

10 Middle Road

202
SFR

PN 202

TOWN OF SEWALL'S POINT - FLORIDA

Application For Building Permit

Owner Mr. & Mrs. A. JAGGESELL Present Address _____ Phone _____

Architect _____ Address _____

General Contractor SYLVESTER CONST. INC. Address Box 963, STUART Phone 787-5487

Where Licensed STUART License No. _____

Plumbing Contractor _____ Where Licensed _____ No. _____

Electrical Contractor EVANS Where Licensed _____ No. _____

Property Location HIGH POINT Subdivision _____ Lot No. 50

Lot Dimensions 100 X 150 Lot Area _____ Sq. Ft. _____

Purpose of Building RESIDENCE Type of Construction C.P.S.

Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)

Outside of Walls 1845 Inside of Walls _____

Street or Road building will front on MIDDLE Rd.

Clearances - Front 35 Back 77 Side 15 Side 17 River _____

Well Location _____ Septic Tank Location FRONT

Building elevation (By Ordinance Definition) _____

Contract Price (Include Plumbing, Electrical, Air Conditioning) \$31,000⁰⁰

PERMIT FEE	New Home	Additions	Others
General (\$3.00 per \$1000 or Fraction)	<u>93.00</u>	_____	_____
Plumbing (Flat Fee)	<u>\$10.00</u>	<u>\$3.00</u>	_____
Electrical (Flat Fee)	<u>\$10.00</u>	<u>\$3.00</u>	_____
Total (To be paid by General Contractor or Owner)	<u>113.00</u>	_____	_____

SIGNED: - General Contractor or Owner _____

Building Inspector Comments: _____

202

93.00
20
113.00

FOR TOWN RECORDS: Date Drawings submitted 2/28/10

Date Permit approved 3/2/10

Date Permit Fee paid 3/2/10

Date First Inspection _____

Date Final Inspection _____

Date Occupancy approved _____

202

BESSEMER PROPERTIES

A DIVISION OF

BESSEMER SECURITIES CORPORATION

ROYAL POINCIANA PLAZA

PALM BEACH, FLORIDA 33480

October 22, 1969

Mr. Don O'Kelly
900 Colorado Avenue
Stuart, Florida 33494

Re: Sale to Taggesell - High Point

Dear Mr. O'Kelly:

This is to acknowledge receipt of your letter dated October 17, 1969 enclosing a site plan for the proposed location of Mr. and Mrs. Taggesell's home in High Point.

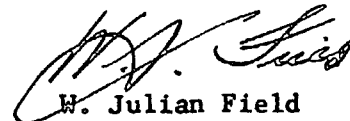
According to my computation, the proposed dwelling has in excess of 2,000 square feet of floor area, not including the areas of porches, unless roofed and closed in on three sides, carports or outbuildings, and the cost will be in excess of \$20,000.00.

The setbacks as shown on the plot plan conform to the requirements of our Deed; however, it will be necessary for these plans to be submitted to the Town of Sewall's Point at the time of obtaining a building permit and they will have to conform to the setbacks as required by the Town.

It is my understanding that the roof on the proposed residence will be white cement tile.

By this letter I am approving the plans as submitted to me and, since it is our policy to retain a set of the plans here in our office, I trust that this letter will be sufficient evidence to show to the Town that the plans have been approved by Bessemer Securities Corporation.

Sincerely yours,


W. Julian Field

WJF:ms

2937

REPAIR ALUMINUM SOFFIT &

FASCIA

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

2937

Owner N.M. BYRNES Present Address 10 MIDDLE RD

Phone 282-6665

Contractor BETTER HOMES EXTERIOR Address 3830 JOG. RD

Phone 1-800-330-3499 GREEN ACRES FL. 33463

Where licensed FL. License number CB-C024062

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: REPAIR TO ALUM SOFFIT & FASCIA
10 MIDDLE RD.

State the street address at which the proposed structure will be built:

Subdivision High Point Lot number _____ Block number _____

Contract price \$ 3000.- Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor D.S.W. [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Mr. Byrnes [Signature]

TOWN RECORD

Date submitted _____ Approved: _____
Building Inspector _____ Date _____

Approved: _____ Final Approval given: _____
Commissioner _____ Date _____ Date _____

Certificate of Occupancy issued (if applicable) _____
Date _____

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

ADMIN VARIANCE

BAUER & TWOHEY, P.A.

ATTORNEYS AT LAW

312 Denver Avenue, Stuart, FL 34994

Sherwood "Chip" Bauer, Jr.*
Christopher J. Twohey

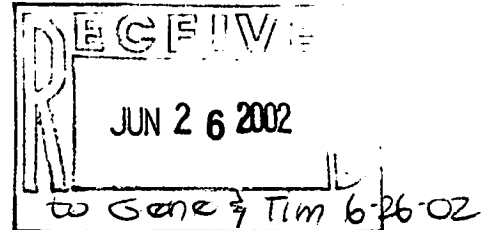
**Also Admitted in Connecticut*

Telephone: (561) 221-8221
Facsimile: (561) 221-8225

June 20, 2002

VIA HAND DELIVERY

Joan Barrow
Town Clerk
Town of Sewall's Point
1 S. Sewall's Point Road
Sewall's Point, Florida 34996



RE: ADMINISTRATIVE VARIANCE APPLICATION
APPLICANTS: GEOFFREY MAYFIELD and KIAJA KRUMINS
PROPERTY ADDRESS: 10 MIDDLE ROAD, STUART, FLORIDA 34996

Dear Joan:

Enclosed please find the following documents in connection with the referenced Administrative Variance Application:

- * Town of Sewall's Point Administrative Variance Application Form;
- * This firm's trust account check in the amount of \$500.00;
- * Certificate of Ownership;
- * Certificate of Adjacent Owners;
- * Letters of No Objection (2); and
- * Survey.

Please have this Application processed where appropriate and deliver to me and executed Variance if granted.

If you have any questions or comments, please feel free to give me a call. Thank you for your time and assistance.

Very truly yours,
BAUER & TWOHEY, P.A.

A large, stylized handwritten signature in black ink, appearing to read "Christopher J. Twohey".

Christopher J. Twohey

CJT/jsm

Enclosure

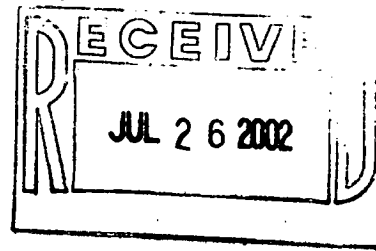
C:\OFFICE\WPWIN\WPDOCS\CJT\AAA\I\ARIANCE\ADMIN.LTR

WRIGHT, PONSOLDT & LOZEAU
TRIAL ATTORNEYS, L.L.P.

1000 S.E. Monterey Commons Boulevard
Suite 208
Stuart, Florida 34996
Telephone: (772) 286-5566
Facsimile: (772) 286-9102
E-Mail: timwright@wpltrialattorneys.com

Tim B. Wright
William R. Ponsoldt, Jr.
Louis E. Lozeau, Jr.

July 25, 2002



Commissioner James D. Bercaw
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, Florida 34996

Re: Administrative Variance of Geoffrey Mayfield and Kiaja Krumins; 10 Middle Road

Dear Commissioner Bercaw:

I have reviewed the administrative variance from Mr. Geoffrey Mayfield and Ms. Kiaja Krumins dated June 14, 2002, and find that it complies with the Town Code. Should you have any questions, please call.

Sincerely yours,


Tim B. Wright

TBW/mcf

cc: Mrs. Joan H. Barrow ✓
Mr. Gene Simmons

**TOWN OF SEWALL'S POINT ADMINISTRATIVE
VARIANCE APPLICATION FORM**

1. Owner of Property: Geoffrey Mayfield and Kaija Krumins

2. Address of Property: 10 Middle Road, Stuart, Florida 34996

3. Address of Applicant: 10 Middle Road, Stuart, Florida 34996

4. Phone No. of Applicant: 772-221-8013

5. Length and Location (front, rear, side) of Encroachment (if more than one, please list separately):

.3' Side setback at NE and NW corners.

6. Have you included the following materials with your application? _____

A. \$250.00 Filing Fee

B. \$250.00 Costs Deposit

C. Certificate of Ownership

D. Certificate of Adjacent Owners

E. Survey

F. Letters of No Objection or Proof of Mailing Notice

7. Does/do the encroachment(s) result from development under a permit for which a certificate of occupancy was issued prior to March 11, 1992? Yes - 1970

I hereby certify that all of the information above and the application materials I have provided are true and correct:

AS.M.
Applicant
Kaija Krumins
Applicant

Dated this 14 day of JUNE, 1992

FORM - WRITTEN NOTICE

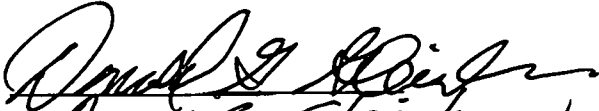
Adjacent Property Owners
Town of Sewall's Point
Stuart, Florida 34996

RE: Administrative Variance Application Filed by GEORGEY MAYFIELD

To Whom It May Concern:

Enclosed is a copy of the Administrative Variance Application filed by GEORGEY MAYFIELD. If you have any objection to the Administrative Variance being granted by the Town of Sewall's Point, you must file a written objection with the Town Clerk within fifteen (15) days from the date that this notice was mailed.

Sincerely yours,

 6/12/02
DONALD G. GLEICHMAN
8 Middle Rd, Sewall's Pt. 34996

kathy/tosp/leuce/form2

FORM - WRITTEN NOTICE

Adjacent Property Owners
Town of Sewall's Point
Stuart, Florida 34996

RE: Administrative Variance Application Filed by Geoffrey Mayfield

To Whom It May Concern:

Enclosed is a copy of the Administrative Variance Application filed by Geoffrey Mayfield. If you have any objection to the Administrative Variance being granted by the Town of Sewall's Point, you must file a written objection with the Town Clerk within fifteen (15) days from the date that this notice was mailed.

Sincerely yours,

Ruth A. Sadler
Ruth Sadler 6/12/02

kathy/tosp/letter/form2

12 middle Rd


CERTIFICATE OF OWNERSHIP

For: Town of Sewall's Point

I HEREBY CERTIFY that **JEFFREY MAYFIELD** and **KAIJA KRUMINS**, whose address is 10 Middle Road, Stuart, Florida 34996, are the apparent title holders of the parcel of land being described as:

Lot 50, Plat of HIGHPOINT, according to the map or plat thereof recorded in Plat Book 3, Page 108, Public Records of Martin County, Florida.

DATED this 14 day of June, 2002.



CHRISTOPHER J. TWOHEY

Attorney for Applicants

BAUER & TWOHEY, P.A.

312 Denver Avenue

Stuart, Florida 34994

(772) 221-8221

CERTIFICATE OF ADJACENT OWNERS

For: Town of Sewall's Point

Following is a list of all properties adjacent to a parcel of land owned by **JEFFREY MAYFIELD** and **KAIJA KRUMINS**, being described as:

Lot 50, Plat of HIGHPOINT, according to the map or plat thereof recorded in Plat Book 3, Page 108, Public Records of Martin County, Florida.

Find that the apparent tile holders of adjacent property owners are:

- * *Ruth Sadler*
12 Middle Road
Stuart, Florida 34996

- * *Donald G. Gleichman*
8 Middle Road
Stuart, Florida 34996

DATED this 14 day of June, 2002.



CHRISTOPHER J. TWOHEY
Attorney for Applicants
BAUER & TWOHEY, P.A.
312 Denver Avenue
Stuart, Florida 34994
(772) 221-8221

BOUNDARY SURVEY

LEGAL DESCRIPTION:

LOT 50, PLAT OF HIGHPOINT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 108, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

SURVEYORS NOTES:

1. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAY OF RECORD EXCEPT AS SHOWN ON THE RECORD PLAT IF ANY.
2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
3. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF N.05°55'00"E. ALONG THE CENTERLINE OF MIDDLE ROAD.
4. THIS SITE LIES IN FLOOD ZONE 'B' AS SCALED AND INTERPOLATED ON FEMA MAP NO. 120161-0164-C, DATED: JANUARY 5, 1984.
5. SITE AREA: 15,000 SQUARE FEET OR 0.34 ACRES MORE OR LESS.
6. LEGAL DESCRIPTION FURNISHED BY CLIENT.

CERTIFICATION:

1. GEOFFREY MAYFIELD
2. CHASE MANHATTAN MORTGAGE CORPORATION, ITS SUCCESSORS AND/OR ASSIGNS
3. ATTORNEYS TITLE INSURANCE FUND, INC.
4. BAUER & TWOHEY, P.A.

SURVEYORS' CERTIFICATION:

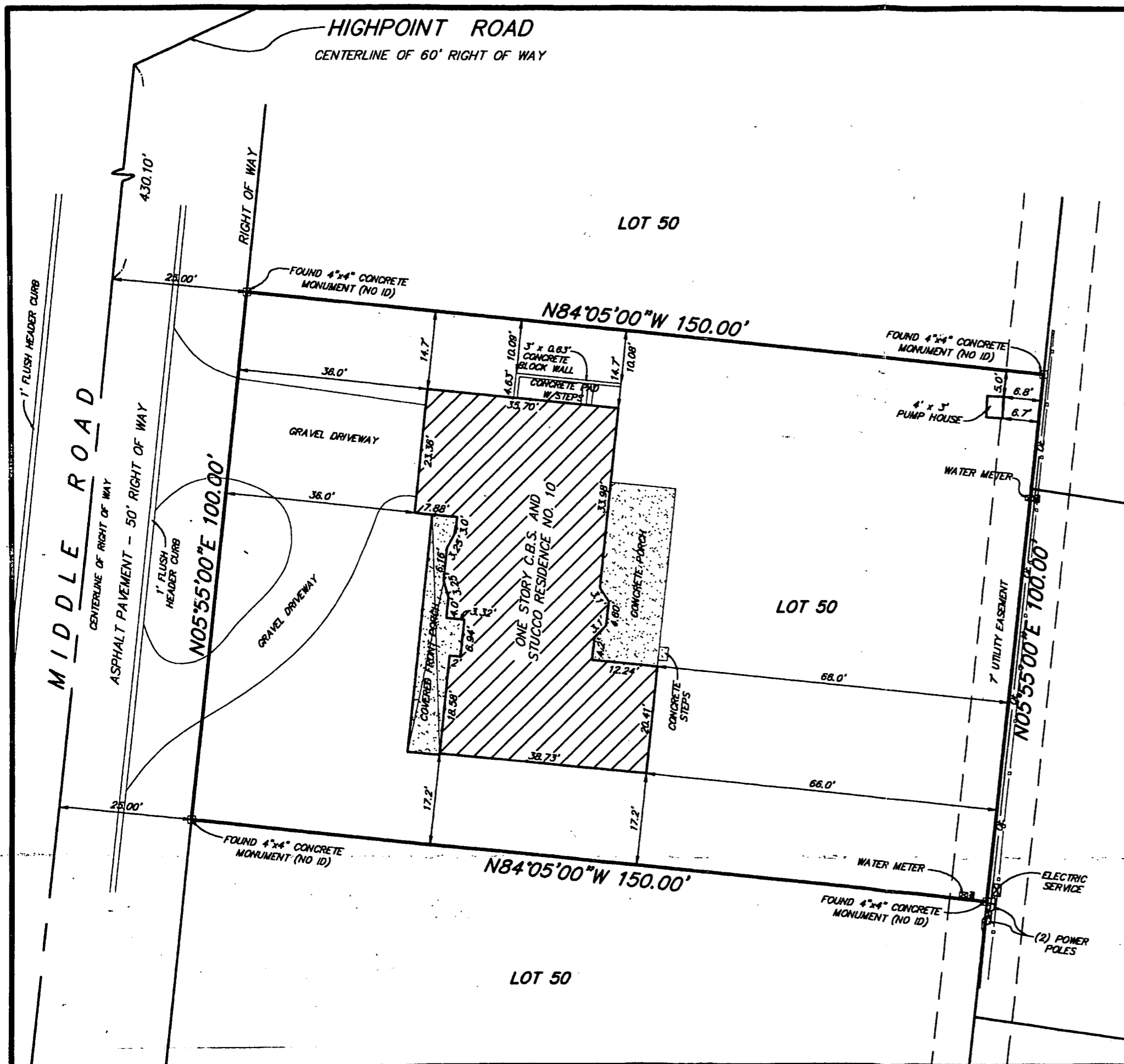
I HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AND MAPPERS IN CHAPTER 61G17-6, FLORIDA STATUTES AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

Robert Bloomster, Jr.
 ROBERT BLOOMSTER, JR.
 PROFESSIONAL LAND SURVEYOR
 NO. 4134 STATE OF FLORIDA

BLOOMSTER
 PROFESSIONAL LAND
 SURVEYORS, INC.
 LB #6018
 791 N.E. DIXIE HIGHWAY
 JENSEN BEACH, FLORIDA 34957
 PHONE 561-334-0868

SHEET	OF
DRAWN BY:	A.C.
SCALE:	1" = 20'
DATE:	08-08-2002
F.B.	A89/31
JOB NO.	5132
REVISIONS	

PREPARED FOR: GEOFFREY MAYFIELD
 10 MIDDLE ROAD
 STUART, MARTIN COUNTY, FLORIDA.



INSTR # 1595675
OR BK 01674 PG 2560
RECORDED 08/28/2002 03:43:22 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY S Phoenix

Prepared by and return to:
Town of Sewall's Point
One South Sewall's Point Road
Stuart Florida 34996

**TOWN OF SEWALL'S POINT ADMINISTRATIVE
VARIANCE APPROVAL**

1. **Owner of Property:** Geoffrey Mayfield and Kaija Krumins

2. **Legal Description of Property:**

Lot 50, Plat of HIGHPOINT, according to the map or plat
thereof as recorded in Plat Book 3, Page 108, Public Records
of Martin County, Florida.

3. **Date of Administrative Variance Application:** June 14, 2002

Whereas, the Town of Sewall's Point Building Commissioner (the "Building Commissioner") has authority under the Town of Sewall's Point Code of Ordinances to grant administrative variances upon making certain findings of fact; and

Whereas, the Building Commissioner has reviewed an Administrative Variance Application (the "Application") for the Property described above and determined that the Application is complete; and

Whereas, the Building Commissioner has made the appropriate findings of fact and finds that:

(1) The setback violation(s) for the encroachments shown on the survey attached as Exhibit "A" (the "Survey") was/were a good faith error(s) and was/were not intentional; and

(2) The encroachment(s) is/are less than or equal to five percent (5%) of the

Town of Sewall's Point
Administrative Variance Approval
Page Two

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"), whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

Dated this 29th day of June, 1992 2002

The Town of Sewall's Point, a
Florida municipal corporation

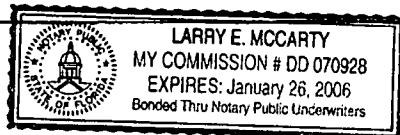
By: James D. Bercaw ^{7/29}
Its: Building Commissioner

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 29th day of July, 1992 2002
by James D. Bercaw, as Building Commissioner of the Town of Sewall's
Point, a Florida municipal corporation, who is personally known to me or who has produced
_____ as identification and who did not take an oath.

(NOTARY SEAL)

Name: Larry E. McCarty
I am a Notary Public of the
State of Florida and my
commission expires:



5897

DRIVEWAY

TOWN OF SEWALL'S POINT

Date 8-01-02

BUILDING PERMIT NO. 5897

Building to be erected for GEOFFREY E. MAYFIELD Type of Permit DRIVEWAY

Applied for by O/B (Contractor) Building Fee 48.00

Subdivision High Point Lot 50 Block _____ Radon Fee _____

Address 10 Middle Road Impact Fee _____

Type of structure SFR A/C Fee _____

Parcel Control Number:
1338410020000050000000 Electrical Fee _____

Amount Paid 48.00 Check # 2710 Cash _____ Other Fees (_____) Plumbing Fee _____

Total Construction Cost \$ 5,000.00 Roofing Fee _____ TOTAL Fees 48.00

Signed Candy Krueger Applicant Signed Gene Semmons (APN) Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input checked="" type="checkbox"/> ADDITION
<u>GARAGE DOOR</u> |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Building Permit Number: _____

Owner or Titleholder Name: GEORGEY E. MAYFIELD City: STUART State: FL Zip: 34986
Legal Description of Property: 10 MEDOE ROAD, STUART 34986 Parcel Number: 13384/0020000050000000
Location of Job Site: Lot 5D - High Point Type of Work To Be Done: REPLACE DRIVEWAY

CONTRACTOR/Company Name: OWNER CONTRACTOR Phone Number: 561-486-2512
Street: _____ City: _____ State: _____ Zip: _____
State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

ARCHITECT: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____
Type Sewage: _____ Septic Tank Permit Number From Health Depart. _____ Well Permit Number: _____

FLOOD HAZARD INFORMATION Flood Zone: X Minimum Base Flood Elevation (BFE): _____ NGVD
Proposed First Floor Habitable Floor Finished Elevation: _____ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$5,000 Estimated Fair Market Value (FMV) Prior
To Improvements _____ If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES _____ NO _____

SUBCONTRACTOR INFORMATION

Electrical _____ State _____ License Number: _____
Mechanical _____ State _____ License Number: _____
Plumbing _____ State _____ License Number: _____
Roofing _____ State _____ License Number: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

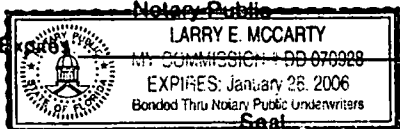
Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____ South Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____
National Electrical Code _____ Florida Energy Code _____
Florida Accessibility Code _____

THEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required)
State of Florida, County of: Martin
This the 31 day of July, 2002
by Georrey E. Mayfield who is personally
known to me or produced FLD DL
as identification. #M183-285-76-213-0

CONTRACTOR SIGNATURE (Required)
On State of Florida, County of: _____
This the _____ day of _____, 200_____
by _____ who is personally
known to me or produced _____
As identification. _____

My Commission Expires _____



Notary Public
My Commission Expires: _____

Seal

BOUNDARY SURVEY

LEGAL DESCRIPTION:

LOT 50, PLAT OF HIGHPOINT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 108, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

SURVEYORS NOTES:

1. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAY OF RECORD EXCEPT AS SHOWN ON THE RECORD PLAT IF ANY.
2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
3. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF N.05°55'00"E. ALONG THE CENTERLINE OF MIDDLE ROAD.
4. THIS SITE LIES IN FLOOD ZONE 'B' AS SCALED AND INTERPOLATED ON FEMA MAP NO. 120161-0164-C, DATED: JANUARY 5, 1984.
5. TOTAL SITE AREA: 15,000 SQUARE FEET OR 0.34 ACRES MORE OR LESS. (100%)
PERVIOUS AREA: 11950.15 SQUARE FEET OR 0.274 ACRES MORE OR LESS. (79.67%)
IMPERVIOUS AREA: 3049.85 SQUARE FEET OR 0.070 ACRES MORE OR LESS. (20.33%)
BUILDING, COVERED AREAS & SLABS: 3049.85 SQUARE FEET OR 0.070 ACRES MORE OR LESS (20.33%)
(GRAVEL DRIVEWAY WITHIN PROPERTY: 1259 SQUARE FEET 0.029 ACRES MORE OR LESS (8.39%)
** IF GRAVEL DRIVEWAY IS PAVED **
PROPOSED PERVIOUS AREA: 10691.15 SQUARE FEET OR 0.245 ACRES MORE OR LESS (71.27%)
PROPOSED IMPERVIOUS AREA: 4308.85 SQUARE FEET OR 0.099 ACRES MORE OR LESS (28.73%)
6. LEGAL DESCRIPTION FURNISHED BY CLIENT.

CERTIFICATION:

1. GEOFFREY MAYFIELD
2. CHASE MANHATTAN MORTGAGE CORPORATION, ITS SUCCESSORS AND/OR ASSIGNS
3. ATTORNEYS TITLE INSURANCE FUND, INC.
4. BAUER & TWOHEY, P.A.

SURVEYORS' CERTIFICATION:

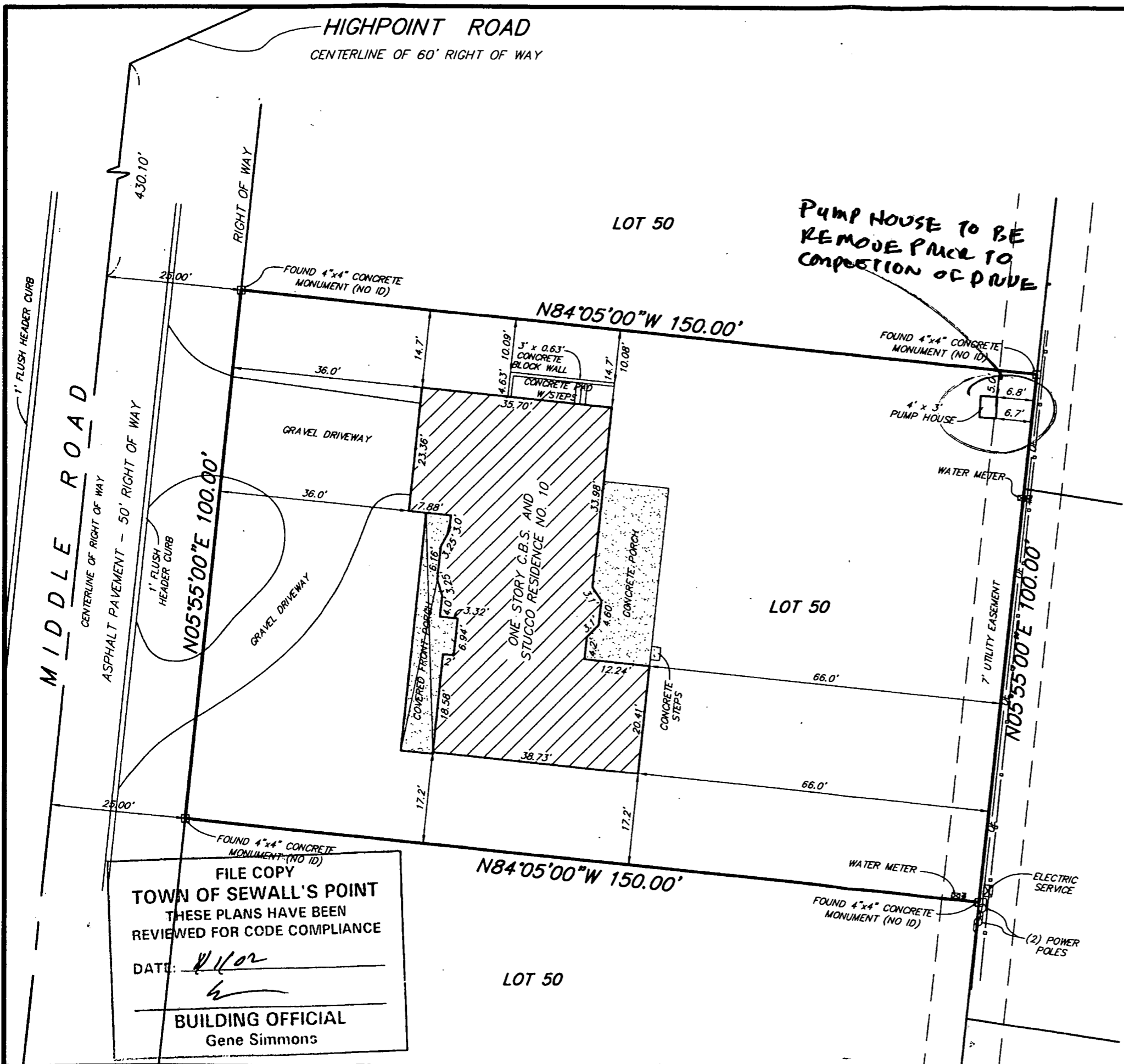
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Robert Bloomster Jr.
ROBERT BLOOMSTER JR.
PROFESSIONAL LAND SURVEYOR
NO. 4134 STATE OF FLORIDA

BLOOMSTER
PROFESSIONAL LAND
SURVEYORS, INC.
LB #6018
791 N.E. DIXIE HIGHWAY
JENSEN BEACH, FLORIDA 34957
PHONE 561-334-0868

SHEET 1 OF 1	
DRAWN BY:	A.C.
SCALE:	1" = 20'
DATE:	08-06-2002
F.B.:	A89/31
JOB NO.:	5132
REVISIONS	
7/17/02 CALCS. DPK	

PREPARED FOR: GEOFFREY MAYFIELD
10 MIDDLE ROAD
STUART, MARTIN COUNTY, FLORIDA.



FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 8/1/02
BUILDING OFFICIAL
Gene Simmons

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

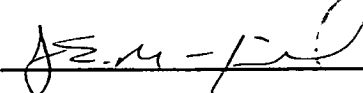
TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even through you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: GEORGEY MAFFIELD Date: 7/31/02

Signature: 

Address: 10 MIDDLE RD.

City & State: STUART, FL







Permit No. _____

This form is for all permits except electrical.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7/16, 20013 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5894	KELLEC	FENCE	Passed	
	14 CRANES NEST	FINAL		
	O/B			INSPECTOR: 
5913	QUINN	GARAGE DOOR	Passed	
	98 S. SEWALL'S PRD	FINAL		
	AMERICAN P.B.			INSPECTOR: 
5934	BOTWINICK	RE ROOF	Passed	
	27 EMARITA WAY	FINAL		
	SOUND ROOFING			INSPECTOR: 
5926	BREENE	MISC ROOF	Passed	
	113 HILLCREST DR	REPAIR FINAL		
	PACIFIC			INSPECTOR: 
5892	KISSLING	RIP RAP FINAL	Passed	
	7 MINDORO ST			
	NATURAL BALANCE			INSPECTOR: 
5897	MAYFIELD	DRIVEWAY	Passed	
	10 MIDDLE ROAD	FINAL		
	O/B			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

7318

FENCE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 2/16/05

BUILDING PERMIT NO. 7318

Building to be erected for HOLLENBECK

Type of Permit FENCE

Applied for by O/B (Contractor)

Building Fee 30.00

Subdivision HIGH POINT Lot 50 Block _____

Radon Fee _____

Address 10 MIDDLE ROAD

Impact Fee _____

Type of structure FENCE

A/C Fee _____

Parcel Control Number:

Electrical Fee _____

13384100200000500000

Plumbing Fee _____

Amount Paid 30.00 Check # _____ Cash

Roofing Fee _____

Total Construction Cost \$ 600.00

TOTAL Fees 30.00

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

FEB 15 2005

BY: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 2/8/05

OWNER/TITLEHOLDER NAME: Douglas Hollenbeck Phone (Day) 463-4171 (Fax) _____

Job Site Address: 10 Middle Road City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Lot 50, High Point, Plat book 3, page 108 Parcel Number: 13-38-41-002-000-0050

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: perimeter fence around back yard

WILL OWNER BE THE CONTRACTOR?:

YES NO

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 600
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ 585,000

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: appraisal

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

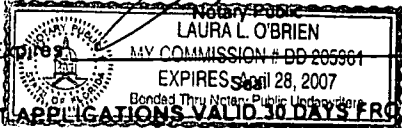
[Signature]
State of Florida, County of: MARTIN
This the 15th day of February, 2005
by Douglas Hollenbeck who is personally
known to me or produced RI DL 238044
as identification.

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____
This the _____ day of _____, 200____
by _____ who is personally
known to me or produced _____
As identification, _____

Notary Public

My Commission Expires _____



My Commission Expires: _____

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

INSTR # 1805803
OR BK 01972 PG 0389
RECORDED 01/12/2005 08:53:08 AM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
DEED DOC TAX 4,165.00
RECORDED BY T Copus (asst mgr)

Prepared by and Return to:
Christopher J. Twohey, P.A.
312 Denver Avenue
Stuart, Florida 34994

Parcel ID Number: 13-38-41-002-000-00500.0

Warranty Deed

This Indenture, Made this 7th day of January, 2005 A.D., Between
Geoffrey E. Mayfield and Kaija Mayfield f/k/a Kaija Krumins, husband
and wife
of the County of Martin, State of Florida, grantors, and
Douglas W. Hollenbeck, a single man

whose address is: 8 Shepards Run, Westerly, RI 02891

of the County of Washington, State of Rhode Island, grantee.

Witnesseth that the GRANTORS, for and in consideration of the sum of
-----TEN DOLLARS (\$10)----- DOLLARS,
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have
granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of Martin, State of Florida to wit:
Lot 50, High Point, according to the map or plat thereof as recorded
in Plat Book 3, Page(s) 108, Public Records of Martin County,
Florida.


SUBJECT TO:

- 1. Taxes for the year 2005 and all subsequent years;
- 2. Zoning restrictions, prohibitions and other requirements imposed by governmental authority;
- 3. Restrictions, and matters appearing on the plat or otherwise common to the subdivision; and
- 4. Public utility easements of record, if any.

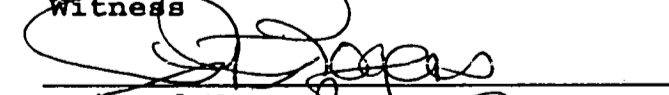
and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:


Printed Name: MICHELE L CHARDT
Witness


Geoffrey E. Mayfield (Seal)
P.O. Address: 1453 NE High Hammock Lane, Jensen Beach, FL 34957

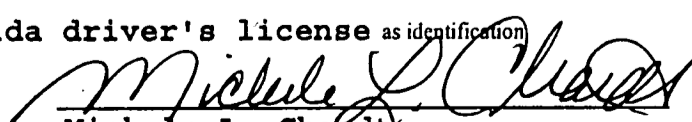

Printed Name: PATRICIA T ROGELS
Witness


Kaija Mayfield f/k/a Kaija Krumins (Seal)
P.O. Address: 1453 NE High Hammock Lane, Jensen Beach, FL 34957

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 7th day of January, 2005 by
Geoffrey E. Mayfield and Kaija Mayfield f/k/a Kaija Krumins, husband
and wife
who are personally known to me or who have produced their Florida driver's license as identification




Michele L. Chardt
Notary Public
My Commission Expires: 01/15/09

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

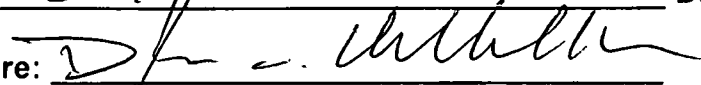
TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: DOUGLAS W. HOLLENSECK Date: 2-8-05

Signature: 

Address: 8 10 MIDDLE RD



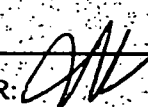
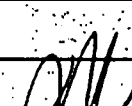
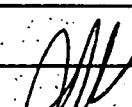
City & State: STUART, FL 34996

Permit No. _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/27, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7318	HOLLENBORN	FENCE/FINAL	PASS	CLOSE
1	10 MIDDLE RD OIB			INSPECTOR: 
7469	NORGREEN	POOL STEEL DRAIN	FAIL	
4	5 KINGSTON CT OLYMPIC POOLS			INSPECTOR: 
6812	MADER	SCAB		
2	106 ABBIE COURT FLORIDA ELEGANT DURUCKEL HOMES	V6 ELEC.	PASS	INSPECTOR: 
7485	ENGLE	FINAL ROOF		
5	14 PALM ROAD PHOENIX COMETA	DRY-IN	PASS	INSPECTOR: 
7427	HOLLY	DRY IN	PASS	
8	41 S. RIVER RD DENNIS CONST.			INSPECTOR: 
				INSPECTOR:
				INSPECTOR:

OTHER: _____

8972

HURRICAN SHUTTERS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8972	DATE ISSUED:	AUGUST 6, 2008
SCOPE OF WORK:	HURRICANE SHUTTERS		
CONDITIONS :			
CONTRACTOR:	FINE HOMES BY RICK		
PARCEL CONTROL NUMBER:	133841002000005000	SUBDIVISION	HIGH POINT - LOT 50
CONSTRUCTION ADDRESS:	10 MIDDLE RD		
OWNER NAME:	MARTIN		
QUALIFIER:	RICK GLANCY	CONTACT PHONE NUMBER:	201-2220

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER-/BUILDER.

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: _____

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND, IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

Lot # High Point

GENERAL DESCRIPTION OF IMPROVEMENT: Hurricane Shutters

OWNER NAME: John & Barbara Martin
ADDRESS: 10 Maple Road Stuart FL 34906
PHONE NUMBER: (888) 726-3366 FAX NUMBER: _____

INTEREST IN PROPERTY: _____

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Fine Homes by Pickle
ADDRESS: Palm City FL 34909 1205 SW Magnolia 13601-02
PHONE NUMBER: 772-201-2220 FAX NUMBER: 772-286-6322

SURETY COMPANY (IF ANY): _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ BY _____ D.C.
TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),
FLORIDA STATUTES. DATE: 7-31-08

EXPIRATION DATE OF NOTICE OF COMMENCEMENT:
(THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).
WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

owner

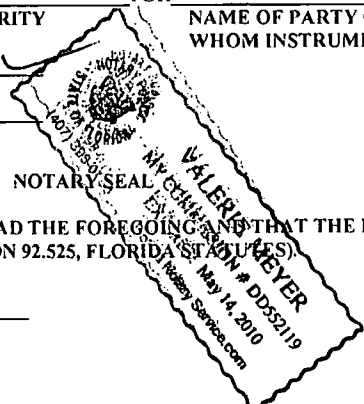
SIGNATORY'S TITLE/OFFICE
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 200__

BY: BARBARA MARTIN AS _____ FOR _____
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN _____ OR PRODUCED IDENTIFICATION _____

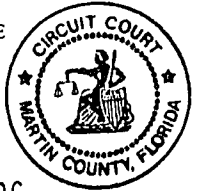
TYPE OF IDENTIFICATION PRODUCED FIDC

NOTARY SIGNATURE [Signature]



UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES)

(Signature of Natural Person Signing Above)



INSR 2098654 OR BK 02343 PG 0902 RECD 07/31/2008 02:15:12 PM
Pg 0902 (1pg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK G Vozzella



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Product Approval

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**

FL #	FL7288
Application Type	New
Code Version	2004
Application Status	Approved
Comments	Archived
Product Manufacturer	American Shutter Systems Association, Inc.
Address/Phone/Email	4268 Westroads Drive West Palm Beach, FL 33407 (561) 841-5480 bfeeley@easternmetal.com
Authorized Signature	Bill Feeley bfeeley@easternmetal.com
Technical Representative	
Address/Phone/Email	
Quality Assurance Representative	
Address/Phone/Email	
Category	Shutters
Subcategory	Accordion

Compliance Method: **TOWN OF SEWALL'S POINT BUILDING DEPARTMENT FILE COPY** Evaluation Report from a Florida Registered Architect or Licensed Florida Professional Engineer
Evaluation Report - Hardcopy Received

Florida Engineer or Architect Name who developed the Evaluation Report	Walter A. Tillit, Jr. P.E.
Florida License	PE-44167
Quality Assurance Entity	National Accreditation and Management Institute
Validated By	John Henry Kampmann Jr.

- BUILDING CODES
- FLORIDA COMMUNITIES TRUST
- FRONT PORCH FLORIDA
- NEWS
- FREQUENTLY ASKED QUESTIONS
- ABOUT OUR SECRETARY
- E-MAIL THE SECRETARY
- INSPECTOR GENERAL
- WEB ASSISTANCE
- CONTACT US
- OUR LOGO
- DCA EMPLOYEE SERVICES

Certificate of Independence

FL7288_R0_COI_Certification of Independence.pdf

Referenced Standard and Year (of Standard)

Standard
TAS 201, 202, 203

Year
1994

Equivalence of Product Standards Certified By

Sections from the Code

Product Approval Method

Method 1 Option D

Date Submitted

08/03/2006

Date Validated

08/04/2006

Date Pending FBC Approval

08/11/2006

Date Approved

08/22/2006

Summary of Products

FL #	Model, Number or Name	Description
7288.1	Drawing 06-174	BERTHA HV Accordion Shutter System (Co includes Blade 1 and 2) - for HIGH VELOCITY HURRICANE ZONE
Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: For Design Loads and Spans refer to engineered drawing number 06-174. This product may be installed within HIGH VELOCITY HURRICANE ZONE as defined in Section 1620.2 of the Florida Building Code.		Installation Instructions FL7288_R0_II_Drawing 06-174.pdf Verified By: American Test Lab of South Florida Inc. Evaluation Reports FL7288_R0_AE_Product Evaluation Report

Back

Next

[DCA Administration](#)

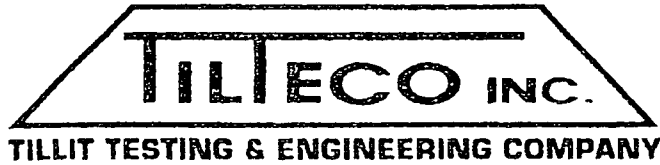
Department of Community Affairs
Florida Building Code Online
Codes and Standards
 2555 Shumard Oak Boulevard
 Tallahassee, Florida 32399-2100

(850) 487-1824, Suncom 277-1824, Fax (850) 414-8436

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Product Approval Accepts:





WALTER A. TILLIT, JR., P.E.

tilteco@aol.com
Fl. P.E. License No. 44167
Fl. E.B. License No. 0006719

PRODUCT EVALUATION REPORT

REPORT NO.: 06-0801.01
DATE: August 1, 2006
PRODUCT CATEGORY: Hurricane Shutters
PRODUCT SUB-CATEGORY: Accordions
PRODUCT NAME: Bertha H.V. Accordion Shutter System
(HV Blades 1 and 2)
SUBMITTED BY: American Shutter Systems Association, Inc. (ASSA)
4268 Westroads Drive
West Palm Beach, Florida 33407

1. PURPOSE OF EVALUATION:

This is a Product Evaluation Report issued by **Walter A. Tillit, Jr., P.E.** (System ID # 1906) to the **American Shutter Systems Association, Inc. (A.S.S.A.)**, based on Rule Chapter No. 9B-72.070, Method 1d of the State of Florida Product Approval, Department of Community Affairs-Florida Building Commission.

This product is being issued an Evaluation Report as described herein, and has been verified for compliance in accordance with the 2004 edition of the Florida Building Code, and to verify that the product is for the purpose intended at least equivalent to that required by the Code.

2. EVIDENCE SUBMITTED:

2.1. PRODUCT EVALUATION DOCUMENT (P.E.D.):

Drawing No. 06-174, titled "BERTHA H.V. ACCORDION SHUTTER SYSTEM", sheets 1 thru 26 of 26, prepared by Tilteco, Inc.; signed and sealed by Walter A. Tillit, Jr., P.E.; dated 07/31/06. This drawing is an integral part of this Evaluation Report.

2.2. TEST REPORTS:

For HV Blade 1

Large missile impact and cyclic loadings under Protocols TAS 201 and 203, as per section 1609.1.4 of the Florida Building Code. Uniform Static loads in accordance with

PRODUCT EVALUATION REPORT NO. 06-0801.01

Protocol TAS 202. Test reports prepared by American Testing Lab (ATL) of South Florida. Reports No. 0214.01-03, 0715.01-03, dated June 27, 2003; and January 21, 2004 respectively, signed and sealed by William R. Mehner, P.E., and Henry Hatten, P.E., jointly with ATL reports # 1004.01-05, dated 11/16/05, signed and sealed by William R. Mehner, P.E.; # 1214.01-05 dated 12/20/05, signed and sealed by Henry Hatten, P.E. per Protocols TAS 201, 202 and 203 and completed with ATL Report # 0317.02-06, dated on 05/23/06 signed and sealed by William Mehner, P.E. also per Protocols TAS 201, 202 and 203.

Tensile tests as per QC Metallurgical Report No. 3DM-388 and No. 5JM-1022, dated May 30, 2003 and November 16, 2005, respectively; signed and sealed by Frank E. Grate Jr., P.E., as per ASTM E 8.

For HV Blade 2:

Large missile impact and cyclic loadings under Protocols TAS 201 and 203, as per section 1609.1.4 of the Florida Building Code. Uniform Static loads in accordance with Protocol TAS 202. Test reports prepared by American Testing Lab of South Florida. Report No. 0422.01-05, dated April 22 thru June 15, 2005, signed and sealed by William R. Mehner, P.E., and Henry Hatten, P.E.

Tensile test as per QC Metallurgical Report No. 5FM-578, dated 7/6/2005; signed and sealed by Frank Grate, P.E., as per ASTM E 8.

2.3. STRUCTURAL ENGINEERING CALCULATIONS:

On Bertha H.V. Accordion Shutter System for maximum shutter span vs. design wind load, as well as maximum anchor spacing vs. design wind load and shutter span based on rational and comparative analysis, and in accordance with section 1612 of the Florida Building Code. Calculations prepared by Tiltco, Inc., July 31, 2006, signed and sealed by Walter A. Tillit, Jr., P.E.

3. MISSILE IMPACT RESISTANCE:

Large missile impact under section 1609.1.4 of the Florida Building Code, as per Protocol TAS 201 (for HV Blade 1) and as per Protocol TAS 201 (for HV Blade 2).

4. WIND LOADS RESISTANCE:

Accordion Shutter System has been verified to sustain wind pressures. Maximum Shutter Span for HV Blade 1 shall be as indicated on sheet 12 of 26 of Product Evaluation Document (P.E.D.), drawing No. 06-174. Maximum Anchor Spacing for HV Blade 1 shall be as indicated on sheets 13, 14, 15, 16 and 17 of 26 of Product Evaluation Document (P.E.D.), drawing No. 06-174. Maximum Shutter span for HV Blade 2 shall be

PRODUCT EVALUATION REPORT NO. 06-0801.01

as indicated on sheet 25 of 26 of Product Evaluation Document (P.E.D.), drawing No. 06-174. Maximum Anchor spacing shall be as indicated on sheet 26 of 26 of Product Evaluation Document (P.E.D.), drawing No. 06-174.

5. INSTALLATION:

For HV Blade 1 shall be performed strictly in accordance with the details indicated on sheets 5, 6, 7, 8, 9, 10, 11, 18, 19 and 20 of 26 of Product Evaluation Document (P.E.D.), drawing No. 06-174. Minimum separation to glass shall be as indicated on sheet 12 of Product Evaluation Document (P.E.D.), drawing No. 06-174. Requirements for use of locks and/or locking rods shall be as indicated on Notes on sheet 5 of 26 and note 10 on sheet 1 of 26 of Product Evaluation Document (P.E.D.), drawing No. 06-174.

For HV Blade 2 shall be performed strictly in accordance with the details indicated on sheets 21, 22, 23 and 24 of 26 of Product Evaluation Document (P.E.D.), drawing # 06-174. Minimum separation to glass shall be as indicated on sheet 25 of Product Evaluation Document (P.E.D.), drawing No. 06-174. Requirements for use of locks and/or locking rods shall be as indicated on Notes on sheet 21 of 26 and note 10 on sheet 1 of 26 of Product Evaluation Document (P.E.D.), drawing No. 06-174.

6. MATERIAL CHARACTERISTICS AND SPECIFICATIONS:

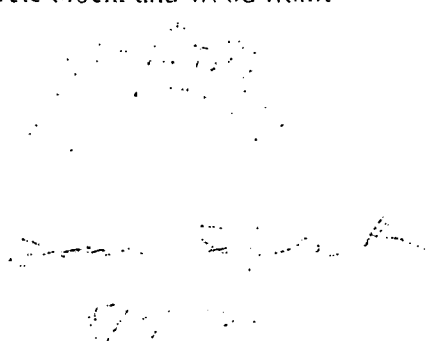
Shall be strictly in accordance with General Notes and Components indicated on sheets 1 through 4 of 26 of Product Evaluation Document (P.E.D.), drawing No. 06-174. Anchor specifications for HV Blade 1 shall be as indicated on sheets 14, 16 and 17 of 26 of Product Evaluation Document (P.E.D.), drawing No. 06-174. Anchor specifications for HV Blade 2 shall be as indicated on sheet 26 of 26 of Product Evaluation Document (P.E.D.), drawing # 06-174.

7. LIMITATIONS AND CONDITIONS OF USE:

7.1. Shall be strictly in compliance with General Notes No. 1, 2, 9, 10, 11, 12 and 13 indicated on sheet 1 of 26, of Product Evaluation Document (P.E.D.), drawing No. 06-174 prepared by Tiltco, Inc. and signed and sealed by Walter A. Tillit, Jr., P.E.

7.2. Product may be installed within HIGH VELOCITY HURRICANE ZONES corresponding to Broward County as defined on section 1620.2 of the Florida Building Code.

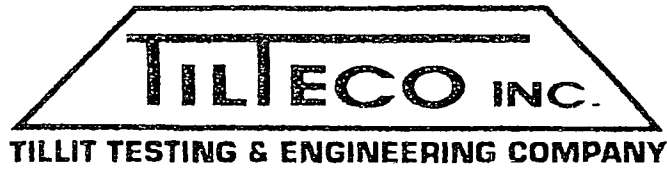
7.3. Product shall only be installed into poured concrete, concrete block, and wood frame structures.



PRODUCT EVALUATION REPORT NO. 06-0801.01

Product Evaluation Report prepared by Walter A. Tillit, Jr., P.E. (Florida License No. 44167), President of Tilteco, Inc. (Florida EB-0006719).

Walter A. Tillit, Jr.
WAT



WALTER A. TILLIT, JR., P.E.

tilteco@aol.com
Fl. P.E. License No. 44167
Fl. E.B. License No. 0006719

CERTIFICATION OF INDEPENDENCE
(Rule #9B-72.110)

Evaluation Report #: 06-0801.01

Date: August 1, 2006

Product Category: Hurricane Shutters

Product Subcategory: Accordions

Product Name: Bertha H.V. Accordion Shutter System (HV Blades 1 and 2)

Submitted By: American Shutter Systems Association, Inc. (ASSA)

Dear Sir (Madam):

This is to certify that this Florida Professional Engineer, performing this evaluation does not have nor will acquire, a financial interest in any company manufacturing or distributing products for which the reports are being issued.

This is also to certify that this Florida Professional Engineer performing this evaluation does not have, nor will acquire, a financial interest in any other entity involved in the approval process of the product.

Certificate of Independence prepared by Walter A. Tillit, Jr., P.E. (Florida License No. 44167), President of Tilteco, Inc. (Florida EB-0006719).



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

FINIE HOME B, RICE

SHUTTER SCHEDULE

JOB: MARTIN

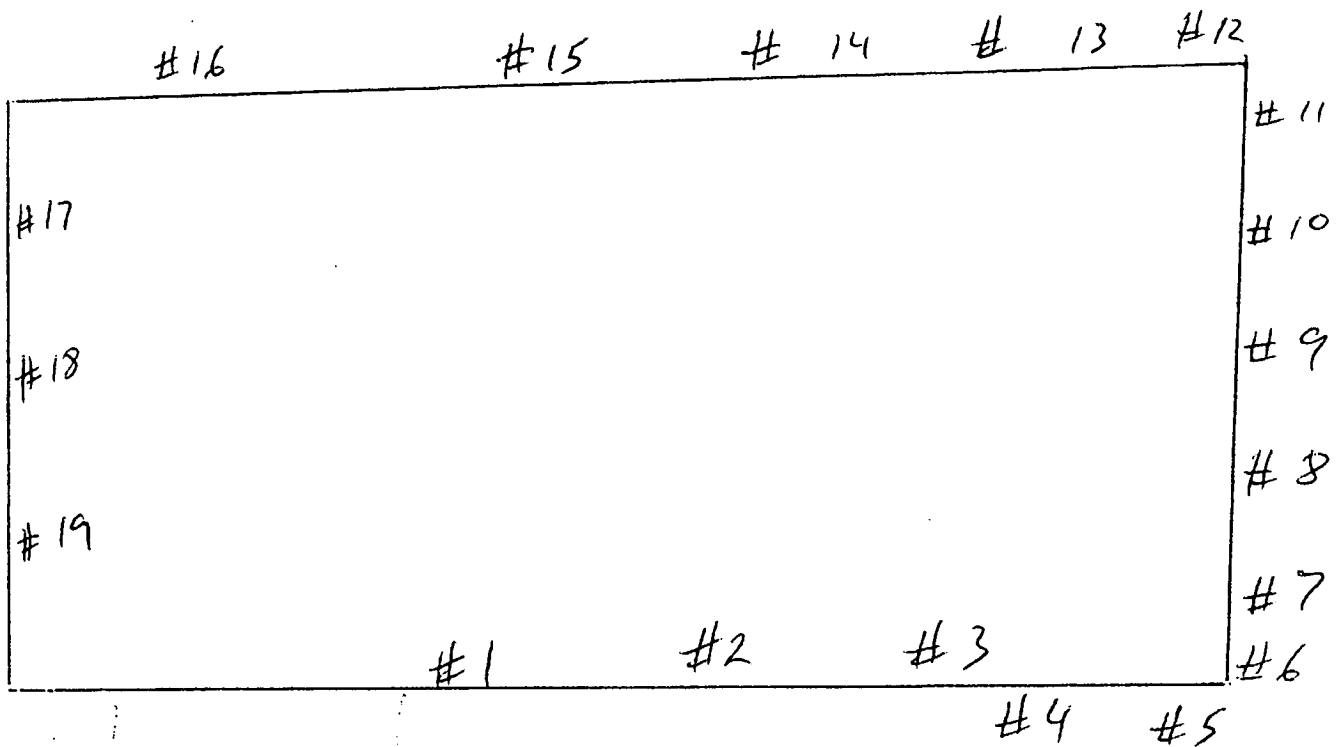
I.D. NO.	APPOX OPENING SIZE (WXH)	APPOX SHUTTER WIDTH	APPOX HEIGHT	# OF STORM BARS REQ'D	ANCHOR SPACING	# OF WINDOW BARS EACH SIDE	HEADER REINF. REQ'D YES/NO	REMARKS
	37"X63"	45"	71"	N/A	12"	N/A	NO	EXAMPLE
1	160 71	196	71	N/A	9	N/A	NO	
2	44 88	50	88	↓	↓	↓	↓	
3	22 47	25	47	↓	↓	↓	↓	
4	39 71	49	71	↓	↓	↓	↓	
5	39 71	49	71	↓	↓	↓	↓	
6	39 71	49	71	↓	↓	↓	↓	
7	39 71	49	71	↓	↓	↓	↓	
8	39 71	49	71	↓	↓	↓	↓	
9	39 71	49	71	↓	↓	↓	↓	
10	39 71	49	71	↓	↓	↓	↓	
11	22 47	25	47	↓	↓	↓	↓	
12	140 69	165	69	↓	↓	↓	↓	
13	39 47	49	47	↓	↓	↓	↓	
14	39 71	49	71	↓	↓	↓	↓	
15	39 92	49	92	↓	↓	↓	↓	
16	56 71	63	71	↓	↓	↓	↓	
17	39 49	49	49	↓	↓	↓	↓	
18	39 49	49	49	↓	↓	↓	↓	
19	117 47	125	47	↓	↓	↓	↓	
20								
21								
22								
23								
24								
25								

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 8/1/08

BUILDING OFFICIAL

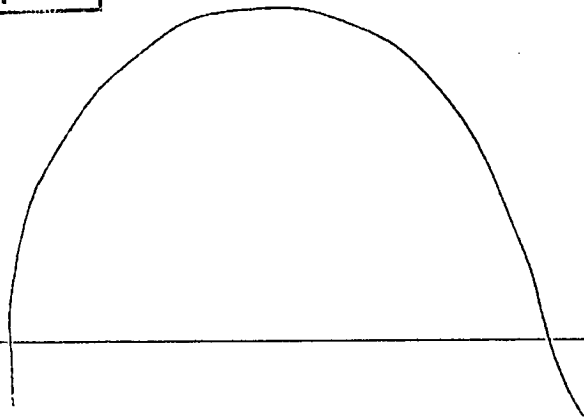
FINE HOMES BY RICIC

JOB: MARTINI



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

DRIVE





Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.13

Summary

print | | | -/ -/ | Address
1 of 1

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-002-000-00500-0	10 MIDDLE RD	27737	Address	0	1

Summary

Property Location 10 MIDDLE RD
Tax District 2200 Sewall's Point
Account # 27737
Land Use 101 0100 Single Family
Neighborhood 120000
Acres 0.343

Legal Description
Property Information
 HIGH POINT LOT 50

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information

Owner Information
 MARTIN JOHN G & BARBARA EDWARDS

Mail Information

10 MIDDLE RD
 STUART FL 34996

Assessment Info

Front Ft. 0.00

Market Land Value \$320,000
Market Impr Value \$131,980
Market Total Value \$451,980

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale

Sale Amount \$595,000

Sale Date 1/12/2005
Book/Page 1972 0389

[Print](#) | << First < Previous Next > Last >>

[Legal disclaimer](#) / [Privacy Statement](#)

Data updated on 07/23/2008



RECEIVED
DATE: 7-30-08
TOWN OF SEWALL'S POINT

Date: 7-8-08
Town of Sewall's Point
BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: JOHN + BARBARA MARTIN
Phone (Day) 281 726 3360 (Fax) _____

Job Site Address: H 10 MIRAGE RD City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) High PE - Lot 50 Parcel Number: 133841-002-000-00500-0

Owner Address (if different): SAME City: _____ State: _____ Zip: _____

Scope of work: STORM SHUTTERS

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 10,500
(Notice of Commencement required when over \$2500 prior to first inspection)
Is subject property located in flood hazard area? V _____ A9 _____ A8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
Fair Market Value of the Primary Structure only (Minus the land value)
*** PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION ***

CONTRACTOR/Company: FINE Homes By Rick Inc. Phone: 201-2220 Fax: 286-6322

Street: 1205 SW MAGNOLIA BLVD DR City: PALM CITY State: FL Zip: 34980

State Registration Number: _____ State Certification Number: LC053519 Municipality License Number: _____

PROJECT SUPERINTENDANT: _____ CONTACT NUMBER: RICK GLANCY

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER WALTER TILGIT Lic# 44167 Phone Number: 305-871-1531

Street: 3358 NW 36th ST City: VIRGINIA GARDENS State: FL Zip: 33166

AREA SQ. FOOTAGE (W /SEWER & ELECTRIC): Living: N/A Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

CODE EDITIONS IN EFFECT FOR THIS APPLICATION: Florida Building Code - Res., Build, Mech., Plmb., Fuel Gas: 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Prevention Code 2004

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50.05

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****
OWNER SIGNATURE (required) _____ CONTRACTOR SIGNATURE (required) _____

State of Florida, County of: Martin
This the 30th day of July 2008
by Barbara E Martin who is personally known to me or produced FL# M635-065-5 as identification. Valerie Meyer Notary Public
My Commission Expires: _____
State of Florida, County of: Martin
This the 10th day of July 2008
by Richard D Glancy who is personally known to me or produced Fla Driver Lic as identification. Beverly M Hall Notary Public - State of Florida
My Commission Expires Jul 14, 2009
Commission # DD 445732
My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION PERMITS AND OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

IMPACT PROTECTION INSTALLATION AFFIDAVIT

BLDG. PERMIT NUMBER: 8972
 JOB SITE ADDRESS: 10 Middle Rd
 CONTRACTOR/OWNER: RICK GLANCY FINE HOMES BY RICK
 PHONE NUMBER: 207-2220
 QUALIFIER NAME: RICK GLANCY
 LICENSE NUMBER: CGC 053510

I RICK GLANCY, do hereby affirm:
 Owner or Contractor – Please print name

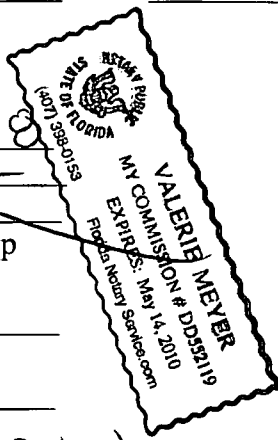
The following impact protection was used as per the 2004 FBC 1609.1.4 for all exterior glazed openings at the above referenced job site.

- Impact Resistant Glass
- Approved Shutters

That I personally observed the complete installation of all hurricane panel/shutters on the above referenced project and further affirm that they are fitted properly for the openings they are intended to protect.

[Signature] Date: 10-15-08
10-14-08
 Signature of Owner or Contractor

Sworn to and subscribed before me this 15th Day of October 2008
 By Richard D Glancy
Valerie Meyer
 Notary Public, State of Florida Notary Seal/Stamp



Personally known to me _____
 Produced ID

Type FDL#6452-744-57-011-0

Sewall' Point Building Department will inspect the structural attachment of the panel rails and/or the shutter assembly attachment to the building, per the manufacturer's product approvals, ASCE 7-02 and the 2004 Florida Building code at final inspection.

GENERAL NOTES:

- BERTHA H.V. ACCORDION SHUTTER SYSTEM SHOWN ON THIS PRODUCT EVALUATION DOCUMENT (P.E.D.) HAS BEEN VERIFIED FOR COMPLIANCE IN ACCORDANCE WITH THE 2004 EDITION OF THE FLORIDA BUILDING CODE, WITH THE 2005 SUPPLEMENT. THIS ACCORDION SHUTTER SYSTEM SHALL NOT BE INSTALLED AT HIGH VELOCITY HURRICANE ZONES. DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 1609 OF THE ABOVE MENTIONED CODE FOR A BASIC WIND SPEED AS REQUIRED BY THE JURISDICTION WHERE SHUTTER WILL BE INSTALLED, AND FOR A DIRECTIONALITY FACTOR $K_d=0.85$, IN ACCORDANCE WITH ASCE 7-02 STANDARD. IN ORDER TO VERIFY THAT ANCHORS ON THIS P.E.D., AS TESTED, WERE NOT OVERSTRESSED, A 33% INCREASE IN ALLOWABLE LOADS FOR WIND LOADS WAS USED IN THEIR ANALYSIS. BERTHA H.V. ACCORDION SHUTTER SYSTEM'S ADEQUACY FOR WIND AND LARGE MISSILE IMPACT LOAD HAS BEEN VERIFIED IN ACCORDANCE WITH SECTION 1609.1.4 OF THE ABOVE MENTIONED CODE AS PER ATL REPORTS:
 -HV BLADE ① #0214.01-03, #0715.01-03, #1004.01-05, #1214.01-05 AND 0317.02-06 AS PER TAS-201, TAS-202 AND TAS-203 PROTOCOLS AND ASTM E-1886 AND E-1996 STANDARDS (MISSILE LEVEL D, WIND ZONE 4).
 -HV BLADE ② #0422.01-05 AS PER TAS-201, TAS-202 AND TAS-203 PROTOCOLS
- HV BLADE ① AND HV BLADE ② ARE ENGINEERED TO WORK IN UNISON WITH EACH OTHER IN AREAS WHERE THE DESIGN PRESSURES TRANSITION FROM END ZONE 3 TO INTERIOR ZONE 4 EACH WIND ZONE MUST BE CLEARLY IDENTIFIED IN ACCORDANCE WITH SECTION 6, OF ASCE 7-02 STANDARD. ALL MOUNTING CONDITIONS AND FASTENER TYPES SCHEDULES MUST BE APPLIED TO THE CORRESPONDING WIND ZONE.
- BERTHA H.V. ACCORDION PINS (HV SCREWS), USED AT BLADES KNUCKLE AND FOR DIRECT MOUNT CONNECTION TO TRACKS SHALL BE # 14x2.75 AND # 14x1.75 RESPECTIVELY, 410-HT MINIMUM SERIES STAINLESS STEEL SCREWS WITH 135.0 ksi YIELD STRENGTH AND 180 ksi TENSILE STRENGTH. PINS SHALL BE COATED WITH BERTHA HV DACROSHIELD COATING SYSTEM AS MANUFACTURED BY APPROVED COATING APPLICATORS, REGISTERED WITH AMERICAN SHUTTER SYSTEMS ASSOCIATION. PINS MUST BEAR THE HV MARKING ON THEIR HEAD.
- ALL ALUMINUM EXTRUSIONS SHALL BE ALUMINUM ASSOCIATION ALLOY AND TEMPER AS INDICATED ON SHEETS 2 AND 3. MINIMUM YIELD STRENGTH FOR 6063-T6 ALLOY IS 25.0 ksi AND 35.7 ksi FOR 6005-T5 ALLOY.
- ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 AISI SERIES OR CORROSION RESISTANT COATED CARBON STEEL AS PER DIN 50018 WITH 50 ksi MIN. YIELD STRENGTH AND 90 ksi MIN. TENSILE STRENGTH.
- BOLTS TO BE ASTM A-307 GALVANIZED STEEL, OR AISI 304 OR 316 SERIES STAINLESS STEEL WITH 35 ksi MINIMUM YIELD STRENGTH.
- SEE THE FOLLOWING SHEETS FOR ANCHOR SPECIFICATIONS: HV BLADE ① : 13,14,15,16 AND 17
 HV BLADE ② : 26.
- THIS BERTHA H.V. ACCORDION SHUTTER SYSTEM BEARS A U.S. PATENT #6779,582. COMPONENTS OF THIS APPROVAL ARE COVERED, IN WHOLE OR IN PART BY U.S. PATENT #5458,179 ISSUED TO EASTERN METAL SUPPLY, INC.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHUTTER IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE. CONTRACTOR TO SEAL/CAULK ALL SHUTTER COMPONENT EDGES WHICH REMAIN, THRU FASTENING IN CONTINUOUS CONTACT WITH THE BUILDING TO PREVENT WIND/RAIN INTRUSION.
- EACH UNIT MUST BEAR PERMANENT LABEL IN A VISIBLE PLACE WITH WARNING NOTE: DURING PERIODS OF HURRICANE WARNINGS HOME OWNER, TENANT, OR OTHERS, MUST PROPERLY CLOSE ALL HV AND HD CENTERMATES AND ENGAGE OR LOCK ALL HV AND HD LOCKS.
- SHUTTER'S MANUFACTURER LABEL SHALL BE PLACED ON A READILY VISIBLE LOCATION. ONE LABEL SHALL BE PLACED FOR EVERY OPENING. LABEL SHALL READ AS FOLLOWS:
 AMERICAN SHUTTER SYSTEMS ASSOCIATION INC.
 WEST PALM BEACH, FL.
 FLORIDA STATEWIDE PRODUCT APPROVED.
- BERTHA H.V. ACCORDION SHUTTER SYSTEM'S INSTALLATION SHALL COMPLY WITH SPECS INDICATED IN THIS DRAWING PLUS ANY BUILDING AND ZONING REGULATIONS PROVIDED BY THE JURISDICTION WHERE PERMIT IS APPLIED TO.
- (a) THIS P.E.D. PREPARED BY THIS ENGINEER IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PROJECT; i.e. WHERE THE SITE CONDITIONS DEVIATE FROM THE P.E.D.
- (b) CONTRACTOR TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION INCLUDING LIFE SAFETY OF THIS PRODUCT, BASED ON THIS P.E.D., PROVIDED HE/SHE DOES NOT DEVIATE FROM THE CONDITIONS DETAILED ON THIS DOCUMENT. CONSTRUCTION SAFETY AT SITE IS THE CONTRACTOR'S RESPONSIBILITY.
- (c) THIS P.E.D. WILL BE CONSIDERED INVALID IF ALTERED BY ANY MEANS.
- (d) SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT WHICH WILL BECOME THE ENGINEER OF RECORD (E.O.R.) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE P.E.D. ENGINEER OF RECORD, ACTING AS A DELEGATED ENGINEER TO THE P.E.D. ENGINEER SHALL SUBMIT TO THIS LATTER THE SITE SPECIFIC DRAWINGS FOR REVIEW.
- (e) THIS P.E.D. SHALL BEAR THE DATE AND ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT.

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AREA 1: HV BLADES ① & ②

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CENTERMATE ALTERNATING DETAILS HV		SHEET 9
CENTERMATE DETAILS HD		SHEET 10
END CONNECTION DETAILS 1-6 CONCRETE/BLOCK		SHEET 11
MAXIMUM SPAN TABLES		SHEET 12
ANCHOR SCHEDULE- CONCRETE & BLOCK		SHEET 13
ANCHOR SCHEDULE- CONCRETE & BLOCK		SHEET 14
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AREA 3: HV BLADE ② ONLY

TYPICAL SHUTTER ELEVATION & NOTES ON LOCKS.		SHEET 21
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ANCHOR SCHEDULE CONCRETE & BLOCK		SHEET 26

TOWN OF SEWALE'S POINT
BUILDING DEPARTMENT
FILE COPY

F.B.C. (Non High Velocity Hurricane Zone)

© 2003 EASTERN METAL SUPPLY, INC.

BERTHA HV™
Accordion Shutter System

REV. No	DESCRIPTION	DATE	Drawn by: M.C.V.
1	OLD 05-198 & 05-277	11/22/05	DATE: 11/22/05
2			
3			
4			
5			
6			

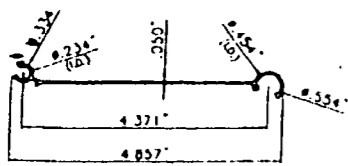
DRAWING No
05-364

SHEET
1 OF 26

WALTER A. TILLIT
 P.E. SEAL/SIGNATURE/DATE
 JUN 28 2006

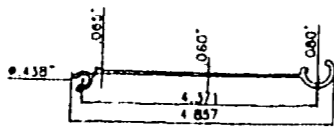
TILECO INC.
 TILLIT TESTING & ENGINEERING COMPANY
 6330 N.W. 36th St., Ste. 300, VIRGINIA GARDENS, FLORIDA 33166
 Phone : (305)871-1530 . Fax : (305)871-1531
 e-mail: tillitco@aol.com
 EB-0006719
 WALTER A. TILLIT JR. P. E.
 FLORIDA Lic. # 44167

A.S.S.A.
 American Shutter Systems
 Association, Inc.
 4268 Westroads Drive
 West Palm Beach, FL 33407



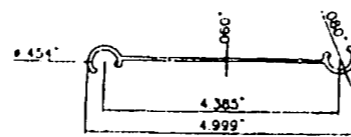
① HV BLADE

COVERED UNDER US PATENT # 5458179
6063-16 ALLOY AND TEMPER



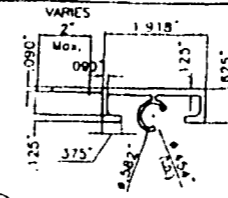
② HV BLADE

COVERED UNDER US PATENT # 5458179
6005-15 ALLOY AND TEMPER



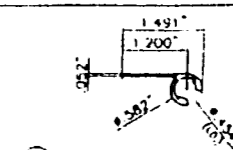
③ HV UNIVERSAL FLOATER

QUALIFIED FOR USE W/ HV BLADE ① & ②
6005-15 ALLOY AND TEMPER



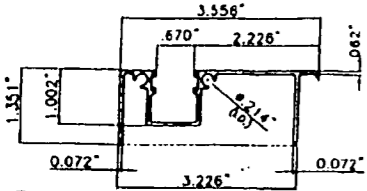
④ HV DIRECT MOUNT

QUALIFIED FOR USE W/ HV
BLADE ① & ②
6063-16 ALLOY AND TEMPER



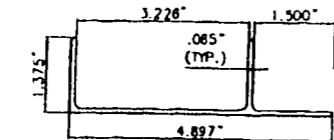
⑤ HV 90°/180° STARTER

QUALIFIED FOR USE W/
HV BLADE ① & ②
6063-16 ALLOY AND TEMPER



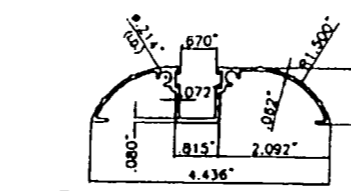
⑥ HV ADJ. FLOOR TRACK

QUALIFIED FOR USE W/ HV
BLADE ① & ②
6063-16 ALLOY AND TEMPER



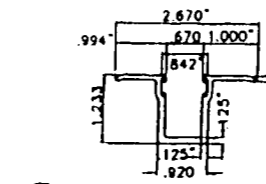
⑦ HV ADJ. ADAPTER W/LIP

QUALIFIED FOR USE W/ HV
BLADE ① & ②
6063-16 ALLOY AND TEMPER



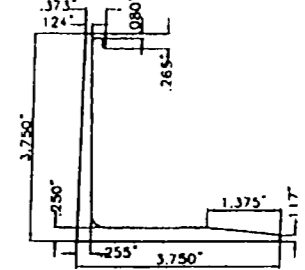
⑧ HV WALK-OVER TRACK

QUALIFIED FOR USE W/ HV
BLADE ① & ②
6063-16 ALLOY AND TEMPER



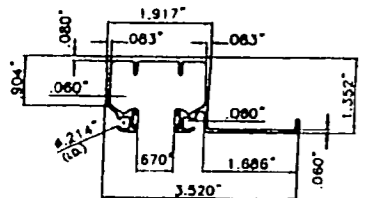
⑨ HV TRENCH TRACK

QUALIFIED FOR USE W/ HV
BLADE ② ONLY.
6063-16 ALLOY AND TEMPER



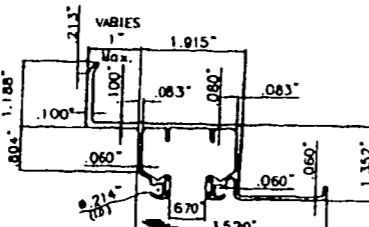
⑩ HV RAINGUARD

QUALIFIED FOR USE W/ HV
BLADE 1 & 2.
6063-16 ALLOY AND TEMPER



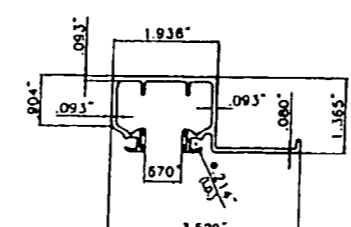
⑪ HV CEILING HEADER

QUALIFIED FOR USE W/ HV BLADE ① ONLY.
SEE SECTIONS FOR VALIDITY.
6063-16 ALLOY AND TEMPER



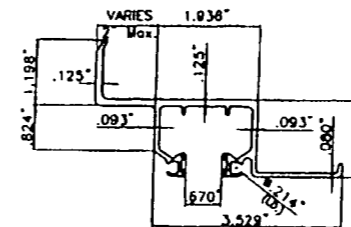
⑫ HV HEADER/SILL

QUALIFIED FOR USE W/ HV BLADE ① ONLY
6063-16 ALLOY AND TEMPER



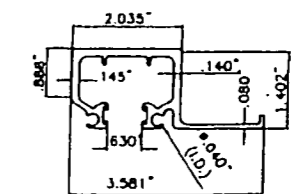
⑬ HD CEILING HEADER/SILL

QUALIFIED FOR USE W/ HV BLADE ①
SEE SECTIONS FOR VALIDITY.
6063-16 ALLOY AND TEMPER



⑭ HD WALL HEADER/SILL

QUALIFIED FOR USE W/ HV
BLADE ① ONLY.
6063-16 ALLOY AND TEMPER



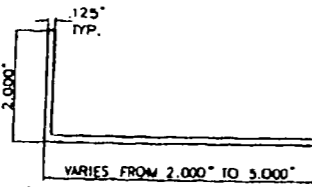
⑮ SHD CEILING HEADER/SILL

QUALIFIED FOR USE W/ HV BLADE ① & ②
6063-16 ALLOY AND TEMPER

X	Y	t
1"	1"	0.062"
1"	2"	0.062"
2"	2"	0.062"
2"	3"	0.062"
2"	4"	0.062"
2"	5"	0.062"

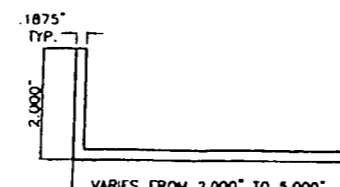
⑯ SIDE ANGLES

QUALIFIED FOR USE W/ HV
BLADE ① & ②
6063-16 ALLOY AND TEMPER



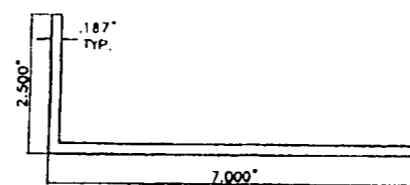
⑰ B.O. WALL ANGLE

QUALIFIED FOR USE W/ HV
BLADE ① ONLY.
6063-16 ALLOY AND TEMPER



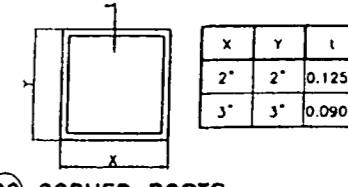
⑱ B.O. WALL ANGLE

QUALIFIED FOR USE W/ HV BLADE ②
6063-16 ALLOY AND TEMPER



⑲ 7\"/>

QUALIFIED FOR USE W/ HV
BLADE ① ONLY.
6063-16 ALLOY AND TEMPER



⑳ CORNER POSTS

QUALIFIED FOR USE W/ HV
BLADE ① & ②
6063-16 ALLOY AND TEMPER

F.B.C. (Non High Velocity Hurricane Zone)

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WALTER A. TILLET
P.E. SEAL/SIGNATURE/DATE



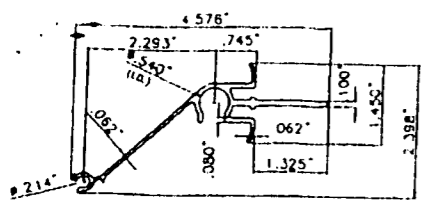
TILLET TESTING & ENGINEERING COMPANY
3304 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166
Phone: (305)871-1530 Fax: (305)871-1531
e-mail: tilteco@aol.com
EB-0008719
WALTER A. TILLET JR., P. E.
FLORIDA Lic. # 44167

A.S.S.A.

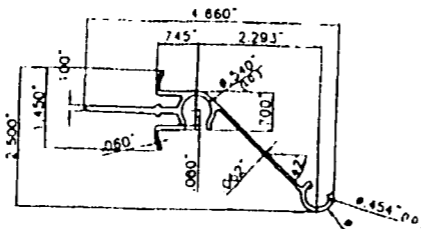
American Shutter Systems
Association, Inc.
4268 Westroads Drive
West Palm Beach, FL 33407

BERTHA HV™
Accordion Shutter System

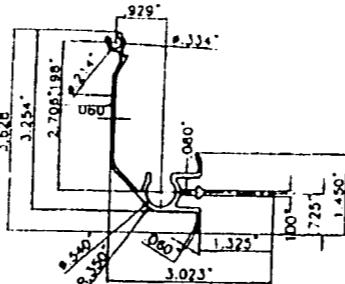
REV. No	DESCRIPTION	DATE	Drawn by: W.C.V.
1	OLD 03-188 & 03-277	11/22/03	DATE: 11/22/05
2			
3			DRAWING No
4			05-364
5			SHEET
6			2 OF 26



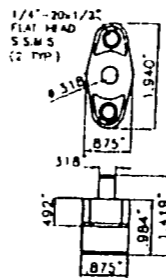
21 **HV CENTERMATE**
 QUALIFIED FOR USE W/ HV BLADE ① ONLY
 6063-T6 ALLOY AND TEMPER



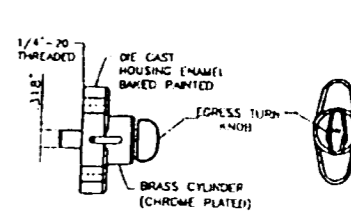
22 **HV FLOATING CENTERMATE**
 QUALIFIED FOR USE W/ HV BLADE ① ONLY
 6063-T6 ALLOY AND TEMPER



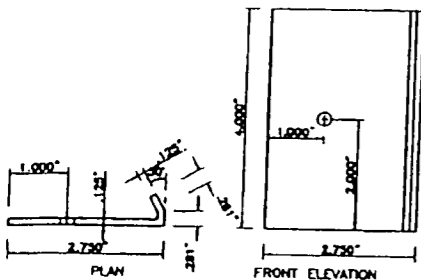
23 **HV CORNER CENTERMATE**
 QUALIFIED FOR USE W/ HV BLADE ① ONLY
 6063-T6 ALLOY AND TEMPER



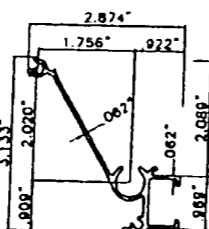
24 **HV LOCK**
 QUALIFIED FOR USE W/ HV BLADE ① ONLY.



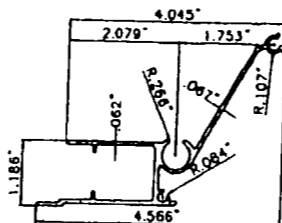
25 **HV EGRESS LOCK**
 QUALIFIED FOR USE W/ HV BLADE ① ONLY.



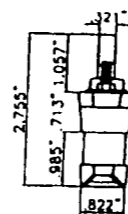
27 **LOCKER FOR "T" LOCK CENTERMATE**
 QUALIFIED FOR USE W/ HV BLADE ① ONLY
 6063-T6 ALLOY AND TEMPER



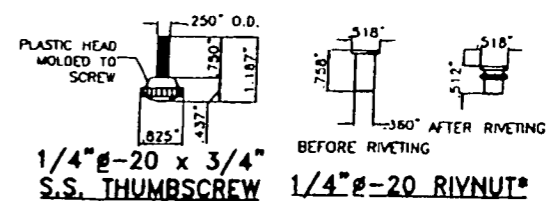
28 **HV MALE "T" LOCK CENTERMATE**
 QUALIFIED FOR USE W/ HV BLADE ① ONLY
 6063-T6 ALLOY AND TEMPER



29 **HV FEMALE "T" LOCK CENTERMATE**
 QUALIFIED FOR USE W/ HV BLADE ① ONLY
 6063-T6 ALLOY AND TEMPER



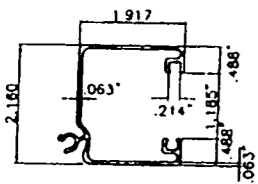
30 **HV "T" LOCK**
 QUALIFIED FOR USE W/ HV BLADE ① ONLY.



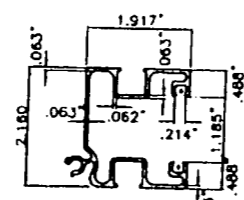
26 **HV ALTERNATIVE LOCK**
 QUALIFIED FOR USE W/ HV BLADE ① ONLY.

1/4" x 20 x 3/4" S.S. THUMBSCREW 1/4" x 20 RIVNUT*

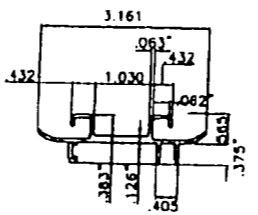
* SERIES 9444 ALUMINUM (2024-T3 ALLOY) LARGE FLANGE THIN SHEET NUTSERT, PART # 0620, AS MANUFACTURED BY AVDEL CHERRY TEXTORN, PARSIPPANY, NEW JERSEY 07034 OR EQUAL.



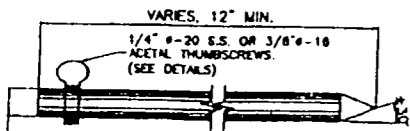
31 **HD CENTERMATE W/ NO LOCKING ROD**
 QUALIFIED FOR USE W/ HV BLADE ① & ②
 6063-T6 ALLOY AND TEMPER



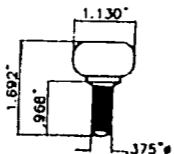
32 **HD CENTERMATE W/ LOCKING ROD**
 QUALIFIED FOR USE W/ HV BLADE ① & ②
 6063-T6 ALLOY AND TEMPER



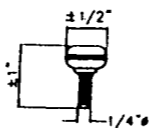
33 **HD CENTERMATE'S INSERT**
 QUALIFIED FOR USE W/ HV BLADE ① & ②
 6063-T6 ALLOY AND TEMPER



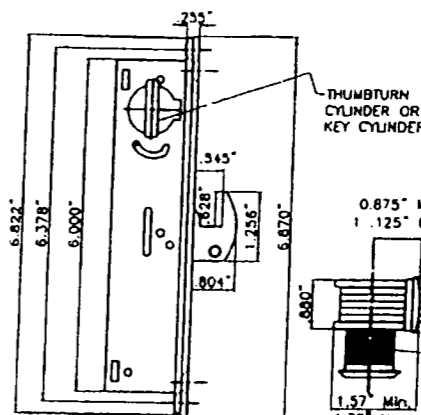
35 **LOCKING ROD**
 QUALIFIED FOR USE W/ HV BLADE ① & ②
 6063-T6 ALLOY AND TEMPER



36 **HV 3/8" - 16 ACETAL THUMBSCREWS**
 QUALIFIED FOR USE W/ HV BLADE ① & ②



37 **HV 1/4" - 20 AISI 304 SERIES S.S. THUMBSCREWS**
 QUALIFIED FOR USE W/ HV BLADE ① & ②



34 **HD LOCK**

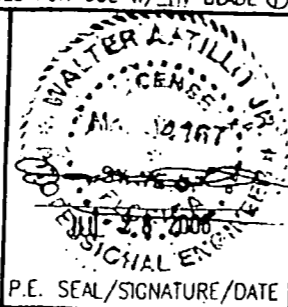
BY REGENT HARDWARE MORTISE LOCKS SERIES 2333 HOOK BOLT LOCK. QUALIFIED FOR USE W/ HV BLADE ① & ②

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BERTHA HV™
 Accordion Shutter System

REV. No	DESCRIPTION	DATE	Drawn by: M.C.V.
1	OLD 05-188 & 05-277	11/22/03	DATE: 11/22/05
2			
3			
4			DRAWING No 05-364
5			SHEET
6			3 OF 26



P.E. SEAL/SIGNATURE/DATE



TILTIT TESTING & ENGINEERING COMPANY
 8358 N.W. 35th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33180
 Phone: (305)871-1530; Fax: (305)871-1531
 e-mail: tiltit@aol.com
 EB-0006719
 WALTER A. TILT JR., P. E.
 FLORIDA Lic. # 44187



American Shutter Systems
 Association, Inc.
 4268 Westroads Drive
 West Palm Beach, FL 33407

SHUTTER ASSEMBLY SCHEDULE FOR HV ① AND HV ② BLADES.

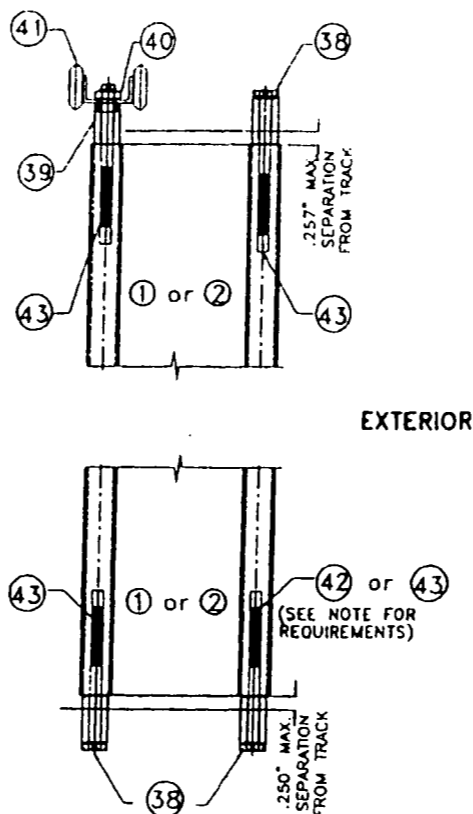
①	HV BLADE 1
②	HV BLADE 2
③⑧	HV LONG RECESSED NYLON BUSHING
③⑨	HV SHORT RECESSED NYLON BUSHING
④⑩	HV NYLON HAT WASHER
④①	HV WHEEL CARRIAGE AISI 302-303 SERIES ø.870"x3/16" THICK NYLON WHEEL. 0.188"ø AISI 302 SERIES S.S. RIVETS
④②	HV 1 3/4" ACCORDION PIN W/ #8 HEAD *
④③	HV 2 3/4" ACCORDION PIN W/ #8 HEAD *

*** HV PIN REQUIREMENTS AT EXTERIOR BLADE KNUCKLE FOR HV ① & HV ② BLADES.**

(1) HV PIN ④③ SHALL ALWAYS BE USED AT ALL EXTERIOR BOTTOM KNUCKLES OF HV ACCORDION SYSTEM W/ HV ① BLADE.

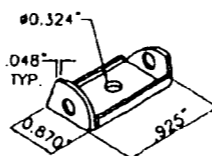
(2) HV PIN ④② MAY BE USED IN LIEU OF ④③ AND ONLY AT EXTERIOR BOTTOM KNUCKLES OF HV ACCORDION SYSTEM W/ HV ② BLADE WHEN CORRESPONDING TO INSTALLATIONS FOR INSTALLATIONS "CC" AND "DD". SHEET 22 OF 26.

(3) HV PIN ④② OR ④③ W/ 1/2" O.D. 1/16" THICK S.S. WASHER SHALL BE USED FOR DIRECT MOUNT INSTALLATION PER DETAIL X, SHEETS 11 & 24 OF 26.



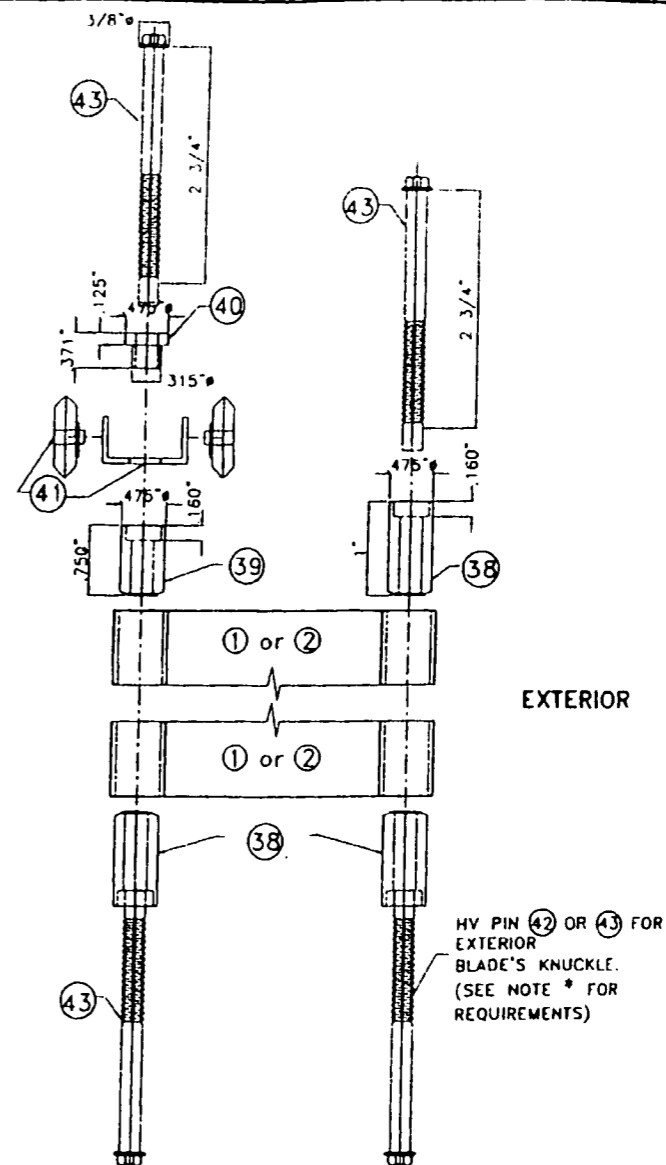
TYPICAL SHUTTER ASSEMBLY

SCALE: 3/8" = 1"



WHEEL CARRIAGE DETAIL

N.T.S.



ASSEMBLY LAYOUT

N.T.S.

F.B.C. (Non High Velocity Hurricane Zone)

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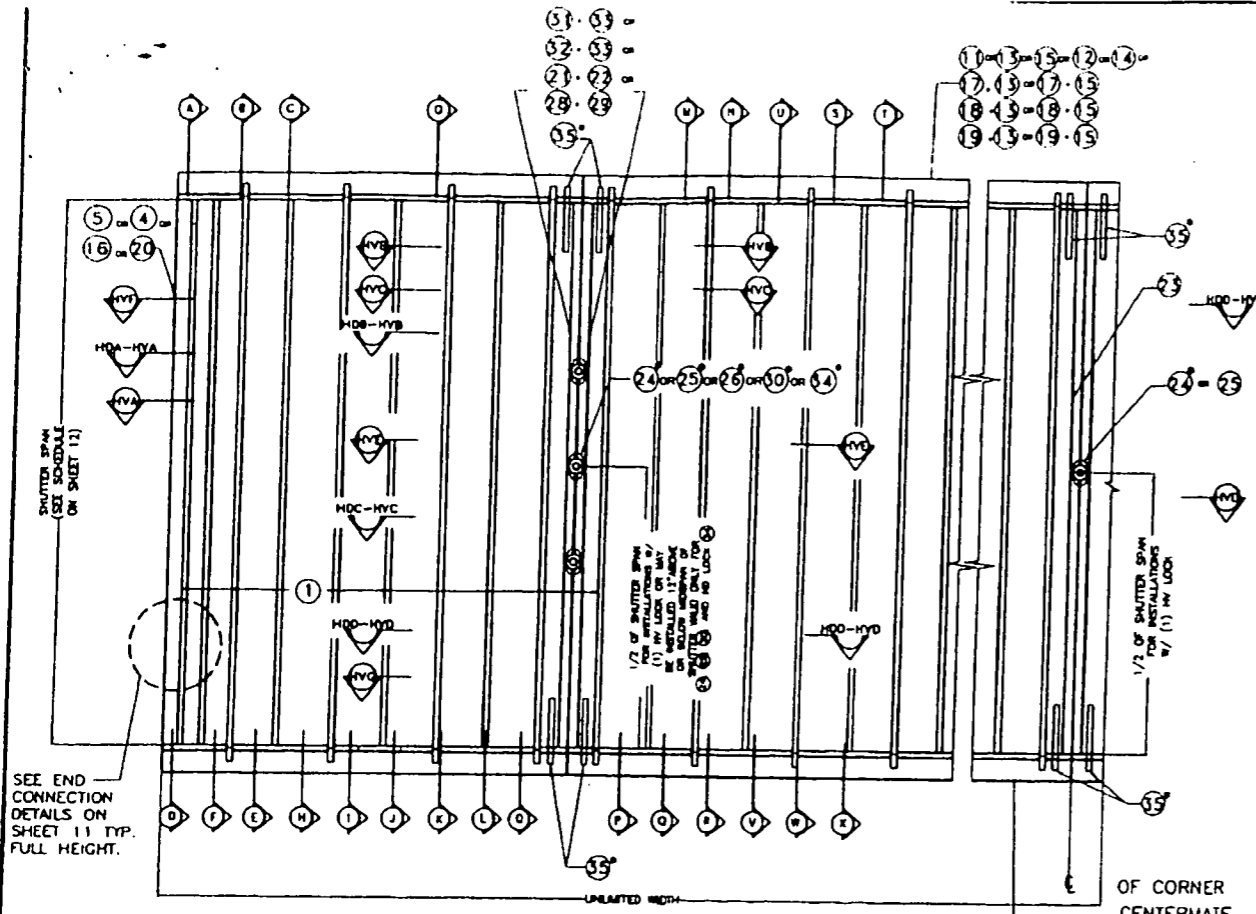
REV. No	DESCRIPTION	DATE	Drawn by:	M.C.V.
1	OLD 05-186 & 05-277	11/22/05	DATE: 11/22/05	
2				
3				DRAWING No 05-364
4				
5				SHEET 4 OF 26
6				

WALTER A. TILLIT
No. 44167
TILTECO INC.
JUL 28 2006
P.E. SEAL/SIGNATURE/DATE



TILLIT TESTING & ENGINEERING COMPANY
8355 N.W. 34th St., Ste. 303, VIRGINIA GARDENS, FLORIDA 33186
Phone: (305)871-1530 Fax: (305)871-1531
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EB-0008719
WALTER A. TILLIT J. P. E.
FLORIDA Lic. # 44167

A.S.S.A.
American Shutter Systems
Association, Inc.
4268 Westroads Drive
West Palm Beach, FL 33407



TYPICAL ① HV BLADE SHUTTER ELEVATION
N.T.S.

- ⑫ = ⑭ or ⑥ · ⑦ or ⑧ = ⑩ · ⑬ or
- ⑩ · ⑮ = ⑰ · ⑬ or ⑰ · ⑮ or
- ⑥ · ⑦ · ⑰ or ⑥ · ⑦ · ⑱ or
- ⑮ · ⑱ or ⑬ · ⑱ or ⑧ · ⑰ or
- ⑧ · ⑱ or ⑱ · ⑬ or ⑱ · ⑮

*** NOTES ON HV LOCKS AND CENTERMATES:**

1. **MANDATORY CONDITION #1:** ONE HV LOCK ⑫ or ⑮ SHALL BE USED AT 1/2 OF SHUTTER SPAN FOR ANY SPAN OR 12" ABOVE OR BELOW 1/2 OF SHUTTER SPAN FOR SPANS UP TO 105", AND FOR INSTALLATIONS AT ANY ELEVATION. HV LOCK ⑫ or ⑮ MAY BE USED AS AN INSIDE OR OUTSIDE LOCK, ATTACHED TO ① OR ② CENTERMATES W/(2) 1/4"Ø-20 x 1/2" LONG FLAT HEAD S.S. M.S. LOCATION OF LOCK SHALL BE AS INDICATED ON TYPICAL SHUTTER ELEVATION.
2. **OPTIONAL CONDITION #1:** IF DESIRED, FOR BETTER PERFORMANCE OR FOR SECURITY PURPOSES, UP TO TWO HV LOCKS ⑫, ⑮ OR ⑱ MAY BE USED AS AN INSIDE OR OUTSIDE LOCK. CONNECTION OF LOCKS TO CENTERMATES ① OR ② SHALL BE AS INDICATED ON NOTE (1) ABOVE. LOCATION OF LOCKS SHALL BE AS INDICATED ON TYPICAL SHUTTER ELEVATION.
3. **OPTIONAL CONDITION #2 (VALID ONLY WHEN MANDATORY CONDITION #1 OR LIMITED MANDATORY CONDITION #2 IS USED W/TWO H.V. LOCKS):** LOCKING RODS ⑮ ARE NOT REQUIRED AT HURRICANE POSITION, BUT MAY BE USED IF DESIRED TO ENHANCE SHUTTER PERFORMANCE. LOCKING RODS ⑮ OR AN ALTERNATIVE DEVICE MAY ALSO BE USED AT STACKING POSITION (NON HURRICANE POSITION).
4. **MANDATORY CONDITION #2:** ONE HV LOCK ⑫ or ⑮ SHALL BE USED AT CORNER CENTERMATES FOR ANY SPAN AND INSTALLATIONS AT ANY ELEVATION. HV LOCK ⑫ or ⑮ SHALL BE USED AS AN OUTSIDE OR INSIDE LOCK, ATTACHED TO ③ CORNER CENTERMATE W/(2) 1/4"Ø-20 x 1/2" LONG FLAT HEAD S.S. M.S. TWO LOCKING RODS ⑮ AT TOP & BOTTOM SHALL BE USED. LOCATION OF LOCK SHALL BE AS INDICATED ON TYPICAL SHUTTER ELEVATION. MAXIMUM SHUTTER SPAN SHALL BE DETERMINED AS PER SCHEDULES SHOWN ON SHEET 12.
5. **FIRST ALTERNATE TO MANDATORY CONDITION #1 (VALID ONLY FOR HV LOCK ⑫ W/ SYMMETRICAL CENTERMATES ① OR ②):** ONE ALTERNATE HV LOCK ⑱ MAY BE USED IN LIEU OF HV LOCK ⑫ or ⑮ FOR ANY SPAN AND INSTALLATIONS AT ANY ELEVATION. ALTERNATE LOCK ⑱ MAY BE USED AS AN INSIDE OR OUTSIDE LOCK. ATTACHMENT OF 1/4"Ø-20x3/4" S.S. THUMBSCREW TO ① OR ② CENTERMATES SHALL BE MADE W/ 1/4"Ø-20x3/4" ALUM. RIVNUT AS SHOWN ON SECTION HVE, SHEET 8. ONE LOCK SHALL BE USED AT 1/2 OF SHUTTER SPAN OR TWO LOCKS AT 1/3 OF SHUTTER SPAN.

***NOTES ON HV "T" LOCKS AND CENTERMATES:**

1. **SECOND ALTERNATE TO MANDATORY CONDITION #1 (VALID ONLY FOR HV "T" LOCK ⑳ AND CENTERMATES ① AND ②):** ONE ALTERNATE HV "T" LOCK ⑳ MAY BE INSTALLED IN LIEU OF HV LOCKS ⑫ or ⑮ FOR ANY SPAN AND INSTALLATION AT ANY ELEVATION. ALTERNATE LOCK ⑳ MAY BE USED AS AN INSIDE OR OUTSIDE LOCK. ATTACHMENT OF LOCK ⑳ INCLUDES USING REINFORCING LOCKER ⑳, AS SHOWN ON SECTION HVC, SHEET 9, WHICH MUST BE CONNECTED TO CENTERMATES ① AND ② W/ 1/4"Ø-20 x 1 1/2" LONG S.S. THREADED BOLT W/ 7/8"Ø x 3/32" WINGNUT OR W/ 1/4"Ø-20x1" S.S.M.S. INTO A 1/4"Øx 5/8" RIVNUT. LOCK MAY BE INSTALLED AT MIDSPAN OR 12" MAXIMUM ABOVE AND BELOW MIDSPAN. USE OF TWO LOCKING RODS ⑮ TOP AND BOTTOM IS MANDATORY.

***NOTES ON HD LOCKS & CENTERMATES:**

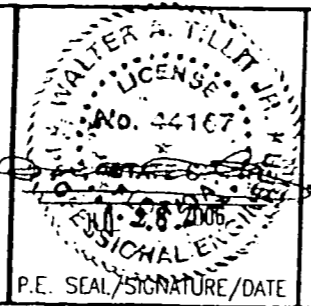
1. **HD LOCK ㉔ W/ HD CENTERMATES ④ OR ⑤ W/ ④:** ONE ALTERNATE HD LOCK ㉔ MAYBE USED IN LIEU OF HV LOCKS ⑫ or ⑮ FOR ANY SPAN AND INSTALLATIONS AT ANY ELEVATION. ALTERNATE HD LOCK ㉔ MAY BE USED AS AN INSIDE OR OUTSIDE LOCK. ATTACHMENT OF HD LOCK ㉔ TO ④ IS W/ 3/8"Ø x 3/8" F.H. S.S.M.S., AND INCLUDES REINFORCEMENT INSERT ㉕ AS SHOWN ON SECTIONS HDB-HVB AND HDC-HVC, SHEET 10. LOCK MAY BE INSTALLED AT MIDSPAN OR 12" MAXIMUM BELOW OR ABOVE MIDSPAN. USE OF LOCKING RODS ⑮ IS COMPLETELY OPTIONAL.

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BERTHA HV™
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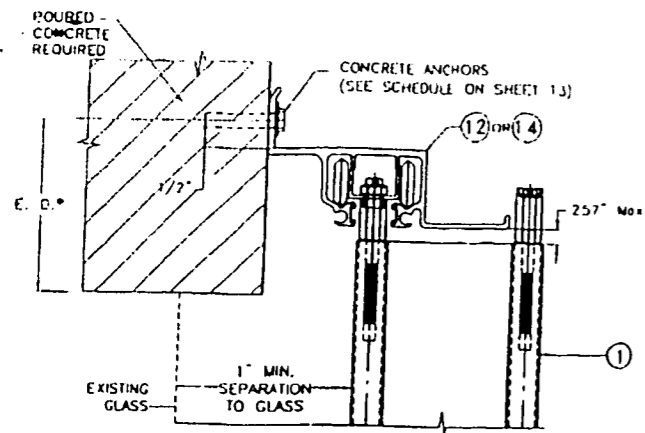
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2			
3			DRAWING No
4			05-364
5			SHEET
6			5 OF 26



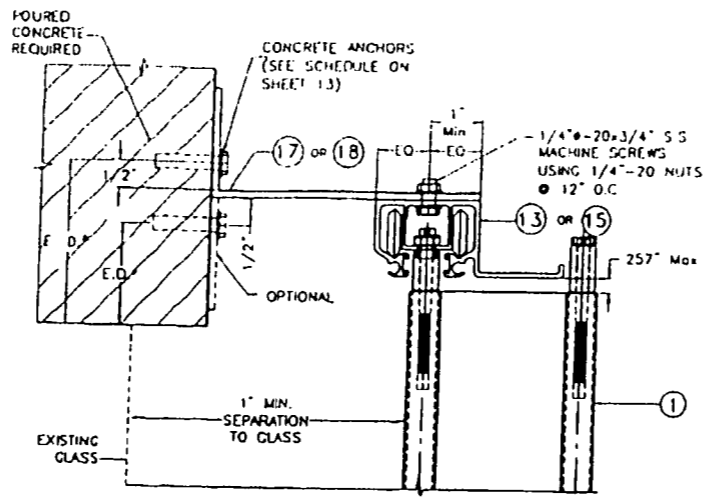
TILTECO INC.
TILLIT TESTING & ENGINEERING COMPANY
3355 N.W. 34th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166
Phone: (305)871-1530 . Fax: (305)871-1531
e-mail: tilteco@aol.com
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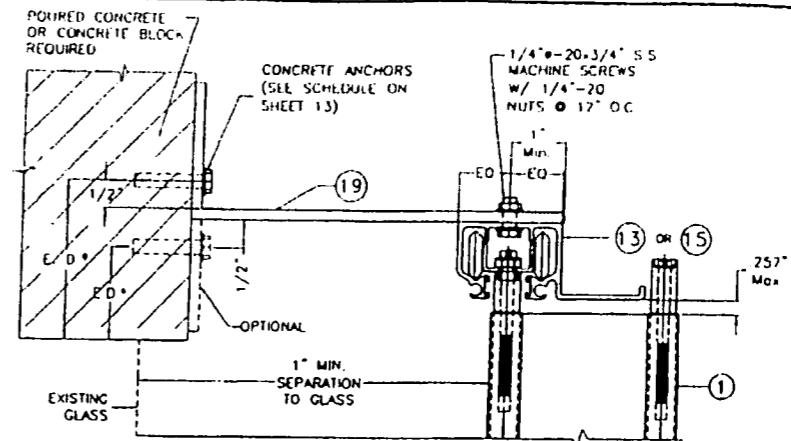
P.E. SEAL/SIGNATURE/DATE



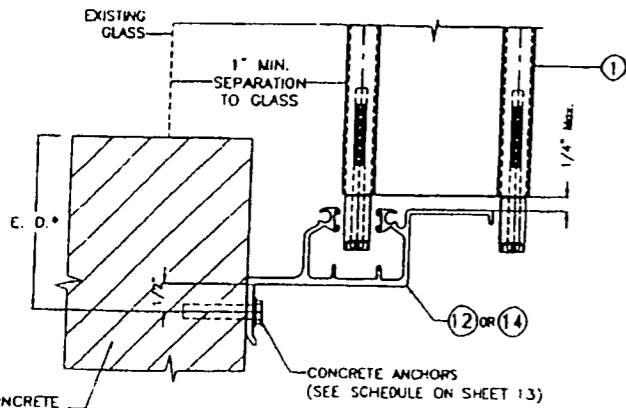
A HV WALL HEADER INSTALLATION



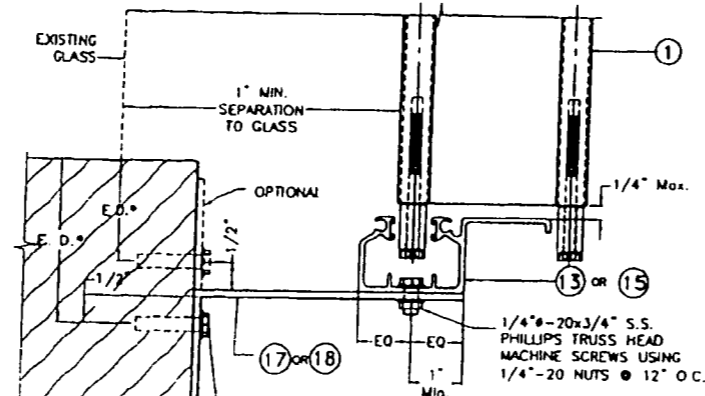
B HV WALL HEADER INSTALLATION



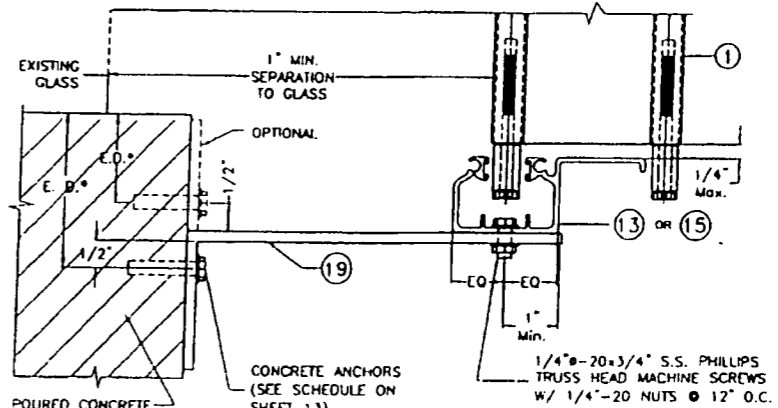
C HV WALL HEADER INSTALLATION



D HV WALL SILL INSTALLATION



E HV WALL SILL INSTALLATION



F HV WALL SILL INSTALLATION

NOTE FOR COMBINATION OF SECTIONS:
 1- SEE SHEET 4 FOR TYPICAL SHUTTER ASSEMBLY
 2- MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

* E. D. = EDGE DISTANCE
 (SEE SPECIFICATIONS ON SHEET 14)

INSTALLATION DETAILS W/

1 HV BLADE

F.B.C. (Non High Velocity Hurricane Zone)

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 No. 28285
 10/28/2005
 P.E. SEAL/SIGNATURE/DATE



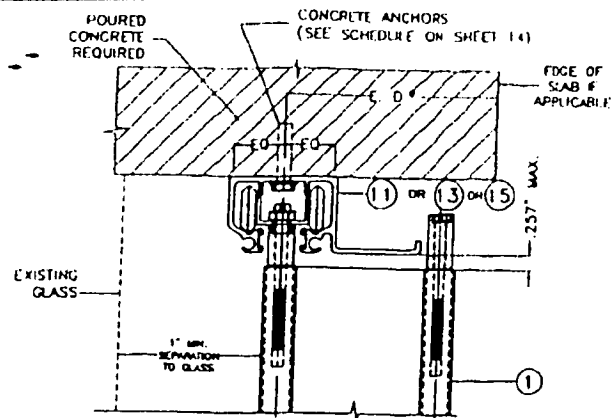
TILLIT TESTING & ENGINEERING COMPANY
 2543 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33466
 Phone: (305)871-1530 Fax: (305)871-1531
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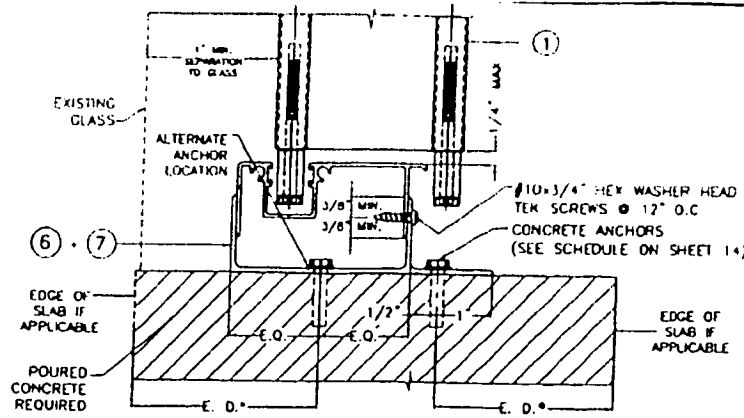
BERTHA HV™
 Accordion Shutter System

REV. No	DESCRIPTION	DATE	Drawn by: M.C.V.
1	OLD 05-198 & 05-277	11/22/05	DATE: 11/22/05
2			
3			
4			
5			
6			

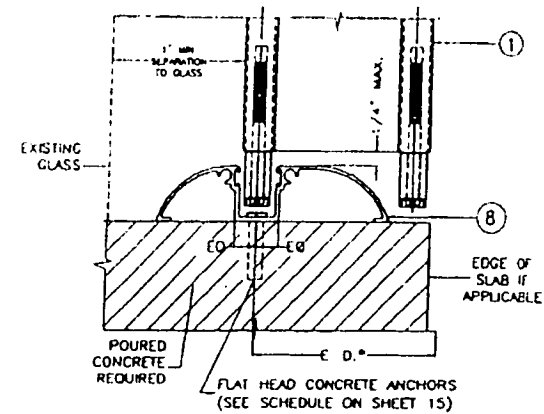
DRAWING No
05-364
 SHEET
 6 OF 26



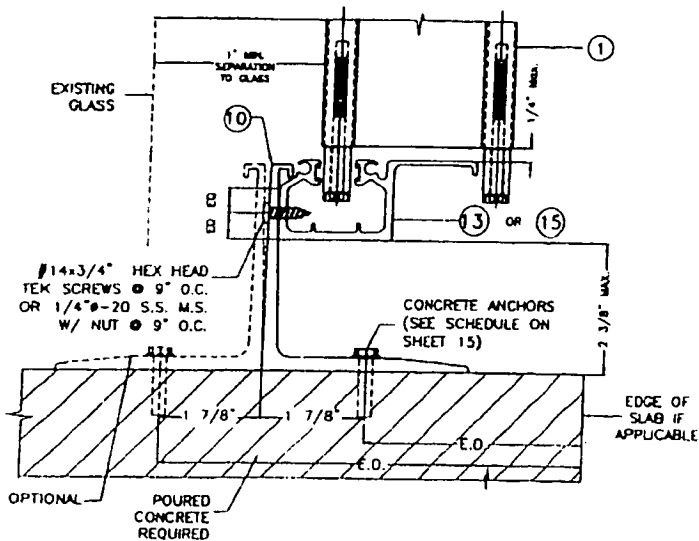
G HV CEILING INSTALLATION



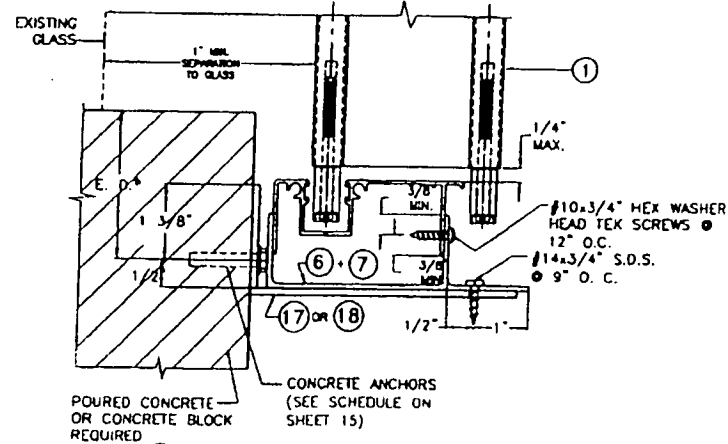
H HV FLOOR INSTALLATION †



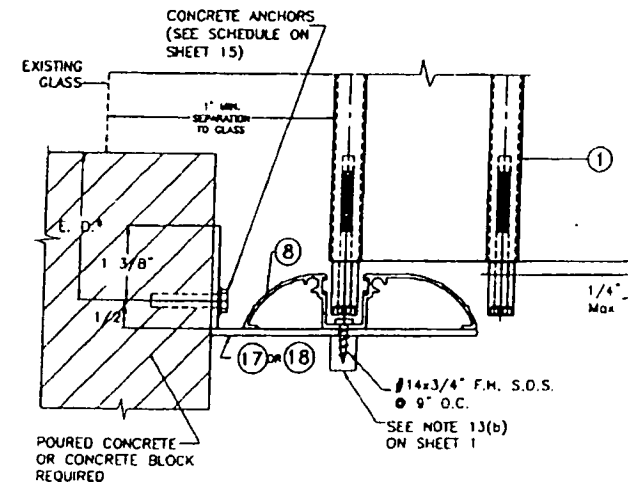
I HV WALK-OVER INSTALLATION



J HV RAINGUARD INSTALLATION †



K HV WALL FLOOR INSTALLATION



L HV WALL WALK-OVER INSTALLATION

NOTE FOR COMBINATION OF SECTIONS:

- 1- SEE SHEET 4 FOR TYPICAL SHUTTER ASSEMBLY
- 2- MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

* E. D. = EDGE DISTANCE
(SEE SPECIFICATIONS ON SHEET 14)

NOTE:

THIS INSTALLATION SHALL BE REMOVABLE WHEN PERFORMED ADJACENT TO AN OPERABLE EXIT OR ENTRANCE

INSTALLATION DETAILS W/

I HV BLADE

F.B.C. (Non High Velocity Hurricane Zone)

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REV. No	DESCRIPTION	DATE	Drawn by: M.C.V.
1	ULD 05-100 & 05-217	11/22/05	DATE: 11/22/05
2			DRAWING No
3			05-364
4			SHEET
5			7 OF 26
6			

WALTER A. TILLIT, JR.
P.E. SEAL SIGNATURE/DATE

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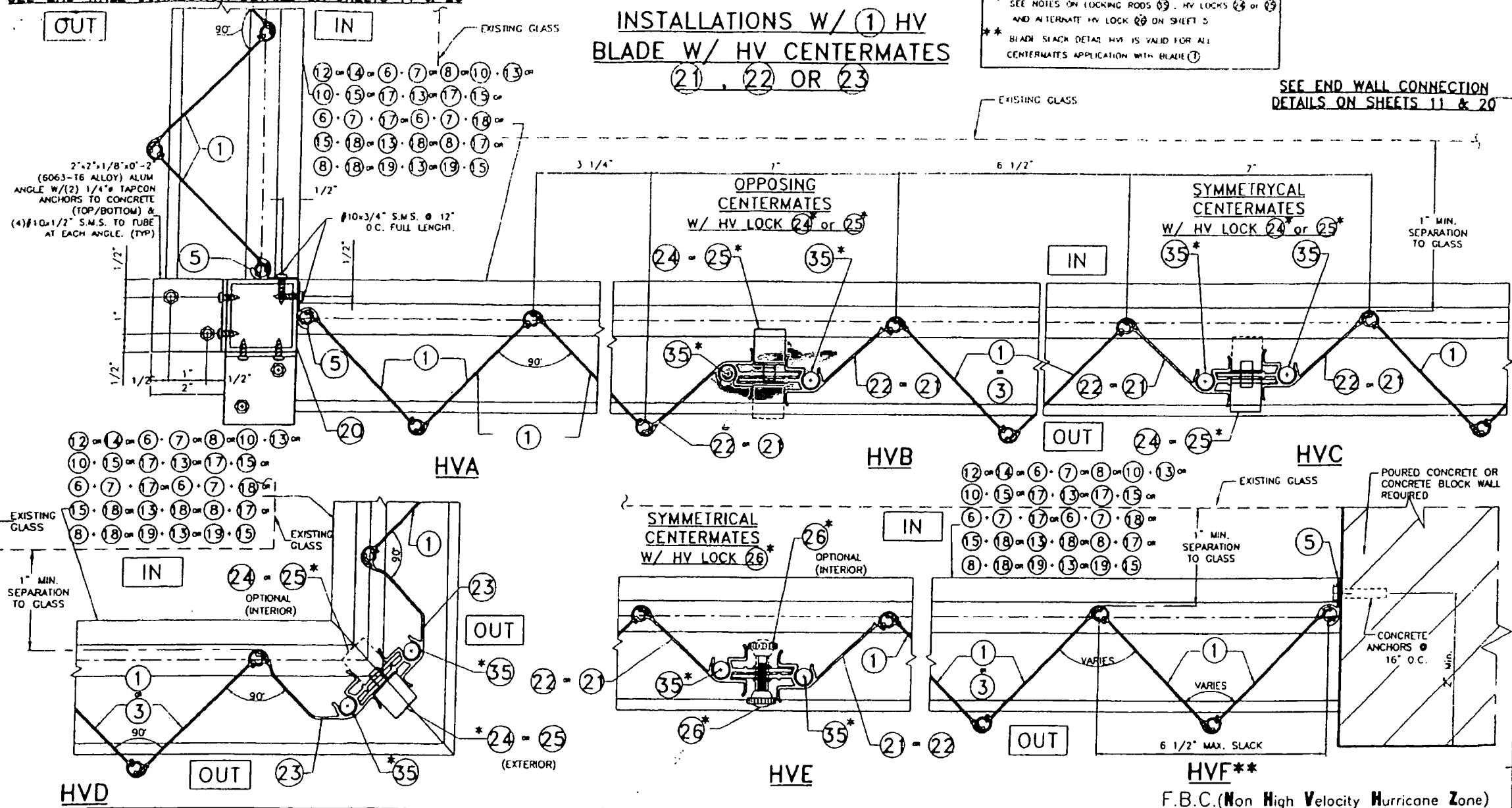
A.S.S.A.
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4268 Westroads Drive
West Palm Beach, FL 33407

SEE END WALL CONNECTION DETAILS ON SHEETS 11 & 20

INSTALLATIONS W/ ① HV BLADE W/ HV CENTERMATES ②①, ②② OR ②③

SEE NOTES ON LOCKING RODS ②④, HV LOCKS ②④ or ②⑤
AND ALTERNATE HV LOCK ②⑥ ON SHEET 5
** BLADE SLACK DETAIL HV IS VALID FOR ALL
CENTERMATES APPLICATION WITH BLADE ①

SEE END WALL CONNECTION
DETAILS ON SHEETS 11 & 20



F.B.C. (Non High Velocity Hurricane Zone)

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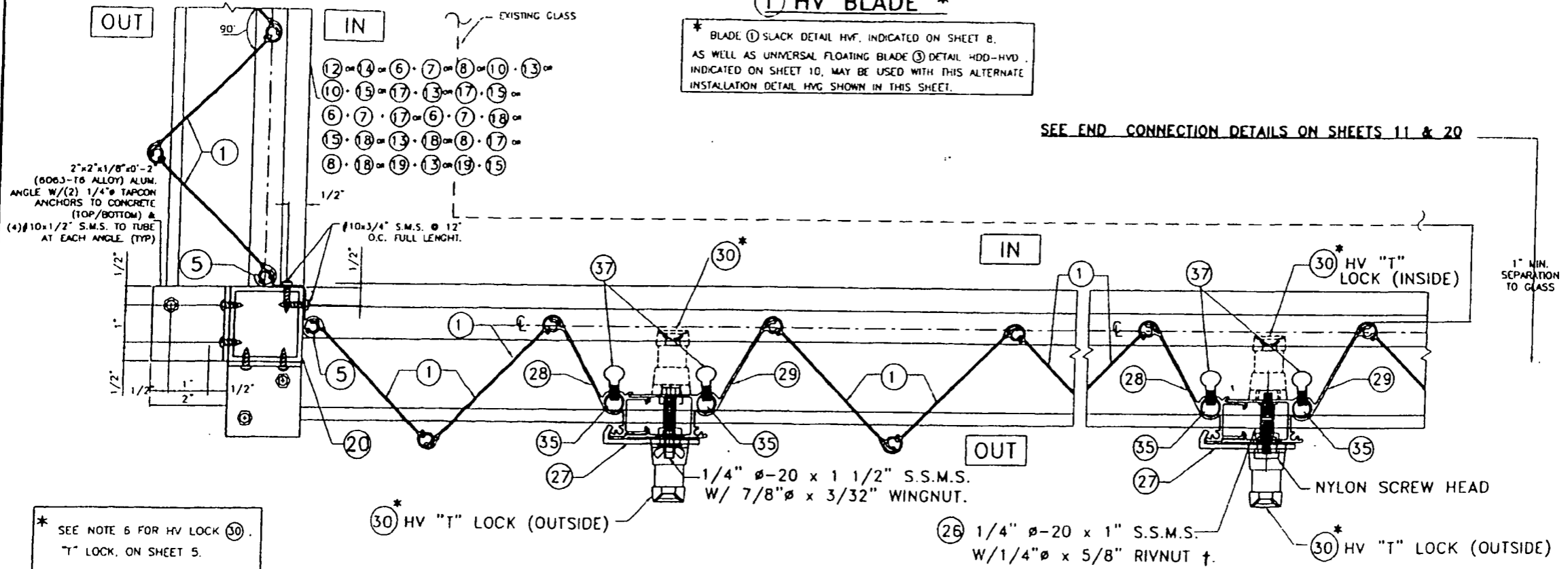
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2			DRAWING No
3			05-364
4			SHEET
5			8 OF 26
6			

SEE END CONNECTION DETAILS ON SHEETS 11 & 20

ALTERNATE INSTALLATION W/HV "T" LOCK CENTERMATES/HV "T" LOCK & ① HV BLADE *

* BLADE ① SLACK DETAIL HVF, INDICATED ON SHEET 8,
AS WELL AS UNIVERSAL FLOATING BLADE ③ DETAIL HOD-HVD,
INDICATED ON SHEET 10, MAY BE USED WITH THIS ALTERNATE
INSTALLATION DETAIL HVG SHOWN IN THIS SHEET.

SEE END CONNECTION DETAILS ON SHEETS 11 & 20



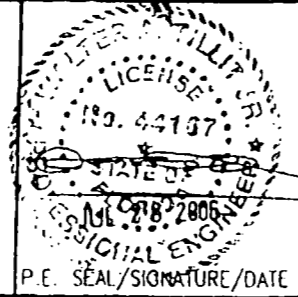
* SEE NOTE 6 FOR HV LOCK ③
"T" LOCK, ON SHEET 5.

† SERIES 9444 ALUMINUM
(2024-T3 ALLOY) LARGE FLANGE THIN
SHEET NUTSERT, PART # 0820,
AS MANUFACTURED BY AVDEL CHERRY
TEXTORN, PARSIPPANY, NEW JERSEY
07054 OR EQUAL.

HVG*

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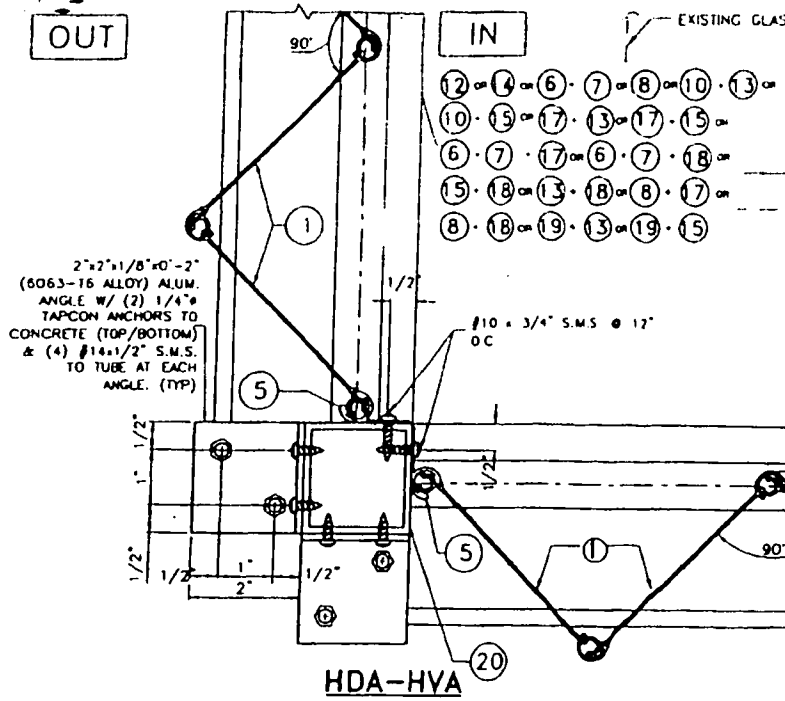
TILTECO INC.
TILLIT TESTING & ENGINEERING COMPANY
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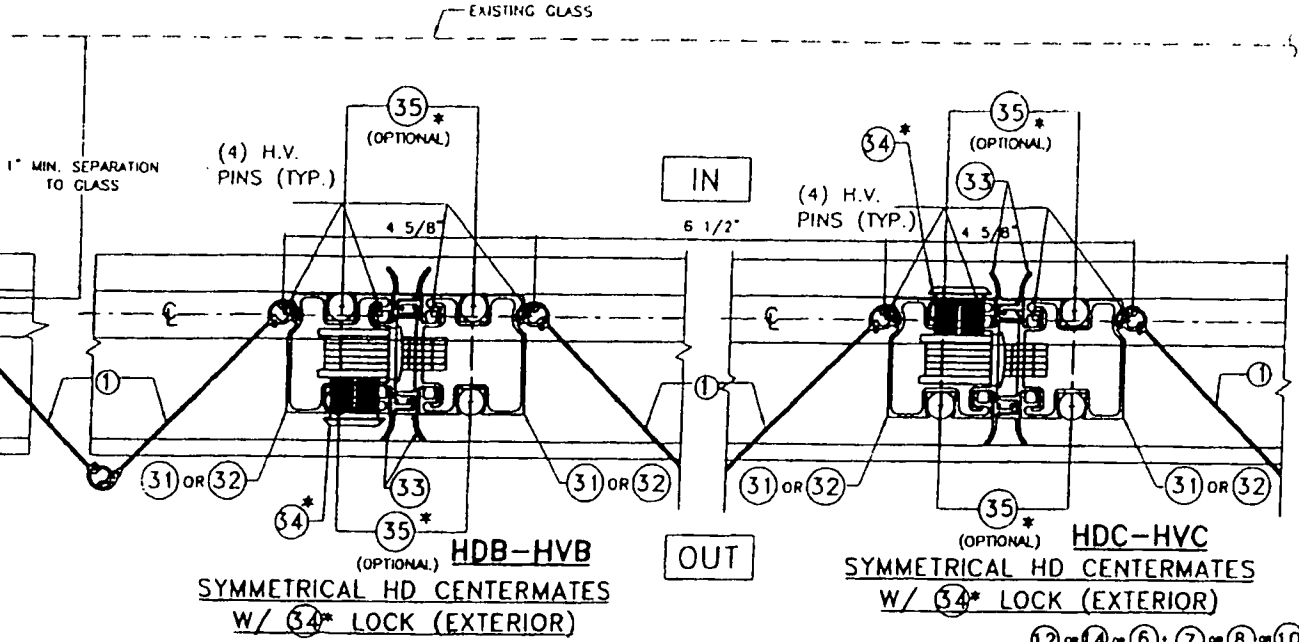
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2			DRAWING No
3			05-364
4			SHEET
5			9 OF 26
6			

SEE END WALL CONNECTION DETAILS ON SHEETS 11 & 20

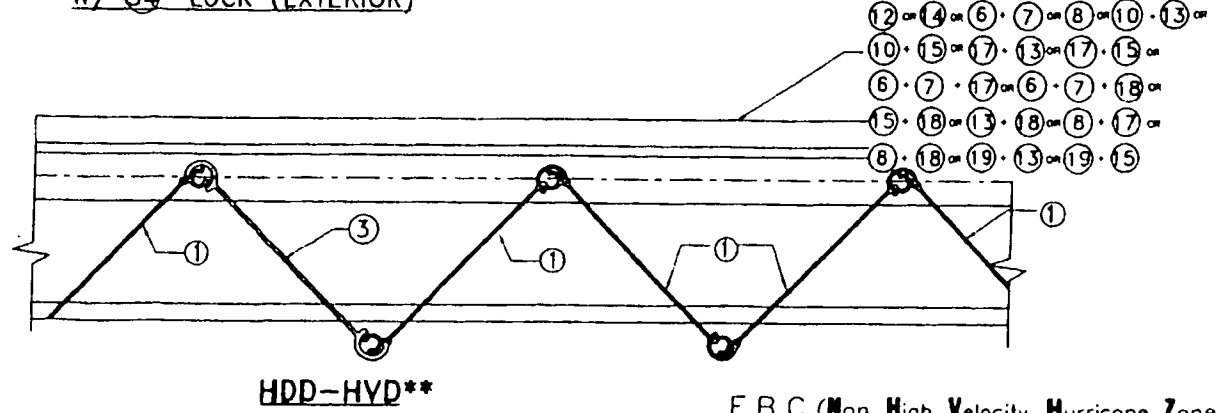


**INSTALLATION (1) HV BLADE
W/ HD CENTERMATES (31, 32, 33)**

SEE END WALL CONNECTION
DETAILS ON SHEETS 11 & 20

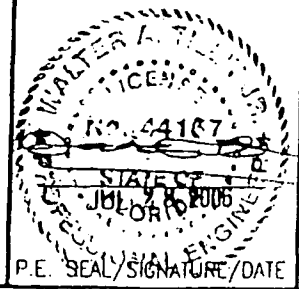


* SEE NOTES ON LOCKING RODS (35) & HD (34) LOCKS ON SHEET 5
** UNIVERSAL FLOATING BLADE (3) DETAIL HDD-HVD IS VALID FOR ALL CENTERMATES APPLICATIONS WITH BLADE (1)



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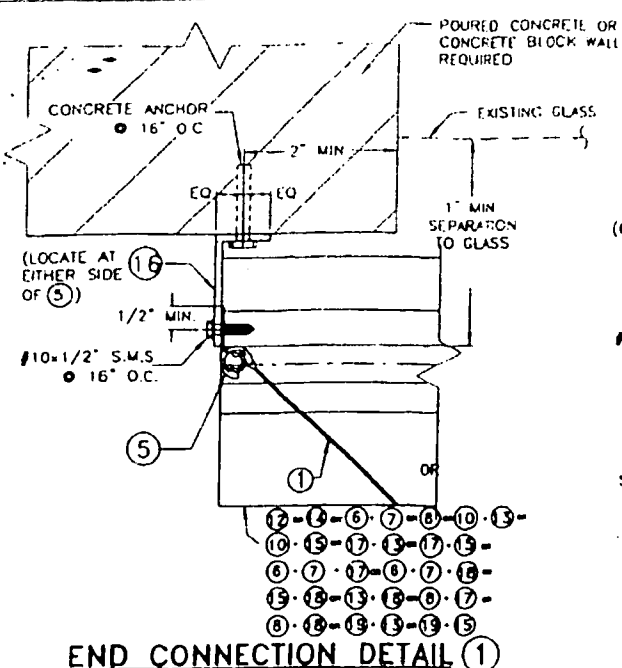


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TILLUT TESTING & ENGINEERING COMPANY
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e-mail: tilteco@aol.com
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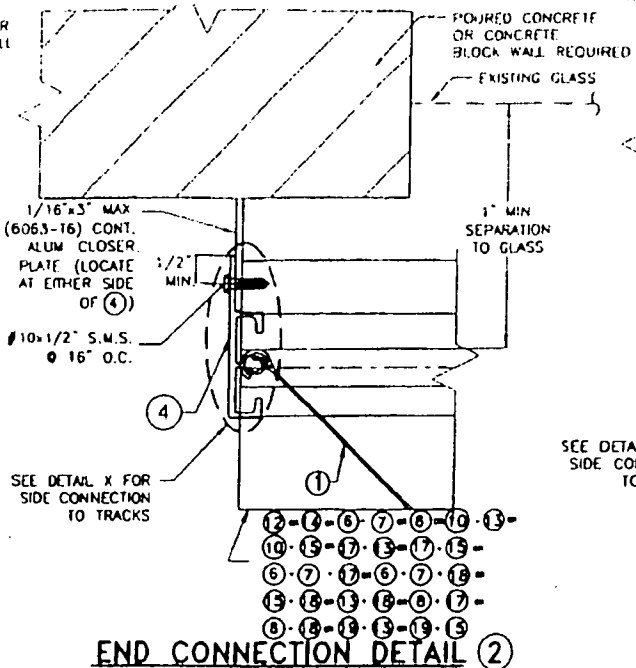
A.S.S.A.
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West Palm Beach, FL 33407

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Accordion Shutter System

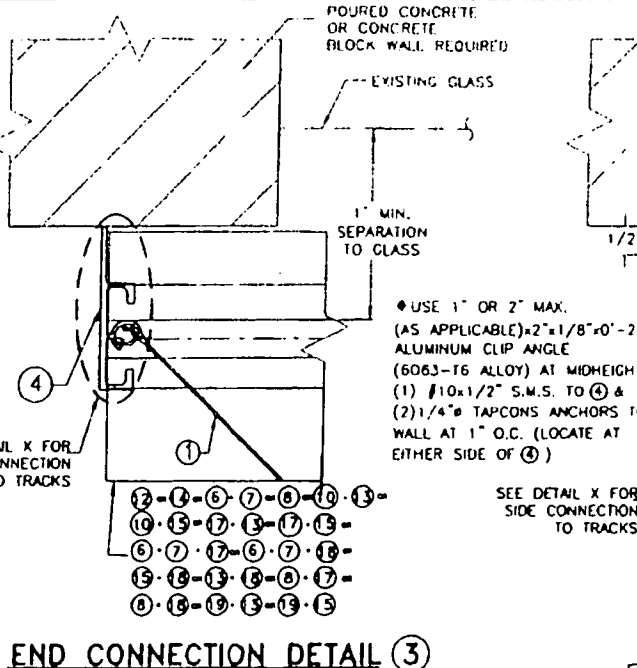
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2			DRAWING No
3			05-364
4			SHEET
5			10 OF 26
6			



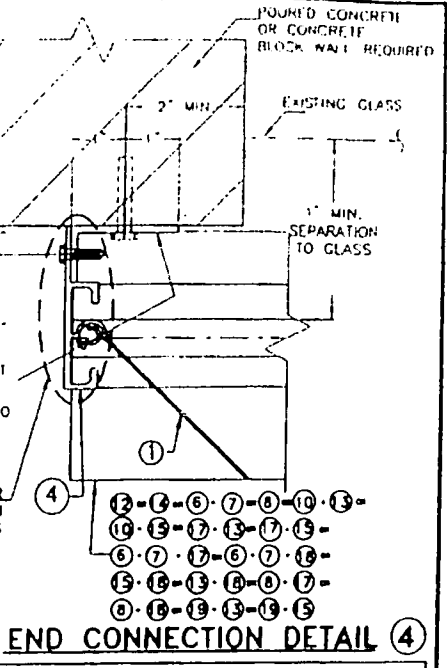
END CONNECTION DETAIL ①



END CONNECTION DETAIL ②



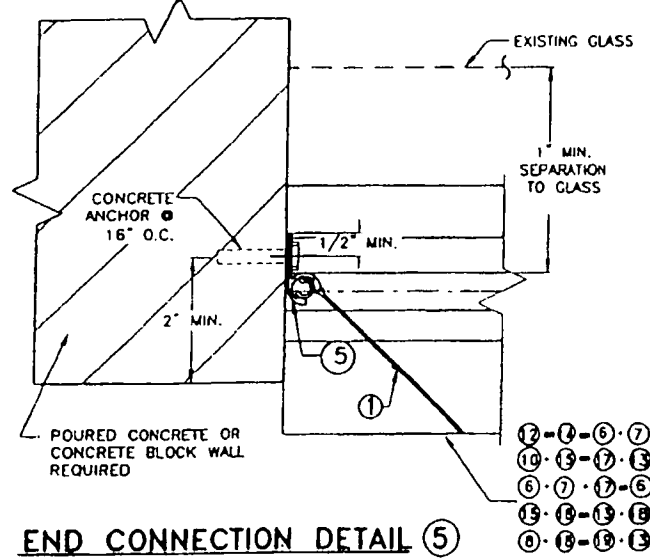
END CONNECTION DETAIL ③



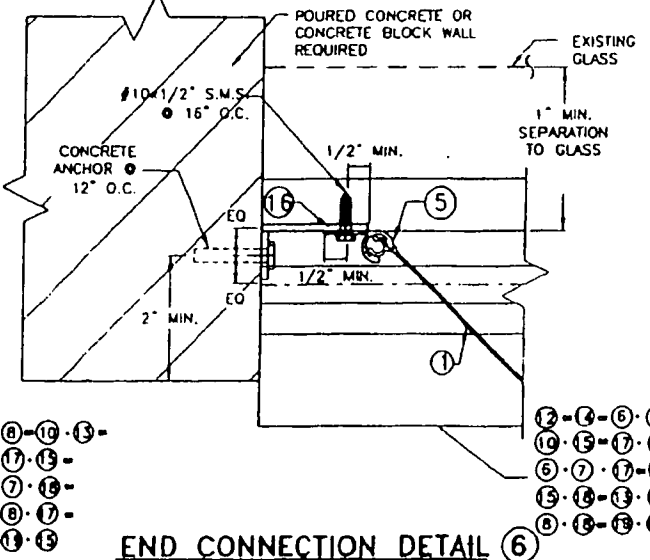
END CONNECTION DETAIL ④

◆ USE 1" OR 2" MAX. (AS APPLICABLE) 2"x1/8"x0'-2" ALUMINUM CLIP ANGLE (6063-T6 ALLOY) AT MIDHEIGHT
 (1) #10x1/2" S.M.S. TO ③ & (2) 1/4" TAPCONS ANCHORS TO WALL AT 1" O.C. (LOCATE AT EITHER SIDE OF ③)

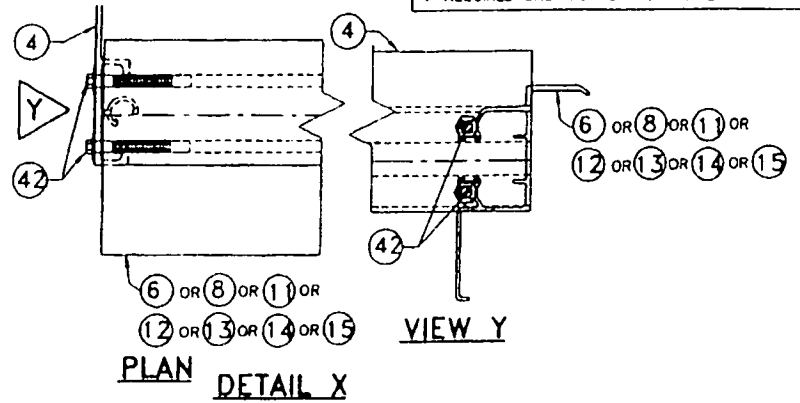
◆ REQUIRED ONLY FOR SPANS GREATER THAN 12'-0"



END CONNECTION DETAIL ⑤



END CONNECTION DETAIL ⑥



END INSTALLATION
 ① HV BLADE

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 JUN 28 2006

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BERTHA HV™
Accordion Shutter System

REV. No	DESCRIPTION	DATE	Drawn By: M.C.V.
1	OLD 05-188 & 05-277	11/22/05	DATE: 11/22/05
2			DRAWING No
3			05-364
4			SHEET
5			11 OF 26
6			

MAXIMUM SHUTTER SPAN* "L+" OR "L-"
(II.). FOR INSTALLATIONS W/ SYMMETRICAL
CENTERMATES ① & ② or ③ or ④
W/ ONE HV LOCK ⑤ or ⑥ or ⑦ or ⑧
OR HD LOCK ⑨ W/ NO LOCKING RODS ⑩ or
CENTERMATES ⑪ & ⑫ W/ ONE HV "I"
LOCK ⑬ W/ LOCKING RODS ⑭ (SEE NOTE
1)

MAXIMUM DESIGN LOAD (p.s.f.) (+ OR -)	CONCRETE & WOOD INSTALLATIONS ▲			
	WALL MOUNTING		FLOOR/CEILING MOUNTING	
	L+ (N)	L- (N)	L+ (N)	L- (N)
30 OR LESS	16'-0"	16'-0"	16'-0"	16'-0"
35	14'-10"	14'-10"	15'-2"	16'-0"
40	13'-10"	13'-10"	14'-2"	15'-2"
45	13'-1"	13'-1"	13'-4"	14'-3"
50	12'-5"	12'-5"	12'-8"	13'-7"
55	11'-10"	11'-10"	12'-1"	12'-11"
60	11'-4"	11'-4"	11'-7"	12'-4"
65	10'-10"	10'-10"	11'-1"	11'-11"
70	10'-6"	10'-6"	10'-9"	11'-5"
75	10'-1"	10'-1"	10'-4"	11'-1"
80	9'-10"	9'-10"	10'-0"	10'-9"
85	9'-6"	9'-6"	9'-9"	10'-5"
90	9'-3"	9'-3"	9'-5"	10'-1"
95	9'-0"	8'-9"	9'-2"	9'-10"
100	8'-9"	8'-4"	9'-0"	9'-7"
105	8'-7"	7'-11"	8'-9"	9'-4"
110	8'-4"	7'-7"	8'-7"	9'-2"
115	8'-2"	7'-3"	8'-4"	8'-11"
120	8'-0"	6'-11"	8'-2"	8'-9"
125	7'-10"	6'-8"	8'-0"	8'-5"
130	7'-8"	6'-5"	7'-10"	8'-1"
135	7'-7"	6'-2"	7'-9"	7'-9"
140	7'-5"	5'-11"	7'-7"	7'-6"
145	7'-3"	5'-9"	7'-5"	7'-3"
150	7'-2"	5'-7"	7'-4"	7'-0"
155	7'-0"	5'-5"	7'-2"	6'-9"
160	6'-11"	5'-2"	7'-1"	6'-7"
165	6'-10"	5'-1"	7'-0"	6'-4"
170	6'-9"	4'-11"	6'-11"	6'-2"
175	6'-7"	4'-9"	6'-9"	6'-0"
180	6'-6"	4'-8"	6'-8"	5'-10"
185	6'-5"	4'-6"	6'-7"	5'-8"
190	6'-4"	4'-5"	6'-6"	5'-6"
195	6'-3"	4'-3"	6'-5"	5'-5"
200	6'-2"	4'-2"	6'-4"	5'-3"
205	6'-1"	4'-1"	6'-3"	5'-1"

MAXIMUM SHUTTER SPAN* "L+"
OR "L-" (II) FOR
INSTALLATIONS W/ OPPOSING
CENTERMATES ① & ②
ONE HV LOCK ③ or ④ or ⑤
W/ NO LOCKING RODS ⑥
(SEE NOTE 1)

MAXIMUM DESIGN LOAD (p.s.f.) (+ OR -)	CONCRETE & WOOD INSTALLATIONS ▲	
	WALL MOUNTING & FLOOR/CEILING MOUNTING	
	L+ (N)	L- (N)
30	16'-0"	16'-0"
35	14'-10"	14'-10"
40	13'-10"	13'-10"
45	13'-1"	13'-1"
50	12'-5"	12'-5"
55	11'-10"	11'-10"
60	11'-4"	11'-4"
65	10'-10"	10'-10"
70	10'-6"	10'-6"
75	10'-1"	10'-1"
80	9'-10"	9'-10"
85	9'-6"	9'-6"
90	9'-3"	9'-3"
95	9'-0"	8'-9"
100	8'-9"	8'-4"
105	8'-7"	7'-11"
110	8'-4"	7'-7"
115	8'-2"	7'-3"
120	8'-0"	6'-11"
125	7'-10"	6'-8"
130	7'-8"	6'-5"
135	7'-7"	6'-2"
140	7'-5"	5'-11"
145	7'-3"	5'-9"
150	7'-2"	5'-7"
155	7'-0"	5'-5"
160	6'-11"	5'-2"
165	6'-10"	5'-1"
170	6'-9"	4'-11"
175	6'-7"	4'-9"
180	6'-6"	4'-8"
185	6'-5"	4'-6"
190	6'-4"	4'-5"
195	6'-3"	4'-3"
200	6'-2"	4'-2"
205	6'-1"	4'-1"

INSTALLATION LEGEND		
	CONCRETE & MANSORY	WOOD
WALL MOUNTING	A, B, C, D, E, F, K & L	M, N, O, P, Q, R, S, & V
FLOOR/CEILING MOUNTING	G, H, I & J	T, U, W & X

▲ MAXIMUM SHUTTER SPAN "L+" OR "L-" FOR INSTALLATIONS INTO WOOD SHALL BE LIMITED TO 105 psf. DESIGN LOAD.

† HV CORNER CENTERMATE ③ MAY BE USED AT ALL MOUNTING INSTALLATIONS. LOCKING SPECIFICATIONS SHALL BE AS INDICATED ON MANDATORY CONDITION #2 NOTE #4, SHEET 5 OF 26.

* NOTES:
(1) L+: MAXIMUM ALLOWABLE SPAN FOR A GIVEN POSITIVE DESIGN LOAD
L-: MAX. ALLOWABLE SPAN FOR A GIVEN NEGATIVE DESIGN LOAD
(2) PROCEDURE TO DETERMINE MAXIMUM SPAN FOR WALL MOUNTINGS (TOP/BOTTOM) OR FLOOR/CEILING
GIVEN A POSITIVE DESIGN LOAD, DETERMINE MAXIMUM SPAN "L+" FROM SCHEDULE.
GIVEN A NEGATIVE DESIGN LOAD, DETERMINE MAXIMUM SPAN "L-" FROM SCHEDULE.
FINAL MAXIMUM ALLOWABLE SPAN IS EQUAL TO THE MINIMUM DETERMINED SPAN BETWEEN "L+" AND "L-"
(3) PROCEDURE TO DETERMINE MAXIMUM SPAN FOR COMBINATIONS IN BETWEEN WALL MOUNTINGS W/ FLOOR/CEILING MOUNTINGS:
FOR A GIVEN POSITIVE DESIGN LOAD:
DETERMINE:
L1+ = MAX. SPAN FOR WALL MOUNTING INSTALLATIONS.
L2+ = MAX. SPAN FOR FLOOR/CEILING MOUNTING INSTALLATIONS
FOR A GIVEN NEGATIVE DESIGN LOAD:
DETERMINE:
L1- = MAX. SPAN FOR WALL MOUNTING INSTALLATIONS
L2- = MAX. SPAN FOR FLOOR/CEILING MOUNTING INSTALLATIONS
FINAL MAXIMUM ALLOWABLE SPAN IS EQUAL TO THE MINIMUM BETWEEN "L1+", "L2+", "L1-" AND "L2-"
(4) GO TO ANCHOR SCHEDULE WITH FINAL MAXIMUM ALLOWABLE SPAN AND NEGATIVE DESIGN LOAD TO DETERMINE MAXIMUM ANCHOR SPACING.

① HV BLADE

F.B.C. (Non High Velocity Hurricane Zone)

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BERTHA HV™ Accordion Shutter System			
REV. No	DESCRIPTION	DATE	Drawn by: M.C.V.
1	OLD 05-198 & 05-277	11/22/05	DATE: 11/22/05
2			DRAWING No
3			05-364
4			SHEET
5			12 OF 26
6			

ANCHORS SPACING LEGEND

TAPCON
ALL POINTS SOLID-SET
WEDGE-BOLT

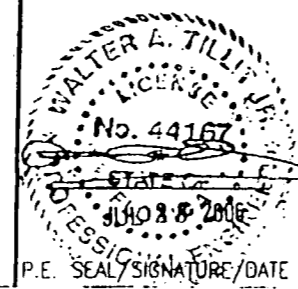
**MAXIMUM DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR* SPACING (in.) SCHEDULE
FOR A GIVEN MAX. SHUTTER SPAN, DESIGN NEGATIVE LOAD AND A CORRESPONDING MOUNTING TYPE
FOR CONCRETE OR CONCRETE BLOCK INSTALLATIONS**
(SEE MOUNTINGS A, B, C, D AND F ON SHEET 6)

* SEE ANCHOR SPECIFICATIONS ON SHEET 14

MAXIMUM SHUTTER SPAN (ft.)	POURED CONCRETE																				POURED CONCRETE/CONCRETE BLOCK																											
	(A) WALL HEADER MOUNTING W/ ②					(A) WALL HEADER MOUNTING W/ ③					(B) WALL HEADER MOUNTING					(D) WALL SILL MOUNTING W/ ②					(D) WALL SILL MOUNTING W/ ③					(C) & (F) WALL HEADER/SILL MOUNTING																						
	NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)																						
	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205								
3'-0" OR LESS	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
4'-0"	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
5'-0"	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
6'-0"	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
7'-0"	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
8'-0"	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
9'-0"	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
10'-0"	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
11'-0"	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
12'-0"	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
13'-0"	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
14'-0"	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
15'-0"	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
16'-0"	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6

(1) HV BLADE

F.B.C. (Non High Velocity Hurricane Zone)



TILTECO INC.
TILIT TESTING & ENGINEERING COMPANY
3333 N.W. 36th St., Ste. 305, WILMOTA GARDENS, FLORIDA 33109
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American Shutter Systems
Association, Inc.
4268 Westroads Drive
West Palm Beach, FL 33407

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BERTHA HV™
Accordion Shutter System

REV. No.	DESCRIPTION	DATE	Drawn by:	M.C.V.
1	OLD 05-100 & 05-277	11/22/05	DATE: 11/22/05	
2				
3				
4				
5				
6				

DRAWING No
05-364
SHEET
13 OF 26

ANCHORS SPACING LEGEND

TAPCON
ALL POINTS SOLID-SET
WEDGE-BOLT

MAXIMUM DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING (in.) SCHEDULE FOR A GIVEN MAX. SHUTTER SPAN, DESIGN NEGATIVE LOAD AND A CORRESPONDING MOUNTING TYPE FOR CONCRETE INSTALLATIONS

(SEE MOUNTINGS E, G, & H ON SHEETS 6 & 7)

MAXIMUM SPAN (ft)	POURED CONCRETE/CONCRETE BLOCK																							
	E WALL SILL MOUNTING								G CEILING MOUNTING								H FLOOR MOUNTING							
	NEGATIVE DESIGN LOAD (psf)								NEGATIVE DESIGN LOAD (psf)								NEGATIVE DESIGN LOAD (psf)							
	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205
3'-0" OR LESS	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6
4'-0"	14	12	10	9	8	7.5	5.5	3.5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	5
	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	5.5
5'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	4.5
	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	4
6'-0"	14	12	10	9	8	7.5	5.5	3.5	14	12	10	9	8	7.5	5.5	4	14	12	10	9	8	7.5	5.5	4
	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	5
7'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	4.5
	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	4.5
8'-0"	14	11.5	7.5	6	5	4	3	2	14	12	10	9	8	7.5	5.5	4	14	12	10	9	8	8	6	4
	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	4.5
9'-0"	13.5	10	7	5.5	4	3	2	1.5	14	12	10	9	8	8	6	5	14	11.5	7.5	6	5	3.5	2	1.5
	14	12	10	9	8	5.5	4	3	14	12	10	9	8	7.5	5.5	4	14	12	10	9	8	8	6	4
10'-0"	12	9	6	4.5	3	2	1.5	1	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	5
	14	12	10	9	8	7.5	5.5	4	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	5
11'-0"	11	8.5	5.5	3.5	2	1.5	1	0.5	14	12	10	9	8	8	6	5	12.5	9.5	6	5	4	3	2	1.5
	14	12	10	9	8	7	5	4	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	5
12'-0"	10	7.5	5	3	2	1.5	1	0.5	14	12	10	9	8	8	6	5	11.5	8.5	5.5	4.5	3.5	2	1.5	1
	14	12	10	9	8	7	5	4	14	12	10	9	8	8	6	5	13	10	8.5	7	6	5	4	3
13'-0"	9.5	7	4	3	2	1.5	1	0.5	14	12	10	9	8	8	6	5	10.5	8	5	4	3.5	2	1.5	1
	14	12	10	9	8	7	5	4	14	11.5	7.5	6	5	4	3	2	12	9	6	4.5	4	3	2	1.5
14'-0"	8.5	6.5	3.5	2	1.5	1	0.5	0.5	14	12	10	9	8	8	6	5	10	7.5	5	4	3	2	1.5	1
	14	12	9	8	7	6	5	4	14	12	10	9	8	8	6	5	11	8.5	5.5	4.5	3	2	1.5	1
15'-0"	8	6	4	3	2	1.5	1	0.5	14	12	10	9	8	8	6	5	9	7	4.5	3	2	1.5	1	0.5
	14	12	10	9	8	7	5	4	14	12	10	9	8	8	6	5	10.5	8	5	4	3	2	1.5	1
16'-0"	7.5	6	4	3	2	1.5	1	0.5	14	12	10	9	8	8	6	5	14	11.5	7.5	6	5	4	3	2
	14	12	10	9	8	7	5	4	14	12	10	9	8	8	6	5	8.5	6.5	4	3	2	1.5	1	0.5

SPECIFICATIONS ON ANCHOR REQUIREMENTS: POURED CONCRETE OR CONCRETE BLOCK SUBSTRATES

- 1. ANCHORS TO WALL SHALL BE AS FOLLOWS:
 - (A) TO EXISTING POURED CONCRETE: (Min. f'c = 3 #4)
 - 1/4" TAPCON ANCHORS, AS MANUFACTURED BY I.T.W. RAMSET/ RED HEAD
 - 1/4" # 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW BOLT & SPECIALTY COMPANY
 - 1/4" WEDGE-BOLT ANCHORS AS MANUFACTURED BY POWERS FASTENING, INC

NOTES:
A.1) MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON ANCHORS IS 1 3/4", AND 2" FOR WEDGE-BOLT ANCHORS

A.2) MINIMUM EMBEDMENT OF 1/4" # 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE 7/8" INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED 1/4" #20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

A.3) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, PAVERS OR ANY VENEER BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SAID WALL FINISHES. ANCHORAGE SHALL BE AS INDICATED ON NOTES A.1) & A.2) ABOVE. FOR INSTALLATIONS ON VINYL SIDING OR EIFS CONSULT THIS ENGINEER.

- (B) TO EXISTING CONCRETE BLOCK WALL:
 - 1/4" TAPCON ANCHORS, AS MANUFACTURED BY I.T.W. RAMSET/ RED HEAD.
 - 1/4" # 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW BOLT & SPECIALTY COMPANY.
 - 1/4" WEDGE-BOLT #/ 1/4" BLOCK-PLUG ANCHORS AS MANUFACTURED BY POWERS FASTENING, INC

NOTES:
B.1) MINIMUM EMBEDMENT INTO CONCRETE BLOCK OF TAPCON & WEDGE-BOLT ANCHORS, IS 1 1/4".

B.2) MINIMUM EMBEDMENT OF 1/4" # 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE CONCRETE BLOCK. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

B.3) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, PAVERS OR ANY VENEER BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SAID WALL FINISHES. ANCHORAGE SHALL BE AS INDICATED ON NOTES B.1) & B.2) ABOVE. FOR INSTALLATIONS ON VINYL SIDING OR EIFS CONSULT THIS ENGINEER.

(C) ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.

(D) SEE SCHEDULE BELOW FOR EDGE DISTANCE (E.D.) VERSUS SPACING RELATIONSHIP FOR ANCHORS.

EDGE DISTANCE VERSUS SPACING FOR ANCHORS			
MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE FOR 1/4" TAPCON AND SOLID SET AND WEDGE-BOLT FOR E. D. LESS THAN THE ABOVE MENTIONED. REDUCE ANCHOR SPACING BY MULTIPLYING SPACING SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (NOTE : MIN. E. D. FOR ALL POINT SOLID SET ANCHORS IS 3"). REDUCED SPACING OBTAINED USING FACTOR SHALL NOT BE LESS THAN MINIMUM SPACING INDICATED FOR EACH ANCHOR TYPE.			
ACTUAL E. D.	FACTOR		
	WEDGE-BOLT	1/4" TAPCON	SOLID SET
	MIN. SPACING - 3"	MIN. SPACING - 3"	MIN. SPACING - 3.5"
3'	0.83	0.83	0.78
2 1/2"	0.86	0.86	-
2'	0.50	0.50	-

1 HV BLADE

F.B.C. (Non High Velocity Hurricane Zone)

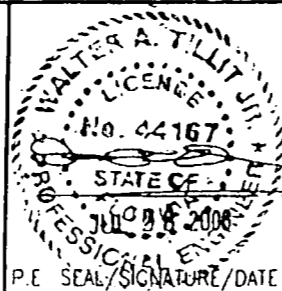
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BERTHA HV™
Accordion Shutter System

REV. NO.	DESCRIPTION	DATE	Drawn by:	M.C.V.
1	OLD 05-188 & 05-277	11/22/05		
2				
3				
4				
5				
6				

DRAWING No
05-364

SHEET
14 OF 26



TILLIT TESTING & ENGINEERING COMPANY
8306 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166
Phone : (305)871-1530 . Fax : (305)871-1531
e-mail: tilteco@aol.com
EB-0006719
WALTER A. TILLIT Jr. P. E.
FLORIDA Lic. # 44167

A.S.S.A.

American Shutter Systems
Association, Inc.
4268 Westroads Drive
West Palm Beach, FL 33407

ANCHORS SPACING LEGEND

TAPCON
ALL POINTS SOLID-SET
WEDGE-BOLT

MAXIMUM DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING (in.) SCHEDULE FOR A GIVEN MAX. SHUTTER SPAN, DESIGN NEGATIVE LOAD AND A CORRESPONDING MOUNTING TYPE FOR CONCRETE INSTALLATIONS
 (SEE MOUNTINGS I, J, K & L ON SHEET 7).

MAXIMUM SPAN (ft)	POURED CONCRETE																															
	I WALK OVER MOUNTING								J RAINGUARD MOUNTING								K WALL/FLOOR MOUNTING								L WALL/WALK OVER MOUNTING							
	NEGATIVE DESIGN LOAD (psf)								NEGATIVE DESIGN LOAD (psf)								NEGATIVE DESIGN LOAD (psf)								NEGATIVE DESIGN LOAD (psf)							
	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205
3'-0" OR LESS	14	12	10	9	8	8	6	6	12	12	12	12	12	12	9.5	7	7	7	7	7	7	7	7	6	5	5	5	5	5	5	5	
4'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	12	10.5	7	7	7	7	7	7	7	7	5.5	4.5	5	5	5	5	5	5	4.5
5'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	10	7.5	5.5	4	7	7	7	7	7	7	6	5.5	4.5	5	5	5	5	5	3.5
6'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	11	8	6.5	7	7	7	7	7	7	7	6.5	5	5	5	5	5	5	5	5
7'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	11	8	6.5	7	7	7	7	7	7	7	6.5	5	5	5	5	5	5	5	5
8'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	11	8	6.5	7	7	7	7	7	7	7	6.5	5	5	5	5	5	5	5	5
9'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	11	8	6.5	7	7	7	7	7	7	7	6.5	5	5	5	5	5	5	5	5
10'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	11	8	6.5	7	7	7	7	7	7	7	6.5	5	5	5	5	5	5	5	5
11'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	11	8	6.5	7	7	7	7	7	7	7	6.5	5	5	5	5	5	5	5	5
12'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	11	8	6.5	7	7	7	7	7	7	7	6.5	5	5	5	5	5	5	5	5
13'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	11	8	6.5	7	7	7	7	7	7	7	6.5	5	5	5	5	5	5	5	5
14'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	11	8	6.5	7	7	7	7	7	7	7	6.5	5	5	5	5	5	5	5	5
15'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	11	8	6.5	7	7	7	7	7	7	7	6.5	5	5	5	5	5	5	5	5
16'-0"	14	12	10	9	8	8	6	6	12	12	12	12	12	11	8	6.5	7	7	7	7	7	7	7	6.5	5	5	5	5	5	5	5	5

1 HV BLADE

F.B.C. (Non High Velocity Hurricane Zone)

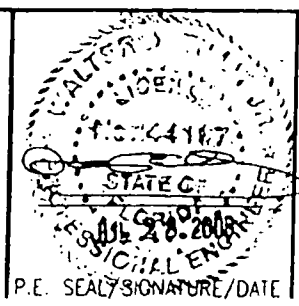
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BERTHA HV™
Accordion Shutter System

REV. NO.	DESCRIPTION	DATE	Drawn by:	M.C.V.
1	OLD 03-198 & 05-277	11/22/03	DATE: 11/22/05	
2				
3				
4				
5				

DRAWING No
05-364

SHEET
 18 OF 28



TILECO INC.
 TILLIT TESTING & ENGINEERING COMPANY
 3855 N.W. 36th St., Ste 305, VIRGINIA GARDENS, FLORIDA 33166
 Phone: (305)871-1530, Fax: (305)871-1531
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 EB-0006719
 WALTER A. TILLIT JR., P. E.
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A.S.S.A.
 American Shutter Systems
 Association, Inc.
 4268 Westroads Drive
 West Palm Beach, FL 33407

MAXIMUM DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR⁺ SPACING (in.) SCHEDULE FOR A GIVEN MAX. SHUTTER SPAN, NEGATIVE DESIGN LOAD AND A CORRESPONDING MOUNTING TYPE.

(SEE MOUNTINGS ON SHEETS 18 & 19).

MAXIMUM SPAN (ft)	SUBSTRATE																																									
	SOUTHERN PINE No. 2 W/ MIN. G=0.55. DOUGLAS FIR W/ MIN. G=0.50										SPRUCE PINE FIR NORTH W/ MIN. G=0.43										SPRUCE PINE FIR SOUTH W/ MIN. G=0.36										1/2" MIN. CDX PLYWOOD											
	WALL MOUNTINGS M, N, O & R					CEILING MOUNT T FLOOR MOUNTINGS W & X					WALL MOUNTINGS M, N, O & R					CEILING MOUNT T FLOOR MOUNTINGS W & X					WALL MOUNTINGS M, N, O & R					CEILING MOUNT T FLOOR MOUNTINGS W & X					WALL MOUNTINGS P & Q											
	NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)																
	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105						
3'-0" OR LESS	12	10	10	9	8	8	6	6	6	6	6	6	12	10	10	9	8	8	6	6	6	6	6	6	12	10	10	9	8	8	6	6	6	6	6	6	6	5	4	4	4	3
4'-0"	12	10	10	9	8	8	6	6	6	6	6	6	12	10	10	9	8	8	6	6	6	6	6	6	12	10	10	9	8	8	6	6	6	6	6	6	6	5	4	4	4	3
5'-0"	12	10	10	9	8	8	6	6	6	6	6	5.5	12	10	10	9	8	8	6	6	6	6	6	5	12	10	10	9	8	7	6	6	6	6	6	5	6	5	4	4	4	3
6'-0"	12	10	10	9	8	6.5	6	6	6	6	5.5	4.5	12	10	10	9	8	5	6	6	6	5.5	5	4.5	12	10	10	9	6	3.5	6	6	6	6	5	4.5	6	5	4	4	3.5	-
7'-0"	12	10	10	9	6.5	4	6	6	6	5.5	4.5	4	12	10	10	9	5	3	6	6	6	5	4	3.5	12	10	10	7	3.5	-	6	6	6	5	4	3.5	6	5	4	4	-	-
8'-0"	12	10	10	7.5	4.5	3	6	6	6	5	4	3.5	12	10	10	6	3.5	-	6	6	5	4.5	3.5	3	12	10	10	4	-	-	6	6	5	4.5	3.5	3	6	5	4	-	-	-
9'-0"	12	10	10	5	3.5	-	6	6	5.5	4.5	3.5	3	12	10	9	4	-	-	6	6	4.5	4	3	3	12	10	4	3	-	-	6	6	4.5	4	3	3	6	5	3.5	-	-	-
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11'-0"	12	10	5.5	-	-	-	6	6	4.5	-	-	-	12	10	4.5	-	-	-	6	5.5	3.5	-	-	-	12	10	-	-	-	-	6	5.5	4	-	-	-	6	5	-	-	-	-
12'-0"	12	10	4.5	-	-	-	6	6	4	-	-	-	12	10	3.5	-	-	-	6	5	3.5	-	-	-	12	10	-	-	-	-	6	5	3.5	-	-	-	6	5	-	-	-	-
13'-0"	12	10	-	-	-	-	6	6	-	-	-	-	12	10	-	-	-	-	6	4.5	-	-	-	-	12	7.5	-	-	-	-	6	4.5	-	-	-	-	6	4.5	-	-	-	-
14'-0"	12	10	-	-	-	-	6	5.5	-	-	-	-	12	7	-	-	-	-	5.5	4.5	-	-	-	-	12	7	-	-	-	-	5.5	4.5	-	-	-	-	6	3	-	-	-	-
15'-0"	12	-	-	-	-	-	6	-	-	-	-	-	12	-	-	-	-	-	5	-	-	-	-	-	12	-	-	-	-	-	5	-	-	-	-	-	6	-	-	-	-	-
16'-0"	12	-	-	-	-	-	6	-	-	-	-	-	12	-	-	-	-	-	5	-	-	-	-	-	11.5	-	-	-	-	-	5	-	-	-	-	-	6	-	-	-	-	-

+ NOTES ON ANCHORS REQUIREMENTS: WOOD SUBSTRATES.

1. ANCHORS TO WALL, FLOOR OR SOLID WOOD SOFFIT SHALL BE AS FOLLOWS:

- 1/4" TAPCON ANCHORS, AS MANUFACTURED BY I.T.W. BUILDEX W/ MINIMUM EMBEDMENT AS INDICATED AT EACH SECTION ON SHEETS 18 & 19.
EXCEPTION: SEE NOTE 2 BELOW.

2. ANCHORS TO HOLLOW CEILING SHALL BE AS PER MOUNTING TYPE U, SHEET 19 AND SHALL CONSIST OF LAG SCREWS AS PER MDS 2001 SPECIFICATIONS.

3. SUBSTRATE SHALL CONSIST OF THE FOLLOWING:

- SOUTHERN PINE No. 2 W/ G=0.55 (N.D.S)
- DOUGLAS FIR W/ G=0.50 (N.D.S)
- SPRUCE PINE FIR NORTH W/ G=0.43 (N.D.S)
- SPRUCE PINE FIR SOUTH W/ G=0.36 (N.D.S)
- MIN. 1/2" CDX PLYWOOD (1988 APA)

4. ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.

① HV BLADE

F.B.C.(Non High Velocity Hurricane Zone)

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A.S.S.A.
American Shutter Systems
Association, Inc.
4268 Westroads Drive
West Palm Beach, FL 33407

BERTHA HV™ Accordion Shutter System			
REV. NO	DESCRIPTION	DATE	Drawn by: M.C.V.
1	OLD 05-188 & 05-277	11/22/05	DATE: 11/22/05
2			DRAWING No
3			05-364
4			SHEET
5			16 OF 26
6			

MAXIMUM DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING (in.) SCHEDULE FOR A GIVEN MAX. SHUTTER SPAN, NEGATIVE DESIGN LOAD AND A CORRESPONDING MOUNTING TYPE.

(SEE MOUNTINGS ON SHEETS 19)

MAXIMUM SPAN (ft)	SUBSTRATE																	
	SOUTHERN PINE No. 2 W/ MIN. G=0.55, DOUGLAS FIR W/ MIN. G=0.50						SPRUCE PINE FIR NORTH W/ MIN. G=0.43						SPRUCE PINE FIR SOUTH W/ MIN. G=0.36					
	B.O. WALL MOUNTINGS S & V						B.O. WALL MOUNTINGS S & V						B.O. WALL MOUNTINGS S & V					
	NEGATIVE DESIGN LOAD (psf)						NEGATIVE DESIGN LOAD (psf)						NEGATIVE DESIGN LOAD (psf)					
	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105
3'-0" OR LESS	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12
4'-0"	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12
5'-0"	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	10.5
6'-0"	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	10	8.5
7'-0"	12	12	12	12	12	12	12	12	12	12	12	10.5	12	12	12	10.5	8.5	7.5
8'-0"	12	12	12	12	12	12	12	12	12	12	11	9.5	12	12	11.5	9	7.5	6.5
9'-0"	12	12	12	12	12	10.5	12	12	12	11.5	9.5	8.5	12	12	10	8	6.5	5.5
10'-0"	12	12	12	12	11.5	9.5	12	12	12	10.5	8.5	7.5	12	12	9	7	6	5
11'-0"	12	12	12	12	10	8.5	12	12	12	9.5	8	7	12	12	8	6.5	5.5	4.5
12'-0"	12	12	12	11.5	9.5	8	12	12	11	8.5	7	6	12	11.5	7.5	6	5	4
13'-0"	12	12	12	10.5	8.5	7.5	12	12	10	8	6.5	5.5	12	10.5	7	5.5	4.5	4
14'-0"	12	12	12	9.5	8	6	12	12	9.5	7.5	6	4.5	12	9.5	6.5	5	4	3
15'-0"	12	12	11	9	7.5	5	12	12	8.5	7	6	4	12	9	6	5	4	-
16'-0"	12	12	10.5	8.5	6.5	4	12	12	8	6.5	5	3	11.5	8.5	5.5	4.5	3.5	-

+ NOTES ON ANCHORS REQUIREMENTS: WOOD SUBSTRATES.

- ANCHORS TO WALL, FLOOR OR SOLID WOOD SOFFIT SHALL BE AS FOLLOWS
 - 1/4" TAPCON ANCHORS, AS MANUFACTURED BY I.T.W. BUILDEX W/ MINIMUM EMBEDMENT AS INDICATED AT EACH SECTION ON SHEETS 18 & 19. EXCEPTION: SEE NOTE 2 BELOW.
- ANCHORS TO HOLLOW CEILING SHALL BE AS PER MOUNTING TYPE U, SHEET 19 AND SHALL CONSIST OF LAG SCREWS AS PER NDS 2001 SPECIFICATIONS.
- SUBSTRATE SHALL CONSIST OF THE FOLLOWING:
 -SOUTHERN PINE No. 2 W/ G=0.55 (N.D.S.)
 -DOUGLAS FIR W/ G=0.50 (N.D.S.)
 -SPRUCE PINE FIR NORTH W/ G=0.43 (N.D.S.)
 -SPRUCE PINE FIR SOUTH W/ G=0.36 (N.D.S.)
 -MIN. 1/2" CDX PLYWOOD (1986 APA)
- ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.

① HV BLADE

F.B.C. (Non High Velocity Hurricane Zone)

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 JUL 28 2005
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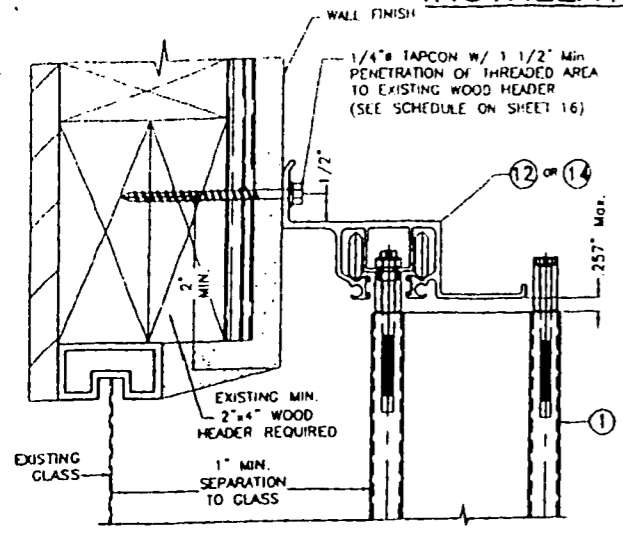
BERTHA HV™
 Accordion Shutter System

REV. NO.	DESCRIPTION	DATE	Drawn by:	M.C.V.
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3				
4				
5				
6				

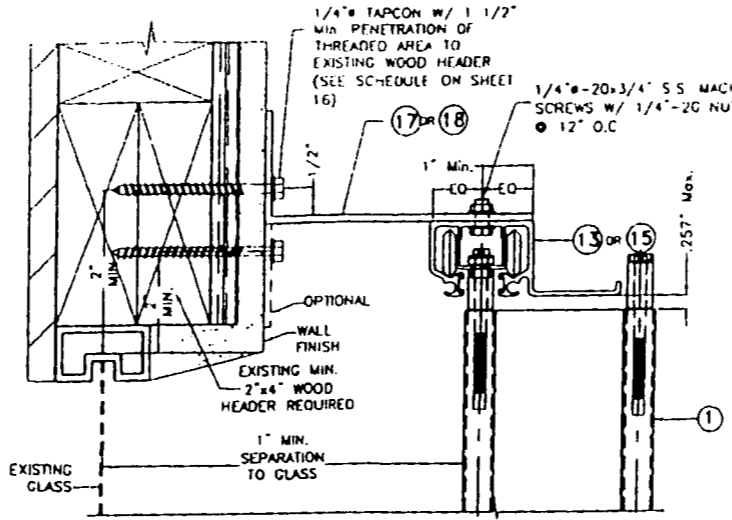
DRAWING No
05-364
 SHEET
 17 OF 26

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS FOR HV BLADE

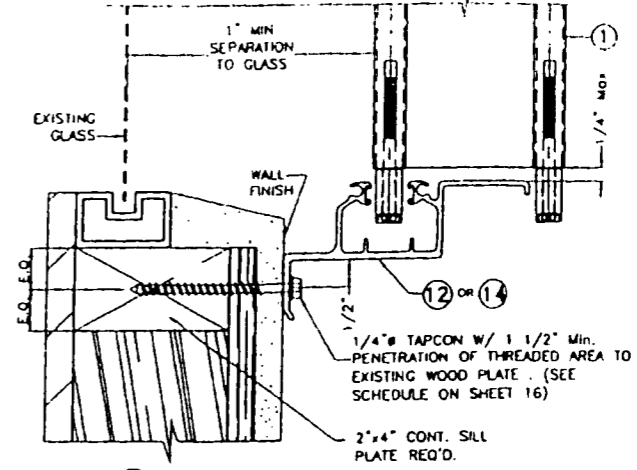
NOTE:
 1- SEE SHEET 4 FOR TYPICAL SHUTTER ASSEMBLY
 2- MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION



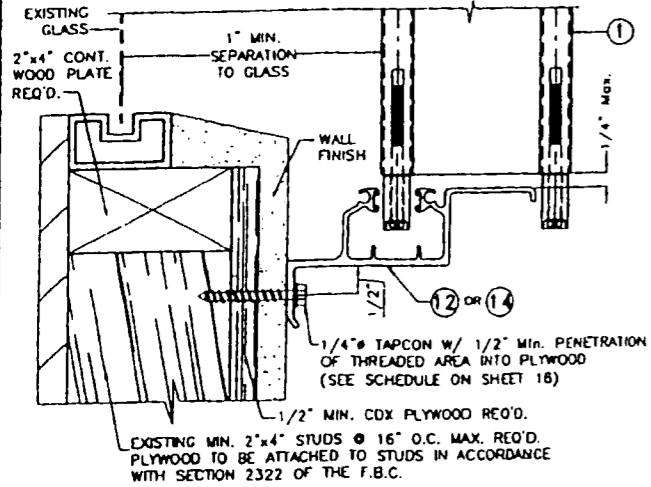
M HV WALL HEADER INSTALLATION



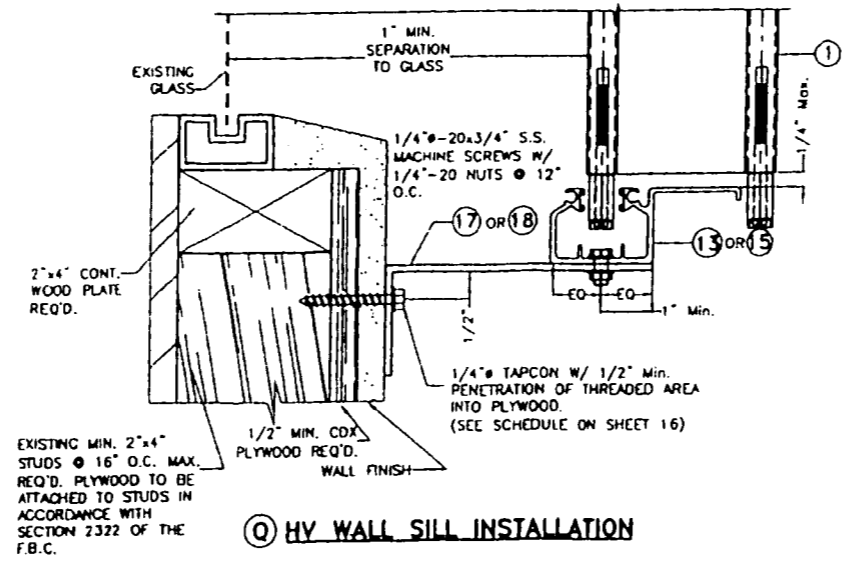
N HV WALL HEADER INSTALLATION



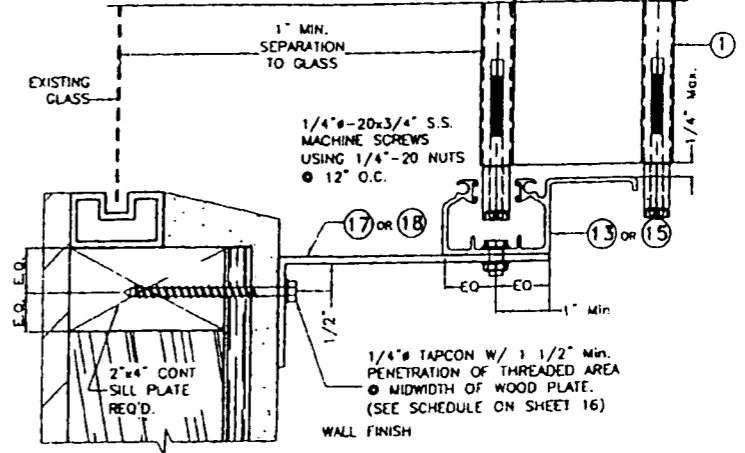
O HV WALL SILL INSTALLATION



P HV WALL SILL INSTALLATION



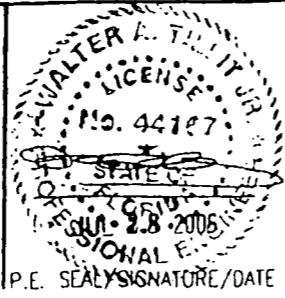
Q HV WALL SILL INSTALLATION



R HV WALL SILL INSTALLATION

F.B.C. (Non High Velocity Hurricane Zone)

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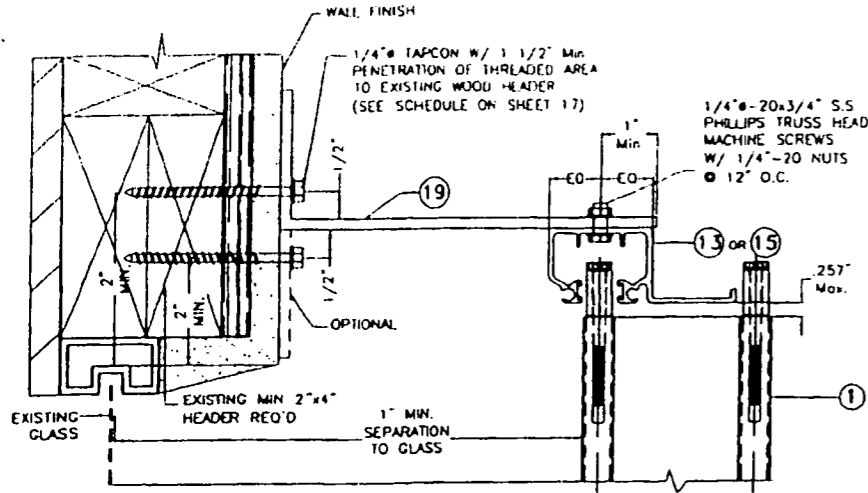
TILLIT TESTING & ENGINEERING COMPANY
 6355 N.W. 36th St., Ste. 303, VIRGINIA GARDENS, FLORIDA 33166
 Phone: (305)871-1530, Fax: (305)871-1531
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 West Palm Beach, FL 33407

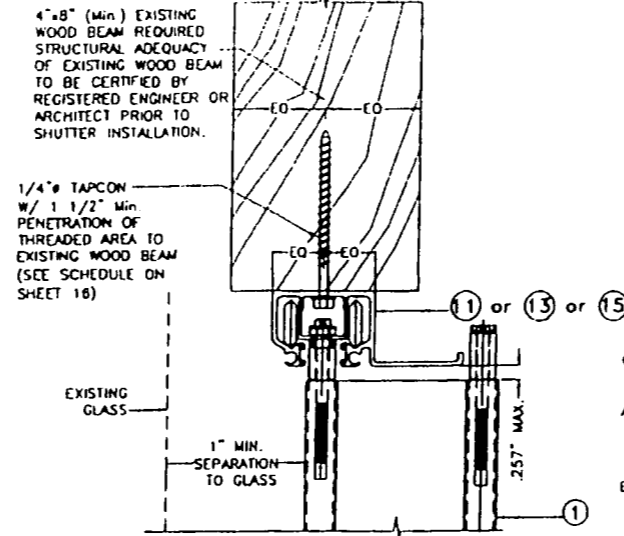
BERTHA HV™
 Accordion Shutter System

REV. No	DESCRIPTION	DATE	Drawn by: M.C.V.
1	OLD 05-188 & 05-277	11/22/05	DATE: 11/22/05
2			DRAWING No
3			05-364
4			SHEET
5			18 OF 28
6			

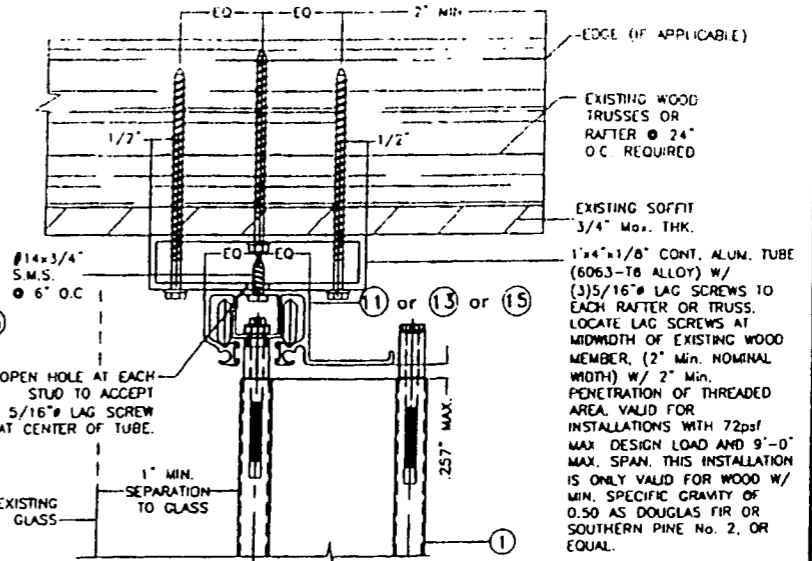
INSTALLATION DETAILS ON EXISTING WOOD BLDGS. FOR (1) HV BLADE



(S) HV WALL HEADER INSTALLATION

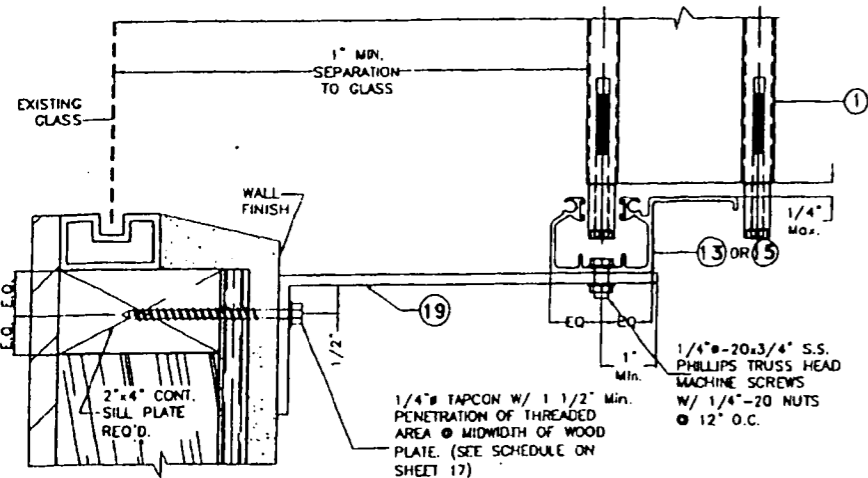


(T) HV CEILING INSTALLATION

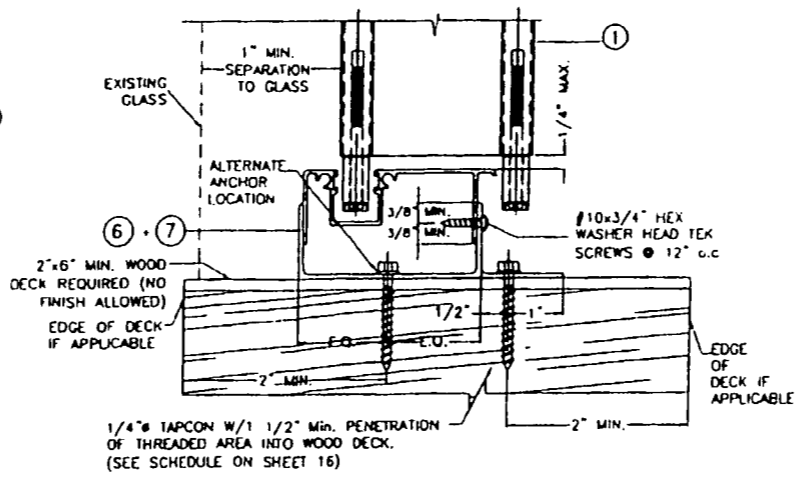


(U) HV CEILING INSTALLATION

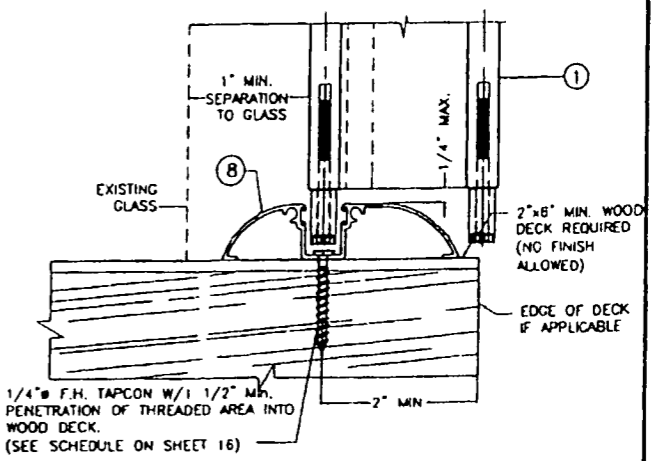
NOTES:
 1-SEE SHEET 4 FOR TYPICAL SHUTTER ASSEMBLY
 2-MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



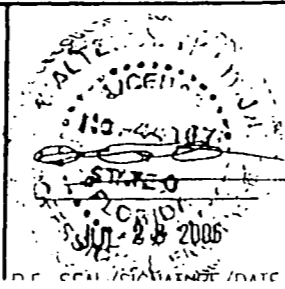
(V) HV WALL SILL INSTALLATION



(W) HV FLOOR INSTALLATION



(X) HV WALK-OVER INSTALLATION
 F.B.C. (Non High Velocity Hurricane Zone)



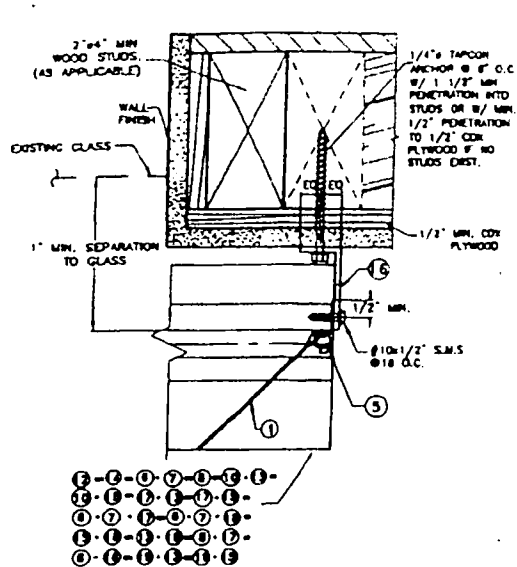
TILTECO INC.
 TILLIT TESTING & ENGINEERING COMPANY
 8233 N.W. 36th St., Ste. 305, WINDY GARDENS, FLORIDA 33166
 Phone: (305)871-1530 Fax: (305)871-1531
 e-mail: tilteco@aol.com
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 WALTER A. TILLIT, P. E.
 FLORIDA Lic. # 44167

A.S.S.A.
 American Shutter Systems
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 West Palm Beach, FL 33407

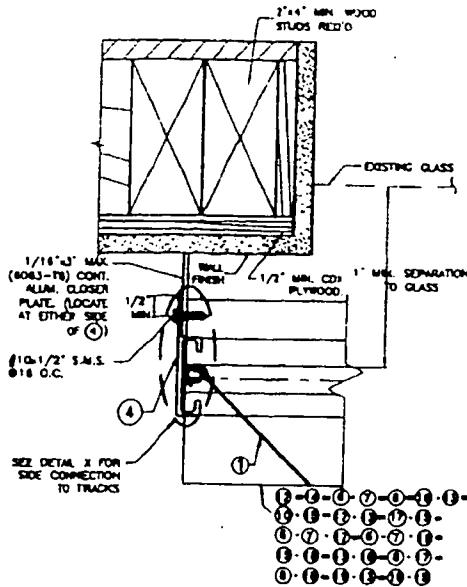
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BERTHA HV™
 Accordion Shutter System

REV. No.	DESCRIPTION	DATE	Drawn by:	M.C.V.
1	OLD 05-188 & 05-277	11/22/03	DATE: 11/22/05	
2				DRAWING No
3				05-364
4				SHEET
5				16 OF 26

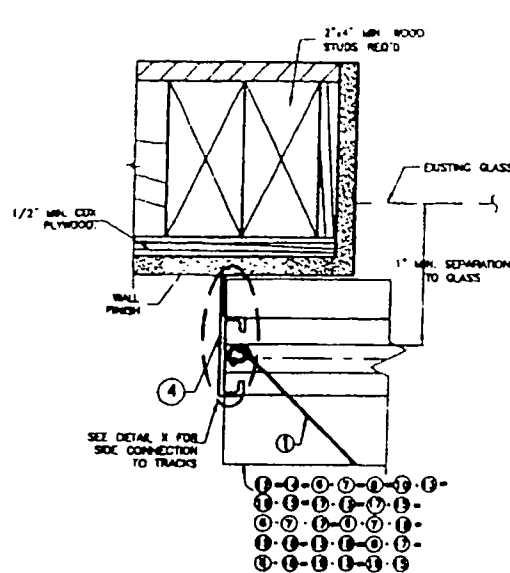
END INSTALLATIONS ① HV BLADE



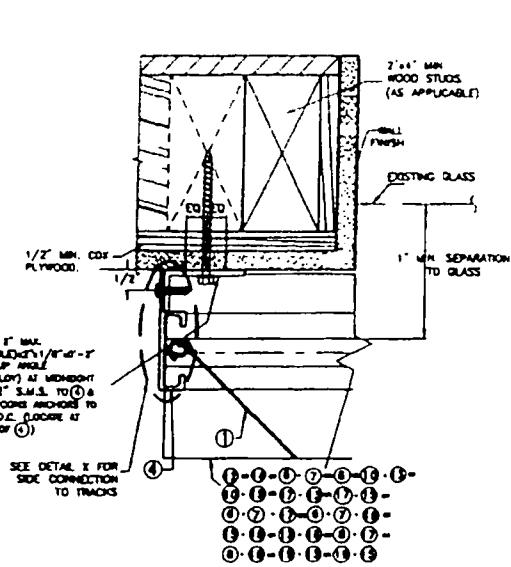
END CONNECTION DETAIL ⑦



END CONNECTION DETAIL ⑧

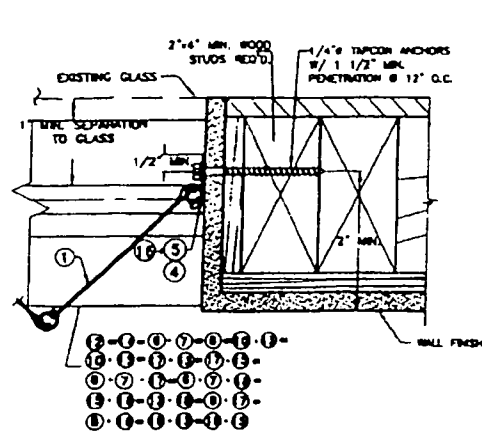


END CONNECTION DETAIL ⑨

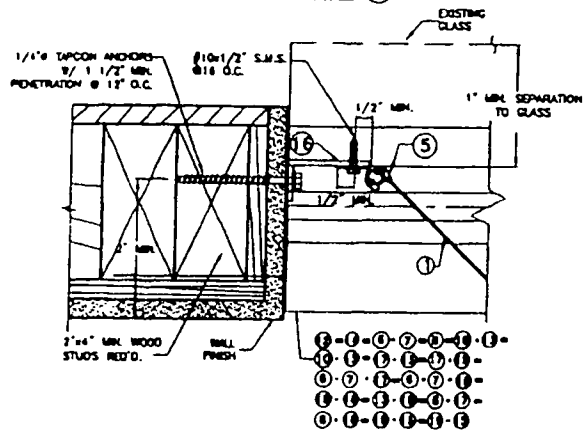


END CONNECTION DETAIL ⑩

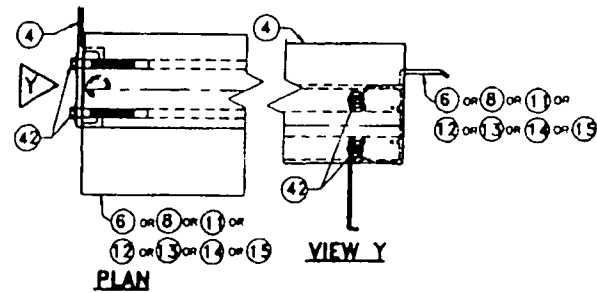
* REQUIRED ONLY FOR SPANS GREATER THAN 12'-0"



END CONNECTION DETAIL ⑪



END CONNECTION DETAIL ⑫



DETAIL X

F.B.C. (Non High Velocity Hurricane Zone)

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BERTHA HV™ Accordion Shutter System

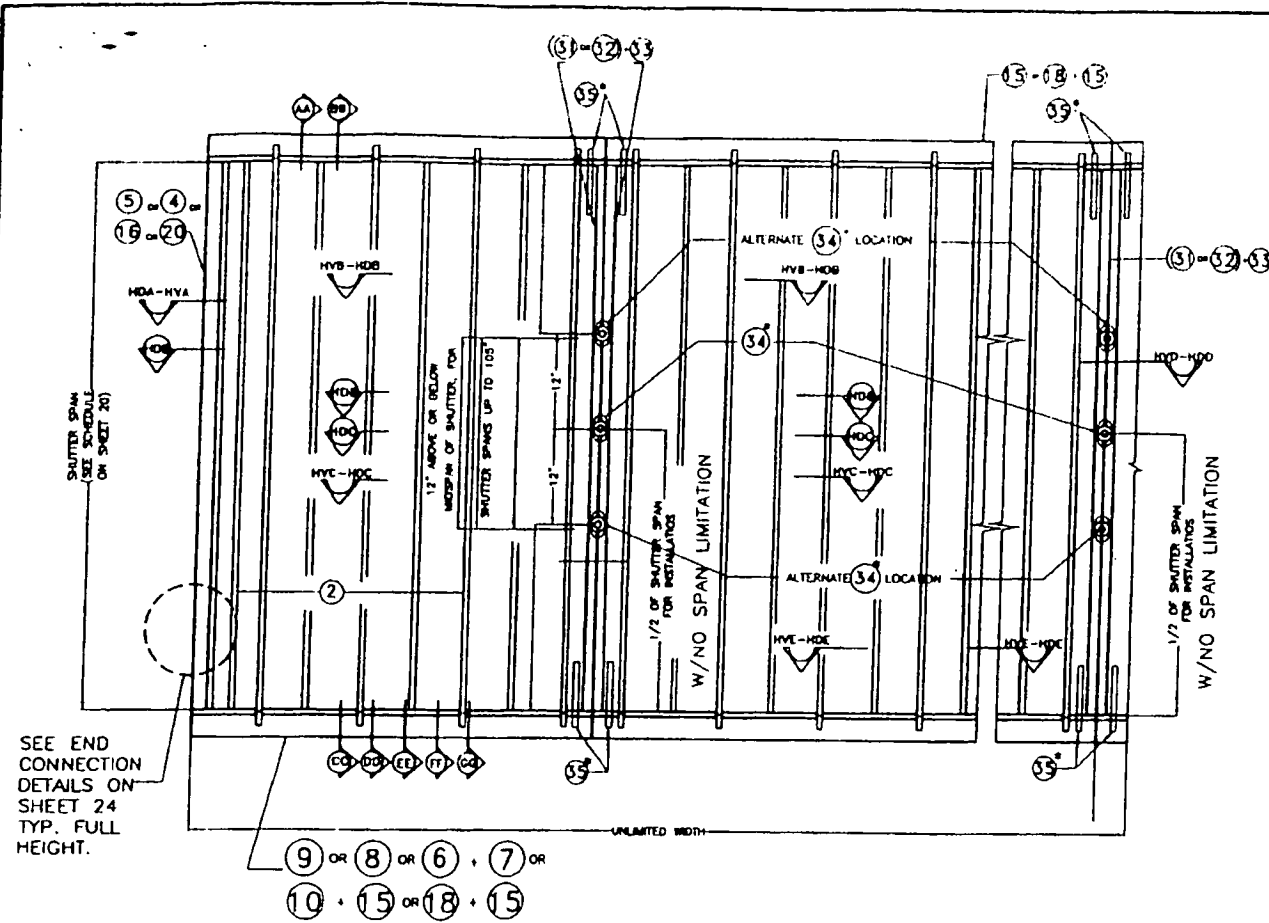
REV. No.	DESCRIPTION	DATE	Drawn by: M.C.V.
1	OLD 05-186 & 05-277	11/22/05	DATE: 11/22/05
2			DRAWING No
3			05-364
4			SHEET
5			20 OF 26
6			

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FLORIDA Lic. # 44167
Professional Seal

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American Shutter Systems
Association, Inc.
4268 Westroads Drive
West Palm Beach, FL 33407



*** NOTES ON HD LOCKS AND CENTERMATES:**

1. **MANDATORY CONDITION # 1:** ONE (34) H.D. LOCK SHALL BE USED FOR ANY SPAN AND INSTALLATION AT HEAVY DUTY SYMMETRICAL CENTERMATES, (31) OR (32)+(33) AND AT ANY ELEVATION. (34) H.D. LOCK MAY BE USED AS AN INSIDE OR OUTSIDE LOCK, ATTACHED TO (33) HEAVY DUTY SYMMETRICAL CENTERMATES WITH (3) #8 x 3/8" LONG FLAT HEAD S.S. M.S. LOCKING RODS (35) ARE NOT MANDATORY, i.e. THEY ARE COMPLETELY OPTIONAL.

2. **MANDATORY CONDITION # 2:** LOCATION OF (34) H.D. LOCK SHALL BE AS INDICATED ON SHUTTER ELEVATION, i.e., FOR SHUTTER SPANS UP TO 105". (34) H.D. LOCK MAY BE INSTALLED AT MID HEIGHT OF SHUTTER OR AT 12" ABOVE OR BELOW MID HEIGHT OF SHUTTER. FOR SHUTTER SPANS GREATER THAN 105", (34) H.D. LOCK SHALL BE INSTALLED AT MID HEIGHT OF SHUTTER.

TYPICAL (2) HV BLADE SHUTTER ELEVATION
N.T.S.

F.B.C. (Non High Velocity Hurricane Zone)

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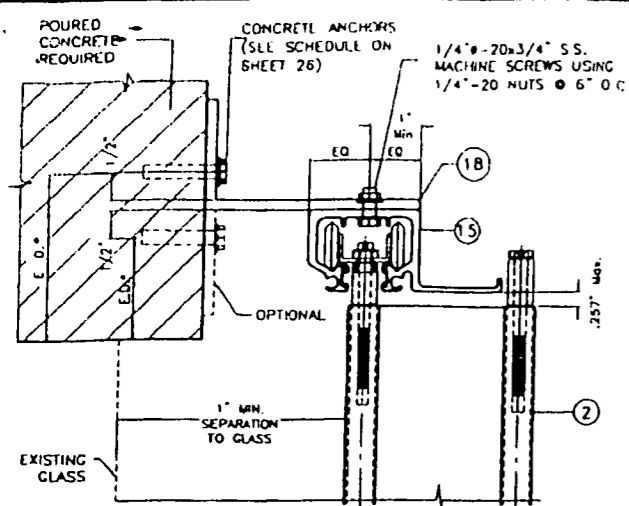
WALTER A. TILLIT JR.
P.E. SEAL/SIGNATURE/DATE

TILTECO INC.
TILLIT TESTING & ENGINEERING COMPANY
4330 N.W. 36th St., Ste. 306, VIRGINIA GARDENS, FLORIDA 33166
Phone : (305)871-1530 . Fax : (305)871-1531
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WALTER A. TILLIT JR., P. E.
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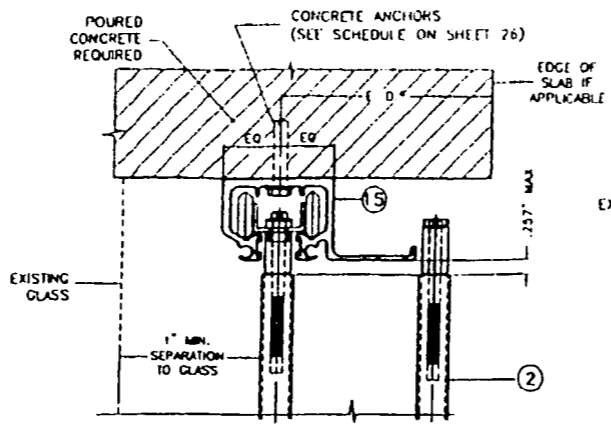
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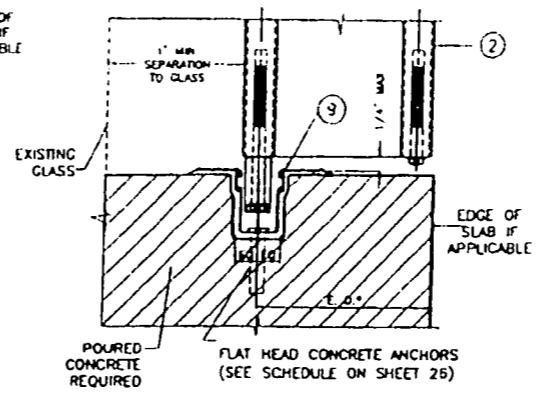
REV. No	DESCRIPTION	DATE	Drawn by: M.C.V.
1	OLD 05-186 & 05-277	11/22/05	DATE: 11/22/05
2			
3			DRAWING No
4			05-364
5			SHEET



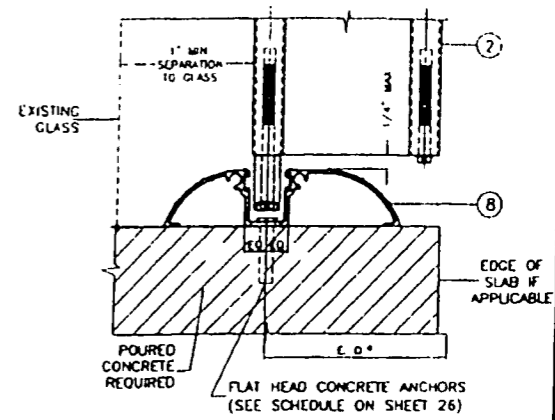
AA HD WALL HEADER INSTALLATION



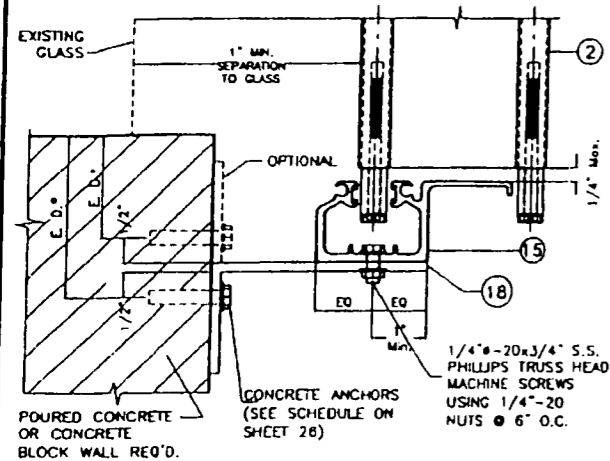
BB HD CEILING INSTALLATION



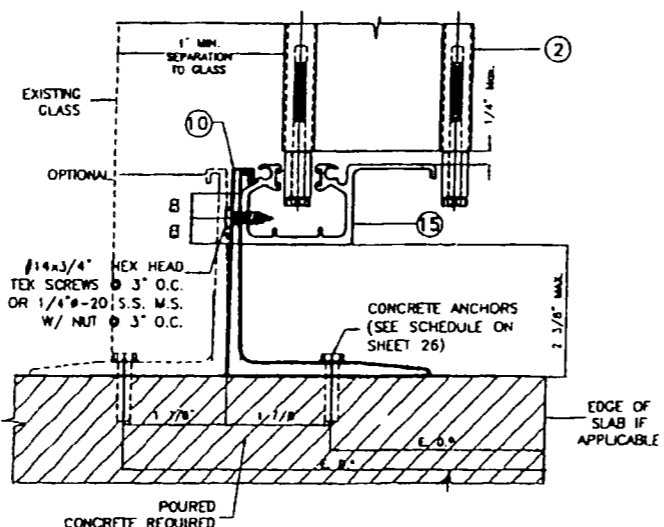
CC HD TRENCH INSTALLATION



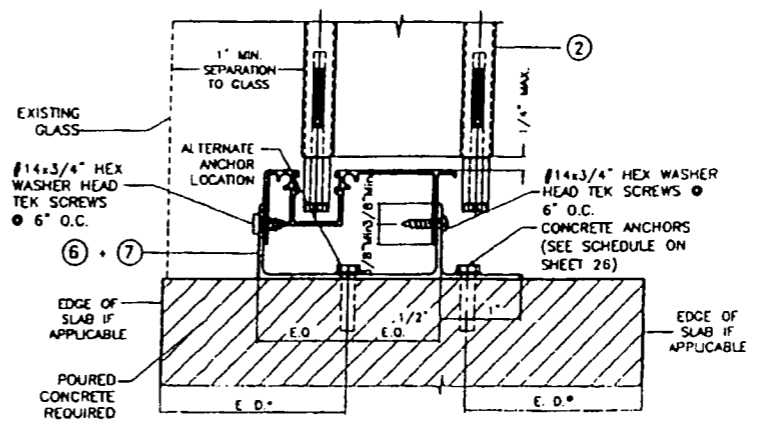
DD HD WALK-OVER INSTALLATION



EE HD WALL SILL INSTALLATION



FF HD RAINGUARD INSTALLATION



GG HD FLOOR INSTALLATION

INSTALLATION DETAILS W/ ② HV BLADE

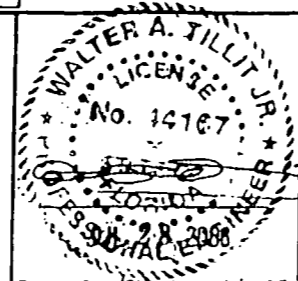
SCALE: 3/8"=1"

F.B.C. (Non High Velocity Hurricane Zone)

NOTE FOR COMBINATION OF SECTIONS:

- 1- SEE SHEET 21 FOR TYPICAL SHUTTER ASSEMBLY
- 2- MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

• E. D. = EDGE DISTANCE (SEE SPECIFICATIONS ON SHEET 26)



P.E. SEAL/SIGNATURE/DATE

TILTECO INC.
 TILLIT TESTING & ENGINEERING COMPANY
 333 N.W. 30th St., Ste. 303, VIRGINIA GARDENS, FLORIDA 33166
 Phone: (305)871-1530, Fax: (305)871-1531
 e-mail: tilteco@aol.com
 EB-0006719
 WALTER A. TILLIT JR., P. E.
 FLORIDA LIC. # 44167

A.S.S.A.
 American Shutter Systems
 Association, Inc.
 4268 Westroads Drive
 West Palm Beach, FL 33407

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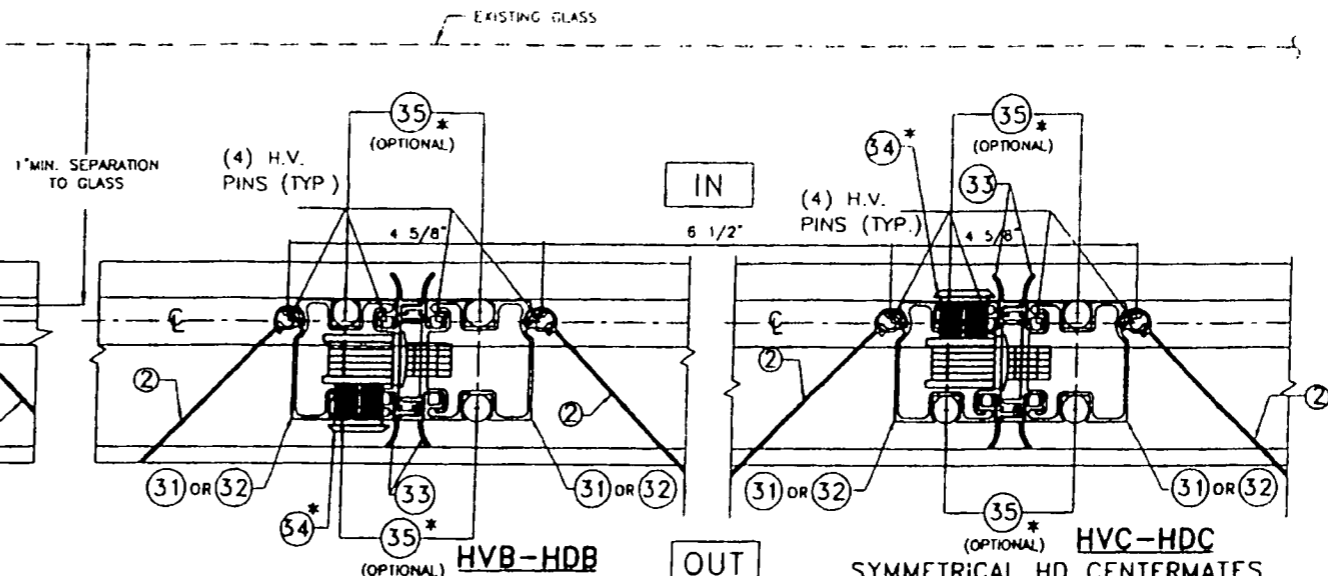
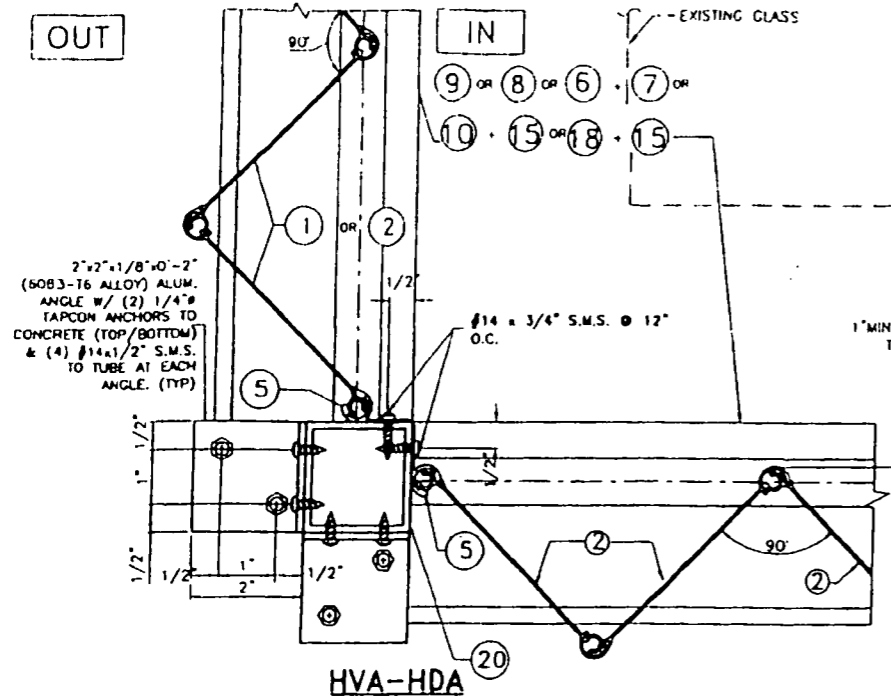
REV. NO.	DESCRIPTION	DATE	Drawn by: M.C.V.
1	OLD 05-108 & 05-277	11/22/05	DATE: 11/22/05
2			DRAWING No
3			05-364
4			SHEET
5			22 OF 26
6			

SEE END WALL CONNECTION DETAILS ON SHEET 24

INSTALLATION
(2) HV BLADE

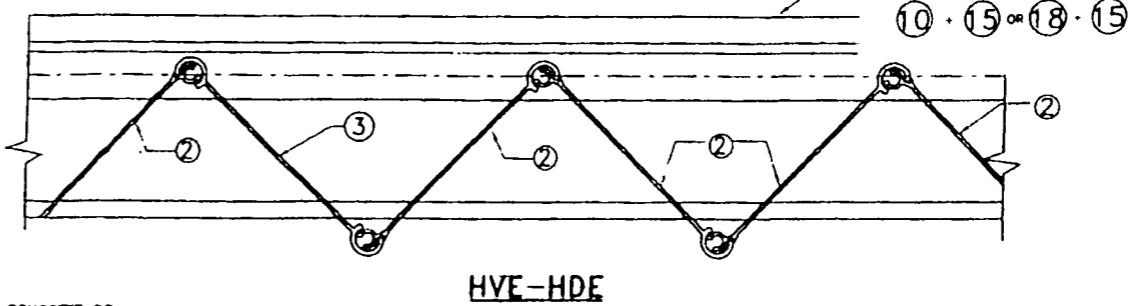
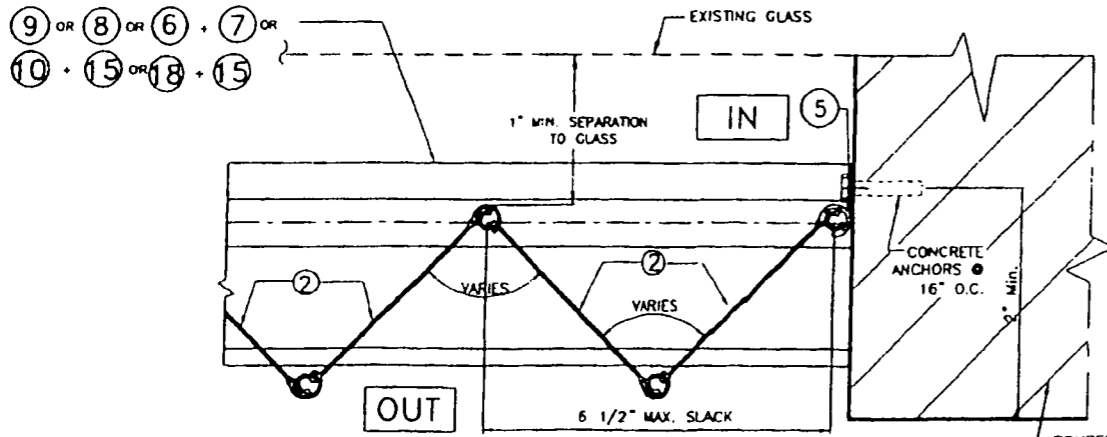
* SEE NOTES ON LOCKING RODS (33) & HD (34) LOCKS ON SHEETS 21

SEE END WALL CONNECTION
DETAILS ON SHEET 24



SYMMETRICAL HD CENTERMATES W/ (34)* LOCK (EXTERIOR)

SYMMETRICAL HD CENTERMATES W/ (34)* LOCK (EXTERIOR)



F.B.C. (Non High Velocity Hurricane Zone)

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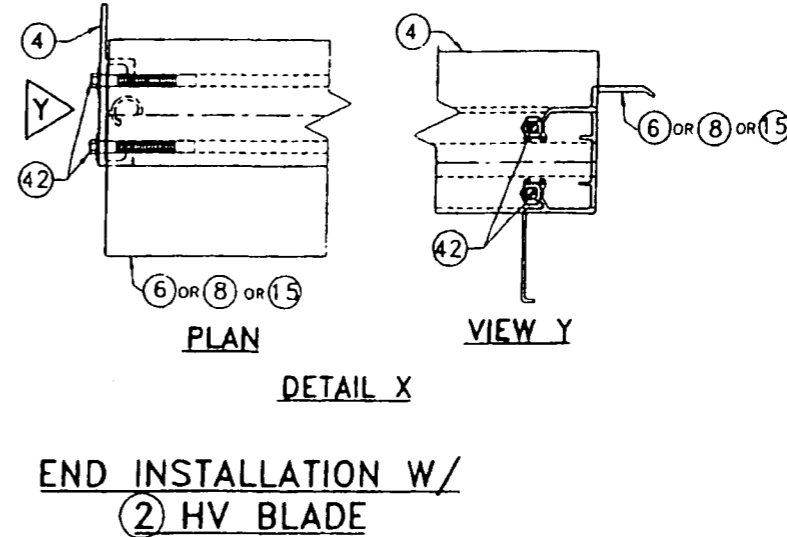
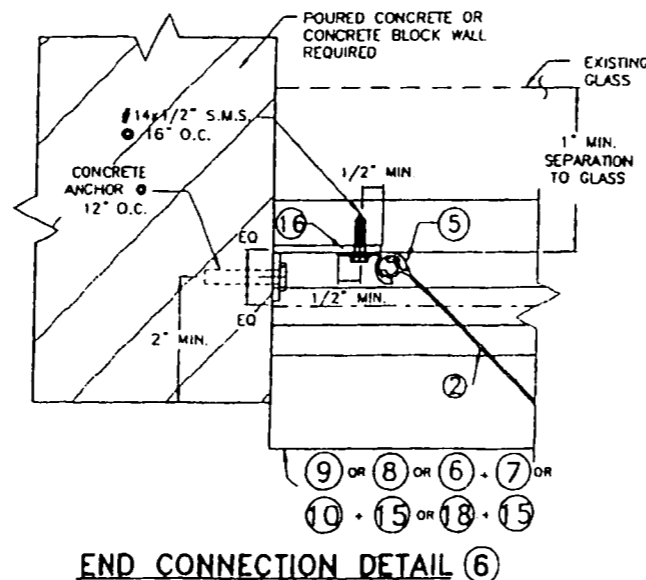
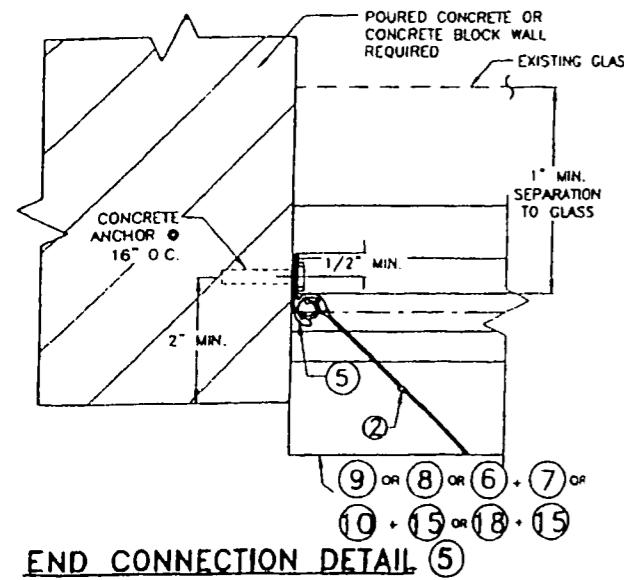
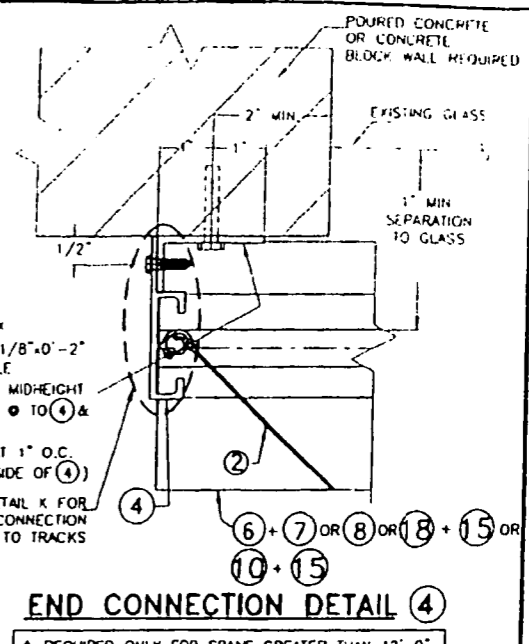
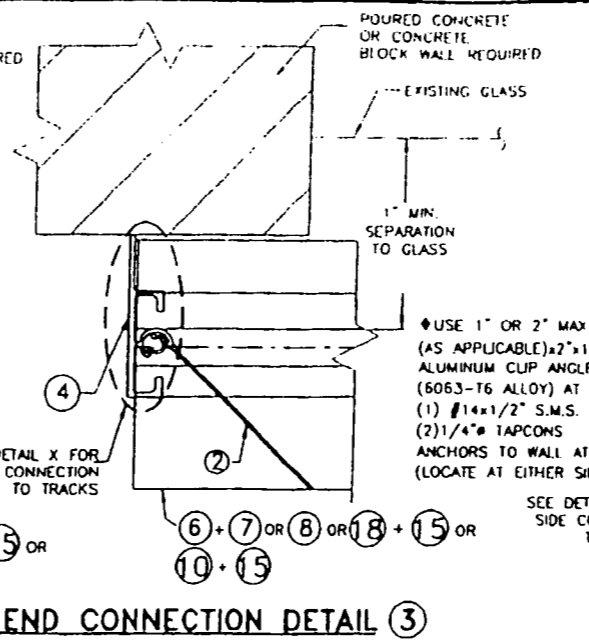
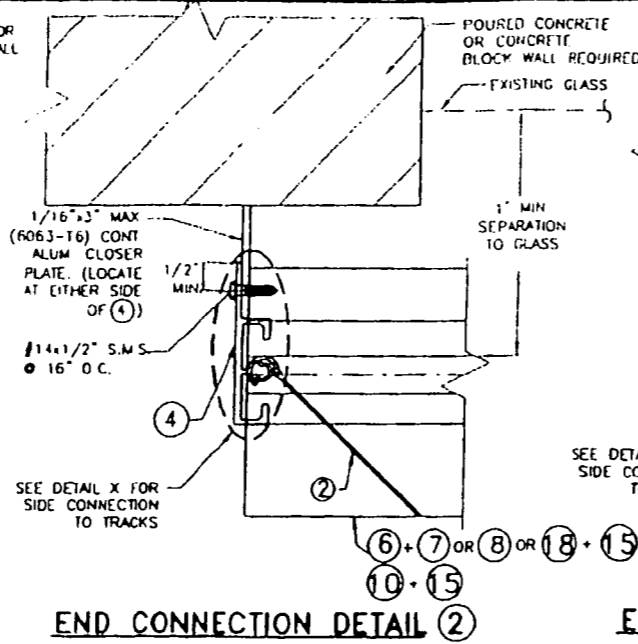
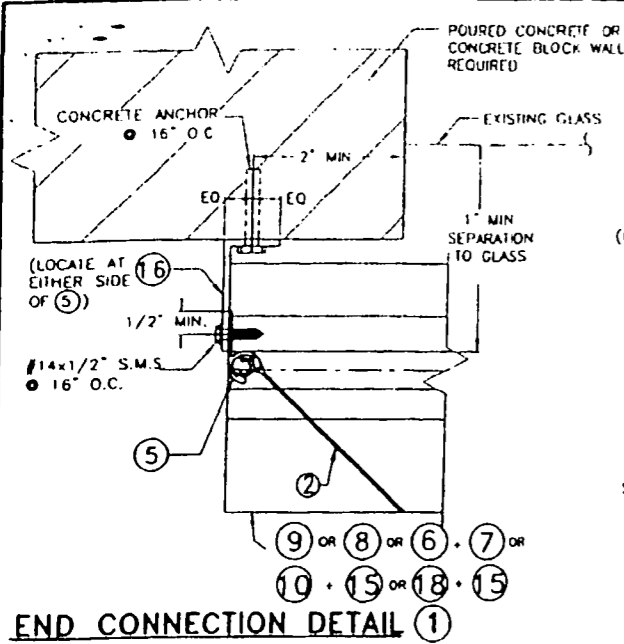
WALTER A. TILLET JR.
P.E. SEAL/SIGNATURE/DATE

TILTECO INC.
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REV. No	DESCRIPTION	DATE	Drawn by: M.C.V.
1	OLD 05-196 & 05-277	11/22/05	DATE: 11/22/05
2			DRAWING No
3			05-364
4			SHEET
5			23 OF 26
6			

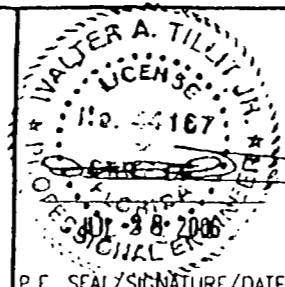


F.B.C. (Non High Velocity Hurricane Zone)

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REV. No	DESCRIPTION	DATE	Drawn by: M.C.V.
1	OLD 05-106 & 05-277	11/22/05	DATE: 11/22/05
2			DRAWING No
3			05-364
4			SHEET
5			2 OF 25



TILLET TESTING & ENGINEERING COMPANY
 3333 W.W. 36th St., Ste. 303, WYOMING GARDENS, FLORIDA 33166
 Phone: (305)871-1530 Fax: (305)871-1531
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 WALTER A. TILLET JR., P. E.
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 West Palm Beach, FL 33407

MAXIMUM SHUTTER SPAN*
 "L+" OR "L-" (ft.)
 INSTALLATIONS W/ SYMMETRICAL
 HD CENTERMATES (1) OR (2)
 W/ ONE H.D. (3) LOCK & NO
 LOCKING RODS (4) ♦

MAXIMUM DESIGN LOAD (p.s.f.) (+ OR -)	CONCRETE & CONCRETE BLOCK INSTALLATIONS	
	ALL MOUNTING CONDITIONS	
	L + (R)	L - (R)
30 OR LESS	18'-0"	18'-0"
35	18'-0"	18'-0"
40	17'-4"	17'-10"
45	16'-4"	17'-6"
50	15'-6"	17'-0"
55	14'-10"	16'-10"
60	14'-2"	16'-2"
65	13'-8"	15'-8"
70	13'-2"	14'-11"
75	12'-8"	14'-5"
80	12'-3"	14'-0"
85	11'-11"	13'-7"
90	11'-6"	13'-2"
95	11'-3"	12'-10"
100	10'-8"	12'-6"
105	10'-0"	12'-2"
110	9'-6"	11'-11"
115	9'-1"	11'-8"
120	8'-9"	11'-5"
125	-	11'-2"
130	-	10'-11"
135	-	10'-9"
140	-	10'-6"
145	-	10'-4"
150	-	10'-2"
155	-	10'-0"
160	-	9'-10"
165	-	9'-9"
170	-	9'-7"
175	-	9'-5"
180	-	9'-4"
185	-	9'-2"
190	-	9'-0"
195	-	8'-9"

* NOTES:

(1) L+: MAXIMUM ALLOWABLE SPAN FOR A GIVEN POSITIVE DESIGN LOAD
 L-: MAX ALLOWABLE SPAN FOR A GIVEN NEGATIVE DESIGN LOAD

(2) PROCEDURE TO DETERMINE MAXIMUM SPAN FOR WALL MOUNTINGS OR FLOOR/CEILING:
 GIVEN A POSITIVE DESIGN LOAD, DETERMINE MAXIMUM SPAN "L+" FROM SCHEDULE.
 GIVEN A NEGATIVE DESIGN LOAD, DETERMINE MAXIMUM SPAN "L-" FROM SCHEDULE.
 FINAL MAXIMUM ALLOWABLE SPAN IS EQUAL TO THE MINIMUM DETERMINED SPAN BETWEEN "L+" AND "L-".

(3) PROCEDURE TO DETERMINE MAXIMUM SPAN FOR COMBINATIONS IN BETWEEN WALL W/ FLOOR/CEILING MOUNTINGS:
 FOR A GIVEN POSITIVE DESIGN LOAD:
 DETERMINE:
 L1+ = MAX. SPAN FOR WALL MOUNTING INSTALLATIONS.
 L2+ = MAX. SPAN FOR FLOOR/CEILING MOUNTING INSTALLATIONS.
 FOR A GIVEN NEGATIVE DESIGN LOAD:
 DETERMINE:
 L1- = MAX. SPAN FOR WALL MOUNTING INSTALLATIONS.
 L2- = MAX. SPAN FOR FLOOR/CEILING MOUNTING INSTALLATIONS.
 FINAL MAXIMUM ALLOWABLE SPAN IS EQUAL TO THE MINIMUM BETWEEN "L1+", "L2+", "L1-" AND "L2-".

(4) GO TO ANCHOR SCHEDULE WITH FINAL MAXIMUM ALLOWABLE SPAN AND MAXIMUM DESIGN LOAD TO DETERMINE MAXIMUM ANCHOR SPACING.

INSTALLATION LEGEND	
SUBSTRATE	CONCRETE & CONCRETE BLOCK(SHEET 22)
WALL MOUNTINGS	AA & EE
FLOOR/CEILING MOUNTING	BB, CC, DD, FF & GG

② HV BLADE

F.B.C.(Non High Velocity Hurricane Zone)

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REV. NO	DESCRIPTION	DATE	Drawn by: M.C.V.
1	OLD 05-188 & 05-277	11/22/05	DATE: 11/22/05
2			DRAWING No
3			05-364
4			SHEET ..
5			

WALTER A. TILLIT JR.
 LICENSE
 No. 44167
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 JUL 28 2006
 P.F. SEAL / SIGNATURE / DATE

TILTECO INC.
 TILLIT TESTING & ENGINEERING COMPANY
 8355 N.W. 36th St., Ste. 308, VIRGINIA GARDENS, FLORIDA 33166
 Phone: (305)871-1530 Fax: (305)871-1531
 e-mail: tillitco@aol.com
 EB-0006719
 WALTER A. TILLIT Jr. P. E.
 FLORIDA Lic. # 44167

A.S.S.A.
 American Shutter Systems
 Association, Inc.
 4268 Westroads Drive
 West Palm Beach, FL 33407

ANCHORS SPACING LEGEND

TAPCON
CRETE-FLEX SS4

MAXIMUM DESIGN PRESSURE RATING (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR* SPACING (in.) SCHEDULE FOR A GIVEN MAX. SHUTTER SPAN, MAXIMUM DESIGN LOAD AND A CORRESPONDING MOUNTING TYPE FOR CONCRETE OR CONCRETE BLOCK INSTALLATIONS

MAXIMUM SPAN (ft)	POURED CONCRETE AND CONCRETE BLOCK				
	ALL MOUNTINGS AA THRU GG (SHEET 22)				
	USE MAXIMUM VALUES BETWEEN POSITIVE AND NEGATIVE LOADS				
	50 OR LESS	>50 TO 90	>90 TO 120	>120 TO 160	>160 TO 195
8'-9" OR LESS	8"	4 1/2"	3 1/2"	2 1/2"	-
	11"	6 1/2"	4 1/2"	3 1/2"	3"
>8'-9" UP TO 12'-1"	6"	3"	2 1/2"	-	-
	8"	4 1/2"	3 1/2"	3"	-
>12'-1" UP TO 18'-0"	4"	3"	2 1/2"	-	-
	6"	4"	3 1/2"	-	-

***SPECIFICATIONS ON ANCHOR REQUIREMENTS: POURED CONCRETE OR CONCRETE BLOCK SUBSTRATES**

- 1 ANCHORS TO WALL SHALL BE AS FOLLOWS:
 (A) TO EXISTING POURED CONCRETE (Min. $f_c = 3350$ psi)
 - 1/4" TAPCON ANCHORS, AS MANUFACTURED BY I.T.W. RAMSET/ RED HEAD
 - 1/4" CRETE-FLEX SS4 ANCHORS AS MANUFACTURED BY ELCO TEXTRON

NOTES:

- A.1) MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON OR CRETE-FLEX SS4 ANCHORS IS 1 3/4".
 A.2) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, PAVERS OR ANY VENEER BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SAID WALL FINISHES. ANCHORAGE SHALL BE AS INDICATED ON NOTE A.1) ABOVE. FOR INSTALLATIONS ON VINYL SIDING OR EIFS CONSULT THIS ENGINEER.
 (B) TO EXISTING ASTM C-90 CONCRETE BLOCK WALL:
 - 1/4" TAPCON ANCHORS, AS MANUFACTURED BY I.T.W. RAMSET/ RED HEAD.
 - 1/4" CRETE-FLEX SS4 ANCHORS AS MANUFACTURED BY ELCO TEXTRON.
NOTES:
 B.1) MINIMUM EMBEDMENT INTO CONCRETE BLOCK OF TAPCON & CRETE-FLEX ANCHORS, IS 1 1/4".
 B.2) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, PAVERS OR ANY VENEER BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SAID WALL FINISHES. ANCHORAGE SHALL BE AS INDICATED ON NOTE B.1) ABOVE. FOR INSTALLATIONS ON VINYL SIDING OR EIFS CONSULT THIS ENGINEER.
 (C) ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.
 (D) SEE SCHEDULE BELOW FOR EDGE DISTANCE (E.D.) VERSUS SPACING RELATIONSHIP FOR ANCHORS.

EDGE DISTANCE VERSUS SPACING FOR ANCHORS

MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3" EDGE DISTANCE FOR 1/4" TAPCON AND 1/4" CRETE-FLEX SS4. FOR E. D. LESS THAN THE ABOVE MENTIONED, REDUCE ANCHOR SPACING BY MULTIPLYING SPACING SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. THIS OPERATION IS ONLY ALLOWED IF REDUCED SPACING OBTAINED USING FACTOR IS NOT LESS THAN MINIMUM SPACING INDICATED FOR EACH ANCHOR TYPE.

ACTUAL E. D.	FACTOR	
	CRETE-FLEX SS4 MIN. SPACING = 3"	1/4" TAPCON MIN. SPACING = 3"
2 1/2"	0.68	0.68
2"	0.50	0.50

② HV BLADE

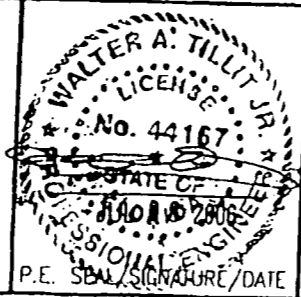
F.B.C. (Non High Velocity Hurricane Zone)

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REV. NO.	DESCRIPTION	DATE	Drawn by:	J.N.M.
1	OLD 05-188 & 05-277	11/22/05	DATE: 11/22/05	
2				
3				
4				
5				

DRAWING NO
05-364
 SHEET



TILECO INC.
 TILLIT TESTING & ENGINEERING COMPANY
 8335 N.W. 38th St., Ste 305, VIRGINIA GARDENS, FLORIDA 33166
 Phone: (305)871-1530, Fax: (305)871-1531
 e-mail: tillitco@aol.com
 EB-0006719
 WALTER A. TILLIT J. P. E.
 FLORIDA Lic. # 44167

A.S.S.A.
 American Shutter Systems
 Association, Inc.
 4268 Westroads Drive
 West Palm Beach, FL 33407

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ~~Thu~~ ^{Thurs} 10-16, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8748	Mc Govern 2 Tuscan La 2016 Driftwood	UG gas	PASS	INSPECTOR: <i>[Signature]</i>
2	CUMMINGS 83 S. RIVER	DRIVEWAY 9:30	PASS	INSPECTOR: <i>[Signature]</i>
8972	Martin 10 Middle Rd Five Homes by Rick	Final	PASS	INSPECTOR: [Signature]
9023	Jones 18 Emarita Five Homes by Rick	window buck	PASS	INSPECTOR: <i>[Signature]</i>
Tree	Bruid 84 N Sewalls	Tree	PASS	INSPECTOR: <i>[Signature]</i>
Tree	King 30 Rio Vista	Tree	PASS	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>

OTHER: _____

9404

REPLACE DUCT WORK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9404	DATE ISSUED:	APRIL 8, 2010
SCOPE OF WORK:	REPLACE DUCTWORK		
CONDITIONS:			
CONTRACTOR:	PREMIER PLUMBING		
PARCEL CONTROL NUMBER:	133841002-000-005000	SUBDIVISION	HIGH POINT - LOT 50
CONSTRUCTION ADDRESS:	10 MIDDLE RD		
OWNER NAME:	MARTIN <i>Sandy</i>		
QUALIFIER:	KIM WILSON	CONTACT PHONE NUMBER:	692-2500

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER-/BUILDER.

SEE ATTACHED

Town of Sewall's Point BUILDING PERMIT APPLICATION

Date: 1/20/10 Permit Number: 9404

OWNER/TITLEHOLDER NAME: John & Barbara Martin Phone (Day) _____ (Fax) _____

Job Site Address: 10 MIDDLE Rd. City: Stuart State: FL Zip: 34996

Legal Description: High Point LOT 50 Parcel Control Number: 13 38 41 - 002 - 000 - 005 00

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): REMOVE EXISTING DOOR WORK W/ FL24

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO _____

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 11000
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the Land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: PREMIER PLUMBING INC Phone: 692-2500 Fax: 692-1094
Street: 108 NE DIXIE Hwy City: ST. V State: FL Zip: 34994

State License Number: CAC-033574 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Sonny Brownlow Phone Number: _____

DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: 1875 Garage: 525 Covered Patios/Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck _____ Enclosed area below BFE* _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 Edition
National Electrical Code: 2005 Florida Energy Code: 2007 Florida Accessibility Code: 2007 Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

State of Florida, County of: Martin
This the 22nd day of January, 2010
by Barbara Martin who is personally known to me or produced as identification. Erica Peston

My Commission Expires: _____

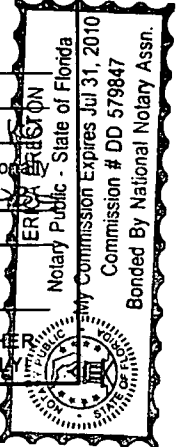
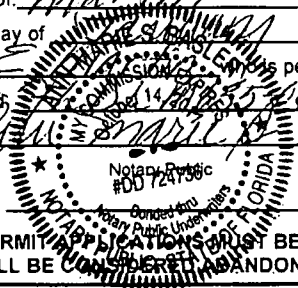
CONTRACTOR SIGNATURE: (required)

On State of Florida, County of: Martin
This the 20 day of January, 2010
by Kim Wilson who is personally known to me or produced as identification. Erica Peston

My Commission Expires: 7/31/2010

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY

*Copy
ready*





Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmax.com T1.13

Summary

print | | | | | Address
1 of 1

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	SerialIndex ID Order	Commercial	Residential
13-38-41-002-000-00500-0	10 MIDDLE RD	27737Address	0	1

Summary

Property Location 10 MIDDLE RD
Tax District 2200 Sewall's Point
Account # 27737
Land Use 101 0100 Single Family
Neighborhood 120000
Acres 0.343

Legal Description
Property Information
 HIGH POINT LOT 50

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 MARTIN JOHN G & BARBARA EDWARDS

Mail Information
 10 MIDDLE RD
 STUART FL 34996

Assessment Info
Front Ft. 0.00

Market Land Value \$231,300
Market Impr Value \$140,330
Market Total Value \$371,630

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$410,000

Sale Date 6/20/2008
Book/Page 2335 2583

Print | Back to List | << First < Previous Next > Last >>

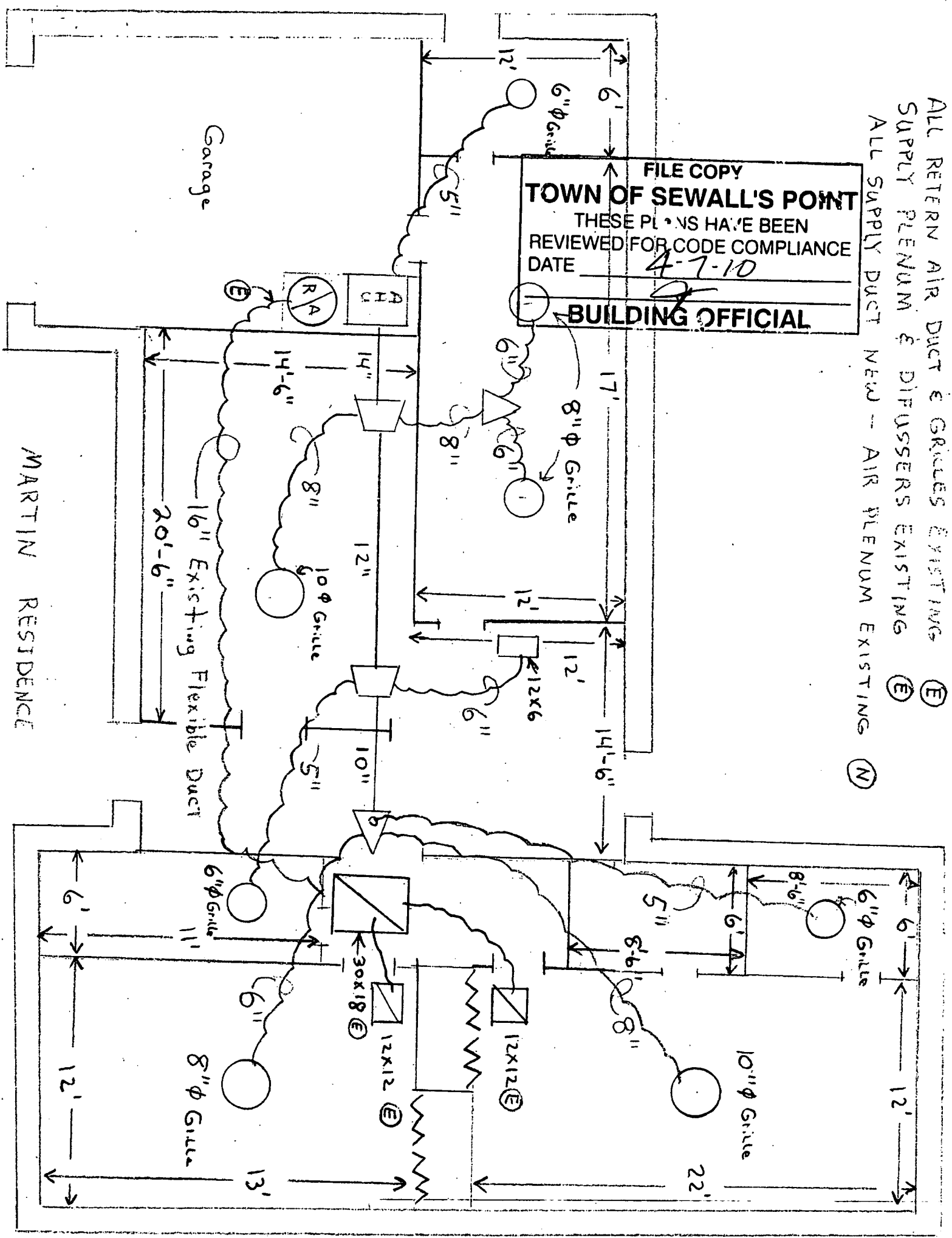
Legal disclaimer / Privacy Statement

Data updated on 1/14/2010



ALL RETURN AIR DUCT & GRILLES EXISTING (E)
 SUPPLY PLENUM & DIFFUSERS EXISTING (E)
 ALL SUPPLY DUCT NEW - AIR PLENUM EXISTING (N)

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 4-7-10
BUILDING OFFICIAL

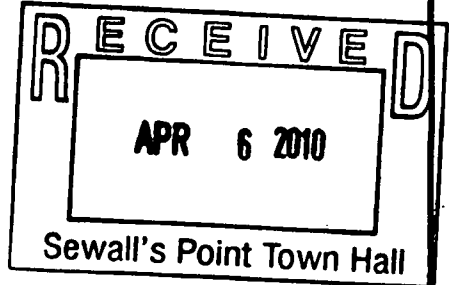


MARTIN RESIDENCE

Garage

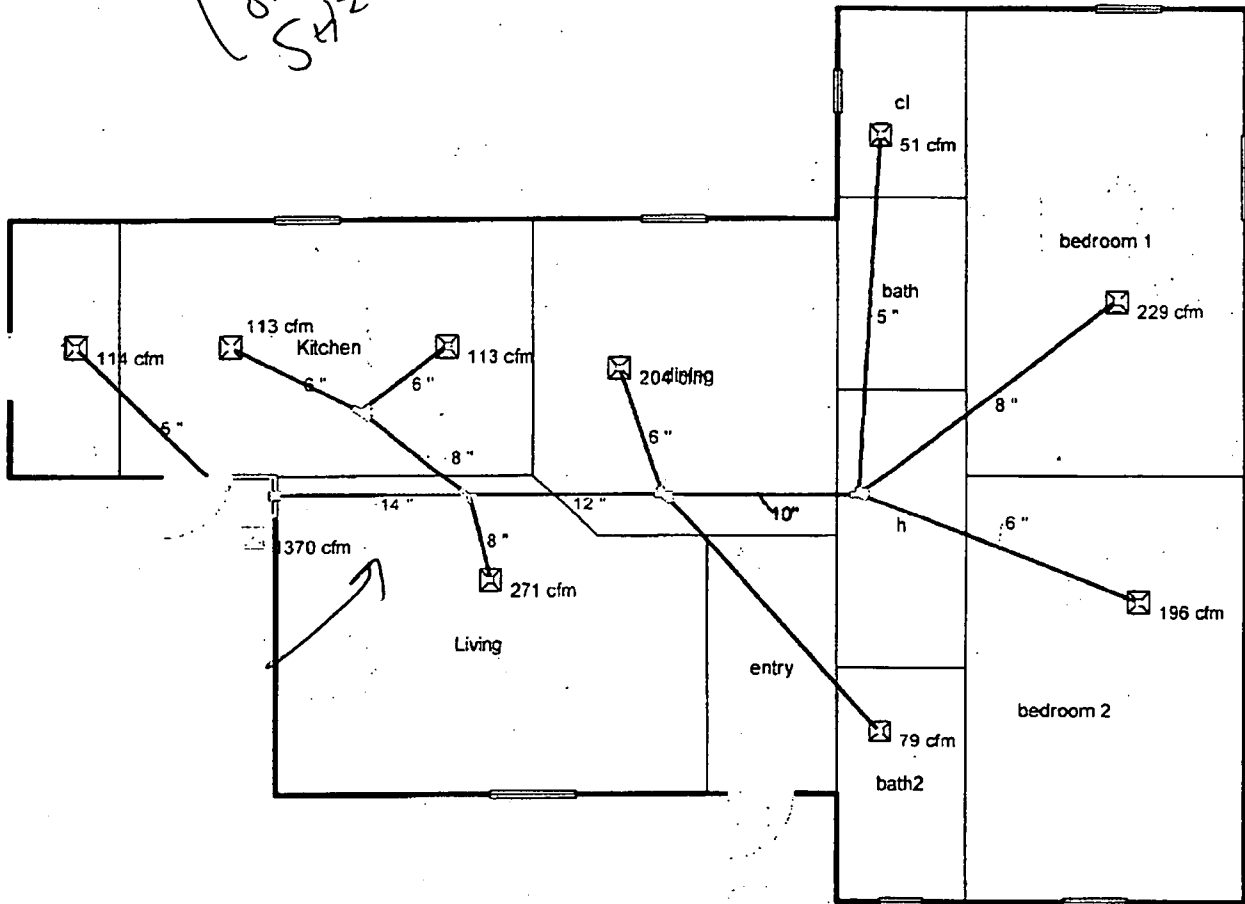
Permit

Rec- 4/6/10



CONNECTED SHEET

Sheet 1



Job #:
Performed for:
 MARTIN RESIDENCE
 STUART, FL

Scale: 1 : 99
 Page 1
 Right-Suite® Universal
 7.1.15 RSU08570
 2010-Apr-05 17:05:52
 Project1.rup

Project Information

For: MARTIN RESIDENCE
STUART, FL

Notes:

Design Information

Weather: W Palm Beach, FL, US

Winter Design Conditions

Outside db 45 °F
Inside db 68 °F
Design TD 23 °F

Summer Design Conditions

Outside db 91 °F
Inside db 75 °F
Design TD 16 °F
Daily range L
Relative humidity 50 %
Moisture difference 57 gr/lb

Heating Summary

Structure 0 Btuh
Ducts 0 Btuh
Central vent (0 cfm) 0 Btuh
Humidification 0 Btuh
Piping 0 Btuh
Equipment load 0 Btuh

Sensible Cooling Equipment Load Sizing

Structure 24847 Btuh
Ducts 9897 Btuh
Central vent (0 cfm) 0 Btuh
Blower 0 Btuh

Infiltration

Method Simplified
Construction quality Average
Fireplaces 0

	Heating	Cooling
Area (ft ²)	0	1710
Volume (ft ³)	0	15390
Air changes/hour	0.61	0.50
Equiv. AVF (cfm)	0	128

Use manufacturer's data
Rate/swing multiplier 0.96ⁿ
Equipment sensible load 33493 Btuh

Latent Cooling Equipment Load Sizing

Structure 5727 Btuh
Ducts 2263 Btuh
Central vent (0 cfm) 0 Btuh
Equipment latent load 7990 Btuh

Heating Equipment Summary

Make
Trade
Model
GAMA ID n/a

Efficiency 100 EFF
Heating input 0 Btuh
Heating output 0 Btuh
Temperature rise 0 °F
Actual air flow 1440 cfm
Air flow factor 0 cfm/Btuh
Static pressure 0 in H2O
Space thermostat

Cooling Equipment Summary

Make
Trade
Cond
Coil
ARI ref no.
Efficiency 0 SEER
Sensible cooling 0 Btuh
Latent cooling 0 Btuh
Total cooling 0 Btuh
Actual air flow 1440 cfm
Air flow factor 0.041 cfm/Btuh
Static pressure 0 in H2O
Load sensible heat ratio 0.81

Italic values have been manually overridden

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.

1 Room name				h		Living								
2 Exposed wall				0 ft		34.9 ft								
3 Ceiling height				9.0 ft		9.0 ft								
4 Room dimensions				6.0 x 13.0 ft		1.0 x 280.5 ft								
5 Room area				78.0 ft²		280.5 ft²								
Ty	Construction number	U-value (Btu/h-ft²-F)	Or	HTM (Btu/h-ft²)		Area (ft²) or perimeter (ft)		Load (Btu/h)		Area (ft²) or perimeter (ft)		Load (Btu/h)		
				Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool	
6	W	13A-4ocs	n	0.00	2.89	0	0	0	0	0	0	0	0	
	G	1A-c10m	n	0.00	38.55	0	0	0	0	0	0	0	0	
	W	13A-4ocs	e	0.00	2.89	0	0	0	0	180	158	0	451	
	G	1A-c10m	e	0.00	92.90	0	0	0	0	24	0	0	2230	
11	D	11P0	e	0.290	9.11	0	0	0	0	0	0	0	0	
	W	13A-4ocs	s	0.143	2.89	0	0	0	0	135	135	0	390	
	G	1A-c10m	s	0.00	39.66	0	0	0	0	0	0	0	0	
	D	11P0	s	0.290	9.11	0	0	0	0	0	0	0	0	
	W	13A-4ocs	w	0.143	2.89	0	0	0	0	0	0	0	0	
	G	1A-c10m	w	0.00	92.90	0	0	0	0	0	0	0	0	
	C	16B-19ad	-	0.049	2.69	78	78	0	210	281	281	0	755	
	F	22A-ccl	-	0.889	0.00	78	0	0	0	281	35	0	0	
6	c) AED excursion								-18				-115	
	Envelope loss/gain								0	182			0	3709
12	a) Infiltration								0	0			0	155
	b) Room ventilation								0	0			0	0
13	Internal gains:													230
	Occupants @			230							1			0
	Appliances @			1200							0			0
	Subtotal (lines 6 to 13)								0	182			0	4094
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								0	-182			0	232
14	Subtotal								0	0			0	4326
15	Duct loads					0%	38%		0	0	0%	50%	0	2194
	Total room load								0	0			0	6511
	Air required (cfm)								0	0			0	271

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.

1 Room name		bedroom 2		bath2										
2 Exposed wall		44.0 ft		11.0 ft										
3 Ceiling height		9.0 ft		9.0 ft										
4 Room dimensions		1.0 x 328.0 ft		6.0 x 11.0 ft										
5 Room area		326.0 ft²		66.0 ft²										
Ty	Construction number	U-value (Btu/h/ft²-F)	Or	HTM (Btu/h/ft²)		Area (ft²) or perimeter (ft)		Load (Btu/h)		Area (ft²) or perimeter (ft)		Load (Btu/h)		
				Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool	
8	W	13A-4ocs	0.143	n	0.00	2.89	180	180	0	520	0	0	0	0
	G	1A-c1om	1.270	n	0.00	36.55	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	e	0.00	2.89	171	158	0	459	54	46	0	133
	G	1A-c1om	1.270	e	0.00	82.90	12	0	0	1115	8	0	0	743
11	D	11P0	0.290	e	0.00	9.11	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	s	0.00	2.89	45	45	0	130	45	45	0	130
	G	1A-c1om	1.270	s	0.00	39.06	0	0	0	0	0	0	0	0
	D	11P0	0.290	s	0.00	9.11	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	w	0.00	2.89	0	0	0	0	0	0	0	0
	G	1A-c1om	1.270	w	0.00	82.90	0	0	0	0	0	0	0	0
	C	16B-18ad	0.049	-	0.00	2.89	326	326	0	877	66	66	0	178
	F	22A-cal	0.089	-	0.00	0.00	326	44	0	0	66	11	0	0
6	c) AED excursion									-177				-24
	Envelope loss/gain								0	2924			0	1159
12	a) Infiltration								0	195			0	49
	b) Room ventilation								0	0			0	0
13	Internal gains:		Occupants @	230		1			230	0			0	0
			Appliances @	1200		0			0	0			0	0
	Subtotal (lines 6 to 13)								0	3349			0	1208
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								0	67			0	160
14	Subtotal								0	3415			0	1369
15	Duct loads						0%	38%	0	1295	0%	38%	0	519
	Total room load								0	4710			0	1888
	Air required (cfm)								0	188			0	79

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-11-10 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9452	Terrano 10 Middle Rd. Arlington Elec	SEW change	PASS	UNLTD FPL CLOSE INSPECTOR <i>[Signature]</i>
9454	10 Middle Rd. Premier Plumb	ductwork	PASS	CLOSE INSPECTOR <i>[Signature]</i>
9455	White 15 Ridgeland Tuscany Bay	Partial sheeting	PASS	INSPECTOR <i>[Signature]</i>
9388	SMART 73 N. SP7 RD SPRATCON	WALL STEEL	PASS	INSPECTOR <i>[Signature]</i>
9340	VASCO 5 MIDDLE RD 0/15	FINAL ELEC (SMOKE DETECTORS)	RESET CON WBT	CALL FOR FINAL INSPECTOR
	20 E. HIGH PT	DOCK WORK NO PERMIT	WILCO COMING IN FOR PERMIT	(286-7155) MIELE INSPECTOR
				INSPECTOR

9452

SERVICE CHANGE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9452	DATE ISSUED:	MAY 26, 2010
SCOPE OF WORK:	SERVICE CHANGE		
CONDITIONS:			
CONTRACTOR:	ARLINGTON ELECTRIC		
PARCEL CONTROL NUMBER:	133841-002-000-005000	SUBDIVISION	HIGH POINT-LOT 50
CONSTRUCTION ADDRESS:	10 MIDDLE RD		
OWNER NAME:	FERRARO		
QUALIFIER:	JAMES WILLIAMS	CONTACT PHONE NUMBER:	287-1353

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

9452

Date: 5-20-10 BUILDING PERMIT APPLICATION Permit Number: [Handwritten]

OWNER/TITLEHOLDER NAME: Nicholas Frank Ferraro Phone (Day) 772-283-5001 (Fax) [Handwritten]

Job Site Address: 10 Middle Rd City: Stuart State: FL Zip: 34966

Legal Description Parcel Control Number: 13-28-41-002-000-00500-00000

Owner Address (if different): 4 Kingston Ct City: Stuart State: FL Zip: 34996

SCOPE OF WORK (PLEASE BE SPECIFIC): CHANGING METERCAN TO METEL COMBO

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO [X] Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$2,000.00 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 [X] FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Arlington Electric 287-1353 Phone: 772-287-7354 Fax: 772-287-2380

Qualifiers name: James P. Williams Street: 3251 SE. Dixie Hwy City: Stuart State: FL Zip: 34997

State License Number: OR: Municipality: License Number: EC-0000127

LOCAL CONTACT: Phone Number:

DESIGN PROFESSIONAL: License#

Street: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios Porches: Enclosed Storage:

Carport: Total under Roof Elevated Deck: Enclosed area below BEE* require a bond and a separate Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas), 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1. 105.4.1.1 -.5.

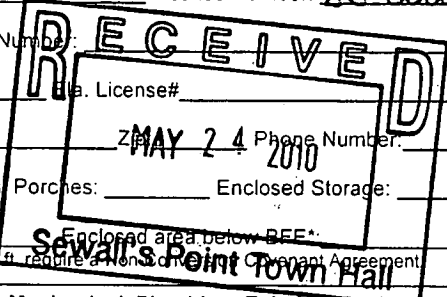
***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) [Signature] State of Florida, County of: Martin On This the 21 day of May, 2010 by Nicholas Ferraro who is personally known to me or produced [Signature] AS IDENTIFICATION: NOTARY PUBLIC-STATE OF FLORIDA Deborah Guyre Commission # DD898949 Expires: JUN 22, 2013 My Commission Expires: 6/22/13 BONDING THROUGH ATLANTIC BONDING CO., INC.

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.) [Signature] State of Florida, County of: Martin On This the 20 day of May, 2010 by J.P. Williams who is personally known to me or produced [Signature] AS IDENTIFICATION: NOTARY PUBLIC STATE OF FLORIDA M. Scoggins Commission # DD910962 Expires: AUG. 02, 2013 My Commission Expires: 8/2/13 BONDING THROUGH ATLANTIC BONDING CO., INC.

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION. APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



This Document Prepared By and Return to:

Thomas A. Fogt, Esq.
700 Colorado Avenue
Stuart, FL 34994

Parcel ID Number: 13-38-41-002-000-00500.00000

Warranty Deed

This Indenture, Made this 26 day of April, 2010 A.D., Between
John G. Martin and Barbara Edwards Martin, husband and wife

of the County of Martin, State of Florida, grantors, and
Nicholas A. Ferraro, a single man

whose address is: 10 Middle Road, Stuart, FL 34996

of the County of Martin, State of Florida, grantee.

Witnesseth that the GRANTORS, for and in consideration of the sum of

-----TEN DOLLARS (\$10)----- DOLLARS,
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Martin State of Florida to wit:

Lot 50, High Point, according to the map or plat thereof, as recorded in Plat Book 3, Page 108, of the Public Records of Martin County, Florida.

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Printed Name: Thomas A. FOGT
Witness

[Signature] (Seal)
John G. Martin
P.O. Address: 10 Middle Road, Stuart, FL 34996

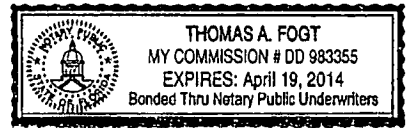
[Signature]
Printed Name: BARBARINE GOODMAN
Witness

[Signature] (Seal)
Barbara Edwards Martin
P.O. Address: 10 Middle Road, Stuart, FL 34996

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 26 day of April, 2010 by
John G. Martin and Barbara Edwards Martin, husband and wife

who are personally known to me or who have produced their Florida driver's license as identification.



[Signature]
Printed Name: Thomas A. FOGT
Notary Public
My Commission Expires:



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com T1.11

Summary

print | | | | | Address
 1 of 1

Parcel Info

- Summary**
- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-002-000-00500-0	10 MIDDLE RD	27737	Address	0	1

Summary

Property Location 10 MIDDLE RD
Tax District 2200 Sewall's Point
Account # 27737
Land Use 101 0100 Single Family
Neighborhood 120000
Acres 0.343

Legal Description
Property Information
 HIGH POINT LOT 50

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 MARTIN JOHN G & BARBARA EDWARDS

Mail Information
 10 MIDDLE RD
 STUART FL 34996

Assessment Info
Front Ft. 0.00

Market Land Value \$231,300
Market Impr Value \$140,330
Market Total Value \$371,630

Site Functions

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- Site Home
- County Login

Recent Sale
Sale Amount \$410,000

Sale Date 6/20/2008
Book/Page 2335 2583

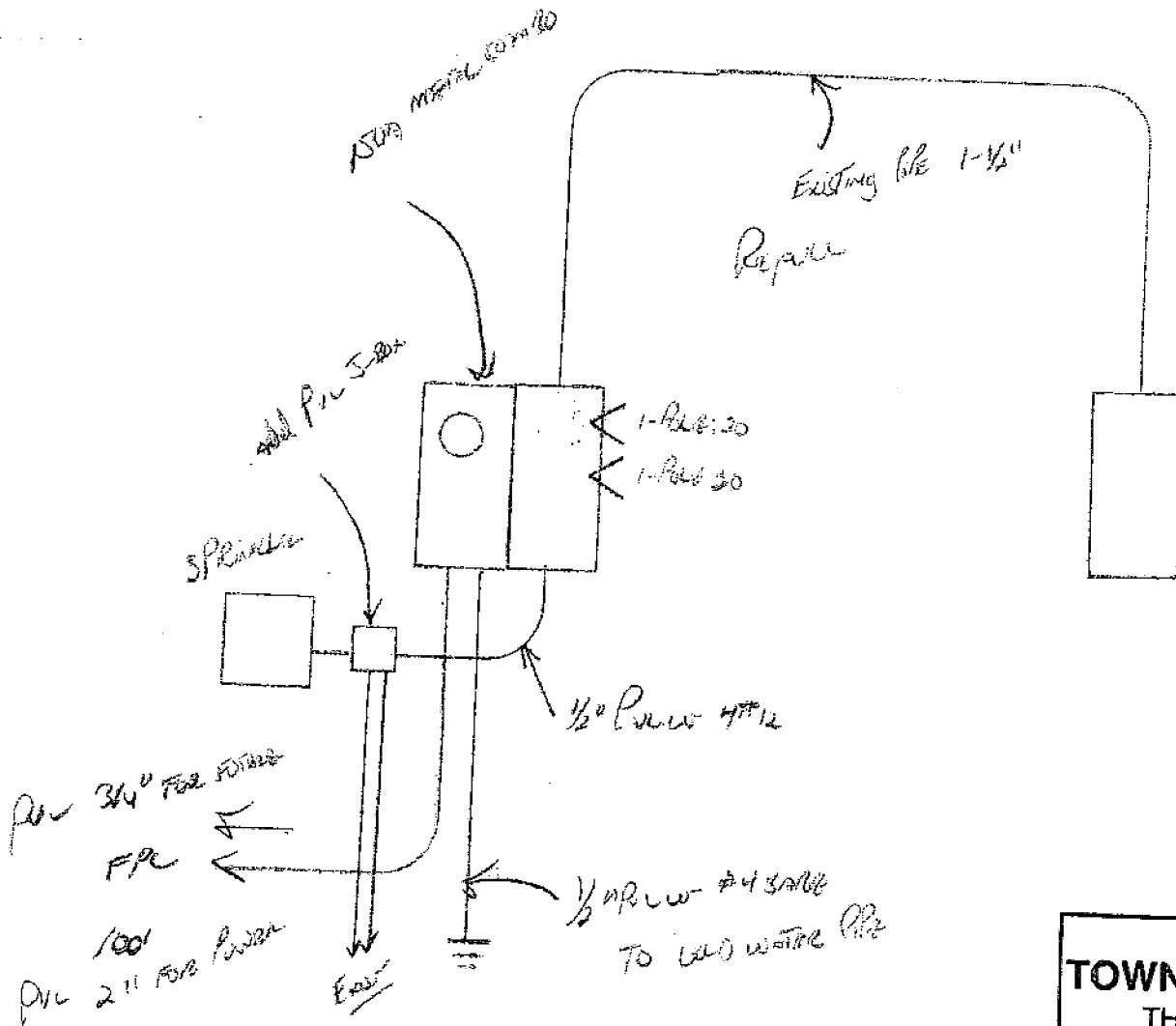
Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/29/2010



①



- Ref
Dist.
- 2-PIPE 20
 - 2-PIPE 30 - 2
 - 2-PIPE 50 - 2
 - 2-PIPE 60 - 1
 - 2-PIPE 80 - 1
 - 1-PIPE 20 - 14

FILE COPY

TOWN OF SEWALL'S POINT

THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE 5-26-10

[Signature]

BUILDING OFFICIAL

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-11-10 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9452	Terrace 10 Middle Rd Arlington Elec	SW Change	Pass	Green PRL Close
9404	10 Middle Rd Premier Plumb	Final ductwork	Pass	Close INSPECTOR [Signature]
9455	White 15 Ridgeland Tuscany Bay	Partial sheeting	Pass	INSPECTOR [Signature]
9388	SHARPE 73 N. SPY RD SPADICON	WALL STEEL	Pass	INSPECTOR [Signature]
9340	VASCO 5 WOODRIDGE RD 0/15	FINAL CHECK (SMOKE DETECTOR)	RESET FOR WBT	CALL FOR FINAL
	20 E. HIGH PT	DOCK WORK NO PERMIT	WILCO COMING IN FOR PERMIT	(286-7155) MIELE INSPECTOR
				INSPECTOR

9486

INTERIOR RENOVATIONS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9486	DATE ISSUED:	JUNE 24, 2010
SCOPE OF WORK:	INTERIOR RENOVATIONS		
CONDITIONS :			
CONTRACTOR:	REGENCY CONSTRUCTION OF SOUTH FLORIDA		
PARCEL CONTROL NUMBER:	133841-002-000-005000	SUBDIVISION	HIGH POINT - LOT 50
CONSTRUCTION ADDRESS:	10 MIDDLE RD		
OWNER NAME:	FERRARO		
QUALIFIER:	DAVID ZOLLA	CONTACT PHONE NUMBER:	579-7666

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

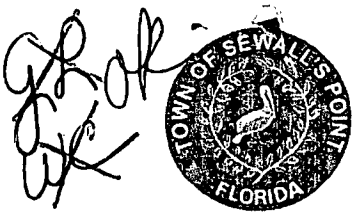
NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 9486

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: NICK FERRARO

CONSTRUCTION ADDRESS: 10 Middle Rd

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS
- ROOFING

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: Plumbing upgrade - Two/shr change

VALUE OF CONSTRUCTION \$ 600,00

LOW VOLTAGE

TYPE OF EQUIPMENT: SECURITY VACUUM SOUND SYSTEM LANDSCAPE OTHER

SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES

SIGNATURE OF LICENSED CONTRACTOR: [Signature] ADDRESS OF CONTRACTOR: 2815 NE Dixie Hwy N.B. Fl 34957

COMPANY OR QUALIFIER'S NAME: Albert E Kellett Jr.

TELEPHONE NO: 772 225 6699 PLEASE PRINT FAX NO: 772 225-0259

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: CFC 1426200

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: Nicola Ferraro

PARCEL CONTROL #: 133841-002-000-005000

SUBDIVISION: High Point LOT: 50 BLK: _____ PHASE: _____

SITE ADDRESS: 10 Middle Rd

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9486		
ADDRESS	10 MIDDLE RD		
DATE:	6/24/10	SCOPE:	INTERIOR RENOVATIONS

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s.f.	
Total square feet non-conditioned space: (@ \$51.60 per sq. ft.)		s.f.	
Total Construction Value:		\$	10,000
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			100.00
Total number of inspections (Value < \$200K) @\$75 ea.	4	\$	300.00
Radon Fee (\$.005 per sq. ft. under roof):		\$	
DBPR Licensing Fee: (\$.005 per sq. ft. under roof)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			5.00
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	405.00

ACCESSORY PERMIT	Declared Value:	\$	
Total number of inspections @ \$75.00 each		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	
TOTAL ACCESSORY PERMIT FEE:		\$	

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: 9486

Date: 6/23/10

OWNER/TITLEHOLDER NAME: NICHOLAS FERRARO

Phone (Day) 325-538-6919 (Fax) 283-3201

Job Site Address: 10 MIDDLE RD.

City: _____ State: _____ Zip: 34996

Legal Description: LOT 50 HIGH POINT

Parcel Control Number: PLAT BK 3, Pg. 108 M.C.
13-38-41-002-000-005-00-0

Owner Address (if different): _____

City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC):

INTERIOR TRIM, REPLACE PLUMB FIXTURES & VANITIES
REMOVE 2 WINDOWS, REPLACE ATTIC STAIRS, MODIFY FRIG. OPEN.

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO _____

Has a Zoning Variance ever been granted on this property?
YES 1 (YEAR) ? NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 10,200
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 _____ X _____
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: REGENCY CONST. OF S.F. INC. Phone: 579-7666 Fax: _____

Qualifiers name: DAVID ZOLLA Street: 3461 MICANOPY TRL. City: SMART State: FL Zip: 34997

State License Number: CRC 1326333 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: _____ Phone Number: 772-777-7770

DESIGN PROFESSIONAL: _____ Fla. License # _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: 1800 Garage: 400 Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof 2300 Elevated Deck: _____ Enclosed area below BFE _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Electrical, Plumbing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS; OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

Nicholas Ferraro

State of Florida, County of: Martin

On This the 17th day of June, 2010

by Nicholas Ferraro

known to me or produced _____

As identification _____

My Commission Expires: 6/22/13

NOTARY PUBLIC STATE OF FLORIDA
Deborah Guyre
Commission # DD898949
Expires: JUNE 22, 2013
BONDED THRU ATLANTIC BONDING CO., INC.

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)

David Zolla

State of Florida, County of: Martin

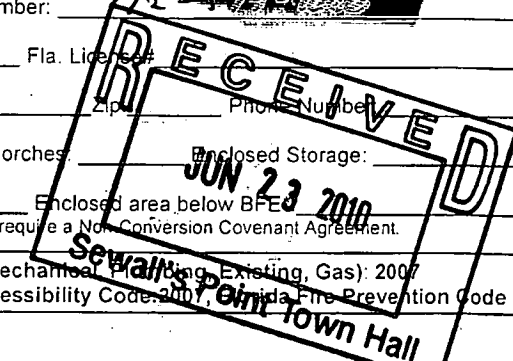
On This the 18 day of June, 2010

by David Zolla

known to me or produced _____

As identification _____

My Commission Expires: _____



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

This Document Prepared By and Return to:

Thomas A. Fogt, Esq.
700 Colorado Avenue
Stuart, FL 34994

Parcel ID Number: 13-38-41-002-000-00500.00000

Warranty Deed

This Indenture, Made this 26 day of April, 2010 A.D., Between
John G. Martin and Barbara Edwards Martin, husband and wife

of the County of Martin, State of Florida, grantors, and
Nicholas A. Ferraro, a single man

whose address is: 10 Middle Road, Stuart, FL 34996

of the County of Martin, State of Florida, grantee.
Witnesseth that the GRANTORS, for and in consideration of the sum of

-----TEN DOLLARS (\$10)----- DOLLARS,
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Martin State of Florida to wit:

Lot 50, High Point, according to the map or plat thereof, as recorded in Plat Book 3, Page 108, of the Public Records of Martin County, Florida.

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Printed Name: Thomas A. Fogt
Witness

[Signature] (Seal)
John G. Martin
P.O. Address: 10 Middle Road, Stuart, FL 34996

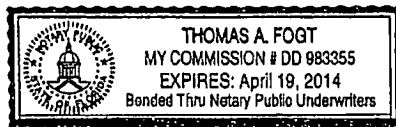
[Signature]
Printed Name: SARAH ANN GOODWIN
Witness

[Signature] (Seal)
Barbara Edwards Martin
P.O. Address: 10 Middle Road, Stuart, FL 34996

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 26 day of April, 2010 by
John G. Martin and Barbara Edwards Martin, husband and wife

who are personally known to me or who have produced their Florida driver's license as identification.



[Signature]
Printed Name: Thomas A. Fogt
Notary Public
My Commission Expires:



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com T1.11

Summary

Print | | | | | Address
 1 of 1

Parcel Info

- Summary**
- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-002-000-00500-0	10 MIDDLE RD	27737	Address	0	1

Summary

Property Location 10 MIDDLE RD
Tax District 2200 Sewall's Point
Account # 27737
Land Use 101 0100 Single Family
Neighborhood 120000
Acres 0.343

Legal Description
Property Information
 HIGH POINT LOT 50

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 MARTIN JOHN G & BARBARA EDWARDS

Mail Information
 10 MIDDLE RD
 STUART FL 34996

Assessment Info
Front Ft. 0.00

Market Land Value \$231,300
Market Impr Value \$140,330
Market Total Value \$371,630

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$410,000

Sale Date 6/20/2008
Book/Page 2335 2583

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/29/2010





NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 OR HVAC EXCEEDS \$7,500.00

PERMIT #: _____ TAX FOLIO #: 13-38-41-002-000-005-00-0

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
HIGHPOINT LOT 50

GENERAL DESCRIPTION OF IMPROVEMENT: INT. REMODELING, MINOR

OWNER NAME: NICHOLAS FERRELL
ADDRESS: 10 Middle Rd Swallow Pt FL 34996
PHONE NUMBER: 283-9001 FAX NUMBER: _____

INTEREST IN PROPERTY: owner
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: REGENCY CON.
ADDRESS: 211 SE KAWAHEAN PKWY SUITE PL 34996
PHONE NUMBER: 772-579-7666 FAX NUMBER: _____

SURETY COMPANY (IF ANY): _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1)(a) 7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:
PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

X Nicholas Ferrell
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 17th DAY OF June, 2010

BY: Nicholas Ferrell FOR _____
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

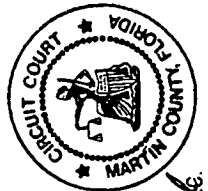
PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____

TYPE OF IDENTIFICATION PRODUCED _____
NOTARY SIGNATURE/ SEAL: Deborah Guyre

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.325, FLORIDA STATUTES).

X Nicholas Ferrell
(Signature of Natural Person Signing Above)

NOTARY PUBLIC-STATE OF FLORIDA
Deborah Guyre
Commission # DD898949
Expires: JUNE 22, 2013
BONDED THRU ATLANTIC BONDING CO., INC.



STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK
BY M. Bettineschi
DATE 6-18-10



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

CONTRACTOR, OWNER /BUILDER ASBESTOS NOTIFICATION STATEMENT

Date: 6/16/10 Building Permit # _____
 Site Address: 10 MIDDLE Pl. Swells Pt. FL

FBC 104.1.10 Asbestos. The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's or operator's responsibility to comply with the provisions of s. 469.003 Florida Statutes and to notify the Department of Environmental Protection of her or his intentions to remove asbestos, when applicable, in accordance with state and federal law. 469.003 License required.--

(1) No person may conduct an asbestos survey, develop an operation and maintenance plan, or monitor and evaluate asbestos abatement unless trained and licensed as an asbestos consultant as required by this chapter.

(2)(a) No person may prepare asbestos abatement specifications unless trained and licensed as an asbestos consultant as required by this chapter.

(b) Any person engaged in the business of asbestos surveys prior to October 1, 1987, who has been certified by the Department of Labor and Employment Security as a certified asbestos surveyor, and who has complied with the training requirements of s. 469.013(1)(b), may provide survey services as described in s. 255.553(1), (2), and (3). The Department of Labor and Employment Security may, by rule, establish violations, disciplinary procedures, and penalties for certified asbestos surveyors.

(3) No person may conduct asbestos abatement work unless licensed by the department under this chapter as an asbestos contractor, except as otherwise provided in this chapter.

FBC 105.3.6 Asbestos removal. (Owner /Builder Exemption)

Moving, removal or disposal of asbestos-containing materials on a residential building where the owner occupies the building, the building is not for sale or lease, and the work is performed according to the owner-builder limitations provided in this paragraph. To qualify for exemption under this paragraph, an owner must personally appear and sign the building permit application. The permitting agency shall provide the person with a disclosure statement in substantially the following form: **Disclosure Statement:** State law requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

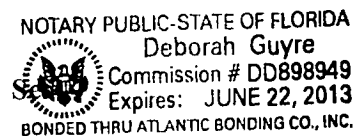
____ Contractor or Owner/Builder Signature David Zolla

Subscribed and sworn to before me this 17th day of June, 2010 personally appeared

Nickidas Ferrary who is personally known to me or produced _____ as

identification, and who did/did not take an oath.

Notary Public Signature Deborah Guyre





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

SUBCONTRACTORS LIST
 RESIDENTIAL, ADDITIONS, COMMERCIAL

APPLICANT'S NAME REGENCY CONST. BLDG. PERMIT # _____

MAILING ADDRESS 711 SE. KNEELAND PLNG STUART FL 34996

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. **WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION.** USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. *(NOT OCCUPATIONAL LICENSE NUMBERS)*

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM		
CFI	- FINISH		
BM	BLOCK MASON		
CB	COLUMNS & BEAMS	REGENCY CONST.	132 633
CA	CARPENTRY ROUGH		
GD	GARAGE DOOR		
DH	DRYWALL - HANG	REGENCY CONST. OF S.F.	132 633
DF	- FINISH		
IN	INSULATION		
LA	LATHING		
FI	FIREPLACE		
PAV	PAVERS		
AL	ALUMINUM		
LP	LP GAS		
PAV	PAINTING		
PL	PLASTER & STUCCO		
ST	STAIRS & RAILS		
RO	ROOFING		
TM	TILE & MARBLE	REGENCY CONST.	132 633
WD	WINDOWS & DOORS		
PLU	* PLUMBING	KELCATT SONS	
AC	* HARV		
EL	* ELECTRICAL		

ok



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

AL	* LOW VOLTAGE BURGLAR ALARM		
VS	VACUUM SOUND		
IR	* IRRIGATION		
SH	SHUTTERS		

* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Daniel Zolla

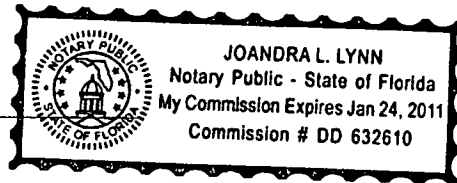
SIGNATURE OF CONTRACTOR
 (OR OWNER BUILDER IF APPLICABLE)

STATE OF Florida
 COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 18th day
 of June, 20 10

Joandra Lynn
 NOTARY PUBLIC

MY COMMISSION EXPIRES: _____



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

7-1

2016 Page

1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	LAZARUS			
TRUCK	31 S River My			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9473	Brennan 111 Henry Sewalls T-Coast Pavers	Final Pavers	Pass	Close INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9486	Terran 10 Middle Rd Regency Const	Final	Pass	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9483	Moscattello 1 Worth Ct Scott Holmes	mail off SUBSIDING	Pass	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7/12 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9379	BALFOOT	ROOF		
9:00 AM	103 HILLCREST BALFOOT CONST	DRY IN/ METAL	PASS	INSPECTOR <i>JA</i>
9436	DURNO	LANE		NEED CURB
	10 WINDY	LANE	FAIL	CORNER
	REEBLY CONST			INSPECTOR <i>JA</i>
9464	DURNO			
	270 N RIVER SAURAT	FINAL FENCE	FAIL	NOO PER PLANS
				INSPECTOR <i>JA</i>
	LE BANYAN	FENCE	POOK	
		FALLING DOWN PICTURE		INSPECTOR
9472	MURKINANT			
	5 EMARITA	IN PROGRESS	CANCEL	NO ONE ON JOB
	DRIFTWOOD / ALL AMERICAN			INSPECTOR
				INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-13 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9486	REYNOLDS	ROOF		
6	10 MIDDLE RD MAGNIFY CONST	PUMPS RE-INSPECT	Pass	INSPECTOR <i>AB</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9506	RAMSEN			287-1596
3	23 RIDGLAND DR R RAMS & CRANE	FINAL AC	Pass	CALL BY INSPECTOR <i>AB</i> Close
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9501	STECK			
2	32 FIELDWAY EXPEND SANITARY	FINAL SANITARY	Pass	Close INSPECTOR <i>AB</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
1	POTTER			
TREE	4 PERRIWINKLE LN		OK	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9489	WINNEY			
5	8 RIVER VIEW FREEDOM H.B	UG PUMPS	Pass	INSPECTOR <i>AB</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9492	R Z PROPS			
4	13 PALM RD AQUAMATIC INC	FINAL TICKS	Pass	Close INSPECTOR <i>AB</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9464	DURNO	Final		Reid Eng letter
	30 N River Rd Stuart Fence	Fence	Pass	Close INSPECTOR <i>AB</i>

9497

PATIO PAVERS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9497	DATE ISSUED:	JULY 2, 2010
SCOPE OF WORK:	PAVERS OVER CONCRETE PATIO		
CONDITIONS :			
CONTRACTOR:	APEX PAVERS		
PARCEL CONTROL NUMBER:	133841-002-000-005000	SUBDIVISION	HIGH POINT - LOT 50
CONSTRUCTION ADDRESS:	10 MIDDLE RD		
OWNER NAME:	FERRARO		
QUALIFIER:	RYAN FIGMAN	CONTACT PHONE NUMBER:	419-5151

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point BUILDING PERMIT APPLICATION

Date: 6-9-10

Permit Number: 9497

OWNER/TITLEHOLDER NAME: Nicholas Ferraro Phone (Day) 283-5001 (Fax) _____

Job Site Address: 10 MIDDLE Rd City: Stuart State: FL Zip: 34996

Legal Description High Point, Lot 50 Parcel Control Number: 133841002000005000

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): Paints over concrete patio

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO X
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 5,750.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: APEX PAVERS INC Phone 772-419-5151 Fax: 772-419-5101

Street: 834 SE Lincoln Ave City: STUART State: FL Zip: 34994

State License Number: _____ OR: Municipality: _____ License Number: CPB 4701

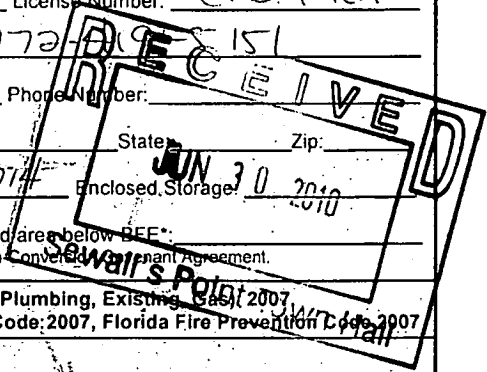
LOCAL CONTACT: Ryan Figan Phone Number: 772-419-5151

DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: 714 Enclosed Storage: 30

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below DEE: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-converted Permit Agreement.



CODE EDITIONS IN-EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing Bas) 2007
National-Electrical-Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code: 2007

NOTICES TO OWNERS AND CONTRACTORS:

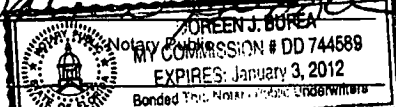
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF: FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Nicholas Ferraro

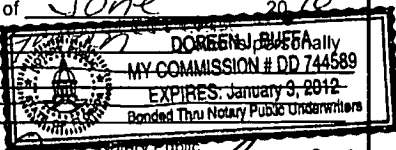
State of Florida, County of: MARTIN
This the 9 day of JUNE, 2010
by Nicholas Ferraro who is personally
known to me or produced 920 F 660621813730
as identification. [Signature]



My Commission Expires: _____

CONTRACTOR SIGNATURE: (required)
Ryan Figan

On State of Florida, County of: MARTIN
This the 9 day of JUNE, 2010
by Ryan Figan
known to me or produced _____
As identification. _____



My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

INSTR # 2207320
OR BK 02451 PG 0481
Pg 0481: (1pg)
RECORDED 05/03/2010 12:15:30 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
DEED DOC TAX 2,373.00
RECORDED BY L Bettineschi

This Document Prepared By and Return to:

Thomas A. Fogt, Esq.
700 Colorado Avenue
Stuart, FL 34994

Parcel ID Number: 13-38-41-002-000-00500.00000

Warranty Deed

This Indenture, Made this 26 day of April, 2010 A.D. Between
John G. Martin and Barbara Edwards Martin, husband and wife

of the County of Martin, State of Florida, grantors, and
Nicholas A. Ferraro, a single man

whose address is: 10 Middle Road, Stuart, FL 34996

of the County of Martin, State of Florida, grantee.

Witnesseth that the GRANTORS, for and in consideration of the sum of

-----TEN DOLLARS (\$10)----- DOLLARS,
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Martin State of Florida to wit:

Lot 50, High Point, according to the map or plat thereof, as recorded in Plat Book 3, Page 108, of the Public Records of Martin County, Florida.

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Printed Name: Thomas A. Fogt
Witness
[Signature] (Seal)
John G. Martin
P.O. Address: 10 Middle Road, Stuart, FL 34996

[Signature]
Printed Name: BARBARA EDWARDS MARTIN
Witness
[Signature] (Seal)
Barbara Edwards Martin
P.O. Address: 10 Middle Road, Stuart, FL 34996

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 26 day of April, 2010 by
John G. Martin and Barbara Edwards Martin, husband and wife

who are personally known to me or who have produced their Florida driver's license as identification.



[Signature]
Printed Name: Thomas A. Fogt
Notary Public
My Commission Expires:



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.12

Summary

print | | | | | Address
1 of 1

Parcel Info

- Summary**
- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-002-000-00500-0	10 MIDDLE RD	27737	Address	0	1

Summary

Property Location 10 MIDDLE RD
Tax District 2200 Sewall's Point
Account # 27737
Land Use 101 0100 Single Family
Neighborhood 120000
Acres 0.343

Legal Description
Property Information
 HIGH POINT LOT 50

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information

Owner Information
 MARTIN JOHN G & BARBARA EDWARDS

Mail Information

10 MIDDLE RD
 STUART FL 34996

Assessment Info

Front Ft. 0.00

Market Land Value \$231,300
Market Impr Value \$140,330
Market Total Value \$371,630

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale

Sale Amount \$410,000

Sale Date 6/20/2008
Book/Page 2335 2583

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/29/2010



NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 13 38 41 002 000 00500 0

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
High Point Lot 50, 10 Middle Rd, Stuart, FL 34996

GENERAL DESCRIPTION OF IMPROVEMENT: INSTALL TRAVERTINE OVER EXISTING PAVING

OWNER NAME: Nicholas Ferraro
ADDRESS: 10 MIDDLE RD, STUART, FL 34996
PHONE NUMBER: 772-283-5001 FAX NUMBER: _____

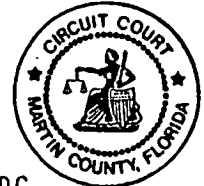
INTEREST IN PROPERTY: OWNER
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Apex Pavers Inc
ADDRESS: 834 SE Lincoln Ave Stuart, FL 34994
PHONE NUMBER: 772-419-5151 FAX NUMBER: 772-419-5101

SURETY COMPANY (IF ANY): _____ STATE OF FLORIDA
ADDRESS: _____ MARTIN COUNTY
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(a) 7., FLORIDA STATUTES: _____ DATE: 10-25-10 D.C.

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.
PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE OWNER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9 DAY OF June, 20 10

BY: Nicholas Ferraro AS Owner FOR _____
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

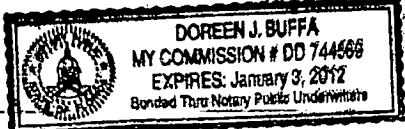
PERSONALLY KNOWN _____ OR PRODUCED IDENTIFICATION

TYPE OF IDENTIFICATION PRODUCED FDL
FL660621813730

Doreen Buffa
NOTARY SIGNATURE/SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

(Signature of Natural Person Signing Above)



INST # 2218314 DR BK 02461 PG 1722 RECD 06/25/2010 03:49:59 PM
Pg 1722 (1pg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-21-2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9472	Burkhardt	in-progress		
10:00	5 Emarita all Am roof		PASS	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9450	Schoppe			
	9 KINGSTON CT O/B	FINAL FENCE	PASS	Close INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9429	BOTWINIK			
	27 EMARITA T.C. BARGE	FINAL SEAWALL	PASS	Close INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9497	PERKINS	FINAL	PASS	Close
	10 N. BODLEY APEX PAVEN	Water - Rain PERKINS	PASS	Close INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	3 RIDGELAND	ADMIN VARIANCE		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9512	Butler			
	6 EMARITA FLYNNS	FINAL AC	PASS	Close INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

9582

SHUTTERS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9582	DATE ISSUED:	SEPTEMBER 24, 2010
SCOPE OF WORK:	SHUTTERS		
CONDITIONS :			
CONTRACTOR:	GULFSTREAM		
PARCEL CONTROL NUMBER:	133841-002-000-005000	SUBDIVISION	HIGH POINT - LOT 50
CONSTRUCTION ADDRESS:	10 MIDDLE RD		
OWNER NAME:	FERRARO		
QUALIFIER:	JOHN O'BRIEN	CONTACT PHONE NUMBER:	287-6476

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**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER/BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: 9582

Date: 9.22.10

OWNER/TITLEHOLDER NAME: Nick Ferrara Phone (Day) 772-283-5011 (Fax) _____

Job Site Address: 10 Middle Road City: Stuart State: Fl. Zip: 3496

Legal Description High Point Lot 50 Parcel Control Number: 13-38-41-002-000-00500-0

Owner Address (if different): Same City: _____ State: _____ Zip: _____

Scope of work (please be specific): Skullers

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 586.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Gulfstream Aluminum & Skutter Phone: 772-287-6476 Fax: 772-287-9740

Street: 3001 SE Gran Park Way City: Stuart State: Fl. Zip: 34967

State License Number: CRC 058017 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: John L. O'Brien Phone Number: 772-287-6476

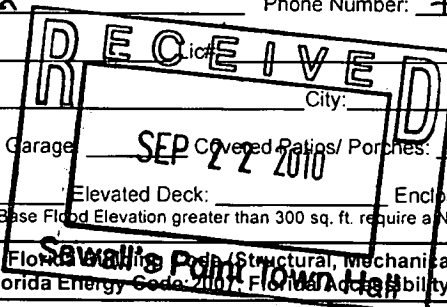
DESIGN PROFESSIONAL: N/A Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007 Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007



NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

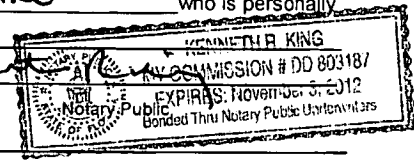
***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Nick Ferrara

State of Florida, County of: Martin
This the 21st day of Sept, 2010
by Nick Ferrara who is personally

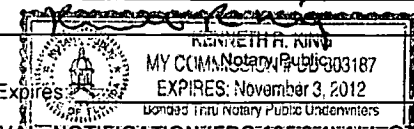
known to me or produced _____
as identification. Kenneth A. King
My Commission Expires: _____



CONTRACTOR SIGNATURE: (required)
John L. O'Brien

On State of Florida, County of: Martin
This the 21st day of Sept, 2010
by John L. O'Brien who is personally

known to me or produced _____
As identification. Kenneth A. King
My Commission Expires: _____



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com T1.12

Summary

print [navigation icons]

Owner
 10 of 23

Tabs

Summary

Print View

Land

Improvements

Assessments &
 Exemptions

Sales

Taxes →

Parcel Map →

Searches

Parcel ID

Owner

Address

Account #

Land Use

Legal Description

Neighborhood

Sales

Maps →

Functions

Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-002-000-00500-0	27737	10 MIDDLE RD, SEWALL'S POINT	\$352,910	08/21/2010

Owner Information	
Owner(Current)	FERRARO NICHOLAS A
Owner/Mail Address	10 MIDDLE RD STUART FL 34996
Transfer Date	04/26/2010
Document Number	2207320
Document Reference No.	2451 0481

Account #		Location/Description	
27737		Map Page No.	SP-06
Tax District	2200	Legal Description	HIGH POINT LOT 50
Parcel Address	10 MIDDLE RD, SEWALL'S POINT		
Acres	.3430		

Parcel Type	
Land Use	0100 Single Family
Neighborhood	120000 HighPoint - Sewall's Point

Assessment Information	
Market Land Value	\$250,000
Market Improvement Value	\$102,910



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

HURRICANE SHUTTER INSTALLATION CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

- 1 Copy Completed Permit application
- 2 Copies Shutter schedule
- 2 Copies Floor plan sketch showing the location and ID number of each shutter.
MUST MATCH SHUTTER SCHEDULE.
- 2 Copies Shutter engineering specifications complying with the
2007 FBC
- 1 Copy Prior to the final inspection; an impact installation affidavit must be submitted.

TOWN OF SEWALL'S POINT

SHUTTER SCHEDULE

I.D. NO.	APPROX OPENING SIZE (WxH)	APPROX SHUTTER WIDTH	APPROX HEIGHT	# OF STORM BARS REQ'D	ANCHOR SPACING	# OF WINDOW BARS EACH SIDE	HEADER REINF. REQ'D YES/NO	REMARKS
1	40 x 80	84	48	N/A		N/A	NO	SP 050 DM
2	36 x 80	84	44	N/A		N/A	NO	SP 050 DM

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

PROPOSAL



Page No. of Pages

Phone: (800) 244-4143
Fax: (772) 287-9740
www.gulfshutters.com

3001 S.E. Gran Park Way
Stuart, Florida 34997

Since 1979
Residential/Commercial
World Wide
License # CRC058017

Proposal Submitted to Nick Ferraro Phone 287-5001 Date 8/6/10
Street 10 Middle Rd. City Sewells Pt. State FL. Zip Code _____

DO NOT SIGN THIS CONTRACT UNTIL YOU READ ALL CONDITIONS OF THE AGREEMENT.

We hereby submit specifications and estimates for: _____

Furnish & Install

Two - openings of 050 Aluminum panels
Direct - Horizontal mount with lead
anchors and bolts

opening #1 - Front Entry 7 panels of 48" \$174.⁰⁰
opening #2 - Rear Porch Door 7 panels of 44" \$162.⁰⁰

permit and engineering 250.⁰⁰

TOTAL \$ 586.⁰⁰
DEPOSIT 50% - 293.⁰⁰
BALANCE ON COMPLETION 293.⁰⁰

ONE YEAR WARRANTY MATERIAL AND LABOR

It is understood that there are no verbal agreements and all items discussed are covered by this written contract. This is a proposal until signed by an officer of the corporation at which time it becomes an executed contract. Acceptance by owner must be within 30 days of proposal date. Buyer may cancel this contract within 3 working days after signing. No changes in measurements will be allowed except at prices mutually agreed upon, at the time these changes are made. Any physical or verbal changes after signing must be approved in writing by both parties. All agreements are contingent upon strikes, lockouts, accidents, acts of God, weather, fire, carrier delays, delay or failure to receive raw material deliveries, or by other causes, whether of like or different nature beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance. All material is property of Gulfstream until final payment and can be removed if not paid.

Electric- Buyer agrees that any necessary electrical connections will be made at the closest source of power. Any changes or variations will be an additional charge.

Interest- Buyer agrees to pay 1 1/2 % per month interest on any unpaid balances.

Costs of Collection - Buyer agrees to be responsible for seller's attorney's fees (both trial and appeal) and all other costs of collection in the event full payment as outlined herein is not made within 10 days of completion of the work outlined herein.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and hereby accepted. You are authorized to do the work as specified. Cancellation Fee 20% of contract. Payment will be made as outlined above.

SIGNATURE [Signature]

SIGNATURE [Signature]

DATE OF ACCEPTANCE: 8/25/10

AGENT _____

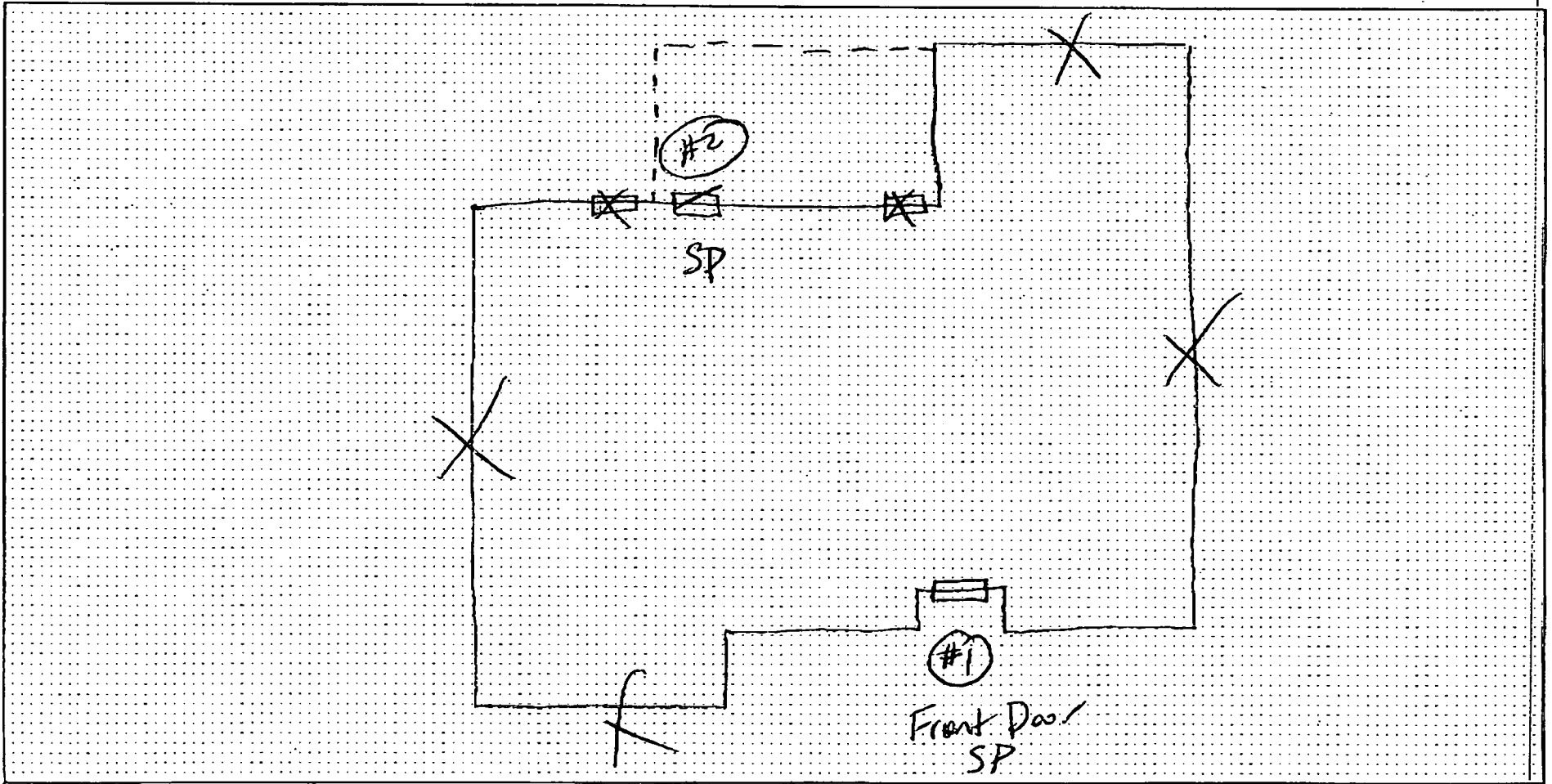


Do It Once. Do It Right.
Since 1979

3001 S.E. Gran Park Way, Stuart, Florida 34997
(772) 287-6476 • (800) 244-4143
FAX (772) 287-9740
E-Mail: jobrien@gulfshutters.com
www.gulfshutters.com
Lic. #MC00231, SL 1211, PB# U-17051, CRC58017

Key	
Storm Panels - SP	Rollups - RU
Accordions - AC	Windows/Doors - WD
Bahamas - BA	Retractable Awnings - RA
Colonials - CO	Ultra Lattice - UL

LAYOUT SHEET



Special Instructions: _____

Signature _____ Date _____ Salesperson [Signature] Date 8/6/10
Gulfstream Aluminum and Shutter Corp.

HUG-06-2010(FRI) 10:49 GULFSTREAM ALUMINUM (FRX) 772 287 9740 P. 003/004



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

www.buildingcodeonline.com

NOTICE OF ACCEPTANCE (NOA)

Eastern Metal Supply, Inc.
4268 Westroads Dr.
West Palm Beach, Florida 33407

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: 0.050" Solid Bertha Aluminum Storm Panels Shutter

APPROVAL DOCUMENT: Drawing No. 05-078, titled "0.050" Bertha Aluminum Storm Panel", sheets 1 through 15 of 15, and 1A of 15, prepared by Tilteco, Inc., dated 04/28/2005, last revision #1 dated 04/28/2005, signed and sealed by Walter A. Tillit Jr., P.E. on 09/15/2005, bearing Miami-Dade County Product Control renewal stamp with the Notice of Acceptance number and expiration date by Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 05-0926.03 and consists of this page 1, evidence submitted pages E-1, E-2, E-3, & E-4 as well as approval document mentioned above.

The submitted documentation was reviewed by Helmy A. Makar, P.E., M.S.



Helmy A. Makar
07/31/2008

NOA No: 08-0623-06
Expiration Date: 08/07/2013
Approval Date: 07/31/2008
Page 1

Eastern Metal Supply, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

1. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #96-1203.08

A. DRAWINGS

1. *Drawing Number 96-331, Eastern Metal Supply, Inc., 0.050" Bertha Storm Panel, sheets 1 through 8 of 8, prepared by Tilteco, Inc., revision 2, dated 07/15/97 signed and sealed by Walter A. Tillit Jr., P.E.*

B. TESTS

1. *Test report on Large Missile Impact Test, Cyclic Wind Pressure Test and Uniform Static Air Pressure Test on 0.050" aluminum storm panels, prepared by American Test Lab of South Florida, Test Report No. ATL #1022.01-96 dated 11/08/96, signed and sealed by William R. Mehner, P.E.*

C. CALCULATIONS

1. *Comparative Analysis and Anchor Analysis, dated 10/21/96, pages 1 through 15, prepared by Tilteco, Inc., signed and sealed by Walter A. Tillit Jr., P.E.*
2. *Calculations for revised anchor schedule, dated 05/02/97, pages 1 through 33, prepared by Tilteco, Inc., signed and sealed by Walter A. Tillit Jr., P.E.*

D. MATERIAL CERTIFICATIONS

1. *Mill Certified Inspection Report of coils, dated 01/23/96, for Aluminum Alloy 5052-H32 by Barmet Aluminum Corporation with chemical composition and physical properties.*
2. *Certified Tensile Test Report by Certified Testing Laboratories Report No. CTL #846B dated 10/31/96, for Aluminum Alloy, signed and sealed by Ramesh Patel, P.E.*

2. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #98-0817.16

A. DRAWINGS

1. *Drawing No. 98-172, titled "0.050" Bertha Storm Panel", prepared by Tilteco, Inc., dated July 7, 1998, last revision #1 dated July 7, 1998, sheets 1 through 8 of 8, signed and sealed by Walter A. Tillit Jr., P.E.*

B. TESTS

1. *None.*

C. CALCULATIONS

1. *None.*

D. MATERIAL CERTIFICATIONS

1. *Mill Certified Test Report issued by Nichols Aluminum dated 05/28/98, with chemical composition and mechanical properties of the 3004-H34 Aluminum Alloy panel.*


Helmy A. Makar, P.E., M.S.

Product Control Examiner
NOA No. 08-0623.06
Expiration Date: 08/07/2013
Approval Date: 07/31/2008

Eastern Metal Supply, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

3. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #00-0602.04

A. DRAWINGS

1. *None.*

B. TESTS

1. *None.*

C. CALCULATIONS

1. *None.*

D. MATERIAL CERTIFICATIONS

1. *None.*

4. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #01-0516.06

A. DRAWINGS

1. *Drawing No. 01-058, titled "0.050" Solid Bertha Aluminum Storm Panel", sheets 1 through 15 of 15, prepared by Tilteco, Inc., dated August 27, 2001, signed and sealed by Walter A. Tillit Jr., P.E.*

B. TESTS

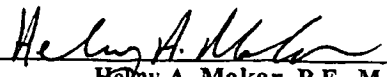
1. *Test reports on 1) Uniform Static Air Pressure Test, per SFBC PA 202-94
2) Large Missile Impact Test per SFBC, PA 201-94
3) Cyclic Wind Pressure Loading per SFBC, PA 203-94
along with marked-up drawings and installation diagram of 0.050" Solid Aluminum Storm Panels Shutter, prepared by ATL of South Florida, Test Report No. 0221.01-01, dated 05/02/01, signed and sealed by Henry Hattem, P.E.*
2. *Addendum to ATL of South Florida, Test Report No. 0221.01-01, dated 10/12/01, signed and sealed by Henry Hattem, P.E.*
3. *Addendum to ATL of South Florida, Test Report No. 0221.01-01, dated 02/04/02, signed and sealed by Henry Hattem, P.E.*

C. CALCULATIONS

1. *Anchor Analysis, dated 09/10/01, pages 1 through 53, prepared by Tilteco, Inc., signed and sealed by Walter A. Tillit Jr., P.E.*

D. MATERIAL CERTIFICATIONS

1. *Mill Certified Inspection Report of coils, dated 04/24/01, for Aluminum Alloy 3004 -H34 by NA Nichols Aluminum with chemical composition and physical properties.*
2. *Certified Tensile Test Report by QC Metallurgical, Inc., Report No. 1CM-384, dated 03/26/01, signed and sealed by frank Grate, P.E.*



Henry A. Makar, P.E., M.S.

Product Control Examiner

NOA No. 08-0623.06

Expiration Date: 08/07/2013

Approval Date: 07/31/2008

Eastern Metal Supply, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

5. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 03-0707.02

A. DRAWINGS

1. *Drawing No. 03-141, titled "0.050" Solid Bertha Aluminum Storm Panel", sheets 1 through 15 of 15, prepared by Tilteco, Inc., dated July 02, 2003, last revision #1 dated July 02, 2003, signed and sealed by Walter A. Tillit Jr., P.E.*

B. TESTS

1. *None.*

C. CALCULATIONS

1. *None.*

D. MATERIAL CERTIFICATIONS

1. *None.*

E. OTHERS

1. *Letter from Tilteco, Inc., dated July 03, 2003, signed and sealed by Walter A. Tillit Jr., P.E., stating that the only change from the previous approved drawing # 01-058 are the general notes #1 & #11 to reference the Florida Building Code and the ASCE 7-98*

6. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 05-0926.03

A. DRAWINGS

1. *Drawing No. 05-073, titled "0.030" Thick Galvanized Bertha Steel Storm Panel", sheets 1 through 9 of 9, and 1A of 9, prepared by Tilteco, Inc., dated 04/25/2005, last revision #1 dated 04/25/2005 signed and sealed by Walter A. Tillit Jr., P.E. on 09/15/2005*

B. TESTS

1. *Test report on Large Missile Impact Test and Cyclic Wind Pressure Test of Galvanized Steel Storm Panels, prepared by American Test Lab of South Florida, Report No. ATLSF 0616.01-05, dated September 15, 2005, signed and sealed by William R. Mehner, P.E.*

C. CALCULATIONS

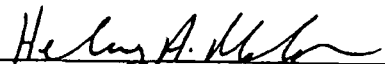
1. *Storm panel shutter Calculations, sheets 1 through 91 by Tilteco, Inc., signed and sealed by Walter A. Tillit Jr., P.E. on 09/13/2005.*

D. QUALITY ASSURANCE

1. *By Miami-Dade County Building Code Compliance Office.*

E. MATERIAL CERTIFICATIONS

1. *Tensile Test Report from QC Metallurgical, Inc., Job No. 51M-926, dated September 20, 2005, tested per ASTM E8-93, signed and sealed by Frank Grate, P.E.*



Helmy A. Makar, P.E., M.S.

Product Control Examiner

NOA No. 08-0623.06

Expiration Date: 08/07/2013

Approval Date: 07/31/2008

Eastern Metal Supply, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

7. NEW EVIDENCE SUBMITTED

A. DRAWINGS

1. None.

B. TESTS

1. None.

C. CALCULATIONS

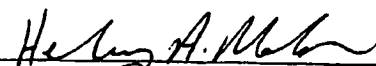
1. None.

D. QUALITY ASSURANCE

1. By Miami-Dade County Building Code Compliance Office.

E. MATERIAL CERTIFICATIONS

1. None.



Henry A. Makar, P.E., M.S.

Product Control Examiner

NOA No. 08-0623.06

Expiration Date: 08/07/2013

Approval Date: 07/31/2008

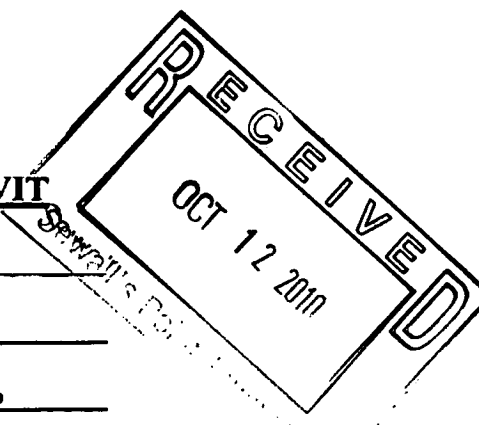
220-4765



BD-0017

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mail*

IMPACT PROTECTION INSTALLATION AFFIDAVIT



BLDG. PERMIT NUMBER: 9582

JOB SITE ADDRESS: 10 MIDDLE CO.

CONTRACTOR/OWNER: Gulfstream Aluminum & Shutter Corp. / FRASANO

PHONE NUMBER: 287-8476

QUALIFIER NAME: John L. O'Brien

LICENSE NUMBER: CRC 058017

I John L. O'Brien, do hereby affirm:
Owner or Contractor - Please print name

The following impact protection was used as per the 2004 FBC 1609.1.4 for all exterior glazed openings at the above referenced job site.

- Impact Resistant Glass
- Approved Shutters

That I personally observed the complete installation of all hurricane panel/shutters on the above-referenced project and further affirm that they are fitted properly for the openings they are intended to protect.

John L. O'Brien

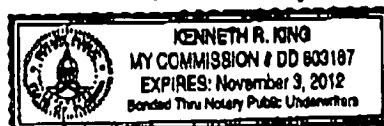
Signature of Owner or Contractor (License Holder only)

Date: 10-12-10
Sworn to and subscribed before me this
12th Day of October 20 10

By Kenneth R. King
Kenneth R. King
Notary Public, State of Florida

Personally known to me
Produced ID _____
Type _____

Notary Seal/Stamp



Martin County Building Department will inspect the structural attachment of the panel rails and/or the shutter assembly attachment to the building, per the manufacturer's product approvals, ASCE 7-02 and the 2004 Florida Building code at final inspection.

GENERAL NOTES:

1. STORM PANEL SHOWN ON THIS PRODUCT APPROVAL DOCUMENT (P.A.D.) HAS BEEN VERIFIED FOR COMPLIANCE IN ACCORDANCE WITH THE 2004 EDITION OF THE FLORIDA BUILDING CODE. DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 1620 OF THE ABOVE MENTIONED CODE, FOR A BASIC WIND SPEED AS REQUIRED BY THE JURISDICTION WHERE STORM PANEL WILL BE INSTALLED, AND FOR A DIRECTIONALITY FACTOR $K_d=0.85$, IN ACCORDANCE WITH ASCE 7-98 STANDARD. IN ORDER TO VERIFY THAT COMPONENTS AND ANCHORS ON THIS P.A.D. AS TESTED WERE NOT OVER STRESSED, A 33% INCREASE IN ALLOWABLE STRESS FOR WIND LOADS WAS ~~NOT~~ USED IN THEIR ANALYSIS. A DURATION FACTOR $C_D=1.60$ WAS USED FOR VERIFICATION OF FASTENERS IN WOOD.

STORM PANEL'S ADEQUACY FOR IMPACT AND FATIGUE RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH SECTION 1609.1.4 OF THE ABOVE MENTIONED CODE AS PER ATL REPORTS # 1022.01-01, # 0221.01 AND # 0616.02-05, AS PROTOCOLS TAS-201, TAS-202 AND TAS-203.

2. ALL ALUMINUM SHEET METAL PANELS SHALL HAVE 5052-H32 OR 3004-H34 ALLOY.

3. ALL ALUMINUM EXTRUSIONS SHALL BE ALUMINUM ASSOCIATION 6063-T6 ALLOY & TEMPER UNLESS OTHERWISE NOTED.

4. ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 AISI SERIES OR CORROSION RESISTANT COATED CARBON STEEL AS PER DIN 50018 W/ 50 ksi YIELD STRENGTH AND 90 ksi TENSILE STRENGTH.

5. BOLTS TO BE ASTM A-307 GALVANIZED STEEL OR AISI 304 SERIES STAINLESS STEEL, WITH 35 ksi MINIMUM YIELD STRENGTH.

6. ANCHORS TO WALL SHALL BE AS FOLLOWS: (UNLESS OTHERWISE NOTED)

(A) TO EXISTING POURED CONCRETE:

- 1/4" # TAPCON ANCHORS AS MANUFACTURED BY I.T.W. BUILDEX. (REGULAR OR 410 S.S.)
- 1/4" # CRETE-FLEX SS4 ANCHORS AS MANUFACTURED BY ELCO TEXTRON.
- 1/4" # CF TAP-GRIP ANCHORS (BERTHA STUD-COM), AS MANUFACTURED BY TRU-FAST CORPORATION.
- 1/4" # ZAMAC NAILIN ANCHORS AS MANUFACTURED BY POWER FASTENERS, INC.
- 1/4" # x 7/8" CALK-IN ANCHORS OR ELCO male & female "PANELMATE" AS MANUFACTURED BY POWER FASTENERS, INC. AND ELCO TEXTRON, RESPECTIVELY.
- 1/4" # x 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.

NOTES:

A.1) MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON ANCHORS OR CRETE-FLEX SS4 IS 1 3/4"; FOR ZAMAC NAILIN ANCHORS IS 1 3/8"; FOR ELCO PANELMATE ANCHORS IS 1 3/4"; AND FOR CF TAP-GRIP ANCHORS IS 1 1/4".

A.2) 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

A.3) MINIMUM EMBEDMENT OF 1/4" # x 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE 7/8" INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

A.4) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, OR PAVERS BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS, ANCHORAGE SHALL BE AS INDICATED ON NOTES A.1) & A.2) ABOVE.

(B) TO EXISTING CONCRETE BLOCK WALL:

- 1/4" # TAPCON ANCHORS AS MANUFACTURED BY I.T.W. BUILDEX. (REGULAR OR 410 S.S.)
- 1/4" # CRETE-FLEX SS4 ANCHORS AS MANUFACTURED BY ELCO TEXTRON.
- 1/4" # CF TAP-GRIP ANCHORS (BERTHA STUD-COM), AS MANUFACTURED BY TRU-FAST CORPORATION.
- 1/4" # ZAMAC NAILIN ANCHORS AS MANUFACTURED BY POWER FASTENERS, INC.
- 1/4" # x 7/8" CALK-IN ANCHORS OR ELCO male & female "PANELMATE" AS MANUFACTURED BY POWER FASTENERS, INC. AND ELCO TEXTRON, RESPECTIVELY.
- 1/4" # x 3/4" ALL POINTS SOLID-SET ANCHORS AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.

NOTES:

B.1) MINIMUM EMBEDMENT OF TAPCON, ELCO PANELMATE, CF TAP-GRIP AND CRETE-FLEX SS4 ANCHORS INTO CONCRETE BLOCK UNIT SHALL BE 1 1/4"; 1 3/8" FOR ZAMAC NAILIN ANCHORS.

B.2) 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE CONCRETE BLOCK UNIT. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

B.3) MINIMUM EMBEDMENT OF 1/4" # x 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE 7/8" INTO THE CONCRETE BLOCK. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.

B.4) IN CASE THAT PRECAST STONE OR PRECAST CONCRETE PANELS BE FOUND ON THE EXISTING WALL, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES IN B.1) AND B.2) ABOVE.

(C) ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.

7. PANELS MAY ALSO BE INSTALLED HORIZONTALLY FOLLOWING INSTALLATION DETAILS SHOWN ON SECTIONS 1 THRU 16 (SHEET 3 & 7 OF 13) EXCEPT THAT HEADERS 2, 3 & 4 SHALL NOT BE USED.

8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHUTTER IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE. THIS SHUTTER SHALL ONLY BE ATTACHED TO CONCRETE, BLOCK OR WOOD FRAME BUILDINGS.

9. THE INSTALLATION CONTRACTOR IS TO SEAL/CAULK ALL SHUTTER COMPONENT EDGES WHICH REMAIN IN CONTINUOUS CONTACT WITH THE BUILDING TO PREVENT WIND/RAIN INTRUSION. CAULK AND SEAL SHUTTER TRACKS ALL AROUND FULL LENGTH.

10. STORM PANEL INSTALLATION SHALL COMPLY WITH SPECS INDICATED IN THIS DRAWING PLUS ANY BUILDING AND ZONING REGULATIONS PROVIDED BY THE JURISDICTION WHERE PERMIT IS APPLIED TO.

11. (a) THIS PRODUCT APPROVAL DOCUMENT (P.A.D.) PREPARED BY THIS ENGINEER IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PROJECT; I.E. WHERE THE SITE CONDITIONS DEVIATE FROM THE P.A.D.

(b) CONTRACTOR TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION INCLUDING LIFE SAFETY OF THIS PRODUCT BASED ON THIS P.A.D. PROVIDED HE/SHE DOES NOT DEVIATE FROM THE CONDITIONS DETAILED ON THIS DOCUMENT. CONSTRUCTION SAFETY AT SITE IS THE CONTRACTOR'S RESPONSIBILITY.

(c) THIS PRODUCT APPROVAL DOCUMENT WILL BE CONSIDERED INVALID IF MODIFIED.

(d) SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT WHICH WILL BECOME THE ENGINEER OF RECORD (E.O.R.) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE P.A.D. ENGINEER OF RECORD, ACTING AS A DELEGATED ENGINEER TO THE P.A.D. ENGINEER, SHALL SUBMIT TO THIS LATTER THE SITE SPECIFIC DRAWINGS FOR REVIEW.


(e) THIS P.A.D. SHALL BEAR THE DATE AND ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT.

12. SHUTTER MANUFACTURER'S LABEL SHALL BE PLACED ON A READILY AND VISIBLE LOCATION AT PANEL. ONE LABEL SHALL BE PLACED FOR EVERY OPENING. LABEL SHALL READ AS FOLLOWS:
EASTERN METAL SUPPLY, INC.
WEST PALM BEACH, FL.
MIAMI-DADE COUNTY PRODUCT CONTROL APPROVED.

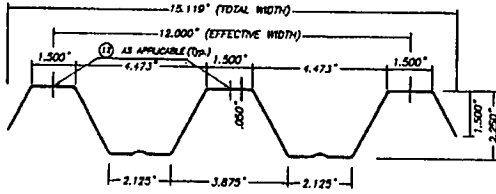
PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 08-0623.06
Expiration Date 08/07/2013
By [Signature]
Miami Dade Product Control
Division

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 05-0924.08
Expiration Date 08/07/2008
By [Signature]
Miami Dade Product Control
Division

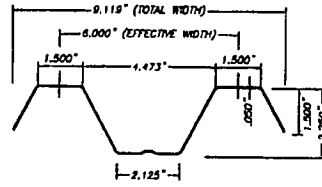
F.B.C.(High Velocity Hurricane Zone)

 TILECO INC. TILFIT TESTING & ENGINEERING COMPANY 6335 W. 20th St. Ste. 200 WICHITA KANSAS, KS 67214 Phone: (316)771-1532 Fax: (316)771-1531 EB-0006719 WALTER A. TILFIT, JR., P. E. FLORIDA Lic. # 44167	0.050" BERTHA ALUMINUM STORM PANEL	L.C. DRAWN BY:																								
	EASTERN METAL SUPPLY, INC. 1268 WESTROADS DR. WEST PALM BEACH, FL 33407	4/28/03 DATE																								
<table border="1"> <thead> <tr> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>REV. BY</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>OLD 03-141</td> <td>4/28/03</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV. NO.	DESCRIPTION	DATE	REV. BY	DESCRIPTION	DATE	1	OLD 03-141	4/28/03				2						3						05-078 DRAWING No	SHEET 1 OF 13
REV. NO.	DESCRIPTION	DATE	REV. BY	DESCRIPTION	DATE																					
1	OLD 03-141	4/28/03																								
2																										
3																										

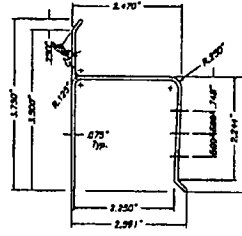
SEP 15 2005



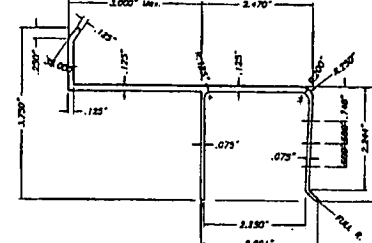
11 ALUMINUM PANEL
SCALE: 3/8" = 1"



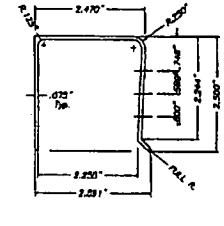
11A ALUMINUM HALF-PANEL
SCALE: 1/4" = 1"



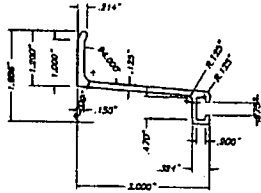
2 'h' HEADER
SCALE: 3/8" = 1"



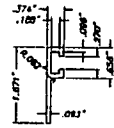
3 3" Max. 'U' BUILD OUT
SCALE: 3/8" = 1"



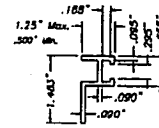
4 'U' HEADER
SCALE: 3/8" = 1"



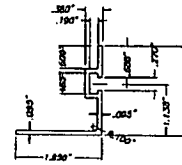
5 3" ANGLE BUILD OUT BRACKET
SCALE: 3/8" = 1"



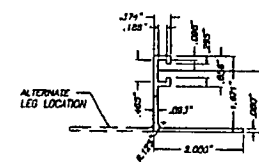
6 'F' TRACK
SCALE: 3/8" = 1"



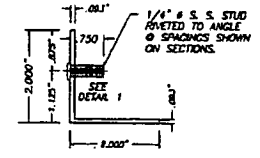
6A 1 1/4" MAX. R.O. 'F' TRACK
SCALE: 3/8" = 1"



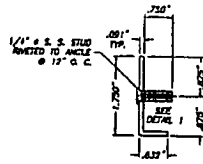
7 REVERSED 'F' ANGLE TRACK
SCALE: 3/8" = 1"



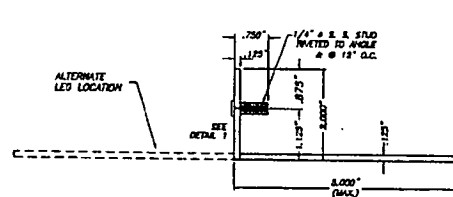
8 'F' TRACK ANGLE
SCALE: 3/8" = 1"



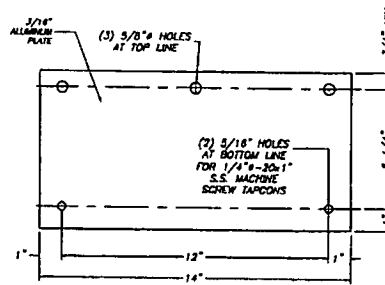
9 STUDDED ANGLE
6063-T5 ALUM. ALLOY
SCALE: 3/8" = 1"



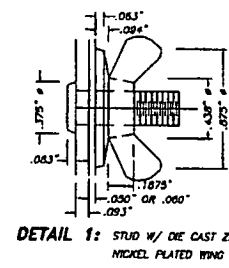
9A MINI WALL 1.75" x 0.632" ANGLE WITH STUD
SCALE: 1/2" = 1"



10 2" x 5" (MAX.) x 1/8" ANGLE WITH STUD
SCALE: 3/8" = 1"

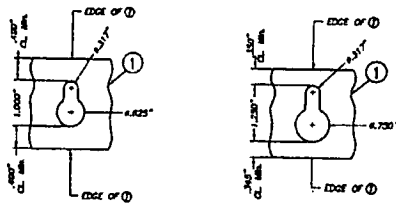


11 3/16" x 7" x 14" LONG WALL PLATE
SCALE: 3/16" = 1"

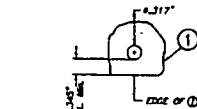


DETAIL 1: STUD W/ DIE CAST ZINC NICKEL PLATED WING NUT

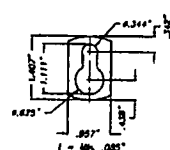
PRODUCT REVIEWED
as complying with the Florida
Building Code
Acceptance No **08-0625.06**
Expiration Date **08/07/2013**
By *Heather H. Miller*
Miami Dade Product Control
Division



OPTION 1
OPTION 2
12 KEY HOLE AT PANEL



12A ROUND HOLE AT PANEL
(OPTION TO 12)



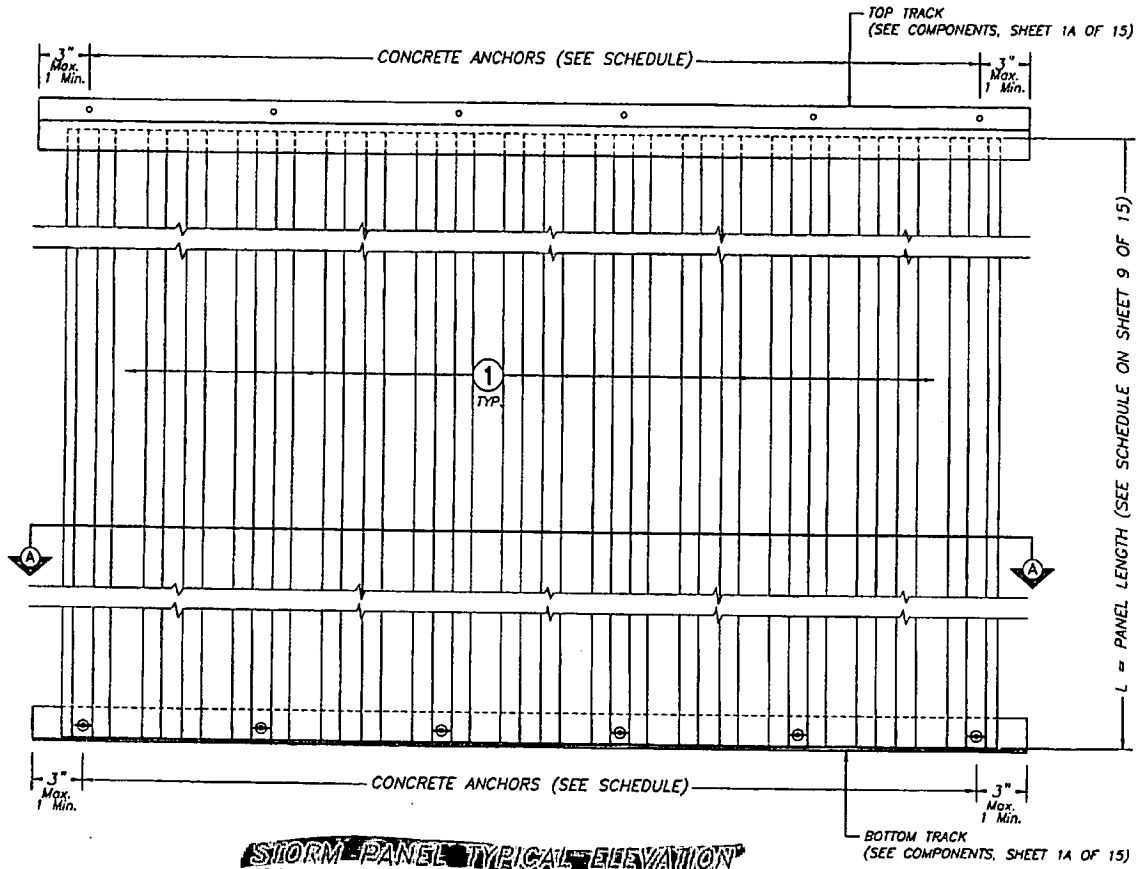
13 KEY HOLE WASHER
3105-H184 ALUM. ALLOY
SCALE: 3/8" = 1"

COMPONENTS

SEP 15 2005

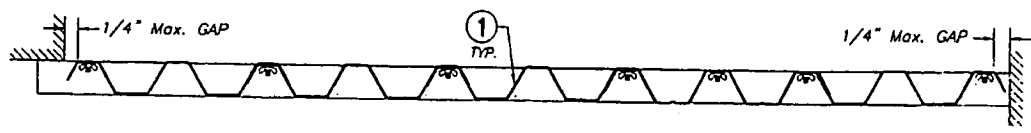
<p>TILECO inc. TILT TESTING & ENGINEERING COMPANY 4333 N.W. 35th St., Ft. Lauderdale, FL 33309 Phone: (954) 571-1830 Fax: (954) 571-1831 FD-0008710 WALTER A. TRUITT, P. E. FLORIDA LIC. # 44167</p>		0.050" BERTHA ALUMINUM STORM PANEL		L.G. DRAWN BY:	
		EASTERN METAL SUPPLY, INC. 4288 WESTROADS DR. WEST PALM BEACH, FL 33407		1/28/05 DATE	
REV. NO.	REVISION	DATE	REV. NO.	REVISION	DATE
1	OLD 03-141	1/25/05	2	-	-
2	-	-	4	-	-
					05-078 DRAWING No
					SHEET 1A OF 15

F.B.C.(High Velocity Hurricane Zone)



STORM PANEL TYPICAL ELEVATION

SCALE: 1/8" = 1"



SECTION A-A

SCALE: 1/8" = 1"

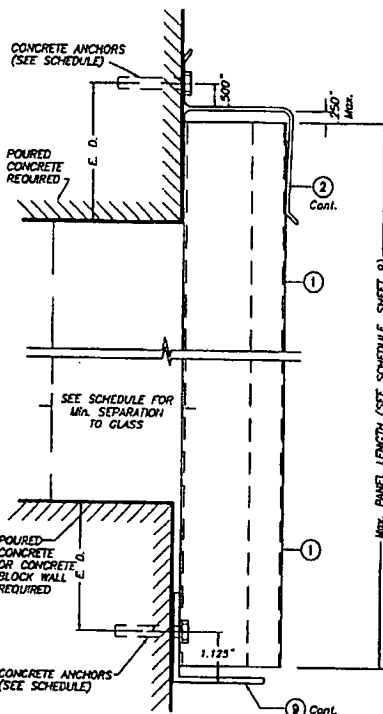
PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 08-0623-06
Expiration Date 08/07/2013
By *Walter A. Tillit*
Miami Dade Product Control
Division

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 05-0926-03
Expiration Date 08/07/2008
By *Walter A. Tillit*
Miami Dade Product Control
Division

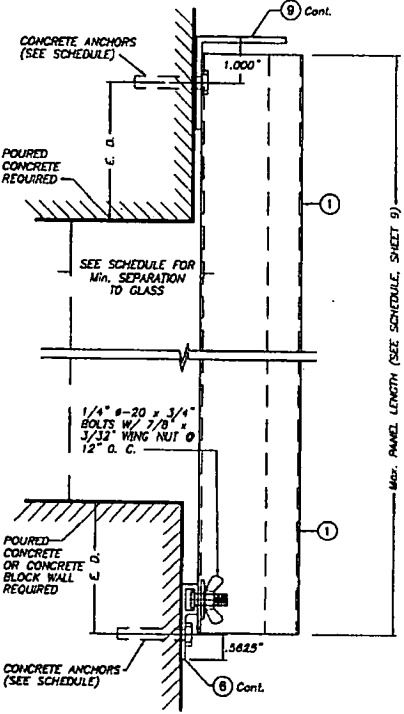
F.B.C. (High Velocity Hurricane Zone)

<p>TILECO INC. TILLIT TESTING & ENGINEERING COMPANY 4535 N.E. 2ND ST., SUITE 202, WICKHAM GARDENS, FL 33186 Phone: (321) 477-1500, Fax: (321) 477-1821 EO-12812-110</p>		0.050" BERTHA ALUMINUM STORM PANEL		L.C. DRAWN BY:	
		EASTERN METAL SUPPLY, INC.		1/28/05 DATE	
<p>4288 WESTROADS DR. WEST PALM BEACH, FL 33407</p> <p>WALTER A. TILLIT, Jr., P. E. FLORIDA Lic. # 44187</p>		<p>05-078 DRAWING No</p>		<p>05-078 DRAWING No</p>	
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
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2	-	-	4	-	-

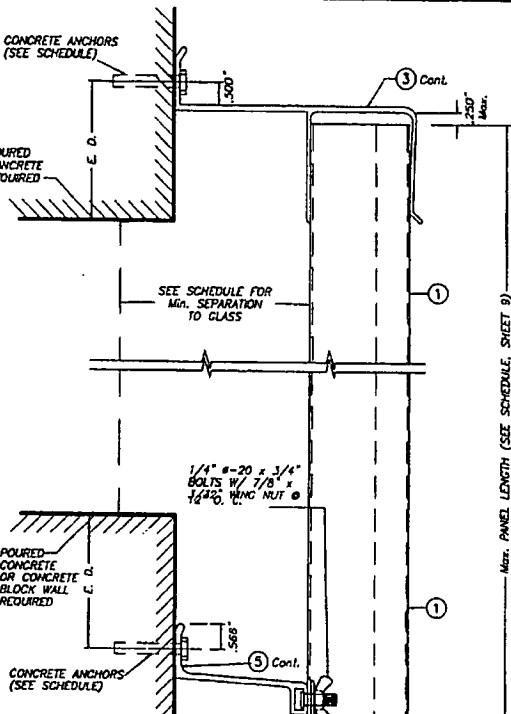
SEP-1-5-2005



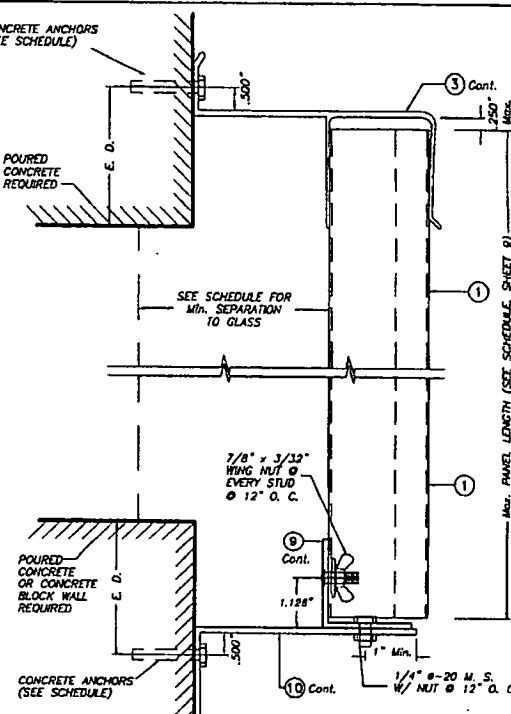
SECTION 1 ANCHOR



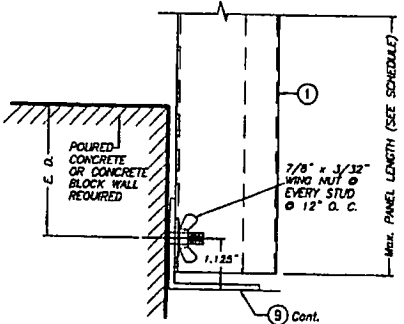
SECTION 2 WALL MOUNTING INSTALLATION
SCALE: 3/8" = 1"



SECTION 3 BUILD OUT INSTALLATION
SCALE: 3/8" = 1"



SECTION 4 BUILD OUT INSTALLATION
SCALE: 3/8" = 1"



SECTION 1 WALL MOUNTING INSTALLATION
SCALE: 3/8" = 1"

NOTE: DETAIL OF SECTION 1 STUD VALID ALSO FOR WALL MOUNTING INSTALLATION - SECTION 2 (TOP)

E. D. = EDGE DISTANCE
(SEE SCHEDULE ON SHEETS 10 & 11 OF 13)

NOTE FOR COMBINATION OF SECTIONS:
WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

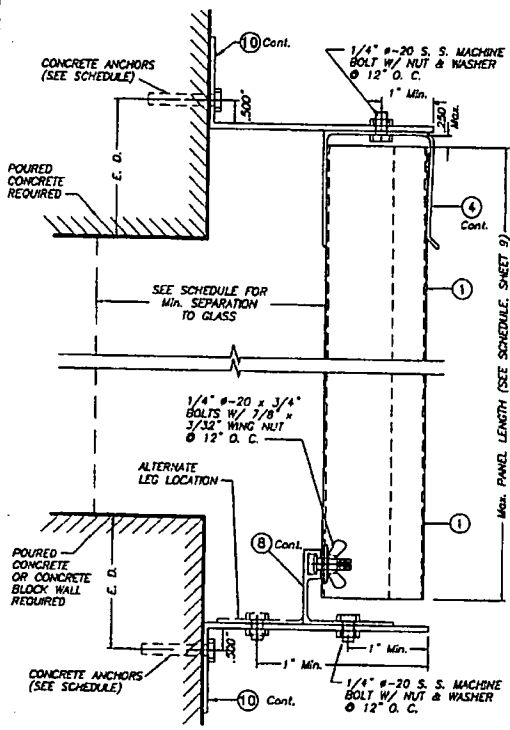
PRODUCT REVISIONS
as complying with the Florida Building Code
Acceptance No. 08-0623-06
Expiration Date 08/07/2013
By: *Walter A. Tullit*
Miami Building Product Control Division

PRODUCT REVISED
as complying with the Florida Building Code
Acceptance No. 05-0926-03
Expiration Date 08/07/2008
By: *Walter A. Tullit*
Miami Building Product Control Division

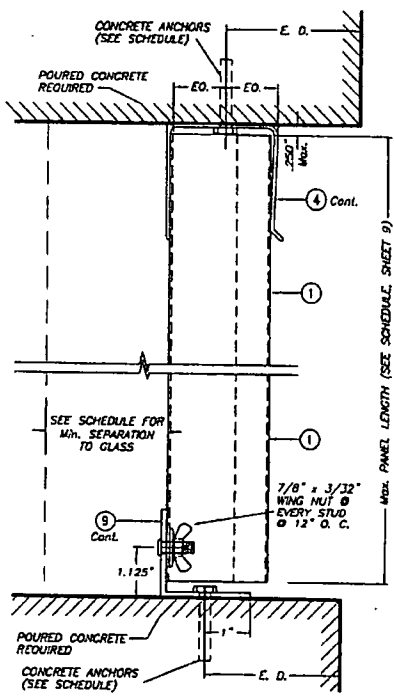
F.B.C. (High Velocity Hurricane Zone)

<p>TILECO INC. TULLIT TESTING & ENGINEERING COMPANY 4288 WESTROADS DR. WEST PALM BEACH, FL 33407 Phone: (561) 711-1310, Fax: (561) 711-1311 EB-0006719 WALTER A. TULLIT, P. E. FLORIDA LIC. # 41167</p>		0.050" BERTHA ALUMINUM STORM PANEL		LG.
		EASTERN METAL SUPPLY, INC.		DRAWN BY:
		4/28/05		DATE
		05-078		DRAWING No.
		SHEET 3 OF 13		

SEP 15 2005

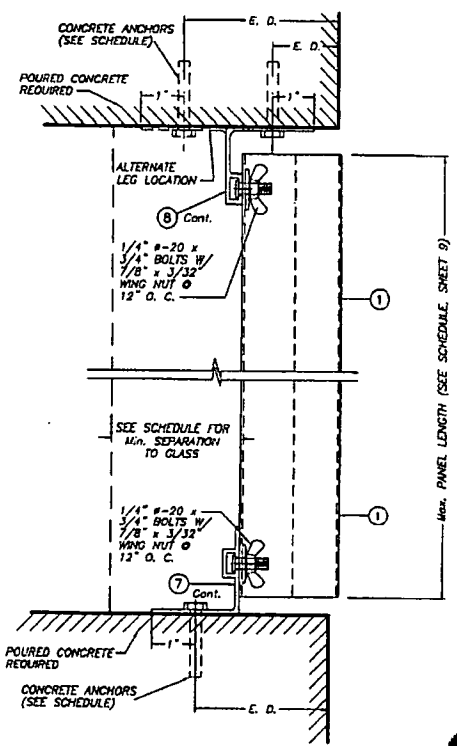


BUILD OUT INSTALLATION
- SECTION 5 SCALE: 3/8" = 1"



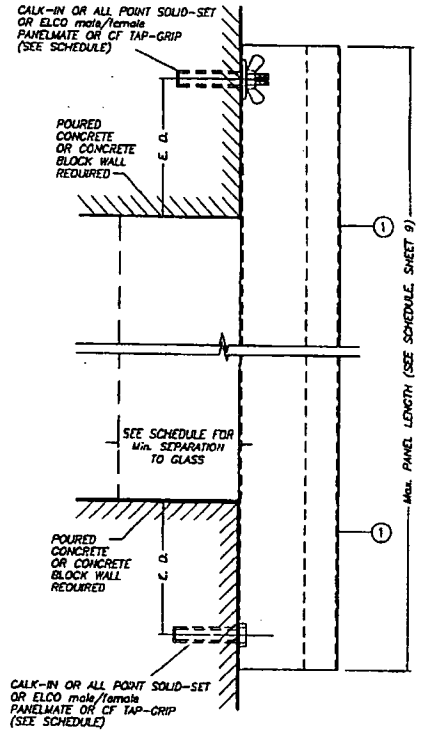
CEILING & FLOOR MOUNTING
INSTALLATION - SECTION 6

SCALE: 3/8" = 1"



CEILING & FLOOR MOUNTING
INSTALLATION - SECTION 7

SCALE: 3/8" = 1"



WALL MOUNTING INSTALLATION - SECTION 8

SCALE: 3/8" = 1"

E. D. = EDGE DISTANCE
 (SEE SCHEDULE ON SHEETS 10 & 11 OF 15)

NOTE FOR COMBINATION OF SECTIONS:
 WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

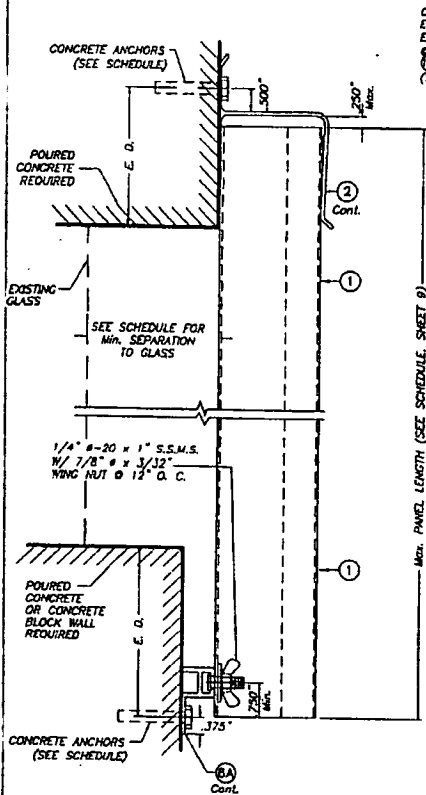
PRODUCT REVISED
 as complying with the Florida
 Building Code
 Building Code
 Acceptance No. 08-0623.06
 Expiration Date 08/27/2013
 By: *Walter A. Tillit*
 Florida Product Control
 Division

PRODUCT REVISED
 as complying with the Florida
 Building Code
 Acceptance No. 05-9926.03
 Expiration Date 08/27/2008
 By: *Walter A. Tillit*
 Florida Product Control
 Division

F.B.C. (High Velocity Hurricane Zone)

SEP-16-2005

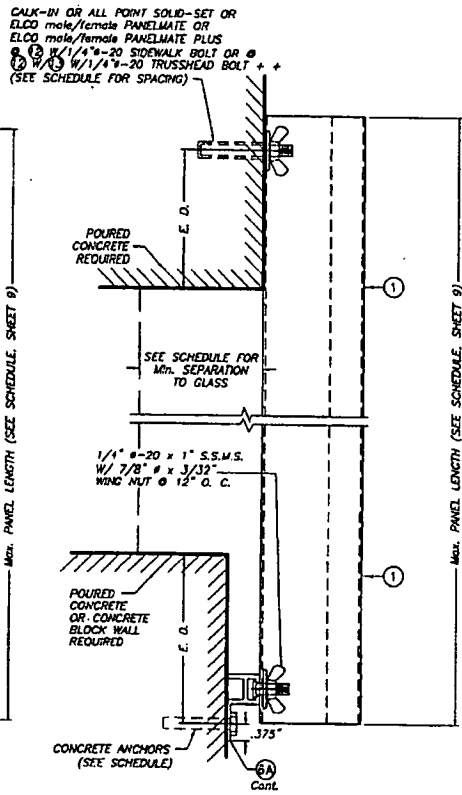
<p>TILLIT TESTING & ENGINEERING COMPANY 6533 N.W. 36th St., Ft. Lauderdale, FL 33309 Phone: (754) 971-1330 Fax: (754) 971-1131 EB-0008719</p>		0.050" BERTHA ALUMINUM STORM PANEL		L.G. DRAWN BY
		EASTERN METAL SUPPLY, INC.		4/28/03 DATE
1268 WESTROADS DR. WEST PALM BEACH, FL 33407		05-078 DRAWING No		SHEET 4 OF 15
REV. NO.	DESCRIPTION	DATE	BY	
1	OLD 03-141	4/28/03		



WALL MOUNTING INSTALLATION

SECTION 9

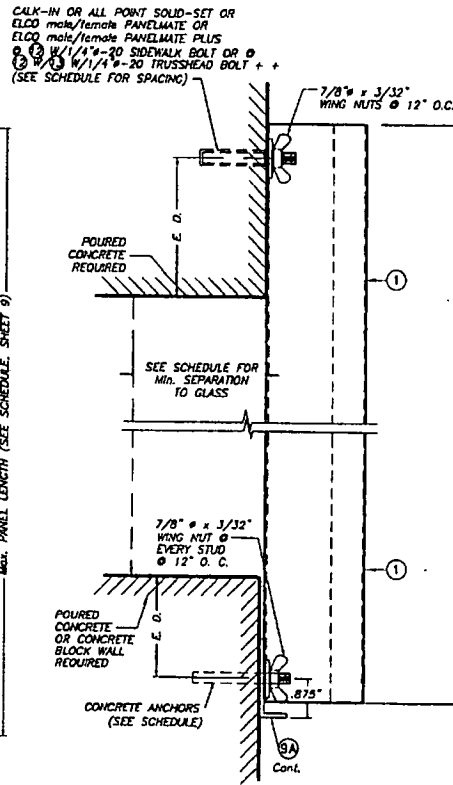
SCALE: 3/8" = 1"



WALL MOUNTING INSTALLATION

SECTION 10

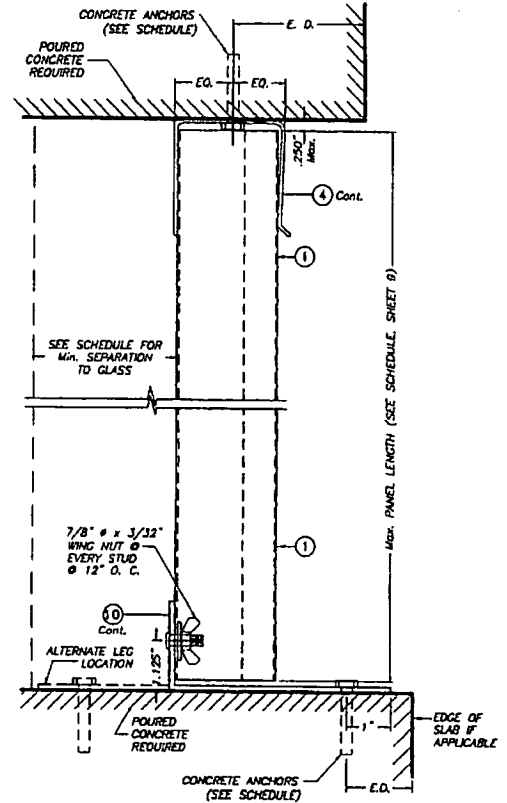
SCALE: 3/8" = 1"



WALL MOUNTING INSTALLATION

SECTION 11

SCALE: 3/8" = 1"



**CEILING & FLOOR MOUNTING
INSTALLATION SECTION 12**

SCALE: 3/8" = 1"

E. D. = EDGE DISTANCE
(SEE SCHEDULE ON
SHEETS 10 & 11 OF 15)

NOTE FOR COMBINATION OF SECTIONS:
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE
COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

++
SIDE WALK BOLTS ARE 3/4\"/>

CAULK-IN OR ALL POINT SOLID-SET OR
ELCO male/female PANELMATE OR
ELCO male/female PANELMATE PLUS
W/ 1/4\"/>

W/ 1/4\"/>

W/ 1/4\"/>

PRODUCT REVIEWED
as complying with the Florida
Building Code
Building Code
Acceptance No. 08-0623.06
Expiration Date 08/07/2013
By: *Walter A. Tullit*
Miami District Product Control
Division

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 05-0926.03
Expiration Date 08/07/2008
By: *Walter A. Tullit*
Miami District Product Control
Division

F.B.C. (High Velocity Hurricane Zone)

TILECO INC.
TILT TESTING & ENGINEERING COMPANY
6305 N.W. 38TH ST., 2ND FLOOR, WILMINGTON, FL 33110
Phone: (305) 877-1520 Fax: (305) 877-1521
ES-0004719
WALTER A. TULLIT, P. E.
FLORIDA LIC. # 44187

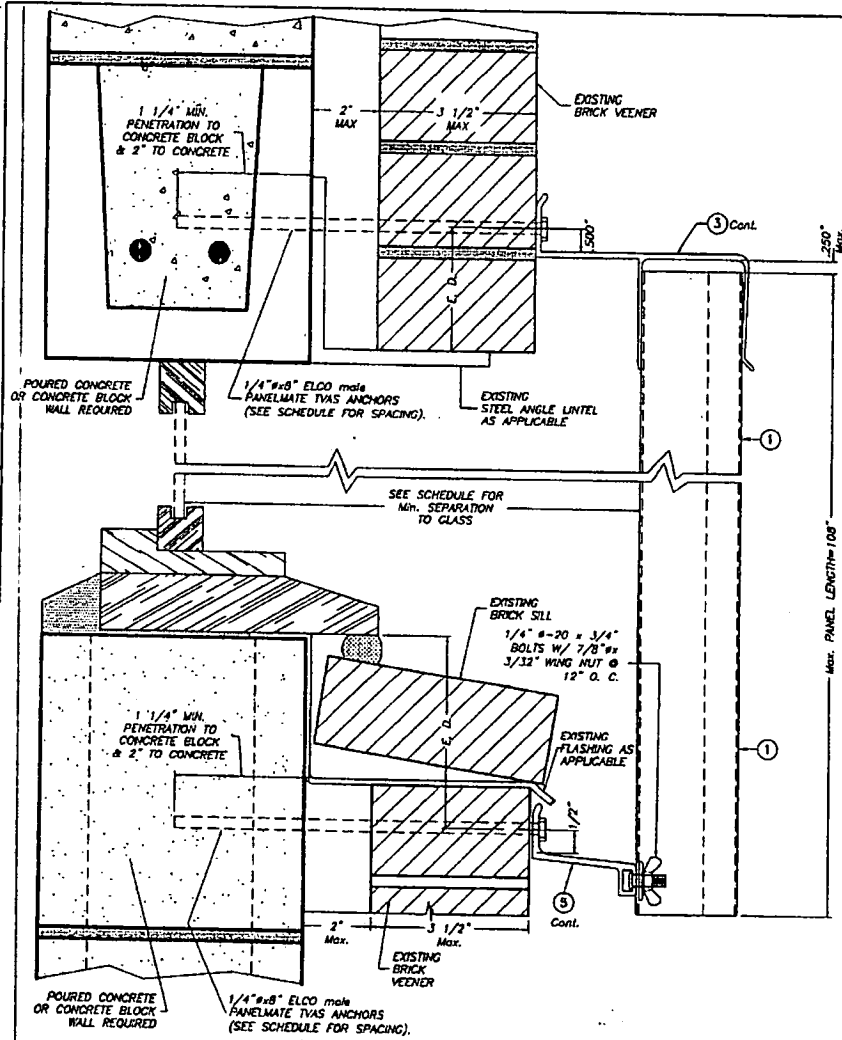
0.050\"/>

EASTERN METAL SUPPLY, INC.
4288 WESTROADS DR.
WEST PALM BEACH, FL 33407

L.G.
DRAWN BY
4/28/05
DATE
05-078
DRAWING No
SHEET 5 OF 15

REV. NO.	DESCRIPTION	DATE	BY	DESCRIPTION	DATE
1	OLD 03-141	4/28/05			
2					

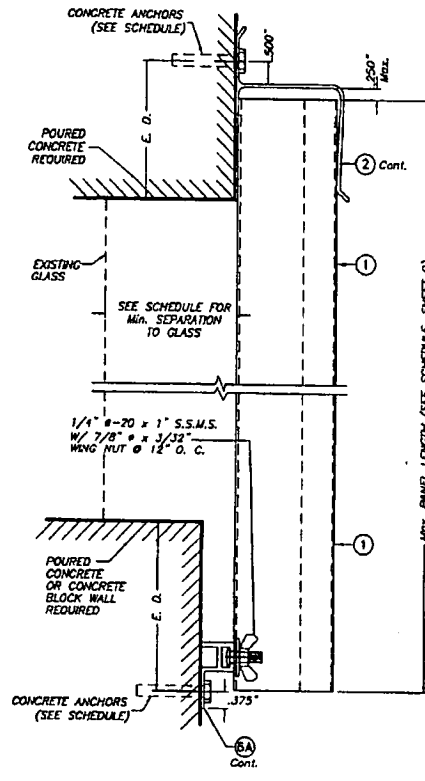
SEP-15-2005



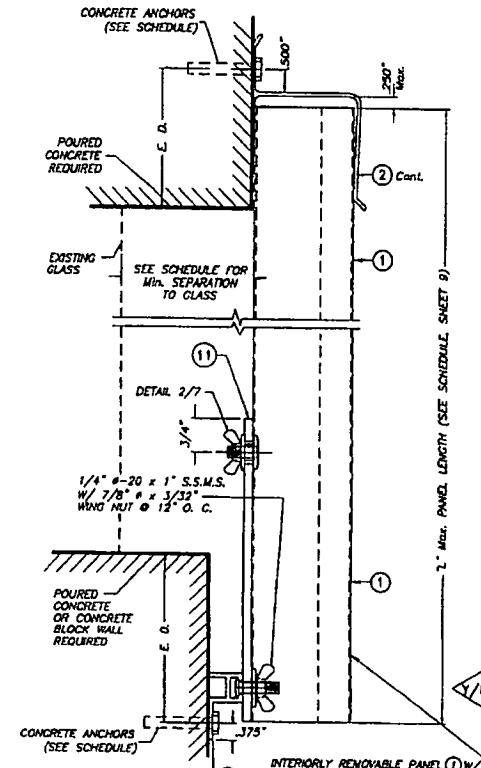
BUILD OUT INSTALLATION
SECTION 13
 SCALE: 3/8" = 1"

E. D. = EDGE DISTANCE
 (SEE SCHEDULE ON
 SHEETS 10 & 11 OF 13)

NOTE FOR COMBINATION OF SECTIONS:
 WALL MOUNTING SECTIONS CAN BE
 COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



SECTION 14A
WALL MOUNTING INSTALLATIONS
SECTIONS 14
 SCALE: 3/8" = 1"



SECTION 14B
 INTERIORLY REMOVABLE PANEL (1) W/
 SIDEWALK BOLTS (SEE DETAIL 2)
 CONNECTED TO (1) THRU 3/8" HOLES AT (1) @ 6" O.C. & FASTENED
 AT REAR W/ 7/8" #4 3/32" WING NUT @ EVERY SIDEWALK BOLT.

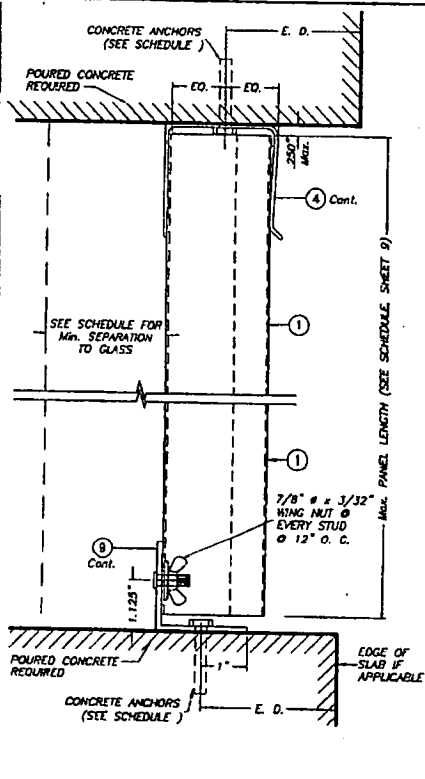
INSTALLATIONS VALID FOR PANELS (1) USED JOINTLY WITH INTERIORLY REMOVABLE PANELS (1)

PRODUCT REVISED as complying with the Florida Building Code
 Acceptance No. 05-0926.03
 Expiration Date 08/07/2008
PRODUCT REVISED as complying with the Florida Building Code
 Acceptance No. 05-0926.03
 Expiration Date 08/07/2008
 By: *Healy & Healy*
 Miami Dade Product Control Division

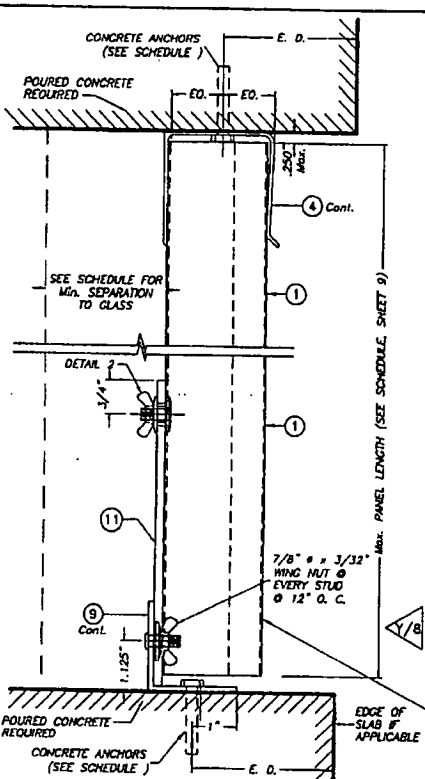
F.B.C. (High Velocity Hurricane Zone)

SEP 16 2005

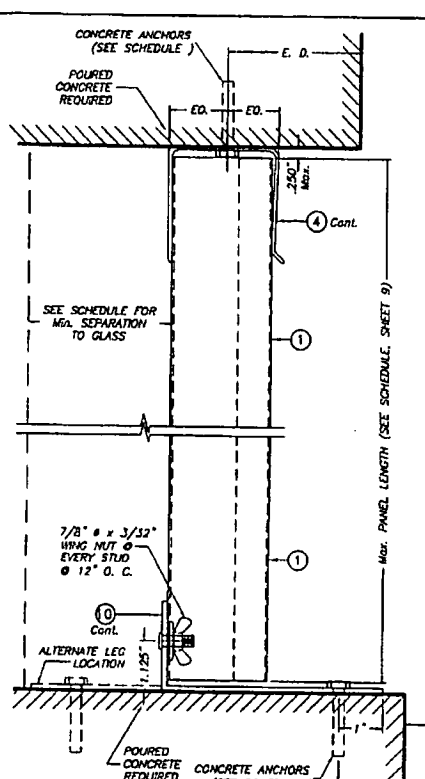
		0.050" BERTHA ALUMINUM STORM PANEL		LG DRAWN BY:	
TILECO INC. TILLIT TESTING & ENGINEERING COMPANY 5333 N.W. 29th St., Ste. 203, Virginia Gardens, FL 33118 Phone: 1 (305) 871-1530 Fax: 1 (305) 871-1531 EB-0006719 WALTER A. TILLIT, Jr., P. E. FLORIDA LIC. # 44187		EASTERN METAL SUPPLY, INC. 4268 WESTDAWS DR. WEST PALM BEACH, FL 33407		4/28/03 DATE 05-078 DRAWING No	
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	OLD 05-141	1/25/03	1		
			SHEET 8 OF 13		



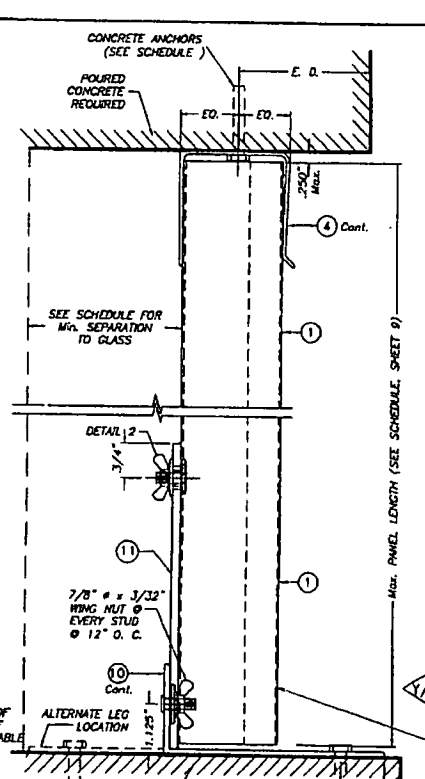
SECTION 15A
CEILING & FLOOR MOUNTING INSTALLATIONS
SECTIONS 15
 SCALE: 3/8" = 1"



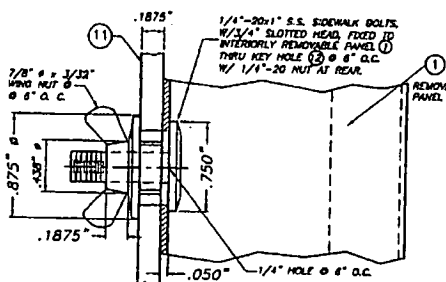
SECTION 15B
CEILING & FLOOR MOUNTING INSTALLATIONS
 INTERIORLY REMOVABLE PANEL (1) W/
 SIDEWALK BOLTS (SEE DETAIL 2)
 CONNECTED TO (1) THRU 5/8\"/>



SECTION 16A
CEILING & FLOOR MOUNTING INSTALLATIONS
SECTIONS 16
 SCALE: 3/8" = 1"



SECTION 16B
CEILING & FLOOR MOUNTING INSTALLATIONS
 INTERIORLY REMOVABLE PANEL (1) W/
 SIDEWALK BOLTS (SEE DETAIL 2)
 CONNECTED TO (1) THRU 5/8\"/>



**DETAIL 2 - INSTALLATION OF 1/4\"/>
 SCALE: 1" = 1"**

**INSTALLATIONS VALID FOR PANELS (1) USED JOINTLY
 WITH INTERIORLY REMOVABLE PANELS (1)**

E. D. = EDGE DISTANCE
 (SEE SCHEDULE ON
 SHEET 10 & 11 OF 15)

NOTE FOR COMBINATION OF SECTIONS:
 FLOOR/CEILING MOUNTING SECTIONS CAN BE
 COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

PRODUCT RENEWED
 as complying with the Florida
 Building Code
 Acceptance No. 08-0623-06
 Expiration Date 08/07/2008
 By: *Walter A. Tillit, Jr., P.E.*
 Miami Dade Product Control
 Division

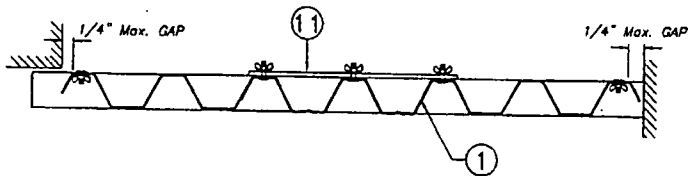
PRODUCT REVISED
 as complying with the Florida
 Building Code
 Acceptance No. 05-0926-03
 Expiration Date 08/07/2008
 By: *Walter A. Tillit, Jr., P.E.*
 Miami Dade Product Control
 Division

F.B.C. (High Velocity Hurricane Zone)

TILECO INC.
 TILLIT TESTING & ENGINEERING COMPANY
 4355 N.W. 32nd St., 200, WEST PALM BEACH, FL 33411
 Phone: (561) 871-1530 Fax: (561) 871-1531
 EB-0008710
 WALTER A. TILLIT, JR., P. E.
 FLORIDA Lic. # 44187

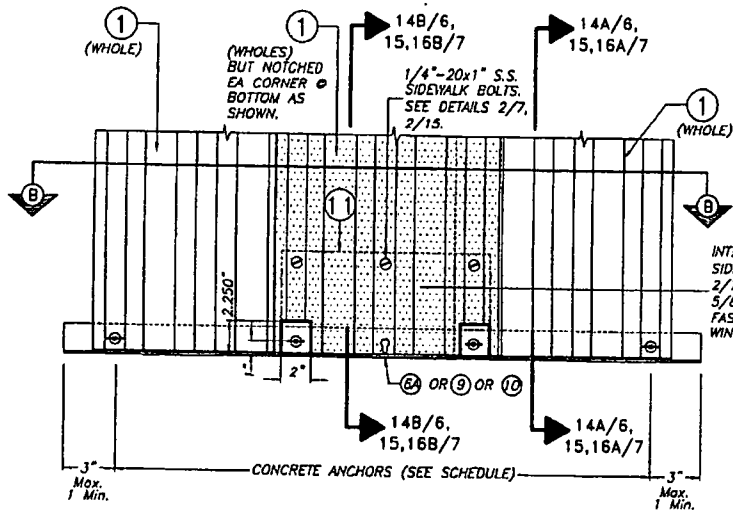
0.050" BERTHA ALUMINUM STORM PANEL						L.C. DRAWN BY:
EASTERN METAL SUPPLY, INC.						4/28/03 DATE
4268 WESTROADS DR. WEST PALM BEACH, FL 33407						05-078 DRAWING No
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE	SHEET 7 OF 13
1	OLD 03-141	1/20/03	2			
2			3			

SEP 15 2005



SECTION B-B

SCALE: 1/8" = 1"



**INTERIORLY REMOVABLE STORM PANEL
PARTIAL ELEVATION Y**

SCALE: 1/8" = 1"

INTERIORLY REMOVABLE PANEL (1) W/
SIDEWALK BOLTS (SEE DETAILS
2/7, 2/14) CONNECTED TO (2) THRU
5/8" HOLES AT (3) @ 6" O.C. &
FASTENED AT REAR W/ 7/8" x 3/32"
WING NUT @ EVERY SIDEWALK BOLT.

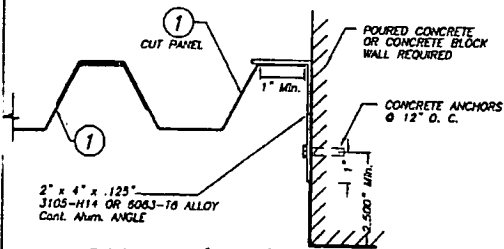
PRODUCT REVIEWED
as complying with the Florida
Building Code
Acceptance No 08-063.06
Expiration Date 08/07/2013
By *Walter A. Tillit*
Miami District Product Control
Division

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No 05-0936.03
Expiration Date 08/07/2008
By *Walter A. Tillit*
Miami District Product Control
Division

F.B.C. (High Velocity Hurricane Zone)

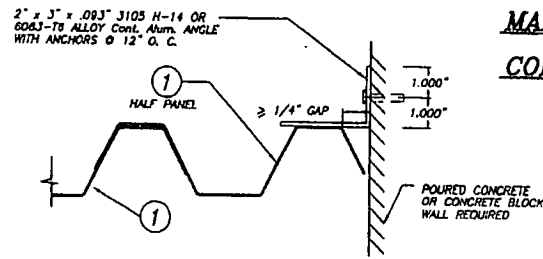
 <small>TILLIT TESTING & ENGINEERING COMPANY 4333 N.W. 28th St., 2nd. Fl., Boca Raton, Florida, FL 33431 Phone: (561) 771-1530, Fax: (561) 771-1831 E: 02-0004718</small> WALTER A. TILLIT, P. E. FLORIDA Lic. # 44187		0.050" BERTHA ALUMINUM STORM PANEL		L.C. DRAWN BY:	
		EASTERN METAL SUPPLY, INC.		4/25/05 DATE	
4268 WESTROADS DR. WEST PALM BEACH, FL 33407		05-078 DRAWING No			
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	OLD 03-741	4/25/05	1	-	-
2	-	-	2	-	-

SEP 15 2005



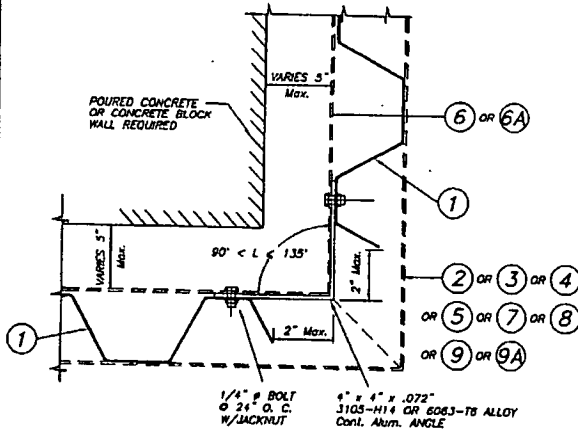
CASE A (Plan)

SCALE: 1/4" = 1"



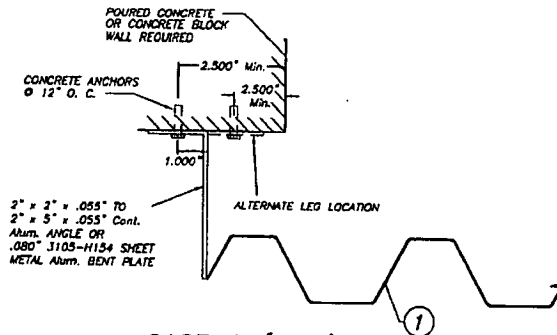
CASE D (Plan)

SCALE: 1/4" = 1"



CASE B (Plan)

SCALE: 1/4" = 1"



CASE C (Plan)

SCALE: 1/4" = 1"

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM PANEL LENGTH "L" SCHEDULE

MAXIMUM DESIGN PRESSURE RATING W (p.s.f.)	Max. PANEL LENGTH L (ft.) (SEE SECTIONS)	MINIMUM SEPARATION TO GLASS	APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM
+65.0, -77.0	8'-0" OR LESS	2 1/4"	1 THRU 8
+65.0, -77.0	9'-0" OR LESS	3 11/16"	1 THRU 8
+65.0, -72.0	9'-0" OR LESS	3 1/2"	11
+62.0, -73.3	10'-0" OR LESS	3 7/8"	2, 6, 7 & 8
+63.5, -63.5	9'-0" OR LESS	3 1/2"	9, 14, 10
+65.0, -65.0	9'-0" OR LESS	3 1/2"	12, 15, 16
+63.5, -63.5	9'-0" OR LESS	3 3/4"	13

PRODUCT RENEWED
 as complying with the Florida
 Building Code
 Acceptance No. 08-0623-06
 Expiration Date 08/07/2013
 By: *Heather A. Miller*
 Miami Dade Product Control
 Division

PRODUCT REVISED
 as complying with the Florida
 Building Code
 Acceptance No. 05-0916-03
 Expiration Date 08/07/2008
 By: *Heather A. Miller*
 Miami Dade Product Control
 Division

END CLOSURES DETAILS

F.B.C. (High Velocity Hurricane Zone)

TILECO INC.
 TILIT TESTING & ENGINEERING COMPANY
 6333 N.W. 36th St., Ste. 202, WILMISTON GARDENS, FL 33149
 Phone: (305) 871-1530 Fax: (305) 871-1331
 EB-0006718
 WALTER A. TILIT, Jr., P. E.
 FLORIDA Lic. # 41167

0.050" BERTHA ALUMINUM STORM PANEL		L.G.
EASTERN METAL SUPPLY, INC.		DRAWN BY:
4268 WESTROADS DR. WEST PALM BEACH, FL 33407		4/28/05
		DATE
		05-078
		DRAWING No.
REV. NO.	DESCRIPTION	DATE
1	OLD 03-141	1/25/03
2		
3		
		SHEET 9 OF 13

SEP 16 2005

**MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR
SPACING SCHEDULE FOR INSTALLATIONS IN CONCRETE AND CONCRETE BLOCK STRUCTURES**

MAXIMUM DESIGN LOAD # (D.A.1)	MAXIMUM ANCHOR SPACING FOR E. D. = 3 1/2" *																		APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH "L" (PL)
	REGULAR OPENING		CRETE-FLEX 554		ZAMAC MAILING		CALK-IN		SOLID-SET		OF TAP-CRIP		PANELMATE		410 U.S. TAPCON		410 U.S. TAPCON			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		TO CONCRETE		
8"	N/A	N/A	N/A	N/A	4"	N/A	8"	N/A	N/A	N/A	5"	N/A	3 1/2"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	
12"	6"	N/A	N/A	N/A	10"	7 1/2"	12"	8"	N/A	N/A	12"	7"	11"	11"	12"	7 1/2"	N/A	N/A	1 (BOTTOM)	
12"	N/A	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	11"	N/A	N/A	N/A	N/A	N/A	2 (TOP)	
12"	6"	N/A	N/A	N/A	10"	7 1/2"	12"	8"	N/A	N/A	12"	8"	11"	11"	12"	7 1/2"	N/A	N/A	2 (BOTTOM)	
12"	N/A	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	11"	N/A	N/A	N/A	N/A	N/A	3 (TOP)	
12"	6"	N/A	N/A	N/A	10"	7 1/2"	12"	8"	N/A	N/A	12"	8"	11"	11"	12"	7 1/2"	N/A	N/A	3 (BOTTOM)	
12"	N/A	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	11"	N/A	N/A	N/A	N/A	N/A	4 (TOP)	
12"	6"	N/A	N/A	N/A	10"	7 1/2"	12"	8"	N/A	N/A	12"	8"	11"	11"	12"	7 1/2"	N/A	N/A	4 (BOTTOM)	
12"	N/A	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	11"	N/A	N/A	N/A	N/A	N/A	5 (TOP)	
12"	6"	N/A	N/A	N/A	10"	7 1/2"	12"	8"	N/A	N/A	12"	8"	11"	11"	12"	7 1/2"	N/A	N/A	5 (BOTTOM)	
8 1/2"	N/A	12"	N/A	N/A	5 1/2"	N/A	7 1/2"	N/A	N/A	N/A	8 1/2"	N/A	11 1/2"	N/A	11"	N/A	8 1/2"	N/A	6 (TOP)	
8 1/2"	N/A	12"	N/A	N/A	5 1/2"	N/A	7 1/2"	N/A	10 1/2"	N/A	8 1/2"	N/A	11 1/2"	N/A	11"	N/A	8 1/2"	N/A	6 (BOTTOM)	
7 1/2"	N/A	11 1/2"	N/A	N/A	5"	N/A	7"	N/A	10 1/2"	N/A	7"	N/A	10 1/2"	N/A	10"	N/A	8 1/2"	N/A	7 (TOP/BOTTOM)	
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	12"	8"	12"	12"	8"	8"	12"	N/A	N/A	N/A	8 (TOP/BOTTOM)	
12"	N/A	12"	N/A	N/A	N/A	N/A	12"	8"	N/A	N/A	N/A	N/A	12"	N/A	12"	N/A	12"	N/A	9 (TOP)	
12"	6"	12"	12"	N/A	N/A	N/A	12"	8"	N/A	N/A	N/A	N/A	12"	11"	18"	7 1/2"	12"	7 1/2"	9 (BOTTOM)	
N/A	N/A	N/A	N/A	N/A	N/A	N/A	12"	8"	12"	12"	N/A	N/A	12"	11"	18"	7 1/2"	12"	7 1/2"	10 (TOP)	
12"	6"	12"	12"	N/A	N/A	N/A	12"	8"	N/A	N/A	N/A	N/A	12"	11"	18"	7 1/2"	12"	7 1/2"	10 (BOTTOM)	
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	12"	11"	N/A	N/A	N/A	N/A	13 (TOP)	
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	12"	6"	N/A	N/A	N/A	N/A	13 (BOTTOM)	
12"	N/A	12"	N/A	N/A	N/A	N/A	12"	N/A	N/A	N/A	N/A	N/A	12"	6"	N/A	N/A	N/A	N/A	14 (TOP)	
12"	6"	12"	12"	N/A	N/A	N/A	12"	8"	N/A	N/A	N/A	N/A	12"	11"	12"	7 1/2"	12"	7 1/2"	14A (BOTTOM)	
12"	4 1/2"	12"	8"	N/A	N/A	12"	8 1/2"	N/A	N/A	N/A	N/A	N/A	12"	8"	12"	5 1/2"	12"	5 1/2"	14B (BOTTOM)	
11 1/2"	N/A	12"	N/A	N/A	N/A	12"	N/A	N/A	N/A	N/A	N/A	N/A	12"	N/A	12"	N/A	N/A	N/A	12 (TOP)	
8 1/2"	N/A	12"	N/A	N/A	N/A	7 1/2"	N/A	10 1/2"	N/A	N/A	N/A	N/A	11 1/2"	N/A	11"	N/A	8 1/2"	N/A	12 (BOTTOM)	
11 1/2"	N/A	12"	N/A	N/A	N/A	12"	N/A	N/A	N/A	N/A	N/A	N/A	12"	N/A	12"	N/A	12"	N/A	15 (TOP)	
8 1/2"	N/A	12"	N/A	N/A	N/A	7 1/2"	N/A	N/A	N/A	N/A	N/A	N/A	11 1/2"	N/A	11"	N/A	8 1/2"	N/A	15A (BOTTOM)	
N/A	N/A	5 1/2"	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	3"	N/A	3"	N/A	3"	N/A	15B (BOTTOM)	
11 1/2"	N/A	12"	N/A	N/A	N/A	12"	N/A	N/A	N/A	N/A	N/A	N/A	12"	N/A	12"	N/A	12"	N/A	16 (TOP)	
8 1/2"	N/A	12"	N/A	N/A	N/A	7 1/2"	N/A	N/A	N/A	N/A	N/A	N/A	11 1/2"	N/A	11"	N/A	8 1/2"	N/A	16A (BOTTOM)	
3"	N/A	4 1/2"	N/A	N/A	N/A	3"	N/A	N/A	N/A	N/A	N/A	N/A	6"	N/A	6"	N/A	6"	N/A	16B (BOTTOM)	
6"	N/A	N/A	N/A	N/A	6"	N/A	6"	N/A	N/A	N/A	6"	N/A	6"	N/A	6"	N/A	6"	N/A	2 (TOP)	
6"	5 1/2"	N/A	N/A	N/A	6"	6"	6"	6"	N/A	N/A	6"	6"	6"	6"	N/A	N/A	N/A	N/A	2 (BOTTOM)	
6"	N/A	N/A	N/A	N/A	4 1/2"	N/A	6"	N/A	N/A	N/A	6"	N/A	5 1/2"	N/A	N/A	N/A	N/A	N/A	6 (TOP)	
6"	N/A	N/A	N/A	N/A	4 1/2"	N/A	6"	N/A	N/A	N/A	6"	N/A	5 1/2"	N/A	N/A	N/A	N/A	N/A	6 (BOTTOM)	
6"	N/A	N/A	N/A	N/A	4"	N/A	6"	N/A	N/A	N/A	6"	N/A	4 1/2"	N/A	N/A	N/A	N/A	N/A	7 (TOP/BOTTOM)	
N/A	N/A	N/A	N/A	N/A	N/A	6"	6"	12"	12"	6"	6"	6"	6"	N/A	N/A	N/A	N/A	N/A	8 (TOP/BOTTOM)	

E. D. = EDGE DISTANCE

ANCHORS LEGEND

ANCHOR TYPE	MIN ANCHOR SPACING
REGULAR TAPCON, 410 U.S. TAPCON, CRETE-FLEX 554, ZAMAC MAILING, OF TAP-CRIP, PANELMATE OR PANELMATE PLUS.	3.0"
CALK-IN	2.5"
SOLID-SET	3.5"

PRODUCT RENEWED
 as complying with the Florida Building Code
 Acceptance No. 08-0625.06
 Expiration Date 08/07/2013
 By: *Heinz A. Miller*
 Metal Deck Product Control Division

PRODUCT REVISED
 as complying with the Florida Building Code
 Acceptance No. 05-0926.03
 Expiration Date 08/07/2008
 By: *Heinz A. Miller*
 Metal Deck Product Control Division

* MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE. FOR E. D. LESS THAN 3 1/2", REDUCE ANCHOR SPACING BY MULTIPLYING SPACING SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (NOTE: MIN. E. D. FOR CALK-IN ANCHORS IS 2 1/2")
 FOR THIS OPERATION TO BE POSSIBLE, REDUCED SPACING OBTAINED USING FACTOR SHALL NOT BE LESS THAN MINIMUM SPACING INDICATED FOR EACH ANCHOR TYPE AT ANCHORS LEGEND.

ACTUAL E. D.	FACTOR			
	REGULAR TAPCON, 410 U.S. TAPCON, CRETE-FLEX 554, ZAMAC MAILING, PANELMATE OR PANELMATE PLUS.	CALK-IN	SOLID-SET	OF TAP-CRIP
3"	.85	.75	.75	1.00
1 1/2"	.71	.50	-	.80
1 2"	.50	-	-	-

SEP 1 5 2005

TILECO Inc.
 TILE TESTING & ENGINEERING COMPANY
 4333 N.W. 36th St., Ste. 303, Pompano Beach, FL 33069
 Phone: (954) 771-1130 Fax: (954) 771-1211
 EB-0006719
 WALTER A. TILLEY, P. E.
 FLORIDA LIC. # 44187

0.050" BERTHA ALUMINUM STORM PANEL

EASTERN METAL SUPPLY, INC.
 4288 WESTROADS DR.
 WEST PALM BEACH, FL 33407

L.C. DRAWN BY
 4/28/05 DATE
 05-078 DRAWING NO
 SHEET 10 OF 13

REV. NO.	DESCRIPTION	DATE	BY	CHKD BY	DATE
1	OLD 03-141	4/28/05	S	-	-
2	-	-	-	-	-

F.B.C. (High Velocity Hurricane Zone)

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND CONCRETE BLOCK STRUCTURES

MAXIMUM DESIGN LOAD W (p.s.f.)	MAXIMUM ANCHOR SPACING FOR E. D. = 3 1/2" *																		APPLICABLE TO SECTIONS & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH "L" (ft.)
	REGULAR TAPCONS		CRETE-FLEX SS4		ZAMAC NAILIN		CALK-IN		SOLID-SET		CF TAP-GRP		PANELMATE		PANELMATE PLUS		#10 S.S. TAPCON			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
+65.0, -77.0	6"	N/A	N/A	N/A	3"	N/A	6"	N/A	N/A	N/A	3 1/2"	N/A	2 1/2"	N/A	N/A	N/A	N/A	N/A	1 (TOP)	6'-0" OR LESS
	12"	5"	N/A	N/A	10"	6"	12"	7 1/2"	N/A	N/A	12"	6"	9 1/2"	9 1/2"	N/A	N/A	N/A	N/A	1 (BOTTOM)	
	12"	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	9 1/2"	N/A	N/A	N/A	N/A	N/A	2 (TOP)	
	12"	5"	N/A	N/A	10"	6"	12"	7 1/2"	N/A	N/A	12"	6 1/2"	9 1/2"	9"	N/A	N/A	N/A	N/A	2 (BOTTOM)	
	12"	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	9 1/2"	N/A	N/A	N/A	N/A	N/A	3 (TOP)	
	12"	5"	N/A	N/A	8"	6"	12"	7 1/2"	N/A	N/A	12"	6 1/2"	9 1/2"	9"	N/A	N/A	N/A	N/A	3 (BOTTOM)	
	12"	N/A	N/A	N/A	10"	N/A	12"	N/A	N/A	N/A	12"	N/A	9 1/2"	N/A	N/A	N/A	N/A	N/A	4 (TOP)	
	12"	5"	N/A	N/A	8"	6"	12"	7 1/2"	N/A	N/A	12"	6 1/2"	9 1/2"	9"	N/A	N/A	N/A	N/A	4 (BOTTOM)	
	12"	N/A	N/A	N/A	8"	N/A	12"	N/A	N/A	N/A	12"	N/A	9 1/2"	N/A	N/A	N/A	N/A	N/A	5 (TOP)	
	12"	4 1/2"	N/A	N/A	7"	5"	12"	6"	N/A	N/A	10"	5"	7 1/2"	7 1/2"	N/A	N/A	N/A	N/A	5 (BOTTOM)	
	7"	N/A	N/A	N/A	4 1/2"	N/A	6"	N/A	N/A	N/A	7"	N/A	5"	N/A	N/A	N/A	N/A	N/A	6 (TOP)	
	7"	N/A	N/A	N/A	4 1/2"	N/A	6"	N/A	9"	N/A	7"	N/A	5"	N/A	N/A	N/A	N/A	N/A	6 (BOTTOM)	
8"	N/A	N/A	N/A	4"	N/A	5 1/2"	N/A	8"	N/A	8"	N/A	4 1/2"	N/A	N/A	N/A	N/A	N/A	7 (TOP/BOTTOM)		
N/A	N/A	N/A	N/A	N/A	N/A	12"	6"	12"	12"	12"	6"	6"	6"	N/A	N/A	N/A	N/A	8 (TOP/BOTTOM)		
+65.0, -72.0	8 1/2"	N/A	12"	N/A	N/A	N/A	6"	N/A	9 1/2"	N/A	N/A	N/A	9"	N/A	9"	N/A	7 1/2"	N/A	7 (TOP/BOTTOM)	6'-0" OR LESS
	N/A	N/A	N/A	N/A	N/A	N/A	12"	6"	12"	12"	N/A	N/A	12"	8"	12"	6"	N/A	N/A	11 (TOP)	
+62.0, -73.3	12"	5 1/2"	12"	10 1/2"	N/A	N/A	12"	8"	12"	12"	N/A	N/A	12"	9 1/2"	12"	6 1/2"	12"	7"	11 (BOTTOM)	
	6"	N/A	N/A	N/A	6"	N/A	6"	N/A	12"	12"	6"	N/A	6"	N/A	N/A	N/A	N/A	N/A	2 (TOP)	
	6"	5"	N/A	N/A	6"	5 1/2"	6"	6"	N/A	N/A	6"	6"	6"	6"	N/A	N/A	N/A	N/A	2 (BOTTOM)	
	6"	N/A	N/A	N/A	4"	N/A	6"	N/A	N/A	N/A	6"	N/A	5"	N/A	N/A	N/A	N/A	N/A	6 (TOP)	
	6"	N/A	N/A	N/A	4"	N/A	6"	N/A	6"	N/A	6"	N/A	5"	N/A	N/A	N/A	N/A	N/A	6 (BOTTOM)	
	6"	N/A	N/A	N/A	5"	N/A	6"	N/A	8"	N/A	5 1/2"	N/A	4"	N/A	N/A	N/A	N/A	N/A	7 (TOP/BOTTOM)	
	N/A	N/A	N/A	N/A	N/A	N/A	6"	6"	12"	12"	6"	6"	6"	6"	N/A	N/A	N/A	N/A	8 (TOP/BOTTOM)	
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	12"	12"	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	1 (BOTTOM) 10 (TOP) 11 (TOP/BOTTOM)		

E. D. = EDGE DISTANCE

PRODUCT RENEWED
in compliance with the Florida
Building Code
Acceptance No. 08-0625.06
Expiration Date 08/07/2013
By: *William A. Hill*
District Director, Product Control
Division

PRODUCT REVISED
in compliance with the Florida
Building Code
Acceptance No. 05-0926.03
Expiration Date 08/07/2008
By: *William A. Hill*
District Director, Product Control
Division

* MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE, FOR E. D. LESS THAN 3 1/2".
REDUCE ANCHOR SPACING BY MULTIPLYING SPACING SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS.
(NOTE: MIN. E. D. FOR CALK-IN ANCHORS IS 2 1/2")
FOR THIS OPERATION TO BE POSSIBLE, REDUCED SPACING OBTAINED USING FACTOR SHALL NOT BE
LESS THAN MINIMUM SPACING INDICATED FOR EACH ANCHOR TYPE AT ANCHORS LEGEND.

ACTUAL E. D.	FACTOR			
	REGULAR TAPCON, #10 S.S. TAPCON, CRETE-FLEX SS4, ZAMAC NAILING, PANELMATE OR PANELMATE PLUS	CALK-IN	SOLID-SET	CF TAP-GRP
3"	.88	.75	.78	1.00
2 1/2"	.71	.50	-	.80
2"	.50	-	-	-

ANCHORS LEGEND

ANCHOR TYPE	MIN. ANCHOR SPACING
REGULAR TAPCON, #10 S.S. TAPCON, CRETE-FLEX SS4, ZAMAC NAILING, CF TAP-GRP, PANELMATE OR PANELMATE PLUS	3.0"
CALK-IN	2.5"
SOLID-SET	3.5"

William A. Hill
SEP 16 2005

TILECO INC.
TILFIT TESTING & ENGINEERING COMPANY
4152 ALK. JENK. RD., STE. 303, WPCMA GARDENS, FL 33184
Phone: 1 (800) 571-1830, Fax: 1 (305) 571-1321
ED-0008719
WALTER A. TILFIT JR., P. E.
FLORIDA LIC. # 44167

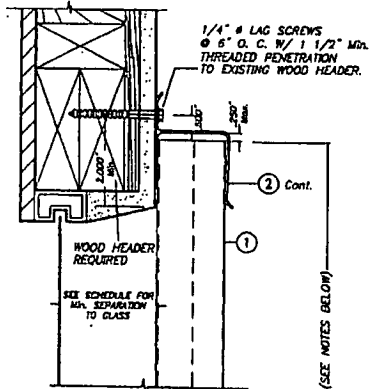
0.050" BERTHA ALUMINUM STORM PANEL

EASTERN METAL SUPPLY, INC.
4758 WESTROADS DR.
WEST PALM BEACH, FL 33407

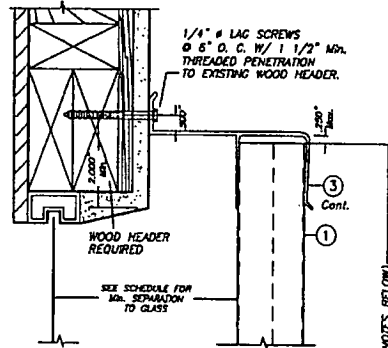
REV. NO.	DESCRIPTION	DATE	REV. BY	REVISION	DATE
1	OLD 03-141	4/25/03	3	-	-
2	-	-	4	-	-

L.C. DRAWN BY:
4/28/05 DATE
05-078 DRAWING NO.
SHEET 11 OF 13

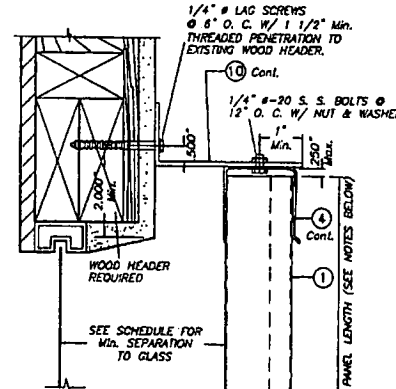
F.B.C.(High Velocity Hurricane Zone)



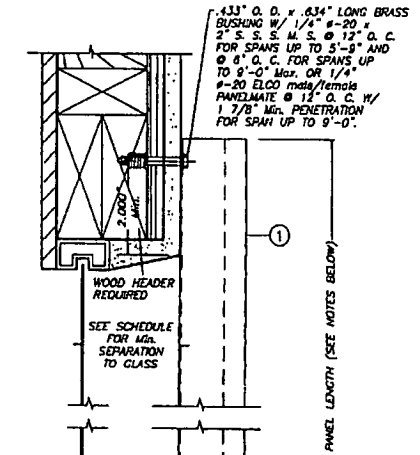
ALTERNATIVE 1



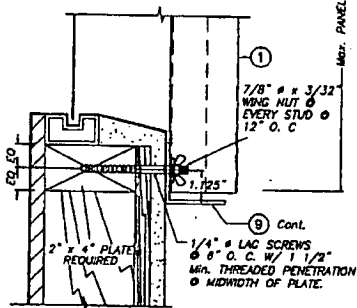
ALTERNATIVE 5



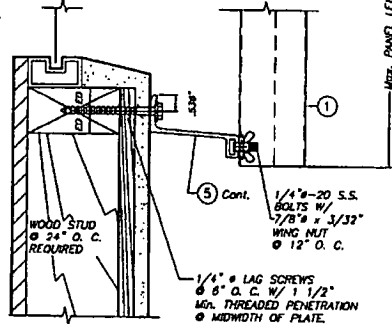
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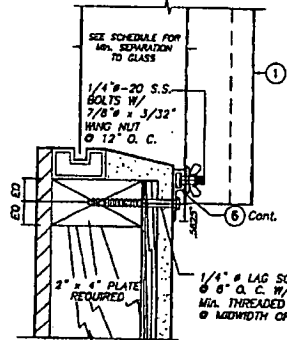
ALTERNATIVE 8



ALTERNATIVE 2



ALTERNATIVE 6



ALTERNATIVE 3

NOTE FOR COMBINATION OF SECTIONS:
 WALL MOUNTING SECTIONS CAN BE COMBINED
 IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:**
- INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0, -72.0 psf AND PANEL'S LENGTHS UP TO 9'-0", EXCEPT AS NOTED.
 - NEW 2" x 6" P. T. TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 19 X M. M. C. W/ SPECIFIC DENSITY OF 0.55.
 - FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

**WALL MOUNTING INSTALLATIONS
 SECTIONS A**

SCALE: 1/4" = 1"

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

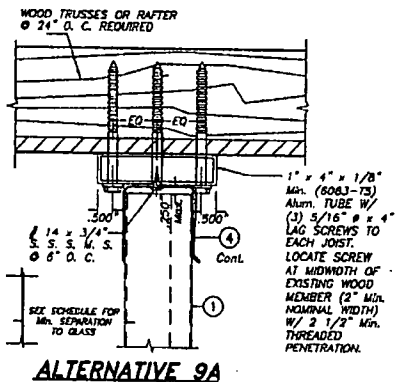
PRODUCT REVIEWED
 as complying with the Florida
 Building Code
 Acceptance No. 08-0623.06
 Expiration Date 08/07/2019
 By: *Helmut A. Tillit*
 Miami Dade Product Control
 Division

PRODUCT REVIEWED
 as complying with the Florida
 Building Code
 Acceptance No. 05-0926.03
 Expiration Date 08/07/2008
 By: *Helmut A. Tillit*
 Miami Dade Product Control
 Division

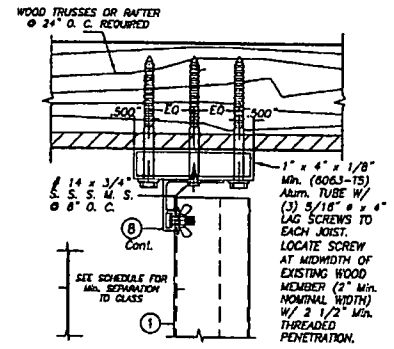
F.B.C. (High Velocity Hurricane Zone)

 TILLIT TESTING & ENGINEERING COMPANY 4325 N.W. 36th St., Ft. Lauderdale, FL 33309 Phone: 1 (800) 711-1520, Fax: 1 (954) 711-1521 EB-0006719 WALTER A. TILLIT, JR., P. E. FLORIDA Lic. # 44167	0.050" BERTHA ALUMINUM STORM PANEL		L.C. DRAWN BY:
	EASTERN METAL SUPPLY, INC. 4288 WESTROADS DR. WEST PALM BEACH, FL 33407		4/28/03 DATE
REV. NO. 1 2	DESCRIPTION OLD 03-141 -	DATE 4/28/03 -	SHEET NO. 2 -
			05-078 DRAWING No
			SHEET 12 OF 15

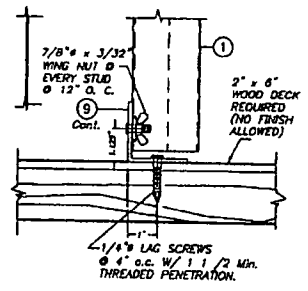
SEP 15 2005



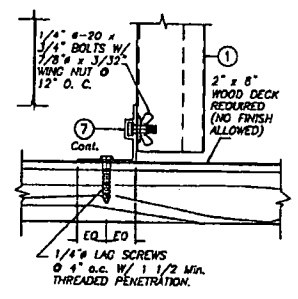
ALTERNATIVE 9A



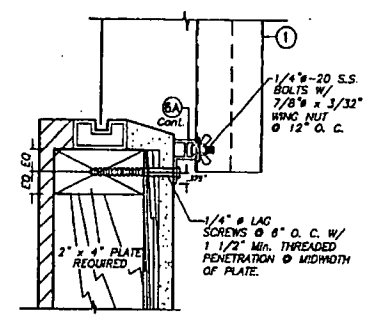
ALTERNATIVE 10



ALTERNATIVE 9

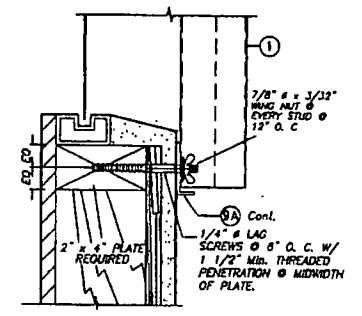


ALTERNATIVE 11



ALTERNATIVE 12 *

* VALID FOR Max. +63.5, -63.5 psf.



ALTERNATIVE 14

CEILING & FLOOR MOUNTING INSTALLATIONS

SCALE: 1/4" = 1"

NOTE FOR COMBINATION OF SECTIONS:
 WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE
 COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:**
- INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +63.0, -72.0 psf AND PANEL'S LENGTHS UP TO 9'-0", EXCEPT AS NOTED.
 - NEW 2" x 6" P. I. TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 19 X M. M. C. W/ SPECIFIC DENSITY OF 0.55.
 - FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

WALL MOUNTING INSTALLATION

SCALE: 1/4" = 1"

PRODUCT RENEWED
 as complying with the Florida
 Building Code
 Acceptance No. 05-0926-03
 Expiration Date 08/07/2008

PRODUCT RENEWED
 as complying with the Florida
 Building Code
 Acceptance No. 08-0625-06
 Expiration Date 08/07/2013

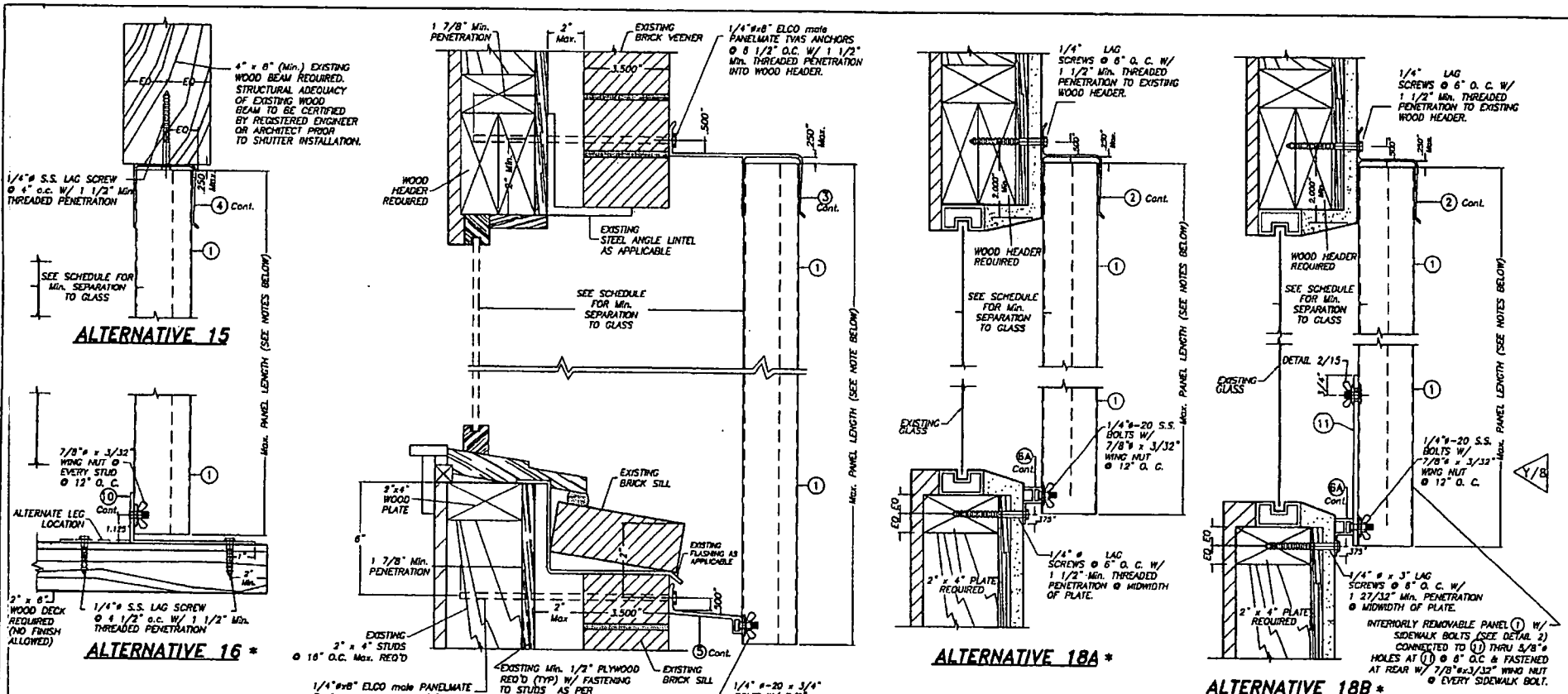
By: *Walter A. Tillet, Jr.*
 Mutual Design/Modera Control
 Division

SEP 15 2005

TILECO INC.
 TILLOT TESTING & ENGINEERING COMPANY
 4333 N.W. 26th St., Box 303, WINDER GARDENS, FL 33118
 Phone: 1 (352) 771-1530 • Fax: 1 (352) 771-1521
 EB-0008719
 WALTER A. TILLET, JR., P. E.
 FLORIDA Lic. # 44197

F.B.C.(High Velocity Hurricane Zone)

0.050" BERTHA ALUMINUM STORM PANEL		L.G. DRAWN BY:
EASTERN METAL SUPPLY, INC.		4/28/05 DATE
4368 WESTROADS DR. WEST PALM BEACH, FL 33407		05-078 DRAWING No
REV. NO.	DESCRIPTION	DATE
1	OLD 03-141	1/29/05
2		
		SHEET 13 OF 13



ALTERNATIVE 15

ALTERNATIVE 16 *

ALTERNATIVE 17 *

ALTERNATIVE 18A *

ALTERNATIVE 18B *

CEILING & FLOOR MOUNTING INSTALLATIONS

WALL MOUNTING INSTALLATIONS

* VALID FOR Max. +63.5, -63.5 psf.

* VALID FOR Max. +63.5, -63.5 psf.

BUILD-OUT INSTALLATION

INSTALLATIONS VALID FOR PANELS ① USED JOINTLY WITH INTERIORLY REMOVABLE PANELS-①

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

F.B.C.(High Velocity Hurricane Zone)

NOTE FOR COMBINATION OF SECTIONS:
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:**
- INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0, -65.0 psf AND PANEL'S LENGTHS UP TO 9'-0", EXCEPT AS NOTED.
 - NEW 2" x 6" P. T. TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 19 % M. M. C. W/ SPECIFIC DENSITY OF 0.55.
 - FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

PRODUCT REVIEWED
as complying with the Florida Building Code
Acceptance No. 08-0623.06
Expiration Date 08/07/2013
By: *[Signature]*
District Director, Product Control Division

PRODUCT REVISED
as complying with the Florida Building Code
Acceptance No. 05-0926.03
Expiration Date 08/07/2008
By: *[Signature]*
District Director, Product Control Division

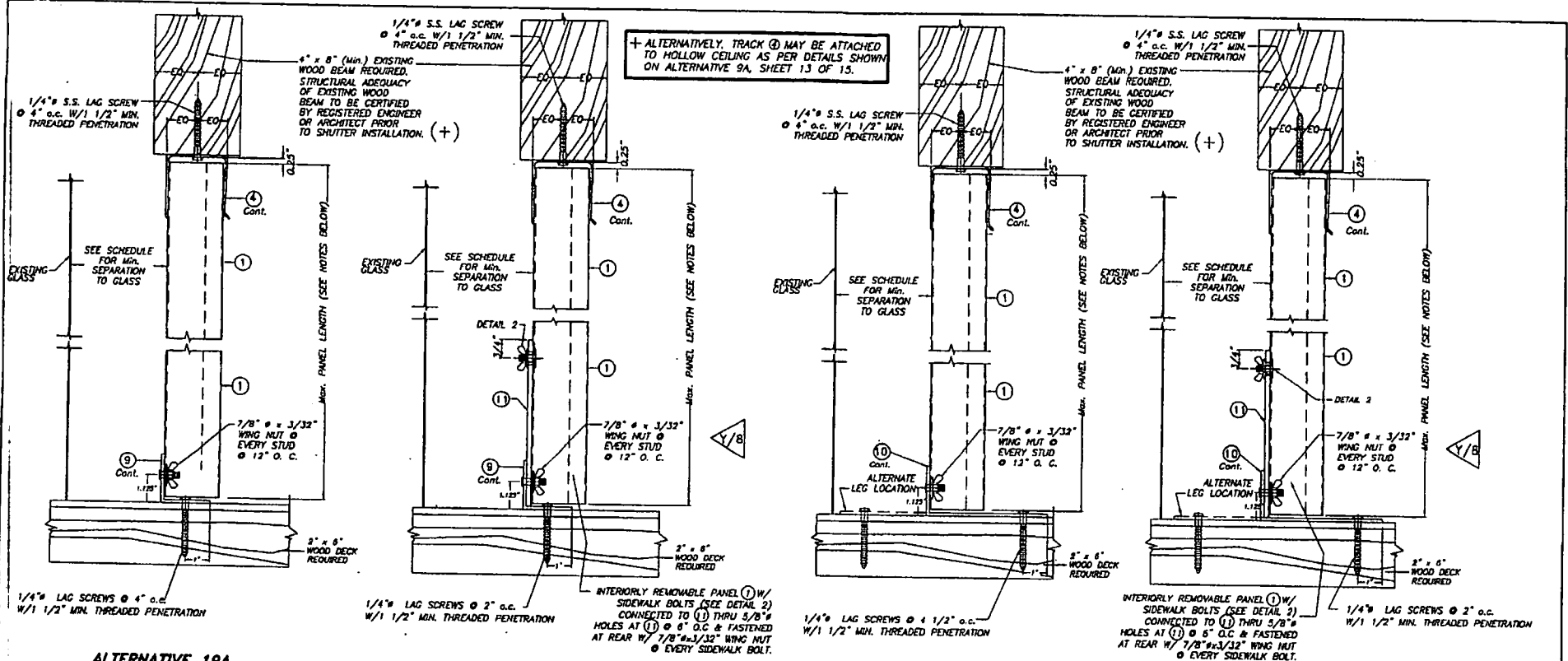
SEP 16 2005

TILECO INC.
TILIT TESTING & ENGINEERING COMPANY
6335 N.W. 30th St., 3rd. Fl. WILMINGTON, GEORGIA, FL 33164
Phone: 1 (305) 971-1430, Fax: 1 (305) 971-1431
ES-0068716
WALTER A. TILIT, Jr., P. E.
FLORIDA LIC. # 4167

EASTERN METAL SUPPLY, INC.
4288 WESTROADS DR.
WEST PALM BEACH, FL 33407

REV. NO.	DESCRIPTION	DATE	REV. BY	REVISION	DATE
1	OLD 03-147	1/23/03			
2					

L.C. DRAWN BY: _____
DATE: 4/28/03
05-078
DRAWING No
SHEET 14 OF 15



ALTERNATIVE 19A
CEILING & FLOOR MOUNTING INSTALLATIONS
SECTIONS 19
 SCALE: 1/4" = 1"

ALTERNATIVE 19B
CEILING & FLOOR MOUNTING INSTALLATIONS
SECTIONS 19
 SCALE: 1/4" = 1"

ALTERNATIVE 20A
CEILING & FLOOR MOUNTING INSTALLATIONS
SECTIONS 20
 SCALE: 1/4" = 1"

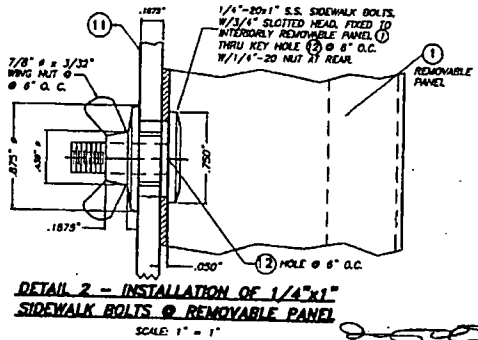
ALTERNATIVE 20B
CEILING & FLOOR MOUNTING INSTALLATIONS
SECTIONS 20
 SCALE: 1/4" = 1"

PRODUCT REVISIONED
 to comply with the Florida
 Building Code
 Acceptance No 08-0627.06
 Expiration Date 08/07/2013
 By *Walter A. Tillit*
 Miami Dade Product Control
 Division

PRODUCT REVISED
 to comply with the Florida
 Building Code
 Acceptance No 05-0926.08
 Expiration Date 08/07/2008
 By *Walter A. Tillit*
 Miami Dade Product Control
 Division

NOTE FOR COMBINATION OF SECTIONS:
 FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS



- NOTES:**
- INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS UP TO +65.0, -65.0 psf AND PANEL'S LENGTHS UP TO 9'-0".
 - NEW 2" x 6" P. T. TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 19 % M. C. W/ SPECIFIC DENSITY OF 0.55.
 - FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

TILECO INC.
 TILLIT TESTING & ENGINEERING COMPANY
 4350 W. 20th St., Ste. 205 WICKHAM OAKWOOD, FL 33149
 Phone: 1 (305) 971-1330 Fax: 1 (305) 971-1331
 ED-0008710
 WALTER A. TILLIT & P. E.
 FLORIDA Lic. # 44167

F.B.C.(High Velocity Hurricane Zone)

0.050" BERTHA ALUMINUM STORM PANEL		L.C. DRAWN BY:
EASTERN METAL SUPPLY, INC.		4/28/05 DATE
4268 WESTROADS DR. WEST PALM BEACH, FL 33407		05-078 DRAWING No
REV. NO.	DESCRIPTION	DATE
1	OLD 03-141	4/28/05
2		
3		
4		
		SHEET 15 OF 15

SEP 16 2005

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **10-13-2010** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9564	Inye 22 Fieldway JA Taylor	dry-in	Pass	INSPECTOR <i>JA</i>
9577	McMahon 555 Sewalls Code Red	in-progress	Pass	INSPECTOR <i>JA</i>
9287	Sharfi 73 N Sewalls Mosley	driveway PARTIAL PRE-POUR	Pass	INSPECTOR <i>JA</i>
9582	XXXXXXXXXX 10 Middle Rd. Gulfstream Alum	Final XXXXXXXXXX	Pass	XXXXXXXXXX INSPECTOR <i>JA</i>
9585	GILBERT 8 MANDALAY KROSS & CRANE	A/C FINAL	FAIL	Support REFRIG PIPE TO CODE INSPECTOR <i>JA</i>
9594	Harbor Bay 37 AS SE Ocean Gary Hufnagel	XXXXXXXXXX rough ceiling	Pass	INSPECTOR <i>JA</i>
9591	FARRICNIO 26 E. A16th Pt SQUAT ROOF REP.	ROOF XXXXXXXXXX FINAL	Pass	Close INSPECTOR <i>JA</i>

10898

FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10898	DATE ISSUED:	6/16/2014
SCOPE OF WORK:	FENCE		
CONTRACTOR:	STUART FENCE		
PARCEL CONTROL NUMBER:	13384100200005000	SUBDIVISION	HIGH POINT LOT 50
CONSTRUCTION ADDRESS:	10 MIDDLE ROAD		
OWNER NAME:	NICHOLAS FERRARO		
QUALIFIER:	CHESTER RICHMON	CONTACT PHONE NUMBER:	772 288-1151

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM** INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10898
ADDRESS:	10 MIDDLE ROAD
DATE ISSUED:	6/16/2014
SCOPE OF WORK:	FENCE

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
---	--	-----------------------	-----------	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)			\$	
(No plan submittal fee when value is less than \$100,000)				
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.			\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.			\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.			\$	-
Total Construction Value:			\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)			\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)			\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp				n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)			\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)			\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)				n/a
Martin County Impact Fee:			\$	
TOTAL BUILDING PERMIT FEE:			\$	\$ -

ACCESSORY PERMIT	Declared Value:		\$	\$ 7,250.00
Total number of inspections: @ \$ 100.00 per insp. # insp			\$ 1.00	\$ 100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)			\$	\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)			\$	\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)				\$ 5.00
TOTAL ACCESSORY PERMIT FEE:			\$	\$ 109.00

*Pd 6/16/14
 CR 1229
 Covers Permits
 10897 / 10898 / 10899*

Stuart fence @ Bell South. Net

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: 10898

Date: May 29th 2014

OWNER/LESSEE NAME: Nicholas Ferraro Phone (Day) 305-338-6919 (Fax) ---

Job Site Address: 10 Middle Road City: Sewall's Point State: FL Zip: 34996

Legal Description: High Point lot 50 Parcel Control Number: 13 38 41 00 2 000 005000

Fee Simple Holder Name: --- Address: ---

City: --- State: --- Zip: --- Telephone: ---

*SCOPE OF WORK (PLEASE BE SPECIFIC): FENCE

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES --- NO ✓

Has a Zoning Variance ever been granted on this property?
YES --- (YEAR) --- NO ---
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 1250.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 --- AE9 --- AE8 --- X ---
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ ---
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Stuart Fence Phone: 772 288 1151 Fax: 772 288 3035

Qualifiers name: Chester J Richmond Street: PO box 2636 City: Stuart State: FL Zip: 34995

State License Number: --- OR: Municipality: --- License Number: MCFE 3584

LOCAL CONTACT: Chester J. Richmond Phone Number: 772 288 1151

DESIGN PROFESSIONAL: --- Fla. License# ---

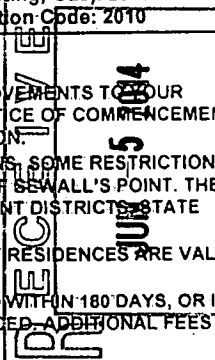
Street: --- City: --- State: --- Zip: --- Phone Number: ---

AREAS SQUARE FOOTAGE: Living: --- Garage: --- Covered Patios/ Porches: --- Enclosed Storage: ---

Carport: --- Total under Roof --- Elevated Deck: --- Enclosed area below BFE*: ---
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS, SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.



***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

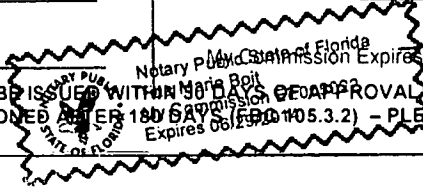
AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
X _____
State of Florida, County of: _____
On This the _____ day of _____, 20____
by _____ who is personally
known to me or produced _____
As identification _____

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
X _____
State of Florida, County of: Martin
On This the 4 day of July, 2014
by Chester J. Richmond who is personally
known to me or produced _____
As identification _____

My Commission Expires: _____ Notary Public _____ Notary Public _____ 06/29/2014

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 180 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



STUART FENCE COMPANY, INC.

(772) 288-1151

Fax (772) 288-3035

CFE3584
LICENSED & INSURED
BONDED

PROPOSAL - CONTRACT

P.O. Box 2636
Stuart, FL 34995

CUSTOMER'S NAME NICOLAS FERRARO			DATE 5-20-14
STREET 10 MIDDLE RD		CITY SEWALLS PT	STATE FL
HOME PHONE		BUSINESS PHONE	Fax #
FENCE LINE CLEARED: Y / N N		SURVEY: NICKAFERRARO@YAHOO.COM	MOBIL/BEEPER# 305-338-6919
		TOTAL FOOTAGE: 210'/34'/100'	

CHAIN LINK	<p>OPT.1 \$7250.00 FURNISH AND INSTALL 210' OF 7' HIGH WHITE PVC T&G PRIVACY FENCE WITH TWO 5' WIDE SINGLE GATES. ALL POSTS SET IN CONCRETE. REMOVE EXISTING FENCE AND DISPOSE OFF SITE. TOTAL INCLUDES ALL MATERIAL, LABOR & PERMIT FEES.</p> <p>OPT.2 \$1115.00 EXTEND RIGHT SIDE FENCE LINE 34' FOWARD FROM REAR OF HOUSE.</p> <p>OPT.3 \$3075.00 FURNISH AND INSTALL 100' ACROSS BACK PROPERTY LINE. DOES NOT INCLUDE REMOVAL OF EXISTING FENCE.</p>
FENCE TYPE _____	
TOP RAIL _____	
LINE POST _____	
CORNER POST _____	
GATE POST _____	
WALK GATE _____	
D.D. GATE _____	
WIRE GAUGE _____	
TENSION WIRE _____	
WOOD	
FENCE STYLE _____	
HEIGHT _____	
GOOD SIDE _____	
WALK GATES _____	
D.D. GATES _____	
LINE POSTS _____	
GATE POSTS _____	

SPECIAL INSTRUCTIONS		
* Add New England Caps		

PVC/ALUMINUM	OPTION B	PROPOSAL/CONTRACT SALE PRICE	OPTION A
FENCE STYLE 7' T&G		CONTRACT PRICE	\$7250
WALK GATES 2) 5'		PERMIT	anc
D.D. GATES WHITE		TOTAL	
POOL FENCE Y / N N		LESS DEPOSIT	3625 deposit 3625
		BALANCE DUE UPON COMPLETION	3625

ACCEPTANCE OF PROPOSAL - CONTRACT: The above prices, specifications and Terms/ Conditions on reverse side are satisfactory and are hereby accepted. Stuart Fence Corp. is authorized to do the work specified. Payment will be made as outlined above. Upon signing by Purchaser this becomes a binding contract.

CUSTOMER'S SIGNATURE *[Signature]*

SEE REVERSE SIDE FOR WARRANTY INFORMATION

APPROVED AND ACCEPTED DATE _____

SALES REP. Jason

STUART FENCE COMPANY, INC. IS NOT RESPONSIBLE FOR DAMAGE TO UNMARKED IRRIGATION LINES



MARTIN COUNTY BUILDING DEPARTMENT
960 SE BURNKE STREET
STUART, FL 34994
(772) 288-5916
FAX (772) 288-5911

EASEMENT AGREEMENT

Date: 5/28/14

Gentlemen:

I propose to apply for a Martin County permit to erect a Fence
in the (utility/drainage) easement on my property located at 10 middle road
Sevalli's Point

LEGAL DESCRIPTION: LOT 50, BLOCK , SUBDIVISION

(Brief description of dimensions and location from property lines)

fence down both sides of property to the back

In the event you have no objection to this project, please complete this form and return to me at:

Address: Fax to 772-288-3038
City: State: Zip:

I understand your company will not be responsible in any way for repair or replacement of any portion of
this fence and that any removal or replacement of such, necessary for your use of this
easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage)
easement by the construction or maintenance of this structure.

Signed: [Signature] Phone: (305) 538-6919

FOLLOWING TO BE COMPLETED BY UTILITY COMPANY.

(S) We agree to the proposed construction under the circumstances described above.

Company: COMCAST

By: WARR HAGENY

Title: REG. PERMIT COMM

Company records indicate that a potential conflict ~~DOES~~ **DOES NOT** exist. The conflict consists of

FENCE: OK

FAX JOURNAL REPORT

TIME : 05/27/2014 10:03
 NAME : STUART FENCE
 FAX : 7722883035
 TEL : 7722881151
 SER.# : U63274G3J460277

NO.	DATE	TIME	FAX NO./NAME	DURATION	PAGE(S)	RESULT	COMMENT
#113	05/21	12:59	2885911	01:07	02	OK	TX
	05/21	13:24	770 754 3113	40	01	OK	RX
#114	05/21	14:07	2885911	45	01	OK	TX
#115	05/21	15:14	17724665651	40	03	OK	TX ECM
#116	05/21	15:15	17724665651	01:00	03	OK	TX ECM
#117	05/21	15:45	IDEAL	45	01	OK	TX ECM
#118	05/21	15:46	2830286	49	03	OK	TX ECM
#119	05/21	16:42	18173365797	31	01	OK	TX
#120	05/21	16:44	13239545320	24	01	OK	TX ECM
#121	05/21	16:45	18173365797	31	01	OK	TX
#122	05/21	16:46	13239545320	27	01	OK	TX ECM
#123	05/22	06:59	LOWES	16	01	OK	TX ECM
	05/22	08:24	123	21	01	OK	RX ECM
#124	05/22	09:11	STEPHENS	22	01	OK	TX ECM
#125	05/22	09:23	18666582172	17	01	OK	TX ECM
#126	05/22	09:24	2830286	18	01	OK	TX ECM
#127	05/22	09:44	STEPHENS	13	01	OK	TX ECM
#128	05/22	09:47	STEPHENS	18	01	OK	TX ECM
#129	05/22	09:54	13239545320	55	01	OK	TX ECM
	05/22	10:10		18	01	OK	RX ECM
#130	05/22	10:19	IDEAL	50	01	OK	TX ECM
	05/22	10:38		29	01	OK	RX ECM
	05/22	10:55		19	01	OK	RX ECM
#131	05/22	11:00	GATE CREATOR	50	02	OK	TX
#132	05/22	11:45	WINRISE	18	01	OK	TX ECM
	05/22	12:37	7722291145	38	01	OK	RX ECM
#133	05/22	14:56	STEPHENS	20	01	OK	TX ECM
#134	05/22	15:18	IDEAL	33	01	OK	TX ECM
#135	05/22	15:48	STEPHENS	13	01	OK	TX ECM
	05/22	15:55		19	01	OK	RX ECM
#136	05/22	15:56	STEPHENS	16	01	OK	TX ECM
#137	05/22	16:41	13216310230	00	00	BUSY	TX
	05/22	16:42	772 287 3152	19	01	OK	RX ECM
	05/22	17:04	8185097554	20	01	OK	RX ECM
	05/22	17:13	6506556633	01:27	01	NG	RX ECM
	05/22	20:16	770 754 3113	40	01	OK	RX
#138	05/23	08:15	LOWES	14	01	OK	TX ECM
	05/23	08:17	123	19	01	OK	RX ECM
#139	05/23	08:49	GATE CREATOR	39	01	OK	TX
#140	05/23	08:53	IDEAL	24	01	OK	TX ECM
	05/23	10:31		02:26	10	OK	RX ECM
	05/23	12:02	7724665651	32	02	OK	RX ECM
#141	05/23	13:33	STEPHENS	13	01	OK	TX ECM
#142	05/23	13:39	IDEAL	29	01	OK	TX ECM
#147	05/23	17:02	STEPHENS	16	01	OK	TX ECM
	05/27	06:43	7722421232	31	01	OK	RX ECM
#148	05/27	08:34	LOWES	16	01	OK	TX ECM
	05/27	08:42	123	18	01	OK	RX ECM
#149	05/27	09:47	3444475	44	02	OK	TX ECM
#150	05/27	10:03	4196935	25	01	OK	TX

BUSY : BUSY/NO RESPONSE
 NG : POOR LINE CONDITION / OUT OF MEMORY
 CV : COVERPAGE
 POL : POLLING
 RET : RETRIEVAL
 PC : PC-FAX



MARTIN COUNTY BUILDING DEPARTMENT
900 SE RUMKLE STREET
STUART, FL 34994
(772) 288-5916
FAX (772) 288-5911

EASEMENT AGREEMENT

Date: 5/28/14

Gentlemen:

I propose to apply for a Martin County permit to erect a Fence
In the (utility/drainage) easement on my property located at 10 Middle Road
Sewall's Point

LEGAL DESCRIPTION: LOT 50, BLOCK , SUBDIVISION

(Brief description of dimensions and location from property lines)
fence down both sides of home to the back

In the event you have no objection to this project, please complete this form and return to me at:
Address: Fax to 772-288-3035

City: State: Zip:

I understand your company will not be responsible in any way for repair or replacement of any portion of
this fence and that any removal or replacement of such, necessary for your use of this
easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage)
easement by the construction or maintenance of this structure.

Signed: [Signature] Phone: (305) 338-6914

FOLLOWING TO BE COMPLETED BY UTILITY COMPANY

We agree to the proposed construction under the circumstances described above.

Company: Florida Power & Light Co
By: Shan Allure
Title: Project manager

Company records indicate that a potential conflict DOES DOES NOT exist. The conflict consists of



Poly Vinyl Creations, Inc.

www.polyvinylc.com

Copy

SALES QUOTATION

Document Number

Document Date

Page

1241761

05/28/14

2/3

Quantity: \$

Carry Over: 1,858.400

Description	Quantity	Price	Total
Victorian #3 48" x 72" Tan Unassembled w/**Pkt Caps** NOTCHED** Item Code: FSVIC3T4872U	1	58.250	58.250
Routed Post TAN 4" x 4" x 72" 0.160" wall 2 Rail End Item Code: RP10404-72-2e	2	17.510	35.020
Blank Profile 4" x 4" - 72" (6') Tan 0.160 wall Item Code: BP0404-72-T	1	16.550	16.550
4 x 4 Post Caps - Flat Cap Tan Item Code: CPO0404-Flat-T	3	0.960	2.880
RIVETED Victorian #3 WG Tan 48" x 60" ovg w/Pkt Caps** HARDWARE LISTED BELOW** Item Code: FSVIC3T4860WR	1	244.610	244.610
Hardware - SS Adj Hinges for DDG (Ranch Hinge) BLACK - Self-Tapping Screw (NW38951NSS8*SD) Item Code: HWSS-1D-B	2	0.000	
D&D Gate Handle LLHBG Black Item Code: HWDD-G1-B	2	0.000	
D&D - Lock Latch Deluxe + EAK (LLDAB-KSA) Black Item Code: HWDD-LLD-B	1	0.000	
D&D - Single Lock Latch (Lock Latch System #2 LL2ABG/LLAA) BLACK Item Code: HWDD-SLL-B	1	0.000	
NOTE: Hardware Price included in overall gate price (just listed separately) Item Code: NOTES	1	0.000	
NOTE: Customer to Specify Picket Caps Upon Order Item Code: NOTE13	1	0.000	

Please return to Loyana at FAX 727-857-9304 or E-Mail loyanaa@polyvinylc.com



MARTIN COUNTY BUILDING DEPARTMENT
900 SE RUIHOCKE STREET
STUART, FL 34994
(772) 288-6916
FAX (772) 288-5911

EASEMENT AGREEMENT

Date: 5/28/14

Gentlemen:

I propose to apply for a Martin County permit to erect a Fence
in the (utility/drainage) easement on my property located at 10 middle road
Sewall's Point

LEGAL DESCRIPTION: LOT 50, BLOCK , SUBDIVISION

(Brief description of dimensions and location from property lines)
fence down both sides of frame to the back

In the event you have no objection to this project, please complete this form and return to me at:
Address: Fax to 772-288-3035

City: State: Zip:

I understand your company will not be responsible in any way for repair or replacement of any portion of
this fence and that any removal or replacement of such, necessary for your use of this
easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage)
easement by the construction or maintenance of this structure.

Signed: [Signature] Phone: (305) 538-6919

FOLLOWING TO BE COMPLETED BY UTILITY COMPANY

We agree to the proposed construction under the circumstances described above.

Company: Martin County Utilities
By: Jim Christ
Title: Associate Planner

Company records indicate that a potential conflict DOES DOES NOT exist. The conflict consists of

6' W/M in easement along rear lot line



MARTIN COUNTY BUILDING DEPARTMENT
900 SE RUIJNKES STREET
STUART, FL 34994
(772) 288-8916
FAX (772) 288-8911

EASEMENT AGREEMENT

Date: 5/28/14

Gentlemen:

I propose to apply for a Martin County permit to erect a Fence
in the (utility/drainage) easement on my property located at 10 Middle Road
Sevalls Point

LEGAL DESCRIPTION: LOT 50, BLOCK , SUBDIVISION

(Brief description of dimensions and location from property lines)

fence down both sides of home to the back

In the event you have no objection to this project, please complete this form and return to me at:

Address: Fax to 772-288-3036

City: State: Zip:

I understand your company will not be responsible in any way for repair or replacement of any portion of
this fence and that any removal or replacement of such, necessary for your use of this
easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage)
easement by the construction or maintenance of this structure.

Signed: [Signature] Phone: (305) 338-6919

FOLLOWING TO BE COMPLETED BY UTILITY COMPANY

We agree to the proposed construction under the circumstances described above.

Company: AT&T
By: JAMOS P VIRGA
Title: MGR OSPE

Company records indicate that a potential conflict DOES DOES NOT exist. The conflict consists of

AT&T has buried facilities in this easement and facilities must be located prior to digging by calling
1-800-432-4770. Hand digging must be done within 2 feet of facilities. Should AT&T need access
to our facilities in the future, it will be at the customer's expense



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1,11

Summary



Owner
 12 of 21

Tabs

Summary

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Notice of Prop. Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-002-000-00500-0	27737	10 MIDDLE RD, SEWALL'S POINT	\$256,500	5/21/2014

Owner Information

Owner(Current)	FERRARO NICHOLAS A
Owner/Mail Address	10 MIDDLE RD STUART FL 34996
Sale Date	4/26/2010
Document Book/Page	2451 0481
Document No.	2207320
Sale Price	339000

Searches

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Navigator
- Maps →

Location/Description			
Account #	27737	Map Page No.	SP-06
Tax District	2200	Legal Description	HIGH POINT LOT 50
Parcel Address	10 MIDDLE RD, SEWALL'S POINT		
Acres	.3430		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120000 HighPoint - Sewall's Point

Functions

Property Search

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Assessment Information

Market Land Value	\$180,000
Market Improvement Value	\$76,500
Market Total Value	\$256,500

[Print](#) [Back to List](#) [First](#) [Previous](#) [Next](#) [Last](#)

Legal Disclaimer / Privacy Statement



✓

If you have any questions relating to the information in this letter, please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.



MARTIN COUNTY, FLORIDA
Contractor's Licensing
Certificate of Competency

FENCE ERECTION - MC

License #: MCFE3584 Expires: 09/30/2014

RICHMOND, CHESTER J III
STUART FENCE COMPANY INC
P.O. BOX 2636
STUART, FL 34995



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
12/31/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER RICK CARROLL INSURANCE AGENCY 2160 NE Dixie Highway PO Box 877 Jensen Beach FL 34958-0877		CONTACT NAME: Carla Green PHONE (A/C No. Ext): (772) 334-3181 FAX (A/C No.): (772) 334-7742 E-MAIL ADDRESS: carla@rickcarroll.com	
INSURED Stuart Fence Company Inc. and Stuart Retail PO Box 2636 Stuart FL 34995		INSURER(S) AFFORDING COVERAGE INSURER A: First National Ins Co of Amer INSURER B: American States Insurance INSURER C: INSURER D: INSURER E: INSURER F:	
		NAIC # 19704	

COVERAGES **CERTIFICATE NUMBER:** CL13122305768 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR			25CC1663017	8/18/2013	8/18/2014	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 200,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV, INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC						
B	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO ALL OWNED AUTOS HIRED AUTOS			01CH3769388	12/20/2013	12/20/2014	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ Uninsured motorist combined \$ 100,000
	<input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						
B	UMBRELLA LIAB EXCESS LIAB			01SU41496650	8/18/2013	8/18/2014	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000
	<input checked="" type="checkbox"/> RETENTION \$ 10,000						
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			N/A			<input type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA/EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
THIS CERTIFICATE IS FOR PROOF OF INSURANCE ONLY. GENERAL LIABILITY CONTAINS ADDITIONAL INSURED ENDORSEMENTS ON A PRIMARY/NON CONTRIBUTORY BASIS - AND A WAIVER OF SUBROGATION (TRANSFER OF RIGHTS) ENDT, SEE ATTACHED.

CERTIFICATE HOLDER (772) 220-4765 Town of Sewalls Point 1 S. Sewalls Point Road Sewalls Point, FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE Keith Carroll/DCH
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CERTIFICATE OF LIABILITY INSURANCE

Date
1/3/2014

Producer: Lion Insurance Company
2739 U.S. Highway 19 N.
Holiday, FL 34691
(727) 938-5562

This Certificate is issued as a matter of information only, and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.

Insured: South East Personnel Leasing, Inc. & Subsidiaries
2739 U.S. Highway 19 N.
Holiday, FL 34691

Insurers Affording Coverage		NAIC #
Insurer A:	Lion Insurance Company	11075
Insurer B:		
Insurer C:		
Insurer D:		
Insurer E:		

Coverages

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits	
		GENERAL LIABILITY <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence	\$
						Damage to rented premises (EA occurrence)	\$
						Med Exp	\$
						Personal Adv Injury	\$
						General Aggregate	\$
						Products - Comp/Op Agg	\$
		AUTOMOBILE LIABILITY <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident)	\$
						Bodily Injury (Per Person)	\$
						Bodily Injury (Per Accident)	\$
						Property Damage (Per Accident)	\$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made Deductible				Each Occurrence	
						Aggregate	
A		Workers Compensation and Employers' Liability Any proprietor/partner/executive officer/member excluded? NO If Yes, describe under special provisions below.	WC 71949	01/01/2014	01/01/2015	<input checked="" type="checkbox"/> WC Statutory Limits <input type="checkbox"/> OTH-ER	
						E.L. Each Accident	\$1,000,000
						E.L. Disease - Ea Employee	\$1,000,000
						E.L. Disease - Policy Limits	\$1,000,000

Other

Lion Insurance Company is A.M. Best Company rated A- (Excellent). AMB # 12616

Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions:

Client ID: 34-65-485

Coverage only applies to active employee(s) of South East Personnel Leasing, Inc. & Subsidiaries that are leased to the following "Client Company":

Stuart Fence Company, Inc.

Coverage only applies to injuries incurred by South East Personnel Leasing, Inc. & Subsidiaries active employee(s), while working in: FL.

Coverage does not apply to statutory employee(s) or independent contractor(s) of the Client Company or any other entity.

A list of the active employee(s) leased to the Client Company can be obtained by faxing a request to (727) 937-2138 or by calling (727) 938-5562.

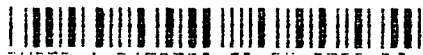
Project Name:

FAX: (772) 220-4765 / ISSUE 12-23-13 (ND)/ REISSUE 01-03-14 (TLD)

Begin Date 5/10/2004

CERTIFICATE HOLDER	CANCELLATION
TOWN OF SEAWALLS POINT 1 S SEAWALLS POINTROAD STUART, FL 34996	Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the Insurer, its agents or representatives. <div style="text-align: right;"><i>John A. Brown</i></div>

Ferraro



INSTR # 2459322 DR BK 2722 PG 96 RECD 06/04/2014 09:54:50 AM

(1 Pgs)

CARDOLYN TIMMANN MARTIN COUNTY CLERK

DEED DOC \$0.00; MTG DOC \$0.00; INTANGIBLE \$0.00

NOTICE OF COMMENCEMENT

To be completed when construction value exceeds \$2,500.00

PERMIT #: _____ TAX FOLIO # 13.38.41.002.000.005000

STATE OF FLORIDA COUNTY OF MARTIN

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE): High Point lot 50 10 middle Rd Stuart Fl. 34996 (Sewall's point)

GENERAL DESCRIPTION OF IMPROVEMENT: Fence install

OWNER INFORMATION OR LESSEE INFORMATION, IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:
Name: Nicholas A Ferraro
Address: 10 middle Rd Stuart Fl. 34996 (Sewall's Point)
Interest in property: _____
Name and address of fee simple title holder (if different from Owner listed above): _____

CONTRACTOR'S NAME: Stuart fence Phone No.: 772-258-1151
Address: Poloc 2636 Stuart Fl 34996

SURETY COMPANY (if applicable, a copy of the payment bond is attached):
Name and address: _____
Phone No.: N/A Bond amount: _____

LENDER'S NAME: _____ Phone No.: _____
Address: _____

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13 (1)(a) 7, Florida Statutes:

Name: N/A Phone No.: _____
Address: _____

In addition to himself or herself, owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
Phone number of person or entity designated by Owner: _____

Expiration date of Notice of Commencement:
[the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified]: _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief.

X [Signature]
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager/Attorney-in-fact

X Home owner
Signatory's Title/Office

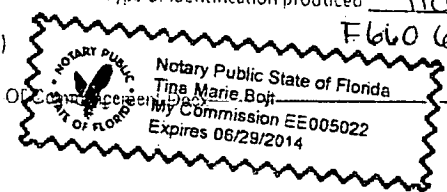
The foregoing instrument was acknowledged before me this 27 day of May 2014

By: Nicholas A Ferraro for _____ Party on behalf of whom instrument was executed
Name of person Type of authority (e.g. officer, trustee)

[Signature]
Notary's Signature

(Print, Type, or Stamp Commissioned Name of Notary)

T:\BLD\Bldg_Forms\New Applications\Foms\Notice of Commencement



STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE.
BY: Carolyn Timmann D.C.
DATE: 06-04-2014
CAROLYN TIMMANN, CLERK
MARTIN COUNTY, FLORIDA

MIDDLE ROAD

N.05°55'00"E 430.00

N05°55'00"E 100.00

S84°05'00"E

N84°05'00"W

S05°55'00"W 100.00

LOT 51

LOT 50

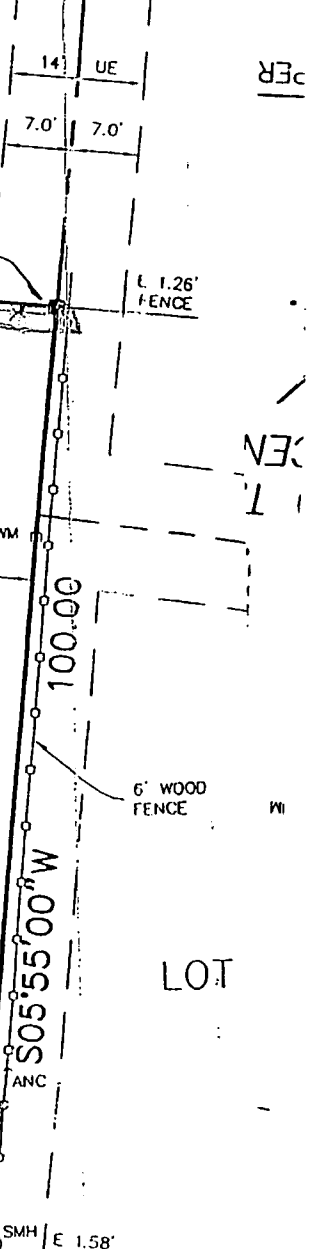
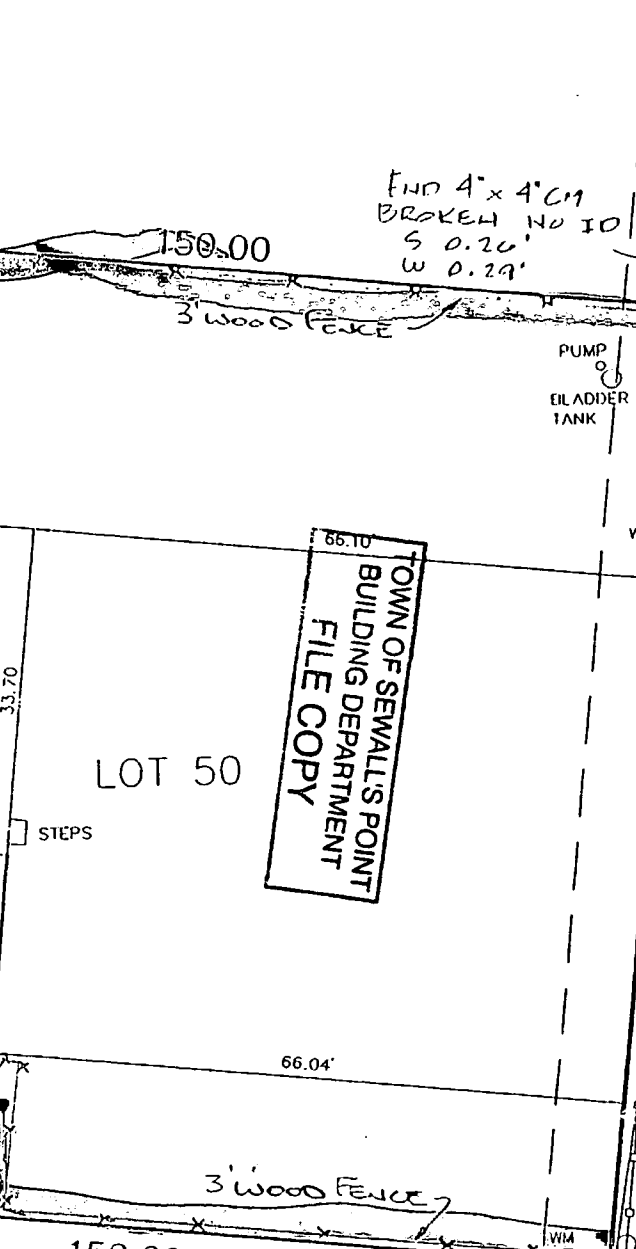
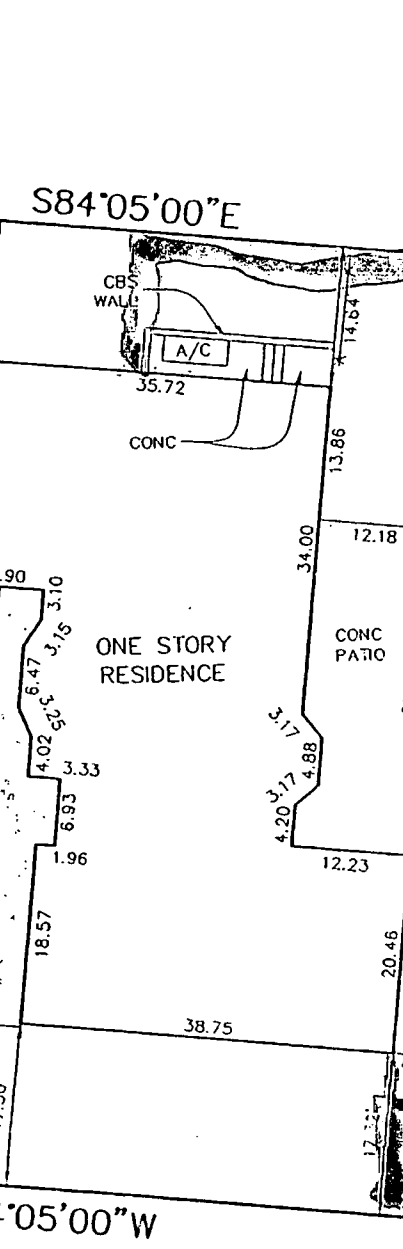
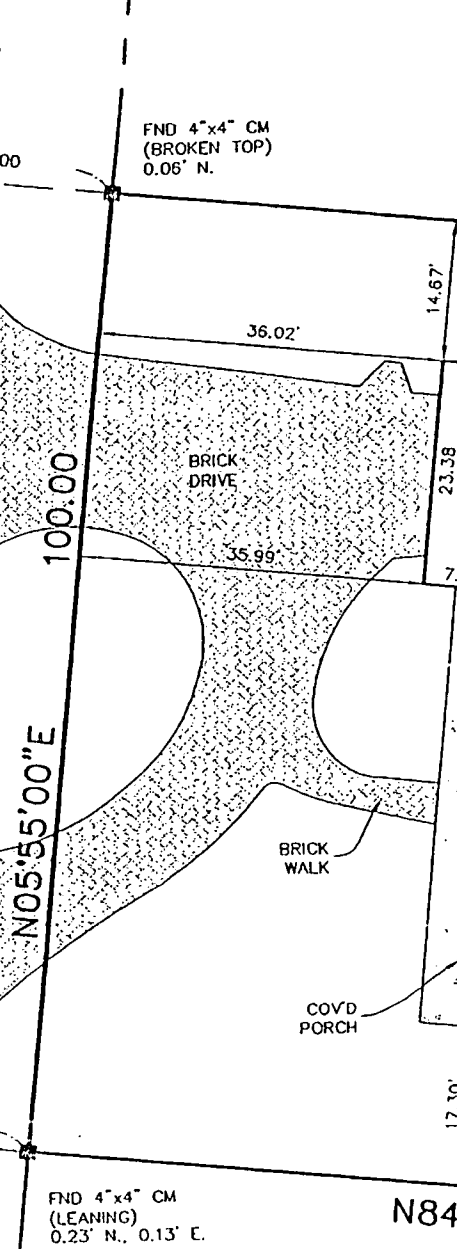
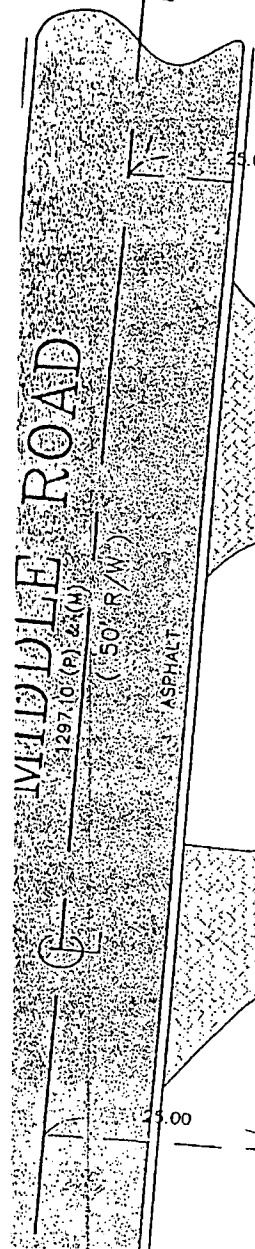
LOT

FND 4"x4" CM
(BROKEN TOP)
0.06' N.

FND 4"x4" CM
BROKEN NO ID
S 0.20'
W 0.29'

FND 4"x4" CM
(LEANING)
0.23' N., 0.13' E.

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



LEGAL DESCRIPTION

OF 50, HIGH POINT, AS RECORDED IN PLAT BOOK 3, PAGE 108,
PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

GROUND CURVATURE	PRO	PRORATED	S/D	SUBDIVISION
ATURE	R	RADIUS	T	TANGENT
SECTION	RAD	RADIAL	TCE	TEMPORARY CONSTRUCTION EASEMENT
NING	RRS	RAILROAD SPIKE	TOB	TOP OF BANK
EASEMENT	RNG	RANGE	TOE	TOE OF SLOPE
ACHMENT	RLS	REGISTERED LAND SURVEYOR	TWP	TOWNSHIP
USE CURVATURE	RCP	REINFORCED CONCRETE PIPE	TRANS	TRANSFORMER
NCY	R/W	RIGHT OF WAY	TYP	TYPICAL
	SS	SANITARY SEWER	UDE	UTILITY & DRAINAGE EASEMENT
EASEMENT	SECT	SECTION	UE	UTILITY EASEMENT
AND SURVEYOR	SET I.B.	SET 5/8 IRON BAR & CAP #4049	U/G	UNDERGROUND
	SET PK	SET PK NAIL & WASHER #4049	WF	WOOD FENCE
	S/T	SEPTIC TANK	WM	WATER METER
	S/W	SIDEWALK	WV	WATER VALVE
	SBT	SOUTHERN BELL TELEPHONE BOX	WPP	WOOD POWER POLE
	S/F	SQUARE FEET		DIAMETER

NOTES:

1. Survey of description as furnished by Client.
2. Lands shown hereon were not abstracted for easements and/or rights-of-way of record.
3. All bearings are referenced to the centerline of Middle Road platted as N.05°55'00"E., all others relative thereto.
4. Elevations shown hereon are relative to National Geodetic Vertical Datum of 1929, and are based on bench mark.
5. There are no above ground encroachments, unless otherwise shown.
6. The National Flood Insurance Program designation as indicated on the F.E.M.A. Map No. 12085C0162-F, dated 10/04/02, locates the parcel in Zone X, base flood elevation N/A feet; subject to any scaling and interpolation factors associated with mapping of this accuracy. This data is an interpretation by the surveyor and is provided as a courtesy. The flood zone(s) should be verified by a determination agency.
7. Underground foundations & utilities not located unless shown.

Date of field survey:
12/10/04

BOUNDARY SUR
PREPARED FOR:

STEPHEN J. BROWN, INC.
SURVEYORS • DESIGNERS •
619 EAST 5TH STREET; STUART, FLORIDA

DRAWN
S.J.B.

CHECKED
S.J.B.

DATE
12/13/2004

SCALE
1" = 20'

JOB NO.
3275-393-01

SHEET
ONE

OF ONE SHEETS

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7/28 - 14 Page of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10898	10 Middle Rd Ferraro	Fence Mail St. Fence Co.	Pass	Close INSPECTOR <i>[Signature]</i>
10834	6 Oakhill Fabricy	underground plumb. + elect. Seagate Len Polanski 263-4448	Pass	INSPECTOR <i>[Signature]</i>
10906	10 EMARITA ?	Garage Door Leak 772-283-4566 Am. Palm bch G. Door	Pass	Close INSPECTOR <i>[Signature]</i>
10930	Williams	IN PROGRESS		
PM	6 Gumbo Limbo Code Red ROVERS		CANCEL	NOT READY INSPECTOR
	OLSON			
	12 KNOWLES	TRIBE	OK	INSPECTOR
10896	BOUCHET 2 FIELDWAY O/B	EXFILTRATION PIPE IN PROGRESS	Pass	INSPECTOR <i>[Signature]</i>
				INSPECTOR

TREE

TOWN OF SEWALL'S POINT, FLORIDA

Date 9-9-02 19 TREE REMOVAL PERMIT No 1196

APPLIED FOR BY GEOFF MAYFIELD (Contractor of Owner)

Owner 10 Middle Rd 219-0620

Sub-division _____, Lot _____, Block _____

Kind of Trees 3 Palms (1 cabbage - 2 Aricas)

No. Of Trees: REMOVE 3

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 15.00

Signed, _____ Applicant Signed, Gene Simmons (T/C) Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty grid area for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued: _____

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner GEFF HANFIELD Address 10 MIDDLE RD. Phone 81-219-0620

Contractor OWNER Address _____ Phone _____

Number of trees to be removed (list kinds of trees) 3 PALMS 1 Cab / 2 Acacias

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):
0

Number of trees to be replaced: _____ (list kinds of trees): _____

Permit Fee \$ 15.-

all 3 OK to remove

\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant _____ Plans approved as marked _____

Approved by Building Inspector [Signature] Date submitted: 9/6/2

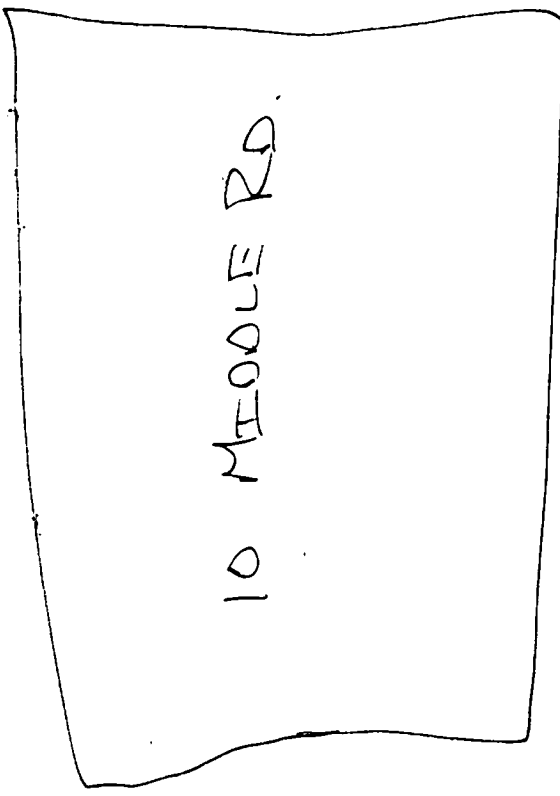
Completed _____
Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

See attached Tree Species List

I WILL NOT GUMBO → *
BE REMOVED LIMBO
THE GUMBO LIMBO



* PALM + ?
* PALM

* → PALM

MEDDSE ROAD

THE TWO PALMS, ALONG THE SIDE OF
THE HOUSE ARE GROWING OVER THE ROOF
AND PREVENTING GRASS FROM GROWING.
THE PALM IN THE BACK OF HOUSE IS GROWING
TALL



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Nicholas Ferraro Address [REDACTED] Phone (305) 338-6919

Contractor TRE Bros. Address _____ Phone _____

No. of Trees: REMOVE 1 Species: Sabal Palm

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

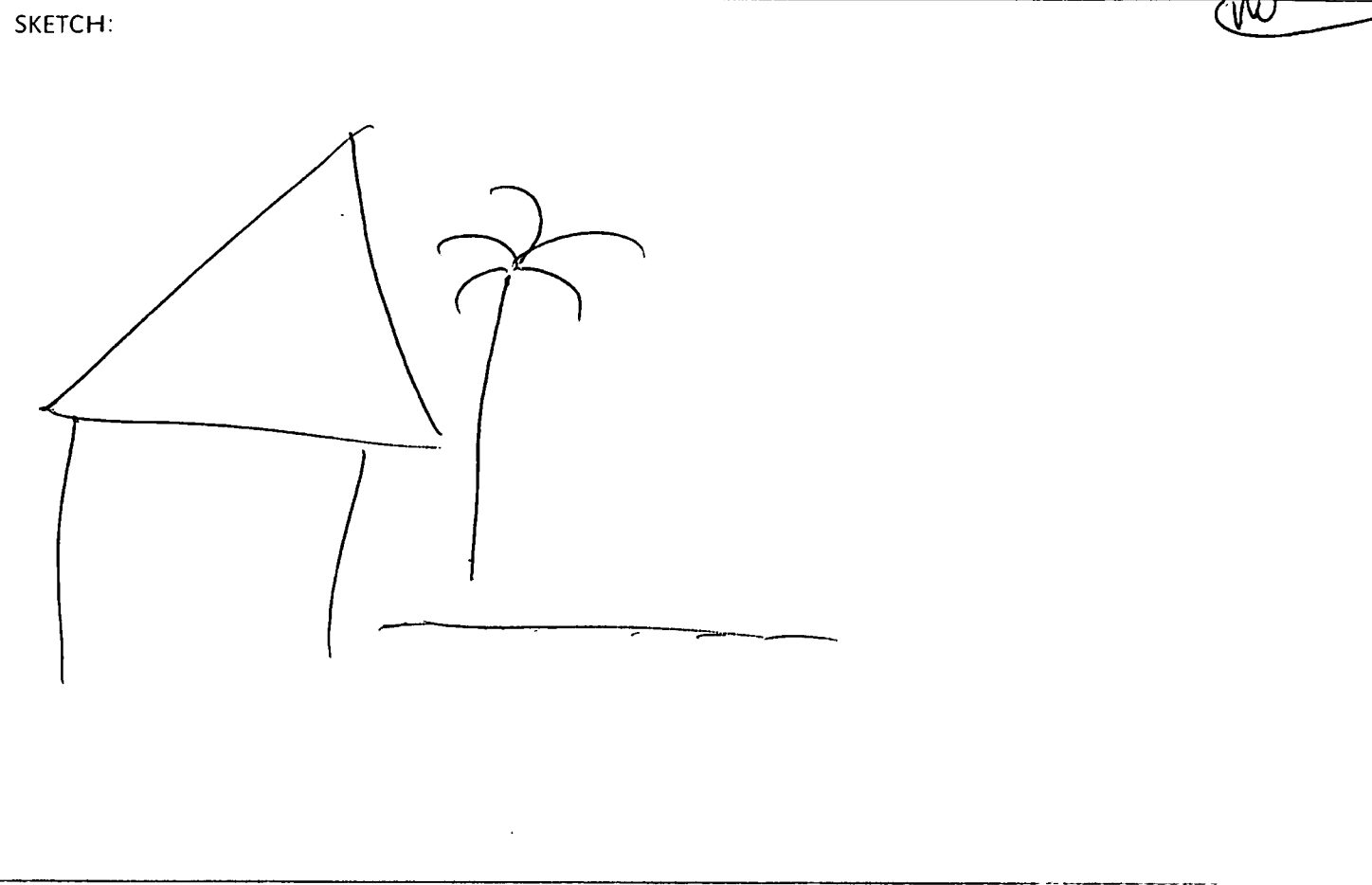
Reason for tree removal/relocation (See notice above) Distance to Home

(too close to roof)

Signature of Property Owner [Signature] Date 6/20/10

Approved by Building Inspector: [Signature] Date 6.21.10 Fee: 15⁰⁰

NOTES: _____ Pd Cash





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Nicholas Ferraro Address 10 Huddle Road Phone 305-338-6919
 Contractor Tri-Bros Tree Address 8932 Carlton Road Phone 772-465-9000
 No. of Trees: REMOVE 5 Species: Port St. Lucie, FL 34987
Palm Trees (Mexican)
 No. of Trees: RELOCATE _____ Species: _____
 No. of Trees: REPLACE _____ Species: _____

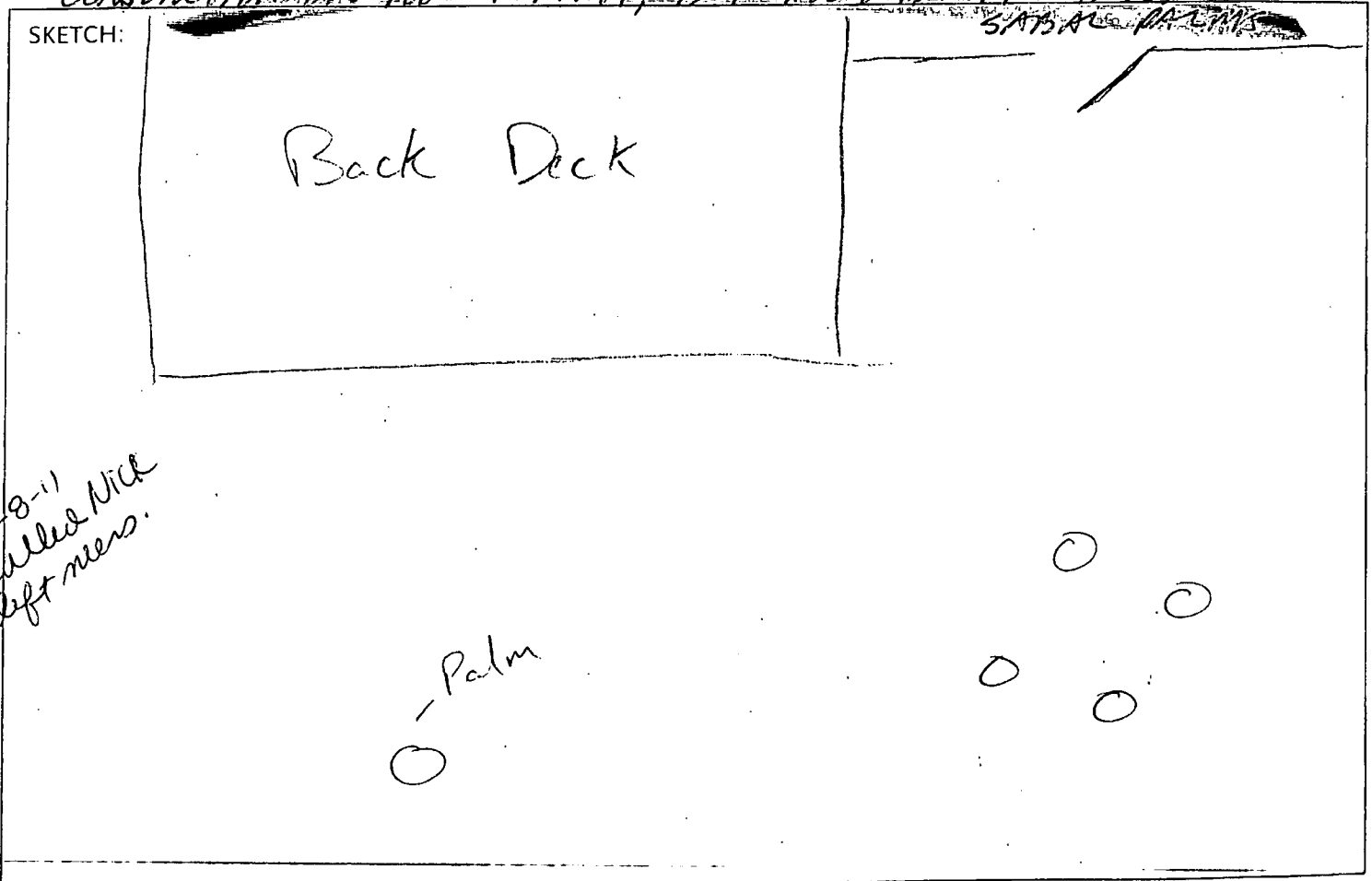
ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRE A FINAL INSPECTION

Reason for tree removal /relocation (See notice above) Future Pool + Patio Construction

Signature of Property Owner [Signature] Date 6/7/11

Approved by Building Inspector [Signature] Date 6-8-11 Fee: _____

NOTES: CHANGE / SMALL AREA IS PROTECTED. TREES CANNOT BE REMOVED WITH CONSTRUCTION OF POOL PERMIT, BUT MUST BE MITIGATED WITH NEW SIMILAR PALMS



6-8-11
 called Nick
 left mess.