

15 Miramar Road

TOWN OF SEWALL'S POINT - FLORIDA

Application For Building Permit

RIVIERA Bch

Owner STANLEY J. WALKER Present Address 3201 AVE J Phone 848-3189

Architect S. J. WALKER Address SAME

General Contractor S. J. WALKER Address SAME Phone 848-3189

Where Licensed _____ License No. _____

Plumbing Contractor AL Walker Where Licensed Rio STUART No. _____

Electrical Contractor Same Where Licensed _____ No. _____

Property Location MIRAMAR Subdivision _____ Lot No. 17

Lot Dimensions 104 X 140 Lot Area 15,000 Sq. Ft. _____

Purpose of Building RESIDENCE Type of Construction C.B.S

Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)

Outside of Walls 1704 Inside of Walls 1531

Street or Road building will front on MIRAMAR - FACING NORTH

Clearances - Front 50' RD & Back 25' Side 50' Side 40' River _____

Well Location SOUTH SIDE GARAGE Septic Tank Location FRONT (NORTHSIDE)

Building elevation (By Ordinance Definition) _____

Contract Price (Include Plumbing, Electrical, Air Conditioning) 18,500

<u>PERMIT FEE</u>	<u>New Home</u>	<u>Additions</u>	<u>Others</u>
General (\$2.00 per \$1000 or Fraction) <u>5</u>	<u>92.00</u>	_____	_____
Plumbing (Flat Fee) -----	<u>\$10.00</u>	<u>\$3.00</u>	_____
Electrical (Flat Fee) -----	<u>\$10.00</u>	<u>\$3.00</u>	_____
Total (To be paid by General Contractor or Owner) -----	<u>112.00</u>	_____	_____

SIGNED: - General Contractor or Owner Stanley J. Walker

Building Inspector Comments: Chris Winger

FOR TOWN RECORDS: Date Drawings submitted 8/25/71
 Date Permit approved 8/27/71
 Date Permit Fee paid 9/1/71
 Date First Inspection _____
 Date Final Inspection _____
 Date Occupancy approved _____

288

439

POOL

&

PATIO

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 439

Date Nov. 20, 1973

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner STANLEY WALKER Present Address 15 MIRAMAR Ph _____

General Contractor Bush Pools & Pickett ^{INC.} Address 3309 Alandor Dr. Pierce Ph 461 9246

Where licensed MARTIN Co License No. _____

Plumbing Contractor _____ License No. _____
Electrical Contractor _____ License No. _____

Street building will front on _____

Subdivision MIRAMAR Lot No. #17 Area _____

Building area, inside walls (excluding garage, carport, porches) Sq ft _____

Other Construction (Pools, additions, etc.) POOL & PATIO

Contract Price (excluding land, rugs, appliances, landscaping) \$ 4,050.⁰⁰

Total cost of permit \$ 4,050.00 # 20.25

Plans approved as submitted ^{for} _____ Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Erwin B. Bush
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

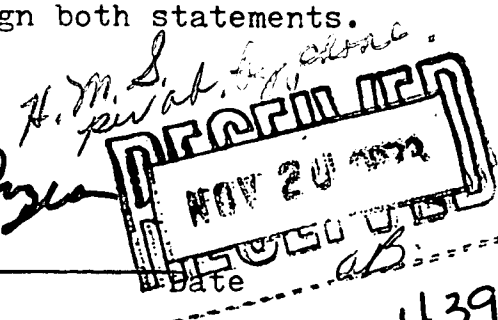
Stanley Walker
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted _____
Date approved 11/29/73 Chela Ozya

Issued 11-29-73 AB



Certificate of Occupancy issued _____

439

463

POOL ENCLOSURE

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Law

Permit No. 463
Date 4-12-74

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner X STANLEY WALKER Present Address 15 MIRAMAR RD Ph 283-4305

General Contractor X SAME Address _____ Ph _____

Where licensed X License No. _____

Plumbing Contractor _____ License No. _____

Electrical Contractor _____ License No. _____

Street building will front on _____

Subdivision X MIRAMAR Lot No. X 17 Area _____

Building area, inside walls (excluding garage, carport, porches) Sq ft _____

Other Construction (Pools, additions, etc.) Pool Enclosure

Contract Price (excluding land, rugs, appliances, landscaping) \$ 6000.00

Total cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Signed by General Contractor _____

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Stanley Walker
Signed by Owner

C. Kroll
4-11-74
Chy. F. Lambeth Jr.
4/11/74

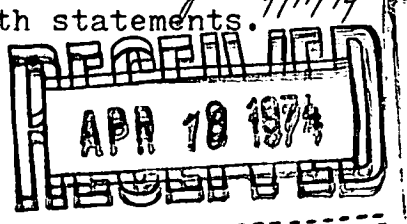
Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted _____

Date approved _____

Certificate of Occupancy issued _____ Date 463



TOWN OF SEWALL'S POINT
CERTIFICATE OF OCCUPANCY

DATE 4/12/74

This Certificate of Occupancy is issued for WALKER
 on Lot No: 17, Block _____, _____ Street,
MIRAMAR SID, constructed under Building Permit
 No. 463 on record in the Town of Sewall's Point Town Hall.

POOL ENCLOSURE

Construction of this building conforms to all Ordinances of
 the Town.

RECORD OF INSPECTIONS

ITEM	DATE	APPROVED BY
FOOTINGS		
ROUGH PLUMBING		
PERIMETER BEAM		
ROUGH ELECTRIC		
CLOSE IN		
FINAL PLUMBING		
FINAL ELECTRIC	<u>7/9/74</u>	<u>07</u>

PROOF OF SEPTIC TANK APPROVAL BY OTHERS, ie (COUNTY HEALTH DEPT.)

Approved by Building Inspector _____

Approved by Town Commission: _____

Utilities notified: _____ Date

1729

FENCE

Permit No. #1729

12/14/84 Fence In Place Date 8/8/84

RECEIVED
AUG 08 1984

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner John W. Coleman Present Address 15 MIRAMAR Rd

Phone 283-8258 STUART, FL

Contractor self Address _____

Phone _____

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: CHAIN LINK FENCE IN BACK YARD TO RESTRAIN DOG.

State the street address at which the proposed structure will be built:

15 MIRAMAR Rd.

Subdivision Sewalls Point Lot number 17 Block number 3

Contract price \$ 500^{XX} Cost of permit \$ 5^{XX}

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Marion Ed John Coleman

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owners John W. Coleman
Marion A. Coleman
TOWN RECORD

Date submitted 8/8/84 Approved: J. A. Mayhew 8/19/84
Building Inspector Date

Approved: J. C. Strubel Final Approval given: 8/16
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

Permit No. #1729

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

CONSTRUCTION PERMIT ONLY

Martin County Health Dept. No. 557-71

Owner Mr. & Mrs. Stanley Walker

Address Lot 17 - Miramar

Installed By Contractor

At Miramar

Septic Tank Capacity Minimum Rec'd. 900 Gallons

Drain Field Data 260 sq. ft. dt. - keep
10' from water supply line

NOTE: Installation must be in accord with requirements of Chapter 170C-4 FAC, Sanitary Code of Florida, and satisfactory final inspection must be made before work is covered. Permit void if not used within one year from date of issue.

Date of Application _____ Issue 8/25/71

Issued By J. Rhodes

STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
DIVISION OF HEALTH
Post Office Box 210 Jacksonville, Florida 32201

SEPTIC TANK PERMIT
San-428 Rev. 10/1/62

RIVER ROAD

Plans - Fence
15 MIRAMAR ROAD
SEWALLS POINT
FL 33494

August 8, 1984

RECEIVED
AUG 08 1984
Ans'd.....

MATERIALS

4' Chain Link
except for 6'
RAILROAD TIE AREA
TO BE CYPRESS OR
SIMILAR WEATHER-
INSECT TREATED
LUMBER

See details, below

CODE - Chain Link - GREEN

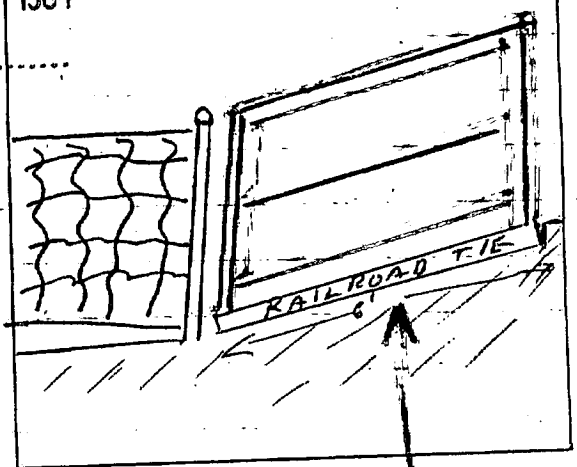
Wood - BLUE

Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

± 45'

Aug 8/15/84
RECEIVED
AUG 08 1984
Ans'd.....

Details of WOOD FENCE



MIRAMAR ROAD

GARAGE
AREA

POND
AREA

SCREENED
POOL
AREA

RAILROAD TIE

GATE
17'

6'

Plans - Fence
 15 MIRAMAR ROAD
 SEWALLS POINT
 FL 33494

August 8, 1984

RECEIVED
 AUG 08 1984
 Ans'd

MATERIALS

4' Chain Link
 except for 6'
 RAILROAD TIE AREA
 TO BE CYPRESS OR
 SIMILAR WEATHER-
 INSECT TREATED
 LUMBER

See details, below

CODE - Chain Link = GREEN

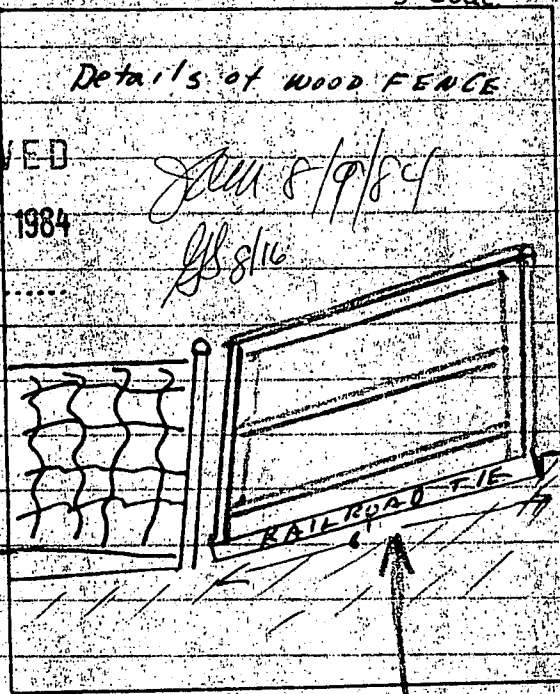
Wood = BLUE

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 Point's Ordinances, the South Florida
 Building Code and the State of Florida
 Model Energy Efficiency Building Code

Details of WOOD FENCE

RECEIVED
 AUG 08 1984
 Ans'd

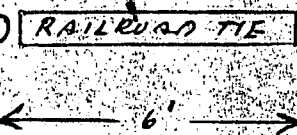
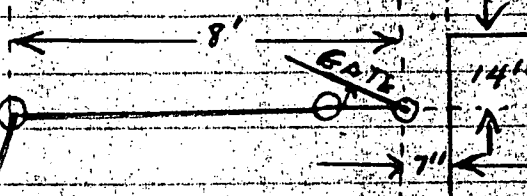
Jim 8/9/84
JS 8/16



GARAGE
 AREA

POND
 AREA

S
C
R
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A



Plans - Fence

15 MIRAMAR ROAD
SEWALLS POINT
FL 33494

August 8, 1984

RECEIVED
AUG 08 1984

Ans'd.....

MATERIALS

4' Chain Link
EXCEPT FOR 6'
RAILROAD TIE AREA
TO BE CYPRESS OR
SIMILAR WEATHER-
INSECT TREATED
LUMBER

See details, below

CODE - Chain Link = GREEN

Wood = BLUE

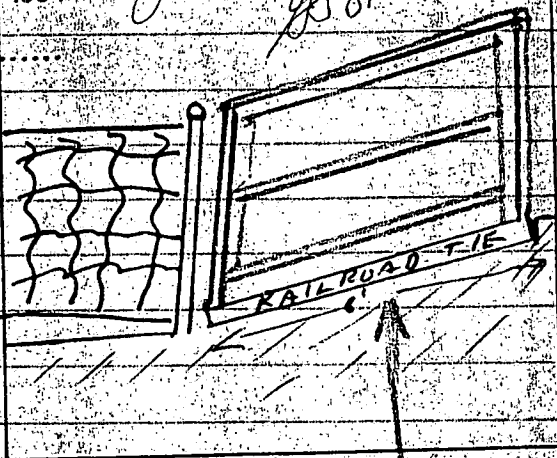
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Model Energy Efficiency Building Code

Details of Wood Fence

RECEIVED

AUG 08 1984

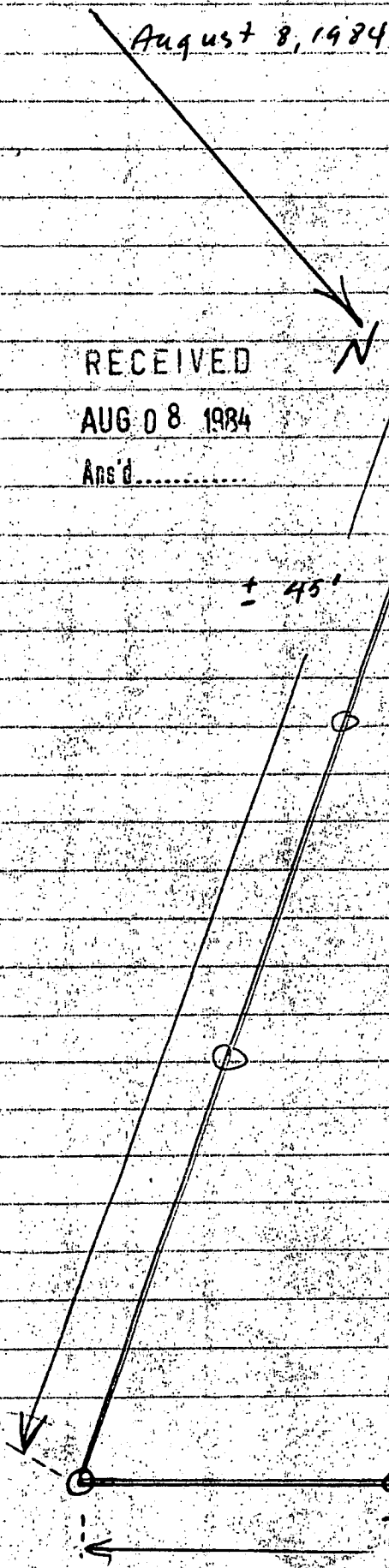
Ans'd.....



GARAGE
AREA

POND
AREA

S
C
R
E
E
N
E
D
S
POOL
AREA



GATE
17'

RAILROAD TIE

6'

2302

DRIVE GATES

&

SHADOW BOX FENCE

Permit Number

Date 5-9-88

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mr. Coleman Present Address 15 Miramar Rd

Phone 283-8258

Contractor PROPERTYGUARD FENCE Address _____

1501 DECKER AVENUE, E-501

Phone STUART, FLORIDA 33494

(305) 288-3555

Where licensed _____ License number 00574

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Roofing contractor _____ License number _____

Air conditioning contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 2-ten Foot Drive Gates, ONE 8' section 84" High

Shadowbox Fence

State the street address at which the structure will be built:

15 Miramar Rd - (Sewalls Rd.)

Subdivision _____ Lot number 17 Block number _____

Contract price \$ 527.85 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

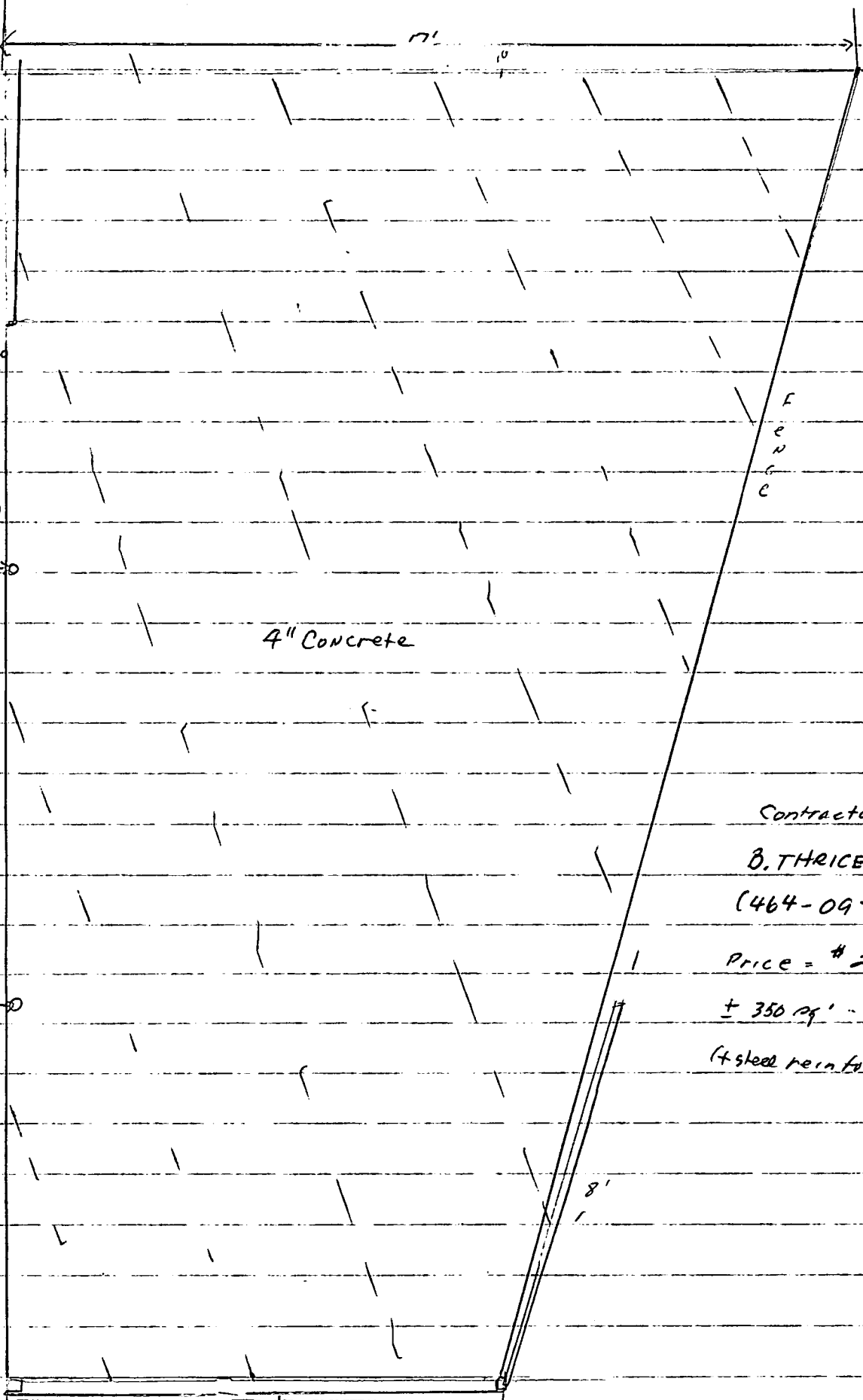
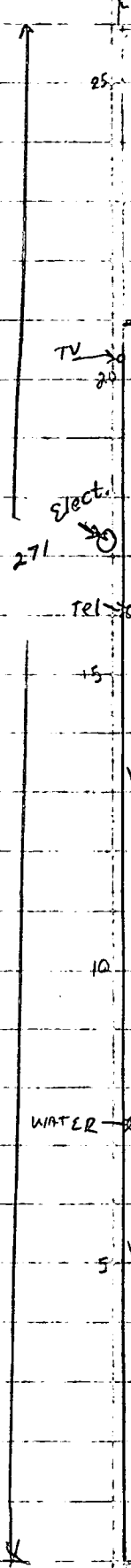
TOWN RECORD

Date submitted _____ Approved [Signature] Building Inspector _____ Date _____

Approved _____ Commissioner _____ Date _____ Final Approval given _____ Date _____

Certificate of Occupancy issued (if applicable) _____ Date _____

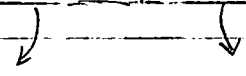
G
A
R
A
G
E



F
E
N
C
E

4" Concrete

Contractor
B. THRICE
(464-0972)
Price = \$ 200
± 350 sq' - 4" thick
(+ steel reinforcement)



FROM:



CORPORATION

FENCE BUILDING / AUTOMATIC GATES

PLEASE 1501 Decker Avenue

REMIT E-501

TO Stuart, Florida 33494

(305) 288-3555

TO: Mr. Coleman

15 Miramar Rd.

Sewalls Pt.

283-8258

ORDER DATE: 5/10/88

DELIVERY DATE: ASAP

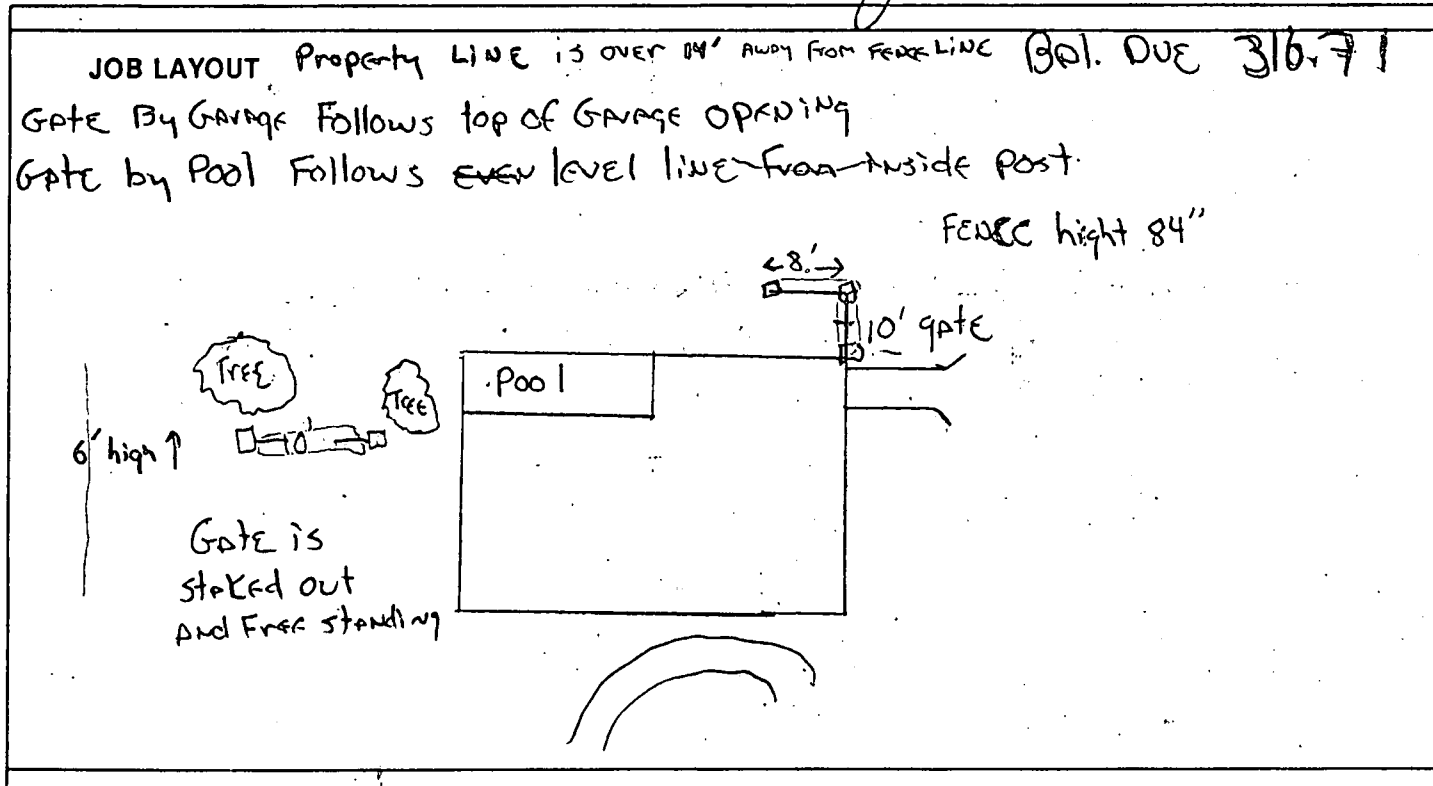
TERMS: 40% DEP

QUANTITY	DESCRIPTION	UNIT PRICE	SUB-TOTAL
1	8' section of 84" high shadowbox		
1	10' Drive Gate 84" high		
3	8' 4x4 Posts		338.55
	PT PINE warranty 10 yrs against Rot & Termites		
1	10' Drive Gate shadowbox 6'		
2	Posts		189.30
	check # RECEIVED \$11.14 cash		
	TOTAL		527.85

AUTHORIZED SIGNATURES (Please read back of this contract) 200.00 check (40%) 11.14 cash (211.14)

Seller David W Ottman

Purchaser Joan W Coleman



Lot 17 of Miramar - Sewalls PT Rd

JOBSITE ADDRESS Plat 3 Pg 111

HEIGHT 84" x 6' STYLE Shadowbox

FOOTAGE 38' FRAMEWORK 2x4 PT PINE

POSTS 5 4x4x8 TERMINALS _____

GATES 2 ACCESSORIES Gate hardware

FOLLOW THE GROUND _____ FENCE TOP STRAIGHT S.B. C.C.

PERMIT # _____ CABLE # FPL# 939 CABLE # 35515

Wed 11 Wed 11

FROM:



PROPERTYGUARD CORPORATION

FENCE BUILDING / AUTOMATIC GATES

PLEASE 1501 Decker Avenue

REMIT E-501

TO Stuart, Florida 33494

(305) 288-3555

TO: Mr. Coleman

15 Miramar Rd

Sewalls Pt

283-8258

ORDER DATE: 5/10/88

DELIVERY DATE: ASAP

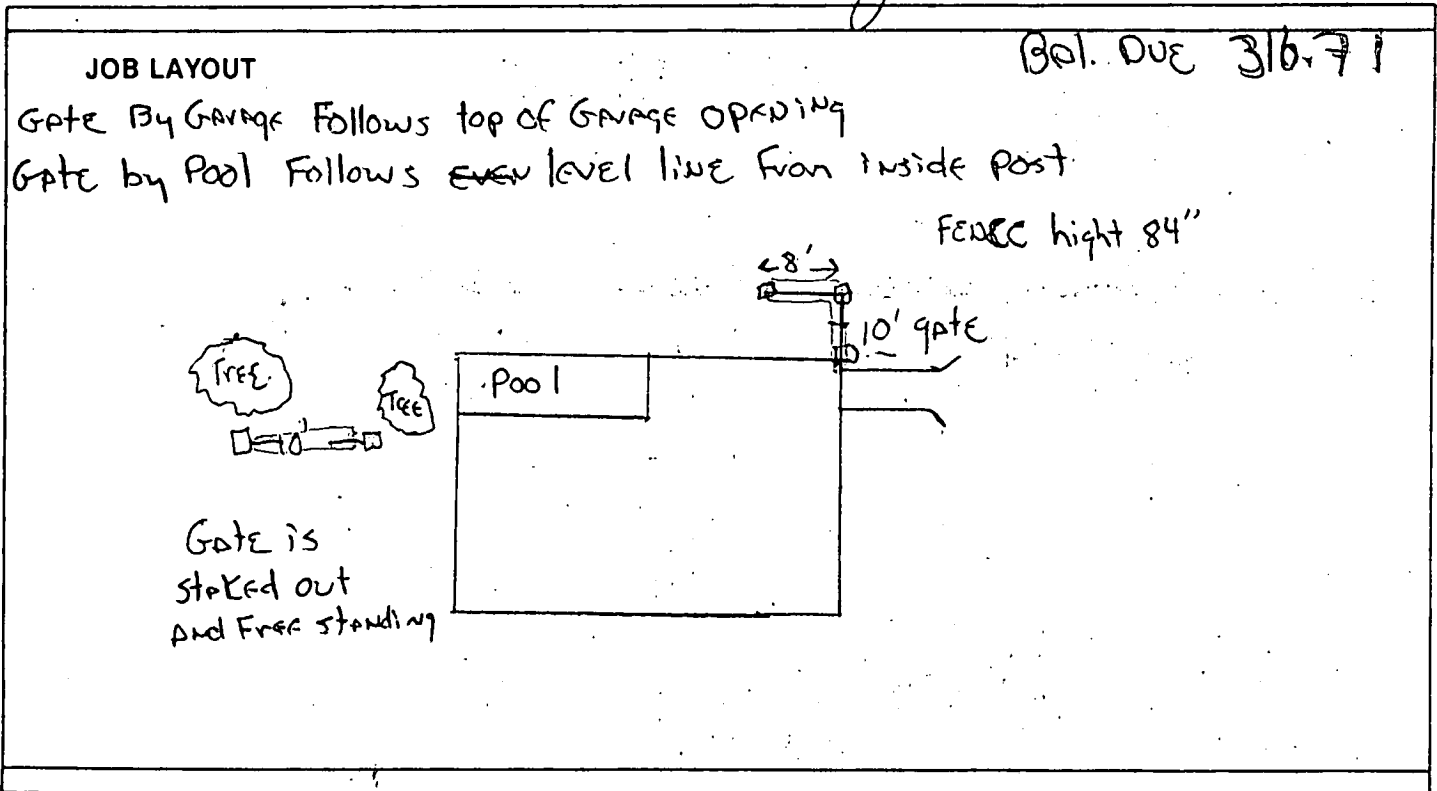
TERMS: 40% DEP

QUANTITY	DESCRIPTION	UNIT	SUB-TOTAL
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1	10' Drive Gate 84" high		
3	8' 4x4 Posts		338.55
	PT PINE WARRANTY 10 YRS AGAINST ROT & TERMITES		
1	10' Drive Gate shadowbox 6'		
2	Posts		189.30
	check # Received \$11.14 cash	TOTAL	527.85

AUTHORIZED SIGNATURES (Please read back of this contract) 200.00 check (40%) 11.14 cash (211.14)

Seller: [Signature]

Purchaser: [Signature]



Lot 17 of Miramar

JOBSITE ADDRESS: Plat 3 Pg 111

HEIGHT 84" x 6' STYLE Shadowbox

FOOTAGE 38' FRAMEWORK 2x4 PT PINE

POSTS 5 4x4x8 TERMINALS _____

GATES 2 ACCESSORIES Gate hardware

FOLLOW THE GROUND _____ FENCE TOP STRAIGHT

PERMIT # _____ CABLE # _____

Town of Sewall's Point

4443

PLN _____

Date _____

BUILDING PERMIT APPLICATION

to construct:

NEW CONSTRUCTION ADDITION ALTERATION DEMOLITION

RESIDENTIAL COMMERCIAL _____ SF _____ CF

OTHER: FENCE CONTRACT PRICE 2,100.00

Owner's Name LOU & MARGARET VOLPE

Owner's Address 15 MIRAMAR RD.

Fee Simple Titleholder's Name (If other than owner) _____

Fee Simple Titleholder's Address (If other than owner) _____

City STUART State FLA Zip 34996

Contractor's Name DANIEL KIMER (JUSTWOOD FENCE CO.)

Contractor's Address 5030 PINE RIDGE WAY

City STUART State FLA Zip 34996

Job Name _____

Job Address _____

City _____ State _____ Zip _____

Legal Description Miramar LOT 17 - 1-38-41-009-000-00170

Bonding Company _____

Bonding Company Address _____

City _____ State _____ Zip _____

Architect/Engineer's Name _____

Architect/Engineer's Address _____

Mortgage Lender's Name _____

Mortgage Lender's Address _____

Approved only as noted
Bob Bott 340000048

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS,

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Margaret Volpe 7-29-98
Owner or Agent Date

Daniel Kimer 7-29-98
Contractor Date

COUNTY OF MARTIN
STATE OF FLORIDA

Sworn to and subscribed before me this 29th day of July, 1998 by Daniel Kimer who: [] is/are personally known to me, or [] has/have produced Fl. d.L. as identification, and who did not take an oath.

Name: Joan H. Barrow

Typed, printed or stamped

(NOTARY SEAL)

OFFICIAL NOTARY SEAL
JOAN H BARROW
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. CC423705
MY COMMISSION EXP. NOV. 30, 1998

I am a Notary Public of the State of Florida having a commission number of _____ and my

commission expires: _____

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 29th day of July, 1998 by Margaret Volpe who: [] is/are personally known to me, or [] has/have produced Fl. d.L. as identification, and who did not take an oath.

Name: Joan H. Barrow

Typed, printed or stamped

(NOTARY SEAL)

OFFICIAL NOTARY SEAL
JOAN H BARROW
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. CC423705
MY COMMISSION EXP. NOV. 30, 1998

I am a Notary Public of the State of Florida having a commission number of _____ and my

commission expires: _____

Certificate of Competency Holder

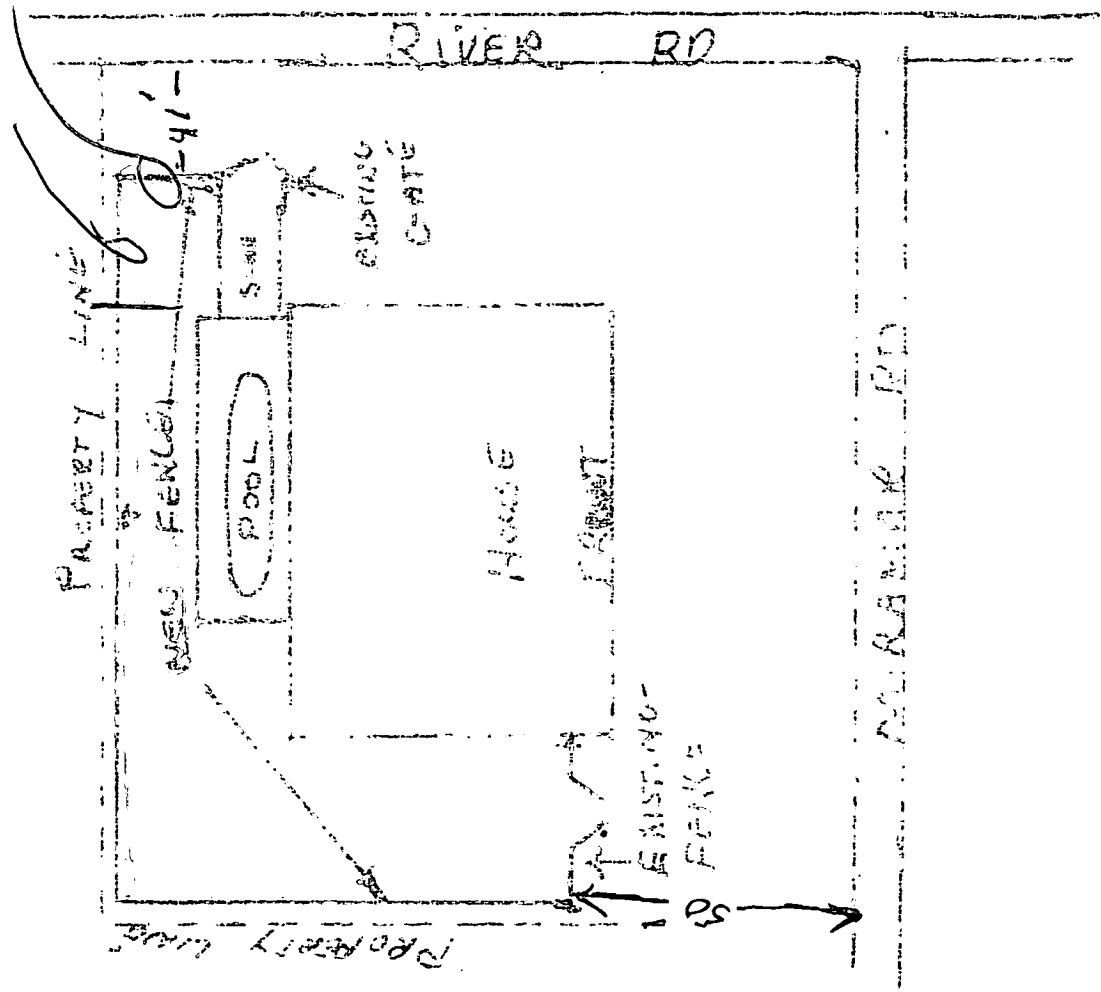
Contractor's State Certification or Registration No. _____

Contractor's Certificate of Competency No. _____

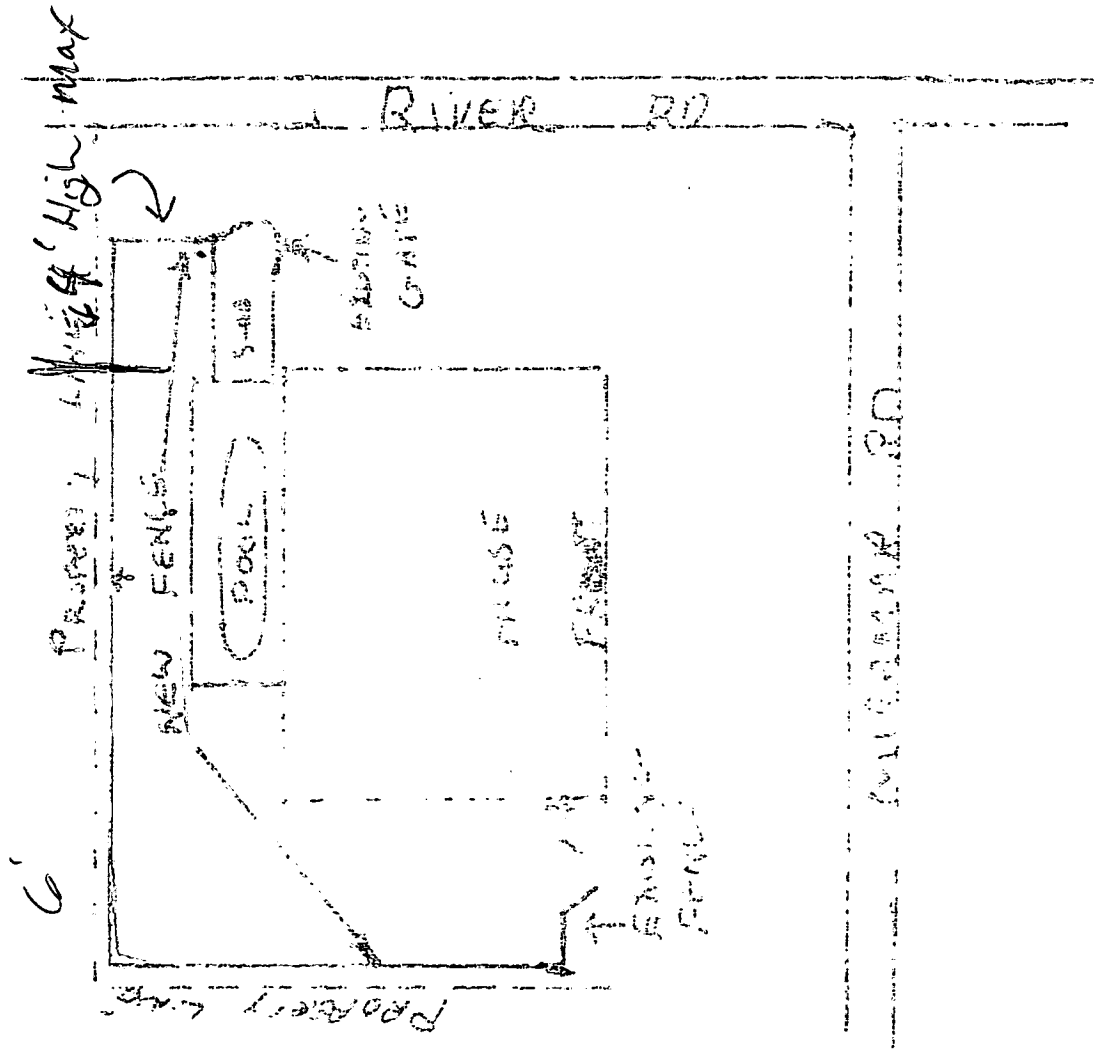
APPLICATION APPROVED BY _____ Permit Officer

Building Commissioner

4' high max. 35' from
ROW for to bldg line



JUSTIN OLD TOWER CO
3800 W. STATE RD
SMITH, FL 32077



WESLEY FIELD Fence Co
 3500 Paradise Way
 Stuart, FL 34997

CORRESPONDENCE

made copies + Filed Bg.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6-5-00, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4771	Van Weaner	dry-wall	Passed	
N ✓ (2)	3 Palama Way Diaz	screws	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4761	Foglia	final pool ✓	Reject	RECEIVE FIELD COPY OF SURVEY
S ✓ (6)	103 H. Sewall Way Foglia-STAR LIFE POOL		BG.	RAILING NOT BOWDED NO ONE ON JOB
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4955	Rica	driveway -	Partial	South Side
N ✓ (5)	5 Banyan (Indielucie)	partial BUWALNA'S CONC.	BG.	Only.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4939	Kennedy	storm	Passed	
N ✓ (3)	3 Oak Hill Way L&S DESIGN & CONST.	shutters (FINAL) M.Y.N. 4565	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4857	Conway	sub siding	Passed	WALLS + Lower
N ✓ (4)	4 Oak Hill Way Conway	nails & roof on garage nails	BG.	Roof Only
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4659	Conway	screws -	Passed	
N ✓ (1)	17 NE Loting Conway	dry-wall	BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
				INDIANTOWN SANITATION 220-9939

OTHER: T/R PERMIT APPL. - 20 S. SEWALL'S POINT RD.; BAUSCH (O/B) ✓ OK (As noted)
 CODE BNF. COMPL. - 8 ST. LUCIE CT; PAGE (GLASS HOMES - PN 4514) DUMPSTER/TRASH * ✓
 PERMIT FOLLOW-UP - 15 MILWAUKEE; VOLPE (IND. re new garage door - window - mat??) ✓

INSPECTOR (Name/Signature): _____ APPARENT - NEW DOC.

SEWALL'S PT. RESLOG

T 5/31

VILLAR, LUIS
92 N. SEWALL'S POINT ROAD
SEWALL'S POINT

VINCENZO, N.
4 RIVERVIEW
SEWALL'S POINT

Spouse -

VIOLA, VICTOR
105 N. SEWALL
SEWALL'S POINT

Spouse - CHRIS

PHONE CALL

FOR: EA	DATE: 5-23	TIME: 3:00 PM
MESSAGE: re: replacement garage door		
advice of code requirement		
REKMAN INSTRUCTED?		
SIGNED: he will come in to office		
<input checked="" type="checkbox"/>	TELEPHONED	
<input type="checkbox"/>	RETURNED YOUR CALL	
<input checked="" type="checkbox"/>	PLEASE CALL	
<input type="checkbox"/>	WILL CALL AGAIN	
<input type="checkbox"/>	CAME TO SEE YOU	
<input type="checkbox"/>	WANTS TO SEE YOU	

6 - Home

6 - Home

VOLPE, LOUIS
15 MIRAMAR ROAD
SEWALL'S POINT, FL. 34996

VON STADEN, HERMAN
20 N. VIA LUCINDIA
SEWALL'S POINT, FL. 34996

Spouse - CHARLOTTE

WACKENHUT, RICHARD
135 S. RIVER RD.
SEWALL'S POINT, FL. 34996

(561) 781-0966 - Home

Spouse - MOLLY

WADSTEN, RICHARD A.
7 RIVERVIEW DR.
SEWALL'S POINT, FL. 34996

(561) 287-3184 - Home

Spouse - EDYTHE

RECEIVED
MAY 23 2000
BY: _____

5371

RE-ROOF

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 5/9/01
Building to be erected for LOUIS VOLPE
Applied for by O/B (Contractor)
Subdivision MIRAMAR Lot 17 Block _____
Address 15 MIRAMAR ROAD
Type of structure S.F.R.

BUILDING PERMIT NO. 5371
Type of Permit RE ROOF
Building Fee _____
Radon Fee _____
Impact Fee _____
A/C Fee _____
Electrical Fee _____
Plumbing Fee _____
Roofing Fee \$ 120.00
TOTAL Fees \$ 120.00

Parcel Control Number:
01-38-41-009-000-00170-
Amount Paid \$ 120.00 Check # 1921 Cash _____ Other Fees (_____)
Total Construction Cost \$ 6,000.00

Signed [Signature] Applicant
Signed [Signature] Town Building Inspector OFFICIAL

RE-ROOFING PERMIT

INSPECTIONS			
DRY IN	DATE _____	PROGRESS	DATE _____
PROGRESS	DATE _____	FINAL	DATE _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS - 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

- New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

517



Town of Sewall's Point BUILDING PERMIT APPLICATION

RECEIVED Bldg. MAY - 7 2001

Permit Number: 5371

Owner or Titleholder's Name Louis Volpe BY: [Signature] Phone No. (561) 781-0266 Street: 15 MIRAMAR Rd City SEWALL'S POINT State: FL Zip 34996 Legal Description of Property: LOT 17, MIRAMAR

Parcel Number: 01-38-41-009-000-00170-70000

Location of Job Site: 15 MIRAMAR RD TYPE OF WORK TO BE DONE: RE-ROOF

CONTRACTOR/Company Name: OWNER/BUILDER Phone No. () Street: City State: Zip State Registration: State License:

ARCHITECT: Phone No. () Street: City State: Zip

ENGINEER: Phone No. () Street: City State: Zip

AREA SQUARE FOOTAGE - SEWER - ELECTRIC: Living Area: 1739 Garage Area: Carport: Accessory Bldg: Covered Patio: Scr. Porch: Wood Deck: Type Sewage: Septic Tank Permit # from Health Dept. New Electrical Service Size: AMPS

FLOOD HAZARD INFORMATION Flood zone: Minimum Base Flood Elevation (BFE): NGVD Proposed first habitable floor finished elevation: NGVD (minimum 1 foot above BFE)

COSTS AND VALUES Estimated cost of construction or improvement: \$ 6000. Estimated Fair Market Value (FMV) prior to improvement: \$ If Improvement, is cost greater than 50% of Fair Market Value? YES NO [checked] Method of determining Fair Market Value:

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.) Electrical: State: License # Mechanical: State: License # Plumbing: State: License # Roofing: State: License #

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required) [Signature] Owner State of Florida, County of: Martin On this the 27 day of May, 2000, by Louis Volpe who is personally known to me or produced El Dives as identification. [Signature]

CONTRACTOR SIGNATURE (Required) Contractor State of Florida, County of: On this the day of , 2000, by who is personally known to me or produced as identification.

Notary Public Mary P. Dezso My Commission Expires: October 27, 2002 BONDED (Seal) FAIR INSURANCE, INC.

Notary Public My Commission Expires: (Seal)

TREE REMOVAL (Attach sealed survey)

Number of trees to be removed: _____ Number of trees to be retained: _____ Number of trees to be planted: _____ Number of Specimen trees removed: _____

Fee: \$ _____ Authorized/Date: _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE

- a. Property Appraisers Parcel Number.
- b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- c. Contractors name, address, phone number & license numbers.
- d. Name all sub-contractors (properly licensed).
- e. Current Survey

2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.

3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.

4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:

- a. Floor Plan
- b. Foundation Details
- c. Elevation Views - Elevation Certificate due after slab inspection,
- d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
- e. Truss layout
- f. Vertical Wall Sections (one detail for each wall that is different)
- g. Fireplace drawing: If prefabricated submit manufacturers data

ADDITIONAL Required Documents are:

- 1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
- 2. Well Permit or information on existing well & pump.
- 3. Flood Hazard Elevation (if applicable).
- 4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
- 5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
- 7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
- 8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official:  Date: 5/9/01

Approved by Town Engineer _____ Date: _____
(If required)

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2600.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF FL

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

LOT 17, MIRAMAR 01-38-41-009-000-00170

GENERAL DESCRIPTION OF IMPROVEMENT: RE-ROOF

OWNER: Louis Volpe

ADDRESS: 15 MIRAMAR RD

PHONE #: 561-781-0266 FAX #: _____

CONTRACTOR: OWNER/BUILDER

ADDRESS: _____

PHONE #: _____ FAX #: _____

SURETY COMPANY(IF ANY): _____

ADDRESS: _____

PHONE #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____

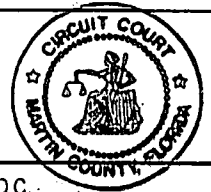
STATE OF FLORIDA
MARTIN COUNTY

FAX #: _____ THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK

BY [Signature] D.C.:

DATE 5-9-01



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

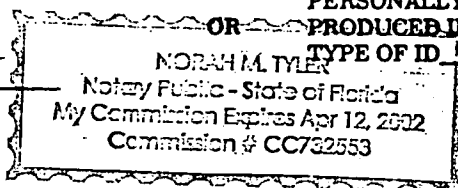
PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 9 DAY OF May
10 2001 BY LOUIS R. VOLPE

NOTARY SIGNATURE



PERSONALLY KNOWN OR PRODUCED BY TYPE OF ID FLOV41D-53650-127-0



EDWIN B. ARNOLD, AIA, CBO
Building Official

IA

TOWN OF SEWALL'S POINT

D.

Town Hall
One South Sewall's Point Road
Sewall's Point, Florida 34986

Phone (561) 287-2456
Fax (561) 220-4765

Disclosure Statement

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is in violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name Paul Volpe Date 5-9-01
Signed Lou Volpe
Address 15 Minamen Rd.
City & State Sewalls Point FL 34996
Permit No. 5371

This form is for all permits except electrical.
Revised October 25, 1995

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Southeastern Metals Manufacturing Co., Inc.
11801 Industry Drive
Jacksonville, FL 32226

Your application for Product Approval of:

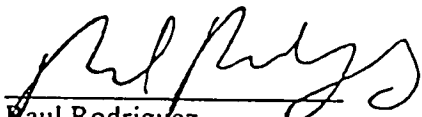
"5-V Crimp" Metal Roofing Panels

under Chapter 8 of the Miami-Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: **Construction Research Laboratory, Inc. and Hurricane Test Laboratory, Inc.** has been recommended for acceptance by the Building Code Compliance Office to be used in Dade County, Florida under the specific conditions set forth on pages 2-4 and the standard conditions on page 5.

This approval shall not be valid after the expiration date stated below. The Building Code Compliance Office reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code.

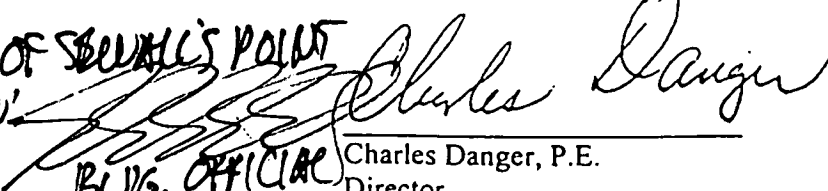
The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 98-0429.09 Renews & Revises: 97-0404.05
EXPIRES: 06/23/01


Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS
BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Miami-Dade County Building Code Compliance Office and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

5/9/01 TOWN OF SEWELL'S POINT
REVIEW

Bldg. Official

Charles Danger, P.E.
Director
Building Code Compliance Dept.
Miami-Dade County

APPROVED: 06/23/98

FILE TOWN COPY
15 MIRAMAR RD.

PN 5371



PRODUCT CONTROL NOTICE OF ACCEPTANCE
ROOFING SYSTEM APPROVAL

Applicant:
Southeaster Metal Manufacturing Co. Inc.
11801 Industry Drive
Jacksonville, FL 32218

Product Control No.: 98-0429.09
Approval Date: June 23, 1998

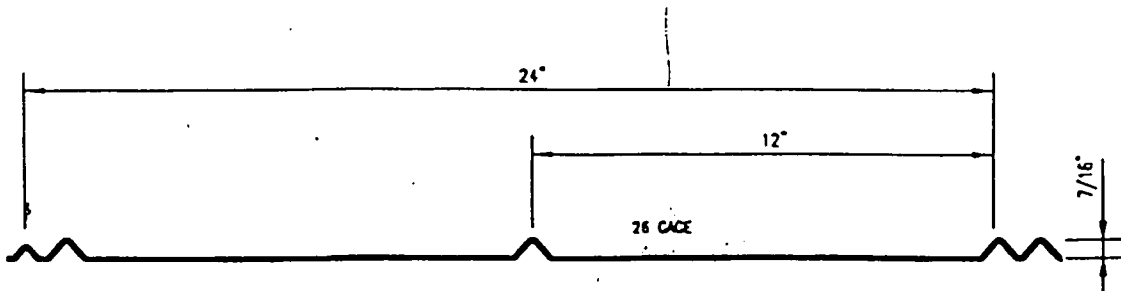
Expiration Date: June 23, 2001


Category: Prepared Roofing
Sub-Category: Panels
Type: Non-Structural
Sub-Type: Metal

Evidence Submitted

Test Agency	Test Identifier	Test Name/Report	Date
Construction Research Laboratory, Inc.	5898A	<u>Direct Deck Test</u> Uplift Pressure Testing ASTM E 330 Wind Driven Rain	Oct. 1993
Construction Research Laboratory, Inc.	5898B	<u>Over Battens Test</u> Uplift Pressure Testing ASTM E 330 Wind Driven Rain	Oct. 1993
Hurricane Test Laboratories, Inc.	0041-0102-98	UL -580 test PA 125	Jan. 1998

"5-V CRIMP" METAL ROOF PANELS




Frank Zuloaga, RRC
Roofing Product Control Examiner


System Description

- SYSTEM A-1S:** "5V-Crimp" 26 ga. Metal Panels
- Deck Type:** Wood, Non-insulated
- Deck Description:** $1\frac{9}{32}$ " or greater plywood or wood plank.
- Slope Range:** 2":12" or greater
- Maximum Uplift Pressure:** The maximum allowable design pressure for the 24" wide panel shall be -57.5 psf.
- Deck Attachment:** In accordance with chapter 29 of the SFBC, but in no case it shall be less than # 8 x $1\frac{3}{4}$ " screws or annular ring shank nails spaced at 6" oc. In re-roofing, where deck is less than $1\frac{9}{32}$ " thick (minimum $1\frac{5}{32}$ ") the above attachment method must be in addition to existing attachment.
- Underlayment:** Minimum underlayment shall be a ASTM D 226 Type II installed with a minimum 4" side-laps and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and $1\frac{1}{4}$ " annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll.
- Valleys:** Valley construction shall be in compliance with Miami-Dade County Roofing Application Standard PA 133 and with Southeastern Metal Manufacturing Company's current published installation instructions.
- Fire Barrier Board:** For class A or B fire rating, install minimum $\frac{1}{4}$ " thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Partek Insulations, Inc. (with current NOA)"Roctex" or $\frac{5}{8}$ " water resistant type X gypsum sheathing with treated core and facer, over the deck prior to installing the underlayment in compliance with Miami-Dade County Roofing Application Standard PA 133.
- Metal Panels and Accessories:** Install the "5V-Crimp Panels" including flashings penetrations, valleys, and accessories in compliance with Southeastern Metal Manufacturing Company's current, published installation instructions and in compliance with the minimum requirements detailed in Miami-Dade Roofing Application Standard PA133.
- "5V-Crimp Panels" shall be installed with a minimum #9 corrosion resistant sealing washer fastener of sufficient length (but not less than 2") to penetrate through the sheathing. Fasteners shall be spaced a minimum of 12" o.c. perpendicular to the slope, in rows spaced 16" o.c. running parallel to the slope of the roof.
- Fastener shall be spaced a minimum of 3" o.c from the end at the eaves and rakes. End panel seams shall be a minimum of 6" and sealed with double bead sealant tape. All perimeter attachment shall be in accordance with Miami-Dade County Protocol PA 111.


 Frank Zuloaga, RRC
 Roofing Product Control Examiner

SYSTEM LIMITATIONS

1. Increased design pressures at perimeter and corner areas, in compliance with chapter 23 of the SFBC, may be met through rational analysis by increasing the number of attachment points in these areas. The maximum fastener spacing noted in the "Systems Description" section of this approval shall not be exceeded. All rational analysis computation shall be prepared, signed and sealed by a Florida registered Professional Engineer proficient in structural design
2. Panels shall be roll formed in continuous lengths from eave to ridge. Maximum lengths shall be as described in Miami-Dade County Roofing Application Protocol PA 133.
3. All panels shall be permanently labeled with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved."



Frank Zuloaga, RRC
Roofing Product Control Examiner

SOUTHEASTERN METALS MANUFACTURING CO., INC.
Southeastern Metals Manufacturing Co., Inc.
11801 Industry Drive
Jacksonville, FL 32218


ACCEPTANCE NO: 98-0429.09
APPROVED : June 23, 1998
EXPIRES : June 23, 2001

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 1 through 5.

END OF THIS ACCEPTANCE

Page 5 of 5


Frank Zuloaga, RRC
Roofing Product Control Examiner

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ~~Thurs~~ ~~May 11, 2001~~, 2001; Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
5336	SACHS	FRAMING -	Passed	+ SIDING + WINDOW ANCA
(12)	78 N. SEWALLS PT. RD. MASTERPIECE BLDRS.	ALL TRADES		INSPECTOR: [Signature]
5328	DALLEY	REROOF - FINAL	Passed	
(13)	20 PERIWINKLE LN CAPPS & HUFF			INSPECTOR: [Signature]
5341	NOHEJL	FENCE - FINAL	Passed	
(8)	18 S. VIA LUCINDIA O/B			INSPECTOR: [Signature]
5342	NOHEJL	FENCE - FINAL	Passed	
(9)	6 N. RIDGEVIEW O/B			INSPECTOR: [Signature]
5343	BARDTLL	FENCE - FINAL	Passed	
(10)	4 N. RIDGEVIEW O/B			INSPECTOR: [Signature]
5371	VOLPE	REROOF (REROOF)	Passed	UNIT AS POSSIBLE
(14)	15 MIRAMAR O/B (781-0266)			INSPECTOR: [Signature]
5327	Geller	Screen incl.	Passed	see page 2
(6)	10 S. Palmetto Goodman Screen	reinspectio - FINAL		INSPECTOR: [Signature]
OTHER:	T/R SHEETS 101 S. RIVER RD C. ANDREW BENTLEY	FIELD VERIF	Passed	REMOVAL FOR CONST. PK 5372 ISSUED 5/10/01
(7)				[Signature]

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ~~Mon @ Wed~~ ~~FR~~ ~~JUNE 4~~ 2001; Page 2 of 3.



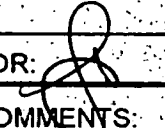
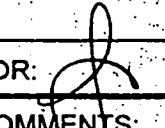
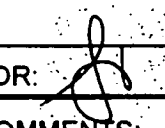
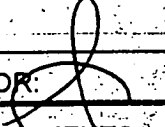
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5381	HARBOR BAY	IN PROGRESS	Passed	+ PRE-COURT. ASP 5/31/01
(14)	3740 SE OCEAN ROOFMAN			INSPECTOR: JG/4
5172	ECKNA	DRIVEWAY	Passed	
(6)	107 HENRY SEWALL WAY JMC			INSPECTOR: JG/4
5371	VOLPE	DCY IN	Passed	
(9)	15 MIRIMAC O/B	(10/17-1/2001)		INSPECTOR: JG/4
5380	GIFFORD	POOL STEEL	Passed	FORMBOARD SURVEY RECEIVED
(11)	85 N. SPR A+G	+ GROUND		INSPECTOR: JG/4
5372	SHEETS	DRIVEWAY -	Passed	
(8)	101 S. RIVER SPECIALTY CONCRETE	PRE POUR		ANDREW - 288-4793 INSPECTOR: JG/4
5013	DENNIS 16 RIDGELAND FL. & NEST	CLOSE IN (?)	CANCEL	G.C. request all trade Wed 6/6. INSPECTOR:
5363	JOHNSON	TEMP POLE	Passed	Called FPL 10:00
(10)	2 OAKHILL WAY DRIFTWOOD			INSPECTOR: JG/4

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/24, 20013 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5509	MILORD	FINAL	Passed	
	4 FIELDWAY DRIVE MILORD DEV. CORP.	ADDITION - BATH	Final	INSPECTOR: 
5565	RUPP	FINAL -	Passed	
	19 W. HIGHPOINT EMMICK CONSTR.	ENTRY ADDITION & ALTERATION		INSPECTOR: 
5515	WALKER	FINAL	Passed	
	6 CRANE'S NEST IANIERO	ADDITIONS & ALTERATION		INSPECTOR: 
5467	LOPILATO	FENCE - FINAL	Passed	
	4 ST. LUCIE COURT O/B			INSPECTOR: 
5371	NOUPE	REDOOR - FINAL	Passed	
	15 MIRAMAR RD O/B			INSPECTOR: 
5403	VOLPE	RF COPULA - FINAL	Passed	
	15-MIRAMAR RD O/B			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

5403

CUPOLA

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 5/31/01

BUILDING PERMIT NO. 5403

Building to be erected for LOUIS VOLPE

Type of Permit RF. CUPOLA

Applied for by O/B

(Contractor) Building Fee \$37.50

Subdivision MIRAMAR Lot 17

Block _____ Radon Fee _____

Address 15 MIRAMAR RD

Impact Fee _____

Type of structure S.P.R.

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

01-38-41-009-000-00170-70000

Roofing Fee _____

Amount Paid \$41.25

Check # 1963

Cash _____

Other Fees (PLAD REV) 3.75

Total Construction Cost \$ 1,000.00

TOTAL Fees \$41.25

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector [Signature]

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____
COMPACTION TESTS	DATE _____
GROUND ROUGH	DATE _____
SOIL POISONING	DATE _____
FOOTINGS / PIERS	DATE _____
SLAB ON GRADE	DATE _____
TIE-BEAMS & COLUMNS	DATE _____
STRAPS AND ANCHORS	DATE _____
DRIVEWAY	DATE _____
AS-BUILT SURVEY	DATE _____

SHEATHING	DATE _____
FRAMING	DATE _____
INSULATION	DATE _____
ROOF DRY-IN	DATE _____
ROOF FINAL	DATE _____
METER FINAL	DATE _____
AS BUILT SURVEY	DATE _____
STORM PANELS	DATE _____
LANDCAPE & GRADE	DATE _____
FINAL INSPECTION	DATE _____

FLOOD ZONE _____

LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS – 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.

FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT, NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE. DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!



Town of Sewall's Point
BUILDING PERMIT APPLICATION

RECEIVED Bldg. Permit Number: 5403
MAY 31 2001

Owner or Titleholder's Name Louis Volpe Phone No. (561) 781-0266
Street: 15 MIRAMAR Rd City: Sewall's Point State: FL Zip: 34996
Legal Description of Property: S.F.R - MIRAMAR LOT 17
Parcel Number: 01-3841-009-000-00170

Location of Job Site: 15 MIRAMAR -70000

TYPE OF WORK TO BE DONE: CUPOLA

CONTRACTOR/Company Name: JTB Phone No. () _____
Street: _____ City: _____ State: _____ Zip: _____
State Registration: _____ State License: _____

ARCHITECT: _____ Phone No. () _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER: _____ Phone No. () _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:
Living Area: _____ Garage Area: _____ Carport: _____ Accessory Bldg: _____
Covered Patio: _____ Scr. Porch: _____ Wood Deck: _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
New Electrical Service Size: _____ AMPS

FLOOD HAZARD INFORMATION
Flood zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD
Proposed first habitable floor finished elevation: _____ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES
Estimated cost of construction or improvement: \$ 1000
Estimated Fair Market Value (FMV) prior to improvement: \$ _____
If improvement, is cost greater than 50% of Fair Market Value? YES ___ NO ___
Method of determining Fair Market Value: _____

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)
Electrical: _____ State: _____ License # _____
Mechanical: _____ State: _____ License # _____
Plumbing: _____ State: _____ License # _____
Roofing: _____ State: _____ License # _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)
Louis Volpe
Owner
State of Florida, County of: Martin On
this the 31st day of May, 2001
by Louis R. Volpe who is personally
known to me or produced Fl. d. l.
as identification.

CONTRACTOR SIGNATURE (Required)

Contractor
State of Florida, County of: _____ On
this the _____ day of _____, 2000,
by _____ who is personally
known to me or produced _____
as identification.

Notary Public
Joan H. Barrow
My Commission Expires: _____
COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY F. (Seal) CE, INC.

Notary Public
My Commission Expires: _____
(Seal)

TREE REMOVAL (Attach sealed survey)

Number of trees to be removed: _____ Number of trees to be retained: _____ Number of trees to be planted: _____ Number of Specimen trees removed: _____
Fee: \$ _____ Authorized/Date: _____

DEVELOPMENT ORDER # _____

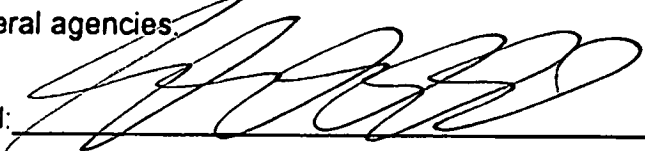
1. ALL APPLICATIONS REQUIRE

- a. Property Appraisers Parcel Number.
 - b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - c. Contractors name, address, phone number & license numbers.
 - d. Name all sub-contractors (properly licensed).
 - e. Current Survey
2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:
- a. Floor Plan
 - b. Foundation Details
 - c. Elevation Views - Elevation Certificate due after slab inspection,
 - d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 - e. Truss layout
 - f. Vertical Wall Sections (one detail for each wall that is different)
 - g. Fireplace drawing: If prefabricated submit manufacturers data

ADDITIONAL Required Documents are:

- 1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
- 2. Well Permit or information on existing well & pump.
- 3. Flood Hazard Elevation (if applicable).
- 4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
- 5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
- 7. A certified copy of the Notice of Commencement must be filed in this office and post at the job site prior to the first inspection.
- 8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

NOTICE: In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required' from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official:  Date: 5/31/07

Approved by Town Engineer _____ Date: _____
(If required)



EDWIN B. ARNOLD, AIA, CBO
Building Official

IA

TOWN OF SEWALL'S POINT

D.

Town Hall
One South Sewall's Point Road
Sewall's Point, Florida 34996

Phone (561) 287-2455
Fax (561) 220-4765

Disclosure Statement

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is in violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.



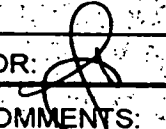



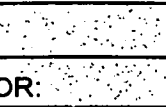
Name Louis Volpe Date 5.31.01
Signed [Signature]
Address 15 Miramar Rd
City & State Stuart FL 34996
Permit No. 5103

This form is for all permits except electrical.
Revised October 25, 1995

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/24, 2003 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5509	MILORD 4 FIELDWAY DRIVE MILORD DEV. CORP.	FINAL ADDITION - Bath	Passed Final	INSPECTOR: 
5565	RUPP 19 W. HIGHPOINT EMMICK CONSTR	FINAL - ENTRY ADDITION & ALTERATION	Passed	INSPECTOR: 
5515	WALKER 6 CRANE'S NEST IANIERO	FINAL ADDITIONS & ALTERATION	Passed	INSPECTOR: 
5467	LOPILATO 4 ST. LUCIE COURT O/B	FENCE - FINAL	Passed	INSPECTOR: 
5371	VOLPE 15 MIRAMAR RD O/B	REROOF - FINAL	Passed	INSPECTOR: 
5403	VOLPE 15 MIRAMAR RD O/B	RECOPIA - FINAL	Passed	INSPECTOR: 
				INSPECTOR: 

OTHER: _____

6695

REPAIR POOL DECK

&

FILL

STOP WORK ORDER

DATE: 4/15/09

ADDRESS: 15 MIRAMAR

OWNER/CONTRACTOR is hereby notified to STOP WORK immediately upon reading this notice.

The work described below requires a permit:

- NO PERMIT -

FILL & POOL DECK POOL-REPAIR

Continued work from the date of this notice will constitute additional fines and prosecution through the Sewall's Point Code Enforcement Board and/or the State Licensing Board.

LOENE SIMMONS
BUILDING OFFICIAL OR INSPECTOR

**DO NOT REMOVE THIS NOTICE
UNTIL PERMIT IS OBTAINED!**

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 4/15/04

BUILDING PERMIT NO. 6695

Building to be erected for VOLPE

Type of Permit REPAIR POOL DECK + FILL

Applied for by O/B

(Contractor) W/OUT W/O PERMIT Building Fee 250.00

Subdivision MIRAMAR Lot 17 Block _____

Radon Fee _____

Address 15 MIRAMAR ROAD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:
138410090000017070000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 250.00 Check # 3232 Cash _____ Other Fees (_____)

Total Construction Cost \$ 1000.00

TOTAL Fees 250.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED

APR 15 2004

Permit Number: _____

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Call early OK

BY:

OWNER/TITLEHOLDER NAME: LOUIS VOLPE Phone (Day) 781-0266 (Fax) _____

Job Site Address: 15 MIRAMAR RD City: SEWELLS PT State: FL Zip: 34996

Legal Description of Property: LOT 17 MIRAMAR, PLAT 3, PG 111 Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: REPAIR POOL DECK & ADD FILL TO BACKYARD

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 1000 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

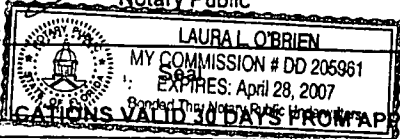
OWNER OR AGENT SIGNATURE (required): Louis Volpe

State of Florida, County of Martin
This the 15th day of APRIL, 2004
by LOUIS R. VOLPE who is personally

known to me or produced FDLVYU06204270X47/10
as identification. [Signature]

Notary Public

My Commission Expires: _____



CONTRACTOR SIGNATURE (required): _____

On State of Florida, County of: _____
This the _____ day of _____, 200____
by _____ who is personally

known to me or produced _____
As identification. _____

Notary Public

My Commission Expires: _____

Seal

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

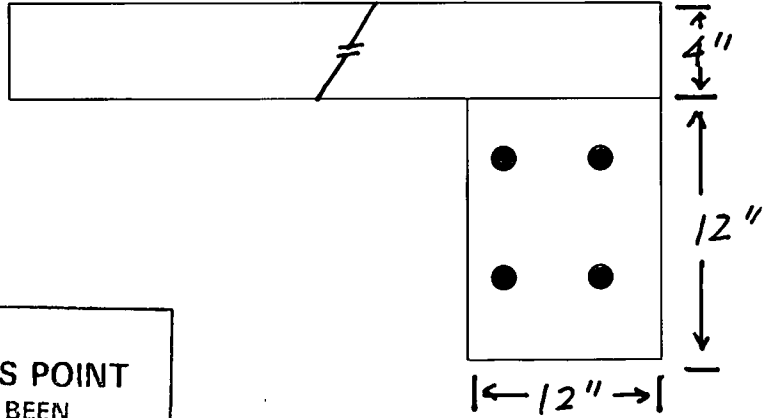
State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even through you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

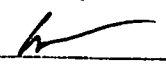
I have read the above and agree to comply with the provisions as stated.

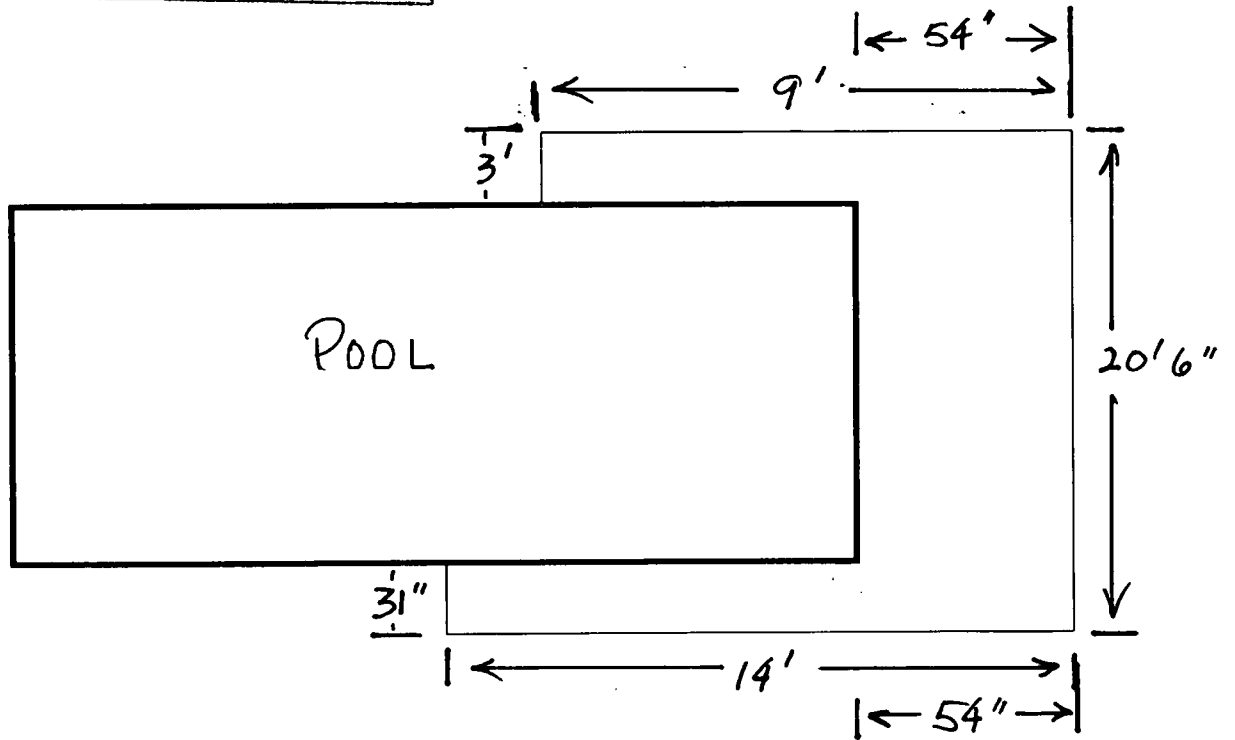
Name: Louis Volpe Date: 4.15.04
Signature: [Handwritten Signature]
Address: 15 Miramar
City & State: Sewalls Pt F
Permit No. _____

Pool Deck Concrete Repair
15 Miramar Rd

Pad/Footer Details:
4" Pad
12" x 12" Footer
Concrete: 2500 lb. Fiber Mix
Rebar: #5 Continuous



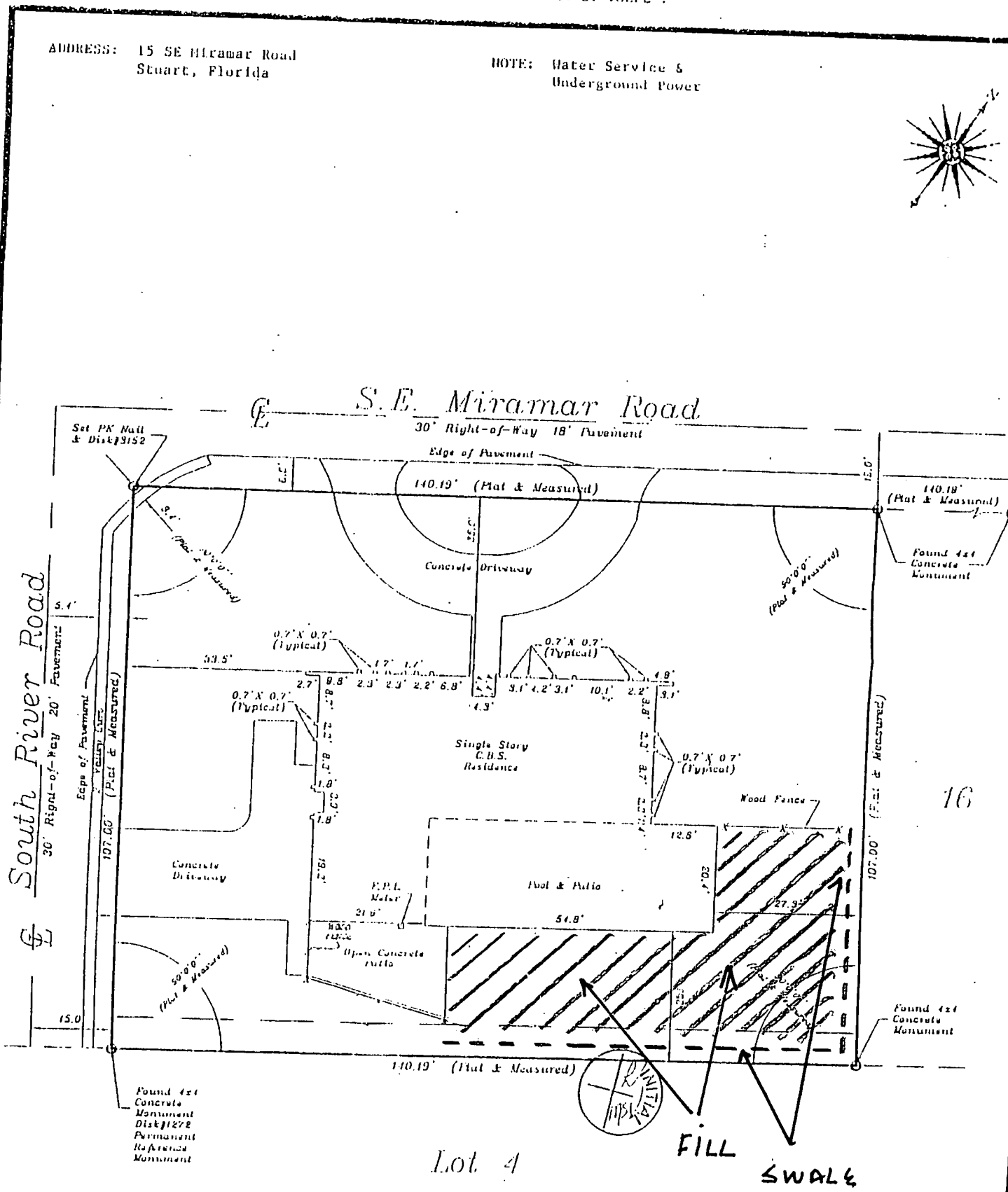
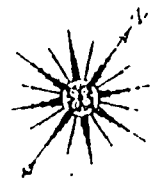
FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 4/16/04

BUILDING OFFICIAL
Gene Simmons



A BOUNDARY AND REQUIRED SURVEY FOR LOUIS & MARGARET S. VOLPE

ADDRESS: 15 SE Miramar Road
Stuart, Florida

NOTE: Water Service &
Underground Power



LEGAL DESCRIPTION: Lot 17, MIRAMAR, according to the Plat thereof, as recorded in Plat Book 3, Page 111 of the Public Records of Martin County, Florida.

CERTIFIED TO: FIRST ATLANTIC MORTGAGE CORPORATION, ITS SUCCESSORS AND/OR ASSIGNS;
KRAMER, SEVELL & SOKKO, P.A.;
COMMONWEALTH LAND TITLE INSURANCE COMPANY and
LOUIS VOLPE and MARGARET S. VOLPE

Flood Zone "C"

MIRAMAR, Lot 17

NO.	DATE	REVISION

PHILIP W. LANGBIEN
Land Surveyor, Inc.
382 N.W. Alice Avenue, Stuart, Florida 34991
(888) 888-1234 / (888) 888-1237
FAX (888) 888-2110

CERTIFICATE: This is to certify that this SPECIFIC SURVEY, of the herein described property, is true and correct to the best of my knowledge and belief, contains no errors or omissions, unless shown, and meets the Minimum Technical Standards set forth in Chapter 81013-6 F.A.C. by the Florida Board of Land Surveyors pursuant to Section 473.027, Florida Statutes.

[Signature]
PROFESSIONAL LAND SURVEYOR
STATE OF FLORIDA REGISTRATION NO. 3162

DATE: NOT VALID UNLESS SIGNED WITH AN APPROVED SURVEYOR'S SEAL.
This Survey prepared from legal description supplied by client.

DRAWN BY	DATE OF FIELD SURVEY	SCALE	PLAT BOOK AND PAGE
	11/7/97	1" = 20'	97-10106
			145 - 50

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/26, 2008 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6695	VOLPE	PRE-POOL DECK	PASS	7
1	15 MIRAMAR O/B	FIRST PLUMB		INSPECTOR: <i>[Signature]</i>
6655	WHITWELL	ROUGH GAS	FAIL	
3	1 MARGUERITE DR FERRELL GAS			INSPECTOR: <i>[Signature]</i>
Closed	GAUL	FINAL ROOF	—	WAITING FOR PRODUCT APPROVAL FOR SKYLITES
2	107 S. RIVER RD PACIFIC ROOFING			INSPECTOR: <i>[Signature]</i>
6697	HB ASSOC	FINAL ELEC	PASS	CLOSE
4	3752 OCEAN JIMMY ROWELL			INSPECTOR: <i>[Signature]</i>
5930	STEVENSON	KITCHEN RENOVATION FINAL	FAIL	
5	1 NE LAGOON ISLAND CT OLIVERI			INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>

OTHER: RIDGEVIEW + Post-a-potey
SSPR

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/23, 2004 Page _____ of _____

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6789	BAUMGARTNER	FINAL ROOF	PASS	CLOSE
7A	20 BANYAN ALL AMERICAN			INSPECTOR:
6762	GIANCILINO	POOL PUMPING		MON
	96 S SEWALL'S PT	BATHROOM		
	BAYVIEW CONST			INSPECTOR:
5707	WOLCOTT	FINAL RET'G WALL	PASS	CLOSE
1	32 RIO VISTA DR O/B			INSPECTOR:
6082	MILORD	TIE BEAM	PASS	
7B	10 N. SEWALL'S PT MILORD CO.			INSPECTOR:
6791	BOOYSEN	FENCE	PASS	CLOSE
2	48 RIO VISTA STREET F			INSPECTOR:
6695	VOLPE	FINAL	PASS	CLOSE
3	15 M. RAMAR O/B	REPAIR POOL DECK + FILL		INSPECTOR:
6787	O'KEEFE	FINAL POOL EXC	PASS	CLOSE
7	29 FIELDWAY SAILFISH ALUMINUM			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT, FLORIDA

Date April 16 ~~2004~~ TREE REMOVAL PERMIT No 2242

APPLIED FOR BY VOLPE (Contractor or Owner)

Owner 15 MIRAMAR

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 CITRUS

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simmons (GWS) Town Clerk
Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box with horizontal lines, likely for site plan or additional notes.

PROJECT DESCRIPTION _____

Empty lines for project description details.

REMARKS _____

Empty lines for remarks.

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner LOU VOLPE Address 15 MIRAMAR Phone 781-1844

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: citrus

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Dying to be replaced

Signature of Applicant [Signature] Date 4/15/04

Approved by Building Inspector: [Signature] Date 4/16 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

RIVER



KIRANAN

181-184

12 MIBMAS

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/16, 2004 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6642	HB ASSOCIATES	INT. REMODEL FINAL	FAIL	
10	3752 NE OCEAN BVD			INSPECTOR: <i>[Signature]</i>
	KF BUILDERS			
6501	BEAN	SHEATHING &	PASS	
6	112 S SEWALLS PT	TINTAGE METAL		INSPECTOR: <i>[Signature]</i>
	PACIFIC ROOFING			
7000	VOUPE	TISS	PASS	
7	15 MIRAMAR			INSPECTOR: <i>[Signature]</i>
6662	PHANEUF	FOOTER REPAIR	PASS	CLOSE
4	12 MANDALAY			INSPECTOR: <i>[Signature]</i>
	DENNIS PROCTOR			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>

OTHER:

9 KNOWLES PD NEED PERMIT POSTED.