

12 Oak Hill Way

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 10-14-98

BUILDING PERMIT NO. 4486

Building to be erected for Donald L. Cook Type of Permit RESIDENCE

Applied for by owner/builder (Contractor) Building Fee 2000

Subdivision Castle Hill Lot 6 Block --- Radon Fee 30.40

Address 12 Oak Hill Way Impact Fee 1505

Type of structure residence A/C Fee 100

10/14/99 CERTIFICATE OF OCCUPANCY ISSUED.
OWNER AFFIDAVIT OF CONST. COST: \$282,000.00
ADD'L PERMIT FEE: (82)(8)(1.25) = \$820.00
@ \$2.00/THOUSAND
+25% 0/18 FEE
PR 10/14/99 EK # 168

Parcel Control Number: 76 37 41 015 000-00010 Electrical Fee 100

Amount Paid _____ Check # 0093 Cash _____ Plumbing Fee 100

Total Construction Cost \$ 200,000.00 Other Fees (75%) 400.00

TOTAL Fees 3935.00

Signed [Signature] Applicant Signed [Signature] Town Building Inspector

Applicant

Town Building Inspector



OFFICIAL RECEIPT
(FOR MONEY RECEIVED)

No. 57366

DATE 10.14, 1998

RECEIVED FROM Legal Svcs. SCHOOL
Donald + Charlene Cook \$ 1,000.03
(NAME OR ORGANIZATION)
FOR Lot 6, Castle Hill
FOR DEPOSIT IN _____ FUND(S)
D. Gales
PRINCIPAL OR RESPONSIBLE OFFICER

Town of Sewall's Point

4486

PLN. _____

Date Sept. 1, 1998

BUILDING PERMIT APPLICATION

to construct

NEW CONSTRUCTION ADDITION ALTERATION DEMOLITION

RESIDENTIAL COMMERCIAL 3040 SF 24,320 CF

OTHER: _____ CONTRACT PRICE 200,000.00

Owner's Name Donald E. & Charlene J. Cook

Owner's Address 5885 Ramsey Road Ashville, NY 14710

Fee Simple Titleholder's Name (If other than owner) _____

Fee Simple Titleholder's Address (If other than owner) _____

City _____ State _____ Zip _____

Contractor's Name Owner/Builder (Const. Mgr. - Dick Hall)

Contractor's Address (See Above) Also - 9940 S. Ocean Dr. Unit 610

City Jensen Beach State FL Zip 34957

Job Name 12 Oakhill Way

Job Address 12 Oakhill Way

City Stuart State FL Zip 34996

Legal Description Castle Hill, Lot 6. PI# 26-37-41-015-000-00060-10000

Bonding Company _____

Bonding Company Address _____

City _____ State _____ Zip _____

Architect/Engineer's Name Megas Management Group, Inc.

John W. Olson, P.E.

Architect/Engineer's Address 5885 Ramsey Road Ashville, NY 14710

1366 S.W. Jasmine Trace, Palm City, FL 34990

Mortgage Lender's Name None

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA
COUNTY OF MARTIN


BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

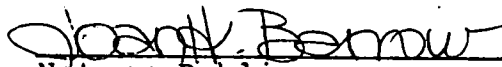
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 282,000.00.

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.



Affiant
Property street address:
12 Oak Hill Way
Castle Hill Sub 6 (permit 4486)

Sworn to and subscribed
before me this 14th day of
October, 1999.



Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires:

(NOTARY SEAL)



Joan H. Barrow
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIN INSURANCE, INC.

The MEGAS GROUP

5865 Ramsey Road
Ashville, New York 14710
Telephone / Fax (716) 789-3855

MEGATECH CORPORATION
Bulley Manufacturing Company
MEGAS MANAGEMENT GROUP, INC.
Megas Research & Development
DEC Associates
D. E. COOK, Principal

September 25, 1998

Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

Attn: Mr. Bob Bott, Building Inspector

Dear Bob:

As stated in my letter dated September 4, 1998 that was part of my application for a building permit for construction of our personal residence at 12 Oakhill Way, my application is as an "Owner/Builder". I have reviewed Chapter 489, Florida Statutes and included a copy of the required "Disclosure Statement" with my Building Permit Application dated September 01, 1998. Even with 20 years of experience in the construction business in New York State, as general contractors, we lacked the contacts and the experience with sub-contractors and suppliers in the local market in Florida. I am the property owner, and am acting as my own contractor as "Owner Builder" as our firm is not licensed per Florida statutes. In consideration of Florida statute 489.103, I understand that I assume all the responsibility for all onsite supervision of all sub-contractors and that there will be no delegation of this responsibility. Also please note that a "Certificate of Liability Insurance" (including workman's compensation) was included with our application.

As I stated in my letter and on the building permit application, I have hired Mr. Dick Hall as construction manager. He is hired as a sub-contractor, to provide various building services and to provide "STAFF" and consulting services with the selection of other service providers including sub-contractors and material suppliers. He will also coordinate the deliveries of materials and services. I will employ and directly supervise the work of all sub-contractors. As with New York State, all sub-contractors will be required to provide me with copies of insurance certificates and, as necessary, certificates/licenses required for the work to be performed. I do not believe that his employment as a sub-contractor with various non-supervisory and consulting services in addition to direct building activity violates provisions of Florida statutes 489.103 (7).

Also in my letter that was part of the building permit application package I stated that we had employed Mr. John W. Olson, P.E. to review, correct, and seal the plans indicating conformation to Sewall's Point building regulations. The plans were submitted to the level of detail required in our area. One of the purposes of the review by a Florida registered P.E. who had prior work experience with the Sewall's Point and south Florida codes was to submit sealed plans that would be acceptable with the area standards. The electrical, plumbing and mechanical drawings, were sealed by Mr. Olson as were the gravity and uplift connections for conformation to the stated and required codes. The chases in the open floor joist system are indicated for plumbing and air conditioning. I requested and received, on August 10th, a package, "General Conditions of Building Permits" and "Building Permit Application Checklist and Other Pertinent Information" (i.e. Sec. 4-16 (a), 4-17, 4-22, 4-29, and 4-32). I used this information to verify Mr. Olson's plan review and as the checklist for the building permit application. If additional detail is now required or if the requirements have changed, I will communicate the level of detail now required to Mr. Olson that your office and the Sewall's Point code requires.

A "Notice of Commencement" in accordance with Chapter 713, Florida Statutes, was submitted with the building permit application package. The format was taken from information on the internet as we did not receive a form in the August 10th package from the building department. If a different format is required please advise.

September 25, 1998

We plan on executing the move the Florida later this week or the first part of next week. Through October 2nd I may be reached at our New York office (716) 789-3855 ext. 60. Approximately October 7th and after our offices will be at a local number (561) 229-9430.

Since I am working with several suppliers in New York that requires coordination of transport to the work site in Florida it would be helpful to have our building schedule complete while I am at my New York office.

I would appreciate anything you can do to assist us in meeting the requirements so that we may start construction. I look forward to meeting and working with you on my arrival in Florida.

Sincerely,



Donald E. Cook

COPY

INDEPENDENT INSPECTIONS, LTD.

2431 Aloma Avenue
Winter Park, Florida 32792
1-800-422-5220 (407) 679-2272
Fax 1-800-422-9680

Disclosure Statement

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is in violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name DONALD E. COOK Date 09/01/98

Signed 

Address 5885 RAMSAY ROAD

City & State ASHVILLE, NY 14710

Permit No. _____

This form is for all permits except electrical.
Revised October 25, 1995

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
09/04/98

PRODUCER
AMES INSURANCE AGENCY
319 W MAIN ST PO BOX 3
FALCONER NY 14733-0003
716-665-3998

INSURED
BAILEY MANUFACTURING CO &
MEGAS MGMT GROUP & DONALD COOK
5883 RAMSEY RD
ASHVILLE, NY 14710

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURER A: TRAVELERS INSURANCE COMPANY
INSURER B:
INSURER C:
INSURER D:
INSURER E:


COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC	660-412K8524	06-01-98	06-01-99	EACH OCCURRENCE \$1,000,000 FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$1,000,000 PRODUCTS - COMPROP AGG \$
AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
EXCESS LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$	PFS-EX-605K366-A	06-01-98	06-01-99	EACH OCCURRENCE \$1,000,000 AGGREGATE \$1,000,000
WORKERS COMPENSATION AND EMPLOYERS LIABILITY	UB 305E059-0-98	06-01-98	06-01-99	<input checked="" type="checkbox"/> WC STATUTORY LIMITS E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

COPY

CERTIFICATE HOLDER TOWN OF SEWALL'S POINT 1 S SEWALL'S POINT ROAD STUART FL 34996	ADDITIONAL INSURED; INSURER LETTER:	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>30</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
---	--	--



Castle Hill

Property Owners Association, Inc.
Sewall's Point, Florida

August 25, 1998

Donald E. Cook
Megas Management Group, Inc.
5885 Ramsey Road
Asheville, New York 14710

RE: 12 Oak Hill Way

Dear Don,

The Castle Hill P.O.A. Design Review Committee has reviewed your application form and additional design information requested by our earlier letter. This note is to inform you that you are now approved for construction to commence, based on the plans and detail information you've sent us.

Please note that in the case Sewall's Point Building Department does not approve your plans for a building permit in the form that you've submitted them to us, any revision to the plans to accommodate the Building Department regulations must first be submitted to the Design Review Committee for re-approval.

Enclosed is a signed-off copy of your application form..

Looking forward to watching your construction commence - it should be a very interesting home.

Best of luck to you,

Daniel J. Wilberding
Chairman, Castle Hill POA-DRC

cc: Don Jefferson
cc: Gary Kelly

COPY

(714) 789-3855

PLAN REVIEW SEWALL'S POINT

residential

Town Ordinances

- Completed application for permit
- ~~Impact fee letter~~
- ~~Notice of Commencement # over \$2,500.00~~
- Applicable permits from other agencies (ie)DEP, Sewer and Irrigation, Road use
- Approval from homeowners Association or Arch. Review
- ~~License and Insurance for General and Sings. or architect for Owner/Builder~~
- Signed and Sealed building plans
- Wind load certifications for 140mph. exposure D ✓
- Survey showing; FFE, flood-zone, setbacks, sq. ft. of lot, and impervious surfaces
- Landscaping Plan
- Zoning applicable R-1
- Setbacks for zoning OK
- Flood Zone
- First floor Elevation 4'
- Overall height not to include chimney, vents, cupola 27'
- Tree permit OK
- Florida energy code forms ✓

Plans to include

- Site Plan showing retainage of stormwater and proposed elevations, attach calculations
- Driveway and parking plans -
- Exterior elevations
- Foundation Plan, bottom of all footings 12" below finished grade -
- ~~Framing plan showing ceiling heights, egress windows, safety glazing~~ COVER LETTER 9/4
- Typical wall sections
- Roof Plan with truss engineering 3 on site @ Post Insp
- ~~Door and Window engineering~~ COVER LETTER 9/4
- ~~Electrical Calculations, conformance with 1996 NEC~~
- ~~Smoke detectors in compliance with NFPA 74~~
- ~~Plumbing riser showing vent, drain sizes~~
- Conformance with South Florida Code for 140mph. wind exposure D ✓
- ~~Storm protection required for all doors and windows~~ COVER LETTER 9/4
- ~~Mechanical Plan showing sizes of ducts~~
- Cross sections, details, elevations ✓
- ~~Specifications on gravity, uplift connections~~ PLANS SHALL BE BY P.E.
- Attic access 22" X 36

Florida Accessibility Code

~~Stairs risers 7" max height, 1 1/2" min. depth, nosing 1/2" max~~ $10 + 1/8" = 11.25"$

~~Handrail 42" high~~

~~Thresholds max. height, 1/2" ?~~

3 or more steps, 30" sq. landing at top, doors not to swing over steps.

29" clear openings to toilet facilities

Local Amendments to the South Florida

Lintels 4-22

~~X~~ filled cells in lieu of poured columns require #5 bars placed in both jambs of all openings and 2 #5 bars at each corner poured solid and lapped properly

Copper wiring from load side of meter base

Wood 6" clearance from grade

~~Attic ventilation~~ *CONTRADICTIONS*

Guardrails for decks, balconies etc.

~~Toilet room ventilation~~

~~Fireplace details~~ *NONE*

~~Gas plan and permit~~ *NONE*

~~○ Jacuzzi pump access and shock prevention~~

○ Thickened edges on all concrete slabs, 8" width and depth with 1 #3 continuous

~~○ V-Zone requirements~~

~~○ Stairwell protection if storage under stairs, type X 5/8 drywall ?~~

Robert A. B. H.

Plans Examiner

[Signature]
Owner or Builder

10-14-98

Date

10/14/98

Date

CHAPTER 489, PART I
CONSTRUCTION CONTRACTING

489.101 Purpose. The Legislature recognizes that construction and home improvement industries may pose a danger of significant harm to the public when incompetent or dishonest contractors provide unsafe, unreliable, or short-lived products or services. Therefore, it is necessary in the interest of the public health, safety, and welfare to regulate the construction industry.

History.—ss. 1, 17, ch. 79-200; ss. 2, 3, ch. 81-318; ss. 1, 20, 21, ch. 88-156; s. 4, ch. 91-429.

489.103 Exemptions.—This part does not apply to:

(1) Contractors in work on bridges, roads, streets, highways, or railroads, and services incidental thereto. The board, in agreement with the Department of Transportation, shall, by rule, define "services incidental thereto" for the purposes of this subsection only.

(2) Any employee of a certificateholder or registrant who is acting within the scope of the license held by that certificateholder or registrant and with the knowledge and permission of the licenseholder. However:

(a) If the employer is not a certificateholder or registrant in that type of contracting, and the employee performs any of the following, the employee is not exempt:

1. Holds himself or herself or his or her employer out to be licensed or qualified by a licensee;

2. Leads the consumer to believe that the employee has an ownership or management interest in the company; or

3. Performs any of the acts which constitute contracting.

(b) The legislative intent of this subsection is to place equal responsibility on the unlicensed business and its employees for the protection of the consumers in contracting transactions.

For the purpose of this part, "employee" is defined as a person who receives compensation from and is under the supervision and control of an employer who regularly deducts the F.I.C.A. and withholding tax and provides workers' compensation, all as prescribed by law.

(3) An authorized employee of the United States, this state, or any municipality, county, irrigation district, reclamation district, or any other municipal or political subdivision, except school boards, the Board of Regents, and community colleges, unless for the purpose of performing routine maintenance or repair or construction not exceeding \$200,000 to existing installations, if the employee does not hold himself or herself out for hire or otherwise engage in contracting except in accordance with his or her employment. If the construction, remodeling, or improvement exceeds \$200,000, school boards, the Board of Regents, and community colleges, shall not divide the project into separate components for the purpose of evading this section.

(4) An officer appointed by a court when he or she is acting within the scope of his or her office as defined by law or court order. When construction projects which were

not underway at the time of appointment of the officer are undertaken, the officer shall employ or contract with a licensee.

(5) Public utilities, including special gas districts as defined in chapter 189, telecommunications companies as defined in s. 364.02(7), and natural gas transmission companies as defined in s. 368.103(4), on construction, maintenance, and development work performed by their employees, which work, including, but not limited to, work on bridges, roads, streets, highways, or railroads, is incidental to their business. The board shall define, by rule, the term "incidental to their business" for purposes of this subsection.

(6) The sale or installation of any finished products, materials, or articles of merchandise that are not fabricated into and do not become a permanent fixed part of the structure, such as awnings. However, this subsection does not exempt in-ground spas and swimming pools that involve excavation, plumbing, chemicals, or wiring of any appliance without a factory-installed electrical cord and plug. This subsection does not limit the exemptions provided in subsection (7).

(7) Owners of property when acting as their own contractor and providing direct, onsite supervision themselves of all work not performed by licensee contractors when building or improving farm outbuildings or one-family or two-family residences on such property for the occupancy or use of such owners and not offered for sale or lease, or building or improving commercial buildings, at a cost not to exceed \$25,000, on such property for the occupancy or use of such owners and not offered for sale or lease. In an action brought under this part, proof of the sale or lease, or offering for sale or lease, of any such structure by the owner-builder within 1 year after completion of same creates a presumption that the construction was undertaken for purposes of sale or lease. This subsection does not exempt any person who is employed by or has a contract with such owner and who acts in the capacity of a contractor. The owner may not delegate the owner's responsibility to directly supervise all work to any other person unless that person is registered or certified under this part and the work being performed is within the scope of that person's license. For the purposes of this subsection, the term "owners of property" includes the owner of a mobile home situated on a leased lot. To qualify for exemption under this subsection, an owner must personally appear and sign the building permit application. The local permitting agency shall provide the person with a disclosure statement in substantially the following form:

Disclosure Statement

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding.

You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use or occupancy. ~~It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not be an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct FICA and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.~~

(8) Any construction, alteration, improvement, or repair carried on within the limits of any site the title to which is in the United States or with respect to which federal law supersedes this part.

(9) Any work or operation of a casual, minor, or inconsequential nature in which the aggregate contract price for labor, materials, and all other items is less than \$1,000, but this exemption does not apply:

(a) If the construction, repair, remodeling, or improvement is a part of a larger or major operation, whether undertaken by the same or a different contractor, or in which a division of the operation is made in contracts of amounts less than \$1,000 for the purpose of evading this part or otherwise.

(b) To a person who advertises that he or she is a contractor or otherwise represents that he or she is qualified to engage in contracting.

(10)(a) Any construction or operation incidental to the construction or repair of irrigation and drainage ditches;

(b) Regularly constituted irrigation districts or reclamation districts; or

(c) Clearing or other work on the land in rural districts for fire prevention purposes or otherwise except when performed by a licensee.

(11) A registered architect or engineer acting within the scope of his or her practice or any person exempted by the law regulating architects and engineers, including persons doing design work as specified in s. 481.229(1)(b); provided, however, that an architect or engineer shall not act as a contractor unless properly licensed under this chapter.

(12) Any person who only furnishes materials or supplies without fabricating them into, or consuming them in the performance of, the work of the contractor.

(13) Any person who is licensed pursuant to chapter 527 when such person is performing the work authorized by such license.

(14) Any person who sells, services, or installs heating or air-conditioning units which have a capacity no greater than 3 tons or 36,000 Btu, which have no ducts, and which have a factory-installed electrical cord and plug.

(15) The installation and maintenance of water conditioning units for domestic, commercial, or industrial purposes by operators of water conditioning services. No municipality or county may adopt an ordinance, rule, or regulation which requires such an operator to become licensed, certified, or registered as a plumber or which otherwise prevents the installation and maintenance of such water conditioning units by an operator.

(16) An architect or landscape architect licensed pursuant to chapter 481 or an engineer licensed pursuant to chapter 471 who offers or renders design-build services which may require the services of a contractor certified or registered pursuant to the provisions of this chapter, as long as the contractor services to be performed under the terms of the design-build contract are offered and rendered by a certified or registered general contractor in accordance with this chapter.

*History.—*ss. 11, 17, ch. 79-200; ss. 2, 3, ch. 81-318; s. 1, ch. 84-160; s. 1, ch. 87-235; ss. 2, 20, 21, ch. 88-156; s. 3, ch. 89-115; s. 69, ch. 89-162; s. 1, ch. 89-343; s. 29, ch. 89-374; s. 38, ch. 90-228; ss. 34, 68, ch. 91-137; s. 4, ch. 91-429; s. 7, ch. 92-55; s. 1, ch. 93-154; s. 1, ch. 93-166; s. 255, ch. 94-119; s. 4, ch. 96-298; s. 73, ch. 96-388; s. 1125, ch. 97-103.

Note.—Redesignated as s. 364.02(12) by s. 6, ch. 95-403.

489.105 Definitions.—As used in this part:

(1) "Board" means the Construction Industry Licensing Board.

(2) "Department" means the Department of Business and Professional Regulation.

(3) "Contractor" means the person who is qualified for, and shall only be responsible for, the project contracted for and means, except as exempted in this part, the person who, for compensation, undertakes to, submits a bid to, or does himself or herself or by others construct, repair, alter, remodel, add to, demolish, subtract from, or improve any building or structure, including related improvements to real estate, for others or for resale to others; and whose job scope is substantially similar to the job scope described in one of the subsequent paragraphs of this subsection. For the purposes of regulation under this part, "demolish" applies only to demolition of steel tanks over 50 feet in height; towers over 50 feet in height; other structures over 50 feet in height, other than buildings or residences over three stories tall; and buildings or residences over three stories tall. Contractors are subdivided into two divisions, Division I, consisting of those contractors defined in paragraphs (a)-(c), and Division II, consisting of those contractors defined in paragraphs (d)-(q):

(a) "General contractor" means a contractor whose services are unlimited as to the type of work which he or she may do, except as provided in this part.

(b) "Building contractor" means a contractor whose services are limited to construction of commercial buildings and single-dwelling or multiple-dwelling residential buildings, which commercial or residential buildings do not exceed three stories in height, and accessory use structures



METROPOLITAN DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Vinyl Tech/Progressive Glass Technology
1070 Technology Drive
Nokomis FL 34275

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-8339

Your application for Product Approval of:
Series 2500 Aluminum Sliding Glass Door
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: **Applicant, along with Drawing No. 741, Sheets 1 thru 5 of 5. (For listing, see Section 8 of this Notice of Acceptance)**

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 96-1023.03

Expires: 05/22/00

Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 05/22/97

-1-



Vinyl Tech/Progressive Glass TechnologyACCEPTANCE No.: 96-1023.03APPROVED : MAY 22 1997EXPIRES : MAY 22 2000NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS**1. DESCRIPTION OF UNIT**

1.1 This approves an aluminum sliding glass door designed and tested to comply with the South Florida Building Code, 1994 Edition for Dade County, for the locations where the pressure requirements, as determined by ASCE 7-88 "Minimum Design Loads for Building and Other Structures", do not exceed the Design Pressure Rating values in Section 7 and within the limitations contained in Section 3.

1.2 Model Designation: Series 2500 Aluminum Sliding Glass Door

1.3 Overall Size: 16' 4" wide by 9' 0" high x 3-1/2" deep.

1.4 Configuration a) OXXO (Non reinforced)
b) OXXO (Reinforced)

1.5 No. & Size of Panels:

Four on two tracks: Two center moving panels moving on interior track, and one fixed panel at each end and are :Three panels of 50-1/8" by 107" high and one panel of 50-1/8" by 107" high.

2. MATERIAL CHARACTERISTICS

2.1 Frame and Door Panel Material: Aluminum alloy 6063-T5.

2.2 Glazing

2.2.1 Glazing Material: Full lite, 3/16" tempered glass

2.2.2 Glazing Method: Channel glazed with 1/2" glazing penetration using a flexible channel vinyl glazing bead.

2.2.3 Daylight Opening Size (tested unit) Each lite approx. 45" wide by 103" high.

2.3 Frame Construction:

2.3.1 Head: A 1.000" ext. face x 0.750" int. face x 3.624" deep x .050" wall thickness extruded aluminum 2-track channel. (Part # 68179).

2.3.2 Jamb: A .687" face x 3.500" wide x .062" wall thickness extruded aluminum 2-track jamb (Part # 68180).

2.3.3 Sill: A 4.59 wide x 1.250 high x 0.562 face x 0.062 wall thickness extruded (Part # 68181).

2.3.4 Corner construction: Butt joints, each frame corners may be secured with two #5 x 1/2" frame assembly SMS.

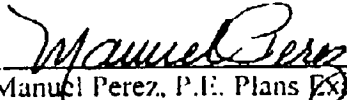
2.4 Panel Construction:

2.4.1 Stiles: Panel jamb stile consist of a 2.437" face x 1.032" deep x .062" wall thickness extruded aluminum hollow tube with a .908" wide x .500" deep glazing pocket , (Part # 69362)

Lock (male) stile consist of a 2.437" face x 1.032" deep x .062" wall thickness extruded alum. hollow tube with a .908" wide 0.500 glazing pocket (Part # 69362). Note: the panel jamb stile described above may also be used as a lock stile.

Astragal (female) stile consist of a 2.562" face x 2.990" deep x .062" wall hollow alum. tube with .375" wide x .500" glazing pocket and two grooves for weatherstrips (Part # 69492)

Interlock stiles are 2.310" face x 1.452" deep x .062" wall thickness extruded alum. hollow with a .376" wide x .560" deep glazing pocket and two grooves for weatherstrips (Part # 69409)


Manuel Perez, P.E. Plans Examiner II
Product Control Division

Vinyl Tech/Progressive Glass TechnologyACCEPTANCE No.: 96-1023.03APPROVED : MAY 22 1997EXPIRES : MAY 22 2000NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

2.4.2 Rails: Top rail is a 1.375" face x 0.890" deep x .062" wall thickness extruded aluminum tube with a .375" wide x .500" deep glazing pocket, two screw splines and two grooves for weatherstrip (Part # 68172).

Bottom rail is a 2.438" face x 0.890" deep x .062" wall thickness extruded alum. tube with a 0.375 wide x .500" deep glazing pocket with two grooves for weatherstrip (Part # 68173).

2.4.3 Corner construction: Panel corners are butt joined; each top panel corner secured with two #10 x 3/4" SMS, each bottom panel corner secured with one 1/4" x 1" Machine Screw.

2.5 Weatherstripping:

	<u>Quantity</u>	<u>Description</u>	<u>Location</u>
2.5.1	Double row	Pile with integral plastic lin	At each panel top rail, bottom rail, astragal and jams.
2.5.2	Single row	Pile with integral plastic fin	At interlock stiles.


2.6 Hardware:

	<u>Quantity</u>	<u>Description</u>	<u>Location</u>
2.6.1	Eight	Adjustable steel wheels in steel housing. <i>Nationwide Ind.</i> (Part No. 7S-24Z)	Two each end of each moving panel bottom rail.
2.6.2	One	Aluminum Keeper <i>Nationwide Ind.</i> Part No. 7SDKEEP	At right center panel female astragal. 41-1/4" from bottom.
2.6.3	Sixteen	Plastic guide.	At each end of each top and bottom rail.
2.6.4	One	3/16" diameter security steel lock pin	72" from bottom of interlock stiles
2.6.5	One	Surface mount Alum. hook lock, <i>Deco Products.</i>	At left center panel male astragal stile. 41-1/4" from bottom.

2.7 Weepholes:

	<u>Quantity</u>	<u>Description</u>	<u>Location</u>
2.7.1	Two	1/2" weep notch	At each end of screen track in sill
2.7.2	Four	1" weep notch	At each end of each panel track.

2.8 Muntins: None


Manuel Perez, P.E. Plans Examiner II
Product Control Division

Vinyl Tech/Progressive Glass Technology

ACCEPTANCE No.: 96-1023.03

APPROVED : MAY 22 1997

EXPIRES : MAY 22 2000

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

2.9 Reinforcement:

- a) None
- b) See Table below:

	Quantity	Description	Location
2.9.1	Four	1-1/4" x 1/2" x 102-3/4" Aluminum bar	One inside each interlock stile.
2.9.2	Two	1-1/4" x 1/2" x 102-3/4" Aluminum bar	Inside of astragal (female) stile.

2.10 Sealants and Pads: Frame installation screws and lower panel corners are sealed with aluminum colored sealant, Schneer-Morehead 5504. Frame corners are sealed with white colored sealant, Schneer-Morehead 5504.

	Quantity	Description	Location
2.10.1	Six	1-1/2" x 1-1/16" adhesive back pile pad	One in frame sill and head at each interlock and astragal stiles

2.11 Additional Description: A 2.672" high overall interior sill flange.

3. LIMITATIONS

- 3.1 These approvals apply to single unit applications only, as shown in Section 10.
- 3.2 Other configurations allowed: OX, XO, XX, OXO, XXX and XXXX.
- 3.3 Head receptor is not allowed to be used in this installation.
- 3.4 For Design Pressure Rating vs. Door Size, and Reinforcement. See Comparative Analysis Tables in Section 9.
- 3.5 This approval consists of a sliding glass door with reinforcement and without reinforcement (see Section 2.9)
 - 3.5.1 For doors without reinforcement, use table 7.1 to determine the Design Pressure Rating.
 - 3.5.2 For doors with reinforcement, use table 7.2 to determine the Design Pressure Rating.

4. INSTALLATION

4.1 Screws and Method of Attachment

- SILL :** Single Row of #12 wood Screw, or 1/4" Tapcon, located at 2-3/4" from corners, and the rest at 16" o.c. max. Min. penetration shall be 1-1/4" into wood buck or masonry and 1-1/2" in concrete
- JAMBS :** Double Rows of #12 Wood Screw, or 1/4" Tapcon, located 6" from corners and the rest at 14" o.c. max. Min. penetration shall be: 1-1/4" into wood buck or masonry, and 1-1/2" into concrete.
- HEAD :** Single Rows of #12 Wood Screw, or 1/4" Tapcon, located 2-3/4" from corners and the rest at 16" o.c. max. Min. penetration shall be: 1-1/4" into wood buck or masonry, and 1-1/2" into concrete.


 Manuel Perez, P.E. Plans Examiner II
 Product Control Division

Vinyl Tech/Progressive Glass TechnologyACCEPTANCE No.: 96-1023.03APPROVED : MAY 22 1997EXPIRES : MAY 22 2000NOTICE OF ACCEPTANCE: SPECIFIC CONDITION

Fixed Panels: Each fixed panel jamb stile is anchored to frame jamb with three plastic clips (Part # 41814) located at 18" and 36" from each end, and one at mid span; each secured to stile with one #8 x 3/4" Self Drilling Screw and into jamb with one #8 x 3/4" SMS.

One 1-3/4" x 1-3/4" x 1" by 1/8" aluminum angle in frame sill at bottom of fixed panel interlock stiles, fastened to frame with two #8 by 1" SMS, and to stile with two #8 by 1" SMS. One 1-3/4" x 1-3/4" x 1/2" by 1/8" alum. angle in frame head at top of fixed panel interlock stile, fastened to frame with two #8 x 1" SMS, and to stile with two #8 x 1" SMS.

Moving Panels: One 7/8" x 9/16" x 1/8" x 4" long, aluminum retainer angle in sill at mid span of each panel bottom rail, astragal, and one in head at top of astragal stiles; each fastened to frame with four #8 x 3/4" SMS.

Note: Please see Note #11, Page 3

4.2 Limit shim space to a maximum of 1/4".

4.3 Attachments of sub-bucks shall be designed by the Architect or Engineer of Records and must be in compliance with the South Florida Building Code.

4.4 Fasteners must have their own Notice of Acceptance and must be made of stainless steel or have adequate protection against corrosion, per DIN 50018. Aluminum contacting metals not considered compatible shall be properly protected.

5. IDENTIFICATION

5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Dade County Product Control Approved"

6. USE

6.1 Application for building permit shall be accompanied by two copies of the following:

6.1.1 This Notice of Acceptance

6.1.2 Completely dimensioned drawing showing size and location, including height above grade of opening to receive door, mean roof height, length and width of building.

6.2 The Building Official shall ensure the adequacy of door to meet the pressure requirement of the opening in which it is to be installed.

6.3 Note: The installation of this unit will require a hurricane protective system.


 Manuel Perez, P.E. Plans Examiner II
 Product Control Division

Vinyl Tech/Progressive Glass Technology

ACCEPTANCE No.: 96-1023.03

APPROVED : MAY 22 1997

EXPIRES : MAY 22 2000

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

7. TESTS

7.1 TESTS PERFORMED: RESULTS:

TEST	TEST LOADS	DESIGN LOADS
<i>For OXXO configuration with no reinforcement</i>		
AIR INFILTRATION @ 1.57 PSF SFBC PA 202-94 (0.34 CFM/FT ²)	0.36CFM/FT ² FTL-1381	-----
UNIFORM STATIC PRESSURE AT DESIGN LOAD SFBC PA 202-94 POSITIVE	+35.0 PSF FTL-1381	+35.0 PSF FTL-1381
UNIFORM STATIC PRESSURE AT DESIGN LOAD SFBC PA 202-94 NEGATIVE	-35.0 PSF FTL-1381	-35.0 PSF FTL-1381
WATER RESISTANCE (PSF) ASTM E517/E331	+11.70 PSF FTL-1381	+78.0 PS FTL-1381
UNIFORM STATIC PRESSURE AT FULL TEST LOAD ASTM E330 PA 202-94 POSITIVE 30 Seconds	+52.5 PSF FTL-1381	+35.0 PSF FTL-1381
UNIFORM STATIC PRESSURE AT FULL TEST LOAD ASTM E330 PA 202-94 NEGATIVE 30 Seconds	-52.5 PSF FTL-1381	-35.0 PSF FTL-1381
FORCED-ENTRY RESISTANCE (FER) SFBC 3603 2(h)(5) and AAMA 1303.5-76	NO ENTRY FTL-1381	-----
Design Pressure Rating (Positive)		+35.0 PSF
Design Pressure Rating (Negative)		-35.0 PSF
For Design Pressure Rating vs. Window Size, see Table in Section 9.1 "Comparative Analysis"		

Manuel Perez
 Manuel Perez, P.E. Plans Examiner II
 Product Control Division

Vinyl Tech/Progressive Glass Technology

ACCEPTANCE No.: 96-1023.03

APPROVED : MAY 22 1997

EXPIRES : MAY 22 2000

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

7.2 TESTS PERFORMED:

RESULTS:

TEST	TEST LOADS	DESIGN LOADS
For OXXO configuration with aluminum reinforcement - (See Section 2.9 for description of reinforcement)		
AIR INFILTRATION @ 1.57 PSF SFBC PA 202-94 (0.34 CFM/FT ²)	0.37 CFM/FT ² FTL-1382	-----
UNIFORM STATIC PRESSURE AT DESIGN LOAD SFBC PA 202-94 POSITIVE	+50.0 PSF FTL-1382	+50.0 PSF FTL-1382
UNIFORM STATIC PRESSURE AT DESIGN LOAD SFBC PA 202-94 NEGATIVE	-50.0 PSF FTL-1382	-50.0 PSF FTL-1382
WATER RESISTANCE (PSF) ASTM E547/E331	+11.70 PSF FTL-1382	+78.0 PSF FTL-1382
UNIFORM STATIC PRESSURE AT FULL TEST LOAD ASTM E330 PA 202-94 POSITIVE 30 Seconds	+75.0 PSF FTL-1382	+50.0 PSF FTL-1382
UNIFORM STATIC PRESSURE AT FULL TEST LOAD ASTM E330 PA 202-94 NEGA FIVE 30 Seconds	-75.0 PSF FTL-1382	-50.0 PSF FTL-1382
FORCED-ENTRY RESISTANCE (FER) SFBC 3603.2(b)(5) and AAMA 1303.5-76	NO ENTRY FTL-1382	-----
Design Pressure Rating (Positive)		+50.0 PSF
Design Pressure Rating (Negative)		-50.0 PSF
For Design Pressure Rating vs. Window Size, see Table in Section 9.2 "Comparative Analysis"		

Manuel Perez
 Manuel Perez, P.E. Plans Examiner II
 Product Control Division

Vinyl Tech/Progressive Glass TechnologyACCEPTANCE No.: 96-1023.03APPROVED : MAY 22 1997EXPIRES : MAY 22 2000NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS**8. EVIDENCE SUBMITTED****8.1 Tests**

- 8.1.1 Test reports on
- 1) Air Infiltration Test, per PA 202-94
 - 2) Uniform Static Air Pressure Test, Loading per PA 202-94
 - 3) Water Resistance Test, per PA 202-94
 - 4) Forced Entry Test, per SFBC 3603.2 (b) and PA 202-94

along with installation diagram and marked-up drawings of an aluminum sliding glass door with an OXXO configuration, (no reinforcement) prepared by Fenestration Testing Laboratory, Inc. No. FTL-1381, dated September 16, 1996, signed and sealed by Gilbert Diamond, P.E.

- 8.1.2 Test reports on
- 1) Air Infiltration Test, per PA 202-94
 - 2) Uniform Static Air Pressure Test, Loading per PA 202-94
 - 3) Water Resistance Test, per PA 202-94
 - 4) Forced Entry Test, per SFBC 3603.2 (b) and PA 202-94.

along with installation diagram and marked-up drawings of an aluminum sliding glass door with an OXXO configuration, (with reinforcement), prepared by Fenestration Testing Laboratory, Inc. No. FTL-1382, dated September 17, 1996, signed and sealed by Gilbert Diamond, P.E.

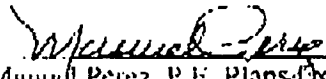
8.2 Drawings:

8.2.1 Manufacturer's die drawings and sections.

8.2.2 Assembly Drawing No 741, Sheets 1 thru 5 of 5; Vinyl Tech, "Series 2500 Sliding Glass Door", prepared by Vinyl Tech, dated 4/22/97, signed and sealed by Ivan R. Dory, P.E..

8.3 Calculations:

8.3.1 Comparative analysis and anchor calculations, prepared by Ivan R. Dory, P.E., dated October 15, 1996, signed and sealed by Ivan R. Dory, P.E.


Manuel Perez, P.E. Plans Examiner II
Product Control Division

Vinyl Tech/Progressive Glass Technology

ACCEPTANCE No.: 96-1023.03

APPROVED : MAY 22 1997

EXPIRES : MAY 22 2000

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

9. COMPARATIVE ANALYSIS :

9.1 Without Reinforcement

a) Negative Design Loads (PSF) based on Comparative Analysis.

Door	Door Widths								
Heights	48.000"	72.000"	96.000"	72.000"	108.00"	144.00"	96.00"	144.00"	192.00"
72.000"	100.87	74.72	63.04	100.87	74.72	63.04	100.87	74.72	63.04
80.000"	89.00	65.08	54.04	89.00	65.08	54.04	89.00	65.08	54.04
96.000"	72.05	51.73	42.03	72.05	51.73	42.03	72.05	51.73	42.03
108.00"	63.04	44.83	36.02	63.04	44.83	36.02	63.04	44.83	36.02
OX, XO or XX			OXO or XXX			OXXO or XXXX			

b) Positive Design Loads (PSF) based on Comparative Analysis.

Door	Door Widths								
Heights	48.000"	72.000"	96.000"	72.000"	108.00"	144.00"	96.00"	144.00"	192.00"
72.000"	60.67	60.67	60.67	60.67	60.67	60.67	60.67	60.67	60.67
80.000"	60.67	60.67	54.04	60.67	60.67	54.04	60.67	60.67	54.04
96.000"	60.67	51.73	42.03	60.67	51.73	42.03	60.67	51.73	42.03
108.00"	60.67	44.83	36.02	60.67	44.83	36.02	60.67	44.83	36.02
OX, XO or XX			OXO or XXX			OXXO or XXXX			

Manuel Perez
 Manuel Perez, P.E. Plans Examiner II
 Product Control Division

Vinyl Tech/Progressive Glass Technology

ACCEPTANCE No.: 96-1023.03

APPROVED : MAY 22 1997

EXPIRES : MAY 22 2000

NOTICE OF ACCEPTANCE: SPECIFIC CONDITION

9.2 With Aluminum Reinforcement (See Section 2.9 for description of reinforcement)

a) Negative Design Loads (PSF) based on Comparative Analysis.

Door	Door Widths								
Heights	48.000"	72.000"	96.000"	72.000"	108.00"	144.00"	96.00"	144.00"	192.00"
72.000"	130.00	106.74	90.06	130.00"	106.74	90.06	130.00"	106.74	90.06
80.000"	127.14	92.97	77.19	127.14	92.97	77.19	127.14	92.97	77.19
96.000"	102.93	73.90	60.04	102.93	73.90	60.04	102.93	73.90	60.04
108.00"	90.06	64.04	51.46	90.06	64.04	51.46	90.06	64.04	51.46
	OX, XO or XX			OXO or XXX			OXXO or XXXX		

b) Positive Design Loads (PSF) based on Comparative Analysis.

Door	Door Widths								
Heights	48.000"	72.000"	96.000"	72.000"	108.00"	144.00"	96.00"	144.00"	192.00"
72.000"	60.67	60.67	60.67	60.67	60.67	60.67	60.67	60.67	60.67
80.000"	60.67	60.67	60.67	60.67	60.67	60.67	60.67	60.67	60.67
96.000"	60.67	60.67	60.04	60.67	60.67	60.04	60.67	60.67	60.04
108.00"	60.67	60.67	51.46	60.67	60.67	51.46	60.67	60.67	51.46
	OX, XO or XX			OXO or XXX			OXXO or XXXX		

10. TYPICAL DOOR ELEVATION AND CROSS SECTIONS: See Vinyl Tech/PGT Drawing No. 741, Sheets 1 thru 5 of 5, bearing the Dade County Product Control approval stamp.

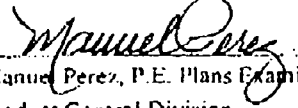

 Manuel Perez, P.E. Plans Examiner II
 Product Control Division

Vinyl Tech/Progressive Glass TechnologyACCEPTANCE No.: 96-1023.03APPROVED : MAY 22 1997EXPIRES : MAY 22 2000NOTICE OF ACCEPTANCE, STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the *correct installation of the product*;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Acceptance contains pages 1, 2, 2(a) through 2(h) and this last page 3.

Items 10, 11 & 12 listed below only apply to glazed products and doors

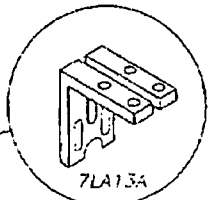
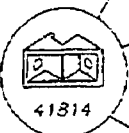
10. Unless specifically indicated in the Acceptance (approval), this unit is approved as a single unit installation. For multiple installation of this unit, a separate Acceptance for mullions is required from the Product Control Section.
11. The spacing of fasteners at window sills shall be as indicated in Section 4 of this Notice of Acceptance. The spacing of *fasteners in all other parts of the frame, shall be as indicated in Section 4 of this Notice of Acceptance, but in no case shall exceed 24" on center. The first fastener shall be located at a maximum of 6" from each corner and mullion or stile. Fastener shall fully penetrate the buck, which shall be the same size as the one tested with the unit. No wood or plastic shields or pins shall be used for anchoring.*
12. Hardware for all windows and doors shall conform to Security and Forced Entry Prevention, Chapter 36 of the South Florida Building Code.


 Manuel Perez, P.E. Plans Examiner II
 Product Control Division

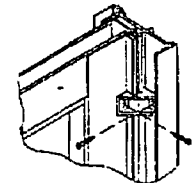
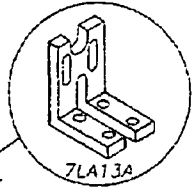
END OF THIS ACCEPTANCE

REMOVE TOP RAIL ASSEMBLY SCREWS AND REUSE TO INSTALL TOP FIXED PANEL CLIP TO PANEL JAMB. USE TWO #10 x 3/4" PAN HEAD PHIL.(75134) TO ATTACH CLIP TO MAIN FRAME HEAD.

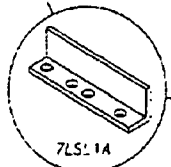
NOTE: (5) REQ'D 18" & 36" FROM EACH END & ONE AT MIDSPAN



USE TWO #10 x 3/4" PAN HEAD PHIL. (71034-A) TO ATTACH BOTTOM CLIP TO PANEL JAMB USING BRKT. AS A TEMPLATE PRE-DRILL PANEL JAMB WITH A 3/32" DRILL BIT BEFORE DRIVING SCREWS. THEN ATTACH BRKT. TO SILL WITH #10 x 1 1/2" HEX. HD. TAP CON FURNISHED BY INSTALLER.

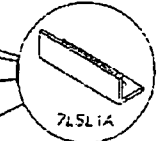
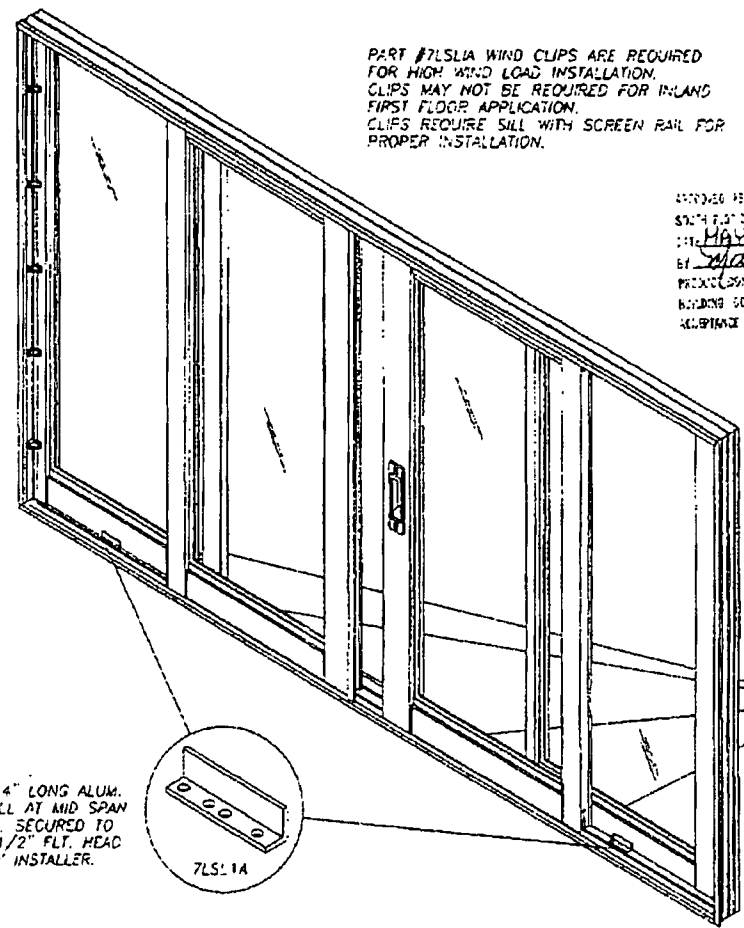


ONE 7/8" x 5/8" x 1/8" x 4" LONG ALUM. RETAINER ANGLE IN FRAME SILL AT MID SPAN OF EACH PANEL BOTTOM RAIL. SECURED TO FRAME WITH FOUR #10 x 1 1/2" FLT. HEAD TAPCON TO BE FURNISHED BY INSTALLER.



PART #7LS1A WIND CLIPS ARE REQUIRED FOR HIGH WIND LOAD INSTALLATION. CLIPS MAY NOT BE REQUIRED FOR INLAND FIRST FLOOR APPLICATION. CLIPS REQUIRE SILL WITH SCREEN RAIL FOR PROPER INSTALLATION.

APPROVED AS COMPLIANT WITH THE SOUTH FLORIDA BUILDING CODE
 DATE: MAY 22 1997
 BY: [Signature]
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 REFERENCE NO. 96-1023-03



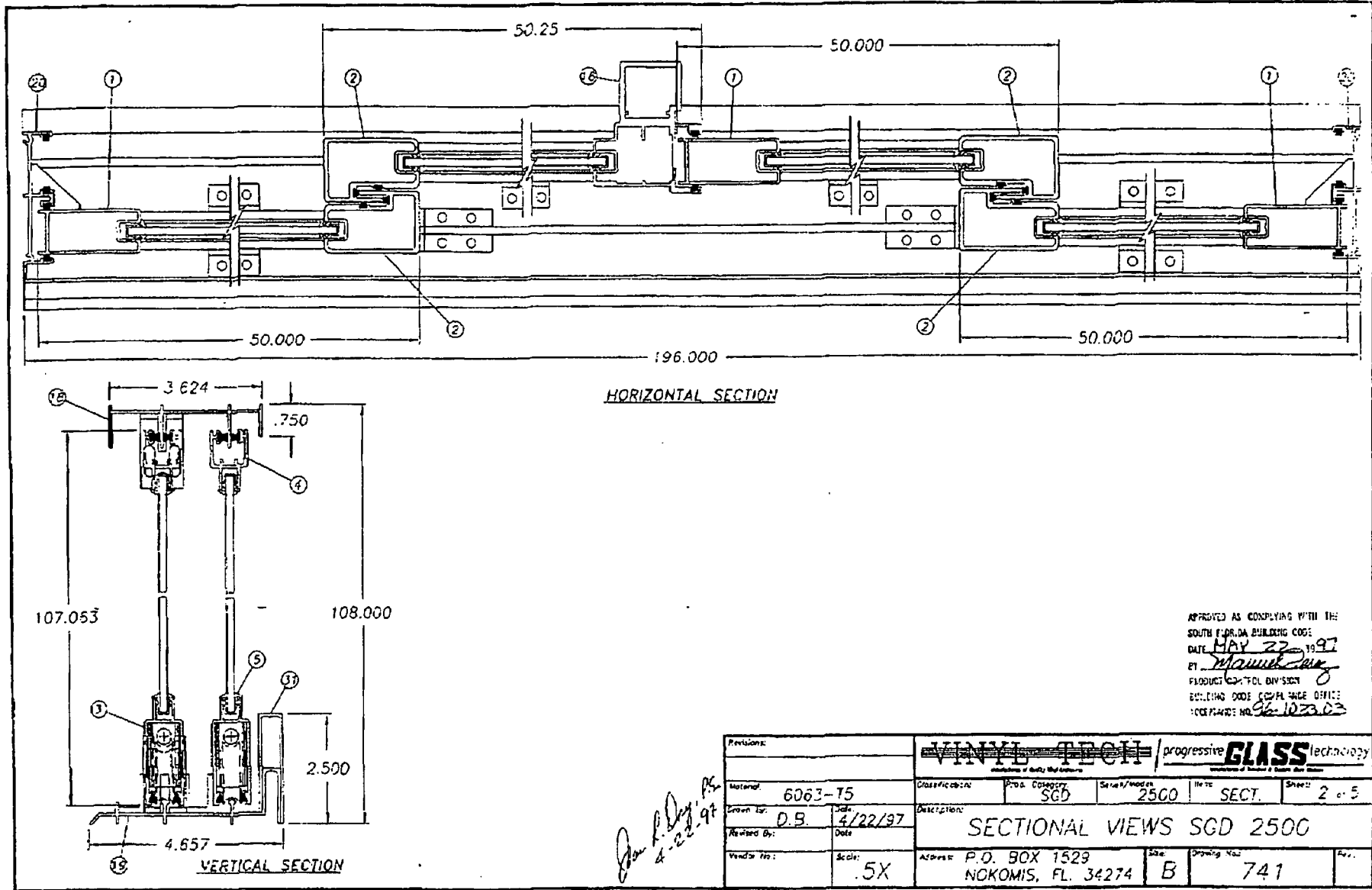
FOR FIXED SLIGHTLY GLASS DOOR PANEL INSTALLATION USE PART NUMBER 41814 IN BRONZE, WHITE, OR SILVER TO MATCH DOOR FINISH AND INSTALL WITH #8 x 3/4" (7B344A) PAN HEAD PHILLIPS SCREW AS SHOWN.

USING BRACKET AS A TEMPLATE PRE-DRILL LOCK STILE AND JAMB WITH A 3/32" DRILL BIT BEFORE DRIVING SCREWS.

USE THREE BRACKETS PER PANEL AT TOP, MIDDLE AND BOTTOM OF PANEL.

John R. Allen, P.E.
 4-22-97

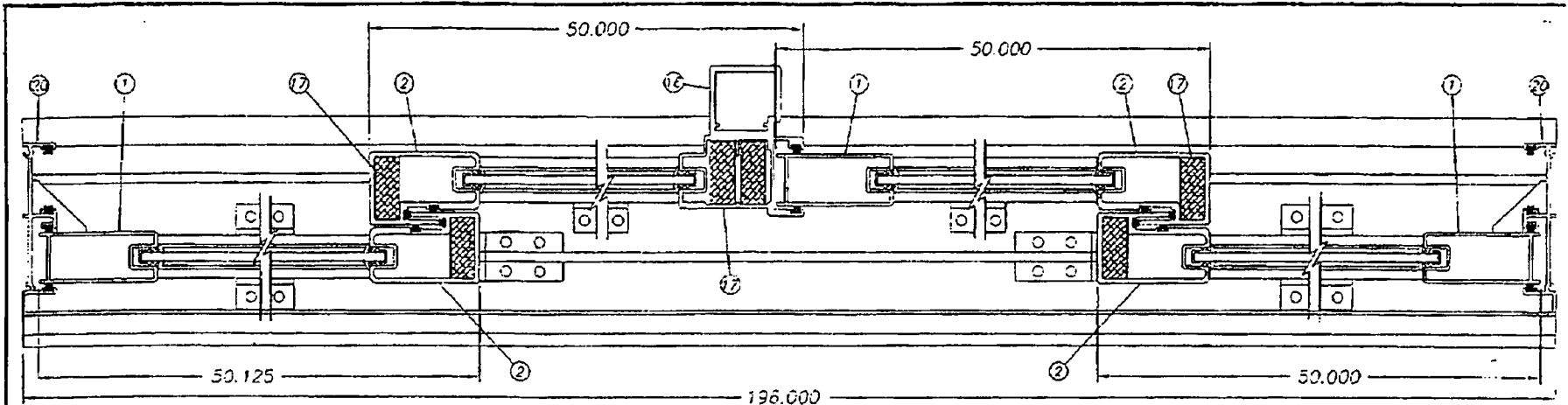
Manufacturer:	Association:	Product Category:	Series/Model:
Order By:	Date:	Description:	Item:
Finished By:	Date:	SGD OXOXO ELEVATION w/WINDCLIPS	Sheet: 1 of 5
Order No.:	Scale:	Address:	Qty. / Working Qty.:
	N.T.S.	P.O. BOX 1529 NOKOMIS, FL. 34274	B / 741



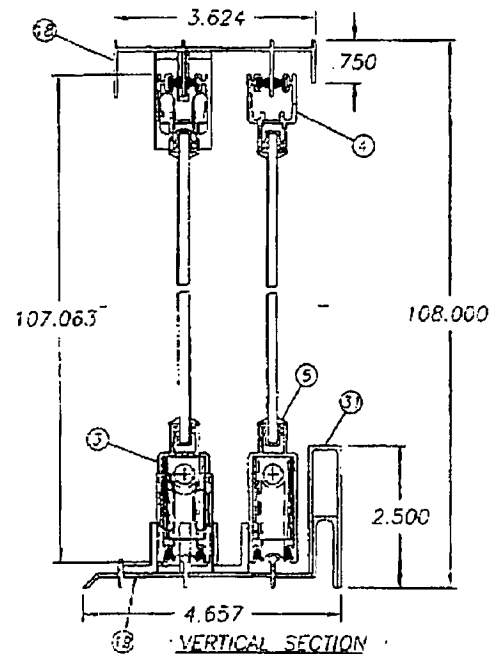
APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE MAY 22 1997
 BY Maurice King
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 LICENSE NO. 96102303

John L. King, P.E.
 4-22-97

Revisions:		WYNTECH / progressive GLASS technology			
Material:	6063-T5	Classification:	Prod. Category:	Series/Model:	2500
Drawn by:	D.S.	Date:	4/22/97	Item:	SECT.
Revised by:		Date:		Description:	SECTIONAL VIEWS SGD 2500
Vendor No.:		Scale:	.5X	Address:	P.O. BOX 1529 NOKOMIS, FL. 34274
		Size:	B	Sheet No.:	741
				Page:	2 of 5



HORIZONTAL SECTION

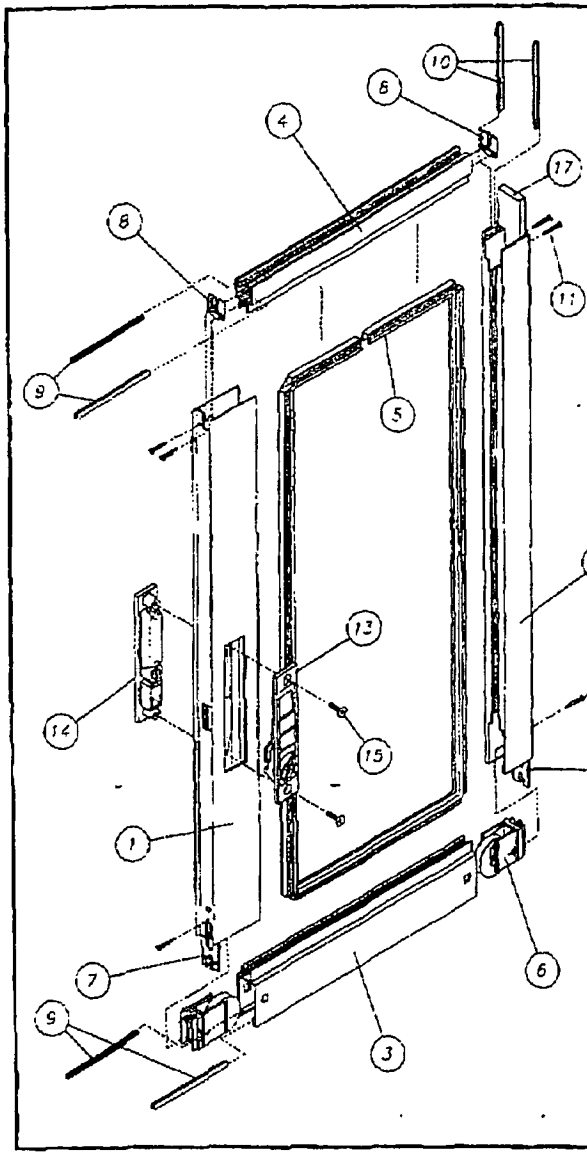


VERTICAL SECTION

APPROVED AS COMPLIING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE MAY 22, 1997
 BY [Signature]
 PROJECT CONTROL BY: BICM
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 96-1023-03

John C. Davis
 4/22/97

VINYL TECH / progressive GLASS technology <small>Incorporation of Quality and Customer Satisfaction</small>		<small>Division of PGT Industries</small>	
Model:	6083-75	Classification:	Proc. Category: SGD
Drawn By:	D.B.	Date:	4/22/97
Checked By:		Description:	SGD 2500 W/ALUM. REINFORCEMENT
Vendor No:	5X	Address:	P.O. BOX 1529 NOKOMIS, FL. 34274
		Size:	B
		Sheet No.:	741
		Page:	3 of 5



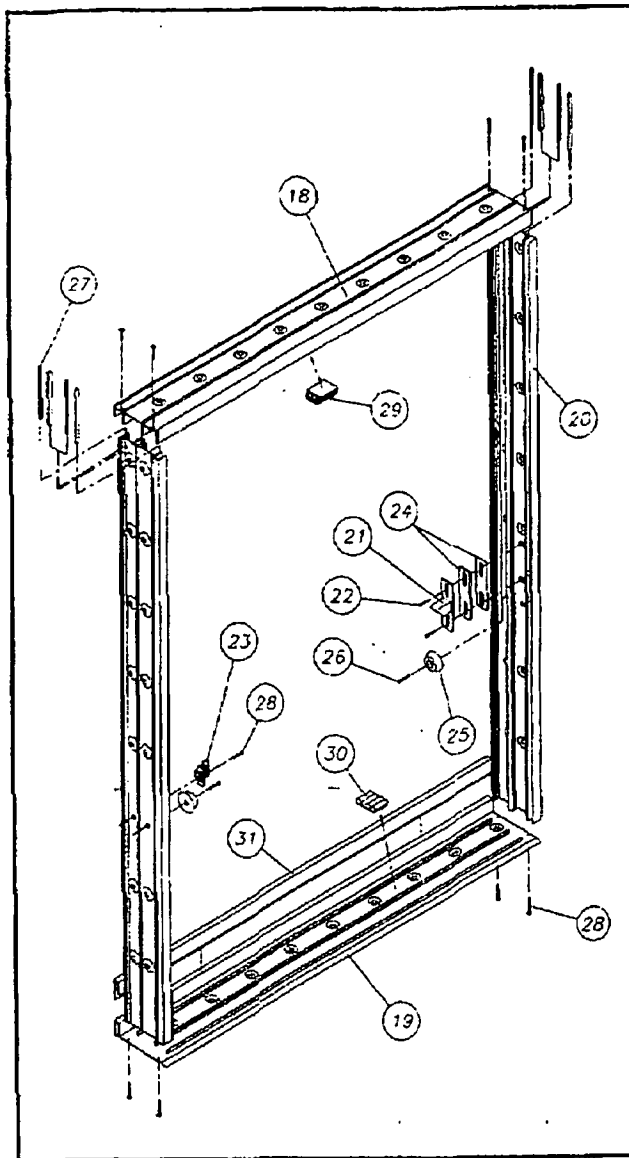
ITEM	DESCRIPTION	V.T. #	VENDOR	VENDOR #
1	LOCKSTILE	69362	ALUMAX EXTRUSIONS	AF-9362
2	INTERLOCK	69409	ALUMAX EXTRUSIONS	AF-9409
3	BOTTOM RAIL	68173	ALUMAX EXTRUSIONS	AF-8173
4	TOP RAIL	68172	ALUMAX EXTRUSIONS	AF-8172
5	GLAZING VINYL	6T304K	TEAM PLASTICS	VT304/B
6	WHEEL ASSEMBLY	7S-24Z	NATIONWIDE INDUSTRIES	
7	PLASTIC BOTTOM PANEL GUIDE	41802	VINYL-TECH. / PGT	
8	PLASTIC TOP PANEL GUIDE	41801	VINYL-TECH. / PGT	
9	320x.187 TOP/BOTTOM RAIL W/STRIP-PILE	5FELTK	SCHLEGEL CORP.	FS7831-187
10	200x.187 INTERLOCK WEATHERSTRIP - PILE	52003K	SCHLEGEL CORP.	FS7819-187
11	#10 x 3/4 TOP RAIL ASSY. SCR., PAN HD PHIL	71034A	MERCHANTS FASTENER CORP.	
12	1/4-20x1 BOTTOM RAIL ASSY. SCR.W.	720X1A	MERCHANTS FASTENER CORP.	
13	LATCH ASSEMBLY LOCK SIDE	7LOCKK	NATIONWIDE INDUSTRIES	
14	LATCH ASSEMBLY DUMMY SIDE	7DUMY	NATIONWIDE INDUSTRIES	
15	#10-32 x 7/8 LATCH SCW., FLT. HD. PHIL	71078	MERCHANTS FASTENER CORP.	
16	HEAVY DUTY ASTRAGAL	69492	ALUMAX EXTRUSIONS	AF-9492
17	ALUM. REINFORCEMENT	612FBX	INDAL EXTRUSION	31324

NOTE:
 1.) ITEM #2 WILL CHANGE TO ITEM #16 DEPENDING ON CONFIGURATION OF PANEL. CONFIGURATION IS OXXO.
 2.) ITEM #17 USED ONLY WHEN ALUM. REINFORCEMENT IS REQUIRED.

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE MAY 22 1997
 BY [Signature]
 REGIONAL TECHNICAL DEPT. 8
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 96-1023-03

John R. Day, PE
 8-22-97

Persons:		VINYL-TECH / progressive GLASS technology			
Material:	Classification:	Proc. Company:	Series/Model:	Item:	Sheet:
		SGD	2500	PANEL	4 of 5
Drawn By:	Check Date:	Description:			
D.S.	8/22/97	SGD PANEL (2500) ASSY.			
Reviewed By:	Date:	Address:			
		P.O. BOX 1529 NOKOMIS, FL. 34274			
Project No.:	Scale:	Sheet:	Drawing No.:		
	N.T.S.	B	741		



ITEM	DESCRIPTION	V.T. #	VENDOR	VENDOR #
18	FRAME HEAD	68179	ALUMAX EXTRUSIONS	AF-8179
19	FRAME SILL	68181	ALUMAX EXTRUSIONS	AF-8181
20	FRAME JAMB	68180	ALUMAX EXTRUSIONS	AF-8180
21	LATCH KEEPER	75DKEEP	NATIONWIDE INDUSTRIES	
22	#8 x 1/2 SCREW TRUSS HD PHIL.	75X12SAZ	MERCHANTS FASTENER CORP.	
23	SCREEN KEEPER	41804	VINYL TECH /PGT	
24	1/16-1/8 LATCH KEEPER SPACERS	41818K	VINYL TECH /PGT	
25	JAMB BUMPER	72087K	EASTCOAST RUBBER & PLASTIC Co.	
26	#6 x 5/16 SCREW PAN HD. PHIL.	7PP28A	MERCHANTS FASTENER CORP.	
27	.200x.187 JAMB WEATHERSTRIP-PILE	62003K	SCHLEGEL CORP.	FS7819-187
28	#5 x 1/2 SCREW PAN HD. PHIL.	76X12A	MERCHANTS FASTENER CORP.	
29	HEADER DUST PLUG-HIGH PILE	7P69CG	ULTRAFAB INC.	P6903G
30	SILL DUST PLUG-LOW PILE	7P30CG	ULTRAFAB INC.	P3004G
31	HI-RISE SILL	69371	ALUMAX EXTRUSIONS	AF-9371

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE MAY 22, 1997
 BY [Signature]
 PRODUCT CONTACT DIV. 804
 BUILDING CODE COMPLIANCE OFFICE
 RECEIPT NO. 96-1023-03

John R. Deery, P.E.
 4-22-97

progressive	
Material:	Classification: <u>SGD</u> <u>2000/2500</u> <u>ASS'Y.</u> Sheet <u>5 of 5</u>
Drawn By: <u>D.B.</u> Date: <u>4/22/96</u>	Description: <u>2-TRACK FRAME ASSEMBLY</u>
Vendor No.: <u>N.T.S.</u> Address: <u>P.O. BOX 1529</u> <u>NOKOMIS, FL. 34274</u> Scale: <u>B</u> Drawing No.: <u>741</u>	

HURRICANE PREPARATION CHECKLIST
12 OAK HILL WAY, CASTLE HILL

1. INSTALL BOTTOM SHUTTER TRACKS ON 2ND & 3RD LEVEL DECK
(REF: INSTALLATION CHART)

2. INSTALL SHUTTER PANELS
(REF: INSTALLATION CHART)

3. INSTALL CENTER HURRICANE BAR ON GARAGE DOOR

4. CHECK ALL EXTERIOR DOORS & WINDOWS
(CLOSED & LOCKED)

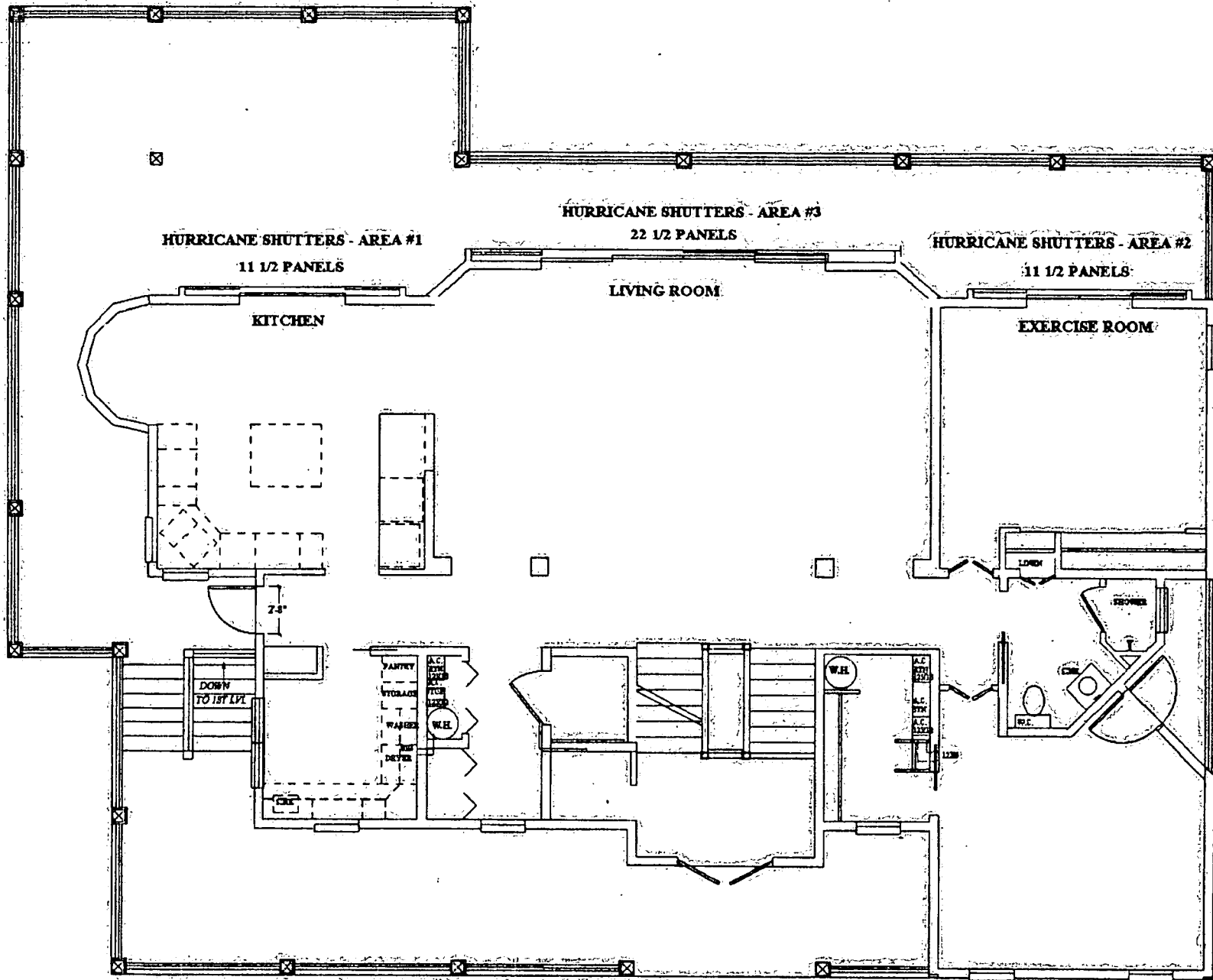
**Note: All Windows & Doors with the exception of north side sliding doors
are constructed with hurricane proof glazing & do not require shutters.**

5. CLOSE ALL INTERIOR DOORS

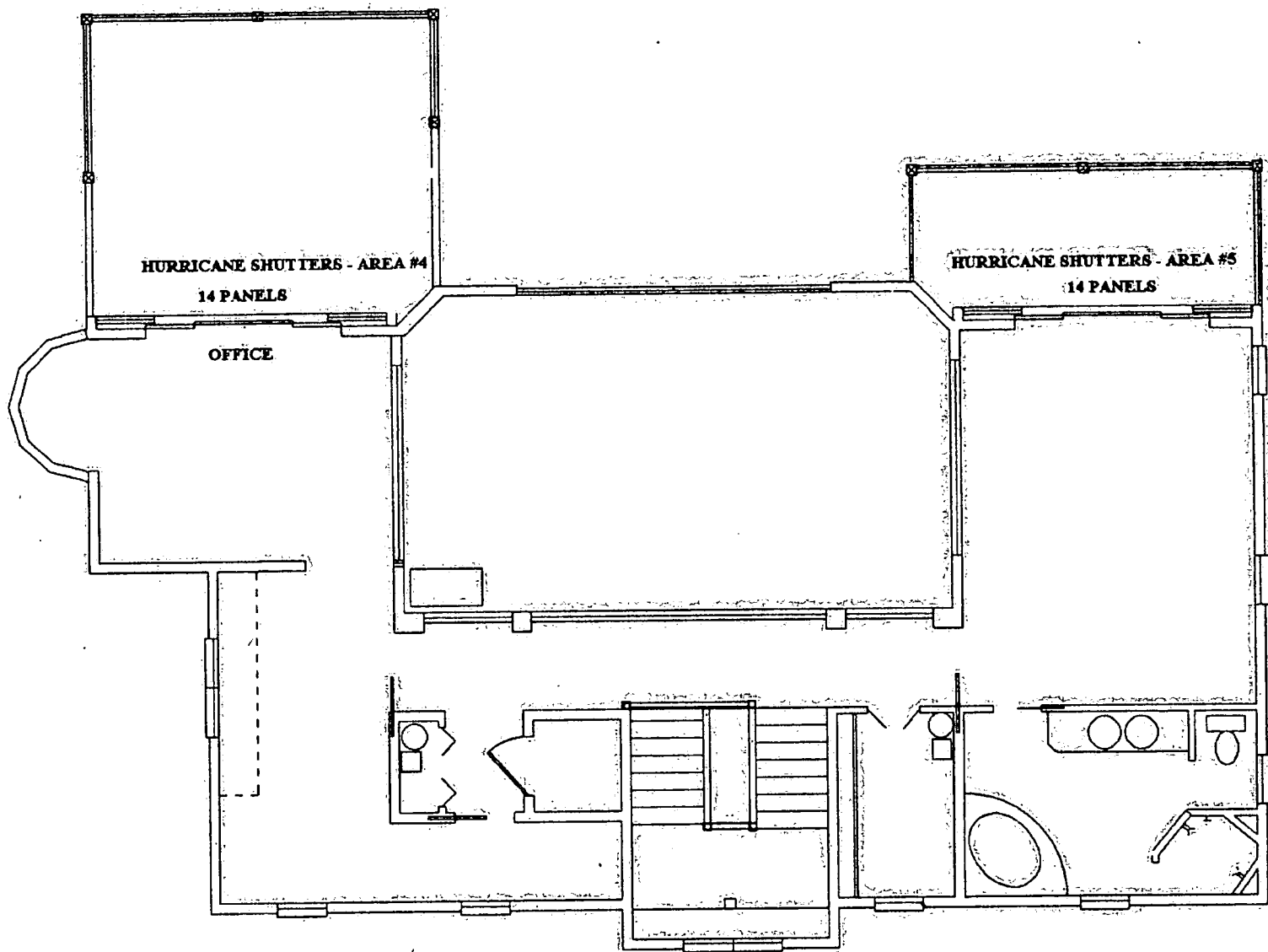
6. TURN OFF ELECTRICAL AND WATER TO EXTERIOR
(I.E. IRRIGATION, SWIMMING POOL, OUTLETS)

EMERGENCY CONTACTS: D. E. Cook or Megas Management Group, Inc.
(716) 789-3855

2ND LEVEL (MAIN FLOOR) - HURRICANE SHUTTER INSTALLATION CHART



3RD LEVEL (2ND FLOOR) - HURRICANE SHUTTER INSTALLATION CHART





BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Gulfstream Aluminum & Shutter
197 S.E. Monterey Rd.
Stuart FL 34994

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

Your application for Product Approval of:

Aluminum Storm Panel (5052-H32 Alloy)

under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by:

Applicant, along with Gulfstream Aluminum & Shutter Corp. Drawing No. 96-314, sheets 1 through 5 of 5, dated 10/07/96, revision #1 dated 01/15/98, signed and sealed on 01/16/98 by Walter A. Tillit Jr., P.E. (For listing, see Section 8 of this Notice of Acceptance)

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 97-0606.01

Expires: 02/19/01

Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 02/19/98



Gulfstream Aluminum & Shutter Corp

ACCEPTANCE No.: 97-0606.01

APPROVED : FEB 19 1998

EXPIRES : FEB 19 2001

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. DESCRIPTION

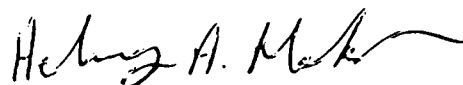
1.1 This approves an aluminum storm panel designed to comply with the South Florida Building Code, 1994 Edition for Dade County, for the locations where the pressure requirements as determined by ASCE 7-88 "Minimum Design Loads for Buildings and Other Structures", do not exceed the Design Pressure Rating values in Section 7 and within the limitations contained in Section 3.

2. MATERIAL CHARACTERISTICS

- 2.1 The storm panels shall be constructed as indicated on the approved Drawing No. 96-314, sheets 1 through 5 of 5, using 0.063" thick aluminum, 5052-H32 Alloy.
- 2.2 Panels are rolled formed, have a nominal width of 12.50" and a total width of 13.676", forming 1.875" deep ribs.
- 2.3 Aluminum components shall be alloys 6063-T6.
- 2.4 **Tested specimen Dimensions:** 50" wide x 108" long overall (3 specimens)
37-1/2" wide x 108" long overall (1 specimen)
50" wide x 120" long overall (1 specimen)

3. LIMITATIONS

- 3.1 The maximum design pressure will be dependent on the maximum panel length, on the mounting details, the anchorage details and the minimum separation from glass to be protected. For all the approved installations, see the details, sections and schedules shown on the approved Drawing No. 96-314, sheets 1 through 5 of 5, dated 10/07/96, revision #1 dated 01/15/98, signed and sealed on 01/16/98 by Walter A. Tillit Jr., P.E. bearing the Miami-Dade County Product Control approval stamp.
- 3.2 Minimum separation between glass to be protected and shutter shall be based on the maximum shutter length and maximum design pressure per schedule shown on the approved Drawing No. 96-314, sheet 3 of 5, dated 10/07/96, signed and sealed on 01/16/98 by Walter A. Tillit Jr., P.E. bearing the Miami-Dade County Product Control approval stamp.
- 3.3 Maximum clearance between top of panel and inside of header shall be 1/4".
- 3.4 **Reinforcement:**
 - 3.4.1 Panels shall be reinforced with 1/4" diameter - 20 x 1" M. S. with 7/8" x 3/32" wingnuts @ each overlap at panel midspan, as shown on the approved Drawing No. 96-314, sheet 1 of 5, dated 10/07/96, revision #1 dated 01/15/98 signed and sealed on 01/16/98 by Walter A. Tillit Jr., P.E. bearing the Miami-Dade County Product Control approval stamp



Helmy A. Makar, P.E., Product Control Examiner
Product Control Division

Gulfstream Aluminum & Shutter Corp

ACCEPTANCE No.: 97-0606.01

APPROVED : FEB 19 1998

EXPIRES : FEB 19 2001

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

4. INSTALLATION

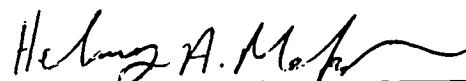
- 4.1 The panels shall be installed only with the maximum shutter length, the mounting details, the anchorage schedules and the minimum separation from glass to be protected as shown on the approved Drawing No. 96-314, sheets 1 through 5 of 5, dated 10/07/96, revision #1 dated 01/15/98, signed and sealed on 01/16/98 by Walter A. Tillit Jr., P.E. bearing the Miami-Dade County Product Control approval stamp.
- 4.2 Anchorage of the aluminum shutters shall be to concrete, masonry and/or wood framing and shall consist of only the anchors, embedment and spacing specified on the approved Drawing No. 96-314, sheets 1 through 5 of 5, dated 10/07/96, revision #1 dated 01/15/98, signed and sealed on 01/16/98 by Walter A. Tillit Jr., P.E. bearing the Miami-Dade County Product Control approval stamp. Substitution of anchor type or indicated embedment is unacceptable.
- 4.3 Fasteners must have their own Notice of Acceptance and must be made of stainless steel or have adequate protection against corrosion, per DIN 50018. Aluminum contacting metals not considered compatible shall be properly protected.
- 4.4 Permanent set fastener components, embedded anchor bolts, threaded cones or metal shields, not in use, must be protected against corrosion, contamination and damage at all time.

5. IDENTIFICATION

- 5.1 Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".
- 5.2 Each opening, each panel shall have a legible permanent marking instructing owner or tenant to secure panels at lap joints with applicable reinforcing across the whole width of the opening during periods of Hurricane warning.

6. USE

- 6.1 Application for building permit shall be accompanied by two copies of the following:
 - 6.1.1 This Notice of Acceptance.
 - 6.1.2 Completely dimensioned drawing showing size and location, including height above grade, of openings to receive shutters; mean roof height, length and width of building.
 - 6.1.3 Duplicate prints of the approved Drawings No. 96-314, sheets 1 through 5 of 5, bearing the approval stamp, Notice of Acceptance number and date by Miami-Dade County Product Control Section, clearly marked to show the components selected for the proposed installation.
- 6.2 The Building Official shall ensure the adequacy of shutter to meet the pressure requirement of the opening in which it is to be installed.



Helmy A. Makar, P.E., Product Control Examiner
Product Control Division

Gulfstream Aluminum & Shutter Corp

ACCEPTANCE No.: 97-0606.01

APPROVED : FEB 19 1998

EXPIRES : FEB 19 2001

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

7. TESTS PERFORMED

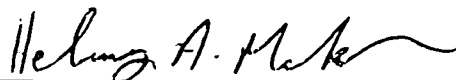
7.1 TESTS:

RESULTS:

TEST	TEST LOAD	DESIGN LOAD	DEFLECTION
LARGE MISSILE IMPACT TEST SFBC PA 201-94 (108" SPAN)	SATISFACTORY ATL # 0919.01-96	————	Maximum 3.0"
LARGE MISSILE IMPACT TEST SFBC PA 201-94 (120" SPAN)	SATISFACTORY ATL # 0919.01-96	————	Maximum 2.75"
CYCLIC WIND PRESSURE TEST SFBC PA 203-94 (108" SPAN) POSITIVE	+85.0 PSF ATL # 0919.01-96	+65.0 PSF ATL # 0919.01-96	————
CYCLIC WIND PRESSURE TEST SFBC PA 203-94 (108" SPAN) NEGATIVE	-94.0 PSF ATL # 0919.01-96	-72.0 PSF ATL # 0919.01-96	————
UNIFORM STATIC AIR PRESSURE TEST SFBC PA 202-94 (108" SPAN) POSITIVE	+97.50 PSF ATL # 0919.01-96	+65.0 PSF ATL # 0919.01-96	————
UNIFORM STATIC AIR PRESSURE TEST SFBC PA 202-94 (108" SPAN) NEGATIVE	-108.0 PSF ATL # 0919.01-96	-72.0 PSF ATL # 0919.01-96	————

DESIGN PRESSURE RATING:

For Maximum Design Pressure / Maximum Panel Length / Minimum Separation from Glass / Anchor's Type, Spacing Schedule & Embedment, see the approved Drawing Number 96-314, sheets 1 through 5 of 5, dated 10/07/96, revision #1 dated 01/15/98, signed and sealed on 01/16/98 by Walter A. Tillit Jr., P.E. bearing the Miami-Dade County Product Control approval stamp.



Helmy A. Makar, P.E., Product Control Examiner
Product Control Division

Gulfstream Aluminum & Shutter Corp

ACCEPTANCE No.: 97-0606.01

APPROVED : FEB 19 1998

EXPIRES : FEB 19 2001

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

8. EVIDENCE SUBMITTED

8.1 Tests:

8.1.1 Test report on Large Missile Impact Test, Cyclic Wind Pressure Test and Uniform Static Air Pressure Test of "Aluminum" storm panels, prepared by American Test Lab of South Florida Report No. ATL # 0919.01-96, dated September 9, 1996, signed and sealed by Gerard B. Sullivan, P.E.

8.2 Drawing:

8.2.1 Drawing No. 96-314, Gulfstream Aluminum & Shutter Corp., Storm Panel, sheets 1 through 5 of 5, prepared by Tilteco Inc., dated 10/07/96, revision #1 dated 01/15/98 (sheet 1 of 5 only), all sheets signed and sealed on 01/16/98 by Walter A. Tillit Jr., P.E.

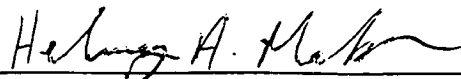
8.3 Material certification:

8.3.1 Mill Certified Inspection Report, dated September 02, 1996, for Aluminum Alloy and Temper 5052-H32 by Nichols Aluminum with chemical composition and physical properties.

8.3.2 Tensile Test Report from Certified Testing Laboratories, CTL # 857B dated October 28, 1995 for Aluminum sample, tested per ASTM E8-93, signed and sealed by Ramesh Patel, P.E.

8.4 Calculation:

8.4.1 Storm panel calculations, pages 1 through 17 of 17, prepared by Tilteco Inc., dated 05/02/97, signed and sealed on 05/30/97 by Walter A. Tillit Jr., P.E.



Helmy A. Makar, P.E., Product Control Examiner
Product Control Division

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test-supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Dade County Product Control Approval", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Acceptance contains pages 1, 2, 2(a) through 2(c) and this last page 3.

Items 10, 11 & 12 listed below only apply to glazed products and doors

10. Unless specifically indicated in the Acceptance (approval), this unit is approved as a single unit installation. For multiple installation of this unit, a separate Acceptance for mullions is required from the Product Control Section.
11. The spacing of fasteners at window sills shall be as indicated in Section 4 of this Notice of Acceptance. The spacing of fasteners in all other parts of the frame, shall be as indicated in Section 4 of this Notice of Acceptance, but in no case shall exceed 24" on center. The first fastener shall be located at a maximum of 6" from each corner and mullion or stile. Fastener shall fully penetrate the buck, which shall be the same size as the one tested with the unit. No wood or plastic shields or pins shall be used for anchoring. See section four (4) of this approval for sizes of fasteners used in testing.
12. Hardware for all windows and doors shall conform to Security and Forced Entry Prevention, Chapter 36 of the South Florida Building Code.



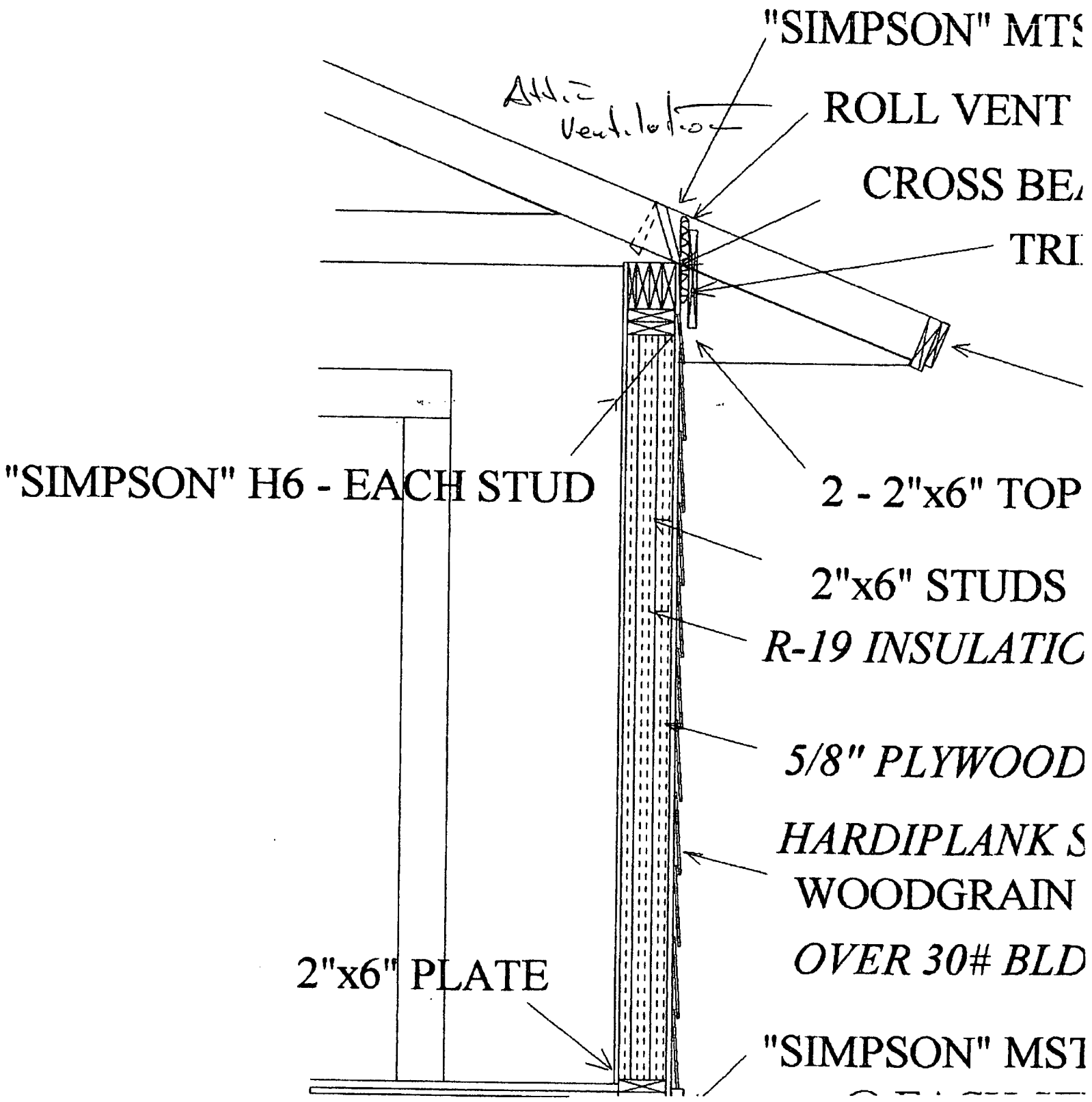
Helmy A. Makar, P.E., Product Control Examiner
Product Control Division

END OF THIS ACCEPTANCE

BBER ROOFING

41LS

1/2" @ 1' ϕ



FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

FORM 600A-93 Residential Whole Building Performance Method A

SOUTH

PROJECT NAME: AND ADDRESS: 12 OAK HILL LN. CASTLE HILL OWNER: DON COOK

BUILDER: PERMITTING OFFICE: PERMIT NO

CLIMATE ZONE: 7I 8IX 9I JURISDICTION NO.

Table with 2 columns: Description and Value. Rows include construction type (New Construction), floor area (3189.00), overhangs (2.00, 6.00), glass area, insulation (R=19.00), cooling system (Central A/C, EER: 10.00), heating system (Strip Heat, COP: 1.00), hot water system (Electric, EF: 0.90), and HVAC credits (Total As-Built points: 48621.48, Total Base points: 51839.56).

I Hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: M DATE: 9-8-94

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER/AGENT: Don Cook DATE: 9-13-94

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance in accordance with Section 553.908 F.S.

BUILDING OFFICIAL: Bob Bell DATE:

SECTION 05100 - MECHANICAL			
PART 1 - GENERAL			
COMPONENTS	SECTION	REQUIREMENTS FOR EACH PARTIAL	CHECK
PRACTICE #1	000.1	COMPLY WITH ALL INFILTRATION PRESCRIPTIVES.	
Windows	000.1	Maximum of 0.34 CFM per linear foot of operable sash crack (includes sliding glass doors).	
Exterior & adjacent doors	000.1	Maximum of 0.5 CFM per sq. ft. of door area, solid core, wood panel insulated or glass doors only.	
Exterior joints & cracks	000.1	To be caulked, gasketed, weather-stripped or other wise sealed.	
PRACTICE #2	000.1	COMPLY WITH PRACTICE #1 AND THE FOLLOWING:	
Exterior Walls	000.1	Top plate penetrations sealed. Infiltration barrier installed. Drip plate/floor joint caulked or sealed.	
Interior Walls	000.1	Penetrations, joints and cracks on interior surface caulked, sealed or gasketed.	
Partitions	000.1	Top and bottom edge of partition space must be sealed.	
Exhaust	000.1	Equipped with outside combustion air, hood and fan traps.	
Exhaust Fans	000.1	Equipped with separate combustion air, hood and fan traps.	
Exhaust Fans	000.1	Exhaust fans used for water heating, clothes dryer, etc. must have separate combustion air, except for clothes dryer.	
Exhaust Fans	000.1	Exhaust fans must be met or exceeded by all fresh air supply.	
Water Heaters	010.1	Simple, with efficiency requirements in title and schedule or directly related circuit breaker panel. If a tankless (gas) must be provided. Tankless gas water heaters must be vented.	
Water Heaters	010.1	Spot and sealed pans must have covers. If not covered, non-commercial roofs must have a minimum of 1/2" slope and water must have a minimum of 75 percent efficiency.	
Shower Heads	010.1	Water flow must be restricted to no more than 2.5 gpm per minute at 90 PSIG.	
air distribution system	010.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section 010. Ducts in unconditioned attics must be insulated to a minimum of R-6. Air handlers shall not be installed in attics unless in mechanical closet.	
HVAC controls	020.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	020.1	Settings minimum R-19, common walls & floors 10" R-13, etc. 10" common ceiling 2 1/2" R-11.	

SUMMER COOLING LOADS

--- BASIC ---

--- AG-BUILD ---

ORIENT	AREA	x BSFM	POINTS	TYPE	SC	ORIENT	AREA	x SPM	x SDF	POINTS
N	109.00	109.7	4155.0	SGL TINT	N		40.0	65.2	.70	1825.6
				SGL TINT	N		109.0	65.2	.70	4974.8
				SGL TINT	N		40.0	65.2	.57	1477.8
				SGL TINT	N		132.0	65.2	.86	7442.5
				SGL TINT	N		56.0	65.2	.94	3423.0
E	61.00	109.7	5949.7	SGL TINT	E		8.0	133.9	.92	981.0
				SGL TINT	E		6.0	133.9	.42	324.0
				SGL TINT	E		16.0	133.9	.77	1643.0
				SGL TINT	E		6.0	133.9	.71	521.3
S	80.00	109.7	9714.8	SGL TINT	S		16.0	132.5	.70	1474.7
				SGL TINT	S		24.0	132.5	.52	1097.5
				SGL TINT	S		8.0	132.5	.70	318.0
				SGL TINT	S		12.0	132.5	.50	477.0
				SGL TINT	S		24.0	132.5	.47	1957.5
W	121.00	109.7	13144.0	SGL TINT	W		48.0	133.9	.15	7386.5
				SGL TINT	W		24.0	133.9	.41	1015.5
				SGL TINT	W		48.0	133.9	.1	2570.5

--- AG-BUILD ---
 --- BASIC ---
 --- AG-BUILD ---

--- AG-BUILD ---
 --- BASIC ---
 --- AG-BUILD ---

ORIENT	AREA	POINTS	TYPE	SC	ORIENT	AREA	x SPM	x SDF	POINTS
INT	109.00	575.0	Ext. Heat Transfer			19.0	704.0	1.00	975.0
INT	109.00	496.0	Ext. Heat Transfer			19.0	6.00	1.00	13.0
INT	109.00	156.0	Water Circ			20.0	1956.0	.60	1164.0
INT	109.00	92.0	Part Water Adjacent			19.0	1956.0	.20	1175.0
INT	141.00	46876.5	Plumbing #2			3199.0	14.70	46876.5	

Total Summer Cooling
 100,934.73

TOTAL SUMMER COOLING POINTS	SYSTEM MULTI	COOLING POINTS	TOTAL COOLING CAPACITY	DUCT SYSTEM CREDIT	COOLING POINTS
100,934.73	37	37,345.35	90,546.32	1.00	1.070
				1.340	1.950
					31,298.71

WINN-DIXIE LIQUOR STORES

BASE	AREA	WPPM	POINTS	TYPE	SL	ORIG	AREA	X WPP	X WOI	POINTS
1	377.00	4	150.8	SOL TINT	N	40.0	3.7	1.14	168.7	
				SOL TINT	N	102.0	3.7	1.14	459.8	
				SOL TINT	N	40.0	3.7	1.23	182.1	
				SOL TINT	N	132.0	3.7	1.06	518.6	
E	50.00	14	111.4	SOL TINT	N	8.0	1.0	2.85	4.6	
				SOL TINT	N	8.0	1.0	17.59	21.2	
				SOL TINT	C	16.0	1.0	6.96	18.4	
				SOL TINT	S	8.0	1.0	7.61	9.7	
S	110.00	16	150.0	SOL TINT	S	18.0	11.0	1.53	-15.2	
				FRI TINT	L	21.0	1.8	1.77	77.1	
				SOL TINT	S	3.0	11.0	-1.52	21.6	
				SOL TINT	S	12.0	1.0	1.70	41.5	
				SOL TINT	S	24.0	1.0	1.32	15.0	
2	100.00	4	100.0	SOL TINT	N	10.0	1.0	10.00	100.0	
				SOL TINT	N	20.0	1.0	10.1	87.1	
				SOL TINT	N	70.0	1.0	7.1	71.1	

100% CREDIT = 100% POINTS
 100% CREDIT = 100% POINTS

BASE	AREA	WPPM	POINTS	TYPE	SL	ORIG	AREA	X WPP	X WOI	POINTS
15	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
16	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
17	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
18	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
19	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
20	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
21	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
22	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
23	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
24	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
25	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
26	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
27	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
28	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
29	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00
30	1000.00	4	1000.00	100%			1000.00	1.0	1.0	1000.00

100% CREDIT = 100% POINTS
 100% CREDIT = 100% POINTS
 TOTAL WINE POINTS 4,104.48

BASE	AREA	WPPM	POINTS	TYPE	SL	ORIG	AREA	X WPP	X WOI	POINTS
41	1000.00	1.00	1,000.00	100%			1000.00	1.000	1.000	1,000.00
42	1000.00	1.00	1,000.00	100%			1000.00	1.000	1.000	1,000.00
43	1000.00	1.00	1,000.00	100%			1000.00	1.000	1.000	1,000.00
44	1000.00	1.00	1,000.00	100%			1000.00	1.000	1.000	1,000.00
45	1000.00	1.00	1,000.00	100%			1000.00	1.000	1.000	1,000.00
46	1000.00	1.00	1,000.00	100%			1000.00	1.000	1.000	1,000.00
47	1000.00	1.00	1,000.00	100%			1000.00	1.000	1.000	1,000.00
48	1000.00	1.00	1,000.00	100%			1000.00	1.000	1.000	1,000.00
49	1000.00	1.00	1,000.00	100%			1000.00	1.000	1.000	1,000.00
50	1000.00	1.00	1,000.00	100%			1000.00	1.000	1.000	1,000.00

WATER HEATING

*** BASE *** | *** GAS-BUILT ***
 QUM OF * MULT = TOTAL | TANK VOLUME EF TANK * MULT * CREDIT = TOTAL
 RECORDS | RATIO MULT

4	2319.0	9,957.00		40	1.90	1.000	3744.7	1.00	9,734.00
---	--------	----------	--	----	------	-------	--------	------	----------

SUPPLY

*** GAS *** | *** GAS-BUILT ***
 VOLUME HEATING HOT WATER TOTAL | VOLUME HEATING HOT WATER TOTAL
 POINTS * POINTS + POINTS = POINTS | POINTS * POINTS + POINTS = POINTS

37345.9	4536.7	9957.0	51,839.56		31293.7	7593.8	9734.0	49,221.48
---------	--------	--------	-----------	--	---------	--------	--------	-----------

 CREDIT = 95.19

See the instructions on the back of the form for more information. For more information, contact the Florida Department of Community Affairs, 1000 North West 11th Street, Tallahassee, Florida 32304.

1981-82

The maximum allowable EUI is 100. The lower the EUI, the more efficient the building.

RESIDENTIAL ENERGY PERFORMANCE RATINGS SHEET

EUI	ASHRAE VALUE	Low Efficiency		High Efficiency	
		100-110	110-120	110-120	120-130
100	100	100	100	100	100
110	110	110	110	110	110
120	120	120	120	120	120
130	130	130	130	130	130
140	140	140	140	140	140
150	150	150	150	150	150
160	160	160	160	160	160
170	170	170	170	170	170
180	180	180	180	180	180
190	190	190	190	190	190
200	200	200	200	200	200

Florida Department of Community Affairs, 1000 North West 11th Street, Tallahassee, Florida 32304

Florida Energy Code for Building Construction - 1990
Florida Department of Community Affairs

4486

JOHN W. OLSON, P.E.

Consulting Structural Engineer

1366 S.W. JASMINE TRACE

PALM CITY, FLORIDA 34990

(561) 288-1328

LETTER OF AUTHORIZATION

DATE:	10/30/98
RE:	COOK RESIDENCE
PERMIT NO.:	4486

TO: Seewall Point Building Dept
Seewall Point, FL

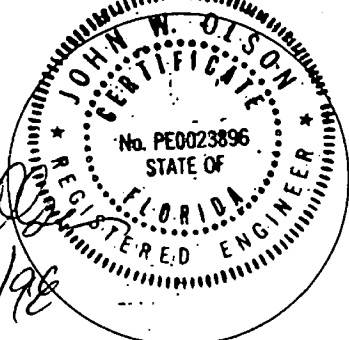
Gentlemen:

With respect to the above noted project, please be advised of the following changes to the plans approved by this office:

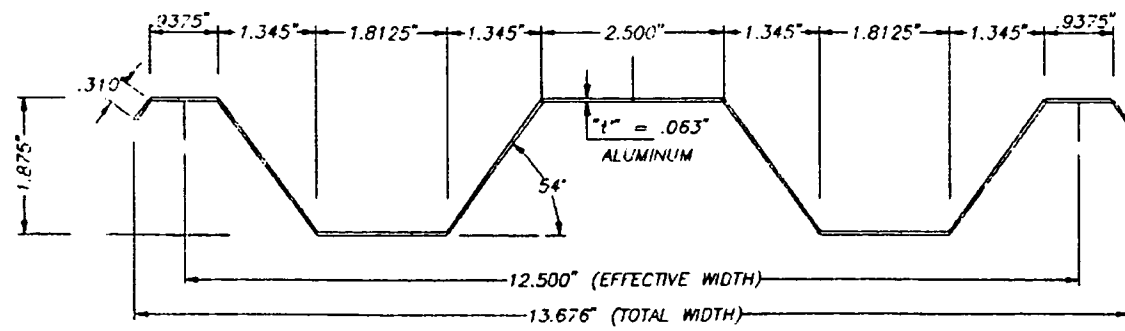
NO.	DESCRIPTION
	<u>5/8" & 3/4" Huber engineered wood panels /</u> <u>replacement for plywood for roof</u> <u>sheeting and flooring</u>

These changes, substitutions or modifications are approved to the original plans. If any further information is required, please call this office.

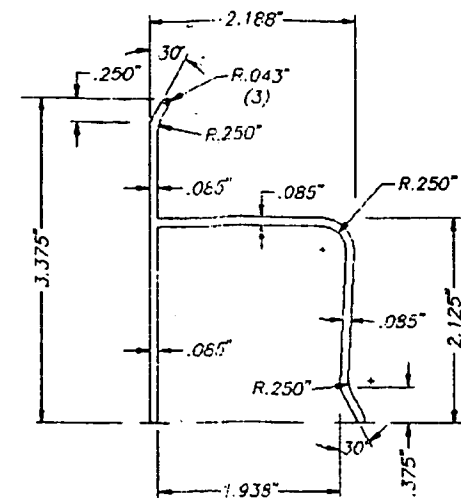
John W. Olson
10/30/98



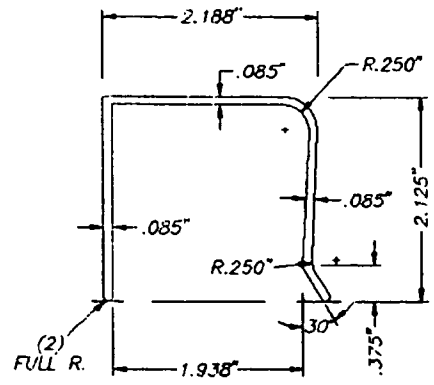
SIGNED: *John W. Olson*
John W. Olson, P.E.



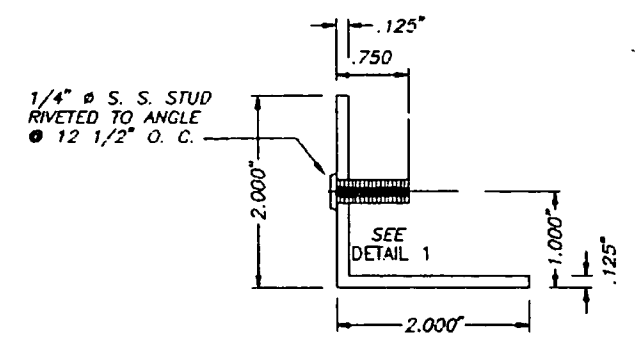
1 STORM PANEL
SCALE: 3/8" = 1"



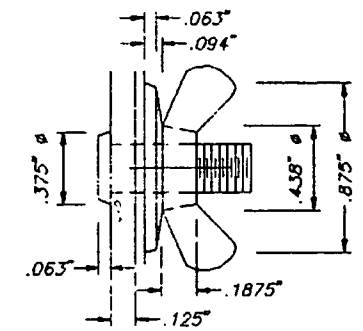
2 "h" HEADER
SCALE: 1/2" = 1"



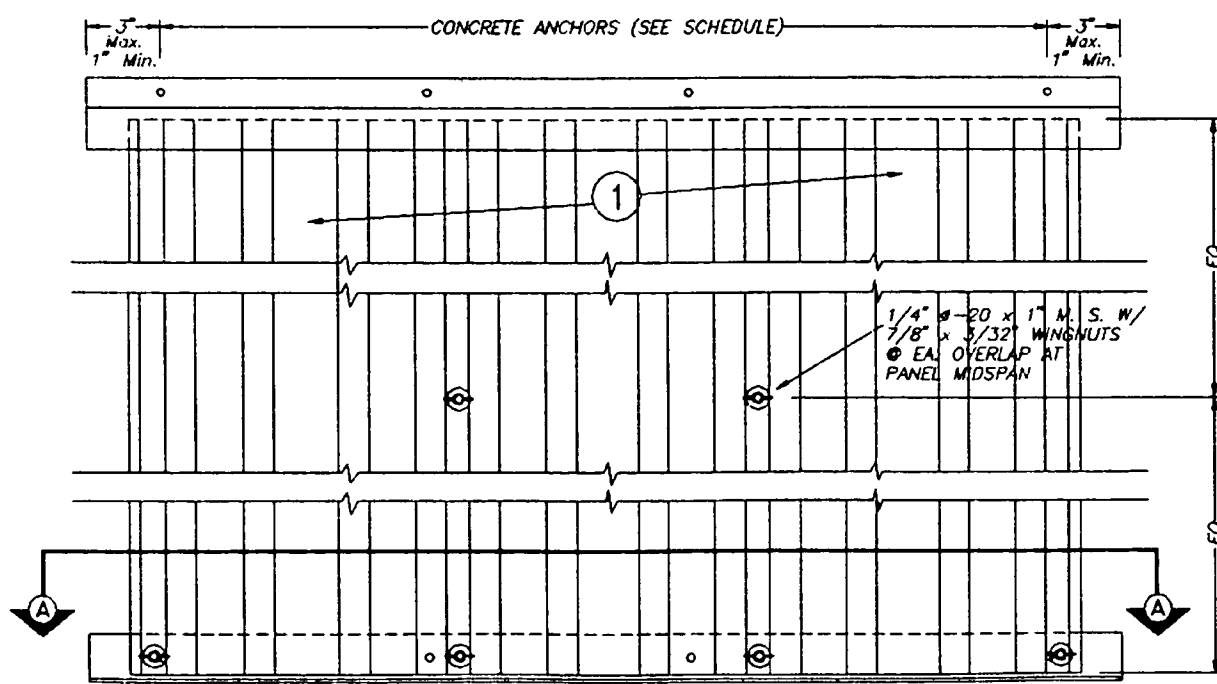
3 "U" HEADER
SCALE: 1/2" = 1"



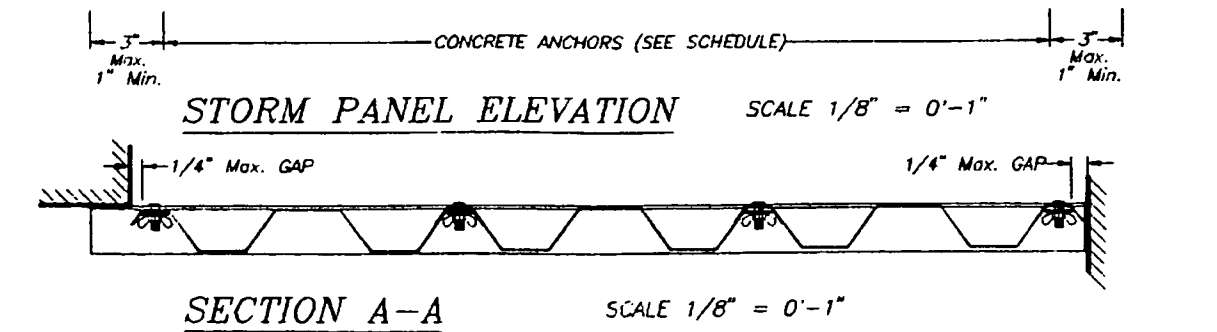
4 ANGLE WITH STUD
SCALE: 1/2" = 1"



DETAIL 1: STUD W/ WING NUT
SCALE: FULL



5 2" x 5" (Max.) x .125" ANGLE
SCALE: 1/2" = 1"



SECTION A-A SCALE 1/8" = 0'-1"

GENERAL NOTES:

- STORM PANEL HAS BEEN DESIGNED IN ACCORDANCE WITH THE DADE COUNTY, 1994 EDITION OF THE SOUTH FLORIDA BUILDING CODE. DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 6 OF ASCE 7-88, WITH 110 m.p.h. BASIC WIND SPEED. STORM PANEL'S ADEQUACY FOR IMPACT AND FATIGUE RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH SECTIONS 2315 & 2314 RESPECTIVELY OF THE ABOVE MENTIONED CODE AS PER AMERICAN TEST LAB OF SOUTH FLORIDA, REPORT # 0919.01-96.
- ALL ALUMINUM SHEET METAL PANELS SHALL HAVE 5052-H32 ALLOY.
- ALL ALUMINUM EXTRUSIONS SHALL BE 6063-T6 ALLOY UNLESS OTHERWISE NOTED.
- ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 SERIES.
- BOLTS TO BE 2024-T4 ALUMINUM ALLOY, GALVANIZED OR STAINLESS STEEL, WITH 36 ksi MINIMUM YIELD POINT.
- ANCHORS TO WALL SHALL BE AS FOLLOWS: (UNLESS OTHERWISE NOTED)
 - (A) TO EXISTING POURED CONCRETE:
 - 1/4" # TAPCON ANCHORS, OR RAWL ZAMAC NAILIN AS MANUFACTURED BY I.T.W. RAMSET OR ELCO INDUSTRIES, INC., AND THE RAWL PLUG COMPANY, RESPECTIVELY.
 - 1/4" # x 7/8" RAWL CALK-IN ANCHORS AS MANUFACTURED BY THE RAWL PLUG COMPANY.

- NOTES:
- MINIMUM EMBEDMENT INTO POURED CONCRETE OF TAPCON ANCHORS IS 1 3/4" AND FOR RAWL ZAMAC NAILIN IS 1 3/8".
 - 7/8" RAWL CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #-20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
 - IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, OR PAVERS BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. MINIMUM ANCHORAGE SHALL BE AS MENTIONED IN A.1) AND IN A.2).

- (B) TO EXISTING CONCRETE BLOCK WALL:
- 1/4" # TAPCON ANCHORS OR RAWL ZAMAC NAILIN, AS MANUFACTURED BY I.T.W. RAMSET OR ELCO INDUSTRIES, INC., AND THE RAWL PLUG COMPANY, RESPECTIVELY.
 - 1/4" # x 7/8" RAWL CALK-IN ANCHORS AS MANUFACTURED BY THE RAWL PLUG COMPANY.

- NOTES:
- MINIMUM EMBEDMENT OF TAPCON ANCHORS AND THE RAWL ZAMAC NAILIN, INTO THE CONCRETE BLOCK UNIT SHALL BE 1 1/4".
 - 7/8" RAWL CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE CONCRETE BLOCK UNIT. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4" #-20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST, AND 1" MINIMUM FOR WALLS WITH NO STUCCO.
 - IN CASE THAT PRECAST STONE OR PRECAST CONCRETE PANELS BE FOUND ON THE EXISTING WALL, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS MENTIONED IN B.1) AND IN B.2).

- (C) ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.

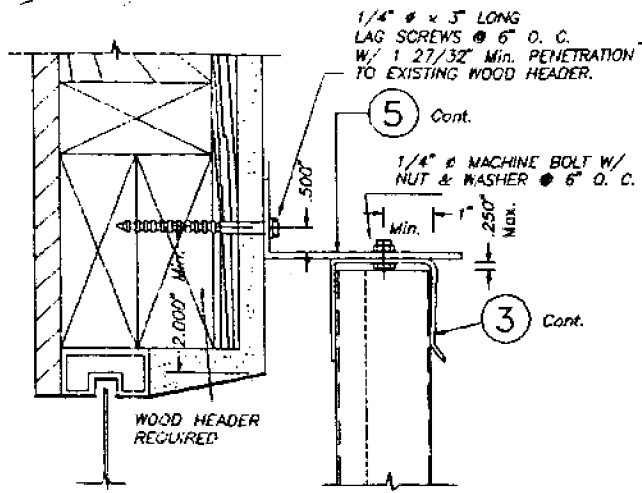
- PANELS MAY ALSO BE INSTALLED HORIZONTALLY FOLLOWING INSTALLATION DETAILS SHOWN ON SECTIONS 1, 2 & 3 BUT ONLY W/ STUCCOED ANGLES EACH SIDE (SHEET 2 OF 5).
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHUTTER IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE.
- EACH PANEL SHALL HAVE A LEGIBLE AND READILY VISIBLE MARKING INSTRUCTING OWNER OR TENANT TO SECURE PANELS WITH APPLICABLE REINFORCEMENT DURING PERIODS OF HURRICANE WARNING.
- SHUTTER MANUFACTURER'S STAMP SHALL BE PLACED ON THE EXPOSED SURFACE OF THE CENTER FLANGE OF EVERY PANEL APPROXIMATELY 4" ABOVE THE BOTTOM OF SUCH PANEL. STAMP SHALL READ AS FOLLOWS:
GULFSTREAM ALUMINUM & SHUTTER CORP.
STUART, FLORIDA
DADE COUNTY PRODUCT CONTROL APPROVED.

COMPONENTS

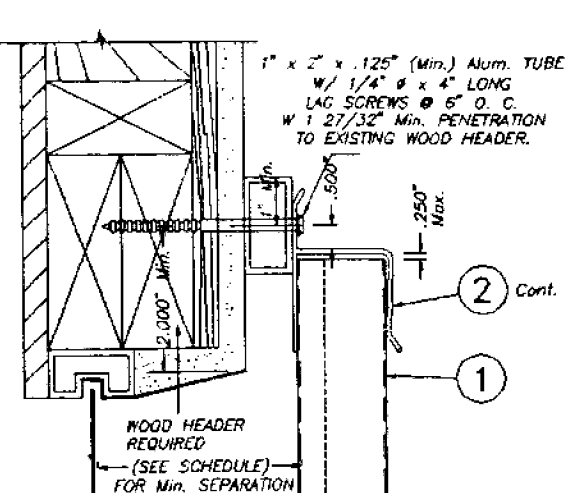
David B. [Signature]
2/10/99

TILECO INC.
TILIT TESTING & ENGINEERING COMPANY
6595 N.W. 36th St., Ste. 217, VIRGINIA GARDENS, FL 33166
Phone: (305)871-1530, Fax: (305)871-1531
WALTER A. TILIT Jr., P. E.
FLORIDA Lic. 44167

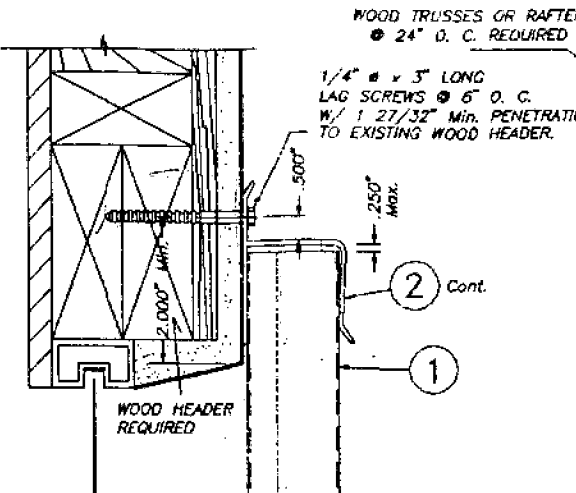
STORM PANEL		AS SHOWN SCALE
GULFSTREAM ALUMINUM & SHUTTER CORP.		10/7/96 DATE
197 S.E. MONTEREY ROAD STUART, FL 34994		96 - 314 DRAWING No
REV. No	DESCRIPTION	DATE
1	(2) & (3) LAM.	1/15/98
2	-	-
SHEET 1 OF 5		DADE COUNTY



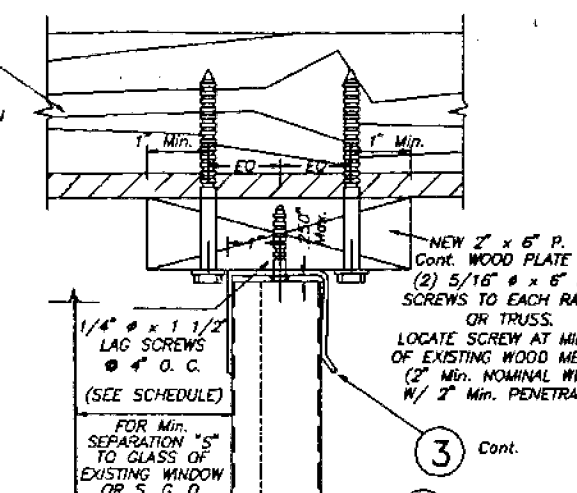
ALTERNATIVE 1



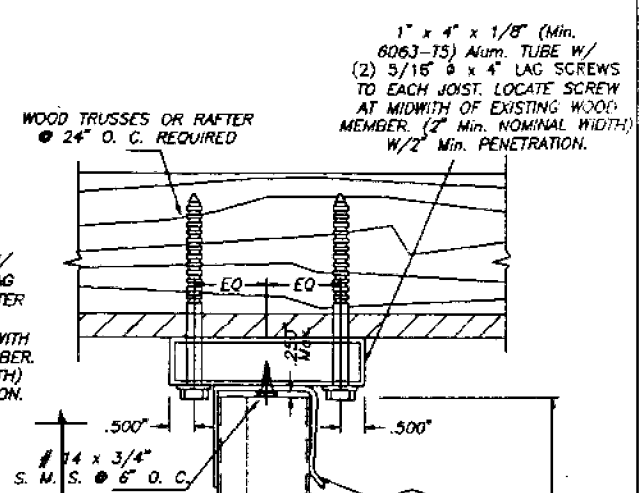
ALTERNATIVE 2



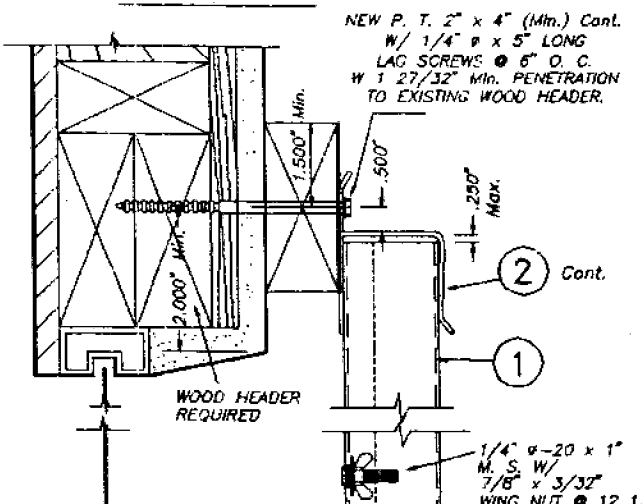
ALTERNATIVE 3



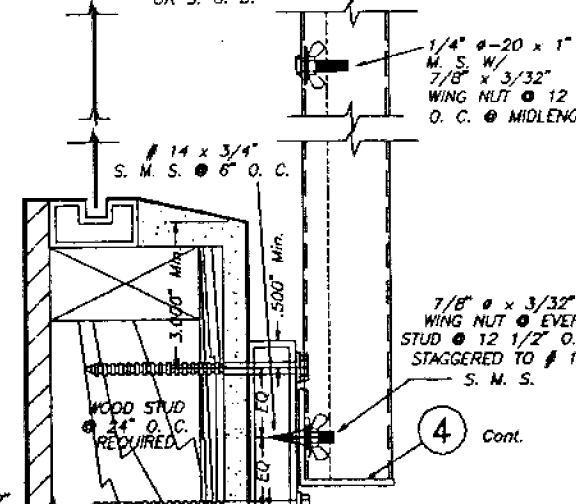
ALTERNATIVE 4



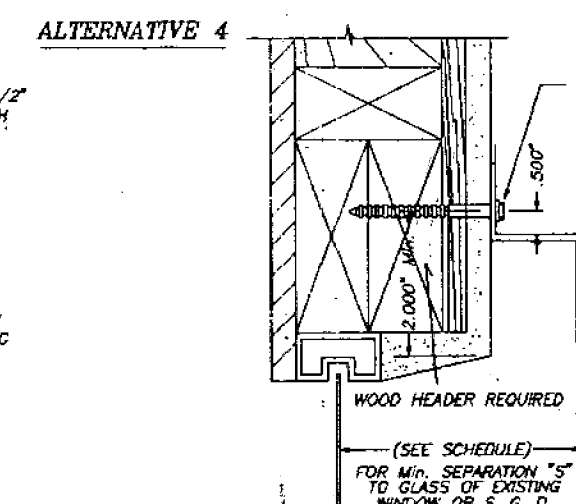
ALTERNATIVE 5



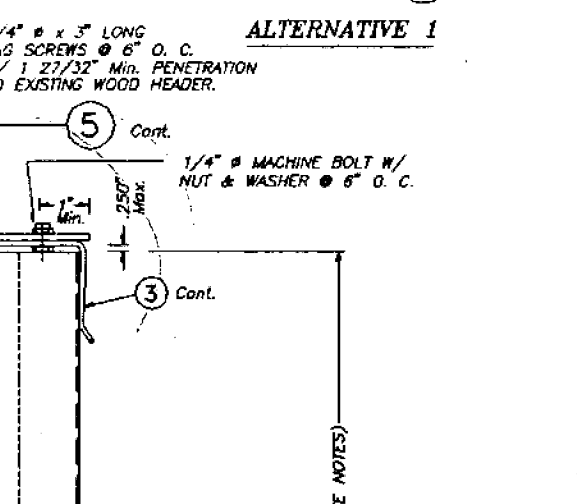
ALTERNATIVE 6



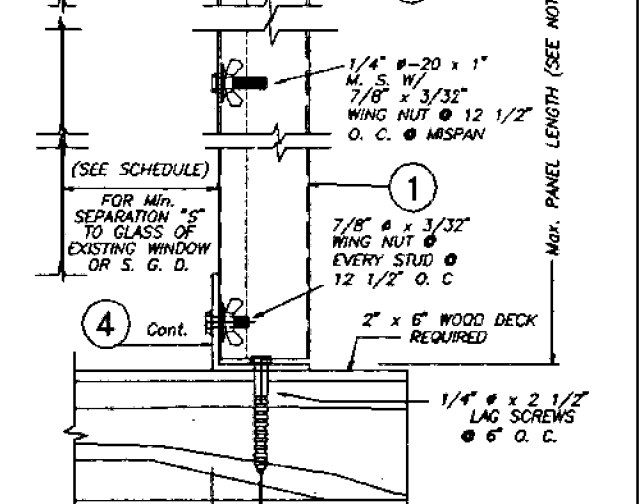
ALTERNATIVE 7



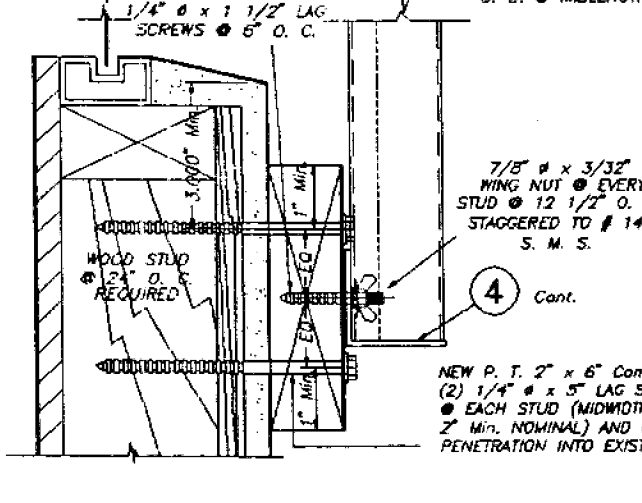
ALTERNATIVE 8



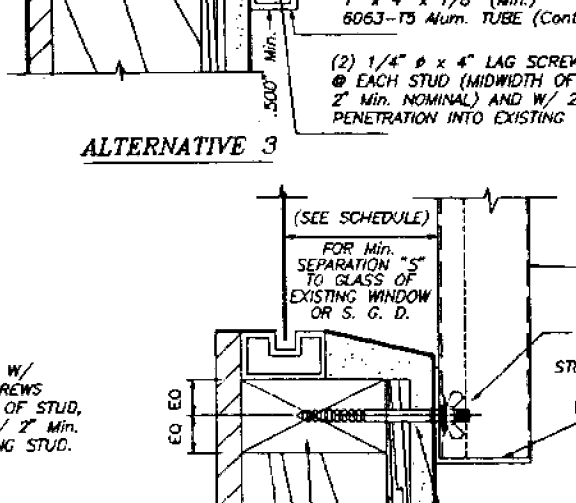
ALTERNATIVE 9



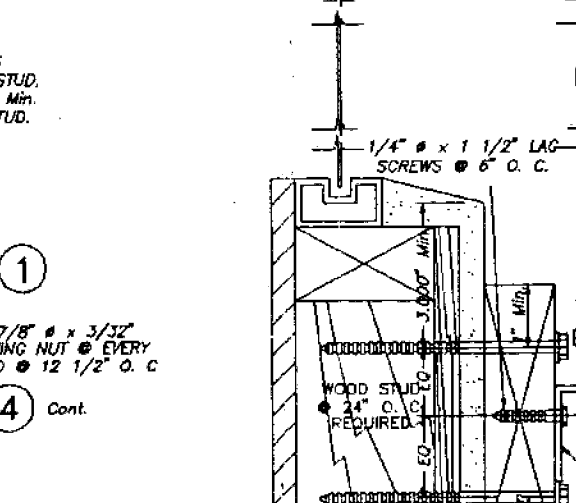
ALTERNATIVE 10



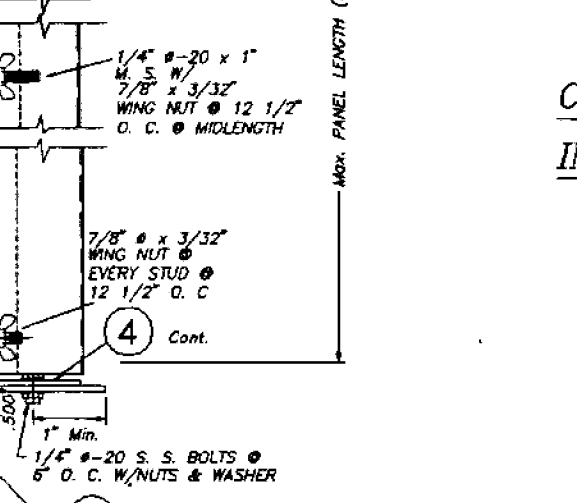
ALTERNATIVE 11



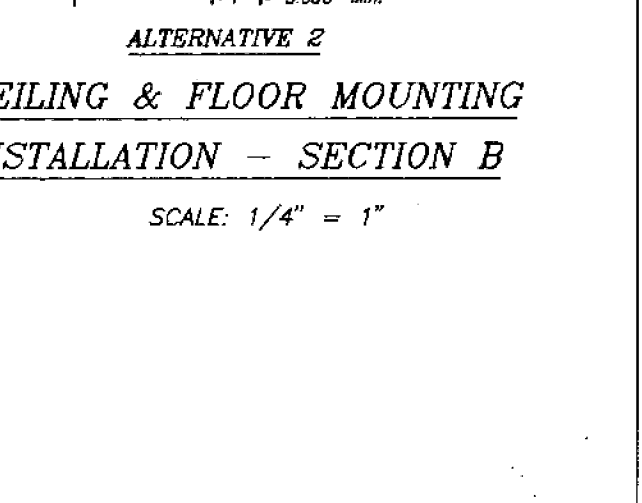
ALTERNATIVE 12



ALTERNATIVE 13



ALTERNATIVE 14



ALTERNATIVE 15

NOTE FOR COMBINATION OF SECTIONS:
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

- NOTES:
- INSTALLATIONS ARE ONLY VALID FOR BUILDINGS WITH DESIGN LOADS UP TO +65.0, -72.0 AND PANEL'S LENGTH UP TO 9'-0".
 - NEW 2" x 6" P. T. TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 19 X M. V. C. W/ SPECIFIC DENSITY OF 0.55.
 - FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

WALL MOUNTING INSTALLATION - SECTIONS A
INSTALLATION DETAILS ON
EXISTING WOOD BUILDINGS

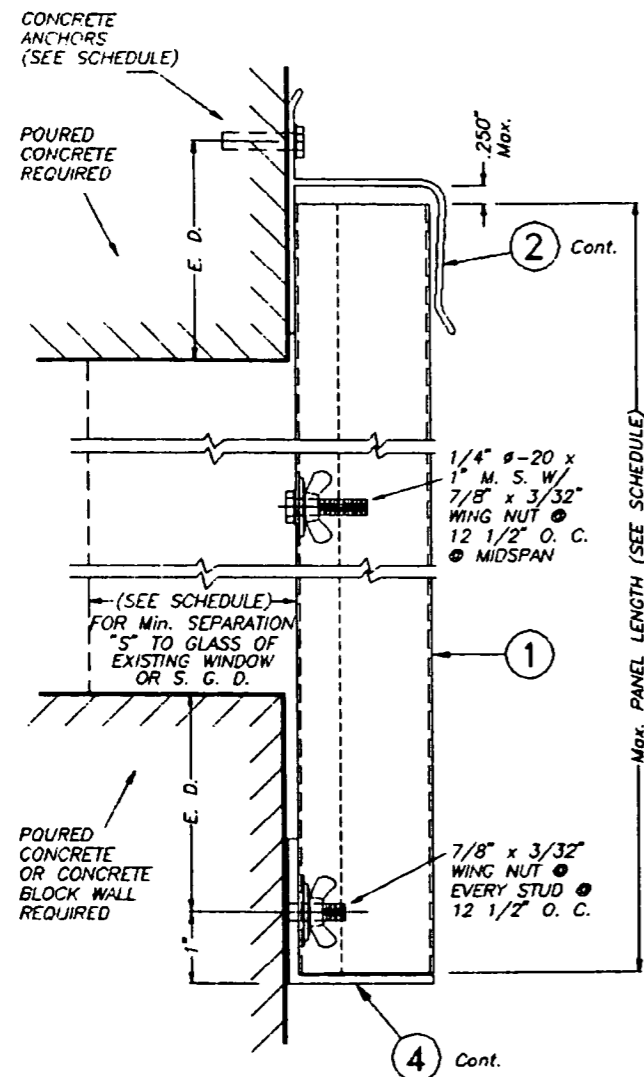
SCALE: 1/4" = 1"

TILECO INC.
TILLIT TESTING & ENGINEERING COMPANY
6505 N.W. 36th. Bl., Ste. 217 VIRGINIA GARDENS, FL. 33186
Phone: (305)971-1530 Fax: (305)971-1531
WALTER A. TILLIT Jr., P. E.
FLORIDA Lic. 44167

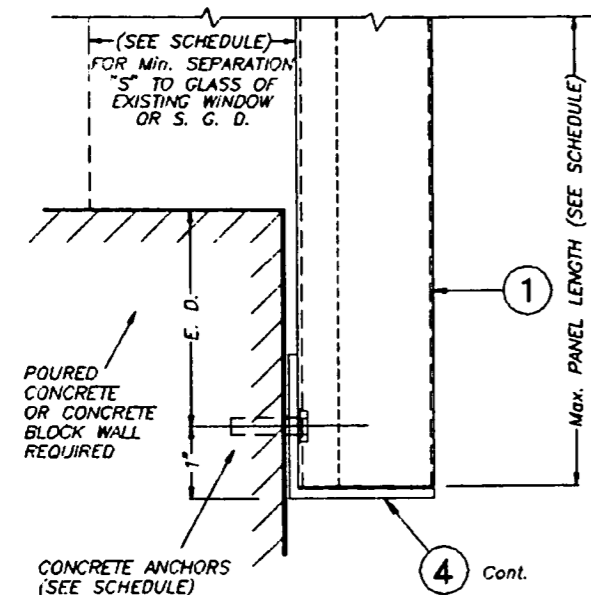
STORM PANEL		AS SHOWN SCALE
GULFSTREAM ALUMINUM & SHUTTER CORP.		10/7/96 DATE
197 S.E. MONTEREY ROAD STUART, FLORIDA 34994		96 - 314
REV. NO	DESCRIPTION	DATE
1		
2		
DRAWING No		SHEET 5 OF 5

Handwritten signature and date: 4/10/99

DADE COUNTY



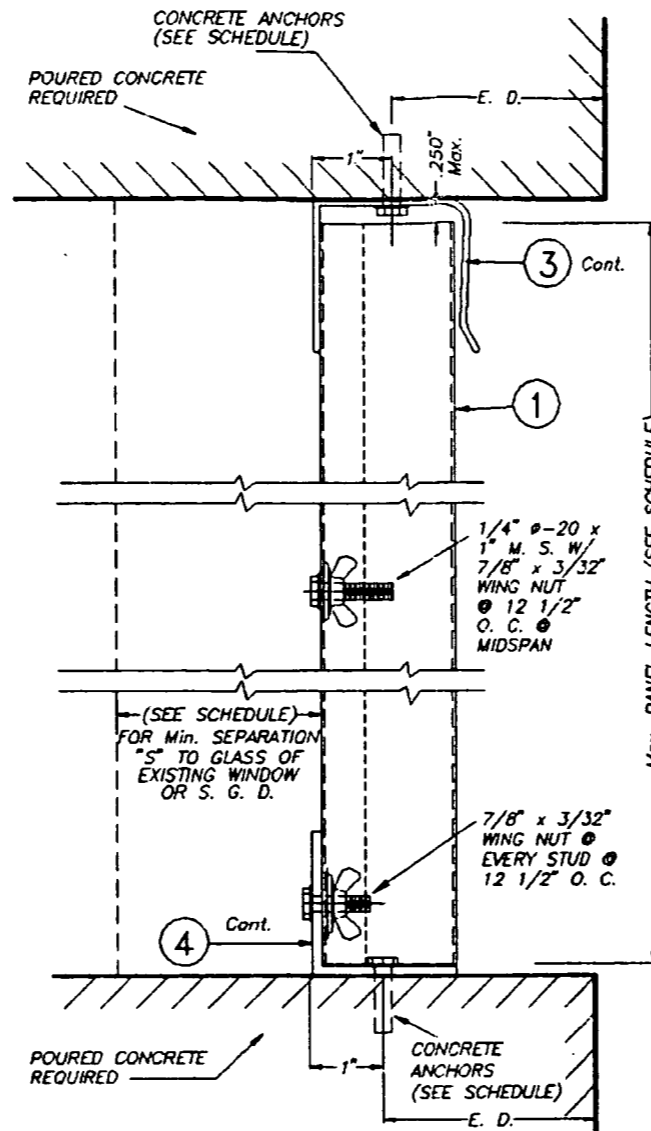
SECTION @ STUD



SECTION @ ANCHOR

WALL MOUNT. INSTALLAT. - SECTIONS 1

SCALE: 3/8" = 1"

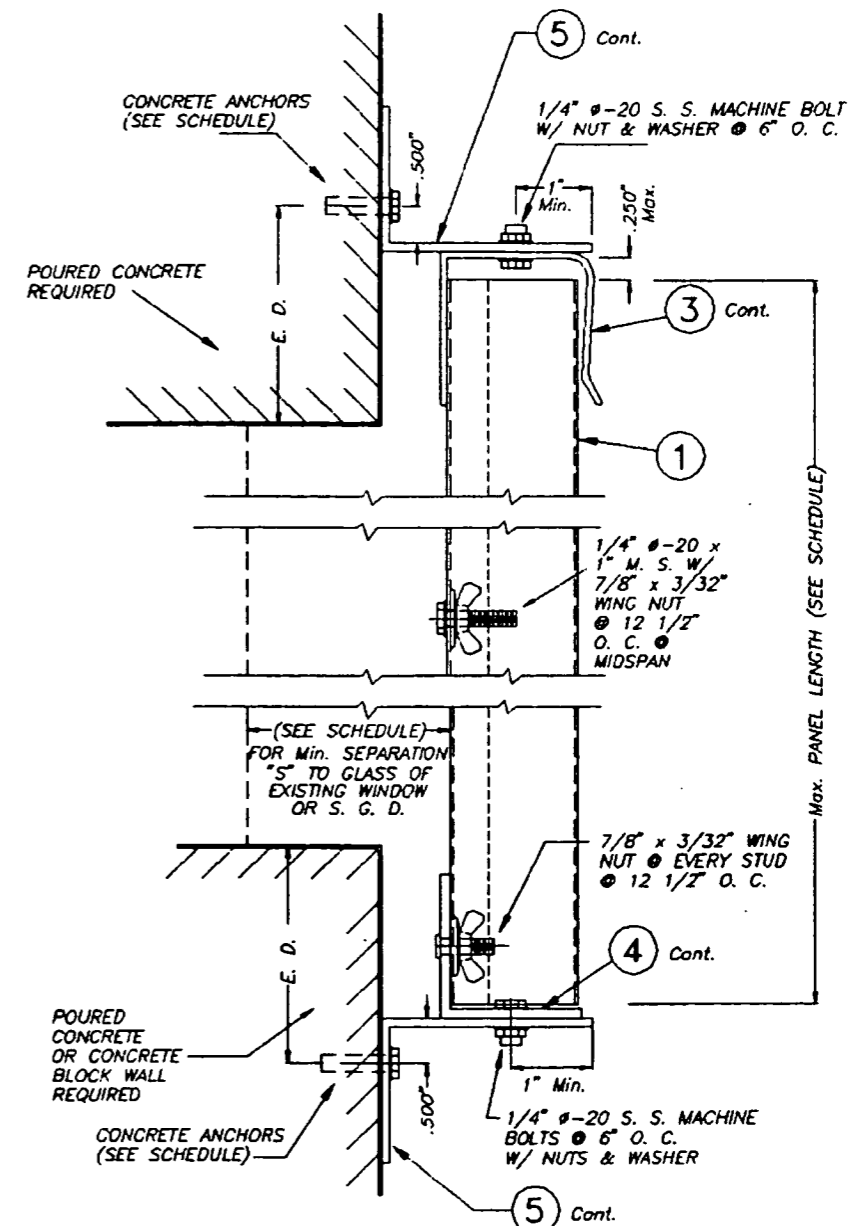


CEILING & FLOOR MOUNTING
INSTALLATION - SECTION 2

SCALE: 3/8" = 1"

E. D. = EDGE DISTANCE
(SEE SCHEDULE ON
SHEET 4 OF 5)

NOTE FOR COMBINATION OF SECTIONS:
WALL/CEILING/FLOOR MOUNTING SECTIONS CAN BE
COMBINED IN ANY WAY TO SUIT ANY INSTALLATION



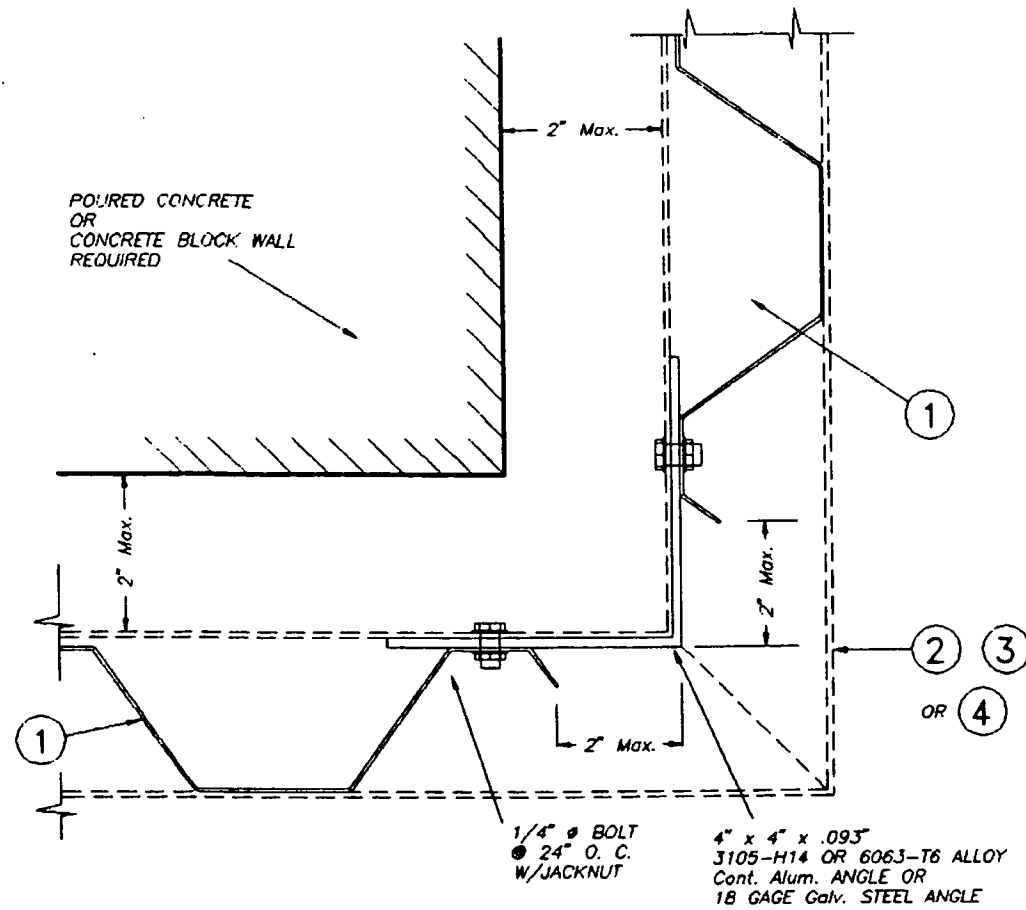
BUILD-OUT MOUNTING INSTALLATION
- SECTION 3

SCALE: 3/8" = 1"

David B. J.
4/10/99

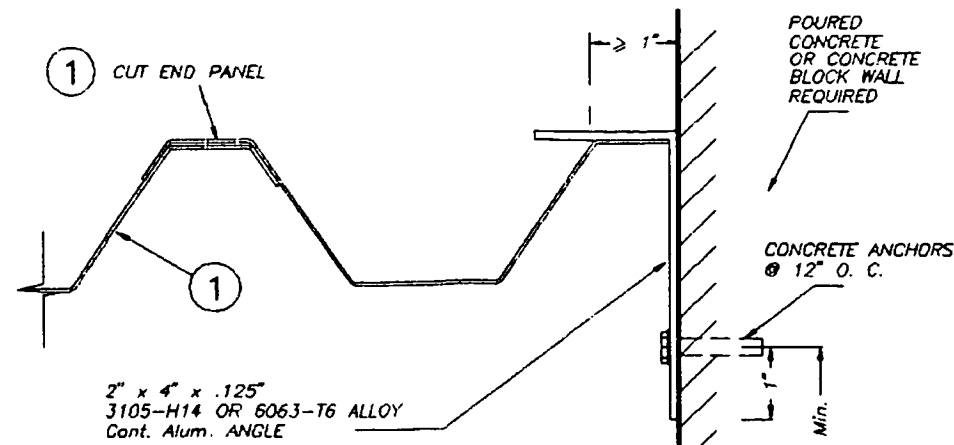
DADE COUNTY

<p>TILECO INC. TILLIT TESTING & ENGINEERING COMPANY 4995 N.W. 38th St., Ste. 217, VIRGINIA GARDENS, FL 33166 Phone: (305)671-1530 Fax: (305)671-1031 WALTER A. TILLIT Jr., P. E. FLORIDA Lic. 44167</p>		STORM PANEL		AS SHOWN SCALE	
		GULFSTREAM ALUMINUM & SHUTTER CORP. 197 S.E. MONTEREY ROAD STUART, FLORIDA 34994		10/7/96 DATE	
REV. NO	DESCRIPTION	DATE	REV. NO	DESCRIPTION	DATE
1	-	-	2	-	-
2	-	-	4	-	-
				96 - 314 DRAWING No	
				SHEET 2 OF 5	



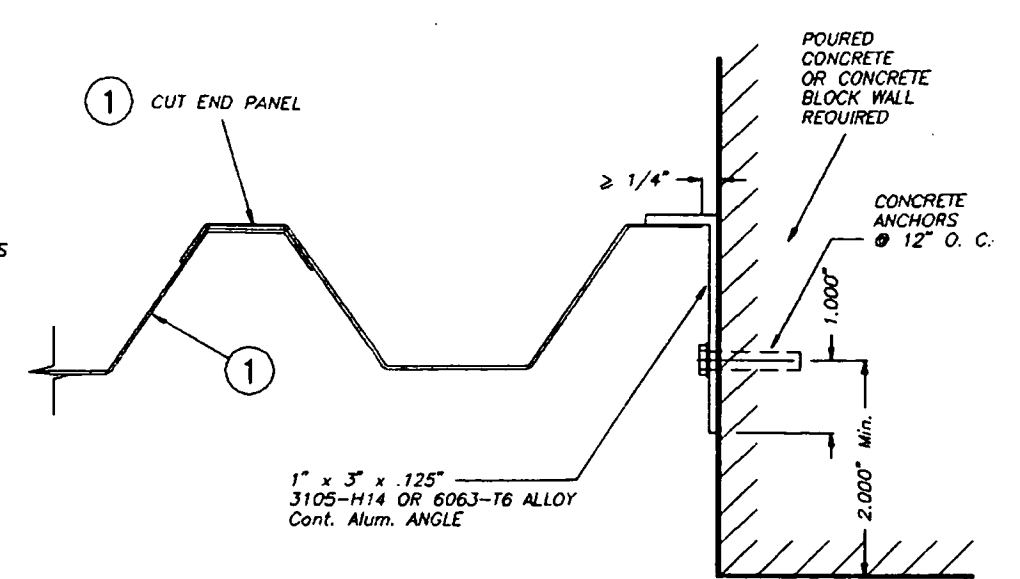
CASE A (Plan)

SCALE: 3/8" = 1"



CASE B (Plan)

SCALE: 3/8" = 1"



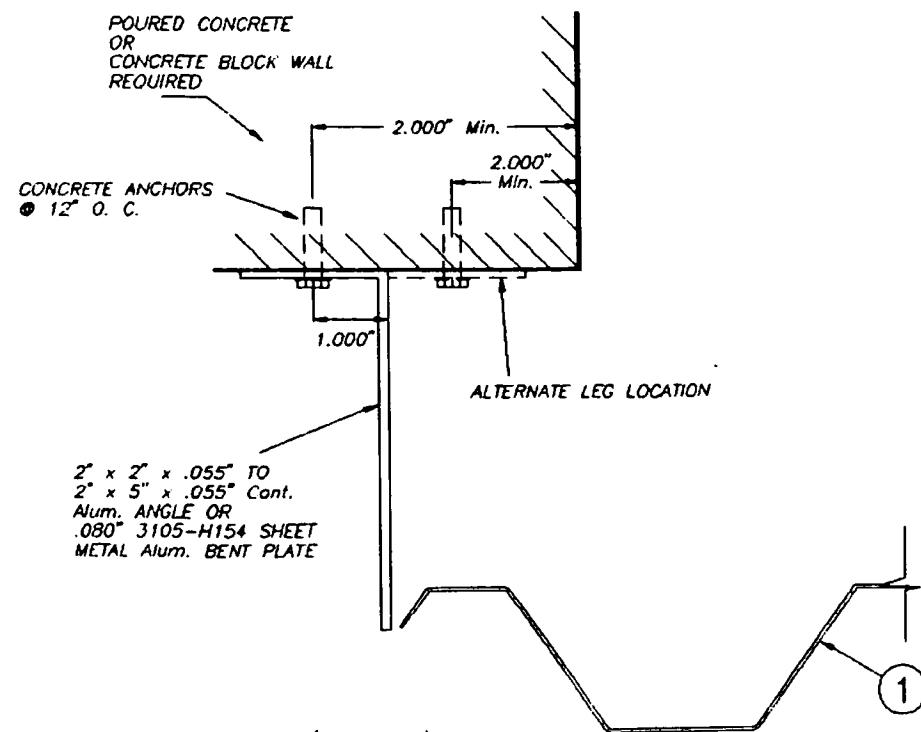
CASE C (Plan)

SCALE: 3/8" = 1"

END CLOSURES DETAILS

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM PANEL LENGTH "L" SCHEDULE

MAXIMUM DESIGN PRESSURE RATING W (p.s.f.)	Max. PANEL LENGTH L (ft.) (SEE SECTIONS)	MINIMUM SEPARATION TO GLASS	APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM
+65.0, -72.0	9'-0"	3"	1, 2 & 3
+50.6, -58.3	10'-0"	3"	1



CASE D (Plan)

SCALE: 3/8" = 1"

David Burt
11/10/99

DADE COUNTY

 TILTECO INC. TILLOT TESTING & ENGINEERING COMPANY 6595 N.W. 36th St., Ste. 217 VIRGINIA GARDENS, FL 33186 Phone: (305)871-1530 Fax: (305)871-1531 WALTER A. TILLOT Jr., P. E. FLORIDA Lic. 44167	STORM PANEL		AS SHOWN SCALE
	GULFSTREAM ALUMINUM & SHUTTER CORP. 197 S.E. MONTEREY ROAD STUART, FL 34994		10/7/96 DATE
			96 - 314 DRAWING No
			SHEET 3 OF 5

MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND C.B.S. STRUCTURES *

E. D. = EDGE DISTANCE


MAXIMUM DESIGN LOAD W (p.s.f.)	MAXIMUM ANCHORS SPACING FOR E. D. = 3 1/2" **						APPLICABLE TO SECTIONS # & ANY COMBINATION OF THEM	MAXIMUM PANEL LENGTH "L" (ft.)
	TAPCONS		ZAMAC NAILIN		RAWL CALK-IN			
	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY	TO CONCRETE	TO MASONRY		
+65.0, -72.0	9"	N/A	5"	N/A	9"	N/A	1 (TOP)	9'-0" OR LESS
	9"	7 1/2"	9"	9"	9"	9"	1 (BOTTOM)	
	9"	N/A	8"	N/A	9"	N/A	2 (TOP)	
	9"	N/A	7"	N/A	9"	N/A	2 (BOTTOM)	
	9"	N/A	9"	N/A	9"	N/A	3 (TOP)	
	9"	7 1/2"	9"	9"	9"	9"	3 (BOTTOM)	
+50.6, -58.3	9"	N/A	6 1/2"	N/A	9"	N/A	1 (TOP)	>9'-0" TO 10'-0"
	9"	8"	9"	9"	9"	9"	1 (BOTTOM)	
	9"	N/A	9"	N/A	9"	N/A	2 (TOP)	
	9"	N/A	7 1/2"	N/A	9"	N/A	2 (BOTTOM)	
	9"	N/A	9"	N/A	9"	N/A	3 (TOP)	
	9"	8"	9"	9"	9"	9"	3 (BOTTOM)	

- * SEE SHEET 5 OF 5 FOR ANCHORS TYPE & SPACING FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS.
- ** MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE. FOR E. D. LESS THAN 3 1/2", REDUCE ANCHOR SPACING BY MULTIPLYING SPACINGS SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS.

ACTUAL E. D.	FACTOR	
	TAPCON/ZAMAC NAILIN	RAWL CALK-IN
3"	.86	.75
2 1/2"	.71	.50
2"	.50	-

Handwritten Signature
2/10/99

DADE COUNTY

 TILTECO Inc. TILLIT TESTING & ENGINEERING COMPANY 8000 N.W. 36TH ST., Ste. 217, WILMISTON GARDENS, FLORIDA 33168 Phone: (305)871-1630 Fax: (305)871-1531 WALTER A. TILLIT, Jr., P. E. FLORIDA Lic. # 44167	STORM PANEL		- SCALE
	GULFSTREAM ALUMINUM & SHUTTER CORP.		10/7/98 DATE
	197 S.E. MONTEREY ROAD STUART, FL 34994		96 - 314 DRAWING No
REV. NO	DESCRIPTION	DATE	REV. No
1	-	-	3
2	-	-	4
SHEET 4 OF 5			

Caradco Windows & Doors


ACCEPTANCE No.: 98-1021.04

APPROVED : JAN 28 1999

EXPIRES : August 31, 2001

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process.
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.


Manuel Perez, P.E. Product Control Examiner
Product Control Division

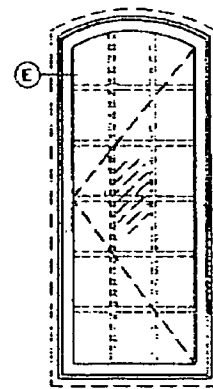
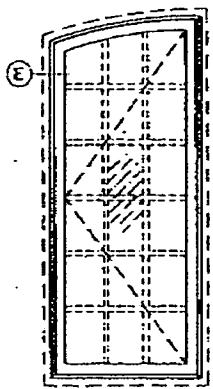
END OF THIS ACCEPTANCE

3 of 3

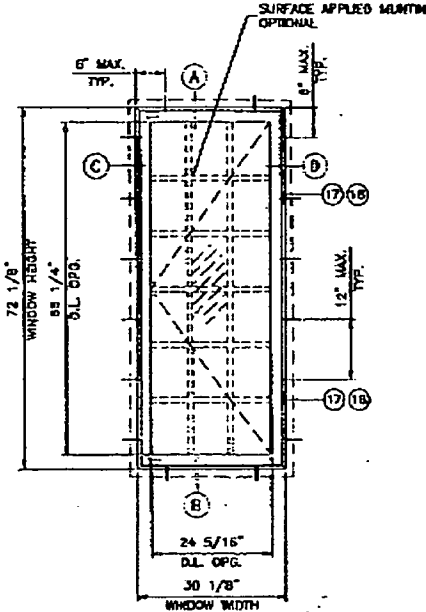
WINDOW DIMENSIONS		DESIGN LOAD CAPACITY - PSF			
		NON-IMPACT WINDOWS SHUTTERS REQUIRED		IMPACT RESISTANT WINDOWS SHUTTERS NOT REQUIRED	
WIDTH	HEIGHT	EXT. DWT.	INT. DWT.	EXT. DWT.	INT. DWT.
17'	32'	100.0	100.0	100.0	140.0
20'		100.0	100.0	100.0	140.0
24'		100.0	100.0	100.0	119.5
28'		100.0	100.0	100.0	102.4
30'		95.6	95.6	95.6	95.6
36'	79.6	79.6	79.6	79.6	
17'	36'	100.0	100.0	100.0	140.0
20'		100.0	100.0	100.0	140.0
24'		100.0	100.0	100.0	119.5
28'		100.0	100.0	100.0	102.4
30'		95.6	95.6	95.6	95.6
36'	79.6	79.6	79.6	79.6	
17'	40'	100.0	100.0	100.0	140.0
20'		100.0	100.0	100.0	140.0
24'		100.0	100.0	100.0	119.5
28'		100.0	100.0	100.0	102.4
30'		95.6	95.6	95.6	95.6
36'	79.6	79.6	79.6	79.6	
17'	48'	100.0	100.0	100.0	140.0
20'		100.0	100.0	100.0	140.0
24'		100.0	100.0	100.0	119.5
28'		87.4	87.4	100.0	102.4
30'		80.4	80.4	95.6	95.6
36'	64.8	64.8	79.7	79.7	
17'	56'	100.0	100.0	100.0	140.0
20'		100.0	100.0	100.0	140.0
24'		89.2	89.2	100.0	119.5
28'		73.7	73.7	100.0	102.4
30'		67.0	67.0	95.6	95.6
36'	54.7	54.7	79.7	79.7	
17'	60'	100.0	100.0	100.0	140.0
20'		100.0	100.0	100.0	140.0
24'		82.7	82.7	100.0	119.5
28'		68.3	68.3	100.0	102.4
30'		62.0	62.0	95.6	95.6
36'	50.7	50.7	79.7	79.7	
17'	64'	100.0	100.0	100.0	140.0
20'		97.6	97.6	100.0	140.0
24'		77.1	77.1	100.0	119.5
28'		63.7	63.7	100.0	102.4
30'		58.6	58.6	95.6	95.6
17'	72'	100.0	100.0	100.0	140.0
20'		86.0	86.0	100.0	134.0
24'		67.9	67.9	93.2	112.1
28'		56.1	56.1	80.9	96.1
30'		51.6	51.6	76.1	89.7

MAX. DESIGN LOADS LIMITED TO 140 PSF

DESIGN LOAD RATING FOR ALL SIZES = + 80.0 PSF - 80.0 PSF
 BASED ON NCTL-210-2058-6 OF 08-12-88
 TEST SIZE = 33" X 75" (X)
 DESIGN LOADS = +88.0, -80.0 PSF
 TESTED GLASS = 3/8" OVERALL IMPACT GLASS



SEGMENT HEAD CASEMENTS



TYPICAL ELEVATION TESTED UNIT

NOTES

1. THIS STRUCTURE IS DESIGNED AS PER THE SOUTH FLORIDA BUILDING CODE 1994 EDITION FOR DADE COUNTY, ALSO FOR WIND LOADS AS PER ASCE 7-88 USING CORRESPONDING LOADS.
2. WOOD BLOCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.
3. ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
4. ANCHORING OR LOADING CONDITION NOT SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.

DR. HANKYOUNG FAROOQ
 STRUCTURES
 FLA. PE # 16507

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
 DATE: JANUARY 28 1999
 BY: *[Signature]*
 PROJECT CONTROL EYES ON
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-1021.04

'CAR CLAY' WOOD CASEMENT WINDOWS
 COMPARATIVE ANALYSIS CHART

BASED ON NCTL-210-1732 OF 04-24-85
 TEST SIZE = 32 1/2" X 74 1/2" (X)
 DESIGN LOADS = +66.0, -60.0 PSF
 WATER INFILTRATION TEST = 15.0 PSF
 TESTED CLASS = 3/4" INSULATED NON-IMPACT GLASS

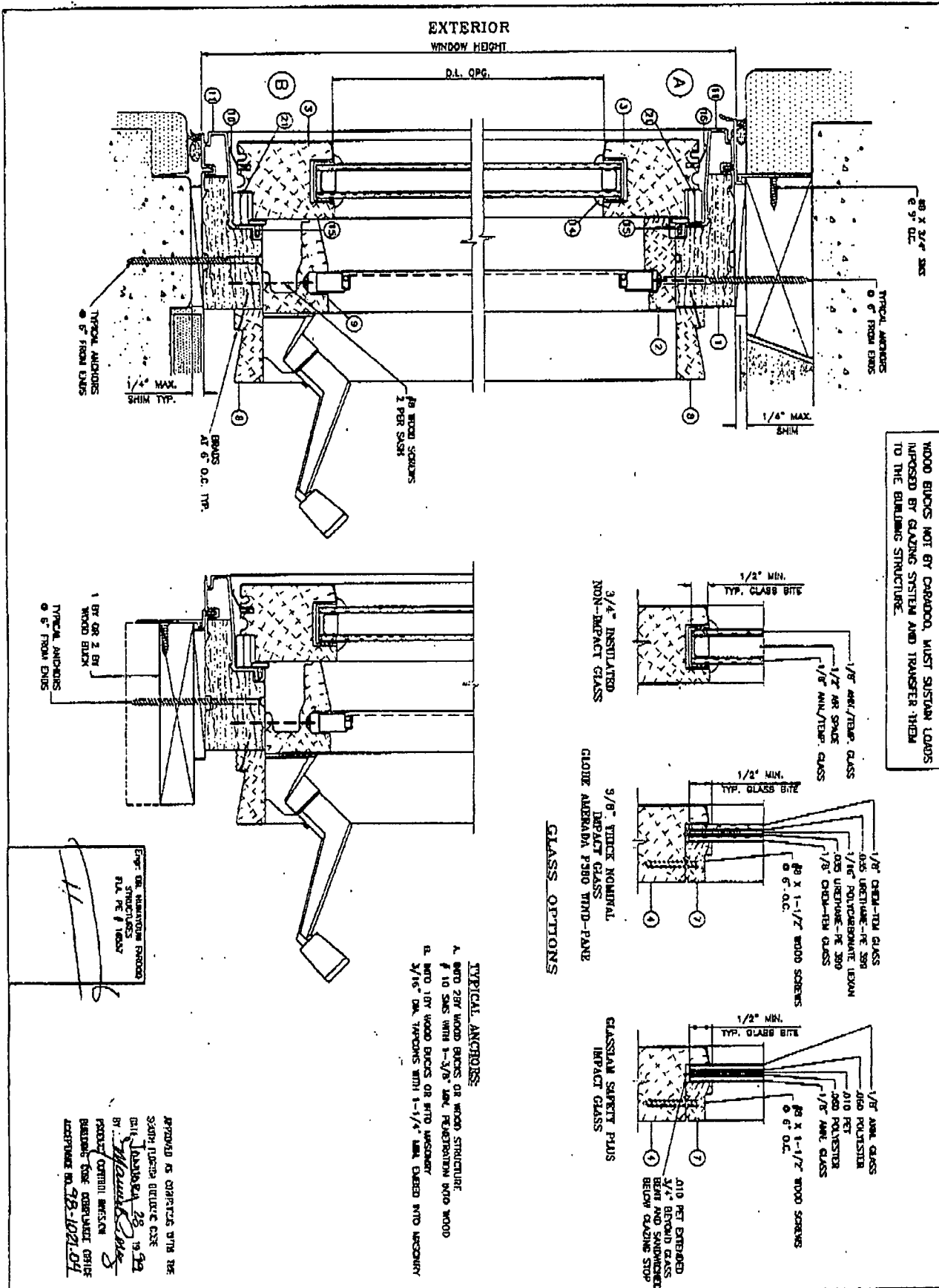
AL-FAROOQ CORPORATION
 ENGINEERS, PLANNERS & PRODUCT DESIGN
 1235 SW 87 AVE
 MIAMI, FLORIDA 33174
 TEL. (305) 264-8100 FAX. (305) 282-8978
 CDMP-ANL W98-7850

'CAR CLAY' WOOD CASEMENT WINDOW
 CARADCO WOOD WINDOWS & PATIO DOORS
 201 EVANS ROAD
 RANTOUL, ILLINOIS 61866
 TEL. (217) 863-4444 FAX (217) 893-0921

REGISTRATION: BY SUBMISSION
 DATE: 08-21-94
 SCALE: 1/2" = 1'
 DR. BY: HMOO
 CHK. BY:

drawing no.
W98-76
 sheet 1 of 5

98 111111



WOOD BLOCKS NOT BY CARADCO, MUST SUSTAIN LOADS IMPOSED BY GLAZING SYSTEM AND TRANSFER THEM TO THE BUILDING STRUCTURE.

EXP. OR SUBSTITUTION PROCEED
PL. RE. # 10047

drawing no. W98-76	sheet 2 of 5	date 00-21-99	scale 1/2" = 1'	author HAMD	check [Signature]	approved [Signature]	description CAR CLAD WOOD CASEMENT WINDOW	CARADCO WOOD WINDOWS & PATIO DOORS 201 EVANS ROAD RANTOUL, ILLINOIS 61868 TEL (217) 693-6444 FAX (217) 883-0921	AL-FAROOQ CORPORATION ENGINEERS, PLANNERS & PRODUCT DESIGN 1235 SW 87 AVE MIAMI, FLORIDA 33174 TEL (305) 264-8100 FAX (305) 262-6978 COMP-ANLW98-76CO	a f c



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Caradco Windows & Doors
201 Evans Drive
Rantoul IL 61866

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

"Car Clad" Aluminum Clad Wood Casement Window - Impact & Non Impact Resistant

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-1021.04 (Revises No.: 98-0728.08)

Expires: 08/31/2001

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

Approved: 01/28/1999

1 of 3



Caradco Windows & Doors

ACCEPTANCE No.: 98-1021.04

APPROVED : JAN 28 1999

EXPIRES : August 31, 2001

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. SCOPE

- 1.1 This revises the Notice of Acceptance No. 98-0728.08, which was issued 09/24/98. It approves a wood casement window, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code (SFBC), 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

- 2.1 The "Car Clad" Aluminum Cladding Wood Casement Window - Impact Resistant and Non-Impact Resistant and its components shall be constructed in strict compliance with the following documents: Drawing No W98-76, titled "Car Clad" Wood Casement Window" Sheets 1 through 5 of 5, dated 09/21/98, signed and sealed by Humayoun Farooq, P.E., bearing the Miami-Dade County Product Control approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

- 3.1 This approval applies to single unit applications and side-by-side installations, as shown in approved drawings.

4. INSTALLATION

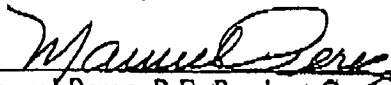
- 4.1 The wood casement window and its components shall be installed in strict compliance with the approved drawings.
- 4.2 Hurricane protection system (shutters): to determine whether the installation requires a hurricane protection system or not, see corresponding table in approved drawing.

5. LABELING

- 5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".

6. BUILDING PERMIT REQUIREMENTS

- 6.1 Application for building permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance
- 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.
- 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.


Manuel Perez, P.E. Product Control Examiner
Product Control Division

Caradco Windows & Doors


ACCEPTANCE No.: 98-1021.04

APPROVED : JAN 28 1999

EXPIRES : August 31, 2001

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process.
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.


Manuel Perez, P.E. Product Control Examiner
Product Control Division

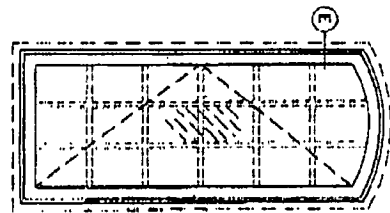
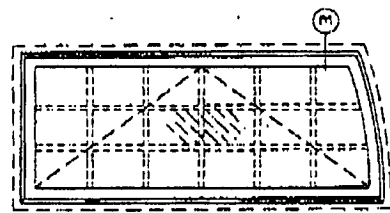
END OF THIS ACCEPTANCE

3 of 3

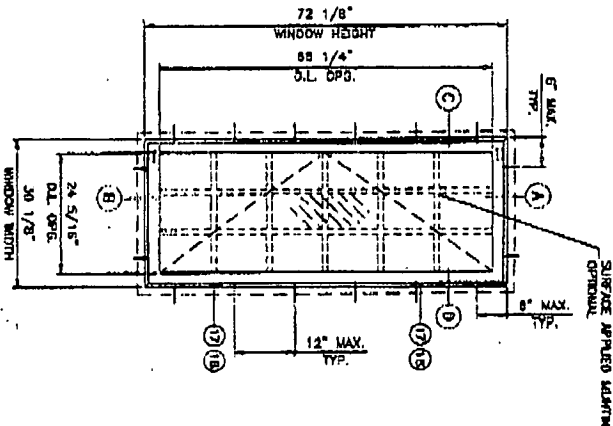
WINDOW DIMENSIONS	DESIGN LOAD CAPACITY - PSF	IMPACT RESISTANT WINDOW SCHEDULES REQUIRED				IMPACT RESISTANT WINDOW SCHEDULES NOT REQUIRED			
		17"	24"	36"	48"	17"	24"	36"	48"
17"	1000	1000	1000	1000	1000	1000	1000	1000	1000
24"	1000	1000	1000	1000	1000	1000	1000	1000	1000
36"	1000	1000	1000	1000	1000	1000	1000	1000	1000
48"	1000	1000	1000	1000	1000	1000	1000	1000	1000
17"	1000	1000	1000	1000	1000	1000	1000	1000	1000
24"	1000	1000	1000	1000	1000	1000	1000	1000	1000
36"	1000	1000	1000	1000	1000	1000	1000	1000	1000
48"	1000	1000	1000	1000	1000	1000	1000	1000	1000
17"	1000	1000	1000	1000	1000	1000	1000	1000	1000
24"	1000	1000	1000	1000	1000	1000	1000	1000	1000
36"	1000	1000	1000	1000	1000	1000	1000	1000	1000
48"	1000	1000	1000	1000	1000	1000	1000	1000	1000
17"	1000	1000	1000	1000	1000	1000	1000	1000	1000
24"	1000	1000	1000	1000	1000	1000	1000	1000	1000
36"	1000	1000	1000	1000	1000	1000	1000	1000	1000
48"	1000	1000	1000	1000	1000	1000	1000	1000	1000

MAX. DESIGN LOADS LIMITED TO 140 PSF

BASED ON NECTL-210-2009-6 OF 08-12-88
 TEST SIZE = 33" X 75" (3)
 DESIGN LOADS = +680, -680 PSF
 TESTED GLASS = 3/8" OVERPAINT IMPACT GLASS



SECTION HEAD CASEMENTS



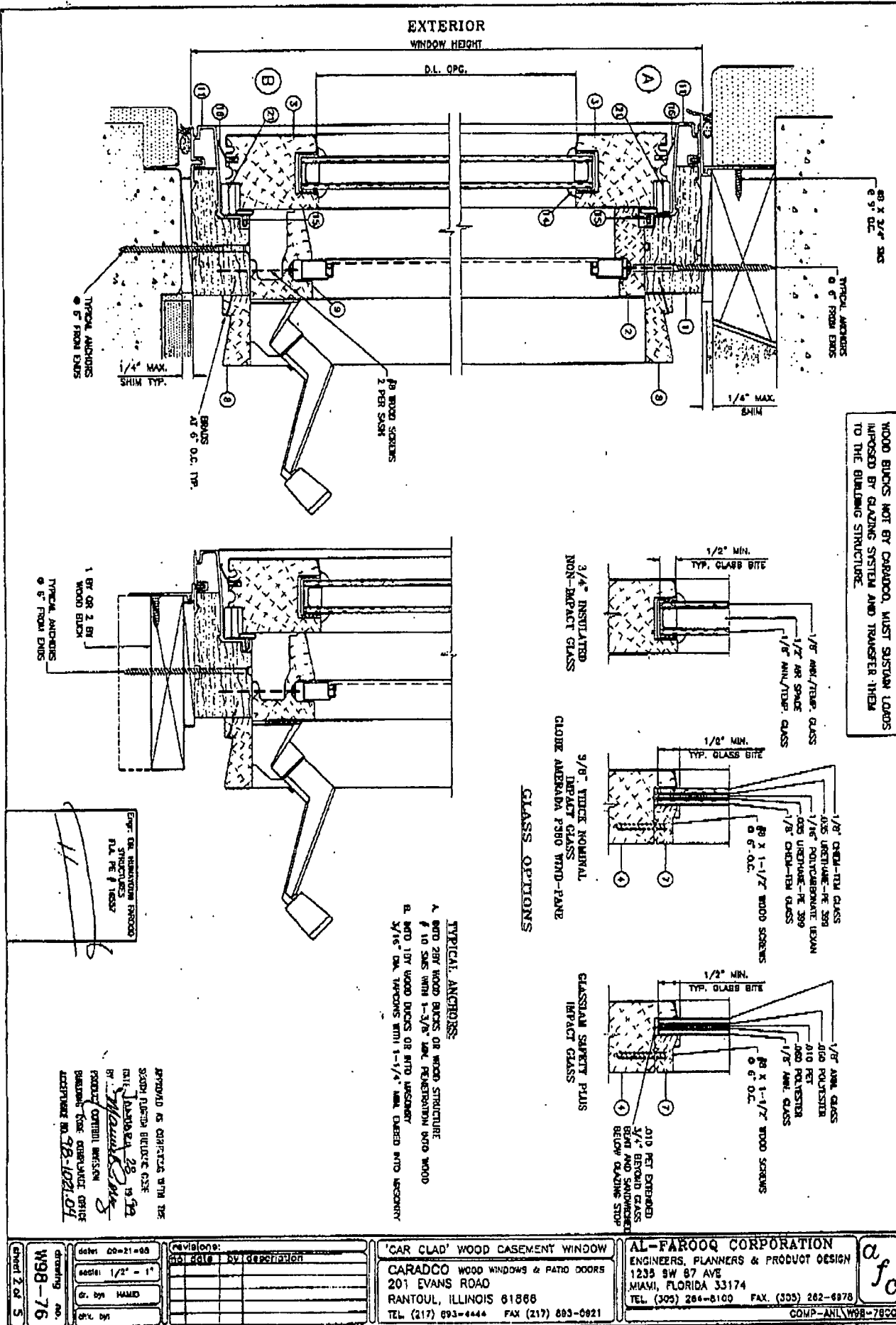
TYPICAL ELEVATION WINDOW UNIT

- NOTES**
- THIS STRUCTURE IS DESIGNED AS PER THE SOUTH FLORIDA BUILDING CODE 1984 EDITION FOR DADE COUNTY, ALSO FOR WIND LOADS AS PER ASCE 7-88 USING CORRESPONDING LOADS.
 - WOOD BLOCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO FRAMEWORK.
 - ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. MACHINE EMBEDMENT TO EXIST MATERIAL SHALL BE BEYOND WALL DRESSING OR STRUCCO.
 - ANCHORING OR LOADING CONDITION NOT SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.

APPROVED AS CONTRACTOR WITH THE SOUTH FLORIDA BUILDING CODE DATE: JANUARY 28, 1999 BY: Howard G. ...

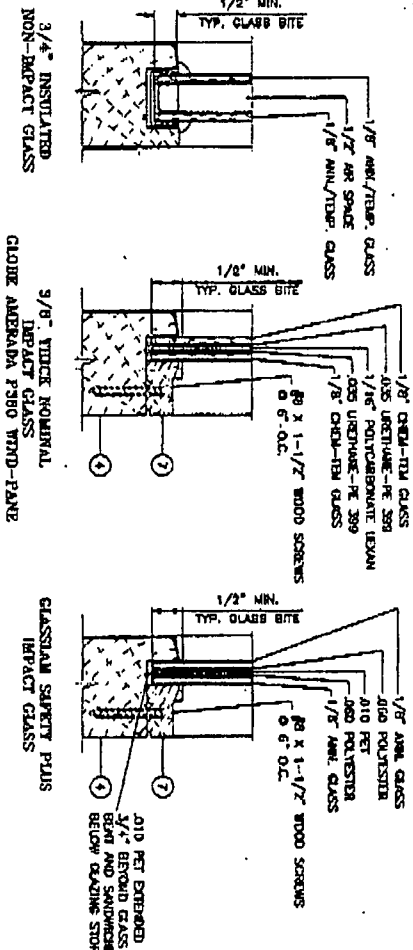
APPROVED AS CONTRACTOR WITH THE SOUTH FLORIDA BUILDING CODE DATE: JANUARY 28, 1999 BY: Howard G. ...

drawing no. W98-76	date: 02-21-99	revisions: no. date by description	'CAR CLAD' WOOD CASEMENT WINDOW CARADCO WOOD WINDOWS & PATIO DOORS 201 EVANS ROAD RANTOUL, ILLINOIS 61866 TEL (217) 883-4444 FAX (217) 893-0921	AL-FAROQ CORPORATION ENGINEERS, PLANNERS & PRODUCT DESIGN 1235 SW 87 AVE MIAMI, FLORIDA 33174 TEL. (305) 264-8100 FAX. (305) 262-6078 COMP-ANI, W98-76CO	a f c
	sheet 1 of 5	scale: 1/2" = 1'-0"	dr. by: HMOB	PROJECT ENGINEER: ESTER	BUILDING CODE OFFICIAL:



WOOD BUICKS NOT BY CARADCO, MUST SUSTAIN LOADS IMPOSED BY GLAZING SYSTEM AND TRANSFER THEM TO THE BUILDING STRUCTURE.

GLASS OPTIONS



TYPICAL ANCHORS:

- A. WOOD 2BY WOOD BUICKS OR WOOD STRUCTURE
- B. WOOD 1BY WOOD BUICKS OR INTO LAMINATED
- C. 3/16\"/>

EXP. FOR INFORMATION PURPOSES ONLY. NOT FOR CONSTRUCTION.

APPROVED AS SHOWN WITH THE SCOPED PORTION BEING THE CASE. DATE: 12/28/98 BY: [Signature] PROJECT: [Signature] CHECKED: [Signature] DRAWN: [Signature] SCALE: 1/2\"/>

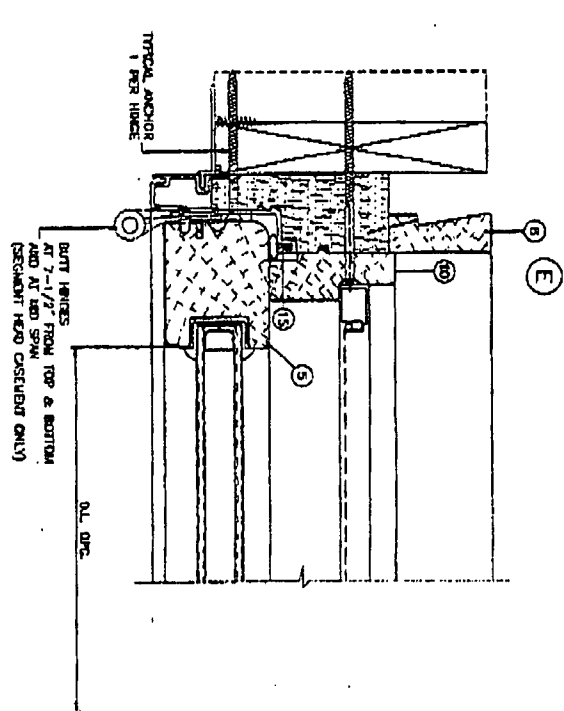
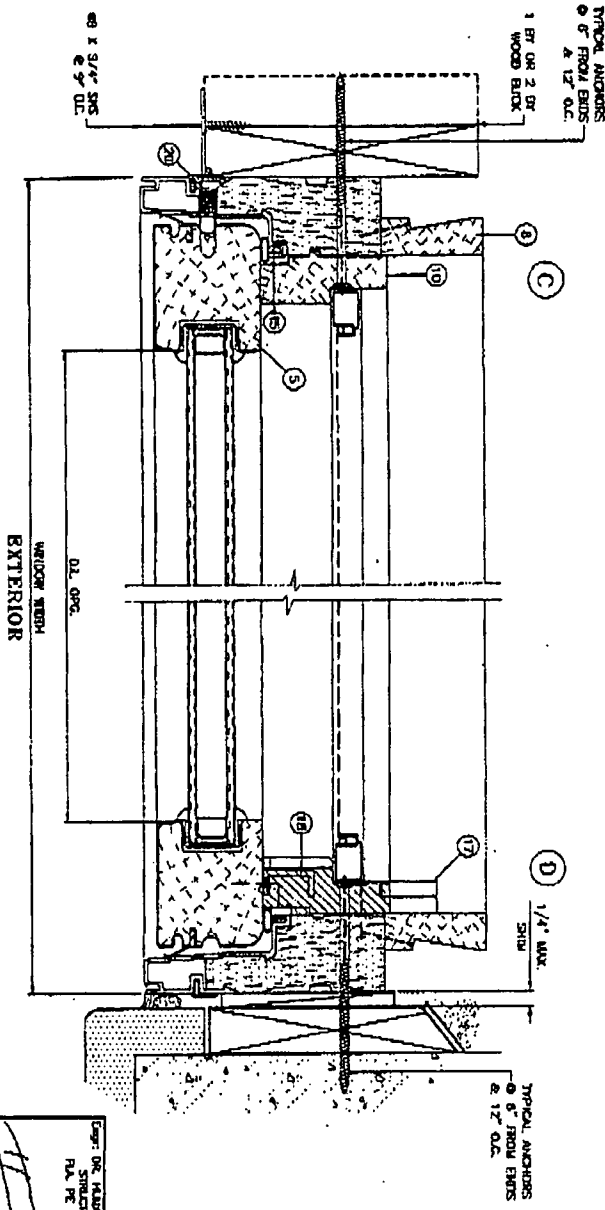
drawing no.	98-08-76
sheet no.	2 of 5
date	08-21-98
scale	1/2\"/>
by	MM
check	[Signature]

revisions:	no.	date	description
1	1		

'CAR CLAD' WOOD CASEMENT WINDOW
 CARADCO WOOD WINDOWS & PATIO DOORS
 201 EVANS ROAD
 RANTOUL, ILLINOIS 61868
 TEL. (217) 693-4444 FAX (217) 693-0821

AL-FAROOQ CORPORATION
 ENGINEERS, PLANNERS & PRODUCT DESIGN
 1235 SW 87 AVE
 MIAMI, FLORIDA 33174
 TEL. (305) 264-8100 FAX. (305) 262-6978

COMP-ANLW98-78CB



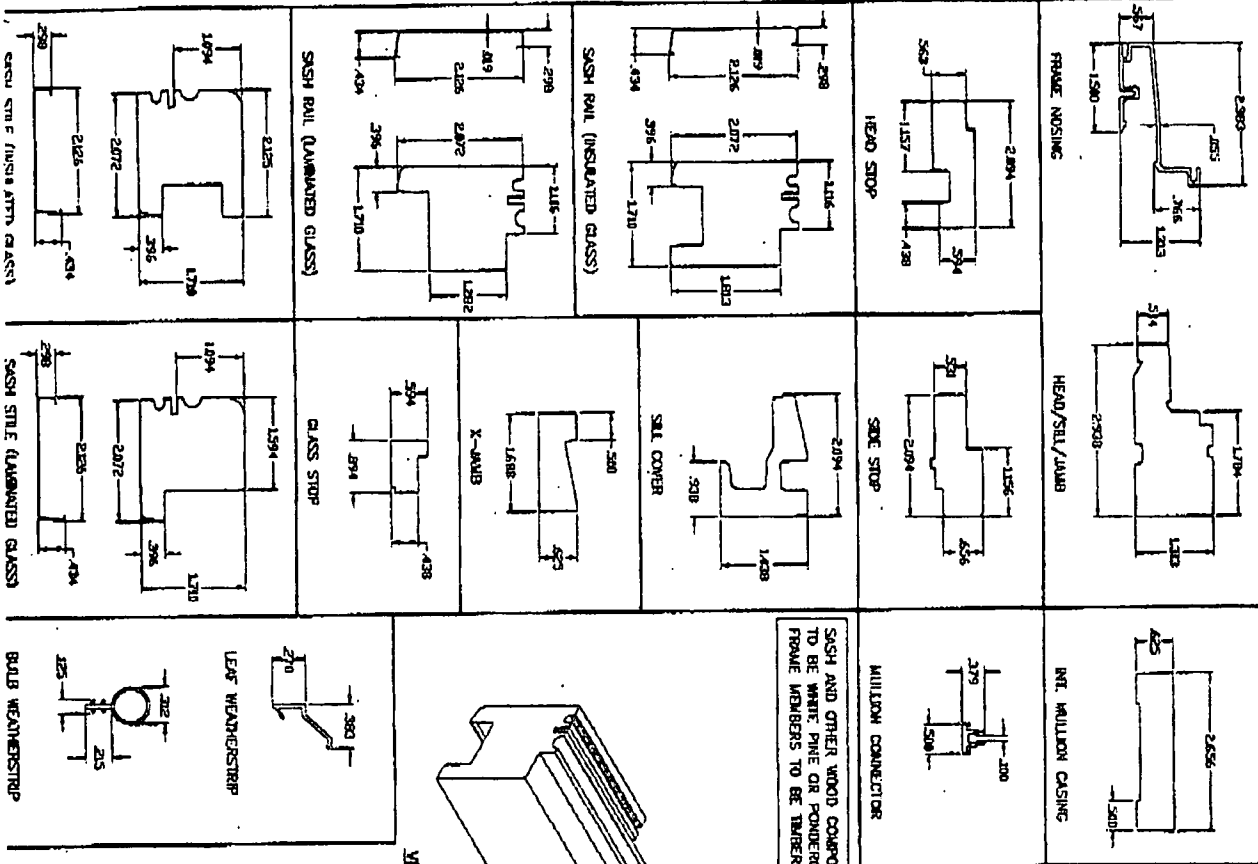
ITEM #	QTY	DESCRIPTION	REVISION	UNIT / NOTES
1	1	HEAD STOP	WOOD	CASING
2	2	SASH ROLL OVER GLASS	WOOD	CASING
3	2	SASH ROLL OVER GLASS	WOOD	CASING
4	2	SASH ROLL OVER GLASS	WOOD	CASING
5	2	SASH ROLL OVER GLASS	WOOD	CASING
6	2	SASH ROLL OVER GLASS	WOOD	CASING
7	2	SASH ROLL OVER GLASS	WOOD	CASING
8	2	SASH ROLL OVER GLASS	WOOD	CASING
9	2	SASH ROLL OVER GLASS	WOOD	CASING
10	2	SASH ROLL OVER GLASS	WOOD	CASING
11	2	SASH ROLL OVER GLASS	WOOD	CASING
12	2	SASH ROLL OVER GLASS	WOOD	CASING
13	2	SASH ROLL OVER GLASS	WOOD	CASING
14	2	SASH ROLL OVER GLASS	WOOD	CASING
15	2	SASH ROLL OVER GLASS	WOOD	CASING
16	2	SASH ROLL OVER GLASS	WOOD	CASING
17	2	SASH ROLL OVER GLASS	WOOD	CASING
18	2	SASH ROLL OVER GLASS	WOOD	CASING
19	2	SASH ROLL OVER GLASS	WOOD	CASING
20	2	SASH ROLL OVER GLASS	WOOD	CASING
21	2	SASH ROLL OVER GLASS	WOOD	CASING
22	2	SASH ROLL OVER GLASS	WOOD	CASING

DATE: 00-21-98
 DRAWING NO. W98-76
 SHEET 3 OF 5

APPROVED BY: [Signature]
 PROJECT: [Text]
 DATE: [Text]

'CAR CLAD' WOOD CASEMENT WINDOW
 CARADCO WOOD WINDOWS & PATIO DOORS
 201 EVANS ROAD
 RANTOUL, ILLINOIS 61868
 TEL. (217) 853-4444 FAX (217) 853-0821

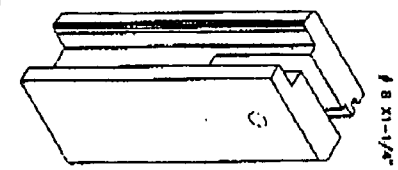
AL-FAROOQ CORPORATION
 ENGINEERS, PLANNERS & PRODUCT DESIGN
 1235 SW 87 AVE
 MIAMI, FLORIDA 33174
 TEL. (305) 264-8100 FAX. (305) 262-6978
 COMP-ANL W98-7800



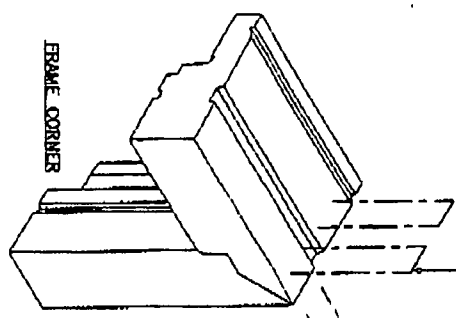
SASH AND OTHER WOOD COMPONENTS TO BE WHITE PINE OR POWDEROAK PINE. FRAME MEMBERS TO BE TIMBERSTRAND.

VEHICLE CORNER

FRAME AND VEHIC CORNERS SEALED WITH BUTYL TAPE SEALANT. BUTYL CAULK USED IN BETWEEN ALUMINUM/WOOD JUNCTIONS.

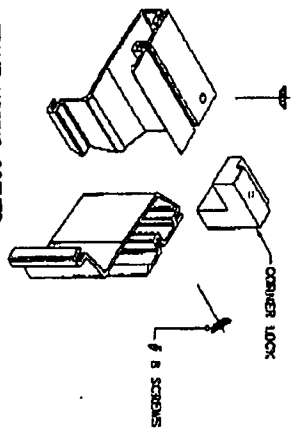


1/8 x 1-1/4 SCREWS



FRAME CORNER

2" x 1/2" STAPLES FOR CORNER



FRAME NOSING CORNER

CORNER LOCK

Fig. 104 - ALUMINUM WINDOW STRUCTURES
 P.A. No. 1-16537
 OCT 18 1998

APPROVED AS SUBMITTED WITH THE SIGNATURE OF THE ARCHITECT
 DATE: JANUARY 22, 1999
 BY: [Signature]
 PROJECT GENERAL CONTRACTOR
 BUILDING CODE COMPLIANCE OFFICE
 COUNTY OF MIAMI, FLORIDA

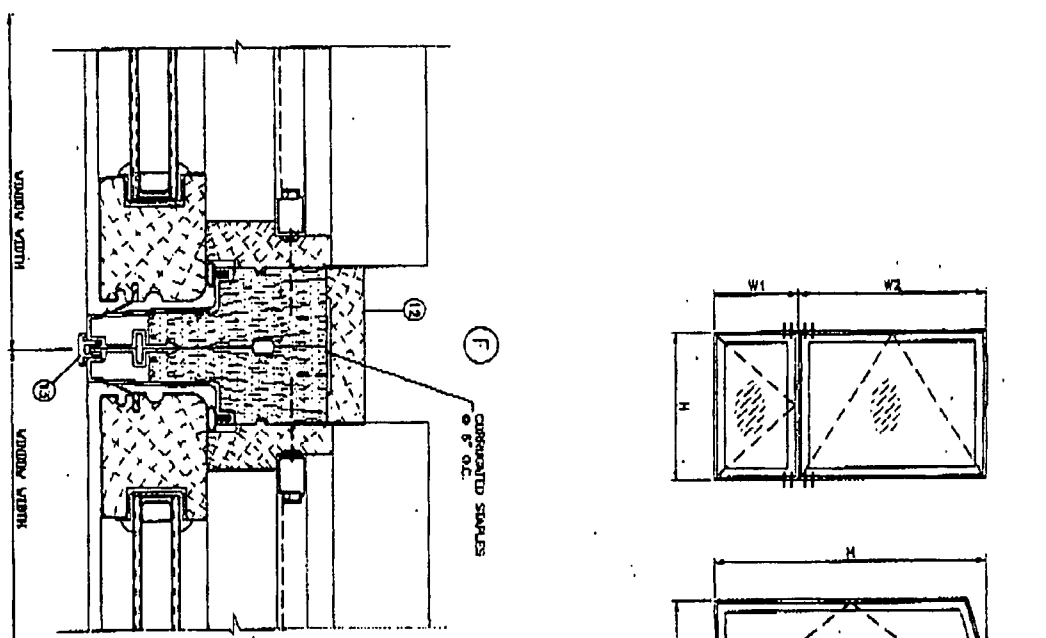
Sheet 4 of 5	W98-76	DATE: 09-01-98	REVISIONS:
		NO. DATE BY DESCRIPTION	
		1/1/99	
		2/1/99	
		3/1/99	
		4/1/99	
		5/1/99	

'CAR CLAD' WOOD CASEMENT WINDOW
 CARADCO WOOD WINDOWS & PATIO DOORS
 201 EVANS ROAD
 RANTOUL, ILLINOIS 61866
 TEL. (317) 893-4444 FAX (317) 893-0921

AL-FAROQ CORPORATION
 ENGINEERS, PLANNERS & PRODUCT DESIGN
 1235 SW 87 AVE
 MIAMI, FLORIDA 33174
 TEL. (305) 264-8100 FAX. (305) 262-6978
 COMP-ANI-W98-7650



WINDOW DIMENSIONS HEIGHT (H)	HEIGHT (H)	MINIMUM DESIGN LOAD CAPACITY - PER (SINK, RAISE OR TYP/TYPICAL WINDOWS) DRAINAGE CASSETTE, FIBER CEMENT, ALUMINUM OR PVC COMPOSITION INSIDE		WIND UPLIFT RESISTANCE (PSF) (MINIMUM REQUIRED) (SEE TABLE FOR WIND UPLIFT RESISTANCE CLASS)	WIND UPLIFT RESISTANCE (PSF) (MINIMUM REQUIRED) (SEE TABLE FOR WIND UPLIFT RESISTANCE CLASS)
		WIND UPLIFT RESISTANCE (PSF) (MINIMUM REQUIRED) (SEE TABLE FOR WIND UPLIFT RESISTANCE CLASS)	WIND UPLIFT RESISTANCE (PSF) (MINIMUM REQUIRED) (SEE TABLE FOR WIND UPLIFT RESISTANCE CLASS)		
15'	144.0	144.0	65.0	80.0	80.0
20'	144.0	144.0	65.0	80.0	80.0
25'	144.0	144.0	65.0	80.0	80.0
30'	144.0	144.0	65.0	80.0	80.0
35'	144.0	144.0	65.0	80.0	80.0
40'	144.0	144.0	65.0	80.0	80.0
45'	144.0	144.0	65.0	80.0	80.0
50'	144.0	144.0	65.0	80.0	80.0
55'	144.0	144.0	65.0	80.0	80.0
60'	144.0	144.0	65.0	80.0	80.0
65'	144.0	144.0	65.0	80.0	80.0
70'	144.0	144.0	65.0	80.0	80.0
75'	144.0	144.0	65.0	80.0	80.0
80'	144.0	144.0	65.0	80.0	80.0
85'	144.0	144.0	65.0	80.0	80.0
90'	144.0	144.0	65.0	80.0	80.0
95'	144.0	144.0	65.0	80.0	80.0
100'	144.0	144.0	65.0	80.0	80.0
105'	144.0	144.0	65.0	80.0	80.0
110'	144.0	144.0	65.0	80.0	80.0
115'	144.0	144.0	65.0	80.0	80.0
120'	144.0	144.0	65.0	80.0	80.0
125'	144.0	144.0	65.0	80.0	80.0
130'	144.0	144.0	65.0	80.0	80.0
135'	144.0	144.0	65.0	80.0	80.0
140'	144.0	144.0	65.0	80.0	80.0
145'	144.0	144.0	65.0	80.0	80.0
150'	144.0	144.0	65.0	80.0	80.0
155'	144.0	144.0	65.0	80.0	80.0
160'	144.0	144.0	65.0	80.0	80.0
165'	144.0	144.0	65.0	80.0	80.0
170'	144.0	144.0	65.0	80.0	80.0
175'	144.0	144.0	65.0	80.0	80.0
180'	144.0	144.0	65.0	80.0	80.0
185'	144.0	144.0	65.0	80.0	80.0
190'	144.0	144.0	65.0	80.0	80.0
195'	144.0	144.0	65.0	80.0	80.0
200'	144.0	144.0	65.0	80.0	80.0
205'	144.0	144.0	65.0	80.0	80.0
210'	144.0	144.0	65.0	80.0	80.0
215'	144.0	144.0	65.0	80.0	80.0
220'	144.0	144.0	65.0	80.0	80.0
225'	144.0	144.0	65.0	80.0	80.0
230'	144.0	144.0	65.0	80.0	80.0
235'	144.0	144.0	65.0	80.0	80.0
240'	144.0	144.0	65.0	80.0	80.0
245'	144.0	144.0	65.0	80.0	80.0
250'	144.0	144.0	65.0	80.0	80.0
255'	144.0	144.0	65.0	80.0	80.0
260'	144.0	144.0	65.0	80.0	80.0
265'	144.0	144.0	65.0	80.0	80.0
270'	144.0	144.0	65.0	80.0	80.0
275'	144.0	144.0	65.0	80.0	80.0
280'	144.0	144.0	65.0	80.0	80.0
285'	144.0	144.0	65.0	80.0	80.0
290'	144.0	144.0	65.0	80.0	80.0
295'	144.0	144.0	65.0	80.0	80.0
300'	144.0	144.0	65.0	80.0	80.0



TYPICAL ANCHORS (2) AT EACH SIDE OF WALL/DOOR

TYPICAL ELEVATIONS
SIDE BY SIDE APPLIES TO TWO OR MORE WINDOWS

AVG. WINDOW WIDTH = $\frac{W1 + W2}{2}$

- NOTES:
1. USE CHART ON THIS SHEET FOR SINK BY SINK CONNECTION CAPACITY OF OPERATING CASSETTE, FIBER CEMENT, ALUMINUM OR PVC COMPOSITION INSIDE.
 2. FOR OPERATING CASSETTE WINDOW CAPACITY SEE SHEET 1.
 3. USE SMALLER DESIGN LOAD CAPACITY OF 1 OR 2 ABOVE.

DATE: 08-12-1998

DR. DR. AL-FAROQ CORPORATION

STRUCTURAL

NO. 78-1021 OF

APPROVED AS COMPLETE WITH THE

DATE: 08-12-1998

BY: *Al-Farooq*

PROJECT: CENTRAL DIVISION

BUILDING CODE ADMINISTRATION

ADVISE: NO. 78-1021 OF

drawing no. W98-76 sheet 5 of 5	revisions:	CAR CLAD WOOD CASEMENT WINDOW CARADCO WOOD WINDOWS & PATIO DOORS 201 EVANS ROAD RANTOUL, ILLINOIS 61866 TEL. (217) 883-4444 FAX (217) 893-0921	AL-FAROQ CORPORATION ENGINEERS, PLANNERS & PRODUCT DESIGN 1235 SW 87 AVE MIAMI, FLORIDA 33174 TEL. (305) 264-6100 FAX. (305) 262-6978 COMP-ANI W98-76C
	DATE: 08-12-1998 BY: <i>Al-Farooq</i> PROJECT: CENTRAL DIVISION BUILDING CODE ADMINISTRATION ADVISE: NO. 78-1021 OF		



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Caradco Windows & Doors
201 Evans Drive
Rantoul IL 61866

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:
Series "Clad French Manor" Aluminum Clad Outswing Wood Patio Doors-Impact
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by:
Applicant, along with Drawing No. W98-39, Sheets 1 thru 5 of 5.
has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-0730.01

Expires: 06/30/02

Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 11/26/98

-1-



Caradco Windows & Doors

ACCEPTANCE No. : 98-0730.01
APPROVED : NOV 26 1998
EXPIRES : June 30, 2002

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. SCOPE

- 1.1 This renews and revises the Notice of Acceptance, No. 98-0611.02, which was issued on September 10, 1998. It approves an aluminum clad wood swinging door, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION.

- 2.1 The aluminum clad wood outswing door-Impact & Non-Impact Resistant and its components shall be constructed in strict compliance with the following documents: Drawing No. W98-39, titled "Manor Outswing Patio Door" prepared by Al-Farooq Corporation, dated 05-28-98 and revised on 11-03-98, Sheets 1 through 5 of 5, signed and sealed by Dr. Humayoun Farooq, P.E. , bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

- 3.1 This approval applies to single unit applications of pair of doors and single door only, as shown in approved drawings. Single door units shall include all components described in the active leaf of this approval.

4. INSTALLATION

- 4.1 The wood swinging door and its components shall be installed in strict compliance with the approved drawings.
- 4.2 Hurricane protection system (shutters): to determine whether the installation requires a hurricane protection system or not, see corresponding table in approved drawing.

5. LABELING

- 5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".

6. BUILDING PERMIT REQUIREMENTS

- 6.1 Application for building permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance.
- 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.
- 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

Ishaq I. Chanda
Ishaq I. Chanda, P.E., Product Control Examiner
Product Control Division

Caradco Windows & Doors

ACCEPTANCE No. : 98-0730.01

APPROVED : NOV 26 1998

EXPIRES : June 30, 2002

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test-supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approval", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
 - b. The product is no longer the same product (identical) as the one originally approved.
 - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
 - d. The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a. Unsatisfactory performance of this product or process.
 - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

END OF THIS ACCEPTANCE

Ishaq I. Chanda
Ishaq I. Chanda, P.E., Product Control Examiner
Product Control Division

No. 0316 - P. 12

Apr. 15, 1999 9:41 AM

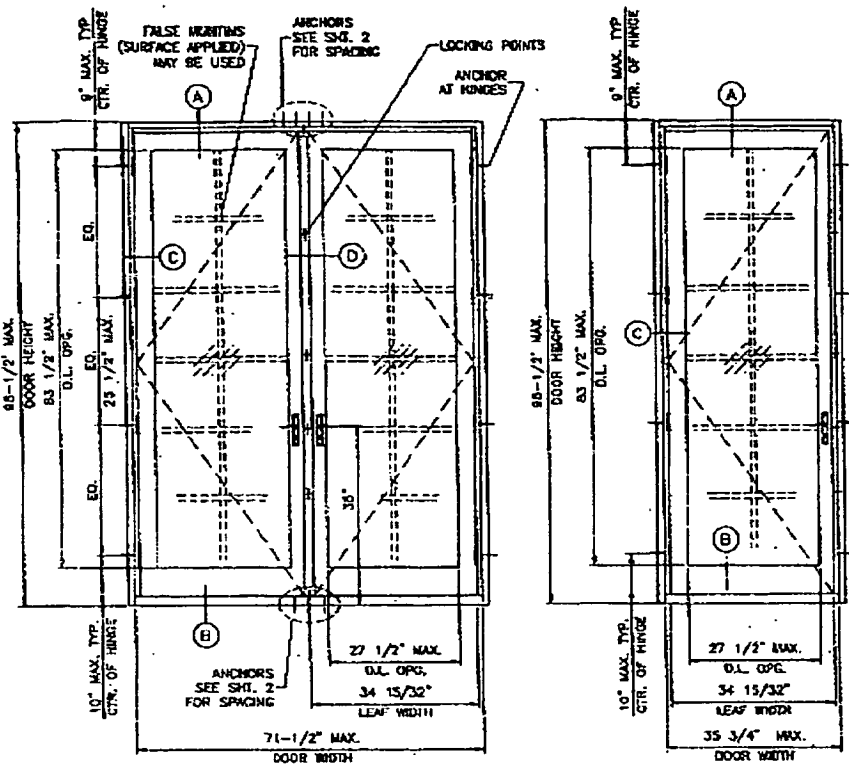
COMPARATIVE ANALYSIS CHART			
HIGH-IMPACT DOORS SHUTTERS REQUIRED (MIAMI-DADE COUNTY APPROVED)			
IGSB-INSULATED TEMPERED GLASS			
NOMINAL DIMS.		DESIGN LOAD - PSF	
R HEIGHT	LEAF WIDTH	EXT.	INT.
6/8	2/0	50.0	100.0
	2/6	50.0	86.9
	2/8	50.0	81.4
	3/0	50.0	72.3
	3/2	50.0	68.5
6/11	2/0	50.0	104.9
	2/6	50.0	93.7
	2/8	50.0	88.5
	3/0	50.0	78.5
	3/2	50.0	74.0
8/0	2/0	50.0	90.6
	2/6	50.0	81.4
	3/0	50.0	72.3

IMPACT SUPPLEMENTAL CHART			
LARGE MISSILE IMPACT RESISTANT DOORS SHUTTERS NOT REQUIRED			
3/8" OVERALL IMPACT GLASS			
NOMINAL DIMS.		DESIGN LOAD - PSF	
DOOR HEIGHT	LEAF WIDTH	EXT.	INT.
6/8	2/0	50.0	72.3
	2/6	50.0	72.3
	2/8	50.0	72.3
	3/0	50.0	72.3
	3/2	50.0	68.5
6/11	2/0	50.0	72.3
	2/6	50.0	72.3
	2/8	50.0	72.3
	3/0	50.0	60.2
	3/2	50.0	60.2
8/0	2/0	50.0	72.3
	2/6	50.0	72.3
	3/0	50.0	60.2

MANOR OUTSWING PATIO DOOR

COMPARATIVE ANALYSIS CHART
 BASED ON NCTL-210-1754 OF 09-12-95
 TEST SIZE = 71-1/2" X 95-1/2" (XX)
 DESIGN LOADS = +55.0, -60.2 PSF
 WATER INFILTRATION TEST = 8.25 PSF WITH SILL RISER
 7.50 PSF WITHOUT SILL RISER
 TESTED GLASS = 3/4" INSULATED NON-IMPACT GLASS

BASED ON NCTL-210-2023-5
 TEST SIZE = 59-1/2" X 95-1/2" (XX)
 DESIGN LOADS = +55.0, -72.3 PSF
 WATER INFILTRATION TEST = 8.25 PSF WITH SILL RISER
 AND ON NCTL-210-2023-1.2.3.4.5C
 TEST SIZE = 71-1/2" X 95-1/2" (XX)
 DESIGN LOADS = +55.0, -60.2 PSF
 TESTED GLASS = 3/8" OVERALL IMPACT GLASS



XX

X

TYPICAL ELEVATIONS

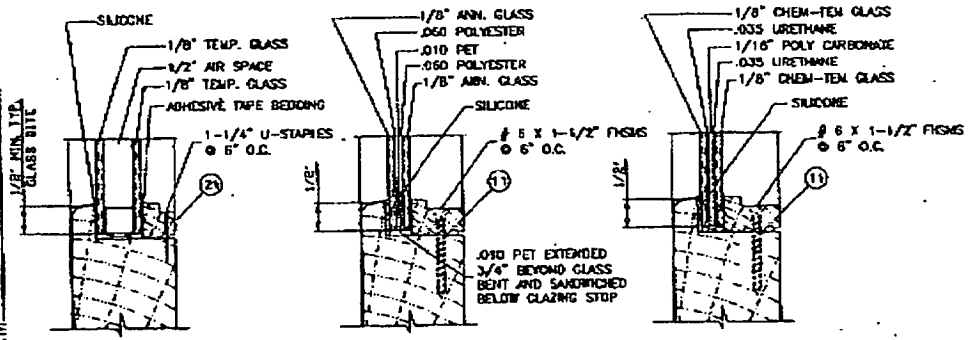
NOTES:

- THIS STRUCTURE IS DESIGNED AS PER THE SOUTH FLORIDA BUILDING CODE 1994 EDITION FOR DADE COUNTY, ALSO FOR WIND LOADS AS PER ASCE 7-88 USING CORRESPONDING LOADS.
- WOOD SHUTTERS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.
- ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
- ANCHORING OR LOADING CONDITIONS NOT SHOWN IN THESE DETAILS TO BE ENGINEERED SEPARATELY.

Eng. DR. MELVIN FARDOO
 STRUCTURES
 P.A. # 18537

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE November 20, 1998
 BY Melvin Fardo
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-0230-01

NOV 03 1998



3/4" INSULATED NON-IMPACT GLASS

GLASSLAM SAFETY PLUS IMPACT GLASS

GLOBE AMERADA IMPACT GLASS

GLASS OPTIONS
 TYPICAL GLASS DIVE = 1/2" MIN.

a J c

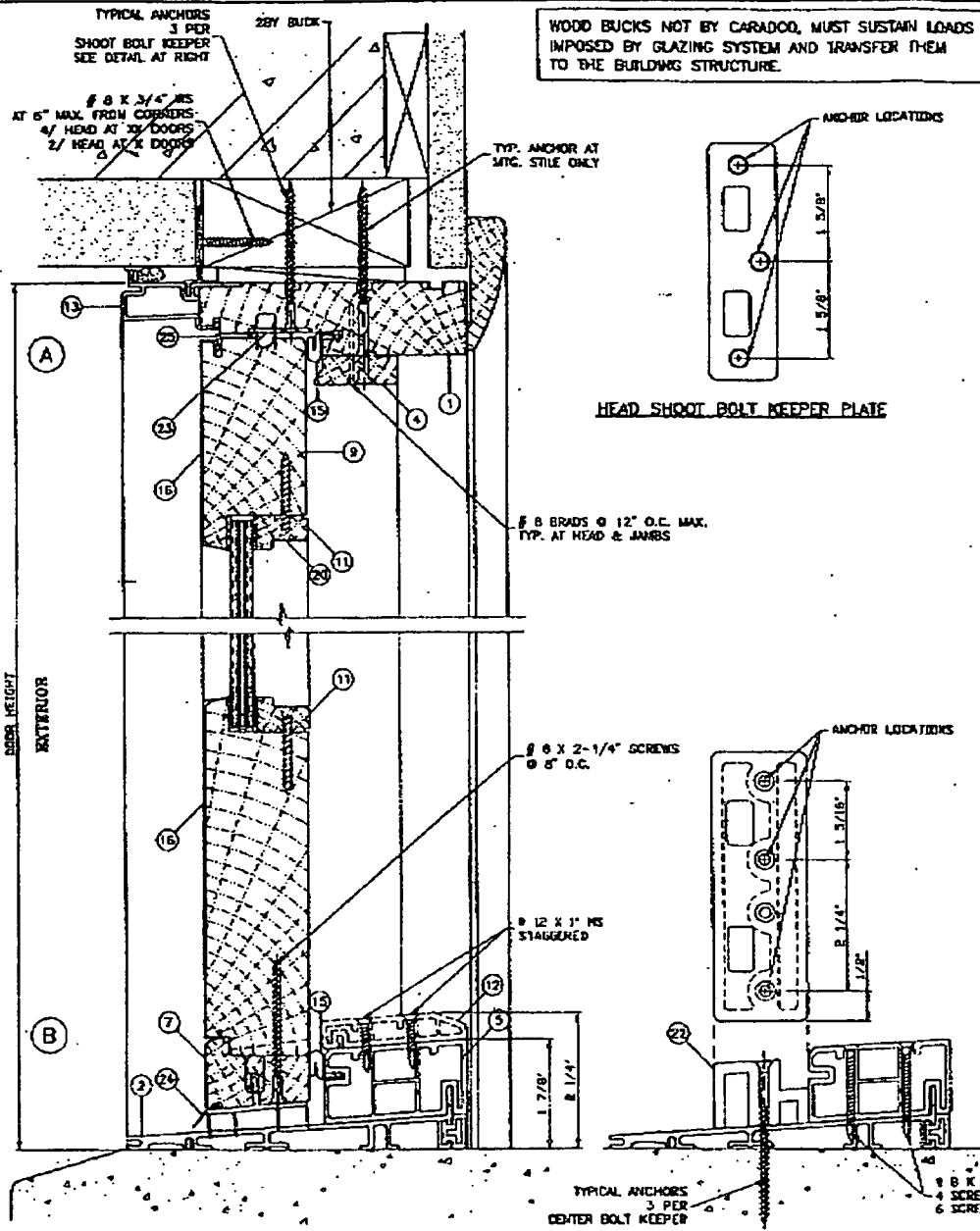
AL-FAROOQ CORPORATION
 ENGINEERS, PLANNERS & PRODUCT DESIGN
 1235 SW 87 AVE
 MIAMI, FLORIDA 33174
 TEL. (305) 264-8100 FAX (305) 262-8078
 COMP-INTL W98-39CAR

MANOR OUTSWING PATIO DOOR
 CARADCO WOOD WINDOWS & PATIO DOORS
 201 EVANS ROAD
 RANTOUL, ILLINOIS 61866
 TEL. (317) 893-4444 FAX (317) 893-0321

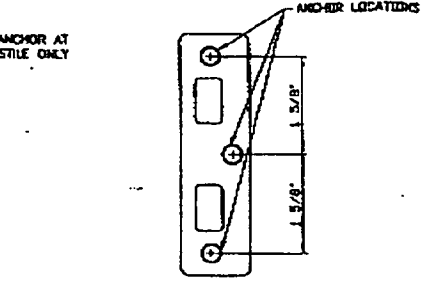
REVISIONS:
 NO. DATE BY DESCRIPTION
 1 11/20/98 BY GENERAL REVISION

DATE: 08-28-98
 SCALE: 1/2" = 1"
 DRAWN: HADJ
 CHK. BY:

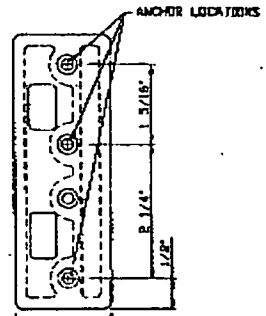
Drawing no. **W98-39**
 sheet 1 of 5



WOOD BUCKS NOT BY CARADCO, MUST SUSTAIN LOADS IMPOSED BY GLAZING SYSTEM AND TRANSFER THEM TO THE BUILDING STRUCTURE.



HEAD SHOOT BOLT KEEPER PLATE



TYPICAL ANCHORS 3 PER CENTER BOLT KEEPER
 # 8 X 1-5/8\"/>

MATERIALS LIST			
ITEM NO.	QTY.	DESCRIPTION	REMARKS
1	1	HEAD	WOOD
2	1	SILL	ALUMINUM 6063-T5
3	2	AMB	WOOD
4	AS RECD.	INTERIOR STOP	WOOD
5	1	SILL THRESHOLD	RIGID PVC
6	AS RECD.	ASTRAGAL	WOOD
7	1/ LEAF	PANEL EXTENDER	WOOD
8	1/ LEAF	HIDE STILE	WOOD
9	1/ LEAF	TOP RAIL	WOOD
10	1/ LEAF	LOCK STILE	WOOD
11	AS RECD.	GLASS STOP (IMPACT)	WOOD
12	1	ADA THRESHOLD	RIGID PVC
13	1	HEAD EXTRUSION	ALUM 6063-T5
14	2	JAMB EXTRUSION	ALUM 6063-T5
15	AS RECD.	FRAME WEATHERSTRIP	RIGID PVC BASE, FOAM TP
16	AS RECD.	ROLL FORMED CLADDING	ALUMINUM
17	.	ALUMINUM ASTRAGAL	ALUM 6063-T5
18	AS RECD.	ASTRAGAL WEATHERSTRIP	DUAL OURNOMETER PVC
19	AS RECD.	HINGE	SEE SCHEDULE
20	AS RECD.	# 6 X 1-1/2\"/>	

TYPICAL ANCHORS: SEE ELEVS. FOR SPACING
 3/16\"/>

MIN. EMBEDMENT:
 1-5/8\"/>

HINGES: 4\"/>

LOCKS: LOCATION:
 ACTIVE LEAF: ONE LEVER HANDLE AT ACTIVE LOCK STILE 35\"/>

IN-ACTIVE LEAF: ONE LEVER HANDLE AT INACTIVE LOCK STILE 35\"/>

SEALANT:
 FRAME CORNERS SEALED WITH BUTYL TAPE SEALANT.
 BUTYL CARBIL USED BETWEEN WOOD/ALUMINUM JOINTS

Eng: DR. HANAYOUN FAROOD
 STRUCTURALS
 FLA. PE # 18557

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA PERMITS CODE
 DATE: November 26, 1998
 BY: Ismael I. Chaves
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE # 298-6730-01

NOV 03 1998

AL-FAROQ CORPORATION
 ENGINEERS, PLANNERS & PRODUCT DESIGN
 1235 SW 87 AVE
 MIAMI, FLORIDA 33174
 TEL. (305) 284-0100 FAX. (305) 282-8978
 CONF-MAIL #88-38025

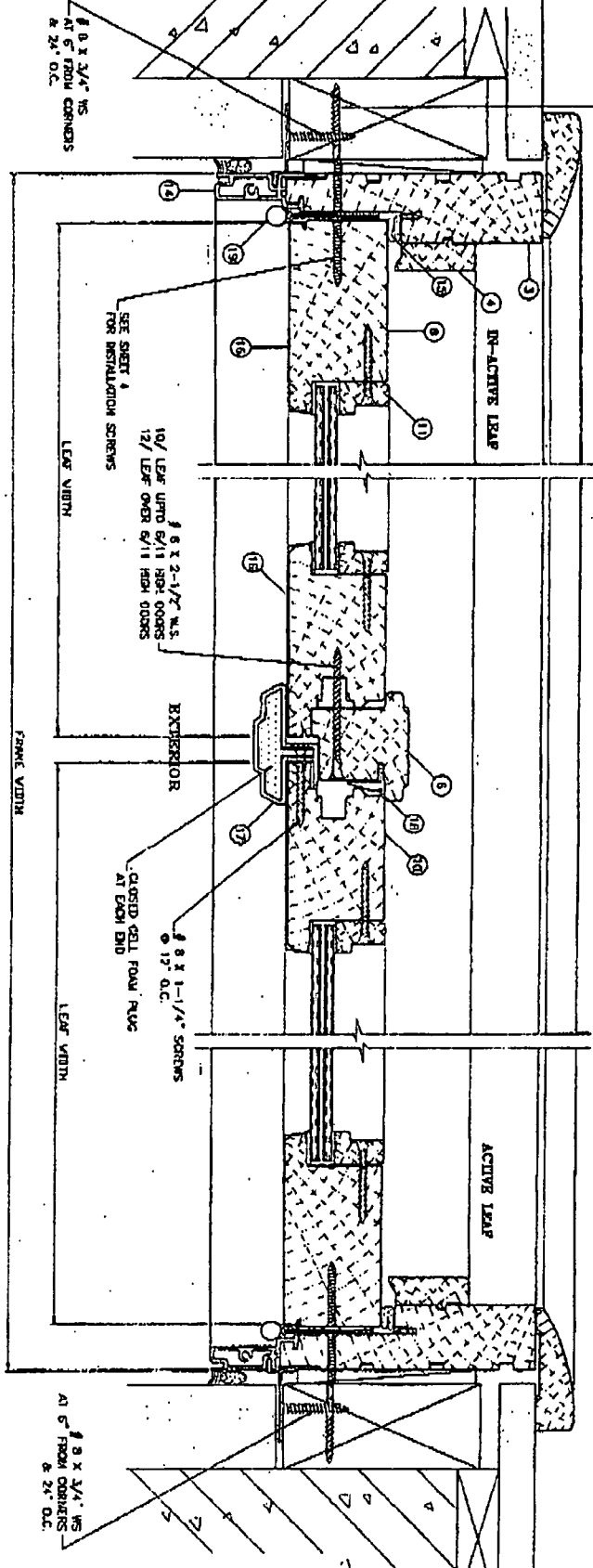
MANOR OUTSWING PATIO DOOR
 CARADCO WOOD WINDOWS & PATIO DOORS
 201 EVANS ROAD
 RANTOUL, ILLINOIS 61868
 TEL. (217) 853-4444 FAX (217) 863-0921

REVISIONS:

NO.	DATE	BY	DESCRIPTION

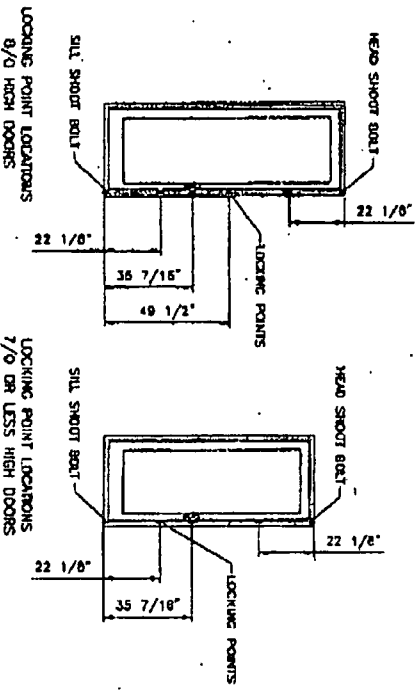
DATE: 09-18-98
 SCALE: 1/2\"/>

drawing no.
W98-39



(C) TYPICAL PER FRAME ENGAGING BOLT STRUCTURE SEE BOLT & NUT DETAIL SHEET 4
 2\"/>

(D)

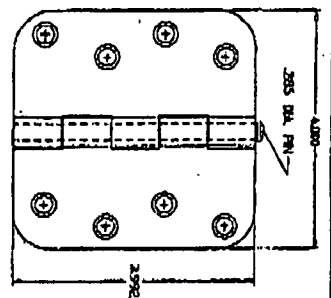
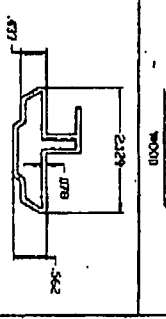
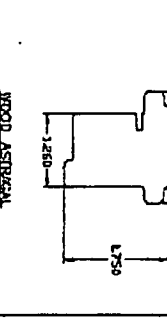
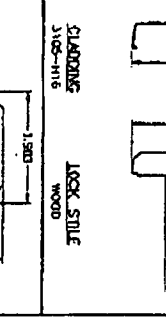
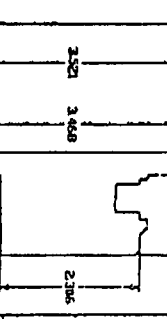
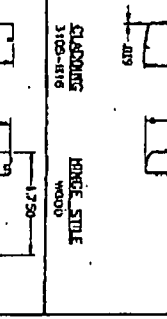
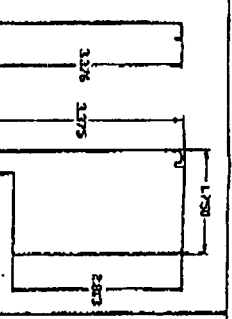
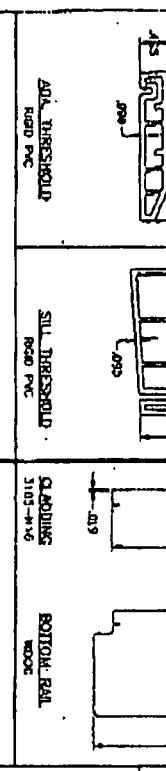
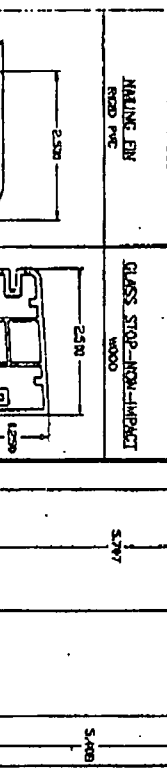
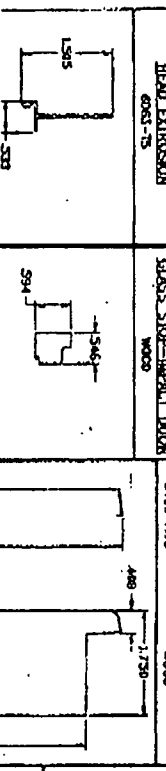
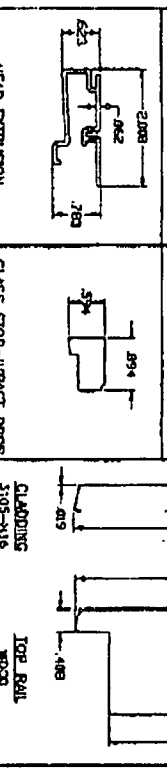
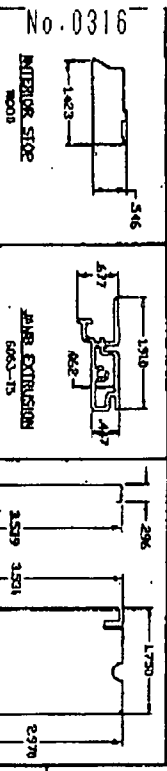
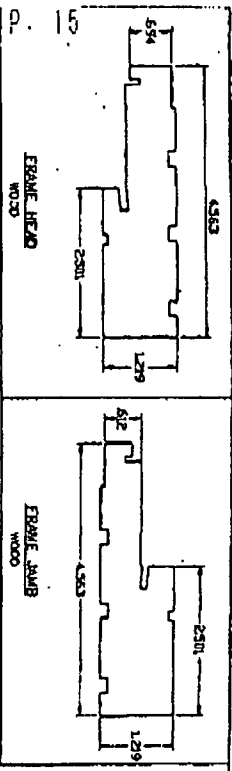


APPROVED AS COOPERATING WITH THE SOUTH FLORIDA BUILDING CODE DIVISION 201.19.58X BY: Ismael I. Chavada REGISTERED ARCHITECT, STATE OF FLORIDA LICENSE NO. 98-0130-01

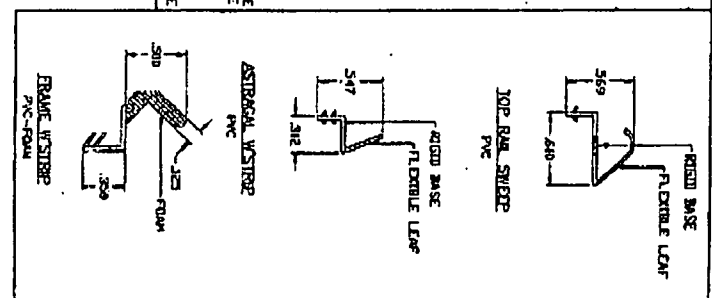
DATE: NOV 08 1998

FOR: DR. HANNOUFA FAROOQ STRUCTURES S.W. 16th ST MIAMI

drawing no. W98-39 sheet 3 of 5	date: 05-28-98 scale: 1/2" = 1" dr. by: MAID chk. by:	revisions: no date by description	MANOR OUTSWING PATIO DOOR CARADCO WOOD WINDOWS & PATIO DOORS 201 EVANS ROAD RANTOUL, ILLINOIS 61866 TEL. (217) 893-4444 FAX (217) 893-0921	AL-FAROOQ CORPORATION ENGINEERS, PLANNERS & PRODUCT DESIGN 1235 SW 87 AVE MIAMI, FLORIDA 33174 TEL (305) 264-8100 FAX (305) 262-6978 COMP-ARK/WBG-JPCAR
	a f c			



TYPICAL WOOD-PONDEROSA PINE



APPROVED TO CONFORM WITH THE
SCHEMATA FLORIDA BUILDING CODE
DATE 11/05/98 BY: J. Edwards
REVISOR: J. Edwards
BUILDING CODE COMMISSION
ACCEPTING NO. 98-01300.01

DR. OF. MANUFACTURING
STRUCTURES
P.O. # 16357

NOV 0 9 1998

drawing no. W98-39	sheet # of 5	revisions: NO. DATE BY DESCRIPTION	MANOR OUTSWING PATIO DOOR CARADCO WOOD WINDOWS & PATIO DOORS 201 EVANS ROAD RANTOUL, ILLINOIS 61866 TEL (217) 893-4444 FAX (217) 893-0921	AL-FAROQ CORPORATION ENGINEERS, PLANNERS & PRODUCT DESIGN 1235 SW 87 AVE MIAMI, FLORIDA 33174 TEL (305) 264-8100 FAX (106) 262-6978 COMP-ANL W98-38CAR
		scale: 1/2" = 1' dr. by: JAMBD ch. by:	a f c	

307.2 STATEMENT OF INSPECTION: A Statement of Inspection shall be required in connection with any construction for which this code requires architectural or engineered sealed plans. The Statement of Inspection shall be a statement in writing made and executed by the Architect or Engineer who sealed and signed the plans for the subject structure, attesting that to the best of his or her knowledge, belief and professional judgment, the structural and envelope components of the structure are in compliance with the approved plans and other approved permit documents. The Statement of Inspection shall also contain a statement that to the best of his or her knowledge, belief and professional judgment the approved permit plans represent the as-built condition of the structural and envelope components of the structure, For these purposes, the Building Official may in exigent circumstances and in his or her discretion, accept a substitute Architect or Engineer for the Architect or Engineer who signed or sealed the plans. Exigent circumstances shall include, but not be limited to, disagreement between the owner and the Architect or Engineer who sealed and signed the plans. Where threshold or special inspectors are used in accordance with this Code, the statement of inspection may be made and executed by the special inspector or threshold inspector. The Statement of Inspection shall be issued and dated following the completion of the work, and delivered as a condition precedent to the issuance by the Building Official of any temporary or final certificates of occupancy or completion. Prior to the issuance of a Statement of Inspection, the Architect or Engineer shall at a minimum perform those inspections which are required to be performed by the Building Official for the work involved.

(Continued next page)

The MEGAS GROUP

Corporate Offices:

5885 Ramsey Road
Asheville, New York 14710
Tel./Fax (716) 789-3855
E-Mail: megatech@netsync.net

Southern Offices:

9940 South Ocean Drive #610
Jensen Beach, Florida 34957
Tel. (561) 229-0430 Fax (561) 229-5222
E-Mail: megas@bellsouth.net

MEGATECH CORPORATION
Bailey Manufacturing Company
MEGAS MANAGEMENT GROUP, INC.
Megas Research & Development
DEC Associates
D. E. COOK, Principal

October 5, 1999

Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

Attn: Building Official

Re: Inspection for Certificate of Occupancy, 12 Oak Hill Way, Castle Hill, Lot #6, Master Permit # 4486

Dear Sir:

Two years ago my wife and I decided to make Sewall's Point our winter home. After researching the real estate market we could not find a resale that satisfied our standards, so we decided to build a new home. We purchase Lot #6 in Castle Hill; then met with the Town Building Official to obtain a copy of the town zoning, building codes and required procedures. As we were designing a house for Lot #6, I reviewed our preliminary plans with him for compliance with town building requirements and procedures.

Our business group, The Megas Group, has principal offices in western New York State, and one of our member companies, Megas Management Group, Inc. has a section active as a general contractor and a design group primarily in manufacturing and commercial buildings. We also have a research company, Megas Research & Development, that had been working on design and building methods for structures in earthquake and high wind areas. As principal of both of these companies I decided to use our internal facilities to design a "coastal" home for our personal winter home in Sewall's Point. We obtained cooperative marketing agreements with several suppliers of building materials, as we plan to feature the "coastal" home as an example of an energy efficient, weather resistant home, with year 2000 electronics, that would interest the "baby boomer" generation.

The design of the home and engineering was by Megas Management Group, Inc. (a New York State corporation). We obtained the services of consulting engineer registered with the State of Florida, Mr. John W. Olson, P.E. to review and seal our plans that were presented to Sewall's Point building department in October 1998. Since the Town changed building officials after we started the design and before we applied for the building permit, we requested in August of 1998 the changed building procedures instituted by the new official. At plan review we discussed our design concepts with Mr. Bob Bott, the new building official, and received his approval.

In October 1998 I moved my offices to our condo on Hutchinson Island, so that I could direct the construction process as "Owner-Builder" of our personal residence. As President, C.E.O. of Megas Management Group, Inc., and the primary designer on the project, I was authorized by the company to represent our interests. As "Owner-Builder" and project manager, I was on-site on a daily basis from October 1998 through the first week of May 1999, the structural building phase of the project. My wife was also on-site recording the building process for future publication. Since May, we, or a member of our organization, have been available to inspect each phase of the finishing process.

The engineer who sealed the plans, Mr. John W. Olson, P.E., performed an inspection of the building on October 1st, and reviewed our photo documentation of each phase of construction. Attached is his letter addressed to your office on the inspection. While I am not the "Architect or Engineer" who sealed the plans, since I am not licensed to do business by the state of Florida, I certify "To the best of my

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA
COUNTY OF MARTIN


BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

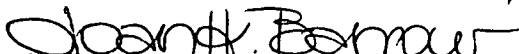
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 282,000.00 .

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.



Affiant
Property street address:
12 OAK HILL WAY
CASTLE HILL LOT 6 (PERMIT # 4486)

Sworn to and subscribed
before me this 7th day of
October, 1999.



Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires:

(NOTARY SEAL)



Joan H. Barrow
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIN INSURANCE, INC.

FRASER ENGINEERING AND TESTING, INC.

VERO BEACH (561) 567-6167

3504 INDUSTRIAL 33rd STREET

FORT PIERCE FLORIDA 34946

FORT PIERCE (561) 461-7508

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

**Report
of
DENSITY OF SOIL IN PLACE
ASTM D2922**

4486

CLIENT: Sun Builders

DATE: 11/3/98

CONTRACTOR: Client

PERMIT #: 4486

SITE: 12 Oak Hill Way Lot 6, Castle Hill; Sewall's Point
Foundation Fill

DENSITY TEST NO.	DATE TESTED	LOCATION	ELEVATION	MOISTURE-DENSITY RELATIONSHIP		IN PLACE DRY DENSITY	PERCENT COMPACTION
				TEST NO.	MAX. DRY WT.		
7951	11/3/98	S.E. Corner	0 - 1'	7951	103.2	98.9	95.8
		S.E. Corner	1 - 2'			98.2	95.2
		Center	0 - 1'			101.6	98.4
		Center	1 - 2'			99.2	96.1
		N.W. Corner	0 - 1'			99.0	95.9
		N.W. Corner	1 - 2'			98.4	95.3
ALL ELEVATIONS BELOW SLAB GRADE							

Copies: Client - 1
Sewall's Point Building Dept. - 1

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.

Alexander H. Fraser, P.E. Fla. Reg. No. 16178



FRASER ENGINEERING AND TESTING, INC.

1504 INDUSTRIAL 33RD STREET

FORT PIERCE, FLORIDA 34946

VERO BEACH (561) 567-6167

FORT PIERCE (561) 481-7598

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

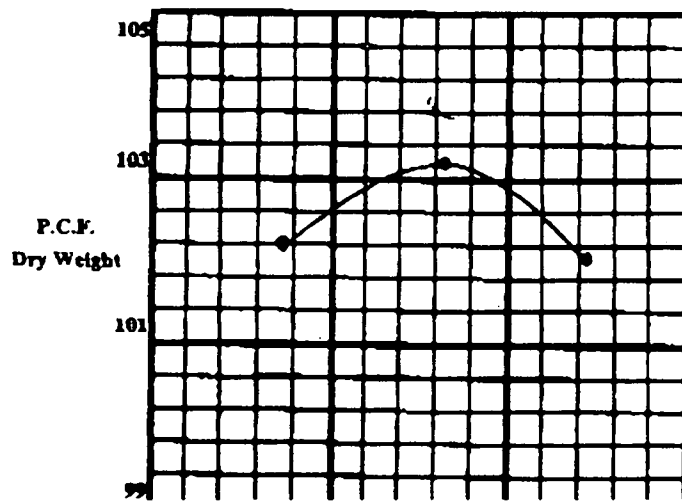
Report of MOISTURE DENSITY ASTM 1557-78

CLIENT: Sun Builders

DATE: 11/3/98

CONTRACTOR: Client

SITE: 12 Oak Hill Way Lot 6, Castle Hill; Sewall's Point
Foundation Area



PN 4486
COPY

NOTICE OF COMMENCEMENT

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
STUART, FLORIDA 34996
PHONE: (561) 287-2455
FAX: (561) 220-4765

=====
=====
Permit No.: _____

Parcel Number: Castle Hill, Lot 6 PI# 26-37-41-015-000-00060-10000

State of Florida
County of Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property (legal description of the property and street address if available)

Castle Hill Lot 6, PI# 26-37-41-015-000-00060-10000

12 Oakhill Way, Stuart FL 34996

2. General description of improvement Construction of personal residence.

3. Owner information

- a) Name and address

Donald E. & Charlene J. Cook

5885 Ramsey Road Ashville, NY 14710

- b) Interest in property

Sole Owner

- c) Name and address of fee simple titleholder (if other than owner)

4. Contractor (name and address)

5. Surety

a) Name and address

b) Amount of bond \$ _____

6. Lender (name and address)

None

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) (7), Florida Statutes. (Name and address)

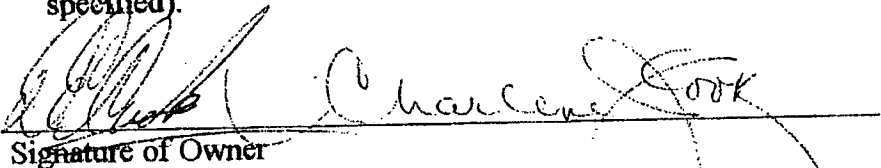
Donald E. & Charlene J. Cook, 9940 South Ocean Dr., Unit #610
Jensen Beach, FL 34957 (Southern Address)

8. In addition to himself, owner designates _____

of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

9. Expiration date of notice of commencement _____

(the expiration date is one year from the date of recording unless a different date is specified).


Signature of Owner

STATE OF ~~FLORIDA~~ New York

COUNTY OF Chautauque

Subscribed and sworn to (or affirmed) before me this September 10, 1998
(date)

by Donald E. Cook & Charlene J. Cook, who is/are personally known to me or
has/have produced _____ as
(type of identification)

identification.



Notary Public. Commission No. 02ER6198850

Notary Public, State of New York

(Name of Notary typed, printed or stamped)

Qualified in Chautauque County

My Commission Expires August 31, 2000

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
Owner or Agent/Owner/Builder _____ Date 09/01/98
Michael G. Hall
Contractor/Construction Mgr. _____ Date 9.15.98

COUNTY OF ~~MARTIN~~ CHAUTAUQUE
STATE OF ~~FLORIDA~~ NEW YORK

Sworn to and subscribed before me this 10th day of Sept, 1998 by Donald E. Cook who: [] is/are personally known to me, or [] has/have produced _____ as identification, and who did not take an oath.

Name: [Signature]
Typed, printed or stamped
(NOTARY SEAL) PHILIP A. ERICKSON
Notary Public, State of New York
Qualified in Chautauque County
My Commission Expires August 31, 2000
I am a Notary Public of the State of ~~Florida~~ New York having a commission number of 02ER619880 and my commission expires: 8/31/2000

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 15th day of Sept, 1998 by Richard A. Hall who: [] is/are personally known to me, or has/have produced FLDL H400741 as identification, and who did not take an oath.
45224 6/24/2003+P

Name: [Signature]
Typed, printed or stamped
(NOTARY SEAL) Karon D. Bellner
MY COMMISSION # CC491458 EXPIRES October 24, 1999
BONDED THRU TROY FAIN INSURANCE, INC.
I am a Notary Public of the State of Florida having a commission number of _____ and my commission expires: _____

Certificate of Competency Holder

Contractor's State Certification or Registration No. _____

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY [Signature] Permit Officer
BU 0000848 Building Commissioner

WIND LOAD SPECIFICATION

Model: Thermowayne Model 36 & Model 38
 style: Raised Panel and Flush
 size: 8' & 9' Wide

Test Pressure: Pos./Neg. 83 PSF

Test Sample: (4) Section - 9' x 7'-9" (Glazed)

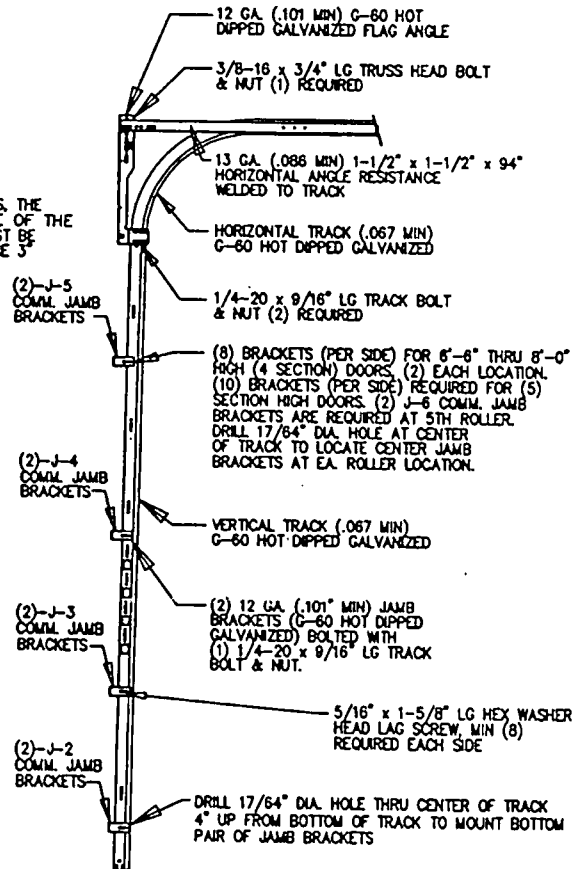
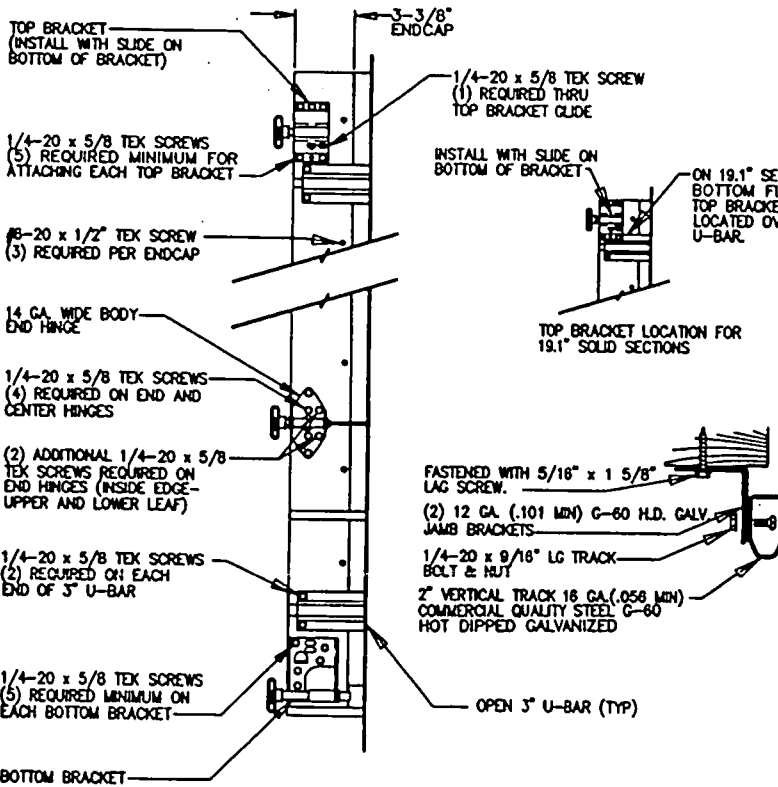
NOTES:

1. Struts, track, and door steel to have a minimum yield of 33,000 PSI.

Approved Door Sizes:

8'x6'6", 8'x7', 8'x7'6", 8'x8'
 9'x6'6", 9'x7', 9'x7'6", 9'x8'

TRACK



RESIDENTIAL TRACK DETAIL (BMW)

Approved: *David Monsour*

David Monsour
 CERTIFICATION NO. 0046475

Date: 4.15.97

427

PART NO.

REPORT # WC94.022



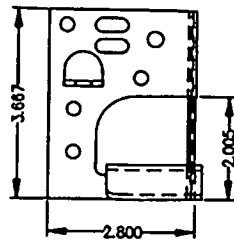
DRAWING NO.
 WP94.022

REV
 P

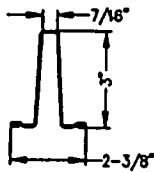
OPTION CODE
 9422

THERMOWAYNE 36 & 38
 8' & 9' WIDE

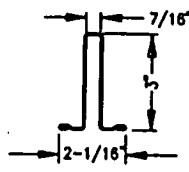
PAGE
 1 OF 4



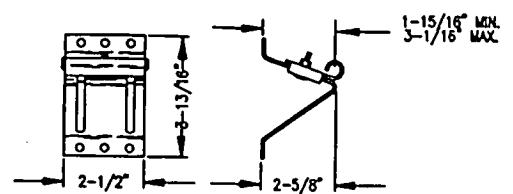
BOTTOM BRACKET
16 GA. (.060 MIN.)
HOT DIPPED GALVANIZED



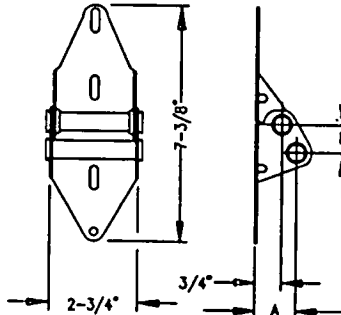
3" U BAR STRUT-OPEN
20 GA. (.034 MIN.)
HOT DIPPED GALVANIZED



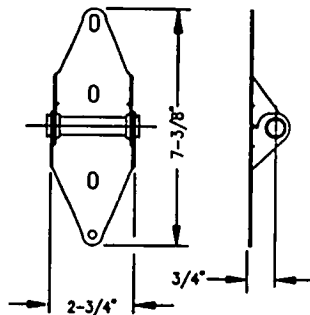
3" U BAR STRUT-CLOSED
20 GA. (.034 MIN.)
HOT DIPPED GALVANIZED



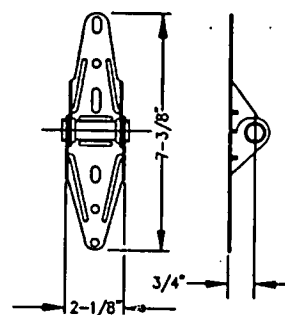
TOP BRACKET
16 GA. (.060 MIN.)
HOT DIPPED GALVANIZED



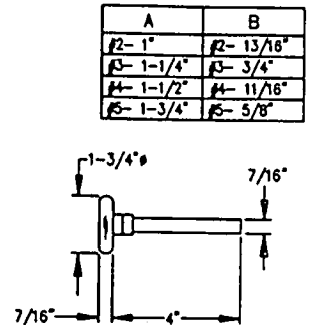
WIDE BODY END HINGE
14 GA. (.071 MIN.)
HOT DIPPED GALVANIZED



#1 WIDE BODY CENTER HINGE
14 GA. (.071 MIN.)
HOT DIPPED GALVANIZED



NARROW BODY CENTER HINGE
18 GA. (.045 MIN.)
HOT DIPPED GALVANIZED

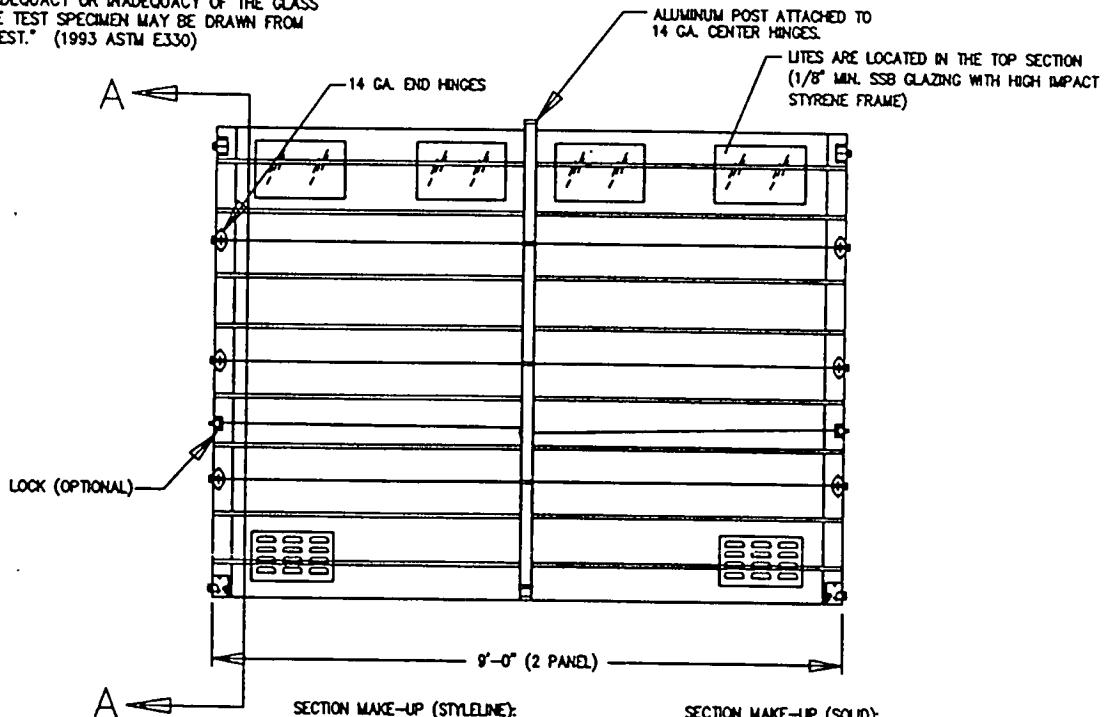


**NYLON SHORT ROLLER
OR 7 BALL STEEL ROLLER**

A	B
R2- 1"	R2- 13/16"
R3- 1-1/4"	R3- 3/4"
R4- 1-1/2"	R4- 11/16"
R5- 1-3/4"	R5- 5/8"

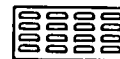
GLASS DISCLAIMER:

"NO CONCLUSIONS OF ANY KIND REGARDING THE ADEQUACY OR INADEQUACY OF THE GLASS IN THE TEST SPECIMEN MAY BE DRAWN FROM THE TEST." (1993 ASTM E330)



SECTION MAKE-UP (STYLELINE):
8'-0" HIGH - (5) 19.1" SECTIONS
7'-6" HIGH - (2) 24" & (2) 20.8" SECTIONS
7'-0" HIGH - (4) 20.8" SECTIONS
6'-6" HIGH - (4) 19.1" SECTIONS

SECTION MAKE-UP (SOLID):
8'-0" HIGH - (5) 19.1" SECTIONS or (4) 24" SECTIONS
7'-6" HIGH - (2) 24" & (2) 20.8" SECTIONS
7'-0" HIGH - (4) 20.8" SECTIONS
6'-6" HIGH - (4) 19.1" SECTIONS



NOTE: (OPTIONAL)
LOUVERS TO BE LOCATED IN THE END PANELS OF THE BOTTOM SECTION. (.080" ALUMINUM)

Approved: *David Monsour*

David Monsour
CERTIFICATION NO. 0046475

Date: 4-15-97

PART NO. 155427



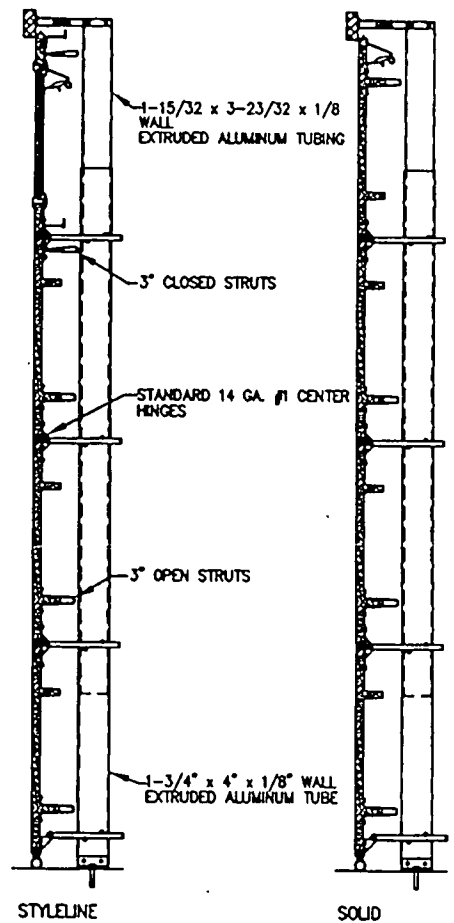
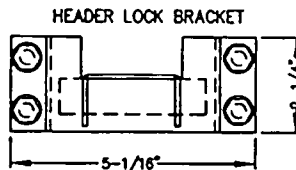
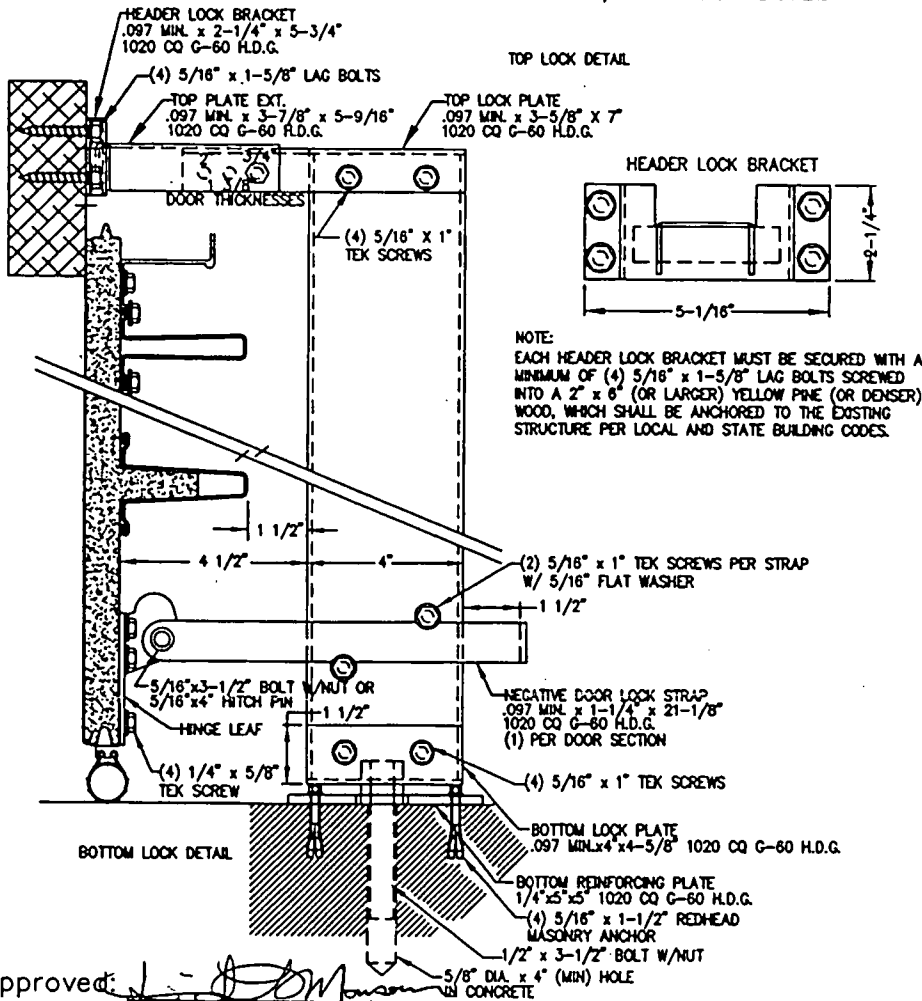
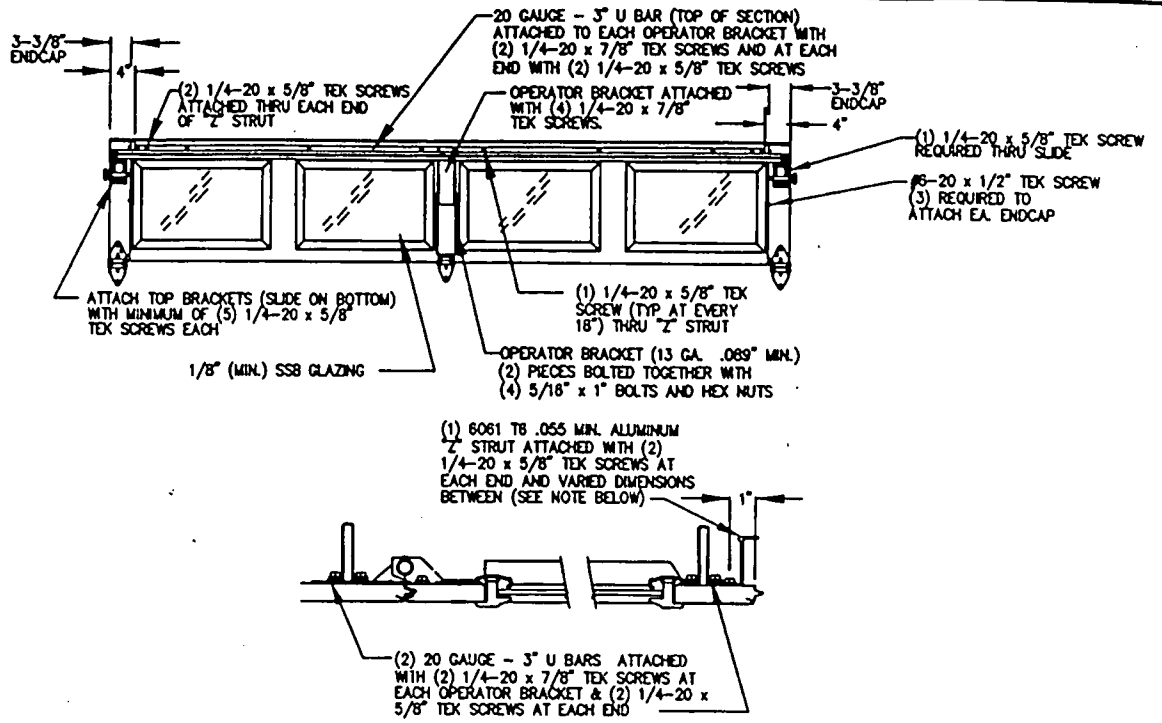
DRAWING NO.
WP94.022

REV
P

OPTION CODE
9422

THERMOWAYNE 36 & 38
8' & 9' WIDE

PAGE
2 OF 4



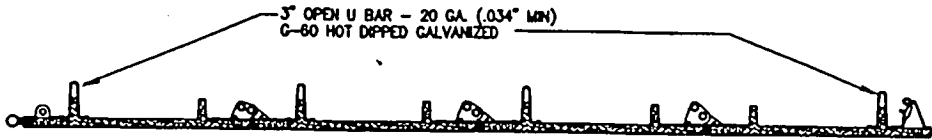
NOTE: DISABLE MOTOR OPERATOR BEFORE INSTALLING ABOVE SHOWN POST. DO NOT ENABLE MOTOR OPERATOR UNTIL POST IS REMOVED.

Approved: *[Signature]*
 David Monsour
 CERTIFICATION NO. 0046475
 Date: 4-15-97

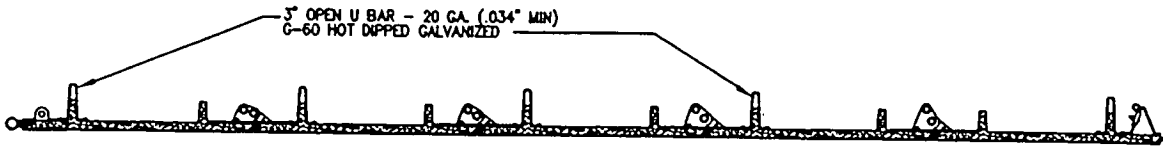
PART NO. .J5427



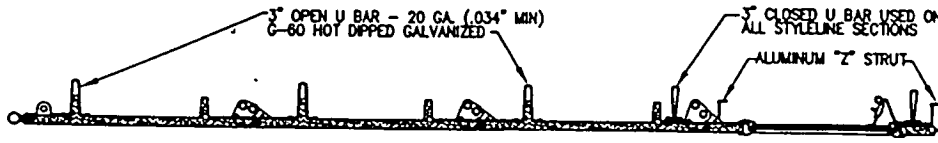
DRAWING NO. WP94.022	REV P	OPTION CODE 9422	THERMOWAYNE 36 & 38 8' & 9' WIDE	PAGE 3 OF 4
-------------------------	----------	---------------------	-------------------------------------	----------------



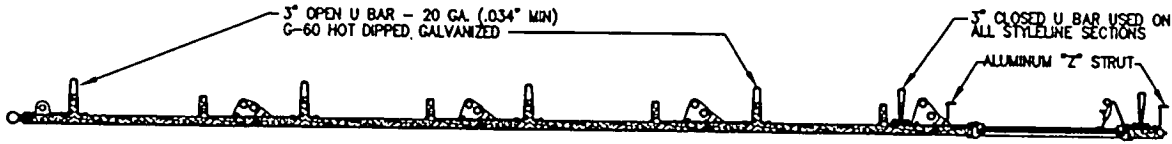
SECTION A-A - 4 SECTION SOLID CONFIGURATION



SECTION A-A - 5 SECTION SOLID CONFIGURATION



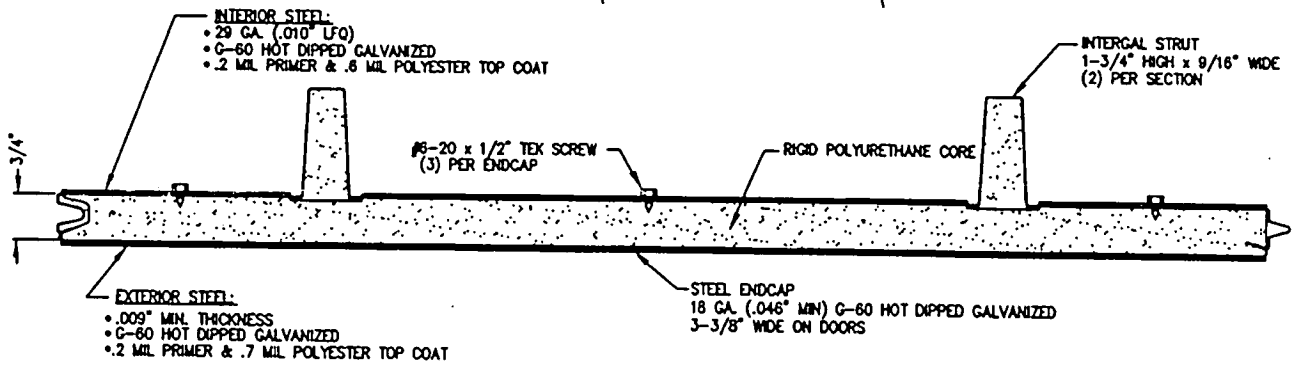
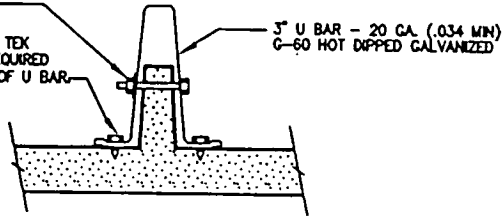
SECTION A-A - 4 SECTION GLAZED CONFIGURATION



SECTION A-A - 5 SECTION GLAZED CONFIGURATION

THRU BOLT THE 3" U BAR
AT PRE-PUNCHED HOLE LOCATIONS
WITH (1) 1/4-20 x 1-1/4" BOLT
& W/2 NUT

1/4-20 x 5/8 TEK
SCREWS (2) REQUIRED
AT EACH END OF U BAR



EXTERIOR SKIN - 33,000 P.S.I. MIN. YIELD STRENGTH

Approved: *David Monsour*

David Monsour
CERTIFICATION NO. 0046475

Date: 4-15-97

NOTE:
DOORS & HARDWARE MEET OR EXCEED
ANSI #102-1976 SPECIFICATION.

PART NO. 155427



DRAWING NO.
WP94.022

REV
P

OPTION CODE
9422

THERMOWAYNE 36' & 38'
8' & 9' WIDE

PAGE
4 OF 4

WINDLOAD TEST REPORT # WC94.022

PRODUCT TESTED: Thermowayne 36 Raised Panel 9'-0" x 7'-9" 4 section
TEST NUMBER: WC94.022
TEST REQUIREMENT: To remain intact at a maximum simulated windload of ± 83 PSF
TEST DATE: 08-19-94
REPORT DATE: 11-03-94

DESCRIPTION OF PRODUCT AS TESTED:

0.75 inch thick door section with urethane core, 0.009" steel exterior skin, 0.010" steel interior skin with (2) 1-3/4" deep integral struts.
1 Row of Lites: SSB glass, Styrene Frame
18 gauge endcaps
0.036" metal retainer
Plastic rollers
Double jamb brackets at each roller location

DRAWING NUMBERS: SC3691P1 - SC3691P9 REDRAWN AS: WP94.022

TEST PROCEDURE: Followed ASTM E-330-90

Conversion Factor:

PSF = Inches of Water x 5.197

WITNESSES: Javier Trevino (Omega Point Laboratories), Dave Monsour, Roger Dague, Norm Lelless

RESULTS: ± 83 PSF

ULTIMATE LOAD (PSF)	DWELL TIME (sec.)	DEFLECTION (in.)
+ 83	10.48	5-3/4
- 83	10.47	2-1/2

OBSERVATIONS: The door remained intact and operable following the test. During the positive test the endcaps started to deform slightly above the hinges at several locations on the right side. During the negative test the surface of the sample creased slightly at several locations.

CONCLUSIONS: This test demonstrated the ability of a 9'-0" x 7'-9" Thermowayne 36 as defined by drawings SC3691P1-SC3691P9, to remain in its opening under a maximum simulated windload of ± 83 PSF.

TEST NUMBER: WC94.022

PROVAL BY SIMILARITY:

Capability equal to or better than the test door is claimed for the following products:

- 1) Doors of lesser width than the door tested that are otherwise the same. Reducing the width of a door reduces the stress on it and causes less load to be transmitted to the rollers, track and brackets.
- 2) Glazed doors with 4 sections of lesser height than the sections of the tested door that are otherwise the same. Reducing the height of a section reduces the stress and causes less load to be transmitted to the rollers, track, and brackets. This covers doors 6'6", 7'0", and 7'6" high.
- 3) Glazed doors with 5 sections, with equal width and 8'0" high that are otherwise the same except: 6 rollers and 6 sets of jamb brackets shall be used per jamb instead of five. The stress (σ) in the individual sections is less for the 5 section high door since the individual section heights are less. The stress in the jamb components (rollers, track, jamb brackets, etc..) of the 5 section compares to the 4 section roughly as follows:

$$\frac{\sigma_5}{\sigma_4} = \frac{8'}{7.7'5} \times \frac{5(\text{brkts} / \text{rollers})}{6(\text{brkts} / \text{rollers})} = 0.86$$

- 4) Solid doors with equal width and 8'0" high or less that are otherwise the same except: there is one less strut on the solid doors. Data from test #'s WC94.002 -WC94.004 and WC94.018 - WC94.023 shows that four section high solid doors are equivalent to or stronger than four section high glazed doors. It also follows that five section high solid doors are equivalent to or stronger than five section high glazed doors.

TEST NUMBER: WC94.022

NOTE: The maximum pressure capability of the blower used together with the wind chamber is 83 PSF. The doors that withstood this amount of pressure were still operable and may not have reached their wind load limit.

APPROVED OPTIONS: Based on other test as being equivalent.

7 Ball Steel Rollers (Test # WC93.008)

Aluminum Louvers (Test #'s WC94.015 & WC94.019)

PVC Window Frame Assembly (Test #'s WC94.015 & WC94.016)



11-21-94



4-15-97

Thermowayne 36 Windload Door

Part Number Listing

For Drawings: WP94.002, WP94.004A, WP94.004B, WP94.004C,
WP94.022, WP94.023, WP94.025, WP94.026

Description	Part Number
TW-36 Bottom Bracket	123812-WD
Residential Top Bracket	107836-WD
#1 - 18 Ga. Narrow Body Hinge	100266-WD
#1 - 14 Ga. Wide Body Hinge	100509-WD
#2 - 14 Ga. Wide Body Hinge	100510-WD
#3 - 14 Ga. Wide Body Hinge	100511-WD
#4 - 14 Ga. Wide Body Hinge	100512-WD
#5 - 14 Ga. Wide Body Hinge	107325-WD
Nylon Roller - 5" Stem	125482-WD
Operator Trolley Bracket	107319-WD / 107320-WD
J-2 Commercial Jamb Bracket	108018-WD
J-3 Commercial Jamb Bracket	108149-WD
J-4 Commercial Jamb Bracket	100248-WD
J-5 Commercial Jamb Bracket	100249-WD
12 Ga. Flag Angle	108197-WD
16 Ga. Horizontal Track (96" Long)	125735-WD
16 Ga. Horizontal Angle (80" Long)	108204-WD
16 Ga. Vertical Track (76" Long)	125875-WD
Aluminum (.080 min.) Louver	123707-WD
18 Ga. Steel Endcap	124433-WD
1/4-20 x 1-1/4" Bolt	102631-WD
1/4-20 Hex Nut	107703-WD
1/4-20 x 5/8" Long Tek Screw	100277-WD
1/4-20 x 7/8" Long Tek Screw	100507-WD
#6-20 x 1/2" Tek Screw	124467-WD
1/4-20 x 9/16" Track Bolt	100276-WD
1/4-20 Flanged Hex Nut	100279-WD
5/16-18 x 1" Bolt	101250-WD
5/16-18 x 3-1/2" Bolt	103097-WD
3/8" Lock Washer	100293-WD
5/16-18 Hex Nut	100256-WD
3/8-16 x 3/4" Truss Head Bolt	124478-WD
3/8-16 Hex Nut	100313-WD
5/16" x 1-5/8" Lag Bolt	100292-WD



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

~~FAO - 10-899~~

PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4620	Lorway 15 Middle Rd	Insulation	PASSED	
4579	Bobbitt 76 S. Sewall's Pt. Rd.	final	PASSED	PROJ. APPE. ENGR. DUXS REQ. (SHEET 1/2) - C.O. ISSUE THUR 10/16/99 UPON DOCUMENT SUBMITTAL
4736	Cook 12 Oak Hill Way	walk thru	PERFORMED w/ OODWEL (CHECKLIST 17805)	FINAL C.O. INSP. SCHED FOR WEDNESDAY 10/13/99
4689	Schumpf 10 Oak Hill Way	el. disconnect (C.O. REINSPE.)	FAILED	NOT COMPLETE
46	Swiss Am 4 Bar Via HELMUT GINDERLE 334-7750	tie beam	FAILED	11:45 NO ONE ON SITE/NO ACCESS 12:15 LEFT MESSAGE w/ CONTR. 2:45 NO ONE ON SITE/NO ACCESS
4651	DERMARKARIAN 19 CASTLE HILL WAY (STRATHMORE)	SLAB (REINSPECT)	PASSED	REINSPE FEE \$30.0 NOTATION FOR PORCH DOWELS
/	/	/	/	/

OTHER: I. BRUNER: 105 HILLCREST CT. T/R PERMIT INSP. ✓
 Z. OGDONOR: 16 FIELDWAY DR. " " " ✓

INSPECTOR: _____ **DATE:** _____

JON E. CHICKY, SR.
Mayor

TOWN OF SEWALL'S POINT

JOAN H. BARRO
Town Clerk

ROBERT M. WIENKE
Vice Mayor

WILBUR C. KIRCHNER
Chief of Police

DAWSON C. GLOVER, III
Commissioner

EDWIN B. ARNOLD
Building Official

CYRUS KISSLING
Commissioner

JOSE TORRES, JR.
Maintenance

DONALD B. WINER
Commissioner



CERTIFICATE OF OCCUPANCY

OWNER: DONALD E. & CHARLENE COOK; PROPERTY ADDRESS: 12 OAK HILL WAY

LEGAL DESCRIPTION: LOT 6 BLOCK _____ SUBDIVISION CASTLE HILL

GENERAL CONTRACTOR: O/B; LIC/CERT No. N/A

ADDRESS: 5885 RAMSEY RD., ASHVILLE, NY 14710; TEL _____; FAX _____

ARCHITECT OR ENGINEER: JOHN W. OLSON, P.E.; LIC/REG. No. 23896

ADDRESS: 1366 S.W. JASMINE TRAIL, PALM CITY, FL 34990; TEL 288-1328; FAX _____

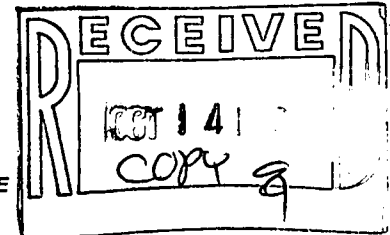
PERMIT No: 4486; DATE OF ISSUE: 10/14/98; RENEWAL PERMIT No: _____; DATE OF ISSUE: _____

In accordance with the requirements of the South Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 14th day of OCTOBER, 1999

NOTE: COMPLETION & FINAL INSPECTION 10/13/99. JA

Edwin B. Arnold, AIA, CBO
Building Official, Town of Sewall's Point



PREDICTABILITY + ACCOUNTABILITY = COMPLIANCE



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

PERMIT FILE

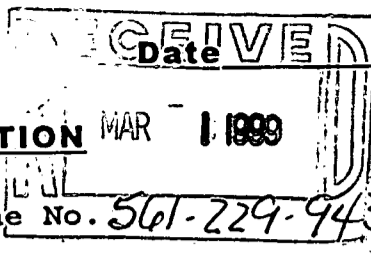
4563

POOL

Bldg. Pmt# 4563

Town of Sewall's Point

BUILDING PERMIT APPLICATION



Owner's Name: Donald E Cook Phone No. 561-229-9430
 Owner's Present Address: _____
 Fee Simple Titleholder's Name & Address if other than owner _____

Location of Job Site: 12 Oak Hill Way / Castle Hill / Sewell's Point
 TYPE OF WORK TO BE DONE: SWIMMING POOL (ONE PIECE COMPOSITE POOL)
 CONTRACTOR INFORMATION
 Contractor/Company Name: POOLSHARKS Phone No. (954) 782 4080
 COMPLETE MAILING ADDRESS 1751 S. DIXIE HWY, POMPANO BCH, FL, 33060
 State Registration _____ State License CPC056777
 Legal Description of Property CASTLE HILL LOT 6
 Parcel Number 26-37-41-015-000-00060-1000

ARCHITECT/ENGINEER INFORMATION

Architect _____ Phone No. _____
 Address _____
 Engineer _____ Phone No. _____
 Address _____
 Area Square Footage: Living Area _____ Garage Area _____ Carport _____
 Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
 Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
 NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
 proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
 Cost of construction or Improvement \$11,500
 Fair Market Value (FMV) prior to improvement _____
 Substantial Improvement 50% of FMV yes _____ No _____
 Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical Current Electric State License ME00481
 Mechanical _____ State License# _____
 Plumbing _____ State License# _____
 Roofing _____ State License# _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE [Signature]
 Sworn to and subscribed before me this _____ day of _____, 1998 by _____ who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.
 CONTRACTOR SIGNATURE [Signature]
 Sworn to and subscribed before me this _____ day of _____, 1998 by _____ who is personally known to me or has produced _____ and who did (did not) take an oath.

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

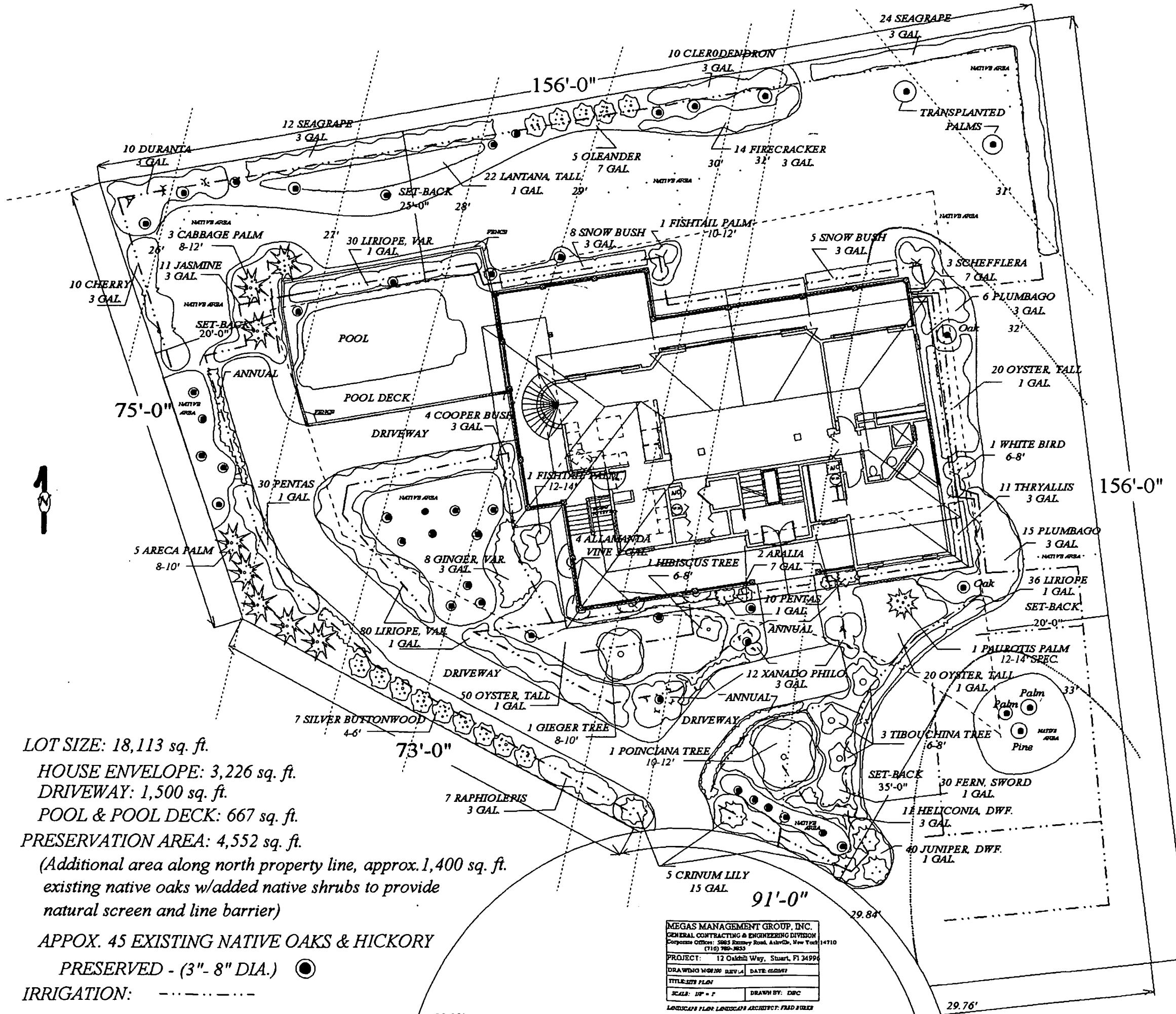
ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____



LOT SIZE: 18,113 sq. ft.

HOUSE ENVELOPE: 3,226 sq. ft.

DRIVEWAY: 1,500 sq. ft.

POOL & POOL DECK: 667 sq. ft.

PRESERVATION AREA: 4,552 sq. ft.

(Additional area along north property line, approx. 1,400 sq. ft. existing native oaks w/added native shrubs to provide natural screen and line barrier)

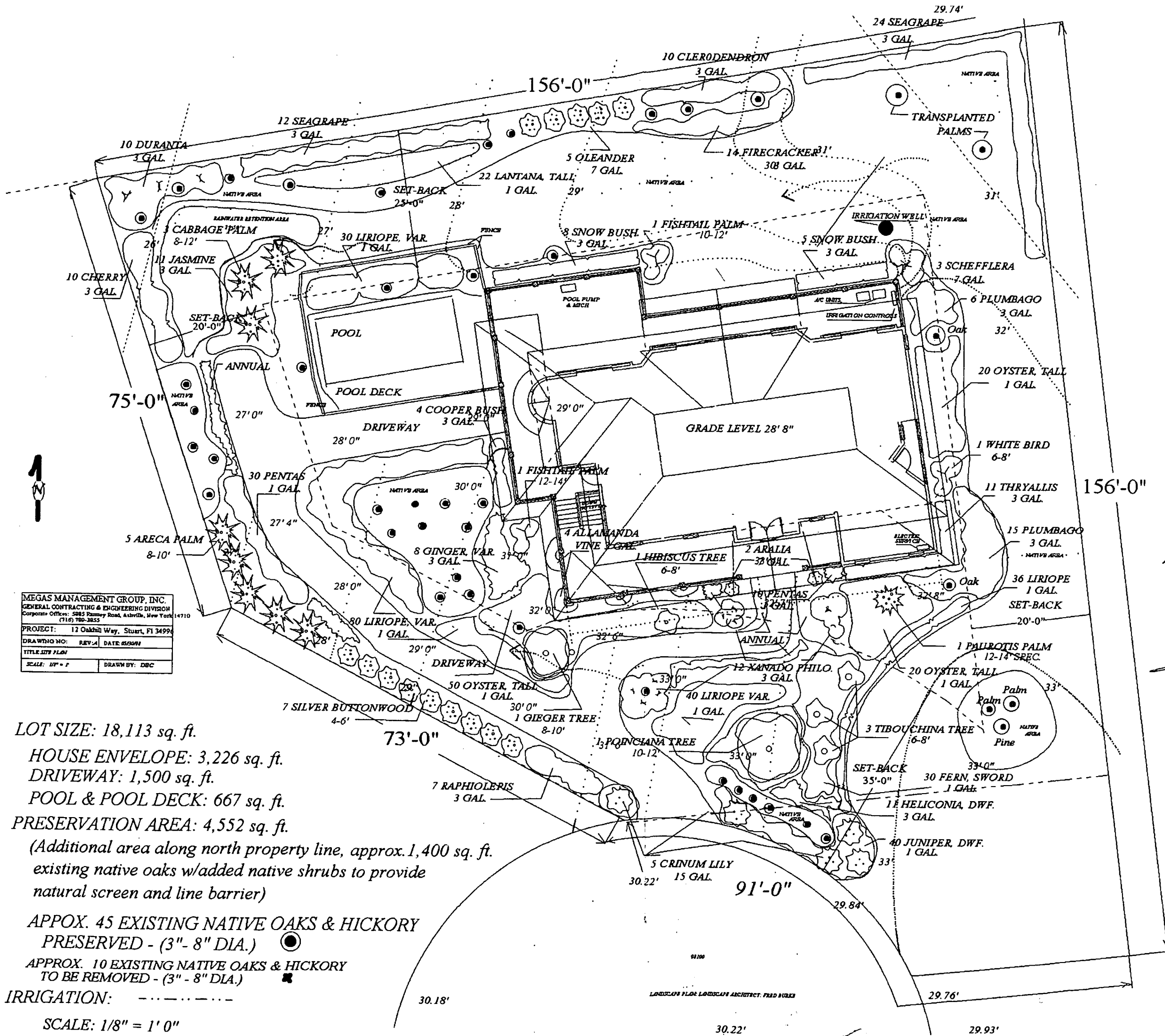
APPOX. 45 EXISTING NATIVE OAKS & HICKORY

PRESERVED - (3" - 8" DIA.) ●

IRRIGATION: - - - - -

MEGAS MANAGEMENT GROUP, INC.	
GENERAL CONTRACTING & ENGINEERING DIVISION	
Corporate Office: 5805 Ramsey Road, Ashland, New York 14710	
(716) 789-3833	
PROJECT: 12 Oakhill Way, Stuart, FL 34994	
DRAWING NUMBER: REV. A	DATE: 02/20/07
TITLE: SITE PLAN	
SCALE: 1/8" = 1'	DRAWN BY: DBC
LANDSCAPE PLAN, LANDSCAPE ARCHITECT: PAUL PIERRE	

SCALE 1/8" = 1'



MEGAS MANAGEMENT GROUP, INC.
 GENERAL CONTRACTING & ENGINEERING DIVISION
 Corporate Offices: 5985 Ramsey Road, Asheville, New York 14710
 (716) 780-3855

PROJECT: 12 Oakhill Way, Stuart, FL 34994

DRAWING NO: REV. A DATE: 05/09/99

TITLE: SITE PLAN

SCALE: 1/8" = 1'

DRAWN BY: DBC

LOT COVERAGE
 29%

POOL OK
 3/14/99

[Signature]

LOT SIZE: 18,113 sq. ft.

HOUSE ENVELOPE: 3,226 sq. ft.

DRIVEWAY: 1,500 sq. ft.

POOL & POOL DECK: 667 sq. ft.

PRESERVATION AREA: 4,552 sq. ft.
 (Additional area along north property line, approx. 1,400 sq. ft. existing native oaks w/added native shrubs to provide natural screen and line barrier)

APPOX. 45 EXISTING NATIVE OAKS & HICKORY PRESERVED - (3" - 8" DIA.) ●

APPOX. 10 EXISTING NATIVE OAKS & HICKORY TO BE REMOVED - (3" - 8" DIA.) ■

IRRIGATION: - - - - -

SCALE: 1/8" = 1' 0"

ROUND CAPACITY UNITS

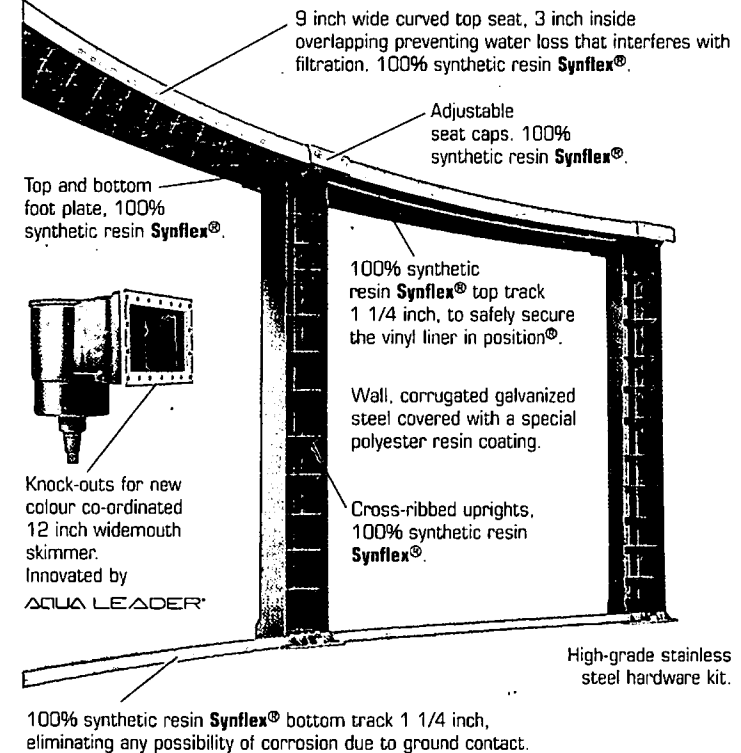
Feet	15'	18'	21'	24'	27'
Meters	4.57	5.49	6.40	7.32	8.23
U.S. Gal.	5200	7650	10400	13500	17100
Litres	19,800	29,000	39,500	51,100	64,800

Wall Height: 48" - 1.22M
 Also available: 52" height - 1.32M

Synflex® Polypropylene synthetic resin, developed by AQUA LEADER to resist all environmental factors (weather, acid rain, shock resistance, colour retention). Graphite reinforced for added strength. Ultra-violet stabilizer and an antistatic product are added to **Synflex®** resin.

INJECTION MOLDING: All the components of the structure for the Illusion pool are molded by an injection process that enable us to reinforce every one of these components (ribbing process), to curve the top seat and also, to use a sturdy snap-on process that eliminate most of the hardware. All resin components are colour fast troughout.

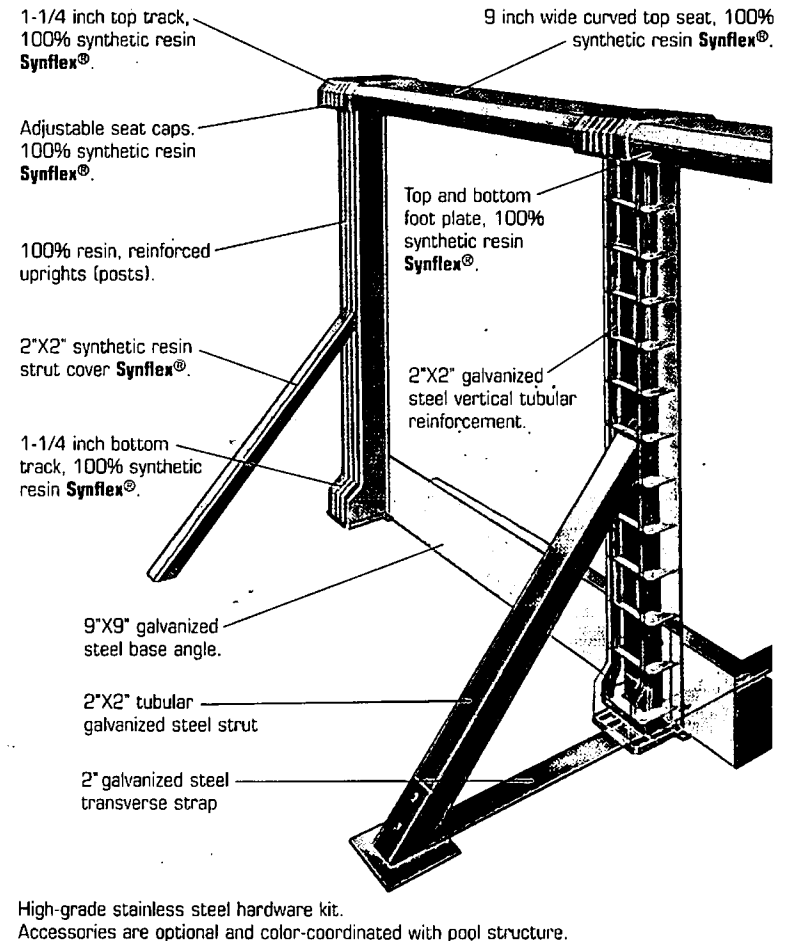
AQUA LEADER is the only company in North America to manufacture completely all the components of a resin pool (wall, vinyl liner, resin structure, through wall skimmer) with the advantage for our customer to rely on one company for any warranty problem.



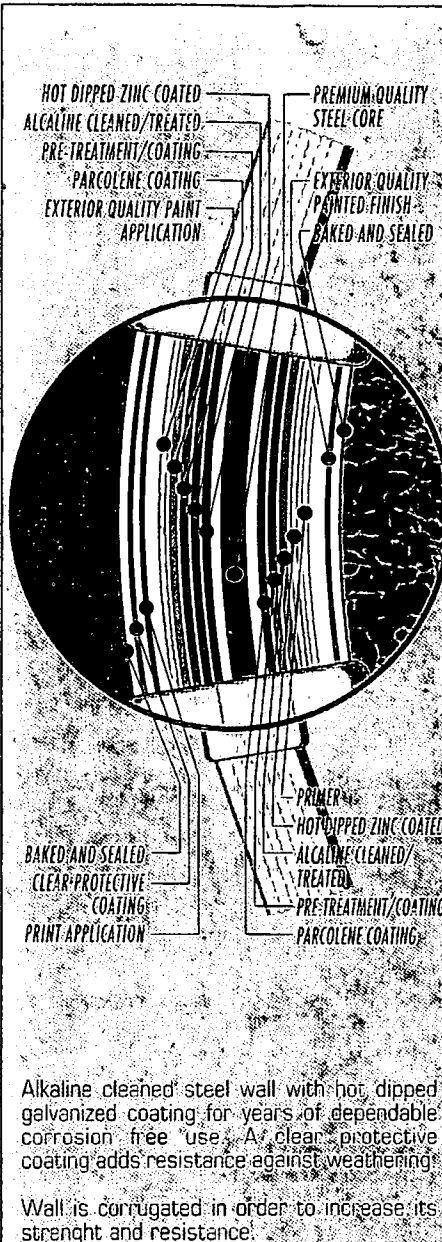
OVAL CAPACITY UNITS

Feet	15'X25'	15'X28'	15'X31'	15'X34'	18'X34'
Meters	4.57X7.60	4.57X8.23	4.57X9.14	4.57X10.06	5.48X10.06
U.S. Gal.	10500	11800	13000	14400	14800
Litres	39,690	44,600	49,140	54,430	56,000

Wall Height: 48" - 1.22M
 Also available: 52" height - 1.32M



WALL TREATMENT



ILLUSION
Amazing!

AQUA LEADER®

AQUA LEADER®

AUTHORIZED AQUA LEADER DEALER:

WARRANTY
 30 YEARS/100%
 (on all resin components)

WARNING

CANSPA NSPI

Printed in Canada 09-96 • Tact Publicité (514) 956-8038

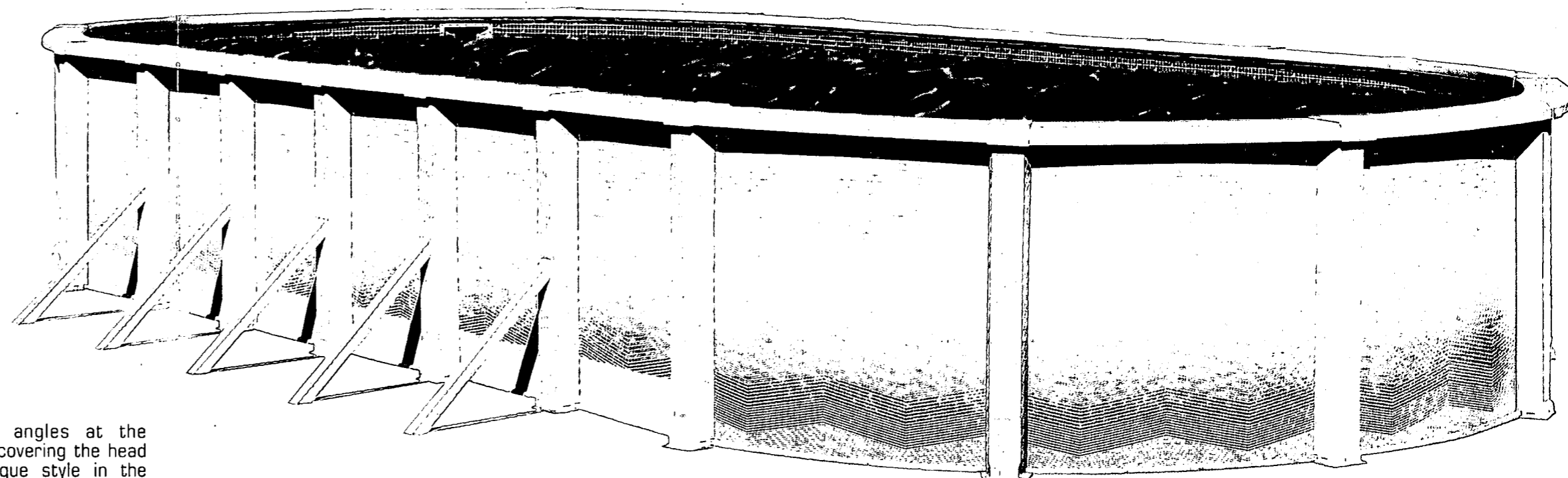
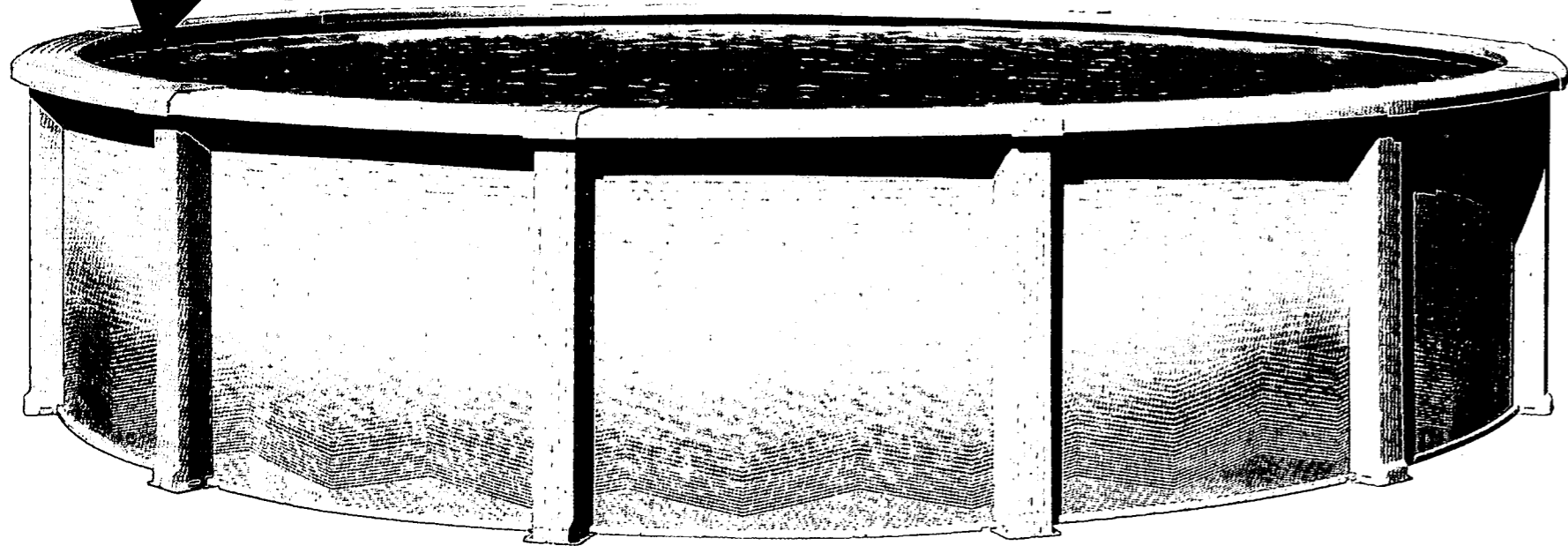


R O U N D

ILLUSION

T O P O F T H E L I N E

O V A L



The AQUA LEADER® **Illusion** above ground pool incorporates the latest injection-moulding technology, using graphite-reinforced synthetic resin, to provide you with years and years of carefree swimming pleasure. You can say goodbye to all the scraping, painting and other costly maintenance chores that go hand in hand with conventional wood or metal frame above ground swimming pools.

That's because synthetic resin is the perfect material for the manufacturing of swimming pools.

It's a material that has already proven itself time and again in numerous applications where strength and durability are absolutely essential: pool filtration

systems, automotive products, construction, office equipment and aircraft components. Synthetic resin is also 100% non-biodegradable, which means that (unlike wood or metal) it will not rot, warp, crack, splinter, or absorb moisture, and since the color you choose for your AQUA LEADER® **Illusion** pool is solid all the way through it can never fade.

The structural design of the **Illusion** swimming pool features a series of inside strengthenings ensuring maximum resistance while offering a higher level of lightness and rigidity than steel.

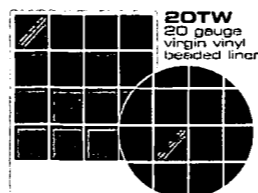
The new **Illusion** line has benefited from the advanced technology of computer-aided design

(CAO-FAO). Interior 20-degree angles at the sitting edge as well as the joints covering the head of the poles provide a very unique style in the industry.

Furthermore, AQUA LEADER® is the only company in the world manufacturing all of its pool components. Whether it is the resin structure, the vinyl liner, the pool wall or even the large spout skimmer, all these are manufactured and above all guaranteed by only one company: AQUA LEADER®.

And, AQUA LEADER® is now offering you an original and highly attractive above-ground pool with optional accessories matching the pool colors.

AVAILABLE LINERS



20TW
20 gauge
virgin vinyl
beaded liner.

Printed wall
and bottom.



20TB
20 gauge
blue beaded
liner.

Printed wall
and bottom.



20HB
20 gauge
blue overlap
liner.

Plain wall and
printed bottom.



20MB 20HM
20 gauge
Special order
only.

Printed wall
and bottom.



20BL
20 gauge
blue overlap
liner.

Plain wall
and bottom.

AVAILABLE COLOURS

GREY 33



PEARL 02



GREY 33

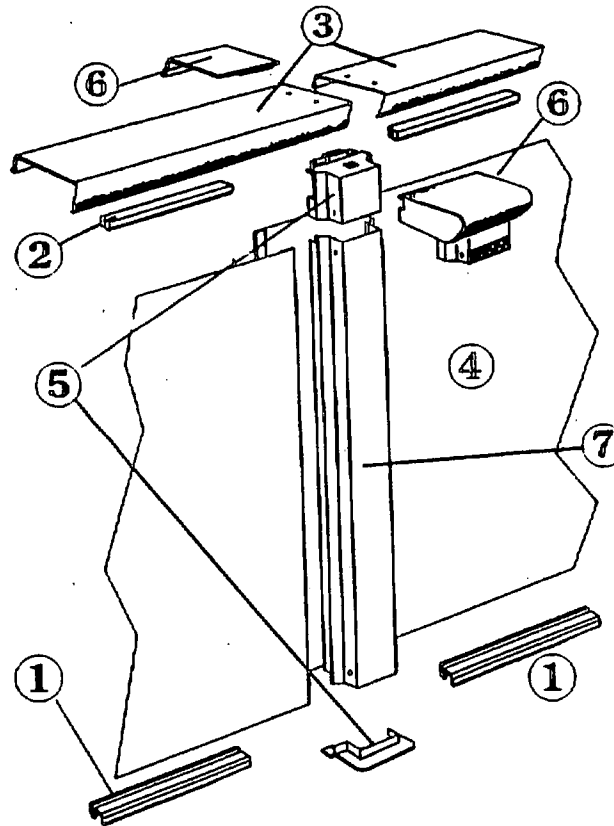


Important notice: Aqua Leader is continually looking for ways to improve the design and quality of its products, changes in specifications may occur. Current specifications and colour schemes are subject to change without notice.

WHAT MAKES A QUALITY POOL?

COMPONENTS

- Tracks & Connector Plates** ⑤ fit on the top & bottom of the Wall and hold it in place.
- ① - **Bottom Tracks** rest on the ground & are exposed to pool water, rain water, and ground Chemicals.
- ② - **Top Tracks** are exposed to Chemicals in the pool water.
- **Tracks are the most vulnerable component of your pool.**
- ③ **Rails** fit over the Tracks, Posts ⑦ and Wall and hold all together, as well as make your pool beautiful.
- **Rails** are exposed to Chemicals in the pool water, especially on their underside.
- **Rails are the second most vulnerable part of your pool.**
- ④ The **Wall** of your pool provides the strength to hold back the water.
- The **Wall** is mainly **vulnerable from the inside due to condensation** trapped between it and the liner.
- ⑥ **Rail Caps** cover the point where Rails, Tracks & Post are joined. **Choose Caps that do not scratch the Rails & cause them to rust.**



**YOUR POOL INVESTMENT PAYS DIVIDENDS --
INVEST WISELY FOR EXTRA YEARS OF FAMILY FUN!**

CHOICES

TRACKS ①, ② & ⑤

- Galvanized O.K.
- Coated Galvanized Much Better
- Solid Resin Best By Far

RAILS ③

- Painted Unacceptable
- Resin Coated Much Better
- Solid Resin Best By Far

WALL ④

- Resin Coated Much Better
- Resin Coated With Stainless Steel Panel Best By Far

RAIL CAPS ⑥

- Painted Metal Unacceptable
- Solid Resin Best By Far

ILLUSION

State of the art -- All solid resin pool!

30 Year, 100% Replacement Guarantee

Resin Components:

- **TRACKS: SOLID RESIN**
TOP & BOTTOM. **NO RUST POSSIBLE**
- **RAILS: SOLID RESIN**
CURVED FOR EXTRA STRENGTH & BEAUTY
NO RUST POSSIBLE
- **CONNECTOR PLATES: SOLID RESIN**
NO RUST POSSIBLE
- **RAIL CAPS: SOLID RESIN**
NO SHARP EDGES. WON'T CUT YOU,
WON'T SCRATCH FRAME. **NO RUST**
- **52" HIGH**, EXTRA SWIMMING DEPTH

Extra features:

- **RESIN COATED**, HEAVY DUTY, ALLOY
WALL. RESIN COAT PROVIDES
MAXIMUM RUST PROTECTION
- **STAINLESS STEEL WALL PANEL**
ELIMINATES RUST AROUND SKIMMER RETURN
- **WIDE MOUTH SKIMMER**
LESS "BLOWBY" = BETTER FILTRATION
- **25 GAGE LINER** FOR STRENGTH & DURABILITY

SIZES AVAILABLE: 18', 24', ROUND

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

EFFECTIVE DATE OF EXEMPTION 01/20/97
EXEMPTED INDIVIDUAL NAME BEETLER SHAWN L
SOCIAL SECURITY NUMBER 295-78-8012
BUSINESS NAME POOLSHARKS
FEDERAL IDENTIFICATION NUMBER 650550839
BUSINESS ADDRESS 1172 NORTHWEST 51 STREET
FT LAUDERDA, FL 33308

F
L
O
R
I
D
A

NOTE: Pursuant to chapter 440.10(1)(g), F.S., a sole proprietor, partner, or officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

Michael McCalla

AUTHORIZED SIGNATURE

CUT HERE

* Carry bottom portion on the job, keep upper portion for your records.

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

EFFECTIVE DATE OF EXEMPTION 01/20/97
EXEMPTED INDIVIDUAL NAME CRAIG OTIS SCOTT
SOCIAL SECURITY NUMBER 353-76-5487
BUSINESS NAME POOLSHARKS
FEDERAL IDENTIFICATION NUMBER 650550839
BUSINESS ADDRESS 1172 NORTHWEST 51 STREET
FT LAUDERDA, FL 33308

F
L
O
R
I
D
A

NOTE: Pursuant to chapter 440.10(1)(g), F.S., a sole proprietor, partner, or officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

Michael McCalla

AUTHORIZED SIGNATURE

AC# 4643089

STATE OF FLORIDA
Department of Business and Professional Regulation
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
07/15/1997	87004536	QB -0007095

The BUSINESS ORGANIZATION
Named below IS QUALIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 1999
(THIS IS NOT A LICENSE TO PERFORM WORK. THIS ALLOWS THE
COMPANY TO DO BUSINESS ONLY IF IT HAS A QUALIFIER.)

POOLSHARKS
1172 NW 51 ST
FT ALUDERDALE FL 33309

LAWTON CHILES
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARREL
SECRETARY

AC# 5285338

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
08/21/1998	98900793	CP -C056777

The COMMERCIAL POOL/SPA CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2000

BEETLER, SHAWN L
POOLSHARKS
6641 NW 4TH CT
PLANTATION FL 33317

LAWTON CHILES
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARREL
SECRETARY

10063

A/C CHANGEOUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10063	DATE ISSUED:	APRIL 11, 2012
SCOPE OF WORK:	AC CHANGEOUT		
CONTRACTOR:	CUSTOM AIR SYSTEMS		
PARCEL CONTROL NUMBER:	263741015-000-000601	SUBDIVISION	CASTLE HILL - LOT 6
CONSTRUCTION ADDRESS:	12 OAK HILL WAY		
OWNER NAME:	COOK		
QUALIFIER:	CURTIS SAMMONS	CONTACT PHONE NUMBER:	335-3232

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: 10063

Date: 4-10-12

OWNER/LESSEE NAME: Donald & Charlene Cook

Phone (Day) 772-220-9536 (Fax) _____

Job Site Address: 12 Oak Hill Wy

City: Sewall's Point State: FL Zip: 34996

Legal Description CASTLE Hill, Lot 6 R# 2637-4-015-000-00060-1060 Parcel Control Number: 2637-4-015-00060-14150

Fee Simple Holder Name: _____ Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

*SCOPE OF WORK (PLEASE BE SPECIFIC):

AC Chaneyhart

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO _____

Has a Zoning Variance ever been granted on this property?

YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES (Required on ALL permit applications)

Estimated Value of Improvements: \$ 2400
(Notice of Commencement required when over \$2500 prior to final inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: CUSTOM AIR SYSTEMS INC Phone: 772 335 3232 Fax: 772 335 1968

Qualifiers name: CURTIS SAMMONS Street: 1615 SE Village Green Dr City: St Lucie State: FL Zip: 34952

State License Number: CAC051810 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: JIM JARVIS Phone Number: 335-7232

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____
*Enclosed non-habitable areas below the Base Flood Elevation greater than 1 foot, require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Electrical, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCLUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MUST BE FILED IN THE PUBLIC RECORDS OF BARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 60-93.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 106.4.1, 106.4.1.1 - .6.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:

X _____
State of Florida, County of _____
On This the _____ day of _____, 20____
by _____ who is personally
known to me or produced _____
As Identification _____

Notary Public

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

X Curtis Sammons
State of Florida, County of: St Lucie
On This the 10 day of April, 2012.
by Curtis Sammons who is personally
known to me or produced ✓
As Identification _____

Notary Public

My Commission Expires: Christine B English

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION (FBC 106.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 106.3.2) **PLEASE PICK UP YOUR PERMIT PROMPTLY!**

Christine B. English
Commission # DD850325
Expires: APR. 04, 2013
BONDED THRU ATLANTIC BONDING CO., INC.

NOTARY PUBLIC STATE OF FLORIDA
Christine B. English
Commission # DD850325
EXPIRES: APR. 04, 2013
BONDED THRU ATLANTIC BONDING CO., INC.

Donnie
GAM-

CUSTOM AIR SYSTEMS, INC.
1615 S.E. VILLAGE GREEN DR
PORT ST. LUCIE, FL 34952
772-335-3232 772-571-1080

0646 2012
50-

=====

ACCT#: 2209536	TICKET #: 183866	DATE OF ORDER: 04/02/2012
DONALD COOK	ADCD	AGENT: AW MAP: 34996
12 OAK HILL WAY	# 8 A/H 10 cond	PROMISED: THU 04/05/2012
CASTLE HILL 10%	45 A/H 30	TIME " 9:00A
STUART, FL 34996		PURCHASE DT:
HOME#: 772-220-9536	WORK#: 772-341-0621 EXT:	P.O. #

MAKE	PRODUCT	MODEL	MFG #	SERIAL
------	---------	-------	-------	--------

TECH: RONNIE

TROUBLE REPORTED:
A/C MAINTS HAS TWO SYSTEMS WANTS
ESTIMATE ON THE OLDER SYSTEM FOR
REPLACEMENT

Permit 4/12/12
for Ther

INSPECTION C.O.D.

QTY	MAKE	PART NO.	DESCRIPTION	PRICE	EXTENSION
-----	------	----------	-------------	-------	-----------

1		13AJN36 + RHTSLAM	13 seer Rheem System w/ 8 KW Heater Installed w/new T-stat & Perm. Need to open up Closet Header To Ave Plenum customer will repair or if it can be done without & duct work is sealed & 2nd floor is no Accessible		Balance 3420.00 Ave
		3 lbs R-22			

Put 50.00
2012

SERVICE PERFORMED:

Maintence Newer Rheem System & Vokay
Mr. Cook is going to replace other system add
3lbs To keep it going Till Thursday 4-12-2012

TOTAL MATERIALS

SERVICE CALL

LABOR 50.00

1ST DT SVC:		2ND DT SVC:	
1- TIME IN:	A OUT:	A TOTAL:	HRS
2- TIME IN:	A OUT:	A TOTAL:	HRS

TAX

TOTAL 50.00

SIGNATURE

*Signature above constitutes acceptance of service performed as being satisfactory and that the equipment has been left in good condition.

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 4/11/2012 8:44:51 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
26-37-41-015-000-00060-1	4150	12 OAK HILL WY, SEWALL'S POINT	\$586,680	4/7/2012

Owner Information

Owner(Current)	COOK DONALD E & CHARLENE J
Owner/Mail Address	12 OAK HILL WAY STUART FL 34996
Sale Date	3/6/1997
Document Book/Page	1224 1327
Document No.	
Sale Price	74000

Location/Description

Account #	4150	Map Page No.	SP-01
Tax District	2200	Legal Description	CASTLE HILL, LOT 6 PI# 26-37-41-015-000-00060- 10000
Parcel Address	12 OAK HILL WY, SEWALL'S POINT		
Acres	.4260		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120900 Sewall's Lndg/Castle Hill

Assessment Information

Market Land Value	\$238,000
Market Improvement Value	\$348,680
Market Total Value	\$586,680



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Air Conditioning Change out Affidavit

Residential [checked] Commercial
Package Unit Yes [checked] No (Use Condenser side of form below for equipment listing)
Duct Replacement Yes [checked] No - Refrigerant line replacement Yes [checked] No
Flushing Existing Refrigerant lines Yes [checked] No - Adding Refrigerant Drier Yes [checked] No
Rooftop A/C Stand Installation Yes [checked] No - Curb Installation Yes [checked] No
Smoke Detector in Supply (over 2000 CFM) Yes [checked] No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: Rheem Model# RHSLHM3617
Volts 230 CFM's 1200 Heat Strip 7 Kw
Min. Circuit Amps 39 Wire gauge 8
Max. Breaker size 45 Min. Breaker size 45
Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type 410A
Location: Existing [checked] New
Attic/Garage/Closet (specify) Closet
Access: Closet Door

Condenser: Mfg Rheem Model# 13A11N36
Volts 230 SEER/EER 13 BTU's 35,800
Min. Circuit Amps 30 Wire gauge 10
Max. Breaker size 35 Min. Breaker size 30
Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type 410A
Location: Existing [checked] New
Left/Right/Rear/Front/Roof Rear
Condensate Location Ground

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: Carrier Model#
Volts 230 CFM's Heat Strip 7 Kw
Min. Circuit Amps Wire gauge 8
Max. Breaker size 45 Min. Breaker size 45
Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type 22
Location: Ext. [checked] New
Attic/Garage/Closet (specify) Closet
Access:

Condenser: Mfg Carrier Model#
Volts 230 SEER/EER 10.3 BTU's 35,000
Min. Circuit Amps Wire gauge 10
Max. Breaker size 30 Min. Breaker size 30
Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type 22
Location: Ext. [checked] New
Left/Right/Rear/Front/Roof Ground
Condensate Location

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

X [Signature]
Signature

4-10-12
Date



SALES FACT SHEET

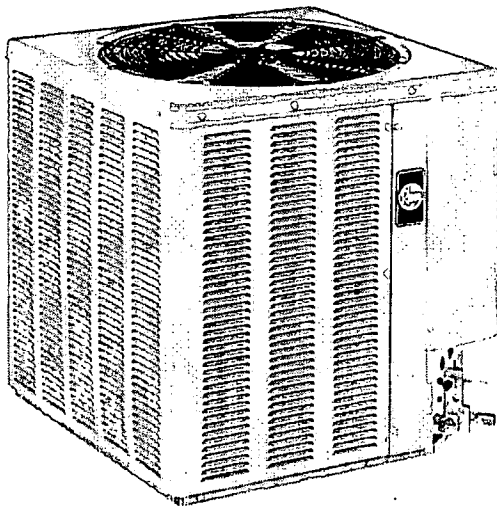
13A*N SERIES

Models with Efficiencies
up to 15 SEER / 12.50 EER

Featuring Industry Standard
R-410A Refrigerant

R-410A

Value Series 13 SEER Condensing Unit



Features

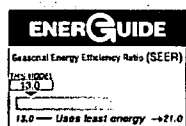
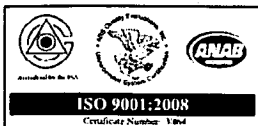
- Painted louvered steel cabinet
- Easily accessible control box
- Condenser coils constructed with copper tubing and enhanced aluminum fins
- Grille/Motor mount for quiet fan operation
- Bi-Directional Filter Drier (shipped – not installed)

GENERAL TERMS OF LIMITED WARRANTY

Rheem will furnish a replacement for any part of this product which fails in normal use and service within the applicable period stated, in accordance with the terms of the limited warranty.

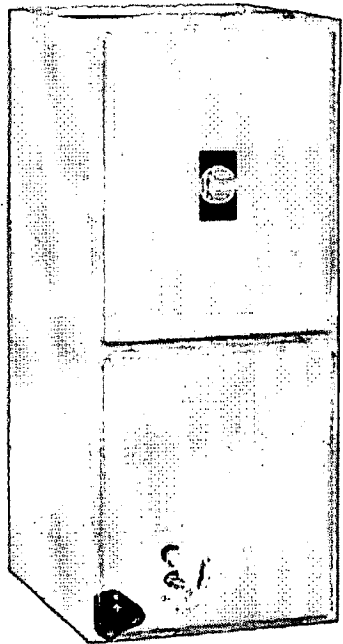
Condenser Coil leaks caused by factory defects.....Five (5) Years
 Conditional Compressor* (Registration Required).....Ten (10) Years
 Conditional Parts* (Registration Required).....Ten (10) Years
 *See Product Warranty Card for Details

MODEL	Nominal Cooling Capacity (BTU/HR)	VOLTAGE	PHASE	HEIGHT	WIDTH	LENGTH	Shipping Weight	Service Valve - Liquid	Service Valve - Suction	PRICE
13A*N18	18,000	208/230	1	24 - 1/4"	23 - 5/8"	23 - 5/8"	128	3/8"	3/4"	
13A*N24	24,000	208/230	1	24 - 1/4"	23 - 5/8"	23 - 5/8"	129	3/8"	3/4"	
13A*N30	30,000	208/230	1	24 - 1/4"	27 - 5/8"	27 - 5/8"	147	3/8"	3/4"	
13A*N36	36,000	208/230	1	24 - 1/4"	27 - 5/8"	27 - 5/8"	157	3/8"	3/4"	
13A*N42	42,000	208/230	1	24 - 1/4"	27 - 5/8"	27 - 5/8"	157	3/8"	7/8"	
13A*N48	48,000	208/230	1	27 - 15/16"	31 - 5/8"	31 - 5/8"	192	3/8"	7/8"	
13A*N60	60,000	208/230	1	35 - 15/16"	31 - 5/8"	31 - 5/8"	234	3/8"	7/8"	





SALES FACT SHEET



Features

- 1 1/2 ton [5.3 kW] through 5 ton [17.6 kW] models are between 42 1/2 to 55 1/2 inches [1080 to 1410 mm] tall and 22 inches [559 mm] deep.
- Versatile 4-way convertible design for upflow, downflow, horizontal left and horizontal right applications.
- Factory-installed high efficiency indoor coil.
- All models meet or exceed 330 to 400 CFM [156 to 189 L/s] per ton at .3 inches [.7 kPa] of external static pressure.
- Enhanced airflow up to .7" external static pressure.
- Sturdy construction with 1.0 inch [.24 kPa] of reinforced foil faced jacket insulation for excellent thermal and sound insulation.
- Field-installed auxiliary electric heater kits provide exact heat for indoor comfort. Kits include circuit breakers which meet UL and cUL requirements for service disconnect.

AIR HANDLERS

RHSA- Standard Efficiency
featuring R-22 Refrigerant

RHSL- Standard Efficiency
featuring New Industry Standard
R-410A Refrigerant **R-410A**

GENERAL TERMS OF LIMITED WARRANTY

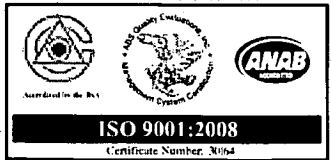
Rheem will furnish a replacement for any part of this product which fails in normal use and service within the applicable period stated, in accordance with the terms of the limited warranty.

Conditional Parts* (Registration Required) Ten (10) Years

*Refer to Product Warranty Card for details.

R	H	S	A	—	HM	24	17	J	A
RHEEM	CLASSIFICATION	S = STANDARD MODEL (PSC MOTOR)	REFRIGERANT	A/C OR HP MULTI- POSITION (VERTICAL UPFLOW/ HORIZONTAL LEFT IS THE FACTORY CONFIGURATION)	CAPACITY	CABINET SIZE	VOLTAGE	DESIGN VARIATION	
	H = AIR HANDLER		A = R-22 L = R-410A		18 = 18,000 BTU/HR [5.27 kW]	17 = 17.5" [431.8 mm] (800-1200 CFM)	A = 115/1/60 D = 480/3/60 J = 208/240/1/60	A = 1ST DESIGN	
					24 = 24,000 BTU/HR [7.03 kW]	21 = 21" [533.4 mm] (1400-1600 CFM)			
					30 = 30,000 BTU/HR [8.79 kW]	24 = 24.5" [609.6 mm] (1600-1800 CFM)			
					36 = 36,000 BTU/HR [10.55 kW]				
					42 = 42,000 BTU/HR [12.31 kW]				
					48 = 48,000 BTU/HR [14.06 kW]				
					60 = 60,000 BTU/HR [17.58 kW]				

Price	Starting at: \$
-------	--------------------





DesignStar Load Calculation

Results are intended for use with Rheem heating and cooling systems only

The Now Degree of Comfort™

Customer Information

Location:
 Street Address: 12 Oak Hill Way, MARTIN, FL 34996
 Latitude, Longitude: 26.6726°, -80.0706°
 House Square Footage: 1560 sq. ft.
Name:
Phone:
Email:

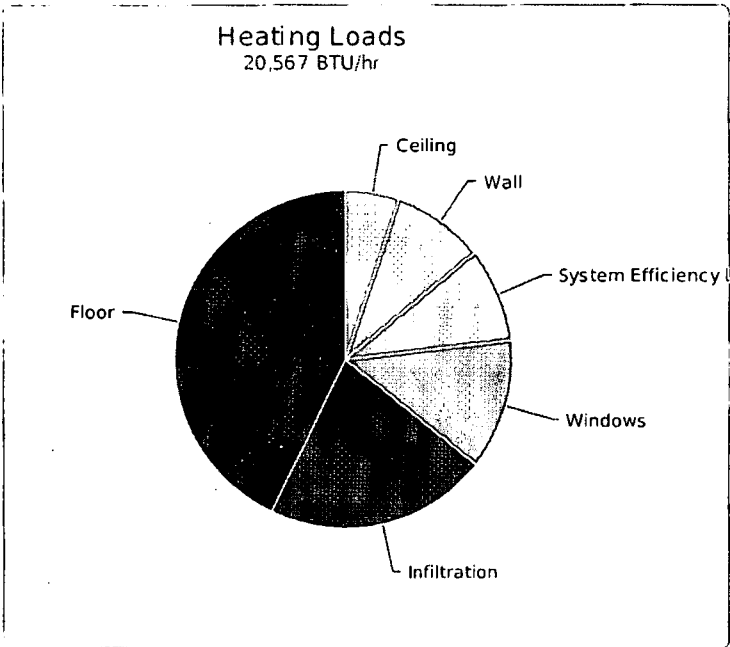
Design Conditions

Outdoor	Heating	Cooling
Dry bulb (°F)	47	90
Daily range		M
Relative humidity		50%
Moisture difference		64

Indoor	Heating	Cooling
Indoor temperature (°F)	70	75
Design temperature difference(°F)	23	15

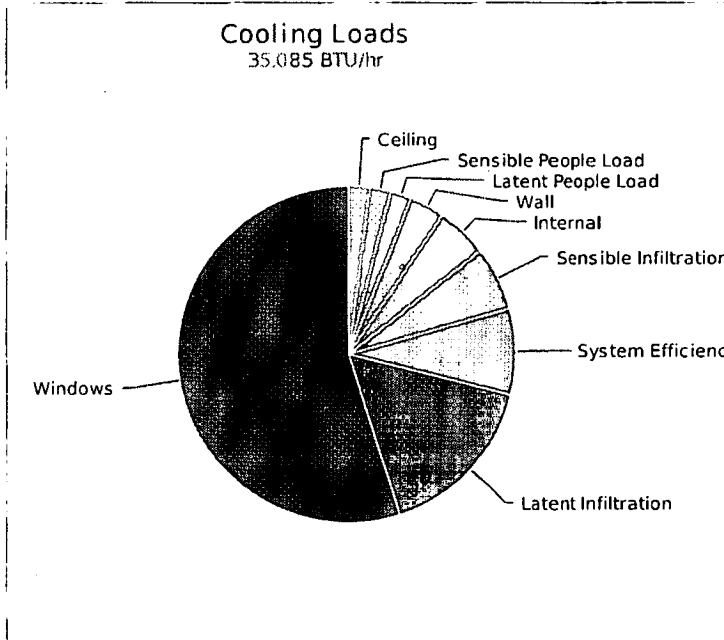
Heating Loads

Area	Btuh	% of load
Wall	1826	8.9
Floor	8814	42.9
Ceiling	1076	5.2
Windows	2576	12.5
Infiltration	4405	21.4
System Efficiency Loss	1870	9.1
Total:	20567	

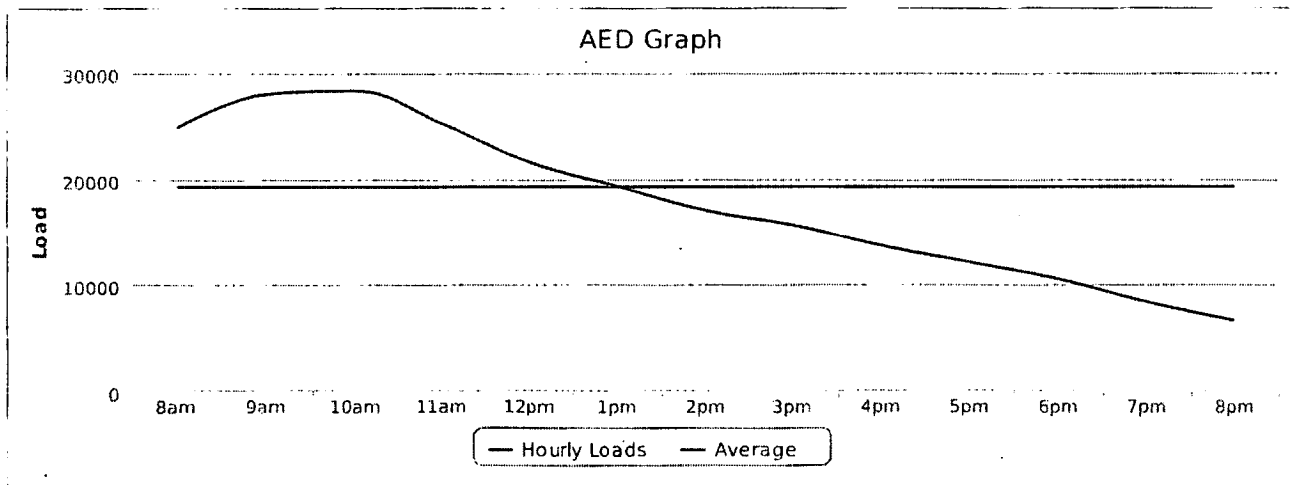


Cooling Loads

Area	Btuh	% of load
Wall	1191	3.4
Ceiling	702	2
Windows	19269	54.9
Sensible Infiltration	2154	6.1
Latent Infiltration	5682	16.2
System Efficiency Gain	2900	8.3
Internal	1750	5
Sensible People Load	718	2
Latent People Load	718	2
Total:	35085	
Sensible load	28685	
Latent load	6400	
SHR	0.82	
Capacity at .75 SHR	3.19 Tons	



Adequate Exposure Diversity



ACCA Manual S

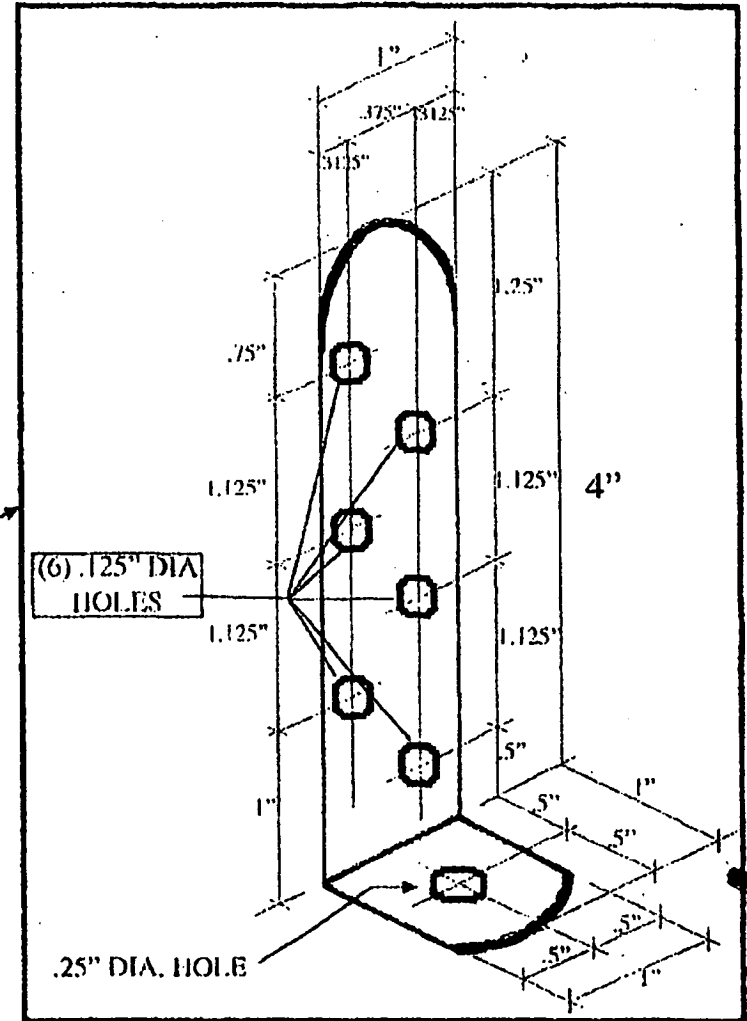
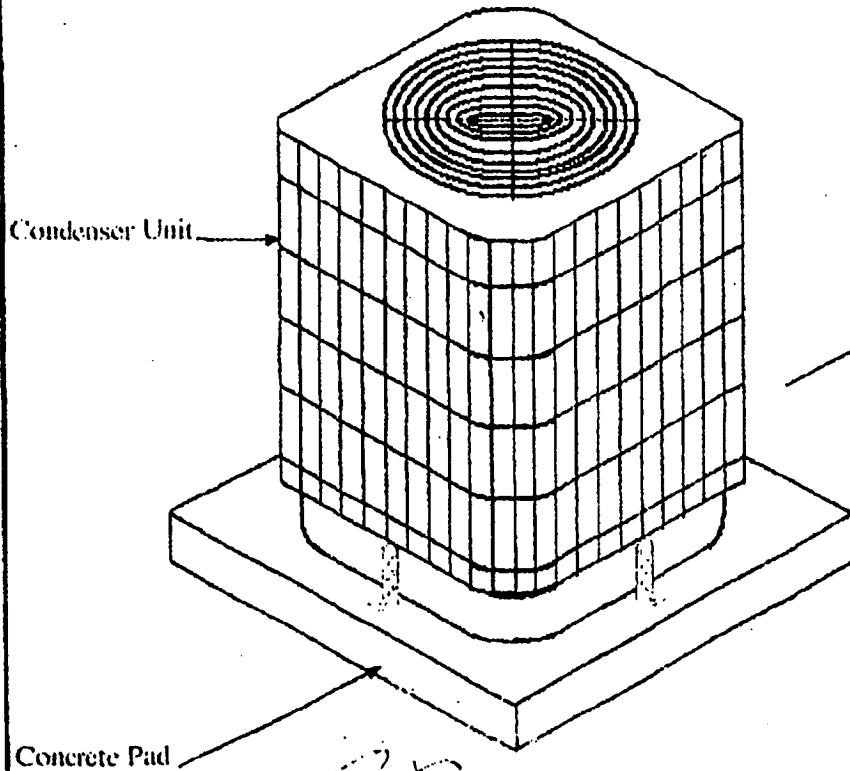
System equipment selection will be made using the following Manual S derived values.

Summer Outdoor	90°F
Summer Wet Bulb	78°F
Summer Indoor	75°F
Summer Design Grains	50%
Winter Outdoor	47°F

Winter Indoor	70°F
Sensible Cooling	28,685 Btuh
Latent Cooling	6,400 Btuh
Required Cooling Airflow	1,304 CFM
Sensible Heating	20,567 Btuh
Required Heating Airflow	267 CFM

All calculations are based upon approved hvac industry standards and procedures, and comply with all local, state and federal code requirements. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree

#771 (1 pk.) / #772 (100 boxes) Anchor Clip



Metal thickness = 16 gauge

[Signature]
2-19-08

The Metal Shop

The Metal Shop
1139 Eldridge Street
Clearwater
FL 33755

Ph: (727) 441-2492
Fax: (727) 442-8493
Web: www.metalshop.org

Consulting Engineer:

Douglas W. Lowe, P.E.
FLA # 13365
1206 Millennium Parkway
Brandon, FL 33511

Revision Date:

2/14/08

Drawn by:

K.P.R.

Page:

1 of 1

Scale - Not to scale



Certificate of Product Ratings

AHRI Certified Reference Number: 4525780

Date: 4/10/2012

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 13AJN36

Indoor Unit Model Number: RHSL-HM3617+RCSL-H*3617

Manufacturer: RHEEM MANUFACTURING COMPANY

Trade/Brand name: RHEEM 13AJN SERIES

Manufacturer responsible for the rating of this system combination is RHEEM MANUFACTURING COMPANY

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	35800		
EER Rating (Cooling):	10.30*	WAS	11
SEER Rating (Cooling):	13.00		

* Ratings followed by an asterisk (*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at www.ahridirectory.org.

TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

CERTIFICATE VERIFICATION

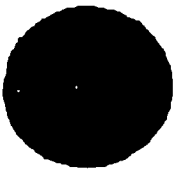
The information for the model cited on this certificate can be verified at www.ahridirectory.org, click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



Air-Conditioning, Heating,
and Refrigeration Institute

©2012 Air-Conditioning, Heating, and Refrigeration Institute

CERTIFICATE NO.: 129785521891174180



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34096
 Tel 772-387-0482 or 772-328-4768

FLORIDA ENERGY CONSERVATION CODE

Mandatory Duct Inspection Certification for HVAC change-out

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 552.012)

Owner: DONALD COOK Contractor name: CUSTOM AIR SYSTEMS INC
 Street address: 12 OAK HILL WAY Jurisdiction: SEWALLS PT
 City: SEWALLS PT, FL Permit No.: 10063
 Zip: 34996 Final inspection date: _____

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.
- Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 2)
- The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
- System was tested (see below) and repairs were made as necessary - (Section 101.4.7.1.1 exception 3)

NO ACCESS TO DUCT SYSTEM

Signature: *Curtis* Date: 5/3/12

Printed Name: Curtis Summers

Contractor License #: CAC-051810

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: _____ Date: _____

Printed Name: _____

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-2-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	AMSLER 3 SIMARA SD	TREE	Pass	
				INSPECTOR
10066 2130	CHURCH 8 ISLAND RD RCB ELECT	FINAL ELEC Generator	Pass	CLOSE INSPECTOR
10028	Kaplan 11 RIVERCREST EAB Elite	FINAL WALK & STAIRS	Pass	CLOSE INSPECTOR
9908 9:00	FLEETWOOD 34 N LIVER RD SEA GATE	FINAL GRADE	Pass	INSPECTOR
10065 30 2PM	Church 8 Island Rd RCB Electric	Final Gas	Pass	CLOSE INSPECTOR
10063	Cook	FINAL A/C	Pass	CLOSE INSPECTOR
				INSPECTOR

10428

REPLACE

STRUCTURAL BEAMS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10428	DATE ISSUED:	APRIL 23, 2013
SCOPE OF WORK:	REPLACE STRUCTURAL BEAMS		
CONTRACTOR:	HEDRICK CUSTOM CONSTRUCTION		
PARCEL CONTROL NUMBER:	12 OAK HILL WAY	SUBDIVISION	CASTLE HILL - LOT 6
CONSTRUCTION ADDRESS:	262741015-000-000601		
OWNER NAME:	COOK		
QUALIFIER:	GARY HEDRICK	CONTACT PHONE NUMBER:	529-8111

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	---

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point BUILDING PERMIT APPLICATION

Date: 15 APR 2013

Permit Number: 10428

OWNER/LESSEE NAME: COOK, DONALD E & CHARLENE J. Phone (Day) 772-220-9536 (Fax) _____

Job Site Address: 12 OAK HILL WAY City: SEWALL'S POINT State: FL Zip: 34996

Legal Description: CASTLE HILL, LOT6 PL#26-37-41-015 Parcel Control Number: 26-37-41-015-000-00060-1

Fee Simple Holder Name: COOK, DONALD E. & CHARLENE J. Address: 12 OAK HILL WAY

City: SEWALL'S POINT State: FL Zip: 34996 Telephone: 772-220-9536

REPAIR ONLY -----

***SCOPE OF WORK (PLEASE BE SPECIFIC):** REPLACE 8 2"x12" BEAMS W/ROT WITH 8 2"x12" PT BEAMS.

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?

YES _____ (YEAR) _____ NO X
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 4000
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AEB X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ 325,440
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: HEDRICK CUSTOM CONSTRUCTION LLC Phone: 772-529-8111 Fax: _____

Qualifiers name: GARY HEDRICK Street: PO BOX 88213 City: PORT ST LUCIE State: FL Zip: 34988

State License Number: _____ OR: Municipality: MC License Number: MCAR 2980

LOCAL CONTACT: GARY HEDRICK Phone Number: 772-529-8111

DESIGN PROFESSIONAL: GARY A. KELLY Fla. License# AR 0008341

Street: 119 SW 6TH STREET City: STUART Zip: 34994 Phone Number: 772-283-3492

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

AGENT/LESSEE - NOTARIZED SIGNATURE:

[Signature]

Notary Public, State of Florida, County of: MARTIN

Commission Expires: 15 day of APRIL, 2013

by DONALD E. COOK who is personally

known to me or produced [Signature]

As identification. [Signature]

Notary Public

My Commission Expires: 8/30/14

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

x [Signature]

State of Florida, County of: MARTIN

On This the 15 day of April

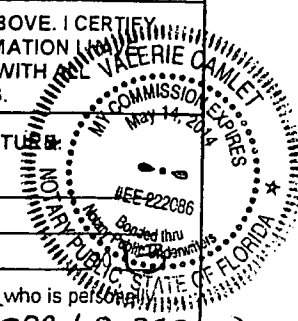
by GARY HEDRICK who is personally

known to me or produced [Signature]

As identification. [Signature]

Notary Public

My Commission Expires: _____



MICHAEL BERGIN
Notary Public, State of Florida
Commission Expires August 2014

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 4/17/2013 3:19:11 PM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
26-37-41-015-000-00060-1	4150	12 OAK HILL WY, SEWALL'S POINT	\$550,440	4/13/2013

Owner Information

Owner(Current)	COOK DONALD E & CHARLENE J
Owner/Mail Address	12 OAK HILL WAY STUART FL 34996
Sale Date	3/6/1997
Document Book/Page	1224 1327
Document No.	
Sale Price	74000

Location/Description

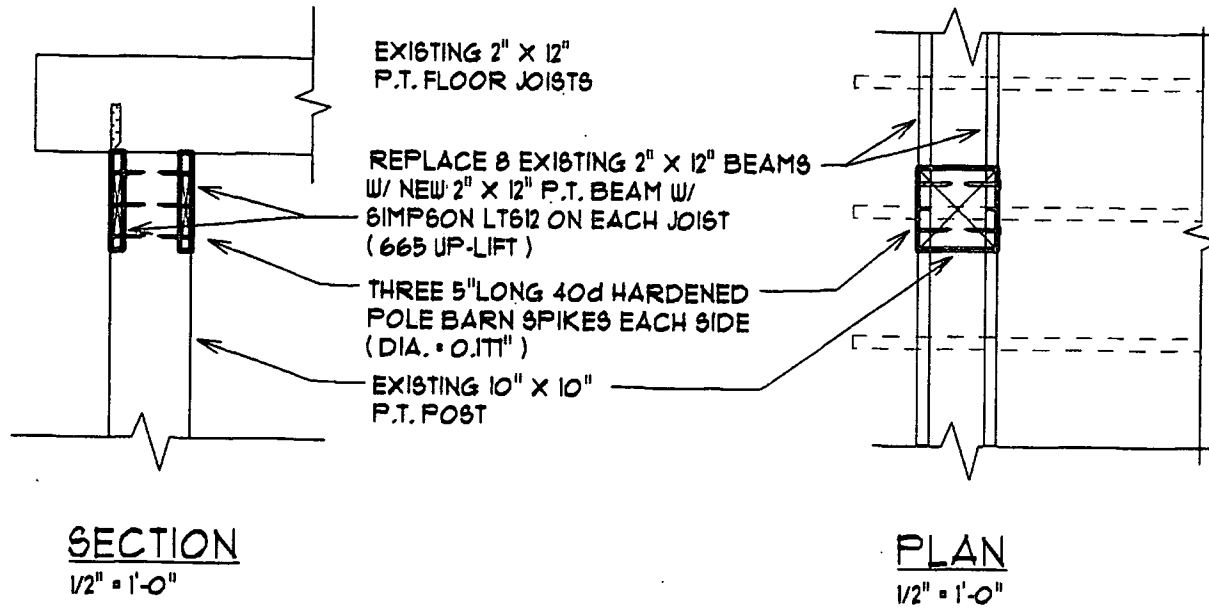
Account #	4150	Map Page No.	SP-01
Tax District	2200	Legal Description	CASTLE HILL, LOT 6 PI# 26-37-41-015-000-00060- 10000
Parcel Address	12 OAK HILL WY, SEWALL'S POINT		
Acres	.4260		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120900 Sewall's Lndg/Castle Hill

Assessment Information

Market Land Value	\$225,000
Market Improvement Value	\$325,440
Market Total Value	\$550,440



TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

REPAIR DETAIL FOR THE

COOK RESIDENCE

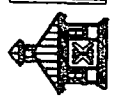
12 OAK HILL WAY SEWALL'S POINT, FLORIDA

WIND LOAD INFORMATION	
CODE EDITIONS:	2010 FLORIDA BUILDING CODE
BUILDING DESIGN:	CHAPTER 6 OF ASCE 1-10
ULTIMATE DESIGN WIND SPEED:	ENCLOSED
NOMINAL DESIGN WIND SPEED:	160 MPH
RISK CATEGORY:	124 MPH
WIND IMPORTANCE/ USE FACTOR:	II
INTERNAL PRESSURE COEFFICIENT:	1.0
EXPOSURE CATEGORY:	+ .18 / - .18
	"C"

OF ONE
 15 APR 13
 1544

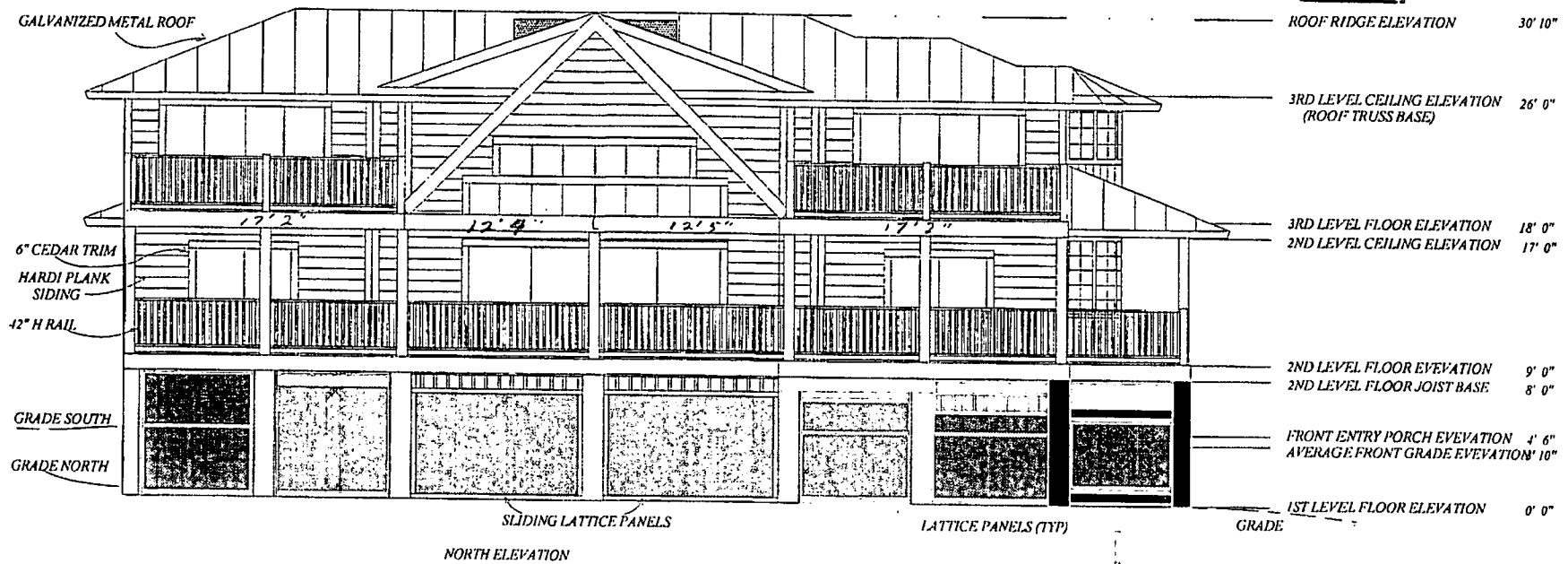


KELLY & KELLY ARCHITECTS
 110 S. W. 6TH STREET, STUART, FL (772) 283-3482



15 APR 13

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **4-29-13** Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10382	Cox 2 Oak Hill Way Pools by Greg	deck stairs w/ railing		CANCEL
10294	Guiggo 2 Island Rd Cosmopolitan	front porch lights	Pass	INSPECTOR <i>[Signature]</i>
10428	Cook 12 Oak Hill Way Hedrick	final trains	Pass	INSPECTOR <i>[Signature]</i>
10381	Santa Cecilia 62 S River Rd CDR	Final deck	Pass	CLOSE INSPECTOR <i>[Signature]</i>
10397	Kneppers 10 Red Vista On Shore	dry-in # <u>METAL</u>	FAIL	No Drip/Valve INSPECTOR
10415	Smith 11 Palmetto Art Homes	UG plumbing UG Mech AC		Postponed to Tues INSPECTOR
Tree	Spencer 85 S Sewalls	Tree	N.G.	INSPECTOR

10686

REROOF FLAT ROOF



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10686	DATE ISSUED:	NOVEMBER 25, 2013
SCOPE OF WORK:	REROOF - FLAT ROOF		
CONTRACTOR:	TRIUNE BUILDERS		
PARCEL CONTROL NUMBER:	263741015-000-000601	SUBDIVISION	CASTLE HILL - 6
CONSTRUCTION ADDRESS:	12 OAK HILLWAY		
OWNER NAME:	COOK		
QUALIFIER:	ROBERT AUSTIN	CONTACT PHONE NUMBER:	287-1949

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10686
ADDRESS	12 OAK HILL WAY - COOK
DATE 11/25/13	SCOPE OF WORK REROOF - FLAT ROOF

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)		s.f.	
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)		s.f.	
Total square feet remodel with new trusses: @ \$90.78 per sq. ft.		\$	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$100 per insp.)			
Total number of inspections (Value < \$200K)@\$100ea		\$	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

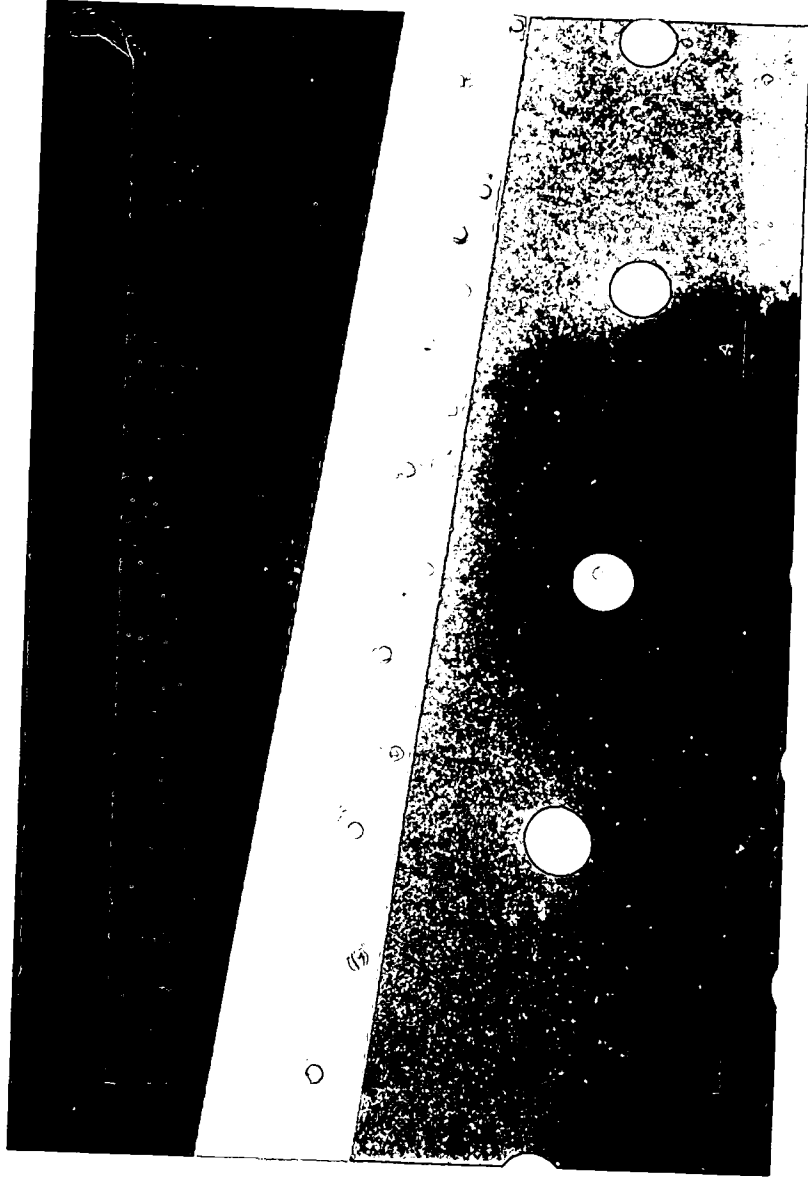
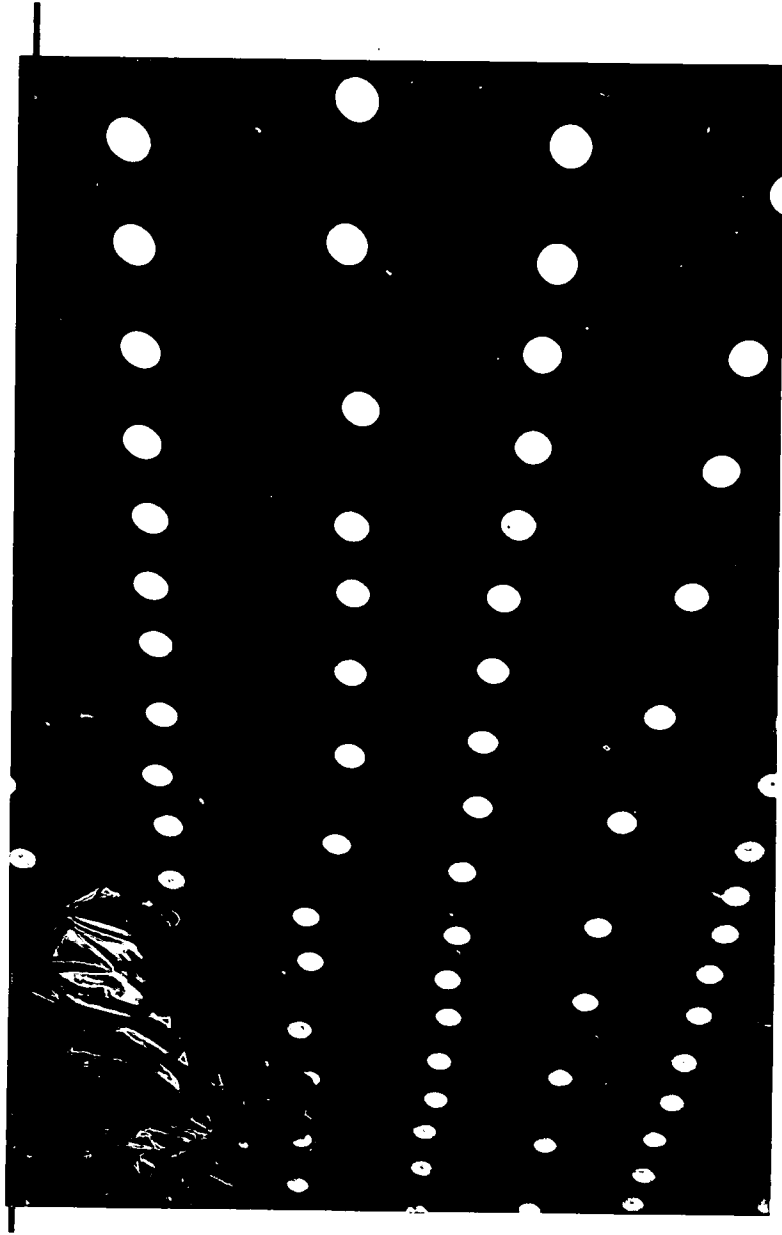
ACCESSORY PERMIT	Declared Value:	\$	14,450
Total number of inspections @ \$100.00 each	3		300
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	4.50
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	4.50
Road impact assessment: (.04% of construction value - \$5.min.)		\$	5.78
TOTAL ACCESSORY PERMIT FEE:		\$	314.78

PO 10684 12 OAK BLVD WNY



PN 10686

12 Oak Hill Way





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road

Sewall's Point, Florida 34996

Tel 772-287-2455 Fax 772-220-4765

**APPLICATION FOR TREE REMOVAL, RELOCATION OR
REPLACEMENT PERMIT ON DEVELOPED RESIDENTIAL PROPERTY**

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Removal of trees with a diameter of less than two inches.
3. Removal of citrus or non-native fruit trees.

Sec. 70-22. Permit required for tree removal.

A permit as provided for in this chapter shall be required for the removal (or transplant) of any tree with a two-inch caliber or more upon any parcel upon which there is a residence under a validly issued permit. Permit requirements are outlined under article V Town Ordinances. **If the town has to procure the services of a suitable professional licensed in the State of Florida to ascertain the condition or type of a tree(s) prior to or after removal of the tree(s) then the cost of such will be borne by the property owner. (Ord. No. 303, 7-20-04)**

Application procedures:

1. Complete application information including sketch below.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and posted on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Permit Fee:

1. Tree permits are \$15.00.
2. Permit - No fees are assessed for tree which is dead, diseased, injured, hazardous to life or property, or listed as a prohibited species by the Florida Department of Environmental Protection.

NOTICE:

A PERMIT WILL NOT BE ISSUED FOR THE REMOVAL ANY NATIVE SPECIES TREES UNLESS ONE OR MORE OF THE FOLLOWING CONDITIONS EXIST: (SEC. 70-87. PERMIT ISSUANCE OR DENIAL TOWN ORDINANCES).

- A. THE VEGETATION IS LOCATED IN AN AREA WHERE STRUCTURES, UTILITIES OR IMPROVEMENTS MAY BE PLACED ACCORDING TO THE TOWN CODE; AND TO PRESERVE THE VEGETATION WOULD UNREASONABLY RESTRICT THE ECONOMIC ENJOYMENT OF THE PROPERTY; AND THE VEGETATION CANNOT BE RELOCATED ON THE SITE BECAUSE OF AGE, TYPE OR SIZE.
- B. THE VEGETATION IS DISEASED, INJURED, LOCATED TOO CLOSE TO THE EXISTING OR PROPOSED STRUCTURES, INTERFERES WITH EXISTING UTILITY SERVICE, OR CREATES UNSAFE VISUAL OBSTRUCTION. (A PROFESSIONAL ARBORIST'S OPINION WILL BE REQUIRED)
- C. THE VEGETATION IS TO BE MOVED TO ANOTHER LOCATION ON THE OWNER'S PROPERTY OR IS TO BE REPLACED BY ANOTHER TREE OR SHRUB ON THE OWNER'S PROPERTY, REGARDLESS OF LOCATION.

IF THE PERMIT IS DENIED, THE DEPARTMENT SHALL NOTIFY THE APPLICANT IN WRITING OF THE BASIS FOR DENIAL USING THE CRITERIA LISTED IN THIS SECTION.

*****THE FOLLOWING SPECIES ARE CONSIDERED NATIVE, PROTECTED SPECIES***:**

BLACK IRONWOOD, BLACK MANGROVE, BLOLLY, BUTTONWOOD, CABBAGE (SABLE) PALM, COCOPLUM (RED TIP AND GREEN TIP), CORAL BEAN, DEER MOSS, GRAY TWIG, GOPHER APPLE, GUMBO LIMBO, INKWOOD, LAUREL OAK, LEATHER FERN, LIVE OAK, MAHOGANY, MARLBERRY, MASTIC, MULBERRY, MYRTLE OAK, PARADISE TREE, PIGEON PLUM, POND APPLE, PRICKLY PEAR, RED MANGROVE, RED MAPLE, RED BAY, SAFFRON PLUM, SAND PINE, SCRUB PINE, SATINLEAF, SAW PALMETTO, SCRUB HICKORY, SEA GRAPE, SEA OXEYE, SLASH PINE, STOPPERS, WILD LIME, SUMAC (SOUTHERN), SUGAR BERRY (HACKBERRY), TORCHWOOD, WILD COFFEE, VARNISH LEAF, WATER OAK, WAX MYRTLE, WEST INDIAN CHERRY, WHITE MANGROVE.

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

#346

Permit # 346

Date Issued 10-8-98

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Dan Cook Address 5885 RAMSEY RD ASHVILLE NY 14710 Phone (716) 789-3855

AGENT Contractor DICK HALL Address 1385 MEYERS TER JENSEN BEACH FL Phone 334-9015

Number of trees to be removed (list kinds of trees) 8 (1 OAK 7 NICKORAY)

Number of trees to be relocated within 30 days (no fee) (list kinds of trees): 2 SABAL PALMS

Number of trees to be replaced (list kinds of trees):

Lot 6 Castle Hill - 12 Oak Hill Way

Permit Fee \$ 100.00 (\$25.00 - first tree plus \$10.00 - each additional tree - not to exceed \$100.00.)

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Dick Hall Date submitted 9-23-98

Approved by Building Inspector Robert H. Rudder Date _____

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

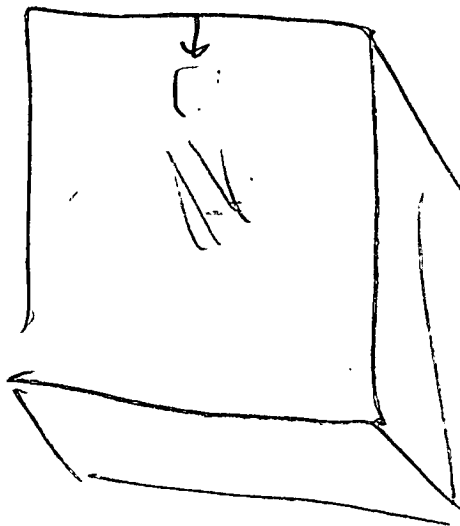
DON MOVIC

716

789-3855

$$\begin{array}{r} 351 \\ 103 \\ \hline 1053 \\ 3510 \\ \hline 36153 \end{array}$$

~~4~~
5





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

Spoke w/
 10/27/11
 ac

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Donald Cook Address 12 ~~Central~~ Hwy Phone 772-220-9536
 Contractor _____ Address _____ Phone _____
 No. of Trees: REMOVE one Species: Hickory
 No. of Trees: RELOCATE _____ Species: _____
 No. of Trees: REPLACE _____ Species: _____

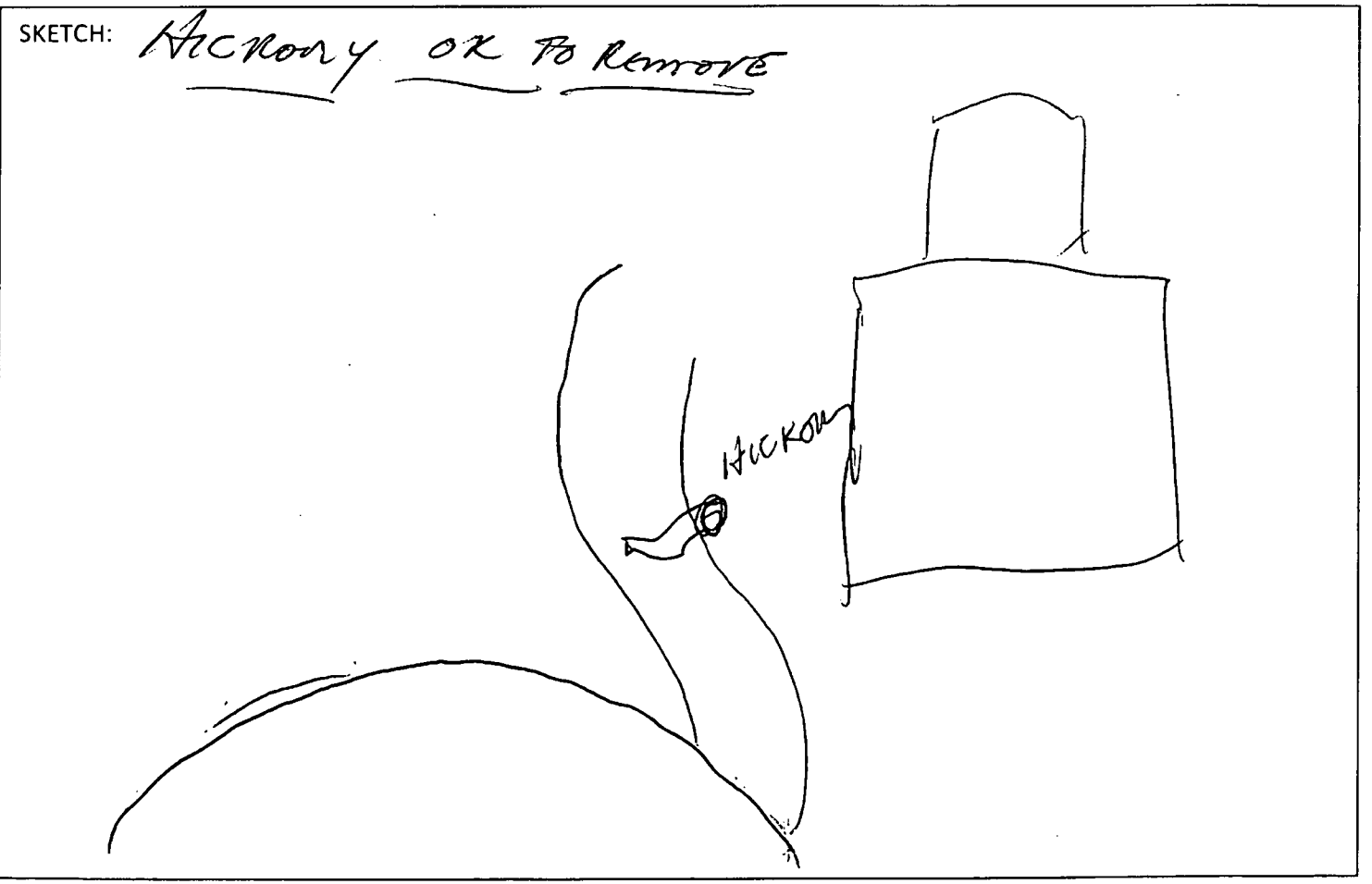
ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

Reason for tree removal /relocation (See notice above) Can hardly use the
drive way - encroaching on the space

Signature of Property Owner Charles Cook Date 10-19-11

Approved by Building Inspector: JA Date 10-20-11 Fee: _____

NOTES: TREE CAN BE LIMBED & PRUNED TO CLEAR DRIVEWAY ACCESS



OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Donald Cook Address 12 Oak Hill Way Phone 220-9536

Contractor Harold Green Address _____ Phone _____

No. of Trees: REMOVE 1 Species: Strangler fig

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

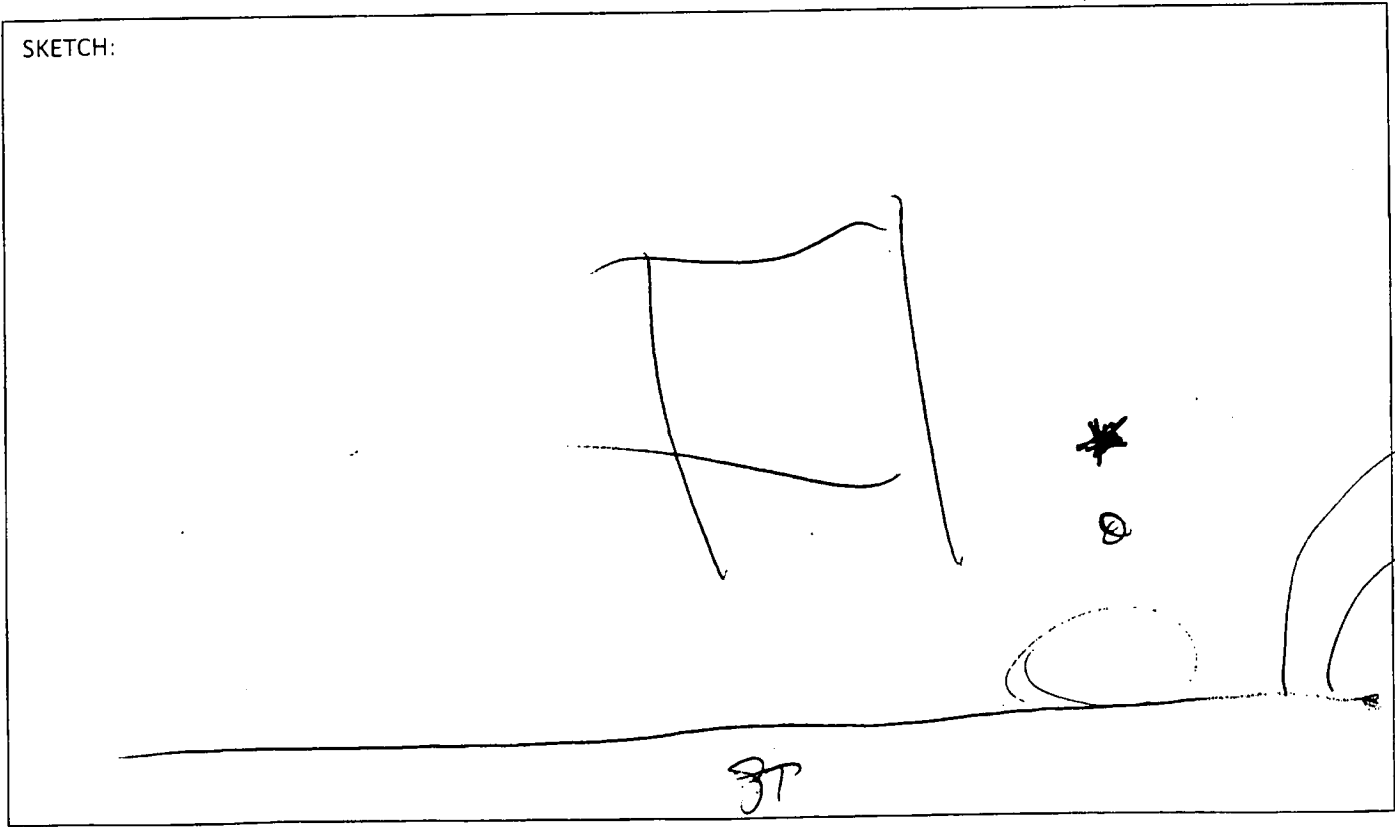
ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) breaking off pieces and
strangling palm and oak

Signature of Property Owner Charles Cook Date 10-17-12

Approved by Building Inspector: [Signature] Date 10-18-12 Fee: N/C

NOTES: _____





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Donald Cook Address [redacted] Phone 220-9536

Contractor Bungan Tree Removal Address [redacted] Phone

No. of Trees: REMOVE 1 Species: Hickory (DEAD)!

No. of Trees: RELOCATE Species:

No. of Trees: REPLACE Species:

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

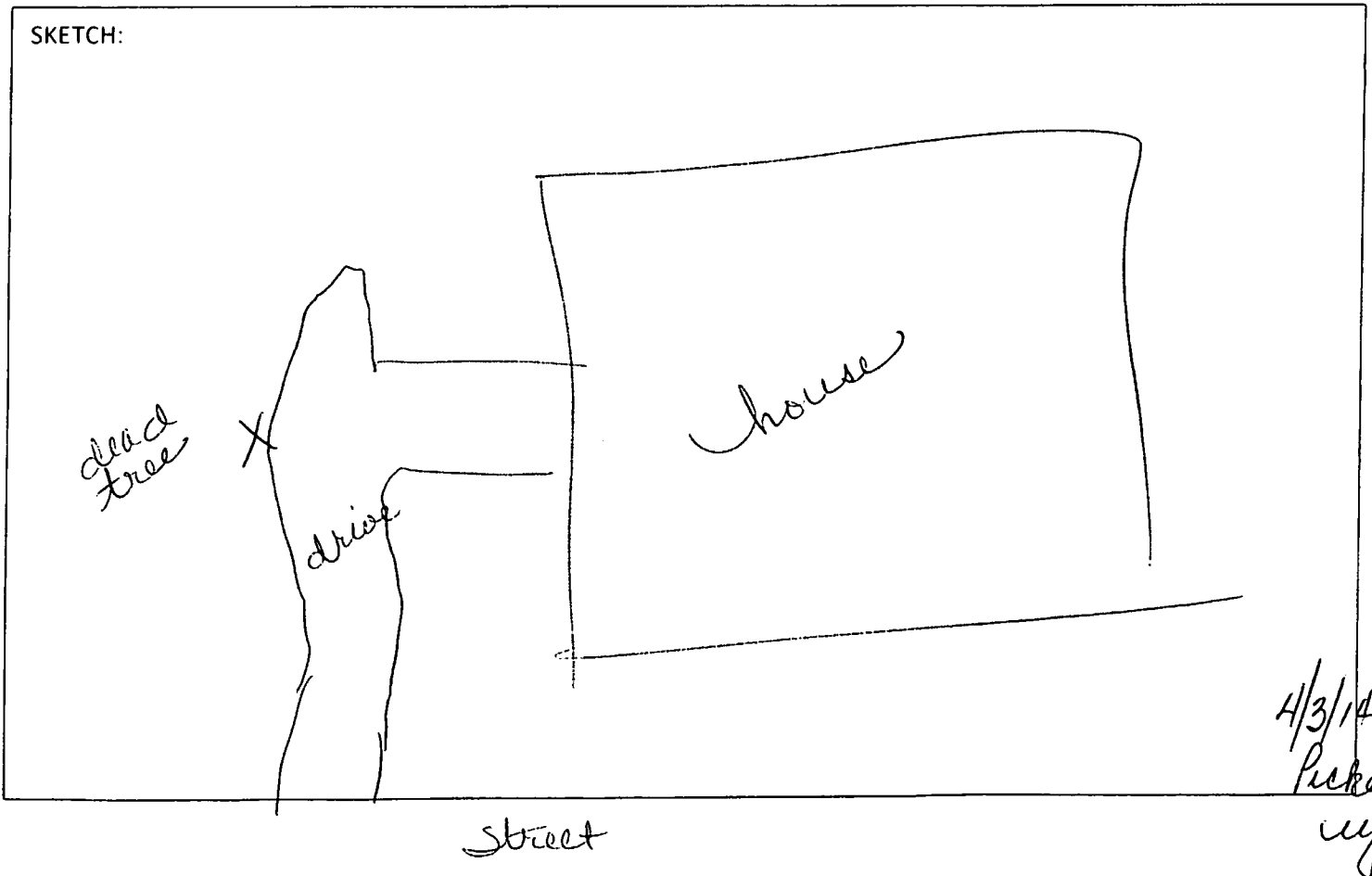
ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) very dead

Signature of Property Owner [Signature] Date 4-3-14

Approved by Building Inspector: [Signature] Date 4-3-14 Fee: N/E

NOTES:



4/3/14
Picked up.