

# **3 Miramar Road**

TOWN OF SEWALL'S POINT - FLORIDA

Application For Building Permit

Owner F. Stuart Gillespie Present Address Sewalls Point Phone 287 8885

Architect None Address \_\_\_\_\_

General Contractor Same Address \_\_\_\_\_ Phone \_\_\_\_\_

Where Licensed Martin-St Lucie License No. \_\_\_\_\_

Plumbing Contractor Howard Bous Where Licensed \_\_\_\_\_ No. \_\_\_\_\_

Electrical Contractor None - Owner Where Licensed \_\_\_\_\_ No. \_\_\_\_\_

Property Location \_\_\_\_\_ Subdivision Miramar Lot No. 12

Lot Dimensions 140 x 107 Lot Area 15000 Sq. Ft. \_\_\_\_\_

Purpose of Building Residence Type of Construction CB5

Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)

Outside of Walls 1780 Inside of Walls 1500

Street or Road building will front on Miramar

Clearances - Front 35 Back 40 Side W15 Side E37 River \_\_\_\_\_

Well Location \_\_\_\_\_ Septic Tank Location Front

Building elevation (By Ordinance Definition) \_\_\_\_\_

Contract Price (Include Plumbing, Electrical, Air Conditioning) \_\_\_\_\_

PERMIT FEE	New Home	Additions	Others
General (\$3.00 per \$1000 or Fraction) <u>5.00</u>			
Plumbing (Flat Fee) -----	\$10.00	\$3.00	
Electrical (Flat Fee) -----	\$10.00	\$3.00	
Total (To be paid by General Contractor or Owner) -----			

SIGNED: - General Contractor or Owner F. Stuart Gillespie

Building Inspector Comments: \_\_\_\_\_

\*\*\*\*\*

FOR TOWN RECORDS: Date Drawings submitted 2/1/72

Date Permit approved 2/2/72

Date Permit Fee paid 2/2/72

Date First Inspection \_\_\_\_\_

Date Final Inspection \_\_\_\_\_

Date Occupancy approved \_\_\_\_\_

~~#~~ 313

**642**

**POOL & PORCH**

RECEIVED  
OCT 29 1976

TOWN OF SEWALL'S POINT, FLORIDA  
APPLICATION FOR BUILDING PERMIT

Permit No. #642  
Date 11/1/76

--(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of property Deed required for new home construction.

Owner Mr. & Mrs. F. Matuszewski Present Address 3<sup>rd</sup> Miramar Ph \_\_\_\_\_

General Contractor Paul J. Lomb Address 117 N. Sewall Pt Rd Ph 287-6004

Where licensed State of Fla. License No. 50

Plumbing Contractor \_\_\_\_\_ License No. \_\_\_\_\_  
Electrical Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Street building will front on Miramar

Subdivision Miramar Way Lot No. 12 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft 348

Other Construction (Pools, additions, etc.) pool + PORCH 12 x 30

Contract Price (excluding land, rugs, appliances, landscaping) \$ 16,000.00

Total cost of permit \$ 16,000.00

PLUMBING YES 80  
ELECTRICITY 20  
100

Plans approved as submitted \_\_\_\_\_ Plans approved as marked 100

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period

Carl Paul J.  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Francis Matuszewski  
Signed by owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 10/29/76 J.P.L.

Date approved 10/29/76 J.P.L. Lomb

Certificate of Occupancy issued 11/1/77 Date

642



TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 11/1/76

This is to request that a Certificate of Approval for Occupancy be issued to Gandy (MAD) par add  
For property built under Permit No. 642 Dated \_\_\_\_\_  
when completed in conformance with the Approved Plans.

\_\_\_\_\_  
Signed

\*\*\*\*\*

RECORD OF INSPECTIONS

<u>Item</u>	<u>Date</u>	<u>Approved by</u>
Footings	11/8/76	PAU 2 CT
Rough plumbing		
Perimeter beam		
Rough electric	SVAB 11/19/76	✓
Close in		
Final plumbing	1/11/77	EA
Final electric		

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector \_\_\_\_\_ date

Approved by Town Commission \_\_\_\_\_ date

Utilities notified \_\_\_\_\_ date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

**690**

**FENCE**

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 690

Date \_\_\_\_\_

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of property Deed required for new home construction.

Owner Mr & Mrs F Maluszewski Present Address 3 Miramar Ph \_\_\_\_\_

General Contractor Carl Pauly Address 117 N Sewall Rd Ph 287-4494

Where licensed State License No. 50

Plumbing Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Electrical Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Street building will front on \_\_\_\_\_

Subdivision MIRAMAR Lot No. 12 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft \_\_\_\_\_

Other Construction (Pools, additions, etc.) Fencing

Contract Price (excluding land, rugs, appliances, landscaping) \$ 1,500.00

Total cost of permit ~~\$1,500.00~~ 710.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period

Carl Pauly  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Mr & Mrs F Maluszewski  
Signed by Owner Carl Pauly agent

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 4/25/77 [Signature]

Date approved 4/25/77 [Signature]

Certificate of Occupancy issued 5/17/77 Date

#690

**3078**

**REROOF**

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a site plan showing setbacks; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Francis J. Matuszewski Present Address #3 Miramar Rd.

Phone 283-5433 Sewall's Point

Contractor Heaton Enterprises Inc. Address P.O. Box 1143

Phone 287-0116 Palm City, Fl. 34990

Where licensed Fl. License number CC C036970

Electrical contractor License number

Plumbing contractor License number

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Reroof:

State the street address at which the proposed structure will be built:

#3 Miramar Rd. Parcel Control #1-38-41-009-000-00-12-08

Subdivision Lot number 12 Block number

Contract price \$ 9,940.00 Cost of permit \$

Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Paul Heaton

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Francis J. Matuszewski

TOWN RECORD

Date submitted Approved: Dale Brown 10/28/91 Building Inspector Date

Approved: Commissioner Date Final Approval given: Date

Certificate of Occupancy issued (if applicable) Date

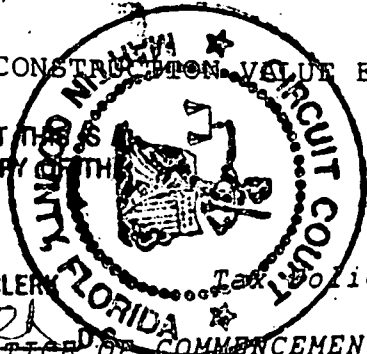
SP1282

Permit No.

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

STATE OF FLORIDA  
COUNTY OF MARTIN  
\*\*\*TO BE COMPLETED IF CONSTRUCTION VALUE EXCEEDS \$2500.00\*\*\*  
910334

THIS IS TO CERTIFY THAT THIS IS  
TRUE AND CORRECT COPY OF THE  
ORIGINAL.



Permit No. \_\_\_\_\_ Tax Folio No. # 1-38-41-009-000-00-12-08

BY [Signature]  
NOTICE OF COMMENCEMENT  
State of Florida DATE 10-28-91  
County of Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of Property (include street address, if available)

LOT 12 #3 MIRAMAR RD. SEWALL'S POINT.

General Description of Improvements: IZE-ROOF

Owner: FRANCIS MATUSZEWSKI

Address: #3 MIRAMAR RD. SEWALL'S POINT

Owner's interest in property: \_\_\_\_\_

Fee Simple Title Holder (if other than owner): \_\_\_\_\_

Address: \_\_\_\_\_

Contractor: HEATON ENTERPRISES INC.

Address: P.O. BOX 1143 PALM CITY, FL.

Surety Co. (if any) \_\_\_\_\_

Address: \_\_\_\_\_ Amt. of Bond \$ \_\_\_\_\_

Lender's Name: \_\_\_\_\_

Address: \_\_\_\_\_

Persons within the State of Florida designated by Owner upon whom notices of other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

In addition to himself, Owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified) \_\_\_\_\_.

[Signature]  
Signature of Owner

Sworn to and subscribed before me this 28 day of October 19 91

[Signature]  
Notary Public  
NOTARY PUBLIC, STATE OF FLORIDA.  
MY COMMISSION EXPIRES: MAR. 18, 1994.  
BONDED THROUGH NOTARY PUBLIC UNDERWRITERS.

My Commission Expires:

FILED FOR RECORD  
MARTIN CO., FLA.  
31 OCT 28 AM 10:24  
MARSHA STILLER  
CLERK OF CIRCUIT COURT  
D.C.

**5466**

**REROOF**

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 7/30/01

BUILDING PERMIT NO. 5466

Building to be erected for FRANCIS J. MATUSZEWSKI Type of Permit RE-ROOF (TILE/SHINGLE)

Applied for by APOSTOLOPOULOS & PAULICK CONST. (Contractor) Building Fee \_\_\_\_\_

Subdivision MIRAMAR Lot 12 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 3 MIRAMAR ROAD Impact Fee \_\_\_\_\_

Type of structure S.P.R. A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_ Electrical Fee \_\_\_\_\_

01-38-41-009-000-00120-80000 Plumbing Fee \_\_\_\_\_

Amount Paid \$120.00 Check # 969 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 6,000.00 TOTAL Fees \$120.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Inspector OFFICIAL

# RE-ROOFING PERMIT

INSPECTIONS			
DRY IN	DATE _____	PROGRESS	DATE _____
PROGRESS	DATE _____	FINAL	DATE <u>8/10/01</u>
<b>24 HOURS NOTICE REQUIRED FOR INSPECTIONS.</b>		<b>CALL 287-2455</b>	
<b>WORK HOURS - 8:00 AM UNTIL 5:00 PM</b>			
<b>MONDAY THROUGH SATURDAY</b>			

- New Construction     Remodel     Addition     Demolition

**This permit must be visible from the street, accessible to the inspector.**  
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,**  
**NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**  
**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**





**Town of Sewall's Point**  
**BUILDING PERMIT APPLICATION**

RECEIVED  
 JUL 19 2001

Bldg. Permit # 5466  
 Phone No. ( ) \_\_\_\_\_  
 Street: 3 MIRAMAR City: SEWALLS POINT State: FLA Zip: \_\_\_\_\_

Owner or Titleholder's Name: MATUSZEWSKI Francis J. Matuszewski

Legal Description of Property: Lot 17 MIRAMAR S/D #12 Parcel Number: 01-38-4-009-000-0020-80000

Location of Job Site: 3 MIRAMAR  
 TYPE OF WORK TO BE DONE: REAROF TAKETILCOFF RESH+GLEE

CONTRACTOR/Company Name: Apostol-poulos Peulck Phone No. ( ) 260-5793  
 Street: 3425 SW 79th Ave City: PALM CITY State: FL Zip: 34990  
 State Registration: \_\_\_\_\_ State License: CC003907

ARCHITECT: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:  
 Living Area: \_\_\_\_\_ Garage Area: \_\_\_\_\_ Carport: \_\_\_\_\_ Accessory Bldg: \_\_\_\_\_  
 Covered Patio: \_\_\_\_\_ Scr. Porch: \_\_\_\_\_ Wood Deck: \_\_\_\_\_  
 Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
 New Electrical Service Size: \_\_\_\_\_ AMPS

FLOOD HAZARD INFORMATION  
 Flood zone: \_\_\_\_\_ Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD  
 Proposed first habitable floor finished elevation: \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

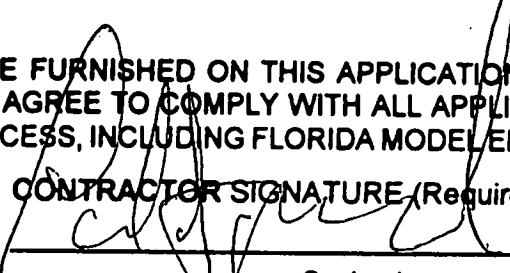
COSTS AND VALUES  
 Estimated cost of construction or improvement: \$ 6000 00  
 Estimated Fair Market Value (FMV) prior to improvement: \$ \_\_\_\_\_  
 If improvement is cost greater than 50% of Fair Market Value? YES \_\_\_\_\_ NO \_\_\_\_\_  
 Method of determining Fair Market Value: \_\_\_\_\_

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)  
 Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
 Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
 Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
 Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE 'BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)  
 \_\_\_\_\_  
 Owner  
 State of Florida, County of: \_\_\_\_\_ On this the \_\_\_\_\_ day of \_\_\_\_\_, 2000, by \_\_\_\_\_ who is personally known to me or produced \_\_\_\_\_ as identification.

CONTRACTOR SIGNATURE (Required)  
  
 Contractor  
 State of Florida, County of: MARTIN On this the 19 day of JULY, 2000, by COSTA APOSTOLOPOULOS who is personally known to me or produced \_\_\_\_\_ as identification.

Notary Public  
 My Commission Expires: \_\_\_\_\_ (Seal)

Notary Public  
 My Commission Expires: Joan H. Barrow  
 MY COMMISSION # CC763645 EXPIRES NOV 2002  
 BONDING THRU TROY FAIN INSURANCE, INC.

**TREE REMOVAL (Attach sealed survey)**

Number of trees to be removed: \_\_\_\_\_ Number of trees to be retained: \_\_\_\_\_ Number of trees to be planted: \_\_\_\_\_ Number of Specimen trees removed: \_\_\_\_\_  
Fee: \$ \_\_\_\_\_ Authorized/Date: \_\_\_\_\_

**DEVELOPMENT ORDER # \_\_\_\_\_**

**1. ALL APPLICATIONS REQUIRE**

- a. Property Appraisers Parcel Number.
- b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- c. Contractors name, address, phone number & license numbers.
- d. Name all sub-contractors (property licensed).
- e. Current Survey

2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.

3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.

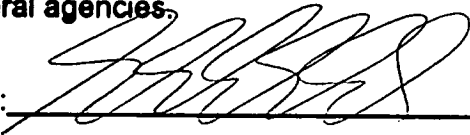
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:

- a. Floor Plan
- b. Foundation Details
- c. Elevation Views - Elevation Certificate due after slab inspection,
- d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
- e. Truss layout
- f. Vertical Wall Sections (one detail for each wall that is different)
- g. Fireplace drawing: If prefabricated submit manufacturers data

**ADDITIONAL Required Documents are:**

- 1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
- 2. Well Permit or information on existing well & pump.
- 3. Flood Hazard Elevation (if applicable).
- 4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
- 5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
- 7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
- 8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required' from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official:  Date: 7/25/01

Approved by Town Engineer \_\_\_\_\_ Date: \_\_\_\_\_  
(If required)

Rich 530 6705

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

3 Miramar

GENERAL DESCRIPTION OF IMPROVEMENT: Remove tile roof, Install 30 yr shingles.

OWNER: Francis J Matuszewski

ADDRESS: #3 SE Miramar Rd (Sewalls point)

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

CONTRACTOR: A+P Const Inc

ADDRESS: 3425 SW 78th Ave PALM CITY FLA 34990

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

SURETY COMPANY (IF ANY): N/A

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

BOND AMOUNT: N/A

LENDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: N/A

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

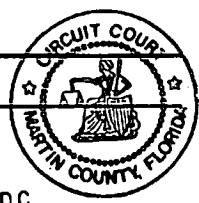
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Francis J Matuszewski  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 11 DAY OF JULY 192001 BY Francis Matuszewski

Kristin Wilson  
NOTARY SIGNATURE

OR PERSONALLY KNOWN  
PRODUCED ID TYPE OF ID FL DL m3ad-260-28-456-0



# ACORD CERTIFICATE OF LIABILITY INSURANCE

7-8-99

**PRODUCER**  
**A Better Deal Insurance**  
 1026 Bayshore Blvd  
 Port St Lucie, FL 34984  
 (888) 771-7875

**INSURED**  
~~ACOSTOPOULOS & PAULICK CONST. INC.~~  
 1501 SE DECKER AVENUE  
 UNIT 129A  
 STUART FL 34994

**INSURERS AFFORDING COVERAGE**  
 INSURER A: MARYLAND INSURANCE CO  
 INSURER B: International Specialty Underwriters  
 INSURER C:  
 INSURER D:  
 INSURER E:

**THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.**

**RECEIVED**  
 JUL 19 2001

**COPY FILE**

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN BELOW HAVE BEEN REDUCED BY PAID CLAIMS.

TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
<b>GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRODUCT <input type="checkbox"/> LOC	SCP 001610232	7-13-99	7-13-02	EACH OCCURRENCE: \$300,000 FIRE DAMAGE (Any one fire): \$ BODILY INJURY (Per person): \$ PERSONAL & ADV INJURY: \$300,000 GENERAL AGGREGATE: PRODUCTS - COMP/OP AGG: \$300,000
<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (EA accident): \$ BODILY INJURY (Per person): \$ BODILY INJURY (Per accident): \$ PROPERTY DAMAGE (Per accident): \$
<b>Garage Liability</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT: \$ OTHER THAN AUTO ONLY: EA ACC: \$, AGG: \$
<b>EXCESS LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE: RETENTION: \$				EACH OCCURRENCE: \$ AGGREGATE: \$ \$ \$
<b>WORKERS COMPENSATION AND EMPLOYERS LIABILITY</b>	POP6025	12-00-98	12-31-02	INC STATUTORY LIMITS: OTH-ER: EACH ACCIDENT: \$100,000 EMP DISEASE - PER EMPLOYEE: \$100,000 E.L. DISEASE - POLICY LIMIT: \$500,000
OTHER				

**DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENTS/SPECIAL PROVISIONS**

CARPENTRY

**CERTIFICATE HOLDER**: Town Of Seville's **FILE**  
 FAX: 220 4765

**ADMINISTRATIVE INSURED; INSURER LETTER:**

**CANCELLATION**  
 SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

**AUTHORIZED REPRESENTATIVE**  
*Glenn... Macaselli*

PERMIT

# ACORD CERTIFICATE OF LIABILITY INSURANCE

7-8-99

**PRODUCER**

**A Better Deal**  
 1026 Bay  
 Port St Lucie  
 (887)117

**AGENTS/ADJUSTERS**  
 1501 BE DECKER AVENUE  
 UNIT 129A  
 STUART FL 34994

**INSURANCE**  
 LIC/INS  
**FILE**

01-61-0232

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, ALTER OR ALTER THE COVERAGE AFFORDED BY THE POLICIES DESCRIBED HEREIN.

### INSURERS AFFORDING COVERAGE

INSURER A: **MARYLAND INSURANCE CO**  
 INSURER B: **International Specialty Underwriters**  
 INSURER C:  
 INSURER D:  
 DATE: **JUL 30 2001**

RECEIVED

COPY

### COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW ARE SUBJECT TO ALL THE TERMS, CONDITIONS, EXCLUSIONS AND LIMITS OF THE POLICIES DESCRIBED HEREIN. THE INSURANCE AFFORDED BY THESE POLICIES IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF THE POLICIES DESCRIBED HEREIN. AGGREGATE LIMITS SHOWN IN THIS CERTIFICATE ARE REDUCED BY PAID CLAIMS.

LINE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRES DATE (MM/DD/YY)	LIMITS
A	OCCUR <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/>	01-61-0232	7-19-99	7-19-02	EACH OCCURRENCE \$3,000,000 FIRE DAMAGE (Any one loss) \$3,000,000 MED EXP (Any one person) \$50,000 PERSONAL & ADV INJURY \$3,000,000 GENERAL AGGREGATE PRODUCTS - COMP/OP AGG \$3,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> RENTED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (No accident) \$500,000 BODILY INJURY (Per person) \$50,000 BODILY INJURY (Per accident) \$50,000 PROPERTY DAMAGE (Per accident) \$50,000
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$50,000 OTHER THAN AUTO ONLY: EA ACC \$50,000 AGG \$50,000
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION				EACH OCCURRENCE \$50,000 AGGREGATE \$50,000
B	<input type="checkbox"/>	01-61-0232	12-08-98	12-8-02	E.L. EACH ACCIDENT \$50,000 E.L. DISEASE - EA EMPLOYEE \$50,000 E.L. DISEASE - POLICY LIMIT \$50,000

DESCRIPTION OF OPERATION/LOCATION/NAE/NAE

EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CARPENTRY and ROOF

CERTIFICATE HOLDER

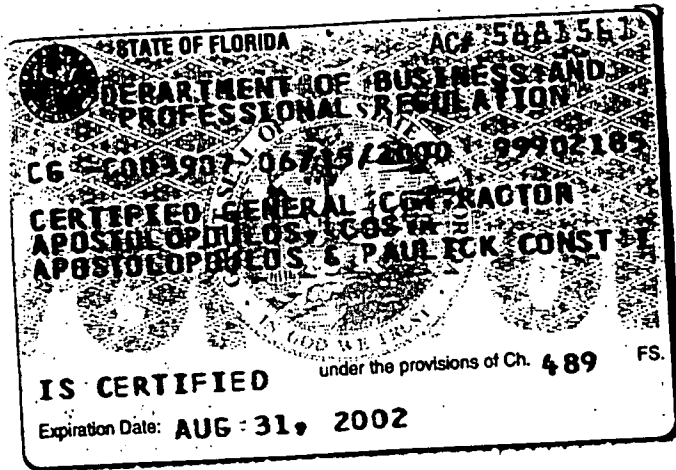
INSURER LETTER:

### CANCELLATION

Town of Sewall's Point  
 Fax: 220 4765

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED OR EXPIRE, THE COVERAGE UNDER THIS CERTIFICATE WILL CONTINUE TO REMAIN IN FULL FORCE AND EFFECT UNTIL NOTICE IS GIVEN TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT SHALL NOT IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER OR ITS REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
*James H. MacCallister*  
 © ACORD



*Paul Eck*  
SIGNATURE

To Denise  
561-758-2410



MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

G.A.F. Materials Corporation  
1361 Alps Road  
Wayne NJ 07470

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2538

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:  
*Original Timberline Asphalt Shingles.*

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 00-0105.02

Expires: 04/22/2003

Raul Rodriguez  
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

7/25/01 TOWN OF SEWALL'S POINT  
REVIEW:   
BLDG. OFFICIAL

Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office

Approved: 04/21/2000

FILE of 3 TOWN COPY  
3 MIRAMAR RD.

**PN 5466**



G.A.F. MATERIALS CORPORATION

Product Control No.: 00-0105.02

PRODUCT CONTROL NOTICE OF ACCEPTANCE  
ROOFING SYSTEM APPROVAL

Applicant:  
GAF Materials Corp.  
1361 Alps Road  
Wayne, New Jersey 07470

Product Control No: 00-0105.02

Approval Date: April 21, 2000

Expiration Date: April 22, 2003

1. SCOPE

This renews GAF Timberline Asphalt as manufactured by GAF Materials Corp. described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County.

Category: Roofing  
Sub Category: Shingles, Dimensional

3. PRODUCT DESCRIPTION

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
GAF Timberline	15 1/4" x 39 1/8"	PA 110	Fiberglas reinforced heavy weight asphalt roof shingle, with a laminate profile

4. LIMITATIONS

- 4.1 Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- 4.2 Shall not be installed on roof mean heights in excess of 33 ft.

5. INSTALLATION

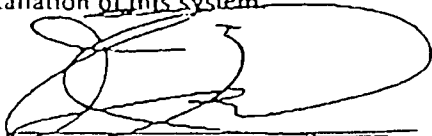
- 5.1 Shingles shall be installed in compliance with Miami-Dade County Product Control Shingle Installation Procedure No. 115.
- 5.2 Flashings shall be in accordance with Section 9.3 Option "B" (Step-flashings) of Miami-Dade County Product Control Shingle Installation Procedure No. 115
- 5.3 The manufacturer shall provide clearly written application instructions.
- 5.4 Exposure and course layout shall be in compliance with Detail 'A', attached.
- 5.5 Nailing shall be in compliance with Detail 'B', attached.

6. LABELING

- 6.1 Shingles shall be labeled with the Miami-Dade Logo or the wording "Miami-Dade County-Dade Product Control Approved".

7. BUILDING PERMIT REQUIREMENTS

- 7.1 Application for building permit shall be accompanied by copies of the following:
  - 7.1.1 This Notice of Acceptance.
  - 7.1.2 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

  
 Frank Zuloaga, RRC  
 Roofing Product Control Examiner

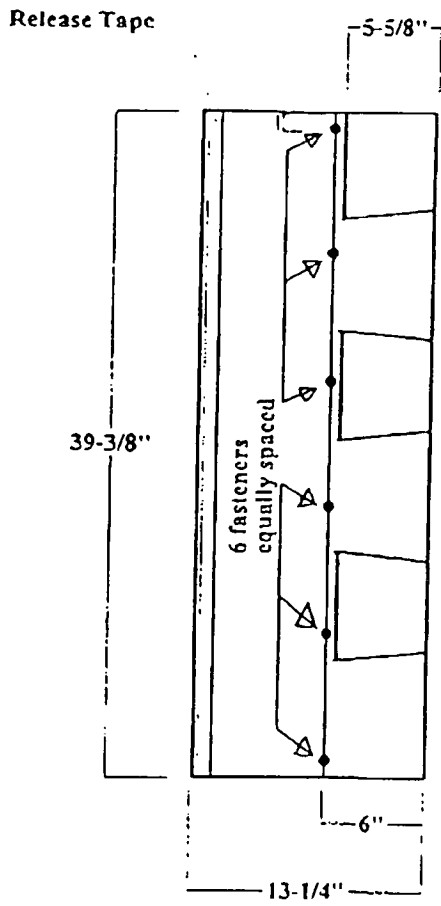




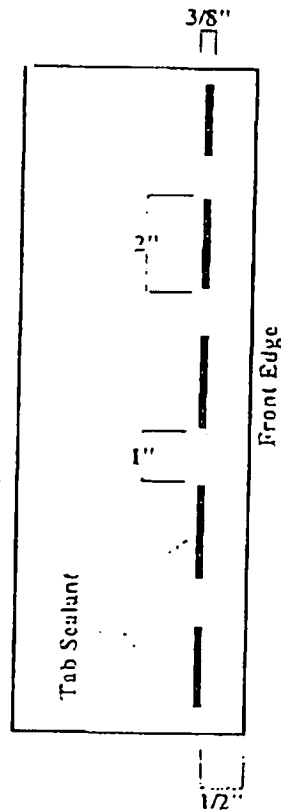
G.A.F. MATERIALS CORPORATION

Product Control No.: 00-0105.02

DETAIL B



Front Side



Back Side

Frank Zuloaga, RRC  
Roofing Product Control Examiner

G.A.F. MATERIALS CORPORATION

Product Control No.: 00-0105.02

G.A.F. Materials Corp.  
1361 Alps Road  
Wayne, N.J. 07470

ACCEPTANCE NO: 00-0105.02  
APPROVED: April 21, 2000  
EXPIRES: April 22, 2003

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Metro-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
  - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
  - b) The product is no longer the same product (identical) as the one originally approved;
  - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
  - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
  - a) Unsatisfactory performance of this product or process;
  - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Metro-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 1 through 5

END OF THIS ACCEPTANCE

Page 5 of 5



Frank Zuloaga, RRC  
Roofing Product Control Examiner

Quick Drive USA Inc.(Screws) 407-744-1962 407-744-0182  
 SSWSC212 2 1/2" Stainless Steel

Hilti, Inc. 800-879-6000 918-254-0852  
 #6 Aluminum Screws Uncollated  
 #8 Aliminum Screws Uncollated

Markimex, Inc. 714-901-9019 714-901-9029  
 7/8" x .121" Smooth Shank Stainless Steel Coil Roofing Nail  
 1" x .121" Smooth Shank Stainless Steel Coil Roofing Nail  
 1-1/4" x .121" Smooth Shank Stainless Steel Coil Roofing Nail  
 1-1/2" x .121" Smooth Shank Stainless Steel Coil Roofing Nail  
 1-3/4" x .121" Smooth Shank Stainless Steel Coil Roofing Nail  
 7/8" x .121" Smooth Shank Stainless Steel Coil Roofing Nail  
 1" x .121" Smooth Shank Stainless Steel Coil Roofing Nail  
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 7/8" x .121" Ring Shank Stainless Steel Coil Roofing Nail  
 1" x .121" Ring Shank Stainless Steel Coil Roofing Nail  
 1-1/4" x .121" Ring Shank Stainless Steel Coil Roofing Nail  
 1-1/2" x .121 Ring Shank Stainless Steel Coil Roofing Nail  
 1-3/4" x .121" Ring Shank Stainless Steel Coil Roofing Nail

Pam Fastening Technologies, 704-394-3141 704-394-9339  
 Inc.  
 WCSS8212 2- 1/2" Stainless Steel.

~~Senco of Florida 1 3/8 - 1 1/2 <sup>Galvanized</sup> Roofing nails 407-277-0412 407-282-2207~~  
 Senco R Brand #KC27AGB 3" Stainless Steel

Stanley Fastening Systems 401-884-2500 401-884-2485  
 Collated Stainless Steel Roofing Nails  
 CR2DCSS 7/8" x 0.120  
 CR3DSS 1 1/4" x 0.120

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri August 6, 2001; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ S 5447	BARLAND 1 VIA LUCINDIA HARBOR BAY POOLS 878 8806	STL./MAIN DRAIN	Failed Washed	FORMER BOARDER SINKING WHOLE Called contractor INSPECTOR: <u>J 8/6</u>
✓ S 5302	NOHE JL 6 N. RIDGEVIEW RON RAYMOND CONST.	FRAMING - ALL TRADES	Passed (1 Strap +	(See enclosure) Roaming pencils.) INSPECTOR: <u>J 8/6</u>
✓ S 5426	DEMOREST 925. RIVER ROAD COMMERCIAL CONST.	ENTRY ENCL. - SLAB	Passed	INSPECTOR: <u>J 8/6</u>
✓ N 5143	GIFFORD 85 N. SEWALL'S POINT RD SCOTT J. HOLMES, BLDG. INC	LATH	Passed	INSPECTOR: <u>J 8/6</u>
✓ N 5280	ROTHBERG 103 N. SEWALL'S POINT RD CUSTOM BUILT MARINE	RET. WALL/RIP RAP Final → (288-4254)	Passed Passed	INSPECTOR: <u>J 8/6</u>
✓ N 5443	WYEKOFF 26 N. RIVER ROAD O/B	WALL FTG.	Passed	See owner INSPECTOR: <u>J 8/6</u>
<del>5436</del>	<del>Matuszewski</del> J Miramar A+P Bldg.	<del>Shedding roof</del>	<del>Passed</del>	INSPECTOR: <u>J 8/6</u>

OTHER: VERIFY FLOOD DEBRIS CLEAN-UP: ~~295 RIVER RD (PN 4978)~~  
(REINSPECTION) RIVER - LEAK DEVELOPMENT.  
Cleanup in progress J 8/6

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri August 8, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
5294	LEHMAN	FRAMING	Passed	
①	6 RIDGELAND GRIBBEN	ALL TRADES		INSPECTOR: <u>J 8/8</u>
5447	BARLAND	POOL STEEL/BOND	Fail	Re-inspection (washout)
②	1 S. VIA LUCINDIA HARBOR BAY POOLS	11 <sup>30</sup> → PASS	Passed	Still washout INSPECTOR: <u>J 8/8</u>
5468	MCMANON	LAUNDRY ROOM SLAB	Passed	
⑥	5 MELODY HILL O/B 223-0454	+ PTL WINDOW FRAMING	Passed	INSPECTOR: <u>J 8/8</u>
5401	SACHS	SHUTTERS-	Passed	(not whole house)
③	78 N. SPR PROTEC - 335-3000	FINAL		(no plan?) INSPECTOR: <u>J 8/8</u>
5068	WINER	PTL. RF. SHEATHING		
④	19 RIDGELAND LEAR	(LOWER ROOF)	Passed	INSPECTOR: <u>J 8/8</u>
TIR	12 RIO VISTA 36 W. HIGHLAND	FIELD VERIF.	Passed	BP NS489
⑧	(STRACUZZI) RUCCOLO	12 Rio Vista		INSPECTOR: <u>J 8/8</u>
<del>5466</del>	<del>MATYUSZAK</del>	<del>DRY FIN</del>	<del>Failed</del>	*EARLY AS POSSIBLE
①	<del>3 MATYUSZAK</del> A+P ROOFING	<del>729-4466</del> 260 5793	wood 6" at seam/drip edge new Passed	INSPECTOR: <u>J 8/8</u>

OTHER: 1735 Rivers Rd. Lakemont J 8/8 inspect 8/10 TO BE RETURNED  
PN 5063 ROBINSON / DRIFWOOD HOMES

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~Thu~~ ~~Friday~~ ~~Saturday~~ ~~Sunday~~, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5448	VORASSO	SLAB	P	8:00 10:40 no access
N (3)	21 PERRIWINKLE CRES RLM	CANCELLED (FORWARDED SURVEY PERM)		INSPECTOR: J 8/10
✓ <del>5476</del>	<del>MATUSZEWSKI</del>	<del>REPAIRS - FINAL</del>	<del>Pass</del>	
(4)	<del>3 MIRAMAR RD.</del> APOSTOLOPOULOS & PAULICK			INSPECTOR: J 8/10
✓ 5476	GALFOND	STORM SHUTTERS -	Pass	2 roll ups riverside
S (6)	85 SEWALL'S POINT RD. GULFSTREAM ALUM.	FINAL		INSPECTOR: J 8/10
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

**8986**

**HURRICANE SHUTTERS**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8983	DATE ISSUED:	AUGUST 22, 2008
SCOPE OF WORK:	HURRICANE SHUTTERS		
CONDITIONS:			
CONTRACTOR:	JENSEN BEACH ALUMINUM		
PARCEL CONTROL NUMBER:	013841009000001208	SUBDIVISION	MIRAMAR - LOT 12
CONSTRUCTION ADDRESS:	3 MIRAMAR RD		
OWNER NAME:	KRETT/MATUSZEWSKI		
QUALIFIER:	MICHAEL GOODWIN	CONTACT PHONE NUMBER:	692-0090

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

RECEIVED  
DATE: 8/21/08  
TOWN OF SEWALL'S POINT

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: RICHARD D. KEET

Phone (Day): (302) 437-6514 (Fax): \_\_\_\_\_

Job Site Address: 3 SE MIRAMAR RD

City: SEWALLS PT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block): MIRAMAR LOT 12 | 340 | 771

Parcel Number: 1-384099-000-00120.800

Owner Address (if different): \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work: ACCORDIAN HURRICANE SHUTTERS

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO X

Has a Zoning Variance ever been granted on this property?

YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

COST AND VALUES (File required on ALL permit applications)

Estimated Value of Improvements: \$ 97,604.00  
(Notice of Commencement required when over \$2500 prior to first inspection)

Is subject property located in flood hazard area? V \_\_\_\_\_ A9 \_\_\_\_\_ A8 \_\_\_\_\_ X \_\_\_\_\_

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

Fair Market Value of the Final Structure only (Minus the land value)

\*\*\* PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION \*\*\*

CONTRACTOR/Company: JENSEN BEACH ALUMINUM INC Phone: 692-0090

Fax: 692-9744

Street: 1720 NW FEDERAL HWY

City: STUART State: FL Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Municipality License Number: \_\_\_\_\_

PROJECT SUPERINTENDANT: MICHAEL GOODMAN CONTACT NUMBER: 579 418-0560

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQ. FOOTAGE (W/SEWER & ELECTRIC): Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof: \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

CODE EDITIONS IN EFFECT FOR THIS APPLICATION: Florida Building Code - Res., Build, Mech., Plmb., Fuel Gas: 2004 (W/2006 Rev.)  
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Prevention Code 2004

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TAXES FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN OF SEWALL'S POINT ORDINANCE 50.05.

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

OWNER SIGNATURE (required)

CONTRACTOR SIGNATURE (required)

State of Florida, County of: MARTIN  
This the 18<sup>th</sup> day of AUGUST, 2008  
by RICHARD D. KEET who is personally

State of Florida, County of: MARTIN  
This the 18<sup>th</sup> day of AUGUST, 2008  
by MICHAEL GOODMAN who is personally

known to me or produced as identification. JOHN LEE TINNEY  
Notary Public, State of Florida  
My Commission Expires: Nov. 15, 2010  
Comm. No. DD 615125

known to me or produced as identification. JOHN LEE TINNEY  
Notary Public, State of Florida  
My Commission Expires: Nov. 15, 2010  
Comm. No. DD 615125

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 90 DAYS (FBC 105.3.2) - FILE, PLEASE PICK UP YOUR PERMIT PROMPTLY!



# Martin County, Florida

## Laurel Kelly, C.F.A

Site Provided by...  
governmentmax.com T1.14

### Summary

print | | | - / - / | Address  
1 of 1

#### Parcel Info

##### Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
01-38-41-009-000-00120-8	3 MIRAMAR RD	17752	Address	0	1

##### Summary

**Property Location** 3 MIRAMAR RD  
**Tax District** 2200 Sewall's Point  
**Account #** 17752  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120200  
**Acres** 0.344

**Legal Description**  
**Property Information**  
 MIRAMAR LOT 12 OR 340/771

#### Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

##### Owner Information

**Owner Information**  
 MATUSZEWSKI, FRANCIS J (L/E)  
 KRETT, RICHARD DAVID

##### Mail Information

725 NEW BRIGHTON CT  
 MIDDLETOWN DE 19709

##### Assessment Info

**Front Ft.** 0.00

**Market Land Value** \$280,000  
**Market Impr Value** \$138,500  
**Market Total Value** \$418,500

#### Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

##### Recent Sale

**Sale Amount** \$0

**Sale Date** 5/11/2005  
**Book/Page** 2012 2832

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 08/18/2008





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



**IMPACT PROTECTION INSTALLATION AFFIDAVIT**

BLDG. PERMIT NUMBER: 8983  
 JOB SITE ADDRESS: 3 SE MIRAMAR DR  
 CONTRACTOR/OWNER: JENSEN BEACH ALUMINUM INC  
 PHONE NUMBER: (772) 692-0090 / 692-9744  
 QUALIFIER NAME: MICHAEL GOODWIN  
 LICENSE NUMBER: CGC 1508437

I Michael Goodwin, do hereby affirm:  
 Owner or Contractor - Please print name

The following impact protection was used as per the 2004 FBC 1609.1.4 for all exterior glazed openings at the above referenced job site.

- Impact Resistant Glass
- Approved Shutters

That I personally observed the complete installation of all hurricane panel/shutters on the above referenced project and further affirm that they are fitted properly for the openings they are intended to protect.

[Signature] Date: 7/28/08  
 Signature of Owner or Contractor

Sworn to and subscribed before me this 28th Day of July 20 08

By Michael Goodwin  
 Notary Public, State of Florida Notary Seal/Stamp

Personally known to me   
 Produced ID \_\_\_\_\_  
 Type \_\_\_\_\_

[Signature]  
 JOHN LEE TINNEY  
 Notary Public, State of Florida  
 My comm. exp. Nov. 15, 2010  
 Comm. No. DD 615125

Sewall' Point Building Department will inspect the structural attachment of the panel rails and/or the shutter assembly attachment to the building, per the manufacturer's product approvals, ASCE 7-02 and the 2004 Florida Building code at final inspection.

NOTICE OF COMMENCEMENT  
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 1-38-41-609-000-00120, 860

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

MIRAMAR LOT 12 OR 340/771

GENERAL DESCRIPTION OF IMPROVEMENT: HURRICANE SHUTTERS

OWNER NAME: RICHARD KEET

ADDRESS: 3 MIRAMAR RD (SEWELL PT, FL 34996)

PHONE NUMBER: (302) 437-6254

FAX NUMBER: \_\_\_\_\_

INTEREST IN PROPERTY: Owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: TRINSON BEACH ALUMINUM INC

ADDRESS: 1729 NEW FEDERAL HWY STUART FL 34994

PHONE NUMBER: 852-6090

FAX NUMBER: 852-9744

SURETY COMPANY (IF ANY):

ADDRESS:

PHONE NUMBER:

BOND AMOUNT:

THIS IS TO CERTIFY THAT THE

FOREGOING 1 PAGES IS A TRUE

AND CORRECT COPY OF THE ORIGINAL.

LENDER/MORTGAGE COMPANY:

ADDRESS:

PHONE NUMBER:

FAX NUMBER:

BY: Marshaeving, Clerk

DATE: 8/2/08

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME:

ADDRESS:

PHONE NUMBER:

FAX NUMBER:

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_

TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE NUMBER:

FAX NUMBER:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT:

(THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

Richard Keet

SIGNATORY'S TITLE/OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6<sup>th</sup> DAY OF August, 2008

BY: Richard Keet

AS

Owner

FOR

Hibbett

NAME OF PERSON

TYPE OF AUTHORITY

NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN  OR PRODUCED IDENTIFICATION \_\_\_\_\_

TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_

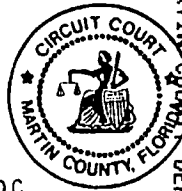
John Lee Tinney

NOTARY SIGNATURE

NOTARY SEAL

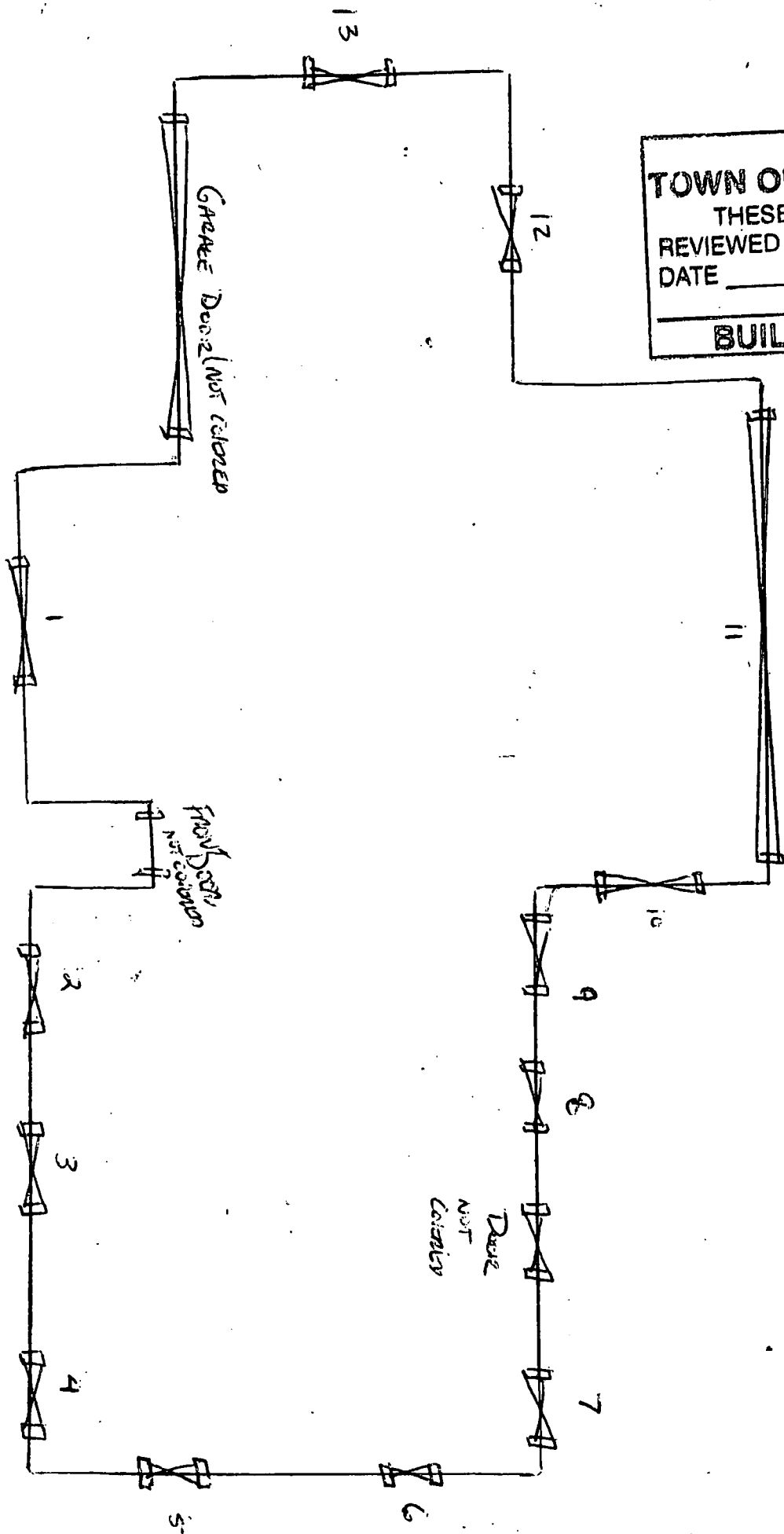
UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

(Signature of Natural Person Signing Above)



INSTR # 2102152 DR BK 02346 Pg 2741 RECD 08/22/2008 09:02:48 AM  
Pg 2741: (1pg)  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Hunter

FILE COPY  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE 8.21.08  
 \_\_\_\_\_  
**BUILDING OFFICIAL**



Richard Koett  
3 SE MICHIGAN RD  
JENSEN BEACH ALUMINUM, INC.  
1720 NW FEDERAL HWY  
(772) 692-0080 / 692-9744 FAX



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

SHUTTER SCHEDULE

I.D. NO.	APPOX OPENING SIZE (WXH)	APPOX SHUTTER WIDTH	APPOX HEIGHT	# OF STORM BARS REQ'D	ANCHOR SPACING	# OF WINDOW BARS EACH SIDE	HEADER REINF. REQ'D YES/NO	REMARKS
	37"X63"	45"	71"	N/A	12"	N/A	NO	EXAMPLE
1	106 X 63	116 1/4	71	N/A	16"	N/A	NO	
2	74 X 39	82 1/4	46	N/A	16"	N/A	NO	
3	37 X 39	48 1/4	46	N/A	16"	N/A	NO	
4	74 X 39	82 1/4	46	N/A	16"	N/A	NO	
5	74 X 39	82 1/4	47	N/A	16"	N/A	NO	
6	74 X 39	82 1/4	47	N/A	16"	N/A	NO	
7	74 X 39	82 1/4	47	N/A	16"	N/A	NO	
8	827 X 39	34 1/2	47	N/A	16"	N/A	NO	
9	74 X 27	82 1/4	42	N/A	16"	N/A	YES	
10	77 X 57	89 1/8	64	N/A	16"	N/A	NO	
11	343 X 62	343 7/8	62	N/A	16"	N/A	NO	
12	89 X 57	89 1/8	64	N/A	16"	N/A	NO	
13	58 1/2 X 51	62	58	N/A	16"	N/A	NO	
14								
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TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY



[DEA HOME](#) / [ABOUT DEA](#) / [DEA PROGRAMS](#) / [CONTACT DEA](#)

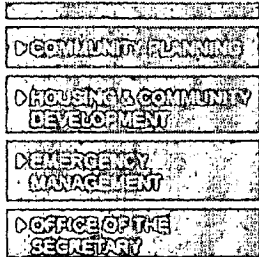
[BCIS Home](#) | [Log In](#) | [Hot Topics](#) | [Submit Surcharge](#) | [Stats & Facts](#) | [Publications](#) | [FBC Staff](#) | [BCIS Site Map](#) | [Links](#) | [Search](#)



**Product Approval**

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**



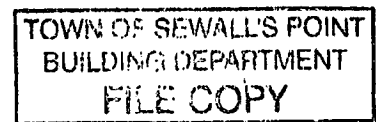
FL #	FL2249-R3
Application Type	Revision
Code Version	2004
Application Status	Approved
Comments	
Archived	<input type="checkbox"/>

Product Manufacturer	Town and Country Industries,
Address/Phone/Email	400 West McNab Road Ft. Lauderdale, FL 33309 (954) 493-8551 tomj@tc-alum.com

Authorized Signature	Vladimir Knezevich KAEng@aol.com
----------------------	-------------------------------------

Technical Representative	Thomas B. Johnston
Address/Phone/Email	400 west McNab Rd. Ft. Lauderdale, FL 33309 (954) 970-9999 tomj@tc-alum.com

Quality Assurance Representative	
Address/Phone/Email	



Category	<b>Stairs</b>
Subcategory	<b>Accordion</b>

Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer
	<input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received

Florida Engineer or Architect Name who developed the Evaluation Report	John W. Knezevich
Florida License	PE-41961
Quality Assurance Entity	National Accreditation and Management Institute
Quality Assurance Contract Expiration Date	
Validated By	ORLANDO L. BLANCO, P.E.
	<input type="checkbox"/> Validation Checklist - Hardcopy Received



Certificate of Independence

Referenced Standard and Year (of Standard)	Standard	Year
	ASTM E330	2002
	SSTD 12	1999

Equivalence of Product Standards Certified By

Sections from the Code

Product Approval Method Method 1 Option D

Date Submitted	12/31/2005
Date Validated	01/05/2006
Date Pending FBC Approval	01/09/2006
Date Approved	02/07/2006

Summary of Products		
FL #	Model, Number or Name	Description
2249.1	6.8 and HR Accordion Shutter	Aluminum Accordion Shutter
<p><b>Limits of Use</b> (See Other)  <b>Approved for use in HVHZ:</b>  <b>Approved for use outside HVHZ:</b>  <b>Impact Resistant:</b>  <b>Design Pressure:</b> +/-  <b>Other:</b> Use of these product shall be in strict conformance with the requirements of the reference drawing prepared by TTG, Inc. These products are NOT suitable for installation in the High Velocity Hurricane Zone. These products may only be installed on concrete, hollow concrete block or wood substrates. For all other conditions site specific design shall be by this office or our delegated engineer. Shutter spans less than 32" are not acceptable per the provisions of SSTD 12-99.</p>		<p><b>Installation Instructions</b>                      Verified By:                      Created by Independent Third Party:  <b>Evaluation Reports</b>                      PTID_2249_R3_T_05-578_DWG_68-HR_SSTD-12.pdf                      PTID_2249_R3_T_05-578_Report_68-SSTD-12_R3.pdf                      Created by Independent Third Party:</p>
2249.2	6.8" Accordion Shutter	Extruded Aluminum Folding Shutter
<p><b>Limits of Use</b> (See Other)  <b>Approved for use in HVHZ:</b>  <b>Approved for use outside HVHZ:</b>  <b>Impact Resistant:</b>  <b>Design Pressure:</b> +/-  <b>Other:</b> Use of these product shall be in strict conformance with the requirements of the reference drawing prepared by TTG, Inc. and comply with chapter 61G15-23 of the Florida Administrative Code. These products are NOT suitable for installation in the High Velocity Hurricane Zone. These products may only be installed on concrete, hollow concrete block or</p>		<p><b>Installation Instructions</b>                      Verified By:                      Created by Independent Third Party:  <b>Evaluation Reports</b>                      Created by Independent Third Party:</p>

wood substrates. For all other conditions site specific design shall be by this office or our delegated engineer. Shutter spans less than 32" are not acceptable per the provisions of SSTD 12-99.		
2249.3	HR Accordion Shutter	Extruded Aluminum High Rise Folding Shutter
<p><b>Limits of Use (See Other)</b>  <b>Approved for use in HVHZ:</b>  <b>Approved for use outside HVHZ:</b>  <b>Impact Resistant:</b>  <b>Design Pressure: +/-</b>  <b>Other:</b> Use of these product shall be in strict conformance with the requirements of the reference drawing prepared by TTG, Inc. and comply with chapter 61G15-23 of the Florida Administrative Code. These products are NOT suitable for installation in the High Velocity Hurricane Zone. These products may only be installed on concrete, hollow concrete block or wood substrates. For all other conditions site specific design shall be by this office or our delegated engineer. Shutter spans less than 32" are not acceptable per the provisions of SSTD 12-99.</p>		<p><b>Installation Instructions</b>                  Verified By:                  Created by Independent Third Party:  <b>Evaluation Reports</b>                  Created by Independent Third Party:</p>

[Back](#)

[Next](#)

DCA Administration

**Department of Community Affairs**  
**Florida Building Code Online**  
**Codes and Standards**  
 2555 Shumard Oak Boulevard  
 Tallahassee, Florida 32399-2100  
 (850) 487-1824, Fax (850) 414-8436

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**Product Approval Accepts:**



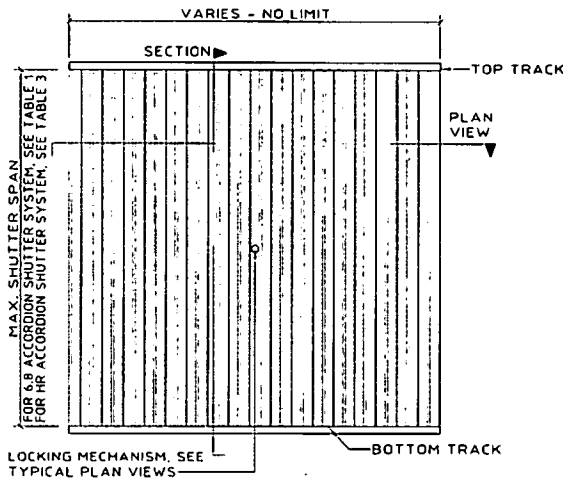
**THESE APPROVAL DOCUMENTS REPRESENT THE 6.8 AND THE HR ACCORDION SHUTTER SYSTEMS**

**GENERAL NOTES:**

1. THESE PRODUCT EVALUATION DOCUMENTS REPRESENT A SHUTTER SYSTEM DESIGNED AND TESTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2004 AND THE SBCCI TEST STANDARD FOR DETERMINING IMPACT RESISTANCE FROM WINDBORNE DEBRIS. SSTD 12-99.
2. THIS SHUTTER SYSTEM HAS BEEN SUCCESSFULLY TESTED FOR LARGE MISSILE IMPACT RESISTANCE AND UNIFORM STATIC AIR PRESSURE IN CONFORMANCE WITH SBCCI, SSTD 12-99 AND ASTM E330.
3. REFERENCE THE APPROPRIATE DESIGN LOAD TABLES BASED ON THE GOVERNING CODE AND WIND VELOCITY TO DETERMINE THE DESIGN LOAD TO USE WHEN REFERENCING THESE DOCUMENTS. NO LOAD REDUCTION OR ALLOWABLE STRESS INCREASE WAS USED IN THE PREPARATION OF THESE DOCUMENTS.
4. THESE PRODUCT EVALUATION DOCUMENTS ARE PREPARED BY THE PRODUCT ENGINEER AND ARE GENERIC. THEY DO NOT INCLUDE INFORMATION PREPARED FOR A SPECIFIC SITE.
5. USE OF THESE APPROVAL DOCUMENTS SHALL COMPLY WITH CHAPTER 61G15-23 OF THE FLORIDA ADMINISTRATIVE CODE.
6. THESE PRODUCT EVALUATION DOCUMENTS ARE SUITABLE TO BE APPLIED BY THE CONTRACTOR PROVIDED THE CONTRACTOR DOES NOT DEVIATE FROM THE CONDITIONS DETAILED HEREIN AND THE CONTRACTOR VERIFIES THE EXISTING STRUCTURE IS CAPABLE OF SUPPORTING THE LOADS.
7. ALTERATIONS OR ADDITIONS TO THIS DOCUMENT ARE NOT PERMITTED.
8. WHERE THE CONTRACTOR OR THE BUILDING OFFICIAL REQUIRES DOCUMENTS FOR SITE SPECIFIC APPLICATION, THESE DOCUMENTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT FOR SAID APPLICATION.
9. WHEN THE SITE CONDITIONS DEVIATE FROM THESE PRODUCT EVALUATION DOCUMENTS, SITE SPECIFIC DOCUMENTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT. IF THE DEVIATING SITE SPECIFIC DOCUMENTS ARE PREPARED BY A DELEGATED FLORIDA REGISTERED ENGINEER OR ARCHITECT, SAID DOCUMENTS SHALL BEAR THE DATE, SIGNATURE, AND ORIGINAL SEAL OF THE DELEGATED ENGINEER OR ARCHITECT AND SHALL BE SUBMITTED TO THE PRODUCT ENGINEER FOR REVIEW.
10. WHERE COMPLIANCE WITH SSTD 12-99 IS REQUIRED, PANELS SHALL BE PERMANENTLY LABELED WITH A MINIMUM OF ONE LABEL PER OPENING OR A CERTIFICATE OF COMPLIANCE SHALL BE PROVIDED BY THE MANUFACTURER AND INSTALLER. WHERE LABELS ARE USED, THE LABEL SHALL READ AS FOLLOWS:

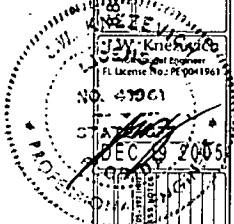
TOWN & COUNTRY INDUSTRIES, INC.  
FT. LAUDERDALE, FL  
SSTD 12-99 LARGE MISSILE IMPACT RESISTANT

11. ALL SHUTTERS SHALL HAVE A LOCKING MECHANISM CONSISTING OF THUMBSCREW OR PUSH LOCK AT CENTER OR SIDE CLOSURE.
12. STORM SHUTTERS HAVE BEEN TESTED TO THE MAXIMUM SPANS AND LOADS SHOWN ON THESE DRAWINGS. DESIGN IS BASED ON CONSTRUCTION TESTING CORPORATION (C.T.C.) TEST REPORTS No. 98-016, No. 98-017, No. 98-017R, No. 98-057, 99-045, No. 00-051 AND No. 00-135BC AND HURRICANE TEST LABORATORY, LLC (HTL) No. 0353-0904-05.
13. ALL EXTRUSIONS SHOWN SHALL BE 6063-T6 ALUMINUM ALLOY, U.O.N.
14. ALL SCREWS AND BOLTS TO BE 2024-T4 ALUMINUM ALLOY, STAINLESS STEEL, OR GALVANIZED STEEL WITH A MINIMUM TENSILE STRENGTH OF 60 K.S.I., U.O.N. POP RIVETS TO BE 3/16"Ø, 5052 ALUM. ALLOY, U.O.N.
15. TOP AND BOTTOM DETAILS MAY BE INTERCHANGED AS FIELD CONDITIONS REQUIRE.
16. THE PERMIT HOLDER SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE BEFORE COMMENCING WITH THE WORK.
17. THE 6.8 & HR ACCORDION SHUTTERS MAY BE MOUNTED WITH THE INSIDE AND OUTSIDE OF SHUTTER BEING REVERSED. FOR EXAMPLE: IT IS PERMISSIBLE TO MOUNT EXTRUSIONS ON INSIDE OF WOOD OR CONCRETE BEAM WITH BACK OF SLAT FACING OUTSIDE.
18. FLOOR TRACKS MAY BE REMOVABLE AT NON-STACKING LOCATIONS. USE REMOVABLE ANCHORS.
19. THE HR ACCORDION SHUTTER SLAT HAS A BULGE @ CENTER OF SLAT TO DISTINGUISH FROM THE 6.8 ACCORDION SHUTTER SLAT.
20. ALL EXTRUSIONS CAN BE USED FOR THE 6.8 OR THE HR ACCORDION SHUTTER SYSTEMS, U.O.N.



**TYPICAL ACCORDION SHUTTER ELEVATION**

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JOHN W. KNEZEVICH, FL 0041961 ON 12/19/2005. THIS DOES NOT CONSTITUTE AN ELECTRONIC SIGNATURE. ORIGINAL, SIGNED & SEALED HARD COPIES TO THE APPROPRIATE AGENCY WILL FOLLOW.



FLORIDA BUILDING CODE, 2004

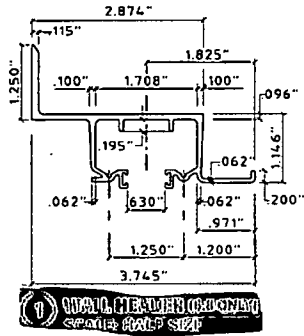
NO.	DATE	BY	DESCRIPTION
0	11/18/05	JWA	REVISED PER 05-578-01
1	11/27/05	JWA	REVISED PER 05-578-01

DATE: 11/18/2005  
 DRAWN BY: JWA  
 CHECKED BY: JWA  
 DESIGNED BY: JWA  
 IN CHARGE: JWA

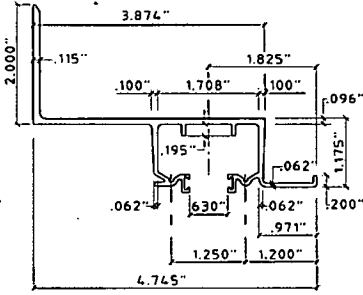
**Thornton-Tomasetti Group**  
330 N. Andrews Ave., Suite 430 - Ft. Lauderdale, FL 33301  
Tel: (954) 572-3690 Fax: (954) 572-3691 COA # 7519  
Website: www.tti-group.com  
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**John E. Country**  
Professional Engineer  
400 River McVay Road - Fort Lauderdale, FL 33309  
Phone: (954) 220-5019 Fax: (954) 919-7205

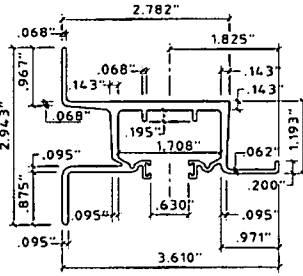
### ACCORDION SHUTTER COMPONENTS FOR 6.8 & HR ACCORDION SHUTTER SYSTEMS



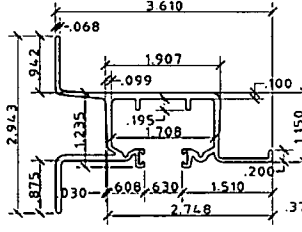
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SCALE: HALF SIZE



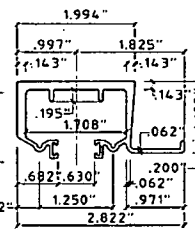
2 BUILD OUT WALL HEADER (6.8 ONLY)  
SCALE: HALF SIZE



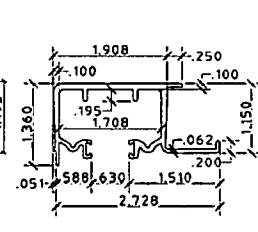
3 HEAVY WALL HEADER  
SCALE: HALF SIZE



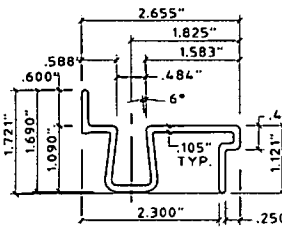
4 LITE WALL HEADER  
SCALE: HALF SIZE



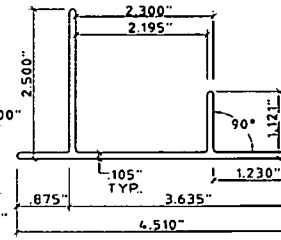
5 HEAVY HEADER  
SCALE: HALF SIZE



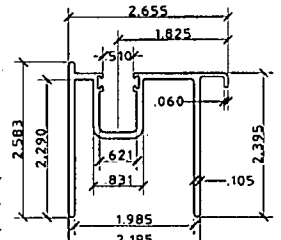
6 LITE HEADER  
SCALE: HALF SIZE



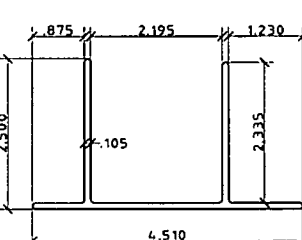
7 BASE SILL  
SCALE: HALF SIZE



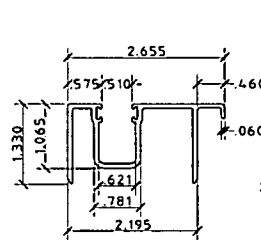
8 BASE TRACK  
SCALE: HALF SIZE



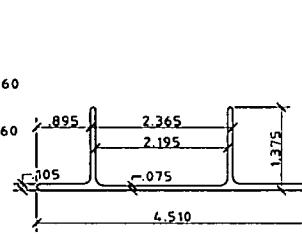
9 ADJUSTABLE SILL  
SCALE: HALF SIZE



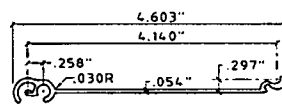
10 ADJUSTABLE SILL BASE  
SCALE: HALF SIZE



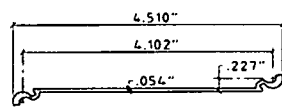
11 ADJUSTABLE SILL  
SCALE: HALF SIZE



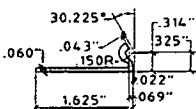
12 ADJUSTABLE SILL BASE  
SCALE: HALF SIZE



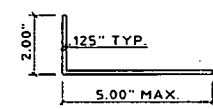
13 TYP. 6.8 SLAT  
SCALE: HALF SIZE



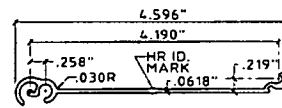
15 ALT. 6.8 SLAT  
SCALE: HALF SIZE



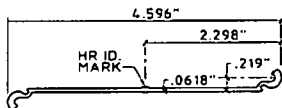
17 6.8 STARTER  
SCALE: HALF SIZE



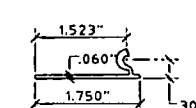
18 ANGLE (CONCRETE)  
SCALE: 3" = 1'-0"



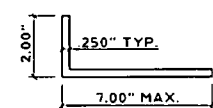
14 TYP. HR SLAT  
SCALE: HALF SIZE



16 ALT. HR SLAT  
SCALE: HALF SIZE



18 HR STARTER  
SCALE: HALF SIZE



20 ANGLE (HR ONLY)  
SCALE: 3" = 1'-0"

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Professional Engineer  
FL License No. PE 9041981  
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Division of RT Systems Co., Inc.  
490 West McRob Road • Fort Lauderdale, FL 33309  
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NO. 17001

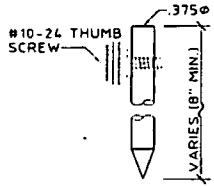
DEC 28 2005

FLORIDA BUILDING CODE, 2004

REVISIONS	DATE	BY	DESCRIPTION

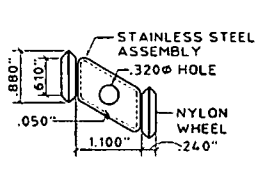
DATE: 11/18/2005  
 AS NOTED  
 CHECKED BY: JWX  
 DRAWN BY: JWX  
 SHEET NO.: 05-578  
 SHEET 2 OF 13

### ACCORDION SHUTTER COMPONENTS FOR 6.8 & HR ACCORDION SHUTTER SYSTEMS



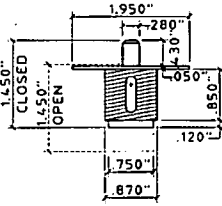
FOR USE WITH  
23 AND 24 ONLY

**21 SLIDE ROD**  
SCALE: HALF SIZE

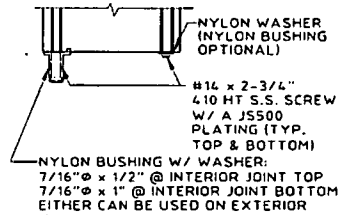


TYP. AT EVERY OTHER  
INSIDE JOINT AT TOP.

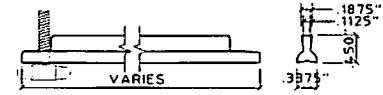
**22 ROLLER ASSEMBLY**  
SCALE: HALF SIZE



**23 BRASS PUSH LOCK**  
SCALE: HALF SIZE

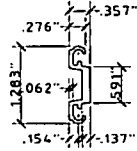


**24 BUSHING ASSEMBLY DETAIL**  
SCALE: HALF SIZE

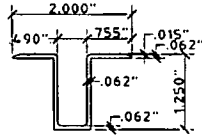


FOR 6.8 & HR WHERE LOCK PINS ARE USED, THEY ARE ENGAGED IN  
THE STACKED POSITION & AREN'T REQ'D IN THE CLOSED POSITION.

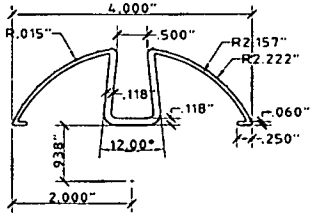
**25 ALUMINUM OR PVC LOCK PIN (NOT REQUIRED)**  
SCALE: HALF SIZE



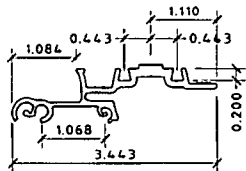
**26 CENTER BOX INSERT**  
SCALE: HALF SIZE



**27 RECESS SILL (6.8 ONLY)**  
SCALE: HALF SIZE

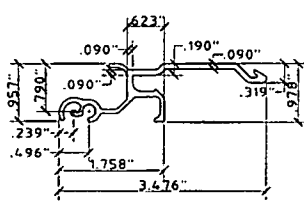


**28 DECORATIVE FLOOR TRACK (6.8 ONLY)**  
SCALE: HALF SIZE



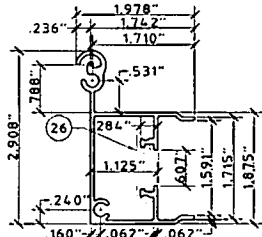
(6.8 ONLY)

**29 MALE/FEMALE LOCK**  
SCALE: HALF SIZE

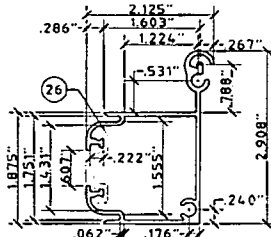


(6.8 ONLY)

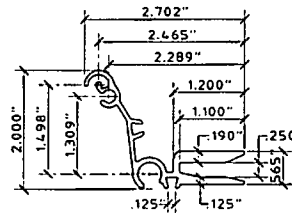
**30 UNIMATE LOCK**  
SCALE: HALF SIZE



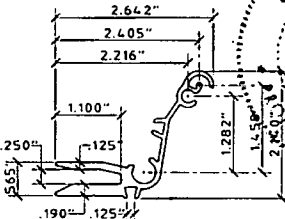
**31 MALE BOX CENTER**  
SCALE: HALF SIZE



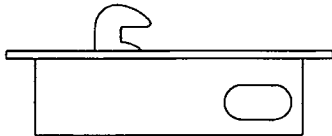
**32 FEMALE BOX CENTER**  
SCALE: HALF SIZE



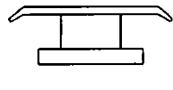
**33 CENTER MATE 1**  
SCALE: HALF SIZE



**34 CENTER MATE 2**  
SCALE: HALF SIZE

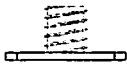


**35 BOX LOCK**  
SCALE: HALF SIZE



(6.8 ONLY)

**36 T-ADAPTER**  
SCALE: HALF SIZE



(6.8 ONLY)

**37 THREADED INSERT**  
SCALE: FULL SIZE

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NO. 05-578

DATE: 11/18/2005

AS NOTED

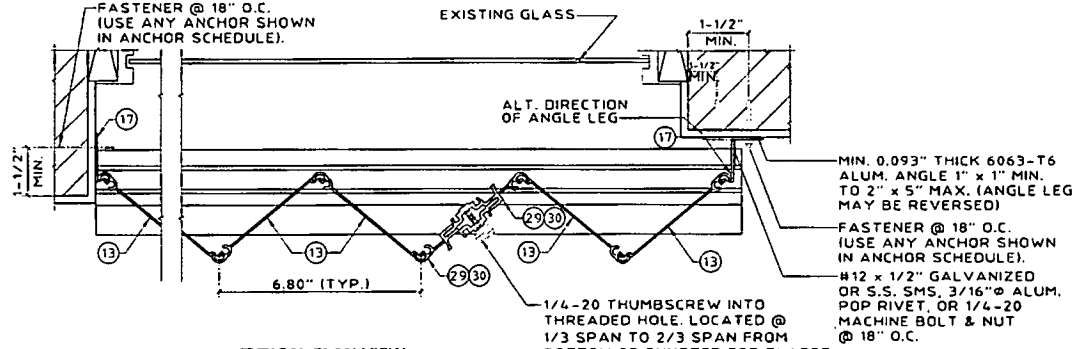
BY: JWA

CHECKED BY: JWA

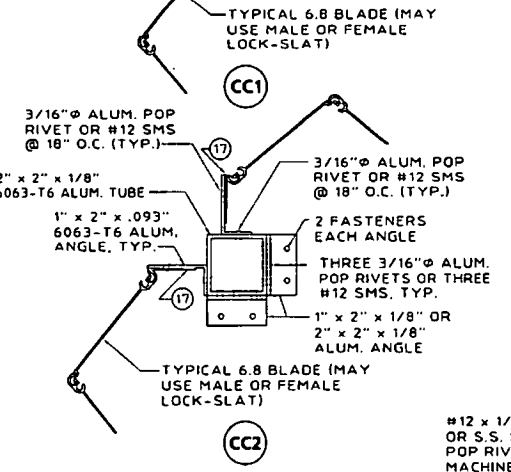
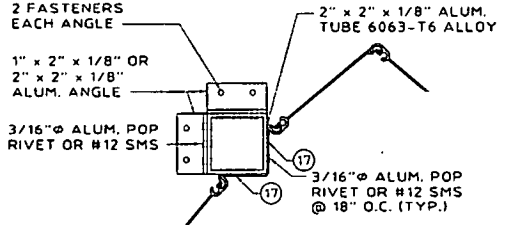
SCALE: 1/2" = 1'-0"

SHEET 3 OF 13

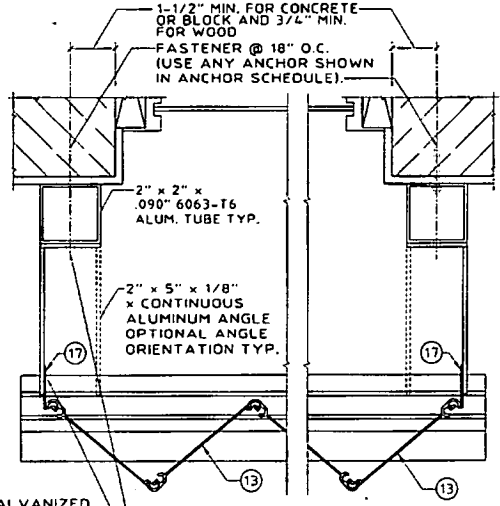
### 6.8 ACCORDION SHUTTER NOT APPLICABLE TO HR ACCORDION SHUTTER



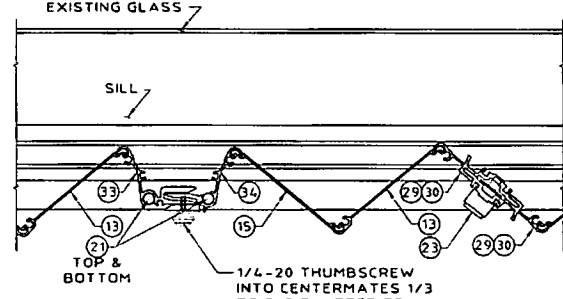
**TYPICAL PLAN VIEW**  
SCALE: 3" = 1'-0"



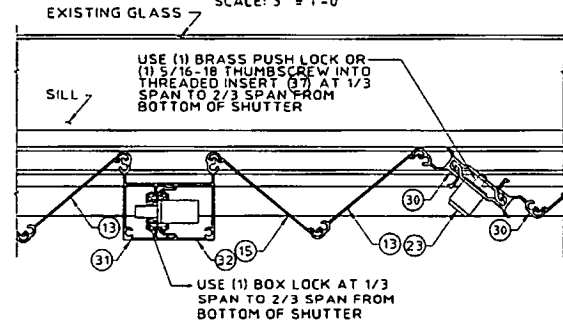
**TYPICAL CORNER CLOSURE DETAILS**  
SCALE: 3" = 1'-0"



**SIDE CLOSURE OPTIONS**  
SCALE: 3" = 1'-0"



**MULTIPLE SHUTTER ASSEMBLY**  
SCALE: 3" = 1'-0"



**MULTIPLE SHUTTER ASSEMBLY**  
SCALE: 3" = 1'-0"

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 400 West McRob Road - Fort Lauderdale, FL 33301  
 Phone: (800) 225-5019 - Fax: (954) 926-7201

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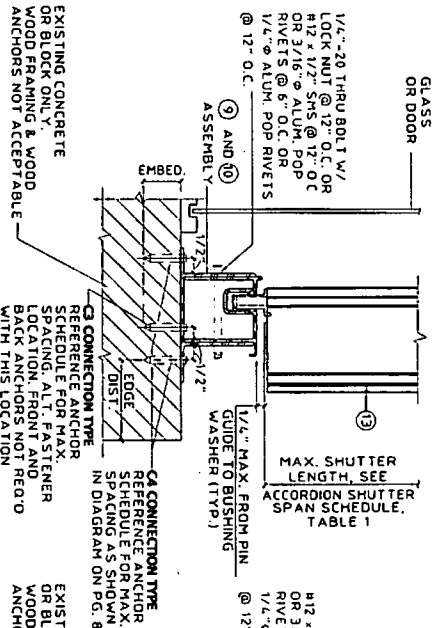
NO.	DATE	BY	DESCRIPTION
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11/18/2005  
AS NOTED  
MCR  
JWK  
JWK  
05-578  
Sheet 4 of 13

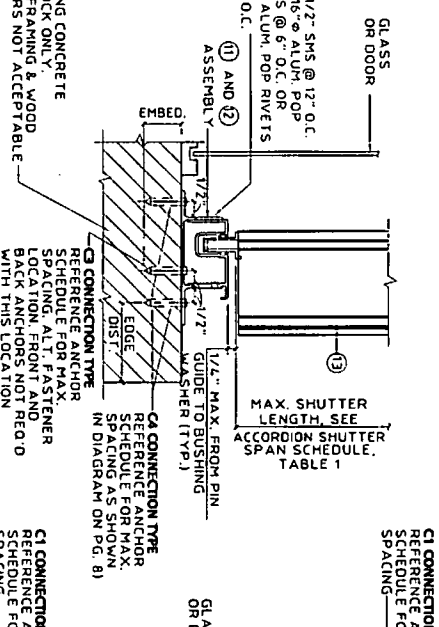
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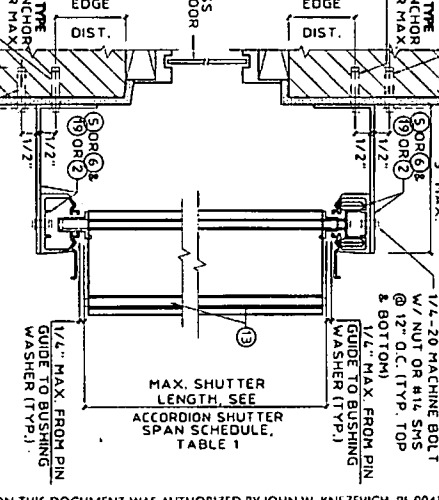
**6.8 ACCORDION SHUTTER**  
NOT APPLICABLE TO HR ACCORDION SHUTTER



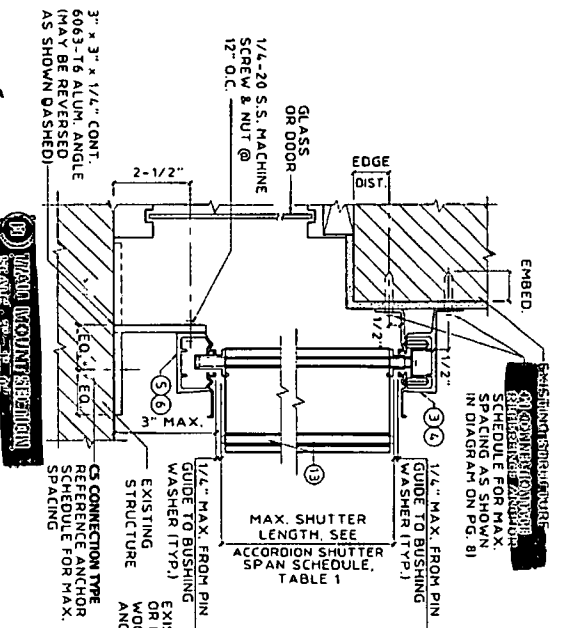
**A INSIDE MOUNT SECTION**  
SCALE: 3/8" = 1'-0"



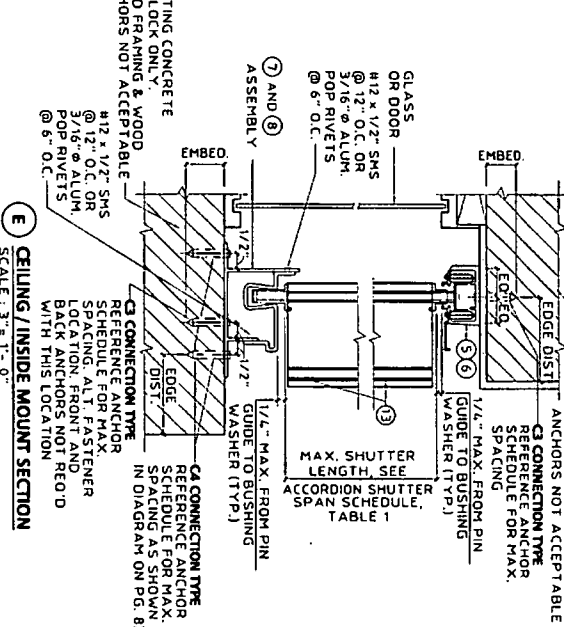
**B INSIDE MOUNT SECTION**  
SCALE: 3/8" = 1'-0"



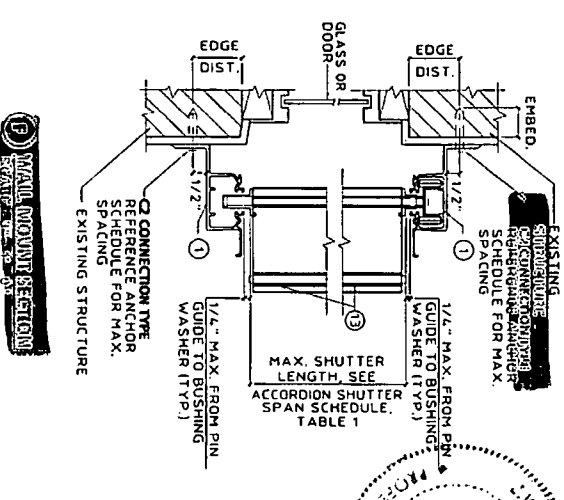
**C BUILD OUT MOUNT SECTION**  
SCALE: 3/8" = 1'-0"



**D WALL MOUNT SECTION**  
SCALE: 3/8" = 1'-0"



**E CEILING/INSIDE MOUNT SECTION**  
SCALE: 3/8" = 1'-0"



**F WALL MOUNT SECTION**  
SCALE: 3/8" = 1'-0"

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1	11/18/2005	JK	REV. DRAWING NO. 05-578-05 (1) 05-578-05
2	12/19/05	JK	REMOVE SEPARATION FROM GLASS BOLTS

8 HR ALUM. ACCORDION SHUTTERS

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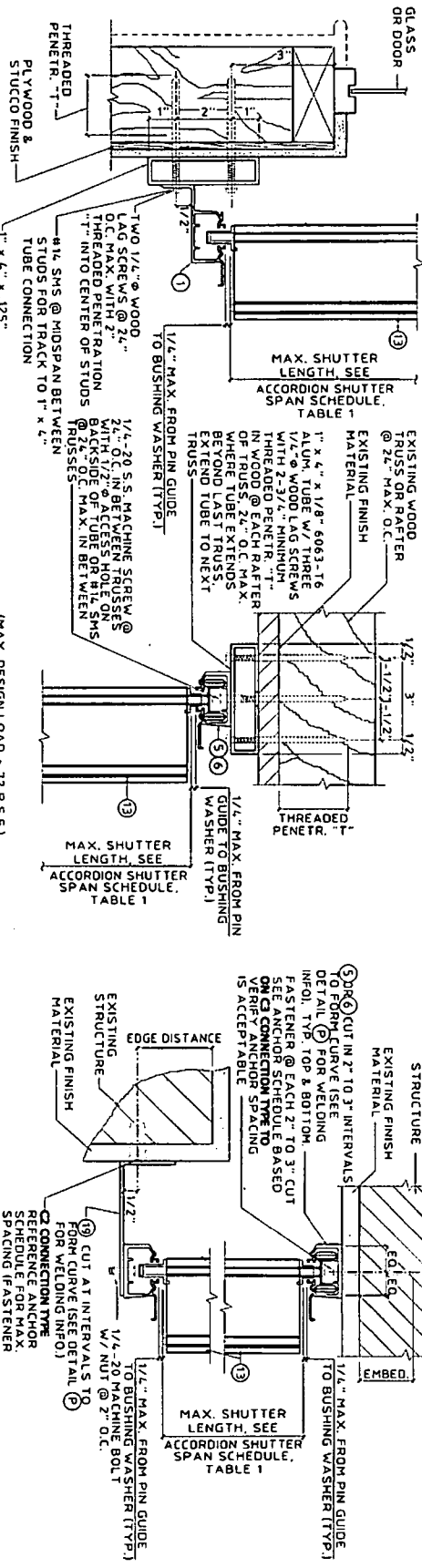
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**G WALL MOUNT SECTION**  
SCALE: 3" = 1'-0"

**H TRUSS MOUNT SECTION**  
SCALE: 3" = 1'-0"

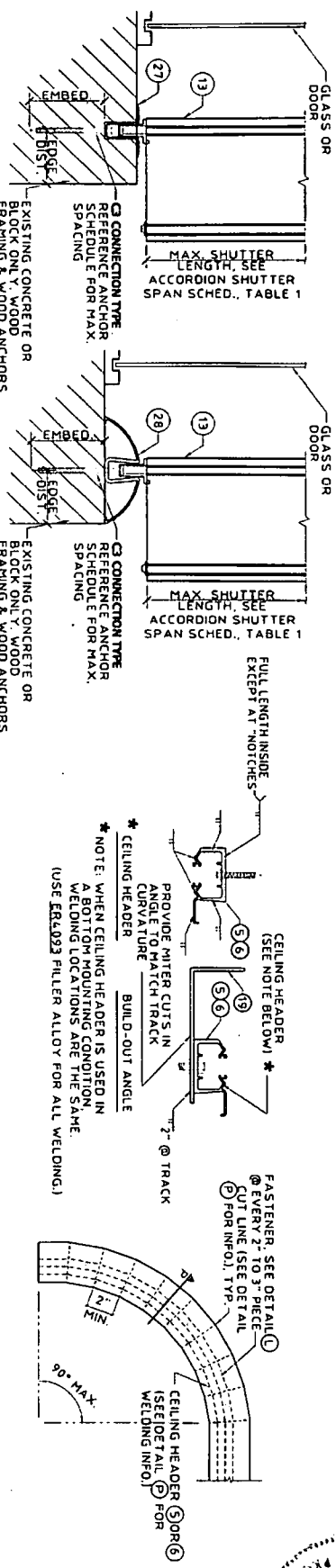
**L CURVED TRACK DETAIL**  
SCALE: 3" = 1'-0"

**M FLOOR MOUNT DETAIL**  
SCALE: 3" = 1'-0"

**N FLOOR MOUNT DETAIL**  
SCALE: 3" = 1'-0"

**P WELDING DETAILS**  
SCALE: 3" = 1'-0"

**CURVED TRACK PLAN VIEW**  
N.T.S.



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1	11/18/2005	...	...
2	12/19/2005	...	REMOVE SEPARATION FROM DRESSING

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ANCHOR SCHEDULE

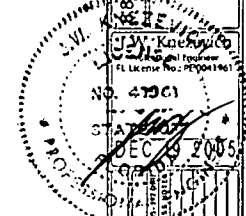
FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS

Table with columns for EXIST. STRUC., ANCHOR TYPE, LOAD (W), P.S.F., MAX. (SEE NOTE), and various MIN. EDGE DISTANCE categories (2nd and 3rd edge) with sub-columns for SPANS UP TO (6'-0", 9'-0", 15'-0").

ANCHOR NOTES:
1. SPANS AND LOADS SHOWN HERE ARE FOR DETERMINING ANCHOR SPACING ONLY. ALLOWABLE STORM SHUTTER SPANS FOR SPECIFIC LOADS MUST BE LIMITED TO THOSE SHOWN IN TABLE 1.
2. REFERENCE SHEET 13 FOR NOTES 2 THRU 10.

TABLE 1: ACCORDION SHUTTER SPAN SCHEDULE. Table with columns for NEGATIVE DESIGN LOAD W (P.S.F.), FOR ALL MOUNTING CONDITIONS (L max. (F-T-IN)), and FOR MOUNTING CONDITIONS (L max. (F-T-IN)).

TABLE 1 NOTES:
1. ENTER TABLE 1 WITH NEGATIVE DESIGN LOAD TO DETERMINE MAX. SHUTTER SPAN. POSITIVE LOADS LESS THAN OR EQUAL TO THE NEGATIVE LOAD ARE ACCEPTABLE.
2. FOR DESIGN LOADS BETWEEN TABULATED VALUES, USE NEXT HIGHER LOAD OR LINEAR INTERPOLATION MAY BE USED TO DETERMINE ALLOWABLE SPANS.
3. SHUTTER SPANS LESS THAN 32" ARE NOT ACCEPTABLE.



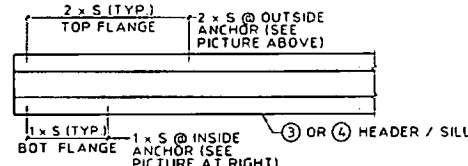
FLORIDA BUILDING CODE, 2004. THORNTON-TOMASETTI GROUP. 310 N. ANDREWS AVE., SUITE 430, Ft. Lauderdale, FL 33301. Tel: (954) 522-8690, Fax: (954) 522-8691, COA # 7519. Website: www.tti.com

**6.8 ACCORDION SHUTTER**  
 NOT APPLICABLE TO HR ACCORDION SHUTTER

**ANCHOR SCHEDULE**

FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS

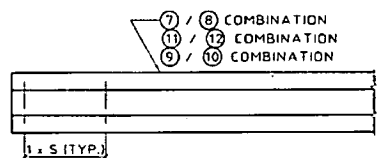
EXIST. STRUC.	ANCHOR TYPE	LOAD (w) P.S.F. MAX. (SEE NOTE 1)	MIN. 2" EDGE DISTANCE					MIN. 3" EDGE DISTANCE																								
			SPANS UP TO 6'-0"		SPANS UP TO 9'-0"		SPANS UP TO 15'-0"		SPANS UP TO 6'-0"		SPANS UP TO 9'-0"		SPANS UP TO 15'-0"																			
			(C1)	(C2)	(C3)	(C4)	(C5)	(C1)	(C2)	(C3)	(C4)	(C5)	(C1)	(C2)	(C3)	(C4)	(C5)															
HOLLOW CONCRETE BLOCK	1/4" ITW TAPCON W/ 1-1/4" MIN. EMBEDMENT	312	10	15	8	9	5	6	10	5	6	3	4	6	3	3	11	16	9	10	6	7	10	6	7	4	4	6	3	4		
		47.2	6	9	5	6	3	4	6	3	4	3	3	3	3	3	7	10	6	6	4	5	7	4	4	3	4	3	4			
		77.0	4	6	3	3	3	4	4	3	3	3	3	3	3	3	4	6	3	4	3	3	4	3	4	3	3	4	3	4		
		115.0	4	4	3	3	3	4	4	3	3	3	3	3	3	3	3	4	3	4	3	3	4	3	4	3	3	4	3	4		
	145.0	4	4	3	3	3	4	4	3	3	3	3	3	3	3	3	4	3	4	3	3	4	3	4	3	3	4	3	4			
	1/4" ELCO TAPCON W/ 1-1/4" MIN. EMBEDMENT	312	18	18	16	17	11	15	18	11	11	7	9	13	6	7	4	18	18	18	18	14	18	18	13	14	9	11	17	8	8	5
		47.2	15	18	10	11	7	10	15	7	7	5	6	8	4	4	3	18	18	13	14	9	13	18	9	9	6	7	10	5	5	3
77.0		9	14	6	7	4	6	9	4	4	3	4	3	3	3	3	12	17	8	9	6	8	11	5	6	4	5	4	4	4	3	
1/4" ELCO MALE/FEMALE "PANELMATE" W/ 1-1/4" MIN. EMBEDMENT & 1/4"-20 MACHINE SCREW WITH NUT	312	18	18	12	13	9	12	18	8	8	6	7	10	4	5	3	18	18	15	16	11	15	18	10	11	7	9	13	6	6	4	
	47.2	12	17	8	8	5	8	11	5	5	3	4	6	3	3	3	15	18	10	10	7	10	14	6	7	4	6	8	4	4	3	
	77.0	7	11	5	5	3	5	7	3	3	3	3	3	3	3	3	9	13	6	6	4	6	9	4	4	3	4	4	3	3	3	
5/16" XL ITW TAPCON W/ 1-1/4" MIN. EMBEDMENT	312	15	18	10	11	7	10	15	7	7	5	6	9	4	4	3	18	18	15	16	11	15	18	10	10	7	9	13	6	6	4	
	47.2	10	15	7	7	5	6	10	4	5	3	4	5	3	3	3	15	18	10	10	7	10	14	6	7	4	6	8	4	4	3	
	77.0	8	9	4	4	3	6	8	4	4	3	3	3	3	3	3	9	13	6	6	4	6	8	4	4	3	4	4	3	3	3	
1/4" ELCO CRETE FLEX W/ 1-1/4" MIN. EMBEDMENT	312	18	18	15	16	10	13	18	10	11	7	8	11	6	6	4	18	18	18	18	13	17	18	12	13	8	10	14	7	8	5	
	47.2	13	18	10	10	7	9	13	6	7	4	5	7	4	4	3	17	18	12	13	8	13	18	8	9	5	6	9	5	5	3	
	77.0	8	12	6	6	4	8	8	4	4	4	4	3	3	3	3	10	15	7	8	5	6	10	5	5	3	5	4	3	4	3	
1/4" ALL-POINTS SOLID-SET ANCHOR W/ 7/8" EMBEDMENT & 1/4"-20 STAINLESS STEEL MACHINE SCREW	312	18	18	10	11	8	12	17	7	7	5	7	10	4	4	3	18	18	18	18	13	18	18	12	12	9	12	18	7	7	5	
	47.2	12	17	7	7	5	8	11	4	5	3	4	6	3	3	3	18	18	12	12	9	13	18	8	8	6	8	11	4	5	3	
	77.0	7	10	4	4	3	4	7	3	3	3	3	3	3	3	3	12	16	7	7	5	8	12	4	5	3	6	5	3	3	3	



NOTE: "S" INDICATES ANCHOR SCHEDULE SPACING.

**SPACING DIAGRAM FOR C1 CONNECTION TYPE:**

- C1 CONNECTION TYPE USING PIECE 3 OR 4
- APPLICABLE TO HR SYSTEM ONLY



NOTE: "S" INDICATES ANCHOR SCHEDULE SPACING.

**SPACING DIAGRAM FOR C4 CONNECTION TYPE:**

- C4 CONNECTION TYPE USING PIECE 3 OR 4 OR 9 OR 10
- WITH OUTSIDE ANCHORS ONLY
- APPLICABLE TO HR SYSTEM ONLY

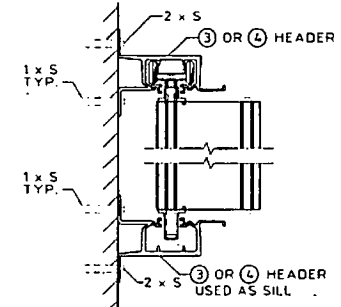
**ANCHOR SCHEDULE**

FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS

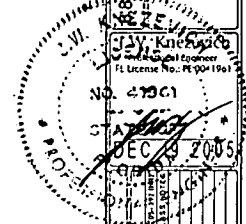
EXIST. STRUC.	ANCHOR TYPE	LOAD (w) P.S.F. MAX. (SEE NOTE 1)	MIN. 3/4" EDGE DISTANCE																				
			SPANS UP TO 6'-0"			SPANS UP TO 9'-0"			SPANS UP TO 15'-0"														
			(C1)	(C2)	(C3)	(C4)	(C5)	(C1)	(C2)	(C3)	(C4)	(C5)	(C1)	(C2)	(C3)	(C4)	(C5)						
WOOD	1/4" WOOD LAG SCREW W/ MINIMUM 2" PENETRATION SHEAR PARALLEL OR PERPENDICULAR TO WOOD GRAIN	312	18	18	18	18	18	18	15	15	12	18	18	9	9	7	18	18	9	9	7		
		47.2	18	18	15	15	12	18	18	10	10	8	17	18	6	6	5	17	18	4	4	3	
		77.0	18	18	9	9	7	18	18	6	6	5	12	10	4	4	3	12	10	4	4	3	
		115.0	18	18	6	6	5	12	10	4	4	3	12	10	4	4	3	12	10	4	4	3	
1/4" ELCO MALE/FEMALE "PANELMATE" W/ 1-7/8" MIN. PENETRATION & 1/4"-20 MACHINE SCREW WITH NUT	312	18	18	18	18	13	18	18	12	13	9	11	16	7	8	5	18	18	12	13	9		
	47.2	18	18	12	13	9	12	18	8	8	6	7	10	5	5	3	7	10	5	5	3		
	77.0	11	17	7	8	5	7	11	5	5	3	5	4	3	3	5	4	3	3	5	4	3	3
	115.0	7	11	5	5	3	5	4	3	3	3	5	4	3	3	5	4	3	3	5	4	3	3
145.0	6	16	4	4	4	5	4	3	3	3	5	4	3	3	5	4	3	3	5	4	3	3	

**ANCHOR NOTES:**

1. SPANS AND LOADS SHOWN HERE ARE FOR DETERMINING ANCHOR SPACING ONLY. ALLOWABLE STORM SHUTTER SPANS FOR SPECIFIC LOADS MUST BE LIMITED TO THOSE SHOWN IN TABLE 1.
2. REFERENCE SHEET 13 FOR NOTES 2 THRU 10.



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NO.	DATE	BY	DESCRIPTION
1	11/18/2005	JWK	AS NOTED

11/18/2005

AS NOTED

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CHECKED BY: JWK

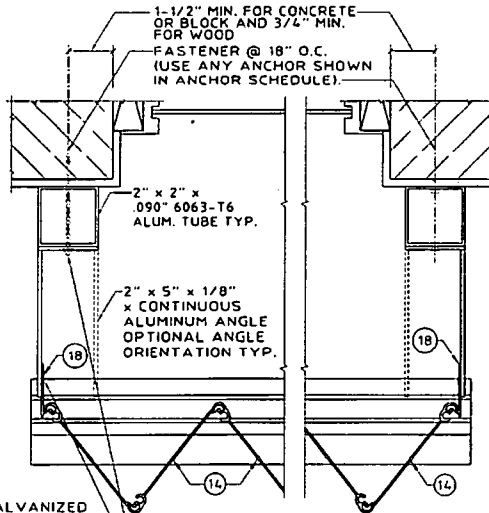
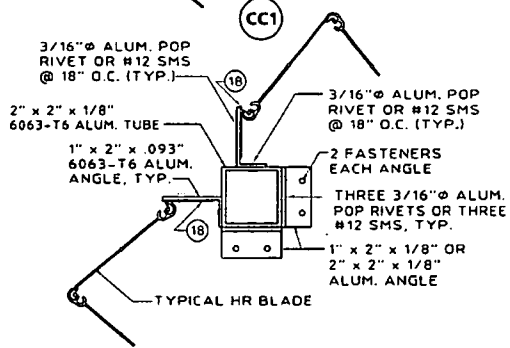
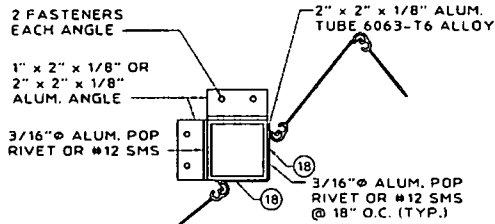
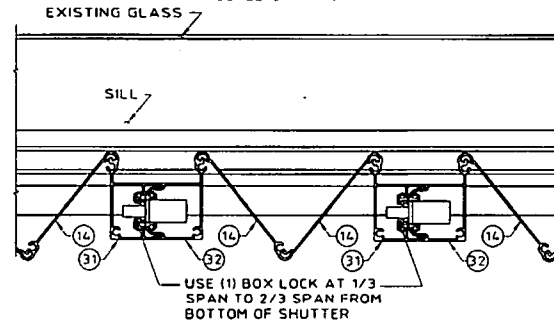
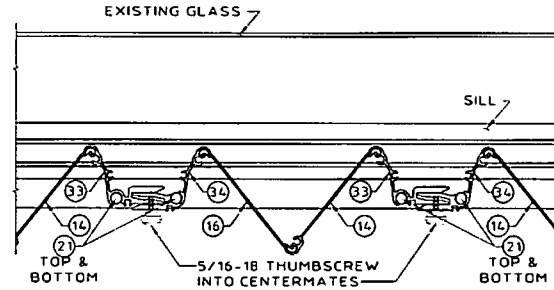
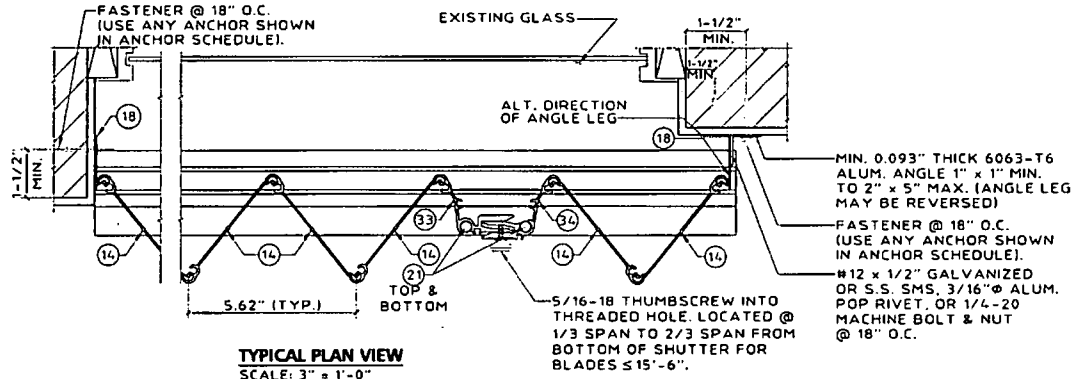
95-578

SHEET 8 OF 13

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 Tel: (954) 522-3699 Fax: (954) 522-3691 COA # 7519  
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no	date	by	description
1			ISSUED FOR PERMIT
2			REVISED PER PERMIT
3			REVISED PER PERMIT
4			REVISED PER PERMIT

DATE: 11/18/2005

DESIGNED BY: MCR

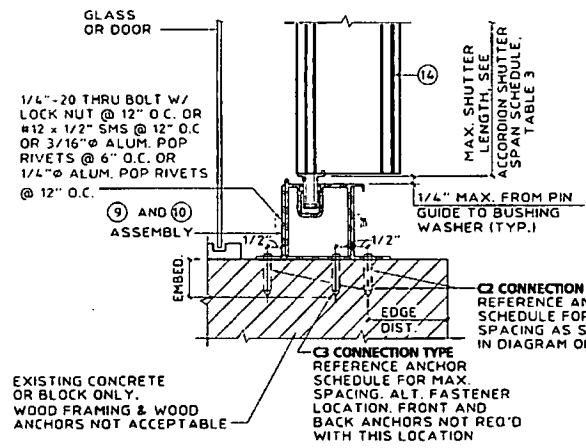
CHECKED BY: MCR

DRAWING NO.: 05-578

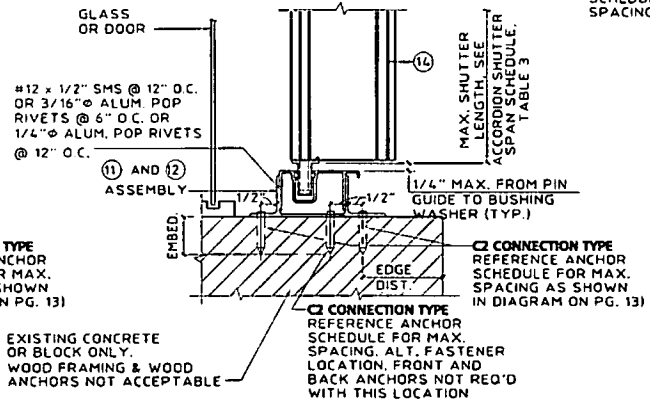
SHEET 9 OF 13

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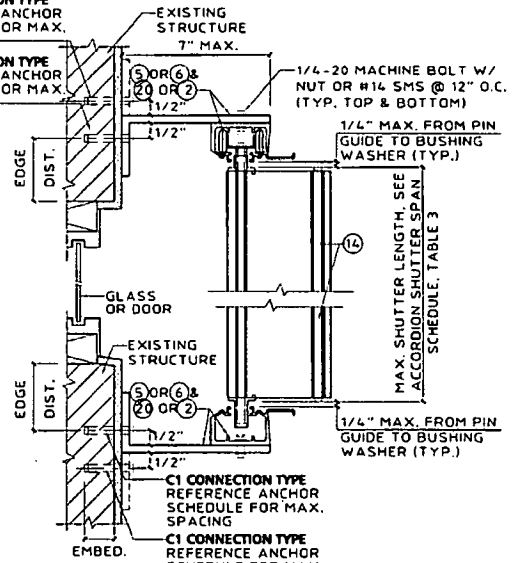
**HR ACCORDION SHUTTER**  
 NOT APPLICABLE TO 6.8 ACCORDION SHUTTER



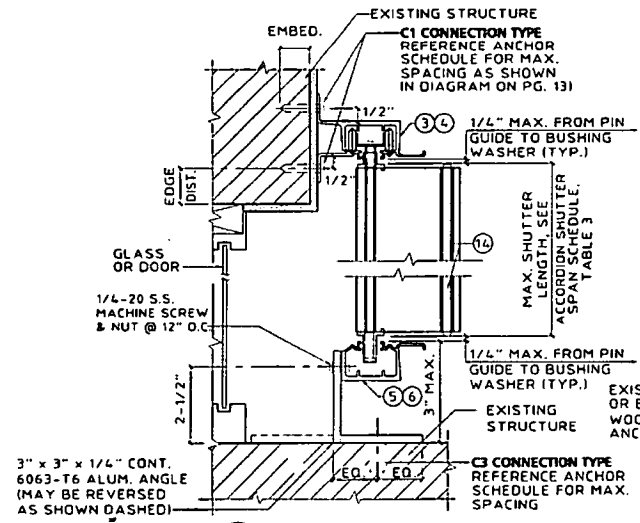
**Q INSIDE MOUNT SECTION**  
 SCALE: 3" = 1'-0"



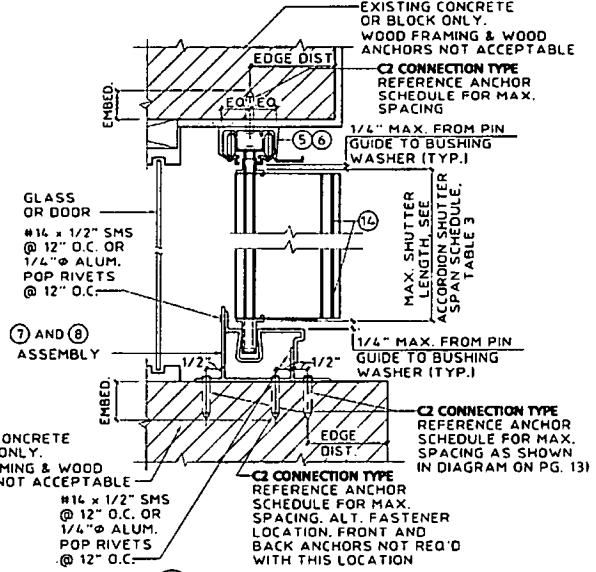
**R INSIDE MOUNT SECTION**  
 SCALE: 3" = 1'-0"



**S BUILD OUT MOUNT SECTION**  
 SCALE: 3" = 1'-0"



**T WALL MOUNT SECTION**  
 SCALE: 3" = 1'-0"



**U CEILING / INSIDE MOUNT SECTION**  
 SCALE: 3" = 1'-0"

**C1 CONNECTION TYPE**  
 REFERENCE ANCHOR  
 SCHEDULE FOR MAX.  
 SPACING

**C1 CONNECTION TYPE**  
 REFERENCE ANCHOR  
 SCHEDULE FOR MAX.  
 SPACING

**C1 CONNECTION TYPE**  
 REFERENCE ANCHOR  
 SCHEDULE FOR MAX.  
 SPACING

**C1 CONNECTION TYPE**  
 REFERENCE ANCHOR  
 SCHEDULE FOR MAX.  
 SPACING

**C1 CONNECTION TYPE**  
 REFERENCE ANCHOR  
 SCHEDULE FOR MAX.  
 SPACING

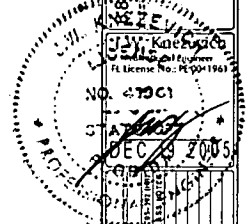
**C1 CONNECTION TYPE**  
 REFERENCE ANCHOR  
 SCHEDULE FOR MAX.  
 SPACING

**C1 CONNECTION TYPE**  
 REFERENCE ANCHOR  
 SCHEDULE FOR MAX.  
 SPACING

**C1 CONNECTION TYPE**  
 REFERENCE ANCHOR  
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 SPACING

**C1 CONNECTION TYPE**  
 REFERENCE ANCHOR  
 SCHEDULE FOR MAX.  
 SPACING

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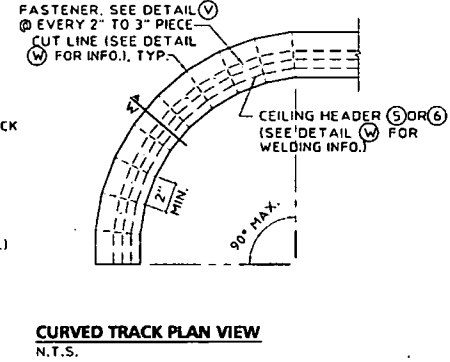
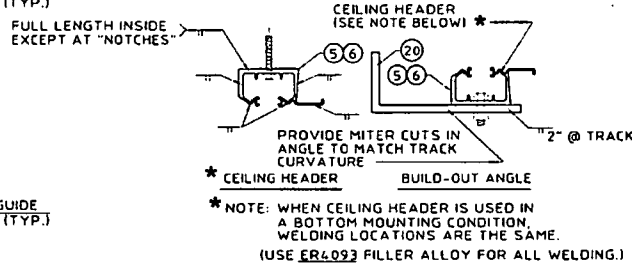
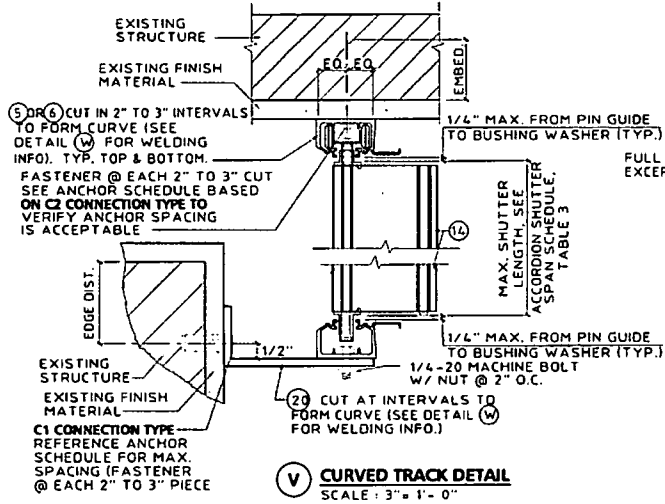
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 110 N. Andrews Ave., Suite 400, Ft. Lauderdale, FL 33309  
 Tel: (954) 771-1100 Fax: (954) 771-1101  
 Web: www.thorntontomasetti.com

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 Phone: (888) 226-5919 Fax: (954) 976-7205

NO. 4701	DATE 11/18/2005
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05-578	Sheet 10 of 13

**HR ACCORDION SHUTTER**  
 NOT APPLICABLE TO 6.8 ACCORDION SHUTTER

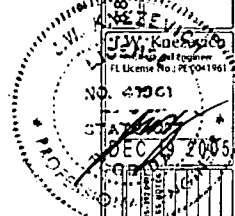


**TABLE 3 NOTE:**

1. ENTER TABLE WITH NEGATIVE DESIGN LOAD TO DETERMINE MAX. SHUTTER LENGTH. POSITIVE LOADS LESS THAN OR EQUAL TO THE NEGATIVE LOAD ARE ACCEPTABLE. FOR DESIGN LOADS BETWEEN TABULATED VALUES, USE NEXT HIGHER LOAD OR LINEAR INTERPOLATION MAY BE USED TO DETERMINE ALLOWABLE SPANS.

ACCORDION SHUTTER SPAN SCHEDULE	
DESIGN WIND LOAD W (P.S.F.)	FOR ALL MOUNTING CONDITIONS L max. (F.T.-IN)
64.5	15-6
70.0	14-10
75.0	14-6
85.0	13-1
90.0	12-6
95.0	11-8
101.0	11-1
128.0	11-0
134.0	10-6
140.0	10-1
150.0	9-5
157.0	9-0
160.0	9-0
170.0	9-0
175.0	9-0

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date	11/18/2005
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checked by	JWX
approved by	
description	
revision	
no.	
date	

05-578  
 sheet 11 of 13

**Thornton-Tomasetti Group**  
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 A Division of TRC Supply Co., Inc.  
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### HR ACCORDION SHUTTER NOT APPLICABLE TO 6.8 ACCORDION SHUTTER

ANCHOR SCHEDULE																				
FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS																				
EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 2° EDGE DISTANCE				MIN. 3° EDGE DISTANCE													
			SPANS UP TO 9'-0"   11'-0"   15'-6" (SEE NOTE 1)				SPANS UP TO 9'-0"   11'-0"   15'-6" (SEE NOTE 1)													
			CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)													
			C1	C2	C3	C1	C2	C3	C1	C2	C3	C1	C2	C3						
CONCRETE		57.5	16	8	6	16	6	5	12	4	3	16	9	7	16	8	6	13	5	4
		78.3	15	6	4	12	5	3	8	3		16	7	5	13	5	4	9	4	3
		130.0	9	3		7	3		6			9	4	3	8	3		7	3	
		153.0	7	3		6			6			8	3		7	3		7	3	
	175.0	6			6			6			7	3		7	3		7	3		
		57.5	16	16	12	16	14	10	16	9	7	16	16	13	16	15	11	16	11	7
		78.3	16	12	9	16	10	7	15	7	5	16	13	9	16	11	8	15	8	5
		130.0	15	7	5	12	6	4	11	5	4	16	8	5	13	6	4	11	6	4
		153.0	13	6	4	11	5	4	11	5	4	13	7	5	11	6	4	11	6	4
	175.0	11	5	4	11	5	4	11	5	4	11	6	4	11	6	4	11	6	4	
		57.5	16	12	8	16	9	7	14	7	5	16	15	10	16	12	8	16	8	6
		78.3	16	8	6	14	7	5	10	5	3	16	11	7	16	9	6	12	6	4
130.0		10	5	3	8	4	3	7	3		13	6	4	10	5	3	9	4	3	
153.0		9	4	3	7	3		7	3		11	5	4	9	4	3	9	4	3	
175.0	7	3		7	3		7	3		9	4	3	9	4	3	9	4	3		
	57.5	16	14	11	16	12	9	16	8	6	16	16	15	16	16	12	16	12	9	
	78.3	16	10	8	16	8	6	16	6	4	16	15	11	16	12	9	16	9	6	
	130.0	16	6	5	14	5	4	13	4	3	16	9	7	16	7	5	15	7	5	
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175.0	13	4	3	13	4	3	13	4	3	15	7	5	15	7	5	15	7	5		
	57.5	15	5	4	12	4	3	8	3		16	9	7	16	8	5	11	5	4	
	78.3	11	4	3	9	3		6			14	7	5	11	5	4	8	4	3	
	130.0	6			5			4			8	4	3	7	3		6	3		
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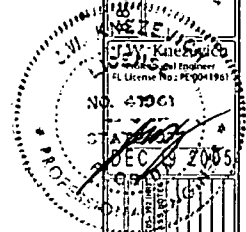
#### ANCHOR NOTES:

- SPANS AND LOADS SHOWN HERE ARE FOR DETERMINING ANCHOR SPACING ONLY. ALLOWABLE STORM SHUTTER SPANS FOR SPECIFIC LOADS MUST BE LIMITED TO THOSE SHOWN IN TABLE 3.
- REFERENCE SHEET 13 FOR NOTES 2 THRU 10.

ANCHOR SCHEDULE																				
FASTENER MAXIMUM SPACING (INCHES) REQUIRED FOR VARIOUS DESIGN LOADS AND SPANS																				
EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 2° EDGE DISTANCE				MIN. 3° EDGE DISTANCE													
			SPANS UP TO 9'-0"   11'-0"   15'-6" (SEE NOTE 1)				SPANS UP TO 9'-0"   11'-0"   15'-6" (SEE NOTE 1)													
			CONNECTION TYPE (SEE NOTE 3)				CONNECTION TYPE (SEE NOTE 3)													
			C1	C2	C3	C1	C2	C3	C1	C2	C3	C1	C2	C3						
HOLLOW CONCRETE BLOCK		57.5	5	3		4	2	3	3			5	3	4	2	3	3			
		78.3	4	3		3			3			4	3	4	3		3			
		130.0																		
		153.0																		
	175.0																			
		57.5	12	6	4	10	5	3	7	3		15	7	5	12	6	4	9	4	3
		78.3	9	4	3	7	3		5			11	5	4	9	4	3	6	3	
		130.0	5			4			4			6	3	5	5		5			
		153.0	4			4			4			5	5	5	5		5			
	175.0	4			4			4			5	5	5	5		5				
		57.5	16	6	5	13	5	4	9	3	3	16	9	6	14	7	5	10	5	3
		78.3	12	5	3	10	4	3	7			13	6	4	10	5	3	7	3	
130.0		7	3		6			5			7	3	6	3		5				
153.0		6			5			5			6	3	5	5		5				
175.0	5			5			5			5	5	5	5		5					
	57.5	10	5	4	8	4	3	6	3		13	7	5	11	5	4	7	4		
	78.3	7	4		6	3		4			9	5	3	8	4	3	5	3		
	130.0	4			3			3			5	3	4	4		4				
	153.0	4			3			3			5	3	4	4		4				
175.0	3			3			3			4	4	4	4		4					
	57.5	8	3		6	3		4			11	5	4	9	4	3	6	3		
	78.3	6			4			3			8	4	3	7	3		5			
	130.0	3			3			3			5		4	4		3				
	153.0	3			3			3			4		3	3		3				
175.0	3			3			3			3		3	3		3					

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NO.	DATE	BY	DESCRIPTION

DATE: 11/18/2005  
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 CHECKED BY: JWK  
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 SHEET 12 OF 13

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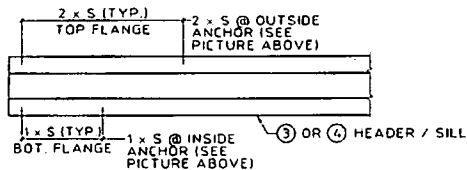
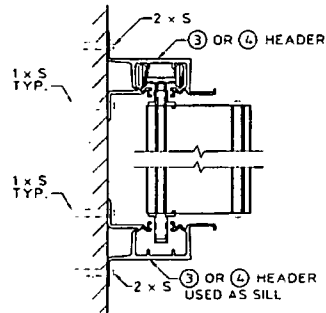
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**HR ACCORDION SHUTTER**  
NOT APPLICABLE TO 6.8 ACCORDION SHUTTER

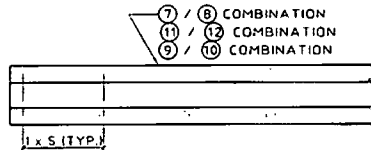
ANCHOR SCHEDULE											
FASTENER MAX. SPACING (IN.) REQ'D FOR VARIOUS DESIGN LOADS AND SPANS											
EXIST. STRUC.	ANCHOR TYPE	LOAD (W) P.S.F. MAX. (SEE NOTE 1)	MIN. 3/4" EDGE DISTANCE								
			SPANS UP TO								
		9'-0"		11'-0"		15'-6"					
		CONNECTION TYPE (SEE NOTE 3)									
		1) C1 C2 C3 C1 C2 C3 C1 C2 C3									
WOOD	1/4" Ø WOOD LAG SCREW W/ MIN. 2" THREADED PENETRATION SHEAR PARALLEL OR PERPENDICULAR TO WOOD GRAIN	38.3	16	12	10	16	10	8	16	7	6
		47.2	16	10	8	16	8	7	16	5	5
		57.5	16	8	7	16	6	5	16	4	4
	78.3	16	6	5	16	5	4	15	3	3	
	130.0	15	3	3	12	3		11			
	7/16" Ø WOOD BUSHING W/ 7/8" MIN. EMBEDMENT STAINLESS STEEL MACHINE SCREW	38.3	14			11				8	
47.2		11			9			6			
57.5		9			7			5			
78.3		6			5			4			
130.0		4			3			3			

**ANCHOR NOTES:**

- SPANS AND LOADS SHOWN HERE ARE FOR DETERMINING ANCHOR SPACING ONLY. ALLOWABLE STORM SHUTTER SPANS FOR SPECIFIC LOADS MUST BE LIMITED TO THOSE SHOWN IN TABLE 3.
- ENTER ANCHOR SCHEDULE BASED ON THE EXISTING STRUCTURE MATERIAL, ANCHOR TYPE AND EDGE DISTANCE. SELECT DESIGN LOAD GREATER THAN OR EQUAL TO NEGATIVE DESIGN LOAD ON SHUTTER AND SELECT SPAN GREATER THAN OR EQUAL TO SHUTTER SPAN.
- SEE MOUNTING SECTION DETAILS FOR IDENTIFICATION OF CONNECTION TYPE.
- EXISTING STRUCTURE MAY BE CONCRETE, HOLLOW BLOCK OR WOOD FRAMING. REFERENCE ANCHOR SCHEDULE FOR PROPER ANCHOR TYPE BASED ON TYPE OF EXISTING STRUCTURE AND APPROPRIATE CONNECTION TYPE. SEE CONNECTION DETAILS FOR IDENTIFICATION OF CONNECTION TYPE.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. EMBEDMENT LENGTHS SHALL BE AS NOTED AND DO NOT INCLUDE STUCCO OR OTHER FINISHES.
- WHERE EXISTING STRUCTURE IS WOOD FRAMING, WOOD FRAMING CONDITIONS VARY. FIELD VERIFY THAT FASTENERS ARE INTO ADEQUATE WOOD FRAMING MEMBERS, NOT PLYWOOD. FASTENING TO PLYWOOD IS ACCEPTABLE ONLY FOR SIDE CLOSURE PIECES.
- WHERE LAG SCREWS FASTEN TO NARROW FACE OF STUD FRAMING, FASTENER SHALL BE LOCATED IN CENTER OF NOMINAL 2" x 4" (MIN.) WOOD STUD. 3/4" EDGE DISTANCE IS ACCEPTABLE FOR WOOD FRAMING. WOOD STUD SHALL BE "SOUTHERN PINE" G-0.55 OR GREATER DENSITY. LAG SCREWS SHALL HAVE PHILLIPS PAN HEAD OR HEX HEAD.
- MACHINE SCREWS SHALL HAVE MINIMUM OF 1/2" ENGAGEMENT OF THREADS IN BASE ANCHOR AND MAY HAVE EITHER A PAN HEAD, TRUSS HEAD, OR WAFER HEAD (SIDEWALK BOLT). U.O.N.
- DESIGNATES ANCHOR CONDITIONS WHICH ARE NOT ACCEPTABLE USES.
- DESIGNATES ANCHORS WHICH ARE REMOVABLE BY REMOVING MACHINE SCREW, NUT OR WASHERED WINGNUT.



NOTE: "S" INDICATES ANCHOR SCHEDULE SPACING.  
**SPACING DIAGRAM FOR C1 CONNECTION TYPE:**  
- C1 CONNECTION TYPE USING PIECE 3 OR 4  
- APPLICABLE TO HR SYSTEM ONLY



NOTE: "S" INDICATES ANCHOR SCHEDULE SPACING.  
**SPACING DIAGRAM FOR C4 CONNECTION TYPE:**  
- C4 CONNECTION TYPE USING PIECE 8 OR 12 OR 10 WITH OUTSIDE ANCHORS ONLY  
- APPLICABLE TO HR SYSTEM ONLY

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JOHN W. KNEZEVICH, PE 0041961 ON 12/19/2005. THIS DOES NOT CONSTITUTE AN ELECTRONIC SIGNATURE. ORIGINAL SIGNED & SEALED HARD COPIES TO THE APPROPRIATE AGENCY WILL FOLLOW.

FLORIDA BUILDING CODE, 2004

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	11/18/2005		

AS NOTED

DESIGNED BY: JWK

CHECKED BY: JWK

DATE: 11/18/2005

PROJECT: 05-578

SHEET: 13 OF 13

**Thornton-Tomasetti Group**

330 N. Andrews Ave., Suite 450 - Ft. Lauderdale, FL 33301  
Tel: (954) 766-1919 - Fax: (954) 766-1919  
WebSite: www.thortontomasetti.com

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**Span & Country**

A Division of A.H. Smith Co., Inc.

400 West McNeil Road - Fort Lauderdale, FL 33309  
Phone: (954) 776-1919 - Fax: (954) 976-7205



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 37 MIRAMAR

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same:

HURRICANE SHUTTERS

NO PERMIT POSTED ON  
JOB SITE

\$45 REINSPECTION  
FEE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 8/27

INSPECTOR

**DO NOT REMOVE THIS TAG**



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~Thu~~ Thurs 9-4, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8819	Raskin	reinspect Final	PASS	CLOSE
9AM	144 N. Sewalls Coastline Landscape			INSPECTOR: <i>[Signature]</i>
7837	Krapel/Ragana	Final	PASS	CLOSE
1	4 Rio Vista Advanced Concepts			INSPECTOR: <i>[Signature]</i>
8755	Durante	Final	PASS	CLOSE
2	48 S Sewalls OB			C.O. INSPECTOR: <i>[Signature]</i>
<del>8983</del>	<del>3 MILAMAR</del>	<del>FINAL</del>	<del>PASS</del>	<del>CLOSE</del>
	3 MILAMAR J: B. ALUM.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

**9020**

**REPLACE WINDOWS**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9020	DATE ISSUED:	OCTOBER 7, 2008
SCOPE OF WORK:	REPLACE WINDOWS		
CONDITIONS :			
CONTRACTOR:	JENSEN BEACH ALUMINUM		
PARCEL CONTROL NUMBER:	013841009000001208	SUBDIVISION	MIRAMAR - LOT 12
CONSTRUCTION ADDRESS:	3 MIRAMAR RD		
OWNER NAME:	KRETT/ MATUSZEWSKI		
QUALIFIER:	MICHAEL GOODWILL	CONTACT PHONE NUMBER:	692-0090

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

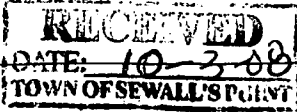
NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



Town of Sewall's Point
BUILDING PERMIT APPLICATION Permit Number:

Date:

OWNER/TITLEHOLDER NAME: RICHARD KRETT Phone (Day) (302) 437-6534 (Fax)

Job Site Address: 3 MIRAMAR RD, City: SEWALL'S PT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) 1-38-41-009-000-0120, B009 Parcel Number:

Owner Address (if different): 725 NEW BRIGHT CT City: MIDDLETOWN State: DE Zip: 19709

Scope of work: WINDOWS REPLACEMENT

WILL OWNER BE THE CONTRACTOR?

If yes, Owner Builder questionnaire must accompany application YES NO X

Has a Zoning Variance ever been granted on this property? Yes (Year) No (Must include a copy of all variance approvals with application)

CONSTRUCTION VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 14,000 Notice of Commencement required when over \$2500 - prior to first inspection Is subject property located in flood hazard area? V A9 A8 X FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY: Estimated Fair Market Value prior to improvement: (Fair Market Value of the Primary Structure only, Minus the land value) \*\*\* PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION\*\*\*

CONTRACTOR/Company: JENSON BLACH ALUMINUM INC Phone: 692-0090 Fax: 692-9744

Street: 1720 NEW FEDERAL HWY City: STUART State: FL Zip: 34994

State Registration Number: State Certification Number: CGG 1508437 Municipal License Number:

PROJECT SUPERINTENDANT: MICHAEL CONTACT NUMBER: (772) 418-0560

ARCHITECT Lic.#: Phone Number:

Street: City: State: Zip:

ENGINEER Lic# Phone Number:

Street: City: State: Zip:

AREA SQ. FOOTAGE: Living: Garage: Covered Patios: Screened Porch:

Carport: Total Under Roof Wood Decks/walkways: Accessory Building:

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.) National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1, 105.4.1.2, 105.4.1.3, 105.4.1.4, 105.4.1.5.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AUTHORIZED AGENT SIGNATURE (required)

State of Florida, County of: Martin

This the 3rd day of October, 2008

by Richard Krett who is personally

known to me or produced

as identification. Notary Public

My Commission Expires: Nov. 15, 2010

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: Martin

This the 3rd day of October, 2008

by Michael Goodwin who is personally

known to me or produced

as identification. Notary Public

My Commission Expires: Nov. 15, 2010

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION PER FBC 105.3.4 ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS PER FBC 105.3.2 - PLEASE PICK UP YOUR PERMIT PROMPTLY!



# Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...  
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## Summary

print | | | - / - / Address  
1 of 1

### Parcel Info

#### Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
01-38-41-009-000-00120-8	3 MIRAMAR RD	17752	Address	0	1

#### Summary

**Property Location** 3 MIRAMAR RD  
**Tax District** 2200 Sewall's Point  
**Account #** 17752  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120200  
**Acres** 0.344

**Legal Description**  
**Property Information**  
 MIRAMAR LOT 12 OR 340/771

### Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
 MATUSZEWSKI, FRANCIS J (L/E)  
 KRETT, RICHARD DAVID

**Mail Information**  
 725 NEW BRIGHTON CT  
 MIDDLETOWN DE 19709

**Assessment Info**  
 Front Ft. 0.00

**Market Land Value** \$218,500  
**Market Impr Value** \$132,820  
**Market Total Value** \$351,320

### Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
 Sale Amount \$0

**Sale Date** 5/11/2005  
**Book/Page** 2012 2832

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 09/23/2008



INSTR # 2112613 OR BK 02356 PG 2432 RECD 10/22/2008 08:05:03 AM  
Pg 2432 (199)  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK K Wintercorn

**NOTICE OF COMMENCEMENT**

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

9020

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 1-38-41-009-000-01-20,80000

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):  
MIRAMAR LOT 12 340/771 3 MIRAMAR RD

GENERAL DESCRIPTION OF IMPROVEMENT: WINDOW REPLACEMENT

OWNER NAME: RICHARD D KRETT  
ADDRESS: 725 NEWBRIGHT CT, MIDDLETOWN, DE 19709  
PHONE NUMBER: (302) 437-6524 FAX NUMBER: \_\_\_\_\_

INTEREST IN PROPERTY: OWNER  
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

CONTRACTOR: TENSEN BEACH ALUMINUM INC  
ADDRESS: 1720 NEW FEDERAL HWY 1 SUITE 1 FL 34994  
PHONE NUMBER: (772) 692-0090 FAX NUMBER: 692-9744

SURETY COMPANY (IF ANY): \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),

FLORIDA STATUES: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
( EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE Home Owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10<sup>th</sup> DAY OF Oct, 2008

BY: Richard D. Krett AS Home Owner FOR himself  
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN \_\_\_\_\_ OR PRODUCED IDENTIFICATION \_\_\_\_\_


TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_

NOTARY SIGNATURE/ SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 91.525, FLORIDA STATUTES).

(Signature of Natural Person Signing Above)

John Lee Tinney  
Notary Public, State of Florida  
My comm. exp. Nov. 15, 2010  
Comm. No. DD 615125

STATE OF FLORIDA  
MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL  
MARSHA EWING, CLERK  
BY K. Wintercorn D.C.  
DATE 10/22/08  




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**Data Contained In Search Results Is Current As Of  
10/06/2008 10:57 AM.**

**Search Results**

**Please see our [glossary of terms](#) for an explanation of the license status shown in these search results.**

**For additional information, including any complaints or discipline, click on the name.**

License Type	Name	Name Type	License Number/ Rank	Status/Expires
Certified General Contractor	<u>GOODWIN, MICHAEL LEE</u>	Primary	CGC1508437 Cert General	Current, Active 08/31/2010
<b>Address*:</b>		<b>Main</b>	1450 SE GRAPELAND AVE PORT ST LUCIE, FL 34952	
Certified General Contractor	<u>JENSEN BEACH ALUMINUM INC</u>	DBA	CGC1508437 Cert General	Current, Active 08/31/2010
<b>Address*:</b>		<b>Main</b>	1450 SE GRAPELAND AVE PORT ST LUCIE, FL 34952	

[Back](#) [New Search](#)

**\* denotes**

- Main Address - This address is the Primary Address on file.
- Mailing Address - This is the address where the mail associated with a particular license will be sent (if different from the Main or License Location addresses).
- License Location Address - This is the address where the place of business is physically located.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

## WINDOW/DOOR REPLACEMENT CHECKLIST AND SCHEDULE

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

*Please make sure you have ALL required copies before submitting permit application*

\_\_\_\_\_ 1 Copy Completed Permit Application

\_\_\_\_\_ 2 Copies Window/Door Schedule

\_\_\_\_\_ 2 Copies Manufacturer's Florida Product Approval and Specifications

\_\_\_\_\_ 2 Copies Floor Plan Sketch – Show location & ID number of each window/door.  
Must match window/door schedule.

**\*PLEASE NOTE:** At least one (1) exterior window or door must comply with the 2004 F.B.C. R310.4 as a single means of escape.

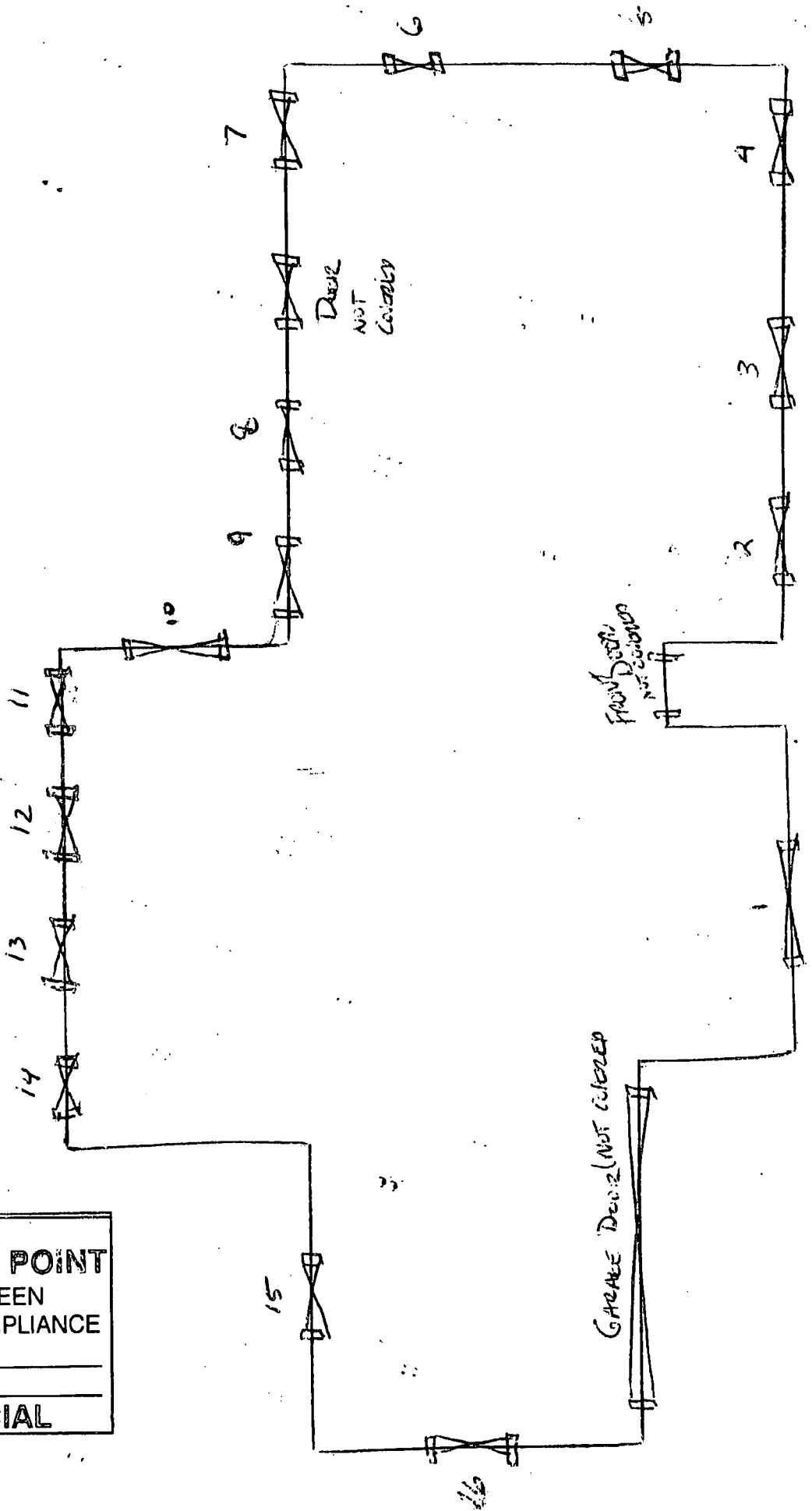
**ALL NEW WINDOWS AND/OR DOORS WITH GLAZING MUST HAVE IMPACT PROTECTION (SHUTTERS OR IMPACT GLASS). IF SHUTTERS ARE USED, A SEPARATE SHUTTER PERMIT MUST BE ISSUED PRIOR TO FINAL INSPECTION OF THE WINDOW/DOOR REPLACEMENT PERMIT.**

**PARTIAL WINDOW OR GLAZED DOOR REPLACEMENT THAT REPRESENTS LESS THAN 25% OF THE TOTAL GLAZED AREA OVER A 12 MONTH PERIOD IS EXEMPT FROM IMPACT PROTECTION REQUIREMENTS.**



RICHARD KRETT  
3 SE MIRAMAR RD  
JENSEN BEACH ALUMINUM INC.  
1720 NW FEDERAL HWY  
(772) 692-0090 / 692-9744 FAX

FILE COPY  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE 10.7.04  
 \_\_\_\_\_  
**BUILDING OFFICIAL**



## WINDOW/DOOR SCHEDULE

ID NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	108 X 63	1	SH		X	1" X STD MULL
2	75 X 39	2	SH		X	1" X STD MULL
3	39 X 39	3	SH		X	NO MULL BAR
4	75 X 39	4	SH		X	1" X STD MULL
5	75 X 39	5	SH		X	1" X STD MULL
6	75 X 39	6	SH		X	1" X STD MULL
7	75 X 39	7	SH		X	1" X STD MULL
8	27 X 39	8	SH		X	NO MULL BAR
9	75 X 51	9	SH		X	1" MULL BAR
10	75 X 51	10	SH		X	1" MULL BAR
11	75 X 51	11	SH		X	1" MULL BAR
12	75 X 51	12	SH		X	1" MULL BAR
13	75 X 51	13	SH		X	1" MULL BAR
14	75 X 51	14	SH		X	1" MULL BAR
15	75 X 51	15	SH		X	1" MULL BAR
16	53 X 50	16	SH		X	NO MULL BAR
17						
18						
19						
20						
21						
22						
23						
24						
25						
26						
27						
28						
29						
30						

TOTAL GLAZED OPENING AREA FOR STRUCTURE: \_\_\_\_\_ S.F.

\*PERCENTAGE OF NEW GLAZED AREA: 98 %  
 (TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2004 FBC/ EXISTING BUILDING 507.3.

\* TYPE WINDOWS

SH - SINGLE HUNG  
 DH - DOUBLE HUNG

AWN - AWNING  
 CAS - CASEMENT

SL - SLIDING  
 FIX - FIXED



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
 PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
 METRO-DADE FLAGLER BUILDING  
 140 WEST FLAGLER STREET, SUITE 1603  
 MIAMI, FLORIDA 33130-1563  
 (305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

**PGT Industries**  
**P.O. Box 1529**  
**Nokomis, FL 34274**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION:** Series **SH-4000 Aluminum Single Hung Window**

**APPROVAL DOCUMENT:** Drawing No. 2736, titled "Alum. Single Hung Window W/ STD. MTG. Rail", sheets 1 through 7 of 7, prepared, signed and sealed by Robert L. Clark, P.E., dated 12/15/04 with revision "F", on 09/20/06, bearing the Miami-Dade County Product Control Renewal Stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** None

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 05-0104.05 and, consists of this page 1 and evidence page E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Jaime D. Gascon, P.E.**



*J. Gascon*  
 10/20/06

NOA No 06-0706.04  
 Expiration Date: September 30, 2011  
 Approval Date: October 19, 2006  
 Page 1

**PGT Industries**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**A. DRAWINGS**

1. Manufacturer's die drawings and sections.
2. Drawing No 2736, titled "Series "Alum. Single Hung Window W/STD. MTG. Rail" Sheets 1 through 9 of 9, prepared by the manufacture dated 12/15/04 with revision "D", on 12/15/04, signed and sealed by Robert L. Clark, P.E.

**B. TESTS**

1. Test reports on 1) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94 along with marked-up drawings and installation diagram of aluminum single hung window, prepared by Fenestration Testing Laboratory, Inc., Test Report No. FTL-3654 signed and sealed by Joseph C. Chan, P.E.  
**"Submitted under NOA # 058-0104.05"**
2. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94  
2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94  
3) Water Resistance Test, per FBC, TAS 202-94  
4) Forced Entry Test, per FBC 2411.3.2.1 (b) and TAS 202-94  
along with marked-up drawings and installation diagram of aluminum single hung windows, prepared by Fenestration Testing Laboratory, Inc., Test Report No. FTL-2959, 2960, 2961, 2962, 2963 and 2964 dated various, signed and sealed by Antonio Acevedo, P.E. **"Submitted under NOA # 058-0104.05"**
3. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94  
2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94  
3) Water Resistance Test, per FBC, TAS 202-94  
4) Forced Entry Test, per FBC 2411.3.2.1 (b) and TAS 202-94  
along with marked-up drawings and installation diagram of aluminum single hung windows, prepared by Fenestration Testing Laboratory, Inc., Test Report No. FTL-4179 dated April 07, 2004, signed and sealed by Edmundo J. Largaespada, P.E.  
**"Submitted under NOA # 058-0104.05"**
4. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94  
2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94  
3) Water Resistance Test, per FBC, TAS 202-94  
4) Forced Entry Test, per FBC 2411.3.2.1 (b) and TAS 202-94  
along with marked-up drawings and installation diagram of aluminum single hung windows, prepared by Fenestration Testing Laboratory, Inc., Test Report No. FTL-4379 dated 11/04/04, signed and sealed by Edmundo J. Largaespada, P.E.



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Jaime D. Gascon, P.E.  
Chief, Product Control Division  
NOA No 06-0706.04

Expiration Date: September 30, 2011  
Approval Date: October 19, 2006

**PGT Industries**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**C. CALCULATIONS**

1. Revised Anchor Calculations, ASTM-E 1300-02, and structural analysis, prepared by PGT Industries, dated 09/20/06, signed and sealed by Robert L. Clark, P.E.

**D. QUALITY ASSURANCE**

1. Miami Dade Building Code Compliance Office (BCCO).

**E. MATERIAL CERTIFICATIONS**

1. None.

**F. STATEMENTS**

1. Statement letter of conformance and no financial, dated May 11, 2001, signed by Robert L. Clark, P.E.  
"Submitted under NOA # 04-0714.06"
2. Laboratory compliance statement as part of test reports for Test Report no. FTL-2959, 2960, 2961, 2962, 2963 and 2964, issued by Fenestration Testing Laboratory, Inc., signed and sealed by signed and sealed by Antonio Acevedo, P.E.  
"Submitted under NOA # 04-0714.06"

**G. OTHER**

1. Letter from the consultant stating that the product is in compliance with the Florida Building Code (FBC).
2. Notice of Acceptance No. 05-0104.05, issued to PGT Industries, Series SH-4000 Aluminum Single Hung Window, approved on 03/24/05, and expiring on 09/30/06.

  
Jaime D. Gascon, P.E.  
Chief, Product Control Division

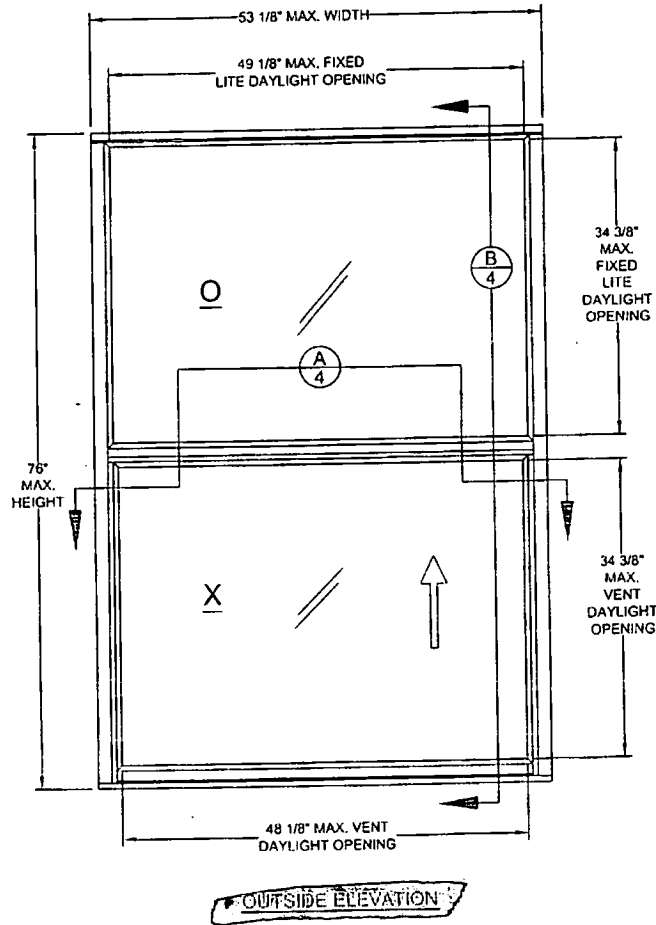
NOA No 06-0706.04

Expiration Date: September 30, 2011

Approval Date: October 19, 2006

**GENERAL NOTES: NON-IMPACT WINDOW**

1. GLAZING OPTIONS:
  - A. 1/8" ANNEALED GLASS
  - B. 1/8" TEMPERED GLASS
  - C. 3/16" ANNEALED GLASS
  - D. 1/4" ANNEALED GLASS
  - E. 3/16" TEMPERED GLASS
  - F. 1/4" TEMPERED GLASS
  - G. 1/2" I.G. GLASS CONSISTING OF (2) LITES OF 1/8" ANNEALED GLASS WITH A 1/4" AIR SPACE BETWEEN.
  - H. 1/2" I.G. GLASS CONSISTING OF (1) LITE OF 3/16" ANNEALED GLASS AND (1) LITE OF 1/8" ANNEALED GLASS WITH A 3/16" AIR SPACE BETWEEN.
  - △ I. 1/2" I.G. GLASS CONSISTING OF (2) LITES OF 1/8" TEMPERED GLASS WITH A 1/4" AIR SPACE BETWEEN.
  - J. 1/2" I.G. GLASS CONSISTING OF (1) LITE OF 3/16" TEMPERED GLASS AND (1) LITE OF 1/8" TEMPERED GLASS WITH A 3/16" AIR SPACE BETWEEN.
2. CONFIGURATION: 1/1 OX
3. DESIGN PRESSURES: (SEE TABLE 1, SHEET 3)
  - A. NEGATIVE DESIGN LOADS BASED ON TESTED PRESSURE AND GLASS TABLES ASTM E 1300-02.
  - △ B. POSITIVE DESIGN LOADS BASED ON WATER TEST PRESSURE AND GLASS TABLES ASTM E 1300-02.
  - C. DESIGN PRESSURES LESS THAN 40 PSF ARE NOT APPLICABLE IN MIAMI-DADE COUNTY.
4. FOR ANCHORAGE REQUIREMENTS SEE SHEETS 6 AND 7. THE 33 1/3 STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT.
5. SHUTTERS ARE REQUIRED WHERE IMPACT RESISTANCE IS REQUIRED. SHUTTERS MUST BE MIAMI-DADE COUNTY APPROVED FOR INSTALLATION IN MIAMI-DADE COUNTY.
6. SEALANTS: FRAME CORNERS, FIXED MEETING RAIL SEAMS AND VENT CORNERS SEALED WITH CLEAR COLORED SEALANT.
7. REFERENCES: TEST REPORTS FTL-2959, FTL-2960, FTL-2961, FTL-2983, FTL-3654, FTL-4179, AND FTL-4379.  
ELCO TETRON NOA: 04-0721.01, 03-0225.05  
ANSI/AF&PA NDS-2001 FOR WOOD CONSTRUCTION  
ADM-2000 ALUMINUM DESIGN MANUAL
8. THIS PRODUCT HAS BEEN DESIGNED & TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2004 EDITION FOR THE HIGH VELOCITY HURRICANE ZONE (HVHZ).



**NOA DRAWING MAP**

SHEET	
GENERAL NOTES.....	1
ELEVATIONS.....	1
GLAZING DETAILS.....	2
DESIGN PRESSURES.....	3
VERT. SECTIONS.....	4
HORIZ. SECTIONS.....	4
PARTS LIST.....	5
EXTRUSIONS.....	5
ANCHORAGE.....	6-7

PRODUCT REVIEWED  
as complying with the Florida  
Building Code  
Acceptance No. 04-0706-04  
Expiration Date 04/15/2011  
By *Robert L. Clark*  
Miami-Dade Product Control  
Division

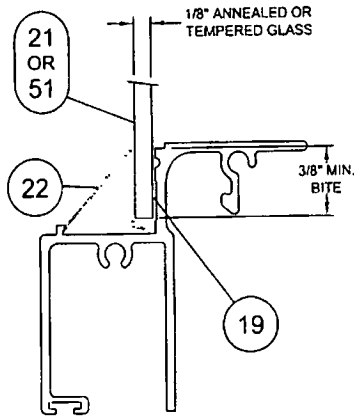
*Robert L. Clark*  
9/20/04  
Robert L. Clark, P.E.  
PE #39712  
Structural

Revised By: F.K.	Date: 09/20/06	Revised By: F	Change Note 3 TO ASTM E 1300-02 AND ADD AIR SPACE DIM. TO I.G. GLASS RECIPES.
Revised By: J.J.	Date: 08/05/05	Revised By: E	ADD UPGRADE GLASS TYPES & 1 (TEMPERED I.G. OPTIONS) CHANGED NOTES 3, 4, 7 & MAP PAGES. ADD NOTE B
Revised By: F.K.	Date: 12/15/04	Revised By: D	REDRAWN & ADDED ALT. EXTR., ADD'L GLASS TYPES & MAP
Drawn By: F.K.	Date: 12/15/04	Checked By: J.J.	Date: 5/26/06

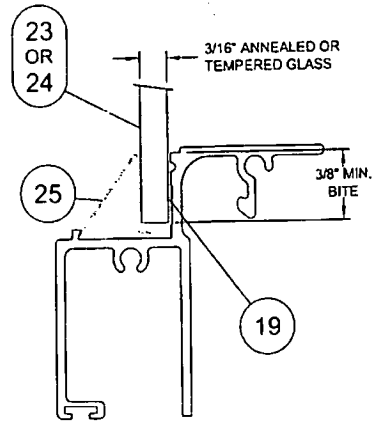
1370 TECHNOLOGY DRIVE  
NOKOMIS, FL 34275  
P.O. BOX 1529  
NOKOMIS, FL 34274



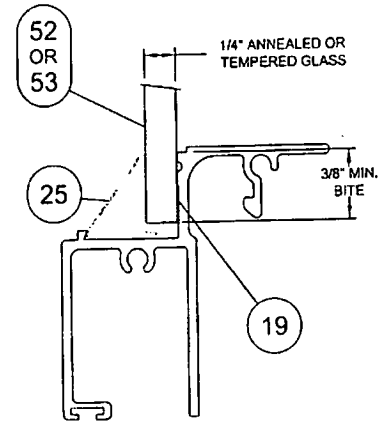
Description:		GENERAL NOTES AND ELEVATION			
Title:		ALUM. SINGLE HUNG WINDOW, STD. MTG. RAIL			
Part No.:	Scale:	Sheet:	Of:	Project No.:	Rev.:
SH4000	NTS	1	7	2736	F



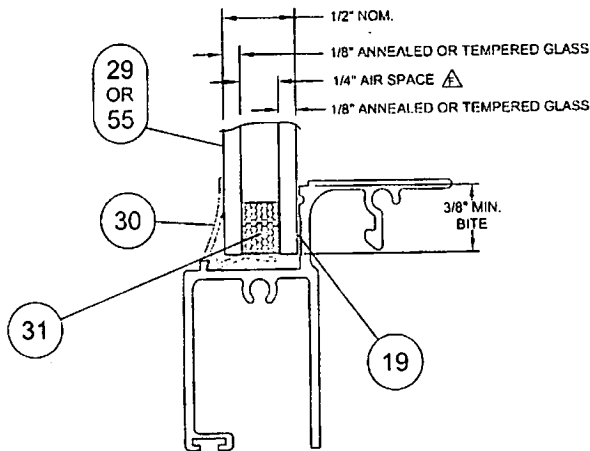
1/8" GLAZING DETAIL  
(ORIGINAL DESIGN)



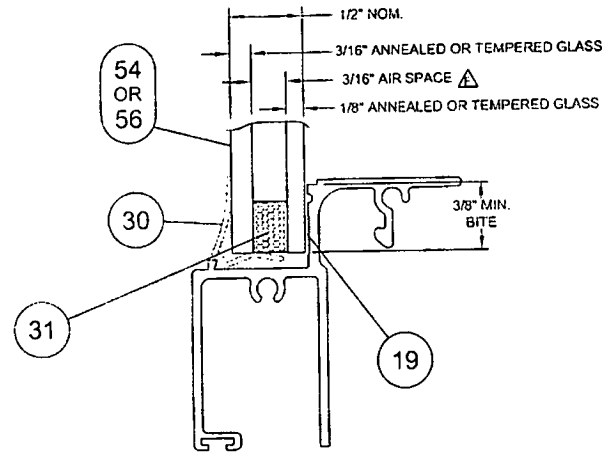
3/16" GLAZING DETAIL  
(ORIGINAL DESIGN)



1/4" GLAZING DETAIL  
(ORIGINAL DESIGN)



1/2" I.G. GLAZING DETAIL  
(ORIGINAL DESIGN)



1/2" I.G. GLAZING DETAIL  
(ORIGINAL DESIGN)

PRODUCT RENEWED  
in compliance with the Florida  
Building Code  
Acceptance No. 06-0906.04  
Expiration Date 04/2011  
By: [Signature]  
National Glass Products Control  
Division

[Signature]  
9/20/06  
Robert L. Clark, P.E.  
PE #39717  
Structural

<table border="1"> <tr> <td>Drawn By:</td> <td>F.K.</td> <td>Date:</td> <td>09/20/06</td> <td>Reviewed By:</td> <td>F.</td> <td>ADD AIR SPACE DIM. TO I.G. GLASS DETAILS &amp; ITEMS 55 &amp; 56.</td> </tr> <tr> <td>Checked By:</td> <td>J.J.</td> <td>Date:</td> <td>08/05/05</td> <td>Reviewed By:</td> <td>E.</td> <td>ADD TEMPERED OPTION TO I.G. GLAZING DETAILS. ADDED I.G. GLAZING DETAILS &amp; REMOVED ALT. ONES.</td> </tr> <tr> <td>Drawn By:</td> <td>F.K.</td> <td>Date:</td> <td>12/15/04</td> <td>Reviewed By:</td> <td>D.</td> <td>REDRAWN ORIG. AND ADDED ALT. GLAZING DETAILS.</td> </tr> <tr> <td>Checked By:</td> <td>F.K.</td> <td>Date:</td> <td>12/15/04</td> <td>Checked By:</td> <td>J.J.</td> <td>Date:</td> <td>5/26/06</td> </tr> </table>	Drawn By:	F.K.	Date:	09/20/06	Reviewed By:	F.	ADD AIR SPACE DIM. TO I.G. GLASS DETAILS & ITEMS 55 & 56.	Checked By:	J.J.	Date:	08/05/05	Reviewed By:	E.	ADD TEMPERED OPTION TO I.G. GLAZING DETAILS. ADDED I.G. GLAZING DETAILS & REMOVED ALT. ONES.	Drawn By:	F.K.	Date:	12/15/04	Reviewed By:	D.	REDRAWN ORIG. AND ADDED ALT. GLAZING DETAILS.	Checked By:	F.K.	Date:	12/15/04	Checked By:	J.J.	Date:	5/26/06	1070 TECHNOLOGY DRIVE NOKOMIS, FL 34275  P.O. BOX 1579 NOKOMIS, FL 34274		Description: <b>GLAZING DETAILS</b> Title: <b>ALUM. SINGLE HUNG WINDOW, STD. MTG. RAIL</b> Specification: SH4000 Scale: Full Sheet: 2 of 7 Drawing No: 2736 Rev: F
Drawn By:	F.K.	Date:	09/20/06	Reviewed By:	F.	ADD AIR SPACE DIM. TO I.G. GLASS DETAILS & ITEMS 55 & 56.																										
Checked By:	J.J.	Date:	08/05/05	Reviewed By:	E.	ADD TEMPERED OPTION TO I.G. GLAZING DETAILS. ADDED I.G. GLAZING DETAILS & REMOVED ALT. ONES.																										
Drawn By:	F.K.	Date:	12/15/04	Reviewed By:	D.	REDRAWN ORIG. AND ADDED ALT. GLAZING DETAILS.																										
Checked By:	F.K.	Date:	12/15/04	Checked By:	J.J.	Date:	5/26/06																									

COMPARATIVE ANALYSIS:												TABLE 1.		GLASS TYPES:	
WINDOW WIDTH	GLASS TYPE	WINDOW HEIGHT										A			
		26"		36 3/8"		50 1/8"		63"		76"					
19 1/8"	A	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-71.0	+43.8	-43.8	* A	1/8" ANNEALED	FTL-2961, 2963	
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-73.0	* B	1/8" TEMPERED	FTL-2961, 2963	
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-86.0	+56.7	-66.4	C	3/16" ANNEALED	FTL-2960	
24"	A	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-63.6	+38.2	-38.2	* D	1/4" ANNEALED	FTL-2960	
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-84.9	+56.7	-63.6	E	3/16" TEMPERED	FTL-2959, 4179, 4379	
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-77.1	+56.7	-57.9	* F	1/4" TEMPERED	FTL-2959, 4179, 4379	
26 1/2"	A	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-61.6	+36.3	-36.3	G	1/2" I.G. (1/8"A, 1/4" AIR SPACE, 1/8"A)	FTL-3654	
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-82.1	+56.7	-60.5	H	1/2" I.G. (1/8"A, 3/16" AIR SPACE, 1/8"A)	FTL-3654	
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-74.6	+55.0	-55.0	* I	1/2" I.G. (1/8"T, 1/4" AIR SPACE, 1/8"T)	FTL-3654	
32"	A	+56.7	-90.0	+56.7	-85.5	+56.7	-77.8	+56.7	-60.0	+33.8	-33.8	* J	1/2" I.G. (3/16"T, 3/16" AIR SPACE, 1/8"T)	FTL-3654	
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-80.0	+56.4	-56.4	* UPGRADE FROM GLASS TYPE TESTED			
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-72.8	+51.3	-51.3				
37"	A	+56.7	-90.0	+56.7	-73.5	+56.7	-65.9	+56.7	-58.2	+33.0	-33.0				
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-80.0	+55.0	-55.0				
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-72.8	+50.0	-50.0				
40"	A	+56.7	-90.0	+56.7	-66.5	+56.7	-59.3	+48.0	-48.0	+33.0	-33.0				
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-80.0	+55.0	-55.0				
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-90.0	+56.7	-72.8	+50.0	-50.0				
44"	A	+56.7	-87.8	+56.7	-60.3	+51.7	-51.7	+48.0	-48.0	+33.0	-33.0				
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-89.9	+56.7	-80.0	+55.0	-55.0				
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-90.0	+56.7	-81.7	+56.7	-72.8	+50.0	-50.0				
48"	A	+56.7	-79.3	+56.7	-56.7	+46.3	-46.3	+42.1	-42.1	+33.0	-33.0				
	B,E,F	+56.7	-90.0	+56.7	-90.0	+56.7	-79.7	+56.7	-70.2	+55.0	-55.0				
	C,D,G,H,I,J	+56.7	-90.0	+56.7	-88.0	+56.7	-72.5	+56.7	-63.8	+50.0	-50.0				
53 1/8"	A	+56.7	-70.6	+51.2	-51.2	+39.9	-39.9	+36.3	-36.3	+33.0	-33.0				
	B,E,F	+56.7	-87.0	+56.7	-80.0	+56.7	-69.6	+56.7	-60.6	+55.0	-55.0				
	C,D,G,H,I,J	+56.7	-87.0	+56.7	-77.6	+56.7	-63.3	+55.4	-55.4	+50.0	-50.0				

PRODUCT RENEWED  
 as complying with the Florida  
 Building Code  
 Amendment No. 06-07-06-04  
 Effective Date 07/20/11  
 By: [Signature]  
 Robert L. Clark, P.E.  
 Division

[Signature]  
 4/20/06

Revised By: F.K. Date: 09/20/06  
 Revisions: F ADD AIR SPACE DIM TO I.G. GLASS RECIPES  
 UPGRADE TABLE DESIGN PRESSURES PER ASTM E 1300-02.  
 E ADD GLASS TYPES I & J (TEMPERED I.G. OPTIONS)  
 REDUCE MAX. NEGATIVE DP FROM -110 TO -90 PSF  
 Revised By: F.K. Date: 03/25/08  
 Revisions: D REDRAWN AND COMBINE DP TABLES. ADDED GLASS TYPES B, D  
 F & H UPGRADES  
 Drawn By: F.K. Date: 12/15/04  
 Checked By: J.J. Date: 5/26/06

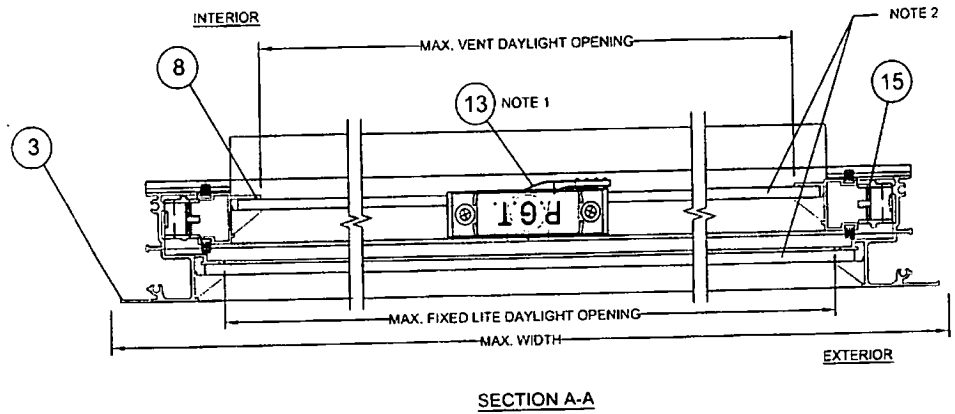
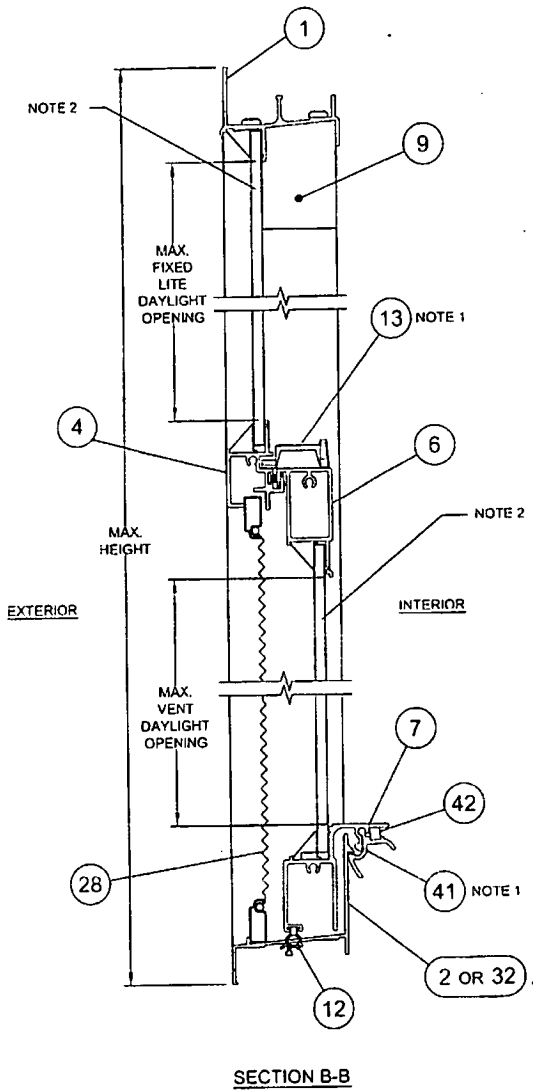
1070 TECHNOLOGY DRIVE  
 NOKOMIS, FL 34715  
 P.O. BOX 1528  
 NOKOMIS, FL 34274



DESCRIPTION  
**DESIGN PRESSURES**  
 Title  
**ALUM. SINGLE HUNG WINDOW, STD. MTG. RAIL**  
 Series Model: SH4000  
 Scale: NTS  
 Sheet: 3 of 7  
 Drawing No: 2736  
 Rev: F

Robert L. Clark, P.E.  
 PE #39712  
 Structural





- NOTES:**
1. WINDOWS ARE EQUIPPED WITH ITEM 13, SWEEP LATCH LOCATED ON THE VENT TOP RAIL OR ITEM 41, BOTTOM LOCK LOCATED ON THE VENT BOTTOM RAIL.
  2. WINDOWS ARE GLAZED WITH ONE OF THE FOLLOWING GLASS ITEMS 21, 23, 24, 29, 51, 52, 53, 54, 55, OR 56. ⚠

**PRODUCT REVIEWED**  
 in compliance with the Florida  
 Building Code  
 Acceptance No. *09-000-04*  
 Expiration Date *12/31/11*  
 By *[Signature]*  
 National Building Products Control  
 Division

*[Signature]*  
 3/20/06  
 Robert L. Clark, P.E.  
 PE #39712  
 Structural

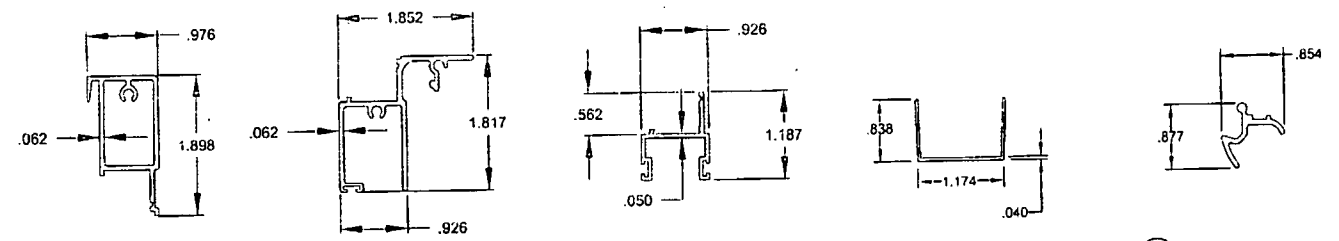
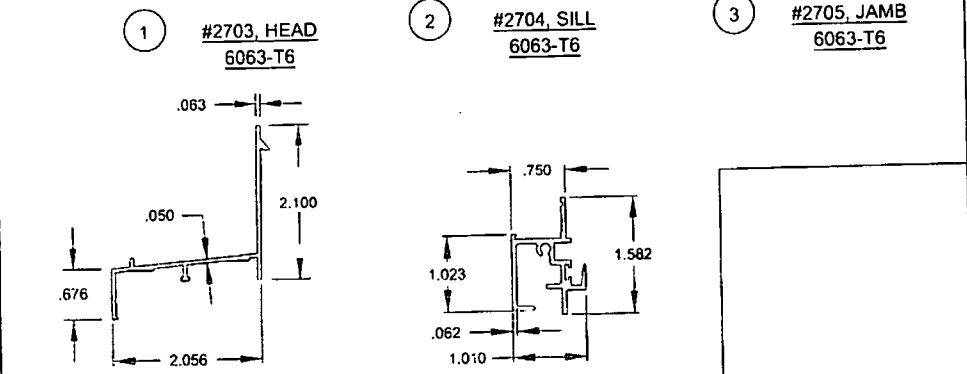
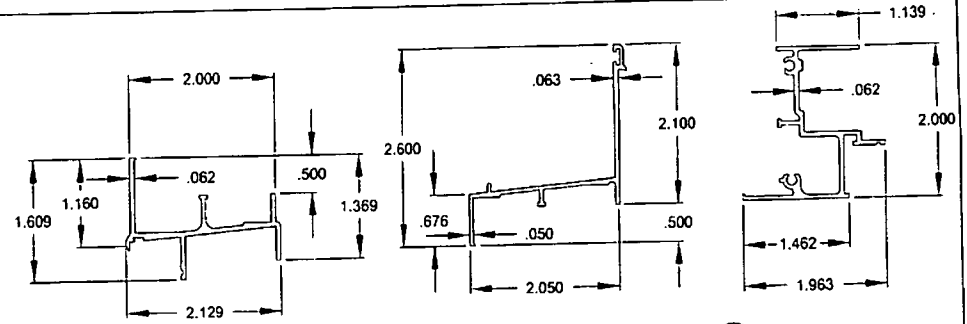
Revised By: F.K.	Date: 09/20/06	Revisions: F	ADD 11 EMS 55 AND 56 TO NOTE 2.
Revised By: J.J.	Date: 08/05/05	Revisions: E	REDRAWN AND REMOVED ALTERNATE EXTRUSIONS.
Revised By: F.K.	Date: 12/15/04	Revisions: D	REDRAWN AND ADDED ALTERNATE EXTRUSIONS.
Drawn By: F.K.	Date: 12/15/04	Checked By: J.J.	Date: 5/26/06

1070 TECHNOLOGY DRIVE  
 NOKOMIS, FL 34275  
 P.O. BOX 1529  
 NOKOMIS, FL 34274



Division: <b>SECTIONS</b>	Scale: 1/2	Sheet: 4 of 7	Drawn by no: 2736	Rev: F
Title: <b>ALUM. SINGLE HUNG WINDOW, STD. MTG. RAIL</b>				
Series Model: SH4000				

ITEM	DESCRIPTION	PGT #	VENDOR/MAT'L	DWG. #
1	FLANGED FRAME HEAD	62703	6063-T6	2703
2	FLANGED FRAME SILL	62704	6063-T6	2704
3	FLANGED FRAME JAMB	62705	6063-T6	2705
4	FIXED MEETING RAIL	6534521	6063-T6	2708
5	#8 x 1.000 QUAD PAN HEAD SMS	781PQ	SPENCER OR =	
6	VENT TOP RAIL	6534522	6063-T6	2707
7	VENT BOTTOM RAIL	6534523	6063-T6	2708
8	VENT SIDE RAIL	6534524	6063-T6	2709
9	VENT STOP	66387	6063-T6	2770
10	VENT CAM INSERT (L.H. & R.H.)	42800	NYLON 6/6	2748
11	#8 x .750 QUAD PAN HEAD SMS	7834PA	SPENCER OR =	
12	WEATHERSTRIP, VINYL BULB W/LEAF	6TP249	TEAM PLASTICS OR =	
13	SWEEP LATCH	71096	NATIONWIDE OR =	
14	#8 x 625 PHILLIPS FLAT HEAD SMS	7858	SPENCER OR =	
15	BALANCE		CALDWELL OR =	
16	WEATHERSTRIP, .187 x 270 FIN	61062	TEAM PLASTICS OR =	
17	WEATHERSTRIP, .187 x 200, FIN	67919	SCHLEGEL OR =	
18	BALANCE TAKE-OUT CLIP	7121UM	CALDWELL OR =	
19	SILICON GLAZING SEALANT	62899	DOW, GE OR =	
21	DSB 1/8" ANNEALED GLASS			
22	1/8" GLAZING BEAD	65200	FLORIDA SCREEN OR =	2718
23	3/16" ANNEALED GLASS			
24	3/16" TEMPERED GLASS			
25	3/16" 1/4" GLAZING BEAD	65196	FLORIDA SCREEN OR =	2719
26	#8 x 1.000 QUAD PAN HEAD SMS	781PQ	SPENCER OR =	
27	1" x 1 1/2" OPEN CELL FOAM PAD			
28	SCREEN ASSEMBLY			
29	1/2" I.G. GLASS (1/8" A, 1/4" AIR SPACE, 1/8" A)			
30	I.G. GLAZING BEAD	1253	TEAM PLASTICS OR =	
31	SWIGGLE			
32	FLANGED FRAME SILL	62751	6063-T6	2751
41	VENT BOTTOM RAIL LOCK	62740	6063-T6	2740
42	VENT BOTTOM RAIL LOCK SPRING	7SPRNG		
43	1" x 2" x 1/16" FOAM GASKET			
51	1/8" TEMPERED GLASS			
52	1/4" ANNEALED GLASS			
53	1/4" TEMPERED GLASS			
54	1/2" I.G. GLASS (3/16" A, 3/16" AIR SPACE, 1/8" A)			
55	1/2" I.G. GLASS (1/8" T, 1/4" AIR SPACE, 1/8" T)			
56	1/2" I.G. GLASS (3/16" T, 3/16" AIR SPACE, 1/8" T)			



PRODUCT RENEWED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 05-0306-04  
 Expiration Date 04/30/11  
 By *[Signature]*  
 Mutual Safety Products Control  
 Division

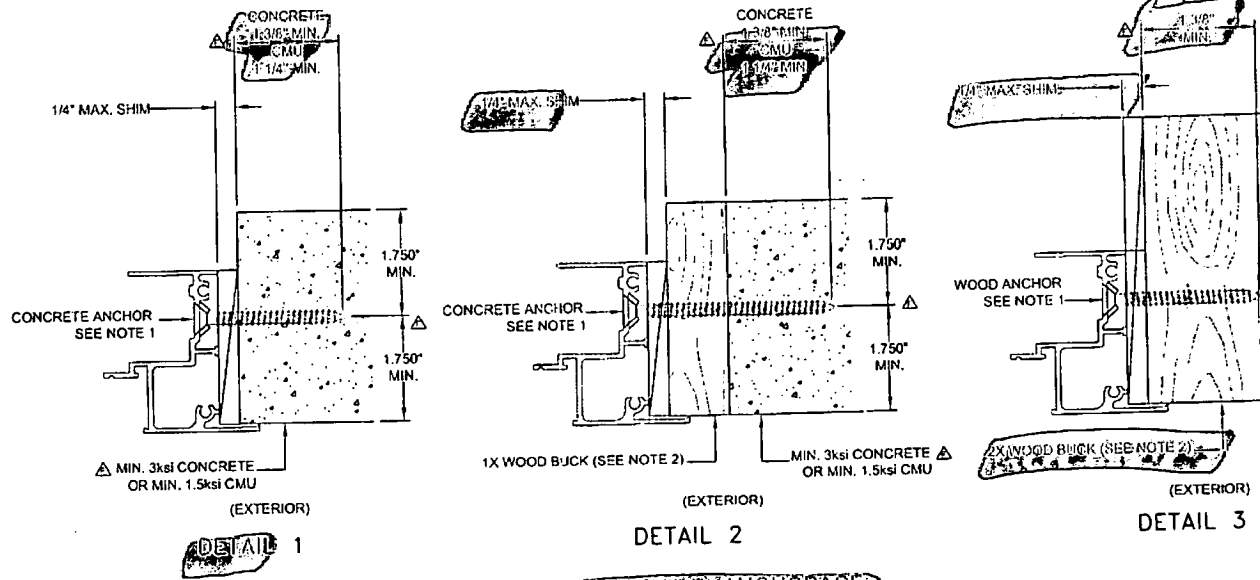
*[Signature]*  
 9/28/06  
 Robert L. Clark, P.E.  
 PE #39712  
 Structural

Revised By: F.K.	Date: 09/20/06	Revisions: F	ADD AIR SPACE DIM. TO I.G. GLASS RECIPES, ITEMS 29, 54, 55 & 56.
Revised By: J.J.	Date: 04/05/05	Revisions: E	PARTS LIST AND EXTRUSION CONSOLIDATION ADD ITEMS 53 & 54 (TEMPER I.G. GLASS OPTIONS)
Revised By: F.K.	Date: 12/15/04	Revisions: D	DELETED SSB, ADDED ITEM 9, DWG. NOS. & ALLOY. UPDATED PARTS LIST W/ DWG NOS. & VENDORS.
Drawn By: F.K.	Date: 12/15/04	Checked By: J.J.	Scale: 5/26/06

1070 TECHNOLOGY DRIVE  
 NOKOMIS, FL 34275  
 P.O. BOX 1579  
 NOKOMIS, FL 34274



PARTS LIST AND EXTRUSIONS			
Title: ALUM. SINGLE HUNG WINDOW, STD. MTG. RAIL			
Serial/Part: SH4000	Scale: Half	Drawn: 5 of 7	Drawing No: 2736
			Rev: F



**TYPICAL JAMB ANCHORAGE**

**NOTES:**

- MIAMI-DADE COUNTY APPROVED ANCHOR TYPES: 1. ELCO 1/4" TAPCON 2. ELCO 1/4" SS4 CRETE-FLEX MASONRY SCREWS 3. #12 SCREW  
 Δ FOR CONCRETE APPLICATIONS IN MIAMI-DADE COUNTY, USE ONLY ABOVE APPROVED 1/4" TAPCONS OR SS4 CRETE-FLEX. MINIMUM DISTANCE FROM ANCHOR TO CONCRETE EDGE IS 1.750". FOR WOOD APPLICATIONS USE #12 STEEL, G5 SCREWS OR 1/4" ELCO SS4 CRETE-FLEX ANCHORS.
- WOOD BUCKS DEPICTED IN THE SECTIONS ON THIS PAGE AS 1x ARE BUCKS WHOSE TOTAL THICKNESS IS LESS THAN 1 1/2". WOOD BUCKS DEPICTED AS 2x ARE 1 1/2" THICK OR GREATER. INSTALLATION TO THE SUBSTRATE OF WOOD BUCKS TO BE ENGINEERED BY OTHERS OR AS APPROVED BY AUTHORITY HAVING JURISDICTION.
- WOOD BUCKS LESS THAN 1 1/2" THICK ARE OPTIONAL (PRODUCT MAY BE INSTALLED DIRECTLY TO CONCRETE).
- FOR ATTACHMENT TO ALUMINUM: THE MATERIAL SHALL BE A MINIMUM STRENGTH OF 6063-T5 AND A MINIMUM OF 1/16" THICK. THE ALUMINUM STRUCTURAL MEMBER SHALL BE OF A SIZE TO PROVIDE FULL SUPPORT TO THE WINDOW JAMB SIMILAR TO THAT SHOWN IN DETAIL 3 ABOVE FOR 2x WOOD BUCKS. THE ANCHOR SHALL BE A #12 SHEET METAL SCREW WITH FULL ENGAGEMENT INTO THE ALUMINUM. IF THESE CRITERIA ARE MET THE PRESSURES AND ANCHOR QUANTITIES SHOWN IN TABLE 2, SHEET 7 FOR ANCHOR TYPES 1 AND 2 IN CONCRETE MAY BE USED.
- ANCHORS ARE NOT REQUIRED IN THE HEAD OR SILL (REF. TEST REPORTS, FTL-4253 AND FTL-4378).
- 53 1/8" WIDE x 76" HIGH UNITS TESTED TO FULL DESIGN PRESSURE AT THE FOLLOWING SPACING:  
 Δ JAMBS: 9" MAX. FROM CORNERS, 8 1/2" BELOW MEETING RAIL AND 17" ABOVE THE LOWER MEETING RAIL ANCHOR. 3" MIN. ANCHOR SPACING.
- FOR INSTALLATION IN MIAMI-DADE COUNTY REFER TO DIMENSIONS OF NOTE 6 AND ANCHOR QUANTITIES PER JAMB IN TABLE 2, SHEET 7. ADDITIONAL ANCHORS, WHEN REQUIRED, TO BE EQUALLY SPACED ABOVE AND BELOW THE MEETING RAIL BETWEEN THE CORNER AND MEETING RAIL ANCHORS.
- MATERIALS, INCLUDING BUT NOT LIMITED TO STEEL SCREWS, THAT COME INTO CONTACT WITH OTHER DISSIMILAR MATERIALS SHALL MEET THE REQUIREMENTS OF FBC 2004, SECTION 2003.8.4 (SUPPLEMENT 2005).

PRODUCT RENEWED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 06-2004  
 Expiration Date 09/15/11  
 Robert L. Clark, P.E.  
 Miami-Dade Building Official

Robert L. Clark, P.E.  
 9/20/04  
 PE #39712  
 Structural

Revised By: F.K.	Date: 09/20/06	Revisions: F	REVISE NOTES 1 & 6. REMOVE NOTE 8 & RE OUTSIDE MIAMI-DADE. SPECIFY CONCRETE, CMU, EDGE DISTANCE & CHG. EMBED. IN DETAILS	1970 TECHNOLOGY DRIVE NOKOMIS, FL 34775 P.O. BOX 1529 NOKOMIS, FL 34774	<b>PGT</b> Visibly Better	Description: ANCHORAGE DETAILS				
Revised By: J.J.	Date: 08/05/05	Revisions: E	REVERSE ANCHOR SHTS. & REVISE ANCHORAGE NOTES			Title: ALUM. SINGLE HUNG WINDOW, STD. MTG. RAIL				
Revised By: F.K.	Date: 12/15/04	Revisions: D	REDRAWN, UPDATED NOTES & REMOVED HEAD & SILL SECTIONS			Scale: S11000	Sheet: NTS	Drawings to: 6 of 7	Quantity to: 2736	Rev: F
Drawn By: F.K.	Date: 12/15/04	Checked By: J.J.	Date: 5/26/06							

**QUANTITY OF ANCHORS REQUIRED EACH JAMB** **TABLE 2.**

ANCHOR/SUBSTRATE		WINDOW HEIGHT														
WINDOW WIDTH	GLASS TYPE	26"			30 3/8"			30 5/8"			36"			76"		
		3/W	2/W	1,2/C	3/W	2/W	1,2/C	3/W	2/W	1,2/C	3/W	2/W	1,2/C	3/W	2/W	1,2/C
19 1/8"	A	4	4	4	4	4	4	4	4	6	4	4	6	4	4	4
	B,E,F	4	4	4	4	4	4	4	4	6	6	6	6	6	6	6
	C,D,G,H,I,J	4	4	4	4	4	4	4	4	6	6	6	6	6	6	6
24"	A	4	4	4	4	4	4	6	4	6	4	4	6	4	4	4
	B,E,F	4	4	4	4	4	4	6	4	6	6	6	6	6	6	6
	C,D,G,H,I,J	4	4	4	4	4	4	6	4	6	6	6	6	6	6	6
26 1/2"	A	4	4	4	4	4	4	6	6	6	6	4	6	4	4	4
	B,E,F	4	4	4	4	4	4	6	6	6	6	6	6	6	6	6
	C,D,G,H,I,J	4	4	4	4	4	4	6	6	6	6	6	6	6	6	6
32"	A	4	4	4	4	4	6	6	6	6	6	6	6	4	4	4
	B,E,F	4	4	4	4	4	6	6	6	6	6	6	6	6	6	6
	C,D,G,H,I,J	4	4	4	4	4	6	6	6	6	6	6	6	6	6	6
37"	A	4	4	4	4	4	4	6	4	6	6	6	6	4	4	6
	B,E,F	4	4	4	6	4	6	6	6	6	6	6	6	6	6	6
	C,D,G,H,I,J	4	4	4	6	4	6	6	6	6	6	6	6	6	6	6
40"	A	4	4	4	4	4	4	6	4	6	6	6	6	4	4	6
	B,E,F	4	4	4	6	6	6	6	6	6	6	6	8	6	6	6
	C,D,G,H,I,J	4	4	4	6	6	6	6	6	6	6	6	6	6	6	6
44"	A	4	4	4	4	4	4	4	4	6	6	6	6	6	4	6
	B,E,F	4	4	4	6	6	6	6	6	8	6	6	10	6	6	6
	C,D,G,H,I,J	4	4	4	6	6	6	6	6	6	6	6	8	6	6	6
48"	A	4	4	4	4	4	4	4	4	6	6	6	6	6	6	6
	B,E,F	4	4	4	6	6	6	6	6	8	6	6	10	6	6	8
	C,D,G,H,I,J	4	4	4	6	6	6	6	6	6	6	6	6	6	6	6
50 1/2"	A	4	4	4	4	4	4	4	4	4	4	4	6	6	6	6
	B,E,F	4	4	4	6	6	6	6	6	8	6	6	8	6	6	10
	C,D,G,H,I,J	4	4	4	6	6	6	6	6	6	6	6	6	6	6	8

**ANCHOR TYPE/SUBSTRATE KEY**  
 3/W = #12 SCREW IN WOOD  
 2/W = 1/4" SS4 CRETE-FLEX IN WOOD  
 1,2/C = 1/4" TAPCON OR 1/4" SS4 CRETE-FLEX IN CONCRETE  
 (SEE APPLICATION NOTES AND DETAILS ON SHEET 6)

NOTE: ANCHORS NOT REQUIRED IN HEAD OR SILL

**GLASS TYPE KEY**  
 A. 1/8" ANNEALED  
 B. 1/8" TEMPERED  
 C. 3/16" ANNEALED  
 D. 1/4" ANNEALED  
 E. 3/16" TEMPERED  
 F. 1/4" TEMPERED  
 G. 1/2" I.G. (1/8" A, 1/4" AIR SPACE, 1/8" A)  
 H. 1/2" I.G. (3/16" A, 1/4" AIR SPACE, 1/8" A)  
 I. 1/2" I.G. (1/8" T, 1/4" AIR SPACE, 1/8" T)  
 J. 1/2" I.G. (3/16" T, 3/16" AIR SPACE, 1/8" T)

PRODUCT REVIEWED  
 in compliance with the Florida  
 Building Code  
 Acceptance No. 06-0004  
 Expiration Date 01/31/11  
 By: [Signature]  
 Structural Engineering Division

[Signature]  
 9/20/06  
 Robert L. Clark P.E.  
 PE #39712  
 Structural

Revised By: F.K.	Date: 09/20/06	Revisions: F	ADD AIR SPACE DIM. TO I.G. GLASS RECIPE. REVISE TABLE ANCHOR QUANTITIES PER NEW ANCHOR CALCS.
Revised By: F.K.	Date: 05/25/06	Revisions: E	REVISE AND UPDATE ANCHORAGE FORMAT
Revised By: F.K.	Date: 12/15/04	Revisions: D	NEW SHEET FOR ANCHOR SPACING.
Drawn By: F.K.	Date: 12/15/04	Checked By: J.J.	Date: 5/26/05

1070 TECHNOLOGY DRIVE  
 NOKOMIS, FL 34275  
 P.O. BOX 1529  
 NOKOMIS, FL 34274



Description: ANCHORAGE SPACING, 1/1 WINDOWS		Scale: NTS		Sheet: 7 of 7		Drawing No: 2736		Rev: F	
Part/Material: SH4000	Scale: NTS	Sheet: 7 of 7	Drawing No: 2736	Rev: F					



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

[www.buildingcodeonline.com](http://www.buildingcodeonline.com)

**NOTICE OF ACCEPTANCE (NOA)**

PGT Industries  
1070 Technology Drive  
Nokomis, FL 3427

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION:** ~~1" Std. Wall Aluminum Tube Clipped Mullion-L.M.I.~~

**APPROVAL DOCUMENT:** Drawing No. 6220, titled "1" STD. Wall, Elevations Aluminum Tube Clipped Mullion", sheets 1 through 5 of 5, prepared by PGT Industries, signed and sealed by Robert L. Clark, P.E., dated 04/28/00, with last revision on 05/30/06, bearing the Miami-Dade County Product Control Renewal Stamp with last the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official. This NOA revises and renews NOA # 04-0528.04 and, consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above. The submitted documentation was reviewed by Jaime D. Gascon, P.E.



J. Gascon  
6/28/06

NOA No 06-0125.06  
Expiration Date: June 28, 2011  
Approval Date: July 20, 2006  
Page 1

**PGT Industries**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**A. DRAWINGS**

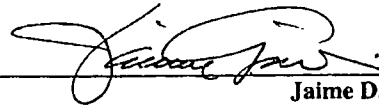
1. Manufacturer's die drawings and sections.
2. Drawing No **6220**, Sheets 1 through 5 of 5, titled "1" STD. Wall, Elevations Aluminum Tube Clipped Mullion, prepared by PGT Industries, dated 04/28/00, with last revision on 05/30/06, signed and sealed by Robert L. Clark, P.E.

**B. TESTS**

1. Test reports on 1) Uniform Load Static Air Pressure Test, per FBC, TAS 202-94  
2) Large Missile Impact Test, FBC, TAS 201-94  
3) Cyclic Loading Test, per FBC, TAS 203-94  
along with installation diagram of a pair of fixed alum. windows (OO configuration) 60" x 54" mulled together with a 1x 2 x std. wall mullion, prepared by Fenestration Testing Laboratory, Inc., Test Report No. **FTL-2902**, dated 01/05/01, signed and sealed by Antonio Acevedo, P.E.  
*"Submitted under NOA# 04-0528.04"*
2. Test reports on 1) Uniform Load Static Air Pressure Test, per FBC, TAS 202-94  
2) Large Missile Impact Test, FBC, TAS 201-94  
3) Cyclic Loading Test, per FBC, TAS 203-94  
along with installation diagram of a pair of fixed alum. windows (OO configuration) 80" x 76" mulled together with a 1x 4 x std. wall mullion, prepared by Fenestration Testing Laboratory, Inc., Test Report No. **FTL-2903**, dated 01/05/01, signed and sealed by Antonio Acevedo, P.E.  
*"Submitted under NOA# 04-0528.04"*
3. Test reports on 1) Uniform Load Static Air Pressure Test, per FBC, TAS 202-94  
2) Large Missile Impact Test, FBC, TAS 201-94  
3) Cyclic Loading Test, per FBC, TAS 203-94  
along with installation diagram of a pair of fixed alum. windows with a transom lite (O/OO configuration) mulled together with a 1x 2 x 3/4" wall vertical mullion and a 2 x 6" x 1/4" wall horizontal mullion, prepared by Fenestration Testing Laboratory, Inc., Test Report No. **FTL-2975**, dated 01/23/01, signed and sealed by Antonio Acevedo, P.E.  
*"Submitted under NOA# 04-0528.04"*

**C. CALCULATIONS**

1. Revised Anchor Calculations and structural analysis, complying with FBC-2004, prepared by PGT Industries, dated 05/30/06, signed and sealed by Robert L. Clark, P.E.



Jaime D. Gascon, P.E.  
Chief, Product Control Division  
NOA No 06-0125.06  
Expiration Date: June 28, 2011  
Approval Date: July 20, 2006

**PGT Industries**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**D. QUALITY ASSURANCE**

1. Miami Dade Building Code Compliance Office (BCCO).

**E. MATERIAL CERTIFICATIONS**

1. Notice of Acceptance No. **04-0721.01** issued to Elco Textron, Inc., for Tapcon Concrete Anchor, dated 03/09/06, expiring on 01/08/11.

**F. STATEMENTS**

1. Statement letter of conformance and no financial interest, dated 01/23/06, signed and sealed by Robert L. Clark, P.E.

**G. OTHER**

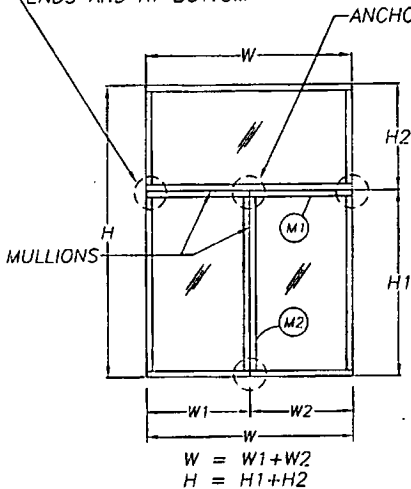
1. Notice of Acceptance No. **04-0528.04**, issued to PGT Industries for 1" x Std. Wall-Aluminum Tube Clipped Mullions, dated 07/08/04 and expiring on 06/28/06.



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Jaime D. Gascon, P.E.  
Chief, Product Control Division  
NOA No 06-0125.06  
Expiration Date: June 28, 2011  
Approval Date: July 20, 2006

ANCHORS DETAIL "B",  
"C" OR "D" AT BOTH  
ENDS AND AT BOTTOM

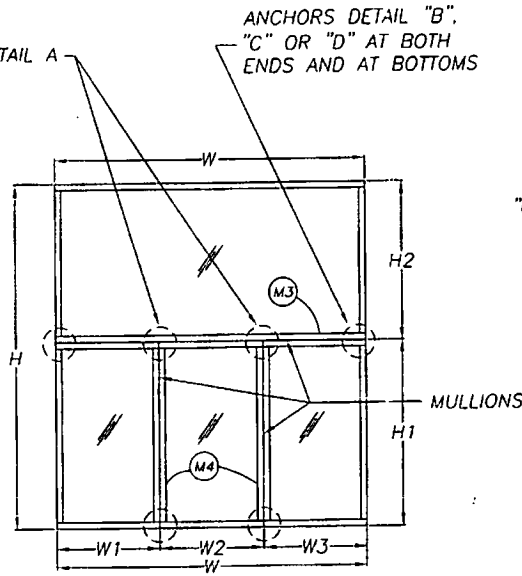


**(2) WINDOWS MULLED  
W/ONE ABOVE**

FOR DETERMINING MAX ALLOWABLE  
DESIGN PRESSURE SEE TABLES  
ON PAGE 5

- M1) MAX OPENING = H OR H1+H2  
MULL LENGTH = W OR W1+W2  
M2) MAX OPENING = W OR W1+W2  
MULL LENGTH = H1

ANCHORS DETAIL A



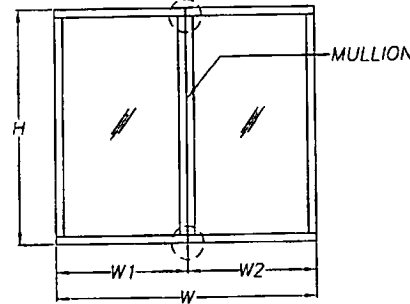
**MULTIPLE WINDOWS MULLED  
W/ONE ABOVE**

FOR DETERMINING MAX ALLOWABLE  
DESIGN PRESSURE SEE TABLES  
ON PAGE 5

- M3) MAX OPENING = H OR H1+H2  
MULL LENGTH = W OR W1+W2+W3  
M4) MAX OPENING = W1+W2 OR W2+W3  
MULL LENGTH = H1

ANCHORS DETAIL "B",  
"C" OR "D" BOTH ENDS

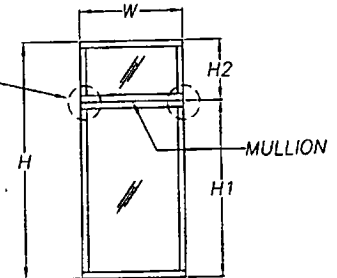
ANCHORS DETAIL "B",  
"C" OR "D" BOTH ENDS



**(2) WINDOWS MULLED TOGETHER**

FOR DETERMINING MAX ALLOWABLE  
DESIGN PRESSURE SEE TABLES  
ON PAGE 5

- MAX OPENING = W OR W1+W2  
MULL LENGTH = H



**(1) WINDOW MULLED  
W/ONE ABOVE**

FOR DETERMINING MAX ALLOWABLE  
DESIGN PRESSURE SEE TABLES  
ON PAGE 5  
MAX OPENING = H OR H1+H2  
MULL LENGTH = W

PRODUCT RENEWED  
in compliance with the Florida  
Building Code  
Acceptance No. 04-0125.06  
Expiration Date 12/31/11  
By: [Signature]  
Edward Davis Product Control  
Director

**NOTES:**

- THE 33 1/3% STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT. FOR ANCHORAGE TYPE, QUANTITY AND LOCATION, REFER TO SHEETS 2, 3 AND 5.
- WINDOWS AND DOORS OR COMBINATIONS THEREOF MAY BE MULLED TO A MAXIMUM OF (7) UNITS.
- MULLIONS ARE APPROVED FOR IMPACT AND NON-IMPACT APPLICATIONS.
- REFERENCE - TEST REPORTS: FTL-2902, 2903 AND 2975.  
ELCO TEXTRON NOA: 04-0721.01, 03-0225.05  
ANSI/AF&PA NDS-2001 FOR WOOD CONSTRUCTION  
ADM-2000 ALUMINUM DESIGN MANUAL
- THIS PRODUCT HAS BEEN DESIGNED & TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2004 EDITION FOR THE HIGH VELOCITY HURRICANE ZONE (HVHZ).
- WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.

TO BE USED ONLY WITH PGT INDUSTRIES PRODUCTS

**PGT  
INDUSTRIES**

1070 TECHNOLOGY DRIVE  
NOKOMIS, FL 34275

P.O. BOX 1529  
NOKOMIS, FL 34274

Robert L. Clark, P.E.  
PE #39712  
Structural

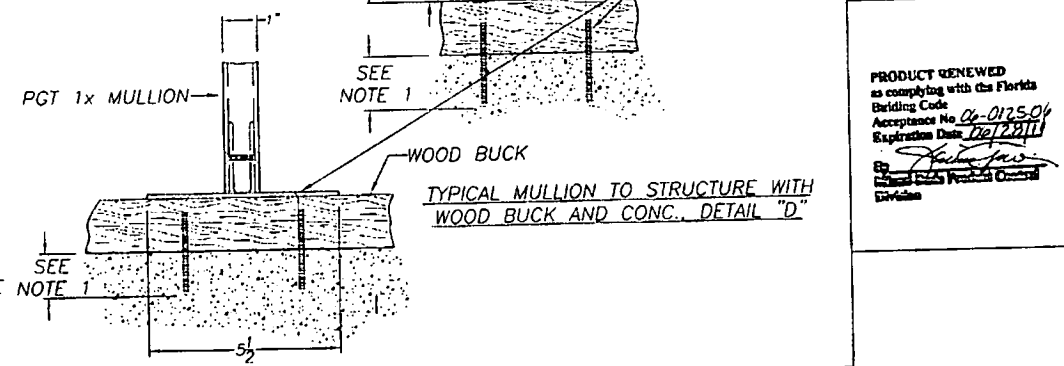
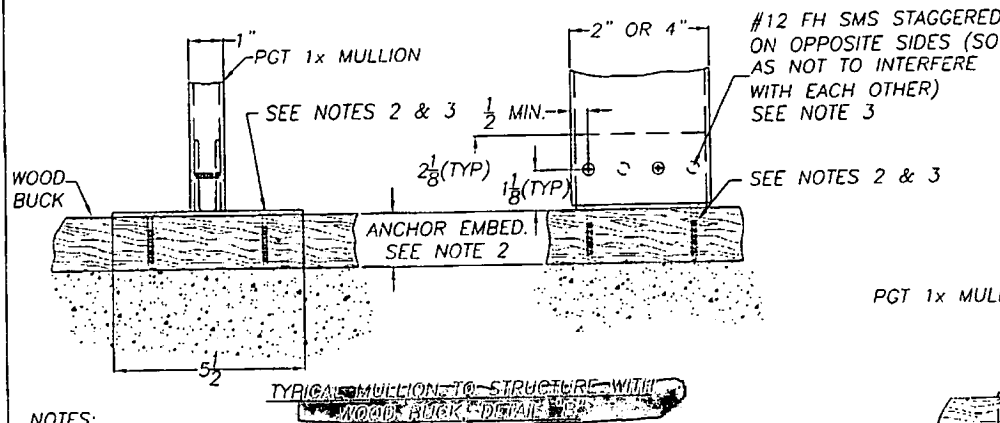
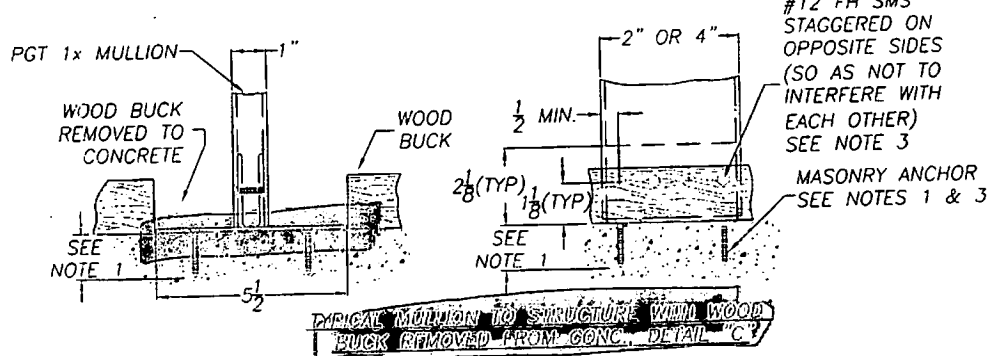
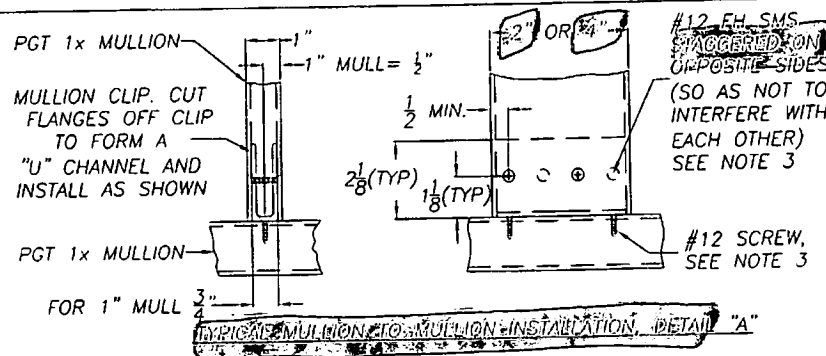
Revised By: F.K.	Date: 5/30/06	Revisions: D-ADD NOTES 5 & 6
Revised By: F.K.	Date: 5/8/06	Revisions: C-ADD TECH. REFS.
Drawn By: P.J.P.	Date: 4/28/00	

Description:  
**1" STANDARD WALL, ELEVATIONS**

Title:  
**ALUMINUM TUBE CLIPPED MULLION**

Series/Model: MULLS	Scale: NTS	Sheet: 1 of 5	Drawing No. 6220	Rev: D
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- NOTES:**
- FOR CONCRETE APPLICATIONS IN MIAMI-DADE COUNTY, USE ONLY MIAMI-DADE COUNTY APPROVED ELCO 1/4" TAPCONS OR 1/4" SS4 CRETE-FLEX MASONRY ANCHORS. MINIMUM DISTANCE FROM CENTER OF ANCHORS TO CONCRETE EDGE IS 2 1/2". MIN. EMBEDMENT: TAPCONS 1 1/4". CRETE-FLEX 1 3/4"
  - FOR WOOD APPLICATIONS USE #12 SCREWS, ELCO 1/4" TAPCONS OR 1/4" SS4 CRETE-FLEX MASONRY ANCHORS. MIN. EMBEDMENT 1 1/2"
  - ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
  - FOR MULL SIZE AND QUANTITY OF ANCHORS SEE SHEET 5. FOR ANCHOR LOCATIONS SEE SHEET 3. QUANTITY OF PINNING SCREWS FOR MULL-TO-CLIP TO BE HALF THE QUANTITY OF ANCHORS FROM CLIP-TO-OPENING (MINIMUM OF 2 SCREWS PER CLIP).
  - IMPORTANT: QUANTITY OF ANCHORS SHOWN ABOVE ARE FOR PICTORIAL REPRESENTATION ONLY. FOR CORRECT QUANTITY OF ANCHORS, REFER TO CHARTS 1 AND 2 ON SHEET 5. FIND THE APPLICABLE MULL SIZE AND PRESSURE REQUIRED FOR YOUR SPECIFIC APPLICATION. ANCHORING OR LOADING CONDITIONS NOT SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL. ALL STEEL IN CONTACT WITH ALUMINUM TO BE PAINTED OR PLATED.
  - REFERENCE TEST REPORTS: FTL-2902, 2903 AND 2975.

PRODUCT RENEWED as complying with the Florida Building Code Acceptance No. 06-0125-04 Expiration Date 10/2011

By: *[Signature]*  
 Florida Building Code Council Division

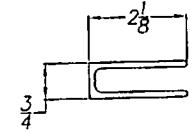
*[Signature]*  
 5/31/06  
 Robert L. Clark, P.E.  
 PE #39712  
 Structural

TO BE USED ONLY WITH PGT INDUSTRIES PRODUCTS					
Revised By: F.K.	Date: 5/30/06	Revisions: D-MODIFY NOTES 3 & 5			
Revised By: F.K.	Date: 5/8/06	Revisions: C-ADD EMBED. DETAILS			
Drawn By: P.J.P.	Date: 4/28/00				
Description: 1" STD. WALL, CLIP INSTALLATION DETAIL					
Title: ALUMINUM TUBE CLIPPED MULLION					
Series/Model: MULLS	Scale: NTS	Sheet: 2 of 5	Drawing No. 6220	Rev. D	

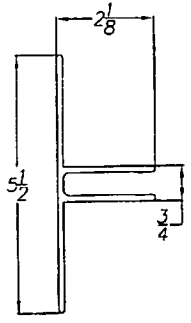
PGT INDUSTRIES

1070 TECHNOLOGY DRIVE  
 NOKOMIS, FL 34275

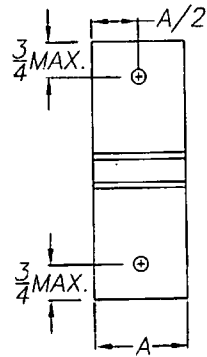
P.O. BOX 1529  
 NOKOMIS, FL 34274



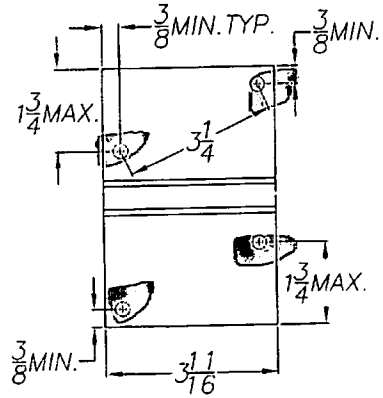
1" MULL CLIP  
W/TABS REMOVED  
(CLIP TO MULL)  
EXTRUSION DWG #1099



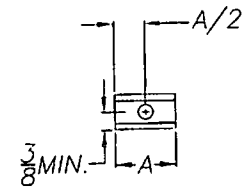
1" MULL CLIP  
(CLIP TO OPENING)  
EXTRUSION - DWG #1099



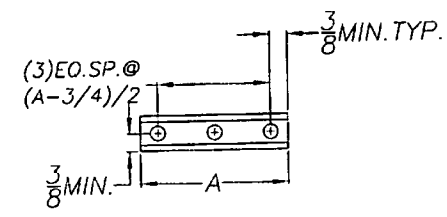
Ⓐ TWO (2) ANCHOR LOCATIONS



Ⓑ FOUR (4) ANCHOR LOCATIONS



Ⓐ ONE (1) ANCHOR LOCATION



Ⓑ THREE (3) ANCHOR LOCATIONS

PRODUCT RENEWED  
as complying with the Florida  
Building Code  
Acceptance No. 06-0125-06  
Expiration Date 02/28/11  
*[Signature]*  
General Building Products Control  
Division

NOTES:

- IMPORTANT: QUANTITY OF ANCHORS SHOWN ARE FOR PICTORIAL REPRESENTATION ONLY. FOR CORRECT QUANTITY OF ANCHORS, PLEASE REFER TO CHARTS 1 AND 2 ON SHEET 5. FIND THE CORRECT MULL SIZE AND PRESSURE REQUIRED FOR YOUR SPECIFIC APPLICATION.
- 3/8 MIN. EDGE DISTANCE APPLIES TO ALL DIMENSION SHOWN AS MAX.
- REFERENCE TEST REPORTS: FTL-2902, 2903 AND 2975.

CLIP LENGTH CHART FOR 1x MULL	
MULL SIZE	'A'
1 x 2 x 1/8	1 11/16
1 x 4 x 1/8	3 11/16

*[Signature]*  
5/30/06  
Robert L. Clark, P.E.  
PE #39712  
Structural

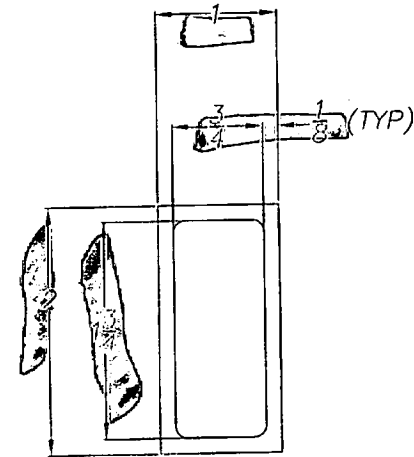
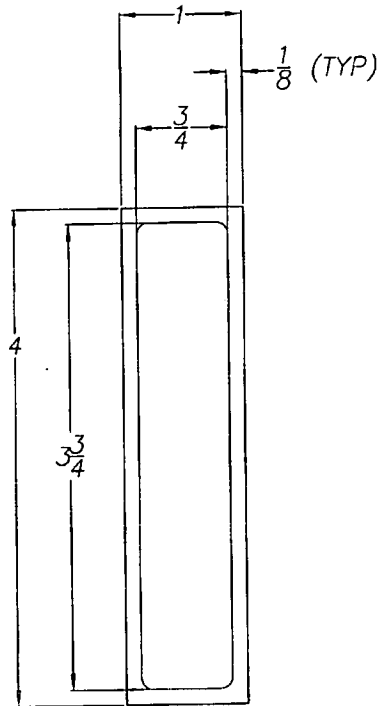
TO BE USED ONLY WITH PGT INDUSTRIES PRODUCTS

Revised By: F.K.	Date: 5/30/06	Revisions: D-NO CHG THIS SH
Revised By: F.K.	Date: 5/8/06	Revisions: C-REVISE SPACING
Drawn By: P.J.P.	Date: 4/28/00	

Description:  
1" STD. WALL, ANCHOR LOCATIONS

Title:  
ALUMINUM TUBE CLIPPED MULLION

Series/Model: MULLS	Scale: NTS	Sheet: 3 of 5	Drawing No. 6220	Rev: D
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1x STD. WALL MULLS

MAT'L: 6063-T6

PRODUCT RENEWED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 06-0175-04  
 Inspection Date 06/17/11  
 By: [Signature]  
 Robert Clark, P.E. Structural Engineer

**NOTE:**

1. REFERENCE TEST REPORT FIL-2902, 2903 AND 2975

[Signature]  
 5/24/00

Robert L. Clark, P.E.  
 PE #39712  
 Structural

TO BE USED ONLY WITH PGT INDUSTRIES PRODUCTS



1070 TECHNOLOGY DRIVE  
 NOKOMIS, FL 34275

P.O. BOX 1529  
 NOKOMIS, FL 34274

Revised By: F.K.	Date: 1/9/06	Revisions: B-NO CHG. THIS SHT.
Revised By: F.K.	Date: 5/8/06	Revisions: C-NO CHG THIS SHT
Drawn By: P.J.P.	Date: 4/28/00	

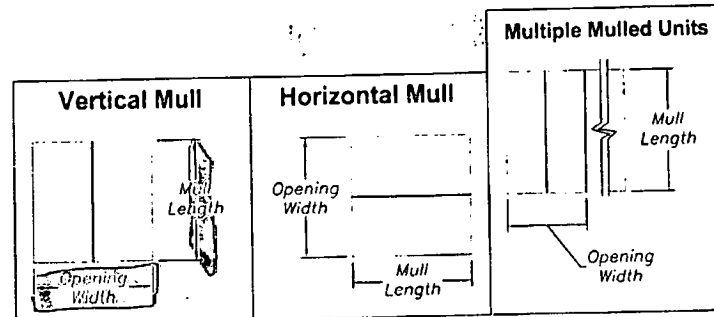
Description:  
 1" STD. WALL, MULLION PROFILES

Title:  
 ALUMINUM TUBE CLIPPED MULLION

Series/Model: MULLS	Scale: 1X	Sheet: 4 of 5	Drawing No. 6220	Rev: D
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CHART 1 - 1x2x.125											
QTY. & TYP.		OPENING WIDTH IN INCHES									
ANCHOR		50	60	70	80	90	100	110	120	130	160
CLIP TO OPENING		(2) A (2) B	(2) A (2) B	(2) A (2) B	(2) A (2) B	(2) A (2) B	(2) A (2) B	(2) A (2) B	(2) A (2) B	(2) A (2) B	(2) A (2) B
CLIP TO MULL		(1) B	(1) B	(1) B	(1) B	(1) B	(1) B	(1) B	(1) B	(1) B	(1) B
MULL LENGTH IN INCHES	42	129	115	107	104	103	103	103	103	103	103
	48	83	73	67	63	61	61	61	61	61	61
	50.625	70	61	55	52	50	49	49	49	49	49
	54	57	49	44	41	39	38	38	38	38	38
	60	41	35	31	29	27	26	25	25	25	25
	63	35	30	27	24	23	22	21	20	20	20
	66	30	26	23	21	19	18	18	17	17	17
	72	23	20	17	16	-	-	-	-	-	-
	76	20	17	15	-	-	-	-	-	-	-
	78	18	15	-	-	-	-	-	-	-	-

CHART 2 - 1x4x.125											
QTY. & TYP.		OPENING WIDTH IN INCHES									
ANCHOR		50	60	70	80	90	100	110	120	130	160
CLIP TO OPENING		(2) A (4) B	(2) A (4) B	(2) A (4) B	(2) A (4) B	(2) A (4) B	(2) A (4) B	(2) A (4) B	(2) A (4) B	(2) A (4) B	(2) A (4) B
CLIP TO MULL		(3) B	(3) B	(3) B	(3) B	(3) B	(3) B	(3) B	(3) B	(3) B	(3) B
MULL LENGTH IN INCHES	42	170	170	170	170	170	170	170	170	170	170
	48	170	170	170	170	170	170	170	170	170	170
	50.625	170	170	170	170	170	170	170	170	170	170
	54	170	170	170	170	162	158	157	157	157	157
	60	170	170	157	143	134	127	124	122	122	122
	63	170	160	141	128	119	112	108	106	106	106
	66	170	145	127	115	106	100	96	93	92	92
	72	142	120	105	95	87	81	77	74	72	71
	76	120	102	90	81	74	69	65	63	61	59
	78	111	94	83	74	68	63	60	57	55	53
	84	88	75	65	59	53	49	46	44	42	40
	90	72	60	53	47	43	39	37	35	33	31
	96	59	50	43	38	35	32	30	28	27	24
	108	41	35	30	27	24	22	20	19	18	16
	111	38	32	28	24	22	20	19	17	16	-
144	17	-	-	-	-	-	-	-	-	-	



- NOTES:**
1. MAXIMUM ALLOWABLE PRESSURE IN PSF.
  2. DESIGN IS BASED ON OPENING WIDTH. FOR MULTIPLE UNITS, CONSIDER ONLY TWO ADJACENT UNITS AT A TIME. SEE SHEET 1.
  3. REFERENCE TEST REPORT FTL-2902, 2903 AND 2975
  4. ANCHOR TYPES: A. ELCO 1/4" TAPCONS, EMBED. (1 1/4") OR 1/4" SS4 CRETE-FLEX, EMBED. (1 3/4")  
B. #12 SCREWS
  5. SEE ANCHOR SPACING DETAILS SHEET 3.

PRODUCT REVIEWED  
as complying with the Florida  
Building Code  
Acceptance No. 06-0175-04  
Expiration Date 06/28/11  
*[Signature]*  
Professional Engineer  
Civil

TO BE USED ONLY WITH PGT INDUSTRIES PRODUCTS

*[Signature]*  
5/30/06  
Robert L. Clark, P.E.  
PE #39712  
Structural



1070 TECHNOLOGY DRIVE  
NOKOMIS, FL 34275  
P.O. BOX 1529  
NOKOMIS, FL 34274

Revised By: F.K.	Date: 5/30/06	Revisions: D-NO CHG THIS SH1
Revised By: F.K.	Date: 5/8/04	Revisions: C-MARKED CHANGES
Drawn By: P.J.P.	Date: 4/28/00	
Description: 1" STD. WALL, PRESSURE CHARTS 1 & 2		
Title: ALUMINUM TUBE CLIPPED MULLION		
Series/Model: MULLS	Scale: NTS	Sheet: 5 of 5
	Drawing No. 6220	Rev: D

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~Thu~~ Thurs 8-27, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8983	Krett	Final	FAIL	\$45 INSPECTION FEE
3	3 Muirama Jensen Beach Alum			INSPECTOR: <i>[Signature]</i>
8981	Hepworth	pool slab form	FAIL	\$45 PERMITS FEE
2	3 Riverview Harbor Bay Pools			INSPECTOR: <i>[Signature]</i>
8819	Rarkin	Final	FAIL	
830	144 N Sewalls Coastline Landscaping	(will meet you with permit)		INSPECTOR: <i>[Signature]</i>
8911	Wells	pre final	DONE	
	3 Worth Ct Eric Johnson	courtesy 11:30		INSPECTOR: <i>[Signature]</i>
8981	Hepworth	pool slab form	PASS	
	3 Riverview Harbor Bay Pools	Field @		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER:

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-23, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>6810</del>	<del>Joyce (Jesse)</del>	<del>Final</del>		<del>rescheduled</del>
<del>PM</del>	<del>19 Palmetto</del>	<del>Kitchen</del>		<del>for Fri.</del>
	<del>OB</del>	<del>219-0340 call first</del>		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>9020</del>	<del>Krest</del>	<del>Final</del>	<del>PASS</del>	<del>CLOSE</del>
1	3 Muriama Jensen Beach Alum.	Window		INSPECTOR: <i>JM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
9030	Krest	Final	PASS	CLOSE
1	3 Muriama Hayden Air	reinspect		INSPECTOR: <i>JM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>8818</del>	<del>Sebastian</del>	<del>buck</del>	<del>PASS</del>	
<del>8823</del>	<del>6 W High Pt</del>			
3	OB			INSPECTOR: <i>JM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
9012	Jones	Demo Final	PASS	CLOSE
4	515 Sewalls LEB			INSPECTOR: <i>JM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
9031	Tullier	Final	PASS	CLOSE
2 9-930	39 N River Flynn's AC			INSPECTOR: <i>JM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER:

**9030**

**A/C CHANGEOUT**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9030	DATE ISSUED:	OCTOBER 20, 2008
SCOPE OF WORK:	AC CHANGEOUT		
CONDITIONS :			
CONTRACTOR:	HAYDEN AIR		
PARCEL CONTROL NUMBER:	013841009000001208	SUBDIVISION	MIRAMAR-LOT 12
CONSTRUCTION ADDRESS:	3 MIRAMAR RD		
OWNER NAME:	KRETT		
QUALIFIER:	DAVID HAYDEN	CONTACT PHONE NUMBER:	546-4431

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



RECEIVED  
DATE: 10-20-08  
TOWN OF SEWALL'S POINT

"Jason"

Town of Sewall's Point  
Date: 10-20-08 BUILDING PERMIT APPLICATION Permit Number: \_\_\_\_\_  
OWNER/TITLEHOLDER NAME: Richard D Krett Phone (Day) 302-395-8186 (Fax) \_\_\_\_\_  
Job Site Address: 3 Miramar Road City: SEWALL'S POINT State: FL Zip: 34996  
Legal Desc. Property (Subd/Lot/Block) MIRAMAR LOT 12 Parcel Number: 3401771  
Owner Address (if different): 725 New Brighton CT City: Middleton State: DE Zip: 19709  
Scope of work: Repair Air Conditioning System

WILL OWNER BE THE CONTRACTOR?  
If yes, Owner Builder questionnaire must accompany application  
YES \_\_\_\_\_ NO \_\_\_\_\_  
Has a Zoning Variance ever been granted on this property?  
Yes \_\_\_\_\_ (Year) \_\_\_\_\_ No \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

CONSTRUCTION VALUES: (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 5148.00  
Notice of Commencement required when over \$2500 - prior to first inspection  
Is subject property located in flood hazard area? V \_\_\_\_\_ A9 \_\_\_\_\_ A8 \_\_\_\_\_ X \_\_\_\_\_  
FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY:  
Estimated Fair Market Value prior to improvement: \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
\*\*\* PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION \*\*\*

CONTRACTOR/Company: Napier Air Inc Phone: 772-546-4431 Fax: 772-419-5787  
Street: 2740 SW MARTIN DOWNS BLVD #24 City: Palm Bay State: FL Zip: 34990  
State Registration Number: \_\_\_\_\_ State Certification Number: CA058554 Municipal License Number: 3866319

PROJECT SUPERINTENDANT: \_\_\_\_\_ CONTACT NUMBER: \_\_\_\_\_  
ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQ. FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Decks/walkways: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.)  
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

**NOTICES TO OWNERS AND CONTRACTORS:**  
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.  
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.  
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.  
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

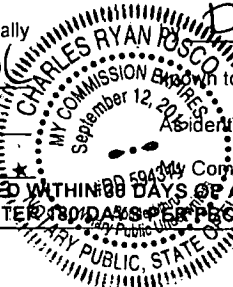
\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AUTHORIZED AGENT SIGNATURE (required)  
Richard D Krett  
State of Florida, County of: Martin  
is the 20th day of October, 2008  
known to me or produced by: Delaware DE  
Identification: [Signature]  
Notary Public  
Commission Expires: July 11, 2011

CONTRACTOR SIGNATURE (required)  
David F Hayden  
On State of Florida, County of: MARTIN  
This the 20 day of OCTOBER, 2008  
who is personally  
known to me or produced by: [Signature]  
Identification: DL FL H 350106582150  
Notary Public  
Commission Expires: [Signature]

BRITTANY L WEATHERLY  
MY COMMISSION # DD694293  
EXPIRES July 11, 2011



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 90 DAYS OF APPROVAL NOTIFICATION PER FBC 105.3.4 ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS OF APPROVAL NOTIFICATION PER FBC 105.3.2 - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com T1.13

**Summary**

Parcel ID  
 1 of

**Parcel Info**

**Summary**

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
01-38-41-009-000-00120-8	3 MIRAMAR RD	17752	Parcel ID	0	1

**Summary**

**Property Location** 3 MIRAMAR RD  
**Tax District** 2200 Sewall's Point  
**Account #** 17752  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120200  
**Acres** 0.344

**Legal Description**  
**Property Information**  
 MIRAMAR LOT 12 OR 340/771

**Search By**

**Parcel ID**

- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
 MATUSZEWSKI, FRANCIS J (L/E)  
 KRETT, RICHARD DAVID

**Mail Information**  
 725 NEW BRIGHTON CT  
 MIDDLETOWN DE 19709

**Assessment Info**  
**Front Ft.** 0.00

**Market Land Value** \$218,500  
**Market Impr Value** \$132,820  
**Market Total Value** \$351,320

**Site Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
**Sale Amount** \$0

**Sale Date** 5/11/2005  
**Book/Page** 2012 2832



General Information		Property Location Map	
Parcel #	0138410090000012080000		
Owner Name:	MATUSZEWSKI, FRANCIS J (L/E)		
Owner Address:	725 NEW BRIGHTON CT MIDDLETOWN , DE 19709		
Site Address:	3 MIRAMAR RD SEWALLS POINT, FL 34996-6710		
Flood Zone:	AE		
FIRM Panel:	0001D		
Urban Service District:	Primary		
Municipality:	Sewall's Point		
Taxing District:	Municipality		
<b>Property Assessment Info</b>			
Tax information obtained from the <u>Martin County Property Appraisers Office (PAO)</u> . Contact the PAO at 772-288-5608. Certified tax roll values as of 1/1/2008		Election information obtained from the <u>Martin County GIS</u> system. If there are any questions, please contact the <u>Martin County Supervisor of Elections</u> at (772) 288-5637	
Account #:	17752	Voter Precinct	10
Land Value:	\$280,000.00	Commission District:	1
Improved Value:	\$138,500.00	Commissioner:	Doug Smith 772-221-2359
Market Value:	\$418,500.00	Clerk of Circuit Court:	Marsha Ewing 772-288-5576
Assessed Value:	\$147,215.00	County Sherriff:	Robert L. Crowder 772-220-7000
Exemption Value:	\$25,000.00	Property Appraiser:	Laurel Kelly 772-288-5608
Taxable Value:	\$122,215.00	Superintendent:	Dr. Sara A. Wilcox 772-219-1200
<b>Land Use</b>		Supervisor of Elections:	Vicki Davis 772-288-5637
*NOTE: Land Use information can change frequently, please verify with the <u>Martin County Growth Management Department</u> at 772-288-5501		Collector:	Larry C. O'Steen 772-288-5955
Zoning:	SEWALL	State Senator:	Ken Pruitt 772-344-1140
Zoning Details:	N/A	State Representative:	coming soon coming soon
Future Landuse	NO DATA	US Senators:	Martinez, Mel (R) (202) 224-3041
Landuse Details:	N/A		Nelson, Bill (D) (202) 224-5274
<b>Special County Planning Areas</b>		US Representative:	coming soon coming soon
CRA:	None	<b>School Information</b>	
Zoning Overlay Zone	None	School information obtained from the <u>Martin County School District</u> system. If there are any questions, please contact the <u>Martin County School District</u> at (772) 219-1200	

Mixed Use Zones	None	Elementary School	Felix A. Williams
		Middle School	Stuart Middle School
		High School	Jensen Beach High School
Created: Monday, October 20, 2008 9:26:50 AM		Print	

**Disclaimer:** The Geographic Information System map product, received from Martin County, ("COUNTY") is provided "as is" without warranty of any kind, and the COUNTY expressly disclaims all express and implied warranties, including but not limited to the implied warranties of merchantability and fitness for a particular purpose. The COUNTY does not warrant, guarantee, or make any representations regarding the use, or the results of the use, of the information provided to you by the COUNTY in terms of correctness, accuracy, reliability, timeliness or otherwise. The entire risk as to the results and performance of any information obtained from the COUNTY is entirely assumed by the recipient. Please contact the responsible Martin County Department for specific determinations. A property buyer should not rely on the seller's current property taxes as the amount of property taxes that the buyer may be obligated to pay in the year subsequent to purchase. A change of ownership triggers reassessment of the property that could result in higher property taxes. If you have any questions concerning valuation, contact the Property Appraiser's office for information.



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 3 MIDWAY MAR

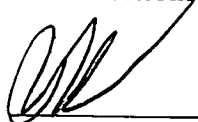
I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

A/C CHANGE OUT.

PRIMARY CONDENSATE DRAIN  
IN AN UNCONDITIONED  
SPACE (ATTIC) NEEDS TO  
BE INSULATED.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/22

  
\_\_\_\_\_

INSPECTOR

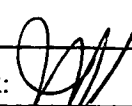

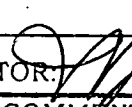
**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-22, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>9030</del>	<del>Knett</del>	<del>Final</del>	<del>FAIL</del>	
<u>1st</u>	<u>3 Miramar</u> <u>Hayden Cir</u>			INSPECTOR: 
<u>8138</u>	<u>Cocouello</u> <u>20 Island</u> <u>Wilson</u>	<u>Final</u>	<u>PASS</u>	<u>CLOSE</u>  INSPECTOR: 
<u>6776</u>	<u>Walcott</u> <u>7 Island Rd</u> <u>Wilson</u>	<u>Final</u>	<u>PASS</u>	<u>CLOSE</u>  INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-23, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>6810</del>	<del>Joyce (Jesse)</del>	<del>Final</del>		rescheduled for Fri.
<del>PM</del>	<del>19 Palmetto</del>	<del>Kitchen</del>		
	<del>OB</del>	<del>219-0340 call first</del>		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
9020	Knett / 3 Miramar	Final window	PASS	CLOSE
1	Jensen Beach Alum.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>9030</del>	<del>Knett</del>	<del>Final</del>	<del>PASS</del>	<del>CLOSE</del>
1	3 Miramar Hayden Air	reinspect		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>8818</del>	<del>Sebastian</del>	<del>buck</del>	<del>PASS</del>	
8823	6 W High Pt OB			INSPECTOR: <i>[Signature]</i>
3				
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
9012	Jones	Demo Final	PASS	CLOSE
4	51 S Sewalls LEB			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
9031	Tullier	Final	PASS	CLOSE
2 9-930	39 N River Flynn's AC			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

**9359**

**IRRIGATION SYSTEM**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9359	DATE ISSUED:	FEBRUARY 2, 2010
SCOPE OF WORK:	IRRIGATION SYSTEM		
CONDITIONS:			
CONTRACTOR:	ECOWATER SYSTEMS		
PARCEL CONTROL NUMBER:	013841-009-000-001208	SUBDIVISION	MIRAMAR - LOT 12
CONSTRUCTION ADDRESS:	3 MIRAMAR RD		
OWNER NAME:	KRETT		
QUALIFIER:	JAMES LENNON	CONTACT PHONE NUMBER:	772-692-1037

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Date: 1/21/10 Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: RICHARD KROTT Phone (Day) 302 437 6524 (Fax) \_\_\_\_\_

Job Site Address: 3 MIRAMAR ROAD City: STUART State: FL Zip: 34996

Legal Description MIRAMAR LOT 12 Parcel Control Number: 01-38-41-009-010-00120-B

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work (please be specific): Irrigation SYSTEM

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO X

**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

**COST AND VALUES: (Required on ALL permit applications)**  
Estimated Value of Improvements: \$ 2000.00  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 \_\_\_\_\_ AE9 \_\_\_\_\_ AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

*gof we*

CONTRACTOR/Company: ECOWATER SYSTEMS Phone 772 692 1037 Fax: 772 692 5721

Street: 1490 NW FEDERAL HWY City: STUART State: FL Zip: 34994

State License Number: \_\_\_\_\_ OR: Municipality: MARTIN Co License Number: MC1500873

LOCAL CONTACT: Jack Osmander Phone Number: 772 260 5172

DESIGN PROFESSIONAL: JAMES LENNON Lic# MC1500873 Phone Number: 772 692 1037

Street: 1490 NW FEDERAL HWY City: STUART State: FL Zip: 34994

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007  
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

**NOTICES TO OWNERS AND CONTRACTORS:**

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)  
OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

State of Florida, County of: Martin  
This the 21<sup>st</sup> day of January 2010  
by Richard Krott who is personally

known to me or produced DE DB # 893606  
as identification Valerie Meyer  
Notary Public

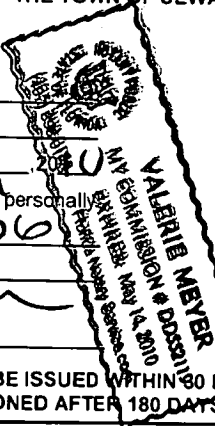
My Commission Expires: \_\_\_\_\_

CONTRACTOR SIGNATURE: (required)

On State of Florida, County of: Martin  
This the 21<sup>st</sup> day of Jan 2010  
by James Lennon who is personally

known to me or produced \_\_\_\_\_  
As identification. J Lennon  
Notary Public

My Commission Expires: Mar 31, 2013



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 90 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

\*\*\*\*\*  
 \*\*\* ACTIVITY REPORT TX/RX \*\*\*  
 \*\*\*\*\*

ST. TIME	CONNECTION-TEL/ID	NO.	MODE	PGS.	RESULT
02/19 10:36		772 778 5919	8080 AUTO RX	ECM	1 OK 00'17
02/19 10:44		910 285 2982	8081 AUTO RX	ECM	2 OK 00'24
02/19 11:21		910 285 2982	8082 AUTO RX	ECM	5 OK 01'12
02/19 16:52	EcoWater of the South	19104235488	1970 TX	ECM	1 OK 00'17
02/19 17:39		18168471234	1971 TX	ECM	2 OK 00'23
02/19 19:22		14847089715	1972 TX	ECM	2 OK 00'32
02/20 07:34		910 285 2982	8083 AUTO RX	ECM	13 OK 03'24
02/20 08:23	Castle Credit	18004117888	1973 TX	ECM	1 OK 00'22
02/20 08:30	Time Investments	12623341092	1974 TX	ECM	1 OK 00'53
02/20 08:53		14077743378	1975 TX	ECM	1 OK 00'26
02/20 10:07		800 811 3501	8084 AUTO RX	ECM	1 OK 00'32
02/20 10:09		910 285 2982	8085 AUTO RX	ECM	1 OK 00'26
02/20 10:20		800 811 3501	8086 AUTO RX	ECM	1 OK 00'32
02/20 10:22		800 811 3501	8087 AUTO RX	ECM	1 OK 00'32
02/20 10:45		910 285 2982	8088 AUTO RX	ECM	5 OK 00'46
02/20 10:49		800 811 3501	8089 AUTO RX	ECM	1 OK 00'31
02/20 11:17			8090 AUTO RX	ECM	2 OK 00'46
02/20 11:22			8091 AUTO RX	ECM	2 OK 00'54
02/20 11:57		9104833210	8092 AUTO RX	ECM	1 OK 00'28
02/20 12:09			8093 AUTO RX	ECM	1 OK 00'56
02/20 12:18			8094 AUTO RX	ECM	1 OK 01'00
02/20 12:19		772 388 8439	8095 AUTO RX	ECM	1 OK 00'28
02/20 12:22		7722869750	1976 TX	ECM	2 OK 00'40
02/20 12:24		15618815858	1977 TX	ECM	3 OK 01'20
02/20 15:47	Leaf	8004262626	1978 TX	ECM	2 OK 00'28
02/20 16:23		19104235488	1979 TX	ECM	2 OK 00'24
02/20 17:49		7722235493	1980 TX	ECM	2 OK 00'23
02/20 18:58			8096 AUTO RX	ECM	1 OK 01'00
02/20 21:03		7722917837	8097 AUTO RX	ECM	2 OK 02'45
02/20 21:33			8098 AUTO RX	ECM	1 OK 00'28
02/21 01:22			8099 AUTO RX	ECM	1 OK 00'44
02/21 15:30		7728711001	8100 AUTO RX	ECM	2 OK 02'02
02/23 07:23		910 285 2982	8101 AUTO RX	ECM	11 OK 01'54
02/23 07:27		910 285 2982	8102 AUTO RX	ECM	6 OK 01'46
02/23 07:53		800 811 3501	8103 AUTO RX	ECM	1 OK 00'33
02/23 08:29		910 285 2982	8104 AUTO RX	ECM	3 OK 00'35
02/23 08:32			8105 AUTO RX	ECM	2 OK 00'36
02/23 08:34		910 285 2982	8106 AUTO RX	ECM	3 OK 00'34
02/23 08:37		800 811 3501	8107 AUTO RX	ECM	1 OK 00'33
02/23 08:52	Time Investments	12623341092	1981 TX	ECM	1 OK 00'55



# Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...  
governmentmax.com T1.14

## Summary

Print | | | | | Address  
1 of 1

### Parcel Info

#### Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
01-38-41-009-000-00120-8	3 MIRAMAR RD	17752	Address	0	1

#### Summary

**Property Location** 3 MIRAMAR RD  
**Tax District** 2200 Sewall's Point  
**Account #** 17752  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120200  
**Acres** 0.344

**Legal Description**  
**Property Information**  
 MIRAMAR LOT 12 OR 340/771

### Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
 MATUSZEWSKI, FRANCIS J (L/E)  
 KRETT, RICHARD DAVID

**Mail Information**  
 725 NEW BRIGHTON CT  
 MIDDLETOWN DE 19709

**Assessment Info**  
 Front Ft. 0.00

**Market Land Value** \$157,700  
**Market Impr Value** \$117,560  
**Market Total Value** \$275,260

### Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
 Sale Amount \$0

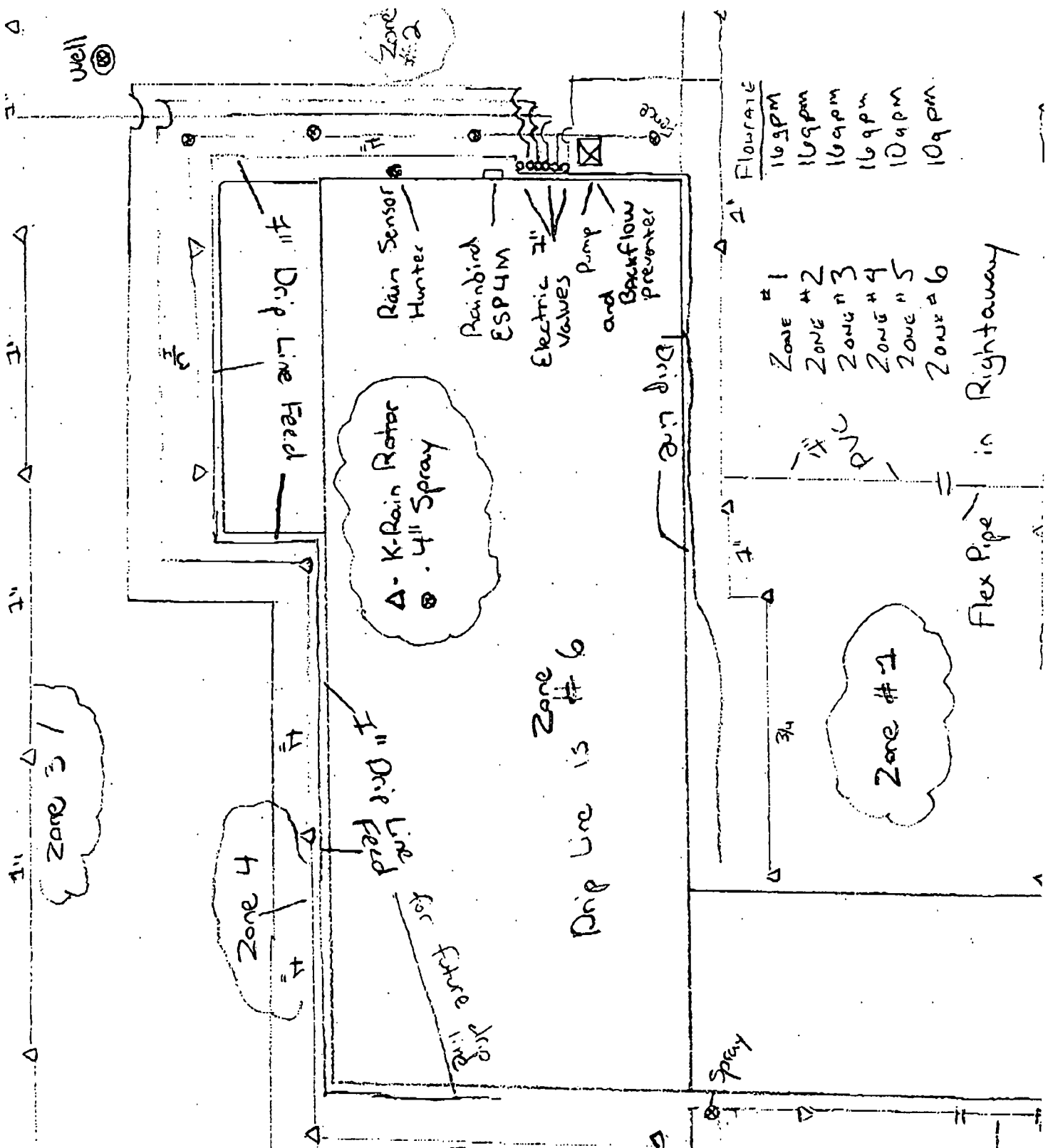
**Sale Date** 5/11/2005  
**Book/Page** 2012 2832

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 1/14/2010





FILE COPY  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE 1-29-10  
 BUILDING OFFICIAL

0027003

01/28/2010 THU 9:46 FAX 772 6923721 EcoWater Systems



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

**IRRIGATION APPLICATION CHECKLIST**

*George*  
A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

- 1 Copy Completed permit application
- 2 Copies Manufactures specifications for all installed equipment
- 2 Copies Site plan indicating well and pump location and setbacks to property lines. Indicate location of sprinkler timer and rain gauge.
- 2 Copies Schematic piping diagram indicating pipe sizes, sprinkler head types and flow rate. Provisions for back flow prevention.
- 1 Copy Electrical verification form or separate electrical permit if applicable

*N/A*

**NOTE: BACK FLOW PREVENTION DEVICES MUST BE PROVIDED WITH TEST PORTS. DUAL CHECK VALVES WITHOUT TEST PORTS ARE PROHIBITED.**

*ESP4m*  
*720A*

\*\*\*\*\*  
 \*\*\* ACTIVITY REPORT TX/RX \*\*\*  
 \*\*\*\*\*

ST. TIME	CONNECTION TEL/ID	NO.	MODE	PGS.	RESULT
02/23 09:15	800 811 3501	8108	AUTO RX	1	OK 00'31
02/23 09:21	9158211160	8109	AUTO RX	1	OK 00'17
02/23 09:32	17722313241	1982	TX	2	OK 00'41
02/23 09:59	2211295	1983	TX	3	OK 03'03
02/23 10:29		8110	AUTO RX	2	OK 00'54
02/23 10:33		8111	AUTO RX	2	OK 00'53
02/23 10:55	13133814464	1984	TX	2	OK 00'35
02/23 11:10	910 285 2982	8112	AUTO RX	1	OK 00'19
02/23 11:12	910 285 2982	8113	AUTO RX	1	OK 00'18
02/23 11:14	910 285 2982	8114	AUTO RX	1	OK 00'15
02/23 11:17	910 285 2982	8115	AUTO RX	2	OK 00'19
02/23 11:21	910 285 2982	8116	AUTO RX	2	OK 00'24
02/23 14:08	910 285 2982	8117	AUTO RX	9	OK 01'19
02/23 14:24	800 811 3501	8118	AUTO RX	-1	OK 00'33
02/23 14:25	Time Investments 12623341092	1985	TX	5	OK 01'29
02/23 14:27	910 285 2982	8119	AUTO RX	1	OK 00'18
02/23 14:32		8120	AUTO RX	1	OK 00'35
02/23 14:36	910 285 2982	8121	AUTO RX	1	OK 00'23
02/23 14:55	910 285 2982	8122	AUTO RX	7	OK 01'43
02/23 14:57	Time Investments 12623341092	1986	TX	6	OK 02'51
02/23 15:02	Time Investments 12623341092	1987	TX	6	OK 02'49
02/23 15:10	910 285 2982	8123	AUTO RX	2	OK 00'25
02/23 15:19	19158211160	1988	TX	1	OK 00'15
02/23 15:24	19104235488	1989	TX	3	OK 00'31
02/23 15:37	AMERICAN FINCO 18666832405	1990	TX	4	OK 03'22
02/23 15:51	800 811 3501	8124	AUTO RX	1	OK 00'33
02/23 16:23	Castle Credit 18004117888	1991	TX	1	OK 00'26
02/23 16:32		8125	AUTO RX	1	OK 00'20
02/23 18:21		8126	AUTO RX	1	OK 00'56
02/23 19:45		8127	AUTO RX	1	OK 00'44
02/23 22:01	7728711001	8128	AUTO RX	2	OK 02'02
02/23 23:50	5616265696	8129	AUTO RX	1	NG 01'14
02/24 00:20		8130	AUTO RX	0	NG 00'43
02/24 00:22		8131	AUTO RX	1	OK 01'49
02/24 00:25		8132	AUTO RX	1	OK 01'11
02/24 00:27		8133	AUTO RX	1	OK 01'11
02/24 00:29		8134	AUTO RX	1	OK 00'46
02/24 00:30		8135	AUTO RX	0	NG 00'42
02/24 00:33		8136	AUTO RX	1	OK 01'11
02/24 02:17	7722917837	8137	AUTO RX	3	OK 04'17



## Product Specifications

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### K-Rain RPS75 Gear Drive Rotor

Model # RPS75, RPS75-RCW, RPS75-CV

### Professional Series Sprinkler

The sprinkler shall be of the gear-driven, rotary type, capable of covering a 22-52 foot (6.7–15.8 meter) radius at 30–70 PSI (2.1 bar/210 kPa–4.8 bar/480 kPa) with a discharge rate of .06-.50 inches (.15-1.3 cm) per hour. The sprinkler shall be available with eight (8) nozzles with a trajectory of 25° discharging from .5 to 8.2 GPM (1.8–31.0 l/m) , and four (4) low-angle nozzles with a trajectory of 11° discharging from 1.2 to 8.6 GPM (4.5–32.5 l/m). The sprinkler shall have radius adjustment capabilities by means of a stainless-steel nozzle retainer/radius adjustment screw.

The sprinkler shall be available in an adjustable part-circle configuration. The adjustable part circle unit shall be minutely adjustable from 40° to 360°. The adjustable unit shall be adjustable in all phases of installation (i.e., before installation, after installation while static, and after installation while in operation).

The sprinkler shall have a minimum of 4-inch (10.1 cm) pop-up stroke to bring the rotating nozzle turret into a clean environment. The sprinkler may be equipped with an optional drain check valve (RPS75-CV) to prevent low head drainage, and be capable of checking up to 10 feet (3 m) in elevation change.

The sprinkler shall have a rubber cover firmly attached to the top of the turret. When specified, the sprinkler shall have a molded purple rubber cover to indicate the use of reclaimed water (RPS75-RCW). The sprinkler shall have an exposed surface diameter after installation of 1-3/4 inches (4.4 cm) and have an overall height of 7-3/8 inches (18.7 cm). The unit shall have a 3/4-inch Female National Pipe Thread (FNPT) inlet. The sprinkler shall be serviceable after installation by unscrewing the body cap, removing the riser assembly, and extracting the inlet filter basket.

The body and riser of the sprinkler shall be constructed of corrosion resistant, impact resistant, heavy duty ABS. It shall have a stainless steel spring for positive retraction of the riser when irrigation is complete. The sprinkler shall carry a five-year trade, exchange warranty.

The sprinkler shall be manufactured by K-Rain Manufacturing Corporation of Riviera Beach, Florida an ISO 9001:2000 Certified Company.



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- [Installers](#)
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- [PS Spray](#)
- [Features](#)
- [Specifications](#)
- [Charts](#)
- [Resources](#)



**MODEL**

- PS-04 – 4" Pop-up

**DIMENSIONS**

- Overall height: PS-04 – 6 1/2" (16 cm)
- 1/2" female inlet NPT
- Exposed diameter: 1 1/4" (3 cm)

**OPERATING SPECIFICATIONS**

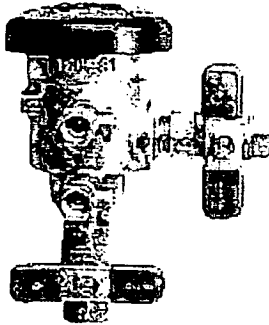
- Discharge rate: .2 to 5.3 GPM (0.05 to 1.20 m<sup>3</sup>/hr; 0.8 to 20.1 l/min)
- Radius: 10' to 19' (3.0 to 5.8 m)
- Recommended pressure range: 20 to 40 PSI (1.4 to 2.8 bars; 137 to 275 kPa)
- Precipitation rates: approximately 1.4" to 1.7" (35 to 43 mm) per hour

**OPTIONS AVAILABLE**

- Field installed drain check valve for up to 7' (2.1 m) elevation change (part # 461843)

Site Search

## SPECIFICATION SUBMITTAL SHEET



### FEATURES

Sizes:  1/2"  3/4"  1"  1 1/4"  1 1/2"  2"

Maximum working water pressure 150 PSI  
 Maximum working water temperature 110°F  
 Hydrostatic test pressure 300 PSI  
 End connections threaded ANSI B1.20.1

### OPTIONS

(Suffixes can be combined)

- with full port QT ball valves (standard)
- L - less ball valves

### ACCESSORIES

- Repair kit (complete)
- Water Hammer Arrestor (Model 1250)
- QT-SET Quick Test Fitting Set

### APPLICATION

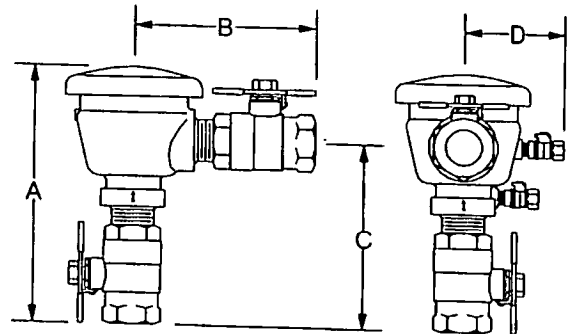
Designed for installation on potable water lines to protect against backsiphonage of contaminated water into the potable water supply. Assembly shall provide protection where a potential health hazard exists.

### STANDARDS COMPLIANCE

- ASSE® Listed 1020
- IAPMO® Listed
- CSA® Certified
- Approved by the Foundation for Cross-Connection Control and Hydraulic Research at the University of Southern California

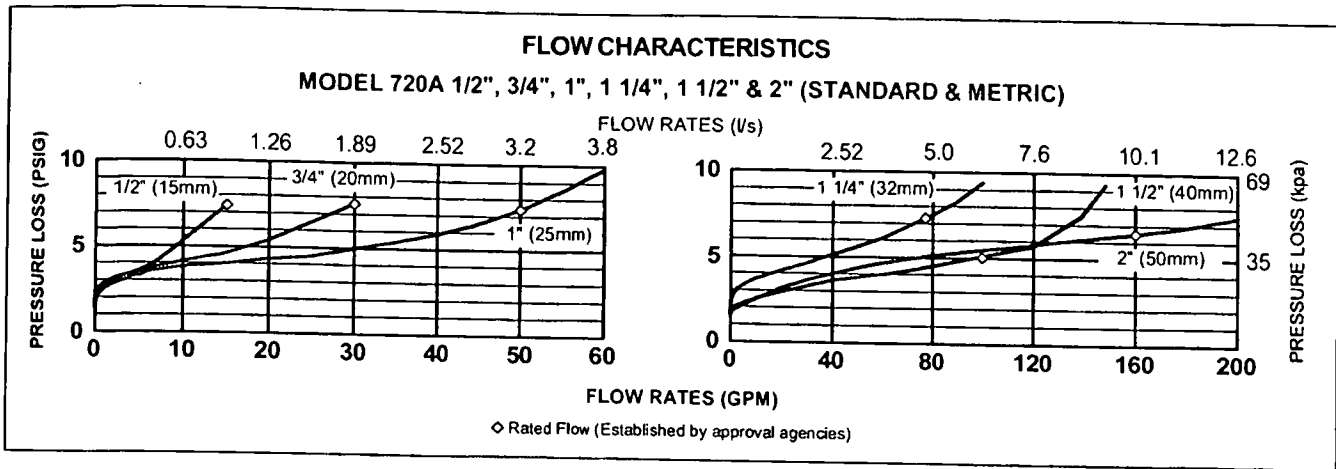
### MATERIALS

Main valve body Cast Bronze ASTM B584  
 Fasteners Stainless Steel, 300 Series  
 Elastomers Silicone (FDA approved)  
 Buna Nitrile (FDA approved)  
 Polymers Polypropylene (FDA approved)  
 Delrin® (FDA approved)  
 Springs Stainless steel, 300 series



### DIMENSIONS & WEIGHTS (do not include pkg.)

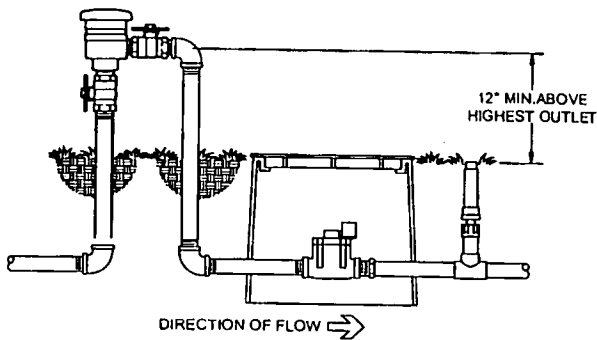
MODEL SIZE		DIMENSIONS (approximate)								WEIGHT			
		A		B		C		D		LESS BV		WITH BV	
in.	mm	in.	mm	in.	mm	in.	mm	in.	mm	lbs.	kg	lbs.	kg
1/2	15	6 7/8	175	3 13/16	97	4	102	3 1/2	89	4	1.8	6	2.7
3/4	20	7	178	4 1/8	105	4 1/8	105	3 1/2	89	4	1.8	6	2.7
1	25	7 5/8	194	4 1/2	114	4 5/8	118	3 1/2	89	4	1.8	8	3.6
1 1/4	32	10 13/16	275	7 1/4	184	7 1/4	184	4 1/2	114	14	6.4	20	9
1 1/2	40	10 3/8	264	6 7/8	175	6 7/8	175	4 1/2	114	14	6.4	20	9
2	50	11	279	7 1/2	191	7 5/8	194	4 1/2	114	14	6.4	26	10.4



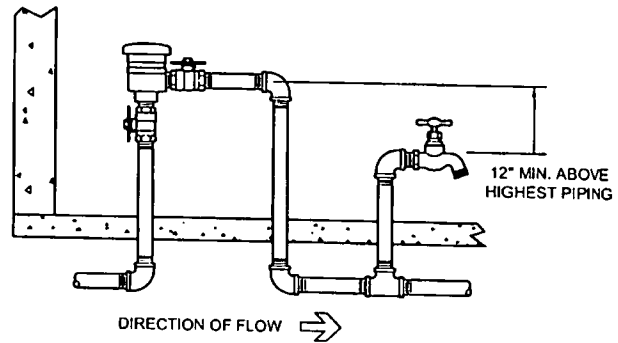
### TYPICAL INSTALLATION

Local codes shall govern installation requirements. Unless otherwise specified, the assembly shall be mounted at a minimum of 12" (305mm) above the highest piping or outlet downstream of the device. Install with adequate drain and sufficient side clearance for testing and maintenance. The installation shall be made so that no part of the unit can be submerged. A pressure vacuum breaker cannot be installed where back-pressure could occur or where spillage of water from vent could cause damage.

Capacity thru Schedule 40 Pipe				
Pipe size	5 ft/sec	7.5 ft/sec	10 ft/sec	15 ft/sec
1/8"	1	1	2	3
1/4"	2	2	3	5
3/8"	3	4	6	9
1/2"	5	7	9	14
3/4"	8	12	17	25
1"	13	20	27	40
1 1/4"	23	35	47	70
1 1/2"	32	48	63	95
2"	52	78	105	167



OUTDOOR INSTALLATION



INDOOR INSTALLATION

### SPECIFICATIONS

The Pressure Vacuum Breaker shall be ASSE 1020 approved, and supplied with full port ball valves. The main body and bonnet shall be bronze (ASTM B584), the loaded-air inlet shall use an silicone elastomer spring and seat disc. The entire assembly shall be accessible for maintenance and testing without removing the device from the line. The Pressure Vacuum Breaker shall be a WILKINS Model 720A.

### The ESP-Modular Controller Maximize Your Productivity

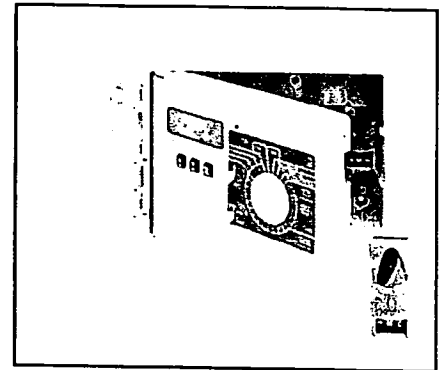
A member of the popular ESP family of controllers, the ESP-Modular is designed to maximize your productivity by saving you time and money. The large, easy to read display and intuitive programming sequence make this the most user-friendly controller in its class. The spacious cabinet and terminal locations make installation and wire-up a snap. And features like the Contractor Default™ program make service calls more efficient and earn you more money by taking less time! The ESP-Modular: Maximizing your Productivity.

#### Features

- ESP Programming: Extra-Simple Programming with large numbers and text in the LCD to aid user programming
- Three independent programs with 4 start times each for a total of 12 start times
- Four station base model with the capacity to receive plug-in station modules of three stations each allows the controller to expand from 4 to 13 stations
- Hot swappable modules can be installed while in operation and in any position
- Station 13, called an "Auxiliary Station™" can bypass an active sensor to allow watering even if the other stations are disabled or can operate as a normal station
- Contractor Default™ setting allows the contractor to set his own default program and can be accessed with the push of a button. Useful in easily restoring a schedule that has been altered by a homeowner or to replace a temporary schedule for new seed or sod
- 5-year lithium battery maintains time and date during a power outage.
- 365-day calendar with leap year intelligence means that you can set an "Odd" or "Even" day watering schedule and not worry about changing the date on leap years
- Four irrigation cycle modes for maximum flexibility and compliance to all major watering restrictions (Custom 7-day calendar, 1-31 day cycle and odd/even cycles)
- Non-volatile memory maintains the irrigation schedule indefinitely during a power outage
- Permanent day off feature prevents watering on any day of the week in any cycle mode
- Global Season Adjust (0-200%) allows the user to alter the run time of all the valves in every program with the push of a button
- Dedicated sensor terminals allow the user to easily connect a sensor to the controller for maximum water efficiency. A light (LED) and a message on the LCD indicates when a sensor is active
- Sensor bypass switch allows the user to override an active sensor
- Diagnostic self-setting circuit breaker identifies a valve or wire fault and continues to water operable stations
- Enhanced Diagnostic Feedback™ alerts the user to programming errors and other conditions that may render a schedule inoperable
- "Valve Test Terminal" allows the installer to test the valve wires during installation to determine the valve that each wire is connected to
- Master valve/pump start circuit programmable by station allows operation of connected pump as needed.
- Programmable Delay between station feature allows additional time between zones for water well recovery or slow closing valves
- Spacious heavy-duty cabinet with internal junction box provides lots of room for wiring and eliminates the need to purchase an external j-box for a clean and professional looking installation. Outdoor model comes with key-locking cabinet
- Remote ready connector enables the controller to be used with RMI and RMX1 remote control systems where available.

#### Operating Specs

- Station timing: 0 to 6 hours for all stations
- Automatic Starts: 4 start times per program on the quarter hour for up to a total of 12 start times per day if using all three programs
- Independent programming schedules:
  - Custom (water by day of the week)
  - Odd (water on odd days of the month except 31<sup>st</sup> or 29<sup>th</sup> if leap year)
  - Even (water on even days of the month)
  - Cyclic (1-31 days: Water from every other day to once every 31 days)



#### Electrical Specifications

- Input required: 120 VAC ± 20%, 60Hz or 230VAC/240VAC ± 20%, 50Hz.
- Output: 25.5 VAC 1A
- Surge Protection: Primary input side has 2 built in MOVs (metal oxide varistors) to protect microcircuitry. Output side has 2 built in MOVs for each valve station.
- Power back-up: Lithium coin-cell battery maintains time and date while non-volatile memory maintains the schedule
- Multi-valve station capacity: Up to two 24 VAC, 7VA solenoid valves per station plus a master valve

#### Dimensions

- Width: 10.7 in. (27.2 cm)
- Height: 7.7 in. (19.5 cm)
- Depth: 4.4 in. (11.2 cm)

#### Models

- ESP-4Mi: 4 station indoor model
- ESP-4M: 4 station outdoor model\*
- ESP-SM3: 3-station module

\*Available in 120VAC, 230VAC and 240VAC models.

#### How to Specify

**ESP-4Mi**   **ESP-SM3**

**Controller**  
**Base Model**

ESP-4Mi: Indoor  
ESP-4M: Outdoor

**Modules**

3-Station Module



### Specifications

The controller shall be of a hybrid type that combines electro-mechanical and microelectronic circuitry capable of fully automatic or manual operation. The controller shall be housed in a wall-mountable, weather-resistant plastic cabinet with a key-locking cabinet door (outdoor models only) suitable for either indoor or outdoor installation.

The controller shall have a base unit with 4 stations as well as three expansion slots capable of receiving station modules of three stations each to create a controller of up to 13 stations. Station 13 shall be called an "auxiliary station" and shall have the capability of bypassing an active rain sensor or of functioning as a normal station output. Station timing shall be from 0 minutes to 6 hours. Run time resolution shall be in 1-minute increments from 0 to 59 minutes and 10 minutes from 1 to 6 hours. The LCD shall display "No Run Times" or equivalent icon for 230 VAC models if no run time has been entered for any station in any program.

The controller shall have three separate and independent programs which can have different start times, station timing and watering days. Each program shall have up to 4 start times available. The controller shall stack multiple start times in sequence to prevent hydraulic overload. The LCD shall display "No Start Times" or the equivalent icon for 230VAC models if no start time has been entered for any program. The controller shall be capable of operating two 24 VAC solenoid valves per station plus a master valve or remote pump start relay. The controller shall operate on 120 VAC  $\pm$  20% at 60Hz (230VAC  $\pm$  20% at 50Hz for international models). The controller shall have an electronic, diagnostic circuit breaker that shall sense a station with an electrical overload or short circuit and shall bypass that station and continue operating all other stations.

The controller shall have a 365-day calendar with a permanent day off feature that allows a

day(s) of the week to be turned OFF on any cycle (odd/even/1-31 day cycle). A day set to "Permanent Off" shall override the normal repeating schedule and shall display the words "Day Always Off/Day Off" in the LCD screen. The controller shall have a seasonal adjust feature adjustable from 0% to 200% in increments of 10%. Seasonal adjust shall effect all programs simultaneously. If seasonal adjust is set to 0% the LCD shall display "SEASONAL ADJ" (equivalent icon for 230 VAC models).

The controller shall have a 12-hour AM/PM or 24 hour military (for 230VAC models) clock with a midnight day change over. The controller shall have a sensor circuit for connection to a rain sensor or to an underground moisture sensor system that will interrupt a scheduled watering under "wet" or "moist" conditions. The controller shall have an indicator on the LCD screen and one LED light to indicate that a sensor is connected and active and that watering has been temporarily disabled.

The controller shall have access to a variety of "hidden features" by turning the dial to a specific location on the dial and pushing the ON OFF buttons simultaneously. These features shall include: 1) save a custom default program 2) retrieve a custom default program 3) bypass an active rain sensor on the Auxiliary Station 4) allow the Auxiliary Station to be interrupted by an active rain sensor 5) Clear memory 6) Set a day as "Permanently Off" 7) Set master valve/pump start circuit by station 8) Set programmable delay between station.

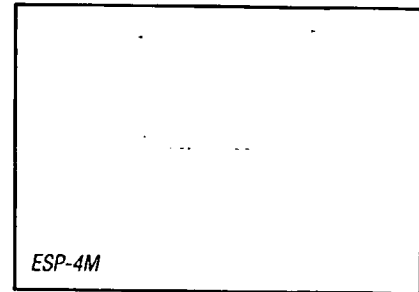
The controller shall have the following manual operations and manual advances for semi-automatic control:

Run a single valve

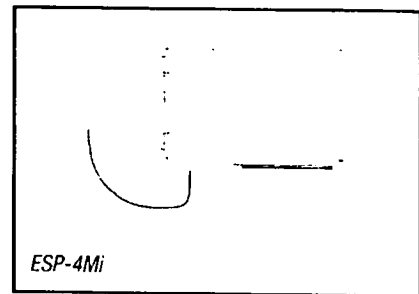
Run multiple manually stacked valves

Run a semi-automatic program

Run a test on all valves (all stations with any time assigned regardless of the program) from 1 to 10 minutes



ESP-4M



ESP-4Mi

The controller shall have a removable, battery programmable front panel (uses a 9 volt battery (not included)) for conveniently programming the controller away from the installation site or for teaching irrigation scheduling.

The controller shall have the capacity for the program to be erased allowing the user to start programming with a blank controller. The controller shall have multiple knockouts, sizes and locations, including the back of the cabinet, to facilitate installation and provide a clean professional look. The controller shall have a factory default program that runs 10 minutes every day beginning 8 hours after power resumption.

The controller shall have a reset button to reset the controller in the case of micro-controller "lock-up" due to power surges or frequent interruption to the power supply.

#### Rain Bird Corporation

Contractor Division

6991 East Southpoint Road, Tucson, AZ 85706  
Phone: (520) 741-6100 Fax: (520) 741-6522

#### Rain Bird Corporation

Commercial Division

6991 East Southpoint Road, Tucson, AZ 85706  
Phone: (520) 741-6100 Fax: (520) 741-6522

#### Rain Bird International, Inc.

145 North Grand Avenue, Glendora, CA 91741  
Phone: (626) 963-9311 Fax: (626) 963-4287

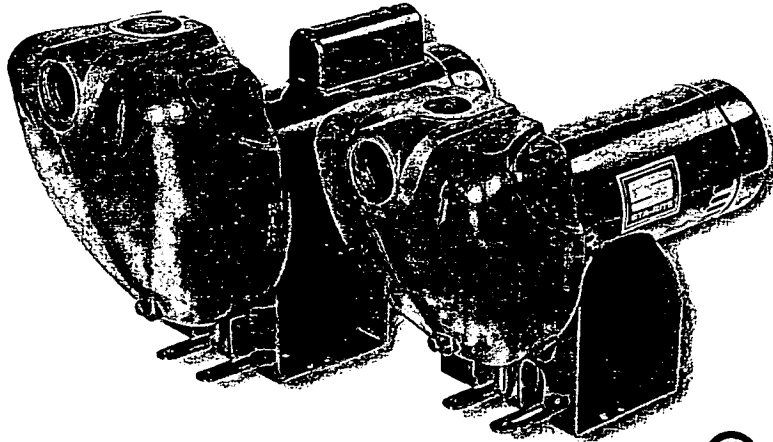
#### Rain Bird Technical Service

1-800-RAINBIRD (U.S. and Canada only)

[www.rainbird.com](http://www.rainbird.com)



# self-priming centrifugal pumps



The PRO-Storm™ Series\* of cast iron sprinklers offer superior unmatched performance, available in 1 HP through 2-1/2 HP models.

The PRO-Storm models offer "single-body-fill" priming to 25-foot lifts, in less than 5 minutes!

The PRO-Storm models exceed the strict safety requirements of Underwriters Laboratory UL778, and CSA. Required by many state and local codes.

The PRO-Storm models are completely interchangeable with the original STA-RITE DS2 Series

models, saving costly plumbing "change-out" dollars and installation headaches!

\*Single- and three-phase available.

### APPLICATIONS

- Residential irrigation pump... can be safely operated by timer or other automatic device
- Contractors... for dewatering excavation, water transfer and supply
- Agriculture seed bed and plot irrigation, stock watering
- Industrial sump drainage, marine pumping, liquid transfer and supply operations

### ORDERING INFORMATION

HIGH HEAD						
Catalog Number	HP	Voltage	Phase	Pipe Tapping Sizes		Approx. Wt. Lbs.
				Suction	Discharge	
DS3HE	1	115/230	1	2"	1-1/2"	52
DS3HE3	1	208-230/460	3	2"	1-1/2"	52
DS3HF	1-1/2	115/230	1	2"	1-1/2"	58
DS3HF3	1-1/2	208-230/460	3	2"	1-1/2"	58
DS3HG	2	115/230	1	2"	2"	83
DS3HG3	2	208-230/460	3	2"	2"	83
DS3HHG	2-1/2	115/230	1	2"	2"	85
DS3HHG3	2-1/2	208-230/460	3	2"	2"	85

NOTE: All single-phase motors shipped from the factory set at 230 volt.

## PRO-Storm™ DS3 SERIES

### SPECIFICATIONS

**Body and Seal Plate** – Close-grained cast iron

**Impeller** – Noryl®

**Diffuser** – Reinforced polypropylene

**Shaft** – One-piece threaded 416 stainless steel

**Base** – Steel, 10 gauge

**Motor** – 2-compartment

### FEATURES

**Rugged Construction** – Close-grained cast iron body, specially treated for corrosion resistance.

**Noryl® Impeller** – Precision-molded for perfect balance... ultra-smooth for highest performance and efficiency.

**Precision Molded Diffuser** – Pump primes faster, handles more air, with multi-port, precision-molded, reinforced polypropylene diffuser.

**High Head Models** – Deliver up to 145' of head with capacities to 95 GPM.

**Easy Serviceability** – Normal wearing parts are easily accessible for service and replacement, without disturbing piping or mounting.

**Motor Windings** – Superior insulation materials protect against excessive moisture and contaminants... ensures prolonged motor life.

**Balanced Rotor** – Die cast under high pressures for uniform performance and greater efficiency, dynamically balanced.

**Drain Port** – Provided for easy winterizing.

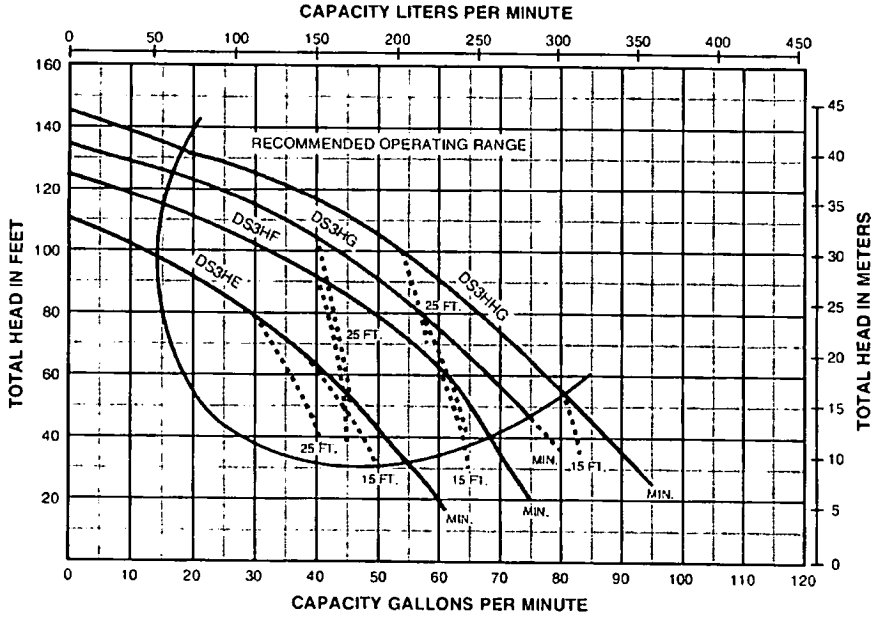
Noryl® is a registered trademark of General Electric Co. PRO-Source™ and PRO-Storm™ are trademarks of Pentair Water.

In order to provide the best products possible, specifications are subject to change.



# self-priming centrifugal pumps

## PUMP PERFORMANCE



**NOTE:** Dotted lines indicate performance reduction at high suction lift.

### PUMP PERFORMANCE (Capacity in Gallons Per Minute)

Catalog Number	HP	Discharge Pressure		Suction Lift in Feet				
		PSI	Feet Head	5'	10'	15'	20'	25'
DS3HE	1	20	46.2	48	45	40	37	33
		30	69.3	33	30	26	22	16
		40	92.4	15	10	—	—	—
DS3HF	1-1/2	20	46.2	64	62	60	57	54
		30	69.3	53	50	46	42	37
		40	92.4	35	30	25	19	—
DS3HG	2	20	46.2	72	70	67	65	62
		30	69.3	60	58	54	51	47
		40	92.4	45	42	37	30	27
		50	115.5	23	16	—	—	—
DS3HHC	2-1/2	20	46.2	83	80	77	74	71
		30	69.3	70	67	63	60	55
		40	92.4	56	52	48	40	35
		50	115.5	36	28	20	—	—

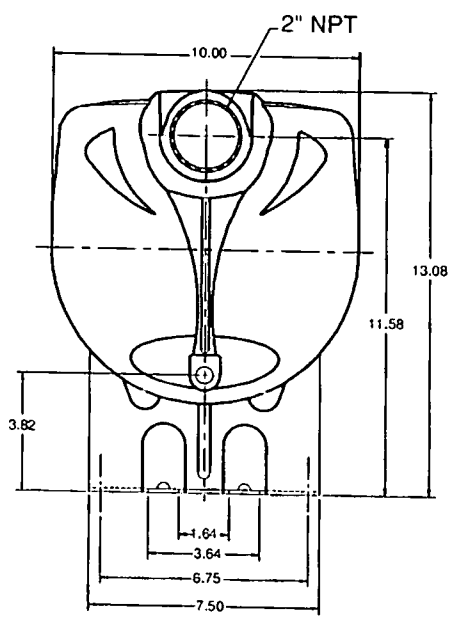
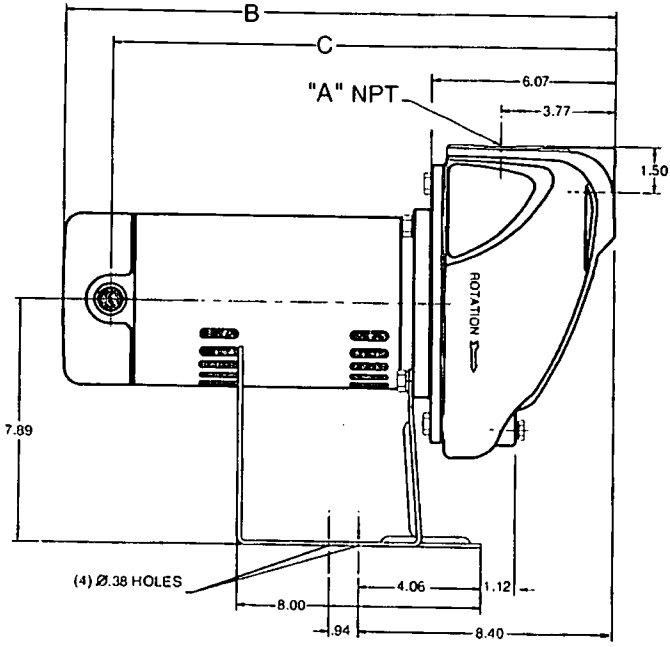
Tested and rated in accordance with Water Systems Council Standards.

**NOTE:** Pumps installed with a PRO-Source™ tank require a 100 PSI relief valve. Pumps installed with a conventional tank require a 75 PSI relief valve. Relief valve must be capable of relieving entire flow of pump at relief pressure.



# self-priming centrifugal pumps

## OUTLINE DIMENSIONS



Catalog Number	A NPT	B	C
DS3HE	1-1/2" NPT	17.04	15.60
DS3HE3	1-1/2" NPT	15.45	14.07
DS3HF	1-1/2" NPT	18.10	16.66
DS3HF3	1-1/2" NPT	15.95	14.48
DS3HG	2" NPT	18.54	17.10
DS3HG3	2" NPT	16.95	15.48
DS3HHG	2" NPT	18.85	17.41
DS3HHG3	2" NPT	17.69	16.23

Dimensions (in inches) are for estimating purposes only.





## 205 Series Valve Bidding Specifications

Valve(s) shall be 205 Series 1" electric globe models as manufactured under the brand name of Irritrol Systems or approved equal.

**Construction:** Valve body shall be constructed of corrosion- and UV-resistant PVC material. Valve shall be available in NPT or welded slip configuration. Design of valve shall be high flow, low friction loss and shall include optional flow control for precise flow adjustment and manual shut-off. Valve shall have debris tolerant design to accommodate dirty water conditions. Valve shall have a manual external bleed and removable tamper-resistant flow control handle. Valve shall have a nylon-reinforced Buna-N diaphragm. Valve shall have a Buna-N valve seat seal. Valve shall be serviceable without needing to be removed from system. Valve shall be powered by a 24 V ac encapsulated solenoid, .4 amp inrush and .2 amp holding.

**Operation:** Valve shall have a working pressure range from 10 psi (0,7 Bars) minimum to 150 psi (10 Bars) maximum and a recommended flow range from 5 to 30 GPM (20 to 114  $\frac{1}{M}$ ).



SEARCH

- HOME
- CONTRACTOR
- DESIGNER
- HOMEOWNER
- DISTRIBUTOR

OUR PRODUCTS

- ▶ [Controllers](#)
- ▶ [Valves](#)
- ▶ [Spray Heads](#)
- ▶ [Rotors](#)
- ▶ [Super Blue Flex](#)
- ▶ [Rain Sensors](#)
- ▶ [Accessories](#)
- ▶ [Rain Master](#)

RESOURCES

- ▶ [Product Literature](#)
- ▶ [Bidding Specs](#)
- ▶ [CAD Details](#)
- ▶ [Online Training](#)

SUPPORT

- ▶ [Controller Repair](#)
- ▶ [Troubleshooting](#)
- ▶ [Marketing Support](#)

DISTRIBUTOR LOCATOR

Enter Zip or Postal Code



RainSensor Series

Applications

Rain and Freeze Sensors Residential, Light Commercial, Commercial

Wireless rain sensors conserve water by suspending irrigation during rainfall, and the wireless rain/freeze sensors also reduce the damage to plants and danger to walkways caused by ice buildup by interrupting irrigation when the air temperature drops below a predetermined set point.

Key Features and Benefits

- Wireless models
- Constant communication between transmitter & receiver
- Versatile mounting options
- Signal strength indicator
- Smart Bypass for easy system override

Electrical Specifications

- Receiver power: 22-28 VAC/VDC, 100mA (to be used with Class 2, UL-approved ( transformer)
- Load rating: normally open or normally closed
- UL Listed, FCC, CE, IC

Specifying information

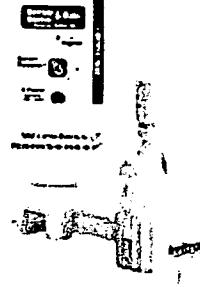
Model	Sensor type	Wireless
RS1000	Rain	yes
RFS1000	Rain/freeze	yes
RS500	Rain	no

**Downloads**

- ▶ [Sell Sheet](#)
- ▶ [User Guide RS1000 & RFS1000](#)
- ▶ [User Guide RS500](#)

**Resources**

- ▶ [Bidding Specs](#)
- ▶ [CAD Details](#)



HIGHLIGHT

450R 3/4" Rotor

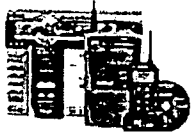
With a familiar arc setting and all adjustments made from the top of the rotor, the 450R was designed with the contractor in mind!



LEARN MORE

PC Control

With PC Control, you control your irrigation and landscape lighting right from your own computer!

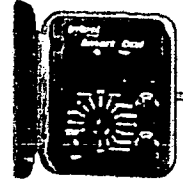


LEARN MORE

SPOTLIGHT

Smart Dial

Smart Dial adjusts your irrigation schedule based on daily local weather conditions



LEARN MORE

- HOME
- CONTRACTOR
- DESIGNER
- HOMEOWNER
- DISTRIBUTOR

1490 NW Federal Hwy Stuart, FL 34994  
Phone: 772-692-1037  
Fax: 772-692-3721



# Fax

To: VALARIE From: GEORGE LENNOD

---

Fax: 220 4765 Date: 1/28/10

---

Phone: Pages: 3

---

Rc: #3 MIRAMAR CC:

---

- Urgent     For Review     Please Comment     Please Reply     Please Recycle

•Comments:

PLANS FOR THE IRRIGATION SYSTEM @

# 3 MIRAMAR, SEWALLS Pt.

### TOWN OF SEWALLS POINT

#### BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **2-16-10** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9336	Watson 16 Riverview Dr Reamer Homes	Framing - w/iel email <del>to go</del>	Pass	pictures INSPECTOR <i>[Signature]</i>
<del>9359</del>	<del>[Redacted]</del> <del>[Redacted]</del> Eowater Sys.	<del>[Redacted]</del> <del>[Redacted]</del>	<del>[Redacted]</del> <del>[Redacted]</del>	<del>[Redacted]</del> INSPECTOR <i>[Signature]</i>
9271	Hamton 102 N Sewalls Resort Const	Fasteners TRUSS STRAPPING & ENGINEERING	Pass	SEE LETTER ENG of Record INSPECTOR <i>[Signature]</i>
9339	Gustafson 17 Palm Rd Stuart Fence	Final Fence	Pass	Close INSPECTOR <i>[Signature]</i>
Tree	12 Emmita 22 W H. Pt E.E. 26 W. HIGH Pt	Trees - ALL - Structure w/out permit	SEE PERMIT	NEEDS PERMIT INSPECTOR
9000	CO2 4 fewer Oak Riverview	Gas final	FAIL	NEED ACCESSABLE ON/OFF AT RANGE INSPECTOR <i>[Signature]</i>
9329	Brutvan 23 WHPP WB Brown 260-1624	Steel	Pass	INSPECTOR <i>[Signature]</i>

**9465**

**IMPACT GLASS**

**REPLACEMENT**

**( 4 DOORS )**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9465	DATE ISSUED:	JUNE 8, 2010
SCOPE OF WORK:	4 REPLACEMENT DOORS		
CONDITIONS :			
CONTRACTOR:	LOWES		
PARCEL CONTROL NUMBER:	013841009-000-001208	SUBDIVISION	MIRAMAR - LOT 12
CONSTRUCTION ADDRESS:	3 MIRAMAR RD		
OWNER NAME:	KRETT/MATUSZEWSKI		
QUALIFIER:	PETE CARFARO	CONTACT PHONE NUMBER:	561-721-5611

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

L1109

# Town of Sewall's Point

## BUILDING PERMIT APPLICATION

Permit Number: 9465

Date: 6-2-2010

OWNER/TITLEHOLDER NAME: Krett, Richard Phone (Day) 322-437-6524 (Fax) \_\_\_\_\_

Job Site Address: 3 Miramar Rd City: Sewalls Pt State: FL Zip: 34996

Legal Description Miramar Lt 12 or 340/771 Parcel Control Number: 01-38-41-009-000-00120-8

Owner Address (if different): 725 New Brighton Ct City: Middletown State: DE Zip: 19709

Scope of work (please be specific): 4 X DOORS CHANGE OUT

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO X

**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required on ALL permit applications)  
 Estimated Value of Improvements: \$ 4774.79  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 \_\_\_ AE9 \_\_\_ AE8 \_\_\_ X

**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Lowes Companies Inc Phone: 561-721-5611 Fax: 561-799-6538

Street: 8529 Southpark Cir Ste 430 City: Orlando State: FL Zip: 32819

State License Number: CGC1508417 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: John R. ... Phone Number: 561-721-5611

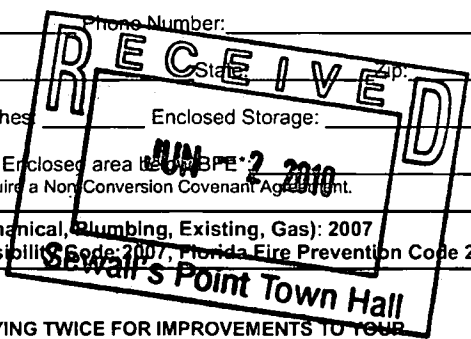
DESIGN PROFESSIONAL: \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carpport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\* \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007  
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007



### NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)  
 OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

State of Florida, County of: NEW CASTLE  
 This the 25TH day of MAY, 2010  
 by RICHARD D. KRETT who is personally  
 known to me or produced  
 as identification.

Notary Public  
 My Commission Expires: 2/24/2013

CONTRACTOR SIGNATURE: (required)

On State of Florida, County of: \_\_\_\_\_  
 This the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
 by Peter A. Carfagna who is personally  
 known to me or produced  
 as identification.

Notary Public State of Florida  
 Notary Public Riccaboni  
 My Commission DD792655  
 Expires 05/28/2012

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



# Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...  
governmentmax.com T1.11

## Summary

print | | | | | Address  
1 of 1

### Parcel Info

#### Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
01-38-41-009-000-00120-8	3 MIRAMAR RD	17752	Address	0	1

#### Summary

**Property Location** 3 MIRAMAR RD  
**Tax District** 2200 Sewall's Point  
**Account #** 17752  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120200  
**Acres** 0.344

**Legal Description**  
**Property Information**  
 MIRAMAR LOT 12 OR 340/771

### Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
 MATUSZEWSKI, FRANCIS J (L/E)  
 KRETT, RICHARD DAVID

**Mail Information**  
 725 NEW BRIGHTON CT  
 MIDDLETOWN DE 19709

**Assessment Info**  
**Front Ft.** 0.00

**Market Land Value** \$157,700  
**Market Impr Value** \$117,560  
**Market Total Value** \$275,260

### Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
**Sale Amount** \$0

**Sale Date** 5/11/2005  
**Book/Page** 2012 2832

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/29/2010





2109



STATE OF Florida  
COUNTY OF Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property: (legal description of property, and street address if available)  
Miramar Lot 12 or 340/771 01-38-41-009-000-00120-8 3 Miramar Rd Jewalls Pt. Fl.
2. General description of improvement: Change out / Replace 4 doors - No size change
3. Owner information:
  - a. Name and address: Matuszekski, Francis & Krett, Richard 725 New Brighton Ct Middletown, DE
  - b. Phone number: \_\_\_\_\_
  - c. Name and address of fee simple titleholder (if other than owner): \_\_\_\_\_
4. Contractor:
  - a. Name and address: Lowes Companies Inc 8529 Southpark Cir Ste 430 Orlando, FL 32819
  - b. Phone number: \_\_\_\_\_
5. Surety:
  - a. Name and address: \_\_\_\_\_
  - b. Amount of bond \$ \_\_\_\_\_
  - c. Phone number: \_\_\_\_\_
6. Lender:
  - a. Name and address: \_\_\_\_\_
  - b. Phone number: \_\_\_\_\_
7. Persons with the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7, Florida Statutes:
  - a. Name and address: \_\_\_\_\_
  - b. Phone number: \_\_\_\_\_
8. In addition to himself, Owner designates the following person(s) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
  - a. Name and address: \_\_\_\_\_
  - b. Phone number: \_\_\_\_\_
9. Expiration date of notice of commencement (the expiration date is one (1) year from the date of recording unless a different date is specified) \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

*[Handwritten Signature]*

Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager  
Signatory's Title/Office \_\_\_\_\_

The foregoing instrument was acknowledged before me this 25th day of MAY, 2010 by RICHARD D. KRETT (name of person) as \_\_\_\_\_ (type of authority, e.g. officer, trustee, attorney in fact) for \_\_\_\_\_ (name of party on behalf of whom instrument was executed).

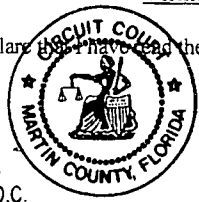
*[Handwritten Signature]*  
Signature of Notary Public - State of Florida DE  
Print, type, or stamp commissioned name of Notary Public

Personally Known  OR Produced Identification   
Type of identification produced \_\_\_\_\_

STATE OF FLORIDA  
MARTIN COUNTY

Verification pursuant to Section 92.525, Florida Statutes

THIS IS TO CERTIFY that I, the undersigned, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.  
FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.



MARSHA EWING, CLERK  
BY L Bettineschi D.C.  
DATE 6-2-10

*[Handwritten Signature]*  
Signature of natural person signing above

12/1/09



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

**WINDOW/DOOR REPLACEMENT CHECKLIST AND SCHEDULE**

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

*Please make sure you have ALL required copies before submitting permit application*

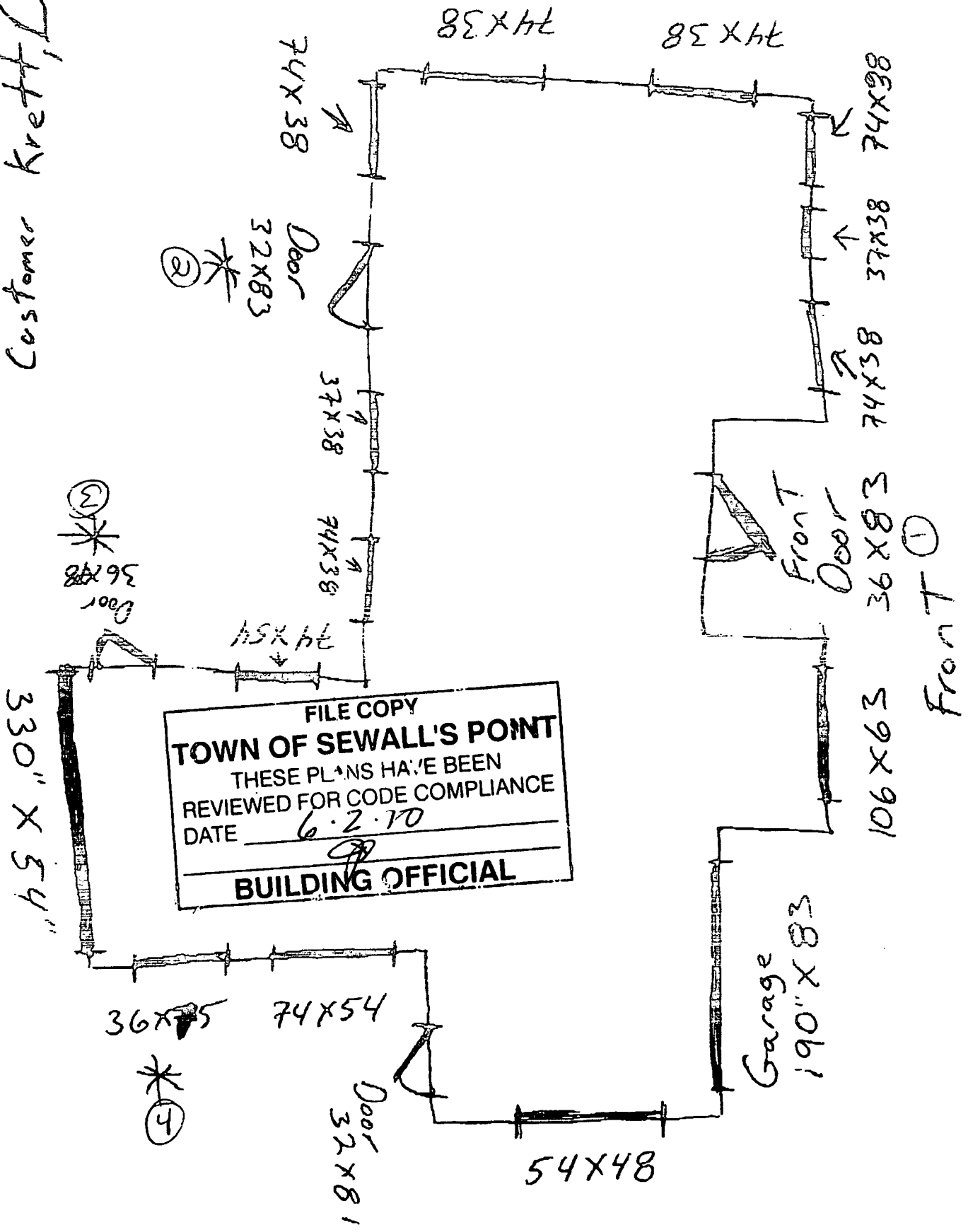
- 1 Copy Completed Permit Application
- 2 Copies Window/Door Schedule
- 2 Copies Manufacturer's Florida Product Approval and Specifications
- 2 Copies Floor Plan Sketch – Show location & ID number of each window/door.  
Must match window/door schedule.

**\*PLEASE NOTE: At least one (1) exterior window or door must comply with the 2007 F.B.C. R310.4 as a single means of escape.**

**ALL NEW WINDOWS AND/OR DOORS WITH GLAZING MUST HAVE IMPACT PROTECTION (SHUTTERS OR IMPACT GLASS). IF SHUTTERS ARE USED, A SEPARATE SHUTTER PERMIT MUST BE ISSUED PRIOR TO FINAL INSPECTION OF THE WINDOW/DOOR REPLACEMENT PERMIT.**

**PARTIAL WINDOW OR GLAZED DOOR REPLACEMENT THAT REPRESENTS LESS THAN 25% OF THE TOTAL GLAZED AREA OVER A 12 MONTH PERIOD IS EXEMPT FROM IMPACT PROTECTION REQUIREMENTS.**

Store 1109  
Customer Kretz, D



## WINDOW/DOOR SCHEDULE

ID NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	36 x 83	①	Door	X		
2	32 x 83	②	Door	X		
3	36 x 78	③	Door	X		
4	36 x 75	④	Door	X		
5						
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TOTAL GLAZED OPENING AREA FOR STRUCTURE: \_\_\_\_\_ S.F.

\*PERCENTAGE OF NEW GLAZED AREA: \_\_\_\_\_ %  
 (TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2004 FBC/ EXISTING BUILDING 507.3.

\* TYPE WINDOWS

SH - SINGLE HUNG  
 DH - DOUBLE HUNG

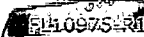
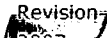


AWN - AWNING  
 CAS - CASEMENT

SL - SLIDING  
 FIX - FIXED

**Product Approval**

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**

FL #		
Application Type		
Code Version	2007	
Application Status	Approved	
Comments		
Archived		
Product Manufacturer	Therma-Tru Corporation	
Address/Phone/Email	118 Industrial Drive Edgerton, OH 43517 (419) 298-1740 sjasperson@tttechnologies.us	
Authorized Signature	Vivian Wright rickw@rwbdgconsultants.com	
Technical Representative		
Address/Phone/Email		
Quality Assurance Representative		
Address/Phone/Email		
Category		
Subcategory		
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received	
Florida Engineer or Architect Name who developed the Evaluation Report	Lyndon F. Schmidt, P.E.	
Florida License	PE-43409	
Quality Assurance Entity	National Accreditation and Management Institute	
Quality Assurance Contract Expiration Date	12/31/2011	
Validated By	Ryan J. King, P.E. <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received	
Certificate of Independence	<a href="#">FL10975_R1_COI_CERTIFICATE_OF_INDEPENDENCE.pdf</a>	
Referenced Standard and Year (of Standard)	<b>Standard</b>	<b>Year</b>
	ASTM E1300	2004
	ASTM E1300	2002
	TAS 201, 202, 203	1994
Equivalence of Product Standards Certified By		
Sections from the Code		
Product Approval Method	Method 1 Option D	
Date Submitted	06/12/2009	
Date Validated	07/09/2009	
Date Pending FBC Approval	07/15/2009	

Date Approved

08/11/2009

Summary of Products		
FL #	Model, Number or Name	Description
10975.1	2. "FiberGlast", "SmoothStar", "ClassicCraft" or "ClassicCraft Rustic"	68" Impact Glazed Fiberglass Single Door (X) Inswing or Outswing Configuration
<b>Limits of Use</b> Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: See INST 10975.1 for Design Pressure Ratings by specific Model and for any other additional use limitations and installation instructions. (Note - ASTM E1300-02 utilized for areas inside the HVHZ)		<b>Installation Instructions</b> <a href="#">FL10975_R1_II_INST_10975.1.pdf</a> Verified By: Lyndon F. Schmidt, P.E. 43409 Created by Independent Third Party: Yes <b>Evaluation Reports</b> <a href="#">FL10975_R1_AE_EQ-E84-00-04.pdf</a> <a href="#">FL10975_R1_AE_EVAL_10975.1.pdf</a> Created by Independent Third Party: Yes

# THERMA TRU®

## THERMA TRU DOORS

118 INDUSTRIAL DR., EDGERTON, OH 43517  
TEL. (419)298-1740

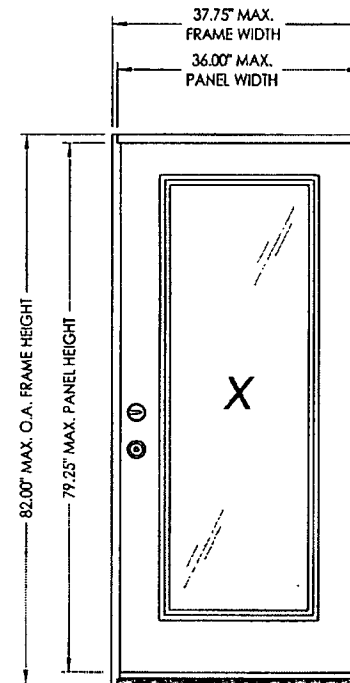
### "SMOOTH STAR", "FIBER CLASSIC", "CLASSIC CRAFT" & "CLASSIC CRAFT RUSTIC" FIBERGLASS GLAZED DOOR INSWING / OUTSWING "IMPACT"

**GENERAL NOTES**

1. This product has been evaluated and is in compliance with the 2007 Florida Building Code (FBC) structural requirements including the "High Velocity Hurricane Zone" (HVHZ).
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
3. When used in the "HVHZ" this product complies with section 1626 of the Florida Building Code and does not require an impact resistant covering.
4. When used in areas outside of the "HVHZ" requiring wind borne debris protection this product complies with Section 1609.1.2 of the 2007 FBC and does not require an impact resistant covering. This product meets missile level "D" and includes Wind Zone 4 as defined in ASTM E1996.
5. For 2x stud framing construction, anchoring of these units shall be the same as that shown for 2x buck masonry construction.
6. Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.
7. Outswing configurations using coastal outswing item #31 meet water infiltration requirements for "HVHZ".
8. Inswing configurations and outswing configurations using item #18, #14, #15, #16, #34 and item #37 do not meet the water infiltration requirements for the "HVHZ" and shall be installed only in non-habitable areas or at habitable locations protected by an overhang or canopy such that the angle between the edge of canopy or overhang to sill is less than 45 degrees."

**TABLE OF CONTENTS**

SHEET #	DESCRIPTION	SHEET #	DESCRIPTION
1	Typical elevations, design pressures & general notes	7	Vertical cross sections
2	Door panel details & glazing details (Smooth Star)	8	Buck and frame anchoring 2X buck masonry construction
3	Door panel details (Fiber Classic)	9	Frame anchoring 1X buck masonry construction
4	Door panel details (Classic Craft)	10	Components
5	Door panel details (Classic Craft Rustic)	11	Bill of materials
6	Horizontal cross sections		



SWING	OVERALL FRAME DIMENSION	DESIGN PRESSURE (PSF)	
		POSITIVE	NEGATIVE
INSWING	37.75" x 82.00"	+55.0	-55.0
OUTSWING	37.75" x 81.17"	+55.0	-55.0

Documents Prepared By:  
**RW** BUILDING CONSULTANTS, INC.  
 P.O. Box 230 Vero Beach, FL 33595  
 Phone No.: 813.659.9197  
 Florida Board of Professional Engineers  
 Certificate of Authorization No. 9813  
**RF** 6-10-09  
 Lyndell F. Schmidt, P.E. No. 43409

PRODUCT: THERMA TRU FIBERGLASS GLAZED DOOR  
 PART OR ASSEMBLY:  
 TYPICAL ELEVATION, DESIGN PRESSURES & GENERAL NOTES

NO.	DATE	BY	REVISIONS

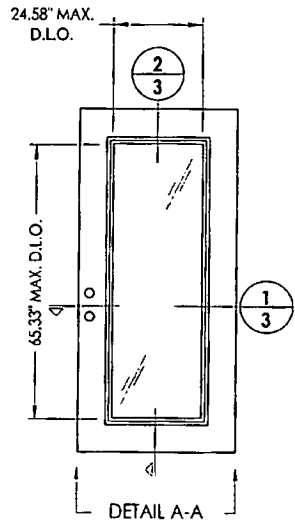
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 SCALE: N.T.S.  
 DWG. BY: JK  
 CHK. BY: LFS  
 DRAWING NO.: FL-10975.1  
 SHEET 1 of 11

R:\A - Projects\Project folders\Proj 1301-1400\PE 1390D - RWBC Drawings\FL-10975.1-5.dwg, FL-10975.1

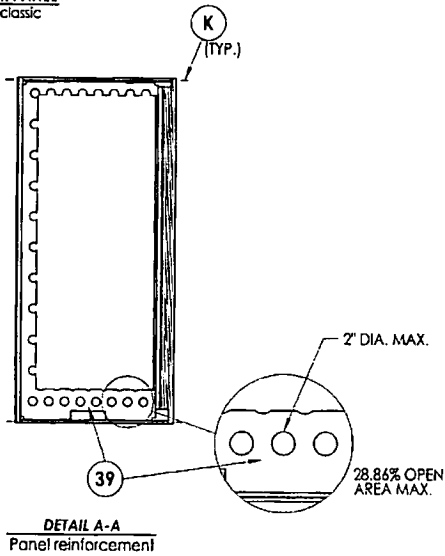
© 2009 R.W. BUILDING CONSULTANTS INC.



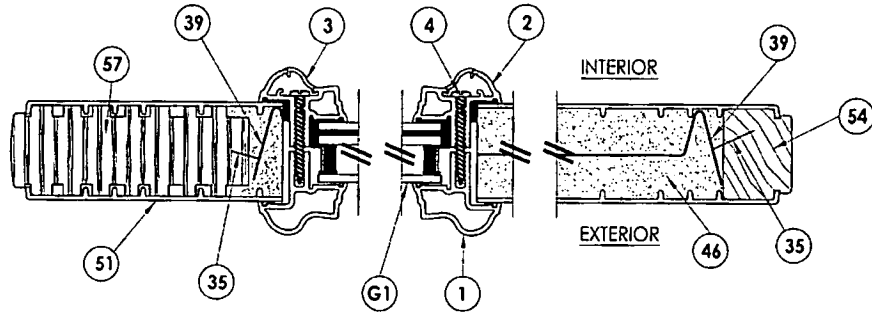




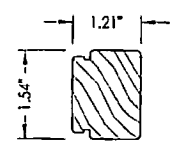
50 DOOR PANEL  
Fiber classic



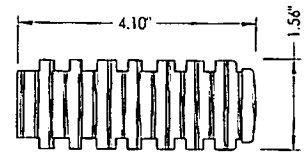
DETAIL A-A  
Panel reinforcement



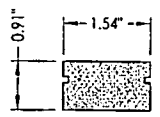
1  
3 HORIZONTAL CROSS SECTION



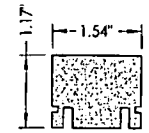
54 HINGE STILE



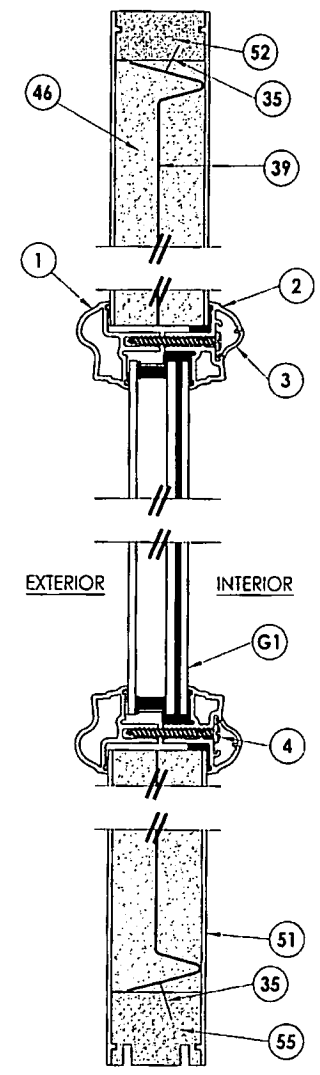
57 LOCK STILE



52 TOP RAIL



55 BOTTOM RAIL

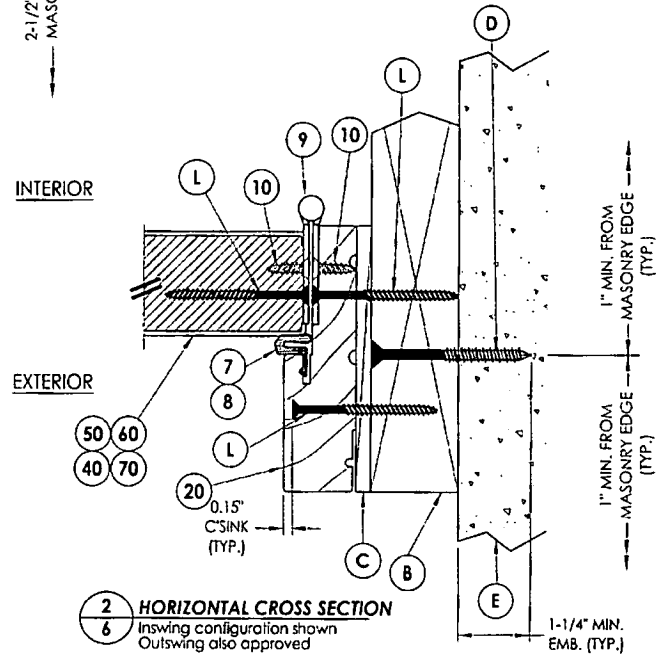
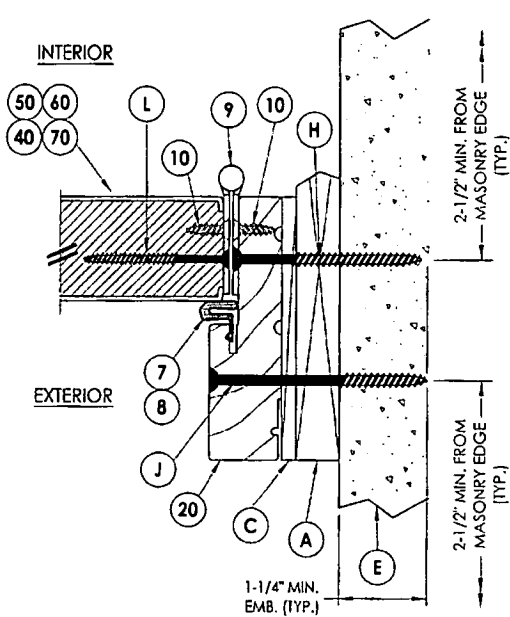
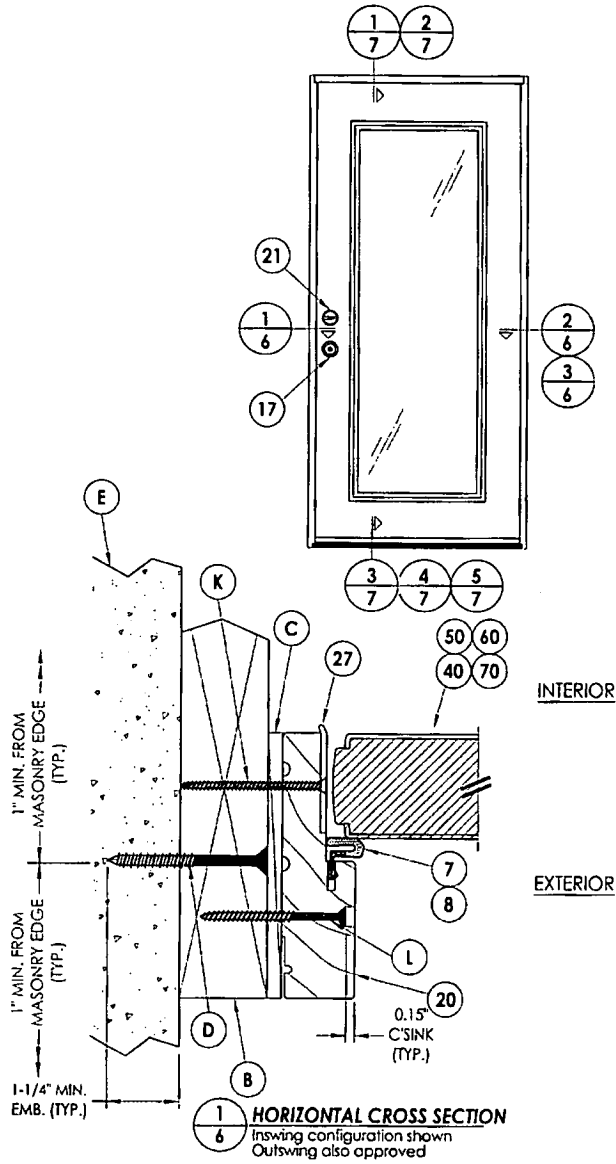


2  
3 VERTICAL CROSS SECTION

Documents Prepared By: <b>BW</b> BUILDING CONSULTANTS, INC. P.O. Box 230 Venice FL 33595 Phone No.: 813.658.9197 Florida Board of Professional Engineers Certificate of Authorization No. 9613 LFS Lynden F. Schmidt, P.E. No. 43409	
PRODUCT: THERMA-TRU FIBERGLASS GLAZED DOOR	PART OR ASSEMBLY: DOOR PANEL DETAILS (FIBER CLASSIC)
NO.	DATE
REVISIONS	BY
DATE: 6/25/08	SCALE: N.T.S.
DWG. BY: JK	CHK. BY: LFS
DRAWING NO.: FL-10975.1	SHEET 3 OF 11

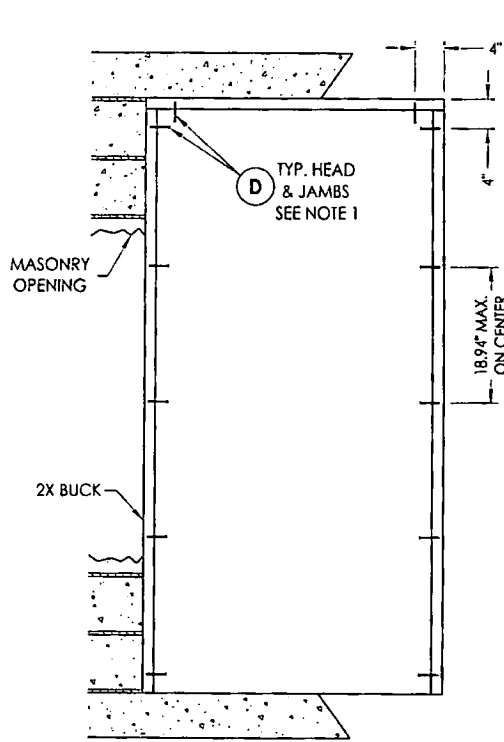




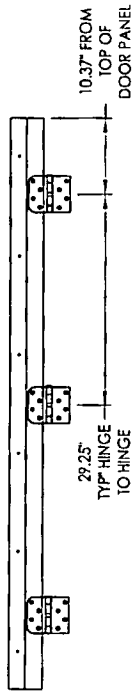


Documents Prepared By: <b>RW</b> BUILDING CONSULTANTS, INC. P.O. Box 230 Venice, FL 33595 Phone No.: 813.859.9197 Florida Board of Professional Engineers Certificate Of Authorization No. 9813 67-586-009 Lynden F. Schmidt, P.E. No. 13408	
PRODUCT: THERMA TRU FIBERGLASS GLAZED DOOR	PART OR ASSEMBLY: HORIZONTAL CROSS SECTIONS
DATE: 6/25/08 SCALE: N.T.S. DWG. BY: JK CHK. BY: LFS DRAWING NO.: FL-10975.1	NO. DATE BY REVISIONS
SHEET 6 OF 11	

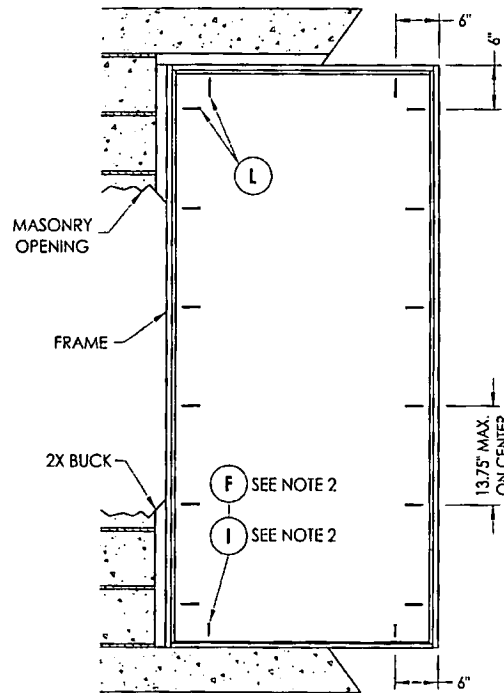




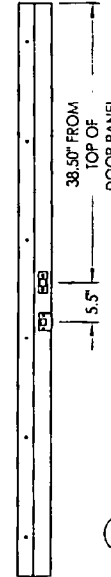
**BUCK ANCHORING**



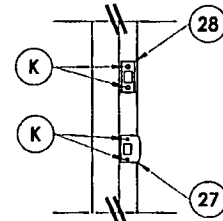
**HINGE JAMB**



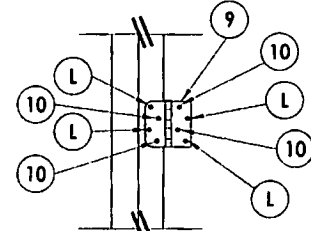
**FRAME ANCHORING**  
Masonry 2x buck construction



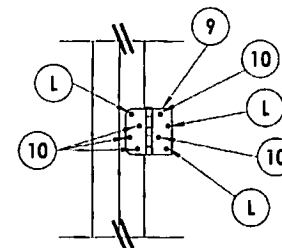
**STRIKE JAMB**



**LATCH & DEADBOLT DETAIL**



**HINGE DETAIL**  
Inswing



**HINGE DETAIL**  
Outswing

**NOTES:**

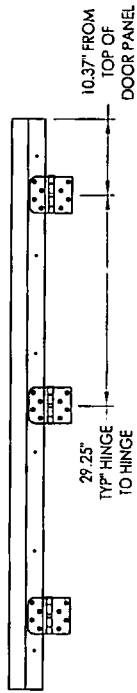
- 1/4" Eico Concrete screws anchoring 2x buck require a minimum 1" clearance to masonry edges, a 1-1/4" minimum embedment and a minimum 4" clearance to adjacent concrete screws. Substitution of equal concrete screws from a different supplier may have different edge distance and center distance requirements. Concrete screw locations at the corners may be adjusted to maintain the minimum edge distance to mortar joints. If Concrete screw locations noted as "MAX. ON CENTER" must be adjusted to maintain the minimum edge distance to mortar joints, additional Concrete screws may be required to ensure the maximum on center dimension is not exceeded.
- 1/4" ITW concrete screws anchoring frame and/or sill require a minimum 2-1/2" clearance to masonry edges, a 1-1/4" minimum embedment and a minimum 3" clearance to adjacent concrete screws. Substitution of equal concrete screws from a different supplier may have different edge distance and center distance requirements. Concrete screw locations at the corners may be adjusted to maintain the minimum edge distance to mortar joints. If Concrete screw locations noted as "MAX. ON CENTER" must be adjusted to maintain the minimum edge distance to mortar joints, additional Concrete screws may be required to ensure the maximum on center dimension is not exceeded.

Documents Prepared By: **RPM BUILDING CONSULTANTS, INC.**  
 P.O. Box 230 Vero Beach, FL 33595  
 Phone No.: 813.539.9187  
 Florida Board of Professional Engineers  
 Certificate of Authorization No. 9613  
 Lynden F. Schmiel, P.E. No. 43409

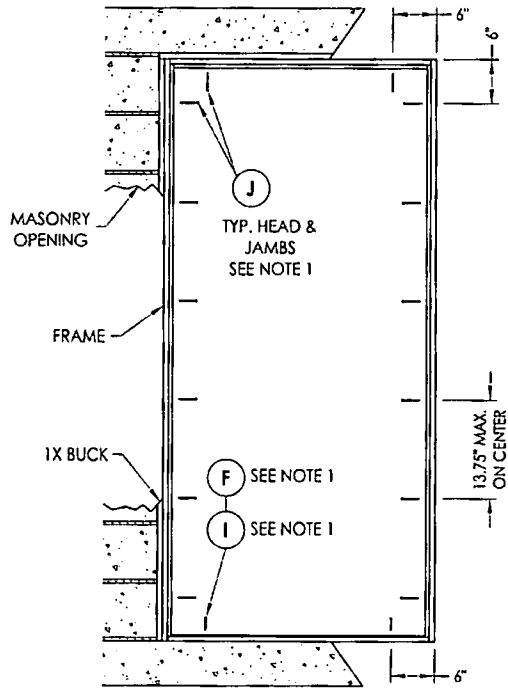
**PRODUCT:** THERMA TRU FIBERGLASS GLAZED DOOR  
**PART OR ASSEMBLY:** BUCK AND FRAME ANCHORING 2X BUCK MASONRY CONSTRUCTION

NO.	DATE	BY	REVISIONS

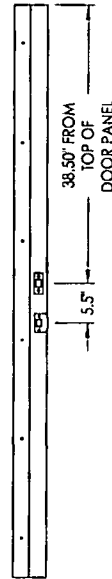
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 SCALE: N.T.S.  
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 CHK. BY: LFS  
 DRAWING NO.: FL-10975.1  
 SHEET 8 OF 11



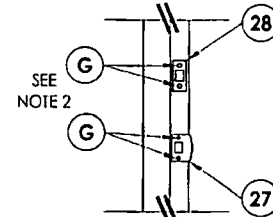
**HINGE JAMB**



**FRAME ANCHORING**  
Masonry 1X buck construction

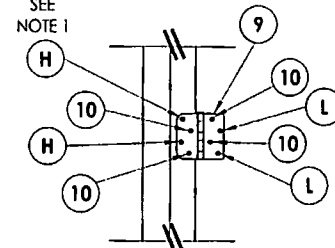


**STRIKE JAMB**



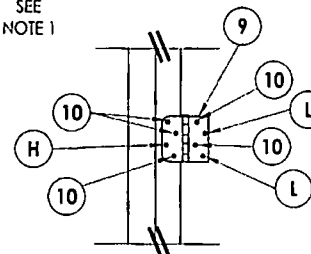
**LATCH & DEADBOLT DETAIL**

SEE NOTE 1



**HINGE DETAIL**  
Inswing

SEE NOTE 1



**HINGE DETAIL**  
Outswing

**NOTES:**

- 1/4" ITW concrete screws anchoring frame and/or sill require a minimum 2-1/2" clearance to masonry edges, a 1-1/4" minimum embedment and a minimum 3" clearance to adjacent concrete screws. Substitution of equal concrete screws from a different supplier may have different edge distance and center distance requirements. Concrete screw locations at the corners may be adjusted to maintain the minimum edge distance to mortar joints. If Concrete screw locations noted as "MAX. ON CENTER" must be adjusted to maintain the minimum edge distance to mortar joints, additional Concrete screws may be required to ensure the maximum on center dimension is not exceeded.
- 3/16" ITW concrete screws anchoring frame and/or sill require a minimum 2-5/8" clearance to masonry edges, a 1-1/4" minimum embedment and a minimum 2-1/4" clearance to adjacent concrete screws unless otherwise noted by concrete screw manufacturer.

Documents Prepared By: **RW** BUILDING CONSULTANTS, INC.  
P.O. Box 230 Vero Beach, FL 33595  
Phone No.: 813.659.9197  
Florida Board of Professional Engineers  
Certificate of Authorization No. 9813  
**17-56-6-1009**  
Lynson F. Schmidt, P.E. No. 43609

**PRODUCT:** THERMA TRU FIBERGLASS GLAZED DOOR  
**PART OR ASSEMBLY:** FRAME ANCHORING 1X BUCK MASONRY CONSTRUCTION

NO.	DATE	BY	REVISIONS

DATE: 6/25/08  
SCALE: N.T.S.  
DWG. BY: JK  
CHK. BY: LFS  
DRAWING NO.: FL-10975.1  
SHEET 9 of 11







# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **8-25** 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9287	Shaufi 73 N Spr Rd Mosley Station	handrail garage	Fair	INSPECTOR <i>[Signature]</i>
9475	<del>Deeg</del> <del>10250 Spr Rd</del> Erickson	<del>Permit</del> <del>reworked</del>		INSPECTOR
9465	<del>1st</del> <del>311 Ramon</del> Louis	<del>Final</del> <del>Door</del>	<del>Pass</del>	<del>Close</del> INSPECTOR <i>[Signature]</i>
9504	Walker 6 Cranes Nest Propane Sew/Elite	Final gas	Pass	Close INSPECTOR <i>[Signature]</i>
9391	Woods 32 E High Pt Pool Crafters	Perimeter Plumbing	Pass	INSPECTOR <i>[Signature]</i>
9527	Fitzgerald 22 W High Pt David Houkamp	Final door	Pass	Close INSPECTOR <i>[Signature]</i>
				INSPECTOR

**9548**

**GARAGE DOOR**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9548	DATE ISSUED:	AUGUST 30, 2010
SCOPE OF WORK:	GARAGE DOOR		
CONDITIONS :			
CONTRACTOR:	D&D GARAGE DOOR		
PARCEL CONTROL NUMBER:	013841-009-000-001208	SUBDIVISION	MIRAMAR - LOT 12
CONSTRUCTION ADDRESS:	3 MIRAMAR RD		
OWNER NAME:	KRETT/MATUSZEWSKI		
QUALIFIER:	DENVER MILLER	CONTACT PHONE NUMBER:	460-7630

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 9540

Date: 8-27-10

OWNER/TITLEHOLDER NAME: Richard Krett

Phone (Day) 302-437-6524 (Fax)

Job Site Address: 3 Miramar Rd

City: Sewall's Point State: FL Zip: 34996

Legal Description: Miramar Lot 12

Parcel Control Number: 01-38-41-009-000-0020-8

Owner Address (if different): 725 New Brighton Ct

City: Middletown State: DE Zip: 19709

Scope of work (please be specific): GARAGE DOOR

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application) YES NO

Has a Zoning Variance ever been granted on this property?

YES (YEAR) NO

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 14750

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: D+D Garage Doors

Phone: 460-7630 Fax: 460-7635

Street: 500 Kitterman Rd

City: Port St Lucie State: FL Zip: 34952

State License Number:

OR: Municipality: SPO3359

License Number:

LOCAL CONTACT: Connie Grace

Phone Number: 772-444-4444

DESIGN PROFESSIONAL: N/A

Lic#

Street:

City:

AREAS SQUARE FOOTAGE: Living:

Garage:

Covered Patios/ Porches:

Enclosed Storage:

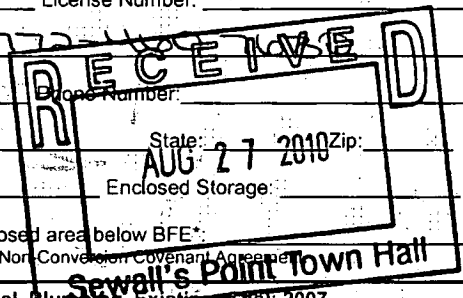
Carport:

Total under:Roof

Elevated Deck:

Enclosed area below BFE:

\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Fueling, Gas); 2007

National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code:2007, Florida Accessibility Code:2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

CONTRACTOR SIGNATURE: (required)

State of Florida, County of: Martin

On State of Florida, County of: St. Lucie

This the 30th day of Aug

This the 27 day of Aug 2010

by Richard Krett who is personally

by Denver Miller who is personally

known to me or produced DE DL# 893606

known to me or produced

as identification. Valerie...

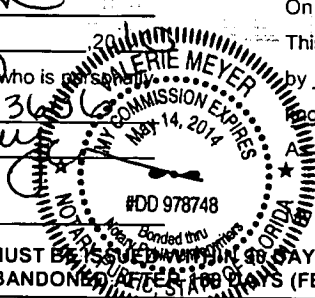
as identification. Tibbany Lee

Notary Public

Notary Public

My Commission Expires:

Commission Expires: April 26, 2014



SINGLE FAMILY PERMIT APPLICATIONS MUST BE PICKED UP WITHIN 45 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



MY COMMISSION # DD 985525 EXPIRES: April 26, 2014 Bonded Thru Budget Notary Services



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com T1.12

**Summary**

print [navigation icons] Address 7 of 12

**Tabs**

**Summary**

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- Parcel Map →

Parcel ID	Account #	Unit Address	Market Total Value	Data as
01-38-41-009-000-00120-8	17752	3 MIRAMAR RD, SEWALL'S POINT	\$231,700	08/21/20

**Owner Information**

<b>Owner(Current)</b>	MATUSZEWSKI FRANCIS J (L/E) KRETT RICHARD DAVID
<b>Owner/Mail Address</b>	725 NEW BRIGHTON CT MIDDLETOWN DE 19709
<b>Transfer Date</b>	05/11/2005
<b>Document Number</b>	1838670
<b>Document Reference No.</b>	2012 2832

**Searches**

- Parcel ID
- Owner

**Address**

- Account #
- Land Use
- Legal Description
- Neighborhood
- Sales
- Maps →

Account #		Location/Description	
17752	Map Page No.	SP-03	
2200	Legal Description	MIRAM,	
3 MIRAMAR RD, SEWALL'S POINT		LOT 12	
.3440		OR	
		340/771	

**Functions**

**Property Search**

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Parcel Type**

<b>Land Use</b>	0100 Single Family
<b>Neighborhood</b>	120200 Heritage P, Palmtto Pk,Rdglnd,

**Assessment Information**

<b>Market Land Value</b>	\$142,000
<b>Market Improvement Value</b>	\$89,700
<b>Market Total Value</b>	\$231,700

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

## GARAGE DOOR REPLACEMENT CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

**Please make sure you have ALL required copies before submitting permit application**

- \_\_\_\_\_ **1 Copy** Completed permit application including,
- Legal Description
  - Notarized signature of owner & contractor
  - Proof of ownership (Recorded warranty deed or tax bill)
- \_\_\_\_\_ **2 Copies** Manufacturer's product approval w/design pressures shown.  
(\*\*Indicate the size of the proposed replacement garage)
- \_\_\_\_\_ **2 Copies** FBC 2007 table 1609.6(2) & 1609.6(1) (attached) – Circle or Hi-light the appropriate height & exposure adjustment coefficient \*Table 1609.6(2)) and the appropriate +/- minimum pressures required (Table 1609.6(1)). (NOTE: The values arrived in these charts are the minimum design pressures required for the replacement garage door)
- \_\_\_\_\_ **1 Copy** Notice of Commencement, if replacement value is over \$2500.00. Must be submitted prior to the first inspection.
- \_\_\_\_\_ **1 Copy** Owner/Builder Application, if applicable

### SPECIFICATIONS AND PRODUCT APPROVALS

- Specs. For all garage doors must be tested by an approved testing lab and design pressures stated
- Garage doors cannot have any glazed openings unless the glazed openings are impact resistant glass.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**FILE COPY**  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE 8-30-10  
**BUILDING OFFICIAL**

TABLE 1609.6(2)

ADJUSTMENT FACTOR FOR BUILDING HEIGHT AND EXPOSURE, (2)

MEAN ROOF HEIGHT (feet)	EXPOSURE		
	B	C	D
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.56	1.81
55	1.19	1.59	1.84
60	1.22	1.62	1.87

For SI: 1 foot = 304.8mm.

**FORMULA FOR DESIGN PRESSURES**

Example: 25 ft mean roof height, exposure C  
 16 X 7 Door 140mph.

Pressure Exposure C multiplier Req. Design Pressure  
 29.7 X 1.35 = +40.095  
 -33.1 X 1.35 = -44.685  
 Garage Door must be rated at +40.1/-44.68  
 minimum. **This formula must be completed  
 for exposure C:**

=====  
 Pressure Exposure C multiplier Req. Design Pressure  
 29.7 X 1.21 = 35.967 (+)  
 -33.1 X 1.21 = 40.051 (-)

TABLE 1609.6(1)

GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf)

EFFECTIVE WIND AREA		Basic Wind Speed V (mph) - 3 second gust)								
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150	
Roof Angle 0-10 degrees										
8	8	10.5 -11.9	11.7 -13.3	14.5 -16.4	17.5 -19.9	20.9 -23.6	24.5 -27.7	28.4 -32.2	32.6 -36.9	
10	10	10.1 -11.4	11.4 -12.7	14.0 -15.7	17.0 -19.0	20.2 -22.7	23.7 -26.6	27.5 -30.8	31.6 -35.4	
14	14	10.0 -10.7	10.8 -12.0	13.3 -14.8	16.1 -17.9	19.2 -21.4	22.5 -25.1	26.1 -29.1	30.0 -33.4	
Roof Angle > 10										
9	7	11.4 -12.9	12.8 -14.5	15.8 -17.9	19.1 -21.6	22.8 -25.8	26.7 -30.2	31.0 -35.1	35.6 -40.2	
16	7	10.9 -12.2	12.3 -13.7	15.2 -16.9	18.3 -20.4	21.8 -24.3	25.6 -28.5	29.7 -33.1	34.1 -38.0	

For SI: 1 Square foot = 0.929 Sqm, 1mpg = 0.447 m/s, 1psf = 47.88 N/qm

1. For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
2. Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1606.2D.
3. Plus and minus signs signify pressures acting toward and away from the building surfaces.
4. Negative pressures assume door has 2 feet of width in building's end zone.

1609.6 Garage doors. Pressures from Table 1609.6(1) for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.





**MIAMI-DADE COUNTY**  
**BUILDING CODE COMPLIANCE OFFICE (BCCO)**  
**PRODUCT CONTROL DIVISION**

MIAMI-DADE COUNTY, FLORIDA  
 METRO-DADE FLAGLER BUILDING  
 140 WEST FLAGLER STREET, SUITE 1603  
 MIAMI, FLORIDA 33130-1563  
 (305) 375-2901 FAX (305) 372-6339

**NOTICE OF ACCEPTANCE (NOA)**

[www.miamidade.gov/buildingcode](http://www.miamidade.gov/buildingcode)

**DAB Door Company, Inc.**  
 12195 NW 98<sup>th</sup> Avenue  
 Hialeah Gardens, FL 33018

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION: 16'-2" Wide x 16' High Steel Sectional Garage Door w/ Window Lite Option**

**APPROVAL DOCUMENT:** Drawing No. 00-18, titled "Sectional Garage Door", dated 08/24/00, with last revision D dated 12/17/08, sheets 1 through 5 of 5, prepared by Al-Farooq Corporation, signed and sealed by Humayoun Farooq, P.E., bearing the Miami-Dade County Product Control revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large and Small Missile Impact Resistant**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official. This NOA revises NOA # 05-0915.08 and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Carlos M. Utrera, P.E.**



*[Handwritten Signature]*  
 3/4/09

NOA No. 09-0128.03  
 Expiration Date: February 22, 2011  
 Approval Date: March 25, 2009  
 Page 1

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**A. DRAWINGS**

1. Drawing No. 00-18, titled "Sectional Garage Door", dated 08/24/00, with last revision D dated 12/17/08, sheets 1 through 5 of 5, prepared by Al-Farooq Corporation, signed and sealed by Humayoun Farooq, P.E.

**B. TESTS**

1. Test report of Tensile Test per ASTM E 8, Report No. **HETI 08-T182**, prepared by Hurricane Engineering & Testing, Inc., dated 12/23/08, signed and sealed by Candido F. Font, PE.

2. Test reports on 1) Uniform Static Air Pressure Test Loading per FBC TAS 202-94  
2) Large Missile Impact Test per FBC, TAS 201-94  
3) Cyclic Wind Pressure Loading per FBC, TAS 203-94  
4) Forced Entry Test per FBC 2411 3.2.1, TAS 202-94  
along with marked-up drawings and installation diagram of a DAB 824 24 GA Sectional Garage Door with Fixed Windows, prepared by Hurricane Engineering & Testing, Inc, Test Reports No. **HETI-08-2149A/B**, dated 06/27/08, signed and sealed by Candido F. Font, P.E.

*"Submitted under NOA # 08-1106.05"*

3. Test report of Uniform Static Air Pressure and Force Entry Resistance Test, per FBC, TAS 202-94 on "Sectional Residential Garage Doors", prepared by Hurricane Engineering & Testing, Inc., Report No. **HETI 00-903**, dated 08/11/00, signed and sealed by Hector M. Medina, P.E.
4. Test report of Large Missile Impact Test, per FBC, TAS 201-94 and Cyclic Wind Pressure Test per, per FBC, TAS 203-94 on "Sectional Residential Garage Doors", prepared by Hurricane Engineering & Testing, Inc., Report No. **HETI 00-904**, dated 08/17/00, signed and sealed by Hector M. Medina, P.E.

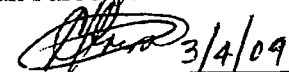
*"Submitted under NOA # 00-1121.01"*

5. Test report on Salt Spray (Corrosion) Test per ASTM B 117 of a painted G-40 steel panels, prepared by Celotex Corporation, Test Report No. **258592**, dated 08/17/98, signed by W. A. Jackson, P.E.

*"Submitted under NOA # 03-0210.04"*

**C. CALCULATIONS**

1. Anchor verification calculations prepared by Al-Farooq Corporation, complying with F.B.C 2007, dated 12/19/08, signed and sealed by Humayoun Farooq, P.E.

 3/4/09

Carlos M. Utrera, P.E.  
Product Control Examiner  
NOA No. 09-0128.03

Expiration Date: February 22, 2011

Approval Date: March 25, 2009

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

**D. QUALITY ASSURANCE**

1. Miami Dade Building Code Compliance Office (BCCO)

**E. MATERIAL CERTIFICATIONS**

1. Notice of Acceptance No. **08-0305.02**, issued to SABIC Innovative Plastics, for their Lexan Sheet Products, approved on 04/24/08 and expiring on 07/17/13.
2. Notice of Acceptance No. **07-1016.07**, issued to Insulfoam, LLC, for their Insulfoam Expanded Polystyrene Insulation, approved on 11/29/07 and expiring on 11/29/12.
3. Notice of Acceptance No. **07-1107.08**, issued to Dyplast Products, LLC, for their Expanded Polystyrene Block Type Insulation, approved on 04/26/07 and expiring on 08/27/08.
4. Notice of Acceptance No. **07-0301.10**, issued to Dyplast Products, LLC, for their Dyplast ISO-C1 Polyisocyanurate Insulation, approved on 06/07/07 and expiring on 01/11/12.

*"Submitted under NOA # 05-0228.02"*

5. Test Report on Accelerated Weathering Using Xenon Arc Light Apparatus Test per ASTM G155 of "PVC Extrusion Material", prepared by Hurricane Engineering & Testing, Inc., Report No. **HETI 04-A002**, dated 09/27/04, signed and sealed by Rafael E. Droz-Seda, P.E.
6. Test Reports on Tensile Test per ASTM D638 of "PVC Extrusion Material", prepared by Hurricane Engineering & Testing Inc., Report No. **HETI 04-T251**, dated 11/29/04 signed and sealed by I. Ghia, P.E.
7. Test Report on Self-Ignition Temperature Test, Rate of Burn Test and Smoke Density Test of "REHAU non-foam PVC extrusion material", prepared by ETC Laboratories, Report No. **04-761-15019.0**, dated 05/06/04, signed and sealed by J. L. Doldan, P.E.

**F. STATEMENTS**

1. Statement letter of code conformance issued by Al-Farooq Corporation, dated 12/15/08, signed and sealed by Humayoun Farooq, P.E.
2. Statement letter of no financial interest issued by Al-Farooq Corporation, dated 12/15/08, signed and sealed by Humayoun Farooq, P.E.

**G. OTHER**

1. Notice of Acceptance No. **05-0915.08**, issued to DAB Door Company, Inc, approved on 04/13/06 and expiring on 02/22/11.

  
3/4/09

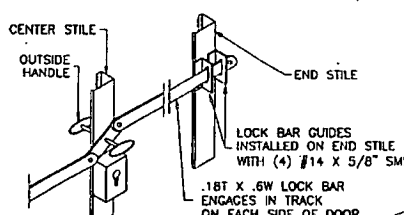
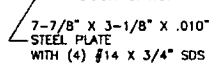
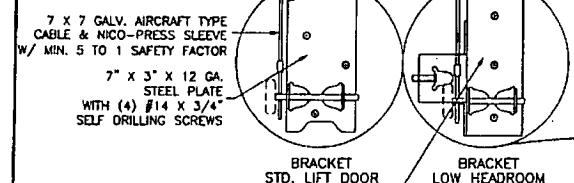
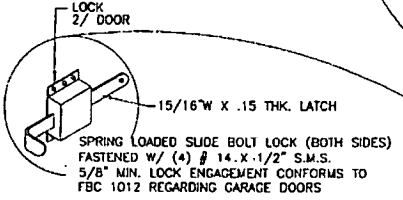
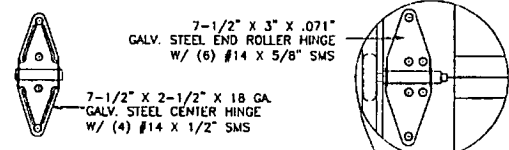
Carlos M. Utrera, P.E.

Product Control Examiner

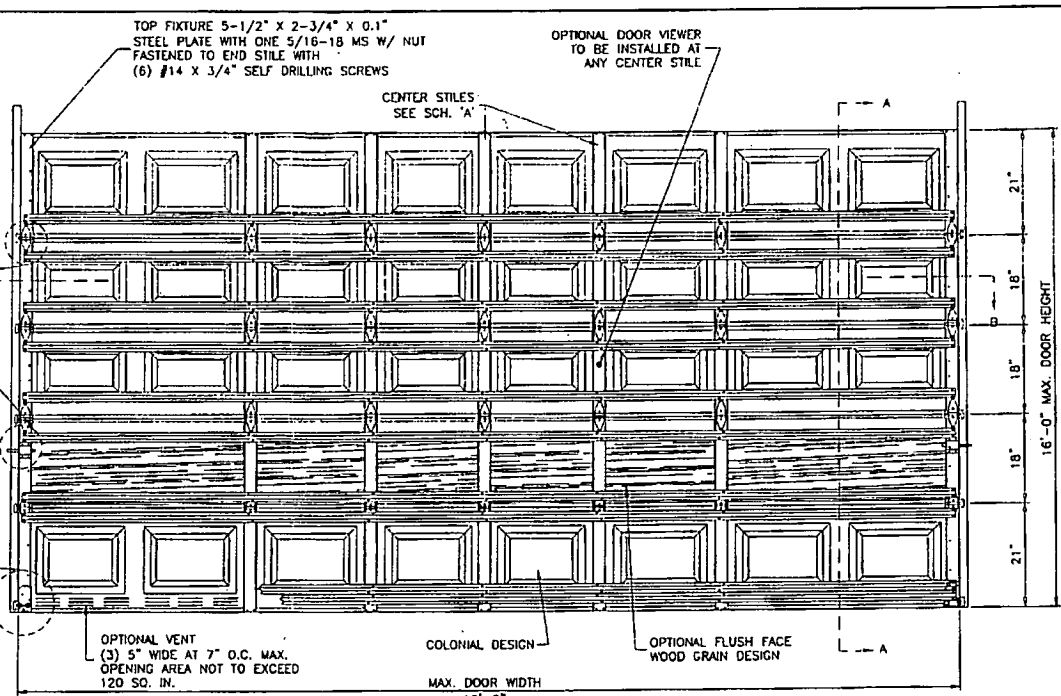
NOA No. 09-0128.03

Expiration Date: February 22, 2011

Approval Date: March 25, 2009



**OUTSIDE KEYPED LOCK**  
LOCK BAR LOCKING SHOWN ABOVE  
ALTERNATE TO LOCKS SHOWN ABOVE



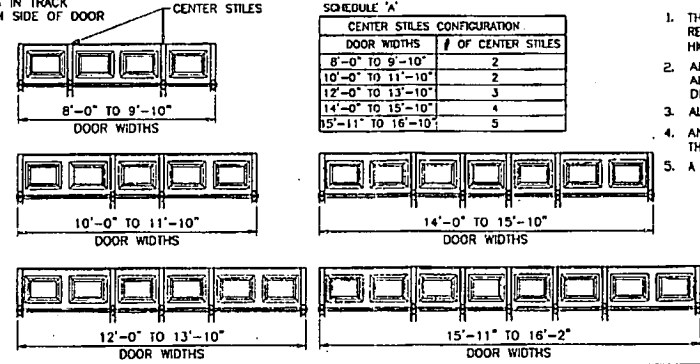
**INSIDE ELEVATION**  
RAISED PANEL EMBOSSED DOOR

THIS PRODUCT IS RATED FOR LARGE MISSILE IMPACT

**DAB DOOR MODEL 824**  
MAX. SIZE 16'-2" WIDE X 16'-0" HIGH

**DESIGN PRESSURE RATING: 15.000 PSF**  
04-08-RS-B

DOOR HEIGHT	CONSISTS OF	
6'-6"	2 SECTIONS 18"	2 SECTIONS 21"
6'-9"	1 SECTION 18"	3 SECTIONS 21"
7'	4 SECTIONS 21"	-
7'-3"	-	-
7'-6"	5 SECTIONS 18"	-
7'-9"	4 SECTIONS 18"	1 SECTION 21"
8'	3 SECTIONS 18"	2 SECTIONS 21"
8'-3"	2 SECTIONS 18"	3 SECTIONS 21"
8'-6"	1 SECTION 18"	4 SECTIONS 21"
8'-9"	5 SECTIONS 21"	-
9'	6 SECTIONS 18"	-
9'-3"	5 SECTIONS 18"	1 SECTION 21"
9'-6"	4 SECTIONS 18"	2 SECTIONS 21"
9'-9"	3 SECTIONS 18"	3 SECTIONS 21"
10'	2 SECTIONS 18"	4 SECTIONS 21"
10'-3"	1 SECTION 18"	5 SECTIONS 21"
10'-6"	6 SECTIONS 21"	-
10'-9"	6 SECTIONS 18"	1 SECTION 21"
11'	5 SECTIONS 18"	2 SECTIONS 21"
11'-3"	4 SECTIONS 18"	3 SECTIONS 21"
11'-6"	3 SECTIONS 18"	4 SECTIONS 21"
11'-9"	2 SECTIONS 18"	5 SECTIONS 21"
12'	1 SECTION 18"	6 SECTIONS 21"
12'-3"	7 SECTIONS 21"	-
12'-6"	6 SECTIONS 18"	2 SECTIONS 21"
12'-9"	5 SECTIONS 18"	3 SECTIONS 21"
13'	4 SECTIONS 18"	4 SECTIONS 21"
13'-3"	3 SECTIONS 18"	5 SECTIONS 21"
13'-6"	2 SECTIONS 18"	6 SECTIONS 21"
13'-9"	1 SECTION 18"	7 SECTIONS 21"
14'	6 SECTIONS 21"	-
14'-3"	6 SECTIONS 18"	3 SECTIONS 21"
14'-6"	5 SECTIONS 18"	4 SECTIONS 21"
14'-9"	4 SECTIONS 18"	5 SECTIONS 21"
15'	3 SECTIONS 18"	6 SECTIONS 21"
15'-3"	2 SECTIONS 18"	7 SECTIONS 21"
15'-6"	1 SECTION 18"	8 SECTIONS 21"
15'-9"	8 SECTIONS 21"	-
16'	6 SECTIONS 18"	4 SECTIONS 21"



**GENERAL NOTES**

1. THIS PRODUCT HAS BEEN DESIGNED AND TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2004/2007 EDITION INCLUDING HIGH VELOCITY HURRICANE ZONE.
2. ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
3. ALL BOLTS, NUTS AND WASHERS SHALL BE ZINC PLATED CARBON STEEL.
4. ANCHORING OR LOADING CONDITIONS OTHER THAN THOSE SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.
5. A LOAD DURATION INCREASE IS USED IN DESIGN OF ANCHORS INTO WOOD ONLY.

Engr: DR. HUMAYOON FAROOQ  
STRUCTURES  
FLA. PE # 16557  
C.A.N. 3536

DEC 24 2008

**PRODUCT REVIEWED**  
as complying with the Florida Building Code  
Acceptance No. 09-0128-03  
Expiration Date 02/24/2011

By: [Signature]  
Miami Code Product Control Division

**af c**

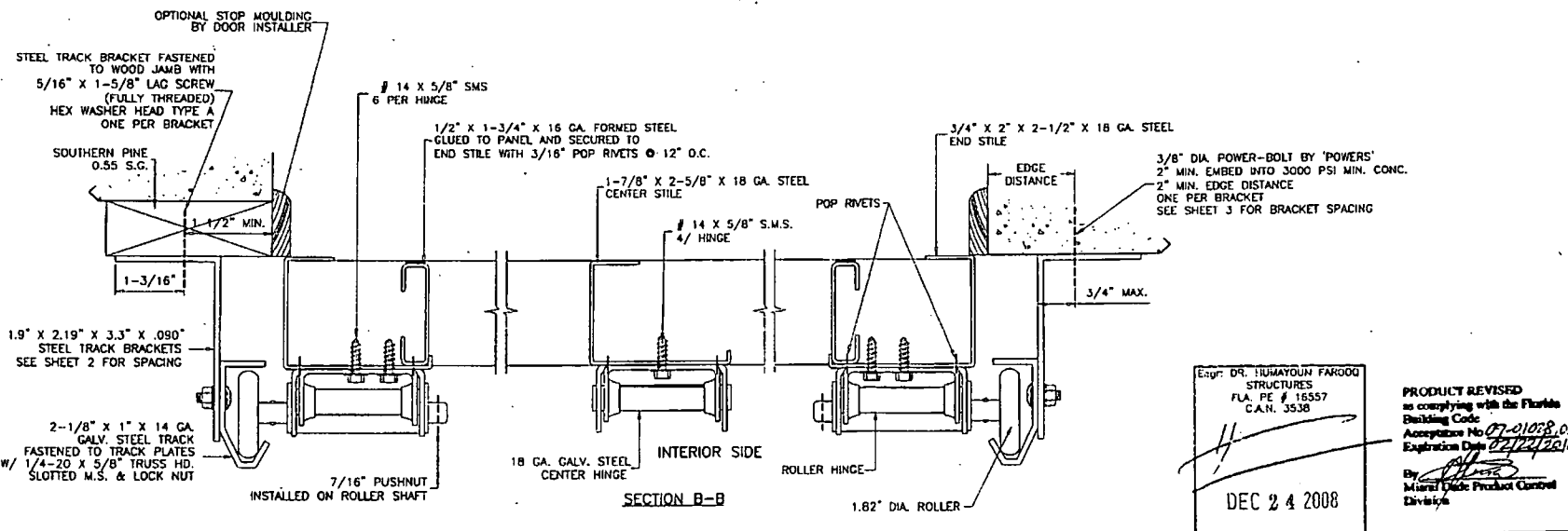
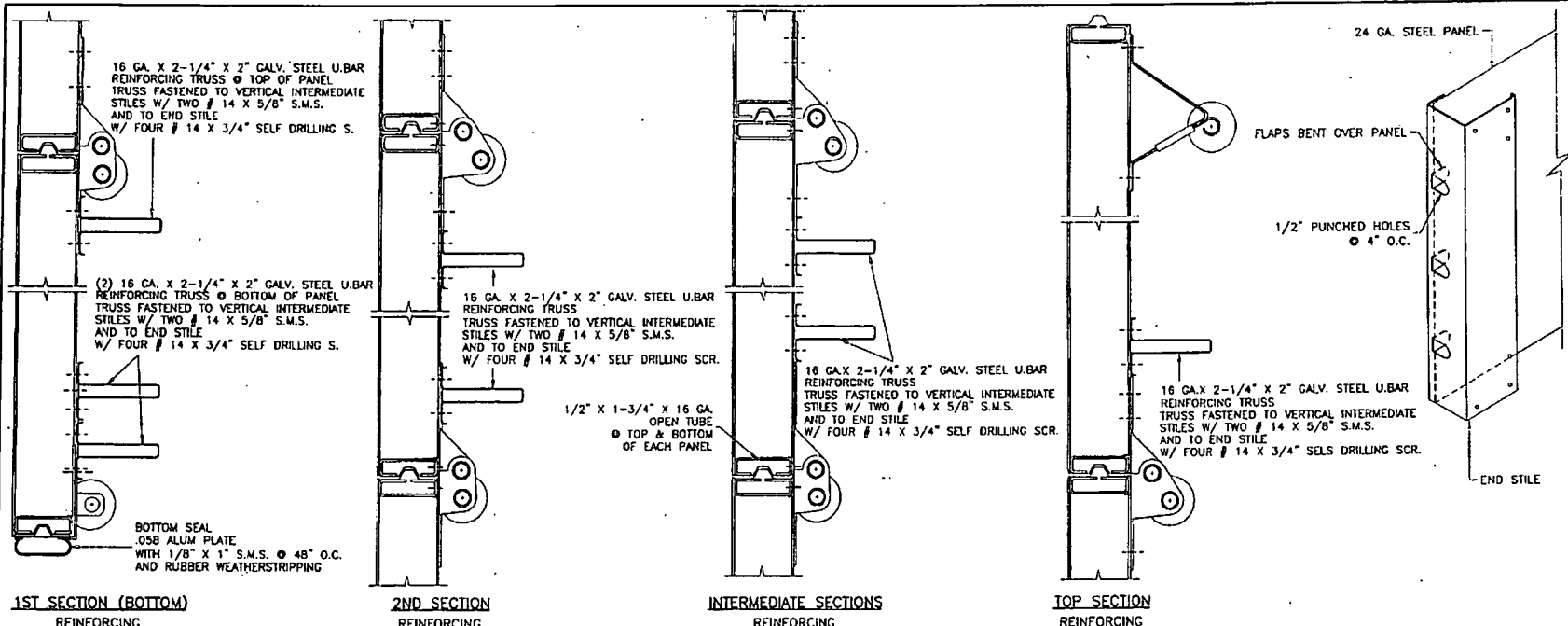
**AL-FAROOQ CORPORATION**  
ENGINEERS & PRODUCT DEVELOPMENT  
1235 S.W. 87 AVE  
MIAMI, FLORIDA 33174  
TEL: (305) 264-9300 FAX: (305) 202-6978  
GARAGE 100-18048

**SECTIONAL GARAGE DOOR**  
**DAB DOORS INC.**  
12195 N.W. 98 TH. AVE.  
HALEAH GARDENS, FL 33018  
TEL. (305) 556 - 6824

REV.	DATE	BY	DESCRIPTION
1	01.29.01	K	REV. PER BCCD COMMENTS
2	05.09.05	K	REV. PER BCCD COMMENTS
3	02.28.06	C	REV. PER BCCD COMMENTS
4	12.17.08	D	UPDATED FOR 2007 FBC

date: 08-24-08  
scale: 1/2" = 1'-0"  
des: by: HAMD  
chk: by:

drawing no. 00-18  
sheet 1 of 5



**AL-FAROOQ CORPORATION**  
 ENGINEERS & PRODUCT DEVELOPMENT  
 1235 S.W. 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL. (305) 264-8100 FAX. (305) 262-6978  
 GARAGE DOOR-18DAB

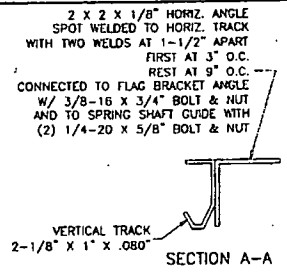
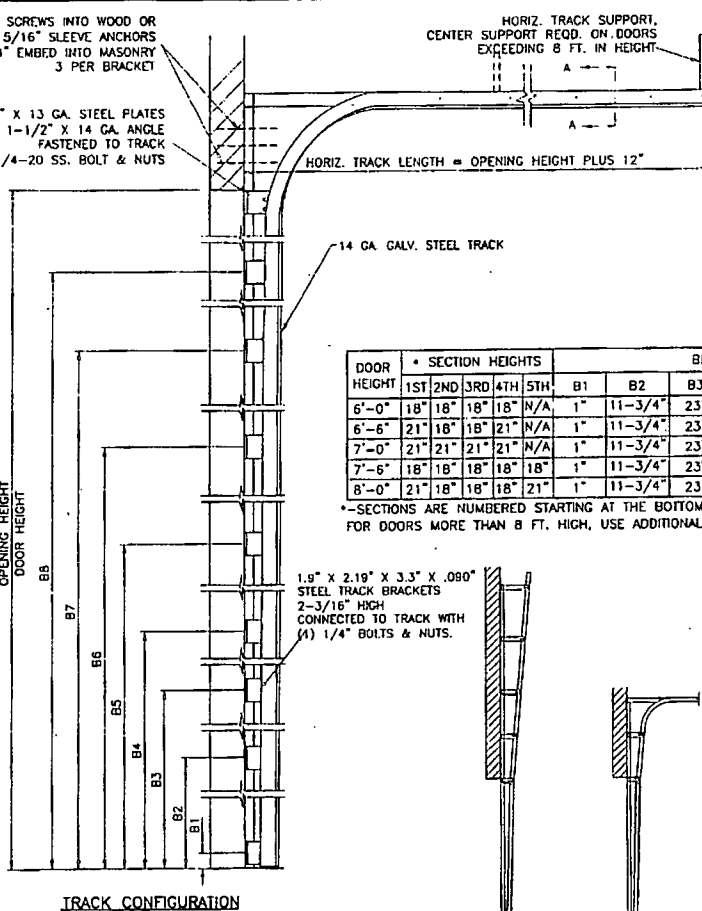
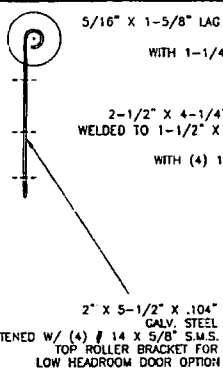
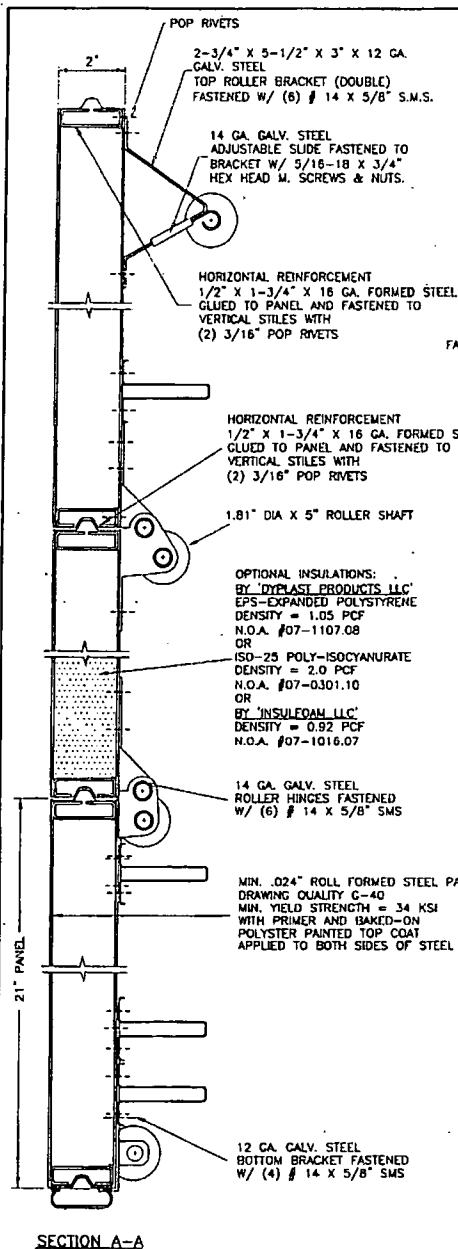
**SECTIONAL GARAGE DOOR**  
**DAB DOORS INC.**  
 12195 N.W. 98 TH. AVE.  
 HIALEAH GARDENS, FL. 33018  
 TEL. (305) 856 - 8624

no.	date	description
B	8.09.05	ANCHORS REV. REV. PER BECD COMMENTS
C	12.28.06	REV. PER BECD COMMENTS
D	12.17.06	UPDATED FOR 2007 FC

date:	08-24-00
scale:	-
dr. by:	HAIRD
ch. by:	-
drawing no.	00-18
sheet 2 of 5	

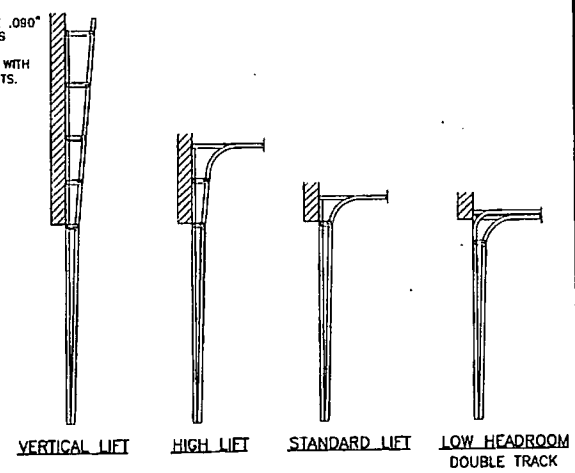
Eng: DR. HUMAYOUN FAROOQ  
 STRUCTURES  
 FLA. PE # 15557  
 C.A.N. 3538  
 DEC 24 2008

**PRODUCT REVISED**  
 as complying with the Florida  
 Building Code  
 Acceptance No. 07-01028.03  
 Expiration Date 07/12/2011  
 By: [Signature]  
 Miami Gate Product Control  
 Division



DOOR HEIGHT	SECTION HEIGHTS					BRACKET PLACEMENTS							
	1ST	2ND	3RD	4TH	5TH	B1	B2	B3	B4	B5	B6	B7	B8
6'-0"	18"	18"	18"	18"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
6'-6"	21"	18"	18"	21"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
7'-0"	21"	21"	21"	21"	N/A	1"	11-3/4"	23"	34"	45"	56"	67"	-
7'-6"	18"	18"	18"	18"	18"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"
8'-0"	21"	18"	18"	18"	21"	1"	11-3/4"	23"	34"	45"	56"	67"	78-1/4"

\*SECTIONS ARE NUMBERED STARTING AT THE BOTTOM FOR DOORS MORE THAN 8 FT. HIGH, USE ADDITIONAL TRACK BRACKETS AT 10" O.C.



**AVAILABLE TRACK OPTIONS**

Engr. DR. HUSSAYOUN FARUQO  
 STRUCTURES  
 F.L.A. PE # 18557  
 G.A.N. 3938

PRODUCT REVISED  
 in conplying with the Florida  
 Building Code  
 Acceptance No 07-0128-03  
 Expiration 07/22/2011

By: [Signature]  
 Internal Design Product Control  
 Division

DEC 24 2008

**AL-FAROOQ CORPORATION**  
 ENGINEERS & PRODUCT DEVELOPMENT  
 1235 S. S. AVE.  
 MIAMI, FLORIDA 33174  
 TEL (305) 284-8100 FAX (305) 282-0078

**SECTIONAL GARAGE DOOR**  
**DAB DOORS INC.**  
 12195 N.W. 98 TH. AVE.  
 HIALEAH GARDENS, FL 33018  
 TEL (305) 556 - 6624

Revisions:  
 NO. DATE BY DESCRIPTION  
 B 8/29/05 H ANCHOR SPACING REV.  
 C 02/28/06 REV. FOR BECO COMMENTS  
 D 12/17/08 UPDATED FOR 2007 IBC

date: 08-21-00  
 scale: -  
 dr. by: HAWD  
 chg. by:

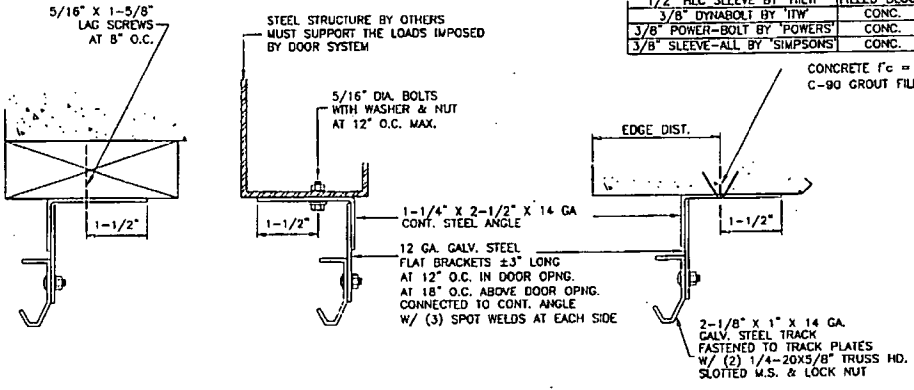
drawing no. **00-18**  
 sheet 3 of 5

NO.	DATE	BY	DESCRIPTION
1	08.05.05	H	ANCHOR SPACING REV. PER BECO COMMENTS
2	02.28.06	C	UPDATED FOR 2007 FIG.
3	12.17.08	D	

date: 08-24-00	author: [Signature]	check: [Signature]
drawing no. <b>00-18</b>		
sheet 4 of 5		

ANCHOR SPACING				
ANCHORS	STRUCTURE	EMBED	SPACING	EDGE DIST.
3/8" HLC SLEEVE BY 'HILT'	CONC.	1-1/4"	8"	3"
1/2" HLC SLEEVE BY 'HILT'	FILLED BLOCK	1-1/2"	8"	4"
3/8" DYNABOLT BY 'ITW'	CONC.	1-1/2"	8"	3-3/4"
3/8" POWER-BOLT BY 'POWERS'	CONC.	2"	8"	2"
3/8" SLEEVE-ALL BY 'SIMPSONS'	CONC.	1-1/2"	8"	3-1/2"

CONCRETE  $f_c = 3000$  PSI MIN.  
 C-90 GROUT FILLED BLOCK  $f_m = 2000$  PSI MIN.



**WOOD FRAME BUILDINGS**

STUD WALLS OR DOOR OPENING (NOT BY DAB DOORS) SHALL BE FRAMED SOLID BY NOT LESS THAN (3) 2X6 PRESSURE TREATED GRADE 2 SYP OR BETTER WOOD STUDS.  
 STUD WALLS TO BE CONT. FROM FOOTING TO THE BEAM. ENGINEER OF RECORD TO VERIFY ADEQUACY OF THE SUPPORTING STRUCTURE.

**WOOD BUCK CONNECTION TO MASONRY**

TRACK SHALL BE SECURED WITH CONT. STEEL ANGLE TO PRESSURE TREATED 2X6 SYP WOOD JAMBS WHICH SHALL BE ANCHORED TO GROUTED REINFORCED MASONRY BLOCK WALL OR CONC. COLUMN WITH

1/4" ULTRACON BY 'ELCO' WITH SPACING OF 10" O.C. INTO BLOCK WALL, WITH 2-1/4" MIN. EMBED 8" O.C. INTO 3000 PSI CONCRETE, WITH 1-3/4" MIN. EMBED 2-1/2" MIN. EDGE DISTANCE

1/4" TAPPER BY 'POWERS' WITH SPACING OF 7" O.C. INTO BLOCK WALL, WITH 1-1/2" MIN. EMBED 8" O.C. INTO 3000 PSI CONCRETE, WITH 1-3/4" MIN. EMBED 3" MIN. EDGE DISTANCE

3/8" CONFLX BY 'ELCO' OR 3/8" LDT BY 'ITW' WITH SPACING OF 18" O.C. INTO 3000 PSI CONCRETE, WITH 2-1/2" MIN. EMBED 3" MIN. EDGE DISTANCE

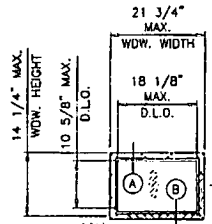
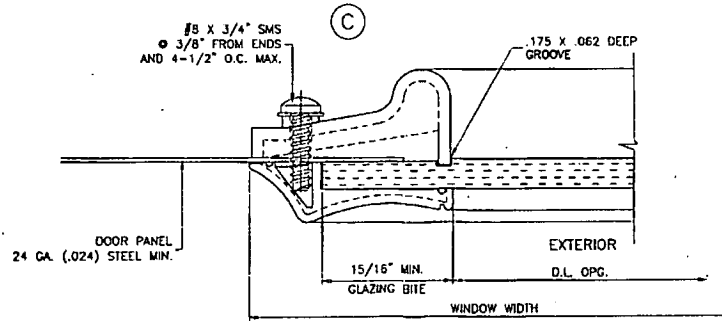
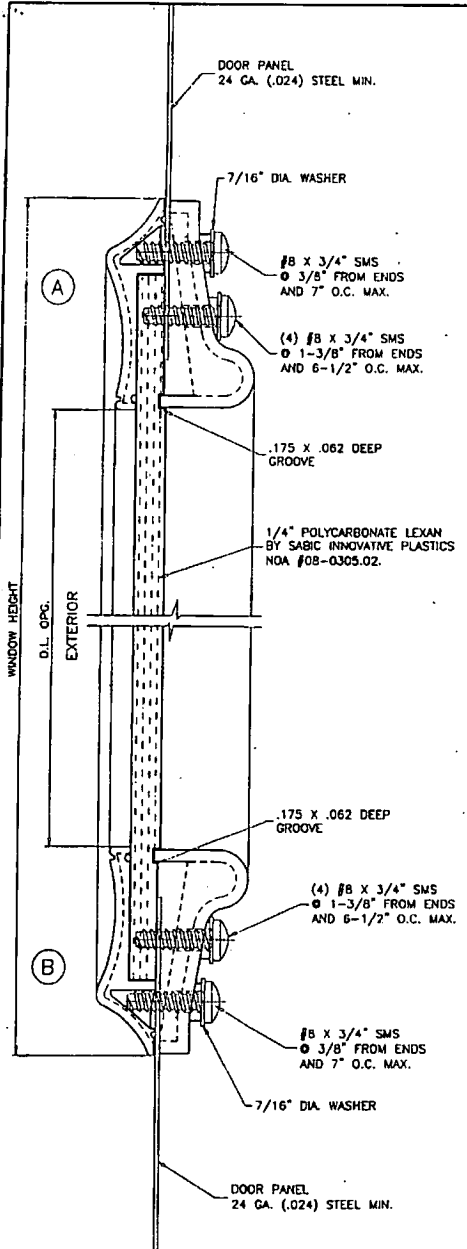
3/8" HLC SLEEVE BY 'HILT' WITH SPACING OF 8" O.C. INTO BLOCK WALL, WITH 1-1/4" MIN. EMBED, 4" MIN. EDGE DIST. 9" O.C. INTO 3000 PSI CONCRETE, WITH 1-1/4" MIN. EMBED AND 2-1/2" MIN. EDGE DISTANCE

THE BLOCK WALL CELLS SHALL BE GROUT FILLED AND REINFORCED WITH FOUR # 3 BARS EXTENDING INTO FOOTING AND INTO THE BEAMS ALL BARS SHALL BE CONTINUOUS FROM THE BEAMS TO FOOTING.

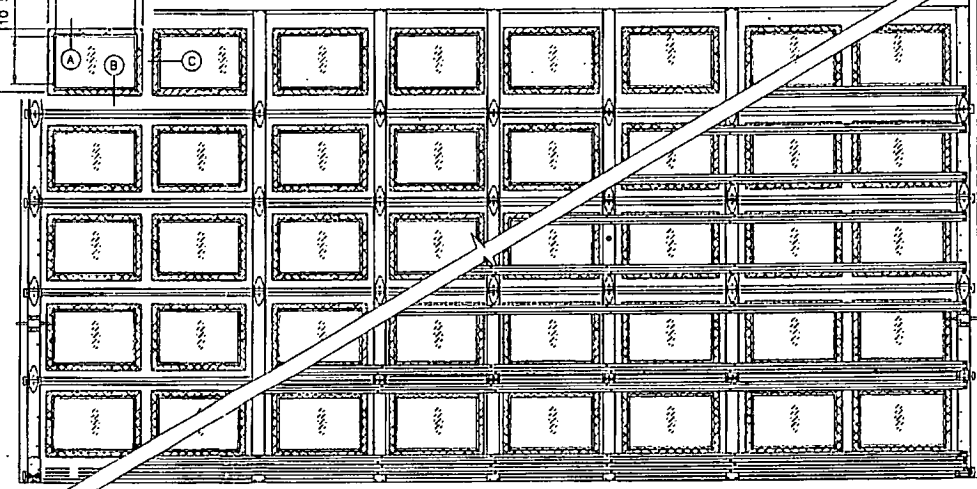
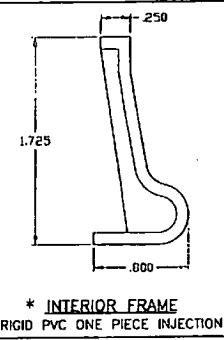
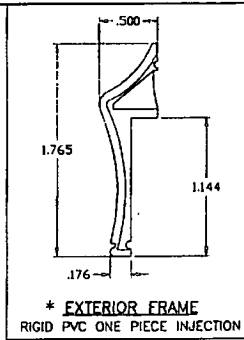
**PREPARATION OF JAMBS BY OTHERS**

Eng: DR. HUMAYUN FAROOD  
 STRUCTURES  
 F.L.A. PE # 16557  
 C.A.N. 3538  
 DEC 24 2008

**PRODUCT REVISED**  
 as complying with the Florida  
 Building Code  
 Amendment No 09-0128, 03  
 Expiration Date 02/22/2011  
 By [Signature]  
 Miami Dade Product Control  
 Division



\* PLASTIC COMPLIES WITH SECTION 2612 OF FBC 2007 SEE EVIDENCE PAGE



INSIDE ELEVATION  
RAISED PANEL EMBOSSED DOOR WITH OPTIONAL WINDOWS

Engr: DR. HUMAYOON FAROOQ  
STRUCTURES  
FLA. PE # 16567  
C.A.N. 3538

PRODUCT REVISED  
in compliance with the Florida  
Building Code  
Acceptance No 07-0128.03  
Expiration Date 02/24/2011  
By: *[Signature]*  
Mixed Plastic Product Control  
Division

DEC 24 2008

**af c**  
**AL-FAROOQ CORPORATION**  
ENGINEERS & PRODUCT DEVELOPMENT  
13335 S.W. 87 AVE  
MIAMI, FLORIDA 33174  
TEL (305) 264-8100 FAX (305) 262-6876  
GARAGE 100-18DAB

SECTIONAL GARAGE DOOR  
**DAB DOORS INC.**  
12195 N.W. 98 TH. AVE.  
HIALEAH GARDENS, FL. 33018  
TEL (305) 556 - 6624

NO.	DATE	BY	DESCRIPTION
D	12.11.08	DR. BY: HAHAD	UPDATED FOR 2007 FBC

date: 08-24-08  
sheet: 00-18  
drawing no. 00-18  
sheet 5 of 5



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 9-3 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9242	Jochem	Final A/C		
8:30 8:45	22 Ridgeland Dr Aircom		PASS	CLOSE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9242</del>	<del>Jochem</del>	<del>Final A/C</del>	<del>PASS</del>	<del>CLOSE</del>
	D & D Garage		PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9521	LAZARUS			
	31 S RIVERS CREATION	DOOR FINAL	PASS	CLOSE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9387	Jaley Holding (Lalith)			
	113 Hillcrest Seagate	FINAL	PASS	CLOSE INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

**11131**

**SCREEN ENCLOSURE**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	11131	DATE ISSUED:	January 7, 2015
SCOPE OF WORK:	Screen Enclosure on Existing Concrete		
CONTRACTOR:	Florida Screen Builders		
PARCEL CONTROL NUMBER:	01-38-41-009-000-00120-8	SUBDIVISION:	Miramar Lot 12
CONSTRUCTION ADDRESS:	3 SE Miramar Road		
OWNER NAME:	Krett		
QUALIFIER:	Rene Cantin	CONTACT PHONE NUMBER:	561-502-7328

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

### INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

<b>PERMIT NUMBER:</b>	11131		
<b>ADDRESS:</b>	3 SE Miramar Road		
<b>DATE ISSUED:</b>	1/7/2015	<b>SCOPE OF WORK:</b>	Screen Enclosure on Existing Concrete

<b>SINGLE FAMILY OR ADDITION /REMODEL</b>		Declared Value	\$	
---	--	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	\$ -

<b>ACCESSORY PERMIT</b>	Declared Value:	\$	\$ 7,800.00
Total number of inspections: @ \$ 100.00 per insp. # insp	1	\$	100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	5.00
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	<b>109.00</b>

# Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: RICHARD KRETT Phone (Day) 302.437.6524 (Fax) \_\_\_\_\_

Job Site Address: 3 SE MIRAMAR RD City: STUART State: FL Zip: 34998

Legal Description: MIRAMAR LOT 12 OR 340771 Parcel Control Number: 01-38-41-009-000-00120-8

Owner Address (if different): Screen pool enclosure City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work (please be specific): screen pool enclosure on existing concrete

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner/Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO \_\_\_\_\_  
**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

**COST AND VALUES: (Required on ALL permit applications)**  
Estimated Value of Improvements: \$ \_\_\_\_\_  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10  AE9  AE8  X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: FLORIDA SCREEN BUILDERS INC Phone: 561.753.7734 Fax: 561.753.7634

Street: 3269 SW 42ND AVE City: PALM CITY State: FL Zip: 34990

State License Number: CBC-1254009 OR Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: RENE M CANTIN Phone Number: 561.502.7328

DESIGN PROFESSIONAL: AAF GUIDE Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE: \_\_\_\_\_  
Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007  
National Electrical Code: 2005(2008 after 6/1/08) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

**NOTICES TO OWNERS AND CONTRACTORS:**

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - 5.

**\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\***

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)  
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)  
*[Signature]*

CONTRACTOR SIGNATURE: (required)  
*[Signature]*

State of Florida, County of: PALM BEACH  
This the 23 day of DEC, 2014

On State of Florida, County of: PALM BEACH  
This the 23 day of DEC, 2014

by: RICHARD KRETT who is personally

by: RENE M CANTIN who is personally

known to me or produced as identification: \_\_\_\_\_

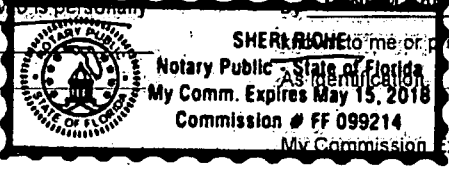
known to me or produced as identification: \_\_\_\_\_

Notary Public

Notary Public

My Commission Expires: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**PROPOSAL & CONTRACT**

**FLORIDA SCREEN BUILDERS INC**

Date: 12/9/14

My Safe Florida Contractor #15192



3269 SW 42 AVE, PALM CITY, FL 34990  
BUS: 561-753-7734, FAX: 561-753-7634  
EMAIL: floridascreenbuilders@comcast.net  
WEBSITE: floridascreenbuilders.com  
STATE LICENSE: CBC1254009

TO: (hereinafter known as the Owner)

NAME: Krett Richard

ADDRESS: 3 Miramar Rd

CITY: Sewalls Pt, FL ZIP: 34996

PHONE - HOME: \_\_\_\_\_ CELL: 302-437-6524

BUS: \_\_\_\_\_ EMAIL: \_\_\_\_\_

**DESIGN CRITERIA**  
Wind Speed: \_\_\_\_\_ mph  
Exposure Type: \_\_\_\_\_  
Current Building Code \_\_\_\_\_

PROJECT TYPE: Pool Enclosure

We hereby propose to furnish labor and materials to perform the following work in accordance with approved Drawings, Specifications and the General Terms and Conditions set forth on the reverse side hereof:

**-SPECIFICATIONS-**

- \* Custom built pool enclosure w/ white electro-static powder coat finish.
- \* ACI premium ceramic coated stainless steel screws.
- \* 20/20 phifer wire screen products in roof and walls.
- \* Removal and disposal of Existing Enclosure is included in price.

Aluminum extrusions are to be 6005-T5 high strength alloy with powder coated finish. All fasteners to be ceramic coated steel, unless stainless steel is specified. Screen materials are by Phifer. Composite panels are by Elite or Structall or equal.

PERMIT Yes COLOR White ROOF STYLE Mansard ROOF MATERIAL 20/20  
 WALL TYPE Screen WALL MATERIAL 20/20 KICK PLATE \_\_\_\_\_ GUTTER TYPE 5"  
 DOOR TYPE Standard 36" NO. DOORS 2 HARDWARE Thumblatch  
 DOOR LITE \_\_\_\_\_ WINDOW TYPE \_\_\_\_\_ TINT COLOR \_\_\_\_\_  
 SHUTTER TYPE \_\_\_\_\_ COLOR \_\_\_\_\_  
 PATIO TYPE Exist conc FOOTINGS Exist SURVEY PROVIDED NO HOA Yes  
Will send. NO

PAYMENT SCHEDULE: Each phase of the Project must be paid prior to the start of the next phase.

PRICE: Seven Thousand Eight hundred DOLLARS (\$ 7800)  
 DEPOSIT: \$ 3100 KH 1037 JD COMPLETION OF \_\_\_\_\_ : \$ \_\_\_\_\_ START OF FRAMING: \$ 3100

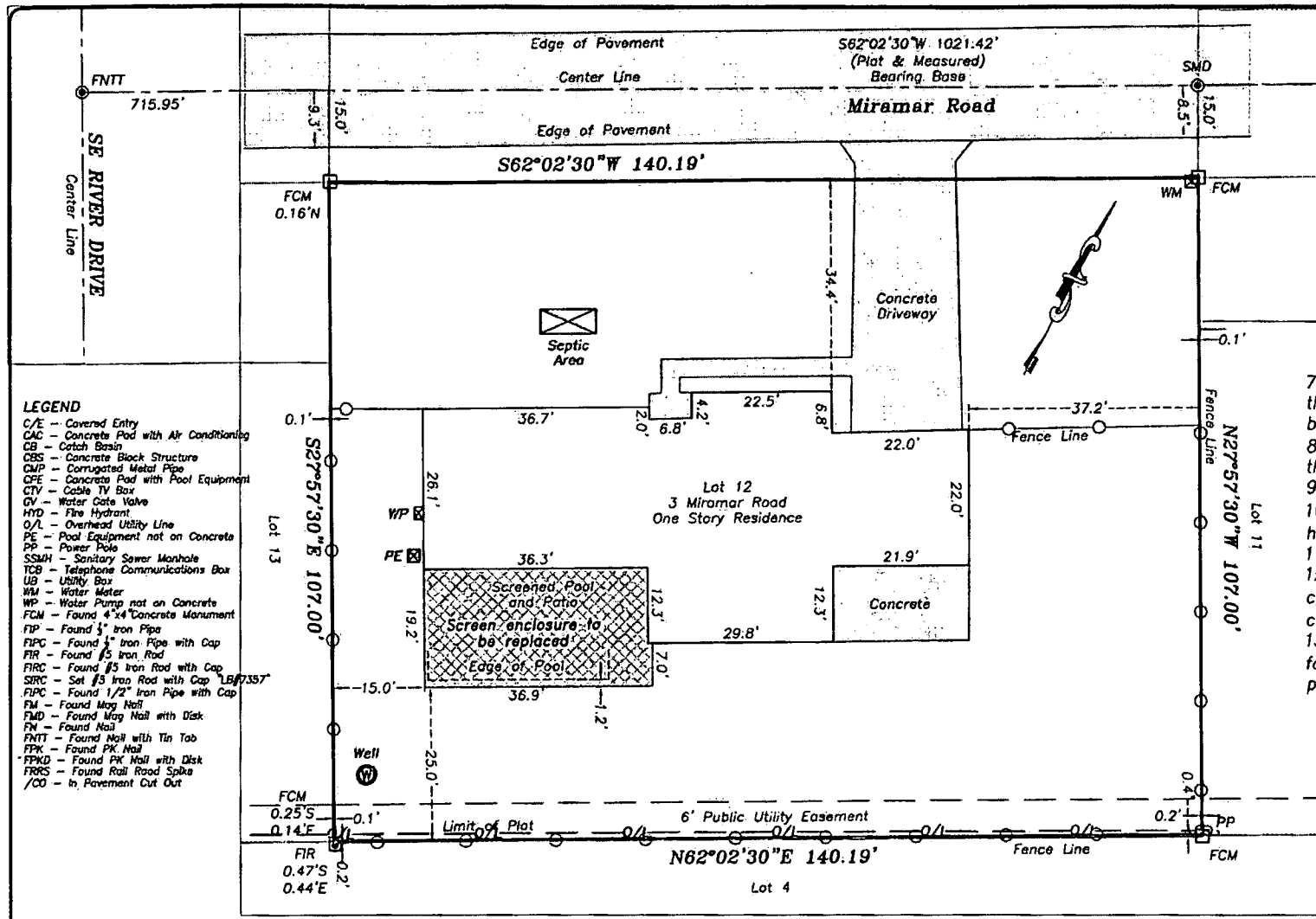
OTHER: \_\_\_\_\_ COMPLETION OF PROJECT: \$ 1600  
 (Due upon completion, prior to the FINAL INSPECTION)

Submitted by: James H Smith Authorized Signature: [Signature] Date: 12/9/14

**ACCEPTANCE OF PROPOSAL**

We hereby accept this Proposal and agree with the Specifications and the General Terms and Conditions of this Proposal:

By: [Signature] By: RICHARD D. KRETT Date: 12/9/14  
 (Signature of Owner) (Printed Name)



**SURVEYOR'S REPORT**

- 1 This Survey shall not be valid unless sealed with an embossed Surveyor's Seal
- 2 No underground improvements have been located as part of this Survey.
- 3 The last field date of this Survey was: 12-10-14.
- 4 This Survey was prepared using the Plat of Record only. No other documents were provided and no search of the public records was performed by this office.
- 5 The Survey shown hereon meets the requirement for field accuracy in a suburban area as set forth by the Minimum Technical Standards (5U-17.050-052FAC).
- 6 By acceptance of this survey all parties agree that the signing surveyor's liability is limited to the amount paid for said Survey.

- 7 Unless other wise noted all bearing and distances are in accordance with the record plat and have been verified by field measurements. See map for bearing base.
- 8 Parcel/Lot line locations have been based on found survey control along the center line of Miramar Road.
- 9 LEFT BLANK.
- 10 The Legal Description shown hereon was provided by the client and/or his/her representatives.
- 11 No ownership of fence lines has been determined as part of this Survey.
- 12 Off set calls to found survey control are relative to the nearest property corner, intersection of lines; point of curvatures (PC), point of reverse curvatures (PRC) or other identifiable point.
- 13 Compliance with local zoning requirements and or with requirements set forth by other State, Public, and/or Private entities has not been verified as part of this Survey.

**LEGEND**

- C/E - Covered Entry
- CAC - Concrete Pad with Air Conditioning
- CAB - Catch Basin
- CBS - Concrete Block Structure
- CMP - Corrugated Metal Pipe
- CPE - Concrete Pad with Pool Equipment
- CTV - Cable TV Box
- CV - Water Gate Valve
- HYD - Fire Hydrant
- O/L - Overhead Utility Line
- PE - Pool Equipment not on Concrete
- PP - Power Pole
- SSMH - Sanitary Sewer Manhole
- TGB - Telephone Communications Box
- UB - Utility Box
- WM - Water Meter
- WP - Water Pump not on Concrete
- FCM - Found 4"x4" Concrete Manument
- FIP - Found 1" Iron Pipe
- FIPC - Found 1/2" Iron Pipe with Cap
- FIR - Found #3 Iron Rod
- FIRC - Found #3 Iron Rod with Cap
- SIRC - Set #3 Iron Rod with Cap LB#7357
- FIPC - Found 1/2" Iron Pipe with Cap
- FM - Found Mag Nail
- FMD - Found Mag Nail with Disk
- FN - Found Nail
- FNTT - Found Nail with Tin Tab
- FPK - Found PK Nail
- FPKD - Found PK Nail with Disk
- FRCS - Found Rail Road Spike
- /CO - In Pavement Cut Out

**LEGAL DESCRIPTION**  
 Being all of Lot 12, according to the Plat of MIRAMAR, as recorded in Plat Book 3, page 111, Public Records of Martin County, Florida.

PREPARED FOR:  
 RICHARD D. KRETT  
 Town of Sewall's Point

Prepared By: Regina C. Karner, PSM#4363  
 Karner Surveying, Inc. LB#7357

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

Flood Zone Data derived by scaling methods of the official FEMA Maps and limited to the accuracy of such maps.  
 Flood Zone: AE Base Flood Elevation 8  
 Community #: 120164  
 Panel #: 0154  
 Suffix: F  
 Date: 10.04.2012

Prepared For:  
**RICHARD D. KRETT**  
 Martin County Florida

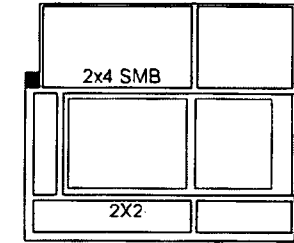
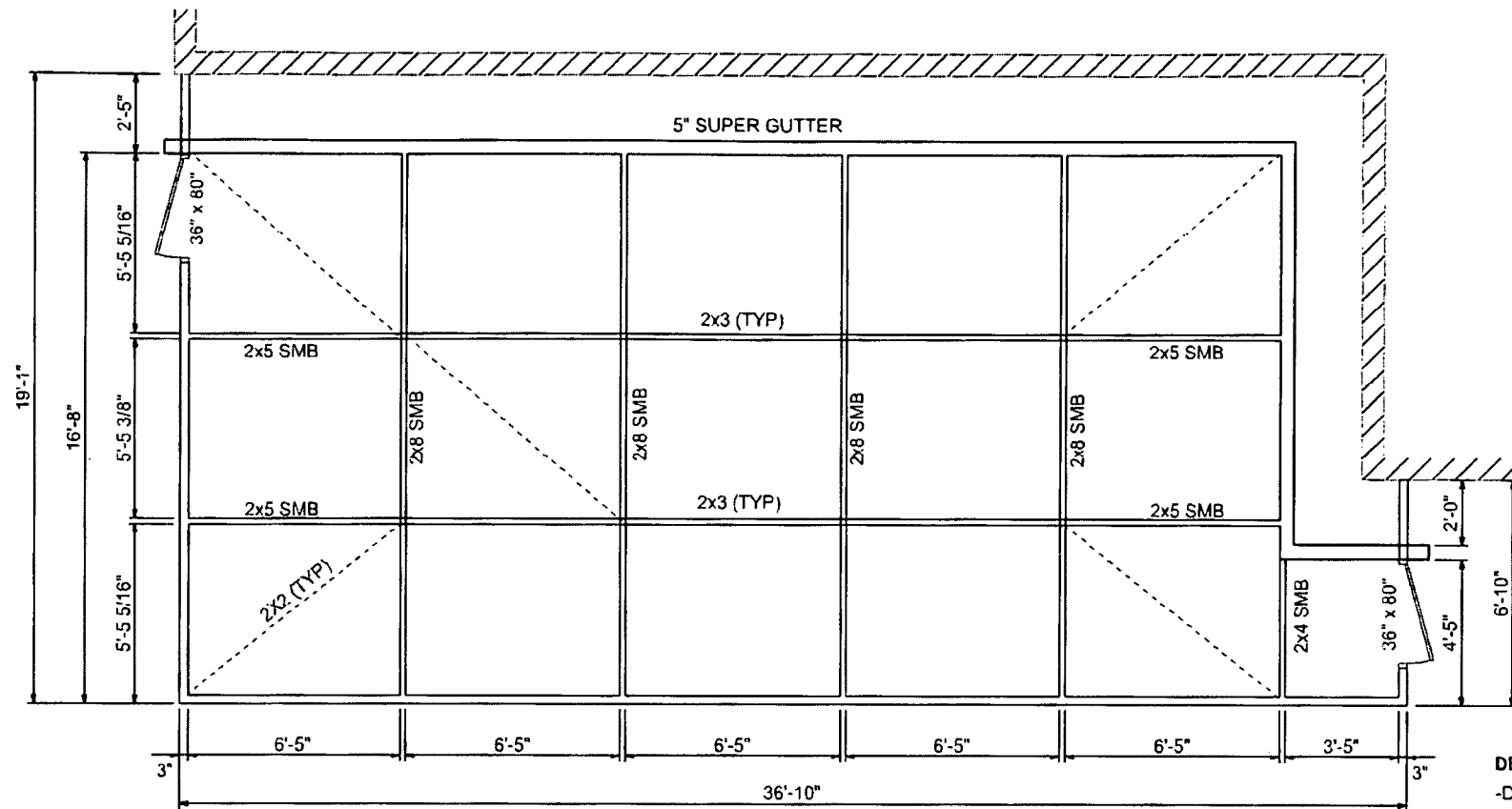
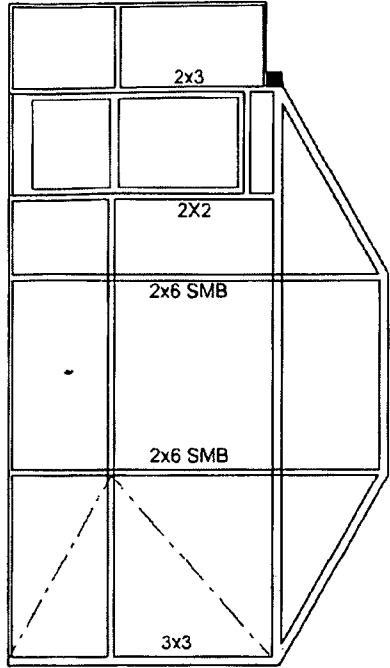
**KARNER SURVEYING, INC.**  
 Residential & Commercial Surveying Services  
 2740 SW Martin Downs Blvd.#333, Palm City, FL 34990  
 Phone: (772)288 7206 Fax:(772)223 8181  
 WWW.KARNERSURVEYINGINC.COM karnerc@comcast.net



Date	Revision Description

Sheet Title		Sheet No.
Boundary Survey		1 of 1
Scale: 1"=20'	Date: 12-12-14	
Drawn By: CADD-1	Field Book: 1413.23	
Job No: 0705-0801	CADD File:	File No:

Proj: MC\_Miramar\_Miramar12

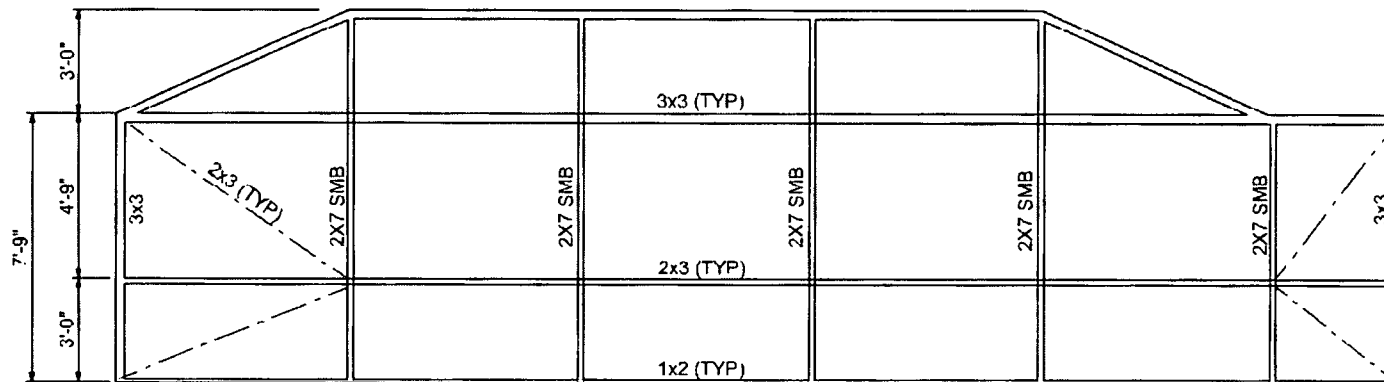


**DETAIL NOTES:**

COLOR: WHITE  
 ROOF SCREEN: 20/20  
 WALL SCREEN: 20/20

NOTE:  
 - ALL DOORS TO BE SELF LATCHING  
 - HANDLES TO BE 54" FROM TOP OF FINISH FLOOR

NOTE:  
 STAINLESS STEEL CERAMIC COATED FASTENERS



EXISTING CONCRETE PATIO W/FTG'S

**DESIGN DATA:**

- DESIGN PER THE 2010 F.B.C & ASCE7-10
- ULTIMATE DESIGN WIND SPEED Vult: 150 MPH
- NOMINAL DESIGN WIND SPEED Vasd: 116 MPH
- RISK CATEGORY 1
- EXP B
- APPLIED UNIT LOADS, COMPONENT DETAILS AND FASTENING REQUIREMENTS AS PER THE ATTACHED 2010 AAF DESIGN SPECIFICATIONS. APPLICABLE DETAILS ARE MARKED AS SHOWN AND ARE TO BE PART OF THE SITE SPECIFIED DESIGN CRITERIA FOR FABRICATION AND INSTALLATION.
- DIMENSIONS MAY VARY DUE TO SITE CONDITIONS. WIDTHS, LENGTHS AND SPANS MAY BE MORE OR LESS THAN SHOWN IF THEY ARE WITHIN THE ALLOWABLE DIMENSIONS SHOWN ON THE APPLICABLE TABLES AND THE STRUCTURE STILL CONFORMS TO ANY APPLICABLE ZONING LAWS.
- BRACING POSITIONS AND DIRECTION MAY VARY.
- ALL POST TO FOUNDATION CONNECTIONS TO BE C-1 UNLESS NOTED OTHERWISE. C-2 IS TO BE USED AT ALL BEARING WALL LOCATIONS SUPPORTING K-BRACE.

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## Chapter 1 - Screen Enclosures

### GENERAL NOTES FOR CHAPTER 1 ~ SCREEN ENCLOSURES

- 1) Design pressures taken from Table 2002.4, Florida Building Code 2010 (mean roof height up to 30ft)
- 2) Extrusions assumed to be alloy 6005T5 or 6061T6 unless noted otherwise.
- 3) Drawings and Details are typically schematic and should not be scaled.
- 4) For "half mansard" roof configuration, use beam table 101 for mansard shape.
- 5) "Approved Masonry Fastener" for connection to foundation must meet the following specifications for 2½" embedment into 2,500 psi (minimum) concrete:
  - a. 3/8" Ø: allowable tension 1,055 #, shear 1,716 #
  - b. 1/4" Ø: allowable tension 567 #, shear 394 #
- 6) For mansard beams, connection at host end of beams (i.e. fascia/gutter) height must be equal or greater than the eave height of the enclosure.
- 7) Tables which have numeric entries versus scalar variables (e.g. spans vs. load widths, or spans vs. wall heights) may be interpolated.

#### CARRIER BEAMS IN SCREEN ENCLOSURES:

- 1) Carrier Beams (Refer to schematic diagrams for limitations) must be horizontal and may not exceed a single span of 16 ft.
- 2) At least one end of carrier beam must be supported by the host structure.
- 3) Allowable load widths for carrier beams on Table 112 with accompanying schematic diagram
- 4) Connect 2x8 SMB post/column at foundation using Detail C2

Concrete Cover: For foundations, minimum concrete over reinforcing bars shall be 3 inches in foundations where the concrete is cast against and permanently in contact with the earth. For No. 5 and smaller bars 1½" where concrete is formed and will be exposed to the earth or weather. Where concrete is not exposed to weather, the minimum concrete cover for reinforcing shall be 1½ inches regardless of bar size.

<b>Table 2002.4 DESIGN WIND PRESSURES SCREENED ENCLOSURES</b>						
<b>EXPOSURE B (FOR MEAN ROOF HEIGHTS UP TO 30 FT)</b>						
	Basic Wind Speed (mph) $V_{ASD}$					
	Design Pressure (psf)					
Surface	100	110	120	130	140	150
Horizontal Pressures on Windward Surfaces	12	13	15	18	21	24
Horizontal Pressures on Leeward Surfaces	10	10	13	14	15	18
Vertical Pressures on Screen Surfaces	3	4	4	5	6	7
Vertical Pressures on Solid Surfaces	10	11	13	15	17	20

Note: Table pressures apply to 20x20x0.013" mesh screen. For 18 x 14 x 0.013" mesh screen, pressures on screen surfaces may be multiplied by 0.88

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## GENERAL REQUIREMENTS

- 1) SCOPE: The prescriptive methods presented in this construction guide provide wind resistant designs and construction details for various types of aluminum framed patio and accessory structures, lumber framed utility sheds, secondary covers for mobile home roofs, glass enclosures (which may also be known as "sunrooms") and handrails and guards.
- 2) LIMITATIONS:
  - a. Provisions of this construction guide are intended to insure structural integrity for resisting wind loads. Notes are provided at the beginning of each chapter specifying general parameters for each structure type. Where specific construction requirements are not given, appropriate requirements of the Florida Building Code shall prevail.
  - b. When an individual project design fall outside of the range of parameters listed in this guide, the design shall be reviewed for wind resistance by a design professional when required by the building official.
- 3) Individual elements of a structure not in strict compliance with or addressed by this construction guide may be engineered without requiring engineering for the entire structure, according to the requirements of the Florida Building Code.
- 4) It is recognized that many alternatives are available to the designer for providing wind resistance. This guide does not intend to prevent the use of such structurally equivalent alternative methods (FBC 104.1.1).
- 5) MATERIAL SPECIFICATIONS:
  - a. Screen shall have a maximum density of 20X20 mesh with a maximum thread diameter of .013".
  - b. Aluminum extrusions shall comply with ASTM B 221 and have a minimum wall thickness of .040" (actual dimension without tolerance).
  - c. Aluminum sheet and plate shall comply with ASTM B 209.
  - d. Steel fasteners shall have a minimum ultimate tensile strength of 60 ksi and a maximum ultimate tensile strength of 120 ksi and shall be coated for corrosion resistance.
  - e. For foundations, #5 bars shall be used and minimum concrete cover over reinforcing bars shall be 3" where the concrete is cast against and permanently in contact with the earth; or, 1½" otherwise.
- 6) FABRICATION REQUIREMENTS:
  - a) Re-entrant corners shall be filleted to a radius of at least ¼".
  - b) Bolt hole diameters shall not exceed the bolt diameter plus 1/16".
- 7) INSTALLATION REQUIREMENTS:
  - a. Plumb and Level Tolerance: Members shall not deviate from level or plumb by more than one half inch (½") in 10 feet.
  - b. Straightness Tolerance: Members shall not deviate from straight by more than one quarter inch (¼") in 10 feet.

## GENERAL USER NOTES

- 1) Extrusions assumed to be alloy 6005T5 and/or 6061T6 unless noted otherwise.
- 2) Tables which have numeric entries versus scalar variables (e.g. spans vs. load widths, or spans vs. wall heights) may be interpolated.

## Chapter 1 - Screen Enclosures- Exposure C

**Table 2002.4 (FOR 20/20 SCREEN)**  
**DESIGN WIND PRESSURES SCREENED ENCLOSURES (for Allowable Stress Design) for a MRH of 15ft or less**

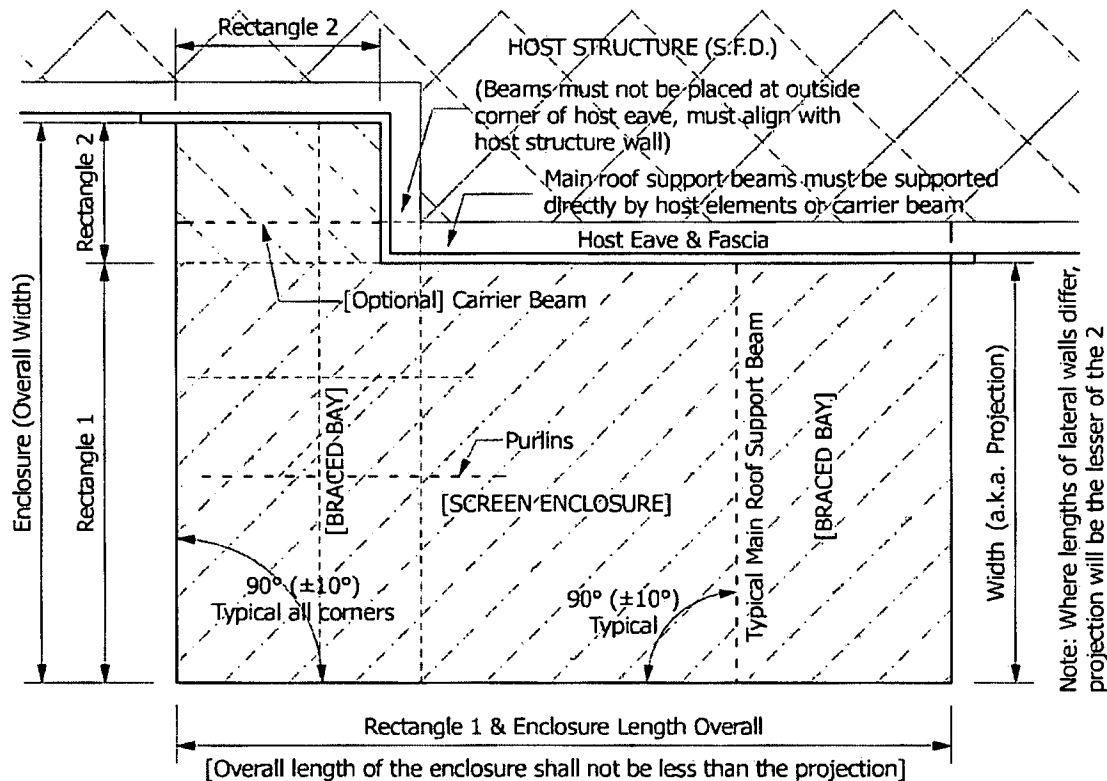
Ultimate Wind Speeds ( $V_u$ ):	Basic Wind Speeds (mph)																				
	110			120			130			140			150			160			170		
	Design Pressures by Exposure Category (psf)																				
Surface	B	C	D	B	C	D	B	C	D	B	C	D	B	C	D	B	C	D	B	C	D
Horizontal Pressures on Windward Surfaces	10	12	15	12	14	18	14	17	20	16	19	24	19	22	27	21	25	31	24	29	35
Horizontal Pressures on Leeward Surfaces	8	9	11	9	11	14	12	13	16	13	15	18	13	18	22	15	20	25	17	23	28
Vertical Pressures on Screen Surfaces	2.50	3.59	4.38	3.71	3.99	4.87	4.11	4.72	5.76	4.52	5.44	6.64	5.37	6.15	7.52	6.11	7.00	8.55	6.89	7.90	9.65
Vertical Pressures on Solid Surfaces	8	10	12	10	12	15	12	14	17	14	16	20	15	18	23	17	21	26	20	24	29

**Table 2002.4 (FOR 18/14 SCREEN)**  
**DESIGN WIND PRESSURES SCREENED ENCLOSURES (for Allowable Stress Design) for a MRH of 15ft or less**

Ultimate Wind Speeds ( $V_u$ ):	Basic Wind Speeds (mph)																				
	110			120			130			140			150			160			170		
	Design Pressures by Exposure Category (psf)																				
Surface	B	C	D	B	C	D	B	C	D	B	C	D	B	C	D	B	C	D	B	C	D
Horizontal Pressures on Windward Surfaces	8.8	10.7	13.1	10.6	12.6	15.4	12.1	14.5	17.7	14.3	17.1	20.9	16.5	19.6	24.0	18.8	22.3	27.3	21.2	25.2	30.8
Horizontal Pressures on Leeward Surfaces	6.61	8.21	10.03	8.16	9.83	12.00	10.46	11.77	14.37	11.13	12.99	15.87	11.81	15.57	19.01	13.43	17.72	21.63	15.17	20.00	24.42
Vertical Pressures on Screen Surfaces	2.20	3.16	3.86	3.26	3.51	4.29	3.62	4.15	5.07	3.98	4.79	5.85	4.72	5.42	6.61	5.37	6.16	7.52	6.07	6.96	8.49
Vertical Pressures on Solid Surfaces	8	10	12	10	12	15	12	14	17	14	16	20	15	18	23	17	21	26	20	24	29

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## Chapter 1 - Screen Enclosures



### Typical Screen Enclosure Footprint (Size/Shape) Limitations [Schematic 1]

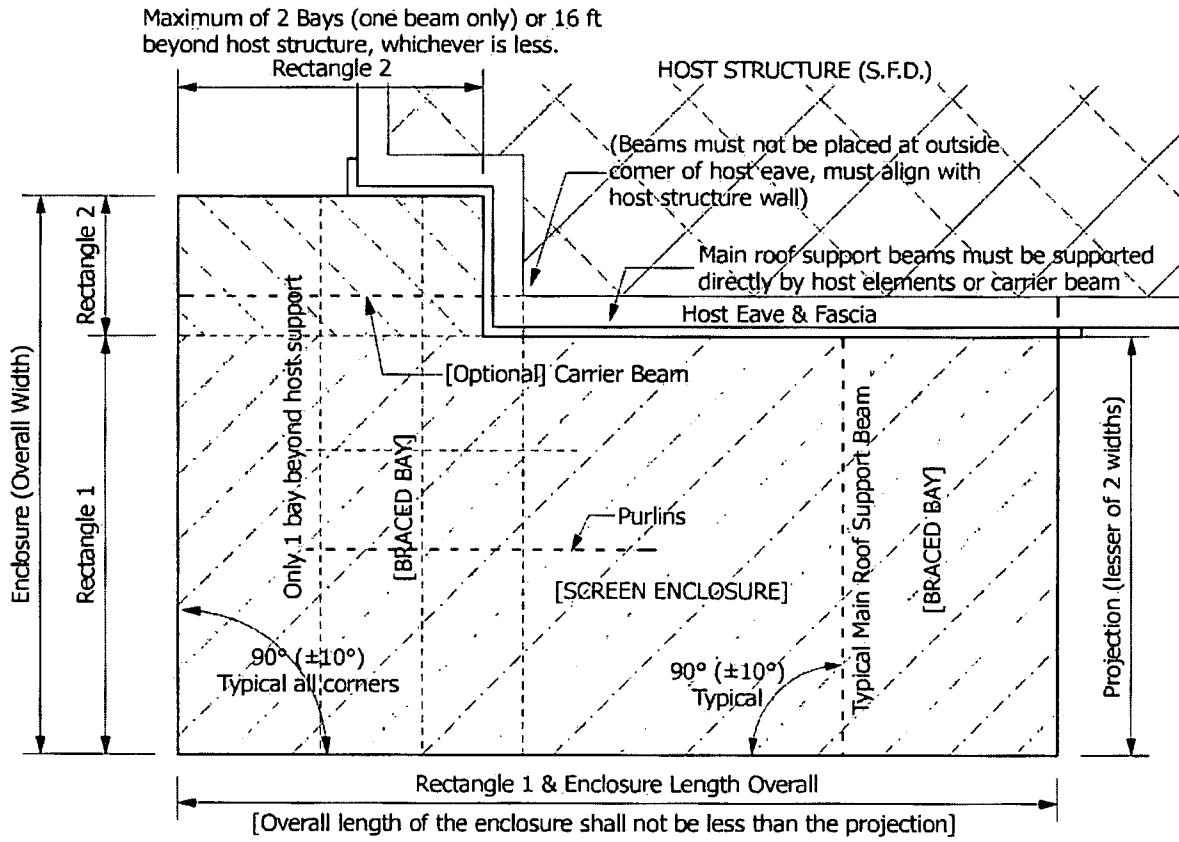
#### General Limitations on Size and Shape (Footprint):

- 1) Screen enclosures must be connected to a host structure (not free-standing)
- 2) Enclosure may be simple rectangular shape; OR, may consist of no more than 2 contiguous rectangular shapes
- 3) Included angles in corners must be perpendicular  $\pm 10^\circ$  ( $80^\circ$  to  $100^\circ$ ); AND, main roof support beams must be perpendicular (within  $10^\circ$ ) to outboard (a.k.a. longitudinal) wall
- 4) Size of rectangles governed by member spans per tables except as noted in schematic diagrams
- 5) No maximum on length overall, minimum length must be greater than enclosure projection
- 6) Width and projection governed by beam span or 40 ft, whichever is less
- 7) Screen eave may not exceed 14 ft except for gable end of transverse gable or dome; sloping eave for transverse gable may not exceed 18 ft in height
- 8) Mean roof height in Exposure C may not exceed 15 ft
- 9) Typical bay module (typical spacing of posts, beams and purlins) may not be less than 5 ft nor more than 8 ft (refer to schematic elevations)

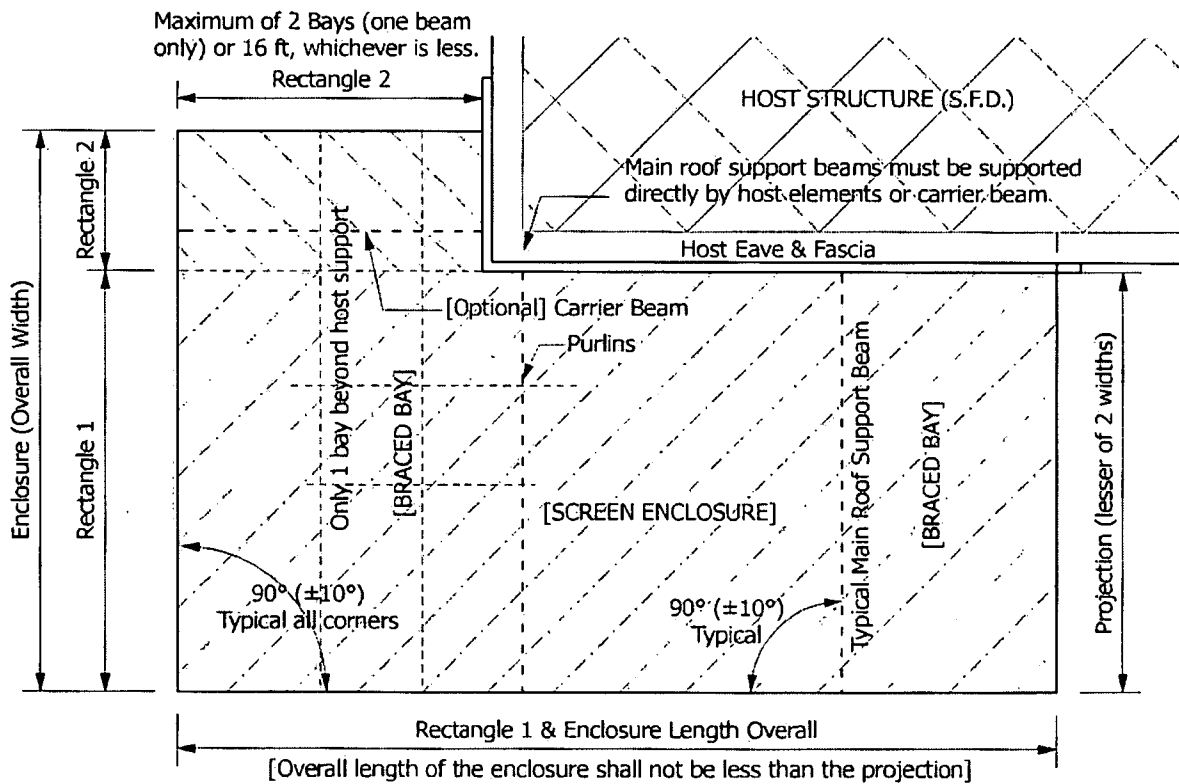
#### General Notes and Limitations for Carrier Beams:

- 1) Carrier beams must be horizontal (flat) no other shape is permitted.
- 2) Maximum carrier beam span is a single span of 16 ft
- 3) Carrier beams may not connect to any Super Gutter corner, but must be connected aligned with the host support wall.

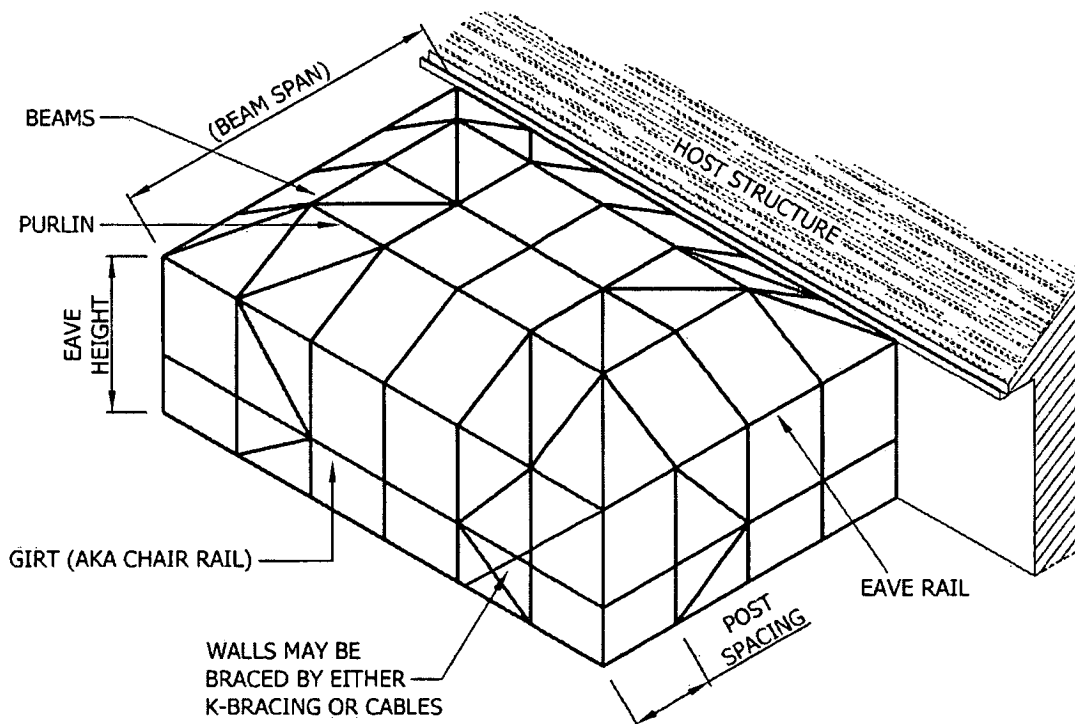
## Chapter 1 - Screen Enclosures



**Typical Screen Enclosure Footprint (Size/Shape) Limitations [Schematic 2]**

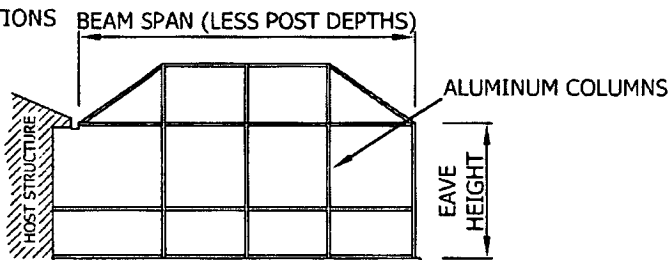


**Typical Screen Enclosure Footprint (Size/Shape) Limitations [Schematic 3]**

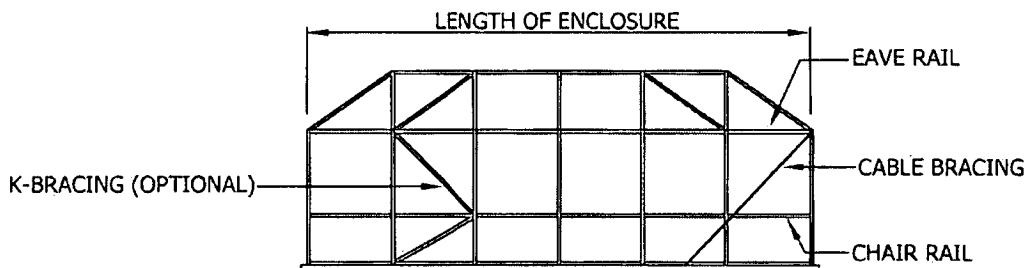


FOR ALLOWABLE SPANS, REFER TO:  
 TABLE 101 FOR BEAM SPANS  
 TABLE 102 FOR PURLIN SPANS  
 TABLE 103 FOR POST SPANS  
 TABLE 104 FOR GIRT SPANS  
 TABLE 109 FOR MANSARD SPLICE SPECIFICATIONS

TYPICAL MANSARD ROOF ISOMETRIC

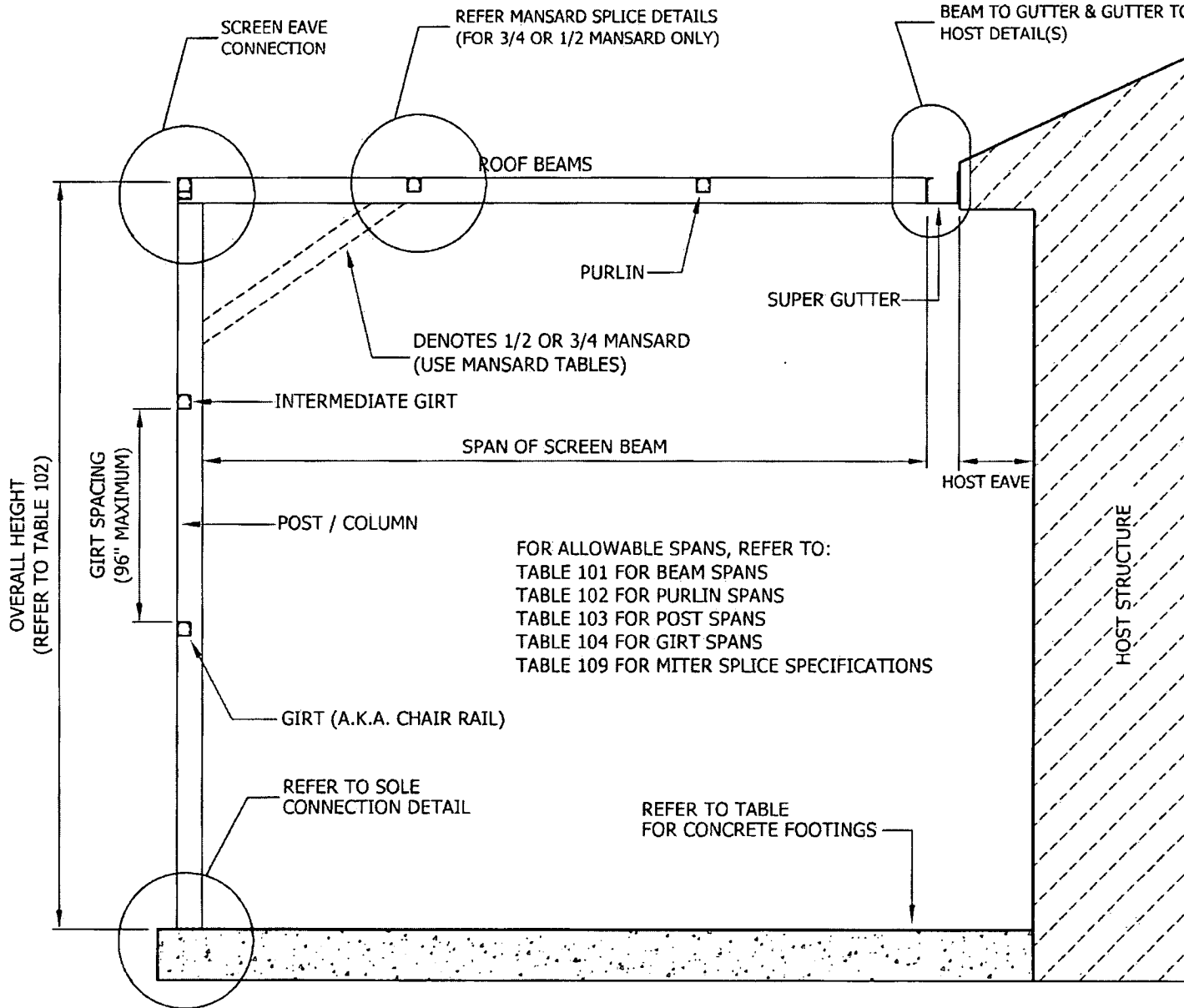


MANSARD ROOF SIDE ELEVATION

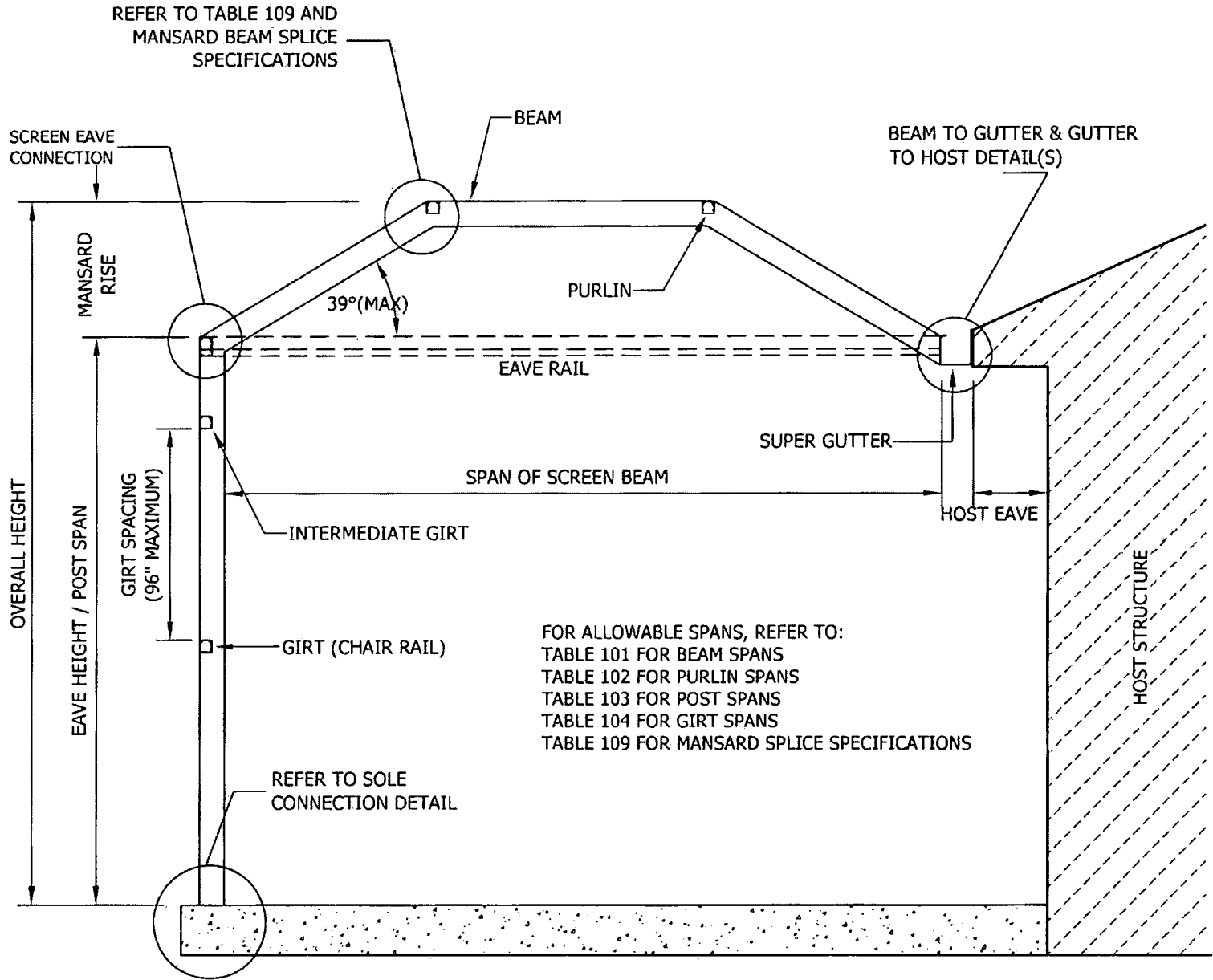


MANSARD ROOF FRONT ELEVATION

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TYPICAL FLAT OR PARTIAL MANSARD



REFER TO TABLE 109 AND  
MANSARD BEAM SPLICE  
SPECIFICATIONS

SCREEN EAVE  
CONNECTION

BEAM

BEAM TO GUTTER & GUTTER  
TO HOST DETAIL(S)

MANSARD  
RISE

39°(MAX)

PURLIN

EAVE RAIL

SUPER GUTTER

SPAN OF SCREEN BEAM

HOST EAVE

OVERALL HEIGHT  
EAVE HEIGHT / POST SPAN

GIRT SPACING  
(96" MAXIMUM)

INTERMEDIATE GIRT

GIRT (CHAIR RAIL)

REFER TO SOLE  
CONNECTION DETAIL

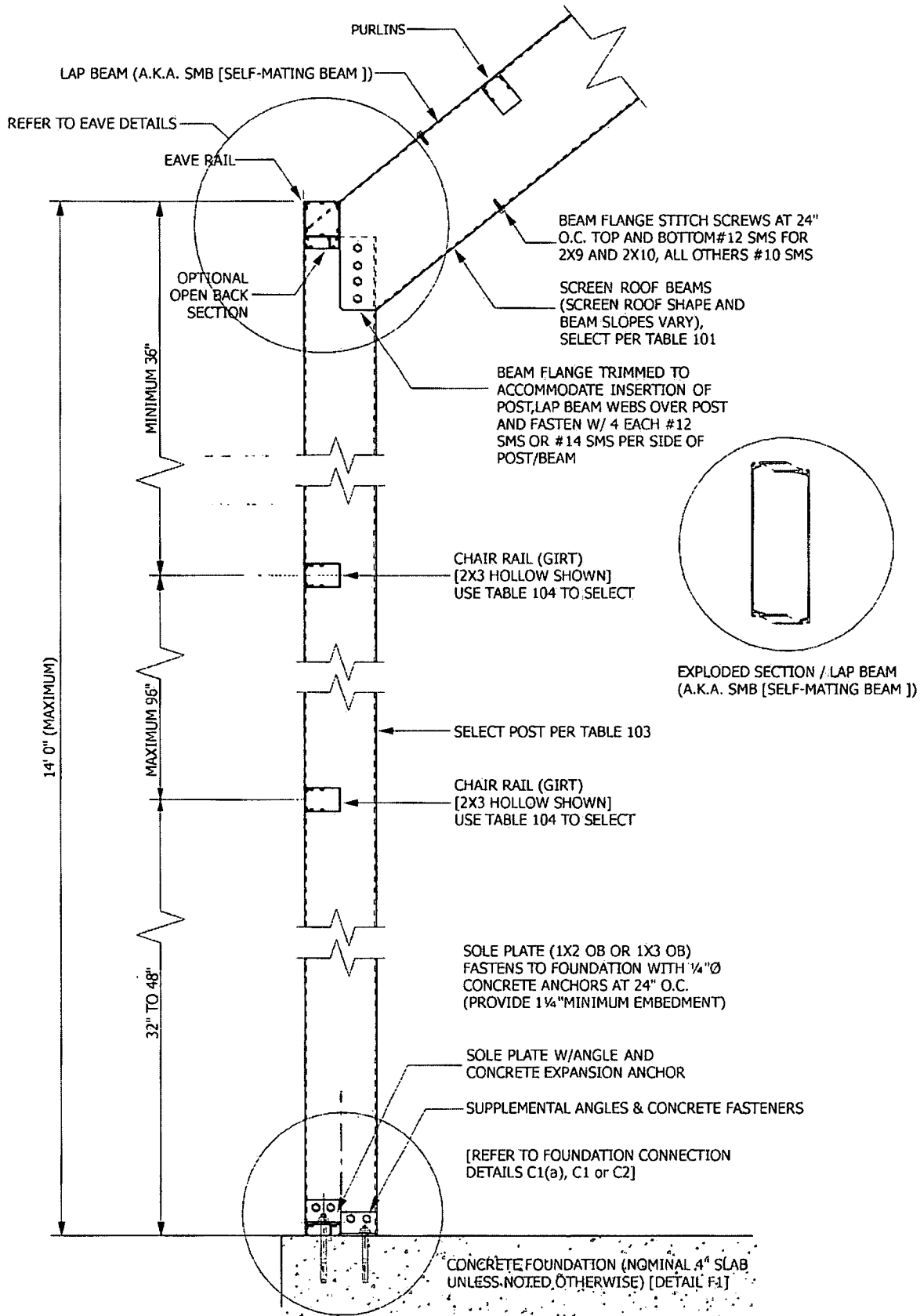
FOR ALLOWABLE SPANS, REFER TO:  
TABLE 101 FOR BEAM SPANS  
TABLE 102 FOR PURLIN SPANS  
TABLE 103 FOR POST SPANS  
TABLE 104 FOR GIRT SPANS  
TABLE 109 FOR MANSARD SPLICE SPECIFICATIONS

HOST STRUCTURE

TYPICAL SECTION / MANSARD



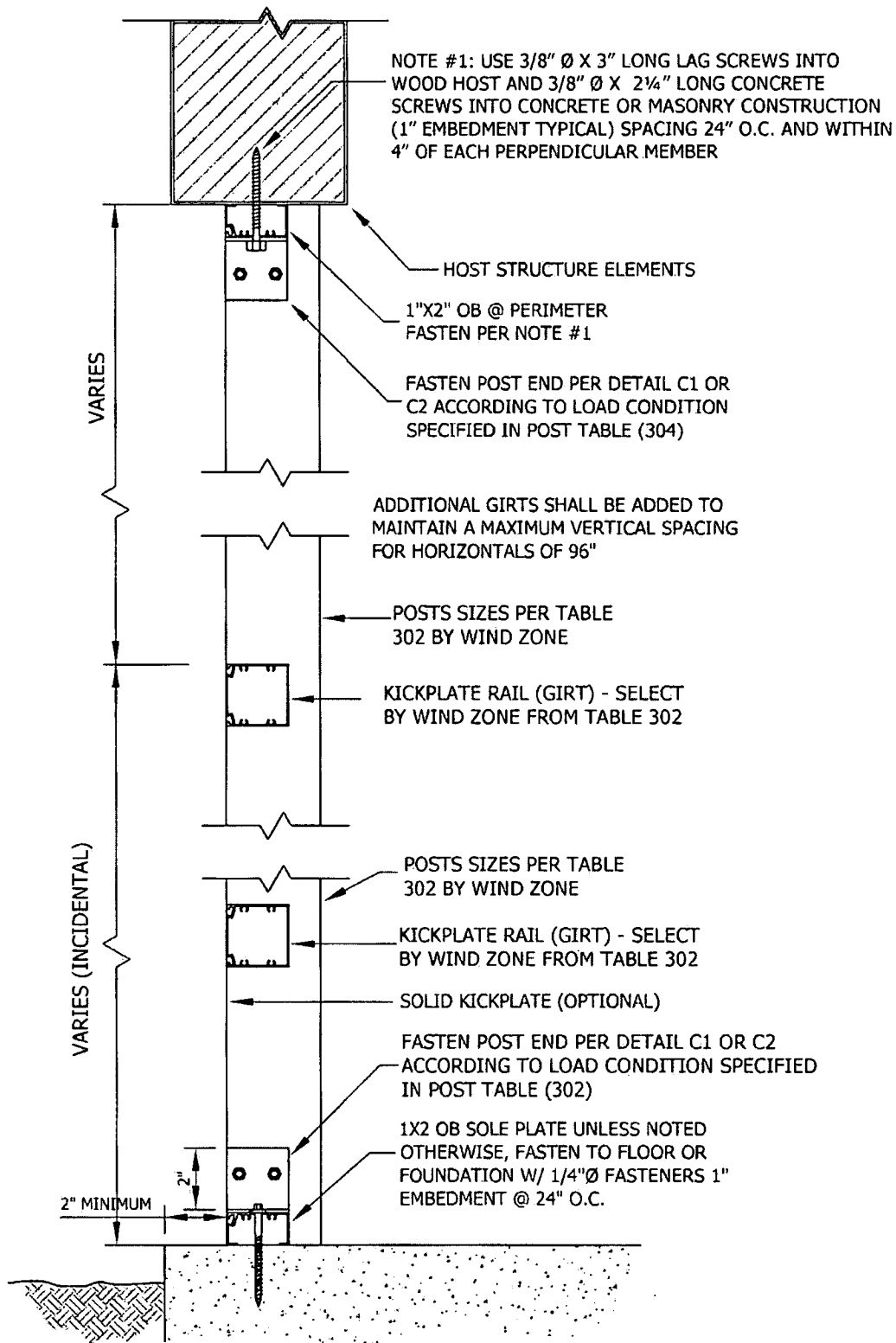
# Chapter 1 - Screen Enclosures



TYPICAL [BEAM BEARING] WALL SECTION

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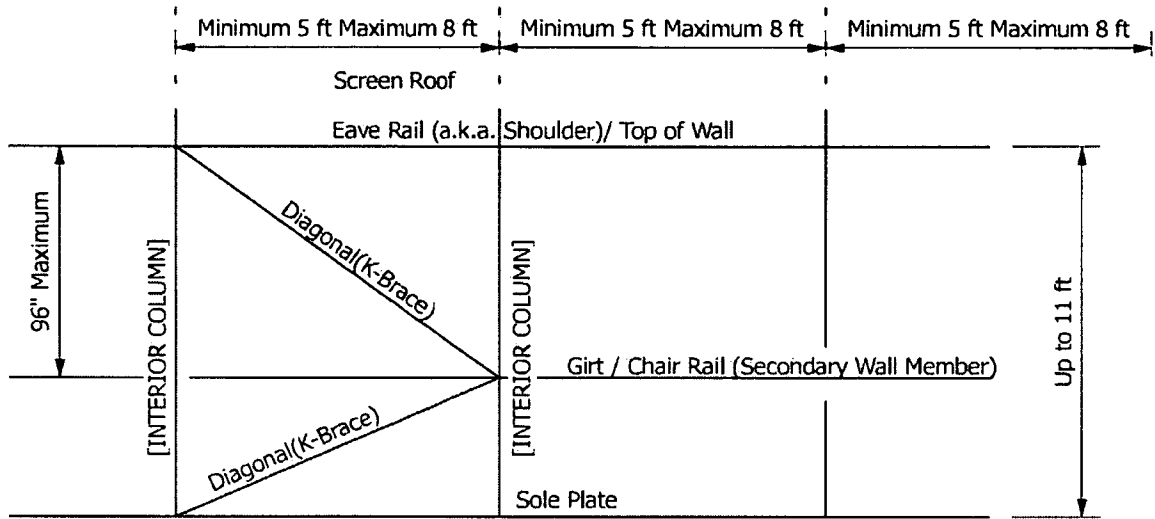
Chapter 3 - Screened Walls & Balconies



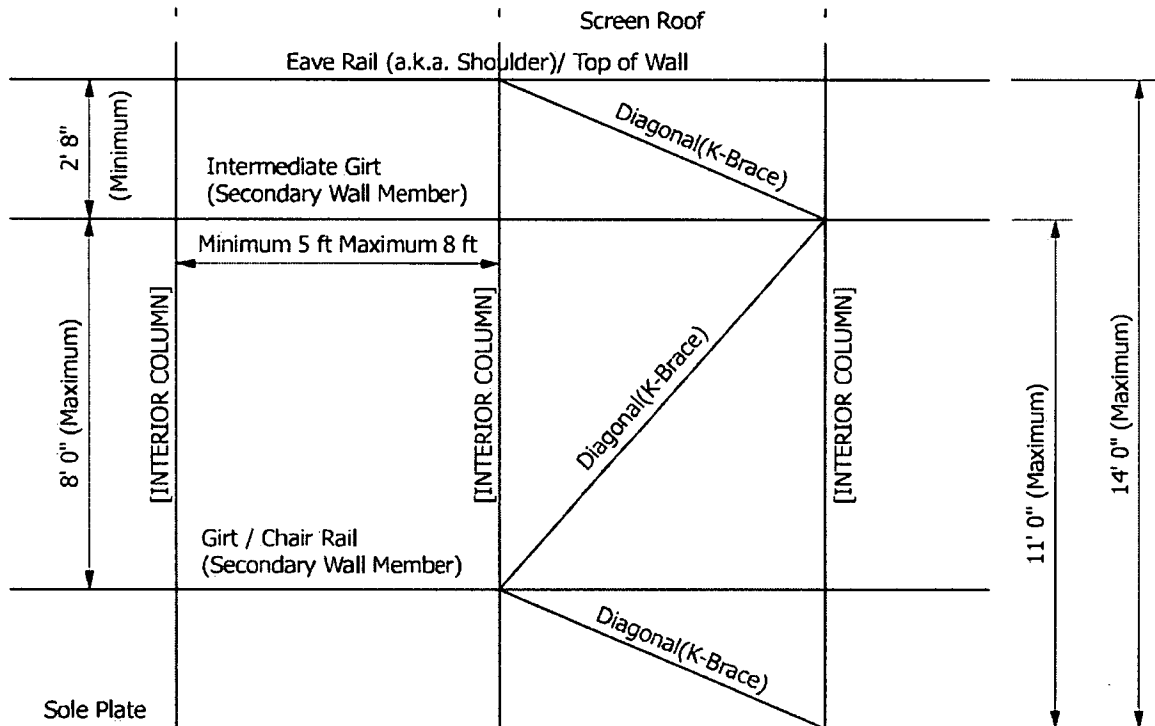
TYPICAL SECTION / SCREEN WALL WITHOUT GUARDRAIL (NOT SUPPORTING ROOF)  
FOUNDATION OR BALCONY

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## Chapter 1 - Screen Enclosures



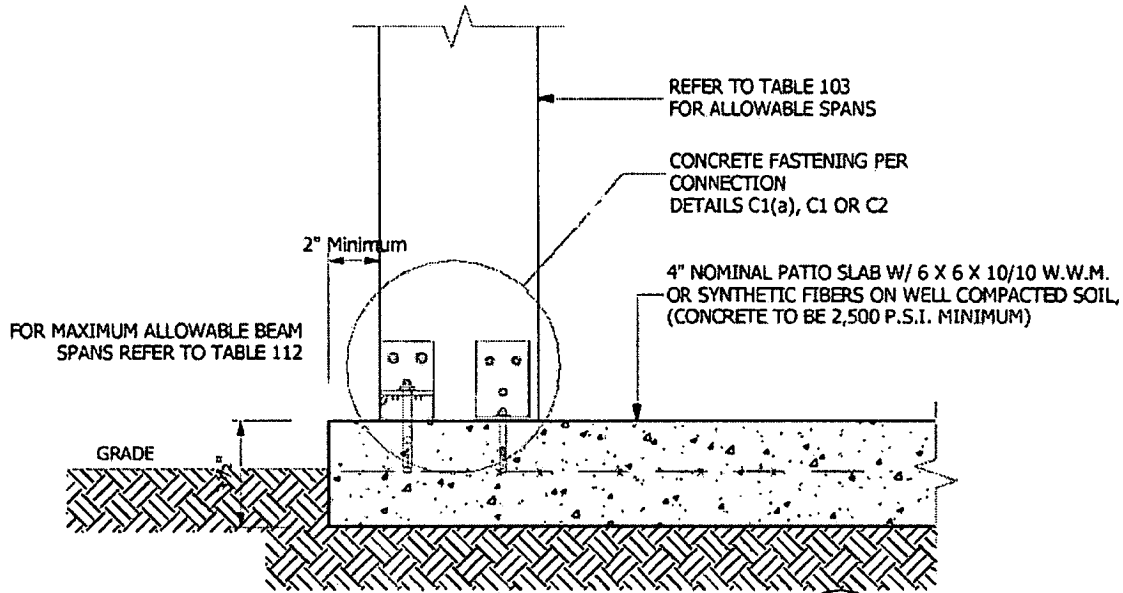
Schematic Elevations for Screen Enclosures with no Intermediate Girt



Schematic Elevations for Screen Enclosures with Intermediate Girt

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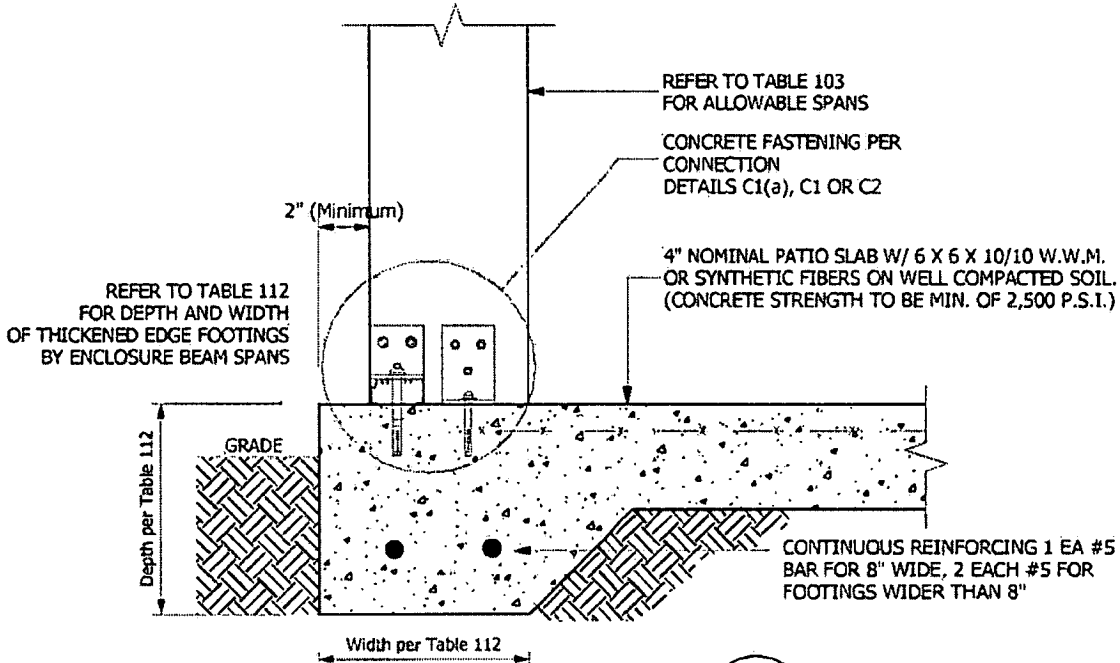
Chapter 1 - Screen Enclosures



**TYPICAL MONOLITHIC FOOTING DETAIL** (SCREEN WALL ON 3 1/2" MONOLITHIC PATIO SLAB (ONLY))

(F1)  
1

[DETAIL F1 TYPICAL FOR SCREEN ENCLOSURES UNLESS ADDRESSING ANGLE OF REPOSE (EROSION)]



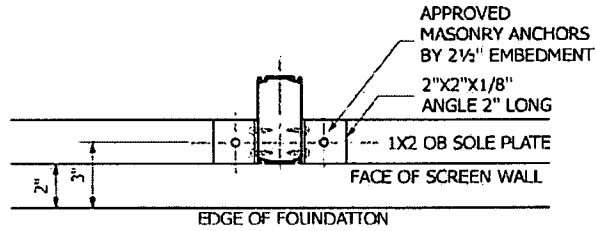
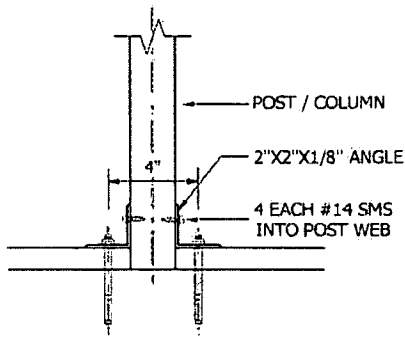
**FOOTING DETAIL** (PATIO SLAB W/ MONOLITHIC EDGE FOOTING)

(F2)  
1 ★

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# Chapter 1 - Screen Enclosures

Detail C1 utilized for foundation connections where the post height does not exceed values in Table 105. C1(a) is a special case where screen wall is fastened to the top of a masonry wall (refer to C1(a) notes below). Columns (posts/uprights) must not exceed allowable spans in Table 102.



Plan View Section (w/ 1X2 Sole Plate)  
Typical C1 Post/Column at Foundation

C1(a)  
1

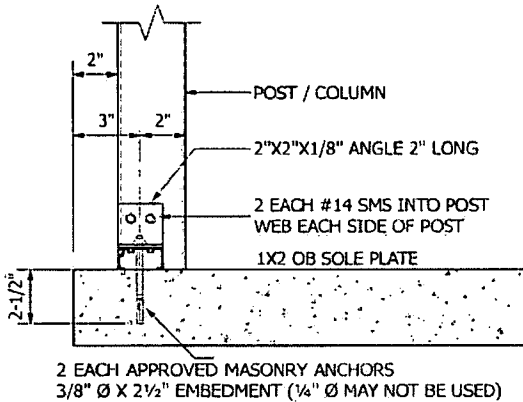
WALL FACE PARTIAL ELEVATION  
TYPICAL C1 POST/COLUMN AT FOUNDATION

C1  
1

FOR NOMINAL 4" PATTO SLAB, DO NOT EXCEED 2 3/4" DEPTH FOR CONCRETE ANCHORS, WHERE CONCRETE DEPTH EXCEEDS 3 1/2" DEPTH, ANCHOR MAY BE EMBEDDED UP TO CONCRETE DEPTH DIVIDED BY 1.25

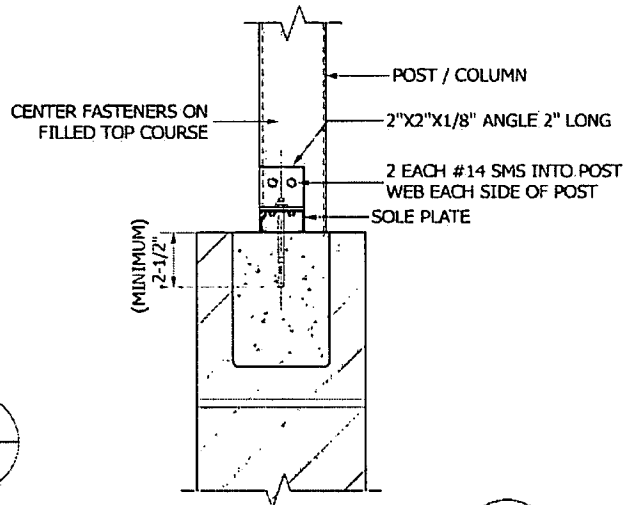
NOTES FOR CONNECTION C1(a):

- 1) C1(a) IS A C1 CONNECTION WITH ONLY 2 EACH 3/8" Ø APPROVED MASONRY ANCHORS
- 2) COLUMNS MUST SATISFY BOTH COLUMN SPAN TABLE 102 AND 105 (THE LESSER OF THE TWO);
- 3) A 1X3 OB MAY BE SUBSTITUTED FOR THE 1X2 SOLE PLATE SHOWN



SECTION / SIDE ELEVATION  
(FOUNDATION CONNECTION FOR COLUMNS NOT SUPPORTING K-BRACING)

C1(a)  
1



TYPICAL C1(a) POST / COLUMN CONNECTION DETAIL FOR 8" CMU WALL

C1(a)  
1

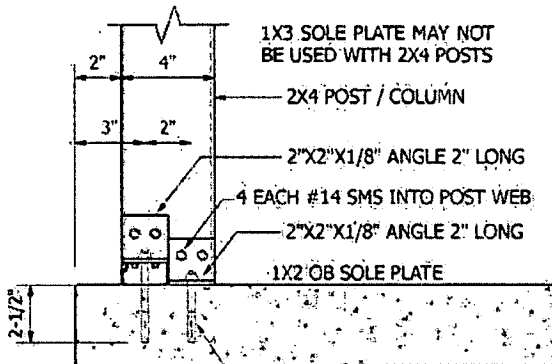
**Allowable Post Heights (Spans [ft]) for 2 Each 3/8" Ø Concrete Fasteners**

Table 105		Post Spacing in feet (Load Width)						
zone	psf	5.0	5.5	6.0	6.5	7.0	7.5	8.0
110	13	18.5	16.8	15.4	14.2	13.2	12.3	11.5
120	15	16.0	14.5	13.3	12.3	11.4	10.7	10.0
130	18	13.3	12.1	11.1	10.3	9.5	8.9	8.3
140	21	11.4	10.4	9.5	8.8	8.2	7.6	7.1

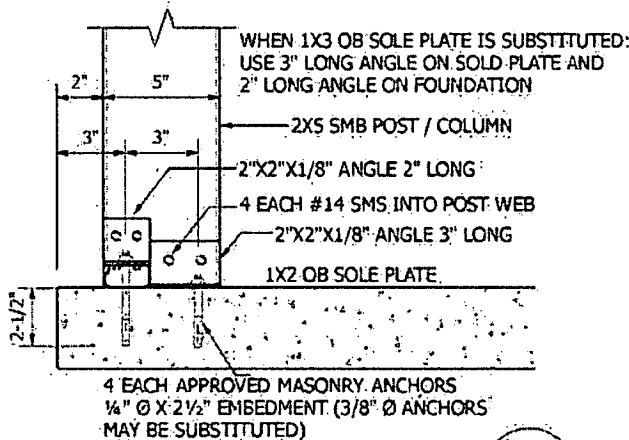
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# Chapter 1 - Screen Enclosures

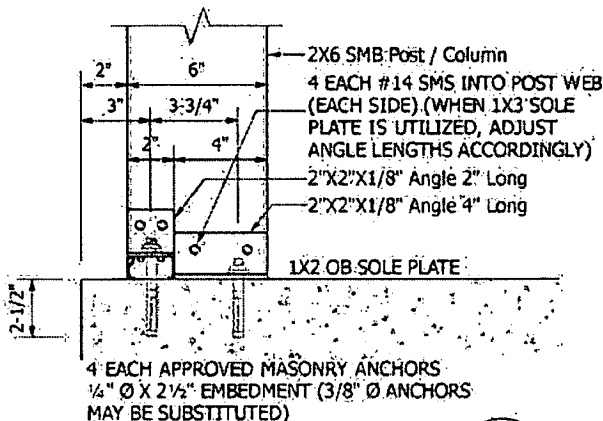
Detail C1 Elevations show the foundation connections, for various depth columns (posts/uprights). Columns (posts/uprights) must not exceed allowable spans in Table 102.



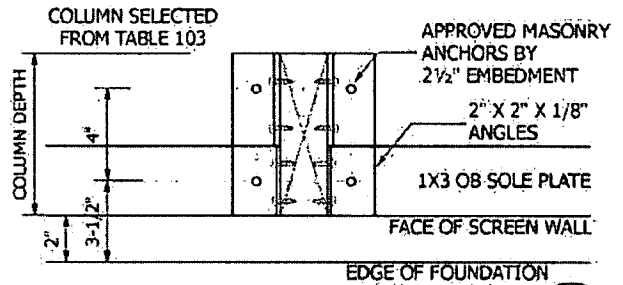
SECTION / SIDE ELEVATION / 2X4 POST (FOUNDATION CONNECTION FOR COLUMNS NOT SUPPORTING K-BRACING) **C1** 1



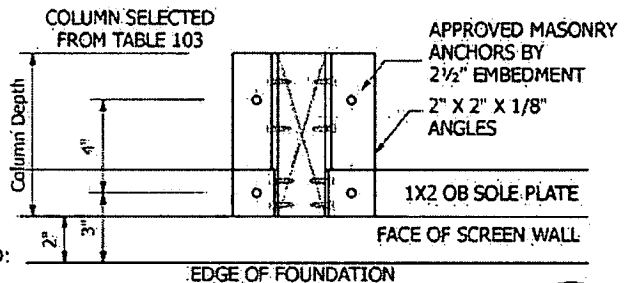
SECTION / SIDE ELEVATION / 2X5 POST (FOUNDATION CONNECTION FOR COLUMNS NOT SUPPORTING K-BRACING) **C1** 1



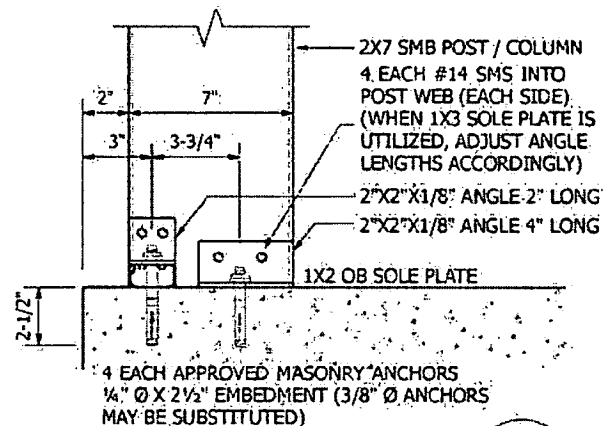
SECTION / SIDE ELEVATION / 2X6 POST (FOUNDATION CONNECTION FOR COLUMNS NOT SUPPORTING K-BRACING) **C1** 1



PLAN VIEW SECTION (W/ 1X3 SOLE PLATE) TYPICAL C1 POST/COLUMN AT FOUNDATION **C1** 1



PLAN VIEW SECTION (W/ 1X2 SOLE PLATE) TYPICAL C1 POST/COLUMN AT FOUNDATION **C1** 1



SECTION / SIDE ELEVATION / 2X7 POST (FOUNDATION CONNECTION FOR COLUMNS NOT SUPPORTING K-BRACING) **C1** 1

2X7 SMB CONNECTION DETAIL C1 ALSO APPLIES TO LARGER COLUMNS (MAINTAIN REQUIRED COMPONENT SIZES AND FASTENER SPACINGS)

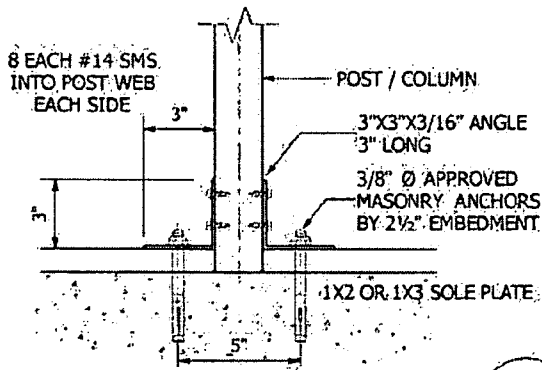
- 1) MAXIMUM POST HEIGHT (SPAN) 18' 0"
- 2) FOR DETAIL C1 AND C2, POST HEIGHT OR SPAN, NOT LIMITED BY TABLE 105

FOR NOMINAL 4" PATIO SLAB, DO NOT EXCEED 2 3/4" DEPTH FOR CONCRETE ANCHORS, WHERE CONCRETE DEPTH EXCEEDS 3 1/2" DEPTH, ANCHOR MAY BE EMBEDDED UP TO CONCRETE DEPTH DIVIDED BY 1.25

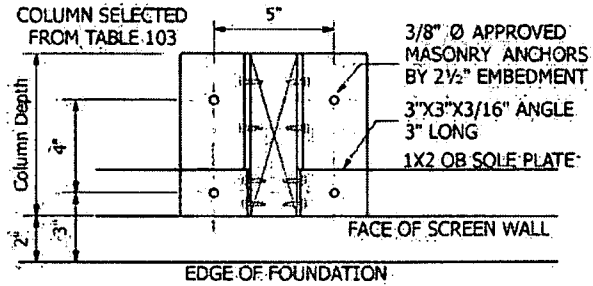
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# Chapter 1 - Screen Enclosures

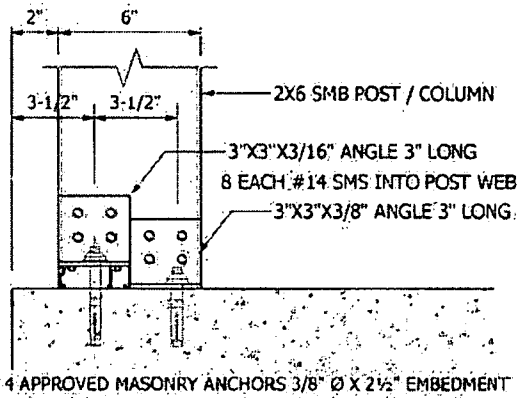
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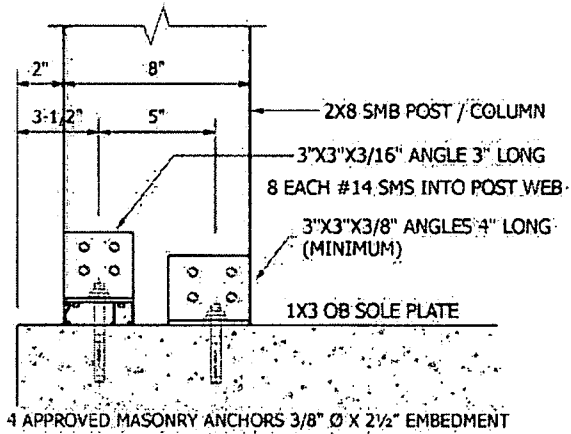
**WALL FACE PARTIAL ELEVATION**  
**TYPICAL C2 POST/COLUMN AT FOUNDATION**  
 MINIMUM COLUMN SIZE FOR DETAIL C2  
 (SUPPORT OF K-BRACING) 2X6 SMB



**PLAN VIEW SECTION (w/ 1X2 SOLE PLATE)**  
**TYPICAL C2 POST/COLUMN AT FOUNDATION**  
 MINIMUM COLUMN SIZE FOR DETAIL C2  
 (SUPPORT OF K-BRACING) 2X6 SMB

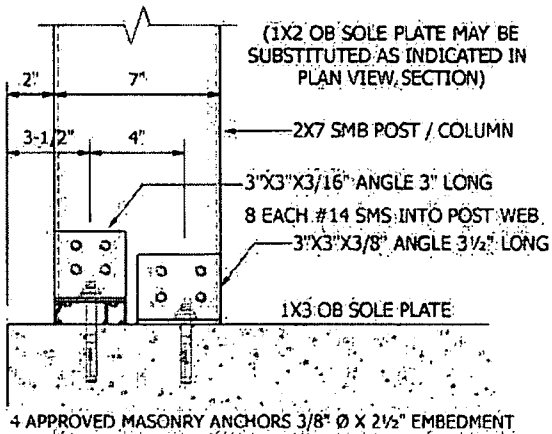


**SECTION / SIDE ELEVATION / 2X6 SMB POST**  
 (LOCATIONS SUPPORTING K-BRACING)



**SECTION / SIDE ELEVATION / 2X8 SMB POST**  
 (LOCATIONS SUPPORTING K-BRACING)

2X8 SMB CONNECTION DETAIL C2 ALSO APPLIES TO 2X9' and 2X10' (MAINTAIN REQUIRED COMPONENT SIZES AND FASTENER SPACINGS)



**SECTION / SIDE ELEVATION / 2X7 SMB POST**  
 (LOCATIONS SUPPORTING K-BRACING)

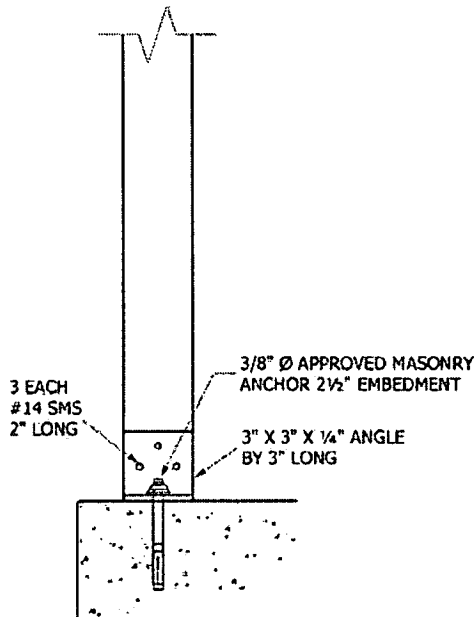
- 1) MAXIMUM POST HEIGHT (SPAN) 18' 0"
- 2) FOR DETAIL C1 AND C2, POST HEIGHT OR SPAN NOT LIMITED BY TABLE 105

FOR NOMINAL 4" PATIO SLAB, DO NOT EXCEED 2 3/4" DEPTH FOR CONCRETE ANCHORS, WHERE CONCRETE DEPTH EXCEEDS 3 1/2" DEPTH, ANCHOR MAY BE EMBEDDED UP TO CONCRETE DEPTH DIVIDED BY 1.25

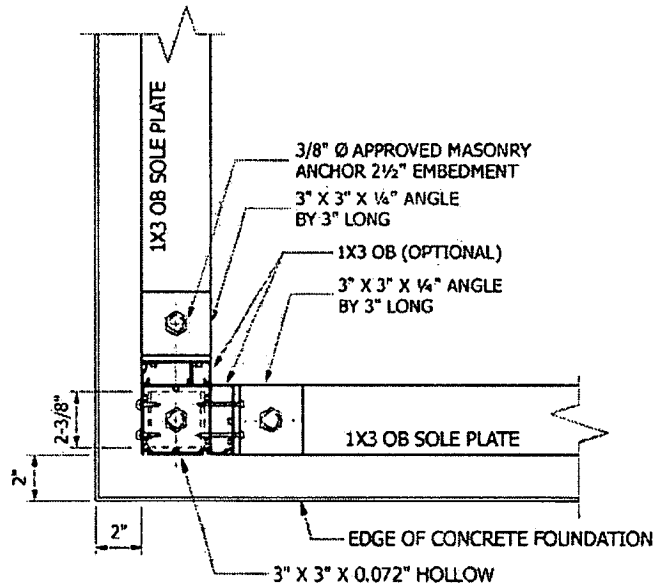
Detail C2 Elevations show the foundation connections for various depth columns (posts/uprights). Columns (posts/uprights) must not exceed allowable spans in Table 102.

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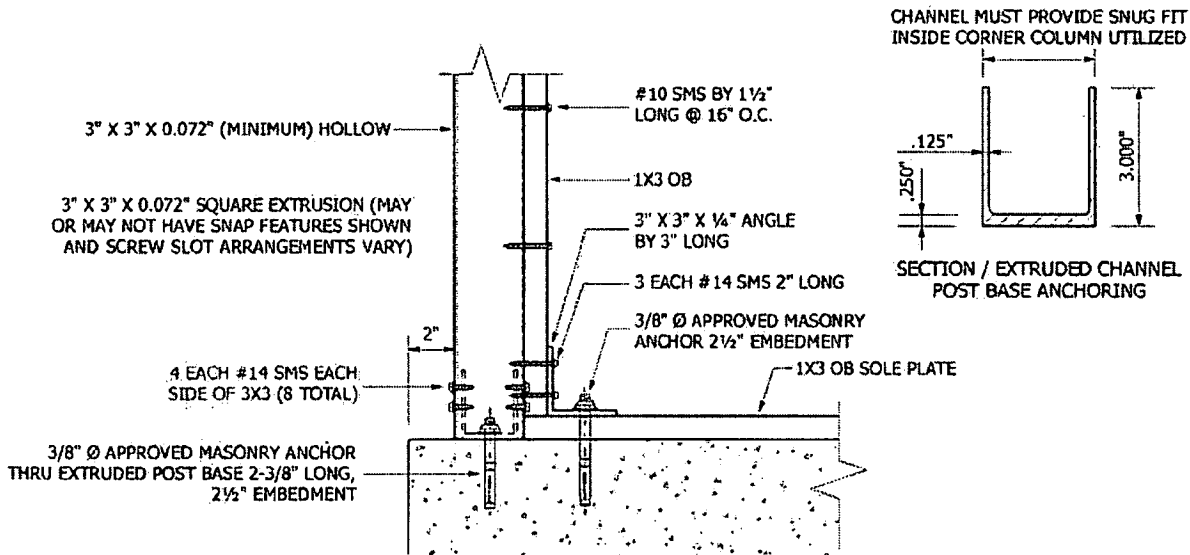


**PLACEMENT IN ANGLE**



**PLAN VIEW SECTION / EXTERIOR CORNER AT FOUNDATION FOR SCREEN ENCLOSURES IN WIND ZONE 120 MPH AND GREATER**

FOR NOMINAL 4" PATIO SLAB, DO NOT EXCEED 2 3/4" DEPTH FOR CONCRETE ANCHORS, WHERE CONCRETE DEPTH EXCEEDS 3 1/2" DEPTH, ANCHOR MAY BE EMBEDDED UP TO CONCRETE DEPTH DIVIDED BY 1.25

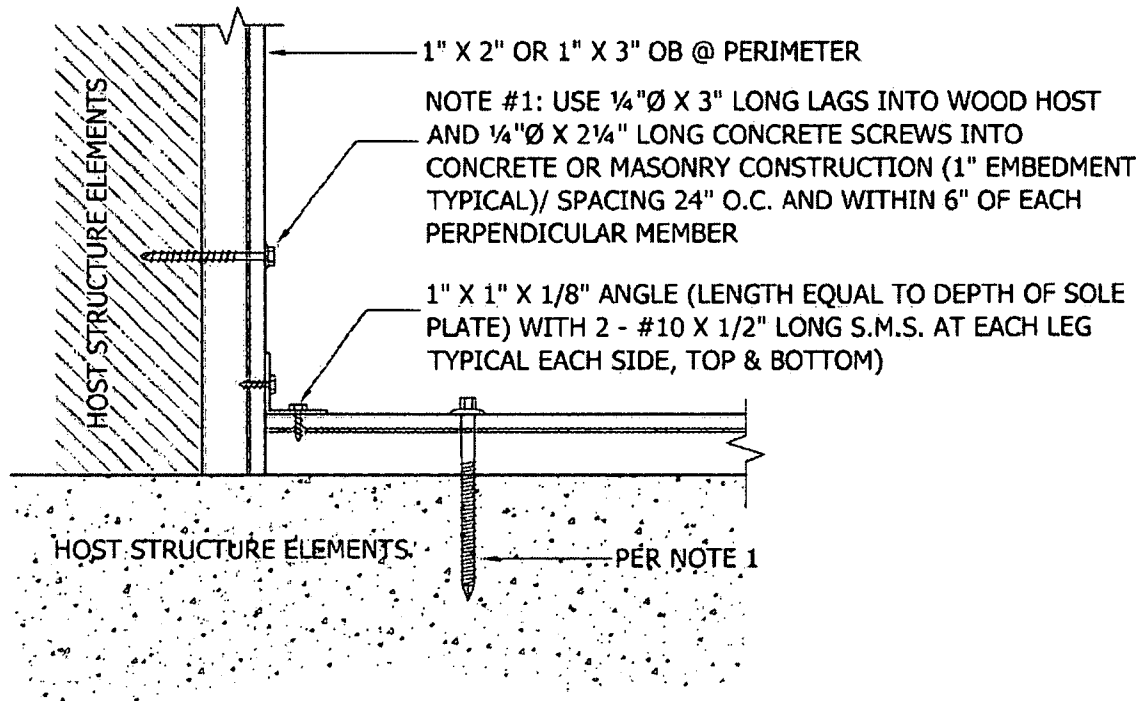


**PARTIAL ELEVATION / EXTERIOR CORNER AT FOUNDATION FOR SCREEN ENCLOSURES IN WIND ZONE 120 MPH AND GREATER**

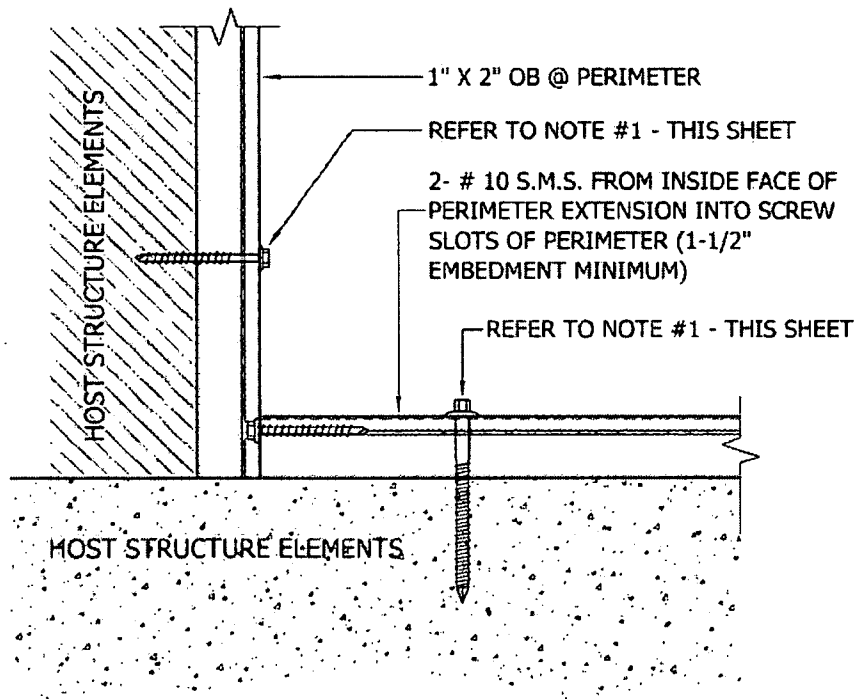




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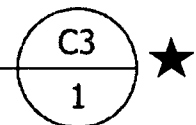


CONNECTION WITH EXPOSED FASTENERS



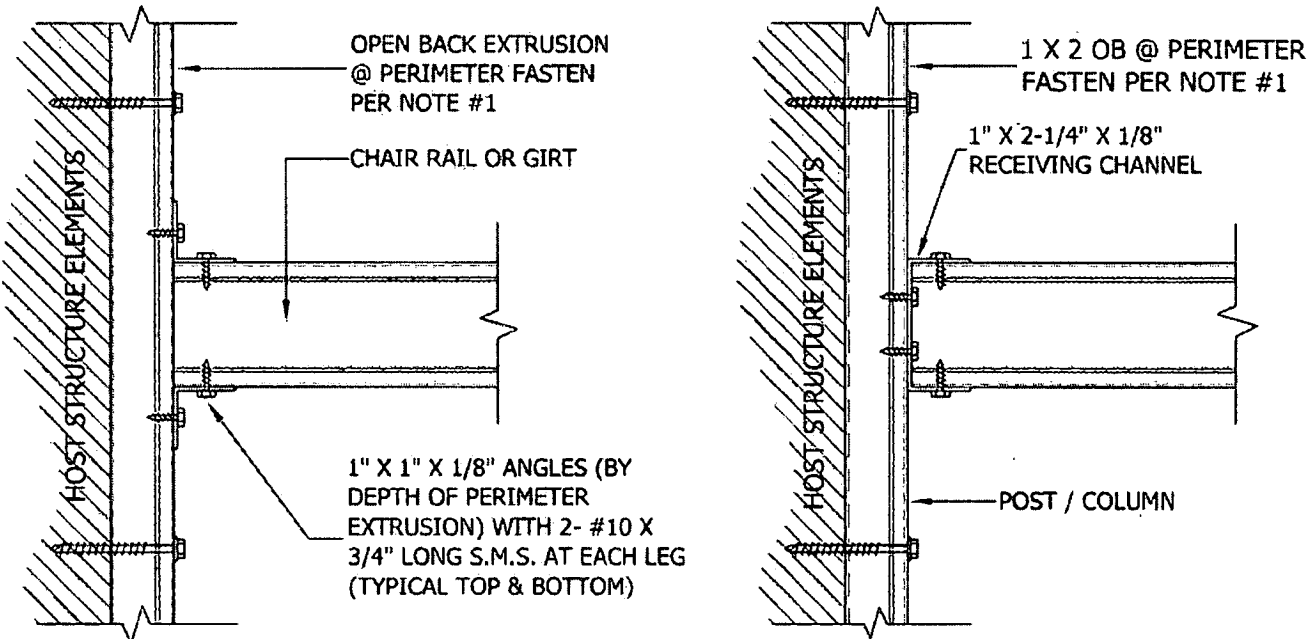
CONNECTION WITH CONCEALED FASTENERS

PARTIAL ELEVATIONS / PERIMETER EXTENSION CONNECTIONS

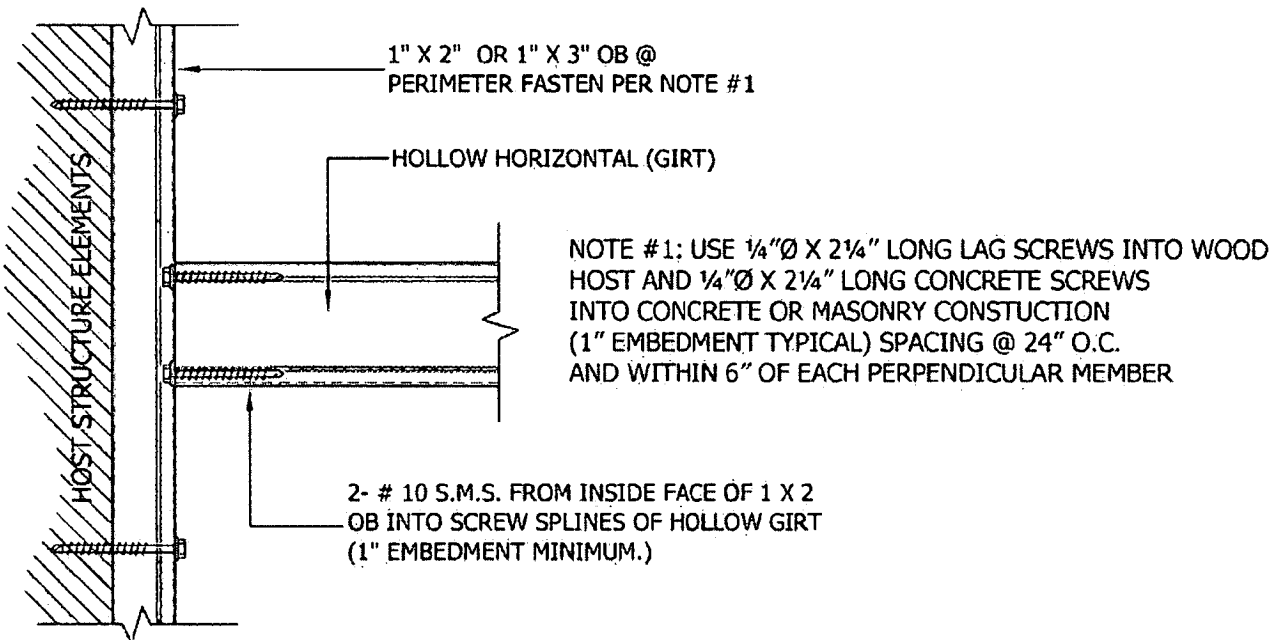


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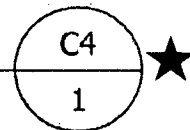


CONNECTION W/ EXPOSED FASTENERS



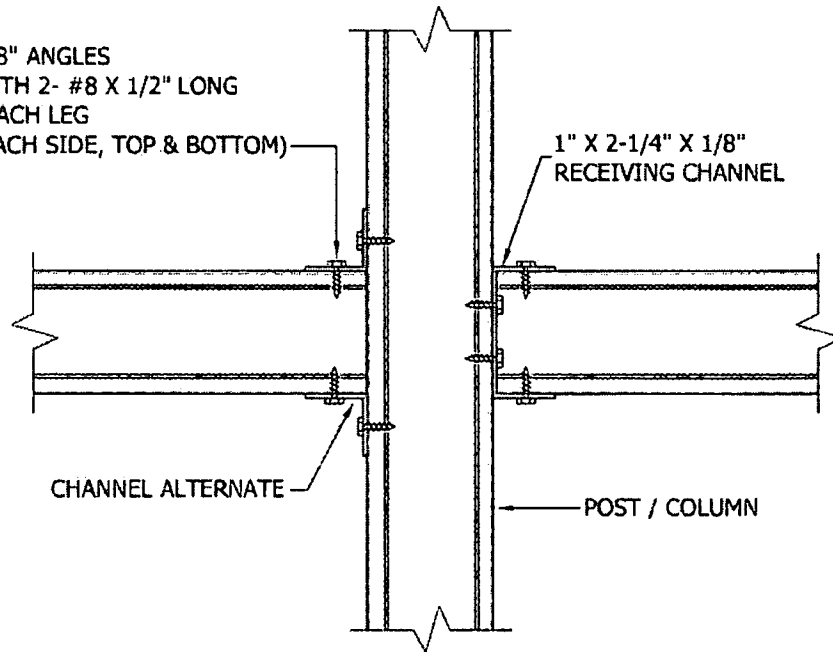
CONNECTION W/ CONCEALED FASTENERS

PARTIAL ELEVATIONS / 2" X 2" GIRT TO 1" X 2" CONNECTIONS



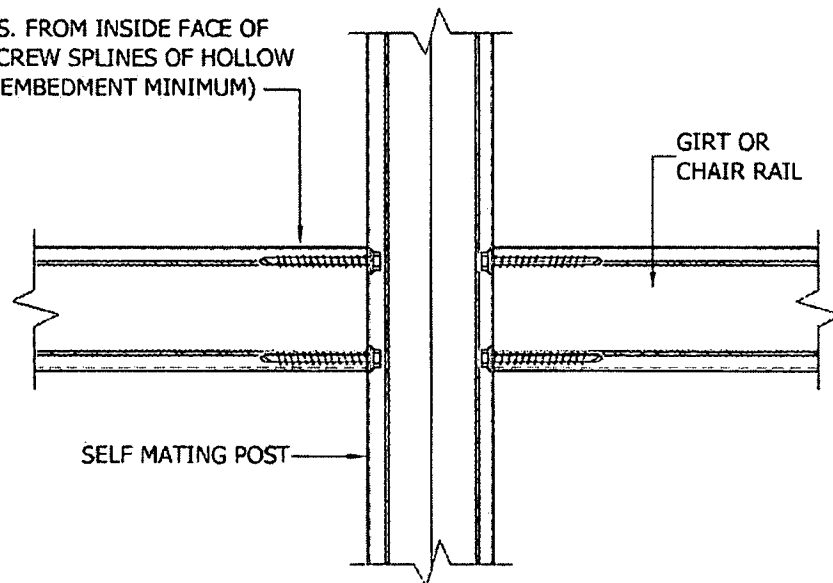
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1" X 1" X 1/8" ANGLES  
2" LONG WITH 2- #8 X 1/2" LONG  
S.M.S. AT EACH LEG  
(TYPICAL EACH SIDE, TOP & BOTTOM)



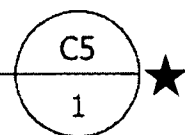
CONNECTION W/ EXPOSED FASTENERS

4 - # 10 S.M.S. FROM INSIDE FACE OF  
POST INTO SCREW SPLINES OF HOLLOW  
GIRT (1-1/2" EMBEDMENT MINIMUM)



CONNECTION W/ CONCEALED FASTENERS

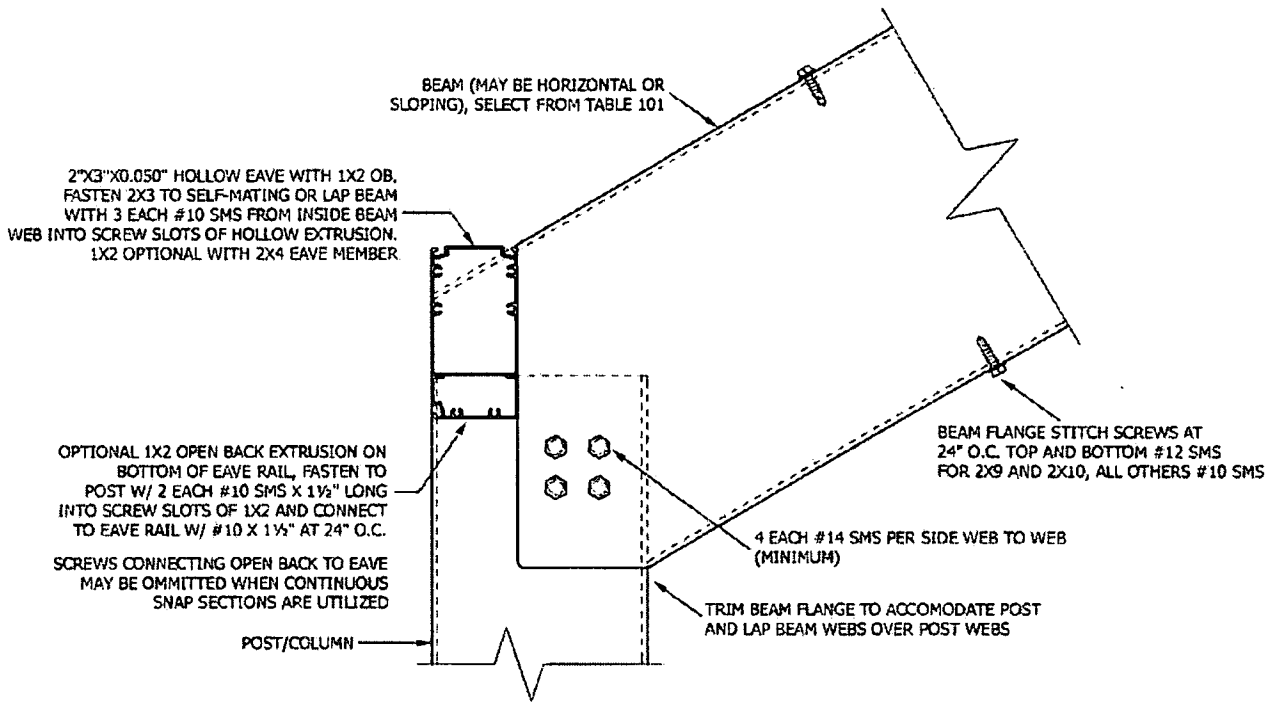
PARTIAL ELEVATIONS / GIRT TO POST CONNECTIONS



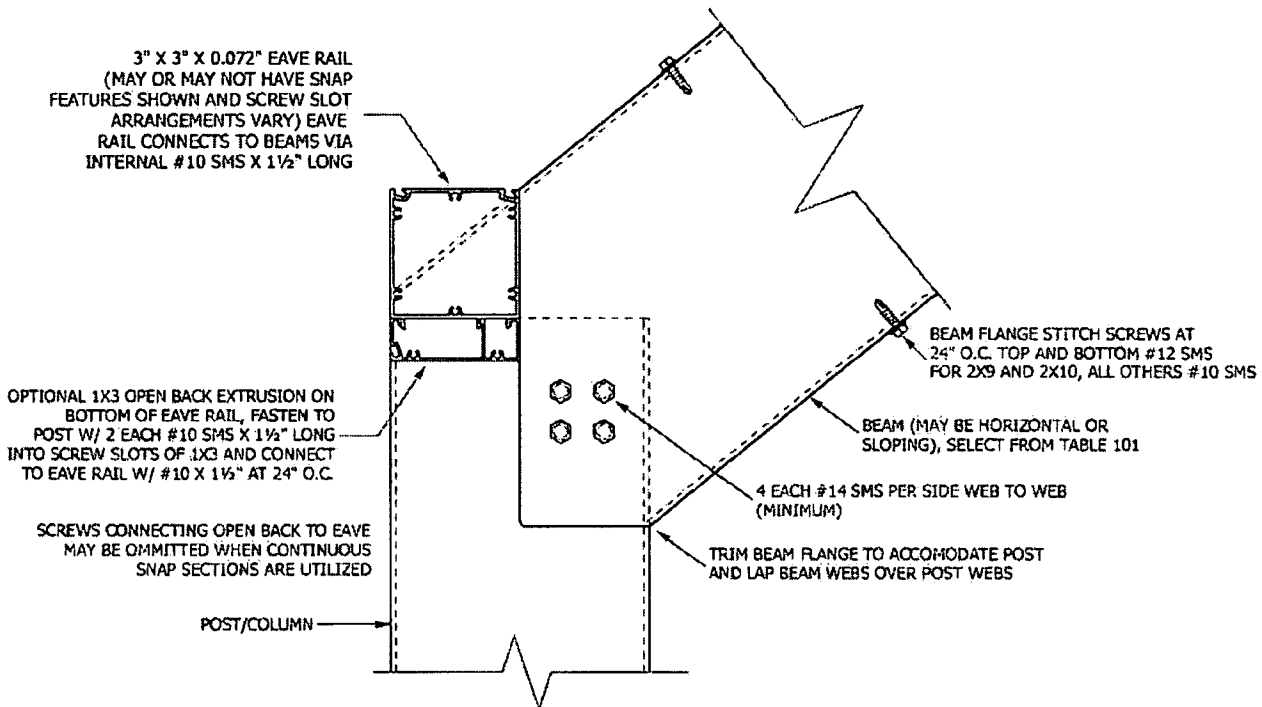
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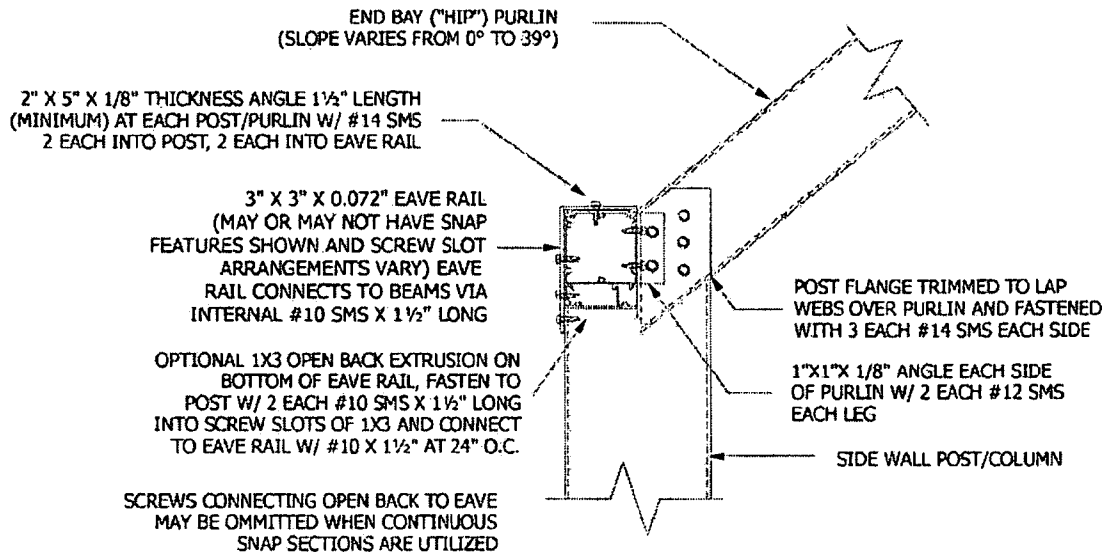
**SECTION (1) AT SCREEN EAVE ON LONGITUDINAL WALLS  
(FOR WIND ZONES LESS THAN 120 MPH)**



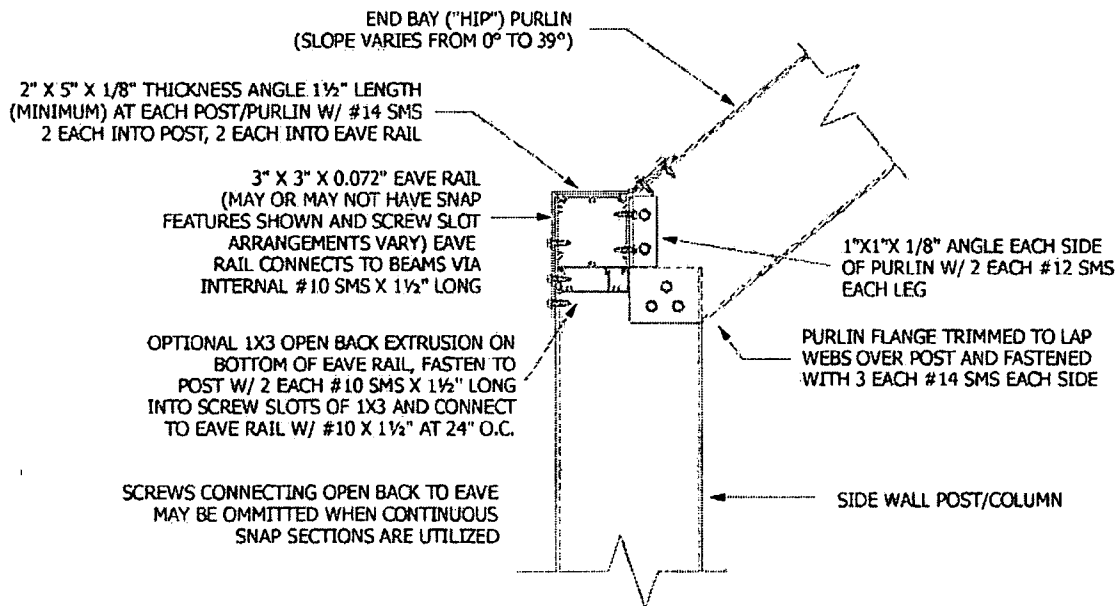
**SECTION (2) AT SCREEN EAVE ON LONGITUDINAL WALLS  
(FOR WIND ZONE 120 MPH AND GREATER)** ★

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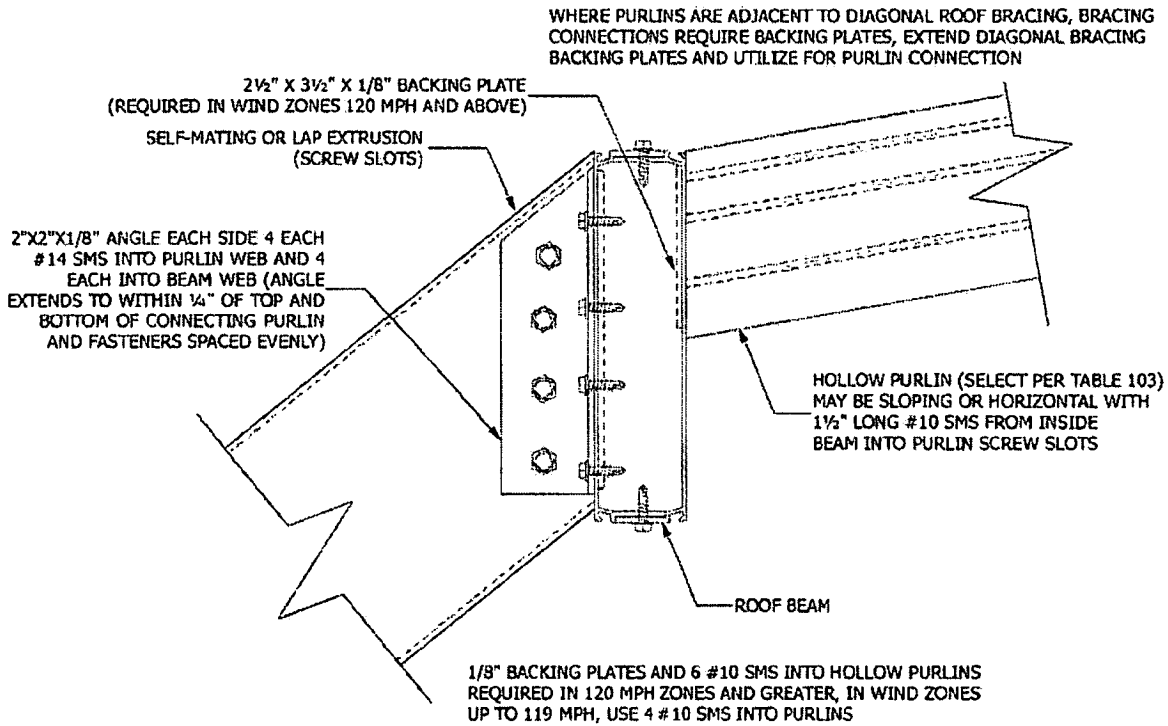
**SECTION (1) AT SCREEN EAVE ON SIDE WALLS**  
**(FOR WIND ZONES 120 MPH AND GREATER) ★**



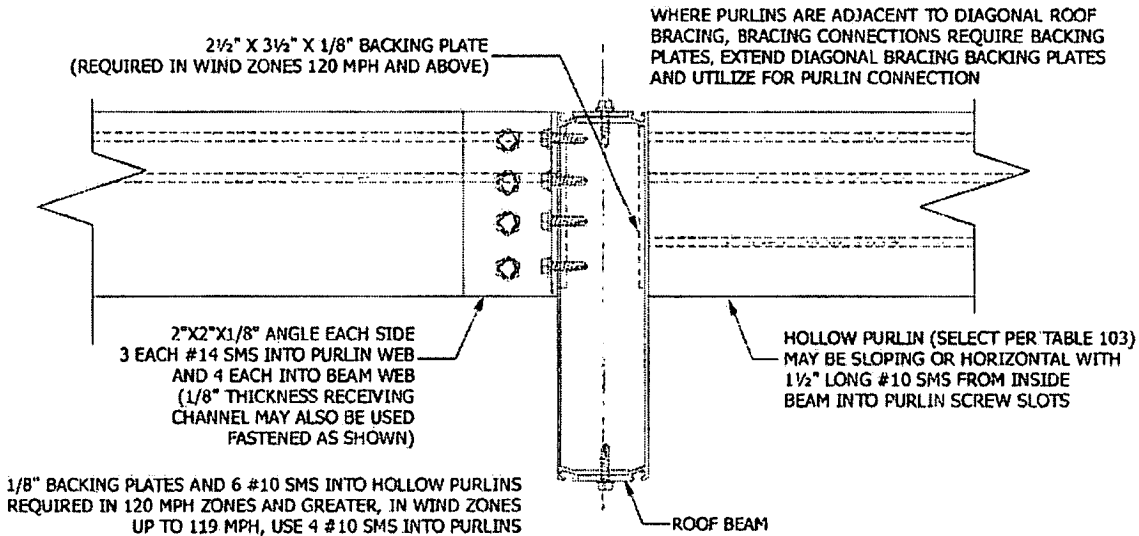
**SECTION (2) AT SCREEN EAVE ON SIDE WALLS**  
**(FOR WIND ZONES 120 MPH AND GREATER)**

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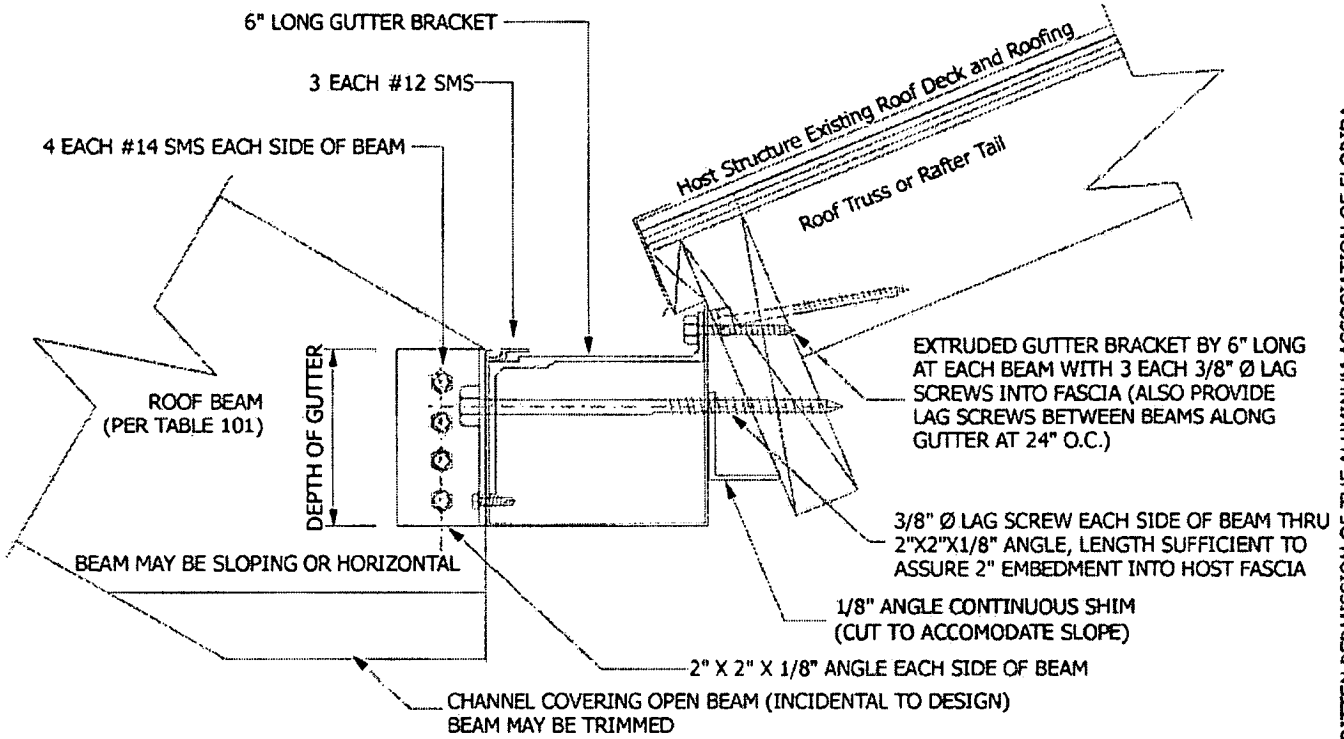
## SECTION / ANGLE/CHANNEL OR INTERNAL FASTENING AT SLOPING PURLINS



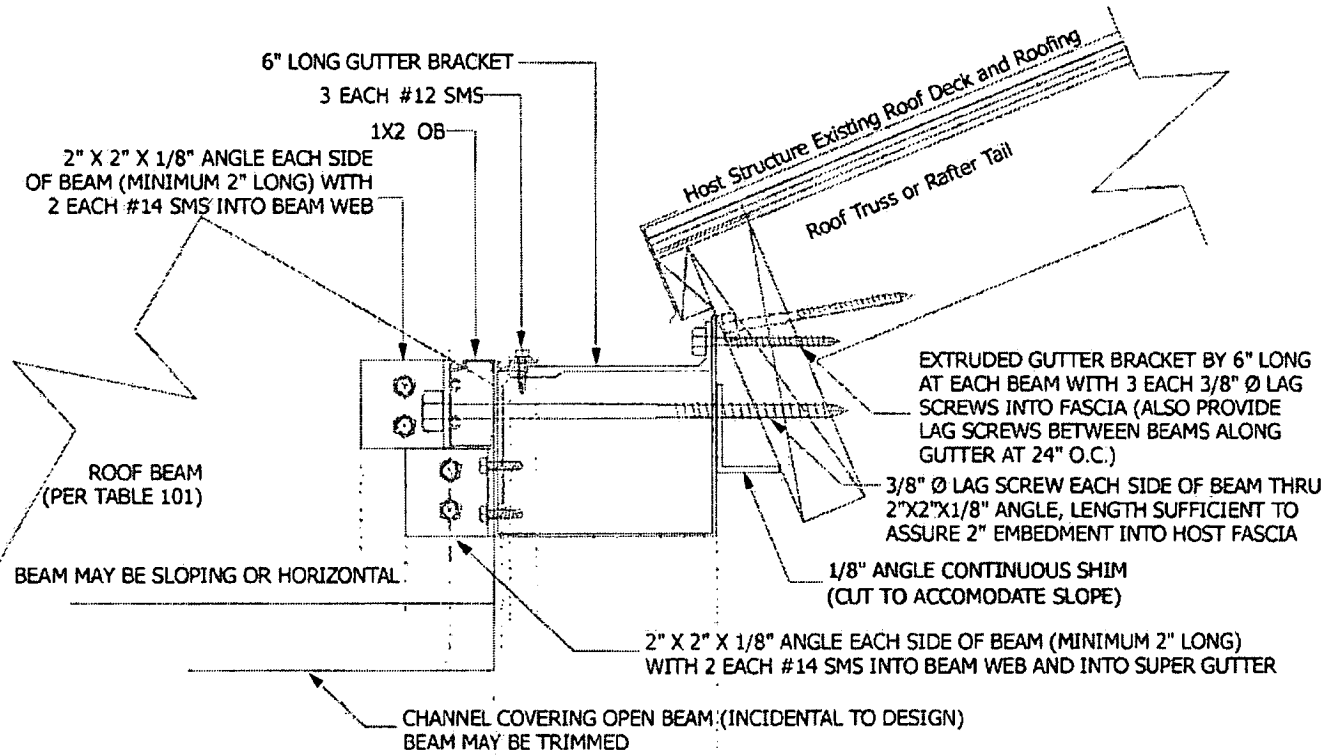
## SECTION / ANGLE/CHANNEL OR INTERNAL FASTENING

## PURLIN TO BEAM CONNECTIONS ★

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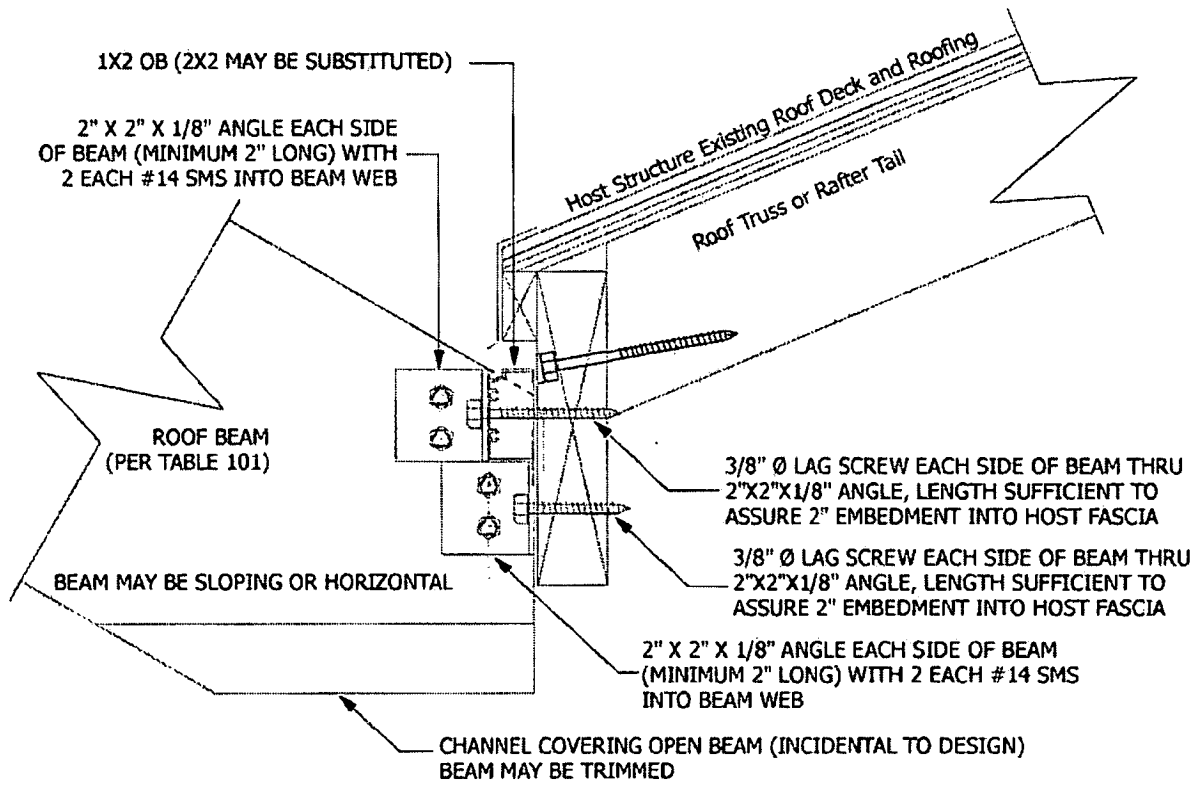


**SUPER GUTTER CONNECTION DETAIL (1) BEAM TO HOST EAVE**

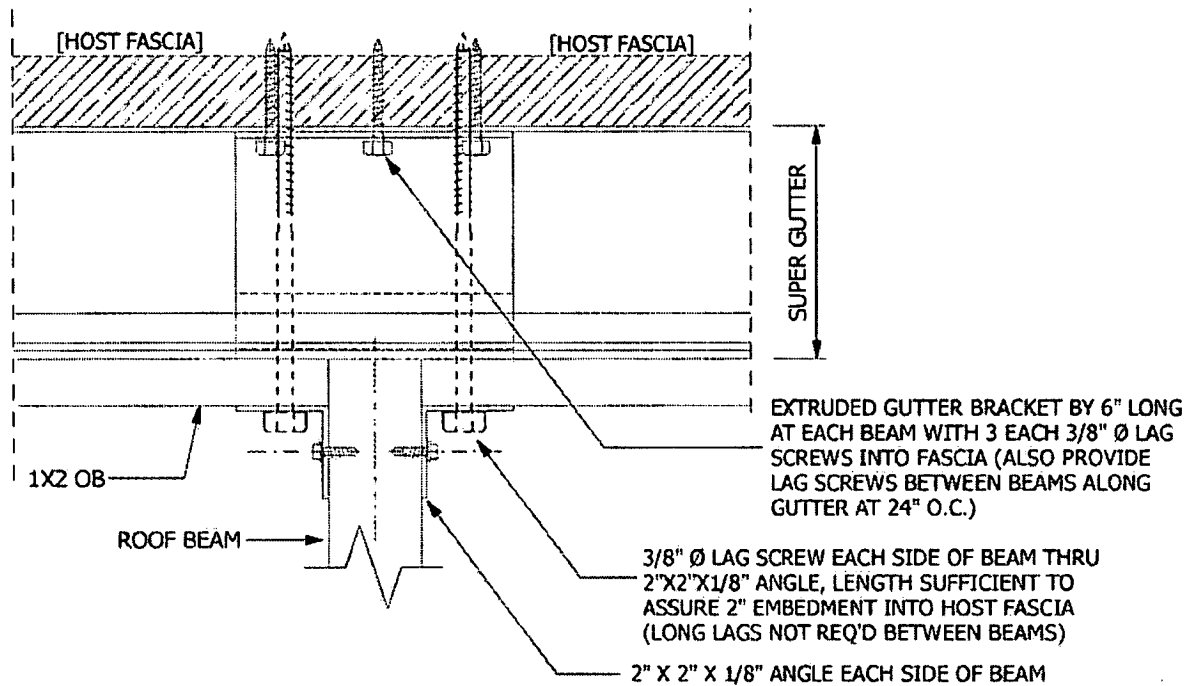


**ALTERNATE SUPER GUTTER CONNECTION DETAIL (2) BEAM TO HOST EAVE ★**

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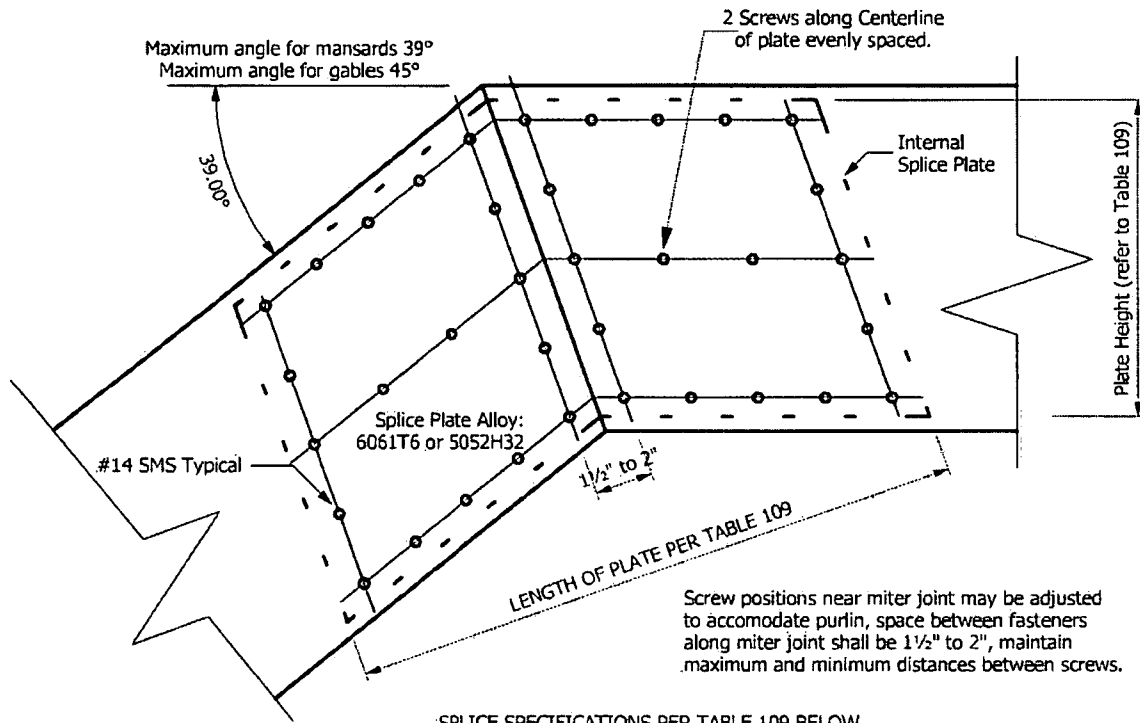
**BEAM TO HOST FASCIA DETAIL WITHOUT SUPER GUTTER**



**PARTIAL PLAN ~ SUPER GUTTER CONNECTION DETAIL BEAM TO HOST EAVE ★**



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SPLICE SPECIFICATIONS PER TABLE 109 BELOW

### TYPICAL ELEVATION FOR BEAM MITER SPLICE

[DETAIL MAY BE ROTATED FOR GABLE RIDGE SPLICE, AND MAY ALSO SERVE AS SPECIFICATIONS FOR A STRAIGHT SPLICE, MAINTAIN PLATE AND CONNECTOR SPECIFICATIONS IN TABLE 109 FOR ALL]

**Table 109 Beam Splice Plate Size and Fastening Requirements**

Beam Splice Plate Requirements for Beams of 6005T5 alloy								
Member (SMB)	Plate Length	Beams of 6005T5 alloy			#14 SMS Per Side	Total #14 SMS Per Splice	Fastener Spaces	
		M <sub>a</sub>	Req'd. Thicknesses				Horizontal	Vertical
		6005T5	5052H32	6061T6	Per End	Per Splice		
2X4	10"	8.7	3/16"	1/8"	8	32	2	2
2X5	12"	13.9	3/16"	1/8"	12	48	3	2
2X6	12"	17.4	3/16"	1/8"	14	56	3	3
2X7	14"	22.3	3/16"	1/8"	14	56	3	3
★ 2X8	18"	66.7	5/16"	1/4"	18	72	4	4
2X9	18"	107.0	3/8"	1/4"	24	96	6	5
2X10	20"	147.5	3/8"	5/16"	26	104	6	6

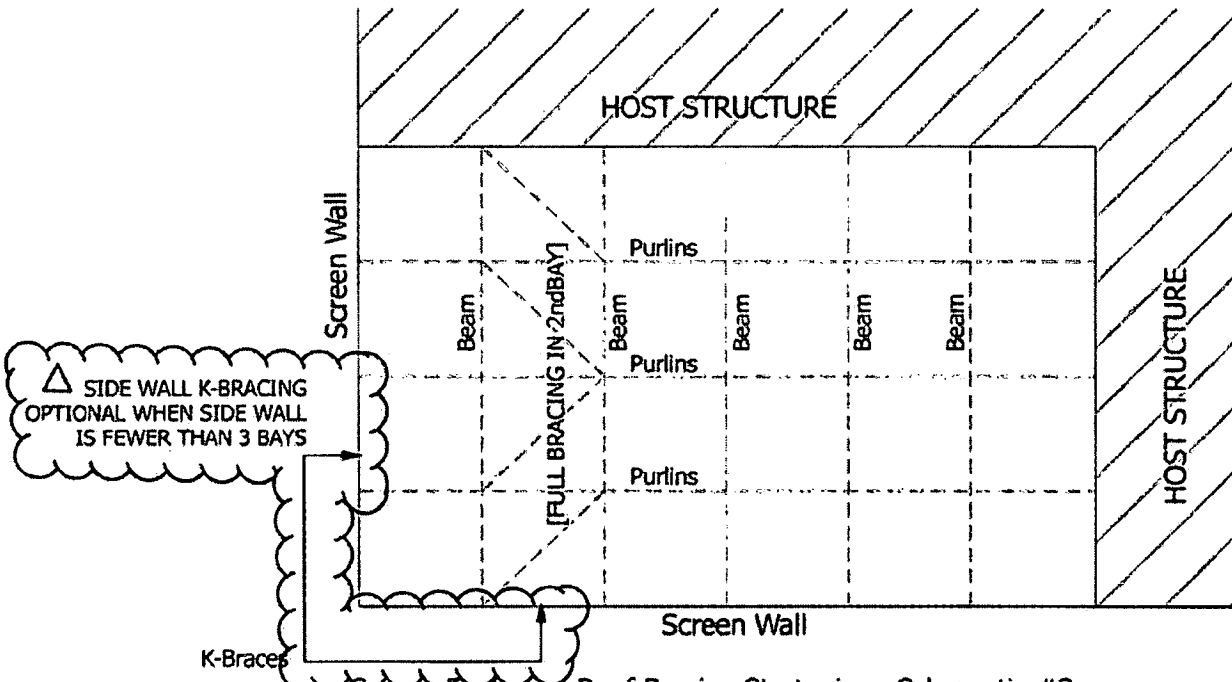
**Table Notes:**

- 1 6061T6 beams use same plates as 6005T5 beams
- 2 5052H32 is a sheet alloy, 6061T6 is a plate alloy
- 3 M<sub>a</sub> (allowable moments for beams in in-kips)

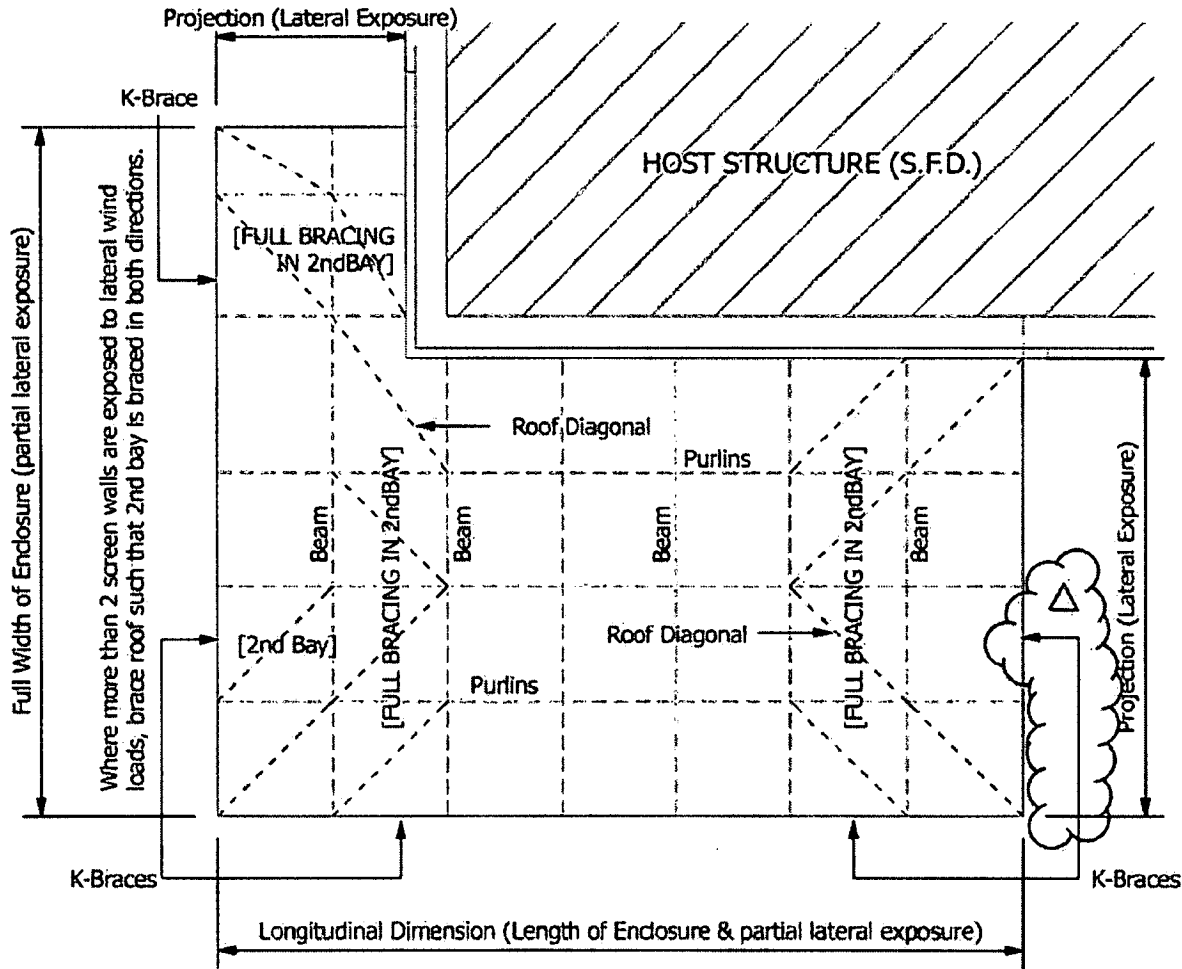
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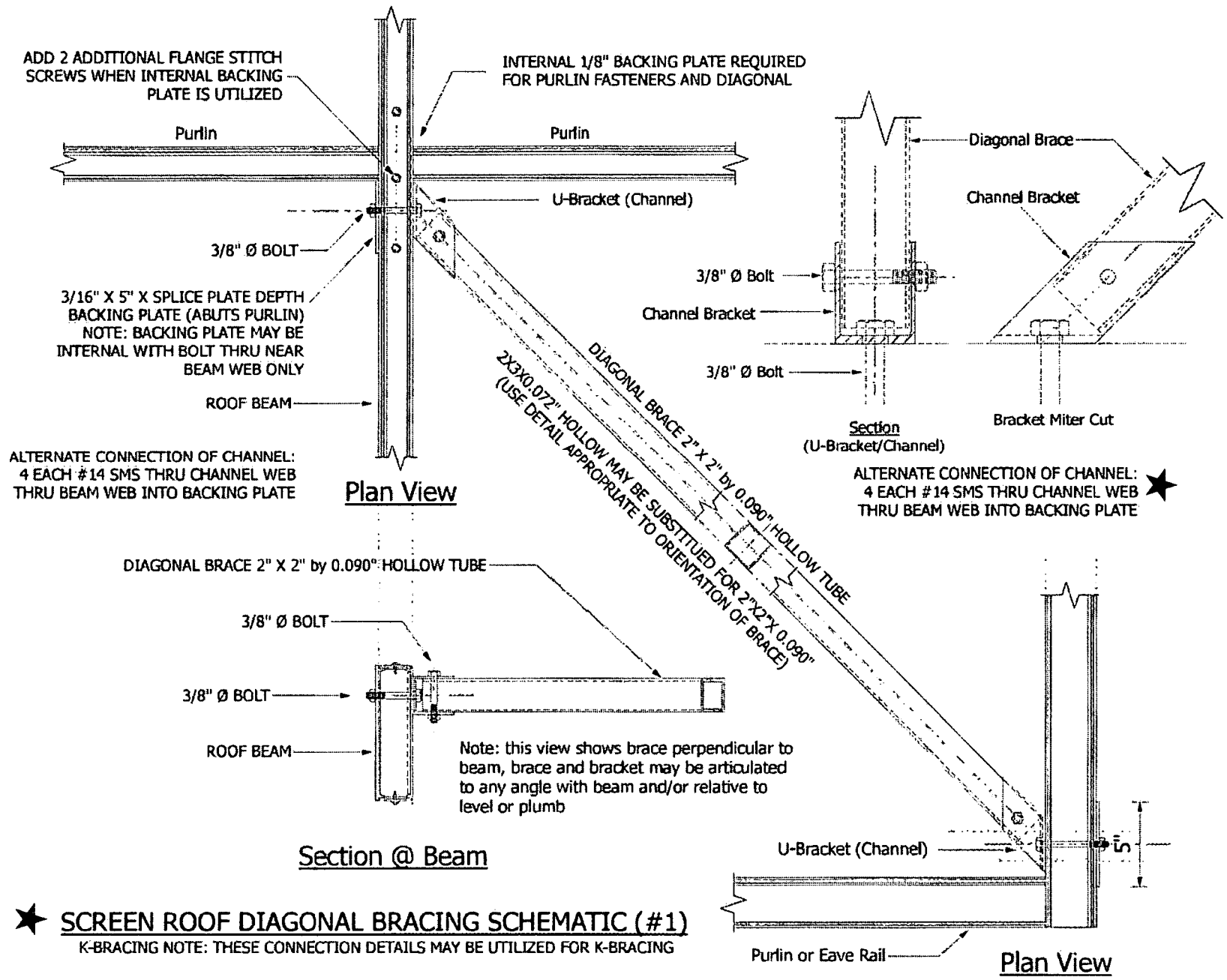


Screen Enclosure Roof Bracing Strategies - Schematic #3



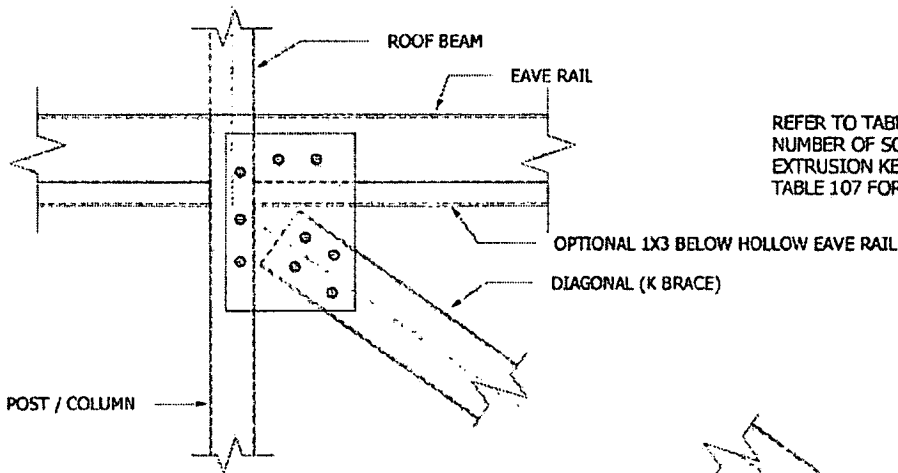
Screen Enclosure Roof Bracing Strategies - Schematic #4

△ 5/31/2012 Bracing not required when walls are laterally supported by host structure



★ **SCREEN ROOF DIAGONAL BRACING SCHEMATIC (#1)**  
K-BRACING NOTE: THESE CONNECTION DETAILS MAY BE UTILIZED FOR K-BRACING

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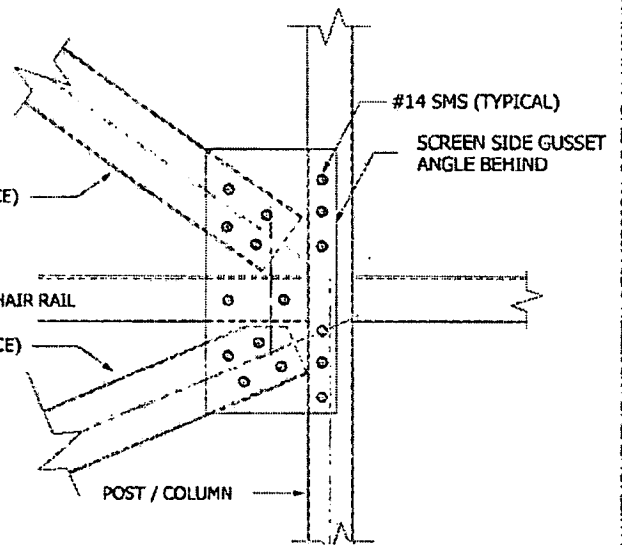
REFER TO TABLE 108 FOR EXTRUSION TYPE AND NUMBER OF SCREWS PER END (TABLE 106 HAS EXTRUSION KEY BY LETTER); AND REFER TO TABLE 107 FOR MINIMUM LENGTH OF BRACING

**Partial Elevation / Upper K-Brace at Eave Rail**

**K-BRACE SCREEN SIDE GUSSET PLATE SPECIFICATIONS:**

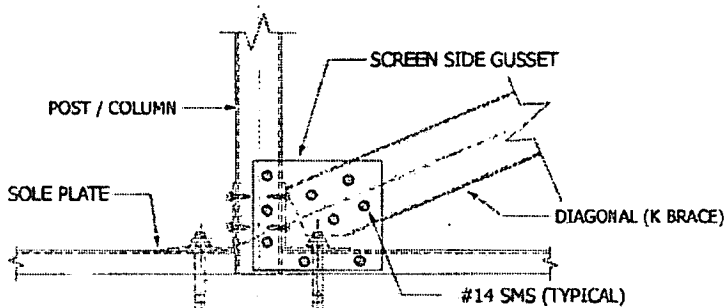
- 1) ALLOY 6063T6 OR 6061T6 OR 5052H32
- 2) MINIMUM THICKNESS .092"
- 3) SIZE SUFFICIENT TO ACCOMODATE #14 SMS AT A MINIMUM SPACING AND EDGE DISTANCE OF 3/4"
- 4) REFER TO TABLE 108 FOR NUMBER OF FASTENERS/END
- 5) EQUAL NUMBER OF SCREWS INTO VERTICAL AND HORIZONTAL MEMBERS INSIDE AND OUTSIDE

DIAGONAL (K BRACE)



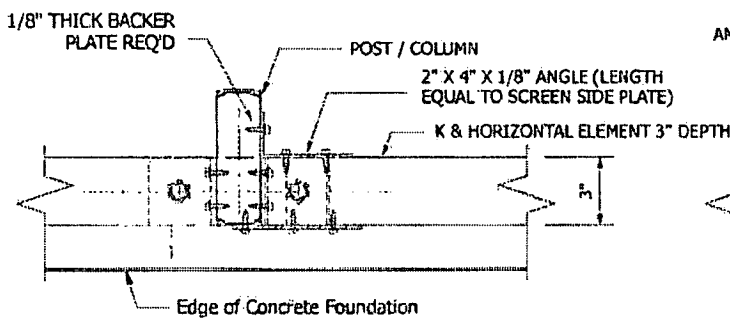
**Partial Elevation / K-Brace at Girt/Chair Rail**

REFER TO TABLE 108 FOR EXTRUSION TYPE AND NUMBER OF SCREWS PER END (TABLE 106 HAS EXTRUSION KEY BY LETTER); AND REFER TO TABLE 107 FOR MINIMUM LENGTH OF BRACING

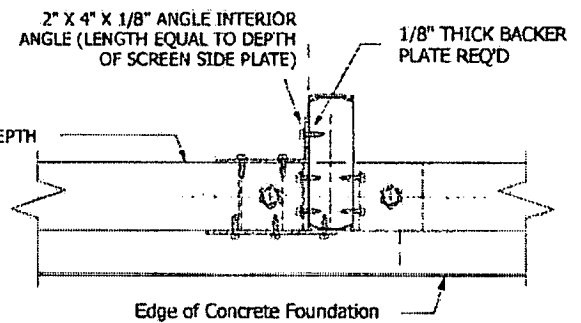


**Partial Elevation / Lower K-Brace at Sole Plate**

[CONNECTION DETAIL NOTE: K-BRACE CONNECTIONS MAY BE ALSO UTILIZED FOR ROOF DIAGONAL BRACING]



**SECTION / K-BRACE CONNECTION**



**SECTION / K-BRACE CONNECTION ★**

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**Allowable Spans for Mansard Beams with a Rise of 3 ft (Maximum) Table 101(f)8**

20/20 Screen Mesh Wall Height: 8 ft Roof Design Pressure: 7.0 psf  
 Wind Zone 160 mph Exposure C Wall Design Pressure: 25.4 psf

6005T5 Alloy	Beam Spacing in Feet						
Self-Mating (or Lap) Beams	5' 0"	5' 6"	6' 0"	6' 6"	7' 0"	7' 6"	8' 0"
2 X 6 X 0.050 X 0.120 SMB	NA	NA	NA	NA	NA	NA	NA
2 X 7 X 0.055 X 0.120 SMB	NA	NA	NA	NA	NA	NA	NA
2 X 8 X 0.072 X 0.224 SMB	24'-3"	21'-11"	19'-10"	17'-11"	16'-1"	14'-5"	12'-9"
2 X 9 X 0.082 X 0.306 SMB	35'-5"	33'-2"	31'-3"	29'-2"	27'-3"	25'-7"	23'-11"
2 X 10 X 0.092 X 0.374 SMB	40'-0"	40'-0"	39'-3"	37'-3"	35'-5"	33'-7"	31'-11"

**Allowable Spans for Mansard Beams with a Rise of 3 ft (Maximum) Table 101(f)11**

20/20 Screen Mesh Wall Height: 11 ft Roof Design Pressure: 7.0 psf  
 Wind Zone 160 mph Exposure C Wall Design Pressure: 25.4 psf

6005T5 Alloy	Beam Spacing in Feet						
Self-Mating (or Lap) Beams	5' 0"	5' 6"	6' 0"	6' 6"	7' 0"	7' 6"	8' 0"
2 X 7 X 0.055 X 0.120 SMB	NA	NA	NA	NA	NA	NA	NA
2 X 8 X 0.072 X 0.224 SMB	21'-6"	18'-11"	16'-6"	14'-4"	12'-2"	9'-11"	7'-8"
2 X 9 X 0.082 X 0.306 SMB	33'-6"	31'-3"	28'-11"	26'-8"	24'-8"	22'-10"	21'-1"
2 X 10 X 0.092 X 0.374 SMB	40'-0"	39'-8"	37'-5"	35'-5"	33'-4"	31'-4"	29'-7"

**Allowable Spans for Mansard Beams with a Rise of 3 ft (Maximum) Table 101(f)14**

20/20 Screen Mesh Wall Height: 14 ft Roof Design Pressure: 7.0 psf  
 Wind Zone 160 mph Exposure C Wall Design Pressure: 25.4 psf

6005T5 Alloy	Beam Spacing in Feet						
Self-Mating (or Lap) Beams	5' 0"	5' 6"	6' 0"	6' 6"	7' 0"	7' 6"	8' 0"
2 X 8 X 0.072 X 0.224 SMB	18'-5"	15'-6"	12'-9"	9'-11"	6'-9"	1'-6"	NA
2 X 9 X 0.082 X 0.306 SMB	31'-8"	29'-0"	26'-6"	24'-2"	21'-11"	19'-11"	18'-1"
2 X 10 X 0.092 X 0.374 SMB	40'-0"	37'-11"	35'-8"	33'-4"	31'-1"	29'-1"	27'-2"

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**ALLOWABLE SPANS for Purlins**

**Table 102**

**20/20 Screen** For Wind Zone 160 mph Exp C **Table 102f**  
 Maximum Spacing 8 ft **Sloping Purlins (Rise = 3 ft)** **Wall Height = 8 ft**

Self-Mating (or Lap) Beams	Purlin Spacing in Feet						
	5' 0"	5' 6"	6' 0"	6' 6"	7' 0"	7' 6"	8' 0"
2 X 3 X 0.050 X 0.050 Hollow	5'-5"	5'-0"	4'-7"	4'-2"	3'-9"	3'-4"	2'-11"
2 X 4 X 0.046 X 0.100 SMB	5'-2"	4'-10"	4'-6"	4'-2"	3'-10"	NA	NA
2 X 4 X 0.050 X 0.050 Hollow	6'-1"	5'-8"	5'-2"	4'-9"	4'-4"	3'-11"	3'-5"
2 X 3 X 0.072 X 0.072 Hollow	6'-11"	6'-6"	6'-1"	5'-7"	5'-2"	4'-9"	4'-4"
2 X 5 X 0.050 X 0.116 SMB	7'-2"	6'-10"	6'-5"	6'-1"	5'-9"	5'-5"	5'-1"
2 X 5 X 0.050 X 0.050 Hollow	7'-6"	7'-1"	6'-8"	6'-3"	5'-10"	5'-5"	5'-0"
2 X 6 X 0.050 X 0.120 SMB	8'-0"	8'-0"	7'-9"	7'-4"	6'-11"	6'-7"	6'-3"
2 X 7 X 0.055 X 0.120 SMB	8'-0"	8'-0"	8'-0"	8'-0"	7'-11"	7'-7"	7'-2"

**20/20 Screen** For Wind Zone 160 mph Exp C **Table 102f**  
 Maximum Spacing 8 ft **Sloping Purlins (Rise = 3 ft)** **Wall Height = 11 ft**

Self-Mating (or Lap) Beams	Purlin Spacing in Feet						
	5' 0"	5' 6"	6' 0"	6' 6"	7' 0"	7' 6"	8' 0"
2 X 3 X 0.050 X 0.050 Hollow	4'-10"	4'-4"	3'-9"	3'-3"	2'-7"	1'-11"	NA
2 X 4 X 0.046 X 0.100 SMB	4'-8"	4'-3"	NA	NA	NA	NA	NA
2 X 4 X 0.050 X 0.050 Hollow	5'-5"	4'-11"	4'-4"	3'-10"	3'-2"	2'-6"	1'-9"
2 X 3 X 0.072 X 0.072 Hollow	6'-4"	5'-9"	5'-3"	4'-9"	4'-2"	3'-7"	2'-11"
2 X 5 X 0.050 X 0.116 SMB	6'-9"	6'-4"	5'-11"	5'-6"	5'-2"	4'-9"	4'-4"
2 X 5 X 0.050 X 0.050 Hollow	6'-11"	6'-5"	5'-11"	5'-5"	NA	NA	NA
2 X 6 X 0.050 X 0.120 SMB	8'-0"	7'-8"	7'-2"	6'-9"	6'-4"	5'-11"	5'-6"
2 X 7 X 0.055 X 0.120 SMB	8'-0"	8'-0"	8'-0"	7'-10"	7'-4"	6'-10"	6'-5"

**20/20 Screen** For Wind Zone 160 mph Exp C **Table 102f**  
 Maximum Spacing 8 ft **Sloping Purlins (Rise = 3 ft)** **Wall Height = 14 ft**

Self-Mating (or Lap) Beams	Purlin Spacing in Feet						
	5' 0"	5' 6"	6' 0"	6' 6"	7' 0"	7' 6"	8' 0"
2 X 3 X 0.050 X 0.050 Hollow	4'-1"	3'-5"	2'-8"	NA	NA	NA	NA
2 X 4 X 0.046 X 0.100 SMB	4'-2"	NA	NA	NA	NA	NA	NA
2 X 4 X 0.050 X 0.050 Hollow	4'-8"	4'-0"	3'-4"	2'-5"	1'-3"	NA	NA
2 X 3 X 0.072 X 0.072 Hollow	5'-7"	4'-11"	4'-4"	3'-7"	2'-10"	1'-10"	NA
2 X 5 X 0.050 X 0.116 SMB	6'-3"	5'-10"	5'-4"	4'-11"	4'-5"	3'-11"	NA
2 X 5 X 0.050 X 0.050 Hollow	6'-4"	5'-9"	NA	NA	NA	NA	NA
2 X 6 X 0.050 X 0.120 SMB	7'-8"	7'-1"	6'-7"	6'-1"	5'-7"	5'-1"	4'-7"
2 X 7 X 0.055 X 0.120 SMB	8'-0"	8'-0"	7'-8"	7'-2"	6'-7"	6'-1"	5'-6"

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<b>ALLOWABLE SPANS for Primary Members In Screen Walls (Posts/Columns)</b>									
Wind Zone = 150 MPH					Design Pressure: 22.3 PSF				
FOR Screen Mesh: 20/20									
FOR 6061T6 or 6005T5 Alloys Only Post / Column	Load Widths or Spacing								
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2" X 2" X 0.046" X 0.046" Hollow	4'-11"	4'-8"	4'-5"	4'-3"	4'-1"	3'-11"	3'-9"	3'-8"	3'-6"
2" X 3" X 0.05" X 0.05" Hollow	6'-11"	6'-7"	6'-3"	5'-11"	5'-8"	5'-6"	5'-3"	5'-1"	4'-11"
2" X 3" X 0.05" X 0.05" Snap	7'-7"	7'-1"	6'-9"	6'-5"	6'-2"	5'-11"	5'-9"	5'-6"	5'-4"
2" X 4" X 0.050" X 0.050" Hollow	8'-1"	7'-7"	7'-3"	6'-11"	6'-7"	6'-4"	6'-1"	5'-11"	5'-9"
2" X 4" X 0.05" X 0.05" Snap	8'-11"	8'-5"	8'-0"	7'-8"	7'-4"	7'-0"	6'-9"	6'-6"	6'-4"
2" X 5" X 0.050" X 0.050" Hollow	8'-4"	7'-11"	7'-6"	7'-2"	6'-10"	6'-7"	6'-4"	6'-1"	5'-11"
2"X4"X0.046"X0.10" SMB	7'-7"	7'-2"	6'-10"	6'-6"	6'-2"	5'-11"	5'-9"	5'-7"	5'-4"
2"X5"X0.05"X0.116" SMB	9'-5"	8'-11"	8'-5"	8'-0"	7'-8"	7'-5"	7'-1"	6'-11"	6'-8"
2"X6"X0.05"X0.12" SMB	10'-1"	9'-7"	9'-1"	8'-8"	8'-3"	7'-11"	7'-8"	7'-5"	7'-2"
2"X7"X0.055"X0.12" SMB	11'-3"	10'-8"	10'-1"	9'-7"	9'-2"	8'-10"	8'-6"	8'-3"	7'-11"
2"X8"X.072"X0.224" SMB	20'-11"	19'-9"	18'-9"	17'-10"	17'-1"	16'-5"	15'-10"	15'-4"	14'-10"
2"X9"X.082"X.306" SMB	27'-0"	25'-5"	24'-2"	23'-0"	22'-1"	21'-2"	20'-5"	19'-9"	19'-1"
2"X10"X.092"X.389" SMB	31'-7"	30'-2"	28'-8"	27'-4"	26'-2"	25'-1"	24'-2"	23'-5"	22'-8"

<b>ALLOWABLE SPANS for Primary Members In Screen Walls (Posts/Columns)</b>									
Wind Zone = 160 MPH					Design Pressure: 25.4 PSF				
FOR Screen Mesh: 20/20									
FOR 6061T6 or 6005T5 Alloys Only Post / Column	Load Widths or Spacing								
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2" X 2" X 0.046" X 0.046" Hollow	4'-8"	4'-5"	4'-2"	3'-11"	3'-10"	3'-8"	3'-6"	3'-5"	3'-4"
2" X 3" X 0.05" X 0.05" Hollow	6'-6"	6'-2"	5'-10"	5'-7"	5'-4"	5'-2"	4'-11"	4'-9"	4'-7"
2" X 3" X 0.05" X 0.05" Snap	7'-1"	6'-8"	6'-4"	6'-0"	5'-9"	5'-7"	5'-4"	5'-2"	5'-0"
2" X 4" X 0.050" X 0.050" Hollow	7'-7"	7'-2"	6'-9"	6'-6"	6'-2"	5'-11"	5'-9"	5'-6"	5'-4"
2" X 4" X 0.05" X 0.05" Snap	8'-5"	7'-11"	7'-6"	7'-2"	6'-10"	6'-7"	6'-4"	6'-2"	5'-11"
2" X 5" X 0.050" X 0.050" Hollow	7'-10"	7'-5"	7'-0"	6'-8"	6'-5"	6'-2"	5'-11"	5'-9"	5'-6"
2"X4"X0.046"X0.10" SMB	7'-1"	6'-9"	6'-4"	6'-1"	5'-10"	5'-7"	5'-5"	5'-2"	5'-0"
2"X5"X0.05"X0.116" SMB	8'-10"	8'-4"	7'-11"	7'-6"	7'-3"	6'-11"	6'-8"	6'-5"	6'-3"
2"X6"X0.05"X0.12" SMB	9'-6"	8'-11"	8'-6"	8'-1"	7'-9"	7'-5"	7'-2"	6'-11"	6'-9"
2"X7"X0.055"X0.12" SMB	10'-7"	9'-11"	9'-5"	9'-0"	8'-8"	8'-3"	7'-11"	7'-9"	7'-6"
2"X8"X.072"X0.224" SMB	19'-8"	18'-6"	17'-7"	16'-9"	16'-0"	15'-5"	14'-10"	14'-4"	13'-11"
2"X9"X.082"X.306" SMB	25'-4"	23'-10"	22'-8"	21'-7"	20'-8"	19'-10"	19'-2"	18'-6"	17'-11"
2"X10"X.092"X.389" SMB	30'-0"	28'-4"	26'-10"	25'-7"	24'-6"	23'-7"	22'-8"	21'-11"	21'-3"

## Chapter 2 - Screen Rooms - Exposure C

**ALLOWABLE SPANS for SECONDARY SCREEN WALL MEMBERS  
(GIRTS OR CHAIR RAILS)**

**Table 204**

**FOR 110 mph Wind Zones Exp C**

**Table 204a**

**20/20 Screen**

Unit Load = 12.2 psf

Load Width / Spacing

Extrusion	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	6'-8"	6'-3"	5'-11"	5'-8"	5'-5"	5'-3"	5'-0"
2X3X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-9"	7'-6"	7'-2"
2X4X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"
2X3X.072 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"

Maximum Spacing (Vertical) 7 ft o.c.; maximum allowable span 7' 10"

**FOR 120 mph Wind Zones Exp C**

**Table 204b**

**20/20 Screen**

Unit Load = 14.4 psf

Load Width / Spacing

Extrusion	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	6'-0"	5'-8"	5'-5"	5'-2"	4'-11"	4'-9"	4'-7"
2X3X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-5"	7'-1"	6'-10"	6'-7"
2X4X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"
2X3X.072 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"

Maximum Spacing (Vertical) 7 ft o.c.; maximum allowable span 7' 10"

**FOR 130 mph Wind Zones Exp C**

**Table 204c**

**20/20 Screen**

Unit Load = 16.5 psf

Load Width / Spacing

Extrusion	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	5'-6"	5'-2"	4'-11"	4'-8"	4'-6"	4'-4"	4'-2"
2X3X.050 Hollow	7'-10"	7'-7"	7'-3"	6'-11"	6'-7"	6'-4"	6'-1"
2X4X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-7"
2X3X.072 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-10"	7'-9"	7'-5"

Maximum Spacing (Vertical) 7 ft o.c.; maximum allowable span 7' 10"

**FOR 140 mph Wind Zones Exp C**

**Table 204d**

**20/20 Screen**

Unit Load = 19.4 psf

Load Width / Spacing

Extrusion	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	4'-11"	4'-8"	4'-5"	4'-3"	4'-0"	3'-11"	3'-9"
2X3X.050 Hollow	7'-4"	6'-11"	6'-7"	6'-3"	6'-0"	5'-9"	5'-7"
2X4X.050 Hollow	7'-10"	7'-10"	7'-10"	7'-10"	7'-6"	7'-3"	6'-11"
2X3X.072 Hollow	7'-10"	7'-10"	7'-10"	7'-9"	7'-5"	7'-1"	6'-10"

Maximum Spacing (Vertical) 7 ft o.c.; maximum allowable span 7' 10"

**FOR 150 mph Wind Zones Exp C**

**Table 204e**

**20/20 Screen**

Unit Load = 22.3 psf

Load Width / Spacing

Extrusion	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	4'-7"	4'-4"	4'-2"	3'-11"	3'-9"	3'-7"	3'-6"
2X3X.050 Hollow	6'-11"	6'-6"	6'-2"	5'-10"	5'-7"	5'-5"	5'-2"
2X4X.050 Hollow	7'-10"	7'-10"	7'-8"	7'-4"	7'-0"	6'-9"	6'-6"
2X3X.072 Hollow	7'-10"	7'-10"	7'-7"	7'-2"	6'-11"	6'-7"	6'-5"

Maximum Spacing (Vertical) 7 ft o.c.; maximum allowable span 7' 10"

**FOR 160 mph Wind Zones Exp C**

**Table 204f**

**20/20 Screen**

Unit Load = 25.4 psf

Load Width / Spacing

Extrusion	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	4'-0"	4'-1"	3'-10"	3'-8"	3'-6"	3'-5"	3'-3"
2X3X.050 Hollow	6'-5"	6'-1"	5'-9"	5'-6"	5'-3"	5'-1"	4'-11"
2X4X.050 Hollow	7'-10"	7'-7"	7'-3"	6'-11"	6'-7"	6'-4"	6'-1"
2X3X.072 Hollow	7'-10"	7'-6"	7'-1"	6'-9"	6'-6"	6'-2"	5'-11"

Maximum Spacing (Vertical) 7 ft o.c.; maximum allowable span 7' 10"

NOTE (Table 104): maximum span of 7' 10" governed by maximum post spacing of 8' 0"

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Chapter 1 - Screen Enclosures - Exposure C

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<b>DESIGN LOADS on K-Brace Diagonals by Wind Zone and Enclosure Dimensions</b>										
Wind Zone	Panel Widths	Diagonal Length (ft)	<b>EXPOSURE C</b> Wall Height: 14 ft <b>TABLE 106</b>							
			18/14 Screen Mesh (Panel Widths in feet) (table values in kips)							
			PROJECTION OF FLOW THRU SCREEN WALLS (ft)							
			5	10	15	20	25	30	35	40
110 mph	5	9.43	0.60	1.67	2.73	3.79	4.86	5.92	6.98	8.05
	6	10.00	0.53	1.47	2.41	3.35	4.29	5.23	6.17	7.11
	7	10.63	0.49	1.34	2.20	3.05	3.91	4.76	5.62	6.48
	8	11.31	0.45	1.25	2.05	2.84	3.64	4.44	5.23	6.03
120 mph	5	9.43	0.73	2.03	3.32	4.62	5.91	7.21	8.50	9.79
	6	10.00	0.65	1.79	2.93	4.08	5.22	6.36	7.51	8.65
	7	10.63	0.59	1.63	2.67	3.72	4.76	5.80	6.84	7.88
	8	11.31	0.55	1.52	2.49	3.46	4.43	5.40	6.37	7.34
130 mph	5	9.43	0.88	2.43	3.99	5.54	7.10	8.65	10.20	11.76
	6	10.00	0.78	2.15	3.52	4.90	6.27	7.64	9.01	10.39
	7	10.63	0.71	1.96	3.21	4.46	5.71	6.96	8.21	9.46
	8	11.31	0.66	1.82	2.99	4.15	5.32	6.48	7.65	8.81
140 mph	5	9.43	0.99	2.75	4.50	6.26	8.01	9.77	11.52	13.28
	6	10.00	0.88	2.43	3.98	5.53	7.08	8.63	10.18	11.73
	7	10.63	0.80	2.21	3.63	5.04	6.45	7.86	9.28	10.69
	8	11.31	0.75	2.06	3.38	4.69	6.01	7.32	8.64	9.95
150 mph	5	9.43	1.11	3.06	5.02	6.97	8.92	10.88	12.83	14.79
	6	10.00	0.98	2.70	4.43	6.16	7.88	9.61	11.34	13.06
	7	10.63	0.89	2.46	4.04	5.61	7.18	8.76	10.33	11.90
	8	11.31	0.83	2.29	3.76	5.22	6.69	8.15	9.62	11.08
160 mph	5	9.43	1.26	3.48	5.71	7.93	10.15	12.38	14.60	16.82
	6	10.00	1.11	3.08	5.04	7.01	8.97	10.93	12.90	14.86
	7	10.63	1.01	2.80	4.59	6.38	8.17	9.96	11.75	13.54
	8	11.31	0.94	2.61	4.28	5.94	7.61	9.28	10.94	12.61

For 20/20 Screen Mesh, the tabular values shall be multiplied by 1.136

For K-braces 2 panels (side by side on each end), multiply tabular values by 0.6

For K-braces 3 panels (side by side on each end), multiply tabular values by 0.48

Linear interpolation between tabular values is permitted. (kip = 1,000 lbs)

**Lengths of K-Brace Diagonals by Screen Panel Height & Width (all dimensions in feet) TABLE 107**

Panel Height	Panel Widths												
	5.00	5.25	5.50	5.75	6.00	6.25	6.50	6.75	7.00	7.25	7.50	7.75	8.00
5.00	7.07	7.25	7.43	7.62	7.81	8.00	8.20	8.40	8.60	8.81	9.01	9.22	9.43
5.25	7.25	7.42	7.60	7.79	7.97	8.16	8.36	8.55	8.75	8.95	9.15	9.36	9.57
5.50	7.43	7.60	7.78	7.96	8.14	8.33	8.51	8.71	8.90	9.10	9.30	9.50	9.71
5.75	7.62	7.79	7.96	8.13	8.31	8.49	8.68	8.87	9.06	9.25	9.45	9.65	9.85
6.00	7.81	7.97	8.14	8.31	8.49	8.66	8.85	9.03	9.22	9.41	9.60	9.80	10.00
6.25	8.00	8.16	8.33	8.49	8.66	8.84	9.02	9.20	9.38	9.57	9.76	9.96	10.15
6.50	8.20	8.36	8.51	8.68	8.85	9.02	9.19	9.37	9.55	9.74	9.92	10.11	10.31
6.75	8.40	8.55	8.71	8.87	9.03	9.20	9.37	9.55	9.72	9.91	10.09	10.28	10.47
7.00	8.60	8.75	8.90	9.06	9.22	9.38	9.55	9.72	9.90	10.08	10.26	10.44	10.63
7.25	8.81	8.95	9.10	9.25	9.41	9.57	9.74	9.91	10.08	10.25	10.43	10.61	10.80
7.50	9.01	9.15	9.30	9.45	9.60	9.76	9.92	10.09	10.26	10.43	10.61	10.78	10.97
7.75	9.22	9.36	9.50	9.65	9.80	9.96	10.11	10.28	10.44	10.61	10.78	10.96	11.14
8.00	9.43	9.57	9.71	9.85	10.00	10.15	10.31	10.47	10.63	10.80	10.97	11.14	11.31

**K-Brace Diagonal SELECTION TABLE**

**TABLE 108**

(diagonal bracing extrusion is selected by its length as determined from Table 107, and have an allowable compression value equal to or greater than the value determined using the selection from Table 106)

KEY	EXTRUSION DESCRIPTION	LENGTH OF K-BRACE DIAGONAL (feet)									
		7.0	7.5	8.0	8.5	9.0	9.5	10.0	10.5	11.0	11.5
A	2X2 X0.046 Hollow	1.658/6	1.444/5	1.269/4	1.124/4	1.003/4	0.900/3	0.812/3	0.737/3	0.671/3	0.624/2
B	2X3 X 0.05" Hollow	2.480/8	2.160/7	1.899/6	1.682/5	1.500/5	1.346/4	1.215/4	1.102/4	1.004/3	0.919/3
C	2X2 X0.09" Hollow	3.034/5	2.643/5	2.323/4	2.058/4	1.836/3	1.648/3	1.487/3	1.349/3	1.229/2	1.124/2
D	2X3 X 0.07" Hollow	3.377/7	2.942/7	2.586/6	2.291/5	2.043/5	1.834/4	1.655/4	1.501/4	1.368/3	1.251/3
E	3X3 X 0.06" Hollow	6.280/16	6.280/16	5.638/14	4.995/12	4.455/11	3.998/10	3.609/9	3.273/8	2.982/8	2.729/7
F	3X3 X 0.09" Hollow	10.718/18	9.336/15	8.206/14	7.269/12	6.484/11	5.819/10	5.252/9	4.763/8	4.340/7	3.971/7

Tabular Values: numeric value preceding the "/" is the allowable brace compression in kips (1,000 lbs), number following the "/" is the number of #14 Sheet Metal Screws which must be used to fasten the diagonal selected at each end.

Chapter 1 - Screen Enclosures- Exposure C

<b>Allowable Post Heights (Spans [ft]) for 2 Each 3/8" Ø Concrete Fasteners</b>									
<b>Exposure C</b>		<b>18/14 Screen Mesh ONLY</b>							<b>Table 105</b>
Wind Zone	(psf)	Post Spacing in feet (Load Width)							
		5.0	5.5	6.0	6.5	7.0	7.5	8.0	
110	10.7	22.4	20.3	18.6	17.2	16.0	14.9	14.0	
120	12.6	19.0	17.3	15.8	14.6	13.6	12.7	11.9	
130	14.5	16.5	15.0	13.8	12.7	11.8	11.0	10.3	
140	17.1	14.0	12.8	11.7	10.8	10.0	9.4	8.8	
150	19.6	12.2	11.1	10.2	9.4	8.7	8.1	7.6	
160	22.3	10.7	9.8	9.0	8.3	7.7	7.2	6.7	

<b>Allowable Post Heights (Spans [ft]) for 2 Each 3/8" Ø Concrete Fasteners</b>									
<b>Exposure C</b>		<b>20/20 Screen Mesh</b>							<b>Table 105</b>
Wind Zone	(psf)	Post Spacing in feet (Load Width)							
		5.0	5.5	6.0	6.5	7.0	7.5	8.0	
110	12.2	19.7	17.9	16.4	15.1	14.1	13.1	12.3	
120	14.4	16.7	15.2	13.9	12.9	11.9	11.1	10.4	
130	16.5	14.5	13.2	12.1	11.2	10.4	9.7	9.1	
140	19.4	12.4	11.2	10.3	9.5	8.8	8.2	7.7	
150	22.3	10.8	9.8	9.0	8.3	7.7	7.2	6.7	
160	25.4	9.5	8.6	7.9	7.3	6.8	6.3	5.9	

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Chapter 1 - Screen Enclosures - Exposure C

Allowable Wall Heights (feet)  
8" CMU Knee-Walls in Screen Enclosures  
by Exposure C Wind Zone

Wall Heights:	110	120	130	140	150	160
8" CMU:	6	5	4	3.5	3.5	3
Aluminum:	10	9	9	9.5	9	9.5
Height Overall:	16	14	13	13	12.5	12.5

**ALLOWABLE BEAM SPANS (FT) FOR RIBBON FOOTINGS TABLE 111**

**EXPOSURE C FOOTING SIZES AND CROSS-SECTIONAL AREAS (in<sup>2</sup>)**

WIND ZONES	81 9"X9"	108 9" X 12"	144 12" X 12"	192 16" X 12"	256 16" X 16"
up to 120	21.5	28.7	38.3	40.0	40.0
130	19.4	25.9	34.5	40.0	40.0
140	17.7	23.6	31.4	40.0	40.0
150	14.9	19.8	26.5	35.3	40.0
160	13.1	17.4	23.3	31.0	40.0

TABLE NOTES:

- 1) HEIGHT AND WIDTH DIMENSIONS MAY BE REVERSED
- 2) TABLE MAY BE INTERPOLATED BY CROSS-SECTIONAL AREA

**Allowable Beam Spans for Monolithic Footings (Details F1/F2)**

**Table 112**

**Exposure C (Beam Spans in Decimal Feet)**

Wind Zone (MPH)	4" Nominal Slab ONLY	Edge Footings - Depth by Width (Detail F2)				
		8"X8" (81 in <sup>2</sup> )	8"X12" (108 in <sup>2</sup> )	12"X12" (144 in <sup>2</sup> )	12"X16" (192 in <sup>2</sup> )	16"X16" (256 in <sup>2</sup> )
110	26.5	40.0	40.0	40.0	40.0	40.0
120	17.9	29.9	37.0	38.1	40.0	40.0
130	16.1	26.9	33.4	34.4	40.0	40.0
140	14.7	24.5	30.4	31.3	40.0	40.0
150	12.4	20.6	25.6	26.3	35.2	40.0
160	10.9	18.1	22.5	23.1	30.9	36.1

Table Notes:

- 1) Reinforcing: 1 Each #5 Bar continuous for 8"X8", 2 Each #5 Bars continuous for larger footing sizes listed.
- 2) Width and Depth dimensions shown on table may be interchanged.

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# TOWN OF SEWALL'S POINT

## Building Department – Inspection Log



Date of Inspection  Mon  Tue  Wed  Thur  Fri 2/17/15 Page 2 of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
<del>11131</del>	Krett	Final		BOND SCREEN
	3 Miramar Rd	Screen	Fail	Room to poor equip
	Florida Screen Builders	Enclosure		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11172	Pauluc	Final Slab		
	102 Hillcrest Dr	+ Sidewalk	PASS	CLOSE
	O/B			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11143	Moscattello	Final		
	1 Worth Ct	Re-roof	FAIL	CLOSE
	Elite Roofing			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11121	Rohloff	A/c		
	20 Riverview Dr	Final	reschedule	
	Seacoast			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11171	Demorest	Window		
	92 S River Rd	Buck	PASS	
	Kamrell windows + Drs			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11101	Barnes	Pre Pour		
	7 Marguerita Rd	Slab	PASS	
	Dw Rich			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10982	Thompson	A/c		
	179 S River Rd	Final	reschedule	
	Elite			INSPECTOR

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection  Mon  Tue  Wed  Thur  Fri 3/9/15 Page 1 of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11196	Viola			
Am Request	105N Sewall Pt Rd	A/C Final	PASS	CLOSE
	Aircon			INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
<del>1131</del>	Krett	Screen		
	3 Miramar Rd	Enclosure		
	Florida Screen Bldrs	Final		INSPECTOR <i>J</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11072	Horkins	Gas Tank +		
	10 Cranes Nest	Line Final	PASS	CLOSE
	Martin County Propane			INSPECTOR <i>J</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
	31 - N. River Rd	INDIALUCIE	NO PERMIT	INSPECTOR

**11144**

**REROOF**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	11144	DATE ISSUED:	January 19, 2015
SCOPE OF WORK:	Re-Roof		
CONTRACTOR:	Campany Roof Maintenance. LLC		
PARCEL CONTROL NUMBER:	01-38-41-009-000-00120-8	SUBDIVISION:	Miramar Lot 12
CONSTRUCTION ADDRESS:	3 Miramar Road		
OWNER NAME:	Krett		
QUALIFIER:	Edward Campany	CONTACT PHONE NUMBER:	561-358-7230

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

<b>PERMIT NUMBER:</b>	11144		
<b>ADDRESS:</b>	3 Miramar Road		
<b>DATE ISSUED:</b>	1/19/2015	<b>SCOPE OF WORK:</b>	Re-Roof

<b>SINGLE FAMILY OR ADDITION /REMODEL</b>		Declared Value	\$	
---	--	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	\$ -

<b>ACCESSORY PERMIT</b>	Declared Value:	\$	\$ 10,700.00
Total number of inspections: @ \$ 100.00 per insp. # insp	4	\$	400.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 6.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 6.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	5.00
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	<b>417.00</b>

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 11144

Date: 1/14/15

OWNER/LESSEE NAME: Richard Krett Phone (Day) 302-437-6524 (Fax) /

Job Site Address: 3 Miramar Rd City: Sewalls Point State: FL Zip: 34996

Legal Description: Miramar lot 12 Parcel Control Number: 013841009 00000 120 8

Fee Simple Holder Name: / Address: 3 Miramar Rd

City: / State: / Zip: / Telephone: /

\*SCOPE OF WORK (PLEASE BE SPECIFIC): ReRoof - Single 30# ASTM

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES [ ] NO [X] Has a Zoning Variance ever been granted on this property? YES [ ] (YEAR) / NO [X] (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 10,700.00 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ 78,610.00 (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Company Roof Maintenance Phone: 561-863-6500 Fax: 561-863-1722

Qualifiers name: EDWARD COMPANY Street: 917-28th St City: W.P.B State: FL Zip: 33407

State License Number: CCC 057621 OR: Municipality: / License Number: /

LOCAL CONTACT: Harry / JOANNE Phone Number: 561-758-7230 / 954-740-0709

DESIGN PROFESSIONAL: / NA Fla. License# NA

Street: NA City: / State: / Zip: / Phone Number: /

AREAS SQUARE FOOTAGE: Living: / Garage: / Covered Patios/ Porches: / Enclosed Storage: /

Carport: / Total under Roof 3500 Elevated Deck: / Enclosed area below BFE\*: / \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS: 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. 2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE: [Signature]

State of Florida, County of: Manatee

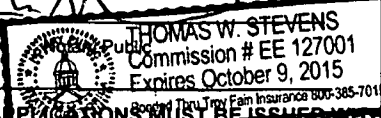
On This the 12 day of Jan, 2015

by Richard Krett who is personally

known to me or produced

As identification: [Signature]

My Commission Expires: /



CONTRACTOR/LICENSEE NOTARIZED SIGNATURE: x Edward Company

State of Florida, County of: Palm Beach

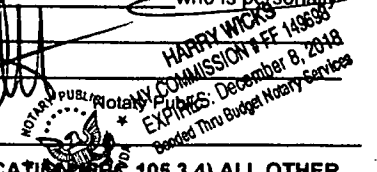
On This the 14 day of JAN, 2015

by Edward Company who is personally

known to me or produced

As identification: [Signature]

My Commission Expires: /



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

RE-ROOF CERTIFICATION

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

PERMIT # \_\_\_\_\_  
 CONTRACTOR'S NAME: Edward R F Martin PHONE #: 561-863-6550 FAX: 561-863-1722

OWNER'S NAME: Keelt

CONSTRUCTION ADDRESS: 3-Miramar Rd CITY Sewall's Point STATE FL

RE-ROOF:  RESIDENTIAL(SINGLE FAMILY)  
 COMMERCIAL \*\*--REMOVE/REINSTALL ROOF TOP HVAC EQUIP  YES  NO

\*\*...DISCONNECT/RECONNECT HVAC ELECTRIC  YES  NO

\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S.  YES  NO - INSURED VALUE OF RESIDENCE: \$ \_\_\_\_\_

ROOF TYPE:  HIP  BOSTON-HIP  GABLE  FLAT \_\_\_\_\_ OTHER \_\_\_\_\_

ROOF PITCH: \_\_\_\_\_/12 SLOPE

ROOF DECK: \*  SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED  
 RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".  
 SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".  
 EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: Shingles EXISTING COVERING TO BE REMOVED? YES  NO

PROPOSED NEW ROOF COVERING: Shingles

MANUFACTURER IICO PRODUCT NAME Cambridge AR PRODUCT APPR # 11-0517-09

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)  
 MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING:  GALV./STEEL  ALUMINUM  COPPER  OTHER \_\_\_\_\_

RIDGEVENT TO BE INSTALLED:  YES  NO

DESCRIPTION OF WORK: ReRoof - 30# ASTM - Dim. Shingles  
6/12 / 35 - SQ

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR: Edward Company DATE: 1/14/15



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

**RESIDENTIAL REROOF WINDSTORM LOSS  
MITIGATION CERTIFICATION (FLORIDA STATUTE 553.844)**

**ALL RE-ROOFS REGARDLESS OF VALUE SHALL COMPLY WITH THE FOLLOWING:**

**Re-nailing:** All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

Outside of the HVHZ, an underlayment complying with section 1507.2.3 of the Florida Building Code, Building fastened as described below or a layer of asphalt impregnated approved #30 felt shall be installed. The felt is to be fastened with 1" round plastic cap or metal cap nails, attached to a nailable deck in a grid pattern of 12 inches (305 mm) staggered between the overlaps, with 6-inch (152 mm) spacing at the overlaps. For slopes of 2:12 to 4:12 an additional layer of felt shall be installed in a single-fashion and lapped 19" and fastened as described above. (No additional underlayment shall be required over the top of this sheet.)

Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-moped shall be deemed to meet the requirements for secondary water barrier.

**Residential Structures valued at \$300,000 or more shall comply with the following:**

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.





**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**LICENSED GENERAL, BUILDING OR RESIDENTIAL CONTRACTORS'  
 REROOF WINDSTORM LOSS MITIGATION COMPLIANCE AFFIDAVIT**

**A RESIDENTIAL STRUCTURE VALUED AT \$300,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:**

- Roof to wall connections must be enhanced up to 15% additional cost of the reroofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

**A RESIDENTIAL STRUCTURE VALUED AT \$750,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:**

When any activity requiring a building permit that is applied for on or after July 1, 2008, and for which the estimated cost is \$50,000 or more for a building that is located in the wind borne debris region as defined in s. 1609.2 of the Florida Building Code, Building:  
 Opening protections as required within the Florida Building Code, Building or Florida Building Code, Residential for new construction shall be provided.

TO BE COMPLETED IF INSURED VALUE OF SINGLE FAMILY IS OVER \$300,000.00 AND WAS PERMITTED PRIOR TO MARCH 1, 2002.

YEAR PERMITTED \_\_\_\_\_ INSURED OR P.A. IMPROVED VALUE \$ \_\_\_\_\_  
 DETAILS OF MITIGATION WORK TO BE PERFORMED (Add additional sheets if necessary):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

JOB SITE ADDRESS: \_\_\_\_\_

QUALIFIER NAME: \_\_\_\_\_ LICENSE NO.: \_\_\_\_\_

COMPANY NAME: \_\_\_\_\_ PHONE NO.: \_\_\_\_\_

X \_\_\_\_\_

X \_\_\_\_\_

Qualifier's Signature \_\_\_\_\_

Owner's Signature \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Sworn to and subscribed before me  
 this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_

Sworn to and subscribed before me  
 this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_

By \_\_\_\_\_

By \_\_\_\_\_

Notary Public, State of Florida  
 Personally known to me \_\_\_\_\_  
 Produced ID \_\_\_\_\_  
 Type: \_\_\_\_\_

Notary Public, State of Florida  
 Personally known to me \_\_\_\_\_  
 Produced ID \_\_\_\_\_  
 Type: \_\_\_\_\_

*Handwritten initials*



BUILDING AND NEIGHBORHOOD COMPLIANCE DEPARTMENT (BNC)  
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY  
PRODUCT CONTROL SECTION  
11805 SW 26 Street, Room 208  
Miami, Florida 33175-2474  
T (786) 315-2590 F (786) 315-2599  
[www.miamidade.gov/building/](http://www.miamidade.gov/building/)

**NOTICE OF ACCEPTANCE (NOA)**

Iko Industries Ltd.  
40 Hansen Rd. S.  
Brampton, Ontario CANADA  
L6W3H4

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County BNC - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BNC reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Cambridge AR**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This revises NOA# 10-0913.02 and consists of pages 1 through 4.  
The submitted documentation was reviewed by Alex Tigera.



NOA No.: 11-0517.09  
Expiration Date: 05/05/16  
Approval Date: 07/07/11  
Page 1 of 4

## ROOFING ASSEMBLY APPROVAL

**Category:** Roofing  
**Sub-Category:** Asphalt Shingles  
**Materials:** Laminate  
**Deck Type:** Wood

### SCOPE

This approves a roofing system using **Cambridge AR** asphalt shingles manufactured by IKO Industries Ltd. as described in Section 2 of his Notice of Acceptance.

### PRODUCT DESCRIPTION

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Cambridge AR	13 3/4" x 40 7/8"	TAS 110	A heavy weight, fiberglass reinforced laminate asphalt shingle.

### MANUFACTURING LOCATION

1. Kankakee, IL

### EVIDENCE SUBMITTED

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
PRI Construction Materials Inc.	IKO-050-02-01	TAS 100	12/21/09
FM Approvals	3041689	ASTM D 3462	02/23/11
FM Approvals	3036971	ASTM D 3161 (TAS-107)	01/04/09
FM Approvals	3042673	ASTM E 108	04/12/11

### LIMITATIONS

1. Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Shall not be installed on roof mean heights in excess of 33 ft.
3. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.

### INSTALLATION

1. Shingles shall be installed in compliance with Roofing Application Standard RAS 115.
2. Flashing shall be in accordance with Roofing Application Standard RAS 115
3. The manufacturer shall provide clearly written application instructions.
4. Exposure and course layout shall be in compliance with Detail 'A', attached.
5. Nailing shall be in compliance with Detail 'B', attached.



NOA No.: 11-0517.09  
Expiration Date: 05/05/16  
Approval Date: 07/07/11  
Page 2 of 4



## **LABELING**

1. Shingles shall be labeled with the Miami-Dade Seal as seen below, or the wording "Miami-Dade County Product Control Approved".

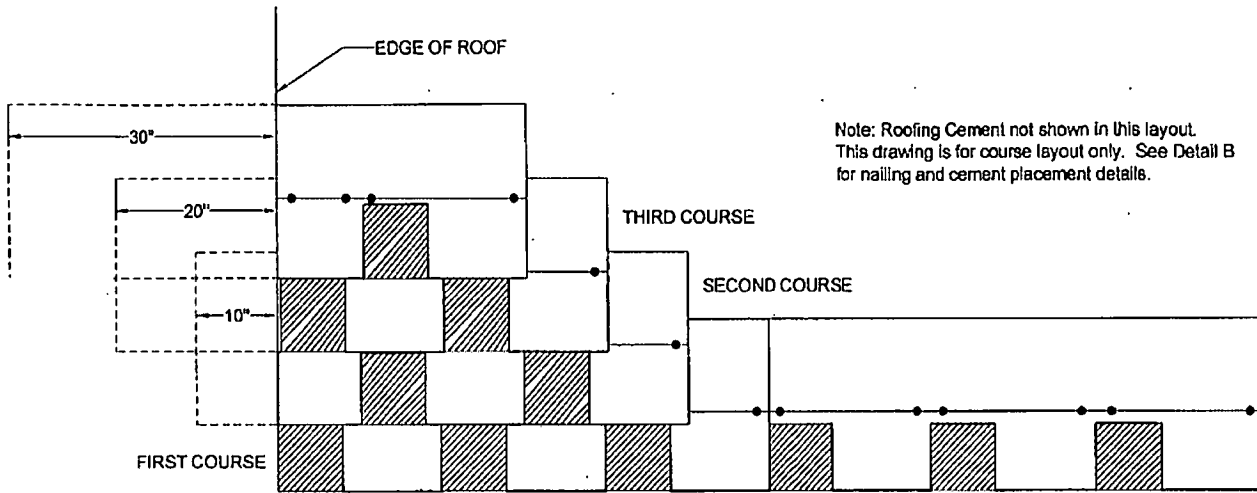


## **BUILDING PERMIT REQUIREMENTS**

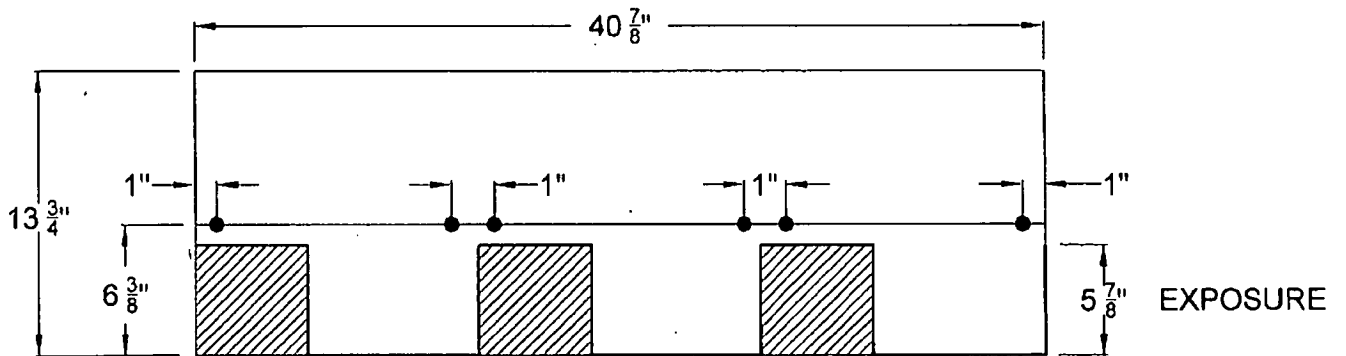
1. Application for building permit shall be accompanied by copies of the following:
  - 1.1 This Notice of Acceptance.
  - 1.2 Any other documents required by the Building Official or the applicable code in order to properly evaluate the installation of this system.



**DETAIL A**  
**CAMBRIDGE AR COURSE LAYOUT**



**DETAIL B**  
**CAMBRIDGE AR**



**END OF THIS ACCEPTANCE**



NOA No.: 11-0517.09  
 Expiration Date: 05/05/16  
 Approval Date: 07/07/11  
 Page 4 of 4



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

### RE-ROOF CHECKLIST 2010 FBC

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included.

**THIS REVIEW SHEET MUST ACCOMPANY THE APPLICATION SUBMITTAL.**

**Please make sure you have ALL required copies before submitting permit application**

The following minimum requirements must be provided for permitting and inspections:

- 1 Copy Completed application
- 2 Copies Complete list of proposed materials
- 2 Copies Re-roof certification
- 1 Copy Re-roof Inspection affidavit if used, prior to final inspection.

#### RESIDENTIAL REROOFS:

- 2 Copies approved roofing manufacturer specifications for all products used.
  - Manufacturer specs/fastening schedule for roof shingles (must meet the minimum area wind load).
  - Manufacturer must have Florida Product Approval
  - Location of proposed re-roof (if only a partial re-roof) and area % calculation
  - Section/detail through hip and ridge tile caps per F.R.S.A. for tile roofs\*\*
- 2 Copies Re-roof windstorm loss mitigation certification (and affidavit if applicable)

#### COMMERCIAL REROOFS:

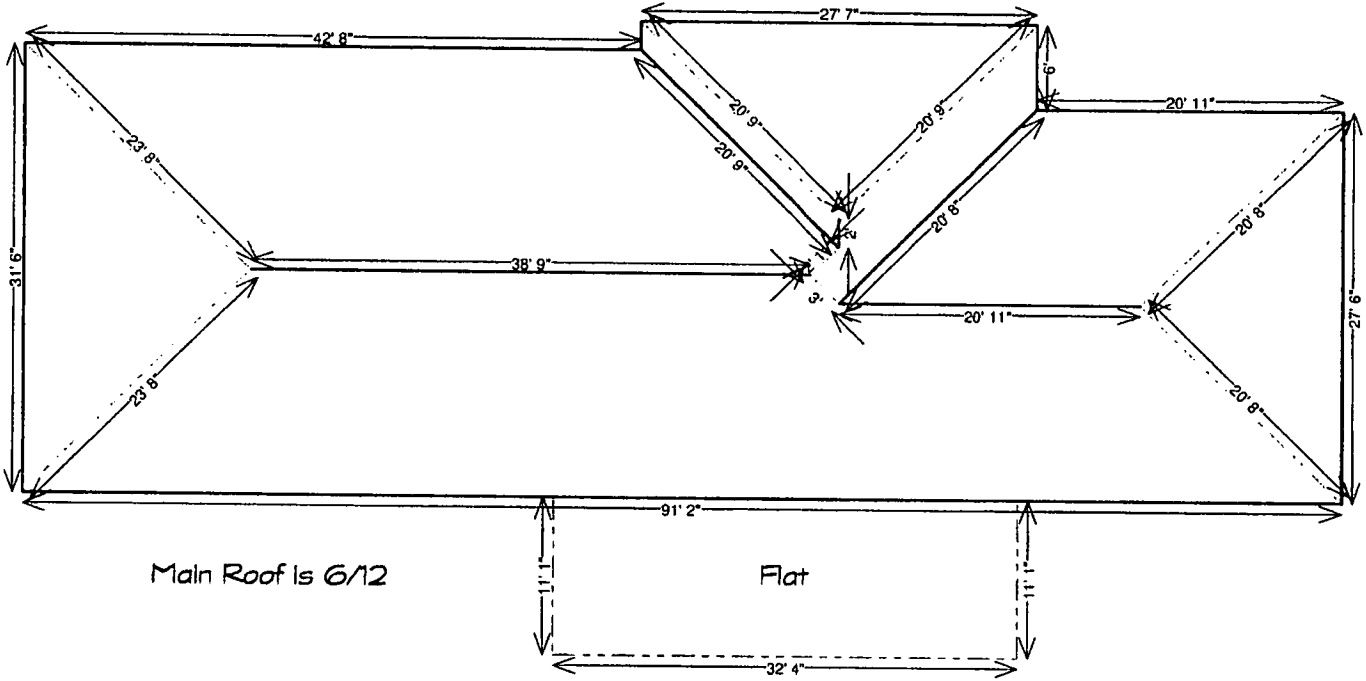
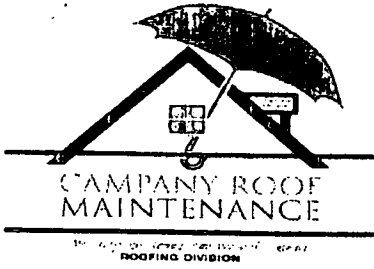
- 2 Copies Roof Plan:
  - Show all features (pitch, drains, equipment, etc.)
  - Details: 3/4" = 1'.0" min. scale
  - Parapet or edge
  - Rooftop mounting or equipment expansion joints
  - Type of roofing (& insulation if any) being removed
  - Type of roof deck
- 2 Copies Approved roofing manufacturer specifications for all products used.
  - Manufacturers complete roofing system specifications & installation guidelines (Include fastening schedule meeting minimum area wind load).
- 1 Copy Verification of Contractor form
  - Contractor verification form (HVAC and/or electric) required if roof top HVAC equipment is removed/reinstalled and/or if HVAC electric is disconnected/reconnected.

**\*\*Concrete or ClayTile Roof: Specify how the roof field tile will be attached to the deck (reference F.S.R.A Installation Manual). Provide section details showing the installation/attachment of ridge and hip cap tile. Demonstrate compliance with the 2010 FBC 1507.3. & 2010 FBC/Residential R905.3. Also provide Product Approval for all roof adhesives.**

**All Product Approval & Installation Spec's must be on the job site for inspection.**

**All tile re-roofs require an "in progress" tile installation inspection or certified pull test at final.**

3 Miramar Rd, Sewalls Point, FL



Main Roof is 6/12

Flat

*Slope 3/12  
Flat 4/12*

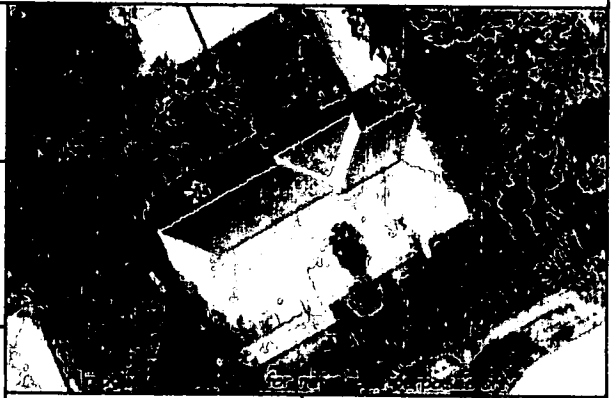
Report provided by: **ROOFTOP MEASUREMENTS**

Total Area	3599	Rake/Gables	0
Hip	136	Gutter	249
Ridge	62	Pitch	Flat 357 sf
Valley	41		6/12 3242 sf

Layers	_____	Counter flashing	_____
Decking type	_____	Apron flashing	_____
Vent pipes	_____	Crickets	_____
Step flashing	_____	Skylights	_____

Legend

_____	Head Wall	-----	Flat Perimeter		
_____	Eave w/Gutter	_____	Ridge	Chimney	Skylight
_____	Rake/Gable Edge	_____	Valley		
-----	Hip	_____	Other Level Line		



Date: 1/7/15 Invoice/Report #: 6841

Measurements do not account for miscellaneous roof structure (i.e. chimneys, A/C units, Conduit, and other roof penetrations)

**Owner- Builder Permit Qualifier Affidavit For Roof Diaphragm  
(Sheathing) Evaluation - Form 002**

*Kreft*

*FWP*

I, EDWARD COMPANY the Owner-Builder Permit Qualifier do affirm and certify that the roofing diaphragm

(sheathing) for the roofing system installed under permit number 11144 and located at:

3-MIRAMAR LN was evaluated under my supervision; and the roof diaphragm was found to be in compliance with Chapter 8 of the 2010 Florida Building Code Residential, and Chapter 6 of the 2010 Florida Building Code, Existing Building, or remediation work was performed as outlined below to bring the roof diaphragm to Code-compliance.

**Roof Diaphragm (Sheathing) Evaluation**

**Florida Building Code Existing Building 2010, Section 606.3.2 Roof diaphragm:**

Where roofing materials are removed from more than 50 percent of the roof diaphragm of a building or section of a building,..... roof diaphragms and connections that are part of the main wind-force resisting system shall be evaluated for the wind loads specified in the *Florida Building Code, Building*, including wind uplift. If the diaphragms and connections in their current condition do not comply with those wind provisions, they shall be replaced or strengthened in accordance with the loads specified in the *Florida Building Code, Building*.

**R803.2.3.1 Sheathing fastenings.**

Wood structural panel sheathing shall be fastened to roof framing with 8d ring-shank nails at 6 inches on center at edges and 6 inches on center at intermediate framing.

Was the roof diaphragm evaluated for insufficient or deteriorated connections? Yes  
Were any of the roof diaphragms in need of replacement? Yes Approx. square footage: 96  
What type of material was used to replace the deficient roof diaphragms? CDX  
(CDX,OBS,FRP ETC.)  
Has the roof sheathing been fastened to Code? Yes Type of fastener? 8-D RING NAIL  
Has the embedment of the diaphragm fasteners been verified? Yes

By his/her signature below, the Owner-Builder Permit Qualifier does affirm and certify that the previously provided applicable information for the roofing system installed under permit number 11144 and located at 3 MIRAMAR LN is true and correct, and that this work was done under his/her supervision.

EDWARD COMPANY  
Owner-Builder Permit Qualifier Name (Print)

Edward Company  
Owner-Builder Permit Qualifier Signature

STATE OF FLORIDA  
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this 21 day of JAN 2015 (year)

By Edward Company Who is personally known to me  or has produced  
(Name of Person Acknowledging)

\_\_\_\_\_ as identification and who did/did not take an oath

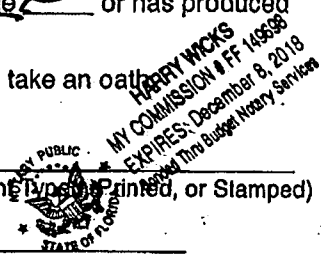
(Type of ID.) \_\_\_\_\_  
(Signature of Person Taking Acknowledgement)

\_\_\_\_\_ (Name of Officer Taking Acknowledgement)  
Type of ID. Printed, or Stamped

(Title or Rank)

(Serial Number, If Any)

PPM# PBO-086-Form-002/Page 1 of 1





STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783

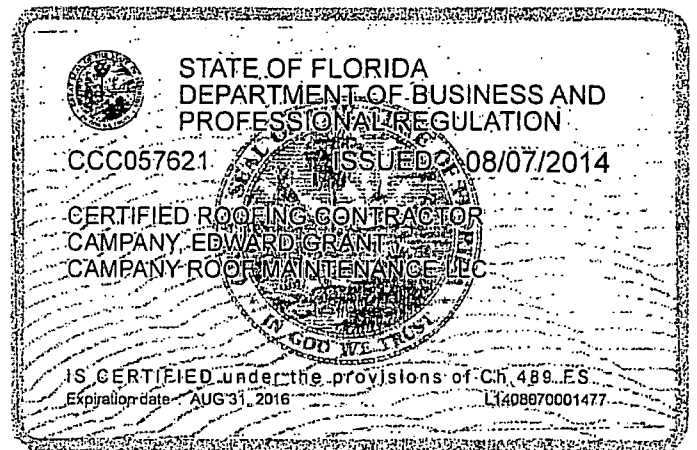
(850) 487-1395

CAMPANY, EDWARD GRANT  
CAMPANY ROOF MAINTENANCE LLC  
910 28TH STREET  
WEST PALM BEACH FL 33407

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto [www.myfloridalicense.com](http://www.myfloridalicense.com). There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!



DETACH HERE

RICK SCOTT, GOVERNOR

KEN LAWSON, SECRETARY

STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

LICENSE NUMBER

CCC057621

The ROOFING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG-31, 2016

CAMPANY, EDWARD GRANT  
CAMPANY ROOF MAINTENANCE LLC  
7205 DEER POINT LANE  
WEST PALM BEACH FL 33411



ISSUED: 08/07/2014

DISPLAY AS REQUIRED BY LAW

SEQ # L1408070001477

**CITY OF WEST PALM BEACH**

DEPARTMENT OF DEVELOPMENT SERVICES



Attached is your 2014 - 2015 Business Receipt evidencing payment of fees for your Local Business Tax; Certificate of Use (if applicable); Sidewalk Café Permit (if applicable); and/or Extended Hours Alcohol Permit (if applicable).

**Business Tax Receipt:** This document, based on the business category codes listed below, is your Business Tax Receipt. **THIS BUSINESS TAX RECEIPT MUST BE DISPLAYED ON THE PREMISES IN A PLACE WHERE IT MAY BE SEEN AT ALL TIMES (Sec. 82-160 City Code).**

**Certificate of Use:** A certificate of use may be suspended or revoked in accordance with Sec. 22-39 of the City Code.

**Sidewalk Café Permit:** A sidewalk café permit requires compliance with the conditions in Secs. 78-345 and 78-347 of the City Code. A sidewalk café permit may be suspended or revoked pursuant to Sec. 78-348 of the City Code.

**Extended Hours Alcohol Permit:** An extended hours alcohol permit requires compliance with the conditions in Sec. 6-8 of the City Code and may be suspended or revoked as provided in said section.

**FOR INFORMATION CALL (561) 805-6700 OR FAX (561) 805-6676 / HOURS 8:00 AM - 5:00 PM — MONDAY - FRIDAY**

**INSTRUCTIONS: PLEASE POST IN A CONSPICUOUS PLACE AT YOUR PLACE OF BUSINESS.**



**CITY OF WEST PALM BEACH**  
2014 to 2015 BUSINESS RECEIPT

**NOT TRANSFERABLE**  
CITY OF WEST PALM BEACH  
P.O. BOX 3147, WEST PALM BEACH, FL. 33411

0000025064  
COMPANY ROOF MAINTENANCE LLC  
910 28TH ST

ROOF CONTRACTOR  
REPAIR & MAINTENANCE

BUS. TAX ID.	CATEGORY	DESCRIPTION	FEE
52270	238160	ROOFING CONTRACTOR	86.81
<b>TOTAL</b>			<b>86.81</b>

**EXPIRES  
SEPTEMBER 30,  
2015**

**THIS DOCUMENT NOT VALID  
UNTIL FUNDS ARE COLLECTED**

PAID 86.81 BAL 0.00

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER <b>USI Insurance Services, LLC</b> 2054 Vista Pkwy, Suite 400 West Palm Beach, FL 33411-2718 561 693-0500	CONTACT NAME: <b>Curtis A. Weaver</b>
	PHONE (A/C, No, Ext): <b>561 693-0500</b> FAX (A/C, No): E-MAIL ADDRESS:
INSURED <b>Campany Roof Maintenance, LLC</b> 910 28th Street West Palm Beach, FL 33407	INSURER(S) AFFORDING COVERAGE      NAIC #
	INSURER A : <b>Western World Insurance Company</b> <b>13196</b>
	INSURER B : <b>Allied P &amp; C Ins Co</b> <b>42579</b>
	INSURER C :
	INSURER D :
	INSURER E :
INSURER F :	

COVERAGES      CERTIFICATE NUMBER:      REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> BI/PD Ded:5,000 GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC	X	X	PGP0789431	02/17/2014	02/17/2015	EACH OCCURRENCE      \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence)      \$100,000 MED EXP (Any one person)      \$5,000 PERSONAL & ADV INJURY      \$1,000,000 GENERAL AGGREGATE      \$2,000,000 PRODUCTS - COMP/OP AGG      \$2,000,000 \$
B	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS <input checked="" type="checkbox"/> PIP		X	ACPBAPC5925251420	09/10/2014	02/17/2015	COMBINED SINGLE LIMIT (Ea accident)      \$1,000,000 BODILY INJURY (Per person)      \$ BODILY INJURY (Per accident)      \$ PROPERTY DAMAGE (Per accident)      \$ PIP      \$10,000
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED    RETENTION \$						EACH OCCURRENCE      \$ AGGREGATE      \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE/OFFICER/MEMBER EXCLUDED? (Mandatory In NH) If yes, describe under DESCRIPTION OF OPERATIONS below      Y/N    N/A						WC STATUTORY LIMITS    OTHER E.L. EACH ACCIDENT      \$ E.L. DISEASE - EA EMPLOYEE      \$ E.L. DISEASE - POLICY LIMIT      \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)  
**Ten Days Notice for Non-payment of Premium; 30 Days Notice for All Other.**

When Required by Written Contract, Blanket Additional Insured, Blanket Waiver of Subrogation, Primary and Non-contributory Wording.

CERTIFICATE HOLDER  <b>Town of Sewalls Point</b> <b>1 S Sewalls Point Road</b> <b>Sewalls Point, FL 34996</b>	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE  <i>Gary Morris</i>





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
01/14/2015

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Bouchard Insurance for WBS P.O.Box 6090 Clearwater, FL 33758-6090	<b>CONTACT NAME:</b> PHONE (A/C, No, Ext): (866) 293-3600 ext. 623      FAX (A/C, No): E-MAIL ADDRESS:	
	<b>INSURER(S) AFFORDING COVERAGE</b>	
<b>INSURED</b> Workforce Business Services, Inc. Alt. Emp: Campany Roof Maintenance, LLC 1401 Manatee Ave. West Ste 600 Bradenton, FL 34205-6708	<b>INSURER A:</b> American Zurich Insurance Company      NAIC # 40142	
	<b>INSURER B:</b>	
	<b>INSURER C:</b>	
	<b>INSURER D:</b>	
	<b>INSURER E:</b>	
	<b>INSURER F:</b>	

**COVERAGES**      **CERTIFICATE NUMBER:** 14FL079821178      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
	<b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:					EACH OCCURRENCE	\$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS					COMBINED SINGLE LIMIT (Ea accident)	\$
	<b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$					EACH OCCURRENCE	\$
<b>A</b>	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A	WC 90-00-818-04	12/31/2014	12/31/2015	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT    \$    1,000,000 E.L. DISEASE - EA EMPLOYEE    \$    1,000,000 E.L. DISEASE - POLICY LIMIT    \$    1,000,000	
			Location Coverage Period:	12/31/2014	12/31/2015	Client#	052917

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Campany Roof Maintenance, LLC  
910 28th St  
West Palm Beach, FL 33407  
Coverage is provided for only those co-employees of, but not subcontractors to:

### CERTIFICATE HOLDER

Town of Sewalls Point  
1 S Sewalls Point Road  
Sewalls Point, FL 34996

### CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 01-38-41-009-000-00120-8

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): 3 Miramar Rd. Small Point MIRAM LOT 12 340/771

GENERAL DESCRIPTION OF IMPROVEMENT: reroof

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT
NAME: Richard Krett
ADDRESS: 3 Miramar Rd Small Point
PHONE NUMBER: 302-437-6524 FAX NUMBER:
INTEREST IN PROPERTY: owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: Company Roofing Maintenance
ADDRESS: 917 25th St West Palm Beach, FL 33407
PHONE NUMBER: 561-843-6550 FAX NUMBER: 561-843-1222

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)
ADDRESS:
PHONE NUMBER: FAX NUMBER:
BOND AMOUNT:

LENDER/MORTGAGE COMPANY:
ADDRESS:
PHONE NUMBER: FAX NUMBER:

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b) , FLORIDA STATUTES:
NAME:
ADDRESS:
PHONE NUMBER: FAX NUMBER:

STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE
CAROLYN TIMMANN, CLERK
BY: SKUMMELT DC
DATE: 1-13-15



IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_
EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

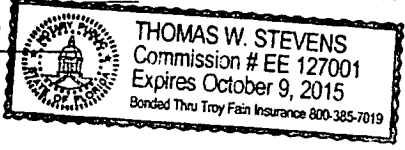
UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT
SIGNATORY'S TITLE/OFFICE owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12 DAY OF Jan 2015
BY: Richard Krett AS owner FOR owner
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION TYPE OF IDENTIFICATION PRODUCED

NOTARY SIGNATURE/ SEAL



RECORDED 01/13/2015 01:26:17 PM
INST R # 2494402
OR BK 2761 PG 859
CAROLYN TIMMANN
MARTIN COUNTY CLERK



Martin County, Florida  
Laurel Kelly, C.F.A

Site Provided by...  
governmax.com 1.13

Summary



Owner  
1 of 1

**Tabs**

**Summary**

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes ➡
- NEW: Navigator
- Parcel Map ➡
- Notice of Prop.
- Taxes ➡

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-009-000-00120-8	17752	3 MIRAMAR RD, SEWALL'S POINT	\$228,610	1/3/2015

Owner Information	
<b>Owner(Current)</b>	KRETT RICHARD DAVID
<b>Owner/Mail Address</b>	3 SE MIRAMAR RD STUART FL 34996-6710
<b>Sale Date</b>	11/20/2014
<b>Document Book/Page</b>	<u>2752 2288</u>
<b>Document No.</b>	2486826
<b>Sale Price</b>	115000

**Searches**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Navigator
- Maps ➡

Location/Description			
<b>Account #</b>	17752	<b>Map Page No.</b>	SP-03
<b>Tax District</b>	2200	<b>Legal Description</b>	MIRAM/ LOT 12 OR 340/771
<b>Parcel Address</b>	3 MIRAMAR RD, SEWALL'S POINT		
<b>Acres</b>	.3440		

Parcel Type	
<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120200 Heritage P, Palmtto Pk,Rdglnd,

**Functions**

- Property Search
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Assessment Information	
<b>Market Land Value</b>	\$150,000
<b>Market Improvement Value</b>	\$78,610
<b>Market Total Value</b>	\$228,610

[Print](#) [First](#) [Previous](#) [Next](#) [Last](#)

[Legal Disclaimer](#) / [Privacy Statement](#)





## PROPOSAL

*Customer:* Mr. Richard Krett  
*Address:* 3 Miramar Rd.  
Sewalls Point, Fl. 34996

*Contact:* Rich  
*Project:* Krett Residence  
*Location:* Sewalls Point, Fl. 34996

*Date:* 1/12/15  
*Phone:*  
*Phone:* 302-437-6524  
*Fax:*

*Email:*

Company Roofing is pleased to submit our proposal to provide and pay all for labor, materials, tools, equipment, transportation, Permits and insurances to properly perform the "Scope of Work" below as follows. All materials are guaranteed to be as specified. All work will be directed and Supervised in a Workmanlike manner according to Standard Roofing Practice and using the Contractor's best skill and attention.

### SCOPE OF WORK:

1. Remove existing roof system(s) to sheathing/ wood board deck and dispose of all the roof related debris to an appropriate facility.
2. Re-nail all existing sheathing as required.
3. Replace deteriorated and/or rotten sheathing, fascia, and/or repair truss member top cord as required by code. **3 Sheets Plywood replacement and 30LF Fascia is part of this Proposal Agreement.** Any additional is an EXTRA. See the "Terms" section / "Unit Pricing" of this Agreement for wood replacement costs.

### Slope roof areas:

4. Install one (1) layer of 30# ASTM felt to sheathing with tin tags and nails.
5. Install Aluminum sheet metal flashings including; 3x3 White drip edge flashing and 16" valley roll flashing.
6. Replace VTR lead stack flashings and metal gooseneck vent at existing locations.
7. Install Lifetime Dimensional shingles installed with six(6) nails per shingle per code requirements with matching hip&ridge cap. **(SEE OPTIONS)**
8. **On Flat roof areas,** Install (3) White granulated modified bitumen roof system with White Aluminum drip edge.
9. Clean up and remove all roof debris DAILY.
10. All work, under this proposal, warranted for Ten (10) years.

**Terms:** Invoicing (billing) and Payments, will be conducted on a "Job Progressive" basis as follows:

- 25% - Deposit *pd # 2700 # 1102 1/13/15*
- 25% - Demolition slope sections and installation of 30# felt
- 25% - Shingle Delivery
- Balance- Closeout

**Conditions:**

- This Proposal may be withdrawn by Campany Roofing if not accepted within (30) days of proposal date above.
- Stucco and painting not included in this proposal.
- Gutters and down spouts not included in this proposal. Estimate will be provided, if desired.

**Proposal Amount:** \$10,700 *pd*

**ALTERNATES:**

**For Installation of Englert 1300 Series 24 Gauge Mill Finish Galvalume Metal Roof System over (1) layer ASTM#30 felt and (1) layer self adhering underlayment PRICE: \$29,135**

**26 Gauge Mill Finish Galvalume 5V Crimp over ASTM#30 and Self adhering underlayment: \$25,860**

**Entegra Category 1 concrete Tile over ASTM#30/ASTM#90 hot mopped underlayment: \$19,900**

**Unit Pricing:** Replace deteriorated and/or rotten 5/8" cdx plywood sheathing - \$2.00 per square foot **(Above allowance)**  
 Replace and/or enhance 2x truss member - \$2.75 per linear foot  
 Replace deteriorated and/or rotten wood board decking/ 2x fascia lumber - \$ 4.65 per linear foot **(Above allowance)**

*Thank You for considering Campany Roofing to fulfill your roofing needs.*

CR/RD Representative: Tom Stevens 561-202-4787

**Acceptance of Proposal:**

The above Specifications, Pricing, Terms, and Conditions are satisfactory and are hereby approved.

**Signature:** \_\_\_\_\_

**Date:** 1/13/15

**Signature:** \_\_\_\_\_

**Date:** 1/13/15

Campany Roof Maintenance LLC 057621  
917 28<sup>th</sup> Street  
West Palm Beach, Fl. 33407

Phone: (561) 863-6550  
Fax: (561) 863-1722  
[www.campanyroofing.com](http://www.campanyroofing.com)



DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)  
BOARD AND CODE ADMINISTRATION DIVISION

**NOTICE OF ACCEPTANCE (NOA)**

MIAMI-DADE COUNTY  
PRODUCT CONTROL SECTION

11805 SW 26 Street, Room 208  
Miami, Florida 33175-2474  
T (786)315-2590 F (786) 31525-99

[www.miamidade.gov/economy](http://www.miamidade.gov/economy)

**Firestone Building Products Company, LLC**  
250 East 96<sup>th</sup> Street  
Indianapolis, IN 46240-3702

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. RER reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Firestone Modified Bitumen Roof Systems over Wood Decks.**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA No.10-1230.02 and consists of pages 1 through 41.  
The submitted documentation was reviewed by Jorge L. Acebo.



NOA No.: 11-0119.09  
Expiration Date: 03/08/16  
Approval Date: 05/02/13  
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## ROOFING SYSTEM APPROVAL

**Category:** Roofing  
**Sub-Category:** Modified Bitumen  
**Material:** APP/SBS  
**Deck Type:** Wood  
**Maximum Design Pressure:** -97.5 psf

### TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

TABLE 1

Product	Dimensions	Test Specification	Product Description
SBS Glass Torch Base	39.4" x 33'10"	ASTM D6163	Modified bitumen base sheet with a burn-off film and reinforced with non-woven fiberglass mat.
SBS Base	39.4" x 50'	ASTM D6163	Fiberglass reinforced SBS base sheet. Applied in hot asphalt or mechanically attached.
SBS PolyBase	39.6" x 50'	ASTM D6164	A smooth surfaced, non-woven polyester reinforced, modified bitumen base sheet
SBS Poly Torch Base	45" x 39"	ASTM D6164	Fiberglass reinforced modified bitumen membrane, SBS rubber modified asphalt reinforced with a non-woven polyester mat.
Ply IV	33" x 180"	ASTM D2178	Fiberglass reinforced, asphalt impregnated, roofing ply. Applied in hot asphalt.
Ply VI	33" x 180"	ASTM D2178	Fiberglass reinforced, asphalt impregnated, roofing ply. Applied in hot asphalt.
Ply IV (4) M	39.4" x 164.5'	ASTM D2178	Fiberglass reinforced, asphalt impregnated, roofing ply. Applied in hot asphalt.
Ply VI (6) M	39.4" x 164.5'	ASTM D2178	Fiberglass reinforced, asphalt impregnated, roofing ply. Applied in hot asphalt.
MB Base	36" x 108'	ASTM D4601	Fiberglass reinforced base sheet, asphalt coated on both sides. Applied in hot asphalt or mechanically attached.
MB Base M	39.4" x 98.7'	ASTM D4601	Fiberglass reinforced base sheet, asphalt coated on both sides. Applied in hot asphalt or mechanically attached.
SBS Smooth	39.4" x 33'10"	ASTM D6164	Smooth surfaced, modified bitumen membrane reinforced with non-woven polyester mat. Applied in hot asphalt.
APP 160-P	39.4" x 32'9"	ASTM D6222	Polyester reinforced modified bitumen, smooth surfaced, membrane. Torch applied.



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<b>Product</b>	<b>Dimensions</b>	<b>Test Specification</b>	<b>Product Description</b>
APP 180	39.4" x 32'10"	ASTM D6222	Polyester reinforced modified bitumen, granule surfaced membrane. Torch applied.
APP 180-P	39.4" x 32'9"	ASTM D6222	Polyester reinforced modified bitumen, granule surfaced membrane. Torch applied.
APP 180 UltraWhite	39.4" x 32'10"	ASTM D6222	Polyester reinforced modified bitumen, UltraWhite granule surfaced membrane. Torch applied.
APP 180 FR	39.4" x 32'10"	ASTM D6222	Polyester reinforced, fire retardant modified bitumen, granule surfaced membrane. Torch applied.
APP 180 FR UltraWhite	39.4" x 32'10"	ASTM D6222	Polyester reinforced, fire retardant modified bitumen, UltraWhite granule surfaced membrane. Torch applied.
SBS Glass	39.4" x 33'10"	ASTM D6163	Fiberglass reinforced, granule surfaced, modified bitumen membrane. Applied in hot asphalt.
SBS Glass FR		ASTM D6163	Fiberglass reinforced, fire rated, granule surfaced, modified bitumen membrane. Applied in hot asphalt.
SBS Glass FR UltraWhite		ASTM D6163	UltraWhite fiberglass reinforced, fire rated, granule surfaced, modified bitumen membrane. Applied in hot asphalt.
SBS Glass FR Torch		ASTM D6163	Fiberglass reinforced, fire rated, granule surfaced, modified bitumen membrane. with burn off film and fiberglass enhanced
SBS Glass FR Torch UltraWhite		ASTM D6163	UltraWhite fiberglass reinforced, fire rated, granule surfaced, modified bitumen membrane. with burn off film and fiberglass enhanced
SBS Cap	39.4" x 33'10"	ASTM D6164	Granule surfaced, modified bitumen membrane reinforced with non-woven polyester mat.
SBS Cap UltraWhite	39.4" x 33'10"	ASTM D6164	UltraWhite granule surfaced, modified bitumen membrane reinforced with non-woven polyester mat.
SBS FR Cap	39.4" x 33'10"	ASTM D6164	Granule surfaced, modified bitumen membrane reinforced with non-woven polyester mat.
SBS FR Cap UltraWhite	39.4" x 33'10"	ASTM D6164	UltraWhite granule surfaced, modified bitumen membrane reinforced with non-woven polyester mat.





SBS Premium	39.4" x 33'10"	ASTM D6164	Granule surfaced, modified bitumen membrane reinforced with polyester mat. Applied in hot asphalt.
SBS Premium FR	39.4" x 33'10"	ASTM D6164	Granule surfaced, fire rated, modified bitumen membrane reinforced with non-woven polyester mat.
SBS Premium FR UltraWhite	39.4" x 33'10"	ASTM D6164	UltraWhite granule surfaced, fire rated, modified bitumen membrane reinforced with non-woven polyester mat.
SBS FR Torch	48" x 39"	ASTM D6164	Granule surfaced, fire rated, SBS cap reinforced with a non-woven polyester mat, with burn off film and fiberglass enhanced
SBS FR Torch UltraWhite	48" x 39"	ASTM D6164	UltraWhite granule surfaced, fire rated, SBS cap reinforced with a non-woven polyester mat, with burn off film and fiberglass enhanced
Multi-Purpose MB Cold Adhesive	55 gal.	Proprietary	An asphalt based adhesive.
LiquiGard Membrane Adhesive	6 gal.	Proprietary	A two-component, solvent-free, asphalt-based urethane adhesive.

**APPROVED INSULATIONS:**

**TABLE 2**

<b>Product Name</b>	<b>Product Description</b>	<b>Manufacturer (With Current NOA)</b>
ACFoam-II	Isocyanurate Insulation	Atlas Roofing Corp.
ISO 95+ GL, RESISTA	Isocyanurate Insulation	Firestone Building Products Company, LLC
FiberTop E	High Density Wood Fiber insulation board.	Firestone Building Products Company, LLC
DensDeck, DensDeck Prime, DensDeck DuraGuard	Silicon treated gypsum	Georgia-Pacific Gypsum LLC
ENRGY 3, ENRGY 3 25 PSI	Isocyanurate Insulation	Johns Manville Corp.
High Density Wood Fiberboard	High Density Wood Fiber insulation board.	Generic
Perlite Insulation Board	Perlite Insulation	Generic
Multi-Max-3, Multi-Max FA-3	Isocyanurate Insulation	Rmax Operating, LLC



**APPROVED FASTENERS:**

**TABLE 3**

<b>Fastener Number</b>	<b>Product Name</b>	<b>Product Description</b>	<b>Dimensions</b>	<b>Manufacturer (With Current NOA)</b>
1.	Firestone All-Purpose	Insulation and membrane fastener	Various	Firestone Building Products Company, LLC
2.	Firestone Heavy-Duty	Insulation and membrane fastener	Various	Firestone Building Products Company, LLC
3.	MB 2" Barbed Metal Seam Plate	Metal plates used for membrane securement.	2" dia	Firestone Building Products Company, LLC
4.	Firestone 2-3/8 Barbed Seam Plate	Membrane seam attachment plate.	2- <sup>3</sup> / <sub>8</sub> " dia	Firestone Building Products Company, LLC
5.	2" Metal Plate	Membrane attachment plate.	2" dia	Firestone Building Products Company, LLC
6.	Dekfast Fasteners	Insulation and membrane fastener	Various	SFS Intec, Inc.
7.	Dekfast Galvalume Steel Hex Plate	Insulation and membrane fastener	Various	SFS Intec, Inc.
8.	#12 & #14 Roofgrip	Insulation and membrane fastener	Various	OMG, Inc.
9.	3" Round Metal Plate	Galvalume AZ50 stress plate	3" round	OMG, Inc.
10.	OMG Fasteners	Insulation and membrane fastener	Various	OMG, Inc.
11.	OMG 3 in. Round Metal Plates	3" round Galvalume AZ55 stress plate	3" round	OMG, Inc.
12.	OMG Plastic Plate	Plastic plates for fasteners.	3" round	OMG, Inc.
13.	Tru-Fast Fasteners	Insulation and membrane fastener	Various	Altenloh, Brinck & Co. U.S., Inc.
14.	Trufast 3" Metal Insulation Plate	3.23" round Galvalume AZ50 steel plate	3.23" round	Altenloh, Brinck & Co. U.S., Inc.
15.	Insulation Fastening Plate	Insulation plate for use with Firestone Fasteners	3" round	Firestone Building Products Company, LLC
16.	Recessed Metal Plate	Galvalume AZ50 stress plate	3" square	OMG, Inc.
17.	Dekfast Galvalume Steel 3 in. Round	Galvalume AZ50 stress plate	3" round	SFS Intec, Inc.



**EVIDENCE SUBMITTED:**

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Description</u>	<u>Date</u>
FM Approvals	1D5A8.AM	FM 4470	09/09/98
	3003597	FM 4470	07/14/99
	3004786	FM 4470	05/16/00
	3005030	FM 4470	08/08/00
	3007328	FM 4470	07/12/02
	3023288	FM 4470	12/24/09
	3015815	FM 4470	12/24/09
	3041534	FM 4470	03/09/11
	3038191	FM 4470	08/04/11
Trinity   ERD	4810.01.96-1	PA 114(C) & PA 114(D)	01/31/96
	4810.10.96-1-R1	TAS 114-J	03/09/09
	F10370.05.08	ASTM C 1289	05/08/08
	F10500.10.08-1R2	ASTM D6163	03/22/13
	F31960.05.10-1	ASTM D4977	05/19/10
	F31960.05.10-2	ASTM D4977	05/19/10
	F31960.08.10-1	ASTM D4977	08/25/10
	F354005.11	ASTM Physical Properties	05/31/11
	F31960.08.10-2-R1	ASTM D4977	03/25/13
	F41070.08.12	ASTM D6222	08/24/12
	U41790.05.12-2-R2	ASTM D6222	02/11/13
	U41790.05.12-1-R1	ASTM D6222	01/21/13
	Underwriters Laboratories	R9516	UL 790
Atlantic & Caribbean Roof Consulting, LLC.	ACRC 03-001	TAS 114	03/06/03
	ACRC 03-007	TAS 114	05/01/03
PRI Construction Materials Technologies LLC	FBP-018-02-01	ASTM D 6163	09/07/04
	FBP-011-02-01	ASTM D 6164	09/02/04
	FBP-008-02-01	ASTM D 6222	09/10/04
	FBP-009-02-01	ASTM D 6222	08/31/04
	FBP-010-02-01	ASTM D 6164	09/04/04
	FBP-014-02-01	ASTM D 6164	09/02/04
	FBP-015-02-01	ASTM D 6509	09/02/04
	FBP-016-02-01	ASTM D 6509	09/02/04
	FBP-017-02-01	ASTM D 6163	09/13/04
	FBP-019-02-01	ASTM D 4601	09/14/04
	FBP-023-02-01	ASTM D 6223	09/01/04
	FBP-007-02-01	ASTM D 6222	09/14/04
	FBP-020-02-01	ASTM D 2178	09/14/04
	FBP-038-02-03	ASTM D 6164	01/12/11
	FBP-038-02-04	ASTM D 6164	01/12/11
	FBP-038-02-02	ASTM D 6164	01/12/11
	FBP-038-02-01	ASTM D 6164	12/27/10
	FBP-043-02-03	ASTM D 6164	07/26/11
	FBP-043-02-02	ASTM D 6164	08/02/11



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<u>Test Agency</u>	<u>Test Identifier</u>	<u>Description</u>	<u>Date</u>
PRI Construction Materials Technologies LLC	FBP-043-02-04	ASTM D 6164	07/26/11
	FBP-043-02-01	ASTM D 6164	08/02/11
	FBP-042-02-01	ASTM D 6164	07/26/11
	FBP-042-02-02	ASTM D 6164	07/27/11
	FBP-058-02-01	ASTM D 4601	12/12/08
	FBP-057-02-01	ASTM D 2178	12/12/08
	FBP-056-02-01	ASTM D 2178	12/12/08
	FBP-059-02-01	ASTM D 1876	07/20/12
	FBP-087-02-01	ASTM D 4798	03/22/13
	FBP-088-02-01	ASTM D 4798	03/22/13
	FBP-101-02-01	TAS 114-J	04/25/12



**Membrane Type:** APP  
**Deck Type 1I:** Wood, Non-insulated  
**Deck Description:** 19/32" or greater plywood or wood plank  
**System Type E(3):** Base sheet mechanically fastened.

**All General and System Limitations apply.**

**Base Sheet:** One ply of ~~Firestone MB Base~~ or MB Base M mechanically fastened to the wood deck as described below:

**Fastening #1:** Base sheet shall be lapped 4" and fastened with Firestone All-Purpose fasteners with 3" Round Metal Plates 12" o.c. in the lap and two rows staggered in the center of the sheet 12" o.c.

~~Fastening #2:~~ Base sheet shall be lapped 4" and fastened with approved roofing nails and tin caps 6" o.c. at the lap and two rows staggered in the center of the sheet 6" o.c.

**Ply Sheet:** (Optional) One or more plies of Firestone MB Base, Ply IV, Ply IV (4) M, Ply VI or Ply VI (6) M ply sheet or other listed base sheet applied in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.; or one ply ~~Firestone APP 180-P~~ torch applied.

OR

(Optional) One or more plies of Firestone SBS Glass Torch Base or SBS Poly Torch Base torch adhered.

**Membrane:** One ply of ~~APP 180~~, APP 180-P, APP 180 UltraWhite, APP 180 FR, APP 180 FR UltraWhite torch applied parallel to the base ply, with overlaps staggered 12".

**Surfacing:** (Optional) Any coating, listed below, used as a surfacing, must be listed within a current NOA. Install one of the following:

1. Gravel or slag at 400 lb. and 300 lb., respectively, set in a flood coat of type III or IV asphalt at 60 lb./sq..
2. Karnak No. 97, No. 97 AF or No. 169 at an application rate of 1 1/2 gal./sq..

**Maximum Design Pressure:** -52.5 psf (See General Limitation #7)



## **WOOD DECK SYSTEM LIMITATIONS:**

1. A slip sheet is required with Ply 4 and Ply 6 when used as a mechanically fastened base or anchor sheet.

## **GENERAL LIMITATIONS:**

1. Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer
3. All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
4. An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used the base sheet shall be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each sidelap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq.

**Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf.**

5. Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with Testing Application Standard TAS 105. If the fastener value, as field-tested, are below 275 lbf. insulation attachment shall not be acceptable.
6. Fastener spacing for mechanical attachment of anchor/base sheet or membrane attachment is based on a minimum fastener resistance value in conjunction with the maximum design value listed within a specific system. Should the fastener resistance be less than that required, as determined by the Building Official, a revised fastener spacing, prepared, signed and sealed by a Florida Registered Engineer, Architect, or Registered Roof Consultant may be submitted. Said revised fastener spacing shall utilize the withdrawal resistance value taken from Testing Application Standards TAS 105 and calculations in compliance with Roofing Application Standard RAS 117.
7. Perimeter and corner areas shall comply with the enhanced uplift pressure requirements of these areas. Fastener densities shall be increased for both insulation and base sheet as calculated in compliance with Roofing Application Standard RAS 117. Calculations prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant. **(When this limitation is specifically referred within this NOA, General Limitation #9 will not be applicable.)**
8. All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform with Roofing Application Standard RAS 111 and applicable wind load requirements.
9. The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners). **(When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.)**
10. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9N-3 of the Florida Administrative Code.

**END OF THIS ACCEPTANCE**



# TOWN OF SEWALL'S POINT

## Building Department – Inspection Log

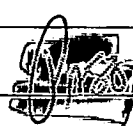
Date of Inspection  Mon  Tue  Wed  Thur  Fri 11/27/15 Page 1 of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11071 AM Requested	Resnick 14 Middle Rd Celentano Dev Group	Slab Electrical, Rear paver deck retaining wall footings	Pass	INSPECTOR <i>[Signature]</i>
11145 AM Requested	Schmidt 15 Heritage way Flynn's A/c	A/c Final	RESCHEDULE	call Joe - 284-2760 for ladder INSPECTOR
11020	Josephine's 3700SE Ocean Blvd Gary Hufnagel	Interior gas rough	PRESSURE DOWN <del>FAIL</del> SECURE EXT PIPING FAIL	INSPECTOR <i>[Signature]</i>
<del>11144</del>	Krett <del>3 Miramas Road</del> Company Roof Maint.	Roof Final	<del>Pass</del>	<del>Pass</del> INSPECTOR <i>[Signature]</i>
10680 1pm	Winslow 10 S Sewall's Pt. Rd. Green Building	Framing + All trades Rough	PARTIAL Pass	WILL NEED AS BUILT DOWN TO C.E. INSPECTOR <i>[Signature]</i>
11097	Parrott 1 Island Rd Amtek Air Corp.	Mechanical Final	No one answers door - 2ND TIME 90" REINSPECTION FOR (2x45") CONTR. MUST BE PRESENT FOR NEXT INSPECTION	INSPECTOR <i>[Signature]</i>
11071	Resnick 14 Middle Rd Celentano Dev Group	Temp Electric	RESET	INSPECTOR

# TOWN OF SEWALL'S POINT

Building Department – Inspection Log

Date of Inspection  Mon  Tue  Wed  Thur  Fri 11/22/15 Page \_\_\_ of \_\_\_

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11026	Morris	Final		
Am Requested	120 Hillcrest Drive	Kitchen	PASS	CLOSE
	O/B	Remodel		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11060	Fabricy	Rough Paa		
	6 Oak Hill Way	Plumbing	PASS	
	Pools by Greg			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11139	Merendino	A/c		
	2 Castle Hill Way	Final	PASS	CLOSE
	All American A/c + Elec.			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
<del>11144</del>	Krett	Roof Sheathing		
	<del>3 Miramar Rd</del>	Dry-in + Metal		
	Campany Roof Maint.	Roof SHINGLE Sheathing in progress		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11143	Moscatello	Roof		
	1 Worth Ct	sheathing	PASS	
	Elite Roofing Solution			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11132	Moran	Rough +		
	32 N Sewall's Pt Rd	Final	PASS	CLOSE
	Peerless Plumbing	Plumbing		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11071	Resnick	Rough		
	14 Middle Rd	Slab Plumbing	PASS	<i>[Signature]</i>
	Celentano Dev Group			INSPECTOR



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection  Mon  Tue  Wed  Thur  Fri 11/21/15 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
<del>11127</del>	Krett	Roof Sheathing		
	<del>3 Marina Way Rd</del> Campany Roof Maint.	Dry-in Metal		<del>CHANGE AND REWORK</del>
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11017	Kahan	Final Mechanical		
	85 N SPR	call John 260-0915		
	Krauss + Crane	for ladder		PIPE CONDENSATE TO LEAVE
				INSPECTOR TO LEAVE
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11087	Kahan	Final		
	85 N SPR	Mechanical		
	Krauss + Crane			
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11135	Kahan	Final		
	81 N SPR	mechanical		
	Krauss + Crane			
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11110	Gaydos	Electrical Ragh		
	15 W High Point Rd	Plumbing Top out		
	TC Floors, Inc			
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR