

12 Mandalay Road

ADMIN VARIANCE

Free

TOWN of SEWALL'S POINT

Rural Route No. 1, Jensen Beach, Florida 33457 Telephone 287-2455

COMMISSIONERS

HARRY M. SISSON, Mayor
ROBERT B. SMITH, Vice Mayor
WM. H. COBB
CLAY T. LAMBETH, JR.
ROBERT W. WILSON, JR.

MARY G. SMITH
Town Clerk
Telephone 287-2455

January 5, 1973

Town of Sewall's Point
Board of Commissioners

Gentlemen:

The meeting of the Board of Adjustment at the Town Hall was held at 2:00 P.M. January 5, 1973. Attending were Board members Lisle, Booth, Patterson and Dickinson. Mr. Sills was also present.

The variance requested is described in Mr Sill's attached letter.

The Town Ordinance involved is given in Paragraph 3, Section F on page 13 of Ordinance 65. The Board decided that the two sentences of Par 3 are contradictory. The first sentence would have considered the set-back from River Road as a side yard set-back, requiring only 15'. The second sentence would have required a set-bak of 35 ft. (both measurements from the west side of the River Road)

The drawing submitted for a permit shows a set-back from River Road of 20 ft, 10 inches. Mr. Sills letter agrees to increase this set-back from River Road to 29 feet.

As for considering the ambiguity of the Ordinance, Mr Sills cooperation in increasing the set-gack to 29 feet and cause a hardship for adjoining property owners, the four members of the Board of Adjustments present voted unanimously to grant the variance.

The drawing originally submitted by Mr Sills has been changed (new dimensions in red) by Mr. Booth to make clear the set-backs (east & west) approved by the Board. It is understood that construction is to be started at once.

Signed,

John Dickinson, Chairman

Board of Adjustments

January 5th, 1973

P.S. It is suggested that the Town Commission consider eliminating the contradictory nature of the two sentences of Paragraph 3 mentioned above.

The second sentence is considered to be the controlling sentence at the present time.

J.D.

M. Dwyer

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Board of Adjustments
January 5th, 1973

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J.D.

Application/Permit No. MC-509

DEPARTMENT OF POLLUTION CONTROL
Application and Permit
of
Individual Sewage Disposal Facilities

Section I - Instructions:

1. Percolation test data, soil profile and watertable elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call (305) 464-8525 and give this office an 8-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.)
Lot 6 Block - Subdivision MANDALAY
Date Recorded 1969 Directions to Job EAST ON EAST OCEAN BLVD FROM STUART TO SEWALL'S PT. Rd - 50. TO MANDALAY Rd & JOB SITE
2. Owner or Builder ALLEN MARK
P. O. Address PO Box 1766 City STUART 33494
3. Specifications

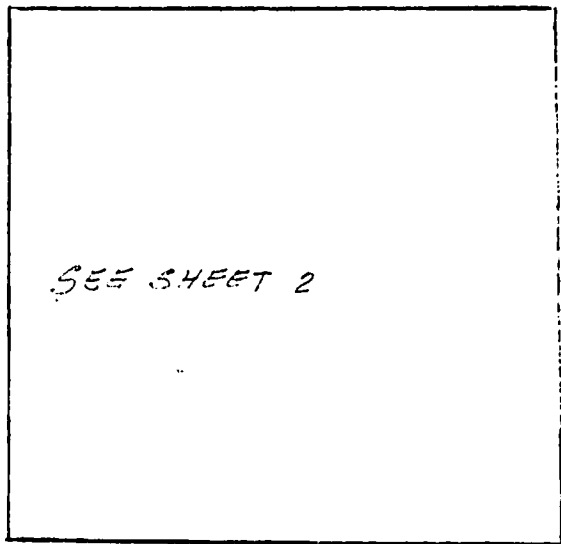
Tank	Drainfield
<u>1300</u> Gals <u>192</u>	ft of 6" clay tile or 5" perforated plastic drain in a 3' trench or
<u>1300</u> Gals <u>383</u>	ft of 4" clay drain or 4" perforated plastic drain in an 18" trench

Scale 1" = 50'

(Rear)

(Name of Street or State Rd.)

(Side)



(Name of Street or State Rd.)

(Side)

4. House to be constructed:
Check one: FHA
 VA ✓ Conventional

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: ALLEN MARK
Please Print

(Front)
(Name of Street or State Road)

Signature: [Signature] Date: Nov. 7 1972

***** DO NOT WRITE BELOW THIS LINE *****

Section III - Application Approval & Construction Authorization

Installation subject to following special conditions: _____

The above signed application has been found to be in compliance with Chapter 10D-6, DPC rules and construction is hereby approved, subject to the above specifications and conditions.

By: [Signature] Date: 11-9-72

Section IV - Final Construction Approval

Construction of installation approved: Yes No.

Date: _____ By: _____

FHA No. _____ VA No. _____

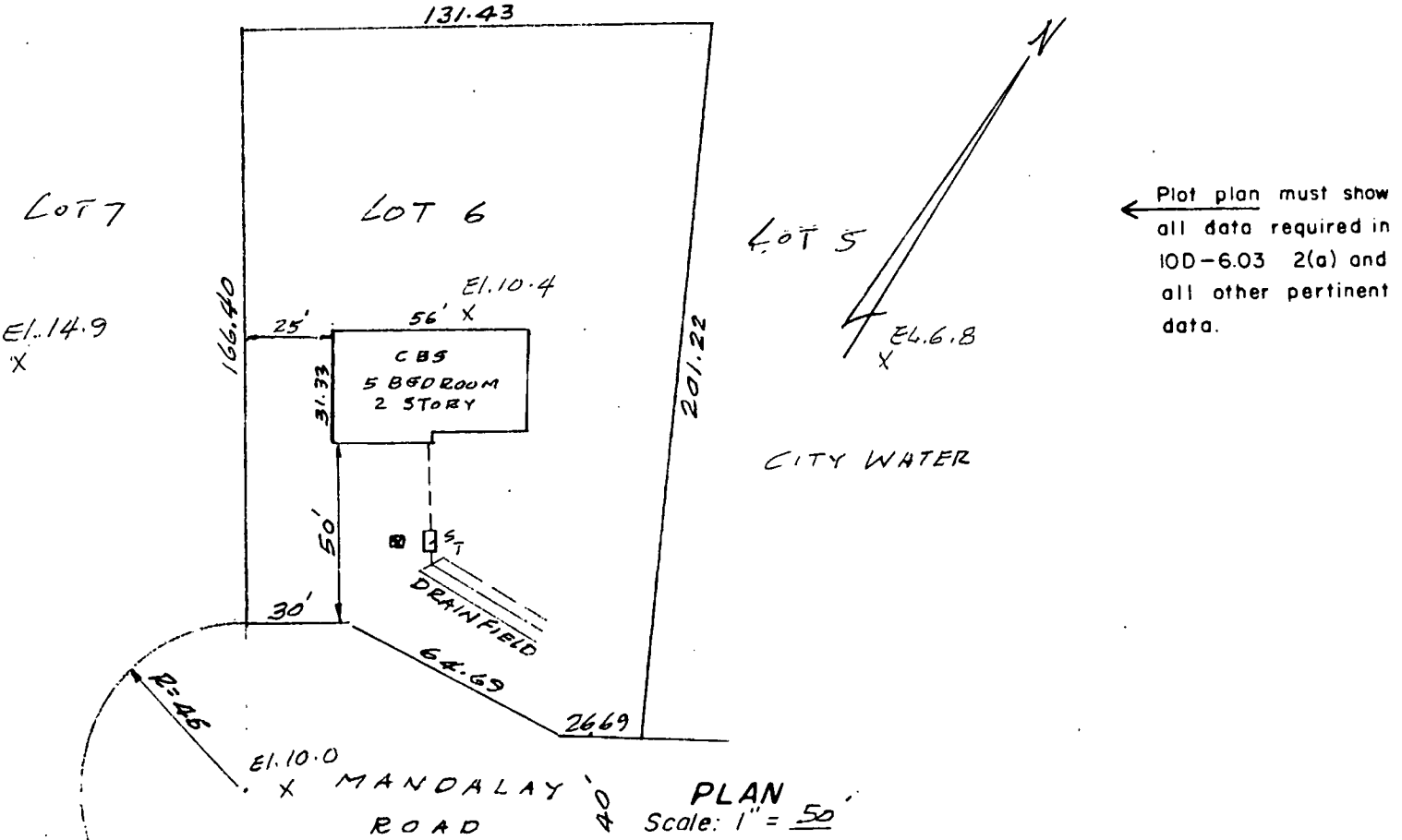
FLORIDA DEPARTMENT OF POLLUTION CONTROL

S. E. Subregion
 806 South 6th Street
 Fort Pierce, Florida 33450
 Tel. (305) 464-8525

INDIVIDUAL SEWAGE DISPOSAL FACILITIES
 DATA SHEET

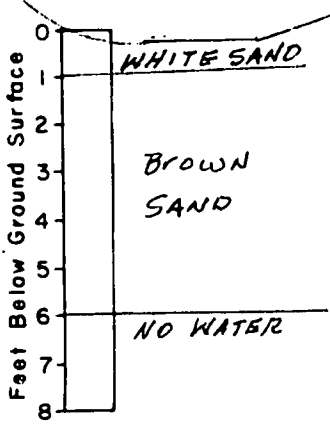
Location: SEWALL'S POINT Applicant: ALLAN MARK
 County: MARTIN

NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.



PLAN
 Scale: 1" = 50'

SOIL DATA



SOIL BORING LOG

Soil Identification: CLASS 1 GROUP SP
 Soil Characteristics _____

Percolation Rate 1" min/inch
 Water Table Depth _____
 Water Table Depth During Wet Season 6 to 7'
 Compacted Fill Of NONE Req'd
 Compacted Fill Checked By: _____
 Date _____

LEGEND

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

CERTIFIED BY: [Signature]
 FLORIDA PROFESSIONAL No. 1272
 Date Nov 7 1972 Job No. _____
 Sheet 2 of 2

Office

Dec. 22, 1922

There will be a meeting of the Board of Superintendents at the Town Hall on Jan. 5, 1923 to consider the request for a variance submitted by Mr. Sills.

Plans for a house to be installed on Lot # 6, in Village Subdivision show a set back of 20 ft. from the west side of the proposed location a house would instead of a setback of 35 ft. as required by Town Ordinance.

Like interested parties are urged to attend.

John A. Johnson
Chairman
Board of Superintendents.

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January 5, 1973

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Board of Commissioners

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The variance requested is described in Mr Sill's attached letter.

The Town Ordinance involved is given in Paragraph 3, Section F on page 13 of Ordinance 65. The Board decided that the two sentences of Par 3 are contradictory. The first sentence would have considered the set-back from River Road as a side yard set-back, requiring only 15'. The second sentence would have required a set-bak of 35 ft. (both measurements from the west side of the River Road)

The drawing submitted for a permit shows a set-back from River Road of 20 ft, 10 inches. Mr. Sills letter agrees to increase this set-back from River Road to 29 feet.

As for considering the ambiguity of the Ordinance, Mr Sills cooperation in increasing the set-gack to 29 feet and cause a hardship for adjoining property owners, the four members of the Board of Adjustments present voted unanimously to grant the variance.

The drawing originally submitted by Mr Sills has been changed(new dimentions in red) by Mr. Booth to make clear the set-backs(east & west) approved by the Board. It is understood that construction is to be started at once.

Signed,

John Dickinson, Chairman
Board of Adjustments
January 5th, 1973

P.S. It is suggested that the Town Commission consider eliminating the contradictory nature of the two sentences of Paragraph 3 mentioned above.

The second sentence is considered to be the controlling sentence at the present time.

J.D.

C. B. Arbogast
Stuart, Florida

December 21, 1972

Mr. John Dickinson
RR # 1
Jensen Beach, Fla.

RE: Nesbit B. Sills, Jr.
Lot # 6
Mandalay Subdivision

Dear Mr. Dickinson:

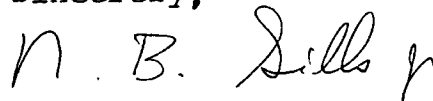
I am writing to apply for a variance on the house which I intend to build on the above lot.

Current town restrictions call for 15' side offsets. Since the above lot is classed as a corner lot, it is my intention to move the house West 5' and decrease the size of the garage from 27' to 24'. In all, the building line will be 44' from the center line of River Road.

In order to comply with the Town Ordinance, the set back should be 50'. I am hereby applying for a variance of 6'.

I would appreciate your help in securing this variance.

Sincerely,



N. B. Sills, Jr.

NBS:jr

Jan. 5, 1978

Re. Request For a variance
by Mr. M. B. Sill, Jr.
on Lot #6, Montclair
Subdivision.

The meeting of the B & A at the
Town Hall was called to order at 2:00 pm
for 5:00. Attending were Board members,
Lesle, Booth, Patterson and O'Grady.
Mr. Sill was also present.

The variance requested as described in
Mr. Sill's letter of Dec. 21st attached
hereto.

The Town ordinance involved is
given in Par. 3, Section 5 on page
13 of Ordinance # 65. The Board
decided that the two sentences of
Par. 3 are contradictory. The first
sentence would have considered the set
back from River Road as a side yard
set back, requiring only 15'. The second
sentence would have required a set
of 35 ft. (Both measurements from the
west side of River Road.)

The drawing submitted for a
permit shows a set back from River
Road of 20'-10". Mr. Sill's letter
agrees to increase this set back from
River Road to 29 ft.

After considering the ambiguity of the Dedman, Mr. Sill's cooperation, and increasing the set back to 29 ft., and the fact that this set back would not cause a hardship for adjoining property owners, the four members of the B-A board voted unanimously to grant the variance.

The drawing originally submitted by Mr. Sill has been changed (new dimensions in red) by Mr. North to make clear the setbacks (East and West) approved by the B-A. It is understood that construction is to be started immediately.

Signed,
John Dedman
Chairman, B-A.
Jan 5th, 1979

P.S. It is suggested that the Town Commission consider eliminating the contradictory nature of the two sentences of Par. 3 mentioned above.

The second sentence is considered to be the controlling sentence at the present time.

J.D.

366

SFR

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 366

Date Dec. 6, 1972

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner N. B. Sills Jr Present Address ¹⁰⁴⁶ ~~100~~ OSCEOLA Ph 417-4539

General Contractor Allen Mark Address P.O. 1766, Jewell Pt. Ph 417-7733

Where licensed COUNTY (MARTIN) License No. 83

Plumbing Contractor A. B. Dorsey License No. 13

Electrical Contractor DAVE BISHOP License No. 62

Street building will front on MANDALAY ROAD

Subdivision MANDALAY Lot No. 6 Area JEWELLS PT.

Building area, inside walls (excluding garage, carport, porches) Sq ft 2600

Other Construction (Pools, additions, etc.) NONE

Contract Price (excluding land, rugs, appliances, landscaping) \$ 52,000.00
43,000

Total cost of permit \$ 280.00

Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Allen Mark
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

N. B. Sills Jr
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted Dec. 6, 1972

Date approved 12/19/72

X

JAC
12/18

Certificate of Occupancy issued _____ Date 366

1215

SOLAR WATER HEATER

TOWN OF SEWALL'S POINT FLORIDA

RECEIVED SEP 25 1980

Permit No. _____

Date 9/21/80

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner CHARLES A. PHANEUF Present address 12 MANDALAY

Phone 305 - 283 - 8733

Contractor SUNCOAST Dist. of STANT IAC Address PORT SALENO FLA

Phone 286 - 2183

Where licensed MARTIN COUNTY License number 340 - 0377

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: SOLAR HOT WATER SYSTEM - COLLECTORS

MOUNTED ON BACK ROOF FACING SOUTH AT 37° (ONE) →
State the street address at which the proposed structure will be built:

12 MANDALAY

Subdivision MANDALAY Lot No. _____

Contract price \$ 2092⁰⁰ Cost of Permit \$ 11⁰⁰

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Kenneth J. Gierke Pres.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Sally Phaneuf

TOWN RECORD Date submitted _____

Approved: J.A. Mazzuca Building Inspector Date 9/26/80

Approved: _____ Commissioner Date _____

Final Approval given: OK 10/7/80 Jan Date

Certificate of Occupancy issued _____ Date

SP/1-79

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

1275

Reference Permit dated 4-10-80

1132 for J.A. FREEMAN

APPLIED For by Suncoast Dist. of STUART INC

SAME basic system and approvals
pertain to this system -

SUN COAST DISTRIBUTORS OF STUART, INC.

P. O. BOX 782
PORT SALERNO, FLA. 33492
286-2183

SOLAR SYSTEM INSTALLATION
DRAWINGS AND DATA

SUN COAST DISTRIBUTORS OF STUART, INC.
P. O. BOX 782
PORT SALERNO, FLA. 33492
286-2183

SOLAR DEVELOPMENT, INC.
3630 REESE AVENUE
GARDEN INDUSTRIAL PARK
RIVIERA BEACH, FLORIDA 33404

SUN COAST DISTRIBUTORS OF STUART, INC.
P. O. BOX 782
PORT SALERNO, FLA. 33492
286-2183

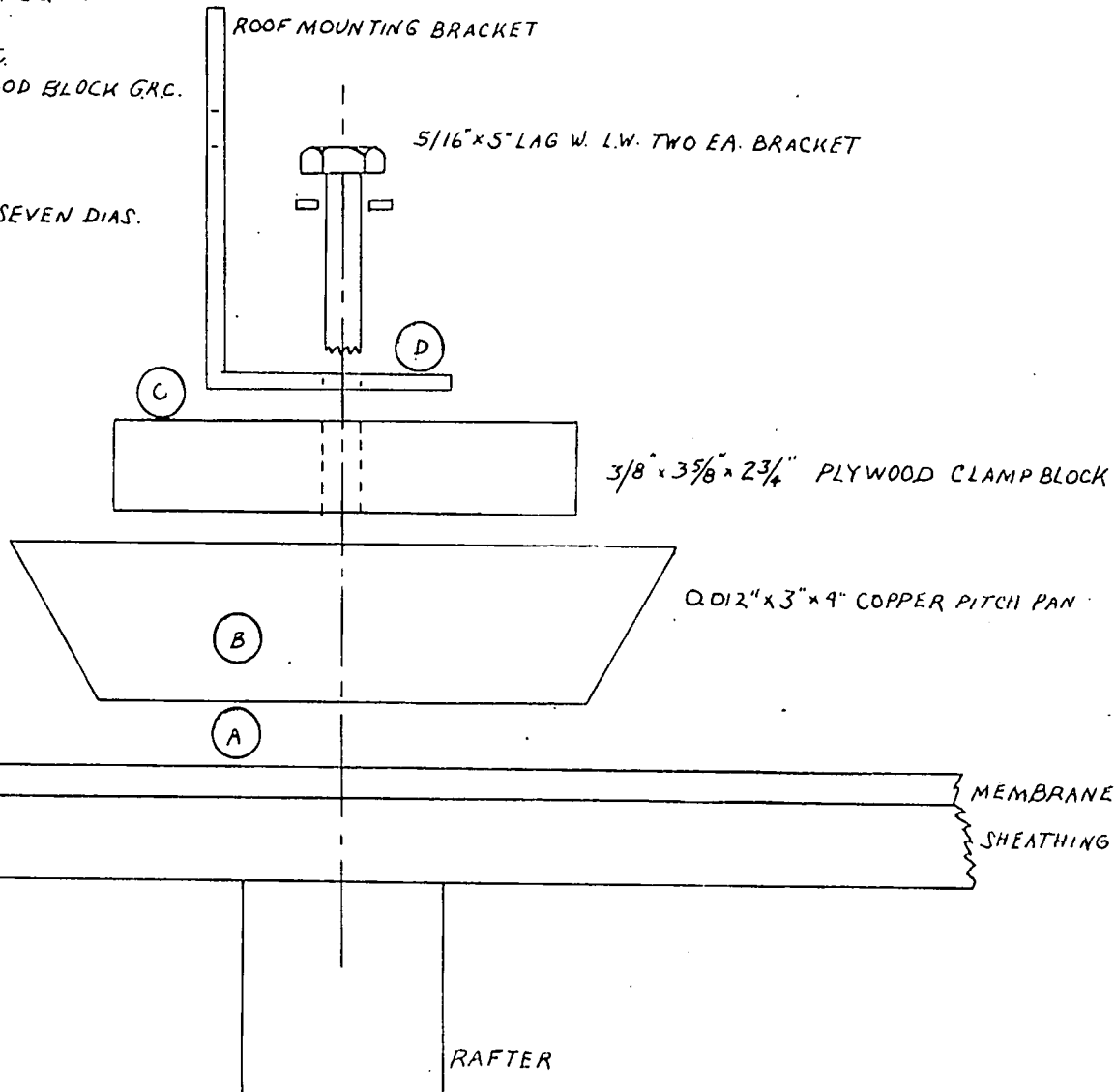
RECEIVED SEP 2 5 1980

*Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.*

These drawings have been prepared to substitute for blueprint drawings utilized for building permit applications. Nothing in these drawings shall be interpreted to conflict with the drawings filed with the cognizant Building Official which are signed and sealed by William G. Wallace, Professional Engineer, North Palm Beach, Florida.

SD-5 SOLAR COLLECTOR ROOF SEAL

1. TROWELL 6"x6" SQUARE x 3/16" THICK (AREA "A").
2. GARDINER ROOFING CEMENT OR EQUIV.
3. SET PITCH PAN IN AREA "A".
4. FILL PITCH PAN AREA "B" 1/4" GRC.
5. FILL LAG SCREW HOLES IN PLYWOOD BLOCK GRC.
6. TROWELL 1/8" GRC. AREA "C".
7. TORQUE LAGS ≈ 20 LBM-FT.
8. MAX. LAG PILOT DIA. 15/64".
9. MIN. RAFTER LAG PENETRATION SEVEN DIAS. OR 2.20"



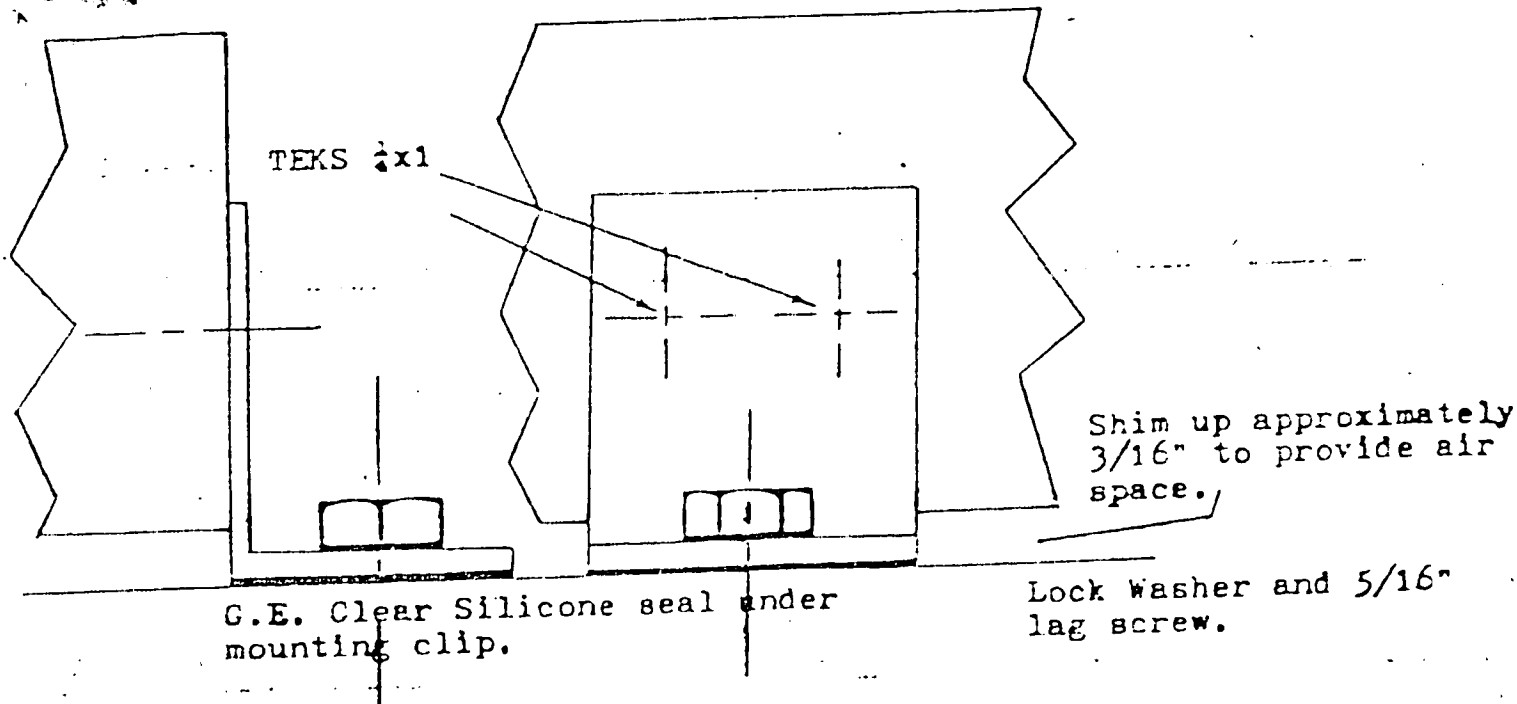
RECEIVED SEP 2 5 1980

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SOLAR DEVELOPMENT, INC.
 3630 REESE AVE.
 GARDEN INDUSTRIAL PARK
 RIVIERA BEACH, FLA. 33404
 305/842-8935

SUN COAST DISTRIBUTORS OF STUART, INC.
 P. O. BOX 782
 PORT SALERNO, FLA. 33492
 286-2183

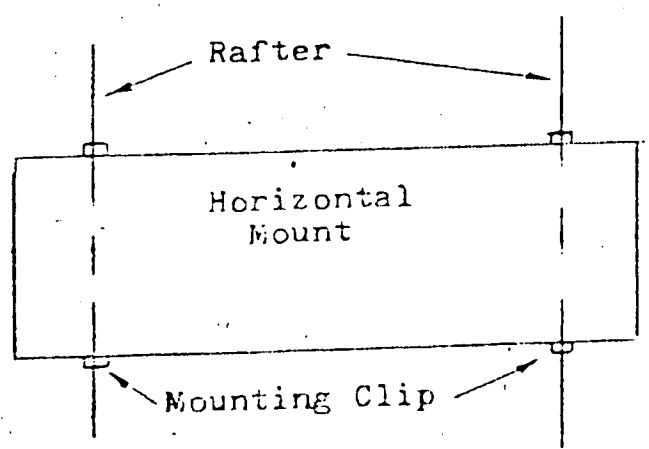




G.E. Clear Silicone seal under mounting clip.

Lock Washer and 5/16" lag screw.

Shim up approximately 3/16" to provide air space.

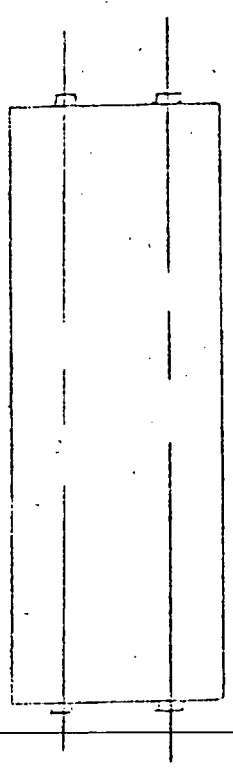


Rafter

Horizontal Mount

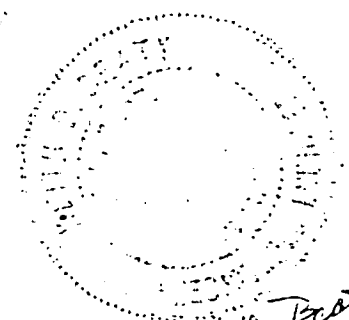
Mounting Clip

1. All mounting hardware by S.D.I.
2. For vertical mounts, use parallel flow plates
3. Cover all lag screws with G.E. Clear Silicone seal after torquing up.
4. 4'x10' collector 110 lbs.
2'x10' collector 55 lbs.



Vertical Mount

RECEIVED SEP 25 1980



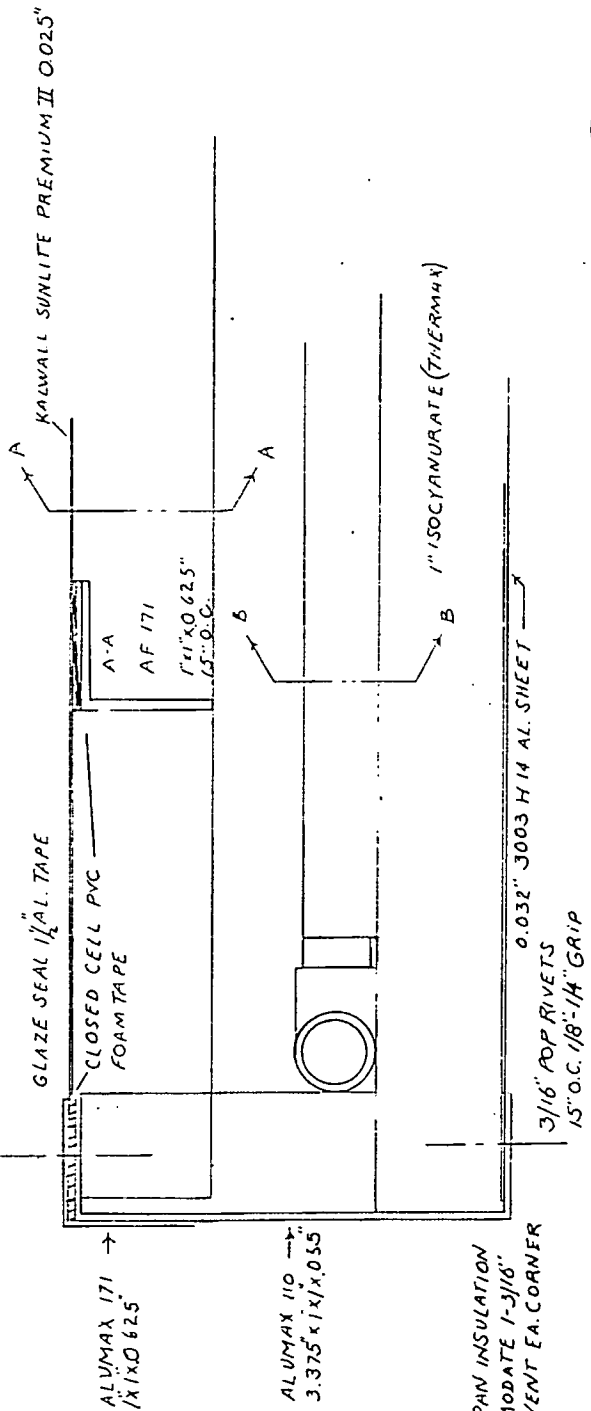
Keith D. Beatty
9/19/80

SUN COAST DISTRIBUTORS OF STUART, INC. 3530 REESE AVENUE
GARDEN INDUSTRIAL PARK
RIVIERA BEACH, FLORIDA 33404

P. O. BOX 782
PORT SALERNO, FLA. 33492
286-2183

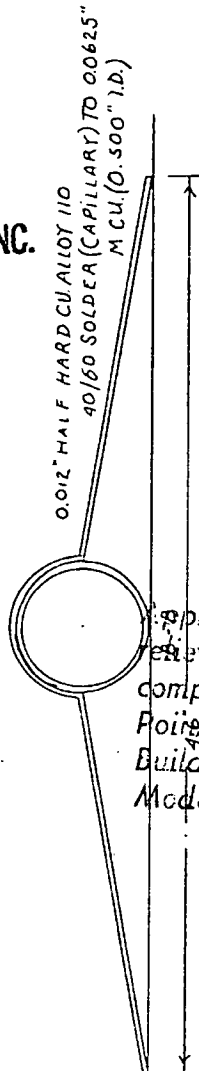
SOLAR DEVELOPMENT, INC.
SOLAR COLLECTOR
MOUNTING CLIP-FLUSH MOUNT

#1/2"x1" HWYH SMS 18-8 STAINLESS



SUN COAST DISTRIBUTORS OF STUART, INC.

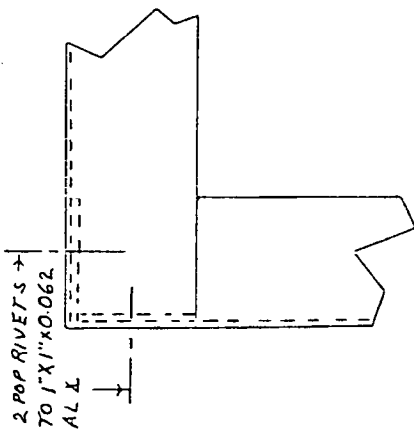
P. O. BOX 782
PORT SALERNO, FLA. 33492
286-2183



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RECEIVED SEP 25 1980

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3630 REESE AVE.
GARDEN INDUSTRIAL PARK
RIVIERA BEACH, FLA. 33404
305/842-8935

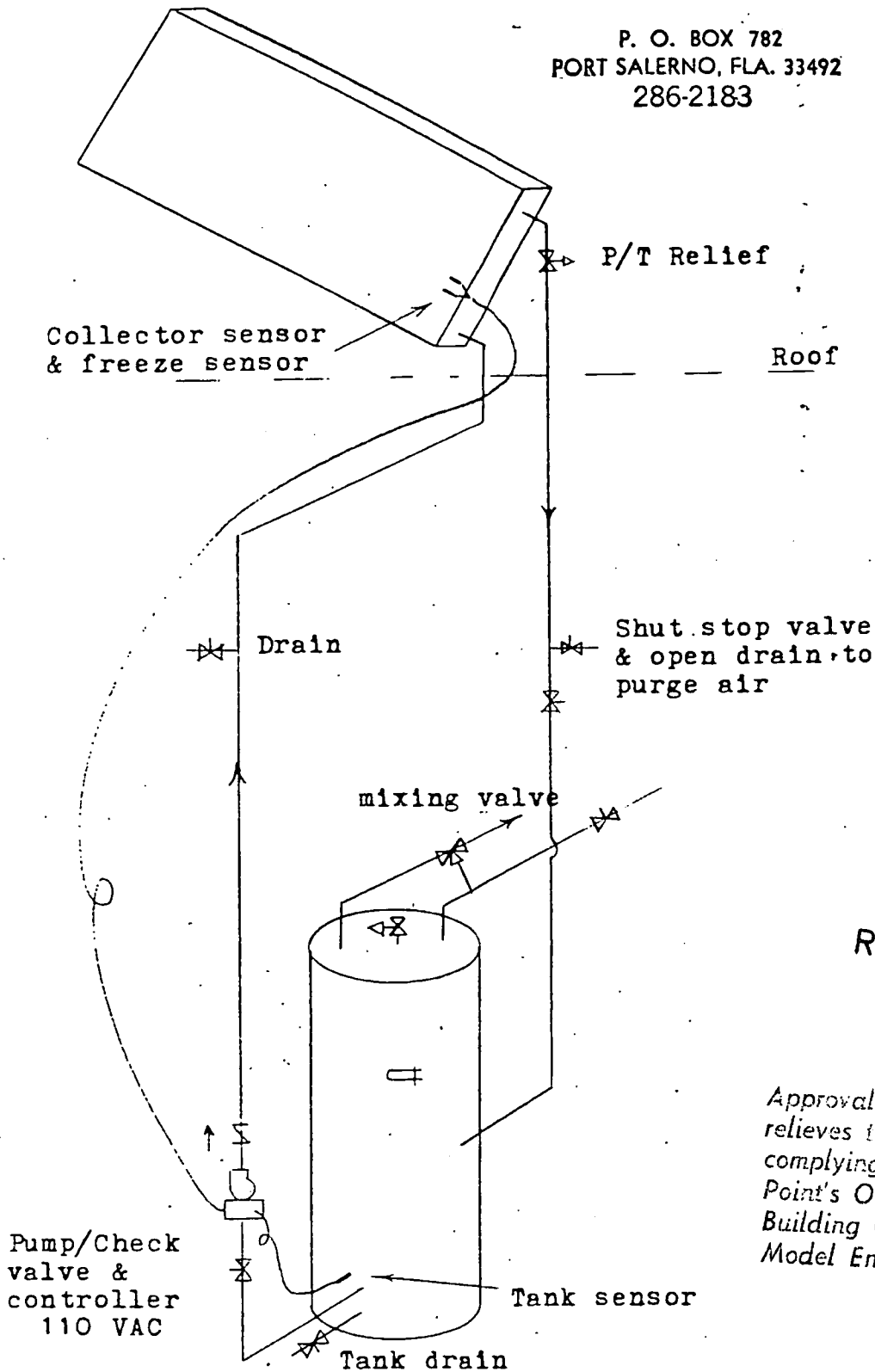


SUN COAST DISTRIBUTORS OF STUART, INC.

P. O. BOX 782
 PORT SALERNO, FLA. 33492
 286-2183

NOTES:

- * 1. Set Watts 70A 3/4 in. mixing valve at 140°.
- 2. Insulate all lines and outside valves with Armstrong Armaflex (1/2 in. wall thickness) or equivalent.
- 3. All piping 1/2 in. copper to and from collector.
- 4. Set heating element of tank at 120 deg.
- 5. Pressure/temp. relief valves (2) Watts 1L 1/2 in. or equivalent.



RECEIVED SEP 2 5 1980

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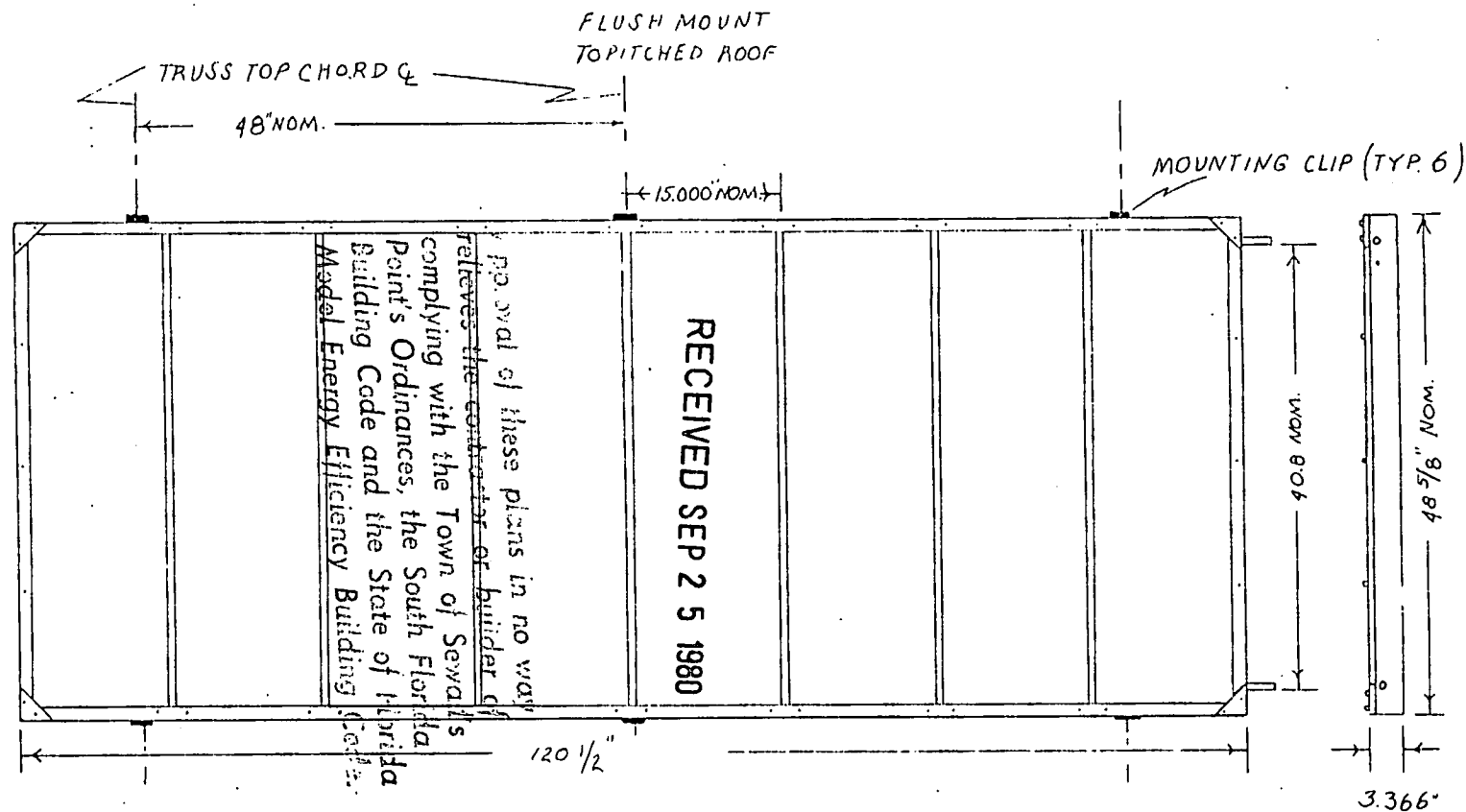
Solar Development, Inc.
 3630 Reese Ave.
 Riviera Beach, Florida 33404

SD5 Standard
 4' x 10'

SOLAR DEVELOPMENT
 3630 REESE AVE.
 GARDEN INDUSTRIAL PARK
 RIVIERA BEACH, FLA. 33404
 3051842-8935

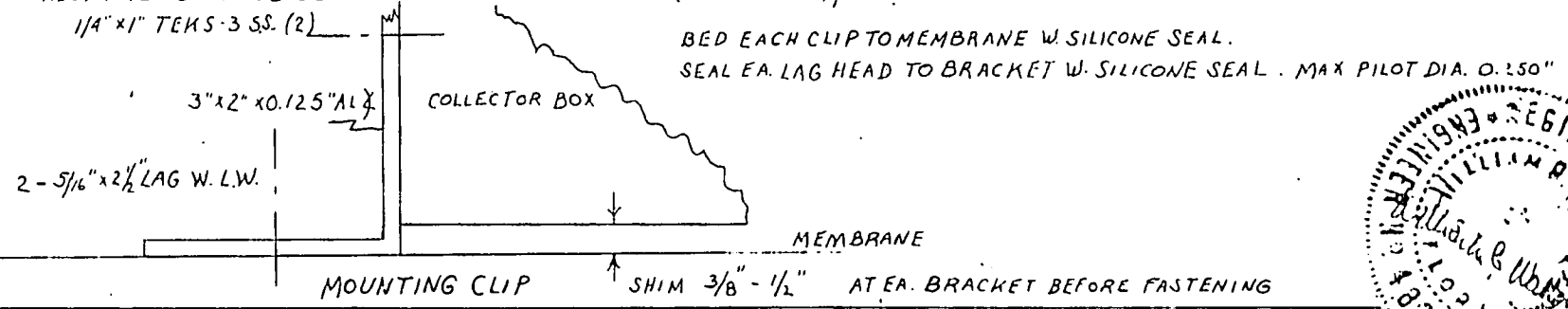
PLATE 3-0-B

SD-5 SOLAR COLLECTOR ASSEMBLY



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 relieves the contractor or builder of
 complying with the Town of Sewall
 Point's Ordinances, the South Florida
 Building Code and the State of Florida
 Model Energy Efficiency Building Code.

ALUMAX DWG 3802 & 3803 FOR EXTRUSION DETAILS (ALT. 171-1101)
 1/4" x 1" TEKS-3 SS. (2)



SUN COAST DISTRIBUTORS OF STUART, INC.

P. O. BOX 782
 PORT SALERNO, FLA. 33492

0183

SUN COAST DISTRIBUTORS OF STUART, INC.

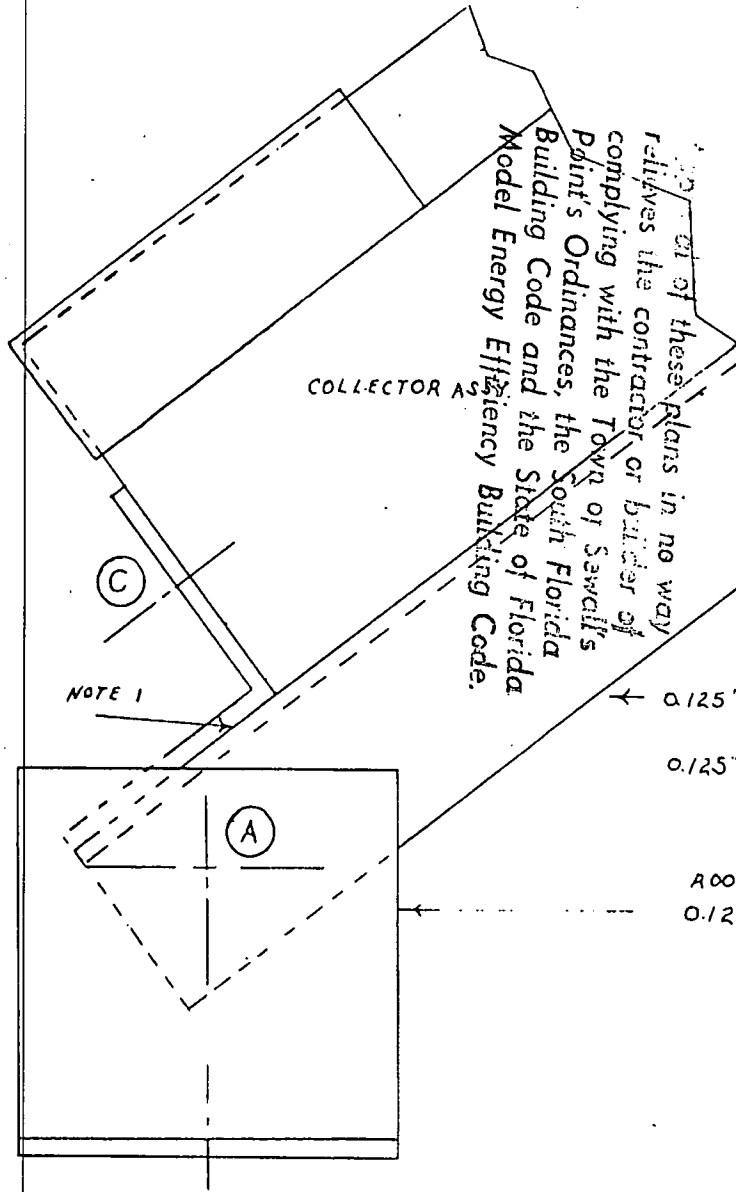
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 286-2183

SOLAR DEVELOPMENT, INC.
 3630 HILSE AVE.
 GARDEN INDUSTRIAL PARK
 RIVIERA BEACH, FLA. 33404
 305/842-8935

PLATE 4-0

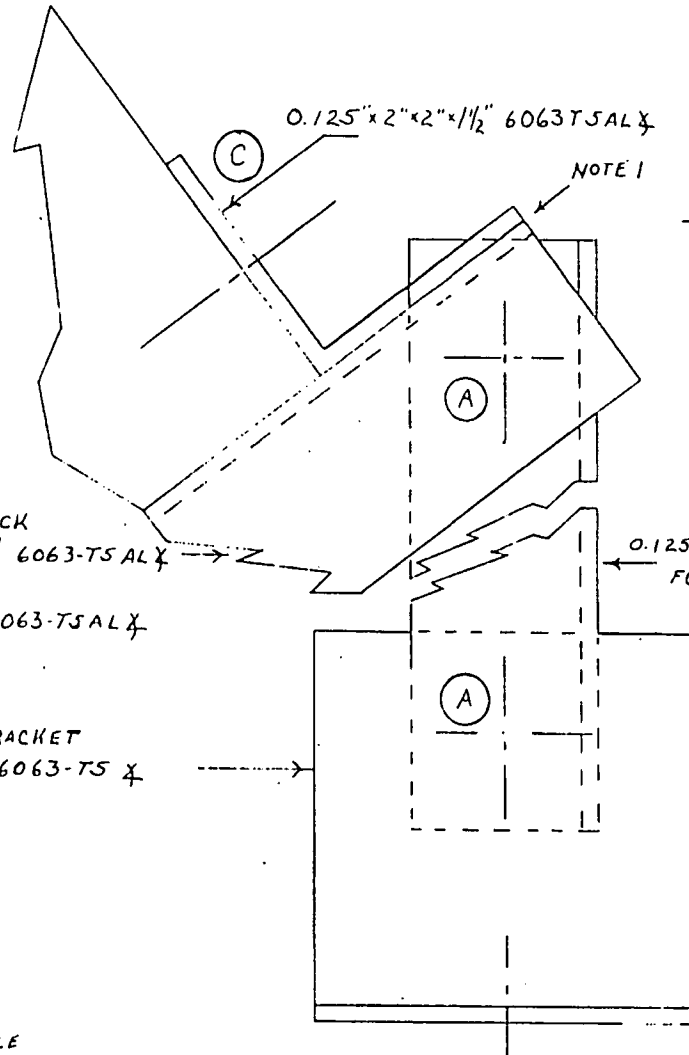
SD-5 SOLAR COLLECTOR MOUNTING SYSTEM - RHEEM/RUUD RCP 210

ONE BRACKET ASSY. EA. END 96" O.C.



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 complying with the Town of Sawdell's
 Point's Ordinances, the South Florida
 Building Code and the State of Florida
 Model Energy Efficiency Building Code.

RECEIVED SEP 25 1980



FASTENER SCHEDULE
 A 3/8"-16NC x 1" 18-B STAINLESS
 C TEK 3 1/4" x 1" (2) 910 STAINLESS
 LOCK WASHER ALL NUTS

NOTE 1: FULL PEN. HELI-
 ARC WELD EA. BRACKET
 TO STRONGBACK (2 SIDES)
 MIN WELD LENGTH 1.75"
 EA. WELD

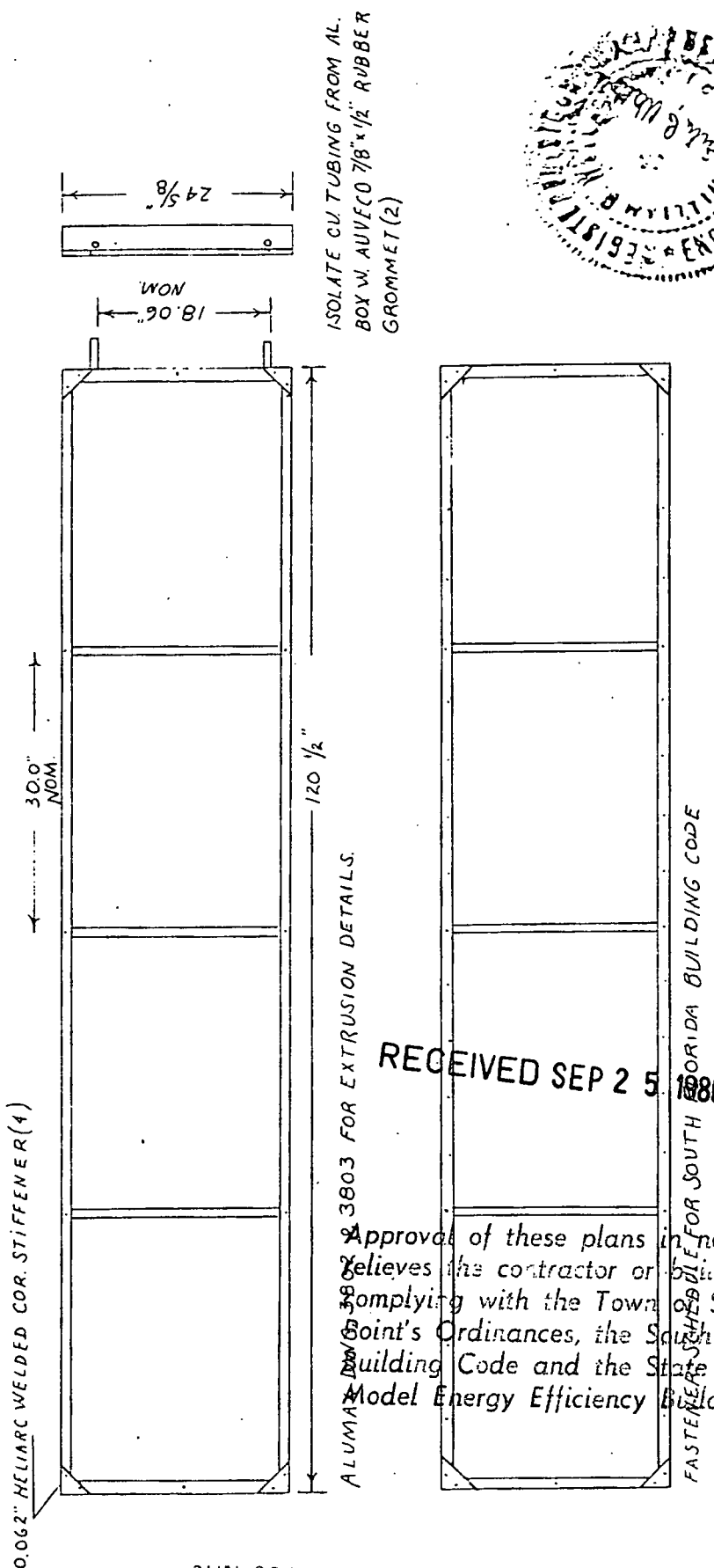


FULL SCALE

SOLAR DEVELOPMENT, INC.
3630 REESE AVE.
GARDEN INDUSTRIAL PARK
RIVIERA BEACH, FLA. 33404
3051842-8935

PLATE 3-0-A

SD-5 SOLAR COLLECTOR ASSEMBLY (2'x10')



ISOLATE CU TUBING FROM AL.
BOX W. AUVECO 7/8"x1/2" RUBBER
GROMMET (2)

ALUMINA 3803 FOR EXTRUSION DETAILS.

RECEIVED SEP 25 1980

APPROVAL OF THESE PLANS IN NO WAY RELIEVES THE CONTRACTOR OR PROVIDER OF COMPLYING WITH THE TOWN OF SEWALL'S ORDINANCES, THE SOUTH FLORIDA BUILDING CODE AND THE STATE OF FLORIDA MODEL ENERGY EFFICIENCY BUILDING CODE.

SUN COAST DISTRIBUTORS OF STUART, INC.

P. O. BOX 782
PORT SALERNO, FLA. 33492
286-2183

INSTALLATION INSTRUCTIONS

SOLAR WATER HEATER SD5 STANDARD 4' x 10'; STANDARD 2' x 10'

Procedure: 4' x 10' & 2' x 10' Single Collectors

Collector must be mounted facing as close to SOUTH as possible, mounting at optimum 37° angle!

Locate roof mounting points on rafters, about 8 feet East to West.

Roof Pitch North/South bracket spacing from table below for Martin County:

	<u>4' x 10' Collector</u>	<u>2' x 10' Collector</u>
Flat	41	22
3/12	47	25
4/12	48	26
5/12	49	27
6/12	50	27

RECEIVED SEP 25 1980

For East/West running rafters spacing is, of course, determined by the rafters, usually about 24" or 48". *Supplied rear strut acceptable approval of these plans in the way* for flat roof installations. *relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.*

Mounting at Roof Slope:

Locate roof mounting points on rafters, about 8 feet East to West. Aluminum brackets aligned East to West - 48-1/4" apart for 4' x 10' collector & 24-1/2" apart for 2' x 10' collector. Arrange pitch pans and brackets so minimum amount of pitch pan and bracket shows when collector is installed.

When securing collectors to brackets use temporary wood spacers to hold collector even and above copper pitch pans by 1/2" to 1/4". Use two (2) TEK screws to fasten bracket to collector.

Vertically mounted collectors must be mounted so that they drain (usually with sensors at the lower part of collector).

Pitch Pans:

Prepare roof to receive pitch pans. For asphalt roof, place on flat area. Part of one shingle may have to be removed. For concrete tile remove part of tile with saw to expose slate. For tar & gravel roof, remove as much gravel as possible and soften roof tar with paint thinner.

Pitch Pans Cont'd:

- Drill 1/4" pilot holes for lag screws. Coat screw threads with silicone seal or plastic roofing cement.
- Place roofing cement under pitch pan, wood block and feet bracket; bolt assembly into rafters using lag screws. See Drawing.
- Fill pitch pan with roofing cement and cover with roofing cloth. Grout in concrete tile roof with appropriate colored mortar mix.

Collector Installing:

- Attach strongbacks and strut (if in use) to feet brackets. On sloping roof where collector is to be mounted at 37°, use vise-grip plier to hold one strut to strongback at approximately 37°. Adjust to 37°. Mark and cut and drill both struts.
- Place collector on strongbacks and fasten in place with self drilling TEK screws. Ensure all mounting bolts are tight.

IMPORTANT - If brackets are not lined up correctly, panel may twist slightly and cause a buckling of the Kalwall glazing. If this happens, remove one upper pin point (strut to strongback). Raise or lower panel to flatten Kalwall, then drill new hole in pin joint and torque up hard.

Pipe Roof Penetration:

When penetrating the roof with piping, use flashing and washer supplied.

Locate penetration so that:

1. System drainage is accomplished.
2. Short neat runs above the roof result.
3. Minimum cutting of cement or other earth materials is necessary.

THE ABOVE ORDER TAKES PRECEDENCE.

In general, use soft 1/2" L Copper Pipe from collector to tank area.

Remember, system drainage has precedence over other considerations.

Piping & Insulation:

- Run piping as shown in drawing. Ensure check valve vertical. To ensure drainage, leave no traps.
- Connect all piping and carefully insulate. Leave no bare pipe. This includes cold supply and hot service lines at top of tank. Where sections of insulation butt against each other, glue or tape joint.

Wiring:

- Collector - Run wire from controller to collector. Carefully wire to pig tail coming out of collector (red to red, black to black).
- Use silicone to seal water out of electrical connection.
 - Secure sensor wire so connection is behind collector and wire is secured to pipe.
- Tank - Wire controller to copper thermistor mount and place mount at lower part of tank. Thermistor is held by magnet against tank. Set thermostate to 120 degrees.

System Check-out:

- Fill tank with water with the tank RELIEF VALVE open to let out the air.
- When the tank is full the solar system can then be filled by opening the SUPPLY STOP VALVE with the RETURN DRAIN open, but the RETURN STOP VALVE closed (a container under the drain to collect water until an even flow is obtained is necessary). Then open the RETURN STOP VALVE.
- Another method is to open both STOP VALVES and then open the collector RELIEF VALVE until you obtain an even flow.
- With the solar system full of water, plug in the control unit.

To Test Control Unit:

1. IF ON - heat the tank sensor with match or lighter (carefully not to damage wires, etc.). Unit should turn OFF and return to ON in a minute or two.

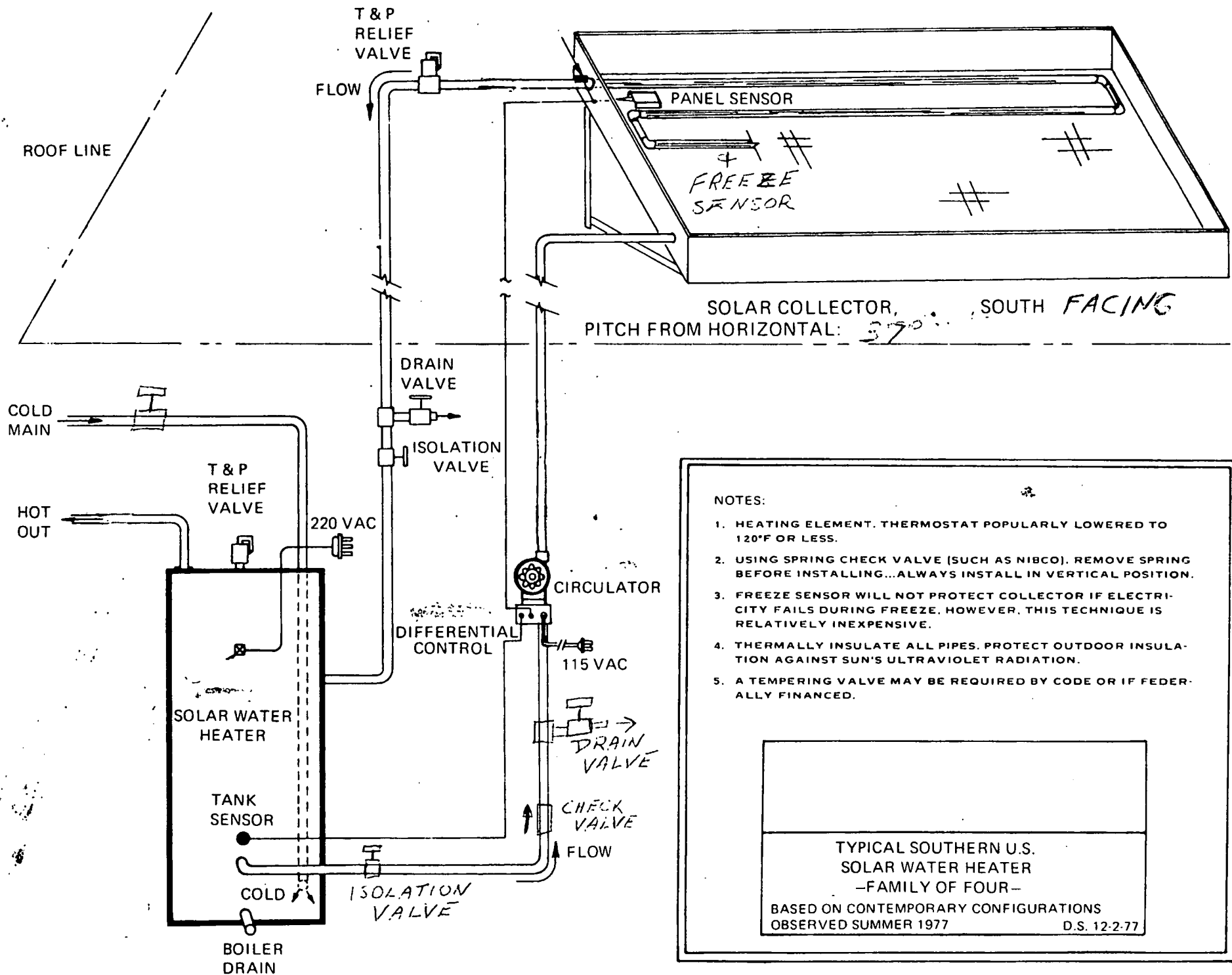
IF OFF- Cool the tank sensor with ice. Unit should turn ON and return to OFF in a minute or two.

- Plug in or turn on the 220V to tank heating element. You can usually hear that it is in operation.

PEEL OFF BACK AND MOUNT CUSTOMER NOTES TO TANK.

RECEIVED SEP 25 1980

*Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.*



NOTES:

1. HEATING ELEMENT, THERMOSTAT POPULARLY LOWERED TO 120°F OR LESS.
2. USING SPRING CHECK VALVE (SUCH AS NIBCO). REMOVE SPRING BEFORE INSTALLING...ALWAYS INSTALL IN VERTICAL POSITION.
3. FREEZE SENSOR WILL NOT PROTECT COLLECTOR IF ELECTRICITY FAILS DURING FREEZE. HOWEVER, THIS TECHNIQUE IS RELATIVELY INEXPENSIVE.
4. THERMALLY INSULATE ALL PIPES. PROTECT OUTDOOR INSULATION AGAINST SUN'S ULTRAVIOLET RADIATION.
5. A TEMPERING VALVE MAY BE REQUIRED BY CODE OR IF FEDERALLY FINANCED.

TYPICAL SOUTHERN U.S.
SOLAR WATER HEATER
-FAMILY OF FOUR-
BASED ON CONTEMPORARY CONFIGURATIONS
OBSERVED SUMMER 1977

D.S. 12-2-77

6662

FOOTER REPAIR

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 4/1/04

BUILDING PERMIT NO. 6662

Building to be erected for PHANEUF Type of Permit FOOTER REPAIR

Applied for by DENNIS PROCTOR CONST. (Contractor) Building Fee 35.00

Subdivision MANDALAY Lot 6 Block _____ Radon Fee _____

Address 12 MANDALAY Impact Fee _____

Type of structure SFR A/C Fee _____

Electrical Fee _____

Parcel Control Number: _____ Plumbing Fee _____

1338410040000006000000 Roofing Fee _____

Amount Paid 35.00 Check # 4415 Cash _____ Other Fees (_____)

Total Construction Cost \$ 1000.00 TOTAL Fees 35.00

Signed Dennis Proctor
Applicant

Signed Gene Sumner (P)
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |
| | | <input checked="" type="checkbox"/> <u>FOOTER REPAIR</u> |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

RECEIVED
MAR 30 2004

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

OWNER/TITLEHOLDER NAME: Charles Phaneuf Phone (Day) 283 8733 (Fax) _____

Job Site Address: 12 Mandalay Road City: Stuart State: Fla Zip: 34996

Legal Description of Property: Lot 6 Mandalay Sub. Parcel Number: 13-38-41-004-000-0006

Owner Address (if different): Same City: _____ State: _____ Zip: _____

Description of Work To Be Done: Footer Repair

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Dennis Proctor Const Phone: 334-1840 Fax: 225-1326

Street: 276 E. River TER. City: ROSEN Bch State: Fla Zip: 34957

State Registration Number: _____ State Certification Number: ~~FR~~ Martin County License Number: MC# 20045

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 1000⁰⁰ (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER Weyant & Associates Inc. Phone Number: _____
Street: 201 W. Port St Lucie Blvd Suite 104 City: Port St Lucie State: Fla Zip: 34984

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ ScreenedPorch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Charles A Phaneuf
State of Florida, County of: Martin
This the 30th day of March, 2004
by CHARLES ALBERT PHANEUF who is personally known to me or produced FLDL P510-141-28-202x as identification. Naury Pobrien 6/2/04

CONTRACTOR SIGNATURE (required)
Dennis Proctor
On State of Florida, County of: MARTIN
This the 30th day of MARCH, 2004
by Dennis Lloyd Proctor who is personally known to me or produced FLDL P623-172-47-345-0 as identification. Naury Pobrien x 9/25/04

My Commission Expires _____
NAURY POBRIEN
MY COMMISSION # DD 205961
EXPIRES: April 28, 2007
Bonded Thru Seag Public Underwriters

My Commission Expires _____
NAURY POBRIEN
MY COMMISSION # DD 205961
EXPIRES: April 28, 2007
Bonded Thru Seag Public Underwriters

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
03/31/2004

PRODUCER (772)287-2030 FAX (772)288-2481
 Deakins-Carroll Insurance Agency
 www.deakinscarroll.com
 P.O. Box 1597
 Pt. Salerno, FL 34992

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED Dennis Proctor d/b/a
 Dennis Proctor Construction
 3753 NE Barbara Drive
 Jensen Beach, FL 34957

INSURERS AFFORDING COVERAGE
 INSURER A: Penn America Ins. Co.
 INSURER B:
 INSURER C:
 INSURER D:
 INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO.JECT <input type="checkbox"/> LOC	K26494	09/03/2003	09/03/2004	EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER	ADDITIONAL INSURED; INSURER LETTER:	CANCELLATION
Sewall's Point, Town of Building Department 1 South Sewall's Point Road Stuart, FL 33996		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE Lee Carroll/LC <i>Lee Carroll</i>

RE-ISSUANCE

02-26-2004



TOM GALLAGHER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION

** RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION **

This certificate exempts the Officer of the Corporation of the Member of the Limited Liability Company listed below from the provision of Florida Workers' Compensation Law for the period indicated below

EFFECTIVE DATE: 02/17/2004 EXPIRATION DATE: 07/22/2005

CORPORATE OFFICER/
LLC MEMBER NAME: PROCTOR DENNIS

FEIN: 341976665

BUSINESS NAME AND ADDRESS: DENNIS PROCTOR CONSTRUCTION LLC
776 NE RIVER TERRACE
JENSEN BEACH FL 34957

SCOPE OF BUSINESS OR TRADE: CERTIFIED RESIDENTIAL CONTRACT

IMPORTANT: Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

DWC-253 RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION REVISED 11-03

QUESTIONS? (850) 488-2333

Please cut out the card below and retain for inspection by any Department of Financial Services representative while conducting work.

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION



** RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION **

This certificate exempts the Officer of the Corporation listed below from the provision of Florida Workers' Compensation Law for the period indicated below.

EFFECTIVE DATE: 02/17/2004
EXPIRATION DATE: 07/22/2005
CORPORATE OFFICER/
LLC MEMBER NAME: PROCTOR DENNIS
FEIN: 341976665
BUSINESS NAME AND ADDRESS: DENNIS PROCTOR CONSTRUCTION LL
776 NE RIVER TERRACE
JENSEN BEACH FL 34957

SCOPE OF BUSINESS OR TRADE: CERTIFIED RESIDENTIAL CONTRAC

IMPORTANT

F This certificate applies only to the corporate officer named on this certificate and applies only within the scope of the business or trade listed hereon.

O A copy of this card or the duplicate above must be carried and available for inspection at all time while conducting any construction work.

L Pursuant to chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

D Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

QUESTIONS? (850) 488-2333

CUT HERE

AC# 0938006

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L0306100615

DATE	BATCH NUMBER	LICENSE NBR
06/11/2003	200467000	RR0028688



The RESIDENTIAL CONTRACTOR
Named below HAS REGISTERED
Under the provisions of Chapter
Expiration date: AUG 31, 2005
(INDIVIDUAL MUST MEET ALL LOCAL
REQUIREMENTS PRIOR TO CONTRACTING)

PROCTOR, DENNIS L
PROCTOR CONSTRUCTION
776 NE RIVER TER
JENSEN BEACH FL 34957-6142

JEB BUSH
GOVERNOR

DIANE CARR
SECRETARY

DISPLAY AS REQUIRED BY LAW

2003-2004 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

LICENSE 1975-312-286 CERT
PHONE (561) 334-1840 SIC NO 233210

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LOCATION: 776 NE RIVER TER MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	00	LIC. FEE \$	25.00
\$	00	PENALTY \$	00
\$	00	COL. FEE \$	00
\$	00	TRANSFER \$	25.00
TOTAL			



DENNIS L PROCTOR
DENNIS PROCTOR CONSTRUCTION
DENNIS L PROCTOR
776 NE RIVER TERR
JENSEN BEACH FL 34957

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF GENERAL CONTRACTOR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE
25 DAY OF SEPTEMBER 2003
AND ENDING SEPTEMBER 30, 2004

12 03092501 004741

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/16, 2004 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6642	HB ASSOCIATES	INT. REMODEL FINAL	FAIL	
10	3752 NE OCEAN BVD			INSPECTOR: <i>[Signature]</i>
	KF BUILDERS			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6501	BEAN	SHEATHING &	PASS	
6	112 S SEWALLS PT	TINTAGE METAL		INSPECTOR: <i>[Signature]</i>
	PACIFIC ROOFING			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	VOLPE	TREE	PASS	
7	15 MIRAMAR			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6662	PHANEUF	FOOTER BEAMS	PASS	CLOSED
4	12 MANDALAY			INSPECTOR: <i>[Signature]</i>
	DENNIS PROCTOR			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>

OTHER:

9 KNOWLES PD NEED PERMIT POSTED.

9082

ROOF REPAIR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9082	DATE ISSUED:	JANUARY 13, 2009
SCOPE OF WORK:	ROOF REPAIR		
CONDITIONS:			
CONTRACTOR:	HEATON ROOFING		
PARCEL CONTROL NUMBER:	133841004000000600	SUBDIVISION	MANDALAY - LOT 6
CONSTRUCTION ADDRESS:	12 MANDALAY RD		
OWNER NAME:	PHANEUF		
QUALIFIER:	DANIEL HEATON	CONTACT PHONE NUMBER:	287-0116

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9082		
ADDRESS	12 MANDALAY RD		
DATE:	1/13/09	SCOPE:	ROOF REPAIR

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s.f.	
Total square feet non-conditioned space: (@ \$51.60 per sq. ft.)		s.f.	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Radon Fee (\$.005 per sq. ft. under roof):		\$	
DBPR Licensing Fee: (\$.005 per sq. ft. under roof)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	
Total number of inspections @ \$75.00 each	2	\$	150
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	155 - cash <i>mu</i>

RECEIVED

DATE: 1-13-09 TOWN OF SEWALL'S POINT

Roof Repair

Date: 1-12-09 Town of Sewall's Point BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: CHARLES A PHANEUF Phone (Day) 772 283 8733 (Fax) _____

Job Site Address: 12 MANDARAY RD City: SEWALL'S POINT State: FL Zip: 34996

Legal Description: MANDARAY LOT 6 Parcel Control Number: 000-00060-6

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): O.C. Dimensional shingles. Remove shingles from Flashy Area RE-FLASH INSULATE shingles APPROX 100-200 sq ft

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES _____ NO X _____ Has a Zoning Variance ever been granted on this property? YES _____ (YEAR) _____ NO _____ (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 900.00 (Notice of Commencement required when over \$2500 prior to first inspection. \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: HEATON ROOFING Phone: 287-0116 Fax: 221-2299

Street: 4036 SW Honey Terr. City: Palm City State: FL Zip: 34990

State License Number: CCL036970 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: DAN HEATON Phone Number: 287-0116

DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____ * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2004 W/ 2006 REV. National Electrical Code: 2005 Florida Energy Code: 2004/6 Florida Accessibility Code: 2004/6 Florida Fire Prevention Code 2004/6

NOTICES TO OWNERS AND CONTRACTORS: 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

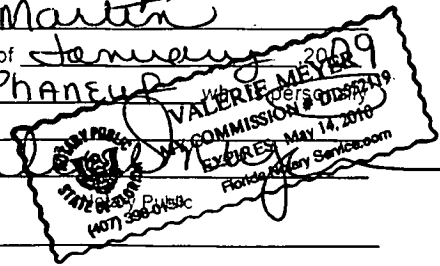
OWNER SIGNATURE: (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) Charles A. Phaneuf

State of Florida, County of: Martin

This the 12th day of January 2009

by Charles A. Phaneuf

known to me or produced as identification. Valerie Meyer



My Commission Expires: _____

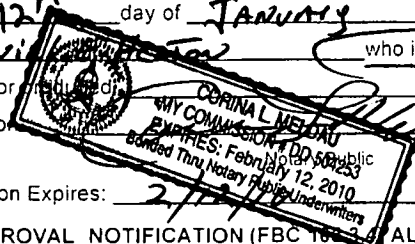
CONTRACTOR SIGNATURE: (required) David [Signature]

On State of Florida, County of: Martin

This the 12th day of January 2009

by David [Signature] who is personally

known to me or produced as identification. Corina L. Meloni



My Commission Expires: 2/12/10

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.2) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

RE-ROOF PERMIT CERTIFICATION

PERMIT # _____
 CONTRACTOR'S NAME: Hendon Roofing PHONE #: _____ FAX: _____

OWNER'S NAME: Charles Phinney

CONSTRUCTION ADDRESS: 12 Mandeville Rd. CITY _____ STATE _____

(Repair)

RE-ROOF: _____ RESIDENTIAL(SINGLE FAMILY)
 _____ COMMERCIAL **--REMOVE/REINSTALL ROOF TOP HVAC EQUIP _____ YES _____ NO

**...DISCONNECT/RECONNECT HVAC ELECTRIC _____ YES _____ NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. _____ YES _____ NO - INSURED VALUE OF RESIDENCE _____

RE-ROOF INSPECTION AFFIDAVIT TO BE PROVIDED IN LIEU OF BUILDING DEPARTMENT INSPECTION _____ YES _____ NO

ROOF TYPE: _____ HIP _____ BOSTON-HIP _____ GABLE _____ FLAT _____ OTHER _____

ROOF PITCH: _____ /12 SLOPE

ROOF DECK:* _____ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED
 _____ RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF
 NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER
 FLORIDA BUILDING CODE "2004".
 _____ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-
 SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME
 SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK
 NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".
 _____ EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: _____ EXISTING COVERING TO BE REMOVED? YES _____ NO _____

PROPOSED NEW ROOF COVERING: _____

MANUFACTURER _____ PRODUCT NAME _____ PRODUCT APPR # _____

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
 MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: _____ GALV./STEEL _____ ALUMINUM _____ COPPER _____ OTHER _____

RIDGEVENT TO BE INSTALLED: _____ YES _____ NO

DESCRIPTION OF WORK: Repair leak on gable end / 100-200 sq. FT
O.C. Dimensional shingles / Re-Flash

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR _____ DATE: 1-12-09



Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.12

Summary

print | | | | | Owner
1 of 1

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-004-000-00060-0	12 MANDALAY	27797	Owner	0	1

Summary

Property Location 12 MANDALAY
Tax District 2200 Sewall's Point
Account # 27797
Land Use 101 0100 Single Family
Neighborhood 120200
Acres 0.519

Legal Description
Property Information
 MANDALAY LOT 6 OR 344/71

Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 PHANEUF, CHARLES A (TR)

Mail Information
 12 MANDALAY RD
 STUART FL 34996

Assessment Info
Front Ft.

Market Land Value \$228,000
Market Impr Value \$167,080
Market Total Value \$395,080

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$0

Sale Date 3/8/2006
Book/Page 2119 2469

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 12/22/2008



TOWN OF SEWALLE'S POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: Mon Tue Wed Thur Fri 1-14-2009 Page 2 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9082	Pharmacy	dry m/felt	Pass	
3A	12 Mandalay Heaton Roofing			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: Mon Tue Wed Thur Fri 1-21 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9082	Framing	Final	PASS	CLOSE
2	12 Mandalay Heaton Roofing			INSPECTOR <i>[Signature]</i>
9085	CDZ	Final		CLOSE
<i>Joh</i>	75 N Sewalls Stuart Fence		Pass	INSPECTOR <i>[Signature]</i>
8800	Tooman	Electrical		
1	37 W High Pt Louden Roof	LIGHT NICHES	PASS	INSPECTOR <i>[Signature]</i>
9024	Doyle	Final	PASS	CLOSE
4	42 S Sewalls Harbor Boy Marine			INSPECTOR <i>[Signature]</i>
9000	CDZ LLC			
5	4 RIVER OAK PL CDZ S. RAYNES	V.G. PLUMB	PASS	INSPECTOR <i>[Signature]</i>
8535	Stark	Final	PASS	READY FOR C.I.O.
3	81 S River Rd Emil LaViola			INSPECTOR <i>[Signature]</i>
9064	Masterpiece	stem wall		
	1 Marguerita Dr Masterpiece			INSPECTOR

9807

REMODEL

Town of Sewall's Point

Date: 05- Caroline + **BUILDING PERMIT APPLICATION** Permit Number: 9807

OWNER/TITLEHOLDER NAME: Shawn T Lawless Phone (Day) 407-230-5284 (Fax) _____

Job Site Address: 12 mandalay Road City: Stuart State: FL Zip: 34996

Legal Description: Lot 6 mandalay Parcel Control Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC): INT/EXT Remodel Porches/siding full gut

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES NO
Has a Zoning Variance ever been granted on this property?
 YES (YEAR) 2011 NO
 (Must include a copy of all variance approvals with application)

ESTIMATED VALUE (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 241,641
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: O/B Phone: _____ Fax: _____

Qualifiers name: _____ Street: _____ City: _____ State: _____ Zip: _____

State License Number: _____ OR: Municipality: _____ License Number: _____

LOCAL CONTACT: _____ Phone Number: _____

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carpport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Government Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Electrical, Gas) 2007
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCOMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED, OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

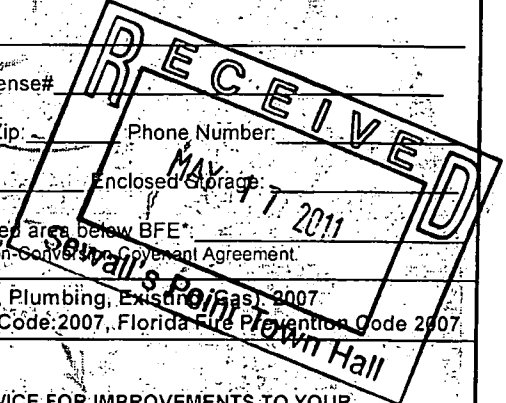
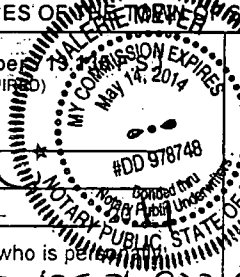
*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S. OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED))
X _____
 State of Florida, County of: Martin
 On This the 17th day of May
 by Caroline E. Lawless who is personally
 known to me or produced FLDH# L420-105-76-903-0
 As identification. Valerie May
 Notary Public
 My Commission Expires: _____

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)

 State of Florida, County of: _____
 On This the _____ day of _____ 20____
 by _____ who is personally
 known to me or produced _____
 As identification. _____
 Notary Public
 My Commission Expires: _____





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

REVISIONS - CORRECTIONS REQUEST FORM
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 6/24/11 PERMIT NUMBER: 9807 Lawless

JOB ADDRESS: 12 Manatee Rd.

PLEASE CHECK Bank of America Advantage

CONDITI CAROLINE ELIZABETH LAWLESS 1627
 SHAWN T LAWLESS
 2081 SE PYRAMID RD
 PORT SAINT LUCIE FL 34952-5827

CONDITI 6/27/11 Date 63-4/630 FL 1032

REVISION Town of Sewall's Point \$ 100

Pay to the order of _____

****ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING****

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISIONS: Read at home 1224 units. Chapter after existing construction was found in 2029 units

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUE \$ _____
 INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: Shawn Lawless SIGNATURE: _____

PHONE NUMBER: 907/230-5284 FAX NUMBER: _____

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 6-27-11 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: 1 INSP @ 75⁰⁰ Revision review fee: 1 Pages @ \$25.00/Page 25⁰⁰

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 100⁰⁰

Applicant notified by: Valerie 6/27/11 Date: 6-27-11 ACK 6/27

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 5/5/2011 10:07:21 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-004-000-00060-0	27797	12 MANDALAY RD, SEWALLS PT	\$293,800	4/30/2011

Owner Information

Owner(Current)	LAWLESS SHAWN & CAROLINE
Owner/Mail Address	12 MANDALAY RD STUART FL 34996
Sale Date	10/21/2010
Document Number	2240226
Document Reference No.	2483 0583
Sale Price	300000

Location/Description

Account #	27797	Map Page No.	SP-06
Tax District	2200	Legal Description	MANDALAY LOT 6 OR 344/71
Parcel Address	12 MANDALAY RD, SEWALLS PT		
Acres	.5190		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120200 Heritage P, Palmtto Pk,Rdglnd,

Assessment Information

Market Land Value	\$181,500
Market Improvement Value	\$112,300
Market Total Value	\$293,800

Christopher J. Twohey, P.A.
844 E. Ocean Blvd. Ste. A
Stuart, Florida 34994

CLERK OF MARTIN COUNTY FLORIDA
DEED DDC TAX 2,100.00
RECORDED BY S Phoenix

Parcel ID Number: 13-38-41-004-000-00060.00000

Warranty Deed

This Indenture, Made this 21st day of October, 2010 A.D., Between Keith Binkley and Kristen Lee Binkley, husband and wife

~~of the County of Arlington, State of Virginia~~, grantors, and Shawn Lawless and Caroline Lawless, husband and wife

whose address is: 12 Mandalay Rd., Stuart, FL 34996

of the County of Martin, State of Florida, grantees.

Witnesseth that the GRANTORS, for and in consideration of the sum of TEN DOLLARS (\$10) DOLLARS, and other good and valuable consideration to GRANTORS in hand paid by GRANTEES, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEES and GRANTEES' heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Martin, State of Florida to wit:

Lot 6, MANDALAY, according to the Plat thereof, as recorded in Plat Book 4, Page 86, Public Records of Martin County, Florida.

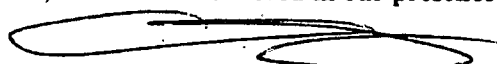
SUBJECT TO:

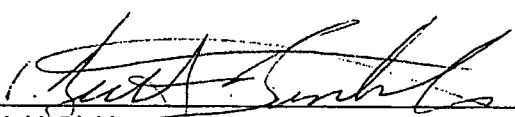
1. Taxes for the year 2010 and all subsequent years;
2. Zoning restrictions, prohibitions and other requirements imposed by governmental authority;
3. Restrictions, and matters appearing on the plat or otherwise common to the subdivision; and
4. Public utility easements of record, if any.

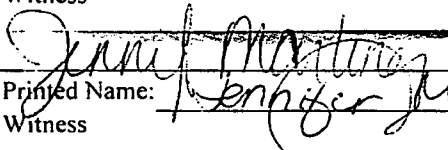
and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

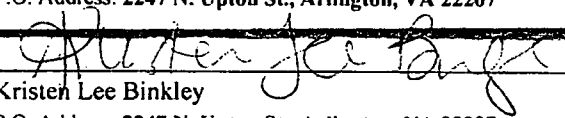
In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:


Printed Name: CHRISTOPHER J. TWOHEY
Witness


Keith Binkley (Seal)
P.O. Address: 2247 N. Upton St., Arlington, VA 22207


Printed Name: Jennifer Martinez
Witness


Kristen Lee Binkley (Seal)
P.O. Address: 2247 N. Upton St., Arlington, VA 22207

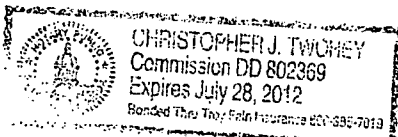
STATE OF Florida
COUNTY OF Martin

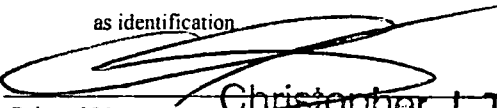
The foregoing instrument was acknowledged before me this Keith Binkley and Kristen Lee Binkley, husband and wife

21st day of October, 2010 by

who are personally known to me or who have produced their

as identification




Printed Name: Christopher J. Twohey
Notary Public
My Commission Expires:



INSTR # 2240226
OR BK 02483 PG 0583
Pg 0583; (1pg)
RECORDED 10/27/2010 10:31:24 AM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
DEED DOC TAX 2,100.00
RECORDED BY S Phoenix

Prepared by and Return to:
Christopher J. Twohey, P.A.
844 E. Ocean Blvd. Ste. A
Stuart, Florida 34994

Parcel ID Number: 13-38-41-004-000-00060.00000

Warranty Deed

This Indenture, Made this 21st day of October, 2010 A.D., **Between**
Keith Binkley and Kristen Lee Binkley, husband and wife

of the County of Arlington

State of Virginia

~~MARK~~
KLINGENSMITH
Mayor

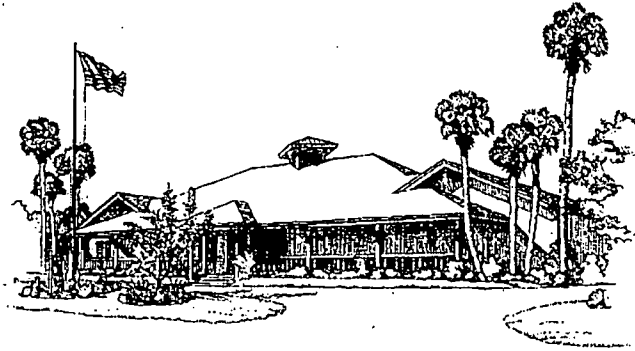
TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

JACQUI THURLOW-
LIPPISCH
Vice Mayor

PAUL SCHOPPE
Commissioner

THOMAS P. BAUSCH
Commissioner

PAMELA M. BUSHA
Commissioner



ROBERT KELLOGG
Town Manager

JOHN R. ADAMS
Building Official

ERIC CERNIGLIA
Chief of Police

ANN-MARIE
SULLIVAN BASLER
Town Clerk

JOSE TORRES, JR.
Maintenance

CONDITIONS FOR PERMIT APPROVAL

~~Fax: 772-892-3109~~

DATE OF PERMIT APPLICATION: MAY 5, 2011

DATE: MAY 12, 2011

APPLICATION DESCRIPTION: REMODEL & ADDITION TO SINGLE FAMILY RESIDENCE

APPLICATION ADDRESS: 12 MANDALAY RD.

THE FOLLOWING ITEMS ARE NOTED FOR CORRECTION AND ARE CONDITIONS FOR APPROVAL FOR THE ABOVE REFERENCED PERMIT APPLICATION:

- 1. PROVE CALCULATIONS TO DETERMINE THE LEVEL OF ALTERATION CITED
2. PROVIDE SCOPE OF WORK AND PLANS FOR HVAC
3. NEW HVAC SYSTEMS AND DUCTWORK WILL REQUIRE FLORIDA ENERGY CODE CALCULATIONS AND A MANUAL J LOAD CALCULATION
- 4. HVAC CONDENSER PADS ARE REQUIRED TO MEET BUILDING SETBACKS

IF YOU NEED FURTHER INFORMATION OR CLARIFICATION FOR THESE CONDITIONS, DO NOT HESITATE TO CONTACT ME.

WITH REGARDS,

JOHN R. ADAMS
BUILDING OFFICIAL



One S. Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.martin.fl.us
Building Department (772) 287-2455 • Fax (772) 220-4765 • E-Mail: jadams@sewallspoint.martin.fl.us



MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Oliveri

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 OR HVAC EXCEEDS \$7,500.00

PERMIT #: 9807 TAX FOLIO #: 133841-004-000-00060-0

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): lot 6 mandalay (12 mandalay Road)

GENERAL DESCRIPTION OF IMPROVEMENT: general remodel + update

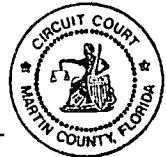
OWNER NAME: Shawn Lawless
ADDRESS: 12 mandalay Rd, Stuart, FL 34996
PHONE NUMBER: 467-230-5284 FAX NUMBER: _____

INTEREST IN PROPERTY: Owner
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Owner / Builder STATE OF FLORIDA _____
ADDRESS: _____ MARTIN COUNTY _____
PHONE NUMBER: _____ FAX NUMBER: _____

SURETY COMPANY (IF ANY): _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL
MARSHA EWING, CLERK



LENDER/MORTGAGE COMPANY: _____ BY: [Signature] D.C.
ADDRESS: _____ DATE: 06/03/11
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),

FLORIDA STATUTES: _____
PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

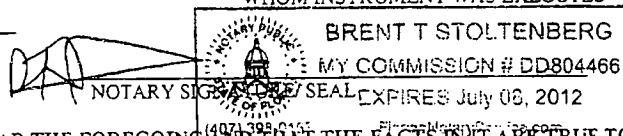
SIGNATORY'S TITLE/OFFICE _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5 DAY OF MAY, 2011

BY: Brent T. Stoltenberg AS notary FOR Shawn / Carlline Lawless
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____

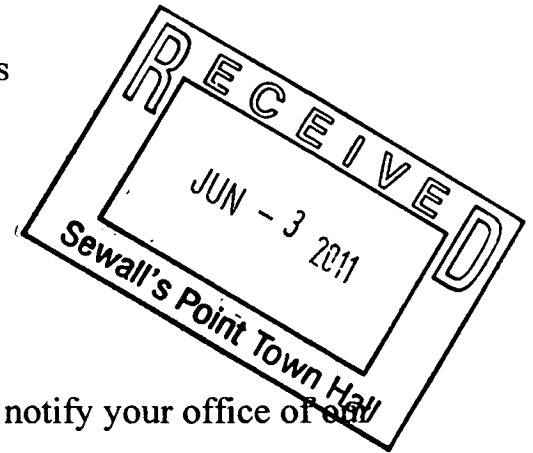
TYPE OF IDENTIFICATION PRODUCED _____



UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

[Signature]
(Signature of Natural Person Signing Above)

Shawn and Caroline Lawless
12 Mandalay Rd.
Sewalls Point, FL 34996



Building Department,

We are enclosing this letter with our permit payment to notify your office of our intentions regarding the valuation of our project.

To verify our valuation we will need signed copies of each contract related to our home remodel project. This cannot be done as of this date as we have not determined which group will be doing some of the subcontract work. We have all proposals in from at least three different companies for each aspect, but until we can commence work, we do not know whose schedule will work the best with our time frame. That being said, we will be submitting for your review all signed contracts, which will show all work being done or having been done on our remodeling project.

All we ask is that you review the signed contracts once your office receives them from us and revalue our project accordingly and refund any differences with regard to fees issued by Sewall's Point.

At this point, we are very eager to get started as we have had several delays with this project.

We look forward to working with Sewall's Point during our families remodeling project.

Thank you for your time and consideration and please call my cell if you have any questions.

Cell 407/230-5284

Sincerely,

A handwritten signature in black ink, appearing to read "Shawn Lawless", written over a horizontal line.

Shawn Lawless

June 2, 2011

288-9992



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

Shawn 407-230-5284

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	
ADDRESS	
DATE:	SCOPE:

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$ 241,641
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)	s.f.	350.00 ✓
Total square feet non-conditioned space: (@ \$51.60 per sq. ft.)	s.f.	
Total Construction Value:		\$
Building fee: (2% of construction value SFR or >\$200K)		\$ 4832.82 ✓
Building fee: (1% of construction value < \$200K + \$75 per insp.)		
Total number of inspections (Value < \$200K) @\$75 ea.		\$
Dept. of Comm. Affairs Fee:(1.5% of permit fee - \$2.00 minimum)		\$ 72.49
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 minimum)		\$ 72.49
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$ 96.65
Martin County Impact Fee:		\$
TOTAL BUILDING PERMIT FEE:		\$ 5424.45

ACCESSORY PERMIT	Declared Value:	\$
Total number of inspections @ \$75.00 each		\$
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 minimum)		\$
Dept. of Comm. Affairs Fee:(1.5% of permit fee - \$2.00 minimum)		\$
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$
TOTAL ACCESSORY PERMIT FEE:		\$

COPY

**BEFORE THE BOARD OF ZONING ADJUSTMENT
TOWN OF SEWALL'S POINT, FLORIDA
RESOLUTION NO. 2011-01**

RE: GRANTING OF APPLICATION FOR VARIANCE

Legal Description and Address:

Lot 6, MANDALAY, according to the Plat thereof recorded in Plat Book 4, Page 86, of the Public records of Martin County, Florida.

12 Mandalay Road, Sewall's Point, Florida 34996

WHEREAS, SHAWN LAWLESS and CAROLINE LAWLESS, as owners of the above described real property, applied to the Town of Sewall's Point, Florida, requesting a variance from the 35 foot set back required from the property line abutting a street right of way for the side yard abutting South River Road, as required by Section 82-274(a)(4) of the Code of Ordinances of the Town of Sewall's Point, in an amount of 6.7 feet at the northeast corner to 9.27 feet at the southeast corner of the existing garage and house structure; and

WHEREAS, notice of the public hearing on the variance application was duly posted and mailed in accordance with the provisions of the Sewalls's Point Code of Ordinances (Town Code), and a public hearing thereon was held on the 12th day of January, 2011, at 7:30 P.M. at the Town Hall of Sewall's Point, Florida; and

WHEREAS, on January 12, 2011, a quorum of the Board of Zoning Adjustment was present and the public hearing was held on the subject application; and

WHEREAS, at said public hearing the applicants were present in person, and represented by counsel, and all interested parties had an opportunity to be heard for or against such application;

WHEREAS, based on the information presented this Board does hereby make the following findings of fact:

1. Based on the site survey submitted by the applicants, the northeast corner of the existing garage and house structure appears to be 28.31 feet from the east property line at the northeast corner, and 25.73 feet from the east property line at the southeast corner, resulting in an encroachment of the structure which varies from 6.7 feet to 9.27 feet into the required setback area of 35 feet.

2. The applicants are requesting a variance from the 35 foot side yard setback requirement of the Sewall's Point Town Code, Section 82-274(a)(4) to accommodate this encroachment.

**BEFORE THE BOARD OF ZONING ADJUSTMENT
TOWN OF SEWALL'S POINT, FLORIDA
RESOLUTION NO. 2011-01**

3. The property is a corner lot, the front property line of which abuts Mandalay Road, the east property line of which abuts South River Road.

4. The house and integral garage were constructed in 1973. Prior to construction, the owner at that time applied to the Board of Zoning Adjustment for a variance which would have allowed the house and garage to have been sited 29 feet from the east property line abutting South River Road. That variance request was granted by the Board January 5, 1973.

5. As shown by the survey submitted with the application, the house and garage as built were not sited in strict compliance with the variance as granted in 1973, as the garage portion of the structure encroached into the allowed setback area of 29 feet. The applicants wish to remedy this discrepancy with a new variance that recognizes the as-built dimensions of the existing garage and house structure.

6. NO objections to the requested variance have been made.

7. Special conditions and circumstances exist which are peculiar to the land and structure involved, which are not applicable to other lands and structures in the same district.

8. The special conditions and circumstances do not result from the actions of the applicant.

9. Granting the variance application will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to owners of the lands, buildings or structures in the same zoning district.

10. Literal interpretation of the provisions of the Zoning Ordinances would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of the Zoning Ordinance and would work unnecessary and undue hardship on the applicant.

11. The variance requested is the minimum variance that will make possible the reasonable use of the land, building or structure;

12. The granting of the variance will be in harmony with the general intent and purpose of the ordinance and such variances will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

13. The reasons set forth in the application and as expressed during the hearing justifies the granting of the variance and satisfies the requirements of Section 82-113(a)(1),(2),(3),(4),(5), and (6), of the Code of Ordinances of the Town of Sewall's Point, Florida.

**BEFORE THE BOARD OF ZONING ADJUSTMENT
TOWN OF SEWALL'S POINT, FLORIDA
RESOLUTION NO. 2011-01**

NOW THEREFORE, be it resolved by the Board of Zoning Adjustment of the Town of Sewall's Point, Florida, that the application by **Shawn and Caroline Lawless** for a new variance from the requirements of Section 82-274(a)(4) of the Town Code in the amount of 6.7 feet to 9.27 feet into the required setback area of 35 feet, as to the existing garage and house structure only, on the east side of the property abutting South River Road, is **GRANTED** as to the existing garage and house structure in the amounts as indicated.

The Secretary of this Board is hereby authorized and directed to record this Resolution in the Official Public Records of Martin County, Florida, and the Clerk of the Town of Sewall's Point is hereby directed to maintain this Resolution as part of the Official Records of the Town.

Duly passed and adopted at Public Meeting on January 12, 2011.

BOARD OF ZONING ADJUSTMENT
TOWN OF SEWALL'S POINT, FLORIDA

By: *Fernando Giachino*
Fernando Giachino, Chairman

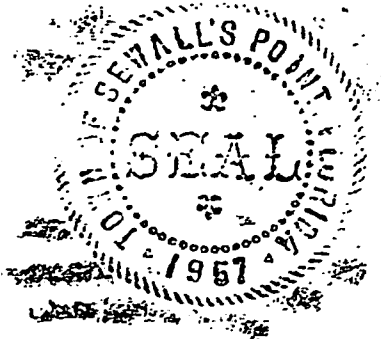
ATTEST:
[Signature]
, Secretary

APPROVED AS TO FORM AND LEGALITY

[Signature]
Douglas K. Sands, Attorney for
the Board of Zoning Adjustment

Filed with the Clerk of the Town of Sewall's Point, Florida,
on the 12th day of January, 2011.

[Signature]
Ann Marie Basler, Town Clerk





DEREK SANDERS & ASSOCIATES

MAY 19, 2011

TOWN OF SEWALLS POINT
JOHN R. ADAMS, C.B.O.
BUILDING OFFICIAL

RE:
LAWLESS RESIDENCE
SHAWN & CAROLINE LAWLESS
12 MANDELAY ROAD
SEWALLS POINT, FLORIDA

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

RECEIVED
MAY 25 2011
Sewall's Point Town Hall

MR. ADAMS,

THIS LETTER IS TO CERTIFY THAT THE SUBMITTED DRAWINGS FOR THE "LAWLESS RESIDENCE" AT 12 MANDELAY ROAD IN SEWALLS POINT FLORIDA ARE IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE : EXISTING BUILDING, INCLUDING 2009 SUPPLEMENTS AND MEET THE CLASSIFICATION FOR LEVEL 3 ALTERATIONS AS DESCRIBED IN CHAPTER 8 - ALTERATIONS - LEVEL 3.

REGARDS,
DEREK SANDERS

ENGINEERING OUTSIDE THE BOX

THE SHAFFER GROUP INC.

7677 SW Ellipse Way, Stuart, Florida 34997-7246
 Phone: (772) 220-4990 Fax: (772) 220-1795
 E-Mail mail@theshaffergroup.com
 FREDRICK D. SHAFFER, FL. P.E. # 26694
 ©2011 - CERT. AUTH. 9316

NOTES

THESE DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS OF THIS PROJECT EXCEPT BY WRITTEN AGREEMENT WITH THE ENGINEER. NO DESIGN CHANGES WHICH ALTER THE INTENT OF THE DRAWINGS OR SPECIFICATIONS ARE TO BE MADE WITHOUT OBTAINING PRIOR WRITTEN PERMISSION FROM THE ENGINEER.

DISCLAIMER NOTICE:
 THE ENGINEERING SEAL FOR THIS PROJECT IS INTENDED TO AUTHENTICATE AND IS LIMITED ONLY TO THE STRUCTURAL DESIGN DOCUMENTS WHICH CONTAIN MY SEAL AND SIGNATURE. I HEREBY DISCLAIM ALL RESPONSIBILITY FOR ALL OTHER DOCUMENTS RELATING TO THIS PROJECT.

2440 S.E. FEDERAL HIGHWAY
EXECUTIVE SUITE 706
STUART, FLORIDA 34994
(P) 772-286-1331 (C) 772-215-1953
e-mail : dsaplans@gmail.com

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

Project Name: LAWLESS
 Street: 12 MANDALAY ROAD
 City, State, Zip: STUART, FL
 Owner: LAWLESS RESIDENCE
 Design Location: FL, West Palm Beach

Builder Name:
 Permit Office:
 Permit Number:
 Jurisdiction:

**TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY**

1. New construction or existing	New (From Plans)	
2. Single family or multiple family	Single-family	
3. Number of units, if multiple family	1	
4. Number of Bedrooms	4	
5. Is this a worst case?	No	
6. Conditioned floor area (ft ²)	2743	
7. Windows	Description	Area
a. U-Factor:	Sgl, default	413.00 ft ²
SHGC:	Clear, default	
b. U-Factor:	N/A	ft ²
SHGC:		
c. U-Factor:	N/A	ft ²
SHGC:		
d. U-Factor:	N/A	ft ²
SHGC:		
e. U-Factor:	N/A	ft ²
SHGC:		
8. Floor Types	Insulation	Area
a. Slab-On-Grade Edge Insulation	R=0.0	2742.50 ft ²
b. N/A	R=	ft ²
c. N/A	R=	ft ²

9. Wall Types	Insulation	Area
a. Concrete Block - Int Insul, Exterior	R=4.0	1994.70 ft ²
b. Frame - Wood, Exterior	R=11.0	960.00 ft ²
c. Frame - Wood, Exterior	R=13.0	368.00 ft ²
d. N/A	R=	ft ²
10. Ceiling Types	Insulation	Area
a. Under Attic (Unvented)	R=20.0	2742.50 ft ²
b. N/A	R=	ft ²
c. N/A	R=	ft ²
11. Ducts	a. Sup: Attic Ret: Attic AH: Attic Sup. R= 6, 500 ft ²	
12. Cooling systems (combined)	a. Central Unit Cap: 77.4 kBtu/hr SEER: 19.999999605	
13. Heating systems (combined)	a. Electric Strip Heat Cap: 51.4 kBtu/hr COP: 1	
14. Hot water systems	a. Electric Cap: 50 gallons EF: 0.97	
b. Conservation features	None	
15. Credits	None	

Glass/Floor Area: 0.151

Total As-Built Modified Loads: 63.34

Total Baseline Loads: 74.59

PASS

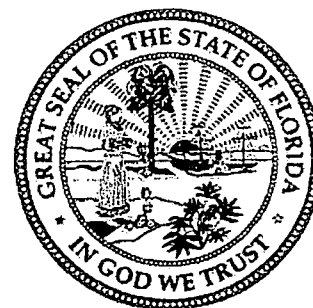
I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: _____
 DATE: 5-20-11

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____
 DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____
 DATE: _____

PROJECT

Title: LAWLESS	Bedrooms: 4	Address Type: Street Address
Building Type: FLAsBuilt	Bathrooms: 0	Lot #
Owner: LAWLESS RESIDENCE	Conditioned Area: 2743	SubDivision:
# of Units: 1	Total Stories: 3	PlatBook:
Builder Name:	Worst Case: No	Street: 12 MANDALAY ROAD
Permit Office:	Rotate Angle: 0	County: MARTIN
Jurisdiction:	Cross Ventilation: No	City, State, Zip: STUART ,
Family Type: Single-family	Whole House Fan: No	FL ,
New/Existing: New (From Plans)		
Comment:		

CLIMATE

	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
✓	FL, West Palm Beach	FL_WEST_PALM_BEAC	2	44	90	75	70	316	60	Medium

FLOORS

	#	Floor Type	Perimeter	R-Value	Area	Tile	Wood	Carpet
✓	1	Slab-On-Grade Edge Insulation	347 ft		2742.53 ft	0	0	1

ROOF

	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
✓	1	Gable or Shed	Metal	3068 ft²	686 ft²	Medium	0.8	N	0	26.6 deg

ATTIC

	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
✓	1	Full attic	Unvented	0	2743 ft²	N	N

CEILING

	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
✓	1	Under Attic (Unvented)	20	2742.5 ft²	0	Wood

WALLS

	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
✓	1	NE	Exterior	Frame - Wood	11	228 ft²	0	0.25	0.8
	2	NE	Exterior	Concrete Block - Int Insul	4	485.33 ft²	0	0	0.8
	3	SE	Exterior	Frame - Wood	11	252 ft²	0	0.25	0.8
	4	SE	Exterior	Concrete Block - Int Insul	4	556 ft²	0	0	0.8
	5	SW	Exterior	Frame - Wood	11	228 ft²	0	0.25	0.8
	6	SW	Exterior	Concrete Block - Int Insul	4	625.33 ft²	0	0	0.8
	7	NW	Exterior	Frame - Wood	11	252 ft²	0	0.25	0.8
	8	NW	Exterior	Concrete Block - Int Insul	4	328 ft²	0	0	0.8
	9	-	Exterior	Frame - Wood	13	368 ft²	0	0.25	0.8

DOORS

	#	Ornt	Door Type	Storms	U-Value	Area
✓	1	SW	Wood	None	0.6	19.5 ft ²

WINDOWS

Window orientation below is as entered. Actual orientation is modified by rotate angle shown in "Project" section above.

	#	Ornt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang			Int Shade	Screening
										Depth	Separation			
✓	1	NE	TIM	Single (Clear)	No	1.3	0.75	N	84 ft ²	6 ft 0 in	0 ft 0 in	HERS 2006	None	
_____	2	NE	TIM	Single (Clear)	No	1.3	0.75	N	42 ft ²	9 ft 0 in	0 ft 0 in	HERS 2006	None	
_____	3	NE	TIM	Single (Clear)	No	1.3	0.75	N	40 ft ²	6 ft 0 in	0 ft 0 in	HERS 2006	None	
_____	4	NE	TIM	Single (Clear)	No	1.3	0.75	N	16 ft ²	2 ft 0 in	0 ft 0 in	HERS 2006	None	
_____	5	SE	TIM	Single (Clear)	No	1.3	0.75	N	16 ft ²	2 ft 0 in	0 ft 0 in	HERS 2006	None	
_____	6	SW	TIM	Single (Clear)	No	1.3	0.75	N	21 ft ²	2 ft 0 in	0 ft 0 in	HERS 2006	None	
_____	7	SW	TIM	Single (Clear)	No	1.3	0.75	N	14 ft ²	2 ft 0 in	0 ft 0 in	HERS 2006	None	
_____	8	SW	TIM	Single (Clear)	No	1.3	0.75	N	42 ft ²	8 ft 0 in	0 ft 0 in	HERS 2006	None	
_____	9	SW	TIM	Single (Clear)	No	1.3	0.75	N	14 ft ²	8 ft 0 in	0 ft 0 in	HERS 2006	None	
_____	10	SW	TIM	Single (Clear)	No	1.3	0.75	N	63 ft ²	12 ft 0 in	0 ft 0 in	HERS 2006	None	
_____	11	SW	TIM	Single (Clear)	No	1.3	0.75	N	12 ft ²	2 ft 0 in	0 ft 0 in	HERS 2006	None	
_____	12	SW	TIM	Single (Clear)	No	1.3	0.75	N	21 ft ²	12 ft 0 in	0 ft 0 in	HERS 2006	None	
_____	13	NW	TIM	Single (Clear)	No	1.3	0.75	N	28 ft ²	2 ft 0 in	0 ft 0 in	HERS 2006	None	

INFILTRATION & VENTING

	Method	SLA	CFM 50	ACH 50	ELA	EqLA	--- Forced Ventilation ---		Run Time Fraction	Fan Watts
							Supply CFM	Exhaust CFM		
✓	Default	0.00036	2590	7.08	142.2	267.4	0 cfm	0 cfm	0	0

GARAGE

	#	Floor Area	Ceiling Area	Exposed Wall Perimeter	Avg. Wall Height	Exposed Wall Insulation
✓	1	382.8 ft ²	382.8 ft ²	64 ft	8 ft	(invalid)

COOLING SYSTEM

	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Ductless
✓	1	Central Unit	None	SEER: 20	25.8 kBtu/hr	cfm	0.7	FALSE
_____	2	Central Unit	None	SEER: 20	25.8 kBtu/hr	cfm	0.7	FALSE
_____	3	Central Unit	None	SEER: 20	25.8 kBtu/hr	cfm	0.7	FALSE

HEATING SYSTEM

	#	System Type	Subtype	Efficiency	Capacity	Ductless
✓	1	Electric Strip Heat	None	COP: 1	14.05 kBtu/hr	FALSE
_____	2	Electric Strip Heat	None	COP: 1	15.88 kBtu/hr	FALSE
_____	3	Electric Strip Heat	None	COP: 1	13.7 kBtu/hr	FALSE

HOT WATER SYSTEM

	#	System Type	EF	Cap	Use	SetPnt	Conservation
✓	1	Electric	0.97	50 gal	70 gal	120 deg	None

SOLAR HOT WATER SYSTEM

	FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
✓		None	None		ft ²		

DUCTS

	#	--- Supply ---			--- Return ---		Leakage Type	Air Handler	CFM 25	Percent Leakage	QN	RLF
		Location	R-Value	Area	Location	Area						
✓	1	Attic	6	500 ft ²	Attic	150 ft ²	Default Leakage	Attic				

TEMPERATURES

Programable Thermostat: N		Ceiling Fans:																						
Cooling	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input checked="" type="checkbox"/>	Mar	<input checked="" type="checkbox"/>	Apr	<input checked="" type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input checked="" type="checkbox"/>	Jul	<input checked="" type="checkbox"/>	Aug	<input checked="" type="checkbox"/>	Sep	<input checked="" type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec
Heating	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input checked="" type="checkbox"/>	Mar	<input checked="" type="checkbox"/>	Apr	<input checked="" type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input checked="" type="checkbox"/>	Jul	<input checked="" type="checkbox"/>	Aug	<input checked="" type="checkbox"/>	Sep	<input checked="" type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec
Venting	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input checked="" type="checkbox"/>	Mar	<input checked="" type="checkbox"/>	Apr	<input checked="" type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input checked="" type="checkbox"/>	Jul	<input checked="" type="checkbox"/>	Aug	<input checked="" type="checkbox"/>	Sep	<input checked="" type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec
Thermostat Schedule: HERS 2006 Reference		Hours																						
Schedule Type		1	2	3	4	5	6	7	8	9	10	11	12											
Cooling (WD)	AM	78	78	78	78	78	78	78	78	78	78	78	78											
	PM	78	78	78	78	78	78	78	78	78	78	78	78											
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78											
	PM	78	78	78	78	78	78	78	78	78	78	78	78											
Heating (WD)	AM	68	68	68	68	68	68	68	68	68	68	68	68											
	PM	68	68	68	68	68	68	68	68	68	68	68	68											
Heating (WEH)	AM	68	68	68	68	68	68	68	68	68	68	68	68											
	PM	68	68	68	68	68	68	68	68	68	68	68	68											

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: 12 MANDALAY ROAD STUART, FL,	PERMIT #:
--	-----------

INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2.3	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N112.ABC.3. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 85

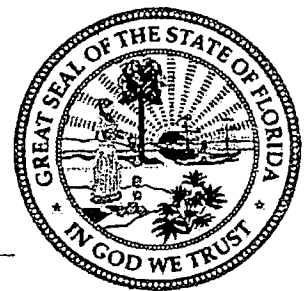
The lower the Energy Performance Index, the more efficient the home.

12 MANDALAY ROAD, STUART, FL,

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I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____
Address of New Home: _____ City/FL Zip: _____



*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at energygauge.com for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 85

The lower the EnergyPerformance Index, the more efficient the home.

12 MANDALAY ROAD, STUART, FL,

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Department of Community Affairs at (850) 487-1824.

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

Project Information

For: LAWLESS RESIDENCE
12 MANDALAY ROAD, STUART, FL

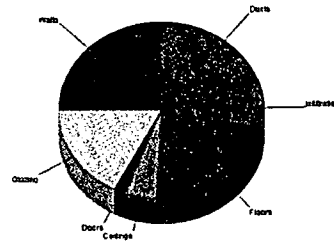
TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT

Design Conditions

Location:	West Palm Beach, FL, US	Indoor:	Indoor temperature (°F)	70	Heating	75
Elevation:	20 ft	Design TD (°F)	25	16	Cooling	16
Latitude:	27°N	Relative humidity (%)	30	50		50
Outdoor:		Moisture difference (gr/lb)	-2.7	57.2		57.2
		Infiltration:				
Heating	45	Method		Simplified		
Cooling	91	Construction quality		Average		
Dry bulb (°F)	-	Fireplaces		0		
Daily range (°F)	-					
Wet bulb (°F)	15.0					
Wind speed (mph)	7.5					

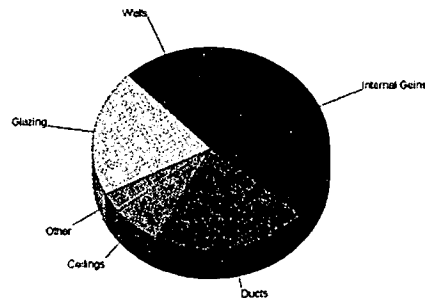
Heating

Component	Btuh/ft²	Btuh	% of load
Walls	3.1	3513	25.0
Glazing	25.4	2438	17.4
Doors	15.0	293	2.1
Ceilings	0.7	655	4.7
Floors	3.2	3186	22.7
Infiltration	1.2	995	7.1
Ducts		2967	21.1
Piping		0	0
Humidification		0	0
Ventilation		0	0
Adjustments		0	0
Total		14047	100.0



Cooling

Component	Btuh/ft²	Btuh	% of load
Walls	2.4	2651	12.2
Glazing	45.9	4409	20.3
Doors	18.6	362	1.7
Ceilings	1.4	1427	6.6
Floors	0	0	0
Infiltration	0.4	318	1.5
Ducts		4617	21.3
Ventilation		0	0
Internal gains		7920	36.5
Blower		0	0
Adjustments		0	0
Total		21705	100.0



Latent Cooling Load = 2682 Btuh
Overall U-value = 0.124 Btuh/ft²-°F

Data entries checked.

Bold/italic values have been manually overridden

Project Information

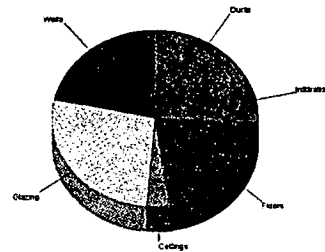
For: LAWLESS RESIDENCE
12 MANDALAY ROAD, STUART, FL

Design Conditions

Location: West Palm Beach, FL, US Elevation: 20 ft Latitude: 27°N		Indoor: Indoor temperature (°F) 70 Design TD (°F) 25 Relative humidity (%) 30 Moisture difference (gr/lb) -2.7	Heating 70 25 30 -2.7	Cooling 75 16 50 57.2
Outdoor: Dry bulb (°F) 45 Daily range (°F) - Wet bulb (°F) - Wind speed (mph) 15.0	Heating 45 - - 15.0	Cooling 91 13 (L) 78 7.5		
		Infiltration: Method Construction quality Fireplaces	Simplified Average 0	

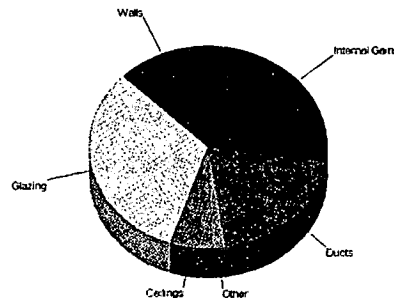
Heating

Component	Btuh/ft²	Btuh	% of load
Walls	3.6	3434	21.6
Glazing	25.2	4289	27.0
Doors	0	0	0
Ceilings	0.6	550	3.5
Floors	4.1	3510	22.1
Infiltration	1.2	1302	8.2
Ducts		2795	17.6
Piping		0	0
Humidification		0	0
Ventilation		0	0
Adjustments		0	0
Total		15880	100.0



Cooling

Component	Btuh/ft²	Btuh	% of load
Walls	2.8	2713	12.6
Glazing	40.6	6905	32.1
Doors	0	0	0
Ceilings	1.4	1198	5.6
Floors	0	0	0
Infiltration	0.4	417	1.9
Ducts		4367	20.3
Ventilation		0	0
Internal gains		5880	27.4
Blower		0	0
Adjustments		0	0
Total		21479	100.0



Latent Cooling Load = 3207 Btuh
Overall U-value = 0.167 Btuh/ft²·°F

Data entries checked.

Bold/italic values have been manually overridden

Project Information

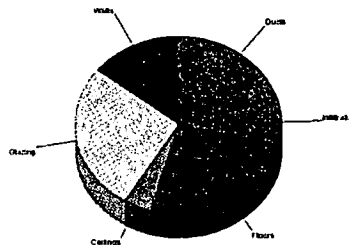
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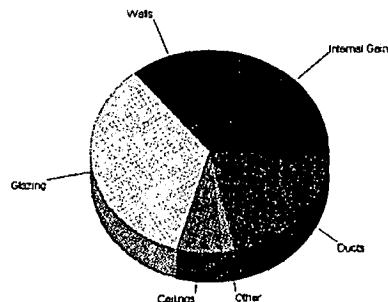
Heating

Component	Btuh/ft²	Btuh	% of load
Walls	2.4	1972	14.4
Glazing	25.0	3680	26.9
Doors	0	0	0
Ceilings	0.7	577	4.2
Floors	4.0	3540	25.8
Infiltration	1.2	1105	8.1
Ducts		2822	20.6
Piping		0	0
Humidification		0	0
Ventilation		0	0
Adjustments		0	0
Total		13697	100.0



Cooling

Component	Btuh/ft²	Btuh	% of load
Walls	2.8	2251	10.9
Glazing	48.8	7179	34.6
Doors	0	0	0
Ceilings	1.4	1257	6.1
Floors	0	0	0
Infiltration	0.4	354	1.7
Ducts		4399	21.2
Ventilation		0	0
Internal gains		5300	25.6
Blower		0	0
Adjustments		0	0
Total		20741	100.0



Latent Cooling Load = 3890 Btuh
 Overall U-value = 0.143 Btuh/ft²-°F

Data entries checked.

Bold/italic values have been manually overridden



Load Short Form
AH1
DS AIR CONDITIONING INC

Job:
 Date: May 20, 2011
 By: MAXINE SHAWVER

PO BOX 197, JENSEN BEACH, FL 34957 Phone: 772-335-4531 Fax: 772-679-0103 Email: DSAIR09@HOTMAIL.COM Web: WWW.DSAIRCONDITIONING.COM

Project Information

For: LAWLESS RESIDENCE
 12 MANDALAY ROAD, STUART, FL

Design Information

	Htg	Clg		Infiltration
Outside db (°F)	45	91	Method	Simplified
Inside db (°F)	70	75	Construction quality	Average
Design TD (°F)	25	16	Fireplaces	0
Daily range	-	L		
Inside humidity (%)	30	50		
Moisture difference (gr/lb)	-3	57		

HEATING EQUIPMENT

Make
 Trade
 Model
 GAMA ID n/a

Efficiency 100 EFF

Heating input 0 Btuh
 Heating output 14047 Btuh
 Temperature rise 15 °F
 Actual air flow 860 cfm
 Air flow factor 0.061 cfm/Btuh
 Static pressure 0 in H2O
 Space thermostat

COOLING EQUIPMENT

Make Trane
 Trade XL20i
 Cond 4TTZ0024A1
 Coil 4TEE3C03A1
 ARI ref no. 3220592

Efficiency 14.8 EER, 20 SEER

Sensible cooling 18060 Btuh
 Latent cooling 7740 Btuh
 Total cooling 25800 Btuh
 Actual air flow 860 cfm
 Air flow factor 0.040 cfm/Btuh
 Static pressure 0 in H2O
 Load sensible heat ratio 0.89

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
LAUNDRY	131	2461	2779	151	110
GAME ROOM	450	4064	7295	249	289
BDRM 1	150	2322	4370	142	173
BDRM 2	167	2950	4578	181	181
CABANA BATH	110	2250	2683	138	106
AH1	1008	14047	21705	860	860
Other equip loads		0	0		
Equip. @ 0.96 RSM			20837		
Latent cooling			2682		
TOTALS	1008	14047	23520	860	860

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Load Short Form
AH2
DS AIR CONDITIONING INC

Job:
 Date: May 20, 2011
 By: MAXINE SHAWVER

PO BOX 197, JENSEN BEACH, FL 34957 Phone: 772-335-4531 Fax: 772-679-0103 Email: DSAIR09@HOTMAIL.COM Web: WWW.DSAIRCONDITIONING.COM

Project Information

For: **LAWLESS RESIDENCE**
 12 MANDALAY ROAD, STUART, FL

Design Information

	Htg	Clg	Infiltration	Simplified
Outside db (°F)	45	91	Method	Average
Inside db (°F)	70	75	Construction quality	0
Design TD (°F)	25	16	Fireplaces	
Daily range	-	L		
Inside humidity (%)	30	50		
Moisture difference (gr/lb)	-3	57		

HEATING EQUIPMENT

Make
 Trade
 Model
 GAMA ID n/a

Efficiency 100 EFF
 Heating input 0 Btuh
 Heating output 15880 Btuh
 Temperature rise 17 °F
 Actual air flow 860 cfm
 Air flow factor 0.054 cfm/Btuh
 Static pressure 0 in H2O
 Space thermostat

COOLING EQUIPMENT

Make Trane
 Trade XL20I
 Cond 4TTZ0024A1
 Coil 4TEE3C03A1
 ARI ref no. 3220592

Efficiency 14.8 EER, 20 SEER
 Sensible cooling 18060 Btuh
 Latent cooling 7740 Btuh
 Total cooling 25800 Btuh
 Actual air flow 860 cfm
 Air flow factor 0.040 cfm/Btuh
 Static pressure 0 in H2O
 Load sensible heat ratio 0.87

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
KITCHEN	340	4474	8013	242	321
DINING	126	4230	5118	229	205
GREAT ROOM	312	4579	5888	248	236
FOYER	68	2597	2461	141	99
AH2	846	15880	21479	860	860
Other equip loads		0	0		
Equip. @ 0.96 RSM			20620		
Latent cooling			3207		
TOTALS	846	15880	23828	860	860

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Load Short Form
AH 3
DS AIR CONDITIONING INC

Job:
 Date: May 20, 2011
 By: MAXINE SHAWVER

PO BOX 197, JENSEN BEACH, FL 34957 Phone: 772-335-4531 Fax: 772-679-0103 Email: DSAIR09@HOTMAIL.COM Web: WWW.DSAIRCONDITIONING.COM

Project Information

For: LAWLESS RESIDENCE
 12 MANDALAY ROAD, STUART, FL

Design Information

	Htg	Clg	Infiltration	Simplified
Outside db (°F)	45	91	Method	Average
Inside db (°F)	70	75	Construction quality	0
Design TD (°F)	25	16	Fireplaces	
Daily range	-	L		
Inside humidity (%)	30	50		
Moisture difference (gr/lb)	-3	57		

HEATING EQUIPMENT

Make
 Trade
 Model
 GAMA ID n/a

Efficiency 100 EFF
 Heating input 0 Btuh
 Heating output 13697 Btuh
 Temperature rise 14 °F
 Actual air flow 860 cfm
 Air flow factor 0.063 cfm/Btuh
 Static pressure 0 in H2O
 Space thermostat

COOLING EQUIPMENT

Make Trane
 Trade XL20I
 Cond 4TTZ0024A1
 Coil 4TEE3C03A1
 ARI ref no. 3220592

Efficiency 14.8 EER, 20 SEER
 Sensible cooling 18060 Btuh
 Latent cooling 7740 Btuh
 Total cooling 25800 Btuh
 Actual air flow 860 cfm
 Air flow factor 0.041 cfm/Btuh
 Static pressure 0 in H2O
 Load sensible heat ratio 0.84

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
STAIRS	94	443	324	28	13
BATH 2	60	488	870	31	36
BDRM 3	161	3153	4674	198	194
MASTER BDRM	226	3822	6313	240	262
WIC	94	735	1024	46	42
MASTER BATH	254	5055	7537	317	313
AH 3	888	13697	20741	860	860
Other equip loads		0	0		
Equip. @ 0.96 RSM			19911		
Latent cooling			3890		
TOTALS	888	13697	23801	860	860

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Load Multizone Summary Report

Job:
Date: May 20, 2011
By: MAXINE SHAWVER

DS AIR CONDITIONING INC

PO BOX 197, JENSEN BEACH, FL 34957 Phone: 772-335-4531 Fax: 772-679-0103 Email: DSAIR09@HOTMAIL.COM Web: WWW.DSAIRCONDITIONING.COM

Infiltration Summary

ZONE NAME	Heating				Cooling			
	Volume ft³	ACH	AVF cfm	HTM Btuh/ft²	Volume ft³	ACH	AVF cfm	HTM Btuh/ft²
AH1	8064	0.27	36	1.2	8064	0.13	18	0.4
AH2	8039	0.35	47	1.2	8039	0.18	24	0.4
AH 3	7106	0.34	40	1.2	7106	0.17	20	0.4
Entire House	23209	0.32	124	1.2	23209	0.16	62	0.4

Load and AVF Summary

ROOM NAME	Area ft²	Htg load Btuh	Clg load Btuh	Htg AVF cfm	Clg AVF cfm
LAUNDRY	131	2461	2779	151	110
GAME ROOM	450	4064	7295	249	289
BDRM 1	150	2322	4370	142	173
BDRM 2	167	2950	4578	181	181
CABANA BATH	110	2250	2683	138	106
AH1	1008	14047	21705	860	860
KITCHEN	340	4474	8013	242	321
DINING	126	4230	5118	229	205
GREAT ROOM	312	4579	5888	248	236
FOYER	68	2597	2461	141	99
AH2	846	15880	21479	860	860
STAIRS	94	443	324	28	13
BATH 2	60	488	870	31	36
BDRM 3	161	3153	4674	198	194
MASTER BDRM	226	3822	6313	240	262
WIC	94	735	1024	46	42
MASTER BATH	254	5055	7537	317	313
AH 3	888	13697	20741	860	860
Entire House	2743	43623	63926	2580	2580



Project Information

For: **LAWLESS RESIDENCE**
12 MANDALAY ROAD, STUART, FL

Design Conditions

Location:			Indoor:	Heating	Cooling
West Palm Beach, FL, US			Indoor temperature (°F)	70	75
Elevation: 20 ft			Design TD (°F)	25	16
Latitude: 27°N			Relative humidity (%)	30	50
			Moisture difference (gr/lb)	-2.7	57.2
Outdoor:	Heating	Cooling	Infiltration:		
Dry bulb (°F)	45	91	Method	Simplified	
Daily range (°F)	-	13 (L)	Construction quality	Average	
Wet bulb (°F)	-	78	Fireplaces	0	
Wind speed (mph)	15.0	7.5			

Construction descriptions

	Or	Area ft²	U-value Btuh/ft²·°F	Insul R ft²·°F/Btuh	Htg HTM Btuh/ft²	Loss Btuh	Clg HTM Btuh/ft²	Gain Btuh
Walls								
13A-4ocs: Blk wall, stucco ext, r-4 ext bd ins, 8" thk, 1/2" gypsum board int fnsh	ne	184	0.143	4.0	3.58	658	2.82	520
	se	252	0.143	4.0	3.58	901	2.82	712
	sw	289	0.143	4.0	3.58	1031	2.82	815
	nw	24	0.143	4.0	3.58	86	2.82	68
	all	749	0.143	4.0	3.58	2676	2.82	2114
Partitions								
12C-0sw: Frm wall, stucco ext, r-13 cav ins, 2"x4" wood frm		368	0.091	13.0	2.27	837	1.46	537
Windows								
1A-c1ob: 1 glazing, clr glz, mtl /w brk frm mat, 1/8" thk; 6 ft overhang (5 ft window ht, 0 ft sep.)	ne	40	1.080	0	27.0	1080	68.7	2746
10A-b: 1 glazing, clr glz, mtl /w brk frm mat, 1/8" thk; 8 ft overhang (7 ft window ht, 0 ft sep.)	sw	56	0.970	0	24.3	1358	18.6	1044
Doors								
11J0: Door, mtl fbrgl type	sw	20	0.600	6.3	15.0	293	18.6	362
Ceilings								
81A: CONDITIONING ATTIC SPRAY FOAM R-20		1008	0.026	20.0	0.65	655	1.42	1427
Floors								
22A-1pm: Bg floor, heavy dry or light damp soil, tile flr fnsh		108	1.180	0	29.5	3186	0	0

Bold/italic values have been manually overridden



Project Information

For: LAWLESS RESIDENCE
 12 MANDALAY ROAD, STUART, FL

Design Conditions

Location: West Palm Beach, FL, US Elevation: 20 ft Latitude: 27°N		Indoor: Indoor temperature (°F) Design TD (°F) Relative humidity (%) Moisture difference (gr/lb)	Heating 70 25 30 -2.7	Cooling 75 16 50 57.2
Outdoor: Dry bulb (°F) Daily range (°F) Wet bulb (°F) Wind speed (mph)	Heating 45 - - 15.0	Cooling 91 13 (L) 78 7.5	Infiltration: Method Construction quality Fireplaces	Simplified Average 0

Construction descriptions

	Or	Area ft²	U-value Btu/h/ft²·°F	Insul R ft²·°F/Btu/h	Htg HTM Btu/h/ft²	Loss Btu/h	Clg HTM Btu/h/ft²	Gain Btu/h
Walls								
13A-4ocs: Blk wall, stucco ext, r-4 ext bd ins, 8" thk, 1/2" gypsum board int fnsh	ne	203	0.143	4.0	3.58	727	2.82	574
	se	288	0.143	4.0	3.58	1030	2.82	813
	sw	165	0.143	4.0	3.58	591	2.82	467
	nw	304	0.143	4.0	3.58	1087	2.82	859
	all	961	0.143	4.0	3.58	3434	2.82	2713
Partitions (none)								
Windows								
10A-b: 1 glazing, clr glz, mtl /w brk frm mat, 1/8" thk; 9 ft overhang (7 ft window ht, 0 ft sep.)	ne	42	0.970	0	24.3	1019	36.3	1524
1B-c1fb: 1 glazing, clr glz, mtl /w brk frm mat, 1/8" thk; 2 ft overhang (4 ft window ht, 0 ft sep.)	ne	16	1.070	0	26.8	428	70.6	1129
	se	16	1.080	0	27.0	432	35.0	560
	sw	12	1.070	0	26.8	321	35.5	427
	all	44	1.070	0	26.8	1181	48.1	2115
10A-b: 1 glazing, clr glz, mtl /w brk frm mat, 1/8" thk; 12 ft overhang (7 ft window ht, 0 ft sep.)	sw	63	0.970	0	24.3	1528	18.6	1174
	sw	21	1.070	0	26.8	562	33.5	703
	all	84	1.070	0	24.9	2090	22.3	1877
Doors (none)								
Ceilings								
81A: CONDITIONING ATTIC SPRAY FOAM R-20		846	0.026	20.0	0.65	550	1.42	1198
Floors								
22A-tpm: Bg floor, heavy dry or light damp soil, tile flr fnsh		119	1.180	0	29.5	3510	0	0

Bold/italic values have been manually overridden



Project Information

For: LAWLESS RESIDENCE
 12 MANDALAY ROAD, STUART, FL

Design Conditions

Location:			Indoor:	Heating	Cooling
West Palm Beach, FL, US			Indoor temperature (°F)	70	75
Elevation: 20 ft			Design TD (°F)	25	16
Latitude: 27°N			Relative humidity (%)	30	50
			Moisture difference (gr/lb)	-2.7	57.2
Outdoor:	Heating	Cooling	Infiltration:		
Dry bulb (°F)	45	91	Method	Simplified	
Daily range (°F)	-	13 (L)	Construction quality	Average	
Wet bulb (°F)	-	78	Fireplaces	0	
Wind speed (mph)	15.0	7.5			

Construction descriptions

Construction descriptions	Or	Area ft²	U-value Btuh/ft²·°F	Insul R ft²·°F/Btuh	Htg HTM Btuh/ft²	Loss Btuh	Clg HTM Btuh/ft²	Gain Btuh
Walls								
12B-0sw: Frm wall, stucco ext, 1/2" wood shth, r-11 cav ins, 1/2" gypsum board int fnsh, 2"x4" wood frm	ne	144	0.097	11.0	2.43	349	2.77	399
	se	252	0.097	11.0	2.43	611	2.77	698
	sw	193	0.097	11.0	2.43	468	2.77	534
	nw	224	0.097	11.0	2.43	543	2.77	620
	all	813	0.097	11.0	2.43	1972	2.77	2251
Partitions (none)								
Windows								
10A-b: 1 glazing, clr glz, mtl /w brk frm mat, 1/8" thk; 6 ft overhang (7 ft window ht, 0 ft sep.)	ne	84	0.970	0	24.3	2037	36.3	3047
10A-b: 1 glazing, clr glz, mtl /w brk frm mat, 1/8" thk; 2 ft overhang (7 ft window ht, 0 ft sep.)	sw	21	0.970	0	24.3	509	26.9	564
1A-c1ob: 1 glazing, clr glz, mtl /w brk frm mat, 1/8" thk; 2 ft overhang (3.5 ft window ht, 0 ft sep.)	sw	14	1.080	0	27.0	378	33.0	462
	nw	28	1.080	0	27.0	756	68.7	1922
	all	42	1.080	0	27.0	1134	56.8	2385
Doors (none)								
Ceilings								
81A: CONDITIONING ATTIC SPRAY FOAM R-20		888	0.026	20.0	0.65	577	1.42	1257
Floors								
22A-tpm: Bg floor, heavy dry or light damp soil, tile flr fnsh		120	1.180	0	29.5	3540	0	0

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Project Summary
AH1
DS AIR CONDITIONING INC

Job:
Date: May 20, 2011
By: MAXINE SHAWVER

PO BOX 197, JENSEN BEACH, FL 34957 Phone: 772-335-4531 Fax: 772-679-0103 Email: DSAIR09@HOTMAIL.COM Web: WWW.DSAIRCONDITIONING.COM

Project Information

For: LAWLESS RESIDENCE
12 MANDALAY ROAD, STUART, FL

Notes:

Design Information

Weather: West Palm Beach, FL, US

Winter Design Conditions

Outside db 45 °F
Inside db 70 °F
Design TD 25 °F

Summer Design Conditions

Outside db 91 °F
Inside db 75 °F
Design TD 16 °F
Daily range L
Relative humidity 50 %
Moisture difference 57 gr/lb

Heating Summary

Structure 11080 Btuh
Ducts 2967 Btuh
Central vent (0 cfm) 0 Btuh
Humidification 0 Btuh
Piping 0 Btuh
Equipment load 14047 Btuh

Sensible Cooling Equipment Load Sizing

Structure 17088 Btuh
Ducts 4617 Btuh
Central vent (0 cfm) 0 Btuh
Blower 0 Btuh
Use manufacturer's data n
Rate/swing multiplier 0.96
Equipment sensible load 20837 Btuh

Infiltration

Method	Simplified	
Construction quality	Average	
Fireplaces	0	
	Heating	Cooling
Area (ft ²)	1008	1008
Volume (ft ³)	8064	8064
Air changes/hour	0.27	0.13
Equiv. AVF (cfm)	36	18

Latent Cooling Equipment Load Sizing

Structure 1503 Btuh
Ducts 1179 Btuh
Central vent (0 cfm) 0 Btuh
Equipment latent load 2682 Btuh
Equipment total load 23520 Btuh
Req. total capacity at 0.70 SHR 2.5 ton

Heating Equipment Summary

Make
Trade
Model
GAMA ID n/a

Efficiency 100 EFF
Heating input 0 Btuh
Heating output 14047 Btuh
Temperature rise 15 °F
Actual air flow 860 cfm
Air flow factor 0.061 cfm/Btuh
Static pressure 0 in H2O
Space thermostat

Cooling Equipment Summary

Make Trane
Trade XL20I
Cond 4TTZ0024A1
Coil 4TEE3C03A1
ARI ref no. 3220592
Efficiency 14.8 EER, 20 SEER
Sensible cooling 18060 Btuh
Latent cooling 7740 Btuh
Total cooling 25800 Btuh
Actual air flow 860 cfm
Air flow factor 0.040 cfm/Btuh
Static pressure 0 in H2O
Load sensible heat ratio 0.89

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Project Summary
AH2
DS AIR CONDITIONING INC

Job:
 Date: May 20, 2011
 By: MAXINE SHAWVER

PO BOX 197, JENSEN BEACH, FL 34957 Phone: 772-335-4531 Fax: 772-679-0103 Email: DSAIR09@HOTMAIL.COM Web: WWW.DSAIRCONDITIONING.COM

Project Information

For: LAWLESS RESIDENCE
 12 MANDALAY ROAD, STUART, FL

Notes:

Design Information

Weather: West Palm Beach, FL, US

Winter Design Conditions

Outside db 45 °F
 Inside db 70 °F
 Design TD 25 °F

Summer Design Conditions

Outside db 91 °F
 Inside db 75 °F
 Design TD 16 °F
 Daily range L
 Relative humidity 50 %
 Moisture difference 57 gr/lb

Heating Summary

Structure 13085 Btuh
 Ducts 2795 Btuh
 Central vent (0 cfm) 0 Btuh
 Humidification 0 Btuh
 Piping 0 Btuh
 Equipment load 15880 Btuh

Sensible Cooling Equipment Load Sizing

Structure 17113 Btuh
 Ducts 4367 Btuh
 Central vent (0 cfm) 0 Btuh
 Blower 0 Btuh
 Use manufacturer's data n
 Rate/swing multiplier 0.96
 Equipment sensible load 20620 Btuh

Infiltration

Method	Simplified	
Construction quality	Average	
Fireplaces	0	
	Heating	Cooling
Area (ft²)	846	846
Volume (ft³)	8039	8039
Air changes/hour	0.35	0.18
Equiv. AVF (cfm)	47	24

Latent Cooling Equipment Load Sizing

Structure 2120 Btuh
 Ducts 1087 Btuh
 Central vent (0 cfm) 0 Btuh
 Equipment latent load 3207 Btuh
 Equipment total load 23828 Btuh
 Req. total capacity at 0.70 SHR 2.5 ton

Heating Equipment Summary

Make
 Trade
 Model
 GAMA ID n/a

Efficiency 100 EFF
 Heating input 0 Btuh
 Heating output 15880 Btuh
 Temperature rise 17 °F
 Actual air flow 860 cfm
 Air flow factor 0.054 cfm/Btuh
 Static pressure 0 in H2O
 Space thermostat

Cooling Equipment Summary

Make Trane
 Trade XL20I
 Cond 4TTZ0024A1
 Coil 4TEE3C03A1
 ARI ref no. 3220592
 Efficiency 14.8 EER, 20 SEER
 Sensible cooling 18060 Btuh
 Latent cooling 7740 Btuh
 Total cooling 25800 Btuh
 Actual air flow 860 cfm
 Air flow factor 0.040 cfm/Btuh
 Static pressure 0 in H2O
 Load sensible heat ratio 0.87

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Project Summary
AH 3
DS AIR CONDITIONING INC

Job:
 Date: May 20, 2011
 By: MAXINE SHAWVER

PO BOX 197, JENSEN BEACH, FL 34957 Phone: 772-335-4531 Fax: 772-679-0103 Email: DSAIR09@HOTMAIL.COM Web: WWW.DSAIRCONDITIONING.COM

Project Information

For: LAWLESS RESIDENCE
 12 MANDALAY ROAD, STUART, FL

Notes:

Design Information

Weather: West Palm Beach, FL, US

Winter Design Conditions

Outside db 45 °F
 Inside db 70 °F
 Design TD 25 °F

Summer Design Conditions

Outside db 91 °F
 Inside db 75 °F
 Design TD 16 °F
 Daily range L
 Relative humidity 50 %
 Moisture difference 57 gr/lb

Heating Summary

Structure 10874 Btuh
 Ducts 2822 Btuh
 Central vent (0 cfm) 0 Btuh
 Humidification 0 Btuh
 Piping 0 Btuh
 Equipment load 13697 Btuh

Sensible Cooling Equipment Load Sizing

Structure 16342 Btuh
 Ducts 4399 Btuh
 Central vent (0 cfm) 0 Btuh
 Blower 0 Btuh
 Use manufacturer's data n
 Rate/swing multiplier 0.96
 Equipment sensible load 19911 Btuh

Infiltration

Method Simplified
 Construction quality Average
 Fireplaces 0

	Heating	Cooling
Area (ft²)	888	888
Volume (ft³)	7106	7106
Air changes/hour	0.34	0.17
Equiv. AVF (cfm)	40	20

Latent Cooling Equipment Load Sizing

Structure 2782 Btuh
 Ducts 1108 Btuh
 Central vent (0 cfm) 0 Btuh
 Equipment latent load 3890 Btuh
 Equipment total load 23801 Btuh
 Req. total capacity at 0.70 SHR 2.4 ton

Heating Equipment Summary

Make
 Trade
 Model
 GAMA ID n/a

Efficiency 100 EFF
 Heating input 0 Btuh
 Heating output 13697 Btuh
 Temperature rise 14 °F
 Actual air flow 860 cfm
 Air flow factor 0.063 cfm/Btuh
 Static pressure 0 in H2O
 Space thermostat

Cooling Equipment Summary

Make Trane
 Trade XL20I
 Cond 4TTZ0024A1
 Coil 4TEE3C03A1
 ARI ref no. 3220592
 Efficiency 14.8 EER, 20 SEER
 Sensible cooling 18060 Btuh
 Latent cooling 7740 Btuh
 Total cooling 25800 Btuh
 Actual air flow 860 cfm
 Air flow factor 0.041 cfm/Btuh
 Static pressure 0 in H2O
 Load sensible heat ratio 0.84

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Ardaman & Associates, Inc.

Certificate of Authorization No. 5950

460 NW Concourse Place, Unit 1
Port St. Lucie, Florida 34986
Phone: (772) 878-0072
Fax: (772) 878-0097

*John FWP
&
IN 9807*

FIELD DENSITY TEST REPORT

PROJECT: #12 Mandalay Road, Sewalls Point, Florida FILE NO.: 11-5443
 REPORTED TO: Community Construction Permit No. 9807
 DATE OF TEST(S): 6/28/2011 PAGE NO.: 1 OF 1

TEST NO.	Patio Addition, Front and Rear Retaining Wall Footings	MDR NO.	MOISTURE CONTENT %	DRY DENSITY	PERCENT COMPACTION	DEPTH LOCATION
1	North Side of Front Retaining Wall Footing	1	10.4	102.3	99	0 to -1'
2	South Side of Front Retaining Wall Footing	1	10.1	101.9	99	0 to -1'
3	North Side of Rear Retaining Wall Footing	1	9.8	101.8	99	0 to -1'
4	South Side of Rear Retaining Wall Footing	1	9.7	102.1	99	0 to -1'

* DENOTES IN-PLACE DENSITY TEST DOES NOT MEET MINIMUM COMPACTION REQUIREMENT OF 98 PERCENT

FIELD TEST: ASTM D-2937 ASTM D-2922 ASTM D-2167 ASTM D-1556

TECHNICIAN: _____

Test depth referenced from:
Footing Subgrade

LABORATORY MOISTURE-DENSITY RELATIONSHIP			
MDR NO.	ASTM TEST METHOD	MAX. DENSITY	OPTIMUM MOISTURE CONTENT
1	D-1557	103.5 PCF	10.5 %

Remarks: _____

DJ Zjallack
Dan J. Zjallack, P.E.
Florida License # 63911



Ardaman & Associates, Inc

Florida Certificate of Authorization No. 5950
460 NW Concourse Place, Unit #1
Port St. Lucie, Florida 34986
772-878-0072

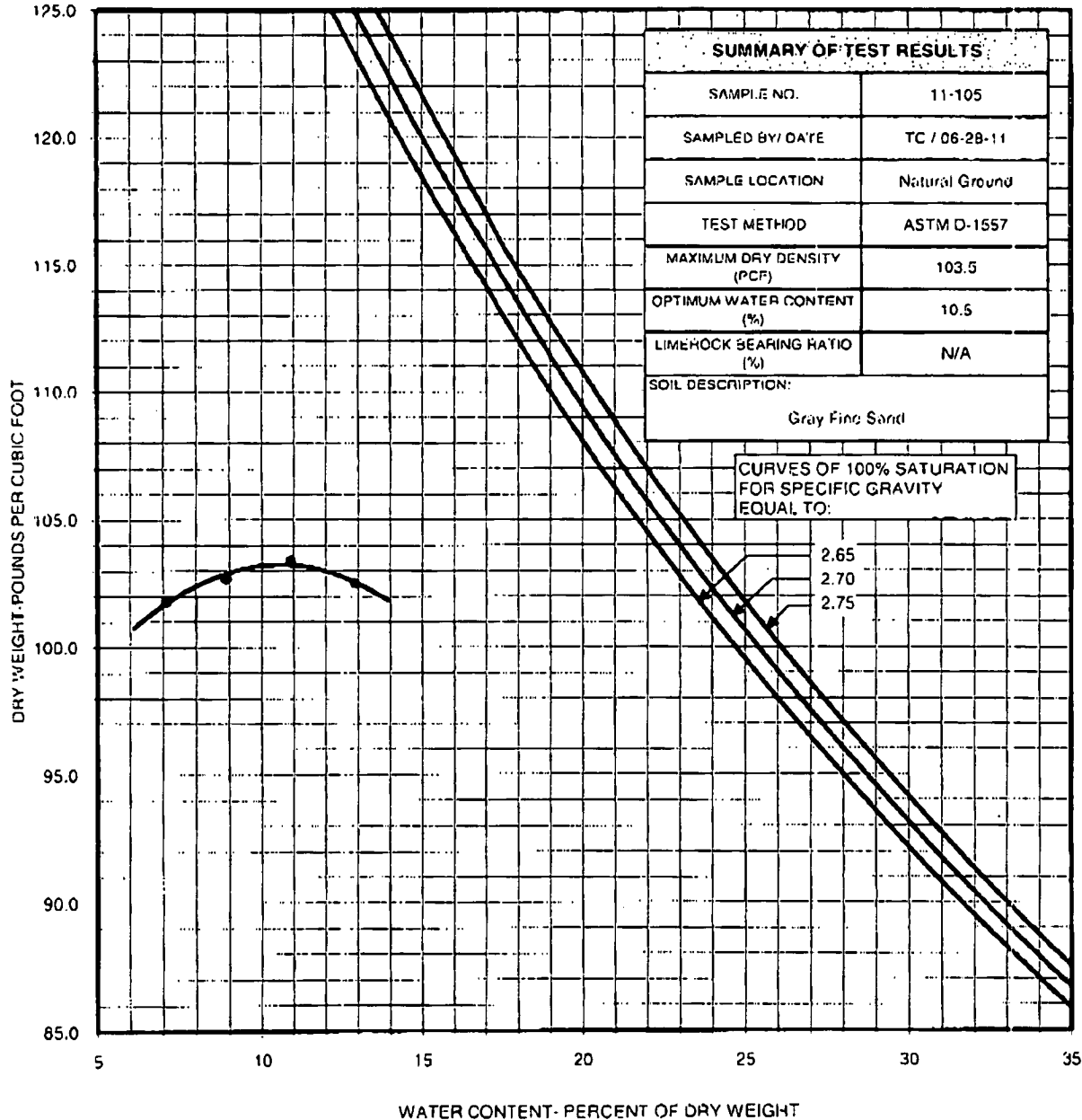
PROJECT: 12 Mandalay Road, Sewall's Point

DATE: 06/29/11

REPORTED TO: Community Constr. and Contractor

FILE NO.: 11-5443

Moisture-Density Relationship



By 
Dan J. Zralack, P.E.
Florida Registration No. 63911

AS A MUTUAL PROTECTION TO CLIENTS, THE PUBLIC AND OURSELVES, ALL REPORTS ARE SUBMITTED AS THE CONFIDENTIAL PROPERTY OF CLIENTS AND AUTHORIZATION FOR PUBLICATION OF STATEMENTS, CONCLUSIONS OR EXTRACTS FROM OR REGARDING OUR REPORTS IS RESERVED PENDING OUR WRITTEN APPROVAL.



Ardaman & Associates, Inc.

Consultants in Soils, Hydrogeology,
Foundations and Materials TestingDate: June 29, 2011File No.: 11-5443**COVER SHEET FOR FACSIMILE TRANSMISSION****MESSAGE TO:**Company Name: Town of Sewall's PointAttention: Building DepartmentFAX Number: 772-220-4765**MESSAGE FROM:**Sender: Deanna DuffyFAX Number: **(772) 878-0097**Comments: **Compaction tests for patio addition at #12 Mandalay Road
Permit No. 9807****Total number of pages sent (including this cover sheet): 3***If this message is incomplete or not legible, please contact me at***(772) 878-0072**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

CONTRACTOR, OWNER /BUILDER ASBESTOS NOTIFICATION STATEMENT

Date: _____ Building Permit # 9807

Site Address: 12 mandalay rd

FBC 104.1.10 Asbestos. The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's or operator's responsibility to comply with the provisions of s. 469.003 Florida Statutes and to notify the Department of Environmental Protection of her or his intentions to remove asbestos, when applicable, in accordance with state and federal law. 469.003 License required.--

(1) No person may conduct an asbestos survey, develop an operation and maintenance plan, or monitor and evaluate asbestos abatement unless trained and licensed as an asbestos consultant as required by this chapter.

(2)(a) No person may prepare asbestos abatement specifications unless trained and licensed as an asbestos consultant as required by this chapter.

(b) Any person engaged in the business of asbestos surveys prior to October 1, 1987, who has been certified by the Department of Labor and Employment Security as a certified asbestos surveyor, and who has complied with the training requirements of s. 469.013(1)(b), may provide survey services as described in s. 255.553(1), (2), and (3). The Department of Labor and Employment Security may, by rule, establish violations, disciplinary procedures, and penalties for certified asbestos surveyors.

(3) No person may conduct asbestos abatement work unless licensed by the department under this chapter as an asbestos contractor, except as otherwise provided in this chapter.

FBC 105.3.6 Asbestos removal. (Owner /Builder Exemption)

Moving, removal or disposal of asbestos-containing materials on a residential building where the owner occupies the building, the building is not for sale or lease, and the work is performed according to the owner-builder limitations provided in this paragraph. To qualify for exemption under this paragraph, an owner must personally appear and sign the building permit application. The permitting agency shall provide the person with a disclosure statement in substantially the following form: **Disclosure Statement:** State law requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

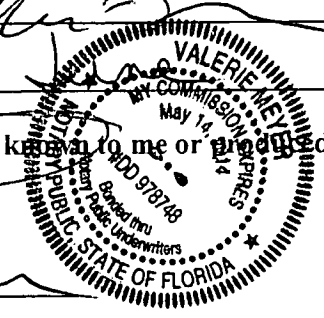
____ Contractor or Owner/Builder Signature _____

Subscribed and sworn to before me this 3rd day of _____, 2011, personally appeared

Shawn Lawless who is personally known to me or presented _____ as

identification, and who did/did not take an oath.

Notary Public Signature Valerie Meyer Seal





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

**OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT
 MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE**

**APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES
 AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE**

NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.

ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"

Owner/Builder Applicant Name: Shawn Lawless

Site address of the proposed building work: 12 mandalay Road

Name of legal title owner of the address above: lot 6 mandalay

Describe the scope of work for the proposed new construction: general remodel and update

Name of Architect of Record: DEREK SANDERS Structural Engineer of Record: ~~DEREK~~ SHAFFER GROUP INC.

Who will supervise the trade work to meet the applicable code? SHAWN LAWLESS

What provisions have you made for Liability and Property Damage Insurance? N/A

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? N/A

What previous Owner/Builder improvements have you done in the State of Florida?

Location: N/A Scope of Work Done: _____ Year: _____

Location: N/A Scope of Work Done: _____ Year: _____

What code books do you have available for reference? Building: N/A

Electric: N/A Plumbing: N/A HVAC: N/A

Other: N/A

I have internet access and will view The Florida Building code at www.floridabuilding.org YES NO

Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site? yes (yes/no)

Have you consulted with your Homeowner's Insurance Agent? N/A Lender? N/A Attorney? N/A

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. SL (initials).



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

OWNER/BUILDER DISCLOSURE STATEMENT

NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT.

13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE.

14. ANY PERSON WORKING ON YOUR BUILDING WHO IS NOT LICENSED MUST WORK UNDER YOUR DIRECT SUPERVISION AND MUST BE EMPLOYED BY YOU, WHICH MEANS THAT YOU MUST DEDUCT F.I.C.A. AND WITHHOLDING TAX AND PROVIDE WORKERS' COMPENSATION FOR THAT EMPLOYEE, ALL AS PRESCRIBED BY LAW.

15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT.

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT.

ON THIS 17 DAY OF May, 2011.

PROPERTY ADDRESS 12 mandalay Road

CITY Stuart STATE FL ZIP 34996

SIGNATURE OF OWNER/BUILDER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 17 DAY OF May 2011

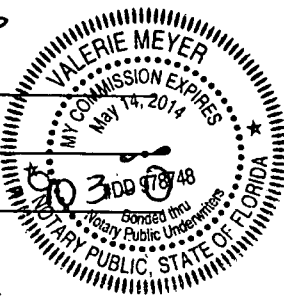
BY Caroline Lawless

PERSONALLY KNOWN _____

OR PRODUCED ID

TYPE OF ID FL ID # L420-105-76

NOTARY SIGNATURE Valerie Meyer



12 MANDALAY

212,641.8 + 25K = 241,641

VALUE CALCULATION: 2475 @ 51.40 = 127,710. 1099 @ 80.92 = 88,931.06

1. NEW UNCONDITIONED SPACE & COMPLETE CONDITIONED REMODEL @ 51.40/SQFT

A. FRONT PORCH: 6' X 27'4" X 2 STORIES 336 SF

B. REAR PORCH: 8' X 24' 192 "

C. FRONT ENTRY 11'4" X 10'4" 119 "

D. GARAGE/LOWER LEVEL 970 "

E. MID/UPPER LEVEL 858

2. REMODEL WITH NEW TRUSSES @ 80.92 2975

A. GARAGE 224 "

B. KITCHEN/FOYER GREAT ROOM, DINING 875 "

ALL NEW IMPACT WINDOWS & DOORS 1089

MULTI ROOF & SIDING ≈ 25K

1. PROVIDE TOTAL ACCURATE AREA SQ FT & PERCENTAGES USED TO DETERMINE LEVEL OF RETROFIT, APPEARING TO BE VERY CLOSE TO LEVEL 3 RETROFIT

2. PROVIDE SCOPE OF WORK & PLANS FOR HVAC

3. HVAC CONDENSER PADS MUST MEET SETBACKS

IF NEW HVAC SYSTEMS & DUCTWORK - PROVIDE ENERGY CALCULATIONS & MANUAL J LOAD CALCULATIONS

Shawn Lawless
12 mandalay Road
Stuart, FL 34996

May 17th 2011.

Town of Sewalls point building department
One. S. Sewalls Point Road
Sewalls Point, Florida 34996

To whom it may concern,

Please except this letter as confirmation that Jeff Hardin
and Straticon Construction are hereby released from any
work being done at 12 Mandalay Rd.

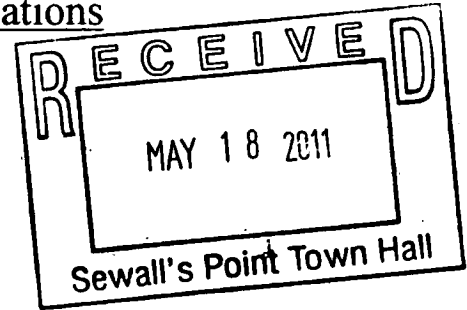
Shawn + Caroline Lawless now assume owner/builder
status as of this day Tuesday May 17th 2011.

yours sincerely




Shawn + Caroline Lawless
owners of 12 Mandalay Rd.

12 Mandalay Project Valuations



<u>Electrical</u>	\$20,000
<u>Plumbing</u>	11,000
<u>HVAC System</u>	13,235
<u>Metal picked roof and flat roof</u>	14,950
<u>Septic System</u>	4,600
<u>Windows & Doors (impact)</u>	14,500
<u>Roof truss removal and new trusses and hips</u>	7,000
<u>Front/Back porches with entrance and soffits</u>	16,000
<u>Cement Work</u>	7,200
<u>Demolition</u>	4,000
<u>Kitchen Remodel</u>	13,500
<u>Master Bath Remodel</u>	8,000
<u>#2 Bath Remodel</u>	3,500
<u>#3 Bath Remodel</u>	4,700
<u>Hardie Board</u>	11,500
<u>Window/Door framing and install</u>	4,400
<u>Interior Framing and Drywall with Finishing</u>	10,700
<u>Insulation</u>	6,000
<u>Flooring</u>	6,200
<u>Garage Door and install</u>	1,900
<u>Interior doors and Trim</u>	2,800
<u>Painting interior/exterior</u>	7,600
<u>Plumbing Fixtures</u>	3,300
<u>Lighting Fixtures</u>	2,800
<u>Trusses from Chambers Truss</u>	<u>2,400</u>
<u>Total:</u>	<u>\$201,785</u>


Shawn Lawless (Owner/Builder)

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **6-29-11** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
951	Buller's	Pool		
PM	2 Alameda OB	Pool	Pass	INSPECTOR <i>[Signature]</i>
9772	Bellingham 2 Via de Cristo Flamingo Pools	Plumbing & UG. ELEC	Pass	INSPECTOR <i>[Signature]</i>
9824	Nicklas 21 Caselle Hill IB A/C	Final AC	Pass	CLOSE INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR



Ardaman & Associates, Inc.

Consultants in Soils, Hydrogeology,
Foundations and Materials Testing

OK FWP

Date: July 7, 2011

File No.: 11-5443

COVER SHEET FOR FACSIMILE TRANSMISSION

MESSAGE TO:

Company Name: Town of Sewall's Point

Attention: Building Department

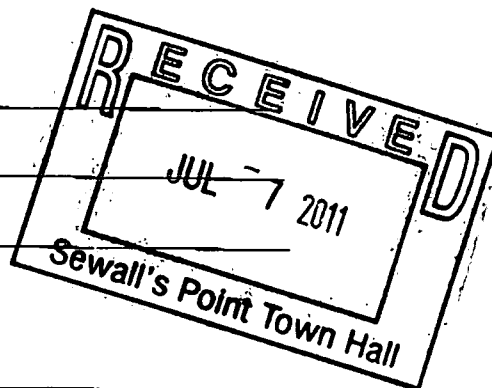
FAX Number: 772-220-4765

MESSAGE FROM:

Sender: Deanna Duffy

FAX Number: **(772) 878-0097**

Comments: **Compaction tests for Front Porch, Entryway and Rear Porch Slab
12 Mandalay Road
Permit No. 9807**



Total number of pages sent (including this cover sheet): 3

If this message is incomplete or not legible, please contact me at

(772) 878-0072



Ardaman & Associates, Inc.

Certificate of Authorization No. 5950

460 NW Concourse Place, Unit 1
 Port St. Lucie, Florida 34986
 Phone: (772) 878-0072
 Fax: (772) 878-0097

FIELD DENSITY TEST REPORT

PROJECT: 12 Mandalay Road, Sewalls Point, Florida

FILE NO.: 11-5443

REPORTED TO: Community Construction

Permit No. 9807

DATE OF TEST(S): 7/7/2011

PAGE NO.: 1 OF 1

TEST NO.	Front Porch, Entryway and Rear Porch Slab Subgrade	MDR NO.	MOISTURE CONTENT %	DRY DENSITY	PERCENT COMPACTION	DEPTH LOCATION
1	Center of Front Porch Slab	1	11.7	101.3	98	0 to -1'
2	Center of Rear Porch Slab	1	11.9	100.8	97	0 to -1'
3	Center of Entryway Slab	1	11.6	101.2	98	0 to -1'

* DENOTES IN-PLACE DENSITY TEST DOES NOT MEET MINIMUM COMPACTION REQUIREMENT OF 95 PERCENT

FIELD TEST: ASTM D-2937 ASTM D-2922 ASTM D-2167 ASTM D-1556
 TECHNICIAN: TC

Test depth referenced from:
 Slab Subgrade

MDR NO.	ASTM TEST METHOD	MAX. DENSITY	OPTIMUM MOISTURE CONTENT
1	D-1557	103.5 PCF	10.5 %

Remarks: _____

Will B. Cornelius
 Will B. Cornelius II, P.E. 7-7-11
 Florida License # 07538



Ardaman & Associates, Inc

Florida Certificate of Authorization No. 5950
460 NW Concourse Place, Unit #1
Port St. Lucie, Florida 34986
772-878-0072

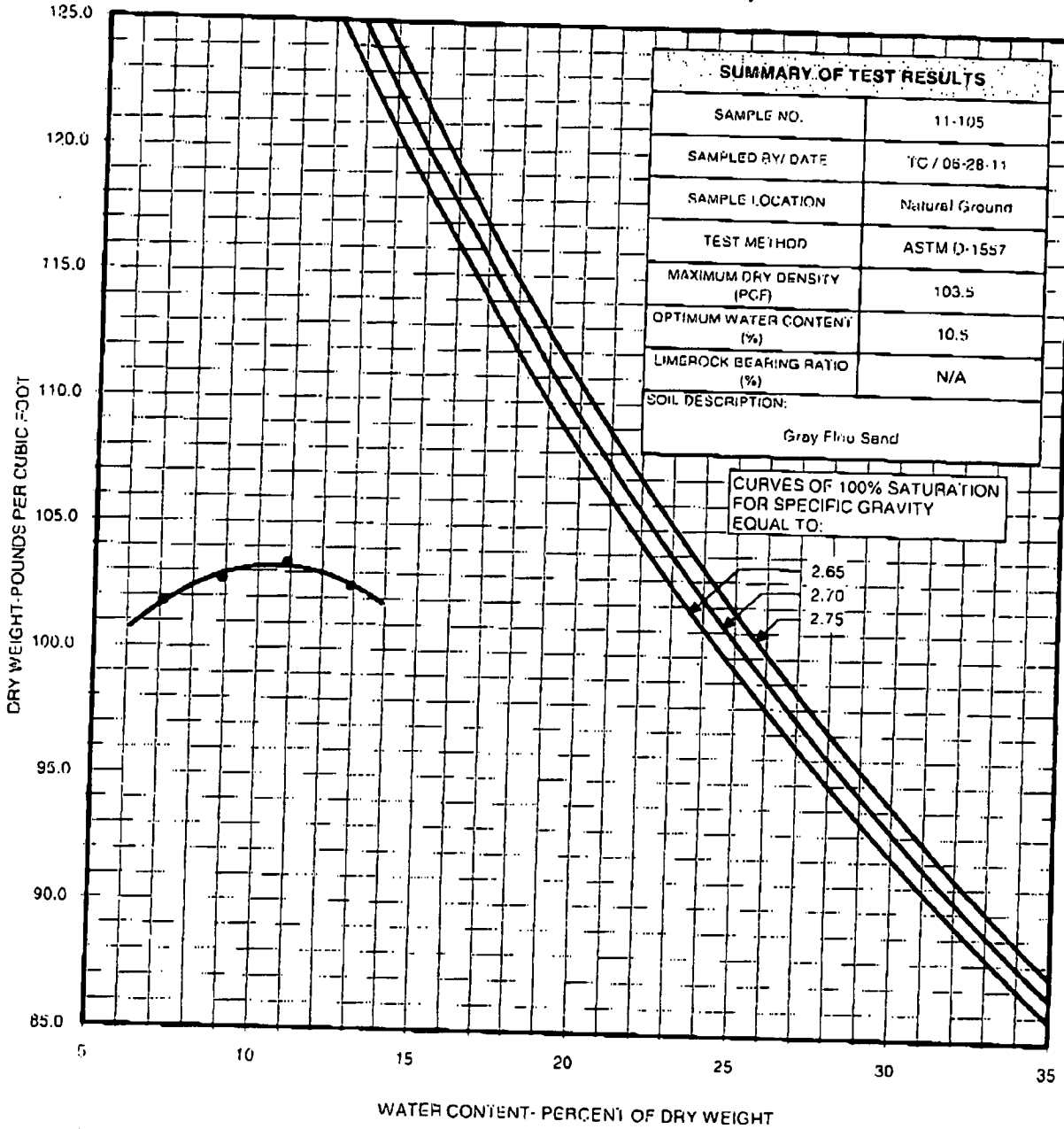
PROJECT: 12 Mandalay Road, Sewall's Point


DATE: 06/29/11

REPORTED TO: Community Constr. and Contractor

FILE NO.: 11-5443

Moisture-Density Relationship



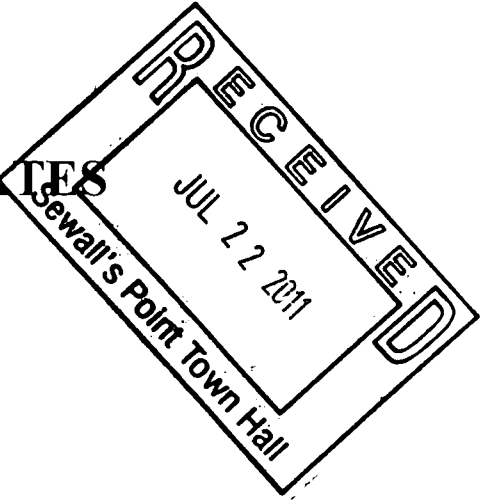
By 
Dan J. Zralack, P.E.
Florida Registration No. 63911

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PN 9807



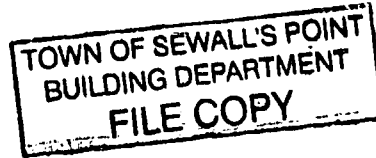
DEREK SANDERS & ASSOCIATES



JULY 20, 2011

TOWN OF SEWALLS POINT
JOHN R. ADAMS, C.B.O.
BUILDING OFFICIAL

RE:
LAWLESS RESIDENCE
SHAWN & CAROLINE LAWLESS
12 MANDELAY ROAD
SEWALLS POINT, FLORIDA




MR. ADAMS,

THIS LETTER IS TO CERTIFY THAT 2 - 2 X 10 LEDGERS WITH 5/8" X 8" WEDGE ANCHORS AT 24" O.C. IS APPROVED IN LIEU OF 1 - 2 X 10 LEDGER WITH 5/8" X 6" WEDGE ANCHORS AT 24" O.C. AT BOTH THE FRONT AND REAR PORCH DECK LOCATIONS.
--REFERENCE DETAILS 1 AND 2 ON DRAWING SHEET A9

REGARDS,
DEREK SANDERS

ENGINEERING OUTSIDE THE BOX



THE SHAFFER GROUP INC.
7677 SW Ellipse Way, Stuart, Florida 34997-7246
Phone: (772) 220-4990 Fax: (772) 220-1795
E-Mail mail@theshaffergroup.com
FREDRICK D. SHAFFER, FL. P.E. # 26694
©2011 - CERT. AUTH. 9318

NOTES

THESE DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS OF THIS PROJECT EXCEPT BY WRITTEN AGREEMENT WITH THE ENGINEER. NO DESIGN CHANGES WHICH ALTER THE INTENT OF THE DRAWINGS OR SPECIFICATIONS ARE TO BE MADE WITHOUT OBTAINING PRIOR WRITTEN PERMISSION FROM THE ENGINEER.

DISCLAIMER NOTICE:
THE ENGINEERING SEAL FOR THIS PROJECT IS INTENDED TO AUTHENTICATE AND IS LIMITED ONLY TO THE STRUCTURAL DESIGN DOCUMENTS WHICH CONTAIN MY SEAL AND SIGNATURE. I HEREBY DISCLAIM ALL RESPONSIBILITY FOR ALL OTHER DOCUMENTS RELATING TO THIS PROJECT.

2440 S.E. FEDERAL HIGHWAY
EXECUTIVE SUITE 706
STUART, FLORIDA 34994
(P) 772-286-1331 (C) 772-215-1953
e-mail : dsaplans@gmail.com

[Handwritten Signature]
7/20/11



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9807	DATE ISSUED:	JUNE 3, 2011
SCOPE OF WORK:	REMODEL		
CONDITIONS :			
CONTRACTOR:	OB		
PARCEL CONTROL NUMBER:	133841004-000-00060-0	SUBDIVISION	MANDALAY - L 6
CONSTRUCTION ADDRESS:	12 MANDALAY RD		
OWNER NAME:	LAWLESS		
QUALIFIER:	OB	CONTACT PHONE NUMBER:	407-230-5284

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9807
ADDRESS	12 MANDALAY RD - LAWLESS
DATE:	6/3/11
SCOPE:	REMODEL

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	241,641.00
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	350.00
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s.f.	
Total square feet non-conditioned space: (@ \$51.60 per sq. ft.)		s.f.	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	4832.82
Building fee: (1% of construction value < \$200K + \$75 per insp.)			
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 minimum)		\$	72.49
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 minimum)		\$	72.49
Road impact assessment: (.04% of construction value - \$5.00 min.)			96.65
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	5424.45

pd
CK #1417

ACC TO

Total DBI Dep Road

TO

CAROLINE E. LAWLESS
 2081 S.E. PYRAMID RD.
 PORT SAINT LUCIE, FL 34952-5827

Date 6/3/11 1417

63-4/630 FL 1032

Pay to the order of Town of Sewall's Point \$ 5424.45
Five thousand four hundred twenty four and 45/100 Dollars

Bank of America

ACH R/T 063100277

For Permit Fee

MP

⑆063000047⑆ 005493307302⑈1417

FLORIDA DEPARTMENT OF Community Affairs



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Product Approval
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**

- COMMUNITY PLANNING
- HOUSING & COMMUNITY DEVELOPMENT
- EMERGENCY MANAGEMENT
- OFFICE OF THE SECRETARY

FL # FL9174-R3
 Application Type Revision
 Code Version 2007
 Application Status Pending FBC Approval
 Comments
 Archived

Product Manufacturer
Address/Phone/Email

Wayne-Dalton Corp.
3395 Addison Drive
Pensacola, FL 32514
(850) 475-6000
gtaylor@Wayne-Dalton.com

Authorized Signature

Greg Taylor
gtaylor@Wayne-Dalton.com

Technical Representative
Address/Phone/Email

Quality Assurance Representative
Address/Phone/Email

Category
Subcategory

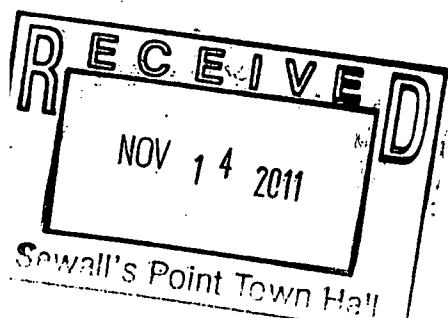
Exterior Doors
Sectional Exterior Door Assi

Compliance Method

Evaluation Report from a Fl
Florida Professional Engineer
 Evaluation Report - Har

Florida Engineer or Architect Name who
developed the Evaluation Report

Jeffery P. Arneson

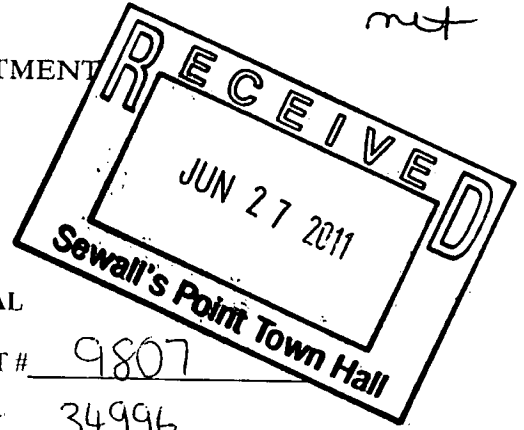


12 Mandaly

Shawnlawless@bellsouth.net



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



407-230-5284

SUBCONTRACTORS LIST
 RESIDENTIAL, ADDITIONS, COMMERCIAL

APPLICANT'S NAME Shawn Lawless BLDG. PERMIT # 9807
 MAILING ADDRESS 12 Mandalay Road, Sewalls Point, 34996

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. **WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION.** USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. **(NOT OCCUPATIONAL LICENSE NUMBERS)**

C. J. [Signature]

Lie [Signature]

GP [Signature]

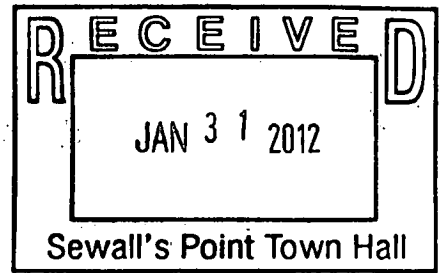
AP [Signature]

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM	Community Construction	CGC 1513003
CFI	- FINISH		
BM	BLOCK MASON	Community Construction	CGC 1513003
CB	COLUMNS & BEAMS	Community Construction	CGC 1513003
CA	CARPENTRY ROUGH	Community Construction	CGC 1513003
GD	GARAGE DOOR	Automatic Door	CDG 5581
DH	DRYWALL - HANG	Community Construction	CGC 1513003
DF	- FINISH		
IN	INSULATION	JT Insulation	15832
LA	LATHING	-	
FI	FIREPLACE	-	
PAV	PAVERS	-	
AL	ALUMINUM	-	
LP	LP GAS	-	
PAV	PAINTING	Community Construction	CGC 1513003
PL	PLASTER & STUCCO	Using Hardie Board Community Construction	CGC 1513003
ST	STAIRS & RAILS	-	
RO	ROOFING	Hight Roofing	CCC1327907
TM	TILE & MARBLE	-	
WD	WINDOWS & DOORS	Supplied by glass professionals installed by Community Construction	
PLU	* PLUMBING	Aqua Dimensions	CFC 057526
AC	* HARV	DS Air	CACO 58715
EL	* ELECTRICAL	Ron Kindel electric	ER13012581

Accent Door

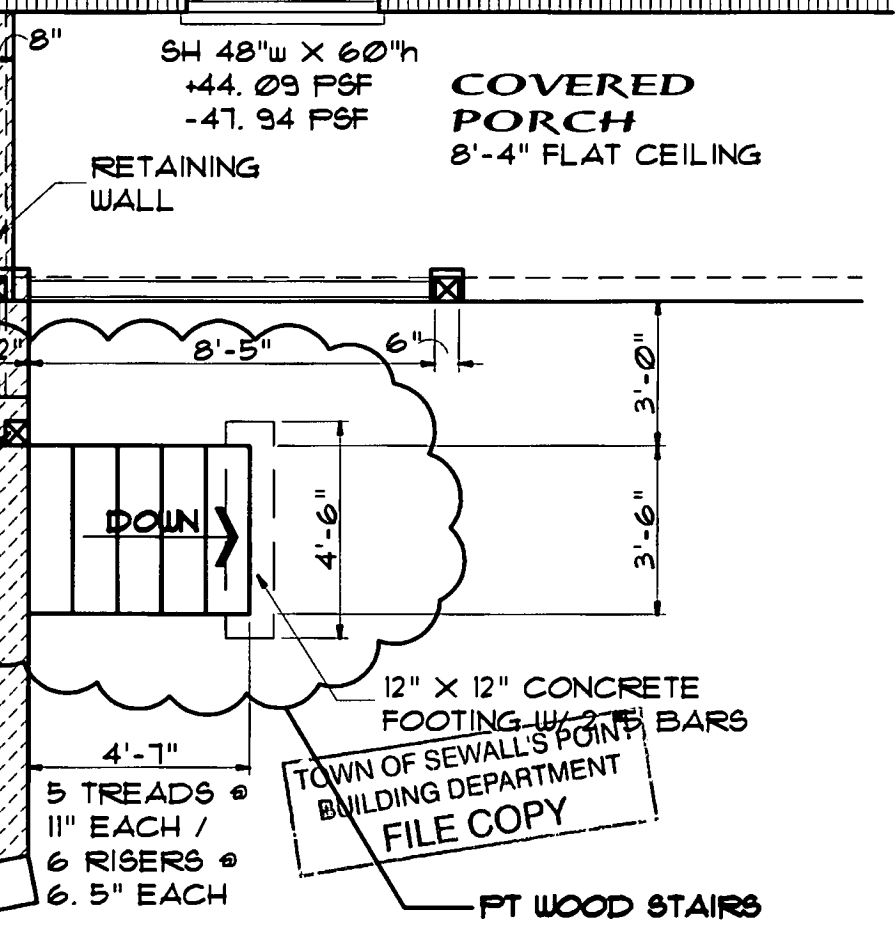
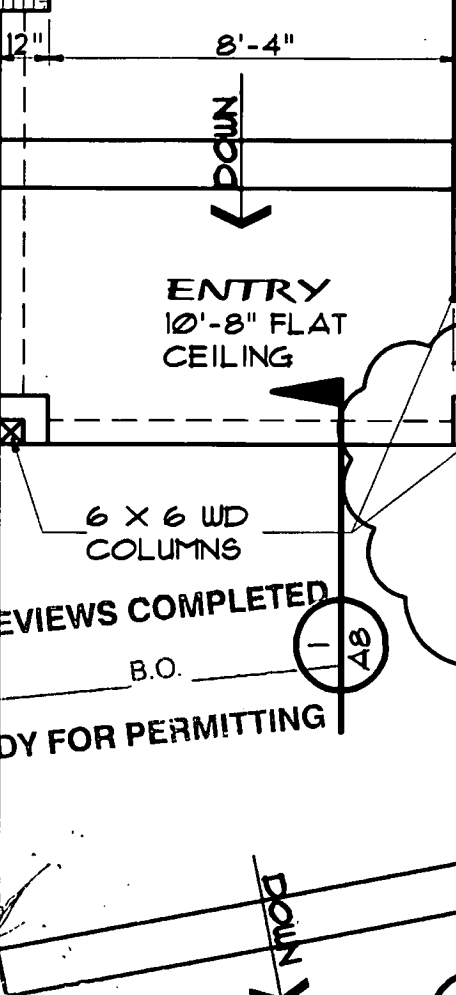
① [Signature]

PN 9807



BEDROOM
EXISTING
8' CEILING

NEW
6068
ENTRY DRG.
+44.09 PSF
-47.84 PSF



ALL REVIEWS COMPLETED
DATE _____ B.O. _____
READY FOR PERMITTING

TOWN OF SEWALLS POINT
BUILDING DEPARTMENT
FILE COPY

7 FLOOR PLAN

Scale : 1/4" = 1'-0"

ENGINEERING OUTSIDE THE BOX

THE SHAFFER GROUP INC.
 2440 SE Federal Highway, Suite 110, Stuart Florida 34994
 Phone: (772) 220-4990 Fax: (772) 220-1795
 E-Mail mail@theshaffergroup.com
 FREDRICK D. SHAFFER, FL. P.E. # 26694
 ©2012 - CERT. AUTH. 9318

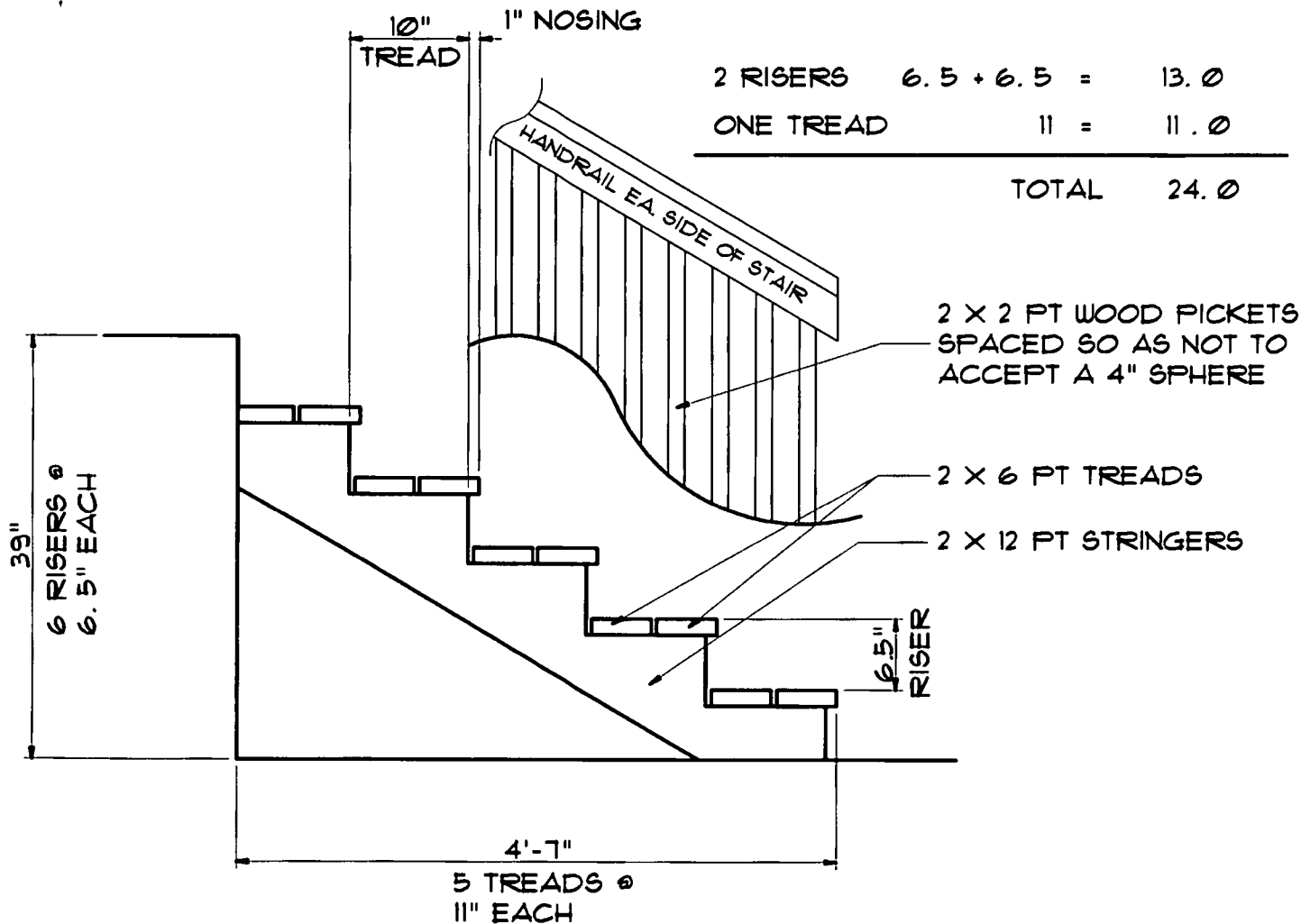
TOWN OF SEWALLS POINT
 JOHN R. ADAMS, C.B.O.
 BUILDING OFFICIAL

RE:
 LAWLESS RESIDENCE
 SHAWN & CAROLINE LAWLESS
 12 MANDELAY ROAD
 SEWALLS POINT, FLORIDA

NOTES

THESE DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS OF THIS PROJECT EXCEPT BY WRITTEN AGREEMENT WITH THE ENGINEER. NO DESIGN CHANGES WHICH ALTER THE INTENT OF THE DRAWINGS OR SPECIFICATIONS ARE TO BE MADE WITHOUT OBTAINING PRIOR WRITTEN PERMISSION FROM THE ENGINEER.

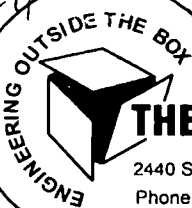
DISCLAIMER NOTICE:
 THE ENGINEERING SEAL FOR THIS PROJECT IS INTENDED TO AUTHENTICATE AND IS LIMITED ONLY TO THE STRUCTURAL DESIGN DOCUMENTS WHICH CONTAIN MY SEAL AND SIGNATURE. I HEREBY DISCLAIM ALL RESPONSIBILITY FOR ALL OTHER DOCUMENTS RELATING TO THIS PROJECT.



STAIR DETAIL

Scale : 3/4" = 1'-0"

TOWN OF SEWALLS POINT
BUILDING DEPARTMENT
FILE COPY



THE SHAFFER GROUP INC.

2440 SE Federal Highway, Suite 110, Stuart Florida 34994
 Phone: (772) 220-4990 Fax: (772) 220-1795
 E-Mail mail@theshaffergroup.com
 FREDRICK D. SHAFFER, FL. P.E. # 26694
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NOTES

THESE DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS OF THIS PROJECT EXCEPT BY WRITTEN AGREEMENT WITH THE ENGINEER. NO DESIGN CHANGES WHICH ALTER THE INTENT OF THE DRAWINGS OR SPECIFICATIONS ARE TO BE MADE WITHOUT OBTAINING PRIOR WRITTEN PERMISSION FROM THE ENGINEER.

DISCLAIMER NOTICE:

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TOWN OF SEWALLS POINT
 JOHN R. ADAMS, C.B.O.
 BUILDING OFFICIAL

RE:
 LAWLESS RESIDENCE
 SHAWN & CAROLINE LAWLESS
 12 MANDELAY ROAD
 SEWALLS POINT, FLORIDA

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 9807

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Shawn Lawless

CONSTRUCTION ADDRESS: 12 Mandalay Rd

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL (Homeowner Building Permit)

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS
- ROOFING

TYPE OF SERVICE: NEW SERVICE _____ EXISTING SERVICE _____ OTHER

SCOPE OF WORK: Demolition, Drywall, Painting

VALUE OF CONSTRUCTION \$ 15,000.00

<input type="checkbox"/> LOW VOLTAGE TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature]
SIGNATURE OF LICENSED CONTRACTOR

415 Avenida Alegre, West Palm Beach, FL, 33405
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Community Construction inc. (Mario A Castano)
PLEASE PRINT

TELEPHONE NO: (561)6332475 FAX NO: _____

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: C6C 1513003

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

OK

TOWN OF SEWALL'S POINT
VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 9807

IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Shawn Lawless

CONSTRUCTION ADDRESS: 12 mandalay Road

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

Agua Dimensins

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: Rough-Topout-final

VALUE OF CONSTRUCTION \$ 12930.00

LOW VOLTAGE	
TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER	
SCOPE OF WORK:	VALUE:

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

SIGNATURE OF LICENSED CONTRACTOR: [Signature] ADDRESS OF CONTRACTOR: 1651 SW macedo Blvd PSL 71 34984

COMPANY OR QUALIFIER'S NAME: [Signature] PLEASE PRINT

TELEPHONE NO: 772-344-8433 FAX NO: 772-343-7418

MARTIN COUNTY OR STATE OF FLORIDA CONTRACTORS LICENSE NUMBER: CFC057526

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

***VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: Shawn Lawless

PARCEL CONTROL #:

SUBDIVISION: LOT: DLK: PHASE:

SITE ADDRESS: 12 mandalay Road

Send or Fax to:
Town of Sewall's Building Department
18 Sewall's Point Road
Sewall's Point, FL 34898
FAX # (772) 220-4765

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

DS Air

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 9807

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: LAWLESS

CONSTRUCTION ADDRESS: 12 MANDALAY ROAD

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: INSTALL NEW HVAC SYSTEMS + DUCT WORK

VALUE OF CONSTRUCTION \$ 10,000.00

<input type="checkbox"/> LOW VOLTAGE
TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature]
SIGNATURE OF LICENSED CONTRACTOR

PO BOX 197 JENSEN BEACH FL 34958
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: DANIEL SHAWNER

TELEPHONE NO: 335-4531 FAX NO: 679-0103

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: CA058715

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

Handwritten scribbles and initials.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 9807

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: SHAWN LAWLESS

CONSTRUCTION ADDRESS: 12 MANDALAY RD

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: PROVIDE ELECTRICAL FOR REMODEL

VALUE OF CONSTRUCTION \$ 20,000

<input type="checkbox"/> LOW VOLTAGE
TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature] SIGNATURE OF LICENSED CONTRACTOR
P.O. BOX 80254 PSL, FL 34988 ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: KINDEL ELECTRIC INC

TELEPHONE NO: 344-9155 FAX NO: 344-9158 PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: ER 13012551

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
10/06/11

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER
Webster Insurance Agency
916 S. Wickham Road
West Melbourne, FL 32904-
E. O. Webster III P.A.

321-724-0022
321-724-2063

CONTACT NAME:
PHONE (A/C, No, Ext): FAX (A/C, No):
E-MAIL ADDRESS:

INSURED
M.J.T.I Enterprises, Inc.
dba J&T Insulation
495 Martin Rd SE
Palm Bay, FL 32909

INSURER(S) AFFORDING COVERAGE		NAIC #
INSURER A:	FCCI INSURANCE GROUP	10178
INSURER B:		
INSURER C:		
INSURER D:		
INSURER E:		
INSURER F:		

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR I WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Blanket <input type="checkbox"/> Contractual GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC		GL0012189	09/01/11	09/01/12	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS		CA0019057	09/01/11	09/01/12	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N/A	001-WC11A-67244	09/01/11	09/01/12	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CERTIFICATE HOLDER

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE
Ray O. Webster

Qualifier Certification Information

CDPR2307 - Qualifier Certification Information

CERT NBR: 15832 QUALIFIER: 14954 COHEN, JEREMIAH

CLASS CODE: 6050 INSULATION CONTRACTOR

STATE NBR: COUNTY COMP CARD15832

<u>STATE EXP</u>	<u>LIAB EXP</u>	<u>WC EXP</u>	<u>ORIG ISSD</u>	<u>RENEWAL</u>	<u>EXPIRES</u>
	9/1/2012	9/1/2012	4/26/2006		7/31/2012

DBA: J & T INSULATION

WC EXEMPT: N

OL EXEMPT: N

ADDRESS: 495 MARTIN RD SE

CITY: PALM BAY FL 32909

PHONE: (321)953-1343 FAX: (321)953-1344

NOTE: This competency card, issued by the Indian River County/City of Vero Beach Building Department, authorizes work for the class code stated, for the unincorporated areas of Indian River County and the City of Vero Beach only. It does not authorize work for the City of Sebastian, Indian River Shores, Town of Orchld, or the City of Fellsmere.

It is the contractor's responsibility to maintain this card in a current status by providing Certificates of Insurance, current address and telephone number information, and renewing this card annually as required.

Indian River County Contractor Licensing

1801 27th Street, Vero Beach, FL 32960
(772) 567-8000 Ext. 1800

INSULATION CONTRACTOR

Cert Nbr: 15832 Exp: 7/31/2012 Status: ACTIVE

State Nbr: Exp:


J & T INSULATION

COHEN, JEREMIAH

495 MARTIN RD SE

PALM BAY FL 32909

Signed: _____



2011 - 2012

BREVARD COUNTY BUSINESS TAX RECEIPT
SUBJECT TO COUNTY ZONING RESTRICTIONS
TAX RECEIPT SHOULD BE DISPLAYED ON PREMISES

ACCOUNT NO.
200450870

THE PERSON(S), OR ENTITY BELOW:

BUSINESS PERIOD: **OCTOBER 1, 2011 - SEPTEMBER 30, 2012**

J & T INSULATION

EXPIRES: **SEPTEMBER 30, 2012**

**495 MARTIN RD SE
PALM BAY FL 32909**

ISSUED PURSUANT AND SUBJECT TO FLORIDA STATUTES AND BREVARD COUNTY CODE ISSUANCE DOES NOT CERTIFY COMPLIANCE WITH ZONING OR OTHER LAWS. BUSINESS TAX RECEIPT IS SUBJECT TO REVOCATION FOR ZONING VIOLATIONS, AND / OR FAILURE TO MAINTAIN REGULATORY PRE-REQUISITES AS REQUIRED FOR BUSINESS CLASSIFICATION(S), OR SUBSEQUENT ACTIVITIES. NOTIFY TAX COLLECTOR UPON CLOSING OF BUSINESS. A PERMIT IS REQUIRED TO ADVERTISE (Including with signage) "GOING OUT OF BUSINESS".

LOCATION:

**LISA CULLEN, CFC, Brevard County Tax Collector
P O Box 2500, Titusville, Florida 32781-2500
(321) 264-6910**

**495 SE MARTIN RD
CITY OF PALM BAY, FL 32909**

**UPON A CHANGE OF OWNERSHIP OR LOCATION,
BUSINESS TAX RECEIPT SHOULD BE TRANSFERRED WITHIN 30 DAYS.**

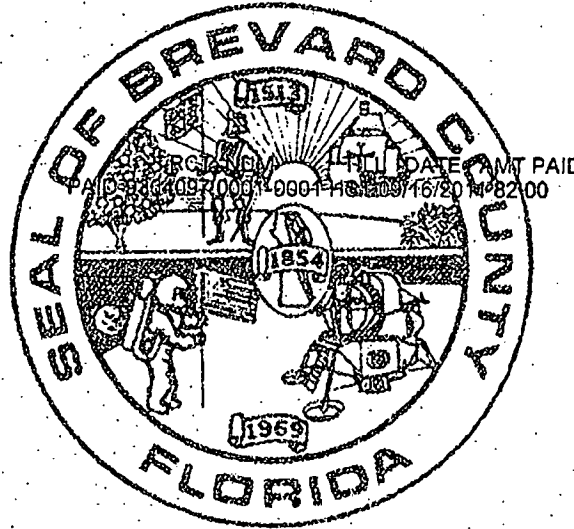
OWNED BY:

M J T I ENTERPRISES INC.

BUSINESS CLASSIFICATIONS, DISCLAIMERS, AND RELATED FEES:

EXEMPTIONS: **NON EXEMPT**

	PENALTY:	
000301	UNREGULATED SUB-CONTRACTOR	\$.00
300375	INSULATION CONTRACTOR	
300430	MISC. SPECIALTY SUB-CONTR.	
300560	SIDING & SOFFITT SUB-CONTR.	
590501	HAZ WASTE GEN. SURCHARGE	
820005	2011 - 2012 RECEIPT AMT	\$37.00
	2012 HAZ WASTE 45	\$45.00



BRANCH OFFICES:

**Merritt Island Office, 1450 N. Courtenay Pkwy, Merritt Island, FL 32953
Melbourne Office, 1515 Sarno Road, Melbourne, FL 32935
Palm Bay Office, 450 Cogan Dr. SE, Palm Bay, FL 32909**

MAIN OFFICE:

400 South St., 6th Floor, Titusville, FL 32780 (321) 264-6910, (321) 633-2199, ext. 46910



Site Provided by...
 governmax.com 1.13

Business Tax Renewal

print ◀ ◁ ▷ ▶

Account Number
 1 of 1

Last Update: 2/10/2012 1:29:50 PM EST

Details

Business Tax Renewal

» Print View
 Tax Payment

Business Tax Renewal

Account Number	New Business Date	Business Tax Year				
200450870	2/4/2004	2012				
Business Address J & T INSULATION 495 SE MARTIN RD City of Palm Bay FL 32909		Mailing Address M J T I ENTERPRISES INC 495 MARTIN RD SE PALM BAY FL 32909				
Units	2	Status **ACTIVE**				
Business Type UNREGULATED SUB-CONTRACTOR INSULATION CONTRACTOR MISC. SPECIALTY SUB-CONTR. SIDING & SOFFITT SUB-CONTR. HAZ WASTE GEN. SURCHARGE		<table border="1"> <tr> <td>Business Tax</td> <td>\$37.00</td> </tr> <tr> <td>Other Fee</td> <td>\$45.00</td> </tr> </table>	Business Tax	\$37.00	Other Fee	\$45.00
Business Tax	\$37.00					
Other Fee	\$45.00					
Date Paid	Receipt	Amount Paid				
9/16/2011	9364097.0001	\$82.00				

Searches

Business Type
Account Number
 Property Address
 Business Name
 Owner Name

Site Functions

Welcome
 Tax Search
Local Business Tax

County Login
 Contact Us

[Print](#) | << First < Previous Next > Last >>

Legal Disclaimer / Privacy Statement



2011 - 2012

BREVARD COUNTY BUSINESS TAX RECEIPT
SUBJECT TO COUNTY ZONING RESTRICTIONS
TAX RECEIPT SHOULD BE DISPLAYED ON PREMISES

ACCOUNT NO.
200450870

THE PERSON(S), OR ENTITY BELOW:

BUSINESS PERIOD: **OCTOBER 1, 2011 - SEPTEMBER 30, 2012**

EXPIRES: **SEPTEMBER 30, 2012**

J & T INSULATION

495 MARTIN RD SE
PALM BAY FL 32909

ISSUED PURSUANT AND SUBJECT TO FLORIDA STATUTES AND BREVARD COUNTY CODE ISSUANCE
DOES NOT CERTIFY COMPLIANCE WITH ZONING OR OTHER LAWS.
BUSINESS TAX RECEIPT IS SUBJECT TO REVOCATION FOR ZONING VIOLATIONS, AND / OR FAILURE
TO MAINTAIN REGULATORY PRE-REQUISITES AS REQUIRED FOR BUSINESS CLASSIFICATION(S), OR
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CITY OF PALM BAY, FL 32909

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P O Box 2500, Titusville, Florida 32781-2500
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OWNED BY:

M J T I ENTERPRISES INC

BUSINESS CLASSIFICATIONS, DISCLAIMERS, AND RELATED FEES:

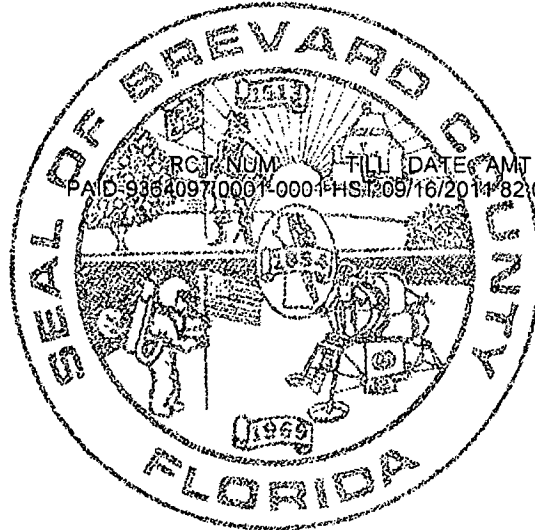
EXEMPTIONS: NON EXEMPT

PENALTY:

\$ 0.00

000301	UNREGULATED SUB-CONTRACTOR
300375	INSULATION CONTRACTOR
300430	MISC. SPECIALTY SUB-CONTR.
300560	SIDING & SOFFITT SUB-CONTR.
590501	HAZ WASTE GEN. SURCHARGE
820005	2011 - 2012 RECEIPT AMT
	2012 HAZ WASTE 45

\$37.00
\$45.00



BRANCH OFFICES: Merritt Island Office, 1450 N. Courtenay Pkwy, Merritt Island, FL 32953
 Melbourne Office, 1515 Sarno Road, Melbourne, FL 32935
 Palm Bay Office, 450 Cogan Dr. SE, Palm Bay, FL 32909

MAIN OFFICE: 400 South St., 6th Floor, Titusville, FL 32780 (321) 264-6910, (321) 633-2199, ext. 46910

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

Coastal Screen
Rail

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 9807 - Remod #

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Shawn + Caroline Lawless

CONSTRUCTION ADDRESS: 12 Mandalay Rd

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS
- ROOFING

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: ~~Pool Screen Enclosure~~ Balcony Railings

VALUE OF CONSTRUCTION \$ ~~#,000~~ \$3,500

<input type="checkbox"/> LOW VOLTAGE
TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

R. Scott Buchanan
SIGNATURE OF LICENSED CONTRACTOR

120 Southridge Rd Delray Beach, FL 33444
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: R. SCOTT BUCHANAN

TELEPHONE NO: 561-819-0308 FAX NO: 561-819-0309

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: CGC 024734

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

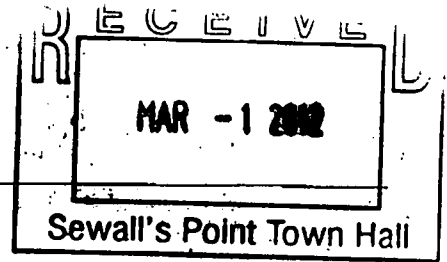
OWNER'S FULL NAME AS STATED ON DEED: Shawn + Caroline Lawless

PARCEL CONTROL #: 13-38-41-004-000-00060-027797

SUBDIVISION: Mandalay / Heritaxe P 120200 LOT: 6 BLK: _____ PHASE: _____

SITE ADDRESS: 12 Mandalay Rd. 344/71

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



Martin County Health Department

FOR FINAL APPROVAL TO BUILDING DEPARTMENT:

MARTIN COUNTY: FAX 419-6934, PHONE 288-5489

CITY OF STUART: Fax 288-5388 Phone 288-5326

JUPITER ISLAND: Fax 545-0188 Phone 545-0150

SEWALLS POINT: Fax 220-4765 Phone 2872455

FROM: Duane O'Garra

DATE: 03/01/2012

SEPTIC SYSTEMS (SS)

LIMITED USE PUBLIC WATER SYSTEM (57)

HEALTH DEPT. PERMIT #

BUILDING DEPT. PERMIT #

LOCATION

43-SS-135214

9807

12 MANDALAY RD
STUART

43-57-

43-SS-

43-57-

43-SS-

43-57-

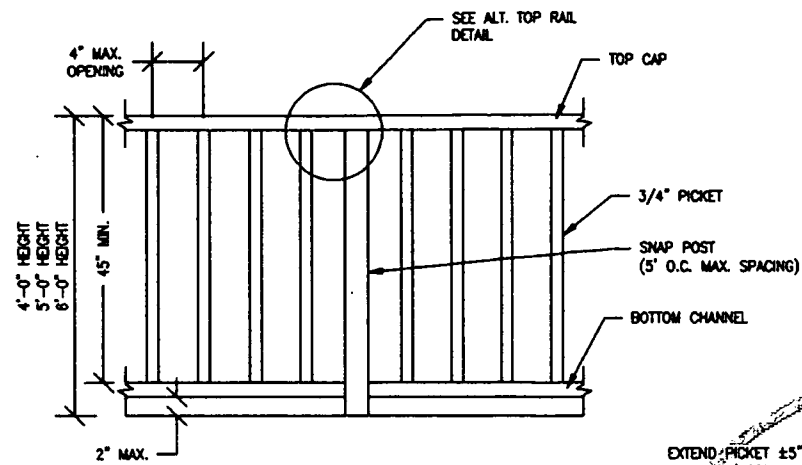
43-SS-

43-57-

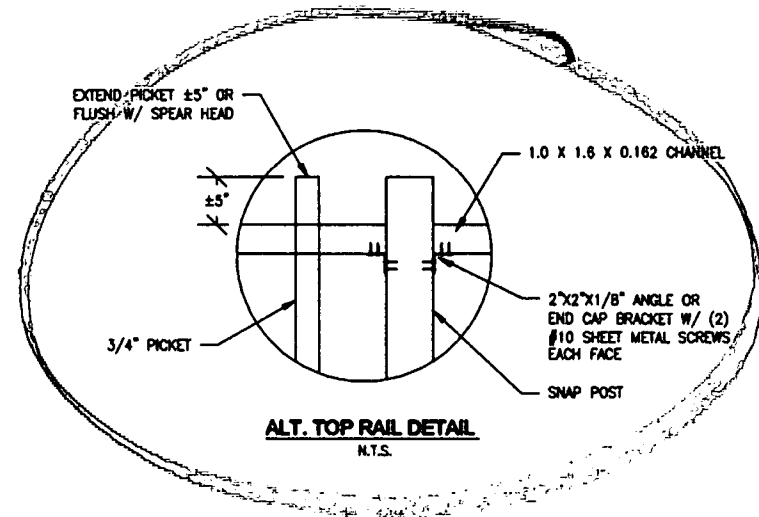
43-SS-

43-57-

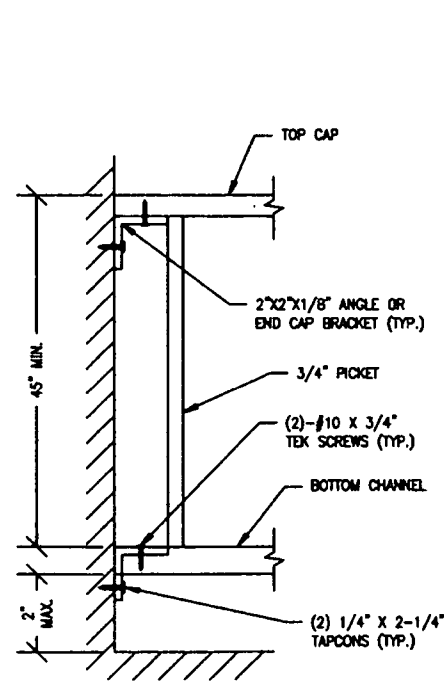
j:environmental health/ostds/forms



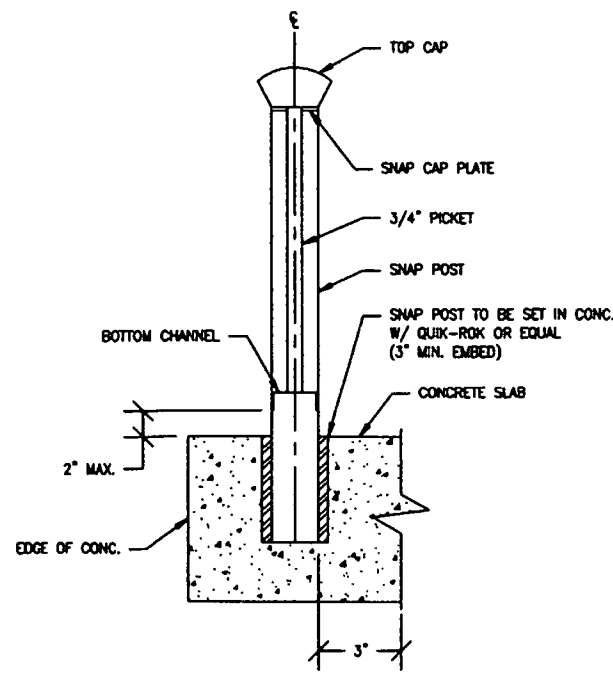
TYPICAL FENCE SECTION
N.T.S.



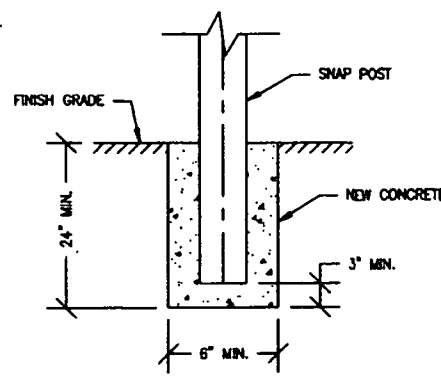
ALT. TOP RAIL DETAIL
N.T.S.



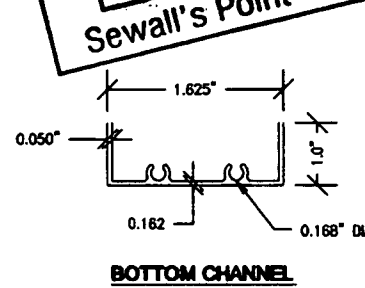
WALL MOUNTING DETAIL
N.T.S.



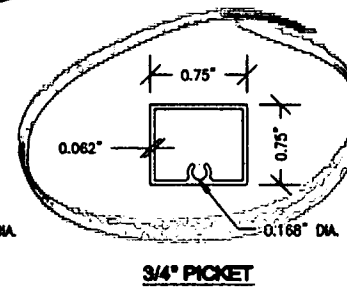
IN DECK DETAIL
N.T.S.



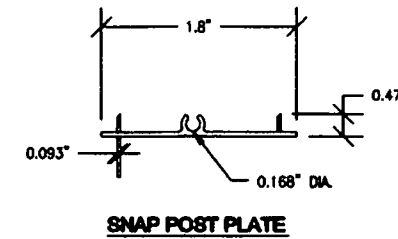
IN GROUND DETAIL
N.T.S.



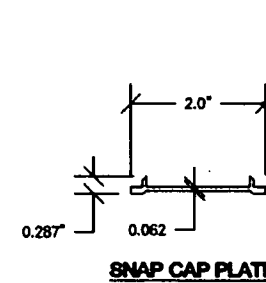
BOTTOM CHANNEL



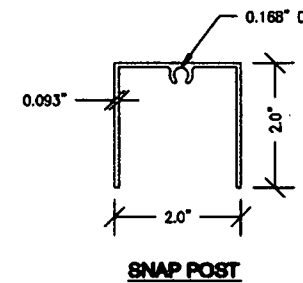
3/4\"/>



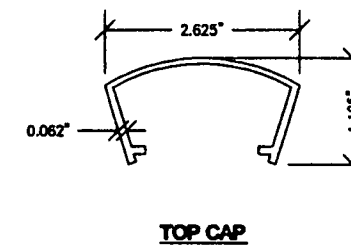
SNAP POST PLATE



SNAP CAP PLATE

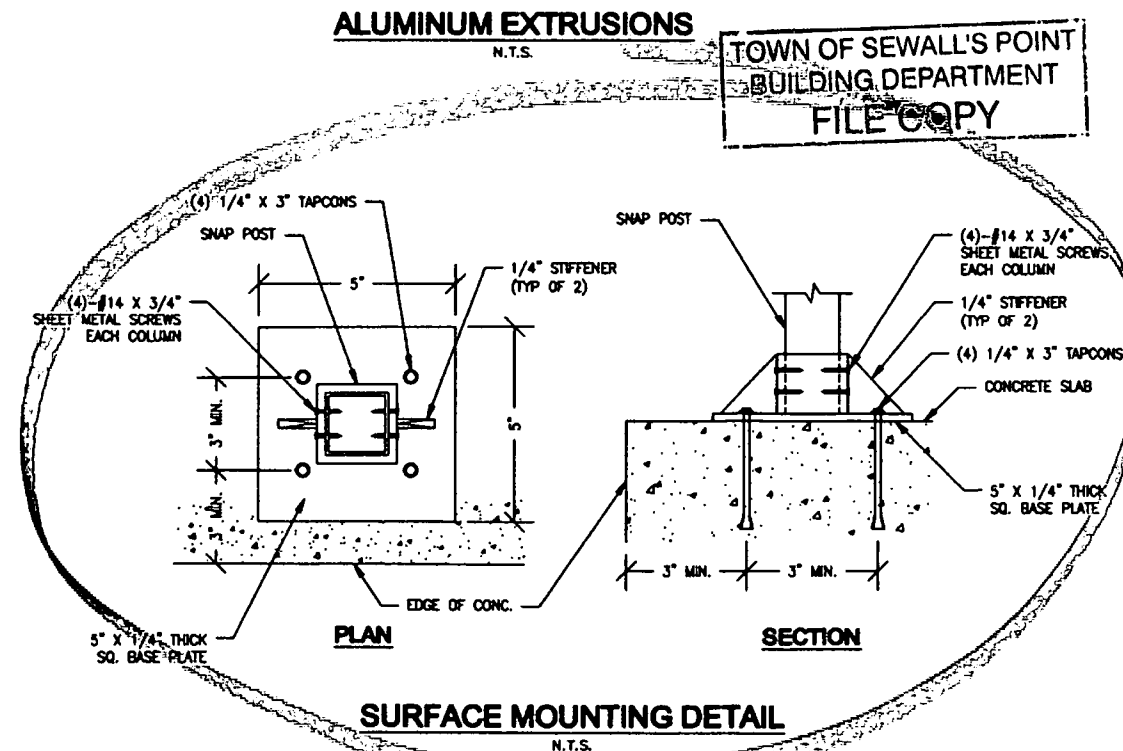


SNAP POST



TOP CAP

ALUMINUM EXTRUSIONS
N.T.S.



PLAN

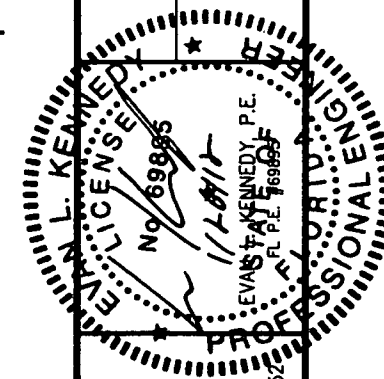
SECTION

SURFACE MOUNTING DETAIL
N.T.S.

*PN 9807
12 Mandaley
Railing detail*

RECEIVED
JAN 31 2012
Sewall's Point Town Hall

- GENERAL NOTES:**
- DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2007 EDITION WITH 2009 SUPPLEMENTS, THE 2010 ALUMINUM DESIGN MANUAL, AND ASCE 7-05.
 - ALUMINUM FENCE IS DESIGNED BASED ON 140 MPH WIND SPEED, EXPOSURE C.
 - CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AFTER 28 DAYS.
 - 6061-T6 ALUMINUM ALLOY SHALL BE USED FOR ALL ALUMINUM EXTRUSIONS, UNLESS NOTED OTHERWISE.
 - #10 X 1-1/2" METAL SCREWS SHALL BE USED FOR ALL CONNECTIONS, UNLESS NOTED OTHERWISE.
 - REFER TO SITE PLAN FOR PROPOSED FENCE LOCATION.
 - WHEN FENCE IS TO BE USED AS A POOL BARRIER, ACCESS GATES SHALL BE EQUIPPED WITH A SELF LATCHING LOCKING MECHANISM AND OPEN AWAY FROM THE POOL. DISTANCE BETWEEN GATE AND FENCE WITH GATE CLOSED SHALL BE LESS THAN 1/2" WITHIN 18" OF THE LOCKING MECHANISM. THE LOCKING MECHANISM SHALL BE LOCATED ON THE POOL SIDE OF THE GATE WHEN IT IS WITHIN 54" OF THE BOTTOM OF THE GATE.



EVAN L. KENNEDY, P.E.

5047 HEATHERHILL LANE, SUITE 4
BOCA RATON, FL 33486

EMAIL: evankennedy1@gmail.com PH: (561) 573-1679

FAX: (954) 978-8457

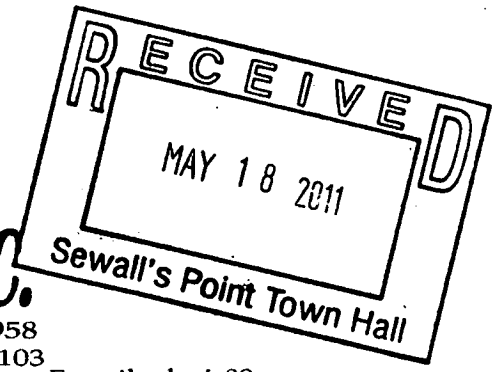
Coastal Screen & Rail LLC
120 Southridge Rd.
Delray Beach, FL 33444

ALUMINUM FENCE
PLANS

DATE: 1/26/12
DSGN: E. KENNEDY
DRWN: M. LISENA
CHKD: E. KENNEDY

DS AIR CONDITIONING INC.

P.O. Box 197 • Jensen Beach, FL 34958
Office: 772-335-4531 • Fax: 772-679-0103



E-mail: dsair09@hotmail.com ~ Website: www.dsairconditioning.com

PROPOSAL & AGREEMENT

Date: Dec. 20, 2010

5284

Customer Name:	Shawn Lawless	Phone:	407-230-5284
Address:	12 Mandalay	Job Address::	
City, State, Zip:	Sewalls Point, Stuart	Work Phone:	

We will furnish, install and service the equipment listed below at the price, terms and conditions outlined on all pages of this proposal.

EQUIPMENT SPECIFICATIONS

System	Make	Model Number	Seer	BTUH Cooling	BTUH Heat
#1,2,3	TRANE XL20i	4TTZ0024A1,4TEE3C03A1,TCONT803	20	25.8	5 KW

Installation shall include: **THE COMPLETE INSTALLATION OF 3 CENTRAL A/C & HEAT SYSTEMS. 1 VERTICAL INSTALL, AND 2 HORIZONTAL INSTALLS. NEW TOUCHSCREEN THERMOSTATS, HURRICANE TIE DOWNS, CONDENSER SLABS, EMERGENCY FLOAT SWITCHES, EMERGENCY DRAIN PANS, 2 NEW COPPER LINE SETS WITH LOW VOLTAGE, NEW SUPPLY AND RETURN PLENUMS, UP-SIZE RETURN AIR GRILLES, & COMPLETE DUCT SANITIZATION.**

<input checked="" type="checkbox"/>	New low voltage wiring	<input checked="" type="checkbox"/>	Make air tight plenum transition
<input checked="" type="checkbox"/>	New reinforced equipment pad	<input checked="" type="checkbox"/>	New dehumidistat
<input checked="" type="checkbox"/>	New vibration isolation pads		New supply diffuser
<input checked="" type="checkbox"/>	New properly sized refrigerant lines		New duct run from ____ to ____
<input checked="" type="checkbox"/>	Charge to manufacture's specs	<input checked="" type="checkbox"/>	New return air filter grill
<input checked="" type="checkbox"/>	Insulate refrigerant suction lines	<input checked="" type="checkbox"/>	Clean work area to customer's satisfaction
<input checked="" type="checkbox"/>	Install refrigerant drier(s)		New condensate drain system
<input checked="" type="checkbox"/>	Evacuate refrigerant system	<input checked="" type="checkbox"/>	Install aux. condensate drain pan
<input checked="" type="checkbox"/>	Remove existing equipment from premises		New high efficiency air filter
<input checked="" type="checkbox"/>	Install new Thermostat	<input checked="" type="checkbox"/>	10 year parts warranty
<input checked="" type="checkbox"/>	Complete system start up	<input checked="" type="checkbox"/>	1 year labor warranty
<input checked="" type="checkbox"/>	Meet all code requirements	<input checked="" type="checkbox"/>	12 year compressor warranty
	X = yes or included		_____ service agreement

Installed Price	\$15,500.00	FPL Rebate	-\$2,265.00	Total Due	\$13,235.00
-----------------	-------------	------------	-------------	-----------	-------------

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

6-23-11

Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9815	Dillard 8 Emarita Gulfstream Alum	Final Shutters	PASS	CLOSE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9817	Y. G. Davis	Pool	Fail	Not Pass
pm	12 Mandalay OB		Fail	Not Pass INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
tree	McCarthy 15 S. River Rd	Tree	OK	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **7-8-11** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
1307	1000 ...	HOOD	OK	
11PM	2 ... OB			INSPECTOR <i>90</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	49 33PTW	overgrown	/	
	52 11	n	/	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	Taroni Judy Ridgeland + Slaves 800-237-8108	Ridge?	?	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed **Thur** Fri **7-14-11** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9668	STEVENSON			
9:00	1 LAGOON ISL CT	WINDOW	Pass	Cross
	FLR WINDOW & DOOR	FINAL		INSPECTOR <i>[Signature]</i>
9668	LAUNDRY	TEMP PERM	Pass	INSPECTOR PERM
	172 WINDYVALE		Pass	
	O/B			INSPECTOR <i>[Signature]</i>
9822	AGUE	GARAGE		
10:00	22 N. SPYRD	DOOR FINAL	Pass	Cross
	D & D GARAGE			INSPECTOR <i>[Signature]</i>
				INSPECTOR
* #7	ORRILL	WEIRS		
				INSPECTOR
				INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **7-15-11** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
900	Lawson	slab		Corrosion Pressure
10AM	OB			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9747	Schwartz	slab zone II		
9AM	70 NSPR Dinkwood		PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	LANTANA OPPOSITE CORNER			
	19			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon

Tue

Wed

Thur

Fri

7-19-11 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9009	[REDACTED]	[REDACTED]		
1ST	4 Kildglen Dr Greg Maudo		CANCEL	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9807	[REDACTED]	[REDACTED]		
	[REDACTED]	[REDACTED]		
	O/B			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-22-11 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9836	Sharfi 73 N Sewalls St TC Fence	Fence	Pass	Close INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9807	12 Malibu	Plumbing	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
4828	Pare 61 N River Rd Cusew	UG Plumbing	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

7-25-11

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10 AM	OB			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	Gaeford 8 S Sewalls	Tree	OK	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	Whiting 7 Slidgview	Tree	OK	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	FLORIDA EXOTIC LANDSCAPE PALM CITY			RESPONSIBLE FOR SPILL ON EMARITA RD
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **8-3-11** Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9801	[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
3PM	OB	[REDACTED]	[REDACTED]	INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9821	Oliveri Weder 21 Palm Rd Overhead Door	Final Garage Door	PASS	Close INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9753	Bellingham 2 Via de Christo Masterpiece	Pool retaining wall Summer kitchen	PASS SLAB PASS	INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9808	Benihana 3602 Se Ocean ADT	Final Alarm	No access	CONTACT ADT. TO MEET ON JOB [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	Neal 173 S Sewalls	Tree	OK	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 8-10-11 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9153	Bellingham 2 Via de Cristo Masterpiece	Footing (site)	Fail	RE-IN Survey REQUIRES INSPECTOR [Signature]
9808	Benihana 3502 St. Ocean ADT	Final Alarm	Pass	CLOSE INSPECTOR [Signature]
9807	Loulex 2 Mandalay O/B	[Obscured]	[Obscured]	[Obscured] INSPECTOR [Signature]
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR



DEREK SANDERS & ASSOCIATES

AUGUST 9, 2011

TOWN OF SEWALLS POINT
JOHN R. ADAMS, C.B.O.
BUILDING OFFICIAL

RE:
LAWLESS RESIDENCE
SHAWN & CAROLINE LAWLESS
12 MANDELAY ROAD
SEWALLS POINT, FLORIDA

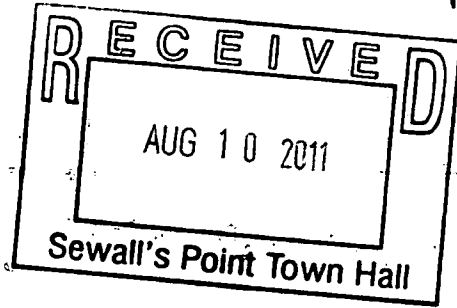
MR. ADAMS,

ADDITIONAL ATTACHMENT FOR THE EXISTING DOUBLE 2 X 8 P.T. WINDOW
BUCKS SHALL BE AS FOLLOWS:

1/4" X 5" TAPCONS WITHIN 6" OF EACH CORNER AND 12" O.C. STAGGERED
MINIMUM TAPCON EMBEDMENT SHALL BE 1 1/4" INTO CONCRETE/MASONRY

REGARDS,
DEREK SANDERS

*Go-9 8-10-11
FILE COPY
PN 9807*



ENGINEERING OUTSIDE THE BOX

THE SHAFFER GROUP INC.

7677 SW Ellipse Way, Stuart, Florida 34997-7246
 Phone: (772) 220-4990 Fax: (772) 220-1795
 E-Mail mail@theshaffergroup.com
 FREDRICK D. SHAFFER, FL. P.E. # 26694
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NOTES

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2440 S.E. FEDERAL HIGHWAY
 EXECUTIVE SUITE 706
 STUART, FLORIDA 34994
 (P) 772-286-1331 (C) 772-215-1953
 e-mail : dsaplans@gmail.com

[Signature]
8/10/11

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed **Thur** Fri **8-18-11** Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9753	Bellingham 2 Via de Cristo Masterpiece	The four columns	Pass	INSPECTOR <i>[Signature]</i>
9663	Sharfi 73 N Sewalls Stuart Roofing	Final Roof	Pass	Close INSPECTOR <i>[Signature]</i>
7807	Lowery	Concrete	Pass	Not Retired
PM	2 Alameda Way OB	Concrete	Pass	Not Retired INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **8-24-11** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9861
10AM
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	1015 River Rd	Tree	OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9863	Walter Kuben	FINAL		
	7 N. River	Garage Door	PASS	CLOSE
	D+D Garage			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **8-26-11** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9853	Duncan	Window		
12	19 Periwinkle	Attachment	PASS	Close
	Home Depot	FINAL		
				INSPECTOR <i>[Signature]</i>
9859	2011 S.
PM	511 ...	Attachment
	OB			INSPECTOR <i>[Signature]</i>
9747	SEAWARDZ	TIE BEAM		
	70 N 8th Rd		PASS	INSPECTOR <i>[Signature]</i>
	DRIFWOOD			
9864	KB ASSOC			
	3726 8c Ocean	FINAL A/C	PASS	Close
	AIR CON			
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

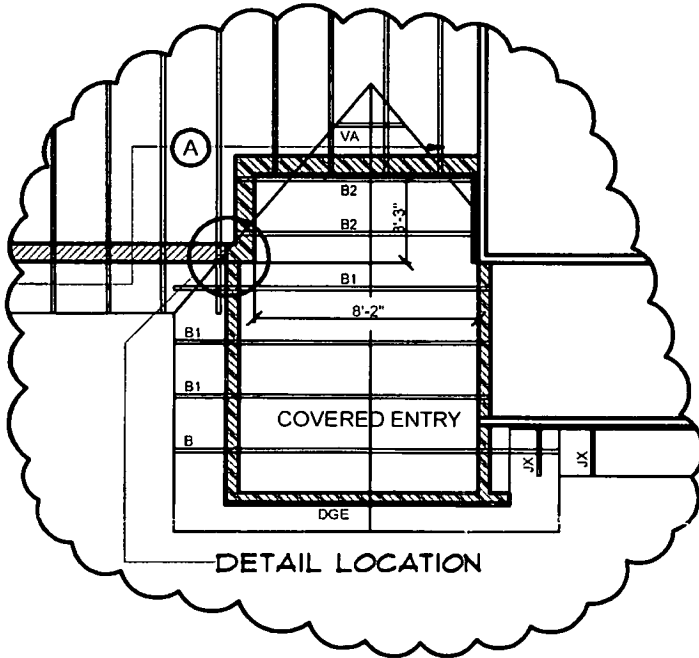
Fri

10-4-11

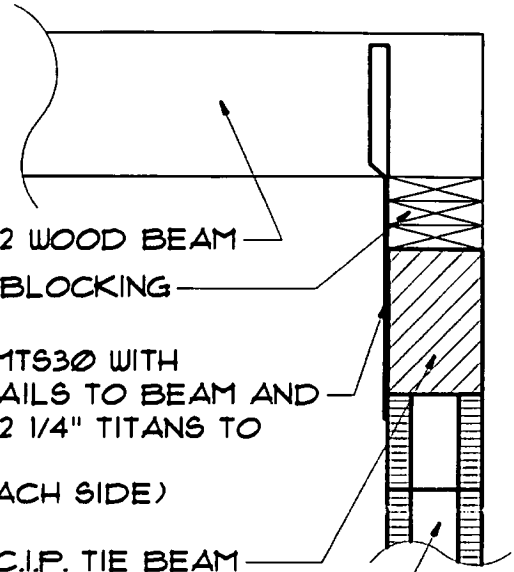
Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9887	Giacchino	rough electric	Pass	
9AM	11 Rio Vista Dr Glenmark	plumbing BATHROOM REMODEL	Pass	INSPECTOR <i>JA</i>
9807	Rawless	all trades	Pass	INSPECTOR <i>JA</i>
1-1-39 4PM	LA Mandolada	rough electric plumbing framing	Pass	INSULATE INSPECTOR <i>JA</i>
9883	Sapp	Final AC	Pass	Close INSPECTOR <i>JA</i>
AM	6 Miramar Knauss & Crane	(pull down attic)		
9153	Bellingham	all trades	Pass	
PM	2 Via de Cristo Masterpiece	R. ETC. Reframing R. AC & FRAMING		INSPECTOR <i>JA</i>
8907	GIACCHINO	FENCE	Pass	Close INSPECTOR <i>JA</i>
	11 Rio Vista o/p	FINAL		
				INSPECTOR
				INSPECTOR

PN 9807



DBL. 2 X 12 WOOD BEAM
 2 X 8 P.T. BLOCKING
 SIMPSON MT630 WITH
 14 - 10d NAILS TO BEAM AND
 6 - 1/4" x 2 1/4" TITANS TO
 MASONRY
 (STRAP EACH SIDE)
 EXISTING C.I.P. TIE BEAM
 EXISTING CMU WALL



LOCATION

N.T.S.

DETAIL

Scale : 3/4" = 1'-0"

[Handwritten signature]
10/10/11

RECEIVED
 OCT 2 2011
 Sewall's Point Town Hall

FILE COPY
10-12-11



THE SHAFFER GROUP INC.

2440 SE Federal Highway, Suite 110, Stuart Florida 34994
 Phone: (772) 220-4990 Fax: (772) 220-1795
 E-Mail mail@theshaffergroup.com
 FREDRICK D. SHAFFER, FL. P.E. # 26694
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TOWN OF SEWALLS POINT
 JOHN R. ADAMS, C.B.O.
 BUILDING OFFICIAL

RE:
 LAWLESS RESIDENCE
 SHAWN & CAROLINE LAWLESS
 12 MANDELAY ROAD
 SEWALLS POINT, FLORIDA

NOTES

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TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-12-11 Page ___ of ___

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9807	Sean Lawless	insulation	after	
	12 Mandole	inspection		
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-28-11 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9807	Lawless	Plumbing	Pass	
	12 Mandela	11-30-11	Pass	
	Lawless O/B	Service Change		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
4915	Rungen	Siding		
	6 Delano	Final	Pass	Close
	Rungen O/B			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 1/14/11 Page 11 of 11

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9807	Lawless	Roofing		
1050	12 N. Main St. Lawley	inspection	PASS	
	Lawless			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9901	19 CASTLE HILL S. CONWAY	FRAMING	PASS	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
999	Cane Hill 4 Middle Road James Thomas	Siding/Final	PASS	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9754	Hurd 34 No S P R Duncan Group	Window/door siding WALL DRY IN	PASS PASS	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9772	Bellingham 2 Via DeChristo Mam Flamingo Pools	Electric Final Barrier	PASS PASS	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

 Date of Inspection Mon

 Tue

 Wed

 Thur

 Fri

5-12 Page 2 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9965	Dicker 1165 S Sewalls On Shore	Sheathing	FAIL	45 ⁰⁰ FEE NOT READY INSPECTOR
9884	Creeden 176 S Sewalls MJK Cont	Footing	Pass	 INSPECTOR <i>AK</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9307	Lowder	dry-in/panel	Pass	
	15 Mound		Pass	
	OB			INSPECTOR <i>AK</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Mon
 Tue
 Wed
 Thur
 Fri
 3-2-12 Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9916	Murphy	Final		
<u>9AM</u>	Heron's Nest a Garage Door	Garage Door	Pass	Close INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9809	12 Mandula Way	Final	Pass	NOT UNDERWAY
1PM	OB			OR TO FORNISH INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10006	SEAWARTZ 70 N. Sewalls Pt Rd	Pool Piping	Pass	INSPECTOR <i>A</i>
	Spiller Pools			
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8788	Farrut	Final		
	1 Island Rd	Sewall	Pass	Close
	TC Parge			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	137 Slemmer Rd	Tree		
Tree	12 Heron's Nest	Trees		<i>Mona</i>
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-14-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10097	Buro	UG Plumbing	PASS	
10097	101 Henry Sewall GM Const	UG Electric		
				INSPECTOR <i>JA</i>
9801	Lawler	Building		NEED GRASPABLE
1PM	12 Mandalay OB	Building		RAIL @ FRONT STEPS
				INSPECTOR <i>JA</i>
10088	Giachino 11 Rio Vista DR Glenmark	roof sheathing	PASS	
				INSPECTOR <i>JA</i>
9884	Creeden 176 55th RD MLK CONST	SLAB	PASS	
				INSPECTOR <i>JA</i>
10123	Murphy 6 Heron's Nest OnShore Roofing	sheathing	APPROPRIATE	
				INSPECTOR <i>JA</i>
10103	Buro 101 H. Sewall Way Apex Pavers	SLAB	PASS	
				INSPECTOR <i>JA</i>
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

7-26-12 Page 2 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9801	Lawrence	Remed		
	LaFontaine		Pass	Issue
	OB			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR



TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



CERTIFICATE OF: OCCUPANCY COMPLETION

- Single Family Residence Other _____
 Temporary: Expiration Date _____
 Partial (Area description) _____

BUILDING PERMIT NO: _____ DATE OF ISSUE: _____
 OWNER(S): _____ PROPERTY ADDRESS: _____
 LEGAL DESCRIPTION: LOT _____ BLOCK _____ SUBDIVISION _____
 GENERAL CONTRACTOR: _____ LIC/CERT NO: _____
 ARCHITECT OR ENGINEER: _____ LIC/CERT NO: _____
 CODE EDITION: _____ CONST. TYPE: _____ USE: _____ OCCUPANCY: _____
 OCCUPANT LOAD: _____ SPRINKLERS REQUIRED: _____ SPRINKLERS USED: _____

INSPECTION RECORDS

Inspection Type	Date Approved	Inspection Type	Date Approved
UNDERGROUND PLUMBING	7-19-11	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	6-29-11	FOOTING	6-29-11 7-8-11
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	8-3-11	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	8-24-11	INSULATION	10-12-11
WINDOW/DOOR BUCKS	8-10-11	LATH	11-4-11
ROOF DRY-IN/METAL (DRY-IN) DRY-IN PORCH DECK PL	8-25-11	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	10-4-11	ELECTRICAL ROUGH-IN	10-4-11
MECHANICAL ROUGH-IN	10-4-11	GAS ROUGH-IN	_____
PORCH DECK SHEATHING FRAMING	7-22-11, 10-4-11	METER FINAL	10-28-11
FINAL PLUMBING	7-26-12	FINAL ELECTRICAL	7-26-12
FINAL MECHANICAL	7-26-12	FINAL GAS	_____
FINAL ROOF	7-26-12	BUILDING FINAL	7-26-12

The described structure (or portion thereof) has been inspected for compliance with the requirements of this code for occupancy and division of occupancy and the use for which the proposed occupancy is classified.

In accordance with the requirements of the Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this _____ day of _____, 20____.

John R. Adams, CBO
 Building Official, Town of Sewall's Point

10003

POOL



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10003	DATE ISSUED:	FEBRUARY 13, 2012
SCOPE OF WORK:	POOL & PAVER PATIO		
CONTRACTOR:	RD SCHILLER POOLS		
PARCEL CONTROL NUMBER:	133841-004-000-000600	SUBDIVISION	MANDALAY - LOT 6
CONSTRUCTION ADDRESS:	12 MANDALAY RD		
OWNER NAME:	LAWLESS		
QUALIFIER:	R DEAN SCHILLER	CONTACT PHONE NUMBER:	287-0768

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

NOTICE OF COMMENCEMENT
 TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 13-38-41-004-000-00060-0

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
Mandalay Lot 6 or 3447-71

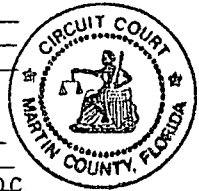
GENERAL DESCRIPTION OF IMPROVEMENT: Swimming pool

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT
 NAME: Shawn Lawless
 ADDRESS: 12 Mandalay Rd, Stuart, FL 34996
 PHONE NUMBER: _____ FAX NUMBER: _____
 INTEREST IN PROPERTY: _____

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: RD Schiller Pools Inc.
 ADDRESS: 3540 SE Dixie Hwy, Stuart, FL 34997
 PHONE NUMBER: 281-0168 FAX NUMBER: 281-9010

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED) STATE OF FLORIDA MARTIN COUNTY
 ADDRESS: _____ THIS IS TO CERTIFY THAT THE
 PHONE NUMBER: _____ FAX NUMBER: _____ FOREGOING 1 PAGE(S) IS A TRUE
 BOND AMOUNT: _____ AND CORRECT COPY OF THE ORIGINAL.
 _____ MARSHA EWING, CLERK



LENDER/MORTGAGE COMPANY: _____
 ADDRESS: _____
 PHONE NUMBER: _____ FAX NUMBER: _____ DATE: 2-16-12

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: _____
 ADDRESS: _____
 PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
 (EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Shawn Lawless
 SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

SIGNATORY'S TITLE/OFFICE _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF Feb, 2012

BY: Shawn Lawless AS Owner FOR _____
 NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN _____ OR PRODUCED IDENTIFICATION X
 TYPE OF IDENTIFICATION PRODUCED In _____

INSTR 2316677 DR BK 02560 PG 2924 RECD 02/16/2012 03:02:19 PM
 Pg 2924 (1 of 1)
 MARSHA EWING MARTIN COUNTY DEPUTY CLERK S P10001X

5102132/01 seairx3
 31013133 #umov
 FLORIDA NOTARY PUBLIC
 KATHLEEN WILSON
 216 SCENE
 FLORIDA NOTARY ASSOCIATION

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: 10003

Date: 2/8/2012

OWNER/TITLEHOLDER NAME: Shawn Lawless

Phone (Day) 407-230-5384 Fax: _____

Job Site Address: 12 Mandalay Rd

City: Stuart State: FL Zip: 34996

Legal Description: Mandalay lot 6

Parcel Control Number: 13-38-41-004-000-00060-0

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC): Swimming pool w/ sandset pavers

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X
Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO X
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 33,000
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AEB _____ X _____
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: R.D. SCHILLER POOLS Phone: 772-287-0768 Fax: 287-9970
Qualifiers name: ROBERT DEAN SCHILLER Street: 3590 SE. DIXIE HWY City: STUART State: FL Zip: 34997

State License Number: CPC 1457983 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: DEAN SCHILLER Phone Number: 772-287-0768

DESIGN PROFESSIONAL: Harvey Kuehnen Fla. License# 32831

Street: 7205 Elyse Cir City: PSI State: FL Zip: 34953 Phone Number: 406-5509

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*:
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement

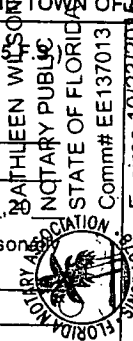
CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

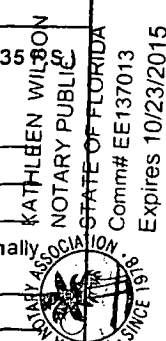
******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S. OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED))
Shawn Lawless
State of Florida, County of: Martin
On This the 8th day of FEB 2012
by Shawn Lawless who is personally known to me or produced _____
As identification: DL
Notary Public
My Commission Expires: 10/23/15



CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)
R.D. Schiller
X
State of Florida, County of: Martin
On This the 8th day of FEB 2012
by R.D. Schiller who is personally known to me or produced X
As identification: _____
Notary Public
My Commission Expires: 10/23/15



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 2/9/2012 1:07:38 PM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-004-000-00060-0	27797	12 MANDALAY RD, STUART	\$269,420	2/4/2012

Owner Information

Owner(Current)	LAWLESS SHAWN & CAROLINE
Owner/Mail Address	12 MANDALAY RD STUART FL 34996
Sale Date	10/21/2010
Document Book/Page	2483 0583
Document No.	2240226
Sale Price	300000

Location/Description

Account #	27797	Map Page No.	SP-06
Tax District	2200	Legal Description	MANDALAY LOT 6 OR 344/71
Parcel Address	12 MANDALAY RD, STUART		
Acres	.5190		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120200 Heritage P, Palmtto Pk,RdgInd,

Assessment Information

Market Land Value	\$165,000
Market Improvement Value	\$104,420
Market Total Value	\$269,420

PERMIT # _____

**RESIDENTIAL SWIMMING POOLS, SPA AND HOT TUB SAFETY ACT
AFFIDAVIT OF REQUIREMENT COMPLIANCE**

I (We) acknowledge that a new swimming pool, spa or hot tub has been constructed or installed at (Print street address) 12 mandalay rd and hereby affirm that one of the following methods has been used to meet the requirements of Chapter 515, Florida Statutes and 2007 Florida Building Code (FBC) effective March 1, 2009. Please check your choice of compliance.

Residential swimming pool safety feature options:

In order to pass final inspection and receive a certificate of completion, a residential swimming pool must meet the following requirements relating to pool safety features:

PLEASE NOTE THAT IF THE ALARM OPTION IS SELECTED, A LETTER OF CERTIFICATION FROM A FLORIDA LICENSED ALARM CONTRACTOR, ARCHITECT, OR ENGINEER STATING FULL COMPLIANCE WITH 2007 FBC R4101.17.1.9 PRIOR TO A FINAL INSPECTION IS REQUIRED. PLEASE INDICATE BY INITIALING THE FOLLOWING:

- (a) The pool/spa must be equipped with an approved safety pool cover (4101.17 exceptions, no other barrier feature required).
- (b) The pool/spa must be isolated from access by an enclosure that meets the pool barrier requirements of section (R4101.17.1 thru R4101.17.3;)
- (c) Where a wall of a dwelling serves as part of the barrier one (1) of the following shall apply: (R4101.17.1.9)
 - 1. All doors and windows providing direct access from the home to the pool shall be equipped with an exit alarm which produces an audible continuous warning when the door and its screen are opened. The alarm shall sound immediately after the door is opened and be capable of being heard **throughout the house during normal household activities**. The alarm shall be equipped with a manual means to temporarily deactivate the alarm for a single opening. Such deactivation shall last no more than 15seconds. The deactivation switch shall be located at least 54 inches above the threshold of the door.

Exceptions:

- a. Screened or protected windows having a bottom sill height of 48 inches or more measured from the interior finished floor at the pool access level.
 - b. Windows facing the pool on floor above the first story.
 - c. Screened or protected pass-through kitchen windows 42 inches or higher with a counter beneath. (R4101.17.1.9 (1))
2. All doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with positive mechanical latching/locking installed a minimum of 54 inches above the threshold, which is approved by the authority having jurisdiction. (R4101.17.1.9 (2))

AFFIDAVIT OF REQUIREMENT COMPLIANCE

I UNDERSTAND THAT NOT HAVING ONE OF THE ABOVE INSTALLED AT THE TIME OF FINAL INSPECTION, OR WHEN THE POOL IS COMPLETED FOR CONTRACT PURPOSES, WILL CONSTITUTE A VIOLATION OF CHAPTER 515, F.S. AND WILL BE CONSIDERED AS COMMITTING A MISDEMEANOR OF THE SECOND DEGREE, PUNISHABLE AS ESTABLISHED IN THE FLORIDA STATUTE.

RD Schiller

CONTRACTOR'S SIGNATURE & DATE

Shawn Lowless

OWNER'S SIGNATURE & DATE

NOTARY AS TO CONTRACTOR:

STATE OF FL

COUNTY OF Martin

ON THIS 8th DAY OF Feb, 12

BEFORE ME PERSONALLY APPEARED:

RD Schiller

TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FORGOING INSTRUMENT AND ACKNOWLEDGED THAT HE / SHE EXECUTED THE SAME AS HIS / HER FREE ACT AND DEED.

SEAL (SIGNED) *[Signature]*



KATHLEEN WILSON
NOTARY PUBLIC
STATE OF FLORIDA
Comm# EE137013
Expires 10/23/2015

NOTARY AS TO OWNER:

STATE OF FL

COUNTY OF Martin

ON THIS 8 DAY OF Feb, 12

BEFORE ME PERSONALLY APPEARED:

Shawn Lowless

TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FORGOING INSTRUMENT AND ACKNOWLEDGED THAT HE / SHE EXECUTED THE SAME AS HIS / HER FREE ACT AND DEED.

SEAL (SIGNED) *[Signature]*



KATHLEEN WILSON
NOTARY PUBLIC
STATE OF FLORIDA
Comm# EE137013
Expires 10/23/2015

THIS FORM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTION.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

THIS FORM MUST BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION

SWIMMING POOL AND SPA SUBCONTRACTORS LIST

Applicant's Name RD Schiller Permit # _____

Mailing Address 3590 SE Dixie Hwy City Stuart State FL Zip 34997

Please provide a subcontractors list for verification. Any changes to this list must be provided prior to final inspection. Using unlicensed contractors or subcontractors may prevent you from being eligible for inspections. For further information, please contact the Town of Sewall's Point Building Department at 772-287-2455.

Please include all Competency Card or State Certification numbers. Do not use occupational license numbers.

CONTRACTOR/TRADE	COMPANY NAME	LICENSE #
<u>CONCRETE POOL DECK</u>	<u>RD Schiller</u>	<u>CPC1457983</u>
<u>DECK FINISH</u>	<u>RD Schiller</u>	<u>CPC1457983</u>
<u>MASTER ELECTRICIAN</u>	<u>RD Schiller AIF Electric</u>	<u>ER13014075</u>
<u>POOL GUNITE</u>	<u>Southern Gunitite</u>	<u>CPC056953</u>
<u>INTERIOR POOL FINISH</u>	<u>RD Schiller</u>	<u>CPC1457983</u>
<u>POOL STEEL</u>	<u>RD Schiller</u>	<u>CPC1457983</u>
<u>BARRIER/ALARM</u>	<u>RD Schiller</u>	<u>CPC1457983</u>

I certify that the above information is accurate and that all work will be performed by eligible competency card holders or State Certified contractors.

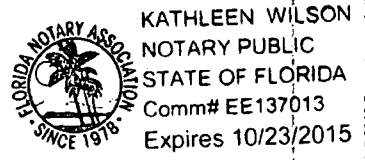
I understand that a complete notarized subcontractors list is required prior to final inspection.

RD Schiller
 Signature of applicant

Sworn to and subscribed before me this 8th day of Feb 2012 by RD Schiller

[Signature]
 Notary Public, State of Florida, County of Martin
 Personally Known Produced Identification

Type of ID Produced: _____

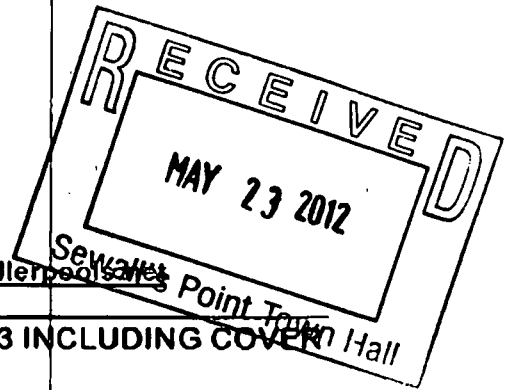




Phone: (772)287-0768

Fax: (772)287-9970

www.schillerpools.com



DATE: 5/23/2012
ATT: JOHN ADAMS
FAX: (772)220-4765
FROM: DEAN SCHILLER
SUBJECT: LAWLESS 12 MANDALAY

PAGES: 3 INCLUDING COVER

URGENT

PLEASE REVIEW

PLEASE CALL

PLEASE COMMENT

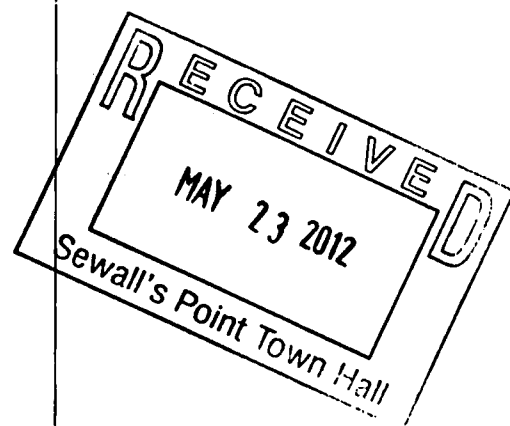
3590 SE DIXIE HIGHWAY STUART, FLORIDA 34997
O: (772) 287-0768 F: (772) 287-9970

May 22, 2012

To: Mrs. Lawless
12 Mandalay Road
Stuart, Florida 34996

From: Dean Schiller
Robert Dean Schiller Pools
3590 Se Dixie Highway
Stuart, Florida 34997

Re: Swimming Pool Construction
Phone conversation on 5/21/2012



Dear Mrs. Lawless,

This letter is being written in response to our phone conversation on May 21, 2012. While we appreciate you finally responding to our certified letter, we are disappointed that no resolution can be made to the issues addressed in our previous correspondence. To recap, we have performed all contracted duties in constructing your swimming pool in a timely and professional manner. We have been prevented from finishing this swimming pool due to:

- Delays in payments of draws per contract
- Delays in communication with the office by the homeowner
- Delays in materials that were to be provided by the homeowner per contract

Please note that soon the permit on this job site will expire and it will be the sole cost of the homeowner to renew the construction permit.

Currently, we cannot perform the labor to install the decking material because the proper underlayment materials (crushed concrete base and screening sand) are not on the job site. Per our contract, we are required to provide the labor only for this phase of the construction. All materials needed for the deck installation are the responsibility of the homeowner. We have made several attempts to contact your husband regarding this issue but he has refused to call back or come into the office to try and resolve this issue. Our phone contact yesterday resulted in you hanging up the phone on me.

These issues are causing unnecessary delays and costs for our company, as well as damaging our reputation. We have been more than reasonable and accessible during this time period, but we can no longer continue in this fashion. Either the materials will be provided and the project finished, or we will have no other choice but to seek legal action and have the contract terminated. After May 31, 2012 this issue will be turned over to our attorneys for litigation. We sincerely hope that this can be avoided and we can instead finish your swimming pool. Please call if you would like to set-up an in person meeting to resolve these and any other issues.

Sincerely,

Dean Schiller
President
Robert Dean Schiller Pools



Phone: (772)287-0768

Fax: (772)287-9970



To: Mr. Shaun Lawless
12 Mandalay Road
Stuart, Florida 34996

Re: Swimming Pool Construction

May 3, 2012

Dear Mr. Lawless,

This letter is being written in order to try and work out an agreement to finish your swimming pool construction at the above listed address. R.D. Schiller pools has made every attempt to finish this project in a timely manner but has been delayed due to circumstances beyond our control. At this point, R.D. Schiller Pools has fulfilled every aspect of our contract in a timely manner. However, this project has been ongoing due to delays in payment of draw schedules per contract, delays in materials that were to be provided by the homeowner per contract, and delays in communication with the office by the homeowner. These delays are preventing the completion of your pool and are causing scheduling problems and monetary losses for our company.

Currently, we are being delayed due to lack of materials (i.e. crushed concrete base and screening sand) to install the pool deck. Per contract, R.D. Schiller pools is to provide labor only for this portion of the contract. The materials are to be provided by the homeowner per contract. Work cannot commence until the proper materials are on site.

Looking forward, we will also need to know a date when the fence/barrier alarms or baby-barrier pool wrap (which meets local code) will be installed. By law, we will need to have this installed and must call for a barrier inspection before any finish plastering of the pool can be done.

As far as communication, we will no longer respond to any text messages. To date, the text messages have been sporadically returned at best and the messages we have received can be interpreted as insulting in nature. We request that all future communication be via phone at our office (772) 287-0768. We would be more than happy to set an appointment where all parties can sit down in person to make a plan going forward.

Mr. Lawless, please understand that we want to build you a beautiful pool and have you happy at the end of this process. We sincerely hope that there are some misunderstandings which can easily be worked out. However, we have fulfilled every aspect of the contract so far and only ask for the same in return. We look forward to hearing from you and finishing your project in a timely fashion.

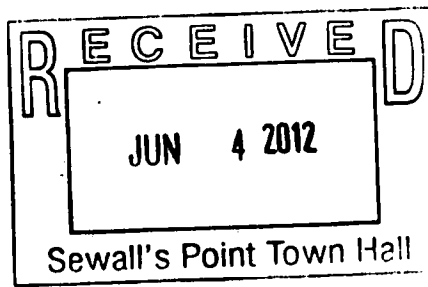
Sincerely,

Dean Schiller
President
Robert Dean Schiller Pools

Office (772) 287-0768

3590 S.E. Dixie Highway Stuart, Florida 34997

Fax (772) 287-9970



June 4, 2012

To: Dean Schiller and Schiller Pools
3590 SE Dixie Highway
Stuart, Florida 34997

From: Shawn and Caroline Lawless
12 Mandalay Road,
Stuart, Florida, 34996

RE: Swimming Pool Construction

To Dean Schiller and Schiller Pools,

This certified letter is in response to two letters sent by Dean Schiller and Schiller Pools. Both of these letters contain outrageously untrue and inaccurate accusations that need addressing.

First, Schiller Pools has accused us of being late on payments to Schiller Pools. We are customers of Schiller Pools that have never once been late on a payment to Schiller Pools. On the contrary, we have already paid Schiller Pools over 90% of the total contracted amount (which was paid exactly how the payment schedule in the contract specified) and Schiller Pools has completed less than 50% of our pool construction. To date we have yet to see any pool equipment delivered to our property. We will not be falsely accused.

Second, there is a ridiculous matter of setting materials for the installation of the decking. It seems Dean Schiller has laps in memory when it was confirmed early on in the negotiation process in front of myself, my wife Caroline and Dean Schiller that we would only be responsible for supplying the coping and the pavers. Now we have been told that we do not have to supply the setting materials for the coping, but we do have to supply the setting material for the pavers. We signed a contract with a pool builder because we are not pool builders. Never once have we been given a take off for setting materials, or type, or where to purchase. We have only been told it is our responsibility to do their job, determine what product they would like to use, quantity and to physically go and pick up and deliver the materials. As we are all aware, there are many different techniques to setting pavers; installers have a variety of methods. If anyone from Schiller Pools would have taken the time and driven by the property, they would have noticed that we have setting material already on the job (material that was on the site well before the paver job was ready). If they asked, this material could easily have been used (if it is their setting material of choice).

Aside from these we have several other issues with Schiller Pools, but we will not go into depth on them now, but to highlight they are: deceiving the customer, rudeness to a full paying customer and their family, massive lack in customer service, no comfort in modern effective communication techniques, and so on...

As per my phone conversation with Deal Schiller on May 30, 2012, we had reminded him that some setting materials were on property and that they could utilize if needed. I was informed at that time by Dean Schiller that he would assess the materials and give me a take off. As of today June 4, 2012, we have had no communication back from Schiller Pools.

Simply put, we do not take kindly at all to the false accusations put out by Dean Schiller and Schiller pools. We are demanding a full retraction letter correcting the false accusations in previous letters. We are strongly requesting this retraction letter in one week (7 days) for receipt of this certified letter.

We have forwarded this letter to both Sewalls Point Building Dept. and to our lawyers. At this point, we have held up our end of the contract and again paid Schiller Pools over 90 % of the total contract. What we are asking is for Schiller Pools to finish our pool professionally and in a timely manner without any rude, unprofessional attitude or unfounded accusation.

We just want our pool done. We have worked too hard to be as professional with our home renovation as we can. Our neighbors deserve this project to be completed, as do we.

Thank you for your immediate attention and it is our hope that we can resolve this amicably and without issue.

Sincerely,

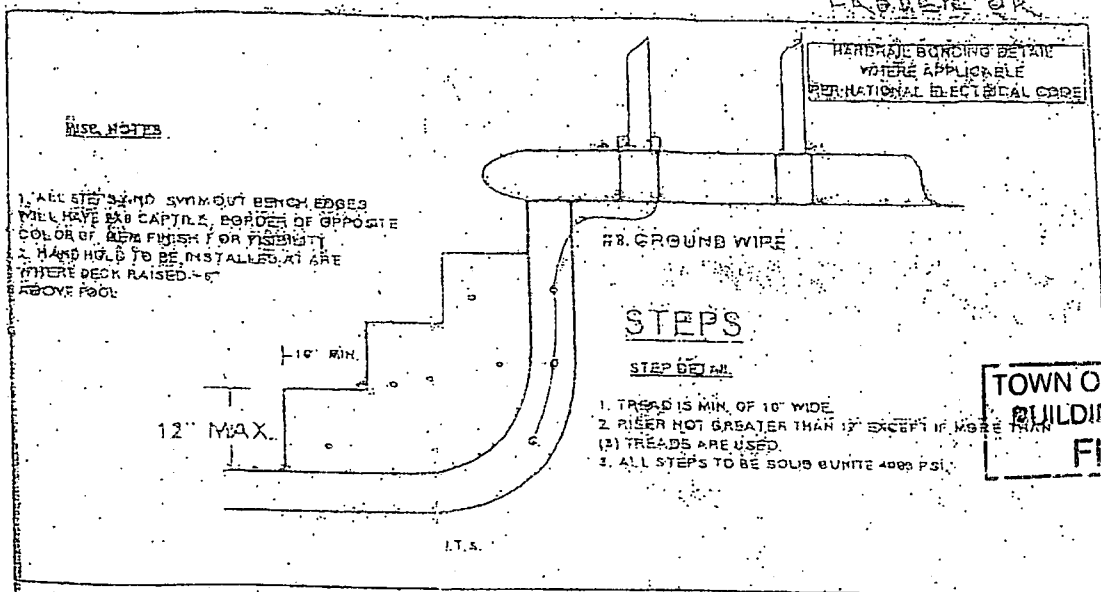
Shawn Lawless

R.D. SCHILLER POOLS

3590 SE. DIXIE HWY. STUART, FL 34997

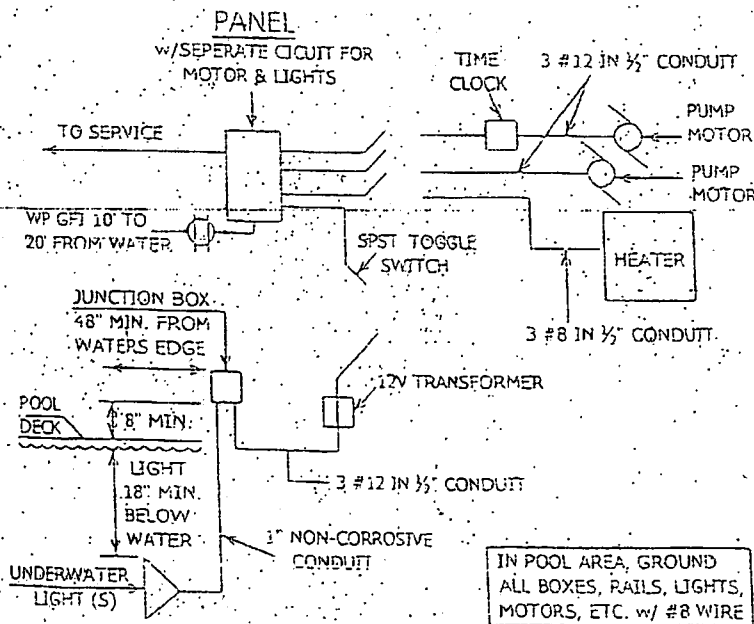
PH#772-287-0768

LIC.#CPC-1457983



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

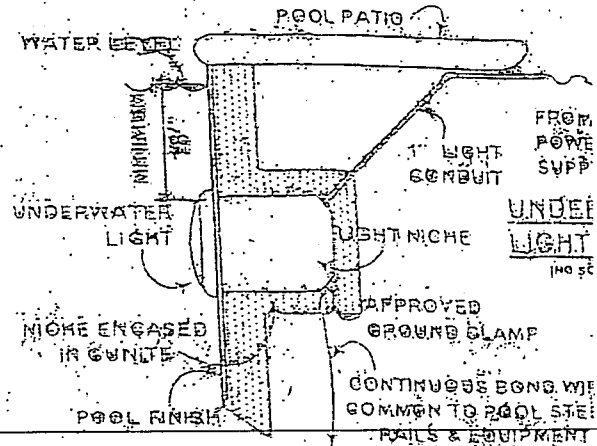
ELECTRICAL DIAGRAM



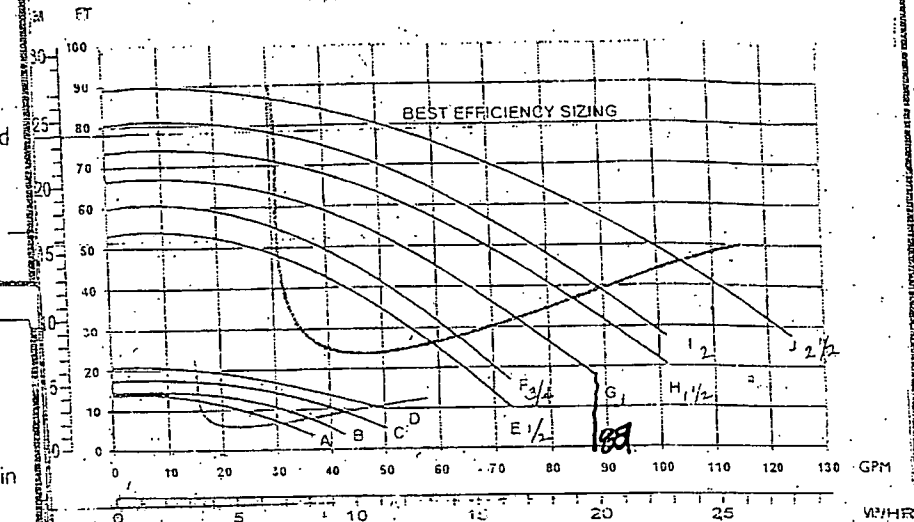
Location of GFI Receptacle to be determined in field per NEC 680

WP GFI
10' TO 20'
FROM WATER

EQUOPOTENTIAL BONDING OF POOL PERIMETER DECKING
w/#8 BARE COPPER WIRE BURIED 4" TO 6" BELOW SUBGRADE AND 18" TO 24" FROM INSIDE POOL/SPA WALL PER NEC 2008.

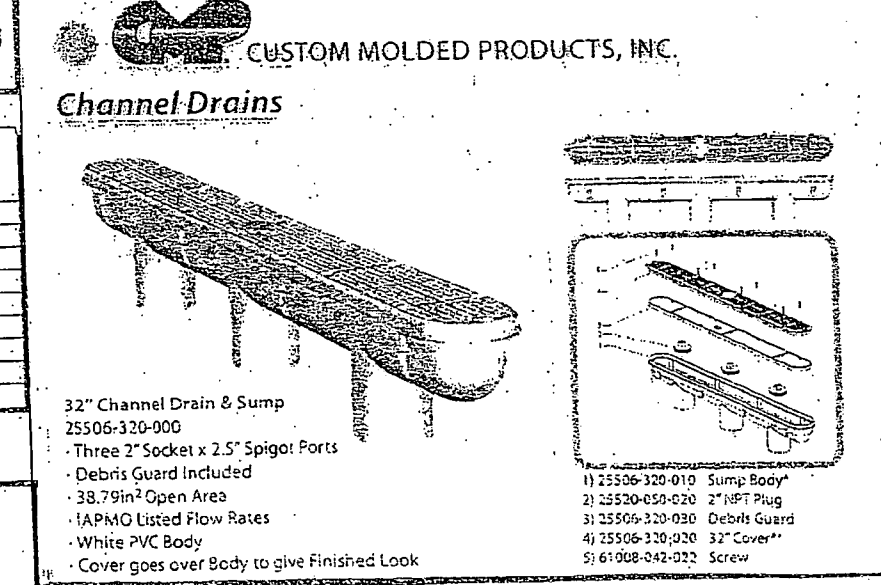


Penair Pool Products
SuperFlo Series Performance Curves



32" Channel Drains
VGB-2009 Compliant
CMP 25506-32X
**X is any digit 0-9 to denote color*

The maximum flow rating for this suction fitting with the center port plugged and outer ports open is 308 GPM (Floor) and 212 GPM (Wall) when using 2.5" plumbing and 268 GPM (Floor) and 192 GPM (Wall) when using 2" plumbing. The maximum flow rating for this suction fitting with the outer ports plugged and the center port open is 200 GPM (Floor) and 168 GPM (Wall) when using 2.5" plumbing and 184 GPM (Floor) and 176 GPM (Wall) when using 2" plumbing.



Swimming Pool Specification For:

LAWLESS MANDALAY RD
STUART FL 34996 (SEWALLS POINT)

ANSI/APSP-7 2006 Specifies three methods for determining the maximum system flow rate. The following simplified TDH calculation is one of the methods specified.

Simplified Total Dynamic Head (TDH) Calculation Worksheet

Determine Maximum System Flow Rate:

Minimum Flow Rate Required: 35 gpm Per Skimmer (Required: 1 skimmer per 800 sf of surf. area)

- Calculate Pool Volume: $\frac{312}{(\text{Surf. Area})} \times \frac{4}{(\text{Avg. Depth})} \times 7.48 (\text{gal./cubic foot}) = \frac{9335}{(\text{Vol. in gal.})}$
- Determine preferred Turnover Time in hours: $\frac{100}{(\text{Hours})} \times 60 (\text{min. / hr.}) = \frac{100}{(\text{Turnover in Min.})}$
- Determine Max Flow Rate: $\frac{9335}{(\text{Vol. in gal.})} \div \frac{100}{(\text{Turnover Mins.})} = \frac{88}{(\text{Pool Flow Rate})} + \frac{88}{(\text{Feature Flow Rate})} = \frac{88}{(\text{System Flow Rate})}$
- Spa Jets: $\frac{1}{(\text{No. of Jets})} \times \frac{100}{(\text{Jet Flow})} \text{ gpm per jet} = \frac{100}{(\text{Total Jet Flow Rate})} \text{ flow rate.}$

(For single pump pool/spa combo, use the higher of No. 3 or No. 4 in the following calculations for the pool & spa)

Determine Pipe Sizes:

- Branch Piping to be NONE inch to keep velocity @ 6 fps max. at 103 gpm Maximum System Flow Rate.
- Trunk Piping to be 2 1/2 inch to keep velocity @ 8 fps max. at 117 gpm Maximum System Flow Rate.
- Return Piping to be 2 inch to keep velocity @ 10 fps max. at 103 gpm Maximum System Flow Rate.

Determine Simplified TDH:

- Distance from pool to pump in feet: _____
- Friction loss (in suction pipe) in _____ inch pipe per 1 ft @ _____ gpm = _____ (from pipe flow/friction loss chart)
- Friction loss (in return pipe) in _____ inch pipe per 1 ft @ _____ gpm = _____ (from pipe flow/friction loss chart)
- $\frac{\text{Length of Suct. Pipe}}{(\text{ft of head/1 ft of Pipe})} \times \frac{100}{(\text{TDH Suct. Pipe})} = \text{_____}$
- $\frac{\text{Length of Return Pipe}}{(\text{ft of head/1 ft of Pipe})} \times \frac{100}{(\text{TDH Return Pipe})} = \text{_____}$

TDH in Piping: _____

Filter loss in TDH (from filter data sheet): _____

Heater loss in TDH (from heater data sheet): _____

Total all other loss: _____

Total Dynamic Head (TDH): _____

Selected Pump and Main Drain Cover:

Pump selection PENAIR SUPERFLO 1 HP SF-N-1AE using pump curve for TDH & System Flow Rate
(Pump model and size in Horsepower)

Main Drain Cover CMP 25506-32X-020 (System Flow Rate must not exceed approved cover flow rates)
(Make and Model)

Notes: Minimum system flow based on min. flow per skimmer of 35 gpm.

Determine the Number and Type of Required In-Floor Suction Outlets:

- Check all that apply.
- 3'-0" suction outlets @ _____ gpm max. flow (see note 2).
 - suction outlets @ _____ gpm max. flow (see note 3).
 - CMP 25506-32 channel drain @ 200 gpm w/ 1 ports (see note 4).

TDH Calculation Options
For each pump:

- Check one.
- Simplified Total Dynamic Head (STDH)
Complete STDH Worksheet - Fill in all blanks.
 - Total Dynamic Head (TDH)
Complete Program or other calcs. Fill in required blanks on worksheet & attach calculations.
 - Maximum Flow Capacity
of the new or replacement pump.

Notes

- If a variable speed pump is used, use the max. pump flow in calculations.
- For side wall drains, use appropriate side wall drain flow as published by manufacturer.
- Insert manufacturer's name and approved maximum flow
- See installation instructions for number of ports to be used.
- In-Floor suction outlet cover/grate must conform to most recent edition of ASME/ANSI A112.19.8 and be embossed with that edition approval.
- Pump, Filter & Heater make and model cannot be changed, and equipment location cannot be moved closer to pool without submitting a revised plan and TDH calculation worksheet for approval.

Flow and Friction Loss Per Foot
Schedule 40 PVC Pipe

Pipe Size	Velocity - Feet Per Second					
	6 fps	8 fps	10 fps	12 fps	14 fps	16 fps
1"	16 gpm	0.14'	21 gpm	0.23'	26 gpm	0.35'
1.5"	37 gpm	0.08'	50 gpm	0.14'	62 gpm	0.21'
2"	62 gpm	0.06'	82 gpm	0.10'	103 gpm	0.16'
2.5"	88 gpm	0.05'	117 gpm	0.09'	146 gpm	0.13'
3"	136 gpm	0.04'	181 gpm	0.07'	227 gpm	0.10'
4"	234 gpm	0.03'	315 gpm	0.05'	392 gpm	0.07'
6"	534 gpm	0.02'	712 gpm	0.03'		

SCHILLER POOLS FILTER

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Date: 2/8/12

Harvey Koehnen
Date

HARVEY E. KOEHNEN
Professional Engineer PE-32831
7205 Elise Circle
Port St. Lucie, FL 34952-3212
Fax (772) 499-3035

Contractors Printed Name: _____
Contractors Cert. No. _____
Contractors telephone No. _____

ANSI/APSP-7 2006 Specifies three methods for determining the maximum system flow rate. The following simplified TDH calculation is one of the methods specified.

Simplified Total Dynamic Head (TDH) Calculation Worksheet

Determine Maximum System Flow Rate:

Minimum Flow Rate Required: 35 gpm Per Skimmer (Required: 1 skimmer per 800 sf of surf. area)

- Calculate Pool Volume: $\frac{\text{Surf. Area}}{\text{Avg. Depth}} \times 7.48 \text{ (gal./cubic foot)} = \frac{\text{Vol. in gal.}}{\text{Turnover Mins.}}$
- Determine preferred Turnover Time in hours: $\frac{\text{Hours}}{\text{Turnover in Min.}} \times 60 \text{ (min. / hr.)} = \frac{\text{Turnover in Min.}}{\text{System Flow Rate}}$
- Determine Max Flow Rate: $\frac{\text{Vol. in gal.}}{\text{Turnover Mins.}} = \frac{\text{Pool Flow Rate}}{\text{Feature Flow Rate}} = \frac{\text{System Flow Rate}}{\text{System Flow Rate}} = 103$
- Spa Jets: $\frac{\text{No. of Jets} \times \text{Jet Flow}}{\text{Total Jet Flow Rate}} = \text{flow rate.}$

(For single pump pool/spa combo, use the higher of No. 3 or No. 4 in the following calculations for the pool & spa)

Determine Pipe Sizes:

- Branch Piping to be **None** inch to keep velocity @ 6 fps max. at gpm Maximum System Flow Rate.
- Trunk Piping to be **2 1/2** inch to keep velocity @ 8 fps max. at **117** gpm Maximum System Flow Rate.
- Return Piping to be **2** inch to keep velocity @ 10 fps max. at **103** gpm Maximum System Flow Rate.

Determine Simplified TDH:

- Distance from pool to pump in feet:
- Friction loss (in suction pipe) in inch pipe per 1 ft @ gpm = (from pipe flow/friction loss chart)
- Friction loss (in return pipe) in inch pipe per 1 ft @ gpm = (from pipe flow/friction loss chart)
- $\frac{\text{Length of Sucl. Pipe}}{\text{ft of head/1 ft of Pipe}} \times \frac{\text{TDH Sucl. Pipe}}{\text{TDH Sucl. Pipe}} = \text{TDH Sucl. Pipe}$
- $\frac{\text{Length of Return Pipe}}{\text{ft of head/1 ft of Pipe}} \times \frac{\text{TDH Return Pipe}}{\text{TDH Return Pipe}} = \text{TDH Return Pipe}$

TDH in Piping:

Filter loss in TDH (from filter data sheet):

Heater loss in TDH (from heater data sheet):

Total all other loss:

Total Dynamic Head (TDH):

Selected Pump and Main Drain Cover:

Pump selection **PENTAIR SUPERFLO 2 HP SF-N1-2AE** using pump curve for TDH & System Flow Rate
(Pump model and size in Horsepower)

Main Drain Cover **CMP 25506-32X-020** (System Flow Rate must not exceed approved cover flow rates)
(Make and Model)

Notes: Minimum system flow based on min. flow per skimmer of 35 gpm.

Determine the Number and Type of Required In-Floor Suction Outlets:

- Check all that apply.
- 3'-0" suction outlets @ gpm max. flow (see note 2).
- 3 suction outlets @ gpm max. flow (see note 3).
- CMP 25506-32** channel drain @ **308** gpm w/ **2** ports (see note 4).
- FILTER** **2 1/2** **JET** **2 1/2**

TDH Calculation Options

For each pump:

- Check one.
- Simplified Total Dynamic Head (STDH)
Complete STDH Worksheet - Fill in all blanks.
- Total Dynamic Head (TDH)
Complete Program or other calcs. Fill in required blanks on worksheet & attach calculations.
- Maximum Flow Capacity
of the new or replacement pump.

Notes

- If a variable speed pump is used, use the max. pump flow in calculations.
- For side wall drains, use appropriate side wall drain flow as published by manufacturer.
- Insert manufacturer's name and approved maximum flow.
- See installation instructions for number of ports to be used.
- In-Floor suction outlet cover/grate must conform to most recent edition of ASME/ANSI A112.19.8 and be embossed with that edition approval.
- Pump, Filter & Heater make and model cannot be changed, and equipment location cannot be moved closer to pool without submitting a revised plan and TDH calculation worksheet for approval.

Flow and Friction Loss Per Foot Schedule 40 PVC Pipe

Pipe Size	Velocity - Feet Per Second					
	6 fps		8 fps		10 fps	
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1.5"	37 gpm	0.08'	50 gpm	0.14'	62 gpm	0.21'
2"	62 gpm	0.06'	82 gpm	0.10'	103 gpm	0.16'
2.5"	88 gpm	0.05'	117 gpm	0.09'	146 gpm	0.13'
3"	136 gpm	0.04'	181 gpm	0.07'	227 gpm	0.10'
4"	234 gpm	0.03'	313 gpm	0.05'	392 gpm	0.07'
6"	534 gpm	0.02'	712 gpm	0.03'		

SCHILLER POOLS

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Contractors Signature

Contractors Printed Name

Contractors Cert. No.

Contractors Telephone No.

JET

2/8/12
Date
Harvey E. Koehnen
HARVEY E. KOEHNEN
Professional Engineer PE-32831
7205 Erna Circle
Port St. Lucie, FL 34952-3212
Fax (772) 489-3035

Swimming Pool Specification For:

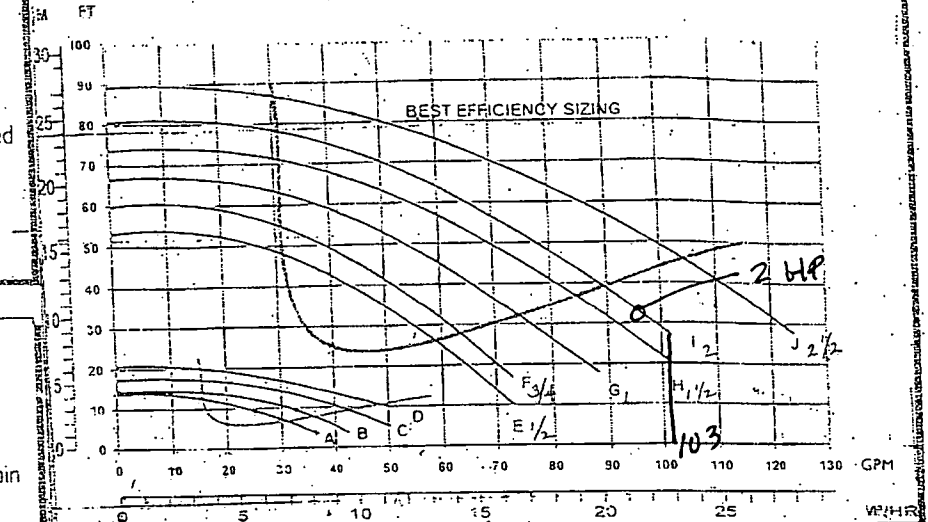
LAWLESS MANDALAY RD.
STUART FL 34986 (SEWALLS POINT)

Scale: None Rev 0 - 2/16/09

SuperFlo® Pumps

Dimensions and Performance

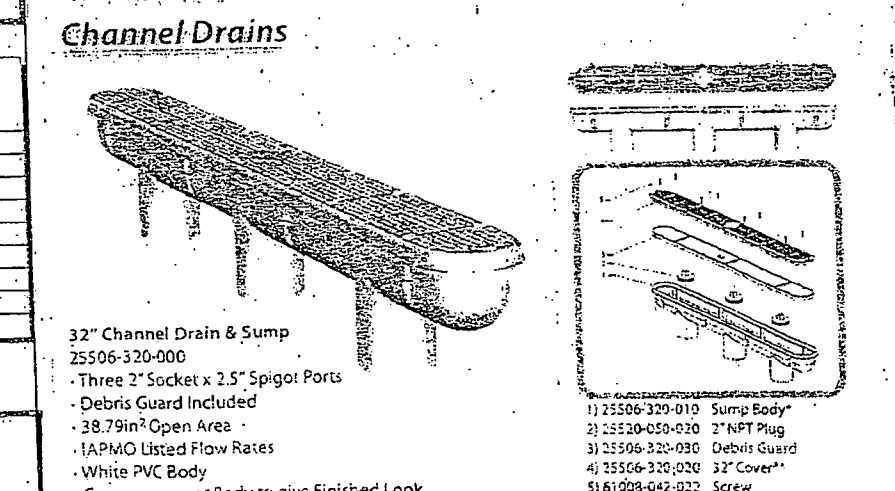
Pentair Pool Products
SuperFlo Series Performance Curves



32" Channel Drains
VGB-2009 Compliant
CMP 25506-32X
* is any digit 0-9 to denote color

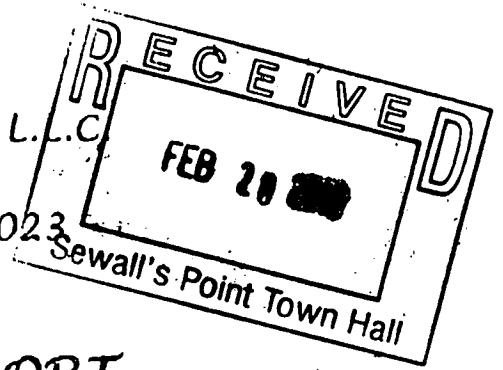
The maximum flow rating for this suction fitting with the center port plugged and outer ports open is 308 GPM (Floor) and 212 GPM (Wall) when using 2.5" plumbing and 268 GPM (Floor) and 192 GPM (Wall) when using 2" plumbing. The maximum flow rating for this suction fitting with the outer ports plugged and the center port open is 200 GPM (Floor) and 168 GPM (Wall) when using 2.5" plumbing and 184 GPM (Floor) and 176 GPM (Wall) when using 2" plumbing.

CUSTOM MOLDED PRODUCTS, INC.



- 32" Channel Drain & Sump
25506-320-000
- Three 2" Socket x 2.5" Spigot Ports
 - Debris Guard Included
 - 38.79in² Open Area
 - IAPMO Listed Flow Rates
 - White PVC Body
 - Cover goes over Body to give Finished Look
- 1) 25506-320-010 Sump Body*
2) 25520-050-020 2" NPT Plug
3) 25506-320-030 Debris Guard
4) 25506-320-020 32" Cover*
5) 61008-042-022 Screw

COASTAL TESTING LABORATORY, L.L.C.
PO BOX 2023
PALM CITY, FLORIDA 34991-2023
772-220-6688



COMPACTION TEST REPORT
ASTM D 6938-10

*on file
FWP*

DATE : February 28, 2012
JOB NUMBER : 12-0223
PERMIT NUMBER : 10003
CLIENT : R. D. Schiller Pools
CONTRACTOR : R. D. Schiller Pools
JOB LEGAL : N/A
JOB ADDRESS : 12 Mandalay Road
Sewalls Point, FL

SOIL CLASSIFICATION & REMARKS : A4 Fine tan sandy soil

TEST SAMPLE LOCATION : 10' IS LR Corner - Center of Pad - 10' IS RF Corner

	<u>IN PLACE DRY DENSITY</u>	<u>MAXIMUM DRY DENSITY</u>	<u>% COMPACTION</u>
1)	102.0	103.0	99.0
2)	101.6	103.0	98.6
3)	102.6	103.0	99.6

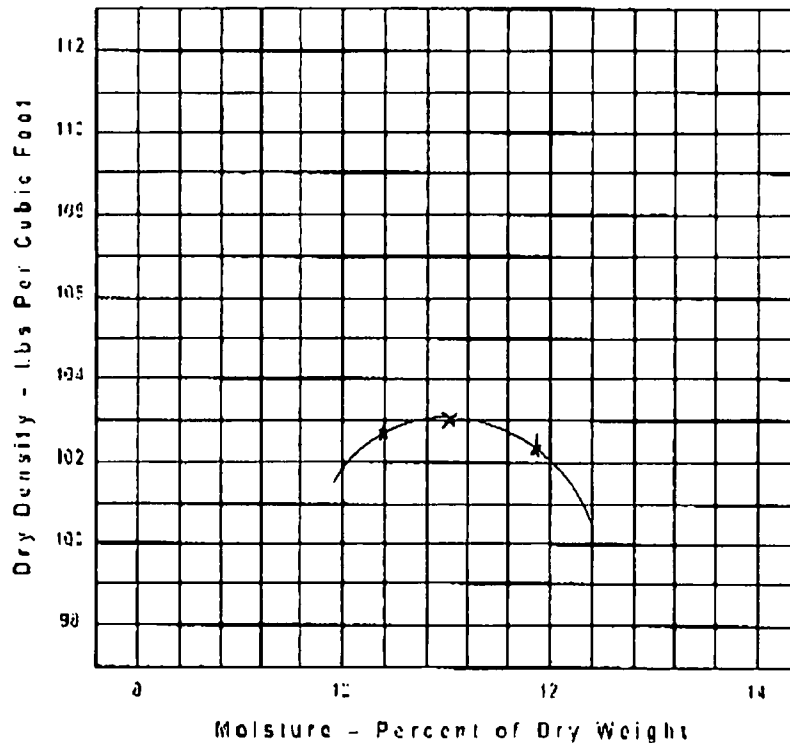
RESPECTFULLY SUBMITTED:

Ernesto Velasco
ERNESTO VELASCO, P.E.

COASTAL TESTING LABORATORY, L.L.C.
PO BOX 2023
PALM CITY, FLORIDA 34991-2023
772-220-6688

MOISTURE DENSITY RELATIONSHIP ASTM D 1557-09

DATE : February 28, 2012
CONTRACTOR : R. D. Schiller Pools
JOB NUMBER : 12-0223
PERMIT NUMBER : 10003



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 3-1-12 Page 2 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10003	Lawler	Decking		
PM	Schiller	POOL CAPPING	Pass	
	Schiller			INSPECTOR <i>CA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10022	Grenvitz	SERVICE		READY FOR
	15 LANTANA	CHANGE	Pass	FPL ✓ CLOS
	Eudes Electric			INSPECTOR <i>SE</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

3-21-12

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10030	Bauer	Foundation		
10:30	1 Tuscan La Seagate	Footings	PASS	INSPECTOR <i>GA</i>
10036	Guffith 12 Palm Rd Elec Conn	slab w/ concrete electrical GENERATOR	PASS	INSPECTOR <i>GA</i>
10034	Zayas 10 Copaire Hemmingo Pool	Final Pool heat pump	PASS	INSPECTOR <i>GA</i> CROE
10003	LAURESS	POOL Deck	PASS	
LATE AM	12 Mombay SHILLER	Footings	PASS	INSPECTOR <i>GA</i>
	KINARD TIMON	MEASURE DISTANCE FROM ADJUTMENT TO PINES		INSPECTOR
				INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 3-29-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10013	Kawles	Water & Sewer	Pass	
	12 Maryland	Arbor	Pass	
	Schiller			INSPECTOR <i>AS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10010	Die Truck	Final repairs	Pass	
	9 W High Pt			CLOSE ✓
	Los Luna			INSPECTOR <i>AS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10027	Goudis			
	25 Sayer Rd	Remo Pole	Pass	Reason For FPL ✓
	Team Parks			INSPECTOR <i>AS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-30-12 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10170	Testamanti 19 Lofting Way Custom Air	Final AC	PASS	CLOSE INSPECTOR <i>JA</i>
10095	Gould 485 Sewalls Crist Const.	framing rough electric rough plumbing rough AC	PASS	INSPECTOR <i>JA</i>
10003	LAWLESS 112 MANDALAY SHILLET	ELECTRICAL FINAL ROOF	PASS	INSPECTOR <i>JA</i>
10083	White 15 RIDGELAND Tuscany Bay	R. ELECTRIC R. AC	PASS	INSPECTOR <i>JA</i>
9999	mc Utilities 18 Lofting Way Paragon Electric	rough electric	PASS	INSPECTOR <i>JA</i>
10014	Twohey 112 Henry Sewall Flamingo Pools	deck equipotential bond	PASS	INSPECTOR <i>JA</i>
10173	Augustine 9 Indialucie Pky Gulfstream Alum	Final Shutter	PASS	CLOSE INSPECTOR <i>JA</i>

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

4-19-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10003	Kowalski	Fence		
IPM	12 Mandalar Schellen	Fence	Pass	Close INSPECTOR <i>A</i>
10402	Bunkard 106 S Sewalls A Great Fence	Fence	FAIL	NOT TO CODE INSPECTOR <i>A</i>
10406	Goudis 25 S River Team Parks	retaining wall footing	PASS	INSPECTOR <i>A</i>
tree	Folsky 110 Hillcrest Ter	Tree	N.G.	INSPECTOR
10385	Baule 17 Feldway Gulfstreams Alum	Fence front door	PASS	Close INSPECTOR <i>A</i>
10419	Brown 123 S Sewalls Stuart Roofing	Sheeting	PASS	INSPECTOR <i>A</i>
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 2-17-12 Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9996	Castro	in progress	Pass	
PM	22 S Sewalls Pt Cardinal Roofing		Pass	INSPECTOR <i>[Signature]</i>
10003	[REDACTED]	[REDACTED]	[REDACTED]	
PM	[REDACTED] SHILLER	[REDACTED] STEEL BAND	[REDACTED]	INSPECTOR <i>[Signature]</i>
10012	CONFIDENTIAL 15 PALM RD FER GAS	GAS TANK [REDACTED] ROUGH	Pass	INSPECTOR <i>[Signature]</i>
10001	SCARODEN RIDGELAND GREG MAIDA	FRAMING	Pass	INSPECTOR <i>[Signature]</i>
10005	Benson 7 COPPIN Tlynis AC	A/c FINAL	Pass	CLOSE INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR

10153

SCREEN ENCLOSURE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10153	DATE ISSUED:	JULY 3, 2012
SCOPE OF WORK:	SCREEN ENCLOSURE		
CONTRACTOR:	COASTAL SCREEN & RAIL		
PARCEL CONTROL NUMBER:	133841004-000-000600	SUBDIVISION	MANDALAY - LOT 6
CONSTRUCTION ADDRESS:	12 MANDALAY RD		
OWNER NAME:	LAWLESS		
QUALIFIER:	R SCOTT BUCHANAN	CONTACT PHONE NUMBER:	561-819-0308

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

Date: 2/8/2012

BUILDING PERMIT APPLICATION

Permit Number: 10153

OWNER/TITLEHOLDER NAME: Lawless, Shawn & Caroline Phone (Day) 407/230-5281 (Fax)

Job Site Address: 12 Mandalay Rd City: Stuart State: FL Zip: 34996

Legal Description: Mandalay Lot 60 or 344/71 Parcel Control Number: 13-38-41-004-000-00060-027797

Owner Address (if different): same as above City: State: Zip:

SCOPE OF WORK (PLEASE BE SPECIFIC): Pool Screen Enclosure

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO X
Has a Zoning Variance ever been granted on this property? YES (YEAR) NO X (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 11,000 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Coastal Screen + Rail, LLC Phone: 561/819-0308 Fax: 561/819-0309

Qualifiers name: R-Scott Buchanan Street: 120 Southridge Rd City: Delray Beach State: FL Zip: 33444

State License Number: CGC#024734 OR: Municipality: License Number:

LOCAL CONTACT: Lindsey Buchanan Phone Number: 561/819-0308

DESIGN PROFESSIONAL: Scott 561-800-3850 State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Porches: Enclosed Storage: Carport: Total under Roof: Elevated Deck: Enclosed area below BFE*: * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1. 105.4.1.1 - 5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
State of Florida, County of: Manatee
On This the 7 day of Feb 2012
by Shawn Lawless who is personally known to me or produced as identification.
Notary Public My Commission Expires: 4/1/14

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)
X R-Scott Buchanan
State of Florida, County of: Palm Beach
On This the 7 day of Feb 2012
by R-Scott Buchanan who is personally known to me or produced as identification.
Notary Public My Commission Expires: 4/1/14

SINGLE FAMILY PERMIT APPLICATIONS MUST BE RECORDED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 2/8/2012 1:04:26 PM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-004-000-00060-0	27797	12 MANDALAY RD, STUART	\$269,420	2/4/2012

Owner Information

Owner(Current)	LAWLESS SHAWN & CAROLINE
Owner/Mail Address	12 MANDALAY RD STUART FL 34996
Sale Date	10/21/2010
Document Book/Page	2483 0583
Document No.	2240226
Sale Price	300000

Location/Description

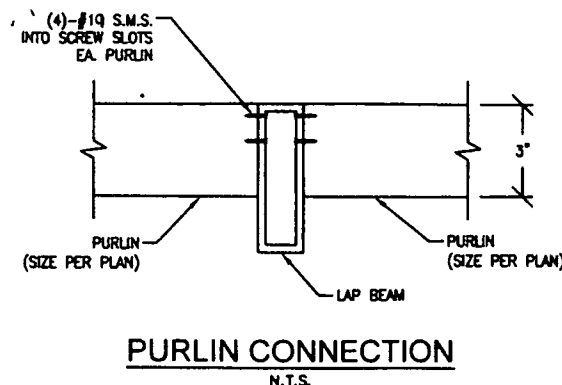
Account #	27797	Map Page No.	SP-06
Tax District	2200	Legal Description	MANDALAY LOT 6 OR 344/71
Parcel Address	12 MANDALAY RD, STUART		
Acres	.5190		

Parcel Type

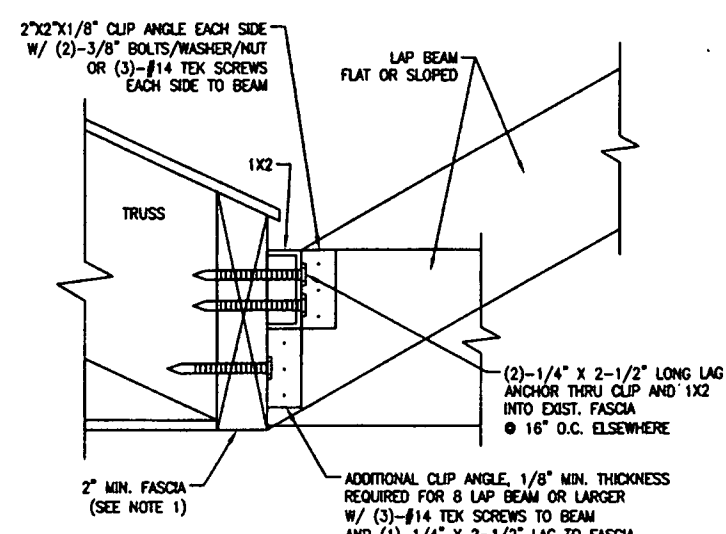
Use Code	0100 Single Family
Neighborhood	120200 Heritage P, Palmtto Pk,Rdglnd,

Assessment Information

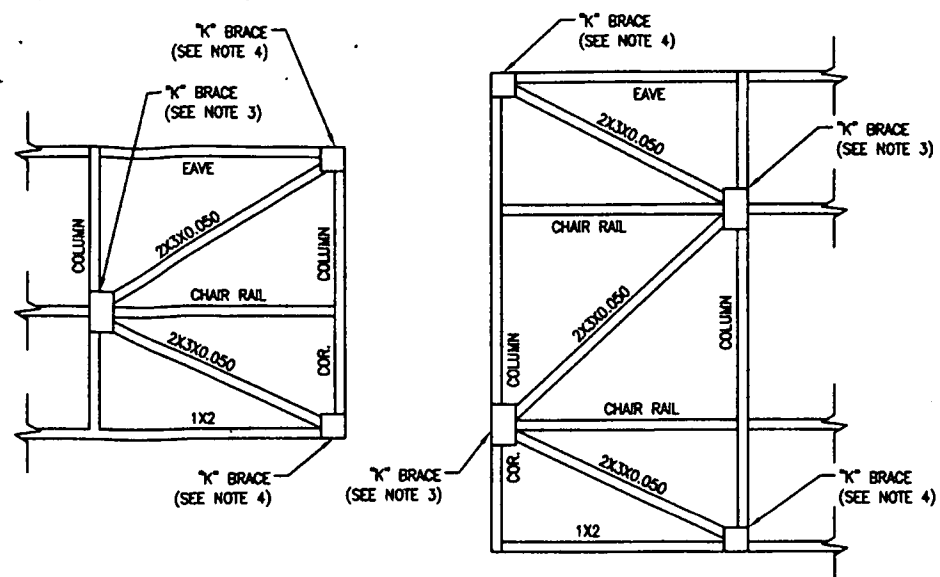
Market Land Value	\$165,000
Market Improvement Value	\$104,420
Market Total Value	\$269,420



PURLIN CONNECTION
N.T.S.

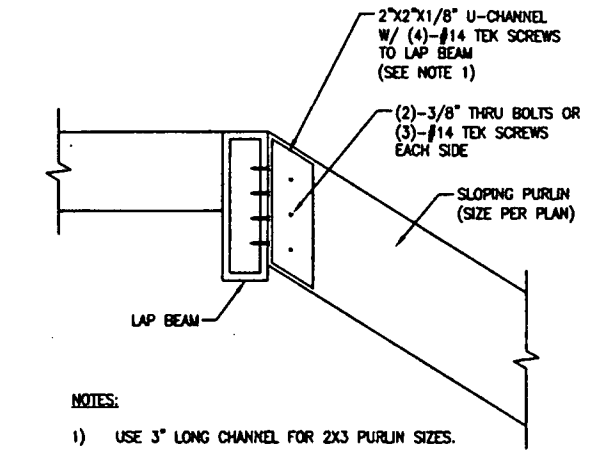


BEAM CONNECTION AT FASCIA
N.T.S.

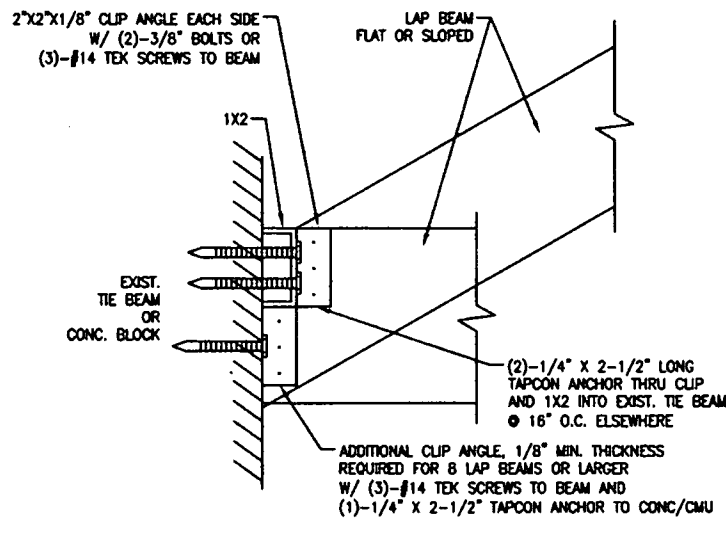


ALT. "K" BRACING DETAIL
N.T.S.

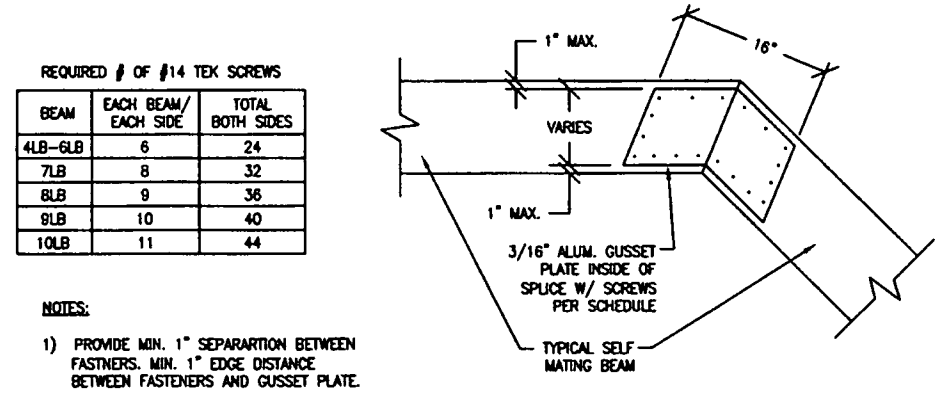
- NOTES:**
- 1) PROVIDE MIN. 3/4" BETWEEN FASTENERS AND MIN. 1/2" EDGE DISTANCE.
 - 2) PROVIDE A MIN. OF TWO FASTENERS PER MEMBER.
 - 3) "K" BRACE INSTALLED AT OUTSIDE FACE: USE 5"x8"x0.064" MIN. PLATE W/ (12)-#14 S.M.S./HEX HEADS. INSIDE: USE 3"x8"x0.064" MIN. PLATE OR 1"x3"x8"x0.064" MIN. ANGLE W/ (9)-#14 S.M.S./HEX HEADS.
 - 4) "K" BRACE INSTALLED AT OUTSIDE FACE: USE 5"x5"x0.064" MIN. PLATE W/ (9)-#14 S.M.S./HEX HEADS. INSIDE: USE 3"x4"x0.064" MIN. PLATE OR 1"x3"x4"x0.064" MIN. ANGLE W/ (6)-#14 S.M.S./HEX HEADS.



DOWN PURLIN CONNECTION
N.T.S.

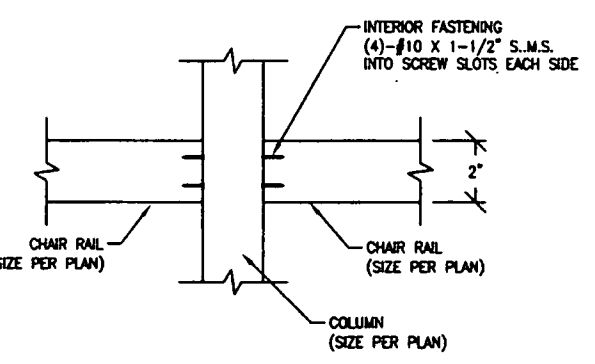


BEAM CONNECTION AT TIE BEAM OR MASONRY WALL
N.T.S.

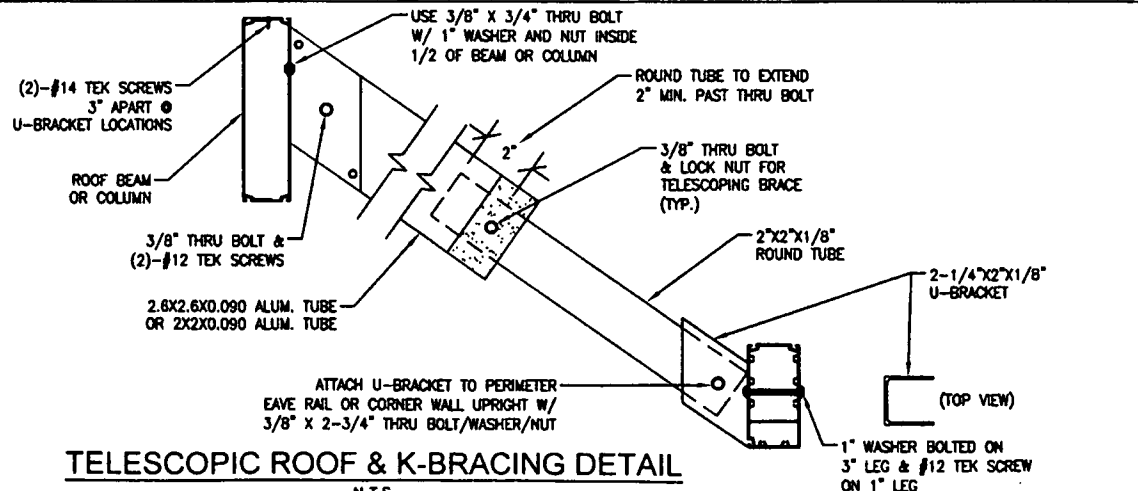


MANSARD BEAM SPLICE
N.T.S.

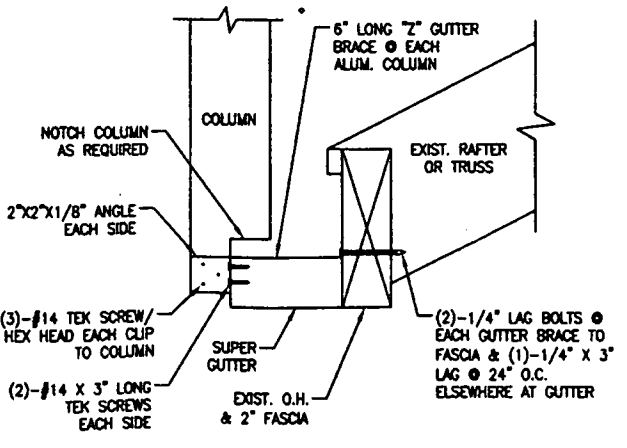
- NOTES:**
- 1) PROVIDE MIN. 1" SEPARATION BETWEEN FASTENERS. MIN. 1" EDGE DISTANCE BETWEEN FASTENERS AND GUSSET PLATE.



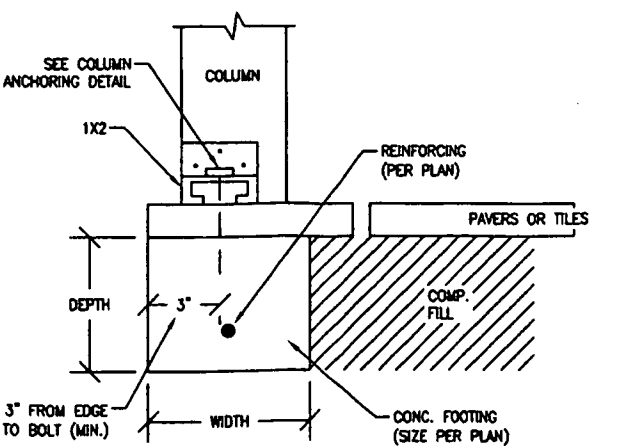
CHAIR RAIL CONNECTION
N.T.S.



TELESCOPIC ROOF & K-BRACING DETAIL
N.T.S.

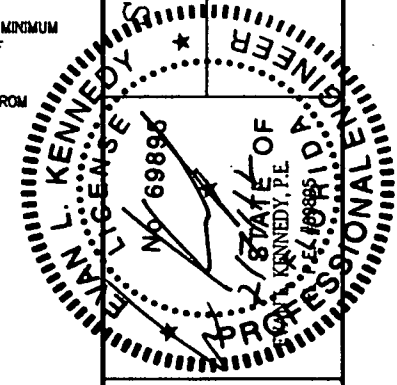


KNEE WALL W/ SUPER GUTTER
N.T.S.



STRIP FOOTING DETAIL W/ PAVER OR TILE
N.T.S.

- GENERAL DETAIL NOTES:**
- 1) DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2007 EDITION WITH 2009 SUPPLEMENTS, THE 2010 ALUMINUM DESIGN MANUAL, AND ASCE 7-05.
 - 2) DETAILS ARE BASED ON DESIGN PRESSURES WITH BASIC WIND SPEED = 140 MPH, EXPOSURE C, IMPORTANCE FACTOR = 0.77, AND 20 X 20 MESH WITH > 60% SCREEN OPENINGS.
 - 3) UNLESS NOTED, ALL FASTENERS SHALL HAVE A HEAD AND/OR BE PROVIDED WITH A MINIMUM 1/2" DIAMETER WASHER. MINIMUM HEAD SHALL BE 1/2".
 - 4) ALL FASTENERS SHALL BE 2024-T4 ALUMINUM ALLOY, NON-MAGNETIC STAINLESS STEEL, CADMIUM PLATED STEEL OR OTHERWISE CORROSION RESISTANT MATERIAL. ALL FASTENERS SHALL COMPLY WITH 5.1.1.C, SPECIFICATIONS FOR ALUMINUM STRUCTURES - SECTION 1, THE ALUMINUM ASSOCIATION, INC., AND APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
 - 5) ALL TAPCONS SHALL BE GRADE 5 ITW CARBON STEEL TAPCONS OR EQUAL WITH 1-3/4" MINIMUM EMBED AND 3" MINIMUM DISTANCE FROM EDGE OF CONCRETE.
 - 6) ALL CONCRETE ANCHORS SHALL HAVE A 1-3/4" MINIMUM EMBED AND 3" MINIMUM DISTANCE FROM EDGE OF CONCRETE.
 - 7) ALL ALUMINUM MEMBERS SHALL BE PROTECTED FROM DISIMILAR METALS TO PREVENT ELECTROLYSIS.
 - 8) DESIGN IS BASED ON 6005-T5 ALUMINUM ALLOY.



Proj.# 12-A-021

SCREEN ENCLOSURE PLANS

LAWLESS RESIDENCE
12 MANDALAY ROAD
STUART, FL 34996

EVAN L. KENNEDY, P.E.

5047 HEATHERHILL LANE, SUITE 4
BOCA RATON, FL 33486

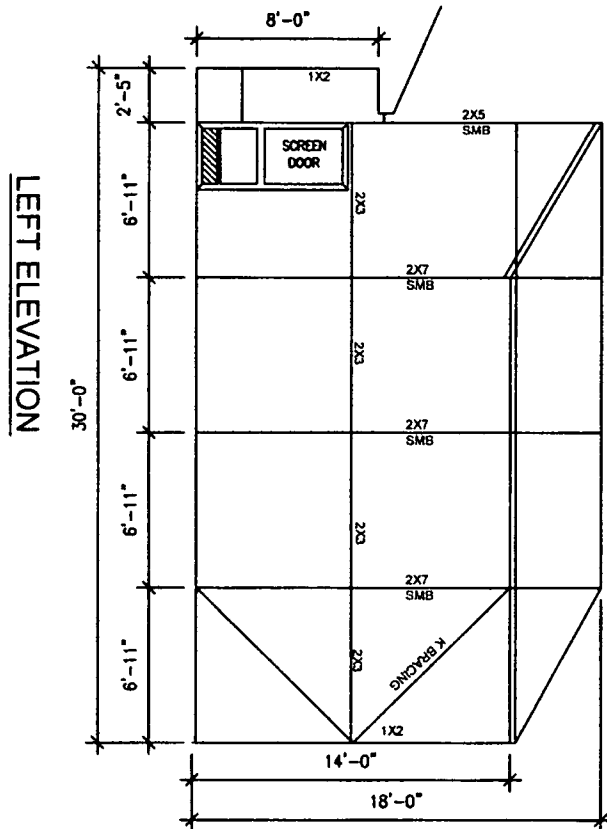
PHONE: (561) 573-1679

EMAIL: evankennedy1@gmail.com

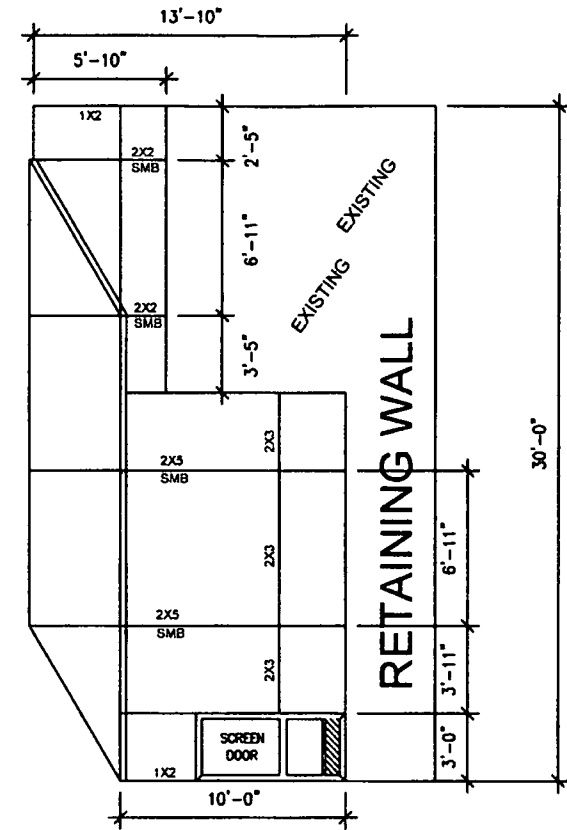
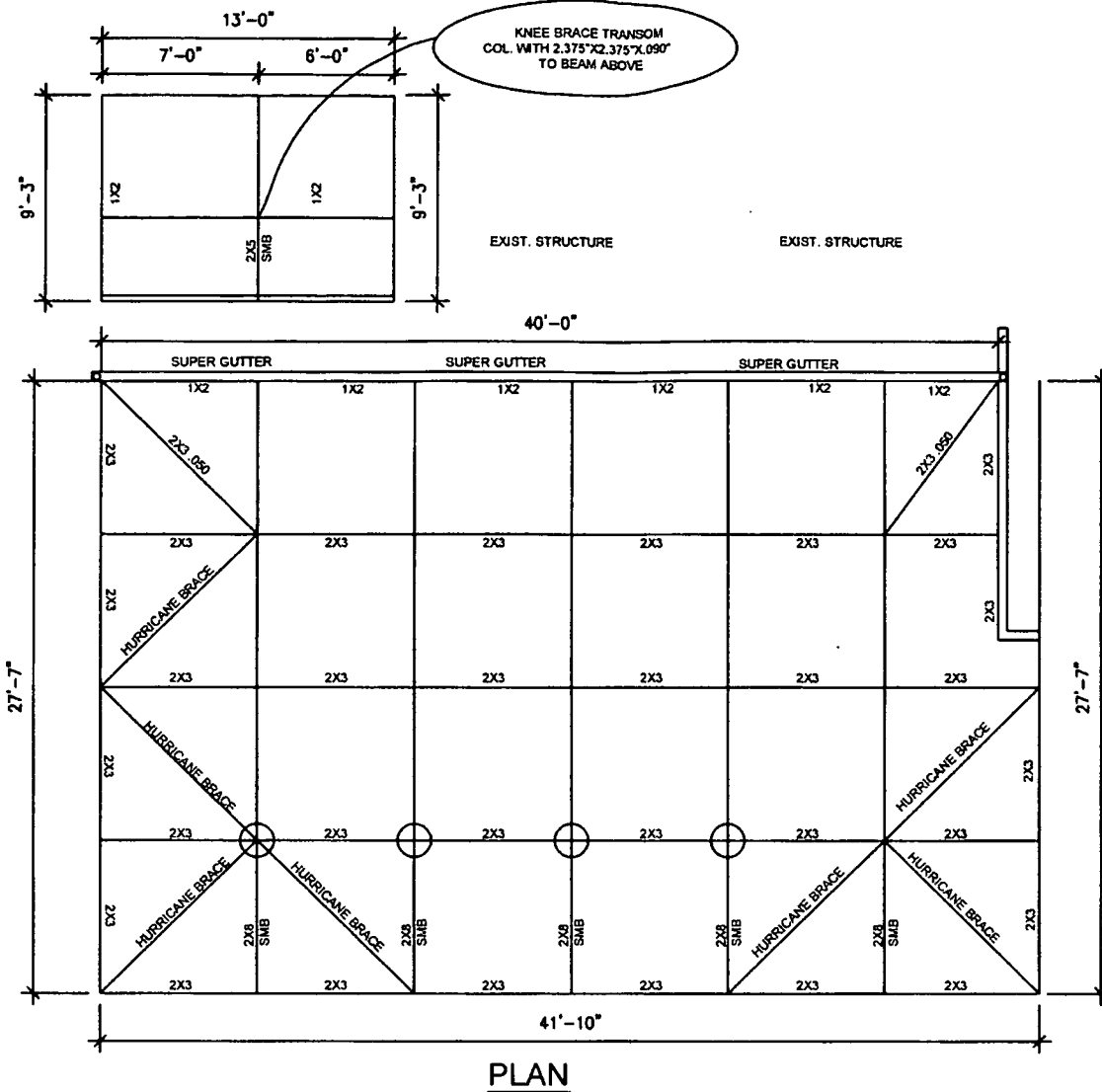
DATE: 02/07/2012
DSGN: E. KENNEDY
DRWN: E. KENNEDY
CHKD: E. KENNEDY
SCALE: AS SHOWN
DWG. No. 2 of 5

GENERAL NOTES:

- DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2007 EDITION WITH 2009 SUPPLEMENTS, THE 2010 ALUMINUM DESIGN MANUAL, AND ASCE 7-05.
- DESIGN IS BASED ON 6005-T5 ALUMINUM ALLOY.
- CONTRACTOR MAY ADJUST DOOR LOCATION IN FIELD PER HOMEOWNERS REQUEST.
- 18 X 14 SCREEN MESH.



TRANSOM WALL

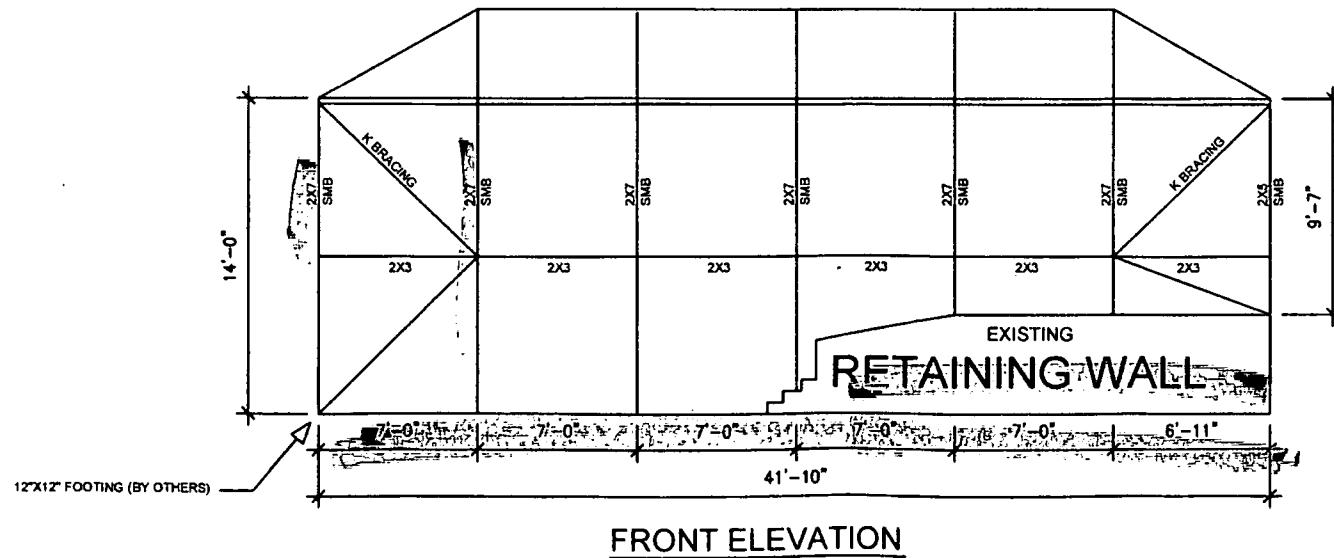


RIGHT ELEVATION

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

DESIGN CRITERIA:

- CODES:
 - FLORIDA BUILDING CODE 2007 EDITION WITH 2009 SUPPLEMENTS
 - THE 2010 ALUMINUM DESIGN MANUAL, AND ASCE 7-05.
 - DESIGN WIND PRESSURES DERIVED FROM ASCE 7-05
- PER FBC SECTION 1609 AND TABLE 2002.4.
- OCCUPANCY: SINGLE FAMILY HOME - SCREEN ENCLOSURE
- STRUCTURE: OPEN
- BUILDING HEIGHT: < 60 FEET
- MEAN ROOF HEIGHT: 16'-0"
- BASIC WIND SPEED: 140 MPH (3 SEC. GUST)
- WIND IMPORTANCE FACTOR: 0.77
- EXPOSURE CATEGORY: B
- WIND PRESSURES:
 - 5.3 PSF SCREEN ROOF
 - 18.5 PSF WALLS
 - 17 PSF SOLID ROOF
- ROOF DEAD LOAD: 0 PSF FOR WIND LOAD CALCULATIONS
- ACCORDING TO RATIONAL ANALYSIS THE EXISTING STRUCTURE AND ATTACHMENT TO FASCIA CAN SUPPORT GRAVITY, UPLIFT, AND LATERAL LOADS IMPOSED BY SCREEN ENCLOSURE.
- PROJECT HAS BEEN REVIEWED FOR SHEAR WALL REQUIREMENTS
- NO IMPACT PROTECTION IS REQUIRED FOR SCREEN ENCLOSURES
- SOIL BEARING CAPACITY FOR FOUNDATIONS: EXISTING, ASSUMED TO BE WELL COMPACTED AT 2500 PSF



FRONT ELEVATION

RATIONAL ANALYSIS CALCULATION
PER THE FLORIDA BUILDING CODE 2007 W/ 2009 SUPPLEMENTS FOR FOUNDATIONS

qz =	5.3	PSF
DEAD LOAD =	1.5	PSF
TOTAL qz = qz - DEAD LOAD =	3.8	PSF
AREA OF ROOF =	1,100	SF
WIND UPLIFT = TOTAL qz * ROOF AREA =	4,180	LBS
SAFETY FACTOR = SF =	1.67	
TOTAL WIND UPLIFT = SF * WIND UPLIFT =	6,981	LBS

WEIGHT OF CONCRETE (A) =	144	PCF
PERIMETER OF SCREEN (EXCLUDING EXIST. BUILDING) (B) =	80	FT
PERIMETER OF EXIST. BUILDING RESISTING UPLIFT (EB) =	58	FT
UPLIFT RESISTED BY EXIST. BUILDING (UB) =	2,934	LBS
WEIGHT OF CONC. FOOTING = A * B * WIDTH * DEPTH = F	11,520	LBS
THICKNESS OF CONC. SLAB (C) =	N/A	FT
AREA OF CONC. SLAB CONSIDERED IN CALCULATION (D) =	N/A	SF
WEIGHT OF CONC. SLAB = A * C * D = S	N/A	LBS
TOTAL RESISTING FORCE = S + F + UB =	14,454	LBS

SUMMARY: 14,454 > 6,981
THEREFORE, SLAB AND FOOTING IS ADEQUATE FOR SCREEN ENCLOSURE.

REVISION DESCRIPTION: REVISED ENCLOSURE LAYOUT
BY: ELK
DATE: 6/25/12
NO. 7
EVAN L. KENNEDY, P.E.
No. 69895
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LAWLESS RESIDENCE
12 MANDALAY ROAD
STUART, FL 34996

EVAN L. KENNEDY, P.E.

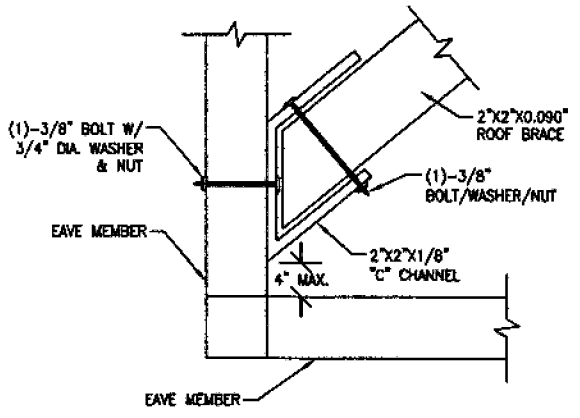
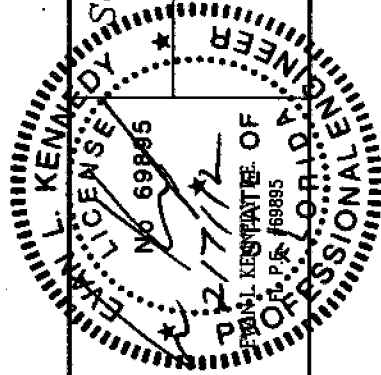
5047 HEATHERHILL LANE, SUITE 4
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PH: (561) 573-1679
EMAIL: evankennedy1@gmail.com

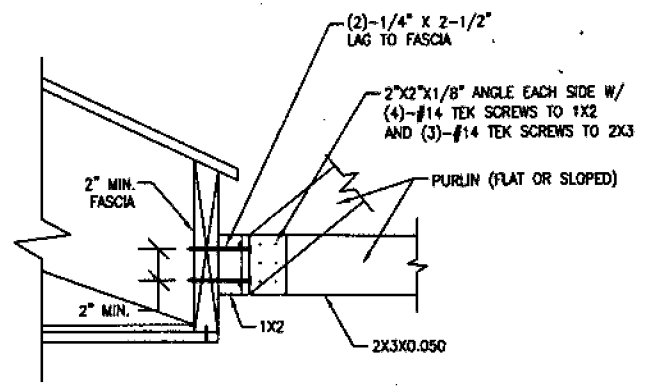
DATE: 02/07/2012
DSGN: E. KENNEDY
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CHKD: E. KENNEDY
SCALE: N.T.S.

SCREEN ENCLOSURE PLANS

LAWLESS RESIDENCE
12 MANDALAY ROAD
STUART, FL 34996

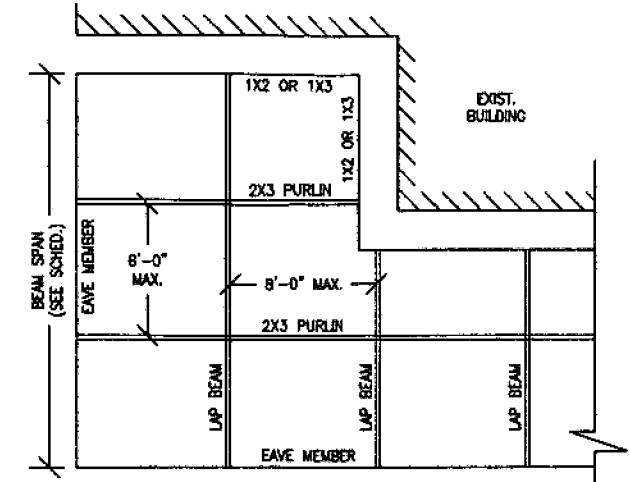
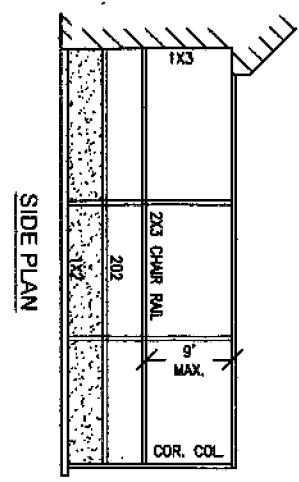


ALT. ROOF BRACING
N.T.S.

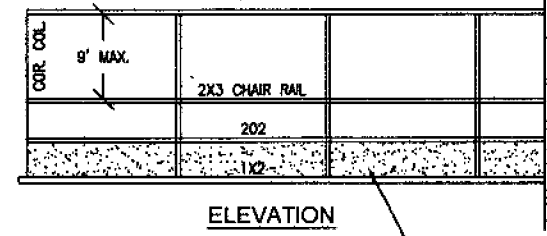


PURLIN TO FASCIA DETAIL
N.T.S.

NOTES:
1) 1" FASCIA MAY BE BUILT UP BY LAGGING NEW 1" MEMBER TO OLD W/ (2)-1/4" X 3-1/2" LAGS/TRUSS OR RAFTER. 2" SUB-FASCIA BEHIND 1" FASCIA IS ALSO ACCEPTABLE.



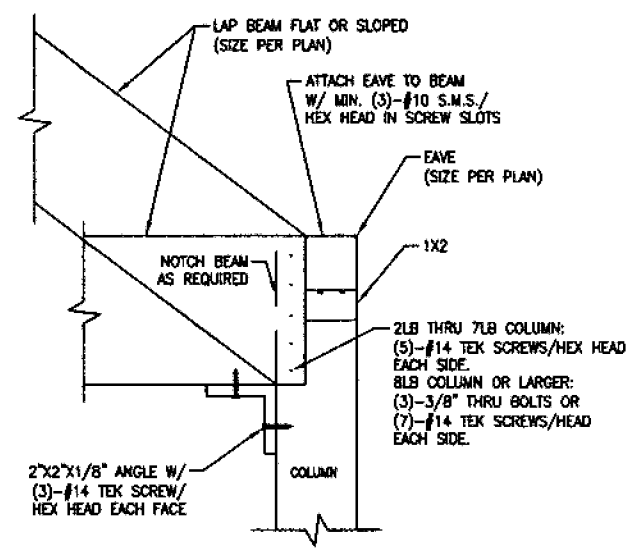
TYPICAL PLAN



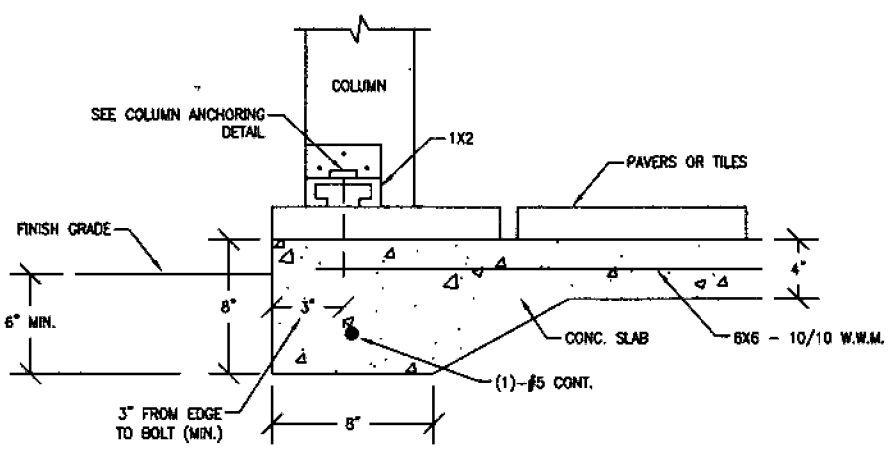
ELEVATION

ALUM. KICKPLATE OPTIONAL USE 202 TOP AND ATTACH KICKPLATE W/ (1)-#10 S.M.S./HEX HEAD @ 24" O.C. (TYP.)

TYPICAL SCREEN ENCLOSURE LAYOUT
N.T.S.

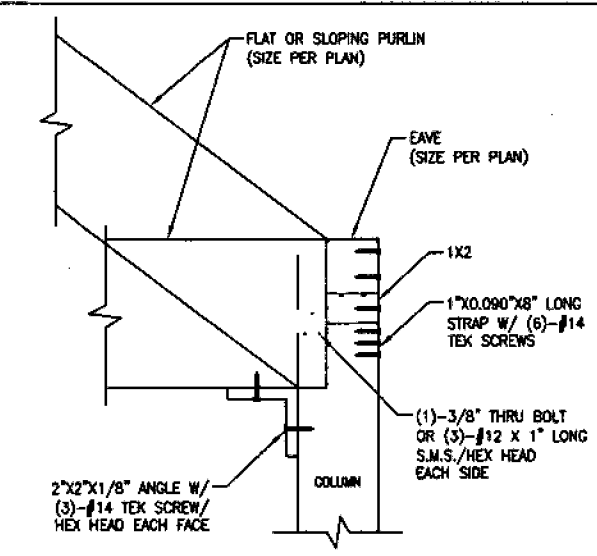


COLUMN TO BEAM CONNECTION
N.T.S.

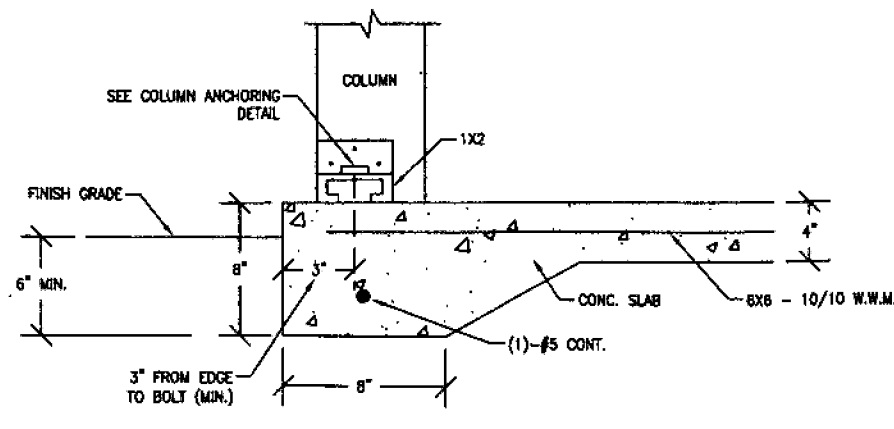


FOOTING/SLAB W/ PAVER OR TILE DETAIL
N.T.S.

NOTES:
1) FIBERMESH MAY BE USED IN LIEU OF 6X6 - 10/10 W.W.M.

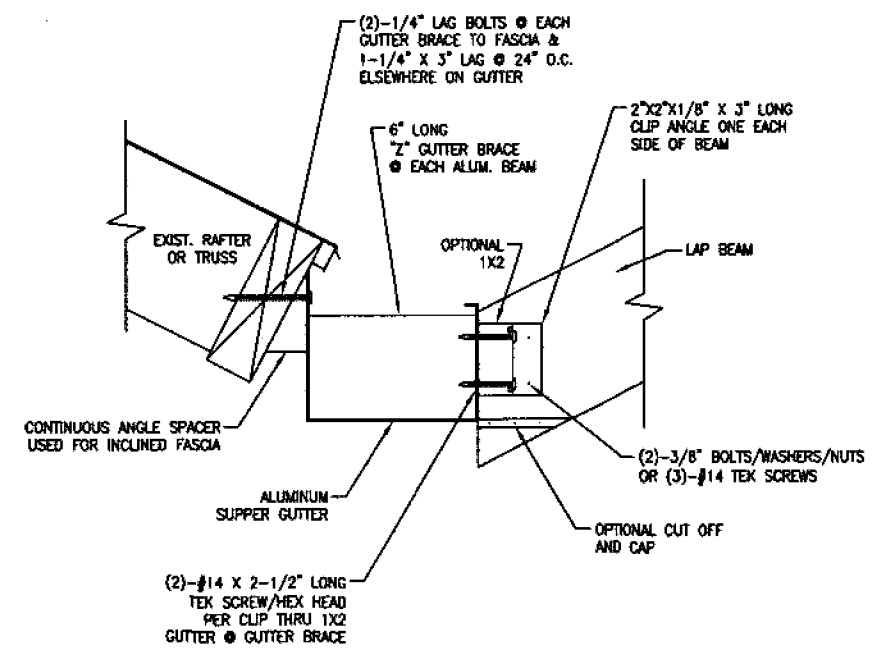


PURLIN TO COLUMN DETAIL
N.T.S.



FOOTING/SLAB DETAIL
N.T.S.

NOTES:
1) FIBERMESH MAY BE USED IN LIEU OF 6X6 - 10/10 W.W.M.



ALT. GUTTER CONNECTION DETAIL (MANSARD / FLAT ROOF)
N.T.S.

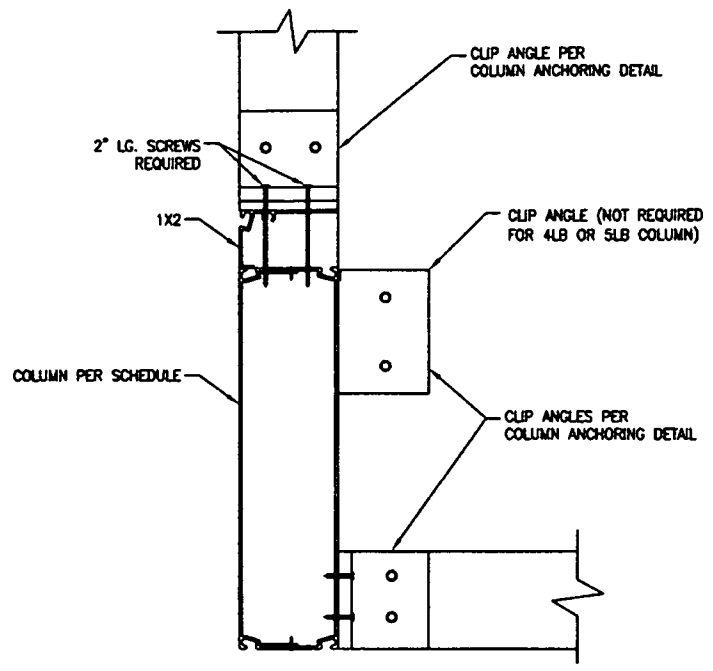
EVAN L. KENNEDY, P.E.

5047 HEATHERHILL LANE, SUITE 4
BOCA RATON, FL 33486

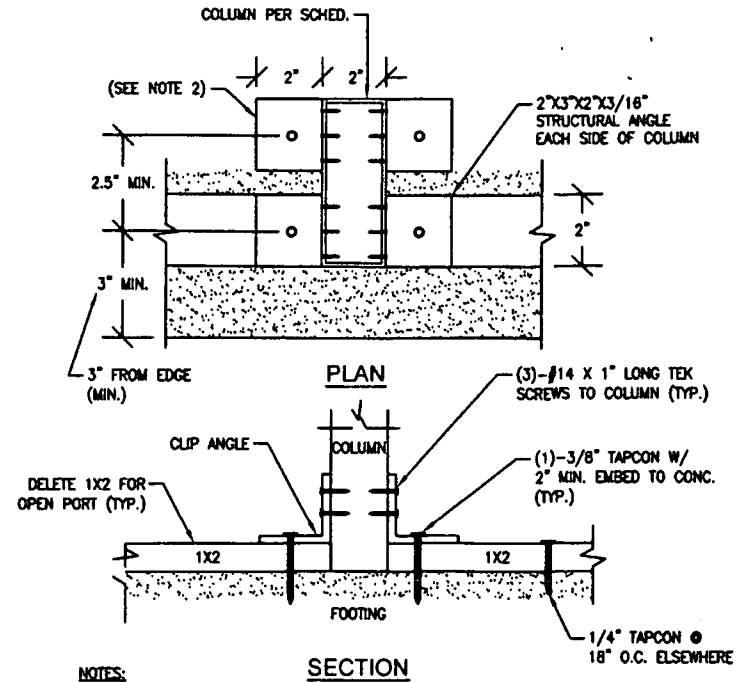
PHONE: (561) 573-1679

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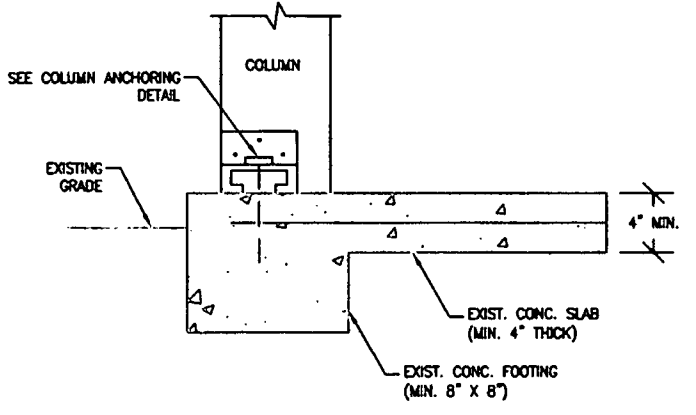
DATE: 02/07/2012
DSGN: E. KENNEDY
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CHKD: E. KENNEDY
SCALE: AS SHOWN



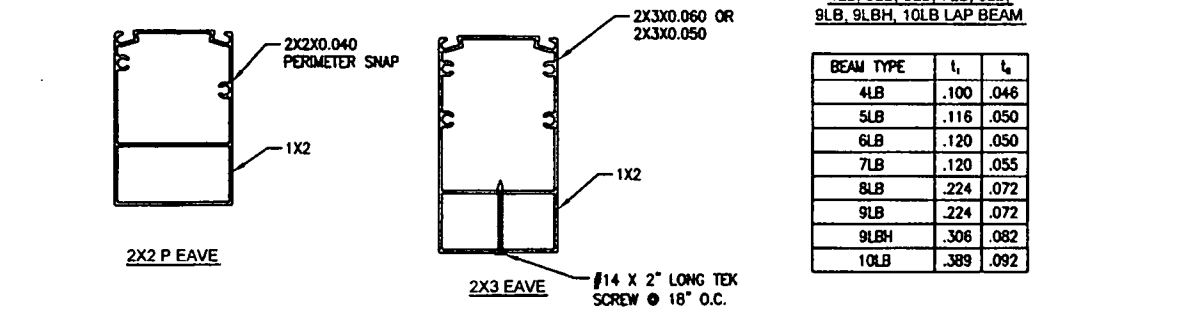
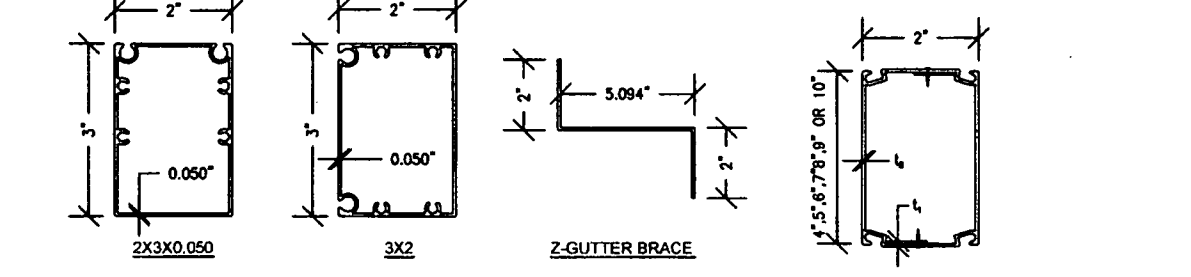
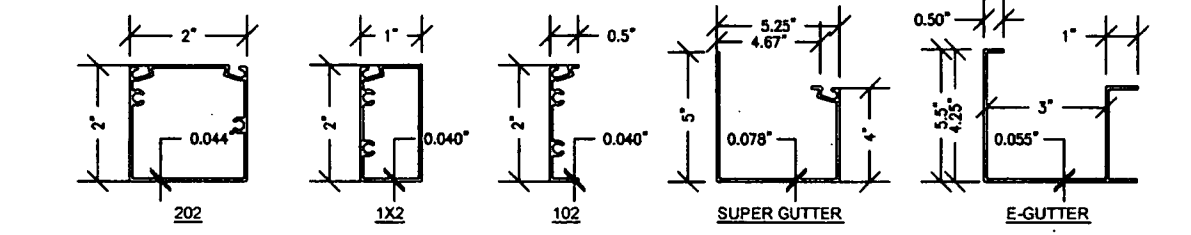
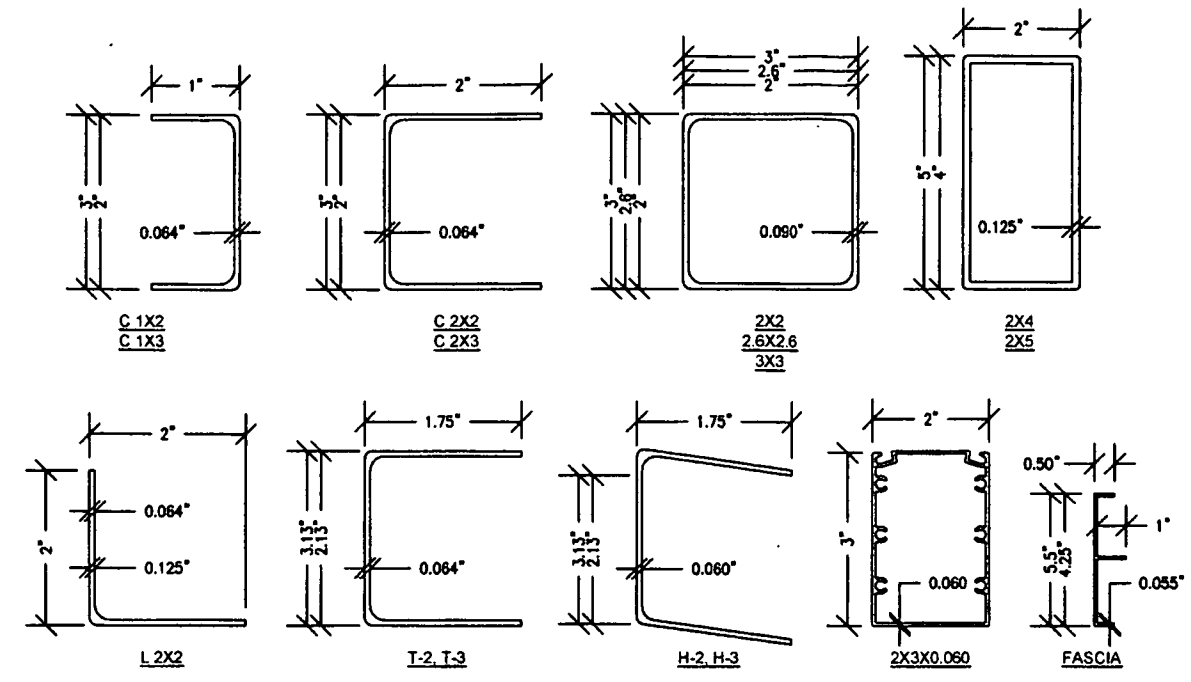
CORNER COLUMN
N.T.S.



COLUMN ANCHORING DETAIL
N.T.S.

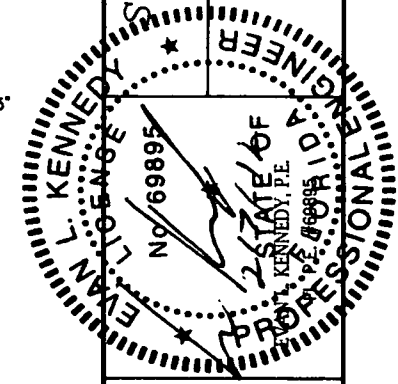


EXIST. SLAB FOOTING
N.T.S.



MEMBER EXTRUSIONS
N.T.S.

BEAM TYPE	t ₁	t ₂
4LB	.100	.046
5LB	.116	.050
6LB	.120	.050
7LB	.120	.055
8LB	.224	.072
9LB	.224	.072
9LBH	.306	.082
10LB	.389	.092



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DATE: 02/07/2012
DSGN: E. KENNEDY
DRWN: E. KENNEDY
CHKD: E. KENNEDY
SCALE: AS SHOWN

SCREEN BEAM SCHEDULE WITH MANSARD ROOF (MAX. BEAM SPAN)

BEAM	COLUMN SPACING W/ UP TO 8' COLUMN HEIGHT					BEAM	COLUMN SPACING W/ UP TO 10' COLUMN HEIGHT					BEAM	COLUMN SPACING W/ UP TO 12' COLUMN HEIGHT					BEAM	COLUMN SPACING W/ UP TO 16' COLUMN HEIGHT					BEAM	COLUMN SPACING W/ UP TO 20' COLUMN HEIGHT				
	4'	5'	6'	7'	8'		4'	5'	6'	7'	8'		4'	5'	6'	7'	8'		4'	5'	6'	7'	8'		4'	5'	6'	7'	8'
3' MANSARD	4LB	16'-0"	11'-10"	7'-9"		4LB	13'-0"	7'-5"		4LB	9'-6"				4LB	15'-0"	7'-0"				4LB	17'-11"	9'-1"						
	5LB	23'-10"	19'-5"	16'-2"	13'-4"	5LB	22'-0"	17'-3"	13'-6"	9'-9"	5LB	20'-0"	14'-9"	9'-10"	5LB	15'-0"	7'-0"				5LB	8'-0"							
	6LB	28'-5"	24'-3"	20'-11"	18'-0"	6LB	27'-2"	22'-5"	18'-6"	15'-6"	6LB	25'-7"	22'-7"	16'-0"	6LB	22'-1"	16'-0"	10'-0"			6LB	17'-11"	9'-1"						
	7LB	33'-1"	28'-6"	24'-10"	22'-0"	7LB	31'-9"	27'-0"	23'-2"	20'-0"	7LB	30'-1"	25'-0"	21'-2"	7LB	27'-7"	21'-10"	16'-9"	12'-2"		7LB	24'-6"	17'-7"	10'-10"					
	8LB	41'-2"	38'-2"	35'-0"	34'-2"	8LB	41'-2"	38'-1"	36'-3"	33'-0"	8LB	41'-2"	38'-2"	35'-4"	8LB	40'-11"	38'-11"	33'-2"	29'-1"	25'-6"	8LB	41'-0"	35'-8"	30'-6"	25'-10"	22'-0"			
	9LB	48'-6"	45'-2"	42'-6"	40'-2"	9LB	48'-6"	44'-10"	42'-5"	40'-3"	9LB	48'-4"	45'-0"	42'-4"	9LB	48'-0"	44'-11"	42'-0"	37'-6"	33'-11"	9LB	48'-5"	45'-0"	39'-11"	35'-2"	31'-6"			
	9LBH	50'-1"	47'-6"	44'-10"	42'-6"	9LBH	50'-1"	47'-0"	44'-0"	42'-0"	9LBH	50'-1"	47'-0"	43'-2"	9LBH	51'-0"	46'-0"	43'-2"	40'-0"	36'-4"	9LBH	50'-6"	47'-2"	41'-0"	37'-11"	34'-1"			
	10LB	56'-5"	52'-4"	49'-2"	46'-10"	10LB	56'-5"	52'-4"	49'-2"	46'-10"	10LB	56'-5"	52'-3"	49'-2"	10LB	56'-5"	52'-4"	49'-3"	46'-0"	43'-0"	10LB	56'-0"	51'-10"	48'-11"	45'-0"	41'-1"			
4' MANSARD	4LB	12'-0"				4LB	6'-0"			4LB	6'-0"			4LB	15'-0"	7'-2"				4LB									
	5LB	21'-2"	16'-6"	12'-3"	8'-3"	5LB	18'-4"	12'-6"	6'-6"	5LB	15'-0"	7'-2"		5LB	21'-11"	16'-0"	10'-0"			5LB	16'-0"								
	6LB	26'-6"	21'-11"	18'-0"	13'-11"	6LB	23'-8"	19'-1"	14'-7"	6LB	21'-7"	16'-0"	10'-0"	6LB	16'-0"					6LB	6'-6"								
	7LB	31'-4"	26'-3"	21'-11"	19'-0"	7LB	29'-6"	24'-3"	20'-0"	7LB	27'-7"	21'-9"	16'-10"	7LB	22'-6"	16'-0"	8'-0"			7LB	17'-10"								
	8LB	41'-2"	38'-0"	36'-3"	31'-7"	8LB	41'-2"	38'-0"	34'-3"	8LB	41'-0"	37'-11"	33'-1"	8LB	41'-0"	35'-1"	29'-6"	25'-0"	20'-7"	8LB	39'-0"	31'-8"	25'-6"	20'-0"	14'-4"				
	9LB	48'-5"	45'-0"	41'-7"	38'-11"	9LB	48'-2"	45'-0"	42'-2"	39'-0"	9LB	48'-2"	45'-0"	41'-9"	9LB	48'-4"	44'-8"	39'-0"	34'-1"	29'-6"	9LB	48'-6"	42'-5"	36'-2"	31'-0"	26'-7"			
	9LBH	50'-1"	47'-6"	44'-10"	41'-0"	9LBH	50'-1"	47'-0"	44'-0"	40'-0"	9LBH	50'-1"	47'-0"	43'-0"	9LBH	51'-0"	45'-8"	42'-6"	36'-9"	32'-11"	9LBH	50'-6"	44'-0"	39'-4"	33'-0"	29'-8"			
	10LB	56'-5"	52'-4"	49'-2"	46'-10"	10LB	56'-5"	52'-4"	49'-2"	46'-11"	10LB	56'-5"	52'-4"	49'-2"	10LB	56'-5"	52'-4"	49'-0"	44'-6"	40'-6"	10LB	56'-0"	52'-11"	47'-4"	42'-1"	37'-7"			

EAVE MEMBER SCHEDULE (MAX. SPAN)

EAVE MEMBER	DISTANCE FROM EAVE MEMBER TO CHAIR RAIL BELOW WITH FLAT ROOF				EAVE MEMBER	DISTANCE FROM EAVE MEMBER TO CHAIR RAIL BELOW WITH 3' MANSARD				EAVE MEMBER	DISTANCE FROM EAVE MEMBER TO CHAIR RAIL BELOW WITH 4' MANSARD			
	6'	7'	8'	9'		6'	7'	8'	9'		6'	7'	8'	9'
2X2X0.040	8'-0"	8'-0"	8'-0"	7'-6"	2X2X0.040	8'-0"	7'-2"	6'-6"	6'-2"	2X2X0.040	7'-5"	6'-9"	6'-2"	5'-9"
2X3X0.050	8'-0"	8'-0"	8'-0"	8'-0"	2X3X0.050	8'-0"	8'-0"	7'-10"	7'-0"	2X3X0.050	8'-0"	8'-0"	7'-6"	6'-10"
2X3X0.060	8'-0"	8'-0"	8'-0"	8'-0"	2X3X0.060	8'-0"	8'-0"	8'-0"	8'-0"	2X3X0.060	8'-0"	8'-0"	8'-0"	8'-0"

COLUMN SCHEDULE WITH SCREEN FABRIC ROOF (MAX. COLUMN HEIGHT)

COLUMN	MAXIMUM COLUMN HEIGHT W/ UP TO 30' ROOF BEAM								COLUMN	MAXIMUM COLUMN HEIGHT W/ UP TO MAX 60' ROOF BEAM									
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"		8'-0"	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
4LB	12'-2"	11'-6"	10'-11"	10'-5"	9'-11"	9'-6"	9'-2"	8'-11"	8'-7"	4LB	11'-10"	11'-1"	10'-6"	10'-0"	9'-7"	9'-7"	8'-11"	8'-7"	8'-4"
5LB	15'-1"	14'-2"	13'-6"	12'-11"	12'-4"	11'-10"	11'-5"	11'-0"	10'-8"	5LB	14'-8"	13'-10"	13'-1"	12'-6"	12'-0"	12'-0"	11'-1"	10'-8"	10'-4"
6LB	17'-4"	16'-4"	15'-6"	14'-10"	14'-1"	13'-7"	13'-1"	12'-7"	12'-2"	6LB	16'-11"	16'-0"	15'-1"	14'-5"	13'-10"	13'-10"	12'-10"	12'-4"	11'-10"
7LB	19'-7"	18'-6"	17'-6"	16'-8"	16'-0"	15'-5"	14'-10"	14'-4"	14'-0"	7LB	19'-2"	18'-1"	17'-2"	16'-5"	15'-8"	15'-8"	14'-5"	13'-11"	13'-5"
8LB	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	19'-11"	19'-4"	8LB	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	19'-7"	18'-11"
9LB	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	9LB	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"
9LBH	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	9LBH	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"
10LB	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	10LB	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"	20'-0"

CHAIR RAIL SCHEDULE (MAX. SPAN)

RAIL MEMBER	LENGTH OF VERTICAL LOAD ON CHAIR RAIL					
	4'	5'	6'	7'	8'	9'
2X3X0.050	9'-11"	8'-10"	8'-0"	7'-6"	7'-0"	6'-8"
2X3X0.060	11'-0"	11'-0"	10'-5"	9'-9"	9'-2"	8'-8"
2X4X0.050	11'-0"	10'-8"	9'-8"	8'-11"	8'-4"	7'-11"

BEAM PROPERTIES

BEAM	TYPE	SIZE		THICKNESS	
		b (INCHES)	d (INCHES)	t1 (INCHES)	t2 (INCHES)
4LB	LAP BEAM	2.0	4.0	0.001	0.046
5LB	LAP BEAM	2.0	5.0	0.116	0.500
6LB	LAP BEAM	2.0	6.0	0.120	0.500
7LB	LAP BEAM	2.0	7.0	0.120	0.550
8LB	LAP BEAM	2.0	8.0	0.224	0.072
9LB	LAP BEAM	2.0	9.0	0.224	0.072
9LBH	LAP BEAM	2.0	9.0	0.306	0.082
10LB	LAP BEAM	2.0	10.0	0.389	0.092
DEL10LB	LAP BEAM	2.0	10.0	0.389	0.092

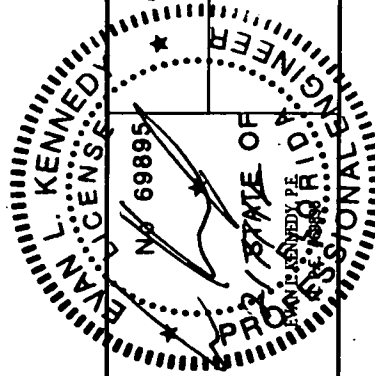
SCREEN BEAM SCHEDULE W/ FLAT ROOF (MAX. BEAM SPAN)

BEAM	UP TO 20' COLUMN HEIGHT				
	4'	5'	6'	7'	8'
4LB	19'-4"	17'-11"	16'-5"	15'-1"	14'-2"
5LB	23'-11"	22'-2"	20'-11"	19'-5"	18'-1"
6LB	27'-8"	25'-10"	24'-2"	22'-8"	21'-4"
7LB	31'-7"	29'-5"	27'-7"	26'-2"	24'-6"
8LB	41'-2"	38'-2"	36'-0"	34'-2"	32'-8"
9LB	45'-2"	42'-0"	39'-6"	37'-6"	35'-11"
9LBH	48'-10"	45'-4"	42'-7"	40'-6"	38'-8"
10LB	56'-5"	52'-4"	49'-2"	46'-10"	44'-8"

- SCHEDULE DESIGN NOTES:**
- 1) THESE PLANS CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2007 EDITION WITH 2009 SUPPLEMENTS, THE 2010 ALUMINUM DESIGN MANUAL, AND ASCE 7-05.
 - 2) MAXIMUM SPANS SPECIFIED ARE BASED ON DESIGN PRESSURES FROM FBC TABLE 2002.4 WITH BASIC WIND SPEED = 140 MPH, EXPOSURE B, IMPORTANCE FACTOR = 0.77, AND 18 X 14 MESH WITH > 60% SCREEN OPENINGS.
 - 3) DESIGN PRESSURES ARE 5.3 PSF ROOF + 18.5 PSF WALL COMBINED LOAD AND 300 LB NON-COMBINED LOAD.
 - 4) LOADS ARE APPLIED SIMULTANEOUSLY TO WALL & ROOF.
 - 5) DESIGN IS BASED ON 6005-T5 ALUMINUM ALLOY.
 - 6) DESIGN MEETS L/60 DEFLECTION REQUIREMENTS.
 - 7) LINEAR INTERPOLATION IS ALLOWED BETWEEN COLUMN SPACING.

PALM BEACH COUNTY EXPOSURE B SCHEDULES AND NOTES

N.T.S.



EVAN L. KENNEDY, P.E.
 5047 HEATHERHILL LANE, SUITE 4
 BOCA RATON, FL 33486
 EMAIL: evankennedy1@gmail.com
 PH: (561) 573-1679

DATE: 02/07/2012
 DSGN: E. KENNEDY
 DRWN: E. KENNEDY
 CHKD: E. KENNEDY
 SCALE: AS SHOWN
 DWG. No. **5** of **5**

52101

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **8-13-12** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10153	L...		
	Pass	...
	COASTAL SCREEN			INSPECTOR <i>[Signature]</i>
10027	GOODIE			
PM	25 S. RIVER RD PARKS	SLAB	Pass	INSPECTOR <i>[Signature]</i>
10180	Campo	A/C		
9:00	12 RIO VISTA FLYNNS	FINAL	Pass	CLAE INSPECTOR <i>[Signature]</i>
10176	Armstrong 41 W High Pt Scott Holmes	columns	Pass	... INSPECTOR <i>[Signature]</i>
10181	Howley 14 Cranes Nest JB Alum.	window & door attachment	FAIL	NOT READY INSPECTOR <i>[Signature]</i>
10140	Lizars 4 ISLAND SPS	Window FINAL	Fail	NOT READY INSPECTOR <i>[Signature]</i>
10151	Bailey 7 Persimble Cir Ferrell Gas	Final Reschedule for Tues OK INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **8-13-12** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10153	LAWLESS	SCREEN		
10153	12 MANDALAY COASTAL SCREEN	FINAL	PASS	CLOSE INSPECTOR <i>[Signature]</i>
10027	GOUDIL			
PM	25 S. RIVER RD PARKS	SLAB	PASS	INSPECTOR <i>[Signature]</i>
10180	Campo	A/C		
9:00	12 RIO VISTA FLYNAS	FINAL	PASS	CLOSE INSPECTOR <i>[Signature]</i>
10176	Armstrong	columns		
	41 W High Pt Scott Holmes		PASS	CLOSE INSPECTOR <i>[Signature]</i>
10181	Howley	window & door		
	14 Cranes Nest JB Alum.	attachment	FAIL	NOT READY INSPECTOR <i>[Signature]</i>
10140	Lizars			
	4 ISLAND SPS	Window FINAL	FAIL	NOT READY INSPECTOR <i>[Signature]</i>
10151	Barley	Final		
10151	Herronville Cir Terrell and	Final	Pass	Reschedule for Tues INSPECTOR <i>[Signature]</i>

TREE

REPLACE, REMOVE, RELOCATE

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/2, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6752	LANGER	RETAINING WALL	FAIL	
1	3 LOFTING WAY FLORIDA'S FINEST			\$AD. FEE INSPECTOR: <i>[Signature]</i>
Tree	PHANEUF	TREE	PASS	
2	12 MANDALAY			INSPECTOR: <i>[Signature]</i>
6470	JAMES	FINAL REMODEL KITCHEN		CANCEL CRUSSY
	S.S. RIDGEVIEW DR MEL RY CONSTR.			INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
OTHER:				

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Charles A Phaneuf Address 12 Mandalay Rd Phone 283 8733

Contractor Sounier Address Palm City Phone _____

No. of Trees: REMOVE 1 Type: Brazilian Peper

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: _____

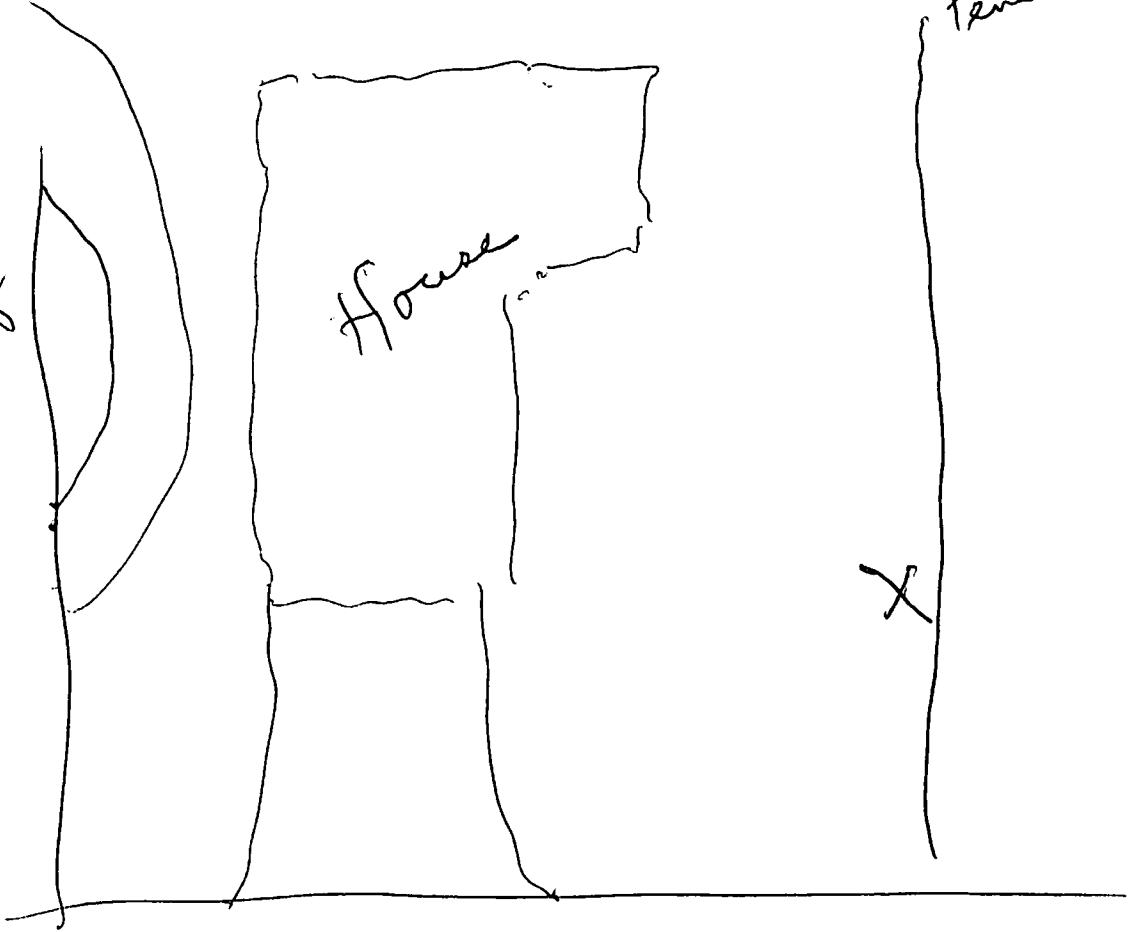
Signature of Applicant Charles A Phaneuf Date June 1

Approved by Building Inspector: [Signature] Date 6/2/04 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

10

Mandolay



River Rd



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

OK

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Charles A. PHANEUF Address [REDACTED] Phone 283 8933

Contractor Tree Experts Address _____ Phone 288 6759

No. of Trees: REMOVE 1 Type: Palm

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

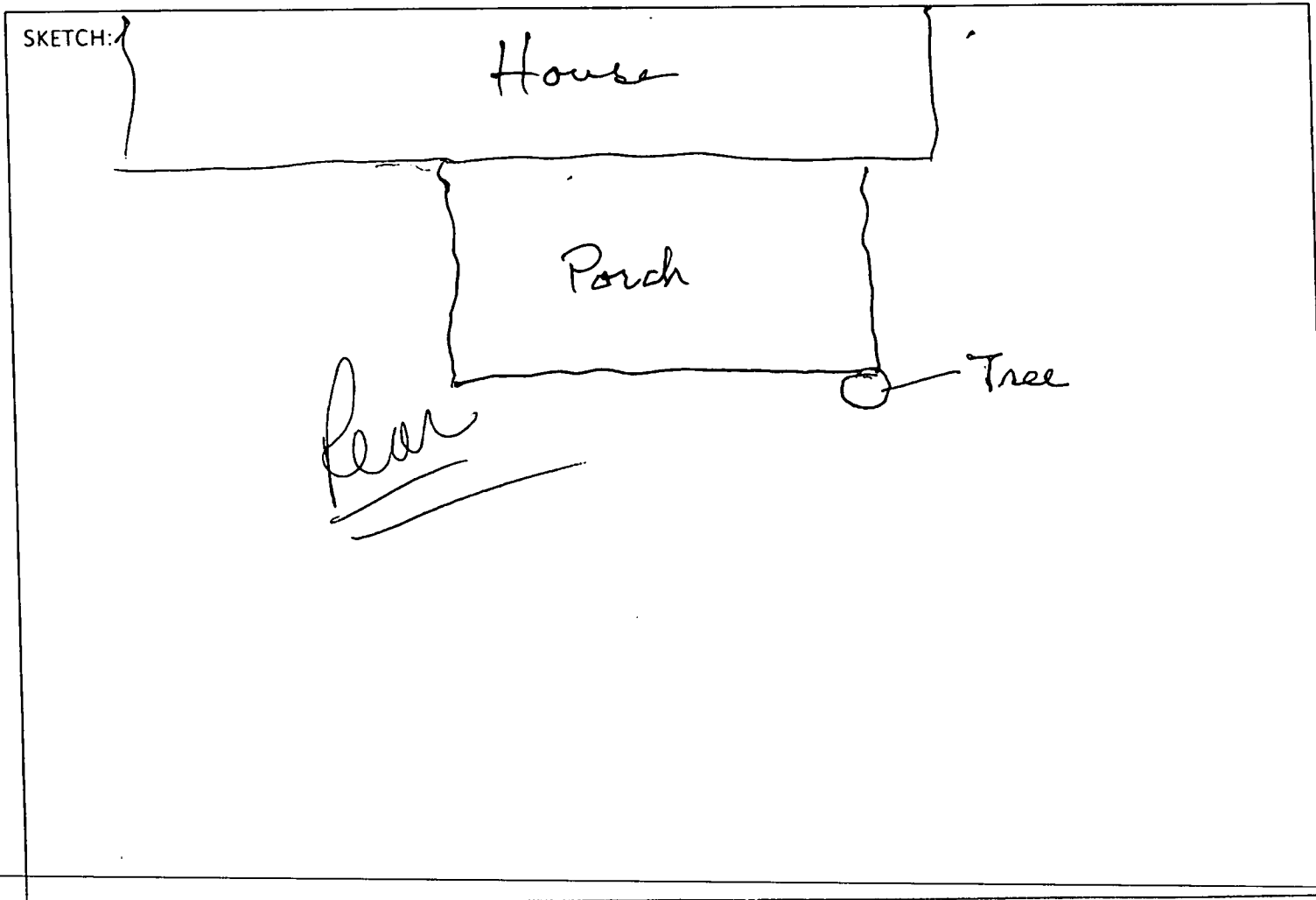
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Reason for tree removal /relocation Growing against house (Porch) Rodents have access to Roof

Signature of Property Owner Charles A. Phaneuf Date 4-14-2008

Approved by Building Inspector: [Signature] Date 4/14 Fee: 0

NOTES: _____





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Charles A Phaneuf Address 12 MANDALAY RD Phone 772 283 8733

Contractor Tree Experts Address _____ Phone 260 9235

No. of Trees: REMOVE 1 Species: FICUS

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

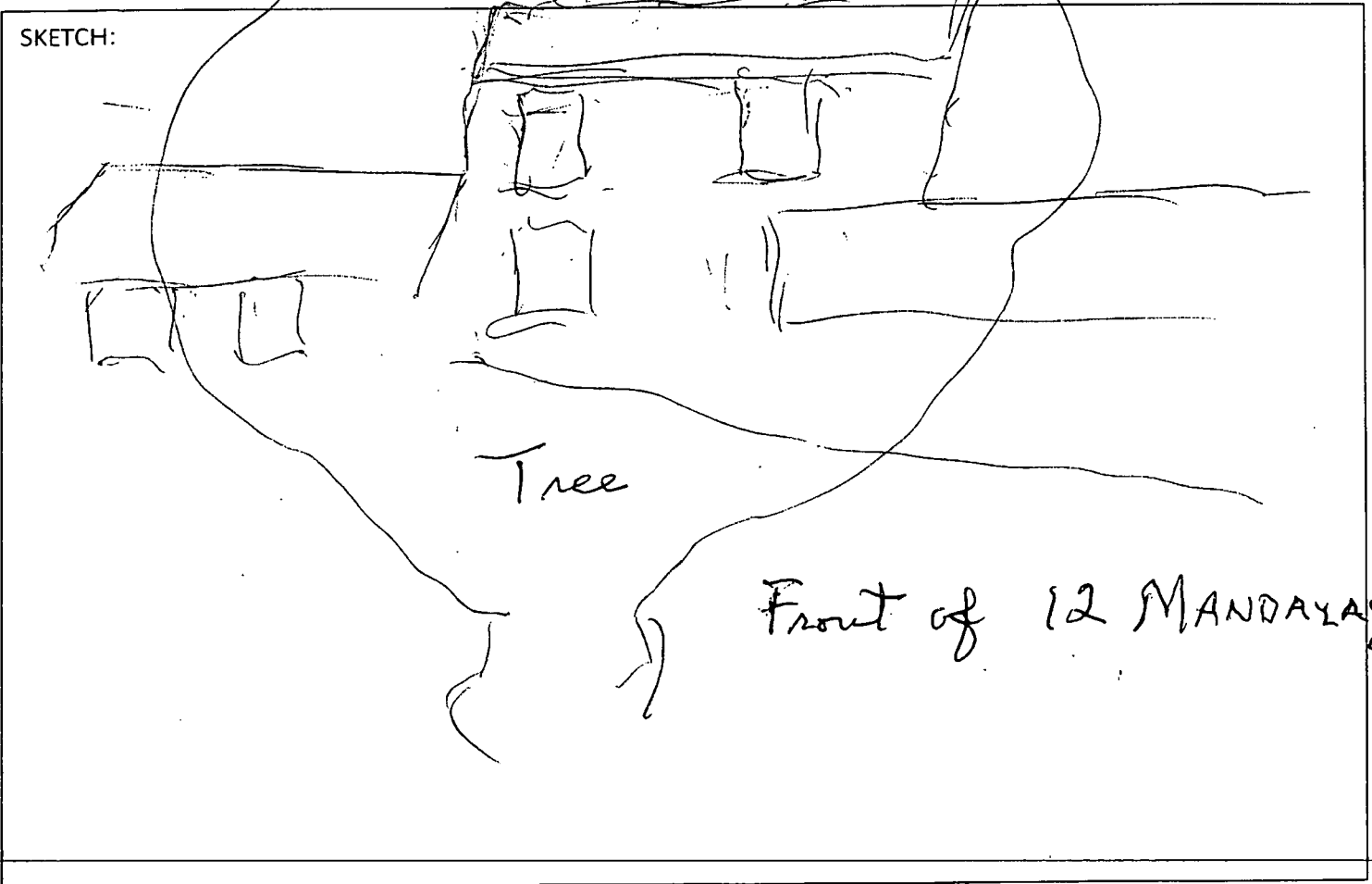
Reason for tree removal /relocation (See notice above) SEPTIC TANK INTERERANCE

Signature of Property Owner Charles A. Phaneuf Date 3-24-9

Approved by Building Inspector: [Signature] Date 3/25 Fee: —

NOTES: _____

SKETCH:





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

X

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Shawn Lawless Address [REDACTED] Phone 407/230-5284

Contractor N/A Address _____ Phone _____

No. of Trees: REMOVE 3 Species: Sable - hanging over road

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE 3 Species: Royal palms

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

Reason for tree removal/relocation (See notice above) Danger hanging over road.

will put 3 native trees on property to replace

Signature of Property Owner [Signature] Date 9/22/11

Approved by Building Inspector [Signature] Date 9/23/11 Fee: _____

NOTES: Trees appear to be on town property (road)

SKETCH:

