H. Sewall same	screw	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4988	Tr. Coast Properties	deck	Passed	early
✓ (2)	2 Knowles same	Final	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4895	Seely	"nest" for roof	Passed	
✓ (4)	37 Lofting Way Gribben	GARAGE + HANDRAIL COORD	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
<del>4843</del>	<del>THELOS TROTTER'S</del>	<del>FINAL C.O.</del>		<del>Need FINAL Survey</del>
<del>(7)</del>	<del>6 KINGSTON CT. DAN 288-1928</del>			<del>24x36 scale. 1"=10'</del>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
* 4855	Lagana	footing	Reject	GC. License + INSURANCE
(9)	23 So Sewall's same	(NOT TO PLAN)	BG.	Statement of Insurance FORMS.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4940	Chen's	final	Passed	
✓ (1A)	3739 E Ocean 11.6.01		BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4912	Chico's	final	Passed	
✓ (1B)	Harbour Bay		BG.	

OTHER: \* 4855 NEED REVISED PLAN. SPOKE WITH MR. LAGANA and told him we need Copy of GC. License + INSURANCE. He will pick up statements of inspection FORM INSPECTOR (Name/Signature): AT OFFICE when he comes in.

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 7-12-2000, 2000; Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4762	Foglia	pool final	PASSED	
S (7)	105 H. Sewall Way STAR-LITE POOL BLDS		EA	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4780	Foglia	pool final	PASSED	
S (8)	106 H. Sewall Way STAR-LITE POOL BLDS		EA	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4895	Seely	tin tag- <del>g</del>	PASSED	
N (1)	37 Lofting Way Gibben	metal	EA	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4904	Miranda	rough pl.	PASSED	re-inspect
N (5)	34 Castle (same) Hill Way	" el.	EA	paid fee
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4813	Folweiler	metal (VTC) N/E	PASSED	
(2)	11 Lofting Way Ark	lothing for stucco	EA	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4983	Ashby	final shutters	NO ACCESS UNABLE TO INSPECT	CALL FOR REINSPECTION (NO FEE)
N (6)	3 River Crest PRO-TEC SHUTTERS			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4860	Demarkarian	pool deck	PASSED	COMP. TEST ROUN. 7/11/00
N (4)	19 C. Hill Way Harbor Bay Pools		EA	TERMITE TREAT. 7/11/00

OTHER: T/R PN 0340, 16 RIDGEWOOD DR., FL. PINEST (DEANIS) - REINSPECTION; VERIFY TREE MARKING.

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 7-21-00, 2000;

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4628	Hellmead	<del>deck</del>	OK	A/C ONLY (FOR INSTALL
N ✓ ③	11 C. Hill Way Strathmore	TEMP. FLEET (Electrical Gave me 2 Keys)	BG	HARDWOOD FLOORS, Door P/L 223-4208
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4895	Seely	<del>partial</del>	Consultation	Letter for
N ✓ ②	37 Lufkin Way Enbber	framing	BG	Strapping - Add Firestops, Etc.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4975	Stenhof ?	steel-pool	OK	FORMBOARD SURVEY RCVD.
S ✓ ⑦	106 Hillcrest Andrews	(Left survey in PVC Tube)	BG	DELIVER FIELD COPY TO SITE
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4717	Zarro	nail-off on	Reject	Used Staple
N ✓ ①	124 N.S.P. Rd. Buford	stucco / ethe	BG	Box not stamped No Fee Date County Approval
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4243	Tidiki's	plumbing	OK	Need Permit
S ✓ ⑧	6 Kingston D.S. Gen. Cont.	slab - rough MAIN HOUSE	BG	SPRAY
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4771	Campo	insulation &	OK BG	
N ✓ ④	5 Paloma Way Seagste	wire lath & <del>dim tag (PACIFIC)</del>	OK-BG	CANCEL R. HAVE KOB (PACIFIC) COME TO OFF
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4986	Murray	boot sheathing	OK	Cut out
N ✓ ⑤	27 Fieldway A & W		BG	Sections OK. HAD RAIN.

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 2-9, 2000; Page 2 of   

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4717	Zerro	frame AC/PUB	PASSED	REINSP. TRUSS ERIK
N ①	124 N.S.P. Rd. Buford	all ELECT. STRUCT. (PTC)	(as noted)	(NO FEE)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4895	Sedy	partial "TOP"	PASSED	- wiring, all repair
N ②	37 Lefting Way Gribben	a.c. all duct work/struc	SA	- attic air handler evidence (2)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4755	CLEMENTS	FRAMING (REINSP)	PASSED	AFTER 11:00
S ⑥	6 MIDDLE ROAD JIM CAMPBELL	MECH/ELECT	SA	ELECT (PENALTY REINSP R (NO FEE) ORDER PER.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4965	Danielson	slab		COMP. TEST/SURVEY REQ.
S X	161 S. River Rd. Miller 283-1670 458-4934	- left message 8:45 - call in office 9:05 will reached.	CANCELLED	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5032	CLEMENTS	- DOCK REELECT	PASSED	NOTE FOR CONTR.
	11 W. HIGH POINT CIURO & SONS	(FINISH)	SA	TO CALL BULK OFF. (UNDER N.O.C.)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8-7, 2000; Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4755	Clements (EXP. PN 462)	a. c. REINSPECTION		as early as possible
<del>4</del>	<del>6 Middle Rd Jim Campbell</del>	<del></del>	<del></del>	<del></del>
				<b>CANCEL 8/7 9:30</b>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4951	Stukel	framing	PASSED	FORM ALL TOP PLATE PENETRATIONS (ELECT.)
<del>1</del>	<del>7 Lantana Masterpiece</del>	<del>BUG (ELECT/ATE)</del>	<del>EA</del>	<del></del>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5001	BERCAW	TEMP. ELECT.	PASSED	FPL RELEASE 8/100 EA
<del>6</del>	<del>11 RIVER CREST CT. RENAR DEVEL.</del>	<del>- REINSPECT (VERIFY WATER ON SITE)</del>	<del>EA</del>	<del>AGAIN 8/7 9:50 LO ADVICE</del>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4882	Woods	sheathing (ROOF)	FAILED	DRIED IN W/O INSP.
<del>2</del>	<del>116 S. River Rd. Emmick</del>	<del>(PACIFIC) (EXISTG) (PTC.)</del>	<del>EA</del>	<del></del>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
<del>4650</del>	<del>EXPIRED 7/19/00 Swiss Am</del>	<del>meter final?</del>	<del></del>	<del>call 8/7 7:20 Helmut 288-64 334-770.</del>
<del>X</del>	<del>4 Banyan Rd. same</del>	<del>CANCEL to be then renewed - then renewed</del>	<del>X</del>	<del>for access CONTR. ADVISED; 8/8 9:00</del>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
<del>4895</del>	<del>Seely</del>	<del>framing</del>	<del>PASSED</del>	<del>REINSPECT - GABLE END, FLD</del>
<del>5</del>	<del>37 Lofting Way Gribben</del>	<del>EDGING - MAIN BLDG ONLY</del>	<del>(PTC)</del>	<del>BLDG END WALL (ELECT. WTR) APP. 8/9 9:00 - 8:45</del>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4965	Danielson	rough	PASSED	
<del>3</del>	<del>161 S. River Miller</del>	<del>plumbing (SUB PN 4968 - MASTER)</del>	<del>EA</del>	<del></del>

OTHER: FPL - ANDREA 223-4208 (her name like Greg)  
287-5400

INSP - T/R PERMIT APPL - 14 VIA LUCINDA ; GIGANTE, TRISTAN BAKER.

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8-4, 2000;

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5030	Demarkarian	shutters	PASSED	VERIFY M-DC APPR. LABELS
N (9)	19 Castle Hill Way	FINAL-REINSPECTION	☞	(MFR. LTR. OLD FILE)
	Superior Storm	shutters (MPN 4651)	☞	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4943	Botwinick	slab	PASSED	1st thing
S (1)	27 Emarta		☞	in AM
	1st Fla. Dev.			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4895	Seely	framing	OK	REMOVED FIRE-STOP
N (7)	39 Lofting Way	WALK-THRU; REINSPECTION	☞	\$ FROM REQUIREMENT
	Gibben	MONDAY 8/7 - NO FILE		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5022	Lono	final	PASSED	2/11/00 STL. BOND B.G.
N (11)	106 N. S. P. Rd.	pool?	☞	2/11/00 PILING B.G.
	RHR Pools	IN PROGRESS INSP.?		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5036	Erner	force final	PASSED	NO ONE HOME; DO P. DOCS
C (2)	152 Hillcrest Lane		☞	5' VIBR. CT. CHAIN POST/SUB
	Action Force	(verified records)		6' W/D STACKED REBAR (PTL)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4897	Von Wagner	deck	PASSED	COMP. TEST RCVD 8/4
N (10)	3 Paloma Way		☞	
	RHR Pools			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4921	Schram (after PINEAPPLE)	insulation	PASSED	
S (4)	109 S.S.P. Rd.		☞	
	Devision Insulation			

OTHER: T/R APPL. - FIELD INSP.; 143 S. RIVER RD. - KIPLINGER (PAX TREE LONGE) O/B  
 " " " " " " " " " " " " ( " " " ) MONTES TREE SERV.  
 288-1715 ✓ CODE DEP. COMPL.; 16 RIDGECLAND, FL. PINEST CONSP. (DEWINS) PD 5013 - DRUGS? RILL (PER TINA 8/4)

BOY  
WILL  
SERVING  
TOWN

INSPECTOR (Name/Signature): \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8-23-00, 2000; Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5 ✓ 4978	Rimer 29 S. River Rd.	studio stemwall	PASSED S	
①				
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N ✓ 4895	Seely 37 Lofting Way Gibben	PR. DL. & NEW fr.	PASSED S	STRUCT. FR. COMPLETE (LBS. GABLE END BRACKETS); PLUMB'G COM. NEED ELECT & A/C PIPING ONLY
⑤				
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

\_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8-28, 2000; Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4986 <b>(4)</b>	Murray 27 Fieldway Dr. A & W	roof final	FAILED F	Excess rfg mtl still stacked on roof.
4800 <b>(12)</b>	RAAB 22 SIMARA	FINAL FENCE	PASSED P	hgt of lattice complies w/ setback per code. w/og. adjoining mesh fence
4841 <b>(10)</b>	HOGAN 1 W. HIGHPOINT	FINAL - WINDOWS (4) (incl. replg old - 4 only)	PASSED P	Am however never did not have documents available
4983 <b>(2)</b>	ASHBY 3 RIVERCREST CT.	FINAL SHUTTERS	PASSED P	
4895 <b>(1)</b>	Sedy <del>2nd of time way</del> Gribben	2nd of 2 rough truss area	PASSED P	* if possible MARK FLAG. REPAIR ALL COMPL
4755 <b>(9)</b>	Clements 6 Middle Pk.	insulation	PASSED P	
4723 <b>(5)</b>	Koch 71 N. River All-Tec	roof tile in progress	PASSED P	

OTHER: CODE REF.: 4 SE BAN/PAD; PRO-TEC SHUTTER; SWISS-AM CONST. - storm shutters inst. complete -  
(app sub. 7/21; rev. 8/25; RETRACTED - equal mod app.) - permit appl. still in process

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

530-3933

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8-30, 2000; Page 1 of 2

22 S. SEWALL'S POINT RD

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S (16) 5007	Pege 8 St. Luce Crt. WHITE LAKE PROPERTIES	frame-all trades	PL. BOSS LMECH	NO PLMBG SUB PERMIT RESPECT ALL TRAFFIC CROSS EDGES
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N (10) 5054	Ada's Flowers 3756 E. Ocean owner	final	PASSED	P.D. INSP. 8/29/00 PASSED BOB SALT 260-1855 (minor plumbing hd. rev.)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N (9) 5046	Lucie 2 Banyan Cooper	final ROOF	PASSED	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S (12) 5029	Pege 6 Lantana OLYMPIC	pool plumbing	PASSED	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S (11) 4694	Allman 287-6017 66 S.S.P. Rd	dock final	CANCEL by owner	11:00-12:00 hrs note on door! - left window lock TOWN FILE TO SITE
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N (1) <del>5053</del>	Seely <del>2700/1700 W. W. Rd.</del> Gribbert	<del>Window doors</del> <del>2 parts of</del> insulation	PASSED PASSED	-ATTIC CEG & 2nd fl.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S (15) 4719	Morris 24 Ridgeland Kremser	final dock finals	PASSED	TOWN FILE TO SITE ✓

INSPECTION OTHER: (13) CONE ROOF COMPL. (NE CORNER LAUTANA LANE S. RIVER RD) JOHN LAKOSKY 24 LAUTANA LANE 288-93  
- ROOF DRAINAGE IMPACTING PROPERTY (GUTTER & D.S. REMOVED) 106 S. RIVER ROAD

RESIDENT INQUIRY: (14) DOUGLAS WOLFFLEFF 9 SIMARA 283-8515; WATER LINE UNDER ROAD.

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9-1-, 2000; Page 3 of   

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 4895	Seely	1st floor insul.	PASSED	
Ⓟ	37 Lofgren Gribben	partial dry wall <del>screen</del> CANCEL	A	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9-8- 2000;

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 4904	Miranda	naill insp.	PASSED	9:50 NOT READY
③	34 C. Hill Way	for roof	⚡	1:30 NOT READY
	owner/bldr.	plywood		2:30 LNV.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 4797	Kennedy	pool final	X	FINAL SURVEY INCOMPLETE
X	111 N. S.P. Rd.	CANCELLED	X	(POSTICE DECK \$400000 + MEA
	A & G ART ALLEN			MTG. W/CONTR. 9/12 1:00 PM
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 4650	Swiss-Arn	walk-thru	PERFORMED	10:00 to ✓ CONTEMPER
⑤	4 Banyan Rd.	(FOR FINAL)	⚡	WILL SCHED. FINAL
	owner/bldr. (P. J. STUBBS)			(LSP. FOR REVISION)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 4895	Seely	dry wall	PASSED	
①	37 Lofting Way	screw	⚡	
	Gribben	(2nd fl)		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S 4843	Tidikis	insulation	PASSED	
⑨	6 Kingston Court		⚡	
	D.S. Gen. Cont.			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 4732	Tetamanti	meter	PASSED	TEMP. SEW. LTR. RCVD 9/11
②	19 Lofting Way	(TRAP FOR EQUIP.)	⚡	FPL 223-4208 ✓ 9:15
	Hufnagel			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 5031	Oughterson	roof final	PASSED	8/2/00 - SHEATHING
④	70 N. River Rd. (Part. window)		⚡	8/9 - TIT & MIT
	Stuart Roofing			

OTHER:  5 PALOMA WAY (PW 4775) field copy of landscape plan to site.

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9-18, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
<del>4825</del>	Seely	<del>dry wall</del>	PASSED	
N (5)	37 Lofting Way Gribben	screw (lower portion)	⚡	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4877	Loyola/Osborne	sheathing	PASSED	
N (2)	20 Castle Hill Buford	nail-off (reup) struss engine	⚡ PASSED	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5013	Dennis	stem wall	PASSED	STEM WALL SURVEY
S (1)	16 Ridgeland Fla's Finest		⚡	RCVD 9/15; COPY TO SITE - EARLY INSP. REQUEST!
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ T/R APP	LA FON	FIELD VERIFICATION	PASSED	- request appl.
S (4)	120 HILLCREST DR O/B	(based on fax & sketch) & ltr request	⚡	req. for permit
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ T/R APP	DANIELSON	FIELD VERIFICATION	FAIL	- ADM'L. INFO REQUIRED
S (5)	161 S. RIVER RD O/B	* PALMS OK FOR RENOV.	⚡	(SEE FIELD SKETCH) REINSP. REQ
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri ~~10/14/00~~, 2000; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S ① 4755	CLEMMENS 6 MIDDLE RD JIM CAMPBELL CONST.	ADD'L FRAMING (D.S.P.) (INTERLOCK BATH) one Bath Area	OK BG	BATH AREA ONLY
✓ S ② 5063	ROBINSON 173 S. RIVER RD ALAN MORRIS (DRAFTSMAN'S NAME)	ROUGH PLUMBING	PIB OK Need Permit	PLUMBING SUB PERMIT NOT ISSUED. CALLED ALLAN
✓ S ③ 4803	FOGLIA 101 Henry Seawallway FOGLIA CONST.	Summer - FINAL (REINSPECT)	OK BG	VERIFY M-DC PROD APPLIC # OWNER OPER. LABEL.
<del>✓ N ⑤ 4896</del>	<del>202 31 N.E. LOFTING GRIBBED CONST</del>	<del>Underground ELECTRICAL CONDUIT</del>	<del>CANCEL RDU-01</del>	<del>NOTE: UNAPPROVED CHANGE TO BE MADE TO PERMIT OR TO FILE - REPLY NOT REAPPROVED -</del>
✓ N ⑥ 4659	FRANK CONWAY 17 N.E. LOFTING CONWAY	ELECTRIC - PRE-MEMO 10/4 11:55 called PPL w/meter release	OK BG	TEMP. HOOKUP AGENT 10/3/00 A/C & POOL EQUIP TOOK ONE KEY
✓ S ④ 5096	CHANTOS 83 S. SEWALLS PT. RD A-W ROOFING	Day int metal FLAT AREA ON REAR	Rejct Rained OUT	N.O metal installed. FLAT AREA NOT DO.
✓ N ⑦ 5059	BARRY WHALEN 9 KNOWLES RD. CARDINAL ROOFING	Installation of tile (IN PROGRESS?) (FINAL?)	CANCEL 10/4 2:00	SHEATHING: 8/25 TIT #MTC: 8/25

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  We  Th 10/6/00 2000; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4096	CHONTOS	DRY IN +	OK	Nail went through
✓ <b>(5)</b>	83 SPR (S) A+W ROOFING	METAL	BG.	1/4 A/c Lume FLAT Roof Sheathing
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5086	KARR	STRAP TIEDOWN	Partial	
✓ <b>(2)</b>	1 Palama Wy Castle Hill Steve Conway		BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4755	CLEMENTS	Screw OFF w	Passed	
✓ <b>(3)</b>	6 MIDDLE RD. Jim Campbell Const.	Skywall BATH Rm	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5075	VASQUEZ	Ground Rough	Passed	
✓ <b>(4)</b>	82 S. SP. RD. GROZA Builders	Plumbing	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ <del>4795</del>	<del>37 N.E. ...</del>	<del>Plumbing</del>	<del>Reject</del>	<del>No Access To A/H</del>
✓ <b>(1)</b>	GRIFFIN	Plumbing	BG.	In Attic. Plb + Elec NOT Ready.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5016	DENNIS	U/G ELECT PVC	OK	
✓ <b>(6)</b>	16 RIDGELAND DR. FLORIDAS FINEST CONST.	(SHORELINE)	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: UNSCHEDULED ( 161 S. RIVER RD. - DAVID MILLER (DANIELSON)  )  
 SITE VISITS ( ~~16 RIDGELAND DR. - FC. FINEST (DENNIS)~~  )  
 ( 19 RIDGELAND DR. - LEAR DEVEL. (WINNER)  )  
 ( 29 S. RIVER RD. - " " (RIMMER)  )

INSPECTOR (Name/Signature): \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~Thu~~ 10-27, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4702	Perry	all trades	PASSED	
S (8)	18 N. Ridgerview owner/builder		✗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4848	HALL	DRIVEWAY PER.	PASSED	
S (7)	7 N. RIDGEVIEW MIGNONE	FINAL	✗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4825	Seely	<del>all trades</del>	<del>PASS</del>	RECT. OUTLET SPCG.
N (1)	<del>37 LaFarge Way</del> Gibben	<del>(CANNOT BE STAMP APPROVED)</del>	✗	REQ. MECH PLAN W/ ENERGY CALCS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5068	Winer	stem well	PASSED	
S (10)	19 Ridgeland Lear 485-3082	base for wine cellar	✗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5068	Winer	temp. pole	PASSED	FPL 223-4208 ✓ 12:15 EVANOR
S (11)	19 Ridgeland Lear	(on SE corner) (REINSPECT)	✗	10/16/00 INSPECT (OV-VERIFIED) ALL REQ. SERVICES IN PLACE.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4877	Loyola / Osborne	tinting & metal	PASSED	
N (2)	20 C. Hill Buford (PACIFIC KFG.)		✗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5091	O'Conner	sheathing	PASSED	EAST PORTION TO BE STRIPPED & INSPECTED (DRIP IN W/O INSA)
N (3)	16 Fieldway Pacific ✓ ROB 263-0116	W 1/2 only	✗	

OTHER: S. (9) 7 S. VIA LUCINDA (PENDING STORM SHUTTER APPL.) - WORK COMMENCED? YES  
 ✓ - VERIFIED - DOUBLE FIRE "AFTER FACT" PERMIT REQUIRED.

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  10-27, 2000;

Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 5001	Bercaw	1st floor	X	EDGE & RED. TO SITE.
(4)	11 River Crest Renar	tie beam & column		CANCELLED BY CONTR 10/27 8:45 (RESCHED)
✓ N 5059	Whalen	final	FAIL	- NO DOCUMENTS; UNABLE TO DETERMINE SCOPE OF WORK ("NEW" ROOF BEING PROSSURE CL
(5)	9 Knowles Cardinal	roof		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
T/R (6)	KIPLINGER 143 S. RIVER RD. O/B	FIELD VERIF.	PASSED	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
<del>4895</del>	<del>SEELY</del>	<del>FRAMING - 1st FLOOR</del>	<del>PASSED</del>	<del>10:30 INCOMPLETE</del>
(11)	<del>37 LORTING WORK</del> GRUBBEN	<del>INTERIOR CP.</del> (KEL)	FAIL	3:00 REINSPECT A/C ATTIC ACCESS TO BE ENGAGED
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: ✓ 979-1419 BIRCHWOOD @ WHITE LAKE rd; 8 ST. LUKE DR. ELGAKG-  
- appointment 10/30 8:30 AM to review add req.

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  ~~Wed~~  Fri                     , 2000; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS	
✓ N	5091 O'Connor <b>(12)</b> 16 Fieldway Dr. Pacific	tin tag & metal	PASSED ⚡		
✓ S	5119 Kokovannis <b>(2)</b> 80 So. River Rd. Pacific	tin-tag & metal	NOT READY	LEFT MESSAGE FOR CONTRACTOR TO RESCHED. (ROB 263-0116)	
✓ S	4965 Danielson <b>(1)</b> 161 So. River Rd. Miller	tie beam & COLUMNS (2ND FL) - COMPLETE	PASSED ⚡	✓ FIELD CC TO SITE (BLACK LTR 10/11/00)	
✓ N	5132 Brent <b>(11)</b> 6 Knowles Rd. A & W	sheathing OK TO CONCRETE, T/A & WALL 11/3W/PAT	PASSED ⚡	ISSUED NOT READY possible FIELD CC TO SITE (PERMIT/DOCS)	
✓ N	<del>4895 Jedy <b>(5)</b> 37 Lofting Way Gribben</del>	<del>framing mechanical</del>	<del>PASSED ⚡</del>	<del>SKED RC DUCT LAYOUT FIELD CC TO SITE (BLACK LTR 10/2/00)</del>	
	5149 CONWAY <b>(7A)</b> 17 N.E. LOFTING WAY COMPLETE HURR. PROT.	STORM SHUTTER (FINAL)	PASSED ⚡		
	PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri  Sat  Sun, 2000;

Page 1 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4978	Rimer	stem wall	PASSED	
5 (6)	29 S. River Rd. Leor	DWELLING RET. WALL (SHT 4-REV. 3)	⊗	
✓ 5068	Winer	slab for wine cellar	PASSED	TECHNITE SPARK 11/6
5 (1)	19 Ridgeland Leor		⊗	
5096	<del>Chandos</del>	<del>Final</del>		<del>CANCEL</del>
X	<del>83 S. Sewall's Pt. Rd. AW Roofing</del>			
✓ 5116	<del>Olney</del>	<del>Post STEEL</del>		<del>CANCEL (EKA)</del>
5 X	<del>91 S. S.P. RD. 465-2700 Lowden Pools</del>			<del>NO FORMBOARD SURVEY CONTR. ADVISED (DEC) 11/8 8:00</del>
✓ 5100	<del>McKenzie</del>	<del>Pool steel</del>		
5 X	<del>11 River Road Lowden Pools</del>			<del>CANCEL (EKA) NO FORMBOARD SURVEY</del>
✓ 5137	Carney	Flooring above ground (TRELLIS)	PASSED	FRAMING INSP. KEA.
IV (7)	12 N. River R.L. Shaker		⊗	
✓ 4995	Deely	<del>Insulation</del>	<del>PASSED</del>	
N (9)	37 N.E. Longway GRIBBER Const.	COMPUTER RM. REWORK OF	⊗	

OTHER: (12) T/R APPL - GIFFORD; 85 N. SEWALL'S POINT RD. (SCOTT J. HOLMES, CONST.)  
 ✓ APPROVED AS REVISED (MTG ON SITE W/ G.C./OWNER/ARCH.)

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection: ~~Mon~~  Wed  Fri 11-20, 2000; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
<del>4875</del>	Seely	dry well	<del>PASSED</del>	FIRECODE REQUIRED
N (7)	37 Loftline Way Gribben (12/20/00)	screw COMP. RM/GAR/R-BALL	<del>(P) (S)</del>	BETWEEN GAR. & R. BALL CT (REINSPECT - NO FEE)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4965	Danielson	roof	X	RESCHEDULE P.M. - RAIN X
S (1)	161 S. River Rd. Miller	sheathing	X	CANCEL - RAIN (ROLLOVER/RESCHED)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4877	LOYOLA/OSBORNE	FRAMING	PASSED	
N (5)	20 CASTLE HILL WAY BUFORD	- STRUCTURAL	⚡	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
		FRAMING	PASSED	
		- A/C	⚡	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
		FRAMING	PASSED	
		- ELECTRICAL	⚡	- CONTR. ADVISED: OUTSIDE DISCONNECT REQUIRED
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
		FRAMING	PASSED	
		- PLUMBING	⚡	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4775	CAMPO	STORM SHUTTERS	FAILED	- EDGE DIST / GL. SEP.
N (6A)	5 PALAMA WAY SEAGATE		⚡	NOT IN ACCORD. W/ ENGR. (REINSP. REQ. - NO FEE)

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri ~~1/15/99~~, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S ②	4978 Rimer/Bird 29 S. River Rd. Leer	tie down of studio	PASSED S	
✓ S ⑥	5167 Gibson 134 S. River Rd. A & W	sheathing	PASSED S	
✓ N ③	4813 Follweiler 11 Lofting Way NE ARK	storm shutters (REINSPECT)	PASSED S	10:30 ✓ FINAL INSP. COMPLETE - OK FOR C.O.
✓ N ④	<del>4895 SEELY</del> <del>37 NE LOFTING WAY</del> GRIBBEN	<del>DRY WALL</del> + NAIL (REINSPECT - GARAGE)	<del>PASSED</del> S	
✓ N ⑦	5086 Karr 1 Paloma Conway	mech. FRAMING (AU)	PASSED S	
✓ S ⑤	5075 Vasquez 82 S.S.P. Rd. GROZA	sheathing (ROOF. 2ND PT.)	PASSED S	
✓ S ①	4965 Danielson 161 S. River Rd. Miller	steps	PASSED S	9:30 +

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 1/2/01, 2000;

Page 3 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
<del>4825</del>	<del>SEELY</del>	<del>D/W (P.L.)</del>	PASSED	
(13)	3706 LOTTING WAY GRIBBEN	PHASE I (ENTRY & STAIRS)	✓	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection ~~1-15-01~~  Mon  Tue  Wed  Fri 1-15-01

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5220	Parmelee	sheathing	Passed	J 1/15
S (A)	21 S. Ridgeview Capps & Huff	in-progress 9 <sup>00</sup>		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5013	Dennis	2nd story	2 <sup>00</sup> Pr.	J 1/15
S (2)	16 Ridgeland FL. FINEST	beam	partial	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ <del>4425</del>	<del>SEELY</del>	<del>DIVID TINY (PTL.)</del>	<del>FAIL</del>	<del>LATE PM.</del>
U (8)	<del>37 N. LINDSAY DR</del> GRIBBEN	<del>(PHASE II)</del>	<del>FA</del>	not ready (5:15)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5214	Rohloff	sheathing	Failed	re-inspect
S (5)	20 Riverview Root Tile Spec.	6 <sup>00</sup> 12 <sup>15</sup> tear off w/ 1/2" of		staked. (1/12 CANCEL - RAIN)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 5219	Ameler	sheathing	Passed	J 1/15
✓ (4)	3 Simara St. Pacific	10 <sup>15</sup> . 12 <sup>00</sup> in progress		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5152	Boning	sewall	Passed	No Drg 4x15
S (3)	5 St Lucie Crt.	steel	J 1/15	+ Strrips 24" OC
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5143	Gifford	footing	Passed	J 1/15
✓ (6)	85 N.S.P. Rd.			Neto 11 <sup>00</sup>

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  ~~Tue~~  Wed  ~~Thu~~  Fri  ~~Sat~~  Sun 1/17/07

Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
<del>4895</del>	SEELY	D/W INSP. (PL.)		<del>EARLY AS POSSIBLE</del>
(8)	<del>3700 E. LOSTING WAY</del> GRIBBEN	<del>(PERM-1)</del> H/R	<del>Passed</del>	5/17 (Partial) X
5172	Eckna	rough pl.	Passed	5/17
(4)	107 H. Sewall Way JMC	V/G.		
5197	MYKIETYN	FINAL -	Passed	5/17
(2)	4 MIRIMAR D. PACIFIC	ROOF		
5219	AMSLER	SHEATHING	Passed	5/17
(2)	3 SIMARA ST. PACIFIC			9:55
5220	PARMALEE	TIN TAG +	Passed	EARLY AS
(1)	21 S. RIDGEVIEW RD. CAPPES + HUFF	METAL	5/17	POSSIBLE
4992	BAUER	FENCE - FINAL	Passed	5/17
(6)	49 S. SPR OIB		(front out, no drg ?)	
5084	Elliot	final c.o.	Passed	5/17
(7)	8 Lagoon Island court	(addition) Porch enclosure		

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection: ~~Mon~~  Wed  Fri 1/22/01 2000 Page 1 of    

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
<del>4390</del>	<del>Seely</del>	<del>0-way steel</del>	<del>Passed</del>	<del>Very early</del> 1/22
①	Gribben			
5218	Foglia	pool screen	Passed	1/22
⑤	105 H. Sewall Way			
4857	Conway	c.o.	Passed	10: if possible
③	4 Oak Hill Way	walk-thru → Final 1/24	walk through vacuum breaker	1/22 detailed notes
5159	BRENT/HALL	PLUMB'G. RGH.	Passed	PLUMB'G/ELECT. SUB
④	6 KNOWLES ROAD O/B			PERMITS NOT ISSUED. (4 strips, 2 forms)
4723	KOCH	FINAL - WALK THRU (C.O.)	walk through only	they will try to be ready 1/24 ? 1/22
②	71 N. RIVER RD. W. B. BROWN, INC.			
5227	CONWAY	STORM SHUTTER - FINAL	Passed	1/22
	4 OAK HILL WAY EXPERT SHUTTER			
5274	PTC Cartney	Temp pole	Passed	1/22
	45 W Highpoint Wilson		walk through	Documents incomplete for drawing/denial etc

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 1/26/01

2000

Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5151	WELGANI	DOCK ACT./BOAT	Passed	1/26
②	1185. SEWALLS POINT RD. BLUE WATER MARINE	UPT RELOC. FINAL		
<del>4992</del>	<del>SEELY</del>	<del>NO VIEW INSPECTION</del>	<del>Partial</del>	<del>1/26</del>
⑨	<del>37 W. LANTANA WAY</del> GRIBBEN			
5171	BAKSH	ROOF - FINAL	Passed	1/26
⑥	8 HERONS NEST PACIFIC			(Permit ?? where)
5234	MCCARTNEY	STEEL + FOOTER	See again as 11 <sup>th</sup> offer correct	
①	45 W. HIGHPOINT WILSON BLDG.			
5241	BENNIHANA	SHEATHING	Partial	1/26
⑦	3602 SE OCEAN PACIFIC			→ Termite, woodrot?
5221	JOHEM	ELECTRICAL	Passed	1/26
⑤	22 RIDGELAND DR. BRESSER	Irrig. pump.		
4949	CONWAY	POOL - FINAL	*	RCVD. POOL SAFETY ACT COMPLIANCE DATA - BAYBOS
⑧	4 OAK HILL WAY OLYMPIC POOLS (PHONE 286-6000)			

OTHER:

\* Not inspected 1/26

INSPECTOR (Name/Signature):

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection: ~~Tue~~  Wed  Fri ~~1/27/01~~ , 2000; Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5223	ZEIGLER 17 EMARITA ZANGRE CONST (548-7669)	RGT PLUMB/LECT (INCL V/A).	Passed	LATE AM 1/29
5013	DENNIS 16 RIDGELAND FL. FINEST CONST	RAKE B.M.	Passed	1/29
5216	PHINNEY 30 PILOWAY DR. COASTAL ALUM.	FINAL (POOL ENCL.)	Passed	1/29
5075	VASQUEZ 82 S. SEWALL'S POINT RD GROZA	DRYWALL SCREW (VTL.)	Passed Partial Need	EARLY IF POSSIBLE 1/29 (7 screws on edge!)
5209	TRANTNER 9 MIDDLE ROAD EMMICK (PACIFIC RFG.)	SHEATHING	Passed	walls + roof 1/29
<del>5214</del>	SEELY <del>37 W. LAFFING WAY</del>	<del>DRYWALL (VTL.)</del>	Passed Partial	EARLY IF POSSIBLE 1/29
1	GRIFFIN (DRN 260-2248)			
T/R	LIZARS 4 ISLAND ROAD GOOD IMPRESSIONS LANDSCAPE	FIELD VERIFICATION	dead @	Palm to be removed 1/29

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Tue  Wed  Fri  Sat  Sun, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
N ✓ 5270	O'KEEFE 29 FIELDWAY DR PACIFIC	SHEATHING	Passed	INSPECTOR: <i>[Signature]</i> 2/24
S ✓ 5240	ADELPHIA CABLE S.S. RD 100'S. OF OAKWOOD GARY J. GIFFORD, INC.	CABLE POWER SUPPLY - FINAL (RELOCATED)	PASSED	POLE NO. 6-7257-6342-0-9 FPL 223-4208 ✓ 2:05 PM INSPECTOR: <i>[Signature]</i> LUKAS
N ✓ 5256	KOVACEVIC 55N. SEWALL'S POINT RD. QUALITY FENCE	FENCE - FINAL	Passed	INSPECTOR: <i>[Signature]</i> 2/21
S ✓ 5234	McCarty 45 W. High Pt. Wilson Bld.	Ret wall footers	Passed	INSPECTOR: <i>[Signature]</i> 2/21
S ✓ 3003	Page 8 St. Lucie Ct. Whitelake Prop.	prepare steps to pool	Passed	Tree in DWY ?? INSPECTOR: <i>[Signature]</i> 2/21
S ✓ 5075	Varquez 82 S. Sub Pt. Grosa	lath	Passed	INSPECTOR: <i>[Signature]</i> 2/21
4895	SEELY 3712 LANTANA WAY GRUBBS CONST	30TKY BLUF. - EQUIP. TEST (A/C)	FAILED	LTR AGMT RCVD 1/8/01 DISC. REQ. @ SERV. ENTRY INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~THU~~ ~~FRI~~ ~~SAT~~ ~~SUN~~, 2001; Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5013	DENNIS 16 RIDGELAND FL. FINEST	ROOF SHEATHING	<del>FAIL</del>	
				INSPECTOR:
5013	DENNIS 16 RIDGELAND FL. FINEST	TRUSS ENGR'G.	<del>FAIL</del>	
				INSPECTOR:
4958	BUSHA 10 PALM COURT MAEBUSH, INC.	DOCK FRAMING	PASSED	DEP REVISION TO SITE. by Ed. A.
				INSPECTOR: <u>A</u>
5161	Brennan 111 H. Sewall Way Hutchins/Pacific	roof dry-in (see page 2)	Passed	SEE PG. 2 FOR ADDL INSP.
				INSPECTOR: <u>J</u> 2/23/01
5228	FOGLIA 102 ABBIE CT. FOGLIA	ROUGH PLUMB. ELECT. + MECHANICAL	Passed	need to imp. up sleeve
				INSPECTOR: <u>J</u> 2/23
5256	KOVACEVIC 55 N. Sewalls Pt Rd. QUALITY FENCE	FENCE - FINAL	Passed	inspected 2/21
				INSPECTOR: <u>J</u> 2/23
4895	SEELY 37 NE LOFTING WAY	30 DAY ELECT. EQUIP. TEST (AIC)	PASSED	LTR AGMT. RCVD. 1/8/01 DISC. REQ. @ SERV. ENTRY PRIOR TO C.O. PER AGMT
				INSPECTOR: <u>287 5400</u>

SITE #14 FEB 22 2001  
 (N) PN 5192, 30 CASTLE HILL WAY (RAO) - AR. MARTIN HOMES  
 - VERIFY FILL PLACEMENT IN COMPLIANCE W/SITE PLAN  
 - 1" GRADE MAINTENANCE @ EXIST'G. TREES (MAINTAIN NATURAL GRADE TO PRESERVE)  
 288 5021 A. Rutenberg (J.D. Hansen)

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri  Saturday, 2001; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
V 5284	ST LUCIE BLDG CONDO	SHEATHING	Not ready	
N ③	3601 E OCEAN A+W			INSPECTOR: J 3/12
V 4895	SEELY	FTG. -	Passed	43x43x12 6'0c 20x12 2x5
N ②	ST. JOE. LOSTING WAY GRIBBEN	ENTRY WING/GATE		INSPECTOR: J 3/12
V 5261	RAPPAPORT	ROOF - FINAL		
S ④	9 RIVERCREST CT. GARY MARZO, INC.	(871-2489)		INSPECTOR:
V 5192	Rao	Shoathing	Passed	718 9191
N ⑦	30 Castle Hill Way AR Martin	(Del. Orgs)		INSPECTOR: J 3/12
V 5209	Tranter	1ST FLOOR	Passed	
S ⑥	9 Middle Rd. Emmick	Framing/all trades		INSPECTOR: J 3/12
V 5271	Geisinger	Dry In/Metal	Failed	→ re-insp 11 <sup>30</sup>
N ①	S Castle Hill Way A+W			INSPECTOR:
V 5100	McKenzie	Pool Final	Passed	(= Safety fence all ar.)
S ⑤	1 Riverview Dr. Louden			INSPECTOR: J 3/12

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Thu  Fri  Sat  Sun, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5143	GIFFORD 85 N. SPR HOLMES	ETIE BEAM	Passed	INSPECTOR: J 3/21
✓ 5284	SPRUCE BLDG. CONDO 3601 E. OCEAN K&W RFG.	<del>SHEATHING (IN PROGRESS)</del>	<del>---</del>	DUPLICATE REQUEST SEE PAGE 1. INSPECTOR:
✓ 4895	SEELY <del>37 W. E. LOFTING WAY</del>	<del>ENTRY GATE</del>	Passed	INSPECTOR: J 3/21
✓ 5292	PYNE 26 SIMARA PACIFIC RFG (ROB 263-0116)	SHEATHING	Passed (Partial east slope)	PLS. CALL ROB INSPECTOR: J 3/21
✓ 5139	Rubelino 18 Island Rd. Pacific Roof	T-Tag + Metal	Passed	INSPECTOR: J 3/21
				INSPECTOR:
				INSPECTOR:

OTHER: \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/26, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5203	McKiege	re-bar	Passed	
S (4)	31 High Pt. BK MARINE	sea wall cap (PTL-IN PROG.)		INSPECTOR: 3/26
✓ 5075	Vasquez	Roof tile 14 progr.	Need to reinspect with company rep.	
S (2)	82 S. Sewall's Pt Rd. Grosa	Exposure 14', 15" (?)		INSPECTOR: 3/26
✓ 5284	St. Lucie Bldg. Conds	Tdg + Proins	Passed	
(6)	2601 E Ocean WTH roofs.			INSPECTOR: 3/26
✓ 5001	BERCAW	FRAMING	→ Rollover to Woddy.	
N (7)	11 RIVERCREST CT. REBAR DEVEL.			INSPECTOR:
✓ 5123	PICRU	TIE BM.	Passed	
S (3)	65 S. RIVER RD. SEAGATE BLDGS.	2 <sup>nd</sup> fl. + Deck		INSPECTOR: 3/26
✓ 4895	SEELY	EMER - WORK THRU	→ Not ready, reschedule	
N (8)	<del>3719 S. LAUREL WAY</del> GRIBBEN COURT.			INSPECTOR:
✓ T/R	NOHEJL	FIELD VERIF.	OK to Permit.	NEW CONST - PN 5302
S (1)	6 N. RIDGEVIEW RON RAYMOND	(VACANT LOT)		INSPECTOR: 3/23/01 3/26

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection: ~~Mon~~ Wed ~~Thu~~ ~~Fri~~ ~~Sat~~ ~~Sun~~ APR 12, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5075	VASQUEZ	FIDAL WALK THRU		LATE IF POSSIBLE 11 <sup>00</sup>
S (16)	82 S. SEWALL'S POINT RD GROZA BLDGS (DAVE 336-2085)	Not Final / Pre CO see Wednesday		INSPECTOR: <u>[Signature]</u> 4/12 ✓
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ <del>4875</del>	SEELY	<del>FIDAL WALK THRU</del>	<del>OK LIST</del>	
N (4895)	<del>37 NE LOFTING WAY</del>		<del>REPAIRS</del>	
N (3)	GRIBBEN CONST.			INSPECTOR: <u>[Signature]</u>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 4895	SEELY	METER RELEASE	Passed	- TEST PURPOSES ONLY
N (4)	37 NE LOFTING WAY GRIBBEN CONST.	(RESET AFTER SERV.) DISCONNECT INST.		A/C - IRRIG. INSPECTOR: <u>[Signature]</u> 4/12 ✓
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5172	Eckna	reinspect	not yet	done
S (9)	107 H. Sewall way Select Homes	Steps (?) draft stop.		INSPECTOR: <u>[Signature]</u> 4/12 ✓
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri  APR 16, 2004; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5075 S (16)	VASQUEZ 82 S. SEWALL'S POINT RD GROZA BLDGS (DAVE 336-2085)	FINAL WALK THRU Not Final / Pre CO see Wednesday		LATE IF POSSIBLE 11 <sup>00</sup> INSPECTOR: [Signature] 4/12 ✓
✓ 4895 N (3)	SEELY 37 NE LOFTING WAY GRIBBEN CONST.	FINAL WALK THRU	CE. LST PREPARED	INSPECTOR: [Signature]
✓ 4895 N (4)	SEELY <del>37 NE LOFTING WAY</del> GRIBBEN CONST.	<del>METER RELEASE</del> (RESET METER SERV.) DISCONNECT INST.		TEST PURPOSES ONLY K/C - IRRIG. INSPECTOR: [Signature] 4/12 ✓
✓ 5172 S (9)	Eckna 107 H. Sewall way Sled Home	reinspect straps (?) draft stop.	not yet	done INSPECTOR: [Signature] 4/12 ✓
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri  Sat  Sun, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5013	DENNIS	STEEL-FIREPLACE	PASSED	
S (8)	16 RIDGELAND FLA. FINEST	FINAL-NAIL INSP-SHOW	PASSED	INSPECTOR: SA
✓ 5284	ST. LUCIE BLDG. CONDO	SHEATHING	PASSED	(2ND FLOOR; A/C RYBA & SOUTHERN NEXT-FINAL)
S (11)	3601 E OCEAN BLVD A+W	ON FLAT DECK (IN PROGRESS)		INSPECTOR: SA
✓ 4943	<del>BOTWINIK</del>	<del>TEMP. ELECT</del>	<del>X</del>	<del>CANCEL BY CONTR.</del>
S X	<del>27 EMARITA WAY 1ST FLA DEV.</del>	<del>(FE INSP.)</del>	<del>X</del>	<del>4/10/01 SA</del> INSPECTOR:
✓ 5318	KOENKE	STL / BOND (CIGAR MGR)	PASSED	FORMBOARD SURVEY KCD. (FIELD COPY TO SITE)
S (6)	66 S. SEWALL'S POINT RD ADVANTAGE POOL (781-3053)	-MICHELE		INSPECTOR: SA
✓ 5180	McKELVEY	SOFFIT REPL. -	PASSED	
S (2)	21 E. HIGH POINT SOUTHERN SHORE CONST. INC.	FINAL		INSPECTOR: SA
✓ 5234	McCARTNEY	COL. STL. 8:45-	FAILED	#5 COL. STL. TOO SHORT (2" DIA. 10')
S (1)	45 W. HIGH POINT WILSON BURS. 260-5139	-REINSPECT 11:45	PASSED	INSPECTOR: SA
✓ 5317	NEARING	SHEATHING	PASSED	* REQUEST INSP. 11:00-12:00 ✓
S (5)	SLAUTMAN LAKE COOPER PFG.	DRY-IN (FLAT DECK)	60 TO 70% (IN TOOK)	11:50 NOT READY 1:00 REINSPECT ✓ INSPECTOR: SA

OTHER: ~~PRO 4895 SUDLY 37 NE COFFIN WORK GRIBBEN~~  
 (8A) - PERMIT RENEWAL (EXP. 3/22/01) ✓ CONTR. ADVISED

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri  Sat  Sun, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5284	ST. LUCIE BLDG. 3601 E. OCEAN A+W	FINAL (Roof)	Passed	INSPECTOR: [Signature] 4/18 ✓
✓ 4895	<del>SEELY</del>	FINAL -	rollover	→ Friday (late) (CALL [unclear])
✓ 7	37 NE LOFTING GRIBBEN	CO		INSPECTOR:
✓ 4943	BOTWINICK 27 EMARITA WAY	THEATRE ADDN - FINAL / C.O.	Passed	1145 called FPL motor release INSPECTOR: [Signature] 4/18 ✓
✓ 5254	INGRAM 101 N. SEWALL'S POINT RD. BUNFORD CONST.	DEMOLITION - FINAL	Passed	INSPECTOR: [Signature] 4/18 ✓
✓ 5121	NOHEJL 18 S. VIA LUCINDIA	FINAL - PANEL CHANGE	rollover	→ Monday (O/B REQUEST) [Signature]
✓ 5150	NOHEJL 18 S. VIA LUCINDIA O/B	FINAL - ROOF ALT.	rollover	→ Monday (O/B REQUEST) [Signature]
✓ 4978	RIMER 29 S. RIVER RD. LEAR. DEV.	2nd floor tie beam	Passed	INSPECTOR: [Signature] 4/18 ✓

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri ~~11/27~~, 2001; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ S 5113	JAMIESON	EXT. WALL	Passed	
③	132 S. RIVER RD. COMM. CONST.	REPAIR - FINAL		INSPECTOR: [Signature] 4/20 ✓ <sup>1/4</sup>
✓ N 4895	<del>SEELY</del>	<del>FINAL - CO</del>	<del>Passed</del>	Late AM 11:00
⑥	37 NE LOFTING GRIBBEN	<del>FINAL - CO</del>		DOC'S REQUIRED TO CLOSE INSPECTOR: [Signature] 4/20 ✓ <sup>1/4</sup>
✓ S T/R	AYRES	FIELD VERIFICATION	O.k. to	remove dead/dying trees (3 Palms)
⑤	155. RIVER RD. MONTE'S TREE SERVICE			INSPECTOR: [Signature] ✓
5204	COOPER	TIE BEAM +	Passed	WILL BE POURING AT 11:30
①	33 W. HIGHPOINT B K MARINE	COLUMNS		INSPECTOR: [Signature] 4/20 ✓ <sup>1/4</sup>
✓ S 5294	LEHMAN	ROUGH PLUMB.	Passed	
④	6 RIDGELAND HOWARD BROTH./GRIBBEN			INSPECTOR: [Signature] 4/20 ✓ <sup>1/4</sup>
✓ S 5228	FOGLIA	TRUSS ENG.	Passed	
②	102 ABBIE CT.	+ STRAPPING		INSPECTOR: [Signature] 4/20 ✓ <sup>1/4</sup>
✓ S 5262	Musso	Tie Beam	Passed	
⑦	18 S. River Rd. Harry Blue			INSPECTOR: [Signature] 4/20 ✓ <sup>1/4</sup>

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

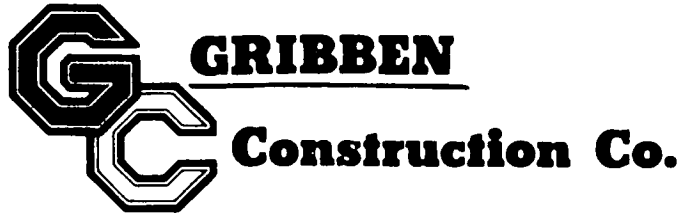
## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Th APRIL 27, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
4971	CRISPIN	FINAL - DOCK	Passed	excl. stairs
<b>(4)</b>	30 E. HIGHPOINT ROBT. SANDY			INSPECTOR: <i>[Signature]</i> 4/27 ✓
<del>4876</del>	<del>SEELY</del>	<del>FINAL - CO</del>	<del>PASSED</del>	<del>FPL Debbie 337 7057</del>
<b>(11)</b>	<del>37 NE LOFTING</del> GRIBBEN	<del>RAQUETBALL</del> CT.		C.O. TO BE PICKED UP 4:00 P.M. S.P. INSPECTOR: <i>[Signature]</i>
00104	DOT / SEWALLS PT.	IRRIG. SVC.	PASSED	Called FPL 1:50 PM 337-7057 w/release
<b>(10)</b>	3600/3601 E. OCEAN BRESSAW	FINAL FPL POLE NO. 4511A		INSPECTOR: <i>[Signature]</i>
4877	LOYOLA / OSBORNE	FINAL WALK	See again	El covers KT / BA
<b>(3)</b>	<del>20</del> CASTLE HILL WAY BUFORD	THRU - CO	Monday	Monday → Monday
5308	PAGE	STORM SHUTTERS -	Failed	need to inst 1 panel each
<b>(7)</b>	8 ST. LUCIE CT. BANDER ALUM.	FINAL		INSPECTOR: <i>[Signature]</i> 4/27 ✓
<del>5331</del>	<del>HENRY</del>	<del>SHEATHING</del>	<del>X</del>	<del>LATE - CANCEL BY</del> <del>CONTR. 10:05 4/26</del>
<del>X</del>	<del>8 E. HIGH POINT</del> <del>HEATON REG.</del>			INSPECTOR:
5286	SCHULTZ	POOL PLUMB'G.	Passed	
<b>(8)</b>	64 S. SEWALL'S POINT RD ADVANTAGE POOL BLDGS.	(781-3033)		INSPECTOR: <i>[Signature]</i> 4/27 ✓

OTHER: \_\_\_\_\_





RECEIVED  
APR - 5 2001  
BY: *SA*

FILE

*37 WE CONTING CRAP*

April 5, 2001

Sewall's Point Building Dept.  
15 Sewall Rd.  
Sewall's Point, FL

Attn: Ed Arnold

Dear Ed,

Gribben Construction Company is submitting for your consideration and review, a 30 day extension on the final landscaping of the East side of the Seely residence, permit #4527. We need the existing construction road to finish the pool and pool deck. We will need the extension from the time we get final C.O. We greatly appreciate your time and efforts.

Sincerely,

Edward W. Gribben  
President

*OK SUBJECT TO RCPT  
OR NO OBJECTION LTR.  
FROM ADJACENT OWNER  
FOR TEMPORARY ROAD  
USAGE.*

(407) 288-6330

3077 S.E. Dixie Highway • Stuart, FL 34997-5041



April 3, 2001

FILE #  
PW 4895  
37 DE LOADING WAY

RECEIVED  
APR 10 2001  
BY: *[Signature]*

Dr. Britt  
900 E. Ocean Blvd.  
Stuart, FL 34994

\* ATTACH TO CONTP.  
CTR REG. FOR LANDSCAPE  
EXTENSION - REQUIRED  
DOCUMENT  
*[Signature]*

Dear Dr. Britt,

Gribben Construction Company is building a home next to your lot in The Plantation on Sewall's Point. We have requested a 30 day extension for the finishing of the landscaping that borders your lot. For us to receive this 30 day extension, we need your approval. Please sign this notice of approval, which I will deliver to the building department.

Sincerely,

*[Signature: Ron Dittmar]*

Ron Dittmar

I have no problems with a 30 day extension being granted to the Seely's job for the purpose of using the road which borders our two properties to finish the pool and pool deck.

*[Signature]*  
\_\_\_\_\_  
Signature

*[Date: 4/4/01]*  
\_\_\_\_\_  
Date

1/12/01 3 MONTH EXTENSION TO 3/22/01  
= 840.78 x 3 = \$2,522.34 PD 1/12/01

(EXPIRED) MASTER PERMIT NO. 4527

ck # 21746 EA 1 MONTH EXTENSION TO 4/22/01  
ck # 22541 \$ 840.78 12 EA

TOWN OF SEWALL'S POINT

4/1/00; EFFECTIVE 12/21/99 THRU 12/20/00

BUILDING PERMIT NO. 4895

Building to be erected for G. & P. SEELY

Type of Permit BLDG. - S.F.R.

Applied for by GRIBBEN CONST.

(Contractor) Building Fee \$8,007.80

Subdivision PLANTATION Lot 3 Block

Radon Fee N/A

Address 37 N.E. LOFTING WAY

Impact Fee N/A

Type of structure S.F.R. (UNDER CONSTRUCTION)

A/C Fee 100.00

ONE YEAR PERMIT RENEWAL FEE

Electrical Fee 100.00

Structural Control Number: 1/12/01 EXT. FEE CALC (10%/MO) = 840.78

Plumbing Fee 100.00

26-37-41-013-000-000-30-00000

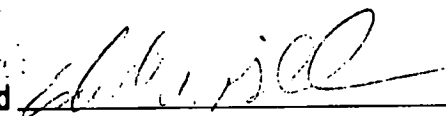
Roofing Fee 100.00

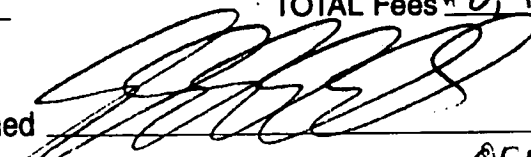
Amount Paid \$4,203.90 CHECK # 0132 (SEELY)  
\$4,203.90 CHECK # 19609 (GRIBBEN)

Other Fees ( ) -0-


Estimated Construction Cost \$ 1,100,000.00

TOTAL Fees \$8,407.80

Signed 

Signed   
Town Building Inspector OFFICIAL

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
One South Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel: (561) 287-2455  
Fax: (561) 220-4765

RECEIVED  
JAN - 8 2001  
BY: 

TEMPORARY ELECTRIC HOOK-UP AGREEMENT: PN **4895**

OWNER: Greg + Pascha Seely ; ADDRESS: 131 S.W. Willow Lake Trail  
PROJECT ADDRESS: 37 N.E. Fasting Way ; LEGAL: LOT 3 BLK MA SUB Plantation  
GENERAL CONTRACTOR: Gribben Const Co ; LIC/CERT No. MC 00158  
ADDRESS: 3077 A.E. Dixie Hwy Stuart FL ; TEL 2886330 ; FAX 286-2072  
ELECTRICAL CONTRACTOR: ELECTRICAL CONNECTIONS BY MIKE ; LIC/CERT No. MEA 00049  
201 FOUR WINDS DR, Stuart FL  
ADDRESS: \_\_\_\_\_ ; TEL \_\_\_\_\_ ; FAX \_\_\_\_\_

WHEREAS, pursuant to the provisions of, and governed by, Sections 0307.6 and 4504.6 of the South Florida Building Code as adopted in Section 4-16 of the Codes and Ordinances of the Town of Sewall's Point, temporary electrical service for use during building operations and for testing purposes under a valid building permit is authorized under prescribed terms and conditions; and,

WHEREAS, the above named responsible persons, firms or corporations have requested a temporary electrical hook-up of Air Conditioning for the purpose of acclimating for hardwood flooring at the above designated construction now in progress under a valid building permit; and

WHEREAS, it is necessary to have a temporary electric hook-up for testing of equipment and completion of building operations as herein above described.

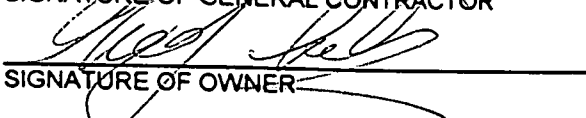
NOW THEREFORE IT IS AGREED BY AND BETWEEN THE PARTIES THAT;

1. The parties to this agreement are Edwin B. Arnold, Building Official, Town of Sewall's Point, and the above named responsible persons, firms or corporations.
2. In order to allow electrical service to be provided to certain equipment being placed at the referenced construction address the Building Official hereby agrees to grant a temporary hook-up permit.
3. This temporary hook-up permit shall be effective for 30 calendar days from the date of this agreement, after which time the temporary hook-up will be revoked or a Certificate of Occupancy will be issued to verify completion.
4. This temporary electric hook-up is solely for the purposes stated. No furniture or occupants will be moved into the building until a Certificate of Occupancy is issued.

IN WITNESS WHEREOF the parties have caused this agreement to be executed this 11 day of 11/8, 01.

  
SIGNATURE OF GENERAL CONTRACTOR

  
SIGNATURE OF ELECTRICAL CONTRACTOR

  
SIGNATURE OF OWNER

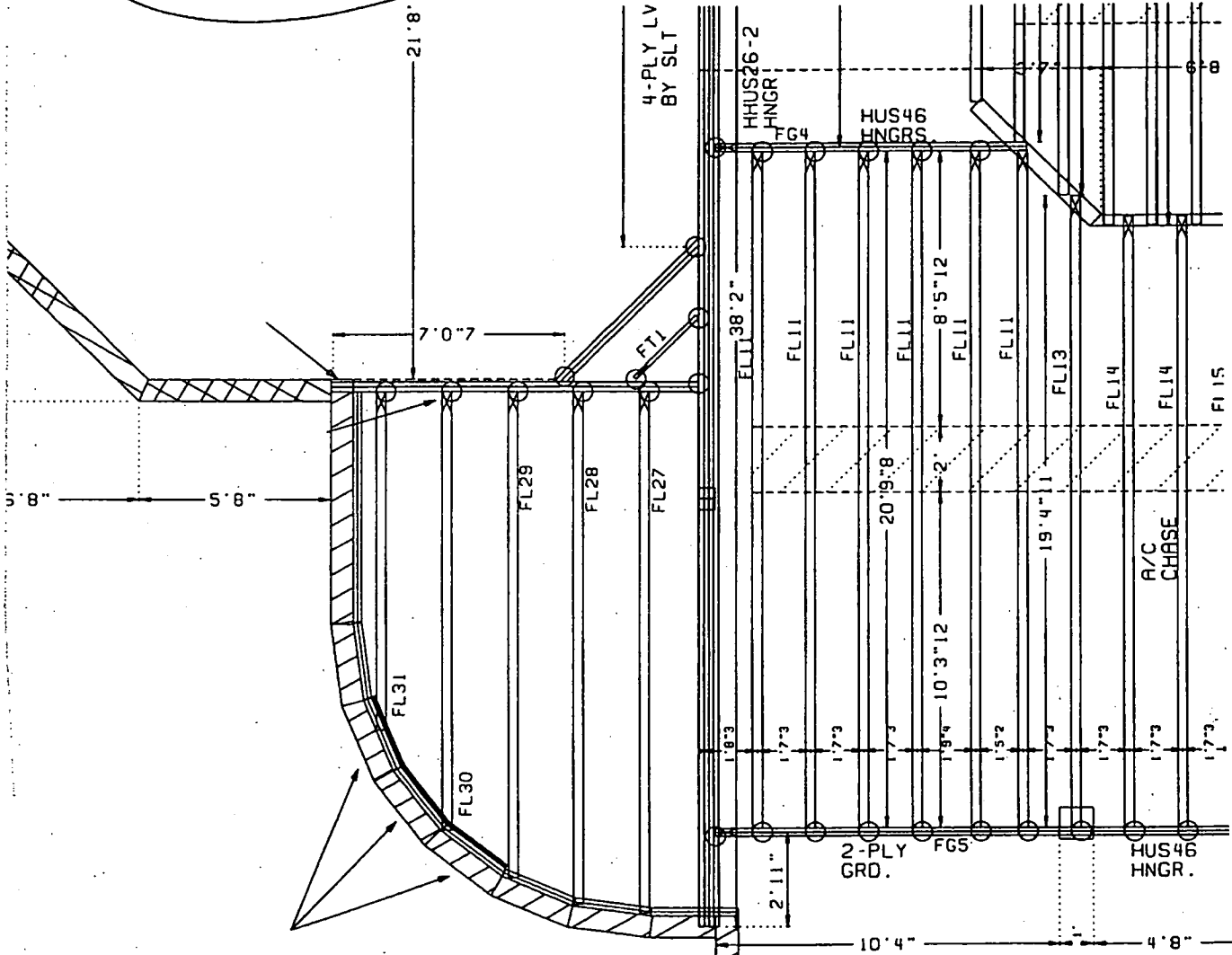
EDWIN B. ARNOLD, BUILDING OFFICIAL

St. Lucie Truss Corp.  
 10331 Lennard Rd., Port St. Lucie, FL 34952  
 Ph. (561) 335-3207 Fax (561)-335-3209  
 E-mail [sltruss@msn.com](mailto:sltruss@msn.com)

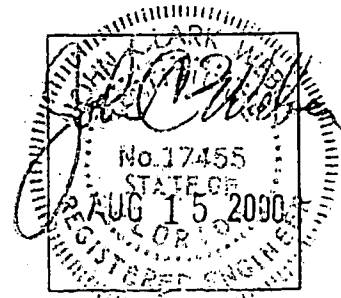
S.L.T.C. PROJECT #12051F  
 GRIBBEN CONSTRUCTION  
 SEELY RESIDENCE  
 MODIFICATION INFORMATION RE: "FL30" & "FL31"

*Handwritten:* keep 8/28/00  
 JAIN FILE

**FILE**  
 37 ME  
 LOFTING WRP



TO ACHIEVE MINIMUM REQ'D BEARING AT FLOOR TRUSSES "FL30" & "FL31", ATTACH ADDITIONAL LEDGER PLY (SAME SIZE AND GRADE AS ORIGINAL) WITH 16d NAILS - MIN OF (8) NAILS PER LEDGER



# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID SB  
GRIBC-1

DATE (MM/DD/YY)  
07/17/01

**PRODUCER**  
Stuart Insurance, Inc. **COPY**  
3070 S W Mapp  
Palm City FL 34990  
Phone: 561-286-4334 Fax: 561-286-9389

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURED**  
**FILE**  
Gibben Construction Company  
3077 SE Dixie Highway  
Stuart FL 34995

**INSURERS AFFORDING COVERAGE**  
INSURER A: Southern Owners  
INSURER B: Auto Owners Insurance Co  
INSURER C: Bridgefield Insurance Co  
INSURER D:  
INSURER E:  
**RECEIVED**  
JUL 18 2001

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	<b>GENERAL LIABILITY</b>	2057736300	07/29/01	07/29/02	EACH OCCURRENCE \$ 1,000,000	
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				FIRE DAMAGE (Any one fire) \$ 100,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000 Emp Ben. 1,000,000	
B	<b>AUTOMOBILE LIABILITY</b>	4198980201	07/29/01	07/29/02	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000	
	<input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS				BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$	
	<b>GARAGE LIABILITY</b>				<input type="checkbox"/> ANY AUTO	AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	<b>EXCESS LIABILITY</b>				<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$	EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
C	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>	0830-24224	01/01/01	01/01/02	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER	
					E.L. EACH ACCIDENT \$ 100,000	
					E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000	
	<b>OTHER</b>					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS  
Residential General Contractor

**CERTIFICATE HOLDER** N ADDITIONAL INSURED; INSURER LETTER: \_\_\_\_\_  
**SEWAP - 1**  
Sewalls Point Building Dept.  
ATTN: Dale Brown  
1 S Sewalls Point Road  
Stuart FL 34996

**CANCELLATION**  
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.  
AUTHORIZED REPRESENTATIVE *Joseph E. Coors*



**MARTIN COUNTY, FLORIDA**  
**Construction Industry Lic Bd**  
**Certificate of Competency**

License: MC00158  
Expires September 30, 2001

GRIBBEN, EDWARD W  
GRIBBEN CONSTRUCTION CO  
3077 SE DIXIE HWY  
STUART, FL 34997  
**GENERAL CONTRACTOR**

**MARTIN COUNTY ORIGINAL**  
**2000 COUNTY OCCUPATIONAL LICENSE 2001**

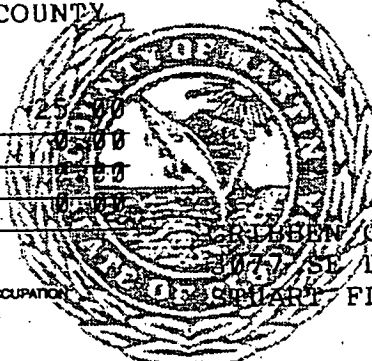
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(561) 288-5604

LICENSE 1987 513 902 CERT MC00158  
PHONE 561 288 6330 SIC NO 0000

LOCATION: 3077 SE DIXIE HWY

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV YR. \$ 0.00 LIC. FEE \$  
\$ 0.00 PENALTY \$  
\$ 0.00 COL. FEE \$  
\$ TRANSFER \$ 25.00  
TOTAL



CONSTRUCTION CO  
3077 SE DIXIE HWY  
STUART FL 34997

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION

GENERAL

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

15 SEPTEMBER 00  
DAY OF 2001 20  
AND ENDING SEPTEMBER 30.

**RECEIPT OF PAYMENT**  
L.C. O'STEEN, T.C. 9000  
99 09/15/2000 OCC NORMAL  
1987513902  
0220000915005737CK \$25.00



AC# 5613411

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONST. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
08/13/1999	99900274	RG -0054342

The GENERAL CONTRACTOR  
Named below HAS REGISTERED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2001  
(INDIVIDUAL MUST MEET ALL LOCAL LICENSING REQUIREMENTS  
PRIOR TO CONTRACTING IN ANY AREA)

GRIBBEN, EDWARD WAYNE  
GRIBBEN CONSTRUCTION CO  
3077 SE DIXIE HWY  
STUART FL 34997

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON  
SECRETARY

Martin County Certification

MASTER PERMIT NO. 4895

TOWN OF SEWALL'S POINT

Date 8/4/00

BUILDING PERMIT NO. 5040

Building to be erected for G. & P. SEELY

Type of Permit A/C SUB

Applied for by DANA'S AIR CONDITIONING

(Contractor)

Building Fee

Subdivision PLANTATION

Lot 3

Block

Radon Fee

Address 37 N.E. LOFTING WAY

Impact Fee

Type of structure S.F.R. (UNDER CONSTRUCTION)

A/C Fee SEE PN 4895

QUALIFIED: JOHN MORGAN CA-C041194

Electrical Fee

Parcel Control Number:

Plumbing Fee

Amount Paid

Check #

Cash

Roofing Fee

Total Construction Cost \$

Other Fees ( )

TOTAL Fees

Signed

[Signature]

Applicant

Signed

[Signature]

Town Building Inspector

BUILDING PERMIT

A/C SUB

FORM BOARD SURVEY DATE \_\_\_\_\_  
 COMPACTION TESTS DATE \_\_\_\_\_  
 GROUND ROUGH DATE \_\_\_\_\_  
 SOIL POISONING DATE \_\_\_\_\_  
 FOOTINGS / PIERS DATE \_\_\_\_\_  
 SLAB ON GRADE DATE \_\_\_\_\_  
 TIE-BEAMS & COLUMNS DATE \_\_\_\_\_  
 STRAPS AND ANCHORS DATE \_\_\_\_\_  
 DRIVEWAY DATE \_\_\_\_\_  
 AS-BUILT SURVEY DATE \_\_\_\_\_

SHEATHING DATE \_\_\_\_\_  
 FRAMING DATE \_\_\_\_\_  
 INSULATION DATE \_\_\_\_\_  
 ROOF DRY-IN DATE \_\_\_\_\_  
 ROOF FINAL DATE \_\_\_\_\_  
 METER FINAL DATE \_\_\_\_\_  
 AS BUILT SURVEY DATE \_\_\_\_\_  
 STORM PANELS DATE \_\_\_\_\_  
 LANDCAPE & GRADE DATE \_\_\_\_\_  
 FINAL INSPECTION DATE \_\_\_\_\_

FLOOD ZONE \_\_\_\_\_

LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction  Remodel  Addition  Demolition

This permit must be visible from the street, accessible to the inspector.

FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT, NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.

DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

ACORD.

CERTIFICATE OF INSURANCE

JF

13877

ISSUE DATE (MM/DD/YY)

08/03/00

PRODUCER

ACORDIA
WEST PALM BEACH DIVISION
501 S. FLAGLER DR. #600
WEST PALM BEACH FL 33401

COPY

FILE

Handwritten signature

FILE

Handwritten signature

INSURED

DANA'S AIR CONDITIONING
DEBJO, INC. DBA
1312 COMMERCE LANE
SUITE 15B
JUPITER, FL 33458

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

- COMPANY A TRANSPORTATION INSURANCE CO
COMPANY B TRAVELERS
COMPANY C
COMPANY D
COMPANY E

RECEIVED
AUG - 4 2000
BY: [Signature]

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

Table with columns: CO LTR, TYPE OF INSURANCE, POLICY NUMBER, POLICY EFFECTIVE DATE, POLICY EXPIRATION DATE, LIMITS. Includes sections for General Liability, Automobile Liability, Excess Liability, and Worker's Compensation.

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

FAX# 561-287-2455

CERTIFICATE HOLDER

TOWN OF SEWELL'S POINT
1 SOUTH SEWELL'S PT. RD.
SEWELL'S POINT FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

[Signature: Brian P. Cronin]

AC# 5811778

STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
07/14/2000	00900148	CA -C041194

The CLASS A AIR CONDITIONING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2002

MORGAN, JR JOHN THOMAS  
DANA'S AIR CONDITIONING  
1312 COMMERCE LN STE 15B  
JUPITER FL 33458

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON  
SECRETARY

MASTER PERMIT NO. 4895

TOWN OF SEWALL'S POINT

Date 11/9/00

BUILDING PERMIT NO. 5157

Building to be erected for G & P SEELY

Type of Permit RFG - SUB

Applied for by PACIFIC RFG, CORP.

(Contractor)

Subdivision PLANTATION Lot 3

Block \_\_\_\_\_

Address 37 NE LOPTUNG WAY

Type of structure SPR (OWNER CONSP.)

Building Fee \_\_\_\_\_

Radon Fee \_\_\_\_\_

Impact Fee \_\_\_\_\_

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee SEE PD 4895

Parcel Control Number: QUALIFIED: RICHARD COMES  
CARE/LIC: CC-CO 56793

Amount Paid \_\_\_\_\_ Check # \_\_\_\_\_ Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ \_\_\_\_\_ TOTAL Fees \_\_\_\_\_

Signed Rob Austin  
Applicant (CAPTIONED)

Signed \_\_\_\_\_  
Town Building Inspector CPPO

# ~~RE~~ SUB-ROOFING PERMIT

### INSPECTIONS

DRY IN  
PROGRESS

DATE \_\_\_\_\_  
DATE \_\_\_\_\_

PROGRESS  
FINAL

DATE \_\_\_\_\_  
DATE \_\_\_\_\_

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

## WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

- New Construction
- Remodel
- Addition
- Demolition

**This permit must be visible from the street, accessible to the inspector.**  
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,**  
**NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**  
**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**



November 7, 2000

Town of Sewall's Point

To Whom It May Concern:

I, Richard J. Gomes qualifier for Pacific Roofing Corporation authorize Robert Austin of Pacific Roofing Corporation to sign for the following permit:

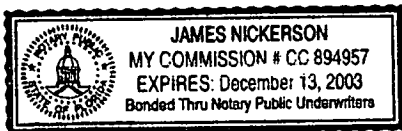
37 North Lofting Way  
Sewall's Point, Florida

If you have any questions regarding the above please feel free to contact me at 561 283-7663.

Sincerely,

Richard J. Gomes  
President

James Nickerson - Notary Public



P.O. Box 2697 • Stuart, Florida 34995  
808 SE Dixie Highway • Stuart, Florida 34994

(561) 283-7663 • 1-800-226-3283 (Ext. 9056) • FAX (561) 283-9505 • <http://pacificroofing.com>

License No. CCC056793 & Insured

PRODUCER (561)746-4546  
Tequesta Agency, Inc.  
393 Tequesta Drive  
Tequesta, FL 33469

FAX (561)746-9599

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

permit  
**FILE**  
Ext: 16

COMPANIES AFFORDING COVERAGE  
Transcontinental Insurance Co

**RECEIVED**

OCT 31 2000

Attn: Debra Hicks

INSURED  
Pestle Zeeffing Corp., Inc.  
PO Box 2697  
Stuart, FL 34994

COMPANY A  
COMPANY B  
COMPANY C  
COMPANY D

**FILE**

**COPY**

BY: \_\_\_\_\_

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	CLAIMS MADE X OCCUR OWNERS & CONTRACTORS PROT	C2020206945	10/28/2000	10/28/2001	GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 PERSONAL & ADV INJURY \$ 1,000,000 EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000
A	AUTOMOBILE LIABILITY X ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS	C2020206945	10/28/2000	10/28/2001	COMBINED SINGLE LIMIT \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY UMBRELLA FORM OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: INCL OTHER: EXCL				WC STATUTORY LIMITS OTH-ER EL EACH ACCIDENT \$ EL DISEASE - POLICY LIMIT \$ EL DISEASE - EA EMPLOYEE \$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

SERVICES AND PRODUCTS

TOWN OF SEWALLS POINT  
1 SOUTH SEWALLS POINT ROAD  
STUART, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
Charles Martyn III/DEBBIE *C. P. Martyn III*

ALORD CORPORATION 1988

**Certificate of Insurance**

...ate is issued as a matter of information only and confers no rights upon you the certificate holder. This certificate is not an insurance policy and does not amend, extend, the coverage by the policies listed below.

**RECEIVED**

JAN 31 2000

BY: \_\_\_\_\_

**Named Insured(s):**

Staff Leasing, LP, by Staff Acquisition, Inc., The General Partner, and The Affiliated Limited Partnerships of Which Staff Acquisition, Inc. is The General Partner and their Successor Corporations  
600 301 Boulevard West, Suite 202  
Bradenton, Florida 34205

**CNA**  
**RISK MANAGEMENT**

**FILE**

**Insurer Affording Coverage**

Continental Casualty Company

**Coverages:**

The policy(ies) of insurance listed below have been issued to the insured named above for the policy period indicated. The insurance afforded by the policy(ies) described herein is subject to all the terms, exclusions and conditions of such policy(ies).

Type of Insurance	Certificate Exp. Date <input type="checkbox"/> Continuous <input type="checkbox"/> Extended <input checked="" type="checkbox"/> Policy Term	Policy Number	Limits	
<b>Workers' Compensation</b>	1-1-2001	WC 189165165 WC 189165182	<b>Employer's Liability</b>	
			Bodily Injury By Accident \$1,000,000	Each Accident
			Bodily Injury By Disease \$1,000,000	Policy Limit
			Bodily Injury By Disease \$1,000,000	Each Person

**Other:**

**Employees Leased To:**

**Effective Date:** 1/1/00

**16459  
Pacific Roofing Corp Inc Office**

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer.

\*If the certificate expiration date is continuous or extended term, you will be notified if coverage is terminated or reduced before the certificate expiration date. However, you will not be notified annually of the continuation of coverage.

**Notice of Cancellation:** (Not applicable unless a number of days are entered below)

Before the stated expiration date the company will not cancel or reduce the insurance afforded under the above policy(ies) until at least 30 days notice of such cancellation has been mailed to:

**Certificate Holder:**

TOWN OF SEWALL'S POINT  
1 S SEWALLS POINT RD  
STUART, FL 34996-6736

*Martin Oosterbaan*

**Martin Oosterbaan  
Authorized Representative**



Office: St. Louis, MO      12/15/99  
Phone: (877) 427-5567      Date Issued



BATCH NUMBER



JAMES M. HENDERSON  
PACIFIC REPORTING COMPANY  
P.O. BOX 2000  
STUART, FLORIDA 34986

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON  
SECRETARY

RECEIVED  
SEP 22 2000  
BY: SA

FILE

FILE  
*beckman*

# ACORD. CERTIFICATE OF INSURANCE

ISSUE DATE (MM/DD/YY)

5/24/00

**PRODUCER**

KEARNS AGENCY OF FLORIDA, INC.  
P.O. BOX 1849  
JENSEN BEACH, FL 34958

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**COMPANIES AFFORDING COVERAGE**

**FILE**  
*kearns*

- COMPANY LETTER **A** AUTO OWNERS INSURANCE COMPANY
- COMPANY LETTER **B**
- COMPANY LETTER **C**
- COMPANY LETTER **D**
- COMPANY LETTER **E**

**RECEIVED**  
 JUN 12 2000  
 BY: *[Signature]*

**INSURED**

HOWARD BROTHERS PLUMBING  
5045 SE Gem Drive  
Stuart, FL 34997

**COVERAGES**

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CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY X COMMERCIAL GENERAL LIABILITY CLAIMS MADE X OCCUR OWNER'S & CONTRACTOR'S PROT.	20506254	1/10/00	1/10/01	GENERAL AGGREGATE \$ 300,000 PRODUCTS-COMP/OP AGG. \$ 300,000 PERSONAL & ADV. INJURY \$ 300,000 EACH OCCURRENCE \$ 300,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED. EXPENSE (Any one person) \$ 5,000
A	AUTOMOBILE LIABILITY ANY AUTO ALL OWNED AUTOS X SCHEDULED AUTOS X HIRED AUTOS X NON-OWNED AUTOS GARAGE LIABILITY	9543468100	5/30/00	5/30/01	COMBINED SINGLE LIMIT \$ 500,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	EXCESS LIABILITY UMBRELLA FORM OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY				STATUTORY LIMITS EACH ACCIDENT \$ DISEASE-POLICY LIMIT \$ DISEASE-EACH EMPLOYEE \$
	OTHER				

**DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS**

Plumbing Contractor - State of Florida

**CERTIFICATE HOLDER**

Town of Sewall's Point  
Attn.: Ed Arnold  
1 South Sewall's Point Road  
Stuart, FL 34996  
220-4765 Fax

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

*[Signature]*  
Lawrence E. Kearns

09-23-1999

STATE OF FLORIDA  
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY  
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION  
FROM FLORIDA WORKERS' COMPENSATION LAW

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE 09/02/1999  
EXPIRATION DATE 09/01/2001  
EXEMPTED INDIVIDUAL NAME HOWARD KENT T  
S.S. 267-06-7155  
BUSINESS NAME HOWARD BROTHERS PLUMBING INC  
FEIN 650036900  
BUSINESS ADDRESS 5045 SE GEM DRIVE  
STUART FL 34997

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NOTE: Pursuant to Chapter 440.10(1)(g), 2 F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

4123

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/19/1999	98902887	RF -0036551

The **PLUMBING CONTRACTOR**  
 Named below HAS REGISTERED  
 Under the provisions of Chapter 489 FS.  
 Expiration date: AUG 31, 2001  
 (INDIVIDUAL MUST MEET ALL LOCAL LICENSING REQUIREMENTS  
 PRIOR TO CONTRACTING IN ANY AREA)

HOWARD, KENT TRACY  
 HOWARD BROTHERS PLUMBING INC  
 5045 SE GEM DRIVE  
 STUART FL 34997

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON  
SECRETARY

MARTIN COUNTY CONTRACTORS  
CERTIFICATE OF COMPETENCY

HOWARD, KENT T  
 HOWARD BROTHERS PLUMBING  
 5045 SE GEM DR  
 STUART FL 34997

EXPIRES SEPTEMBER 30, 20 00

AUDIT CONTROL NUMBER	36434	CERTIFICATE NUMBER	MP00057
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MARTIN COUNTY ORIGINAL  
 1999 COUNTY OCCUPATIONAL LICENSE 2000  
 Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
 (561) 288-5604

LICENSE 1979 524 020 CERT MP00057  
 PHONE 561 287 1858 SIC NO 0000  
 LOCATION: 3271 SE SLATER ST

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR.	\$ 0.00	LIC. FEE	\$ 25.00
	\$ 0.00	PENALTY	\$ 0.00
	\$ 0.00	COL. FEE	\$ 0.00
	\$	TRANSFER	\$ 0.00
TOTAL		\$ 25.00	

HOWARD BROTHERS PLUMBING  
 5045 SE GEM DR  
 STUART FL 034997

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
 OF **PLUMBING**  
 AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

1 OCTOBER 99  
 DAY OF ... AND ENDING SEPTEMBER 30, 2000 999081101 1215 PAID

**5034**

**SOLAR POOL HEATER**

**(MPN4895)**

---

MASTER PERMIT NO. 4895

TOWN OF SEWALL'S POINT

Date 7/19/00  
Building to be erected for G. & P. SEELY  
Applied for by CLIMATIC-SOLAR  
Subdivision PLANTATION Lot 3 Block \_\_\_\_\_  
Address 37 N.E. LOFTING WAY  
Type of structure S.F.R. (UNDER CONST.)

BUILDING PERMIT NO. 5034  
Type of Permit SOLAR POOL HTR.  
(Contractor) Building Fee \$78.72  
Radon Fee \_\_\_\_\_  
Impact Fee \_\_\_\_\_  
A/C Fee \_\_\_\_\_  
Electrical Fee \_\_\_\_\_  
Plumbing Fee \_\_\_\_\_  
Roofing Fee \_\_\_\_\_  
Other Fees ( PLAT REV. ) 7.87  
TOTAL Fees \$86.59

Parcel Control Number:  
26-37-41-013-000-000-30-00000  
Amount Paid \$86.59 Check # 13963 Cash \_\_\_\_\_  
Total Construction Cost \$8,200.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Inspector OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE <u>6/8/01</u>

FLOOD ZONE \_\_\_\_\_ LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455  
**WORK HOURS - 8:00 AM UNTIL 5:00 PM**  
MONDAY THROUGH SATURDAY

New Construction  Remodel  Addition  Demolition

This permit must be visible from the street, accessible to the inspector.  
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,  
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.  
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!



**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

**RECEIVED**  
Bldg. Permit Number: \_\_\_\_\_  
JUL 18 2000

Owner or Titleholder's Name: Seeley Phone No. ( ) \_\_\_\_\_  
Street: 37 Lofting Way City Sewalls Pt. State: FL Zip \_\_\_\_\_  
Legal Description of Property: Lot 3 - The Plantation  
Parcel Number: \_\_\_\_\_

Location of Job Site: 37 Lofting Way  
TYPE OF WORK TO BE DONE: Install Solar Pool Heating System

CONTRACTOR/Company Name: Climate-Solar Phone No. (661) 567-3104  
Street: 356 Eugenia Road City Urbanch State: FL Zip 32963  
State Registration: \_\_\_\_\_ State License: CFC024542

ARCHITECT: Carson + USSOC Phone No. (81) 223-8227  
Street: \_\_\_\_\_ City \_\_\_\_\_ State: \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
Street: \_\_\_\_\_ City \_\_\_\_\_ State: \_\_\_\_\_ Zip \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:  
Living Area: \_\_\_\_\_ Garage Area: \_\_\_\_\_ Carport: \_\_\_\_\_ Accessory Bldg: \_\_\_\_\_  
Covered Patio: \_\_\_\_\_ Scr. Porch: \_\_\_\_\_ Wood Deck: \_\_\_\_\_  
Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
New Electrical Service Size: \_\_\_\_\_ AMPS

FLOOD HAZARD INFORMATION  
Flood zone: \_\_\_\_\_ Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD  
Proposed first habitable floor finished elevation: \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES  
Estimated cost of construction or Improvement: \$ 8200.<sup>00</sup>  
Estimated Fair Market Value (FMV) prior to improvement: \$ \_\_\_\_\_  
If Improvement, is cost greater than 50% of Fair Market Value? YES \_\_\_\_\_ NO \_\_\_\_\_  
Method of determining Fair Market Value: \_\_\_\_\_

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)  
Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

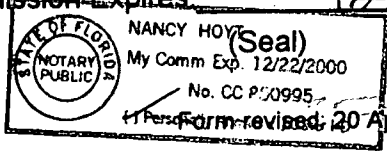
I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)  
\_\_\_\_\_  
Owner  
State of Florida, County of: \_\_\_\_\_ On  
this the \_\_\_\_\_ day of \_\_\_\_\_, 2000,  
by \_\_\_\_\_ who is personally  
known to me or produced \_\_\_\_\_  
as identification.

CONTRACTOR SIGNATURE (Required)  
John J. Orndak  
Contractor  
State of Florida, County of: Indian River On  
this the 10<sup>th</sup> day of July, 2000,  
by John J. Orndak who is personally  
known to me or produced \_\_\_\_\_  
as identification.

Notary Public  
My Commission Expires: \_\_\_\_\_  
(Seal)

Nancy Hoyt  
Notary Public  
My Commission Expires: 12/22/00



**TREE REMOVAL (Attach sealed survey)**

Number of trees to be removed: \_\_\_\_\_ Number of trees to be retained: \_\_\_\_\_ Number of trees to be planted: \_\_\_\_\_ Number of Specimen trees removed: \_\_\_\_\_  
Fee: \$ \_\_\_\_\_ Authorized/Date: \_\_\_\_\_

**DEVELOPMENT 'ORDER # \_\_\_\_\_**

1. **ALL APPLICATIONS REQUIRE**
  - a. Property Appraisers Parcel Number.
  - b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
  - c. Contractors name, address, phone number & license numbers.
  - d. Name all sub-contractors (properly licensed).
  - e. Current Survey
2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:
  - a. 'Floor Plan
  - b. Foundation Details
  - c. Elevation Views - Elevation Certificate due after slab inspection,
  - d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
  - e. Truss layout
  - f. Vertical Wall Sections (one detail for each wall that is different)
  - g. Fireplace drawing: If prefabricated submit manufacturers data

**ADDITIONAL Required Documents are:**

1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

**NOTICE:** In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required' from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official: \_\_\_\_\_ Date: \_\_\_\_\_

Approved by Town Engineer \_\_\_\_\_ Date: \_\_\_\_\_  
(If required)



# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID MM  
CLIMA-1

DATE (MM/DD/YY)  
07/19/00

**PRODUCER**  
Insurance By Ken Brown, Inc.  
P.O. Box 540569  
1339 Arlington Street  
Orlando FL 32805  
Phone: 407-849-0490 Fax: 407-648-0197

**COPY**

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

**INSURED**  
*FILE FILE*  
*Meruel*  
*leffis*  
Climatic Solar Corp  
356 Eugenia Road  
Vero Beach FL 32963

INSURER A: **Transcontinental Ins. Company**  
INSURER B:  
INSURER C:  
INSURER D:  
INSURER E:

**RECEIVED**

JUL 19 2000

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	B2024331034	01/01/00	01/01/01	EACH OCCURRENCE \$ 300,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 300,000 GENERAL AGGREGATE \$ 600,000 PRODUCTS - COMP/OP AGG \$ 600,000
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	EXCESS LIABILITY				EACH OCCURRENCE \$ AGGREGATE \$ DEDUCTIBLE \$ RETENTION \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS   OTH-EP E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

fax: 561-220-4765

**CERTIFICATE HOLDER**

N ADDITIONAL INSURED; INSURER LETTER:

**CANCELLATION**

**SEWALLS**

City of Sewell Point  
Building Department  
1 S. Sewell Point Road  
Sewell Point, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

*Ken Brown*

**CERTIFICATE OF LIABILITY INSURANCE** DATE: 07/18/2000

**PRODUCER**  
**TRUSSELL INSURANCE SERVICES, INC.**  
 2402 AUTUMN OAKS TRAIL  
 ARLINGTON, TX 76006

*permit FILE before*

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURED SUNSHINE COMPANIES, INC.**  
 5825 US 27 NORTH  
 SEBRING, FL 33870  
 PH: 800-477-5808

**COMPANIES AFFORDING COVERAGE**

COMPANY A HARTFORD CASUALTY INSURANCE COMPANY

COMPANY B  
 COMPANY C  
 COMPANY D

**RECEIVED**  
 JUL 18 2000  
*EJ*

**COPY**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSION AND CONTITION OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR <input type="checkbox"/> OWNERS & CONTRACTOR'S PROT				GENERAL AGGREGATE \$ _____ PRODUCTS-COMP/OP AGO \$ _____ PERSONAL & ADV INJURY \$ _____ EACH OCCURRENCE \$ _____ FIRE DAMAGE (Any one fire) \$ _____ MED EXP (Any one person) \$ _____
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ _____ BODILY INJURY (Per person) \$ _____ BODILY INJURY (Per accident) \$ _____ PROPERTY DAMAGE \$ _____
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY-EA ACCIDENT \$ _____ OTHER THAN AUTO ONLY \$ _____ EACH ACCIDENT \$ _____ AGGREGATE \$ _____
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ _____ AGGREGATE \$ _____
A	<b>WORKER'S COMPENSATION AND EMPLOYER'S LIABILITY</b> THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL	48WNJ74901	06/01/2000	06/01/2001	<input checked="" type="checkbox"/> WC STATUTORY LIMITS EL EACH ACCIDENT \$ 1,000,000 EL DISEASE-POLICY LIMIT \$ 1,000,000 EL DISEASE-EA EMPLOYEE \$ 1,000,000
	<b>OTHER LOCATION COVERAGE</b>		06/01/2000	06/01/2001	

DESCRIPTION OF OPERATION, LOCATIONS, VEHICLE & SPECIAL ITEMS  
 ONLY THOSE EMPLOYEES LEASED TO IN FLORIDA, BUT NOT SUBCONTRACTORS OF:  
 4893 CLIMATIC SOLAR CORPORATION 850 2ND LANE, VERO BEACH, FL 32962

**SEWALLS POINT BLDG. DEPT.**  
 1 SO. SEWALLS POINT ROAD  
 SEWALLS POINT, FL 34998-  
 ATTN: 561 220-4766  
 FAX: 561 231-7798

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

**AUTHORIZED REPRESENTATIVE**  
 Roy D. Cannon

*[Signature]*

RECEIVED  
 JUL 18 2000  
 BY: \_\_\_\_\_

AC# 5900470

STATE OF FLORIDA  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CONST. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
07/05/2000	00900012	CF-C024542

The **PLUMBING CONTRACTOR**  
 Named below **IS CERTIFIED**  
 Under the provisions of Chapter **489** FS.  
 Expiration date: **AUG 31, 2002**

DRNOAK, JOHN JOSEPH  
 CLIMATIC-SOLAR CORP  
 356 EUGENIA ROAD  
 VERO BEACH

FL 32963-1526

JEB BUSH  
 GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON  
 SECRETARY

MARTIN COUNTY ORIGINAL  
 1999 COUNTY OCCUPATIONAL LICENSE 2000

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
 (561) 288-5604

LICENSE 1984 518 884 CERT CFC024542  
 PHONE 561 567 3104 SIC NO 0000  
 LOCATION:

INDIAN RIVER COUNTY

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$	0.00	LIC. FEE \$	25.00
\$	0.00	PENALTY \$	0.00
\$	0.00	COL. FEE \$	0.00
\$		TRANSFER \$	0.00
TOTAL			25.00

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
 OF **MISC CONTRACTOR**

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

27 DAY OF SEPTEMBER 19 99 SEC.  
 AND ENDING SEPTEMBER 30, 2000

CLIMATIC-SOLAR / AIR CONDITIONING  
 & PLUMBING INC  
 356 EUGENIA RD  
 VERO BCH FL 032963

RECEIVED  
 L.C. O'STEEN  
 99-09/27/1999  
 1584512824G  
 0719990927006213CK



METROPOLITAN DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1583  
(305) 375-2901  
FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Harter Industries, Inc.  
P.O. Box 502  
Holmdel, NJ 07733

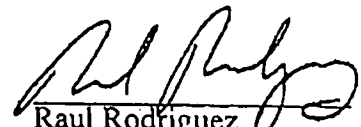
PRODUCT CONTROL DIVISION  
(305) 375-2902  
FAX (305) 372-6339

Your application for Product Approval of:  
*Solar Collector for Heating Swimming Pools*  
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: *Applicant along with Harter Industries drawing # MD1 thru 4 dated 03/06/97, 06/03/97 & 08/01/97 and signed and sealed by H. M. Healey P.E. on 08/13/97 & 11/21/97. (For listing, see Section 5 of this Notice of Acceptance)*

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 97-0819.01  
Expires: 01/02/01

  
Raul Rodriguez  
Product Control Supervisor

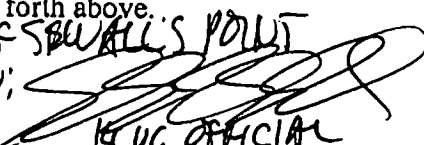
**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

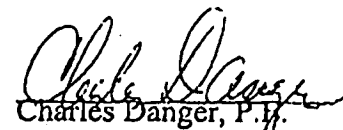
**BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

**PN 5034**

**FILE**

7/19/00 TOWN OF SEWELL'S POINT  
REVIEW:   
BUDG OFFICIAL  
TOWN COPY  
37 N.E. LOFTING WAY

  
Charles Danger, P.E.  
Director  
Building Code Compliance Dept.  
Metropolitan Dade County

Approved: 01/02/98

Internet mail address: [postmaster@buildingcodeonline.com](mailto:postmaster@buildingcodeonline.com)



Homepage: <http://www.buildingcodeonline.com>

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Thu  Fri  Sat  Sun, 2001; Page 2 of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5123	PICEU	RF-SHEATHING	Passed	
5 (2)	65 S. RIVER RD. SEAGATE BLVD.	PTC- WALL SHEATHING ✓		INSPECTOR: [Signature] 6/8 ✓
✓ 5000	RIMER	RT'G. WALL - FINAL		SPEC. INSP. RPT. RCVD. ✓
5 (1)	29 S. RIVER RD. LEAR DEVEL.	not completed, in progr.		- COPY TO SITE INSPECTOR: [Signature] 6/8 ✓
✓ 4958	BUSHA	DOCK - FINAL	Passed	FINAL INSP. 6/4/01 = COMPLETE ✓
N (6)	10 PALM CT. MACBUSH	(REINSPECT FOR PUNCH LIST ITEMS)		(PERMIT EXP. 6/4/01) INSPECTOR: [Signature] 6/8 ✓
✓ 5143	GIFFORD	DRY-IN	Passed	
N (7)	85 N. SEWALL'S POINT RD. SCOTT J. HOLMES			INSPECTOR: [Signature] 6/8 ✓
✓ 5034	<del>SEELY</del>	<del>SOUTH POOL HTG.</del>	<del>Passed</del>	
N (8)	<del>37 W. LORTINGWAY</del> CLIMATIC-SOLAR	<del>FINAL</del>		INSPECTOR: [Signature] 6/8 ✓
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

**5229**

**POOL**

**(MPN 4895)**

---

MASTER PERMIT NO. 4895

TOWN OF SEWALL'S POINT

Date 1/16/01

BUILDING PERMIT NO. 5229

Building to be erected for GREG SEELY

Type of Permit POOL/SPA

Applied for by HARBOR BAY POOLS

(Contractor) Building Fee \$ 240.00

Subdivision PLANTATION Lot 3 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 37 NE LOPTING WAY

Impact Fee \_\_\_\_\_

Type of structure SPR (OWNER CONST.)

A/C Fee \_\_\_\_\_

Parcel Control Number:

26-37-41-013-000-00030-00000

Plumbing Fee \_\_\_\_\_

Amount Paid \$240.00 Check # 3200 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 40,000.00

TOTAL Fees \$ 240.00

Signed Marguerite Barland  
Applicant

Signed [Signature]  
Town Building Inspector

# POOL / SPA PERMIT

### INSPECTIONS

SETBACKS DATE \_\_\_\_\_  
 COMPACTION TESTS DATE \_\_\_\_\_  
 GROUND ROUGH DATE \_\_\_\_\_  
 STEEL & BOND DATE \_\_\_\_\_  
 LIGHT NITCHE DATE \_\_\_\_\_

DECK DATE \_\_\_\_\_  
 ENCLOSURE & LATCH DATE \_\_\_\_\_  
 DOOR ALARM(S) DATE \_\_\_\_\_  
 FINAL DATE 6/8/01

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

## WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction  Remodel  Addition  Demolition

This permit must be visible from the street, accessible to the inspector.

FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,

NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.

DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

Bldg. Pmt# \_\_\_\_\_

# Town of Sewall's Point

RECEIVED 2-00  
JAN - 3 2001  
BY: [Signature] 5229

## BUILDING PERMIT APPLICATION

Owner's Name: GREG SEELY Phone No. 561.288.3266

Owner's Present Address: 131 SW WILLOW LAKE TRAIL, STUART FL 34997

Fee Simple Titleholder's Name & Address if other than owner N/A

Location of Job Site: 377 NE LOFTING WAY STUART FL 34996

TYPE OF WORK TO BE DONE: POOL SPA DECK

CONTRACTOR INFORMATION  
Contractor/Company Name: HARBOR BAY POOLS Phone No. 878.8806  
CRIBBEN CONSTRUCTION Phone No. 288.6330

COMPLETE MAILING ADDRESS 3077 SE DIXIE HWY. STUART, FL 34997 694 SW BAYSHORE BLVD

State Registration RE0051342 State License RE0051342 RP0067256 PSL FL 34983

Legal Description of Property LOT 3 THE PLANTATION SEWALLS POINT MARTIN COUNT

Parcel Number 26 37 41 013 000 000 3 00 0000

### ARCHITECT/ENGINEER INFORMATION

Architect N/A Phone No. \_\_\_\_\_

Address \_\_\_\_\_

Engineer SENG-CHAI TAN, P.E., P.A. Phone No. 561.551.0310

Address 1107-G3 GREEN PINE BLVD

Area Square Footage: Living Area \_\_\_\_\_ Garage Area \_\_\_\_\_ Carport \_\_\_\_\_

Accessory Bldg. \_\_\_\_\_ Covered Patio \_\_\_\_\_ Scr. Porch \_\_\_\_\_ Wood Deck \_\_\_\_\_

Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_

NEW electrical SERVICE SIZE \_\_\_\_\_ AMPS

### FLOOD HAZARD INFORMATION

flood zone \_\_\_\_\_ minimum Base Flood Elevation (BFE) \_\_\_\_\_ NGVD

proposed finish floor elevation \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

Cost of construction or Improvement \$40,000

Fair Market Value (FMV) prior to improvement \_\_\_\_\_

Substantial Improvement 50% of FMV yes \_\_\_\_\_ No \_\_\_\_\_

Method of determining FMV \_\_\_\_\_

### SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical DJ HARMAN State License MC00049

Mechanical \_\_\_\_\_ State License# \_\_\_\_\_

Plumbing HARBOR BAY POOLS INC. State License# RP0067256

Roofing \_\_\_\_\_ State License# \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

### OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE [Signature]

Sworn to and subscribed before me this 14 day of NOV, 2000 by

GREG SEELY who is personally known to me or has produced or has produced in person and who did (did not) take an oath.

CONTRACTOR SIGNATURE [Signature]

Sworn to and subscribed before me this 21 day of DECEMBER, 1998

by WADE CLARK who is personally known to me or has produced 2000 and who did (did not) take an oath.

My Commission CC907295

Expires Feb. 2, 2004



**TREE REMOVAL (Attach sealed survey)**

No. of trees to be removed N/A No. to be retained N/A No. to be planted \_\_\_\_\_

Specimen tree removed \_\_\_\_\_ Fee \_\_\_\_\_ Authorized/Date \_\_\_\_\_

DEVELOPMENT ORDER # \_\_\_\_\_

**1. ALL APPLICATIONS REQUIRE:**

- A. Property Appraiser's Parcel Number.
  - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
  - C. Contractor's name, address, phone number & license numbers.
  - D. Name all sub-contractors (properly licensed).
  - E. Current Survey
  - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
  2. Foundation Details
  3. Elevation Views - Elevation Certificate due after slab inspection.
  4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
  5. Truss layout
  6. Vertical Wall Sections (one detail for each wall that is different)
  7. Fireplace drawing: If prefabricated submit manufacturers data.

**ADDITIONAL Required Documents are:**

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official \_\_\_\_\_

Approved by Town Engineer \_\_\_\_\_

NOTICE OF COMMENCEMENT

Permit No. \_\_\_\_\_  
State Of FLORIDA

TaxID No. 263741013000000300000  
County Of MARTIN

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of property and street address, if available LOT 3 THE PLANTATION SENALLS POIN  
37 NE LOFTING WAY STUART FL 34996 MARTIN COUNTY

General description of improvements POOL DECK ~~SCREEN~~  
Owner GREG SEEL  
Address 131 SW WILLOW LAKE TRAIL STUART 34997 FL  
Owner's interest in site of improvement OWNER

Fee Simple Title holder (if other than owner) N/A

Address \_\_\_\_\_

Contractor HARBOR BAY POOLS Phone# 878-8806  
Address 694 SW BAYSHORE BLVD. PORT ST LUCIE FL 34983 Fax# 878-8859

Surety N/A Phone# \_\_\_\_\_  
Address \_\_\_\_\_ Fax# \_\_\_\_\_  
Amount of Bond \$ \_\_\_\_\_

Lender N/A Phone# \_\_\_\_\_  
Address \_\_\_\_\_ Fax# \_\_\_\_\_

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

Name N/A Phone# \_\_\_\_\_  
Address \_\_\_\_\_ Fax# \_\_\_\_\_

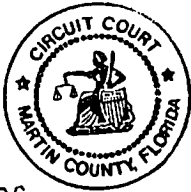
In addition to himself, owner designates \_\_\_\_\_ of \_\_\_\_\_  
(Phone# \_\_\_\_\_ Fax# \_\_\_\_\_) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of notice of commencement is one year from the date of recording unless a different date is specified. \_\_\_\_\_

[Signature]  
OWNERS SIGNATURE

STATE OF FLORIDA, COUNTY OF ST. LUCIE  
Sworn to and subscribed before me this 22 day of DEC, 192000, by WARRB Charles, who is personally known to me or who has produced in person as identification.

STATE OF FLORIDA  
MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL.  
MARSHA EWING, CLERK  
BY [Signature] D.C.  
DATE 1-2-01



(seal)  
[Signature]  
SIGNATURE OF NOTARY  
KEVIN MATZ  
TYPE OR PRINT NAME OF NOTARY  
NOTARY PUBLIC TITLE  
Kevin Matz COMMISSION NUMBER  
My Commission CC907295  
Expires Feb. 2, 2001



CERTIFICATE OF INSURANCE

HOME OFFICE: ONE NATIONWIDE PLAZA - COLUMBUS, OHIO 43216

The company indicated below certifies that the insurance afforded by the policy or policies numbered and described below is in force as of the effective date of this certificate. This Certificate of Insurance does not amend, extend, or otherwise alter the Terms and Conditions of Insurance coverage contained in any policy numbered and described below.

**COPY**

**RECEIVED**  
MAR - 3 2000  
BY: *ST*

CERTIFICATE HOLDER:  
TOWN OF SEWELLS POINT  
ATTN ED ARNOLD  
1 SOUTH SEWELLS POINT ROAD  
SEWELLS POINT, FL 34996

**FILE**  
*CIC/INS*

INSURED:  
HARBOR BAY POOLS INC  
694 S.E. BAYSHORE BLVD  
PORT ST LUCIE, FL 34984

**FILE** *permit*

TYPE OF INSURANCE	POLICY NUMBER & ISSUING CO.	POLICY EFF. DATE	POLICY EXP. DATE	LIMITS OF LIABILITY (*LIMITS AT INCEPTION)
LIABILITY	77-PR-708391-3001	12-21-99	12-21-00	
[X] Liability and Medical Expense	NATIONWIDE MUTUAL INSURANCE CO.			Any One Occurrence..... \$ 300.000
[X] Personal and Advertising Injury				Any One Person/Org ..... \$ 300.000
[X] Medical Expenses				ANY ONE PERSON ..... \$ 5.000
[X] Fire Legal Liability				Any One Fire or Explosion \$ 50.000
[ ] Other Liability				General Aggregate* ..... \$ 600.000 Prod/Comp Ops Aggregate* . \$
<b>AUTOMOBILE LIABILITY</b>				
[ ] BUSINESS AUTO				Bodily Injury (Each Person) ..... \$
[ ] Owned				(Each Accident) ..... \$
[ ] Hired				Property Damage (Each Accident) ..... \$
[ ] Non-Owned				Combined Single Limit .... \$
<b>EXCESS LIABILITY</b>				
[ ] Umbrella Form				Each Occurrence ..... \$ Prod/Comp Ops/Disease Aggregate* ..... \$
<b>STATUTORY LIMITS</b>				
[ ] Workers' Compensation and				BODILY INJURY/ACCIDENT ... \$
[ ] Employers' Liability				Bodily Injury by Disease EACH EMPLOYEE ..... \$ Bodily Injury by Disease POLICY LIMIT ..... \$

Should any of the above described policies be cancelled before the expiration date, the insurance company will endeavor to mail written notice to the above named certificate holder, but failure to mail such notice shall impose no obligation or liability upon the company, its agents, or representatives.

DESCRIPTION OF OPERATIONS/LOCATIONS  
VEHICLES/RESTRICTIONS/SPECIAL ITEMS

*OR Post*

Effective Date of Certificate: 12-21-1999  
Date Certificate Issued: 02-23-2000

Authorized Representative: O. R. POST AGENCY  
Countersigned at: 146 NW CENTRAL PARK PLZ  
SUITE 102

PRODUCER

TRUSSELL INSURANCE SERVICES, INC.  
2402 AUTUMN OAKS TRAIL  
ARLINGTON, TX 76006

**FILE**  
*McNew*

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER, THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A	HARTFORD CASUALTY INSURANCE COMPANY	<b>RECEIVED</b> JUN - 5 2000 BY: <i>[Signature]</i>
COMPANY B		
COMPANY C		
COMPANY D		

INSURED SUNSHINE COMPANIES, INC.  
5825 US 27 NORTH  
SEBRING, FL 33870  
PH: 800-477-5606

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSION AND CONTITION OF SUCH POLICIES, LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT				GENERAL AGGREGATE	\$
					PRODUCTS-COMP/OP AGG	\$
					PERSONAL & ADV INJURY	\$
					EACH OCCURRENCE	\$
					FIRE DAMAGE (Any one fire)	\$
					MED EXP (Any one person)	\$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT	\$
					BODILY INJURY (Per person)	\$
					BODILY INJURY (Per accident)	\$
					PROPERTY DAMAGE	\$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY-EA ACCIDENT	\$
					OTHER THAN AUTO ONLY:	
					EACH ACCIDENT	\$
					AGGREGATE	\$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE	\$
					AGGREGATE	\$
A	<b>WORKER'S COMPENSATION AND EMPLOYER'S LIABILITY</b> THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL	46WNJ74901	06/01/2000	06/01/2001	<input checked="" type="checkbox"/> WC STATU- TORY LIMITS <input type="checkbox"/> OTH- ER	
					EL EACH ACCIDENT	\$ 1,000,000
					EL DISEASE-POLICY LIMIT	\$ 1,000,000
					EL DISEASE-EA EMPLOYEE	\$ 1,000,000
	<b>OTHER LOCATION COVERAGE</b>		06/01/2000	06/01/2001		

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

ONLY THOSE EMPLOYEES LEASED TO, IN FLORIDA, BUT NOT SUBCONTRACTORS OF:

5155 HARBOR BAY POOL, INC.

694 S.W. BAYSHORE BLVD., PORT ST. LUCIE, FL 34983

CERTIFICATE HOLDER

TOWN OF SEWALLS POINT  
1 S. SEWALLS POINT ROAD  
SEWALLS POINT, FL 34996-  
FAX: 561 220-4765

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Roy D. Cannon

*[Signature]*



STATE OF FLORIDA  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CONST INDUSTRY LICENSING BOARD  
 7960 ARLINGTON EXPRESSWAY  
 STE 300  
 JACKSONVILLE FL 32211-7467

(904) 727-6530

CLARKE, WADE MALCOLM  
 HARBOR BAY POOLS INC  
 694 SW BAYSHORE BLVD  
 PORT ST LUCIE FL 34983

RECEIVED  
 FEB 24 2000  
 BY: \_\_\_\_\_

STATE OF FLORIDA AC# 5779132  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 RP -0067256-02767/2000 99020276  
 REG RESIDENTIAL POOL/SPA CONTR  
 CLARKE, WADE MALCOLM  
 HARBOR BAY POOLS INC  
 (INDIVIDUAL MUST MEET ALL LOCAL LICENSING REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA)  
 HAS REGISTERED under the provisions of Ch. 489 FS.  
 Expiration Date: AUG 31, 2001

DETACH HERE

AC# 5779132

STATE OF FLORIDA  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
02/07/2000	99020276	RP -0067256

The RESIDENTIAL POOL/SPA CONTRACTOR  
 Named below HAS REGISTERED  
 Under the provisions of Chapter 489 FS.  
 Expiration date: AUG 31, 2001  
 (INDIVIDUAL MUST MEET ALL LOCAL LICENSING REQUIREMENTS  
 PRIOR TO CONTRACTING IN ANY AREA)

CLARKE, WADE MALCOLM  
 HARBOR BAY POOLS INC  
 694 SW BAYSHORE BLVD  
 PORT ST LUCIE FL 34983

JEB BUSH  
 GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON  
 SECRETARY

**RECEIVED**  
FEB 24 2000  
BY: \_\_\_\_\_

**MARTIN COUNTY CONTRACTORS  
CERTIFICATE OF COMPETENCY**

**WADE M CLARKE  
HARBOR BAY POOLS INC  
694 SW Bayshore Blvd  
PSL FL 34983**

**EXPIRES SEPTEMBER 30, 20 00**

<b>AUDIT CONTROL NUMBER</b>	<b>37751</b>	<b>CERTIFICATE NUMBER</b>	<b>SP02391</b>
-------------------------------------	--------------	---------------------------	----------------

ROBERT M. WIENKE  
Mayor

MARC S. TEPLITZ  
Vice Mayor

DAWSON C. GLOVER, III  
Commissioner

THOMAS P. BAUSCH  
Commissioner

E. DANIEL MORRIS  
Commissioner

# TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY  
Town Manager

JOAN H. BARROW  
Town Clerk

LARRY McCARTY  
Chief of Police

EDWIN B. ARNOLD  
Building Official

JOSE TORRES, JR.  
Maintenance

## NOTICE OF RESIDENTIAL POOL SAFETY REQUIREMENTS

To: All Pool/Spa Contractors  
From: Edwin B. Arnold, Building Official *EA*  
Subj: Preston de Ibern/McKenzie Merriam  
Residential Swimming Pool Safety Act  
Date: Sept. 1, 2000

Section 515.27 of the subject law provides in part as follows:

**(1) In order to pass final inspection and receive a certificate of completion, a residential swimming pool must meet at least one of the following requirements relating to pool safety features:**

**(a) The pool must be isolated from access to a home by an enclosure that meets the pool barrier requirements of s. 515.29;**

**(b) The pool must be equipped with an approved safety pool cover;**

**(c) All doors and windows providing direct access from the home to the pool must be equipped with an exit alarm that has a minimum sound pressure rating of 85 dB A at 10 feet; or**

**(d) All doors and windows providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with a release mechanism placed no lower than 54 inches from the floor.**

The effective date of this statute is October 1, 2000. All pools completed on or after that date will be required to fully comply with the provisions of the statute. The statute also mandates specific information which must be furnished to buyers on entering into an agreement to build a residential swimming pool. Evidence of compliance with these requirements will be required as part of the building permit application submittal. Please contact me if you have any questions.

*\* SUBMIT DETAILS OF PROPOSED METHOD OF COMPLIANCE FOR REVIEW & APPROVAL PRIOR TO INSTALLATION.*

*EA 1/5/01*




One South Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org  
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

# **GRIBBEN** **Construction Co.**

February 22, 2001


**FILE**

RECEIVED  
FEB 22 2001  
BY: 

Town of Sewall's Point  
Sewall's Point Building Dept.

Attn: Ed Arnold

RE: Seely Residence, permit #4527  
37 N.E. Lofting Way

- APPROVED AS NOTED  
- TEMP. SERVICE INSP  
SCHED. FOR 2/23/01  


Dear Ed,

We, the undersigned, Edward W. Gribben and D.J. Harman, (Electrical Contractor), agree to put two (2) service disconnects (NF) outside at meter location. This promise is made so that the existing service is approved to be energized so that the air conditioning can be energized in the racquetball area. This is necessary to protect the integrity of the racquetball walls that are stored there.

If there is anything further that we can do, please advise.

Sincerely,



Edward W. Gribben, President  
Gribben Construction Co.




D.J. Harman, Sole Proprietor  
D.J. Harman Electrical

SERVICE DISCONNECT  
IN COMPLIANCE W/SECT.  
4505.1 SPBC REQUIRED  
PRIOR TO FINAL INSPECTION.

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn and subscribed before me this 22<sup>nd</sup> day of February 2001, who are personally know to me or has  
produced \_\_\_\_\_ as identification.



Notary Public 

My Commission Expires:



Lavonne K. Gribben  
MY COMMISSION # CC710827 EXPIRES  
May 22, 2002  
BONDED THRU TROY FAIN INSURANCE, INC.

(561) 288-6330 • FAX (561) 286-2072  
3077 S.E. Dixie Highway • Stuart, Florida 34997-5041



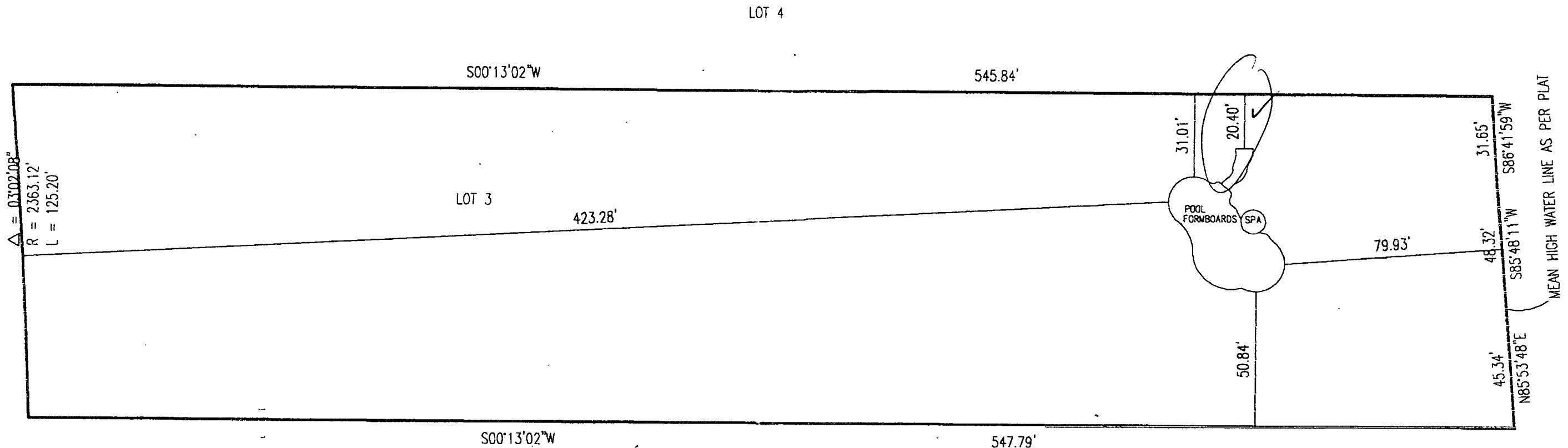
LEGAL DESCRIPTION:  
 Lot 3 in  
 THE PLANTATION-SEWALLS POINT  
 according to the plat thereof  
 as recorded in Plat Book 12  
 page 70 of the  
 Public Records of Martin  
 County, Florida.

ABBREVIATIONS:  
 R.O.W. = Right of Way  
 CONC. = Concrete  
 R = Radius of curve  
 L = Length of curve  
 Δ = Delta of Curve  
 MEAS. = Measured  
 SET = Set 5/8" Iron rebar with  
 yellow cap marked "PSM 5543"  
 C.L.F. = Chain Link Fence

~~37 NE COBBLE WAY~~  
~~PN 5229~~  
~~SEELY~~



- SURVEYORS NOTES:
1. Unless otherwise noted only plotted easements are shown hereon.
  2. No underground utilities or improvements were located unless otherwise shown.
  3. This site lies within Flood Insurance Rate Map Zone X.
  4. Flood Zone shown hereon is an interpretation by the surveyor and is provided as a courtesy. The flood zone should be verified by a determination agency.
  5. Bearings shown hereon are based on the East line of Lot 3 as being S00°13'02"W according to the Plat described hereon.
  6. P.U.D.E. denotes Public Utilities and Drainage Easement.
  7. All Lot dimensions shown are per plat unless otherwise shown.



RECEIVED  
 FEB - 8 2001  
 BY: *[Signature]*

FORM BOARD SURVEY  
 "WATERFALL" OR  
 FILE TOWN COPY  
 37 NE COBBLE WAY

The SPECIFIC PURPOSE of this survey is to delineate the pool formboards in relation to the boundary lines as established by Stephen J. Brown Inc. Drawing No. 2270-01-01/ Dated 3/21/95

SCALE: 1"=30'	Atlantic Land Design	LAST FIELD DATE: 1/18/2001
DATE: 1/16/01	10075 South U.S. 1 Port St. Lucie, FL (887) 388-4290	SPECIFIC PURPOSE SURVEY
DRAWN: ALH	2001-038	Relocated to: Joe G. Galt Holiday Builders, Inc. / Bank of America, N.A. Brevard Title, Inc. / Stewart Title Guaranty Inc.
DATE: 1/18/01	REVISIONS RELOCATE POOL FORMBOARDS	I hereby certify that the survey shown hereon is true and correct and is based on actual measurements taken in the field. This survey meets the Minimum Technical Standards of Chapter 1057 Florida Administrative Code.
		Joe G. Galt, P.E., P.S., P.L.S. Professional Surveyor & Mapper No. 5543 State of Florida

PN 5229

COPY

FILE

MASTER PERMIT NO. 4895

TOWN OF SEWALL'S POINT

Date 1/16/01

BUILDING PERMIT NO. 5229

Building to be erected for GREG SEELY

Type of Permit POOL/SPA

Applied for by HARBOR BAY POOLS

(Contractor) Building Fee \$ 240.00

Subdivision PLANTATION Lot 3 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 37 NE LOPTING WAY

Impact Fee \_\_\_\_\_

Type of structure SFR (OWNER CONST.)

AC Fee \_\_\_\_\_  
Electrical Fee \_\_\_\_\_  
Plumbing Fee \_\_\_\_\_  
Roofing Fee \_\_\_\_\_

Parcel Control Number:

26-37-41-013-000-00030-00000

Amount Paid: \$240.00 Check # 3200 Cash \_\_\_\_\_

Other Fees (\_\_\_\_\_)

Total Construction Cost \$ 40,000.00

TOTAL Fees \$ 240.00

Signed Marguerite Barland  
Applicant

Signed [Signature]  
Town Building Inspector

1/18/01: PENALTY - DEL. FEE  
WORK COMMENCED PRIOR  
TO PERMIT ISSUANCE.

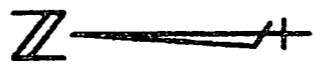
ROAD: \$240.00  
ck # 3218

**LEGAL DESCRIPTION:**

Lot 3 in  
THE PLANTATION-SEWALLS POINT  
according to the plat thereof  
as recorded in Plat Book 12  
page 70 of the  
Public Records of Martin  
County, Florida.

**ABBREVIATIONS:**

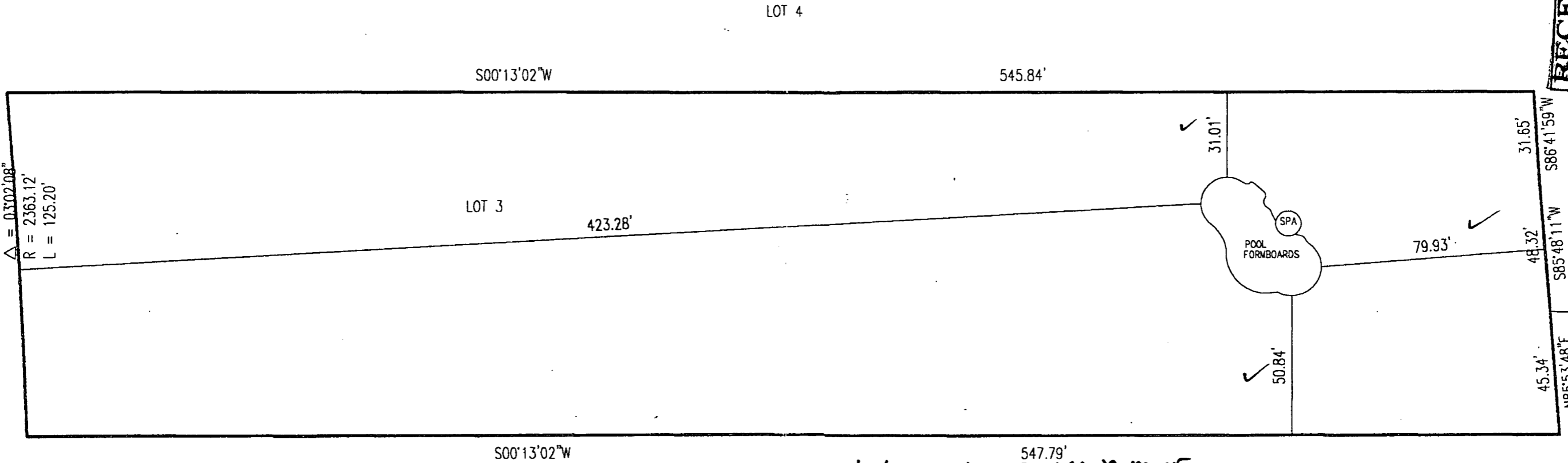
R.O.W. = Right of Way  
CONC. = Concrete  
R = Radius of curve  
L = Length of curve  
 $\Delta$  = Delta of Curve  
MEAS. = Measured  
SET = Set 5/8" iron rebar with  
yellow cap marked "PSM 5543"  
C.L.F. = Chain Link Fence



**SURVEYORS NOTES:**

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7. All Lot dimensions shown are per plat unless otherwise shown.

**RECEIVED**  
 JAN 18 2001  
 BY: *[Signature]*



1/16/01 TOWN OF SEWALLS POINT  
 REVIEWED: *[Signature]*  
 H.C.G. OFFICIAL

The SPECIFIC PURPOSE of this survey is to delineate the pool formboards in relation to the boundary lines as established by Stephen J. Brown Inc. Drawing No. 2270-01-01/ Dated 3/21/95

FORMBOARD SURVEY- POOL (REVISED)

FILE TOWN COPY  
 37 N.E. LOFTING WAY  
 PN 5229

SCALE: 1"=30'	Atlantic Land Design	DATE: 1/16/01	10875 South U.S. 1 Port St. Lucie, FL (888) 388-4294	LAST FIELD DATE: 1/16/2001
DATE: 1/16/01	2001-036	DATE: 1/16/01	REVISIONS: RELOCATE POOL FORMBOARDS	Certified to: James Gullion Holiday Builders, Inc. / Bank of America, N.A. Grevard Title, Inc. / Stewart Title Guaranty Inc. I hereby certify that the survey shown hereon is true and correct and is based on actual measurements taken in the field. This survey meets the Minimum Technical Standards of Chapter 81G17 Florida Administrative Code. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND SURVEY
DATE: 1/16/01	REVISIONS: RELOCATE POOL FORMBOARDS	DATE: 1/16/01	REVISIONS: RELOCATE POOL FORMBOARDS	

*[Signature]*  
 James A. Centre Jr., P.E.  
 Professional Surveyor & Member No. 2843  
 State of Florida

RECEIVED  
 JAN 18 2001  
 BY:

COPY

TO

WADE CLARK  
 (HARBOY BOY)

OFFICE  
 MTC

TES:

Survey of description as furnished by Client

Lands shown hereon were not abstracted for easements and/or rights-of-way of record.

Denotes distance or bearing by description as furnished.

Denotes measured distance or bearing.

Denotes calculated distance or bearing.

All bearings are referenced to the Instrument of record as shown hereon, unless otherwise noted.

Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark. There are no above ground encroachments, unless otherwise shown.

T. I. B. - SET 5/8 IRON BAR & CAP #4049

O. - FOUND OBJECT

P. - IRON PIPE

M. - CONCRETE MONUMENT

B. - IRON BAR

K. - R.K. NAIL

R.S. - RAILROAD SPIKE

N.W. - NAIL & WASHER

OHW - OVERHEAD WIRE

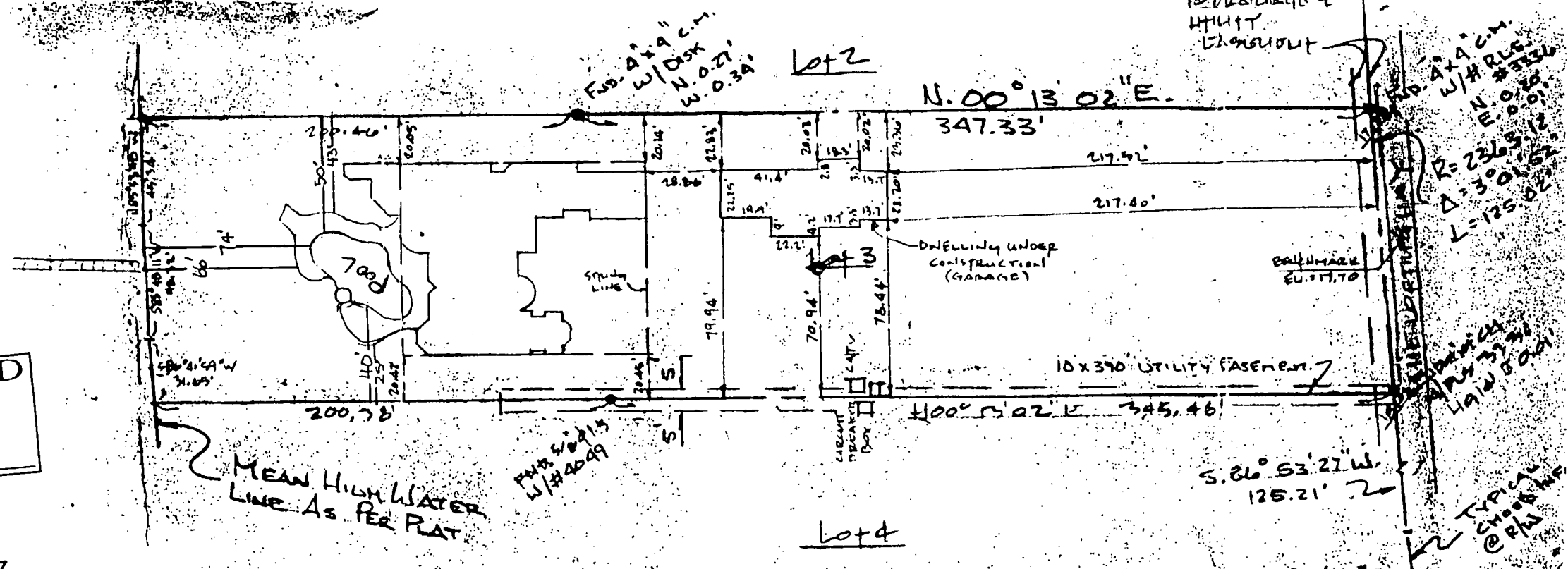
— - DRAINAGE FLOW

M.H. - MANHOLE

P.P. - POWER POLE

C.B. - CATCH BASIN

B.50



**SURVEYOR'S CERTIFICATE**

WE HEREBY CERTIFY THAT THE BOUNDARY SURVEY AS SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS SURVEYED UNDER OUR DIRECTION. WE FURTHER CERTIFY THAT IT MEETS THE MINIMUM TECHNICAL STANDARDS UNDER RULE 6G17-6 FLA. ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027 FLA. STATUTES. NOT VALID, UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

STEPHEN J. BROWN INC.

Stephen J. Brown PROFESSIONAL LAND SURVEYOR  
 REGISTRATION No. 4049, STATE OF FLORIDA

*[Handwritten signature of Stephen J. Brown]*

**LEGAL DESCRIPTION:**  
Lot 3 in  
THE PLANTATION-SEWALLS POINT

according to the plat thereof  
as recorded in Plat Book 12  
page 70 of the  
Public Records of Martin  
County, Florida.

**ABBREVIATIONS:**  
R.O.W. = Right of Way  
CONC. = Concrete  
R = Radius of curve  
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SET = Set 5/8" iron rebar with  
yellow cap marked "PSM 5543"  
C.L.F. = Chain Link Fence



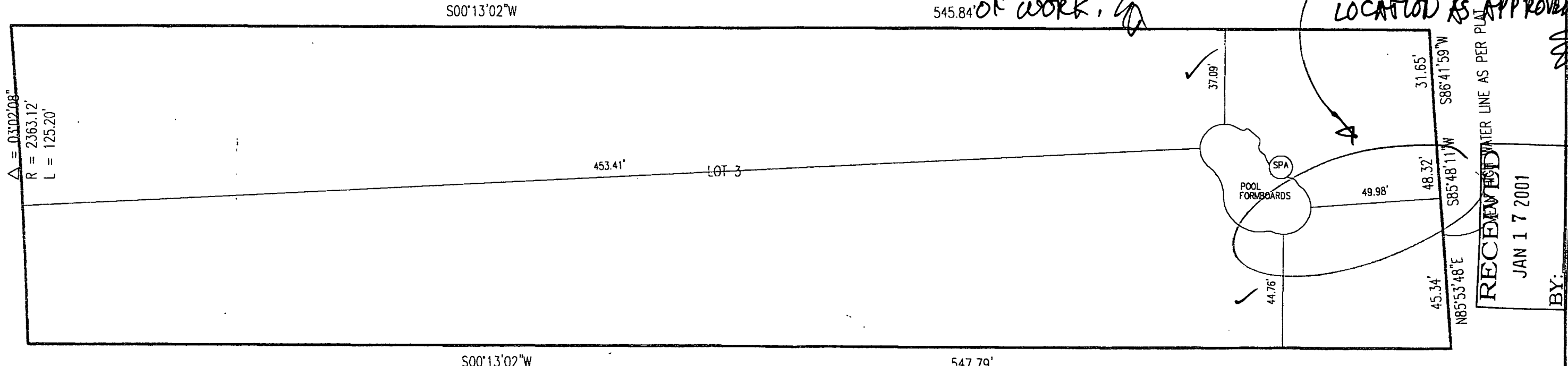
**NOTE: CONSTRUCTION  
COMMENCED  
PRIOR TO PERMIT  
ISSUANCE (FORM & STL. PURCHASED)**

**DOUBLE FEE ASSESSED  
PER § 50-34(C), TO  
BE PAID PRIOR TO  
RECOMMENCEMENT**

**545.84' OF WORK,**

- SURVEYORS NOTES:**
1. Unless otherwise noted only plotted easements are shown hereon.
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  4. Flood Zone shown hereon is an interpretation by the surveyor and is provided as a courtesy. The flood zone should be verified by a determination agency.
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  6. P.U.D.E. denotes Public Utilities and Drainage Easement.
- All lot dimensions shown are per plat unless otherwise shown.

**POOL & DECK MUST  
COMPLY W/ 50'  
SETBACK - SEE PERMIT  
DWG. FOR PROPOSED  
LOCATION AS APPROVED.**



**1/17/01 TOWN OF SEWALLS POINT  
REVIEW:**

**FORMBOARD SURVEY BLDG OFFICE  
RESTRICTED  
PN 5229**

**FILE TOWN COPY  
37 NE LEFTING WAY**

SCALE: 1"=30'	Atlantic Land Design	SPECIFIC PURPOSE SURVEY
DATE: 1/16/01	10875 South U.S. 1 Port St. Lucie, FL (888) 388-4290	Certified to: Jose Guillen Holiday Builders, Inc. / Bank of America, N.A. Broward Title, Inc. / Stewart Title Guaranty Inc.
DRAWN: ALH	DATE: 1/16/01	REVISIONS
2001-038	LAST FIELD DATE: 1/16/2001	
	I hereby certify that the survey shown hereon is true and correct and is based on actual measurements taken in the field. This survey meets the Minimum Technical Standards of Chapter 81G17 Florida Administrative Code.	
	NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND SURVEY STATE OF FLORIDA	

# AJF ENGINEERING & TESTING INC.

P.O. BOX 12059  
LAKE PARK, FL 33403

## IN PLACE SOIL DENSITY (NUCLEAR METHOD) ASTM D 2922

Date: APRIL 27, 2001  
 Job #: P01-0899  
 Permit #: ~~██████████~~  
 Client: HARBOR BAY POOLS  
 Contractor: HARBOR BAY POOLS  
 Job Location: SEELY RESIDENCE  
~~37 NE LOFTINGWAY~~  
 SEWALL'S POINT, FLORIDA

RECEIVED  
APR 30 2001  
BY: *[Signature]*

FILE

Test No.	Test Sample Location	Depth	In Place Dry Density	Maximum Dry Density	% Compacted
<b>Density - Pool Deck Backfill</b>					
<b>Below Slab</b>					
<b>Grade</b>					
	North Side	0-1'	102.3	106.8	95.8%
		1-2'	103.6		97.0%
		2-3'	102.9		96.3%
	South Side	0-1'	103.0	106.8	96.4%
		1-2'	104.4		97.8%
		2-3'	102.8		96.3%
	East Side	0-1'	103.1	106.8	96.5%
		1-2'	104.1		97.5%
		2-3'	103.8		97.2%
	West Side	0-1'	103.1	106.8	96.5%
		1-2'	103.8		97.2%
		2-3'	102.9		96.3%

*[Handwritten Signature]*  
 4/27/01  
 AJF ENGINEERING & TESTING INC.

PHONE: (561) 845-7445 WEST PALM BEACH (561) 337-7755 MARTIN-ST. LUCIE  
 (561) 564-0940 INDIAN RIVER (561) 845-8876 FAX

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~THU~~ 1/19/01

2000F

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5158	NICKLAS	FINAL		
⑧	21 CASTLE HILL WAY AK MARTIN HOMES	(DOOR REPL.)	Passed	1/19
5219	AIMSLER	TIN TAG		
⑦	3 SIMAKA ST. PACIFIC			
5123	PICEU	FIRST FLOOR	Passed	1/19
①	65 S. RIVER RD. SEAGATE	DECK	Deck + Beams partial	
5229	SEELY	<del>POOL STEEL</del>	Passed	1/19
⑨	<del>37 NE LOSTING</del> HARBOR BAY POOLS	<del>1-way prop</del>	Partial	900 1/19
TIR	KIPLINGER	FIELD VERIF.	2 trees (Palm) dec.	
③	143 S. RIVER RD. OIB / EARLY PEARSON		O.k. to remove	1/19
4965	DANIELSON	D/W SCREW	Passed	1/19
②	161 S. RIVER MILLER			
5220	PARMELEE	FINAL (REPAIR)	Passed	1/19
⑥	21 S. RIDGEVIEW CAPPS & HUFF			

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 5/19/01, 2000; Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5214	ROHLOFF	HOT MOP ?		260-0622 (JOSE)
⑦	20 RIVERVIEW DR. C & D ENT.			CALL IF NOT NEEDED
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5007	PAGE	TILE-IN	Passed	2/9
⑥	8 ST. LUCIE CT. WHITE LAKE PRDP.	PROGRESS	Screw	on w. 2 screws near Hill crest! S-Tile
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5224	SEELY	<del>FORM &amp; STEEL</del>	Passed	2/9
①	<del>STONE LIFTING</del> HARBOR BAY POOLS	<del>waterfall</del> (wade)		9 <sup>00</sup>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5242	KOCH	GARDEN WALK	Passed	2/9
②	71 N. RIVER RD. W.B. BROWN (CHRIS 546-6161)	PTGS.		See 11 <sup>30</sup> if time
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5234	MCCARTNEY	RET. WALL INSP	Passed	2/9
④	45 W. HIGH POINT WILSON BLDG.	Ret wall		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5245	OLNEY	FINAL-	Passed	2/9
⑧	91 S. SEWALL'S POINT RD K&S IND.	SCREEN ENCL.	Pool final	2/9
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri  Sat  Sun, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5294	LEHMAN	SLAB	Passed	
S (8)	6 RIDGELAND DR. GRIBBEN			INSPECTOR: [Signature] 4/24/01
✓ 5161	BRENNAN	DRYWALL	Passed	
S (10)	111 HENRY SEWALL ADDISON DRYWALL GC - GLEN HUTCHINS			INSPECTOR: [Signature] 4/25/01
✓ 5185	JONES	STEEL	Passed	Late as possible
S (11)	14 HERONS NEST O/B	(COL)		INSPECTOR: [Signature] 4/25/01
✓ 5276	JUSTAK	FRAMING	Passed	AFTER 11:00
S (9)	171 S. SPR WILSON (NAVY 288-2000)			INSPECTOR: [Signature] 4/25/01
5300	BERCAW	FORM + STEEL		CANCEL BY CONTR. 4/24/01 2:23 PM
X	<del>4 RIVERCREST CT. HARBOR BAY POOLS 878-8806</del>			INSPECTOR:
✓ 5229	SEELY	PLUMBING	Passed	
N (12)	37 NE LOFTING HARBOR BAY POOLS	(POOL)		INSPECTOR: [Signature] 4/25/01
✓ 5278	FREDRICKS	RET. WALL -	PASSED	ALL EXCESS FILL HAS BEEN REMOVED FROM SITE.
S (7)	32 S. SPR HARBOR BAY MARINE	FINAL		INSPECTOR: [Signature]

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection: ~~Mon~~ Wed ~~Fri~~ ~~April 30~~, 2001; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5300	BERCAW	FORM & STL.	Passed	
①	4 RIVERCREST CT. HARBOR BAY POOLS			INSPECTOR: [Signature] 4/30/01
<del>5329</del>	<del>SEELEY</del>	<del>W/21</del>		<del>CANCELLED BY CONTR.</del>
X	<del>STINEBAUGH</del> HARBOR BAY POOLS 878-2006			4/30/01 [Signature]
5335	GABRYNOWICZ	FINAL	Passed	
④	5 QUAIL RUN LAKE	(EXT. CO. REV./REPL)		INSPECTOR: [Signature] 4/30/01
4877	LOYOLA/OSBORNE	2ND C.O. WALK-THRU	PASSED	FINAL DOCUMENTS/SURVEY REQUIRED FOR C.O.
⑤	20 CASTLE HILL WAY BURKORD CONST.	* FOLLOW-UP INSP 5/2 FOR A/C BREAKER INST.		INSPECTOR: [Signature]
T/R	TULLIER	FIELD VERIF.	Passed	PN 0435 ISSUED 4/10/01
③	39 N. RIVER RD O/B			INSPECTOR: [Signature] 4/23/01
5326	HOFFLER	POOL ENCL. -	Passed	
②	173 S. SEWALLS POINT RD. COASTAL ALUM. CONST	FINAL		INSPECTOR: [Signature] 4/30/01
4723	KOCH	POST C.O. VERIF. - BACC. RAILING COMP.	PASSED	RAILING REVISED TO REQUIRED CODE HGT (42")
⑥	71 N. RIVER RD. W.D. BROWN, INC. (DAVID-546-6161)			INSPECTOR: [Signature]

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri  Sat  Sun, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
522A	Seely	Pool deck	Passed	878 8806
(4)	37 NE Loring Way Harbor Bay Pools			INSPECTOR: J 5/2 ✓
5192	RAO	INSULATION	Passed	ceiling: blow? ✓
(5)	30 CASTLE HILL WAY A.R. MARTIN (JOHN-260-0574)			INSPECTOR: J 5/2 ✓
T/R	FRIEDLANDER	FIELD VERIF.	Under Review	Signat. obtained
(7)	34 FIELDWAY DR. O/B 286-8464			T.B. Discussed INSPECTOR: J
5302	<del>NOHEFL</del>	<del>UNDERGROUND</del>	<del>X</del>	<del>late as possible</del>
X	<del>6 N. RIDGEVIEW</del> <del>MASTER</del>	<del>PUMPS</del>	<del>X</del>	<del>CHANGE BY CONTR 5/1 12:36</del> INSPECTOR:
4990	ELDER	ROUGH ELECT	Passed	
(1)	4 EMARITA WAY O/B	+ PLUMBING		INSPECTOR: J 5/2 ✓
5317	NEARING	REROOF - FINAL	Passed	
(2)	5 LANTANA COOPER			INSPECTOR: J 5/2 ✓
T/R	GUNZEL	FIELD VERIFICATION	Passed	Sign appl. (not home)
(3)	19 N. VIA LUCINDIA O/B			INSPECTOR: J 5/2 ✓

OTHER: CODE ENFORCEMENT COMPLAINT: DECK/TERRACE w/o PERMIT; SETBACK VIOLATION  
 (1) 9'x6' w 2x6 EXT = 66" (EAST) 7 SIDE RAB 22 SIMARA (MPT. 1:30 P.M.)  
 (2) 9'x8' = 72" (WEST) 1/2" w/OWNER  
 5/2/01 1:30 PM - VERIFIED COMPLAINT. RECD PERMISSION FOR P.D. TO PHOTOGRAPH

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Thu  Fri  Sat  Sun, 2001; Page 1 of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5379	PAGE	PUDN.	not finished	
③	8 ST. LUCIE CT. T-COAST POOLERS		Passed	in progress INSPECTOR: J 6/8 ✓
4903	KOCH	POOL - FINAL	Failed	\$30.00 REDEV. FEE REQ.
⑤	71 N. RIVER ROAD ALMAR/JACKSON POOLS	(REINSPECTION)	alarm not installed	INSPECTOR: J 6/8 ✓
5368	TRANTNER	STORM SHUTTER - FINAL	Passed	PRE REQUISITE FOR C.O. P.N. 5209 - EMALICK CONT.
④	9 MIDDLE ROAD COASTAL ALUM.	Passed OK		INSPECTOR: J 6/8 ✓
5229	<del>SEBASTIAN</del>	<del>POOL - FINAL</del>	<del>Passed</del>	<del>FINAL SURVEY - POOL/DECK RAMP (DELUCK FIELD CODE)</del>
⑨	<del>37 W. LANTANA WAY</del> 201 8227 HARBOR BAY POOLS ("KAREN" 878-8806)	11 <sup>00</sup> = 11 <sup>15</sup>		INSPECTOR: J 6/8 ✓
5405	HECKENBERG	FTG.	Passed	
⑩	5 NE. LAGOON IS. CT (ADJ. VAC.) O/B	(2 ENTRY COLUMNS)		INSPECTOR: J 6/8 ✓
4978	<del>RIMER</del>	<del>T/T &amp; MTL (MAIN BLDG)</del>	<del>Failed</del>	<del>CANCEL BY CONTR. (7:40 PM 6/7/01)</del>
	<del>29 S. RIVER RD. KEAR DEVELOPMENT</del>	<del>PACIFIC CFG "ROB" 263-9116</del>		<del>INSPECTOR:</del>
5363	JOHNSON	FTG. (STEELWORK)	Passed	LATE AS POSSIBLE
⑪	2 OAK HILL WAY DRIFTWOOD HOMES (ALUM: 529-2577)			INSPECTOR: J 6/8 ✓
OTHER:	107 HENRY SEWALL WAY - AMENDED T/R PN 0386 TO SITE (w/POOL SUBMITTALS) 19 RIDGECLAND - ENGR. MEMO (5/30/01) " " "			

**5329**

**IRRIGATION**

**(MPN 4895)**

---

MASTER PERMIT NO. 4895

TOWN OF SEWALL'S POINT

Date 4/17/01 BUILDING PERMIT NO. 5329  
Building to be erected for GREG/PORTIA SEELY Type of Permit IRRIGATION  
Applied for by SOUTHERN IRRIGATION (Contractor) Building Fee \$120.96  
Subdivision PLANTATION Lot 3 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
Address 37 N.E. LOFTING WAY Impact Fee \_\_\_\_\_  
Type of structure S.F.R. (UNDER CONST.) A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_  
26-37-41-013-000-00030-00000  
Amount Paid \$133.06 Check # 5478 Cash \_\_\_\_\_ Other Fees ( PLA REV. ) 12.10  
Total Construction Cost \$ 12,600.1 TOTAL Fees \$ 133.06

Signed Mark J. Kern Applicant Signed [Signature] Town Building Inspector OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE <u>4/20/01</u>

FLOOD ZONE \_\_\_\_\_ LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455  
**WORK HOURS – 8:00 AM UNTIL 5:00 PM**  
MONDAY THROUGH SATURDAY

- New Construction
- Remodel
- Addition
- Demolition

This permit must be visible from the street, accessible to the inspector.  
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,  
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.  
**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**



**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Bldg. Permit Number: \_\_\_\_\_

**RECEIVED**  
MAR 30 2001

Owner or Titleholder's Name: GREG & PORTIA Seely Phone No. ( ) \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Legal Description of Property: 37 N.E. LOFTING WAY  
Parcel Number: 2637410130000003000000

Location of Job Site: The PLANTATION - LOT 3 PLANTATION

TYPE OF WORK TO BE DONE: IRRIGATION SYSTEM

CONTRACTOR/Company Name: Southern Irrigation Inc. Phone No. (561) 288-1883  
Street: 5207 S.W. MOORE ST. City: PALM CITY State: FL Zip: 34980

State Registration: \_\_\_\_\_ State License: SP00734

ARCHITECT: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:  
Living Area: \_\_\_\_\_ Garage Area: \_\_\_\_\_ Carport: \_\_\_\_\_ Accessory Bldg: \_\_\_\_\_  
Covered Patio: \_\_\_\_\_ Scr. Porch: \_\_\_\_\_ Wood Deck: \_\_\_\_\_  
Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
New Electrical Service Size: \_\_\_\_\_ AMPS

FLOOD HAZARD INFORMATION  
Flood zone: \_\_\_\_\_ Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD  
Proposed first habitable floor finished elevation: \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES  
Estimated cost of construction or Improvement: \$ 12,600  
Estimated Fair Market Value (FMV) prior to improvement: \$ \_\_\_\_\_  
If Improvement, is cost greater than 50% of Fair Market Value? YES \_\_\_\_\_ NO \_\_\_\_\_  
Method of determining Fair Market Value: \_\_\_\_\_

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)  
Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE 'BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)  
Mark J. Henn

State of Florida, County of: Martin On this the 30<sup>th</sup> day of March, 2001, by M.J. Henn who is personally known to me or produced Fl. d. I. as identification.

Joan H. Barrow  
Notary Public

CONTRACTOR SIGNATURE (Required)  
Mark J. Henn

State of Florida, County of: Martin On this the 30<sup>th</sup> day of March, 2001, by M.J. Henn who is personally known to me or produced Fl. d. I. as identification.

Joan H. Barrow  
Notary Public

My Commission Expires: Joan H. Barrow  
MY COMMISSION # CC763645 EXPIRES November 30, 2002  
BONDED THRU TROY FAIR INSURANCE, INC.

My Commission Expires: Joan H. Barrow  
MY COMMISSION # CC763645 EXPIRES November 30, 2002  
BONDED THRU TROY FAIR INSURANCE, INC.

**TREE REMOVAL (Attach sealed survey)**

Number of trees to be removed: \_\_\_\_\_ Number of trees to be retained: \_\_\_\_\_ Number of trees to be planted: \_\_\_\_\_ Number of Specimen trees removed: \_\_\_\_\_  
Fee: \$ \_\_\_\_\_ Authorized/Date: \_\_\_\_\_

DEVELOPMENT ORDER # \_\_\_\_\_

**1. ALL APPLICATIONS REQUIRE**

- a. Property Appraisers Parcel Number.
- b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- c. Contractors name, address, phone number & license numbers.
- d. Name all sub-contractors (properly licensed).
- e. Current Survey

2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.

3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.

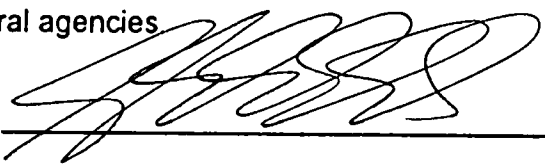
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:

- a. Floor Plan
- b. Foundation Details
- c. Elevation Views - Elevation Certificate due after slab inspection,
- d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
- e. Truss layout
- f. Vertical Wall Sections (one detail for each wall that is different)
- g. Fireplace drawing: If prefabricated submit manufacturers data

**ADDITIONAL Required Documents are:**

- 1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
- 2. Well Permit or information on existing well & pump.
- 3. Flood Hazard Elevation (if applicable).
- 4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
- 5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
- 7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
- 8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

**NOTICE:** In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required' from other governmental entities such as water management districts, state and federal agencies

Approved by Building Official:  \_\_\_\_\_ Date: 4/17/09

Approved by Town Engineer \_\_\_\_\_ Date: \_\_\_\_\_  
(If required)



# ACORD CERTIFICATE OF LIABILITY INSURANCE

CSR AL SOUTH-2

DATE (MM/DD/YY)  
02/06/01

**INSURER**  
Gary Insurance Agency & Associates, Inc.  
117 East Seminole Street  
Stuart FL 34994  
Phone: 561-283-2609 Fax: 561-220-8107

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

*PN 5329*  
*permit*  
**FILE**  
*licins.*

**INSURED**  
Southern Irrigation, Inc.  
Mark J. & Robin G. Henn  
5207 SW Moore Street  
Palm City FL 34990

**INSURERS AFFORDING COVERAGE**

INSURER A:	The Hartford	<b>RECEIVED</b> FEB 6 2001 BY: _____
INSURER B:		
INSURER C:		
INSURER D:		
INSURER E:		

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INCURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY COMMERCIAL GENERAL LIABILITY	21 SBA LI1604	11/10/00	11/10/01	EACH OCCURRENCE \$ 1000000
	CLAIMS MADE <input type="checkbox"/> OCCUR <input type="checkbox"/>				FIRE DAMAGE (Any one fire) \$ 300000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJ.JECT <input type="checkbox"/> LOC				MED EXP (Any one person) \$ 10000
					PERSONAL & ADV INJURY \$ 1000000
					GENERAL AGGREGATE \$ 2000000
					PRODUCTS - COMP/OP AGG \$ 2000000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	21 UEC LI5180	11/10/00	11/10/01	COMBINED SINGLE LIMIT (Ea accident) \$ 1000000
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$
					OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				EACH OCCURRENCE \$
					AGGREGATE \$
					\$
					\$
					\$
A	WORKERS COMPENSATION AND EMPLOYERS LIABILITY	21 WEC EV7905	04/01/00	04/01/01	WC STATUTORY LIMITS <input type="checkbox"/> OTHER <input type="checkbox"/>
					E.L. EACH ACCIDENT \$ 100000
					E.L. DISEASE - EA EMPLOYEES \$ 100000
	OTHER				E.L. DISEASE - POLICY LIMIT \$ 500000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

1999 Ford	F:250	1FTNF20L3XEB65354
1998 Ford	Explorer	1FMZU32E2WZA75918
1995 Ford	F:250	1FTEF25Y5SNA57041

<b>CERTIFICATE HOLDER</b>	<input checked="" type="checkbox"/> AD/OTHER INSURED; <input type="checkbox"/> INSURER LETTER:	<b>CANCELLATION</b>
Town of Sewalls Point Building Department 1 S. Sewalls Point Road Sewalls Point FL 34996		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>30</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
SEWALLS		Andre J. Lambros, CIC

FILE  
*leaf 104*



MARTIN COUNTY, FLORIDA  
Construction Industry Lic Bd  
Certificate of Competency

License: SP00734  
Expires September 30, 2001

HENN, MARK J  
SOUTHERN IRRIGATION INC  
5207 SW MOORE ST  
PALM CITY, FL 34990  
IRRIGATION SPRINKLERS

RECEIVED  
OCT 11 2000  
BY: *[Signature]*

MARTIN COUNTY ORIGINAL  
2000 COUNTY OCCUPATIONAL LICENSE 2001

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34996  
(888) 288-6604

CHARACTER COUNTS IN MARTIN COUNTY

LICENSE 1996 520 DISCERT SP000734  
PHONE 561 288 1883 BIC NO 1711  
LOCATION: 5207 SW MOORE ST  
\*HOME OFFICE NO STORAGE\*

PREV YR. \$	<u>0.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>0.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>0.00</u>	COL. FEE \$	<u>0.00</u>
\$		TRANSFER \$	<u>0.00</u>
	TOTAL		<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF IRRIGATION SPRINKLER  
AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

SOUTHERN IRRIGATION INC  
MARK J HENN  
5207 SW MOORE STREET  
PALM CITY FL 34990

1 DAY OF OCTOBER 20 00  
AND ENDING SEPTEMBER 30, 2001 12 82801 2755 PAID

# ACORD CERTIFICATE OF LIABILITY INSURANCE

PRODUCER (561)287-2030 FAX (561)288-2481  
 Deakins-Carroll Insurance Agency  
 www.deakinscarroll.com  
 P.O. Box 1597  
 Pt. Salerno, FL 34992

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED Southern Irrigation, Inc.  
 5207 SW Moore Street  
 Palm City, FL 34990

INSURERS AFFORDING COVERAGE	
INSURER A:	FCCI Insurance Company
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS	
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE	\$
					FIRE DAMAGE (Any one fire)	\$
					MED EXP (Any one person)	\$
					PERSONAL & ADV INJURY	\$
					GENERAL AGGREGATE	\$
					PRODUCTS - COM/OP AGG	\$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident)	\$
					BODILY INJURY (Per person)	\$
					BODILY INJURY (Per accident)	\$
					PROPERTY DAMAGE (Per accident)	\$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
					OTHER THAN AUTO ONLY: EA ACC	\$
					AGG	\$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  DEDUCTIBLE RETENTION \$				EACH OCCURRENCE	\$
					AGGREGATE	\$
						\$
						\$
A	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>	001WC01A48780	04/01/2001	04/01/2002	WC STATUTORY LIMITS	OTH-ER
					E.L. EACH ACCIDENT	\$ 100,000
					E.L. DISEASE - EA EMPLOYEE	\$ 100,000
					E.L. DISEASE - POLICY LIMIT	\$ 500,000
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENTS/SPECIAL PROVISIONS

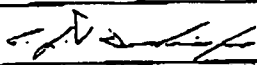
CERTIFICATE HOLDER

Sewall's Point, Town of  
 1 South Sewall's Point Road  
 Stuart, FL 33996

ADDITIONAL INSURED; INSURER LETTER: \_\_\_\_\_

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
 C. J. Deakins, Jr./MDB 

ACORD 28-S (7/97) FAX: (561)220-4765

©ACORD CORPORATION 1988

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri ~~Sat~~, 2001; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5113	JAMIESON	EXT. WALL	Passed	
S ③	132 S. RIVER RD. COMM. CONST.	REPAIR - FINAL		INSPECTOR: [Signature] 4/20 ✓
✓ 4895	SOELY	FINAL - CO.	Passed	Plato AM 11:00
N ⑥	37 NE LOFTING GRIBBEN	OK BLEEF. RELEASE		DOC'S REQUIRED TO CLOSE INSPECTOR: [Signature] 4/20 ✓
✓ T/R	AYRES	FIELD VERIFICATION	O.k. to	remove dead/dying trees (3 Palms)
S ⑤	155. RIVER RD. MONTE'S TREE SERVICE			INSPECTOR: [Signature] ✓
5204	COOPER	TIE BEAM +	Passed	WILL BE POURING AT 11:30
S ①	33 W. HIGHPOINT B K MARINE	COLUMNS		INSPECTOR: [Signature] 4/20 ✓
✓ 5294	LEHMAN	ROUGH PLUMB.	Passed	
S ④	6 RIDGELAND HOWARD BROTH./GRIBBEN			INSPECTOR: [Signature] 4/20 ✓
✓ 5228	FOGLIA	TRUSS ENG.	Passed	
S ②	102 ABBIE CT.	+ STRAPPING		INSPECTOR: [Signature] 4/20 ✓
✓ 5262	Musso	Tie Beam	Passed	
S ⑦	18 S. River Rd. Harry Blue			INSPECTOR: [Signature] 4/20 ✓

OTHER: \_\_\_\_\_

**5333**

**HURRICANE SHUTTERS**

---

MASTER PERMIT NO. 4895

**TOWN OF SEWALL'S POINT**

Date 4/18/01

BUILDING PERMIT NO. 5333

Building to be erected for G & P SEELY

Type of Permit STORM SHUTTERS

Applied for by EXPERT SHUTTER SERVICE (Contractor)

Building Fee \$41.56

Subdivision PLANTATION Lot 3 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 37 N.E. LOFTING WAY

Impact Fee \_\_\_\_\_

Type of structure S.F.R. (UNDER CONST.)

A/C Fee \_\_\_\_\_

Parcel Control Number:

Electrical Fee \_\_\_\_\_

26-37-41-013-000-00030-00000

Plumbing Fee \_\_\_\_\_

Amount Paid \$45.72 Check # 11161 Cash \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Other Fees ( LAB ) 4.16

Total Construction Cost \$ 4,329.00

TOTAL Fees \$45.72

Signed Mark Henrichs  
Applicant

Signed [Signature]  
Town Building Inspector [Signature]

**BUILDING PERMIT**

FORM BOARD SURVEY	DATE _____
COMPACTION TESTS	DATE _____
GROUND ROUGH	DATE _____
SOIL POISONING	DATE _____
FOOTINGS / PIERS	DATE _____
SLAB ON GRADE	DATE _____
TIE-BEAMS & COLUMNS	DATE _____
STRAPS AND ANCHORS	DATE _____
DRIVEWAY	DATE _____
AS-BUILT SURVEY	DATE _____

SHEATHING	DATE _____
FRAMING	DATE _____
INSULATION	DATE _____
ROOF DRY-IN	DATE _____
ROOF FINAL	DATE _____
METER FINAL	DATE _____
AS BUILT SURVEY	DATE _____
STORM PANELS	DATE _____
LANDCAPE & GRADE	DATE _____
FINAL INSPECTION	DATE <u>4/20/01</u>

FLOOD ZONE \_\_\_\_\_

LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

**WORK HOURS - 8:00 AM UNTIL 5:00 PM**

**MONDAY THROUGH SATURDAY**

New Construction    Remodel    Addition    Demolition

**This permit must be visible from the street, accessible to the inspector.**

**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,  
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**

**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

**BUILDING PERMIT APPLICATION**

5333  
Phone No. ( ) 288-8289

Owner or Titleholder's Name SEELY  
Street: 37 N.E. LOFTING WAY City SEWALLS POINT State: FL. Zip 34996

Legal Description of Property: \_\_\_\_\_ Parcel Number: \_\_\_\_\_

RECEIVED  
APR 17 2001  
BY: \_\_\_\_\_

Location of Job Site: \_\_\_\_\_  
TYPE OF WORK TO BE DONE: HURRICANE SHUTTERS

CONTRACTOR/Company Name: EXPERT SHUTTER SERVICES Phone No. ( ) 871-1915  
Street: 1626 SW. BILTMORE ST. City PORT ST. LULIE State: FL. Zip 34984  
State Registration: MARTIN CO. SPOISIS State License: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
Street: \_\_\_\_\_ City \_\_\_\_\_ State: \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER: WALTER A. TILLIT JR. P.E. Phone No. (305) 871-1530  
Street: 6595 N.W. 36th ST. STE. 217 City VIRGINIA GARDENS State: FL. Zip 33168

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:  
Living Area: \_\_\_\_\_ Garage Area: \_\_\_\_\_ Carport: \_\_\_\_\_ Accessory Bldg: \_\_\_\_\_  
Covered Patjo: \_\_\_\_\_ Scr. Porch: \_\_\_\_\_ Wood Deck: \_\_\_\_\_  
Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
New Electrical Service Size: \_\_\_\_\_ AMPS

FLOOD HAZARD INFORMATION  
Flood zone: \_\_\_\_\_ Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD  
Proposed first habitable floor finished elevation: \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES  
Estimated cost of construction or improvement: \$ 4329.00  
Estimated Fair Market Value (FMV) prior to improvement: \$ 4329.00  
If improvement, is cost greater than 50% of Fair Market Value? YES \_\_\_\_\_ NO \_\_\_\_\_  
Method of determining Fair Market Value: \_\_\_\_\_

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)  
Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)  
\_\_\_\_\_  
Owner  
State of Florida, County of: \_\_\_\_\_ On this the \_\_\_\_\_ day of \_\_\_\_\_, 2000, by \_\_\_\_\_ who is personally known to me or produced \_\_\_\_\_ as identification.

CONTRACTOR SIGNATURE (Required)  
Michael P. Henschler  
Contractor  
State of Florida, County of: St. Lucie On this the 17th day of April, 2000, by Michael P. Henschler who is personally known to me or produced \_\_\_\_\_ as identification.

Notary Public  
My Commission Expires: \_\_\_\_\_ (Seal)

Notary Public  
My Commission Expires: \_\_\_\_\_  
PATRICIA P. HOWELL (Seal)  
Notary Public, State of Florida  
My comm. exp. Jan. 20, 2003

**TREE REMOVAL** (Attach sealed survey)

Number of trees to be removed: \_\_\_\_\_ Number of trees to be retained: \_\_\_\_\_ Number of trees to be planted: \_\_\_\_\_ Number of Specimen trees removed: \_\_\_\_\_

Fee: \$ \_\_\_\_\_ Authorized/Date: \_\_\_\_\_

DEVELOPMENT ORDER # \_\_\_\_\_

**1. ALL APPLICATIONS REQUIRE**

- a. Property Appraisers Parcel Number.
  - b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
  - c. Contractors name, address, phone number & license numbers.
  - d. Name all sub-contractors (properly licensed).
  - e. Current Survey
2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:
- a. Floor Plan
  - b. Foundation Details
  - c. Elevation Views - Elevation Certificate due after slab inspection,
  - d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
  - e. Truss layout
  - f. Vertical Wall Sections (one detail for each wall that is different)
  - g. Fireplace drawing: If prefabricated submit manufacturers data

**ADDITIONAL Required Documents are:**

- 1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
- 2. Well Permit or information on existing well & pump.
- 3. Flood Hazard Elevation (if applicable).
- 4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
- 5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
- 7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
- 8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official: \_\_\_\_\_

Date: 7/18/00

Approved by Town Engineer \_\_\_\_\_  
(If required)

Date: \_\_\_\_\_



PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):**

37 N.E. LOFTING WAY, SEWALLS POINT, FL 34996

GENERAL DESCRIPTION OF IMPROVEMENT: INSTALLATION OF SHUTTERS

OWNER: SEELY

ADDRESS: 37 NE. LOFTING WAY, SEWALLS POINT FL. 34996

PHONE #: 288-8289 FAX #: \_\_\_\_\_

CONTRACTOR: EXPERT SHUTTER SERVICES INC

ADDRESS: 1626 SW. BILTMORE ST., PORT ST. LUCIE, FL- 34984

PHONE #: 871-1915 FAX #: 871-0990

SURETY COMPANY (IF ANY) \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX #: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Edward W. Seely  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 17<sup>th</sup> DAY OF April 2001 BY \_\_\_\_\_

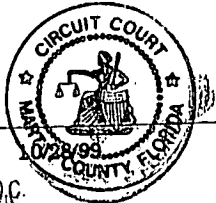
Patricia P. Howell  
NOTARY SIGNATURE

OR PERSONALLY KNOWN   
PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_

STATE OF FLORIDA  
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING \_\_\_\_\_ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING CLERK  
BY Marsha Ewing  
DATE 4-17-01



PATRICIA P. HOWELL  
Notary Public, State of Florida  
My comm. exp. Jan. 20, 2003  
Comm. No. CC803379

ACORD

# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)

AUG 23 00

PRODUCER  
 SID BANACK INSURANCE AGENCY  
 1201 U.S. HWY.1 - #445  
 NORTH PALM BEACH FL 33408  
 PHONE: 561-627-1144  
 FAX: 561-625-1266

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

### COMPANIES AFFORDING COVERAGE

INSURED  
 EXPERT SHUTTER SERVICES, INC.  
 1626 BILTMORE DR.  
 PORT ST. LUCIE FL 34592

COMPANY A: CNA INSURANCE CO.  
 COMPANY B: WESTERN SURETY COMPANY  
 COMPANY C:  
 COMPANY D:  
 COMPANY E:

**RECEIVED**  
 AUG 24 2000  
 BY: *[Signature]*

**FILE**  
*lie/ks*

### COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	1-073650053	JUN 5 00	JUN 5 01	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any One Fire) \$ 100,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED. EXP (Any One Person) \$ 10,000
					PERSONAL & ADV INJURY \$ 1,000,000
					GENERAL AGGREGATE \$ 2,000,000
					PRODUCTS-COMP/OP AGG. \$ 2,000,000
		GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC			
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident) \$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE \$
	<input type="checkbox"/> HIRED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input type="checkbox"/> RETENTION \$				\$
					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS OTHER
					E.L. EACH ACCIDENT \$
					E.L. DISEASE-EA EMPLOYEE \$
					E.L. DISEASE-POLICY LIMIT \$
B	OTHER: LICENSE & PERMIT BOND	42540665	OCT 1 99	SEP 30 01	\$2,000 LICENSE & PERMIT BOND

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

TOWN OF SEWALL'S POINT  
 1 SOUTH SEWALL'S POINT RD.

STUART FL 34996-  
 Attention:

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

*[Signature]*

**Certificate of Insurance**

This certificate is issued as a matter of information only and confers no rights upon you the certificate holder. This certificate is not an insurance policy and does not amend, extend, or alter the coverage afforded by the policies listed below.

**Named Insured(s):**

**FILE**

RECEIVED  
JAN 2 - 2001  
BY: \_\_\_\_\_



Staff Leasing, LP, By Staff Acquisition, Inc., The General Partner, And The Affiliated Limited Partnerships Of Which Staff Acquisition, Inc. Is The General Partner And Staff Leasing, Inc. Is The Limited Partner including Staff Leasing of Texas, LP, Staff Leasing of Texas II, LP, Staff Leasing IV, LP  
600 301 Boulevard West, Suite 202  
Bradenton, Florida 34205

**Insurer Affording Coverage**

Continental Casualty Company

**Coverages:**

The policy(ies) of insurance listed below have been issued to the insured named above for the policy period indicated. The insurance afforded by the policy(ies) described herein is subject to all the terms, exclusions and conditions of such policy(ies).

Type of Insurance	Certificate Exp. Date <input type="checkbox"/> Continuous <input type="checkbox"/> Extended <input checked="" type="checkbox"/> Policy Term	Policy Number	Limits	
<del>Workers</del> Compensation	1-1-2002	WC 189165165 WC 189165182 WC 247848874 WC 247848888	<b>Employer's Liability</b>	
			Bodily Injury By Accident \$1,000,000	Each Accident
			Bodily Injury By Disease \$1,000,000	Policy Limit
			Bodily Injury By Disease \$1,000,000	Each Person

**Other:**

**Employees Leased To:**

**Effective Date:** 1/1/01

12334 ~~Export Trailer Services~~

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer.

\*If the certificate expiration date is continuous or extended term, you will be notified if coverage is terminated or reduced before the certificate expiration date. However, you will not be notified annually of the continuation of coverage.

**Notice of Cancellation:** (Not applicable unless a number of days are entered below)

Before the stated expiration date the company will not cancel or reduce the insurance afforded under the above policy(ies) until at least 30 days notice of such cancellation has been mailed to:

**Certificate Holder:**

~~Town of Sewalls Point~~  
Attn: Arnold  
1 S Sewalls Point Rd  
Stuart, FL 34996-6736

**Martin Oosterbaan**  
Authorized Representative

Office: St. Louis, MO 12/15/00  
Phone: (877) 427-5567 Date Issued



**MARTIN COUNTY, FLORIDA**  
**Construction Industry Lic Bd**  
**Certificate of Competency**

License: SP01515  
Expires September 30, 2001

HEISSENBERG, MICHAEL P

EXPERT SHUTTER SERVICES

1626 SW BILTMORE ST

PSL, FL 34984

**ALUMINUM/CONCRETE CONTRACTOR**

**MARTIN COUNTY ORIGINAL  
2000 COUNTY OCCUPATIONAL LICENSE 2001**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(561) 288-5604

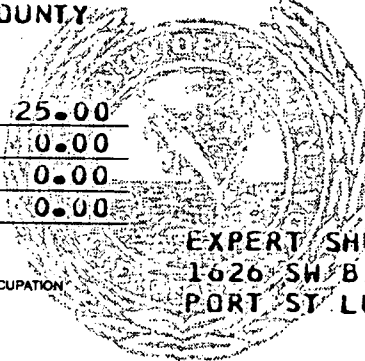
LICENSE 1991 520 010 CERT SP 01515

PHONE 561 336 9056 SIC NO 1541

LOCATION:  
1626 SW BILTMORE ST

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV YR. \$	<u>0.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>0.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>0.00</u>	COL. FEE \$	<u>0.00</u>
\$		TRANSFER \$	<u>0.00</u>
TOTAL			<u>25.00</u>



**FILE**  
#10772  
6000  
PMM

**EXPERT SHUTTER SERVICES  
1626 SW BILTMORE ST  
PORT ST LUCIE FL 34984**

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF **ALUMINUM CONTRACTOR**

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

1 DAY OF OCTOBER 20<sup>00</sup>  
AND ENDING SEPTEMBER 30, 2001 12 81001 971 PAID

**RECEIVED**  
JAN 15 2001  
BY: *[Signature]*



**CITY OF PORT ST. LUCIE**

121 S.W. Port St. Lucie Boulevard  
Port St. Lucie, Florida 34984-5099

**OCCUPATIONAL LICENSE**

TERM: OCTOBER 1, 2000 TO SEPTEMBER 30, 2001

This license does not warrant or hold that the licensee is competent to perform in the business(es) as licensed, but that the licensee has paid the required fee(s) and provided the necessary documentation (if required) to be licensed in this business.  
LICENSE MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS

BUSINESS ADDRESS: 1626 SW BILTMORE STREET

LICENSE NO.: 104430/01-1013188

CLASSIFICATION: CONT CONTRACTOR  
ISSUED TO: EXPERT SHUTTER SERVICES  
1626 SW BILTMORE STREET

Discount 0.00  
FEE: 105.00

PORT ST LUCIE FL 34984

*[Signature]*  
**CITY LICENSE OFFICIAL**

Fees: 105.00 Late Fees: 0.00 VALID AT THE ABOVE BUSINESS ADDRESS ONLY  
152/077 KA Total this payment: 105.00

PERIOD BEGINNING October 1, 19 99 AND EXPIRING ON: September 30, 19 2000

Contractor's Decal: \_\_\_\_\_  
License Fee: \$50.00  
Decals (Extra): 1.00

**OCCUPATIONAL LICENSE TAX CERTIFICATE**

TOWN OF SOUTH PALM BEACH  
PALM BEACH COUNTY, FLORIDA

License No.: 5716

Nature of Business: ALUMINUM SPECIALTIES - CONTRACTOR

Name of Business: EXPERT SHUTTER SERVICES

Amount Paid: \$51.00

Owner/Corporate Name: MICHAEL HEISSENBERG

Date Paid: 10/1/99

Address: 1626 SW BILTMORE STREET

City, State, Zip: PORT ST LUCIE, FLORIDA 34984

**NOTE: This License Certificate is renewable every SEPTEMBER of each fiscal year.**



MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Rollac Shutter of Texas, Inc.  
10800 Blankhawk Blvd  
Houston TX 77089

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 375-6339

Your application for Product Approval of:

*Roll-Up Shutter*

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 99-0930.07  
Expires: 05/26/2003

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

**BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

4/18/01 TOWN OF SEWELL'S POINT  
REVIEW:  
BLDG. OFFICIAL

Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office

Approved: 05/26/2000

FILE TOWN COPY  
1 of 3  
37 N.E. LOFTING WAY

**PN 5333**



Rollac Shutter of Texas, Inc.

ACCEPTANCE No. : 99-0930.07

APPROVED : MAY 2 6 2000

EXPIRES : MAY 2 6 2003

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. **SCOPE**

This approves an aluminum slat roll-up shutter, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County (SFBC). For the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. **PRODUCT DESCRIPTION**

The **Rollac A 200 H Roll-Up Shutter** and its components shall be constructed in strict compliance with the following documents: Drawing No. 99-136, titled "Roll-Up Shutter" prepared by Tilteco, Inc., dated 04/16/99, with latest revision on 12/20/99, sheets 1 through 13 of 13. They bear the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. **LIMITATIONS**

- 3.1 Minimum slat engagement shall be 1.163".
- 3.2 Minimum separation from interior of slat to glass being protected shall be as shown on sheet 9 of 13.
- 3.3 The operating mechanism, not part of this approval shall be certified by a recognized testing agency.
- 3.4 All permanent set components, included but not limited to embedded anchor bolts, threaded cones, metal shields, etc., must be protected against corrosion, contamination and damage at all time.

4. **INSTALLATION**


The Aluminum Slat Roll-Up Shutter and its components shall be installed in strict compliance with the approved drawings.

5. **LABELING**

Each shutter shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".

6. **BUILDING PERMIT REQUIREMENTS**

- 6.1 Application for building permit shall be accompanied by copies of the following:
  - 6.1.1 This Notice of Acceptance.
  - 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.
  - 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

  
Candido F. Font, P.E., Sr. Product Control Examiner  
Product Control Division

Rollac Shutter of Texas, Inc.

ACCEPTANCE No. : 99-0930.07


APPROVED : MAY 26 2000

EXPIRES : MAY 26 2003

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test-supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approval", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
  - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
  - b. The product is no longer the same product (identical) as the one originally approved.
  - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
  - d. The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
  - a. Unsatisfactory performance of this product or process.
  - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

END OF THIS ACCEPTANCE

  
\_\_\_\_\_  
Candido F. Font, P.E., Sr. Product Control Examiner  
Product Control Division

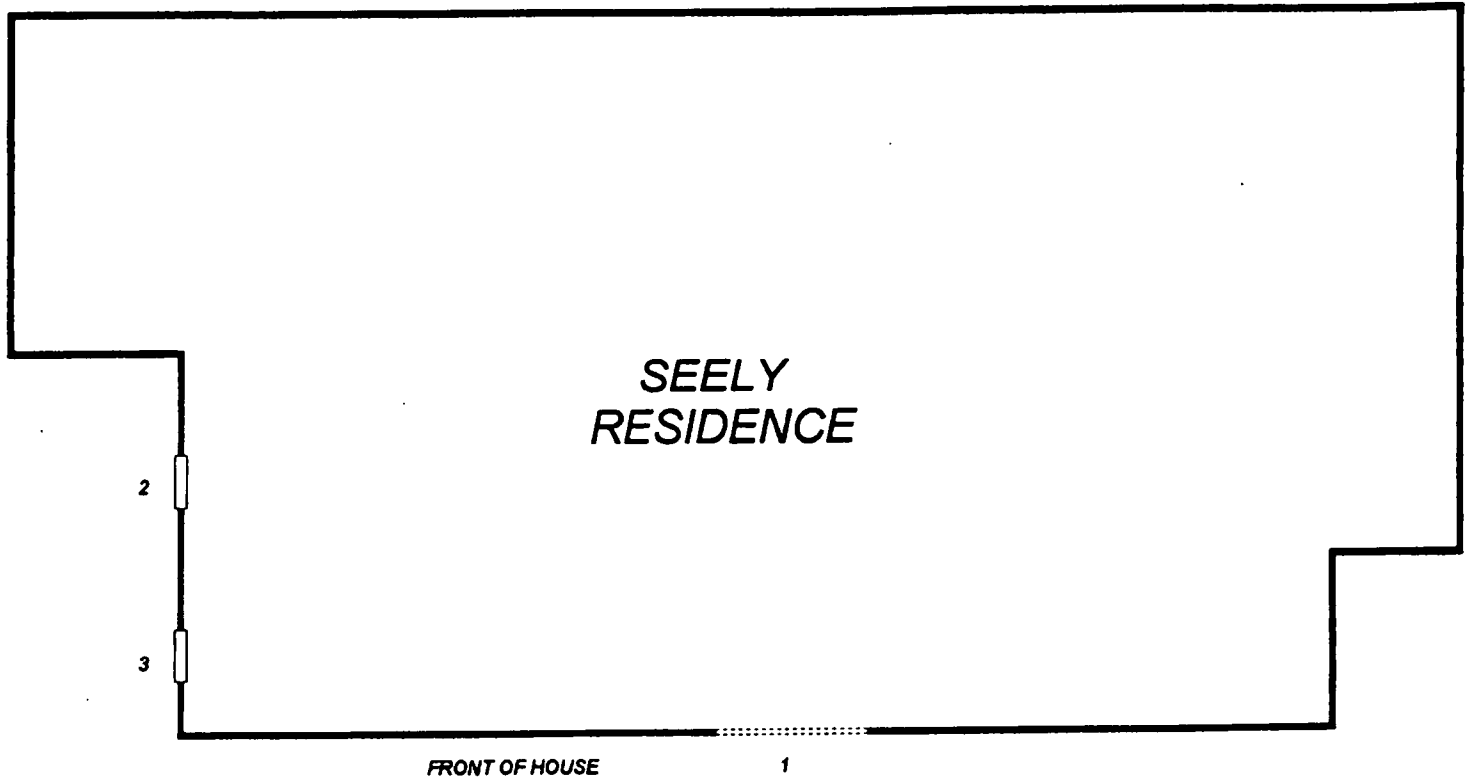




# EXPERT

**SHUTTER SERVICES INC.**

*"We're Taking The Shutter Industry By Storm"*



#	SHUTTER TYPE	WALL PRESURE INTER/END ZONE	UPPER TRACK DETAIL	LOWER TRACK DETAIL	UNIT WIDTH	UNIT HEIGHT	STORM BARS # REQ'D	ANCHOR SPACING		NUMBER OF PANELS
								TOP	BOT	
1	ROLLING	47.7+ / 61.7-	SEC 2	SEC 2	134"	173"	2 / 2	6"	6"	
2	PANELS	47.7+ / 61.7-	SEC 2	SEC 2	195"	78"	N/A	12"	12"	16 @ 78"
3	PANELS	47.7+ / 61.7-	SEC P-P1	SEC P-P1	171"	78"	N/A	12"	12"	14 @ 78"



# EXPERT

**SHUTTER SERVICES INC.**

*"We're Taking The Shutter Industry By Storm"*

# INVOICE

DATE	11/27/00
CONDO	

## BILLING INFORMATION

Gribben Construction, Co.  
3077 S.E. Dixie Highway  
Stuart, Fl. 34997

## INSTALLATION ADDRESS

Seely Residence  
37 N.E. Lofting Way  
Sewalls Point, Fl.  
P.O. 8289

INVOICE #	PHONE 1	PHONE 2	TERMS	DUE DATE
5445	561 288-6330		Due on receipt	11/27/00

QUANTITY	DESCRIPTION	AMOUNT
1	Dade County Code Approved White Rolling Shutter System Entry Door 122 x 159	3,379.00
1	Dade County Code Approved White Aluminum Storm Panels 90 x 78 Window	475.00
1	Dade County Code Approved White Aluminum Storm Panels 90 x 78 Window	475.00
Shutters Are Dade County Approved. Delivery Time Is 8 To 10 Weeks. There Is A 5 Year Warranty On Parts And Labor. Shutters Must Be Maintained Properly. This Includes Motor With Manual Override Customer Responsible For Electric 2 Windows In Rear Special Curves With H And F Track . Deposit Received On 11/21/00 Check # 21304 For \$1442.00 Thank You.		

### SPECIAL INSTRUCTION:

SALES REPRESENTATIVE	DATE	PUCHASER	TOTAL	\$4,329.00
TT	11/27/00		DEPOSIT	\$1442.00
			BALANCE	\$2887.00

**BUYERS RIGHT TO CANCEL**

THIS IS A HOME SOLICITATION SALE, AND IF YOU DO NOT WANT THE GOODS OR SERVICE, YOU MAY CANCEL THIS AGREEMENT BY PROVIDING WRITTEN NOTICE TO THE SELLER IN PERSON, BY TELEGRAM, OR BY MAIL. THIS NOTICE MUST INDICATE THAT YOU DO NOT WANT THE GOODS OR SERVICES AND MUST BE DELIVERED OR POST MARKED BEFORE MIDNIGHT OF THE THIRD BUSINESS DAY AFTER YOU SIGN THIS AGREEMENT. IF YOU CANCEL THIS AGREEMENT, THE SELLER MAY NOT KEEP ALL OR PART OF ANY CASH DOWN PAYMENT. BALANCE DUE UPON COMPLETION. ALL CHECKS PAYABLE TO EXPERT SHUTTER SERVICES INC. WE RESERVE THE RIGHT TO ADD ON 1.5% PER MONTH ON ANY OVERDUE INVOICES.



MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Rollac Shutter of Texas, Inc.  
10800 Blankhawk Blvd  
Houston TX 77089

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 373-6339

Your application for Product Approval of:

*Roll-Up Shutter*

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 99-0930.07

Expires: 05/26/2003

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL  
CONDITIONS**

**BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office

Approved: 05/26/2000

1 of 3



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri ~~Thu~~, 2001; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5113	JAMIESON	EXT. WALL	Passed	
S ③	132 S. RIVER RD. Comm. CONST.	REPAIR - FINAL		INSPECTOR: [Signature] 4/20 ✓
✓ 4895	<del>SEELY</del>	<del>FINAL - CO.</del>	<del>Passed</del>	<del>Plato AM 11:00</del>
N ⑥	37 NE LOFTING GRIBBEN	OK ELEC. RELEASE		DOCS REQUIRED TO CLOSE INSPECTOR: [Signature] 4/20 ✓
✓ T/R	AYRES	FIELD VERIFICATION	O.k. to	remove dead/dying trees (3 Palms)
S ⑤	155. RIVER RD. MONTE'S TREE SERVICE			INSPECTOR: [Signature] ✓
5204	COOPER	TIE BEAM +	Passed	WILL BE POURING AT 11:30
S ①	33 W. HIGHPOINT B K MARINE	COLUMNS		INSPECTOR: [Signature] 4/20 ✓
✓ 5299	LEHMAN	ROUGH PLUMB.	Passed	
S ④	6 RIDGELAND HOWARD BROTH./GRIBBEN			INSPECTOR: [Signature] 4/20 ✓
✓ 5228	FOGLIA	TRUSS ENG.	Passed	
S ②	102 ABBIE CT.	+ STRAPPING		INSPECTOR: [Signature] 4/20 ✓
✓ 5262	Musso	Tie Beam	Passed	
S ⑦	18 S. River Rd. Harry Blue			INSPECTOR: [Signature] 4/20 ✓

OTHER: \_\_\_\_\_

**10048**

**AC CHANGEOUT**

---



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10048	DATE ISSUED:	MARCH 30, 2012
SCOPE OF WORK:	AC CHANGEOUT - 4 UNITS		
CONTRACTOR:	FORWARD ELECTRIC & AC		
PARCEL CONTROL NUMBER:	263741013-000-000300	SUBDIVISION	PLANTATION - LOT 3
CONSTRUCTION ADDRESS:	37 LOFTING WAY		
OWNER NAME:	SEELY		
QUALIFIER:	WILLIAM CARSON	CONTACT PHONE NUMBER:	221-1660

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE**  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Date: 3/27/2012 Permit Number: 10048

OWNER/LESSEE NAME: Portia Seely Phone (Day) 772-708-85 (Fax) \_\_\_\_\_  
 Job Site Address: 37 NE Lofting Way City: Sewalls Point State: FL Zip: 34996  
 Legal Description: Plantation at Sewalls Pt Parcel Control Number: 26-37-41-013-000-00030-0  
 Fee Simple Holder Name: (Lot 3) Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

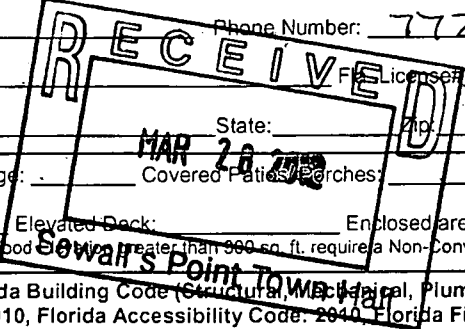
**\*SCOPE OF WORK (PLEASE BE SPECIFIC):** AC Change out

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO   
**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
 Estimated Value of Improvements: \$ 11,500  
 (Notice of Commencement required when over \$2500 prior to first inspection, ~~\$7,500 for HVAC change out~~)  
 Is subject property located in flood hazard area? VE10  AE9  AE8  X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Forward Electric & AC Phone: 772-221-1660 Fax: 221-3180  
 Qualifiers name: Will Carson Street: 4437 SW Portway City: Palm City State: FL Zip: 34990  
 State License Number: CAC1816767 OR: \_\_\_\_\_ Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: Will Carson Phone Number: 772-221-1660  
 DESIGN PROFESSIONAL: \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
 AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 900 sq. ft. require a Non-Conversion Covenant Agreement.



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

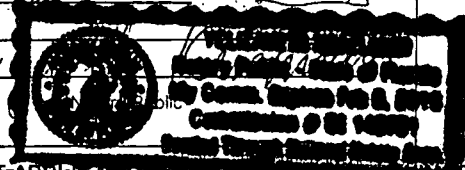
**WARNINGS TO OWNERS AND CONTRACTORS:**

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

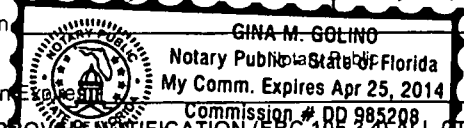
**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\***

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:  
 X Portia Seely  
 State of Florida, County of: Martin  
 On This the 27 day of March, 2012  
 by Portia Seely who is personally  
 known to me or produced  
 As identification: Jeli  
 My Commission Expires: \_\_\_\_\_



CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:  
 X Will Carson  
 State of Florida, County of: MARTIN  
 On This the 27th day of MARCH, 2012  
 by William M. Carson who is personally  
 known to me or produced  
 As identification: Stana M. Holm  
 My Commission Expires: \_\_\_\_\_



SINGLE FAMILY PERMIT APPLICATIONS MUST BE APPROVED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION (FBC 105.3.2) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida  
Laurel Kelly, C.F.A**

generated on 3/28/2012 11:20:57 AM EDT

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
26-37-41-013-000-00030-0	4088	37 NE LOFTING WY, SEWALL'S POINT	\$2,652,270	3/24/2012

---

**Owner Information**

<b>Owner(Current)</b>	SEELY GREG SEELY PORTIA
<b>Owner/Mail Address</b>	37 NE LOFTING WAY STUART FL 34996
<b>Sale Date</b>	2/2/1995
<b>Document Book/Page</b>	1107 2022
<b>Document No.</b>	
<b>Sale Price</b>	550000

---

**Location/Description**

<b>Account #</b>	4088	<b>Map Page No.</b>	SP-01
<b>Tax District</b>	2200	<b>Legal Description</b>	PLANTATION AT SEWALL'S POINT LOT 3
<b>Parcel Address</b>	37 NE LOFTING WY, SEWALL'S POINT		
<b>Acres</b>	1.5780		

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**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	193192 Plantation @t Sewall's Pt Wtr

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**Assessment Information**

<b>Market Land Value</b>	\$1,360,800
<b>Market Improvement Value</b>	\$1,291,470
<b>Market Total Value</b>	\$2,652,270



NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 2637410130000003000000

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

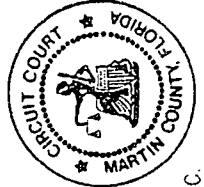
LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

PLANTATION @ Sewalls Point LOT 3

GENERAL DESCRIPTION OF IMPROVEMENT: A/C CHANGE OUT (4 Systems)

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: Portia Seely
ADDRESS: 37 NE Lofting Way, Sewalls Point, FL
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_
INTEREST IN PROPERTY: OWNER



NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: Forward Electric & A/C
ADDRESS: 4437 SW Port Way, Palm City, FL 32990
PHONE NUMBER: 772-221-1660 FAX NUMBER: 772-221-3180

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)

ADDRESS: \_\_\_\_\_
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_
BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY:

ADDRESS: \_\_\_\_\_
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES:

NAME: \_\_\_\_\_
ADDRESS: \_\_\_\_\_
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Signature of Portia Seely
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

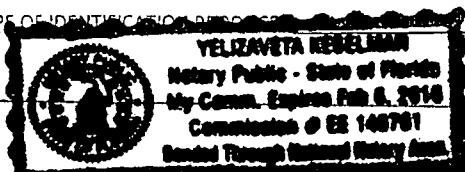
SIGNATORY'S TITLE/OFFICE: owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 17 DAY OF Mar 20 12

BY: Portia Seely AS owner FOR \_\_\_\_\_
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION TYPE OF IDENTIFICATION \_\_\_\_\_

Signature of Yelizaveta Reshman
NOTARY SIGNATURE/SEAL



STATE OF FLORIDA MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK
BY: [Signature] DATE: 3/28/12

INGSTR # 2322245 DR BK 02588 PG 0362 RECD 03/28/2012 09:50:32 AM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK C CLK

**FLORIDA ENERGY CONSERVATION CODE**

**Mandatory Duct Inspection Certification for HVAC change-out**

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: <u>Portia Seely</u>	Contractor name: <u>Forward Electric + A/C</u>
Street address: <u>37 NE Lottin way</u>	Jurisdiction: <u>Sewall's Point</u>
City: <u>Sewalls Point</u>	Permit No.: _____
Zip: <u>34946</u>	Final inspection date: _____

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.
- Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)
- The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
- System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature:  Date: 3-27-12

Printed Name: William M. Carson

Contractor License #: CAC1816767

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_

**TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FIELD COPY**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

Air Conditioning Change out Affidavit

Residential [X] Commercial [ ]
Package Unit [ ] Yes [X] No (Use Condenser side of form below for equipment listing)
Duct Replacement [ ] Yes [X] No - Refrigerant line replacement [ ] Yes [X] No
Flushing Existing Refrigerant lines [X] Yes [ ] No - Adding Refrigerant Drier [X] Yes [ ] No
Rooftop A/C Stand Installation [ ] Yes [X] No - Curb Installation [ ] Yes [X] No
Smoke Detector in Supply (over 2000 CFM) [ ] Yes [X] No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: Rheem Model# R04P25J1K17 Condenser: Mfg Rheem Model# 14AJM56A1
Volts 207/230 CFM's 2000 Heat Strip 10 Kw Volts 207/230 SEER/EER 14.5 BTU's 50,000
Min. Circuit Amps 60 Wire gauge [ ] Min. Circuit Amps 45 Wire gauge 6
Max. Breaker size 60 Min. Breaker size 60 Max. Breaker size 60 Min. Breaker size 35
Ref. line size: Liquid 3/8 Suction 1/8 Ref. line size: Liquid 3/8 Suction 1/8
Refrigerant type R410 Refrigerant type R410 A
Location: Existing [X] New [ ] Location: Existing [X] New [ ]
Attic/Garage/Closet (specify) Attic Left/Right/Rear/Front/Roof Left +
Access: in closet Condensate Location near unit

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: Rheem Model# R13HA2411 Condenser: Mfg Rheem Model# RAA13060JA2
Volts 207/230 CFM's 2000 Heat Strip 10 Kw Volts 207/230 SEER/EER ? BTU's 50,000
Min. Circuit Amps 60 Wire gauge 6 Min. Circuit Amps 45 Wire gauge 6
Max. Breaker size [ ] Min. Breaker size [ ] Max. Breaker size 60 Min. Breaker size 35
Ref. line size: Liquid 3/8 Suction 1/8 Ref. line size: Liquid 3/8 Suction 1/8
Refrigerant type R22 Refrigerant type R22
Location: Ext. [X] New [ ] Location: Ext. [X] New [ ]
Attic/Garage/Closet (specify) Attic Left/Right/Rear/Front/Roof Left +
Access: in closet Condensate Location near unit

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

[Handwritten signature]



# DesignStar Load Calculation

Results are intended for use with Rheem heating and cooling systems only

The Home Depot of Columbus

## Customer Information

### Location:

Street Address	37 ne lofting way, MARTIN, FL 34996
Latitude, Longitude	26.6726°, -80.0706°
House Square Footage:	2180 sq. ft.

Name:	Portia Seely
Phone:	
Email:	

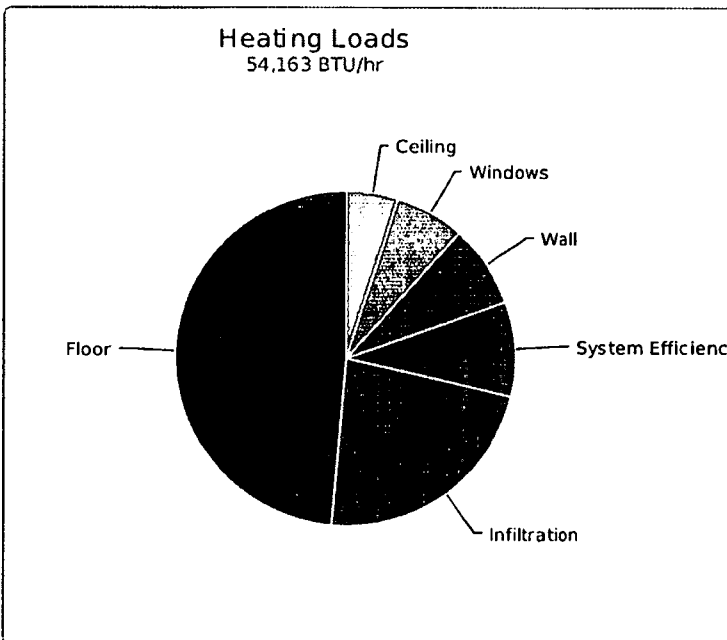
## Design Conditions

Outdoor	Heating	Cooling
Dry bulb (°F)	47	90
Daily range		M
Relative humidity		50%
Moisture difference		64

Indoor	Heating	Cooling
Indoor temperature (°F)	70	75
Design temperature difference(°F)	23	15

## Heating Loads

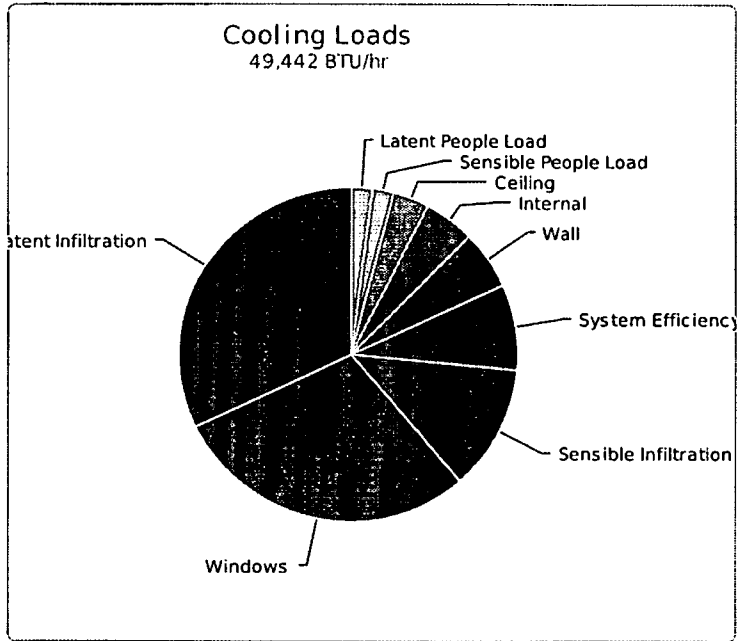
Area	Btuh	% of load
Wall	4318	8
Floor	26353	48.7
Ceiling	2657	4.9
Windows	3600	6.6
Infiltration	12310	22.7
System Efficiency Loss	4924	9.1
<b>Total:</b>	<b>54163</b>	



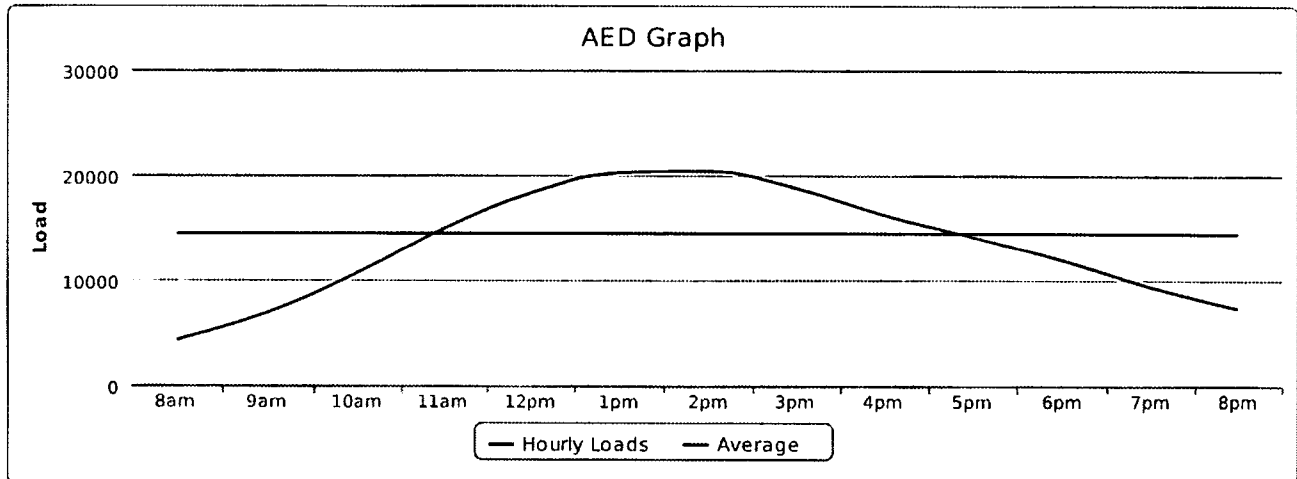
## Cooling Loads

Area	Btuh	% of load
Wall	2816	5.7
Ceiling	1733	3.5
Windows	14448	29.2
Sensible Infiltration	6021	12.2
Latent Infiltration	15882	32.1
System Efficiency Gain	4090	8.3
Internal	2446	4.9
Sensible People Load	1003	2
Latent People Load	1003	2
<b>Total:</b>	<b>49442</b>	

Sensible load	32557
Latent load	16885
SHR	0.66
Capacity at .75 SHR	3.62 Tons



### Adequate Exposure Diversity



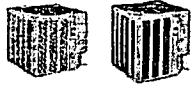
### ACCA Manual S

System equipment selection will be made using the following Manual S derived values.

Summer Outdoor	90°F
Summer Wet Bulb	78°F
Summer Indoor	75°F
Summer Design Grains	50%
Winter Outdoor	47°F

Winter Indoor	70°F
Sensible Cooling	32,557 Btuh
Latent Cooling	16,885 Btuh
Required Cooling Airflow	1,480 CFM
Sensible Heating	54,163 Btuh
Required Heating Airflow	703 CFM

All calculations based on the ACCA Manual J 8th Edition. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree



14AJM SERIES - STRAIGHT COOL - SPLIT SYSTEM PRICE SHEET - AIR HANDLERS



GO TO MATCHUPS WITH FURNACES

BACK TO MENU			CONDENSING UNITS						14.5 SEER CUBE SERIES			AIR HANDLERS						ELECTRIC HEATERS		SYSTEM PRICE				
			208/230V - 1 PHASE, 60Hz									208/230V - 1 PHASE, 60Hz						208/230V - 1 PHASE, 60Hz						
TON	SEER	EER	MODEL NO.	UNIT PRICE	DIMENSIONS			TAX CREDIT QUALIFIER	COOLING CAP.	AHRI NO.	MODEL NO.	UNIT PRICE	DIMENSIONS			HEATER	UNIT PRICE							
					HEIGHT	WIDTH	DEPTH						HEIGHT	WIDTH	DEPTH									
1.5	15.0	12.5	14AJM1RA01	[ ]	27-3/8	31-5/8	31-5/8	[ ]	19,500	3412281	RHSLHM1R173A	[ ]	42-1/2	17-1/2	21-11/16	RXBH1724C05J	[ ]							
	14.5	12.0									RHALFR18PJN00A	[ ]	36	21-1/2	17	RXHJ21B05J	[ ]							
	16.0	13.0									RBHP17J06SH1	[ ]	35	17-1/2	22	INCLUDED	[ ]							
	16.5	14.0									RHLLHM24173A	[ ]	42-1/2	17-1/2	21-11/16	RXBH1724C05J	[ ]							
	16.5	14.0					[ ]	20,000	3412279	RHKLHM24173A	[ ]	42-1/2	17-1/2	21-11/16	RXBH1724C05J	[ ]								
2.0	14.5	12.5	14AJM24A01	[ ]	27-3/8	31-5/8	31-5/8	[ ]	23,800	3412308	RHSLHM24173A	[ ]	42-1/2	17-1/2	21-11/16	RXBH1724C05J	[ ]							
	14.5	12.0									RHALFR24PJN00A	[ ]	36	21-1/2	17	RXHJ21B05J	[ ]							
	15.0	12.5									RBHP17J06SH1	[ ]	35	17-1/2	22	INCLUDED	[ ]							
	16.5	13.5									RHLLHM24173A	[ ]	42-1/2	17-1/2	21-11/16	RXBH1724C05J	[ ]							
	16.0	13.0					[ ]	24,400	3412307	RHKLHM24173A	[ ]	42-1/2	17-1/2	21-11/16	RXBH1724C05J	[ ]								
	16.0	13.0					[ ]	24,400	3412306		[ ]													
2.5	14.5	12.0	14AJM30A01	[ ]	27-3/8	31-5/8	31-5/8	[ ]	28,400	3412356	RHSLHM30173A	[ ]	42-1/2	17-1/2	21-11/16	RXBH1724C05J	[ ]							
	14.5	12.0									RHALFR30PJN00A	[ ]	36	24	21	RXHJ24B0R3	[ ]							
	16.0	13.0									RBHP21J07SH2	[ ]	35	24	21	RXM124R10J	[ ]							
	16.0	13.0									RHLLHM36173A	[ ]	42-1/2	17-1/2	21-11/16	RXBH1724C07J	[ ]							
	15.5	13.0					[ ]	29,200	3412355	RHKLHM36173A	[ ]	42-1/2	17-1/2	21-11/16	RXBH1724C07J	[ ]								
	16.0	13.0					[ ]	29,200	3412354	RHKLHM3R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C07J	[ ]								
	16.0	13.0					[ ]	30,000	3R05936		[ ]													
3.0	14.5	12.0	14AJM36A01	[ ]	35-3/8	31-5/8	31-5/8	[ ]	35,000	3412410	RHSLHM36173A	[ ]	42-1/2	17-1/2	21-11/16	RXBH1724C07J	[ ]							
	14.5	12.0									RHALFR36PJN00A	[ ]	36	24	21	RXHJ24R10J	[ ]							
	15.0	13.0									RBHP21J11SH2	[ ]	35	21	22	INCLUDED	[ ]							
	15.5	13.0									RHLLHM36173A	[ ]	42-1/2	17-1/2	21-11/16	RXBH1724C07J	[ ]							
	16.0	13.0					[ ]	36,200	3412409	RHLLHM3R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]								
	15.0	12.5					[ ]	37,600	3R05983	RHKLHM36173A	[ ]	42-1/2	17-1/2	21-11/16	RXBH1724C07J	[ ]								
	16.0	13.0					[ ]	36,200	3412408	RHKLHM3R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C07J	[ ]								
	16.0	13.0					[ ]	37,800	3R05982		[ ]													
	16.0	13.0					[ ]	39,500	35R9073	RHPNHM36243C	[ ]	55-1/2	24-1/2	21-11/16	RXBH1724C07J	[ ]								
3.5	14.5	12.0	14AJM42A01	[ ]	35-3/8	31-5/8	31-5/8	[ ]	40,000	3412455	RHSLHM42213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]							
	15.5	13.0									RBHP24J11SH4	[ ]	35	24-1/2	22	INCLUDED	[ ]							
	16.0	13.0									RHLLHM4R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]							
	15.5	13.0									RHLLHM3R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]							
	16.0	13.0					[ ]	37,600	3R05983	RHLLHM3R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]								
	15.5	13.0					[ ]	41,000	3412454	RHLLHM3R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]								
	16.0	13.0					[ ]	41,000	3412453	RHLLHM4R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]								
	16.0	13.0					[ ]	39,500	35R9073	RHPNHM36243C	[ ]	55-1/2	24-1/2	21-11/16	RXBH1724C07J	[ ]								
4.0	14.5	12.0	14AJM4RA01	[ ]	35-3/8	31-5/8	31-5/8	[ ]	48,500	3412475	RHSLHM4R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]							
	14.0	12.0									RBHP24J11SH4	[ ]	35	24-1/2	22	INCLUDED	[ ]							
	15.0	13.0									RHLLHM4R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]							
	15.0	12.5									RHLLHM4R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]							
	16.0	13.0					[ ]	49,000	3412474	RHLLHM4R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]								
	16.0	13.0					[ ]	49,000	3412473	RHLLHM4R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]								
	16.0	13.0					[ ]	52,500	35R9099	RHPNHM4R243C	[ ]	55-1/2	24-1/2	21-11/16	RXBH1724C10J	[ ]								
	15.0	12.5					[ ]	46,000	3799428	RHKLHM4R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]								
	16.0	13.0					[ ]	44,500	3930029	RBHP24J11SH4	[ ]	35	24-1/2	22	INCLUDED	[ ]								
	16.0	13.0					[ ]	46,000	3799429	RHLLHM4R213A	[ ]	50-1/2	21	21-11/16	RXBH1724C10J	[ ]								
	16.0	13.0					[ ]	52,500	3799432	RHPNHM4R243C	[ ]	55-1/2	24-1/2	21-11/16	RXBH1724C10J	[ ]								
5.0	14.0	13.0	14AJM56A01	[ ]	35-3/8	31-5/8	31-5/8	[ ]	50,000	3799454	RBHP25J11SH7	[ ]	55-1/2	24-1/2	22	INCLUDED	[ ]							
	16.0	13.0													[ ]	54,000	3799470	RHKLHM60243A	[ ]	55-1/2	24-1/2	21-11/16	RXBH1724C10J	[ ]
	16.0	13.0					[ ]	54,000	3799471	RHLLHM60243A	[ ]	55-1/2	24-1/2	21-11/16	RXBH1724C10J	[ ]								
5.0	14.0	12.0	14AJM60A01	[ ]	35-3/8	31-5/8	31-5/8	[ ]	54,500	3620618	RBHP25J11SH7	[ ]	35	24-1/2	22	INCLUDED	[ ]							
	15.0	13.0									RHLLHM60243A	[ ]	55-1/2	24-1/2	21-11/16	RXBH1724C10J	[ ]							
	15.0	13.0													[ ]	61,500	3412482	RHLLHM60243A	[ ]	55-1/2	24-1/2	21-11/16	RXBH1724C10J	[ ]
	15.0	13.0													[ ]	61,500	3412481	RHKLHM60243A	[ ]	55-1/2	24-1/2	21-11/16	RXBH1724C10J	[ ]



ALL UNITS MUST BE REGISTERED FOR THE 10 YEAR WARRANTY - PLEASE SEE WARRANTY PAGE



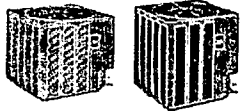
ALL PRICES ARE SUBJECT TO CHANGE WITHOUT NOTICE

ACCESSORIES

MODEL	DESCRIPTION	PRICE	MODEL	DESCRIPTION	PRICE	MODEL	DESCRIPTION	PRICE
ELECTRIC HEATERS			FILTER RACKS & FILTERS					
RXBH1724C05J	5 kw 1 Phase 240v 17 & 24" Cabinet w/Disconnect		FFR17.5	FILTER RACK 17.5" X 22" CABINET		RXHKB01	Bottom Return Kit 18-24	
RXBH1724C07J	7 kw 1 Phase 240v 17 & 24" Cabinet w/Disconnect		FFR17.5-FILTER	P/A 17-3/8X21.5X3/4 EX		RXHKB02	Bottom Return Kit 30-36	
RXBH1724C10J	10 kw 1 Phase 240v 17 & 24" Cabinet w/Disconnect		FFR21	FILTER RACK 21" X 22" CABINET		GT-SS3	Over Flow Switch	
RXBH1724B05J	5 kw 1 Phase 240v 17 & 24" Cabinet No Breaker		FFR21-FILTER	PA 21.25 X 21.25 X 3/4EX		RXHKC02	Louvered Grill 30-36	
RXBH1724B07J	7 kw 1 Phase 240v 17 & 24" Cabinet No Breaker		FFR24	FILTER RACK 24.5" X 22" CABINET		RXHKC01	Louvered Grill 18-24	
RXBH1724B10J	10 kw 1 Phase 240v 17 & 24" Cabinet No Breaker		FFR24-FILTER	PA 24.5X24.5X3/4 EXACT		RXHKB01	Louvered wall Panel	
ELECTRIC HEATERS FOR RHAL			54-1620-E3	RACK W/DOOR 17.5" X 22" CABINET		GT110D	GT STAT 1H1C N/P HORIZONTAL	
RXHJ21B05J	5 kw 1 Phase 240v 21" Cabinet w/Breaker		54-2020-E3	RACK W/DOOR 21" X 22" CABINET		GTV110D	GT STAT 1H1C N/P VERTICAL	
RXHJ21B08J	8 kw 1 Phase 240v 21" Cabinet w/Breaker		54-2025-E3	RACK W/DOOR 24.5" X 22" CABINET		GTUV	GT BLUE TUBE UV LIGHT	
RXHJ21B10J	10 kw 1 Phase 240v 21" Cabinet w/Breaker							
RXHJ24B05J	5 kw 1 Phase 240v 24" Cabinet w/Breaker							
RXHJ24B08J	8 kw 1 Phase 240v 24" Cabinet w/Breaker							



REMEMBER "GemTech"



# CONDENSING UNITS



[BACK TO MENU](#) **13 SEER TO 18 SEER - CUBE & RECTANGLE CONDENSING UNITS**

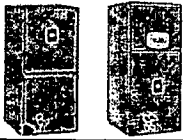
TON	MODEL NUMBER	DIMENSIONS			COOLING CAPACITY	HEATING CAPACITY	VOLTS/PHASE	CIRCUIT		BREAKER		SUC LINE SIZE	LIQ LINE SIZE	SEER
		HEIGHT	WIDTH	DEPTH				MIN	MAX					
1.5	13AJM18A01	24-1/4	23-5/8	23-5/8	1 SP/825 RPM		208/230, 1P	15/15	15/15	3/4	3/8	13.0		
2.0	13AJM24A01	24-1/4	23-5/8	23-5/8	1 SP/825 RPM		208/230, 1P	20/20	25/25	3/4	3/8	13.0		
2.5	13AJM30A01	24-1/4	27-5/8	27-5/8	1 SP/825 RPM		208/230, 1P	25/25	30/30	3/4	3/8	13.0		
3.0	13AJM36A01	27-15/16	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	30/30	35/35	7/8	3/8	13.0		
3.5	13AJM42A01	35-3/8	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	30/30	40/40	7/8	3/8	14.5		
4.0	13AJM48A01	35-15/16	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	35/35	50/50	7/8	3/8	13.0		
5.0	13AJM60A01	35-15/16	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	45/45	60/60	7/8	3/8	13.0		
1.5	14AJM18A01	27-3/8	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	15/15	20/20	3/4	3/8	14.5		
2.0	14AJM24A01	27-3/8	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	25/25	30/30	3/4	3/8	14.5		
2.5	14AJM30A01	27-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	25/25	25/25	3/4	3/8	14.5		
3.0	14AJM36A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	30/30	35/35	7/8	3/8	14.5		
3.5	14AJM42A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	30/30	40/40	7/8	3/8	14.5		
4.0	14AJM48A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	40/40	50/50	7/8	3/8	14.5		
4.0	14AJM49A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	40/40	50/50	7/8	3/8	14.5		
5.0	14AJM60A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	45/45	60/60	7/8	3/8	14.5		
1.5	RANL018JAZ	19	35-1/2	23-3/4	1 SP/825 RPM		208/230, 1P	15/15	20/20	3/4	3/8	13.0		
2.0	RANL024JAZ	19	40-1/2	27-5/8	1 SP/825 RPM		208/230, 1P	25/25	30/30	3/4	3/8	13.0		
2.5	RANL031JAZ	19	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	25/25	30/30	3/4	3/8	13.0		
3.0	RANL037JAZ	25	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	30/30	35/35	7/8	3/8	13.0		
3.5	RANL043JAZ	25	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	30/30	40/40	7/8	3/8	13.0		
4.0	RANL049JAZ	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	35/35	50/50	7/8	3/8	13.0		
5.0	RANL060JAZ	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	45/45	60/60	7/8	3/8	13.0		
1.5	RAPM018JEZ	19	40-1/2	27-5/8	ECM - OUTDOOR		208/230, 1P	15/15	20/20	3/4	3/8	14.5		
2.0	RAPM024JEZ	29	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	25/25	30/30	3/4	3/8	14.5		
2.5	RAPM030JEZ	29	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	25/25	25/25	3/4	3/8	14.5		
3.0	RAPM036JEZ	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	25/25	35/35	7/8	3/8	14.5		
3.5	RAPM042JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	30/30	40/40	7/8	3/8	14.5		
4.0	RAPM048JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	40/40	50/50	7/8	3/8	14.5		
5.0	RAPM056JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	45/45	60/60	7/8	3/8	14.5		
5.0	RAPM060JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	45/45	60/60	7/8	3/8	14.5		
2.0	RARL024JEC	23	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	20/20	20/20	5/8	5/16	16.0		
3.0	RARL036JEC	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	30/30	35/35	3/4	5/16	16.0		
4.0	RARL048JEC	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	35/35	45/45	7/8	3/8	16.0		
5.0	RARL060JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	45/45	60/60	7/8	3/8	16.0		
2.0	RASL024JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	20/20	20/20	3/4	3/8	18.0		
3.0	RASL036JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	30/30	40/40	3/4	3/8	18.0		
2.0	RASL024JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	20/20	20/20	3/4	3/8	18.0		
3.0	RASL036JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	30/30	40/40	3/4	3/8	18.0		
3.5	RASL039JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	30/30	40/40	3/4	3/8	18.0		
4.0	RASL048JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	45/45	60/60	7/8	3/8	18.0		
5.0	RASL060JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	50/50	60/60	7/8	3/8	18.0		



ALL PRICES ARE SUBJECT TO CHANGE WITHOUT NOTICE







# AIR HANDLERS - ELECTRIC HEAT



[BACK TO MENU](#)

## AIR HANDLERS WITH PSC, X-13 & ECM MOTORS

TON	MODEL NUMBER	DIMENSIONS			TONAGE RANGE		SUPPLY VOLTAGE	MOTOR	MIN AMPACITY	MAX PROTECTION	HEATER
		HEIGHT	WIDTH	DEPTH	FROM	TO					
1.5	RHSLHM1817JA	42-1/2	17-1/2	21-11/16	1.5	ONLY	208/230, 1P	PSC	24/28	25/30	RXBH1724C05J
2.0	RHSLHM2417JA	42-1/2	17-1/2	21-11/16	2.0	ONLY	208/230, 1P	PSC	24/28	25/30	RXBH1724C05J
2.5	RHSLHM3017JA	42-1/2	17-1/2	21-11/16	2.5	ONLY	208/230, 1P	PSC	25/29	25/30	RXBH1724C05J
3.0	RHSLHM3617JA	42-1/2	17-1/2	21-11/16	3.0	ONLY	208/230, 1P	PSC	36/41	40/45	RXBH1724C07J
3.5	RHSLHM4221JA	50-1/2	21	21-11/16	3.5	ONLY	208/230, 1P	PSC	50/57	50/60	RXBH1724C10J
4.0	RHSLHM4821JA	50-1/2	21	21-11/16	4.0	ONLY	208/230, 1P	PSC	50/57	50/60	RXBH1724C10J
5.0	RHSLHM6024JA	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	PSC	50/57	50/60	RXBH1724C10J
2.0	RBHP17J06SH1	35	17-1/2	22	1.5	2.0	208/230, 1P	X-13	25/29	25/30	INCLUDED
2.0	RBHP17J07SH1	35	17-1/2	22	1.5	2.0	208/230, 1P	X-13	35/39	40/40	INCLUDED
3.0	RBHP21J06SH2	35	21	22	2.5	3.0	208/230, 1P	X-13	27/30	30/30	INCLUDED
3.0	RBHP21J07SH2	35	21	22	2.5	3.0	208/230, 1P	X-13	36/41	40/45	INCLUDED
3.0	RBHP21J11SH2	35	21	22	2.5	3.0	208/230, 1P	X-13	49/56	50/60	INCLUDED
4.0	RBHP24J07SH4	35	24-1/2	22	3.5	4.0	208/230, 1P	X-13	38/42	40/45	INCLUDED
4.0	RBHP24J11SH4	35	24-1/2	22	3.5	4.0	208/230, 1P	X-13	51/58	60/60	INCLUDED
5.0	RBHP25J11SH7	35	24-1/2	22	5.0	ONLY	208/230, 1P	X-13	53/60	60/60	INCLUDED
2.0	RBHM17J11SMQ	45-1/2	17-1/2	22	1.5	2.0	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
4.0	RBHM24J07SMR	45-1/2	24-1/2	22	3.5	4.0	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
4.0	RBHM24J11SMR	45-1/2	24-1/2	22	3.5	4.0	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
5.0	RBHM25J14SMS	45-1/2	24-1/2	22	5.0	ONLY	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
2.0	RHLLHM2417JA	42-1/2	17-1/2	21-11/16	1.5	2.0	208/230, 1P	X-13	24/27	25/30	RXBH1724C05J
3.0	RHLLHM3617JA	42-1/2	17-1/2	21-11/16	2.5	3.0	208/230, 1P	X-13	36/41	40/45	RXBH1724C07J
3.0	RHLLHM3821JA	50-1/2	21	21-11/16	2.5	3.5	208/230, 1P	X-13	48/55	50/60	RXBH1724C10J
4.0	RHLLHM4821JA	50-1/2	21	21-11/16	3.5	4.0	208/230, 1P	X-13	48/55	50/60	RXBH1724C10J
4.0	RHLLHM4824JA	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	X-13	49/56	50/60	RXBH1724C10J
5.0	RHLLHM6024JA	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	X-13	49/56	50/60	RXBH1724C10J
2.0	RHKLHM2417JA	42-1/2	17-1/2	21-11/16	1.5	2.0	208/230, 1P	ECM	25/28	25/30	RXBH1724C05J
3.0	RHKLHM3617JA	42-1/2	17-1/2	21-11/16	2.5	3.0	208/230, 1P	ECM	37/42	40/45	RXBH1724C07J
3.0	RHKLHM3821JA	50-1/2	21	21-11/16	2.5	3.5	208/230, 1P	ECM	38/43	40/45	RXBH1724C07J
4.0	RHKLHM4821JA	50-1/2	21	21-11/16	3.5	4.0	208/230, 1P	ECM	49/55	50/60	RXBH1724C10J
4.0	RHKLHM4824JA	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	ECM	49/56	50/60	RXBH1724C10J
5.0	RHKLHM6024JA	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	ECM	49/56	50/60	RXBH1724C10J
2.0	RHPLHM2421JC	42-1/2	21	21-11/16	1.5	2.0	208/230, 1P	ECM	24/28	25/30	RXBH1724C05J
3.0	RHPLHM3621JC	42-1/2	21	21-11/16	2.5	3.0	208/230, 1P	ECM	37/42	40/45	RXBH1724C07J
4.0	RHPLHM4824JC	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	ECM	50/57	50/60	RXBH1724C10J
5.0	RHPLHM6024JC	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	ECM	50/57	50/60	RXBH1724C10J
2.0	RHPNHM2421JC	42-1/2	21	21-11/16	1.5	2.0	208/230, 1P	ECM	24/28	25/30	RXBH1724C05J
3.0	RHPNHM3624JC	55-1/2	24-1/2	21-11/16	2.5	3.0	208/230, 1P	ECM	39/44	40/45	RXBH1724C07J
4.0	RHPNHM4824JC	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	ECM	50/57	50/60	RXBH1724C10J
5.0	RHPNHM6024JC	55-1/2	24-1/2	21-11/16	5.0	0.0	208/230, 1P	ECM	39/44	40/45	RXBH1724C10J
1.5	RHALFR18PJN00A	36	21-1/2	17	1.5	ONLY	208/230, 1P	PSC	24/27	25/30	RXHJ21B05J
2.0	RHALFR24PJN00A	36	21-1/2	17	2.0	ONLY	208/230, 1P	PSC	24/27	25/30	RXHJ21B05J
2.5	RHALFR30PJN00A	36	24	21	2.5	ONLY	208/230, 1P	PSC	36/41	40/45	RXHJ24B08J
3.0	RHALFR36PJN00A	36	24	21	3.0	ONLY	208/230, 1P	PSC	47/54	50/60	RXHJ24B10J
3.0	RHALFR36PJN00A	36	24	21	3.0	ONLY	208/230, 1P	PSC	47/54	50/60	RXHJ24B10J



ALL PRICES ARE SUBJECT TO CHANGE WITHOUT NOTICE



REMEMBER "GemTech" all your Supplies & Tools !!

Rev F, 08/20/10

**RHEEM  
MANUFACTURING  
COMPANY**

**AIR  
CONDITIONING  
DIVISION**



P.O. BOX 17010  
FORT SMITH, AR 72917-7010

(479) 646-4311

August 20, 2010

**Subject: Rheem Florida High Wind Resistant Frame Mounted Residential Unit Tie-Down Analysis**

The Rheem unit identified below has been analyzed and are compliant with the latest currently adopted Florida Building codes, International Building Codes and the American Society of Civil Engineers Minimum Design Loads for Buildings and Other Structures. The analysis considered an Exposure Category C, a Building Occupancy Category II, and an Importance Factor of 1.0. The analysis determined the unit restraint and unit panel integrity of Rheem units installed according to Rheem recommended approach conform to the high wind anchoring and integrity requirements for buildings up to 60 feet in height exposed to a 3-second wind gust at a maximum wind speed of 150 miles per hour.

The following models were included in this analysis:

13AJA	14AJA	13PJA		
13AJL	14AJL	13PJL	14PJL	15PJL
13AJM	14AJM	14PJM		

Note: Rheem only assumes responsibility for the anchoring integrity of the unit to the mounting surface.

Submitted by:

A handwritten signature in black ink, appearing to read "D. Stephens", with a long horizontal line extending to the right.

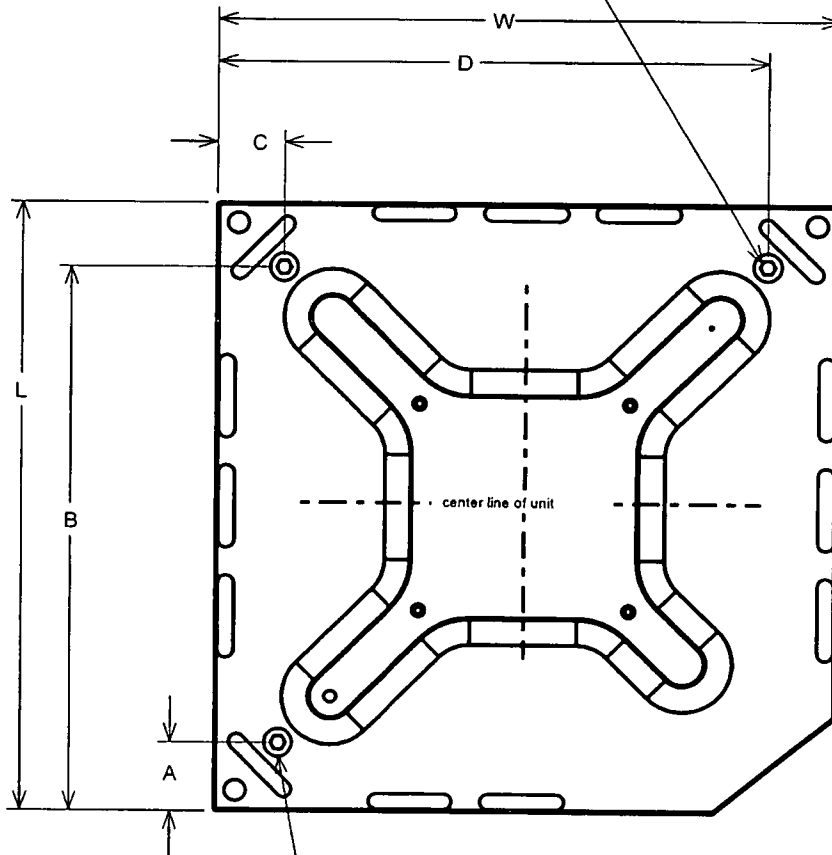
David Stephens, P.E., Ph.D.  
FL Reg No. 61236  
Rheem Manufacturing

Attach: Installation Drawings – ARD4 - Rev X13 (5 Pages)

CONCRETE PAD SPECIFICATIONS:

GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
THAN OR EQUAL TO (UNIT WIDTH +4")

1/4" TAPCON SCREWS OR  
EQUIVALENT SNUG TO BASE PAN.  
LENGTH TO PENETRATE CONCRETE  
1.5" MINIMUM. SCREWS HAVE TO BE  
PLACED ON THE BASE PAN AS SHOWN  
UNLESS OTHERWISE SPECIFIED.



IF ANY ACCUMULATOR IS UTILIZED,  
ADD 3.5" TO THE "A" DIMENSION  
AND 2" TO THE "C" DIMENSION  
FOR THIS HOLE LOCATION ONLY.

VIEW A

SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X10	ADDED MODELS, REVISED TO UPDATE SCREW LOCATION AND QUANTITY	JHB	NONE 03-31-09
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE. A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. *ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT*.					



MODELED BY TWC  
DATE 11-12-02 ORIGINAL RELEASE NO.  
NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED

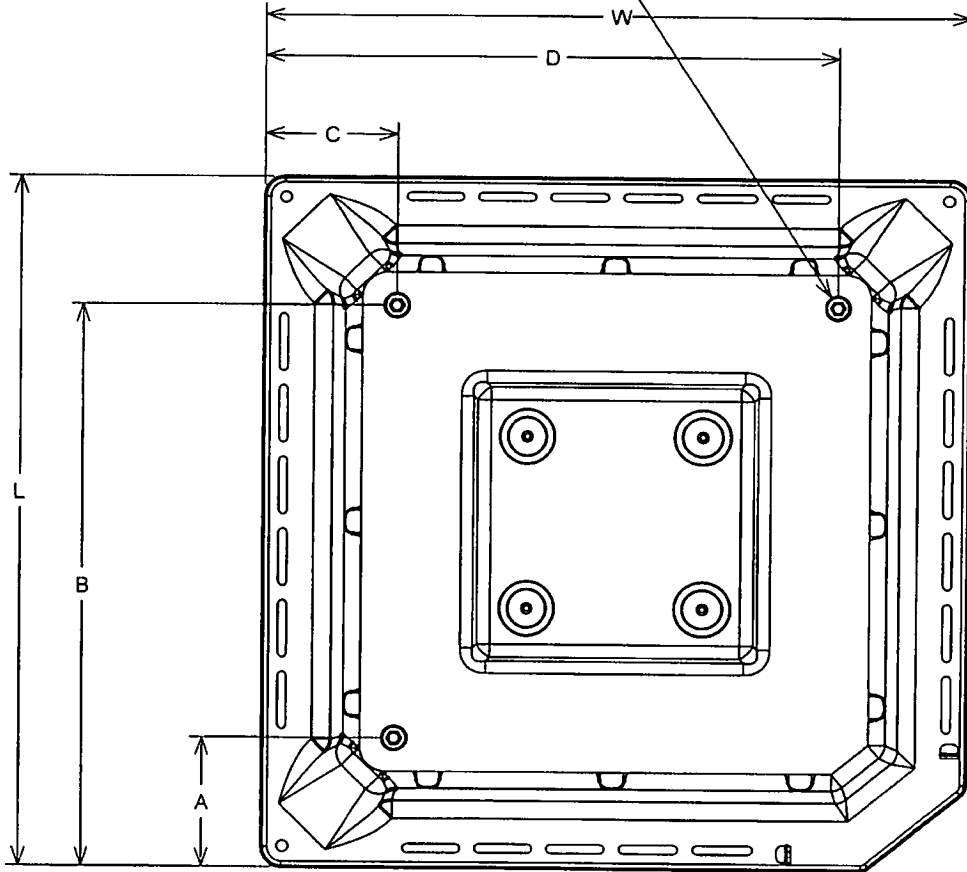
UNIT TIE DOWN INSTRUCTIONS

MATERIAL  
PART NO. SHEET 1 of 5 REV  
ARD4 X13

**CONCRETE PAD SPECIFICATIONS:**


GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")

1/4" TAPCON SCREWS OR  
 EQUIVALENT SNUG TO BASE PAN.  
 LENGTH TO PENETRATE CONCRETE  
 1.5" MINIMUM. SCREWS HAVE TO BE  
 PLACED ON THE BASE PAN AS SHOWN  
 UNLESS OTHERWISE SPECIFIED.



VIEW B

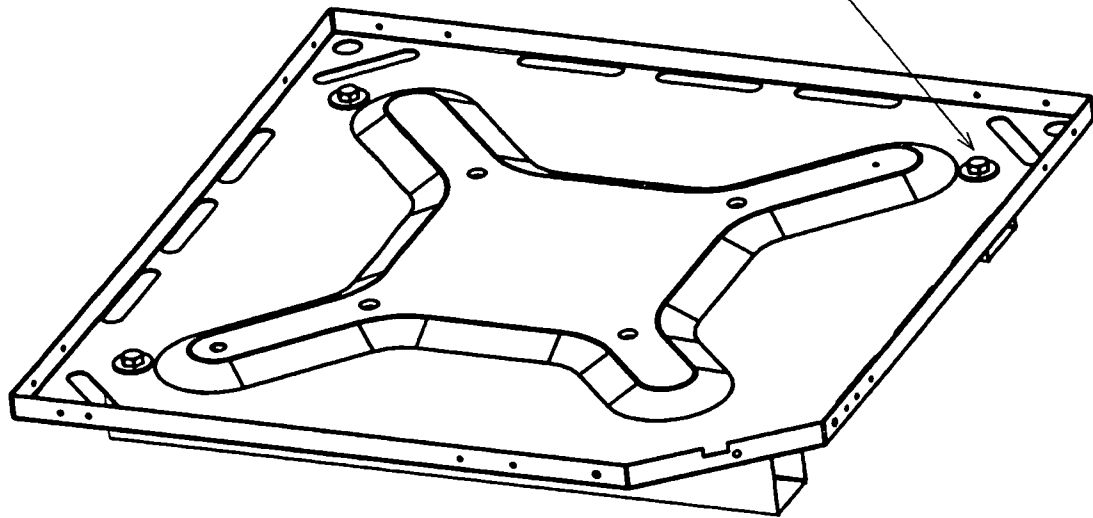
SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X10	ADDED MODELS AND REVISED TO UPDATE SCREW QUANTITY AND LOCATION.	JHB	NONE 03-31-09
RELAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE. A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. *ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT*.					
 RESEARCH & DEVELOPMENT	MODELED BY TWC	ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED		MATERIAL	
	DATE 11-12-02				PART NO.	SHEET 2 of 5
UNIT TIE DOWN INSTRUCTIONS			ARD4		X13	

**CONCRETE PAD SPECIFICATIONS:**

GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")

1/4" TAPCON SCREWS OR  
 EQUIVALENT SNUG TO BASE PAN.  
 LENGTH TO PENETRATE CONCRETE  
 1.5" MINIMUM. SCREWS HAVE TO BE  
 PLACED ON THE BASE PAN AS SHOWN  
 UNLESS OTHERWISE SPECIFIED.



VIEW C

SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	REVISIONS	X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X10	ADDED MODELS AND REVISED TO UPDATE SCREW QUANTITY AND LOCATION.	JHB	NONE 03-31-09
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE. A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS, THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. *ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT*.					



MODELED BY TWC  
 DATE 11-12-02 ORIGINAL RELEASE NO.

NOTE: ALL BRAKES ARE 90°  
 UNLESS OTHERWISE SPECIFIED

MATERIAL

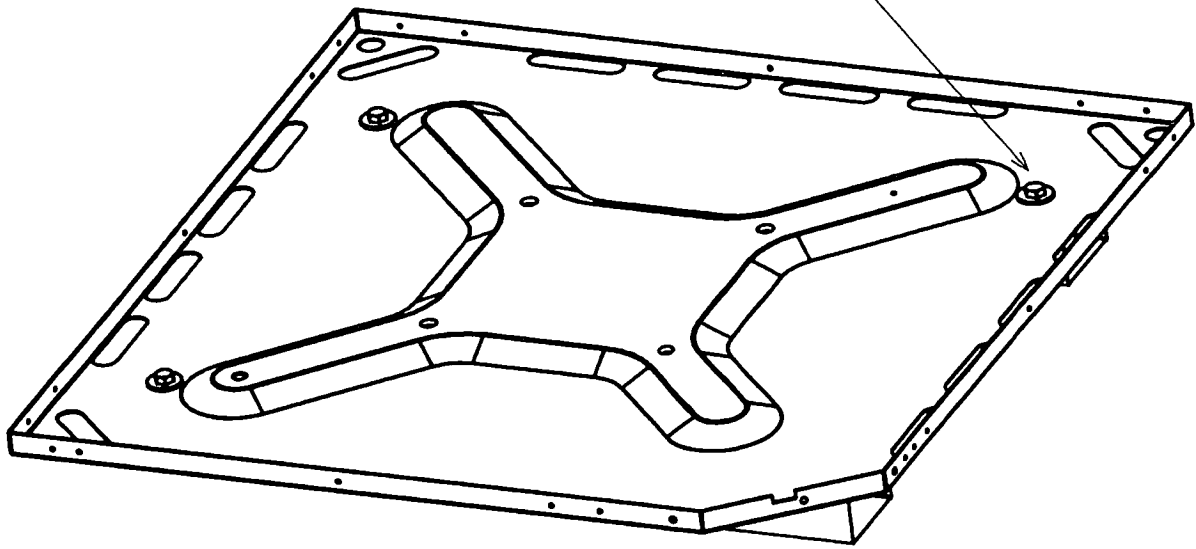
**UNIT TIE DOWN INSTRUCTIONS**

PART NO. SHEET 3 of 5 REV  
**ARD4 X13**

CONCRETE-PAD SPECIFICATIONS:


GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")

1/4" TAPCON SCREWS OR  
 EQUIVALENT SNUG TO BASE PAN.  
 LENGTH TO PENETRATE CONCRETE  
 1.5" MINIMUM. SCREWS HAVE TO BE  
 PLACED ON THE BASE PAN AS SHOWN  
 UNLESS OTHERWISE SPECIFIED.



VIEW D

SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X10	ADDED MODELS AND REVISED TO UPDATE SCREW LOCATIONS AND QUANTITY.	JHB	NONE 03-31-09
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 8-10-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE, A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT.					
 RESEARCH & DEVELOPMENT	MODELED BY TWC	ORIGINAL	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED		MATERIAL	
	DATE 11-12-02	RELEASE NO.	UNIT TIE DOWN INSTRUCTIONS		PART NO.	SHEET 4 of 5
				ARD4		X13

**VIEW A - SEE SHEET 1**

MODEL NUMBER	L	W	A	B	C	D		
13AJA-018/024, 13AJL-018/024, 13AJM-018/024	23.63	23.63	2.49	19.77	2.41	19.63		
13AJA-030, 13AJL-030, 14AJA-018, 14AJL-018/024 13AJM-030	27.63	27.63	3.5	22.63	3.5	22.63		

**VIEW B - SEE SHEET 2**

MODEL NUMBER	L	W	A	B	C	D		
13AJA-036/042/048/060, 13AJL-036/042/048/060/065, 13PJA-030/036/042/048/060, 13PJL-036/042/048/060, 14AJA-024/030/036/042/048/060 14AJL-030/036/042/048/060, 14PJL-036/042/048/060 14AJM-18/24/30/36/42/48/56/60, 14PJM-30/36/42/48/60 13AJM-036/42/48/60 15PJL-030/36/42/48/60	31.63	31.63	5.63	24.50	5.63	24.50		

**VIEW C - SEE SHEET 3**


MODEL NUMBER	L	W	A	B	C	D		
13PJA-018, 13PJL-018/024, 14PJL-018/024	23.63	23.63	3.5	18.63	1.94	20.19		

**VIEW D - SEE SHEET 4**

MODEL NUMBER	L	W	A	B	C	D		
13PJA-024, 13PJL-030, 14PJL-030, 14PJM-18/24 15PJL- 018/024	27.63	27.63	5.0	21.13	2.75	23.38		

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X11	ADDED 13AJM	JHB	NONE 9/22/09
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X13	REVISED NOTE AND SPECIFICATIONS SHTS 1-4	JHB	NONE 8-18-10

VENDOR NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE, A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. \*ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT.

	MODELED BY TWC DATE 11-12-02 ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED	MATERIAL
	<h2>UNIT TIE DOWN INSTRUCTIONS</h2>		PART NO. SHEET 5 of 5 <b>ARD4</b>
			REV <b>X13</b>



1910

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

Air Conditioning Change out Affidavit

Residential [X] Commercial [ ]
Package Unit [ ] Yes [X] No (Use Condenser side of form below for equipment listing)
Duct Replacement [ ] Yes [X] No - Refrigerant line replacement [ ] Yes [X] No
Flushing Existing Refrigerant lines [X] Yes [ ] No - Adding Refrigerant Drier [X] Yes [ ] No
Rooftop A/C Stand Installation [ ] Yes [X] No - Curb Installation [ ] Yes [ ] No
Smoke Detector in Supply (over 2000 CFM) [ ] Yes [X] No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: Rheem Model# RHLLHm6024 Condenser: Mfg 14ATM56A01 Model# Rheem
Volts 208/230 CFM's 2000 Heat Strip 10 Kw Volts 208/230 SEER/EER 16 BTU's 54000
Min. Circuit Amps 50 Wire gauge 6 Min. Circuit Amps 45 Wire gauge 6
Max. Breaker size 60 Min. Breaker size 60 Max. Breaker size 60 Min. Breaker size 35
Ref. line size: Liquid 3/8 Suction 1/8 Ref. line size: Liquid 3/8 Suction 1/8
Refrigerant type R410A Refrigerant type R410 A
Location: Existing [X] New [ ] Location: Existing [X] New [ ]
Attic/Garage/Closet (specify) closet Left/Right/Rear/Front/Roof right courtyard
Access: yes Condensate Location far right hand side of home

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: Rheem Model# R0HA242156 Condenser: Mfg Rheem Model# RAMB0600A2
Volts 240 CFM's 2000 Heat Strip 10 Kw Volts 208/230 SEER/EER ? BTU's 5000
Min. Circuit Amps 50 Wire gauge 6 Min. Circuit Amps 45 Wire gauge 6
Max. Breaker size 60 Min. Breaker size 60 Max. Breaker size 60 Min. Breaker size 35
Ref. line size: Liquid 3/8 Suction 1/8 Ref. line size: Liquid 3/8 Suction 1/8
Refrigerant type R22 Refrigerant type R22
Location: Ext. [X] New [ ] Location: Ext. [X] New [ ]
Attic/Garage/Closet (specify) Attic Left/Right/Rear/Front/Roof right courtyard
Access: yes Condensate Location far right

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

[Handwritten signature]





# DesignStar Load Calculation

Results are intended for use with Rheem heating and cooling systems only

Five Star Degree of Comfort

## Customer Information

### Location:

Street Address	37 ne lofting way, MARTIN, FL 34996
Latitude, Longitude	26.6726°, -80.0706°
House Square Footage	1970 sq. ft.

Name:	Portia Seely
Phone:	
Email:	

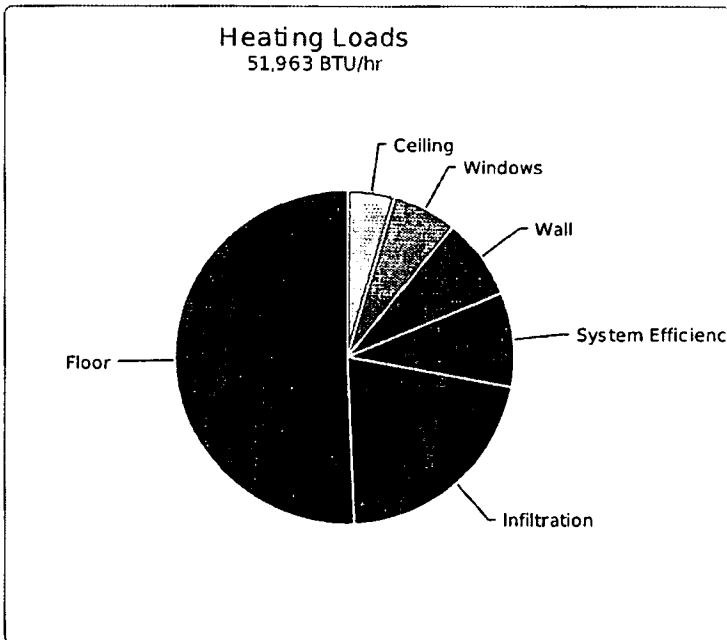
## Design Conditions

Outdoor	Heating	Cooling
Dry bulb (°F)	47	90
Daily range		M
Relative humidity		50%
Moisture difference		64

Indoor	Heating	Cooling
Indoor temperature (°F)	70	75
Design temperature difference (°F)	23	15

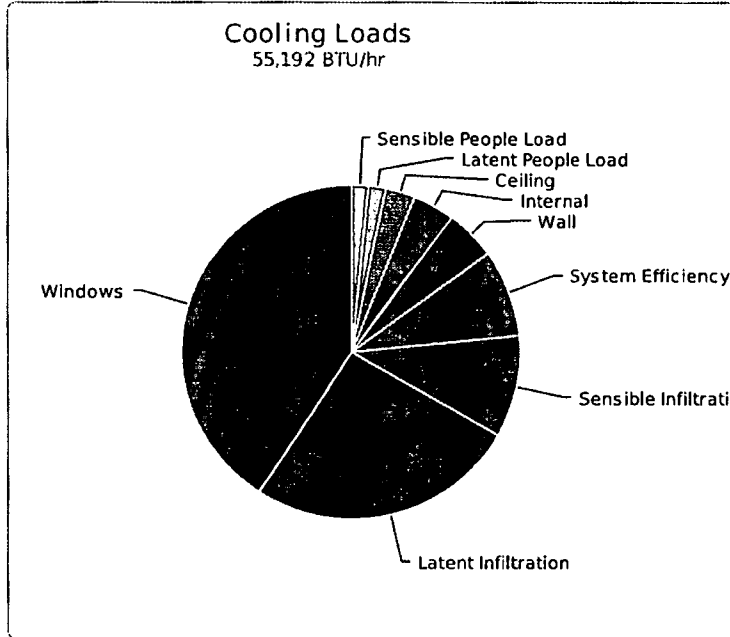
## Heating Loads

Area	Btuh	% of load
Wall	4105	7.9
Floor	26353	50.7
Ceiling	2401	4.6
Windows	3255	6.3
Infiltration	11125	21.4
System Efficiency Loss	4724	9.1
<b>Total:</b>	<b>51963</b>	

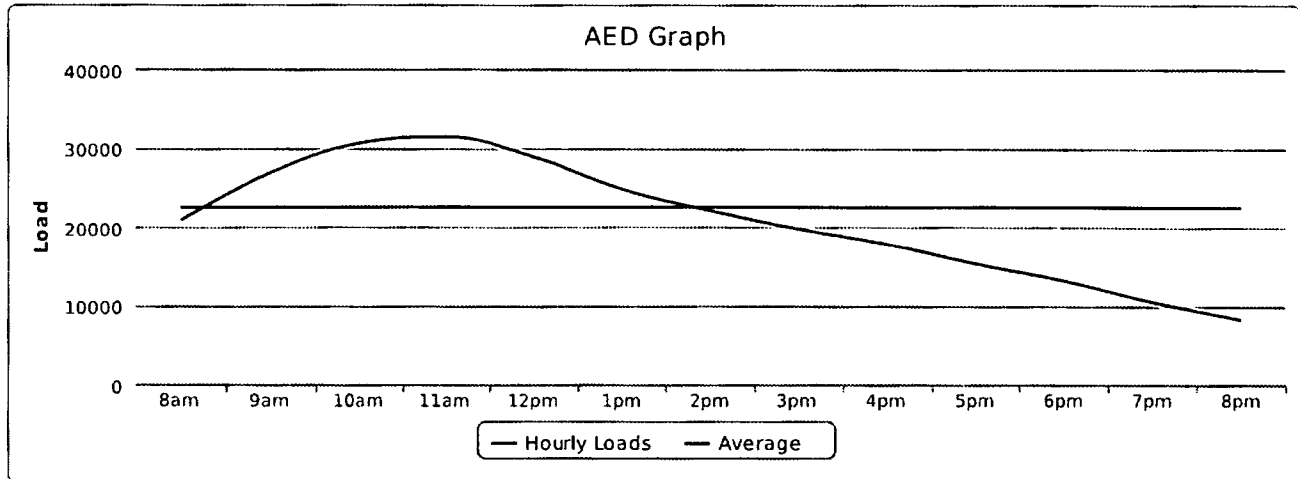


## Cooling Loads

Area	Btuh	% of load
Wall	2677	4.9
Ceiling	1566	2.8
Windows	22481	40.7
Sensible Infiltration	5441	9.9
Latent Infiltration	14352	26
System Efficiency Gain	4652	8.4
Internal	2210	4
Sensible People Load	906	1.6
Latent People Load	906	1.6
<b>Total:</b>	<b>55192</b>	
Sensible load	39934	
Latent load	15258	
SHR	0.72	
Capacity at .75 SHR	4.44 Tons	



**Adequate Exposure Diversity**



**ACCA Manual S**

System equipment selection will be made using the following Manual S derived values.

Summer Outdoor	90°F
Summer Wet Bulb	78°F
Summer Indoor	75°F
Summer Design Grains	50%
Winter Outdoor	47°F

Winter Indoor	70°F
Sensible Cooling	39,934 Btuh
Latent Cooling	15,258 Btuh
Required Cooling Airflow	1,815 CFM
Sensible Heating	51,963 Btuh
Required Heating Airflow	675 CFM

All calculations based on the ACCA Manual J 8th Edition. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree



14AJM SERIES - STRAIGHT COOL - SPLIT SYSTEM PRICE SHEET - AIR HANDLERS



GO TO MATCHUPS WITH FURNACES

CONDENSING UNITS			14.5 SEER CUBE SERIES							AIR HANDLERS				ELECTRIC HEATERS		SYSTEM PRICE							
208/230V - 1 PHASE, 60Hz			DIMENSIONS			TAX CREDIT QUALIFIER	COOLING CAP.	AHRI NO.	208/230V - 1 PHASE, 60Hz			208/230V - 1 PHASE, 60Hz											
TON	SEER	EER	MODEL NO.	UNIT PRICE	HEIGHT				WIDTH	DEPTH	MODEL NO.	UNIT PRICE	HEIGHT	WIDTH	DEPTH	HEATER	UNIT PRICE						
1.5	15.0	12.5	14AJM18A01		27-3/8	31-5/8	31-5/8	RHSLHM18173A	19.500	3412281	47-1/2	17-1/2	21-11/16	RXBH1724C05J									
	14.5	12.0														RHALFR18PJN00A	19.900	3620620	36	21-1/2	17	RXHJ21805J	
	16.0	13.0														RBHP17306SH1	19.700	3412268	35	17-1/2	22	INCLUDED	
	16.5	14.0														RHLLHM24173A	20.000	3412280	47-1/2	17-1/2	21-11/16	RXBH1724C05J	
	16.5	14.0														RHKLHM24173A	20.000	3412279	47-1/2	17-1/2	21-11/16	RXBH1724C05J	
2.0	14.5	12.5	14AJM24A01		27-3/8	31-5/8	31-5/8	RHSLHM24173A	23.800	3412308	47-1/2	17-1/2	21-11/16	RXBH1724C05J									
	14.5	12.0														RHALFR24PJN00A	24.700	3620621	36	21-1/2	17	RXHJ21805J	
	15.0	12.5														RBHP17306SH1	23.400	3412296	35	17-1/2	22	INCLUDED	
	16.5	13.5														RHLLHM24173A	24.400	3412307	47-1/2	17-1/2	21-11/16	RXBH1724C05J	
	16.0	13.0														RHKLHM24173A	24.400	3412306	47-1/2	17-1/2	21-11/16	RXBH1724C05J	
2.5	14.5	12.0	14AJM30A01		27-3/8	31-5/8	31-5/8	RHSLHM30173A	28.400	3412356	47-1/2	17-1/2	21-11/16	RXBH1724C05J									
	14.5	12.0														RHALFR30PJN00A	28.400	3620622	36	24	21	RXHJ24808J	
	16.0	13.0														RHBLFR36TJN00A	28.800	3799142	36	24	21	RXHJ24810J	
	16.0	13.0														RBHP21307SH2	28.600	3412342	35	21	22	INCLUDED	
	15.5	13.0														RHLLHM36173A	29.200	3412355	47-1/2	17-1/2	21-11/16	RXBH1724C07J	
3.0	14.5	12.0	14AJM36A01		35-3/8	31-5/8	31-5/8	RHSLHM36173A	35.800	3412410	47-1/2	17-1/2	21-11/16	RXBH1724C07J									
	14.5	12.0														RHALFR36PJN00A	36.000	3620623	36	24	21	RXHJ24810J	
	15.0	13.0														RBHP21311SH2	35.800	3412388	35	21	22	INCLUDED	
	15.5	13.0														RHLLHM36173A	36.200	3412409	47-1/2	17-1/2	21-11/16	RXBH1724C07J	
	16.0	13.0														RHLLHM38213A	37.600	3805983	50-1/2	21	21-11/16	RXBH1724C10J	
3.5	14.5	12.0	14AJM42A01		35-3/8	31-5/8	31-5/8	RHSLHM42213A	40.000	3412455	50-1/2	21	21-11/16	RXBH1724C10J									
	14.5	12.0														RHALFR42PJN00A	40.000	3412437	35	24-1/2	22	INCLUDED	
	15.5	13.0														RHLLHM48213A	41.000	3412454	50-1/2	21	21-11/16	RXBH1724C10J	
	16.0	13.0														RHLLHM38213A	37.600	3805983	50-1/2	21	21-11/16	RXBH1724C10J	
	15.5	13.0														RHKLHM48213A	41.000	3412453	50-1/2	21	21-11/16	RXBH1724C10J	
4.0	14.5	12.0	14AJM48A01		35-3/8	31-5/8	31-5/8	RHSLHM48213A	48.500	3412475	50-1/2	21	21-11/16	RXBH1724C10J									
	14.0	12.0														RHALFR48PJN00A	47.000	3412461	35	24-1/2	22	INCLUDED	
	15.0	13.0														RHLLHM48213A	49.000	3412474	50-1/2	21	21-11/16	RXBH1724C10J	
	15.0	12.5														RHKLHM48213A	49.000	3412473	50-1/2	21	21-11/16	RXBH1724C10J	
	16.0	13.0														RHPNHM48243C	52.500	3589099	55-1/2	24-1/2	21-11/16	RXBH1724C10J	
4.0	16.0	13.0	14AJM49A01		35-3/8	31-5/8	31-5/8	RHSLHM49213A	46.000	3799478	50-1/2	21	21-11/16	RXBH1724C10J									
	15.0	12.5														RHALFR49PJN00A	44.500	3930079	35	24-1/2	22	INCLUDED	
	16.0	13.0														RHLLHM48213A	46.000	3799479	50-1/2	21	21-11/16	RXBH1724C10J	
	16.0	13.0														RHLLHM48213A	44.500	3930079	35	24-1/2	22	INCLUDED	
	16.0	13.0														RHPNHM48243C	52.500	3799432	55-1/2	24-1/2	21-11/16	RXBH1724C10J	
5.0	14.0	11.5	14AJM56A01		35-3/8	31-5/8	31-5/8	RHSLHM56213A	50.000	3799454	35	24-1/2	22	INCLUDED									
	16.0	13.0														RHPNHM56243C	54.000	3799470	55-1/2	24-1/2	21-11/16	RXBH1724C10J	
5.0	14.0	12.0	14AJM60A01		35-3/8	31-5/8	31-5/8	RHSLHM60241A	61.500	3412482	55-1/2	24-1/2	21-11/16	RXBH1724C10J									
	15.0	13.0														RHALFR60PJN00A	61.500	3620618	35	24-1/2	22	INCLUDED	
	15.0	13.0						RHLLHM60241A	61.500	3412481	55-1/2	24-1/2	21-11/16	RXBH1724C10J									
	15.0	13.0						RHKLHM60241A	61.500	3412481	55-1/2	24-1/2	21-11/16	RXBH1724C10J									



ALL UNITS MUST BE REGISTERED FOR THE 10 YEAR WARRANTY - PLEASE SEE WARRANTY PAGE



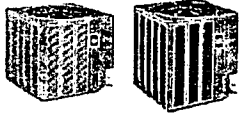
ALL PRICES ARE SUBJECT TO CHANGE WITHOUT NOTICE

ACCESSORIES

MODEL	DESCRIPTION	PRICE	MODEL	DESCRIPTION	PRICE	MODEL	DESCRIPTION	PRICE
ELECTRIC HEATERS			FILTER RACKS & FILTERS			OTHER		
RXBH1724C05J	5 kw 1 Phase 240v 17 & 24" Cabinet w/Disconnect		FFR17.5	FILTER RACK 17.5" X 22" CABINET		RXHKB01	Bottom Return Kit 18-24	
RXBH1724C07J	7 kw 1 Phase 240v 17 & 24" Cabinet w/Disconnect		FFR17.5-FILTER	P/A 17-3/8X21.5X3/4 EX		RXHKB02	Bottom Return Kit 30-36	
RXBH1724C10J	10 kw 1 Phase 240v 17 & 24" Cabinet w/Disconnect		FFR21	FILTER RACK 21" X 22" CABINET		GT-SS3	Over Flow Switch	
RXBH1724B05J	5 kw 1 Phase 240v 17 & 24" Cabinet No Breaker		FFR21-FILTER	PA 21.25 X 21.25 X 3/4EX		RXHKC02	Louvered Grill 30-36	
RXBH1724B07J	7 kw 1 Phase 240v 17 & 24" Cabinet No Breaker		FFR24	FILTER RACK 24.5" X 22" CABINET		RXHKC01	Louvered Grill 18-24	
RXBH1724B10J	10 kw 1 Phase 240v 17 & 24" Cabinet No Breaker		FFR24-FILTER	PA 24.5X24.5X3/4 EXACT		RXHKD01	Louvered wall Panel	
ELECTRIC HEATERS FOR RHAL			54-1620-E3	RACK W/DOOR 17.5" X 22" CABINET		GT110D	GT STAT 1H1C N/P HORIZONTAL	
RXHJ21805J	5 kw 1 Phase 240v 21" Cabinet w/Breaker		54-2020-E3	RACK W/DOOR 21" X 22" CABINET		GTV110D	GT STAT 1H1C N/P VERTICAL	
RXHJ21808J	8 kw 1 Phase 240v 21" Cabinet w/Breaker		54-2025-E3	RACK W/DOOR 24.5" X 22" CABINET		GTUV	GT BLUE TUBE UV LIGHT	
RXHJ21810J	10 kw 1 Phase 240v 21" Cabinet w/Breaker							
RXHJ24805J	5 kw 1 Phase 240v 24" Cabinet w/Breaker							
RXHJ24808J	8 kw 1 Phase 240v 24" Cabinet w/Breaker							



REMEMBER "GemTech"



# CONDENSING UNITS



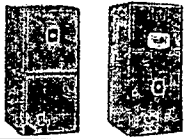
BACK TO MENU

## 13 SEER TO 18 SEER - CUBE & RECTANGLE CONDENSING UNITS

TON	MODEL NUMBER	DIMENSIONS			COOLING CAPACITY	HEATING CAPACITY	VOLTS/PHAS E	CIRCUIT		BREAKER		SUC LINE SIZE	LIQ LINE SIZE	SEER
		HEIGHT	WIDTH	DEPTH				MIN	MAX	MAX	MAX			
1.5	13AJM18A01	24-1/4	23-5/8	23-5/8	1 SP/825 RPM		208/230, 1P	15/15		15/15		3/4	3/8	13.0
2.0	13AJM24A01	24-1/4	23-5/8	23-5/8	1 SP/825 RPM		208/230, 1P	20/20		25/25		3/4	3/8	13.0
2.5	13AJM30A01	24-1/4	27-5/8	27-5/8	1 SP/825 RPM		208/230, 1P	25/25		30/30		3/4	3/8	13.0
3.0	13AJM36A01	27-15/16	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	30/30		35/35		7/8	3/8	13.0
3.5	13AJM42A01	35-3/8	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	30/30		40/40		7/8	3/8	14.5
4.0	13AJM48A01	35-15/16	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	35/35		50/50		7/8	3/8	13.0
5.0	13AJM60A01	35-15/16	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	45/45		60/60		7/8	3/8	13.0
1.5	14AJM18A01	27-3/8	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	15/15		20/20		3/4	3/8	14.5
2.0	14AJM24A01	27-3/8	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	25/25		30/30		3/4	3/8	14.5
2.5	14AJM30A01	27-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	25/25		25/25		3/4	3/8	14.5
3.0	14AJM36A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	30/30		35/35		7/8	3/8	14.5
3.5	14AJM42A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	30/30		40/40		7/8	3/8	14.5
4.0	14AJM48A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	40/40		50/50		7/8	3/8	14.5
4.0	14AJM49A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	40/40		50/50		7/8	3/8	14.5
5.0	14AJM60A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	45/45		60/60		7/8	3/8	14.5
5.0	14AJM60A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	45/45		60/60		7/8	3/8	14.5
1.5	RANL018JAZ	19	35-1/2	23-3/4	1 SP/825 RPM		208/230, 1P	15/15		20/20		3/4	3/8	13.0
2.0	RANL024JAZ	19	40-1/2	27-5/8	1 SP/825 RPM		208/230, 1P	25/25		30/30		3/4	3/8	13.0
2.5	RANL031JAZ	19	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	25/25		30/30		3/4	3/8	13.0
3.0	RANL037JAZ	25	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	30/30		35/35		7/8	3/8	13.0
3.5	RANL043JAZ	25	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	30/30		40/40		7/8	3/8	13.0
4.0	RANL049JAZ	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	35/35		50/50		7/8	3/8	13.0
5.0	RANL060JAZ	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	45/45		60/60		7/8	3/8	13.0
1.5	RAPM018JEZ	19	40-1/2	27-5/8	ECM - OUTDOOR		208/230, 1P	15/15		20/20		3/4	3/8	14.5
2.0	RAPM024JEZ	29	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	25/25		30/30		3/4	3/8	14.5
2.5	RAPM030JEZ	29	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	25/25		25/25		3/4	3/8	14.5
3.0	RAPM036JEZ	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	25/25		35/35		7/8	3/8	14.5
3.5	RAPM042JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	30/30		40/40		7/8	3/8	14.5
4.0	RAPM048JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	40/40		50/50		7/8	3/8	14.5
5.0	RAPM056JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	45/45		60/60		7/8	3/8	14.5
5.0	RAPM060JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	45/45		60/60		7/8	3/8	14.5
2.0	RARL024JEC	23	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	20/20		20/20		5/8	5/16	16.0
3.0	RARL036JEC	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	30/30		35/35		3/4	5/16	16.0
4.0	RARL048JEC	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	35/35		45/45		7/8	3/8	16.0
5.0	RARL060JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	45/45		60/60		7/8	3/8	16.0
2.0	RASL024JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	20/20		20/20		3/4	3/8	18.0
3.0	RASL036JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	30/30		40/40		3/4	3/8	18.0
2.0	RASL024JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	20/20		20/20		3/4	3/8	18.0
3.0	RASL036JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	30/30		40/40		3/4	3/8	18.0
3.5	RASL039JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	30/30		40/40		3/4	3/8	18.0
4.0	RASL048JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	45/45		60/60		7/8	3/8	18.0
5.0	RASL060JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	50/50		60/60		7/8	3/8	18.0



ALL PRICES ARE SUBJECT TO CHANGE WITHOUT NOTICE



# AIR HANDLERS - ELECTRIC HEAT



[BACK TO MENU](#)

## AIR HANDLERS WITH PSC, X-13 & ECM MOTORS

TON	MODEL NUMBER	DIMENSIONS			TONAGE RANGE		SUPPLY VOLTAGE	MOTOR	MIN AMPACITY	MAX PROTECTION	HEATER
		HEIGHT	WIDTH	DEPTH	FROM	TO					
1.5	RHSLHM1817JA	42-1/2	17-1/2	21-11/16	1.5	ONLY	208/230, 1P	PSC	24/28	25/30	RXBH1724C05J
2.0	RHSLHM2417JA	42-1/2	17-1/2	21-11/16	2.0	ONLY	208/230, 1P	PSC	24/28	25/30	RXBH1724C05J
2.5	RHSLHM3017JA	42-1/2	17-1/2	21-11/16	2.5	ONLY	208/230, 1P	PSC	25/29	25/30	RXBH1724C05J
3.0	RHSLHM3617JA	42-1/2	17-1/2	21-11/16	3.0	ONLY	208/230, 1P	PSC	36/41	40/45	RXBH1724C07J
3.5	RHSLHM4221JA	50-1/2	21	21-11/16	3.5	ONLY	208/230, 1P	PSC	50/57	50/60	RXBH1724C10J
4.0	RHSLHM4821JA	50-1/2	21	21-11/16	4.0	ONLY	208/230, 1P	PSC	50/57	50/60	RXBH1724C10J
5.0	RHSLHM6024JA	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	PSC	50/57	50/60	RXBH1724C10J
2.0	RBHP17J06SH1	35	17-1/2	22	1.5	2.0	208/230, 1P	X-13	25/29	25/30	INCLUDED
2.0	RBHP17J07SH1	35	17-1/2	22	1.5	2.0	208/230, 1P	X-13	35/39	40/40	INCLUDED
3.0	RBHP21J06SH2	35	21	22	2.5	3.0	208/230, 1P	X-13	27/30	30/30	INCLUDED
3.0	RBHP21J07SH2	35	21	22	2.5	3.0	208/230, 1P	X-13	36/41	40/45	INCLUDED
3.0	RBHP21J11SH2	35	21	22	2.5	3.0	208/230, 1P	X-13	49/56	50/60	INCLUDED
4.0	RBHP24J07SH4	35	24-1/2	22	3.5	4.0	208/230, 1P	X-13	38/42	40/45	INCLUDED
4.0	RBHP24J11SH4	35	24-1/2	22	3.5	4.0	208/230, 1P	X-13	51/58	60/60	INCLUDED
5.0	RBHP25J11SH7	35	24-1/2	22	5.0	ONLY	208/230, 1P	X-13	53/60	60/60	INCLUDED
2.0	RBHM17J11SMQ	45-1/2	17-1/2	22	1.5	2.0	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
4.0	RBHM24J07SMR	45-1/2	24-1/2	22	3.5	4.0	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
4.0	RBHM24J11SMR	45-1/2	24-1/2	22	3.5	4.0	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
5.0	RBHM25J14SMS	45-1/2	24-1/2	22	5.0	ONLY	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
2.0	RHLLHM2417JA	42-1/2	17-1/2	21-11/16	1.5	2.0	208/230, 1P	X-13	24/27	25/30	RXBH1724C05J
3.0	RHLLHM3617JA	42-1/2	17-1/2	21-11/16	2.5	3.0	208/230, 1P	X-13	36/41	40/45	RXBH1724C07J
3.0	RHLLHM3821JA	50-1/2	21	21-11/16	2.5	3.5	208/230, 1P	X-13	48/55	50/60	RXBH1724C10J
4.0	RHLLHM4821JA	50-1/2	21	21-11/16	3.5	4.0	208/230, 1P	X-13	48/55	50/60	RXBH1724C10J
4.0	RHLLHM4824JA	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	X-13	49/56	50/60	RXBH1724C10J
5.0	RHLLHM6024JA	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	X-13	49/56	50/60	RXBH1724C10J
2.0	RHKLHM2417JA	42-1/2	17-1/2	21-11/16	1.5	2.0	208/230, 1P	ECM	25/28	25/30	RXBH1724C05J
3.0	RHKLHM3617JA	42-1/2	17-1/2	21-11/16	2.5	3.0	208/230, 1P	ECM	37/42	40/45	RXBH1724C07J
3.0	RHKLHM3821JA	50-1/2	21	21-11/16	2.5	3.5	208/230, 1P	ECM	38/43	40/45	RXBH1724C07J
4.0	RHKLHM4821JA	50-1/2	21	21-11/16	3.5	4.0	208/230, 1P	ECM	49/55	50/60	RXBH1724C10J
4.0	RHKLHM4824JA	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	ECM	49/56	50/60	RXBH1724C10J
5.0	RHKLHM6024JA	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	ECM	49/56	50/60	RXBH1724C10J
2.0	RHPLHM2421JC	42-1/2	21	21-11/16	1.5	2.0	208/230, 1P	ECM	24/28	25/30	RXBH1724C05J
3.0	RHPLHM3621JC	42-1/2	21	21-11/16	2.5	3.0	208/230, 1P	ECM	37/42	40/45	RXBH1724C07J
4.0	RHPLHM4824JC	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	ECM	50/57	50/60	RXBH1724C10J
5.0	RHPLHM6024JC	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	ECM	50/57	50/60	RXBH1724C10J
2.0	RHPNHM2421JC	42-1/2	21	21-11/16	1.5	2.0	208/230, 1P	ECM	24/28	25/30	RXBH1724C05J
3.0	RHPNHM3624JC	55-1/2	24-1/2	21-11/16	2.5	3.0	208/230, 1P	ECM	39/44	40/45	RXBH1724C07J
4.0	RHPNHM4824JC	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	ECM	50/57	50/60	RXBH1724C10J
5.0	RHPNHM6024JC	55-1/2	24-1/2	21-11/16	5.0	0.0	208/230, 1P	ECM	39/44	40/45	RXBH1724C10J
1.5	RHALFR18PJN00A	36	21-1/2	17	1.5	ONLY	208/230, 1P	PSC	24/27	25/30	RXHJ21B05J
2.0	RHALFR24PJN00A	36	21-1/2	17	2.0	ONLY	208/230, 1P	PSC	24/27	25/30	RXHJ21B05J
2.5	RHALFR30PJN00A	36	24	21	2.5	ONLY	208/230, 1P	PSC	36/41	40/45	RXHJ24B08J
3.0	RHALFR36PJN00A	36	24	21	3.0	ONLY	208/230, 1P	PSC	47/54	50/60	RXHJ24B10J
3.0	RHALFR36PJN00A	36	24	21	3.0	ONLY	208/230, 1P	PSC	47/54	50/60	RXHJ24B10J



ALL PRICES ARE SUBJECT TO CHANGE WITHOUT NOTICE



REMEMBER "GemTech" all your Supplies & Tools !!

Rev F, 08/20/10

**RHEEM  
MANUFACTURING  
COMPANY**

**AIR  
CONDITIONING  
DIVISION**



P.O. BOX 17010  
FORT SMITH, AR 72917-7010

(479) 646-4311

August 20, 2010

**Subject: Rheem Florida High Wind Resistant Frame Mounted Residential Unit Tie-Down Analysis**

The Rheem unit identified below has been analyzed and are compliant with the latest currently adopted Florida Building codes, International Building Codes and the American Society of Civil Engineers Minimum Design Loads for Buildings and Other Structures. The analysis considered an Exposure Category C, a Building Occupancy Category II, and an Importance Factor of 1.0. The analysis determined the unit restraint and unit panel integrity of Rheem units installed according to Rheem recommended approach conform to the high wind anchoring and integrity requirements for buildings up to 60 feet in height exposed to a 3-second wind gust at a maximum wind speed of 150 miles per hour.

The following models were included in this analysis:

13AJA	14AJA	13PJA		
13AJL	14AJL	13PJL	14PJL	15PJL
13AJM	14AJM	14PJM		

Note: Rheem only assumes responsibility for the anchoring integrity of the unit to the mounting surface.

Submitted by:

A handwritten signature in black ink, appearing to read "D. Stephens", with a long horizontal flourish extending to the right.

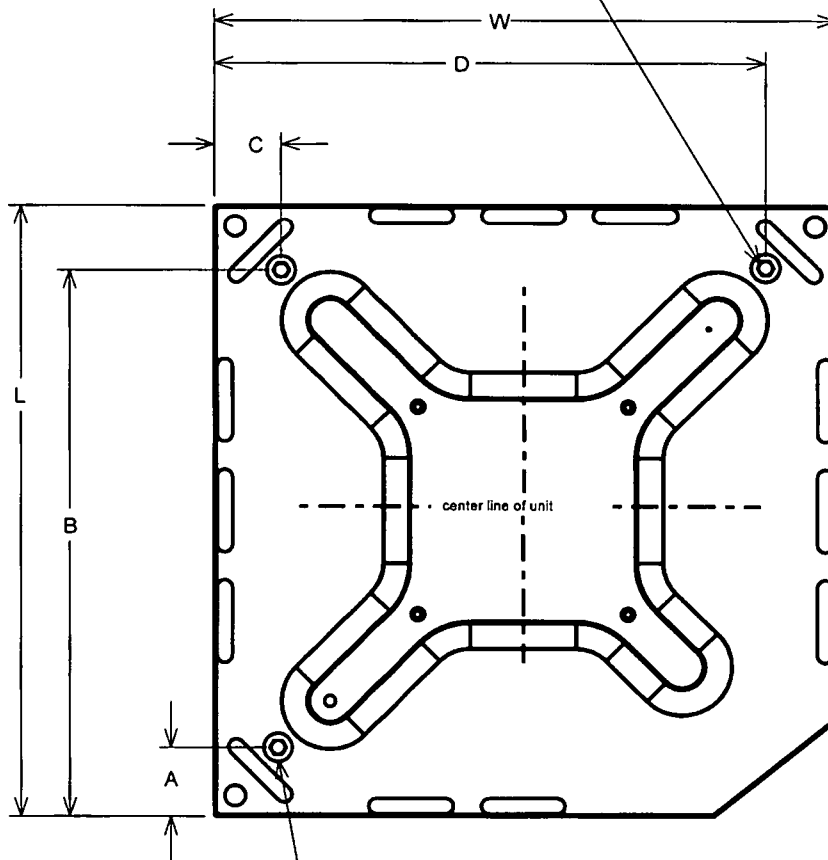
David Stephens, P.E., Ph.D.  
FL Reg No. 61236  
Rheem Manufacturing

Attach: Installation Drawings – ARD4 - Rev X13 (5 Pages)

**CONCRETE PAD SPECIFICATIONS:**

GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")

1/4" TAPCON SCREWS OR  
 EQUIVALENT SNUG TO BASE PAN.  
 LENGTH TO PENETRATE CONCRETE  
 1.5" MINIMUM. SCREWS HAVE TO BE  
 PLACED ON THE BASE PAN AS SHOWN  
 UNLESS OTHERWISE SPECIFIED.




IF ANY ACCUMULATOR IS UTILIZED,  
 ADD 3.5" TO THE "A" DIMENSION  
 AND 2" TO THE "C" DIMENSION  
 FOR THIS HOLE LOCATION ONLY.

VIEW A

SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X10	ADDED MODELS, REVISED TO UPDATE SCREW LOCATION AND QUANTITY	JHB	NONE 03-31-09
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3° -DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
RELIAB. ENGR.			X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE. A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. *ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT*.					

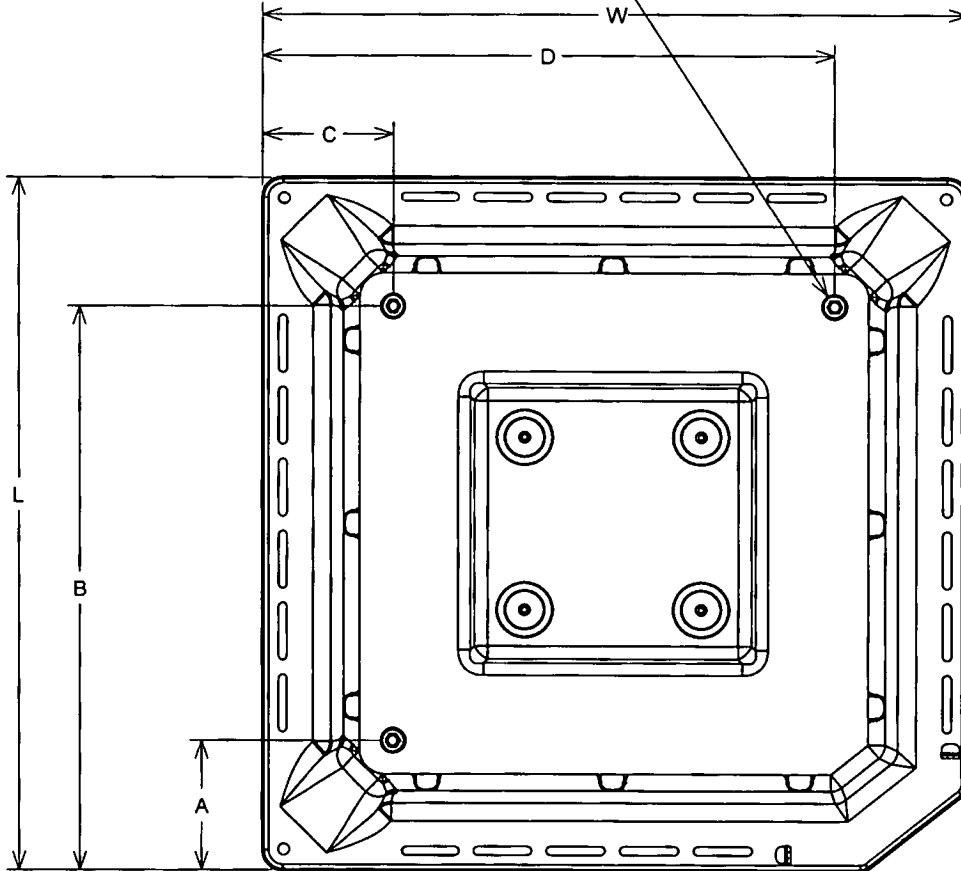
	MODELED BY TWC DATE 11-12-02	ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED	MATERIAL
	<b>UNIT TIE DOWN INSTRUCTIONS</b>			PART NO. <b>ARD4</b>
				SHEET 1 of 5
				REV <b>X13</b>



**CONCRETE PAD SPECIFICATIONS:**


GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")

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 UNLESS OTHERWISE SPECIFIED.



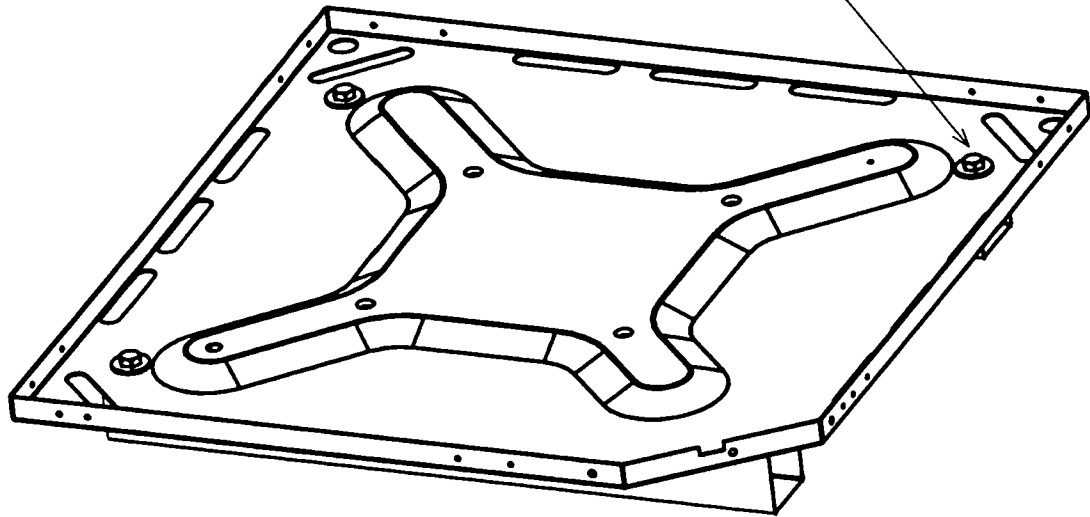
VIEW B

SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X10	ADDED MODELS AND REVISED TO UPDATE SCREW QUANTITY AND LOCATION.	JHB	NONE 03-31-09
RELAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE, A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. *ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT*.					
 RESEARCH & DEVELOPMENT	MODELED BY TWC DATE 11-12-02	ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED		MATERIAL	
	UNIT TIE DOWN INSTRUCTIONS			PART NO.	SHEET 2 of 5	REV X13
			ARD4			


CONCRETE PAD SPECIFICATIONS:  
 GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")

1/4" TAPCON SCREWS OR  
 EQUIVALENT SNUG TO BASE PAN.  
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 1.5" MINIMUM. SCREWS HAVE TO BE  
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VIEW C

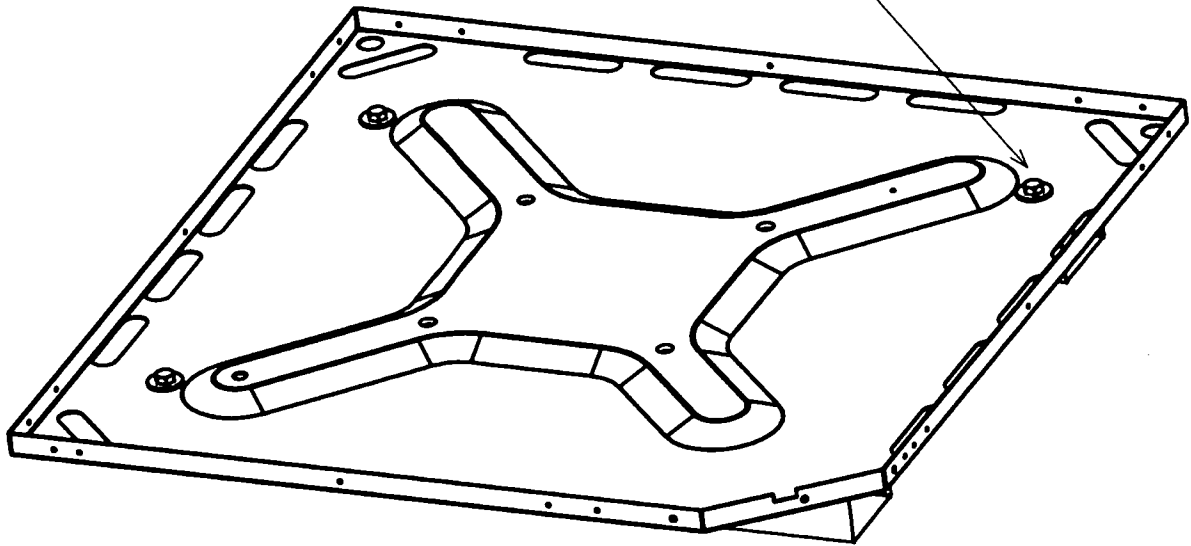
SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X 13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X 10	ADDED MODELS AND REVISED TO UPDATE SCREW QUANTITY AND LOCATION.	JHB	NONE 03-31-09
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X 12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE, A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. *ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT.					
	MODELED BY TWC DATE 11-12-02	ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED		MATERIAL	
	<b>UNIT TIE DOWN INSTRUCTIONS</b>			PART NO.	SHEET 3 of 5	REV
			<b>ARD4</b>		<b>X13</b>	

**CONCRETE PAD SPECIFICATIONS:**

GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")

1/4" TAPCON SCREWS OR  
 EQUIVALENT SNUG TO BASE PAN.  
 LENGTH TO PENETRATE CONCRETE  
 1.5" MINIMUM. SCREWS HAVE TO BE  
 PLACED ON THE BASE PAN AS SHOWN  
 UNLESS OTHERWISE SPECIFIED.




VIEW D

SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X10	ADDED MODELS AND REVISED TO UPDATE SCREW LOCATIONS AND QUANTITY.	JHB	NONE 03-31-09
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 8-10-10

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 RESEARCH & DEVELOPMENT	MODELED BY TWC DATE 11-12-02 ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED	MATERIAL
	<b>UNIT TIE DOWN INSTRUCTIONS</b>		PART NO. SHEET 4 of 5 REV <b>ARD4 X13</b>

**VIEW A - SEE SHEET 1**

MODEL NUMBER	L	W	A	B	C	D		
13AJA-018/024, 13AJL-018/024, 13AJM-018/024	23.63	23.63	2.49	19.77	2.41	19.63		
13AJA-030, 13AJL-030, 14AJA-018, 14AJL-018/024 13AJM-030	27.63	27.63	3.5	22.63	3.5	22.63		

**VIEW B - SEE SHEET 2**

MODEL NUMBER	L	W	A	B	C	D		
13AJA-036/042/048/060, 13AJL-036/042/048/060/065, 13PJA-030/036/042/048/060, 13PJL-036/042/048/060, 14AJA-024/030/036/042/048/060 14AJL-030/036/042/048/060, 14PJM-036/042/048/060 14AJM-18/24/30/36/42/48/56/60, 14PJM-30/36/42/48/60 13AJM-036/42/48/60 15PJL-030/36/42/48/60	31.63	31.63	5.63	24.50	5.63	24.50		

**VIEW C - SEE SHEET 3**


MODEL NUMBER	L	W	A	B	C	D		
13PJA-018, 13PJL-018/024, 14PJL-018/024	23.63	23.63	3.5	18.63	1.94	20.19		

**VIEW D - SEE SHEET 4**

MODEL NUMBER	L	W	A	B	C	D		
13PJA-024, 13PJL-030, 14PJL-030, 14PJM-18/24 15PJL- 018/024	27.63	27.63	5.0	21.13	2.75	23.38		

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X11	ADDED 13AJM	JHB	NONE 9/22/09
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X13	REVISED NOTE AND SPECIFICATIONS SHTS 1-4	JHB	NONE 8-18-10

VENDOR NO REVISION TO DESIGN, MATERIAL TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE, A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. \*ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT\*.

	MODELED BY TWC DATE 11-12-02 ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED	MATERIAL
	<b>UNIT TIE DOWN INSTRUCTIONS</b>		PART NO. SHEET 5 of 5 REV <b>ARD4 X13</b>



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

**Air Conditioning Change out Affidavit**

Residential  Commercial \_\_\_\_\_  
Package Unit \_\_\_ Yes  No (Use Condenser side of form below for equipment listing)  
Duct Replacement \_\_\_ Yes  No - Refrigerant line replacement \_\_\_ Yes  No  
Flushing Existing Refrigerant lines  Yes \_\_\_ No - Adding Refrigerant Drier  Yes \_\_\_ No  
Rooftop A/C Stand Installation \_\_\_ Yes  No - Curb Installation \_\_\_ Yes  No  
Smoke Detector in Supply (over 2000 CFM) \_\_\_ Yes  No

**One form required for each A/C system installed**

**REPLACEMENT SYSTEM COMPONENTS**

<b>Air handler:</b> Mfg: <u>Rheem</u> Model# <u>RBHP171065H</u>	<b>Condenser:</b> Mfg <u>Rheem</u> Model# <u>14AJM18A07</u>
Volts <u>230</u> CFM's <u>600</u> Heat Strip <u>5</u> Kw	Volts <u>230</u> SEER/EER <u>16</u> BTU's <u>19,208</u>
Min. Circuit Amps <u>25</u> Wire gauge <u>8</u>	Min. Circuit Amps <u>15</u> Wire gauge <u>12</u>
Max. Breaker size <u>30</u> Min. Breaker size <u>25</u>	Max. Breaker size <u>20</u> Min. Breaker size <u>20</u>
Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>
Refrigerant type <u>R410A</u>	Refrigerant type <u>R410A</u>
Location: Existing <input checked="" type="checkbox"/> New _____	Location: Existing <input checked="" type="checkbox"/> New _____
Attic/Garage/Closet (specify) <u>Attic</u>	Left/Right/Rear/Front/Roof <u>right</u>
Access: <u>living rm. bath</u>	Condensate Location <u>rear</u>

**EXISTING SYSTEM COMPONENTS**

<b>Air handler:</b> Mfg: <u>Rheem</u> Model# <u>RBHP171065H</u>	<b>Condenser:</b> Mfg <u>Rheem</u> Model# <u>RBMD-180792</u>
Volts <u>240</u> CFM's <u>600</u> Heat Strip <u>6</u> Kw	Volts <u>240</u> SEER/EER <u>16?</u> BTU's <u>19,208</u>
Min. Circuit Amps <u>25</u> Wire gauge <u>8</u>	Min. Circuit Amps <u>9.9</u> Wire gauge <u>8</u>
Max. Breaker size <u>30</u> Min. Breaker size <u>25</u>	Max. Breaker size <u>20</u> Min. Breaker size <u>15</u>
Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>
Refrigerant type <u>R22</u>	Refrigerant type <u>R22</u>
Location: Ext. <u>α</u> New _____	Location: Ext. <u>α</u> New _____
Attic/Garage/Closet (specify) <u>Attic</u>	Left/Right/Rear/Front/Roof <u>Right</u>
Access: <u>living room Bath</u>	Condensate Location <u>Rear</u>

**Certification:**

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108



# DesignStar Load Calculation

Results are intended for use with Rheem heating and cooling systems only

Maximum Degree of Comfort™

## Customer Information

### Location:

Street Address	37 ne lofting way, MARTIN, FL 34996
Latitude, Longitude	26.6726°, -80.0706°
House Square Footage:	750 sq. ft.

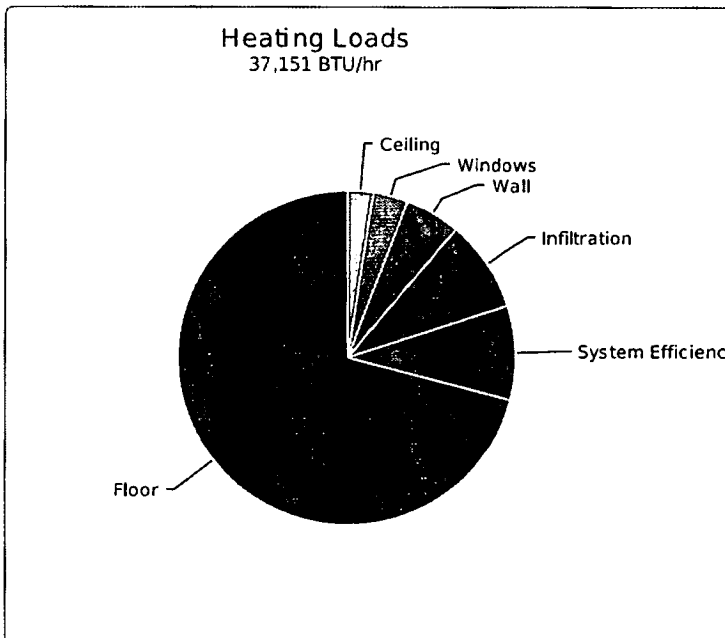
Name:	Portia Seely
Phone:	
Email:	

## Design Conditions

Outdoor	Heating	Cooling
Dry bulb (°F)	47	90
Daily range		M
Relative humidity		50%
Moisture difference		64
Indoor	Heating	Cooling
Indoor temperature (°F)	70	75
Design temperature difference(°F)	23	15

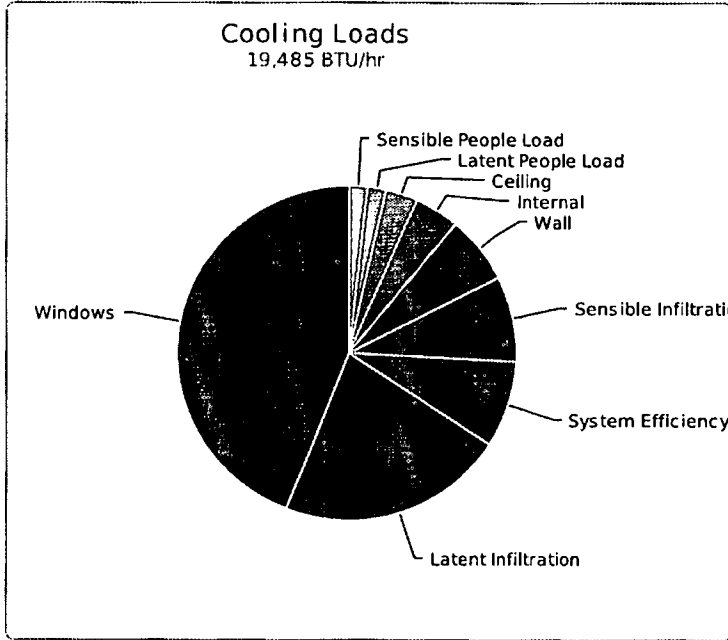
## Heating Loads

Area	Btuh	% of load
Wall	1970	5.3
Floor	26353	70.9
Ceiling	914	2.5
Windows	1242	3.3
Infiltration	3294	8.9
System Efficiency Loss	3377	9.1
<b>Total:</b>	<b>37,151</b>	

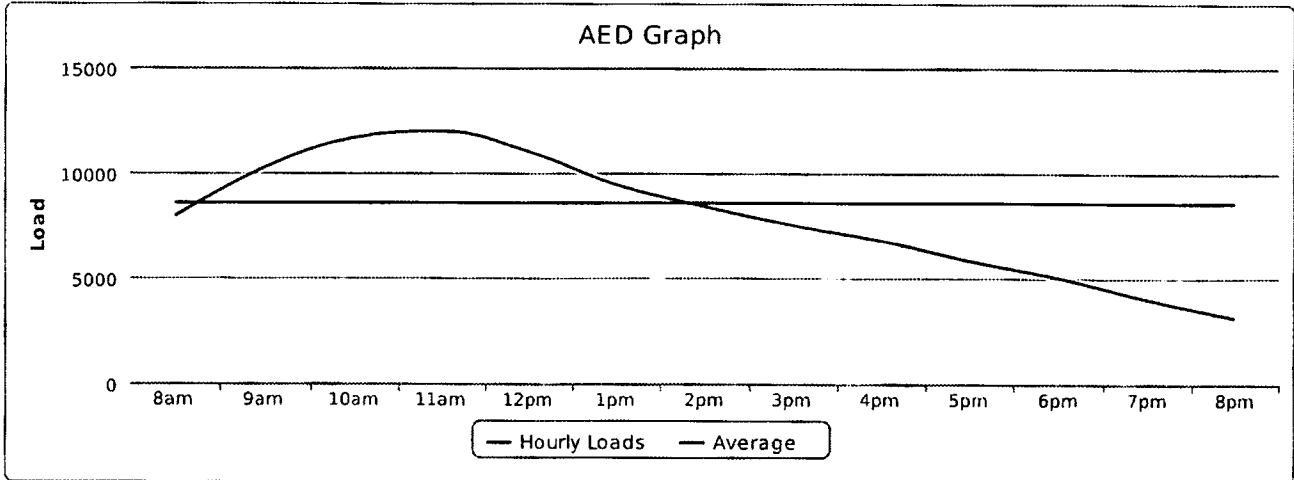


## Cooling Loads

Area	Btuh	% of load
Wall	1285	6.6
Ceiling	596	3.1
Windows	8579	44
Sensible Infiltration	1611	8.3
Latent Infiltration	4250	21.8
System Efficiency Gain	1632	8.4
Internal	842	4.3
Sensible People Load	345	1.8
Latent People Load	345	1.8
<b>Total:</b>	<b>19485</b>	
Sensible load	14890	
Latent load	4595	
SHR	0.76	
Capacity at .75 SHR	1.65 Tons	



**Adequate Exposure Diversity**



**ACCA Manual S**

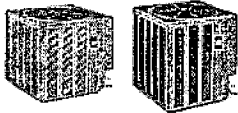
System equipment selection will be made using the following Manual S derived values.

Summer Outdoor	90°F
Summer Wet Bulb	78°F
Summer Indoor	75°F
Summer Design Grains	50%
Winter Outdoor	47°F

Winter Indoor	70°F
Sensible Cooling	14,890 Btuh
Latent Cooling	4,595 Btuh
Required Cooling Airflow	677 CFM
Sensible Heating	37,151 Btuh
Required Heating Airflow	482 CFM

All calculations based on the ACCA Manual J 8th Edition. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree





# CONDENSING UNITS



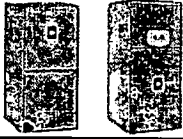
BACK TO MENU

## 13 SEER TO 18 SEER - CUBE & RECTANGLE CONDENSING UNITS

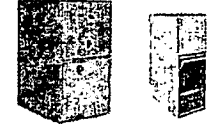
TON	MODEL NUMBER	DIMENSIONS			COOLING CAPACITY	HEATING CAPACITY	VOLTS/PHASE	CIRCUIT		BREAKER		SUC LINE SIZE	LIQ LINE SIZE	SEER
		HEIGHT	WIDTH	DEPTH				MIN	MAX					
1.5	13AJM18A01	24-1/4	23-5/8	23-5/8	1 SP/825 RPM	208/230, 1P	15/15	15/15	3/4	3/8	13.0			
2.0	13AJM24A01	24-1/4	23-5/8	23-5/8	1 SP/825 RPM	208/230, 1P	20/20	25/25	3/4	3/8	13.0			
2.5	13AJM30A01	24-1/4	27-5/8	27-5/8	1 SP/825 RPM	208/230, 1P	25/25	30/30	3/4	3/8	13.0			
3.0	13AJM36A01	27-15/16	31-5/8	31-5/8	1 SP/825 RPM	208/230, 1P	30/30	35/35	7/8	3/8	13.0			
3.5	13AJM42A01	35-3/8	31-5/8	31-5/8	1 SP/825 RPM	208/230, 1P	30/30	40/40	7/8	3/8	14.5			
4.0	13AJM48A01	35-15/16	31-5/8	31-5/8	1 SP/825 RPM	208/230, 1P	35/35	50/50	7/8	3/8	13.0			
5.0	13AJM60A01	35-15/16	31-5/8	31-5/8	1 SP/825 RPM	208/230, 1P	45/45	60/60	7/8	3/8	13.0			
<del>1.5</del>	<del>14AJM18A01</del>	<del>27-3/8</del>	<del>31-5/8</del>	<del>31-5/8</del>	<del>1 SP/825 RPM</del>	<del>208/230, 1P</del>	<del>15/15</del>	<del>20/20</del>	<del>3/4</del>	<del>3/8</del>	<del>14.5</del>			
2.0	14AJM24A01	27-3/8	31-5/8	31-5/8	1 SP/825 RPM	208/230, 1P	25/25	30/30	3/4	3/8	14.5			
2.5	14AJM30A01	27-3/8	31-5/8	31-5/8	ECM - OUTDOOR	208/230, 1P	25/25	25/25	3/4	3/8	14.5			
3.0	14AJM36A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR	208/230, 1P	30/30	35/35	7/8	3/8	14.5			
3.5	14AJM42A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR	208/230, 1P	30/30	40/40	7/8	3/8	14.5			
4.0	14AJM48A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR	208/230, 1P	40/40	50/50	7/8	3/8	14.5			
4.0	14AJM49A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR	208/230, 1P	40/40	50/50	7/8	3/8	14.5			
5.0	14AJM56A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR	208/230, 1P	45/45	60/60	7/8	3/8	14.5			
5.0	14AJM60A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR	208/230, 1P	45/45	60/60	7/8	3/8	14.5			
1.5	RANL018JAZ	19	35-1/2	23-3/4	1 SP/825 RPM	208/230, 1P	15/15	20/20	3/4	3/8	13.0			
2.0	RANL024JAZ	19	40-1/2	27-5/8	1 SP/825 RPM	208/230, 1P	25/25	30/30	3/4	3/8	13.0			
2.5	RANL031JAZ	19	44-3/8	31-1/2	1 SP/825 RPM	208/230, 1P	25/25	30/30	3/4	3/8	13.0			
3.0	RANL037JAZ	25	44-3/8	31-1/2	1 SP/825 RPM	208/230, 1P	30/30	35/35	7/8	3/8	13.0			
3.5	RANL043JAZ	25	44-3/8	31-1/2	1 SP/825 RPM	208/230, 1P	30/30	40/40	7/8	3/8	13.0			
4.0	RANL049JAZ	33	44-3/8	31-1/2	1 SP/825 RPM	208/230, 1P	35/35	50/50	7/8	3/8	13.0			
5.0	RANL060JAZ	33	44-3/8	31-1/2	1 SP/825 RPM	208/230, 1P	45/45	60/60	7/8	3/8	13.0			
1.5	RAPM018JEZ	19	40-1/2	27-5/8	ECM - OUTDOOR	208/230, 1P	15/15	20/20	3/4	3/8	14.5			
2.0	RAPM024JEZ	29	44-3/8	31-1/2	1 SP/825 RPM	208/230, 1P	25/25	30/30	3/4	3/8	14.5			
2.5	RAPM030JEZ	29	44-3/8	31-1/2	1 SP/825 RPM	208/230, 1P	25/25	25/25	3/4	3/8	14.5			
3.0	RAPM036JEZ	33	44-3/8	31-1/2	1 SP/825 RPM	208/230, 1P	25/25	35/35	7/8	3/8	14.5			
3.5	RAPM042JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR	208/230, 1P	30/30	40/40	7/8	3/8	14.5			
4.0	RAPM048JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR	208/230, 1P	40/40	50/50	7/8	3/8	14.5			
5.0	RAPM056JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR	208/230, 1P	45/45	60/60	7/8	3/8	14.5			
5.0	RAPM060JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR	208/230, 1P	45/45	60/60	7/8	3/8	14.5			
2.0	RARL024JEC	23	44-3/8	31-1/2	1 SP/825 RPM	208/230, 1P	20/20	20/20	5/8	5/16	16.0			
3.0	RARL036JEC	33	44-3/8	31-1/2	1 SP/825 RPM	208/230, 1P	30/30	35/35	3/4	5/16	16.0			
4.0	RARL048JEC	33	44-3/8	31-1/2	1 SP/825 RPM	208/230, 1P	35/35	45/45	7/8	3/8	16.0			
5.0	RARL060JEC	33	44-3/8	31-1/2	ECM - OUTDOOR	208/230, 1P	45/45	60/60	7/8	3/8	16.0			
2.0	RASL024JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR	208/230, 1P	20/20	20/20	3/4	3/8	18.0			
3.0	RASL036JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR	208/230, 1P	30/30	40/40	3/4	3/8	18.0			
2.0	RASL024JEC	33	44-3/8	31-1/2	ECM - OUTDOOR	208/230, 1P	20/20	20/20	3/4	3/8	18.0			
3.0	RASL036JEC	33	44-3/8	31-1/2	ECM - OUTDOOR	208/230, 1P	30/30	40/40	3/4	3/8	18.0			
3.5	RASL039JEC	33	44-3/8	31-1/2	ECM - OUTDOOR	208/230, 1P	30/30	40/40	3/4	3/8	18.0			
4.0	RASL048JEC	33	44-3/8	31-1/2	ECM - OUTDOOR	208/230, 1P	45/45	60/60	7/8	3/8	18.0			
5.0	RASL060JEC	33	44-3/8	31-1/2	ECM - OUTDOOR	208/230, 1P	50/50	60/60	7/8	3/8	18.0			



ALL PRICES ARE SUBJECT TO CHANGE WITHOUT NOTICE



# AIR HANDLERS - ELECTRIC HEAT



BACK TO MENU

## AIR HANDLERS WITH PSC, X-13 & ECM MOTORS

TON	MODEL NUMBER	DIMENSIONS			TONAGE RANGE		SUPPLY VOLTAGE	MOTOR	MIN AMPACITY	MAX PROTECTION	HEATER
		HEIGHT	WIDTH	DEPTH	FROM	TO					
1.5	RHSLHM1817JA	42-1/2	17-1/2	21-11/16	1.5	ONLY	208/230, 1P	PSC	24/28	25/30	RXBH1724C05J
2.0	RHSLHM2417JA	42-1/2	17-1/2	21-11/16	2.0	ONLY	208/230, 1P	PSC	24/28	25/30	RXBH1724C05J
2.5	RHSLHM3017JA	42-1/2	17-1/2	21-11/16	2.5	ONLY	208/230, 1P	PSC	25/29	25/30	RXBH1724C05J
3.0	RHSLHM3617JA	42-1/2	17-1/2	21-11/16	3.0	ONLY	208/230, 1P	PSC	36/41	40/45	RXBH1724C07J
3.5	RHSLHM4221JA	50-1/2	21	21-11/16	3.5	ONLY	208/230, 1P	PSC	50/57	50/60	RXBH1724C10J
4.0	RHSLHM4821JA	50-1/2	21	21-11/16	4.0	ONLY	208/230, 1P	PSC	50/57	50/60	RXBH1724C10J
5.0	RHSLHM6024JA	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	PSC	50/57	50/60	RXBH1724C10J
<del>2.0</del>	<del>RBHP21J06SH1</del>	<del>35</del>	<del>17-1/2</del>	<del>22</del>	<del>1.5</del>	<del>2.0</del>	<del>208/230, 1P</del>	<del>X-13</del>	<del>25/29</del>	<del>25/30</del>	<del>INCLUDED</del>
2.0	RBHP17J07SH1	35	17-1/2	22	1.5	2.0	208/230, 1P	X-13	35/39	40/40	INCLUDED
3.0	RBHP21J06SH2	35	21	22	2.5	3.0	208/230, 1P	X-13	27/30	30/30	INCLUDED
3.0	RBHP21J07SH2	35	21	22	2.5	3.0	208/230, 1P	X-13	36/41	40/45	INCLUDED
3.0	RBHP21J11SH2	35	21	22	2.5	3.0	208/230, 1P	X-13	49/56	50/60	INCLUDED
4.0	RBHP24J07SH4	35	24-1/2	22	3.5	4.0	208/230, 1P	X-13	38/42	40/45	INCLUDED
4.0	RBHP24J11SH4	35	24-1/2	22	3.5	4.0	208/230, 1P	X-13	51/58	60/60	INCLUDED
5.0	RBHP25J11SH7	35	24-1/2	22	5.0	ONLY	208/230, 1P	X-13	53/60	60/60	INCLUDED
2.0	RBHM17J11SMQ	45-1/2	17-1/2	22	1.5	2.0	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
4.0	RBHM24J07SMR	45-1/2	24-1/2	22	3.5	4.0	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
4.0	RBHM24J11SMR	45-1/2	24-1/2	22	3.5	4.0	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
5.0	RBHM25J14SMS	45-1/2	24-1/2	22	5.0	ONLY	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
2.0	RHLLHM2417JA	42-1/2	17-1/2	21-11/16	1.5	2.0	208/230, 1P	X-13	24/27	25/30	RXBH1724C05J
3.0	RHLLHM3617JA	42-1/2	17-1/2	21-11/16	2.5	3.0	208/230, 1P	X-13	36/41	40/45	RXBH1724C07J
3.0	RHLLHM3821JA	50-1/2	21	21-11/16	2.5	3.5	208/230, 1P	X-13	48/55	50/60	RXBH1724C10J
4.0	RHLLHM4821JA	50-1/2	21	21-11/16	3.5	4.0	208/230, 1P	X-13	48/55	50/60	RXBH1724C10J
4.0	RHLLHM4824JA	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	X-13	49/56	50/60	RXBH1724C10J
5.0	RHLLHM6024JA	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	X-13	49/56	50/60	RXBH1724C10J
2.0	RHKLHM2417JA	42-1/2	17-1/2	21-11/16	1.5	2.0	208/230, 1P	ECM	25/28	25/30	RXBH1724C05J
3.0	RHKLHM3617JA	42-1/2	17-1/2	21-11/16	2.5	3.0	208/230, 1P	ECM	37/42	40/45	RXBH1724C07J
3.0	RHKLHM3821JA	50-1/2	21	21-11/16	2.5	3.5	208/230, 1P	ECM	38/43	40/45	RXBH1724C07J
4.0	RHKLHM4821JA	50-1/2	21	21-11/16	3.5	4.0	208/230, 1P	ECM	49/55	50/60	RXBH1724C10J
4.0	RHKLHM4824JA	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	ECM	49/56	50/60	RXBH1724C10J
5.0	RHKLHM6024JA	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	ECM	49/56	50/60	RXBH1724C10J
2.0	RHPLHM2421JC	42-1/2	21	21-11/16	1.5	2.0	208/230, 1P	ECM	24/28	25/30	RXBH1724C05J
3.0	RHPLHM3621JC	42-1/2	21	21-11/16	2.5	3.0	208/230, 1P	ECM	37/42	40/45	RXBH1724C07J
4.0	RHPLHM4824JC	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	ECM	50/57	50/60	RXBH1724C10J
5.0	RHPLHM6024JC	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	ECM	50/57	50/60	RXBH1724C10J
2.0	RHPNHM2421JC	42-1/2	21	21-11/16	1.5	2.0	208/230, 1P	ECM	24/28	25/30	RXBH1724C05J
3.0	RHPNHM3624JC	55-1/2	24-1/2	21-11/16	2.5	3.0	208/230, 1P	ECM	39/44	40/45	RXBH1724C07J
4.0	RHPNHM4824JC	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	ECM	50/57	50/60	RXBH1724C10J
5.0	RHPNHM6024JC	55-1/2	24-1/2	21-11/16	5.0	0.0	208/230, 1P	ECM	39/44	40/45	RXBH1724C10J
1.5	RHALFR18PJN00A	36	21-1/2	17	1.5	ONLY	208/230, 1P	PSC	24/27	25/30	RXHJ21B05J
2.0	RHALFR24PJN00A	36	21-1/2	17	2.0	ONLY	208/230, 1P	PSC	24/27	25/30	RXHJ21B05J
2.5	RHALFR30PJN00A	36	24	21	2.5	ONLY	208/230, 1P	PSC	36/41	40/45	RXHJ24B08J
3.0	RHALFR36PJN00A	36	24	21	3.0	ONLY	208/230, 1P	PSC	47/54	50/60	RXHJ24B10J
3.0	RHALFR36PJN00A	36	24	21	3.0	ONLY	208/230, 1P	PSC	47/54	50/60	RXHJ24B10J



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REMEMBER "GemTech" all your Supplies & Tools !!



14AJM SERIES - STRAIGHT COOL - SPLIT SYSTEM PRICE SHEET - AIR HANDLERS



GO TO MATCHUPS WITH FURNACES

BACK TO MENU			CONDENSING UNITS							14.5 SEER CUBE SERIES			AIR HANDLERS							ELECTRIC HEATERS		SYSTEM PRICE
TON	SEER	EER	MODEL NO.	UNIT PRICE	DIMENSIONS			TAX CREDIT QUALIFIER	COOLING CAP.	AHRI NO.	MODEL NO.	UNIT PRICE	DIMENSIONS			HEATER	UNIT PRICE					
					HEIGHT	WIDTH	DEPTH						HEIGHT	WIDTH	DEPTH							
1.5	15.0	12.5	14AJM14A01		27-3/8	31-5/8	31-5/8	YES	19,500	3412281	RHSLHM1817JA		42-1/2	17-1/2	21-11/16	RXBH1724C05J						
	14.5	12.0							19,900	3620620	RHALFR18P3N00A		36	21-1/2	17	RXHJ21B05J						
	16.0	13.0							20,000	3412260	RBHP2106SH1		35	17-1/2	22	INCLUDED						
	16.5	14.0							20,000	3412280	RHLLHM2417JA		42-1/2	17-1/2	21-11/16	RXBH1724C05J						
2.0	14.5	12.5	14AJM24A01		27-3/8	31-5/8	31-5/8	YES	23,800	3412308	RHSLHM2417JA		42-1/2	17-1/2	21-11/16	RXBH1724C05J						
	14.5	12.0							24,200	3620621	RHALFR24P3N00A		36	21-1/2	17	RXHJ21B05J						
	15.0	12.5							23,400	3412296	RBHP1706SH1		35	17-1/2	22	INCLUDED						
	16.5	13.5							24,400	3412307	RHLLHM2417JA		42-1/2	17-1/2	21-11/16	RXBH1724C05J						
2.5	14.5	12.0	14AJM30A01		27-3/8	31-5/8	31-5/8	YES	28,400	3412356	RHSLHM3017JA		42-1/2	17-1/2	21-11/16	RXBH1724C05J						
	14.5	12.0							28,400	3620622	RHALFR30P3N00A		36	24	21	RXHJ24B08J						
	16.0	13.0							28,800	3799147	RHALFR36T3N00A		36	24	21	RXHJ24B10J						
	16.0	13.0							28,600	3412347	RBHP2107SH2		35	21	22	INCLUDED						
3.0	14.5	12.0	14AJM36A01		35-3/8	31-5/8	31-5/8	YES	29,200	3412355	RHSLHM3617JA		42-1/2	17-1/2	21-11/16	RXBH1724C07J						
	14.5	12.0							29,200	3412354	RHKLHM3617JA		42-1/2	17-1/2	21-11/16	RXBH1724C07J						
	15.0	13.0							29,200	3805936	RHKLHM3R21JA		50-1/2	21	21-11/16	RXBH1724C07J						
	16.0	13.0							35,000	3412410	RHSLHM3617JA		42-1/2	17-1/2	21-11/16	RXBH1724C07J						
3.5	14.5	12.0	14AJM42A01		35-3/8	31-5/8	31-5/8	YES	36,000	3620623	RHALFR36P3N00A		36	24	21	RXHJ24B10J						
	14.5	12.0							35,800	3412388	RBHP2111SH2		35	21	22	INCLUDED						
	15.0	13.0							36,200	3412409	RHLLHM3617JA		42-1/2	17-1/2	21-11/16	RXBH1724C07J						
	16.0	13.0							37,600	3805983	RHLLHM3R21JA		50-1/2	21	21-11/16	RXBH1724C10J						
4.0	14.5	12.0	14AJM48A01		35-3/8	31-5/8	31-5/8	YES	36,200	3412408	RHKLHM3617JA		42-1/2	17-1/2	21-11/16	RXBH1724C07J						
	14.0	12.0							37,800	3805982	RHKLHM3R21JA		50-1/2	21	21-11/16	RXBH1724C07J						
	15.0	13.0							36,200	3412408	RHKLHM3617JA		42-1/2	17-1/2	21-11/16	RXBH1724C07J						
	16.0	13.0							39,500	3589073	RHPNHM3624JC		55-1/2	24-1/2	21-11/16	RXBH1724C07J						
4.0	14.5	12.0	14AJM49A01		35-3/8	31-5/8	31-5/8	YES	40,000	3412455	RHSLHM4221JA		50-1/2	21	21-11/16	RXBH1724C10J						
	14.5	12.0							40,000	3412437	RBHP2411SH4		35	24-1/2	22	INCLUDED						
	15.0	13.0							41,000	3412454	RHLLHM4R21JA		50-1/2	21	21-11/16	RXBH1724C10J						
	16.0	13.0							37,600	3805983	RHLLHM3R21JA		50-1/2	21	21-11/16	RXBH1724C10J						
5.0	14.0	11.5	14AJM56A01		35-3/8	31-5/8	31-5/8	YES	41,000	3412453	RHKLHM4R21JA		50-1/2	21	21-11/16	RXBH1724C10J						
	14.0	11.5							39,500	3589073	RHPNHM3624JC		55-1/2	24-1/2	21-11/16	RXBH1724C07J						
	15.0	12.5							46,000	3799478	RHKLHM4R21JA		50-1/2	21	21-11/16	RXBH1724C10J						
	16.0	13.0							44,500	3930029	RHSLHM4821JA		50-1/2	21	21-11/16	RXBH1724C10J						
5.0	14.0	12.0	14AJM60A01		35-3/8	31-5/8	31-5/8	YES	46,000	3799479	RHLLHM4R21JA		50-1/2	21	21-11/16	RXBH1724C10J						
	14.0	12.0							46,000	3799479	RHPNHM4R24JC		55-1/2	24-1/2	21-11/16	RXBH1724C10J						
	15.0	13.0							50,000	3799454	RBHP2511SH7		35	24-1/2	22	INCLUDED						
	16.0	13.0							54,000	3799470	RHKLHM6024JA		55-1/2	24-1/2	21-11/16	RXBH1724C10J						
5.0	14.0	12.0	14AJM60A01		35-3/8	31-5/8	31-5/8	YES	54,000	3799471	RHLLHM6024JA		55-1/2	24-1/2	21-11/16	RXBH1724C10J						
	14.0	12.0							54,500	3620618	RBHP2511SH7		35	24-1/2	22	INCLUDED						
	15.0	13.0							61,500	3412482	RHLLHM6024JA		55-1/2	24-1/2	21-11/16	RXBH1724C10J						
	15.0	13.0							61,500	3412481	RHKLHM6024JA		55-1/2	24-1/2	21-11/16	RXBH1724C10J						



ALL UNITS MUST BE REGISTERED FOR THE 10 YEAR WARRANTY - PLEASE SEE WARRANTY PAGE



ALL PRICES ARE SUBJECT TO CHANGE WITHOUT NOTICE

ACCESSORIES

MODEL	DESCRIPTION	PRICE	MODEL	DESCRIPTION	PRICE	MODEL	DESCRIPTION	PRICE
ELECTRIC HEATERS			FILTER RACKS & FILTERS			OTHER		
RXBH1724C05J	5 kw 1 Phase 240v 17 & 24" Cabinet w/Disconnect		FFR17.5	FILTER RACK 17.5" X 22" CABINET		RXHKB01	Bottom Return Kit 18-24	
RXBH1724C07J	7 kw 1 Phase 240v 17 & 24" Cabinet w/Disconnect		FFR17.5-FILTER	P/A 17-3/8X21.5X3/4 EX		RXHKB02	Bottom Return Kit 30-36	
RXBH1724C10J	10 kw 1 Phase 240v 17 & 24" Cabinet w/Disconnect		FFR21	FILTER RACK 21" X 22" CABINET		GT-SS3	Over Flow Switch	
RXBH1724B05J	5 kw 1 Phase 240v 17 & 24" Cabinet No Breaker		FFR21-FILTER	PA 21.25 X 21.25 X 3/4EX		RXHKC02	Louvered Grill 30-36	
RXBH1724B07J	7 kw 1 Phase 240v 17 & 24" Cabinet No Breaker		FFR24	FILTER RACK 24.5" X 22" CABINET		RXHKC01	Louvered Grill 18-24	
RXBH1724B10J	10 kw 1 Phase 240v 17 & 24" Cabinet No Breaker		FFR24-FILTER	PA 24.5X24.5X3/4 EXACT		RXHKD01	Louvered wall Panel	
ELECTRIC HEATERS FOR RHAL			54-1620-E3	RACK W/DOOR 17.5" X 22" CABINET		GT110D	GT STAT 1H1C N/P HORIZONTAL	
RXHJ21B05J	5 kw 1 Phase 240v 21" Cabinet w/Breaker		54-2020-E3	RACK W/DOOR 21" X 22" CABINET		GTV110D	GT STAT 1H1C N/P VERTICAL	
RXHJ21B08J	8 kw 1 Phase 240v 21" Cabinet w/Breaker		54-2025-E3	RACK W/DOOR 24.5" X 22" CABINET		GTUV	GT BLUE TUBE UV LIGHT	
RXHJ21B10J	10 kw 1 Phase 240v 21" Cabinet w/Breaker							
RXHJ24B05J	5 kw 1 Phase 240v 24" Cabinet w/Breaker							
RXHJ24B08J	8 kw 1 Phase 240v 24" Cabinet w/Breaker							



REMEMBER "GemTech"

Rev F, 08/20/10

**RHEEM  
MANUFACTURING  
COMPANY**

**AIR  
CONDITIONING  
DIVISION**



P.O. BOX 17010  
FORT SMITH, AR 72917-7010

(479) 646-4311

August 20, 2010

**Subject: Rheem Florida High Wind Resistant Frame Mounted Residential Unit Tie-Down Analysis**

The Rheem unit identified below has been analyzed and are compliant with the latest currently adopted Florida Building codes, International Building Codes and the American Society of Civil Engineers Minimum Design Loads for Buildings and Other Structures. The analysis considered an Exposure Category C, a Building Occupancy Category II, and an Importance Factor of 1.0. The analysis determined the unit restraint and unit panel integrity of Rheem units installed according to Rheem recommended approach conform to the high wind anchoring and integrity requirements for buildings up to 60 feet in height exposed to a 3-second wind gust at a maximum wind speed of 150 miles per hour.

The following models were included in this analysis:

13AJA	14AJA	13PJA		
13AJL	14AJL	13PJL	14PJL	15PJL
13AJM	14AJM	14PJM		

Note: Rheem only assumes responsibility for the anchoring integrity of the unit to the mounting surface.

Submitted by:

A handwritten signature in black ink, appearing to read "D. Stephens", with a long horizontal line extending to the right.

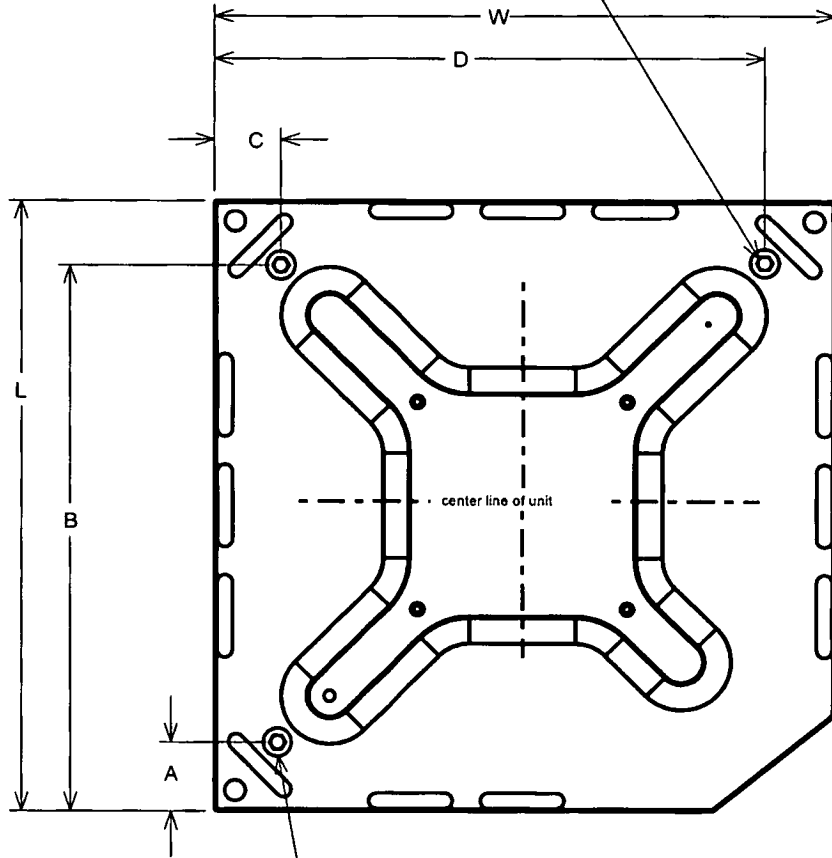
David Stephens, P.E., Ph.D.  
FL Reg No. 61236  
Rheem Manufacturing

Attach: Installation Drawings – ARD4 - Rev X13 (5 Pages)

**CONCRETE PAD SPECIFICATIONS:**

GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")

1/4" TAPCON SCREWS OR  
 EQUIVALENT SNUG TO BASE PAN.  
 LENGTH TO PENETRATE CONCRETE  
 1.5" MINIMUM. SCREWS HAVE TO BE  
 PLACED ON THE BASE PAN AS SHOWN  
 UNLESS OTHERWISE SPECIFIED.



IF ANY ACCUMULATOR IS UTILIZED,  
 ADD 3.5" TO THE "A" DIMENSION  
 AND 2" TO THE "C" DIMENSION  
 FOR THIS HOLE LOCATION ONLY.

VIEW A

SEE SHEET 5 FOR APPLICABILITY TABLE.

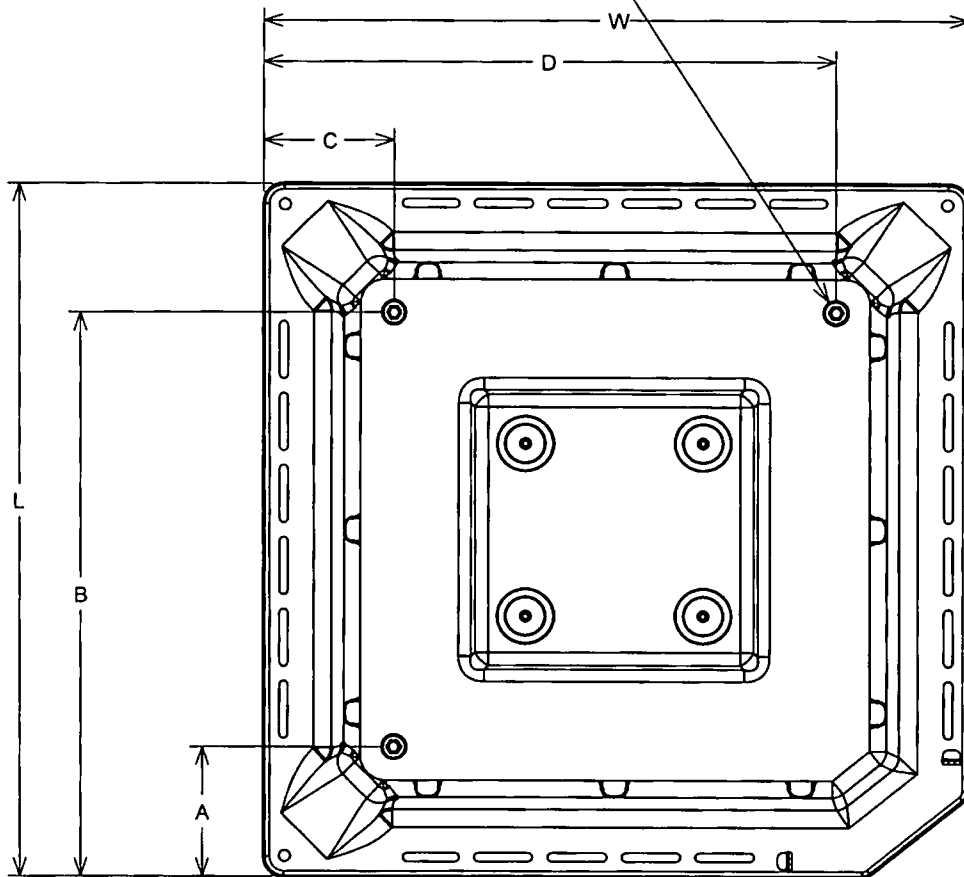
CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	REVISIONS X10	ADDED MODELS, REVISED TO UPDATE SCREW LOCATION AND QUANTITY	JHB	NONE 03-31-09
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°	X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY	X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE, A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. *ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT.				

	MODELED BY TWC DATE 11-12-02	ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED	MATERIAL
	<b>UNIT TIE DOWN INSTRUCTIONS</b>			PART NO. <b>ARD4</b> SHEET 1 of 5      REV <b>X13</b>

**CONCRETE PAD SPECIFICATIONS:**

GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
THAN OR EQUAL TO (UNIT WIDTH +4")

1/4" TAPCON SCREWS OR  
EQUIVALENT SNUG TO BASE PAN.  
LENGTH TO PENETRATE CONCRETE  
1.5" MINIMUM. SCREWS HAVE TO BE  
PLACED ON THE BASE PAN AS SHOWN  
UNLESS OTHERWISE SPECIFIED.



VIEW B

SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	REVISIONS	X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X10	ADDED MODELS AND REVISED TO UPDATE SCREW QUANTITY AND LOCATION.	JHB	NONE 03-31-09
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE, A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. *ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT.					



RESEARCH  
&  
DEVELOPMENT

MODELED BY TWC  
DATE 11-12-02

ORIGINAL  
RELEASE NO.

NOTE: ALL BRAKES ARE 90°  
UNLESS OTHERWISE SPECIFIED

MATERIAL

UNIT TIE DOWN INSTRUCTIONS

PART NO.

SHEET 2 of 5

REV

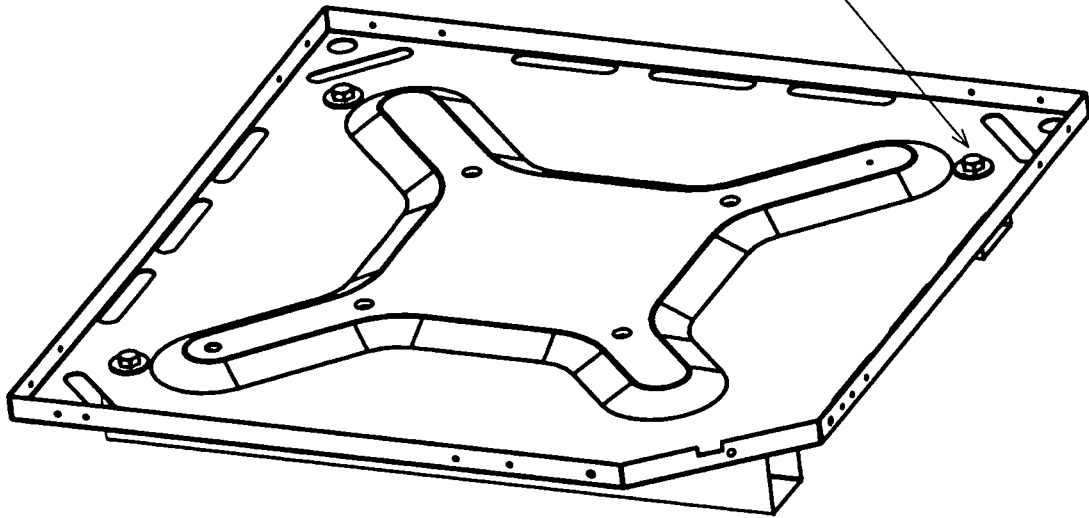
ARD4

X13

CONCRETE PAD SPECIFICATIONS:

GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")


1/4" TAPCON SCREWS OR  
 EQUIVALENT SNUG TO BASE PAN.  
 LENGTH TO PENETRATE CONCRETE  
 1.5" MINIMUM. SCREWS HAVE TO BE  
 PLACED ON THE BASE PAN AS SHOWN  
 UNLESS OTHERWISE SPECIFIED.



VIEW C

SEE SHEET 5 FOR APPLICABILITY TABLE.

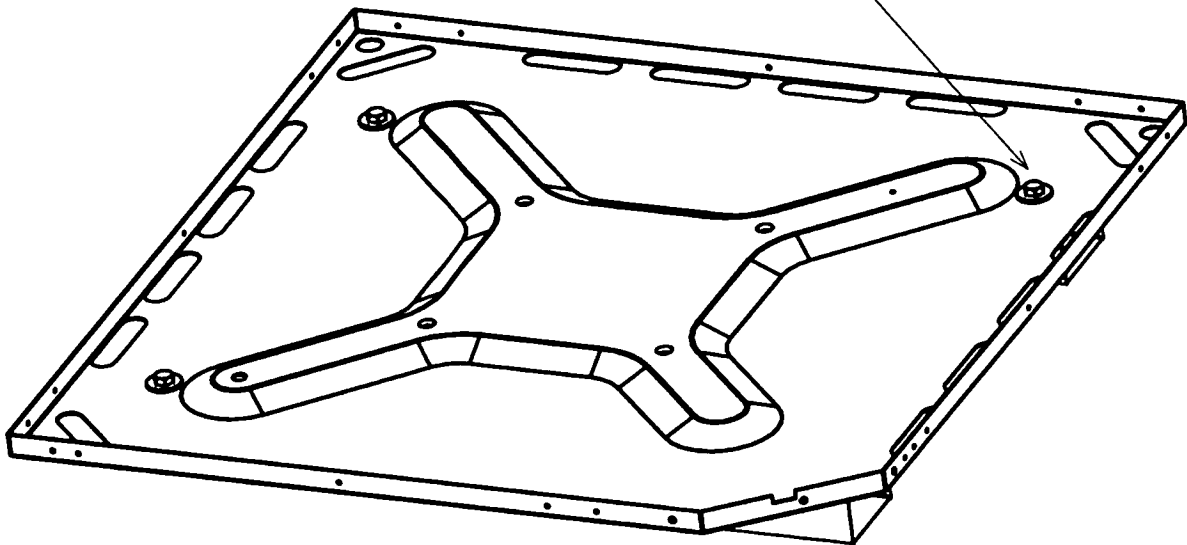
CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	REVISIONS	X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X10	ADDED MODELS AND REVISED TO UPDATE SCREW QUANTITY AND LOCATION.	JHB	NONE 03-31-09
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE. A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. *ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT.					

	MODELED BY TWC DATE 11-12-02	ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED	MATERIAL
	<b>UNIT TIE DOWN INSTRUCTIONS</b>			PART NO. SHEET 3 of 5 <b>ARD4</b>

CONCRETE PAD SPECIFICATIONS:

GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")

1/4" TAPCON SCREWS OR  
 EQUIVALENT SNUG TO BASE PAN.  
 LENGTH TO PENETRATE CONCRETE  
 1.5" MINIMUM. SCREWS HAVE TO BE  
 PLACED ON THE BASE PAN AS SHOWN  
 UNLESS OTHERWISE SPECIFIED.




VIEW D

SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X10	ADDED MODELS AND REVISED TO UPDATE SCREW LOCATIONS AND QUANTITY.	JHB	NONE 03-31-09
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10

VENDOR NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE. A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. \*ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT\*.

 RESEARCH & DEVELOPMENT	MODELED BY TWC DATE 11-12-02	ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED	MATERIAL
	UNIT TIE DOWN INSTRUCTIONS		PART NO.	SHEET 4 of 5 REV X13



**VIEW A - SEE SHEET 1**

MODEL NUMBER	L	W	A	B	C	D		
13AJA-018/024, 13AJL-018/024, 13AJM-018/024	23.63	23.63	2.49	19.77	2.41	19.63		
13AJA-030, 13AJL-030, 14AJA-018, 14AJL-018/024 13AJM-030	27.63	27.63	3.5	22.63	3.5	22.63		

**VIEW B - SEE SHEET 2**

MODEL NUMBER	L	W	A	B	C	D		
13AJA-036/042/048/060, 13AJL-036/042/048/060/065, 13PJA-030/036/042/048/060, 13PJL-036/042/048/060, 14AJA-024/030/036/042/048/060 14AJL-030/036/042/048/060, 14PJM-036/042/048/060 14AJM-18/24/30/36/42/48/56/60, 14PJM-30/36/42/48/60 13AJM-036/42/48/60 15PJL-030/36/42/48/60	31.63	31.63	5.63	24.50	5.63	24.50		

**VIEW C - SEE SHEET 3**


MODEL NUMBER	L	W	A	B	C	D		
13PJA-018, 13PJL-018/024, 14PJL-018/024	23.63	23.63	3.5	18.63	1.94	20.19		

**VIEW D - SEE SHEET 4**

MODEL NUMBER	L	W	A	B	C	D		
13PJA-024, 13PJL-030, 14PJL-030, 14PJM-18/24 15PJL- 018/024	27.63	27.63	5.0	21.13	2.75	23.38		

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X11	ADDED 13AJM	JHB	NONE 9/22/09
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X13	REVISED NOTE AND SPECIFICATIONS SHTS 1-4	JHB	NONE 8-18-10

VENDOR NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE, A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. \*ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT\*.

	MODELED BY TWC DATE 11-12-02 ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED	MATERIAL
	<b>UNIT TIE DOWN INSTRUCTIONS</b>		PART NO. <b>ARD4</b> SHEET 5 of 5 REV <b>X13</b>



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

Air Conditioning Change out Affidavit

Residential [X] Commercial [ ]
Package Unit [ ] Yes [X] No (Use Condenser side of form below for equipment listing)
Duct Replacement [ ] Yes [X] No - Refrigerant line replacement [ ] Yes [X] No
Flushing Existing Refrigerant lines [X] Yes [ ] No - Adding Refrigerant Drier [X] Yes [ ] No
Rooftop A/C Stand Installation [ ] Yes [X] No - Curb Installation [ ] Yes [X] No
Smoke Detector in Supply (over 2000 CFM) [ ] Yes [X] No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: Rheem Model# RBHP17J06SAK Condenser: Mfg Rheem Model# 14ATM18A01
Volts 208/230 CFM's 600 Heat Strip 5 Kw Volts 208/230 SEER/EER 11 BTU's 19,200
Min. Circuit Amps 25 Wire gauge 8 Min. Circuit Amps 15 Wire gauge 12
Max. Breaker size 30 Min. Breaker size 25 Max. Breaker size 20 Min. Breaker size 20
Ref. line size: Liquid 3/8 Suction 3/4 Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type R410A Refrigerant type R410A
Location: Existing [X] New [ ] Location: Existing [X] New [ ]
Attic/Garage/Closet (specify) closet Left/Right/Rear/Front/Roof Right
Access: upstairs pool table room Condensate Location courtyard

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: Rheem Model# RBHAM706 Condenser: Mfg Rheem Model# RAMB-D18JAZ
Volts 240 CFM's [ ] Heat Strip 6 Kw Volts 240 SEER/EER [ ] BTU's [ ]
Min. Circuit Amps 20 Wire gauge 8 Min. Circuit Amps 15 Wire gauge 12
Max. Breaker size 30 Min. Breaker size 30 Max. Breaker size 20 Min. Breaker size 20
Ref. line size: Liquid 3/8 Suction 5/8 Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type R22 Refrigerant type R22
Location: Ext. [X] New [ ] Location: Ext. [X] New [ ]
Attic/Garage/Closet (specify) closet Left/Right/Rear/Front/Roof Right
Access: upstairs pool table room Condensate Location courtyard

Certification:

I herby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

[Handwritten signature]



# DesignStar Load Calculation

Results are intended for use with Rheem heating and cooling systems only

The Rheem DesignStar

## Customer Information

### Location:

Street Address	37 ne lofting way, MARTIN, FL 34996
Latitude, Longitude	26.6726°, -80.0706°
House Square Footage:	780 sq. ft.

Name:	Portia Seely
Phone:	
Email:	

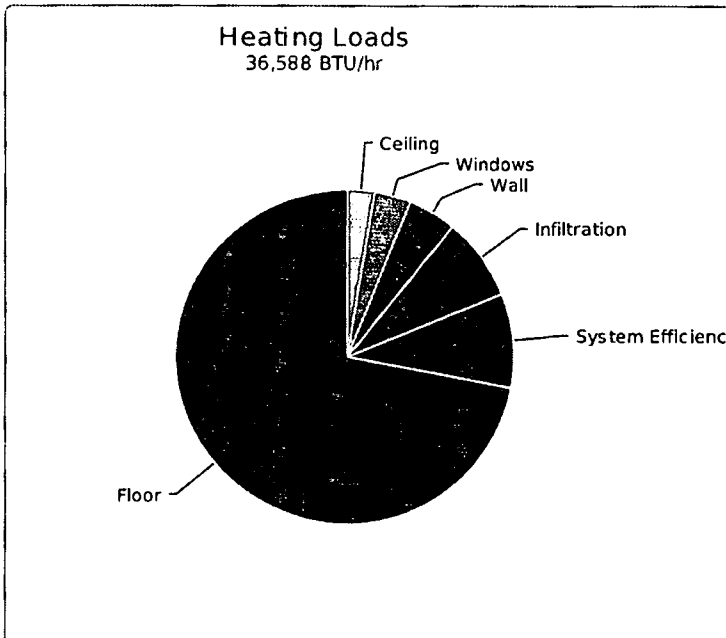
## Design Conditions

Outdoor	Heating	Cooling
Dry bulb (°F)	47	90
Daily range		M
Relative humidity		50%
Moisture difference		64

Indoor	Heating	Cooling
Indoor temperature (°F)	70	75
Design temperature difference(°F)	23	15

## Heating Loads

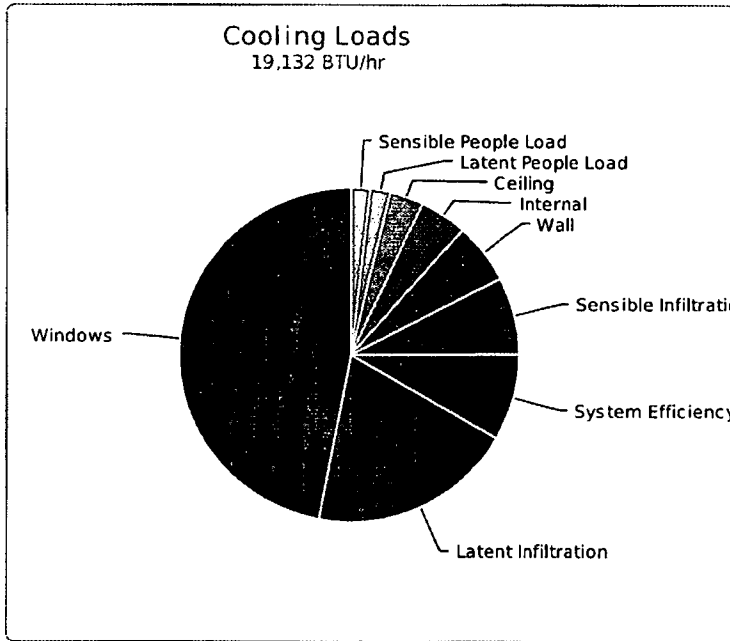
Area	Btuh	% of load
Wall	1722	4.7
Floor	26353	72
Ceiling	951	2.6
Windows	1300	3.6
Infiltration	2936	8
System Efficiency Loss	3326	9.1
<b>Total:</b>	<b>36588</b>	



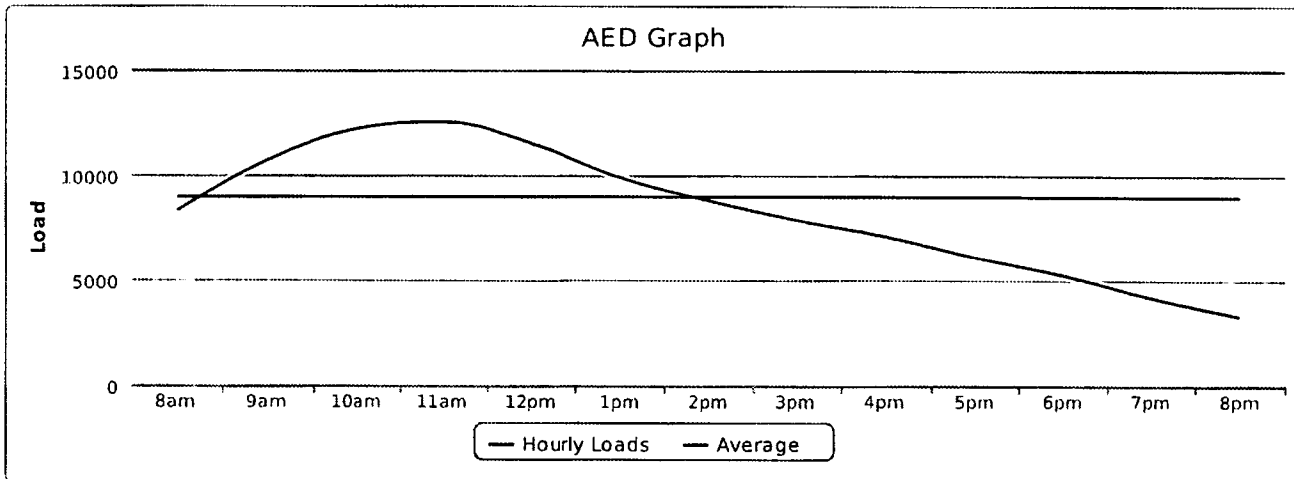
## Cooling Loads

Area	Btuh	% of load
Wall	1123	5.9
Ceiling	620	3.2
Windows	8977	46.9
Sensible Infiltration	1436	7.5
Latent Infiltration	3788	19.8
System Efficiency Gain	1594	8.3
Internal	875	4.6
Sensible People Load	359	1.9
Latent People Load	359	1.9
<b>Total:</b>	<b>19132</b>	

Sensible load	14984
Latent load	4147
SHR	0.78
Capacity at .75 SHR	1.66 Tons



### Adequate Exposure Diversity



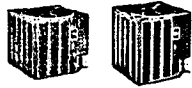
### ACCA Manual S

System equipment selection will be made using the following Manual S derived values.

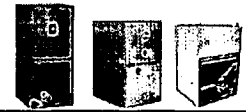
Summer Outdoor	90°F
Summer Wet Bulb	78°F
Summer Indoor	75°F
Summer Design Grains	50%
Winter Outdoor	47°F

Winter Indoor	70°F
Sensible Cooling	14,984 Btuh
Latent Cooling	4,147 Btuh
Required Cooling Airflow	681 CFM
Sensible Heating	36,588 Btuh
Required Heating Airflow	475 CFM

All calculations based on the ACCA Manual J 8th Edition. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree



14AJM SERIES - STRAIGHT COOL - SPLIT SYSTEM PRICE SHEET - AIR HANDLERS



GO TO MATCHUPS WITH FURNACES

BACK TO MENU			CONDENSING UNITS 208/230V - 1 PHASE, 60HZ					14.5 SEER CUBE SERIES					AIR HANDLERS 208/230V - 1 PHASE, 60HZ					ELECTRIC HEATERS 208/230V - 1 PHASE, 60Hz		SYSTEM PRICE
TON	SEER	EER	MODEL NO.	UNIT PRICE	DIMENSIONS HEIGHT WIDTH DEPTH			TAX CREDIT QUALIFIER	COOLING CAP.	AHRI NO.	MODEL NO.	UNIT PRICE	DIMENSIONS HEIGHT WIDTH DEPTH			HEATER	UNIT PRICE			
1.5	15.0	12.5	14AJM24A01		27-3/8	31-5/8	31-5/8		19,500	3412781	RHSLHM1817JA		42-1/2	17-1/2	21-11/16	RXBH1724C05J				
	14.5	12.0							19,900	3620620	RHALFR18P1N00A		36	21-1/2	17	RXHJ21B05J				
	16.5	14.0							19,200	3412760	RBHP17106SH1	YES	35	17-1/2	22	INCLUDED				
	16.5	14.0							20,000	3412780	RHLLHM2417JA	YES	42-1/2	17-1/2	21-11/16	RXBH1724C05J				
	16.5	14.0							20,000	3412779	RHKLHM2417JA	YES	42-1/2	17-1/2	21-11/16	RXBH1724C05J				
2.0	14.5	12.5	14AJM24A01		27-3/8	31-5/8	31-5/8		23,800	3412308	RHSLHM2417JA		42-1/2	17-1/2	21-11/16	RXBH1724C05J				
	14.5	12.0							24,700	3620620	RHALFR24P1N00A		36	21-1/2	17	RXHJ21B05J				
	15.0	12.5							23,400	3412796	RBHP17106SH1	YES	35	17-1/2	22	INCLUDED				
	16.5	13.5							24,400	3412307	RHLLHM2417JA	YES	42-1/2	17-1/2	21-11/16	RXBH1724C05J				
	16.0	13.0							24,400	3412306	RHKLHM2417JA	YES	42-1/2	17-1/2	21-11/16	RXBH1724C05J				
2.5	14.5	12.0	14AJM30A01		27-3/8	31-5/8	31-5/8		28,400	3412356	RHSLHM3017JA		42-1/2	17-1/2	21-11/16	RXBH1724C05J				
	14.5	12.0							28,400	3620622	RHALFR30P1N00A	YES	36	24	21	RXMJ24B01J				
	16.0	13.0							28,800	3799142	RHBLFR36T1N00A	YES	36	24	21	RXMJ24B10J				
	16.0	13.0							28,600	3412342	RBHP21107SH2	YES	35	21	22	INCLUDED				
	15.5	13.0							29,200	3412355	RHLLHM3617JA	YES	42-1/2	17-1/2	21-11/16	RXBH1724C07J				
3.0	14.5	12.0	14AJM36A01		35-3/8	31-5/8	31-5/8		35,000	3412410	RHSLHM3617JA		42-1/2	17-1/2	21-11/16	RXBH1724C07J				
	14.5	12.0							36,000	3620623	RHALFR36P1N00A	YES	36	24	21	RXHJ24B10J				
	15.0	13.0							35,800	3412388	RBHP21111SH2	YES	35	21	22	INCLUDED				
	16.0	13.0							36,700	3412409	RHLLHM3617JA	YES	42-1/2	17-1/2	21-11/16	RXBH1724C07J				
	15.0	12.5							37,600	3805981	RHLLHM3821JA	YES	50-1/2	21	21-11/16	RXBH1724C10J				
3.5	14.5	12.0	14AJM42A01		35-3/8	31-5/8	31-5/8		36,700	3412408	RHKLHM3617JA		42-1/2	17-1/2	21-11/16	RXBH1724C07J				
	14.5	12.0							37,800	3805982	RHKLHM3821JA	YES	50-1/2	21	21-11/16	RXBH1724C10J				
	15.5	13.0							36,700	3412408	RHKLHM3617JA	YES	42-1/2	17-1/2	21-11/16	RXBH1724C07J				
	16.0	13.0							37,800	3805982	RHKLHM3821JA	YES	50-1/2	21	21-11/16	RXBH1724C10J				
	16.0	13.0							39,500	3589073	RHPNHM3624JC	YES	55-1/2	24-1/2	21-11/16	RXBH1724C07J				
4.0	14.5	12.0	14AJM48A01		35-3/8	31-5/8	31-5/8		40,000	3412455	RHSLHM4221JA		50-1/2	21	21-11/16	RXBH1724C10J				
	14.5	12.0							40,000	3412437	RBHP24311SH4	YES	35	24-1/2	22	INCLUDED				
	15.5	13.0							41,000	3412454	RHLLHM4821JA	YES	50-1/2	21	21-11/16	RXBH1724C10J				
	16.0	13.0							37,600	3805983	RHLLHM3821JA	YES	50-1/2	21	21-11/16	RXBH1724C10J				
	15.5	13.0							41,000	3412453	RHKLHM4821JA	YES	50-1/2	21	21-11/16	RXBH1724C10J				
4.0	14.5	12.0	14AJM49A01		35-3/8	31-5/8	31-5/8		41,000	3412453	RHPNHM4824JC		55-1/2	24-1/2	21-11/16	RXBH1724C10J				
	14.0	12.0							48,500	3412475	RHSLHM4821JA		50-1/2	21	21-11/16	RXBH1724C10J				
	14.0	12.0							47,000	3412461	RBHP24311SH4	YES	35	24-1/2	22	INCLUDED				
	15.0	13.0							49,000	3412474	RHLLHM4821JA	YES	50-1/2	21	21-11/16	RXBH1724C10J				
	16.0	13.0							49,000	3412473	RHKLHM4821JA	YES	50-1/2	21	21-11/16	RXBH1724C10J				
5.0	14.0	11.5	14AJM56A01		35-3/8	31-5/8	31-5/8		52,500	3589099	RHPNHM4824JC		55-1/2	24-1/2	21-11/16	RXBH1724C10J				
	14.0	11.5							46,000	3799478	RHKLHM4821JA	YES	50-1/2	21	21-11/16	RXBH1724C10J				
	15.0	12.5							44,500	3930029	RBHP24311SH4	YES	35	24-1/2	22	INCLUDED				
	16.0	13.0							46,000	3799479	RHLLHM4821JA	YES	50-1/2	21	21-11/16	RXBH1724C10J				
	16.0	13.0							52,500	3799432	RHPNHM4824JC	YES	55-1/2	24-1/2	21-11/16	RXBH1724C10J				
5.0	14.0	11.5	14AJM60A01		35-3/8	31-5/8	31-5/8		50,000	3799454	RBHP25111SH7		35	24-1/2	22	INCLUDED				
	14.0	11.5							54,000	3799470	RHKLHM6024JA	YES	55-1/2	24-1/2	21-11/16	RXBH1724C10J				
	15.0	13.0							54,000	3799471	RHLLHM6024JA	YES	55-1/2	24-1/2	21-11/16	RXBH1724C10J				
	15.0	13.0							54,500	3620618	RBHP25111SH7	YES	35	24-1/2	22	INCLUDED				
	15.0	13.0							61,500	3412482	RHLLHM6024JA	YES	55-1/2	24-1/2	21-11/16	RXBH1724C10J				
								61,500	3412481	RHKLHM6024JA	YES	55-1/2	24-1/2	21-11/16	RXBH1724C10J					



ALL UNITS MUST BE REGISTERED FOR THE 10 YEAR WARRANTY - PLEASE SEE WARRANTY PAGE



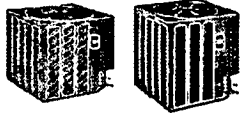
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ACCESSORIES

MODEL	DESCRIPTION	PRICE	MODEL	DESCRIPTION	PRICE	MODEL	DESCRIPTION	PRICE
ELECTRIC HEATERS			FILTER RACKS & FILTERS			OTHER		
RXBH1724C05J	5 kw 1 Phase 240v 17 & 24" Cabinet w/Disconnect		FFR17.5	FILTER RACK 17.5" X 22" CABINET		RXHKB01	Bottom Return Kit 18-24	
RXBH1724C07J	7 kw 1 Phase 240v 17 & 24" Cabinet w/Disconnect		FFR17.5-FILTER	P/A 17-3/8X21.5X3/4 EX		RXHKB02	Bottom Return Kit 30-36	
RXBH1724C10J	10 kw 1 Phase 240v 17 & 24" Cabinet w/Disconnect		FFR21	FILTER RACK 21" X 22" CABINET		GT-SS3	Over Flow Switch	
RXBH1724B05J	5 kw 1 Phase 240v 17 & 24" Cabinet No Breaker		FFR21-FILTER	PA 21.25 X 21.25 X 3/4 EX		RXHKC02	Louvered Grill 30-36	
RXBH1724B07J	7 kw 1 Phase 240v 17 & 24" Cabinet No Breaker		FFR24	FILTER RACK 24.5" X 22" CABINET		RXHKC01	Louvered Grill 18-24	
RXBH1724B10J	10 kw 1 Phase 240v 17 & 24" Cabinet No Breaker		FFR24-FILTER	PA 24.5X24.5X3/4 EXACT		RXHKD01	Louvered wall Panel	
ELECTRIC HEATERS FOR RHAL			54-1620-E3	RACK W/DOOR 17.5" X 22" CABINET		GT1100	GT STAT 1H1C N/P HORIZONTAL	
RXHJ21B05J	5 kw 1 Phase 240v 21" Cabinet w/Breaker		54-2020-E3	RACK W/DOOR 21" X 22" CABINET		GTV1100	GT STAT 1H1C N/P VERTICAL	
RXHJ21B08J	8 kw 1 Phase 240v 21" Cabinet w/Breaker		54-2025-E3	RACK W/DOOR 24.5" X 22" CABINET		GTUV	GT BLUE TUBE UV LIGHT	
RXHJ21B10J	10 kw 1 Phase 240v 21" Cabinet w/Breaker							
RXHJ24B05J	5 kw 1 Phase 240v 24" Cabinet w/Breaker							
RXHJ24B08J	8 kw 1 Phase 240v 24" Cabinet w/Breaker							



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## CONDENSING UNITS



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### 13 SEER TO 18 SEER - CUBE & RECTANGLE CONDENSING UNITS

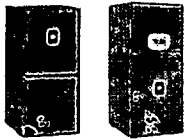
TON	MODEL NUMBER	DIMENSIONS			COOLING CAPACITY	HEATING CAPACITY	VOLTS/PHAS E	CIRCUIT BREAKER		SUC LINE SIZE	LIQ LINE SIZE	SEER
		HEIGHT	WIDTH	DEPTH				MIN	MAX			
1.5	13AJM18A01	24-1/4	23-5/8	23-5/8	1 SP/825 RPM		208/230, 1P	15/15	15/15	3/4	3/8	13.0
2.0	13AJM24A01	24-1/4	23-5/8	23-5/8	1 SP/825 RPM		208/230, 1P	20/20	25/25	3/4	3/8	13.0
2.5	13AJM30A01	24-1/4	27-5/8	27-5/8	1 SP/825 RPM		208/230, 1P	25/25	30/30	3/4	3/8	13.0
3.0	13AJM36A01	27-15/16	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	30/30	35/35	7/8	3/8	13.0
3.5	13AJM42A01	35-3/8	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	30/30	40/40	7/8	3/8	14.5
4.0	13AJM48A01	35-15/16	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	35/35	50/50	7/8	3/8	13.0
5.0	13AJM60A01	35-15/16	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	45/45	60/60	7/8	3/8	13.0
<del>1.5</del>	<del>14AJM18A01</del>	<del>27-3/8</del>	<del>31-5/8</del>	<del>31-5/8</del>	<del>1 SP/825 RPM</del>		<del>208/230, 1P</del>	<del>15/15</del>	<del>20/20</del>	<del>3/4</del>	<del>3/8</del>	<del>14.5</del>
2.0	14AJM24A01	27-3/8	31-5/8	31-5/8	1 SP/825 RPM		208/230, 1P	25/25	30/30	3/4	3/8	14.5
2.5	14AJM30A01	27-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	25/25	30/30	3/4	3/8	14.5
3.0	14AJM36A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	30/30	35/35	7/8	3/8	14.5
3.5	14AJM42A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	30/30	40/40	7/8	3/8	14.5
4.0	14AJM48A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	40/40	50/50	7/8	3/8	14.5
4.0	14AJM49A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	40/40	50/50	7/8	3/8	14.5
5.0	14AJM56A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	45/45	60/60	7/8	3/8	14.5
5.0	14AJM60A01	35-3/8	31-5/8	31-5/8	ECM - OUTDOOR		208/230, 1P	45/45	60/60	7/8	3/8	14.5
1.5	RANL018JAZ	19	35-1/2	23-3/4	1 SP/825 RPM		208/230, 1P	15/15	20/20	3/4	3/8	13.0
2.0	RANL024JAZ	19	40-1/2	27-5/8	1 SP/825 RPM		208/230, 1P	25/25	30/30	3/4	3/8	13.0
2.5	RANL031JAZ	19	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	25/25	30/30	3/4	3/8	13.0
3.0	RANL037JAZ	25	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	30/30	35/35	7/8	3/8	13.0
3.5	RANL043JAZ	25	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	30/30	40/40	7/8	3/8	13.0
4.0	RANL049JAZ	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	35/35	50/50	7/8	3/8	13.0
5.0	RANL060JAZ	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	45/45	60/60	7/8	3/8	13.0
1.5	RAPM018JEZ	19	40-1/2	27-5/8	ECM - OUTDOOR		208/230, 1P	15/15	20/20	3/4	3/8	14.5
2.0	RAPM024JEZ	29	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	25/25	30/30	3/4	3/8	14.5
2.5	RAPM030JEZ	29	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	25/25	25/25	3/4	3/8	14.5
3.0	RAPM036JEZ	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	25/25	35/35	7/8	3/8	14.5
3.5	RAPM042JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	30/30	40/40	7/8	3/8	14.5
4.0	RAPM048JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	40/40	50/50	7/8	3/8	14.5
5.0	RAPM056JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	45/45	60/60	7/8	3/8	14.5
5.0	RAPM060JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	45/45	60/60	7/8	3/8	14.5
2.0	RARL024JEC	23	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	20/20	20/20	5/8	5/16	16.0
3.0	RARL036JEC	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	30/30	35/35	3/4	5/16	16.0
4.0	RARL048JEC	33	44-3/8	31-1/2	1 SP/825 RPM		208/230, 1P	35/35	45/45	7/8	3/8	16.0
5.0	RARL060JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	45/45	60/60	7/8	3/8	16.0
2.0	RASL024JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	20/20	20/20	3/4	3/8	18.0
3.0	RASL036JEZ	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	30/30	40/40	3/4	3/8	18.0
2.0	RASL024JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	20/20	20/20	3/4	3/8	18.0
3.0	RASL036JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	30/30	40/40	3/4	3/8	18.0
3.5	RASL039JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	30/30	40/40	3/4	3/8	18.0
4.0	RASL048JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	45/45	60/60	7/8	3/8	18.0
5.0	RASL060JEC	33	44-3/8	31-1/2	ECM - OUTDOOR		208/230, 1P	50/50	60/60	7/8	3/8	18.0



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# AIR HANDLERS - ELECTRIC HEAT



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## AIR HANDLERS WITH PSC, X-13 & ECM MOTORS

TON	MODEL NUMBER	DIMENSIONS			TONAGE RANGE		SUPPLY VOLTAGE	MOTOR	MIN AMPACITY	MAX PROTECTION	HEATER
		HEIGHT	WIDTH	DEPTH	FROM	TO					
1.5	RHSLHM1817JA	42-1/2	17-1/2	21-11/16	1.5	ONLY	208/230, 1P	PSC	24/28	25/30	RXBH1724C05J
2.0	RHSLHM2417JA	42-1/2	17-1/2	21-11/16	2.0	ONLY	208/230, 1P	PSC	24/28	25/30	RXBH1724C05J
2.5	RHSLHM3017JA	42-1/2	17-1/2	21-11/16	2.5	ONLY	208/230, 1P	PSC	25/29	25/30	RXBH1724C05J
3.0	RHSLHM3617JA	42-1/2	17-1/2	21-11/16	3.0	ONLY	208/230, 1P	PSC	36/41	40/45	RXBH1724C07J
3.5	RHSLHM4221JA	50-1/2	21	21-11/16	3.5	ONLY	208/230, 1P	PSC	50/57	50/60	RXBH1724C10J
4.0	RHSLHM4821JA	50-1/2	21	21-11/16	4.0	ONLY	208/230, 1P	PSC	50/57	50/60	RXBH1724C10J
5.0	RHSLHM6024JA	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	PSC	50/57	50/60	RXBH1724C10J
<del>2.0</del>	<del>RBHP17J06SH1</del>	<del>35</del>	<del>17-1/2</del>	<del>22</del>	<del>1.5</del>	<del>2.0</del>	<del>208/230, 1P</del>	<del>X-13</del>	<del>25/29</del>	<del>25/30</del>	<del>INCLUDED</del>
2.0	RBHP17J07SH1	35	17-1/2	22	1.5	2.0	208/230, 1P	X-13	35/39	40/40	INCLUDED
3.0	RBHP21J06SH2	35	21	22	2.5	3.0	208/230, 1P	X-13	27/30	30/30	INCLUDED
3.0	RBHP21J07SH2	35	21	22	2.5	3.0	208/230, 1P	X-13	36/41	40/45	INCLUDED
3.0	RBHP21J11SH2	35	21	22	2.5	3.0	208/230, 1P	X-13	49/56	50/60	INCLUDED
4.0	RBHP24J07SH4	35	24-1/2	22	3.5	4.0	208/230, 1P	X-13	38/42	40/45	INCLUDED
4.0	RBHP24J11SH4	35	24-1/2	22	3.5	4.0	208/230, 1P	X-13	51/58	60/60	INCLUDED
5.0	RBHP25J11SH7	35	24-1/2	22	5.0	ONLY	208/230, 1P	X-13	53/60	60/60	INCLUDED
2.0	RBHM17J11SMQ	45-1/2	17-1/2	22	1.5	2.0	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
4.0	RBHM24J07SMR	45-1/2	24-1/2	22	3.5	4.0	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
4.0	RBHM24J11SMR	45-1/2	24-1/2	22	3.5	4.0	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
5.0	RBHM25J14SMS	45-1/2	24-1/2	22	5.0	ONLY	208/230, 1P	ECM	OBSOLETE	AIR HANDLER	INCLUDED
2.0	RHLLHM2417JA	42-1/2	17-1/2	21-11/16	1.5	2.0	208/230, 1P	X-13	24/27	25/30	RXBH1724C05J
3.0	RHLLHM3617JA	42-1/2	17-1/2	21-11/16	2.5	3.0	208/230, 1P	X-13	36/41	40/45	RXBH1724C07J
3.0	RHLLHM3821JA	50-1/2	21	21-11/16	2.5	3.5	208/230, 1P	X-13	48/55	50/60	RXBH1724C10J
4.0	RHLLHM4821JA	50-1/2	21	21-11/16	3.5	4.0	208/230, 1P	X-13	48/55	50/60	RXBH1724C10J
4.0	RHLLHM4824JA	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	X-13	49/56	50/60	RXBH1724C10J
5.0	RHLLHM6024JA	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	X-13	49/56	50/60	RXBH1724C10J
2.0	RHKLHM2417JA	42-1/2	17-1/2	21-11/16	1.5	2.0	208/230, 1P	ECM	25/28	25/30	RXBH1724C05J
3.0	RHKLHM3617JA	42-1/2	17-1/2	21-11/16	2.5	3.0	208/230, 1P	ECM	37/42	40/45	RXBH1724C07J
3.0	RHKLHM3821JA	50-1/2	21	21-11/16	2.5	3.5	208/230, 1P	ECM	38/43	40/45	RXBH1724C07J
4.0	RHKLHM4821JA	50-1/2	21	21-11/16	3.5	4.0	208/230, 1P	ECM	49/55	50/60	RXBH1724C10J
4.0	RHKLHM4824JA	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	ECM	49/56	50/60	RXBH1724C10J
5.0	RHKLHM6024JA	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	ECM	49/56	50/60	RXBH1724C10J
2.0	RHPLHM2421JC	42-1/2	21	21-11/16	1.5	2.0	208/230, 1P	ECM	24/28	25/30	RXBH1724C05J
3.0	RHPLHM3621JC	42-1/2	21	21-11/16	2.5	3.0	208/230, 1P	ECM	37/42	40/45	RXBH1724C07J
4.0	RHPLHM4824JC	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	ECM	50/57	50/60	RXBH1724C10J
5.0	RHPLHM6024JC	55-1/2	24-1/2	21-11/16	5.0	ONLY	208/230, 1P	ECM	50/57	50/60	RXBH1724C10J
2.0	RHPNHM2421JC	42-1/2	21	21-11/16	1.5	2.0	208/230, 1P	ECM	24/28	25/30	RXBH1724C05J
3.0	RHPNHM3624JC	55-1/2	24-1/2	21-11/16	2.5	3.0	208/230, 1P	ECM	39/44	40/45	RXBH1724C07J
4.0	RHPNHM4824JC	55-1/2	24-1/2	21-11/16	3.5	4.0	208/230, 1P	ECM	50/57	50/60	RXBH1724C10J
5.0	RHPNHM6024JC	55-1/2	24-1/2	21-11/16	5.0	0.0	208/230, 1P	ECM	39/44	40/45	RXBH1724C10J
1.5	RHALFR18PJN00A	36	21-1/2	17	1.5	ONLY	208/230, 1P	PSC	24/27	25/30	RXHJ21B05J
2.0	RHALFR24PJN00A	36	21-1/2	17	2.0	ONLY	208/230, 1P	PSC	24/27	25/30	RXHJ21B05J
2.5	RHALFR30PJN00A	36	24	21	2.5	ONLY	208/230, 1P	PSC	36/41	40/45	RXHJ24B08J
3.0	RHALFR36PJN00A	36	24	21	3.0	ONLY	208/230, 1P	PSC	47/54	50/60	RXHJ24B10J
3.0	RHALFR36PJN00A	36	24	21	3.0	ONLY	208/230, 1P	PSC	47/54	50/60	RXHJ24B10J



ALL PRICES ARE SUBJECT TO CHANGE WITHOUT NOTICE



REMEMBER "GemTech" all your Supplies & Tools !!



Rev F, 08/20/10

**RHEEM  
MANUFACTURING  
COMPANY**

**AIR  
CONDITIONING  
DIVISION**



P.O. BOX 17010  
FORT SMITH, AR 72917-7010

(479) 646-4311

August 20, 2010

**Subject: Rheem Florida High Wind Resistant Frame Mounted Residential Unit Tie-Down Analysis**

The Rheem unit identified below has been analyzed and are compliant with the latest currently adopted Florida Building codes, International Building Codes and the American Society of Civil Engineers Minimum Design Loads for Buildings and Other Structures. The analysis considered an Exposure Category C, a Building Occupancy Category II, and an Importance Factor of 1.0. The analysis determined the unit restraint and unit panel integrity of Rheem units installed according to Rheem recommended approach conform to the high wind anchoring and integrity requirements for buildings up to 60 feet in height exposed to a 3-second wind gust at a maximum wind speed of 150 miles per hour.

The following models were included in this analysis:

13AJA	14AJA	13PJA		
13AJL	14AJL	13PJL	14PJL	15PJL
13AJM	14AJM	14PJM		

Note: Rheem only assumes responsibility for the anchoring integrity of the unit to the mounting surface.

Submitted by:

A handwritten signature in black ink, appearing to read "D. Stephens", with a long horizontal line extending to the right.

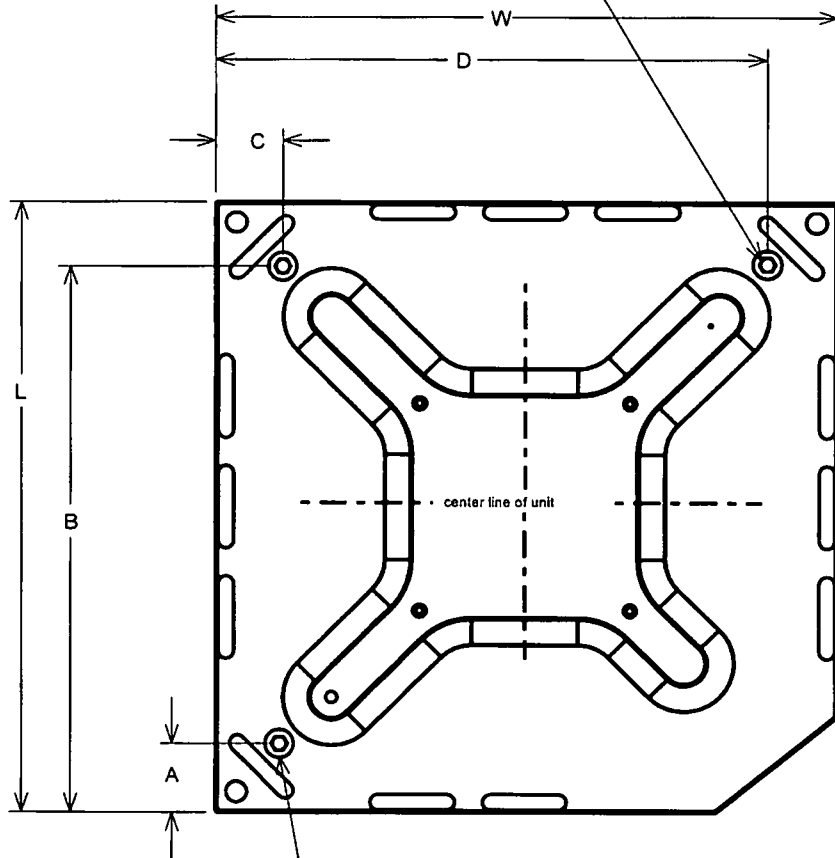
David Stephens, P.E., Ph.D.  
FL Reg No. 61236  
Rheem Manufacturing

Attach: Installation Drawings – ARD4 - Rev X13 (5 Pages)

**CONCRETE PAD SPECIFICATIONS:**

GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")

1/4" TAPCON SCREWS OR  
 EQUIVALENT SNUG TO BASE PAN.  
 LENGTH TO PENETRATE CONCRETE  
 1.5" MINIMUM. SCREWS HAVE TO BE  
 PLACED ON THE BASE PAN AS SHOWN  
 UNLESS OTHERWISE SPECIFIED.



IF ANY ACCUMULATOR IS UTILIZED,  
 ADD 3.5" TO THE "A" DIMENSION  
 AND 2" TO THE "C" DIMENSION  
 FOR THIS HOLE LOCATION ONLY.

VIEW A

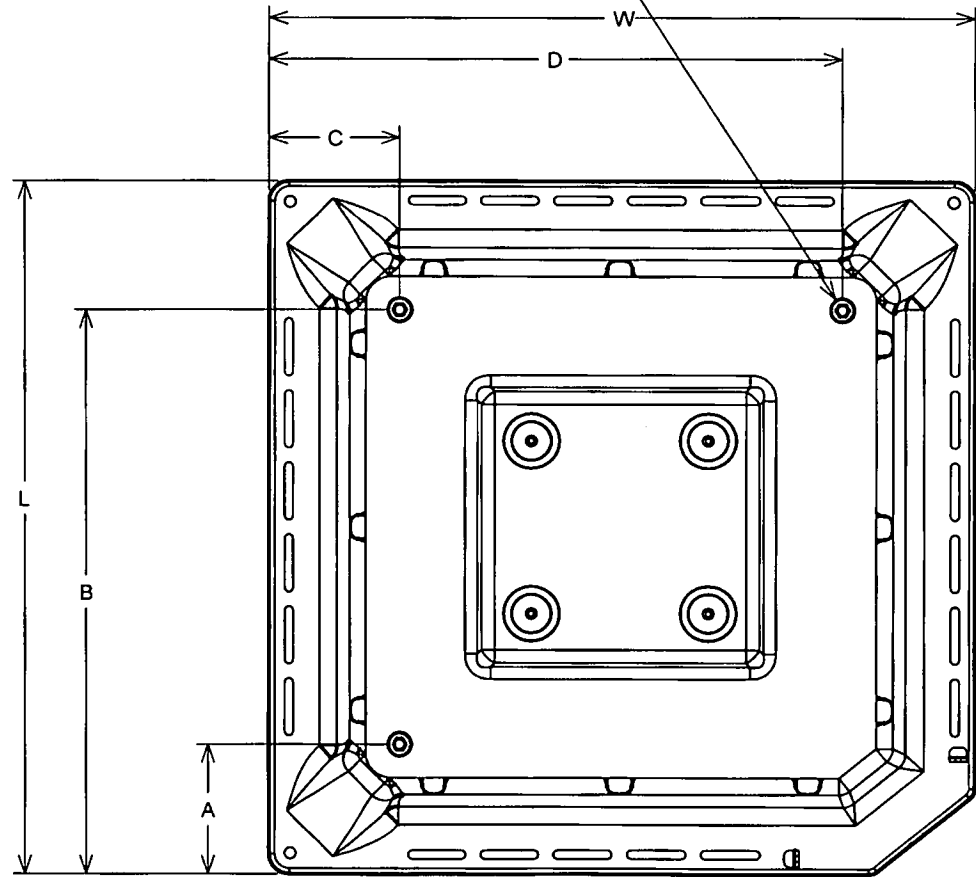
SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X10	ADDED MODELS, REVISED TO UPDATE SCREW LOCATION AND QUANTITY	JHB	NONE 03-31-09
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
RELAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE, A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT.					

	MODELED BY TWC	ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED	MATERIAL
	DATE 11-12-02			PART NO. SHEET 1 of 5 REV
UNIT TIE DOWN INSTRUCTIONS			ARD4	X13


CONCRETE PAD SPECIFICATIONS:  
 GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")

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 UNLESS OTHERWISE SPECIFIED.



VIEW B

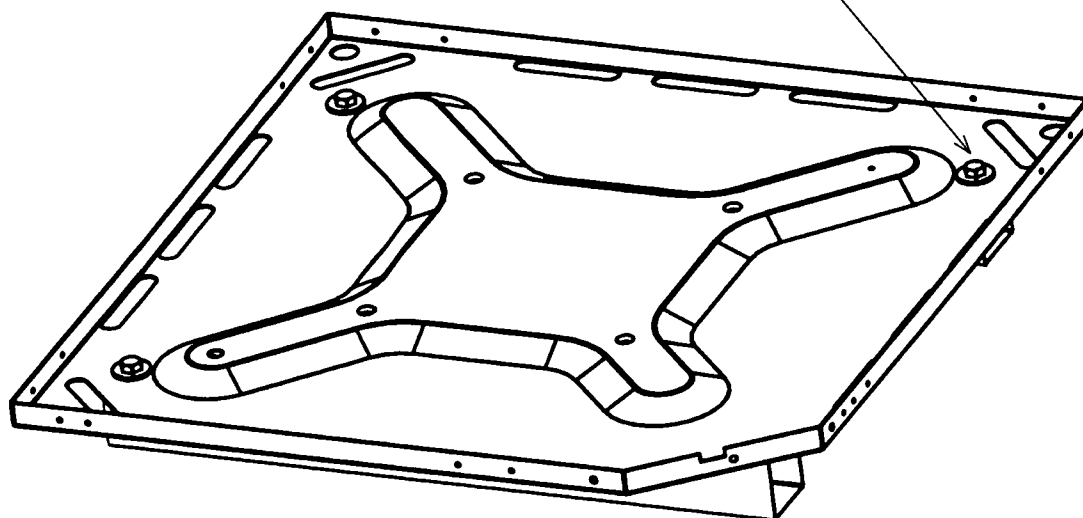
SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X10	ADDED MODELS AND REVISED TO UPDATE SCREW QUANTITY AND LOCATION.	JHB	NONE 03-31-09
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
VENDOR	NO REVISION TO DESIGN, MATERIAL TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE. A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. *ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT*.					
	MODELED BY TWC DATE 11-12-02	ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED		MATERIAL	
	UNIT TIE DOWN INSTRUCTIONS			PART NO.	SHEET 2 of 5	REV
			ARD4		X13	

**CONCRETE PAD SPECIFICATIONS:**

GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")

1/4" TAPCON SCREWS OR  
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 LENGTH TO PENETRATE CONCRETE  
 1.5" MINIMUM. SCREWS HAVE TO BE  
 PLACED ON THE BASE PAN AS SHOWN  
 UNLESS OTHERWISE SPECIFIED.



VIEW C

SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X10	ADDED MODELS AND REVISED TO UPDATE SCREW QUANTITY AND LOCATION.	JHB	NONE 03-31-09
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 8-10-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE. A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT.					



RESEARCH  
 &  
 DEVELOPMENT

MODELED BY TWC  
 DATE 11-12-02

ORIGINAL  
 RELEASE NO.

NOTE: ALL BRAKES ARE 90°  
 UNLESS OTHERWISE SPECIFIED

MATERIAL

**UNIT TIE DOWN INSTRUCTIONS**

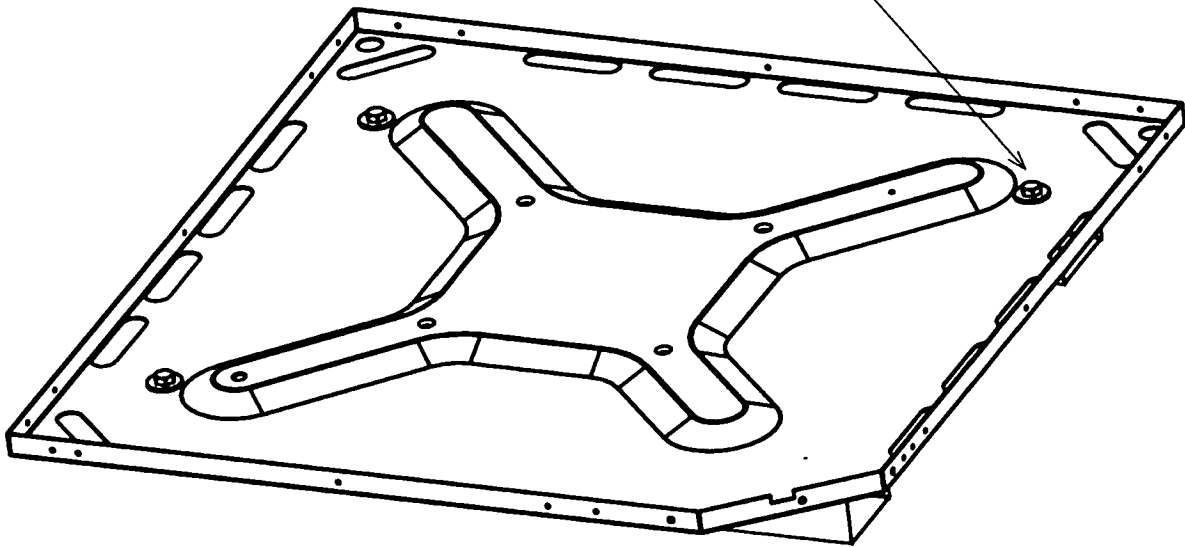
PART NO. SHEET 3 of 5  
**ARD4**

REV  
**X13**

**CONCRETE PAD SPECIFICATIONS:**


GREATER THAN OR EQUAL TO 2-1/2" THICK SOLID CONCRETE  
 3000 P.S.I. OR GREATER LOAD RATING. PAD LENGTH GREATER  
 THAN OR EQUAL TO (UNIT LENGTH +4") PAD WIDTH GREATER  
 THAN OR EQUAL TO (UNIT WIDTH +4")

1/4" TAPCON SCREWS OR  
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 LENGTH TO PENETRATE CONCRETE  
 1.5" MINIMUM. SCREWS HAVE TO BE  
 PLACED ON THE BASE PAN AS SHOWN  
 UNLESS OTHERWISE SPECIFIED.



VIEW D

SEE SHEET 5 FOR APPLICABILITY TABLE.

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X13	REVISED NOTE AND SPECIFICATION AS REQUIRED.	JHB	NONE 8-18-10
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X10	ADDED MODELS AND REVISED TO UPDATE SCREW LOCATIONS AND QUANTITY.	JHB	NONE 03-31-09
RELIAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE. A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. *ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT*.					
 RESEARCH & DEVELOPMENT	MODELED BY TWC DATE 11-12-02	ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED		MATERIAL	
	<b>UNIT TIE DOWN INSTRUCTIONS</b>			PART NO.	SHEET 4 of 5	REV
			<b>ARD4</b>		<b>X13</b>	

**VIEW A - SEE SHEET 1**

MODEL NUMBER	L	W	A	B	C	D		
13AJA-018/024, 13AJL-018/024, 13AJM-018/024	23.63	23.63	2.49	19.77	2.41	19.63		
13AJA-030, 13AJL-030, 14AJA-018, 14AJL-018/024 13AJM-030	27.63	27.63	3.5	22.63	3.5	22.63		

**VIEW B - SEE SHEET 2**

MODEL NUMBER	L	W	A	B	C	D		
13AJA-036/042/048/060, 13AJL-036/042/048/060/065, 13PJA-030/036/042/048/060, 13PJL-036/042/048/060, 14AJA-024/030/036/042/048/060 14AJL-030/036/042/048/060, 14PJL-036/042/048/060 14AJM-18/24/30/36/42/48/56/60, 14PJM-30/36/42/48/60 13AJM-036/42/48/60 15PJL-030/36/42/48/60	31.63	31.63	5.63	24.50	5.63	24.50		


**VIEW C - SEE SHEET 3**

MODEL NUMBER	L	W	A	B	C	D		
13PJA-018, 13PJL-018/024, 14PJL-018/024	23.63	23.63	3.5	18.63	1.94	20.19		

**VIEW D - SEE SHEET 4**

MODEL NUMBER	L	W	A	B	C	D		
13PJA-024, 13PJL-030, 14PJL-030, 14PJM-18/24 15PJL-018/024	27.63	27.63	5.0	21.13	2.75	23.38		

CHECKED	STANDARD TOLERANCE UNLESS OTHERWISE SPECIFIED	R E V I S I O N S	X11	ADDED 13AJM	JHB	NONE 9/22/09
APPROVED	-FRACTIONAL ±1/32 -ANGULAR +1° -3°		X12	ADDED 14AJM AND 15PJL MODELS.	JHB	NONE 6-10-10
RELAB. ENGR.	-DECIMAL ±.030 -DIMENSIONS IN ( ) REF. ONLY		X13	REVISED NOTE AND SPECIFICATIONS SHTS 1-4	JHB	NONE 8-18-10
VENDOR	NO REVISION TO DESIGN, MATERIAL, TOOLING, OR PROCESS IS ACCEPTABLE WITHOUT PRIOR APPROVAL FROM RHEEM THROUGH AN AUTHORIZED CHANGE NOTICE. A REVISED ENGINEERING SPECIFICATION AND A RESAMPLING OF PARTS. THE SUPPLIER IS RESPONSIBLE FOR NOTIFYING RHEEM R & D AND PURCHASING DEPARTMENTS IN WRITING OF ANY CHANGES AFFECTING PRODUCT QUALITY, PERFORMANCE, RELIABILITY, PACKAGING, DELIVERY OR WORKMANSHIP. *ANY DOCUMENTS REFERRED TO ON THIS DRAWING ARE INCLUDED IN THE SPECIFICATIONS FOR THIS COMPONENT*.					

	MODELED BY TWC DATE 11-12-02 ORIGINAL RELEASE NO.	NOTE: ALL BRAKES ARE 90° UNLESS OTHERWISE SPECIFIED	MATERIAL
	<h2>UNIT TIE DOWN INSTRUCTIONS</h2>		PART NO. <b>ARD4</b> SHEET 5 of 5 REV <b>X13</b>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **4-13-12** Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9747	Schwartz 70 N Sewalls Driftwood	Meter Final	PASS	I E-MAILED FPL INSPECTOR <i>A</i>
10052	Gerhardt 14 S Sewalls Scott Holmes	<del>SPA</del> SPA cap & electric	PASS	CLOSE INSPECTOR <i>A</i>
9909	TWOAKY 112 H. Sewalls Way SORKAPPE	ROOF IN Progress	PASS	INSPECTOR <i>A</i>
9753	BELLINGHAM 2 VIA DE CRISTO MASTERSPIECE	FINAL	PASS	CLOSE INSPECTOR <i>A</i>
11AM	Seely 37 Lofting Way Forward Elec	Final	PASS	CLOSE INSPECTOR <i>A</i>
9772	BELLINGHAM 2 Via de Cristo Hamingo	Pool FINAL	PASS	CLOSE INSPECTOR <i>A</i>
9917	FORD 98 N Sewalls Masterpiece	2ND FL Column & Beam	PASS	INSPECTOR <i>A</i>

**10467**

**AC CHANGEOUT**

---





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10467	DATE ISSUED:	JUNE 3, 2013
SCOPE OF WORK:	AC CHANGEOUT		
CONTRACTOR:	GALVANIZED AIR CONDITIONING		
PARCEL CONTROL NUMBER:	263741013000-000300	SUBDIVISION	PLANTATION - LOT 3
CONSTRUCTION ADDRESS:	37 LOFTING WAY		
OWNER NAME:	SEELY		
QUALIFIER:	PATRICK GALVIN	CONTACT PHONE NUMBER:	221-1230

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



**Martin County, Florida  
Laurel Kelly, C.F.A**

generated on 6/3/2013 8:19:05 AM EDT

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
26-37-41-013-000-00030-0	4088	37 NE LOFTING WY, SEWALL'S POINT	\$2,614,150	6/1/2013

---

**Owner Information**

<b>Owner(Current)</b>	SEELY GREG SEELY PORTIA
<b>Owner/Mail Address</b>	37 NE LOFTING WAY STUART FL 34996
<b>Sale Date</b>	2/2/1995
<b>Document Book/Page</b>	1107 2022
<b>Document No.</b>	
<b>Sale Price</b>	550000

---

**Location/Description**

<b>Account #</b>	4088	<b>Map Page No.</b>	SP-01
<b>Tax District</b>	2200	<b>Legal Description</b>	PLANTATION AT SEWALL'S POINT LOT 3
<b>Parcel Address</b>	37 NE LOFTING WY, SEWALL'S POINT		
<b>Acres</b>	1.5780		

---

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	193192 Plantation @t Sewall's Pt Wtr

---

**Assessment Information**

<b>Market Land Value</b>	\$1,360,800
<b>Market Improvement Value</b>	\$1,253,350
<b>Market Total Value</b>	\$2,614,150



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

## A/C PERMIT APPLICATION 2010 FLORIDA BUILDING CODE

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

**Please make sure you have ALL required copies before submitting permit application**

1 Copy Completed permit application

2 Copies of the following:

- a. Manufacturer's data sheet to include make, model, seer/eer, tonnage, electrical requirements, refrigerant piping size, and AHRI listing page.
- N/A b. Replacing ductwork requires Manual D layout plan with grille sizes
- c. Manual J calculations.
- d. Condenser tie down and Air Handler mounting details
- e. A/C change out affidavit
- f. Mandatory Duct inspection Certification

**\*\*\*\*NOTE: LOCKING ACCESS PORT CAPS ARE REQUIRED FOR REFRIGERANT LINES  
LOCATED OUT DOORS PER FBC/R - M1411.6**

### **COMMERCIAL APPLICATIONS ADDITIONALLY REQUIRE**

2 Copies A/C Stand NOA or Engineers letter to retrofit to existing mounts.

Smoke Detectors in supply duct for units over 2000 CFM



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

Air Conditioning Change out Affidavit

Residential  Commercial \_\_\_\_\_

Package Unit \_\_\_ Yes  No (Use Condenser side of form below for equipment listing)

Duct Replacement \_\_\_ Yes  No - Refrigerant line replacement \_\_\_ Yes  No

Flushing Existing Refrigerant lines  Yes \_\_\_ No - Adding Refrigerant Drier \_\_\_ Yes \_\_\_ No

Rooftop A/C Stand Installation \_\_\_ Yes  No - Curb Installation \_\_\_ Yes  No

Smoke Detector in Supply (over 2000 CFM) \_\_\_ Yes \_\_\_ No *N/A*

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

<u>Air handler:</u> Mfg: <u>RUUD</u> Model# <u>RHLLHM4821</u>	<u>Condenser:</u> Mfg <u>RUUD</u> Model# <u>14AJM49</u>
Volts <u>240</u> CFM's <u>1654</u> Heat Strip <u>9.6</u> Kw	Volts <u>240</u> SEER/EER <u>16/13</u> BTU's <u>4600</u>
Min. Circuit Amps <u>36</u> Wire gauge <u>6</u>	Min. Circuit Amps <u>27</u> Wire gauge <u>8</u>
Max. Breaker size <u>60</u> Min. Breaker size <u>56</u>	Max. Breaker size <u>45</u> Min. Breaker size <u>35</u>
Ref. line size: Liquid <u>3/8</u> Suction <u>7/8</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>7/8</u>
Refrigerant type <u>R410A</u>	Refrigerant type <u>R410A</u>
Location: Existing <input checked="" type="checkbox"/> New _____	Location: Existing <input checked="" type="checkbox"/> New _____
Attic/Garage/Closet (specify) <u>Closet</u>	Left/Right/Rear/Front/Roof <u>Right Front</u>
Access: <u>Ground Floor Closet Hall</u>	Condensate Location <u>Ground FLR Slab</u>

**NOTE: CONTRACTOR MUST SUPPLY A PROPER LADDER IF REQUIRED FOR INSPECTION**

EXISTING SYSTEM COMPONENTS

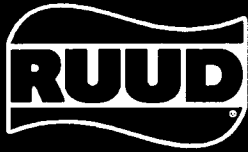
<u>Air handler:</u> Mfg: <u>Rheem</u> Model# <u>RBHA21511</u>	<u>Condenser:</u> Mfg <u>Rheem</u> Model# <u>RAW048JAZ</u>
Volts <u>240</u> CFM's <u>1600</u> Heat Strip <u>10</u> Kw	Volts <u>240</u> SEER/EER <u>13</u> BTU's <u>46,500</u>
Min. Circuit Amps _____ Wire gauge <u>6</u>	Min. Circuit Amps <u>27</u> Wire gauge <u>8</u>
Max. Breaker size <u>60</u> Min. Breaker size <u>60</u>	Max. Breaker size <u>45</u> Min. Breaker size <u>35</u>
Ref. line size: Liquid <u>3/8</u> Suction <u>7/8</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>7/8</u>
Refrigerant type <u>R22</u>	Refrigerant type <u>R22</u>
Location: Ext. <input checked="" type="checkbox"/> New _____	Location: Ext. <input checked="" type="checkbox"/> New _____
Attic/Garage/Closet (specify) <u>Closet</u>	Left/Right/Rear/Front/Roof <u>Right Front</u>
Access: <u>Ground FLR Closet Door Hallway</u>	Condensate Location <u>Ground Slab</u>

Certification:

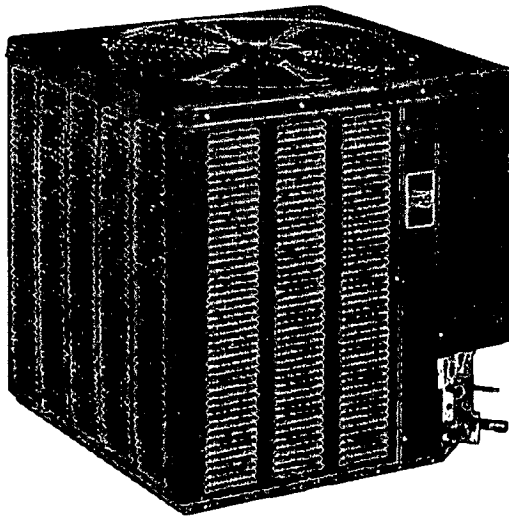
I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N) 1107 & 1108

*Patrick J. Dale*  
 Signature

5-31-2013  
 Date



## Ruud Value Series Air Conditioners



Note: Above image does not show deep drawn basepan.

### 14AJM- Series

Efficiencies up to 16 SEER/13 EER  
Nominal Sizes 1 $\frac{1}{2}$ -5 Ton [5.28 to 17.6 kW]  
Cooling Capacities 17.3 to 60.5 kBTU  
[5.7 to 17.7 kW]

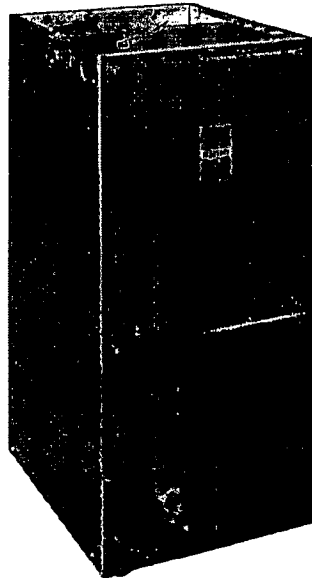


*"Proper sizing and installation of equipment is critical to achieve optimal performance. Ask your Contractor for details or visit [www.energystar.gov](http://www.energystar.gov)."*

- Outdoor air conditioner designed for ground level or rooftop installations. These units offer comfort and dependability for single, multi-family and light commercial applications.
- Painted louvered steel cabinet
- Easily accessible control box
- Condenser coils constructed with copper tubing and enhanced aluminum fins
- Grille/Motor mount for quiet fan operation
- Filter Drier (shipped – not installed)



## Ruud High Efficiency Air Handler



### RHLL- Series

X-13 (ECM) Motor

Efficiencies up to 16 SEER



- RHLL feature an X-13 (ECM) motor which provides enhanced SEER performance with most Ruud outdoor units.
- Versatile 4-way convertible design for upflow, downflow, horizontal left and horizontal right applications.
- Factory-installed high efficiency indoor coil.
- Sturdy cabinet construction with 1.0 inch [25.4 mm] of foil faced insulation for excellent sound and insulating characteristics.
- Field-installed auxiliary electric heater kits provide exact heat for indoor comfort. Kits include circuit breakers which meet U.L. and cUL requirements for service disconnect.

- 1 1/2 ton [5.3 kW] through 5 ton [17.6 kW] models are between 42 1/2 to 55 1/2 inches [1080 to 1410 mm] tall and 22 inches [559 mm] deep.
- All models meet or exceed 330 to 400 CFM [156 to 189 L/s] per ton at .3 inches [.7 kPa] of external static pressure.
- Enhanced airflow up to .7" external static pressure.

## Condensing Unit Refrigerant Line Size Information

Liquid Line Sizing (R-410A)														
System Capacity	Liquid Line Connection Size (Inch I.D.)	Line Size (Inch O.D.) (mm)	Liquid Line Size – Outdoor Unit Above Indoor Coil (Cooling Only—Does not apply to Heat Pumps)						Liquid Line Size – Outdoor Unit Below Indoor Coil					
			Total Equivalent Length—Feet [m]						Total Equivalent Length—Feet [m]					
			25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [38.10]	150 [45.72]	25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [38.10]	150 [45.72]
			Minimum Vertical Separation—Feet [m]						Maximum Vertical Separation—Feet [m]					
1 1/2 Ton	3/8" [9.53]	1/4 [6.35]	0	0	0	0	8 [2.44]	24 [7.32]	25 [7.62]	40 [12.19]	25 [7.62]	9 [2.74]	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	62 [18.90]	58 [17.68]	53 [16.15]	49 [14.94]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	72 [21.95]	70 [21.34]	68 [20.73]
2 Ton	3/8" [9.53]	1/4 [6.35]	0	3 [0.91]	29 [8.84]	55 [16.76]	81 [24.69]	108 [32.92]	23 [7.01]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	36 [10.97]	29 [8.84]	23 [7.01]	16 [4.88]	9 [2.74]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	72 [21.95]	70 [21.34]	68 [20.73]	65 [19.81]
2 1/2 Ton	3/8" [9.53]	1/4 [6.35]	0	14 [4.27]	56 [17.07]	98 [29.87]	N/A	N/A	25 [7.62]	N/A	N/A	N/A	N/A	N/A
		5/16 [7.94]	0	0	0	0	0	0	25 [7.62]	49 [14.94]	38 [11.58]	27 [8.23]	17 [5.18]	6 [1.83]
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	65 [19.81]	62 [18.90]	58 [17.68]
3 Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	0	0	9 [2.74]	25 [7.62]	50 [15.24]	37 [11.28]	22 [6.71]	7 [2.13]	N/A
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	68 [20.73]	63 [19.20]	58 [17.68]	53 [16.15]
3 1/2 Ton	3/8" [9.53]	5/16 [7.94]	0	0	0	16 [4.88]	35 [10.67]	54 [16.46]	25 [7.62]	23 [7.01]	4 [1.22]	N/A	N/A	N/A
		3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	43 [13.11]	36 [10.97]	30 [9.14]	24 [7.32]
4 Ton	3/8" [9.53]	3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	46 [14.02]	38 [11.58]	30 [9.14]	22 [6.71]	15 [4.57]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	55 [16.76]	53 [16.15]	52 [15.85]
5 Ton	3/8" [9.53]	3/8" [9.53]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	56 [17.07]	44 [13.41]	32 [9.75]	20 [6.10]
		1/2 [12.57]	0	0	0	0	0	0	25 [7.62]	50 [15.24]	75 [22.86]	81 [24.69]	79 [24.08]	76 [23.16]

NOTES: \*Standard line size  
N/A = Application not recommended.

Suction Line Length/Size versus Capacity Multiplier (R-410A)								
Unit Size		1 1/2 Ton	2 Ton	2 1/2 Ton	3 Ton	3 1/2 Ton	4 Ton	5 Ton
Suction Line Connection Size		3/4" [19.05] I.D.				7/8" [22.23] I.D.		
Suction Line Run—Feet [m]		5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard*		5/8" [15.88 mm] O.D. Optional 3/4" [19.05 mm] O.D. Standard* 7/8" [22.23 mm] O.D. Optional		3/4" [19.05 mm] O.D. Optional 7/8" [22.23 mm] O.D. Standard*		7/8" [22.23 mm] O.D. Optional 1 1/8" [28.58 mm] O.D. Standard*
25' [7.62]	Optional Standard Optional	1.00 1.00 —	1.00 1.00 —	1.00 1.00 1.00	1.00 1.00 —	1.00 1.00 —	1.00 1.00 —	1.00 1.00 —
50' [15.24]	Optional Standard Optional	.98 .99 —	.98 .99 —	.96 .98 .99	.98 .99 —	.99 .99 —	.99 .99 —	.99 .99 —
100' [30.48]	Optional Standard Optional	.95 .96 —	.95 .96 —	.94 .96 .97	.96 .97 —	.96 .98 —	.96 .98 —	.97 .98 —
150' [45.72]	Optional Standard Optional	.92 .93 —	.92 .94 —	.91 .93 .95	.94 .95 —	.94 .96 —	.95 .96 —	.94 .97 —

NOTES: \*Standard line size  
Using suction line larger than shown in chart will result in poor oil return and is not recommended.  
3 Ton Suction Line Connection is 3/4"

[ ] Designates Metric Conversions



### Electrical and Physical Data

Model Number 14AJM	ELECTRICAL							PHYSICAL						
	Phase Frequency (Hz) Voltage (Volts)	Compressor		Fan Motor Full Load Amperes (FLA)	Minimum Circuit Capacity Amperes	Fuse or HACR Circuit Breaker		Outdoor Coil			Refrig. Per Circuit Oz. (g)	Weight		
		Rated Load Amperes (RLA)	Locked Rotor Amperes (LRA)			Minimum Amperes	Maximum Amperes	Face Area Sq. Ft. (m <sup>2</sup> )	No. Rows	CFM (L/s)		Net Lbs. (kg)	Shipping Lbs. (kg)	
Rev. 4/5/2013														
19	1-60-208/230	9/9	46	0.5	12/12	15/15	20/20	11.80 [1.1]	1	2805 [1324]	87 [2466]	140 [63.5]	157 [63.5]	
25	1-60-208/230	13.5/13.5	58.3	0.8	18/18	25/25	30/30	16.39 [1.52]	1	2805 [1324]	105.6 [2994]	154 [69.9]	171 [69.9]	
30	1-60-208/230	12.8/12.8	64	0.68	18/18	25/25	30/30	16.39 [1.52]	1	2915 [1376]	112 [3175]	157 [71.2]	175 [71.2]	
36	1-60-208/230	16.7/16.7	79	1.9	23/23	30/30	35/35	21.85 [2.03]	1	3435 [1621]	130.4 [3697]	181 [82.1]	201 [82.1]	
42	1-60-208/230	17.9/17.9	112	2.8	26/26	30/30	40/40	21.85 [2.03]	1	3550 [1675]	145.12 [4114]	205 [93]	225 [93]	
48	1-60-208/230	21.8/21.8	117	2.8	31/31	40/40	50/50	21.85 [2.03]	2	4310 [2034]	216 [6124]	249 [112.9]	269 [112.9]	
49	1-60-208/230	19.9/19.9	109	1.9	27/27	35/35	45/45	21.85 [2.03]	2	3615 [1706]	213 [6039]	249 [112.9]	269 [112.9]	
56	1-60-208/230	21.4/21.4	135	1.9	29/29	35/35	50/50	21.85 [2.03]	2	3615 [1706]	241 [6832]	254 [115.2]	274 [115.2]	
60	1-60-208/230	26.4/26.4	134	1.7	36/36	45/45	60/60	21.85 [2.03]	2	4310 [2034]	240 [6804]	254 [115.2]	274 [115.2]	

NOTE: Factory Refrigerant Charge includes refrigerant for 15 feet of standard line set.

[ ] Designates Metric Conversions

Performance Data @ AHRI Standard Conditions—Cooling (con't.)

Model Numbers		80°F [26.5°C] DB/67°F [19.5°C] WB Indoor Air 95°F [35°C] DB Outdoor Air					Sound Rating dB	Indoor CFM [L/s]
Outdoor Unit 14AJM	Indoor Coil and/or Air Handler	Total Capacity BTU/H [kW]	Net Sensible BTU/H [kW]	Net Latent BTU/H [kW]	EER	SEER		
Rev. 4/5/13	RCQD-4824(RGJF-09?ZCM?)	47,500 [13.9]	35,800 [10.5]	11,800 [3.5]	13.00	15.50	77	1,400 [661]
	RCQD-4824(RGJF-10?ZCM?)	47,500 [13.9]	35,800 [10.5]	11,800 [3.5]	13.00	15.50	77	1,400 [661]
	RCQD-4824(RGJF-12?RCM?)	47,500 [13.9]	35,800 [10.5]	12,000 [3.5]	13.00	16.00	77	1,375 [649]
	RCQD-4824(RGPE-07?BRQ?)	48,000 [14.1]	36,000 [10.5]	11,800 [3.5]	13.00	16.00	77	1,400 [661]
	RCQD-4824(RGPE-10?BRM?)	48,000 [14.1]	37,300 [10.9]	10,700 [3.1]	13.00	15.50	77	1,550 [731]
	RCQD-4824(RGPE-12?ARM?)	48,500 [14.2]	37,400 [11.0]	10,900 [3.2]	13.00	16.00	77	1,525 [720]
	RCQD-4824(RGPT-07?BRQ?)	48,000 [14.1]	37,000 [10.8]	11,300 [3.3]	13.00	16.00	77	1,475 [696]
	RCQD-4824(RGPT-10?BRM?)	48,000 [14.1]	36,600 [10.7]	11,500 [3.4]	13.00	16.00	77	1,450 [684]
	RCQD-4824(RGPT-12?ARM?)	48,000 [14.1]	36,200 [10.6]	11,800 [3.5]	13.00	16.00	77	1,400 [661]
	RCQD-4824(RGRM-09?ZAJ?)	47,500 [13.9]	35,600 [10.4]	11,800 [3.5]	12.50	15.10	77	1,400 [661]
	RCQD-4824(RGRM-10?ZAJ?)	47,000 [13.8]	35,400 [10.4]	11,600 [3.4]	12.50	15.00	77	1,425 [672]
	RCQD-4824(RGRM-12?RAJ?)	47,500 [13.9]	36,000 [10.5]	11,600 [3.4]	13.00	15.50	77	1,425 [672]
	RCQD-4824(RGTM-07?RBQ?)	47,500 [13.9]	35,200 [10.3]	12,300 [3.6]	13.00	16.00	77	1,325 [625]
	RCQD-4824(RGTM-09?ZAJ?)	48,000 [14.1]	37,300 [10.9]	10,700 [3.1]	12.50	15.10	77	1,550 [731]
	RCQD-4824(RGTM-10?RBJ?)	48,000 [14.1]	36,200 [10.6]	11,600 [3.4]	13.00	16.00	77	1,425 [672]
	RCQD-4824(RHWP-08WRX60A)	46,000 [13.5]	34,650 [10.2]	11,350 [3.3]	12.50	15.10	77	1,475 [696]
	RCQD-4824(RHWP-10WRX60A)	46,000 [13.5]	34,400 [10.1]	11,600 [3.4]	12.50	15.10	77	1,425 [672]
	RCQD-4824(ROCA-070E04)	47,500 [13.9]	35,600 [10.4]	11,800 [3.5]	12.50	15.10	77	1,400 [661]
	RCQD-4824(ROLA-070E04)	47,500 [13.9]	35,600 [10.4]	12,000 [3.5]	13.00	16.00	77	1,375 [649]
	RCQD-4824(ROLA-115E05)	47,500 [13.9]	35,700 [10.5]	11,800 [3.5]	13.00	15.50	77	1,400 [661]
	RCQD-4824+RXMD-C04	48,000 [14.1]	37,800 [11.1]	10,400 [3.0]	12.00	14.50	77	1,600 [755]
	RHKL-HM4821(RCSL-H*4821)	46,000 [13.5]	31,400 [9.2]	14,600 [4.3]	13.00	16.00	77	1,400 [661]
	RHLL-HM4821(RCSL-H*4821)	46,000 [13.5]	31,400 [9.2]	14,600 [4.3]	13.00	16.00	77	1,400 [661]
	RHSL-HM4821(RCSL-H*4821)	46,000 [13.5]	32,400 [9.5]	13,600 [4.0]	12.00	14.50	77	1,550 [731]
	RHKL-HM4824(RCSL-H*4824)	47,000 [13.8]	33,700 [9.9]	13,300 [3.9]	13.00	16.00	77	1,625 [767]
	RHLL-HM4824(RCSL-H*4824)	47,000 [13.8]	33,700 [9.9]	13,300 [3.9]	13.00	16.00	77	1,625 [767]
	RHSL-HM4824(RCSL-H*4824)	46,000 [13.5]	32,400 [9.5]	13,600 [4.0]	12.00	14.50	77	1,550 [731]
RHPN-HM4824(RCSN-H*4824)	50,500 [14.8]	39,500 [11.6]	11,000 [3.2]	13.00	16.00	77	1,600 [755]	
56	RCFL-H*6024+RXMD-C04 ⊕	52,500 [15.4]	37,500 [11.0]	15,000 [4.4]	12.00	14.50	77	1,525 [720]
	RCFL-A*6024	53,000 [15.5]	37,800 [11.1]	15,200 [4.5]	12.00	14.50	77	1,525 [720]
	RCFL-A*6024(RGFE-09?ZCM?)	52,000 [15.2]	36,100 [10.6]	15,900 [4.7]	12.00	14.50	77	1,400 [661]
	RCFL-A*6024(RGFE-10?ZCM?)	52,500 [15.4]	36,700 [10.8]	15,800 [4.6]	12.00	14.50	77	1,425 [672]
	RCFL-A*6024(RGFE-12?RCM?)	52,500 [15.4]	36,900 [10.8]	15,600 [4.6]	12.00	14.50	77	1,450 [684]
	RCFL-A*6024(RGFG-09NZCMS)	52,000 [15.2]	36,100 [10.6]	15,900 [4.7]	12.00	14.50	77	1,400 [661]
	RCFL-A*6024(RGFG-09EZCMS)	52,000 [15.2]	36,100 [10.6]	15,900 [4.7]	12.00	14.50	77	1,400 [661]
	RCFL-A*6024(RGFG-10NZCMS)	52,000 [15.2]	36,100 [10.6]	15,900 [4.7]	12.00	14.50	77	1,400 [661]
	RCFL-A*6024(RGFG-12NRCMS)	52,500 [15.4]	36,900 [10.8]	15,600 [4.6]	12.00	14.50	77	1,450 [684]
	RCFL-A*6024(RGFG-12ERCMS)	52,500 [15.4]	36,900 [10.8]	15,600 [4.6]	12.00	14.50	77	1,450 [684]
	RCFL-A*6024(RGGE-09?ZCM?)	52,500 [15.4]	36,600 [10.7]	15,900 [4.7]	12.00	14.50	77	1,400 [661]
	RCFL-A*6024(RGGE-10?ZCM?)	52,500 [15.4]	36,600 [10.7]	15,900 [4.7]	12.00	14.50	77	1,400 [661]
	RCFL-A*6024(RGGE-12?RCM?)	53,500 [15.7]	38,650 [11.3]	14,850 [4.4]	12.00	14.50	77	1,575 [743]
	RCFL-A*6024(RGLE-07?BRQ?)	53,500 [15.7]	38,900 [11.4]	14,600 [4.3]	12.00	14.50	77	1,600 [755]
	RCFL-A*6024(RGLE-10?BRM?)	53,500 [15.7]	38,800 [11.4]	14,700 [4.3]	12.50	15.00	77	1,600 [755]
	RCFL-A*6024(RGLE-12?ARM?)	53,500 [15.7]	38,200 [11.2]	15,300 [4.5]	12.50	15.10	77	1,525 [720]
	RCFL-A*6024(RGLT-07?BRQ?)	53,000 [15.5]	37,400 [11.0]	15,600 [4.6]	12.50	15.10	77	1,450 [684]
	RCFL-A*6024(RGLT-10?BRM?)	53,000 [15.5]	37,400 [11.0]	15,600 [4.6]	12.50	15.10	77	1,450 [684]
	RCFL-A*6024(RGLT-12?ARM?)	54,000 [15.8]	40,100 [11.7]	13,900 [4.1]	12.00	14.50	77	1,700 [802]
	RCFL-A*6024(RGPE-07?BRQ?)	52,500 [15.4]	34,700 [10.2]	17,800 [5.2]	12.50	15.10	77	1,400 [661]
	RCFL-A*6024(RGPE-10?BRM?)	52,500 [15.4]	34,700 [10.2]	17,800 [5.2]	12.50	15.10	77	1,400 [661]

⊕ Highest sales volume tested combination required by D.O.E. test procedures.

[ ] Designates Metric Conversions

## Electrical Data – With Electric Heat

Installation of the U.L. Listed original equipment manufacturer provided heater kits listed in the following table is recommended for all auxiliary heating requirements.

Air Handler Model RHLL	Heater Model No.	Heater kW (208/240V) (480V)	PH/HZ	No. Elements kW Per	Type Supply Circuit Single Circuit Multiple	Circuit Amps.	Motor Ampacity	Minimum Circuit Ampacity	Maximum Circuit Protector
2417	RXBH-1724?03J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	1.6	16/18	20/20
	RXBH-1724?05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	1.6	24/27	25/30
	RXBH-1724?07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	1.6	35/40	35/40
	RXBH-1724?10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	1.6	46/52	50/60
	RXBH-1724A13J	9.4/12.5	1/60	3-4.17	SINGLE	45.1/52.1	1.6	59/68	60/70
	RXBH-1724A13J	3.1/4.2	1/60	1-4.17	MULTIPLE CKT 1	15.0/17.4	1.6	21/24	25/25
		6.3/8.3	1/60	2-4.17	MULTIPLE CKT 2	30.1/34.7	0.0	38/44	40/45
	RXBH-1724A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	1.6	21/24	25/25
	RXBH-1724A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	1.6	27/31	30/35
RXBH-1724A13C	9.4/12.5	3/60	3-4.17	SINGLE	28.1/30.1	1.6	35/40	35/40	
3617	RXBH-1724?03J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	2.8	17/20	20/20
	RXBH-1724?05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	2.8	26/29	30/30
	RXBH-1724?07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	2.8	36/41	40/45
	RXBH-1724?10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	2.8	47/54	50/60
	RXBH-1724A13J	9.4/12.5	1/60	3-4.17	SINGLE	45.1/52.1	2.8	60/69	60/70
	RXBH-1724A13J	3.1/4.2	1/60	1-4.17	MULTIPLE CKT 1	15.0/17.4	2.8	23/26	25/30
		6.3/8.3	1/60	2-4.17	MULTIPLE CKT 2	30.1/34.7	0.0	38/44	40/45
	RXBH-1724A15J	10.8/14.4	1/60	3-4.8	SINGLE	51.9/60	2.8	69/79	70/80
	RXBH-1724A15J	3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	2.8	26/29	30/30
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
	RXBH-1724A18J	12.8/17	1/60	3-5.68	SINGLE	61.6/70.8	2.8	81/92	90/100
	RXBH-1724A18J	4.3/5.7	1/60	1 - 5.68	MULTIPLE CKT 1	20.5/23.6	2.8	30/33	30/35
		8.7/11.3	1/60	2 - 5.68	MULTIPLE CKT 2	41.1/47.2	0.0	52/59	60/60
	RXBH-1724A07C	5.4/7.2	3/60	3 - 2.4	SINGLE	15.0/17.3	2.8	23/26	25/30
	RXBH-1724A10C	7.2/9.6	3/60	3 - 3.2	SINGLE	20.0/23.1	2.8	29/33	30/35
	RXBH-1724A13C	9.4/12.5	3/60	3-4.17	SINGLE	26.1/30.1	2.8	37/42	40/45
	RXBH-1724A15C	10.8/14.4	3/60	3 - 4.8	SINGLE	30.0/34.6	2.8	41/47	45/50
	RXBH-1724A18C	12.8/17.0	3/60	3-5.68	SINGLE	35.5/41.0	2.8	48/55	50/60
3821/4821	RXBH-1724?03J	2.25/3.0	1/60	1 - 3.0	SINGLE	10.8/12.5	4.0	19/21	20/25
	RXBH-1724?05J	3.6/4.8	1/60	1 - 4.8	SINGLE	17.3/20.0	4.0	27/30	30/30
	RXBH-1724?07J	5.4/7.2	1/60	2 - 3.6	SINGLE	26.0/30.0	4.0	38/43	40/45
	RXBH-1724?10J	7.2/9.6	1/60	2 - 4.8	SINGLE	34.6/40.0	4.0	49/55	50/60
	RXBH-1724A13J	9.4/12.5	1/60	3-4.17	SINGLE	45.1/52.1	4.0	62/71	60/70
	RXBH-1724A13J	3.1/4.2	1/60	1-4.17	MULTIPLE CKT 1	15.0/17.4	4.0	24/27	25/30
		6.3/8.3	1/60	2-4.17	MULTIPLE CKT 2	30.1/34.7	0.0	38/44	40/45
	RXBH-1724A15J	10.8/14.4	1/60	3-4.8	SINGLE	51.9/60	4.0	70/80	70/80
	RXBH-1724A15J	3.6/4.8	1/60	1 - 4.8	MULTIPLE CKT 1	17.3/20.0	4.0	27/30	30/30
		7.2/9.6	1/60	2 - 4.8	MULTIPLE CKT 2	34.6/40.0	0.0	44/50	45/50
	RXBH-1724A18J	12.8/17	1/60	3-5.68	SINGLE	61.6/70.8	4.0	82/94	90/100
	RXBH-1724A18J	4.3/5.7	1/60	1 - 5.68	MULTIPLE CKT 1	20.5/23.6	4.0	31/35	30/35
		8.7/11.3	1/60	2 - 5.68	MULTIPLE CKT 2	41.1/47.2	0.0	52/59	60/60
	RXBH-24A20J (4-ton only)	14.4/19.2	1/60	4-4.8	SINGLE	69.2/80	4.0	92/105	100/110

- Supply circuit protective devices may be fuses or "HACR" type circuit breakers.
- Largest motor load is included in single circuit and multiple circuit 1.
- If non-standard fuse size is specified, use next size larger standard fuse size.
- J Voltage (230V) single phase air handler is designed to be used with single or three phase 230 volt electric heaters. In the case of connecting 3-phase power to the air handler terminal block without the heater, bring only two leads to the terminal block cap, insulate and fully secure the third lead.

[ ] Designates Metric Conversions



This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2013.

# Certificate of Product Ratings

AHRI Certified Reference Number: 3800719

Date: 5/28/2013

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 14AJM49

Indoor Unit Model Number: RHLL-HM4821+RCSL-H\*4821

Manufacturer: RUUD AIR CONDITIONING DIVISION

Trade/Brand name: RUUD 14AJM SERIES

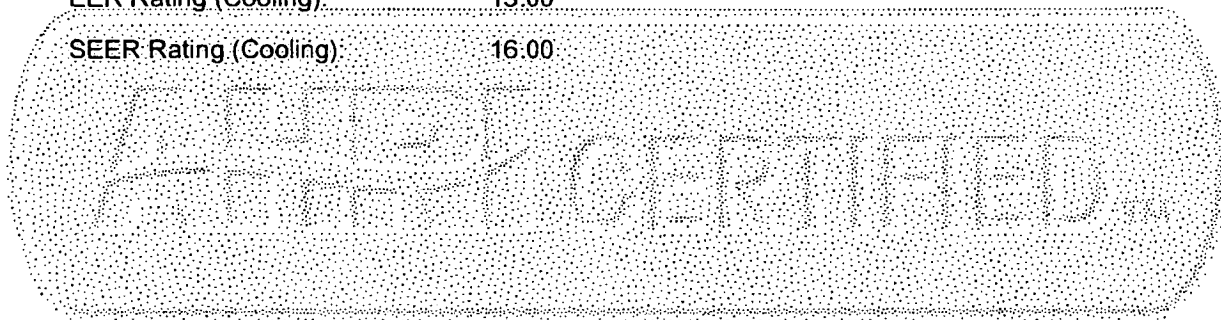
Manufacturer responsible for the rating of this system combination is RUUD AIR CONDITIONING DIVISION

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh): 46000

EER Rating (Cooling): 13.00

SEER Rating (Cooling): 16.00



\* Ratings followed by an asterisk (\*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

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#### CERTIFICATE VERIFICATION

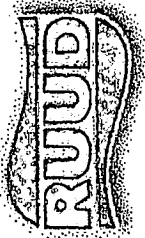
The information for the model cited on this certificate can be verified at [www.ahridirectory.org](http://www.ahridirectory.org), click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



Air-Conditioning, Heating, and Refrigeration Institute

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CERTIFICATE NO.: 130142249476703806



# DesignStar Load Calculation

Results are intended for use with Ruud heating and cooling systems

## Customer Information

Street Address: 37 Melkoffing Way, Stuart, FL 34996

Latitude, Longitude: 26.6726°, -80.0706°

House Square Footage: 1788 sq. ft.

Name: Gregg Ann Potts Seely

Phone: 772-288-1920

Email:

## House Information

SHR: 75

Number of residents: 2

Ceiling height: 9

Wall U-value | R-value: 0.09 | 11

Floor U-value | R-value: 0.2 | 5

Ceiling U-value | R-value: 0.053 | 19

Window U-value: 0.5

Window SHGF: 0.85

Moisture grains: 64

Duct loss %: 10

Duct gain %: 10

Cooling infiltration (ACH): 0.6

Heating infiltration (ACH): 0.8

Winter ventilation: 0

Summer ventilation: 0

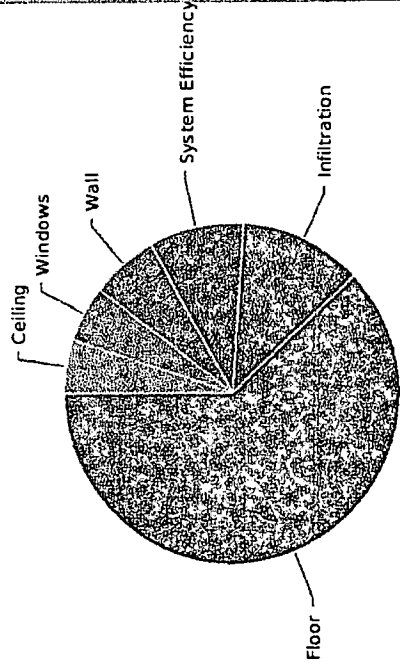
## Design Conditions

	Outdoor	Heating	Cooling
Dry bulb (°F)		47	90
Daily range			M
Relative humidity			50%
Moisture difference			64
	Indoor	Heating	Cooling
Indoor temperature (°F)		70	75
Design temperature difference(°F)		23	15

# Heating Loads

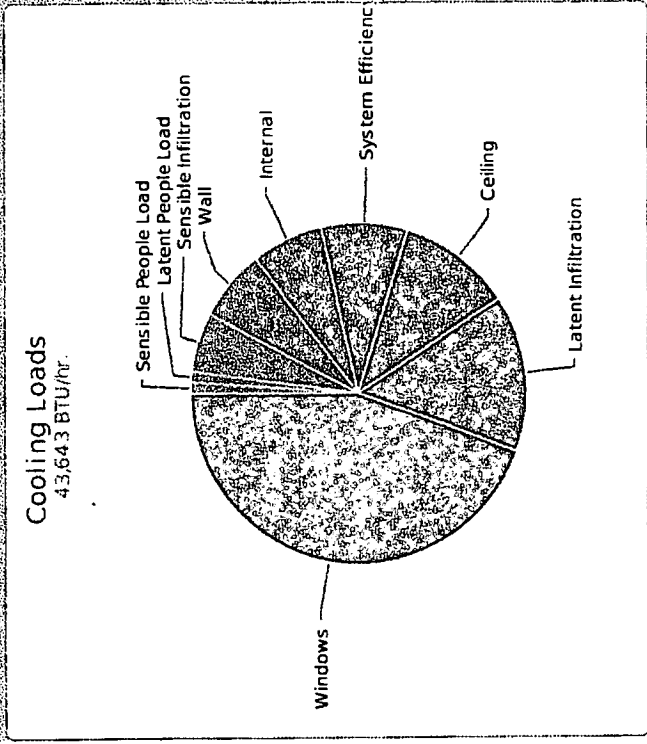
Area	Btuh	% of load
Wall	2735	6.4
Floor	26353	62
Ceiling	2180	5.1
Windows	2312	5.4
Infiltration	5048	11.9
System Efficiency Loss	3863	9.1
Total	42491	

Heating Loads  
42,491 BTU/hr



# Cooling Loads

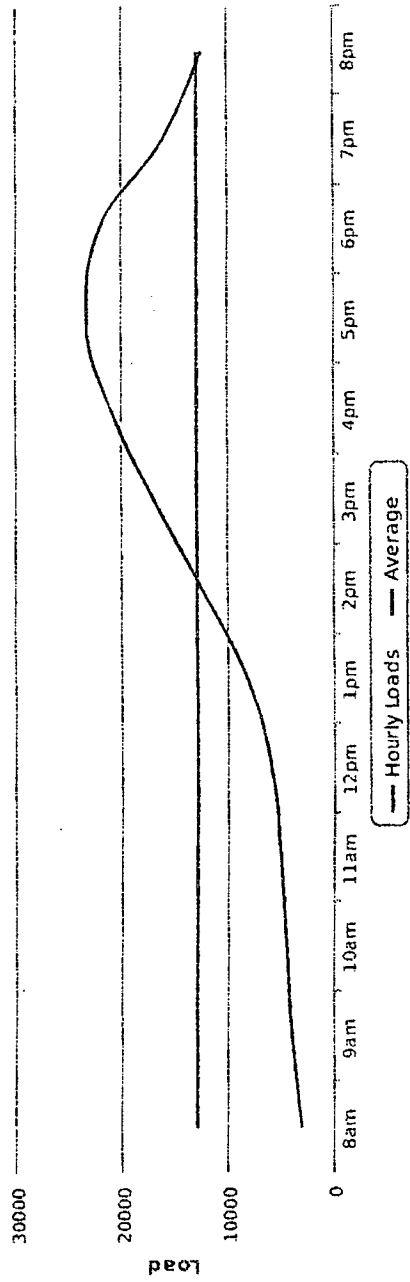
Area	Btuh	% of load
Wall	2973	6.8
Ceiling	1738	10.9
Windows	19383	44.4
Sensible Infiltration	2469	5.7
Latent Infiltration	6513	14.9
System Efficiency Gain	3698	8.6
Internal	3040	7
Sensible People Load	460	1.1
Latent People Load	460	1.1
Total	43643	
Sensible load	36670	
Latent load	6973	
SHR	0.84	
Capacity at 75 SHR	4.07 Tons	





# Adequate Exposure Diversity

AED Graph



## Equipment selection

System equipment selection will be made using the following derived values.

Glass (S) sq. ft.

Glass (W) 201 sq. ft.

Glass (E) sq. ft.

Glass (N) sq. ft.

Summer Outdoor 90°F

Summer Wet Bulb 78°F

Summer Indoor 75°F

Summer Design Grains 50%

Winter Outdoor 47°F

Winter Indoor 70°F

Sensible Cooling 36,670 Btuh

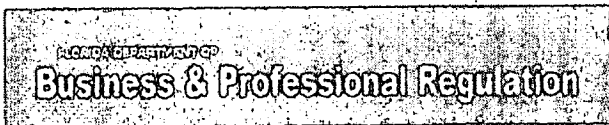
Latent Cooling 6,973 Btuh

Required Cooling Airflow 1,667 CFM

Sensible Heating 42,491 Btuh

Required Heating Airflow 552 CFM

All calculations are based upon approved hvac industry standards and procedures, and comply with all local, state and federal code requirements. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree.



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You may select values for any of the search criteria. Each criteria selected narrows the scope of your search. If you have the FL#, enter the FL# and the appropriate code version of the application and click search. If you are searching for the FL#, select the product manufacturer and the code version and click search. Please note that the default code version is 2007 Florida Building Code which became effective March 1, 2009. In addition to selecting the appropriate code version, you must also select one of either FL#, manufacturer, application status or category to be able to search.

**Search Criteria:**

**Application**

Generate Output       HTML     Crystal Report

Code Version            2010

FL #                      FL  
(Application: ##### or Product: #####)

Application Type        (Select All)

Product Manufacturer    RM Enterprises, Inc.

Category                (Select All)

Subcategory            (Select All)

Application Status      (Select All)

Compliance Method    (Select All)

Quality Assurance Entity

Contract Expired

**Product**

Product Model, Number or Name

Product Description

Approved for use in HVHZ    (Select All)

Approved for use outside HVHZ (Select All)

Impact Resistant            (Select All)

Design Pressure            +      /      -       N/A

Other

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FL #	FL15750
Application Type	New
Code Version	2010
Application Status	Approved
Comments	
Archived	<input type="checkbox"/>
Product Manufacturer	RM Enterprises, Inc.
Address/Phone/Email	352 Tall Pines Rd. Suite A-1 West Palm Beach, FL 33413 (561) 682-1225 raymanucy@aol.com
Authorized Signature	Ray Manucy raymanucy@aol.com
Technical Representative	
Address/Phone/Email	
Quality Assurance Representative	
Address/Phone/Email	
Category	Structural Components
Subcategory	Anchors
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received
Florida Engineer or Architect Name who developed the Evaluation Report	Denis K. Solano
Florida License	PE-PE-56902
Quality Assurance Entity	Keystone Certifications, Inc.
Quality Assurance Contract Expiration Date	12/31/2016
Validated By	Steven M. Urich, PE <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received
Certificate of Independence	<a href="#">FL15750_R0_COI_Certification_of_Independence.pdf</a>
Referenced Standard and Year (of Standard)	
Equivalence of Product Standards Certified By	
Sections from the Code	1609 1620



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**Search Criteria**

[Refine Search](#)

Code Version	2010 FL#	ALL
Application Type	ALL Product Manufacturer	RM Enterprises, Inc.
Category	ALL Subcategory	ALL
Application Status	ALL Compliance Method	ALL
Quality Assurance Entity	ALL Quality Assurance Entity Contract Expired	ALL
Product Model, Number or Name	ALL Product Description	ALL
Approved for use in HVHZ	ALL Approved for use outside HVHZ	ALL
Impact Resistant	ALL Design Pressure	ALL
Other	ALL	

**Search Results - Applications**

FL#	Type	Manufacturer	Validated By	Status
<a href="#">FL3203-R3</a> <a href="#">History</a>	Revision	RM Enterprises, Inc. <b>Category:</b> Structural Components <b>Subcategory:</b> Pre-engineered AC Stands	Steven M. Urich, PE (717) 932-8500	Approved
<a href="#">FL7215-R2</a> <a href="#">History</a>	Revision	RM Enterprises, Inc. <b>Category:</b> Structural Components <b>Subcategory:</b> Pre-engineered AC Stands	Steven M. Urich, PE (717) 932-8500	Approved
<a href="#">EL15750</a>	New	RM Enterprises, Inc. <b>Category:</b> Structural Components <b>Subcategory:</b> Anchors	Steven M. Urich, PE (717) 932-8500	Approved

\*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.

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Product Approval Method Method 2 Option B

Date Submitted 06/27/2012  
 Date Validated 06/28/2012  
 Date Pending FBC Approval 07/01/2012  
 Date Approved 08/07/2012

**Summary of Products**

FL #	Model, Number or Name	Description
15750.1	RM Tie Down Clips	Steel Tie Down Clip System for use with Mechanical Equipment at Roof or Grade
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: N/A Other: Design pressures for various configurations are given in the Installation instructions.		<b>Installation Instructions</b> <a href="#">FL15750_R0_IL_Tie_Down_Clip_Install.pdf</a> Verified By: Denis K. Solano PE-56902 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL15750_R0_AE_Revised_Eval.pdf</a> Created by Independent Third Party: Yes

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**TABLE # 1. CLIP SELECTION (GROUND APPLICATION)**

**RM-1"x4" / 1"x6" 8" GALV. STEEL CLIP TIE-DOWN SCHEDULE FOR GROUND APPLICATION ONLY**

MAXIMUM SURFACE AREA OF UNITS LARGEST FACE	MAXIMUM UNITS WIDTH	MAXIMUM UNITS HEIGHT	CONNECTION DETAIL APPLICABLE TO EACH SUBSTRATE CONDITIONS		
			(2) CLIP AT 2' CORNER TOTAL OF 8 CLIPS/UNIT	CONNECTION TO CONC. SUBSTRATE	CONNECTION TO STEEL SUBSTRATE
16 SQ FT	36" MAX	48" MAX	SEE DETAIL 'B' ON 5-3 SEE GEOMETRIC '1' ON 5-2	NA	NA

**TABLE # 2. CLIP SELECTION (GROUND & ROOF TOP APPLICATIONS H < 15 FT)**

**RM FB-2x4 & FB-2x6 GALV. STEEL CLIP TIE-DOWN SCHEDULE FOR GROUND & ROOF TOP APPLICATIONS (H ≤ 15 FT)**

MAXIMUM SURFACE AREA OF UNITS LARGEST FACE	MAXIMUM UNITS WIDTH	MAXIMUM UNITS HEIGHT	CONNECTION DETAIL APPLICABLE TO EACH SUBSTRATE CONDITIONS		
			(2) CLIP AT 2' CORNER TOTAL OF 8 CLIPS/UNIT	CONNECTION TO CONC. SUBSTRATE	CONNECTION TO STEEL SUBSTRATE
16 SQ FT	48" MAX	48" MAX	SEE DETAIL 'B' ON 5-3	SEE DETAIL 'C' ON 5-3	SEE DETAIL 'D' ON 5-3

NOTE: 1. 1/4" MIN. RISE ONLY TECH.

**TABLE # 3. CONNECTION TO BASE SUBSTRATE (GROUND & ROOF TOP APPLICATIONS H < 15 FT)**

**BASE ANCHOR SCHEDULE FOR RM FB-2X4 & FB-2X6 TIE DOWN CLIPS**

SUBSTRATE	ANCHOR TYPE
ALUMINUM 10-125 MIN. THICK, 106-116 MIN. ALUM.	(2)-1/4" -20 GALV. Kwik-FLEX SELF DRILLING SCREWS BY MILT. SEE DETAIL 'C' 5-2.
STEEL 10-125 MIN. THICK, 33 MIN. ALUM.	(2)-1/4" -20 GALV. Kwik-FLEX SELF DRILLING SCREWS BY MILT. SEE DETAIL 'D' 5-2.
CONCRETE (4" THICK MIN, 3000 PSI MIN.)	(2)-1/4" Ø GALV. ITW BURDEX TAPCONS W/ 1 1/2" MIN. EMB. SEE DETAIL 'B' 5-2.

**TABLE # 4. CONN. TO CONC. BASE SUBSTRATE (GROUND APPLICATIONS ONLY)**

**ANCHOR SCHEDULE FOR CONC. SUBSTRATE APPLICATIONS RM 1"x4" & 1"x6" 8" GALV. CLIPS**

SUBSTRATE	ANCHOR TYPE
CONCRETE (4" THICK MIN, 3000 PSI MIN.)	(1)-1/4" Ø GALV. ITW BURDEX TAPCONS W/ 1 1/2" MIN. EMB. SEE DETAIL 'B' 5-2.

**TABLE # 5**

**WIND DESIGN CRITERIA BASED ON BLDG HEIGHT & WIND VELOCITY.**

(H) HEIGHT FROM GRADE TO TOP OF ROOF LEVEL OR UNIT BASE

WIND VELOCITIES (W)	ASCE-10	V = 140 MPH	V = 170 MPH
		H ≤ 15 FT (0.6M)	H ≤ 1.00 FT (0.6M) (GROUND APPLICATIONS)
INLAND	LATERAL	69.9 PSF (41.94 PSF)	77.35 PSF (46.41 PSF)
	UPLIFT	50.57 PSF (30.34 PSF)	N/A
COASTAL (C)	LATERAL	N/A	94.0 PSF (56.4 PSF)
	UPLIFT	N/A	N/A

(1) COASTAL CONDITIONS SHALL APPLY TO BUILDING LOCATED INLAND FROM THE SHORE LINE FOR A DISTANCE UP TO 660 FT OR AS DEFINED BY MUNICIPALITIES.

**GENERAL NOTES:**

- THIS PRODUCT HAS BEEN DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE W/ THE REQUIREMENTS OF THE 2010 F.B.C. & ASCE 7-10 USING WIND PRESSURES AS SHOWN ON TABLE #5 FOR 0.G.W. AND FACTORED BY 1.9 WHEN APPLICABLE. SEE STAND SELECTION PROTOCOL ON THIS SHEET.
- LIMITATION OF USE:
  - GROUND APPLICATION: USE RM FB-2x4 & FB-2x6 AND RM-1x4 & RM-1x6/8 AT COASTAL & INLAND GROUND APPLICATIONS WITH WIND VELOCITIES VS 170 mph. (SEE GROUND APPLICATION DETAILS ON 5-2).
  - ROOF TOP APPLICATION: USE RM FB-2x4 & RM-2x6 AT ROOF TOP APPLICATIONS LIMITED TO BLDG ROOF HEIGHT ≤ 15 FT. LOCATED ON INLAND AREAS ONLY W/ VS ≤ 140 mph. (SEE TYPICAL ROOF TOP CONNECTION DETAILS 'B', 'C' & 'D' ON 5-3).
- MAXIMUM & MINIMUM DIMENSIONS AND MINIMUM WEIGHT OF MECHANICAL UNIT SHALL CONFORM TO SPECIFICATIONS SHOWN HERE IN ON THE TYP. MECH. UNIT TIE DOWN ISOMETRICS ON 5-2 AND CONNECTION DETAILS ON 5-3.
- ALLOWABLE DESIGN PRESSURES USED TO QUANTIFY CAPACITY OF CLIPS AS LISTED HERE IN TABLE # 6 AND DETERMINED THROUGH RATIONALLY ANALYSIS. CLIPS SHALL BE TESTED TO CHECK FOR CONSISTENCY W/ EACH CALCULATIONS PERFORMED.
- ALL CONCRETE SPECIFIED HEREIN IS NOT PART OF THIS CERTIFICATION, AS A MINIMUM, ALL CONCRETE SHALL BE STRUCTURAL CONCRETE 4" MIN. THICK AND SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI, UNLESS NOTED OTHERWISE.
- ALL STEEL CLIPS SHALL BE ASTM 529 STEEL (GRADE D) W/ Fy=50 KSI OR BETTER. ALL STEEL MEMBER SHALL BE PROTECTED AGAINST CORROSION W/ AN APPROVED COAT OF PAINT, ENAMEL OR OTHER APPROVED PROTECTION IN ACCORDANCE W/ THE 2010 F.B.C. SECTION 2203.2 AND 2220 G90-RATED COATING REQUIRED FOR ALL COASTAL INSTALLATIONS.
- SEE ANCHOR SCHEDULE (TABLE # 3, & TABLE # 4) FOR ANCHOR REQUIREMENTS. ALL FASTENERS SHALL HAVE APPROPRIATED CORROSION PROTECTION TO PREVENT ELECTROLYSIS.
- THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIMILAR MATERIALS TO PREVENT ELECTROLYSIS.
- THE ADEQUACY OF ANY EXISTING STRUCTURE TO WITHSTAND SUPERIMPOSED LOADS SHALL BE VERIFIED BY THE ON SITE DESIGN PROFESSIONAL AND IS NOT INCLUDED IN THIS CERTIFICATION. CONTRACTOR SHALL HIRE THE SERVICES OF FLORIDA PROFESSIONAL ENGINEER.
- WATERPROOFING OF EXISTING SUBSTRATE SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR.

**DESIGN CRITERIA:**

-WIND CALC AS PER ASCE 7-10.  
 -V = 170 mph / 140 mph. SEE LIMITATION OF USE ON GENERAL NOTES #2.  
 -Kd = 0.90  
 -GCF = 3.1 (LATERAL)  
 -GCF = 1.5 (UPLIFT)

**STAND SELECTION PROTOCOL:**

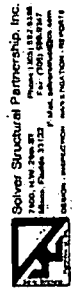
- DETERMINE WHETHER YOUR UNIT WILL BE LOCATED ON A GROUND CONCRETE SLAB, GROUND MOUNTED ALUM/STEEL/CONC. STAND OR OVER A ROOF W/ A MAX. HEIGHT . < 15 FT. SEE TABLE #1 & #2 FOR APPLICABLE CLIP SELECTION BASED ON UNIT SIZE & TYPE OF ALUM/STEEL/CONC. SUBSTRATE.
- FOR GROUND CONC. SLAB APPLICATIONS ONLY YOU MAY SELECT ONE OF THE TWO TIE DOWN CLIP PATTERN AS SHOWN ON 5-2/DETAIL '1' & '2' BASED ON THE TYPE OF CLIP SELECTED ON STEP #1
- FOR ROOF TOP AND GROUND MOUNTED STAND APPLICATION, SELECT THE CORRESPONDING APPLICABLE DETAIL 'B', 'C' OR 'D'. FROM TABLE #2. (SEE ALSO INSTALLATION DETAIL ON 5-3).

**CLIP TIE-DOWN SCHEDULE NOTES:**

- TIE-DOWN CLIPS SHALL BE FASTENED TO MECH. HOUSING UNIT W/ (3) OR (4)-1/4" -20 GALV. KWIK-FLEX SELF DRILLING SCREWS BY MILT. SEE DETAILS ON 5-3.
- MECH. HOUSING UNIT SHALL CONFORM TO THE FOLLOWING:
  - ALUM. HOUSING UNITS SHALL BE 5052-1132 MIN. ALUM. SHEET W/ Fy=30 KSI 0.0598" MIN. THICKNESS (16 GA.)
  - STEEL HOUSING UNITS SHALL BE 33 KSI MIN. STEEL, GRADE (22 GA MIN.) (t=0.0299")
- RM FB 2X4 & 2X6 TIE DOWN CLIPS SHALL NOT BE USED FOR BLDG HEIGHTS IN EXCEED OF 15 FT. SEE LIMITATION OF USE IN GENERAL NOTE #2.
- RM 1"x4" & 1"x6" 8" TIE DOWN CLIPS SHALL BE USED ONLY ON GROUND APPLICATIONS WITH WIND VELOCITIES VS ≤ 170 mph. SEE LIMITATION OF USE IN GENERAL NOTE #2.

06/26/16  
 Denis K. Solano  
 P.E. 5612

CONSULTANTS:



CLIENT: ENTERPRISES OF THE SE, INC.  
 352 TALL PINES ROAD SUITE A-1  
 WEST PALM BEACH, FLORIDA 33413  
 PROJECT: MECHANICAL UNIT STEEL TIE-DOWN CLIPS

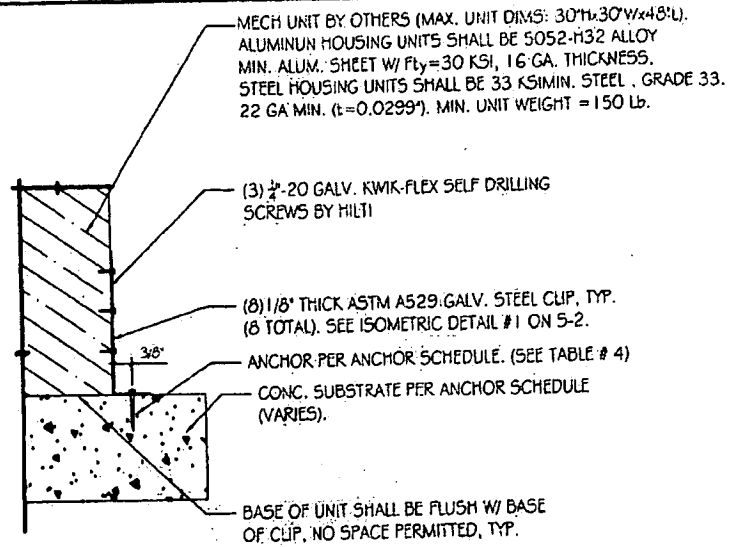
DATE: 01-20-2017  
 DATE: 2017  
 NAME: A.S.D.  
 PROJECT: P.K.S.  
 PROJECT NO:

Sheet No.

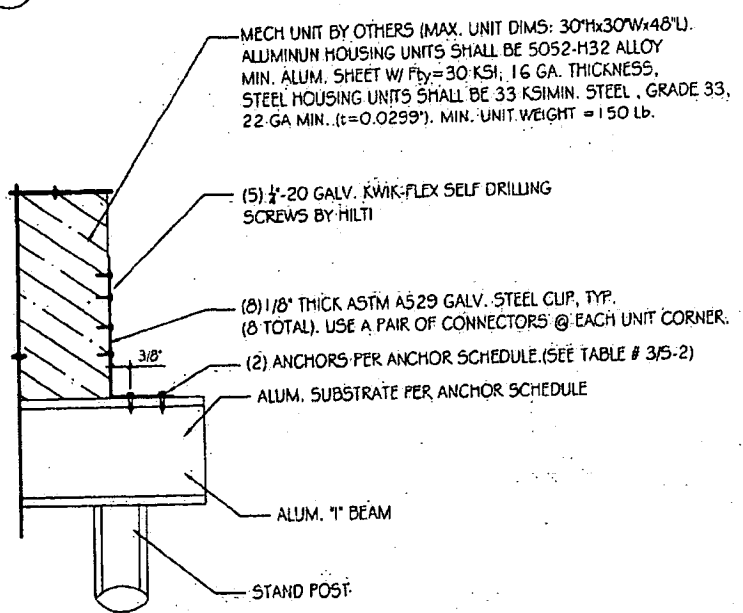
1  
 of 3



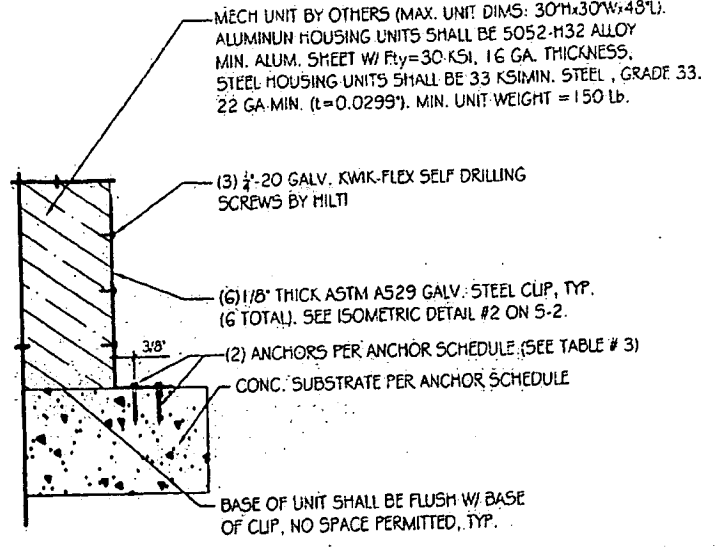




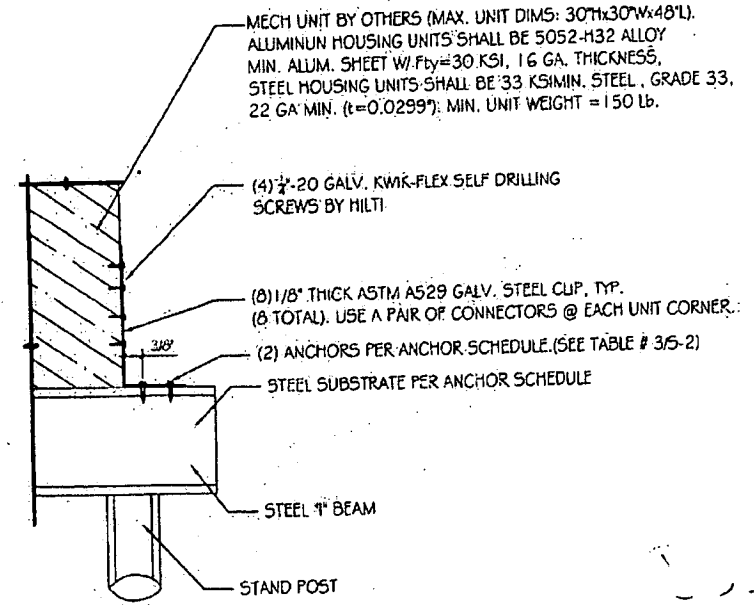
**A** 1" TIE-DOWN CLIP ANCHOR DETAIL TO CONC. (GROUND APPLICATION ONLY).  
SCALE: 3" : 1"



**C** 2" TIE-DOWN CLIP ANCHOR DETAIL TO ALUM. SUBSTRATE FOR GROUND APPLICATION AND BLDG HEIGHT ≤ 15FT.  
SCALE: 3" : 1"



**B** 2" TIE-DOWN CLIP ANCHOR DETAIL TO CONC. SUBSTRATE.  
SCALE: 3" : 1"



**D** 2" TIE-DOWN CLIP ANCHOR DETAIL TO STEEL SUBSTRATE FOR GROUND APPLICATION AND BLDG HEIGHT ≤ 15FT.  
SCALE: 3" : 1"


**CONSULTANTS:**

Solve Structural Partnership, Inc.  
392 TALL PINES ROAD SUITE 413  
WEST PALM BEACH, FLORIDA 33413  
Phone: (561) 836-8387  
Fax: (561) 836-8387  
www.solvestructural.com

**CLIENT:**  
R. M. ENTERPRISES OF THE SE, INC.  
392 TALL PINES ROAD SUITE 413  
WEST PALM BEACH, FLORIDA 33413

**TITLE:**  
MECHANICAL UNIT-STEEL TIE-DOWN CLIPS

DATE	01-20-2012
DESIGN	2012
DRAWN	ASG
CHECKED	D.K.S.
PROJECT NO.	

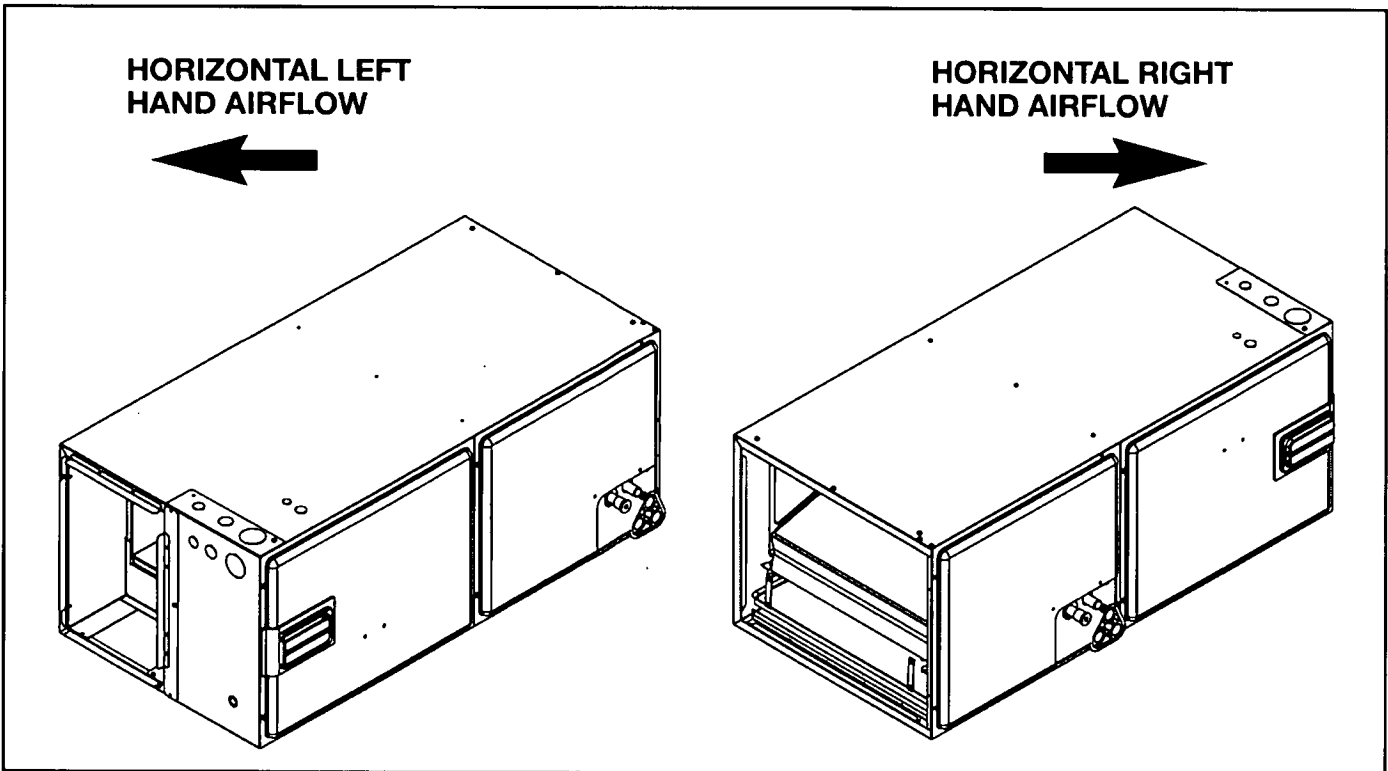
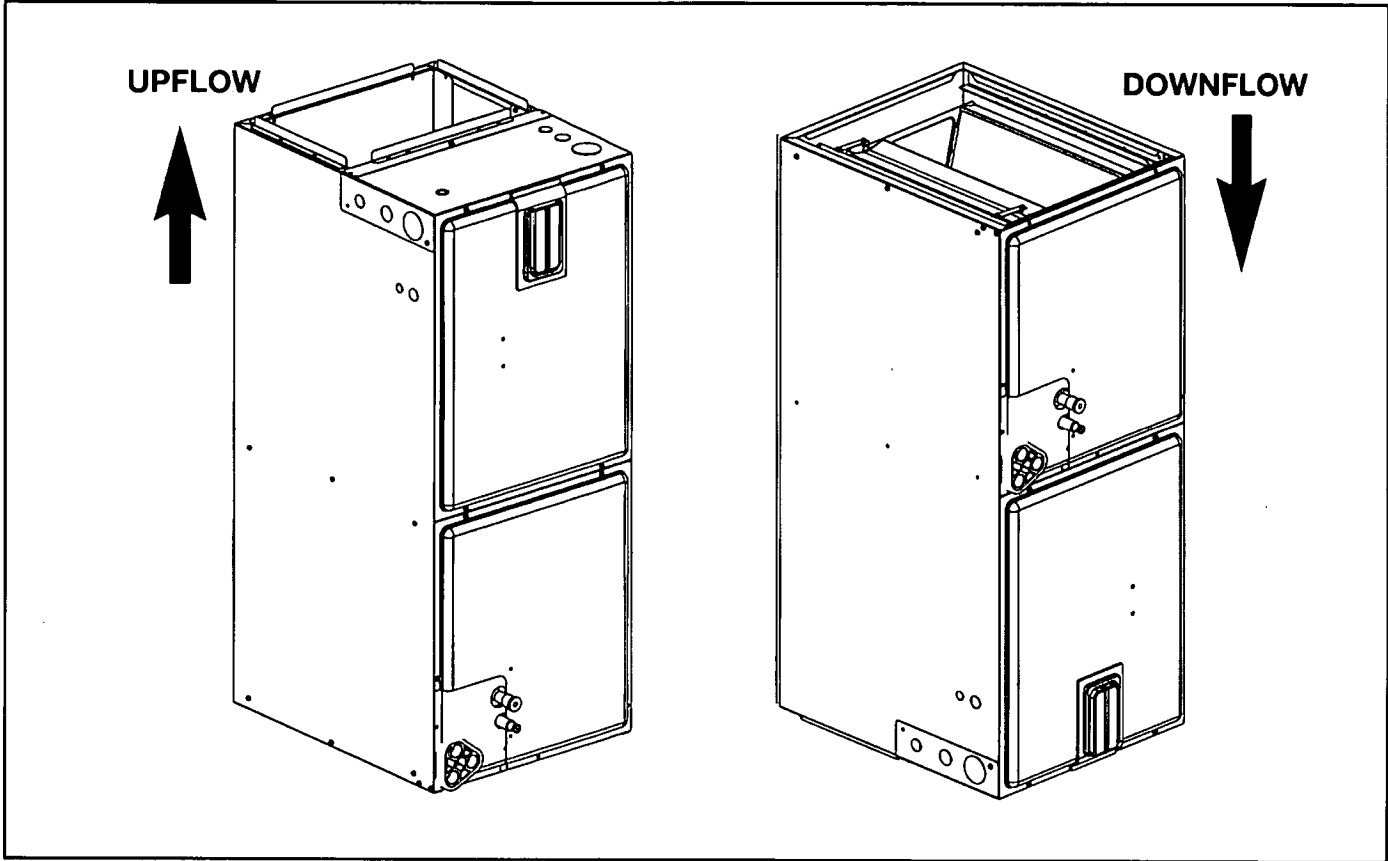
Sheet No.

**3**

3 of 3

Denis K. Solano  
P.E. 56902 S.I. 2046

### Airflow Directional Data





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel: 772-287-2455 Fax 772-220-4765

**FLORIDA ENERGY CONSERVATION CODE**  
**Mandatory Duct Inspection Certification for HVAC change-out**

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: \_\_\_\_\_ Contractor name: \_\_\_\_\_

Street address: \_\_\_\_\_ Jurisdiction: \_\_\_\_\_

City: \_\_\_\_\_ Permit No.: \_\_\_\_\_

Zip: \_\_\_\_\_ Final inspection date: \_\_\_\_\_

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

\_\_\_\_\_ Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.

\_\_\_\_\_ Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)

\_\_\_\_\_ The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)

\_\_\_\_\_ System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Contractor License #: \_\_\_\_\_

-----  
I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
\_\_\_\_\_

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

7-3-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10469	<del>S...</del>	<del>Final Ac</del>		
9AM	30 Lofting Way Galvanized Ac		Pass	Inspector fl
10440	R. Fuchalski <del>Freedom Home</del> 6 Banyan Freedom Home	Final Beams	Pass	Inspector of
10480	SHARFI 73 N. Sumner Rd W...	Columns/Beams Slab		Inspector of
10414	Janson 132 S. River Rd Coastal Coast	FINAL FENCE	Pass	Inspector of
10401	<del>Dougherty</del> <del>Asphalt</del> <del>Asphalt</del>	Final Paver Asphalt	Fair	Risers not to code NEED RAILING Inspector of
10314	Piltch 3 Timor SEA GATE	POOL DECK SLAB	Pass	Inspector of
				INSPECTOR