

17 Mandalay Road

184

SIGN

TOWN OF SEWALL'S POINT - FLORIDA

Application For Building Permit

Owner Arbogast & Reed Present Address Stuart Phone 7
 Architect Hodapp Const. Address Stuart
 General Contractor Hodapp Const. Address Stuart Phone 287-0142
 Where Licensed Maitre - city License No. _____
 Plumbing Contractor ✓ Where Licensed _____ No. _____
 Electrical Contractor ✓ Where Licensed _____ No. _____
 Property Location Sewall's Point Subdivision Mandalay Lot No. _____
 Lot Dimensions _____ Lot Area _____ Sq. Ft. _____
 Purpose of Building Advance Sign Type of Construction Brick
 Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)
 Outside of Walls _____ Inside of Walls _____
 Street or Road building will front on _____
 Clearances - Front _____ Back _____ Side _____ Side _____ River _____
 Well Location _____ Septic Tank Location _____
 Building elevation (By Ordinance Definition) _____
 Contract Price (Include Plumbing, Electrical, Air Conditioning) _____

<u>PERMIT FEE</u>	<u>New Home</u>	<u>Additions</u>	<u>Others</u>
General (\$3.00 per \$1000 or Fraction) _____			<u>3.00</u>
Plumbing (Flat Fee) -----	<u>\$10.00</u>	<u>\$3.00</u>	
Electrical (Flat Fee) -----	<u>\$10.00</u>	<u>\$3.00</u>	<u>3.00</u>
Total (To be paid by General Contractor or Owner) -----			<u>\$6.00</u>

SIGNED: - General Contractor or Owner Jack Hodapp
 Building Inspector Comments: _____

FOR TOWN RECORDS: Date Drawings submitted 9/24/69
 Date Permit approved 9/29/69
 Date Permit Fee paid 10/1/69
 Date First Inspection _____
 Date Final Inspection _____
 Date Occupancy approved _____

#184

184

410

SFR

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 410

Date 6-22-73

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner E DOUGLAS REED Present Address 11350 MCGORMICK RD. COCKEYSVILLE MD. Ph 21030

General Contractor SHENANDOAH BLDGS INC. Address 604 N. COCONUT AVE Ph _____

Where licensed MARTIN CO. License No. 44

Plumbing Contractor KEW STONE & SON License No. _____

Electrical Contractor APLINGTON ELECT. License No. _____

Street building will front on MANDALAY ROAD.

Subdivision MANDALAY Lot No. 8 Area 30000+

Building area, inside walls (excluding garage, carport, porches) Sq ft 2690 \$

Other Construction (Pools, additions, etc.) NONE

Contract Price (excluding land, rugs, appliances, landscaping) \$ 90,000

Total cost of permit \$ 470.00 Paid 6/15/73 CR # 21597

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

[Signature]
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

[Signature]
Signed by Owner

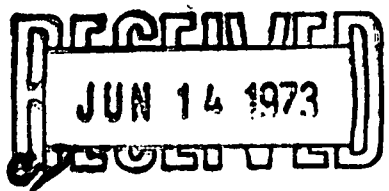
Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted _____

Date approved _____

[Handwritten]
6/18/73



Certificate of Occupancy issued _____ Date 410

Septic Tank Permit # MC 3-707

Building Permit Issued 6-22-73

County Monte

D. P. C. Septic Tank Permit No. MC3-707

County Building Permit No. _____

Remarks: _____

Inspection Results: _____

Approved _____ Disapproved _____

Application/Permit
No. MC-101

DEPARTMENT OF POLLUTION CONTROL
Application and Permit
Of
Individual Sewage Disposal Facilities

Section I - Instructions:

1. Percolation test data, soil profile and watertable elevation information must be attached. (Note: Test must be made at proposed location of System).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

- Notes:
1. Not valid if sewer is available.
 2. Individual well must be 75 feet from any part of system.
 3. Call (305) 464-8525 and give this office an 8-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.) PLT. BK 4, P 86 (MC)
 Lot 8 Block Subdivision MANDALAY SD
 Date Recorded 12-22-69 Directions to Job SEE ATTACHED SHEET
TAKE E. OCEAN BLVD. STUART, TO SEWALLS POINT RD. - TURN SOUTH TO MANDALAY THEN TURN RIGHT TO LOT 8.
2. Owner or Builder SCHENANDOAH BUILDERS
 P. O. Address 604 N. COCONUT City FT. TIERCE, FLA
3. Specifications
3 BEDROOMS

4. House to be constructed:
 Check one: FHA
VA X Conventional X

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: SCHENANDOAH BUILDERS
Please Print

Signature: [Signature] Date:

***** DO NOT WRITE BELOW THIS LINE *****

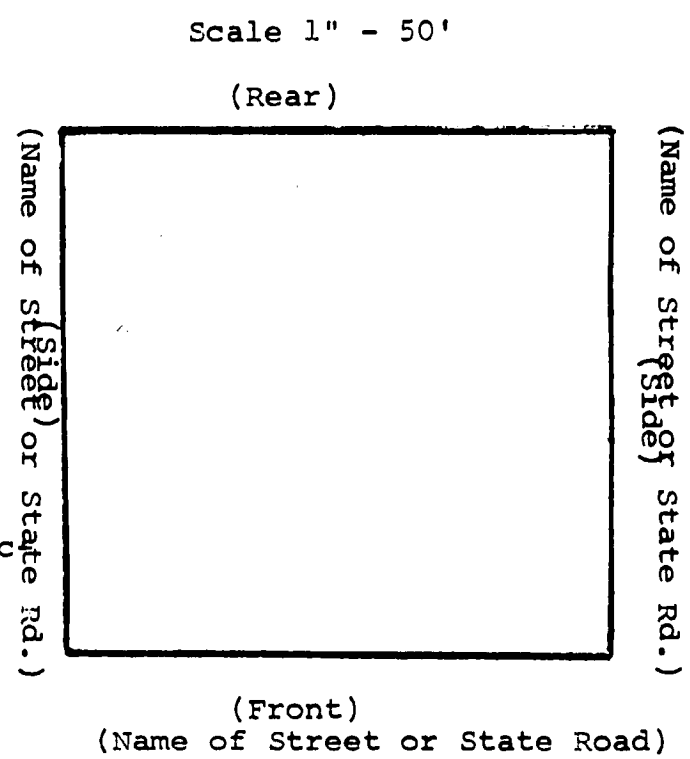
Section III - Application Approval & Construction Authorization

Installation subject to following special conditions:

The above signed application has been found to be in compliance with Chapter 10D-6, DPC rules and construction is hereby approved, subject to the above specifications and conditions.
BY: [Signature] Date: 6-5-73

Section IV - Final Construction Approval

Construction of installation approved: Yes No.
Date: By:
FHA No. VA No.



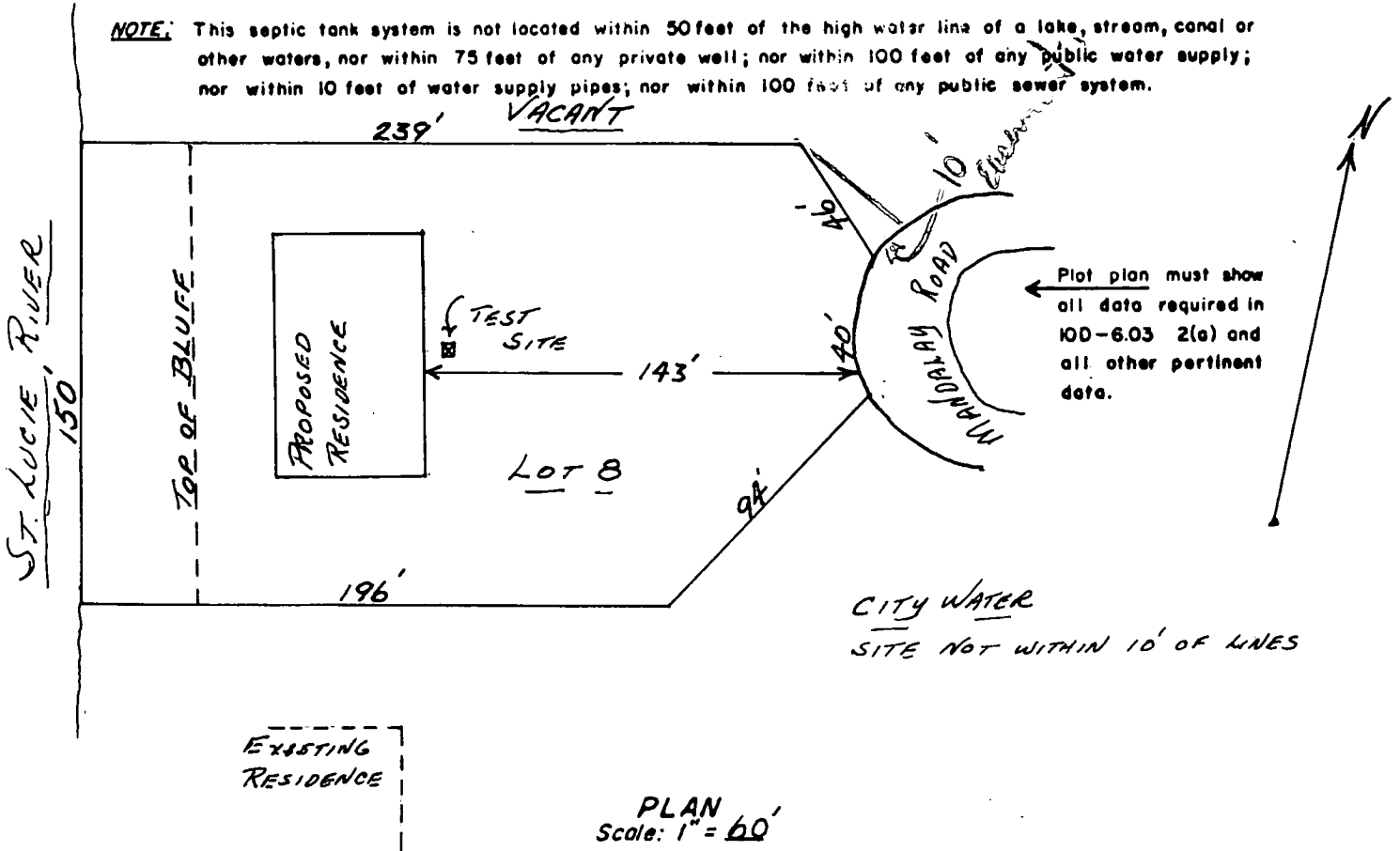
FLORIDA DEPARTMENT OF POLLUTION CONTROL

S. E. Subregion
806 South 6th Street
Fort Pierce, Florida 33450
Tel. (305) 464-8525

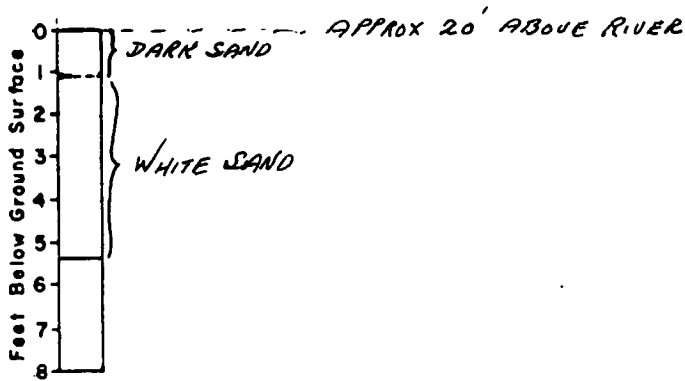
INDIVIDUAL SEWAGE DISPOSAL FACILITIES
DATA SHEET

Location: LOT 8 MANDALAY S/D Applicant: SCHENANDOAH BLDGS.
PT. BK 4, PP 86 (MC) County: MARTIN

NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.



SOIL DATA



SOIL BORING LOG

Soil Identification: CLASS I GROUP SW
Soil Characteristics WELL GRADED
DARK AND WHITE SANDS

Percolation Rate 40 SEC PER INCH min/inch

Water Table Depth 5'

Water Table Depth During Wet Season 4'

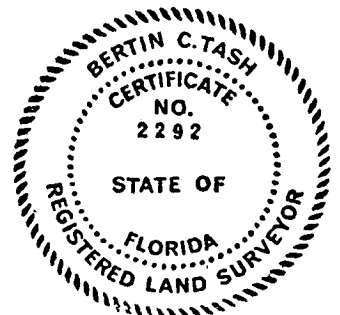
Compacted Fill Of NONE Req'd

Compacted Fill Checked By: _____

Date _____

LEGEND

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location



CERTIFIED BY: Bertin C. Tash

FLORIDA PROFESSIONAL No. 2292

Date 5-31-73 Job No. _____

Sheet _____ of _____

875

POOL

TOWN OF
SEWALL'S POINT
FLORIDA

Permit No. 875

Date 8/30/78

APPLICATION FOR BUILDING PERMIT

This application must be accompanied by three sets of complete plans, to scale ($\frac{1}{4}$ " scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections, plumbing and electrical layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house construction.

- Owner DOUGLAS REED Present address #17 MANDALAY
Phone 283-0240
- General contractor LOUEN POSS address 4306 S. VSA/1
Phone _____ FT PIERCE
Where licensed STATE OF FLORIDA License No. CPC 010400
- Plumbing contractor _____ License No. _____
- Electrical contractor _____ License No. _____
- Name the street on which the building, its front building line and its front yard will face _____
- Subdivision MANDALAY Lot No. 8 Area _____
- Building area, inside walls (excluding garage, carport, porches, etc.)..square feet _____
- Other construction (pools, additions, etc.) 324 sq ft
- Contract price (excluding land, carpeting, appliances, landscaping, etc) \$ 8500
- Total cost of permit \$ ~~8500~~ 5400
- Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building must be completed in accordance with the approved plan, and that the site will be clean and rough-graded within the 12 month period.

Robert J. Hawry
General Contractor

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood.

Douglas Reed
Owner

Note: speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted _____

Approved: Charles A. Orjose 9/6/78
Building Inspector Date

Approved: For the Sewall's Point Commission 30 Aug '78
Commissioner Date

Certificate of Occupancy issued Final checked by
Orjose, O.R. Date 875

3312

RE-ROOF

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3312

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner CHARLES WALTERS Present Address 17 S.E. MANDALAY ROAD
Phone 407-287-9352 STUART 34996

Contractor PANACHE CONSTRUCTION Address P.O. Box 995 STUART FL 34995
Phone 407-287-5103

Where licensed STATE License number CGCA07037

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: RE-ROOF CEMENT TILE NOW

PUT BACK CEMENT TILE ROOF

State the street address at which the proposed structure will be built:

17 S.E. MANDALAY ROAD Sewall's Point

Subdivision _____ Lot number 22 Block number _____

Contract price \$ 18,600.00 Cost of permit \$ 100.00

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Dog DAN CARTWRIGHT

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Charles Walters

TOWN RECORD

Date submitted 1/4/93 Approved: Dale Brown 1/4/93
Building Inspector Date

Approved: [Signature] 1/4/93 Final Approval given: _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282 Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

34-38-42-05-000-25-00-22-01

MUST BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00.

Permit No. 977822

Tax Folio No. 343842 05 00 25 00 - 2201

NOTICE OF COMMENCEMENT

State of Florida
County of Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of Property (include street address, if available)
17 S.E. MANDALAY ROAD STUART "Sewall's Point"

General Description of Improvements: RE - ROOF

Owner: CHARLES WALTERS

Address: 17 S.E. MANDALAY ROAD STUART FLA. 34996

Owner's interest in property: _____

Fee Simple Title Holder (if other than owner): _____

Address: _____

Contractor: PANACHE CONSTRUCTION

Address: P.O. BOX 995 STUART, FL. 34995

Surety Co. (if any) _____

Address: _____

Lender's Name: _____

Address: _____

Persons within the State of Florida designated by Owner upon whom notices of other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes:

Name: PANACHE CONSTRUCTION

Address: P.O. BOX 995 STUART FL. 34995

In addition to himself, Owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified) _____.

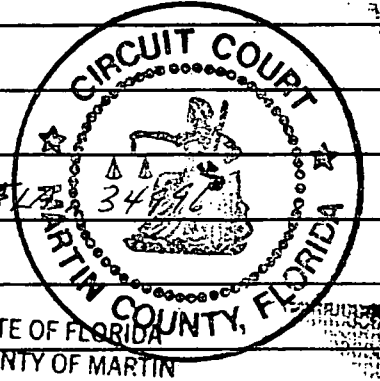
Charles Walters
Signature of Owner

Sworn to and subscribed before me this 4th day of January 1993

Don H. Bamou
Notary Public

My Commission Expires:

Notary Public, State of Florida
My Commission Expires Nov. 16, 1994
Bonded Thru Troy Fain - Insurance Inc.



STATE OF FLORIDA
COUNTY OF MARTIN

THIS IS TO CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHA STILLER, CLERK
BY Charlote Bule D.C.
Amt. of Bond \$ _____
DATE 1-4-93

3395

ADDITION

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

DO NOT REMOVE UNTIL JOB IS COMPLETED

OWNER Mr Salvatore Merola

CONTRACTOR Jardera Builders

LOT 8 BLOCK _____ SUB Mandalay

NO. 17 Mandalay PR

NO. 3395 DATE ISSUED 5/25/93

Call 287-2455 From 8:00 A.M. - 12:00 Noon and
1:00 P.M. - 4:00 P.M. For Inspections of Items 1 thru 13.

TOWN OF SEWALL'S POINT BUILDING PERMIT

- REQUESTS FOR INSPECTIONS REQUIRE AT LEAST 24 HOURS NOTICE.
- ALL WORK MUST BE IN COMPLIANCE WITH THE TOWN OF SEWALL'S POINT ORDINANCES, THE SOUTH FLORIDA BUILDING CODE, THE STATE OF FLORIDA ENERGY EFFICIENCY BUILDING CODE AND ELEVATIONS BASED ON THE LATEST FLOOD INSURANCE RATE MAP.
- PORTABLE TOILET FACILITIES MUST BE ON JOB SITE BEFORE INITIAL INSPECTION.
- WORKING HOURS ARE FROM 8:00 TO 5:00 P.M. MONDAY THRU SATURDAY.

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
1. LOT STAKES/SET BACKS		
2. TERMITE PROTECTION	Pool deck OK 9/20/93 DB	
3. FOOTING - SLAB	FD footer OK 6/10/93 DB Slab OK 6/17/93 DB	
4. ROUGH PLUMBING	OK 6/16/93 DB porch slab OK 8/6/93 DB	
5. ROUGH ELECTRIC	OK 8/12/93 DB OK 8/17/93 DB	
6. LINTEL	Beam OK 6/28/93 DB	
7. ROOF	sheets nail OK 7/19/93 DB FLASHING OK 7/23/93 DB	
8. FRAMING	OK	8/12/93 DB
9. INSULATION	OK	8/12/93 OK 9/20/93 DB
10. A/C DUCTS	OK	8/12/93 DB
11. FINAL ELECTRIC		
12. FINAL PLUMBING		
13. FINAL CONSTRUCTION		

TO CONSTRUCT Rem house

REMARKS:

DB Floor frame OK 8/17/93 DB

06-17-93
Patrick
Exterminating Inc.
P.O. BOX 249
HOBE SOUND, FL 33475 - 0249
407-546-3722
17 Mandalay

TAX FOLIO NO

DATE

3395
APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner SALVATORE MEROLA Present Address 17 MANDALAY DR.

Phone 220-2301 STUART, FLA.

Contractor John Erikson Address 4159 OLD ST. LUCIE BLVD.
~~JORDAN BUILDERS, INC.~~

Phone 286-5155 / 283-9011 ex 130

Where licensed MARTIN COUNTY License Number MC00160

Electrical Contractor LEONARD BROS. License Number EC0001282

Plumbing Contractor WHITE PLUMBING License Number 60 - RF0036355

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: EXISTING SINGLE FAMILY RESIDENCE - ENTRY AND BATH

ADDITIONS WITH INTERIOR REMODELING
State the street address at which the proposed structure will be built:

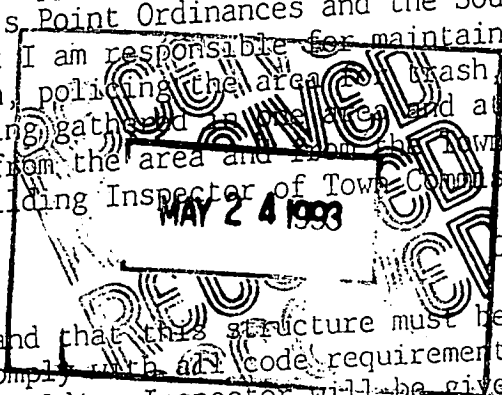
17 MANDALAY DR. - STUART, FLA.

Subdivision MANDALAY Lot Number 8 Block Number 8 Book 4 PAGE 6

Contract Price \$ 215,000 Cost of Permit \$ 2,140.00

Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector of Town Commissioner "Red-Tagging" the construction project.



I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given:

Contractor J R D Erikson
Owner Salvatore Merola

TOWN RECORD
Date submitted _____ Approved: Dale Brown 5/25/93
Building Inspector Date

Approved: A. R. Chandler 5/25/93 Final Approval given: _____ Date
Commissioner Date

Certificate of Occupancy issued (if applicable) _____ Date

Permit No. _____

Permit No. 3395

Tax Folio No. 13-38-41-000-00080-60000

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF MARTIN

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property

Lot 8 , Mandalay Subdivision, as recorded in Plat Book 4, Page 86, public records of Martin County, Florida, together with a portion of Lot 9 as further described in OR Book 1006, Page 0048 public records of Martin County, Florida.

Address: 17 Mandalay Drive, Stuart, Florida

2. General description of improvement: Remodeling and additions

3. Owner information:

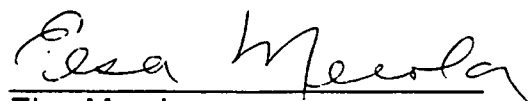
a. Name and address: Salvatore R. Merola and Elsa Merola, his wife

b. Interest in property: Fee simple

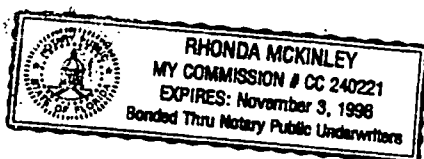
4. Contractor name and address: The David Company of South Florida, Inc.
819 South Federal Highway, Suite 201
Stuart, Florida 34994

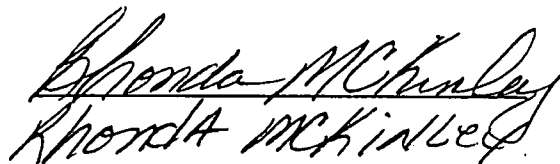
5. The expiration date of this notice of commencement is 1 year from the date of recording.


Salvatore R. Merola


Elsa Merola

Sworn to and subscribed by me this 16 day of June, 1993.




Rhonda McKinley

This instrument prepared by: Keith A. Lowe 819 S. Federal Hwy., #201 Stuart, Florida 34994

RECEIVED JUN 21 1993

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF MARTIN

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13, Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT. This notice shall be void and of no force and effect if construction is not commenced within 30 days of recordation.

DESCRIPTION OF PROPERTY:

General description of improvements: REMODELING & ADDITIONS

Owner: SALVATORE MEROLA
Address: 17 MANDALAY DR. - STUART, FLA. 34996

Owner's interest in site of the improvement: TOTAL

Contractor: JODERE BUILDERS, INC.
Address: 4159 OLD ST. LUCIE BLVD.

Surety (if any): N/A
Address: _____
Amount of Bond: _____

Lender: N/A
Address: _____

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name: N/A
Address: _____

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.06(2)(b), Florida Statutes:

Name: N/A
Address: _____

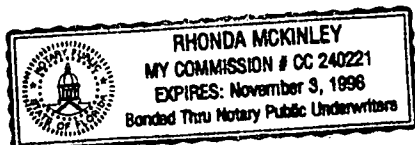
[Signature]

Sworn to and subscribed before me this 20 day
of May, 1993

(NOTARY SEAL)

[Signature]

I am a Notary Public of the
STATE OF FLORIDA AT LARGE, and
My Commission Expires:
Rhonda McKinley 11-3-96



FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (561) 461-7508

VERO BEACH: (561) 567-6167

STUART: (561) 293-7711

Report of DENSITY OF SOIL IN PLACE ASTM D2922

Client Bronco Construction

Date February 11, 1997

Contractor Client

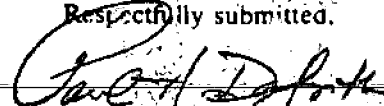
Site 17 Mandalay, Sewalls Point
Garage Addition

Permit #4105

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max Dry Density	
2793	S.W. Corner	0 - 1'	106.6	2793	108.2	98.5
	Center	0 - 1'	107.2			99.1
	"	1 - 2'	106.3			98.2
	N.E. Corner	0 - 1'	107.0			98.9
	"	1 - 2'	106.5			98.4
	All elevations below slab grade.					

Copies Client - 1
Sewalls Point Bldg. Dept. - 1

Respectfully submitted,



PAUL H. DANFORTH, P.E.

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (561) 461-7508

VERO BEACH: (561) 567-6167

STUART: (561) 283-7711

Report
of
MOISTURE DENSITY RELATIONSHIP
ASTM 1557-70

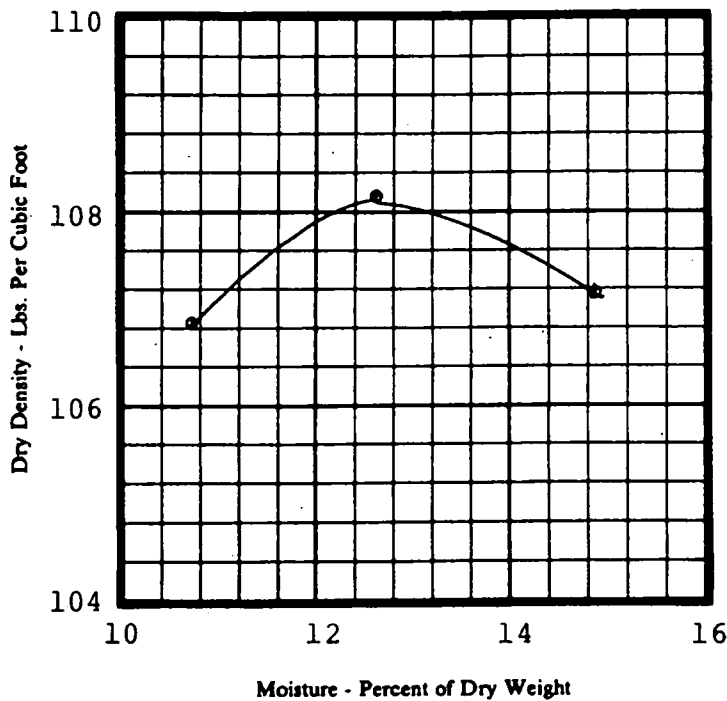
Client Bronco Construction

Date February 11, 1997

Contractor Client

Site 17 Mandalay, Sewalls Point
Garage Addition

Permit #4105



Test No.	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P.C.F.	Soil Description
2793	B	Composite	12.6	108.2	Light brown and gray fine sand.

Copies

Respectfully submitted,

PAUL H. DANFORTH, P.E.

JON E. CHICKY, SR.
Mayor

ROBERT M. WIENKE
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

CYRUS KISSLING
Commissioner

DONALD B. WINER
Commissioner

TOWN OF SEWALL'S POINT



JOAN H. BARROW
Town Clerk

WILBUR C. KIRCHNER
Chief of Police

RICHARD L. MACEY
Building Inspector

JOSE TORRES, JR.
Maintenance

May 7, 1999

Mr. Douglas V. Bloss
17 Mandalay Road
Sewall's Point, Florida 34996

Dear Mr. Bloss:

We have received a complaint about a play house that has been constructed on your southern property line. Building Department records indicate no permit was issued for this structure.

Please contact me at your earliest convenience so we can work out a solution to this problem.

Sincerely,

Richard L. Macey, Building Inspector
Town of Sewall's Point



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

COLUMN & BEAM SCHEDULE

MARK	TYPE	SIZE		THICKNESS			MAX. BEAM SPAN C-C			
		B	D	T1	T2	T3	5'-0"	6'-0"	7'-0"	8'-0"
503	A	3.0	5.0	.094	.050		23'-6"	22'-6"	21'-4"	20'-3"
503	B	3.0	5.0	.094	.050	1/4"	29'-5"	27'-6"	26'-2"	25'-0"
503	E	3.0	5.0	.094	.050	1/4"	28'-10"	27'-0"	25'-8"	24'-7"
603	A	3.0	6.0	.094	.060	1/4"	27'-3"	25'-6"	24'-3"	23'-3"
603	B	3.0	6.0	.094	.060	1/4"	33'-0"	31'-3"	29'-9"	28'-5"
603	E	3.0	6.0	.094	.060	1/4"	32'-3"	31'-0"	29'-0"	27'-8"
653	A	3.0	6.60	.10	.055		29'-5"	27'-6"	26'-2"	25'-0"
653	B	3.0	6.60	.10	.055	1/4"	35'-7"	33'-5"	31'-10"	30'-5"
653	E	3.0	6.60	.10	.055	1/4"	34'-7"	32'-6"	30'-9"	29'-5"
703	A	3.0	7.0	.125	.070		32'-9"	30'-11"	27'-6"	28'-1"
703	B	3.0	7.0	.125	.070	1/4"	38'-10"	36'-6"	34'-7"	33'-2"
703	E	3.0	7.0	.125	.070	1/4"	38'-4"	36'-1"	34'-3"	32'-9"
804	A	4.0	8.0	.125	.078		38'-3"	35'-11"	34'-1"	32'-8"
804	B	4.0	8.0	.125	.078	1/4"	48'-4"	45'-6"	43'-3"	41'-4"
804	E	4.0	8.0	.125	.078	1/4"	44'-6"	41'-10"	39'-10"	38'-2"
8.7	A	3.85	8.7	.100	.070		40'-6"	38'-3"	36'-3"	34'-7"
8.7	B	3.85	8.7	.100	.070	1/4"	47'-9"	44'-11"	42'-6"	40'-7"
8.7	E	3.85	8.7	.100	.070	1/4"	46'-5"	43'-8"	41'-5"	39'-9"
904	A	4.0	9.0	.125	.096		46'-5"	43'-7"	41'-5"	39'-7"
904	B	4.0	9.0	.125	.096	1/4"	52'-11"	49'-9"	47'-4"	45'-4"
904	E	4.0	9.0	.125	.096	1/4"	52'-4"	49'-3"	46'-10"	44'-10"
1004	A	4.5	10.0	.140	.096		50'-0"	47'-2"	44'-9"	42'-9"
1004	B	4.5	10.0	.140	.096	1/4"	56'-6"	53'-3"	50'-6"	48'-6"
1004	E	4.5	10.0	.140	.096	1/4"	56'-7"	52'-9"	50'-1"	48'-0"
302	C	2.0	3.0	.050	.050		14'-10"	14'-0"	13'-11"	
302	D	2.0	3.0	.050	.050	1/4"	17'-9"	16'-8"	15'-10"	
402	C	2.0	4.0	.057	.057		17'-3"	16'-2"		
402	D	2.0	4.0	.057	.057	1/4"	19'-0"	17'-9"	16'-11"	
2-6	C	2.0	6.0	.28	.06		32'-0"	30'-2"	28'-9"	27'-4"
2-6	D	2.0	6.0	.28	.06	1/4"	37'-4"	35'-0"	33'-3"	31'-10"
2-7	C	2.0	7.0	.28	.06		35'-8"	34'-9"	33'-2"	30'-9"
2-7	D	2.0	7.0	.28	.06	1/4"	43'-5"	40'-4"	38'-1"	36'-1"
2-9	C	2.0	9.0	.320	.320		43'-5"	41'-7"	39'-6"	38'-0"
2-9	D	2.0	9.0	.320	.320	1/4"	46'-7"	43'-8"	41'-6"	39'-9"

FASTENING SCHEDULE

MEM	DESCRIPTION	FASTENER
202	STRUT TO 102 C BEAMS	2" X 10-1/2" S.M.S.
202	STRUT TO EAVE SECTION	2" X 10-1/2" S.M.S.
202	CHAIR RAIL TO COLUMN	2" X 10-1/2" S.M.S.
1-2	PERIMETER MEM. JOINED	DO.
1-2	" TO COL.	DO.
1-2	" TO CONJ.	X-2X THUNJ-
1-2	" TO MASONRY	DEBOLT 24" O.C.
1-2	" TO WOOD	10-2X WOOD SCREWS

DESIGN CRITERIA

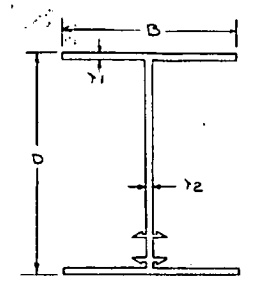
SCREEN ROOF DESIGN LOAD 10 PSF
 SCREEN WALL DESIGN LOAD 10 PSF
 DEFL. LIMIT OF DESIGN LOAD 1/400

NOTE:
 To Determine Actual Deflection of Spans in Above Schedule Multiply Span by 12 & Divide by 80.

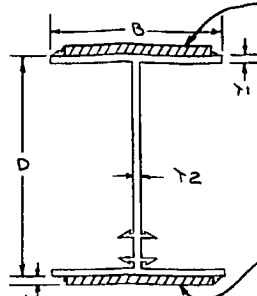
GEN. NOTES:
 (1) WIND BRACING REQUIRED IF ANY WALL EXCEEDS 10'-0" IN LENGTH.
 (2) ROOF & SIDES SHALL BE COVERED W/ SCREEN MAT. BEING 60% OR GREATER OPEN. THE ADDITION OF SOLID ROOFING OR SIDING MAY NOT BE PERMITTED UNLESS DESIGNED BY THE ENGINEER ON LAYOUT SHEET.
 (3) IT SHALL BE DETERMINED THAT THE EXISTING STRUCTURE CAN SAFELY SUPPORT THE LOADED SCREEN ENCLOSURE.
 (4) ALUM. PLATES ARE 6063-T6 ATTACHED TO BEAM W/ 1/2" X 10 S.M.S. 24" O.C. MIN. LENGTH OF PLATE. TO BE 33% OF BEAM SPAN & PLACED O.C.
 (5) WHERE THICKNESS EXCEEDS .055 A COMMERCIAL TOLERANCE OF ±.003" IS ALLOWED.
 (6) PLASTIC SPLINE MAY BE 225 D-1752 ALUM. DISPORGE CAROLINA IND. PLASTIC OR EQUAL.
 (7) THIS SCREEN ENCLOSURE HAS BEEN DESIGNED IN ACCORDANCE W/ THE BUILDING CODE FOR PALM BEACH COUNTY, 1977 EDITION & THE SOUTHERN STANDARD BUILDING CODE 1976 EDITION.

Approval of these plans in NO WAY relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances and the South Florida Building Code.

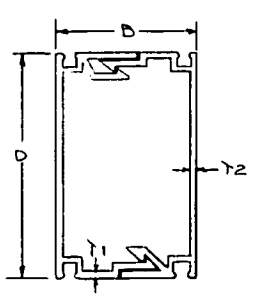
NO CABLES OR STRAPS REQUIRED WHEN TWO SIDES ARE FULLY SUPPORTED BY EXISTING HOUSE



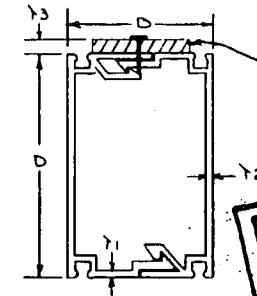
TYPE "A"



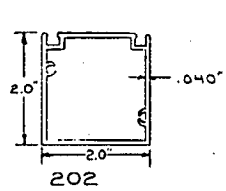
TYPE "B"



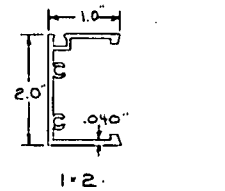
TYPE "C"



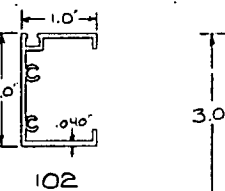
TYPE "D"



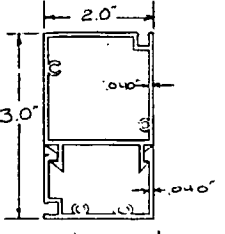
202



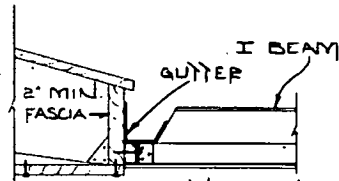
1-2



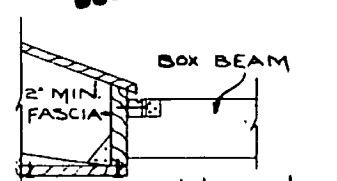
102



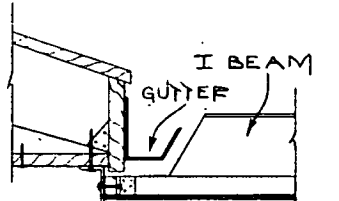
EAVE & CORNER



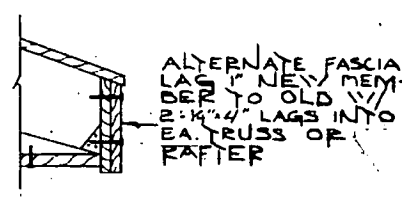
BEAM CONNECTION: USE 2" X 2" X 1/2" L 2 LG. EA. SIDE W/ 2 S.M.S. TO BEAM & 2" X 10" X 2 1/2" LG. WOOD SCREWS TO FASCIA



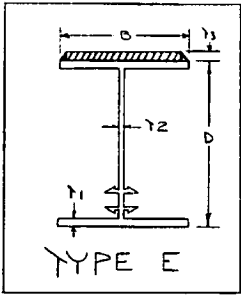
BEAM CONNECTION: USE 2" X 2" X 1/2" L 2 LONG EA. SIDE W/ 2 S.M.S. TO BEAM & 2" X 10" X 2 1/2" LG. WOOD SCREWS TO FASCIA



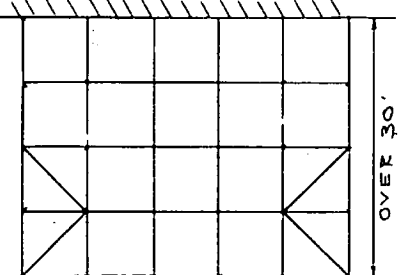
ALTERNATE SOFFIT CONN. 2" X 3" X 1/2" L LAGED W/ 1/4" X 3' WOOD SCREWS EA. TRUSS OR RAFTER W/ BEAM CONJ. BY THRU BOLTS 24" O.C. TO L



ALTERNATE FASCIA LAG IN NEW MEMBER TO OLD 2" X 4" LAGS INTO EA. TRUSS OR RAFTER



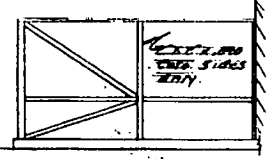
TYPE "E"



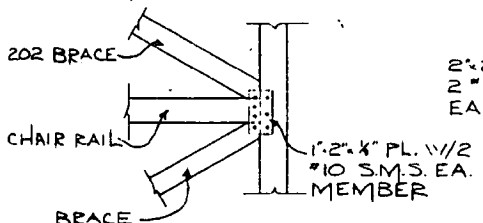
TYP. WIND BRACING



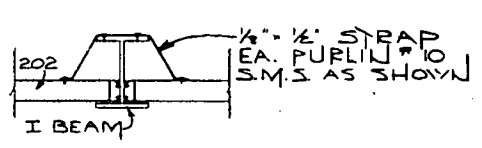
ELEVATION



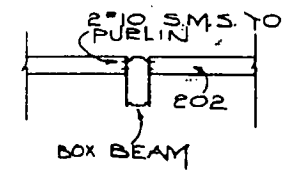
SIDE VIEW



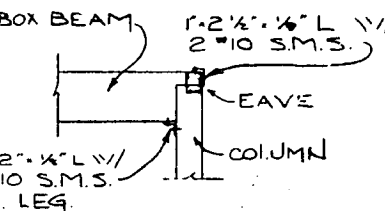
TYP. KNEE BRACE



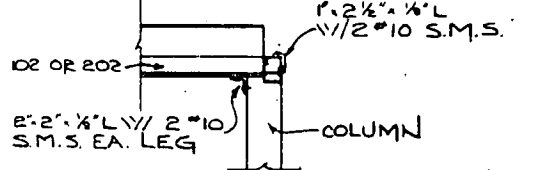
I BEAM



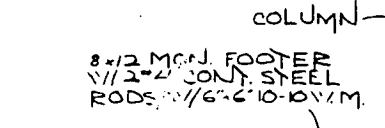
BOX BEAM



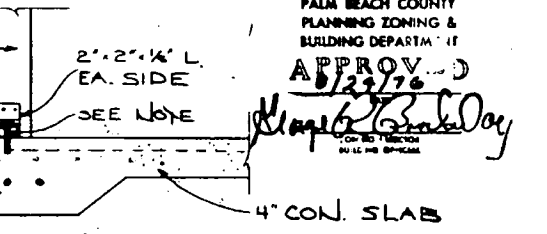
EAVE



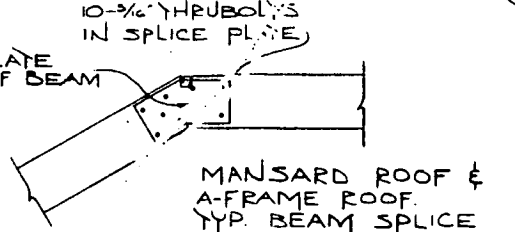
COLUMN



COLUMN



CONNECTION



MANSARD ROOF & A-FRAME ROOF TYP. BEAM SPLICE

APPROVED
 AUG 5 1978

PALM BEACH COUNTY PLANNING ZONING & BUILDING DEPARTMENT
 APPROVED
 8/23/78
 [Signature]

REVISIONS	SCREEN ENCLOSURE: FOR
	SCREENCO NORTH INC.
	MOBE INDUSTRIAL WAY, RIVIERA BEACH
	R. MAGLER
	JAMES N. BOROWSKI, P.E. 184-77
	CONSULTING ENGINEER
	PALM BEACH, FLORIDA
	31 of 31

TOWN OF SEWALL'S POINT

MINUTES SPECIAL MEETING - AUGUST 30, 1978

(Tapes 146 - 148)

Present: Mayor Edward H. Gluckler, Vice Mayor Robert C. Russell, Commissioner Earl R. Crawford, Commissioner John C. Guenther, Town Clerk Margaret Miller, Town Attorney Thomas H. Thurlow, Jr., and for the Board of Zoning Adjustment: Chairman, Donald W. Graham, and Members Edward Benedict, Joan Hutchinson, Cornelia Connolly, Gerald O'Brien and Douglas Reed. Meeting called to order at 7:30 p.m.

1. Scope of Authority of Board of Zoning Adjustment

There was considerable discussion on the scope of authority of the Board of Zoning Adjustment and several cases were exemplified.

Copies of Chairman Graham's letter to Mayor Gluckler dated June 6, 1978, and Mayor Gluckler's reply dated June 19, 1978 were distributed to the Board of Zoning Adjustment Members.

Attorney Thurlow to research and give opinion as to whether a medical reason is valid for a variance.

2. Any Other Business that may come before the Commission

(a) Reed Pool - Lot 8 Mandalay - within 50' setback to St. Lucie River

Pursuant to Section XI-E-2 of Ordinance #95, Loudon Bonded Pools Construction Company, Inc. had applied for Commission approval to build an unenclosed Swimming Pool for Mr. & Mrs. Douglas Reed, Lot 8 Mandalay, within the 50 foot required set-back to the St. Lucie River.

It was moved by Commissioner Guenther, seconded by Vice Mayor Russell that approval be granted for unenclosed pool, as per plans submitted August 30, 1978, for Mr. & Mrs. Douglas Reed, to be built between the residence at 17 Mandalay Road and the St. Lucie River. Carried.

(b) Agenda for Workshop Meeting, September 6, 1978 was made up.

It was moved by Vice Mayor Russell, seconded by Commissioner Guenther that the Meeting adjourn. Carried. Meeting adjourned 9:45 p.m.

Respectfully submitted,


Margaret Miller, Town Clerk

Approved 9/13/78

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA
COUNTY OF MARTIN

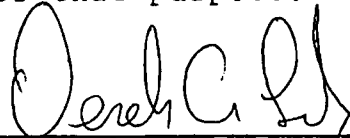
BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

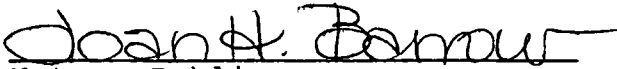
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 270,000 .

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.



Affiant
Property street address:
17 Mandalay

Sworn to and subscribed
before me this 14th day of
December, 1993.


Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires:

(NOTARY SEAL) Notary Public, State of Florida
My Commission Expires Nov. 16, 1994
Bonded Thru Troy Fain - Insurance Inc.

993223

RECORD VERIFIED

Prepared by and return to:
Name: LAWRENCE S. SMITH, ESQ.
Address: THURLOW & SMITH, P.A.
Post Office Box 106
Stuart, Florida 34995

Property Appraiser's
Parcel Identification
No. 13-38-41-004-000-00080-60000

DOC-FEE \$ 6055.00 MARSHA STILLER
DOC-MTG \$ _____ MARTIN COUNTY
DOC-ASM \$ _____ CLERK OF CIRCUIT COURT
INT. TAX \$ _____ BY WT D.C.

Grantee #1 S.S.No. 139-30-8856
Grantee #2 S.S.No. 136-38-8920

----- (Space above line for recording data.) -----

WARRANTY DEED (STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture, made this 8th day of April, 1993,

Between

Muriel W. Walts, individually and as trustee under the Muriel W. Walts Trust dated May 24, 1988, as amended, joined by her husband, Charles C. Walts

of the County of Martin, State of Florida, grantor*, and
Salvatore R. Merola and Elsa Merola, his wife

whose post office address is 17 Mandalay Road, Stuart
of the County of Martin, State of Florida 34996, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN and 00/100 (\$10.00) Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

LOT 8, MANDALAY SUBDIVISION, as recorded in Plat Book 4, Page 86, public records of Martin County, Florida, together with the following described portion of Lot 9:

Begin where the Easterly line of Lot 8, MANDALAY SUBDIVISION, as recorded in Plat Book 4, Page 86, public records of Martin County, Florida, intersects the road right-of-way of Mandalay Road; thence run S 17°12'39" W, along the Easterly boundary line of Lot 8, a distance of 94.29 feet to a point of beginning; thence run S 17°12'39" W, along the Southerly extension of said Easterly line, a distance of 15.62 feet; thence run S 64°59' W a distance of 182 feet, more or less, to the waters of the St. Lucie River; thence run Northerly, along said waters, a distance of 17 feet, more or less, to the point of intersection with the Southerly line of said Lot 8; thence run N 66°00' E, along said Southerly line, a distance of 196.60 feet to the point of beginning.

SUBJECT to restrictions as set forth in Exhibit A attached to that certain Warranty Deed from C.B. Arbogast and Eva D. Arbogast, his wife, to Muriel W. Reed dated January 28, 1970, and recorded in O.R. Book 284, Page 325, public records of Martin County, Florida.

TOGETHER with an easement for the purposes of ingress and egress over and across the following described lands, viz.:

Begin where the South line of Lot 7, MANDALAY SUBDIVISION, Plat Book 4, Page 86, public records of Martin County, Florida, intersects the circular right of way line of Mandalay Road; thence run N 55°01'02" W, along said South line of Lot 7, a distance of 46.46 feet to a concrete monument; thence run S 67°10'30" E a distance of 43.35 feet to said right of way

ORIGINAL RECEIVED
ON 5/25/93

OR BK 1 0 0 6 PGO 0 4 8

BY:

PRODUCER

Commercial Insurance Consultants, Inc.
P.O. Drawer 1398
Lakeland, Florida 33802

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

- COMPANY LETTER **A** National Council Compensation Insurance
- COMPANY LETTER **B**
- COMPANY LETTER **C**
- COMPANY LETTER **D**
- COMPANY LETTER **E**

INSURED

The David Company of South Florida, Inc
819 South Federal Highway, Suite 201
Stuart, Florida 34944

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS														
	GENERAL LIABILITY				<table border="1"> <tr><td>BODILY INJURY OCC.</td><td>\$</td></tr> <tr><td>BODILY INJURY AGG.</td><td>\$</td></tr> <tr><td>PROPERTY DAMAGE OCC.</td><td>\$</td></tr> <tr><td>PROPERTY DAMAGE AGG.</td><td>\$</td></tr> <tr><td>BI & PD COMBINED OCC.</td><td>\$</td></tr> <tr><td>BI & PD COMBINED AGG.</td><td>\$</td></tr> <tr><td>PERSONAL INJURY AGG.</td><td>\$</td></tr> </table>	BODILY INJURY OCC.	\$	BODILY INJURY AGG.	\$	PROPERTY DAMAGE OCC.	\$	PROPERTY DAMAGE AGG.	\$	BI & PD COMBINED OCC.	\$	BI & PD COMBINED AGG.	\$	PERSONAL INJURY AGG.	\$
BODILY INJURY OCC.	\$																		
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PROPERTY DAMAGE OCC.	\$																		
PROPERTY DAMAGE AGG.	\$																		
BI & PD COMBINED OCC.	\$																		
BI & PD COMBINED AGG.	\$																		
PERSONAL INJURY AGG.	\$																		
	<input type="checkbox"/> COMPREHENSIVE FORM <input type="checkbox"/> PREMISES/OPERATIONS <input type="checkbox"/> UNDERGROUND EXPLOSION & COLLAPSE HAZARD <input type="checkbox"/> PRODUCTS/COMPLETED OPER. <input type="checkbox"/> CONTRACTUAL <input type="checkbox"/> INDEPENDENT CONTRACTORS <input type="checkbox"/> BROAD FORM PROPERTY DAMAGE <input type="checkbox"/> PERSONAL INJURY																		
	AUTOMOBILE LIABILITY				<table border="1"> <tr><td>BODILY INJURY (Per person)</td><td>\$</td></tr> <tr><td>BODILY INJURY (Per accident)</td><td>\$</td></tr> <tr><td>PROPERTY DAMAGE</td><td>\$</td></tr> <tr><td>BODILY INJURY & PROPERTY DAMAGE COMBINED</td><td>\$</td></tr> </table>	BODILY INJURY (Per person)	\$	BODILY INJURY (Per accident)	\$	PROPERTY DAMAGE	\$	BODILY INJURY & PROPERTY DAMAGE COMBINED	\$						
BODILY INJURY (Per person)	\$																		
BODILY INJURY (Per accident)	\$																		
PROPERTY DAMAGE	\$																		
BODILY INJURY & PROPERTY DAMAGE COMBINED	\$																		
	<input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS (Priv. Pass.) <input type="checkbox"/> ALL OWNED AUTOS (Other Than Priv. Pass.) <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY																		
	EXCESS LIABILITY				<table border="1"> <tr><td>EACH OCCURRENCE</td><td>\$</td></tr> <tr><td>AGGREGATE</td><td>\$</td></tr> </table>	EACH OCCURRENCE	\$	AGGREGATE	\$										
EACH OCCURRENCE	\$																		
AGGREGATE	\$																		
	<input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM																		
A	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY	To Be Assigned	05-28-93	05-28-94	<table border="1"> <tr><td>STATUTORY LIMITS</td><td></td></tr> <tr><td>EACH ACCIDENT</td><td>\$ 100,000.</td></tr> <tr><td>DISEASE-POLICY LIMIT</td><td>\$ 500,000.</td></tr> <tr><td>DISEASE-EACH EMPLOYEE</td><td>\$ 100,000.</td></tr> </table>	STATUTORY LIMITS		EACH ACCIDENT	\$ 100,000.	DISEASE-POLICY LIMIT	\$ 500,000.	DISEASE-EACH EMPLOYEE	\$ 100,000.						
STATUTORY LIMITS																			
EACH ACCIDENT	\$ 100,000.																		
DISEASE-POLICY LIMIT	\$ 500,000.																		
DISEASE-EACH EMPLOYEE	\$ 100,000.																		
	OTHER																		

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER

TOWN OF SEWELLS POINT

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

ACORD INSURANCE BINDER

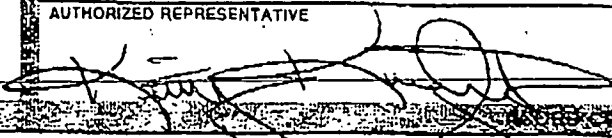
ISSUE DATE (MM/DD/YY)
05-28-93

THIS BINDER IS A TEMPORARY INSURANCE CONTRACT, SUBJECT TO THE CONDITIONS SHOWN ON THE REVERSE SIDE OF THIS FORM.

PRODUCER Commercial Insurance Consultants, Inc. P.O. Drawer 1398 Lakeland, Florida 33802	COMPANY The Maryland		BINDER NO. C93146	
	DATE 05-28-93	EFFECTIVE TIME 12:01	AM <input checked="" type="checkbox"/>	PM <input type="checkbox"/>
CODE SUB-CODE	THIS BINDER IS ISSUED TO EXTEND COVERAGE IN THE ABOVE NAMED COMPANY PER EXPIRING POLICY NO:			
INSURED The David Company of South Florida, Inc. 819 South Federal Highway, Suite 201 Stuart, Florida 34944	DESCRIPTION OF OPERATIONS/VEHICLES: PROPERTY (Including Location) Carpentry-Residential			

TYPE OF INSURANCE	COVERAGE FORMS	AMOUNT	DEDUCTIBLE	COINSUR.
PROPERTY CAUSES OF LOSS <input type="checkbox"/> BASIC <input type="checkbox"/> BROAD <input type="checkbox"/> SPEC.				
GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT. <input checked="" type="checkbox"/> \$500 Property Damage Deductible applies per claim. RETRO DATE FOR CLAIMS MADE:		GENERAL AGGREGATE \$ 1,000,000. PRODUCTS - COMPI/OP AGG. \$ 1,000,000. PERSONAL & ADV. INJURY \$ 1,000,000. EACH OCCURRENCE 1,000,000. FIRE DAMAGE (Any one fire) \$ 50,000. MED. EXPENSE (Any one person) \$ 5,000.		
AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY		COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$ MEDICAL PAYMENTS \$ PERSONAL INJURY PROT. \$ UNINSURED MOTORIST \$		
AUTO PHYSICAL DAMAGE DEDUCTIBLE <input type="checkbox"/> COLLISION: <input type="checkbox"/> OTHER THAN COL:	<input type="checkbox"/> ALL VEHICLES <input type="checkbox"/> SCHEDULED VEHICLES	ACTUAL CASH VALUE STATED AMOUNT \$ OTHER		
EXCESS LIABILITY <input checked="" type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM RETRO DATE FOR CLAIMS MADE:		EACH OCCURRENCE \$ 1,000,000. AGGREGATE \$ 1,000,000. SELF-INSURED RETENTION \$ -0- STATUTORY LIMITS		
WORKER'S COMPENSATION AND EMPLOYER'S LIABILITY		EACH ACCIDENT \$ DISEASE-POLICY LIMIT \$ DISEASE-EACH EMPLOYEE \$		

SPECIAL CONDITIONS/OTHER COVERAGES

NAME & ADDRESS _____ _____ _____	<input type="checkbox"/> MORTGAGEE <input type="checkbox"/> LOSS PAYEE	<input type="checkbox"/> ADDITIONAL INSURED
	LOAN # _____	AUTHORIZED REPRESENTATIVE 

HRS-MARTIN COUNTY
PUBLIC HEALTH UNIT

Your septic system was inspected on 10-4-93

HD 93-297

- Approved and Cover
 Cover but hold for:
 Final Grade (see Permit for specifications)

Other: Abandonment form of
old septic tank; also, sub-out
certificate of old sub-out.

- Do not cover, disapproved for the following reasons:

Well and well

reinspection fee _____

Other: _____

- System Reinspection Not Approved

Reason(s):

- Final Grade Pass-System Approved

Please allow this office two working days to schedule a reinspection. If you have any questions, contact Janet

_____ at 221-4090.

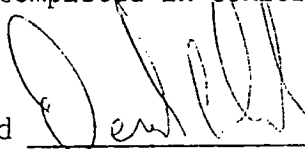
RECORD OF INSPECTIONS
TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 12/14/93

This is to request that a Certificate of Approval for Occupancy be issued to Mr Salvatore Merola.

For property at 17 Mandalay built under Permit
(street address)
No. 3395 Dated 5/25/93 when completed in conformance with the
Approved Plans.

Signed 

ITEM	DATE	APPROVED BY (initials)
1. Form board tie in	<u>N/A</u>	
2. Termite protection	<u>8/6/93</u>	<u>DB</u>
3. Footing - slab	<u>4/17/93</u>	<u>DB</u>
4. Rough plumbing - slab	<u>8/12/93</u>	<u>DB</u>
5. Rough electric - slab	<u>N/A</u>	<u>N/A</u>
6. Lintel	<u>6/28/93</u>	<u>DB</u>
7. Dry in (final)	<u>7/19/93</u>	<u>DB</u>
8. Roof	<u>N/A</u>	<u>N/A</u>
9. Framing	<u>8/12/93</u>	<u>DB</u>
10. Rough electric	<u>8/12/93</u>	<u>DB</u>
11. Rough plumbing	<u>8/12/93</u>	<u>DB</u>
12. A/C Ducts	<u>8/12/93</u>	<u>DB</u>
13. Insulation	<u>8/14/93</u>	<u>DB</u>
14. Final electric	<u>12/6/93</u>	<u>DB</u>
15. Final plumbing	<u>12/6/93</u>	<u>DB</u>
16. Final construction	<u>12/6/93</u>	<u>DB</u>
17. As-built survey	<u>N/A</u>	<u>N/A</u>
18. Affidavit of cost	<u>12/14/93</u>	<u>DB</u>

Final Inspection for Issuance of Certificate for Occupancy

Approved by Building Inspector Dale Brown 12/14/93 date

Approved by Building Commissioner _____ date

Utilities notified FPL 12/6/93 date

Original Copy sent to OWNR _____ date
(owner)

(Keep carbon copy for Town files)

4105

ADDITION

4105

TAX FOLIO NO. 133.8410040000008060000 DATE 12/11/96

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner DOUG AND TAMMY BLOSS Present Address _____

Phone 283-0363

Contractor BRANCO CONSTRUCTION INC. Address 5354 SE INLET PL. STUART

Phone 286-4038

Where licensed STATE OF FLA. License Number CGC020462

Electrical Contractor A/C ELECTRIC License Number ME00039

Plumbing Contractor DYLUWSKI PLS. License Number 00029

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: REMODELING AND ADDITION TO HOUSE (GARAGE)

State the street address at which the proposed structure will be built:
17 MANDALAY

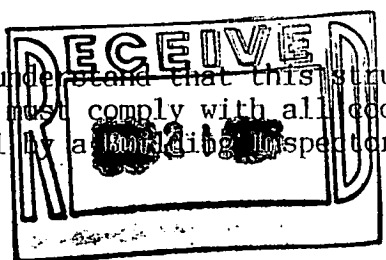
Subdivision MANDALAY Lot Number 8 Block Number _____

Contract Price \$ 200,000.00 Cost of Permit \$ 2,000.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector of Town Commissioner "Red-Tagging" the construction project.

Contractor Robert Dylowski Jr.



I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Janeira Bloss

TOWN RECORD

Date submitted _____

Approved: Dale Brown
Building Inspector Date

Approved: _____ Date Final Approval given: _____ Date

Certificate of Occupancy issued(if applicable) _____ Date

SP1282

Permit No. _____

6068

DOCK REPAIR

TOWN OF SEWALL'S POINT

Date 12/26/02

BUILDING PERMIT NO. 6068

Building to be erected for K. LINGAMFELTER

Type of Permit RE-DECK DOCK + WALKWAY

Applied for by Marine Construction, Inc.

(Contractor)

Building Fee 240.00

Subdivision _____ Lot _____ Block _____

Radon Fee _____

Address 17 Mandalay Road

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

Plumbing Fee _____

1338 4100 4000000806 0000

Roofing Fee _____

Amount Paid 264.00 Check # 1932 Cash _____

Other Fees (Plan Rev) 24.00

Total Construction Cost \$ 25,500.00

TOTAL Fees 264.00

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

- BUILDING
- PLUMBING
- DOCK/
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

UNDERGROUND PLUMBING _____

UNDERGROUND MECHANICAL _____

STEMWALL FOOTING _____

SLAB _____

ROOF SHEATHING _____

TRUSS ENG/WINDOW/DOOR BUCKS _____

ROOF TIN TAG/METAL _____

PLUMBING ROUGH-IN _____

MECHANICAL ROUGH-IN _____

FRAMING _____

FINAL PLUMBING _____

FINAL MECHANICAL _____

FINAL ROOF _____

UNDERGROUND GAS _____

UNDERGROUND ELECTRICAL _____

FOOTING _____

TIE BEAM/COLUMNS _____

WALL SHEATHING _____

LATH _____

ROOF-IN-PROGRESS _____

ELECTRICAL ROUGH-IN _____

GAS ROUGH-IN _____

EARLY POWER RELEASE _____

FINAL ELECTRICAL _____

FINAL GAS _____

BUILDING FINAL _____

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Owner or Titleholder Name: KATHARINE LINGAMFELTER City: Sewall's Point State: FL Zip: 34996
Legal Description of Property: Mandalay Loop Parcel Number: 13384/0040000008060000
Location of Job Site: 17 MANDALAY ROAD Type of Work To Be Done: Re-deck existing (upland Deck B Dock ...)

CONTRACTOR/Company Name: MARINE CONSTRUCTION, INC. Phone Number: (561) 627-1555
Street: 2001 BOMAR DR., Suite #3 City: North Palm Bch State: FL Zip: 33408
State Registration Number: State Certification Number: Martin County License Number: SPOA309
Competency U-18769

ARCHITECT: Phone Number:
Street: City: State: Zip:

ENGINEER: MARY C. DWAN / P.E.# 43273 Phone Number: 627-1555
Street: 4796 S.E. MANATEE COVE ROAD City: Stuart State: FL Zip: 34997

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Screened Porch:
Carport: Total Under Roof Wood Deck: 1295 sq. ft. Accessory Building:
Type Sewage: Septic Tank Permit Number From Health Dept. Well Permit Number:

FLOOD HAZARD INFORMATION Flood Zone: Minimum Base Flood Elevation (BFE): NGVD
Proposed First Floor Habitable Floor Finished Elevation: NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: 25,500.00 Estimated Fair Market Value (FMV) Prior
To Improvements: If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES NO

SUBCONTRACTOR INFORMATION
Electrical: State: License Number:
Mechanical: State: License Number:
Plumbing: State: License Number:
Roofing: State: License Number:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION
Florida Building Code (Structural, Mechanical, Plumbing, Gas) South Florida Building Code (Structural, Mechanical, Plumbing, Gas)
National Electrical Code Florida Energy Code
Florida Accessibility Code

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required)
State of Florida, County of:
This the day of , 200
by who is personally
known to me or produced
as identification.

My Commission Expires:



CONTRACTOR SIGNATURE (Required)
On State of Florida, County of: Palm Beach/Martin
This the 8th day of November 2002
by DAVID L. COSTON who is personally
known to me or produced
As identification.

My Commission Expires: 2/11/05 Seal

OWNER/CONTRACTOR AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS INDICATED. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT.

IN CONSIDERATION OF THE GRANTING OF THIS REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS, THE 2001 FLORIDA BUILDING CODE AND MARTIN COUNTY AMENDMENTS. PLAN REVISIONS ON ALL STRUCTURES EXEMPTED BY CODE FROM ARCHITECT/ENGINEER DESIGN MAY BE DONE BY PERMIT HOLDER.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OCCURS AFTER THE BUILDING PERMIT HAS BEEN ISSUED, A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT. IN THE ABSENCE OF THE FILING OF A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT, THE ISSUING AUTHORITY WILL NOT PERFORM THE INSPECTION.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

PRINTED: ~~Brown~~ Katherine Lingamfelter

Katherine Lingamfelter
Katherine Lingamfelter
SIGNATURE OF OWNER

PRINTED: David L. Coston

David L. Coston
SIGNATURE OF CONTRACTOR

DATE:
SWORN TO AND SUBSCRIBED BEFORE ME THIS

24th DAY OF Sept. 2002

BY *Annemarie Finn*
NOTARY PUBLIC, STATE OF ~~MA~~

AS TO OWNER
PERSONALLY KNOWN _____

PRODUCED ID

TYPE: MA License # SE2117405

ANNEMARIE FINN
Notary Public, Massachusetts
Commission Expires September 8, 2007

DATE:
SWORN TO AND SUBSCRIBED BEFORE ME THIS

25th DAY OF Sept 2002

BY *David L. Coston*
NOTARY PUBLIC, STATE OF ~~FL~~ AS

TO CONTRACTOR PERSONALLY
KNOWN

PRODUCED ID _____

TYPE _____



ACORD.**CERTIFICATE OF INSURANCE**

NL 18285

ISSUE DATE (MM/DD/YY)

12/12/02

PRODUCER

ACORDIA-WPB DIVISION
 501 S. FLAGLER DR. #600
 WEST PALM BEACH FL 33401
 PHN (561) 655-5500
 FAX (561) 655-5509

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND
 CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE
 DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE
 POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A GREAT AMERICAN (MITCHELL & YORK)
 LETTER
 COMPANY B
 LETTER
 COMPANY C
 LETTER
 COMPANY D
 LETTER
 COMPANY E
 LETTER

RECEIVED
 DEC 16 2002
 BY: _____

INSURED

MARINE CONSTRUCTION, INC
 2001 BOMAR DR #3
 NORTH PALM BCH, FL 33408

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD
 INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS
 CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS,
 EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR. <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT. <input checked="" type="checkbox"/> P&I/CREW MEMB \$1,000,000 INCL.	OMH3709815	10/23/02	10/23/03	GENERAL AGGREGATE \$ 2,000,000 PRODUCTS-COMP/OP AGG. \$ 1,000,000 PERSONAL & ADV. INJURY \$ 1,000,000 EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 100,000 MED.EXP. (Any one person) \$ 5,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY				STATUTORY LIMITS EACH ACCIDENT \$ DISEASE - POLICY LIMIT \$ DISEASE - EACH EMPLOYEE \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CREW COVERAGE INCLUDED FOR 6 CREW MEMBERS**CERTIFICATE HOLDER**

SEWALL'S POINT
 ONE SOUTH SEWALL'S
 POINT RD
 STUART FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE
 EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO
 MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE
 LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR
 LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Brian Corneer

2002-2003 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34993
(561) 288-5604

LICENSE 989-513-098 CERT _____
PHONE 15611627-1555 SIC NO 001521

LOCATION:
2001 BOMAR DR #3 MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR \$	.00	LIC. FEE \$	25.00
\$	.00	PENALTY \$	.00
\$	.00	COL. FEE \$	.00
\$	.00	TRANSFER \$	.00
TOTAL		25.00	

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF CERT GEN CONTR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

29 DAY OF AUGUST 2002
AND ENDING SEPTEMBER 30, 2003

12 02082601 000165

COSTON, DANIEL L
MARINE CONSTRUCTION INC
DANIEL L COSTON
2001 BOMAR DR # 3
NORTH PALM BEACH, FL 33408



MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency

License: SPOA309
Expires September 30, 2003

COSTON, DAVID L 1
MARINE CONSTRUCTION INC
2001 BOMAR DR STE 3
NPB, FL 33408
MARINE CONTRACTOR

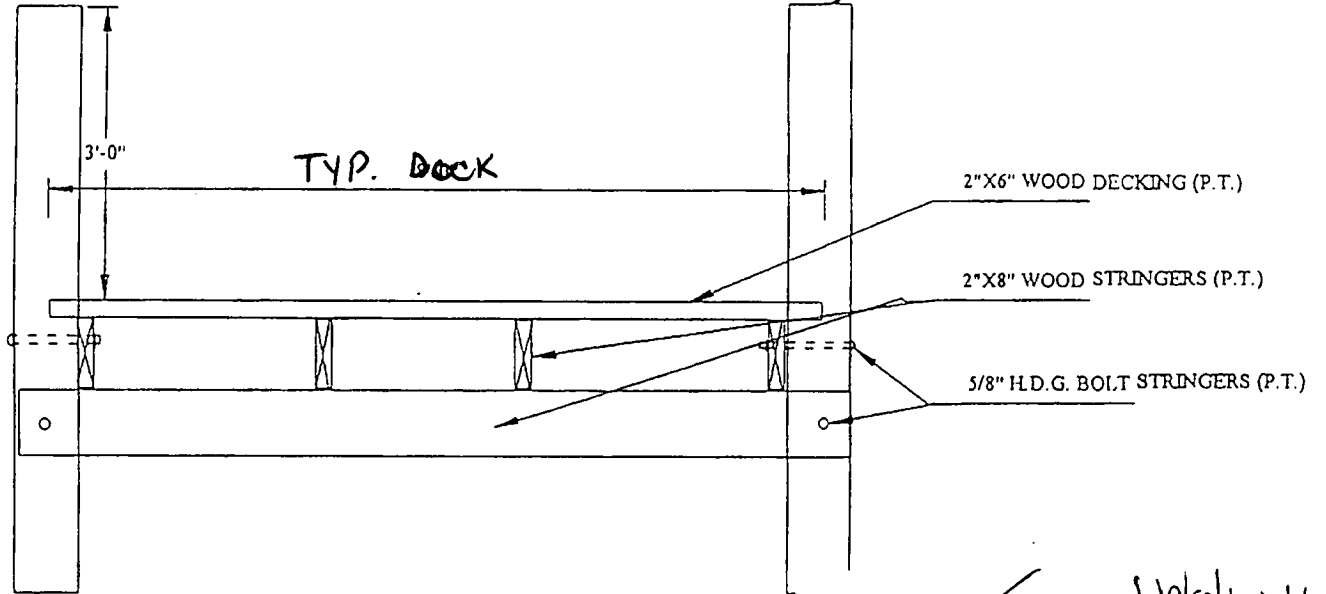
RECEIVED

DEC 12 2002

BY:

← MASTER DOCK PLAN →

8" WOOD PILINGS C.C.A. 2.5#/FT3



2"X6" (P.T.)
DECKING TO BE SPACED 1/4" APART

PILINGS PLACED 10'-0" O.C. 2.5 #/FT

2"X8" WOOD STRINGERS (P.T.)

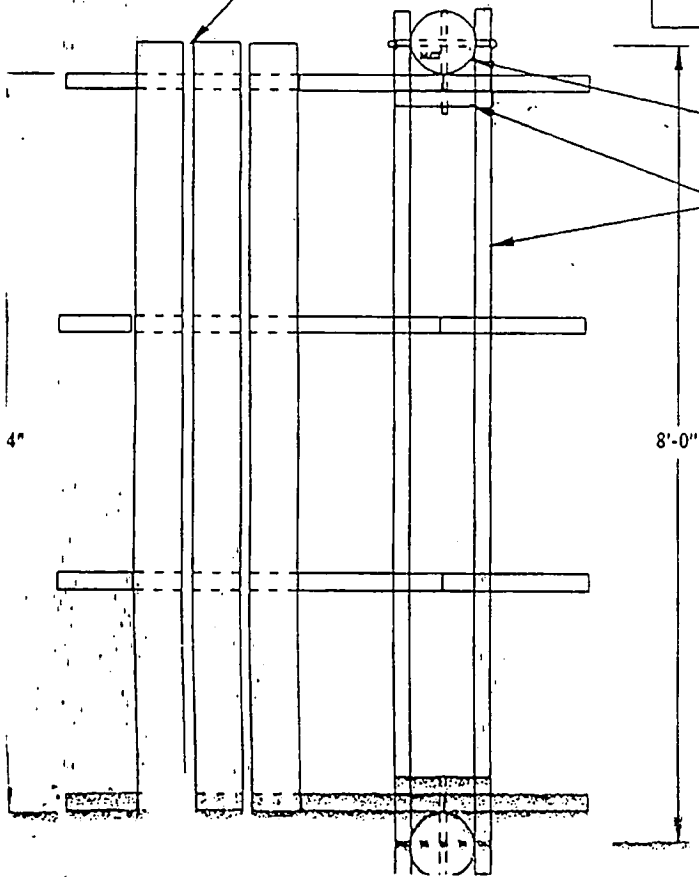
Project: Upland Walkway
Re-deck Existing Dock
Wingampella
175. Mandalay Rp.
Jewells Point, FL

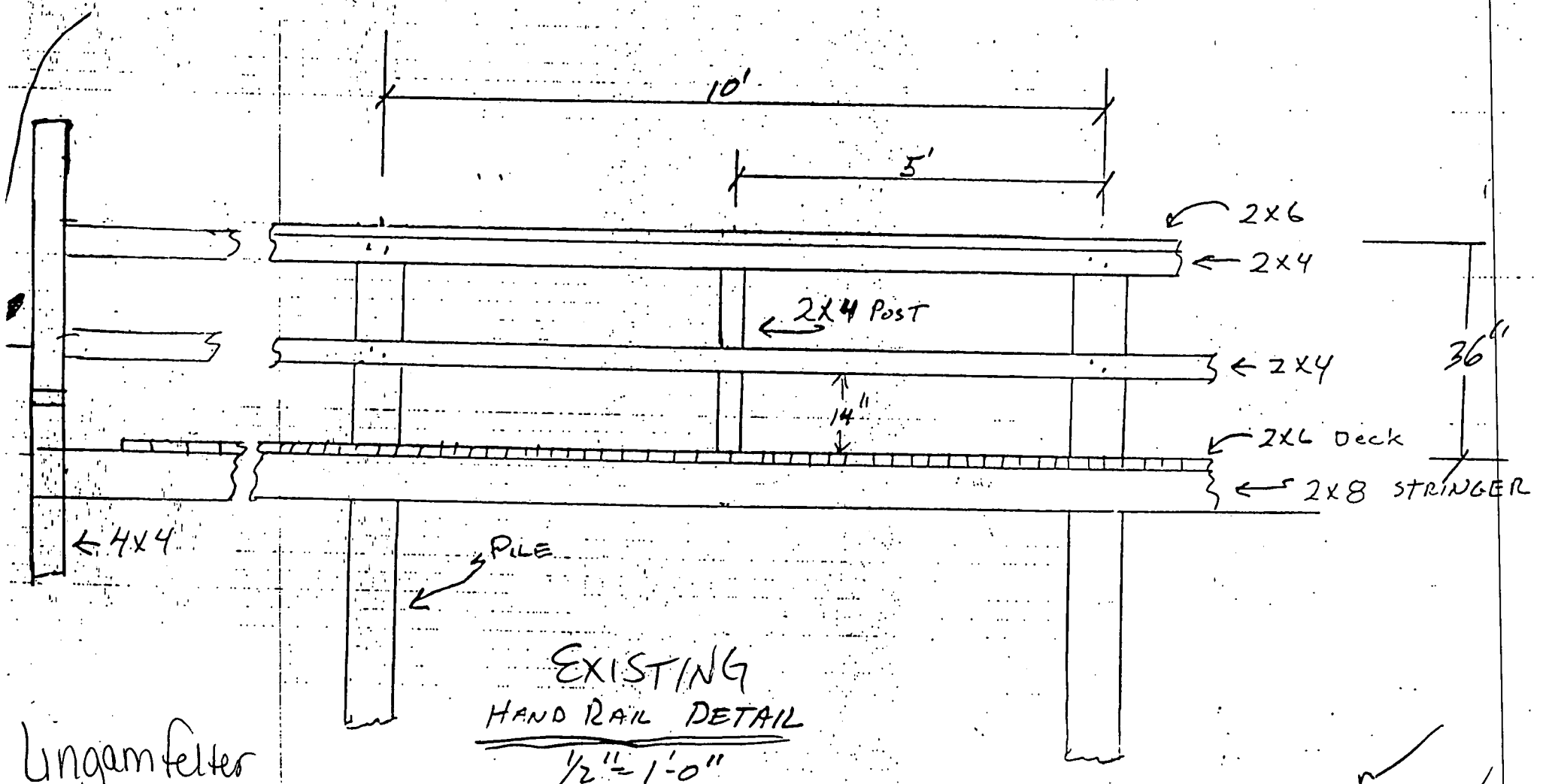
ENGINEER:
Mary C. Dwan, P.E.
4796 S.E. Manatee Cove Rd.
Stuart, Fl. 34997
#43273

- NOTES:
1. ALL PILES TO BE 2.5# PER FT. 3 C.C.A. P.T.
 2. ALL DECKING, JOIST, & BEAMS TO BE .40# PER FT. 3 C.C.A. P.T.
 3. ALL FASTENERS TO BE HOT DIPPED GALVENIZED
 4. ALL PILINGS TO PENETRATE 6' MINIMUM OVER WATER OR 5' MINIMUM OVER LAND INTO SOIL

MARY C. DWAN
4796 S.E. MANATEE COVE RD.
STUART, FL 34997
P.E. # 43273

MCD
09/19/02





Ungamfelter
 17 S. Mandalay Rd.
 Sewell's Point, Fla.

EXISTING
HAND RAIL DETAIL
 1/2" = 1'-0"

MARY C. DWAN
 4796 S.E. MANATEE COVE RD.
 STUART, FL 34997
 P.E. # 42273

MCD
 09/19/02

Boardwalk™ Composite Lumber

5/4x6, 2x4 and 2x6 Decking Installation Instructions

Joist Spacing & Support Structure

Boardwalk Composite Decking planks do not require any special substructure, but always consult local building codes for deck substructure requirements. Boardwalk must not be used as primary structural members. For best performance and visual effect make certain that the joists are level and secure prior to installing Boardwalk.

The following charts, tables and notes provide joist spacing and decking sizes for Boardwalk Composite Decking planks and stair treads for specified loading requirements, and Allowable Design Values for decking applications outside of the span charts. Always consult your local building codes.

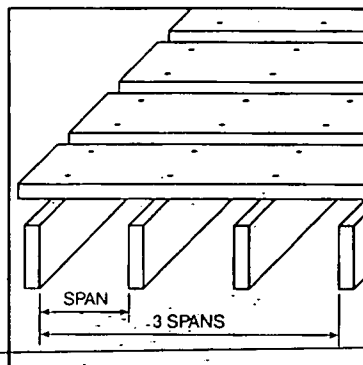
Boardwalk Composite Lumber

Decking Span Chart

Member Size	Maximum Uniform Live Load (pounds per square foot)		
	100	125	200
Member Size	Maximum Member Span Between Supports (inches)		
5/4 x 6	20	16	12
2 x 4	24	24	24
2 x 6	24	24	24

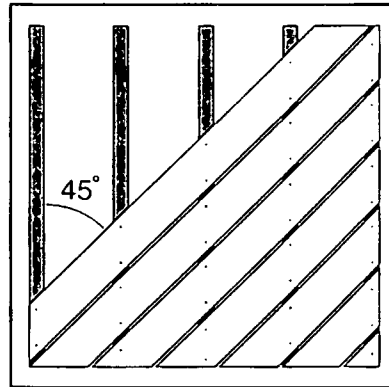
Span Chart Notes:

- The spans and decking sizes indicated in this chart are to be used in lieu of application-specific calculations. When Boardwalk Composite Lumber is used in applications or loading conditions outside the scope of this chart, structural design calculations and details for specific applications performed by a qualified engineering professional shall be furnished to the code official verifying compliance with the applicable codes.
- Values indicated in this chart are recommended maximum center-to-center joist spacing for Boardwalk. Values are based on a fully loaded three (3) span continuous condition engaging four (4) joists. Decking shall be securely fastened to each joist.
- Recommended spans and member size are based on a maximum deflection of L/360.
- All decking members shall be installed flatwise.

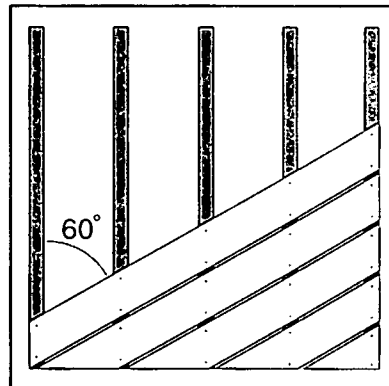


Angled Deck Plank Installation

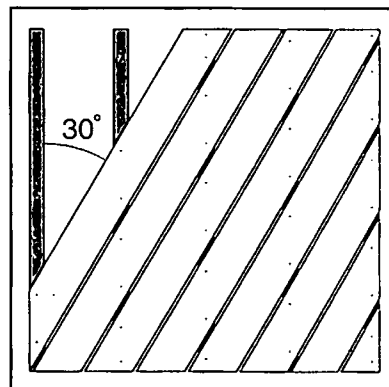
In order to achieve the recommended Boardwalk Composite Decking spans, support spacing for angled decking layouts must be adjusted.



- For 45 degree angle decking: Multiply Maximum Member Span Between Supports by 0.70



- For 60 degree angle decking: Multiply Maximum Member Span Between Supports by 0.86



- For 30 degree angle decking: Multiply Maximum Member Span Between Supports by 0.50

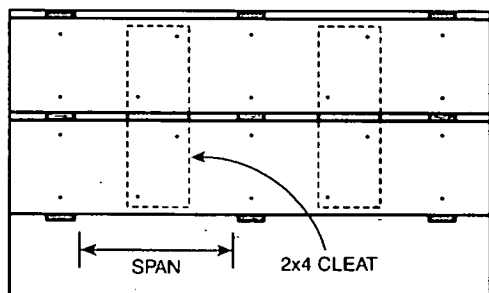
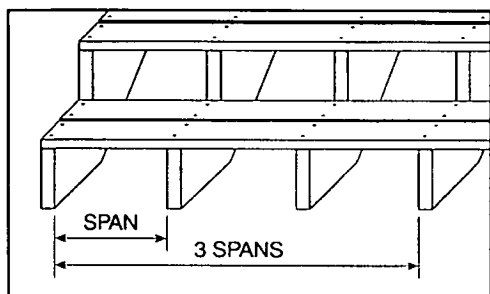
Decking Installation Instructions (cont'd.)

Boardwalk Composite Lumber
Stair Tread Span Chart

Member Size	300 lb. Concentrated Load	
	Single Member, 3 Span	Multiple Members, 3 Span ³
Maximum Member Span Between Supports (inches)		
5/4 x 6	n/a	8
2 x 4	8	16
2 x 6	12	20

Stair Tread Span Chart Notes:

1. Values indicated in this chart are recommended maximum center-to-center stringer spacing for Boardwalk Composite Decking treads. Values are based on a fully loaded, three (3) span continuous condition engaging four (4) stringers. Treads shall be securely fastened to each stringer. Refer to drawing below.
2. Recommended span and member size is based on a maximum deflection of L/360.
3. Multiple member treads shall be cleated together at center span to distribute the concentrated load. 5/4x6 and 2x6 requires two members minimum to be cleated. 2x4 requires three members minimum to be cleated. Refer to drawing below.
4. A cleat shall consist of a 2x4 member or equivalent fastened to the underside of all members of the tread at each mid-span location. The cleat shall be fastened to each member of the tread with a minimum of two (2) screws. The purpose of the cleat is to make all members of the tread function as a unit when subject to a concentrated load.



Boardwalk Composite Lumber
Allowable Design Values (2x4, 2x6 and 5/4x6)

Property	Design Value (psi)
Bending Stress	425
Tension	260
Modulus of Elasticity	1.80 x 10 ⁵
Compression Parallel to Length	850
Compression Perpendicular to Length	965
Shear Stress	280

Decking Allowable Design Value Table Notes:

1. The Allowable Design Values listed in the table are for use by qualified engineering professionals for the design of decking applications outside of the Decking and Stair Tread Span Charts.
2. Boardwalk Composite Lumber and its published design values are for decking applications only. Boardwalk must not be used for primary structural members.

Test Data

Performance Characteristic	ASTM Test Method	Performance Specification	Results
Coefficient of Expansion ¹	ASTM D696	n/a	2.4 x 10 ³ /in/in/deg. F
Shear	ASTM D143	ASTM D5456	1607 psi
Compression Parallel to Grain	ASTM D198	ASTM D5456	2,448 psi
Nail Withdrawal ¹	ASTM D1761	ASTM D5456	318 lbs./in
Screw Withdrawal ²	ASTM D1761	ASTM D5456	834 lbs./in.
Flame Spread Index	ASTM E84	ASTM D5456	25
Ignition Properties	ASTM D1929	MSDS	Self Ignition 653 deg. F/Flash Ignition 682 deg.F
Decay Resistance	ASTM D1413	n/a	No Decay
Water Absorption (Unabraded)	ASTM D570	ASTM D1037	1.30%
Water Absorption (Abraded)	ASTM D570	ASTM D1037	4.61%
Weatherability	G26	ASTM D661	Accelerated/Xenon/2000hrs = Rating 10
Abrasion Resistance ³	ASTM D4060	ASTM D5456	2.98grams/5000 Cycles
Static Coefficient of Friction - Dry	ASTM D2047	ASTM D5456	0.52 / 0.54
Static Coefficient of Friction - Wet	ASTM D2047	ASTM D5456	0.87 / 0.88
Termite Resistance	AWPA E1-72	n/a	Rating A
Thermal Conductivity ⁴	ASTM C518	ASTM D5456	.718 Btu-inch/hr-sqft-deg.F
Slip Resistance	ASTM F1679	n/a	.70 Dry / .64 Wet
Chemical and Stain Resistance	ASTM D2151	n/a	Report on File
Leachate	EPA1311 & 6010	n/a	Meets EPA Regulatory Levels / Report on File
Stiffness (Flexural Modulus of Elasticity)	ASTM D198	ASTM D5456	231,000 psi (231 kpsi)

¹Nail Spec - 2in. 6d spiral nail, galvanized

²Screw Spec - 2in. deck screw-self tapping, 10 threads per inch, galvanized

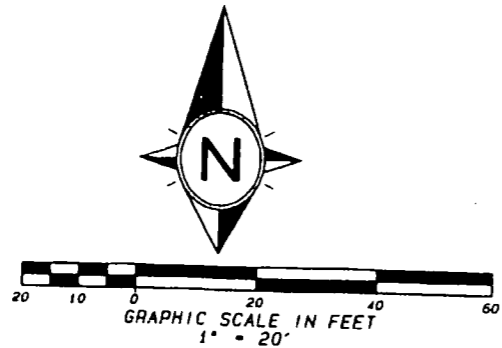
³Equipment for ASTM D2394 no longer being made - ASTM D4060 is the accepted alternate method

⁴ASTM D696 is the accepted alternate to ASTM E228

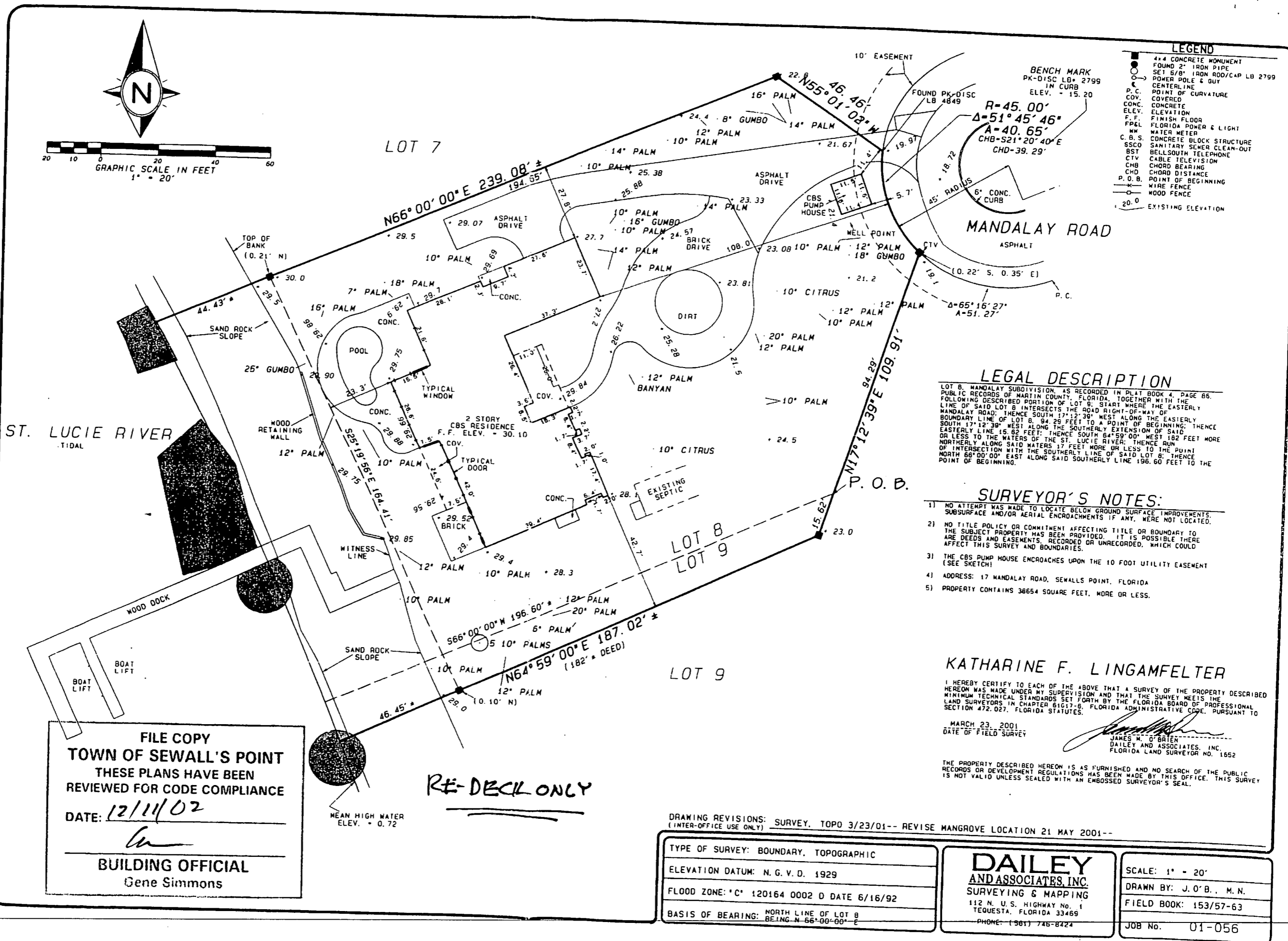
⁵ASTM C518 is the accepted alternate to ASTM C177

Values shown are for reference only.
These values must not be used for
design purposes or installation.

For more information, please
reference National Evaluation
Service (NES) Report #576



LEGEND	
4x4 CONCRETE MONUMENT	FOUND 2" IRON PIPE
○	SET 5/8" IRON ROD/CAP LB 2799
○	POWER POLE & OUT
—	CENTERLINE
⊙	POINT OF CURVATURE
CONC.	CONCRETE
ELEV.	ELEVATION
F.F.	FINISH FLOOR
FP&L	FLORIDA POWER & LIGHT
WM	WATER METER
C.B.S.	CONCRETE BLOCK STRUCTURE
SSCO	SANITARY SEWER CLEAN-OUT
BST	BELLSOUTH TELEPHONE
CTV	CABLE TELEVISION
CMB	CHORD BEARING
CHD	CHORD DISTANCE
P.O.B.	POINT OF BEGINNING
—	WIRE FENCE
—	WOOD FENCE
20.0	EXISTING ELEVATION



LEGAL DESCRIPTION
 LOT 8, MANDALAY SUBDIVISION, IS RECORDED IN PLAT BOOK 4, PAGE 66, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, TOGETHER WITH THE FOLLOWING DESCRIBED PORTION OF LOT 9: START WHERE THE EASTERLY LINE OF SAID LOT 8 INTERSECTS THE ROAD RIGHT-OF-WAY OF MANDALAY ROAD; THENCE SOUTH 17° 12' 39" WEST ALONG THE BOUNDARY LINE OF LOT 8, 94.25 FEET TO A POINT OF BEGINNING; THENCE SOUTH 17° 12' 39" WEST ALONG THE SOUTHERLY EXTENSION OF SAID EASTERLY LINE 15.92 FEET; THENCE SOUTH 64° 59' 00" WEST 192 FEET MORE OR LESS TO THE WATERS OF THE ST. LUCIE RIVER; THENCE RUN NORTHERLY ALONG SAID WATERS 17 FEET MORE OR LESS TO THE POINT OF INTERSECTION WITH THE SOUTHERLY LINE OF SAID LOT 8; THENCE NORTH 68° 00' 00" EAST ALONG SAID SOUTHERLY LINE 196.60 FEET TO THE POINT OF BEGINNING.

- SURVEYOR'S NOTES:**
- 1) NO ATTEMPT WAS MADE TO LOCATE BELOW GROUND SURFACE IMPROVEMENTS, SUBSURFACE AND/OR AERIAL ENCROACHMENTS IF ANY, WERE NOT LOCATED.
 - 2) NO TITLE POLICY OR COMMITMENT AFFECTING TITLE OR BOUNDARY TO THE SUBJECT PROPERTY HAS BEEN PROVIDED. IT IS POSSIBLE THERE ARE DEEDS AND EASEMENTS, RECORDED OR UNRECORDED, WHICH COULD AFFECT THIS SURVEY AND BOUNDARIES.
 - 3) THE CBS PUMP HOUSE ENCLOSES UPON THE 10 FOOT UTILITY EASEMENT (SEE SKETCH)
 - 4) ADDRESS: 17 MANDALAY ROAD, SEWALLS POINT, FLORIDA
 - 5) PROPERTY CONTAINS 38654 SQUARE FEET, MORE OR LESS.

KATHARINE F. LINGAMFELTER
 I HEREBY CERTIFY TO EACH OF THE ABOVE THAT A SURVEY OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THAT THE SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-8, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
 MARCH 23, 2001
 DATE OF FIELD SURVEY
 JAMES M. O'BRIEN
 DAILEY AND ASSOCIATES, INC.
 FLORIDA LAND SURVEYOR NO. 1652
 THE PROPERTY DESCRIBED HEREON IS AS FURNISHED AND NO SEARCH OF THE PUBLIC RECORDS OR DEVELOPMENT REGULATIONS HAS BEEN MADE BY THIS OFFICE. THIS SURVEY IS NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 12/11/02
 BUILDING OFFICIAL
 Gene Simmons

RE-DECK ONLY

DRAWING REVISIONS: SURVEY, TOPO 3/23/01-- REVISE MANGROVE LOCATION 21 MAY 2001--
 (INTER-OFFICE USE ONLY)

TYPE OF SURVEY: BOUNDARY, TOPOGRAPHIC
ELEVATION DATUM: N. G. V. D. 1929
FLOOD ZONE: *C* 120164 0002 D DATE 6/16/92
BASIS OF BEARING: NORTH LINE OF LOT 8 BEING N 66° 00' 00" E

DAILEY AND ASSOCIATES, INC.
 SURVEYING & MAPPING
 112 N. U.S. HIGHWAY No. 1
 TEQUESTA, FLORIDA 33469
 PHONE: (381) 745-8224

SCALE: 1" = 20'
DRAWN BY: J.O'B., M.N.
FIELD BOOK: 153/57-63
JOB No. 01-056

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/5, 20024 Page 1 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
- 6627	PREMIER REALTY	CORNICE TRIM FINAL	PASS	CLOSE
7	2 N. SEWALLS PT RD PAUL GHOTTO			INSPECTOR:
- 6081	STUKEL	FINAL GARAGE DR	PASS	CLOSE
3	7 LANTANA LA AMER PB GARAGE			INSPECTOR:
- 6698	LICKER	CBS FENCE FOOTER	PASS	
7A	8 N. RIVER RD. O/B			INSPECTOR:
- 60501	BEAN	INSULATION	PASS	
2	112 S. SEWALLS PT DRIFTWOOD HOMES			INSPECTOR:
- TREE	FREUDENBURG	TREE	PASS	
10	115 N. SEWALLS PT			INSPECTOR:
- TREE	WERB	TREE	PASS	
4	2 ST. LUCIE COURT			INSPECTOR:
- 6068	LINGAMFELTER	REDECK DOOR	PASS	CLOSE
1	17 MANDALAY MAKING CONST.			INSPECTOR:
OTHER: DRIVEWAY (where rocks were put in road - right of way) N. SEWALLS PT RD				

7291

DOCK REPAIR

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 2/9/05

BUILDING PERMIT NO. 7291

Building to be erected for LINGAMFELTER

Type of Permit DOCK REPAIR

Applied for by O/B (Contractor)

Building Fee 240.00

Subdivision MANDALAY Lot 8 Block _____

Radon Fee _____

Address 17 MANDALAY ROAD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

1338410040000008060000

Roofing Fee _____

Amount Paid 330.00 Check # 1029 Cash _____

Other Fees 10% PLAN REVIEW 24.00
65% O/B 106.00

Total Construction Cost \$ 60,000

TOTAL Fees 330.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- | | | |
|--|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input checked="" type="checkbox"/> DOCK/ BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

FEB 08 2005

BY: _____

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: _____

OWNER/TITLEHOLDER NAME: Katharine Lingamfelter Phone (Day) 772-781-2881 (Fax) _____

Job Site Address: 17 Mandalay Road City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block): Mandalay - Lot 8 Parcel Number: 133841004000000806

Owner Address (if different): Same City: _____ State: _____ Zip: _____

Description of Work To Be Done: Rebuild Docks

WILL OWNER BE THE CONTRACTOR?:

YES NO

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 60,000
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ 1,700,000

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: Purchase Price

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Katharine Lingamfelter

State of Florida, County of: MARTIN

This the 8TH day of FEBRUARY, 2005

by KATHARINE LINGAMFELTER who is personally

known to me or produced FDL 1575-06-49-531-0

as identification. [Signature] x1B110

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____

This the _____ day of _____ 200

by _____ who is personally

known to me or produced _____

As identification. _____

Notary Public

My Commission Expires: _____

Seal



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00



PERMIT # _____

TAX FOLIO # 13-38-41-004-000-00080-60000

NOTICE OF COMMENCEMENT

STATE OF FL

COUNTY OF FL

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Mandaly lot 8

GENERAL DESCRIPTION OF IMPROVEMENT: improve dock

OWNER: Katharine Lingamfelter

ADDRESS: 17 Mandaly Rd

PHONE #: 781-2881 FAX #: same

CONTRACTOR: owner-builder

ADDRESS: _____

PHONE #: _____ FAX #: _____

SURETY COMPANY (IF ANY): _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Katharine Lingamfelter
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 8th DAY OF FEBRUARY 192005 BY KATHARINE LINGAMFELTER

Laura O'Brien
NOTARY SIGNATURE



PERSONALLY KNOWN
PRODUCED ID # FLDL 1525-506-44-531-0
TYPE OF ID X 1/31/0

INSTR # 1813483 OR BK 01981 PG 0059 RECD 02/09/2005 01:57:50 PM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L WOOD

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

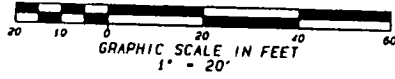
Name: Katharine F. Lingamfelter Date: Feb 8, 2005

Signature: Katharine F. Lingamfelter

Address: 17 Mandalay Rd

City & State: Sewall's Pt. FL

Permit No. _____



LOT 7

N66°00'00"E 239.08' ±

22°N55°01'02"W
16' PALM
14' PALM
12' PALM
10' PALM

ASPHALT DRIVE
CBS PUMP HOUSE
WELL POINT

DIRT
10' PALM
12' PALM
10' CITRUS
12' PALM
12' PALM
20' PALM
12' PALM
10' PALM

12' PALM BANYAN
10' CITRUS
24.5

P. O. F.
17°12'39"E 109.91'
15.62
23.0

ST. LUCIE RIVER
TIDAL

2 STORY CBS RESIDENCE
F.F. ELEV. - 30.10

LOT 8
LOT 9

S66°00'00"W 196.60'
5' PALM
5 10' PALMS
N64°59'00"E 187.02' ±
(182' DEED)

LOT 9

MEAN HIGH WATER
ELEV. = 0.72

RE-DECK ONLY

DRAWING REVISIONS: SURVEY, TOPO 3/23/01-- (INTER-OFFICE USE ONLY)	
TYPE OF SURVEY:	BOUNDARY, TOPOGRAPHIC
ELEVATION DATUM:	N. G. V. D. 1929
FLOOD ZONE:	*C* 120164 0002 D DATE 6/16/92
BASIS OF BEARING:	NORTH LINE OF LOT 8 BEING N 66°00'00" E

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 2/18/05

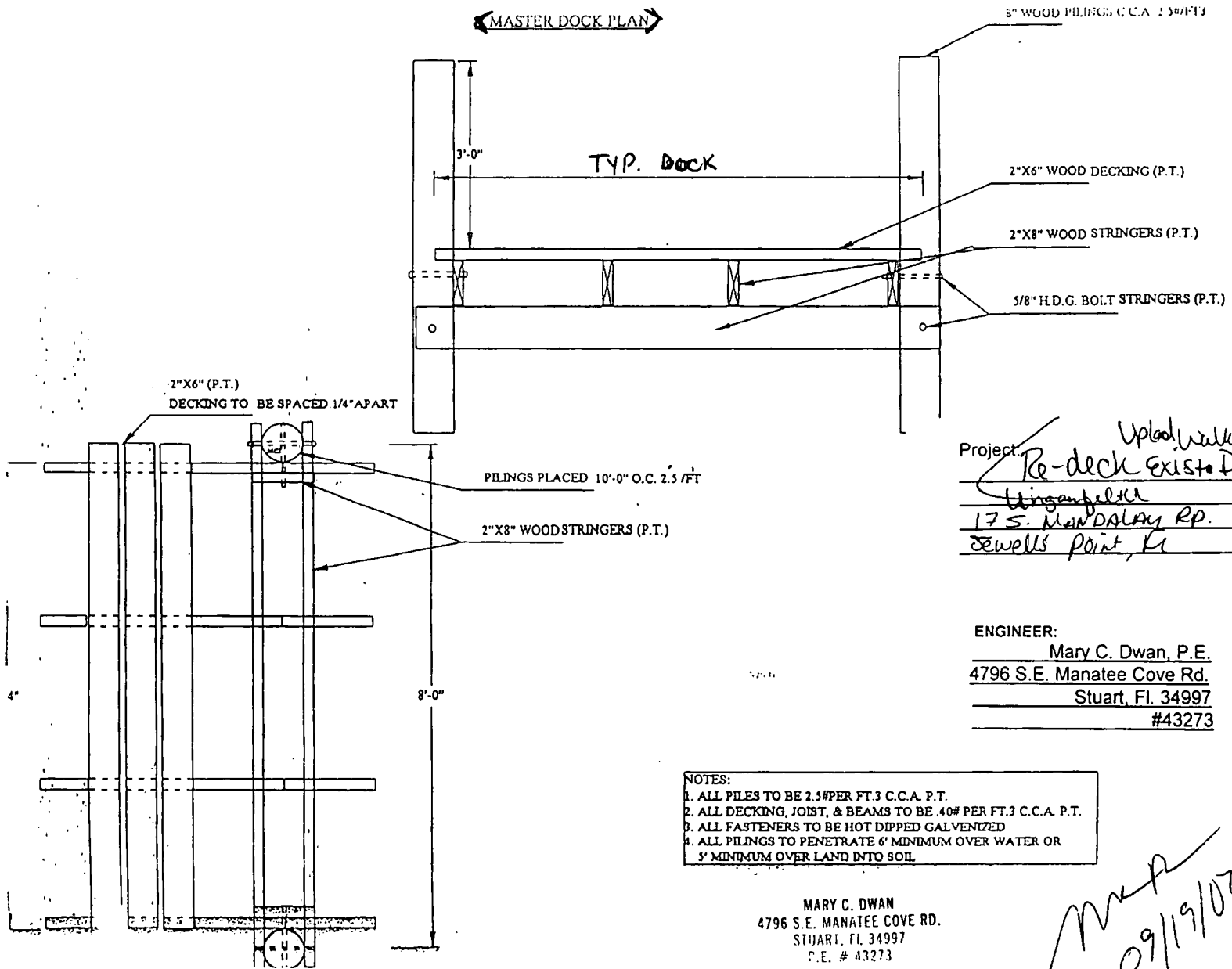
BUILDING OFFICIAL
Gene Simmons

REPAIR WORK FOR
HURRICANE DAMAGE

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 12/11/02

BUILDING OFFICIAL
Gene Simmons

← MASTER DOCK PLAN →



Project

Upgrade Walkway \$
Re-deck Existo Dock
Wingenfelte
17 S. Mandalay Rp.
Jewells Point, FL

ENGINEER:

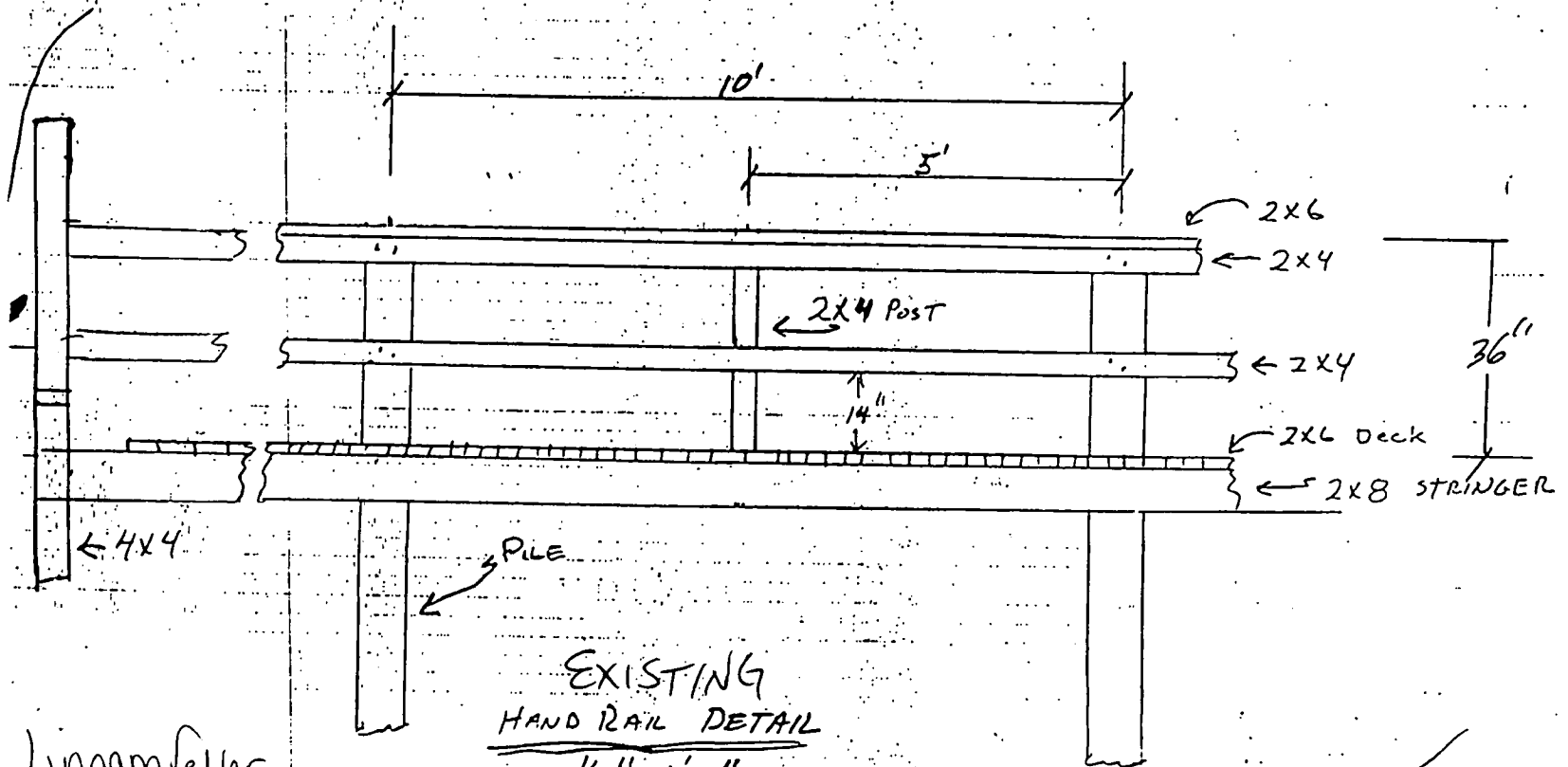
Mary C. Dwan, P.E.
4796 S.E. Manatee Cove Rd.
Stuart, FL 34997
#43273

NOTES:

1. ALL PILES TO BE 2.5# PER FT. 3 C.C.A. P.T.
2. ALL DECKING, JOIST, & BEAMS TO BE .40# PER FT. 3 C.C.A. P.T.
3. ALL FASTENERS TO BE HOT DIPPED GALVANIZED
4. ALL PILING TO PENETRATE 6' MINIMUM OVER WATER OR 5' MINIMUM OVER LAND INTO SOIL

MARY C. DWAN
 4796 S.E. MANATEE COVE RD.
 STUART, FL 34997
 P.E. # 43273

MCD
 09/19/02



EXISTING
HAND RAIL DETAIL
 1/2" - 1'-0"

Lingamfelter
 17 S. Mandalay Rd.
 Sewell's Point, FL

MARY C. DWAN
 4796 S.E. MANATEE COVE RD.
 STUART, FL 34997
 P.E. # 12223

MCD
 09/19/02

Boardwalk™ Composite Lumber

5/4x6, 2x4 and 2x6 Decking Installation Instructions

Joist Spacing & Support Structure

Boardwalk Composite Decking planks do not require any special substructure, but always consult local building codes for deck substructure requirements. Boardwalk must not be used as primary structural members. For best performance and visual effect make certain that the joists are level and secure prior to installing Boardwalk.

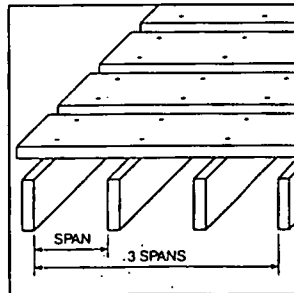
The following charts, tables and notes provide joist spacing and decking sizes for Boardwalk Composite Decking planks and stair treads for specified loading requirements, and Allowable Design Values for decking applications outside of the span charts. Always consult your local building codes.

Boardwalk Composite Lumber Decking Span Chart

Member Size	Maximum Uniform Live Load (pounds per square foot)		
	100	125	200
5/4 x 6	20	16	12
2 x 4	24	24	24
2 x 6	24	24	24

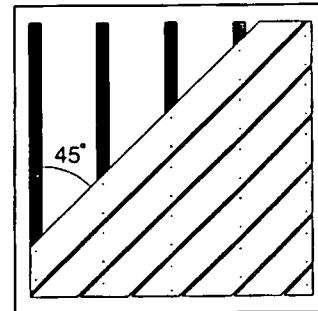
Span Chart Notes:

1. The spans and decking sizes indicated in this chart are to be used in lieu of application-specific calculations. When Boardwalk Composite Lumber is used in applications or loading conditions outside the scope of this chart, structural design calculations and details for specific applications performed by a qualified engineering professional shall be furnished to the code official verifying compliance with the applicable codes.
2. Values indicated in this chart are recommended maximum center-to-center joist spacing for Boardwalk. Values are based on a fully loaded three (3) span continuous condition engaging four (4) joists. Decking shall be securely fastened to each joist.
3. Recommended spans and member size are based on a maximum deflection of $L/360$.
4. All decking members shall be installed flatwise.

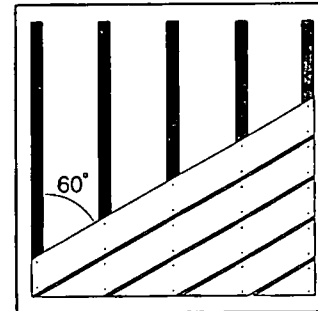


Angled Deck Plank Installation

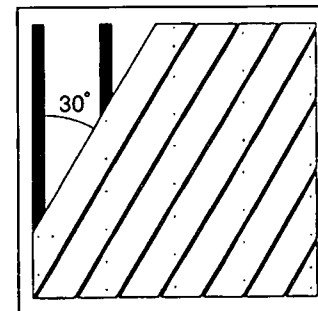
In order to achieve the recommended Boardwalk Composite Decking spans, support spacing for angled decking layouts must be adjusted.



- For 45 degree angle decking: Multiply Maximum Member Span Between Supports by 0.70



- For 60 degree angle decking: Multiply Maximum Member Span Between Supports by 0.86



- For 30 degree angle decking: Multiply Maximum Member Span Between Supports by 0.50

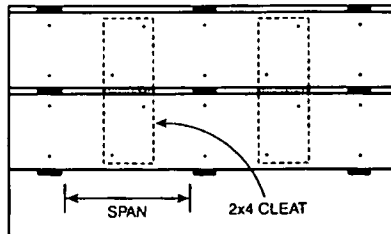
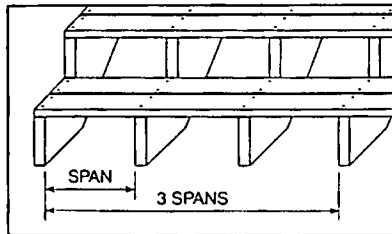
Decking Installation Instructions (cont'd.)

Boardwalk Composite Lumber
Stair Tread Span Chart

Member Size	300 lb. Concentrated Load	
	Single Member, 3 Span	Multiple Members, 3 Span ²
Member Size	Maximum Member Span Between Supports (Inches)	
5/4 x 6	n/a	8
2 x 4	8	16
2 x 6	12	20

Stair Tread Span Chart Notes:

1. Values indicated in this chart are recommended maximum center-to-center stringer spacing for Boardwalk Composite Decking treads. Values are based on a fully loaded, three (3) span continuous condition engaging four (4) stringers. Treads shall be securely fastened to each stringer. Refer to drawing below.
2. Recommended span and member size is based on a maximum deflection of L/360.
3. Multiple member treads shall be cleated together at center span to distribute the concentrated load. 5/4x6 and 2x6 requires two members minimum to be cleated. 2x4 requires three members minimum to be cleated. Refer to drawing below.
4. A cleat shall consist of a 2x4 member or equivalent fastened to the underside of all members of the tread at each mid-span location. The cleat shall be fastened to each member of the tread with a minimum of two (2) screws. The purpose of the cleat is to make all members of the tread function as a unit when subject to a concentrated load.



Boardwalk Composite Lumber
Allowable Design Values (2x4, 2x6 and 5/4x6)

Property	Design Value (psi)
Bending Stress	425
Tension	260
Modulus of Elasticity	1.80 x 10 ⁶
Compression Parallel to Length	850
Compression Perpendicular to Length	965
Shear Stress	280

Decking Allowable Design Value Table Notes:

1. The Allowable Design Values listed in the table are for use by qualified engineering professionals for the design of decking applications outside of the Decking and Stair Tread Span Charts.
2. Boardwalk Composite Lumber and its published design values are for decking applications only. Boardwalk must not be used for primary structural members.

Test Data

Performance Characteristic	ASTM Test Method	Performance Specification	Results
Coefficient of Expansion ¹	ASTM D696	n/a	2.4 x 10 ⁻³ /in/in/deg. F
Shear	ASTM D143	ASTM D5456	1607 psi
Compression Parallel to Grain	ASTM D198	ASTM D5456	2,448 psi
Nail Withdrawal ¹	ASTM D1761	ASTM D5456	318 lbs./in.
Screw Withdrawal ¹	ASTM D1761	ASTM D5456	834 lbs./in.
Flame Spread Index	ASTM E84	ASTM D5456	25
Ignition Properties	ASTM D1929	MSDS	Self Ignition 653 deg. F/Flash Ignition 682 deg. F
Decay Resistance	ASTM D1413	n/a	No Decay
Water Absorption (Unabraded)	ASTM D570	ASTM D1037	1.30%
Water Absorption (Abraded)	ASTM D570	ASTM D1037	4.61%
Weatherability	G26	ASTM D661	Accelerated/Xenon/2000hrs = Rating 10
Abrasion Resistance ¹	ASTM D4060	ASTM D5456	2.98grams/5000 Cycles
Static Coefficient of Friction - Dry	ASTM D2047	ASTM D5456	0.52 / 0.54
Static Coefficient of Friction - Wet	ASTM D2047	ASTM D5456	0.87 / 0.88
Termite Resistance	AWPA E1-72	n/a	Rating A
Thermal Conductivity ¹	ASTM C518	ASTM D5456	.718 Btu-inch/hr-sqft-deg.F
Slip Resistance	ASTM F1679	n/a	.70 Dry / .64 Wet
Chemical and Stain Resistance	ASTM D2151	n/a	Report on File
Leachate	EPA1311 & 6010	n/a	Meets EPA Regulatory Levels / Report on File
Stiffness (Flexural Modulus of Elasticity)	ASTM D198	ASTM D5456	231,000 psi (231 kpsi)

¹Nail Spec - 2in. 6d spiral nail, galvanized

¹Screw Spec - 2in. deck screw-self tapping, 10 threads per inch, galvanized

¹Equipment for ASTM D2394 no longer being made - ASTM D4060 is the accepted alternate method

¹ASTM D696 is the accepted alternate to ASTM E228

¹ASTM C518 is the accepted alternate to ASTM C177

Values shown are for reference only.
These values must not be used for
design purposes or installation.

For more information, please
reference National Evaluation
Service (NES) Report #576

8144

DOCK REPAIR

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 3-29-06

BUILDING PERMIT NO. **8144**

Building to be erected for LINGAMFELTER Type of Permit Dock Repair

Applied for by O/B (Contractor) Building Fee 240.00

Subdivision MANDALAY Lot 8 Block _____ Radon Fee _____

Address 17 MANDALAY ROAD Impact Fee _____

Type of structure SFR A/C Fee _____

Parcel Control Number:

1338410040000008060000

Amount Paid 330.00 Check # 1037 Cash _____ Other Fees 1590.00 24.00 16.00

Total Construction Cost \$ 20,000

Roofing Fee _____

TOTAL Fees 330.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

6-29-07

Spoke w/ Mr. L - will send cr to extend permit -

PERMIT

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input checked="" type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Renewal for ^{1 yr} ~~Annual~~ \$240
Per 7/9/07 CC # 1333

MASTER PERMIT NO. _____

3/29/07 - 3/29/08 TOWN OF SEWALL'S POINT

Date 3-29-06

BUILDING PERMIT NO. 8144

Building to be erected for LINGAMFELTER Type of Permit DOCK REPAIR

Applied for by O/B (Contractor) Building Fee 240.00

Subdivision MANDALAY Lot 8 Block _____ Radon Fee _____

Address 17 MANDALAY ROAD Impact Fee _____

Type of structure SFR AC Fee _____

Parcel Control Number:

1338410040000008060000 Roofing Fee _____

Amount Paid 330.00 Check # 1037 Cash _____ Other Fees 100.00 PR 24.00
3590.00 16.00

Total Construction Cost \$ 20,000 TOTAL Fees 330.00

Signed C Brown Lingamfelter
Applicant

Signed Gene Summers
Town Building Official

C. BROWN LINGAMFELTER
2045 OYSTER HARBOR
OSTERVILLE, MA 02655

Date 30 Jun 07 1333
54-153/114
484

Pay to the order of Town of Sewalls Point \$ 240^{XX}
Two Hundred and Forty and no/100 dollars

Citizens Bank
New Hampshire

For Dock Permit C Brown Lingamfelter

⑆01401533⑆ 3301662201⑆ 1333

HURRICANE

Cell-978-270-5667

RECEIVED
Date: 1/16/09

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

OWNER/TITLEHOLDER NAME: C Brown Lingamfelter Phone (Day) 772-781-2881 (Fax) 772-781-2881

Job Site Address: 17 Mandalay Road City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): Same City: _____ State: _____ Zip: _____

Description of Work To Be Done: Replace Dock - Hurricane Damage

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$20,000
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

C Brown Lingamfelter

State of Florida, County of: MARTIN

This the 16th day of JANUARY, 2006

by CHARLES B LINGAMFELTER who is personally

known to me or produced EIDL 4525/142-43-030-0

as identification. *Laura L O'Brien* x1130/09

My Commission Expires _____

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____

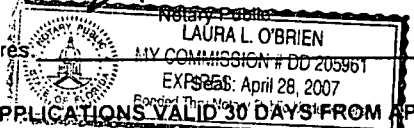
This the _____ day of _____ 200

by _____ who is personally

known to me or produced _____

As identification. _____

My Commission Expires: _____



Notary Public

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even through you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statues 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Katherine F. Lingamfelter Date: Feb 8, 2005
Signature: Katherine F. Lingamfelter
Address: 17 Mandalay Rd
City & State: Sewall's Pt. FL
Permit No. _____

INSTR # 2035485 OR BK 02274 PG 2385 RECD 08/29/2007 10:00:08 AM

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00



PERMIT # 8144

TAX FOLIO # 13-38-41-001-000-00080-60000

NOTICE OF COMMENCEMENT

STATE OF FL

COUNTY OF FL

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Mandaly lot 8

GENERAL DESCRIPTION OF IMPROVEMENT: improve dock

OWNER: Katharine Lingamfelter

ADDRESS: 17 Mandaly Rd

PHONE #: 781-2881 FAX #: same

CONTRACTOR: owner-builder

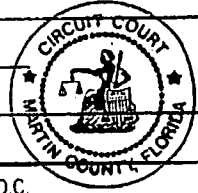
ADDRESS: _____

PHONE #: _____ FAX #: _____

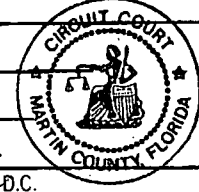
SURETY COMPANY (IF ANY): _____ STATE OF FLORIDA

ADDRESS: _____ MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL BOND AGREEMENT.
MARSHA EWING, CLERK
BY [Signature] D.C.
DATE 8-29-07
PHONE #: _____



THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK
BY [Signature] D.C.
DATE 8-29-07
FAX #: _____



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

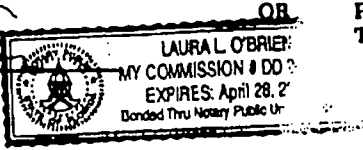
IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.
PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

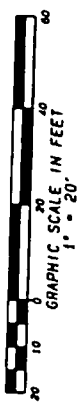
SWORN TO AND SUBSCRIBED BEFORE ME THIS 8th DAY OF February 2007 BY KATHARINE FL LINGAMFELTER

[Signature]
NOTARY SIGNATURE



PERSONALLY KNOWN
PRODUCED ID # FLD 1525-506-44-531-0
TYPE OF ID X 1/3/10

INSTR # 1813483 OR BK 01981 PG 0059 RECD 02/09/2005 01:57:50 PM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L WOOD



FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 2/8/05
 BUILDING OFFICIAL
 Gene Simmons

**REPAIR WORK FOR
 HURRICANE DAMAGE**

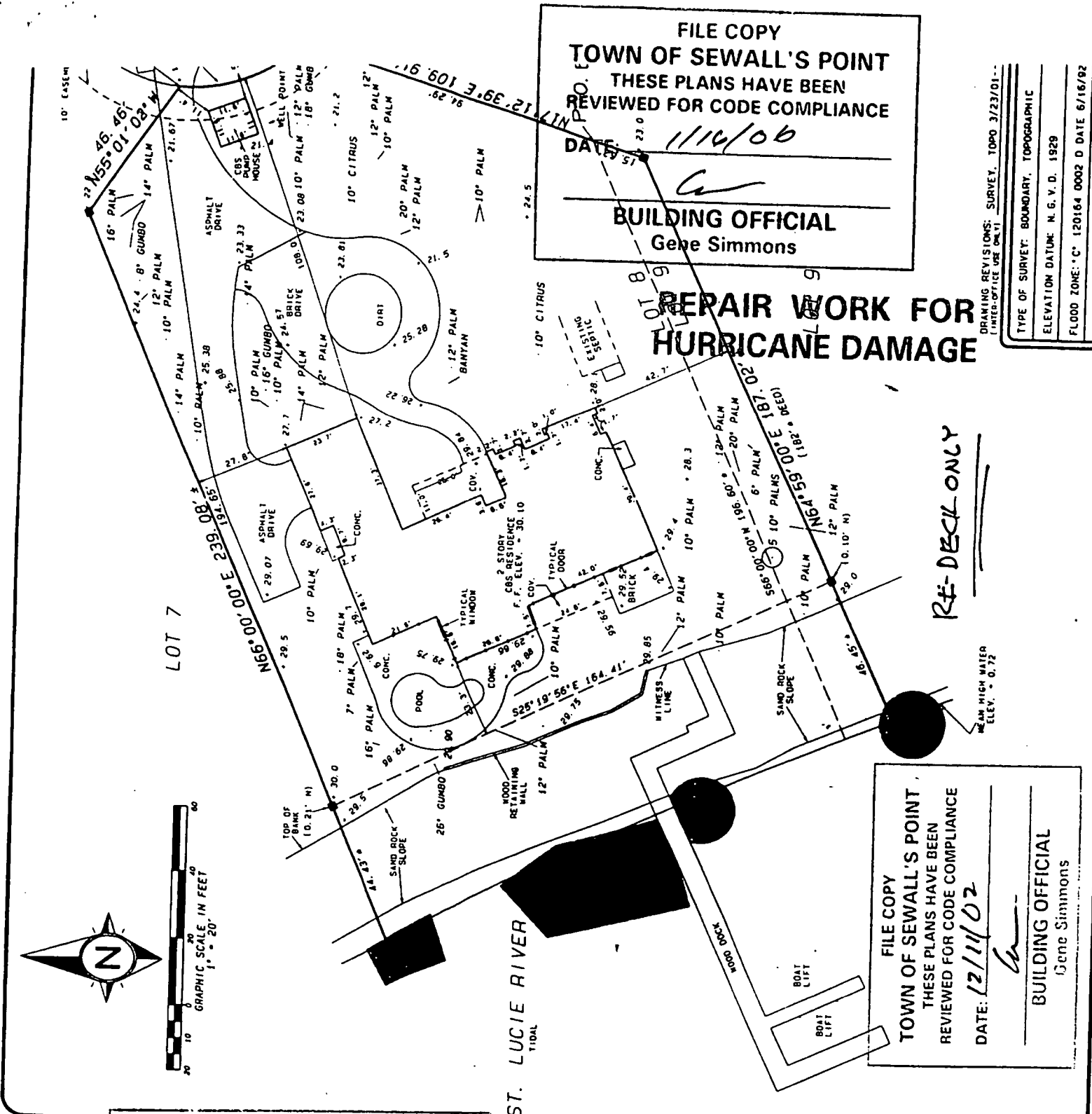
FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 12/11/02
 BUILDING OFFICIAL
 Gene Simmons

REF-DECK ONLY

FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 11/16/06
 BUILDING OFFICIAL
 Gene Simmons

**REPAIR WORK FOR
 HURRICANE DAMAGE**

DRAWING REVISIONS: SURVEY, TOPO 3/23/01-
 (INTER-OFFICE USE ONLY)
 TYPE OF SURVEY: BOUNDARY, TOPOGRAPHIC
 ELEVATION DATUM: N. G. V. D. 1929
 FLOOD ZONE: "C" 120164 0002 D DATE 6/16/92
 BASIS OF BEARING: NORTH LINE OF LOT 9

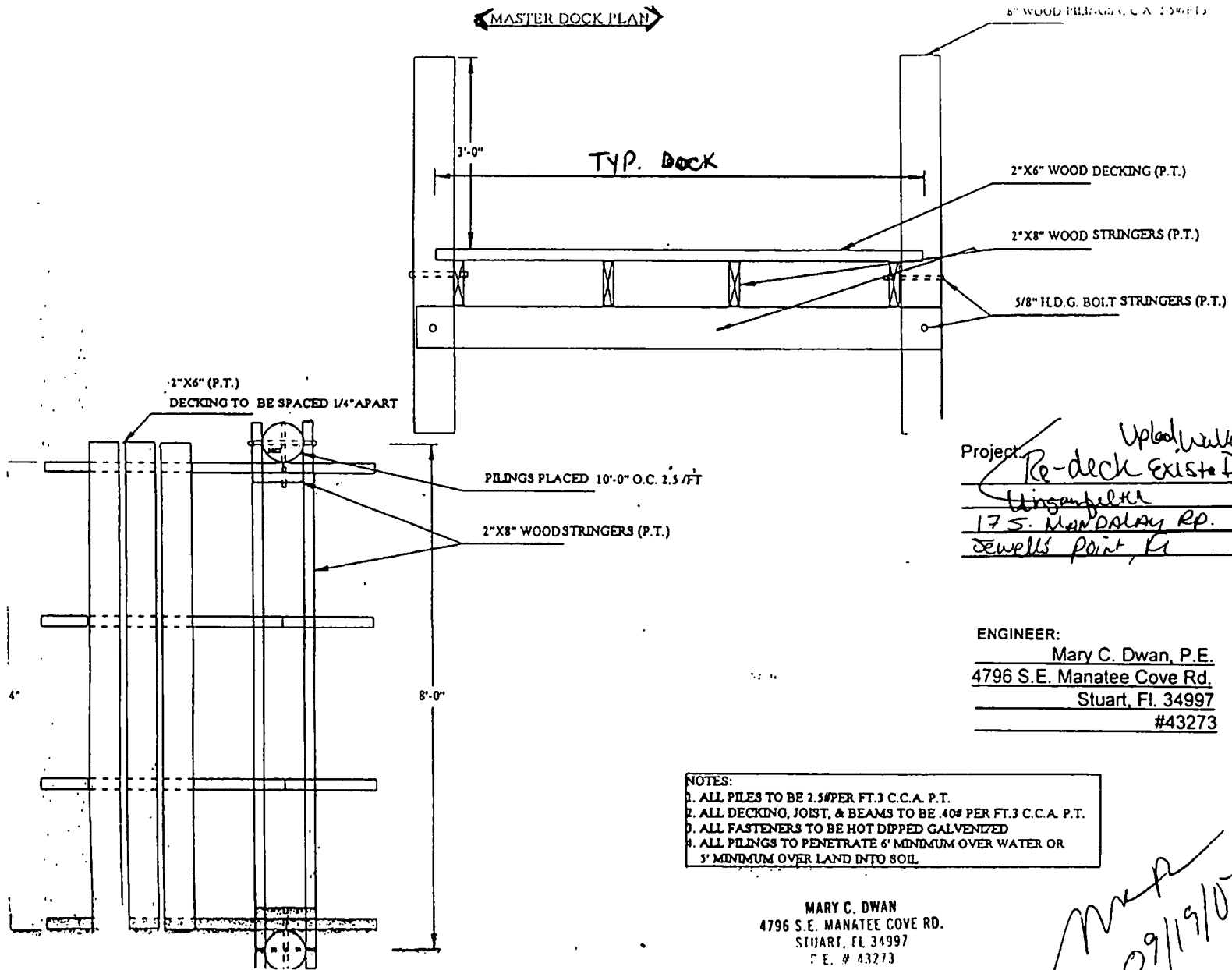


ST. LUCIE RIVER
 TIDAL

LOT 7

SEAN HIGH WATER
 ELEV. = 0.72

← MASTER DOCK PLAN →



5" WOOD PILING S.C.A. 2.5#/FT

TYP. DOCK

2" X 6" WOOD DECKING (P.T.)

2" X 8" WOOD STRINGERS (P.T.)

5/8" HD.G. BOLT STRINGERS (P.T.)

2" X 6" (P.T.)
DECKING TO BE SPACED 1/4" APART

PILINGS PLACED 10'-0" O.C. 2.5 /FT

2" X 8" WOODSTRINGERS (P.T.)

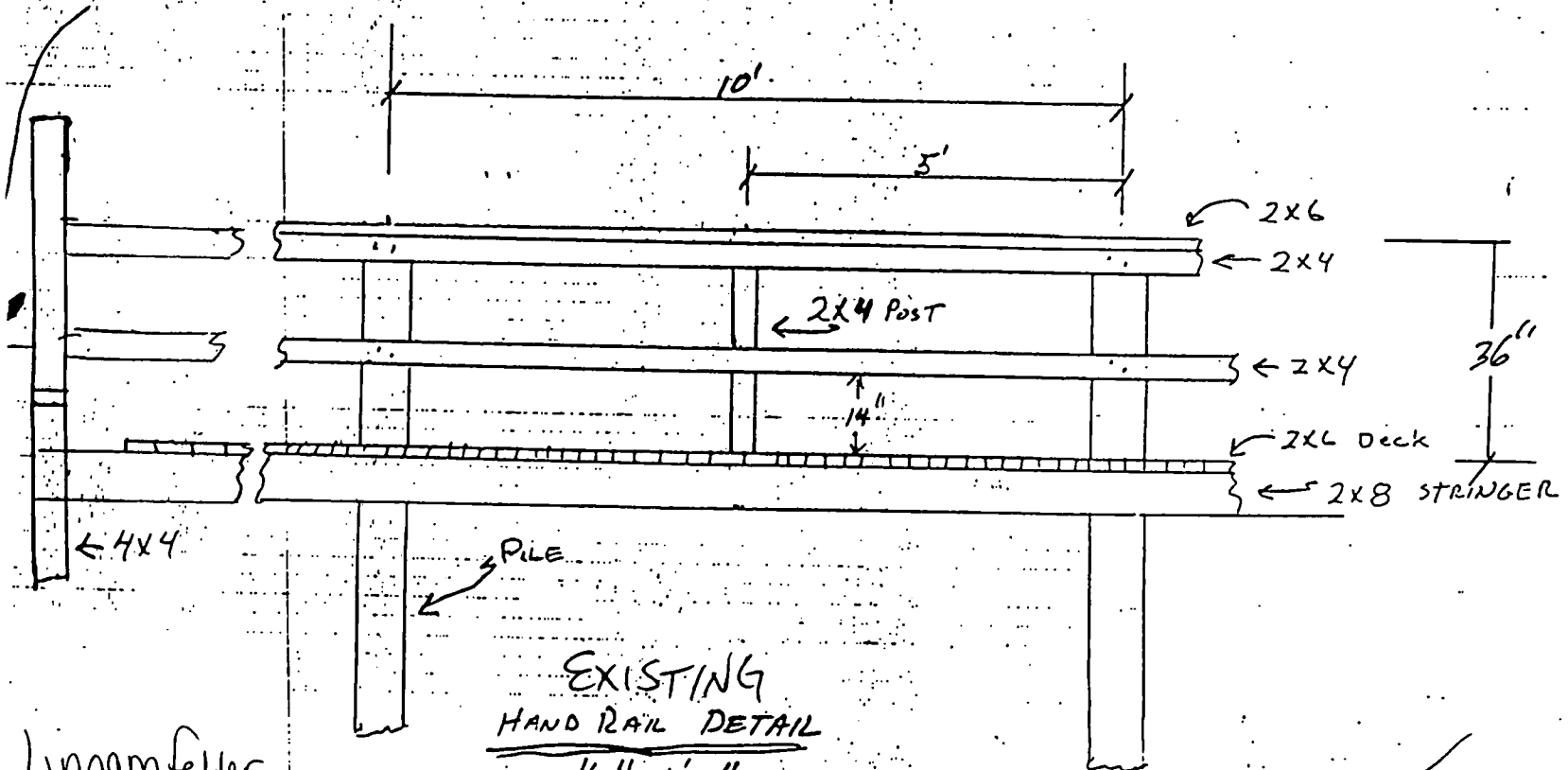
Project: Upgrade Walkway
Re-deck Existing Dock
Wingsfield
17 S. Mandalay Rd.
Jewells Point, FL

ENGINEER:
Mary C. Dwan, P.E.
4796 S.E. Manatee Cove Rd.
Stuart, FL 34997
#43273

- NOTES:
1. ALL PILES TO BE 2.5#/PER FT. 3 C.C.A. P.T.
 2. ALL DECKING, JOIST, & BEAMS TO BE .40# PER FT. 3 C.C.A. P.T.
 3. ALL FASTENERS TO BE HOT DIPPED GALVANIZED
 4. ALL PILINGS TO PENETRATE 6' MINIMUM OVER WATER OR 3' MINIMUM OVER LAND INTO SOIL

MARY C. DWAN
 4796 S.E. MANATEE COVE RD.
 STUART, FL 34997
 P.E. # 43273

MCD
 09/19/02



EXISTING
HAND RAIL DETAIL
1/2" = 1'-0"

Ungamfelter
17 S. Mandalay Rd.
Sewell's Point, Fla.

MARY C. DWAN
4796 S.E. MANATEE COVE RD.
STUART, FL 34997
P.E. # 12223

MCD
09/19/02

Boardwalk™ Composite Lumber

5/4x6, 2x4 and 2x6 Decking Installation Instructions

Joist Spacing & Support Structure

Boardwalk Composite Decking planks do not require any special substructure, but always consult local building codes for deck substructure requirements. Boardwalk must not be used as primary structural members. For best performance and visual effect make certain that the joists are level and secure prior to installing Boardwalk.

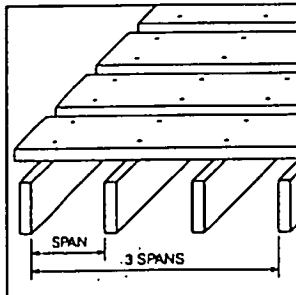
The following charts, tables and notes provide joist spacing and decking sizes for Boardwalk Composite Decking planks and stair treads for specified loading requirements, and Allowable Design Values for decking applications outside of the span charts. Always consult your local building codes.

Boardwalk Composite Lumber Decking Span Chart

Member Size	Maximum Uniform Live Load (pounds per square foot)		
	100	125	200
Maximum Member Span Between Supports (inches)			
5/4 x 6	20	16	12
2 x 4	24	24	24
2 x 6	24	24	24

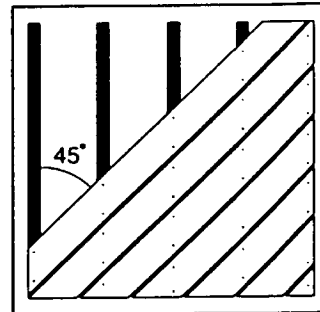
Span Chart Notes:

- The spans and decking sizes indicated in this chart are to be used in lieu of application-specific calculations. When Boardwalk Composite Lumber is used in applications or loading conditions outside the scope of this chart, structural design calculations and details for specific applications performed by a qualified engineering professional shall be furnished to the code official verifying compliance with the applicable codes.
- Values indicated in this chart are recommended maximum center-to-center joist spacing for Boardwalk. Values are based on a fully loaded three (3) span continuous condition engaging four (4) joists. Decking shall be securely fastened to each joist.
- Recommended spans and member size are based on a maximum deflection of $L/360$.
- All decking members shall be installed flatwise.

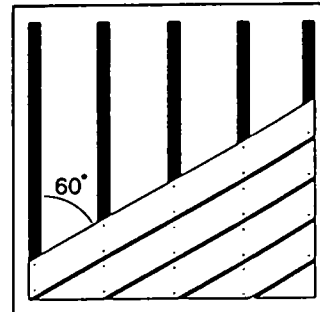


Angled Deck Plank Installation

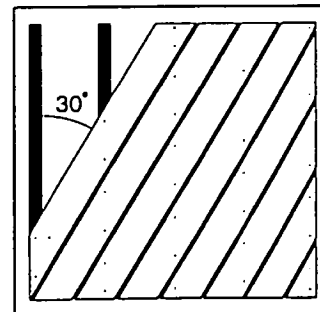
In order to achieve the recommended Boardwalk Composite Decking spans, support spacing for angled decking layouts must be adjusted.



- For 45 degree angle decking: Multiply Maximum Member Span Between Supports by 0.70



- For 60 degree angle decking: Multiply Maximum Member Span Between Supports by 0.86



- For 30 degree angle decking: Multiply Maximum Member Span Between Supports by 0.50

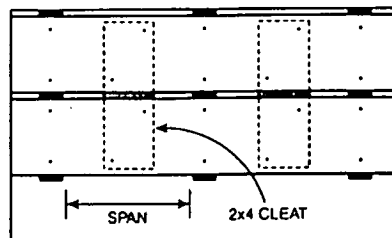
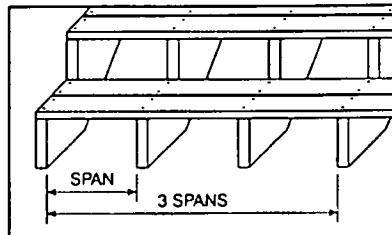
Decking Installation Instructions (cont'd.)

**Boardwalk Composite Lumber
Stair Tread Span Chart**

Member Size	300 lb. Concentrated Load	
	Single Member, 3 Span	Multiple Members, 3 Span ¹
	Maximum Member Span Between Supports (Inches)	
5/4 x 6	n/a	8
2 x 4	8	16
2 x 6	12	20

Stair Tread Span Chart Notes:

1. Values indicated in this chart are recommended maximum center-to-center stringer spacing for Boardwalk Composite Decking treads. Values are based on a fully loaded, three (3) span continuous condition engaging four (4) stringers. Treads shall be securely fastened to each stringer. Refer to drawing below.
2. Recommended span and member size is based on a maximum deflection of L/360.
3. Multiple member treads shall be cleated together at center span to distribute the concentrated load. 5/4x6 and 2x6 requires two members minimum to be cleated. 2x4 requires three members minimum to be cleated. Refer to drawing below.
4. A cleat shall consist of a 2x4 member or equivalent fastened to the underside of all members of the tread at each mid-span location. The cleat shall be fastened to each member of the tread with a minimum of two (2) screws. The purpose of the cleat is to make all members of the tread function as a unit when subject to a concentrated load.



**Boardwalk Composite Lumber
Allowable Design Values (2x4, 2x6 and 5/4x6)**

Property	Design Value (psi)
Bending Stress	425
Tension	260
Modulus of Elasticity	1.80 x 10 ⁶
Compression Parallel to Length	850
Compression Perpendicular to Length	965
Shear Stress	280

Decking Allowable Design Value Table Notes:

1. The Allowable Design Values listed in the table are for use by qualified engineering professionals for the design of decking applications outside of the Decking and Stair Tread Span Charts.
2. Boardwalk Composite Lumber and its published design values are for decking applications only. Boardwalk must not be used for primary structural members.

Test Data

Performance Characteristic	ASTM Test Method	Performance Specification	Results
Coefficient of Expansion*	ASTM D696	n/a	2.4 x 10 ⁻³ /in/in/deg. F
Shear	ASTM D143	ASTM D5456	1607 psi
Compression Parallel to Grain	ASTM D198	ASTM D5456	2,448 psi
Nail Withdrawal ¹	ASTM D1761	ASTM D5456	318 lbs./in
Screw Withdrawal ²	ASTM D1761	ASTM D5456	834 lbs./in.
Flame Spread Index	ASTM E84	ASTM D5456	25
Ignition Properties	ASTM D1929	MSDS	Self Ignition 653 deg. F/Flash Ignition 682 deg.F
Decay Resistance	ASTM D1413	n/a	No Decay
Water Absorption (Unabraded)	ASTM D570	ASTM D1037	1.30%
Water Absorption (Abraded)	ASTM D570	ASTM D1037	4.61%
Weatherability	G26	ASTM D661	Accelerated/Xenon/2000hrs = Rating 10
Abrasion Resistance ³	ASTM D4060	ASTM D5456	2.98grams/5000 Cycles
Static Coefficient of Friction - Dry	ASTM D2047	ASTM D5456	0.52 / 0.54
Static Coefficient of Friction - Wet	ASTM D2047	ASTM D5456	0.87 / 0.88
Termite Resistance	AWPA E1-72	n/a	Rating A
Thermal Conductivity ⁴	ASTM C518	ASTM D5456	.718 Btu-inch/hr-sqft-deg.F
Slip Resistance	ASTM F1679	n/a	.70 Dry / .64 Wet
Chemical and Stain Resistance	ASTM D2151	n/a	Report on File
Leachate	EPA1311 & 6010	n/a	Meets EPA Regulatory Levels / Report on File
Stiffness (Flexural Modulus of Elasticity)	ASTM D198	ASTM D5456	231,000 psi (231 kpsi)

¹Nail Spec - 2in. 6d spiral nail, galvanized

²Screw Spec - 2in. deck screw-self tapping, 10 threads per inch, galvanized

³Equipment for ASTM D2394 no longer being made - ASTM D4060 is the accepted alternate method

⁴ASTM D696 is the accepted alternate to ASTM E228

⁵ASTM C518 is the accepted alternate to ASTM C177

Values shown are for reference only.

These values must not be used for design purposes or installation.

For more information, please reference National Evaluation Service (NES) Report #576

Handwritten signature

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9-1, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
884	LIBITSKY 3 RIO VISTA OWNER/BUILDER	FRONT DOOR ROUGH	Pass	INSPECTOR: <i>[Signature]</i>
8145	Givings 8 Castle Hill	UG WATER PIPE	Pass	INSPECTOR: <i>[Signature]</i>
8762	McCRAWY 22 PALMETTO FINE DETAILS	FINAL GAS FINAL	Pass	Close INSPECTOR: <i>[Signature]</i>
8144	Kingman 17 Mandalay Rd	Final check	Pass	Close INSPECTOR: <i>[Signature]</i>
Tree	Williams 110 Henry Sewall Way OB	Tree	Pass	N/e 2600/ Dying Hickory INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>

OTHER:

8681

RETAINING WALL & RIP-RAP



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8681	DATE ISSUED:	AUGUST 10, 2007
SCOPE OF WORK:	RETAINING WALL & RIP-RAP		
CONDITIONS :			
CONTRACTOR:	LINDEN MARINE		
PARCEL CONTROL NUMBER:	133841004000000806	SUBDIVISION	MANDALAY-LOT 8
CONSTRUCTION ADDRESS:	17 MANDALAY RD		
OWNER NAME:	LINGAMFELTER		
QUALIFIER:	MAURICE PETZ	CONTACT PHONE NUMBER:	772-545-0012

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

RECEIVED
6-29-07

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Date: 6-16-07 Permit Number: _____

OWNER/TITLE HOLDER: Charles Brown Lingamfelter Phone (Day) 978 270-5667 (Fax) _____

Job Site Address: 17 South Madalay Road City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Madalay Lot 8 Parcel Number: 13-38-41-004-000-000806

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: 170' +/- retaining wall > 3' from MHW (landward)

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES: from MHW

Estimated Cost of Construction or Improvements: \$ 27000.00

(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: Linden Marine Constuction Phone: 772545-0012 Fax: 772545-0752

Street: 2689 SW Trailside Path City: Stuart State: FL Zip: 34997

State Registration Number: _____ State Certification Number: _____ Martin County License Number: SP02846

SUBCONTRACTOR INFORMATION:

Electrical: NA State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT 1 Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER Paul Welch Lic# 29945 Phone Number: 772 785 9888

Street: 1984 SW Biltmore St., Suite 114 City: Port St. Lucie State: FL Zip: 34984

AREA SQUARE FOOTAGE - SEWER - ELECTRIC NA Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

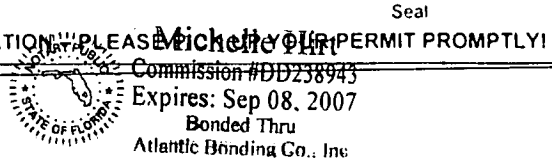
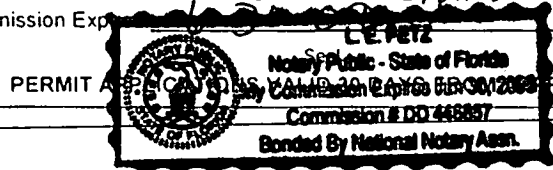
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Charles Brown Lingamfelter
State of Florida, County of: Martin
This the 19th day of June, 2007
by C. Brown Lingamfelter who is personally known to me or produced as identification. [Signature]

Notary Public Expires 6-30-09

CONTRACTOR SIGNATURE (required)
[Signature]
On State of Florida, County of: Martin
This the 24th day of June, 2007
by Maurice Petz who is personally known to me or produced as identification. Michelle Vint

Notary Public Expires 9-8-07



PERMIT APPROVAL NOTIFICATION: PLEASE REVIEW PERMIT PROMPTLY!

Martin County, Florida

generated on 6/24/2007 8:23:00 PM EDT

Summary

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
13-38-41-004-000-00080-6	17 S MANDALAY RD	27799	Owner	0	1

Summary

Property Location 17 S MANDALAY RD
Tax District 2200 Sewall's Point
Account # 27799
Land Use 101 0100 Single Family
Neighborhood 193170
Acres 0.877

Legal Description

Property Information
 MANDALAY LOT 8 & BEG ON RIVER
 17' S OF S LOT LN, RUN N 64
 DEG 59' E 182', N 17 DEG 12'

Owner Information

Owner Information
 LINGAMFELTER, KATHARINE F

Mall Information

17 S MANDALAY RD
 STUART FL 34996

Assessment Info

Front Ft. 1.00

Market Land Value \$2,240,000
Market Impr Value \$282,390
Market Total Value \$2,522,390

Recent Sale

Sale Amount \$1,725,000

Sale Date 6/2/1999
Book/Page 1398 0931

Data updated on 06/11/2007

ACORD CERTIFICATE OF LIABILITY INSURANCE		DATE (MM/DD/YYYY) 4/2/2007
PRODUCER COAST TO COAST INSURANCE SERVICES, LLC 235 S. Maitland Avenue, Suite 108 Maitland, FL 32751 (407) 599-0092	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED Linden Marine Construction, Inc. 2689 SW Trailside Path Stuart, FL 34997	INSURERS AFFORDING COVERAGE INSURER A: CNA Insurance Company INSURER B: INSURER C: INSURER D: INSURER E:	NAIC#

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

LINE	ADDITIONAL LINE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> P&I GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	ML 0871609-01	2/1/07	2/1/08	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000 P&I \$1,000,000
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS OTH-ER B.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
A		OTHER Hull Protection/Indem	H0872813-01 H0872813-01	2/1/07 2/1/07	2/1/08 2/1/08	\$70,000 \$1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Hull/P&I pertains to 2005 Workboat and 2005 Crane Barge.

CERTIFICATE HOLDER

Town of Sewalls Point

FAX: 772-220-4765
ATTN: Valarie

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ~~NOTICE~~ MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

05-23-2005

TOM GALLAGHER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

**** CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW ****

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE: 06/12/2005 ** EXPIRATION DATE: 06/12/2007

PERSON: PETZ MAURICE D

FEIN: 650784807

BUSINESS NAME AND ADDRESS: LINDEN MARINE CONSTRUCTION INC
2889 SW TRAILSIDE PATH
STUART FL 34997

SCOPE OF BUSINESS OR TRADE: 1 - MARINE CONSTRUCTION

IMPORTANT: Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-04

QUESTIONS? (850) 413-1609

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

<p>STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION</p> <p>CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW</p> <p>EFFECTIVE: 06/12/2005 ** EXPIRATION DATE: 06/12/2007</p> <p>PERSON PETZ MAURICE D</p> <p>FEIN: 650784807</p> <p>BUSINESS NAME AND ADDRESS: LINDEN MARINE CONSTRUCTION INC 2889 SW TRAILSIDE PATH STUART FL 34997</p> <p>SCOPE OF BUSINESS OR TRADE: 1- MARINE CONSTRUCTION</p>	<p>F O L D H E R E</p> <p>IMPORTANT</p> <p>Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.</p> <p>QUESTIONS? (850) 413-1609</p>
--	--

CUT HERE

* Carry bottom portion on the job, keep upper portion for your records.

05-19-2005



TOM GALLAGHER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

**** CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW ****

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE: 05/19/2005 ** EXPIRATION DATE: 05/19/2007

PERSON: MANNIELLO JOSEPH
FEIN: 650984807
BUSINESS NAME: LINDEN MARINE CONSTRUCTION INC
AND ADDRESS: 2689 SW TRAILSIDE PATH
STUART FL 34997

SCOPE OF BUSINESS OR TRADE: 1 - MARINE CONSTRUCTION

REISSUANCE REQUIREMENTS

IMPORTANT: Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

DWC-262 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-04

QUESTIONS? (850) 413-1609

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

<p>STATE OF FLORIDA DEPARTMENT OF FINANCIAL SERVICES DIVISION OF WORKERS' COMPENSATION</p> <p>CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW</p> <p>EFFECTIVE: 05/19/2005 ** EXPIRATION DATE: 05/19/2007</p> <p>PERSON: MANNIELLO JOSEPH FEIN: 650984807</p> <p>BUSINESS NAME: LINDEN MARINE CONSTRUCTION INC AND ADDRESS: 2689 SW TRAILSIDE PATH STUART FL 34997</p> <p>SCOPE OF BUSINESS OR TRADE: 1- MARINE CONSTRUCTION</p>	<p style="text-align: center;">IMPORTANT</p> <p>Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.</p> <p style="text-align: right;">QUESTIONS? 18501 413-1609</p>
--	---

CUT HERE

* Carry bottom portion on the job, keep upper portion for your records.



Martin County Building Department

**2401 SE Monterey Road
Stuart, Fl 34996
(772) 288-5482
Fax (772) 288-5911**

**PETZ, MAURICE D
LINDEN MARINE INC
2689 SW TRAILSIDE PATH
STUART, FL 34997**

NOTICE TO ALL CONTRACTORS


PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

PROHIBITED ACTIVITIES:

43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.

 **MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency**

MARINE CONTRACTOR

License Number SP02847 Expires: 30-SEP-07

**PETZ, MAURICE D
LINDEN MARINE INC
2689 SW TRAILSIDE PATH
STUART, FL 34997**

**2006-2007 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **MARINE CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

10 DAY OF AUGUST 2006
AND ENDING SEPTEMBER 30 2007

LICENSE 2000-520-0002 CERT _____
PHONE (772) 545-0012 SIC NO 001629

LOCATION:

2689 SW TRAILSIDE PATH STU

RECEIPT of PAYMENT
LARRY C. O'STEEN
99 08/10/2006 NORMA
20000005200000
002 2005 0010565.
LINDEN MARINE, INC.

PETZ, MAURICE D
LINDEN MARINE, INC.
2689 SW TRAILSIDE PATH
STUART FL 34957

GENERAL CONDITIONS FOR FEDERAL AUTHORIZATION FOR SGP IV

General Conditions

Army Corp.

1. The time limit for completing the work authorized ends on September 1, 2011.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit, you must obtain the signature and mailing address of the new owner in the space provided below and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your projects, you must comply with the conditions specified in the certification as special conditions to this permit.
6. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Further Information:

1. Limits of this authorization.
 - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
 - b. This permit does not grant any property rights or exclusive privileges.
 - c. This permit does not authorize any injury to the property or rights of others.
 - d. This permit does not authorize interference with any existing or proposed Federal projects.
2. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any liability for the following:
 - a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.
 - c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
 - d. Design or construction deficiencies associated with the permitted work.
 - e. Damage claims associated with any future modification, suspension, or revocation of this permit.

page 1

JUL 12, 2007 03:59P



Department of Environmental Protection

Jeb Bush
Governor

MAY 23 2006
DEP

Southeast District
400 N. Congress Ave. Suite 200
West Palm Beach, Florida 33401

Colleen M. Castille
Secretary

Certified - Return Receipt Requested *70041510000097113509*

Brown Lingamfelter
17 South Mandalay Road
Stuart, FL 34996

Dear Mr. Lingamfelter:

Enclosed is Environmental Resource Permit No. 43-0249380-001 issued pursuant to Part IV of Chapter 373, Florida Statutes (F.S.), and Title 62, Florida Administrative Code (F.A.C.).

Appeal rights for you as the permittee and for any affected third party are described in the text of the permit along with conditions which must be met when permitted activities are undertaken. Please review this document carefully to ensure compliance with both the general and specific conditions contained herein. As the permittee, you are responsible for compliance with these conditions. **Please ensure all construction personnel associated with your activity review and understand the approved drawings and conditions.** Failure to comply with this permit may result in liability for damages and restoration, and the imposition of civil penalties up to \$10,000.00 per violation per day pursuant to Sections 403.141 and 403.161, F.S.

In addition, please ensure the construction commencement notice and all other reporting conditions are forwarded to the appropriate office as indicated in the specific conditions.

If you have any questions about this document, please contact me at 561/681-6634 or at eric.reusch@dep.state.fl.us.

Sincerely,

Eric Reusch
Environmental Specialist II
Submerged Lands & Environmental
Resources Program

"More Protection, Less Process!"

Printed on recycled paper.

page 1

JUL 12, 2007 03:56P



Department of Environmental Protection

Jeff Bush
Governor

MAY 23 2006
DEP

Southeast District
400 N. Congress Ave., Suite 200
West Palm Beach, Florida 33401

Colleen M. Castille
Secretary

CONSOLIDATED ENVIRONMENTAL RESOURCE PERMIT AND SOVEREIGN SUBMERGED LANDS AUTHORIZATION

PERMITTEE/AUTHORIZED ENTITY:

Brown Lingamfelter
17 South Mandalay Road
Stuart, FL 34996

Permit/Authorization No.: 43-0249380-001
Date of Issue: MAY 23 2006
Expiration Date of
Construction Phase: 5-22-2011
County: Martin
Project: Lingamfelter, Brown

} 5 year
for
E.O.R.P.

This permit is issued under the authority of Part IV of Chapter 373, Florida Statutes (F.S.), and Title 62, Florida Administrative Code (F.A.C.). The activity is not exempt from the requirement to obtain an Environmental Resource Permit. Pursuant to Operating Agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C., the Department is responsible for reviewing and taking final agency action on this activity.

ACTIVITY DESCRIPTION:

The purpose of the project is to (1) install a 170 linear foot seawall at least 3' landward of the Mean High Water Line and all mangroves, including *Rhizophora mangle* prop roots, (2) install approximately 300 cubic yards of riprap along the seawall, extending a maximum of 10' waterward of the Mean High Water Line, (3) install a 170 linear foot intermediate upland retaining wall, and (4) repair and replace an existing, 100 linear foot upland retaining wall. The riprap shall be installed at a 2:1 (Horizontal: Vertical) slope and hand-placed around mangroves, including all prop roots, to avoid any resource impacts. During construction, turbidity curtains shall be used to control any turbid discharge that results from installing the seawall, riprap, and two upland retaining walls.

The project site is severely eroded along the shoreline, with a sandy and barren substrate below the Mean High Water Line. No seagrasses or other benthic resources are located within the project area. Two species of mangroves, *Rhizophora mangle* and *Avicennia germinans*, are present on-site, however no impacts to these resources are authorized by this permit.

ACTIVITY LOCATION:

The project is located on the St. Lucie River, Class III Waters, adjacent to 17 South Mandalay Road, Stuart (Section 13, Township 38 South, Range 41 East), in Martin County (27° 10' 47.95" North Latitude, 80° 11' 28.74" West Longitude).

This permit also constitutes a finding of consistency with Florida's Coastal Zone Management Program, as required by Section 307 of the Coastal Management Act.

This permit also constitutes certification of compliance with water quality standards under Section 401 of the Clean Water Act, 33 U.S.C. 1341.

This activity also requires a proprietary authorization, as the activity is located on sovereign submerged lands owned by the Board of Trustees of the Internal Improvement Trust Fund, pursuant to Article X, Section 11 of the Florida Constitution, and Sections 253.002 and 253.77, F.S. The activity is not exempt from the need to obtain a proprietary authorization. The Department has the responsibility to review and take final action on this request for proprietary authorization in accordance with Section 18-21.0051, and the Operating Agreements executed between the Department and

"More Protection. Less Process"

Printed on recycled paper.

GENERAL CONDITIONS FOR FEDERAL AUTHORIZATION FOR SPGP III-R1

General Conditions:

- 1. The time limit for completing the work authorized ends on June 17, 2006. *Army Corp see attached SPGP reissued with new date.*
- 2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
- 3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
- 4. If you sell the property associated with this permit, you must obtain the signature and mailing address of the new owner in the space provided below and forward a copy of the permit to this office to validate the transfer of this authorization.
- 5. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Further Information:

- 1. Limits of this authorization.
 - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
 - b. This permit does not grant any property rights or exclusive privileges.
 - c. This permit does not authorize any injury to the property or rights of others.
 - d. This permit does not authorize interference with any existing or proposed Federal projects.
- 2. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any liability for the following:
 - a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.
 - c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.



Permit Review Checklist

(a summary of the required monitoring and reporting activities for your project)

Pre-Construction Requirements

Activity	Date Due	Date Completed
<input type="checkbox"/> Contact DEP to schedule pre-construction meeting	Prior to construction	_____
<input type="checkbox"/> Submit Pre-Construction Notice Form to DEP	48 Hrs. Before Construction	_____
<input type="checkbox"/> Temporary Erosion Control structures in place	Prior to construction	_____

Construction Requirements

Activity	Date Due	Date Completed
<input type="checkbox"/> Permit with all attachments kept at the work site	Permit shall be available on-site for DEP inspector at all times	_____
<input type="checkbox"/> Permanent Erosion Control Structures in place	Structures should be inspected daily	_____
<input type="checkbox"/> Annual Status Report submitted	Following June of each year until complete	_____
<input type="checkbox"/> Report changes to permitted drawings / plans / activities	Contact DEP before any changes	_____

Post-Construction Requirements

Activity	Date Due	Date Completed
<input type="checkbox"/> Completion and Certification (As-Built) Form signed & sealed by P.E. and sent to DEP	30 Days after Construction	_____
<input type="checkbox"/> Permit Transfer Form submitted to DEP	Within 30 Days Sale of property (if property sold)	_____

For the above criteria that require you to contact DEP – you should contact the Southeast District Branch Office, Environmental Resources Permitting Section, Compliance and Enforcement, 1801 SE Hillmoor Drive, Suite C-204, Port Saint Lucie, FL 34952, Attention: Jimmy Sellers. Phone: 772-398-2806, Fax: 772-398-2815.

PLEASE NOTE:

As the property owner/permittee, you are ultimately responsible for ensuring that the required conditions of your permit are complied with and timely reported to the Department. Please ensure that any designated contractors or agents acting on your behalf are familiar with these requirements.

FWC Approved Manatee Educational Sign Suppliers

ASAP Signs & Designs

624-B Pinellas Street
Clearwater, FL 33756
Phone: (727) 443-4878
Fax: (727) 442-7573

Wilderness Graphics, Inc.

P. O. Box 1635
Tallahassee, FL 32302
Phone: (850) 224-6414
Fax: (850) 561-3943
www.wildernessgraphics.com

Cape Coral Signs & Designs

1311 Del Prado Boulevard
Cape Coral, FL 33990
Phone: (239) 772-9992
Fax: (239) 772-3848

Municipal Supply & Sign Co.

1095 Fifth Avenue, North
P. O. Box 1765
Naples, FL 33939-1765
Phone: (800) 329-5366 or
(239) 262-4639
Fax: (239) 262-4645
www.municipalsigns.com

Vital Signs

104615 Overseas Highway
Key Largo, FL 33037
Phone: (305) 451-5133
Fax: (305) 451-5163

Universal Signs & Accessories

2912 Orange Avenue
Ft. Pierce, FL 34947
Phone: (800) 432-0331 or
(772) 461-0665
Fax: (772) 461-0669

New City Signs

1829 28th Street North
St. Petersburg, FL 33713
Phone: (727) 323-7897
Fax: (727) 323-1897

**United Rentals Highway
Technologies**

309 Angle Road
Ft. Pierce, FL 34947
Phone: (772) 489-8772
or (800) 489-8758 (FL only)
Fax: (772) 489-8757

CAUTION: MANATEE HABITAT

All project vessels

IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work
all in-water activities must

SHUT DOWN

Report any collision or injury to:

1-888-404-FWCC (1-888-404-3922)

Florida Fish and Wildlife Conservation Commission

Landward side
(backfill & sod)

(2 ea) 2"x12" Cap

2 - 2"x8" Top Whalers

3/4" diam. x 10'-12' HD.
Galv. Anchor Rod

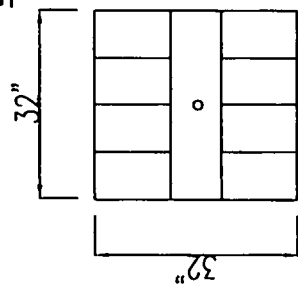
Shore Guard
Vinyl Sheet Piling
(525 Series) 12'-length
(6' min solid penetration)

2"x8" Whalers

Dead Man Plate

Dead Man Plate (expanded)

4 - 2"x8" ruffsawn
pressure treated wood
1-2"x8" ruffsawn
backplate nailed



FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE 7-17-07
[Signature]
BUILDING OFFICIAL

Marine treated min. 8"Ø piling with a
6' min. solid penetration

PAUL WELCH INC.
MECH-ELECT-CIVIL ENG
1984 BALTIMORE ST. #114
PORT ST. LUCIE, FL 34984

[Signature]

JUN 26 2007

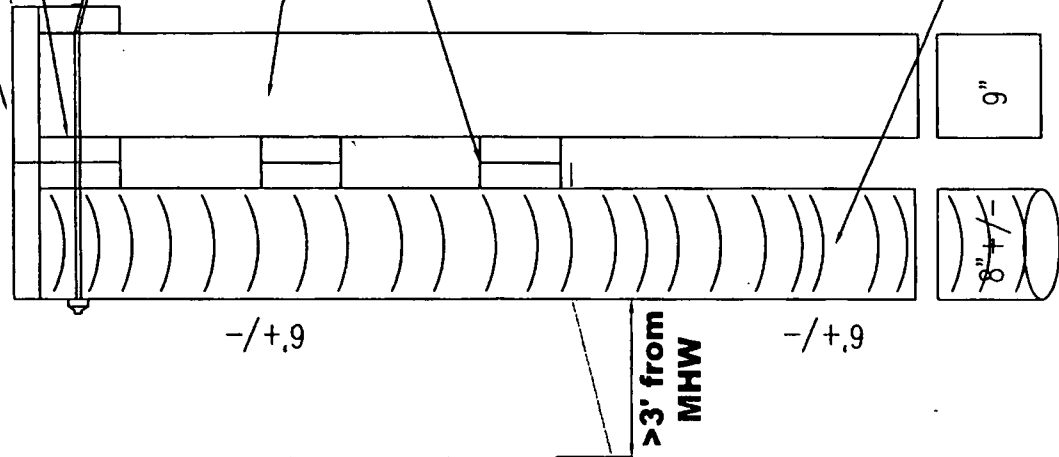
DATE: 6/10/07

SCALE: AS NOTED
PAGE: N/A

Lingamfelter Proposed
Retaining Wall

Linden Marine Construction, Inc.
(772)545-0012; fax (772)545-0752

Cross
View



>3' from
MHW

9"





Department of Environmental Protection

Jeb Bush
Governor

MAY 23 2006

Southeast District
400 N. Congress Ave. Suite 200
West Palm Beach, Florida 33401

Colleen M. Castille
Secretary

Certified - Return Receipt Requested

7004151000097113509

Brown Lingamfelter
17 South Mandalay Road
Stuart, FL 34996

Dear Mr. Lingamfelter:

Enclosed is Environmental Resource Permit No. 43-0249380-001 issued pursuant to Part IV of Chapter 373, Florida Statutes (F.S.), and Title 62, Florida Administrative Code (F.A.C.).

Appeal rights for you as the permittee and for any affected third party are described in the text of the permit along with conditions which must be met when permitted activities are undertaken. Please review this document carefully to ensure compliance with both the general and specific conditions contained herein. As the permittee, you are responsible for compliance with these conditions. **Please ensure all construction personnel associated with your activity review and understand the approved drawings and conditions.** Failure to comply with this permit may result in liability for damages and restoration, and the imposition of civil penalties up to \$10,000.00 per violation per day pursuant to Sections 403.141 and 403.161, F.S.

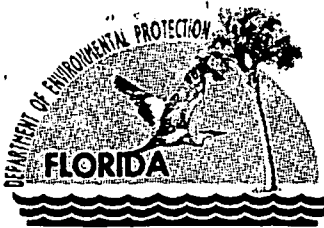
In addition, please ensure the construction commencement notice and all other reporting conditions are forwarded to the appropriate office as indicated in the specific conditions.

If you have any questions about this document, please contact me at 561/681-6634 or at eric.reusch@dep.state.fl.us.

Sincerely,

Eric Reusch
Environmental Specialist II
Submerged Lands & Environmental
Resources Program

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



Department of Environmental Protection

Jeb Bush
Governor

MAY 23 2006

Southeast District
400 N. Congress Ave. Suite 200
West Palm Beach, Florida 33401

Colleen M. Castille
Secretary

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

CONSOLIDATED ENVIRONMENTAL RESOURCE PERMIT AND SOVEREIGN SUBMERGED LANDS AUTHORIZATION

PERMITTEE/AUTHORIZED ENTITY:

Brown Lingamfelter
17 South Mandalay Road
Stuart, FL 34996

Permit/Authorization No.: 43-0249380-001
Date of Issue: MAY 23 2006
Expiration Date of
Construction Phase: 5-22-2011
County: Martin
Project: Lingamfelter, Brown

This permit is issued under the authority of Part IV of Chapter 373, Florida Statutes (F.S.), and Title 62, Florida Administrative Code (F.A.C.). The activity is not exempt from the requirement to obtain an Environmental Resource Permit. Pursuant to Operating Agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C., the Department is responsible for reviewing and taking final agency action on this activity.

ACTIVITY DESCRIPTION:

The purpose of the project is to (1) install a 170 linear foot seawall at least 3' landward of the Mean High Water Line and all mangroves, including *Rhizophora mangle* prop roots, (2) install approximately 300 cubic yards of riprap along the seawall, extending a maximum of 10' waterward of the Mean High Water Line, (3) install a 170 linear foot intermediate upland retaining wall, and (4) repair and replace an existing, 100 linear foot upland retaining wall. The riprap shall be installed at a 2:1 (Horizontal: Vertical) slope and hand-placed around mangroves, including all prop roots, to avoid any resource impacts. During construction, turbidity curtains shall be used to control any turbid discharge that results from installing the seawall, riprap, and two upland retaining walls.

The project site is severely eroded along the shoreline, with a sandy and barren substrate below the Mean High Water Line. No seagrasses or other benthic resources are located within the project area. Two species of mangroves, *Rhizophora mangle* and *Avicennia germinans*, are present on-site, however no impacts to these resources are authorized by this permit.

ACTIVITY LOCATION:

The project is located on the St. Lucie River, Class III Waters, adjacent to 17 South Mandalay Road, Stuart (Section 13, Township 38 South, Range 41 East), in Martin County (27° 10' 47.95" North Latitude, 80° 11' 28.74" West Longitude).

This permit also constitutes a finding of consistency with Florida's Coastal Zone Management Program, as required by Section 307 of the Coastal Management Act.

This permit also constitutes certification of compliance with water quality standards under Section 401 of the Clean Water Act, 33 U.S.C. 1341.

This activity also requires a proprietary authorization, as the activity is located on sovereign submerged lands owned by the Board of Trustees of the Internal Improvement Trust Fund, pursuant to Article X, Section 11 of the Florida Constitution, and Sections 253.002 and 253.77, F.S. The activity is not exempt from the need to obtain a proprietary authorization. The Department has the responsibility to review and take final action on this request for proprietary authorization in accordance with Section 18-21.0051, and the Operating Agreements executed between the Department and

"More Protection, Less Process"

the water management districts, as referenced in Chapter 62-113, F.A.C. In addition to the above, this proprietary authorization has been reviewed in accordance with Chapter 253, Chapter 18-21, Section 62-343.075, F.A.C.

As staff to the Board of Trustees, the Department has reviewed the activity described above, and has determined that the activity qualifies for a letter of consent to use sovereign, submerged lands, as long as the work performed is located within the boundaries as described herein and is consistent with the terms and conditions herein. Therefore, consent is hereby granted, pursuant to Chapter 253.77, F.S., to perform the activity on the specified sovereign submerged lands.

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.*

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is consistent with the SPGP program. The attached Corps general conditions apply to your project. No further permitting for this activity is required by the Corps.

You are hereby advised that authorizations also may be required by other federal, state, and local entities. This authorization does not relieve you from the requirements to obtain all other required permits and authorizations.

The above named permittee is hereby authorized to construct the work shown on the application and approved drawing(s), plans, and other documents attached hereto or on file with the Department and made a part hereof. **This permit and authorization to use sovereign submerged lands is subject to the limits, conditions, and locations of work shown in the attached drawings, and is also subject to the attached 19 General Conditions, 9 General Consent Conditions, and 13 Specific Conditions, which are a binding part of this permit and authorization.** You are advised to read and understand these drawings and conditions prior to commencing the authorized activities, and to ensure the work is conducted in conformance with all the terms, conditions, and drawings. If you are utilizing a contractor, the contractor also should read and understand these drawings and conditions prior to commencing the authorized activities. Failure to comply with all drawings and conditions shall constitute grounds for revocation of the permit and appropriate enforcement action.

Operation of the facility is not authorized except when determined to be in conformance with all applicable rules and with the general and specific conditions of this permit/certification/authorization, as specifically described below.

GENERAL CONDITIONS:

- (1) All activities authorized by this permit shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit and Part IV, Chapter 373, F.S.
- (2) This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by the Department staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.
- (3) Activities approved by this permit shall be conducted in a manner which does not cause violations of state water quality standards. The permittee shall implement best management practices for erosion and pollution control to prevent violation of state water quality standards. Temporary erosion control shall be implemented prior to and during construction, and permanent control measures shall be completed within 7 days of any construction activity. Turbidity barriers shall be installed and maintained at all locations where the possibility of transferring suspended solids into the receiving waterbody exists due to the permitted work. Turbidity barriers shall remain in

place at all locations until construction is completed and soils are stabilized and vegetation has been established. All practices shall be in accordance with the guidelines and specifications described in Chapter 6 of the Florida Land Development Manual; A Guide to Sound Land and Water Management (Department of Environmental Regulation, 1988), unless a project-specific erosion and sediment control plan is approved as part of the permit. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

(4) The permittee shall notify the Department of the anticipated construction start date within 30 days of the date that this permit is issued. **At least 48 hours prior to commencement** of activity authorized by this permit, the permittee shall submit to the Department an "Environmental Resource Permit Construction Commencement" notice (Form No. 62-343.900(3), F.A.C.) indicating the actual start date and the expected completion date.

(5) When the duration of construction will exceed one year, the permittee shall submit construction status reports to the Department on an annual basis utilizing an "Annual Status Report Form" (Form No. 62-343.900(4), F.A.C.). Status Report Forms shall be submitted the following June of each year.

(6) **Within 30 days after completion of construction** of the permitted activity, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, utilizing the supplied "Environmental Resource Permit As-Built Certification by a Registered Professional" (Form No. 62-343.900(5), F.A.C.). The statement of completion and certification shall be based on on-site observation of construction or review of as-built drawings for the purpose of determining if the work was completed in compliance with permitted plans and specifications. This submittal shall serve to notify the Department that the system is ready for inspection. Additionally, if deviation from the approved drawings are discovered during the certification process, the certification must be accompanied by a copy of the approved permit drawings with deviations noted. Both the original and revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor.

(7) The operation phase of this permit shall not become effective: until the permittee has complied with the requirements of condition (6) above, has **submitted a "Request for Transfer of Environmental Resource Permit Construction Phase to Operation Phase"** (Form No. 62-343.900(7), F.A.C.); the Department determines the system to be in compliance with the permitted plans and specifications; and the entity approved by the Department in accordance with Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit Applications Within the South Florida Water Management District - August 1995, accepts responsibility for operation and maintenance of the system. The permit shall not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the Department, the permittee shall initiate transfer of the permit to the approved responsible operating entity if different from the permittee. Until the permit is transferred pursuant to Section 62-343.110(1)(d), F.A.C., the permittee shall be liable for compliance with the terms of the permit.

(8) Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of the phase or portion of the system to a local government or other responsible entity.

(9) For those systems that will be operated or maintained by an entity that will require an easement or deed restriction in order to enable that entity to operate or maintain the system in conformance with this permit, such easement or deed restriction must be recorded in the public records and submitted to the Department along with any other final operation and maintenance documents required by sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit Applications Within the South Florida Water Management District - August 1995, prior to lot or unit sales or prior to the completion of the system, whichever occurs first. Other documents concerning the establishment and authority of the operating entity must be filed with the Secretary of State where appropriate. For those systems which are proposed to be maintained by the county or municipal entities, final operation and maintenance documents must be received by the Department when maintenance and operation of the system is accepted by the local government entity. Failure to submit the appropriate final documents will result in

the permittee remaining liable for carrying out maintenance and operation of the permitted system and any other permit conditions.

(10) Should any other regulatory agency require changes to the permitted system, the permittee shall notify the Department in writing of the changes prior to implementation so that a determination can be made whether a permit modification is required.

(11) This permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and Chapter 40E-4 or Chapter 40E-40, F.A.C.

(12) The permittee is hereby advised that Section 253.77, F.S. states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

(13) The permittee is advised that the rules of the South Florida Water Management District require the permittee to obtain a water use permit from the South Florida Water Management District prior to construction dewatering, unless the work qualifies for a general permit pursuant to subsection 40E-20.302(4), F.A.C., also known as the "No Notice" rule.

(14) The permittee shall hold and save the Department harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any system authorized by the permit.

(15) Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under section 373.421(2), F.S., provides otherwise.

(16) The permittee shall notify the Department in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of a permitted system or the real property on which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of section 62-343.130, F.A.C. The permittee transferring the permit shall remain liable for corrective actions that may be required as a result of any violations prior to the sale, conveyance or other transfer of the system.

(17) Upon reasonable notice to the permittee, Department authorized staff with proper identification shall have permission to enter, inspect, sample and test the system to insure conformity with the plans and specifications approved by the permit.

(18) If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the appropriate Department office.

(19) The permittee shall immediately notify the Department in writing of any previously submitted information that is later discovered to be inaccurate.

GENERAL CONSENT CONDITIONS:

(1) Authorizations are valid only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use shall constitute a violation. Violation of the authorization shall result in suspension or revocation of the grantee's use of the sovereignty submerged land unless cured to the satisfaction of the Board.

(2) Authorizations convey no title to sovereignty submerged land or water column, nor do they constitute recognition or acknowledgment of any other person's title to such land or water.

(3) Authorizations may be modified, suspended or revoked in accordance with their terms or the remedies provided in Sections 253.04 and 258.46, F.S., or Chapter 18-14, F.A.C.

(4) Structures or activities shall be constructed and used to avoid or minimize adverse impacts to sovereignty submerged lands and resources.

(5) Construction, use, or operation of the structure or activity shall not adversely affect any species which is endangered, threatened or of special concern, as listed in Rules 68A-27.003, 68A-27.004, and 68A-27.005, F.A.C.

(6) Structures or activities shall not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity shall be modified in accordance with the court's decision.

(7) Structures or activities shall not create a navigational hazard.

(8) Structures shall be maintained in a functional condition and shall be repaired or removed if they become dilapidated to such an extent that they are no longer functional. This shall not be construed to prohibit the repair or replacement subject to the provisions of Rule 18-21.005, F.A.C., within one year, of a structure damaged in a discrete event such as a storm, flood, accident, or fire.

(9) Structures or activities shall be constructed, operated, and maintained solely for water dependent purposes, or for non-water dependent activities authorized under paragraph 18-21.004(1)(f), F.A.C., or any other applicable law.

SPECIFIC CONDITIONS:

(1) The project drawings, sheets 1 through 3; permit checklist; 3-page Standard Manatee Construction Conditions; 3-page US Army Corps of Engineers Federal Authorization for SPGP III-R1; and DEP forms 62.343.900(3), (4), (5), and (7) are attached to and become part of this permit.

(2) The permittee shall comply with the standard manatee protection construction conditions listed in the attachment, "Standard Manatee Conditions for In-Water Work, 2005."

(3) If the approved permit drawings conflict with the specific conditions, then the specific conditions shall prevail.

(4) The work authorized by this permit shall not be conducted on any property, other than that owned by the permittee, without the prior written approval of that property owner.

(5) The permittee shall be responsible for ensuring that the permit conditions are explained to all construction personnel working on the project, and for providing each contractor and subcontractor with a copy of this permit before construction begins.

(6) There shall be no storage or stockpiling of tools or materials (i.e. lumber, pilings, etc.) along the shoreline within waters of the state. All cleared vegetation, excess construction materials, garbage, and any other type of debris shall be removed from wetlands/ waters of the state within 14 days of completion of the work authorized in this permit.

(7) Riprap shall be installed at a 2:1 (Horizontal: Vertical) slope along the toe of the seawall for a distance of 170 linear feet, and extend a maximum of 10' waterward of the Mean High Water Line. Riprap shall be hand placed around all mangroves, including *Rhizophora mangle* prop roots, to eliminate any potential impact to these resources.

(8) Riprap shall consist of unconsolidated boulders, rocks, or clean concrete rubble without exposed reinforcing rods or similar protrusions. The riprap shall be free of sediment, debris, and toxic or otherwise deleterious substance. The riprap shall have a diameter of 12 to 36 inches.

(9) The 170 linear foot seawall shall be constructed at least 3' landward of the Mean High Water Line and all mangroves, including *Rhizophora mangle* prop roots.

(10) The seawall and riprap shall be fully constructed prior to the placement of any back fill material. Any fill material used behind the seawall shall be clean fill and free of vegetative matter, trash, garbage, toxic or hazardous waste or any other unsuitable materials.

(11) Prior to the initiation of any work authorized by this permit, floating turbidity screens with weighted skirts that extend to within 1 ft. of the bottom shall be placed around the project site. The screens shall be maintained and shall remain in place for the duration of the project construction to ensure that turbidity levels outside the construction area do not exceed 29 NTUs above background levels. The permittee shall be responsible for ensuring that turbidity control devices are inspected daily and maintained in good working order so that there is no violations of state water quality standards outside of the turbidity screens.

The following measure shall be taken by the permittee whenever turbidity levels within waters of the State surrounding the project site exceed 29 NTUs:

- a. Notify the DEP-Southeast District Office ERP Compliance/Enforcement Section at 561/681-6643 at the time the violation is first detected.
- b. Immediately cease all work contributing to the water quality violation. Operations may not resume until the Department gives authorization to do so.
- c. Stabilize all exposed soils contributing to the violation. Modify the work procedures that were responsible for the violation, and install more turbidity containment devices and repair any non-functioning turbidity containment devices.

(12) All watercraft associated with the construction of the permitted structure shall only operate within waters of sufficient depth so as to preclude bottom scouring or prop dredging.

(13) A signed and sealed as-built survey shall be submitted to the DEP- Southeast District Office ERP Section in Port St. Lucie within 90 days of completion of the project.

RIGHTS OF AFFECTED PARTIES

This permit and consent to use sovereign submerged lands is (are) hereby granted. This action is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this action automatically becomes only proposed agency action on the application, subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because an administrative hearing may result in the reversal or substantial modification of this action, the applicant is advised not to commence construction or other activities until the deadlines noted below for filing a petition for an administrative hearing or request for an extension of time have expired.

Mediation is not available.

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under sections 120.569 and 120.57 of the Florida Statutes. The petition must contain the information set forth below and must be filed (received by the clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000.

Under rule 62-110.106(4) of the Florida Administrative Code, a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for

extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, before the applicable deadline. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon. If a request is filed late, the Department may still grant it upon a motion by the requesting party showing that the failure to file a request for an extension of time before the deadline was the result of excusable neglect.

If a timely and sufficient petition for an administrative hearing is filed, other persons whose substantial interests will be affected by the outcome of the administrative process have the right to petition to intervene in the proceeding. Intervention will be permitted only at the discretion of the presiding officer upon the filing of a motion in compliance with rule 28-106.205 of the Florida Administrative Code.

In accordance with rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant must be filed within 14 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under section 120.60(3) of the Florida Statutes must be filed within 14 days of publication of the notice or within 14 days of receipt of the written notice, whichever occurs first. Under section 120.60(3) of the Florida Statutes, however, any person who has asked the Department for notice of agency action may file a petition within 14 days of receipt of such notice, regardless of the date of publication.

The petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. The failure of any person to file a petition for an administrative hearing within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under sections 120.569 and 120.57 of the Florida Statutes.

A petition that disputes the material facts on which the Department's action is based must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

A petition that does not dispute the material facts on which the Department's action is based shall state that no such facts are in dispute and otherwise shall contain the same information as set forth above, as required by rule 28-106.301.

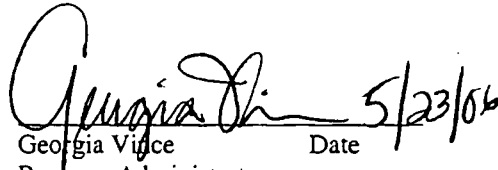
Under sections 120.569(2)(c) and (d) of the Florida Statutes, a petition for administrative hearing must be dismissed by the agency if the petition does not substantially comply with the above requirements or is untimely filed.

This permit constitutes an order of the Department. Subject to the provisions of paragraph 120.68(7)(a) of the Florida Statutes, which may require a remand for an administrative hearing, the applicant has the right to seek judicial review of the order under section 120.68 of the Florida Statutes, by the filing of a notice of appeal under rule

9.110 of the Florida Rules of Appellate Procedure with the Clerk of the Department in the Office of General Counsel, 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida, 32399-3000; and by filing a copy of the notice of appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice of appeal must be filed within 30 days from the date when the order is filed with the Clerk of the Department.

Executed in West Palm Beach, Florida.

STATE OF FLORIDA DEPARTMENT
OF ENVIRONMENTAL PROTECTION

 5/23/06
Georgia Vince Date

Program Administrator
Submerged Lands & Environmental Resources Program


GV/er

Copies furnished to:

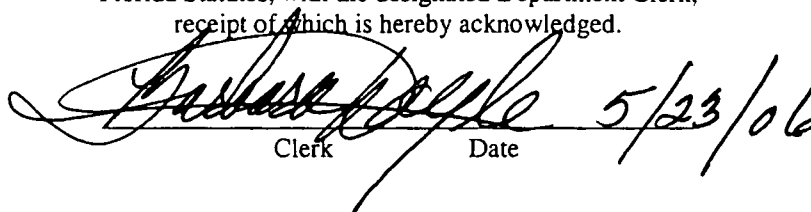
DEP – Jimmy Sellers
ACOE – Palm Beach Gardens
Bruce Jerner, Jerner & Associates, Inc., Via e-mail, jerner@bellsouth.net

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this permit and authorization to use sovereign submerged lands, including all copies, were mailed before the close of business on May 23rd, 2006 to the above listed persons.

FILING AND ACKNOWLEDGMENT

FILED, on this date, under 120.52(7) of the Florida Statutes, with the designated Department Clerk, receipt of which is hereby acknowledged.

 5/23/06
Clerk Date

Prepared by Eric Reusch.

14 pages attached.

GENERAL CONDITIONS FOR FEDERAL AUTHORIZATION FOR SPGP IV**General Conditions**

1. The time limit for completing the work authorized ends on September 1, 2011.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit, you must obtain the signature and mailing address of the new owner in the space provided below and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your projects, you must comply with the conditions specified in the certification as special conditions to this permit.
6. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Further Information:

1. Limits of this authorization.
 - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
 - b. This permit does not grant any property rights or exclusive privileges.
 - c. This permit does not authorize any injury to the property or rights of others.
 - d. This permit does not authorize interference with any existing or proposed Federal projects.
2. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any liability for the following:
 - a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.
 - c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
 - d. Design or construction deficiencies associated with the permitted work.
 - e. Damage claims associated with any future modification, suspension, or revocation of this permit.

3. Reliance on Applicant's Data: The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided.

4. Reevaluation of Permit Decision: This office may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:

a. You fail to comply with the terms and conditions of this permit.

b. The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (see 3 above).

c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.

5: Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5. The referenced enforcement procedures provide for the issuance of an administrative order requiring you comply with the terms and conditions of your permit and for the initiation of legal action where appropriate. You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office may in certain situations (such as those specified in 33 CFR 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost.

6: When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date below.

(TRANSFEREE-SIGNATURE)

(DATE)

(NAME-PRINTED)

(ADDRESS)

Manatee Conditions for Federal Authorization

1. The permittee shall instruct all personnel associated with the project of the potential presence of manatees and the need to avoid collisions with manatees. All construction personnel are responsible for observing water-related activities for the presence of manatee(s).
2. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees that are protected under the Marine Mammal Protection Act of 1972, the Endangered Species Act of 1973, and the Florida Manatee Sanctuary Act of 1978. The permittee and/or contractor may be held responsible for any manatee harmed, harassed, or killed as a result of construction activities.
3. Siltation barriers shall be installed and shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be monitored regularly to avoid manatee entrapment. Barriers shall not block manatee entry to or exit from essential habitat.
4. All vessels associated with the project shall operate at "no wake/idle" speeds at all times while in water where the draft of the vessel provides less than four feet clearance from the bottom and that vessels shall follow routes of deep water whenever possible.
5. If a manatee is sighted within 100 yards of the project area, all appropriate precautions shall be implemented by the permittee/contractor to ensure protection of the manatee. These precautions shall include the operation of all moving equipment no closer than 50 feet of a manatee. Operation of any equipment closer than 50 feet to a manatee shall necessitate immediate shutdown of that equipment. Activities will not resume until the manatee(s) has departed the project area of its own volition.
6. Any collision with and/or injury to a manatee shall be reported immediately to the "Manatee Hotline" at 1-888-404-FWCC (1-888-404-3922). Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Vero Beach (1-772-562-3909) in south Florida.
7. Temporary signs concerning manatees shall be posted prior to and during construction/dredging activities. All signs are to be removed by the lessee/grantee upon completion of the project. A sign measuring at least 3 feet by 4 feet which reads *Caution: Manatee Area* will be posted in a location prominently visible to water related construction crews. A second sign should be posted if vessels are associated with the construction, and should be placed visible to the vessel operator. The second sign should be at least 8 1/2 inches by 11 inches that reads:

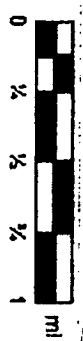
Caution: Manatee Habitat. Idle speed is required if operating a vessel in the construction area. All equipment must be shutdown if a manatee comes within 50 feet of the operation. A collision with and/or injury to a manatee shall be reported immediately to the Florida Marine Patrol at 1-888-404-FWCC (1-888-404-3922) and the U.S. Fish and Wildlife Service at (1-772-562-3909) for south Florida.



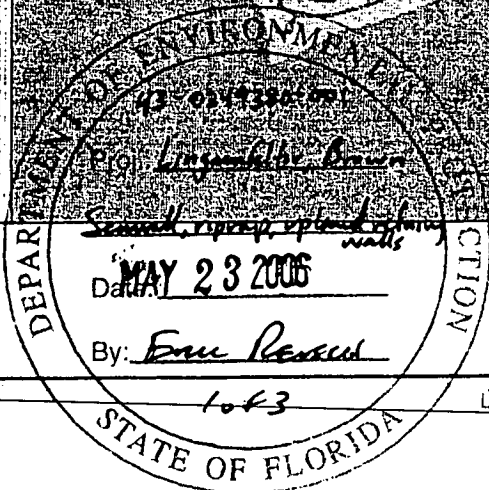
DELOPME

© 2003 DeLorme
www.delorme.com
Street Atlas USA © 2004

NAD (D'U'W)



Date Zoom 13-2



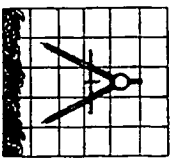
RECEIVED

MAY 16 2005

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Dept. of Environ. Protection
Port St. Lucie

Brown Lingamfelter
17 S. Mandalay Road
Stuart



Design & Drawing by: *bjl*
Jemer & Associates, Inc.
Environmental Consulting
110 SW 5th Street, Stuart FL 34994
Ph. (772)283-2950/ Fax (772)283-2760

Date: 5/12/05

Sheet of



Riprap to be hand placed around mangrove roots

Bulkhead to be sited at least 3' landward of MHW and Mangroves

170' +/- Shoreline Length

TOWN OF SEWAL POINT
BUILDING DEPARTMENT
FILE COPY

Turbidity Curtain
Active Construction

MEAN HIGH WATER
(LOCATED 3/24/05)
ELEV. = 0.72

Proposed Rip rap
10' Max.
From MHW

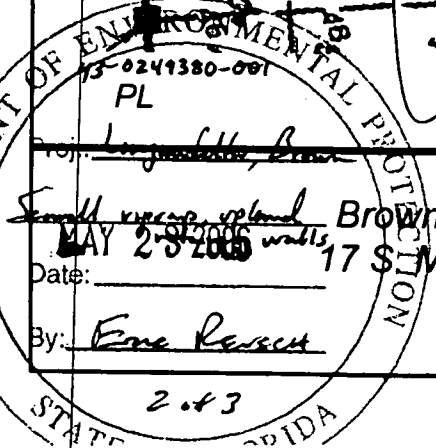
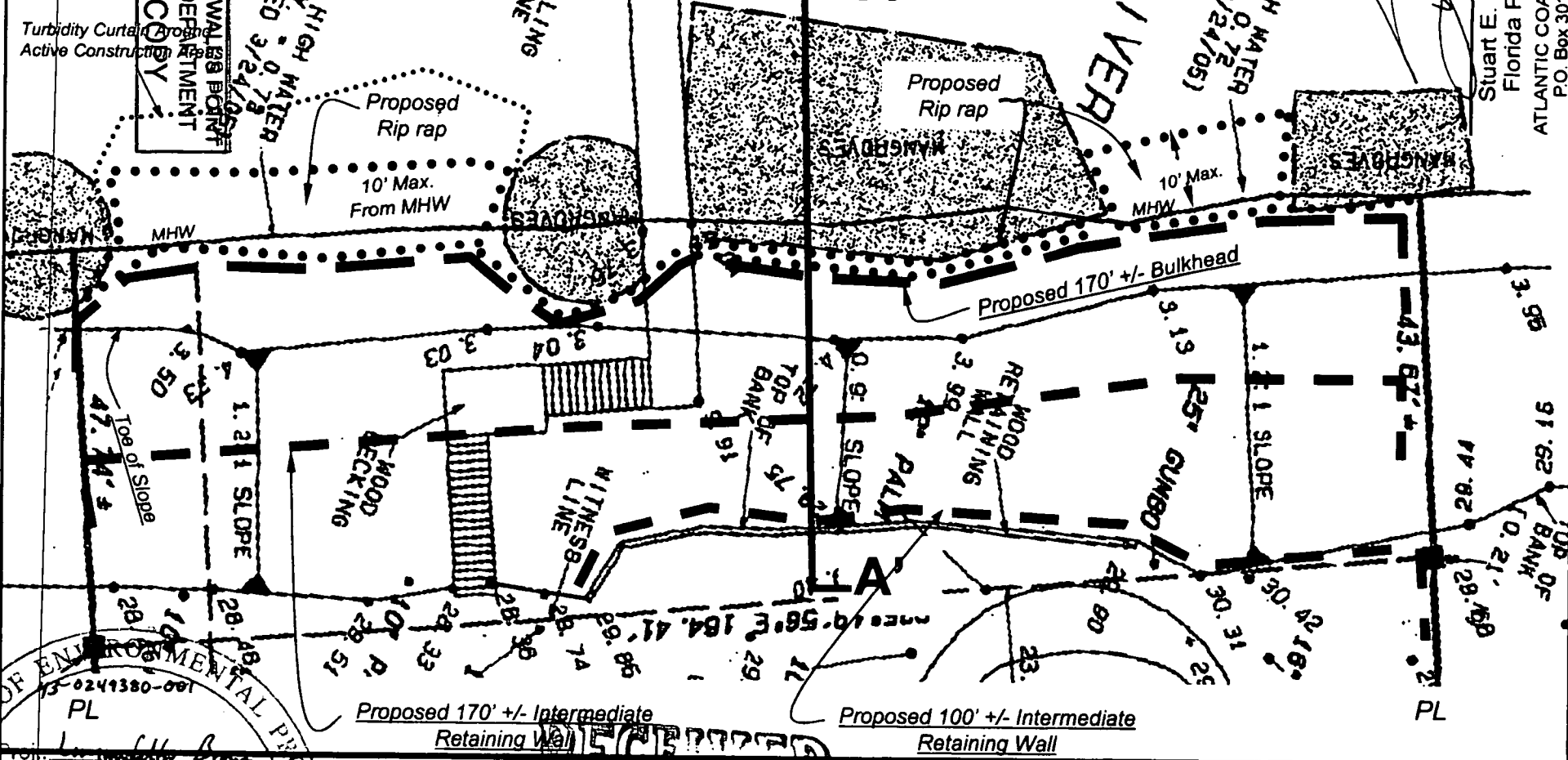
DOCK PILING
OUTLINE

LUCIE RIVER
TIDAL

MEAN HIGH WATER
(LOCATED 3/24/05)
ELEV. = 0.72

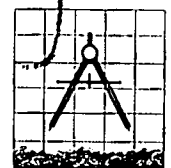
909120

Stuart E. McGahee, P.E.
Florida P.E. No. 57536
ATLANTIC COASTAL ENGINEERING
P.O. Box 3076, Stuart, FL 34995
FBPE Certificate No. 25842



Brown Lingamfelter
17 S. Mandalay Road
Stuart

FEB 16 2006



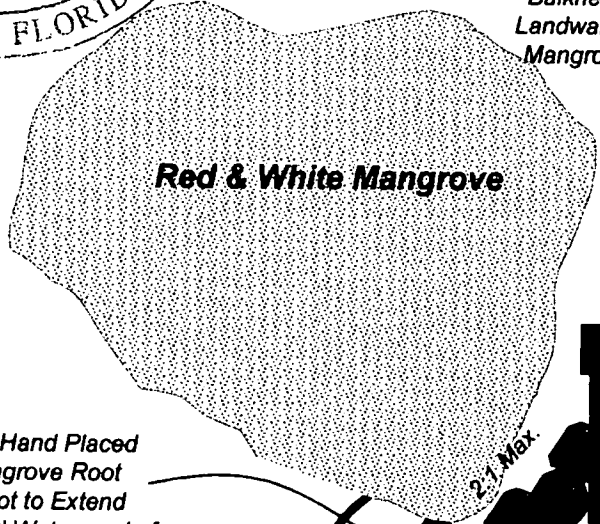
Design & Drawing by: bjj
Jemer & Associates, Inc.
Environmental Consulting
110 SW 5th Street, Stuart FL 34994
Ph. (772)283-2950/ Fax (772)283-2760

Scale: 1" = 20'
Date: 2/9/06

Sheet 2 of 3

DEPT. OF ENV. PROTECTION

DEPARTMENT OF ENVIRONMENTAL PROTECTION
 43-0247380-001
 Proj. Lingamfelter, Brown
 Seawall, riprap, upland retaining walls
 Date: MAY 23 2006
 By: Eric Rausser
 3.43
 STATE OF FLORIDA



Rip rap to be Hand Placed Around Mangrove Root Systems. Not to Extend Further than 10' Waterward of Mean High Water

MHW
 Geotextile Under entire riprap rubble revetment
 MHW Roots
 Min. 3'

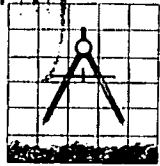
Note: Alternate Bank Stabilization on the Uplands May be Accomplished Utilizing Anchored Geofabric and Plantings

Stuart E. McGahey
 Stuart E. McGahey, P.E.
 Florida P.E. No. 07536
 ATLANTIC COASTAL ENGINEERING
 P.O. Box 3016, Stuart, FL 34995
 FBPE Certificate No. 25842

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

Brown Lingamfelter
 17 S. Mandalay Road
 Stuart

RECEIVED
 FEB 16 2006



Design & Drawing by: *bji*
Jemer & Associates, Inc.
 Environmental Consulting
 110 SW 5th Street, Stuart FL 34994
 Ph. (772)283-2950/ Fax (772)283-2760

Scale: 1" = 5'
 Date: 2/9/06
 Sheet 3 of 3

DEPT. OF ENV. PROTECTION

STANDARD MANATEE CONDITIONS FOR IN-WATER WORK

2005

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the FWC Hotline at 1-888-404-FWCC. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-232-2580) for north Florida or Vero Beach (1-561-562-3909) for south Florida.
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Awareness signs that have already been approved for this use by the Florida Fish and Wildlife Conservation Commission (FWC) must be used. One sign measuring at least 3 ft. by 4 ft. which reads *Caution: Manatee Area* must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities.

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

FWC Approved Manatee Educational Sign Suppliers

ASAP Signs & Designs

624-B Pinellas Street
Clearwater, FL 33756
Phone: (727) 443-4878
Fax: (727) 442-7573

Wilderness Graphics, Inc.

P. O. Box 1635
Tallahassee, FL 32302
Phone: (850) 224-6414
Fax: (850) 561-3943
www.wildernessgraphics.com

Cape Coral Signs & Designs

1311 Del Prado Boulevard
Cape Coral, FL 33990
Phone: (239) 772-9992
Fax: (239) 772-3848

Municipal Supply & Sign Co.

1095 Fifth Avenue, North
P. O. Box 1765
Naples, FL 33939-1765
Phone: (800) 329-5366 or
(239) 262-4639
Fax: (239) 262-4645
www.municipalsigns.com

Vital Signs

104615 Overseas Highway
Key Largo, FL 33037
Phone: (305) 451-5133
Fax: (305) 451-5163

Universal Signs & Accessories

2912 Orange Avenue
Ft. Pierce, FL 34947
Phone: (800) 432-0331 or
(772) 461-0665
Fax: (772) 461-0669

New City Signs

1829 28th Street North
St. Petersburg, FL 33713
Phone: (727) 323-7897
Fax: (727) 323-1897

**United Rentals Highway
Technologies**

309 Angle Road
Ft. Pierce, FL 34947
Phone: (772) 489-8772
or (800) 489-8758 (FL only)
Fax: (772) 489-8757

CAUTION: MANATEE HABITAT

All project vessels
IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work
all in-water activities must
SHUT DOWN

Report any collision or injury to:

1-888-404-FWCC (1-888-404-3922)

Florida Fish and Wildlife Conservation Commission

**ENVIRONMENTAL RESOURCE PERMIT
 Construction Commencement Notice**

PROJECT: _____ PHASE: _____

I hereby notify the Department of Environmental Protection that the construction of the surface water management system authorized by Environmental Resource Permit No. _____ has commenced / is expected to commence on _____ 200__, and will require a duration of approximately _____ months _____ weeks _____ days to complete. It is understood that should the construction term extend beyond one year, I am obligated to submit the Annual Status Report for Surface Water Management System Construction.

PLEASE NOTE: If the actual construction commencement date is not known, Department staff should be so notified in writing in order to satisfy permit conditions.

Permittee or Authorized Agent	Title and Company	Date
Phone	Address	

Send to:

For projects in Palm Beach, Broward, Dade
 Counties:
Florida DEP
Attn: Richard Stalker
400 N. Congress Ave., Suite 200
West Palm Beach, FL 33401
Fax: 561/681-6780

For projects in Okeechobee, St. Lucie, Martin
 Counties:
Florida DEP
Attn: Jimmy Sellers
1801 SE Hillmoor Drive, Suite C204
Port St. Lucie, FL 34952
Fax: 772/398-2815

**ENVIRONMENTAL RESOURCE PERMIT
 ANNUAL STATUS REPORT FORM**

Send to:

For projects in Palm Beach, Broward, Dade
 Counties:
Florida DEP
Attn: Richard Stalker
400 N. Congress Ave., Suite 200
West Palm Beach, FL 33401
Fax: 561/681-6780

For projects in Okeechobee, St. Lucie, Martin
 Counties:
Florida DEP
Attn: Jimmy Sellers
1801 SE Hillmoor Drive, Suite C204
Port St. Lucie, FL 34952
Fax: 772/398-2815

Permit No. _____

County: _____

Project Name: _____

Phase: _____

The following activity has occurred at the above referenced project during the past year, between
 June 1, 200__ and May 30, 200__.

Permit Condition / Activity	% of Completion	Date of anticipated Completion	Date of Completion
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

(Use Additional Sheets As Necessary)

Benchmark Description (one per major control structure): _____

 Print Name

 Phone

 Permittee's or Authorized
 Agent's Signature

 Title and Company

 Date

This form shall be submitted to the above referenced Department Office during June of each year for
 activities whose duration of construction exceeds one year.

**ENVIRONMENTAL RESOURCE PERMIT
AS-BUILT CERTIFICATION BY A REGISTERED PROFESSIONAL**

Permit Number: _____

Project Name: _____

I hereby certify that all components of this surface water management system have been built substantially in accordance with the approved plans and specifications and are ready for inspection. Any substantial deviations (noted below) from the approved plans and specifications will not prevent the system from functioning as designed when properly maintained and operated. These determinations are based upon on-site observation of the system conducted by me or by my designee under my direct supervision and/or my review of as-built plans certified by a registered professional or other appropriate individual as authorized by law.

Name (please print)

Signature of Professional

Company Name

Florida Registration Number

Company Address

Date

City, State, Zip Code

Telephone Number

(Affix Seal)

Substantial deviations from the approved plans and specifications:

(Note: attach two copies of as-built plans when there are substantial deviations)

Within 30 days of completion of the system, submit two copies of the form to:

For projects in Palm Beach, Broward, Dade
Counties:
Florida DEP
Attn: Richard Stalker
400 N. Congress Ave., Suite 200
West Palm Beach, FL 33401
Fax: 561/681-6780

For projects in Okeechobee, St. Lucie, Martin
Counties:
Florida DEP
Attn: Jimmy Sellers
1801 SE Hillmoor Drive, Suite C204
Port St. Lucie, FL 34952
Fax: 772/398-2815

**REQUEST FOR TRANSFER OF
ENVIRONMENTAL RESOURCE PERMIT
CONSTRUCTION PHASE TO OPERATION PHASE**

Send to:

For projects in Okeechobee, St. Lucie, Martin
Counties:
Florida DEP
Attn: Jimmy Sellers
1801 SE Hillmoor Drive, Suite C204
Port St. Lucie, FL 34952
Fax: 772/398-2815

It is requested that Department Permit No. _____ authorizing the construction and operation of a surface water management system for the below mentioned project be transferred from the construction phase permittee to the operation phase operating entity.

PROJECT: _____

FROM: Name: _____
Address: _____
City: _____ State: _____
Zipcode: _____

TO: Name: _____
Address: _____
City: _____ State: _____
Zipcode: _____

The surface water management facilities are hereby accepted for operation and maintenance in accordance with the engineers certification and as outlined in the restrictive covenants and articles of incorporation for the operating entity. Enclosed is a copy of the document transferring title of the operating entity for the common areas on which the surface water management system is located. Note that if the operating entity has not been previously approved, the applicant should contact the Department staff prior to filing for a permit transfer.

The undersigned hereby agrees that all terms and conditions of the permit and subsequent modifications, if any, have been reviewed, are understood and are hereby accepted. Any proposed modifications shall be applied for and obtained prior to such modification.

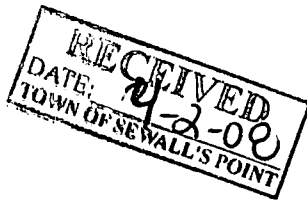
Operating Entity

Name _____ Title _____

Telephone _____

Enclosure:

- () Copy of recorded transfer of title surface water management system
- () Copy of plat(s)
- () Copy of recorded restrictive covenants, articles of incorporation, and certificate of incorporation



Mr. Brown Lingamfelter
19 Mandalay Road
Stuart, FL 34996

Mr. John Adams
Building Official
Sewell's Point
Stuart, FL 34996

Dear Mr. Adams,


This letter is to confirm our commitment to stabilize the embankment on our property at 17 Mandalay Road on Sewell's Point.

We have completed a stabilization project using "GeogROUT". The application of GeogROUT helps to stabilize subterranean rock structure, roots and other materials.

In addition, I want to assure you that we will further stabilize the bank by planting local indigenous plants. We have been working with a local botanist to select native flora which will assist in stabilization. These plants must also be able to survive in the sand and harsh conditions on the embankment. All the input we have received from several sources suggests that ordinary grass will not survive in this environment.

If you require any additional information please contact me at 772-781-2881.

Sincerely,


Mr. Brown Lingamfelter

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed **THURS 9-13**, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8681	Lingamfelter	deadman	PASS	
2	17 Mandalay Rd Linden Marine			INSPECTOR: <i>JAV</i>
8589	Harden	front porch steel	PASS	NEED COMPACTION TEST -
5	27 S River Rd Stratton			INSPECTOR: <i>JAV</i>
8530	Luluh	UG gas tank	PASS	
1	20 E High Pt Seagard C/O	+ line		INSPECTOR: <i>JAV</i>
Tree	Lagana	Tree	PASS	
3	Lot 5 Pineapple O/B			INSPECTOR: <i>JAV</i>
8456	Pope	Final	PASS	CLOSE
4	124 S Sewalls Pt al c/c			INSPECTOR: <i>JAV</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4.2, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	OLNEY		PASS	
2	91 S. SPR MITCHELL TREE			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0145	NELSON		PASS	
1	3 MARGUERITA Nelson Homes	WIRE LATHING		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0038	HINNES	NPDES	PASS	
3	MORGAN Grebben, Conert	SILT FENCE		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	SCHNABEL	TREE	PASS	
4	122 S.S.P.R.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0603	Eng...	Final	PASS	Letter on File
	17 Mandalay Linden Maine	Retaining wall	PASS	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

9124

RETAINING WALL



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9124	DATE ISSUED:	MARCH 26, 2009
SCOPE OF WORK:	RETAINING WALL		
CONDITIONS :			
CONTRACTOR:	LINDEN MARINE		
PARCEL CONTROL NUMBER:	133841-004-000-000806	SUBDIVISION	MANDALAY - LOT 8
CONSTRUCTION ADDRESS:	17 MANDALAY RD		
OWNER NAME:	LINGAMFELTER		
QUALIFIER:	MAURICE PETZ	CONTACT PHONE NUMBER:	545-0012

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: 9124 TAX FOLIO #: 133841-004-000-000806

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

Mandalay Cot # 8 17 Mandalay RD Stuart, FL 34996

GENERAL DESCRIPTION OF IMPROVEMENT: Construction of upland retaining wall

OWNER NAME: Brian Lingamfelter
ADDRESS: 17 Mandalay RD Stuart, FL 34997
PHONE NUMBER: 978-270-5667 FAX NUMBER:

INTEREST IN PROPERTY: owner
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: Linden Marine Const, INC.
ADDRESS: 2689 SW Trailside Path Stuart, FL 34997
PHONE NUMBER: 772-545-0042 FAX NUMBER: 772-545-0732

PROPERTY COMPANY (IF ANY):
ADDRESS:
PHONE NUMBER: N/A FAX NUMBER:
BOND AMOUNT: THIS IS TO CERTIFY THAT THE FOREGOING PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

UNDER/MORTGAGE COMPANY:
ADDRESS:
PHONE NUMBER: N/A FAX NUMBER:
DATE: 2/10/09 BY: [Signature] D.C.

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME:
ADDRESS:
PHONE NUMBER: FAX NUMBER:

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES OF TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B).

FLORIDA STATUES:
PHONE NUMBER: FAX NUMBER:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: 7/1/09
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Charles Brown Lingamfelter
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE: owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10 DAY OF Feb 2009

BY: Charles B Lingamfelter AS owner FOR NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

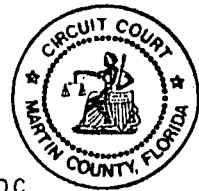
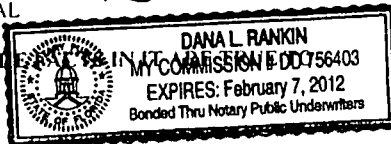
PERSONALLY KNOWN OR PRODUCED IDENTIFICATION

TYPE OF IDENTIFICATION PRODUCED

[Signature]
NOTARY SIGNATURE/ SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Charles Brown Lingamfelter
(Signature of Natural Person Signing Above)



INSTR # 2145239 OR BK 02388 PG 2883 RECD 05/06/2009 11:31:57 AM

RECEIVED
DATE: 3-28-09
TOWN OF SEWALL'S POINT

Date: 2-23-09 Town of Sewall's Point Permit Number: _____

OWNER/TITLEHOLDER NAME: KATHAARINE LIGAMFELER Phone (Day) 978-270-5667

Job Site Address: 17 S MANDALAY City: STUART State: FL Zip: 34994

Legal Description: MANDALAY LOT 8 Parcel Control Number: 13-38-41-004-000-00080-6

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): INSTALL RETAINING WALL

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO
Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 25,000
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Linden Marine Construction Phone: 545-0752 Fax: 545-0012

Street: 2689 SW Trailside Path City: Stuart State: FL Zip: 34997

State License Number: _____ OR: Municipality: Martin Co. License Number: SP02847

LOCAL CONTACT: MAURICE PETZ Phone Number: 772-349-0727

DESIGN PROFESSIONAL: ROGER GAGER Lic# FL 43855 PE Phone Number: 772-24-4320

Street: 8528 SW KANSAS City: STUART State: FL Zip: 34997

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2004 W/ 2006 REV.
National Electrical Code: 2005 Florida Energy Code: 2004/6 Florida Accessibility Code: 2004/6 Florida Fire Prevention Code 2004/6

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Charles B Ligamfeler

State of Florida, County of: Martin

This the 10 day of Feb, 2009

by Charles B Ligamfeler who is personally known to me or produced as identification. [Signature]

My Commission Expires: _____

Public Notary **DANA L. RANKIN**
MY COMMISSION # DD 756403
EXPIRES: February 7, 2012
Bonded Thru Notary Public Underwriters

CONTRACTOR SIGNATURE: (required)
Maurice Petz

On State of Florida, County of: Martin

This the 10 day of Feb, 2009

by Maurice Petz who is personally known to me or produced as identification. [Signature]

My Commission Expires: _____

Notary Public **DANA L. RANKIN**
MY COMMISSION # DD 756403
EXPIRES: February 7, 2012
Bonded Thru Notary Public Underwriters

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTICE OF COMMENCEMENT MUST BE FILED WITHIN 180 DAYS OF PERMIT ISSUANCE. APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com T1.12

Summary

print | | | -/ -/ Address
 1 of 1

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
13-38-41-004-000-00080-6	17 S MANDALAY RD	27799	Address	0	1

Summary

Property Location 17 S MANDALAY RD
Tax District 2200 Sewall's Point
Account # 27799
Land Use 101 0100 Single Family
Neighborhood 193170
Acres 0.877

Legal Description

Property Information
 MANDALAY LOT 8 & BEG ON RIVER 17' S OF S LOT LN, RUN N 64 DEG 59' E 182', N 17 DEG 12' 39" E 15.62' TO S/LN LOT 8 & SWLY ALG SD LN 196.6' TO BEG

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information

Owner Information
 LINGAMFELTER, KATHARINE F

Mail Information

17 S MANDALAY RD
 STUART FL 34996

Assessment Info

Front Ft. 1.00

Market Land Value \$2,016,000

Market Impr Value \$247,800

Market Total Value \$2,263,800

Site Functions

Property Search

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale

Sale Amount \$1,725,000

Sale Date 6/2/1999

Book/Page 1398 0931

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 03/11/2009





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

SEAWALL/RETAINING WALL CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

N/A 2 Copies FDEP permit (and Army Corp of Engineers if required), letter of consent, or exemption (For all seawalls or any retaining wall within 20' of mean high water.

1 Copy Completed permit application

2 Copies Current survey (2006 or newer) including the following:

- All existing buildings and structures
- Mean high water line
- Location of proposed seawall/retaining wall
- Legal Description of Lot
- Lot dimensions and bearings
- Street and Waterway names
- Existing docks, mooring pilings, decks, boatlifts, etc.
- Easements, Road Right-Of-Ways
- Canals, ponds, or riverfront locations

***DO NOT SUBMIT PREVIOUSLY STAMPED SITE PLANS.**

2 Copies Engineered drawings

1 Copy Final tie-in survey prior to Final Inspection

LOCATION/GENERAL SITE PLAN

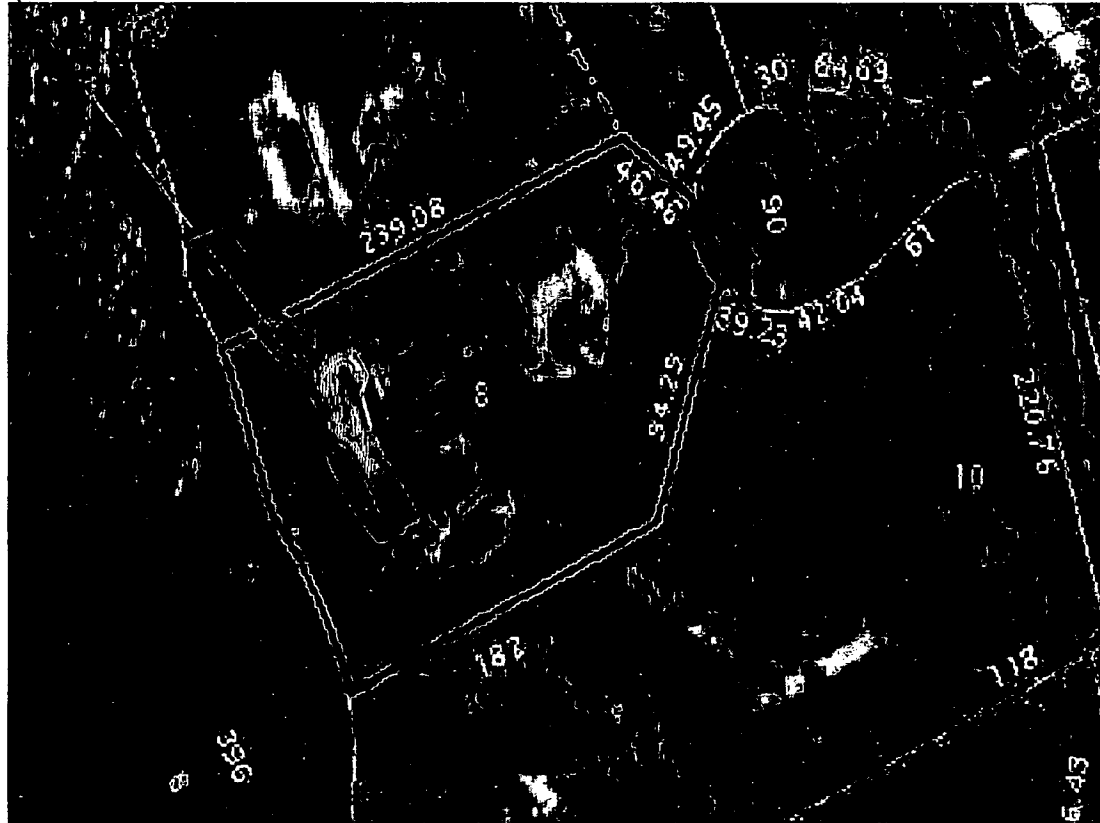
SHEET 1 OF 5

1" = 100'

INSTALL UPLAND
RETAINING WALL
WESTERLY OF EXISTING
POOL IN FRONT OF
DEGRADED WOOD
RETAINING WALL



FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE *3.23.09*
BUILDING OFFICIAL



truetech@comcast.net

**SUSTAINABLE EARTH
ENGINEERING**
8528 SW KANSAS STREET
STUART, FL 34994
1-772-214-4800

LIGAMFELTER RESIDENCE
17 S MANDALAY RD
STUART, FL
34996

CERTIFICATION
ROGER BABER

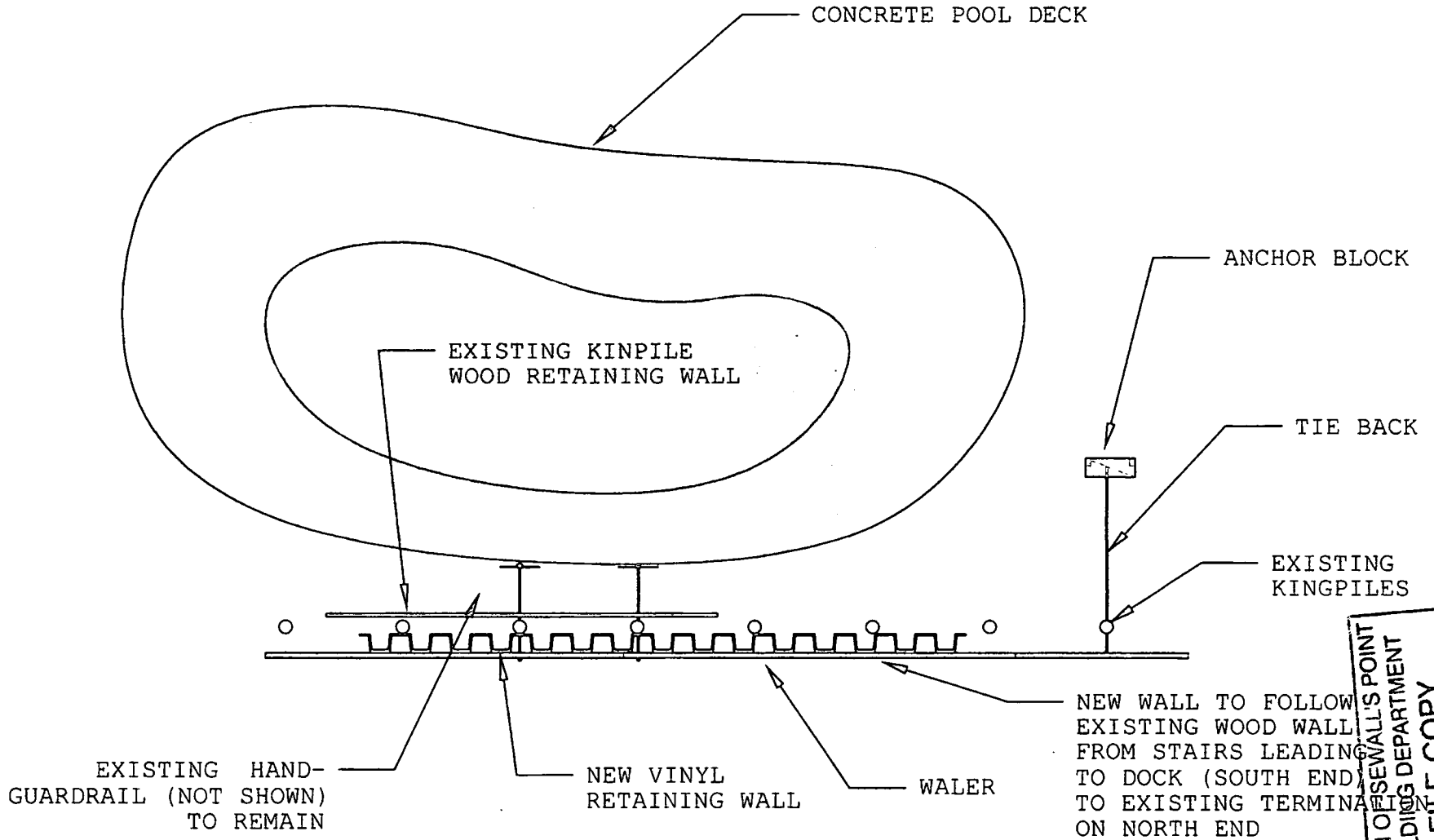
FLORIDA
PROFESSIONAL ENGINEER
43855

PLAN VIEW

SHEET 2 OF 5

1/8" = 1'

WALL LOCATION IS 25'+-
LANDWARD OF MEAN HIGH WATER
LINE, NO DEP OR ACOE
PERMITS REQUIRED



OWN OF SEAWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

truetechn@comcast.net

**SUSTAINABLE EARTH
ENGINEERING**
8528 SW KANSAS STREET
STUART, FL 34994
1-772-214-4800

LIGAMFELTER RESIDENCE
17 S MANDALAY RD
STUART, FL
34996

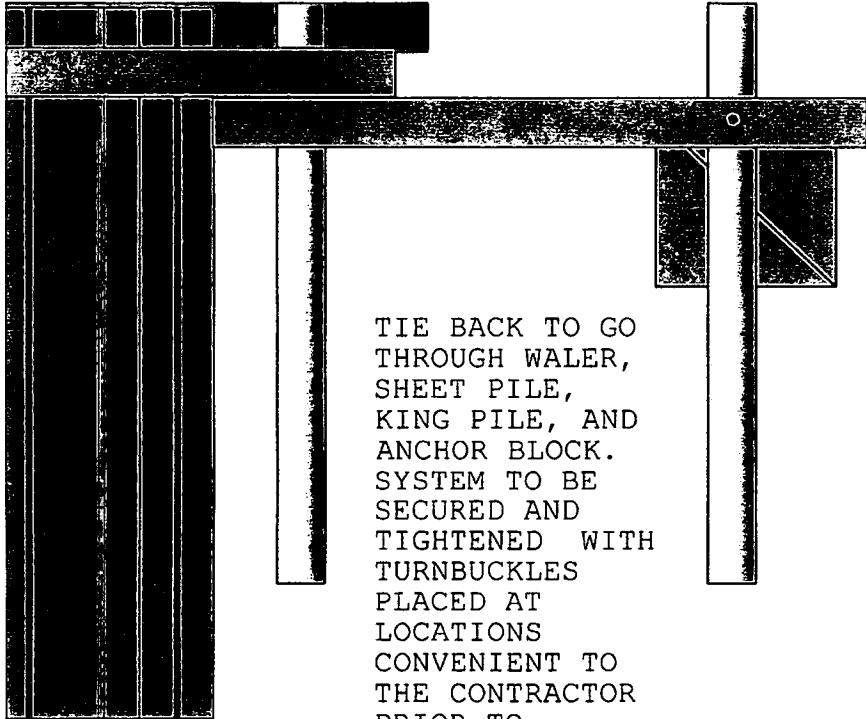
23 FEB 09
CERTIFICATION
ROGER BABER
Roger Baber
FLORIDA
PROFESSIONAL ENGINEER
43855

CROSS SECTION

SHEET 3 OF 5

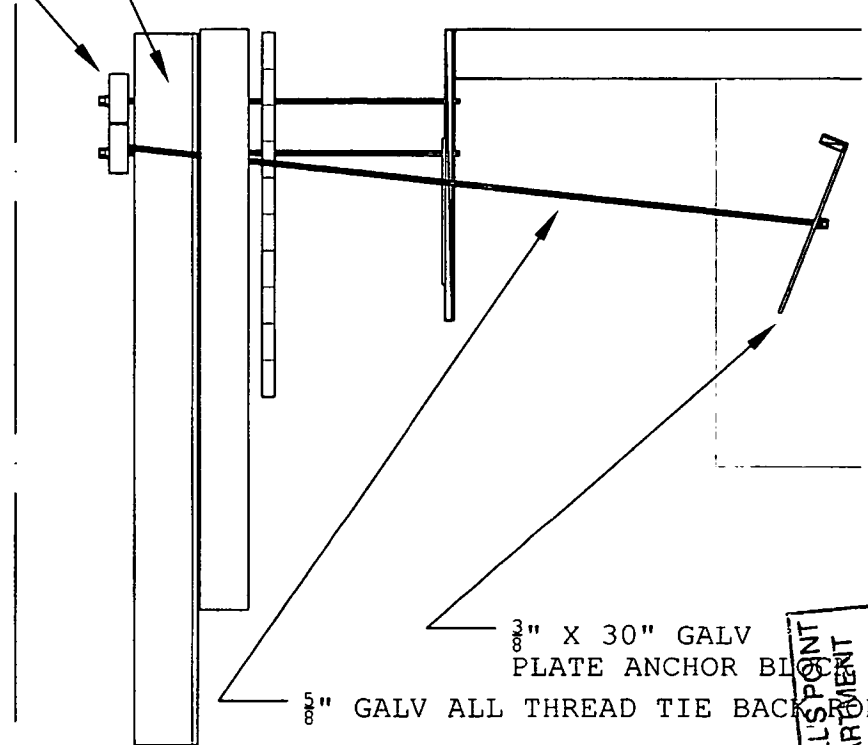
1/8" = 1'

3"X8"X20'
COMPOSITE WALER, STAGGER
VERTICALLY AT OVERLAPS,
MINIMUM 8" OVERLAP OF P
ILE AT ENDS



TIE BACK TO GO
THROUGH WALER,
SHEET PILE,
KING PILE, AND
ANCHOR BLOCK.
SYSTEM TO BE
SECURED AND
TIGHTENED WITH
TURNBUCKLES
PLACED AT
LOCATIONS
CONVENIENT TO
THE CONTRACTOR
PRIOR TO
BACKFILLING

EVERLAST 3.1 OR 3.5 VINYL SHEETPILE
(OR EQUIVALENT), 10 FOOT LENGTHS,
JET/PNEUMATIC DRIVE AS FAR AS POSSIBLE,
CUT TOP HORIZONTAL 2" BELOW EXISTING WALL
TOP ELEVATION



3/8" X 30" GALV
PLATE ANCHOR BLOCK
5/8" GALV ALL THREAD TIE BACK

ENGINEER MAY SUBSTITUTE
EQUIVALENT MATERIAL SIZE OR
SPECIFICATION WHERE
AVAILABILITY DICTATES

truetech@comcast.net

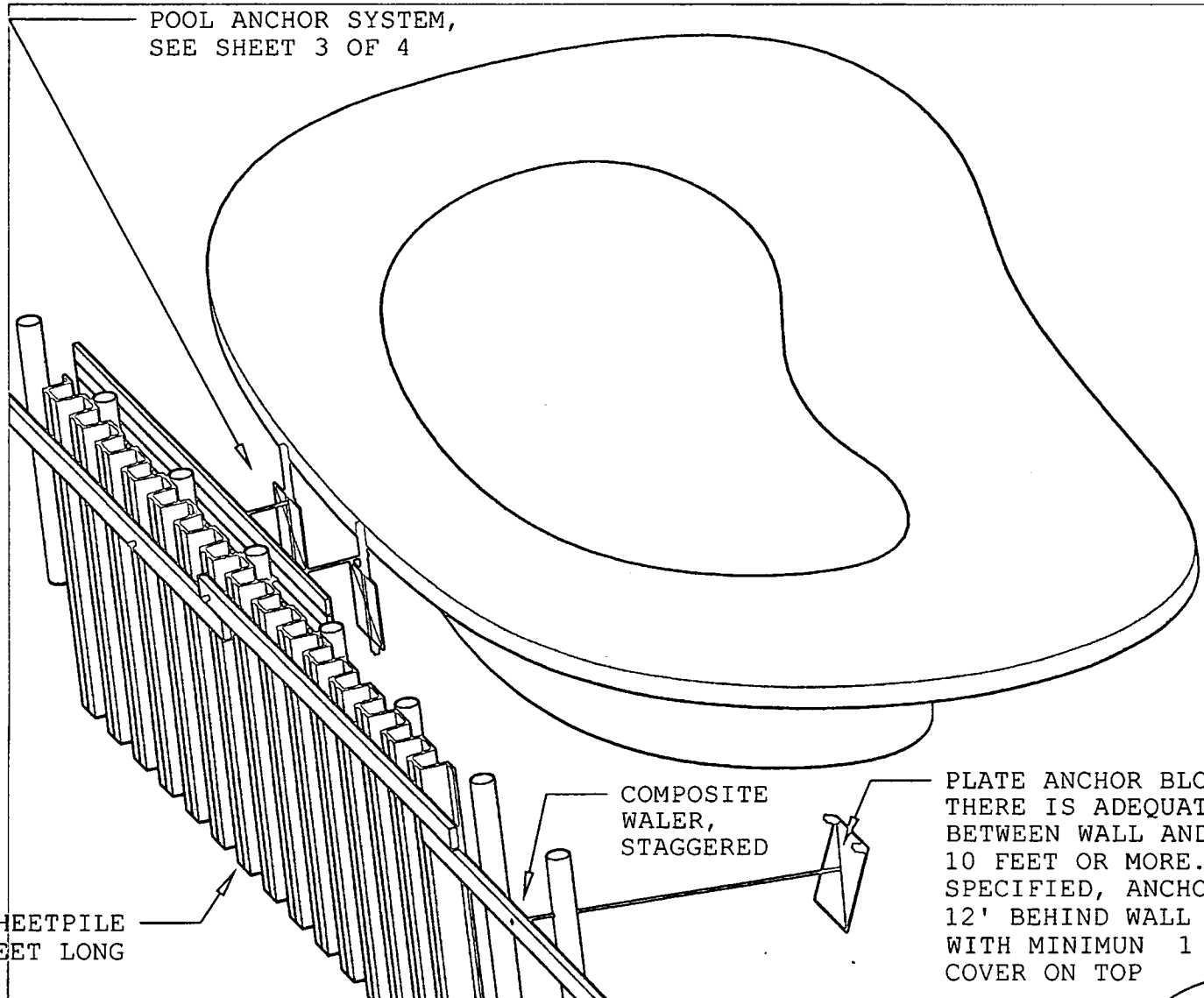
**SUSTAINABLE EARTH
ENGINEERING**
8528 SW KANSAS STREET
STUART, FL 34994
1-772-214-4800

LIGAMFELTER RESIDENCE
17 S MANDALAY RD
STUART, FL
34996

23 Feb 09
CERTIFICATION
ROGER BABER
Roger Baber
FLORIDA
PROFESSIONAL ENGINEER
43855

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

ORTHOGRAPHIC VIEW
SHEET 4 OF 5
NTS



POOL ANCHOR SYSTEM,
SEE SHEET 3 OF 4

VINYL SHEETPILE
10 FEET LONG

COMPOSITE
WALER,
STAGGERED

PLATE ANCHOR BLOCK WHERE
THERE IS ADEQUATE DISTANCE
BETWEEN WALL AND ANCHOR,
10 FEET OR MORE. WHERE NOT
SPECIFIED, ANCHOR SHALL BE
12' BEHIND WALL AND BURIED
WITH MINIMUM 1 FOOT OF
COVER ON TOP

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

truetechnet@comcast.net

**SUSTAINABLE EARTH
ENGINEERING**
8528 SW KANSAS STREET
STUART, FL 34994
1-772-214-4800

LIGAMFELTER RESIDENCE
17 S MANDALAY RD
STUART, FL
34996

23 FEB 09
CERTIFICATION
ROGER BABER
Roger Baber
FLORIDA
PROFESSIONAL ENGINEER
43855

GENERAL SPECIFICATION AND NOTES
SHEET 5 OF 5

1. CONTRACTOR TO REMOVE ALL PLANTS, VEGETATION, AND OBSTRUCTIONS. CABLES ATTACHED TO KINGPILES SHALL BE TIGHTENED WHERE PRACTICABLE.
2. INSTALL VINYL SHEET PILES IN FRONT OF EXISTING RETAINING WALL. TOE PENETRATION TO BE AS DEEP AS POSSIBLE.
3. INSTALL BLUE DOLPHIN WEEPHOLES 10' ON CENTER 3 FEET BELOW TOP OF WALL. BACKFILL 1 FOOT WITH CLEAN SAND.
4. INSTALL ANCHOR BLOCKS AND POOL ANCHORS BEHIND KING PILES.
5. INSTALL COMPOSITE WALERS, USE $\frac{5}{8}$ " ALL THREAD. A TURNBUCKLE SHALL BE PLACED BETWEEN THE ANCHOR AND THE WALER IN A LOCATION CONVENIENT TO THE CONTRACTOR FOR FINAL TIGHTEN BEFORE BACKFILL.
6. ONCE THE WALL IS IN PLACE, THE FINAL TOP ELEVATION CAN BE STRINGLINED AND CUT LEVEL. COMPLETE FINAL BACKFILL WITH CLEAN SAND TO TOP OF WALL.
7. REPAIR GUARDRAIL AS NEEDED.

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

truetech@comcast.net

**SUSTAINABLE EARTH
ENGINEERING**
8528 SW KANSAS STREET
STUART, FL 34994
1-772-214-4800

LIGAMFELTER RESIDENCE
17 S MANDALAY RD
STUART, FL
34996

23 FEB 07
CERTIFICATION
ROGER BABER
Roger Baber
FLORIDA
PROFESSIONAL ENGINEER
43855

RECEIVED
DATE: 6-2-09
TOWN OF SEWALL'S POINT

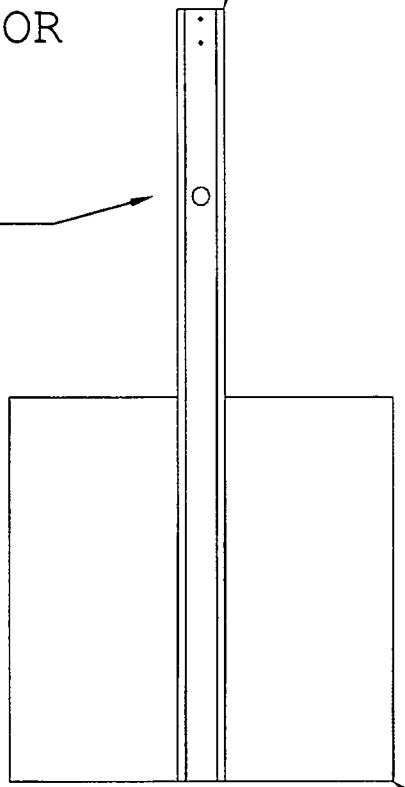
GENERAL ISOMETRIC SHEET 5 OF 5 NTS

3" X 2" X 1/4" CHANNEL, EPOXY ANCHOR TO POOL SHELL AT TOP USING 1/2" X 3" TAPCONS

POOL ANCHOR DETAIL

1" = 1 FT

TIE BACK MIDWAY BETWEEN POOL SHELL AND ANCHOR PLATE, USE NEOPRENE ISOLATOR WASHERS TO INSULATE TIE BACK FROM ALUMINUM

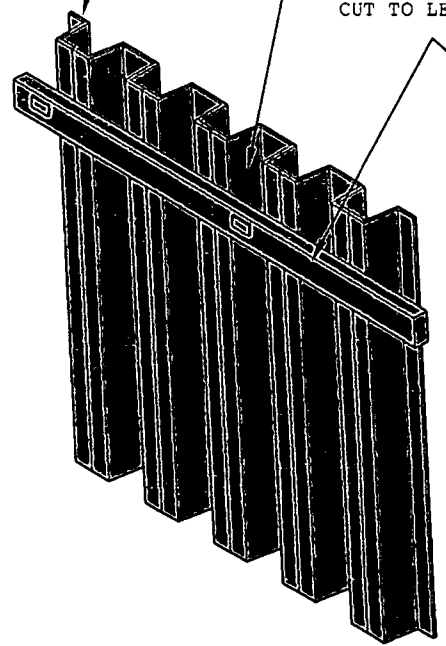


3/8" X 2' X 2' ALUMINUM PLATE, SOLID FILLET WELD TO CHANNEL

ANCHOR TOP WALE TO TO NEW ANCHOR BLOCKS AND SBRACKET ANCHOR PLATES

3/4" STAINLESS ALL THREAD, CUT TO LENGTH NEEDED, APPROXIMATELY 40"

4"X8"X16FOOT TIMBERGUARD TOP WALE



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

OWNER
LIGAMFELTER
17 MANDALAY
TOWN OF SEWALL'S POINT
FL 34994

UPDATE DRAWING TO REFLECT FIELD MODIFICATION FOR ANCHORS ADJACENT TO POOL SHELL

1 JUN 09
CERTIFICATION

ROGER BABER
Roger Baber
PROFESSIONAL ENGINEER
FLORIDA 43855

As built complete 5/28/09
RB

SUSTAINABLE EARTH ENGINEERING, INC.
8528 SW Kansas Ave.
Stuart, FL 34997

Town of Sewall's Point
1 South Sewall's Point Rd
Sewall's Point, FL 34996

21 Jul 2009

RECEIVED
DATE: 7-21-09
TOWN OF SEWALL'S POINT

Attn: Building Department

Subject: Permit # 9124, Address: 17 Mandalay

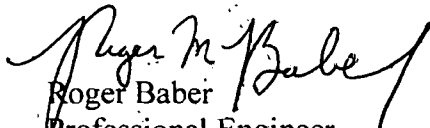
Dear Building Department –

The deviations from the design plans for the retaining wall at the above address have been noted. Namely, the weep hole locations, the height of the tiebacks, and the type of backfill.

These deviations are acceptable and will not affect the function of the retaining wall from it's intended purpose. I recommend closeout and completion of the above permit.

Please call me should there be any questions @ 772-214-4800, or email , truetech@comcast.net.

Sincerely,


Roger Baber
Professional Engineer,
FL 43855

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

OK TO FINISH

9796

ROOF REPAIR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9796	DATE ISSUED:	MAY 20, 2011
SCOPE OF WORK:	ROOF REPAIR		
CONDITIONS :			
CONTRACTOR:	STUART ROOFING		
PARCEL CONTROL NUMBER:	133841004-000-000806	SUBDIVISION	MANDALAY - LOT 8
CONSTRUCTION ADDRESS:	17 MANDALAY RD		
OWNER NAME:	LINGAMELFTER		
QUALIFIER:	JOHN TURNER	CONTACT PHONE NUMBER:	692-9854

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Date: 10-22-10

Permit Number: 9796

OWNER/TITLEHOLDER NAME: LINGAMFELTER, KATHERINE Phone (Day) 918.210.5667 (Fax) _____

Job Site Address: 17 MANDALAY ROAD City: STUART State: FL Zip: 34996

Legal Description MANDALAY LOT 8 Parcel Control Number: 13-38-41-004-000-00080-6

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): ROOF REPAIR

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO Y

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 3,350.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: STUART ROOFING Phone: 772.692.9854 Fax: 772.692.9856

Street: 140 NE DIXIE HWY City: STUART State: FL Zip: 34994

State License Number: CC-024411 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: JOHN TURNER Phone Number: 772.349.2772

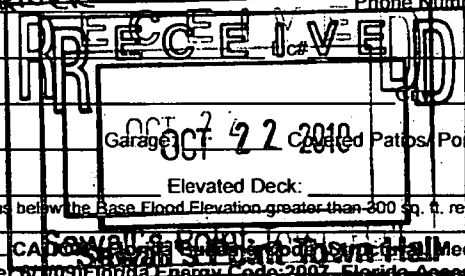
DESIGN PROFESSIONAL: _____ Phone Number: _____

Street: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____

Carpport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION IS SUBJECT TO (Florida Building Code, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/08) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007



NOTICES TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

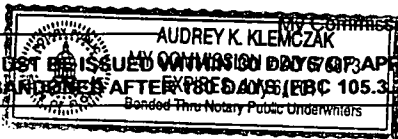
State of Florida, County of _____
This the _____ day of _____, 20____
by _____ who is personally
known to me or produced _____
as identification. _____
Notary Public

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: MARTIN
This the 21st day of OCT 2010
by JOHN TURNER who is personally
known to me or produced _____
As identification. Audrey K Klemczak
Notary Public

My Commission Expires: _____ My Commission Expires: 2-11

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 60 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 90 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



12-10 called
3-11 called
4-28 called Stuart Roof again



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1,14

Summary

print | | | | | Address
 1 of 1

Tabs

Summary

Print View

Land

Improvements

Assessments &

Exemptions

Sales

Taxes →

Parcel Map →

Trim Notice →

Searches

Parcel ID

Owner

Address

Account #

Use Code

Legal Description

Neighborhood

Sales

Maps →

Functions

Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-004-000-00080-6	27799	17 MANDALAY RD, SEWALL'S POINT	\$1,946,730	10/16/2010

Owner Information	
Owner(Current)	LINGAMFELTER KATHARINE F
Owner/Mail Address	17 S MANDALAY RD STUART FL 34996
Sale Date	06/02/1999
Document Number	
Document Reference No.	1398 0931
Sale Price	1725000

Location/Description			
Account #	27799	Map Page No.	SP-06
Tax District	2200	Legal Description	MANDALAY LOT 8 & BEG ON RIVER 17' S OF S LOT LN, RUN N 64 DEG 59' E 182', N 17 DEG 12' 39" E 15.62' TO S/LN LOT 8 & SWLY ALG SD LN 196.6' TO BEG
Parcel Address	17 MANDALAY RD, SEWALL'S POINT		
Acres	.8770		

Parcel Type	
Use Code	0100 Single Family
Neighborhood	193170 LUCINDIA,RIVERVIEW(ST LUC.RVR)

Assessment Information	
Market Land Value	\$1,760,000
Market Improvement Value	\$186,730
Market Total Value	\$1,946,730

Print First Previous Next Last

Legal Disclaimer / Privacy Statement



Stuart Roofing, Inc.

140 NE Dixie Highway

Stuart, FL 34994

772-692-9854

Fax: 772-692-9856

Date	
10/1/2010	2087

Name / Address
LINGAMFELTER, KATHERINE 17 MANDALAY RD SEWALL'S POINT

Phone/Cell	Acceptance Date	Proposal valid for:
978/270/5667		30 DAYS

We hereby submit specifications to:	
<p>REMOVE TILE AROUND CHIMNEY & RESEAL ALL FLASHING ALL CRACKS IN STUCCO REMOVE TILE AT 10' VALLEY AND RETURN BELOW RESURFACE ALL WITH MODIFIED ROOFINGREPLACE ANY ROTTEN WOOD REPLACE ANY ROTTEN WOOD AND REINSTALL TILE</p> <p>NOTE: TILE TO MATCH AS CLOSE AS POSSIBLE. NOTE: CLEAN ALL TREE DEBRIS FROM ROOF AND GUTTERS</p>	
50% DEPOSIT, BALANCE DUE IN FULL UPON COMPLETION	Total \$3,350.00

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workers's Compensation insurance.

Authorized By: _____

Accepted By: _____

Stuart Roofing, Inc.

140 NE Dixie Highway
Stuart, FL 34994
772-692-9854
Fax: 772-692-9856

Date	
10/1/2010	2087

Name / Address
LINGAMFELTER, KATHERINE 17 MANDALAY RD SEWALL'S POINT

Phone/Cell	Acceptance Date	Proposal valid for.
978/270/5667		30 DAYS

We hereby submit specifications to:

REMOVE TILE AROUND CHIMNEY & RESEAL ALL FLASHING ALL CRACKS IN STUCCO
REMOVE TILE AT 10' VALLEY AND RETURN BELOW RESURFACE ALL WITH MODIFIED ROOFINGREPLACE ANY ROTTEN WOOD
REPLACE ANY ROTTEN WOOD AND REINSTALL TILE

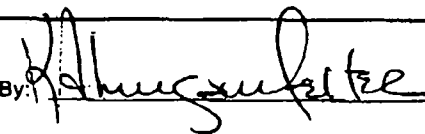
NOTE: TILE TO MATCH AS CLOSE AS POSSIBLE.
NOTE: CLEAN ALL TREE DEBRIS FROM ROOF AND GUTTERS

50% DEPOSIT, BALANCE DUE IN FULL UPON COMPLETION

Total

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workers's Compensation insurance.

Authorized By:



Accepted By: _____

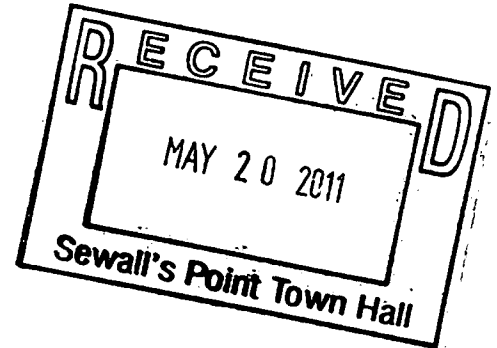
**STUART ROOFING
140 NE DIXIE HWY
STUART, FL 34994**

PHONE: 772-692-9854

FAX: 772-692-9856

May 19, 2011

**RE: Lingamfelter
17 Mandalay Road**



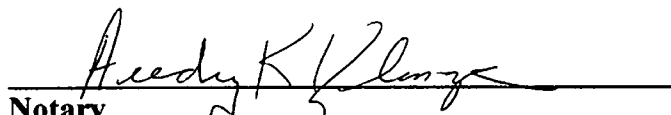
To Whom It May Concern:

**The roof repair at the above residence was down according to Florida building code.
The repair was done as outlined in the signed proposal.**

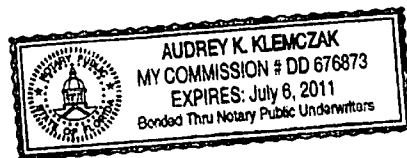
Thank you,



**John Turner
Stuart Roofing**



Notary



10787

FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	|10787 |	DATE ISSUED:	|02/28/2014 |
SCOPE OF WORK:	|FENCE |		
CONTRACTOR:	|STUART FENCE COMPANY |		
PARCEL CONTROL NUMBER:	|133841004000000806 |	SUBDIVISION	|MANDALAY |
CONSTRUCTION ADDRESS:	|17 MANDALAY ROAD |		
OWNER NAME:	|KATHARINE LINGAMFELTER |		
QUALIFIER:	|CHESTER RICHMOND |	CONTACT PHONE NUMBER:	|772 288-1151 |

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

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**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY**

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEM-WALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TIE DOWN /TRUSS ENG _____
- WINDOW/DOOR BUCKS _____
- ROOF DRY-IN/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- INSULATION _____
- LATH _____
- ROOF TILE IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- METER FINAL _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10787
ADDRESS	17 MANDALAY ROAD
DATE 02/28/2014	SCOPE OF WORK FENCE

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)	s.f.		
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)	s.f.		
Total square feet remodel with new trusses: @ \$90.78 per sq. ft.		\$	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$100 per insp.)			
Total number of inspections (Value < \$200K)@\$100ea		\$	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5 min.)			
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	1,750.00
Total number of inspections @ \$100.00 each	1		100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	5.00
TOTAL ACCESSORY PERMIT FEE:		\$	109.00

3/3/14
 CK 1176

Stuart Fence @ Bull South. Net

Town of Sewall's Point

Date: 2/27/14 BUILDING PERMIT APPLICATION Permit Number: 10787

OWNER/LESSEE NAME: Katherine Lingamfelter Phone (Day) _____ (Fax) _____

Job Site Address: 17 Mandalay Rd City: Stuart State: FL Zip: 34996

Legal Description Mandalay Lot 8 etc (see attached) Parcel Control Number: _____

Fee Simple Holder Name: Same as Above Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** FENCE

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO X
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 1,750.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Stuart Fence Company Phone: 288-1151 Fax: 288-3035

Qualifiers name: Chester J. Richmond Street: PO Box 2636 City: Stuart State: FL Zip: 34995

State License Number: N/A OR: Municipality: N/A License Number: MC CFE 3584

LOCAL CONTACT: _____ Phone Number: _____

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE*:

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement

CODE EDITIONS IN EFFECT, THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

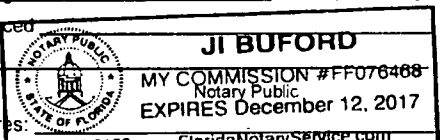
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*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
X _____
State of Florida, County of: _____
On This the _____ day of _____, 20____
by _____ who is personally
known to me or produced _____
As identification, _____
Notary Public
My Commission Expires: _____

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
X _____
State of Florida, County of: Martin
On This the 27th day of February, 2014
by Chester J. Richmond who is personally
known to me or produced _____
As identification, _____
My Commission Expires: _____



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Sewall's Point Town Hall

EM 2-25

STUART FENCE COMPANY, INC.

(772) 288-1151

Fax (772) 288-3035

CFE3584

LICENSED & INSURED
BONDED

PROPOSAL - CONTRACT

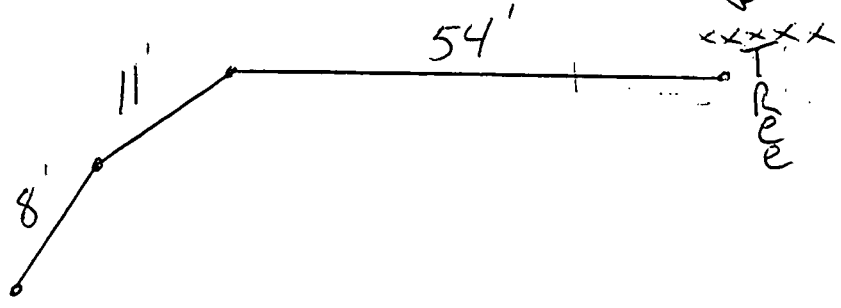
P.O. Box 2636
Stuart, FL 34995

CUSTOMER'S NAME BROWN LINGAMFELTER			DATE 2-25-14
STREET 17 MADALAY RD (SEWELLS PT.) MANDALAY	CITY STUART	STATE FL	ZIP 34996
HOME PHONE	BUSINESS PHONE	Fax #	MOBIL/BEEPER# 978-270-5667
FENCE LINE CLEARED: Y / N N	SURVEY: CBLINGAMFELTER@MSN.COM		TOTAL FOOTAGE: 73

CHAIN LINK

FURNISH AND INSTALL 73' OF 36" HIGH 2 RAIL BLACK POWDER COATED ALUMINUM FENCE. ALL POSTS SET IN CONCRETE. REMOVE EXISTING FENCE. INSTALL FENCE SO THAT IT IS LEVEL ALL THE WAY ACROSS THE BACK LINE. TOTAL INCLUDES ALL MATERIAL, LABOR & PERMIT FEES.

* Includes Ball top post caps.



leave this piece
of existing

XXXXX
Tree

WOOD

FENCE STYLE _____
 HEIGHT _____
 GOOD SIDE _____
 WALK GATES _____
 D.D. GATES _____
 LINE POSTS _____
 GATE POSTS _____

SPECIAL INSTRUCTIONS

* Keep fence level

PVC/ALUMINUM

FENCE STYLE 36" ALUMI
 WALK GATES BLACK
 D.D. GATES _____
 POOL FENCE Y / N N

OPTION "B"	PROPOSAL/CONTRACT SALE PRICE	OPTION "A"
	CONTRACT PRICE	\$1750
	PERMIT	In.C
	TOTAL	1750 -
	LESS DEPOSIT	2/25 @ 875 #868
	BALANCE DUE UPON COMPLETION	875

ACCEPTANCE OF PROPOSAL - CONTRACT: The above prices, specifications and Terms/Conditions on reverse side are satisfactory and are hereby accepted. Stuart Fence Corp. is authorized to do the work specified. Payment will be made as outlined above. Upon signing by Purchaser this becomes a binding contract.

CUSTOMER'S SIGNATURE CB. Lingamfelter

SEE REVERSE SIDE FOR WARRANTY INFORMATION

APPROVED AND ACCEPTED DATE _____

SALES REP. J. Son

STUART FENCE COMPANY, INC. IS NOT RESPONSIBLE FOR DAMAGE TO UNMARKED IRRIGATION LINES

2013-2014

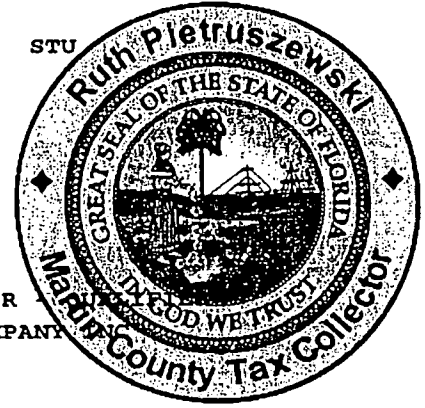
MARTIN COUNTY ORIGINAL BUSINESS TAX RECEIPT

HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR
3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994
(772) 288-5604

ACCOUNT 2004-218-0003 CERT

PHONE (772) 288-1151 SIC NO 238990

LOCATION:
3264 SE DIXIE HWY STU



CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$	<u>.00</u>	LIC. FEE \$	<u>26.25</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL		<u>26.25</u>	

RICHMOND, CHESTER
STUART FENCE COMPANY
PO BOX 2636
STUART, FL 34995

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **FENCE ERECTION CONTRACTOR**
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

29 DAY OF JULY 2013
AND ENDING SEPTEMBER 30, 2014

91 2012 03987.0001 26.25 PAID

2013-2014

MARTIN COUNTY ORIGINAL BUSINESS TAX RECEIPT

HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR
3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994
(772) 288-5604

ACCOUNT 2008-650-0972 CERT

PHONE (772) 288-1151 SIC NO 238990

LOCATION:
3264 SE DIXIE AVE STU



CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$	<u>.00</u>	LIC. FEE \$	<u>26.25</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL		<u>26.25</u>	

RICHMOND, CHESTER
STUART FENCE RETAIL,
P.O. BOX 2636
STUART, FL 34995

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **RETAIL FENCE BUSINESS**
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

29 DAY OF JULY 2013
AND ENDING SEPTEMBER 30, 2014

91 2012 03987.0002 26.25 PAID

If you have any questions relating to the information in this letter, please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



MARTIN COUNTY, FLORIDA Contractor's Licensing Certificate of Competency

FENCE ERECTION - MC

License #: MCFE3584 Expires: 09/30/2014
RICHMOND, CHESTER J III
STUART FENCE COMPANY INC
P.O. BOX 2636
STUART, FL 34995



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

12/26/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER RICK CARROLL INSURANCE AGENCY 2160 NE Dixie Highway PO Box 877 Jensen Beach FL 34958-0877		CONTACT NAME: Carla Green PHONE (A/C No. Ext): (772) 334-3181 E-MAIL ADDRESS: carla@rickcarroll.com FAX (A/C No.): (772) 334-7742	
INSURED Stuart Fence Company Inc. and Stuart Retail PO Box 2636 Stuart FL 34995		INSURER(S) AFFORDING COVERAGE INSURER A: First National Ins Co of Amer INSURER B: American States Insurance INSURER C: INSURER D: INSURER E: INSURER F:	
		NAIC # 19704	

COVERAGES

CERTIFICATE NUMBER: CL13122305768

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR		25CC1663017	8/18/2013	8/18/2014	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 200,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COM/OP AGG \$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC					
B	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS		01CH3769388	12/20/2013	12/20/2014	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ Uninsured motorist combined \$ 100,000
	<input checked="" type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000		01SU41496650	8/18/2013	8/18/2014	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	N/A				WC STATUTORY LIMITS <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

THIS CERTIFICATE IS FOR PROOF OF INSURANCE ONLY. GENERAL LIABILITY CONTAINS ADDITIONAL INSURED ENDORSEMENTS ON A PRIMARY/NON CONTRIBUTORY BASIS - AND A WAIVER OF SUBROGATION (TRANSFER OF RIGHTS) ENDT, SEE ATTACHED.

CERTIFICATE HOLDER**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Keith Carroll/DCH

ACORD 25 (2010/05)

INS025 (201005) 01

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CERTIFICATE OF LIABILITY INSURANCE

Date
1/9/2014

Producer: Lion Insurance Company
2739 U.S. Highway 19 N.
Holiday, FL 34691
(727) 938-5562

This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.

Insurers Affording Coverage

NAIC #

Insured: South East Personnel Leasing, Inc. & Subsidiaries
2739 U.S. Highway 19 N.
Holiday, FL 34691

Insurer A: Lion Insurance Company	11075
Insurer B:	
Insurer C:	
Insurer D:	
Insurer E:	

Coverages

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits	
		GENERAL LIABILITY <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence	\$
						Damage to rented premises (EA occurrence)	\$
						Med Exp	\$
						Personal Adv Injury	\$
						General Aggregate	\$
						Products - Comp/Op Agg	\$
		AUTOMOBILE LIABILITY <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident)	\$
						Bodily Injury (Per Person)	\$
						Bodily Injury (Per Accident)	\$
						Property Damage (Per Accident)	\$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible				Each Occurrence	
						Aggregate	
A		Workers Compensation and Employers' Liability Any proprietor/partner/executive officer/member excluded? NO If Yes, describe under special provisions below.	WC 71949	01/01/2014	01/01/2015	X WC Statutory Limits	OTH-ER
						E.L. Each Accident	\$1,000,000
						E.L. Disease - Ea Employee	\$1,000,000
						E.L. Disease - Policy Limits	\$1,000,000

Other

Lion Insurance Company is A.M. Best Company rated A- (Excellent). AMB # 12616

Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions:

Client ID: 34-65-485

Coverage only applies to active employee(s) of South East Personnel Leasing, Inc. & Subsidiaries that are leased to the following "Client Company":

Stuart Fence Company, Inc.

Coverage only applies to injuries incurred by South East Personnel Leasing, Inc. & Subsidiaries active employee(s), while working in: FL.

Coverage does not apply to statutory employee(s) or independent contractor(s) of the Client Company or any other entity.

A list of the active employee(s) leased to the Client Company can be obtained by faxing a request to (727) 937-2138 or by calling (727) 938-5562.

Project Name:

ISSUE 1-09-14 (MT)

Begin Date 5/10/2004

CERTIFICATE HOLDER

CANCELLATION

Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.

John H. ...

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 2/27/2014 10:33:24 AM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-004-000-00080-6	27799	17 MANDALAY RD, SEWALL'S POINT	\$1,637,800	2/22/2014

Owner Information

Owner(Current)	LINGAMFELTER KATHARINE F
Owner/Mail Address	17 MANDALAY RD STUART FL 34996
Sale Date	6/2/1999
Document Book/Page	1398 0931
Document No.	
Sale Price	1725000

Location/Description

Account #	27799	Map Page No.	SP-06
Tax District	2200	Legal Description	MANDALAY LOT 8 & BEG ON RIVER 17' S OF S LOT LN, RUN N 64 DEG 59' E 182', N 17 DEG 12' 39" E 15.62' TO S/LN LOT 8 & SWLY ALG SD LN 196.6' TO BEG
Parcel Address	17 MANDALAY RD, SEWALL'S POINT		
Acres	.8770		

Parcel Type

Use Code	0100 Single Family
Neighborhood	193170 Lucindia,Riverview ST LUC.RVR

Assessment Information

Market Land Value	\$1,496,000
Market Improvement Value	\$141,800
Market Total Value	\$1,637,800

**TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY**

DRAWING REVISIONS: SURVEY, TOPO 3/23/01.
(INTER-OFFICE USE ONLY)
TYPE OF SURVEY: BOUNDARY, TOPOGRAPHIC
ELEVATION DATUM: M.G.V.D. 1929
FL 2000 ZONE: "C" 120164 000 0 DATE 8/16/92

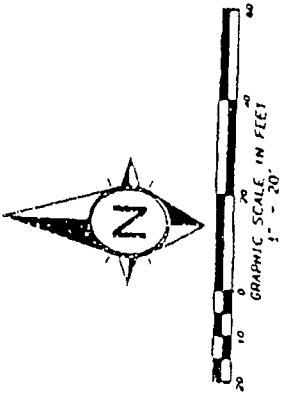
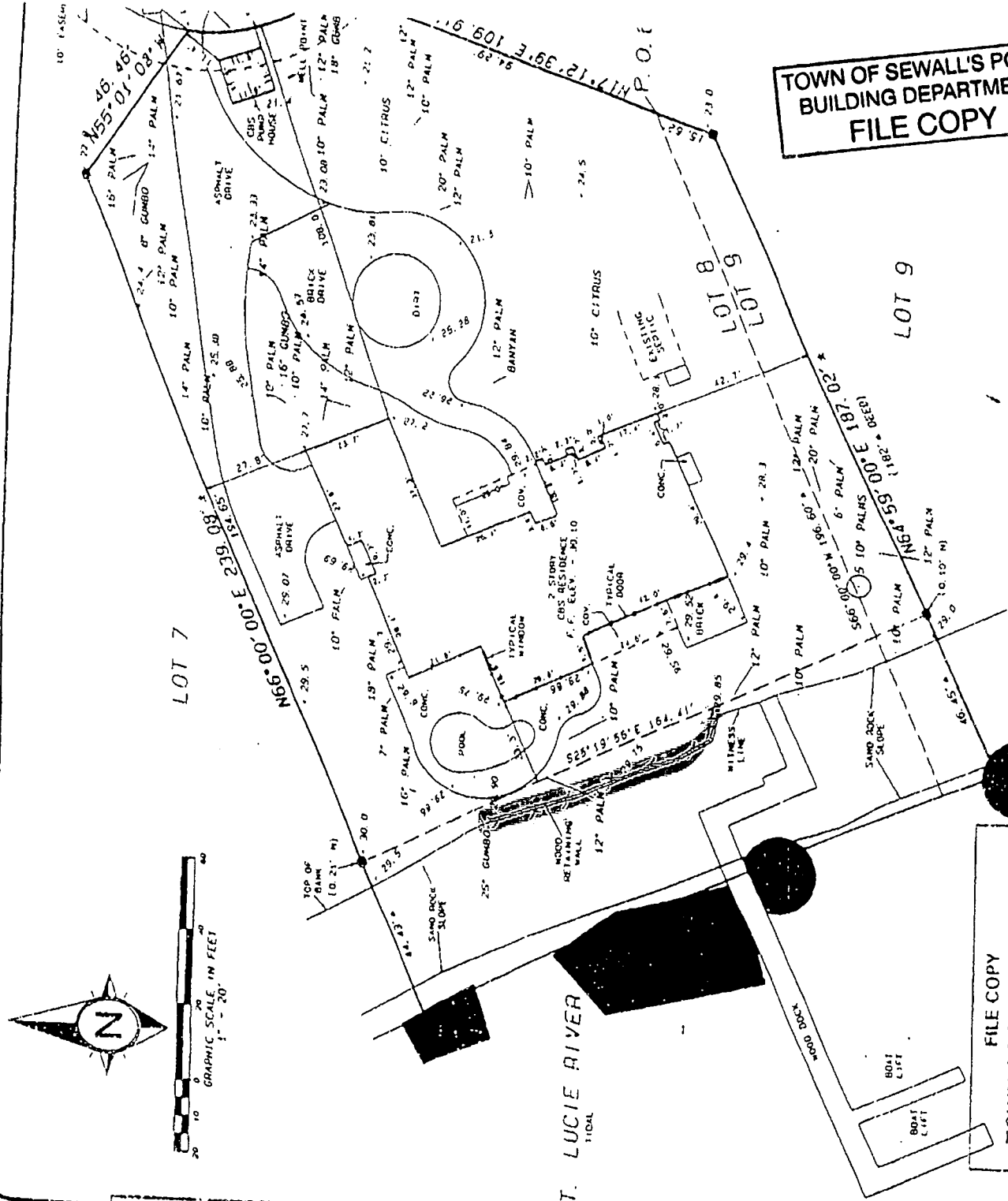
RE-DECK ONLY

MEAN HIGH WATER
ELEV. = 0.22

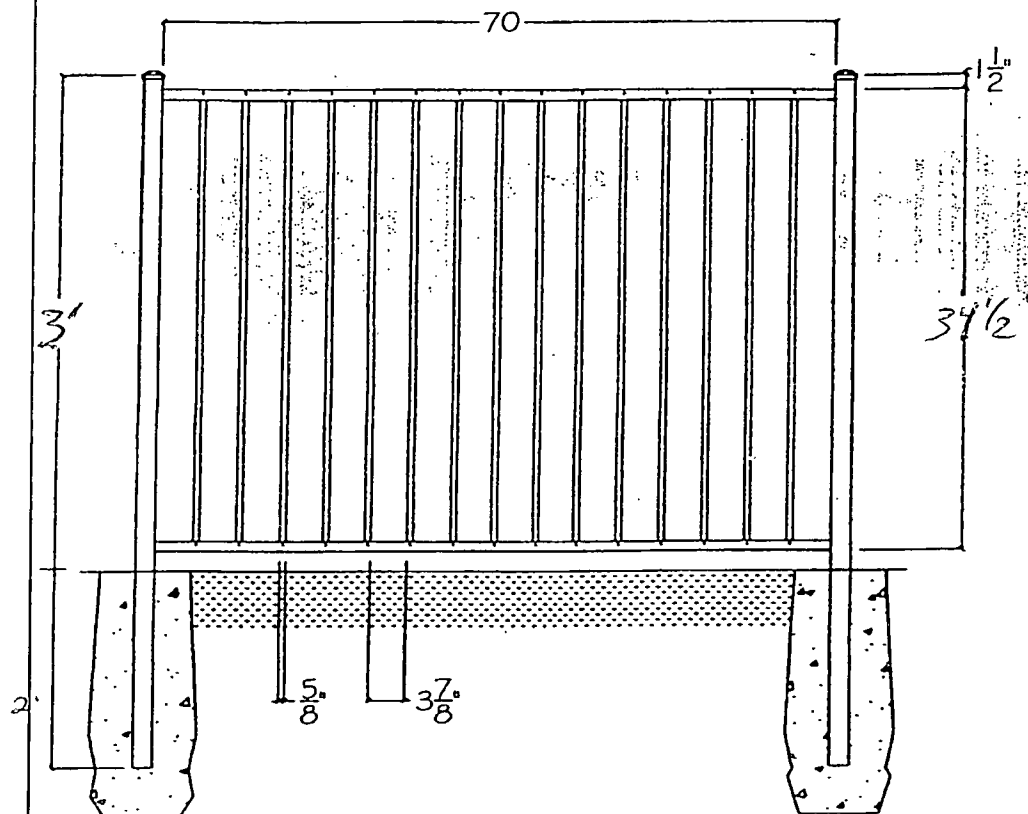
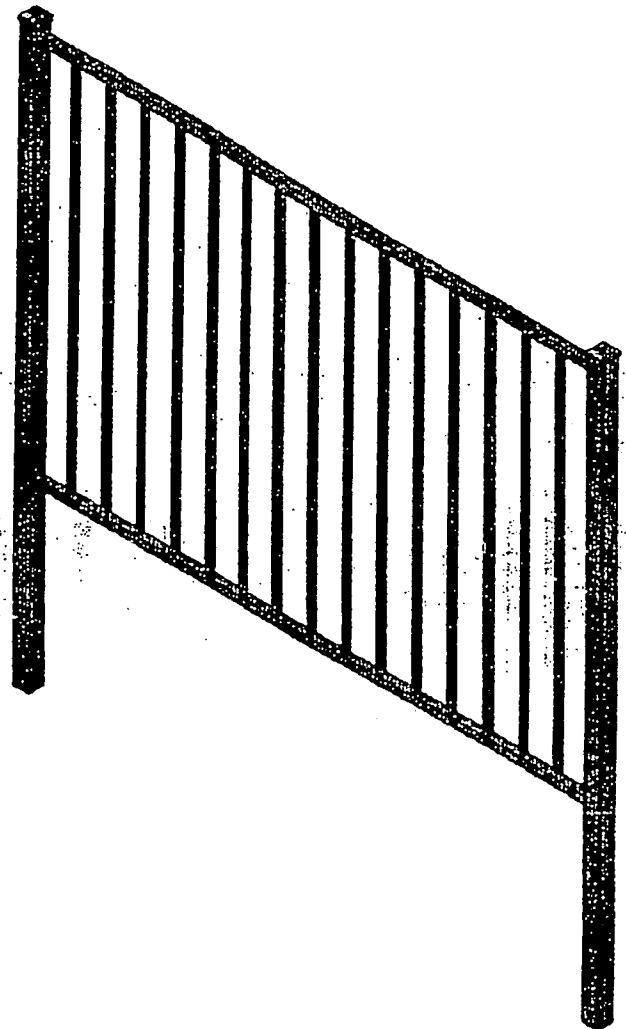
FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 12/14/02
BUILDING OFFICIAL
Gene Simmons

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 2/8/05
BUILDING OFFICIAL
Gene Simmons

**REPAIR WORK FOR
HURRICANE DAMAGE**



FENCE PARTS		
ITEM	QTY	DESCRIPTION
1	15	5/8" PRESS POINT PICKET W/ .050" THICKNESS
2	3	1" X 1" HORIZONTAL RAIL W/ .062" X .072" THICKNESS
3	2	2" POST CAP
4	2	2" SQ. POST W/ .062" THICKNESS
5	45	SCREWS
6		
7		
8		



IDEAL
Aluminum Products

2000 BRUNSWICK LANE
 DELAND, FL 32724
 PHONE: 386-736-1700
 FAX: 386-822-4950

DRAWING: #400 RESIDENTIAL

DWG. NO: 300-72-48

REV

SCALE: NTS

12/4/2007 8:44:02 AM

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TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **3/19 - 14** Page of

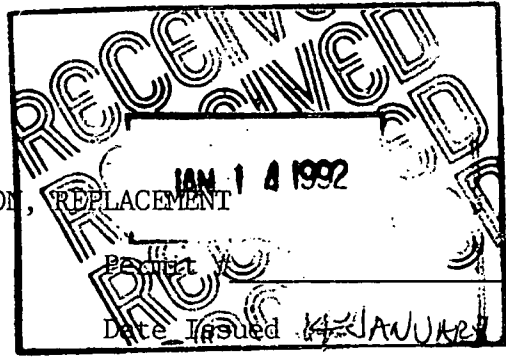
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10782	KING 30 RIO VISTA DR LIPPARD CONST	FRAMING	PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10794	BIERD 4 CASTLE HILL SOLAR ENERGY Sys	FINAL SOLAR	PASS	CLOSE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10796	DEJONN 10 HERITAGE STUART FENCE	FINAL FENCE	PASS	CLOSE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10787	FELCHER 10 MANDRAY STUART FENCE	FINAL FENCE	PASS	CLOSE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	CAANTOS 83 S. SEAWAYS Pt RD MODERN MOVERS	PRE-POUR DRIVEWAY	PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10706	KIPLINGER 143 S. RIVER RD HARBOR BAY MARINE	DOCK FINAL	PASS	CLOSE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10730	OPT 26 N.S. POND	<i>[Signature]</i>		INSPECTOR

TREE
PERMITS

542

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT



This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner MURIEL W. WALTS Address 67 MANDALAY RD. Phone 283-0240

Contractor ROBERT BRADY Address _____ Phone _____

Number of trees to be removed(list kinds of trees) ONE TREE, CABBAGE PALM

REASON - TREE CAUSING RETAINING WALL TO SEPARATE.

Number of trees to be relocated within 30 days(no fee)(list kinds of trees):

Number of trees to be replaced _____ (list kinds of trees):

Permit Fee \$ _____ (\$25.00 - first tree plus \$10.00 - each additional tree - not to exceed \$100.00.

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Muriel W. Walts Date submitted 1/14/93

Approved by Building Inspector Rale Brown Date 1/14/93

Approved by Building Commissioner [Signature] Date 1/14/93

Completed 1/14/93 Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?