

# **3 Mandalay Road**

**319**

**SFR**

TOWN OF SEWALL'S POINT - FLORIDA

Application For Building Permit

Owner RICHARD & GAIL TREVISAN Present Address STUART FLA - RT 3 BOX 766 Phone 2878554

Architect PAUL HENDERSON Address JENSEN BEACH FLA

General Contractor RICHARD TREVISAN Address RT 3 BOX 766 Phone 2878554

Where Licensed \_\_\_\_\_ License No. \_\_\_\_\_

Plumbing Contractor AJAX PLUMBING Where Licensed MARTINCO No. 38

Electrical Contractor ALDINE ELEC Where Licensed MORTINCO No. 62

Property Location MANDALAY SUB. DIV Subdivision \_\_\_\_\_ Lot No. 14

Lot Dimensions 206.24 X 118.0 Lot Area \_\_\_\_\_ Sq. Ft. 24,308

Purpose of Building SINGLE FAMILY Type of Construction CBS

Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)

Outside of Walls 2146 Inside of Walls 2100

Street or Road building will front on MANDALAY RD

Clearances - Front 59' Back 93' Side 21.33 Side 20.0 River \_\_\_\_\_

Well Location NONE Septic Tank Location FRONT YARD

Building elevation (By Ordinance Definition) 24" CENTER OF STREET

Contract Price (Include Plumbing, Electrical, Air Conditioning) 23,950

PERMIT FEE	New Home	Additions	Others
General (\$ <u>5.00</u> per \$1000 or Fraction)	<u>155.00</u>		
Plumbing (Flat Fee)	<u>\$10.00</u>	<u>\$3.00</u>	
Electrical (Flat Fee)	<u>\$10.00</u>	<u>\$3.00</u>	
Total (To be paid by General Contractor or Owner)	<u>\$175.00</u>		

SIGNED: - General Contractor or Owner Richard Trevisan

Building Inspector Comments: \_\_\_\_\_

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FOR TOWN RECORDS: Date Drawings submitted 2/25/77  
 Date Permit approved 3/6/77  
 Date Permit Fee paid 3/6/77  
 Date First Inspection \_\_\_\_\_  
 Date Final Inspection \_\_\_\_\_  
 Date Occupancy approved \_\_\_\_\_

# 319

**338**

**POOL**

5.00 per 1000

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 338  
Date 6/14/77

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner RICHARD TREVISAN Present Address RT3 Box 266 Ph 287-8554

General Contractor SAME Address \_\_\_\_\_ Ph \_\_\_\_\_

Where licensed \_\_\_\_\_ License No. \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Electrical Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Street building will front on MANDALAY

Subdivision MANDALAY Lot No. 14 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft \_\_\_\_\_

Other Construction (Pools, additions, etc.) POOL

Contract Price (excluding land, rugs, appliances, landscaping) \$2000.00

Total cost of permit \$ 2000.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Richard Trevisan  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Richard Trevisan  
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

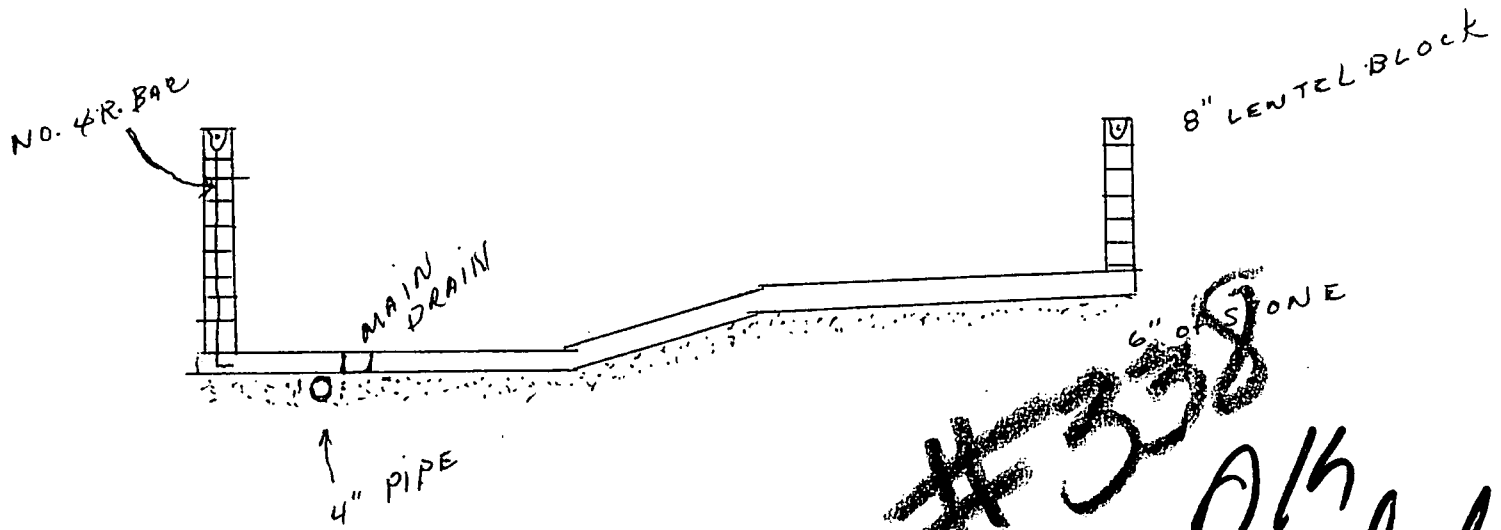
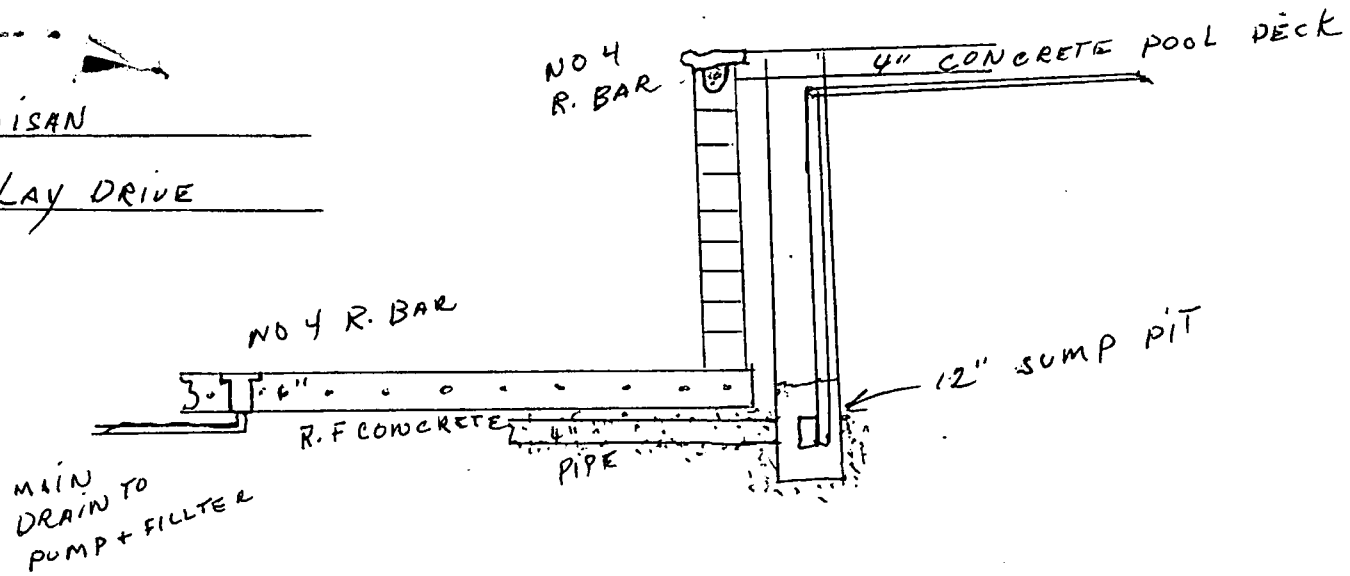
Date submitted 6/12/77

Date approved 6/12/77

Certificate of Occupancy issued \_\_\_\_\_ Date \_\_\_\_\_

POOL FOR TREVISAN

LOT 14 MANDALAY DRIVE



#338

0/15 Charles Danza

been had copy

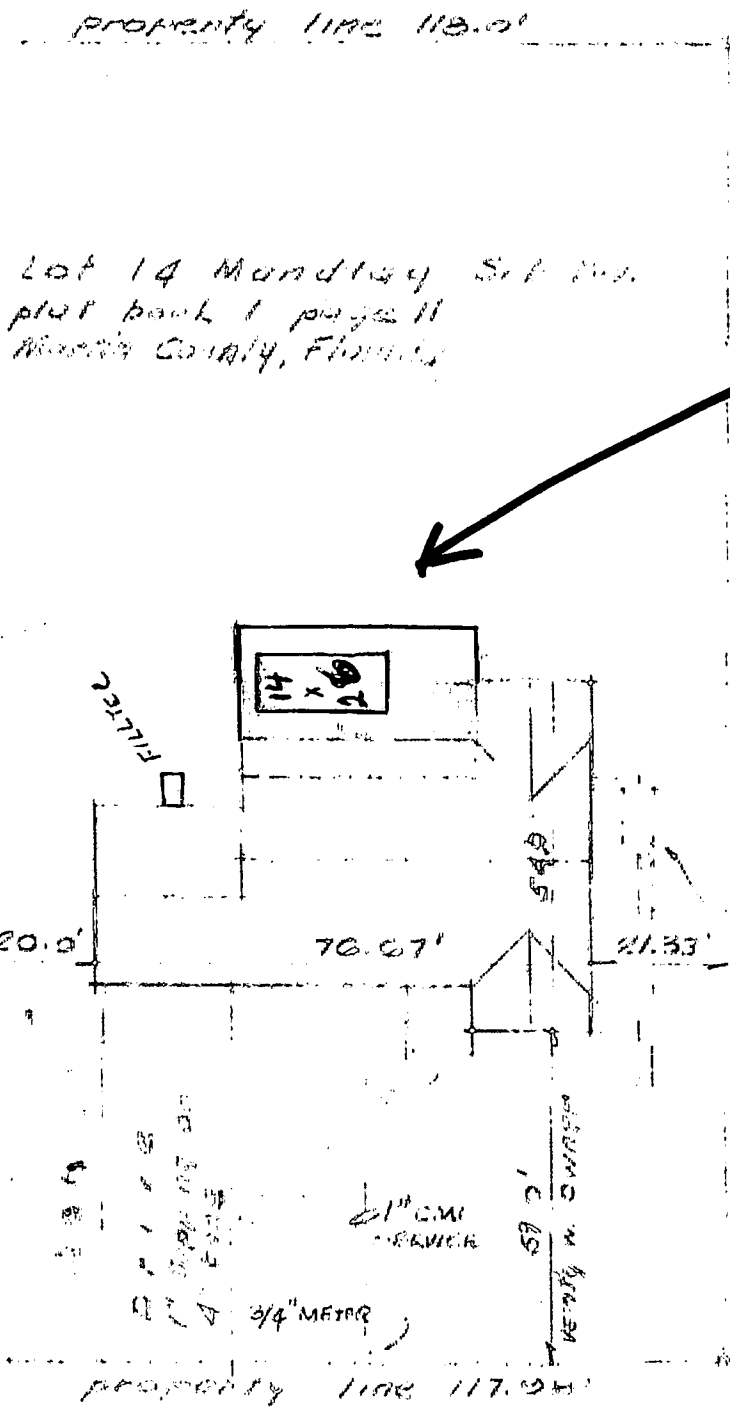


# Conquistador

Club and Apartment Homes

2200 St. Lucie Boulevard, Stuart, Florida 33494 · Phone: 287-8818



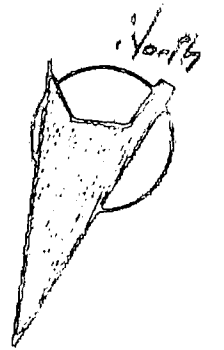


Pool added  
6/7/72

OK with C  
6/7/72

pool  
OK

Charles Dwyer



MANDALAY ROAD 40' R/W

MANDALAY RD  
10' R/W

Sept. 1, 1972  
DISTANCE TO POOL TO BE 10' FROM  
PROPERTY LINE



**1494**

**FENCE**

---

RECEIVED

JUL 13 1982

TOWN OF SEWALL'S POINT FLORIDA

1494

Permit No. \_\_\_\_\_

Date 7/8/82

Ans'd  
APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner Michael Hoffman Present address 3 Mandalay Dr.

Phone \_\_\_\_\_

Contractor Martin Fence Co. Address 1125 Old Dixie Hwy.

Phone 334-0000 Lake Park, Fla. 33403

Where licensed Martin Co. License number 00056

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 350' of 5' Chain Link Fence

State the street address at which the proposed structure will be built:

above

Subdivision MANDALAY Lot No. 14

Contract price \$ 1,300.00 Cost of Permit \$ ~~210.00~~ 10.00

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor \_\_\_\_\_

Robert L. Greene

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

X Owner [Signature]

TOWN RECORD Date submitted \_\_\_\_\_

Approved: [Signature] 7/19/82

Building Inspector

Date

Approved: [Signature] 7/23/82

Commissioner

Date

Final Approval given: [Signature]

Date

Certificate of Occupancy issued [Signature]

Date

SP/1-79

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

# MARTIN FENCE CO.

Serving: Martin, Palm Beach, St. Lucie Counties

1125 OLD DIXIE HWY., LAKE PARK, FLORIDA 33403

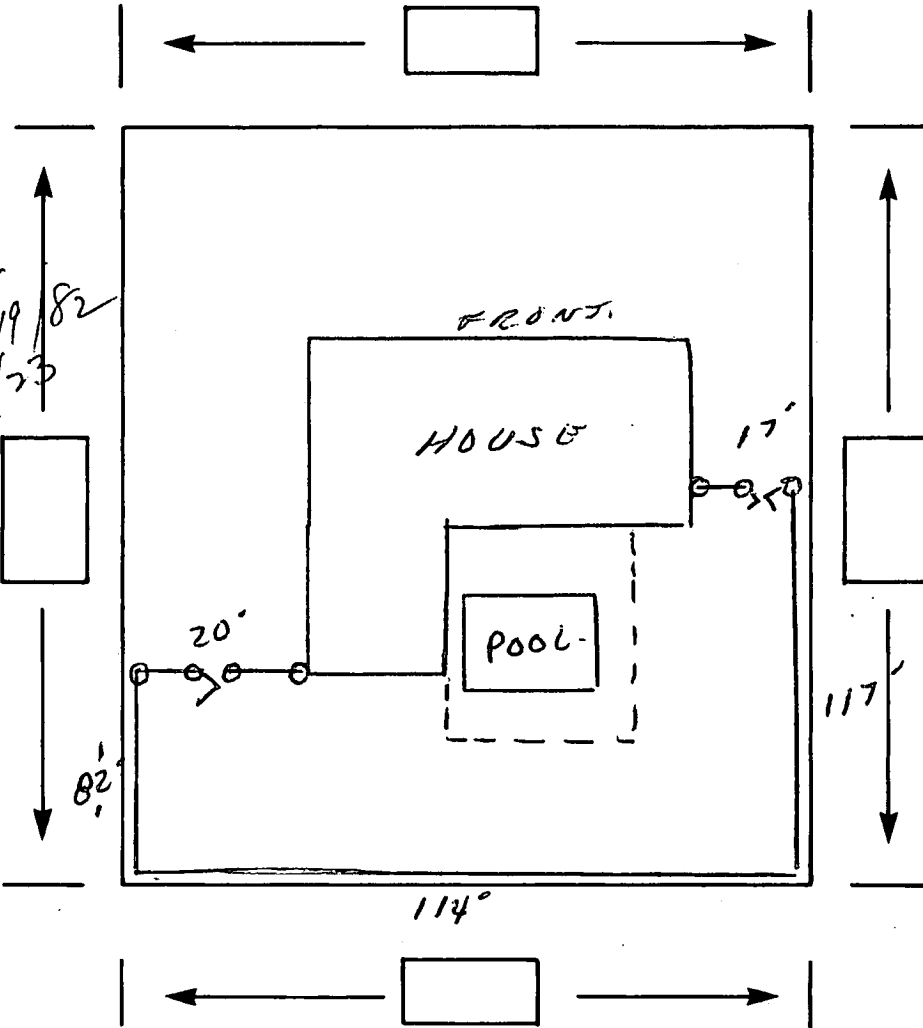
Palm Beach 848-2666  
Martin/St. Lucie 334-0000

Plans drawn by: Ross Young  
Name of Property Owner: Michael Hoffman



BUILDING & ZONING ADMINISTRATION  
Plot Plan

North Arrow



RECEIVED  
JUL 13 1982

Ans'd: JW 7/19/82  
8 7/27

Approval of these plans in no way  
relieves the contractor or builder of  
complying with the Town of Sewall's  
Point's Ordinances, the South Florida  
Building Code and the State of Florida  
Model Energy Efficiency Building Code.

ST., TERR., AVE., CT., PL.

No Scale

Legal: Lot No. \_\_\_\_\_ Block No. \_\_\_\_\_

Subdivision \_\_\_\_\_

Section \_\_\_\_\_

Plat Book and Page No. \_\_\_\_\_

- Note:
1. Show existing buildings and additions.
  2. Show distance from property lines to buildings and/or new additions.

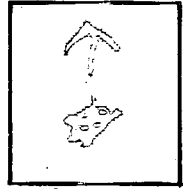
# MARTIN FENCE CO.

Serving: Martin, Palm Beach, St. Lucie Counties

1125 OLD DIXIE HWY., LAKE PARK, FLORIDA 33403

Palm Beach 848-2666  
Martin/St. Lucie 334-0000

Plans drawn by: Ross J. Monte  
Name of Property Owner: Michael H. Johnson



BUILDING & ZONING ADMINISTRATION  
Plot Plan

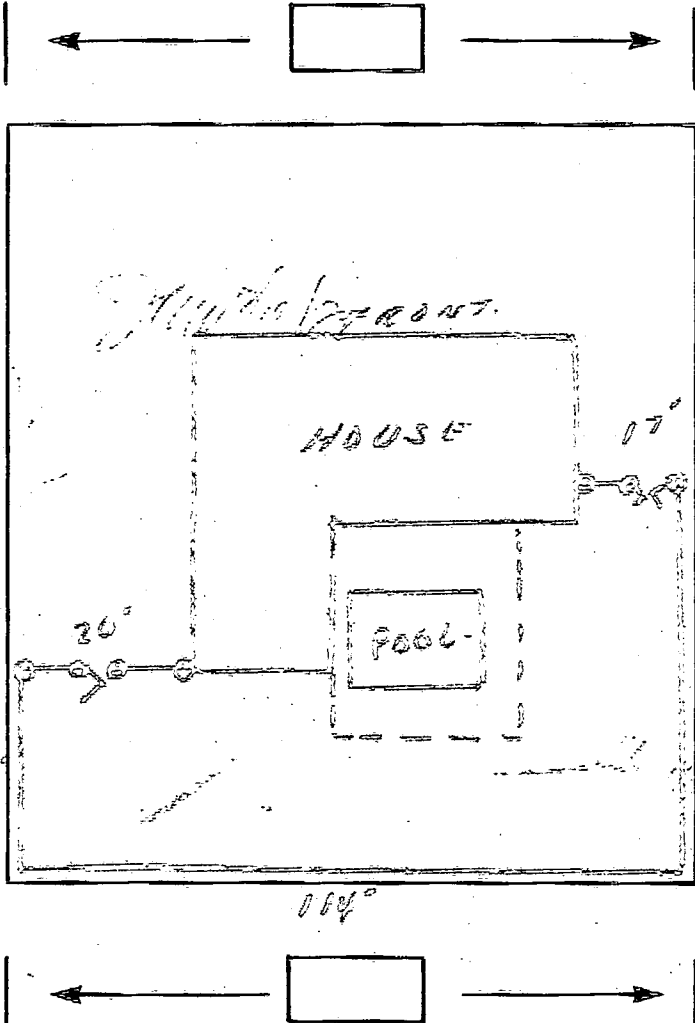
North Arrow

RECEIVED  
JUL 13 1982

App'd.....

*JMM 7/19/82*  
*123/153*

Approval of these plans in no way  
relieves the contractor or builder  
from complying with the Town of Seville's  
Ordinances, the South Florida  
Building Code and the State of Florida  
Model Energy Efficiency Building Code.



ST., TERR., AVE., CT., PL.

No Scale

Legal: Lot No. \_\_\_\_\_ Block No. \_\_\_\_\_

Subdivision \_\_\_\_\_

Section \_\_\_\_\_

Plat Book and Page No. \_\_\_\_\_

- Note:
1. Show existing buildings and additions.
  2. Show distance from property lines to buildings and/or new additions.

**2092**

**CONVERT GARAGE**

**TO**

**ROOM**

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Permit No. 2092

Date 9/30/87

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Randy Haisfield Present Address 3 Mandalay Rd.

Phone 283-2095 / 287-2416

Contractor William Christianson Address 3725 SE Ocean Blvd

Phone 287-2416 Stuart, FL 34996

Where licensed Florida License number C6C 034812

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Convert Garage into Room

State the street address at which the proposed structure will be built:

3 Mandalay Rd

Subdivision Mandalay Lot number 14 Block number \_\_\_\_\_

Contract price \$ 2,000 Cost of permit \$ 20XX

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor William Christianson  
C6C 034812

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Randy Haisfield

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: \_\_\_\_\_  
Building Inspector Date

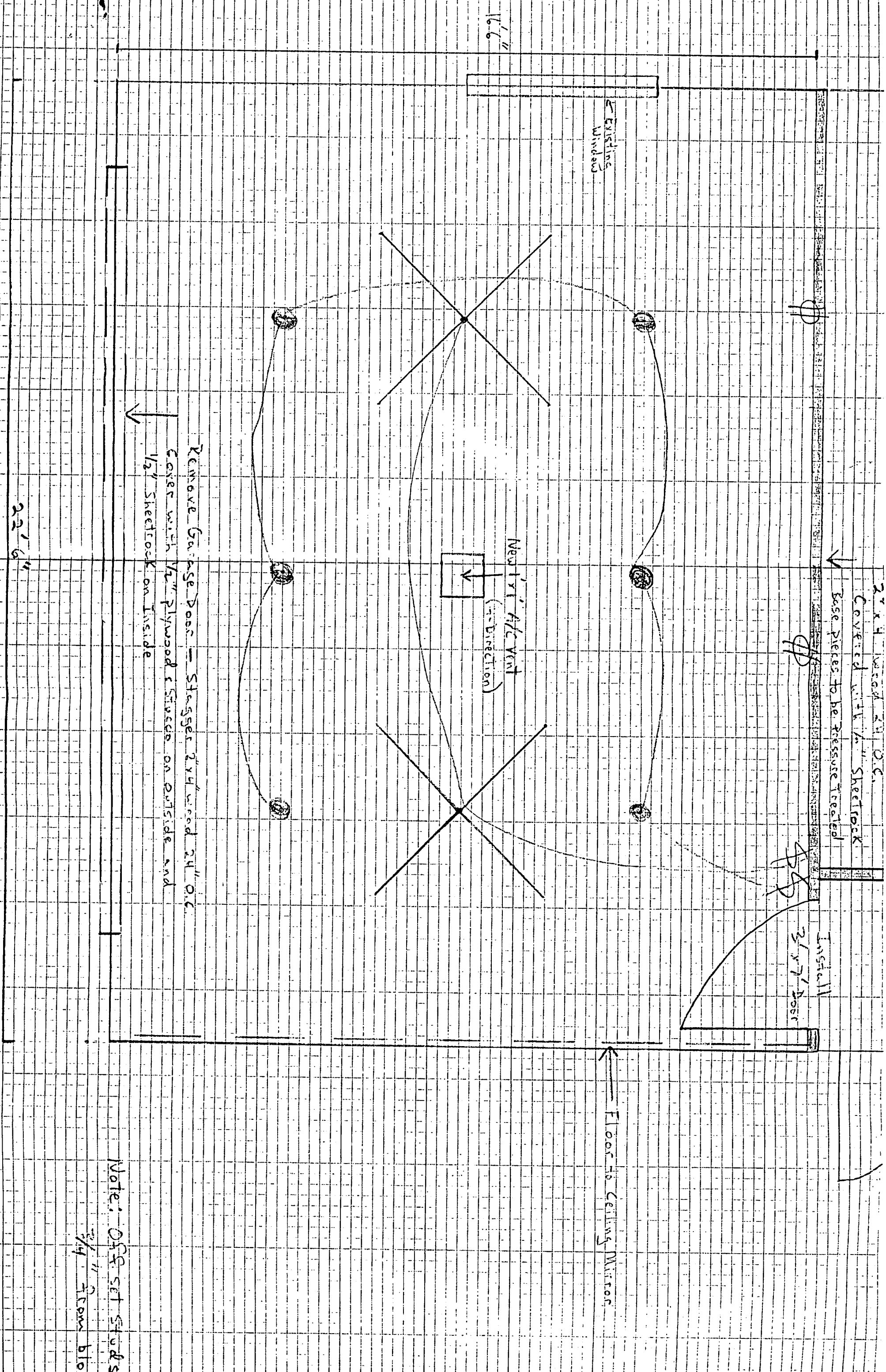
Approved: \_\_\_\_\_ Date Final Approval given: \_\_\_\_\_  
Commissioner Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



Note: OSB set studs  
3/4" from block

**3609**

**REPLACE CEMENT ROOF**

**WITH**

**TILE ROOF**

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TAX FOLIO NO 3609

DATE 5/16/94

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mr. + Mrs Tom Sanders Present address 3 Mandalay Rd.

Phone (407) 221-9226 Stuart, Fl

Contractor Total Roofing Systems, Inc Address P.O. Box 876 3600 Candice Ave

Phone (407) 334-2725 Jensen Beach, Fl 34958

Where licensed State of Fl. License number CC C056811

~~Electrical Contractor~~ License number \_\_\_\_\_

~~Plumbing Contractor~~ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: remove cement tile roof - replace w. th galvalume metal roof

State the street address at which the proposed structure will be built:

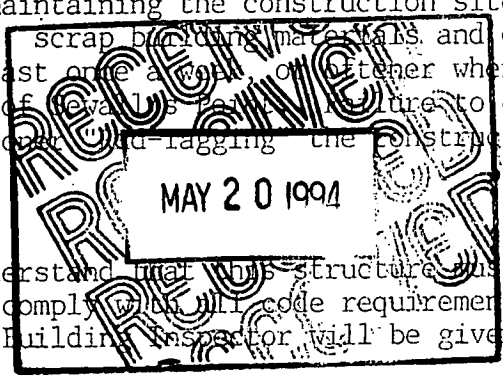
existing 1 family residence - parcel id # 13-38-41-004-000-00140-40000

Subdivision Mandalay Lot Number 14 Block Number \_\_\_\_\_

Contract price \$ 9,950<sup>00</sup> Cost of permit \$ 100.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials, and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner fining or tagging the construction project.



Contractor Robert W. Bratman v.p.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Tom Sanders

TOWN RECORD

Date submitted \_\_\_\_\_

Approved: Dale Brown 5/20/94  
Building Inspector Date

Approved: [Signature] 5/18/94  
Commissioner Date

Final approval given: \_\_\_\_\_  
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) \_\_\_\_\_  
Date

PERMIT NO. \_\_\_\_\_

AC# 2406057

STATE OF FLORIDA

DEPARTMENT OF PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD

DATE	LICENSE NO.	BATCH NO.
05/19/93	CC C056811	92014802

THE CERTIFIED ROOFING CONTRACTOR  
NAMED BELOW IS CERTIFIED  
UNDER THE PROVISIONS OF CHAPTER 489 F.S., FOR THE YEAR  
EXPIRING AUG 31, 1994

BRANTMAN, ROBERT WAYNE  
TOTAL ROOFING SYSTEMS INC  
390 NE TOWN TERRACE  
JENSEN BEACH FL 34957

  
LAWTON CHILES  
GOVERNOR

DISPLAY IN A CONSPICUOUS PLACE

  
GEORGE STUART, JR.  
SECRETARY D.P.R.



FLORIDA ROOFING, SHEET METAL & AIR CONDITIONING CONTRACTORS ASSOCIATION, INC.

# SELF INSURERS FUND

P.O. BOX 4907 • WINTER PARK, FL 32793 • (407) 671-FRSA  
1-800-767-3772 • FAX (407) 671-2520

## CERTIFICATE OF INSURANCE

### ISSUED TO:

MARTIN COUNTY  
CONTRACTORS LICENSING DIVISION  
2401 SE MONTEREY ROAD  
STUART FL 34996

Total Roofing Systems, Inc.  
P.O. Box 876  
Jensen Beach FL 34958

This is to certify that Total Roofing Systems, Inc.  
P.O. Box 876  
Jensen Beach FL 34958

being subject to the provisions of the Florida Workers' Compensation Act, has secured the payment of compensation by insuring their risk with the FLORIDA ROOFING, SHEET METAL & AIR CONDITIONING CONTRACTORS ASSOCIATION SELF INSURERS FUND.

COVERAGE NUMBER:	<u>8-70-30485</u>	<u>LIMITS</u>	
EFFECTIVE DATE:	<u>07/24/92</u>	Workers' Compensation	Statutory - State of Florida
EXPIRATION DATE:	<u>12/31/94</u>	Employers' Liability	\$100,000 - Each Accident \$100,000 - Disease, Each Employee \$500,000 - Disease, Policy Limit

REMARKS: Non-cancelable without 30 days prior written notice.

This certificate is not a policy and of itself does not afford any insurance. Nothing contained in this certificate shall be constructed as extending coverage not afforded by the policy(ies) shown above or as affording insurance to any insured not named above.

DATE: 03/24/94

By: *Tom Drake*  
Tom Drake, Administrator  
FRSA-SIF

By: *Dawn D. Keck*  
Dawn D. Keck - SIF Accounts Representative  
FRSA-SIF

**CERTIFICATE OF INSURANCE**

07/15/93

PRODUCER  
**HOGG ROBINSON OF FLORIDA INC**  
 P. O. BOX 2490  
 BOCA RATON, FL  
 33427-2490  
 PHONE 407-241-1177

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**COMPANIES AFFORDING COVERAGE**

INSURED  
**TOTAL ROOFING SYSTEMS, INC.**  
 P.O. BOX 619  
 PALM CITY, FL  
 34990

COMPANY LETTER A **AMERICAN INTERNATIONAL SURPLUS**  
 COMPANY LETTER B **NATIONAL UNION**  
 COMPANY LETTER C  
 COMPANY LETTER D  
 COMPANY LETTER E

> COVERAGES <-----  
 THIS IS TO CERTIFY THAT POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL TERMS, EXCLUSIONS, AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFF DATE	POLICY EXP DATE	ALL LIMITS IN THOUSANDS	
A	<b>GENERAL LIABILITY</b>	<b>CMP857708986</b>	<b>07/03/93</b>	<b>07/03/94</b>	GENERAL AGGREGATE	<b>1000</b>
	<input checked="" type="checkbox"/> COMMERCIAL GEN LIABILITY				PRODS-COMP/OPS AGG.	<b>1000</b>
	<input type="checkbox"/> [ ] CLAIMS MADE [ ] OCC.				PERS. & ADVG. INJURY	<b>50</b>
	<input type="checkbox"/> OWNER'S & CONTRACTORS PROTECTIVE				EACH OCCURRENCE	<b>500</b>
	<input checked="" type="checkbox"/> 2500 DED P.D.				FIRE DAMAGE (ANY ONE FIRE)	<b>50</b>
	<input type="checkbox"/>				MEDICAL EXPENSE (ANY ONE PERSON)	<b>5</b>
B	<b>AUTOMOBILE LIAB</b>	<b>BA1457513</b>	<b>07/03/93</b>	<b>07/03/94</b>	CSL	<b>1000</b>
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (PER PERSON)	
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (PER ACCIDENT)	
	<input checked="" type="checkbox"/> SCHEDULED AUTOS				PROPERTY	
	<input checked="" type="checkbox"/> HIRED AUTOS					
	<input checked="" type="checkbox"/> NON-OWNED AUTOS					
	<input type="checkbox"/> GARAGE LIABILITY					
	<input type="checkbox"/>					
	<b>EXCESS LIABILITY</b>				EACH OCC	AGGREGATE
	<input type="checkbox"/> UMBRELLA FORM					
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM					
	<b>WORKERS' COMP AND EMPLOYERS' LIAB</b>				STATUTORY	EACH ACC DISEASE-POLICY LIMIT DISEASE-EACH EMPLOYEE
	<b>OTHER</b>					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS  
**MODIFIED OCCURRENCE FORM**

> CERTIFICATE HOLDER <-----  
**MARTIN COUNTY CONTRACTORS LICENSING DIVISION**  
 2401 S MONTEREY ROAD  
 STUART, FL  
 34996

CANCELLATION <-----  
 ■ SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.  
 ■ AUTHORIZED REPRESENTATIVE

*[Signature]*

NOTICE OF COMMENCEMENT

STATE OF Florida  
COUNTY OF Martin

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13, Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT. This notice shall be void and of no force and effect if construction is not commenced within 30 days of recordation.

DESCRIPTION OF PROPERTY:

General description of improvements: remove tile roof - install metal roof

Owner: Mr + Mrs Tom Sanders

Address: 3 Mandalay Rd Stuart, FL 34994

Owner's interest in site of the improvement: 100%

Contractor: Total Roofing Systems, Inc.

Address: P.O. Box 876 Jensen Beach FL 34958

Surety (if any): N/A

Address: \_\_\_\_\_

Amount of Bond: \_\_\_\_\_

Lender: N/A

Address: \_\_\_\_\_

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name: Total Roofing Systems, Inc.

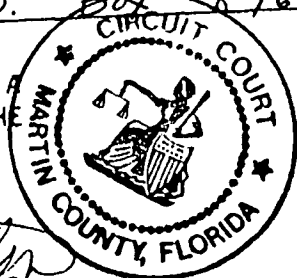
Address: P.O. Box 876 Jensen Beach, FL 34958

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.06(2)(b), Florida Statutes:

Name: Total Roofing Systems, Inc.

STATE OF FLORIDA  
COUNTY OF MARTIN  
Address: P.O. Box 876 Jensen Beach, FL 34958

THIS IS TO CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL.



[Signature]

MARSHA STILLER, CLERK  
BY: [Signature] c.c.

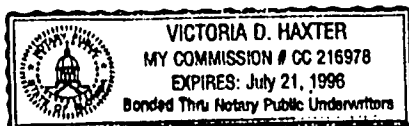
DATE: 5/20/94

Sworn to and subscribed before me this 19th day  
of May, 1994.

Victoria D. Haxter

(NOTARY SEAL)

I am a Notary Public of the STATE OF FLORIDA AT LARGE, and My Commission Expires:



**7981**

**FENCE**

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**TOWN OF SEWALL'S POINT**

Date 12/30/05

BUILDING PERMIT NO. 7981

Building to be erected for SANDERS

Type of Permit FENCE

Applied for by O/B

(Contractor) Building Fee 30.00

Subdivision MANDALAY Lot 14 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 3 MANDALAY ROAD

Impact Fee \_\_\_\_\_

Type of structure FENCE

A/C Fee \_\_\_\_\_

Parcel Control Number:

1338410040060614040000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Amount Paid 30.00 Check # 7251 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Roofing Fee \_\_\_\_\_

Total Construction Cost \$ 500.00

TOTAL Fees 30.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

**PERMIT**

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

**INSPECTIONS**

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

RECEIVED  
12/27/05

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Date: 12/27/05 JEAN+ Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: TOM SANDERS Phone (Day) 772-285-9078 (Fax) \_\_\_\_\_

Job Site Address: 3 MANOALAY RD City: SEWALL'S POINT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) \_\_\_\_\_ Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: REPAIR FENCE / HURRIKANE DAMAGE

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 500<sup>00</sup>/ea  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004  
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
TOM SANDERS

State of Florida, County of: MARTIN

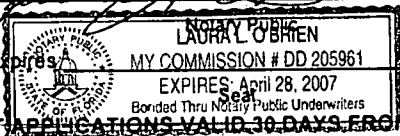
This the 27th day of DECEMBER, 2005

by CORNELIUS THOMAS SANDERS who is personally

known to me or produced FLD # 5536/118-0-060-0

as identification. x2/20/01

My Commission Expires: \_\_\_\_\_



CONTRACTOR SIGNATURE (required)

On State of Florida, County of: \_\_\_\_\_

This the \_\_\_\_\_ day of \_\_\_\_\_ 200

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

As identification. \_\_\_\_\_

Notary Public

My Commission Expires: \_\_\_\_\_

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



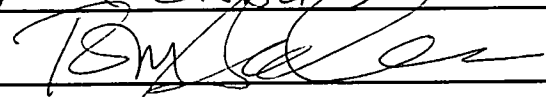
**TOWN OF SEWALL'S POINT**  
**ONE SOUTH SEWALL'S POINT ROAD**  
**SEWALL'S POINT, FLORIDA 34996**

**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
**(To be submitted if permit is to be pulled by Owner/Builder)**

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

**I have read the above and agree to comply with the provisions as stated.**

Name: TOM SANDERS Date: 12/27/05  
Signature:   
Address: 3 HAWKWAY RD  
City & State: STUART FL.  
Permit No. \_\_\_\_\_

# MARTIN FENCE CO.

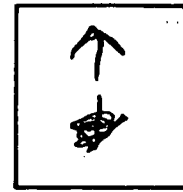
Serving: Martin, Palm Beach, St. Lucie Counties

1125 OLD DIXIE HWY., LAKE PARK, FLORIDA 33403

Palm Beach 848-2666  
Martin/St. Lucie 334-0000

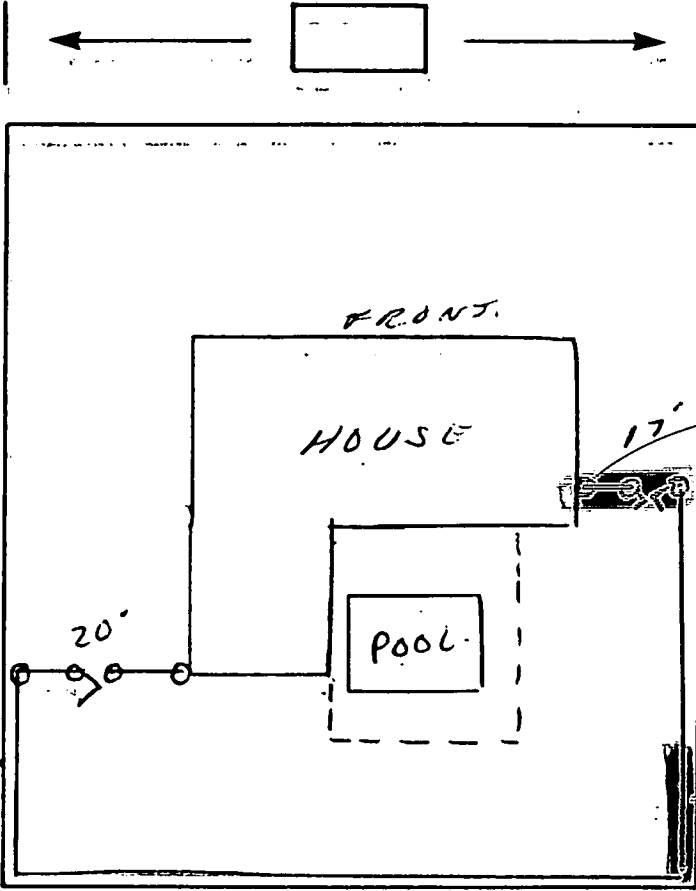
1494

Plans drawn by: Ross Junte  
Name of Property Owner: Michael Hoffman



BUILDING & ZONING ADMINISTRATION  
Plot Plan

North Arrow



RECEIVED

JUL 13 1982

Ans'd

*7/19/82*  
*7/27*

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE: 12/28/06  
[Signature]  
BUILDING OFFICIAL  
Legal: Gene Simmons  
Subdivision: \_\_\_\_\_



ST., TERR., AVE., CT., PL.

No Scale

Block No. \_\_\_\_\_

Section \_\_\_\_\_

Plat Book and Page No. \_\_\_\_\_

- Note:
1. Show existing buildings and additions.
  2. Show distance from property lines to buildings and/or new additions.

# INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE
8213	JENKINS	4 SABLE CT.	DOORS/HOTELIAN PANELS	QAV 5/15/08
8169	CARLTON	6 PERRIWINKLE CIR.	DOCK	QAV 5/15/08
8086	BONIFACE	63 S. RIVER	PILINGS/BOATLIFT	QAV 5/15/08
8084	MASSEY	1 MINDORO	SCREEN ENCL. QAV 5/15	<del>WORK NOT DONE</del>
7911	CLEMENTS	6 MIDDLE RD.	FENCE	QAV 5/15/08
7915	KISSLING	4 MINDORO ST.	DECK BOARDS	QAV 5/15/08
7926	PAINS	62 S.S.P.R.	SIDING	WORK NOT DONE
7936	LEIGHTON	43 W. HIGH PT.	DOCK	WORK NOT DONE
7947	LANGER	3 N.E. COPTING WAY	FENCE	QAV 5/15/08
<del>7981</del>	<del>SANDERS</del>	<del>3 MANDALAY</del>	<del>FENCE</del>	<del>QAV 5/15/08</del>
8001	HICKS	7 MANDALAY	FENCE	QAV 5/15/08
8020	BARNHILL	4 N. RIVERVIEW	FENCE	WORK NOT DONE
7880	SERAFINI	21 N. VIA LUCINDIA	FENCE	WORK NOT DONE FENCE REMOVED
7881	FARROW	47 N. RIVER	DOCK	QAV 5/15/08
7811	DEAN	2 HERITAGE WAY	FILL	QAV 5/15
7674	LEIGHTON	43 W. HIGH POINT	FENCE	FENCE REMOVED WORK NOT DONE
7625	ARMSTRONG	41 W. HIGH POINT	FILL	QAV PASS 5/15/08
7392	ALLMAN	106 S. RIVER	FENCE	QAV 5/15/08

**8952**

**HURRICANE SHUTTERS**

---



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8952	DATE ISSUED:	07/15/2008
SCOPE OF WORK:	HURRICANE SHUTTERS		
CONDITIONS :			
CONTRACTOR:	LOWES HOME CENTER		
PARCEL CONTROL NUMBER:	13384100400000140-4	SUBDIVISION	MANDALAY
CONSTRUCTION ADDRESS:	3 MANDALAY		
OWNER NAME:	SANDERS		
QUALIFIER:	PETER CAFARO	CONTACT PHONE NUMBER:	954-590-2203 X107

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

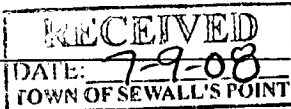
NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number:

Date:

OWNER/TITLEHOLDER NAME: Tom Sanders

Phone (Day) 772-221-9226 (Fax)

Job Site Address: 3 Mandalay Road

City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Mandalay lot 14

Parcel Number: 13-38-41-004-000-00140-4

Owner Address (if different):

City: State: Zip:

Scope of work: Install Panel shutters on 13 openings

WILL OWNER BE THE CONTRACTOR?

If yes, Owner Builder questionnaire must accompany application YES NO

Has a Zoning Variance ever been granted on this property?

Yes (Year) No (Must include a copy of all variance approvals with application)

CONSTRUCTION VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$5,375.74

Notice of Commencement required when over \$2500 - prior to first inspection

Is subject property located in flood hazard area? V A9 A8 X

FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY:

Estimated Fair Market Value prior to improvement:

(Fair Market Value of the Primary Structure only, Minus the land value)

\*\*\* PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION \*\*\*

CONTRACTOR/Company: Lowes Home Centers

Phone: 954-590-2203 Fax: 954-590-2207

Street: 4948 Tellson Place

City: Orlando State: FL Zip: 32812

State Registration Number: 661508417

State Certification Number:

Municipal License Number:

PROJECT SUPERINTENDANT:

CONTACT NUMBER:

ARCHITECT N/A

Lic.#:

Phone Number:

Street:

City:

State:

Zip:

ENGINEER N/A

Lic#

Phone Number:

Street:

City:

State:

Zip:

AREA SQ. FOOTAGE: Living:

Garage:

Covered Patios:

Screened Porch:

Carport:

Total Under Roof

Wood Decks/walkways:

Accessory Building:

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.) National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AUTHORIZED AGENT SIGNATURE (required)

CONTRACTOR SIGNATURE (required)

State of Florida, County of: Martin

On State of Florida, County of: Broward

This the 2 day of July 2008

This the 2 day of July 2008

by Tom Sanders who is personally

by Peter Cafaro who is personally

known to me or produced

known to me or produced

as identification.

WILLIAM H. THOMAS

MY COMMISSION # DD 393653As

EXPIRES: March 23, 2009

My Commission Expires:

My Commission Expires:

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION PER FBC 105.3.4 ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS PER FBC 105.3.2 - PLEASE PICK UP YOUR PERMIT PROMPTLY!

WILLIAM H. THOMAS
MY COMMISSION # DD 393653
EXPIRES: March 23, 2009



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com T1.11

**Summary**

print Owner  
 4 of 36

**Parcel Info Summary**

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
13-38-41-004-000-00140-4	3 MANDALAY RD	27804	Owner	0	1

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

**Summary**  
**Property Location** 3 MANDALAY RD  
**Tax District** 2200 Sewall's Point  
**Account #** 27804  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120200  
**Acres** 0.558

**Legal Description**  
**Property Information**  
 MANDALAY LOT 14

**Search By**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
 SANDERS, CORNELIUS T  
 SANDERS, JEAN DIXON

**Assessment Info**  
**Front Ft.** 0.00

**Recent Sale**  
**Sale Amount** \$195,000

**Mail Information**  
 3 MANDALAY RD  
 STUART FL 34996

**Market Land Value** \$340,000  
**Market Impr Value** \$206,250  
**Market Total Value** \$546,250

**Sale Date** 4/28/1994  
**Book/Page** 1068 1763

**Site Functions**  
**Property Search**

- Contact Us
- On-Line Help
- County Home
- Site Home

NOTICE OF COMMENCEMENT  
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 133841 004 000 001404

STATE OF FLORIDA COUNTY OF MARTIN - 34160

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): #3 Mandalay Rd. Stuart, FL 34996 Mandalay lot 14

GENERAL DESCRIPTION OF IMPROVEMENT: INSTALL HURRICANE PROTECTION

OWNER NAME: TOM SANDERS  
ADDRESS: #3 MANDALAY RD. STUART FL 34996  
PHONE NUMBER: (772) 221-9226 FAX NUMBER: \_\_\_\_\_

INTEREST IN PROPERTY: \_\_\_\_\_

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

CONTRACTOR: LOWES HOME CENTERS  
ADDRESS: 3620 S. FEDERAL HWY. STUART 34997  
PHONE NUMBER: (772) 283-4229 FAX NUMBER: (772) 781-4052

SURETY COMPANY (IF ANY): N/A  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY: N/A  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: N/A  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ FLORIDA STATUTES, TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B).  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
(THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).  
WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER: [Signature]

SIGNATORY'S TITLE/OFFICE \_\_\_\_\_  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 13<sup>th</sup> DAY OF June, 2008

BY: TOM SANDERS AS OWNER FOR \_\_\_\_\_  
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN X OR PRODUCED IDENTIFICATION \_\_\_\_\_

TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_

[Signature]  
NOTARY SIGNATURE

NOTARY SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

[Signature]  
(Signature of Natural Person Signing Above)

NOTARY PUBLIC-STATE OF FLORIDA  
Marybeth Probst  
Commission # DD452672  
Expires: JULY 19, 2009  
Bonded Thru Atlantic Bonding Co., Inc.

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL MARSHA EWING, CLERK



STATE OF FLORIDA  
MARTIN COUNTY

INSTR # 2093394 OR BK 02338 PG 1014 RECD 07/03/2008 10:36:47 AM  
Pg 1014 (189)  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK K Winter.com



# 2004 FLORIDA BUILDING CODE & ASCE 7-02 DESIGN LOADS FOR COMPONENTS AND CLADDING

**WIND VELOCITY=140 MPH  
EXPOSURE 'C'**

**MRH=0-60'**  
BASED ON  $K_d=0.85$   
SEE TABLE NOTES  
FOR ALT Kd

**INTERIOR ZONE 4 PRESSURES**

**EXTERIOR ZONE 5 PRESSURES**

Mean Roof Height	DESIGN PRESSURES (PSF) - Zone 4									
	Tributary Area (Sq Ft)									
	10	15	20	25	30	35	40	45	50	
0-15 ft	-46.3	-45.2	-44.4	-43.8	-43.3	-42.9	-42.5	-42.2	-41.9	
15 ft	-47.0	-45.8	-45.0	-44.4	-43.9	-43.4	-43.1	-42.7	-42.4	
18 ft	-48.2	-47.0	-46.2	-45.5	-45.0	-44.5	-44.2	-43.8	-43.5	
20 ft	-49.2	-48.0	-47.2	-46.5	-46.0	-45.5	-45.1	-44.8	-44.5	
22 ft	-50.2	-49.0	-48.1	-47.5	-46.9	-46.5	-46.1	-45.7	-45.4	
24 ft	-51.2	-49.9	-49.0	-48.4	-47.8	-47.3	-46.9	-46.6	-46.2	
26 ft	-52.0	-50.8	-49.9	-49.2	-48.6	-48.1	-47.7	-47.3	-47.0	
28 ft	-52.8	-51.6	-50.7	-49.9	-49.4	-48.9	-48.5	-48.1	-47.8	
30 ft	-53.6	-52.3	-51.4	-50.7	-50.1	-49.6	-49.2	-48.8	-48.5	
32 ft	-54.4	-53.0	-52.1	-51.4	-50.8	-50.3	-49.8	-49.5	-49.1	
34 ft	-55.1	-53.7	-52.8	-52.0	-51.4	-50.9	-50.5	-50.1	-49.7	
36 ft	-55.7	-54.4	-53.4	-52.7	-52.1	-51.5	-51.1	-50.7	-50.3	
38 ft	-56.4	-55.0	-54.0	-53.3	-52.6	-52.1	-51.7	-51.3	-50.9	
40 ft	-57.0	-55.6	-54.6	-53.8	-53.2	-52.7	-52.2	-51.8	-51.5	
42 ft	-57.6	-56.2	-55.2	-54.4	-53.8	-53.2	-52.8	-52.4	-52.0	
44 ft	-58.1	-56.7	-55.7	-54.9	-54.3	-53.8	-53.3	-52.9	-52.5	
46 ft	-58.7	-57.2	-56.2	-55.5	-54.8	-54.3	-53.8	-53.4	-53.0	
48 ft	-59.2	-57.8	-56.7	-55.9	-55.3	-54.8	-54.3	-53.9	-53.5	
50 ft	-59.7	-58.3	-57.2	-56.4	-55.8	-55.2	-54.8	-54.3	-54.0	
52 ft	-60.2	-58.7	-57.7	-56.9	-56.2	-55.7	-55.2	-54.8	-54.4	
54 ft	-60.7	-59.2	-58.2	-57.4	-56.7	-56.1	-55.6	-55.2	-54.8	
56 ft	-61.2	-59.7	-58.6	-57.8	-57.1	-56.6	-56.1	-55.6	-55.3	
58 ft	-61.7	-60.1	-59.1	-58.3	-57.6	-57.0	-56.5	-56.1	-55.7	
60 ft	-62.0	-60.5	-59.5	-58.8	-58.0	-57.4	-56.9	-56.5	-56.1	

Mean Roof Height	DESIGN PRESSURES (PSF) - Zone 5									
	Tributary Area (Sq Ft)									
	10	15	20	25	30	35	40	45	50	
0-15 ft	-57.2	-55.0	-53.4	-52.1	-51.1	-50.2	-49.5	-48.9	-48.3	
15 ft	-58.0	-55.7	-54.1	-52.8	-51.8	-50.9	-50.2	-49.5	-48.9	
18 ft	-59.4	-57.1	-55.4	-54.2	-53.1	-52.2	-51.4	-50.8	-50.2	
20 ft	-60.8	-58.4	-56.7	-55.4	-54.3	-53.4	-52.6	-51.9	-51.3	
22 ft	-62.0	-59.6	-57.8	-56.5	-55.4	-54.5	-53.7	-53.0	-52.3	
24 ft	-63.2	-60.7	-58.9	-57.5	-56.4	-55.5	-54.7	-53.9	-53.3	
26 ft	-64.2	-61.7	-59.9	-58.5	-57.4	-56.4	-55.6	-54.8	-54.2	
28 ft	-65.2	-62.7	-60.8	-59.4	-58.3	-57.3	-56.5	-55.7	-55.0	
30 ft	-66.2	-63.6	-61.7	-60.3	-59.1	-58.1	-57.3	-56.5	-55.8	
32 ft	-67.1	-64.5	-62.6	-61.1	-59.9	-58.9	-58.1	-57.3	-56.6	
34 ft	-68.0	-65.3	-63.3	-61.8	-60.6	-59.6	-58.8	-58.0	-57.3	
36 ft	-68.9	-66.1	-64.1	-62.6	-61.4	-60.4	-59.6	-58.8	-58.1	
38 ft	-69.6	-66.8	-64.8	-63.3	-62.1	-61.1	-60.3	-59.5	-58.8	
40 ft	-70.3	-67.5	-65.5	-64.0	-62.8	-61.8	-61.0	-60.2	-59.5	
42 ft	-71.0	-68.2	-66.2	-64.7	-63.5	-62.4	-61.6	-60.8	-60.1	
44 ft	-71.7	-68.9	-66.9	-65.4	-64.2	-63.1	-62.3	-61.5	-60.8	
46 ft	-72.4	-69.6	-67.6	-66.1	-64.9	-63.8	-63.0	-62.2	-61.5	
48 ft	-73.1	-70.2	-68.2	-66.7	-65.5	-64.4	-63.6	-62.8	-62.1	
50 ft	-73.7	-70.8	-68.7	-67.2	-66.0	-64.9	-64.1	-63.3	-62.6	
52 ft	-74.3	-71.4	-69.3	-67.8	-66.6	-65.5	-64.7	-63.9	-63.2	
54 ft	-74.9	-72.0	-69.9	-68.2	-67.0	-65.9	-65.1	-64.3	-63.6	
56 ft	-75.5	-72.5	-70.4	-68.8	-67.4	-66.3	-65.5	-64.7	-64.0	
58 ft	-76.1	-73.1	-71.0	-69.4	-68.0	-66.9	-66.1	-65.3	-64.6	
60 ft	-76.6	-73.6	-71.4	-69.8	-68.4	-67.3	-66.5	-65.7	-65.0	

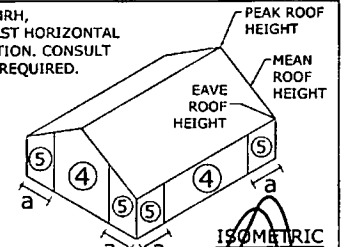
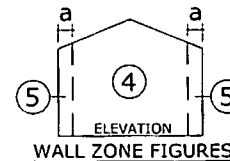
**INSTRUCTIONS FOR TABLE USE:**

1. TABLES ARE INTENDED TO DEPICT THE 'WORST CASE' PRESSURES. 'WORST CASE' IS DEFINED AS THE CRITICAL CONDITION OF ANY UNKNOWN VARIABLE AS DESCRIBED BELOW. USE OF CRITICAL CONDITIONS REQUIRED FOR USE WITH THESE TABLES.
2. FOR SITUATIONS THAT REQUIRE  $K_d=1.0$ , TABLE VALUES ARE UNDER-DESIGNED BY A FACTOR OF 1.18. VERIFY  $K_d$  REQUIREMENTS WITH LOCAL MUNICIPALITY PRIOR TO TABLE USE.
3. USE OF TABLES VALID ONLY FOR BUILDINGS LESS THAN 60' ROOF HEIGHT.
4. TABLES VALID FOR ALL ROOF SLOPES. REDUCTIONS FOR ROOF SLOPES LESS THAN 10° SHALL BE PERFORMED BY AN ENGINEER AS A SITE SPECIFIC CONDITION.
5. IDENTIFY THE BUILDING MEAN (AVERAGE) ROOF HEIGHT. IF THE MEAN ROOF HEIGHT CANNOT BE IDENTIFIED, USE THE PEAK ROOF HEIGHT.
6. ALWAYS ROUND UP ROOF HEIGHTS TO NEXT TABLE VALUE OR TO A CONSERVATIVE ASSUMPTION.
7. CALCULATE THE TRIBUTARY AREA OF THE OPENING IN QUESTION (HEIGHT \* WIDTH) OR THE SPAN LENGTH (HEIGHT) MULTIPLIED BY AN EFFECTIVE WIDTH THAT NEED NOT BE LESS THAN ONE-THIRD THE SPAN LENGTH (HEIGHT <sup>2</sup> / 3). USE THE AREA BETWEEN STRUCTURAL OPENINGS ONLY- THIS INCLUDES AREAS BETWEEN STRUCTURAL MULLS. IF THE TRIBUTARY AREA OF AN OPENING CANNOT BE IDENTIFIED, THE MOST CRITICAL (10 SQUARE FEET) SHALL BE USED. ALWAYS ROUND TRIBUTARY AREA DOWN TO THE LESSER TABLE VALUE. FOR LARGER TRIBUTARY AREAS THAN PUBLISHED, USE THE LARGEST PUBLISHED VALUE.
8. IDENTIFY THE ZONE OF THE OPENING AS INTERIOR (ZONE 4) OR EXTERIOR (ZONE 5) PER THE FIGURE OR INFORMATION BY OTHERS. ANY QUESTIONABLE OPENING IS TO BE CONSIDERED THE MORE CRITICAL (EXTERIOR) ZONE.
9. READ OFF POSITIVE AND NEGATIVE PRESSURES FOR USE AS REQUIRED BY THE LOCAL MUNICIPALITY IN ACCORDANCE WITH CODE.

**GENERAL NOTES:**

1. THESE CHARTS ARE NOT VALID AS A SITE-SPECIFIC DRAWING. THESE TABLES ARE ONLY VALID WHEN SIGNED & RAISED SEALED BY FRANK L. BENNARDO, P.E.
2. THIS SPECIFICATION IS INTENDED TO ILLUSTRATE DESIGN WIND PRESSURES AS LISTED. USE OF THESE TABLES AND CORRESPONDING WIND VELOCITY, EXPOSURE, AND OTHER COEFFICIENTS LISTED HEREIN SHALL BE DICTATED AND VERIFIED BY THE GOVERNING BUILDING DEPARTMENT AND PERMIT HOLDER. NO WARRANTY FOR APPLICABILITY OF TABLE VALUE USE IS OFFERED HEREIN.
3. THIS SPECIFICATION IS NOT INTENDED TO OFFER ANY PRODUCT APPROVED CERTIFICATION. REFER TO ANY SEPARATELY SUBMITTED TEST CRITERIA AND OTHER APPROVALS FOR DESIGN & INSTALLATION INFORMATION AND APPLICABILITY OF THESE TABLE VALUES WHICH IS TO BE VERIFIED BY OTHERS IN ACCORDANCE WITH GOVERNING CODES.
4. DESIGN IS BASED ON THE 3 SECOND GUST (WIND VELOCITY) FOR A CATEGORY II (GENERAL RESIDENTIAL & COMMERCIAL CONSTRUCTION) USING AN IMPORTANCE FACTOR  $I=1.0$ . THESE TABLES NOT FOR USE WITH ESSENTIAL FACILITIES OR ASSEMBLY OCCUPANCIES. TOPOGRAPHIC FACTOR  $K_{zt}=1.0$  FOR FLAT TERRAIN USE ONLY. THESE TABLES NOT VALID FOR HILLY TERRAIN. INTERNAL PRESSURE COEFFICIENT ( $GCP_i=+/-0.18$ ) ENCLOSED BUILDING ONLY. VERIFY USE OF  $K_d=0.85$  (DIRECTIONALITY FACTOR) WITH LOCAL BUILDING DEPARTMENT. HVHZ = HIGH VELOCITY HURRICANE ZONE. TABLES ARE FOR WALLS AND VERTICAL SURFACES ONLY.
5. ADHERE TO ALL LOCAL IMPACT PROTECTION SYSTEM ORDINANCES.
6. NO CERTIFICATION IS OFFERED FOR THE INTEGRITY OF THE HOST STRUCTURE.
7. EXCEPT AS EXPRESSLY PROVIDED HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED.

$a = 10\%$  OF LEAST HORIZONTAL DIMENSION OR 40% OF MRH, WHICHEVER IS SMALLER, BUT NOT LESS THAN 4% OF LEAST HORIZONTAL DIMENSION OR 3FT (1m). USE ZONE 5 IF AT ALL IN QUESTION. CONSULT AN ENGINEER FOR A MORE SPECIFIC INTERPRETATION IF REQUIRED.



**THIS DOCUMENT HAS BEEN REVIEWED FOR COMPLIANCE WITH THE 2004 FLORIDA BUILDING CODE**

REMARKS	DRWN	CHKD	DATE
INIT ISSUE	CL	FLB	04/19/06

THIS DOCUMENT IS THE PROPERTY OF FRANK L. BENNARDO, P.E. AND SHALL NOT BE REPRODUCED IN WHOLE OR PART WITHOUT WRITTEN CONSENT OF FRANK L. BENNARDO, P.E. "ALTERATIONS, ADDITIONS, HIGHLIGHTING, OR OTHER MARKINGS TO THIS DOCUMENT ARE NOT PERMITTED AND INVALIDATE OUR CERTIFICATION."

**2004 FLORIDA BUILDING CODE**

ASCE 7-02, MRH = 0 - 60 FT  
DESIGN LOADS FOR  
COMPONENTS & CLADDING



160 SW 12th AVENUE, #106  
DEERFIELD BEACH, FL 33442  
PH: (954) 354-0660 FAX: (954) 354-0443

WWW.ENGPX.COM

CERT OF AUTH #9885

A FRANK L. BENNARDO, P.E., INC. INNOVATION

VALID FOR (1) JOB(S) ONLY  
VALID ONLY WITH RAISED ENGINEER SEAL  
05/22/2007  
FRANK L. BENNARDO, P.E.  
#FE0046549



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

SHUTTER SCHEDULE

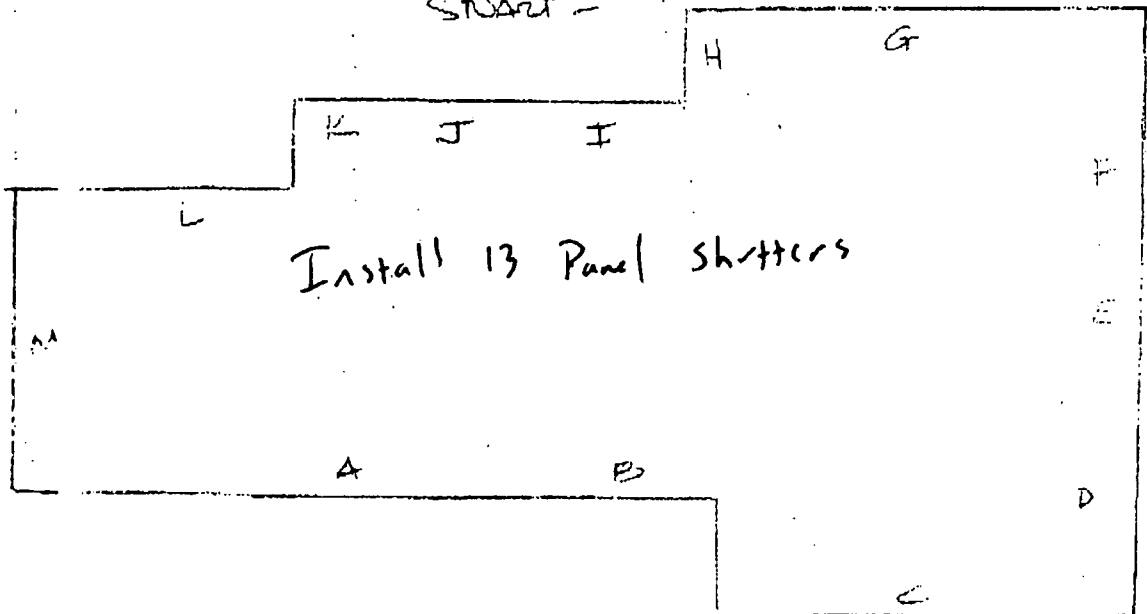
I.D. NO.	APPOX OPENING SIZE (WXH)	APPOX SHUTTER WIDTH	APPOX HEIGHT	# OF STORM BARS REQ'D	ANCHOR SPACING	# OF WINDOW BARS EACH SIDE	HEADER REINF. REQ'D YES/NO	REMARKS
	37"X63"	45"	71"	N/A	12"	N/A	NO	EXAMPLE
1	160x51	183"	57"	N/A	5"	N/A	No	
2	76x80	92"	88"	N/A	5"	N/A	No	
3	107x39	125"	47"	N/A	5"	N/A	No	
4	74x39	84"	47"	N/A	5"	N/A	No	
5	74x39	84"	47"	N/A	5"	N/A	No	
6	74x39	84"	47"	N/A	5"	N/A	No	
7	107x39	125"	47"	N/A	5"	N/A	No	
8	72x80	88"	88"	N/A	5"	N/A	No	
9	96x80	114"	88"	N/A	5"	N/A	No	
10	38x49	51"	57"	N/A	5"	N/A	No	
11	72x80	88"	88"	N/A	5"	N/A	No	
12	30x80	50"	88"	N/A	5"	N/A	No	
13	54x39	68"	47"	N/A	5"	N/A	No	
14								
15								
16								
17								
18								
19								
20								
21								
22								
23								
24								
25								

SHUTTER INSTALLATION

TOM SANDERS

3 MANDALAY DR.

STUART -



Install 13 Panel Shutters

STORM PANELS

- A. (14) 57" PANEL
- B. (7) 88" PANEL
- C. (9) 47" PANEL
- D. (6) 47" PANEL
- E. (6) 47" PANEL
- F. (6) 47" PANEL
- G. (9) 47" PANEL
- H. (6) 88" PANEL
- I. (8) 88" PANEL
- J. (4) 57" PANEL
- K. (6) 88" PANEL
- L. (2) 88" PANEL
- M. (5) 47" PANEL

FRONT

WINDOW SIZES

- A. 160" X 51" WIN.
- B. 76" X 80" DBL DOOR
- C. 101" X 39" WIN
- D. 74" X 39" WIN
- E. 74" X 39" WIN
- F. 74" X 39" WIN
- G. 101" X 39" WIN
- H. 72" X 80" SGD
- I. 96" X 80" SGD
- J. 38 X 49" WIN
- K. 72 X 80 SGD
- L. 30 X 60 DOOR
- M. 54 X 39 WIN

# Community Affairs



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## Product Approval

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**


FL #	FL7226
Application Type	New
Code Version	2004
Application Status	Approved
Comments	
Archived	

Product Manufacturer	Eastern Metal Supply
Address/Phone/Email	4268 Westroads Drive West Palm Beach, FL 33407 (561) 841-5480 bfeeley@easternmetal.com

Authorized Signature	Bill Feeley bfeeley@easternmetal.com
----------------------	---

Technical Representative  
Address/Phone/Email

Quality Assurance Representative  
Address/Phone/Email

Category	Shutters
Subcategory	Storm Panels

Compliance Method	Certification Mark or Listing
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Certification Agency	Miami-Dade BCCO - CER
Validated By	

Referenced Standard and Year (of Standard) **Standard**  
 PA 201, 202, 203

Equivalence of Product Standards  
 Certified By

Product Approval Method Method 1 Option A

Date Submitted 07/27/2006  
 Date Validated 07/27/2006  
 Date Pending FBC Approval 07/28/2006  
 Date Approved 08/22/2006

Summary of Products		
FL #	Model, Number or Name	Description
7226.1	05-073	.030/ 24-Gauge BERTHA (1/4)
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> N/A <b>Other:</b> For Design Loads and Spans refer to engineered drawing number 05-073.		<b>Certification Agency Ce</b> FL7226 R0 C CAC 05-0 <b>Quality Assurance Cont</b>  <b>Installation Instruction</b> FL7226 R0 II Drawing (C Verified By: Miami-Dade Created by Independent <b>Evaluation Reports</b> Created by Independent
7226.2	05-078	.050 Solid BERTHA Alumir Shutter (2 1/4)
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> Yes <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> N/A <b>Other:</b> For Design Loads and Spans refer to engineered drawing number 05-078.		<b>Certification Agency Ce</b> FL7226 R0 C CAC 05-0 <b>Quality Assurance Cont</b>  <b>Installation Instruction</b> FL7226 R0 II Drawing (C Verified By: Miami-Dade Created by Independent <b>Evaluation Reports</b> Created by Independent

Back

Next

DCA Administration

**Department of Community Affairs  
Florida Building Code Online  
Codes and Standards**

2555 Shumard Oak Boulevard  
Tallahassee, Florida 32399-2100  
(850) 487-1824, Fax (850) 414-8436

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**Product Approval Accepts:**



**GENERAL NOTES:**

1. STORM PANEL SHOWN ON THIS PRODUCT APPROVAL DOCUMENT (P.A.D.) HAS BEEN VERIFIED FOR COMPLIANCE IN ACCORDANCE WITH THE 2004 EDITION OF THE FLORIDA BUILDING CODE. DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 1620 OF THE ABOVE MENTIONED CODE, FOR A BASIC WIND SPEED AS REQUIRED BY THE JURISDICTION WHERE STORM PANEL WILL BE INSTALLED, AND FOR A DIRECTIONALITY FACTOR  $K_d=0.85$ , IN ACCORDANCE WITH ASCE 7-98 STANDARD. IN ORDER TO VERIFY THAT COMPONENTS AND ANCHORS ON THIS P.A.D. AS TESTED WERE NOT OVER STRESSED, A 33% INCREASE IN ALLOWABLE STRESS FOR WIND LOADS WAS NOT USED IN THEIR ANALYSIS. A DURATION FACTOR  $C_D=1.60$  WAS USED FOR VERIFICATION OF FASTENERS IN WOOD.

STORM PANELS' ADEQUACY FOR IMPACT AND FATIGUE RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH SECTION 1609.1.4 OF THE ABOVE MENTIONED CODE AS PER AIL REPORTS # 1022.C1-01, # 0221.D1 AND # 0616.D2-05, AS PROTOCOLS TAS-201, TAS-202 AND TAS-203.

2. ALL ALUMINUM SHEET METAL PANELS SHALL HAVE 5052-H32 OR 3004-H34 ALLOY.

3. ALL ALUMINUM EXTRUSIONS SHALL BE ALUMINUM ASSOCIATION 6061-T5 ALLOY & TEMPER UNLESS OTHERWISE NOTED.

4. ALL SCREWS TO BE STAINLESS STEEL J04 OR 316 A16 SERIES OR CORROSION RESISTANT COATED CARBON STEEL AS PER D.A. 50018 W/ 50 KSI YIELD STRENGTH AND 90 KSI TENSILE STRENGTH.

5. BOLTS TO BE ASTM A-307 GALVANIZED STEEL OR A16 J04 SERIES STAINLESS STEEL, WITH 35 KSI MINIMUM YIELD STRENGTH.

6. ANCHORS TO WALL SHALL BE AS FOLLOWS: (UNLESS OTHERWISE NOTED)

(A) TO EXISTING POURED CONCRETE:

- 1/4" # TAPCON ANCHORS AS MANUFACTURED BY I.T.W. BUILDEX. (REGULAR OR 410 S.S.)
- 1/4" # CRETE-FLEX SS4 ANCHORS AS MANUFACTURED BY ELCO TEXTRON.
- 1/4" # CF TAP-GRIP ANCHORS (BERTHA STUD-COM), AS MANUFACTURED BY TRU-FAST CORPORATION.
- 1/4" # ZAMAC NAILIN ANCHORS AS MANUFACTURED BY POWER FASTENERS, INC.
- 1/4" # 7/8" CALK-IN ANCHORS OR ELCO male & female "PANELMATE" AS MANUFACTURED BY POWER FASTENERS, INC. AND ELCO TEXTRON, RESPECTIVELY.
- 1/4" # 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.

**NOTES:**

- 1) MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON ANCHORS OR CRETE-FLEX SS4 IS 1 3/4". FOR ZAMAC NAILIN ANCHORS IS 1 3/8". FOR ELCO PANELMATE ANCHORS IS 1 3/4". AND FOR CF TAP-GRIP ANCHORS IS 1 1/4".
- 2) 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #-20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
- 3) MINIMUM EMBEDMENT OF 1/4" # 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE 7/8" INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #-20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
- 4) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, OR PAVERS BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS, ANCHORAGE SHALL BE AS INDICATED ON NOTES A 1) & A 2) ABOVE.

(B) TO EXISTING CONCRETE BLOCK WALL:

- 1/4" # TAPCON ANCHORS AS MANUFACTURED BY I.T.W. BUILDEX. (REGULAR OR 410 S.S.)
- 1/4" # CRETE-FLEX SS4 ANCHORS AS MANUFACTURED BY ELCO TEXTRON.
- 1/4" # CF TAP-GRIP ANCHORS (BERTHA STUD-COM), AS MANUFACTURED BY TRU-FAST CORPORATION.
- 1/4" # ZAMAC NAILIN ANCHORS AS MANUFACTURED BY POWER FASTENERS, INC.
- 1/4" # 7/8" CALK-IN ANCHORS OR ELCO male & female "PANELMATE" AS MANUFACTURED BY POWER FASTENERS, INC. AND ELCO TEXTRON, RESPECTIVELY.
- 1/4" # 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.

**NOTES:**

- B 1) MINIMUM EMBEDMENT OF TAPCON, ELCO PANELMATE, OF TAP-GRIP AND CRETE-FLEX SS4 ANCHORS INTO CONCRETE BLOCK UNIT SHALL BE 1 1/4"; 1 3/8" FOR ZAMAC NAILIN ANCHORS.
- B 2) 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE CONCRETE BLOCK UNIT. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #-20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
- B 3) MINIMUM EMBEDMENT OF 1/4" # 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE 7/8" INTO THE CONCRETE BLOCK. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #-20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
- B 4) IN CASE THAT PRECAST STONE OR PRECAST CONCRETE PANELS BE FOUND ON THE EXISTING WALL, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS, ANCHORAGE SHALL BE AS INDICATED ON NOTES IN B 1) AND B 2) ABOVE.

(C) ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.

7. PANELS MAY ALSO BE INSTALLED HORIZONTALLY FOLLOWING INSTALLATION DETAILS SHOWN ON SECTIONS 1 THRU 16 (SHEET 3 & 7 OF 15) EXCEPT THAT HEADERS 2, 3 & 4 SHALL NOT BE USED.

8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHUTTER IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE. THIS SHUTTER SHALL ONLY BE ATTACHED TO CONCRETE, BLOCK OR WOOD FRAME BUILDINGS.

9. THE INSTALLATION CONTRACTOR IS TO SEAL/CAULK ALL SHUTTER COMPONENT EDGES WHICH REMAIN IN CONTINUOUS CONTACT WITH THE BUILDING TO PREVENT WIND/RAIN INTRUSION. CAULK AND SEAL SHUTTER TRACKS ALL AROUND FULL LENGTH.

10. STORM PANEL INSTALLATION SHALL COMPLY WITH SPECS INDICATED IN THIS DRAWING PLUS ANY BUILDING AND ZONING REGULATIONS PROVIDED BY THE JURISDICTION WHERE PERMIT IS APPLIED TO.

11. (a) THIS PRODUCT APPROVAL DOCUMENT (P.A.D.) PREPARED BY THIS ENGINEER IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PROJECT, I.E. WHERE THE SITE CONDITIONS DEVIATE FROM THE P.A.D.

(b) CONTRACTOR TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION, INCLUDING LIFE SAFETY OF THIS PRODUCT BASED ON THIS P.A.D. PROVIDED HE/SHE DOES NOT DEVIATE FROM THE CONDITIONS DETAILED ON THIS DOCUMENT. CONSTRUCTION SAFETY AT SITE IS THE CONTRACTOR'S RESPONSIBILITY.

(c) THIS PRODUCT APPROVAL DOCUMENT WILL BE CONSIDERED INVALID IF MODIFIED.


(d) SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT WHICH WILL BECOME THE ENGINEER OF RECORD (E.O.R.) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE P.A.D. ENGINEER OF RECORD, ACTING AS A DELEGATED ENGINEER TO THE P.A.D. ENGINEER, SHALL SUBMIT TO THIS LATTER THE SITE SPECIFIC DRAWINGS FOR REVIEW.

(e) THIS P.A.D. SHALL BEAR THE DATE AND ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT.

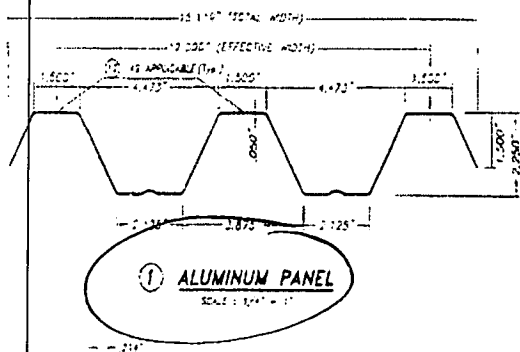
12. SHUTTER MANUFACTURER'S LABEL SHALL BE PLACED ON A READILY AND VISIBLE LOCATION AT PANEL ONE LABEL SHALL BE PLACED FOR EVERY OPENING. LABEL SHALL READ AS FOLLOWS:  
EASTERN METAL SUPPLY, INC.  
WEST PALM BEACH, FL.  
MIAMI-DADE COUNTY PRODUCT CONTROL APPROVED.

PRODUCT REVIEWED  
as comply with Florida  
Building Code  
Approved: 05-0926-03  
Expiry Date: 08/07/2008  
By: *Heather A. Miller*  
Miami-Dade County  
Inspector

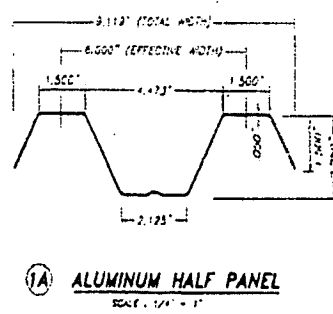
F.B.C. (high velocity hurricane zone)

 TILECO TESTING & ENGINEERING COMPANY 4333 N.W. 31st St. 2nd. FLORIDA GARDENS, FL 33148 Phone: (305)871-1530 Fax: (305)871-1531 EB-0008716 KALEP A. TILLY, Jr., P. E. FLORIDA Lic. # 44187		0.050" BERTHA ALUMINUM STORM PANEL		L.S. DRAWN BY:	
		EASTERN METAL SUPPLY, INC. 4326 WESTRIDGE DR. WEST PALM BEACH, FL 33407		4/20/05 DATE	
05-076 DRAWING NO.		NY: M    RECEIVED    DATE    NY: M    RECEIVED    DATE		SHEET 1 OF 15	
1    1    05-23-141    1/20/05    1    -    -					

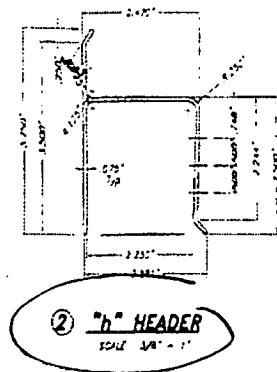
SEP 15 2005



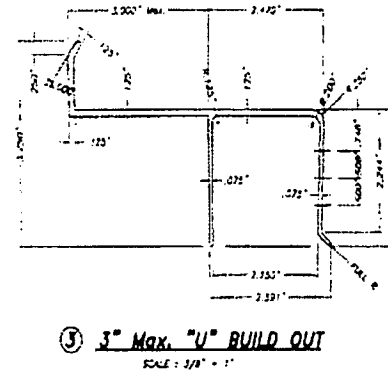
① ALUMINUM PANEL  
SCALE: 3/4\"/>



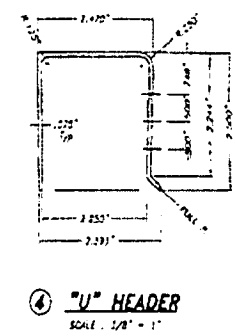
①A ALUMINUM HALF PANEL  
SCALE: 3/4\"/>



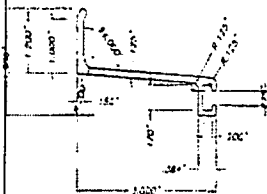
② "h" HEADER  
SCALE: 3/4\"/>



③ 3" Max. "U" BUILD OUT  
SCALE: 3/4\"/>



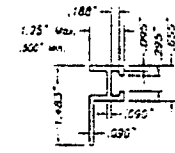
④ "U" HEADER  
SCALE: 3/8\"/>



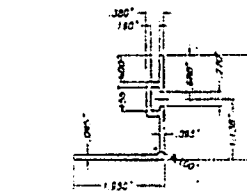
⑤ 3" ANGLE BUILD OUT BRACKET  
SCALE: 3/8\"/>



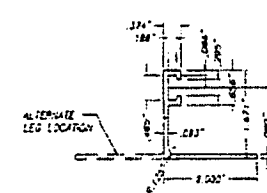
⑥ "F" TRACK  
SCALE: 3/8\"/>



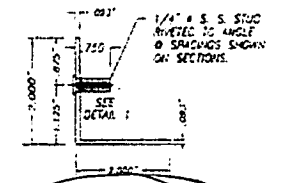
⑥A 1 1/4" MAX. B. O. "F" TRACK  
SCALE: 3/8\"/>



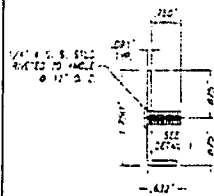
⑦ REVERSED "F" ANGLE TRACK  
SCALE: 3/8\"/>



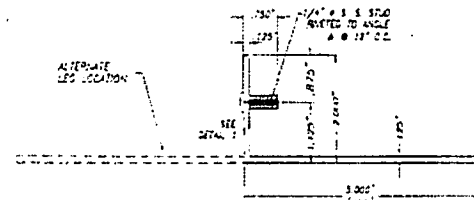
⑧ "F" TRACK ANGLE  
SCALE: 3/8\"/>



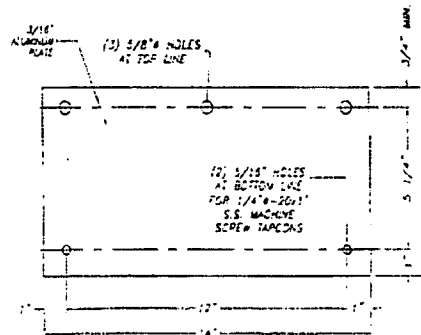
⑨ STUDDED ANGLE  
SCALE: 3/8\"/>



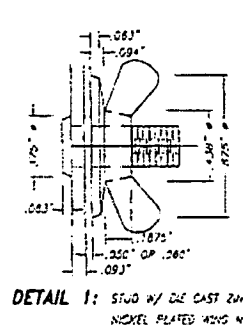
⑨A MINI WALL 1.75"x0.632" ANGLE WITH STUD  
SCALE: 1/2\"/>



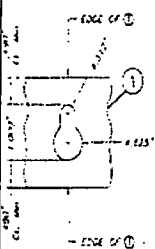
⑩ 2"x5" (MAX.)x1/8" ANGLE WITH STUD  
SCALE: 3/8\"/>



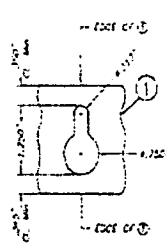
⑪ 3/16"x7"x14" LONG WALL PLATE  
SCALE: 3/16\"/>



DETAIL 1: STUD W/ DIE CAST ZINC NICKEL PLATED WING NUT

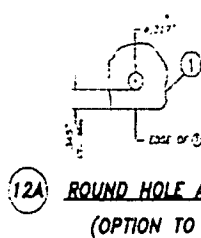


OPTION 1

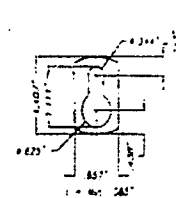


OPTION 2

⑫ KEY HOLE AT PANEL



⑫A ROUND HOLE AT PANEL (OPTION TO 12)



⑬ KEY HOLE WASHER  
SCALE: 3/8\"/>

COMPONENTS

SEP 15 2005

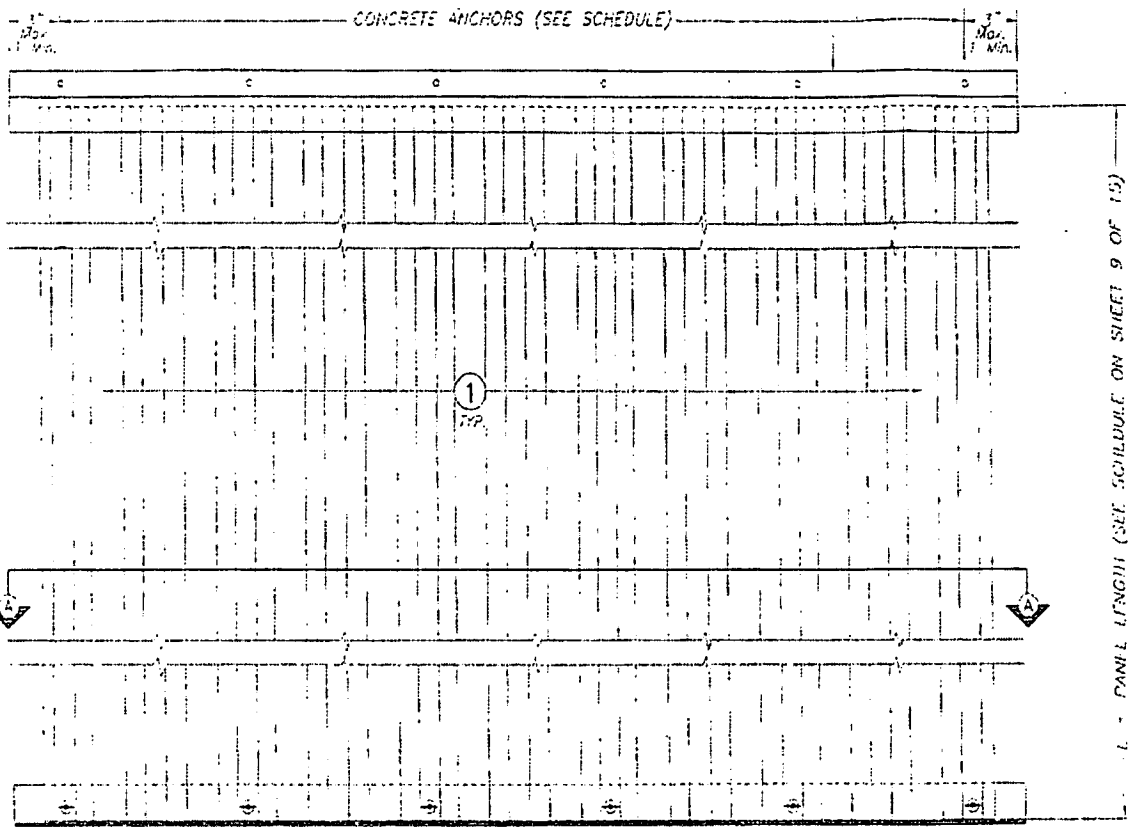
05-0926.03  
08/07/2008  
H. H. H.

F.B.C.(High Velocity Hurricane Zone)

		0.050" BERTHA ALUMINUM STORM PANEL	L.C. DRAWN BY:		
TILTECO TESTING & ENGINEERING COMPANY 4355 W. 26th D., Box 364, YACONA GARDENS, FL 33181 Phone: (305) 871-1507 Fax: (305) 871-1521 23-0008719		EASTERN METAL SUPPLY, INC. 4288 WESTCROSS DR. WEST PALM BEACH, FL 33407	4/28/05 DATE  05-078 DRAWING NO		
REV. NO	DESCRIPTION	DATE	REV. NO	DESCRIPTION	DATE
1	OLD 03-141	4/28/05	1		
2					



TOP TRACK  
(SEE COMPONENTS, SHEET 14 OF 15)



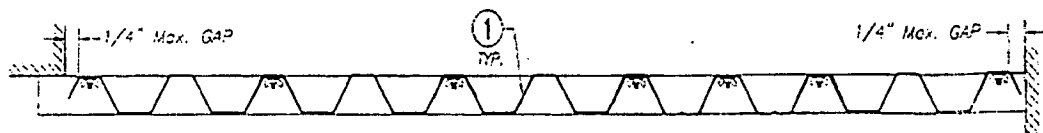
PANEL LENGTH (SEE SCHEDULE ON SHEET 9 OF 15)

CONCRETE ANCHORS (SEE SCHEDULE) 3" Max. Min.

BOTTOM TRACK  
(SEE COMPONENTS, SHEET 14 OF 15)

**STORM PANEL TYPICAL ELEVATION**  
SCALE: 1/8" = 1"

PROJECT NO. 05-0926-03  
DATE 08/07/2008  
By: *Walter A. Tillit*  
Michael A. Tillit, P.E.  
L.A. 15126

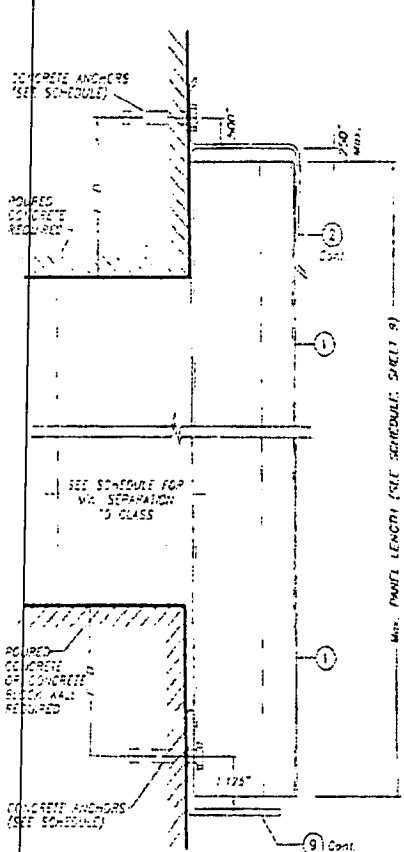


**SECTION A-A**  
SCALE: 1/8" = 1"

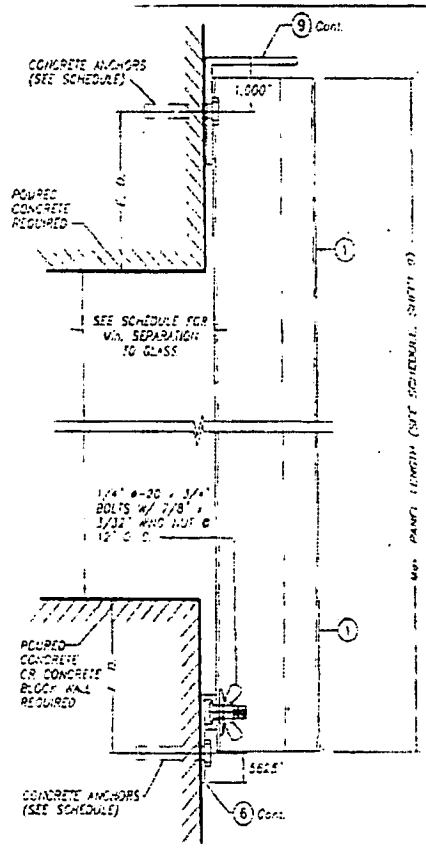
F.B.C. (High Velocity Hurricane Zone)

<p>TILECO INC. TILTIT TESTING &amp; ENGINEERING COMPANY 6432 W. 3RD ST., SUITE 303, WYOMING BEACH, FL 32188 Phone: (407) 371-1225 Fax: (407) 371-1225 EQ-0026719 WALTER A. TILLIT, P.E. FLORIDA Lic. # 41167</p>		<p>G.050" BERTHA ALUMINUM STORM PANEL</p> <p><b>EASTERN METAL SUPPLY, INC.</b> 4568 WISTROADS DR. WEST PALM BEACH, FL 33407</p>	<p>LS DRAWN BY:</p> <p>4/28/05 DATE</p> <p>05-078 DRAWING NO</p>		
REV. NO.	DESCRIPTION	DATE	BY	REVISION	DATE
1	OLD 03-141	4/28/05	A	-	-
2	-	-	-	-	-

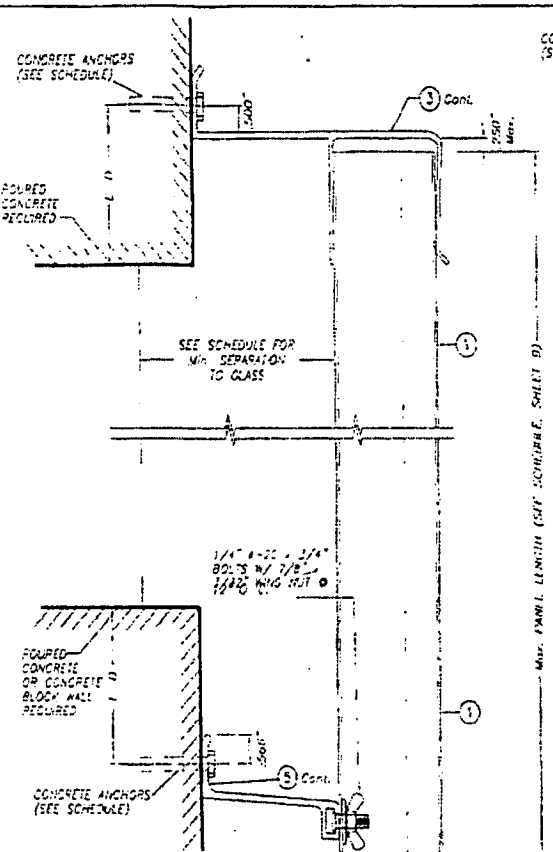
SEP 16-2005



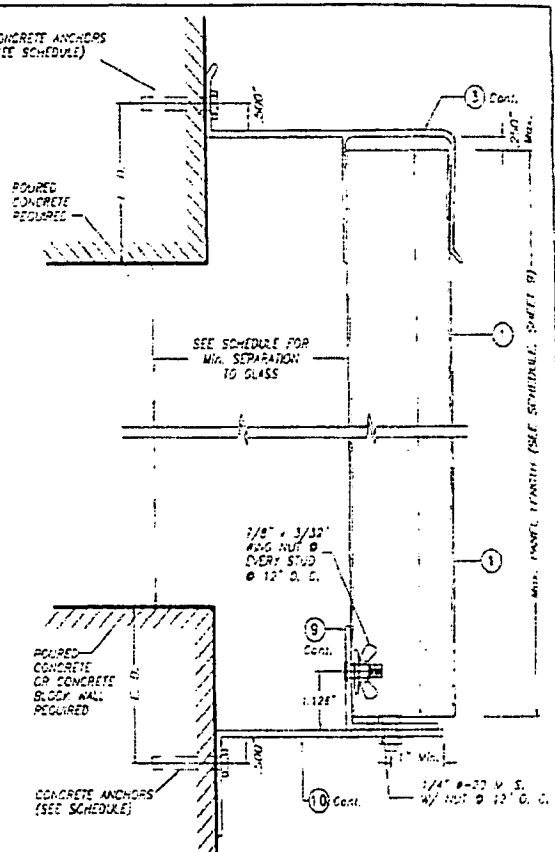
SECTION 1 ANCHOR



**WALL MOUNTING INSTALLATION**  
**SECTION 2** SCALE: 3/8" = 1"



**BUILD OUT INSTALLATION**  
**SECTION 3** SCALE: 3/8" = 1"



**BUILD OUT INSTALLATION**  
**SECTION 4** SCALE: 3/8" = 1"

E. D. = EDGE DISTANCE  
(SEE SCHEDULE ON SHEETS TO & 11 OF 12)

NOTE FOR COMBINATION OF SECTIONS  
WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

ISSUED TO CUSTOMER  
FOR REVIEW OF DESIGN AND DRAWING  
DATE: 05-09-03  
APPROVED BY: 08/07/2008  
*Walter A. Dulak*  
WALTER A. DULAK, P.E.  
FLORIDA LIC. # 44167

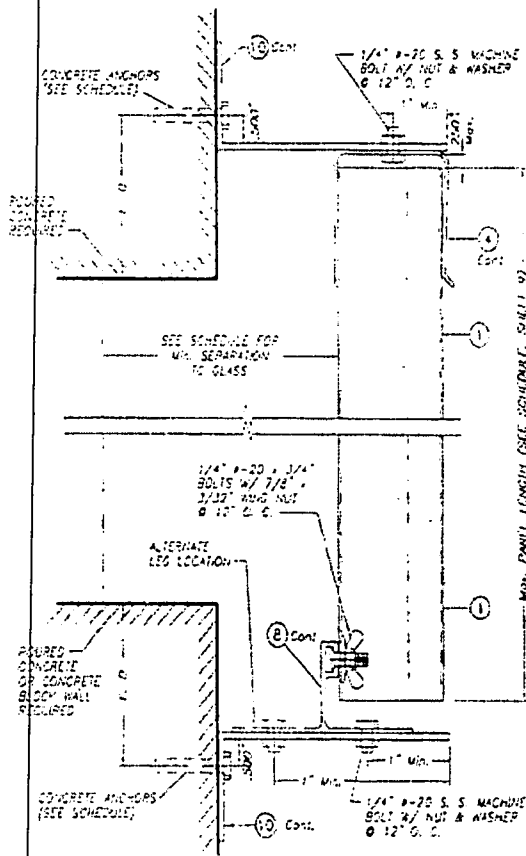
F.B.C. (High Velocity Hurricane Zone)

**WALL MOUNTING INSTALLATION**  
**SECTION 1** SCALE: 3/8" = 1"

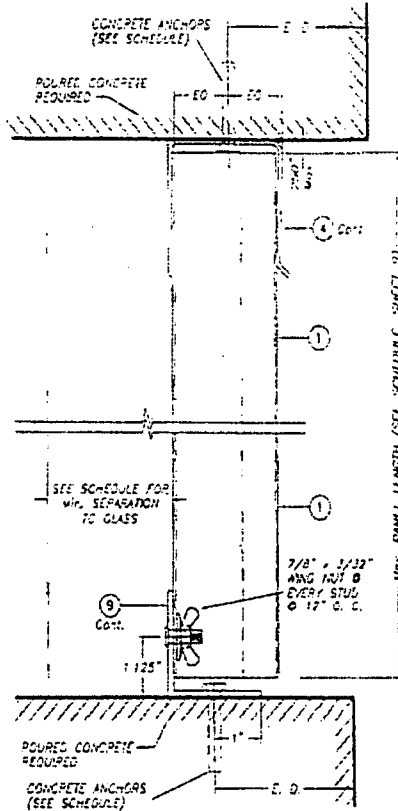
NOTE - DETAIL OF SECTION 1 STUD VALID ALSO FOR WALL MOUNTING INSTALLATION - SECTION 2 (TOP)

 TILTECO INC. TILTEC TESTING & ENGINEERING COMPANY 4252 N.W. 30th Dr., Suite 203, Miramar, CA 92048 Phone: (954) 871-1532 Fax: (954) 871-1531 ER-0066710 WALTER A. DULAK, P.E. FLORIDA LIC. # 44167		0.050" BERTHA ALUMINUM STORM PANEL EASTERN METAL SUPPLY, INC. 4262 WESTROADS DR. WEST PALM BEACH, FL 33407	L.G. DRAWN BY: 4/22/05 DATE 05-078 DRAWING NO SHEET 3 OF 12		
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	OLD CJ-141	4/28/03	1		

SEP-1-6-2005

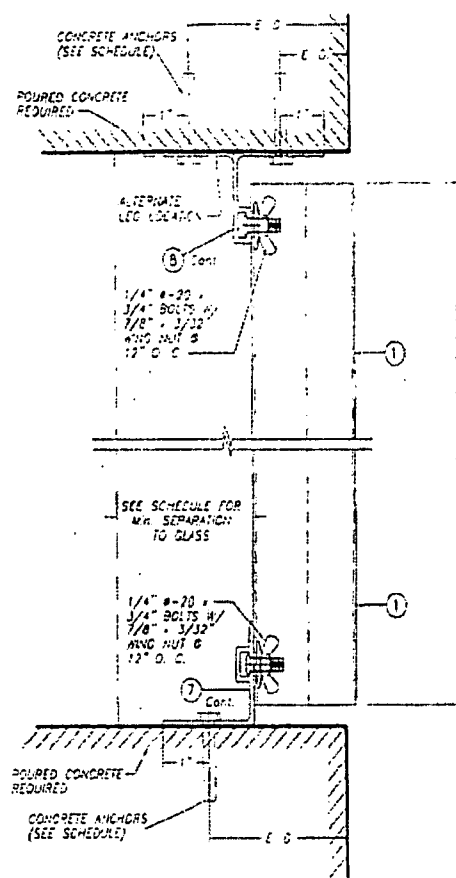


**BUILD OUT INSTALLATION**  
- SECTION 5 SCALE: 3/8" = 1"



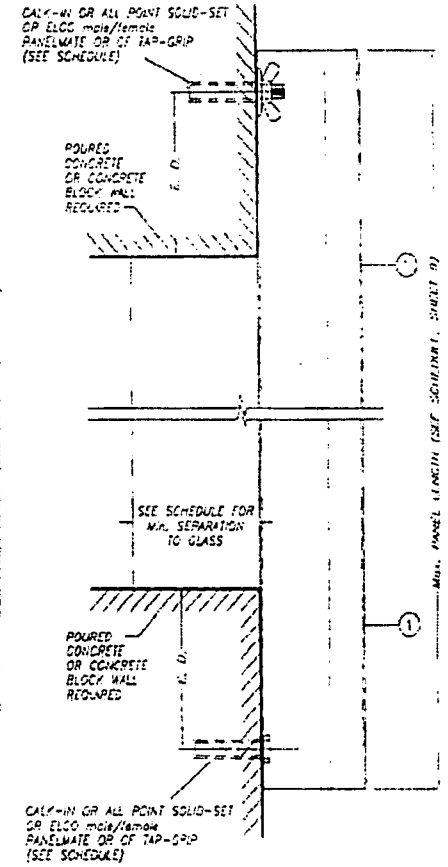
**CEILING & FLOOR MOUNTING**  
INSTALLATION - SECTION 6

SCALE: 3/8" = 1"



**CEILING & FLOOR MOUNTING**  
INSTALLATION - SECTION 7

SCALE: 3/8" = 1"



**WALL MOUNTING INSTALLATION (D. M.)**  
- SECTION 8 SCALE: 3/8" = 1"

E. D. = EDGE DISTANCE  
(SEE SCHEDULE ON  
SHEETS 10 & 11 OF 15)

**NOTE FOR COMBINATION OF SECTIONS**

ALL FLOOR/CEILING MOUNTING SECTIONS CAN BE  
COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

PROVIDED NOTES:  
SEE SCHEDULE FOR PANELS  
DATE: 05-09-26-03  
887072008  
*Walter A. Hill*

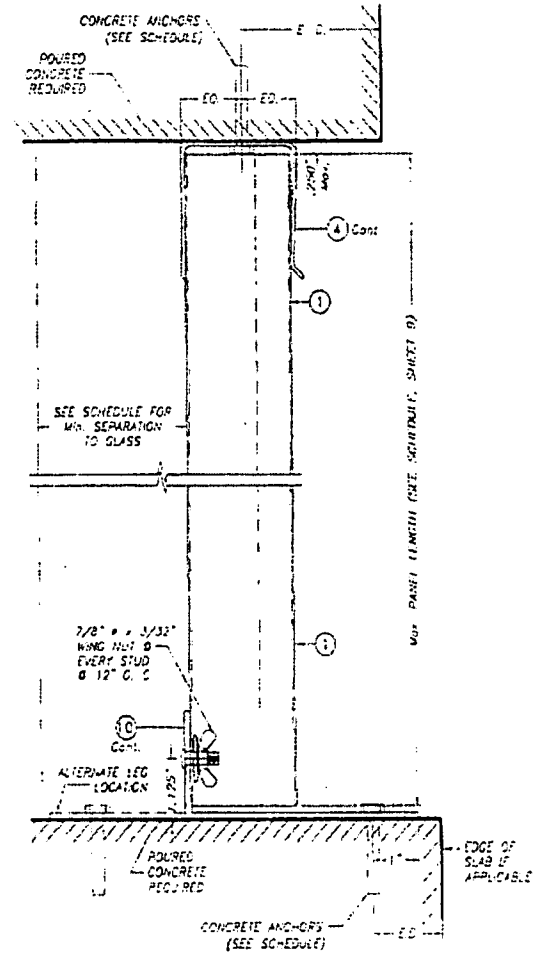
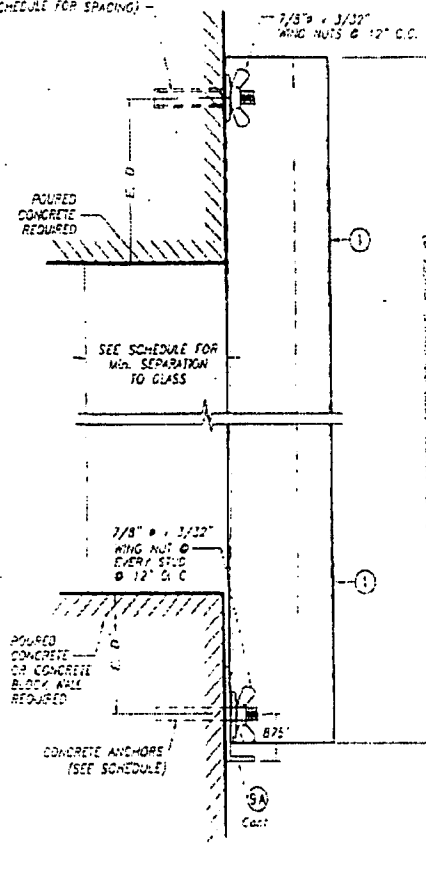
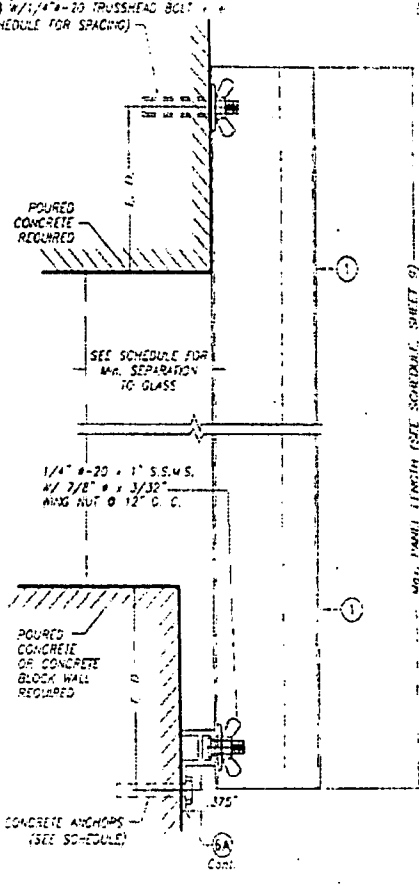
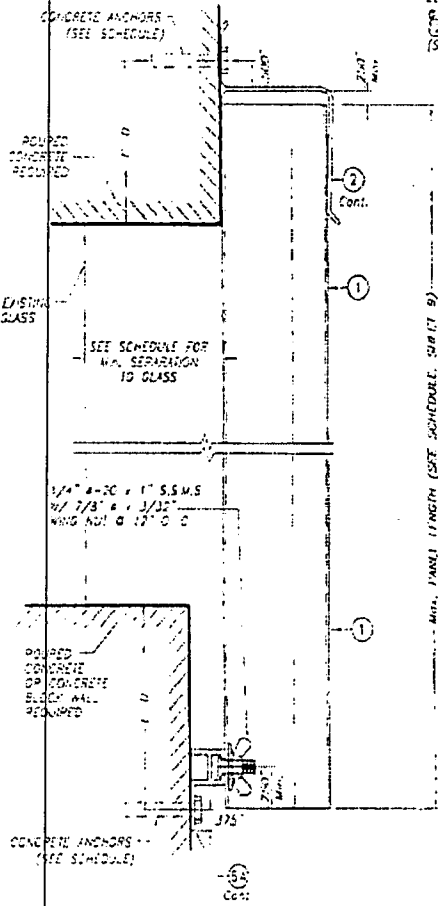
F.B.C. (High Velocity Hurricane Zone)

SEP 15 2005

<p>TILECO INC. TILE TESTING &amp; ENGINEERING COMPANY 4338 N.W. 24th St., Ste. 302, OAKLAND PARK, FL 33144 Phone: (352)871-1522 Fax: (352)871-1521 E3-0026715 WALTER A. HILL, JR., P. E. FLORIDA Lic. # 44167</p>		6.050" BERTHA ALUMINUM STORM PANEL		LG DRAWN BY:	
		EASTERN METAL SUPPLY, INC. 4252 WESTRACCS DR WEST PALM BEACH, FL 33407		4/28/02 DATE	
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	OLD 03-141	4/28/02	1		
2					
				05-078 DRAWING NO	
				SHEET 4 OF 15	

CAP-A OF ALL POINT SOLD-SET OF  
 EDC 1000 max/1000r PANELMATE OR  
 EDC 1000 max/1000r PANELMATE PLUS  
 1/4" #20 SIDEWALK BOLT OR 1/4" #20 TRUSSHEAD BOLT  
 (SEE SCHEDULE FOR SPACING)

CAP-A OF ALL POINT SOLD-SET OF  
 EDC 1000 max/1000r PANELMATE OR  
 EDC 1000 max/1000r PANELMATE PLUS  
 1/4" #20 SIDEWALK BOLT OR 1/4" #20 TRUSSHEAD BOLT  
 (SEE SCHEDULE FOR SPACING)



**WALL MOUNTING INSTALLATION**

**SECTION 9**

SCALE: 3/8" = 1"

**WALL MOUNTING INSTALLATION**

**SECTION 10**

SCALE: 3/8" = 1"

**WALL MOUNTING INSTALLATION**

**SECTION 11**

SCALE: 3/8" = 1"

**CEILING & FLOOR MOUNTING**

**INSTALLATION SECTION 12**

SCALE: 3/8" = 1"

PROBABILITY INDEXED  
 at [www.fema.gov](http://www.fema.gov) Florida  
 Building Code  
 05-0926-03  
 08/07/2008  
 Helge A. Tillie  
 Technical Director

E. D. = EDGE DISTANCE  
 (SEE SCHEDULE ON  
 SHEETS 10 & 11 OF 15)

NOTE FOR COMBINATION OF SECTIONS:  
 WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE  
 COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

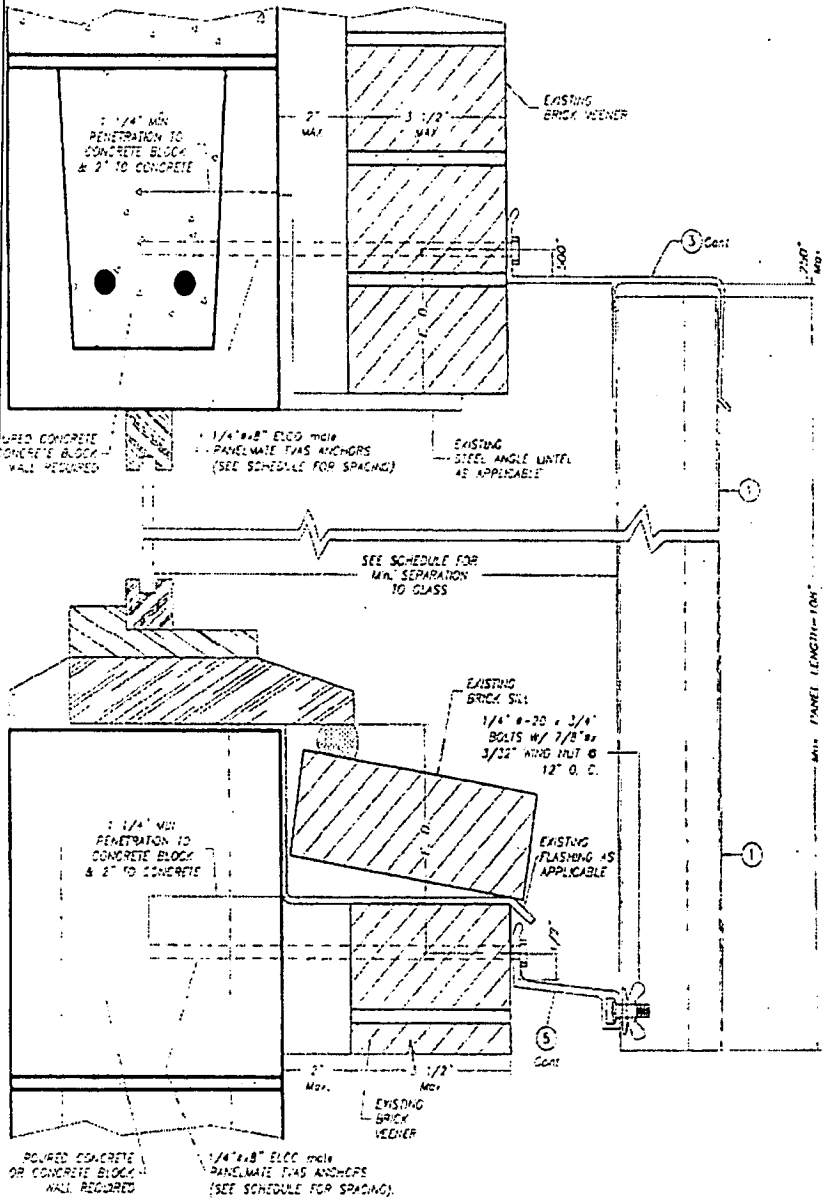
\* \* \*  
 SIDE WALK BOLTS ARE 1/4" #20 THICK  
 HEAD MACHINE SCREEN W/LENGTH  
 AS PER NOTES A.2 & B.2 (SHEET 1)  
 \* \* \*  
 TRUSS HEAD BOLTS ARE 1/4" #20 THICK  
 HEAD MACHINE SCREEN W/LENGTH  
 AS PER NOTES A.2 & B.2 (SHEET 1)

SEP 15 2005

**TILECO INC.**  
 TILITE TESTING & ENGINEERING COMPANY  
 6333 N.W. 36th St., Ste. 203, PINEHURST GARDENS, FL 33414  
 Phone: (888)777-1532, Fax: (888)777-1531  
 EB-0065719  
 WALTER A. TILLIE, P. E.  
 F.L.P.C.# 12,14167

0.050" BERTHA ALUMINUM STORM PANEL		L.G. DRAWN BY:
EASTERN METAL SUPPLY, INC.		4/25/05 DATE
4288 WESTBOARDS DR. WEST PALM BEACH, FL 33407		05-078 DRAWING NO
REV. NO.	DESCRIPTION	DATE
1	ADD GD-141	1/28/03
2		
3		
SHEET 2 OF 15		

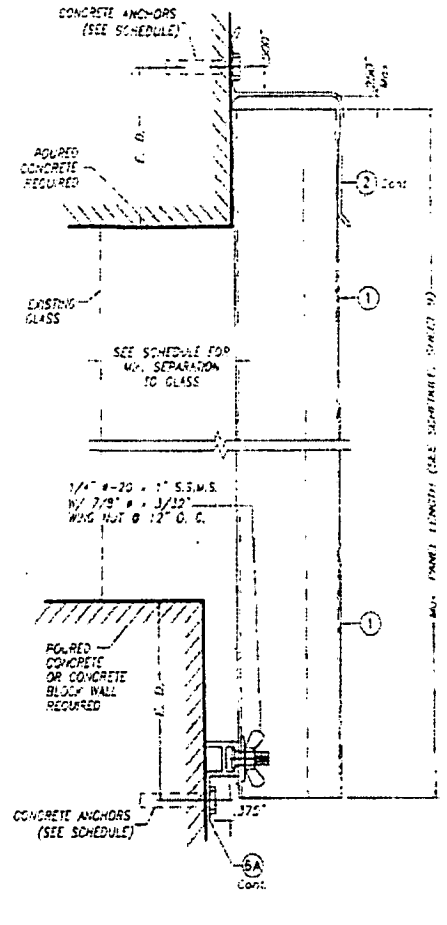
F.B.C. (High Velocity Hurricane Zone)



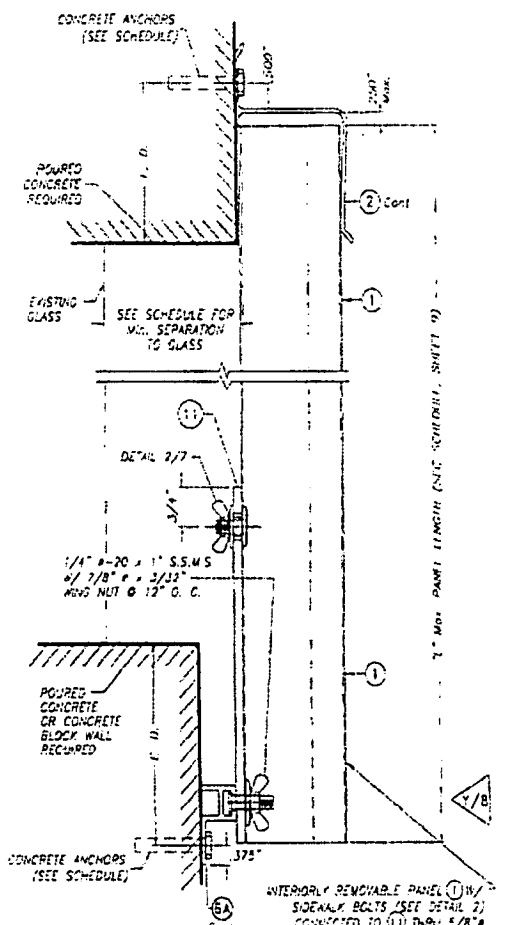
**BUILD OUT INSTALLATION**  
**SECTION 13**  
 SCALE: 3/8" = 1"

E. G. = EDGE DISTANCE  
 (SEE SCHEDULE ON SHEETS 10 & 11 OF 13)

NOTE FOR COMBINATION OF SECTIONS:  
 WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



**SECTION 14A**  
**WALL MOUNTING INSTALLATIONS**  
**SECTIONS 14**  
 SCALE: 3/8" = 1"



**SECTION 14B**  
 INTERIORLY REMOVABLE PANEL (1) IN/ SIDEWALL BOLTS (SEE DETAIL 2) CONNECTED TO (1) THRU 5/8\"/>

**INSTALLATIONS VALID FOR PANELS (1) USED JOINTLY WITH INTERIORLY REMOVABLE PANELS (1)**

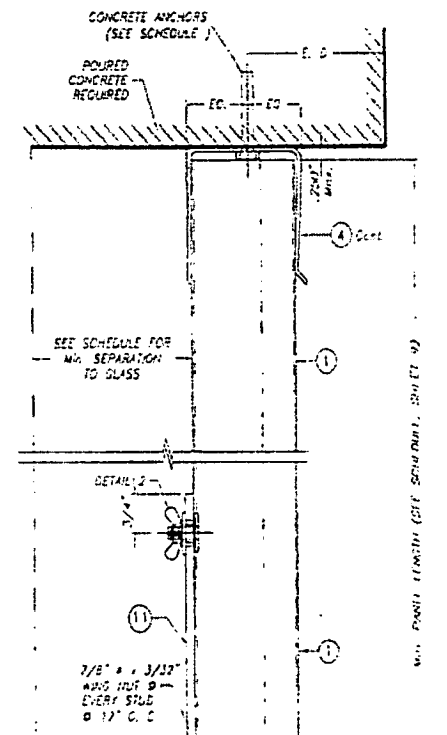
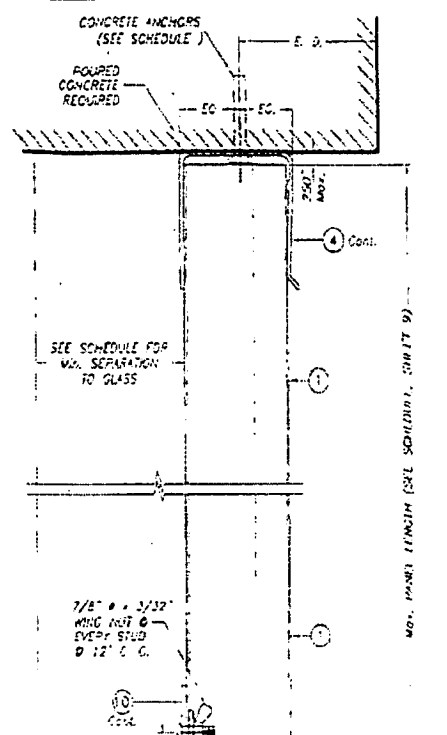
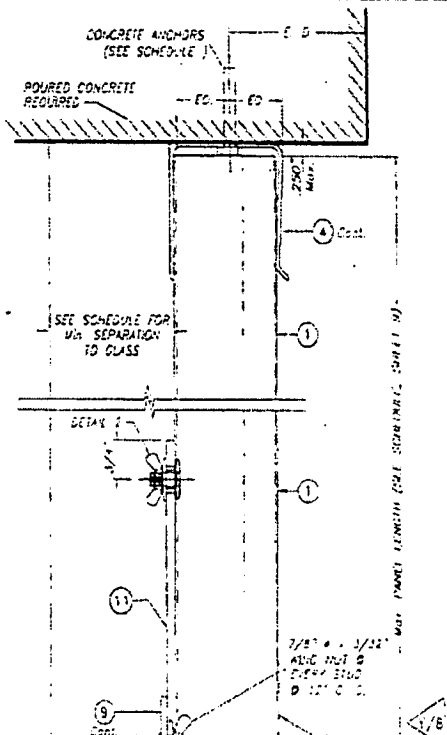
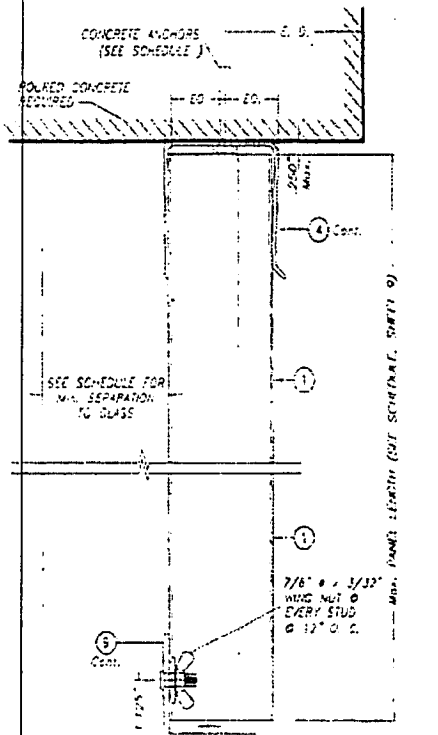
REVISIONS:  
 05-0926-03  
 08/07/2008  
 H. Helwig, A. Helwig  
 PROJECT MANAGER  
 DESIGNER

F.B.C. (High Velocity Hurricane Zone)

TILECO INC.		EASTERN METAL SUPPLY, INC.	
TILECO TESTING & ENGINEERING COMPANY 4150 N.W. 28th St., Suite 1000, Gainesville, FL 32608 Phone: (352) 371-1532 Fax: (352) 371-1512 E: 00000715 M: ALBERT A. TILLEY, P. E. FLORIDA Lic. # 44167		4250 WESTRAGGS DR. WEST PALM BEACH, FL 33407	
REV. NO.	DESCRIPTION	DATE	BY
1	OLD 03-141	4/24/03	1
2			
3			

SEP 15 2005

L.D. DRAWN BY  
 4/28/05 DATE  
 05-078 DRAWING NO  
 SHEET 5 OF 15



**SECTION 15A**

**CEILING & FLOOR MOUNTING INSTALLATIONS**

**SECTIONS 15**

SCALE: 3/8" = 1"

**SECTION 15B**

INTERIORLY REMOVABLE PANEL (1) w/ SIDEWALK BOLTS (SEE DETAIL 2) CONNECTED TO (1) THRU 5/8" HOLES AT (1) @ 6" O.C. & FASTENED AT REAR w/ 7/8" x 3/32" WING NUT @ EVERY SIDEWALK BOLT.

**SECTION 16A**

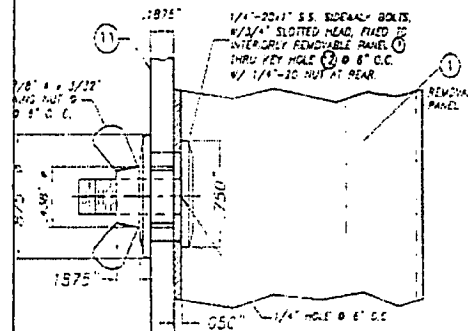
**CEILING & FLOOR MOUNTING INSTALLATIONS**

**SECTIONS 16**

SCALE: 3/8" = 1"

**SECTION 16B**

INTERIORLY REMOVABLE PANEL (1) w/ SIDEWALK BOLTS (SEE DETAIL 2) CONNECTED TO (1) THRU 5/8" HOLES AT (1) @ 6" O.C. & FASTENED AT REAR w/ 7/8" x 3/32" WING NUT @ EVERY SIDEWALK BOLT.



**DETAIL 2 - INSTALLATION OF 1/4" x 1" SIDEWALK BOLTS @ REMOVABLE PANEL**

SCALE: 1" = 1"

**INSTALLATIONS VALID FOR PANELS (1) USED JOINTLY WITH INTERIORLY REMOVABLE PANELS (1)**

E. D. - EDGE DISTANCE (SEE SCHEDULE ON SHEET 10 & 11 OF 15)

NOTE FOR COMBINATION OF SECTIONS FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

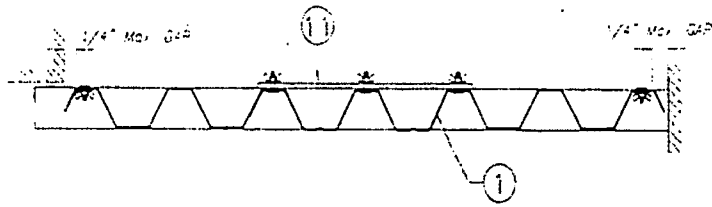
REVISIONS REQUIRED:  
 05-0926-03  
 08/01/2008  
 BY: *Walter A. Tillet*  
 TITLE: PROJECT MANAGER

F.B.C. (High Velocity Hurricane Zone)

**TILECO INC.**  
 TILLET TESTING & ENGINEERING COMPANY  
 1133 W. W. 3RD ST. SUITE 200 WINDY GARDENS FL 33188  
 Phone: (813) 775-1530 Fax: (813) 775-1521  
 EQ-0026719  
 WALTER A. TILLET, P.E.  
 FLORIDA LIC. # 44187

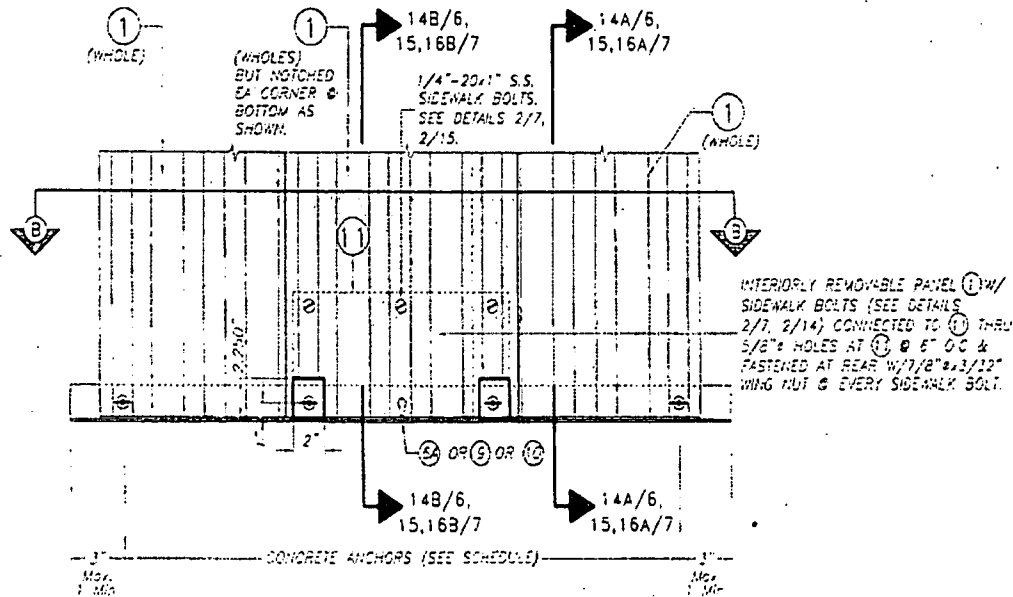
0.050" BERTHA ALUMINUM STORM PANEL						I.B. DRAWN BY.
EASTERN METAL SUPPLY, INC.						4/28/05 DATE
4246 WESTCHASE DR. WEST PALM BEACH, FL 33407						05-078 DRAWING NO.
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE	SHEET 7 OF 15
1	OLD 03-141	1/28/05	2			

SEP 15 2005



**SECTION B-B**

SCALE : 1/8" = 1"



**INTERIORLY REMOVABLE STORM PANEL  
PARTIAL ELEVATION Y**

SCALE : 1/8" = 1"

INTERIORLY REMOVABLE PANEL (1) W/  
SIDEWALK BOLTS (SEE DETAILS  
2/7, 2/14) CONNECTED TO (1) THRU  
5/8" HOLES AT (1) @ 5" O.C. &  
FASTENED AT REAR W/ 7/8" x 1/2"  
WING NUT @ EVERY SIDEWALK BOLT.

05-0926.03  
08/26/2008  
*H. J. Allen*  
ENGINEER

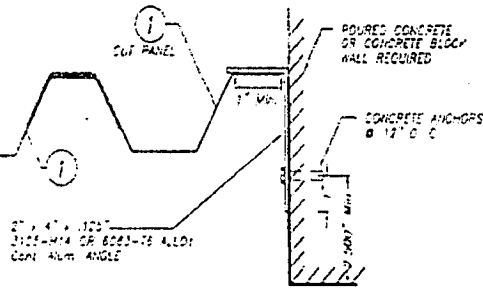
F.B.C. (High Velocity Hurricane Zone)

		0.050" BERTHA ALUMINUM STORM PANEL		L.C. DRAWN BY:	
		EASTERN METAL SUPPLY, INC.		4/28/08 DATE	
TILLOT TESTING & ENGINEERING COMPANY 4333 W. 30th St. Del. W. Palm Beach, FL 33407 Phone: (561) 971-1830 Fax: (561) 971-1831 EB-0028715 WALTER A. TILLOT, P. E. FLORIDA Lic. # 44187		4268 WESTROADS DR. WEST PALM BEACH, FL 33407		05-078 DRAWING NO.	
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	OLD 03-143	4/28/08	2	-	-
2	-	-	3	-	-

SEP 15 2005

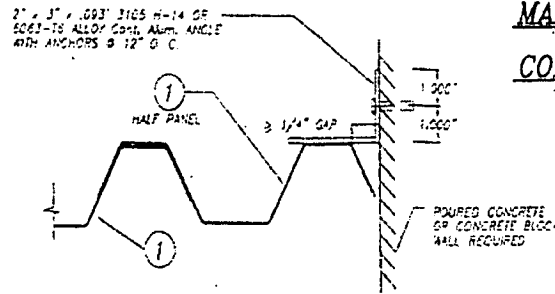
**MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND  
CORRESPONDING MAXIMUM PANEL LENGTH "L" SCHEDULE**

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.)	MAX. PANEL LENGTH "L" (ft.) (SEE SECTIONS)	MINIMUM SEPARATION TO GLASS	APPLICABLE TO SECTIONS 6 & 411 COMBINATION OF THEM
-65.0, -77.0	6'-0" OR LESS	2 1/4"	1 THRU 3
-65.0, -77.0	9'-0" OR LESS	3 11/16"	1 THRU 3
-65.0, -72.0	9'-0" OR LESS	3 1/2"	11
-52.0, -73.3	10'-0" OR LESS	3 7/8"	2, 6, 7 & 8
-63.5, -63.5	9'-0" OR LESS	3 1/2"	9, 14, 10
-55.0, -65.0	9'-0" OR LESS	3 1/2"	12, 15, 15
-63.5, -63.5	9'-0" OR LESS	3 3/4"	13



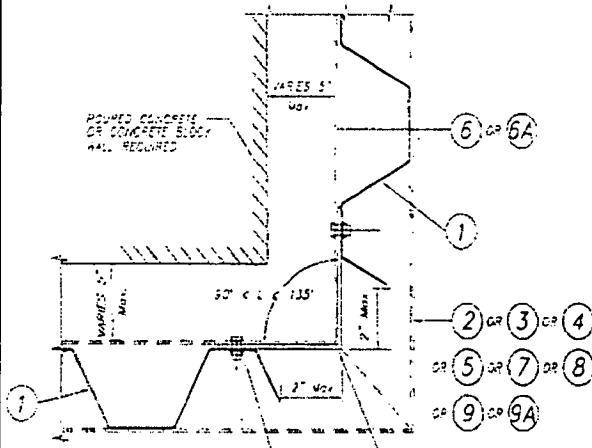
**CASE A (Plan)**

SCALE: 1/4" = 1"



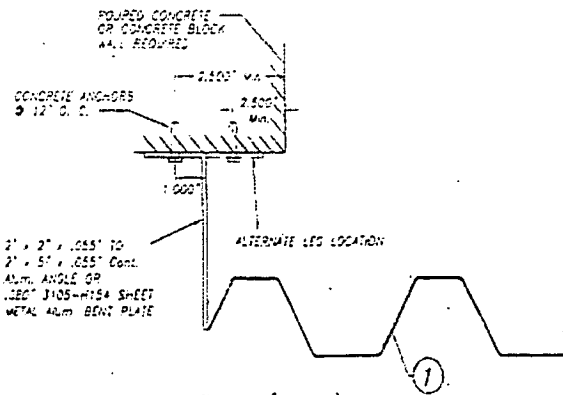
**CASE D (Plan)**

SCALE: 1/4" = 1"



**CASE B (Plan)**

SCALE: 1/4" = 1"



**CASE C (Plan)**

SCALE: 1/4" = 1"

PROJECT DIVISION  
DESIGN DIVISION  
DATE: 05-09-08  
08/07/2008  
H. J. ...  
EASTERN METAL SUPPLY, INC.

**END CLOSURES DETAILS**

F.S.C. (High Velocity Hurricane Zone)

<p>TILTECO INC. TILT TESTING &amp; ENGINEERING COMPANY 400 N.W. 24th St. Ste. 301, West Palm Beach, FL 33411 Phone: (561) 837-1111 Fax: (561) 837-1111 E8-0000112 WALTER A. TILLY, P. E. FLORIDA No. 74487</p>	<p>0.050" BERTHA ALUMINUM STORM PANEL</p> <p><b>EASTERN METAL SUPPLY, INC.</b></p> <p>4284 WESTRIDGE DR WEST PALM BEACH, FL 33407</p>		<p>L.S. DRAWN BY:</p> <p>4/28/08 DATE</p> <p>05-078 DRAWING NO</p>																	
	<table border="1"> <thead> <tr> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>PLC 03-101</td> <td>4/28/08</td> <td>1</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE	1	PLC 03-101	4/28/08	1			2						<p>SHEET 5 OF 15</p>
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE															
1	PLC 03-101	4/28/08	1																	
2																				

SEP 15 2008



**MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS IN CONCRETE AND CONCRETE BLOCK STRUCTURES**

MAX. WIND SPEED (MPH)	MAXIMUM ANCHOR SPACING FOR E. D. = 1 1/2" ±																		APPLICABLE TO SECTIONS 8 & 9 ANY COMBINATION OF THEM	MINIMUM PANEL LENGTH 5' (4)
	REGULAR TAPCON		CRETE-FLEX SSA		ZAMAC NAILING		CALY-IN		SOLID-SET		CF TAP-GRF		PANELWATE		PANELWATE PLUS		410 S.S. TAPCON			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
40	8"	N/A	N/A	N/A	4"	N/A	8"	N/A	N/A	N/A	5"	N/A	1 1/2"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	
40	12"	8"	N/A	N/A	10"	7 1/2"	12"	8"	N/A	N/A	12"	7"	11"	11"	12"	7 1/2"	N/A	N/A	1 (BOTTOM)	
40	12"	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	11"	11"	12"	N/A	N/A	N/A	2 (TOP)	
40	12"	8"	N/A	N/A	10"	7 1/2"	12"	8"	N/A	N/A	12"	8"	11"	11"	12"	7 1/2"	N/A	N/A	2 (BOTTOM)	
40	12"	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	11"	11"	12"	N/A	N/A	N/A	3 (TOP)	
40	12"	8"	N/A	N/A	10"	7 1/2"	12"	8"	N/A	N/A	12"	8"	11"	11"	12"	7 1/2"	N/A	N/A	3 (BOTTOM)	
40	12"	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	11"	11"	12"	N/A	N/A	N/A	4 (TOP)	
40	12"	8"	N/A	N/A	10"	7 1/2"	12"	8"	N/A	N/A	12"	8"	11"	11"	12"	7 1/2"	N/A	N/A	4 (BOTTOM)	
40	12"	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	11"	11"	12"	N/A	N/A	N/A	5 (TOP)	
40	12"	8"	N/A	N/A	10"	7 1/2"	12"	8"	N/A	N/A	12"	8"	11"	11"	12"	7 1/2"	N/A	N/A	5 (BOTTOM)	
45	8 1/2"	N/A	12"	N/A	5 1/2"	N/A	7 1/2"	N/A	N/A	N/A	8 1/2"	N/A	11 1/2"	N/A	11"	N/A	8 1/2"	N/A	6 (TOP)	
45	8 1/2"	N/A	12"	N/A	5 1/2"	N/A	7 1/2"	N/A	N/A	N/A	8 1/2"	N/A	11 1/2"	N/A	11"	N/A	8 1/2"	N/A	6 (BOTTOM)	
45	9 1/2"	N/A	12 1/2"	N/A	6"	N/A	7"	N/A	10 1/2"	N/A	7"	N/A	10 1/2"	N/A	13"	N/A	8 1/2"	N/A	7 (TOP/BOTTOM)	
45	12"	N/A	N/A	N/A	N/A	N/A	12"	6"	12"	12"	12"	6"	6"	12"	12"	N/A	N/A	N/A	8 (TOP/BOTTOM)	
45	12"	N/A	12"	N/A	N/A	N/A	12"	6"	N/A	N/A	N/A	N/A	12"	11"	12"	7 1/2"	12"	7 1/2"	9 (BOTTOM)	
45	12"	8"	12"	12"	N/A	N/A	12"	6"	12"	12"	N/A	12"	6"	12"	6"	N/A	N/A	N/A	10 (TOP)	
45	12"	8"	12"	12"	N/A	N/A	12"	6"	N/A	N/A	N/A	N/A	12"	10"	12"	7 1/2"	12"	7 1/2"	10 (BOTTOM)	
45	12"	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	12"	11"	N/A	N/A	N/A	N/A	13 (TOP)	
45	12"	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	12"	6"	N/A	N/A	N/A	N/A	13 (BOTTOM)	
45	12"	N/A	12"	N/A	N/A	N/A	12"	N/A	N/A	N/A	N/A	N/A	12"	N/A	12"	N/A	12"	N/A	14 (TOP)	
45	12"	8"	12"	12"	N/A	N/A	12"	9"	N/A	N/A	N/A	N/A	12"	11"	12"	7 1/2"	12"	7 1/2"	14 (BOTTOM)	
45	12"	8 1/2"	12"	8"	N/A	N/A	12"	8 1/2"	N/A	N/A	N/A	N/A	12"	8"	12"	5 1/2"	12"	5 1/2"	14 (BOTTOM)	
45	12 1/2"	N/A	12"	N/A	N/A	N/A	12"	N/A	N/A	N/A	N/A	N/A	12"	N/A	12"	N/A	12"	N/A	12 (TOP)	
45	8 1/2"	N/A	12"	N/A	N/A	N/A	7 1/2"	N/A	10 1/2"	N/A	N/A	N/A	11 1/2"	N/A	11"	N/A	9 1/2"	N/A	12 (BOTTOM)	
45	8 1/2"	N/A	12"	N/A	N/A	N/A	7 1/2"	N/A	N/A	N/A	N/A	N/A	11 1/2"	N/A	12"	N/A	12"	N/A	12 (TOP)	
45	8 1/2"	N/A	12"	N/A	N/A	N/A	7 1/2"	N/A	N/A	N/A	N/A	N/A	11 1/2"	N/A	11"	N/A	9 1/2"	N/A	15 (BOTTOM)	
45	12"	N/A	3 1/2"	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	3"	N/A	3"	N/A	3"	N/A	3"	15 (TOP)	
45	12"	N/A	12"	N/A	N/A	N/A	7 1/2"	N/A	N/A	N/A	N/A	N/A	12"	N/A	12"	N/A	12"	N/A	16 (TOP)	
45	9 1/2"	N/A	12"	N/A	N/A	N/A	7 1/2"	N/A	N/A	N/A	N/A	N/A	11 1/2"	N/A	11"	N/A	9 1/2"	N/A	16 (BOTTOM)	
45	12"	N/A	4 1/2"	N/A	N/A	N/A	3"	N/A	N/A	N/A	N/A	4"	N/A	4"	N/A	4"	N/A	4"	16 (BOTTOM)	
45	6"	N/A	N/A	N/A	6"	N/A	6"	N/A	N/A	N/A	5"	N/A	5"	N/A	N/A	N/A	N/A	N/A	2 (TOP)	
45	6"	5 1/2"	N/A	N/A	5"	6"	5"	5"	N/A	N/A	6"	6"	6"	6"	N/A	N/A	N/A	N/A	2 (BOTTOM)	
45	6"	N/A	N/A	N/A	4 1/2"	N/A	6"	N/A	N/A	N/A	6"	N/A	5 1/2"	N/A	N/A	N/A	N/A	N/A	3 (TOP)	
45	6"	N/A	N/A	N/A	4 1/2"	N/A	6"	N/A	3 1/2"	N/A	5"	N/A	5 1/2"	N/A	N/A	N/A	N/A	N/A	3 (BOTTOM)	
45	6"	N/A	N/A	N/A	4"	N/A	6"	N/A	3 1/2"	N/A	6"	N/A	4 1/2"	N/A	N/A	N/A	N/A	N/A	7 (TOP/BOTTOM)	
45	12"	N/A	N/A	N/A	6"	N/A	6"	12"	12"	12"	6"	6"	6"	N/A	N/A	N/A	N/A	N/A	8 (TOP/BOTTOM)	

E. D. = EDGE DISTANCE

**ANCHORS LEGEND**

ANCHOR TYPE	MAX ANCHOR SPACING
REGULAR TAPCON, 410 S.S. TAPCON, CRETE-FLEX SSA, ZAMAC NAILING, CF TAP-GRF, PANELWATE OR PANELWATE PLUS	3.0"
CALY-IN	2.5"
SOLID-SET	3.5"

05-0926-03  
08/27/2008  
H. Helms  
EASTERN METAL SUPPLY, INC.

MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE, FOR E. D. LESS THAN 3 1/2". REDUCE ANCHOR SPACING BY MULTIPLYING SPACING SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS (NOTE: MAX. E. D. FOR CALY-IN ANCHORS IS 3 1/2"). FOR THIS OPERATION TO BE POSSIBLE, REDUCED SPACING OBTAINED USING FACTOR SHALL NOT BE LESS THAN MAXIMUM SPACING INDICATED FOR EACH ANCHOR TYPE AT ANCHORS LEGEND.

MAX. WIND SPEED (MPH)	FACTOR			
	REGULAR TAPCON, 410 S.S. TAPCON, CRETE-FLEX SSA, ZAMAC NAILING, PANELWATE OR PANELWATE PLUS	CALY-IN	SOLID-SET	CF TAP-GRF
40	.85	.75	.78	1.00
45	.71	.50	-	.85
50	.50	-	-	-

SEP 7 5 2005

**TILECO INC.**  
 TEST TESTING & ENGINEERING COMPANY  
 4500 W. 26th St. Ste. 200, Pompano Beach, FL 33069  
 Phone: (954) 711-1522 Fax: (954) 711-1527  
 EB-0025715  
 WALTER A. TILLEY, P. E.  
 FLORIDA Lic. # 44167

0.050" BERTHA ALUMINUM STORM PANEL

**EASTERN METAL SUPPLY, INC.**  
 4258 WESTROADS DR.  
 WEST PALM BEACH, FL 33407

L.G. DRAWN BY:  
 4/28/01 DATE  
 05-078 DRAWING No  
 SHEET 10 OF 15

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	CLD 03-141	4/28/01	3	-	-

F.B.C. (High Velocity Hurricane Zone)

**MAXIMUM DESIGN PRESSURE RATING "W" (P.S.I.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND CONCRETE BLOCK STRUCTURES**

MAXIMUM DESIGN LOAD # (PSF)	MAXIMUM ANCHOR SPACING FOR E. D. = 3 1/2" *																	APPLICABLE TO SECTIONS & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH L' (ft)	
	REGULAR TARGON		CRETE-FLEX SS4		ZAMAC MAILING		CALK-IN		SOLID-SET		OF TAP-GRIP		PANELMATE PLUS		PANELMATE PLUS		410 S.S. TARGON			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE			TO MASONRY
-120.0 -72.0	5"	N/A	N/A	N/A	3"	N/A	6"	N/A	N/A	N/A	3 1/2"	N/A	2 1/2"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	
	12"	5"	N/A	N/A	10"	6"	12"	7 1/2"	N/A	N/A	12"	6"	9 1/2"	9 1/2"	N/A	N/A	N/A	N/A	1 (BOTTOM)	
	12"	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	9 1/2"	N/A	N/A	N/A	N/A	N/A	2 (TOP)	
	12"	5"	N/A	N/A	10"	6"	12"	7 1/2"	N/A	N/A	12"	6 1/2"	9 1/2"	9"	N/A	N/A	N/A	N/A	2 (BOTTOM)	
	12"	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	9 1/2"	N/A	N/A	N/A	N/A	N/A	3 (TOP)	
	12"	5"	N/A	N/A	8"	6"	12"	7 1/2"	N/A	N/A	12"	6 1/2"	9 1/2"	9"	N/A	N/A	N/A	N/A	3 (BOTTOM)	
	12"	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	9 1/2"	N/A	N/A	N/A	N/A	N/A	4 (TOP)	
	12"	5"	N/A	N/A	8"	6"	12"	7 1/2"	N/A	N/A	12"	6 1/2"	9 1/2"	9"	N/A	N/A	N/A	N/A	4 (BOTTOM)	
	12"	N/A	N/A	N/A	8"	N/A	12"	N/A	N/A	N/A	12"	N/A	9 1/2"	N/A	N/A	N/A	N/A	N/A	5 (TOP)	
	12"	4 1/2"	N/A	N/A	7"	5"	12"	6"	N/A	N/A	10"	5"	7 1/2"	7 1/2"	N/A	N/A	N/A	N/A	5 (BOTTOM)	
	7"	N/A	N/A	N/A	4 1/2"	N/A	6"	N/A	N/A	N/A	7"	N/A	5"	N/A	N/A	N/A	N/A	N/A	6 (TOP)	
	7"	N/A	N/A	N/A	4 1/2"	N/A	6"	N/A	9"	N/A	7"	N/A	5"	N/A	N/A	N/A	N/A	N/A	6 (BOTTOM)	
	5"	N/A	N/A	N/A	4"	N/A	5 1/2"	N/A	5"	N/A	6"	N/A	4 1/2"	N/A	N/A	N/A	N/A	N/A	7 (TOP/BOTTOM)	
N/A	N/A	N/A	N/A	N/A	N/A	12"	5"	12"	12"	12"	6"	5"	6"	N/A	N/A	N/A	N/A	8 (TOP/BOTTOM)		
-120.0 -72.0	5 1/2"	N/A	12"	N/A	N/A	N/A	6"	N/A	9 1/2"	N/A	N/A	N/A	9"	N/A	9"	N/A	7 1/2"	N/A	7 (TOP/BOTTOM)	
	N/A	N/A	N/A	N/A	N/A	N/A	12"	6"	12"	12"	N/A	N/A	12"	6"	12"	6"	N/A	N/A	11 (TOP)	
	12"	5 1/2"	12"	10 1/2"	N/A	N/A	12"	6"	12"	12"	N/A	N/A	12"	9 1/2"	12"	5 1/2"	12"	7"	11 (BOTTOM)	
-120.0 -72.0	5"	N/A	N/A	N/A	5"	N/A	5"	N/A	12"	12"	5"	N/A	5"	N/A	N/A	N/A	N/A	N/A	2 (TOP)	
	5"	5"	N/A	N/A	5"	5 1/2"	5"	6"	N/A	N/A	5"	6"	6"	6"	N/A	N/A	N/A	N/A	2 (BOTTOM)	
	5"	N/A	N/A	N/A	4"	N/A	5"	N/A	N/A	N/A	6"	N/A	5"	N/A	N/A	N/A	N/A	N/A	5 (TOP)	
	5"	N/A	N/A	N/A	4"	N/A	5"	N/A	8"	N/A	5"	N/A	5"	N/A	N/A	N/A	N/A	N/A	6 (BOTTOM)	
	5"	N/A	N/A	N/A	5"	N/A	6"	N/A	8"	N/A	5 1/2"	N/A	4"	N/A	N/A	N/A	N/A	N/A	7 (TOP/BOTTOM)	
	N/A	N/A	N/A	N/A	N/A	N/A	5"	6"	12"	12"	6"	6"	6"	6"	N/A	N/A	N/A	N/A	8 (TOP/BOTTOM)	
	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	12"	12"	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM) 10 (TOP) 11 (TOP/BOTTOM)	

E. D. = EDGE DISTANCE

\* MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE FOR E. D. LESS THAN 3 1/2". REDUCE ANCHOR SPACING BY WHATEVER SPACING SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (NOTE: MIN. E. D. FOR CALK-IN ANCHORS IS 2 1/2"). FOR THIS OPERATION TO BE POSSIBLE, REDUCED SPACING OBTAINED USING FACTOR SHALL NOT BE LESS THAN MINIMUM SPACING INDICATED FOR EACH ANCHOR TYPE AT ANCHORS LEGEND.

ACTUAL E. D.	FACTOR				
	REGULAR TARGON, 410 S.S. TARGON, CRETE-FLEX SS4, ZAMAC MAILING, PANELMATE OR PANELMATE PLUS	CALK-IN	SOLID-SET	OF TAP-GRIP	
5"	.80	.75	.70	1.00	
7 1/2"	.71	.50	-	.80	
7"	.50	-	-	-	

**ANCHORS LEGEND**

ANCHOR TYPE	MIN. ANCHOR SPACING
REGULAR TARGON, 410 S.S. TARGON, CRETE-FLEX SS4, ZAMAC MAILING, OF TAP-GRIP, PANELMATE OR PANELMATE PLUS.	3.0"
CALK-IN	2.5"
SOLID-SET	3.0"

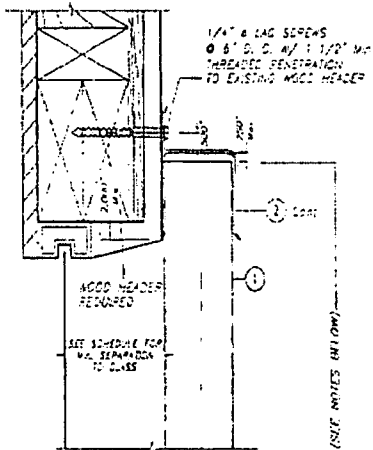
REVISIONS LISTED  
 05-0926-03  
 08/27/2008  
 H. H. H. H. H.

F.B.C. (High Velocity Hurricane Zone)

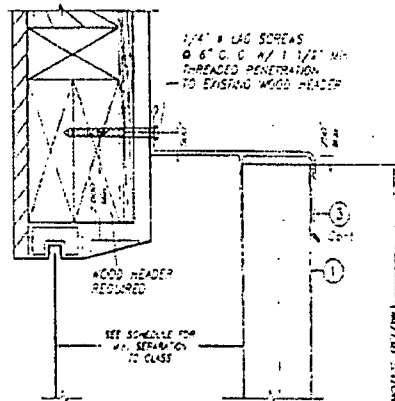
SEP 15 2005

**TILECO Inc.**  
 TIGHT TESTING & ENGINEERING COMPANY  
 4335 N.W. 36th St., Suite 302, Miramar, Florida 33181  
 Phone: (305) 871-1130 Fax: (305) 871-1131  
 89-0005319  
 MASTER A. TIGHT & B. E. FLORIDA Lic. # 44167

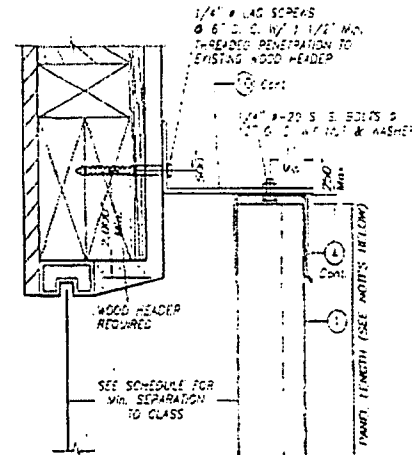
0.050" BERTHA ALUMINUM STORM PANEL  
 L.C. DRAWN BY:  
**EASTERN METAL SUPPLY, INC.**  
 4283 WESTCHASE DR  
 WEST PALM BEACH, FL 33417  
 05-978  
 DRAWING NO  
 SHEET 11 OF 15



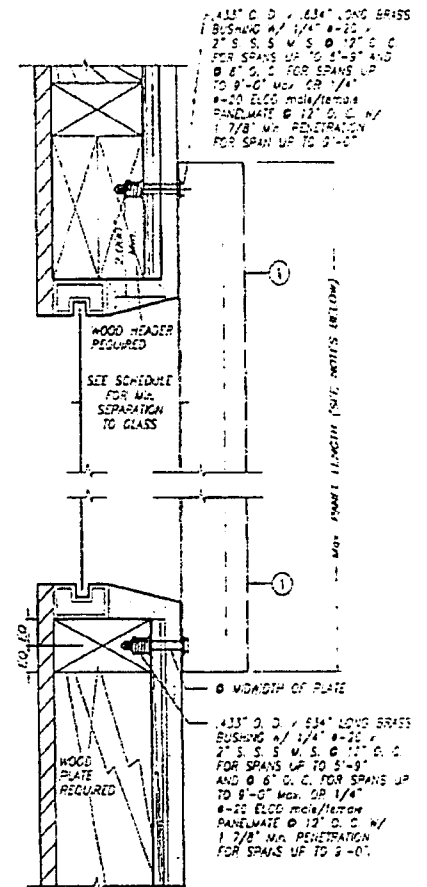
ALTERNATIVE 1



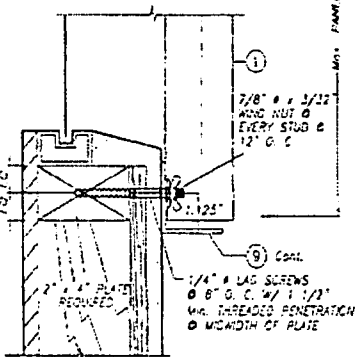
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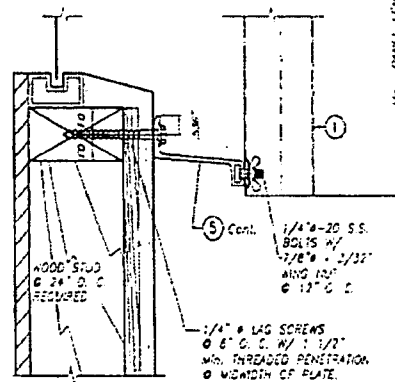
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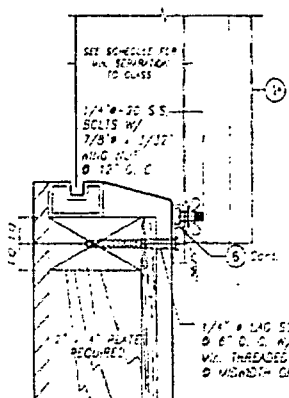
ALTERNATIVE 8



ALTERNATIVE 2



ALTERNATIVE 6



ALTERNATIVE 3

WALL MOUNTING INSTALLATIONS

SECTIONS A

SCALE 1/4" = 1'

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

NOTE FOR COMBINATION OF SECTIONS.  
 WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

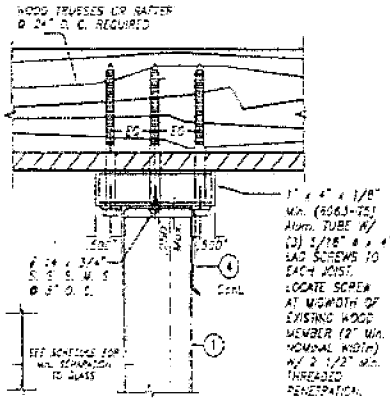
- NOTES:
- INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO F55.0 - 72.0 psf AND PANEL'S LENGTHS UP TO 5'-0", EXCEPT AS NOTED.
  - NEW 2" x 6" P. 1, TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 19 X M. M. C. W/ SPECIFIC DENSITY OF 0.55.
  - FOR NEW WOOD FRAME CONSTRUCTION, WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

05-9926.c3  
 08/07/2008  
*Helmut A. Teich*

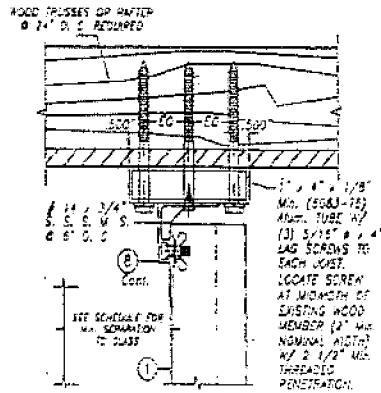
F.B.C. (High Velocity Hurricane Zone)

<p>TILECO TESTING &amp; ENGINEERING COMPANY          6330 N.W. 36th St., Ste. 500, WILMINGTON GARDENS, FL 33211          Phone: (305) 871-1500 Fax: (305) 871-1521          ED-0026719</p>		0.050" BERTHA ALUMINUM STORM PANEL		DATE
		EASTERN METAL SUPPLY, INC.		DATE
4258 WESTRIDGE DR. WEST PALM BEACH, FL 33407		05-078		DRAWING No
REV	DESCRIPTION	DATE	BY	DATE
1	OLD 03-101	4/23/03		
2				

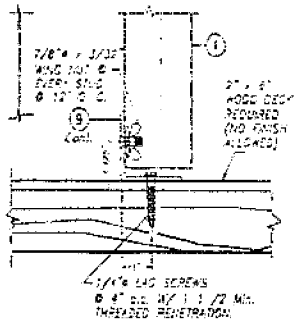
SEP 15 2005



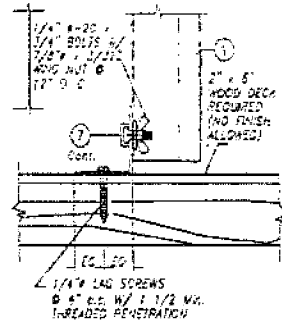
**ALTERNATIVE 9A**



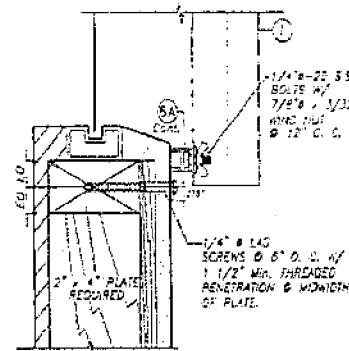
**ALTERNATIVE 10**



**ALTERNATIVE 9**

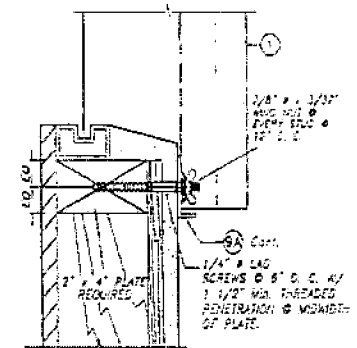


**ALTERNATIVE 11**



**ALTERNATIVE 12 \***

\* VALID FOR Max. +63.5, -63.5 psf.



**ALTERNATIVE 14**

**CEILING & FLOOR MOUNTING INSTALLATIONS**

SCALE: 1/4" = 1'

**NOTE FOR COMBINATION OF SECTIONS.**

WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

**NOTES**

1. INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0, -72.0 psf AND PANEL'S LENGTHS UP TO 9'-0", EXCEPT AS NOTED.
2. NEW 3" x 5" P. F. TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 15 X M. M. C. W/ SPECIFIC DENSITY OF 0.55.
3. FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

**WALL MOUNTING INSTALLATION**

SCALE: 1/4" = 1'

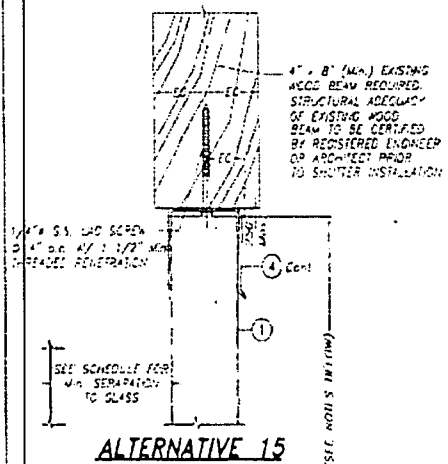
**INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS**

FOR MORE INFORMATION  
 call or visit our website  
 www.tileco.com  
 800-822-0505  
 208/877-2008  
 By: *Haley A. Miller*  
 PROJECT ENGINEER

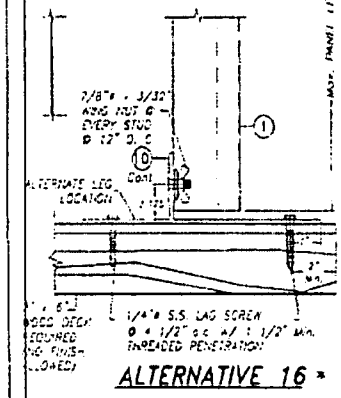
F.B.C.(High Velocity Hurricane Zone)

SEP 16 2005

 TILECO TESTING & ENGINEERING COMPANY 4331 N.W. 34th St., Suite 300, Pompano Beach, FL 33069 Phone: (954)775-1122 Fax: (954)871-1027 EB-0026719 WALTER A. TRUETT, P. E. FLORIDA LIC. # 44107	0.050" BERTHA ALUMINUM STORM PANEL	C.S. DRAWN BY:																		
	EASTERN METAL SUPPLY, INC. 4268 N. STRICKLAND DR. 7551 PALM BEACH, FL 33407	4/25/05 DATE																		
<table border="1"> <thead> <tr> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>APPROVED</th> <th>CHK</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>ELD 03-147</td> <td>11/25/05</td> <td></td> <td></td> <td></td> </tr> <tr> <td>1</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV. NO.	DESCRIPTION	DATE	BY	APPROVED	CHK	1	ELD 03-147	11/25/05				1						05-076 DRAWING No	SHEET 13 OF 15
REV. NO.	DESCRIPTION	DATE	BY	APPROVED	CHK															
1	ELD 03-147	11/25/05																		
1																				



**ALTERNATIVE 15**

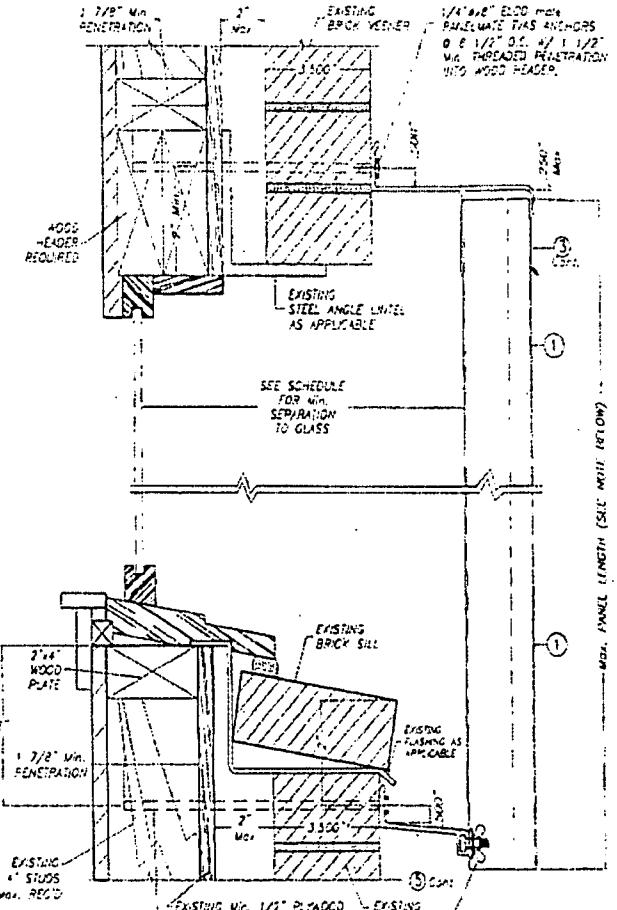


**ALTERNATIVE 16 \***

**CEILING & FLOOR MOUNTING INSTALLATIONS**  
SCALE: 1/4" = 1"

**NOTE FOR COMBINATION OF SECTIONS:**  
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

**NOTES:**  
1. INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0, -65.0 psf AND PANEL'S LENGTHS UP TO 9'-0" EXCEPT AS NOTED.  
2. NEW 2" x 6" P. 1, TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 15 % M. C. W/ SPECIFIC DENSITY OF 0.55  
3. FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

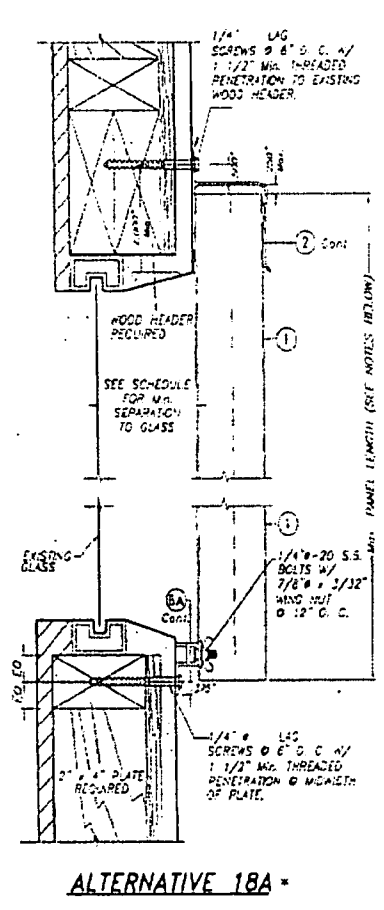


**ALTERNATIVE 17 \***

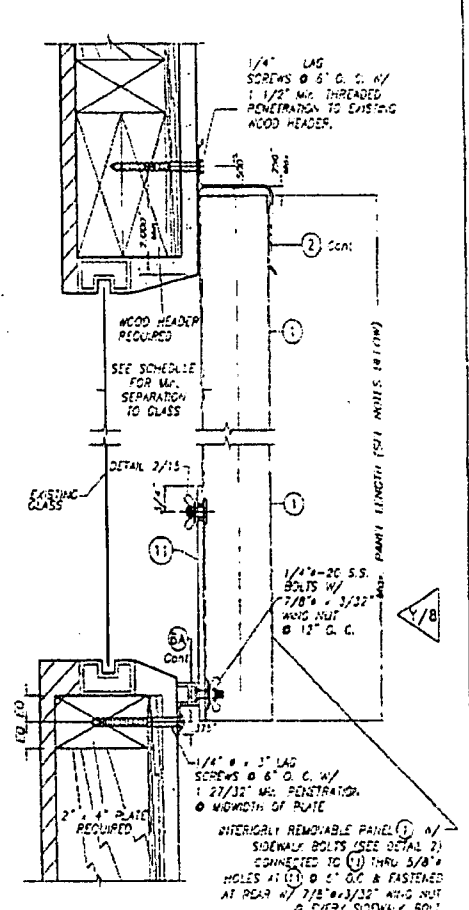
\* VALID FOR Max. +63.5, -63.5 psf.

**BUILD-OUT INSTALLATION**  
SCALE: 1/4" = 1"

**INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS**



**ALTERNATIVE 18A \***



**ALTERNATIVE 18B \***

**WALL MOUNTING INSTALLATIONS**

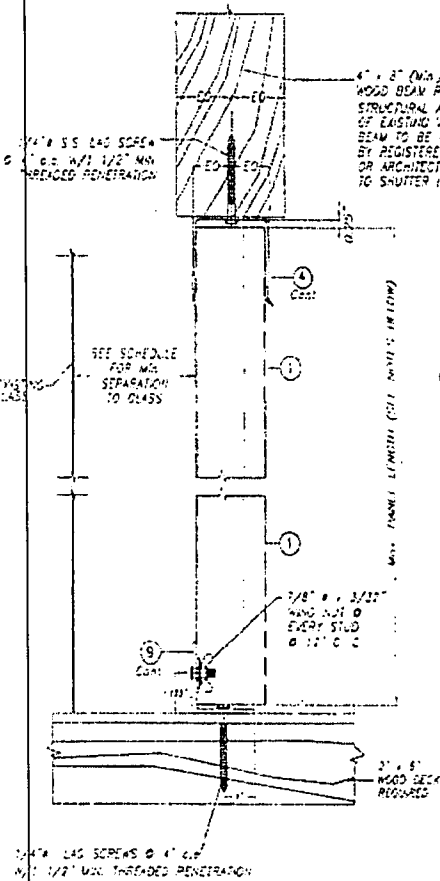
**SECTIONS 1B** \* VALID FOR Max. +63.5, -63.5 psf.  
SCALE: 1/4" = 1"

**INSTALLATIONS VALID FOR PANELS 1 USED JOINTLY WITH INTERIORLY REMOVABLE PANELS 1**

F.B.S.(High Velocity Hurricane Zone)

SEP 15 2005

		<b>0.050" BERTHA ALUMINUM STORM PANEL</b>		DATE: 4/28/03 DRAWN BY:	
TILFEST TESTING & ENGINEERING COMPANY 1885 N.W. 5th St. Ft. Lauderdale, FL 33309 (954) 771-1332 Fax: (954) 771-1511		<b>EASTERN METAL SUPPLY, INC.</b> 4268 WESTROADS DR. WEST PALM BEACH, FL 33407		DATE: 05-079 DRAWING NO:	
REV	NO	REVISION	DATE	REV	NO
1	1	OLD 03-141	4/29/03		
2					
				SHEET 14 OF 15	

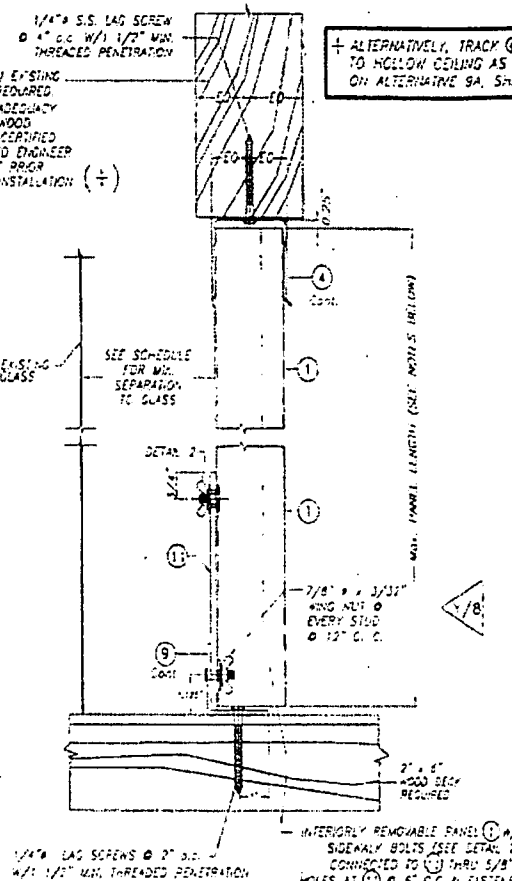


**ALTERNATIVE 19A**

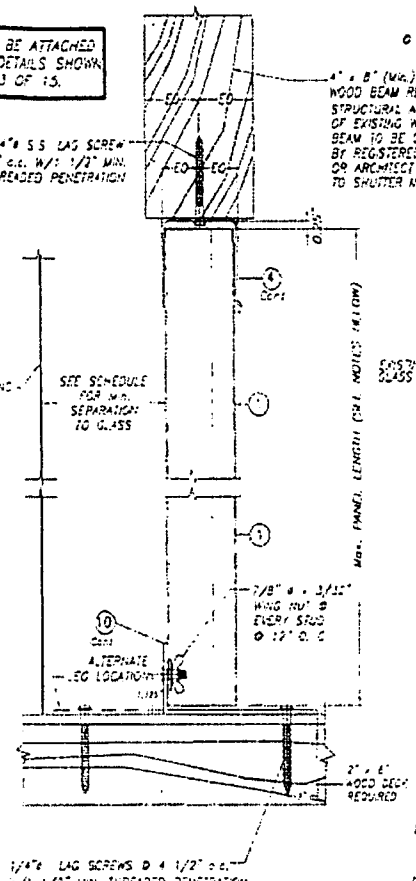
**CEILING & FLOOR MOUNTING INSTALLATIONS**

**SECTIONS 19**

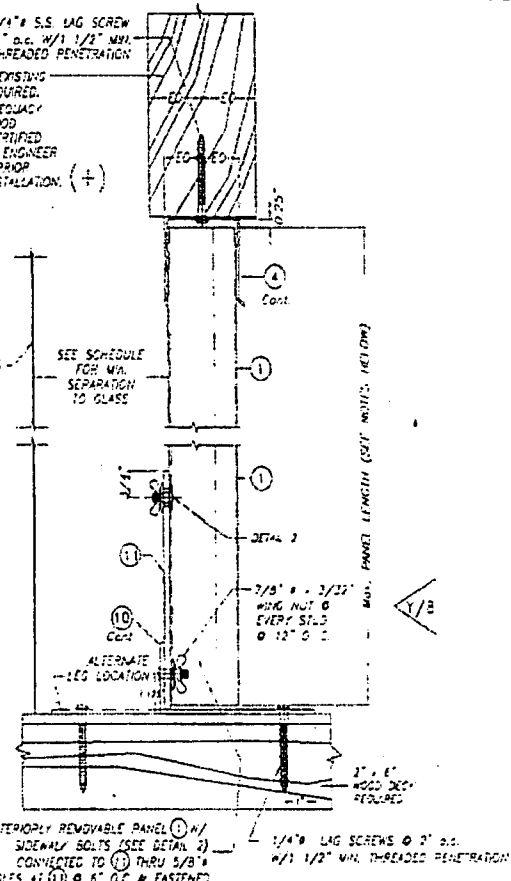
SCALE: 1/4" = 1"



**ALTERNATIVE 19B**



**ALTERNATIVE 20A**

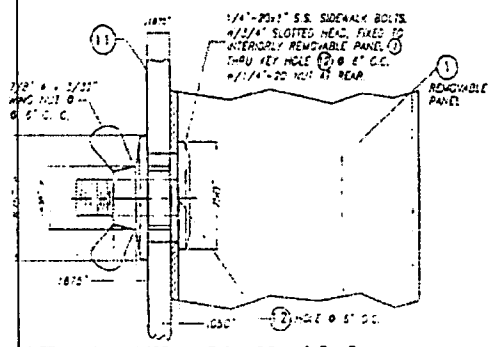


**ALTERNATIVE 20B**

**CEILING & FLOOR MOUNTING INSTALLATIONS**

**SECTIONS 20**

SCALE: 1/4" = 1"



**DETAIL 2 - INSTALLATION OF 1/4"x1" SIDEWALK BOLTS @ REMOVABLE PANEL**

SCALE: 1" = 1"

**NOTE FOR COMBINATION OF SECTIONS:**  
 FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:**
- INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0, -65.0 psf AND PANELS LENGTHS UP TO 8'-0"
  - NEW 2" x 6" P.F. TO BE SOUTHERN PINE No 2, SURFACED DRY WITH 1/2 X 1/4 M.M.C. W/ SPECIFIC DENSITY OF 0.55.
  - FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

**INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS**

PRODUCT REVIEWED  
 TO VERIFY WITH THE Florida  
 Building Code  
 Approval No. 05-0926.03  
 Expiration Date 08/27/2008  
 By: *[Signature]*  
 TITLE: *[Signature]*

F.B.C. (High Velocity Hurricane Zone)

<p>TILECO INC.          TILT TESTING &amp; ENGINEERING COMPANY          1825 N.W. 25th St., Ft. Lauderdale, FL 33309          Phone: (305) 471-1530 Fax: (305) 471-1531          E-mail: tileco@tileco.com</p>	0.050" BERTHA ALUMINUM STORM PANEL		I.D. DRAWN BY:	
	<b>EASTERN METAL SUPPLY, INC.</b> 4258 WESTROADS DR. WEST PALM BEACH, FL 33417		4/26/15 DATE	
05-078 DRAWING NO		05-078 DRAWING NO		SHEET 15 OF 15

SEP 15 2009

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~THURS~~ **THURS** 7-31, 2008 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8920	Skinner	UG electric	PASS	
5	15 Palmetto Tuscany Bay			INSPECTOR: <i>JAV</i>
8962	CO2	Footer	FAIL	
2	75 N Sewalls SDH	pr wall (JOHN)		INSPECTOR: <i>JAV</i>
8952	<del>Sanders</del>	<del>final</del>	<del>PASS</del>	<del>CLOSE</del>
3	3 Mandalay Louie's	panels		INSPECTOR: <i>JAV</i>
8905	Pottsdam	Final	PASS	CLOSE
4	50 Rivista Michael Schow			INSPECTOR: <i>JAV</i>
8145	Gessinger	FINAL	PASS	CLOSE
?/6	Castle Hill OB	GAS FINAL 215-1094	PASS	INSPECTOR: <i>JAV</i>
8899	Cornell	Final-panels	PASS	CLOSE
15/6	1 Benjamin Rd OB			INSPECTOR: <i>JAV</i>
8939	Cornell	Final-door	PASS	CLOSE
2/15/6	1 Benjamin Rd Creation Blggs			INSPECTOR: <i>JAV</i>

C. J. O. M. M.

OTHER:

**8975**

**AC CHANGEOUT**

---





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8975	DATE ISSUED:	AUGUST 7, 2008
SCOPE OF WORK:	AC CHANGEOUT		
CONDITIONS:			
CONTRACTOR:	NIS AIR		
PARCEL CONTROL NUMBER:	133841004000001404	SUBDIVISION	MANDALAY - LOT 14
CONSTRUCTION ADDRESS:	3 MANDALAY RD		
OWNER NAME:	SANDERS		
QUALIFIER:	PHILIP NISA	CONTACT PHONE NUMBER:	466-8115

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

DATE: 8-7-08  
TOWN OF SEWALL'S POINT

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number:

Date: 8-7-08

OWNER/TITLEHOLDER NAME: MR + MRS Thomas Sanders Phone (Day) 224-9226 (Fax) N/A

Job Site Address: 3 Mandabay Road City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block): Mandabay Lot 14 Parcel Number: 13-38-41-004-000-00140-4

Owner Address (if different): Same City: State: Zip:

Scope of work: Change out a/c

WILL OWNER BE THE CONTRACTOR? (If yes, Owner/Builder questionnaire must accompany application) YES NO

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 3614.00 (Notice of Commencement required when over \$2500 prior to first inspection) Is subject property located in flood hazard area? Y  AS  X FOR ADDITIONS, REVISIONS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ Fair Market Value of the Primary Structure only (Below the land value) - PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATIONS

Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (State) include a copy of all variance applications with application

CONTRACTOR/Company: Nisair Phone: 466-8115 Fax: 468-9752 Street: 3702 SO US Hwy one City: Ft. Pierce State: FL Zip: 34982

State Registration Number: CFC 41199 State Certification Number: Municipality License Number:

PROJECT SUPERINTENDANT: Philip Nisair, JR CONTACT NUMBER: 772-260-2068

ARCHITECT: N/A Lic #: Phone Number:

Street: City: State: Zip:

ENGINEER Lic #: Phone Number:

Street: City: State: Zip:

AREA SQ. FOOTAGE (W/SEWER & ELECTRIC): Living: Garage: Covered Porch: Screened Porch: Carport: Total Under Roof: Wood Deck: Accessory Building:

CODE EDITIONS IN EFFECT FOR THIS APPLICATION: Florida Building Code - Res., Buil., Mech., Plumb., Fuel Gas; 2004 (W/2006 Rev.) National Electrical Code: 2003 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Prevention Code 2004

NOTICES TO OWNERS AND CONTRACTORS: 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCLUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 180 DAYS. GENERAL FEES WILL BE ADJUSTED UPON WHETHER THE TRIM FINISHES ARE

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. SUP. FPC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - 5. I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

OWNER SIGNATURE (required) [Signature] State of Florida, County of: Martin This the 7th day of August 2008 by Jean Sanders who is personally known to me or produced Personally Known as identification. N/A [Signature] My Commission Expires: C#D032110? Exp 9-18-08

CONTRACTOR SIGNATURE (required) [Signature] On State of Florida, County of: Martin This the 7th day of August 2008 by Philip A. Nisair, JR who is personally known to me or produced personally known as identification. N/A [Signature] My Commission Expires: C#D032110? Exp 9-18-08

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FPC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FPC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



# Martin County, Florida

## Laurel Kelly, C.F.A

Site Provided by...  
governmentmax.com T1.12

### Summary

print Owner 34 of 36

#### Parcel Info

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-004-000-00140-4	3 MANDALAY RD	27804	Owner	0	1

- Summary**
- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

**Summary**  
**Property Location** 3 MANDALAY RD  
**Tax District** 2200 Sewall's Point  
**Account #** 27804  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120200  
**Acres** 0.558

**Legal Description**  
**Property Information**  
 MANDALAY LOT 14

#### Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
 SANDERS, CORNELIUS T  
 SANDERS, JEAN DIXON

**Assessment Info**  
 Front Ft. 0.00

**Mail Information**  
 3 MANDALAY RD  
 STUART FL 34996

**Market Land Value** \$340,000  
**Market Impr Value** \$206,250  
**Market Total Value** \$546,250

#### Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
**Sale Amount** \$195,000

**Sale Date** 4/28/1994  
**Book/Page** 1068 1763

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Data updated on 08/04/2008



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  ~~TUES.~~  Fri 8-12, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8961	BOHNER	FINAL		
John	2 N SEWALLS		PASS	CLOSE
	CARPS & HUFF			INSPECTOR: <i>JA</i>
8964	HB ASSOC.	FINAL		
John	3766 SE OCEAN		PASS	CLOSE
	ROOFMAN			INSPECTOR: <i>JA</i>
5969	HB Assoc	Final - (signs)		
John	3766 SE Ocean		PASS	CLOSE
	Kuchman			INSPECTOR: <i>JA</i>
6198	HB Assoc	Final sign		
John	3766 SE Ocean		PASS	CLOSE
	Jimmy Lowell			INSPECTOR: <i>JA</i>
6558	HB Assoc	Final - light posts		
John	3766 SE Ocean		PASS	CLOSE
	Jimmy Lowell			INSPECTOR: <i>JA</i>
8968	Nelson	Form & steel		
	3 Marguerita	BOND & M.D.	PASS	
	Crown Kline			INSPECTOR: <i>JA</i>
8975	Sanders	Final		
1302	3 Mandalay		PASS	CLOSE
	Nishui			INSPECTOR: <i>JA</i>
OTHER:	8962 CDZ	beam on entry wall	PASS	<i>JA</i>
	75N Sewalls			
	SDH			