

**12 Middle Road**

**271**

**SFR**

TOWN OF SEWALL'S POINT - FLORIDA

Application For Building Permit

Owner PAUL HENNINGS Present Address NO RIVER SHORES Phone 287-3279

Architect \_\_\_\_\_ Address \_\_\_\_\_

General Contractor BOB SIMMONS Address 944 SAGO DR Phone 283-1697

Where Licensed MARTIN License No. I

Plumbing Contractor LINDSEY Where Licensed MARTIN No. \_\_\_\_\_

Electrical Contractor EVANS Where Licensed " No. \_\_\_\_\_

Property Location SEWALL'S POINT Subdivision HIGH POINT Lot No. 49

Lot Dimensions 100 X 150 Lot Area \_\_\_\_\_ Sq. Ft. \_\_\_\_\_

Purpose of Building RESIDENTIAL Type of Construction CBS

Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)

Outside of Walls 1830 Inside of Walls 1664

Street or Road building will front on MIDDLE ST

Clearances - Front <sup>51' FROM ROAD EDGE</sup> 36' Back 71' Side 16' Side 20' River \_\_\_\_\_

Well Location CITY WATER <sup>(WELL FOR SPRINKLER FRONT)</sup> Septic Tank Location REAR

Building elevation (By Ordinance Definition) \_\_\_\_\_

Contract Price (Include Plumbing, Electrical, Air Conditioning) \$ 32,000<sup>00</sup>

<u>PERMIT FEE</u>	<u>New Home</u>	<u>Additions</u>	<u>Others</u>
General (\$3.00 per \$1000 or Fraction) <u>96.00</u>			
Plumbing (Flat Fee) -----	<u>\$10.00</u>	<u>\$3.00</u>	
Electrical (Flat Fee) -----	<u>\$10.00</u>	<u>\$3.00</u>	
Total (To be paid by General Contractor or Owner) -----	<u>116.00</u>		

SIGNED: - General Contractor or Owner Bob Simmons

Building Inspector Comments: \_\_\_\_\_

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FOR TOWN RECORDS: Date Drawings submitted \_\_\_\_\_

Date Permit approved \_\_\_\_\_

Date Permit Fee paid \_\_\_\_\_

Date First Inspection \_\_\_\_\_

Date Final Inspection \_\_\_\_\_

Date Occupancy approved \_\_\_\_\_

271

**430**

**POOL & ENCLOSURE**

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TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 430

Date \_\_\_\_\_

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner MR & MRS. PAUL HENNINGS Present Address 12 Middle Rd. Ph 287-3279

General Contractor Bush Pools & Pools, Inc. Address 3309 DEANER AVE Ph 461-9246

Where licensed MARTIN COUNTY License No. 2398

Plumbing Contractor \_\_\_\_\_ License No. \_\_\_\_\_  
Electrical Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Street building will front on 12 Middle Rd

Subdivision \_\_\_\_\_ Lot No. 49 Area High Point

Building area, inside walls (excluding garage, carport, porches) Sq ft \_\_\_\_\_

Other Construction (Pools, additions, etc.) SWIMMING POOL & SCREEN ENCLOSURE

Contract Price (excluding land, rugs, appliances, landscaping) \$ \_\_\_\_\_

Total cost of permit \$ 7,332.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

X Erwin B. Bush  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

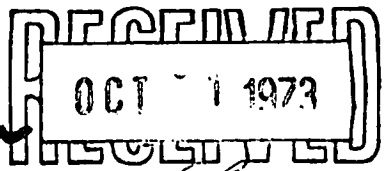
X Mrs. P. J. Hennings  
Signed by Owner

10/5/73 - Called requesting  
plans & photos AB  
10/8/73 - Called requesting  
plot plan AB

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted \_\_\_\_\_  
Date approved 10/8/73 Edw. Jensen



Certificate of Occupancy issued \_\_\_\_\_ Date \_\_\_\_\_

W. Jensen 10/15/73 Paul only 430

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 434  
Date 11-1-73  
*Issued*

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner PAUL HENNING Present Address 12 MIDDLE ROAD Ph \_\_\_\_\_

General Contractor NETTO CONST, INC Address P.O. Box 399  
VERO BEACH, FL Ph 562-3307

Where licensed STATE OF FLORIDA License No. RG0005290

Plumbing Contractor WILL ADVISE License No. \_\_\_\_\_  
Electrical Contractor WILL ADVISE License No. \_\_\_\_\_

Street building will front on 12 MIDDLE ROAD

Subdivision HIGH POINT Lot No. 49 Area 15 MSF

Building area, inside walls (excluding garage, carport, porches) NEW 360 SF  
SEWALLS POINT Sq ft \_\_\_\_\_

Other Construction (Pools, additions, etc.) Pool EXISTING 2400 SF

Contract Price (excluding land, rugs, appliances, landscaping) \$ 20,000

Total cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Stan Stevens  
Signed by General Contractor

NETTO CONSTRUCTION, INC.

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Paul Henning  
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted \_\_\_\_\_

Date approved 10/20/73 Chas G. Dwyer

Certificate of Occupancy issued \_\_\_\_\_  
Nov 10/25/73 Date

**434**

**ADDITION**

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**2928**

**REPAIR SOFFIT & FASCIA**

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Permit No. 2928

Date \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner CLIFFORD SADLER Present Address 12 MIDDLE R.

Phone 283-8868 LOT 14 HIGH POINT

Contractor BETTER HOMES EXT INC Address 8288 BUSINESS PARK DR.

Phone 340-0492

Where licensed \_\_\_\_\_ License number SB024063

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: REPAIR TO SOFFIT & FASCIA

12 MIDDLE RD.

State the street address at which the proposed structure will be built:

Subdivision HIGH POINT Lot number 14 Block number \_\_\_\_\_

Contract price \$ 2160 Cost of permit \$ 15

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner C. C. Sadler

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: \_\_\_\_\_ Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_ Commissioner \_\_\_\_\_ Date \_\_\_\_\_ Final Approval given: \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_

SP1282

Permit No. 2928

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

**2956**

**REPLACE SCREEN ENCLOSURE**

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Permit No. \_\_\_\_\_

Sewalls Point

Date \_\_\_\_\_

2956

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner M/M Guder Present Address #12 Middle Rd.

Phone 283-8868

Contractor Pioneer Screen Co. Inc. Address 5121 SE Wacker St.

Phone 407-285-9197 STUART FL 34997

Where licensed Martin County License number #00409

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Replace Existing Pool Enclosure - Game Size

State the street address at which the proposed structure will be built:

#12 Middle Rd. Sewalls Pt.

Subdivision \_\_\_\_\_ Lot number \_\_\_\_\_ Block number \_\_\_\_\_

Contract price \$ 2400<sup>00</sup> Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Craig Rice

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Clifford C. Sullivan

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: \_\_\_\_\_ Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

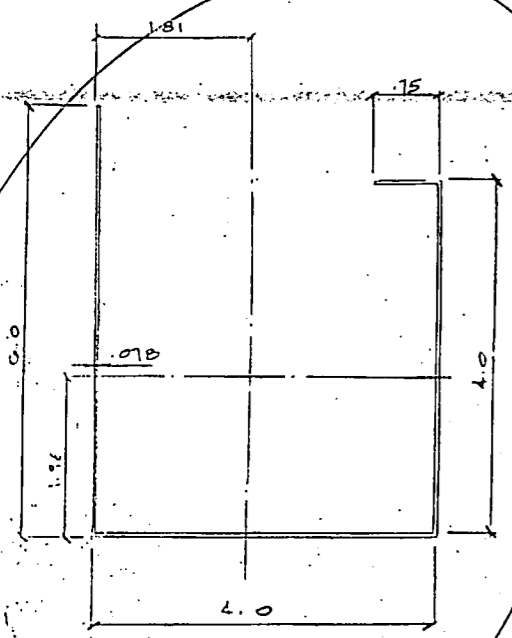
Approved: \_\_\_\_\_ Commissioner \_\_\_\_\_ Date \_\_\_\_\_ Final Approval given: \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_

SP1282

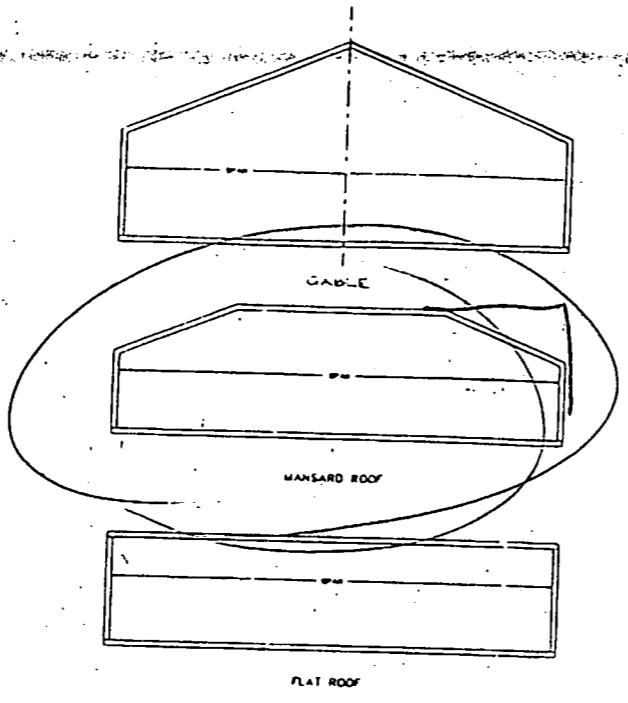
Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

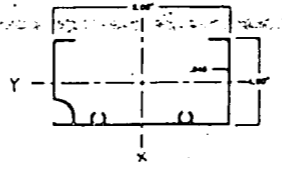


ALLOY 6063-T6  
 $A = 1.15 \text{ IN}^2$   
 $S_x = 1.21 \text{ IN}^3$   
 $S_y = 1.04 \text{ IN}^3$

SUPER GUTTER



SPAN-DEFINITION

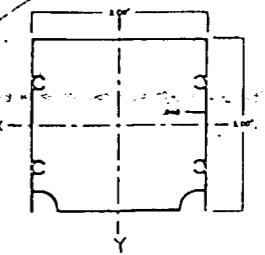


1" x 2" OPEN BACK  
 ALLOY 6063-T6  
 $A = 0.194 \text{ IN}^2$   
 $I_x = 0.126 \text{ IN}^4$   
 $S_x = 0.125 \text{ IN}^3$

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 15# PER S.F.		
3'				
4'	4'-0			
5'	3'-3			
6'	2'-0			
7'	-			
8'	-			
9'	-			
10'	-			

1"x2" OPEN BACK

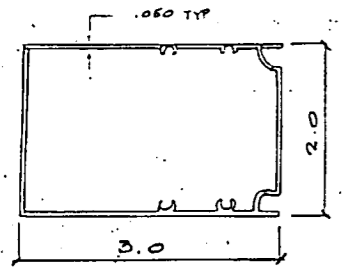


2" x 2" PATIO BEAM  
 ALLOY 6063-T6  
 $A = 0.412 \text{ IN}^2$   
 $I_x = 0.201 \text{ IN}^4$   
 $S_x = 0.201 \text{ IN}^3$

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 15# PER S.F.		
3'				
4'	9'-9	7'-2		
5'	8'-8	6'-5		
6'	7'-11	5'-10		
7'	7'-4	-		
8'	6'-10	-		
9'	6'-0	-		
10'	6'-2	-		

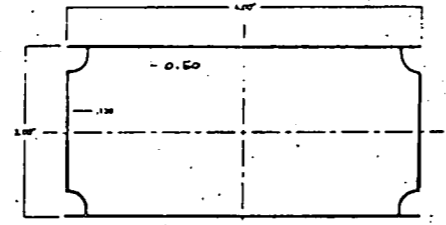
2"x2" PATIO BEAM



ALLOY 6063-T6  
 AREA = 0.49 IN<sup>2</sup>  
 $S_x = 0.43 \text{ IN}^3$

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 15# PER S.F.		
3'				
4'	14'-2	10'-0		
5'	12'-9	9'-3		
6'	11'-8	8'-7		
7'	10'-9	7'-11		
8'	10'-1	7'-5		
9'	9'-0	7'-0		
10'	9'-0	-		

2"x3" SELF MATING BEAM

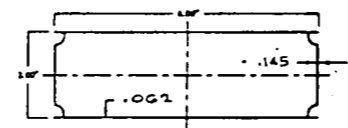


2" x 4" SELF MATING BEAM  
 ALLOY 6063-T6  
 WALL = .050  
 FLANGE = .120  
 $A = 0.86 \text{ IN}^2$   
 $I_x = 2.25 \text{ IN}^4$   
 $S_x = 1.125 \text{ IN}^3$

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 15# PER S.F.		
3'				
4'	22'-11	15'-0		
5'	20'-0	14'-9		
6'	18'-9	13'-6		
7'	17'-4	12'-6		
8'	16'-3	11'-0		
9'	15'-4	11'-0		
10'	14'-6	10'-5		

2"x4" SELF MATING BEAM



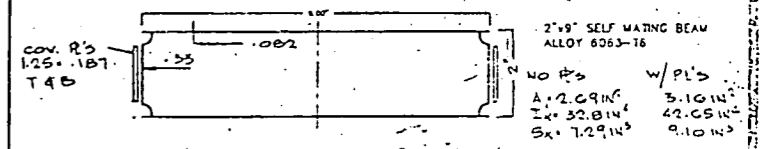
2" x 6" SELF MATING BEAM  
 ALLOY 6063-T6  
 $A = 1.29 \text{ IN}^2$   
 $I_x = 6.90 \text{ IN}^4$   
 $S_x = 2.30 \text{ IN}^3$

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 15# PER S.F.		
3'				
4'				
5'				
6'	20'-5	19'-0		
7'	24'-5	16'-1		
8'	26'-0	16'-11		
9'	21'-9	16'-0		
10'	20'-7	15'-2		

FOR GENERAL NOTES SEE SH. NO. 4 OR 5

2"x6" SELF MATING BEAM



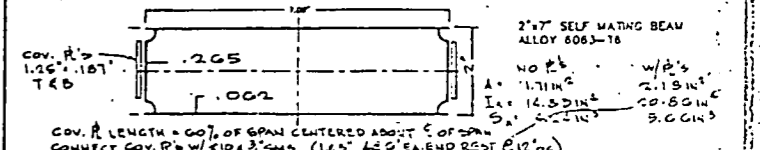
2" x 9" SELF MATING BEAM  
 ALLOY 6063-T6  
 NO #s  
 $A = 2.69 \text{ IN}^2$   
 $I_x = 32.8 \text{ IN}^4$   
 $S_x = 7.29 \text{ IN}^3$

FOR COV. R CORR. LENGTH SEE 2.1.5.4 BELOW

MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS AT VARIOUS BEAM SPACING

NO #s	3'-0"	5'-6"	6'-0"	7'-0"	7'-6"	8'-0"
W/PL's	50'-11	45'-0	40'-0	35'-0	41'-0	40'-3
	50'-4	53'-8	51'-5	47'-7	46'-0	44'-0

2"x9" SELF MATING BEAM



2" x 7" SELF MATING BEAM  
 ALLOY 6063-T6  
 NO #s  
 $A = 1.71 \text{ IN}^2$   
 $I_x = 14.3 \text{ IN}^4$   
 $S_x = 6.21 \text{ IN}^3$

COV. R LENGTH = 60% OF SPAN CENTERED ABOUT C OF SPAN  
 CONNECT COV. R's W/ 5/16" x 3/8" SWS (125) 420' EA. END REST @ 1200

SPACING	SCREEN ROOF NO COV. R's	SCREEN ROOF W/COV R's		
3'				
4'				
5'				
6'	35'-7	42'-6		
7'	35'-0	39'-2		
8'	30'-10	36'-8		
9'	29'-1	34'-7		
10'	27'-7	32'-9		

2"x7" SELF MATING BEAM

DATE	BY	DESCRIPTION

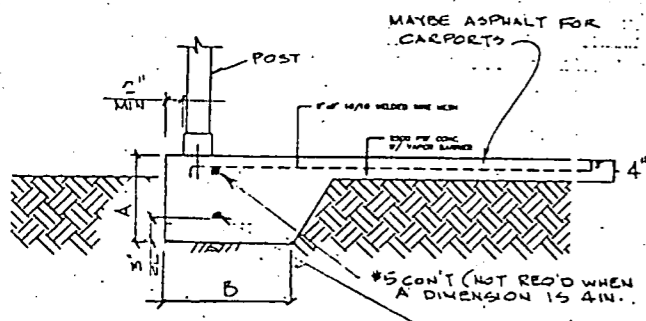
**PIONEER SCREEN CO.**  
 FL TAMPA FL  
 STUART

WILLIAM J. MCGRAW PE  
 CONSULTING ENGINEERS  
 FL TAMPA FL

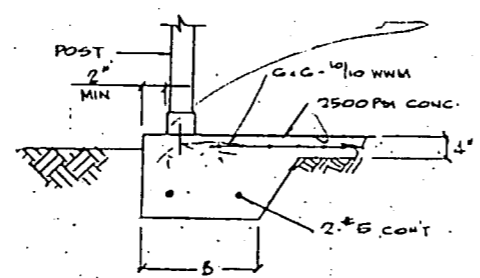
ALUMINUM CONSTRUCTION  
 DETAILS

DRAWN	SM
CHECKED	WJM
SCALE	NT.S.
DATE	9-8-89
JOB NO.	

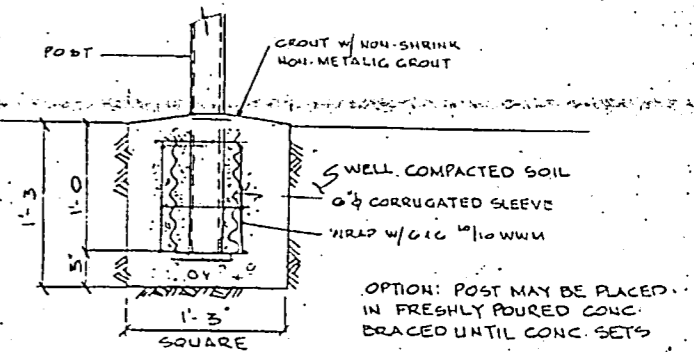
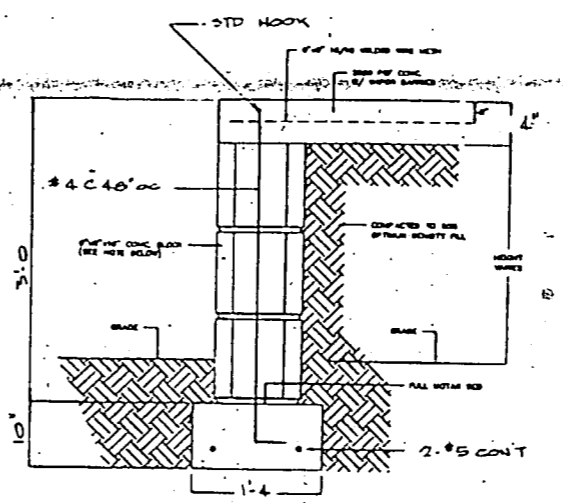
SHEET 1  
 OF 5 SHEETS  
 11/12/89



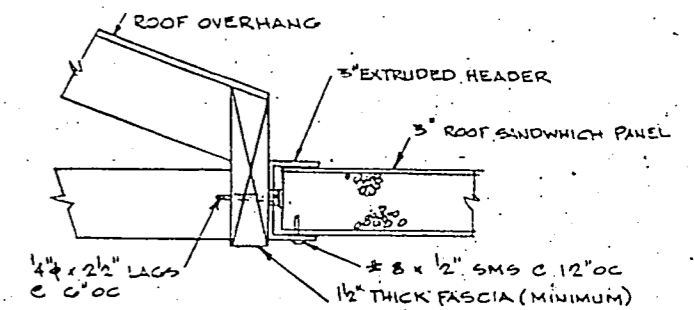
BEAM	SCREEN ENCLOSURE		CARPORT ATTACHED	
	A	B	A	B
2x4 SM	4"	0"	1'-0"	1'-0"
2x6 SM	4"	0"	1'-3"	1'-3"
2x7 SM	1'-0"	8"	1'-3"	1'-3"
2x9 SM	1'-0"	8"	1'-3"	1'-3"



FOR DIMENSIONS A & B SEE ADJACENT TABLE "CARPORT ATTACHED"



FOOTING FOR FREE STANDING CARPORT

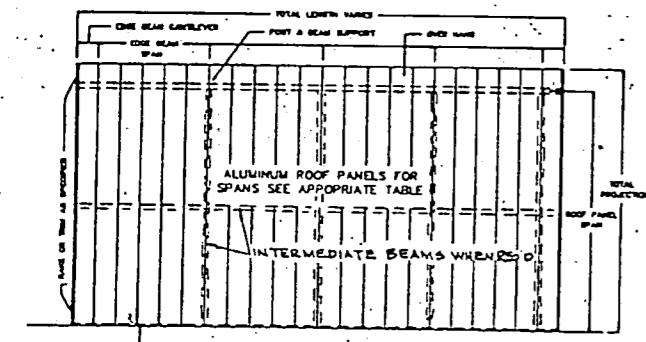


SANDWICH PANEL FASCIA ATTACHMENT

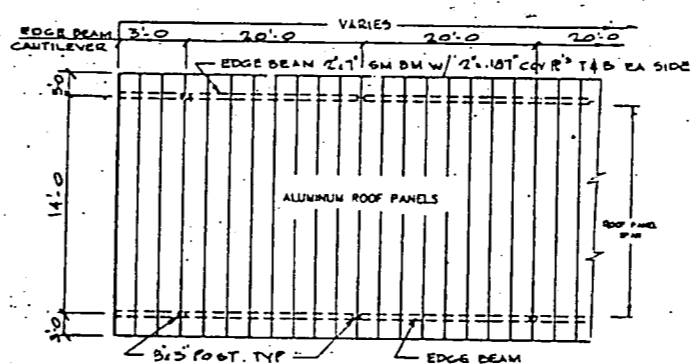
NEW SLAB ON GRADE FOR SCREEN ENCLOSURES & ATTACHED CARPORTS

NEW SLAB ON GRADE FOR ENCLOSURES WITH SCREEN WALLS & ALUMINUM ROOFS

RAISED SLAB WITH 8" CONC. BLOCK FOR ALUMINUM SCREEN ROOMS, GLASS ROOMS AND PATIO COVERS



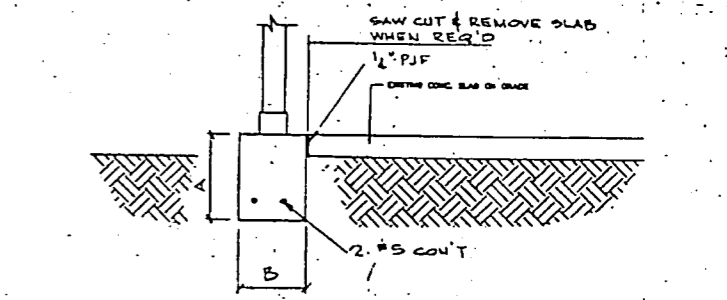
BEAM	MAXIMUM CLEAR BEAM SPANS CONT. EDGE BEAM FOR ROOF SPANS BELOW					TYPICAL POST SIZE & NO. OF BASE ANCHORS
	10'	12'	14'	16'	18'	
2x4 SM SA=0.45M <sup>3</sup>	5'-8"	-	-	-	-	2"x2"x.040" POST W/ 2-1/2"x1/2" (EMBEDMENT) EXPANSION BOLTS W/ 2x2x2x4 @ 2"
2x6 SM SA=1.15M <sup>3</sup>	10'-1"	9'-5"	8'-10"	-	-	2"x3"x.050" POST W/ 2-3/8"x1/2" EXPANSION BOLTS W/ 2x2x2x4 @ 2"
2x8 SM SA=2.35M <sup>3</sup>	14'-3"	13'-3"	12'-5"	15'-6"	13'-3"	3"x3"x.091" POST W/ 4-3/8"x1/2" EXPANSION BOLTS W/ 2x2x2x4 @ 2"
2x9 SM SA=3.5M <sup>3</sup>	18'-7"	17'-3"	16'-3"	20'-2"	19'-4"	3"x5"x.091" POST W/ 4-3/8"x1/2" EXPANSION BOLTS W/ 2x2x2x4 @ 2"
2x10 SM SA=4.75M <sup>3</sup>	23'-6"	21'-10"	20'-6"	25'-6"	24'-5"	3"x7"x.091" POST W/ 4-3/8"x1/2" EXPANSION BOLTS W/ 2x2x2x4 @ 2"
2x12 SM SA=6.75M <sup>3</sup>	29'-7"	27'-0"	24'-9"	29'-7"	25'-6"	3"x7"x.091" POST W/ 4-3/8"x1/2" EXPANSION BOLTS W/ 2x2x2x4 @ 2"



FOR BEAM TO POST CONNECTION SEE "CARPORT ATTACHED"

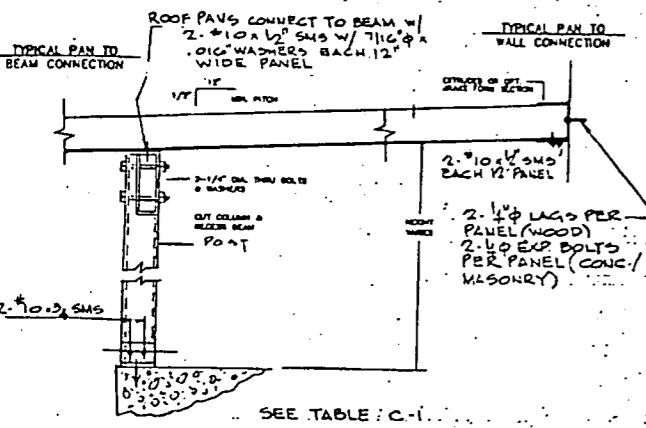
A = 2.46M<sup>3</sup>  
I<sub>x</sub> = 20.06M<sup>4</sup>  
S<sub>x</sub> = 8.00M<sup>3</sup>

2"x7" BM W/ 2"x.187" R<sub>x</sub>-TED. & LENGTH IS 60% OF BM SPAN FOR SIMPLE B.Y. SPAN. CONNECT R<sub>x</sub> TO BM W/ 10"x3" SMS (FROM EA. END OF R. 15.5", 40", RC 16.00)



BEAM	SCREEN ENCLOSURE	
	A	B
2x4 SM	10'	10'
2x6 SM	1'-0"	1'-0"
2x7 SM	1'-0"	1'-0"
2x9 SM	1'-0"	1'-0"

ALUM. ROOF PANEL SPAN	ALUM. ROOF W/ SCREEN WALLS		ALUM. ROOF W/ ALUM. WALLS	
	A	B	A	B
10'	1'-0"	1'-0"	1'-3"	1'-3"
12'	1'-2"	1'-2"	1'-6"	1'-6"
14'	1'-5"	1'-5"	1'-7"	1'-7"
15'	1'-5"	1'-5"	1'-8"	1'-8"



CARPORT (ATTACHED)

EDGE BEAM & POST SPAN TABLE C-1

CARPORT (FREE STANDING)

EXISTING SLAB ON GRADE

DATE	BY	DESCRIPTION
11/22/89	WJM	AS NOTED
REVISIONS		

**PIONEER SCREEN CO.**  
STUART FL

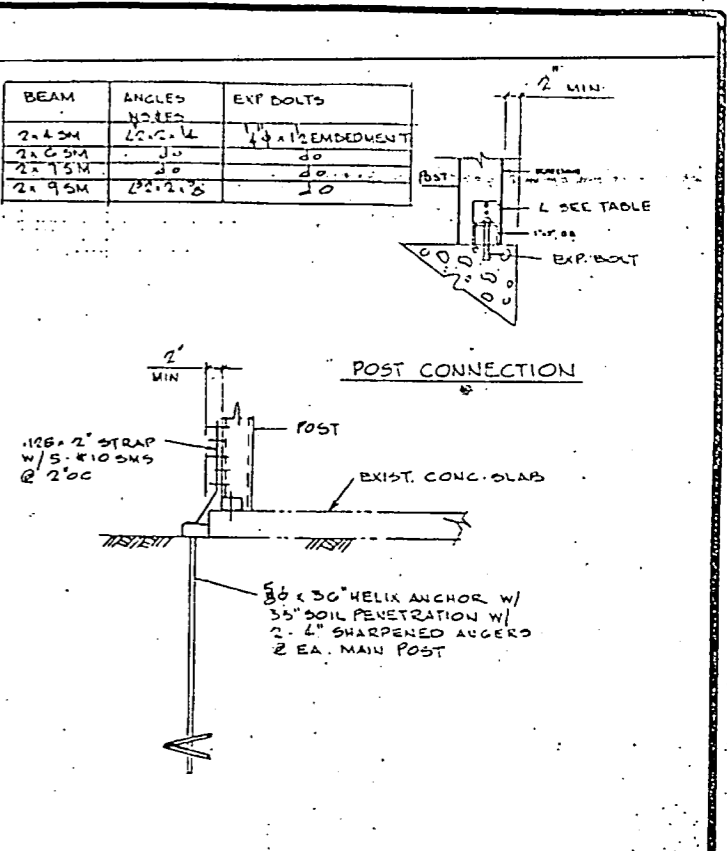
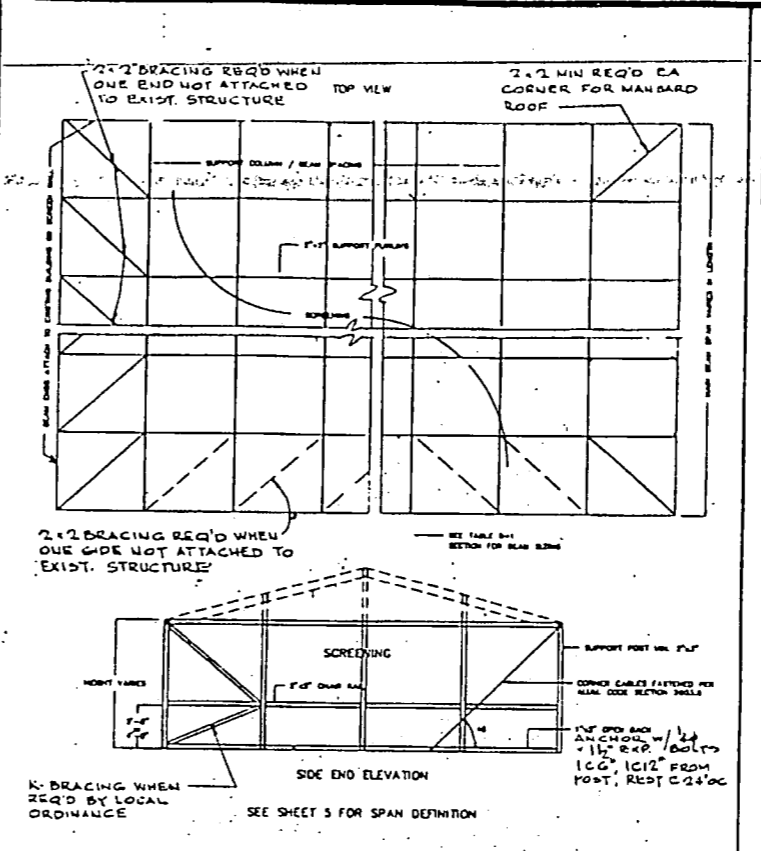
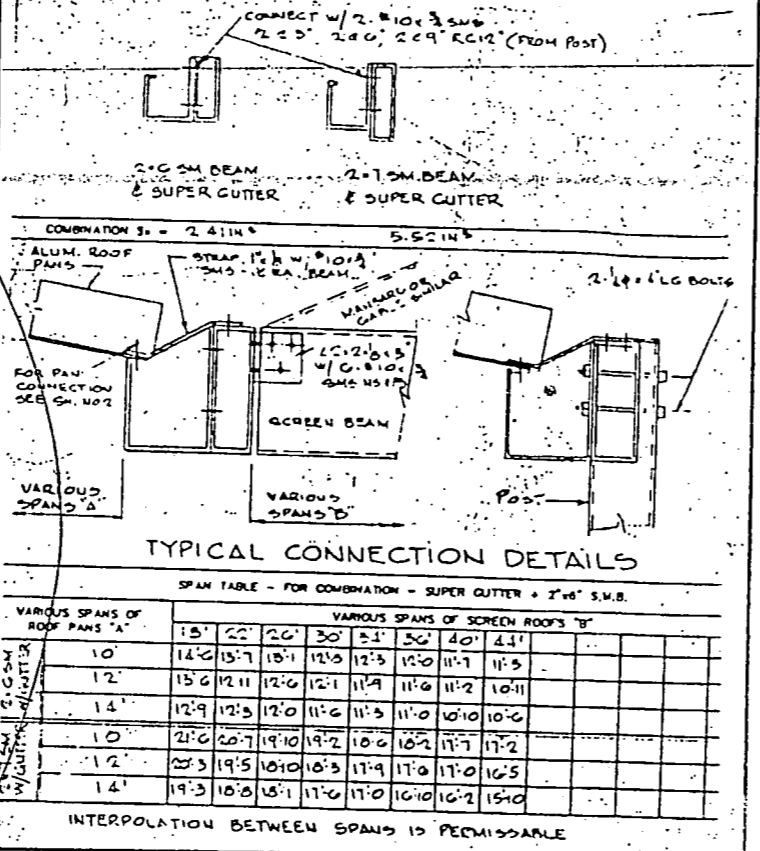
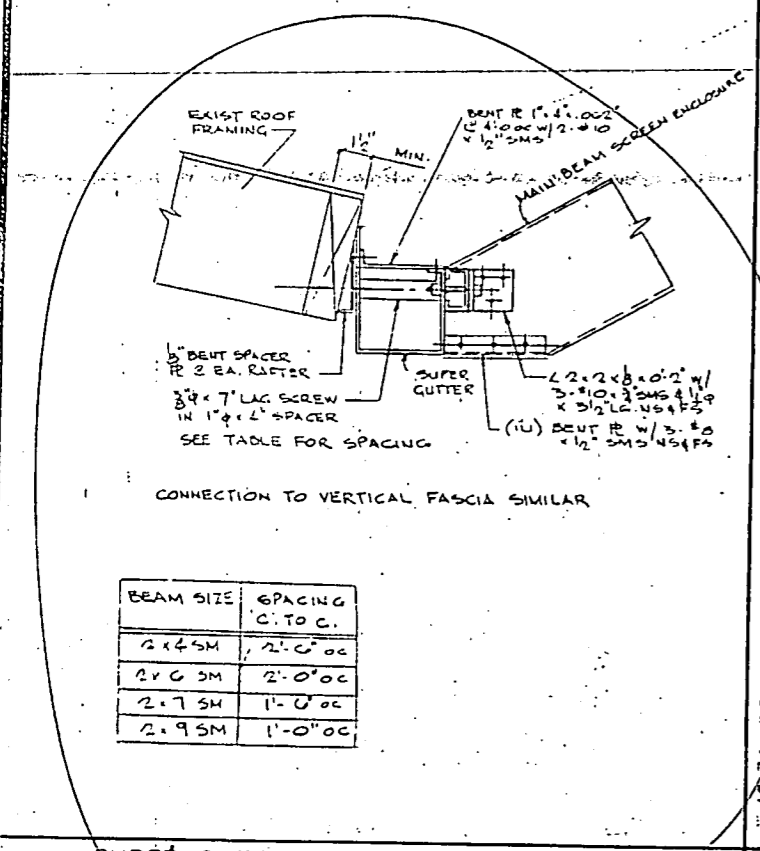
**WILLIAM J. MCGRAW PE**  
CONSULTING ENGINEERS  
TAMPA FL

ALUMINUM CONSTRUCTION  
DETAILS

DATE	BY	DESCRIPTION
7/24/89 <td>WJM <td>AS NOTED</td> </td>	WJM <td>AS NOTED</td>	AS NOTED

DRAWN: BM  
CHECKED: WJM  
SCALE: N.I.S.  
DATE: 7/24/89  
JOB NO. 4/20/89

5 SHEETS

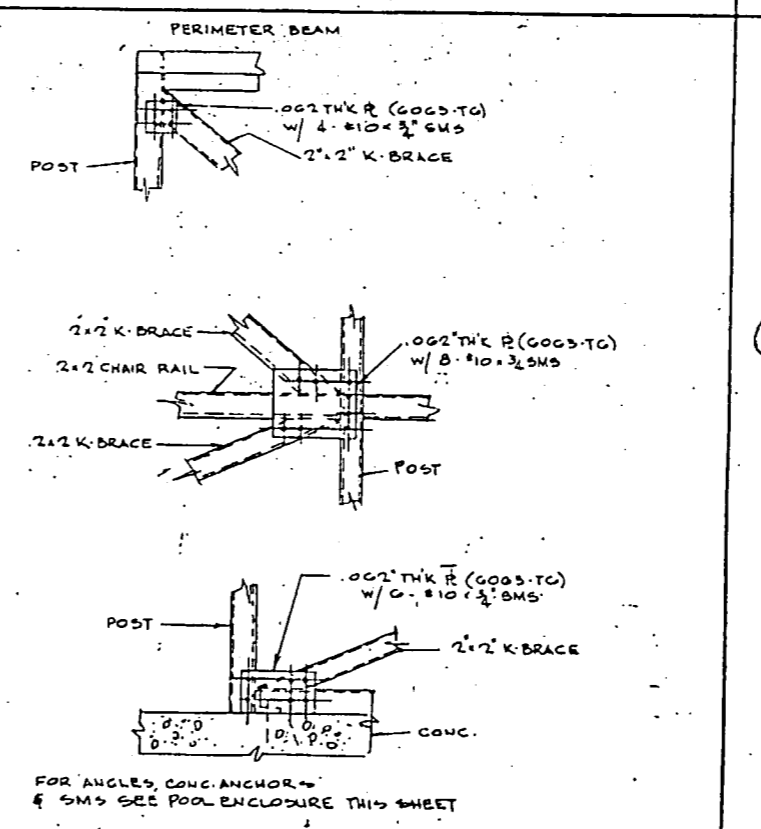
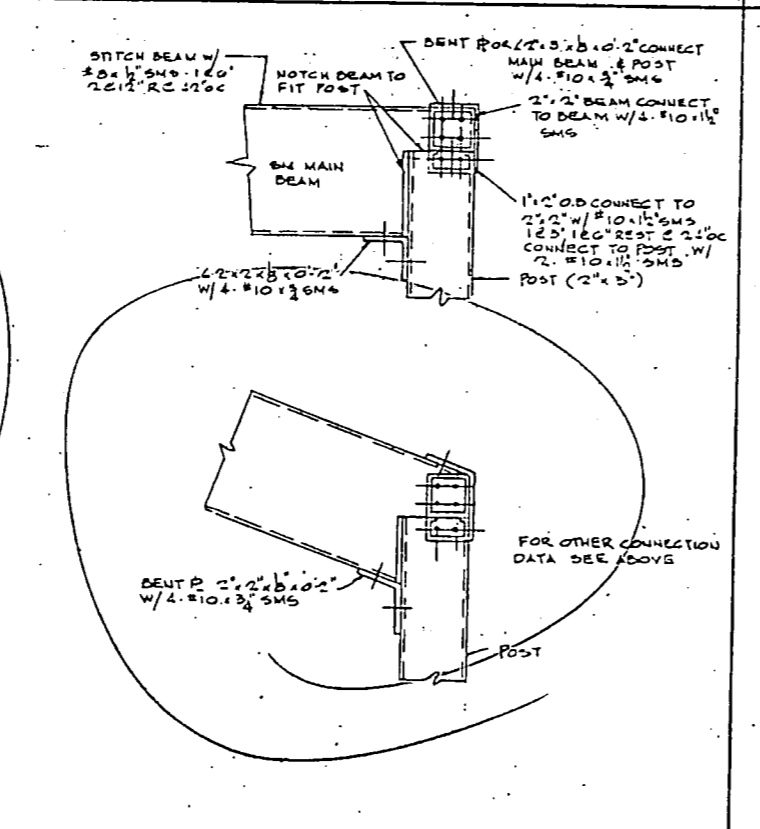
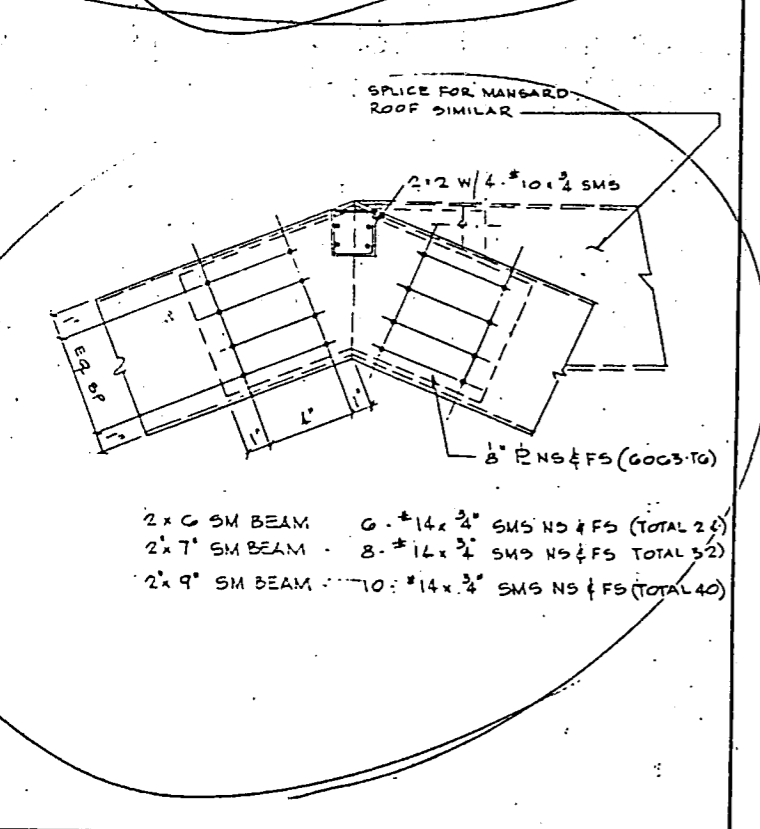


SUPER GUTTER - FASCIA ATTACHMENT

CARRIER BEAM SPAN TABLE

POOL ENCLOSURE (TYPICAL)

POOL ENCLOSURE & SCREEN ROOM WITH SCREEN ROOF



BEAM SIZE	MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS @ VARIOUS SPACING							
	15'	22'	26'	30'	34'	38'	42'	44'
2x4 SM BEAM S <sub>x</sub> = 1.125 in <sup>3</sup>	22-1	20-0	19-7	18-9	18-0	17-4	16-9	16-5
2x6 SM BEAM S <sub>x</sub> = 2.35 in <sup>3</sup>	-	-	-	26-5	25-7	24-5	23-10	23-0
2x7 SM BEAM S <sub>x</sub> = 4.24 in <sup>3</sup>	-	-	-	35-7	34-5	33-0	31-10	30-10
2x7 SM BEAM W/ COV. P. S <sub>x</sub> = 7.35 in <sup>3</sup>	-	45-9	43-6	41-9	40-1	38-8	37-4	36-2
2x9 SM BEAM S <sub>x</sub> = 7.29 in <sup>3</sup>	-	50-11	48-6	46-6	44-4	43-0	41-6	40-5
2x9 SM BEAM W/ COV. P. S <sub>x</sub> = 9.10 in <sup>3</sup>	-	56-4	55-8	54-5	53-4	52-7	51-6	51-0
2x7 SM BEAM W/ COV. P. S <sub>x</sub> = 5.66 in <sup>3</sup>	-	45-5	43-2	41-5	39-6	38-3	37-0	35-9

NOTE: THIS TABLE IS BASED ON:  
 WINDLOAD OF 120 MPH      LEVELLOAD = 7 LBS/SQ. FT.

TYPICAL SPLICE DETAIL

TYPICAL POST TO BEAM CONNECTIONS FOR SCREEN ENCLOSURES

K-BRACING

SCREEN ROOF BEAM - SPAN TABLE S-1

DATE	BY	DESCRIPTION
11/28/09	WJM	AS NOTED

**PIONEER SCREEN CO.**  
 STUART FL

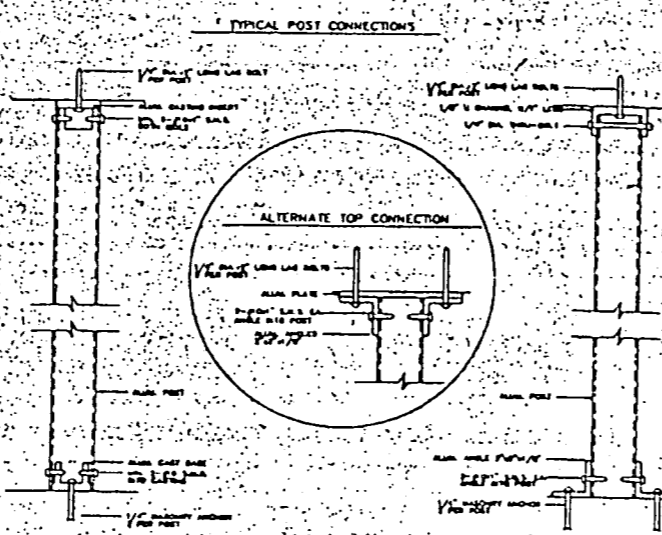
WILLIAM J. McGRAW PE  
 CONSULTING ENGINEERS  
 TAMPA FL

ALUMINUM CONSTRUCTION  
 DETAILS

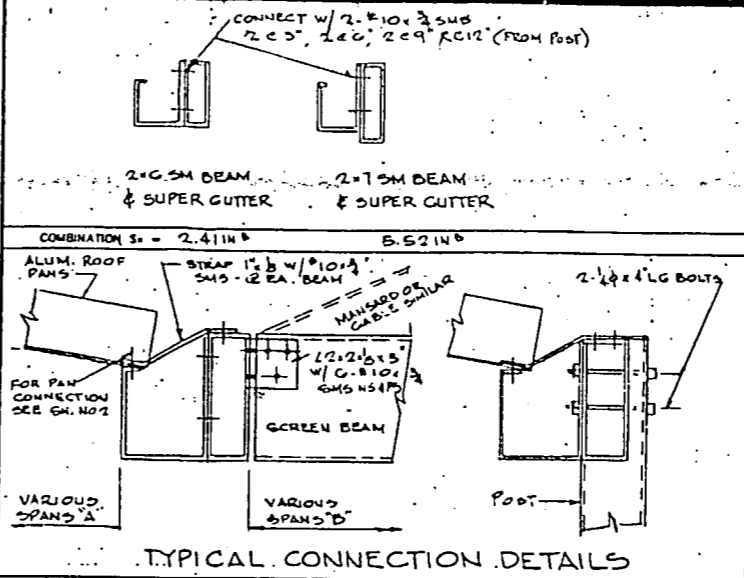
DRAWN BM  
 CHECKED WJM  
 SCALE N.T.S.  
 DATE 7/24/09  
 JOB NO. \_\_\_\_\_  
 SHEET 3 OF 5

**GENERAL NOTES**

- A. CODES:**  
 1. STANDARD BUILDING CODE, 1988 EDITION  
 2. WIND VELOCITY - 120 MPH  
 3. SPECIFICATIONS FOR ALUMINUM STRUCTURES 4<sup>TH</sup> ED. "ENGINEERING DATA FOR ALUMINUM STRUCTURES" BY THE ALUMINUM ASSOCIATION
- D. MATERIALS:**  
 1. ALUMINUM ROOF PANELS 3005-H16  
 2. EXTRUDED BEAMS, SHAPES & RS 6063-T6  
 3. BOLTS & SHEET METAL SCREWS 2024-T4  
 4. CONCRETE 2500 PSI @ 28 DAYS  
 5. REINFORCING STEEL ASTM A615-60  
 6. SCREEN 18/14, 20/20
7. ALUMINUM SANDWICH PANELS AS MFG BY AMERICAN PREFAB CO. PRODUCT APPROVAL NO. 85-02-2



NOTE: ANGLES MAY HAVE 1 LEG INSIDE POST



SPAN TABLE - FOR COMBINATION - SUPER GUTTER + 2"x6" S.M.B.

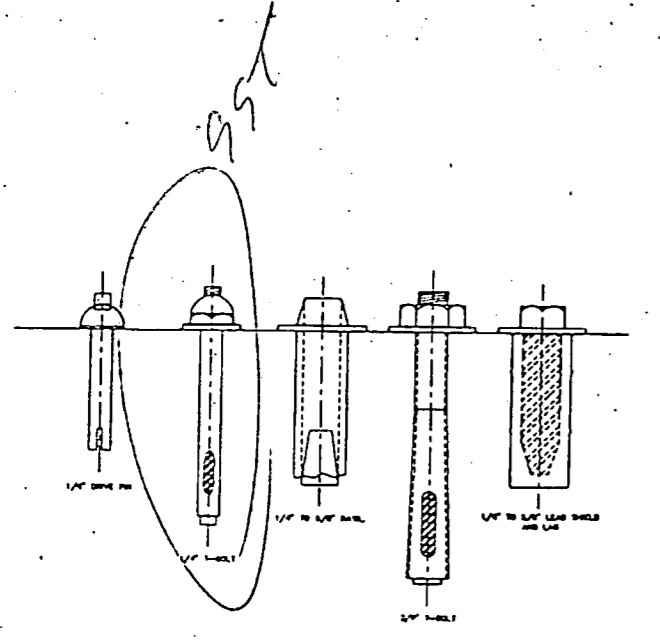
VARIOUS SPANS OF ROOF PANELS "A"	VARIOUS SPANS OF SCREEN ROOF "B"							
	15'	22'	26'	30'	34'	38'	42'	46'
2x6 S.M. W/ GUTTER	10'	14'6"	15'7"	18'1"	19'0"	19'2"	19'7"	19'11"
2x7 S.M. W/ GUTTER	10'	12'9"	12'5"	12'0"	11'5"	11'0"	10'6"	10'2"
2x6 S.M. W/ GUTTER	12'	15'6"	15'7"	18'1"	19'0"	19'2"	19'7"	19'11"
2x7 S.M. W/ GUTTER	12'	12'9"	12'5"	12'0"	11'5"	11'0"	10'6"	10'2"
2x6 S.M. W/ GUTTER	14'	17'6"	17'7"	20'1"	21'0"	21'2"	21'7"	21'11"
2x7 S.M. W/ GUTTER	14'	14'6"	14'2"	13'6"	13'1"	12'6"	12'2"	11'8"

INTERPOLATION BETWEEN SPANS IS PERMISSIBLE

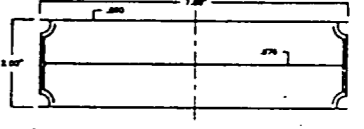
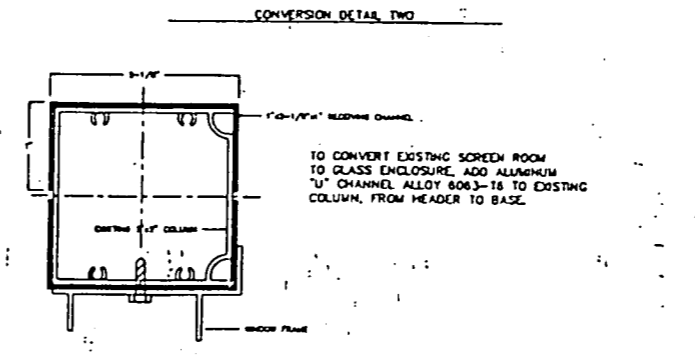
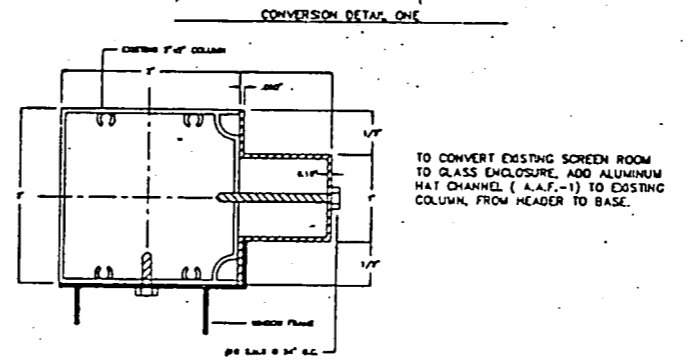
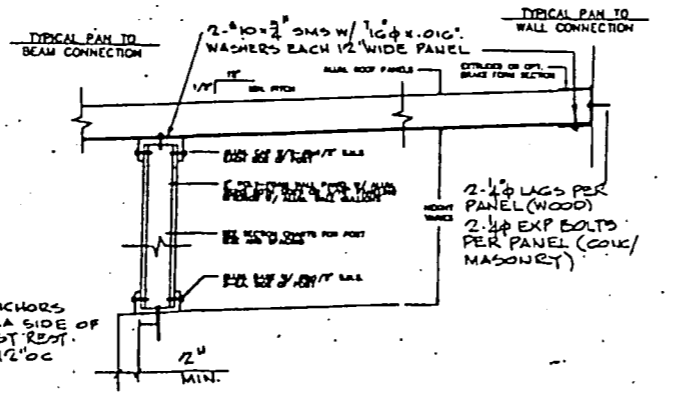
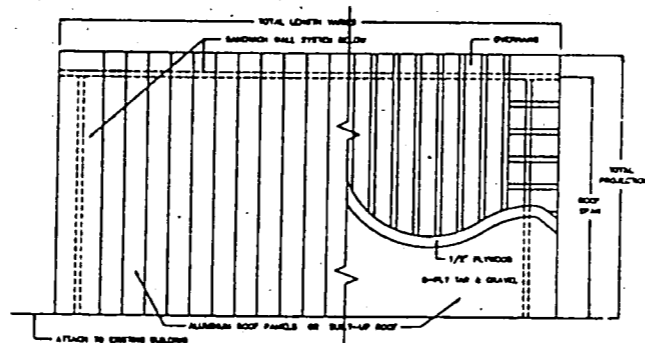
**GENERAL NOTES**

**SCREEN ROOM (WITH WOOD ROOF)**

**CARRIER BEAM SPAN TABLE S-**



ALL FASTENERS ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS & SPECIFICATIONS



SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7/8\"/>			
3'	-			
4'	-			
5'	45'-9"			
6'	41'-9"			
7'	38'-5"			
8'	36'-2"			
9'	34'-1"			
10'	32'-4"			

**MASONRY - CONCRETE FASTENERS**

**GLASS ROOMS (SANDWICH SYSTEM)**

**GLASS ROOM "HAT" (REINFORCEMENT OF .040 POST)**

**2"x7" S.M.B. WITH INSERT**

DATE	BY	DESCRIPTION
11/28/09	WJM	AS NOTED

REVISIONS

**PIONEER SCREEN CO.**  
 STUART FL

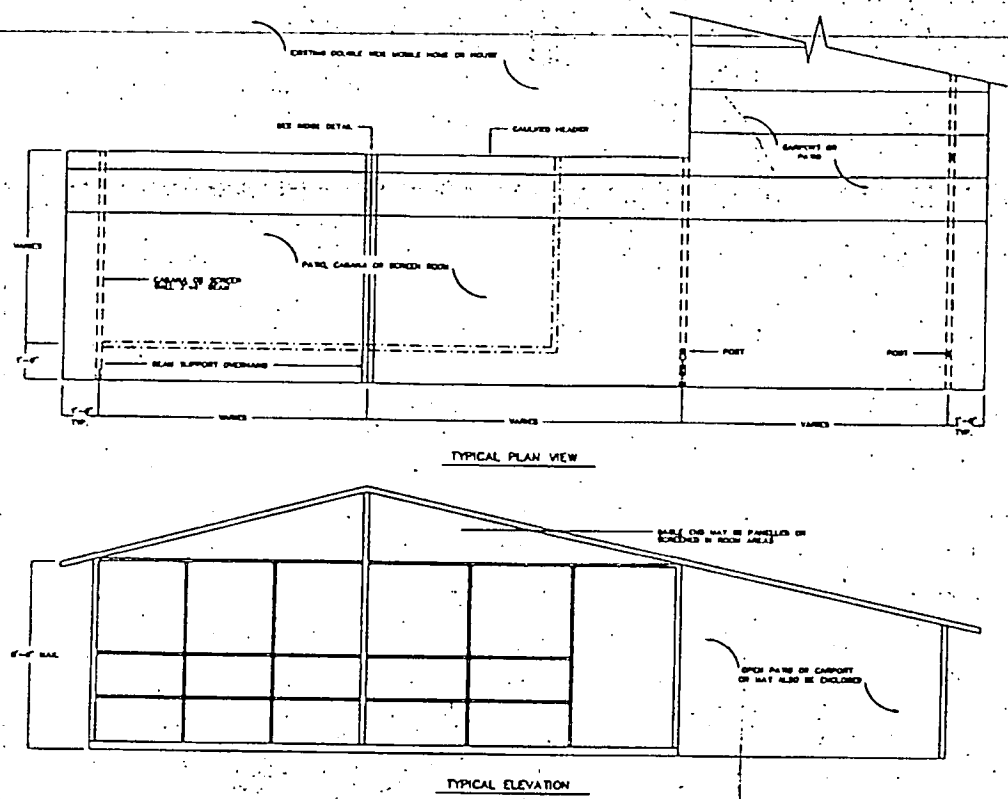
**WILLIAM J. MCGRAW PE**  
 CONSULTING ENGINEERS  
 TAMPA FL

**ALUMINUM CONSTRUCTION DETAILS**

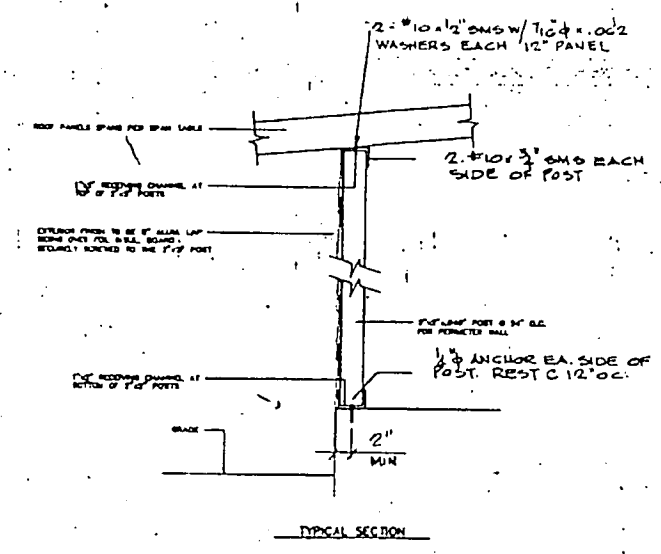
DRAWN E.M.  
 CHECKED W.J.M.  
 SCALE N.T.S.  
 DATE  
 JOB NO.

11/23/09

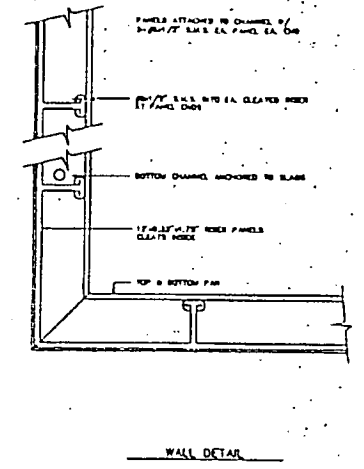
SHEET 4 OF 5 SHEETS



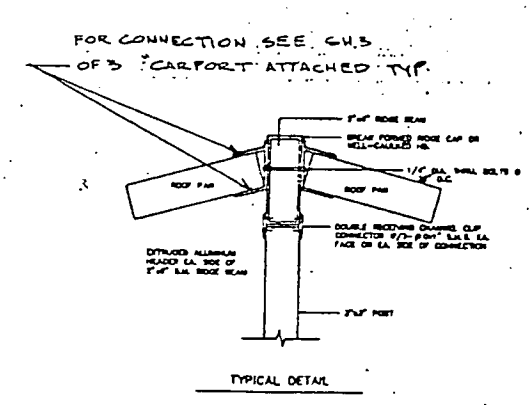
ATTACHED A-FRAME COMBINATION PATIO-CABANA OR CARPORT.



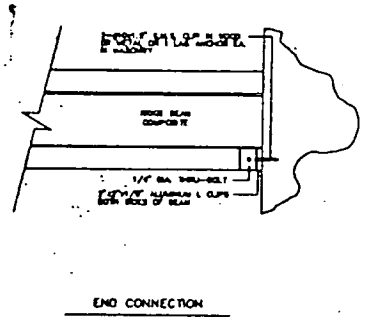
TYPICAL UTILITY ROOM



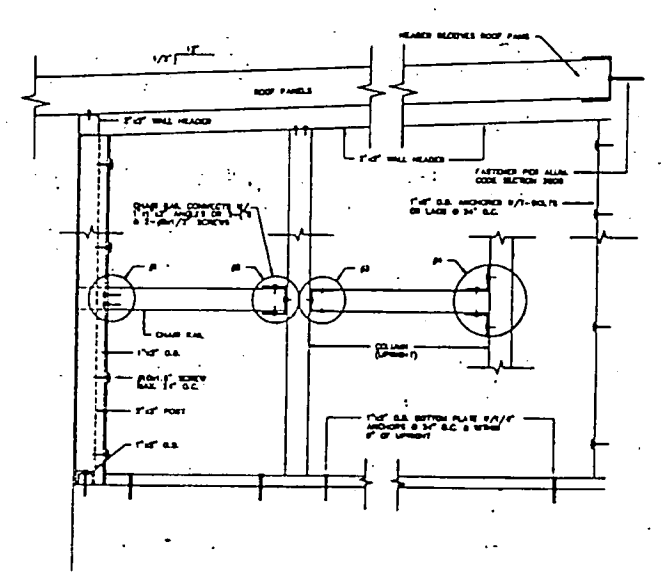
TYPICAL UTILITY ROOM



RIDGE BEAM



RIDGE BEAM



SCREEN ROOM (WITH ALUMINUM ROOF)

WHEN LOCAL CODE OR ORDINANCE REQUIRES A LIVE LOAD OF 30 PSF MAXIMUM, SPAN IS 15'-4\"/>

ROOF PAN (ALLOY 3003 H-18)	PAN THICKNESS	SH	MAX SPAN @ WIND VELOCITY 120 MPH	OPEN CARPORT	ENCLOSED CABANA
	.024	.008	12'-9"	12'-1"	
	.032	.008	15'-0"	14'-0"	
	0.018	.064	15'-4"	14'-4"	

NOTE: PANS MAY OVERHANG 1/3 OF SIMPLE SPAN. SPANS MAY BE INCREASED 2% FOR EACH 1\"/>

ROOF PANELS

DATE	BY	DESCRIPTION

**PIONEER SCREEN CO.**  
STUART FL

WILLIAM J. McGRAW PE  
CONSULTING ENGINEERS  
TAMPA FL

ALUMINUM CONSTRUCTION  
DETAILS

DRAWN: BM  
CHECKED: WJM  
SCALE: N.T.S.  
DATE: 9/5/89  
JOB NO. 1123/89  
SEAL  
SHEET 5 OF 5





**4769**

**REROOF**

---

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 12/16/99

BUILDING PERMIT NO. 4769

Building to be erected for RUTH SADLER

Type of Permit REROOF (PLAT)

Applied for by ALTEC ROOFING (Contractor)

Building Fee \_\_\_\_\_

Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 12 MIDDLE ROAD

Impact Fee \_\_\_\_\_

Type of structure SPR

A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Amount Paid \$120.00 Check # 024338 Cash \_\_\_\_\_

Roofing Fee \$120.00

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 2,480.00

TOTAL Fees \$120.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Inspector OFFICIAE

# RE-ROOFING PERMIT

#### INSPECTIONS

DRY IN  
PROGRESS

DATE \_\_\_\_\_  
DATE \_\_\_\_\_

PROGRESS  
FINAL

DATE \_\_\_\_\_  
DATE 12/3/01

**24 HOURS NOTICE REQUIRED FOR INSPECTIONS.**

**CALL 287-2455**

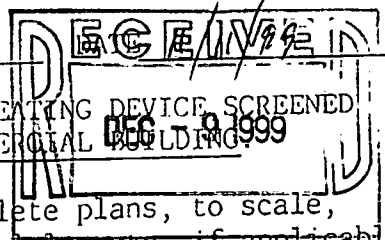
**WORK HOURS - 8:00 AM UNTIL 5:00 PM**

**MONDAY THROUGH SATURDAY**

- New Construction
- Remodel
- Addition
- Demolition

**This permit must be visible from the street, accessible to the inspector.**  
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,**  
**NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**  
**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

TAX FOLIO NO. 13-38-41-002-000-0049. 20000



APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Ruth Sadler Present Address 12 Middle Rd

Phone \_\_\_\_\_ Sewalls Point, FL 34996

Contractor A/HCC Roofing Address Bx 664 Jupiter, FL 33468

Phone 561-747-1990

Where licensed state License Number CCC 013759

Electrical Contractor \_\_\_\_\_ License Number \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License Number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: replace flat roof with a granular modified bitumen roof system

State the street address at which the proposed structure will be built:

12 Middle Rd

Subdivision \_\_\_\_\_ Lot Number 49 Block Number \_\_\_\_\_

Contract Price \$ 2,480<sup>00</sup> Cost of Permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector of Town Commissioner "Red-Tagging" the construction project.

Contractor Brad Maltz

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Ruth A. Sadler

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: \_\_\_\_\_ Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_ Commissioner \_\_\_\_\_ Date \_\_\_\_\_ Final Approval given: \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued(if applicable) \_\_\_\_\_ Date \_\_\_\_\_

SP1282 Permit No. \_\_\_\_\_

# ACORD CERTIFICATE OF LIABILITY INSURANCE

CSR PG  
ALTECRO

DATE (MM/DD/YY)  
07/01/99

PRODUCER

SLATON INSURANCE  
P.O. Box 3857  
West Palm Beach FL 33402

by Cunniff, CPCU  
Phone No. 561-683-8383 Fax No. 561-684-5995

INSURED

Altec Roofing Inc.  
Walter Millet  
P O Box 664  
Jupiter FL 33468

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A	Insurance Co State of PA
COMPANY B	Wausau Insurance Company
COMPANY C	
COMPANY D	

DEC 16

REPORT FILE

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<b>GENERAL LIABILITY</b>				
B	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT	082900014880	05/01/99	05/01/00	GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 PERSONAL & ADV INJURY \$ 2,000,000 EACH OCCURRENCE \$ 2,000,000 FIRE DAMAGE (Any one fire) \$ 100,000 MED EXP (Any one person) \$ 5,000
B	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	083900014880	05/01/99	05/01/00	COMBINED SINGLE LIMIT \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: \$ EACH ACCIDENT \$ AGGREGATE \$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>				<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER
A	<input checked="" type="checkbox"/> THE PROPRIETOR/ PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL	WC5871521R8	07/01/99	07/01/00	EL EACH ACCIDENT \$ 100 000 EL DISEASE - POLICY LIMIT \$ 500 000 EL DISEASE - EA EMPLOYEE \$ 100 000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

\*STATE OF FLORIDA REQUIRES THIRTY (30) DAYS NOTICE OF CANCELLATION ON WORKERS COMPENSATION/FLORIDA EMPLOYEES ONLY/NOTICE OF CANCELLATION FOR NON PAYMENT IS TEN (10) DAYS/NON RENEWAL IS FORTY FIVE (45) DAYS

CERTIFICATE HOLDER

SEAWALL

Seawalls Point  
Building Department  
1 South Seawalls Point Road  
Stuart FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL \*10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

*[Signature]*



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST. INDUSTRY LICENSING BOARD  
7960 ARLINGTON EXPRESSWAY  
SUITE 300  
JACKSONVILLE

FL 32211-7467

(904) 727-6530

MILLET, WALTER J III  
ALTEC ROOFING INC  
150 TONEY PENNA DR  
JUPITER

FL 33458-5707

STATE OF FLORIDA AC# 5154479  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CC - 0018759-06704/1898 97903877  
 CERTIFIED ROOFING CONTRACTOR  
 MILLET, WALTER J III  
 ALTEC ROOFING INC  
 IS CERTIFIED under the provisions of Ch. 489 FS.  
 Expiration Date: AUG 31, 2000

DETACH HERE

5154479

STATE OF FLORIDA  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CONST. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/04/1898	97903877	0018759

CERTIFIED ROOFING CONTRACTOR  
 under the provisions of Chapter 489 FS.  
 Expiration Date: AUG 31, 2000

MILLET, WALTER J III  
 ALTEC ROOFING INC  
 150 TONEY PENNA DR  
 JUPITER

FL 33458-5707

GREAT SEAL OF THE STATE OF FLORIDA  
 IN GOD WE TRUST

CONTRACTOR

STATE OF FLORIDA  
PALM BEACH COUNTY

CLASSIFICATION

OC-032

**COUNTY OCCUPATIONAL LICENSE**

THIS LICENSE IS IN ADDITION TO AND NOT IN LIEU OF ANY OTHER LICENSE REQUIRED BY LAW OR MUNICIPAL ORDINANCE AND IS SUBJECT TO REGULATIONS OF ZONING, HEALTH AND ANY OTHER LAWFUL AUTHORITY. COUNTY ORDINANCE NUMBER 72-7.

1984-08336  
ALTEC ROOFING INC  
MILLET WALTER J III  
150 TONEY PENNA DR  
JUPITER FL 33458-5721

\*\*LOCATED AT:

SAME

CNTY \$26.25

TOTAL \$26.25

IS HEREBY LICENSED AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE FIRST DAY OF OCTOBER AND ENDING ON THE THIRTIETH DAY OF SEPTEMBER TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF:  
  
ROOFING CONTRACTOR  
CCC013759

**THIS IS NOT A BILL - DO NOT PAY**  
  
PAID. PBC TAX COLLECTOR CK  
\$26.25 OCC 49 715 08-06-99

JOHN K. CLARK, CFC  
TAX COLLECTOR, PALM BEACH COUNTY

THIS LICENSE VALID ONLY WHEN RECEIPTED BY TAX COLLECTOR  
LICENSE MUST BE DISPLAYED CONSPICUOUSLY AT ESTABLISHMENT OR PLACE OF BUSINESS

SPECIALTY CONTR.

STATE OF FLORIDA  
PALM BEACH COUNTY

CLASSIFICATION

**COUNTY OCCUPATIONAL LICENSE**

CW-008

THIS LICENSE IS IN ADDITION TO AND NOT IN LIEU OF ANY OTHER LICENSE REQUIRED BY LAW OR MUNICIPAL ORDINANCE AND IS SUBJECT TO REGULATIONS OF ZONING, HEALTH AND ANY OTHER LAWFUL AUTHORITY. COUNTY ORDINANCE NUMBER 72-7.

1984-08337  
ALTEC ROOFING INC  
MILLET WALTER J III  
150 TONEY PENNA DR  
JUPITER FL 33458-5721

\*\*LOCATED AT:

SAME

C/WIDE \$185.85

TOTAL \$185.85

IS HEREBY LICENSED AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE FIRST DAY OF OCTOBER AND ENDING ON THE THIRTIETH DAY OF SEPTEMBER TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF:  
  
ROOFING CONTRACTOR  
CCC013759

**THIS IS NOT A BILL - DO NOT PAY**  
  
PAID. PBC TAX COLLECTOR CK  
\$185.85 OCC 3 00242 08-11-1999

JOHN K. CLARK, CFC  
TAX COLLECTOR, PALM BEACH COUNTY

THIS LICENSE VALID ONLY WHEN RECEIPTED BY TAX COLLECTOR  
LICENSE MUST BE DISPLAYED CONSPICUOUSLY AT ESTABLISHMENT OR PLACE OF BUSINESS

HANK

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

GAF Materials Corporation  
1361 Alps Road  
Wayne, NJ 07470

Your application for Product Approval of:

***GAF Ruberoid® Modified Bitumen Roof Systems for Wood Decks***

under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by:

***Dynatech Engineering, Inc., Factory Mutual Research Corporation, and Underwriters Laboratories, Inc.***

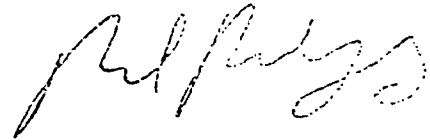
has been recommended for acceptance by the Building Code Compliance Office to be used in Dade County, Florida under the specific conditions set forth on pages 2-60 and the standard conditions on page 61.

This approval shall not be valid after the expiration date stated below. The Building Code Compliance Office reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 97-0804.14  
Expires: 11/06/00

Revises No.: 95-1003.03

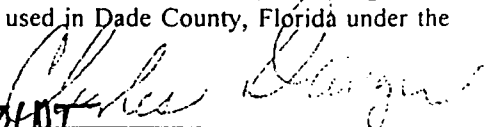


Raul Rodriguez  
Product Control Supervisor

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Office and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

12/16/99. TOWN OF STANLEY'S MEET  
REVIEWED: [Signature]  
BLOG OFFICE



Charles Danger, P.E.  
Director  
Building Code Compliance Dept.  
Metropolitan Dade County

Approved: 11/06/97

TOWN COPY  
12 MIDDLE ROAD



**PRODUCT CONTROL NOTICE OF ACCEPTANCE  
ROOFING SYSTEM APPROVAL**

Applicant:

**GAF Materials Corporation**  
1361 Alps Road  
Wayne, NJ 07470

Product Control No.: 97-0804.14

Approval Date: November 6, 1997

Expiration Date: November 6, 2000

Category: Membrane Roofing System  
Sub-Category: Built-up Roofing  
Type: Modified Bitumen  
Sub-Type: APP and SBS

**System Description**

GAF Materials Corporation has been manufacturing commercial roofing products for more than 100 years.

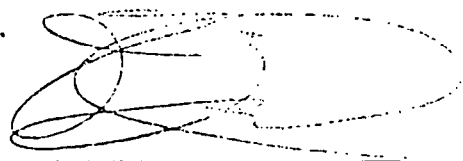
GAF produces a wide range of roof products for built-up roofing systems. The modified bitumen products include both APP and SBS products in smooth, granule and fire rated versions. In addition, GAF offers two ply modified systems to meet the specification requirements for multilayer SBS modified specifications.

GAF products are distributed through a wide network of roofing wholesale distributors throughout the South Florida area.

GAF provides warranted systems over various insulated and non-insulated substrates, copies of which can be obtained from GAF and can be found in the Ruberoid Modified Bitumen Application and Specification manual published annually.

GAF roof system assemblies have been extensively tested at Factory Mutual Research Corporation and Underwriters Laboratories. GAF modified bitumen membranes have been tested in compliance with ASTM D 5147 test requirements.

Contact:  
William J. Woodring  
Director of Technical Services  
(973) 628-4134

  
Frank Zuloaga,  
Roofing Product Control Examiner

Insulation Types:

- Basalt Wool
- Perlite
- Polyisocyanurate
- Composite Board
- Wood Fiberboard
- High Density Wood Fiberboard
- Rockwool

Maximum Design Pressure

<u>Material</u>	<u>Design Pressure</u>
Wood	-75psf

Maximum Fire Classification

<u>Material</u>	<u>Classification</u>
Wood	Class 'A'


**Note:** Fire classifications and maximum design pressures do not reference all assemblies over all deck types. Review system listings for design pressures and the Underwriters Laboratories Roofing Materials Directory for Fire Classifications.



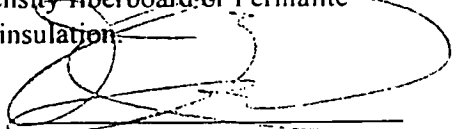
Frank Zuloaga,  
Roofing Product Control Examiner

**TRADE NAMES OF PRODUCTS MANUFACTURED OR  
LABELED BY APPLICANT**

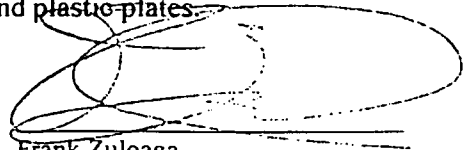
<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
GAF Asphalt Concrete Primer	5, 55 gallons	ASTM D 41	Asphalt concrete primer used to promote adhesion of asphalt in built-up roofing.
GAF Mineral Shield® Granules	60 lb. bags	ASTM D 1863	Granules for surfacing of exposed asphalt, cold process cement or emulsion. GAF Mineral Shield® Granules shall be used for flashing applications only.
GAF WeatherCoat® Emulsion	5 gallons	ASTM 1227	Surface coating for smooth surfaced roofs.
GAF Premium Fibered Aluminum Roof Coating	1, 5 gallons	ASTM D 2824	Fibered aluminum coating.
GAF Jetblak All Weather Plastic Cement	1, 5 gallons	ASTM D 3019 ASTM D 3409	Refined asphalt blended with a mineral stabilizer and fibers. Permits adhesion to wet and dry surfaces.
GAFGLAS #75®	3 sq. roll 75 lb. roll	ASTM D 4601	Asphalt impregnated and coated glass mat base sheet.
GAFGLAS #80 Ultima™ Base Sheet	2 Sq. Roll 70 lbs./roll	ASTM D4601	Asphalt impregnated and coated, fiberglass base sheet
GAFGLAS Ply 6®	5 sq. roll 45 lb. roll	ASTM D 2178	Type VI asphalt impregnated glass felt with asphalt coating.
GAFGLAS Flex Ply™ 6	5 sq. roll 45 lb. roll	ASTM D 2178	Type VI asphalt impregnated glass felt with asphalt coating.
GAFGLAS Ply 4®	5 sq. roll	ASTM D 2178	Type IV asphalt impregnated glass felt with asphalt coating.
GAFGLAS® Mineral Surfaced Cap Sheet	76 lb. roll	ASTM D 3909	Asphalt coated, glass fiber mat cap sheet surfaced with mineral granules.

  
 Frank Zuloaga,  
 Roofing Product Control Examiner

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
RUBEROID® Modified Bitumen Adhesive	5 gallons	ASTM D 3019 Type III	Fiber reinforced, rubberized Adhesive
GAFGLAS® STRATAVENT® Perforated	60 lb. roll	ASTM D 4897 D 3672	Fiber glass base sheet impregnated and coated on both sides with asphalt. Surfaced on the bottom side with mineral granules embedded in asphaltic coating with factory perforations.
GAFGLAS® Flashing	various		Asphalt coated glass fiber mat flashing sheet available in three sizes.
GAFGLAS® STRATAVENT Nailable	69 lb. roll	ASTM D 489 D 3672	Fiber glass base sheet impregnated and coated on both sides with asphalt. Surfaced on the bottom side with mineral granules embedded in asphaltic coating.
RUBEROID Modified Base Sheet	3 sq. roll 67 lbs.	ASTM D4601, Type II, UL Type G2 BUR	Premium glass fiber reinforced SBS-modified base sheet
GAFTEMP® Isotherm R	various	PA 110	Polyisocyanurate foam insulation.
Tapered GAFTEMP® Isotherm R	various	PA 110	Tapered Polyisocyanurate foam insulation
GAFTEMP Isotherm RA	various	PA 110	Polyisocyanurate foam insulation
Tapered GAFTEMP Isotherm RA	various	PA 110	Tapered Polyisocyanurate foam insulation
GAFTEMP Isotherm RN	various	PA 110	Polyisocyanurate foam insulation
Tapered GAFTEMP Isotherm RN	various	PA 110	Tapered Polyisocyanurate foam insulation
GAFTEMP® Composite	various	PA 110	Polyisocyanurate foam insulation with high density fiberboard or Permalite perlite insulation.

  
Frank Zuloaga,  
Roofing Product Control Examiner

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Tapered GAFTEMP® Composite	various	PA 110	Tapered Polyisocyanurate foam insulation with high density fiberboard or Permalite perlite insulation.
GAFTEMP® Composite A	various	PA 110	Polyisocyanurate foam insulation with high density fiberboard or Permalite perlite insulation.
Tapered GAFTEMP® Composite A	various	PA 110	Tapered Polyisocyanurate foam insulation with high density fiberboard or Permalite perlite insulation.
GAFTEMP® Composite N	various	PA 110	Polyisocyanurate foam insulation with high density fiberboard or Permalite perlite insulation.
Tapered GAFTEMP® Composite N	various	PA 110	Tapered Polyisocyanurate foam insulation with high density fiberboard or Permalite perlite insulation.
GAFTEMP® Fiberboard	various	PA 110	Fiberboard insulation.
GAFTEMP® Permalite	various	PA 110	Perlite insulation board.
GAFTEMP Recover Board	1/2" thick	PA 110	Perlite recover board
GAFTEMP® High Density Fiberboard	various	PA 110	High density wood fiberboard insulation.
GAFTITE® #12 Standard Roofing Fastener		PA 114	Insulation fastener for steel and plywood decks.
GAFTITE® #14 Heavy Duty Roofing Fastener		PA 114	Insulation fastener for steel, wood and concrete decks.
GAFTITE ASAP		PA 114	Pre-assembled GAFTITE Fasteners and metal and plastic plates.



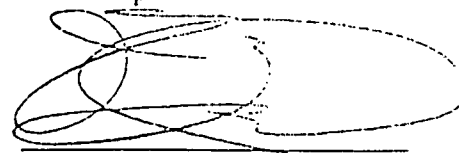
Frank Zuloaga,  
Roofing Product Control Examiner

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
GAFTITE® Base Sheet Fastener and Plate		PA 114	Base sheet fastening assembly.
Galvalume Plates	3" and 3 ½"	PA 114	Round galvalume stress plates.
NTB Fasteners		PA 114	Fastener for use in gypsum, tectum and lightweight insulating concrete decks.
Polypropylene Plates	3" and 3 ½"	PA 114	Round polypropylene stress plates.
Ruberoid® 20	1.5 sq. roll	ASTM D 5147	SBS modified asphalt base sheet and interply sheet reinforce with a glass fiber mat.
Ruberoid® Mop Granule	1 sq. roll 103 lbs.	ASTM D 5147	Non-woven polyester mat coated with polymer modified asphalt and surfaced with mineral granules.
RUBEROID MOP Smooth	1 sq. roll 87 lbs.	ASTM D 5147	Non-woven polyester mat coated with polymer modified asphalt and smooth surfaced.
RUBEROID MOP PLUS	1 sq. roll 102 lbs.	ASTM D 5147	Non-woven polyester mat coated with polymer modified asphalt and surfaced with mineral granules.
RUBEROID MOP 170FR	1 sq. roll 103 lbs.	ASTM D 5147	Non-Woven polyester mat coated with fire retardant polymer modified asphalt and surfaced with mineral granules.
RUBEROID MOP FR	1 sq. roll 105 lbs.	ASTM D 5147	Non-Woven polyester mat coated with fire retardant polymer modified asphalt and surfaced with mineral granules.
RUBEROID TORCH Smooth	1 sq. roll 87 lbs.	ASTM D 5147	Heavy duty, polyester reinforced, asphalt modified bitumen membrane, smooth surface.
RUBEROID TORCH Granule	1 sq. roll 102 lbs.	ASTM D 5147	Heavy duty, polyester reinforced, asphalt modified bitumen membrane, granule surface.



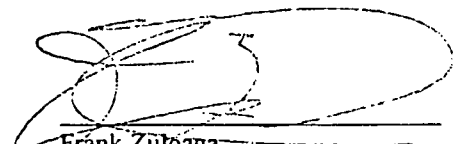
Frank Zuloaga,  
Roofing Product Control Examiner

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
RUBEROID TORCH PLUS	¾ sq. roll 93 lbs.	ASTM D 5147	Heavy duty, polyester reinforced, asphalt modified bitumen membrane, granule surface
RUBEROID TORCH FR	¾ sq. roll 90 lbs.	ASTM D 5147	Heavy duty, polyester reinforced, coated with fire retardant asphalt modified bitumen membrane, granule surface.
RUBEROID 30	1 sq. roll 92 lbs.	ASTM D 5147	Non woven fiberglass mat coated with polymer modified asphalt and surfaced with mineral granules.
RUBEROID 30 FR	1 sq. roll 92 lbs.	ASTM D 5147	Non woven fiberglass mat coated with fire retardant polymer modified asphalt and surfaced with mineral granules.
Vent Stacks (metal and plastic)		PA 100(A) ASTM D 1929 ASTM D 635	One way valve vent used to relieve built-up pressure within the roof system. GAF Vent Stacks are available in metal or plastic.
GAF Aluminum Emulsion	5 gallons	None	Mineral colloidal bituminous emulsion with reflective aluminum flakes
RUBEROID® ULTRACLAD® SBS	109. Roll 101 lbs.	ASTM D 5147	Woven fiberglass mat coated with Polymer modified asphalt surfaced with aluminum, copper or stainless steel foil.
GAF Aluminum Roof Paint	5 gallons	ASTM D2824, Type I	Non-fibered. aluminum pigmented, asphalt roof coating
GAF Built-Up Roofing Asphalt	100 lb. cartons, bulk	ASTM D312, Types I, II, III and IV	Interply mopping and surfacing asphalt
RUBEROID MOD Asphalt	60 lb. kegs		SEBS modified asphalt
RUBEROID MOD Asphalt L	60 lb. kegs		SEBS modified asphalt
RUBEROID MOD Asphalt P	60 lb. kegs		SEBS modified asphalt



Frank Zuloaga,  
Roofing Product Control Examiner

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
GAFTEMP Tapered Isotherm R	Various	PA 110	Tapered polyisocyanurate foam
GAFTEMP Tapered Isotherm RA	Various	PA 110	Tapered polyisocyanurate foam
GAFTEMP Tapered Isotherm RN	Various		Tapered polyisocyanurate foam
GAFTEMP GAFCANT™	Various		Cut perlite board
GAFTEMP GAFEDGE™ Tapered Edge Strip	Various		Tapered perlite board
GAFTEMP PERMALITE® Tapered Roof Insulation	Various	PA 110	Tapered perlite board
GAFTEMP Recover Board	1/2" thick, Various sizes	PA 110	Perlite board
Shingle-Mate™ Underlayment	4 sq. roll 30 lbs.		Fiberglass reinforced shingle underlayment
GAFTITE® ASAP	500 per box	PA 114	Pre-assembled fastener and metal and plastic plates
RUBEROID® Modified Bitumen Adhesive	5 gallons	ASTM D 3019 Type III	Fiber reinforced, rubberized Adhesive

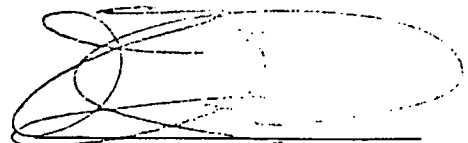


Frank Zuloaga,  
Roofing Product Control Examiner




**TRADE NAMES OF PRODUCTS MANUFACTURED BY OTHERS**

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>	<u>Manufacturer</u>
Pyrox	various	PA 110	Polyisocyanurate foam insulation	Apache Products Co. (with current PCA)
ACFoam I	various	PA 110	Polyisocyanurate foam insulation	Atlas Energy Products (with current PCA)
ACFoam II	various	PA 110	Polyisocyanurate foam insulation	Atlas Energy Products (with current PCA)
Hy-Therm Nail-line	various	PA 110	Polyisocyanurate foam insulation	Celotex Corp. (with current PCA)
Hy-Therm SP	various	PA 110	Polyisocyanurate foam insulation.	Celotex Corp. (with current PCA)
Hy-Therm AP	various	PA 110	Polyisocyanurate foam insulation	Celotex Corp. (with current PCA)
Hy-Therm Stable R	various	PA 110	Polyisocyanurate foam insulation	Celotex Corp. (with current PCA)
Hy-Therm White Line	various	PA 110	Polyisocyanurate foam insulation	Celotex Corp. (with current PCA)
Anchorbond Fastener		PA 114	Insulation fastening assembly	Celotex Corp. (with current PCA)
Dekfast Fasteners #14		PA 114	Insulation fastener for steel and concrete decks	Construction Fasteners Inc. (with current PCA)
Dekfast Hex Plate	2 7/8" x 3 1/4"	PA 114	Galvalume hex stress plate.	Construction Fasteners Inc. (with current PCA)

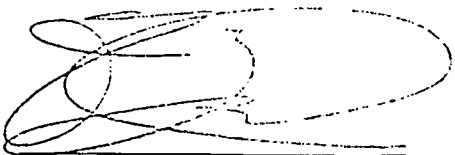


Frank Zuloaga,  
Roofing Product Control Examiner

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>	<u>Manufacturer</u>
Dekfast Lock Plate	3" x 3 1/4"	PA 114	Polypropylene locking plate.	Construction Fasteners Inc. (with current PCA)
Dekfast Fasteners #15		PA 114	Insulation fasteners for concrete decks	Construction Fasteners Inc. (with current PCA)
Dekfast Fasteners #12		PA 114	Insulation fastener for steel and wood decks.	Construction Fasteners Inc. (with current PCA)
ISO 95+ Composite		PA 110	Polyisocyanurate / perlite ridged insulation	Firestone (with current PCA)
Asphalt		ASTM D 312	Type III or IV Hot asphalt bitumin adhesive	generic
Asphalt Primer		ASTM D 41	Asphalt Primer	generic
EPS	various	PA 110	Extruded polystyrene insulation	generic
High Density Wood Fiberboard	various	PA 110	Wood fiber insulation board	generic
Pelite/Urethane Composite	various	PA 110	Perlite / urethane composite board insulation	generic
Perlite Insulation	various	PA 110	Perlite insulation board	generic
Polyethylene	4 mil min.		Vapor barrier / Air barrier	generic
Red Rosin	various		Rosin paper for barrier layer on wood decks	generic
Roofing Nails	Minimum # 12	PA 114	Corrosion resistant annular ring shank nails	generic


  
 Frank Zuloaga,  
 Roofing Product Control Examiner

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>	<u>Manufacturer</u>
Tin Caps	Min. 32 ga. x 1 $\frac{1}{8}$ "		Corrosion resistant circular discs.	generic
MB aluminum roof coating		PA 121	Aluminum roof coating	Grundy Industries (with current PCA)
Dens-Deck	various	PA 110	Gypsum insulation board.	Georgia Pacific (with current PCA)
#12 Roofgrip		PA 114	Insulation fastener for steel or wood decks	ITW Buildex (with current PCA)
#14 Roofgrip		PA 114	Insulation fastener steel, wood or concrete decks	ITW Buildex (with current PCA)
Gripdek Fastener		PA 114	Insulation fastener	ITW Buildex (with current PCA)
Hexcel Fastener		PA 114	Insulation fastener	ITW Buildex (with current PCA)
Hextra		PA 114	Insulation fastener and metal or plastic plate	ITW Buildex (with current PCA)
Standard Plastic Plate	3" round	PA 114	Polyolefin plastic plate	ITW Buildex (with current PCA)
ISO 95+	various	PA 110	Polyisocyanurate foam insulation	International Permalite (with current PCA)
E'NRG'Y-2	various	PA 110	Polyisocyanurate foam insulation	NRG Barriers, Inc. (with current PCA)
ISORoc	various	PA 110	Polyisocyanurate foam / rockwool composite insulation	NRG Barriers, Inc. (with current PCA)

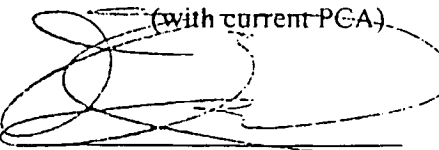


Frank Zuloaga,  
Roofing Product Control Examiner


<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>	<u>Manufacturer</u>
Olympic Standard	3" round	PA 114	3" round galvalume AZ55 steel plate	Olympic Manufacturing Group, Inc. (with current PCA)
Olympic Fastener #14		PA 114	Insulation fastener	Olympic Manufacturing Group, Inc. (with current PCA)
Olympic Polypropylene	3.25" round	PA 114	Polypropylene plastic plate	Olympic Manufacturing Group, Inc. (with current PCA)
Olympic Fastener #12		PA 114	Insulation fastener	Olympic Manufacturing Group, Inc. (with current PCA)
Olympic Fastener ASAP		PA 114	Pre-assembled Insulation fastener and plate	Olympic Manufacturing Group, Inc. (with current PCA)
Olympic CR Base Felt Fastener and Base Sheet Disc		PA 114	Insulation fastener assembly for Base Sheet fastening only	Olympic Manufacturing Group, Inc. (with current PCA)
GlasFast Fastener		PA 114	Insulation fastener assembly with recessed plastic plate	Owens-Corning Fiberglas Corp. (with current PCA)
Paroc Base Board	various	PA 110	Rockwool insulation	Partek, Inc. (with current PCA)
Paroc Cap Board	various	PA 110	Rockwool insulation	Partek, Inc. (with current PCA)

  
 Frank Zuloaga,  
 Roofing Product Control Examiner

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>	<u>Manufacturer</u>
UltraGard	various	PA 110	Polyisocyanurate foam insulation	Schuller International Inc. (with current PCA)
Insul-Fixx Fastener		PA 114	Insulation fastener for steel and wood decks	SFS/Stadler (with current PCA)
Insul-Fixx P	3" round	PA 114	3" round polyethylene stress plate	SFS/Stadler (with current PCA)
Rawl Fasteners #12		PA 114	Insulation fastener for steel and wood decks	The Rawlplug Company Inc. (with current PCA)
Rawl Fasteners #14		PA 114	Insulation fastener for use in steel, wood or concrete	The Rawlplug Company Inc. (with current PCA)
Rawl 2" Plate	2" round	PA 114	2" round galvalume AZ55 membrane plate	The Rawlplug Company Inc. (with current PCA)
Rawl 3" Plate	3" round	PA 114	3" round galvalume AZ55 steel plate	The Rawlplug Company Inc. (with current PCA)
Rawlite 3" Plate	3" round	PA 114	3" round galvalume AZ55 steel plate for use with Rawlite fasteners	The Rawlplug Company Inc. (with current PCA)
202 HS		PA 121	Roof coating	Thermo-Materials, Inc. (with current PCA)
Super Prep II		PA 121	Roof coating	Thermo-Materials, Inc. (with current PCA)
Tru-Fast DL		PA 114	Insulation fastener for steel, or wood	Tru-Fast (with current PCA)

  
Frank Zuloaga,  
Roofing Product Control Examiner


<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>	<u>Manufacturer</u>
Tru-Fast Plastic Plate	3.04" round	PA 114	3.04" round polyethylene plastic plate	Tru-Fast (with current PCA)
Tru-Fast MP-3	3.23" round	PA 114	3.23" round galvalume AZ50 steel plate	Tru-Fast (with current PCA)
Tru-Fast HD		PA 114	Insulation fastener for use in wood, steel or concrete decks	Tru-Fast (with current PCA)
Tru-Fast Ultra		PA 114	Stainless Steel fastener for use in steel, wood and concrete decks	Tru-Fast (with current PCA)
Tru-Fast DP		PA 114	Insulation fastener for use in steel or wood decks	Tru-Fast (with current PCA)
Tru-Fast TP		PA 114	Insulation fastener for use in steel or wood decks	Tru-Fast (with current PCA)
Structodeck	various	PA 110	High density wood fiber	Wood Fiber Industries (with current PCA)



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Roofing Product Control Examiner

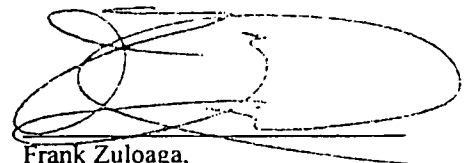
**TEST REPORTS**

<u>Test Agency/Identifier</u>	<u>Name</u>	<u>Report</u>	<u>Date</u>
Factory Mutual Research Corporation	Current Insulation Attachment Requirements	FMRC 1996	01.01.96
Factory Mutual Research Corporation	Wind Uplift FMRC 4470 - PA 114	J.I. 0T4A1.AM	08.26.92
Factory Mutual Research Corporation	Wind Uplift FMRC 4470 - PA 114	J.I. 1V8A4.AM	06.28.93
Factory Mutual Research Corporation	Wind Uplift FMRC 4470 - PA 114	J.I. 1R1A6.AM	11.15.91
Factory Mutual Research Corporation	Wind Uplift FMRC 4470 - PA 114	J.I. 0T2Q4.AM	10.17.91
Factory Mutual Research Corporation	Wind Uplift FMRC 4470 - PA 114	J.I. 0Q6A6.AM	07.16.91
Factory Mutual Research Corporation	Wind Uplift FMRC 4470 - PA 114	J.I. 3X3A2.AM	08.02.94
Factory Mutual Research Corporation	Wind Uplift FMRC 4470 - PA 114	J.I. 0Y9Q5.AM	07.29.94
Factory Mutual Research Corp.	Wind Uplift, FMRC 4470 - PA 114	J.I. 1B9A8.AM	09.04.97
Factory Mutual Research Corp.	Wind Uplift, FMRC 4470 - PA 114	J.I. 3D4Q2.AM	04.30.97
Trinity Engineering	Wind Uplift PA 114	4483.04 97-1	06.06.97
Underwriters Laboratories, Inc.	Fire Resistance Classification UL 790 - PA 114	R1306, 87NK11819	01.01.93
Dynatech Engineering Corporation	Wind Uplift PA 114	#3600:02.95-1	02.02.95



Frank Zuloaga,  
Roofing Product Control Examiner

<u>Test Agency/Identifier</u>	<u>Name</u>	<u>Report</u>	<u>Date</u>
Dynatech Engineering Corporation	Wind Uplift PA 114	#4482.02.95-1	02.02.95



Frank Zuloaga,  
Roofing Product Control Examiner



**Wood Deck System Limitations:**

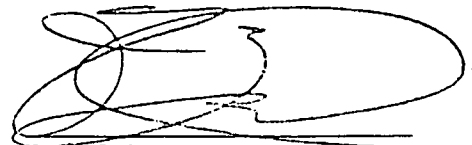
1. Fastener spacing for anchor sheet attachment is based on a Minimum Characteristic Force (F') of 95 lbf or greater as tested in compliance with Merto-Dade County Protocol PA 105. If F' as tested is below 95 lbf, a professional engineer may submit a revised fastener spacing utilizing the withdrawal resistance value taken from Merto-Dade County Protocol PA 105 and calculations in compliance with Metro-Dade Roofing Application Stanadrd PA 117.
2. All standard insulation panel sizes are acceptable for mechanical attachment. When panels are applied in hot asphalt, maximum panel size shall be 4' x 4'.
  - a. Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') of 275 lbf. as tested in compliance with Merto-Dade County Protocol PA 105 & Roofing Application Standard PA 117. If the fastener value, as field tested, are below 275 lbf. insulation attachment shall not be acceptable.
3. A slip sheet is required with GAFGLAS FlexPly 4® and Ply 6® when used as a mechanically fastened base or anchor sheet.
4. ½ Type X gypsum board is acceptable to be installed directly over the wood deck..



Frank Zuloaga,  
Roofing Product Control Examiner

## GENERAL LIMITATIONS

- 1 All asphalt shall comply with ASTM D 312 type III or type IV requirements, and approved by applicant.
- 2 Fire ratings are determined by a combination of slope, deck type and assembly. Refer to current Underwriters Roofing Materials Directory or other fire testing data listed in the testing file. Fire ratings shall be in strict compliance with Sections 3401.5 and 3401.6 of the South Florida Building Code.
- 3 Maximum slope range shall vary for each system; consult current Underwriters Laboratories Roofing Materials Directory and manufacturer's specifications for compliance with design criteria for each project.
- 4 An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used, install one layer of GAFGLASS STRATAVENT Perforated, laid dry. A base sheet may be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each sidelap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq. **Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf. Where STRATAVENT Perforated is used over approved isocyanurate foam insulation, the maximum design pressure is limited to -60psf.**
- 5 All work shall be performed by a contractor licensed to do roofing work in Metro-Dade County. Contractor shall be familiar with the details and specifications published by the manufacturer, and the requirements of the SFBC.
- 6 The submission of system specifications and details shall accompany the Section II Building Code Permit. This information is available in the publications listed in the 'System Description' of this Product Control Approval. The submission of these documents, as well as the proper application and installation of all materials shall be the sole responsibility of the contractor.




Frank Zuloaga,  
Roofing Product Control Examiner

- 7 Perimeter and corner areas shall comply with the enhanced uplift pressure of these areas, as calculated in compliance with Chapter 23 of the South Florida Building Code. Fastener densities shall be increase for both insulation and base sheet as needed calculated in compliance with Metro-Dade County Roofing Application Standard PA 117. **(When this limitation is specifically referred within this NOA, General Limitation #20 will not be applicable.)**
- 8 All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform with Metro-Dade County Roofing Application Standard PA 111 and the wind load requirements of Chapter 23 of the South Florida Building Code.
- 9 Flashings shall be installed according to the manufacturers standard details, and may be applied in cold application adhesive, approved asphalt or may be applied in conjunction with an approved torch applied modified bitumen membrane. Specific details, approved by the manufacturer, shall be submitted with the Section II Permit Application. All details shall comply with the provision of the South Florida Building Code.
- 10 Fastener spacing for base sheet attachment is based on a Minimum Characteristic Force (F') value as tested in compliance with Metro-Dade County Protocol PA 105. If the fastener values as tested are below those listed in the System Limitations, a professional engineer may submit a revised fastener spacing utilizing the withdrawal resistance value taken from a Metro-Dade County Protocol PA 105 test report and calculations that comply with the wind load requirements of Chapter 23 of the South Florida Building Code and Roofing Application Standard PA 117.
- 11 Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with PA 105. If the fastener value, as field tested, are below 275 lbf. insulation attachment shall not be acceptable.
- 12 Asphalt moppings shall be with applied with approved asphalt and shall be in compliance with equiviscous temperature (EVT) methods of asphalt determination. Asphalt containers or bulk tickets shall indicate an EVT, finished blowing temperature (FBT) and flash point. Asphalt types and temperature ranges shall be in compliance with Subsection 3403.4(a)(3) of the South Florida Building Code.
- 13 Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer. Refer to manufacturer's literature and/or the NRCA Roofing and Waterproofing Manual for correct application procedures of insulation panels in approved asphalt or adhesive, which shall comply with provision of Roofing Application Standard PA 117.



Frank Zuloaga,  
Roofing Product Control Examiner

- 14 All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
- 15 In re-recovery/re-roofing applications, prior to the application, all existing roof surfaces used as a bonding substrate shall be tested in compliance with Metro-Dade County Protocol PA 124 for uplift resistance. Test pressures shall be calculated in compliance with the wind load requirements of Chapter 23 of the South Florida Building Code to the design pressure of the roof.
- 16 In re-roofing applications, moisture content in an existing roof must be in compliance with Section 3401.10(m), (n) of the South Florida Building Code.
- 17 Roll good materials shall be stored on end and on a clean, flat and dry surface.
- 18 If required, any Factory Mutual Approved vapor barrier in conjunction with proprietary or approved adhesives may be used prior to the application of the insulation layer.
- 19 Consult current Underwriters Laboratories Directory for the appropriate coating for each roofing assembly to obtain the required fire rating. The assembly shall be installed in strict compliance with sections 3401.5 and 3401.6 of the South Florida Building Code for maximum fire classification.
- 20 The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, corners). No rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners, and corners). **(When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.)**



Frank Zuloaga,  
Roofing Product Control Examiner

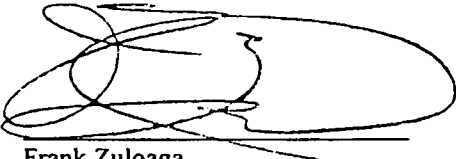
**GAF Materials Corporation**  
1361 Alps Road  
Wayne, NJ 07470

**ACCEPTANCE NO.:** 97-0814.14  
**APPROVED:** November 6, 1997  
**EXPIRES:** November 6, 2000

**NOTICE OF ACCEPTANCE STANDARD CONDITIONS**

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Metro-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
  - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
  - b) The product is no longer the same product (identical) as the one originally approved;
  - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
  - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
  - a) Unsatisfactory performance of this product or process;
  - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Metro-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 1 through 61

**END OF THIS ACCEPTANCE**

  
Frank Zuloaga,  
Roofing Product Control Examiner



# RUBEROID® Specifications N-1-1-TG, N-1-1-TS, and N-1-1-TSC

## General

Recommendations presented on pages 17-22 shall apply in addition to the following application recommendations.

### Application Recommendations

- Lay one ply of GAFGLAS® #75 Base Sheet or STRATAVENT® (Vent Ply) for Nailable Decks (for wet lightweight insulating concrete decks, see page 10) lapping each sheet 2 inches at the edges and not less than 6 inches at the end laps. Nail along the 2 inch side lap of the base ply at intervals not to exceed 9 inches and stagger-nail down the center of the sheet in two rows with nails spaced at 18 inch intervals in each row. Nails should have integral metal heads at least 1 inch square or round.
- Starting at the low point of the roof, set the roll of torch-applied RUBEROID membrane in the course to be followed and unroll half the roll where practical. Position the membrane to provide a 3 inch side lap and a 6 inch end lap. Using the propane torch, apply the flame to the surface of the coiled portion of the roll until the surface reaches the proper application temperature (approximately 350° F). The side lap and end lap areas of the previously applied sheet must also be heated to provide proper adhesion. The plastic film must be melted off the selvage edge of granule-surfaced products. Move the flame from side to side and up the side and end lap areas of the previous sheet. Slowly unroll the membrane while pressing onto the underlying surface. Be sure that the surface of the roll is heated sufficiently so that it develops a sheen and the texture-backed product loses its sharp definition. Avoid generating heavy smoke because it indicates that the surface is overheating. When this half of the roll is secure, reroll the other half of the roll and torch in place in the same manner. A minimum of 1/4 inch flow out of modified bitumen compound is required at all seams. Field seams should not be troweled. At the 6 inch minimum end laps, sufficient heat must be applied to the granule-surfaced RUBEROID membrane to cause the granules to sink into the top surface coating to assure a receptive surface for bonding to the overlapping next roll of RUBEROID membrane.
- For smooth surfaced installations where a coating is desired, between 1-4 weeks after installation of the RUBEROID sheets apply WEATHER COAT® Emulsion at a rate of approximately 3 gallons per 100 square feet; Premium Fibred Aluminum Roof Coating at a rate of approximately 1 1/2-2 gallons per 100 square feet; or other GAF Materials Corporation approved coating; see "UL Systems' Ratings Chart," page 6. The RUBEROID membrane surface must be clean, dry and free of all loose dust and dirt at the time of coating.

UL Class	Surfacing	Substrate	Slope	Specification
A	K97	C	1/2"	N-1-1-TSC
A	None	NC	1/2"	N-1-1-TS and N-1-1-TG

### RUBEROID UL Classifications

For more extensive UL classifications, see page 6.

### UL Chart Key

#### 1. Surfacing

K97 = Karnak #97 Fibrated Aluminum Asphalt Roof Coating

#### 2. Substrate

C = Combustible and Noncombustible

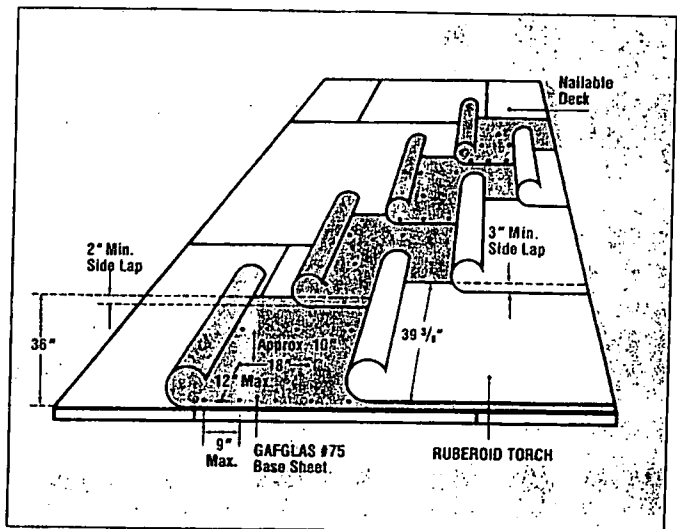
Combustible = Wood planks, boards, etc., plywood (min. 1/2 inch thickness), oriented strand board (min. 1/2 inch thickness).

NC = Noncombustible only

Noncombustible = Steel, poured or precast structural concrete, lightweight insulating concrete, gypsum, structural wood fiberboard, etc.

#### 3. Slope

Maximum slope allowed, in inches per foot.



Substrate — 1/2 inch minimum plywood, gypsum, structural wood fiber, lightweight insulating concrete.

Slope — Up to 1 inch per foot for lightweight insulating concrete. (See "Lightweight Insulating Concrete Decks," page 10.) Up to 3 inches per foot for other decks.

### Materials:

GAFGLAS #75 Base Sheet  
 RUBEROID TORCH (Smooth or Granule Surfaced)  
 Surfacing (if desired)

Approximate Weight Per Square

Total 115-130 lbs.

*Compliance #*  
*97-0804, 14*

Specification	Guarantees Available	
	RUBEROID Liberty	RUBEROID
N-1-1-TS	10	10
N-1-1-TSC	12, 10	12, 10
N-1-1-TG	12, 10	12, 10



# RUBEROID® Specifications N-1-1-TG, N-1-1-TS, and N-1-1-TSC

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3. For smooth surfaced installations where a coating is desired, between 1-4 weeks after installation of the RUBEROID sheets apply WEATHER COAT® Emulsion at a rate of approximately 3 gallons per 100 square feet; Premium Fibered Aluminum Roof Coating at a rate of approximately 1 1/2-2 gallons per 100 square feet; or other GAF Materials Corporation approved coating; see "UL Systems' Ratings Chart," page 6. The RUBEROID membrane surface must be clean, dry and free of all loose dust and dirt at the time of coating.

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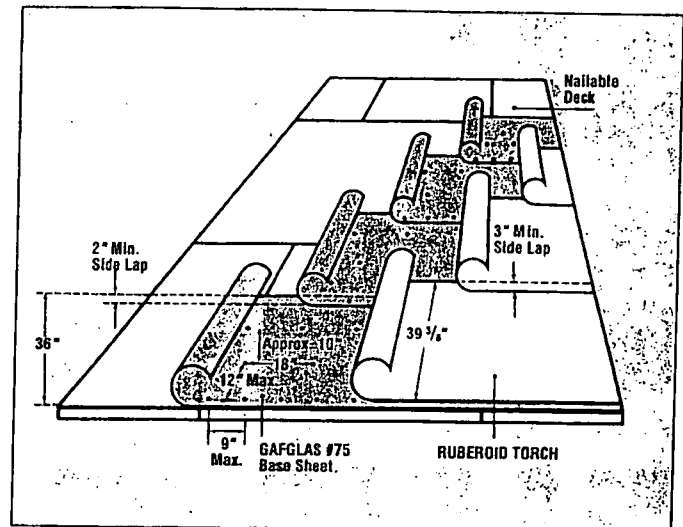
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 RUBEROID TORCH (Smooth or Granule Surfaced)  
 Surfacing (if desired)

### Approximate Weight Per Square

Total: 115-130 lbs.

Compliance #  
 97-0804.14

Specification	Guarantees Available	
	RUBEROID Liberty	RUBEROID
N-1-1-TS	10	10
N-1-1-TSC	12, 10	12, 10
N-1-1-TG	12, 10	12, 10





# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8-16, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4969	Sadler	final roof	cancel	FAILED TO OBTAIN
S X	12 Middle Rd.	CONTRACTOR TO CALL		ADDITIONAL T/F & MTL
	Altec INC. 747-6170			INSP. PROX TO COMPLETION
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4990	Elder	slab / GROUND RFTG	PASSED	POW. FORMED. SOW. / COMP. I
S ①	4 Emarita Way		Σ	SPICERSONWAY.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4963	Jackson	sheathing	cancel	Contractor call
N ⑧	Equal Run Pacific			8/16 9:05 (POB) - will reschedule
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4999	Chico's	final	PASSED	
N ⑩	Harbour Bay Cecilio	shutters	Σ	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4651	DERMARK ROAD	<del>FINAL TEMP. POWER</del>	FAILED	DISTR. PANEL LOCKS
N ⑥	19 CASTLE HILL WAY STRATHMORE	<del>(WALK THRU)</del>	Σ	REBOOKED - KENNY 8/11 (R-SCHED.) - NO PERM
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5051	Elliott	form board	PASSED	9: - 10: if
S ②	25 W. High Point Van Lynn	for steps	Σ	possible
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4857	Conway	ac, pl, el	PASSED	
N ⑤	4 Oak Hill Way owner	PROWING	Σ	

OTHER: I/R (VACANT - adj. to 15 PALOMETTO; GUSTAPSON - MONTE'S & PER SERVICE ✓

INSPECTOR (Name/Signature): \_\_\_\_\_

**5978**

**REROOF**

---

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 9-18-02

BUILDING PERMIT NO. 597.8

Building to be erected for Ruth Sadler

Type of Permit RE-ROOF

Applied for by ALTEC ROOFING, INC. (Contractor)

Building Fee 120.00

Subdivision High Point Lot 12 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 12 Middle Rd

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:  
133841002000049020000

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 120.00 Check # 35738 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 16,600.00

TOTAL Fees 120.00

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING         | <input checked="" type="checkbox"/> ROOFING  | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Owner or Titleholder Name: Rutha Sadler Building Permit Number:
City: Sewall's Point State: FL Zip:
Legal Description of Property: Lot 49 High Point Parcel Number: 13 38 41 002 000 0490, 20000
Location of Job Site: 12 Middle Rd Type of Work To Be Done: Replace Tile roof

CONTRACTOR/Company Name: Altec Roofing, Inc. Phone Number: 401-747-1990
Street: 150 Toney Penna Dr City: Jupiter State: FL Zip: 33458
State Registration Number: State Certification Number: CCC013759 Martin County License Number:

ARCHITECT: N/A Phone Number:
Street: City: State: Zip:

ENGINEER: Phone Number:
Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: ScreenedPorch:
Carport: Total Under Roof Wood Deck: Accessory Building:
Type Sewage: Septic Tank Permit Number From Health Depart. Well Permit Number:

FLOOD HAZARD INFORMATION Flood Zone: Minimum Base Flood Elevation (BFE): NGVD
Proposed First Floor Habitable Floor Finished Elevation: NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: 16,600.00 Estimated Fair Market Value (FMV) Prior
To Improvements: If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES NO

SUBCONTRACTOR INFORMATION

Electrical: State: License Number:
Mechanical: State: License Number:
Plumbing: State: License Number:
Roofing: State: License Number:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS,
HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE
REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) South Florida Building Code (Structural, Mechanical, Plumbing, Gas)
National Electrical Code Florida Energy Code
Florida Accessibility Code

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY
KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required) Brad Molt
State of Florida, County of: PALM BEACH
This the 13 day of SEPTEMBER, 2002
by BRAD MOLT who is personally
known to me or produced
as identification.

CONTRACTOR SIGNATURE (Required) Brad Molt
On State of Florida, County of: PALM BEACH
This the 13 day of SEPTEMBER, 2002
by BRAD MOLT who is personally
known to me or produced
As identification.

Notary Public
My Commission Expires:
Alyce E. Hetherington
MY COMMISSION # CC858288 EXPIRES
August 18, 2003
BONDED THRU TROY FAIR INSURANCE, INC.

Notary Public
My Commission Expires:
Alyce E. Hetherington
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August 18, 2003
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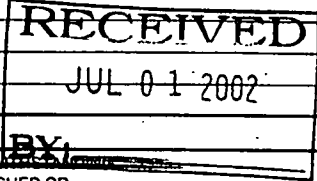
**PRODUCER**  
SLATON INSURANCE  
P.O. Box 3857  
West Palm Beach FL 33402  
Phone: 561-683-8383 Fax: 561-684-5995

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

**INSURED**  
Altec Roofing, Inc.  
Walter Millet  
P O Box 664  
Jupiter FL 33468

INSURER A: Clarendon National Ins. Co.  
INSURER B:  
INSURER C:  
INSURER D:  
INSURER E:



**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE	\$
					FIRE DAMAGE (Any one fire)	\$
					MED EXP (Any one person)	\$
					PERSONAL & ADV INJURY	\$ ;
					GENERAL AGGREGATE	\$
					PRODUCTS - COMP/OP AGG	\$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident)	\$
					BODILY INJURY (Per person)	\$
					BODILY INJURY (Per accident)	\$
					PROPERTY DAMAGE (Per accident)	\$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
					OTHER THAN AUTO ONLY: EA ACC	\$
					AGG	\$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE	\$
					AGGREGATE	\$
						\$
						\$
						\$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	CNBM011102	07/01/02	07/01/03	WC STATUTORY LIMITS	OTH-ER
					E.L. EACH ACCIDENT	\$ 100 000
					E.L. DISEASE - EA EMPLOYEE	\$ 100 000
					E.L. DISEASE - POLICY LIMIT	\$ 500 000
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS  
 \*STATE OF FLORIDA REQUIRES THIRTY (30) DAYS NOTICE OF CANCELLATION ON WORKERS COMPENSATION/FLORIDA EMPLOYEES ONLY/NOTICE OF CANCELLATION FOR NON PAYMENT IS TEN (10) DAYS/NON RENEWAL IS FORTY FIVE (45) DAYS

<b>CERTIFICATE HOLDER</b>	<b>ADDITIONAL INSURED; INSURER LETTER:</b>	<b>CANCELLATION</b>
SEAWALL		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL *10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
Seawalls Point Building Department 1 South Seawalls Point Road Stuart FL 34996		AUTHORIZED REPRESENTATIVE 

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
05/02/2002

PRODUCER (561)746-4546 FAX (561)746-9599  
**Tequesta Agency, Inc.**  
 393 Tequesta Drive  
 Tequesta, FL 33469  
 Debra Hicks

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

INSURED **Altec Roofing, Inc.**  
 150 Toney Penna Drive  
 Jupiter, FL 33458

INSURER A: **Transportation Insurance Co.**  
 INSURER B: **Continental Casualty Company**  
 INSURER C: \_\_\_\_\_  
 INSURER D: \_\_\_\_\_  
 INSURER E: \_\_\_\_\_

**RECEIVED**

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	C2057632495	05/01/2002	05/01/2003	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire)	\$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 5,000
					PERSONAL & ADV INJURY	\$ 1,000,000
					GENERAL AGGREGATE	\$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				PRODUCTS - COMP/OP AGG	\$ 2,000,000
B	AUTOMOBILE LIABILITY	C2057632500	05/01/2002	05/01/2003	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC AGG	\$
B	EXCESS LIABILITY	C2057632514	05/01/2002	05/01/2003	EACH OCCURRENCE	\$ 2,000,000
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$ 2,000,000
	<input type="checkbox"/> DEDUCTIBLE					\$
	<input checked="" type="checkbox"/> RETENTION \$ 10,000					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS	OTH-ER
					E.L. EACH ACCIDENT	\$
					E.L. DISEASE - EA EMPLOYEE	\$
					E.L. DISEASE - POLICY LIMIT	\$
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

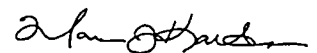
CANCELLATION

SEWALLS POINT  
 BUILDING DEPARTMENT  
 1 SOUTH SEWALLS POINT ROAD  
 STUART, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Mark Kasten/DEBBIE



1984-08336

STATE OF FLORIDA  
PALM BEACH COUNTY  
OCCUPATIONAL LICENSE

OC-032  
CLASSIFICATION

EXPIRES: SEPTEMBER - 30 - 2002

ALTEC ROOFING INC  
MILLET WALTER J III

\*\* LOCATED AT  
150 TONEY PENNA DR  
JUPITER FL 33458-5721

CNTY \$26.25

TOTAL \$26.25

Is hereby licensed at above address for the period beginning on the first day of October and ending on the thirtieth day of September to engage in the business, profession or occupation of:

ROOFING CONTRACTOR  
CCC013759

THIS IS NOT A BILL - DO NOT PAY

PAID. PBC TAX COLLECTOR  
\$26.25 OCC 49 15887 08-17-2001

JOHN K. CLARK, CFC  
TAX COLLECTOR, PALM BEACH COUNTY

THIS LICENSE VALID ONLY WHEN RECEIPTED BY  
TAX COLLECTOR

DETACH AND KEEP BOTTOM PORTION, AND KEEP TOP PORTION FOR YOUR RECORDS

1984-08337

STATE OF FLORIDA  
PALM BEACH COUNTY  
OCCUPATIONAL LICENSE

CW-008  
CLASSIFICATION

EXPIRES: SEPTEMBER - 30 - 2002

ALTEC ROOFING INC  
MILLET WALTER J III

\*\* LOCATED AT  
150 TONEY PENNA DR  
JUPITER FL 33458-5721

C/WIDE \$185.85

TOTAL \$185.85

Is hereby licensed at above address for the period beginning on the first day of October and ending on the thirtieth day of September to engage in the business, profession or occupation of:

ROOFING CONTRACTOR  
CCC013759

THIS IS NOT A BILL - DO NOT PAY

PAID. PBC TAX COLLECTOR  
\$185.85 OCC 003 02092 08-24-2001

JOHN K. CLARK, CFC  
TAX COLLECTOR, PALM BEACH COUNTY

THIS LICENSE VALID ONLY WHEN RECEIPTED BY  
TAX COLLECTOR

AG# 5935271  
STATE OF FLORIDA  
PROPERTY AND BUSINESS AND PROFESSIONAL REGULATION  
CCC# 0013759  
EXPIRES 9/30/2002  
CERTIFIED ROOFING CONTRACTOR  
MILLET WALTER J III  
ALTEC ROOFING INC

under the provisions of Ch. 489  
FS  
IS CERTIFIED  
Expiration Date: AUG 31 2002

# ALTEC ROOFING INC.

OFFICE: 150 TONEY PENNA DR.  
JUPITER, FLORIDA 33458

MAILING: P.O. BOX 664  
JUPITER, FLORIDA 33468

JUPITER (561) 747-1990  
VERO BEACH (561) 778-1997  
LICENSE #CCC 013759

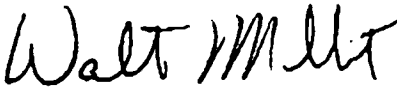
December 13, 2001

Town of Sewalls Point

To Whom It May Concern:

I hereby authorize Brad Molter to sign for Altec Roofing, Inc. with regard to permitting.

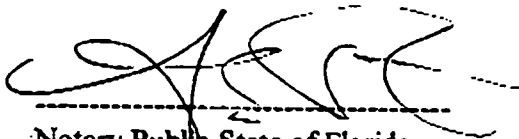
Sincerely,



Walter Millet  
President

State of Florida  
County of Palm Beach

The foregoing instrument was acknowledged before me this 13th day of December, 2001, by Walter Millet of Altec Roofing, Inc. He is personally known to me and did not take an oath.



Notary Public State of Florida



Alyce E. Hetherington  
MY COMMISSION # CC850288 EXPIRES  
August 18, 2003  
BONDED THROUGH TROY FAIN INSURANCE, INC.



ION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # 13 38 41 002 000 0490.2000

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

LOT 49 HILLY POINT (2 MIDDLE ROAD)

GENERAL DESCRIPTION OF IMPROVEMENT: REPLACEMENT OF TILE ROOF

OWNER: MRS RUTH SADLER

ADDRESS: 12 MIDDLE ROAD SEWALLS POINT

PHONE #: 203-8068

FAX #: \_\_\_\_\_

CONTRACTOR: ALTEC ROOFING INC

ADDRESS: 150 TONEY PENNA DRIVE JUPITER FL 33458

PHONE #: 561-747-1990

FAX #: 561-747-1645

SURETY COMPANY (IF ANY) N/A

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: N/A

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED, BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES ALTEC ROOFING OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: MARCH 2003  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Ruth A. Sadler  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 6 DAY OF SEPTEMBER 2002 BY RUTH SADLER

[Signature]  
NOTARY SIGNATURE

OR

PERSONALLY KNOWN  
PRODUCED ID X  
TYPE OF ID DL

Alyce E. Hetherington  
MY COMMISSION # CC8582RR

# ALTEC

ROOFING INC.

150 TONEY PENNA DR. • JUPITER FL 33458  
P.O. BOX 664 • JUPITER FL 33468

Jupiter (561) 747-1990      Vero Beach (561) 778-1997

FAX (561) 747-1645

Estimate --- Contract

Date: August 9, 2002  
To: RUTH SADLER  
12 MIDDLE RD  
SEWALLS POINT, FL  
Job Name: REROOF TILE AREA

283-8868

---

Price to include:

- (1) TEAR OFF EXISTING TILE ROOF DOWN TO SHEATHING BOARDS, AND REMOVE TRASH AND DEBRIS FROM JOB SITE. FLAT ROOF TO REMAIN IN PLACE AT THIS TIME.
- (2) SLOPED ROOF TO CONSIST OF 13" ENTEGRA CEMENT TILE, FOAM CEMENTED OVER ONE(1) 90# SLATE-SURFACE FELT HOT-MOPPED OVER ONE 1) 30# FELT TIN-TAGGED AND NAILED.
- (3) DRIPEDGE TO BE WHITE METAL, OTHER FLASHINGS TO BE COPPER AND ROOF PENETRATIONS TO BE REDONE.
- (4) 5 YEAR WARRANTY TOWARDS WORKMANSHIP.

NOTE: ANY WOOD WORK OR STUCCO WORK TO BE REPLACED OR REPAIRED WILL BE ON A TIME AND MATERIAL BASIS, IN ADDITION TO THE CONTRACT PRICE. NO GUTTER OR INSULATION FIGURED IN PRICE. DUE DILIGENCE WILL BE TAKEN TO PROTECT THE DRIVEWAY FROM DAMAGE, HOWEVER WE WILL NOT BE RESPONSIBLE FOR CRACKS OR BREAKS.

ALT: IF A 40 YR. DIMENSIONAL SHINGLE ROOF IS INSTALLED \$9,550.00

---

Total Price: \$16,600.00

Payable As Follows: 25% ACCEPTANCE, 25% MOPPING, 25% TILE, 25% COMPLETION

Any further conditions to this Estimate/ Contract, it is hereby understood that this Estimate/ Contract may be withdrawn by us is not accepted within 20 days from above date: that this Estimate/ Contract when duly executed by both parties, constitutes an entire and binding contract between us: and that if any obligation hereunder is enforced by action at law or in equity, then the party against whom such is enforced agrees to pay all costs including reasonable attorney's fees. Our workers are fully covered by Workmen's Compensation Insurance.

Respectfully submitted, Altec Roofing, Inc.

By: MIKE WALSH

---

Acceptance Of Estimate / Contract

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The forgoing terms, conditions, and specifications are hereby accepted and agreed to as a valid and binding contract and (I/we) hereby authorize you to execute same.

Date: Aug. 22/02

Signed: Ruth Sadler

---



MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Entegra Roof Tile Corporation  
1201 N.W. 18 Street  
Pompano Beach, FL 33069

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339

Your application for Notice of Acceptance (NOA) of:  
Skandia Roof Tile

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 00-1106.03  
EXPIRES: 12/07/2005

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

APPROVED: 12/07/2000

FIELD COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE: 9/17/02  
  
BUILDING OFFICIAL  
Gene Simmons

Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office



ENTEGRA ROOF TILE CORPORATION

ACCEPTANCE No. : 00-1106.03

APPROVED: December 7, 2000

EXPIRES: December 7, 2005

**NOTICE OF ACCEPTANCE: STANDARD CONDITIONS**

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
Roof Tile Mortar ("Quikrete® Roof Tile Mortar #1140")	N/A	PA 123	Prepared mortar mix designed for mortar set roof tile applications.	Quikrete Construction Products with Current NOA
Roof Tile Mortar ("BONSAL® Roof Tile Mortar Mix")	N/A	PA 123	Prepared mortar mix designed for mortar set roof tile applications.	W. R. Bonsal Co. with current NOA
Wood Battens	<u>vertical</u> min. 1" x 4" <u>horizontal</u> min. 1" x 4" for use with vertical battens or min. 1" x 2" for use alone	Wood Preservers Institute LP - 2	Salt pressure treated or decay resistant lumber battens	generic
Tile Nails	min. 10d x 3"	PA 114 Appendix E	Corrosion resistant, smooth, screw or annular ring shank nail	generic
Tile Screws	#8 x 2 1/4" long 0.335" head dia. 0.131" shank dia. 0.175" screw thread diameter	PA 114 Appendix E	Corrosion resistant coated, square drive, galvanized, coarse thread wood screw	generic
Hurricane Clip & Fasteners	<u>Clips</u> min. 1/2" width min. 0.062" thick	PA 114 Appendix E	Corrosion resistant bronze, aluminum, stainless steel, galvanized steel or plastic attachment clips for supplemental tile attachment. Clips are installed with corrosion resistant roofing nails compatible with the clip. A hurricane clip is required on all nail-on eave tiles.	generic

**3. LIMITATIONS**

3.1 Fire classification is not part of this acceptance



Frank Zuloaga, RRC  
Roofing Product Control Examiner

ENTEGRA ROOF TILE CORPORATION

ACCEPTANCE No. : 00-1106.03

APPROVED: December 7, 2000

EXPIRES: December 7, 2005

**NOTICE OF ACCEPTANCE: STANDARD CONDITIONS**

- 3.2 For mortar or adhesive set tile applications, a static field uplift test shall be performed in accordance with RAS 106.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with PA 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayments shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable Building Code.

**4. INSTALLATION**

4.1.1 "Entegra Roof Tile Corporation Skandia Flat", and its components shall be installed in strict compliance with Roofing Application Standard RAS 118, RAS 119, and RAS 120.

4.2 Data For Attachment Calculations

**Table 1: Aerodynamic Multipliers -  $\lambda$  (ft<sup>2</sup>)**

Tile Profile	$\lambda$ (ft <sup>2</sup> )	$\lambda$ (ft <sup>2</sup> )
	Batten Application	Direct Deck Application
Skandia	0.267	0.289

**Table 2: Restoring Moments due to Gravity -  $M_g$  (ft-lbf)**

Tile Profile	3":12"		4":12"		5":12"		6":12"		Greater than 7":12"	
	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
Entegra Skandia	6.85	7.79	6.75	7.67	6.61	7.52	6.44	7.32	6.26	N/A



Frank Zuloaga, RRC  
Roofing Product Control Examiner

ENTEGRA ROOF TILE CORPORATION

ACCEPTANCE No. : 00-1106.03

APPROVED: December 7, 2000

EXPIRES: December 7, 2005

**NOTICE OF ACCEPTANCE: STANDARD CONDITIONS**

**Table 3: Attachment Resistance Expressed as a Moment - M<sub>t</sub> (ft-lbf)  
for Nail-On Systems**

Tile Profile	Fastener Type	Direct Deck (min 15/32" plywood)	Direct Deck (min. 19/32" plywood)	Battens
Skandia	2-10d Ring Shank Nails	30.9	38.1	17.2
	1-10d Smooth or Screw Shank Nail	7.3	9.8	4.9
	2-10d Smooth or Screw Shank Nails	14.0	18.8	7.4
	1 #8 Screw	30.8	30.8	18.2
	2 #8 Screw	31.7	31.7	24.4
	1-10d Smooth or Screw Shank Nail (Field Clip)	24.3	24.3	24.2
	1-10d Smooth or Screw Shank Nail (Eave Clip)	19.0	19.0	22.1
	2-10d Smooth or Screw Shank Nails (Field Clip)	35.5	35.5	34.8
	2-10d Smooth or Screw Shank Nails (Eave Clip)	31.9	31.9	32.2
	2-10d Ring Shank Nails <sup>1</sup>	50.3	65.5	48.3

1. Installation with a 4" tile headlap and fasteners are located a min. of 2 1/4" from head of tile.

**Table 4: Attachment Resistance Expressed as a Moment M<sub>t</sub> (ft-lbf)  
for Two Patty Adhesive Set Systems**


Tile Profile	Tile Application	Minimum Attachment Resistance
Skandia	Adhesive	31.3 <sup>2</sup>

2. See manufactures component approval for installation requirements.  
3. Flexible Products Company TileBond Average weight per patty 13.9 grams.  
Polyfoam Product, Inc. Average weight per patty 8 grams.

**Table 4A: Attachment Resistance Expressed as a Moment - M<sub>t</sub> (ft-lbf)  
for Single Patty Adhesive Set Systems**

Tile Profile	Tile Application	Minimum Attachment Resistance
Skandia	PolyPro™	118.9 <sup>4</sup>
Skandia	PolyPro™	40.4 <sup>5</sup>

4. Large patty placement of 45 grams of PolyPro™.  
5. Medium patty placement of 24 grams of PolyPro™.

  
 Frank Zuloaga, RRC  
 Roofing Product Control Examiner

ENTEGRA ROOF TILE CORPORATION

ACCEPTANCE No. : 00-1106.03

APPROVED: December 7, 2000

EXPIRES: December 7, 2005

**NOTICE OF ACCEPTANCE: STANDARD CONDITIONS**

Table 4B: Attachment Resistance Expressed as a Moment - M, (ft-lbf) for Mortar Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
See Specific mortar manufacturer's Notice of Acceptance.		

**5. LABELING**

All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo, or following statement: "Miami-Dade County Product Control Approved".

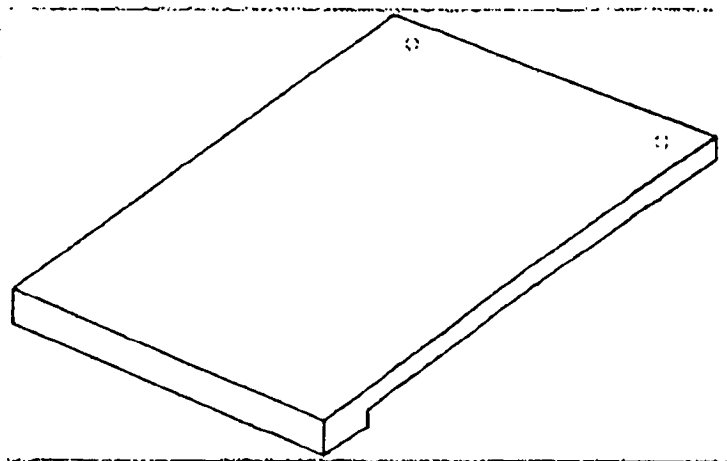
**6. BUILDING PERMIT REQUIREMENTS**

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance.

6.1.2 Any other documents required by the Building Official in order to properly evaluate the installation of this system.

**PROFILE DRAWING**



**SKANDIA FLAT CONCRETE TILE**

Frank Zuloaga, RRC  
Roofing Product Control Examiner



ENTEGRA ROOF TILE CORPORATION

ACCEPTANCE No. : 00-1106.03

APPROVED: December 7, 2000

EXPIRES: December 7, 2005

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test-supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approval", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
  - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
  - b. The product is no longer the same product (identical) as the one originally approved.
  - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
  - d. The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
  - a. Unsatisfactory performance of this product or process.
  - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1 through 7.

END OF THIS ACCEPTANCE

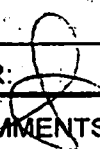

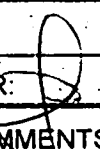


Frank Zuloaga, RRC  
Roofing Product Control Examiner

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9/18/02, 2001; Page 2 of 2.



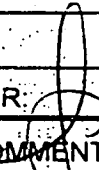
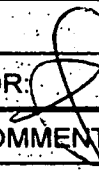

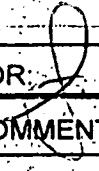
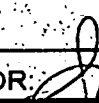
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5468	McMAHON	BLDG. PLUMBING.	Pass	370 0572
(3)	S MELODY HILL O/B	ELEC FINAL		INSPECTOR: 
<del>5978</del>	<del>Sandbar</del>	<del>Sheeting, Partial</del>	<del>Partial</del>	
(7)	12 Middle Rd ALTEC			INSPECTOR: 
5823	MUSSO	PAVER DRIVE	Partial	Late
(9)	18 S. River Rd PAVE STONE			INSPECTOR: 
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9-20-02, 2001; Page 1 of   .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5978	Sadler 12 Middle Rd ALTEC	Sheating + TIN TAG	Passed	
				INSPECTOR: 
5636	FRANCES 5 S. River Rd Wilberding	Roof Nailing	Cancelled by Contractor	
				INSPECTOR: 
5957	CAPLAN 10 E. High Pt. Pacific	Tin tag Metal	Passed	early
				INSPECTOR: 
5908	Wilberding 2 Palomay WAY O/B	Stem Wall (Gene has been pd)	Passed	early
				INSPECTOR: 
TREE	INGRAM 101 N. Sewall's Pt Rd	TREE	Passed	
				INSPECTOR: 
TREE	Smith 30 Simons St	TREE	Passed	
				INSPECTOR: 
5917	ELDER 4 EMARITA WAY ARLINGTON	Electric SVC Change	Passed	
				INSPECTOR: 

OTHER: \_\_\_\_\_



5978

**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(561) 287-2455

**CORRECTION NOTICE**

ADDRESS: 12 Middle Rd.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

Roof Panel

incomplete

remove all material

\$30. - Fee

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/4/12

[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-4-02, 2001; Page 2 of    .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
PLEASE	SEE/talk with Resident at	28 Rio Vista Dr.	Dr. McGee - 283-8157	
(1)	Would like you there at 9:30 - Wants to know if construction on corner lot is up to code - TH-			INSPECTOR: <i>[Signature]</i>
5185.	JONES	TRUSS ENGINEER	Failed	
(14)	14 HERON'S NEST - J/B.			INSPECTOR: <i>[Signature]</i>
5705	Clements	underground gas	Passed	Used new permit copy
(5)	11 West H Pt. Rd. TREASURE POINT			INSPECTOR: <i>[Signature]</i>
5978	<del>SANDLER</del>	<del>Final Roof</del>	<del>Failed</del>	
(6)	12 Middle Rd ALLTEC ROOF			INSPECTOR: <i>[Signature]</i>
5804	Justice	Siding	Passed	
(7)	18 Middle Rd Shaler			INSPECTOR: <i>[Signature]</i>
5541	Milord	Final GAS	Passed	→ Swale!
(8)	144 N. Sewall's Pt Rd MILORD			INSPECTOR: <i>[Signature]</i>
				INSPECTOR:

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-9-02, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>5811</del>	<del>Miloro</del>	<del>Final Gas</del>		
	<del>144 N. Sewall Pt Rd</del>			
	<del>PLO-GAS</del>			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5949	HOPPLER	FRAMING	No inspection	
	173 S. Sewall Pt Rd		need AC + Phlyg + Bl	
	HOPPLER O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>5978</del>	<del>Sadler</del>	<del>Final Roof</del>		<del>430.00 see Mon P.M.</del>
	12 Middle Rd	no-INSPEC	430.00 see Mon P.M.	
	ALTEC		Passed	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5844	BRUTYAN	BLDG FINAL	Passed	
	23 W. SEWALL POINT RD.	Plumber		
	BROWN			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5755	De Graff	EXTERIOR FIRMING		3/4 + 1/2" HD + 1/4" roof sh.
	9 Castle Hill Way			
	O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5880	Horte	INSULATION	Passed	(exc. 1 ceiling = blow)
	3 E. High Pt Rd			
	NAVARRO			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5982	REICH	Rough in Plumb	Passed	
	22 Middle Rd	+ Framing		
	TONAIO			INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

**7987**

**GARAGE DOOR**

---

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 1/5/06 BUILDING PERMIT NO. 7987  
 Building to be erected for SADLER Type of Permit GARAGE DOOR  
 Applied for by O/B (Contractor) Building Fee 35.00  
 Subdivision HIGH POINT Lot 49 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
 Address 12 MIDDLE ROAD Impact Fee \_\_\_\_\_  
 Type of structure SFR A/C Fee \_\_\_\_\_  
 Electrical Fee \_\_\_\_\_  
 Plumbing Fee \_\_\_\_\_  
 Roofing Fee \_\_\_\_\_  
 Parcel Control Number:  
1338410020000049020000  
 Amount Paid 35.00 Check # \_\_\_\_\_ Cash  Other Fees ( \_\_\_\_\_ )  
 Total Construction Cost \$ 1500.00 TOTAL Fees 35.00

Signed [Signature] Applicant  
 Signed [Signature] Town Building Official

## PERMIT

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL             |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK          |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE                  |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS                    |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION             |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input checked="" type="checkbox"/> ADDITION    |
|   |  | <input checked="" type="checkbox"/> GARAGE DOOR |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |



RECEIVED  
12/29/05

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: \_\_\_\_\_

OWNER/TITLEHOLDER NAME Mrs RUTH SADLER Phone (Day) 283-8868 (Fax) \_\_\_\_\_

Job Site Address: 12 MIDDLE ROAD City: SEWALLS POINT State: FLA Zip: 34996

Legal Desc. Property (Subd/Lot/Block) \_\_\_\_\_ Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: REPLACE HURRICANE DAMAGED GARAGE DOOR

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ \$1500  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004  
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Ruth P. Sadler

State of Florida, County of: MARTIN

This the 29th day of DECEMBER, 2005

by Ruth Sadler who is personally

known to me or produced Edy 346 275 13948-0

as identification. Notary Public 12/18/07

Notary Public

My Commission Expires: \_\_\_\_\_

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: \_\_\_\_\_

This the \_\_\_\_\_ day of \_\_\_\_\_, 200 \_\_\_\_\_

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

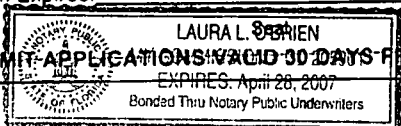
As identification. \_\_\_\_\_

Notary Public

My Commission Expires: \_\_\_\_\_

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



12/29/05

I AUTHORIZE  
LARRY WINZOR  
TO PICK UP MY  
GARAGE DOOR PERMIT

~~Robert~~ G. Sandler

**TOWN OF SEWALL'S POINT**  
**ONE SOUTH SEWALL'S POINT ROAD**  
**SEWALL'S POINT, FLORIDA 34996**

**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
**(To be submitted if permit is to be pulled by Owner/Builder)**

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: MRS RUTH SADLER Date: \_\_\_\_\_

Signature: Ruth D. Sadler

Address: 12 MIDDLE ROAD

City & State: SEWALLS POINT

Permit No. \_\_\_\_\_

2 copies manufacturers specs.

**EVALUATION ENTITY**

Gary Pfuehler, P. E.  
5665 Green Oak Court  
Fairfield, OH 45014

**Product Evaluation Report  
for Florida DCA**

Evaluation Report # 4300W8-18

**MANUFACTURER**

Clopay Building Products Company  
8585 Duke Blvd.  
Mason, OH 45040  
513.770.4800

**Statement of Compliance:**

The Clopay Building Products Company sectional doors as described on the drawings listed below meet the design and test pressures shown. Based on the testing and rational analysis detailed below, this product is evaluated to be in compliance with the following provisions of the Florida Building Code:

- Outside the HVHZ:** Wind Loads (tested in compliance with FBC 1714.5.3.1, ref. ANSI/DASMA 108 or TAS 202)
- Inside the HVHZ:** Wind Loads for HVHZ (tested in compliance with FBC 1714.5.3.1, ref. TAS 202),  
1625 Cyclic Tests for HVHZ (ref. TAS 203), 1626 Impact Tests for HVHZ (ref. TAS 201)

**Description of Product:** Double-skin Insulated (exterior skin 27 ga. min.; interior skin 27 ga. min.)  
 Double Car (16'4" to 18'2" wide) WINDCODE® W8 Garage Door  
 Design Pressures: +46/-50 . Test Pressures: +69/-75

**Specific Models and Technical Documentation:**


Model	Test Report	Drawing No.	Comments
4300W8, 4301W8, 4310W8, 4400W8, 4401W8, HDGW8, HDGLW8	HETI-03-1359	103028-Rev04	None
66W8, 67W8, 68W8	HETI-03-1359	103028-Rev04	None
H300W8, H301W8, H310W8, H400W8, H401W8	HETI-03-1359	103028-Rev04	None

**Installation requirements:** Installation must be in accordance with manufacturer's installation instructions.

**Limitations and conditions of use:** Jambs, lintels, sills or other structural elements required to prepare openings are not covered. The design of the supporting structural elements shall be the responsibility of the professional of record for the building or structure and in accordance with current building codes for the loads listed on the drawing referenced above.


**Certification of Independence of Evaluation Entity:** I hereby certify that (1) I have no financial interest in Clopay Building Products Company; (2) I am an independent licensed Professional Engineer in the State of Florida; and (3) I comply with the criteria of independence as stated in 9B-72.110 F.A.C.

Signature:

  
 Gary Pfuehler, P. E.  
 Florida P. E. No. 49850

Date:

7/27/05

FILE COPY  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE: 11/4/06  
  
 BUILDING OFFICIAL  
 Gene Simmons





# BROTTEN

GARAGE DOOR SALES

# COD INSTALLATION

Page 1 of 1

ORDER NUMBER: 0120135

ORDER DATE: 12/28/2005

"Broken? Call Brotten! We open doors for you!"



**SOLD TO:**

**CLOPAY CORPORATION**  
12 MIDDLE ROAD  
DEPOT 6314/SADLER  
SADLER, RUTH  
STUART, FL 34996  
PHONE NUMBER: (800) 526-4301

TERMS: NET 30 DAYS

CREW:

*Customer Copy*

DESCRIPTION OF WORK

Unit Price

Extension

/FIR800 SINGLE/DBL DOOR DEL - 30 MIL.  
MODEL HDG W8 16 X 7 SW  
INSIDE LOCK  
/FIR991 FREIGHT  
/SURCHA FUEL SURCHARGE  
DELIVERY 01/03/06

**TOTAL: \$0.00**

Existing operator does not conform to current UL 325 entrapment standards established in 1993. Brotten Garage Door Sales recommends immediate replacement of this unit with a unit that conforms to current UL 325 standards. Customer Declines \_\_\_\_\_

*Initial Required.*

**CONDITIONS OF SALE**

**GARAGE DOOR OPENER - DISCLOSURE AND STATEMENT OF REPAIR - SAFETY REVERSE TEST**

Permitted work requiring final inspection is the responsibility of the owner. S.F.B.C. 1994 Section 3 304.2 (d). Any expense incurred by Brotten Garage Door Sales, Inc. as the result of owner not allowing or missing a scheduled inspection, or non payment, or returned checks, will be the responsibility of the owner to pay. Minor scratches or scuffs in the finish are not defects and may require touch up to protect and maintain manufacturer's warranty.

The Safety Reverse Mechanism in your operator should prevent an open door from closing and reverse its direction if its downward path is obstructed, preventing people from being trapped underneath. The Safety Reverse Test was performed at the height of one inch from the ground. REPEAT TESTING EVERY THREE MONTHS. We strongly recommend that your garage door and/or garage door opener be repaired or replaced before further use if unsafe. Unsafe product(s) have been red-tagged for your safety. Brotten Garage Door Sales, Inc. shall not be held liable for any damage to the existing garage door opener resulting from safety inspection, and shall not be held liable for death or injury caused by continued use of unsafe door system.

**ROTTEN WILL NOT BE RESPONSIBLE FOR DAMAGE RESULTING FROM REMOVAL OF EXISTING TRIM. ALL WARRANTY WORK WILL BE PERFORMED ONLY DURING REGULAR BUSINESS HOURS 8:00 AM 4:00 PM MONDAY THRU FRIDAY.**

REVERSED  DID NOT REVERSE - DO NOT USE

I hereby acknowledge work performed, limited warranty, safety inspection and trim and scratch disclaimer. I hereby acknowledge satisfactory completion of the above work.

Opener Type: _____	Key No: _____
Model No: _____	Code: _____
Serial No.: _____	Start: _____
Completed by: _____	Finish: _____

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 1/30, 2006 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7749	MORRIS	HURRICANE SURVIVED	PASS	CLOSE
6	120 HILLCREST DR BLUE WATER BLDG SVCS	FINAL		INSPECTOR: <i>[Signature]</i>
7957	MORRIS	CBS PRIVACY FENCE	PASS	CLOSE
6	120 HILLCREST DR O/B	FINAL		INSPECTOR: <i>[Signature]</i>
7972	BUSHA	FINAL DOCK	FAIL	
7	10 PALM COURT O/B			INSPECTOR: <i>[Signature]</i>
<del>7987</del>	<del>SADLER</del>	<del>GARAGE DOOR FINAL</del>	<del>PASS</del>	<del>CLOSE</del>
2	12 MIDDLE ROAD O/B			INSPECTOR: <i>[Signature]</i>
7625	KUHNS	FINAL ELECTRIC		CANCEL
X	94 S. RIVER ROAD ARROYO	SUNROOM		SET FOR FRI. 2/3 INSPECTOR:
7978	NAUDIN	CAP-PRIVWAY	PASS	
5	19 N. RIDGEVIEW O/B			INSPECTOR: <i>[Signature]</i>
7873	NOHEJL	WINDOW & DOOR	PASS	
1	26 W HIGH POINT RD O/B	BUCK		INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_



**9756**

**ACCORIDAN SHUTTERS**

---



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9756	DATE ISSUED:	MARCH 31, 2011
SCOPE OF WORK:	1 ACCORDIAN SHUTTER		
CONDITIONS :			
CONTRACTOR:	GULFSTREAM ALUMINUM		
PARCEL CONTROL NUMBER:	133841002-000-004902	SUBDIVISION	HIGH PT - LOT 49
CONSTRUCTION ADDRESS:	12 MIDDLE RD		
OWNER NAME:	SADLER		
QUALIFIER:	JOHN O'BRIEN	CONTACT PHONE NUMBER:	287-1402

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Permit Number: 9756

Date: \_\_\_\_\_  
 OWNER/TITLEHOLDER NAME: Curtis Sadler Phone (Day) 772-283-8868 (Fax) \_\_\_\_\_  
 Job Site Address: 12 Middle Rd. Sewall's Point City: Stuart State: Fl. Zip: 34986  
 Legal Description: High Point Lot 49 Parcel Control Number: 13-38-41-002-000-00490-2  
 Owner Address (if different): Same City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**SCOPE OF WORK (PLEASE BE SPECIFIC):** Install 1 accordion shutter

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO X  
**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
 Estimated Value of Improvements: \$1200.00  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10 AE9 AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

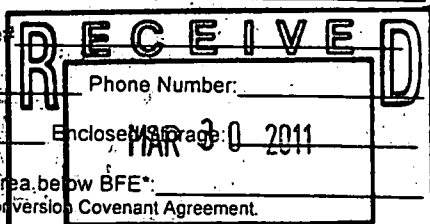
Construction Company: Gulfstream Aluminum & Metal Phone: 772-287-6476 Fax: 772-287-9410  
 Qualifiers name: John L. O'Brien Street: 3001 SE Gran Parkway City: Stuart State: Fl. Zip: 34987  
 State License Number: CCC 058017 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: Brian Hoxe Phone Number: 772-287-6476

DESIGN PROFESSIONAL: N/A Fla. License: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof: \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.



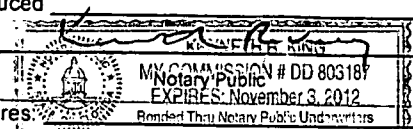
CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Electrical, Fire Prevention) 2007, Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007.

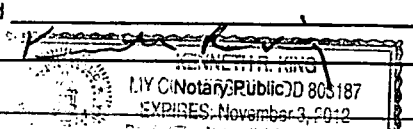
**NOTICES TO OWNERS AND CONTRACTORS:**

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.)  
 OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)  
X Curtis A. Sadler  
 State of Florida, County of: Martin  
 On This the 29th day of March, 2011  
 by Curtis P. Sadler who is personally  
 known to me or produced  
 As identification: \_\_\_\_\_  
 My Commission Expires: \_\_\_\_\_  


CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)  
X John L. O'Brien  
 State of Florida, County of: Martin  
 On This the 29th day of March, 2011  
 by \_\_\_\_\_ who is personally  
 known to me or produced  
 As identification: \_\_\_\_\_  
 My Commission Expires: \_\_\_\_\_  


SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida  
Laurel Kelly, C.F.A**

*generated on 3/28/2011 10:28:35 AM EDT*

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-002-000-00490-2	27736	12 MIDDLE RD, SEWALL'S POINT	\$394,710	3/26/2011

**Owner Information**

<b>Owner(Current)</b>	SADLER RUTH P
<b>Owner/Mail Address</b>	12 MIDDLE RD STUART FL 34996-7011
<b>Sale Date</b>	01/01/1979
<b>Document Number</b>	
<b>Document Reference No.</b>	0460 2559
<b>Sale Price</b>	125000

**Location/Description**

<b>Account #</b>	27736	<b>Map Page No.</b>	SP-06
<b>Tax District</b>	2200	<b>Legal Description</b>	HIGH POINT LOT 49
<b>Parcel Address</b>	12 MIDDLE RD, SEWALL'S POINT		
<b>Acres</b>	.3430		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120000 HighPoint - Sewall's Point

**Assessment Information**

<b>Market Land Value</b>	\$250,000
<b>Market Improvement Value</b>	\$144,710
<b>Market Total Value</b>	\$394,710



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

## HURRICANE SHUTTER INSTALLATION CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

*Please make sure you have ALL required copies before submitting permit application*

- 1 Copy Completed Permit application
  - 2 Copies Shutter schedule
  - 2 Copies Floor plan sketch showing the location and ID number of each shutter.  
**MUST MATCH SHUTTER SCHEDULE.**
  - 2 Copies Shutter engineering specifications complying with the  
2007 FBC
  - 1 Copy Prior to the final inspection; an impact installation affidavit must be  
submitted.
-



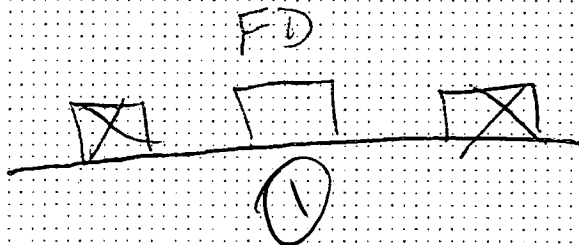


Do It Once. Do It Right.  
Since 1979

3001 S.E. Gran Park Way, Stuart, Florida 34997  
(772) 287-6476 • (800) 244-4143  
FAX (772) 287-9740  
E-Mail: jobrien@gulfshutters.com  
www.gulfshutters.com  
Lic. #MC00231, SL 1211, PB# U-17051, CRC58017

Key	
Storm Panels - SP	Rollups - RU
Accordions - AC	Windows/Doors - WD
Bahamas - BA	Retractable Awnings - RA
Colonials - CO	Ultra Lattice - UL

SADLER



Special Instructions:

Signature \_\_\_\_\_

Date \_\_\_\_\_

Salesperson Laura Scott

Gulfstream Aluminum and Shutter Corp.

Date 3/4/11

PROPOSAL



Phone: (800) 244-4143  
Fax: (772) 287-9740  
www.gulfshutters.com

3001 S.E. Gran Park Way  
Stuart, Florida 34997

Since 1979  
Residential/Commercial  
World Wide  
License # CRC058017

Proposal Submitted to MRS Ruth SADLER Phone 772 283 8868 Date 3/4/11  
Street: 12 MIDDLE RD STUART FL City STUART State FL Zip Code 34996

DO NOT SIGN THIS CONTRACT UNTIL YOU READ ALL CONDITIONS OF THE AGREEMENT.

We hereby submit specifications and estimates for:

To furnish + INSTALL HV white  
ACCORDION FOR FRONT DOOR  
with INSIDE THUMB LOCK + OUTSIDE THUMB LOCK  
STAINLESS STEEL LOCK,  
Permit Included.

ASAP

TOTAL	\$ 1200 <sup>00</sup>
DEPOSIT 50%	- 600 <sup>00</sup>
BALANCE ON COMPLETION	600 <sup>00</sup>

5yr

ONE YEAR WARRANTY MATERIAL AND LABOR

It is understood that there are no verbal agreements and all items discussed are covered by this written contract. This is a proposal until signed by an officer of the corporation at which time it becomes an executed contract. Acceptance by owner must be within 30 days of proposal date. Buyer may cancel this contract within 3 days after signing. No changes in measurements will be allowed except at prices mutually agreed upon, at the time these changes are made. Any physical or verbal changes after signing must be approved in writing by both parties. All agreements are contingent upon strikes, lockouts, accidents, acts of God, weather, fire, carrier delays, delay or failure to receive raw material deliveries, or by other causes, whether of like or different nature beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance. All material is property of Gulfstream until final payment and can be removed if not paid.

**Electric**- Buyer agrees that any necessary electrical connections will be made at the closest source of power. Any changes or variations will be an additional charge.

**Interest** - Buyer agrees to pay 1 1/2 % per month interest on any unpaid balances.

**Costs of Collection** - Buyer agrees to be responsible for seller's attorney's fees (both trial and appeal) and all other costs of collection in the event full payment as outlined herein is not made within 10 days of completion of the work outlined herein.

**Acceptance of Proposal** - The above prices, specifications and conditions are satisfactory and hereby accepted. You are authorized to do the work as specified. Cancellation Fee 50% of contract. Payment will be made as outlined above.

SIGNATURE Brian C Sadler

SIGNATURE Laura Scott

DATE OF ACCEPTANCE: \_\_\_\_\_

AGENT \_\_\_\_\_





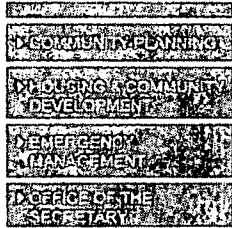
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**Product Approval**  
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**



FL #

**FL389-R3**

Application Type

Revision

Code Version

**2007**

Application Status

Approved

Comments

Archived



Product Manufacturer  
Address/Phone/Email

American Shutter Systems Association, Inc.  
4268 Westroads Drive  
West Palm Beach, FL 33407  
(561) 209-8263  
bfeeley@easternmetal.com

Authorized Signature

Bill Feeley  
lrodriguez@easternmetal.com

Technical Representative  
Address/Phone/Email

Quality Assurance Representative  
Address/Phone/Email

Category  
Subcategory

**Shutters  
Accordion**

Compliance Method

Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer  
 Evaluation Report - Hardcopy Received

Florida Engineer or Architect Name who developed the Evaluation Report

Walter A.. Tillit, Jr. P.E.

Florida License

PE-44167

Quality Assurance Entity

National Accreditation and Management Institute

Quality Assurance Contract Expiration Date

12/31/2013

Validated By

John Henry Kampmann Jr.

Validation Checklist - Hardcopy Received

Certificate of Independence

[FL389 R3 COI Dwq No. 08-227 Certification of Independence.pdf](#)

Referenced Standard and Year (of Standard)

Standard	Year
ASTM E-1886	2002

ASTM E-1996	2002
ASTM E-330	2002
TAS 201, 202, 203	1994

Equivalence of Product Standards  
Certified By

Sections from the Code

Product Approval Method                      Method 1 Option D

Date Submitted	11/03/2010
Date Validated	11/08/2010
Date Pending FBC Approval	11/10/2010
Date Approved	12/07/2010

Summary of Products		
FL #	Model, Number or Name	Description
389.1	Bertha HV Accordion Shutter- Blade 1 Only- (Non-HVHZ)- Drwg #08-227	Extruded aluminum interlocking blades retained by tracks (top and bottom) for storm protection
<b>Limits of Use</b> <b>Approved for use in HVHZ:</b> No <b>Approved for use outside HVHZ:</b> Yes <b>Impact Resistant:</b> Yes <b>Design Pressure:</b> N/A <b>Other:</b> Large missile level "D" max. span is 16'-0" for 30.0 p.s.f (for symmetrical and opposing centermates). See sheet 9 of 14 of installation drawings for other spans and pressures. This product shall not be installed within High Velocity Hurricane Zone as defined on section 1609 of the Florida Building Code.		<b>Installation Instructions</b> <a href="#">FL389 R3 II Drawing No. 08-227 Revised.pdf</a> Verified By: American Test Lab of South Florida Inc. Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL389 R3 AE Dwg No. 08-227 Product Evaluation                      Report.pdf</a> Created by Independent Third Party: Yes

**Department of Community Affairs**  
**Florida Building Code Online**  
**Codes and Standards**  
 2555 Shumard Oak Boulevard  
 Tallahassee, Florida 32399-2100  
 (850) 487-1824, Fax (850) 414-8436  
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Product Approval Accepts:



**GENERAL NOTES:**

1. BERTHA H.V. ACCORDION SHUTTER SYSTEM SHOWN ON THIS PRODUCT EVALUATION DOCUMENT (P.E.D.) HAS BEEN VERIFIED FOR COMPLIANCE IN ACCORDANCE WITH THE 2007 EDITION OF THE FLORIDA BUILDING CODE.  
THIS ACCORDION SHUTTER SYSTEM SHALL NOT BE INSTALLED AT HIGH VELOCITY HURRICANE ZONES. DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 1609 OF THE ABOVE MENTIONED CODE FOR A BASIC WIND SPEED AS REQUIRED BY THE JURISDICTION WHERE SHUTTER WILL BE INSTALLED, AND FOR A DIRECTIONALITY FACTOR  $K_d=0.85$ , IN ACCORDANCE WITH ASCE 7-05 STANDARD. IN ORDER TO VERIFY THAT ANCHORS ON THIS P.E.D., AS TESTED, WERE NOT OVERSTRESSED, A 33% INCREASE IN ALLOWABLE LOADS FOR WIND LOADS WAS NOT USED IN THEIR ANALYSIS.  
BERTHA H.V. ACCORDION SHUTTER SYSTEM'S ADEQUACY FOR WIND AND IMPACT LOAD HAS BEEN VERIFIED IN ACCORDANCE WITH SECTION 1609.1.2 OF THE ABOVE MENTIONED CODE AS PER ATL REPORTS #0214.01-03, AND #0715.01-03 AS PER TAS-201, TAS-202 AND TAS-203 PROTOCOLS AND ASTM E-1886 AND E-1996 STANDARDS.
2. BERTHA H.V. ACCORDION PINS (HV SCREWS), USED AT BLADES KNUCKLE AND FOR DIRECT MOUNT CONNECTION TO TRACKS SHALL BE # 14X2.75 AND # 14X1.75 RESPECTIVELY, 410-HT MINIMUM SERIES STAINLESS STEEL SCREWS WITH 135.0 ksi YIELD STRENGTH AND 180 ksi TENSILE STRENGTH. PINS SHALL BE COATED WITH BERTHA HV DACROSHIELD® COATING SYSTEM AS MANUFACTURED BY APPROVED COATING APPLICATORS, REGISTERED WITH AMERICAN SHUTTER SYSTEMS ASSOCIATION. PINS MUST BEAR THE HV MARKING ON THEIR HEAD.
3. ALL ALUMINUM EXTRUSIONS SHALL BE ALUMINUM ASSOCIATION 6063-T6 ALLOY AND TEMPER, WITH  $F_y = 25.0$  ksi MINIMUM (UNLESS OTHERWISE NOTED).
4. ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 AISI SERIES OR CORROSION RESISTANT COATED CARBON STEEL AS PER DIN 50018 WITH 50 ksi YIELD STRENGTH AND 90 ksi TENSILE STRENGTH.
5. BOLTS TO BE ALUMINUM ASSOCIATION 2024-T4 ALLOY AND TEMPER, ASTM A-307 GALVANIZED STEEL, OR AISI 304 SERIES STAINLESS STEEL WITH 35 ksi MINIMUM YIELD STRENGTH.
6. SEE SHEETS 10, 11 AND 12 FOR ANCHORS SPECIFICATIONS.
7. THIS BERTHA H.V. ACCORDION SHUTTER SYSTEM IS PATENT PENDING. COMPONENTS OF THIS APPROVAL ARE COVERED, IN WHOLE OR IN PART BY U.S. PATENT ISSUED TO EASTERN METAL SUPPLY, INC.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHUTTER IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE.  
CONTRACTOR TO SEAL/CAULK ALL SHUTTER COMPONENT EDGES WHICH REMAIN, THRU FASTENING IN CONTINUOUS CONTACT WITH THE BUILDING TO PREVENT WIND/RAIN INTRUSION.
9. EACH UNIT MUST BEAR A PERMANENT LABEL IN A VISIBLE PLACE WITH WARNING NOTE INSTRUCTING THE TENANT OR HOME OWNER THAT THE H.V. LOCK (W) OR ALTERNATE LOCK (W) MUST BE PROPERLY LOCKED DURING PERIODS OF HURRICANE WARNING. FOR EGRESS CONDITIONS, AN INSIDE HV LOCK (W) (WHERE KEY MUST REMAIN IN THE LOCK), AN INSIDE ALTERNATE LOCK (W) , OR AN EGRESS H.V. LOCK (W) SHALL BE USED.
10. SHUTTER MANUFACTURER'S LABEL SHALL BE LOCATED ON A READILY VISIBLE LOCATION AT ACCORDION SHUTTER IN ACCORDANCE WITH SECTION 1714.8.3 OF FLORIDA BUILDING CODE. ONE LABEL SHALL BE PLACED FOR EVERY OPENING. LABELING TO COMPLY WITH SECTION 1714.8.2 OF THE FLORIDA BUILDING CODE.

11. BERTHA H.V. ACCORDION SHUTTER SYSTEM'S INSTALLATION SHALL COMPLY WITH SPECS INDICATED IN THIS DRAWING PLUS ANY BUILDING AND ZONING REGULATIONS PROVIDED BY THE JURISDICTION WHERE PERMIT IS APPLIED TO.
12. (a) THIS P.E.D. PREPARED BY THIS ENGINEER IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PROJECT; i.e. WHERE THE SITE CONDITIONS DEVIATE FROM THE P.E.D.  
(b) CONTRACTOR TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION INCLUDING LIFE SAFETY OF THIS PRODUCT, BASED ON THIS P.E.D., PROVIDED HE/SHE DOES NOT DEVIATE FROM THE CONDITIONS DETAILED ON THIS DOCUMENT. CONSTRUCTION SAFETY AT SITE IS THE CONTRACTOR'S RESPONSIBILITY.  
(c) THIS P.E.D. WILL BE CONSIDERED INVALID IF ALTERED BY ANY MEANS.  
(d) SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT WHICH WILL BECOME THE ENGINEER OF RECORD (E.O.R.) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE P.E.D. ENGINEER OF RECORD, ACTING AS A DELEGATED ENGINEER TO THE P.E.D. ENGINEER SHALL SUBMIT TO THIS LATTER THE SITE SPECIFIC DRAWINGS FOR REVIEW.  
(e) THIS P.E.D. SHALL BEAR THE DATE AND ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL ENGINEER OF RECORD THAT PREPARED IT.

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

© 2009 EASTERN METAL SUPPLY, INC.

*[Handwritten Signature]*  
P.E. SEAL/SIGNATURE/DATE



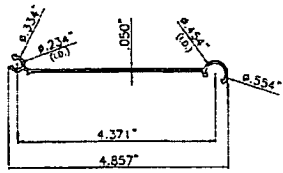
TILLIT TESTING & ENGINEERING COMPANY  
6355 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166  
Phone : (305)871-1530 . Fax : (305)871-1531  
e-mail: tilteco@aol.com  
EB-0606719  
WALTER A. TILLIT JR. P.E.  
FLORIDA Lic. # 44167

**A.S.S.A.**

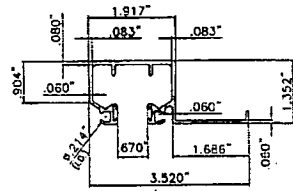
American Shutter Systems  
Association, Inc.  
4268 Westroads Drive  
West Palm Beach, FL 33407  
Ph: (877)999-2772 FAX: (561)209-8380

**BERTHA HV™**  
Accordion Shutter System

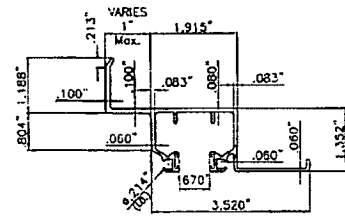
REV. No	DESCRIPTION	DATE	Drawn by: F.P.A.G.
1	OLD 03-188	1/25/08	DATE: 09/05/08
2	GENERAL	10/27/10	DRAWING No <b>08-227</b>
3			SHEET
4			1 OF 14
5			



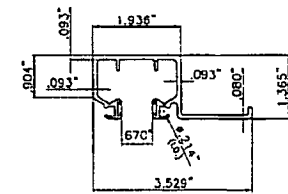
**HY-BLADE #1**  
COVERED UNDER US PATENT # 5458179



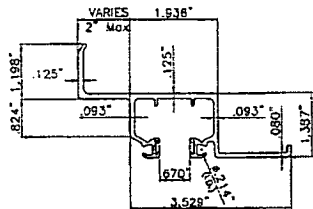
**B HV CEILING HEADER # 1**



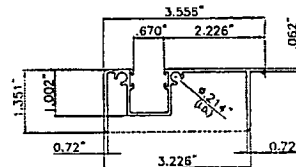
**HY 2\"/>**



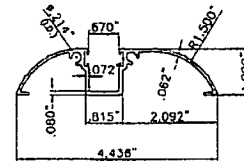
**E HD CEILING HEADER/SILL # 2**



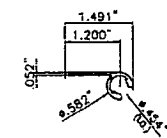
**F HD 2\"/>**



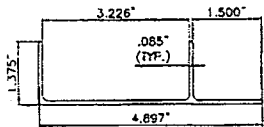
**HY ADJ TRACK**



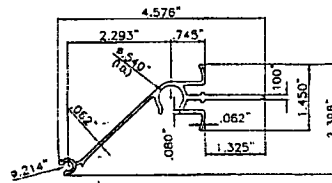
**J HV WALK-OVER TRACK**



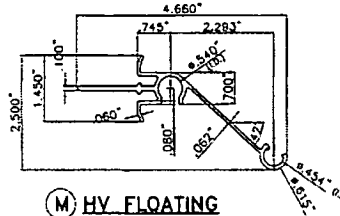
**K HV 90\"/>**



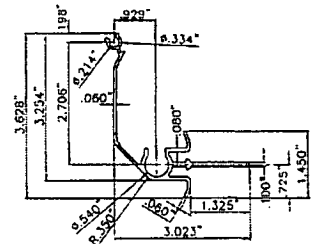
**H HV ADJ. ADAPTER W/LIP**



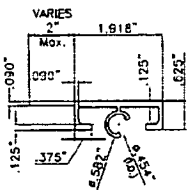
**HY CENTERMATE # 1**  
(SELF MATING)



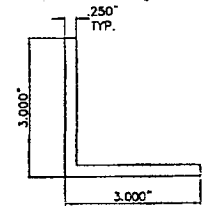
**M HV FLOATING CENTERMATE # 2**



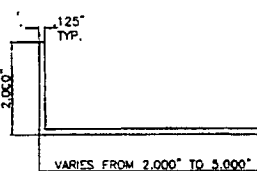
**X HV CORNER CENTERMATE # 3**



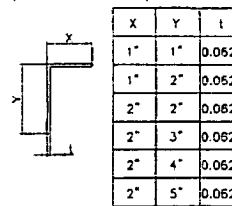
**N H.V. 2\"/>**



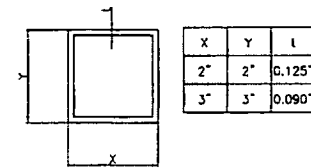
**O 3\"/>**



**Q B.O. WALL ANGLE**



**R SIDE ANGLE**



**S CORNER POST**

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

© 2009 EASTERN METAL SUPPLY, INC.

LUCA  
NO.  
4/1/10  
P.E. SEAL/SIGNATURE/DATE

**TILTECO INC.**

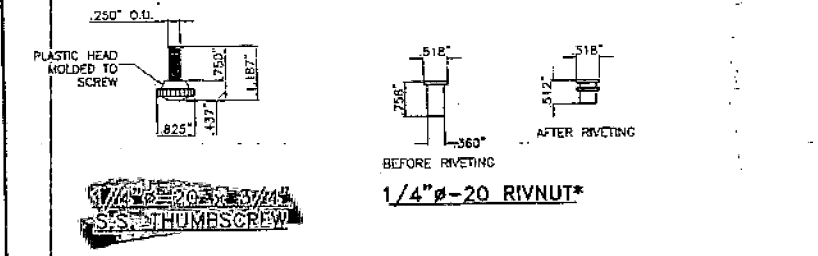
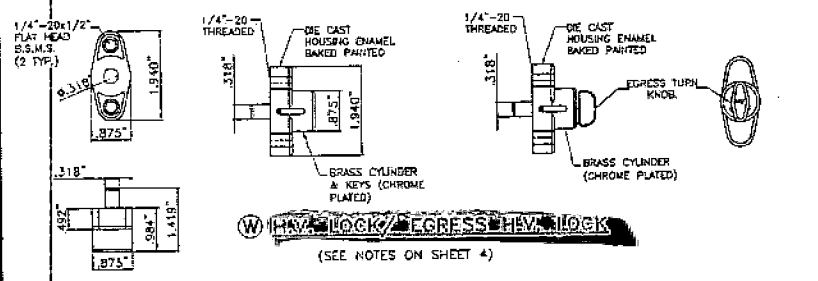
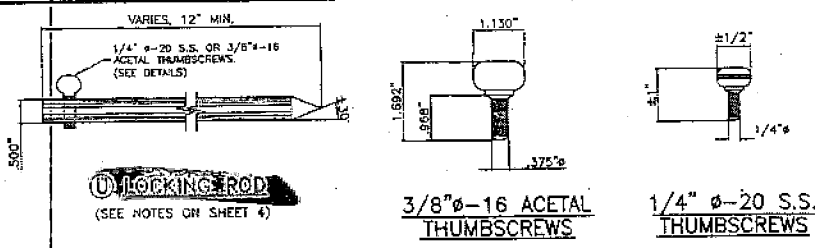
TILLIT TESTING & ENGINEERING COMPANY  
6335 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166  
Phone : (305)871-1530 Fax : (305)871-1531  
e-mail: tilteco@aol.com  
EB-0008719  
WALTER A. TILLIT JR. P.E.  
FLORIDA Lic. # 44167

**A.S.S.A.**

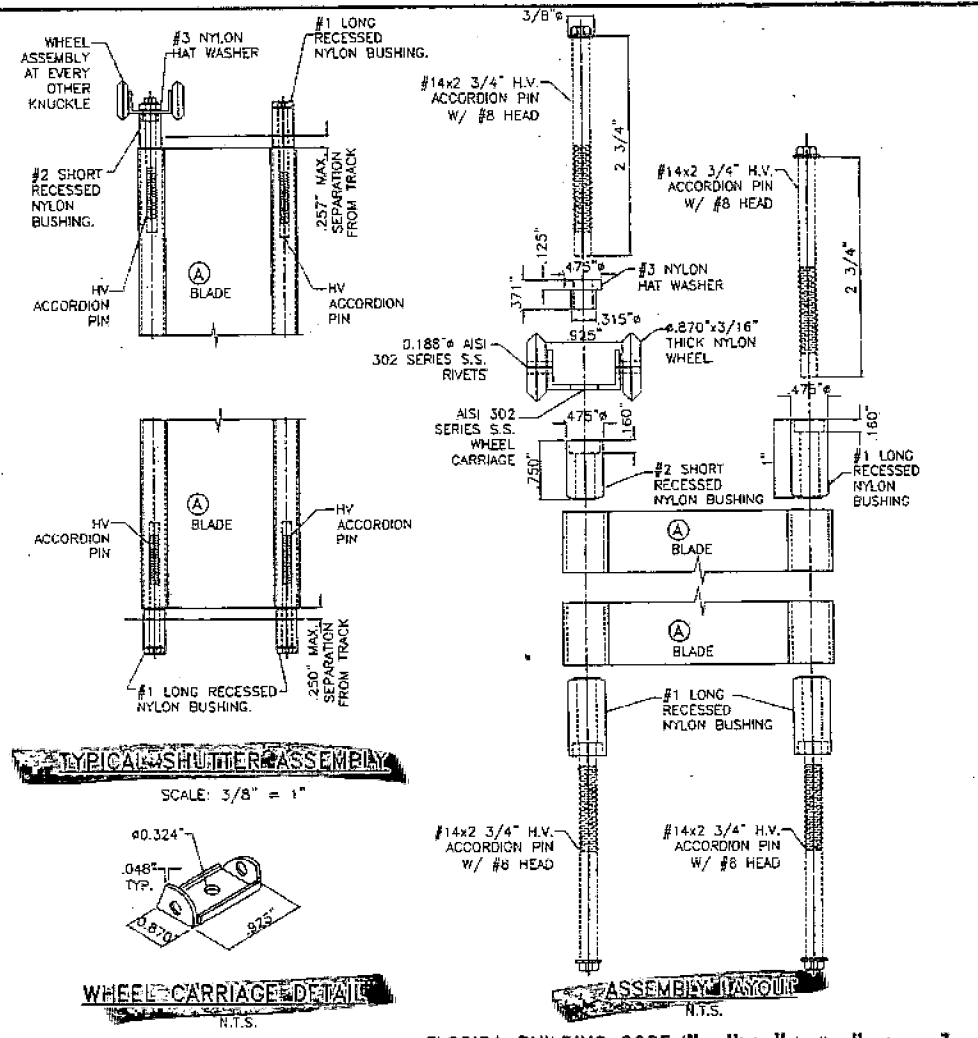
American Shutter Systems  
Association, Inc.  
4268 Westroads Drive  
West Palm Beach, FL 33407  
Ph: (877)999-2772 FAX: (561)209-8380

**BERTHA HV™**  
Accordion Shutter System

REV. No	DESCRIPTION	DATE	Drawn by: F.P.
1	CD 05-106	4/08/08	DATE: 09/05/08
2			DRAWING No 08-227
3			SHEET
4			2 OF 14
5			



\*:SERIES 9444 ALUMINUM (2024-T3 ALLOY) LARGE FLANGE THIN SHEET NUTSERT, PART # 0820, AS MANUFACTURED BY AVDEL CHERRY TEXTORN, PARSIPPANY, NEW JERSEY 07054 OR EQUAL.



FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

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Professional Engineer Seal/Signature/Date

**TILECO INC.**  
TILIT TESTING & ENGINEERING COMPANY  
8355 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166  
Phone: (305)871-1530 Fax: (305)871-1531  
e-mail: tilitec@ttilco.com  
ES-0006719  
WALTER A. TILIT Jr. P.E.  
FLORIDA Lic. # 44167

**A.S.S.A.**  
American Shutter Systems Association, Inc.  
4268 Westroads Drive  
West Palm Beach, FL 33407  
Ph: (877)999-2772 FAX: (561)209-8390

**BERTHA HV™**  
Accordion Shutter System

REV. No	DESCRIPTION	DATE	Drawn by: P.P.
1	OLD 05-198	8/05/08	DATE: 09/05/08
2			DRAWING No <b>08-227</b>
3			SHEET
4			3 OF 14
5			

\* NOTES ON LOCKING RODS (U), HV LOCK (W) AND ALTERNATE (W1) LOCK:

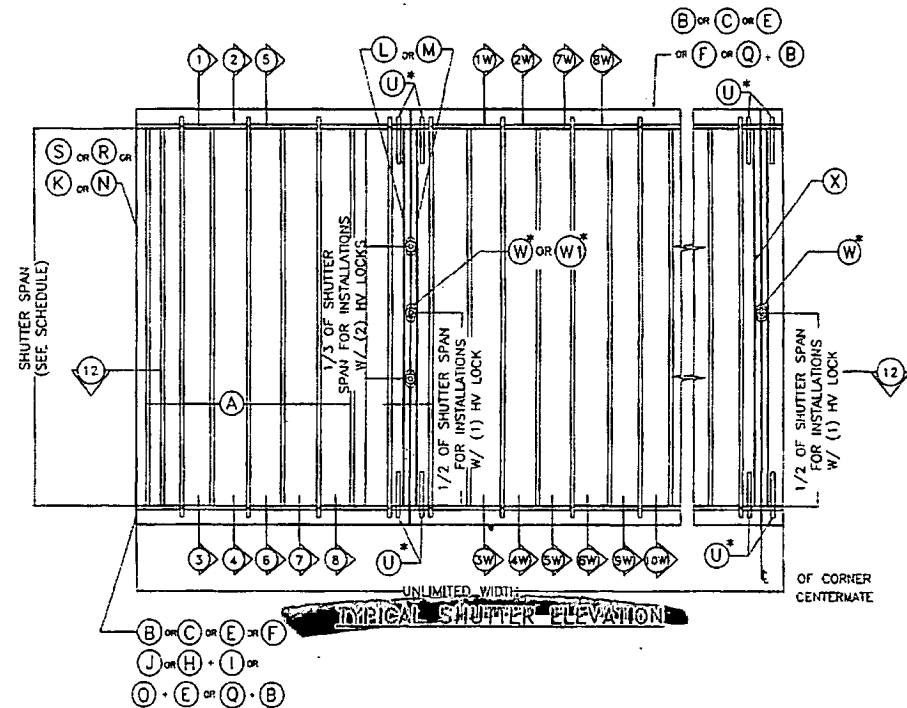
1. MANDATORY CONDITION #1: ONE HV LOCK (W) SHALL BE USED FOR ANY SPAN AND INSTALLATIONS AT ANY ELEVATION. HV LOCK (W) MAY BE USED AS AN INSIDE OR OUTSIDE LOCK, ATTACHED TO (L) OR (M) CENTERMATES W/(2) 1/4"Ø-20 x 1/2" LONG FLAT HEAD S.S. M.S. LOCATION OF LOCK SHALL BE AS INDICATED ON TYPICAL SHUTTER ELEVATION.

2. OPTIONAL CONDITION #1: IF DESIRED, FOR BETTER PERFORMANCE OR FOR SECURITY PURPOSES, UP TO TWO HV LOCKS (W) MAY BE USED AS AN INSIDE OR OUTSIDE LOCK. CONNECTION OF LOCKS TO CENTERMATES (L) OR (M) SHALL BE AS INDICATED ON NOTE (1) ABOVE. LOCATION OF LOCKS SHALL BE AS INDICATED ON TYPICAL SHUTTER ELEVATION.

3. OPTIONAL CONDITION #2: LOCKING RODS (U) ARE NOT REQUIRED AT HURRICANE POSITION, BUT MAY BE USED IF DECIDED TO ENHANCE SHUTTER PERFORMANCE. LOCKING RODS (U) OR AN ALTERNATIVE DEVICE MAY ALSO BE USED AT STACKING POSITION (NON HURRICANE POSITION).

4. MANDATORY CONDITION #2: ONE HV LOCK (W) SHALL BE USED AT CORNER CENTERMATES FOR ANY SPAN AND INSTALLATIONS AT ANY ELEVATION. HV LOCK (W) SHALL BE USED AS AN OUTSIDE OR INSIDE LOCK, ATTACHED TO (X) CORNER CENTERMATE W/(2) 1/4"Ø-20 x 1/2" LONG FLAT HEAD S.S. M.S. TWO LOCKING RODS (U) AT TOP & BOTTOM SHALL BE USED. LOCATION OF LOCK SHALL BE AS INDICATED ON TYPICAL SHUTTER ELEVATION. MAXIMUM SHUTTER SPAN SHALL BE DETERMINED AS PER SCHEDULES SHOWN ON SHEET 9.

5. ALTERNATE TO MANDATORY CONDITION #1 VALID ONLY FOR SYMMETRICAL CENTERMATES: ONE ALTERNATE LOCK (W1) MAY BE USED IN LIEU OF HV LOCK (W) FOR ANY SPAN AND INSTALLATIONS AT ANY ELEVATION. ALTERNATE LOCK (W1) MAY BE USED AS AN INSIDE OR OUTSIDE LOCK. ATTACHMENT OF 1/4"Ø-20x3/4" S.S. THUMBSCREW TO (L) OR (M) CENTERMATES SHALL BE MADE W/ 1/4"Ø-20x3/4" ALUM. RIVNUT AS SHOWN ON ALTERNATE SECTION 12, SHEET 7.

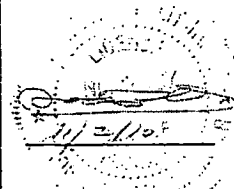


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**BERTHA HV™**  
**Accordion Shutter System**

REV. No	DESCRIPTION	DATE	Drawn By: F.P.
1	OLD 05-198	1/03/08	DATE: 09/05/08
2			DRAWING No 08-227
3			SHEET
4			4 OF 14
5			



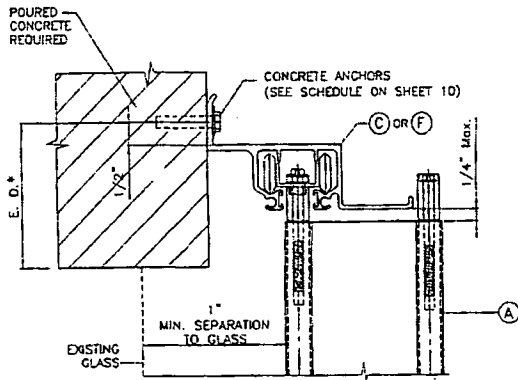
P.E. SEAL/SIGNATURE/DATE



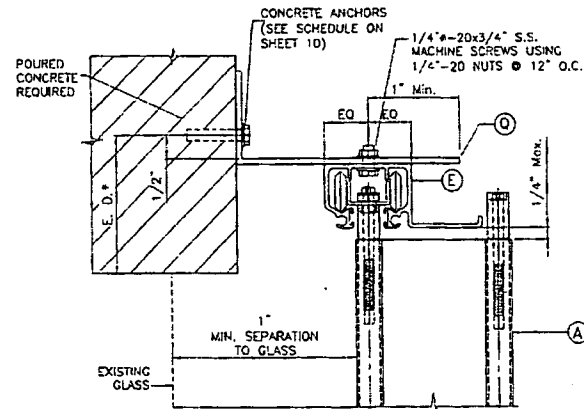
TILLIT TESTING & ENGINEERING COMPANY  
 6355 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166  
 Phone : (305)871-1530 Fax : (305)871-1531  
 e-mail: tilteco@aol.com  
 EB-0006719  
 WALTER A. TILLIT JR. P.E.  
 FLORIDA Lic. # 44167



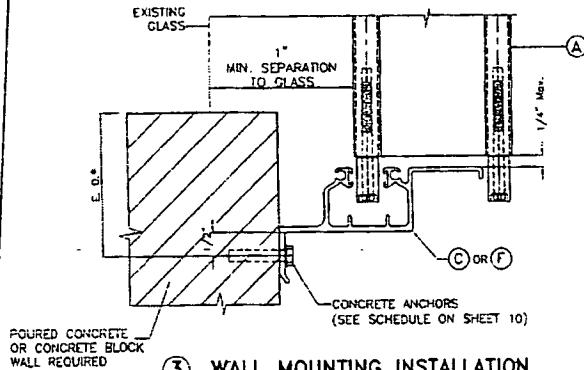
American Shutter Systems  
 Association, Inc.  
 4268 Westroads Drive  
 West Palm Beach, FL 33407  
 Ph: (877)959-2772 FAX: (561)209-8380



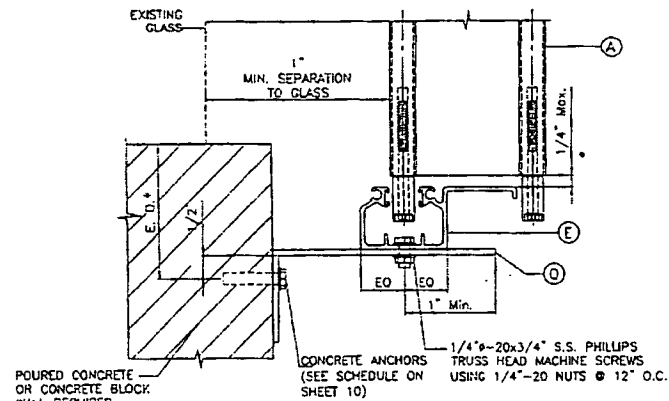
① WALL MOUNTING INSTALLATION



② WALL MOUNTING INSTALLATION



③ WALL MOUNTING INSTALLATION



④ WALL MOUNTING INSTALLATION

**NOTE FOR COMBINATION OF SECTIONS:**  
 1- SEE SHEET 3 FOR TYPICAL SHUTTER ASSEMBLY  
 2- MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

\* E. D. = EDGE DISTANCE  
 (SEE NOTES & SCHEDULE ON SHEET 11)

**INSTALLATION DETAILS**

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

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*[Signature]*  
 P.E. SEAL/SIGNATURE/DATE

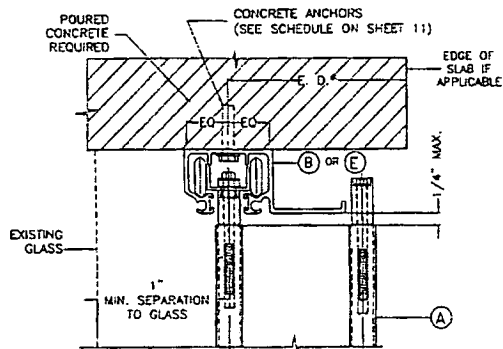


**TILTECO INC.**  
 TILTI TESTING & ENGINEERING COMPANY  
 8355 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166  
 Phone : (305)871-1530 Fax : (305)871-1531  
 e-mail: [tilteco@ttilco.com](mailto:tilteco@ttilco.com)  
 EB-0006719  
 WALTER A. TILTI Jr. P.E.  
 FLORIDA Lic. # 44167

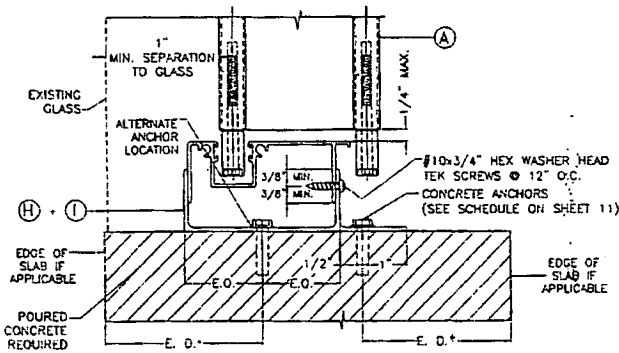


**A.S.S.A.**  
 American Shutter Systems  
 Association, Inc.  
 4268 Westroads Drive  
 West Palm Beach, FL 33407  
 Ph: (877)999-2772 FAX: (561)209-8380

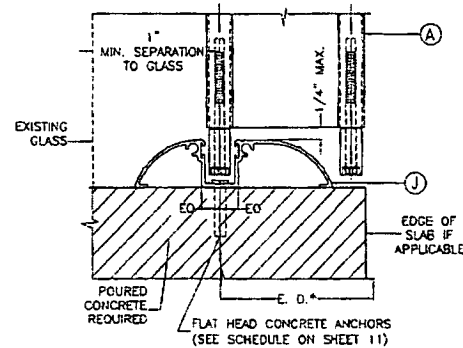
BERTHA HV™ Accordion Shutter System			
REV. No	DESCRIPTION	DATE	Drawn by: F.P.
1	OLD 02-198	8/05/04	DATE: 09/05/08
2			DRAWING No
3			08-227
4			SHEET
5			5 OF 14



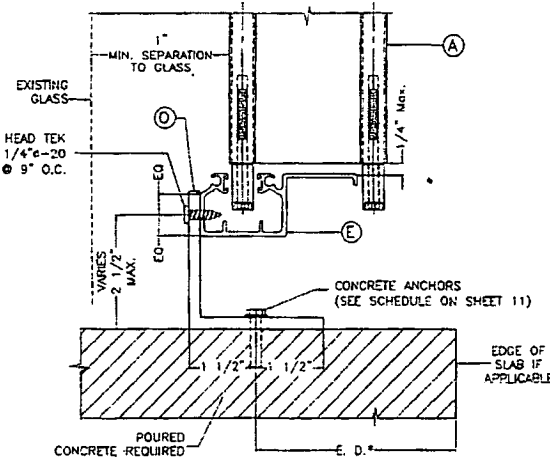
**5) CEILING MOUNTING INSTALLATION**



**7) FLOOR MOUNTING INSTALLATION**



**6) WALK-OVER MOUNTING INSTALLATION**



**8) FLOOR MOUNTING INSTALLATION**

**NOTE FOR COMBINATION OF SECTIONS:**  
 1- SEE SHEET 3 FOR TYPICAL SHUTTER ASSEMBLY  
 2- MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

\* E. D. = EDGE DISTANCE (SEE NOTES & SCHEDULE ON SHEET 11)

**NOTE:**  
 THIS INSTALLATION SHALL BE REMOVABLE WHEN PERFORMED ADJACENT TO AN OPERABLE EXIT OR ENTRANCE

**INSTALLATION DETAILS**

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 6355 N.W. 36th St., Ste. 305, MIRAGE GARDENS, FLORIDA 33166  
 Phone : (305)871-1530 Fax : (305)871-1531  
 e-mail: tilteco@aol.com  
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**BERTHA HV™**  
 Accordion Shutter System

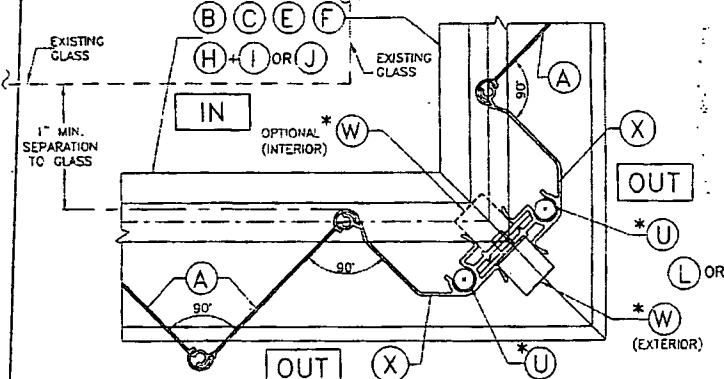
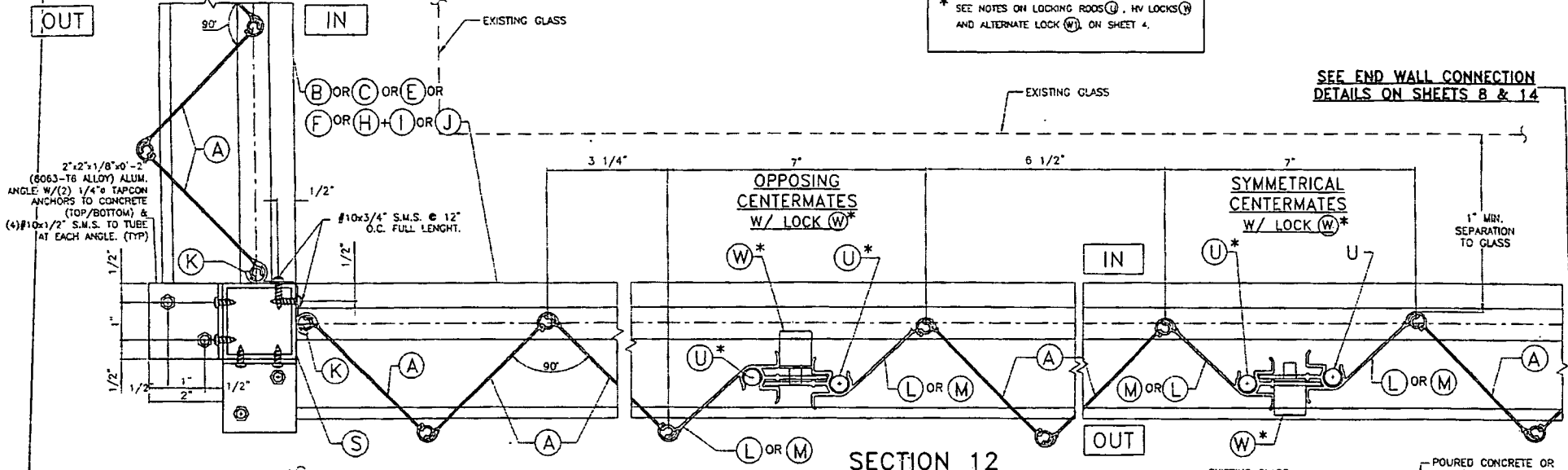
REV. No	DESCRIPTION	DATE	Drawn by: F.P.
1	OLD 08-196	9/02/08	DATE: 09/05/08
2			DRAWING No
3			08-227
4			SHEET
5			6 OF 14



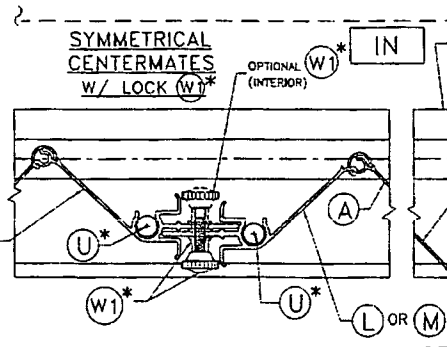
SEE END WALL CONNECTION DETAILS ON SHEETS 8 & 14

\* SEE NOTES ON LOCKING ROOS (U), HV LOCKS (W) AND ALTERNATE LOCK (W1) ON SHEET 4.

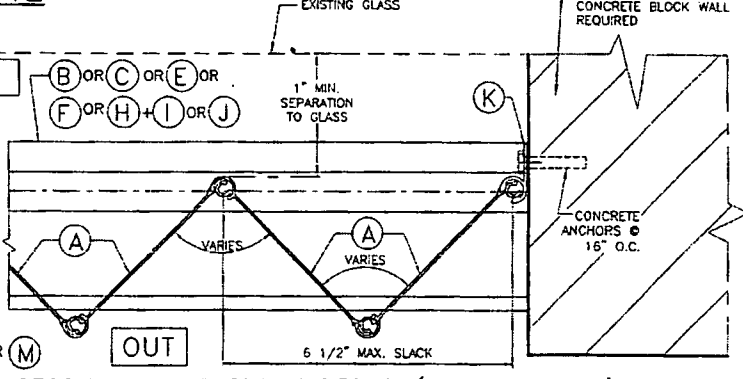
SEE END WALL CONNECTION DETAILS ON SHEETS 8 & 14



SECTION 12 AT CORNER CENTERMATE #3



ALTERNATE SECTION 12



SECTION 12 AT SLACK DETAIL (IF APPLICABLE)

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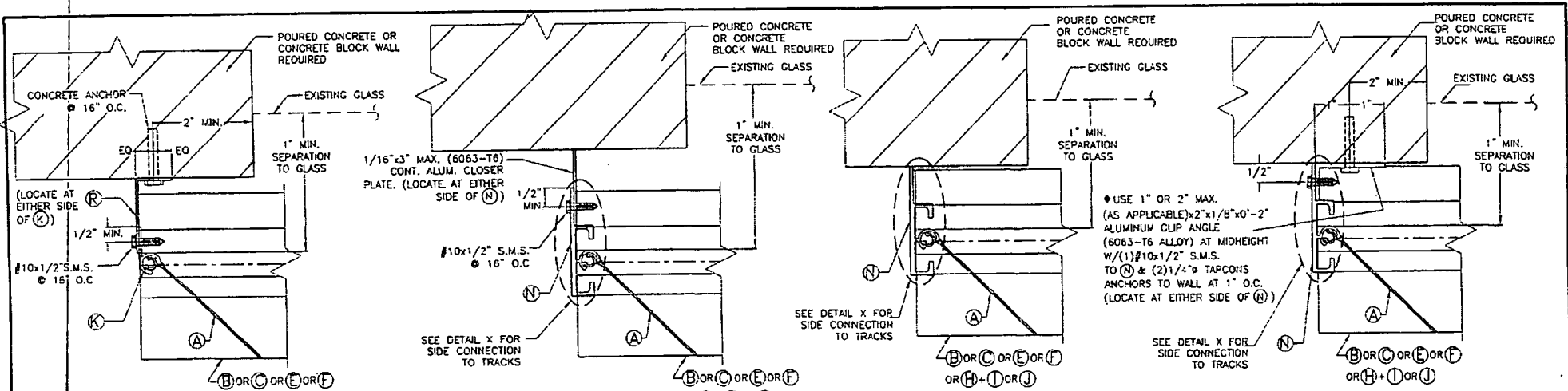
TILLIT TESTING & ENGINEERING COMPANY  
 6355 N.W. 36th St., Ste. 300, VIRGINIA GARDENS, FLORIDA 33166  
 Phone : (305)871-1530 Fax : (305)871-1531  
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 EB-0006719  
 WALTER A. TILLIT Jr., P.E.  
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American Shutter Systems Association, Inc.  
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 West Palm Beach, FL 33407  
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**BERTHA HV™**  
 Accordion Shutter System

REV. No	DESCRIPTION	DATE	Drawn by: F.P.
1	OLD 05-11M	11/05/08	DATE: 09/05/08
2			DRAWING No
3			08-227
4			SHEET
5			7 OF 14



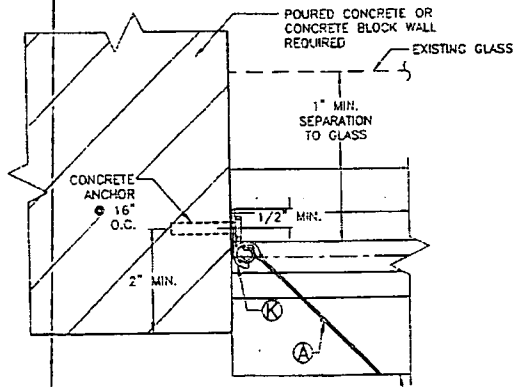
**END CONNECTION DETAIL 1**

**END CONNECTION DETAIL 2**

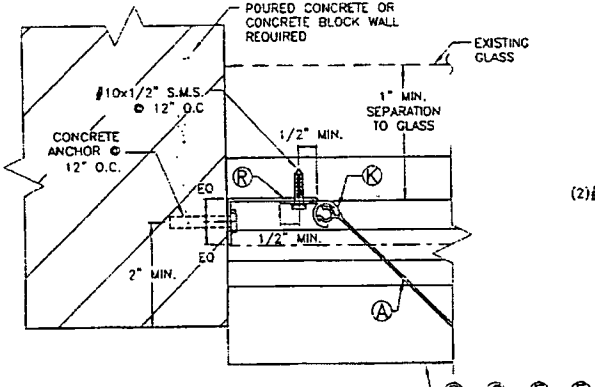
**END CONNECTION DETAIL 3**

**END CONNECTION DETAIL 4**

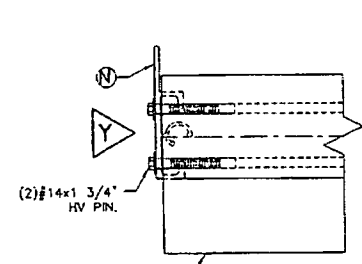
◆ REQUIRED ONLY FOR SPANS GREATER THAN 12'-0"



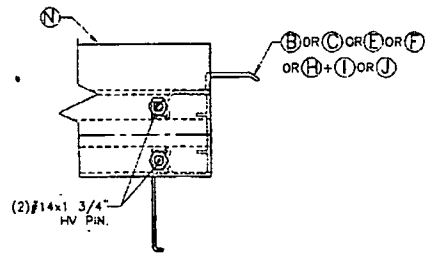
**END CONNECTION DETAIL 5**



**END CONNECTION DETAIL 6**



**END CONNECTION DETAIL 7**



**END CONNECTION DETAIL 8**

**PLAN**

**DETAIL**

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*[Handwritten Signature]*  
 P.E. SEAL/SIGNATURE/DATE



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 6355 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166  
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 4268 Westroads Drive  
 West Palm Beach, FL 33407  
 Ph: (877)999-2772 FAX: (561)209-8380

**BERTHA HV™**  
**Accordion Shutter System**

REV. No	DESCRIPTION	DATE	Drawn by: F.P.
1	OLD 09-196	9/25/09	DATE: 09/05/08
2			DRAWING No
3			08-227
4			SHEET
5			8 OF 14

MAXIMUM SHUTTER SPAN  
"L+" OR "L-" (ft.) INSTALLATIONS  
W/ SYMMETRICAL CENTERMATES,  
ONE HV LOCK & NO LOCKING RODS \*  
(SEE NOTE †)

MAXIMUM DESIGN LOAD (p.s.f.) (+ OR -)	CONCRETE & WOOD INSTALLATIONS ▲			
	WALL MOUNTING		FLOOR/CEILING MOUNTING	
	L+ (ft.)	L- (ft.)	L+ (ft.)	L- (ft.)
30 OR LESS	16'-0"	16'-0"	16'-0"	16'-0"
35	14'-10"	14'-10"	15'-2"	16'-0"
40	13'-10"	13'-10"	14'-2"	15'-2"
45	13'-1"	13'-1"	13'-4"	14'-3"
50	12'-5"	12'-5"	12'-8"	13'-7"
55	11'-10"	11'-10"	12'-1"	12'-11"
60	11'-4"	11'-4"	11'-7"	12'-4"
65	10'-10"	10'-10"	11'-1"	11'-11"
70	10'-6"	10'-6"	10'-9"	11'-5"
75	10'-1"	10'-1"	10'-4"	11'-1"
80	9'-10"	9'-10"	10'-0"	10'-9"
85	9'-6"	9'-6"	9'-9"	10'-5"
90	9'-3"	9'-3"	9'-5"	10'-1"
95	9'-0"	8'-9"	9'-2"	9'-10"
100	8'-9"	8'-4"	9'-0"	9'-7"
105	8'-7"	7'-11"	8'-9"	9'-4"
110	8'-4"	7'-7"	8'-7"	9'-2"
115	8'-2"	7'-3"	8'-4"	8'-11"
120	8'-0"	6'-11"	8'-2"	8'-9"
125	7'-10"	6'-8"	8'-0"	8'-5"
130	7'-8"	6'-5"	7'-10"	8'-1"
135	7'-7"	6'-2"	7'-9"	7'-9"
140	7'-5"	5'-11"	7'-7"	7'-6"
145	7'-3"	5'-9"	7'-5"	7'-3"
150	7'-2"	5'-7"	7'-4"	7'-0"
155	7'-0"	5'-5"	7'-2"	6'-9"
160	6'-11"	5'-2"	7'-1"	6'-7"
165	6'-10"	5'-1"	7'-0"	6'-4"
170	6'-9"	4'-11"	6'-11"	6'-2"
175	6'-7"	4'-9"	6'-9"	6'-0"
180	6'-6"	4'-8"	6'-8"	5'-10"
185	6'-5"	4'-8"	6'-7"	5'-8"
190	6'-4"	4'-5"	6'-6"	5'-6"
195	6'-3"	4'-3"	6'-5"	5'-5"
200	6'-2"	4'-2"	6'-4"	5'-3"
205	6'-1"	4'-1"	6'-3"	5'-1"

MAXIMUM SHUTTER SPAN  
"L+" OR "L-" (ft.)  
INSTALLATIONS W/  
OPPOSING CENTERMATES,  
ONE HV LOCK & NO  
LOCKING RODS \*  
(SEE NOTE †)

MAXIMUM DESIGN LOAD (p.s.f.) (+ OR -)	CONCRETE & WOOD INSTALLATIONS ▲	
	WALL MOUNTING & FLOOR/CEILING MOUNTING	
	L+ (ft.)	L- (ft.)
30	16'-0"	16'-0"
35	14'-10"	14'-10"
40	13'-10"	13'-10"
45	13'-1"	13'-1"
50	12'-5"	12'-5"
55	11'-10"	11'-10"
60	11'-4"	11'-4"
65	10'-10"	10'-10"
70	10'-6"	10'-6"
75	10'-1"	10'-1"
80	9'-10"	9'-10"
85	9'-6"	9'-6"
90	9'-3"	9'-3"
95	9'-0"	8'-9"
100	8'-9"	8'-4"
105	8'-7"	7'-11"
110	8'-4"	7'-7"
115	8'-2"	7'-3"
120	8'-0"	6'-11"
125	7'-10"	6'-8"
130	7'-8"	6'-5"
135	7'-7"	6'-2"
140	7'-5"	5'-11"
145	7'-3"	5'-9"
150	7'-2"	5'-7"
155	7'-0"	5'-5"
160	6'-11"	5'-2"
165	6'-10"	5'-1"
170	6'-9"	4'-11"
175	6'-7"	4'-9"
180	6'-6"	4'-8"
185	6'-5"	4'-6"
190	6'-4"	4'-5"
195	6'-3"	4'-3"
200	6'-2"	4'-2"
205	6'-1"	4'-1"

INSTALLATION LEGEND		
CONCRETE & MASONRY	1, 2, 3 & 4	WOOD
WALL MOUNTING		1W, 2W, 3W, 4W, 5W & 6W
FLOOR/CEILING MOUNTING	5, 6, & 8	8W, 9W & 10W

A MAXIMUM SHUTTER SPAN "L+" OR "L-" FOR INSTALLATIONS INTO WOOD SHALL BE LIMITED TO 110 psf. DESIGN LOAD.

† CORNER CENTERMATE #3 MAY BE USED AT ALL MOUNTING INSTALLATIONS. LOCKING SPECIFICATIONS SHALL BE AS INDICATED ON MANDATORY CONDITION #2 NOTE #4, SHEET 4 OF 14

\* NOTES:

(1) L+: MAXIMUM ALLOWABLE SPAN FOR A GIVEN POSITIVE DESIGN LOAD.  
L-: MAX. ALLOWABLE SPAN FOR A GIVEN NEGATIVE DESIGN LOAD.

(2) PROCEDURE TO DETERMINE MAXIMUM SPAN FOR WALL MOUNTINGS (TOP/BOTTOM) OR FLOOR/CEILING:

GIVEN A POSITIVE DESIGN LOAD, DETERMINE MAXIMUM SPAN "L+" FROM SCHEDULE.  
GIVEN A NEGATIVE DESIGN LOAD, DETERMINE MAXIMUM SPAN "L-" FROM SCHEDULE.

FINAL MAXIMUM ALLOWABLE SPAN IS EQUAL TO THE MINIMUM DETERMINED SPAN BETWEEN "L+" AND "L-".

(3) PROCEDURE TO DETERMINE MAXIMUM SPAN FOR COMBINATIONS IN BETWEEN WALL MOUNTINGS W/ FLOOR/CEILING MOUNTINGS:

FOR A GIVEN POSITIVE DESIGN LOAD:  
DETERMINE:  
L1+= MAX. SPAN FOR WALL MOUNTING INSTALLATIONS.  
L2+= MAX. SPAN FOR FLOOR/CEILING MOUNTING INSTALLATIONS.

FOR A GIVEN NEGATIVE DESIGN LOAD:  
DETERMINE:  
L1-= MAX. SPAN FOR WALL MOUNTING INSTALLATIONS.  
L2-= MAX. SPAN FOR FLOOR/CEILING MOUNTING INSTALLATIONS.

FINAL MAXIMUM ALLOWABLE SPAN IS EQUAL TO THE MINIMUM BETWEEN "L1+", "L2+", "L1-" AND "L2-".

(4) GO TO ANCHOR SCHEDULE WITH FINAL MAXIMUM ALLOWABLE SPAN AND NEGATIVE DESIGN LOAD TO DETERMINE MAXIMUM ANCHOR SPACING.

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

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**BERTHA HV™**  
Accordion Shutter System

REV. No.	DESCRIPTION	DATE	Drawn by: F.P.
1	OLD 05-108	8/05/08	DATE: 09/05/08
2			DRAWING No
3			08-227
4			SHEET
5			9 OF 14

P.E. SEAL/SIGNATURE/DATE  
11/2/10



TILIT TESTING & ENGINEERING COMPANY  
8550 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166  
Phone : (305)871-1530 Fax : (305)871-1531  
e-mail: tilteco@aol.com  
E3-0006719  
WALTER A. TILIT Jr. P.E.  
FLORIDA Lic. # 44167

**A.S.S.A.**

American Shutter Systems  
Association, Inc.  
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West Palm Beach, FL 33407  
Ph: (877)999-2772 FAX: (561)209-8380

**MAXIMUM ANCHOR\* SPACING (in.) SCHEDULE FOR A GIVEN MAX. SHUTTER SPAN.  
DESIGN NEGATIVE LOAD AND A CORRESPONDING MOUNTING TYPE FOR CONCRETE OR CONCRETE BLOCK INSTALLATIONS**  
(SEE MOUNTINGS 1, 2, 3, AND 4 ON SHEET 5)

**ANCHORS SPACING LEGEND**

TAPCON OR TAPCON WITH ADVANCED THREADFORM TECHNOLOGY
ALL POINTS SOLID-SET
BLUE TAP
TAPPER+

\* SEE ANCHOR  
SPECIFICATIONS  
ON SHEET 11

MAXIMUM SPAN (ft)	POURED CONCRETE												POURED CONCRETE/CONCRETE BLOCK																																																																											
	WALL MOUNTING 1 W/ (C) HV 12" (Max.) B/O HEADER / SILL #1				WALL MOUNTING 1 W/ (C) HV 2" (Max.) B/O HEADER / SILL #2				WALL MOUNTING 2				WALL MOUNTING 3 W/ (C) HV 1" (Max.) B/O HEADER / SILL #1				WALL MOUNTING 3 W/ (C) HV 2" (Max.) B/O HEADER / SILL #2				WALL MOUNTING 4																																																																			
	DESIGN NEGATIVE LOAD (psf)				DESIGN NEGATIVE LOAD (psf)				DESIGN NEGATIVE LOAD (psf)				DESIGN NEGATIVE LOAD (psf)				DESIGN NEGATIVE LOAD (psf)				DESIGN NEGATIVE LOAD (psf)																																																																			
	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205																																																
3'-0" OR LESS	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6																
4'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4
5'-0"	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	4.5	14	12	10	9	8	8	6	4.5
6'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4
7'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4								
8'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4								
9'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4								
10'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4								
11'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4																
12'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4																
13'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4																								
14'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4																								
15'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4																								
16'-0"	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4	14	12	10	9	8	8	6	4																								

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

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*Walter A. Tillit*  
11/2/10  
P.E. SEAL/SIGNATURE/DATE



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**BERTHA HV™**  
Accordian Shutter System

REV. No	DESCRIPTION	DATE	Drawn by: F.P./L.G.
1	OLD 08-198	8/02/08	DATE: 09/05/08
2	TAPCON WITH ADVANCED THREADFORM TECHNOLOGY, BLUE TAC W/ CAP & TAPPER+	10/27/10	DRAWING No <b>08-227</b>
3			SHEET
4			10 OF 14
5			

**MAXIMUM ANCHOR SPACING (in.) SCHEDULE FOR A GIVEN MAX. SHUTTER SPAN.  
DESIGN NEGATIVE LOAD AND A CORRESPONDING MOUNTING TYPE FOR CONCRETE OR CONCRETE BLOCK INSTALLATIONS**  
(SEE MOUNTINGS 5, 6, 7 & 8 ON SHEET 8)

MAXIMUM SPAN (ft) OR LESS	POURED CONCRETE																																					
	CEILING MOUNTING 5					FLOOR MOUNTING 6					FLOOR MOUNTING 7					FLOOR MOUNTING 8																						
	DESIGN NEGATIVE LOAD (psf)					DESIGN NEGATIVE LOAD (psf)					DESIGN NEGATIVE LOAD (psf)					DESIGN NEGATIVE LOAD (psf)																						
	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205	30	40	60	75	90	120	160	205														
3'-0" OR LESS	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	11.5	8.5	8.5						
4'-0"	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	12	10.5	8	6	4.5				
5'-0"	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	12	10	7.5	6	5				
6'-0"	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	12	11.5	8.5	6.5	5				
7'-0"	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	12	11.5	9	7.5	5.5	4			
8'-0"	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	11.5	9	7.5	5.5	4	
9'-0"	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	12	11.5	9	7.5	5.5	4
10'-0"	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	12	11.5	9	7.5	5.5	4
11'-0"	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	12	11.5	9	7.5	5.5	4
12'-0"	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	12	11.5	9	7.5	5.5	4
13'-0"	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	12	11.5	9	7.5	5.5	4
14'-0"	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	12	11.5	9	7.5	5.5	4
15'-0"	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	12	11.5	9	7.5	5.5	4
16'-0"	14	12	10	9	8	8	6	5	14	12	10	9	8	8	6	6	14	12	10	9	8	8	6	6	12	12	12	12	12	12	12	12	12	11.5	9	7.5	5.5	4

**\* SPECIFICATIONS ON ANCHOR REQUIREMENTS: POURED CONCRETE OR CONCRETE BLOCK SUBSTRATES**

- ANCHORS TO SUBSTRATE SHALL BE AS FOLLOWS:
    - TO EXISTING POURED CONCRETE: (Min. f<sub>c</sub> = 3 ksi)
      - 1/4" TAPCON OR TAPCON WITH ADVANCED THREADFORM TECHNOLOGY ANCHORS, AS MANUFACTURED BY I.T.W. BUILD EX. (Min. f<sub>c</sub> = 3 ksi)
      - 1/4" x 3/4" ALL POINTS SOLID-SET ANCHORS, AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY. (Min. f<sub>c</sub> = 3 ksi)
      - 1/4" BLUE TAP CONCRETE ANCHORS W/ CAP AS MANUFACTURED BY FLORIDA FASTENERS DIRECT, INC. (Min. f<sub>c</sub> = 2 ksi)
      - 1/4" TAPPER+ ANCHORS AS MANUFACTURED BY POWERS FASTENERS, INC., AND DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY OR ANY OTHER APPROVED LICENSED OR AUTHORIZED VENDOR REGISTERED WITH THE AMERICAN SHUTTER SYSTEMS ASSOCIATION, INC. (Min. f<sub>c</sub> = 3 ksi)
    - TO EXISTING CONCRETE BLOCK: (ASTM C-60)
      - 1/4" TAPCON OR TAPCON WITH ADVANCED THREADFORM TECHNOLOGY ANCHORS, AS MANUFACTURED BY I.T.W. BUILD EX.
      - 1/4" x 3/4" ALL POINTS SOLID-SET ANCHORS, AS DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY.
      - 1/4" BLUE TAP CONCRETE ANCHORS W/ CAP AS MANUFACTURED BY FLORIDA FASTENERS DIRECT, INC.
      - 1/4" TAPPER+ ANCHORS AS MANUFACTURED BY POWERS FASTENERS, INC., AND DISTRIBUTED BY ALL POINTS SCREW, BOLT & SPECIALTY COMPANY OR ANY OTHER APPROVED LICENSED OR AUTHORIZED VENDOR REGISTERED WITH THE AMERICAN SHUTTER SYSTEMS ASSOCIATION, INC.
- NOTES:
- MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON OR TAPCON WITH ADVANCED THREADFORM TECHNOLOGY ANCHORS AND TAPPER+ ANCHORS IS 1 3/4", AND FOR BLUE TAP W/ CAP ANCHORS IS 1 1/2".
  - MINIMUM EMBEDMENT OF 1/4" x 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE 7/8" INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
  - IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, PAVERS OR ANY VENEER BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SAID WALL FINISHES. ANCHORAGE SHALL BE AS INDICATED ON NOTES A.1) & A.2) ABOVE. FOR INSTALLATIONS ON VINYL SIDING OR EIFS WITH OR WITHOUT METAL STUDS CONSULT THIS ENGINEER.
- MINIMUM EMBEDMENT INTO CONCRETE BLOCK OF TAPCON, BLUE TAP W/ CAP ANCHORS AND TAPPER+ ANCHORS IS 1 1/4" AND TAPCON WITH ADVANCED THREADFORM TECHNOLOGY ANCHORS IS 1".
  - MINIMUM EMBEDMENT OF 1/4" x 3/4" ALL POINTS SOLID-SET ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE CONCRETE BLOCK. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #20 S.S. MACHINE SCREW USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
  - IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, PAVERS OR ANY VENEER BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SAID WALL FINISHES. ANCHORAGE SHALL BE AS INDICATED ON NOTES B.1) & B.2) ABOVE. FOR INSTALLATIONS ON VINYL SIDING OR EIFS WITH OR WITHOUT METAL STUDS CONSULT THIS ENGINEER.
- (C) ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.
- (D) SEE SCHEDULE BELOW FOR EDGE DISTANCE (E.D.) VERSUS SPACING RELATIONSHIP FOR ANCHORS.

**EDGE DISTANCE VERSUS SPACING SCHEDULE FOR ANCHORS:**

MAXIMUM ANCHOR SPACING ARE VALID FOR EDGE DISTANCES INDICATED BELOW. FOR E. D. LESS THAN THE INDICATED, REDUCE ANCHOR SPACING BY MULTIPLYING SPACING SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS.  
REDUCED SPACING OBTAINED USING FACTOR SHALL NOT BE LESS THAN MINIMUM SPACING INDICATED FOR EACH ANCHOR TYPE.

ACTUAL EDGE DISTANCE E.D.	FACTOR					
	TAPCON	TAPCON WITH ADVANCED THREADFORM TECHNOLOGY	ALL POINT SOLID SET	BLUE TAP W/ CAP	TAPPER + MIN. SPACING	
	MIN. SPACING = 3"	MIN. SPACING = 3"	MIN. SPACING = 3 1/2"	MIN. SPACING = 3"	3 3/4"	4"
POURED CONCRETE & CONCRETE BLOCK MIN. E.D. = 3"	POURED CONCRETE MIN. E.D. = 3 1/2"	CONCRETE BLOCK MIN. E.D. = 2 1/2"	POURED CONCRETE & CONCRETE BLOCK MIN. E.D. = 3 1/2"	POURED CONCRETE & CONCRETE BLOCK MIN. E.D. = 3"	POURED CONCRETE MIN. E.D. = 3 1/2"	CONCRETE BLOCK MIN. E.D. = 2 1/2"
3"	1.0	0.90	1.0	0.78	1.0	1.0
2 1/2"	-	0.81	1.0	-	0.67	1.0
2"	-	0.71	-	-	0.51	-
1 3/4"	-	0.81	-	-	0.43	-
1 1/2"	0.35	-	-	-	0.35	-

**ANCHORS SPACING LEGEND**

- TAPCON OR TAPCON WITH ADVANCED THREADFORM TECHNOLOGY
- ALL POINTS SOLID-SET
- BLUE TAP W/ CAP
- TAPPER+

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P.E. SEAL/SIGNATURE/DATE

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FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

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**BERTHA HV™**

Accordion Shutter System

REV. NO.	DESCRIPTION	DATE	Drawn by: F.P./L.G.
1	QD 09-181	9/23/08	DATE: 09/05/08
2	TAPCON WITH ADVANCED THREADFORM TECHNOLOGY, BLUE TAP W/ CAP & TAPPER+	10/27/10	DRAWING No 08-227
3			
4			
5			SHEET 11 OF 14

**MAXIMUM ANCHOR<sup>+</sup> SPACING (in.) SCHEDULE FOR A GIVEN MAX. SHUTTER SPAN,  
NEGATIVE DESIGN LOAD AND A CORRESPONDING MOUNTING TYPE**  
(SEE MOUNTINGS ON SHEETS 13 & 14)

**SUBSTRATE**

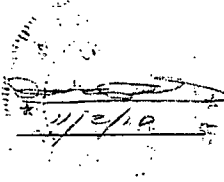
MAXIMUM SPAN (ft)	SOUTHERN PINE No. 2 W/ MIN. G=0.55, DOUGLAS FIR W/ MIN. G=0.50										SPRUCE PINE FIR NORTH W/ MIN. G=0.43										SPRUCE PINE FIR SOUTH W/ MIN. G=0.36										1/2" MIN. CDX PLYWOOD											
	WALL MOUNTINGS 1W, 2W, 3W & 6W					CEILING MOUNT 8W FLOOR MOUNTINGS 9W & 10W					WALL MOUNTINGS 1W, 2W, 3W & 6W					CEILING MOUNT 8W FLOOR MOUNTINGS 9W & 10W					WALL MOUNTINGS 1W, 2W, 3W & 6W					CEILING MOUNT 8W FLOOR MOUNTINGS 9W & 10W					WALL MOUNTINGS 4W & 5W											
	NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)					NEGATIVE DESIGN LOAD (psf)																
	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105	30	40	60	75	90	105						
3'-0" OR LESS	12	10	10	9	8	8	6	6	6	6	6	5	12	10	10	9	8	8	6	6	6	6	5	4	12	10	10	9	8	8	6	6	6	4.5	4	3	6	5	4	4	4	3
4'-0"	12	10	10	9	8	8	6	6	6	5	4.5	4	12	10	10	9	8	8	6	6	5.5	4.5	3.5	3	12	10	10	9	8	8	6	6	4.5	3.5	3	2.5	6	5	4	4	4	3
5'-0"	12	10	10	9	8	8	6	6	5	4	3.5	3	12	10	10	9	8	8	6	6	4.5	3.5	3	2.5	12	10	10	9	8	7	6	5.5	3.5	3	2	2	6	5	4	4	4	3
6'-0"	12	10	10	9	8	6.5	6	6	4.5	3.5	3	2.5	12	10	10	9	8	4.5	6	5.5	3.5	3	2.5	2	12	10	10	9	6	3	6	4.5	3	2	2	-	6	5	4	4	3.5	-
7'-0"	12	10	10	9	6.5	4	6	5.5	4	3	2.5	2	12	10	10	9	4.5	3	6	5	3	2.5	2	-	12	10	10	7	3	-	5	4	2.5	2	-	-	6	5	4	4	-	-
8'-0"	12	10	10	7.5	4.5	3	6	5	3	2.5	2	2	12	10	10	5.5	3	-	5.5	4	2.5	2	2	-	12	10	10	4	-	-	4.5	3	2	-	-	-	6	5	4	-	-	-
9'-0"	12	10	10	5	3.5	-	6	4.5	3	2	2	-	12	10	8.5	4	-	-	5	3.5	2.5	2	-	-	12	10	4	2.5	-	-	4	3	2	-	-	-	6	5	3.5	-	-	-
10'-0"	12	10	7.5	4	-	-	5	4	2.5	2	-	-	12	10	5.5	3	-	-	4.5	3	2	-	-	-	12	10	3	-	-	-	3.5	2.5	-	-	-	-	6	5	-	-	-	-
11'-0"	12	10	5.5	-	-	-	5	3.5	2	-	-	-	12	10	4	-	-	-	4	3	2	-	-	-	12	10	-	-	-	-	3	2.5	-	-	-	-	6	5	-	-	-	-
12'-0"	12	10	4.5	-	-	-	4.5	3	2	-	-	-	12	10	3	-	-	-	3.5	2.5	-	-	-	-	12	10	-	-	-	-	3	2	-	-	-	-	6	5	-	-	-	-
13'-0"	12	10	-	-	-	-	4	3	-	-	-	-	12	10	-	-	-	-	3.5	2.5	-	-	-	-	12	7	-	-	-	-	2.5	2	-	-	-	-	6	4	-	-	-	-
14'-0"	12	10	-	-	-	-	4	3	-	-	-	-	12	7	-	-	-	-	3	2	-	-	-	-	12	5	-	-	-	-	2.5	2	-	-	-	-	6	3	-	-	-	-
15'-0"	12	-	-	-	-	-	3.5	-	-	-	-	-	12	-	-	-	-	-	3	-	-	-	-	-	11.5	-	-	-	-	-	2	-	-	-	-	-	6	-	-	-	-	-
16'-0"	12	-	-	-	-	-	3	-	-	-	-	-	12	-	-	-	-	-	2.5	-	-	-	-	-	11	-	-	-	-	-	2	-	-	-	-	-	6	-	-	-	-	-

**+ NOTES ON ANCHORS REQUIREMENTS: WOOD SUBSTRATES.**

- ANCHORS TO WALL, FLOOR OR SOLID WOOD SOFFIT SHALL BE AS FOLLOWS:
  - 1/4" TAPCON OR TAPCON WITH ADVANCED THREADFORM TECHNOLOGY ANCHORS, AS MANUFACTURED BY L.T.W. BULDEX W/ MINIMUM THREADED PENETRATION AS INDICATED AT EACH SECTION ON SHEETS 13 & 14. EXCEPTION: SEE NOTE 2 BELOW.
- ANCHORS TO HOLLOW CEILING SHALL BE AS PER MOUNTING TYPE 7W, SHEET 14 AND SHALL CONSIST OF LAG SCREWS AS PER N.D.S. 2005 SPECIFICATIONS.
- SUBSTRATE SHALL CONSIST OF THE FOLLOWING:
  - SOUTHERN PINE No. 2 W/ G=0.55 (N.D.S)
  - DOUGLAS FIR W/ G=0.50 (N.D.S.)
  - SPRUCE PINE FIR NORTH W/ G=0.43 (N.D.S.)
  - SPRUCE PINE FIR SOUTH W/ G=0.36 (N.D.S.)
  - MIN. 1/2" CDX PLYWOOD (1985 APA)
- ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

© 2009 EASTERN METAL SUPPLY, INC.

  
 P.E. SEAL/SIGNATURE/DATE



**TILLIT TESTING & ENGINEERING COMPANY**  
 6350 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166  
 Phone : (305)871-1530 Fax : (305)871-1531  
 e-mail: tillit@tillit.com  
 EB-0006719  
 WALTER A. TILLIT Jr. P.E.  
 FLORIDA Lic. # 44167

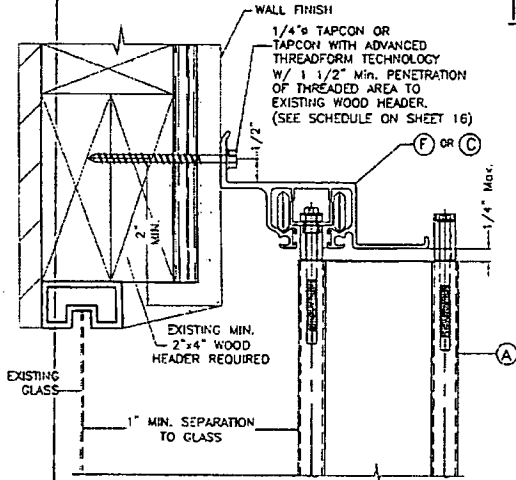


**American Shutter Systems Association, Inc.**  
 4268 Westroads Drive  
 West Palm Beach, FL 33407  
 Ph: (877)999-2772 FAX: (561)209-8380

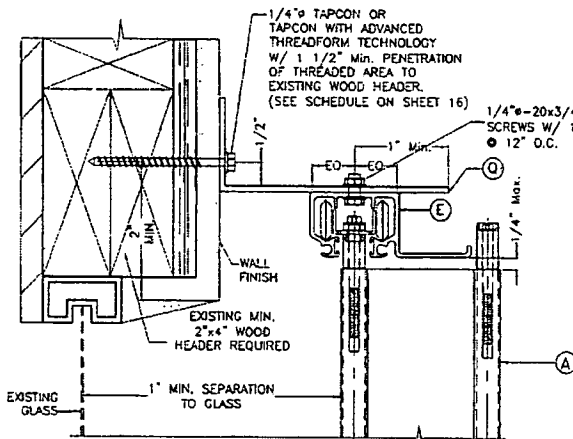
BERTHA HV™ Accordion Shutter System			
REV. No	DESCRIPTION	DATE	Drawn by: F.P./L.G.
1	OLD 05-198	8/05/08	DATE: 09/05/08
2	TAPCON WITH ADVANCED THREADFORM TECHNOLOGY	10/27/10	DRAWING No <b>08-227</b>
3			
4			SHEET
5			12 OF 14

# INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

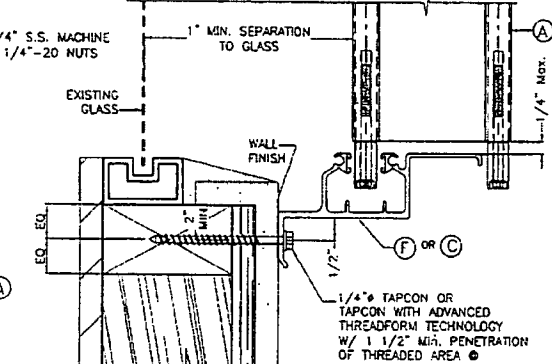
**NOTE:**  
 1-SEE SHEET 3 FOR TYPICAL SHUTTER ASSEMBLY.  
 2-MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.



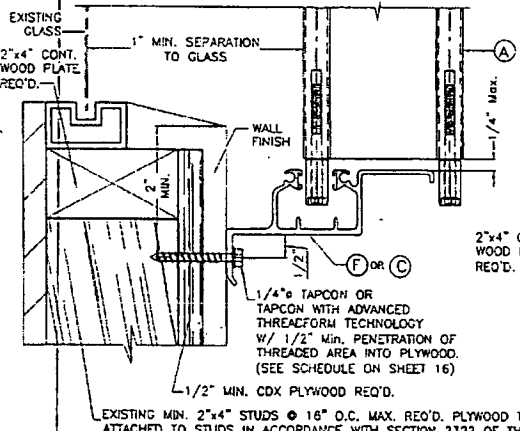
**1W WALL CONNECTION AT TOP**



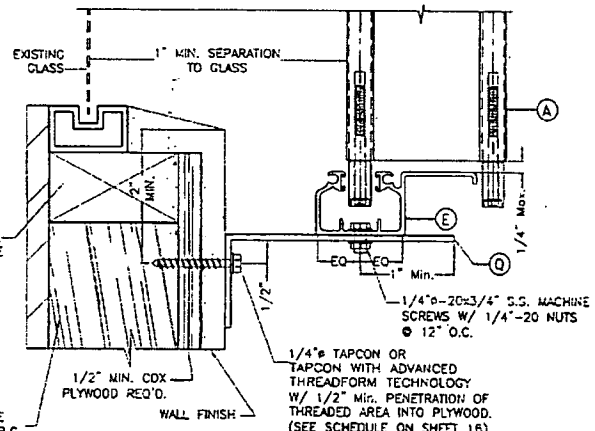
**2W WALL CONNECTION AT TOP**



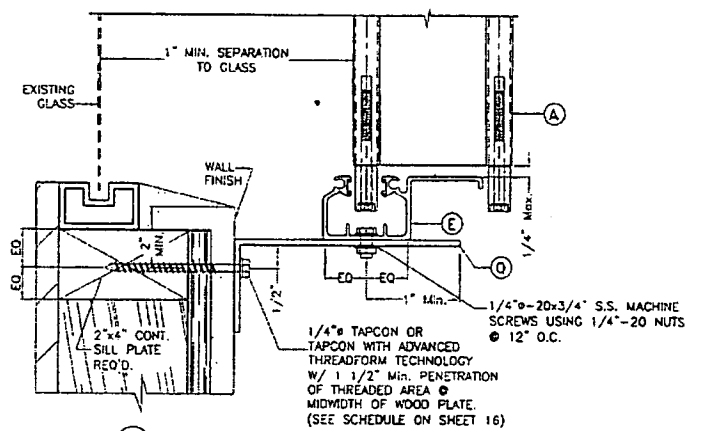
**3W WALL CONNECTION AT BOTTOM**



**4W WALL CONNECTION AT BOTTOM**



**5W WALL CONNECTION AT BOTTOM**



**6W WALL CONNECTION AT BOTTOM**

SCALE: 3/8"=1"

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

Professional Engineer Seal/Signature/Date  
 No. 44167  
 P.E. SEAL/SIGNATURE/DATE



TILIT TESTING & ENGINEERING COMPANY  
 6355 N.W. 36th St., Ste. 305, VIRGINIA GARDENS, FLORIDA 33166  
 Phone : (305)871-1530 . Fax : (305)871-1531  
 e-mail: tiliteco@aol.com  
 EB-0006719  
 WALTER A. TILIT Jr. P.E.  
 FLORIDA Lic. # 44167

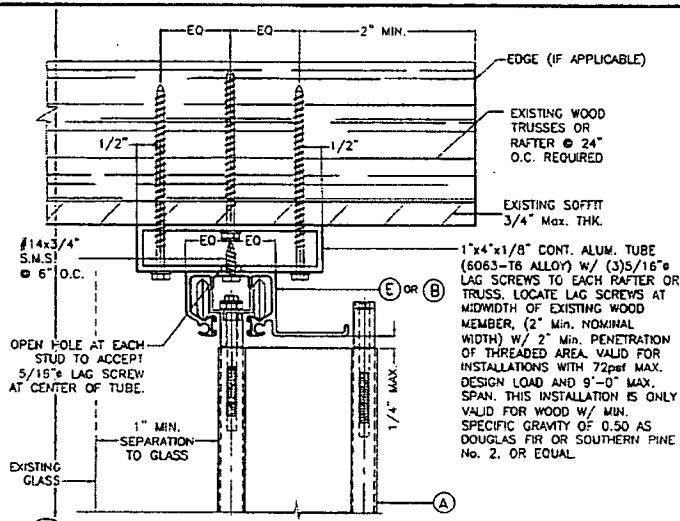
**A.S.S.A.**

American Shutter Systems Association, Inc.  
 4268 Westroads Drive  
 West Palm Beach, FL 33407  
 Ph: (877)999-2772 FAX: (561)209-8380

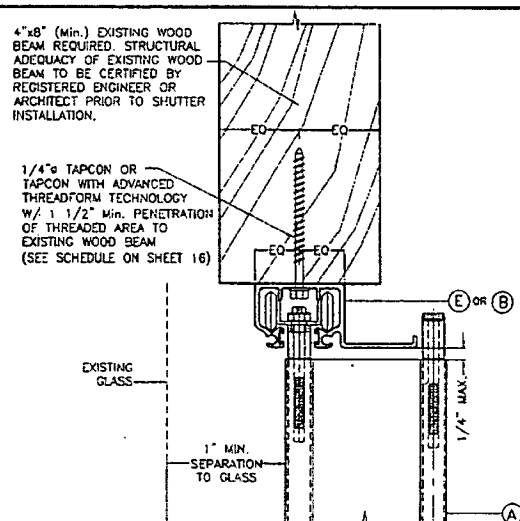
© 2009 EASTERN METAL SUPPLY, INC.

**BERTHA HV™**  
 Accordion Shutter System

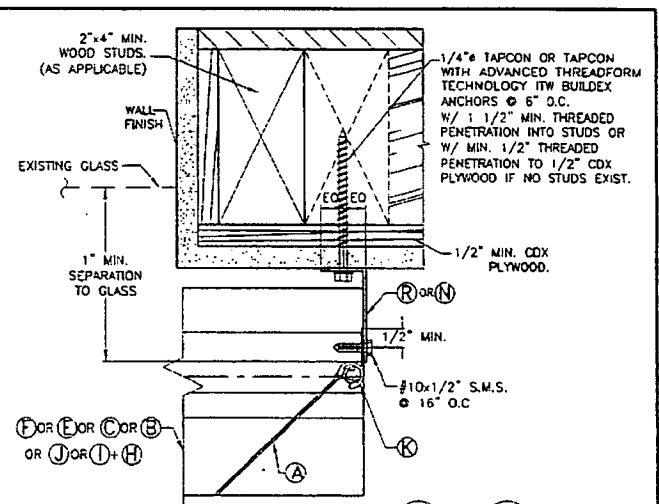
REV. NO	DESCRIPTION	DATE	Drawn by: F.P./A.C.
1	OLD 03-188	8/25/08	DATE: 09/05/08
2	TAPCON WITH ADVANCED THREADFORM TECHNOLOGY	10/27/10	DRAWING No 08-227
3			
4			
5			SHEET 13 OF 14



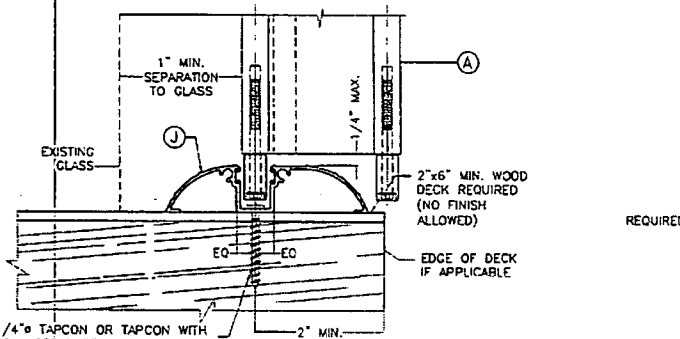
**7W HOLLOW CEILING MOUNTING INSTALLATION**



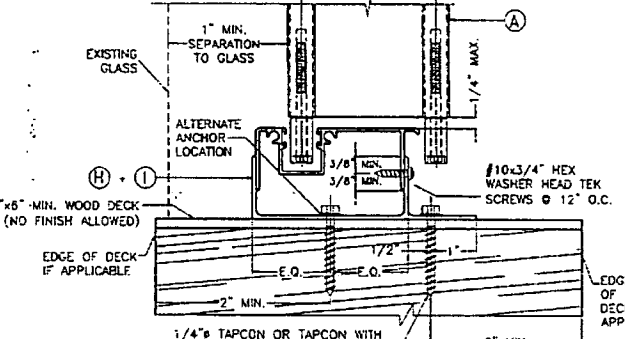
**8W SOFFIT MOUNTING INSTALLATION**



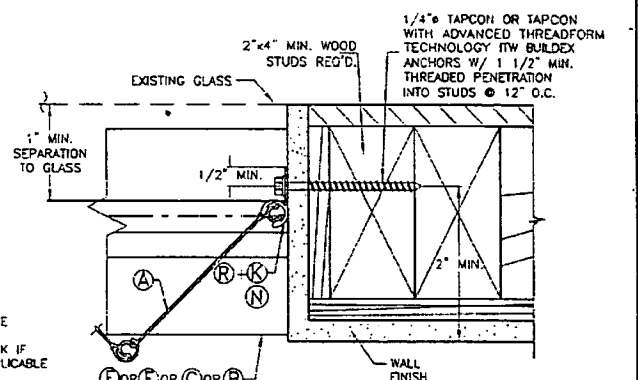
**END CONNECTION DETAIL 1W & 4W**



**9W FLOOR CONNECTION**



**10W FLOOR CONNECTION**



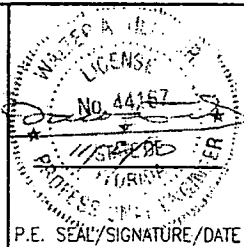
**END CONNECTION DETAIL 5W**

**NOTES:**  
 1-SEE SHEET 3 FOR TYPICAL SHUTTER ASSEMBLY  
 2-MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

SCALE: 3/8" = 1"

FLORIDA BUILDING CODE (Non High Velocity Hurricane Zone)

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 Phone : (305)871-1530 . Fax : (305)871-1531  
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**BERTHA HV™**  
**Accordion Shutter System**

REV. No	DESCRIPTION	DATE	Drawn by: F.P./L.C.
1	OLD CD-188	1/05/08	DATE: 09/05/08
2	TAPCON WITH ADVANCED THREADFORM TECHNOLOGY	10/27/10	DRAWING No
3			<b>08-227</b>
4			SHEET
5			<b>14 OF 14</b>



280 - 4765 FAX

### IMPACT PROTECTION INSTALLATION AFFIDAVIT

BLDG. PERMIT NUMBER: 9756

JOB SITE ADDRESS: 12 Middle Rd

CONTRACTOR/OWNER: Gulfstream Alumina

PHONE NUMBER: 287-6476

QUALIFIER NAME: John L. O'Brien

LICENSE NUMBER: CRC 058 017

I John L. O'Brien, do hereby affirm:  
Owner or Contractor - Please print name

The following impact protection was used as per the 2004 FBC 1609.1.4 for all exterior glazed openings at the above referenced job site.

Impact Resistant Glass

Approved Shutters

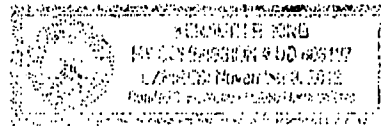
**That I personally observed the complete installation of all hurricane panel/shutters on the above referenced project and further affirm that they are fitted properly for the openings they are intended to protect.**

John L. O'Brien Date: 5-26-11  
Signature of Owner or Contractor

Sworn to and subscribed before me this 26th Day of May 2011

By John L. O'Brien

Notary Public, State of Florida Notary Seal/Stamp

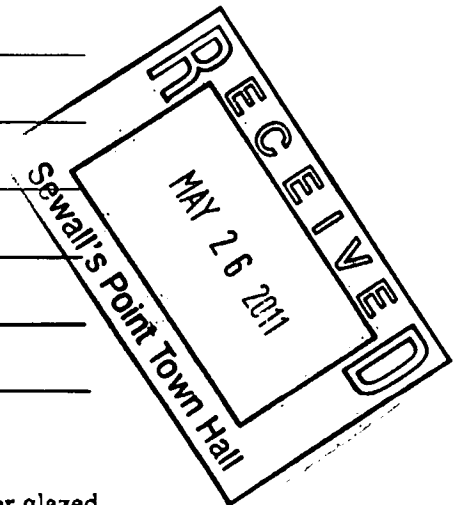


Personally known to me

Produced ID \_\_\_\_\_

Type \_\_\_\_\_

**Sewall' Point Building Department will inspect the structural attachment of the panel rails and/or the shutter assembly attachment to the building, per the manufacturer's product approvals, ASCE 7-02 and the 2004 Florida Building code at final inspection.**



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

5-26-11

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
		curb work		LANDSCAPE CURB
	25 ISLAND RD	NO PERMIT		NO PERMIT REQ
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9752	[REDACTED]	[REDACTED]		
	12 Middle St	FRONT WALK CURB		
	Greenstream	SHUTTER		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9789	Woods	Columns		
	32 E Hick A	beams	Pass	
	Capital Auto			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

**9971**

**RE-ROOF FLAT ROOF**

---



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9971	DATE ISSUED:	JANUARY 13, 2012
SCOPE OF WORK:	REROOF FLAT ROOF ONLY		
CONTRACTOR:	FRAMPTON ROOFING		
PARCEL CONTROL NUMBER:	133841-002000-004902	SUBDIVISION	HIGH PT - L 49
CONSTRUCTION ADDRESS:	12 MIDDLE RD		
OWNER NAME:	SADLER		
QUALIFIER:	JAMES FRAMPTON	CONTACT PHONE NUMBER:	263-0842

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**BUILDING PERMIT RECEIPT**

PERMIT NUMBER:	9971
ADDRESS	12 MIDDLE RD - SADLER
DATE 1/13/12	SCOPE OF WORK REROOF FLAT ROOF ONLY
SINGLE FAMILY OR ADDITION /REMODEL	Declared Value \$
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)	\$

12354

**FRAMPTON ROOFING, INC.**

8645 SE ALABAMA PL.  
 HOBE SOUND, FL 33455  
 (772) 546-4586

**Bank of America.**

ACH R/T 063100277  
 63-27-631

1/13/12

PAY TO THE ORDER OF

*Sewalls Pt Bld Dept.  
 Transferred to - sup 74/100*

\$ 236<sup>74</sup>

DOLLARS

MEMO

*Sadler Permit*



*[Signature]*  
 AUTHORIZED SIGNATURE

⑈012354⑈ ⑆063100277⑆ 001550093757⑈

TOTAL BUILDING PERMIT FEE:	\$
----------------------------	----

ACCESSORY PERMIT	Declared Value:	\$	
Total number of inspections @ \$75.00 each	( 3 )		225
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	3.37
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	3.37
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5.00
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	236.74

*Renewal  
 3004  
 450  
 450  
 500  
 \$314<sup>00</sup>*

*[Signature]*  
 CC# 12354

Security features. Details on back.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 9971

Date: 1-9-12

OWNER/TITLEHOLDER NAME: Ruth P. Sadler

Phone (Day) 772-283-8868 (Fax)

Job Site Address: 12 Middle Rd.

City: Sewall's Point State: FL Zip: 34996

Legal Description: High Point Lot 49

Parcel Control Number: 13-38-41-002-000-00492-2

Owner Address (if different):

City: State: Zip:

SCOPE OF WORK (PLEASE BE SPECIFIC):

Re-roof - Partial Flat Roof Only

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application) YES NO [check]

Has a Zoning Variance ever been granted on this property?

YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 6,500

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ 133,000

(Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Frampton Roofing Inc.

Phone: 772-263-0842 Fax: 772-546-4586

Qualifiers name: James A. Frampton

Street: Alabama Pl.

City: Hobbs Ford State: FL Zip: 33455

State License Number: PC-0066507

License Number: SP-01848

LOCAL CONTACT: Jim

Phone Number: 772-263-0842

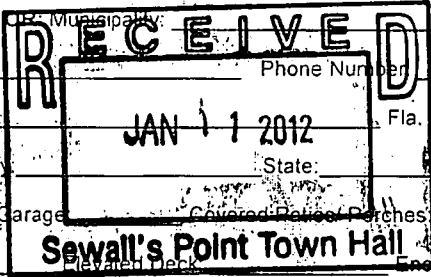
DESIGN PROFESSIONAL:

Street: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Porches: 700 Enclosed Storage:

Carpport: Total under Roof Enclosed area below BFE:

\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1. 105.4.1.1 - .5.

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT THE WORK ON THIS APPLICATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS. Commission # DD 917963

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

X Ruth P. Sadler

State of Florida, County of: Martin

On This the 9 day of January 2012

by Ruth Sadler who is personally

known to me or produced Personally Known

As identification: [Signature]

My Commission Expires: 8/18/2013

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)

X [Signature]

State of Florida, County of: Martin

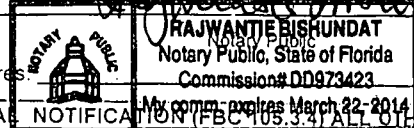
On This the 11 day of Jan 2012

by James A Frampton who is personally

known to me or produced 7102 Fb51 441 57 0560

As identification: [Signature]

My Commission Expires: [Signature]



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY! APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida  
Laurel Kelly, C.F.A**

generated on 1/12/2012 12:50:17 PM EST

**Summary**

<b>Parcel ID</b>	<b>Account #</b>	<b>Unit Address</b>	<b>Market Total Value</b>	<b>Website Updated</b>
13-38-41-002-000-00490-2	27736	12 MIDDLE RD, SEWALL'S POINT	\$333,970	1/7/2012

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**Owner Information**

<b>Owner(Current)</b>	SADLER RUTH P
<b>Owner/Mail Address</b>	12 MIDDLE RD STUART FL 34996-7011
<b>Sale Date</b>	1/1/1979
<b>Document Book/Page</b>	0460 2559
<b>Document No.</b>	
<b>Sale Price</b>	125000

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**Location/Description**

<b>Account #</b>	27736	<b>Map Page No.</b>	SP-06
<b>Tax District</b>	2200	<b>Legal Description</b>	HIGH POINT LOT 49
<b>Parcel Address</b>	12 MIDDLE RD, SEWALL'S POINT		
<b>Acres</b>	.3430		

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**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120000 HighPoint - Sewall's Point

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**Assessment Information**

<b>Market Land Value</b>	\$200,000
<b>Market Improvement Value</b>	\$133,970
<b>Market Total Value</b>	\$333,970

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TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

RE-ROOF PERMIT CERTIFICATION

PERMIT # \_\_\_\_\_  
 CONTRACTOR'S NAME: Fennel Roofing Inc PHONE #: 772-263-0872 FAX: 772.546.4586

OWNER'S NAME: Ruth P. Sadler

CONSTRUCTION ADDRESS: Whiddle Rd. CITY Sewalls Pointe STATE FL ZIP 34996

RE-ROOF:  RESIDENTIAL(SINGLE FAMILY)  
 COMMERCIAL \*\*\*-REMOVE/REINSTALL ROOF TOP HVAC EQUIP  YES  NO

\*\*...DISCONNECT/RECONNECT HVAC ELECTRIC  YES  NO

\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S.  YES  NO - INSURED VALUE OF RESIDENCE \$133,000

RE-ROOF INSPECTION AFFIDAVIT TO BE PROVIDED IN LIEU OF BUILDING DEPARTMENT INSPECTION  YES  NO

ROOF TYPE:  HIP  BOSTON-HIP  GABLE  FLAT  OTHER

ROOF PITCH: 1/8 /12 SLOPE

ROOF DECK:\*  SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED  
 RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".  
 SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".  
 EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: Modified EXISTING COVERING TO BE REMOVED? YES  NO

PROPOSED NEW ROOF COVERING: Tanko ponding water spec. Not moppal.

MANUFACTURER Tanko PRODUCT NAME Awarplan 110 PRODUCT APPR # 09.0820.11

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)  
 MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING:  GALV./STEEL  ALUMINUM  COPPER  OTHER

RIDGEVENT TO BE INSTALLED:  YES  NO

DESCRIPTION OF WORK: TEAR OFF existing Flat roof renailed sheeting Install Tanko ponding water spec per code

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

[Signature] DATE: 2/11/12  
 SIGNATURE OF CONTRACTOR



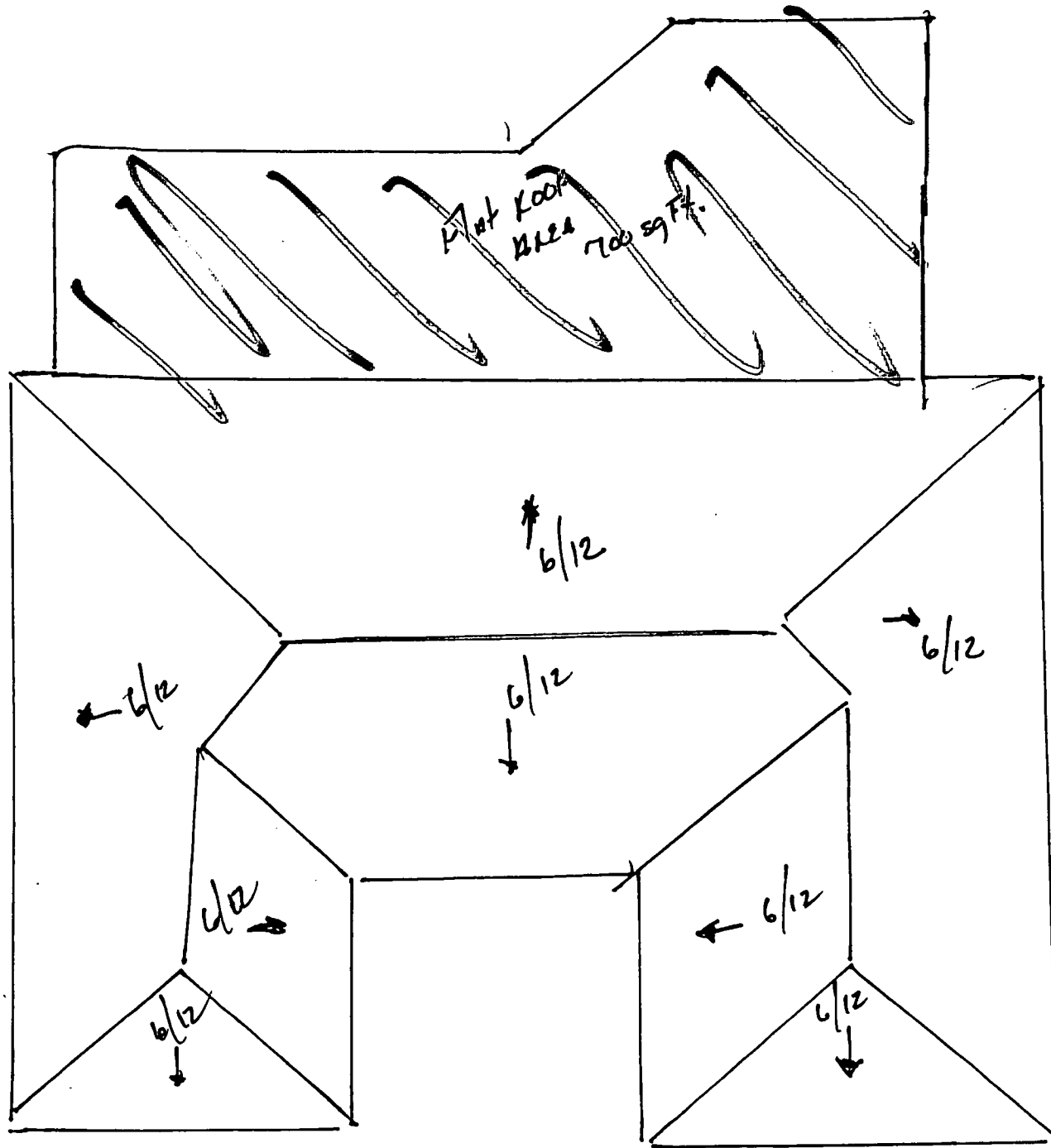


TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

ROOFING MATERIAL LIST

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

NO	MATERIAL	QUANTITY	UNIT	REMARKS
0	<del>GAE Timberline 30 shingles</del>	<del>25</del>	<del>SQ</del>	<del>EXAMPLE</del>
	Glass Base	3 rolls		
	Glass Ply IV	3 rolls		
	VELVA Base	5 rolls		
	AWAPLAN 170	7 rolls		
	Type IV Asphalt.	7 Kits		
	Tin Tags	1/2 Box		
	1 1/4" Roofing Nails	1/2 Box		
	Copper Drip Edge 16 oz.	100'		



Sloped Roof  
Approx 350 sq ft.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**RESIDENTIAL REROOF WINDSTORM LOSS  
MITIGATION CERTIFICATION  
(FLORIDA STATUTE 553.844)**

The following information is to be provided by roofing contractor or owner/builder on all re-roof applications for the purpose of obtaining compliance with recent changes to State Statute and referenced "Hurricane Mitigation Manual". Effective date: October 1, 2007.

Note: These requirements apply to residential structures built prior to implementation of the FBC on March 1, 2002.

- Value: show proof of insured value of residential structure or a copy of the ad-valorem tax value.
- Provide copy of contract

All re-roofs regardless of value shall comply with the following:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d rink shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

\_\_\_\_\_ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

✓  
\_\_\_\_\_ Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

\_\_\_\_\_ Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-moped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs. shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

LICENSED GENERAL, BUILDING OR RESIDENTIAL CONTRACTORS' REROOF WINDSTORM LOSS MITIGATION COMPLIANCE AFFIDAVIT

A RESIDENTIAL STRUCTURE VALUED AT \$300,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:

- Roof to wall connections must be enhanced up to 15% additional cost of the reroofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

A RESIDENTIAL STRUCTURE VALUED AT \$750,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:

When any activity requiring a building permit that is applied for on or after July 1, 2008, and for which the estimated cost is \$50,000 or more for a building that is located in the wind borne debris region as defined in s. 1609.2 of the Florida Building Code, Building:

- a. Opening protections as required within the Florida Building Code, Building or Florida Building Code, Residential for new construction shall be provided.

TO BE COMPLETED IF INSURED VALUE OF SINGLE FAMILY IS OVER \$300,000.00 AND WAS PERMITTED PRIOR TO MARCH 1, 2002.

YEAR PERMITTED \_\_\_\_\_ INSURED OR P.A. IMPROVED VALUE \$ 133,000

DETAILS OF MITIGATION WORK TO BE PERFORMED (Add additional sheets if necessary):  
N.A.

JOB SITE ADDRESS: 12 Middle Rd. Sewalls Point, FL 34996

QUALIFIER NAME: James A. Frampton LICENSE NO.: \_\_\_\_\_

COMPANY NAME: Frampton Roofing Inc PHONE NO.: \_\_\_\_\_

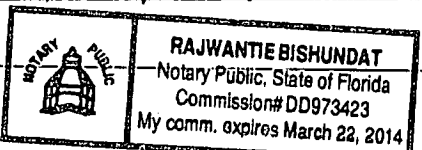
[Signature]  
Qualifier's Signature

Date: 1/11/12

Sworn to and subscribed before me this 11 day of Jan 2012

By James A Frampton  
[Signature]

Notary Public, State of Florida  
Personally known to me \_\_\_\_\_  
Produced ID   
Type: 7127651441570560



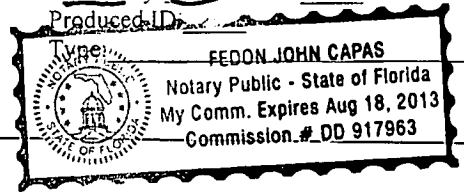
[Signature]  
Owner's Signature

Date: 1/9/2012

Sworn to and subscribed before me this 9 day of January 2012

By Ruth Sadler  
[Signature]

Notary Public, State of Florida  
Personally known to me   
Produced ID: \_\_\_\_\_





BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

**Tamko Building Products, Inc.**  
**P.O. Box 1404**  
**Joplin, MO 64802**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: TAMKO Modified Bitumen Roof System Over Wood Decks**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This revises NOA No. 07-0730.03 and consists of pages 1 through 18.  
The submitted documentation was reviewed by Alex Tigera.



NOA No.: 09-0820.11  
Expiration Date: 05/23/12  
Approval Date: 11/04/09  
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## ROOFING SYSTEM APPROVAL

<b>Category:</b>	Roofing
<b>Sub-Category:</b>	SBS/APP, Modified Bitumen
<b>Deck Type:</b>	Wood
<b>Maximum Design Pressure</b>	-60 psf

**TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:**  
TABLE 1

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Awaplan 170 FR	Roll weight: 98 lbs.; 33' 11" x 39 3/8"	ASTM D 5147 ASTM D 6164 Type I, Grade G	A 180 g/m <sup>2</sup> polyester reinforced SBS modified bitumen membrane surfaced with granules and treated for additional fire resistance. Applied in hot asphalt or cold adhesive.
Awaplan 170™	Roll weight: 98 lbs.; 33' 11" x 39 3/8"	ASTM D 5147 ASTM D 6164 Type I Grade G	A 180 g/m <sup>2</sup> polyester reinforced SBS modified bitumen membrane surfaced with granules. Applied in hot asphalt or cold adhesive.
Awaplan Heat Welding™	Roll weight: 96 lbs.; 25' 5" x 39 3/8"	ASTM D 5147 ASTM D 6164 Type II Grade G	A 250 g/m <sup>2</sup> polyester reinforced SBS modified bitumen membrane surfaced with granules. Applied by torch and also used as a walkway material.
Awaplan Premium FR™	Roll weight: 101 lbs.; 33' 11" x 39 3/8"	ASTM D 5147 ASTM D 6164 Type II Grade G	A 250 g/m <sup>2</sup> polyester reinforced modified bitumen membrane surfaced with granules. Applied by hot asphalt and also used as a walkway material.
Awaplan Premium™	Roll weight: 101 lbs.; 33' 11" x 39 3/8"	ASTM D 5147 ASTM D 6164 Type II Grade G	A 250 g/m <sup>2</sup> polyester reinforced SBS modified bitumen membrane surfaced with granules. Applied in hot asphalt or cold adhesive, and also used as a walkway material.
Awaflex	Roll weight: 76 lbs; 35.9' x 36"	ASTM D 5147	SBS modified cap sheet constructed with a 155gm/m <sup>2</sup> non- woven polyester mat saturated with asphalt, coated on both sides with SBS rubber modified asphalt and surfaced with ceramic granules for UV protection.
Awaflex FR	Roll weight: 76 lbs; 35.9' x 36"	ASTM D 5147	SBS FR modified cap sheet constructed with a 155gm/m <sup>2</sup> non- woven polyester mat saturated with asphalt, coated on both sides with SBS rubber modified asphalt, FR treated, and surfaced with ceramic granules for UV protection.



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<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Awaplan Versa-Smooth	Roll weight: 100 lbs.; 33' 11" x 39 <sup>3</sup> / <sub>8</sub> "	ASTM D 5147 ASTM D 6164 Type I Grade S	A 180 g/m <sup>2</sup> polyester reinforced SBS modified bitumen membrane. Applied in hot asphalt, by torch, or mechanically fastened, as a base ply in 2 ply modified systems.
Awaplan Versa-Flex	Roll weight: 76 lbs.; 33' 11" x 39-3/8"	ASTM D 5147 ASTM D 6164 Type I Grade S	A 170 g/m <sup>2</sup> nonwoven polyester reinforced SBS modified bitumen membrane. Applied in hot asphalt, as a base ply in 2 ply modified systems.
Base-N-Ply®	Roll weight: 72 lbs.; 97'-6" x 39 <sup>3</sup> / <sub>8</sub> "	ASTM D 4601 Type II	Asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Glass-Base™	Roll weight: 72 lbs.; 97' 6" x 39 <sup>3</sup> / <sub>8</sub> "	ASTM D 4601 Type II	Asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Tam-Cap™	Roll weight: 83 lbs.; 32' 11" x 39 <sup>3</sup> / <sub>8</sub> "	ASTM D 3909	Asphalt impregnated and coated felt surfaced with mineral granules used as the top ply in conventional built-up roof membranes.
Tam-Glass Premium™	Roll weight: 53 lbs.; 161' 9" x 39 <sup>3</sup> / <sub>8</sub> "	ASTM D 2178 Type VI	Asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.
Tam-Ply IV™	Roll weight: 44 lbs.; 161' 9" x 39 <sup>3</sup> / <sub>8</sub> "	ASTM D 2178 Type IV	Asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.
Type 43 Base Sheet	Roll weight: 85 lbs.; 72' x 36"	ASTM D 2626	An organic felt reinforced asphalt base sheet. Applied in hot asphalt or mechanically fastened.
Vapor-Chan™	Roll weight: 86 lbs.; 32' 11" x 39 <sup>3</sup> / <sub>8</sub> "	ASTM D 4897	Heavy duty fiber glass base sheet impregnated and coated on both sides with asphalt with or without a fine mineral stabilizer. Surfaced on the bottom side with coarse mineral granules embedded in hot asphaltic coating.
Versa-Base FR™	Roll weight: 60 lbs.; 48' 2" x 39 <sup>3</sup> / <sub>8</sub> "	ASTM D 5147	Asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Versa-Base™	Roll weight: 94 lbs.; 48' 2" x 39 <sup>3</sup> / <sub>8</sub> "	ASTM D 5147 ASTM D 6163 Type I, Grade G	Asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Versa-Cap FR™	Roll weight: 87 lbs.; 33' x 39 <sup>3</sup> / <sub>8</sub> "	ASTM D 5147	A fiberglass reinforced, mineral surfaced, SBS modified bitumen top membrane.
Tam-Pro 846 Fibered Emulsion Coating	5 gallon	ASTM D 1227, type II	Protective coating.
Tam-Pro 813 Quick-Dry Primer	5 gallon	ASTM D 41	Asphalt based primer



<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Tam-Pro 842 Fire Rated Fibered Aluminum Roof Coating	5 gallons	ASTM D2824, type III	Flame retardant protective coating

**APPROVED INSULATIONS:**

**TABLE 2**

<u>Product Name</u>	<u>Product Description</u>	<u>Manufacturer (With Current NOA)</u>
Pyrox, White Line	Isocyanurate Insulation.	Apache Products Co.
ACFoam Composite	Isocyanurate Insulation with perlite facer.	Atlas Roofing Corp.
ACFoam II	Isocyanurate Insulation.	Atlas Roofing Corp.
ConPearl	Expanded perlite mineral fiber Insulation.	Conglas
EnergyGuard Perlite	Expanded mineral fiber Insulation.	GAF Mat'l. Corp.
EnergyGuard Fiberboard	Wood fiber board Insulation.	GAF Mat'l. Corp.
Dens Deck	Silicon treated gypsum board.	G-P Products
Sturdi-Top	Wood fiber insulation board.	G-P Products
Wood Fiberboard	Regular wood fiber insulation.	Generic
High Density Wood Fiberboard	High Density Wood Fiber insulation board.	Generic
Perlite Insulation Board	Perlite Insulation.	Generic
Armor Board Regular Fiberboard	Wood fiber board Insulation.	Honeywell Int'l. Inc.
Hubert Fiberboard	Wood fiber board Insulation.	Huebert Fiberboard, Inc.
ENERGY 3, PSI-25	Isocyanurate Insulation.	Johns Manville
Retro-Fit Board, DuraBoard	A high-density perlite roof insulation.	Johns Manville
Fesco Board	Rigid perlite roof insulation board.	Johns Manville
Kop-R Wood Fiber	Wood fiber board Insulation.	Koppers Industries, Inc.
Structodeck, Structodek FS	High Density Wood Fiber insulation board.	Masonite
H-Shield	Isocyanurate Insulation.	Hunter Panels, LLC
H-Shield WF	Wood fiber/ Isocyanurate Composite Insulation.	Hunter Panels, LLC



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**APPROVED FASTENERS:**

**TABLE 3**

<b>Fastener Number</b>	<b>Product Name</b>	<b>Product Description</b>	<b>Dimensions</b>	<b>Manufacturer (With Current NOA)</b>
1.	Dekfast Fasteners #12, #14 & #15	Insulation fastener for wood, steel and concrete decks		SFS Intec, Inc.
2.	Dekfast Hex Plate	Galvalume hex stress plate.	2 7/8" x 3 1/4"	SFS Intec, Inc.
3.	#12 Roofgrip Fasteners	Insulation fastener for wood and steel.		ITW Buildex Corp.
4.	Metal Plate	Galvalume stress plate.	3" round 3" square	ITW Buildex Corp.
5.	Olympic Fastener #12 & #14	Insulation fastener		Olympic Mfg Group, Inc..
6.	Olympic G-2	Galvalume AZ55 steel plate	3.5" round	Olympic Mfg Group, Inc.
7.	Olympic Standard	Galvalume AZ50 steel plate	3" round	Olympic Mfg Group, Inc.
8.	Insul-Fixx Fastener	Insulation fastener for steel and wood decks		SFS Intec, Inc.
9.	Insul-Fixx S Plate	Galvalume AZ50 steel plate	3" round	SFS Intec, Inc.
10.	Tru-Fast	Insulation fastener for steel and wood decks		The Tru-Fast Corp.
11.	Tru-Fast Plates	Galvalume AZ55 steel plate	3" round	The Tru-Fast Corp.

**EVIDENCE SUBMITTED:**

<u>Test Agency/Identifier</u>	<u>Name</u>	<u>Report</u>	<u>Date</u>
Factory Mutual Research Corp.	Comparative Rupture Testing	J.I. 4D0A7.AM	10.21.98
	Class 1 Fire	J.I. 0Z4A3.AM	08.27.97
	Class 1 Fire; 1-90 Windstorm	J.I. 1D4A7.AM	10.20.97
	Class 1 Fire; 1-90 Windstorm	J.I. 3B5A9.AM	08.27.98
Exterior Research & Design, LLC	Wind Uplift Testing	4444.06.98-1	06.15.98
	Wind Uplift Testing	4449.08.99-1	08.03.99
Trinity   ERD	TAS 117(B) ASTM D6862	C8500SC.11.07	11.30.07
	TAS 117 & TAS 114	C12410.08.09	08/14/09



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**APPROVED ASSEMBLIES:**

**Deck Type II:** Wood, Insulated

**Deck Description:** Minimum 1 5/32" or greater plywood or wood plank. Plywood shall be attached to 2" x 4" wood supports spaced 24" o.c. using wood screws spaced 6" o.c. at perimeters and intermediate supports.

**System Type A:** Anchor sheet mechanically fastened; all layers of insulation adhered with approved asphalt.

All General and System Limitations apply.

**Anchor Sheet:** One ply of Tanko Glass-Base, Vapor-Chan or Base-N-Ply fastened to the deck as described below:

**Fastening:** *(Option #1)* Attach anchor sheet using 11 ga. annular ring shank nails and 1-5/8" diameter tin caps spaced 9" o.c. in a 4" lap and 9" o.c. in two staggered rows in the center of the sheet.  
*(-52.5 psf, See General Limitation #7.)*

*(Option #2)* Attach anchor sheet using #12 or #14 Dekfast Fasteners with Hex Plates, SFS #12 or HD Insulfixx S, or Buildex Accutrac Fasteners and 3" Square Plates spaced 12" o.c. in a 4" lap and 12" o.c. in two staggered rows in the center of the sheet.  
*(-60 psf, See General Limitation #7.)*

One or more layers of any of the following insulations:

**Base Insulation Layer**

**ACFoam II**  
Minimum 1.2" thick

**Insulation Fasteners  
(Table 3)**                      **Fastener  
Density/ft<sup>2</sup>**

N/A                                      N/A

**UltraGard Gold**  
Minimum 1.3" thick

N/A                                      N/A

**ENRGY-3, PSI-25, H-Shield**  
Minimum 1.4" thick

N/A                                      N/A

**Top or Base Insulation Layer**

**Insulation Fasteners  
(Table 3)**                      **Fastener  
Density/ft<sup>2</sup>**

**ConPerl, EnergyGuard Perlite, Fesco Board, Retro-Fit, High Density Wood Fiberboard, Structodek FS**  
Minimum 1/2" thick

N/A                                      N/A

**Note:** All insulation shall be adhered to the anchor sheet in full mopping of approved hot asphalt within the EVT range and at a rate of 20-40 lbs/100 ft<sup>2</sup>. Please refer to Roofing Application Standard RAS 117 for insulation attachment. Insulation listed as base layer only shall be used only as base layers with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side facing down.



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**Base Sheet:** (Optional) One ply of Glass-Base, Base-N-Ply, Versa-Base, Versa-Smooth, Awaplan VersaFlex, or Vapor-Chan adhered to the substrate with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Ply Sheet:** ~~One or more plies of Tam-Glass Premium, Tam-Ply IV, Glass-Base, Base-N-Ply,~~ Awaplan VersaFlex, Awaplan Versa-smooth, or Versa-Base adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Membrane:** Awaplan Premium, Awaplan Premium FR, Awaplan 170, Awaflex, Awaflex FR,, Awaplan 170 FR, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Cap FR adhered with a full mopping of approved asphalt applied at 400@ F at the point of contact and at a rate of 20-40 lbs./sq.; or Awaplan Heat Welding or Versa-Smooth adhered by torch.

**Surfacing:** Optional to mineral surfaced Membranes. Required for smooth surfaced membranes:

1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq..
2. Tam-Pro FR Aluminum Coating applied at 1½ gal./sq., or Tam-Pro 846 Fibered Emulsion Coating at 3 gal./sq.

**Maximum Design Pressure:**

*See Anchor Sheet Fastening Options above.*



**Deck Type II:** Wood, Insulated

**Deck Description:** 1 9/32" or greater plywood or wood plank

**System Type B(1):** Base layer of insulation mechanically fastened, optional top layer adhered with approved asphalt.

All General and System Limitations apply.

Base Insulation Layer	Insulation Fasteners (Table 3)	Fastener Density/ft <sup>2</sup>
ACFoam II, White Line, H-Shield Minimum 1.2" thick	1, 3, 5 or 10	1:2 ft <sup>2</sup>
ACFoam II Minimum 1.4" thick	1, 3, 5 or 10	1:4 ft <sup>2</sup>
ENRGY-3 Minimum 1.4" thick	1, 3, 5 or 10	1:2 ft <sup>2</sup>
UltraGard Gold Minimum 1.3" thick	1, 3, 5 or 10	1:2 ft <sup>2</sup>
ACFoam Composite, H-Shield WF Minimum 1.5" thick	1, 3, 5 or 10	1:4 ft <sup>2</sup>
ConPerl, EnergyGuard Perlite, Fesco Board, Armor Board Regular, Esgard, Wood Fiberboard, EnergyGuard Fiberboard, Huebert Fiberboard, Kop-R Wood Fiber, Structodek Minimum 1" thick	1, 3, 5 or 10	1:2 ft <sup>2</sup>

Note: Base layer shall be mechanically attached with fasteners and density described. Insulation panels listed are minimum sizes and dimensions; if larger panels are used the number of fasteners per board shall be increased maintaining the same fastener density (See Roofing Application Standard RAS 117 for fastening details).

Top Insulation Layer (Optional)	Insulation Fasteners (Table 3)	Fastener Density/ft <sup>2</sup>
ConPerl, EnergyGuard Perlite, Fesco Board, Retrofit Minimum 1/2" thick	N/A	N/A
ACFoam Composite, H-Shield-WF Minimum 1.5" thick	N/A	N/A

Note: Apply optional top layer of insulation shall be adhered with approved hot asphalt within the EVT range and at a rate of 20-40 lbs/100 ft<sup>2</sup>. Please refer to Roofing Application Standard RAS 117 for insulation attachment. Insulations listed as the base layer shall only be used as the base layer with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side face down.

**Base Sheet:** (Optional) One ply of Glass-Base, Base-N-Ply, Versa-Base, Versa-Smooth, Awaplan VersaFlex, or Vapor-Chan adhered to the substrate with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.



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**Ply Sheet:** One or more plies of Tam-Glass Premium, Tam-Ply IV, Glass Base, Base-N-Ply, Awaplan VersaFlex, Awaplan Versa-Smooth, or Versa-Base adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Membrane:** Awaplan Premium, Awaplan Premium FR, Awaplan 170, Awaflex, Awaflex FR,, Awaplan 170 FR, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Cap FR adhered with a full mopping of approved asphalt applied at 400@ F at the point of contact and at a rate of 20-40 lbs./sq.; or Awaplan Heat Welding or Versa-Smooth adhered by torch.

**Surfacing:** Optional to mineral surfaced Membranes. Required for smooth surfaced membranes:  
1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq..  
2. Tam-Pro FR Aluminum Coating applied at 1½ gal./sq. or Tam-Pro 846 Fibered Emulsion Coating at 3 gal./sq.

**Maximum Design Pressure:** -45 psf; (See General Limitation #9.)



**Deck Type 1I:** Wood, Insulated

**Deck Description:** <sup>19</sup>/<sub>32</sub>" or greater plywood or wood plank. Plywood shall be attached to 2" x 4" wood supports spaced 24" o.c. using wood screws spaced 6" o.c. at perimeters and intermediate supports.

**System Type B(2):** Base layer of insulation mechanically fastened; top layer adhered with approved asphalt.

**All General and System Limitations apply.**

<b>Base Insulation Layer</b>	<b>Insulation Fasteners (Table 3)</b>	<b>Fastener Density/ft<sup>2</sup></b>
<b>ACFoam II, ENRGY-3, PSI-25, H-Shield</b> Minimum 1.5" thick	5 or 8	1:1.33 ft <sup>2</sup>

**Note:** Base layer shall be mechanically attached with fasteners and density described. Insulation panels listed are minimum sizes and dimensions; if larger panels are used the number of fasteners per board shall be increased maintaining the same fastener density (See Roofing Application Standard RAS 117 for fastening details).

<b>Top Insulation Layer (Optional)</b>	<b>Insulation Fasteners (Table 3)</b>	<b>Fastener Density/ft<sup>2</sup></b>
<b>High Density Wood Fiberboard</b> Minimum 1/2" thick	N/A	N/A

**Note:** Apply optional top layer of insulation shall be adhered with approved hot asphalt within the EVT range and at a rate of 20-40 lbs/100 ft<sup>2</sup>. Please refer to Roofing Application Standard RAS 117 for insulation attachment. Insulations listed as the base layer shall only be used as the base layer with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side face down.

**Base Sheet:** (Optional) One ply of Glass-Base, Base-N-Ply, Versa-Base, Versa-Smooth, Awaplan VersaFlex, or Vapor-Chan adhered to the substrate with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Ply Sheet:** One or more plies of Tam-Glass Premium, Tam-Ply IV, Glass Base, Base-N-Ply, Awaplan VersaFlex, Awaplan Versa-Smooth, or Versa-Base adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Membrane:** Awaplan Premium, Awaplan Premium FR, Awaplan 170, Awaflex, Awaflex FR, Awaplan 170 FR, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Cap FR adhered with a full mopping of approved asphalt applied at 400° F at the point of contact and at a rate of 20-40 lbs./sq.; or Awaplan Heat Welding or Versa-Smooth adhered by torch.



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**Surfacing:**

Optional to mineral surfaced Membranes. Required for smooth surfaced membranes:

1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq.
2. Tam-Pro FR Aluminum Coating applied at 1 1/2 gal./sq., or Tam-Pro 846 Fibered Emulsion Coating at 3 gal./sq.

**Maximum Design Pressure:**

-60 psf (See General Limitation #7.)



**Deck Type II:** Wood, Insulated

**Deck Description:** 1 9/32" or greater plywood or wood plank

**System Type C:** All layers of insulation simultaneously mechanically fastened.

**All General and System Limitations apply.**

One or more layers of any of the following insulations:

<b>Base Insulation Layer</b>	<b>Insulation Fasteners (Table 3)</b>	<b>Fastener Density/ft<sup>2</sup></b>
<b>ACFoam II, White Line, H-Shield</b> Minimum 1.2" thick	N/A	N/A
<b>UltraGard Gold</b> Minimum 1.3" thick	N/A	N/A
<b>ENRGY-3, PSI-25</b> Minimum 1.4" thick	N/A	N/A

**Note:** All layers shall be simultaneously attached; see top layer below for fasteners and density.

<b>Top Insulation Layer</b>	<b>Insulation Fasteners (Table 3)</b>	<b>Fastener Density/ft<sup>2</sup></b>
<b>ConPerl, EnergyGuard Perlite, Fesco Board, Armor Board Regular, Esgard, Fiberboard, EnergyGuard Fiberboard, Huebert Fiberboard, Kop-R Wood Fiber</b> Minimum 1" thick	1, 3, 5 or 10	1:2 ft <sup>2</sup>

**Note:** All layers of insulation shall be mechanically attached using the fastener density listed above. The insulation panels listed are minimum sizes and dimensions; if larger panels are used, the number of fasteners shall be increased maintaining the same fastener density. Please refer to Roofing Application Standard RAS 117 for insulation attachment.

- Base Sheet:** (Optional) One ply of Glass-Base, Base-N-Ply, Versa-Base, Versa-Smooth, Awaplan VersaFlex, or Vapor-Chan adhered to the substrate with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.
- Ply Sheet:** One or more plies of Tam-Glass Premium, Tam-Ply IV, Glass Base, Base-N-Ply, Awaplan VersaFlex, Awaplan Versa-Smooth, or Versa-Base adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.
- Membrane:** Awaplan Premium, Awaplan Premium FR, Awaplan 170, Awaflex, Awaflex FR,, Awaplan 170 FR, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Cap FR adhered with a full mopping of approved asphalt applied at 400°F at the point of contact and at a rate of 20-40 lbs./sq.; or Awaplan Heat Welding or Versa-Smooth adhered by torch.



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**Surfacing:**

Optional to mineral surfaced Membranes. Required for smooth surfaced membranes:

1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq..
  2. Tam-Pro FR Aluminum Coating applied at 1½ gal./sq., or Tam-Pro 846 Fibered Emulsion Coating at 3 gal./sq.
- 

**Maximum Design**

**Pressure:**

-45 psf;(See General Limitation #9.)



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**Deck Type II:** Wood, Insulated

**Deck Description:** Minimum  $1\frac{1}{2}$ " or greater plywood or wood plank. Plywood shall be attached to 2" x 4" wood supports spaced 24" o.c. using wood screws spaced 6" o.c. at perimeters and intermediate supports.

**System Type D:** Base sheet attached over insulation.

All General and System Limitations apply.

One or more layers of any of the following insulations adhered to deck:

Insulation Layer	Insulation Fasteners (Table 3)	Fastener Density/ft <sup>2</sup>
ACFoam II, White Line, H-Shield Minimum 1.2" thick	N/A	N/A
UltraGard Gold Minimum 1.3" thick	N/A	N/A
ENRGY-3, PSI-25 Minimum 1.4" thick	N/A	N/A
ConPerl, EnergyGuard Perlite, Fesco Board Minimum $\frac{3}{4}$ " thick	N/A	N/A
Armor Board Regular, Esgard, Fiberboard, EnergyGuard Fiberboard, Huebert Fiberboard, Kop-R Wood Fiber, Structodek Minimum $\frac{1}{2}$ " thick	N/A	N/A

**Note:** Top layer shall have preliminary attachment, prior to the installation of the base/anchor sheet, at a minimum application rate of two fasteners per board for insulation boards having no dimension greater than 4 ft., and four fasteners for any insulation board having no dimension greater than 8 ft. All layers of insulation and base sheet shall be simultaneously fastened. See base/anchor sheet below for fasteners and density.

**Base Sheet:** One ply of Tamko Glass-Base, Versa-Base, Awaflex, Versa-Flex, Vapor-Chan or Base-N-Ply fastened to the deck as described below:

**Fastening:** Attach anchor sheet using #12 or #14 Dekfast Fasteners with Hex Plates or SFS #12 HD Insulfixx S or Buildex Accutrac Fasteners and 3" Square Plates spaced 12" o.c. in a 4" lap and 12" o.c. in two staggered rows in the center of the sheet.

**Ply Sheet:** (Optional) One or more plies of Tam-Glass Premium, Tam-Ply IV, Glass Base, Base-N-Ply, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Base adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.



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**Membrane:**

Awaplan Premium, Awaplan Premium FR, Awaplan 170, Awaflex, Awaflex FR,, Awaplan 170 FR, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Cap FR adhered with a full mopping of approved asphalt applied at 400°F at the point of contact and at a rate of 20-40 lbs./sq.; or Awaplan Heat Welding or Versa-Smooth adhered by torch.

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**Surfacing:**

Optional to mineral surfaced Membranes. Required for smooth surfaced membranes:

1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq.
2. Tam-Pro FR Aluminum Coating applied at 1½ gal./sq., or Tam-Pro 846 Fibered Emulsion Coating at 3 gal./sq.

**Maximum Design Pressure:**

-60 psf; (See General Limitation #7.)



**Deck Type 1:** Wood, Non-insulated

**Deck Description:** Minimum  $1\frac{5}{32}$ " or greater plywood or wood plank. Plywood shall be attached to 2" x 4" wood supports spaced 24" o.c. using wood screws spaced 6" o.c. at perimeters and intermediate supports.

**System Type E(1):** Base sheet mechanically fastened.

**All General and System Limitations apply.**

**Anchor Sheet:** One ply of Tamko Glass-Base, Vapor-Chan, Versa-Flex, Versa-Base, Versa-Smooth or Base-N-Ply fastened to the deck as described below:

**Fastening:** (*Option #1*) Attach anchor sheet using 11 ga. annular ring shank nails and 1-5/8" diameter tin caps spaced 9" o.c. in a 4" lap and 9" o.c. in two staggered rows in the center of the sheet.

(-52.5 psf, See General Limitation #7.)

(*Option #2*) Attach anchor sheet using #12 or #14 Dekfast Fasteners with Hex Plates, SFS #12 or HD Insulfixx S, or Buildex Accutrac Fasteners and 3" Square Plates spaced 12" o.c. in a 4" lap and 12" o.c. in two staggered rows in the center of the sheet.

(-60.0 psf, See General Limitation #7.)

**Ply Sheet:** (Optional) One or more plies of Tam-Glass Premium, Tam-Ply IV, Glass Base, Base-N-Ply, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Base adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Membrane:** Awaplan Premium, Awaplan Premium FR, Awaplan 170, Awaflex, Awaflex FR,, Awaplan 170 FR, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Cap FR adhered with a full mopping of approved asphalt applied at 400°F at the point of contact and at a rate of 20-40 lbs./sq.; or Awaplan Heat Welding or Versa-Smooth adhered by torch.

**Surfacing:** Optional to mineral surfaced Membranes. Required for smooth surfaced membranes:

1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq..
2. Tam-Pro FR Aluminum Coating applied at 1½ gal./sq., or Tam-Pro 846 Fibered Emulsion Coating at 3 gal./sq.

**Maximum Design Pressure:** See Base Sheet Fastening Options above



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**Deck Type 1:** Wood, Non-insulated

**Deck Description:** Minimum  $1\frac{5}{32}$ " or greater plywood or wood plank. Plywood shall be attached to 2" x 4" wood supports spaced 24" o.c. using wood screws spaced 6" o.c. at perimeters and intermediate supports.

**System Type E(2):** Base sheet mechanically fastened.

**All General and System Limitations apply.**

**Anchor Sheet:** One ply of Tamko Glass-Base, Vapor-Chan, Versa-Flex, Versa-Base, Versa-Smooth or Base-N-Ply fastened to the deck as described below:

**Fastening:** (*Option #1*) One ply of Red Rosin sheet loose laid over deck. Followed by anchor sheet attached using Simplex Mega Cap Nails spaced 9" o.c. in a 4" lap and 9" o.c. in two staggered rows in the center of the sheet.  
(-45 psf, See General Limitation #7.)

(*Option #2*) Attach anchor sheet using Simplex Mega Cap Nails spaced 9" o.c. in a 4" lap and 9" o.c. in two staggered rows in the center of the sheet.  
(-60 psf, See General Limitation #7.)

**Ply Sheet:** (Optional) One or more plies of Tam-Glass Premium, Tam-Ply IV, Glass Base, Base-N-Ply, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Base adhered with a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Membrane:** Awaplan Premium, Awaplan Premium FR, Awaplan 170, Awaflex, Awaflex FR,, Awaplan 170 FR, Awaplan Versa-Smooth, Awaplan VersaFlex, or Versa-Cap FR adhered with a full mopping of approved asphalt applied at 400°F at the point of contact and at a rate of 20-40 lbs./sq.; or Awaplan Heat Welding or Versa-Smooth adhered by torch.

**Surfacing:** Optional to mineral surfaced Membranes. Required for smooth surfaced membranes:  
1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at an application rate of 60 lb./sq..  
2. Tam-Pro FR Aluminum Coating applied at 1½ gal./sq. or Tam-Pro 846 Fibered Emulsion Coating at 3 gal./sq.

**Maximum Design Pressure:** See Base Sheet Fastening Options above



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## WOOD DECK SYSTEM LIMITATIONS:

1. A slip sheet is required with Ply 4 and Ply 6 when used as a mechanically fastened base or anchor sheet.

### GENERAL LIMITATIONS:

1. Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer
3. All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
4. An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used the base sheet shall be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each sidelap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq.  
**Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf.**
5. Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with Testing Application Standard TAS 105. If the fastener value, as field-tested, are below 275 lbf. insulation attachment shall not be acceptable.
6. Fastener spacing for mechanical attachment of anchor/base sheet or membrane attachment is based on a minimum fastener resistance value in conjunction with the maximum design value listed within a specific system. Should the fastener resistance be less than that required, as determined by the Building Official, a revised fastener spacing, prepared, signed and sealed by a Florida Registered Engineer, Architect, or Registered Roof Consultant may be submitted. Said revised fastener spacing shall utilize the withdrawal resistance value taken from Testing Application Standards TAS 105 and calculations in compliance with Roofing Application Standard RAS 117.
7. Perimeter and corner areas shall comply with the enhanced uplift pressure requirements of these areas. Fastener densities shall be increased for both insulation and base sheet as calculated in compliance with Roofing Application Standard RAS 117. (When this limitation is specifically referred within this NOA, General Limitation #9 will not be applicable.)
8. All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform with Roofing Application Standard RAS 111 and applicable wind load requirements.
9. The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners). (When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.)
10. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.

**END OF THIS ACCEPTANCE**



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**NOTICE OF COMMENCEMENT**  
 TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 13-38-41-002-000-00490-2

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):  
High Point Lot 49

GENERAL DESCRIPTION OF IMPROVEMENT: RELOOF FLAT ROOF AREA

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT  
 NAME: Ruth P. Sadler  
 ADDRESS: 12 Middle Rd, Sewalls Pointe, FL 34996  
 PHONE NUMBER: 772-283-8868 FAX NUMBER: \_\_\_\_\_  
 INTEREST IN PROPERTY: owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):  
 \_\_\_\_\_

CONTRACTOR: Frampton Roofing Inc.  
 ADDRESS: 2645 SE. Alabama Pl. Hobe Sound, FLA 33455  
 PHONE NUMBER: 772-263-0842 FAX NUMBER: 772-546-4586

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)  
 ADDRESS: \_\_\_\_\_  
 PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
 BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY: \_\_\_\_\_ STATE OF FLORIDA  
 ADDRESS: \_\_\_\_\_ MARTIN COUNTY  
 PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM COPIES OF OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES, AND A TRUE AND CORRECT COPY OF THE ORIGINAL.

NAME: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
 BY: Marsha Ewing D.C.  
 DATE: 1-11-12

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
 (EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF THE ORIGINAL AND THAT IT IS MY BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

\* Ruth P. Sadler  
 SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

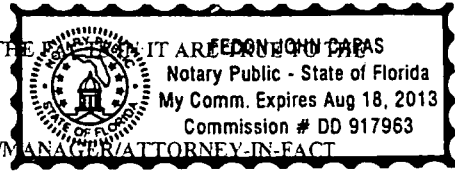
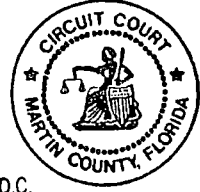
SIGNATORY'S TITLE/OFFICE Owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9 DAY OF January 2012

BY: Ruth Sadler AS Owner FOR N/A  
 NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN  OR PRODUCED IDENTIFICATION \_\_\_\_\_

TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_



INSTR # 2310930 OR BK 02555 PG 0660 RECD 01/11/2012 12:33:20 PM  
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 MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix



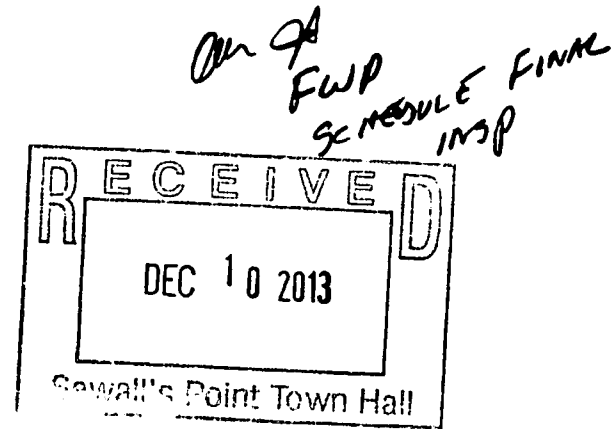
K E L L Y & K E L L Y A R C H I T E C T S



December 6, 2013

Town of Sewall's Point Building Dept.  
1 South Sewall's Point Road  
Stuart, Florida 34996

RE: 12 Middle Road  
Sewall's Point, Florida  
Re-Roof Permit Number: 9971



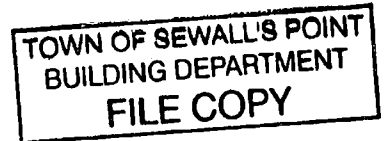
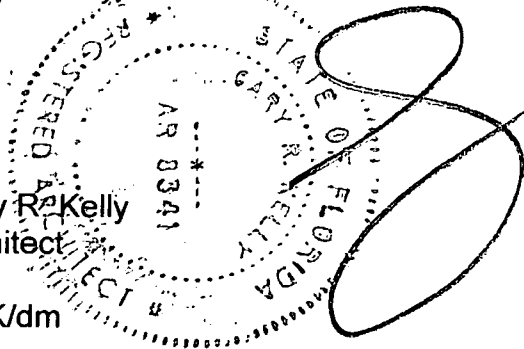
Dear Sir or Madam,

I visited the above referenced site and viewed the installed flat roof materials (non-structural) at the existing rear porch. This work was performed by Frampton Roofing and appears to have been completed in accordance with sound construction practice and the FBC 2010.

Respectfully Submitted,

Gary R. Kelly  
Architect

GRK/dm





# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 12-11-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10700	Smith 2 Heritage Wy Apostolopoulos	Pt dry-in/metal	Pass	INSPECTOR <i>[Signature]</i>
10705	Ford 98 N Sewalls Masterpiece	Roof	Pass	INSPECTOR <i>[Signature]</i>
	SSPR - south of Ridgeland near Peacock Sign - lg branches low lying - trucks hit - hazardous			INSPECTOR
10601	Giel 34 Rio Vista DR Soft Custom Pools	electric final	Pass	INSPECTOR <i>[Signature]</i>
<del>0001</del>	<del>Gardner</del> 12 Middle Rd Hampton Roof	<del>Roof</del>	<del>Pass</del>	<del>INSPECTOR</del> <del>Close</del>
				INSPECTOR
				INSPECTOR

# ADMIN VARIANCE

PAMELA M. BUSHA  
Mayor

PAUL LUGER  
Vice Mayor

VINCENT N. BARILE  
Commissioner

THOMAS BAUSCH  
Commissioner

JACQUI THURLOW-LIPPISCH  
Commissioner

# TOWN OF SEWALL'S POINT



PAMELA MAC'KIE WALKER  
Town Manager

ANN-MARIE S. BASLER  
Town Clerk

TINA CIECHANOWSKI  
Interim Chief of Police

JOHN ADAMS  
Building Official

JOSE TORRES  
Maintenance

## ADMINISTRATIVE VARIANCE NOTICE OF STATUS

January 16, 2014  
Christopher J. Twohey, Esq.  
844 SE Ocean Blvd.  
Stuart, FL 34994

**REFERENCE: Application for an Administrative Variance for Ruth P. Sadler, 1454 Silver Pine Way, #101C, Palm City, FL 34990; for the property located at 12 Middle Road, Sewall's Point, FL 34996.**

Dear Mr. Twohey,

Your application for administrative variance, more specifically:

1. Setback of 24.3 feet, measured along the Eastern side of the pool deck and screen room, in lieu of the required 25 feet.

Has been approved by the Building official.

**Sec. 82-143: Upon approval of the administrative variance, the town clerk shall record the Building Official's approval in the Martin County, Florida public records. The applicant shall be responsible for the recording costs incurred by the Town, and shall pay the Town such costs prior to the recordation of any documents.**

ANY ADDITIONAL RECORDING COSTS ARE TO BE PAID UPON RECEIPT OF APPROVAL

ADDITIONAL RECORDING COSTS: **NONE**

With best regards,

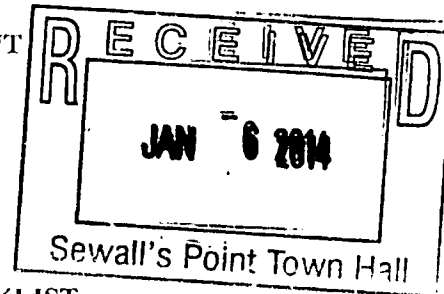
John R. Adams, C.B.O.  
Building & Facilities Director



One South Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: [pwalker@sewallspoint.org](mailto:pwalker@sewallspoint.org)  
Police Department (772) 781-3378 • Fax (772) 286-7669 • E-Mail: [sppd@sewallspoint.org](mailto:sppd@sewallspoint.org)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



**ADMINISTRATIVE VARIANCE APPLICATION AND CHECKLIST**

OWNER/APPLICANT(S) RUTH P. SADLER DATE 12-11-13  
 OWNER ADDRESS 1454 SW SILVER PINE WAY, #101C, PALM CITY, FL 34990  
 PROPERTY ADDRESS (IF DIFFERENT THAN OWNERS ADDRESS) 12 MIDDLE TR,  
STUART, FL 34996  
 PHONE NUMBER 772-221-8221 FAX/E-MAIL 772-221-8225

APPLICANT MUST COMPLY WITH THE FOLLOWING REQUIREMENTS AND CONDITIONS TO QUALIFY FOR AN ADMINISTRATIVE VARIANCE AS DEFINED AND SET FORTH IN THE TOWN OF SEWALL'S POINT CODE OF ORDINANCES SECTION 82-141. ADMINISTRATIVE VARIANCES ARE LIMITED TO ENCROACHMENTS OF ONE (1) FOOT OR LESS.

APPLICANT TO INITIAL THE FOLLOWING CHECKLIST ITEMS:

- \$400.00 MINIMUM FILING FEE (ADDITIONAL MONIES MAY BE REQUIRED TO BE PLACED IN ESCROW TO COVER ANY PROFESSIONAL FEES INCURRED BY THE TOWN IN PROCESSING THIS APPLICATION).
- APPLICANT'S CERTIFICATION OF OWNERSHIP OF PROPERTY IN QUESTION AND VERIFIED LIST OF ALL ADJACENT PROPERTY OWNERS.
- COPY OF ORIGINAL BUILDING PERMIT/APPLICATION, ALL ASSOCIATED PERMIT DRAWINGS AND SUBMITTED DOCUMENTS (REQUIRED FOR ALL APPLICANTS).
- CURRENT (90 DAYS OR LESS) AS-BUILT SURVEY OF THE COMPLETE GROUNDS WITH ALL IMPROVEMENTS, INDICATING THE AREA(S) OF ENCROACHMENT. SURVEY MUST INCLUDE A CERTIFICATION TO THE TOWN OF SEWALL'S POINT.
- LETTERS OF NO OBJECTION FROM ALL ADJACENT PROPERTY OWNERS OR PROOF THAT A COPY OF THIS APPLICATION WAS SENT TO ALL ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL INCLUDING A NOTICE INFORMING THEM OF THEIR RIGHT TO FILE AN OBJECTION WITH THE TOWN CLERK WITHIN 15 DAYS OF THE DATE THE NOTICE WAS MAILED, AND THAT 15 DAYS HAS PASSED.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

ADMINISTRATIVE VARIANCE APPLICATION AND CHECKLIST

DESCRIBE IN DETAIL THE ENCROACHMENT(S) LENGTH AND LOCATION. IF MORE THAN ONE, PLEASE LIST EACH SEPARATELY.

SOUTHEAST CORNER OF POOL DECK IS 24.3'
FROM THE REAR PROPERTY LINE. SETBACK
IS 25'

UPON APPROVAL OF THE ADMINISTRATIVE VARIANCE, THE TOWN CLERK SHALL RECORD THE BUILDING OFFICIAL'S APPROVAL IN THE MARTIN COUNTY, FLORIDA PUBLIC RECORDS. THE APPLICANT SHALL BE RESPONSIBLE FOR THE RECORDING COSTS INCURRED BY THE TOWN, AND SHALL PAY THE TOWN SUCH COSTS PRIOR TO THE RECORDATION OF ANY DOCUMENTS.

THE APPLICANT UNDER SECTION 82-101 OF THE CODE MAY TAKE AN ADMINISTRATIVE APPEAL FROM A DECISION OF THE BUILDING OFFICIAL UNDER THIS SECTION. THE ADMINISTRATIVE APPEAL MAY PROCEED CONCURRENTLY WITH AN APPLICATION FOR A VARIANCE BEFORE THE BOARD OF ZONING ADJUSTMENT, AT THE ELECTION OF THE APPLICANT

OWNER/APPLICANT(S) SIGNATURE [Signature]

SWORN TO AND SUBSCRIBED BEFORE ME THIS 31st DAY OF December, 2013

STATE OF Florida COUNTY OF MARTIN

2013 BY RUTH P. SAOULON

PERSONALLY KNOWN [checkmark]

OR PRODUCED ID

TYPE OF ID

NOTARY [Signature]



09:17:37 AM

IN RE: VARIANCE OF  
RUTH P. SADLER

IN THE JURISDICTION OF THE TOWN  
COMMISSION OF THE TOWN OF  
SEWALL'S POINT, FLORIDA

**FINAL ORDER**

Ruth P. Sadler is the owner of real property ("Owner") located at 12 Middle Road, Sewall's Point, Florida ("subject property").

**FINDINGS OF FACT**

The required rear building setback for the subject property is twenty five (25') feet. However the Easterly side, measured at the screened pool deck encroaches .7 feet into the required 25-foot setback.

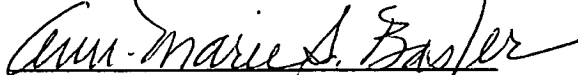
Christopher J. Twohey, Esq., as the agent of the Owner, has applied for administrative variance (the "Application"), pursuant to the Town of Sewall's Point ("Town") Code of Ordinances, Section 82-143.

3. The records of the Town's Building Department indicate that the original building plans for the Pool and Deck were approved by the Town on or about October 4, 1973, and the building plans for the Screen Room were also approved by the Town on or about October 4, 1973. At that time, the submitted proposed site plans indicated compliance with the required 25 foot setback. It is the opinion of the Town Building Official that the contractors who constructed the pool deck made a measuring error that resulted in the encroachment.
4. The Town Building Official received and reviewed the Application, and considered to allow:
5. **Easterly side** measured at the screened pool deck, an encroachment of .7 feet into the required 25 foot side setback.
6. The Applicant delivered by certified mail return receipt on December 12, 2013 to all record owners of property located adjacent to the property involved in the Variance a copy of the Application, and a notice of their right to object to the variance. The Applicant provided proof of the identity and address of the persons entitled to receive Application notice, and of the delivery of the application notice to those persons. 15 days have passed, and no objections have been filed by the adjacent property owners.

INSTR # 2448633 OR BK 2711 PG 471 RECD 04/07/2014  
(2 Pgs)  
CAROLYN TIMMANN MARTIN COUNTY CLERK T  
DEED DOC \$0.00, MTG DOC \$0.00, INTANGIBLE \$0.00

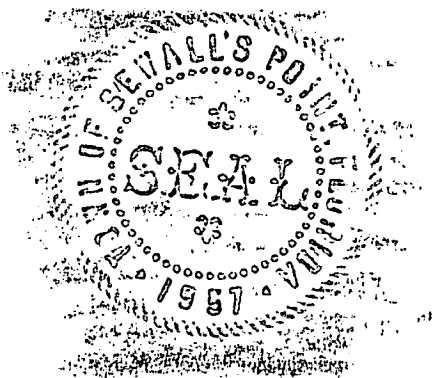
7. The pool/ deck and screen room, for which the variance is requested, were constructed under valid Town permits dated October 4, 1973. The setback violations for the encroachments shown on the survey were good faith errors and were not intentional.
8. The Building Official also considered:
- a. That the Applicant meets all the requirements for the variances requested as set forth in Town Code Section 82-143(3).
  - b. The encroachment is less than one foot into the required setback in effect at the time the encroachment was created.
  - c. No objections to the Administrative Variance request have been filed by the owners of the four (4) adjacent property owners within the allotted 15 day period.
9. The Town Building Official has jurisdiction over Administrative Variance Applications.
10. Based upon the Application of the variance criteria to the subject property, the Town Building Official finds that the Applicant has satisfied all of the variance criteria for the variances requested.
11. The Variances as set forth herein is hereby **GRANTED** by the Town Building Official of the Town of Sewall's Point, Florida.
12. This Variance is expressly conditioned upon the Applicant reimbursing the Town for all expenses of the Town incurred in connection with the Variance Application, pursuant to Section 82-143(1), Town of Sewall's Point Code of Ordinances. **DONE AND ORDERED** in Sewall's Point this 24<sup>th</sup> day of March, 2014.

ATTEST

  
Ann-Marie S. Basler, Town Clerk

  
John R. Adams, Building & Facilities Director

Copies to:  
Christopher J. Twohey, ESQ. 844 SE Ocean Blvd. Suite A, Stuart Point, FL 34994

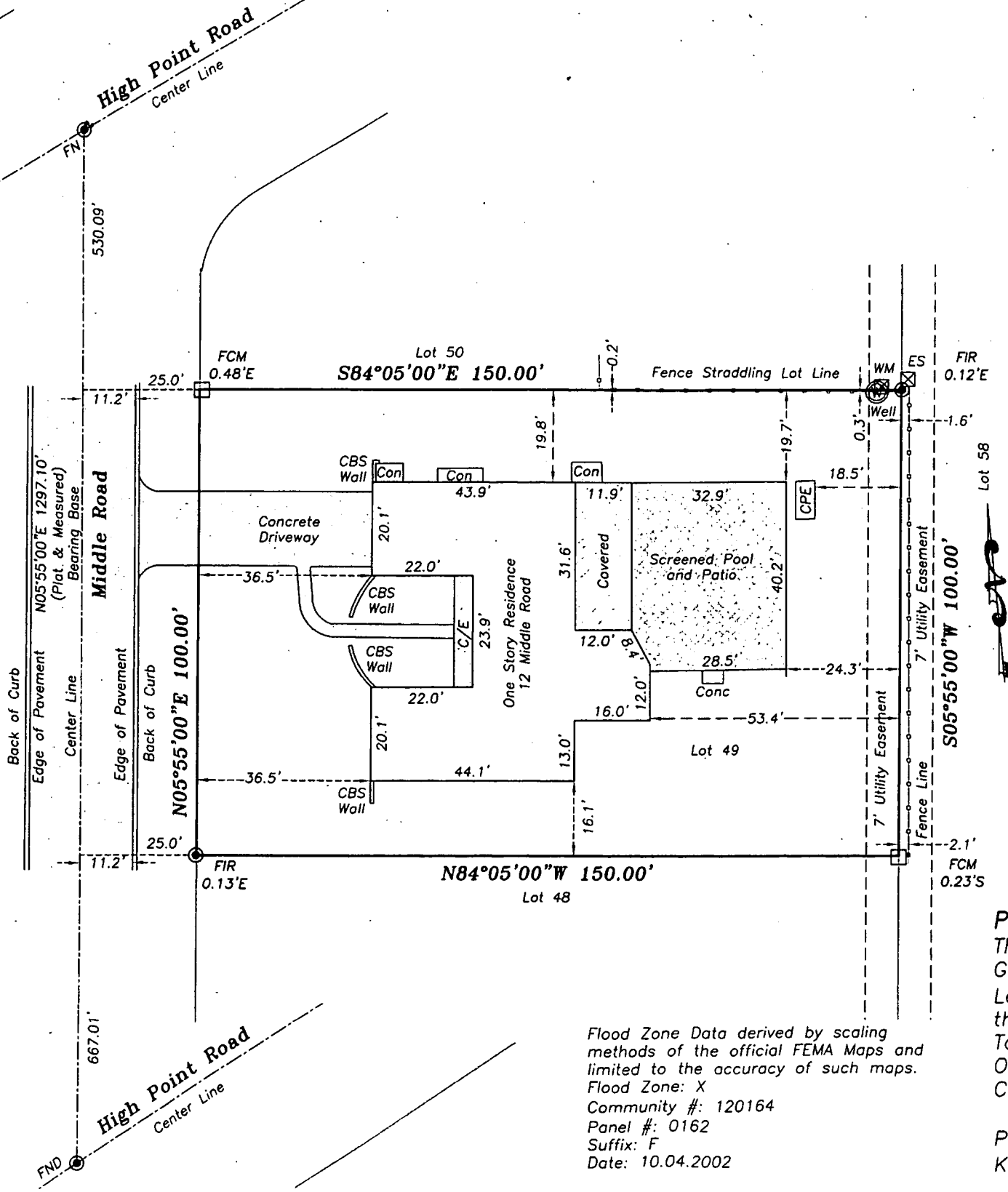


**LEGAL DESCRIPTION**

Lot 49, HIGH POINT, according to the Plat thereof, as recorded in plat Book 3, Page 108, Public Records of Martin County, Florida

**SURVEYOR'S REPORT**

- 1 This Survey shall not be valid unless sealed with an embossed Surveyor's Seal
- 2 No underground improvements have been located as part of this Survey.
- 3 The last field date of this Survey was: 12-5-13.
- 4 This Survey was prepared using the Plat of Record only. No other documents were provided and no search of the public records was performed by this office.
- 5 The Survey shown hereon meets the requirement for field accuracy in a suburban area as set forth by the Minimum Technical Standards (5J-17.050-052FAC).
- 6 By acceptance of this survey all parties agree that the signing surveyor's liability is limited to the amount paid for said Survey.
- 7 Unless other wise noted all bearing and distances are in accordance with the record plat and have been verified by field measurements. See map for bearing base.
- 8 Parcel/Lot line locations have been based on found survey control along the center line of Middle Road
- 9 LEFT BLANK.
- 10 The Legal Description shown hereon was provided by the client and/or his/her representatives.
- 11 No ownership of fence lines has been determined as part of this Survey.
- 12 Off set calls to found survey control are relative to the nearest property corner, intersection of lines, point of curvatures (PC), point of reverse curvatures (PRC) or other identifiable point.
- 13 Compliance with local zoning requirements and or with requirements set forth by other State, Public, and/or Private entities has not been verified as part of this Survey.



Flood Zone Data derived by scaling methods of the official FEMA Maps and limited to the accuracy of such maps.  
 Flood Zone: X  
 Community #: 120164  
 Panel #: 0162  
 Suffix: F  
 Date: 10.04.2002

**PREPARED FOR:**  
 Theodore Markus and Carol C. Markus.  
 Gary M. Marozi of Town and Country Mortgage Lenders, Inc. it's successors and/or assigns, as their interest may appear.  
 Town of Sewalls Point  
 Old Republic National Title Insurance Company  
 Christopher J. Twohey, P.A.

Prepared By: Regina C. Karner, PSM#4363  
 Karner Surveying, Inc. LB#7357

- FCM - Found 4"x4" Concrete Monument
- FIP - Found 1/2" Iron Pipe
- FIPC - Found 1/2" Iron Pipe with Cap
- FIR - Found #5 Iron Rod
- FIRC - Found #5 Iron Rod with Cap "LS3343"
- SIRC - Set #5 Iron Rod with Cap "LB#7357"
- FIPC - Found 1/2" Iron Pipe with Cap
- FM - Found Mag Nail
- FMD - Found Mag Nail with Disk
- FN - Found Nail
- FNIT - Found Nail with Tin Tab
- FPK - Found PK Nail
- FPKD - Found PK Nail with Disk
- FRRS - Found Rail Road Spike
- /CO - In Pavement Cut Out
- PT - Point of Tangency
- (D) - Deed
- (M) - Measured
- (P) - Plat

**LEGEND**

- C/E - Covered Entry
- CAC - Concrete Pad with Air Conditioning
- CBS - Concrete Block Structure
- CMP - Corrugated Metal Pipe
- CPE - Concrete Pad with Pool Equipment
- CTV - Cable TV Box
- ES - Electric Service
- GV - Water Gate Valve
- HYD - Fire Hydrant
- O/L - Overhead Utility Line
- PP - Power Pole
- TCB - Telephone Communications Box
- SBB - Southern Bell Box
- SL - Street Light
- SSMH - Sanitary Sewer Manhole
- UB - Utility Box
- WM - Water Meter

Prepared For:  
**Mr. and Mrs. Markus**  
 Martin County Florida

**KARNER SURVEYING, INC.**  
 Residential & Commercial Surveying Services  
 2740 SW Martin Downs Blvd.#333  
 Palm City, Florida 34990  
 PHONE: 1-772-288 7206 FAX: 1-772-223 8181

Date	Reviser Description
12.7.13	Ad and/or change Lender, Underwriter
12.10.13	Add Town of Sewalls Point

Sheet Title:  
**BOUNDARY SURVEY**

Scale: 1"=30'  
 Date: 12-8-13  
 Drawn By: Field Book  
 CADD-1 1402.3  
 Job No: 1312-05  
 CADD File:

Sheet No:  
 1 of 1  
 File No:

Proj: High Point 49

Not Valid Unless Sealed With An Embossed Surveyor's Seal



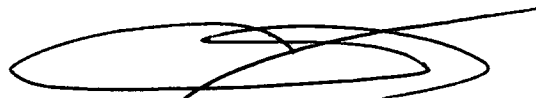
## CERTIFICATE OF OWNERSHIP

For: Town of Sewall's Point

I HEREBY CERTIFY that **RUTH P. SADLER**, whose address is 1454 SW Silver Pine Way, #101C, Palm City, Florida 34990, is the apparent title holder of the parcel of land being described as:

**Lot 49, HIGH POINT SUBDIVISION, according to the map or plat thereof as recorded in Plat Book 3, Page 108, Public Records of Martin County, Florida.**

DATED this 31<sup>st</sup> day of December, 2013.



CHRISTOPHER J. TWOHEY, ESQ.  
*Attorney for Applicant*  
CHRISTOPHER J. TWOHEY, P.A.  
844 SE Ocean Blvd., Suite A  
Stuart, Florida 34994  
(772) 221-8221

## CERTIFICATE OF OWNERSHIP

For: Town of Sewall's Point

I HEREBY CERTIFY that **NICHOLAS A. FERRARO**, whose address is 10 Middle Road, Stuart, Florida 34996, is the apparent title holder of the parcel of land being described as:

**Lot 50, HIGH POINT SUBDIVISION, according to the map or plat thereof as recorded in Plat Book 3, Page 108, Public Records of Martin County, Florida.**

DATED this 31<sup>st</sup> day of December, 2013.



CHRISTOPHER J. TWOHEY, ESQ.

*Attorney for Applicant*

CHRISTOPHER J. TWOHEY, P.A.

844 SE Ocean Blvd., Suite A

Stuart, Florida 34994

(772) 221-8221


## CERTIFICATE OF OWNERSHIP

For: Town of Sewall's Point

I HEREBY CERTIFY that **TODD A. RESNICK** and **MARY H. RESNICK**, whose address is 27 Lantana Lane, Stuart, Florida 34996, is the apparent title holder of the parcel of land being described as:

**The North 50' of Lot 47 and all of Lot 48, HIGH POINT SUBDIVISION, according to the map or plat thereof as recorded in Plat Book 3, Page 108, Public Records of Martin County, Florida.**

DATED this 31<sup>st</sup> day of December, 2013.

  
CHRISTOPHER J. TWOHEY, ESQ.  
*Attorney for Applicant*  
CHRISTOPHER J. TWOHEY, P.A.  
844 SE Ocean Blvd., Suite A  
Stuart, Florida 34994  
(772) 221-8221

## CERTIFICATE OF OWNERSHIP

For: Town of Sewall's Point

I HEREBY CERTIFY that **JOHN E. TRANTER**, whose address is 9 Middle Road, Stuart, Florida 34996, is the apparent title holder of the parcel of land being described as:

**Lot 36, HIGH POINT SUBDIVISION, according to the map or plat thereof as recorded in Plat Book 3, Page 108, Public Records of Martin County, Florida.**

DATED this 31<sup>st</sup> day of December, 2013.



CHRISTOPHER J. TWOHEY, ESQ.  
*Attorney for Applicant*  
CHRISTOPHER J. TWOHEY, P.A.  
844 SE Ocean Blvd., Suite A  
Stuart, Florida 34994  
(772) 221-8221

## CERTIFICATE OF OWNERSHIP

For: Town of Sewall's Point

I HEREBY CERTIFY that **UTE INGEBORG WINZURK**, as Trustee, whose address is 11 Middle Road, Stuart, Florida 34996, is the apparent title holder of the parcel of land being described as:

**Lot 37, HIGH POINT SUBDIVISION, according to the map or plat thereof as recorded in Plat Book 3, Page 108, Public Records of Martin County, Florida.**

DATED this 31<sup>st</sup> day of December, 2013.



CHRISTOPHER J. TWOHEY, ESQ.  
*Attorney for Applicant*  
CHRISTOPHER J. TWOHEY, P.A.  
844 SE Ocean Blvd., Suite A  
Stuart, Florida 34994  
(772) 221-8221

## CERTIFICATE OF OWNERSHIP

For: Town of Sewall's Point

I HEREBY CERTIFY that **JOHN S. MASSAD, SR**, as Trustee, whose address is 403 Somerset Avenue, Richmond, VA 23226, is the apparent title holder of the parcel of land being described as:

**Lots 58 and 59, HIGH POINT SUBDIVISION, according to the map or plat thereof as recorded in Plat Book 3, Page 108, Public Records of Martin County, Florida.**

DATED this 31<sup>st</sup> day of December, 2013.



CHRISTOPHER J. TWOHEY, ESQ.  
*Attorney for Applicant*  
CHRISTOPHER J. TWOHEY, P.A.  
844 SE Ocean Blvd., Suite A  
Stuart, Florida 34994  
(772) 221-8221

**CHRISTOPHER J. TWOHEY, P.A.**  
ATTORNEY AT LAW

844 SE Ocean Blvd., Suite A, Stuart, FL 34994

Christopher J. Twohey, Esq.

Telephone: (772) 221-8221  
Facsimile: (772) 221-8225

December 12, 2013

**VIA CERTIFIED MAIL**

Ute Ingeborg Winzurk  
11 Middle Road  
Stuart, Florida 34996

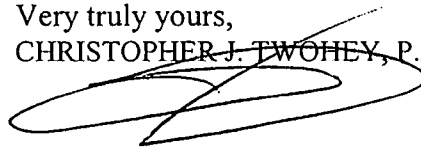
**RE: TOWN OF SEWALL'S POINT ADMINISTRATIVE VARIANCE APPLICATION  
PROPERTY OWNER: RUTH P. SADLER  
PROPERTY ADDRESS: 12 MIDDLE ROAD, STUART, FLORIDA 34996**

Dear Ute:

I represent Ruth Sadler who owns 12 Middle Road. It was recently discovered that the Southeast corner of the pool deck encroaches into the 25' rear setback by 0.7' or 8.4 inches. A copy of the survey is enclosed. I am requesting an administrative variance from the Town of Sewall's Point on behalf of Ruth Sadler and the Town requires either a letter of No Objection from the adjacent property owners or proof of written notification. I request that you execute the enclosed Letter of No Objection for filing with the Application.

If you have no objection, please execute the enclosed letter in front of a Notary Public and return it to me in the enclosed self-addressed, stamped envelope. If you would like, you are more than welcome to stop by our office to execute the letter. If you have an objection, you must file same with the Town Clerk of Sewall's Point within fifteen (15) days of the date that this notice was mailed. If you have any questions or comments, or wish to discuss the Application, do not hesitate to give me a call. Thank you.

Very truly yours,  
CHRISTOPHER J. TWOHEY, P.A.



Christopher J. Twohey, Esq.

CJT/jsm

Enclosure

cc: Ruth Sadler

Town of Sewall's Point

F:\WPDOCS\CJT\aa.VARIANCESEWALLS.PTADMIN.VAR\Sadler\winzurk.ltr.wpd

**ADMINISTRATION VARIANCE LETTER OF NO OBJECTION**

Building Official  
The Town of Sewall's Point  
1 S. Sewall's Point Road  
Sewall's Point, Florida 34996

**RE: APPLICATION FOR AN ADMINISTRATIVE VARIANCE  
PURSUANT TO SECTION 82-141 TOWN OF SEWALL'S POINT  
CODE OF ORDINANCES  
FILED BY: RUTH P. SADLER  
LOCATED AT: 12 MIDDLE ROAD, STUART, FLORIDA 34996**

Dear Building Official:

I/We have reviewed the Administrative Variance Application filed with the Town of Sewall's Point. I am an adjacent property owner to the Property which is subject to the Administrative Variance. I have no objection to the Town Building Official granting the Administrative Variance request.

Sincerely yours,

Date: 12/17/13

Ute Ingeborg Winzork  
**UTE INGEBORG WINZURK**  
11 Middle Road, Stuart, Florida 34996

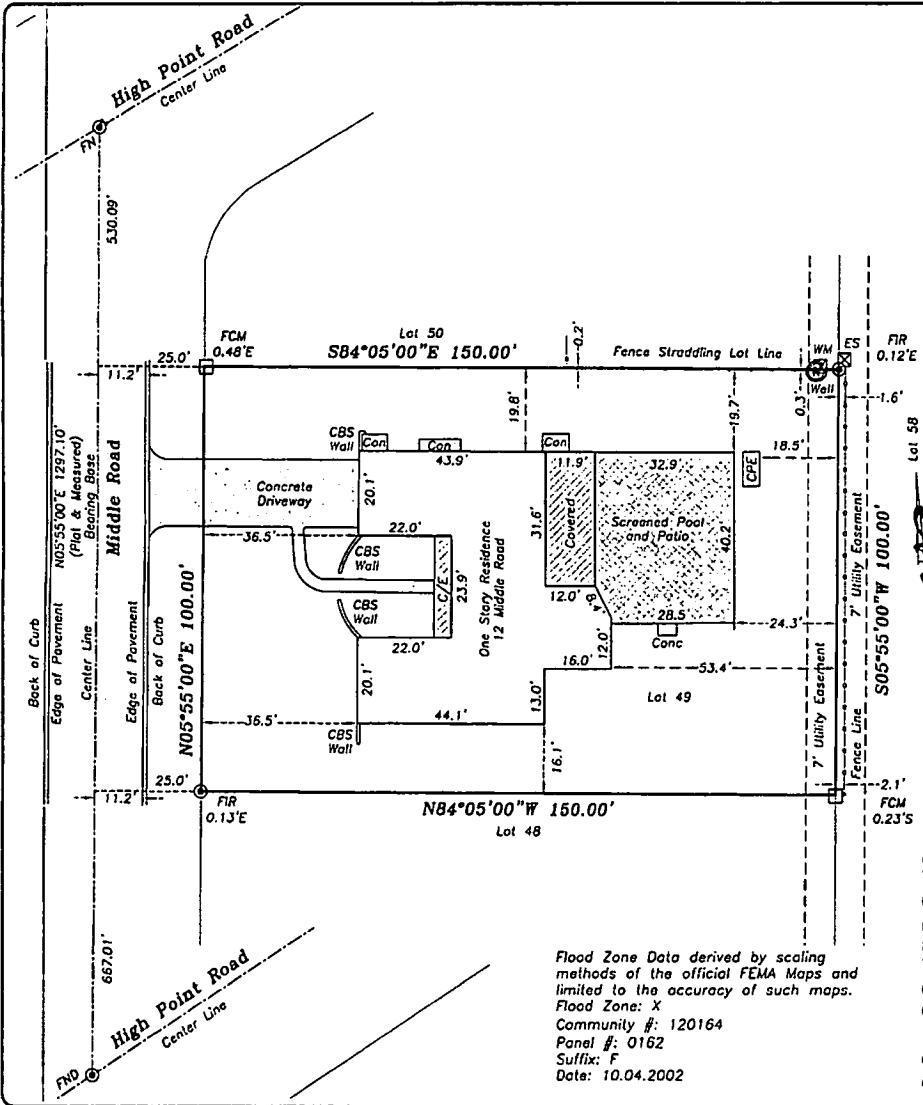
STATE OF Florida  
COUNTY OF Martin

Sworn to and subscribed before me this 17<sup>th</sup> day of December, 2013, by **UTE INGEBORG WINZURK**, who is/are personally known to me or who has/have produced FL Drivers License, as identification.

Melissa Marie Knox  
Printed Name: Melissa Marie Knox  
Notary Public - State of Florida







Flood Zone Data derived by scaling methods of the official FEMA Maps and limited to the accuracy of such maps.  
 Flood Zone: X  
 Community #: 120164  
 Panel #: 0162  
 Suffix: F  
 Date: 10.04.2002

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**PREPARED FOR:**

Theodore Markus and Carol C. Markus.  
 Gary M. Marozi of Town and Country Mortgage Lenders, Inc. it's successors and/or assigns, as their interest may appear.  
 Town of Sewalls Point  
 Old Republic National Title Insurance Company  
 Christopher J. Twohey, P.A.

Prepared By: Regina C. Karner, PSM#4363  
 Karner Surveying, Inc. LB#7357

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- FIP - Found 1" Iron Pipe
- FIP - Found 1" Iron Pipe with Cap
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- FIRC - Found #5 Iron Rod with Cap "LS3343"
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- (D) - Dead
- (M) - Measured
- (P) - Plat

**LEGEND**

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- CBS - Concrete Block Structure
- CMP - Corrugated Metal Pipe
- CPE - Concrete Pad with Pool Equipment
- CTV - Cable TV Box
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- AP - Power Pole
- TCB - Telephone Communications Box
- SBB - Southern Bell Box
- SL - Street Light
- SSMH - Sanitary Sewer Manhole
- UB - Utility Box
- WM - Water Meter

Prepared For:  
**Mr. and Mrs. Markus**  
 Martin County Florida

**KARNER SURVEYING, INC.**  
 Residential & Commercial Surveying Services  
 2740 SW Martin Downs Blvd. #333  
 Palm City, Florida 34980  
 PHONE: 1-772-288 7206 FAX: 1-772-223 8181

Date	Revision Description
12.7.13	Ad and/or change Lender, Underwriter
12.10.13	Add Town of Sewalls Point

Sheet Title		Sheet No.
BOUNDARY SURVEY		1 of 1
Scale: 1"=30'	Date: 12-5-13	File No.
Drawn By: CADJ	Auto Cad: 1402.3	
Job No.: 1312-03	CADD File:	

Proj: High Point 49

**Martin County, Florida  
Laurel Kelly, C.F.A**
*generated on 12/11/2013 10:53:36 AM EST*
**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-002-000-00370-7	27725	11 MIDDLE RD, SEWALL'S POINT	\$284,710	12/7/2013

---

**Owner Information**

<b>Owner(Current)</b>	WINZURK UTE INGEBORG (TR)
<b>Owner/Mail Address</b>	11 MIDDLE RD STUART FL 34996
<b>Sale Date</b>	6/6/2008
<b>Document Book/Page</b>	2332 2685
<b>Document No.</b>	2088469
<b>Sale Price</b>	0

---

**Location/Description**

<b>Account #</b>	27725	<b>Map Page No.</b>	SP-06
<b>Tax District</b>	2200	<b>Legal Description</b>	HIGH POINT LOT 37 OR 342/2303
<b>Parcel Address</b>	11 MIDDLE RD, SEWALL'S POINT		
<b>Acres</b>	.3440		

---

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120000 HighPoint - Sewall's Point

---

**Assessment Information**

<b>Market Land Value</b>	\$180,000
<b>Market Improvement Value</b>	\$104,710
<b>Market Total Value</b>	\$284,710

**CHRISTOPHER J. TWOHEY, P.A.**  
ATTORNEY AT LAW

844 SE Ocean Blvd., Suite A, Stuart, FL 34994

Christopher J. Twohey, Esq.

Telephone: (772) 221-8221  
Facsimile: (772) 221-8225

December 12, 2013

**VIA CERTIFIED MAIL**

Todd and Mary Resnick  
27 Lantana Lane  
Stuart, Florida 34996

**RE: TOWN OF SEWALL'S POINT ADMINISTRATIVE VARIANCE APPLICATION  
PROPERTY OWNER: RUTH P. SADLER  
PROPERTY ADDRESS: 12 MIDDLE ROAD, STUART, FLORIDA 34996**

Dear Mr. & Mrs. Resnick:

I represent Ruth Sadler who own 12 Middle Road. It was recently discovered that the Southeast corner of the pool deck encroaches into the 25' rear setback by 0.7' or 8.4 inches. A copy of the survey is enclosed. I am requesting an administrative variance from the Town of Sewall's Point on behalf of Ruth Sadler and the Town requires either a letter of No Objection from the adjacent property owners or proof of written notification. I request that you execute the enclosed Letter of No Objection for filing with the Application.

If you have no objection, please execute the enclosed letter in front of a Notary Public and return it to me in the enclosed self-addressed, stamped envelope. If you would like, you are more than welcome to stop by our office to execute the letter. If you have an objection, you must file same with the Town Clerk of Sewall's Point within fifteen (15) days of the date that this notice was mailed. If you have any questions or comments, or wish to discuss the Application, do not hesitate to give me a call. Thank you.

Very truly yours,  
CHRISTOPHER J. TWOHEY, P.A.



Christopher J. Twohey, Esq.

CJT/jsm

Enclosure

cc: Ruth Sadler

Town of Sewall's Point

F:\WPDOCS\CJT\aa.VARIANCESEWALLS.PTADMIN.VAR\Sadler\resnick.ltr.vpd

**ADMINISTRATION VARIANCE LETTER OF NO OBJECTION**

Building Official  
The Town of Sewall's Point  
1 S. Sewall's Point Road  
Sewall's Point, Florida 34996

**RE: APPLICATION FOR AN ADMINISTRATIVE VARIANCE  
PURSUANT TO SECTION 82-141 TOWN OF SEWALL'S POINT  
CODE OF ORDINANCES  
FILED BY: RUTH P. SADLER  
LOCATED AT: 12 MIDDLE ROAD, STUART, FLORIDA 34996**

Dear Building Official:

I/We have reviewed the Administrative Variance Application filed with the Town of Sewall's Point. I am an adjacent property owner to the Property which is subject to the Administrative Variance. I have no objection to the Town Building Official granting the Administrative Variance request.

Sincerely yours,

Date: \_\_\_\_\_

\_\_\_\_\_  
**TODD A. RESNICK**  
27 Lantana Lane, Stuart, Florida 34996

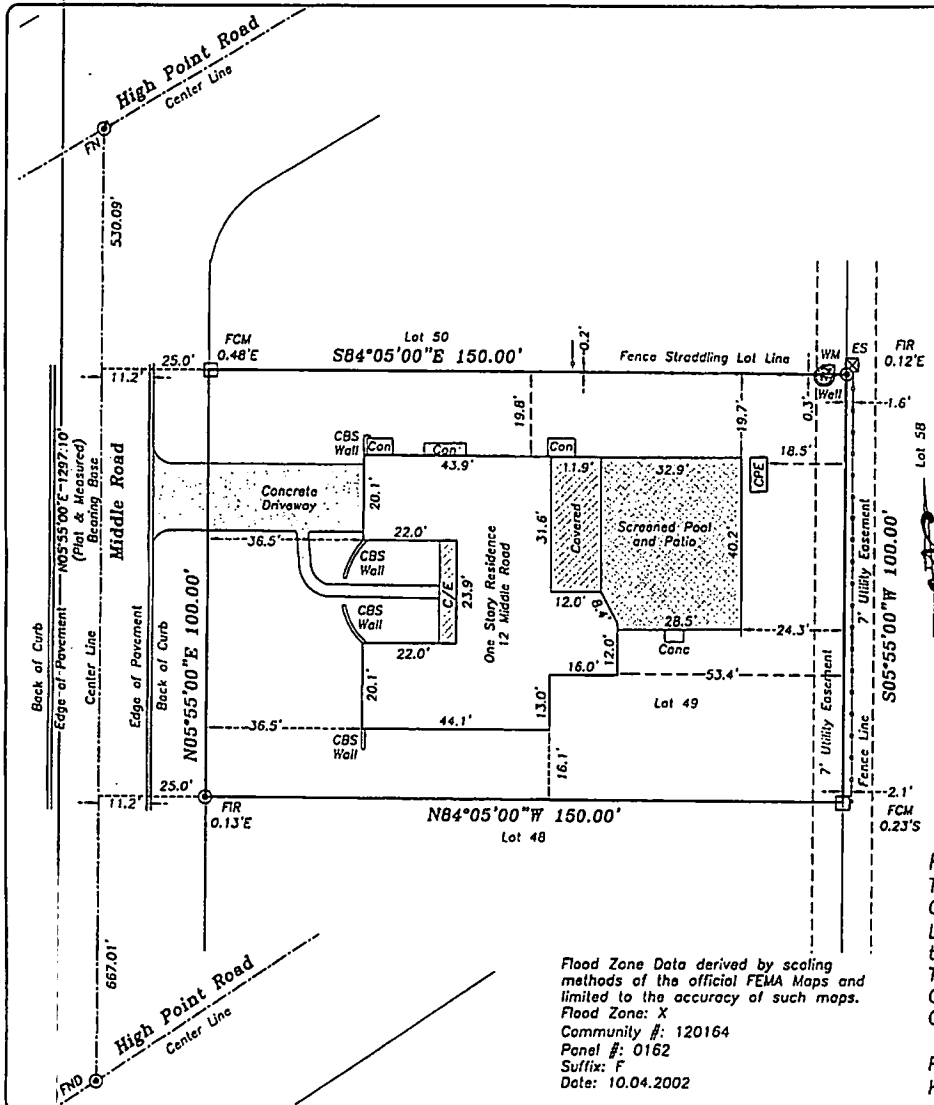
Date: \_\_\_\_\_

\_\_\_\_\_  
**MARY H. RESNICK**  
27 Lantana Lane, Stuart, Florida 34996

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_ day of \_\_\_\_\_, 2013, by **TODD A. RESNICK and MARY H. RESNICK**, who is/are personally known to me or who has/have produced \_\_\_\_\_, as identification.

\_\_\_\_\_  
Printed Name: \_\_\_\_\_  
Notary Public - State of \_\_\_\_\_



**LEGAL DESCRIPTION**  
 Lot 49, HIGH POINT, according to the Plat thereof, as recorded in plat Book 3, Page 108, Public Records of Martin County, Florida

**SURVEYOR'S REPORT**

- 1 This Survey shall not be valid unless sealed with an embossed Surveyor's Seal
- 2 No underground improvements have been located as part of this Survey.
- 3 The last field date of this Survey was: 12-5-13.
- 4 This Survey was prepared using the Plat of Record only. No other documents were provided and no search of the public records was performed by this office.
- 5 The Survey shown hereon meets the requirement for field accuracy in a suburban area as set forth by the Minimum Technical Standards (5J-17.050-052FAC).
- 6 By acceptance of this survey all parties agree that the signing surveyor's liability is limited to the amount paid for said Survey.
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- 10 The Legal Description shown hereon was provided by the client and/or his/her representatives.
- 11 No ownership of fence lines has been determined as part of this Survey.
- 12 Off set calls to found survey control are relative to the nearest property corner, intersection of lines, point of curvatures (PC), point of reverse curvatures (PRC) or other identifiable point.
- 13 Compliance with local zoning requirements and or with requirements set forth by other State, Public, and/or Private entities has not been verified as part of this Survey.

- FCM - Found 4"x4" Concrete Monument
- FIP - Found 1/2" Iron Pipe
- FIP - Found 1/2" Iron Pipe with Cap
- FIR - Found 1/8" Iron Rod
- FIRC - Found 1/8" Iron Rod with Cap 1S3343
- SIRC - Set 1/8" Iron Rod with Cap 1B7357
- FIPC - Found 1/2" Iron Pipe with Cap
- FM - Found Mag Nail
- FMD - Found Mag Nail with Disk
- FN - Found Nail
- FNIT - Found Nail with Tin Tab
- FPK - Found PK Nail
- FPKD - Found PK Nail with Disk
- FRRS - Found Rail Road Spike
- /CO - In Pavement Cut Out
- PT - Point of Tangency
- (D) - Deed
- (M) - Measured
- (P) - Plat

- LEGEND**
- C/E - Covered Entry
  - CAC - Concrete Pad with Air Conditioning
  - CBS - Concrete Block Structure
  - CMP - Corrugated Metal Pipe
  - CPC - Concrete Pad with Pool Equipment
  - CTV - Cable TV Box
  - ES - Electric Service
  - GV - Water Gate Valve
  - HYD - Fire Hydrant
  - O/L - Overhead Utility Line
  - PP - Power Pole
  - TCB - Telephone Communications Box
  - SBB - Southern Bell Box
  - SL - Street Light
  - SSWH - Sanitary Sewer Manhole
  - UB - Utility Box
  - WM - Water Meter

**PREPARED FOR:**  
 Theodore Markus and Carol C. Markus.  
 Gary M. Marozi of Town and Country Mortgage Lenders, Inc. it's successors and/or assigns, as their interest may appear.  
 Town of Sewalls Point  
 Old Republic National Title Insurance Company  
 Christopher J. Twohey, P.A.

Prepared By: Regina C. Korner, PSM#4363  
 Korner Surveying, Inc. LB#7357

Flood Zone Data derived by scaling methods of the official FEMA Maps and limited to the accuracy of such maps.  
 Flood Zone: X  
 Community #: 120164  
 Panel #: 0162  
 Suffix: F  
 Date: 10.04.2002

Prepared For:  
**Mr. and Mrs. Markus**  
 Martin County Florida

**KARNER SURVEYING, INC.**  
 Residential & Commercial Surveying Services  
 2740 SW Martin Downs Blvd #333  
 Palm City, Florida 34990  
 PHONE: 1-772-288 7206 FAX: 1-772-223 8181

Date	Revision Description
12.7.13	Add and/or change Lender, Underwriter
12.10.13	Add Town of Sewalls Point

Sheet Title: <b>BOUNDARY SURVEY</b>	
Scale: 1"=30'	Date: 12-8-13
Drawn By: CAS	Field Book: 114023
Job No: 1312-05	CADD File:
Sheet No: 1 of 1	File No:

Proj: High Point 49

**Martin County, Florida  
Laurel Kelly, C.F.A**

generated on 12/11/2013 10:51:11 AM EST

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-002-000-00470-6	27735	MIDDLE RD, SEWALL'S POINT	\$213,750	12/7/2013

**Owner Information**

<b>Owner(Current)</b>	RESNICK TODD A & MARY H
<b>Owner/Mail Address</b>	PO BOX 1559 STUART FL 34995
<b>Sale Date</b>	4/24/2009
<b>Document Book/Page</b>	2386 2820
<b>Document No.</b>	2143161
<b>Sale Price</b>	400000

**Location/Description**

<b>Account #</b>	27735	<b>Map Page No.</b>	SP-06
<b>Tax District</b>	2200	<b>Legal Description</b>	HIGH POINT N 50' OF LOT 47 & ALL LOT 48
<b>Parcel Address</b>	MIDDLE RD, SEWALL'S POINT		
<b>Acres</b>	.5150		

**Parcel Type**

<b>Use Code</b>	0000 Vacant Residential
<b>Neighborhood</b>	120000 HighPoint - Sewall's Point

**Assessment Information**

<b>Market Land Value</b>	\$213,750
<b>Market Improvement Value</b>	
<b>Market Total Value</b>	\$213,750

27 Dantana Lane  
Stuart, FL 34990

**CHRISTOPHER J. TWOHEY, P.A.**  
**ATTORNEY AT LAW**

844 SE Ocean Blvd., Suite A, Stuart, FL 34994

Christopher J. Twohey, Esq.

Telephone: (772) 221-8221

Facsimile: (772) 221-8225

December 12, 2013

**VIA CERTIFIED MAIL**

Nicholas A. Ferraro  
10 Middle Road  
Stuart, Florida 34996

**RE: TOWN OF SEWALL'S POINT ADMINISTRATIVE VARIANCE APPLICATION**  
**PROPERTY OWNER: RUTH P. SADLER**  
**PROPERTY ADDRESS: 12 MIDDLE ROAD, STUART, FLORIDA 34996**

Dear Mr. Ferraro:

I represent Ruth Sadler who owns 12 Middle Road. It was recently discovered that the Southeast corner of the pool deck encroaches into the 25' rear setback by 0.7' or 8.4 inches. A copy of the survey is enclosed. I am requesting an administrative variance from the Town of Sewall's Point on behalf of Ruth Sadler and the Town requires either a letter of No Objection from the adjacent property owners or proof of written notification. I request that you execute the enclosed Letter of No Objection for filing with the Application.

If you have no objection, please execute the enclosed letter in front of a Notary Public and return it to me in the enclosed self-addressed, stamped envelope. If you would like, you are more than welcome to stop by our office to execute the letter. If you have an objection, you must file same with the Town Clerk of Sewall's Point within fifteen (15) days of the date that this notice was mailed. If you have any questions or comments, or wish to discuss the Application, do not hesitate to give me a call. Thank you.

Very truly yours,  
CHRISTOPHER J. TWOHEY, P.A.



Christopher J. Twohey, Esq.

CJT/jsm

Enclosure

cc: Ruth Sadler

Town of Sewall's Point

F:\WPDOCS\CJT\aa.VARIANCE\SEWALLS.PT\ADMIN.VAR\Sadlerferraro.ltr.wpd

**ADMINISTRATION VARIANCE LETTER OF NO OBJECTION**

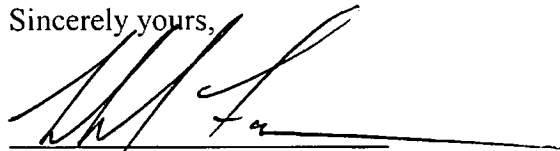
Building Official  
The Town of Sewall's Point  
1 S. Sewall's Point Road  
Sewall's Point, Florida 34996

**RE: APPLICATION FOR AN ADMINISTRATIVE VARIANCE  
PURSUANT TO SECTION 82-141 TOWN OF SEWALL'S POINT  
CODE OF ORDINANCES  
FILED BY: RUTH P. SADLER  
LOCATED AT: 12 MIDDLE ROAD, STUART, FLORIDA 34996**

Dear Building Official:

I/We have reviewed the Administrative Variance Application filed with the Town of Sewall's Point. I am an adjacent property owner to the Property which is subject to the Administrative Variance. I have no objection to the Town Building Official granting the Administrative Variance request.

Sincerely yours,

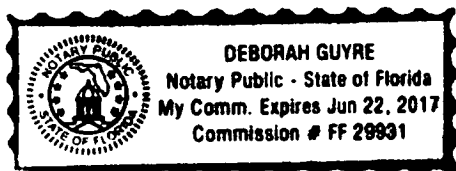


**NICHOLAS A. FERRARO**  
10 Middle Road, Stuart, Florida 34996

Date: 12/19/13

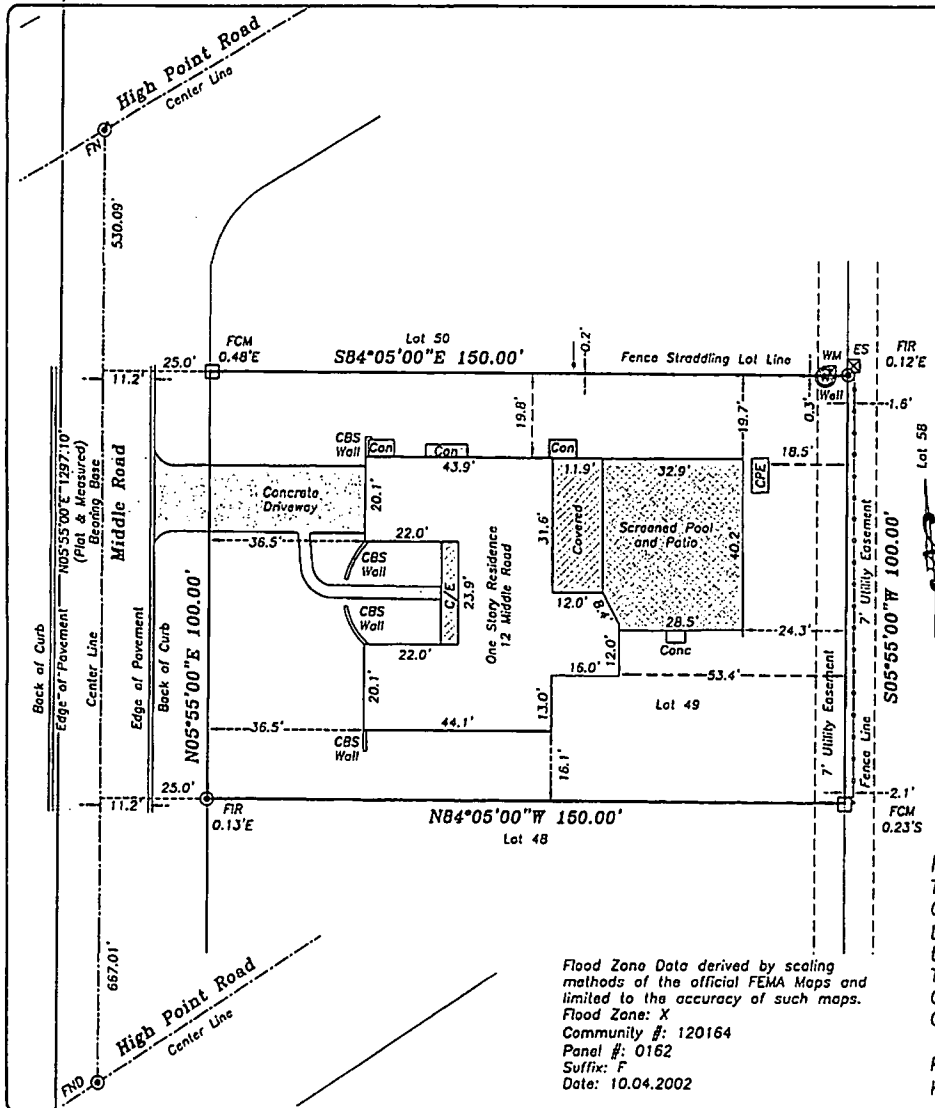
STATE OF FLORIDA  
COUNTY OF Martin

Sworn to and subscribed before me this 19<sup>th</sup> day of December, 2013, by **NICHOLAS A. FERRARO**, who is/are personally known to me or who has/have produced \_\_\_\_\_, as identification.



Deborah Guyre  
Printed Name: Deborah Guyre  
Notary Public - State of Florida





Flood Zone Data derived by scaling methods of the official FEMA Maps and limited to the accuracy of such maps.  
 Flood Zone: X  
 Community #: 120164  
 Panel #: 0162  
 Suffix: F  
 Date: 10.04.2002

**LEGAL DESCRIPTION**

Lot 49, HIGH POINT, according to the Plat thereof, as recorded in plat Book 3, Page 108, Public Records of Martin County, Florida

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- FRRS - Found Rail Road Spike
- /CO - In Pavement Cut Out
- PT - Point of Tangency
- (M) - Measured
- (P) - Plat

**LEGEND**

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- PP - Power Pole
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- SSWH - Sanitary Sewer Manhole
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- WM - Water Meter

**PREPARED FOR:**

Theodore Markus and Carol C. Markus.  
 Gary M. Marazi of Town and Country Mortgage Lenders, Inc. it's successors and/or assigns, as their interest may appear.  
 Town of Sewalls Point  
 Old Republic National Title Insurance Company  
 Christopher J. Twohey, P.A.

Prepared By: Regina C. Karner, PSM#4363  
 Karner Surveying, Inc. LB#7357

Prepared For:

Mr. and Mrs. Markus

Martin County

Florida

**KARNER SURVEYING, INC.**

Residential & Commercial Surveying Services

2740 SW Martin Downs Blvd #333  
 Palm City, Florida 34990

PHONE: 1-772-288 7206 FAX: 1-772-223 8181



Date	Revision Description
12.7.13	Ad and/or Change Lender, Underwriter
12.10.13	Add Town of Sewalls Point

Sheet Title	
BOUNDARY SURVEY	
Scale: 1"=30'	Date: 12-8-13
Drawn by: CAD	Plot Book: 1402.3
Job No: 1312-05	CADD File:
Sheet No: 1 of 1	File No:

Proj: High Point 49

**Martin County, Florida  
Laurel Kelly, C.F.A**

generated on 12/11/2013 10:50:50 AM EST

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-002-000-00500-0	27737	10 MIDDLE RD, SEWALL'S POINT	\$256,500	12/7/2013

**Owner Information**

<b>Owner(Current)</b>	FERRARO NICHOLAS A
<b>Owner/Mail Address</b>	10 MIDDLE RD STUART FL 34996
<b>Sale Date</b>	4/26/2010
<b>Document Book/Page</b>	2451 0481
<b>Document No.</b>	2207320
<b>Sale Price</b>	339000

**Location/Description**

<b>Account #</b>	27737	<b>Map Page No.</b>	SP-06
<b>Tax District</b>	2200	<b>Legal Description</b>	HIGH POINT <b>LOT 50</b>
<b>Parcel Address</b>	10 MIDDLE RD, SEWALL'S POINT		
<b>Acres</b>	.3430		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120000 HighPoint - Sewall's Point

**Assessment Information**

<b>Market Land Value</b>	\$180,000
<b>Market Improvement Value</b>	\$76,500
<b>Market Total Value</b>	\$256,500

CHRISTOPHER J. TWOHEY, P.A.  
ATTORNEY AT LAW

844 SE Ocean Blvd., Suite A, Stuart, FL 34994

Christopher J. Twohey, Esq.

Telephone: (772) 221-8221

Facsimile: (772) 221-8225

December 12, 2013

**VIA CERTIFIED MAIL**

John E. Tranter  
9 Middle Road  
Stuart, Florida 34996

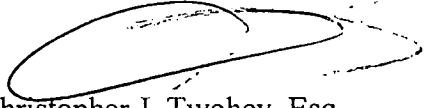
**RE: TOWN OF SEWALL'S POINT ADMINISTRATIVE VARIANCE APPLICATION  
PROPERTY OWNER: RUTH P. SADLER  
PROPERTY ADDRESS: 12 MIDDLE ROAD, STUART, FLORIDA 34996**

Dear Mr. Tranter:

I represent Ruth Sadler who owns 12 Middle Road. It was recently discovered that the Southeast corner of the pool deck encroaches into the 25' rear setback by 0.7' or 8.4 inches. A copy of the survey is enclosed. I am requesting an administrative variance from the Town of Sewall's Point on behalf of Ruth Sadler and the Town requires either a letter of No Objection from the adjacent property owners or proof of written notification. I request that you execute the enclosed Letter of No Objection for filing with the Application.

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Very truly yours,  
CHRISTOPHER J. TWOHEY, P.A.

  
Christopher J. Twohey, Esq.

CJT/jsm

Enclosure

cc: Ruth Sadler

Town of Sewall's Point

FAWPDOCS\CJT\aa.VARIANCE\SEWALLS.PT\ADMIN.VAR\Sadler\tranter.ltr.vpd

**ADMINISTRATION VARIANCE LETTER OF NO OBJECTION**

Building Official  
The Town of Sewall's Point  
1 S. Sewall's Point Road  
Sewall's Point, Florida 34996

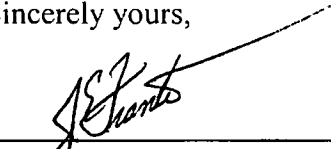
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PURSUANT TO SECTION 82-141 TOWN OF SEWALL'S POINT  
CODE OF ORDINANCES  
FILED BY: RUTH P. SADLER  
LOCATED AT: 12 MIDDLE ROAD, STUART, FLORIDA 34996**

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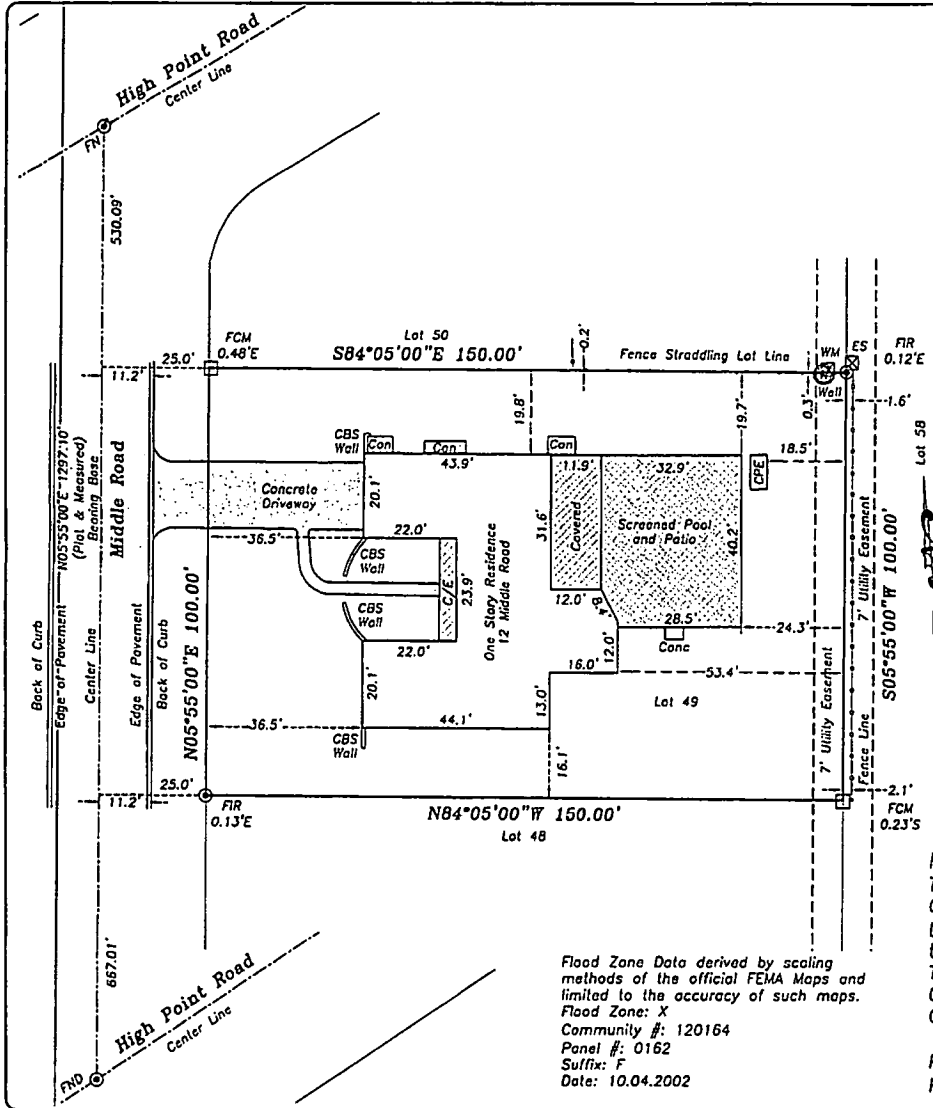
Date: 12/12/13

  
\_\_\_\_\_  
**JOHN E. TRANTER**  
9 Middle Road, Stuart, Florida 34996

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 2013, by **JOHN E. TRANTER**, who is/are personally known to me or who has/have produced \_\_\_\_\_, as identification.

\_\_\_\_\_  
Printed Name: \_\_\_\_\_  
Notary Public - State of \_\_\_\_\_



Flood Zone Data derived by scaling methods of the official FEMA Maps and limited to the accuracy of such maps.  
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 Community #: 120164  
 Panel #: 0162  
 Suffix: F  
 Date: 10.04.2002

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- FPC - Found 1" Iron Pipe with Cap
- FIR - Found 1/2" Iron Rod
- FRC - Found #5 Iron Rod with Cap 'LS3343'
- SRC - Set #5 Iron Rod with Cap 'LB77337'
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- LEGEND**
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  - CAC - Concrete Pad with Air Conditioning
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  - CMP - Corrugated Metal Pipe
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  - TCB - Telephone Communications Box
  - SEB - Southern Bell Box
  - SL - Street Light
  - SSMH - Sanitary Sewer Manhole
  - UB - Utility Box
  - WM - Water Meter

**PREPARED FOR:**

Theodore Markus and Carol C. Markus.  
 Gary M. Marozi of Town and Country Mortgage Lenders, Inc. it's successors and/or assigns, as their interest may appear.  
 Town of Sewalls Point  
 Old Republic National Title Insurance Company  
 Christopher J. Twohey, P.A.

Prepared By: Regina C. Karner, PSM#4363  
 Karner Surveying, Inc. LB#7357

Prepared For:

Mr. and Mrs. Markus

Martin County

Florida

**KARNER SURVEYING, INC.**

Residential & Commercial Surveying Services

2740 SW Martin Downs Blvd, #333  
 Palm City, Florida 34980

PHONE: 1-772-288 7206 FAX: 1-772-223 8181



Date	Revision Description
12.7.13	Ad and/or change Lender, Underwriter
12.10.18	Add Town of Sewalls Point

Sheet Title: **BOUNDARY SURVEY**

Scale: 1"=30'	Date: 12-8-13	Sheet No: 1 of 1
Drawn By: CADJ	Date: 1402-3	File No:
Job No: 1312-05	CADD File:	

Proj: High Point 49

**Martin County, Florida  
Laurel Kelly, C.F.A**
*generated on 12/11/2013 10:53:15 AM EST*
**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-002-000-00360-9	27724	9 MIDDLE RD, SEWALL'S POINT	\$342,150	12/7/2013

**Owner Information**

Owner(Current)	TRANTER JOHN E
Owner/Mail Address	9 MIDDLE RD STUART FL 34996
Sale Date	12/8/2010
Document Book/Page	2492 2091
Document No.	2250351
Sale Price	100

**Location/Description**

Account #	27724	Map Page No.	SP-06
Tax District	2200	Legal Description	HIGH POINT <del>LOT 36</del>
Parcel Address	9 MIDDLE RD, SEWALL'S POINT		
Acres	.3440		

**Parcel Type**

Use Code	0100 Single Family
Neighborhood	120000 HighPoint - Sewall's Point

**Assessment Information**

Market Land Value	\$180,000
Market Improvement Value	\$162,150
Market Total Value	\$342,150

**CHRISTOPHER J. TWOHEY, P.A.**  
ATTORNEY AT LAW

844 SE Ocean Blvd., Suite A, Stuart, FL 34994

Christopher J. Twohey, Esq.

Telephone: (772) 221-8221  
Facsimile: (772) 221-8225

December 12, 2013

**VIA CERTIFIED MAIL**

John S. Massad, Sr  
403 Somerset Avenue  
Richmond, VA 23226

**RE: TOWN OF SEWALL'S POINT ADMINISTRATIVE VARIANCE APPLICATION  
PROPERTY OWNER: RUTH P. SADLER  
PROPERTY ADDRESS: 12 MIDDLE ROAD, STUART, FLORIDA 34996**

Dear Mr. Massad:

I represent Ruth Sadler who owns 12 Middle Road. It was recently discovered that the Southeast corner of the pool deck encroaches into the 25' rear setback by 0.7' or 8.4 inches. A copy of the survey is enclosed. I am requesting an administrative variance from the Town of Sewall's Point on behalf of Ruth Sadler and the Town requires either a letter of No Objection from the adjacent property owners or proof of written notification. I request that you execute the enclosed Letter of No Objection for filing with the Application.

If you have no objection, please execute the enclosed letter in front of a Notary Public and return it to me in the enclosed self-addressed, stamped envelope. If you would like, you are more than welcome to stop by our office to execute the letter. If you have an objection, you must file same with the Town Clerk of Sewall's Point within fifteen (15) days of the date that this notice was mailed. If you have any questions or comments, or wish to discuss the Application, do not hesitate to give me a call. Thank you.

Very truly yours,  
CHRISTOPHER J. TWOHEY, P.A.



Christopher J. Twohey, Esq.

CJT/jsm

Enclosure

cc: Ruth Sadler

Town of Sewall's Point

F:\WPDOCS\CJT\aa.VARIANCESEWALLS.PT\ADMIN.VAR\Sadlerferraro.ltr.vpd

**ADMINISTRATION VARIANCE LETTER OF NO OBJECTION**

Building Official  
The Town of Sewall's Point  
1 S. Sewall's Point Road  
Sewall's Point, Florida 34996

**RE: APPLICATION FOR AN ADMINISTRATIVE VARIANCE  
PURSUANT TO SECTION 82-141 TOWN OF SEWALL'S POINT  
CODE OF ORDINANCES  
FILED BY: RUTH P. SADLER  
LOCATED AT: 12 MIDDLE ROAD, STUART, FLORIDA 34996**

Dear Building Official:

I/We have reviewed the Administrative Variance Application filed with the Town of Sewall's Point. I am an adjacent property owner to the Property which is subject to the Administrative Variance. I have no objection to the Town Building Official granting the Administrative Variance request.

Sincerely yours,

Date: \_\_\_\_\_

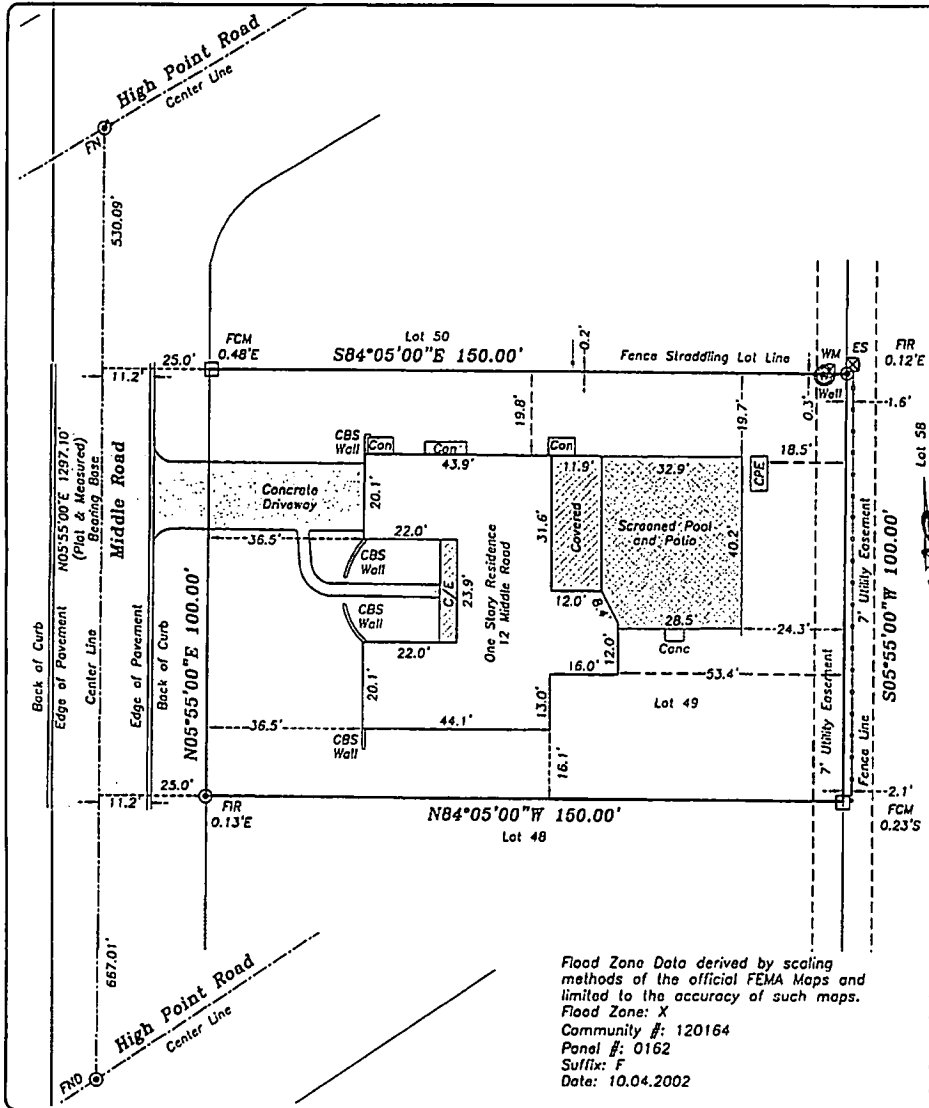
\_\_\_\_\_  
**JOHN S. MASSAD, SR**  
403 Somerset Avenue, Richmond, VA 23226

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_ day of \_\_\_\_\_, 2013, by **JOHN S. MASSAD, SR.**, who is/are personally known to me or who has/have produced \_\_\_\_\_, as identification.

\_\_\_\_\_  
Printed Name: \_\_\_\_\_  
Notary Public - State of \_\_\_\_\_





Flood Zone Data derived by scaling methods of the official FEMA Maps and limited to the accuracy of such maps.  
 Flood Zone: X  
 Community #: 120164  
 Panel #: 0162  
 Suffix: F  
 Date: 10.04.2002

**LEGAL DESCRIPTION**  
 Lot 49, HIGH POINT, according to the Plat thereof, as recorded in plat Book 3, Page 108, Public Records of Martin County, Florida

- SURVEYOR'S REPORT**
- 1 This Survey shall not be valid unless sealed with an embossed Surveyor's Seal
  - 2 No underground improvements have been located as part of this Survey.
  - 3 The last field date of this Survey was: 12-5-13.
  - 4 This Survey was prepared using the Plat of Record only. No other documents were provided and no search of the public records was performed by this office.
  - 5 The Survey shown hereon meets the requirement for field accuracy in a suburban area as set forth by the Minimum Technical Standards (5J-17.050-052FAC).
  - 6 By acceptance of this survey all parties agree that the signing surveyor's liability is limited to the amount paid for said Survey.
  - 7 Unless other wise noted all bearing and distances are in accordance with the record plat and have been verified by field measurements. See map for bearing base.
  - 8 Parcel/Lot line locations have been based on found survey control along the center line of Middle Road
  - 9 LEFT BLANK.
  - 10 The Legal Description shown hereon was provided by the client and/or his/her representatives.
  - 11 No ownership of fence lines has been determined as part of this Survey.
  - 12 Off set calls to found survey control are relative to the nearest property corner, intersection of lines, point of curvatures (PC), point of reverse curvatures (PRC) or other identifiable point.
  - 13 Compliance with local zoning requirements and or with requirements set forth by other State, Public, and/or Private entities has not been verified as part of this Survey.

- FCM - Found 4"x4" Concrete Monument
- FIP - Found 1/2" Iron Pipe
- FIPC - Found 1/2" Iron Pipe with Cap
- FIR - Found #5 Iron Rod
- FIRC - Found #5 Iron Rod with Cap 75334J
- SIRC - Set #5 Iron Rod with Cap LB77357
- FPC - Found 1/2" Iron Pipe with Cap
- FM - Found Mag Nail
- FUD - Found Mag Nail with Disk
- FN - Found Nail
- FNIT - Found Nail with Tin Tab
- FPK - Found PK Nail
- FPKD - Found PK Nail with Disk
- FRS - Found Rod Road Spike
- ICD - In Pavement Cut Out
- PT - Point of Tangency
- (D) - Deed
- (M) - Measured
- (P) - Plat

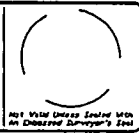
- LEGEND**
- C/E - Covered Entry
  - CAC - Concrete Pad with Air Conditioning
  - CBS - Concrete Block Structure
  - CMP - Corrugated Metal Pipe
  - CPE - Concrete Pad with Pool Equipment
  - (D) - Deed
  - CIV - Cable TV Box
  - ES - Electric Service
  - CV - Water Gate Valve
  - HYD - Fire Hydrant
  - O/L - Overhead Utility Line
  - PP - Power Pole
  - TGB - Telephone Communications Box
  - SBB - Southern Bell Box
  - SL - Street Light
  - SSMH - Sanitary Sewer Manhole
  - UB - Utility Box
  - WM - Water Meter

**PREPARED FOR:**  
 Theodore Markus and Carol C. Markus.  
 Gary M. Marozi of Town and Country Mortgage Lenders, Inc. it's successors and/or assigns, was their interest may appear.  
 Town of Sewalls Point  
 Old Republic National Title Insurance Company  
 Christopher J. Twohey, P.A.

Prepared By: Regina C. Karner, PSM#4363  
 Karner Surveying, Inc. LB#7357

Prepared For:  
**Mr. and Mrs. Markus**  
 Martin County Florida

**KARNER SURVEYING, INC.**  
 Residential & Commercial Surveying Services  
 2740 SW Martin Downs Blvd #333  
 Palm City, Florida 34990  
 PHONE: 1-772-288 7206 FAX: 1-772-223 8181



Date	Revisions Describe Here
12.7.13	Add and/or change Lender, Underwriter
12.10.15	Add Town of Sewalls Point

Sheet Title		Sheet No.	
<b>BOUNDARY SURVEY</b>		1 of 1	
Scale: 1"=30'	Drawn By: Field Book		

**Martin County, Florida  
Laurel Kelly, C.F.A**

generated on 12/11/2013 10:52:46 AM EST

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-002-000-00580-3	27745	17 E HIGH POINT RD, SEWALL'S POINT	\$372,740	12/7/2013

**Owner Information**

<b>Owner(Current)</b>	MASSAD JOHN S SR TR
<b>Owner/Mail Address</b>	403 SOMERSET AVE RICHMOND VA 23226
<b>Sale Date</b>	8/21/2013
<b>Document Book/Page</b>	2673 2779
<b>Document No.</b>	2414290
<b>Sale Price</b>	100

**Location/Description**

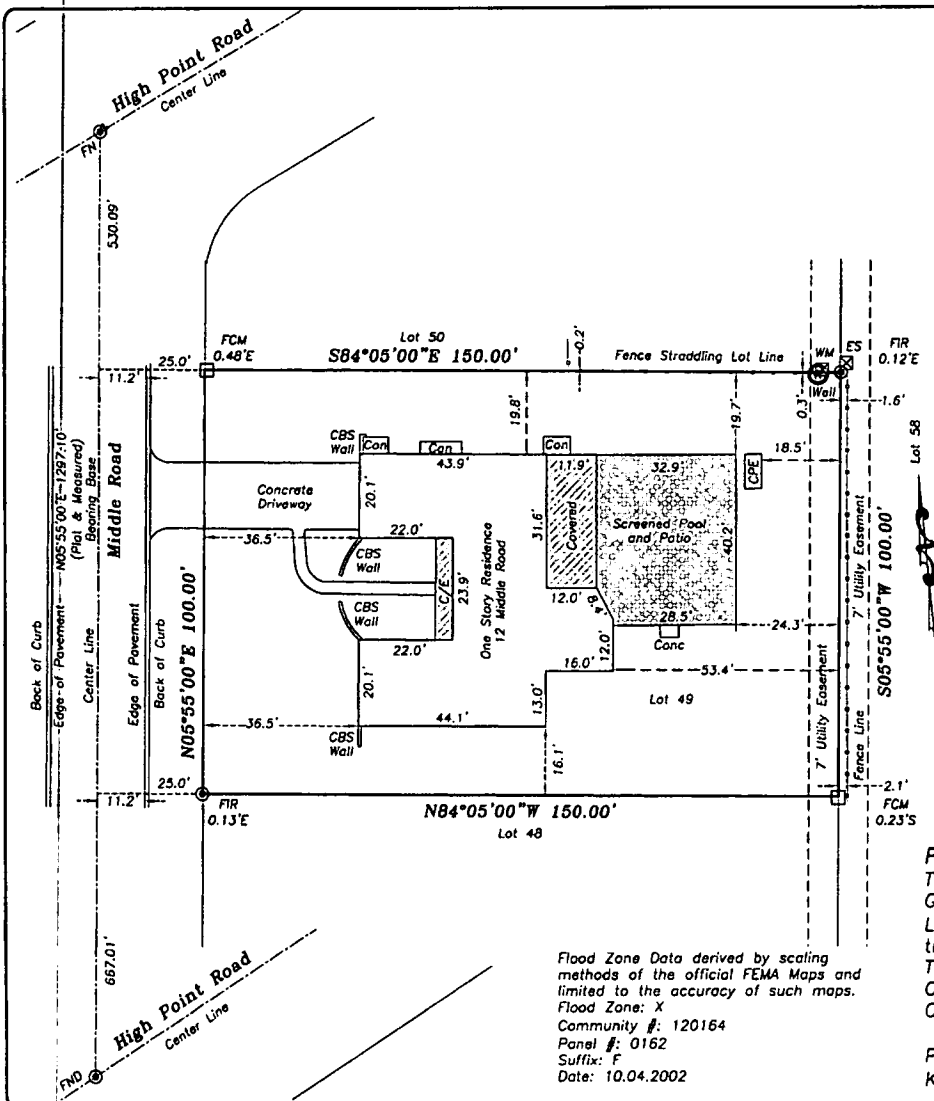
<b>Account #</b>	27745	<b>Map Page No.</b>	SP-06
<b>Tax District</b>	2200	<b>Legal Description</b>	HIGH POINT LOTS 58 & 59
<b>Parcel Address</b>	17 E HIGH POINT RD, SEWALL'S POINT		
<b>Acres</b>	.8010		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120000 HighPoint - Sewall's Point

**Assessment Information**

<b>Market Land Value</b>	\$270,000
<b>Market Improvement Value</b>	\$102,740
<b>Market Total Value</b>	\$372,740



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- FIPC - Found 1" Iron Pipe with Cap
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- FIRC - Found #5 Iron Rod with Cap "LS3343"
- SIRC - Set #5 Iron Rod with Cap "LB#7357"
- FIPC - Found 1/2" Iron Pipe with Cap
- FIM - Found Mag Nail
- FMD - Found Mag Nail with Disk
- FN - Found Nail
- FNTT - Found Nail with Tin Tab
- FPK - Found PK Nail
- FPKD - Found PK Nail with Disk
- FRRS - Found Rail Road Spike
- /CO - In Pavement Cut Out
- PT - Point of Tangency
- (D) - Dead
- (M) - Measured
- (P) - Plat

- LEGEND**
- C/E - Covered Entry
  - CAC - Concrete Pad with Air Conditioning
  - CBS - Concrete Block Structure
  - CO - In Pavement Cut Out
  - CMP - Corrugated Metal Pipe
  - CPE - Concrete Pad with Pool Equipment
  - CTV - Cable TV Box
  - ES - Electric Service
  - GV - Water Gate Valve
  - HYD - Fire Hydrant
  - O/L - Overhead Utility Line
  - PP - Power Pole
  - TCS - Telephone Communications Box
  - SBB - Southern Bell Box
  - SL - Street Light
  - SSMH - Sanitary Sewer Manhole
  - UB - Utility Box
  - WM - Water Meter

**PREPARED FOR:**

Theodore Markus and Carol C. Markus.  
 Gary M. Marozi of Town and Country Mortgage  
 Lenders, Inc. it's successors and/or assigns, as  
 their interest may appear.  
 Town of Sewalls Point  
 Old Republic National Title Insurance Company  
 Christopher J. Twohey, P.A.

Prepared By: Regina C. Karner, PSM#4363  
 Karner Surveying, Inc. LB#7357

Flood Zone Data derived by scaling  
 methods of the official FEMA Maps and  
 limited to the accuracy of such maps.  
 Flood Zone: X  
 Community #: 120164  
 Panel #: 0162  
 Suffix: F  
 Date: 10.04.2002

Prepared For:

**Mr. and Mrs. Markus**

Martin County

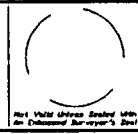
Florida

**KARNER SURVEYING, INC.**

Residential & Commercial Surveying Services

2740 SW Martin Downs Blvd #333  
 Palm City, Florida 34990

PHONE: 1-772-288 7206 FAX: 1-772-223 8181



Date	Revision Description
12.7.13	Ad and/or change Lender, Underwriter
12.10.13	Add Town of Sewalls Point

Sheet Title	
BOUNDARY SURVEY	
Scale: 1" = 30'	Date: 12-8-13
Drawn By: REGINA KARNER	Checked By: REGINA KARNER
Job No: 1312-05	CADD File: 1312-05
Sheet No: 1 of 1	File No:

Proj: High Point 49

# HIGH POINT

A SUBDIVISION OF THE SOUTH 50 ACRES MORE OR LESS OF LOT 1 COMMISSIONERS SUBDIVISION OF THE HANSON GRANT PLAT BOOK B PAGE 59 PUBLIC RECORDS OF DADE COUNTY FLORIDA

SEWALLS POINT,  
MARTIN COUNTY, FLORIDA.

SCALE 1" = 100'

ST. LUCIE RIVER.

NOT INCLUDED

NOT INCLUDED.

INDIAN RIVER.

DEDICATION  
STATE OF FLORIDA  
COUNTY OF MARTIN

KNOW ALL MEN BY THESE PRESENTS that THE PALM BEACH COMPANY, a corporation, organized and existing under the laws of the State of Florida, has caused the attached plat to be made and the land subdivided as shown hereon, and does hereby affirm that said corporation is the owner of the land subdivided and described under the above title caption, and does hereby dedicate to the perpetual use of the public, the roads shown hereon.

ACKNOWLEDGEMENT  
STATE OF FLORIDA  
COUNTY OF MARTIN

Before me this day personally appeared Michael G. Phlips and J.F. Wiley, Jr., President and Assistant Secretary, respectively, of THE PALM BEACH COMPANY, a corporation, and acknowledged that they executed the dedication herein shown, for the uses and purposes therein stated, on behalf of the said corporation.

This plat filed for record of 12/22/22, this 15th day of Dec. 1922, in Plat Book B, on Page 59, in the office of the Clerk of the Circuit Court, at Sewalls Point, Martin County, Florida.

100 x 150  
wide deep

I HEREBY CERTIFY that I have examined the attached plat and find that it complies in form with all the requirements of Chapter 137, Florida Statutes.

CERTIFICATION  
STATE OF FLORIDA  
COUNTY OF MARTIN

I HEREBY CERTIFY that the plat shown hereon is a true and correct representation of a survey made under my direction and that said survey is accurate, to the best of my knowledge and belief and that permanent reference monuments were placed as prescribed by law.

James E. Arch  
Registered Land Surveyor  
Florida Certificate No. 608

Subscribed and sworn to before me this 15th day of Dec., A.D., 1922,

at Sewalls Point, Florida

By Commissioner James M. Smith

APPROVED  
BOARD OF COUNTY COMMISSIONERS

TOWN OF SEWALLS POINT

MR. & MRS. PAUL HENNINGS  
12 MIDDLE ROAD  
SEWALLS POINT, FLORIDA  
NETTO CONSTRUCTION CO.  
P.O. Box 399  
VERO BEACH, FLA  
562-3307

**TREE**

TOWN OF SEWALL'S POINT

MIKES TREE SERVICE  
920 Industrial Blvd., Bay 4  
Jensen Beach, FL 34957  
(561)334-8144

7/13 11:57 AM  
7/13 11:57 AM  
Michael Knott  
Mil

RECEIVED  
JUL 13 2001 Permit  
7-13-01  
Date Issued

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Ruth Sadler Address 12 Middle Rd Phone 283-8868

Contractor Mike's Tree Service Address 920 Industrial Phone 334-8144

Number of trees to be removed (list kinds of trees) 1 Tree removed Back yard  
right side of house (Dead) 1 half of tree right side of house

Number of trees to be relocated within 30 days (no fee) (list kinds of trees): SPLIT in middle

Number of trees to be replaced (list kinds of trees):  
None/Released - No Fee

Permit Fee \$ 0 (~~\$25.00~~ first tree plus \$10.00 - each additional tree - not to exceed ~~\$100.00~~ \$15.00)

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted ✓ Plans approved as marked \_\_\_\_\_

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Michael Knott Date submitted 7-13-01

Approved by Building Inspector [Signature] Date 7/13/01

Approved by Building Commissioner \_\_\_\_\_ Date \_\_\_\_\_

Completed \_\_\_\_\_ Date \_\_\_\_\_ Checked by \_\_\_\_\_

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBTAINING A PERMIT~~ **FEE**. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

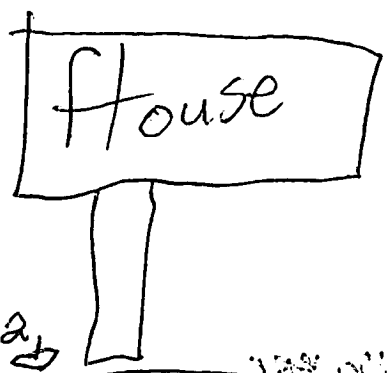




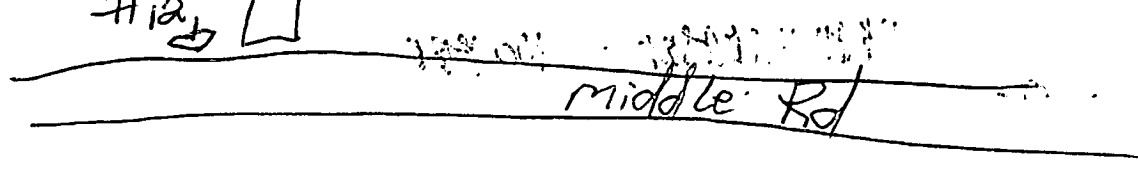
1951

20 1957

o Tree ✓ o/c  
(Dead)



o Tree ✓ OK PRUNING/REMOVE  
SPLIT IN MIDDLE AS REQUIRED  
(Danger)



7/13/01 FIELD  
VEHICLE: 5

BOTH TREES  
MARKED

**FILE** TOWN OF SEWALL'S POINT, FLORIDA

Date 7/13/01 19      TREE REMOVAL PERMIT No 0470

APPLIED FOR BY ~~RUTH SADLER~~ MICHAEL KNOTT (Contractor or Owner)

Owner RUTH SADLER; 12 MIDDLE ROAD

Sub-division HIGHT POINT, Lot 49, Block     

Kind of Trees (UNIDENTIFIED) DEAD/DAMAGED

No. Of Trees: REMOVE 2

No. Of Trees: RELOCATE -0- WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE -0- WITHIN 30 DAYS

FEED VERIF.  
7/13/01     

REMARKS SEE APPLICATION FOR LOCATION SKETCH

Signed, (SIGNATURE ON FILE)  
Applicant

Fee \$ -0-  
Signed, [Signature]  
Town Clerk BLDG OFFICER

**TOWN OF SEWALL'S POINT**

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8:00 A.M. - 5:00 P.M. NO SUNDAY WORK.

**TREE REMOVAL PERMIT**

RE: ORDINANCE 103


PROJECT DESCRIPTION     

REMARKS



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Thu  Fri  Sat  Sun, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5369	ECKNA	STORM SHUTTERS -	NOT	
S (7)	107 HENRY SEWALL WAY HARRY BLUE	FINAL	READY	INSPECTOR:
✓ T/R	BENT	FIELD VERIF.	PASSED	
S (8)	97 S. SEWALL'S POINT RD O/B		OK TO PERMIT	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5419	ECKNA	IRRIGATION -	PASSED	
(10)	107 HENRY SEWALL WAY FRUIT IRRIGATION	FINAL		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>T/R</del>	<del>SEWICK</del>	<del>FIELD VERIF.</del>	<del>PASSED</del>	
(11)	NIKE'S TREE SEWICK		<del>OK TO PERMIT</del>	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

TOWN OF SEWALL'S POINT, FLORIDA

Date MARCH 23 ~~18~~ 2005 TREE REMOVAL PERMIT No 2443

APPLIED FOR BY SADLER (Contractor or Owner)

Owner 12 MIDDLE ROAD

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees \_\_\_\_\_

No. Of Trees: REMOVE 1 DEAD TREE

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_

\_\_\_\_\_ FEE \$ 0

Signed, \_\_\_\_\_ Applicant

Signed Gene Simmons (GAS)  
Town Clerk  
**BUILDING OFFICIAL**

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

**TREE REMOVAL PERMIT**

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

REMARKS \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**TOWN OF SEWALL'S POINT**  
**APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

**Tree Defined:** Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

**No permit required for:**

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

**Permit Fee:**

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

**No removal permits will be issued for native species trees:** Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberrry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

**Application procedures:**

1. Fill out application information below to include:
  - a. applicant information
  - b. written statement giving reasons for removal, relocation, or replacement if necessary
  - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
  - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner RUTH SADLER Address 12 MIDDLE RD Phone 283-8868

Contractor POTTS Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 1 Type: DEAD TREE

No. of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

Written statement giving reasons: TREE IS AT RIGHT REAR OF HOUSE  
CLOSE TO PALM TREE

Signature of Applicant Verbal auth per Mrs. Sadler Date 3-22-05  
through [unclear] - unable to come in due to bad leg - Mr. Potts

Approved by Building Inspector: [Signature] Date 3/23 Fee: 0 to pick up permit

Plans approved as submitted \_\_\_\_\_ Plans approved as revised/marked: \_\_\_\_\_

TOWN OF SEWALL'S POINT, FLORIDA

Date JANUARY 30 ~~19~~ 2006 TREE REMOVAL PERMIT No 2630

APPLIED FOR BY SADLER (Contractor or Owner)

Owner 12 MIDDLE TREE

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees \_\_\_\_\_

No. Of Trees: REMOVE \_\_\_\_\_

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_

FEE \$ 0

Signed, \_\_\_\_\_ Applicant

Signed, Gene Simmons (RS)  
Town Clerk  
BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

REMARKS \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner RUTH SADLER Address ~~12 MIDDLE ROAD~~ Phone 283-8868

Contractor SELF Address \_\_\_\_\_ Phone \_\_\_\_\_

No. of Trees: REMOVE 1 Type: \_\_\_\_\_

No. of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

Reason for tree removal /relocation DEAD

Signature of Property Owner [Signature] RUTH SADLER Date 27 Nov 07

===== LARRY WINSZURK 11 MIDDLE ROAD 781-4686 =====

Approved by Building Inspector: [Signature] Date 11/28 Fee: —

NOTES: \_\_\_\_\_

SKETCH:  
See ATTACHED Photos!

Summels Point Tavern Hall 27 Nov 04

Please permit the removal of  
a broken/bleed palm on my property!

Thank you!

Rebecca Q. Sellen  
Ruth Sellen  
12 Middle Road  
283-8868



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

*OK*

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Ms. Ruth Sadler Address 2 Middle Road Phone 283 8868

Contractor Keith Ferguson Address 2318 SE Bordeaux Court Phone -

No. of Trees: REMOVE 1 EA Species: One Palm Tree

No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

Reason for tree removal/relocation (See notice above) Dead Tree

Signature of Property Owner Ruth P Sadler Date 5/22/09  
B Lynn C Sadler

Approved by Building Inspector: [Signature] Date 5/27 Fee: 0

NOTES:

SKETCH:

