

5 Melody Lane

393

SFR

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 393Date 4/25/73

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner Richard F. Sparling & Charlotte B Sparling Present Address P.O. Box 924 Hobbs Land Ph 546 4010

General Contractor OWNER/BUILDER Address P.O. Box 924 Hobbs Land Ph 546 4010

Where licensed _____ License-No. _____

Plumbing Contractor JOBCO PLUMBING License No. 7460798

Electrical Contractor MILLWOOD ELECTRIC License No. 7463194

Street building will front on 10 FT Rd, accorded Plat Book 3, page 135, Martin City

Subdivision Melody Hill Lot No. #3 (parcel #1) Area (95' + 5') = 100 x 170'

Building area, inside walls (excluding garage, carport, porches) Sq ft 1993

Other Construction (Pools, additions, etc.) _____

Contract Price (excluding land, rugs, appliances, landscaping) \$ 41,350 (\$2,000)

Total cost of permit \$ 225.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Signed by Owner _____

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted April 13, 1973

Date approved 4/25/73

Certificate of Occupancy issued _____ Date _____

393

2146

PARTIAL REROOF

Permit No. _____

PARTIAL REROOF

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

2146

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot-plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Richard Sparling Present Address 5 Melody Hill Street, Ala 34996

Phone 283-1975

Contractor D Address _____

Phone _____

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Putting roofing shingles over present roof.

5 Melody Hill Street 34996
State the street address at which the proposed structure will be built:

Subdivision _____ Lot number _____ Block number _____

Contract price \$ 1000 Cost of permit \$ 5.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor _____

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Charlotte B. Sparling

TOWN RECORD Approved: Dale Brown Building Inspector Date _____

Date submitted 6-19-87

Approved: _____ Commissioner Date _____ Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) 0 Date _____

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

2741

DRIVEWAY

Permit No. 2741

DRIVEWAY

Date 3/14/90

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Richard & Charlotte Sparling Present Address 5 Melody Hill, Sewalls PT

Phone 407-203-1975

Contractor SELF Address d.t.o.

Phone SAME

Where licensed N.R License number _____

Electrical contractor N.R License number _____

Plumbing contractor N.R License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: DRIVEWAY

5 Melody Hill, Sewalls PT, FL 34996
State the street address at which the proposed structure will be built:

Subdivision PARCEL 1 Lot number 3 Block number _____

Contract price \$ 6900.00 Cost of permit \$?

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Richard I Sparling

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Richard I Sparling

TOWN RECORD

Date submitted 3/14/90 Approved: Dale B... 3/14/90
Building Inspector Date

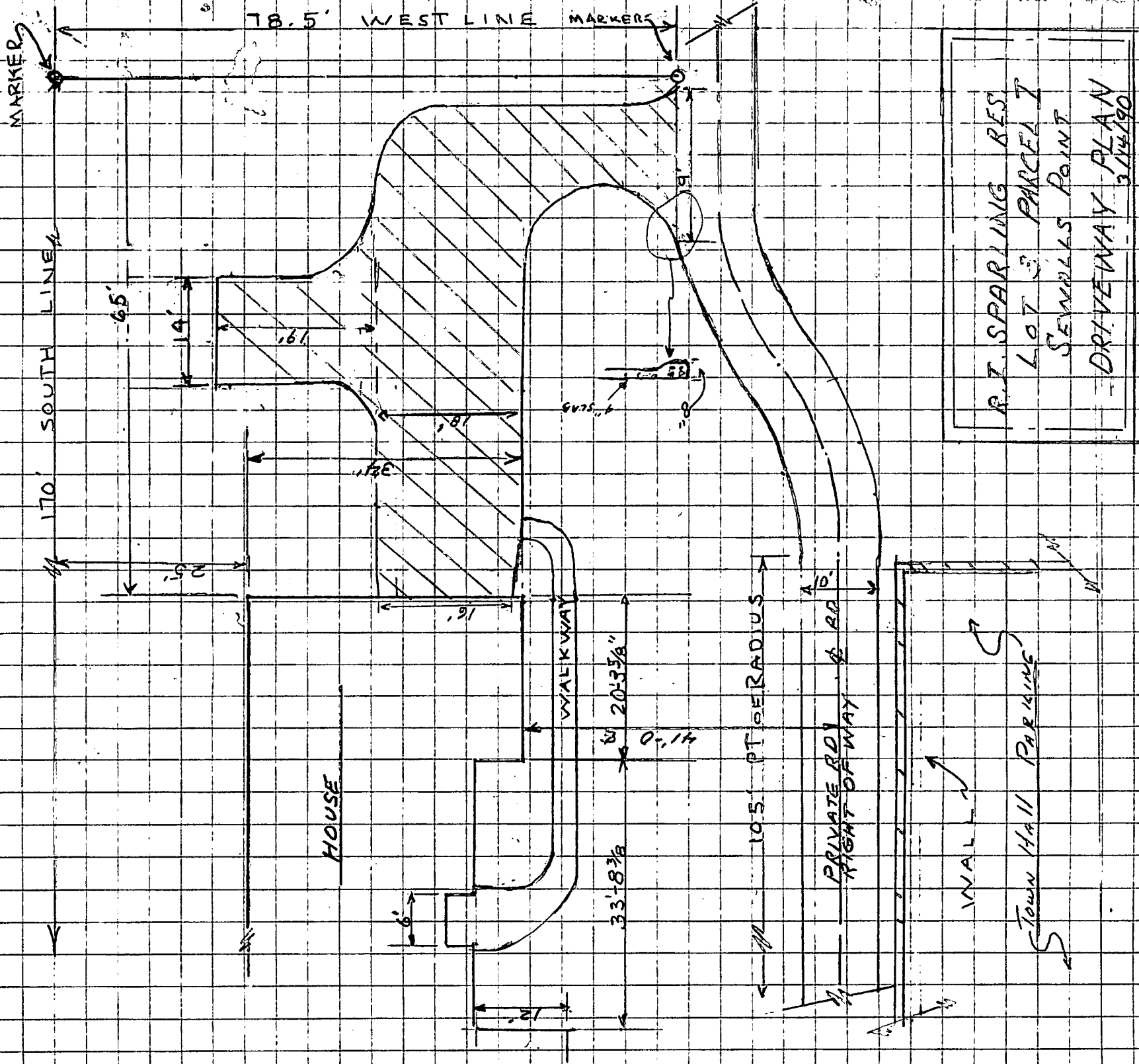
Approved: _____ Date Final Approval given: _____ Date
Commissioner

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

Permit No. 2741

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



R.T. SPARLING RES.
 LOT 3 PARCEL 1
 SEWELLS POINT
 DRIVEWAY PLAN
 3/14/90

This Document Prepared By and Return to:
Frederick G. Sundheim, Esq.
Oughterson, Sundheim & Woods, P.A.
310 SW Ocean Blvd.
Stuart, FL 34994
(561) 287-0660

COPY

Parcel ID Number: 1-38-41-008-000-00030-80000
Grantee #1 TIN:
Grantee #2 TIN:

Warranty Deed

This Indenture, Made this 20th day of June, 2001 A.D., **Between**
Richard I. Sparling, a single man

of the County of **Martin**, State of **Florida**, **grantor**, and
Brian McMahon and Lora McMahon, his wife

whose address is: _____

of the County of **Martin**, State of **Florida**, **grantees**.

Witnesseth that the GRANTOR, for and in consideration of the sum of
-----**TEN DOLLARS (\$10)**----- **DOLLARS**,
and other good and valuable consideration to GRANTOR in hand paid by GRANTEEES, the receipt whereof is hereby acknowledged, has
granted, bargained and sold to the said GRANTEEES and GRANTEEES' heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of **Martin** State of **Florida** to wit:
See Exhibit "A" attached hereto and made a part hereof.

**Subject to restrictions, reservations and easements of record, if
any, and taxes subsequent to December 31, 2000.**

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in our presence.

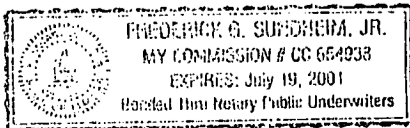
Frederick G. Sundheim, Jr.
Printed Name: FREDERICK G. SUNDHEIM, JR.
Witness

x *Patrick C. Sparling* his attorney in fact (Seal)
Richard I. Sparling, By Patrick C. Sparling, his attorney-in-fact
P.O. Address: , Stuart, FL 34994

Donielle Goddard
Printed Name: DONIELLE GODDARD
Witness

STATE OF **Florida**
COUNTY OF **Martin**

The foregoing instrument was acknowledged before me this 20 day of June, 2001 by
Patrick C. Sparling, as attorney-in-fact for Richard I. Sparling,
a single man
he is personally known to me or he has produced his **Florida driver's license** as identification.



Frederick G. Sundheim, Jr.
Printed Name: _____
Notary Public
My Commission Expires: _____

EXHIBIT "A"

The East 170 feet of Lot 3, MELODY HILL, as recorded in Plat Book 3, page 135, Martin County, Florida, public records lying South of a 10 foot road, said road being more particularly described as follows:

A strip of land 10 feet in width in Lots 2 and 3, MELODY HILL, as recorded in Plat Book 3, page 135, Martin County, Florida, lying 5 feet each side of the following described line:

Begin at the northeast (n.e.) corner of Lot 3, bear south $62^{\circ}47'32''$ West along the north line of said Lot 3 a distance of 105 feet to the point of curvature of a curve to the left having a central angle of $30^{\circ}46'$ and a radius of 58.65 feet; thence, westerly along the arc of said curve a distance of 31.49 feet to the point of reverse curve having a central angle of $30^{\circ}46'$ and a radius of 58.65 feet; thence westerly along said curve a distance of 31.49 feet to the end of said curve; thence south $62^{\circ}47'32''$ West a distance of 58.50 feet to the point of a curvature of a curve to the right having a central angle of 90° and a radius of 16.50 feet; thence northwesterly along the arc of said curve a distance of 25.92 feet to the north line of said Lot 3 and the end of the described line.

TOGETHER WITH an easement and right-of-way for ingress and egress, in common with others, over, across, and upon the above-described strip of land 10 feet in width.

SUBJECT TO Easement Agreement recorded in Official Records Book 96, page 143, and easement recorded in Official Records Book 157, page 281, Martin County, Florida, public records; easements, zoning resolutions and building restrictions of public record; and ad valorem real estate taxes subsequent to December 31, 1971.

ADMIN VARIANCE

3/22/73

MR. W. H. Cobb

7 MINDORA ST

SEWALLS PT,

JENSON BEACH, FLA 33457

SUBJECT: LOT & AREA FOR

NEW 4 BED ROOM HOME
OWNER CHARLOTTE &
RICHARD SPARKING
% SEW HARDWARE
P.O. Box 924 Hobc Sound

TEL 546 4010

DEAR SIR

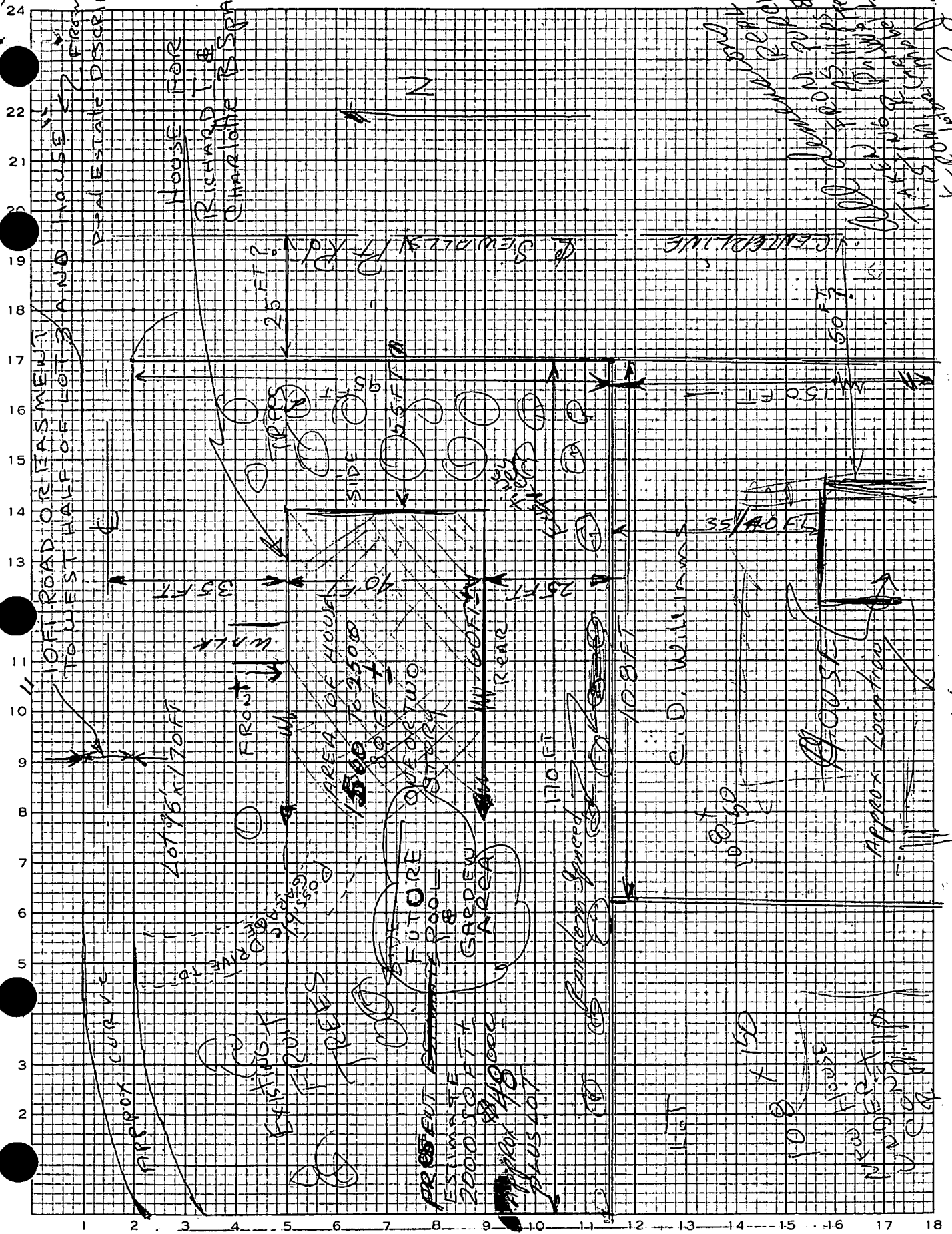
ENCLOSED PLEASE FIND SKETCH SHOWING REQUESTED
AREA WITHIN WHICH I DESIRE TO ERECT MY HOME AS
SOON AS POSSIBLE.

The "ROAD (10 FT WIDE) OR EASEMENT" AS SHOWN ON
REALTOR'S NOTATION IS NOT EXACTLY STRAIGHT, BUT A
SERIES OF CURVES ACCORDING TO THE DEED. I AM
(BECAUSE OF SCALE)
UNABLE TO SEE THE FINE PRINT ON THE REALTOR'S MAP
AND THE 25 FT TO ϕ OF SEWALLS PT. ROAD IS MY OWN

AS WELL AS THE 50 FT FROM C. D. WILLIAMS HOME; THERE-
FOR THE QUESTION MARK APPEARS, NOTICE MY ESTIMATE
AS ONLY APPROX.

AS MY WIFE & I BOTH HOPE TO BE SHADED AS MUCH
AS POSSIBLE, & HAVE FRUIT TREES, GARDEN & POOL TO O
THE WEST, AT A LATER DATE, IN THE SUNSHINE WE
ASK CONSIDERATION OF OUR BUILDING WITHIN THE
40 FT ~~BY~~ 60 FT AREA \pm AS SHOWN. MY OFF THE CUFF
ESTIMATE IS \$48,000 NOT INCLUDING OUR LAND AND 4 BED ROOM
ARE NEEDED. MY WIFE & TWO BOYS ARE JOINING ME AS FLA
RESIDENTS AS SOON AS SCHOOL IS OUT IN JUNE AND I WISH TO SUBMIT
FORMAL PLANS ETC AS SOON AS A DECISION ON THE AREA SIZE, ETC,
IS REACHED
VERY TRULY YOURS. *Richard Sparking*

TOP



Bottom

RECEIVED
JUN 14 2001
BY:

TOWN OF SEWALL'S POINT, FLORIDA
APPLICATION FOR BUILDING PERMIT

Permit No. 393
Date 4/25/73

COPY

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner Richard F. Sparling & Charlotte B Sparling
Present Address P.O. Box 924 Hope Land Ph 546 4010
General Contractor OWNER/BUILDER Address P.O. Box 924 Hope Land Ph 546 4010
Where licensed _____ License No. _____

Plumbing Contractor LoBCo Plumbing License No. 7460798
Electrical Contractor MILLWOOD ELECTRIC License No. 7463194

Street building will front on 10th Rd, recorded Plat Book 3, page 135, Martin (44)
Subdivision Melody Hill Lot No. #3 (parcel #1) Area (95' x 5') = 100 x 170

Building area, inside walls (excluding garage, carport, porches) Sq ft 1993
Other Construction (Pools, additions, etc.) _____

Contract Price (excluding land, rugs, appliances, landscaping) \$ 41,350 (C)
Total cost of permit \$ 225.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.
Signed by General Contractor Richard F. Sparling
Charlotte B Sparling

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Signed by Owner _____

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted April 13, 1973

Date approved 4/25/73

Certificate of Occupancy issued _____

RECEIVED

3/22/73

JUN 14 2001

MR. W.H. Cobb

BY: *[Signature]*

Subject: Lot & Area A

7 Mindora St

Sewalls Pt,

Jensen Beach, Fla 33457

NEW 4 Bedroom home
OWNER Complete &
Richard Sparling
% SEW HARDWARE
P.O. Box 924 Hobe Sound

TEL 546 4010

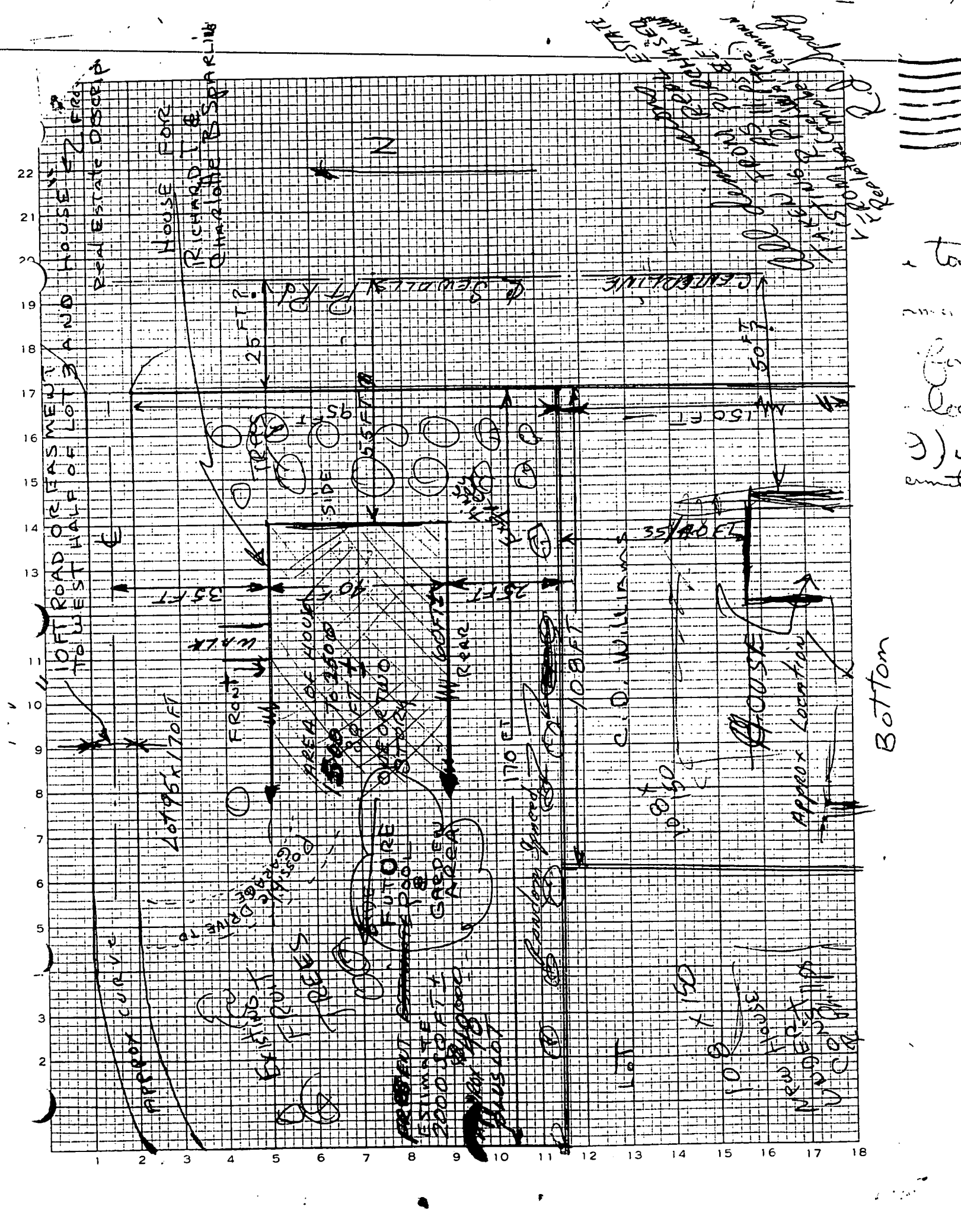
Dear Sir

COPY

Enclosed please find sketch showing REQUESTED
AREA within which I desire to erect my home as
soon as possible.

The "road" (10 FT WIDE) or "EASEMENT" AS SHOWN ON
REALTOR'S NOTATION... IS NOT EXACTLY STRAIGHT, BUT A
SERIES OF CURVES ACCORDING TO THE DEED. I AM
UNABLE TO SEE THE FINE PRINTION ^(BECAUSE OF SCALE) THE REALTOR'S MAP
AND THE 25 FT TO ~~E~~ OF SEWALLS PT. ROAD IS MY OWN
AS WELL AS THE 50 FT FROM C.D. WILLIAMS HOME; THE
FOR THE QUESTION MARK APPEARS, NOTING MY ESTIMATE
AS ONLY APPROX.

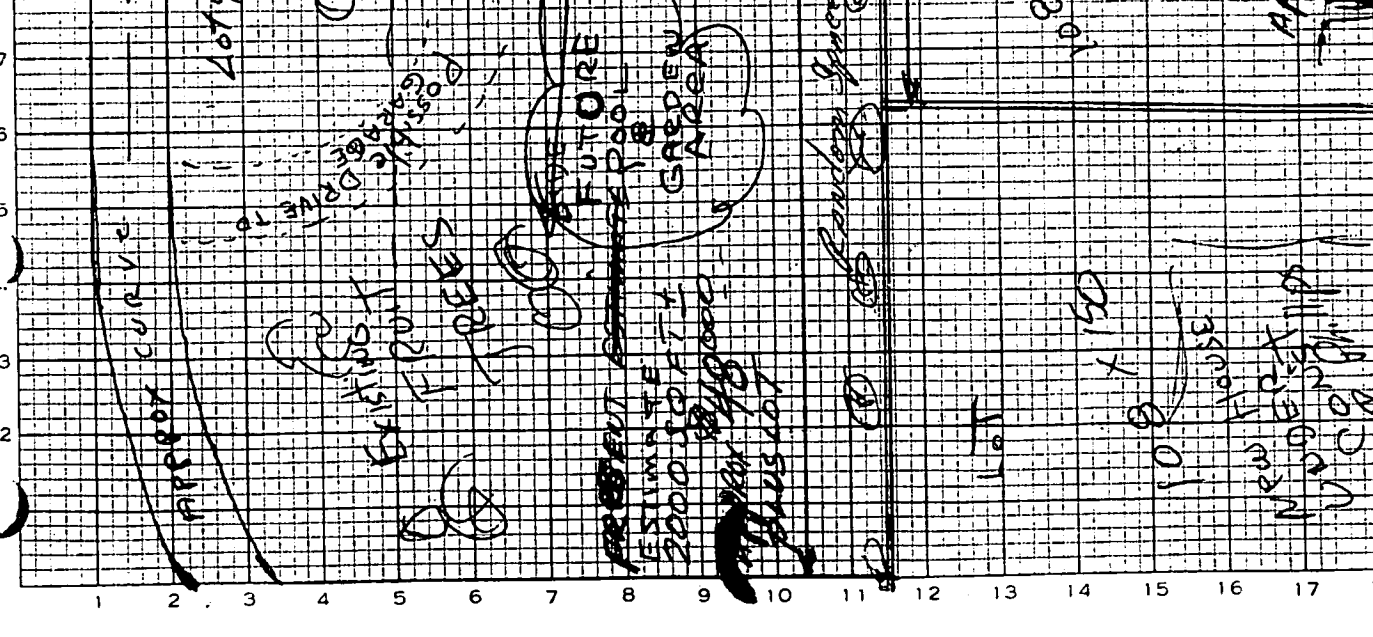
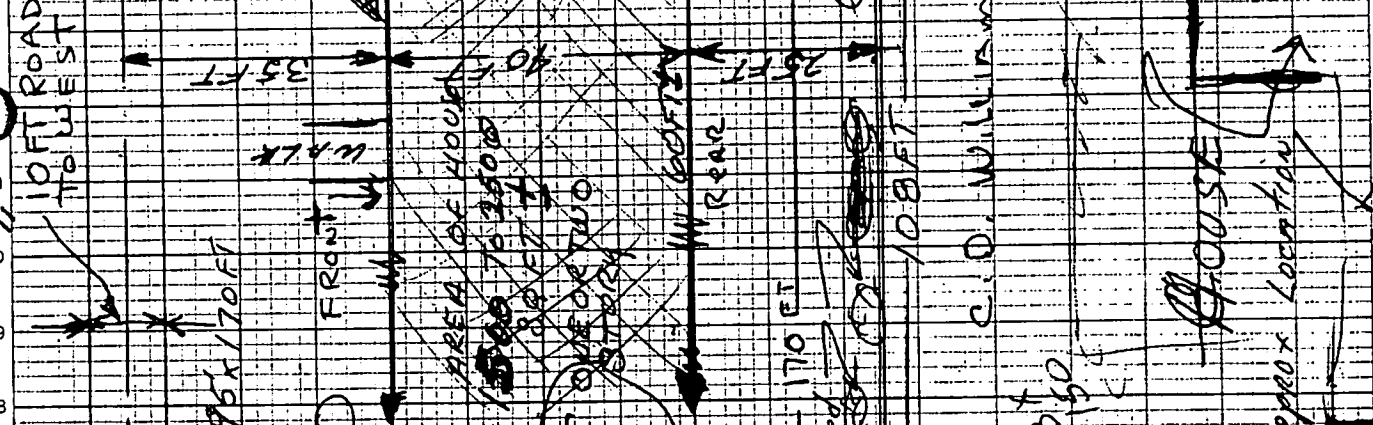
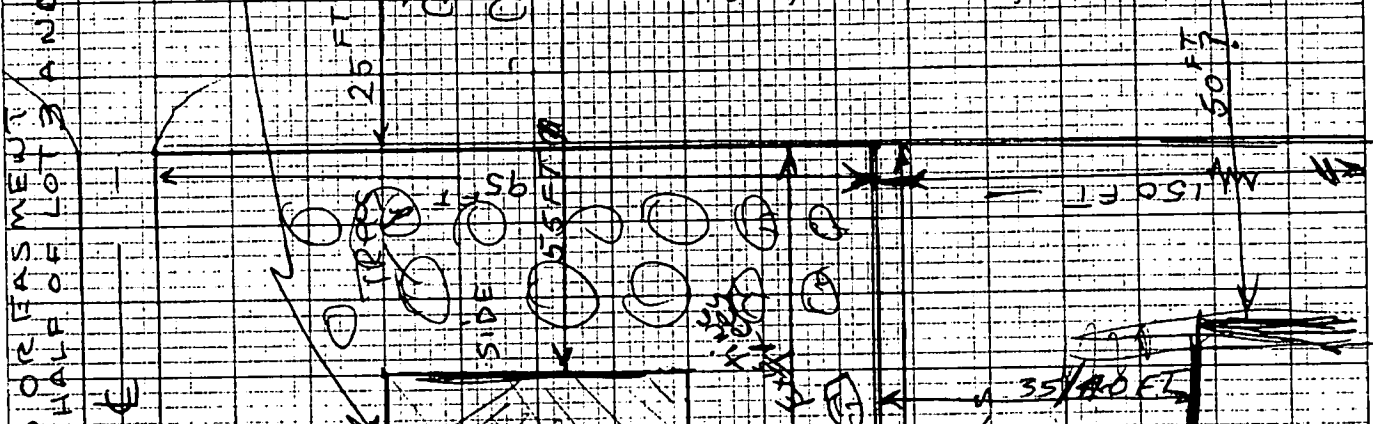
As my wife & I both hope to be shaded as much
as possible, & have fruit trees, garden & pool to
the west, AT A LATER DATE, IN THE SUNSHINE WE
ASK CONSIDERATION OF OUR BUILDING WITHIN THE
40 FT ~~by~~ 60 FT AREA \pm AS SHOWN. My OFF THE CURF
ESTIMATE IS \$48,000 NOT INCLUDING OUR LAND AND 4 BED;
ARE NEEDED. My wife & TWO BOYS ARE JOINING ME AS FLA
RESIDENTS AS SOON AS SCHOOL IS OUT IN JUNE AND I WISH TO SUBMIT
FORMAL PLANS ETC AS SOON AS A DECISION ON THE AREA SIZE, ETC,
IS REACHED
VERY TRULY YOURS, *Richard Sparling*



10 FT ROAD OR PAVEMENT TO WEST HALF OF LOT 3 AND HOUSE 2 FEET REAL ESTATE DESCRIP

HOUSE FOR RICHARD T & CHARLOTTE B SPARKLIN

N



ESTATE ...
ESTATE ...
ESTATE ...
ESTATE ...
ESTATE ...

1150 FT
50 FT
35 FT

C.D. WILLIAMS
108 FT
108 FT

108 FT
108 FT
108 FT
108 FT

Bottom

WRIGHT, PONSOLDT & LOZEAU
TRIAL ATTORNEYS, L.L.P.

1000 S.E. Monterey Commons Boulevard
Suite 208
Stuart, Florida 34996
(561)286-5566 Telephone
(561)286-9102 Facsimile

Tim B. Wright
William R. Ponsoldt, Jr.
Louis E. Lozeau, Jr.

August 29, 2001

Mrs. Joan H. Barrow
Town Clerk
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, Florida 34996

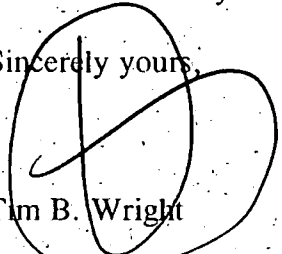
Re: Town of Sewall's Point; Administrative Variance of Brian and Lora McMahon

Dear Joan:

I remembered after the regular meeting last week that I had spoken with Mr. McMahon about providing me with documentation showing who the owner was of the common driveway property for the McMahons and their two neighbors. Until I receive that information, I cannot make a determination as to whether or not they may have a front setback problem, thereby precluding their administrative variance. I left a telephone message with Mr. McMahon on August 28, 2001, following-up to get that information.

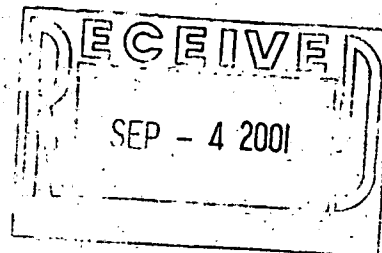
Please call me if you have any questions.

Sincerely yours,


Tim B. Wright

TBW/mcf

cc: Vice Mayor Thomas P. Bausch
Mr. Edwin B. Arnold
Mr. and Mrs. McMahon



WRIGHT, PONSOLDT & LOZEAU
TRIAL ATTORNEYS, L.L.P.

1000 S.E. Monterey Commons Boulevard
Suite 208
Stuart, Florida 34996
Telephone: (772) 286-5566
Facsimile: (772) 286-9102
E-Mail: timwright@wpltrialattorneys.com

Tim B. Wright
William R. Ponsoldt, Jr.
Louis E. Lozeau, Jr.

March 25, 2002

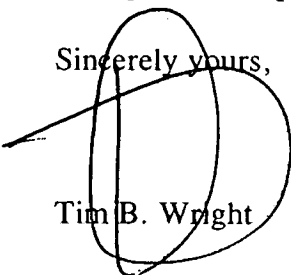
Commissioner James D. Bercaw
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, Florida 34996

Re: Administrative Variance of Brian and Lora McMahon: 3 South Sewall's Point Road

Dear Commissioner Bercaw:

I have reviewed the administrative variance from Mr. and Mrs. McMahon dated June 28, 2001, and find that it complies with the Town Code, provided that Mr. and Mrs. McMahon have paid the required filing fees and cost deposit. Should you have any questions, please call.

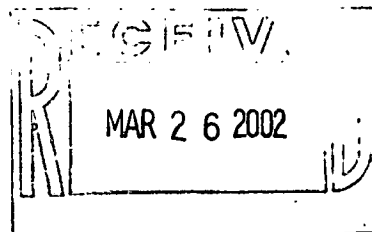
Sincerely yours,


Tim B. Wright

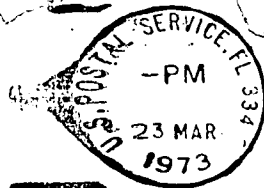
TBW/mcf

cc: Mrs. Joan H. Barrow (w/original survey)
Mr. Gene Simmons ✓

*4-2-02
Tim has
original*



R.I. SPARLING
S & W HARDWARE, INC.
P. O. BOX 924
HOBE SOUND, FLA. 33455



~~MR W. A. Cobb
7 MINDORA ST
SEWALLS PT
JENSEN BEACH
FLORIDA, 33457~~

Mr Dureya
Pls call me tonight
with your recommendations
as to a permit for
a residence - so located
Can we (you and I) issue
a permit NYC
3/26

E. Percentage of Lot Coverage.

All buildings including accessory buildings shall not cover more than thirty (30) percent of the area of the lot. However, in no case shall the percentage of the lot taken up by the submerged land and structures exceed 50% of the lot size.

F. Yards Required:

Each lot shall have front, side and rear yards not less than the depth or width following:

1. Front yard depth - thirty five (35) feet

2. Each side yard width - fifteen (15) feet

3. Each rear yard depth - twenty five (25) feet, provided, however,

that in the case of a corner lot the front yard may be on either of the street boundaries and the side and rear yards shall be figured in relation to the street boundary on which the front yard is established. However, on corner lots there shall be no building or structure less than fifty (50) feet from the center of either street right of way.

G. The minimum enclosed living floor space shall be 1500 square feet; open porches, terraces, patios, courts, breeze ways, carports or garages not included.

H. Wells and Septic Tanks.

A. No Well, septic tank or drainfield shall be constructed or installed until a permit for such construction or installation has been obtained from the Town and in addition, a permit for septic tank and drainfield must be obtained from the County Health Officer.

B. A permit shall not be issued for an installation of septic tank and drainfield in an area determined to have unsuitable soil characteristics, a high water table during the wet season or wettest period of the year, inadequate drainage, or other influencing factors adversely

COPY

6/21/01
OKD. GS
5/13/70

(BP 393
ISSUED 4/25/73)

6-65

Prepared by and return to:
Town of Sewall's Point
One South Sewall's Point Road
Stuart Florida 34996

**TOWN OF SEWALL'S POINT ADMINISTRATIVE
VARIANCE APPROVAL**

1. Owner of Property: Brian & Lora McMahon

2. Legal Description of Property:

Melody Hill East 170 ft. of lot 3
South of 10 ft Rd

3. Date of Administrative Variance Application: 7-2-01

Whereas, the Town of Sewall's Point Building Commissioner (the "Building Commissioner") has authority under the Town of Sewall's Point Code of Ordinances to grant administrative variances upon making certain findings of fact; and

Whereas, the Building Commissioner has reviewed an Administrative Variance Application (the "Application") for the Property described above and determined that the Application is complete; and

Whereas, the Building Commissioner has made the appropriate findings of fact and finds that:

(1) The setback violation(s) for the encroachments shown on the survey attached as Exhibit "A" (the "Survey") was/were a good faith error(s) and was/were not intentional; and

(2) The encroachment(s) is/are less than or equal to five percent (5%) of the

**TOWN OF SEWALL'S POINT ADMINISTRATIVE
VARIANCE APPLICATION FORM**

1. Owner of Property: Brian & Lora McMahon
2. Address of Property: 5 Melody Hill
3. Address of Applicant: 5 Melody Hill
4. Phone No. of Applicant: 370-0572

5. Length and Location (front, rear, side) of Encroachment (if more than one, please list separately):

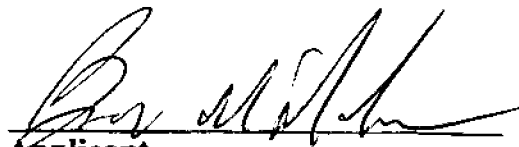
Rear of property, 24.67' to 24.67' rear set back;
should be 25'; Labeled as "Exhibit A"

6. Have you included the following materials with your application? yes

- | | |
|---|---|
| <input checked="" type="checkbox"/> A. \$250.00 Filing Fee | <input checked="" type="checkbox"/> B. \$250.00 Costs Deposit |
| <input checked="" type="checkbox"/> C. Certificate of Ownership | <input checked="" type="checkbox"/> D. Certificate of Adjacent Owners |
| <input checked="" type="checkbox"/> E. Survey | <input checked="" type="checkbox"/> F. Letters of No Objection or Proof of Mailing Notice |

7. Does/do the encroachment(s) result from development under a permit for which a certificate of occupancy was issued prior to March 11, 1992? yes

I hereby certify that all of the information above and the application materials I have provided are true and correct:


Applicant

Dated this 28 day of June, 2001, 1991.

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"), whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

Dated this 8th day of April 2002, ____.

The Town of Sewall's Point, a
Florida municipal corporation

By: James J. Bercau
Its: Building Commissioner

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 8th day of April, 2002
by James D. Bercau, as Building Commissioner of the Town of Sewall's
Point, a Florida municipal corporation, who is personally known to me or who has produced
_____ as identification and who did not take an oath.

(NOTARY SEAL)

Joan H. Barrow
Name: _____
I am a Notary Public of the
State of Florida and my
commission expires: _____



FORM LETTER OF NO OBJECTION

The Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

RE: **Application for Administrative Variance Pursuant to Appendix B - Zoning, Section VIII.F, Town of Sewall's Point Code of Ordinances** Filed by Brian & Lara Nicholson

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by Brian & Lara Nicholson with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,

Paul C. Hubbel
6/28/01

FORM LETTER OF NO OBJECTION

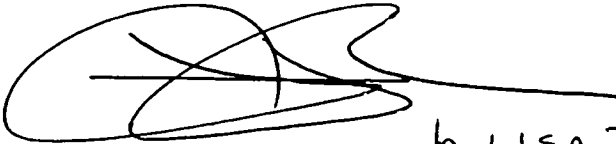
The Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by Brian & Cora McMahon

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by Brian & Cora McMahon with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,



LISA BATTIS
2 Copaire Rd
Stuart, FL 34994

FORM LETTER OF NO OBJECTION

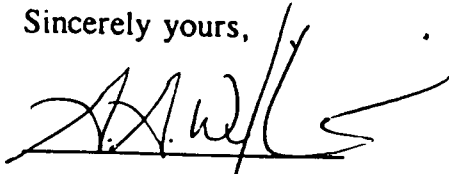
The Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by Brian & Lora McMahon

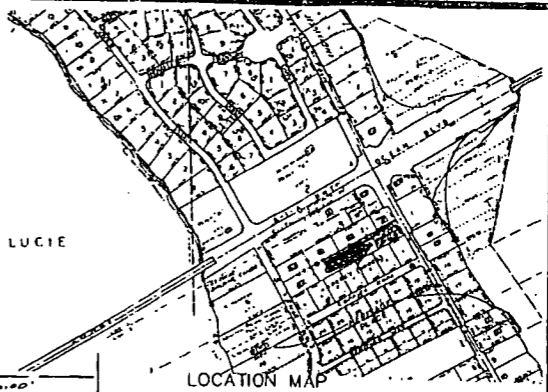
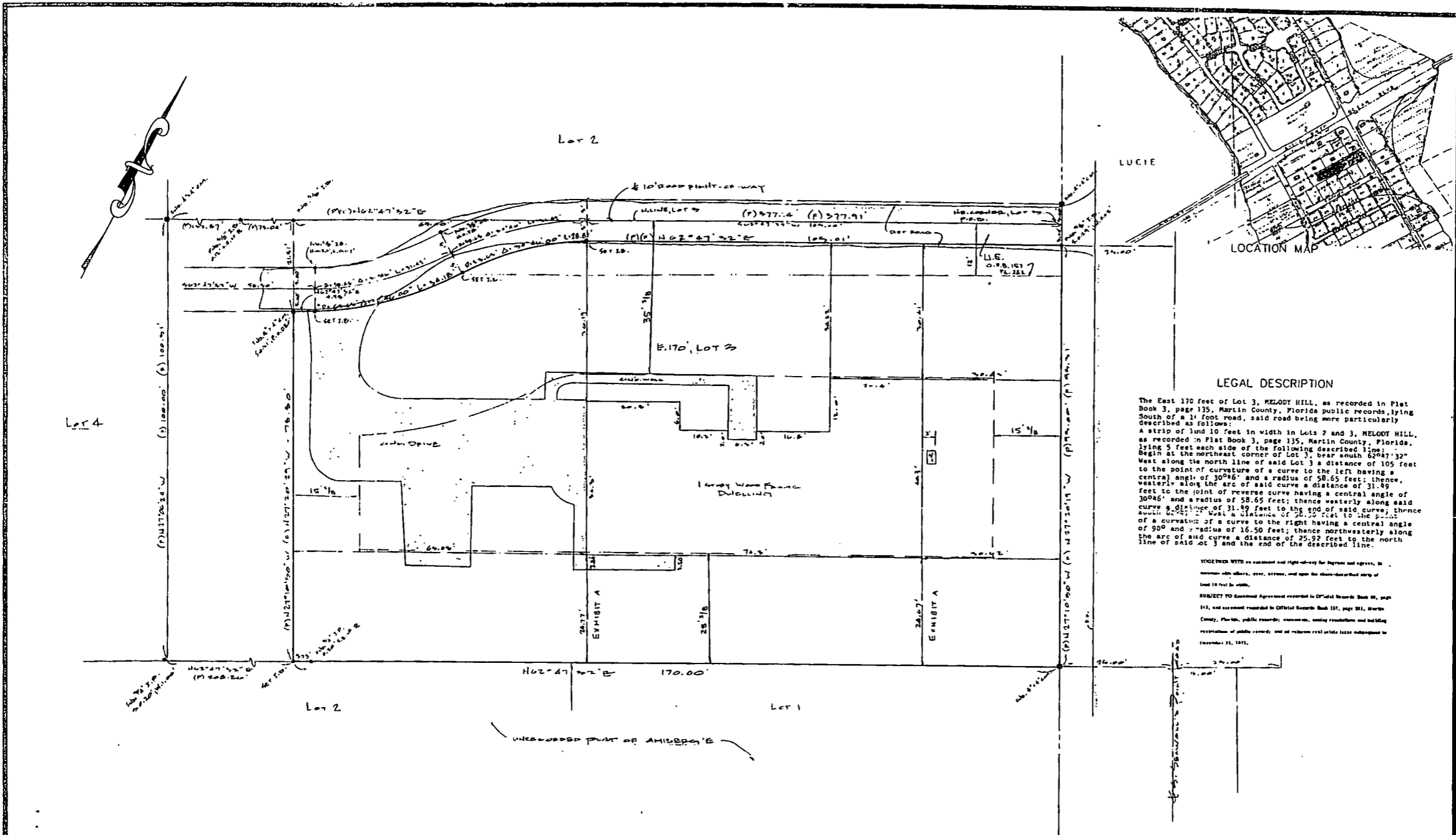
Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by Brian & Lora McMahon with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,



4 Copaire Rd.



LEGAL DESCRIPTION

The East 170 feet of Lot 3, MELODY HILL, as recorded in Plat Book 3, page 135, Martin County, Florida public records, lying South of a 14 foot road, said road being more particularly described as follows: A strip of land 10 feet in width in Lots 2 and 3, MELODY HILL, as recorded in Plat Book 3, page 135, Martin County, Florida, lying 5 feet each side of the following described line: Begin at the northeast corner of Lot 3, bear south 82°47'32" West along the north line of said Lot 3 a distance of 105 feet to the point of curvature of a curve to the left having a central angle of 30°46' and a radius of 58.65 feet; thence westerly along the arc of said curve a distance of 31.49 feet to the joint of reverse curve having a central angle of 30°46' and a radius of 58.65 feet; thence westerly along said curve a distance of 31.49 feet to the end of said curve; thence south 82°47'32" West a distance of 76.75 feet to the point of curvature of a curve to the right having a central angle of 90° and a radius of 16.50 feet; thence northwesterly along the arc of said curve a distance of 25.92 feet to the north line of said Lot 3 and the end of the described line.

INSPECTION WITH an easement and right-of-way for ingress and egress, in accordance with utility, sewer, streets, and upon the above-described strip of land 10 feet in width.

SUBJECT TO Easement Agreement recorded in Official Records Book 88, page 142, and easement recorded in Official Records Book 131, page 181, Martin County, Florida, public records; easements, zoning regulations and building restrictions of public records; and of whatever real estate taxes subsequent to December 31, 1972.

Table with columns for 'REVISIONS' and 'DATE'. It contains several rows for recording changes to the plat.

STEPHEN J. BROWN, INC.
LICENSED BUSINESS NUMBER 6484
SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS
ONE EAST WIND STREET, STUART, FLORIDA 34994
(904) 299-7176

BOUNDARY SURVEY
PREPARED FOR: McMAHON

- 1. PROPERTY ADDRESS: 5 MELODY HILL
- 2. CERTIFIED TO: BRIAN D. McMAHON
LORA K. McMAHON
SOUTH FLORIDA TITLE SERVICES, INC.
OLD REPUBLIC TITLE

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

STEPHEN J. BROWN, INC.

- NOTES:
- 1. Survey of description as furnished by Client.
- 2. Lots shown hereon were not abstracted for easements and/or rights-of-way of record.
- 3. All bearings are referenced to the north line of the subject property plotted as N 62° 47' 32" E and all others relative thereto.
- 4. Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.
- 5. There are no above ground encroachments, unless otherwise shown.

Date of field survey: 5/16/01

Table with columns for 'DATE', 'DRAWN', 'CHECKED', 'SCALE', and 'JOB NO.'. It includes the date 06/02/2001 and job number 3479-01-01.

Legend table listing symbols for various features: 100' = 1" scale, 1" = 10' scale, etc. Includes symbols for easements, encroachments, and other survey markers.

02/15/2001
08:36:05

PROPERTY APPRAISER
2000 ASSESSMENT TAX ROLL

Page 155
arrt

Owner	Acct/Geo/Old Acct/MPIN	Make/Model/Ser/Ttl/Lic	Exmpt Dist	Assessed
1 GRANT, LINDA S	17604	REAL ESTATE	HX HO C001	Mkt L: 53,500
2 55 E OSCEOLA ST	138410040040001080000		ICDS Agr L:	
3 STUART, FL 34994	0010142091		IFND Impr:	80,579
4	SP-03		S001 Rfd:	
5	Subd: AMBERGE		T221 Pers:	
6	S/T/R:01/38/41		WSFM Min:	
7	Acreege:0.000		Tot:	134,079 0100
8	Int:1.000000	COPATRE DR	SP	Mkt Ag:

GEORGE W BAKER S/D, (AMBERGE) E 108' OF N 150' OF LOT 4 W OF S PT RD "LOT 1" OR 343/2017

Appraised	Assessed	Exemptions	Taxable	Taxes	Penalties
134,079	134,079	25,000	109,079	1,912.77	.00

20 WILLIAMS, GERALD G & ALICE L G	17605	REAL ESTATE	HO HX C001	Mkt L: 53,500
21 4 COPAIRE DRIVE	138410040040002060000		S1 ICDS Agr L:	
22 STUART, FL 34996-6701	0010142109		IFND Impr:	95,867
23	SP-03		S001 Rfd:	
24	Subd: AMBERGE		T221 Pers:	
25	S/T/R:01/38/41		WSFM Min:	
26	Acreege:0.000		Tot:	149,367 0100
27	Int:1.000000	COPAIRE RD	SP	Mkt Ag:

GEORGE W BAKER S/D (AMBERGE) W 108' OF E 216' OF N 150' OF LOT 4 W OF S PT RD "LOT 2" OR 362/2257

Appraised	Assessed	Exemptions	Taxable	Taxes	Penalties
149,367	149,367	25,000	124,367	2,180.87	.00

39 ZAVATKAY, WILLIAM F	17606	REAL ESTATE	H6 HX C001	Mkt L: 53,500
40 6 COPAIRE DR	138410040040003040000		ICDS Agr L:	
41 STUART, FL 34996-6701	0010142117		IFND Impr:	89,139
42	SP-03		S001 Rfd:	
43	Subd: AMBERGE		T221 Pers:	
44	S/T/R:01/38/41		WSFM Min:	
45	Acreege:0.000		Tot:	142,639 0100
46	Int:1.000000	COPAIRE RD	SP	Mkt Ag:

ZAVATKAY, BARBARA M

GEORGE W BAKER S/D (AMBERGE) W 108' OF E 324' OF N 150' OF LOT 4 W OF S PT RD "LOT 3" OR 361/757

02/15/2001
08:41:46

PROPERTY APPRAISER
2000 ASSESSMENT TAX ROLL

Page 197
arrt

Owner	Acct/Geo/Old Acct/MPIN	Make/Model/Ser/Ttl/Lic	Exmpt Dist	Assessed
LURIEA, BRUCE R & MICHELE	17732	REAL ESTATE	HO HX C001	Mkt L: 46,200
3 SOUTH SEWALLS POINT RD	13841008000002190000		ICDS Agr L:	
STUART, FL 34996	0010143494		IFND Inpr:	67,596
			S001 Mfd:	
	Subd: MELODY HILL		T221 Pers:	
	S/T/R:01/38/41		WSPM Min:	
	Acreage:0.000		Tot:	113,796 0100
	Int:1.000000 3	S SEWELLS POINT RD SP	Mkt Ag:	

MELODY HILL W 252.74' OF LOT 2 & THAT PART OF LOT 3 N OF 10' RD OR 344/2530

Appraised	Assessed	Exemptions	Taxable	Taxes	Penalties
113,796	107,405	25,000	82,405	1,445.02	.00

Owner	Acct/Geo/Old Acct/MPIN	Make/Model/Ser/Ttl/Lic	Exmpt Dist	Assessed
SPARLING, RICHARD I	17733	REAL ESTATE	HO HX C001	Mkt L: 44,100
C/O STERLING HOUSE	13841008000003080000		W3 ICDS Agr L:	
3401 SE ASTER LANE	0010143412		IFND Inpr:	85,506
STUART, FL 34994			S001 Mfd:	
	Subd: MELODY HILL		T221 Pers:	
	S/T/R:01/38/41		WSPM Min:	
	Acreage:0.000		Tot:	129,606 0100
	Int:1.000000 5	MELODY HILL SP	Mkt Ag:	

MELODY HILL, E 170' OF LOT 3 S OF 10' RD OR 344/2422

Appraised	Assessed	Exemptions	Taxable	Taxes	Penalties
129,606	118,476	25,500	92,976	1,630.40	.00

Owner	Acct/Geo/Old Acct/MPIN	Make/Model/Ser/Ttl/Lic	Exmpt Dist	Assessed
GULICK, DAVID	17734	REAL ESTATE	C001	Mkt L: 42,000
9 LANTANA LANE	13841008000003170000		ICDS Agr L:	
STUART, FL 34996	0010143420		IFND Inpr:	
	SP-03		S001 Mfd:	
	Subd: MELODY HILL		T221 Pers:	
	S/T/R:01/38/41		WSPM Min:	
	Acreage:0.000		Tot:	42,000 0000
	Int:1.000000 7	S SEWALLS POINT ROAD SP	Mkt Ag:	

MELODY HILL W 208.26' OF LOT 3 S OF 10' RD OR 343/1075

Appraised	Assessed	Exemptions	Taxable	Taxes	Penalties
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02/15/2001
08:36:05

PROPERTY APPRAISER
2000 ASSESSMENT TAX ROLL

Page 155
arrt

Owner	Acct/Geo/Old Acct/MPIN	Make/Model/Ser/Ttl/Lic	Exmpt Dist	Assessed
BATTS, L LISA	17604	REAL ESTATE	HX HO C001	Mkt L: 53,500
55 E OSCEOLA ST	138410040040001080000		ICDS Agr L:	
STUART, FL 34994	0010142091		IFND Impr:	80,579
	SP-03		S001 Hfd:	
	Subd: AMBERGE		T221 Pers:	
	S/T/R:01/38/41		WSFM Min:	
	Acreage:0.000		Tot:	134,079 0100
	Int:1.000000 2	COPAIRE DR SP	Mkt Ag:	

11
12 GEORGE W BAKER S/D, (AMBERGE) E 108' OF N 150' OF LOT 4 W OF S PT RD "LOT 1" OR 343/2017
13
14
15

Appraised	Assessed	Exemptions	Taxable	Taxes	Penalties
134,079	134,079	25,000	109,079	1,912.77	.00

16	17 WILLIAMS, GERALD G & ALICE G	17605	REAL ESTATE	HO HX C001	Mkt L: 53,500
18	4 COPAIRE DRIVE	138410040040002060000		S1 ICDS Agr L:	
19	STUART, FL 34994-6701	0010142109		IFND Impr:	95,867
20		SP-03		S001 Hfd:	
21		Subd: AMBERGE		T221 Pers:	
22		S/T/R:01/38/41		WSFM Min:	
23		Acreage:0.000		Tot:	149,367 0100
24		Int:1.000000 4	COPAIRE RD SP	Mkt Ag:	

25
26 GEORGE W BAKER S/D (AMBERGE) W 108' OF E 216' OF N 150' OF LOT 4 W OF S PT RD "LOT 2" OR
27 362/2257
28
29
30

Appraised	Assessed	Exemptions	Taxable	Taxes	Penalties
149,367	149,367	25,000	124,367	2,180.87	.00

31	32 ZAVATKAY, WILLIAM F	17606	REAL ESTATE	H6 HX C001	Mkt L: 53,500
33	6 COPAIRE DR	138410040040003040000		ICDS Agr L:	
34	STUART, FL 34994-6701	0010142117		IFND Impr:	89,139
35		SP-03		S001 Hfd:	
36		Subd: AMBERGE		T221 Pers:	
37		S/T/R:01/38/41		WSFM Min:	
38		Acreage:0.000		Tot:	142,639 0100
39		Int:1.000000 6	COPAINE RD SP	Mkt Ag:	

40 ZAVATKAY, BARBARA M

41
42 GEORGE W BAKER S/D (AMBERGE) W 108' OF E 324' OF N 150' OF LOT 4 W OF S PT RD "LOT 3" OR
43 361/757
44
45

02/15/2001
08:41:46

PROPERTY APPRAISER
2000 ASSESSMENT TAX ROLL

Owner	Acct/Geo/Old Acct/MPIN	Make/Model/Ser/Ttl/Lic	Exmpt Dist	Assessed
LURIA, BRUCE R & NICHELE	17732	REAL ESTATE	HO HX C001	Mkt L: 46,200
3 SOUTH SEWALLS POINT RD	138410080000002190000		ICDS Agr L:	
STUART, FL 34996	0010143404		IFND Inpr:	67,596
			S001 Rfd:	
	Subd: MELODY HILL		T221 Pers:	
	S/T/R:01/38/41		WSFH Min:	
	Acreege:0.000		Tot:	113,796 0100
	Int:1.000000 3	S SEWALLS POINT RD	SP	Mkt Ag:

MELODY HILL W 252.74' OF LOT 2 & THAT PART OF LOT 3 N OF 10' RD OR 344/2530

Appraised	Assessed	Exemptions	Taxable	Taxes	Penalties
113,796	107,405	25,000	82,405	1,445.02	.00

Owner	Acct/Geo/Old Acct/MPIN	Make/Model/Ser/Ttl/Lic	Exmpt Dist	Assessed
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C/O STERLING HOUSE	138410080000003080000		M3 ICDS Agr L:	
3401 SE ASTER LANE	0010143412		IFND Inpr:	85,506
STUART, FL 34994			S001 Rfd:	
	Subd: MELODY HILL		T221 Pers:	
	S/T/R:01/38/41		WSFH Min:	
	Acreege:0.000		Tot:	129,606 0100
	Int:1.000000 5	MELODY HILL	SP	Mkt Ag:

MELODY HILL, E 170' OF LOT 3 S OF 10' RD OR 344/2422

Appraised	Assessed	Exemptions	Taxable	Taxes	Penalties
129,606	118,476	25,500	92,976	1,630.40	.00

Owner	Acct/Geo/Old Acct/MPIN	Make/Model/Ser/Ttl/Lic	Exmpt Dist	Assessed
GULICK, DAVID	17734	REAL ESTATE	C001	Mkt L: 42,000
9 LANTANA LANE	138410080000003170000		ICDS Agr L:	
STUART, FL 34996	0010143420		IFND Inpr:	
	SP-03		S001 Rfd:	
	Subd: MELODY HILL		T221 Pers:	
	S/T/R:01/38/41		WSFH Min:	
	Acreege:0.000		Tot:	42,000 0000
	Int:1.000000 7	S SEWALL'S POINT ROAD	SP	Mkt Ag:

MELODY HILL W 208.26' OF LOT 3 S OF 10' RD OR 343/1075

Appraised	Assessed	Exemptions	Taxable	Taxes	Penalties
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Prepared by and return to:
Town of Sewall's Point
One South Sewall's Point Road
Stuart Florida 34996

**TOWN OF SEWALL'S POINT ADMINISTRATIVE
VARIANCE APPROVAL**

1. Owner of Property: Brian & Lora McMahon
2. Legal Description of Property:
Melody Hill East 170 ft. of lot 3
South of 10 ft Rd
3. Date of Administrative Variance Application: 7-2-01

Whereas, the Town of Sewall's Point Building Commissioner (the "Building Commissioner") has authority under the Town of Sewall's Point Code of Ordinances to grant administrative variances upon making certain findings of fact; and

Whereas, the Building Commissioner has reviewed an Administrative Variance Application (the "Application") for the Property described above and determined that the Application is complete; and

Whereas, the Building Commissioner has made the appropriate findings of fact and finds that:

(1) The setback violation(s) for the encroachments shown on the survey attached as Exhibit "A" (the "Survey") was/were a good faith error(s) and was/were not intentional; and

(2) The encroachment(s) is/are less than or equal to five percent (5%) of the

INSTR # 1566193 OR BK D1640 PG 2606 RECD 04/25/2002 12:27:58 PM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix

**TOWN OF SEWALL'S POINT ADMINISTRATIVE
VARIANCE APPLICATION FORM**

- 1. Owner of Property: Brian & Lora McMahon
- 2. Address of Property: 5 Melody Hill
- 3. Address of Applicant: 5 Melody Hill
- 4. Phone No. of Applicant: 370-0572

5. Length and Location (front, rear, side) of Encroachment (if more than one, please list separately):

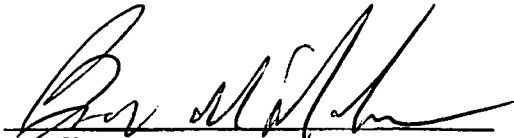
Rear of property; 24.61' to 24.61' rear set back;
should be 25'; Labeled as "Exhibit A"

6. Have you included the following materials with your application? yes

- | | |
|---|---|
| <input checked="" type="checkbox"/> A. \$250.00 Filing Fee | <input checked="" type="checkbox"/> B. \$250.00 Costs Deposit |
| <input checked="" type="checkbox"/> C. Certificate of Ownership | <input checked="" type="checkbox"/> D. Certificate of Adjacent Owners |
| <input checked="" type="checkbox"/> E. Survey | <input checked="" type="checkbox"/> F. Letters of No Objection or Proof of Mailing Notice |

7. Does/do the encroachment(s) result from development under a permit for which a certificate of occupancy was issued prior to March 11, 1992? yes

I hereby certify that all of the information above and the application materials I have provided are true and correct:


Applicant

Dated this 28 day of June, 199²⁰⁰¹.

Town of Sewall's Point
Administrative Variance Approval
Page Two

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"), whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

Dated this 8th day of April 2002, ____.

The Town of Sewell's Point, a
Florida municipal corporation

By: James D. Bercau
Its: Building Commissioner

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 8th day of April, 2002
by James D. Bercau, as Building Commissioner of the Town of Sewall's
Point, a Florida municipal corporation, who is personally known to me or who has produced
_____ as identification and who did not take an oath.

Joan H. Barrow

Name: _____

I am a Notary Public of the
State of Florida and my
commission expires:

(NOTARY SEAL)

tbw/tsp/approve.frm



Joan H. Barrow
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIN INSURANCE, INC.

FORM LETTER OF NO OBJECTION

The Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by Brian & Lora McMahon

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by Brian & Lora McMahon with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,

Paul C. Hubbel
6/28/01

kathy/tosp/letter/form

T Sewall's Pt Rd

The Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

RE: **Application for Administrative Variance Pursuant to Appendix B - Zoning, Section VIII.F, Town of Sewall's Point Code of Ordinances** Filed by Brian & Cora McMahon

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by Brian & Cora McMahon with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,



LISA BATTIS
2 Copaire Rd
Stuart, FL 34994

5468

REMODEL

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 7/26/01

BUILDING PERMIT NO. 5468

Building to be erected for BRIAN McMAHON

Type of Permit INT. ACT.

Applied for by O/B (25% OWNER/BLDR SURCH.) (Contractor)

Building Fee \$300.00

Subdivision MELODY HILL Lot 3 (PTC) Block _____

Radon Fee N/A

Address 5 MELODY HILL

Impact Fee N/A

Type of structure S.F.R.

A/C Fee N/A

~~Renewal - 7/24/02 - 10/26/02 = \$90.00~~
~~Ord. 7/20/02 - 5340 Ch # 90.00~~

Electrical Fee 120.00

Parcel Control Number: 01-38-41-008-000-00030-80000

Plumbing Fee 120.00

Amount Paid \$570.00 Check # 4753 Cash _____ Other Fees (PLAB REV.) 30.00

Roofing Fee N/A

Total Construction Cost \$ 25,000.00

TOTAL Fees \$570.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS - 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

MASTER PERMIT NO. 5468

TOWN OF SEWALL'S POINT

Date 8/15/01

BUILDING PERMIT NO. 5470

Building to be erected for BRIAN McMAHON

Type of Permit PLUMB'G. - SUB

Applied for by _____ (Contractor) Building Fee _____

Subdivision MELODY HILL Lot 3 (PTL) Block _____ Radon Fee _____

Address 5 MELODY HILL Impact Fee _____

Type of structure SPR A/C Fee _____

QUALIFIER: ERIC ROBBINS
LIC/CERT: CF-C056760

Parcel Control Number: _____ Electrical Fee _____

Amount Paid _____ Check # _____ Cash _____ Other Fees (_____) _____
Roofing Fee _____

Total Construction Cost \$ _____ TOTAL Fees _____

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector J. McMAHON

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

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NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

STATE OF FLORIDA
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 CONST. INDUSTRY LICENSING BOARD

DATE: 6/27/2000 BATCH NUMBER: 99902151 LICENSE NO: CF -0056760

PLUMBING CONTRACTOR
 IS CERTIFIED
 under the provisions of Chapter 489
 F.S.
 expiration date: AUG 31, 2002

ROBBINS, ERIC LYNN
 ANGLER PLUMBING INC
 1532 SE VILLAGE GREEN DR
 SUITE J
 PORT ST LUCIE FL 34952

FILE
before

RECEIVED
 JUN 01 2000
 BY: *EA*

JEB BUSH
 GOVERNOR

CYNTHIA A. HENDERSON
 SECRETARY

DISPLAY AS REQUIRED BY LAW



CITY OF PORT ST. LUCIE
 121 S.W. Port St. Lucie Boulevard
 Port St. Lucie, Florida 34984-5089

OCCUPATIONAL LICENSE

This license valid when all state and loc regulated trade licenses/competency cards held for the current fiscal year.

TERM: OCTOBER 1, 2000 TO SEPTEMBER 30, 2001

This license does not warrant or hold that the licensee is competent to perform in the business(es) as licensed, but that the licensee has paid the required fee(s) and provided the necessary documentation (if required) to be licensed in this business.
LICENSE MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS

BUSINESS ADDRESS: 1532 SE VILLAGE GREEN DR STE J
 CLASSIFICATION: CONT CONTRACTOR ANGLER PLUMBING INC.
 ISSUED TO: 1532 SE VILLAGE GREEN DR STE J
 PORT ST LUCIE FL 34952
 LICENSE NO.: 115120/01-100500
 Discount 0.00
 FEE: 105.00
 Fees: 105.00 Late Fees: 152/034 HR
 VALID AT THE ABOVE BUSINESS ADDRESS ONLY
 Payment: 105.00
 CITY LICENSE OFFICIAL *Mary S. Martin* *HK*

LINE	ROOMS	SEATS	EMPLOYEES	ACCOUNT
1	1711 PLUMBING CONTRACTOR		1-10	1711-17990001
				EXPIRES SEP 30, 2001
DESCRIPTION	1532 SE VILLAGE GREEN DR PORT - CITY OF PT ST LUCIE			X RENEWAL NEW LICENSE TRANSFER- ORIGINAL TAX 9.00
OWNER	ERIC L ROBBINS DBA ANGLER PLUMBING INC. ROBBINS, ERIC L 1532 SE VILLAGE GREEN DR STE J PORT ST LUCIE FL 34952			AMOUNT PENALTY COLLECTION COST TOTAL 9.00
			CF 0056760	

THIS LICENSE BECOMES NULL AND VOID IF BUSINESS NAME, CLASSIFICATION, OWNERSHIP OR ADDRESS IS CHANGED, UNLESS LICENSEE APPLIES TO TAX COLLECTOR FOR CORRECTION.
 SUBJECT TO SUSPENSION OR REVOCATION IN ACCORDANCE WITH ORDINANCES OF SAID COUNTY.
 PAID PAID D J CONRAD, TAX COLLECTOR
 MCH:010 ID: reg10 8/7/00 12:15PM

RECEIVED
DEC 01 2010
BY: *GA*

FILE
before

SEWELLS POINT PERMIT INFO

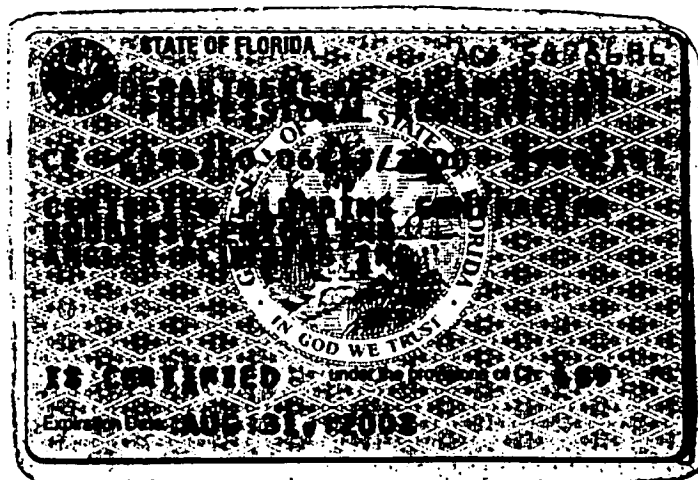
CUSTOMER: STANLEY & CAROL ECKNA
PROPERTY ADDRESS : 107 HENRY SEWALL WAY ,SEWALL MEADOW
LOT 5
PERMIT # 5172

CONTRACTOR : SELECT HOMES BY JMC

*there is no charge for this but you
must appear in person - Sorry -
Leah*

335 5470

*ADLER
PLUMBING INC.
ERIC ROBBINS
CF-C056760*



ACORD

CERTIFICATE OF LIABILITY INSURANCE

ID CW
SINGLE-2

DATE (MM/DD/YY)
12/01/00

PRODUCER

HARBOR INSURANCE AGENCY
2222 Colonial Road, Suite 100
Fort Pierce FL 34950-8309
Phone: 561-461-6040 Fax: 561-460-2315

FILE
See file

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED

Anglar Plumbing, Inc.
1532 SE Village Green Dr Ste J
Pt St Lucie FL 34952

INSURER A: **Transcontinental Insurance Co**
INSURER B: **Valley Forge Insurance Company**
INSURER C: **FCCI Insurance Co**
INSURER D:
INSURER E:

RECEIVED
DEC 01 2000

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	2022836705	09/23/00	09/23/01	EACH OCCURRENCE \$ 500,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				FIRE DAMAGE (Any one fire) \$ 100,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 500,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000
B	AUTOMOBILE LIABILITY	8222836400	09/23/00	09/23/01	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000
	<input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	001WC00A44000	12/17/00	12/17/01	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER

IN ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

Town of Sewalls Point
Fax 561-220-4765
1 South Sewalls Point Road
Stuart FL 34996

SEWAL-1

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

Michael J. Shescol/CW.
Harbor Insurance Agency

MASTER PERMIT NO. 5468

TOWN OF SEWALL'S POINT

Date 9/28/01

BUILDING PERMIT NO. 5469

Building to be erected for BRIAN McMAHON

Type of Permit ELECT - SUB

Applied for by JIMMY ROWELL ELECTRIC (Contractor)

Building Fee _____

Subdivision MELODY HILL Lot 3 (PTL) Block _____

Radon Fee _____

Address 5 MELODY HILL

Impact Fee _____

Type of structure SFR

A/C Fee _____

QUALIFIER: JAMES M. ROWELL
LIC/CERT: ME 00083

Electrical Fee SEE PN 5468

Parcel Control Number: _____

Plumbing Fee _____

Amount Paid _____ Check # _____ Cash _____ Other Fees (_____) _____

Roofing Fee _____

Total Construction Cost \$ _____

TOTAL Fees _____

Signed James M. Rowell
Applicant

Signed [Signature]
Town Building Inspector ATENCIO

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.

FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT, NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.

DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

ABORD

DATE (MM/DD/YY)
04/11/2001

PRODUCER (561)546-5600 FAX (561)546-1008
Campbell-Wilson Ins. Agency
8882 SE Bridge Road
Hobe Sound, FL 33455

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

Attn: INSURED
James M. Rowell
Jimmy Rowell Electric Service
P. O. 2262
Stuart, FL 34995-2262
#593109830 #ER0005710

COMPANIES AFFORDING COVERAGE

COMPANY A	Owners Insurance Company
COMPANY B	Auto Owners Insurance Company
COMPANY C	Florida Indemnity Company
COMPANY D	

FILE PEROLL
FILE leaf

RECEIVED
MAY - 8 2001
BY: *[Signature]*

COPY

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR OWNER'S & CONTRACTOR'S PROT <input checked="" type="checkbox"/> Liability Plus	942312 20510666 01	04/01/2001	04/01/2002	GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000 PERSONAL & ADV INJURY \$ 1,000,000 EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 100,000 MED EXP (Any one person) \$ 10,000
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	95 423 130 00	04/01/2001	04/01/2002	COMBINED SINGLE LIMIT \$ 300,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per Occurrence) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO	NONE			AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM	NONE			EACH OCCURRENCE \$ AGGREGATE \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input checked="" type="checkbox"/> EXCL	001 WC01A 35676	01/01/2001	01/01/2002	WVC STATUTORY LIMITS <input checked="" type="checkbox"/> OTHER <input type="checkbox"/> EL EACH ACCIDENT \$ 100,000 EL DISEASE - POLICY LIMIT \$ 500,000 EL DISEASE - EA EMPLOYEE \$ 100,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS
State of Florida - Electrical work within buildings

CERTIFICATE HOLDER
Town of Sewall's Point
Fax 220-4765
1 S. Sewalls Point Road
Stuart, FL 34996

CANCELLATION
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Joanne Wilson/JO *[Signature]*

RECEIVED
MAY 18 2001
BY: *[Signature]*

FILE

[Handwritten signature]



MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency

License: ME00083
Expires September 30, 2001

ROWELL, JAMES M
JIMMY ROWELL ELECTRIC SVC
BOX 2262
STUART, FL 34995
MASTER ELECTRICIAN

5 Melody Hill
Brian & Lora McMahon



METROPOLITAN DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

RECEIVED
AUG 20 2001

Windows

BUILDING CODE COMPLIANCE DEPARTMENT
SUITE 1603
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Vinyl Tech/Progressive Glass Technology
1070 Technology Drive
Kukula
FL 33173

Your application for Product Approval of:

Series 4000 Aluminum Single Hung Window (DSB annealed glass)

under Chapter 8 of the Metropolitan Miami-Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by:

Applicant, along with drawings prepared by Mr. Robert L. Clark, P.E., and test reports prepared by Fenestration Testing Laboratory, Inc.

has been recommended for acceptance by the Building Code Compliance office to be used in Miami-Dade County, Florida under the conditions set forth herein. This approval contains 3 pages.

This approval shall not be valid after the expiration date stated below. The Office of Building Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-0218.01

Expires: 08/20/2001

Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

98-0218.01 }
00-0207.06 }

8/20/01 TOWN OF SEWALL'S POINT
REVISOR

Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 08/20/1998

FILE ^{1 of 3} TOWN COPY
5 MELODY HILL

PN 5468



5 Melody Hill
Brian & Lara McMahon

RECEIVED
AUG 20 2001
MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
BY:

Doors

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Therma-Tru Corporation
108 Mutzfeld Road (P. O. Box 338)
Butler, IN 46721

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Notice of Acceptance (NOA) of:
Outswing Glazed Residential Insulated Steel Door w/ Sidelites
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 00-0207.06
EXPIRES: 04/05/2002

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE & PRODUCT REVIEW COMMITTEE

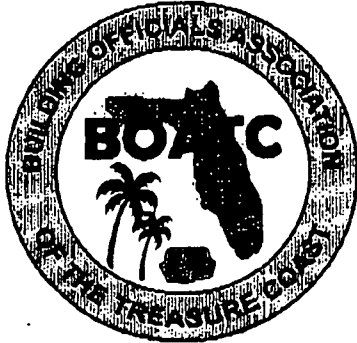
This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 04/05/2001

◆ OFFICIALS FORUM ◆

Building Officials Association of the Treasure Coast



Board of Directors Meeting

Thursday 9/12/02 12:00 PM Norris Famous Ribs (PSL)

Meeting Agenda

2002 Officers

Scott McAdam
President

William Hatcher
Vice President

Dennis M. Grim
Secretary / Treasurer

Board of Directors

Past Presidents

Marc Daves (3)
Martin County

Kevin Hempel (2)
City of Port St. Lucie

Doug Harvey
Jupiter Island

Brian Hurley
City of Port St. Lucie

Susan Jursik
Indian River Shores

Wayne Russ
Indian River County

Bart Stuart
Martin County

Billy Hatcher
St. Lucie Village

Gene Simmons
Sewell's Point

Education Committee

William Hatcher
Dennis M. Grim

Secretary/ Treasurer Report

Committee Reports

Education

By-Laws

Elections

Old Business

New Business

Slate of Officers 2003

Charity Construction Grants

BOATC Scholarship Fund

President's Dinner

Notes:

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Bldg. Permit Number

5468 8/13/01
1178
112-340-1178

RECEIVED

JUL 11 2001

Owner or Titleholder's Name Brian McMahon Phone No. (561) 340-7552
Street: 5 Melody Hill City: Stuart State: FL Zip 34996
Legal Description of Property: Melody Hill East 170 FT of lot 3 South of 10 ft Rd
Parcel Number: 1-38-41-008-000-00030-80000

Location of Job Site: 5 Melody Hill

TYPE OF WORK TO BE DONE: Remodel interior alterations only

CONTRACTOR/Company Name: owner builder Phone No. () _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration: _____ State License: _____

ARCHITECT: _____ Phone No. () _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER: Weyant & Associates, Inc Phone No. (561) 335-0772

Street: 201 SW Port St. Lucie City: Port St. Lucie State: FL Zip 34984

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:

Living Area: 1958 Garage Area: _____ Carport: NO Accessory Bldg: NO

Covered Patio: NO Scr. Porch: NO Wood Deck: NO

Type Sewage: Septic Septic Tank Permit # from Health Dept. existing

New Electrical Service Size: existing AMPS

FLOOD HAZARD INFORMATION

Flood zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD

Proposed first habitable floor finished elevation: _____ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES

Estimated cost of construction or improvement: \$ \$75,000

Estimated Fair Market Value (FMV) prior to improvement: \$ 125,000

If Improvement, is cost greater than 50% of Fair Market Value? YES _____ NO X

Method of determining Fair Market Value: Realtor (Premier) (PGR)

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)

Electrical: _____ State: _____ License # _____

Mechanical: _____ State: _____ License # _____

Plumbing: _____ State: _____ License # _____

Roofing: _____ State: _____ License # _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)

Brian McMahon

Owner

State of Florida, County of: Martin On

this the 11th day of July, 2001.

by Brian McMahon who is personally

known to me or produced _____

as identification: Joanth. Barrow

Notary Public

MY COMMISSION # CC763645 EXPIRES November 30, 2002

BONDED THRU TROY FAIR INSURANCE INC (Seal)

CONTRACTOR SIGNATURE (Required)

Contractor

State of Florida, County of: _____ On

this the _____ day of _____, 2000,

by _____ who is personally

known to me or produced _____

as identification: _____

Notary Public

My Commission Expires: _____

(Seal)

TREE REMOVAL (Attach sealed survey)

Number of trees to be removed: _____ Number of trees to be retained: _____ Number of trees to be planted: _____ Number of Specimen trees removed: _____

Fee: \$ _____ Authorized/Date: _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE

- a. Property Appraisers Parcel Number.
- b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- c. Contractors name, address, phone number & license numbers.
- d. Name all sub-contractors (properly licensed).
- e. Current Survey

2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.

3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.

4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:

- a. Floor Plan
- b. Foundation Details
- c. Elevation Views - Elevation Certificate due after slab inspection,
- d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
- e. Truss layout
- f. Vertical Wall Sections (one detail for each wall that is different)
- g. Fireplace drawing: If prefabricated submit manufacturers data

ADDITIONAL Required Documents are:

- 1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
- 2. Well Permit or information on existing well & pump.
- 3. Flood Hazard Elevation (if applicable).
- 4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
- 5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
- 7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
- 8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required' from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official:  Date: 7/25/07

Approved by Town Engineer _____ Date: _____
(If required)

FILE

RECEIVED
JUL 31 2001
BY: [Signature]

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # 5468

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF FL

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

The East 170 Feet of Lot 3, Melody Hill (5 Melody Hill)

GENERAL DESCRIPTION OF IMPROVEMENT:

OWNER: Brian & Lara McMahon

ADDRESS: 5 Melody Hill

PHONE #: 370-0572 FAX #: _____

CONTRACTOR: Owner/Builder

ADDRESS: 5 Melody Hill

PHONE #: 370-0572 FAX #: _____

SURETY COMPANY (IF ANY): _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____

OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

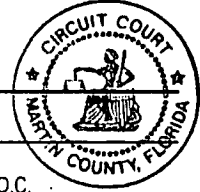
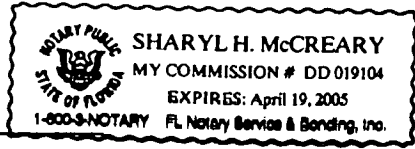
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Lara McMahon
SIGNATURE OF OWNER

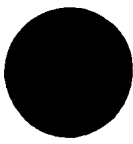
SWORN TO AND SUBSCRIBED BEFORE ME THIS 31 DAY OF July
19 2001 BY Lara Kaye McMahon

Sharyl H. McCreary
NOTARY SIGNATURE

OR PERSONALLY KNOWN
PRODUCED ID FDL
TYPE OF ID M255531707930



STATE OF FLORIDA
MARTIN COUNTY
FAX #: _____
THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK
BY [Signature] D.C.
DATE 7-31-01



EDWIN B. ARNOLD, AIA, CBO
Building Official

IA

TOWN OF SEWALL'S POINT

Town Hall
One South Sewall's Point Road
Sewall's Point, Florida 34986

Phone (561) 287-2455
Fax (561) 220-4765

RECEIVED
JUL 19 2001
BY: *[Signature]*

Disclosure Statement

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is in violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name Brian D. McMahon Date 7-18-01
Signed *[Signature]*
Address 5 Melody Hill
City & State Stuart, FL
Permit No. _____

This form is for all permits except electrical.
Revised October 25, 1995



5468

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(561) 287-2455

CORRECTION NOTICE

ADDRESS: 5 Melody Ln.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

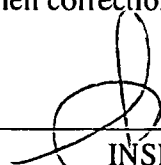
Plumbg. }
Electrical } 9/13/2
AC }

Permit expired
Exterior incomplete repairs

Failed Ins. -

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 9/13/2


INSPECTOR

DO NOT REMOVE THIS TAG

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA
COUNTY OF MARTIN

BEFORE ME, the undersigned authority, personally appeared the undersigned Affiant, who, being first duly sworn, under penalty of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.
2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 35,000.
4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.

FURTHER Affiant sayeth not.

Affiant's Signature:

Brian McMahon

Property Address:

5 Melody Hill

Stuart FL

SWORN TO and subscribed before me
this 10th day of Sept., 2002, by Brian
McMahon, who is personally known to
me or produced _____ as identification.

Joan H. Barrow

Notary Public

My commission expires: _____

(Notary Seal)



Joan H. Barrow
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIN INSURANCE, INC

THOMAS P. BAUSCH
Mayor

MARC S. TEPLITZ
Vice Mayor

E. DANIEL MORRIS
Commissioner

JAMES D. BERCAW
Commissioner

RICHARD L. BARON
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

June 19, 2002

Mr. and Mrs. Brian McMahon
5 Melody Hill
Sewall's Point, Florida 34996

Re: Administrative Variance

PAID

S T A T E M E N T

7/01	Received check from B. McMahon	+ \$500.00
7/02	Town of Sewall's Point filing fee	- 250.00
8/01	Wright Ponsoldt legal fees	- 200.00
9/01	Wright Ponsoldt legal fees	- 100.00
11/01	Wright Ponsoldt legal fees	- 25.00
4/02	Wright Ponsoldt legal fees	- 75.00
5/02	Wright Ponsoldt legal fees	- 50.00
6/02	Martin County Clerk of Court recording fees	- <u>33.50</u>
	TOTAL DUE	\$233.50

Kindly make your check payable to the "Town of Sewall's Point." A copy of the recorded variance is enclosed for your records.



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

FORM LETTER OF NO OBJECTION

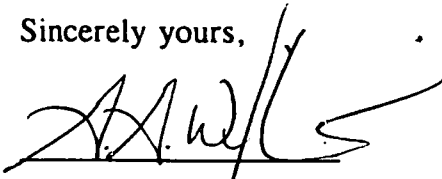
The Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by Brian & Lora McMahon

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by Brian & Lora McMahon with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,



4 Copaire Rd.

OR BK 01640 PG 2612

Lot 4

Lot 2

LUCIE

LOCATION MAP

LEGAL DESCRIPTION

The East 170 feet of Lot 3, MELODY HILL, as recorded in Plat Book 3, page 135, Martin County, Florida public records, lying South of a 14 foot road, said road being more particularly described as follows: A strip of land 10 feet in width in Lots 2 and 3, MELODY HILL, as recorded in Plat Book 3, page 135, Martin County, Florida, lying 5 feet each side of the following described line: Begin at the northeast corner of Lot 3, bear south 82deg 32' West along the north line of said Lot 3 a distance of 105 feet to the point of curvature of a curve to the left having a central angle of 30deg 46' and a radius of 58.65 feet; thence westerly along the arc of said curve a distance of 31.89 feet to the point of curvature of a curve to the right having a central angle of 30deg 46' and a radius of 58.65 feet; thence westerly along said curve a distance of 31.89 feet to the end of said curve; thence south 6deg 12' West a distance of 20.50 feet to the point of a curvature of a curve to the right having a central angle of 90deg and a radius of 15.50 feet; thence northwesterly along the arc of said curve a distance of 25.92 feet to the north line of said Lot 3 and the end of the described line.

TOGETHER WITH an easement and right-of-way for ingress and egress, to be shown with others, over, across, and upon the above-described strip of land 10 feet in width. SUBJECT TO Easement Agreement recorded in Official Records Book 86, page 161, and easement recorded in Official Records Book 131, page 211, Martin County, Florida, public records; easements, zoning restrictions and building restrictions of public records; and all values real estate taxes imposed in December 31, 1971.

Date of field survey 3/16/01

1. PROPERTY ADDRESS: 5 MELODY HILL

2. CERTIFIED TO: BRIAN D. McMAHON LORA K. McMAHON SOUTH FLORIDA TITLE SERVICES, INC. OLD REPUBLIC TITLE

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

STEPHEN J. BROWN, INC.

STEPHEN J. BROWN, PROFESSIONAL SURVEYOR AND MAPPER REGISTRATION NO. 6849, STATE OF FLORIDA

NOTES:

- 1. Survey of description as furnished by Client.
2. Units shown herein were not abstracted for assessments and/or rights-of-way of record.
3. Drawings are referenced to the north line of the subject property shown as N 62° 47' 32" E and all others relative thereto.
4. Elevations shown herein are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.
5. There are no above ground encroachments, unless otherwise shown.
6. The National Flood Insurance Program designation as indicated on the F.I.M.A. Map Panel No. 120164 0001E, dated 10/18/95, locates the parcel in Zone A10, base flood elevation 8.0 feet; subject to any scaling and interpolation factors associated with mapping of this occupancy.
7. Underground foundations & utilities not located unless shown.

Table with columns for symbols and their corresponding descriptions: AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

THE TOWN OF SEWALLS POINT

Table with columns for REVISIONS and BY.

STEPHEN J. BROWN, INC. LICENSED BUSINESS NUMBER 6494 SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS (904) 298-7176 619 S.W. 5TH STREET, SUITE 100, FORT LAUDERDALE, FLORIDA 33304

BOUNDARY SURVEY PREPARED FOR: McMAHON

Table with columns for DRAWN, CHECKED, DATE, SCALE, JOB NO., SHEET, and TOTAL SHEETS.

WRIGHT, PONSOLDT & LOZEAU
TRIAL ATTORNEYS, L.L.P.

1000 S.E. Monterey Commons Boulevard
Suite 208
Stuart, Florida 34996
Telephone: (772) 286-5566
Facsimile: (772) 286-9102
E-Mail: timwright@wpltrialattorneys.com

Tim B. Wright
William R. Ponsoldt, Jr.
Louis E. Lozeau, Jr.

March 25, 2002

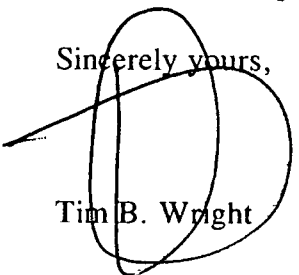
Commissioner James D. Bercaw
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, Florida 34996

Re: Administrative Variance of Brian and Lora McMahon: 3 South Sewall's Point Road

Dear Commissioner Bercaw:

I have reviewed the administrative variance from Mr. and Mrs. McMahon dated June 28, 2001, and find that it complies with the Town Code, provided that Mr. and Mrs. McMahon have paid the required filing fees and cost deposit. Should you have any questions, please call.

Sincerely yours,


Tim B. Wright

TBW/mcf

cc: Mrs. Joan H. Barrow (w/original survey) ✓
Mr. Gene Simmons

VARIANCE - OK 

already signed by Mayor Wente 8-21-01

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"), whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

Dated this 21st day of August, 2001.

The Town of Sewell's Point, a
Florida municipal corporation

By: [Signature]
Its: Mayor/Commissioner

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 21st day of August, 2001,
by R.M. Wienke, as Mayor/Commissioner of the Town of Sewall's
Point, a Florida municipal corporation, who is personally known to me or who has produced
as identification and who did not take an oath.

(NOTARY SEAL)

[Signature]

Name: Joan H. Barrow

I am a Notary Public of the
State of Florida and my
commission expires:

11-30-02



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~SEPTEMBER 17, 2001~~, 2001; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ T/R	Y. Q. H. I.	Field Verif.	ROLL-OVER	(RESCHEDULED FROM 9/14)
N 6	122 N. Sewalls Pt Rd All clear, Inc.		(NOT USED)	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 5515	WALKER	PLUMB'G - V/G	Passed	INTERIOR ALTERATIONS;
S (1)	6 CRANE'S NEST	- ROUGH		ALL PLUMB'G OPEN FOR INSY.
	IANIERO	(DRIVE'S PLUMB'G 287-8128)		INSPECTOR: <u>9/17</u>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 4978	PIMER	FRAMING - ALL TRADES	Passed	
S (3)	295. RIVER RD	AC Rough 9/7	Passed	INSPECTOR: <u>9/17</u>
	LEAR DEVELOPMENT	Plumbs. R. 9/5	Passed	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 5468	McMARTIN	WTR. FRAMING	Passed	FRAMING (ALL TRADES)
S (2)	S. MCDONNELL HILL	(NOV. WINDOW KEY)		PREV. COMPLETE - ADD'L WORK
	O/B			INSPECTOR: <u>9/17</u>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 5068	Winer	Window Inst.	Passed	REINSPECTION REQ'D.
S (4)	19 Ridgeland Dr.	- INCOMPLETE	(PARTIAL)	INSPECTOR: <u>9/17</u>
	Loar Dev.			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 5319	McCartney	Framing all Trades	Passed	(Partial, see notes)
S (T)	45 E High Pt.	Ridge Room /		INSPECTOR: <u>9/17</u>
	Wilson Blders	FRAMING , MBa Ste / Porch		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/18/02, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5468	M MALDON	BUYER/OWNER	Partial	370 0572
(3)	S MELODY HILL d/s	ELEC. FINAL		\$30.00 INSPECTOR:
5978	Sadler 12 Middle Rd ALTEC	Sheating Partial	Passad	INSPECTOR:
(7)				
5823	MUSSO 18 S. River Rd PAVE STONE	PAVE & DRIVE	Partial	Late INSPECTOR:
(9)				
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~AUGUST 2001~~, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ S291	Pittinos	Roof Sheathing	Passed	
S (9)	117 H. Sewalls way JAC			INSPECTOR: J 8/20
✓ S234	McCartney	Curt. work through	Passed	1100
S (11)	45 High Pt. Wilson Bldg.			INSPECTOR: J 8/20
✓ 5499	MOTLEY	SHEATHING	Passed	
N (1)	34 N. SEWALL'S POINT RD. PACIFIC IZFG. (DRIVE: 263-0177)	(2ND I.S.P.)		INSPECTOR: J 8/20
✓ 5465	TEDESKO	FINAL-ROOF	Passed	
N (2)	18 N. RIVER RD PACIFIC ROOFING			INSPECTOR: J 8/20
✓ 5154	RIMIER	POOL PLUMBING	Passed	
S (7)	29 S. RIVER RD. OLYMPIC			INSPECTOR: J 8/20
✓ 5358	INGRAM	PTL NAIL	Passed	RH
N (3)	101 N. SPR BUFORD	SHEATHING		INSPECTOR: J 8/20
✓ 5468	SMELDY HILL	Electrical plumbing	Passed	Roof protection
S (6)	SMELDY HILL (370-0522)	everything else so it can be drywalled or mudded		INSPECTOR: J 8/20

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri Sat Sun, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
5466	MCNULTON	FRAMING - ALL	Failed	CANCEL BY CONTR (O/B) 8/15 7:20 AM INSPECTOR:
5466	MCNULTON	FRAMING - ALL	Failed	CANCEL BY CONTR (O/B) 8/15 7:20 AM INSPECTOR:
5466	MCNULTON	FRAMING - ALL	Failed	CANCEL BY CONTR (O/B) 8/15 7:20 AM INSPECTOR:
5437	NUNAN 111 Mary Sewall Way FLAMINGO POOLS	DECK (PRE)	Passed	INSPECTOR: J 8/15
5013	DENNIS 16 RIDGELAND FL FINEST	FOOTER FOR SITE WALL		not ready INSPECTOR:
5448	VORASSO 21 PERRIWINKLE CRES. RLM	SLAB Corred wackout + burning steel	Passed	*EARLY AS POSSIBLE FORULS/MPD/SURVEY 8/14 INSPECTOR: J 8/15
5427	FOGLIA 105 ABBIE COURT FOGLIA CONST. (PHONE: 954-444-6126)	STEM WALL	Passed	- SURVEY RCVD. INSPECTOR: J 8/15
5499	MOTLEY 340 SEWALL'S POINT RD. PACIFIC REG. (PHONE: 263-0177)	SHEATHING	Partial	LATE AS POSSIBLE (New deck - !!) INSPECTOR: J 8/15
5312	BURLINZEL 1 KINGSTON COURT DRIFTWOOD HOMES	FRAMING - ALL TRADES	Passed	(need AC discovel) (Edy discovel) INSPECTOR: J 8/15

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~August 8, 2001~~, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 5294	LEHMAN	FRAMING -	Passed	
①	6 RIDGELAND	ALL TRADES		
	GRIFFEN			INSPECTOR: <i>J 8/8</i>
✓ 5447	BARLAND	POOL STEEL/BOND	Failed	Re-inspection (workout)
②	1 S. VIA LUCINDIA	11 ³⁰ L	Passed	Still workout
	HARBOR BAY POOLS			INSPECTOR: <i>J 8/8</i>
✓ 5468	MACMATHON	LAUNDRY ROOM SLAB	Passed	
⑥	5 MELODY HILL	PTL WINDOW	Passed	
	O/B 223-0954	FRAMING		INSPECTOR: <i>J 8/8</i>
✓ 5401	SACHS	SHUTTERS -	Passed	(not whole house)
③	78 N. SPR	FINAL		(no plan?)
	PROTEC - 335-3000			INSPECTOR: <i>J 8/8</i>
✓ 5068	WINER	PTL. R.F. SHEATHING		
④	19 RIDGELAND	(LOWER ROOF)	Passed	
	LEAR			INSPECTOR: <i>J 8/8</i>
TIR	12 RIO VISTA	FIELD. VERIF.	Passed	BP N5489
⑧	(STRACUZZI)	12 Rio Vista		
	RUCOLO			INSPECTOR: <i>J 8/8</i>
✓ 5466	MATUSZWSKI	DRY IN	Failed	*EARLY AS POSSIBLE
①	3 MIRAMAR	729-4460	wood 6" at span/drip edge row	
	A+P ROOFING	260 5793 11 ³⁰	Passed	INSPECTOR: <i>J 8/8</i>

OTHER: 1735 Rivers Rd. Lake partial *J 8/8* inspect 8/10 } TO BE RETURNED
 PN 5063 ROBINSON / DRIEDWOOD HOMES

6096
SIDING

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

THOMAS P. BAUSCH
Mayor

MARC S. TEPLITZ
Vice Mayor

E. DANIEL MORRIS
Commissioner

JAMES D. BERCAW
Commissioner

RICHARD L. BARON
Commissioner



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

March 6, 2003

REF 6096 11/20/03 ISSUED

McMahon
5 Melody Hill
Sewall's Point, FL 34996

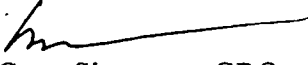
Our records indicate that our permit number 5468 for interior renovations at 5 Melody Hill issued on 7/26/01 has expired and no final inspection has occurred.

You are required to supply proof of final inspection from the field copy of your permit or to renew your permit within 14 days of this notification and order a final inspection.

Renewals will be accepted:
Monday through Friday
8:00am-12:00noon

Should you have any questions, please contact the Building Department at the above

Sincerely,


Gene Simmons, CBO
Building Official



Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 1/20/03

BUILDING PERMIT NO. 6096

Building to be erected for McMAHON

Type of Permit SIDING

Applied for by O/B

(Contractor) Building Fee 35.00

Subdivision Melody Hill Lot 3 Block _____

Radon Fee _____

Address 5 Melody Hill

Impact Fee _____

Type of structure SFR

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

138410080000003080000

Plumbing Fee _____

Roofing Fee _____

Amount Paid 35.00 Check # 5480 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 2,000.00

TOTAL Fees 35.00

Signed [Signature]
Applicant

Signed [Signature] (RHS)
Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input checked="" type="checkbox"/> ADDITION
<u>HARDPIANK Siding</u> |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Building Permit Number: _____

Owner or Titleholder Name: Brian McMahon City: Sewalls Pt State: FL Zip: 34996

Legal Description of Property: Melody Hill, E 170 of Lot 3 S 101 RD Parcel Number: 13841008000003080000

Location of Job Site: S Melody Hill Type of Work To Be Done: Siding

CONTRACTOR/Company Name: OWNER Phone Number: 219-3541

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

ARCHITECT: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ ScreenedPorch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

Type Sewage: _____ Septic Tank Permit Number From Health Dept. _____ Well Permit Number: _____

FLOOD HAZARD INFORMATION Flood Zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD

Proposed First Floor Habitable Floor Finished Elevation: _____ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$ 2,000 Estimated Fair Market Value (FMV) Prior

To Improvements: _____ If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES _____ NO _____

SUBCONTRACTOR INFORMATION

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____ South Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____

National Electrical Code _____ Florida Energy Code _____

Florida Accessibility Code _____

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required) Brian McMahon

State of Florida, County of: Martin

This the 15th day of November, 2002

by B. McMahon who is personally

known to me or produced

as identification Joan H. Barrow



My Commission Expires: November 30, 2002
BONDED THRU TROY FAIR INSURANCE INC.

Seal

CONTRACTOR SIGNATURE (Required) _____

On State of Florida, County of: _____

This the _____ day of _____, 200

by _____ who is personally

known to me or produced _____

As identification. _____

Notary Public

My Commission Expires: _____

Seal

S/N RSR21433 RIGHT-J SHORT FORM

File name: PROJECT1.RSR
 Job #:
 For: McMAHON RES.
 SEWELLS POINT

FL

By: SAME

	Htg	Clg
Outside db	45	91
Inside db	70	75
Design TD	25	16
Daily Range	-	M
Inside Humid.	-	50
Grains Water	-	60
Method	Simplified	
Const. qty	Average	
Fireplaces	0	

HEATING EQUIPMENT

COOLING EQUIPMENT

Make GOODMAN
 Trade JANITROL
 A48-10
 Efficiency 80.0 AFUE
 Heating Input 34000 Btuh
 Heating Output 34000 Btuh
 Heating Temp Rise 19 Deg F
 Actual Heating Fan 1600 CFM
 Htg Air Flow Factor 0.049 CFM/Btuh

Make TRANE UNITARY
 Trade XE 1100
 TTN042C
 Efficiency 11.0 SEER
 Sensible Cooling 26600 Btuh
 Latent Cooling 11400 Btuh
 Total Cooling 38000 Btuh
 Actual Cooling Fan 1600 CFM
 Clg Air Flow Factor 0.041 CFM/Btuh

Space Thermostat

Load Sensible Heat Ratio

90

ROOM NAME	AREA SQ.FT.	HTG BTUH	CLG BTUH	HTG CFM	CLG CFM
MASTER BED	228	6216	6031	302	250
BATH	84	920	1007	45	42
BED 3	140	1834	2349	89	97
BED 2	160	3052	3072	148	127
BATH HALL	50	619	477	30	20
HALLWAY	126	167	267	8	11
W.I.C.	36	48	76	2	3
STUDY	182	3241	3159	158	131
LIVING17	238	3389	2810	165	116
FOYER	84	632	476	31	20
DINING	150	1996	1874	97	78
KITCHEN13	169	1734	4986	84	207
LAUNDRY	0	1688	3358	82	139
FAMILY ROOM	240	7383	8662	359	359
Entire House	d 1887	32920	38602	1600	1600
Ventilation Air		0	0		
Equip. @ 0.96 RSM			37058		
Latent Cooling			4114		
TOTALS	1887	32920	41172	1600	1600



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

James Hardie Building Product, Inc.
10901 Elm Avenue
Fontana, CA 92337

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Hardiplank, Hardipanel and Hardisoffit

APPROVAL DOCUMENT: Drawing No. HPNL-8X, HPLK-4X8 & HSOFFIT-8X, titled "Hardipanel, Hardiplank, & Hardisoffit Installation Details", sheets 1 through 3, prepared, signed and sealed by Ronald Ogawa, P.E., dated 4/13/99, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 99-0223.07 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Raul Rodriguez.



FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 1/20/03

BUILDING-OFFICIAL
Gene Simmons

NOA No 02-0318.08
Expiration Date: May 1, 2007
Approval Date: May 23, 2002
Page 1

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/13, 2003 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6131	PFEIFFER	DRY IN+	Passed	
(5)	104 HENRY SEWALL HEATON ROOFING	T.N.TAG		INSPECTOR:
6368	HENMERS	CHANGE OUT A/C	Passed	9:30 close
(1)	4 PALMETTO DR WATTS A/C	FINAL		INSPECTOR:
6096	MINIMATION	HAARD PLANK	Passed	
(6)	5 MELODY HILL O/B	SIDING-FINAL		INSPECTOR:
6319	WEST	FINAL REPAIR	Passed	close
(2)	7 PALMETTO CONROY	BASEBOARD & DRY WALL		INSPECTOR:
TREE	GARY	TREE	Passed	partial
(4)	36 RIO VISTA DR			INSPECTOR:
6341	LAW	HOT MOP	Passed	
(3)	4 COPAIRE CARDINAL			INSPECTOR:
				INSPECTOR:
OTHER:	133 S. RIVER (SEE FD) Trees = Passed			

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/11, 2003 Page ___ of ___

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6217	PLITT	SHEATHING +	Cancelled	by code.
(5)	12 HERON'S NEAR ALL AMERICAN ROOF	METAL TIN TAG		INSPECTOR: <i>[Signature]</i>
6096	McMAHON	NAIL OFF	Passal	
(3)	5 MELODY Hill O/B			INSPECTOR: <i>[Signature]</i>
6066	HIGH POINT COMM	PLASTER COLUMNS	Passal	close
(8)	HIGH POINT O/B	FINAL		INSPECTOR: <i>[Signature]</i>
6214	HIGH POINT ASSOC	SIGNS - FINAL	Passal	close
(9)	HIGH POINT CIRCLE O/B			INSPECTOR: <i>[Signature]</i>
6146	CONROY	TIE BEAM +		
(4)	12 PALMETTO DR. O/B	COLUMN		INSPECTOR: <i>[Signature]</i>
6216	MURPHY	FENCE	Passal	close
(1)	14 KNOWLES ALL INDIAN RIVER			INSPECTOR: <i>[Signature]</i>
6213	DE GRASS	POOL RAILING	Passal	close
(2)	9 CASTLE HILL WAY	FINAL		INSPECTOR: <i>[Signature]</i>
OTHER:				

RIGHT-J LOAD AND EQUIPMENT SUMMARY

File name: PROJECT1.RSR
 For: McMAHON RES.
 SEWELLS POINT

FL

By: SAME

Job #:
 Wthr: West Palm Beach AP FL
 Zone: Entire House

WINTER DESIGN CONDITIONS

Outside db: 45 °F
 Inside db: 70 °F
 Design TD: 25 °F

SUMMER DESIGN CONDITIONS

Outside db: 91 °F
 Inside db: 75 °F
 Design TD: 16 °F
 Daily Range M
 Rel. Hum.: 50 %
 Grains Water 60 gr

HEATING SUMMARY

Bldg. Heat Loss 32920 Btuh
 Ventilation Air 0 CFM
 Vent Air Loss 0 Btuh
 Design Heat Load 32920 Btuh

SENSIBLE COOLING EQUIP LOAD SIZING

Structure 38602 Btuh
 Ventilation 0 Btuh
 Design Temp. Swing 3.0 °F
 Use Mfg. Data n
 Rate/Swing Mult. 0.96
 Total Sens Equip Load 37058 Btuh

INFILTRATION

Method	Simplified	
Construction Quality	Average	
Fireplaces	0	
	HEATING	COOLING
Area (sq.ft.)	1887	1887
Volume (cu.ft.)	15096	15096
Air Changes/Hour	0.8	0.4
Equivalent CFM	202	101

LATENT COOLING EQUIP LOAD SIZING

Internal Gains 0 Btuh
 Ventilation 0 Btuh
 Infiltration 4114 Btuh
 Tot Latent Equip Load 4114 Btuh
 Total Equip Load 41172 Btuh

HEATING EQUIPMENT SUMMARY

Make GOODMAN
 Trade JANITROL
 A48-10

Efficiency 80.0 AFUE
 Heating Input 34000 Btuh
 Heating Output 34000 Btuh
 Heating Temp Rise 19 °F
 Actual Heating Fan 1600 CFM
 Htg Air Flow Factor 0.049 CFM/Btuh

COOLING EQUIPMENT SUMMARY

Make TRANE UNITARY
 Trade XE 1100
 TTN042C
 TXH033A4

Efficiency 11.0 SEER
 Sensible Cooling 26600 Btuh
 Latent Cooling 11400 Btuh
 Total Cooling 38000 Btuh
 Actual Cooling Fan 1600 CFM
 Clg Air Flow Factor 0.041 CFM/Btuh

Space Thermostat Load Sens Heat Ratio 90

MANUAL J: 7th Ed. Right-Suite: Ver 4.1.04 S/N RSR21433

1		Name of Room			KITCHEN13			LAUNDRY			FAMILY ROOM			Ft.			
2		Running Ft. Exposed Wall			13.0 Ft.			19.0 Ft.			44.0 Ft.						
3		Room Dimensions, Ft.			13.0 x 13.0 ft			0.0 x 0.0 ft			20.0 x 12.0 ft						
4		Ceilings, Ft			8.0			8.0			8.0						
		Condit. Option			heat/cool			heat/cool			heat/cool						
TYPE OF EXPOSURE		CST NO.	Htg	Clg	Area Length	Btuh Htg	Clg	Area Length	Btuh Htg	Clg	Area Length	Btuh Htg	Clg	Area Length	Btuh Htg	Clg	
5	Gross Exposed Walls and Partitions	a	12A	6.8	5.3	104	****	****	152	****	****	352	****	****		****	****
		b	13C	1.8	1.0	0	****	****	152	****	****	96	****	****		****	****
		c		0.0	0.0	0	****	****	0	****	****	0	****	****		****	****
		d		0.0	0.0	0	****	****	0	****	****	0	****	****		****	****
		e		0.0	0.0	0	****	****	0	****	****	0	****	****		****	****
		f		0.0	0.0	0	****	****	0	****	****	0	****	****		****	****
6	Windows and Glass Doors Heating	a	1A	24.8	**	18	446	****	0	0	****	30	743	****			****
		b	8A	24.8	**	0	0	****	0	0	****	90	2228	****			****
		c	1A	24.8	**	0	0	****	0	0	****	0	0	****			****
		d		0.0	**	0	0	****	0	0	****	0	0	****			****
		e		0.0	**	0	0	****	0	0	****	0	0	****			****
		f		0.0	**	0	0	****	0	0	****	0	0	****			****
7	Windows and Glass Doors Cooling	North		27.8		18	****	500	0	****	0	34	****	944			****
		NENW		0.0		0	****	0	0	****	0	0	****	0			****
		E/W		85.8		0	****	0	0	****	0	38	****	3264			****
		SE/SW		0.0		0	****	0	0	****	0	0	****	0			****
		South		44.8		0	****	0	0	****	0	48	****	2150			****
Horz		0.0		0	****	0	0	****	0	0	****	0			****		
8	Other doors	a	10D	11.5	9.0	0	0	0	0	0	0	0	0	0	0	0	0
		b		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0
9	Net Exposed Walls and Partitions	a	12A	6.8	5.3	86	583	457	152	1030	807	232	1572	1232			
		b	13C	1.8	1.0	0	0	0	152	274	150	96	173	95			
		c		0.0	0.0	0	0	0	0	0	0	0	0	0			
		d		0.0	0.0	0	0	0	0	0	0	0	0	0			
		e		0.0	0.0	0	0	0	0	0	0	0	0	0			
		f		0.0	0.0	0	0	0	0	0	0	0	0	0			
10	Ceilings	a	16D	1.3	2.1	169	224	358	0	0	0	240	318	509			
		b		0.0	0.0	0	0	0	0	0	0	0	0	0			
		c		0.0	0.0	0	0	0	0	0	0	0	0	0			
11	Floors	a	22A	20.3	0.0	13	263	0	19	385	0	44	891	0			
		b		0.0	0.0	0	0	0	0	0	0	0	0	0			
		c		0.0	0.0	0	0	0	0	0	0	0	0	0			
12	Infiltration	a	12.2	3.9	18	219	70	0	0	0	120	1460	467				
13	Subtot Btuh Loss=6+8..+11+12				****	1734	****	****	1688	****	****	7383	****	****		****	
14	Duct Btuh Loss				0%	0	****	0%	0	****	0%	0	****	%		****	
15	Total Btuh Loss = 13+14				****	1734	****	****	1688	****	****	7383	****	****		****	
16	Int. Gains:	People @	300	0	****	0	0	****	0	0	****	0	****	0	****	****	
		Appl. @	1200	3	****	3600	2	****	2400	0	****	0	****	0	****	****	
17	Subtot RSH Gain=7+8..+12+16				****	****	4986	****	****	3358	****	****	8662	****	****	****	
18	Duct Btuh Gain				0%	****	0	0%	****	0	0%	****	0	%	****	****	
19	Total RSH Gain=(17+18)*PLF				1.00	****	4986	1.00	****	3358	1.00	****	8662	****	****	****	
20	CFM Air Required				****	84	207	****	82	139	****	359	359	****	****	****	

1		Name of Room			STUDY			LIVING17			FOYER			DINING			
2		Running Ft. Exposed Wall			16.0 Ft.			17.0 Ft.			7.0 Ft.			12.0 Ft.			
3		Room Dimensions, Ft.			14.0 x 13.0 ft			17.0 x 14.0 ft			7.0 x 12.0 ft			10.0 x 15.0 ft			
4		Ceilings, Ft			8.0			8.0			8.0			8.0			
		Condit. Option			heat/cool			heat/cool			heat/cool			heat/cool			
TYPE OF EXPOSURE		CST NO.	Htg	HTM Clg	Area Length	Btuh Htg Clg		Area Length	Btuh Htg Clg		Area Length	Btuh Htg Clg		Area Length	Btuh Htg Clg		
5	Gross Exposed Walls and Partitions	a	12A	6.8	5.3	128	****	****	136	****	****	56	****	****	96	****	****
		b	13C	1.8	1.0	0	****	****	0	****	****	0	****	****	0	****	****
		c		0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****
		d		0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****
		e		0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****
		f		0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****
6	Windows and Glass Doors Heating	a	1A	24.8	**	60	1485	****	60	1485	****	0	0	****	30	743	****
		b	8A	24.8	**	0	0	****	0	0	****	0	0	****	0	0	****
		c	1A	24.8	**	0	0	****	0	0	****	0	0	****	0	0	****
		d		0.0	**	0	0	****	0	0	****	0	0	****	0	0	****
		e		0.0	**	0	0	****	0	0	****	0	0	****	0	0	****
		f		0.0	**	0	0	****	0	0	****	0	0	****	0	0	****
7	Windows and Glass Doors Cooling	North		27.8	30	****	834	60	****	1668	0	****	0	15	****	417	
		NE/NW		0.0	0	****	0	0	****	0	0	****	0	0	****	0	0
		E/W		85.8	0	****	0	0	****	0	0	****	0	0	****	0	0
		SE/SW		0.0	0	****	0	0	****	0	0	****	0	0	****	0	0
		South		44.8	30	****	1344	0	****	0	****	0	****	0	15	****	672
		Horz		0.0	0	****	0	0	****	0	0	****	0	0	****	0	0
8	Other doors	a	10D	11.5	9.0	0	0	0	0	0	0	0	0	0	0	0	
		b		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	
9	Net Exposed Walls and Partitions	a	12A	6.8	5.3	68	461	361	76	515	404	56	379	297	66	447	351
		b	13C	1.8	1.0	0	0	0	0	0	0	0	0	0	0	0	0
		c		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0
		d		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0
		e		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0
		f		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0
10	Ceilings	a	16D	1.3	2.1	182	241	386	238	315	505	84	111	178	150	199	318
		b		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0
		c		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0
11	Floors	a	22A	20.3	0.0	16	324	0	17	344	0	7	142	0	12	243	0
		b		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0
		c		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0
12	Infiltration	a	12.2	3.9	60	730	234	60	730	234	0	0	0	30	365	117	
13	Subtot Btuh Loss=6+8.+11+12				****	3241	****	****	3389	****	****	632	****	****	1996	****	
14	Duct Btuh Loss				0%	0	****	0%	0	****	0%	0	****	0%	0	****	
15	Total Btuh Loss = 13+14				****	3241	****	****	3389	****	****	632	****	****	1996	****	
16	Int. Gains:	People @	300	0	****	0	0	****	0	0	****	0	0	****	0	0	
		Appl. @	1200	0	****	0	0	****	0	0	****	0	0	****	0	0	
17	Subtot RSH Gain=7+8.+12+16				****	****	3159	****	****	2810	****	****	476	****	****	1874	
18	Duct Btuh Gain				0%	****	0	0%	****	0	0%	****	0	0%	****	0	
19	Total RSH Gain=(17+18)*PLF				1.00	****	3159	1.00	****	2810	1.00	****	476	1.00	****	1874	
20	CFM Air Required				****	158	131	****	165	116	****	31	20	****	97	78	

1 Name of Room		BED 2						BATH HALL			HALLWAY			W.I.C.		
2 Running Ft. Exposed Wall		26.0 Ft.						5.0 Ft.			0.0 Ft.			0.0 Ft.		
3 Room Dimensions, Ft.		10.0 x 16.0 ft						5.0 x 10.0 ft			9.0 x 14.0 ft			6.0 x 6.0 ft		
4 Ceilings, Ft		8.0						8.0			8.0			8.0		
		heat/cool						heat/cool			heat/cool			heat/cool		
TYPE OF EXPOSURE	CST NO.	HTM		Area Length	Btuh		Area Length	Btuh		Area Length	Btuh		Area Length	Btuh		
		Htg	Clg		Htg	Clg		Htg	Clg		Htg	Clg		Htg	Clg	
5 Gross Exposed Walls and Partitions	a 12A	6.8	5.3	208	****	****	40	****	****	0	****	****	0	****	****	
	b 13C	1.8	1.0	0	****	****	0	****	****	0	****	****	0	****	****	
	c	0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****	
	d	0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****	
	e	0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****	
	f	0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****	
6 Windows and Glass Doors Heating	a 1A	24.8	**	30	743	****	6	149	****	0	0	****	0	0	****	
	b 8A	24.8	**	0	0	****	0	0	****	0	0	****	0	0	****	
	c 1A	24.8	**	0	0	****	0	0	****	0	0	****	0	0	****	
	d	0.0	**	0	0	****	0	0	****	0	0	****	0	0	****	
	e	0.0	**	0	0	****	0	0	****	0	0	****	0	0	****	
	f	0.0	**	0	0	****	0	0	****	0	0	****	0	0	****	
7 Windows and Glass Doors Cooling	North	27.8		5	****	138	6	****	167	0	****	0	0	****	0	
	NE/NW	0.0		0	****	0	0	****	0	0	****	0	0	****	0	
	E/W	85.8		10	****	860	0	****	0	0	****	0	0	****	0	
	SE/SW	0.0		0	****	0	0	****	0	0	****	0	0	****	0	
	South	44.8		15	****	672	0	****	0	0	****	0	0	****	0	
	Horz	0.0		0	****	0	0	****	0	0	****	0	0	****	0	
8 Other doors	a 10D	11.5	9.0	0	0	0	0	0	0	0	0	0	0	0	0	
	b	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
9 Net Exposed Walls and Partitions	a 12A	6.8	5.3	178	1206	945	34	230	181	0	0	0	0	0	0	
	b 13C	1.8	1.0	0	0	0	0	0	0	0	0	0	0	0	0	
	c	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
	d	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
	e	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
	f	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
10 Ceilings	a 16D	1.3	2.1	160	212	339	50	66	106	126	167	267	36	48	76	
	b	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
	c	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
11 Floors	a 22A	20.3	0.0	26	527	0	5	101	0	0	0	0	0	0	0	
	b	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
	c	0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0	
12 Infiltration	a	12.2	3.9	30	365	117	6	73	23	0	0	0	0	0	0	
13 Subtot Btuh Loss=6+8..+11+12					****	3052	****	****	619	****	****	167	****	****	48	****
14 Duct Btuh Loss					0%	0	****	0%	0	****	0%	0	****	0%	0	****
15 Total Btuh Loss = 13+14					****	3052	****	****	619	****	****	167	****	****	48	****
16 Int. Gains:	People @	300	0	****	0	0	0	****	0	0	****	0	0	****	0	
	Appl. @	1200	0	****	0	0	0	****	0	0	****	0	0	****	0	
17 Subtot RSH Gain=7+8..+12+16					****	****	3072	****	****	477	****	****	267	****	****	76
18 Duct Btuh Gain					0%	****	0	0%	****	0	0%	****	0	0%	****	0
19 Total RSH Gain=(17+18)*PLF					1.00	****	3072	1.00	****	477	1.00	****	267	1.00	****	76
20 CFM Air Required					****	148	127	****	30	20	****	8	11	****	2	3

1		Name of Room			Entire House			MASTER BED			BATH			BED 3			
2		Running Ft. Exposed Wall			218.0 Ft.			43.0 Ft.			6.0 Ft.			10.0 Ft.			
3		Room Dimensions, Ft.			8.0			12.0 x 19.0 ft			6.0 x 14.0 ft			10.0 x 14.0 ft			
4		Ceilings, Ft			8.0			8.0			8.0			8.0			
		Condit. Option			d			heat/cool			heat/cool			heat/cool			
TYPE OF EXPOSURE		CST NO.	Htg	Clg	Area Length	Btuh Htg	Clg	Area Length	Btuh Htg	Clg	Area Length	Btuh Htg	Clg	Area Length	Btuh Htg	Clg	
5	Gross Exposed Walls and Partitions	a	12A	6.8	5.3	1744	****	****	344	****	****	48	****	****	80	****	****
		b	13C	1.8	1.0	248	****	****	0	****	****	0	****	****	0	****	****
		c		0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****
		d		0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****
		e		0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****
		f		0.0	0.0	0	****	****	0	****	****	0	****	****	0	****	****
6	Windows and Glass Doors Heating	a	1A	24.8	**	336	8316	****	60	1485	****	12	297	****	30	743	****
		b	8A	24.8	**	90	2228	****	0	0	****	0	0	****	0	0	****
		c	1A	24.8	**	30	743	****	30	743	****	0	0	****	0	0	****
		d		0.0	**	0	0	****	0	0	****	0	0	****	0	0	****
		e		0.0	**	0	0	****	0	0	****	0	0	****	0	0	****
		f		0.0	**	0	0	****	0	0	****	0	0	****	0	0	****
7	Windows and Glass Doors Cooling	North		27.8	211	****	5872	35	****	972	3	****	92	5	****	138	
		NENW		0.0	0	****	0	0	****	0	0	0	****	0	0	****	0
		E/W		85.8	71	****	6073	10	****	860	3	****	230	10	****	860	
		SE/SW		0.0	0	****	0	0	****	0	0	****	0	0	****	0	
		South		44.8	174	****	7795	45	****	2016	6	****	269	15	****	672	
Horz		0.0	0	****	0	0	****	0	0	****	0	0	****	0			
8	Other doors	a	10D	11.5	9.0	0	0	0	0	0	0	0	0	0	0	0	
		b		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	
9	Net Exposed Walls and Partitions	a	12A	6.8	5.3	1288	8726	6841	254	1721	1349	36	244	191	50	339	266
		b	13C	1.8	1.0	248	446	246	0	0	0	0	0	0	0	0	0
		c		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0
		d		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0
		e		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0
		f		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	0
10	Ceilings	a	16D	1.3	2.1	1887	2500	4000	228	302	483	84	111	178	140	185	297
		b		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	
		c		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	
11	Floors	a	22A	20.3	0.0	218	4415	0	43	871	0	6	122	0	10	203	0
		b		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	
		c		0.0	0.0	0	0	0	0	0	0	0	0	0	0	0	
12	Infiltration	a	12.2	3.9	456	5546	1775	90	1095	350	12	146	47	30	365	117	
13	Subtot Btuh Loss=6+8..+11+12				****	32920	****	****	6216	****	****	920	****	****	1834	****	
14	Duct Btuh Loss				0%	0	****	0%	0	****	0%	0	****	0%	0	****	
15	Total Btuh Loss = 13+14				****	32920	****	****	6216	****	****	920	****	****	1834	****	
16	Int. Gains:	People @	300	0	****	0	0	****	0	0	****	0	0	****	0		
		Appl. @	1200	5	****	6000	0	****	0	0	****	0	0	****	0		
17	Subtot RSH Gain=7+8..+12+16				****	****	38602	****	****	6031	****	****	1007	****	****	2349	
18	Duct Btuh Gain				0%	****	0	0%	****	0	0%	****	0	0%	****	0	
19	Total RSH Gain=(17+18)*PLF				1.00	****	38602	1.00	****	6031	1.00	****	1007	1.00	****	2349	
20	CFM Air Required				****	1600	1600	****	302	250	****	45	42	****	89	97	

LAUNDRY

FAMILY ROOM

a	n	s	a	c	n	n	n	y	1	90	1.0	2.0	0.0	5.0	44.8	30.0	30.0
b	n	s	a	c	n	n	n	n	1	90	1.0	0.0	0.0	1.0	44.8	48.0	0.0
b	n	w	a	c	n	n	n	y	1	90	1.0	2.0	1.0	7.0	85.8	42.0	4.0

RIGHT-J WINDOW DATA

Job #									File name PROJECT1.RSR								
W	S	D	W	G	L	S	S	O	N	A	S	O	O	W	C	W	S
N	K	I	A	L	O	T	H	V	G	N	H	V	V	H	H	N	H
D	Y	R	L	A	W	R	A	H	L	G	C	R	R	G	T	A	A
W			L	Z	E	M	D	G	Z	L	O	X	Y	T	M	R	R
MASTER BED																	
a	n	s	a	c	n	n	n	n	1	90	1.0	0.0	0.0	1.0	44.8	30.0	0.0
a	n	n	a	c	n	n	n	y	1	90	1.0	2.0	0.0	5.0	27.8	30.0	0.0
c	n	s	a	c	n	n	n	n	1	90	1.0	0.0	0.0	1.0	44.8	15.0	0.0
c	n	e	a	c	n	n	n	y	1	90	1.0	2.0	0.0	5.0	85.8	15.0	5.0
BATH																	
a	n	s	a	c	n	n	n	n	1	90	1.0	0.0	0.0	1.0	44.8	6.0	0.0
a	n	e	a	c	n	n	n	y	1	90	1.0	2.0	0.0	3.0	85.8	6.0	3.3
BED 3																	
a	n	s	a	c	n	n	n	n	1	90	1.0	0.0	0.0	1.0	44.8	15.0	0.0
a	n	e	a	c	n	n	n	y	1	90	1.0	2.0	0.0	5.0	85.8	15.0	5.0
BED 2																	
a	n	s	a	c	n	n	n	n	1	90	1.0	0.0	0.0	1.0	44.8	15.0	0.0
a	n	e	a	c	n	n	n	y	1	90	1.0	2.0	0.0	5.0	85.8	15.0	5.0
BATH HALL																	
a	n	s	a	c	n	n	n	y	1	90	1.0	2.0	0.0	2.0	44.8	6.0	6.0
HALLWAY																	
W.I.C.																	
STUDY																	
a	n	s	a	c	n	n	n	n	1	90	1.0	0.0	0.0	1.0	44.8	30.0	0.0
a	n	n	a	c	n	n	n	y	1	90	1.0	2.0	0.0	5.0	27.8	30.0	0.0
LIVING17																	
a	n	s	a	c	n	n	n	y	1	90	1.0	2.0	0.0	5.0	44.8	60.0	60.0
FOYER																	
DINING																	
a	n	s	a	c	n	n	n	n	1	90	1.0	0.0	0.0	1.0	44.8	15.0	0.0
a	n	n	a	c	n	n	n	y	1	90	1.0	2.0	0.0	5.0	27.8	15.0	0.0
KITCHEN13																	
a	n	s	a	c	n	n	n	y	1	90	1.0	2.0	0.0	3.0	44.8	18.0	18.0

RIGHT-J CALCULATION PROCEDURES A, B, C, D

Job #:

Zone: Entire House

File name:

PROJECT1.RSR

Procedure A - Winter Infiltration HTM Calculation*

1.	Winter Infiltration CFM					
	0.8 AC/HR x	15096 Cu.Ft.	x	0.0167 =	202	CFM
2.	Winter Infiltration Btuh					
	1.1 x	202 CFM	x	25 Winter TD =	5546	Btuh
3.	Winter Infiltration HTM					
	5546 Btuh /	456	Total Window =		12.2	HTM
			and Door Area			

Procedure B - Summer Infiltration HTM Calculation*

1.	Summer Infiltration CFM					
	0.4 AC/HR x	15096 Cu.Ft.	x	0.0167 =	101	CFM
2.	Summer Infiltration Btuh					
	1.1 x	101 CFM	x	16 Summer TD =	1775	Btuh
3.	Summer Infiltration HTM					
	1775 Btuh /	456	Total Window =		3.9	HTM
			and Door Area			

Procedure C - Latent Infiltration Gain

0.68 x	60	gr.diff. x	101	CFM =	4114	Btuh
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Procedure D - Equipment Sizing Loads

1.	Sensible Sizing Load					
	Sensible Ventilation Load					
	1.1 x	0	Vent.CFM x	16	Summer TD	= 0 Btuh
						+ 38602 Btuh
	Sensible Load for Structure (Line 19)					= 38602 Btuh
	Sum of Ventilation and Structure Loads					x 0.96 RSM
	Rating and Temperature Swing Multiplier					+ 37058 Btuh
	Equipment Sizing Load - Sensible					
2.	Latent Sizing Load					
	Latent Ventilation Load					
	0.68 x	0	Vent.CFM x	60	gr.diff.	= 0 Btuh
	Internal Loads =					+ 0 Btuh
		230	x	0	No. People	+ 4114 Btuh
	Infiltration Load From Procedure C					= 4114 Btuh
	Equipment Sizing Load - Latent					

*Construction Quality is: a No. of Fireplaces is: 0

MANUAL J: 7th Ed. Right-Suite: Ver 4.1.04 S/N RSR21433



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(561) 287-2455

CORRECTION NOTICE

ADDRESS: 5 Melody Hill

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

wall sheathing

Failed = need nailing pattern
4" at seams
6" in the field

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/8/3

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4-9, 2003 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
5767	CLEMENTS	FENCE/POOL WALL	Failed	
(6)	6 MIDDLE ROAD O/B			INSPECTOR: <i>[Signature]</i>
TREE	ENRIQUEZ	TREE	Passed	
(8)	1 KINGSTON CT			INSPECTOR: <i>[Signature]</i>
TREE	BENZING	TREE	Passed	
(9)	137 S. RIVER			INSPECTOR: <i>[Signature]</i>
TREE	BRUCIA	TREE	Passed	
(7)	2 KINGSTON CT			INSPECTOR: <i>[Signature]</i>
6127	CLARK	TINTAG	Passed	
(2)	33 FIELDWAY PAR ONE			INSPECTOR: <i>[Signature]</i>
6096	McMARTIN	NAIL OFF	Failed	
(3)	5 MELODY HILL O/B	SIDING		INSPECTOR: <i>[Signature]</i>
5929	FLAUGH	FENCE	Passed	close pool fence
(1)	B. INDIALUCIE O/B			INSPECTOR: <i>[Signature]</i>
OTHER:				

6209

FENCE

TOWN OF SEWALL'S POINT

Date 4/2/03

BUILDING PERMIT NO. 6209

Building to be erected for McMahon

Type of Permit FENCE

Applied for by O/B

(Contractor) Building Fee 30.00

Subdivision 5 Melody Hill Lot 3 Block _____

Radon Fee _____

Address 5 Melody Hill

Impact Fee _____

Type of structure SFR

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

138410080000003080000

Roofing Fee _____

Amount Paid 30.00 Check # _____ Cash X

Other Fees (_____) _____

Total Construction Cost \$ 1,200.00

TOTAL Fees 30.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Owner or Titleholder Name: Brian McMahon Building Permit Number:
City: Stuart State: FL Zip: 34996
Legal Description of Property: Melody Hill Lot 3 Parcel Number: 138410080000003080000
Type of Work To Be Done: Fence

CONTRACTOR/Company Name: O/B Phone Number: 370-0572; 219-3541
Street: City: State: Zip:
State Registration Number: State Certification Number: Martin County License Number:

ARCHITECT: Phone Number:
Street: City: State: Zip:

ENGINEER: Phone Number:
Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Screened Porch:
Carpot: Total Under Roof Wood Deck: Accessory Building:
Type Sewage: Septic Tank Permit Number From Health Dept. Well Permit Number:

FLOOD HAZARD INFORMATION Flood Zone: Minimum Base Flood Elevation (BFE): NGVD
Proposed First Floor Habitable Floor Finished Elevation: NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$1,200 Estimated Fair Market Value (FMV) Prior
To Improvements: If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES NO X

SUBCONTRACTOR INFORMATION
Electrical: State: License Number:
Mechanical: State: License Number:
Plumbing: State: License Number:
Roofing: State: License Number:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS,
HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE
REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION
Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2001 South Florida Building Code (Structural, Mechanical, Plumbing, Gas)
National Electrical Code 2002 Florida Energy Code 2001
Florida Accessibility Code 2001

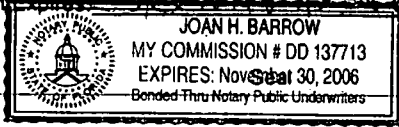
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY
KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required)
State of Florida, County of: Martin
This the 31st day of March, 2003
by B. McMahon who is personally
known to me or produced
as identification.

CONTRACTOR SIGNATURE (Required)
On State of Florida, County of:
This the day of 200
by who is personally
known to me or produced
As identification.

My Commission Expires:
Notary Public

My Commission Expires:
Notary Public



Seal

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996


TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Brian M Mahon Date: 3/31/03

Signature: 

Address: 5 Melody Hill

City & State: Sewalls Pt FL

Permit No. _____

This form is for all permits except electrical.

INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE	
6913	Mosley	52 S Sewallo Pt	Fence repair	NOT DONE	✓
6914	Mosley	52 S Sewallo Pt	Replace dock	NOT DONE	✓
7649	Milord	52 S Sewallo Pt	Temp Power Pole	NOT DONE	✓
6989	DeSantis	73 S River	Dock repair		
6940	Hart	61 S River	Dock repair	AW 10/22	✓
6572	Francis	5 S River Rd	Dock electric renewed		
6257	Madden	160 S River Rd	Pool deck	AW 10/22	✓
7695	DeSantis	73 S River Rd	Replace Cobblestone drive		
7539	DeSantis	73 S River Rd	Replace 3 windows	AW 12/31	
7179	Hobby	20 Palmetto Dr	Cancel	House demolish	
7602	Rivera	3 S Sewallo Pt	Fence columns	Nully void	
6209	McNorton	5 Melody Ln	Fence	AW 12/31	
7590	Weisbecker	2 Copaire Rd	Remove 30' of driveway	AW 12/31	
7879	Martin	23 Island Rd	Minor ext elec	AW 10/22	✓
7916	Martin	23 Island Rd	Minor elec	AW 10/22	✓
8000	Martin	23 Island Rd	Relocate floor outlet	AW 10/22	✓
7633	THOMAS	10 PALM ROAD	REPLACE WINDOWS		
6766	ROSENBERG	30 S.S.P.R.	FILL	AW 12/31	

7377

FENCE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 3/11/05

BUILDING PERMIT NO. 7377

Building to be erected for McMATHON

Type of Permit FENCE

Applied for by O/B (Contractor)

Building Fee 30.00

Subdivision Meadow Hill Lot Part 3 Block _____

Radon Fee _____

Address 5 MEADOW HILL

Impact Fee _____

Type of structure SEER

A/C Fee _____

Parcel Control Number:

13841008 0000003080000

Electrical Fee _____

Plumbing Fee _____

Amount Paid 30.00 Check # 6048 Cash _____

Other Fees (_____)

Total Construction Cost \$ 1000.00

TOTAL Fees 30.00

Signed Lora McMath
Applicant

Signed Gene Simmons
Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

MAR 11 2005

BY:

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number:

Date:

OWNER/TITLEHOLDER NAME: Brian & Lora McMahon Phone (Day) 370-3666 287-1023 (Fax)

Job Site Address: 5 Melody Hill City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Melody Hill PART OF 3 Parcel Number: 13841008000003080000

Owner Address (if different): City: State: Zip:

Description of Work To Be Done: Fence

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 1,000.-
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value:

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Phone: Fax:

Street: City: State: Zip:

State Registration Number: State Certification Number: Martin County License Number:

SUBCONTRACTOR INFORMATION:

Electrical: State: License Number:

Mechanical: State: License Number:

Plumbing: State: License Number:

Roofing: State: License Number:

ARCHITECT Lic.#: Phone Number:

Street: City: State: Zip:

ENGINEER Lic.#: Phone Number:

Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Screened Porch:

Carport: Total Under Roof Wood Deck: Accessory Building:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

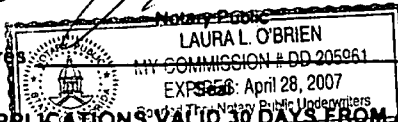
OWNER OR AGENT SIGNATURE (required)

Lora McMahon
State of Florida, County of: MARTIN
This the 11th day of MARCH, 2005
by LORA KAYE MCMAHON who is personally known to me or produced as identification

CONTRACTOR SIGNATURE (required)

On State of Florida, County of:
This the ___ day of ___, 200__
by ___ who is personally known to me or produced as identification.

My Commission Expires



My Commission Expires:

Notary Public

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Lora McMahon Date: 3-11-05

Signature: Lora McMahon

Address: 5 Melody Hill

City & State: Stuart, FL

Permit No. _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 5 MELODY

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FENCE

NO PERMIT POSTED -
NO ONE HOME AND
NOT ABLE TO ACCESS PROPERTY.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/10

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/10, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7540	LIZANO	FINAL ROOFING	—	CANCEL
4	16 CRANE'S NEST AT BUTLERS			INSPECTOR:
7377	McMahan	Final-fence	FAIL	
11	5 Melody Hill O/B			INSPECTOR:
7489	Harrigan	Final-Screen Encl	PASS	
8	2 Palmetto Pattzaglia			INSPECTOR:
6544	LANCASTER	Power Release	PASS	CALL FPL
3A	8 PINEAPPLE MASTERPIECE			INSPECTOR:
7441	TOMPECK	FINAL ROOF	PASS	
7	20 EMARITA WAY O/B			INSPECTOR:
TREE	LESTER	TREE	PASS	
12	15 LOFTING WAY			INSPECTOR:
TREE	DAVIS	TREE	PASS	
5	62 S. SEWALLS PT			INSPECTOR:
OTHER: _____				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/13, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7289	KLOSE	DRY-IN	PASS	
6	2 BAKU PACIFIC ROOFING			INSPECTOR:
7390		U.B. PLUMBING	PASS	
9	4 SUMNER LANE RICH GOODMAN	U.B. MECHANICAL	PASS	INSPECTOR:
7286	MARLEY	SEAWALL CAP	FAIL	
2	37 W. HIGH POINT CUSTOM BUILT MAR	SEAWALL CAP STEEL		INSPECTOR:
7218	TOOMAN	SEAWALL CAP STEEL	FAIL	
3	39 W. HIGH POINT CUSTOM BUILT MAR			INSPECTOR:
7377	McMAHON	FINAL FENCE	PASS	CLOSE
10	5 MELODY Hill O/B	PERMIT IN BACK ON FENCE		INSPECTOR:
7379	LIPSCAUTZ	FINAL GAS	FAIL	
8	53 S. RIVER RD TREASURE GAS PROPANE			INSPECTOR:
7589	SPIEVACK	GENERATOR PAD	PASS	
1A	30 W. HIGH POINT O/B			INSPECTOR:

OTHER: _____

8944

ROOF TURBINES



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8944	DATE ISSUED:	JULY 7, 2008
SCOPE OF WORK:	ADD 3 TURBINES ON ROOF		
CONDITIONS :			
CONTRACTOR:	CODE RED ROOFERS		
PARCEL CONTROL NUMBER:	013841008000000308	SUBDIVISION	MELODY HILL-LOT 3
CONSTRUCTION ADDRESS:	5 MELODY HILL		
OWNER NAME:	MC MAHON		
QUALIFIER:	DOUGLAS ROE	CONTACT PHONE NUMBER:	287-2829

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

RECEIVED
6-11-08
TOWN OF SEWALL'S POINT

Date: 6-10-08 Town of Sewall's Point
BUILDING PERMIT APPLICATION Permit Number: _____
OWNER/TITLEHOLDER NAME: Brian McMahon Phone (Day) 287-2829 (Fax) 287-7163
Job Site Address: 5 Melody Hill City: Sewalls State: FL Zip: 34996
Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____
Owner Address (if different): _____ City: _____ State: _____ Zip: _____
Scope of work: Add 3 turbines on Roof

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO ✓

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 300
(Notice of Commencement required when over \$2500 prior to first inspection)
Is subject property located in flood hazard area? V A9 A8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
Fair Market Value of the Primary Structure only (Minus the land value)
*** PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION***

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO ✓
(Must include a copy of all variance approvals with application)

CONTRACTOR/Company: Code Rod Roofs Phone: 287-2829 Fax: _____
Street: 2231 Slaters Street City: Seaw State: FL Zip: 34997
State Registration Number: CC1326574 State Certification Number: _____ Municipality License Number: _____
PROJECT SUPERINTENDANT: _____ CONTACT NUMBER: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQ. FOOTAGE (W/SEWER & ELECTRIC): Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

CODE EDITIONS IN EFFECT FOR THIS APPLICATION: Florida Building Code - Res., Build, Mech., Plmb., Fuel Gas): 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Prevention Code 2004

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****
OWNER SIGNATURE (required) _____ CONTRACTOR SIGNATURE (required) _____
State of Florida, County of: Martin State of Florida, County of: Martin
This the 10th day of June 2008 This the 4th day of June 2008
by Brian D. McMahon who is personally known to me or produced FDL# 1435-06466290 by Code Rod E. Roe who is personally known to me or produced FDL# R00-165-73-2460
as identification. Valley Meyer As identification. Valley Meyer
Notary Public Notary Public
My Commission Expires: _____ My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.11

Summary

[print](#) [_](#) [||](#) [|](#) [- /](#) [- /](#) Owner
2 of 25

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
01-38-41-008-000-00030-8	5 MELODY HILL	17733	Owner	0	1

Summary

Property Location 5 MELODY HILL
Tax District 2200 Sewall's Point
Account # 17733
Land Use 101 0100 Single Family
Neighborhood 120500
Acres 0.383

Legal Description

Property Information
 MELODY HILL, E 170' OF LOT 3
 S OF 10' RD OR 344/2422

Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information

Owner Information
 MCMAHON, BRIAN & LORA

Mail Information

5 MELODY HILL
 STUART FL 34996

Assessment Info

Front Ft. 0.00

Market Land Value \$262,500
Market Impr Value \$185,210
Market Total Value \$447,710

Site Functions

Property Search

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale

Sale Amount \$130,000

Sale Date 6/28/2001
Book/Page 1565 1966

[Print](#) | [Back to List](#) | [<< First](#) | [< Previous](#) | [Next >](#) | [Last >>](#)

[Legal disclaimer](#) / [Privacy Statement](#)

Data updated on 05/01/2008





**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Lomanco, Inc.
2101 W. Main Street
Jacksonville, AR 72076**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: BIB-14/ BEB-14 WhirlyBird® Wind Turbine

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 00-1127.02 consists of pages 1 through 5.
The submitted documentation was reviewed by Jorge L. Acebo

FILE COPY

TOWNSHIP OF SEWALL'S POINT

THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE 6-11-08

BUILDING OFFICIAL

NOA No.: 05-0823.06
Expiration Date: 12/22/10
Approval Date: 12/22/05
Page 1 of 5

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10-17, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
9017	Wolcott 32 Riv Vista D+D Garage	Final	PASS	CLOSE
				INSPECTOR:
8944	Memphis	Final	PASS	CLOSE
2	5 Melody Code Red			INSPECTOR: <i>[Signature]</i>
CE.		HEDGE ALONG ROAD.	OK	
3	24 N.S.P.R.			INSPECTOR:
8745	Nelson 3 Marguerite Nelson Homes	Final	(COURTESY)	INSPECTOR: <i>[Signature]</i>
9003	DeStephan 18 Palm Rd Gorge Castle	frame all 9:30-10:00 FRAMING, ROUGH ERECT	FAIL PASS	INSPECTOR: <i>[Signature]</i>
	3 MIRA MAR.			INSPECTOR:
8589	Hardin 275 River Rd Stratton	GUEST HOUSE FINAL	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
OTHER:				

8661

REROOF



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	8661	DATE ISSUED:	JULY 18, 2007
SCOPE OF WORK:	REROOF		
CONTRACTOR:	CODE RED ROOFERS		
PARCEL CONTROL NUMBER:	13841008000003080000	SUBDIVISION	MELODY HILL - LOT 3
CONSTRUCTION ADDRESS:	5 MELODY LANE		
OWNER NAME:	MCMAHON		
QUALIFIER:	DOUGLAS ROE	CONTACT PHONE NUMBER:	772-287-2829

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

RECEIVED
DATE: 7-16-07
TOWN OF SEWALL'S POINT

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: _____

Date: _____
OWNER/TITLEHOLDER NAME: Brian D. McMahon Phone (Day) 219-3541 (Fax) _____

Job Site Address: 5 MELODY HILL La. City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Melody Hill - Pt of #3 Parcel Number: 13841-008-000-000-308-0000

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Re-roof

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 12,000
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Code Red Roofers, Inc. Phone: 287-2829 Fax: 287-7763

Street: 1213 SE. DIXIE CUTOFF RD City: Stuart State: FL Zip: 34994

State Registration Number: _____ State Certification Number: CCC1326574 Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof 3000 Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Brian D. McMahon
State of Florida, County of: Florida, Martin
This the 3 day of August, 2005
by Brian D. McMahon who is personally
known to me or produced
as identification. Mark Malizia

CONTRACTOR SIGNATURE (required)
Douglas E. Roe
On State of Florida, County of: Florida, Martin
This the 3 day of August, 2005
by Douglas E. Roe who is personally
known to me or produced
As identification. Mark Malizia

My Commission Expires: NOTARY PUBLIC-STATE OF FLORIDA

My Commission Expires: _____

Notary Public
Donna K. Malizia

Notary Public
NOTARY PUBLIC-STATE OF FLORIDA
Donna K. Malizia
Seal
Commission # DD392371
Expires: FEB. 02, 2009

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP PERMIT PROMPTLY

Bonded Thru Atlantic Bonding Co., Inc.

Bonded Thru Atlantic Bonding Co., Inc.

TOWN OF SEWALL'S POINT RE-ROOF PERMIT CERTIFICATION

PERMIT # _____

CONTRACTOR'S NAME: Code Red Roofers PHONE #: 287-2829 FAX: 287-7763

OWNER'S NAME: Brian D. McMahon

CONSTRUCTION ADDRESS: 5 Melody Hill CITY Stuart STATE FL

RE-ROOF: RESIDENTIAL(SINGLE FAMILY)
 COMMERCIAL **--REMOVE/REINSTALL ROOF TOP HVAC EQUIP YES NO

**...DISCONNECT/RECONNECT HVAC ELECTRIC YES NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

ROOF TYPE: HIP BOSTON-HIP GABLE FLAT OTHER

ROOF PITCH: 7 /12 SLOPE

ROOF DECK:* SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED SHEATHING) - REQUIRES A FLORIDA REGISTERED ENGINEER'S WRITTEN SPECIFICATIONS AND PLANS WITH DETAILS DESCRIBING ATTACHMENT REQUIREMENTS (NAIL OR SCREW LENGTH AND FASTENING METHOD) INTO FRAMING MEMBERS.) SPECIFICATIONS SHALL BE SUBMITTED AT TIME OF ROOFING PERMIT APPLICATION.

RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED

EXISTING ROOF COVERING: Shingles EXISTING COVERING TO BE REMOVED? YES NO

PROPOSED NEW ROOF COVERING: 5V Metal

MANUFACTURER South FL Metal PRODUCT NAME 5-V Crimp PRODUCT APPR # 05-110.05

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL) MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: GALV./STEEL ALUMINUM COPPER OTHER

RIDGEVENT TO BE INSTALLED: YES NO

DESCRIPTION OF WORK: Re Roofing

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR: [Signature] DATE: 7-16-07

FILE COPY

TOWN OF SEWALL'S POINT

THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE: 7-17-07

[Signature]
BUILDING OFFICIAL

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR RE-ROOFING

IMPORTANT NOTICE: All items listed below must accompany your permit application.
No application will be accepted unless all items that are applicable are submitted.

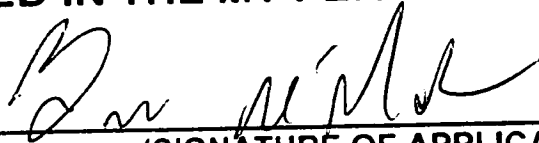
Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Estimated cost of construction.
6. Original signature of owner and notarized
7. Original signature of Contractor and notarized.

Submittals (2 copies)


1. Product approvals from Miami/Dade for the following items:
 - a. Roofing
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. A certified copy of the Notice of Commencement for any work over \$2500.00
5. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
6. Copy of Workmen's Compensation
7. Copy of Liability Insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: _____

7/16/07 

SEWALL'S POINT BUILDING DEPARTMENT

MUST BE SUBMITTED WITH PERMIT APPLICATION

	ROOFING MATERIAL LIST	QUANTITY	REMARKS
1	ASTM D226 30lb Felt	20 Rolls	
2	Tin Tags	1 1/2 box	
3	1 1/4 Ring Shank Nails	1 1/2 box	
4	2 1/2 Ring Shank Nails	1 1/2 box	
5	5-V Crimp Panels	40 1	
6			
7			
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20			

5-V



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

South Florida Metal Supply, Inc.
3271 SW Island Way
Palm City, FL. 34990

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: 5-V Metal Roof System

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 4.

The submitted documentation was reviewed by Alex Tigera.



NOA No 05-1110.05
Expiration Date: 05/04/11
Approval Date: 05/04/06
Page 1 of 4

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # 01-38-41-008-000-00030-8

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Melody Hill, E 170' of lot 3 S of 10' Rd or 344/2422

GENERAL DESCRIPTION OF IMPROVEMENT: RE-ROOF

OWNER: Brian D. McMahon

ADDRESS: 5 Melody Hill Stuart, FL 34996

PHONE #: 219-3541 FAX #: _____

CONTRACTOR: Code Red Roofers, Inc

ADDRESS: 1213 S.E. Dixie Cutoff Rd

PHONE #: 287-2829 FAX #: 287-7763

SURETY COMPANY (IF ANY) _____ STATE OF FLORIDA/

ADDRESS: _____ MARTIN COUNTY

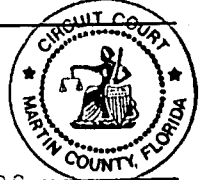
PHONE # _____ THIS IS TO CERTIFY THAT THE

BOND AMOUNT: _____ FOREGOING _____ PAGES IS A TRUE

LENDER: _____ AND CORRECT COPY OF THE ORIGINAL.

ADDRESS: _____ BY J. Copus D.C.

PHONE # _____ DATE 8-9-05



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Brian D. McMahon
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 3 DAY OF August 2005 BY Brian D. McMahon

OR PERSONALLY KNOWN PRODUCED ID _____
NOTARY SIGNATURE _____

NOTARY PUBLIC-STATE OF FLORIDA
Donna K. Malizia
Commission # DB092371
Expires: FEB. 08, 2009
Bonded Thru Atlantic Bonding Co., Inc.

INST# 1862545 OR BK 02046 PG 1583 RECD 08/09/2005 12:22:15 PM
MARSHA EILING MARTIN COUNTY DEPUTY CLERK T Copus (055F MAR)

ACORD CERTIFICATE OF LIABILITY INSURANCE		OP ID KG CODER-1	DATE (MM/DD/YYYY) 03/21/07										
PRODUCER Bouchard - Kissimmee 222 Church Street Kissimmee FL 34741 Phone: 407-847-2841 Fax: 407-846-2841		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.											
		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">INSURERS AFFORDING COVERAGE</td> <td style="width: 30%;">NAIC #</td> </tr> <tr> <td>INSURER A: Admiral Insurance Company</td> <td>24856</td> </tr> <tr> <td>INSURER B:</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table>		INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: Admiral Insurance Company	24856	INSURER B:		INSURER C:		INSURER D:	
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INSURER B:													
INSURER C:													
INSURER D:													
INSURER E:													
INSURED Code Red Roofers Inc 3341 SE Slater Street Stuart FL 34997-5706													

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	ADDL	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS												
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GFM AGGRGATE LIMIT APPLS PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	CA000010843-01	03/21/07	03/21/08	<table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>EACH OCCURRENCE</td><td>\$ 1000000</td></tr> <tr><td>DAMAGE TO RENTED PREMISES (Ea occurrence)</td><td>\$ 100000</td></tr> <tr><td>MED EXP (Any one person)</td><td>\$ Excluded</td></tr> <tr><td>PERSONAL & ADV INJURY</td><td>\$ 1000000</td></tr> <tr><td>GENERAL AGGREGATE</td><td>\$ 2000000</td></tr> <tr><td>PRODUCTS - COMP/OP AGG</td><td>\$ 2000000</td></tr> </table>	EACH OCCURRENCE	\$ 1000000	DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100000	MED EXP (Any one person)	\$ Excluded	PERSONAL & ADV INJURY	\$ 1000000	GENERAL AGGREGATE	\$ 2000000	PRODUCTS - COMP/OP AGG	\$ 2000000
EACH OCCURRENCE	\$ 1000000																	
DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100000																	
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PERSONAL & ADV INJURY	\$ 1000000																	
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PRODUCTS - COMP/OP AGG	\$ 2000000																	
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				<table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>COMBINED SINGLE LIMIT (Ea accident)</td><td>\$</td></tr> <tr><td>BODILY INJURY (Per person)</td><td>\$</td></tr> <tr><td>BODILY INJURY (Per accident)</td><td>\$</td></tr> <tr><td>PROPERTY DAMAGE (Per accident)</td><td>\$</td></tr> </table>	COMBINED SINGLE LIMIT (Ea accident)	\$	BODILY INJURY (Per person)	\$	BODILY INJURY (Per accident)	\$	PROPERTY DAMAGE (Per accident)	\$				
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		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				<table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>AUTO ONLY - EA ACCIDENT</td><td>\$</td></tr> <tr><td>OTHER THAN AUTO ONLY: EA ACC</td><td>\$</td></tr> <tr><td>AGG</td><td>\$</td></tr> </table>	AUTO ONLY - EA ACCIDENT	\$	OTHER THAN AUTO ONLY: EA ACC	\$	AGG	\$						
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OTHER THAN AUTO ONLY: EA ACC	\$																	
AGG	\$																	
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE RETENTION \$				<table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>EACH OCCURRENCE</td><td>\$</td></tr> <tr><td>AGGREGATE</td><td>\$</td></tr> <tr><td></td><td>\$</td></tr> <tr><td></td><td>\$</td></tr> </table>	EACH OCCURRENCE	\$	AGGREGATE	\$		\$		\$				
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AGGREGATE	\$																	
	\$																	
	\$																	
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>WC STATUTORY LIMITS</td> <td>OTH-ER</td> <td></td> </tr> <tr><td>E.I. EACH ACCIDENT</td><td></td><td>\$</td></tr> <tr><td>E.I. DISEASE - EA EMPLOYEE</td><td></td><td>\$</td></tr> <tr><td>E.I. DISEASE - POLICY LIMIT</td><td></td><td>\$</td></tr> </table>	WC STATUTORY LIMITS	OTH-ER		E.I. EACH ACCIDENT		\$	E.I. DISEASE - EA EMPLOYEE		\$	E.I. DISEASE - POLICY LIMIT		\$
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E.I. EACH ACCIDENT		\$																
E.I. DISEASE - EA EMPLOYEE		\$																
E.I. DISEASE - POLICY LIMIT		\$																
		OTHER																

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
Fax #772-220-4765 Roofing Contractor. *10 day notice in the event of non payment

<p>CERTIFICATE HOLDER</p> <p style="text-align: center;">SEWALLS</p> <p>Sewalls Point Building Dept. Attn: Laura 1 S. Sewalls Point Road Stuart FL 34996</p>	<p>CANCELLATION</p> <p>SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL *30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.</p> <p>AUTHORIZED REPRESENTATIVE </p>
---	---

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
12/13/2008

PRODUCER Affiliated Agency Ops 16 South River Street Wilkes-Barre, PA 18702	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
	INSURERS AFFORDING COVERAGE	NAIC #
INSURED Employee Leasing Solutions, Inc. 1401 Manatee Ave W. Suite 600 Bradenton, FL 34205	INSURER A: EastGUARD Insurance Company	14702
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	ADDP LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
		GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (EA OCCURRENCE) \$ MED EXP (Per acc. limit) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (EA accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	EMWC802839	01/01/2007	01/01/2008	X WC STA-T-2 TORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
		OTHER Print Ref: 112 Client ID: #4142012				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
 COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF:

Code Red Roofers Inc
 Qualifiers Name: Douglas Roe

Aprox active employee count: 31

CERTIFICATE HOLDER

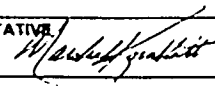
Town Of Sewells Point
 1 South Sewells Point Road

 Stuart, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE





STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

ROE, DOUGLAS EDWARD
CODE RED ROOFERS INC
3341 SE SLATER ST
STUART

FL 34997

STATE OF FLORIDA AC# 2674999
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 CCC1326574 07/22/06 068011930
 CERTIFIED ROOFING CONTRACTOR
 ROE, DOUGLAS EDWARD
 CODE RED ROOFERS INC
 IS CERTIFIED under the provisions of Ch. 489 FS.
 Expiration date: AUG 31, 2008 SEQ# L06072200487

DETACH HERE

AC# 2674999

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L06072200487

DATE	BATCH NUMBER	LICENSE NBR
07/22/2006	068011930	CCC1326574

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

ROE, DOUGLAS EDWARD
CODE RED ROOFERS INC
3341 SE SLATER ST
STUART FL 34997

JEB BUSH
GOVERNOR

SIMONE MARSTILLER
SECRETARY

DISPLAY AS REQUIRED BY LAW

**2006-2007 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34985.
(772) 289-5604

LICENSE 2003-513-0046 CERT CCC1326574
PHONE (772)287-2829 SIC NO 233210

LOCATION: 3341 SE SLATER ST SW STU

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	_____
\$	<u>.00</u>	PENALTY \$	_____
\$	<u>.00</u>	COL. FEE \$	_____
\$	<u>.00</u>	TRANSFER \$	_____
TOTAL			<u>28.00</u>



RECEIPT of PAYMENT
LARRY C. O'STEEN
99 09/28/2006 NORMA
20030005130004
002 2005 0015641
CODE RED ROOFERS. I

GLAS EDWARD (QUALIFIER)
ROOFERS, INC.
SLATER ST.
STUART FL 34997

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF
OF **CERTIFIED RESIDENTIAL CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

27 DAY OF SEPTEMBER 06
AND ENDING SEPTEMBER 2007

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri THURS 7-26, 2007 Page 1 of 1

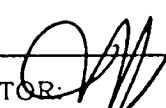
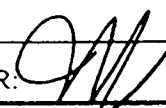

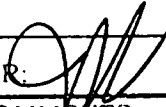

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8528	Masterpiece Sys S Mandalay Masterpiece	Plumbing 2nd stage	PASS	INSPECTOR: <i>[Signature]</i>
8561	WAF Malon	tin tag	PASS	
8:15	5 Melody La Code Red Roofers			INSPECTOR: <i>[Signature]</i>
8535	Stark 875 River Rd Emil LaViola	Partial beam slab	FAIL	INSPECTOR: <i>[Signature]</i>
8563	Kelso 18 Riv Vista Sanco	dry in flashing	PASS	INSPECTOR: <i>[Signature]</i>
8563	TRIE	TRIE	PASS	
	2 FIELDWAY			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8-13, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7338	McCormick	Preliminary	CANCEL	_____
5	59 N. River Rd Fine Orchard	FOR FINAL		INSPECTOR: _____
8436	Tooman 37 W High Pt All American	in-progress	PASS	INSPECTOR: 
8661	McNorton	Final	PASS	CLOSED
3	5 S. Sewalls Code Red Roofers			INSPECTOR: 
8672	Terrano 4 Kingston Ct Gulick	Insulation	PASS	INSPECTOR: 
8512	Valdes 107 N Sewalls Sewalls Pt Co.	stem wall	PASS	INSPECTOR: 
8589	HARDIN 27. S. RIVER Station	U.G. PLUMBING	PASS	1ST LEVEL MAIN HOUSE INSPECTOR: 
C.E.	S. RIVER	TREE w/o PERMIT		TRIMMING TREE ONLY - NO PERMIT INSPECTOR: <u>RED'D.</u>
OTHER: _____				

9642

FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9642	DATE ISSUED:	DECEMBER 1, 2010
SCOPE OF WORK:	FENCE		
CONDITIONS :			
CONTRACTOR:	OB		
PARCEL CONTROL NUMBER:	013841008-000-000308	SUBDIVISION	MELODY HILL - LOT 3
CONSTRUCTION ADDRESS:	5 MELODY HILL		
OWNER NAME:	MC MAHON		
QUALIFIER:	OB	CONTACT PHONE NUMBER:	219-3541

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE CALL 287-2455 - 8:00AM TO 4:00PM

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

Date: 11/22/10 BUILDING PERMIT APPLICATION Permit Number: 9642

OWNER/TITLEHOLDER NAME: Brkin + Lora McMahon Phone (Day) 219-3541 (Fax)

Job Site Address: 5 Melady Hill City: Stuart State: FL Zip: 34996

Legal Description E 170' of lot 3 S of 10' Rd Parcel Control Number: 344/2422

Owner Address (if different): City: State: Zip:

SCOPE OF WORK (PLEASE BE SPECIFIC): 6ft Wood Shadow box fence with 1ft lattice top

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES X NO
Has a Zoning Variance ever been granted on this property? YES (YEAR) NO X (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 850 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Phone: Fax:

Qualifiers name: Street: City: State: Zip:

State License Number: OR: Municipality: License Number:

LOCAL CONTACT: Phone Number:

DESIGN PROFESSIONAL: Phone Number:

Street: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios: Enclosed Storage:

Carport: Total under Roof Elevated Deck: Enclosed area below DFE:

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

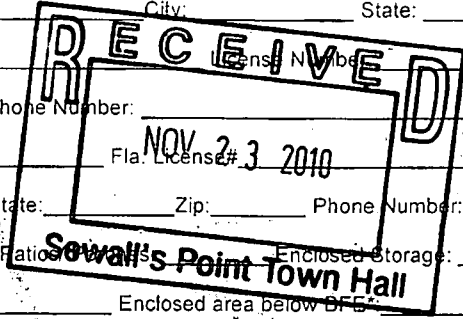
NOTICES TO OWNERS AND CONTRACTORS: 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF THIS PERMIT. THE INFORMATION FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND I AM AWARE OF ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT.

OWNER NOTORIZED SIGNATURE: (required on all applications) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) X [Signature] State of Florida, County of: Martin On This the 23rd day of Nov 2010 by LORA K mcMAHON known to me or produced by [Signature] As identification. [Signature] Notary Public My Commission Expires: 11/14/2014

CONTRACTOR SIGNATURE: X [Signature] State of Florida On This the 23rd day of Nov 2010 by [Signature] known to me or produced by [Signature] As identification. [Signature] My Commission Expires: [Signature]



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION. APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1.13

Summary

print Owner 3 of 25

Tabs

- Summary**
- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- Parcel Map →
- Trim Notice →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
01-38-41-008-000-00030-8	17733	5 MELODY HILL, SEWALL'S POINT	\$257,560	10/23/2010

Searches

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Maps →

Owner Information

Owner(Current)	MCMAHON BRIAN & LORA
Owner/Mail Address	5 MELODY HILL STUART FL 34996
Sale Date	06/28/2001
Document Number	JKB
Document Reference No.	1565 1966
Sale Price	130000

Location/Description

Account #	17733	Map Page No.	SP-03
Tax District	2200	Legal Description	MELODY HILL, E 170' OF LOT 3 S OF 10' RD OR 344/2422
Parcel Address	5 MELODY HILL, SEWALL'S POINT		
Acres	.3830		

Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Parcel Type

Use Code	0100 Single Family
Neighborhood	120500 Melody Hill,India Lucie

Assessment Information

Market Land Value	\$124,200
Market Improvement Value	\$133,360
Market Total Value	\$257,560

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

**OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT
 MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE**

**APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES
 AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE**

NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.

ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"

Owner/Builder Applicant Name: Brian + Lora McMahon

Site address of the proposed building work: 5 Melody Hill Stuart FL 34954

Name of legal title owner of the address above: same

Describe the scope of work for the proposed new construction: replace existing fence w/ left shadow box wood w/ lattice top

Name of Architect of Record: N/A Structural Engineer of Record: N/A

Who will supervise the trade work to meet the applicable code? Brian McMahon

What provisions have you made for Liability and Property Damage Insurance? We have homeowners insurance

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? Not using unlicensed people

What previous Owner/Builder improvements have you done in the State of Florida? numerous - own contracting comp.

Location: _____ Scope of Work Done: _____ Year: _____

Location: _____ Scope of Work Done: _____ Year: _____

What code books do you have available for reference? Building: Florida Building Code Manual - current

Electric: _____ Plumbing: _____ HVAC: _____

Other: _____

I have internet access and will view The Florida Building code at www.floridabuilding.org YES ___ NO ___

Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site? Yes (yes/no)

Have you consulted with your Homeowner's Insurance Agent? NO Lender? NO Attorney? NO

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. LM (initials).



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

OWNER/BUILDER DISCLOSURE STATEMENT

NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT.

13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE.

14. ANY PERSON WORKING ON YOUR BUILDING WHO IS NOT LICENSED MUST WORK UNDER YOUR DIRECT SUPERVISION AND MUST BE EMPLOYED BY YOU, WHICH MEANS THAT YOU MUST DEDUCT F.I.C.A. AND WITHHOLDING TAX AND PROVIDE WORKERS' COMPENSATION FOR THAT EMPLOYEE, ALL AS PRESCRIBED BY LAW.

15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT.

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT.

ON THIS 23rd DAY OF Nov, 20 10

PROPERTY ADDRESS 5 Melody

CITY Sewalls Pt STATE FL ZIP 34996

[Signature]

SIGNATURE OF OWNER/BUILDER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 23rd DAY OF Nov 20 10

BY LORA K McMahon

PERSONALLY KNOWN _____

OR PRODUCED ID

TYPE OF ID FL#M255-5

[Signature]

NOTARY SIGNATURE





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

FENCE and or POOL BARRIER CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

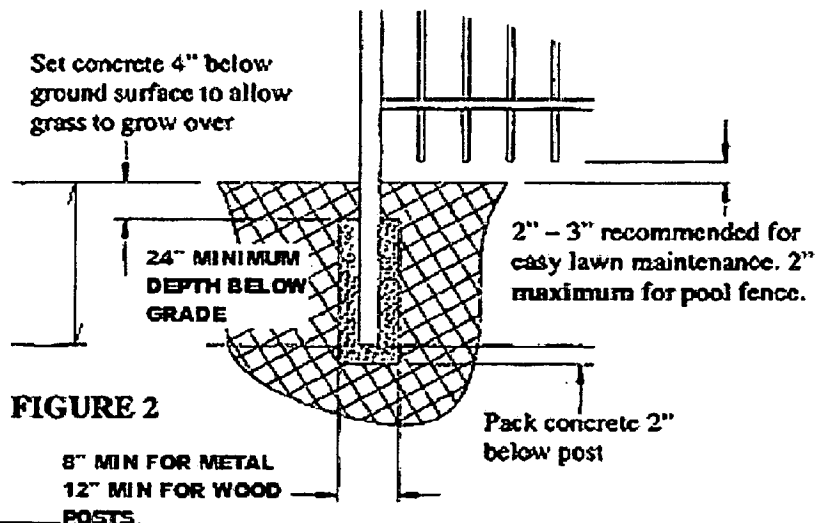
Please make sure you have ALL required copies before submitting permit application

- 1 Copy Completed permit application
- 2 Copies Survey or site plan showing the following:
 - All existing structures on property
 - Location of proposed fence
 - Setbacks from the fence to property lines
 - Height & type of fence
 - Location of all easements
 - Street & house number on site plans

DO NOT SUBMIT PREVIOUSLY STAMPED SITE PLANS

- 2 Copies support post footer sketch indicating size of footers. Fences to be used as a Pool Barrier (other than chain link fence) must include an accurate sketch or drawing indicating barrier requirement compliance.
- N/A 2 Copies, if fence crosses any easement, Easement agreement from all utility Companies are required. Agreement form included in permit package.

Typical Fence Footer



TOWN OF SEWALLS POINT

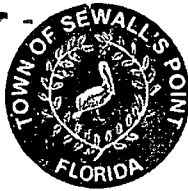
BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 4-6-11 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9752	Woods	Final Ac		
<u>1ST</u>	3.2 Castle Hill Way Nislin		Pass	Close INSPECTOR <i>J</i>
9142	McMaken	Final		
	5 Melody Hill OIB	Final	Pass	Close INSPECTOR <i>J</i>
91643	McMaken	Final		
	5 Melody Hill OIB	driveway	Pass	Close INSPECTOR <i>J</i>
Tree	Proctor	Tree		
	7 LANTAN	7 LANTAN.	OK	 INSPECTOR <i>J</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

9643

CONCRETE DRIVEWAY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9643	DATE ISSUED:	DECEMBER 1, 2010
SCOPE OF WORK:	CONCRETE DRIVEWAY ALTERATION		
CONDITIONS :			
CONTRACTOR:	OB		
PARCEL CONTROL NUMBER:	013841008-000-000308	SUBDIVISION	MELODY HILL - LOT 3
CONSTRUCTION ADDRESS:	5 MELODY HILL		
OWNER NAME:	MC MAHON		
QUALIFIER:	OB	CONTACT PHONE NUMBER:	219-3541

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____	UNDERGROUND GAS _____
UNDERGROUND MECHANICAL _____	UNDERGROUND ELECTRICAL _____
STEM-WALL FOOTING _____	FOOTING _____
SLAB _____	TIE BEAM/COLUMNS _____
ROOF SHEATHING _____	WALL SHEATHING _____
TIE DOWN /TRUSS ENG _____	INSULATION _____
WINDOW/DOOR BUCKS _____	LATH _____
ROOF DRY-IN/METAL _____	ROOF TILE IN-PROGRESS _____
PLUMBING ROUGH-IN _____	ELECTRICAL ROUGH-IN _____
MECHANICAL ROUGH-IN _____	GAS ROUGH-IN _____
FRAMING _____	METER FINAL _____
FINAL PLUMBING _____	FINAL ELECTRICAL _____
FINAL MECHANICAL _____	FINAL GAS _____
FINAL ROOF _____	BUILDING FINAL _____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

9643

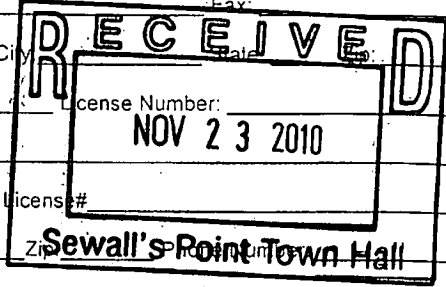
Date: 11/22/10 Permit Number: _____
 OWNER/TITLEHOLDER NAME: Brian & Lora McMahon Phone (Day) 219-3541 (Fax) _____
 Job Site Address: 5 Melody Hill City: Stuart State: FL Zip: 34994
 Legal Description E 170' of lot 3, 5 of 10' Rd Parcel Control Number: 344/2422
 Owner Address (if different): _____ City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC): Small Concrete driveway alteration

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES NO _____
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 1,200
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: _____ Phone: _____ Fax: _____
 Qualifiers name: _____ Street: _____ City: _____
 State License Number: _____ OR: Municipality: _____
 LOCAL CONTACT: _____ Phone Number: _____
 DESIGN PROFESSIONAL: _____ Fla. License # _____
 Street: _____ City: _____ State: _____ Zip: _____
 AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE* _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

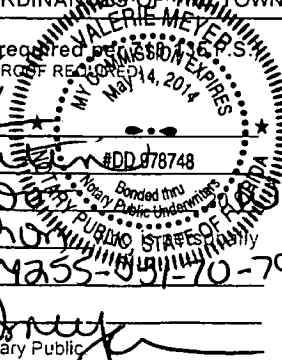
NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS; OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1. 105.4.1.1 - 5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.)
 OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
 X Lora McMahon
 State of Florida, County of: Martin #DD 978748
 On This the 23rd day of Nov
 by Lora K McMahon
 known to me or produced PLN# MASS-031-70-793-0
 As identification: Valerie Meyer
 Notary Public
 My Commission Expires: _____



CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)
 X _____
 State of Florida, County of: _____
 On This the _____ day of _____ 20____
 by _____ who is personally
 known to me or produced _____
 As identification: _____
 Notary Public
 My Commission Expires: _____

SINGLE-FAMILY-PERMIT-APPLICATIONS-MUST-BE-ISSUED-WITHIN-30-DAYS-OF-APPROVAL-NOTIFICATION-(FBC-105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmax.com 1.13

Summary

print Owner
3 of 25

Tabs

Summary

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- Parcel Map →
- Trim Notice →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
01-38-41-008-000-00030-8	17733	5 MELODY HILL, SEWALL'S POINT	\$257,560	10/23/2010

Owner Information	
Owner(Current)	MCMAHON BRIAN & LORA
Owner/Mail Address	5 MELODY HILL STUART FL 34996
Sale Date	06/28/2001
Document Number	JKB
Document Reference No.	1565 1966
Sale Price	130000

Searches

- Parcel ID
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Maps →

Location/Description			
Account #	17733	Map Page No.	SP-03
Tax District	2200	Legal Description	MELODY HILL, E 170' OF LOT 3 S OF 10' RD OR 344/2422
Parcel Address	5 MELODY HILL, SEWALL'S POINT		
Acres	.3830		

Functions

- Property Search
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Parcel Type	
Use Code	0100 Single Family
Neighborhood	120500 Melody Hill,India Lucie

Assessment Information	
Market Land Value	\$124,200
Market Improvement Value	\$133,360
Market Total Value	\$257,560

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

**RIGHT OF WAY DRIVEWAY COVENANT
FOR MATERIAL OTHER THAN BROOM FINISHED CONCRETE OR ASPHALT**

STATE OF FLORIDA
COUNTY OF MARTIN

PERMIT NUMBER _____

THIS COVENANT, made by _____ and legal owners (hereinafter "The Owners") of the property described as: Lot _____, Block _____, according to the Plat of _____, as recorded in Plat Book _____, Page _____, of the Public Records of Martin County, Florida, also known as _____ (Street address)

WHEREAS, the Owners have applied for a permit to construct a driveway of _____ construction, a portion of which will be constructed in the Town right-of-way, and such construction will not be of asphalt or regular broom finish concrete, typical for driveways in right-of-way, and such construction will not be of asphalt or regular broom finish concrete, typical for driveways in right-of-way authorized by the Town of Sewall's Point or of driveway materials which the Town constructs, repairs, or replaces when it performs activities in its rights-of ways; and

WHEREAS, the Owners desire to construct the driveway and wish to recognize that the Town of Sewall's Point shall have no responsibility to replace the driveway if it performs any activity on the right-of-way.

NOW THEREFORE, in return for the benefits that will accrue from the construction of their driveway, and in accordance with the criteria for permits for constructing driveways other than those types aforementioned through Land Covenant right-of-way, The Owners of the above described property hereby agree and covenant that the Town of Sewall's Point shall not bear any responsibility for replacement of such driveway located within the right-of-way on this said property, should the need arise.

The Owners agree and covenant that the cost of replacement of the driveway, if required, will be borne by the Owners, their heirs, assigns and successors. This Covenant shall run with the land.

OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____ 20____

BY _____

PERSONALLY KNOWN _____ OR PRODUCED ID _____

TYPE OF ID _____

NOTARY SIGNATURE

THIS COVENANT MUST BE RECORDED AT THE CLERK'S OFFICE AND THE RECORDED COPY SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO ISSUING CERTIFICATE OF OCCUPANCY OR A FINAL DRIVEWAY INSPECTION.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

**OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT
 MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE**

**APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES
 AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE**

NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.

ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"

Owner/Builder Applicant Name: Brian + Lora McMahon

Site address of the proposed building work: 5 Melady Hill Stuart, FL 34996

Name of legal title owner of the address above: same

Describe the scope of work for the proposed new construction: small concrete driveway alteration

Name of Architect of Record: N/A Structural Engineer of Record: N/A

Who will supervise the trade work to meet the applicable code? Brian McMahon

What provisions have you made for Liability and Property Damage Insurance? we have homeowners insurance

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? not using unlicensed people

What previous Owner/Builder improvements have you done in the State of Florida? Numerous - own contracting comp

Location: _____ Scope of Work Done: _____ Year: _____

Location: _____ Scope of Work Done: _____ Year: _____

What code books do you have available for reference? Building: Florida Building Code Manual - current

Electric: _____ Plumbing: _____ HVAC: _____

Other: _____

I have internet access and will view The Florida Building code at www.floridabuilding.org YES ___ NO ___

Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site? Yh (yes/no)

Have you consulted with your Homeowner's Insurance Agent? no Lender? no Attorney? no

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. Yh (initials).



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

OWNER/BUILDER DISCLOSURE STATEMENT

NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

12. YOU MUST BE FAMILIAR WITH AND CALL FOR THE REQUIRED INSPECTIONS OF ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT.

13. AS AN OWNER/BUILDER YOU MUST VERIFY THAT ALL INDIVIDUALS OR FIRMS ENGAGED IN CONSTRUCTION/IMPROVEMENTS ACTIVITIES UNDER YOUR OWNER/BUILDER PERMIT ARE PROPERLY LICENSED AS REQUIRED BY STATE LAW OR LOCAL ORDINANCE.

14. ANY PERSON WORKING ON YOUR BUILDING WHO IS NOT LICENSED MUST WORK UNDER YOUR DIRECT SUPERVISION AND MUST BE EMPLOYED BY YOU, WHICH MEANS THAT YOU MUST DEDUCT F.I.C.A. AND WITHHOLDING TAX AND PROVIDE WORKERS' COMPENSATION FOR THAT EMPLOYEE, ALL AS PRESCRIBED BY LAW.

15. I, AS AN OWNER/BUILDER, IN CONSIDERATION OF A BUILDING PERMIT ISSUED BY SEWALL'S POINT, FLORIDA, AGREE TO INDEMNIFY AND HOLD HARMLESS SAID SEWALL'S POINT, FLORIDA, ITS OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS, DAMAGES, OR EXPENSES THAT SEWALL'S POINT MAY BE LIABLE FOR WHICH ARISE FROM THE CONSTRUCTION/IMPROVEMENTS ACCOMPLISHED IN CONNECTION WITH SAID BUILDING PERMIT.

I HEREBY ACKNOWLEDGE THAT I HAVE THOROUGHLY READ AND COMPLETELY UNDERSTAND THE PRECEDING PAGE OF THE OWNER/BUILDER DISCLOSURE STATEMENT.

ON THIS 23rd DAY OF Nov, 2010
 PROPERTY ADDRESS 5 Melody Hill
 CITY Sewall's Pt STATE FL ZIP 34996
Yona McMillan

SIGNATURE OF OWNER/BUILDER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 23rd DAY OF Nov 2010
 BY YONAK McMillan

PERSONALLY KNOWN _____

OR PRODUCED ID _____

TYPE OF ID FLDL#ma55-531-70-793-0
Valerie Meyer

NOTARY SIGNATURE



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **2-10-11** Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9687	Olson	dry-in/metal	PASS	
2	19 N Fever Rd All Am Roofing	Roof on garage		INSPECTOR <i>JW</i>
9674	Jordan	Final entry stairs	Monday	
1ST	12 Castle Hill Coastal Const			INSPECTOR
9654	Jordan	Final Garage opening & doors	Monday	
1ST	12 Castle Hill Coastal Const			INSPECTOR
9643	McMahon	driveway (form)	PASS	NO PAPER WORK POSTER ON SITE
3	51 Melody Hill OB	(form)		INSPECTOR <i>JW</i>
9693	McMahon	driveway (form)	PASS	
4	515 Sewalls OB			INSPECTOR <i>JW</i>
9681	NEAL	FINAL	PASS	THERE ARE NO SCOPERS FOR EMERGOVERFL
	173 55 DR, ALL AREA ROOF			INSPECTOR <i>JW</i>
				INSPECTOR

9787

SOLAR HOT WATER HEATER



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9787	DATE ISSUED:	MAY 11, 2011
SCOPE OF WORK:	SOLAR HOT WATER HEATER		
CONDITIONS :			
CONTRACTOR:	CODE RED ROOFERS		
PARCEL CONTROL NUMBER:	013841008-000-000308	SUBDIVISION	MELODY HILL-LOT 3
CONSTRUCTION ADDRESS:	5 MELODY HILL		
OWNER NAME:	MC MAHON		
QUALIFIER:	DOUGLAS ROE	CONTACT PHONE NUMBER:	287-2829

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER/BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: 9187

Date: 5-6-11

OWNER/TITLEHOLDER NAME: Brian + Loree McMahon Phone (Day) 370-3666 (Fax) _____

Job Site Address: 5 Melody Hill City: Stuart State: FL Zip: 34996

Legal Description _____ Parcel Control Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): Solar Hot Water Heater

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 1500
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Code Red Roofers Phone: 287-2829 Fax: _____
Street: 3341 SE Slater St City: Stuart State: FL Zip: 34997

State License Number: CRC1326582 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Brian McMahon Phone Number: 370-0572

DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE* _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

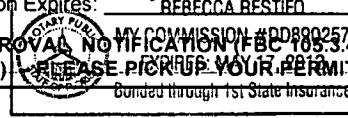
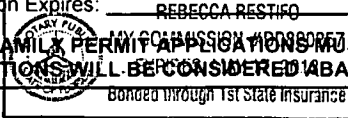
OWNER SIGNATURE: (required)
OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Brian McMahon
State of Florida, County of: Martin
This the 6th day of May, 2011
by Brian McMahon who is personally
known to me or produced
as identification. Rebecca Restifo
Notary Public

CONTRACTOR SIGNATURE: (required)
Douglas E. Poe
On State of Florida, County of: Martin
This the 6th day of May, 2011
by Douglas E. Poe who is personally
known to me or produced
As identification. Rebecca Restifo
Notary Public

My Commission Expires: REBECCA RESTIFO 5/1/13

My Commission Expires: REBECCA RESTIFO 5/1/13

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) PLEASE PICK UP YOUR PERMIT PROMPTLY!





Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmax.com 1,11

Summary



Owner
3 of 25

- Summary**
Print View
Land
Improvements
Assessments & Exemptions
Sales
Taxes →
NEW: Navigator
Parcel Map →
Parcel Map (To be phased out 6/1/11) →
Trim Notice →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
01-38-41-008-000-00030-8	17733	5 MELODY HILL, SEWALL'S POINT	\$257,560	5/7/2011

Owner Information

Owner(Current)	MCMAHON BRIAN & LORA
Owner/Mail Address	5 MELODY HILL STUART FL 34996
Sale Date	6/28/2001
Document Book/Page	1565 1966
Document No.	JKB
Sale Price	130000

- Searches**
Parcel ID
Owner
Address
Account #
Use Code
Legal Description
Neighborhood
Sales
NEW: Navigator
Maps →
Maps (To be phased out 6/1/11) →

Location/Description

Account #	17733	Map Page No.	SP-03
Tax District	2200	Legal Description	MELODY HILL, E 170' OF LOT 3 S OF 10' RD OR 344/2422
Parcel Address	5 MELODY HILL, SEWALL'S POINT		
Acres	.3830		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120500 Melody Hill,India Lucie

- Functions**
Property Search
Contact Us
On-Line Help
County Home
Site Home
County Login

Assessment Information

Market Land Value	\$124,200
Market Improvement Value	\$133,360
Market Total Value	\$257,560

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement



**SUBCONTRACTORS LIST
RESIDENTIAL, ADDITIONS, COMMERCIAL**

APPLICANT'S NAME Cade Red Roofers, Inc. BLDG. PERMIT # _____

MAILING ADDRESS 3341 SE Slater St Stuart FL 34997

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. **WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION.** USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. *(NOT OCCUPATIONAL LICENSE NUMBERS)*

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM		
CFI	- FINISH		
BM	BLOCK MASON		
CB	COLUMNS & BEAMS		
CA	CARPENTRY ROUGH		
GD	GARAGE DOOR		
DH	DRYWALL - HANG		
DF	- FINISH		
IN	INSULATION		
LA	LATHING		
FI	FIREPLACE		
PAV	PAVERS		
AL	ALUMINUM		
LP	LP GAS		
PAV	PAINTING		
PL	PLASTER & STUCCO		
ST	STAIRS & RAILS		
RO	ROOFING		
TM	TILE & MARBLE		
WD	WINDOWS & DOORS		
PLU	* PLUMBING	Thermal Water Works	CFC 1428176
AC	* HARV		
EL	* ELECTRICAL		

OK

AL	* LOW VOLTAGE BURGLAR ALARM		
VS	VACUUM SOUND		
IR	* IRRIGATION		
SH	SHUTTERS		

* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



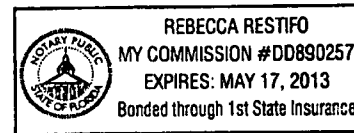
SIGNATURE OF CONTRACTOR
(OR OWNER BUILDER IF APPLICABLE)

STATE OF Florida COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 6th day
of May, 20 11


NOTARY PUBLIC

MY COMMISSION EXPIRES: 5/17/13



Allen Gezelman, P.E.

AL 24695-E, FL59180, NY081227, TX 101678

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

(NCEES records participant - expedited licensure in any US jurisdiction)
ENGINEER - PRIVATE PROVIDER - PRODUCT APPROVAL
16502 Hanna Rd. Lutz, FL 33549
Office- 813 909 1956, Cell 813 650 7246; Fax 866 397 9050
bolson1@tampabay.ir.com

Notice to Installers, Authorities Having Jurisdiction & Other Interested Parties

Subject: Alternate lagging - Change to Sealed Permit Set A1.0.

Sir/Madam:

30 October 08

Lagging of SW solar water heating collectors for flush mount installation shall henceforth be allowed in Exposure category B and C and in both PZ1 and PZ2 at mean roof heights of 60-ft or less and in all wind zones thru 150 MPH so long as the following cautionary rules are observed. Lags shall be corrosion resistant steel, 3/8 inch diameter minimum or better. Lags shall achieve at least 3.5-inches of solid embedment in decking/truss/rafter-combination. Measurements must be carefully made and pilot holes shall be drilled to ensure hitting underlying rafters or trusses and to avoid wood splitting. When installing in higher wind speed zones beyond 120 MPH and/or higher mean roof heights beyond 30 ft the number of lags shall be increased 50% for each incremental step, e.g. PZ increase from PZ1 to PZ2 increase number of lags by 1 lag on each side in PZ2

For an increase in wind zone beyond 120 MPH up to and including 150 MPH, increase number of lags 50%. Increase in mean roof height up to and including 60-ft, increase number of lags 50%. These incremental increases shall be additive, e.g., a single collector in PZ1 at 30-ft mean roof shall have a total of 4 lags, 2 lags on each side on two opposite sides of the collector.

Whereas, extending part of the collector into PZ 2 would require adding 1 additional lag on the side(s) extending into PZ2. For an increase in wind zone speed, add 2 lags (1 each on opposite sides of collector). For an increase in mean roof height of collector installation, add 2 lags (1 each on opposite sides of collector).

As an example, a single collector installed flush mount, at 60-ft mean roof height, 150 MPH, exposure category C would require 8-lags, rationally distributed, each lag penetrating into underlying wood for at least 3.5-inches.

Those having questions or needing additional, raised sealed copies of this document are invited to contact me directly.

Sincerely,

Allen Gezelman
30 Oct 08

Allen Gezelman, P.E.
AL 24695-E, FL59180, NY081227, TX 101678

(NCEES records participant - expedited licensure in any US jurisdiction)
ENGINEER - PRIVATE PROVIDER - PRODUCT APPROVAL

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Office- 813 909 1956, Cell 813 650 7246; Fax 866 397 9050
bolson1@tampabay.rr.com

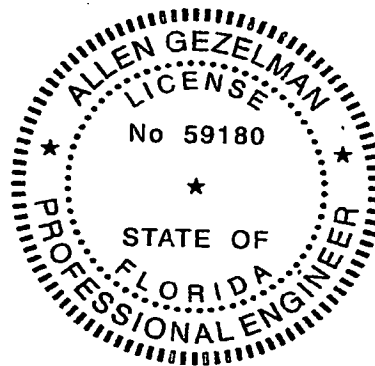
TO WHOM IT MAY CONCERN:

26 Jan 08

I hereby authorize installing contractors to indicate on my solar, permit-ready, plans the details on the particular plan which are going to be used on the specific job. The contractor should indicate only those details by circling them and initialing within the circle of each detail being used.

I may be contacted per the letterhead for any questions.

Sincerely,



Allen Gezelman, P.E.
AL 24695-E, FL59180, NY081227
 (NCEES records participant – expedited licensure in any US jurisdiction)
 ENGINEER - PRIVATE PROVIDER – PRODUCT APPROVAL
 16502 Hanna Rd. Lutz, FL 33549
 Office- 813 909 1956. Cell 813 650 7246; Fax 866 397 9050
bolson1@tampabay.rr.com

Red Hot Solar Energy, Inc.
16059 East Alan Black Boulevard
Loxahatchee, FL 33470

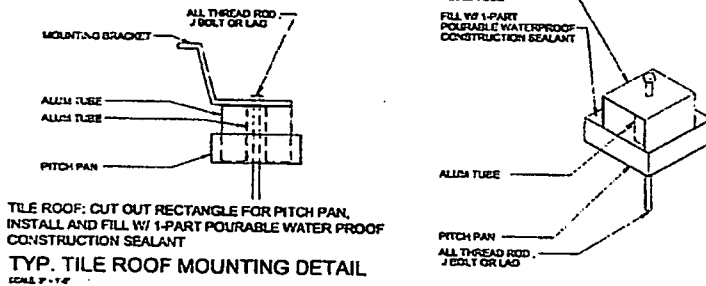
Email: cadillacchuck69@aol.com
 561 790 6685
 954 772 7898
 800 785 6400

Dear Mr. Grundt:

8 Sept 09

Thanks for your phone call. I agree with you that the old method, using the 4" aluminum square stock inside a pitch pan, is a better choice when installing solar hot water panels in conjunction with a tile re-roof. I will add that detail back to the generic, DHW permit-ready, plan prior its' the next printing. In the meantime, you are authorized to use this detail on jobs between now and then.

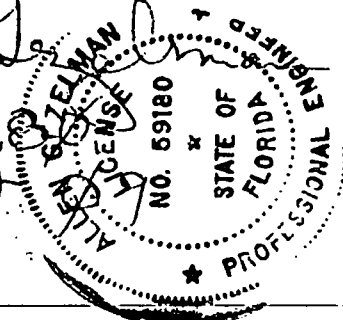
I am pasting that detail hereon and am signing and sealing this letter to certify your authorization to use the detail shown below:



You and other dealers are free to use this detail, to show it to inspectors and to give copies of this letter to building departments. Also, I am willing to answer any questions AHJs or inspectors may have about this or any other matter involving solar..

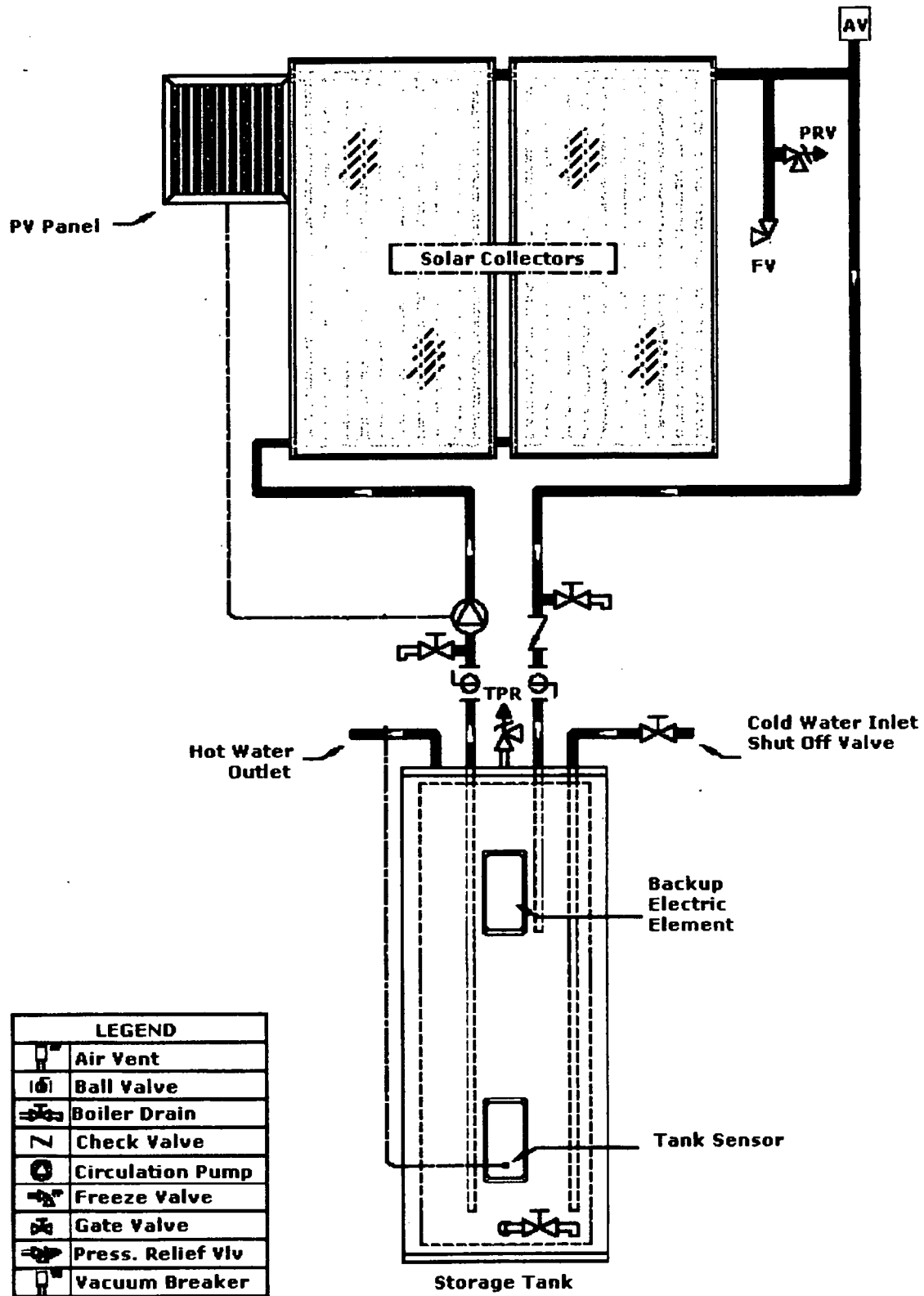
Certified,

Allen Gezelman
 PE 59180
 8 Sept



DIRECT "DPV" SYSTEM

80/120 Gallon Systems



SCOPE OF WORK:
INSTALLATION OF A SOLAR WATER HEATING SYSTEM WITH A ROOF TOP COLLECTOR

DESIGNED PER:
ASCE 7-05

WIND LOAD:
DESIGNED FOR 160 MPH

WIND EXPOSURE:
EXPOSURE CATEGORY C

SOLAR SYSTEM COLLECTOR:
MODEL: AE-21/AE-24/AE-26/AE-28/AE-32/AE-40
MSC21 / MSC-32 / MSC-40 / SHC-21/SHC-32/SHC-40

APPLICABLE CODE:
FLORIDA 2007 CODE W09 SUPP

THIS PLAN IS VOID WITHOUT MY SIGNATURE & RAISED SEAL. THIS PLAN MAY NOT BE PLACED ON FILE FOR PULLING MULTIPLE PERMITS. EACH PERMIT PULLED REQUIRES ITS OWN RAISED SEAL COPY OF THIS PLAN.

I CERTIFY THAT THIS DESIGN & SPECIFICATIONS MEET THE REQUIREMENTS OF THE CURRENT FLORIDA BUILDING CODE.

ALLEN GEZELMAN
16502 HANNA RD.
LUTZ, FLORIDA 33549

PH: 813 650 7246
FX: 866 397 9050
Allen@GezelmanPE.com
www.GezelmanPE.com

Professional Engineer
State of Florida
No. 59180

cAdvice.us

Contact: cAdvice Inc
3603 E Renelle Cir
Tampa, FL 33629
PH: 813 919 9154
FX: 866 694 7251
mail@cAdvice.us // www.cAdvice.us

INSTALLATION OF A ROOF TOP SOLAR WATER HEATER

SYSTEM:
Solar Hydronics Corp.
1423 GUNN HIGHWAY
ODESSA, FL 33556
REV.083109-TM

PUBLISHED: 9/30/2009 7:30:21 PM

THIS IS A SINGLE SHEET PLAN

SHEET NAME:
PERMIT SET

DRAWN: SB CHECKED: AG

SHEET NO:
A:1.3

SOLAR HYDRONICS CORP (FORMERLY KNOWN AS SOLAR WORLD) DOMESTIC HOT WATER (DHW) INSTALLATION NOTES: 10 JULY 09

GENERAL: THIS DRAWING AND THE SPECIFICATIONS HEREON ESTABLISH THE MINIMUM REQUIREMENTS FOR DHW EQUIPMENT ON BUILDINGS IN IRONDA 60 FEET OR LESS IN HEIGHT AND AT ROOF ANGLES FROM FLAT UP TO 25 DEGREES. FOR THIS PARTICULAR INSTALLATION DOCUMENT, THE SOLAR HYDRONICS CORP DHW SOLAR PANELS MAY BE INSTALLED PARALLEL TO THE ROOF PLANE WITH HOLD DOWNS FLUSH ON TOP OF THE UPPER SURFACE OF THE ROOF COVERING OR TILTED UP TO ACHIEVE BETTER SOLAR COLLECTION. FLUSH-MOUNT SHALL REQUIRE 4-ANCHORS* (3/8-INCH DIAMETER CRS, CORROSION RESISTANT STEEL) IN PZ-1 & PZ-2, EXPOSURES B & C, IN ALL WIND ZONES UP TO AND INCLUDING 160 MPH. *ANCHORS CAN EITHER BE, AT CONTRACTOR'S CHOICE, 4-ANCHORS FOR A SINGLE COLLECTOR OR 2-ANCHORS PER TWO COLLECTORS THRU USE OF APPROVED RACKING TO THE TWO COLLECTORS TOGETHER. SEE FIGURE 2. TILT-UP IS PERMITTED ONLY WITH THE FOLLOWING STIPULATIONS: 1) NO INSTALLATIONS OUTSIDE OF PRESSURE ZONE 1; 2) USE ONLY OEM HARDWARE EXCEPT #14 TKS PER FIGURE 2; 3) COLLECTOR LONG AXIS HORIZONTAL AND 30 DEGREES MAXIMUM TILT ANGLE; 4) WIND ZONE 140 MPH AND LESS REQUIRE 4-ANCHORS PER TILT-UP COLLECTOR; 5) WIND ZONES GREATER THAN 140 MPH REQUIRE 6-ANCHORS PER TILT-UP COLLECTOR AND MINIMUM TILT POLE WALL THE THICKNESS OF 1/4" INCH. CONTRACTOR SHALL KEEP LAG BOLT LOADING TO UNDER 526 POUNDS OF UPLIFT. REFER TO WIND LOAD CALCULATIONS AT [HTTP://WWW.CADVCE.US/SW/WINDLOADCALCULATION.PDF](http://www.cadvice.us/sw/windloadcalculation.pdf) WHEN LAG LIMIT IS EXCEEDED CONTRACTOR SHALL USE MORE LAGS, J-BOLTS OR ALL-THREAD ROD, FOUR J-BOLTS OR ALL-THREAD RODS CAN HANDLE THE LOAD OF 2-EACH, 405F SOLAR COLLECTORS IN ALL LOADING CASES ON THE CHART. WHEN STRAYING INTO PZ2, INCREASE ANCHORS 50% ON THE PORTION OF THE COLLECTOR IN PZ2. ABSOLUTELY NO INSTALLATIONS IN PZ3.

TESTING: THE SOLAR HYDRONICS CORP DHW COLLECTORS HAVE PASSED MIAMI TESTING LABS WIND LOAD TESTING OF -102 PSF PER ASTM E-330 (MFL FILE NUMBER 95-1249). THIS ENGINEER HAS EVALUATED THE INSTALLATION COMPONENTS AND HARDWARE CURRENTLY PROVIDED BY SOLAR HYDRONICS CORP AS OEM INSTALLATION KITS AND FOUND THEM TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE CURRENT AS OF THE DATE OF THIS PLAN. THERE SHALL BE NO SUBSTITUTION OF OTHER VENDOR MATERIALS (OTHER THAN THE GENERIC # 14 BY 1/2 INCH, SS, SELF-DRILLING, SCREWS AS SHOWN IN FIGURE 2) WITHOUT PRIOR APPROVAL OF THIS ENGINEER THRU SOLAR HYDRONICS CORP.

HARDWARE: THIS ENGINEER HAS DETERMINED THAT THE HOLD-DOWN HARDWARE AND FASTENERS SUPPLIED BY SOLAR HYDRONICS CORP WILL WITHSTAND HABITABLE FORCE WINDS UP TO AND INCLUDING 160 MPH 3-SECOND GUSTS. THE ONLY REMAINING VARIABLE OF SIGNIFICANCE IS THE ATTACHMENT OF THE HOLD DOWNS TO THE UNDERLYING ROOF SYSTEM USING OEM HARDWARE. LAGGING OF SHC DHW COLLECTORS FOR FLUSH MOUNT INSTALLATION (PARALLEL WITH THE ROOF SURFACE AND AS CLOSE THEREAS PERMITTED BY OEM HARDWARE) SHALL BE ALLOWED IN EXPOSURE CATEGORY B AND C AND IN BOTH PZ1 AND PZ2 AT MEAN ROOF HEIGHTS OF 60 FT OR LESS AND IN ALL WIND ZONES THRU 150 MPH SO LONG AS THE FOLLOWING CAUTIONARY RULES ARE OBSERVED. LAGS SHALL BE CORROSION RESISTANT STEEL, 3/8 INCH DIAMETER MINIMUM OR BETTER. LAGS SHALL ACHIEVE AT LEAST 3-INCHES OF THREAD EMBEDMENT IN RAFTER OR BLOCKING. MEASUREMENTS MUST BE CAREFULLY MADE AND PILOT HOLES SHALL BE DRILLED TO ENSURE HITTING UNDERLYING RAFTERS OR TRUSSES AND TO AVOID WOOD SPLITTING.

SPECIAL PROCEDURES TO USE WHEN, IN THE INSTALLER'S OPINION, HITTING THE CENTER OF TRUSS OR RAFTER WITH A LAG CANNOT BE ASSURED, EITHER USE A 3/8 INCH (MIN) "J" BOLT GRABBING THE TRUSS/RAFTER OR 3/8 INCH DIAMETER (MIN) ALL-THREAD ROD PLUS STANDARD FENDER & LOCK WASHERS AND NUT THRU MINIMUM 4" BY 4" BY 9" BLOCKING ON THE UNDERSIDE OF THE ROOF SHEETING. WHEN BLOCKING IS USED, INSTALLER SHALL APPLY A BEARING HEAD OF CONSTRUCTION ADHESIVE FOR MINIMUM OF 1 FT ALONG THE NEAR JOINTS OF THE ROOF TRUSS AND SHEETING ON EACH TRUSS ON BOTH SIDES OF THE BLOCKING - SEE FIGURE 2 ON THIS SHEET.

PLUMBING SHALL BE PER FIGURE 1. FLORIDA PLUMBING CODE SHALL BE ADHERED TO. PARTICULAR ATTENTION SHALL BE GIVEN TO PROTECT AGAINST OVER-PRESSURE AND FREEZING - PER FLORIDA MECHANICAL CODE, CHAPTER 14, AND PER SOLAR HYDRONICS CORP INSTALLATION INSTRUCTIONS. THIS DRAWING SHOWS THE "D" VERSION PLUMBING. HOWEVER, THERE ARE OTHER VARIANTS (PHOTO-VOLTAIC PUMP, INDIRECT, AND/OR DRAIN-BACK) WHICH, ALTHOUGH NOT SPECIFICALLY SHOWN HEREON, ARE COVERED BY THIS SEALED DRAWING - SO LONG AS INSTALLED PER SOLAR HYDRONICS CORP INSTALLATION INSTRUCTIONS.

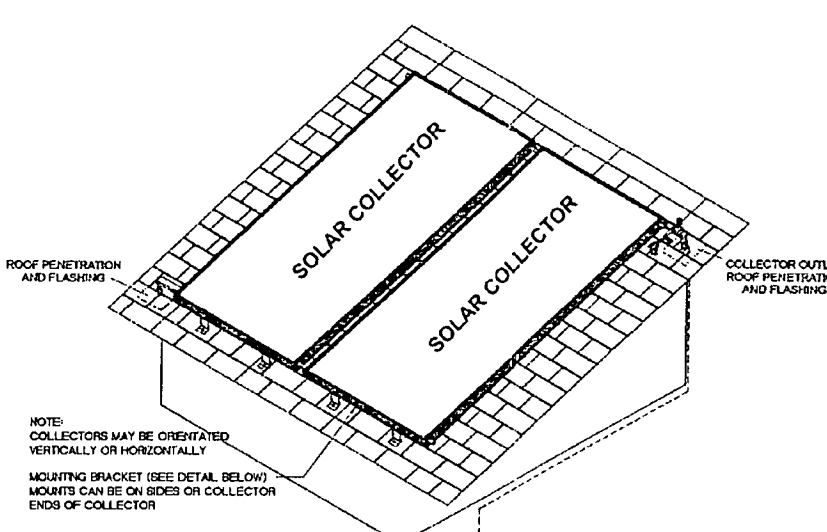
WATERPROOFING INSTALLER SHALL ADHERE TO REQUIREMENTS OF IRC CHAPTER 15 (ROOFING) AND BEST PRACTICES OF THE NRCA ROOFING & WATERPROOFING MANUAL TO ENSURE THAT THE SOLAR INSTALLATION DOES NOT CAUSE ROOF LEAKS AT INITIAL INSTALLATION OR AS THE SYSTEM "AGES".

QUESTIONS: INSTALLERS, AUTHORITIES HAVING JURISDICTION, OR OTHERS HAVING QUESTIONS OR DIFFERING CONDITIONS, MAY CONTACT THIS ENGINEER DIRECTLY - CELL: 813 650 7246, FAX: 866 397 9050, E-MAIL: BOLSOM@FANPABAY.RL.COM

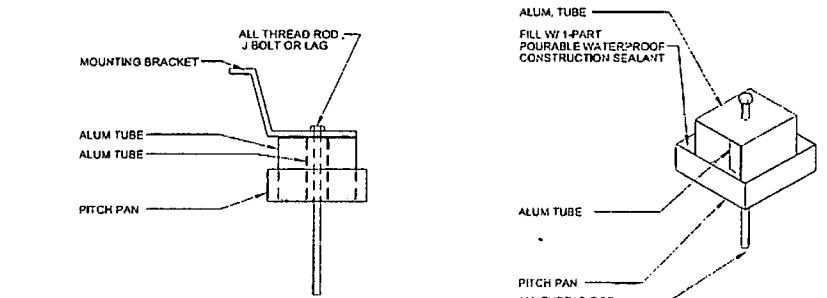
NOTE: SUITABLE FOR HVHZ SEE CALCULATIONS: [HTTP://WWW.GEZELMANPE.COM/INSTALLATIONDWS.HTML](http://www.gezelmanpe.com/installationdws.html)
REGARDING WIND LOAD - MY DESIGNS CLEARLY SHOW COMPLIANCE PER ASCE 7 WITH THE FLORIDA BUILDING CODE.

REGARDING GRAVITY LOAD - OUR HEAVIEST COLLECTOR WEIGHS 165 POUNDS WHICH IS DISTRIBUTED OVER A 40 SF AREA. WATER IN THE COLLECTOR IS NEGLIGIBLE. EACH COLLECTOR HOLDS ABOUT A GALLON OF WATER. POOL COLLECTORS A BIT MORE, HOT WATER COLLECTORS A LITTLE LESS. REGARDLESS, SOLAR PANELS ARE AN INSIGNIFICANT LOAD ON THE ROOF UNDERNEATH.

GENERAL NOTE:
ALL HOT WATER SOLAR COLLECTORS SOLD IN THIS STATE ARE REQUIRED TO HAVE BEEN TESTED BY THE FLORIDA SOLAR ENERGY CENTER AND BEAR ITS CERTIFICATION LABEL. THE COLLECTORS LISTED ON THIS PLAN COMPLY WITH THOSE REQUIREMENTS. FURTHER INFORMATION MAY BE ACCESSED ON LINE AT: [HTTP://WWW.FSEC.UCF.EDU/EN/INDUSTRY/TESTING/STCOLLECTORS/HOT_WATER_RATINGS/INDEX.HTM](http://www.fsec.ucf.edu/en/industry/testing/stcollectors/hot_water_ratings/index.htm)

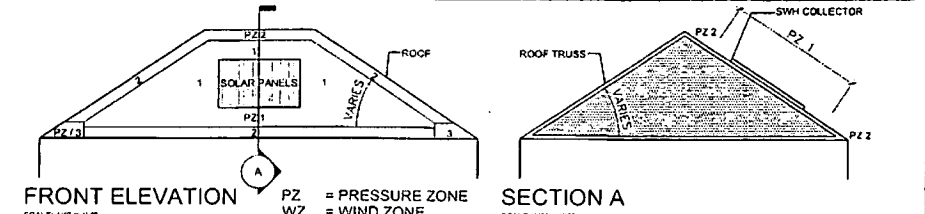


ROOF INSTALLATION DIAGRAM
SCALE: 1/4" = 1'-0"

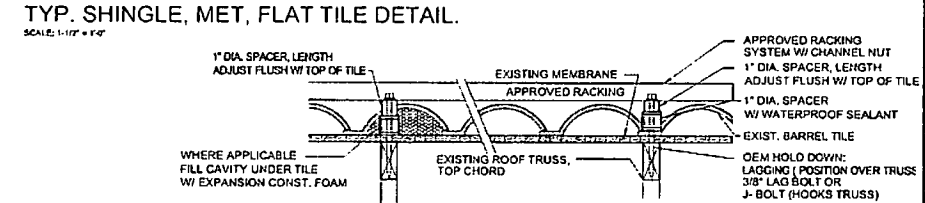


ALTERNATE TILE ROOF MOUNTING DETAIL
SCALE: 3/4" = 1'-0"

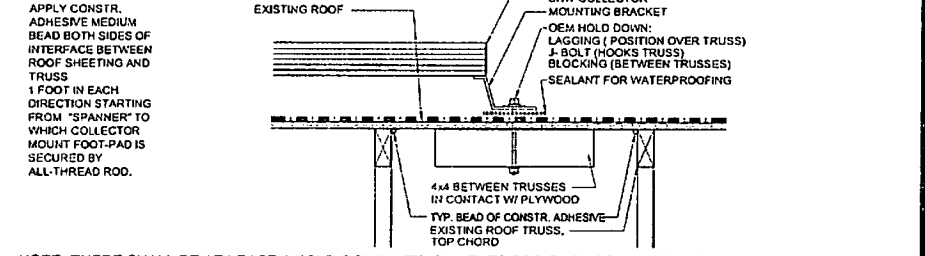
FIGURE 2
SCALE: VARIES



FRONT ELEVATION SCALE: 1/4" = 1'-0"
SECTION A SCALE: 1/4" = 1'-0"

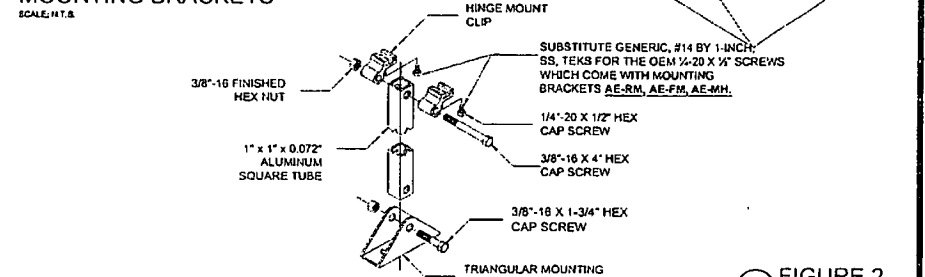
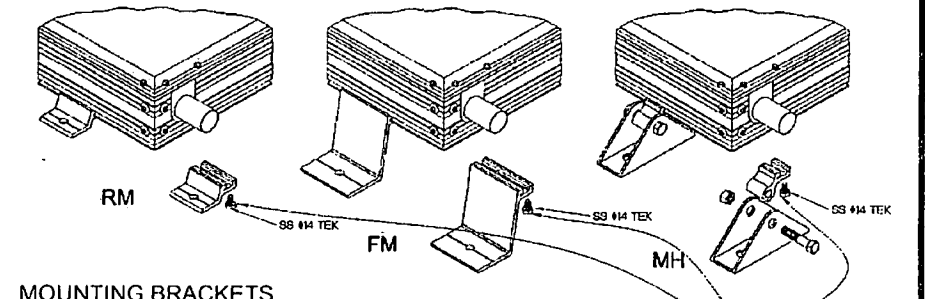


TYP. SHINGLE, MET, FLAT TILE DETAIL
SCALE: 1/4" = 1'-0"



TYP. BARREL TILE ROOF MOUNTING DETAIL
SCALE: 1/4" = 1'-0"

TYP. MOUNTING DETAIL
SCALE: 1/4" = 1'-0"



TILT KIT - DECK ANCHOR
SCALE: 1/4" = 1'-0"

FIGURE 2
SCALE: VARIES

DIRECT "D" SYSTEM
THIS DRAWING SHOWS THE SOLAR HYDRONICS CORPORATION DHW "D" (DIRECT) SYSTEM AND THIS PARTICULAR SYSTEM'S PLUMBING. THERE ARE OTHER, SLIGHTLY DIFFERENT, SOLAR HYDRONICS CORPORATION DHW SYSTEM VARIANTS WHICH ARE ALSO COVERED BY THIS SEALED DRAWING. THIS IS BECAUSE THE CRITICAL ELEMENT - THE COLLECTOR(S) AND ROOF MOUNTING DETAILS REMAIN THE SAME WHETHER THE SOLAR HYDRONICS CORP DHW SYSTEM BEING INSTALLED IS A DIRECT, IN-DIRECT OR DRAIN-BACK MODELS WHICH CAN BE CONFIGURED WITH EITHER AN A/E OR D/E CONTROLLED ELECTRIC PUMP.

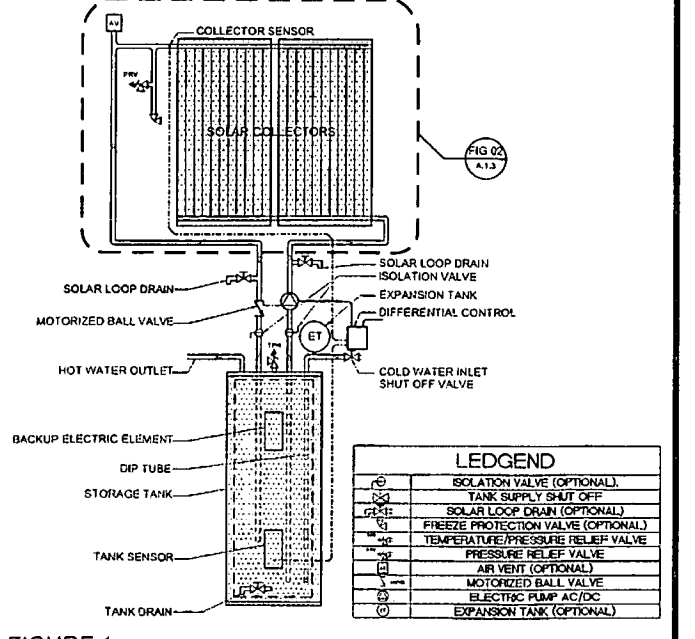


FIGURE 1
SCALE: N.T.S.

EXPLANATORY INFORMATION

ENLARGED VIEWING & HYPERLINKS:
PRINT VERSION OF THIS PLAN PROVIDES MINIMUM INFORMATION NEEDED BY USERS. ELECTRONIC VERSION (EV) PROVIDES MAGNIFIED VIEWING UP TO 6400%. EV ALSO PROVIDES HYPERLINK ACCESS TO OEM MANUALS AND ABUNDANT OTHER SUPPLEMENTARY INFORMATION. EV MAY BE ACCESSED AT [HTTP://WWW.CADVCE.US/SW/AS.1.3.WF.PDF](http://www.cadvice.us/sw/as.1.3.wf.pdf)

THERE ARE THREE PROPRIETARY RACK SYSTEMS APPROVED FOR USE WITH THIS PLAN. THESE MAY BE USED TO SUPPLEMENT OR TO REPLACE THE DETAILS SHOWN IN FIGURE 2. IN ALL CASES REFER TO OEM INSTRUCTIONS FOR DETAILS/SYSTEM BEING USED. IN THE EVENT OF A CONFLICT BETWEEN OEM INSTRUCTIONS AND THIS PLAN, OEM INSTRUCTIONS SHALL PREVAIL.

OEM MANUALS MAY BE ACCESSED ELECTRONICALLY USING THE FOLLOWING HYPERLINKS:
[HTTP://WWW.UNISTRUT.COM/LITERATURE/INDEX.PHP?DOC=HD14&PG=1](http://www.unistrut.com/literature/index.php?doc=HD14&pg=1)
[HTTP://WWW.IRONRIDGE.COM/FILES/XRS/IRONRIDGE_XRS_7_RAIL_SYSTEM.PDF](http://www.ironridge.com/files/xrs/ironridge_xrs_7_rail_system.pdf)
[HTTP://WWW.UNIRAC.COM/PDF/N227.PDF](http://www.unirac.com/pdf/n227.pdf)

STRUCTURAL LOADING:
THIS PLAN WAS ENGINEERED FOR THE ENTIRE STATE OF FLORIDA INCLUDING HVHZ. THE SOLAR EQUIPMENT REPRESENTED ON THIS PLAN IMPOSES A POSITIVE LOAD UPON THE ROOF STRUCTURE OF LESS THAN 4 PSF. WIND UPLIFT PRESSURE CALCULATIONS MAY BE VIEWED AT [HTTP://WWW.CADVCE.US/SW/WINDLOADCALCULATION.PDF](http://www.cadvice.us/sw/windloadcalculation.pdf)

THE UPLIFT PRESSURES FOR 160MPH, EXPOSURE CATEGORY C, BUILDING IMPORTANCE FACTOR CATEGORY II, HEIGHT 60-FT OR LESS, SLOPE 45 DEGREES OR LESS ARE: PZ1 - 66.6 PSF; PZ2 - 106.6 PSF; PZ3 - 153.2 PSF.

QUESTIONS REGARDING ROOF PRESSURE ZONES ARE REFERRED TO THE ASCE 7 DIAGRAM FOUND ON PAGE 5 AT THE ABOVE UNIRAC HYPERLINK.

FIGURE 3
SCALE: N.T.S.

COPY RIGHT & INTELLECTUAL PROPERTY NOTICE

ENLARGED VIEWING & HYPERLINKS: PRINT VERSION OF THIS PLAN PROVIDES MINIMUM INFORMATION NEEDED BY USERS. ELECTRONIC VERSION (EV) PROVIDES MAGNIFIED VIEWING UP TO 6400%. EV ALSO PROVIDES HYPERLINK ACCESS TO OEM MANUALS AND ABUNDANT OTHER SUPPLEMENTARY INFORMATION. EV MAY BE ACCESSED AT [HTTP://WWW.GEZELMANPE.COM/INSTALLATIONDWS.HTML](http://www.gezelmanpe.com/installationdws.html)

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-2-11 Page of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9787	McMahon	Hot Water		
	5 Melody Lane	Electric	Pass	Close
	Code Red	Fire		INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	Scott Zedler	Tree		
	1 Riverview	Reemit		
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9896	Juriet	A/C. Fird		
10	14 Castle		Pass	Close
	Air 3 Heat			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

WARRANTY DEED

This Document Prepared By and Return to:
Frederick G. Sundheim, Esq.
Oughterson, Sundheim & Woods, P.A.
310 SW Ocean Blvd.
Stuart, FL 34994
(561) 287-0660

COPY

Parcel ID Number: 1-38-41-008-000-00030-80000
Grantee #1 TIN:
Grantee #2 TIN:

Warranty Deed

This Indenture, Made this 28th day of June, 2001 A.D., **Between**
Richard I. Sparling, a single man

of the County of **Martin**, State of **Florida**, **grantor**, and
Brian McMahon and Lora McMahon, his wife

whose address is: _____

of the County of **Martin**, State of **Florida**, **grantees.**

Witnesseth that the GRANTOR, for and in consideration of the sum of
-----**TEN DOLLARS (\$10)**----- **DOLLARS,**
and other good and valuable consideration to GRANTOR in hand paid by GRANTEES, the receipt whereof is hereby acknowledged, has
granted, bargained and sold to the said GRANTEES and GRANTEES' heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of **Martin** State of **Florida** to wit:
See Exhibit "A" attached hereto and made a part hereof.

**Subject to restrictions, reservations and easements of record, if
any, and taxes subsequent to December 31, 2000.**

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

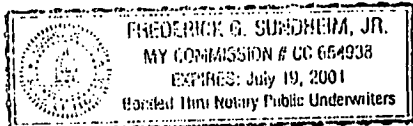
[Signature]
Printed Name: FRED SUNDHEIM, JR.
Witness

x *[Signature]* his attorney
Richard I. Sparling, By Patrick C. Sparling, his attorney-in-fact (Seal)
P.O. Address: , Stuart, FL 34994

[Signature]
Printed Name: Donielle Goodsell
Witness

STATE OF **Florida**
COUNTY OF **Martin**

The foregoing instrument was acknowledged before me this 28 day of June, 2001 by
Patrick C. Sparling, as attorney-in-fact for Richard I. Sparling,
a single man
he is personally known to me or he has produced his **Florida driver's license** as identification.



[Signature]
Printed Name _____
Notary Public
My Commission Expires: _____

EXHIBIT "A"

The East 170 feet of Lot 3, MELODY HILL, as recorded in Plat Book 3, page 135, Martin County, Florida, public records lying South of a 10 foot road, said road being more particularly described as follows:

A strip of land 10 feet in width in Lots 2 and 3, MELODY HILL, as recorded in Plat Book 3, page 135, Martin County, Florida, lying 5 feet each side of the following described line:

Begin at the northeast (n. e.) corner of Lot 3, bear south $62^{\circ}47'32''$ West along the north line of said Lot 3 a distance of 105 feet to the point of curvature of a curve to the left having a central angle of $30^{\circ}46'$ and a radius of 58.65 feet; thence, westerly along the arc of said curve a distance of 31.49 feet to the point of reverse curve having a central angle of $30^{\circ}46'$ and a radius of 58.65 feet; thence westerly along said curve a distance of 31.40 feet to the end of said curve; thence south $62^{\circ}47'32''$ West a distance of 58.50 feet to the point of a curvature of a curve to the right having a central angle of 90° and a radius of 16.50 feet; thence northwesterly along the arc of said curve a distance of 25.92 feet to the north line of said Lot 3 and the end of the described line.

TOGETHER WITH an easement and right-of-way for ingress and egress, in common with others, over, across, and upon the above-described strip of land 10 feet in width.

SUBJECT TO Easement Agreement recorded in Official Records Book 98, page 143, and easement recorded in Official Records Book 157, page 281, Martin County, Florida, public records; easements, zoning resolutions and building restrictions of public record; and ad valorem real estate taxes subsequent to December 31, 1971.

CORRESPONDENCE

Code Red Roofers, Inc.

3341 SE Slater Street
Stuart, FL 34997



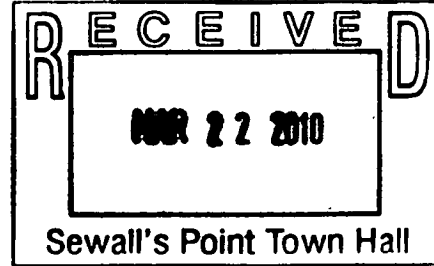
Office: (772) 287-2829
Fax: (772) 287-7763
www.coderedroofers.com

License # CCC1326574

*5 Melody Hill
HILL*

March 22, 2010

John R. Adams, CBO
Building Official
Town of Sewall's Point



Via Email: jadams@sewallspoint.martin.fl.us

Dear John,

In our pursuit of an insurance claim on the residence of 5 Melody Hill, Stuart, FL, I am requesting the addresses of other addresses in the vicinity who have filed insurance claims for flood damage. I understand this information is protected by The United States Privacy Act of 1974, 5 U. S. C. section 552(a) and as such will not be disseminated. These insurance claims would be dated between 2004 thru present.

Thank you in advance for your assistance.

Sincerely,

Brian McMahan

Brian McMahan
Vice President

From: brian [mailto:brian@coderedroofers.com]
Sent: Tuesday, March 02, 2010 10:04 AM
To: John Adams
Subject: McMahon - 5 Melody Hill

John,

I am trying to claim some minor flood damage from the hurricanes a few years ago and my insurance company wants a list of homes next to me that flooded. I know the real-estate office, the one behind me, and the one across the street caddie corner all flooded. Do you have on file a list of the home that you can email me that flooded?

Brian McMahon
Code Red Roofers, Inc.
"Roofers Who Respond"
772-287-2829
561-622-6343
772-370-0572 cell

No virus found in this incoming message.
Checked by AVG - www.avg.com
Version: 8.5.435 / Virus Database: 271.1.1/2716 - Release Date: 03/02/10 07:34:00

No virus found in this incoming message.
Checked by AVG - www.avg.com
Version: 8.5.435 / Virus Database: 271.1.1/2719 - Release Date: 03/03/10 07:34:00

TREE PERMITS

TOWN OF SEWALL'S POINT, FLORIDA

Date MARCH 21 2005 TREE REMOVAL PERMIT No 2440

APPLIED FOR BY PERRY (Contractor or Owner)

Owner 5 MELODY HILL

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 SEA GRAPE

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Summond Town Clerk

Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or additional notes]

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Definition: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner *Joseph Perry* Address *24 S. Sewalls Pt* Phone _____

Contractor *Living Waters Landscape* Address *5 melody hill* Phone _____

No. of Trees: REMOVE *1* Type: *Sea Grape*

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

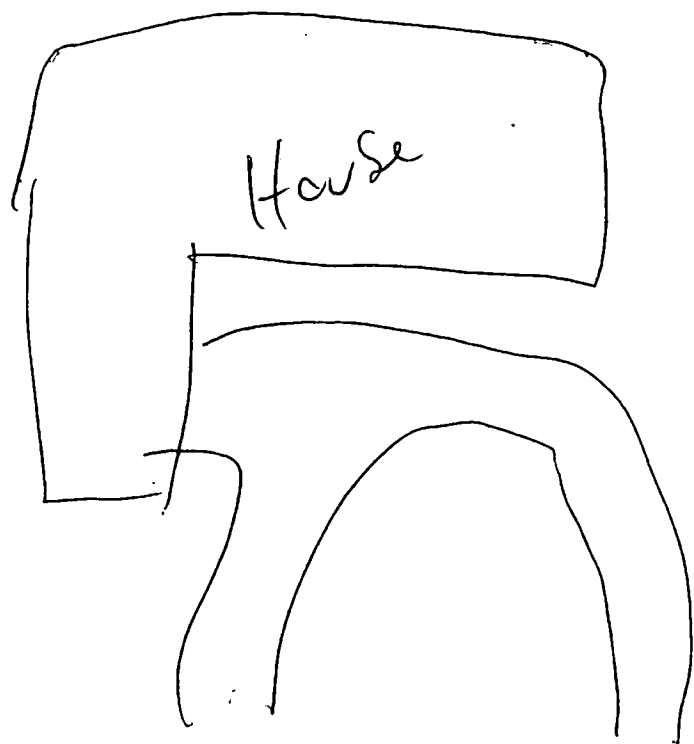
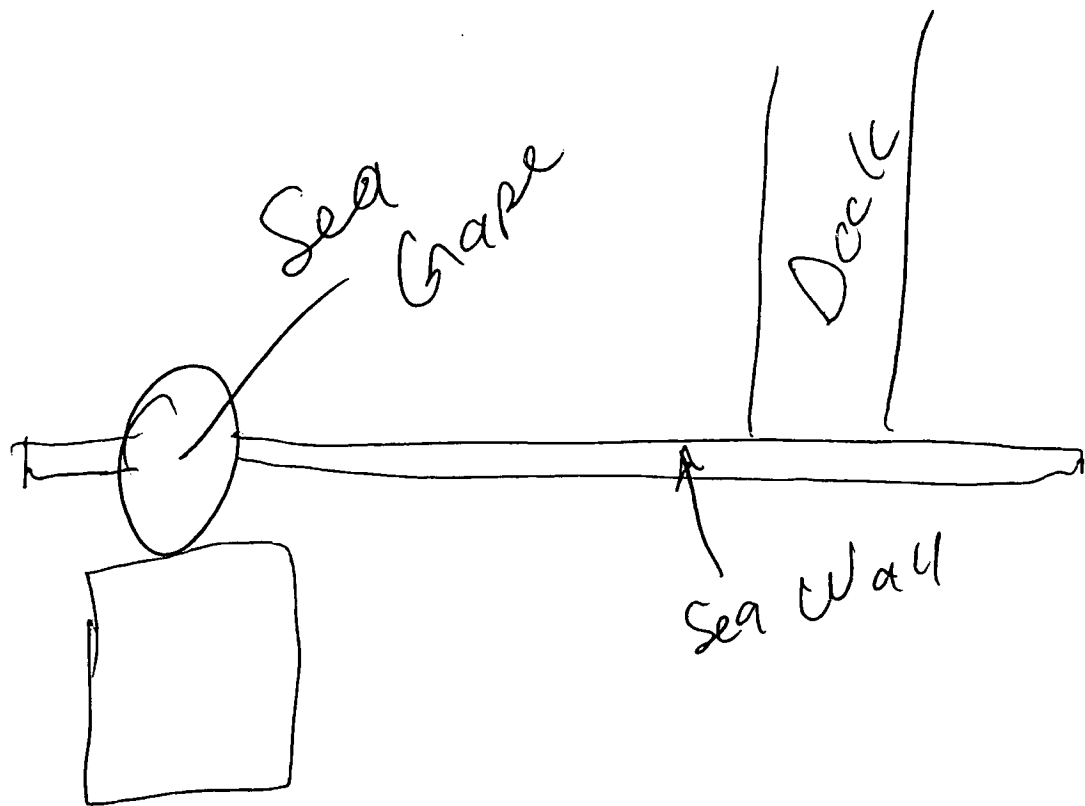
Written statement giving reasons: *Need to remove to install new Sewall tree fell over during storm*

Signature of Property Owner *[Signature]* Date *3/11/05*

Approved by Building Inspector: *[Signature]* Date *3/18* Fee: *0*

Plans approved as submitted _____ Plans approved as revised/marked: _____

map on back



TOWN OF SEWALL'S POINT, FLORIDA

Date MARCH 3 2004 TREE REMOVAL PERMIT No 2210

APPLIED FOR BY McMATHON (Contractor or Owner)

Owner 5 MELODY HILL

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 2 CITRUS/ MELALEUCA

No. Of Trees: RELOCATE 2 CITRUS/ SABAL
WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 15.00

Signed, _____ Applicant Signed, Gene Simmons (RSD)
Town Clerk
Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty grid area for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

TREE REMOVAL & RELOCATION

PERMIT APPLICATION PACKAGE

DOCUMENTS CONTAINED IN PACKAGE

- 1. Tree Removal/Relocation Application
& Requirements**
-

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberrry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Brian Mahan Address 5 Melody Hill Phone 370-0572

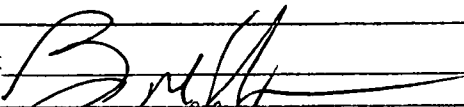
Contractor Lucy Waters Address _____ Phone _____

No. of Trees: REMOVE 2 Type: 1 Old Citrus, 1 Melaleuca

No. of Trees: RELOCATE 2 WITHIN 30 DAYS Type: 1 Citrus, 1 Sabal

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Preparing for landscaping

Signature of Applicant  Date 3/1/04

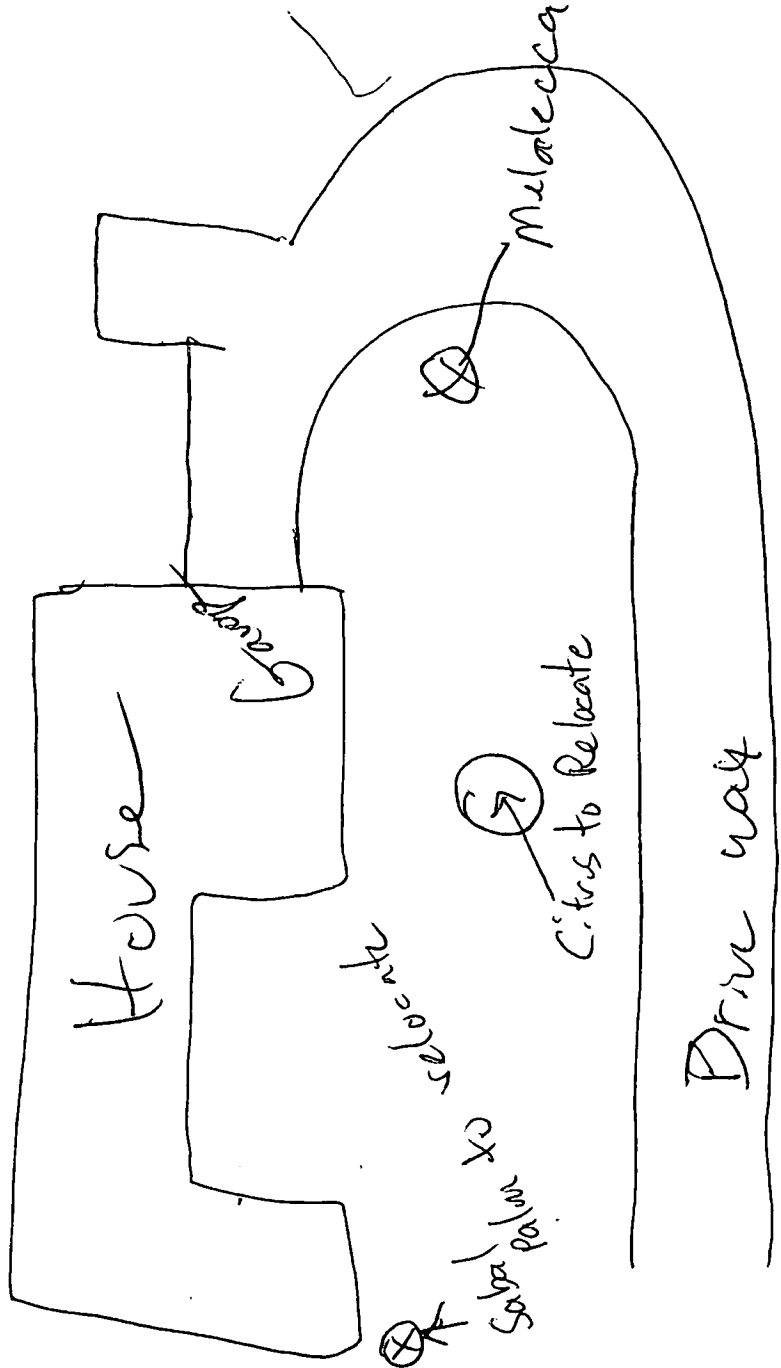
Approved by Building Inspector:  Date 3/3 Fee: 15

Plans approved as submitted _____ Plans approved as revised/marked: _____

MAP OVER

fence

~~⊗~~ Citrus to remove



~~⊗~~ Sage palm / x2

~~⊗~~ Citrus to Relocate

~~⊗~~ Melaleuca

Drive way

House

Garden

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/3 2024 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6601	MELUSH	TIN TAG + MEAL PAKS	PASS	
2	132 S. SEWALL'S Pt			INSPECTOR: <i>ON</i>
	PACIFIC			
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	REMANORIS	TREE	PASS	
7	5 MELODY HILL			INSPECTOR: <i>ON</i>
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6598	PALMIERI	FINAL DEMO.	FAIL	
5	4 MORGAN			INSPECTOR: <i>ON</i>
	CUSHING			
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6288	FRANCIS	POOL-FINAL	FAIL	REWORK
8	5 S. RIVER RD	POOL-FINAL	FAIL	INSPECTOR: <i>ON</i>
	OLYMPIC WILBERDING			
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6543	DUNN	STEM WALL	PASS	NEEDS EVALUATE ON CHANGES ON WEST WALL.
1	31 N. RIVER RD			INSPECTOR: <i>ON</i>
	FIRST FLA.	(REQ FIRST PLEASE)		
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6501	BEAN	WALL STRAPPING	PASS	
4	112 S. SEWALL'S Pt			INSPECTOR: <i>ON</i>
	DRIFTWOOD			
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	SMITH	TREE	PASS	
3	24 MIDDLE ROAD			INSPECTOR: <i>ON</i>
OTHER:				

TOWN OF SEWALL'S POINT, FLORIDA

Date 8/12 2003 TREE REMOVAL PERMIT No 2067
APPLIED FOR BY BRIAN McMAHON (Contractor or Owner)
Owner 5 MELODY HILL

Sub-division _____, Lot _____, Block _____
Kind of Trees DEAD CITRUS

No. Of Trees: REMOVE 1
No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)
No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____
FEE \$ 0
Signed, _____ Applicant Signed, Gene Simmons (EJC) Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for information
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Empty lined box for drawing or site plan.

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

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2. Trees with a diameter of less than one inch.

Permit Fee:

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2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

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Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Brian McMahon Address 5 Melody Hill Phone 370-0572

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: Citrus

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

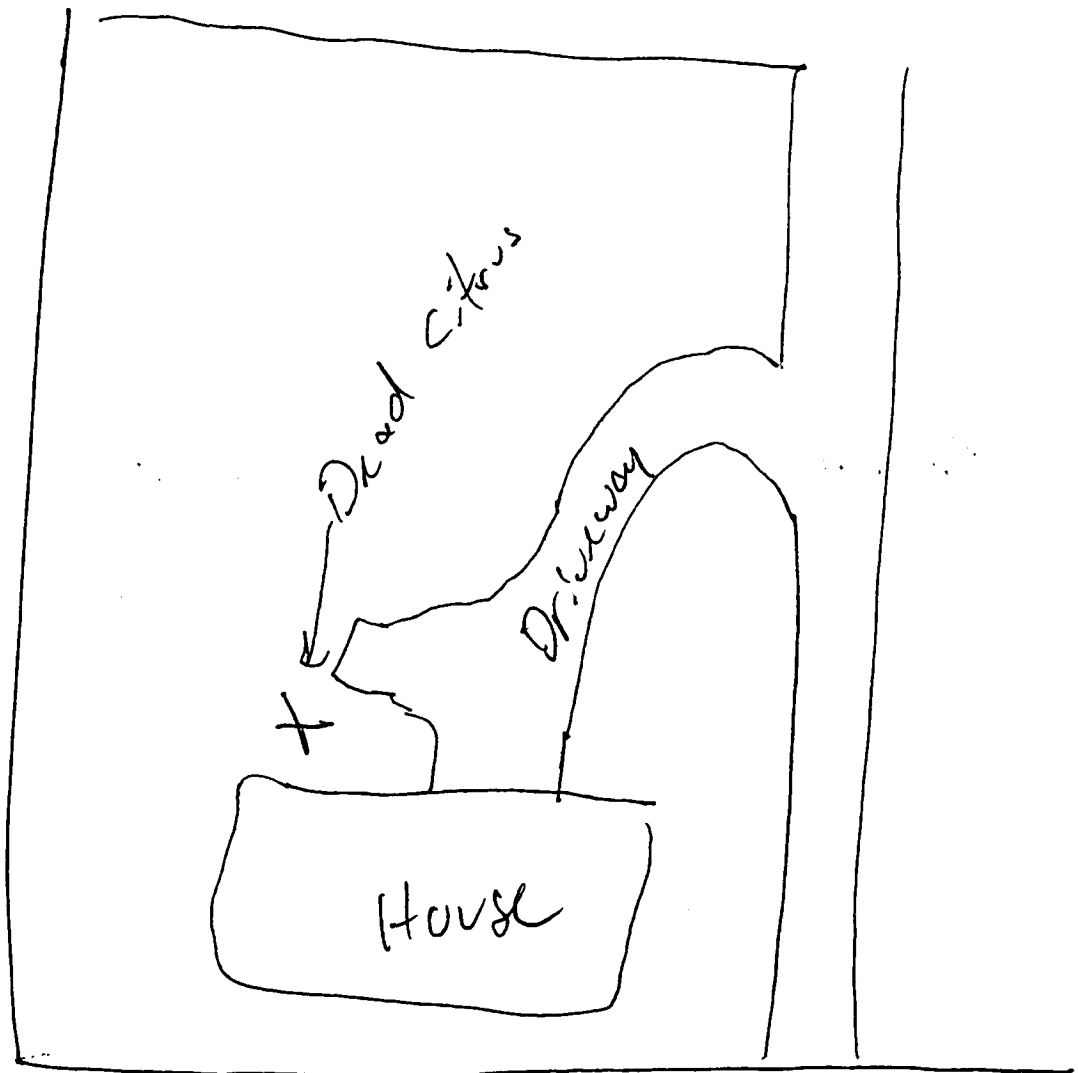
Written statement giving reasons: Dead

Signature of Applicant [Signature] Date _____

Approved by Building Inspector: [Signature] Date 8/11/2 Fee: \$

Plans approved as submitted _____ Plans approved as revised/marked: _____

Location on back



Smalls 34 Rd

TOWN OF SEWALL'S POINT, FLORIDA

Date OCTOBER 29 * 2003 TREE REMOVAL PERMIT No 2132

APPLIED FOR BY Mc Mahon (Contractor or Owner)

Owner 5 MELODY LANE

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 DAUM TRUNK

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simmons (as) Town Clerk

Building Official

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TOWN OF SEWALL'S POINT

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Brian McMahon Address 5 Melody Hill Phone 287-1023

Contractor Self Address _____ Phone _____

No. of Trees: REMOVE 10 Type: Palm trunk

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

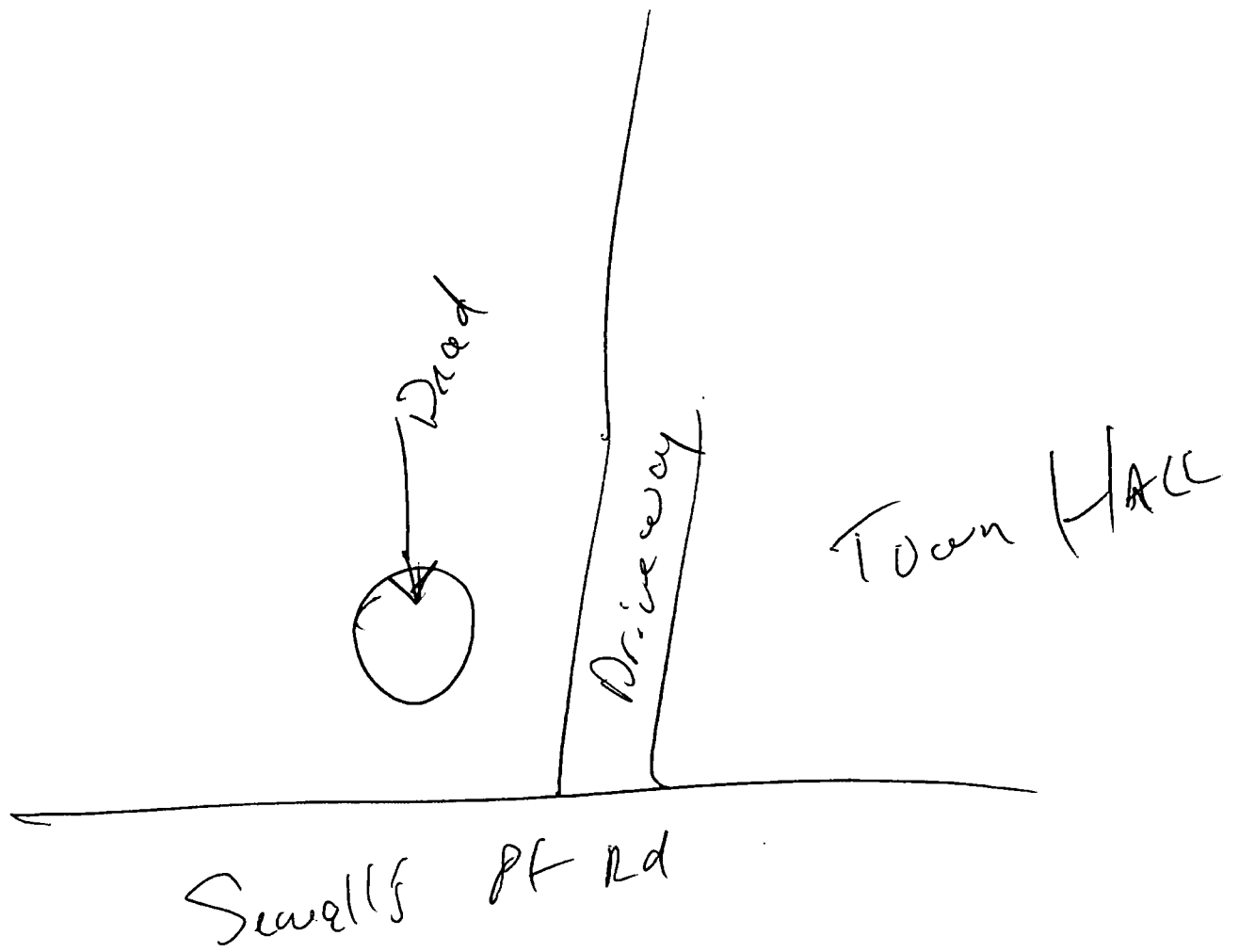
Written statement giving reasons: Dead

Signature of Applicant [Signature] Date 10/28

Approved by Building Inspector: [Signature] Date 10/29/12 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____




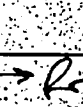



O.V.V.



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/29, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6410	HALL	DECK	Passal	
(3)	4 N VIA LUCINDIA TWIN POOLS			INSPECTOR: 
6438	BONING	FINAL ROOF	Passal	(*) Gage ? 4/16/8
(2)	5 ST LUCIE COURT STUART ROOFING			INSPECTOR: 
TREE	HOCHSTETTER	TREE	Passal	
(4)	72 S. RIVER RD			INSPECTOR: 
6330	BUSSEY	ELE. MECH	Passal/Passal	
(8)	1 PALMETTO WORRELL	PLUMBING WINDOWS	Passed	INSPECTOR:  <i>Late am 12:00 PM -> Friday</i>
TREE	BEAN	TREE	Passal	
(5)	112 S. Sewallis Pt			INSPECTOR: 
TREE	MCMANON	TREE	Passal	
(6)	5 MELODY AVE			INSPECTOR: 
6470	JAMES	ROUGH ROOFING	Passed	
(1)	5 S. RIDGEVIEW MELRY CONSTR.	Electric		INSPECTOR: 
OTHER:	133 S. River 745 0394 Permit/CO/Bldg. \$/Occupancy			
(7)				

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued: _____

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, located on the property, and the estimated size and number, etc.

Owner Brian & Lora McMahon Phone 219-3541

Contractor 5 Melody Hill Phone _____
Stuart, FL 34996

Number of trees to be removed (list kinds of trees) 3 trees total

2 Melaleuca, 1 Strangler Fig
Number of trees to be relocated within 30 days (no fee) (list kinds of trees): _____

Number of trees to be replaced: _____ (list kinds of trees): _____

Permit Fee \$ N/A
\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant [Signature] Plans approved as marked _____

Approved by Building Inspector _____ Date submitted: _____

Completed _____
Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

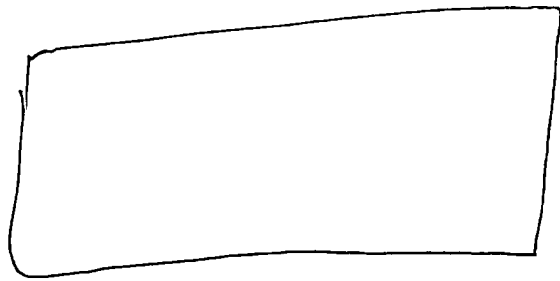
See attached Tree Species List

1 Strangler fig - in Sewall's pt. road right-of-way

2 Melaleuca trees - Only 2 trees in front yard facing police station fence

Sewall's Pt Rd

x — Stranster fig.



x ~~~~~ x

metaleuca

1 Brian@Codedredroofer.com



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Brian McMahon Address ~~5 Moody Way~~ Phone 772 370 0572

Contractor Self Address _____ Phone _____

No. of Trees: REMOVE 1 Species: Screw pine Palm

No. of Trees: RELOCATE 1 Species: Christmas Palm

No. of Trees: REPLACE _____ Species: _____

*** ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION ***

ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) Replacing with small, similar species; they have grown too large

Signature of Property Owner [Signature] Date 3-21-2014

Approved by Building Inspector: [Signature] Date 3-21-14 Fee: N/C

NOTES: _____

