

**3 Oakwood Drive**

**1373**

**SFR**

TOWN OF SEWALL'S POINT FLORIDA

Permit No. # 1373

Date 6/29/81

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner WILLIAM L. MCGEE, Trustee Present address 585 N.E. Ocean Blvd.
Phone 225-0101 Stuart, Florida

General contractor CHARLES S. ANDREWS Address 1045 East Ocean Blvd.
Phone 286-4933 Stuart, Florida

Where licensed STATE OF FLORIDA License No. CGC010622

Plumbing contractor MORTON'S PLUMBING License No. 00069

Electrical contractor ST. LUCIE ELECT. License No. MCLC #83

Air-conditioning contractor COMMERCIAL COOLING & HEATING License No. RA0023529

Describe the building, or alteration to existing building
4 Bedroom, 3 Bath CBS, Single Family Residence

Name the street on which the building, its front building line and its front yard will face #3 Oakwood Drive

Subdivision Oakwood Lot No. 8 Area South Sewalls Pt.

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 2600

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 91,000.00

Cost of permit \$ 485.00 Plans approved as submitted or, as marked

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor Charles S. Andrews

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with the neighborhood, as required by the Town's zoning ordinance.

Owner William L. McGee

Note: Speculation Builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted

Approved by Building Inspector (date) 6/30/81 Inspector's initials Jean

Approved by Town Commissioner (date) 7/2/81 Commissioner's initials JS

Certificate of Occupancy issued (date)

Approval of these plans in no way relieves the contractor of building in compliance with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

# 1373



STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR SEPTIC TANK PERMIT  
AND FINAL INSPECTION FORM

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

Authority:  
Chapter 381, 386, 397, FS  
Chapter 10D-6, FAC

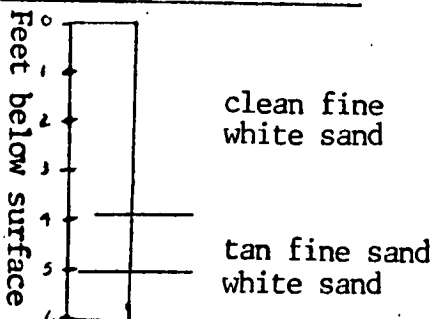
Permit Number HD81-444

Name of Applicant Charles Andrews Telephone 286-4933  
Mailing Address of Applicant 1045 East Ocean Blvd. Stuart, Fla. 33494  
To be Installed at: (Give Street Address)\* Oakwood Drive, Sewall's Point  
Lot 8 Block - Subdivision Oakwood Subdivision  
Plat Book & Page \_\_\_\_\_ Date Recorded \_\_\_\_\_  
Residential: No. Living Units 1 Number Bedrooms 4  
Commercial: Type of Business na Number People 4 Number Toilets 3  
\*Note: Attach site location map and other supportive documents.  
Signature of Applicant Charles J. Andrews

SITE INFORMATION

Is there a private well within 75 ft. of the proposed septic system? NO  
Is there a public well within 100 ft. of the proposed septic system? NO  
Is there a public sewer within 100 ft. of the proposed lot? NO  
Is there a lake, stream, canal or other body of water within 50 ft. of the proposed septic system? NO  
Is there a septic system or other interference within 75 ft. of the proposed private well? NO  
Is the proposed or existing public water line within 10 ft. of the proposed septic system? NO  
There is 1500 square feet of unobstructed land for future expansion of the drainfield.

SOIL PROFILE AND PERCOLATION DATA



Water table..... 72"  
Wet season water table... 60"  
Compacted fill of.....        required.  
Compacted fill check by..         
Date.....       

Certified by: Wm. J. Mathis  
Florida Professional Number: 19658  
Date: 6/25/81 Job Number 366 02 23  
Percolation Rate 1 Minutes/Inch  
Soil Identification:  
Class SP Group 1B

INSTALLATION SPECIFICATIONS

Septic Tank Capacity 1050 Gallons  
Dosing Tank Capacity        Gallons  
Grease Trap Capacity        Gallons  
Absorption Bed Size 350 Square Ft.  
Lateral Drainfield Size        Square Ft.  
Sand Filter Size        Square Ft.

Specifications:

6-24-81  
Date Processed  
THIS PERMIT EXPIRES ONE (1)  
YEAR FROM DATE OF ISSUANCE

Robert Washburn, R.S.  
Signature of Sanitarian

MARTIN County Health Department

FINAL INSPECTION DATA

Date and Time of Inspection \_\_\_\_\_ Type of Tank (Concrete, Fiberglass, Etc.) \_\_\_\_\_  
Size Tank Installed \_\_\_\_\_ Drainfield Size \_\_\_\_\_  
Dosing Tank Size \_\_\_\_\_ Grease Trap Size \_\_\_\_\_ Sand Filter Size \_\_\_\_\_  
Who Made Installation \_\_\_\_\_

RECOMMENDATION: Approval \_\_\_\_\_ Disapproval \_\_\_\_\_

Signature of Sanitarian

Receipt # 020449



# Termite Contract and Guaranty

BAKER'S TERMITE & PEST CONTROL CO.

AGREEMENT made this day in the City of Jensen Beach 8-5-81 State of Florida

By and between BAKER'S TERMITE & PEST CONTROL CO. herein called the TERMITE CONTRACTOR and

W. L. McGee

Address #8 Oakwood Drive Sewall's Point Jensen Beach hereinafter called the OWNER.

IN CONSIDERATION OF the sum of \$ 50.00, payable as work is completed the TERMITE CONTRACTOR agrees to treat the premises located at #8 Oakwood Drive Sewall's Point for the control of subterranean termites, and/or drywood termites, and/or powder post beetles, and/or wood borers. Specify if garage is included no.

THE TERMITE CONTRACTOR GUARANTEES to re-inspect and re-treat any reinfestations on the premises on an annual basis for a period of five years from the date of the initial application AT NO ADDITIONAL COST TO THE OWNER other than the regular annual service charge of \$ 35.00. The annual service charge to be payable on or before the anniversary date of the contract.

It is further agreed and understood, that in the event a lapse should occur in the payment of any installment under this contract, the TERMITE CONTRACTOR shall at his option from and after notice, be released from further inspections or re-servicing as herein provided. Failure to make payments of any of the installments nullifies all guarantees under this contract.

The OWNER agrees to notify the TERMITE CONTRACTOR prior to making any structural changes or additions to the building treated under this contract, but any such changes or additions if objected to by the TERMITE CONTRACTOR in writing shall nullify all guarantees.

The TERMITE CONTRACTOR hereby agrees that this contract and any extension of same, shall at the OWNER'S option, pass with the title to the property covered hereunder, provided that all payments under this contract shall be made by the new OWNER, as herein specified and provided that prompt written notice of such transfer is given to the TERMITE CONTRACTOR.

This guaranty may be further extended if mutually agreed upon in writing before the expiration of the original guaranty period.

Only such agreements as are clearly specified in this contract shall be binding upon the parties hereto.

BAKER'S TERMITE & PEST CONTROL CO. \_\_\_\_\_

The Termite Contractor

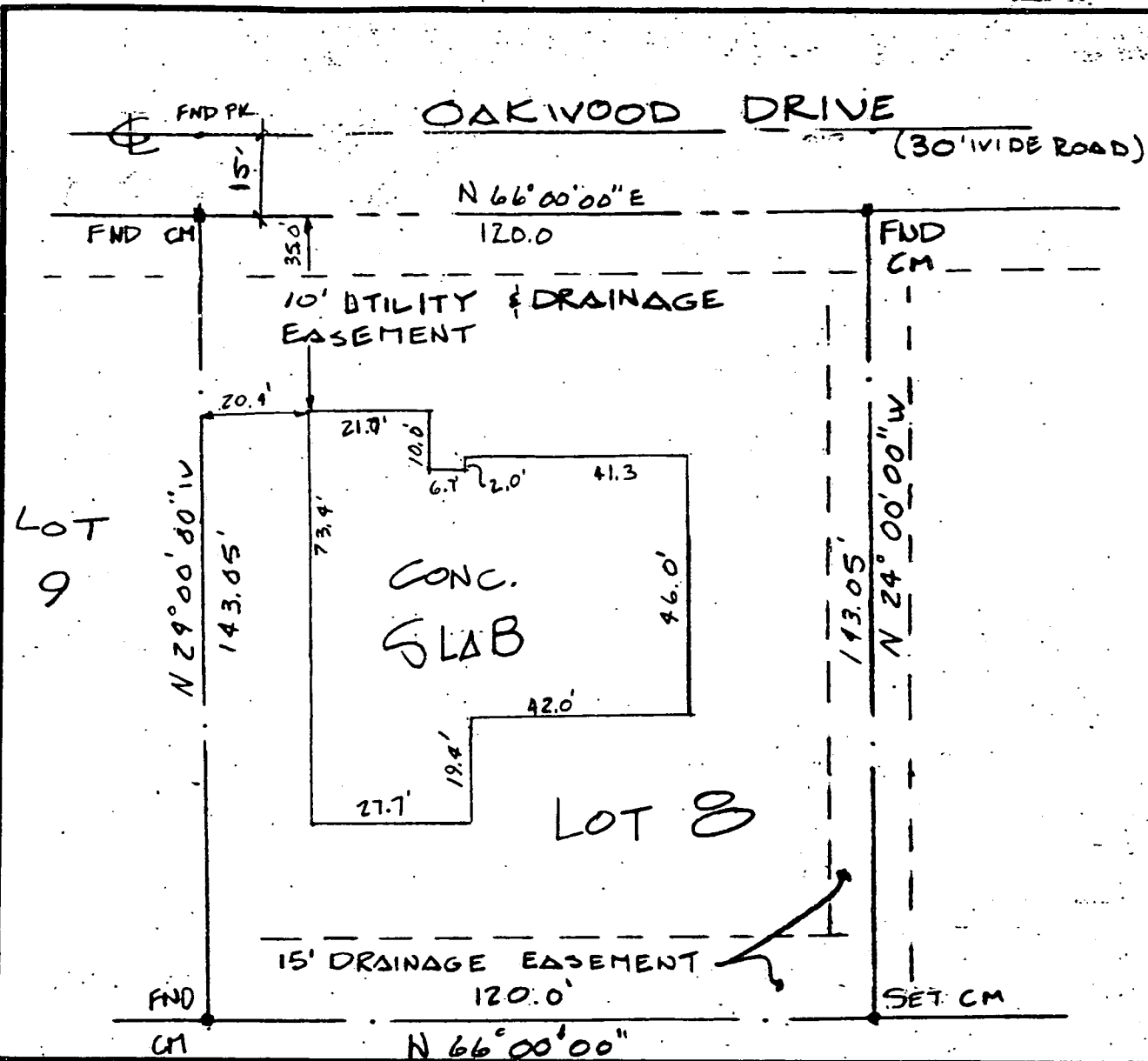
OWNER

By

*Bradford B. Baker*

Agent \_\_\_\_\_

1373

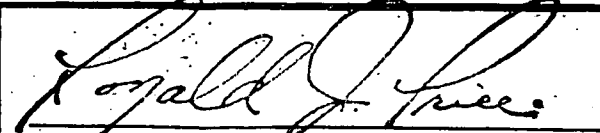


# BOUNDARY SURVEY

DESCRIPTION

BEING KNOWN AS LOT 8  
"OAKWOOD S/D" SEAVALL'S POINT  
AS RECORDED IN PLATBOOK 8  
PAGE 53 PUBLIC RECORDS OF  
MARTIN COUNTY FLORIDA

1373

<b>PRICE ENGINEERING COMPANY</b> Engineers - Planners - Surveyors 1320 PALM BEACH ROAD STUART, FLORIDA 33494	PREPARED FOR <b>EAST OCEAN CONST.</b>	 <b>RONALD J. PRICE</b>
DRAWN: <u>JB</u> SCALE: <u>1"=30'</u> DATE: <u>2.1.81</u>	ISSUED BY _____ DATE _____	FLORIDA LICENSE NO. <u>2683</u>

JB REV 8.20.81 TIE IN SURVEY

W.O. NO. 1432 PROJECT NO. 81291

405544

# Warranty Deed

(STATUTORY FORM - SECTION 689.02 F.S.)

This instrument was prepared by:

Name JAMES F. LITTMAN

Address P. O. Box 1197

Stuart, Florida 33495

On this 24 day of March 1981, Between

**ROBERT H. PARE, individually and as Trustee,**

of the County of **Martin**, State of **Florida**, grantor, and

**WILLIAM L. MCGEE, as Trustee**

whose post office address is **585 N. E. Ocean Blvd., Stuart**

of the County of **Martin**, State of **Florida**, grantee,

That said grantor, for and in consideration of the sum of \_\_\_\_\_

**TEN AND NO/100** (\$10.00) Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Martin** County, Florida, to-wit:

The North one-half of Lot 4 of the Subdivision of Lot 1 of Miles or Hanson Grant, according to map of Commissioner's Subdivision as recorded in Plat Book 8, Page 59, Dade County (now Martin County), Florida, Public Records. More particularly described as follows: Begin at the point where the Northerly line of said Lot 4 intersects the Westerly right of way line of the Sewall's Point Road; thence proceed in a Westerly direction along said Northerly line of Lot 4 a distance of 795 feet, more or less, to the Easterly right of way line of the proposed Town of Sewall's Point Road; thence proceed in a Southeasterly direction along the Easterly right of way of said proposed Town of Sewall's Point Road to a point which is 158.40 feet Southerly of, when measured along the Westerly right of way of the Sewall's Point Road, from the Northerly line of said Lot 4, thence proceed Easterly along said boundary a distance of 765 feet, more or less, to a point on the Westerly right of way line of the Sewall's Point Road; thence proceed Northerly to Point of Beginning. Also known as Lots 7, 8, 9, 10, 11 AND 12, OAKWOOD SUBDIVISION, according to the Plat thereof recorded in Plat Book 8, Page 53, Martin County, Florida, Public Records.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whatsoever.

\* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, read and delivered, in our presence:

*[Handwritten Signature]*  
*[Handwritten Signature]*

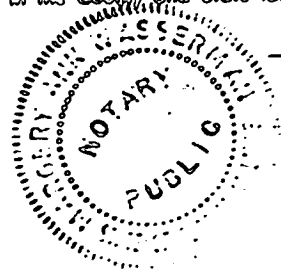
*[Handwritten Signature]* (Seal)  
**ROBERT H. PARE, individually and as Trustee** (Seal)  
\_\_\_\_\_  
\_\_\_\_\_  
(Seal)

STATE OF FLORIDA  
COUNTY OF **MARTIN**

I **MERLYN CANTY** on this day before me, an officer duly qualified to take acknowledgments, personally appeared **ROBERT H. PARE, individually and as Trustee,** to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 24 day of March 19 81.

My commission expires May 23, 1983



*[Handwritten Signature]*  
Merlyn Canty  
Notary Public

517 RE2584

Condition of Document  
Unsuitable for Microfilming

Coverage is provided in the Company indicated by an "X" below

endorsements, if any, issued to form a part thereof, complete numbered policy.

- SOUTH CAROLINA INSURANCE COMPANY
- CONSOLIDATED AMERICAN INSURANCE COMPANY
- CATAWBA INSURANCE COMPANY

Home Offices: Columbia, S. C.

**SEIBELS BRUCE GROUP**

P. O. BOX 1, COLUMBIA, SOUTH CAROLINA 29202



SINCE 1869

Policy No. **GLA 66 76 34**

**DECLARATIONS**

POLICY PERIOD:			PREVIOUS COVERAGE:		AGENCY:
FROM	TO	CO.	POLICY NO.	NO.	P.
5/15/81	5/15/82	05	GLA 64 35 68	2592	
MO. DA. YR.	MO. DA. YR.				

Item 1. Name: **Charles S. Andrews**  
 Insured: **2717 E. Oakland Park Blvd.**  
 and: **Ft. Lauderdale, Fl. 33306**  
 Address:

**GENERAL LIABILITY-AUTOMOBILE POLICY.**

Agency: **Reliable Assurance Agency, Inc.**  
**Ft. Lauderdale, Florida**

Item 2. Policy Period: 12:01 A.M. standard time at the address of the named insured, as stated herein on dates shown in policy period above.

The named insured is:  
 Individual  Partnership  Corporation  Joint Venture  Other: \_\_\_\_\_  
 Business of the named insured is: (ENTER BELOW) \_\_\_\_\_  
 Audit Period: (ENTER BELOW)  
 Annual  Semi-Annual  Quarterly  Monthly

**Contractor**

Item 3. The insurance afforded is only with respect to the following Coverage Part(s), indicated by specific premium charge(s).

Advance Premiums	Coverage Part No(s).	Coverage Part(s)	Advance Premiums	Coverage Part No(s).	Coverage Part(s)
I \$		I Comprehensive Automobile Liability Insurance	IX \$		IX Owners', Landlords' and Tenants' Liability Insurance
II \$		II Basic Automobile Liability Insurance	X \$ 93.00	L6407	X Manufacturers' and Contractors' Liability Insurance
III \$		III Automobile Medical Payments Insurance	XI \$		XI Premises Medical Payments Insurance
IV \$		IV Uninsured Motorists Insurance	XII \$		XII Owner's and Contractor's Protective Liability Insurance
V \$		V Automobile Physical Damage Insurance	XIII \$		XIII Comprehensive Personal Insurance
VI \$		VI Garage Insurance	XIV \$		XIV Farmer's Comprehensive Personal Insurance
VII \$		VII Comprehensive General Liability Insurance	XV \$		XV Storekeeper's Insurance
VIII \$		VIII Premises Medical Payments Insurance	XVI \$		XVI Physicians', Surgeons' and Dentists' Liability Insurance
\$		Identify other coverage parts and premium endorsements by form number	\$		Identify other coverage parts and premium endorsements by form number GLO019
\$ 93.00		<b>Total Advance Premium for this policy.</b>			

\* If the policy period is more than one year, and premium is to be paid annually.

\$ is payable on the effective date of this policy and the first and second anniversaries thereof.

Item 4. During the past three years no insurer has cancelled insurance, issued to the named insured, similar to that afforded hereunder, unless otherwise stated herein:

Countersigned: **5/13/81:EPS/gs**

\*Not applicable in Texas

By: *Thomas B. Garbergh*  
 Authorized Representative

JDL6300(0)-X-F  
 (1-1-73)

STATE OF FLORIDA Department of Professional Regulation  
**CONSTRUCTION INDUSTRY LICENSING BOARD**

**ANDREWS, CHARLES S JR**  
**INDIVIDUAL**  
**CERTIFIED GENERAL CONTRACTOR**  
 HAS PAID THE FEE REQUIRED BY CHAPTER 489  
 FOR THE YEAR EXPIRING **JUNE 30, 1983**

SIGNATURE: \_\_\_\_\_  
 PLEASE READ IMPORTANT INFORMATION ON REVERSE  
 SECRETARY OF PROFESSIONAL REGULATION

WALLET CARD - FOLD HERE  
**CONSTRUCTION INDUSTRY LICENSING BOARD**  
 POST OFFICE BOX 2  
 JACKSONVILLE, FL 32201

AUDIT CONTROL NO.	FILE NO.	BATCH NO.	FEE AMOUNT
	CGC010622	0714	\$90.00



VACANT

SCALE 1" = 10'

120'

VACANT

143.0'

PROPOSED RESIDENCE

PROPOSED S.T. & DRAINAGE

UTILITY FACILITY

17'±

NOTE: NO WELL, LOT HAS ACCESS TO WATER SUPPLY

WALNUT DRIVE

VACANT

*Wm J. Mathers*

MATHERS & ASSOCIATES  
ENGINEERS SURVEYORS  
STUART, FLORIDA

APPLICATION BY: CHARLES J. MATHERS  
FOR: SEPTIC TANK PERMITS  
IN: WASHINGTON COUNTY  
DATE: JUNE 15, 2011

9F	WINTER OVERHANG FACTOR (WOF)							
	FEET	N	NE	E	SE	S	SW	W
0-0.99	1.00	0.99	0.85	0.75	0.83	0.98	1.00	1.00
1-1.99	1.00	0.99	0.85	0.76	0.84	0.98	1.00	1.00
2-2.99	1.00	0.99	0.86	0.77	0.86	0.99	1.00	1.00
3-3.99	1.00	0.99	0.87	0.80	0.87	0.99	1.00	1.00
4-4.99	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00
5-5.99	1.00	0.99	0.91	0.86	0.92	1.00	1.00	1.00
6-6.99	1.00	0.99	0.92	0.90	0.94	1.00	1.00	1.00
7-7.99	1.00	1.00	0.94	0.92	0.96	1.00	1.00	1.00
8-8.99	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00
9-9.99	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00
10-10.99	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00
11 & UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

9F	SUMMER OVERHANG FACTOR (SOF)							
	FEET	N	NE	E	SE	S	SW	W
0-0.99	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.99	1.00	1.00	0.99	0.99	0.98	0.99	0.99	1.00
2-2.99	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.96
3-3.99	1.00	0.95	0.89	0.87	0.86	0.87	0.89	0.95
4-4.99	1.00	0.91	0.84	0.81	0.80	0.81	0.84	0.91
5-5.99	0.99	0.88	0.80	0.76	0.76	0.76	0.80	0.88
6-6.99	0.99	0.85	0.76	0.72	0.72	0.72	0.76	0.85
7-7.99	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83
8-8.99	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81
9-9.99	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-10.99	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78
11-11.99	0.97	0.76	0.63	0.61	0.65	0.61	0.63	0.76
12 & UP	0.97	0.76	0.62	0.59	0.64	0.59	0.62	0.76

9A	HEATING SYSTEM MULTIPLIER (HSM)									
	HEAT PUMP	COP	2.0-2.19	2.2-2.39	2.4-2.59	2.6-2.79	2.8-2.99	3.0-3.19	3.2-3.39	3.4 & UP
HSM		0.50	0.45	0.42	0.38	0.36	0.33	0.31	0.29	
SOLAR HEAT	(BACKUP SYSTEM FRACTION) X (BACKUP SYSTEM HSM)									
GAS HEAT	0.50									
OIL HEAT	0.70									
ELECTRIC STRIP HEAT	1.00									

9B	COOLING SYSTEM MULTIPLIER (CSM)											
	ELECTRIC	SEER	6.8-6.99	7.0-7.49	7.5-7.99	8.0-8.49	8.5-8.99	9.0-9.49	9.5-9.99	10.0-10.49	10.5-10.99	11.0-11.99
CSM		1.00	0.93	0.87	0.81	0.76	0.72	0.68	0.65	0.62	0.59	0.54
GAS	COP	0.40-0.44	0.45-0.49	0.50-0.54	0.55-0.59	0.60-0.64	0.65-0.69	0.70 & UP				
	CSM	1.91	1.25	1.23	1.09	1.00	0.92	0.89				

NOTE : SEER = COOLING MODE COP x 3.413 = ARI RATED COOLING OUTPUT IN BTUH ÷ TOTAL WATTS CONSUMED

9C	HOT WATER CREDIT POINTS (HWP)	
	ELECTRIC	RESISTANCE HEATERS
GAS		7.0
SOLAR	MINIMUM CERTIFIED DCR OF 6,000 BTU PER BEDROOM AND 15 GALLON STORAGE PER BEDROOM	19.6
	MINIMUM CERTIFIED DCR OF 9,000 BTU PER BEDROOM AND 20 GALLON STORAGE PER BEDROOM	22.8
	MINIMUM CERTIFIED DCR OF 12,000 BTU PER BEDROOM AND 27 GALLON STORAGE PER BEDROOM	24.5
A/C HEAT RECOVERY UNIT	MINIMUM CERTIFIED RATING OF 1500 BTUH/TON MINIMUM HOT WATER STORAGE TANK 40 GALLONS	11.3
	MINIMUM CERTIFIED RATING OF 2500 BTUH/TON MINIMUM HOT WATER STORAGE TANK 40 GALLONS	17.9

NOTE: DAILY COLLECTION RATE (DCR) IS MEASURED AT 122°F USING FBEC STANDARD FLORIDA SOLAR DAY

<b>SLAB ON GRADE PERIMETER</b>	EDGE INSULATION	PERIMETER	WPM	GWP
	R0 - 2.9	262	28.3	7414.6
	R3 - 5.9		20.4	
	R6 & UP		12.4	

**GLASS**  
DO NOT APPLY INTERIOR SHADING

OR	AREA	SINGLE	DOUBLE	WOF	GWP
N	93.6	55.4	38.5	1.00	5185.44
NE		55.4	38.5		
E	108.6	55.4	38.5	.86	5174.13
SE		55.4	38.5		
S	89.2	55.4	38.5	1.00	4941.68
SW		55.4	38.5		
W	68.6	55.4	38.5	1.00	3800.44
NW		55.4	38.5		
H		22.6	6.8		
S	28.4	55.4		.86	1353.08
E	63.6	55.4		1.00	3523.44

H = HORIZONTAL GLASS (SKYLIGHTS)

**GLASS**  
DO NOT APPLY INTERIOR SHADING

OR	AREA	SINGLE		DOUBLE		SOF	GSP
		CLR	TIN	CLR	TIN		
N	93.6	204	176	163	139	1.00	16473.6
NE		309	264	258	218		
E	108.6	425	360	362	304	.95	37111.2
SE		418	354	355	298		
S	89.2	346	294	287	242	.64	16783.87
SW		418	354	355	298		
W	68.6	425	360	362	304	.95	23461.2
NW		309	264	258	218		
H		720	605	627	524		
S	28.4		244			.92	7681.63
E	63.6		360			.62	14195.52

FOR TINTED GLASS SL ≠ 0.83 SEE SEC. 902.2d

TOTAL GROSS WINTER POINTS 49997.33 TOTAL GROSS SUMMER POINTS 166474.54

<b>DUCT INSULATION MULTIPLIER</b>	1" FIBERGLASS	49997.3	1.18	57446.92	<b>DUCT INSULATION MULTIPLIER</b>	1" FIBERGLASS	166474.54	1.18	191445.72
	1.5" FIBERGLASS		1.12			1.5" FIBERGLASS		1.12	
	DUCT IN COND. SP.		1.00			DUCT IN COND. SP.		1.00	

HSM FROM TABLE 9A  $57446.92 \times 1.00 = 57446.92$  CSM FROM TABLE 9B  $191445.72 \times .87 = 166557.77$

FLOOR AREA (DIVIDE)  $57446.92 \div 2626 = 21.89$  FLOOR AREA (DIVIDE)  $166557.77 \div 2626 = 63.42$

WINTER POINTS (WP) 21.89 SUMMER POINTS (SP) 63.42

FORM 900 AND 901 - 789					ZONES - 789	
WINTER POINTS	SUMMER POINTS	HOT WATER POINTS	CREDIT POINTS	PENALTY POINTS	=	
21.89	+ 63.42	- -	- 4	+ 3	= 84.31 EPI	
FEWER TOTAL POINTS ARE ENCOURAGE FOR MAXIMUM ENERGY SAVINGS						



WINTER				GROSS WINTER POINTS	SUMMER				GROSS SUMMER POINTS
COMPONENT	AREA	X	WPM	=	COMPONENT	AREA	X	SPM	=

WALLS	CONCRETE	R3-3.9	1297.6	6.2	8045.12	WALLS	CONCRETE	R3-3.9	1297.6	16.6	21540.16	
		R4-5.9		5.0				CONCRETE	R4-5.9		15.0	
		R6 & UP		4.4					CONCRETE	R6 & UP		13.9
	FRAME OR BRICK OR VENEER	R11-18.9	290.4	2.5	726		FRAME OR BRICK OR VENEER			R11-18.9	290.4	13.9
		R19-25.9		1.5				FRAME OR BRICK OR VENEER		R19-25.9		8.6
		R26 & UP		1.1					FRAME OR BRICK OR VENEER	R26 & UP		6.5
	COMMON			5.5			COMMON				7.6	

DOORS	WOOD OR METAL	56	86.5	4844	DOORS	WOOD OR METAL	56	55.4	3102.4
	INSULATED		84.0			INSULATED		22.2	
	STORM DOOR		44.6			STORM DOOR		44.3	
	COMMON			43.3			COMMON		

CEILING	UNDER ATTIC	R11-18.9		2.9		CEILING	UNDER ATTIC	R11-18.9		13.3							
		R19-21.9	2626	1.9	4989.4			UNDER ATTIC	R19-21.9	2626	8.4	22058.4					
		R22-29.9		1.7					UNDER ATTIC	R22-29.9		7.6					
		R30 & UP		1.5						UNDER ATTIC	R30 & UP		5.5				
	SINGLE ASSEMBLY (NO ATTIC)	R6-7.9		5.4			SINGLE ASSEMBLY (NO ATTIC)				R6-7.9		22.6				
		R8-9.9		4.0				SINGLE ASSEMBLY (NO ATTIC)			R8-9.9		17.3				
		R10-11.9		3.5					SINGLE ASSEMBLY (NO ATTIC)		R10-11.9		14.6				
		R12-18.9		2.5						SINGLE ASSEMBLY (NO ATTIC)	R12-18.9		10.6				
		R19 & UP		1.9							SINGLE ASSEMBLY (NO ATTIC)	R19 & UP		8.4			
		COMMON			3.4								COMMON			4.1	

FLOOR OVER UNCONDITIONED SPACE DO NOT ADD CARPETS	WOOD	R0-6.9		5.8		FLOOR OVER UNCONDITIONED SPACE DO NOT ADD CARPETS	WOOD	R0-6.9		6.6					
		R7-10.9		2.4				WOOD	R7-10.9		2.9				
		R11-18.9		2.1					WOOD	R11-18.9		2.3			
		R19 & UP		1.4						WOOD	R19 & UP		1.5		
	CONCRETE	R0-2.9		6.8			CONCRETE				R0-2.9		8.2		
		R3-5.9		4.3				CONCRETE			R3-5.9		5.7		
		R6-10.9		3.4					CONCRETE		R6-10.9		3.6		
		R11-18.9		2.3						CONCRETE	R11-18.9		2.9		
		R19 & UP		1.5							CONCRETE	R19 & UP		1.9	
		COMMON			3.4								COMMON		

# Price Engineering Company

A Professional Corporation

*Engineers-Environmental Consultants*

*Planners-Surveyors*



Principal

Ronald J. Price, P.E. & L.S.

Associates

Arthur W. Hood, L.S. & P.P.

Paul C. Welch, P.E.

Engineering

Municipal  
Drainage  
Sewerage  
Water  
HVAC  
Mechanical  
Electrical  
Highways  
Bridges  
Solar  
Subdivisions

Surveying

Topographic  
Boundary  
Construction Layout  
Riparian Surveys

Environmental

CAFRA Reports  
Riparian Applications  
Stream Encroachment  
Wetlands Applications  
Pinelands Exemptions  
Bulkhead Applications

Planning

Master Plans  
Urban Renewal  
Land Planning  
Recreation Planning

Reply To: P.O. Box 2116  
Stuart, Fl. 33495  
305-287-5628

August 25, 1981

East Ocean Construction  
1045 E.Ocean Blvd.  
Stuart, Fl. 33495

Dear Gentlemen:

I hereby certify that these are existing elevations as required for additional protection under the National Flood Insurance for Lot 8, Oakwood S/D. First level floor has been determined at 8.09'

Sincerely,

Ronald J. Price  
R.L.S. 2683

TESTING LAB OF THE PALM BEACHES, INC.

P. O. BOX 211  
421 SOUTH H STREET  
LAKE WORTH, FLORIDA

585-7515

ASPHALT . . . CONCRETE . . . MATERIALS

REPORT OF FIELD DENSITY TESTS: Report #1

PROJECT 3rd Oakwood Drive - Stuart JOB NO. 81/304TL  
 CLIENT Charles S. Andrews  
 IDENTIFICATION MARKS \_\_\_\_\_  
 NUMBER OF SAMPLES 2 QUANTITY REPRESENTED --- SOURCE In Place Material  
 SAMPLED BY TM DATE 7/23/81 TESTED BY TM DATE 7/23/81  
 INTENDED USE Pad fill  
 REPORTED TO Client  
 SPECIFICATIONS GOVERNING \_\_\_\_\_

DATE \_\_\_\_\_

LOCATION	DEPTH	DENSITY	100% MAX. DENSITY	7 MAX. DENSITY
Northwest corner of Pad #1.	2'-3' below finished grade	114.4	114.0 *	100.3
Southeast corner of Pad #1.	2'-3' below finished grade	117.1	114.0	102.7

1373

\*AASHTO - T-180 Modified Proctor

NOTE:  
Corrected Copy

REMARKS: The tests shown hereon are representative of and apply only to the exact location as shown above.

RESPECTFULLY SUBMITTED.

TESTING LAB OF THE PALM BEACHES, INC.

BY John Adair

SOILS

## TESTING LAB OF THE PALM BEACHES, INC.

P. O. BOX 211  
421 SOUTH H STREET  
LAKE WORTH, FLORIDA

585-7515

## ASPHALT . . . CONCRETE . . . MATERIALS

## REPORT OF FIELD DENSITY TESTS: Report #2

PROJECT 3rd Oakwood Drive - Stuart JOB NO. 81/304TL  
 CLIENT Charles S. Andrews  
 IDENTIFICATION MARKS \_\_\_\_\_  
 NUMBER OF SAMPLES 4 QUANTITY REPRESENTED ---- SOURCE In Place Material  
 SAMPLED BY TM DATE 7/28/81 TESTED BY TM DATE 7/28/81  
 INTENDED USE Pad fill  
 REPORTED TO Client  
 SPECIFICATIONS GOVERNING \_\_\_\_\_

DATE \_\_\_\_\_

LOCATION	DEPTH	DENSITY	100% MAX. DENSITY	% MAX. DENSITY
Northwest corner of Pad #1.	0'-1' below finished grade	115.3	114.0 *	101.1
Southeast corner of Pad #1.	0'-1' below finished grade	115.8	114.0	101.4
Northwest corner of Pad #1.	1'-2' below finished grade	114.0	114.0	100.0
Southeast corner of Pad #1.	1'-2' below finished grade	112.0	114.0	98.2

\*AASHTO- T-180 Modified Proctor

## NOTE:

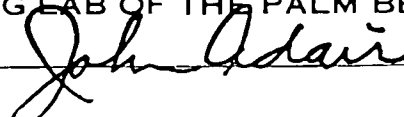
Corrected Copy

REMARKS: The tests shown hereon are representative of and apply only to the exact location as shown above.

RESPECTFULLY SUBMITTED.

TESTING LAB OF THE PALM BEACHES, INC.

BY







TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 2/18/82

This is to request that a Certificate of Approval for Occupancy be issued to Wm. Mc Gee  
For property built under Permit No. 1373 Dated 7/27/81 when completed in  
conformance with the Approved Plans.

Signed \_\_\_\_\_

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	8/3/81	
Rough plumbing	8/3/81	
Slab	8/5/81	
Perimeter beam	8/31/81	S.S.
Close-in, roof and rough electric	11/6/81	
Final Plumbing	2/18/82	
Final Electric	2/18/82	
Insulation	11/10/81	
Final Inspection for Issuance of Certificate for Occupancy.		

Approved by Building Inspector \_\_\_\_\_ date \_\_\_\_\_

Approved by Building Commissioner \_\_\_\_\_ date \_\_\_\_\_

Utilities notified 2/19/82 \_\_\_\_\_ date \_\_\_\_\_

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

**1413**

**POOL**

Permit No. 1413

Date 10-5-81

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner EAST OCEAN CONST. INC. Present address 1045 E. OCEAN BLVD. STUART

Phone 286-4933

Contractor POOLS BY GREG Address 50 N.E. DIXIE HIGHWAY STUART

Phone 692-1419

Where licensed MARTIN CO. License number 000348

Electrical contractor ST. LUCIE ELECTRIC License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: SWIMMING POOL

# 3 OAKWOOD DRIVE, SEWALLS POINT  
State the street address at which the proposed structure will be built:

Subdivision OAK WOOD Lot No. 8

Contract price \$ 11,117.60 Cost of Permit \$ 66.00

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor x Greg Schroeder

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner x Charles J. ...

TOWN RECORD

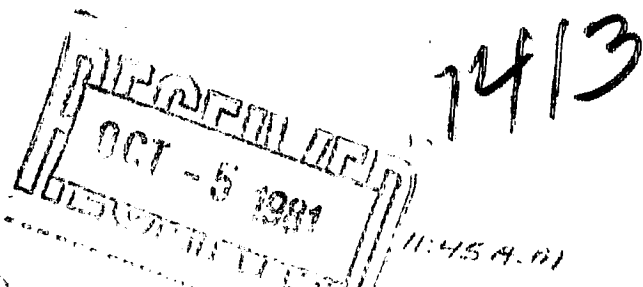
Date submitted

Approved: [Signature] Building Inspector Date 10/12/81

Approved: [Signature] Commissioner Date 10/12/81

Final Approval given: \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued \_\_\_\_\_ Date \_\_\_\_\_



TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 11/19/81

This is to request that a Certificate of Approval for Occupancy be issued to Coast Ocean Court in  
For property built under Permit No. 1413 Dated 10/12/81 when completed in  
conformance with the Approved Plans.

\_\_\_\_\_  
Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings		
Rough plumbing		
Slab		
Perimeter beam		<u>Patric Steel 11/6/81</u>
Close-in, roof and rough electric		<u>Steel &amp; Grounding 10/29/81</u>
Final Plumbing		
Final Electric		

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector J. Mazzurca date 11/19/81

Approved by Building Commissioner \_\_\_\_\_ date \_\_\_\_\_

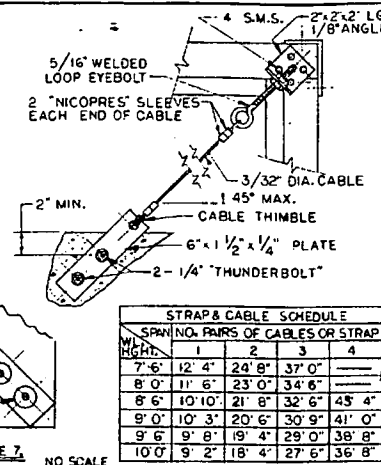
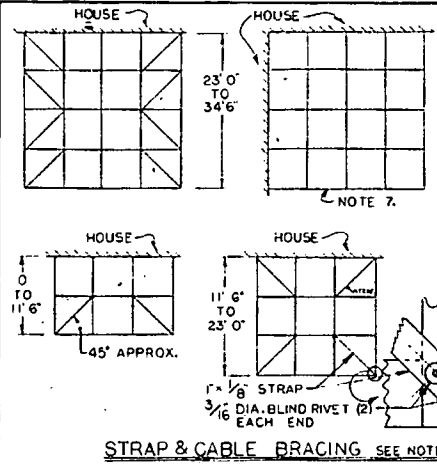
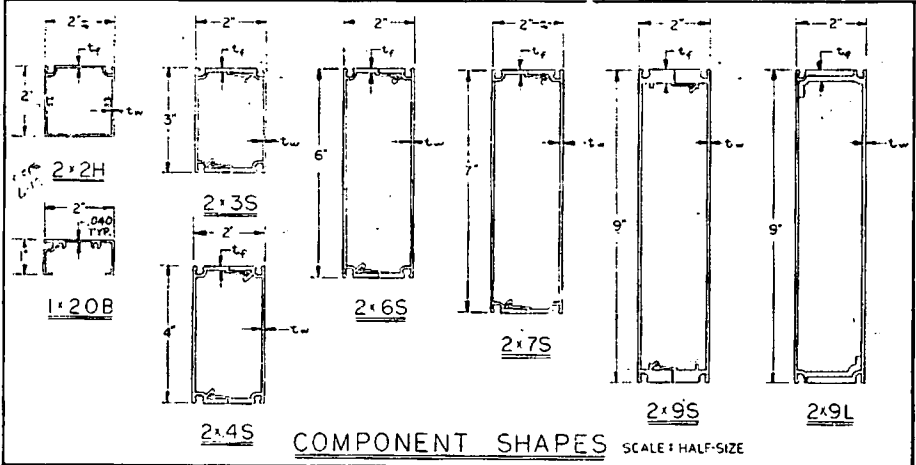
Utilities notified Neil Reg \_\_\_\_\_ date \_\_\_\_\_

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

**1463**

**SCREEN ENCLOSURE**



**STRAP & CABLE SCHEDULE**

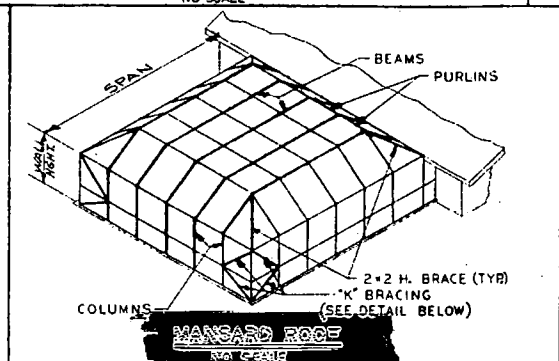
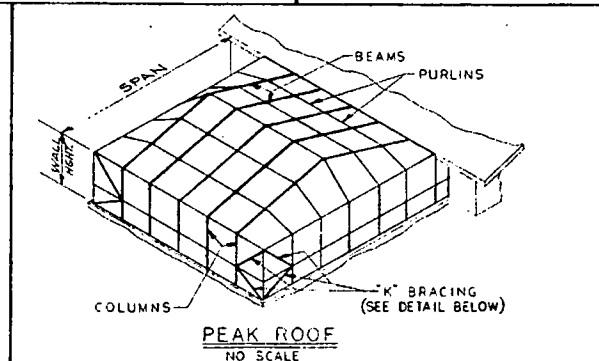
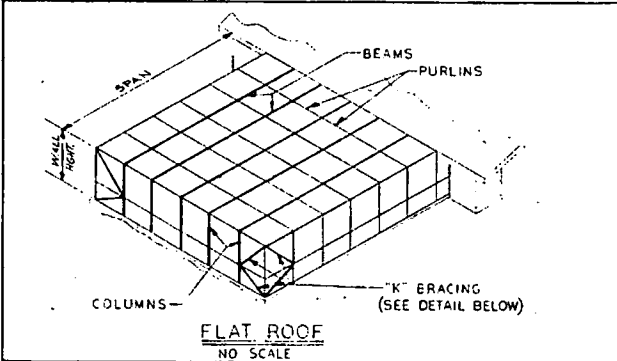
SPAN NO.	PAIRS OF CABLES OR STRAP			
	1	2	3	4
7'-6"	12'-4"	24'-8"	37'-0"	
8'-0"	11'-6"	23'-0"	34'-6"	
8'-6"	10'-10"	21'-8"	32'-6"	43'-4"
9'-0"	10'-3"	20'-6"	30'-9"	41'-0"
9'-6"	9'-8"	19'-4"	29'-0"	38'-8"
10'-0"	9'-2"	18'-4"	27'-6"	36'-8"

**BEAM & COLUMN SCHEDULE**

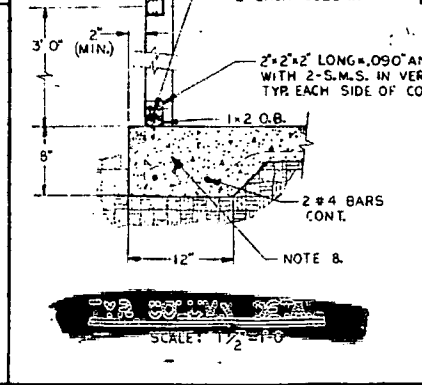
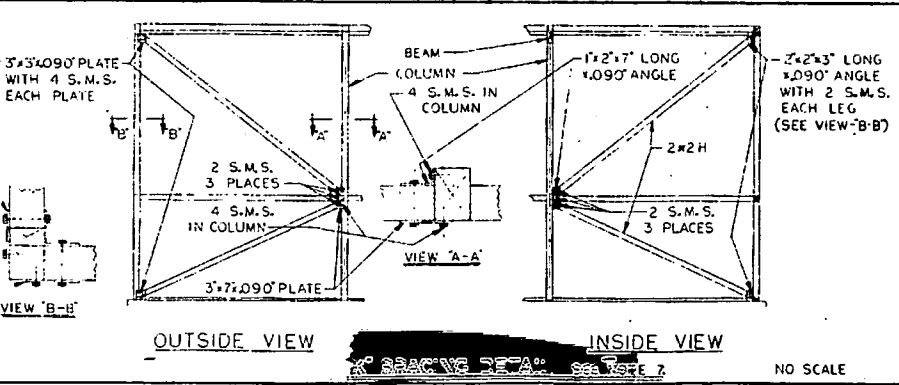
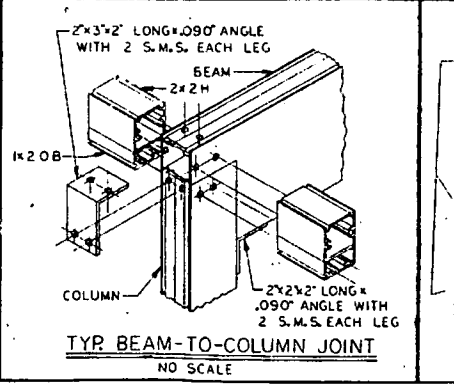
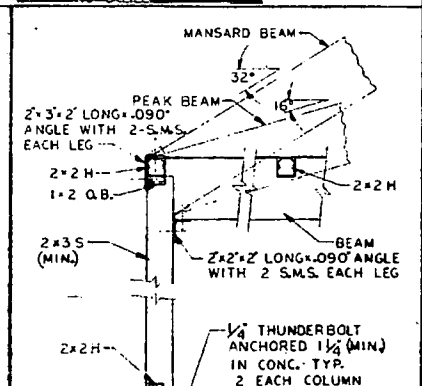
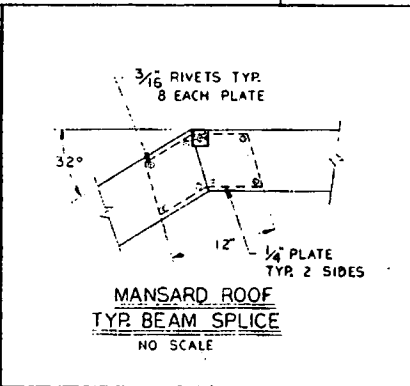
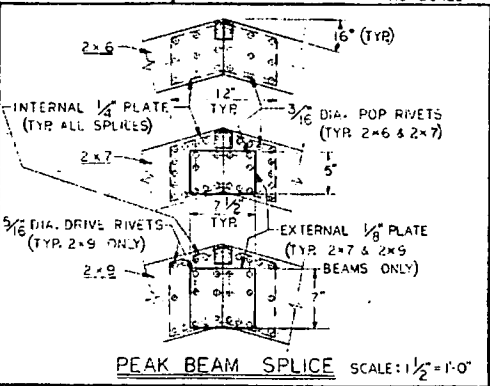
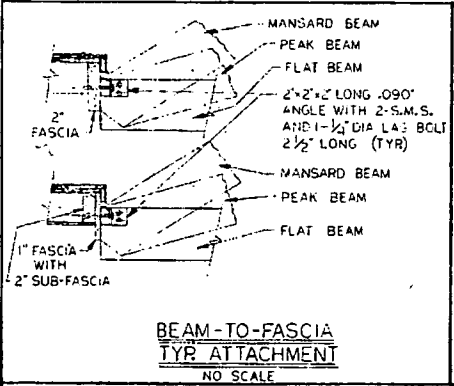
SIZE	DIMENS.	PANEL WIDTH vs. BEAM SPAN										
		t <sub>f</sub>	t <sub>w</sub>	8'-0"	7'-6"	7'-0"	6'-6"	6'-0"	5'-6"	5'-0"	4'-6"	4'-0"
2X2H	.050 .050	8'-0"	7'-6"	7'-0"	6'-6"	6'-0"	5'-6"	5'-0"	4'-6"	4'-0"	3'-6"	
2X3S	.050 .050	10'-0"	10'-3"	10'-5"	10'-8"	11'-0"	11'-4"	11'-8"	12'-1"	12'-6"	13'-1"	
2X4S	.055 .055	12'-9"	13'-2"	13'-6"	13'-9"	14'-2"	14'-7"	15'-0"	15'-6"	16'-2"	16'-10"	
2X6S	.130 .058	20'-0"	20'-5"	20'-10"	21'-4"	21'-11"	22'-6"	23'-3"	24'-0"	24'-11"	26'-0"	
2X9S	.400 .077	33'-4"	34'-0"	34'-9"	35'-7"	36'-6"	37'-6"	38'-7"	39'-10"	41'-3"	43'-0"	
2X9L	.320 .077	33'-4"	34'-0"	34'-9"	35'-7"	36'-6"	37'-6"	38'-7"	39'-10"	41'-3"	43'-0"	

SIZE	DIMENS.	PANEL WIDTH vs. COLUMN HEIGHT										
		t <sub>f</sub>	t <sub>w</sub>	4'-11"	5'-2"	5'-4"	5'-6"	5'-9"	6'-0"	6'-3"	6'-7"	6'-11"
2X2H	.050 .050	4'-11" <td>5'-2" <td>5'-4" <td>5'-6" <td>5'-9" <td>6'-0" <td>6'-3" <td>6'-7" <td>6'-11" <td>7'-2"</td> <td></td> </td></td></td></td></td></td></td></td>	5'-2" <td>5'-4" <td>5'-6" <td>5'-9" <td>6'-0" <td>6'-3" <td>6'-7" <td>6'-11" <td>7'-2"</td> <td></td> </td></td></td></td></td></td></td>	5'-4" <td>5'-6" <td>5'-9" <td>6'-0" <td>6'-3" <td>6'-7" <td>6'-11" <td>7'-2"</td> <td></td> </td></td></td></td></td></td>	5'-6" <td>5'-9" <td>6'-0" <td>6'-3" <td>6'-7" <td>6'-11" <td>7'-2"</td> <td></td> </td></td></td></td></td>	5'-9" <td>6'-0" <td>6'-3" <td>6'-7" <td>6'-11" <td>7'-2"</td> <td></td> </td></td></td></td>	6'-0" <td>6'-3" <td>6'-7" <td>6'-11" <td>7'-2"</td> <td></td> </td></td></td>	6'-3" <td>6'-7" <td>6'-11" <td>7'-2"</td> <td></td> </td></td>	6'-7" <td>6'-11" <td>7'-2"</td> <td></td> </td>	6'-11" <td>7'-2"</td> <td></td>	7'-2"	
2X4S	.055 .055	9'-5"	9'-9"	10'-1"	10'-5"	10'-11"	11'-4"	11'-11"	12'-7"	13'-3"	13'-10"	
2X6S	.130 .058	14'-11"	15'-5"	16'-0"	16'-7"	17'-3"	18'-0"	18'-11"	19'-10"	20'-8"	21'-7"	
2X7S	.153 .071	19'-6"	20'-1"	20'-10"	21'-7"	22'-6"	23'-4"	24'-1"	24'-11"	25'-11"	27'-2"	



- GENERAL NOTES: SEE REVISED COLUMN TECH SHEET**
- DESIGN LIVE LOAD: 10 PSF  
NET WALL LIVE LOAD IN OUT = 10 x L3 SHAPE FACTOR = 13 PSF  
NET ROOF LIVE LOAD UP/DOWN = 10 x L7 SHAPE FACTOR = 7 PSF
  - THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE "ALUMINUM CONSTRUCTION MANUAL, SPECIFICATIONS FOR ALUMINUM STRUCTURES", SECOND EDITION, NOV. 1971.
  - DESIGN COMPLIES WITH REQMTS. OF 1979 STANDARD BLDG CODE AS AMENDED BY THE PALM BEACH COUNTYWIDE ADDENDA RECOMMENDED BY THE BUILDING CODE ADVISORY BOARD OF PALM BEACH COUNTY, FLA.
  - MATERIALS (UNLESS OTHERWISE SPECIFIED)  
A. EXTRUSIONS—ALUMINUM ALLOY 6063-T6 & 3003-H16  
B. FASTENERS—ALUMINUM ALLOYS 2024-T4 & 7075-T6, CAD. PLATED STEEL, HOT DIPPED GALVANIZED STEEL OR 300-SERIES STAINLESS STEEL  
C. SCREEN CLOTH—WOVEN FIBERGLASS, 60% OPEN OR GREATER  
D. CABLE—1/8", 5/8", 3/32" DIA., STRANDED.
  - BOLT & SCREW FASTENINGS THRU AN OPEN EXTRUSION INTO FASCIA, SLAB OR MASONRY WALL MUST HAVE 3/4" HEAD DIA. OR USE A 3/4" DIA. WASHER.
  - 1 1/2" O.B. FRAME MEMBERS TO BE ATTACHED WITH APPROPRIATE TYPE FASTENERS ON 2' 0" CENTERS MAX.
  - WIND BRACING IS NOT REQUIRED WHEN 2 SIDES OF ENCLOSURE ARE FULLY SUPPORTED BY HOUSE.
  - SLAB AND FOOTINGS BY OTHERS UNLESS OTHERWISE SPECIFIED.
  - ELECTRICAL GROUND, WHEN REQUIRED, TO BE INSTALLED BY OTHERS.
  - 2x9L SELF-MATING BEAM HALVES TO BE FASTENED TOGETHER WITH #8 S.M.S. ON 2' 0" CENTERS TOP AND BOTTOM
  - PRINTS ARE VALID FOR BUILDING DEPARTMENT PURPOSES ONLY WHEN SIGNED BY THE ENGINEER UNDER HIS SEAL.
  - STRAP & CABLE BRACING OR "K" BRACING TO BE USED ONLY WHERE APPROVED BY THE BUILDING DEPT. HAVING JURISDICTION.



**APPROVALS:**

Screen enclosure is designed in compliance with the South Florida Building Code

BUILDING CODE ADVISORY BOARD OF PALM BEACH COUNTY, FLORIDA RECOMMENDED FOR APPROVAL

Date: 1-7-77  
Control No. [Signature]  
By: [Signature] Chairman

SEAL

**METAL PRODUCTS OF PALM BEACH, INC.**

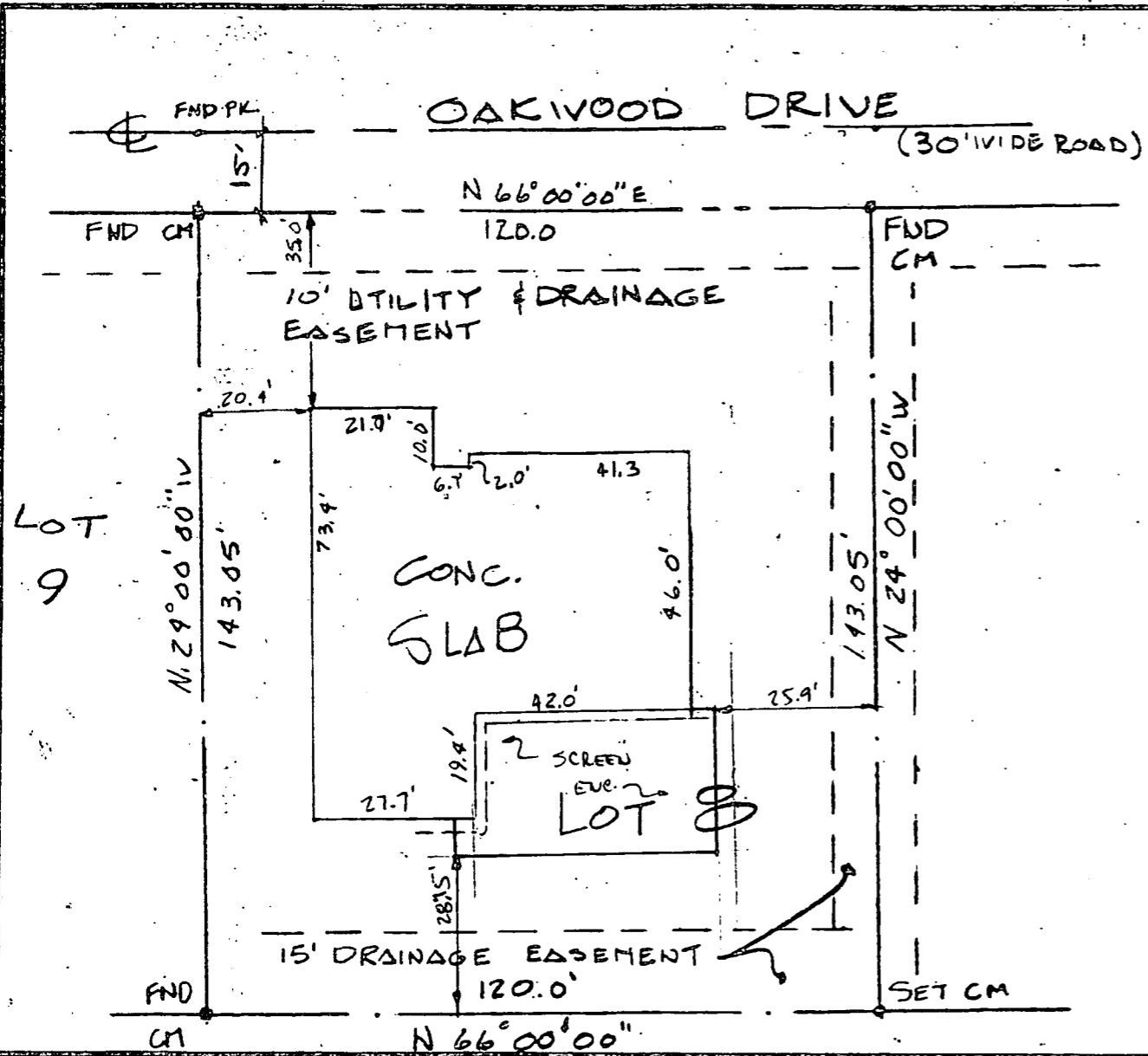
NOTED  
DATE: 1-21-81  
D.A. DOWDY, P.E.  
FLA. REG. NO. 22763

STANDARD SCREEN ENCLOSURE

1315 NEPTUNE DR.  
BOYNTON BEACH, FLA.

810121

FEB 10 1982



# BOUNDARY SURVEY

## DESCRIPTION

BEING KNOWN AS LOT 8  
 "OAKWOOD S/D" SEAVALL'S POINT  
 AS RECORDED IN PLATBOOK 8  
 PAGE 53 PUBLIC RECORDS OF  
 MARTIN COUNTY FLORIDA

1463

**PRICE ENGINEERING COMPANY**  
 Engineers - Planners - Surveyors  
 1320 PALM BEACH ROAD  
 STUART, FLORIDA 33494

PREPARED FOR  
**EAST OCEAN CONST.**

*Ronald J. Price*  
**RONALD J. PRICE**

DRAWN: JB SCALE: 1"=30' DATE: 2-1-81

ISSUED BY \_\_\_\_\_ DATE \_\_\_\_\_

FLORIDA LICENSE NO. 2683

JB REV 8-20-81 TIE IN SURVEY

W.O. NO. 1432 PROJECT NO. 81291



TOWN OF SEWALL'S POINT FLORIDA

1463  
Date \_\_\_\_\_

Permit No. \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner EAST OCEAN CONST Present address \_\_\_\_\_

Phone \_\_\_\_\_

Contractor METAL PRODUCTS of P.B. Address 1315 NEPTUNE DR

Phone 732-8118 - 286-5359

Where licensed STATE Florida License number CBCA 09591

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: INSTALLED POOL SCREEN ENC

State the street address at which the proposed structure will be built:

3 OAKWOOD DRIVE

Subdivision OAKWOOD Lot No. 8

Contract price \$ 2600.00 Cost of Permit \$ 130.00

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

Approved: \_\_\_\_\_ TOWN RECORD Date submitted \_\_\_\_\_  
Building Inspector [Signature] 3/8/82  
Date

Approved: \_\_\_\_\_  
Commissioner [Signature] 3/10/82  
Date

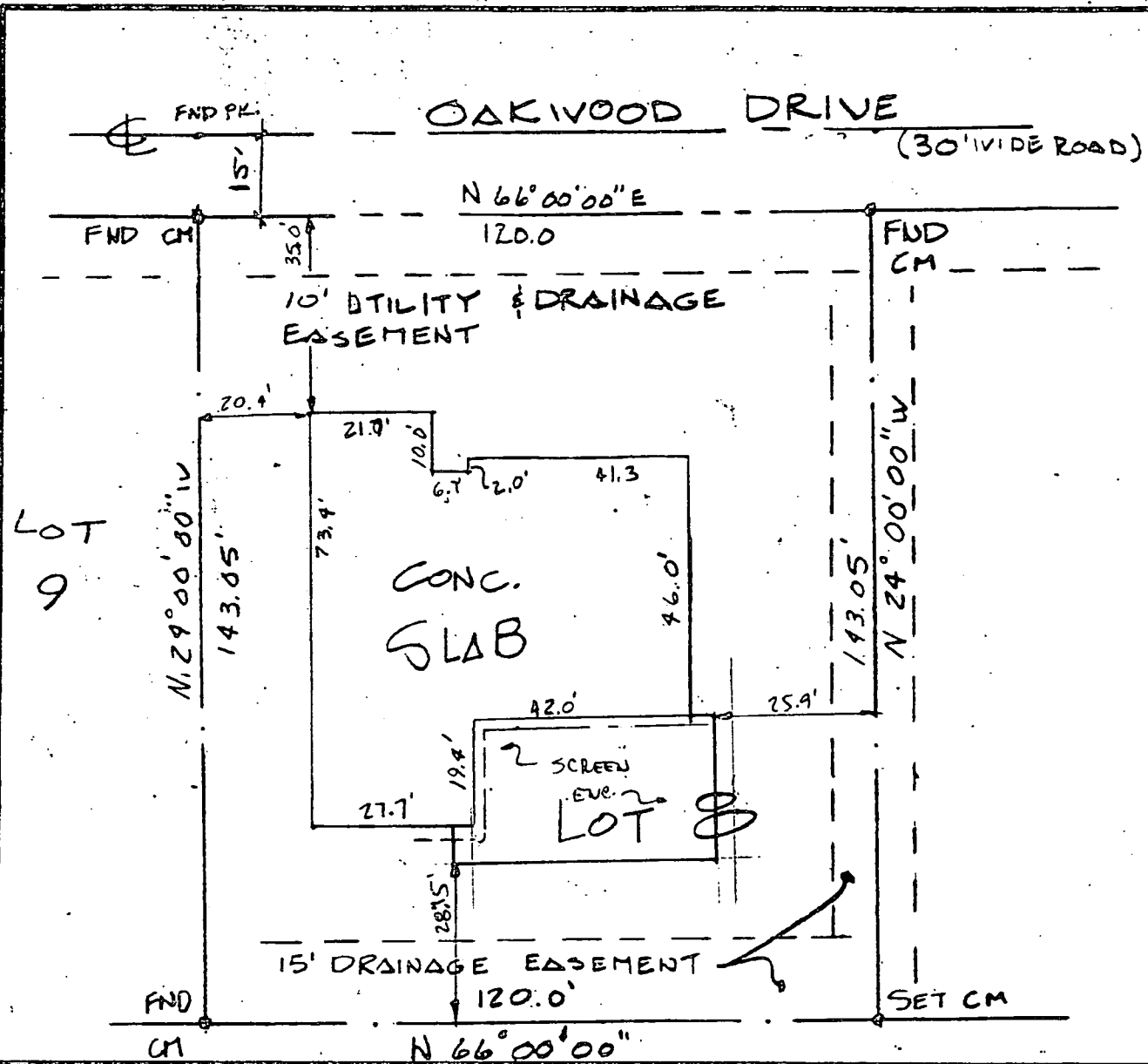
Final Approval given: 4/7/82  
Date

Certificate of Occupancy issued None Required  
Date

1463



FEB 10 1982



# BOUNDARY SURVEY

## DESCRIPTION

BEING KNOWN AS LOT 8  
 "OAKWOOD S/D" SEAVALL'S POINT  
 AS RECORDED IN PLATBOOK 8  
 PAGE 53 PUBLIC RECORDS OF  
 MARTIN COUNTY FLORIDA

1463

**PRICE ENGINEERING COMPANY**  
 Engineers - Planners - Surveyors  
 1320 PALM BEACH ROAD  
 STUART, FLORIDA 33494

PREPARED FOR  
**EAST OCEAN CONST.**

*Ronald J. Price*  
**RONALD J. PRICE**

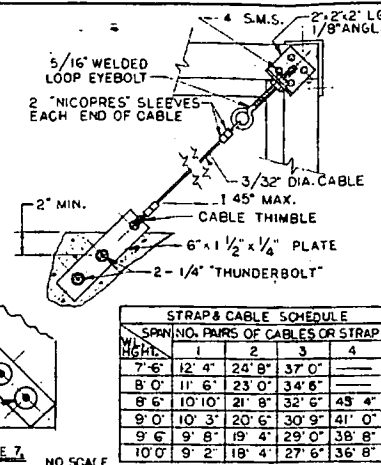
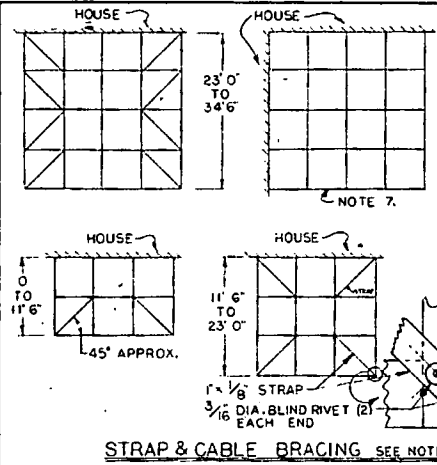
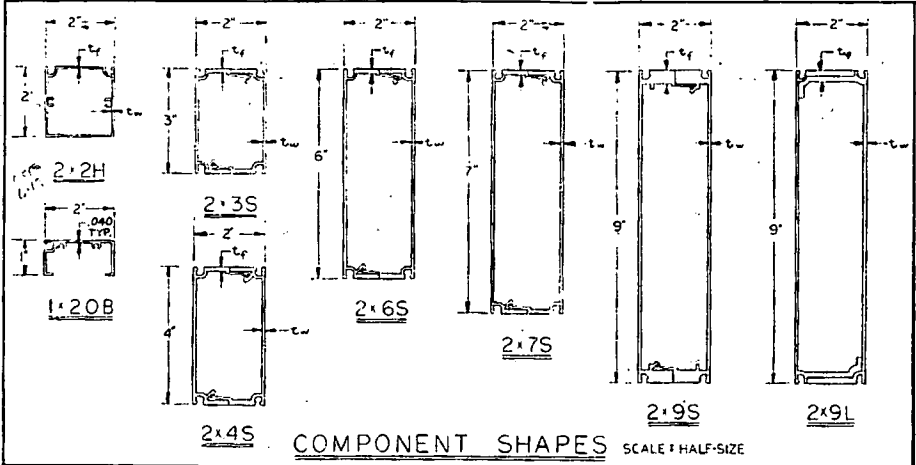
DRAWN: JB SCALE: 1"=30' DATE: 2-1-81

ISSUED BY \_\_\_\_\_ DATE \_\_\_\_\_

FLORIDA LICENSE NO. 2683

JB REV 8-20-81 TIE IN SURVEY

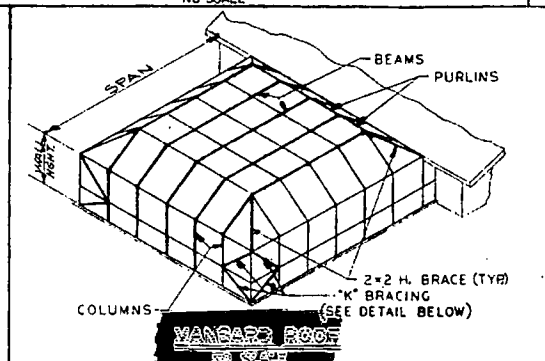
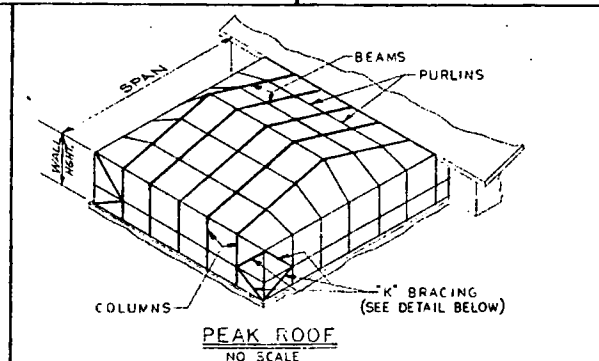
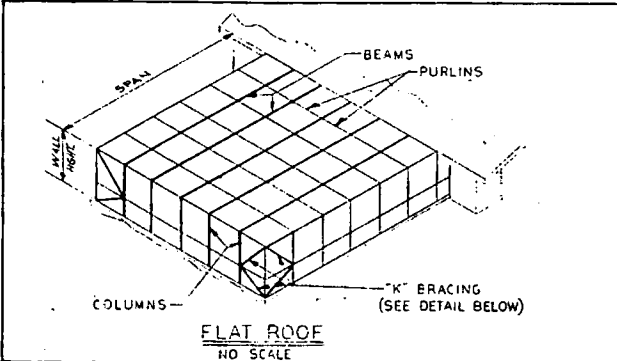
W.O. NO. 1432 PROJECT NO. 81291



SPRN. NO.	PAIRS OF CABLES OR STRAP			
	1	2	3	4
7'-6"	12'-4"	24'-8"	37'-0"	
8'-0"	11'-6"	23'-0"	34'-8"	
8'-6"	10'-10"	21'-8"	32'-6"	45'-4"
9'-0"	10'-3"	20'-6"	30'-9"	41'-0"
9'-6"	9'-8"	19'-4"	29'-0"	38'-8"
10'-0"	9'-2"	18'-4"	27'-6"	36'-8"

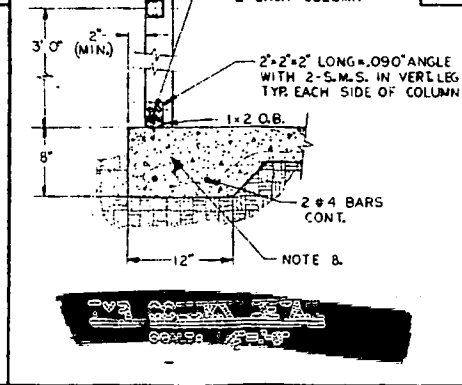
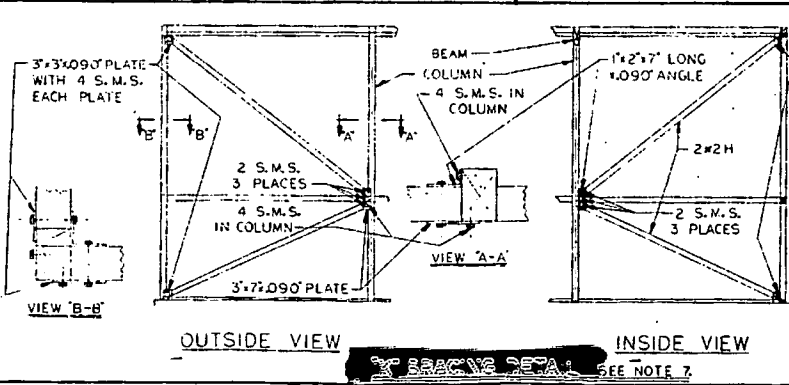
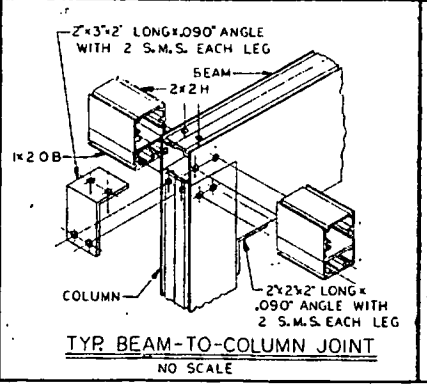
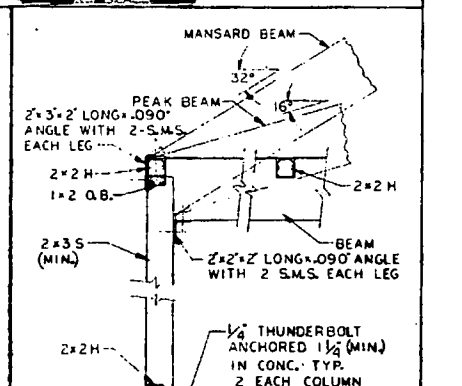
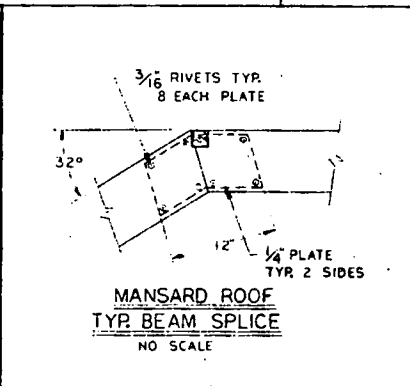
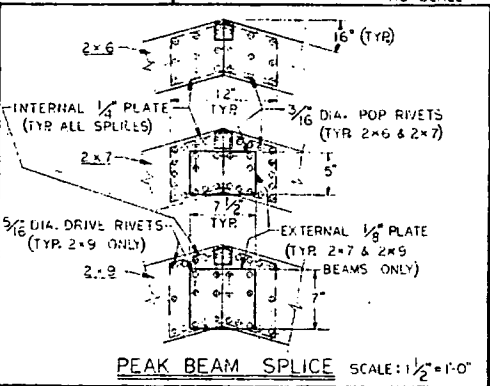
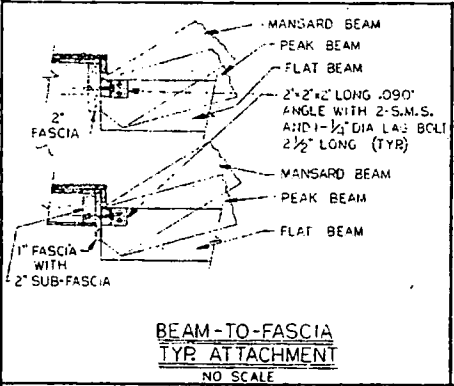
SIZE	DIMENS.	PANEL WIDTH vs. BEAM SPAN										
		t <sub>f</sub>	t <sub>w</sub>	8'-0"	7'-6"	7'-0"	6'-6"	6'-0"	5'-6"	5'-0"	4'-6"	4'-0"
2X2H	.050	.050	6'-8"	6'-10"	7'-0"	7'-2"	7'-4"	7'-7"	7'-10"	8'-1"	8'-5"	8'-9"
2X3S	.050	.050	10'-0"	10'-3"	10'-5"	10'-8"	11'-0"	11'-4"	11'-8"	12'-1"	12'-6"	13'-1"
2X4S	.055	.055	12'-9"	13'-2"	13'-6"	13'-9"	14'-2"	14'-7"	15'-0"	15'-6"	16'-2"	16'-10"
2X6S	.130	.058	20'-0"	20'-5"	20'-10"	21'-4"	21'-11"	22'-6"	23'-3"	24'-0"	24'-11"	26'-0"
2X9S	.400	.077	33'-4"	34'-0"	34'-9"	35'-7"	36'-6"	37'-6"	38'-7"	39'-10"	41'-3"	43'-0"
2X9L	.320	.077	33'-4"	34'-0"	34'-9"	35'-7"	36'-6"	37'-6"	38'-7"	39'-10"	41'-3"	43'-0"

SIZE	DIMENS.	PANEL WIDTH vs. COLUMN HEIGHT										
		t <sub>f</sub>	t <sub>w</sub>	8'-0"	7'-6"	7'-0"	6'-6"	6'-0"	5'-6"	5'-0"	4'-6"	4'-0"
2X2H	.050	.050	4'-11"	5'-2"	5'-4"	5'-6"	5'-9"	6'-0"	6'-3"	6'-7"	6'-11"	7'-2"
2X4S	.055	.055	9'-5"	9'-9"	10'-1"	10'-5"	10'-11"	11'-4"	11'-11"	12'-7"	13'-3"	13'-10"
2X6S	.130	.058	14'-11"	15'-5"	16'-1"	16'-7"	17'-3"	18'-0"	18'-11"	19'-4"	20'-8"	21'-7"
2X7S	.153	.071	19'-6"	20'-1"	20'-10"	21'-7"	22'-6"	23'-4"	24'-1"	24'-11"	25'-11"	27'-2"



**GENERAL NOTES: SEE REVISED COLUMN TECH SHEET**

- DESIGN LIVE LOAD: 10 PSF  
NET WALL LIVE LOAD IN OUT = 10 x L3 SHAPE FACTOR = 13 PSF  
NET ROOF LIVE LOAD UP/DOWN = 10 x J SHAPE FACTOR = 7 PSF
- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE "ALUMINUM CONSTRUCTION MANUAL, SPECIFICATIONS FOR ALUMINUM STRUCTURES", SECOND EDITION, NOV. 1971.
- DESIGN COMPLIES WITH REQMNTS. OF 1979 STANDARD BLDG CODE AS AMENDED BY THE PALM BEACH COUNTYWIDE ADDENDA RECOMMENDED BY THE BUILDING CODE ADVISORY BOARD OF PALM BEACH COUNTY, FLA.
- MATERIALS (UNLESS OTHERWISE SPECIFIED)  
A. EXTRUSIONS - ALUMINUM ALLOY 6063-T6 & 3003-H16  
B. FASTENERS - ALUMINUM ALLOYS 2024-T4 & 7075-T6, CAD. PLATED STEEL, HOT DIPPED GALVANIZED STEEL OR 300-SERIES STAINLESS STEEL  
C. SCREEN CLOTH - WOVEN FIBERGLASS, 60% OPEN OR GREATER  
D. CABLE - 1x19, 5/5, 3/32" DIA., STRANDED.
- BOLT & SCREW FASTENINGS THRU AN OPEN EXTRUSION INTO FASCIA, SLAB OR MASONRY WALL MUST HAVE 3/4" HEAD DIA. OR USE A 3/4" DIA. WASHER.
- 1x2" O.B. FRAME MEMBERS TO BE ATTACHED WITH APPROPRIATE TYPE FASTENERS ON 2' 0" CENTERS MAX.
- WIND BRACING IS NOT REQUIRED WHEN 2 SIDES OF ENCLOSURE ARE FULLY SUPPORTED BY HOUSE.
- SLAB AND FOOTINGS BY OTHERS UNLESS OTHERWISE SPECIFIED.
- ELECTRICAL GROUND, WHEN REQUIRED, TO BE INSTALLED BY OTHERS.
- 2x9L SELF-MATING BEAM HALVES TO BE FASTENED TOGETHER WITH #8 S.M.S. ON 2' 0" CENTERS TOP AND BOTTOM.
- PRINTS ARE VALID FOR BUILDING DEPARTMENT PURPOSES ONLY WHEN SIGNED BY THE ENGINEER UNDER HIS SEAL.
- STRAP & CABLE BRACING OR "K" BRACING TO BE USED ONLY WHERE APPROVED BY THE BUILDING DEPT. HAVING JURISDICTION.



**APPROVALS:**

Screen enclosure is designed in compliance with the South Florida Building Code

BUILDING CODE ADVISORY BOARD OF PALM BEACH COUNTY, FLORIDA RECOMMENDED FOR APPROVAL

Date: 8-1-77  
Control No. 81-7  
By: [Signature] Chairman

SEAL

**METAL PRODUCTS OF PALM-BEACH, INC.**

NOTED: D.A. DOWDY, P.E. FLA. REG. NO. 22763

STANDARD SCREEN ENCLOSURE

1315 NEPTUNE DR. BOYNTON BEACH, FLA.

810121

# WALLS

SIZE	D.L.	S (sq ft)		8'0"	7'6"	7'0"	6'6"	6'0"	5'6"	5'0"	4'6"	4'0"	3'6"	
2x24	0	.253	W	8.64	8.1	7.56	7.02	6.48	5.94	5.4	4.86	4.32	3.78	
			l <sub>in</sub>	68.91	71.17	73 <sup>5</sup> / <sub>8</sub>	76 <sup>3</sup> / <sub>8</sub>	79 <sup>1</sup> / <sub>2</sub>	83	87 <sup>1</sup> / <sub>8</sub>	91 <sup>7</sup> / <sub>8</sub>	97 <sup>3</sup> / <sub>8</sub>	104 <sup>1</sup> / <sub>8</sub>	
			l <sub>ft</sub>	5'8 <sup>7</sup> / <sub>8</sub> "	5'11 <sup>1</sup> / <sub>8</sub> "	6'1 <sup>5</sup> / <sub>8</sub> "	6'4 <sup>3</sup> / <sub>8</sub> "	6'7 <sup>1</sup> / <sub>2</sub> "	6'11"	7'3 <sup>1</sup> / <sub>8</sub> "	7'7 <sup>7</sup> / <sub>8</sub> "	8'1 <sup>3</sup> / <sub>8</sub> "	8'8 <sup>1</sup> / <sub>8</sub> "	
2x25	0	.325	W	78	80 <sup>5</sup> / <sub>8</sub>	83 <sup>1</sup> / <sub>2</sub>	86 <sup>5</sup> / <sub>8</sub>	90 <sup>1</sup> / <sub>8</sub>	94 <sup>1</sup> / <sub>8</sub>	98 <sup>3</sup> / <sub>4</sub>	104 <sup>1</sup> / <sub>8</sub>	110 <sup>3</sup> / <sub>8</sub>	118	
			l <sub>in</sub>	78	80 <sup>5</sup> / <sub>8</sub>	83 <sup>1</sup> / <sub>2</sub>	86 <sup>5</sup> / <sub>8</sub>	90 <sup>1</sup> / <sub>8</sub>	94 <sup>1</sup> / <sub>8</sub>	98 <sup>3</sup> / <sub>4</sub>	104 <sup>1</sup> / <sub>8</sub>	110 <sup>3</sup> / <sub>8</sub>	118	
			l <sub>ft</sub>	6'6"	6'8 <sup>5</sup> / <sub>8</sub> "	6'11 <sup>1</sup> / <sub>2</sub> "	7'2 <sup>5</sup> / <sub>8</sub> "	7'6 <sup>1</sup> / <sub>8</sub> "	7'10 <sup>1</sup> / <sub>8</sub> "	8'2 <sup>3</sup> / <sub>4</sub> "	8'8 <sup>1</sup> / <sub>8</sub> "	9'2 <sup>3</sup> / <sub>8</sub> "	9'10"	
2x35	0	.639	W	109 <sup>1</sup> / <sub>2</sub>	113	117	121 <sup>1</sup> / <sub>2</sub>	126 <sup>3</sup> / <sub>8</sub>	132	138 <sup>1</sup> / <sub>2</sub>	146	154 <sup>7</sup> / <sub>8</sub>	165 <sup>1</sup> / <sub>2</sub>	
			l <sub>in</sub>	109 <sup>1</sup> / <sub>2</sub>	113	117	121 <sup>1</sup> / <sub>2</sub>	126 <sup>3</sup> / <sub>8</sub>	132	138 <sup>1</sup> / <sub>2</sub>	146	154 <sup>7</sup> / <sub>8</sub>	165 <sup>1</sup> / <sub>2</sub>	
			l <sub>ft</sub>	9'1 <sup>1</sup> / <sub>2</sub> "	9'5"	9'9"	10'1 <sup>1</sup> / <sub>2</sub> "	10'6 <sup>3</sup> / <sub>8</sub> "	11'0"	11'6 <sup>1</sup> / <sub>2</sub> "	12'2"	12'10 <sup>7</sup> / <sub>8</sub> "	13'9 <sup>1</sup> / <sub>2</sub> "	
2x45	0	1.084	W	142 <sup>5</sup> / <sub>8</sub>	147 <sup>1</sup> / <sub>4</sub>	152 <sup>3</sup> / <sub>8</sub>	158 <sup>1</sup> / <sub>4</sub>	164 <sup>5</sup> / <sub>8</sub>	172	180 <sup>3</sup> / <sub>8</sub>	190 <sup>1</sup> / <sub>8</sub>	201 <sup>5</sup> / <sub>8</sub>	215 <sup>5</sup> / <sub>8</sub>	
			l <sub>in</sub>	142 <sup>5</sup> / <sub>8</sub>	147 <sup>1</sup> / <sub>4</sub>	152 <sup>3</sup> / <sub>8</sub>	158 <sup>1</sup> / <sub>4</sub>	164 <sup>5</sup> / <sub>8</sub>	172	180 <sup>3</sup> / <sub>8</sub>	190 <sup>1</sup> / <sub>8</sub>	201 <sup>5</sup> / <sub>8</sub>	215 <sup>5</sup> / <sub>8</sub>	
			l <sub>ft</sub>	11'10 <sup>5</sup> / <sub>8</sub> "	12'3 <sup>1</sup> / <sub>4</sub> "	12'8 <sup>3</sup> / <sub>8</sub> "	13'2 <sup>1</sup> / <sub>4</sub> "	13'8 <sup>5</sup> / <sub>8</sub> "	14'4"	15'3 <sup>3</sup> / <sub>8</sub> "	15'10 <sup>1</sup> / <sub>8</sub> "	16'9 <sup>5</sup> / <sub>8</sub> "	17'11 <sup>5</sup> / <sub>8</sub> "	
2x65	0	2.318	W	208 <sup>1</sup> / <sub>2</sub>	215 <sup>3</sup> / <sub>8</sub>	223	231 <sup>3</sup> / <sub>8</sub>	240 <sup>3</sup> / <sub>4</sub>	251 <sup>1</sup> / <sub>2</sub>	263 <sup>3</sup> / <sub>4</sub>	278	295	315 <sup>3</sup> / <sub>8</sub>	
			l <sub>in</sub>	208 <sup>1</sup> / <sub>2</sub>	215 <sup>3</sup> / <sub>8</sub>	223	231 <sup>3</sup> / <sub>8</sub>	240 <sup>3</sup> / <sub>4</sub>	251 <sup>1</sup> / <sub>2</sub>	263 <sup>3</sup> / <sub>4</sub>	278	295	315 <sup>3</sup> / <sub>8</sub>	
			l <sub>ft</sub>	17'4 <sup>1</sup> / <sub>2</sub> "	17'11 <sup>3</sup> / <sub>8</sub> "	18'7"	19'3 <sup>3</sup> / <sub>8</sub> "	20'3 <sup>3</sup> / <sub>4</sub> "	20'11 <sup>1</sup> / <sub>2</sub> "	21'11 <sup>3</sup> / <sub>4</sub> "	23'2"	24'7"	26'3 <sup>3</sup> / <sub>8</sub> "	
2x75	0	3.88	W	269 <sup>3</sup> / <sub>4</sub>	278 <sup>5</sup> / <sub>8</sub>	288 <sup>1</sup> / <sub>2</sub>	299 <sup>3</sup> / <sub>8</sub>	311 <sup>1</sup> / <sub>2</sub>	325 <sup>3</sup> / <sub>8</sub>	341 <sup>3</sup> / <sub>8</sub>	359 <sup>3</sup> / <sub>4</sub>	381 <sup>5</sup> / <sub>8</sub>	408	
			l <sub>in</sub>	269 <sup>3</sup> / <sub>4</sub>	278 <sup>5</sup> / <sub>8</sub>	288 <sup>1</sup> / <sub>2</sub>	299 <sup>3</sup> / <sub>8</sub>	311 <sup>1</sup> / <sub>2</sub>	325 <sup>3</sup> / <sub>8</sub>	341 <sup>3</sup> / <sub>8</sub>	359 <sup>3</sup> / <sub>4</sub>	381 <sup>5</sup> / <sub>8</sub>	408	
			l <sub>ft</sub>	22'5 <sup>3</sup> / <sub>4</sub> "	23'2 <sup>5</sup> / <sub>8</sub> "	24'1 <sup>1</sup> / <sub>2</sub> "	24'11 <sup>3</sup> / <sub>8</sub> "	25'11 <sup>1</sup> / <sub>2</sub> "	27'1 <sup>3</sup> / <sub>8</sub> "	28'5 <sup>3</sup> / <sub>8</sub> "	29'11 <sup>3</sup> / <sub>4</sub> "	31'9 <sup>5</sup> / <sub>8</sub> "	34'	
2x9L	0	7.477	W	374 <sup>5</sup> / <sub>8</sub>	386 <sup>7</sup> / <sub>8</sub>	400 <sup>3</sup> / <sub>8</sub>	415 <sup>1</sup> / <sub>2</sub>	432 <sup>1</sup> / <sub>2</sub>	451 <sup>3</sup> / <sub>4</sub>	473 <sup>3</sup> / <sub>4</sub>	499 <sup>1</sup> / <sub>2</sub>	529 <sup>3</sup> / <sub>4</sub>	566 <sup>3</sup> / <sub>8</sub>	
			l <sub>in</sub>	374 <sup>5</sup> / <sub>8</sub>	386 <sup>7</sup> / <sub>8</sub>	400 <sup>3</sup> / <sub>8</sub>	415 <sup>1</sup> / <sub>2</sub>	432 <sup>1</sup> / <sub>2</sub>	451 <sup>3</sup> / <sub>4</sub>	473 <sup>3</sup> / <sub>4</sub>	499 <sup>1</sup> / <sub>2</sub>	529 <sup>3</sup> / <sub>4</sub>	566 <sup>3</sup> / <sub>8</sub>	
			l <sub>ft</sub>	31'2 <sup>5</sup> / <sub>8</sub> "	32'2 <sup>7</sup> / <sub>8</sub> "	33'4 <sup>3</sup> / <sub>8</sub> "	34'7 <sup>1</sup> / <sub>2</sub> "	36'1 <sup>1</sup> / <sub>2</sub> "	37'7 <sup>3</sup> / <sub>4</sub> "	39'5 <sup>3</sup> / <sub>4</sub> "	41'7 <sup>1</sup> / <sub>2</sub> "	44'1 <sup>3</sup> / <sub>4</sub> "	47'2 <sup>3</sup> / <sub>8</sub> "	

METAL PRODUCTS OF PALM BEACH, INC.  
 REUSE COLUMN HEIGHT SCHEDULE  
 2-18-82 D. DOWDY, P.E.

*D. Dowdy*  
 3-4-82

**1476**

**FENCE**

RECEIVED

MAR 26 1982

1476

Permit No. \_\_\_\_\_

Ans'd.....Date 3-18-82

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner Sydney Wilkinson Present address 3 Oakwood Dr.

Phone 283-4824

Contractor Martin Fence Co. Address 1125 Old Dixie Hwy.

Phone 334-0000 L.P.

Where licensed Martin Co. License number 00056

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 5' Green Vinyl Chain Link Fence

State the street address at which the proposed structure will be built:  
above

Subdivision Oakwood Lot No. 8

Contract price \$ 1000.- Cost of Permit \$ 5.-

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

✓ Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner S.C. Wilkinson

Approved: [Signature] Building Inspector Date 3/29/82

Approved: [Signature] Commissioner Date 3/30/82

Final Approval given: [Signature] Date 5/4/82

Certificate of Occupancy issued \_\_\_\_\_ Date \_\_\_\_\_

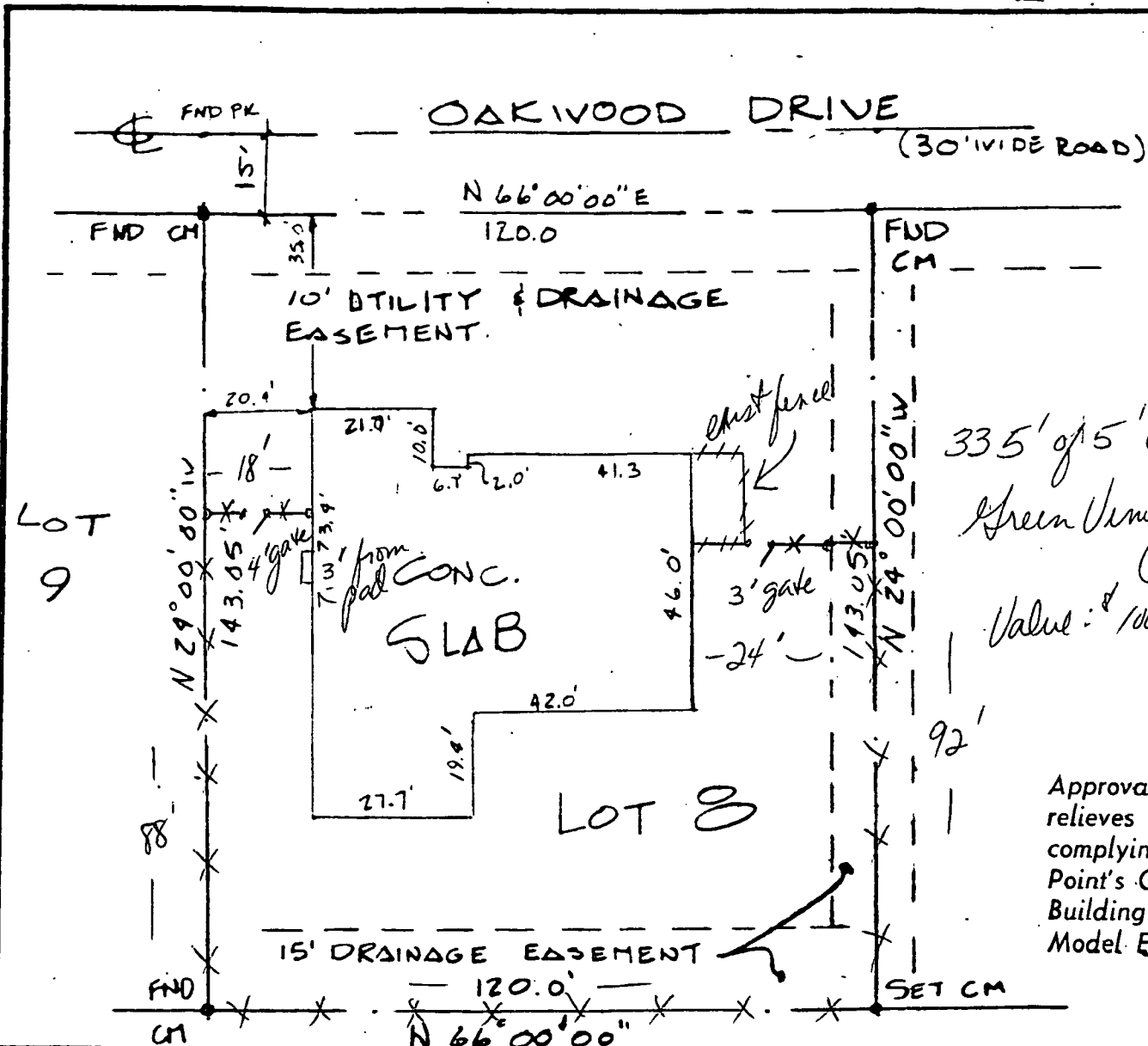
SP/1-79

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

1476







# BOUNDARY SURVEY

DESCRIPTION  
 BEING KNOWN AS LOT 8  
 335' of 5' C.L. "OAKWOOD S/O" SEAVALL'S POINT  
 AS RECORDED IN PLATBOOK 8  
 PAGE 53 PUBLIC RECORDS OF  
 MARTIN COUNTY FLORIDA

*Green Vinyl*  
 Value: \$1000.

RECEIVED

MAR 26 1982

*jam 3/29/82*  
*ps 3/30*

Approval of these plans in no way  
 relieves the contractor or builder  
 complying with the Town of Sewall's  
 Point's Ordinances, the South Florida  
 Building Code and the State of Florida  
 Model Energy Efficiency Building Code.

<p><b>PRICE ENGINEERING COMPANY</b>          Engineers - Planners - Surveyors          1320 PALM BEACH ROAD          STUART, FLORIDA 33494</p>	<p>PREPARED FOR  <b>EAST OCEAN CONST.</b></p>	<p><i>Ronald J. Price</i>  <b>RONALD J. PRICE</b></p>
<p>DRAWN: <i>JB</i> SCALE: 1"=30' DATE: <i>2-1-81</i></p>	<p>ISSUED BY _____ DATE _____</p>	<p>FLORIDA LICENSE NO. <b>2633</b></p>

**1611**

**ENLARGE FAMILY**

**ROOM**

RECEIVED  
SEP 12 1983

App'd..... *J.S. 9/20*  
*J.M. 9/16/83*

Approval of these plans in no way  
relieves the contractor or builder of  
complying with the Town of Sewall's  
Point's Ordinances, the South Florida  
Building Code and the State of Florida  
Model Energy Efficiency Building Code.

27'-0"  
27'-0"

1611

BEDROOM 4

BATH 3

FAMILY ROOM

KITCHEN

Add 4 1/2" x 6" Windows

Add 12' Sliding Door

Raise Existing Floor 4"

Remove Sliding Door

Add 3 Receptacles  
A/c Ducts off existing units

Remove Pass thru Window

9'-0"

2'-0"

14'-0"

11'-0"

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# 1617

1373

TOWN OF SEWALL'S POINT FLORIDA

Permit No. \_\_\_\_\_

SEP 9 1983

Date: 9/9/83

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner Sidney Wilkinson Present address 3 Oakwood Dr.

Phone \_\_\_\_\_ Sewalls Pt

General contractor East Ocean Const Address 1045 E. Ocean Blvd.

Phone 286-4933 Stuart

Where licensed State License No. ON File CGC 010622

Plumbing contractor \_\_\_\_\_ License No. \_\_\_\_\_

Electrical contractor Lachance License No. ON File

Air-conditioning contractor Commercial Cooling License No. ON File PA0023529

Describe the building, or alteration to existing building  
Enlarge Fam Room

Name the street on which the building, its front building line and its front yard will face  
Oakwood

Subdivision Oakwood Lot No. 8 Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 150

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 3000

**PAID cash**  
Cost of permit \$ 15<sup>XX</sup> Plans approved as submitted  or, as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor Charles S. Archer

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner Sidney Wilkinson

Construction builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted \_\_\_\_\_

Building Inspector (date) 9/16/83

Inspector's initials JAM

Town Commissioner (date) 9/20/83

Commissioner's initials LS

Occupancy issued (date) \_\_\_\_\_

Insulation 10/4/83 OK  
A/C 10/15/83 OK  
Final 11/16/83 JAM

# 1612

Approval of these plans in no way relieves the contractor or builder of compliance with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

**3006**

**ROOF REPAIR**

Date

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3006

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner JACK Mueller Present Address 3 OAKWOOD PLACE

Phone 407-283-8696

Contractor DANNY L. SAIBIC Address 1285 SW Biltmore ST, PSL, FL

Phone 407-225-5252

Where licensed MANTON COUNTY License number SP 01404 - State PC 00060386

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: \_\_\_\_\_

Roof Repair Re flash - (2) Sky Lites Replace Damaged Wood Shakes  
State the street address at which the proposed structure will be built: \_\_\_\_\_

Subdivision OAKWOOD Lot number 8 Block number \_\_\_\_\_

Contract price \$ 1250 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted 6/4/1991 Approved: [Signature] Building Inspector Date

Approved: \_\_\_\_\_ Commissioner Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

**4287**

**REROOF**

### Town of Sewall's Point

P.I.N. 13-38-41-009-000-0008.0-1000 Date \_\_\_\_\_

## ACCESSORY STRUCTURE PERMIT APPLICATION

to construct:

- DOCK requires prerequisite approval from State and Army Corps of Engineers.
- BULKHEAD requires prerequisite approval from State and Army Corps of Engineers.
- DETACHED GARAGE     SWIMMING POOL     WALL
- SOLAR WATER HEATER     SCREENED ENCLOSURE
- FENCE may not require sealed drawings.
- OTHER: Per roof

Owner's Name Jack Mueller

Owner's Address 3 Oakwood Drive, Stuart, FL 34996

Fee Simple Titleholder's Name (If other than owner) \_\_\_\_\_

Fee Simple Titleholder's Address (If other than owner) \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Contractor's Name Pacific Roofing Corp.

Contractor's Address PO Box 2697

City Stuart State FL Zip 34995

Job Name Mueller Residence

Job Address 3 Oakwood Drive, Stuart, FL 34996

City \_\_\_\_\_ County Martin

Legal Description Oakwood Lot 8

Bonding Company \_\_\_\_\_

Bonding Company Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_

Architect/Engineer's Name \_\_\_\_\_

Architect/Engineer's Address \_\_\_\_\_

Mortgage Lender's Name \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.



4287



OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

\* Jack Mueller  
Owner or Agent

11-4-97  
Date

P.R.C.  
Contractor

11-4-97  
Date

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 4<sup>th</sup> day of Nov, 1997 by Jack Mueller, who:  is/are personally known to me, or  has/have produced \_\_\_\_\_ as identification, and who did not take an oath.

Jeannie M. Simon  
Name: Jeannie M. Simon  
Typed, printed or stamped  
I am a Notary Public of the State of Florida having a commission number of CC669230 and my commission expires: 8-4-2001

(NOTARY SEAL)  
OFFICIAL NOTARY SEAL  
JEANNIE M SIMON  
NOTARY PUBLIC STATE OF FLORIDA  
COMMISSION NO. CC669230  
MY COMMISSION EXP. AUG. 4,2001

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 4<sup>th</sup> day of Nov, 1997 by Richard J. Gomes, who:  is/are personally known to me, or  has/have produced \_\_\_\_\_ as identification, and who did not take an oath.

Jeannie M. Simon  
Name: Jeannie M. Simon  
Typed, printed or stamped  
I am a Notary Public of the State of Florida having a commission number of CC669230 and my commission expires: 8-4-2001

(NOTARY SEAL)  
OFFICIAL NOTARY SEAL  
JEANNIE M SIMON  
NOTARY PUBLIC STATE OF FLORIDA  
COMMISSION NO. CC669230  
MY COMMISSION EXP. AUG. 4,2001

Certificate of Competency Holder

Contractor's State Certification or Registration No. \_\_\_\_\_

Contractor's Certificate of Competency No. \_\_\_\_\_

APPLICATION APPROVED BY \_\_\_\_\_ Permit Officer

Permit No. \_\_\_\_\_

Tax Folio No. 13-38-41-009-000-0008 . C-1000

NOTICE OF COMMENCEMENT

STATE OF FLORIDA  
COUNTY OF MARTIN

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Fla. Statutes, the following information is provided in this Notice of Commencement.

1. Description of property: 3 Oakwood Dr, Stuart FL 34996
2. General description of improvement: Reroof
3. Owner information:
  - a. Name and address: Jack Mueller  
3 Oakwood Drive, Stuart, FL 34996
  - b. Interest in property:
  - c. Name and address of fee simple titleholder (if other than owner):
4. Contractor:
  - a. Name and address: PACIFIC ROOFING CORP  
PO Box 2697, Stuart, FL 34995
  - b. Phone number: 561-283-7663
  - c. Fax number (optional, if service by fax is acceptable):
5. Surety:
  - a. Name and address:
  - b. Phone number:
  - c. Fax number (optional, if service by fax is acceptable):
  - d. Amount of bond \$ \_\_\_\_\_
6. Lender:
  - a. Name and address:
  - b. Phone number:
  - c. Fax number (optional, if service by fax is acceptable):
7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Sect. 713.13 (1)(a)7., Florida Statutes.
  - a. Name and address:
  - b. Phone number:
  - c. Fax number (optional, if service by fax is acceptable):
8. In addition to himself, Owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of the Lessor's Notice as provided in Section 713.13 (1)(b), Florida Statutes.
  - a. Phone number:
  - b. Fax number (optional, if service by fax is acceptable):
9. Expiration date of notice of commencement: \_\_\_\_\_ (The expiration date is 1 year from the date of recording unless a different date is specified).

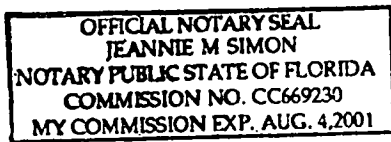
*Jack Mueller*  
 Signature of \_\_\_\_\_  
 Name: JACK W. MUELLER  
 Please Print, Type or Stamp

STATE OF FLORIDA  
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 4th day of November, 1997, by Jack Mueller personally known to me, or  has produced as identification, and who  did  did not take an oath.

*Jeannie M Simon*  
 Signature of Notary  
 Name: Jeannie M Simon  
 Please Print, Type or Stamp

(NOTARY SEAL)



I am a Notary Public of the State of Florida, having a commission number of CC669230, and my commission expires: 8-4-2001

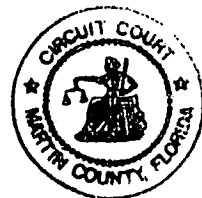
STATE OF FLORIDA  
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHA STILLER, CLERK

BY T. Cooper D.C.

DATE 11-5-97





**6648**

**SCREEN ENCLOSURE**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 3/24/04

BUILDING PERMIT NO. 6648

Building to be erected for FENDER Type of Permit SCREEN ENCLOSURE

Applied for by PIONEER SCREEN (Contractor) Building Fee 120.00

Subdivision OAKWOOD Lot 8 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 3 OAKWOOD DRIVE Impact Fee \_\_\_\_\_

Type of structure POOL ENCLOSURE A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_ Electrical Fee \_\_\_\_\_

1338410090000008010000 Plumbing Fee \_\_\_\_\_

Amount Paid 120.00 Check # 3053 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 4922.00 TOTAL Fees 120.00

Signed Mary Kelley  
Applicant

Signed Gene Simmons  
Town Building Official

## PERMIT

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> BUILDING                    | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING                    | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT              | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input checked="" type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL                        | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL                | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

**RECEIVED**  
**FEB 23 2004**  
 BY: \_\_\_\_\_

**Town of Sewall's Point**  
**BUILDING PERMIT APPLICATION**

Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Frank Fender Phone (Day) 486 3946 (Fax) \_\_\_\_\_

Job Site Address: 3 Oakwood Dr City: Sewalls Pt State: FL Zip: 34996

Legal Description of Property: lot 8 Oakwood Subdivision Parcel Number: 13 38 41 009 000 00680

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: Pool Enclosure

WILL OWNER BE THE CONTRACTOR?: Yes  No  (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Pioneer Screen Phone: 283-9197 Fax: 283-3028

Street: 9011 SW Old Kansas Ave City: Stuart State: FL Zip: 34997

State Registration Number: SCC046064 State Certification Number: \_\_\_\_\_ Martin County License Number: 1987520086

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 4922 (Notice of Commencement needed over \$2500)

**SUBCONTRACTOR INFORMATION:**

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
 Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
 Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
 Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER DA Dowdy Phone Number: 561-736-3804

Street: 8037 Stirrup Cay Ct City: Bryantwood Bch State: FL Zip: 33439

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total Under Roof: \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
 National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
SAWY ANN PADGETT  
 State of Florida, County of: MARTIN  
 This the 23rd day of FEBRUARY, 2004  
 by SAWY ANN PADGETT who is personally known to me or produced as identification.  
Jessica A. O'Brien 05/2/05  
 Notary Public

CONTRACTOR SIGNATURE (required)  
CRAIG REE  
 On State of Florida, County of: Martin  
 This the 19 day of Feb, 2004  
 by CRAIG REE who is personally known to me or produced as identification.  
Mary Sue Kelley  
 Notary Public

My Commission Expires: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

**Laura L. O'Brien**  
 MY COMMISSION # DD 205961  
 PERMIT APPLICATIONS VALUED UP TO \$100,000 FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!  
 Bonded thru Notary Public Underwriters

**Mary Sue Kelley**  
 My Commission DD257200  
 Seal Expires October 09, 2007

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE  
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



\_\_\_\_\_  
(SIGNATURE OF APPLICANT)

DATE SUBMITTED: \_\_\_\_\_

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
1/22/04

**PRODUCER**  
Kearns Agency of Florida Inc.  
P O Box 1849  
Jensen Beach, Fl. 34958

**THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.**

**INSURERS AFFORDING COVERAGE**

**INSURED**  
Pioneer Screen Co. Inc.  
9011 SW Old Kansas Ave.  
Stuart, Fl. 34997

INSURER A: **Auto Owners Insurance Co.**  
INSURER B:  
INSURER C:  
INSURER D:  
INSURER E:

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC	20509791	1/01/04	1/01/05	EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 100,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COM/OP AGG \$ 1,000,000
A	<b>AUTOMOBILE LIABILITY</b> ANY AUTO ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	96-881-068-00	1/01/04	1/01/05	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000 BODILY INJURY (Per person) \$ 500,000 BODILY INJURY (Per accident) \$ 500,000 PROPERTY DAMAGE (Per accident) \$
	<b>GARAGE LIABILITY</b> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	<b>EXCESS LIABILITY</b> OCCUR <input type="checkbox"/> CLAIMS MADE  DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>				WC STATUTORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

**CERTIFICATE HOLDER**  
Town of Sewall's Point  
1 South Sewall's Point Rd.  
Sewall's Point, Fl. 34996  
Attn: Laura  
faxed to 772-220-4765

**ADDITIONAL INSURED; INSURER LETTER:**

**CANCELLATION**  
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 45 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

**AUTHORIZED REPRESENTATIVE**  
Lawrence E. Kearns



# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
09/17/03

PRODUCER: Risk Transfer, LLC  
301 E. Pine Street  
Suite 350  
Orlando, FL 32801  
1-407-481-9363

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

### INSURERS AFFORDING COVERAGE

INSURED: Progressive Employer Services  
7560 Commerce Court  
Sarasota, FL 34243

INSURER A: First Commercial Insurance Company  
INSURER B:  
INSURER C:  
INSURER D:  
INSURER E:

### COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	17923-0	09/21/03	09/21/04	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS   <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS  
 Coverage is extended to the leased employees of alternate employer (Florida Operations Only):  
 PIONEER SCREEN COMPANY, INC - client # S-3025

### CERTIFICATE HOLDER

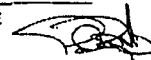
ADDITIONAL INSURED; INSURER LETTER:

### CANCELLATION

TOWN OF SEWALL POINT  
1 SOUTH SEWALL POINT ROAD  
STUART, FL 34996  
USA

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING

INDUSTRY LICENSE NO. 1987-520-086



The SPECIALTY STRUCTURE CONTRACTOR  
Named below is CERTIFIED  
Under the provisions of Chapter 49-13  
Expiration date: AUG 31, 2004

RICE, CRAIG DAVIS  
PIONEER SCREEN INC  
9011 S W OLD KANSAS AVE  
STUART FL 34997

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY SEYER  
SECRETARY

2003-2004 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

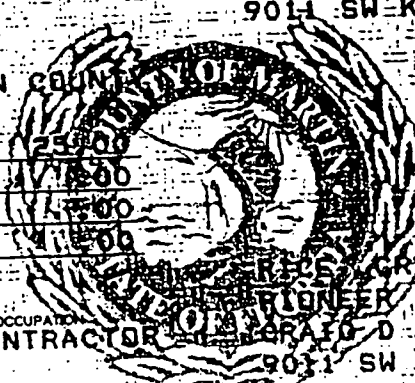
LICENSE 1987-520-086 CERT

PHONE (561) 283-9197 LIC NO 001799

LOCATION: 9011 SW KANSAS AVE MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	.00	LIC. FEE \$	25.00
\$	.00	PENALTY \$	0.00
\$	.00	COL. FEE \$	0.00
\$	.00	TRANSFER \$	0.00
TOTAL			25.00



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF SPECIALTY STRUCTURE CONTRACTOR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

RICE, CRAIG D  
PIONEER SCREEN INC  
9011 SW OLD KANSAS AVENUE  
STUART FL 34997

26 DAY OF AUGUST 20 03  
AND ENDING SEPTEMBER 30 2004

12 03082601 002428

Yahoo! My Yahoo! Mail

Search the web



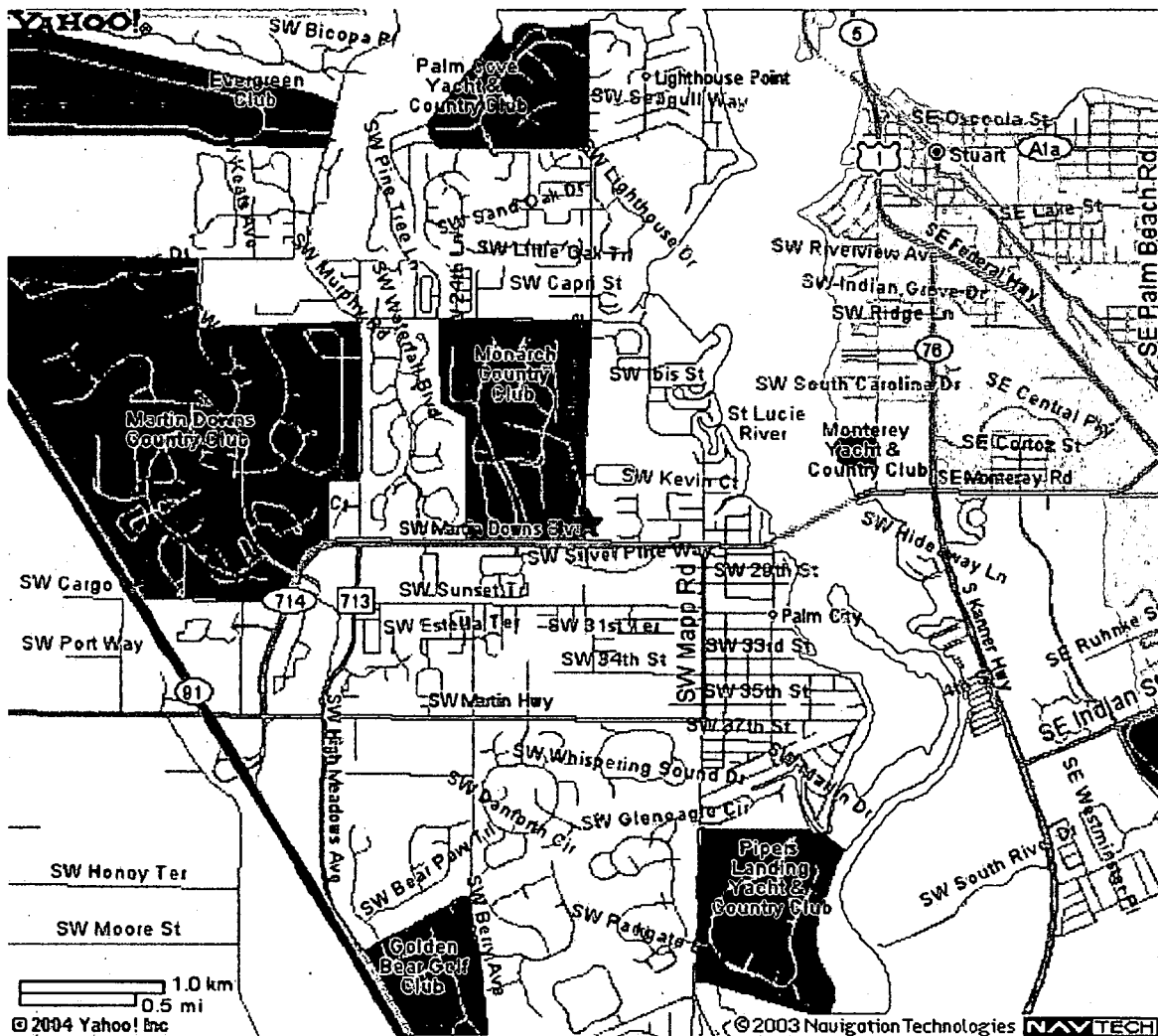
Sign In  
New User? Sign Up

Me

### Yahoo! Maps

[Back to Map](#)

★ 2551 Sw Matheson Ave  
Palm City, FL 34990-2765



When using any driving directions or map, it's a good idea to do a reality check and make sure the road still exists, watch out for construction, and follow all traffic safety precautions. This is only to be used as an aid in planning.

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INSTR # 1729914  
OR BK 01867 PG 2938  
RECORDED 02/20/2004 10:17:13 AM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
RECORDED BY L Wood

Instrument Prepared by:

Appraiser's Parcel Identification

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

### NOTICE OF COMMENCEMENT

Permit No. \_\_\_\_\_

Tax Folio No. \_\_\_\_\_

State of Florida \_\_\_\_\_  
County of MARTIN }

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with chapter 713 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

Legal description of property (include Street Address, if available) \_\_\_\_\_  
Lot 8 Sewalls Point  
3 OAKWOOD DR

General description of improvements Replace Existing Pool Enclosure

Owner's Name FRANK FENDER  
Address 3 OAKWOOD DR

Owner's Interest in site of the improvement \_\_\_\_\_

Fee Simple Title holder (if other than owner) N/A  
Address \_\_\_\_\_

Contractor Pioneer Screen Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Address 901 SW Old Kansas Ave, Stuart Phone: 772-223-9197 Fax: 772-223-9197

Surety \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Address \_\_\_\_\_ Amount of bond \$ \_\_\_\_\_

Lender's Name \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7, Florida Statutes.

Name \_\_\_\_\_  
Address \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

In addition to himself, owner designates \_\_\_\_\_  
Of \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.


Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified)

[Signature] Owner's Lie # FRANK FENDER  
Signature of Owner FS30-201631770 Printed Name of Owner

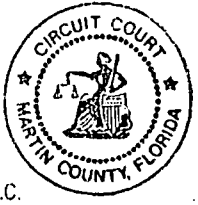
NOTARY RUBBER STAMP SEAL

I have relied upon the following identification of the Affiant \_\_\_\_\_  
DL

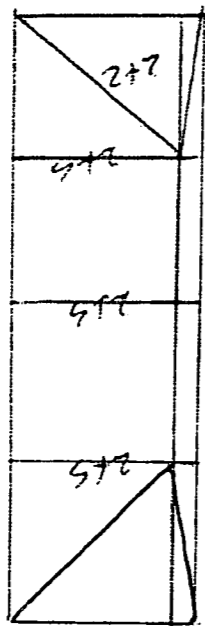
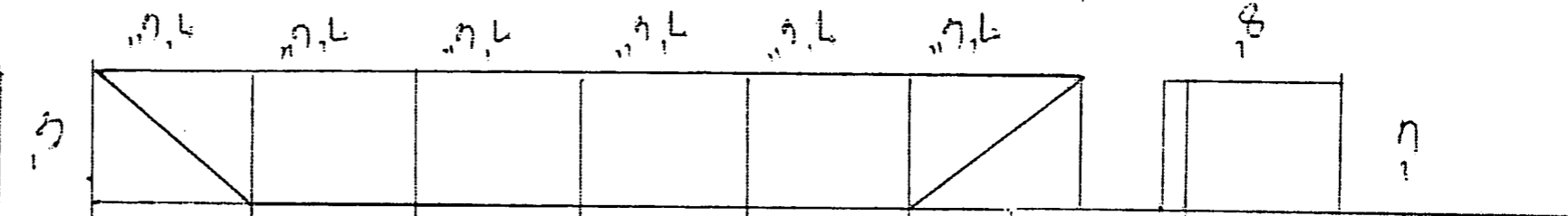
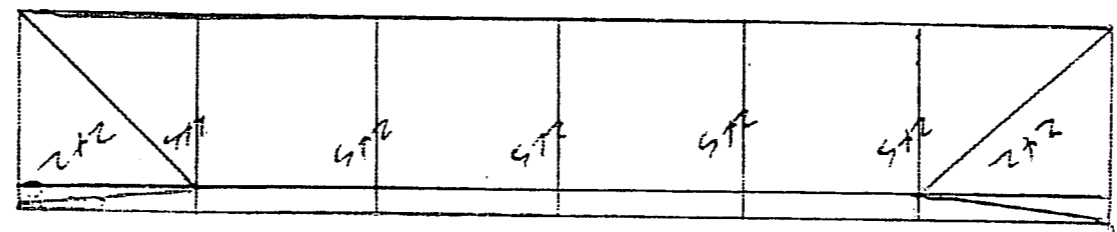
Sworn to and subscribed before me this 19 day of FEB 2004  
[Signature]  
Notary Signature Mary Sue Kelley  
Printed Name

 Mary Sue Kelley  
My Commission DD257289  
Expires October 09, 2007

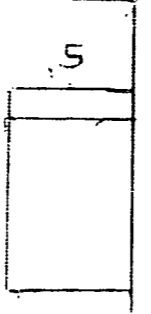
STATE OF FLORIDA  
MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL  
MARSHA EWING, CLERK  
BY [Signature] D.C.  
DATE 2/20/04



SH



SH

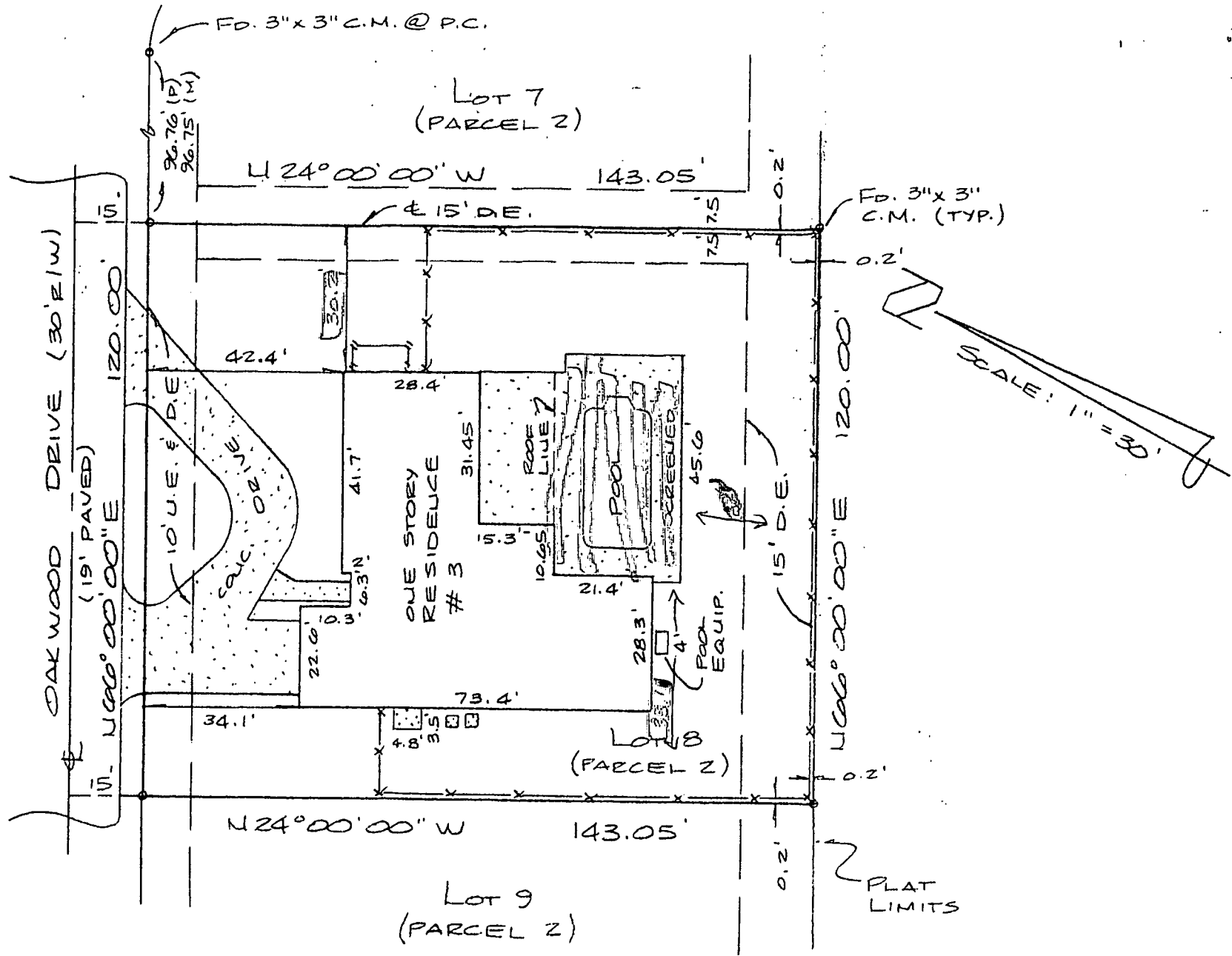


covered  
panel

5" gutter

SH

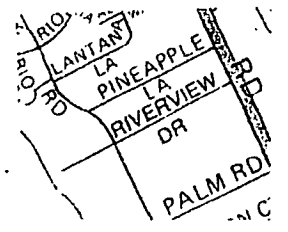
Fender



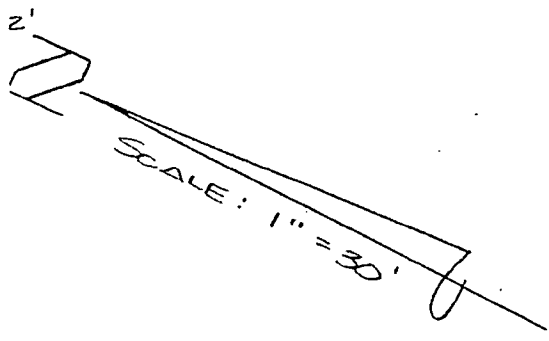
*Legal Description*

Lot 8, OAKWOOD SUBDIVISION, TOWN OF SEWELL'S POINT, a Re-Subdivision of Lot 1, Miles or Hanson Grant, Plat Book "B", Page 59, Dade (Now Martin) County, Florida, recorded in Plat Book 10

Certified To:  
 FRANK A. FENDER III AND SALLY PADGETT;  
 SUNBELT TITLE AGENCY; FIRST AMERICAN TITLE INSURANCE COMPANY; ABN AMRO MORTGAGE

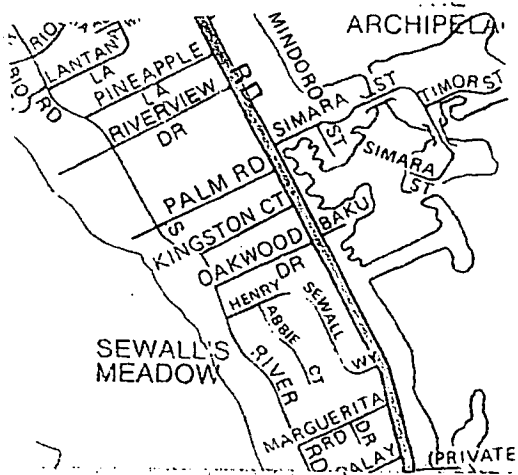


3" x 3"  
M. (TYP.)



PLAT  
LIMITS

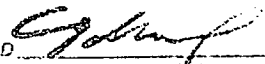
GETT;  
RICAN TITLE  
ORTGAGE  
INS.



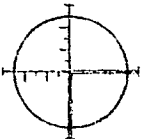
<b>LEGEND</b>		△	CENTRAL ANGLE/DELTA ANGLE
-H-H-	WOOD FENCE	D.B.	DEED BOOK
-x-x-	METAL FENCE	D.	DESCRIPTION OR DEED
F.N.	FOUND NAIL	D.H.	DRILL HOLE
O	FOUND MONUMENTATION	D/W	DRIVEWAY
R.	RECORD	ESMT	EASEMENT
M	FIELD MEASURED	EL.	ELEVATION
C	CALCULATED	F.F.	FINISHED FLOOR
CL	CLEAR	F.C.M.	FOUND CONCRETE MONUMENT
ENCR	ENCROACHMENT	F.P.K.	FOUND PARKER-KALON NAIL
☉	CENTERLINE	A	ARC LENGTH
☐	CONCRETE	L.A.E.	LIMITED ACCESS EASEMENT
⊕	BOUNDARY LINE	M.H.	MANHOLE
C.M.	CONCRETE MONUMENT	N.T.S.	NOT TO SCALE
F.I.R.	FOUND IRON ROD	O.R.	OFFICIAL RECORDS
F.I.P.	FOUND IRON PIPE	O.R.B.	OFFICIAL RECORDS BOOK
R/W	RIGHT OF WAY	P.C.P	PERMANENT CONTROL POINT
N&D	NAIL & DISK	P.R.M.	PERMANENT REFERENCE MONUMENT
D.E.	DRAINAGE EASEMENT	PG.	PAGE
U.E.	UTILITY EASEMENT	PVMT.	PAVEMENT
FD.	FOUND	P.B.	PLAT BOOK
P	PLAT	P.O.B.	POINT OF BEGINNING
A/V/W	ASPHALT	P.O.C.	POINT OF COMMENCEMENT
O.H.W.	OVERHEAD WIRES	P.O.L.	POINT OF LINE
P.P	POWER POLE	P.C.	POINT OF CURVATURE
TX	TRANSFORMER	P.R.C.	POINT OF REVERSE CURVATURE
CATV	CABLE RISER	P.T.	POINT OF TANGENCY
W.M.	WATER METER	R.	RADIUS (RADIAL)
TEL.	TELEPHONE FACILITIES	R.O.E.	ROOF OVERHANG EASEMENT
☐	COVERED AREA	S.I.R.	SET OF IRON ROD & CAP
B.R.	BEARING REFERENCE	SM	SIDEWALK
CH	CHORD	T.O.B.	TOP OF BANK
RAD	RADIAL	TYP.	TYPICAL
N.R.	NON RADIAL	W.C.	WITNESS CORNER
A/C	AIR CONDITIONER	10.50	EXISTING ELEVATION
B.M	BENCH MARK	E.O.W.	EDGE OF WATER
C.B.	CATCH BASIN	I.E.E.	INGRESS & EGRESS EASEMENT
S.S	SHIPSPIKE	P.C.C	POINT OF COMPOUND CURVATURE
⊙	AT	1/4	AND

**GENERAL NOTES:**

- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
- 2) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 4) WALL TIES ARE TO THE FACE OF THE WALL.
- 5) ONLY VISIBLE ENCROACHMENTS LOCATED.
- 6) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 7) DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- 8) FENCE OWNERSHIP NOT DETERMINED
- 9) ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. 1929 UNLESS OTHERWISE NOTED.
- 10) BEARINGS REFERENCED TO LINE NOTED AS B.R.
- 11) THIS IS A **BOUNDARY SURVEY** UNLESS OTHERWISE NOTED.
- 12) NOT VALID UNLESS SEALED WITH THE SIGNING SURVEYORS EMBOSSED SEAL.

SIGNED  STATE OF FLORIDA  
CLYDE O. MCNEIL PROFESSIONAL SURVEYOR AND MAPPER  
NO. 2983

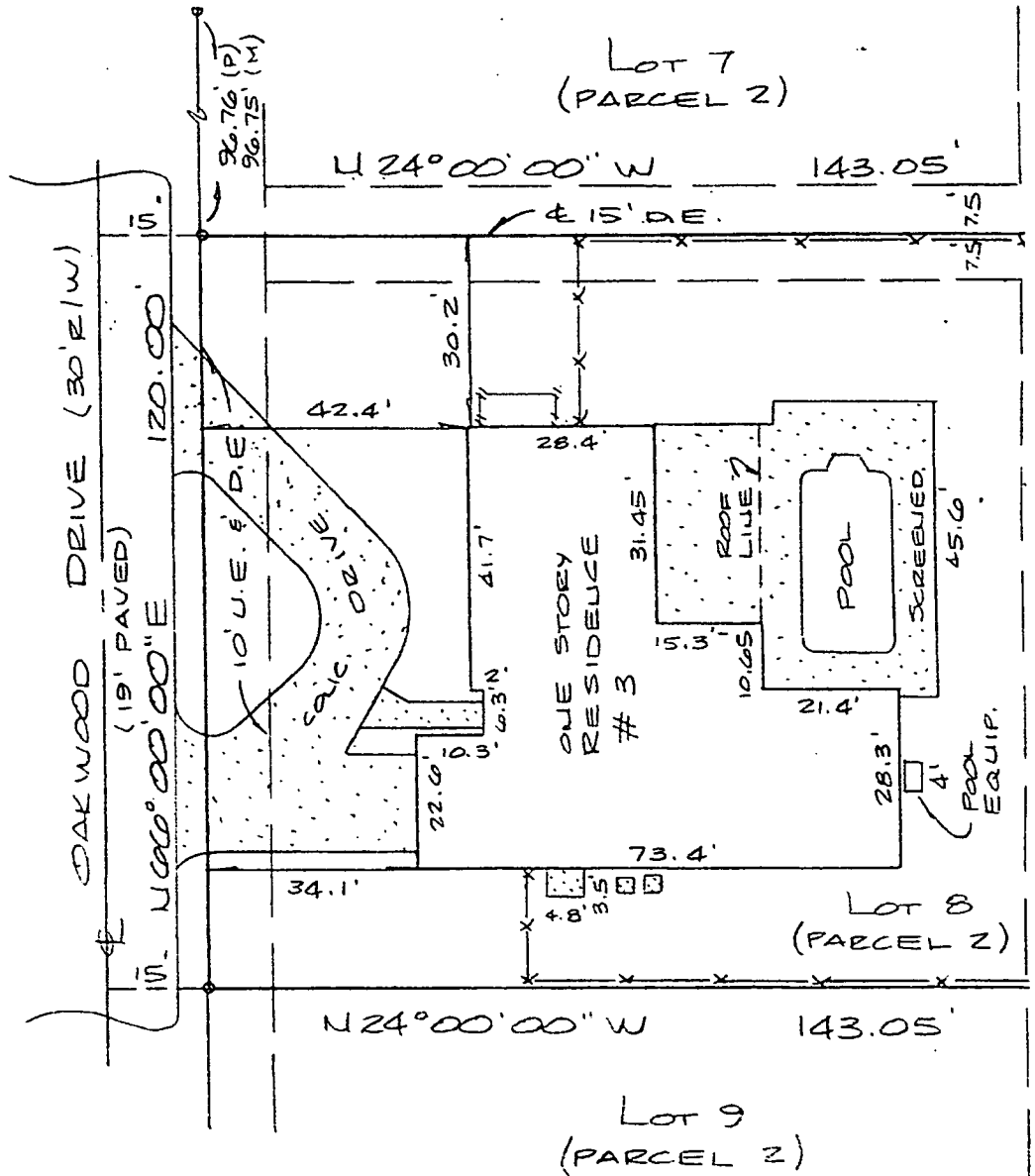
I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION.



SERVING  
DADE • BROWARD • PALM BEACH  
MARTIN • ST. LUCIE  
LB6135 COUNTIES

## TARGET SURVEYING, INC.

STATEWIDE NUMBERS  
PHONE (800) 226-4807 • FACSIMILE (800) 741-0576  
2500 METROCENTRE BOULEVARD, SUITE 8  
WEST PALM BEACH, FLORIDA 33407  
(561) 640-4800 • FACSIMILE (561) 640-0576



**Legal Description**

Lot 8, **OAKWOOD SUBDIVISION, TOWN OF SEWELL'S POINT**, a Re-Subdivision of Lot 1, Miles or Hanson Grant, Plat Book "B", Page 59, Dade (Now Martin) County, Florida, recorded in Plat Book 10, Page 1, Martin County, Florida, Public Records, re-filed and refiled and recorded in Plat Book 8, Page 53, MARTIN County, Florida.

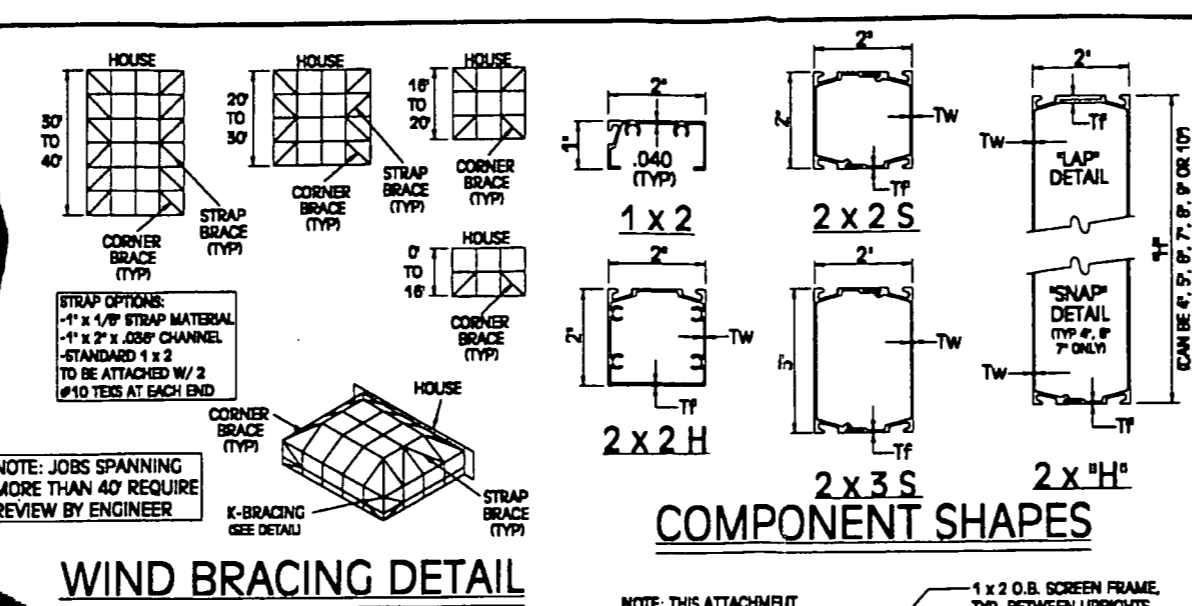
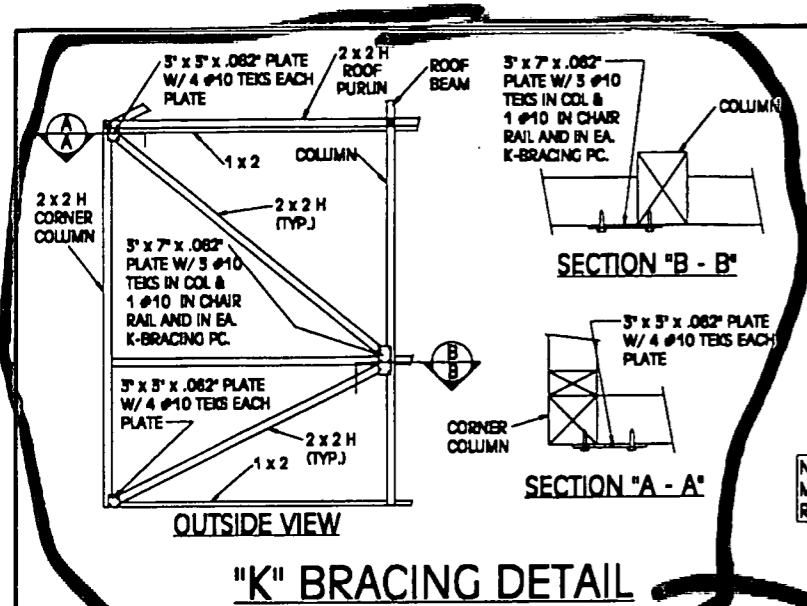
**Community Number:** 120164 **Panel:** 0002  
**Suffix:** D F.I.R.M. **Date:** 6/16/92 **Flood Zone:** A8  
**Field Work:** 5/7/2003

**Certified To:**  
 FRANK A. FENDER III AN.  
 SUNBELT TITLE AGENCY  
 INSURANCE COMPANY,  
 GROUP, INC., its successor

**Property Address:**  
 3 OAKWOOD DRIVE  
 STUART, Florida 34996

**Survey Number:** W-66239





**BEAM AND COLUMN SCHEDULE FLAT BEAMS L/80 MAX. (140 MPH, EXPOS. 'B')**

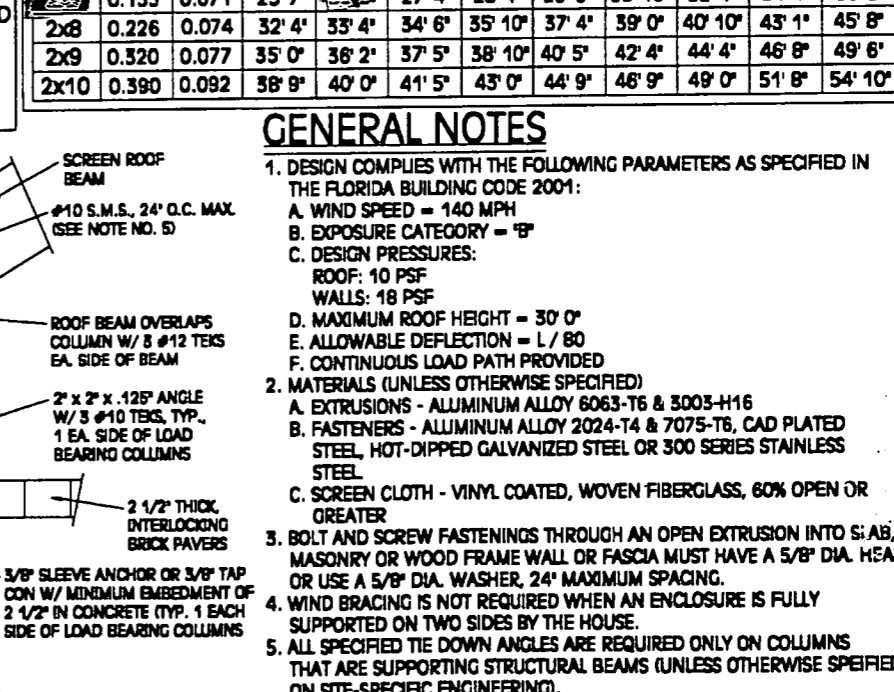
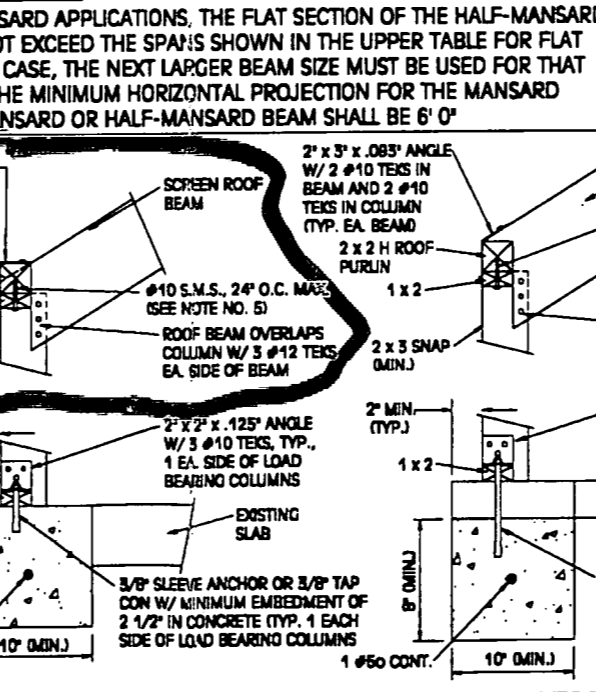
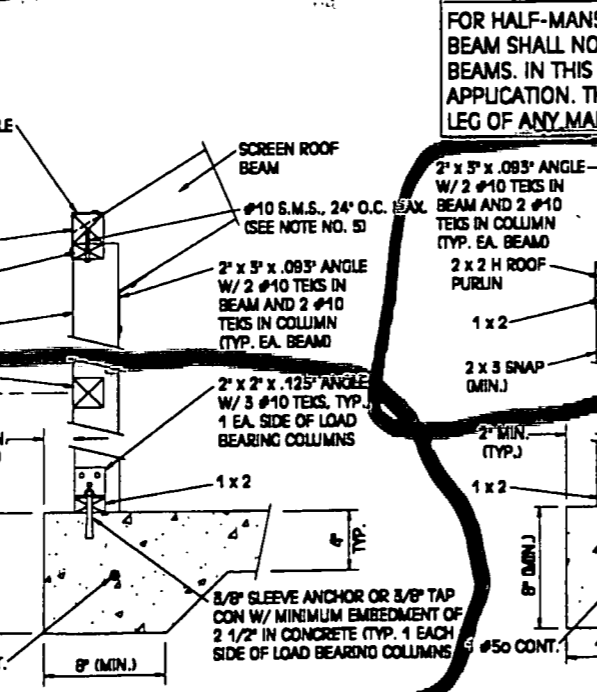
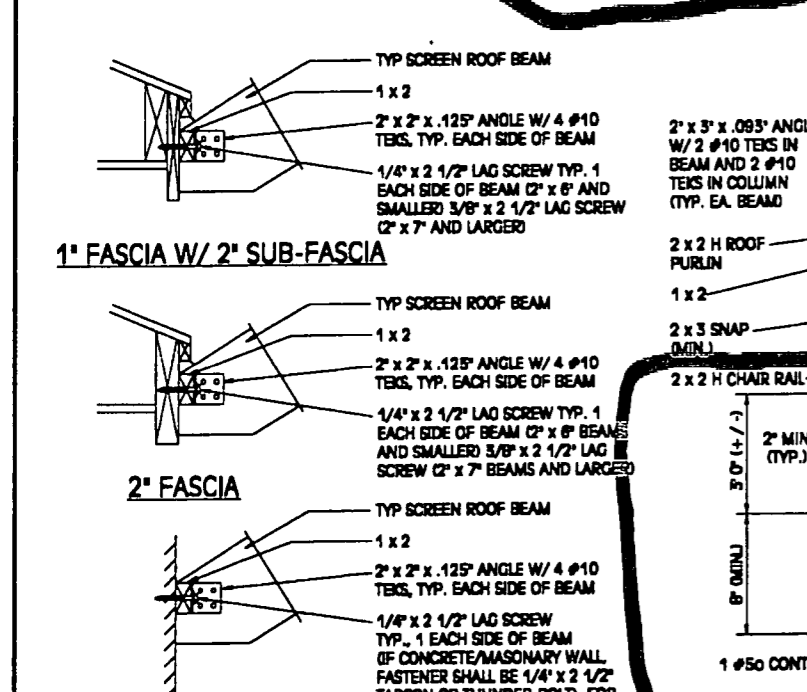
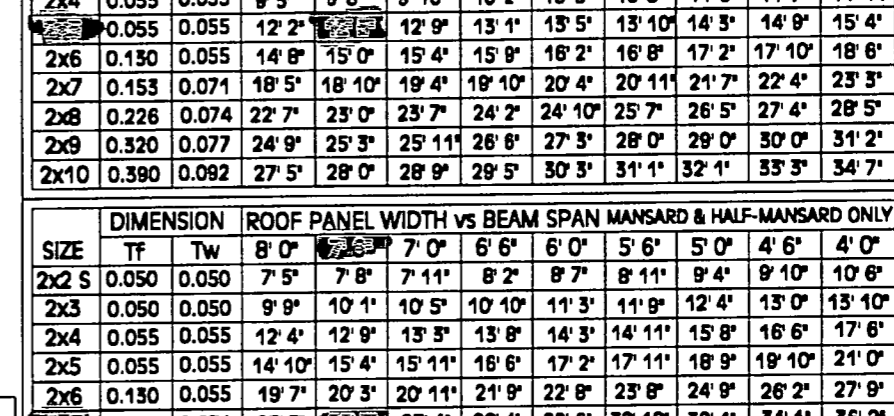
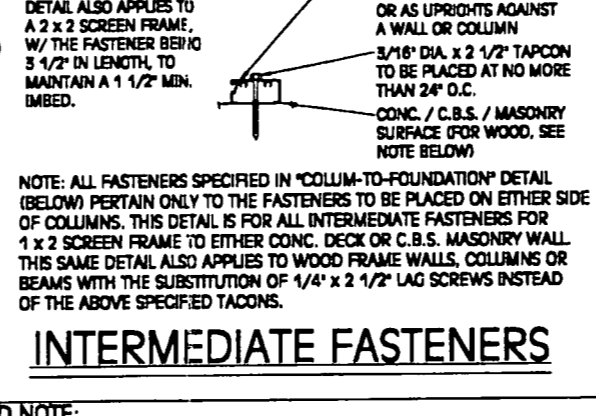
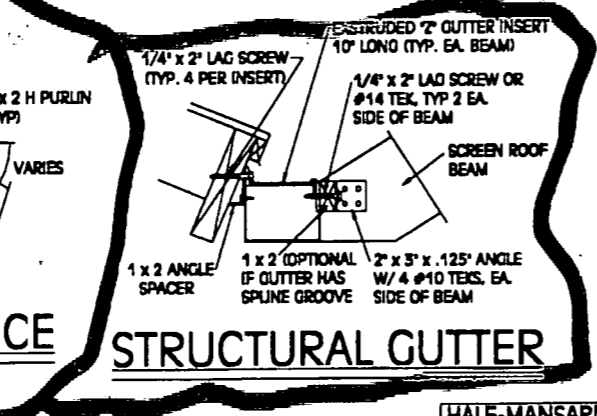
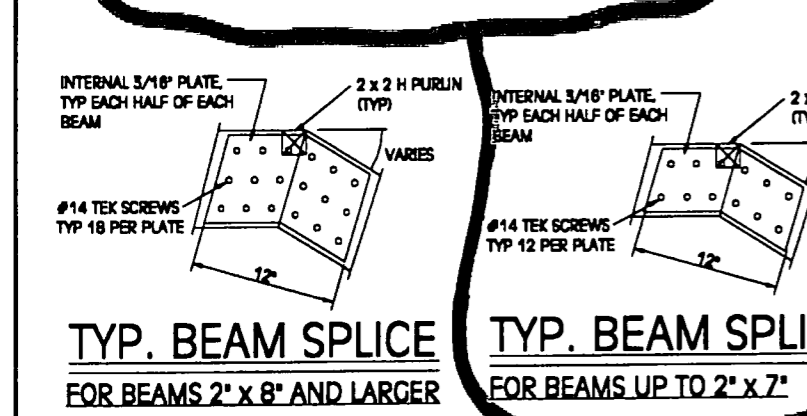
SIZE	DIMENSION		ROOF PANEL WIDTH VS BEAM SPAN DESIGN PRESSURE = 10 PSF									
	Tf	TW	8'0"	7'6"	7'0"	6'6"	6'0"	5'6"	5'0"	4'6"	4'0"	
2x2 H	0.050	0.050	6'0"	6'1"	6'3"	6'5"	6'7"	6'9"	7'0"	7'3"	7'6"	
2x2 S	0.050	0.050	6'6"	6'7"	6'9"	6'11"	7'1"	7'4"	7'7"	7'10"	8'2"	
2x3	0.050	0.050	8'11"	9'1"	9'4"	9'8"	9'10"	10'1"	10'5"	10'9"	11'3"	
2x4	0.055	0.055	11'6"	11'8"	12'0"	12'4"	12'8"	13'0"	13'5"	14'1"	14'6"	
2x5	0.055	0.055	14'9"	15'2"	15'6"	15'10"	16'3"	16'9"	17'4"	17'11"	18'6"	
2x6	0.130	0.055	17'10"	18'3"	18'8"	18'2"	19'8"	20'8"	20'11"	21'8"	22'6"	
2x7	0.153	0.071	22'5"	22'11"	23'6"	24'1"	24'8"	25'5"	26'3"	27'2"	28'3"	
2x8	0.226	0.074	27'5"	28'0"	28'8"	29'5"	30'2"	31'1"	32'1"	33'5"	34'7"	
2x9	0.320	0.077	30'1"	30'9"	31'6"	32'3"	33'2"	34'1"	35'3"	36'6"	37'11"	
2x10	0.390	0.092	33'4"	34'1"	34'11"	35'9"	36'8"	37'10"	38'0"	40'5"	42'1"	

**WALL PANEL WIDTH VS COLUMN HEIGHT DESIGN PRESSURE = 18 PSF**

SIZE	DIMENSION		WALL PANEL WIDTH VS COLUMN HEIGHT DESIGN PRESSURE = 18 PSF									
	Tf	TW	8'0"	7'0"	6'6"	6'0"	5'6"	5'0"	4'6"	4'0"		
2x2 H	0.050	0.050	4'9"	5'0"	5'2"	5'3"	5'5"	5'7"	5'9"	6'0"	6'2"	
2x2 S	0.050	0.050	5'4"	5'5"	5'7"	5'8"	5'10"	6'0"	6'3"	6'5"	6'7"	
2x3	0.050	0.050	7'4"	7'6"	7'8"	7'10"	8'1"	8'3"	8'7"	8'10"	9'3"	
2x4	0.055	0.055	9'5"	9'8"	9'10"	10'2"	10'5"	10'8"	11'0"	11'7"	11'11"	
2x5	0.055	0.055	12'2"	12'4"	12'9"	13'1"	13'5"	13'10"	14'3"	14'9"	15'4"	
2x6	0.130	0.055	14'8"	15'0"	15'4"	15'8"	16'2"	16'8"	17'2"	17'10"	18'6"	
2x7	0.153	0.071	18'5"	18'10"	19'4"	19'10"	20'4"	20'11"	21'7"	22'4"	23'3"	
2x8	0.226	0.074	22'7"	23'0"	23'7"	24'2"	24'10"	25'7"	26'5"	27'4"	28'5"	
2x9	0.320	0.077	24'9"	25'3"	25'11"	26'8"	27'3"	28'0"	29'0"	30'0"	31'2"	
2x10	0.390	0.092	27'5"	28'0"	28'9"	29'5"	30'3"	31'1"	32'1"	33'5"	34'7"	

**ROOF PANEL WIDTH VS BEAM SPAN MANSARD & HALF-MANSARD ONLY**

SIZE	DIMENSION		ROOF PANEL WIDTH VS BEAM SPAN MANSARD & HALF-MANSARD ONLY									
	Tf	TW	8'0"	7'0"	6'6"	6'0"	5'6"	5'0"	4'6"	4'0"		
2x2 S	0.050	0.050	7'5"	7'8"	7'11"	8'2"	8'7"	8'11"	9'4"	9'10"	10'6"	
2x3	0.050	0.050	9'9"	10'1"	10'5"	10'10"	11'3"	11'9"	12'4"	13'0"	13'10"	
2x4	0.055	0.055	12'4"	12'9"	13'5"	13'8"	14'3"	14'11"	15'8"	16'6"	17'6"	
2x5	0.055	0.055	14'10"	15'4"	15'11"	16'6"	17'2"	17'11"	18'9"	19'10"	21'0"	
2x6	0.130	0.055	19'7"	20'3"	20'11"	21'9"	22'8"	23'8"	24'9"	26'2"	27'9"	
2x7	0.153	0.071	25'7"	27'4"	28'4"	29'8"	30'10"	32'4"	34'1"	36'2"		
2x8	0.226	0.074	32'4"	33'4"	34'6"	35'10"	37'4"	39'0"	40'10"	43'1"	45'8"	
2x9	0.320	0.077	35'0"	36'2"	37'5"	38'10"	40'5"	42'4"	44'4"	46'8"	49'6"	
2x10	0.390	0.092	38'9"	40'0"	41'5"	43'0"	44'9"	46'9"	49'0"	51'8"	54'10"	



**WOOD FRAME/MASONRY WALL  
BEAM TO FASCIA/WALL DETAIL**

NOTE: FOR WOOD FRAMING, AT LEAST ONE OF THE LAG SCREWS MUST ANCHOR INTO A STUD IN THE WALL FRAMING.

**STANDARD MONOLITHIC FOOTER  
ISOLATED/ADD-ON FOOTER (CONT.)**

NOTE: ALL UPRIGHTS 2 x 5 AND LARGER REQUIRE A SECOND SET OF 2 x 2 ANGLES INSTALLED INSIDE THE 1 x 2 SCREEN FRAME AND AGAINST THE CONCRETE DECK, TO BE INSTALLED IN THE SAME MANNER AND WITH THE SAME SIZE FASTENERS.

**BEAM TO COLUMN TO FOUNDATION DETAIL**

NOTE: ANY OF THE ABOVE ATTACHMENT DETAILS CAN BE USED IN ANY COMBINATION, AS DETERMINED BY SPECIFIC JOB SITE CONDITIONS.

**GENERAL NOTES**

- DESIGN COMPLIES WITH THE FOLLOWING PARAMETERS AS SPECIFIED IN THE FLORIDA BUILDING CODE 2001:
  - A. WIND SPEED = 140 MPH
  - B. EXPOSURE CATEGORY = 'B'
  - C. DESIGN PRESSURES:
    - ROOF: 10 PSF
    - WALLS: 18 PSF
  - D. MAXIMUM ROOF HEIGHT = 30'0"
  - E. ALLOWABLE DEFLECTION = L / 80
  - F. CONTINUOUS LOAD PATH PROVIDED
- MATERIALS (UNLESS OTHERWISE SPECIFIED)
  - A. EXTRUSIONS - ALUMINUM ALLOY 6063-T6 & 3003-H16
  - B. FASTENERS - ALUMINUM ALLOY 2024-T4 & 7075-T6, CAD PLATED STEEL, HOT-DIPPED GALVANIZED STEEL OR 300 SERIES STAINLESS STEEL
  - C. SCREEN CLOTH - VINYL COATED, WOVEN FIBERGLASS, 60% OPEN OR GREATER
- BOLT AND SCREW FASTENINGS THROUGH AN OPEN EXTRUSION INTO SLAB, MASONRY OR WOOD FRAME WALL OR FASCIA MUST HAVE A 5/8\"/>
- WIND BRACING IS NOT REQUIRED WHEN AN ENCLOSURE IS FULLY SUPPORTED ON TWO SIDES BY THE HOUSE.
- ALL SPECIFIED TIE DOWN ANGLES ARE REQUIRED ONLY ON COLUMNS THAT ARE SUPPORTING STRUCTURAL BEAMS (UNLESS OTHERWISE SPECIFIED ON SITE-SPECIFIC ENGINEERING).
- SEE SITE SPECIFIC DRAWINGS FOR ACTUAL LOCATION OF WALL K-BRACING.
- ALL DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING.
- PRINTS OR COPIES THEREOF ARE VALID FOR BUILDING PERMIT PURPOSES ONLY WHEN BEARING THE ORIGINAL SIGNATURE OF THE ENGINEER OF RECORD UNDER HIS EMBOSSED SEAL.
- AS DEFINED IN SECTION #1804.1.4, ALL BUILDINGS NOT OVER ONE STORY IN HEIGHT AND LESS THAN 400 SQUARE FEET IN AREA ARE EXEMPT FROM ALL FOOTER / FOUNDATION REQUIREMENTS SPECIFIED IN SECTION #1804, SUBJECT TO APPROVAL BY THE BUILDING OFFICIAL OF THE MUNICIPALITY IN WHICH THE PERMIT IS BEING APPLIED FOR.

DWN: E. DOWDY  
 DATE: 2/28/02  
 APPROVED:  
 D. A. DOWDY, P.E.  
 DMC. NO. 02-140-XB  
 LAST REV. 11/24/03

**NOTE TO BUILDING OFFICIALS:**  
 THIS ENGINEERING IS ONLY VALID FOR BUILDING PERMIT PURPOSES WHEN IT BEARS THE ORIGINAL SIGNATURE AND RAISED / EMBOSSED SEAL FROM THE ENGINEER OF RECORD (PHOTOCOPIES ARE NOT TO BE ACCEPTED OR CONSIDERED AS VALID FOR PERMITTING)

**POOL / PATIO ENCLOS. WITH SCREEN ROOF**  
**140 MPH, EXP "B"**  
 SEAL

**B.D.Q., INC.**  
 8037 STIRRUP CAY CT.  
 BOYNTON BEACH, FL 33436  
 D. A. DOWDY, P.E.  
 FL REG. NO. 22763

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/23, 2004 Page      of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6501	BEAN	ELECTRIC RGH	FAIL	
9	112 S. SEWALL'S PT	FRAMING	FAIL	INSPECTOR: <i>[Signature]</i>
	DRIFTWOOD HOMES			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	CARLSON	TREE	PASS	
3	7 KINGSTON CT			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6391	WHITWELL	INSULATION	PASS	
2	1 MARQUERITA			INSPECTOR: <i>[Signature]</i>
	HEMINGWAY HOMES			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6682	MILORD.	TEMP POWER	PASS	
7	10 N. SEWALL'S PT. RD.	POLE		INSPECTOR: <i>[Signature]</i>
	MILORD.			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>6648</del>	<del>FENDER</del>	<del>FENCE INAC</del>		
	3 OAKWOOD DR	<del>SCREEN</del>	PASS	INSPECTOR: <i>[Signature]</i>
	PIONEER SCREEN			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

**6650**

**PAVER DECK**

**&**

**WALK**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 3/25/04

BUILDING PERMIT NO. 6650

Building to be erected for FENDER

Type of Permit PAVER DECK WALK

Applied for by US BRICK & BLOCK

(Contractor) Building Fee 8,100.00 - 9.60/1000 = 77.76

Subdivision OAKWOOD Lot 8 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 3 OAKWOOD DRIVE

Impact Fee \_\_\_\_\_

Type of structure PATIO

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:

Plumbing Fee \_\_\_\_\_

1338410090000008010000

Roofing Fee \_\_\_\_\_

Amount Paid 77.76 Check # 2159 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ 8,100.00

TOTAL Fees 77.76

Signed [Signature]

Signed [Signature]

Applicant

Town Building Official

### PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

### INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

RECEIVED  
DEC 11 2003

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Frank Fender Phone (Day) 772- (Fax) \_\_\_\_\_

Job Site Address: 3 Oakwood Drive City: Stuart State: Fl. Zip: 34996

Legal Description of Property: \_\_\_\_\_ Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: new brick paver pool patio and walkway

WILL OWNER BE THE CONTRACTOR?: Yes  No  (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: U.S. Brick and Block Phone: 954-792-0076 Fax: 954-792-5692

Street: 2701 Reese Road City: Davie State: Fl. Zip: 33314

State Registration Number: 050885 State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 8,100. (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ ScreenedPorch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
[Signature]  
State of Florida, County of: Martin  
This the 4 day of December, 2003  
by Frank Fender who is personally  
known to me or produced \_\_\_\_\_  
as identification. [Signature]

CONTRACTOR SIGNATURE (required)  
[Signature]  
On State of Florida, County of: \_\_\_\_\_  
This the 4 day of December, 2003  
by James Bind who is personally  
known to me or produced \_\_\_\_\_  
As identification. [Signature]

[Signature] Bridget Pitman  
Commission # DD 073356  
Expires Dec. 28, 2005  
Bridged Thru  
Atlantic Bonding Co., Inc.

[Signature] Bridget Pitman  
Commission # DD 073356  
Expires Dec. 28, 2005  
Bridged Thru  
Atlantic Bonding Co., Inc.

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2600.00

PERMIT # \_\_\_\_\_

TAX FOLIO # 13-38-41-009-000-00080-1

**NOTICE OF COMMENCEMENT**

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Oakwood Lot 8 - 3 Oakwood Dr Stuart 34996

GENERAL DESCRIPTION OF IMPROVEMENT: brick paver pool patio and walkway

OWNER: Frank and Sally Fender

ADDRESS: 3 Oakwood Drive

PHONE #: 772-287-9181 FAX #: \_\_\_\_\_

CONTRACTOR: U.S. Brick and Block Inc.

ADDRESS: 2701 Reese Road

PHONE #: 954-792-0076 FAX #: 954-792-5692

SURETY COMPANY (IF ANY) \_\_\_\_\_

ADDRESS: N/A

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: N/A

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

INSTR # 1716375  
OR BK 01849 PG 2421  
RECORDED 12/18/2003 11:46:00 AM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
RECORDED BY S Phoenix

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: N/A

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 4 DAY OF December

19 BY Frank Fender

[Signature]  
NOTARY SIGNATURE

PERSONALLY KNOWN \_\_\_\_\_  
PRODUCED ID \_\_\_\_\_  
TYPE OF ID, D



# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
3/18/04

<b>PRODUCER</b> Acordia Miami Division 3225 Aviation Ave, Suite 400 Coconut Grove, FL 33133	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.
<b>INSURED</b> U.S. Brick & Block Systems U.S. Transport, Inc. 2701 Reese Road Davie, FL 33314	<b>INSURERS AFFORDING COVERAGE</b> INSURER A: HARTFORD FIRE INS CO INSURER B: OHIO CASUALTY INSURANCE CO. INSURER C: INSURER D: INSURER E:

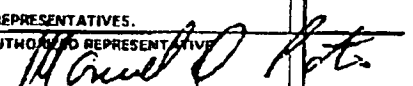
**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

OVER (TR)	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	21UUNUT9228	12/31/03	12/31/04	EACH OCCURRENCE \$ 1000000 FIRE DAMAGE (Any one fire) \$ 50000 MED EXP (Any one person) \$ 5000 PERSONAL & ADV INJURY \$ 1000000 GENERAL AGGREGATE \$ 2000000 PRODUCTS - COMP/OP AGG \$ 2000000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	21UUNUT9228	12/31/03	12/31/04	COMBINED SINGLE LIMIT (Per accident) \$ 1000000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
B	EXCESS LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$ 10000	EX0045277718 UMBRELLA	12/31/03	12/31/04	EACH OCCURRENCE \$ 10000000 AGGREGATE \$ 10000000
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS: DTH-ER EL EACH ACCIDENT \$ EL DISEASE - EA EMPLOYEE \$ EL DISEASE - POLICY LIMIT \$
A	OTHER BUS. PERS. PROP. RC SPECIAL FORM	21UUNUT9228	12/31/03	12/31/04	TV CONTENTS \$304,000. ** BI (BLANKET) \$300,000.

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

\*\*DED \$1000 AOP EXCEPT WIND/HAIL DED 3% APPLIES TO PREMISES & 5% APPLIES TO REMAINING SCHED. LOC. (INLAND MARINE CONTR. EQU.\$485,657.)

<b>CERTIFICATE HOLDER</b> SEWALL'S POINT 1 SOUTH SEAWALLS POINT ROAD SEWALL POINT, FL. 34996	<b>ADDITIONAL INSURED; INSURER LETTER:</b> CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
---	--


<b>ACORD CERTIFICATE OF LIABILITY INSURANCE</b>		OP ID ST <b>USBRI-1</b>	DATE (MM/DD/YYYY) <b>03/18/04</b>
PRODUCER <b>W. F. Roemer Insurance Agency</b> P.O. Box 190669 Ft. Lauderdale FL 33319-0669 Phone: 954-731-5566 Fax: 954-731-8438		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED  <b>U.S. Brick &amp; Block Systems Inc</b> 2701 Reece Road Davie FL 33314		INSURERS AFFORDING COVERAGE INSURER A: <b>AmComp Preferred Ins Co</b> INSURER B: INSURER C: INSURER D: INSURER E:	NAIC #

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	ADD'L LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
		GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	WCV7044335 00 01	04/16/03	04/16/04	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ <b>1,000,000</b> E.L. DISEASE - EA EMPLOYEE \$ <b>1,000,000</b> E.L. DISEASE - POLICY LIMIT \$ <b>1,000,000</b>
		OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS  
**FLORIDA OPERATIONS ONLY**

<b>CERTIFICATE HOLDER</b>  SEWAL-1  Town of Sewall's Point 1 S. Sewall's Point Road Sewall's Point FL 34996	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
---	--



U.S. BRICK AND BLOCK, SYSTEMS, INC.

FACSIMILE TRANSMITTAL SHEET

TO: <i>Carla</i>	FROM: <i>Sarah / Sally</i>
COMPANY: <i>Statewide</i>	DATE: <i>3/19/04</i>
FAX NUMBER:	TOTAL NO. OF PAGES INCLUDING COVER: <i>4</i>
PHONE NUMBER:	SENDER'S REFERENCE NUMBER:
RE: <i>Fenders</i>	YOUR REFERENCE NUMBER:

URGENT     FOR REVIEW     PLEASE COMMENT     PLEASE REPLY     PLEASE RECYCLE

NOTES/COMMENTS:

*I hope this is all the info you need in order to pick. I will put the original pick up letter in your box and the original certificate of insurance will be mailed.*

*Thanks!*

# ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
3/18/04

PRODUCER  
Acordia  
Miami Division  
3225 Aviation Ave, Suite 400  
Coconut Grove, FL 33133  
305-443-4886

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

### INSURERS AFFORDING COVERAGE

INSURED  
U.S. Brick & Block Systems  
U.S. Transport, Inc.  
2701 Reese Road  
Davie, FL 33314

INSURER A: HARTFORD FIRE INS CO  
INSURER B: OHIO CASUALTY INSURANCE CO.  
INSURER C:  
INSURER D:  
INSURER E:

### COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	21UUNUT9228	12/31/03	12/31/04	EACH OCCURRENCE	\$ 1000000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire)	\$ 50000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 5000
					PERSONAL & ADV INJURY	\$ 1000000
					GENERAL AGGREGATE	\$ 2000000
					PRODUCTS - COMP/OP AGG	\$ 2000000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC	
A	AUTOMOBILE LIABILITY	21UUNUT9228	12/31/03	12/31/04	COMBINED SINGLE LIMIT (Ea accident)	\$ 1000000
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	<input checked="" type="checkbox"/> HIRED AUTOS					
	<input checked="" type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
					AUTO ONLY: AGG	\$
B	EXCESS LIABILITY	EX0045277718 UMBRELLA	12/31/03	12/31/04	EACH OCCURRENCE	\$ 10000000
	<input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$ 10000000
	<input type="checkbox"/> DEDUCTIBLE					\$
	<input checked="" type="checkbox"/> RETENTION \$ 10000					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS	OTHE-ER
					E.L. EACH ACCIDENT	\$
					E.L. DISEASE - EA EMPLOYEE	\$
					E.L. DISEASE - POLICY LIMIT	\$
A	OTHER	21UUNUT9228	12/31/03	12/31/04	TIV CONTENTS \$304,000. ** BI (BLANKET) \$300,000.	
	BUS. PERS. PROP. RC SPECIAL FORM					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

\*\*DED \$1000 AOP EXCEPT WIND/HAIL DED 3% APPLIES TO PREMISES & 5% APPLIES TO REMAINING SCHED. LOC. (INLAND MARINE CONTR. EQU.\$485,657.)

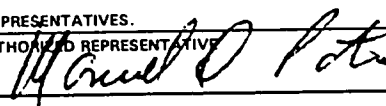
CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

### CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE



SEWALL'S POINT  
1 SOUTH SEAWALLS POINT ROAD  
SEWALL POINT, FL. 34996

# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID ST  
USBRI-1

DATE (MM/DD/YYYY)  
03/18/04

**PRODUCER**  
W. F. Roemer Insurance Agency  
P.O. Box 190669  
Ft. Lauderdale FL 33319-0669  
Phone: 954-731-5566 Fax: 954-731-8438

**INSURED**  
U.S. Brick & Block Systems Inc  
2701 Reece Road  
Davie FL 33314

**THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.**

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: AmComp Preferred Ins Co	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR/ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
		<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
		<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
		<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
<b>A</b>		<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	WCV7044335 00 01	04/16/03	04/16/04	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
		<b>OTHER</b>				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

FLORIDA OPERATIONS ONLY

**CERTIFICATE HOLDER**

SEWAL-1

Town of Sewall's Point  
1 S. Sewall's Point Road  
Sewall's Point FL 34996

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
*Richard H. Ochs*

**BROWARD COUNTY**  
 ENG. 3B MINOR ROADS  
 CCA 90-1220 P. 04-07553  
 BOND, JAMES S. - QUALIFYING  
 U.S. BRICK & BLOCK SYSTEMS INC  
 941 N. ST. RD. 7  
 PLANTATION FL 33317  
 EXPIRES 06/31/04 CTL# 6918



**CERTIFICATE OF COMPETENCY**

Detach and SIGN the reverse side of this card IMMEDIATELY upon receipt! You should carry this card with you at all times.

BOND, JAMES S  
 10431 N LAKE VISTA CIR  
 DAVIE FL 33328

**BROWARD COUNTY FLORIDA**  
**CERTIFICATE OF COMPETENCY**  
 ENG. 3B MINOR ROADS  
 CCA 90-1220 P. 04-07553  
 BOND, JAMES S. - QUALIFYING  
 U.S. BRICK & BLOCK SYSTEMS INC  
 941 N. ST. RD. 7  
 PLANTATION FL 33317  
 EXPIRES 06/31/04 CTL# 6918

4937



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783

(850) 487-1395

BOND, JAMES SCOTT  
U S BRICK & BLOCK SYSTEMS INC  
2701 REESE RD  
DAVIE FL 33314

STATE OF FLORIDA AC# 1015740  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CGC050885 08/19/03 030104458  
CERTIFIED GENERAL CONTRACTOR  
BOND, JAMES SCOTT  
U S BRICK & BLOCK SYSTEMS INC

IS CERTIFIED under the provisions of ch.489 FS.  
Expiration Date: AUG 31, 2004 L03081900153

DETACH HERE

ACA 1015740

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L03081900353

DATE	BATCH NUMBER	LICENSE NBR
08/19/2003	030104458	CGC050885

The GENERAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS  
Expiration date: AUG 31, 2004

BOND, JAMES SCOTT  
U S BRICK & BLOCK SYSTEMS INC  
2701 REESE RD  
DAVIE FL 33314

JEB BUSH  
GOVERNOR

DIANE CARR  
SECRETARY

DISPLAY AS REQUIRED BY LAW

**Town of Sewall's Point  
Building Department  
772-287-2455 ext 13  
772-220-4765 FAX**

# Fax

To: Sean Gray From: LAURA  
Fax: 561-354-0098 Date: 2/24/04  
Phone: \_\_\_\_\_ Pages: \_\_\_\_\_  
Re: FENDER - 3 OAKWOOD CC: \_\_\_\_\_  
 Urgent     For Review     Please Comment     Please Reply     Please Recycle

CRITIQUE STATES:

INITIAL REVIEW INCOMPLETE - NEED  
SURVEY TO IDENTIFY IMPERVIOUS/PERVIOUS  
CALCULATION - (SEE ATTACHED  
SUBMISSION WITHOUT)

## **PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITALS FOR SWIMMING POOL AND DECK**

**IMPORTANT NOTICE:** All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

**Application form must contain the following information:**

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Architects or Engineers name, address, & phone number
6. Scope of Work
7. Estimated cost of construction.
8. Original signature of owner and notarized
9. Original signature of Contractor and notarized.

### **Submittals (2 copies)**

1. Current survey showing the following information:
  - a. Legal Description of Lot
  - b. Lot dimensions and bearings
  - c. Street and Waterway names
  - d. Location of pool and or spa with dimensions from property line
  - e. Location of pool/spa equipment with disconnect
  - f. Finish deck elevations (proposed and existing)
  - g. Location of proposed or existing deck with dimensions from property line
  - h. Crown of road(s)
  - i. Easements
  - j. Road Right-Of-Ways
  - k. Canals, Ponds, or Riverfront locations
  - l. Impervious/Pervious Calculations
  - m. Certification to the Town Of Sewall's Point
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. Application for tree removal or relocation (attach tree survey and removal or relocation plan)
5. A certified copy of the Notice of Commencement for any work over \$2500.00
6. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
7. Copy of Workmen's Compensation
8. Copy of Liability Insurance
9. Copy of Town of Sewall's Point swimming pool affidavit stating type of barrier to be provided

**The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)**

**1. Construction plans containing the following information:**

Pool dimensions

Volume in gallons

Specific pool profile showing depth and slope

Typical pool wall section. Indicate when in the angle of repose

Provide angle of repose detail when required

Provide vapor barrier for all concrete decks

Provide pump make, model and capacity

Piping diagram to contain the following:

Suctions inlet covers

Vacuum cleaner system with isolation valves must have protected outlet by either approved antivortex cover, 12" x 12" grate or larger or other approved means

Back up system when grate covers are missing alternative vacuum relief devices shall include either:

Approved vacuum release system

Approved vent piping

Other approved devices or means

Minimum two (2) suction inlets per pumps. Minimum three (3) feet separation and located on two (2) different planes.

Vacuum or pressure cleaner fitting(s) must be accessible at least six (6) inches and not greater than twelve (12) inches below the minimum operating water level or as an attachment to the skimmer(s)

Pump must contain the following:

Strainer on inlet side must be mounted on a substantial base

Capacity following heads:

Pressure diatomaceous earth – at least sixty (60) feet

Vacuum diatomaceous earth – twenty (20) inch Vacuum on the suction side and forth (40) feet total head

Rapid sand – at least forty-five (45) feet

High rate sand – at least sixty (60) feet

Valves must have the following:

When under concrete slab must be located in a pit minimum five (5) pipe diameter minimum of then (10) inches with cover.

Full-way (gate) valves – When below overflow rim of pool a valve must be installed on discharge outlet and suction line.

Check valves must be of the swing or vertical check patterns.

Water Supply must have the following:

Backflow

No over the rim fill spout unless under diving board or guarded.

Water heating equipment must have the following:

Labeled equipment

Water retention – must provide positive means of retaining water in the heater when pump is not in operation

Relief valve – closed system must have pressure relief valve on discharge side



Florida Energy Code – Section 612.1.ABC.2.3

On-off switch required

Cover designed to minimize heat loss

Time clocks – run during off-peak electric demand periods

Provide Pool Barrier

Ladders and Steps

Water depth more than 24 inches must have ladder or steps (ma. step rise 12 inches)

More than 5 foot depth must have ladders, stairs or underwater benches/swimouts in deep end

If diving equipment is used swimouts must be recessed or located in the corner

Show ladder detail. Detail electric bonding and compliance to NEC

Skimmers must contain the following:

Surface skimmers are required

One (1) per 1000 square feet of surface area

Minimum Flow rate of 25 GPM per skimmer

Main outlet must be installed at the deepest point

Inlet Fitting must contain the following:

One per 150000 gallons

Where more than one (1) is required must be a minimum of 10 feet separation

Show side detail with electric bonding and compliance to manufacturer specifications

Show handhold locations when required

Provide Electric diagram

Provide GFI outlet located per NEC

Equipment Foundation and Enclosures

Must be on one (1) concrete base or slab

All heating and electrical equipment must be protected from the weather

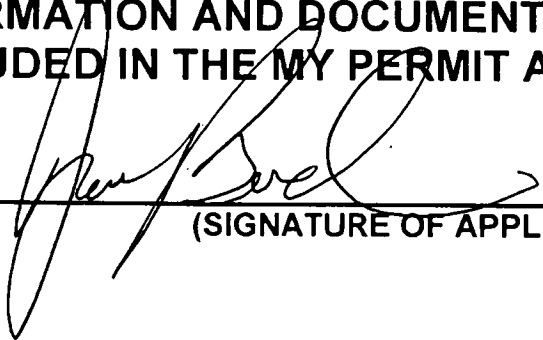
Pool Deck

Foundation or thicken edge section showing thickness of deck and what material is to be used

Step details showing tread and riser dimensions as well as handrails with height and spacing of balusters

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE  
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**

67



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## RESIDENTIAL SWIMMING POOLS, SPA AND HOT TUB SAFETY ACT

### AFFIDAVIT OF REQUIREMENT COMPLINACE

I (We) acknowledge that a new swimming pool, spa or hot tub has been constructed or installed at \_\_\_\_\_, and hereby affirm that one of the following methods has been used to meet the requirements of Chapter 515, Florida Statues.

- \_\_\_\_\_ The pool is isolated from access to the home by an enclosure that meets the pool barrier requirements of Florida Statue 515.29
- \_\_\_\_\_ The pool is equipped with an approved safety pool cover that complies with ASTM F1346-91 (Stand Performance Specification for Safety Covers for Swimming Pool, Spas, and Hot Tubs)
- \_\_\_\_\_ All doors and windows providing direct access from the home to the pool are equipped with an exit alarm that has a minimum sound pressure rating of 85 decibels at 10 feet
- \_\_\_\_\_ All doors providing direct access from the home to the pool are equipped with self-closing, self-latching devices with release mechanisms placed no lower than 54" above the floor or deck

I understand that not having one of the above installed at the time of final inspection, or when the pool is completed for contract purposes, will constitute a violation of Chapter 515, F.S. and will be considered as committing a misdemeanor of the second degree, punishable by fines up to \$500 and/or up to 60 days in jail as established in Chapter 775, F.S.

CONTRACTOR'S SIGNATURE & DATE

*[Handwritten Signature]*

NOTARY PUBLIC, STATE OF FLORIDA



Sonia Gonzalez  
Commission # DD264687  
Expires: Nov. 4, 2007  
Bonded Thru  
Atlantic Bonding Co., Inc.

AS TO CONTRACTOR PERSONALLY KNOWN  
OR PRODUCED ID \_\_\_\_\_  
TYPE \_\_\_\_\_

OWNER'S SIGNATURE & DATE

*[Handwritten Signature]*

NOTARY PUBLIC, STATE OF FLORIDA



Sonia Gonzalez  
Commission # DD264687  
Expires: Nov. 4, 2007  
Bonded Thru  
Atlantic Bonding Co., Inc.

AS TO OWNER PERSONALLY KNOWN  
OR PRODUCED ID \_\_\_\_\_  
TYPE \_\_\_\_\_

**THIS FORM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO FINAL INSPECTION**





## Application Guide for Interlocking Concrete Pavements

*This technical bulletin provides an overview of interlocking concrete pavements for a range of applications. The Interlocking Concrete Pavement Institute (ICPI) publishes other technical bulletins, brochures, design manuals, and software that address many of the applications in greater detail.*

### Product Description

**Applications:** Interlocking concrete pavements are appropriate for any application that requires paving. These areas include patios, driveways, pool decks, sidewalks, parking lots, pedestrian plazas, roof

plaza decks, roof ballast, roof parking decks, embankment stabilization, gas stations, medians, streets, industrial pavements, ports, and airports.

### Composition and Materials:

Interlocking concrete pavers are composed of portland cement, fine and coarse aggregates. Color is often added. Admixtures are typically placed in the concrete mix to reduce efflorescence. These materials are combined with a small amount of water to make a "zero slump" concrete. Pavers are made in factory-controlled conditions with machines that apply pressure and vibration. The result is a consistent, dense, high strength concrete that can be molded into many shapes. Special surface finishes can be produced to give an

upscale architectural appearance. These include unique aggregates, colors, shot blasting, bush hammering, and polishing.

### Technical Data

**Physical Characteristics:** When manufactured in the U.S., interlocking concrete pavers made by ICPI members typically meet the requirements in ASTM C 936-96, Standard Specifications for Solid Interlocking Concrete Paving Units.

Concrete pavers produced by Canadian ICPI members typically conform to the standard published by the Canadian Standards Association, CSA-A231.2-95, Precast Concrete Pavers.

**Applications Standards:** For pedestrian applications and residential driveways, 2<sup>3</sup>/<sub>8</sub> in. (60 mm) thick pavers are recommended. Pavements subject to vehicular traffic typically require pavers that are 3<sup>1</sup>/<sub>8</sub> in. (80 mm) thick.

Interlocking concrete pavements are typically constructed as flexible pavements on a compacted soil subgrade and compacted aggregate base. Concrete pavers are then placed on a thin layer of bedding sand (1 to 1<sup>1</sup>/<sub>2</sub> in. or 25 to 40 mm), compacted, sand swept into the joints, and the units compacted again. When compacted, the pavers interlock, transferring vertical loads from vehicles to surrounding pavers by shear forces through the joint sand. The sand in the joints enables applied loads to be spread in a manner similar to asphalt, reducing the stresses on the base and subgrade.

**Benefits:** As interlocking concrete pavements receive traffic, they stiffen and increase their structural capacity over time. *The structural contribution of the interlocking pavers and sand layer can exceed that of an equivalent thickness of asphalt.* The interlock contributes to the structural performance of the pavement system.

Concrete pavers do not require time to cure. They arrive at the site ready to install, ready for traffic immediately after paving. This can reduce construc-

Interlocking concrete pavements are typically constructed as flexible pavements on a compacted soil subgrade and compacted aggregate base.

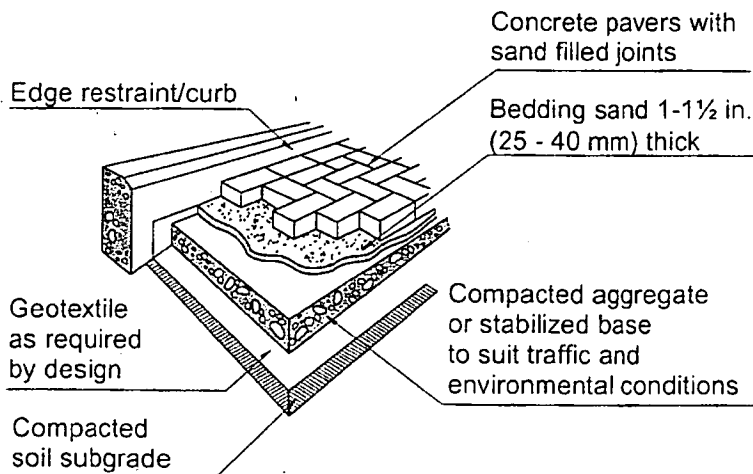


Figure 1. Typical components of an interlocking concrete pavement system.

## APPLICATIONS

- Patios
- Terraces
- Pool Decks
- Roof Gardens
- Beach Promenades
- Sidewalks
- Streets
- Golf Cart Paths
- Pedestrian Malls
- Entrance Areas
- Driveways
- Parking Lots
- Gas Stations
- Bridge Underpasses
- Highway Rest Areas
- Shore Fortifications
- Median Strips
- Industrial Yards
- Container Ports

## COMPOSITION AND MANUFACTURE

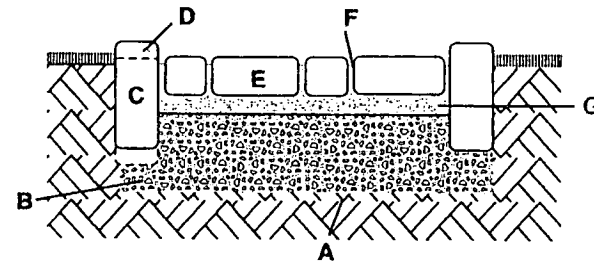
Pavers by PaverModule are made from no-slump concrete mix, manufactured under extreme pressure, high frequency vibration and cured in a controlled environment, which explains their incredible strength and durability.

Our Pavers Have The Following Characteristics:

- 8000 PSI Minimum Compressive Strength
- 5% Water Absorption Maximum
- Excellent Abrasion Resistance (method C-418)

Our pavers meet or exceed the standard specification for "Solid Concrete Interlocking Paving Units" ASTM Designation C936-82.

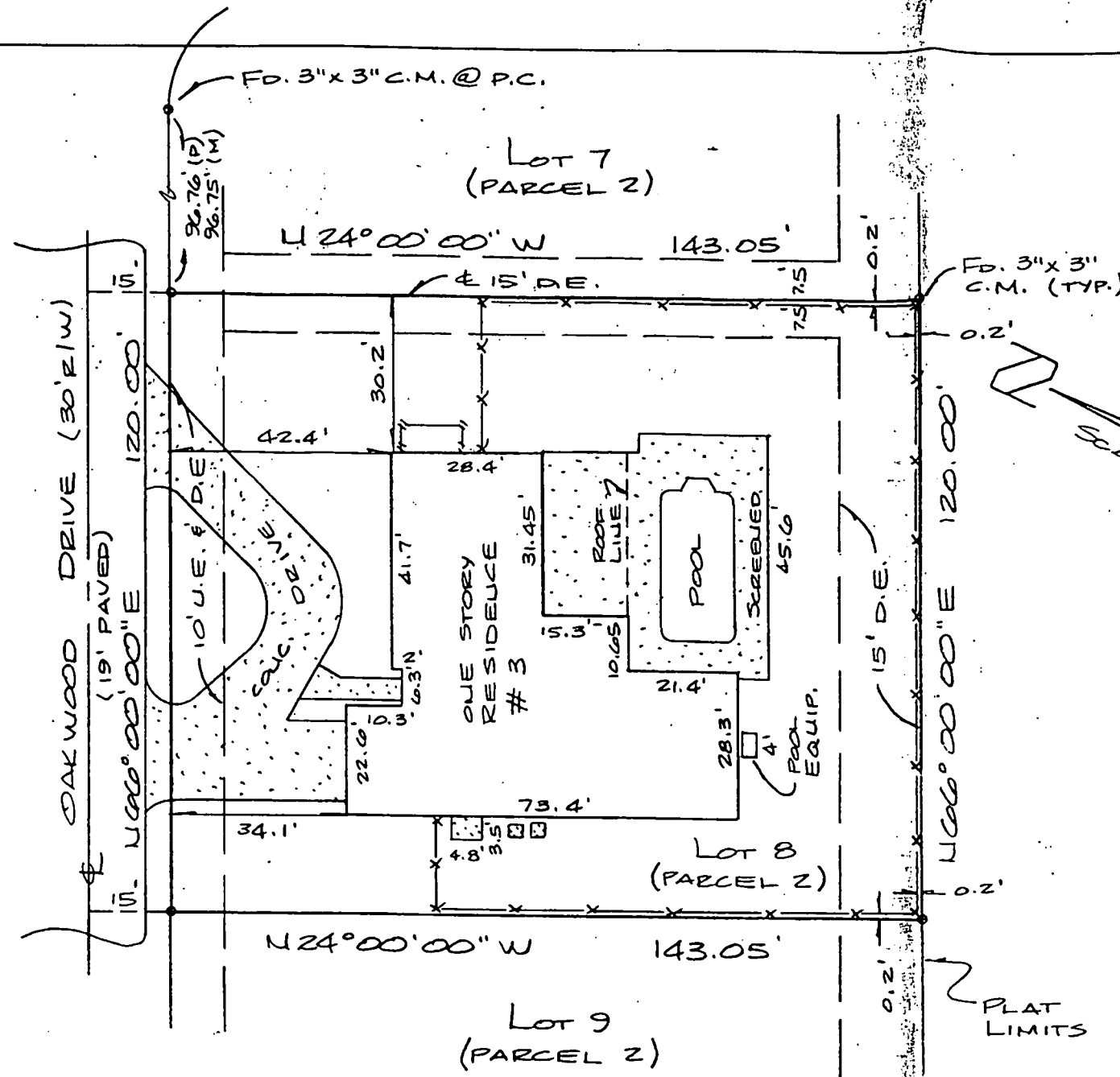
## TYPICAL CROSS SECTION OF MODULAR PAVER INSTALLATION



- A - Sub-Base: Existing Compacted Soil
  - B - Base: Leveled And Compacted Material
  - C - Curb Edge Restraint
  - D - Curb: Optional Height
  - E - Pavers: By PaverModule
  - F - Joints: Filled With Builders Sand
  - G - Bedding: 1" Clean Builders Sand Or Screening
- Refer to the Technical Installation Sheet for detailed instructions.



**PAVERMODULE**  
Your Best Paver Choice



LEGEND			
-//--	WOOD FENCE	△	CENTRAL ANGLE/DELTA ANGLE
-x-x-	METAL FENCE	D.B.	DEED BOOK
F.N.	FOUND NAIL	D.	DESCRIPTION OR DEED
●	FOUND MONUMENTATION	D.H.	DRILL HOLE
R.	RECORD	D/W	DRIVEWAY
M	FIELD MEASURED	ESMT	EASEMENT
C	CALCULATED	EL.	ELEVATION
CL	CLEAR	F.F.	FINISHED FLOOR
ENCR	ENCROACHMENT	F.C.M.	FOUND CONCRETE MONUMENT
CL	CENTERLINE	F.P.K.	FOUND PARKER-KALON NAIL
CONC	CONCRETE	A	ARC LENGTH
BL	BOUNDARY LINE	L.A.E.	LIMITED ACCESS EASEMENT
C.M.	CONCRETE MONUMENT	M.H.	MANHOLE
F.I.R.	FOUND IRON ROD	N.T.S.	NOT TO SCALE
F.I.P.	FOUND IRON PIPE	O.R.	OFFICIAL RECORDS
R/W	RIGHT OF WAY	O.R.B.	OFFICIAL RECORDS BOOK
N&D	NAIL & DISK	P.C.P.	PERMANENT CONTROL POINT
D.E.	DRAINAGE EASEMENT	P.R.M.	PERMANENT REFERENCE MONUMENT
U.E.	UTILITY EASEMENT	PG.	PAGE
FD.	FOUND	PVMT.	PAVEMENT
P	PLAT	P.B.	PLAT BOOK
A/V/V	ASPHALT	P.O.B.	POINT OF BEGINNING
O.H.W.	OVERHEAD WIRES	P.O.C.	POINT OF COMMENCEMENT
P.P.	POWER POLE	P.O.L.	POINT OF LINE
TX	TRANSFORMER	P.C.	POINT OF CURVATURE
CATV	CABLE RISER	P.R.C.	POINT OF REVERSE CURVATURE
W.M.	WATER METER	P.T.	POINT OF TANGENCY
TEL.	TELEPHONE FACILITIES	R.	RADIUS (RADIAL)
CA	COVERED AREA	R.O.E.	ROOF OVERHANG EASEMENT
B.R.	BEARING REFERENCE	S.I.R.	SET OF IRON ROD & CAP
CH	CHORD	SW	SIDEWALK
RAD	RADIAL	T.O.B.	TOP OF BANK
N.R.	NON RADIAL	TY.P.	TYPICAL
A/C	AIR CONDITIONER	W.C.	WITNESS CORNER
B.M.	BENCH MARK	10.50	EXISTING ELEVATION
C.B.	CATCH BASIN	E.O.W.	EDGE OF WATER
S.S.	SHIPSPIKE	I.E.E.	INGRESS & EGRESS EASEMENT
⊙	AT	P.C.C.	POINT OF COMPOUND CURVATURE
		&/&	AND

- GENERAL NOTES:**
- LEGAL DESCRIPTION PROVIDED BY OTHERS
  - THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER ENCUMBRANCES NOT SHOWN ON THE PLAT.
  - UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
  - WALL TIES ARE TO THE FACE OF THE WALL.
  - ONLY VISIBLE ENCROACHMENTS LOCATED.
  - NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
  - DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
  - FENCE OWNERSHIP NOT DETERMINED
  - ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. 1929 UNLESS OTHERWISE NOTED.
  - BEARINGS REFERENCED TO LINE NOTED AS B.R.
  - THIS IS A **BOUNDARY SURVEY** UNLESS OTHERWISE NOTED.
  - NOT VALID UNLESS SEALED WITH THE SIGNING SURVEYORS EMBOSSED SEAL.

SIGNED  STATE OF FLORIDA  
 CLYDE O. MCNEAL PROFESSIONAL SURVEYOR AND MAPPER  
 NO. 2883

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION.

**Legal Description**

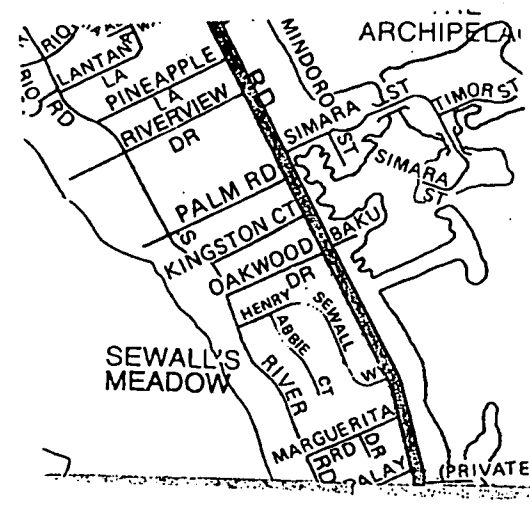
Lot 8, OAKWOOD SUBDIVISION, TOWN OF SEWELL'S POINT, a Re-Subdivision of Lot 1, Miles or Hanson Grant, Plat Book "B", Page 59, Dade (Now Martin) County, Florida, recorded in Plat Book 10, Page 1, Martin County, Florida, Public Records, re-filed and refiled and recorded in Plat Book 8, Page 53, MARTIN County, Florida.

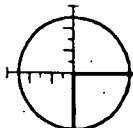
Community Number: 120164 Panel: 0002  
 Suffix: D F.I.R.M. Date: 6/16/92 Flood Zone: A8  
 Field Work: 5/7/2003

**Certified To:**  
~~FRANK A. FENDER, JILL AND SALLY PADGETT,~~  
 SUNBELT TITLE AGENCY; FIRST AMERICAN TITLE INSURANCE COMPANY; ABN AMRO MORTGAGE GROUP, INC., its successors and/or assigns.

**Property Address:**  
~~3 OAKWOOD DRIVE~~  
 STUART, Florida 34996

Survey Number: W-66239




 SERVING  
 DADE • BROWARD • PALM BEACH  
 MARTIN • ST. LUCIE  
 LB6135 COUNTIES  
**TARGET SURVEYING, INC.**  
 STATEWIDE NUMBERS  
 PHONE (800) 226-4807 • FACSIMILE (800) 741-0576  
 2500 METROCENTRE BOULEVARD, SUITE 8  
 WEST PALM BEACH, FLORIDA 33407  
 (561) 640-4800 • FACSIMILE (561) 640-0576



6650

# TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

## CORRECTION NOTICE

ADDRESS: 3 OAKWOOD DR.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

POOL DECK.

NO PLANS OR PERMIT POSTED

\$40 FEE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/12

[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**







6650

## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 3 OAKWOOD

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

POOL PAVER FINAL

EVERYTHING IS IN ORDER AND PASSED FINAL INSPECTION, HOWEVER, NO PERMIT WAS WITH ALL THE PAPERWORK - PLEASE BRING TO BUILDING DEPT. AND WE WILL SIGN-OFF SO YOU MAY RETAIN W/ YOUR RECORDS.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/14

  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9/14, 20024 Page 3 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6520	HIMES	TIN TAB	PASS	
7	113 HENRY SEWALLS WY WINCHIP			INSPECTOR: <i>[Signature]</i>
<del>6650</del>	<del>MIC FENNER</del>	<del>POOL COVER</del>	<del>PASS</del>	<del>[Signature]</del>
	3 OAKWOOD			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

**8365**

**REROOF**

Martin County #SP01

MASTER PERMIT NO. 200601B

TOWN OF SEWALL'S POINT

Receipt

Date 8-23-06

BUILDING PERMIT NO. 8365

Building to be erected for Fender

Type of Permit Reroof

Applied for by JA Taylor Roofing

(Contractor) Building Fee

Subdivision Oakwood Lot 8

Block Radon Fee

X Address 3 Oakwood Dr

Impact Fee

Type of structure SFR

A/C Fee

Electrical Fee

Parcel Control Number:

Plumbing Fee

1338-41-009-000-0008-01000

Roofing Fee 120-

Amount Paid \$120- Check #39528 Cash

Other Fees ( )

Total Construction Cost \$ 41260-

TOTAL Fees 120-

Signed Lisha Taylor

Applicant

Signed Valuedmeyer

Town Building Official Dept Clerk



Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: FRANK FENDER Phone (Day) 287-9681 (Fax) \_\_\_\_\_

Site Address: 3 OAKWOOD DRIVE City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) OAKWOOD LOT 8 Parcel Number: 13-38-41-009-000-00080-1

Owner Address (if different): SAME City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: TEAR-OFF REDECK REROOF w/ METAL

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 41,260.-

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: JA TAYLOR ROOFING Phone: 772-466-4048 Fax: 772-468-8397

Street: 302 MELTON DRIVE City: FT. PIERCE State: FL Zip: 34982

State Registration Number: CC-C1325720 State Certification Number: CC-C1325720 Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) [Signature]

State of Florida, County of: ST. LUCIE This the 9 day of August, 2006 by FRANK FENDER who is personally known to me or produced Drivers License as identification. Karen S. Nielsen

Notary Public My Commission Expires: 06-12-2010

CONTRACTOR SIGNATURE (required) [Signature]

On State of Florida, County of: ST. LUCIE This the 9 day of August, 2006 by CHAD TAYLOR who is personally known to me or produced as identification. Karen S. Nielsen

Notary Public My Commission Expires: 06-12-2010

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY

Seal Notary Public Karen S. Nielsen Commission # DD551441 My Comm. Expires: 06/12/2010

Seal Notary Public Karen S. Nielsen Commission # DD551441 My Comm. Expires: 06/12/2010



# MARTIN COUNTY BUILDING PERMIT

**CARD MUST BE DISPLAYED IN A PROMINENT PLACE ON THE FRONT OF THE PREMISES WITHIN VIEW OF THE STREET BEFORE WORK IS STARTED.**

Permit Number:	SP01 - 20060113
Permit Type:	SEWALLS POINT
Date Issued:	18-AUG-2006
Project:	
Scope of Work:	Tear-off redeck reroof with metal

Applicant/Contact:	TAYLOR, CHAD G /		
Parcel Control Number:	13-38-41-009-000-0008.0-10000		
Subdivision:	OAKWOOD		
Construction Address:	OAKWOOD DR		
Location Description:	3 OAKWOOD DRIVE		
Owner Name:	FENDER, FRANK A		
Prime Contractor:	TAYLOR, CHAD G 302 MELTON DR FORT PIERCE, FL 34982	J A TAYLOR ROOFING INC 772-466-4040	License No.: CCC1325720

In consideration of the granting of this permit, it is agreed that in all respects the work will be performed and completed in accordance with the permitted plans and the applicable codes for Martin County, Florida. This permit may be revoked at any time upon the violation of any of the provisions of said laws, ordinances or rules and regulations or upon any change in the plans and specifications unauthorized by this department. Permit expires one hundred eighty (180) days from the date of issuance if work is not started or if work is suspended for a period of six months. Per FBC Section 3305, sanitary facilities shall be provided during construction, remodeling, or demolition activities.

"NOTICE: IN ACCORDANCE TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES."

**"WARNING TO OWNER; YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**  
**A CERTIFIED COPY OF RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE ISSUING AUTHORITY PRIOR TO THE FIRST INSPECTION.**

ALL REINSPECTIONS OR ADDITIONAL INSPECTIONS WILL BE CHARGED AT A RATE ESTABLISHED BY THE BOARD OF COUNTY COMMISSION. NOTICE: DO NOT ORDER CONCRETE UNTIL INSPECTION IS APPROVED.

UPON COMPLETION OF WORK, A FINAL INSPECTION MUST BE CALLED FOR BY THE CONTRACTOR. FAILURE TO DO SO WILL RESULT IN A DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR.

### INSPECTIONS

Phone 221-2364 (interactive voice) or 288-5489 for inspections. 24 hour notice is required.  
The inspections listed below may not represent all necessary required inspections for the scope of work.

6099 Residential Final \_\_\_\_\_ 6051 R/Sheath \_\_\_\_\_

**MARTIN COUNTY  
BUILDING PERMIT CONDITIONS**

**Conditions**

1. PLAN REVIEW COMMENTS

- 1. Use current 2004 reroof form
  - 2. Need letter from Eng./Arch. saying how plywood should be attached and how it was inspected. Call out fasteners and spacing.
-

MARTIN COUNTY REROOF CERTIFICATION

PERMIT # \_\_\_\_\_

CONTRACTOR'S NAME: JA TAYLOR ROOFING PHONE #: (772-466-4040) FAX: (772-468-8397)

OWNER'S NAME: FRANK FENDER

CONSTRUCTION ADDRESS: 3 OAKWOOD DRIVE CITY STUART STATE FL.

REROOF:  RESIDENTIAL (SINGLE FAMILY)  COMMERCIAL/MULTI-FAMILY \*\*-REMOVE/REINSTALL ROOF TOP HVAC EQUIP.  YES  NO  DISCONNECT/RECONNECT HVAC ELECTRIC  YES  NO  
\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) WITH PERMIT APPLICATION

ROOF TYPE:  HIP  BOSTON-HIP  GABLE  FLAT  OTHER  
ROOF PITCH: 6 /12 SLOPE  
ROOF DECK:\*  SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED SHEATHING) - REQUIRES A FLORIDA REGISTERED ENGINEER'S WRITTEN SPECIFICATIONS AND PLANS WITH DETAILS DESCRIBING ATTACHMENT REQUIREMENTS (NAIL OR SCREW LENGTH AND FASTENING PATTERN INTO FRAMING MEMBERS.) SPECIFICATIONS SHALL BE SUBMITTED AT TIME OF ROOFING PERMIT APPLICATION.  
 RE-SHEATH - (REMOVAL OF SPACED SHEATHING FOR APPLICATION OF PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN

EXISTING ROOF COVERING: CEDAR SHAKE EXISTING COVERING TO BE REMOVED?  YES  NO

PROPOSED ROOF COVERING: 1 3/4" Standing Seam Metal

MANUFACTURER ENGLERT PRODUCT NAME SERIES 2000 PRODUCT APPR # FL-4800-13

(APPROVED ROOF COVERING MATERIAL FROM MARTIN COUNTY'S APPROVED ROOF COVERING LIST) MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION. \*NOTE: ANY REROOFING CATEGORIES ABOVE WITH AN ASTERISK\* WILL REQUIRE THE PERMIT PACKAGE TO BE REVIEWED BY MARTIN COUNTY BUILDING DEPARTMENT. ALL OTHER CATEGORIES OF REROOFING WILL BE PERMITTED OVER THE COUNTER.

PROPOSED FLASHING:  GALV./STEEL  ALUMINUM  COPPER  LEAD COPPER  OTHER

RIDGEVENT TO BE INSTALLED:  YES  NO  
DESCRIPTION OF WORK: Remove existing Cedar Shake. Fill in Sheathing as required  
INSTALL 1 3/4" Standing Seam Metal Roof Panels. Replace (2) existing  
skylights.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR [Signature]

DATE: 8.16.2005



# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID LW  
JATAY-1

DATE (MM/DD/YYYY)  
05/15/06

<b>PRODUCER</b>  HARBOR INSURANCE AGENCY 2222 Colonial Road, Suite 100 Fort Pierce FL 34950-5309 Phone: 772-461-6040 Fax: 772-460-2315	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
	<b>INSURERS AFFORDING COVERAGE</b>	<b>NAIC #</b>
<b>INSURED</b>  J A Taylor Roofing Inc Taylor Made Metals 302 Melton Drive Fort Pierce FL 34982	INSURER A: North Pointe Insurance	
	INSURER B: Bridgefield Employers Ins Co	
	INSURER C:	
	INSURER D:	
	INSURER E:	

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Broad Form PD GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	2094107974	01/01/06	01/01/07	EACH OCCURRENCE	\$ 1,000,000
						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
						MED EXP (Any one person)	\$ 5,000
						PERSONAL & ADV INJURY	\$ 1,000,000
						GENERAL AGGREGATE	\$ 2,000,000
						PRODUCTS - COMP/OP AGG	\$ 2,000,000
A		<b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	2094107974	01/01/06	01/01/07	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
						BODILY INJURY (Per person)	\$
						BODILY INJURY (Per accident)	\$
						PROPERTY DAMAGE (Per accident)	\$
		<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
						OTHER THAN EA ACC	\$
						AUTO ONLY: AGG	\$
A		<b>EXCESS/UMBRELLA LIABILITY</b> <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$10,000	209411064502	01/01/06	01/01/07	EACH OCCURRENCE	\$ 1,000,000
						AGGREGATE	\$ 1,000,000
							\$
							\$
							\$
B		<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	0830-36318	05/19/06	05/19/07	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER	
						E.L. EACH ACCIDENT	\$ 500,000
						E.L. DISEASE - EA EMPLOYEE	\$ 500,000
						E.L. DISEASE - POLICY LIMIT	\$ 500,000
		OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

## CERTIFICATE HOLDER

SEWAL-1

Town of Sewalls Point  
 Fax: 772 220 4765  
 1 South Sewalls Point Road  
 Stuart FL 34996

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Cindy McCall

*Cindy J. McCall*



STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04061400552

DATE	BATCH NUMBER	LICENSE NBR
6/14/2004	030719245	CCC1325895

The ROOFING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

WHITE, KYLE L  
J.A. TAYLOR ROOFING, INC.  
302 MELTON DRIVE  
FT PIERCE FL 34982

JEB BUSH  
GOVERNOR

DIANE CARR  
SECRETARY

DISPLAY AS REQUIRED BY LAW

1448348

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04061400551

DATE	BATCH NUMBER	LICENSE NBR
14/2004	030719236	CCC1325720

ROOFING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

TAYLOR, CHAD GEROME  
A TAYLOR ROOFING INC  
0 FRENCH CREEK LANE  
FT PIERCE FL 34982

JEB BUSH  
GOVERNOR

DIANE CARR  
SECRETARY

DISPLAY AS REQUIRED BY LAW



Martin County, Florida  
Laurel Kelly, C.F.A

Site Provided by...  
governmentmax.com T1.14

### Summary

print | | | | | Address  
1 of 1

#### Parcel Info

##### Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-009-000-00080-1	3 OAKWOOD DR	27846	Address	0	1

##### Summary

**Property Location** 3 OAKWOOD DR  
**Tax District** 2200 Sewall's Point  
**Account #** 27846  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120400  
**Acres**

**Legal Description**  
**Property Information**  
 OAKWOOD LOT 8

#### Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
 FENDER, FRANK A

**Assessment Info**  
**Front Ft.** 0.00

**Mail Information**  
 3 OAKWOOD DR  
 STUART FL 34996-6330

**Market Land Value** \$275,000  
**Market Impr Value** \$252,310  
**Market Total Value** \$527,310

#### Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
**Sale Amount** \$370,000

**Sale Date** 5/29/2003  
**Book/Page** 1779 0317

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 07/25/2006



RE-ROOF (Revised 12/28/05)

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS  
FOR RE-ROOF

**IMPORTANT NOTICE:** All items listed below must accompany your permit application.  
No application will be accepted unless all items that are applicable are submitted.

**Application form must contain the following information:**

1. Property Appraiser's parcel number or property control number
2. Legal description of property (can be found on your deed, survey or tax bill)
3. Contractor's name, address, phone, fax and license numbers.
4. Name all sub-contractors (properly licensed) N/A
5. Architect or engineer name, address, & phone number. N/A
6. Scope of work
7. Estimated cost of construction.
8. Original signature of owner, notarized
9. Original signature of contractor, notarized.

**Submittals (2 copies)**

1. Product approvals from Miami/Dade or from any testing institute approved by the Florida Building Code for the following items:
  - a. Roof System
2. Statement of fact (owner/builder affidavit) N/A
3. Proof of ownership (deed or tax recpt.) N/A
4. A certified copy of the Notice of Commencement for any work over \$2500.00
5. Copy of license (either Martin County Certificate of Competency or state certified or registered contractor license) -- ON FILE
6. Copy of certificate of workmen's compensation insurance or exemption -- ON FILE
7. Copy of certificate of liability insurance -- ON FILE

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE  
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**

  
\_\_\_\_\_  
(SIGNATURE OF APPLICANT)

DATE SUBMITTED: \_\_\_\_\_

MARTIN COUNTY REROOF CERTIFICATION

PERMIT # \_\_\_\_\_

CONTRACTOR'S NAME: JA TAYLOR ROOFING PHONE: 772-466-4040 FAX: 772-468-8397

OWNER'S NAME: FRANK FENDER

CONSTRUCTION ADDRESS: 3 OAKWOOD DR. CITY: STUART STATE: FL.

REROOF:  RESIDENTIAL(SINGLE FAMILY)

\_\_\_\_ COMMERCIAL/MULTI-FAMILY \*\*--REMOVE/REINSTALL ROOF TOP HVAC EQUIP \_\_\_\_ YES \_\_\_\_ NO  
\*\*...DISCONNECT/RECONNECT HVAC ELECTRIC \_\_\_\_ YES \_\_\_\_ NO  
\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

ROOF TYPE: \_\_\_\_ HIP \_\_\_\_ BOSTON-HIP  GABLE \_\_\_\_ FLAT \_\_\_\_ OTHER

ROOF PITCH: 6 /12 SLOPE

ROOF DECK:\*\*\* \_\_\_\_ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED SHEATHING) - REQUIRES A FLORIDA REGISTERED ENGINEER'S WRITTEN SPECIFICATIONS AND PLANS WITH DETAILS DESCRIBING ATTACHMENT REQUIREMENTS (NAIL OR SCREW LENGTH AND FASTENING PATTERN INTO FRAMING MEMBERS.) SPECIFICATIONS SHALL BE SUBMITTED AT TIME OF ROOFING PERMIT APPLICATION.

RE-SHEATH - (REMOVAL OF SPACED SHEATHING FOR APPLICATION OF PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2001". 5/8" PLYWOOD

\_\_\_\_ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2001".

\_\_\_\_ EXISTING DECK TO REMAIN

EXISTING ROOF COVERING: CEDRAR SHAKE EXISTING COVERING TO BE REMOVED?  YES \_\_\_\_ NO

PROPOSED ROOF COVERING: 1 3/4" Standing Seam Metal

MANUFACTURER: Englert, INC. PRODUCT NAME: SERIES 2000 PRODUCT APPR # #FL 4800-14  
(APPROVED ROOF COVERING MATERIAL FROM MARTIN COUNTY'S APPROVED ROOF COVERING LIST) MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*\*\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

\*\*\*NOTE: ANY REROOFING CATEGORIES ABOVE WITH AN ASTERISK (\*) WILL REQUIRE THE PERMIT PACKAGE TO BE REVIEWED BY MARTIN COUNTY BUILDING DEPARTMENT. ALL OTHER CATEGORIES OF REROOFING WILL BE PERMITTED OVER THE COUNTER.

PROPOSED FLASHING:  GALV./STEEL \_\_\_\_ ALUMINUM \_\_\_\_ COPPER \_\_\_\_ LEAD COPPER \_\_\_\_ OTHER

RIDGEVENT TO BE INSTALLED: \_\_\_\_ YES  NO

DESCRIPTION OF WORK: Remove existing shake roof. Re-DECK using 5/8" Plywood. Install 1 3/4" Standing Seam roof panels over 30# Felt.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

[Signature]  
SIGNATURE OF CONTRACTOR

DATE: 8.9.2006

MARTIN COUNTY REROOF CERTIFICATION

PERMIT # \_\_\_\_\_

CONTRACTOR'S NAME: JA TAYLOR ROOFING PHONE: 772-466-4040 FAX: 772-468-8397

OWNER'S NAME: FRANK FENDER

CONSTRUCTION ADDRESS: 3 OAKWOOD DR. CITY: STUART STATE: FL.

REROOF:  RESIDENTIAL(SINGLE FAMILY)

\_\_\_\_ COMMERCIAL/MULTI-FAMILY \*\*\*-REMOVE/REINSTALL ROOF TOP HVAC EQUIP \_\_\_\_ YES \_\_\_\_ NO  
\*\*...DISCONNECT/RECONNECT HVAC ELECTRIC \_\_\_\_ YES \_\_\_\_ NO  
\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

ROOF TYPE: \_\_\_\_ HIP \_\_\_\_ BOSTON-HIP  GABLE \_\_\_\_ FLAT \_\_\_\_ OTHER

ROOF PITCH: 6 /12 SLOPE

ROOF DECK:\*\*\* \_\_\_\_ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED SHEATHING) - REQUIRES A FLORIDA REGISTERED ENGINEER'S WRITTEN SPECIFICATIONS AND PLANS WITH DETAILS DESCRIBING ATTACHMENT REQUIREMENTS (NAIL OR SCREW LENGTH AND FASTENING PATTERN INTO FRAMING MEMBERS.) SPECIFICATIONS SHALL BE SUBMITTED AT TIME OF ROOFING PERMIT APPLICATION.

RE-SHEATH - (REMOVAL OF SPACED SHEATHING FOR APPLICATION OF PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2001". 5/8" PLYWOOD

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\_\_\_\_ EXISTING DECK TO REMAIN

EXISTING ROOF COVERING: CEDAR SHAKE EXISTING COVERING TO BE REMOVED?  YES \_\_\_\_ NO

PROPOSED ROOF COVERING: 1 3/4" Standing Seam Metal

MANUFACTURER: Engleht INC. PRODUCT NAME: SERIES 2000 PRODUCT APPR # #FL 4800.14  
(APPROVED ROOF COVERING MATERIAL FROM MARTIN COUNTY'S APPROVED ROOF COVERING LIST)  
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*\*\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

\*\*\*NOTE: ANY REROOFING CATEGORIES ABOVE WITH AN ASTERISK (\*) WILL REQUIRE THE PERMIT PACKAGE TO BE REVIEWED BY MARTIN COUNTY BUILDING DEPARTMENT. ALL OTHER CATEGORIES OF REROOFING WILL BE PERMITTED OVER THE COUNTER.

PROPOSED FLASHING:  GALV./STEEL \_\_\_\_ ALUMINUM \_\_\_\_ COPPER \_\_\_\_ LEAD COPPER \_\_\_\_ OTHER

RIDGEVENT TO BE INSTALLED: \_\_\_\_ YES  NO

DESCRIPTION OF WORK:

Remove existing shake roof. Re-Deck using 5/8" Plywood. Install 1 3/4" Standing Seam roof panels over 30# Felt.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

[Signature]  
SIGNATURE OF CONTRACTOR

DATE: 8.9.2006

# Walter Karpinia, PE

Professional Engineer, PE46635

August 16, 2006

To: To Whom It May Concern

Re: Roofing Features at:  
Fender Residence  
3 Oakwood Dr  
Application # SP01-T108

I have inspected certain features on the structure referenced above. I write to provide additional detail.

1. The roof sheathing is to applied through the battens to the truss chords. Infill with 1 X material to make continuous pw bearing on truss chords. Nail the pw through the battens to the trusses with 10d ring shank nails 4"oc to all members.

If you have any questions or would like additional information regarding this matter please contact me.

By my Hand,

  
Walter Karpinia, PE46635

Chad Taylor, CCC1325720

## MARTIN COUNTY BUILDING DEPARTMENT BUILDING INSPECTION PROGRAM STANDARD PERMIT CONDITIONS

1. Materials and methods of construction shall meet the Florida Building Code 2004.
2. Alternate materials and methods shall comply with 104.11 of the Florida Building Code 2004.
3. The approved plans must be on the job site at time of inspection.
4. Inspection scheduling 288-5489 between 8:00 am and 4:30 pm.
5. Plan review and revisions 288-5916 between 1:30 pm and 4:30 pm.

### IMPORTANT NOTICE

ALL CONSTRUCTION IN MARTIN COUNTY MUST MEET CODE. Failure to provide complete specifications and construction details in the building plans does not relieve the building designer and permit holder from responsibility for compliance with the applicable sections and editions of the following:

1. The Florida Building Code 2004 - Building
2. The Florida Building Code 2004 - Residential
3. The Florida Building Code 2004 - Existing Building
4. The Florida Building Code 2004 - Plumbing
5. The Florida Building Code 2004 - Mechanical
6. The Florida Building Code 2004 - Fuel Gas
7. The Florida Fire Prevention Code - 2004
8. National Electric Code (NFPA 70 & 70A) -
9. Martin County Code of Laws and Ordinances
10. F.E.M.A. National Flood Insurance Program

Martin County Building Dept Inspections - 288-5489

Plan Review - 288-5916

REVIEWED FOR CODE COMPLIANCE 

906 SW Bayshore Blvd  
Port Saint Lucie, FL 34983  
Office: (561) 262-7948





**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

**Maxim Industries, Inc.  
6170 Vanderbilt Avenue  
Dallas, TX 75214**

- 3. The approved plans must be on the job site at time of inspection.
- 4. Inspection scheduling 288-5489 between 8:00 am and 4:30 pm.
- 5. Plan review and revisions 288-5916 between 1:30 pm and 4:30 pm.

**Scope:** This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Dade Curb-Mount & Self-Flashing Skylight.**

**APPROVAL DOCUMENT:** Drawing No. DCM-1 & DSF-1, titled "Dade Curb Mount & Dade Self Flashing", sheets No 1 and 2 of 2, prepared by Maxim Industries, Inc dated 04/01/03 with no revisions bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: Large & Small Missile Impact**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein and the dome shall be properly marked by Sheffield. Plastics.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 & approval document mentioned above  
The submitted documentation was reviewed by **Candido E. Font, P.E.**

*[Handwritten signature]*  
5/15/03



**NOA No 03-0224.11**  
**Expiration Date: May 15, 2008**  
**Approval Date: May 15, 2003**  
**Page 1**

**Maxim Industries, Inc.**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

(For File ONLY. Not part of NOA)

**A. DRAWINGS**

1. Drawing No. DCM-1 & DSF-1, sheet 1 and 2 of 2, titled "Dade Curb Mount & Dade Self Flashing", prepared by Maxim Industries, Inc, dated 04/01/03, with no revision, signed and sealed by R. Boyette, P.E.

**B. TESTS**

1. Test report on Large Missile Impact Test per TAS 201, Cyclic Load Test per TAS 203 and Uniform Static air Pressure Test per TAS 202 on "Dade Self-Flashing, Dade Curb mount", prepared by Architectural Testing, Inc, report No. 01-43381.01 issued on 01/29/03, signed and sealed by S. M. Uric, P.E.

**C. CALCULATIONS**

1. Anchor calculations prepared by Richard Burette, signed and sealed by R. Burette on 02/11/03

**D. MATERIAL CERTIFICATIONS**

1. Notice of Acceptance No. 01-0709.07 issued to Sheffield Plastics, Inc on 08/23/01, expiring on 08/27/06.

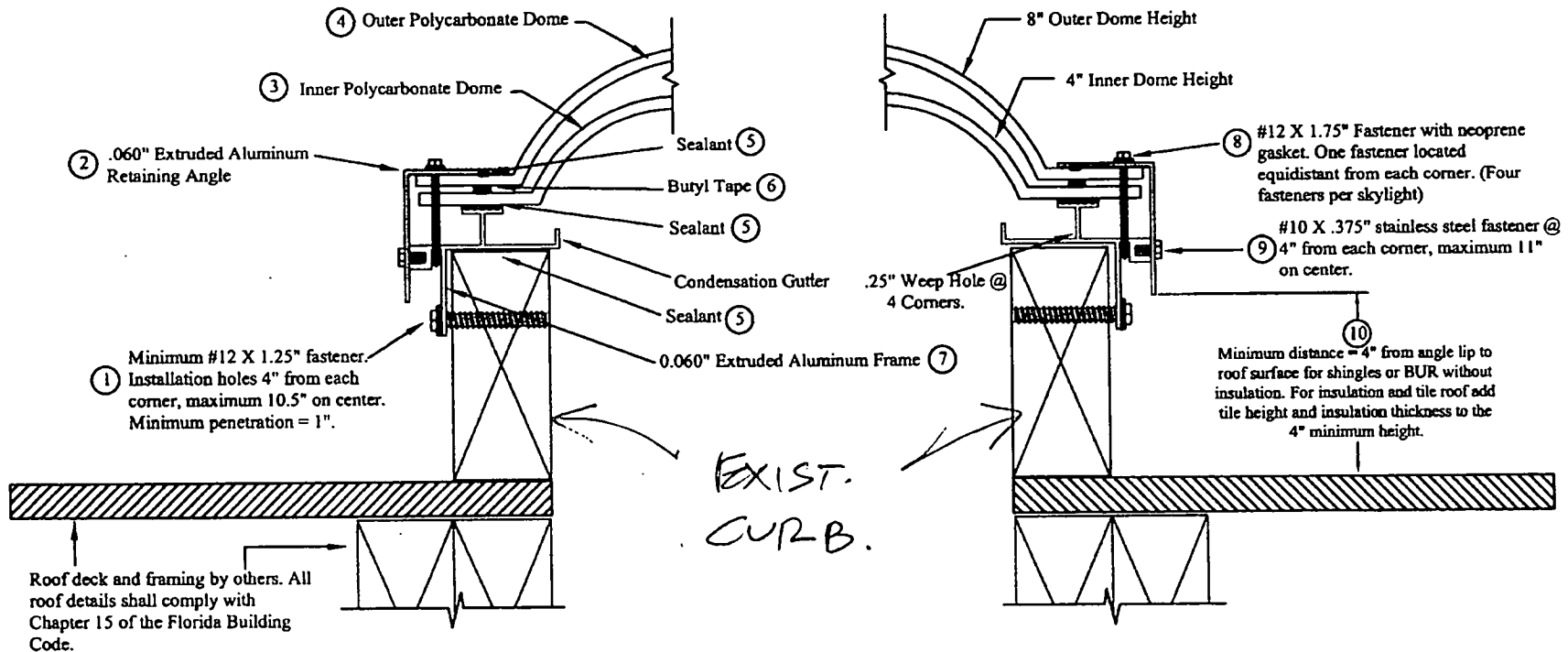
**E. STATEMENTS**

1. Code compliance letter issued by Richard Burette, PE on 02/11/03, signed and sealed by R. Boyette, PE.



Candido F, Font, P. E.  
Senior Product Control Examiner  
NOA No 03-0224.11  
Expiration Date: May 15, 2008  
Approval Date: May 15, 2003

- ① Minimum #12 X 1.25" fastener by others. Pre-punched installation holes 4" from each corner, maximum 10.5" on center. Minimum penetration = 1".
- ② .060" X 1.5" X 1.75" 6063-T6 extruded aluminum retaining angle. Aluminum angle mitered and welded @ 4 corners.
- ③ 52.5" X 100.375" X .118" Hyzod inner polycarbonate dome @ 4" height. NOA: #01-0709-07.
- ④ 52.5" X 100.375" X .118" Hyzod outer polycarbonate dome @ 8" height. NOA: #01-0709-07.
- ⑤ OSI PR 256 urethane sealant: Located between aluminum angle retainer and top dome & between bottom dome and aluminum frame.
- ⑥ Butyl tape: 1" X .125" located between top and bottom domes.
- ⑦ 6063-T5 Extruded Aluminum Frame. 0.060" shape mitered and welded @ 4 corners.
- ⑧ #12 X 1.75" Fastener. One fastener located equidistant from each corner. (Four fasteners per skylight)
- ⑨ #10 X .375" stainless steel fastener @ 4" from each corner, maximum 11" on center.
- ⑩ Minimum distance = 4" from angle lip to roof surface for shingles or BUR without insulation. For insulation and tile roof add tile height and insulation thickness to the 4" minimum height.
- ⑪ All units equal to or less than 32 square feet will be accepted under this NOA.



### Dade Curb Mount Model

RICHARD BOYETTE

Date: 04/01/03 Draw. #DCM-1  
 Drawing: Dade Curb Mount  
 Sheet#: 1 of 2  
 Design Pressure: 60psf +/-  
 Max. Skylight ID: 51.75" X 99.75"

Approved as complying with the  
 Florida Building Code  
 Date: 05/15/03  
 NOA#: 03-0224-II  
 Miami Dade Product Control  
 Division  
 By: [Signature]

FL PE # 42485  
 4031 COCONUT BLVD  
 ROYAL PALM BCH FL 33411  
 561-790-5766

[Handwritten Signature]  
 4/10/03

**MAXIM INDUSTRIES, INC**  
 6170 Vanderbilt Avenue Dallas, TX 75214  
 Phone: 214.824.1557 Fax: 240.371.7345

1. Materials and methods of construction shall meet the Florida Building Code 2004.
2. Alternate materials and methods shall comply with 104.11 of the Florida Building Code 2004.
3. The approved plans must be on the job site at time of inspection.
4. Inspection scheduling 288-5489 between 8:00 am and 4:30 pm.
5. Plan review and revisions 288-5916 between 1:30 pm and 4:30 pm.

**Evaluation Report**  
*of*  
**Englert, Inc.**  
*"Series 2000"*  
**Metal Roof Assembly**  
*for*  
**Florida Product Approval**  
**# FL 4800.13**  
**Florida Building Code 2004**  
**Method: 1 - D**  
**Category: Roofing**  
**Sub - Category: Non-Structural Metal Roofing**

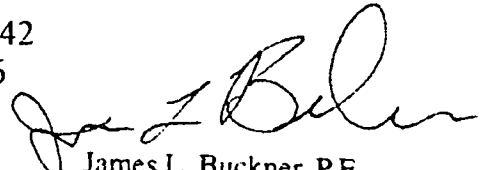
**Product: Series 2000**  
**Material: Steel**  
**Panel Thickness: 24 Gauge Minimum**  
**Panel Width: 18" Maximum (Net Coverage)**  
**Support Type: Wood Deck**

**Prepared for:**

Englert, Inc.  
1200 Amboy Avenue  
Perth Amboy, NJ 08862

**Prepared by:**

James L. Buckner, P.E.  
Florida Professional Engineer # 31242  
Florida Evaluation ANE ID: 1916  
Engineer Assistant: Gil Samson  
Report No. 05-219-S2000-18-S4W  
Date: 7/5/05



James L. Buckner, P.E.  
Florida P.E. # 31242

7/5/05

Contents:

Evaluation Report      Pages 1 - 3  
Installation Method    Pages 4 - 5

**Manufacturer:** Englert, Inc.

**Product Name:** Series 2000

**Panel Type:** Steel, minimum 24 gauge, minimum yield strength 50 ksi

**Panel Material Standards:** Material shall comply with Table 1507.4.3

**Panel Width(s):** 18" Maximum (Net Coverage Width)

**Support Type:** Wood Deck  
(Design of support system is not included in this evaluation)

**Support Description:** Plywood or wood plank – 19/32" or greater, per Section 2308.10.8

**Slope Range:** 2 : 12 or greater

**Design Uplift Pressure:** 60 psf ( Safety Factor of 2:1 )

**Attachment To Support:** Panels shall be attached to the deck with minimum 18 Ga clips (3 ½" long x 2 ½" wide x 1 ¼" tall). Clips shall employ TWO #10 x minimum penetration through deck 3/16", pancake-head, self-tapping, corrosion resistant, wood screws, per ANSI/ASME B18.6.4.

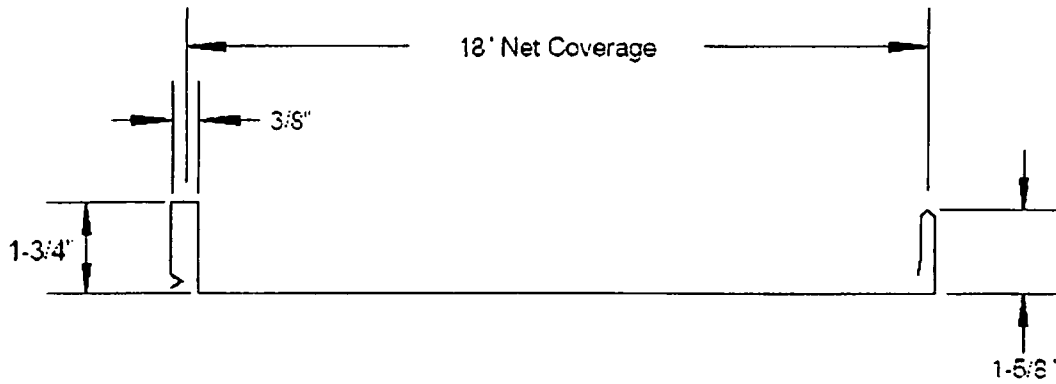
**Underlayment:** Minimum underlayment shall be per Section 1507.4.5

**Fire Classification:** Additional approved substrates may be added for Fire Classification purposes.

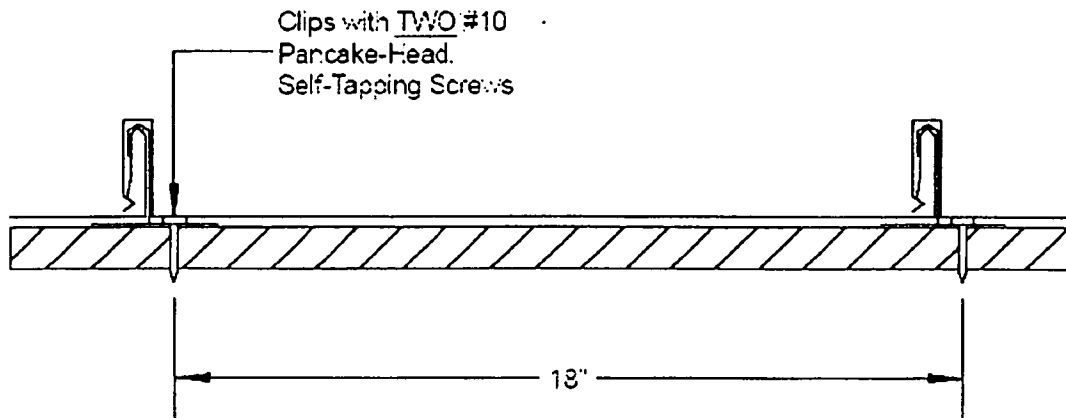
**Installation:** Install the "Series 2000 Panel" to the deck with clip rows spaced 3" from all ends and maximum 24" o.c. thereafter, along the length of the panel. Within rows, clips shall be spaced 18" o.c. across the width of the panel, at each rib. Panel ribs shall be fully engaged to form an integral snaplock. Install system in compliance with the attached installation method.

- Performance Standards:** Roof assembly tested in accordance with **UL580-94, Rev. 1998 Uplift Resistance Standards.**
- Code Compliance:** The product described herein has demonstrated compliance with the **Florida Building Code 2004, Section 1507.4.**
- Evaluation Report Scope:** This product evaluation is limited to compliance with the structural wind load requirements of the Florida Building Code, as related to Rule 9B-72.
- System Limitations:** The required design wind loads shall be determined for each project. The maximum fastener spacing listed herein shall not be exceeded. All rational analysis computations shall be prepared by a qualified design professional, as required by Florida Building Code, Section 105. This product is not approved for use in the High Velocity Hurricane Zone.
- Referenced Data:**
1. Certification of Independence
  2. Quality Assurance  
Underwriters Laboratories, Inc. – Q.A. System ID: 1743
  3. UL580 Test  
Architectural Testing, Inc.  
Report # 01-48082.01, Date: 1/19/04

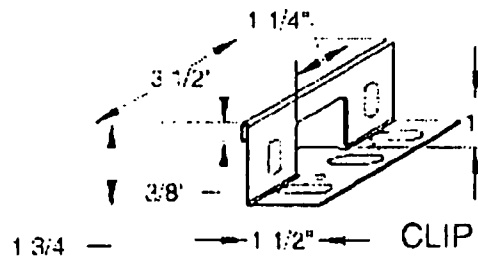
# Installation Method Englert, Inc. "Series 2000" Attached to Wood Deck



**Panel Profile**

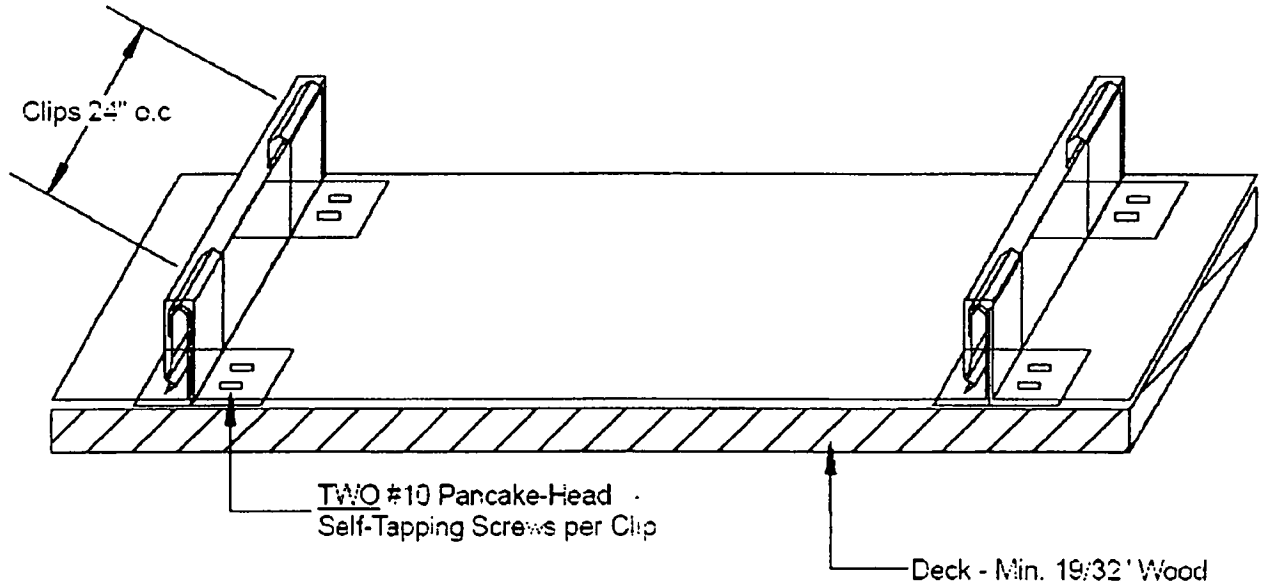


**Assembly Profile**



**Clip Detail**

**Installation Method (Continued)**  
**Englert, Inc.**  
**"Series 2000" Attached to Wood Deck**



**Assembly Isometric View**



**Evaluation Report**

*of*

**Englert, Inc.**

**“Series 2000”**

**Metal Roof Assembly**

*for*

**Florida Product Approval**

**# FL 4800.14**

**Florida Building Code 2004**

**Method: 1 - D**

**Category: Roofing**

**Sub - Category: Non-Structural Metal Roofing**

**Product: Series 2000**

**Material: Steel**

**Panel Thickness: 24 Gauge Minimum**

**Panel Width: 18” Maximum (Net Coverage)**

**Support Type: Steel Deck**

**Prepared for:**

**Englert, Inc.**

1200 Amboy Avenue

Perth Amboy, NJ 08862

**Prepared by:**

**James L. Buckner, P.E.**

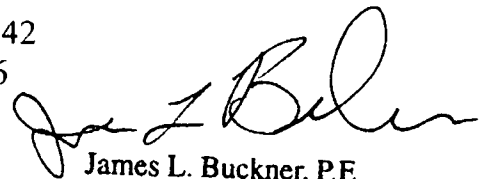
Florida Professional Engineer # 31242

Florida Evaluation ANE ID: 1916

Engineer Assistant: Gil Samson

Report No. 05-219-S2000-18-S4S

Date: 7/5/05



James L. Buckner, P.E.

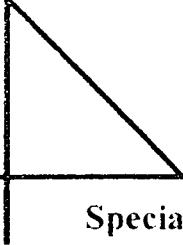
Florida P.E. # 31242

7/5/05

Contents:

Evaluation Report Pages 1 – 3

Installation Method Pages 4 – 5



# C-BUCK Engineering

Specialty Structural Engineering

Certificate of Authorization # 8064

**Manufacturer:** Englert, Inc.

**Product Name:** Series 2000

**Panel Type:** Steel, minimum 24 gauge, minimum yield strength 50 ksi

**Panel Material Standards:** Material shall comply with Table 1507.4.3

**Panel Width(s):** 18" Maximum (Net Coverage Width)

**Support Type:** Steel Deck  
(Design of support system is not included in this evaluation)

**Support Description:** Steel, minimum 22 gauge, minimum yield strength 50 ksi

**Slope Range:** 2 : 12 or greater

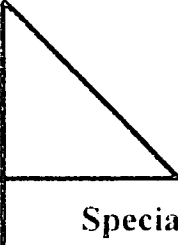
**Design Uplift Pressure:** 60 psf ( Safety Factor of 2:1 )

**Attachment To Support:** Panels shall be attached to the deck with minimum 18 Ga clips (3 ½" long x 2 ½" wide x 1 ¾" tall). Clips shall employ TWO #10 x minimum penetration through deck 3/16", pancake-head, self-tapping, corrosion resistant, wood screws, per ANSI/ASME B18.6.4.

**Underlayment:** Minimum underlayment shall be per Section 1507.4.5

**Fire Classification:** Additional approved substrates may be added for Fire Classification purposes.

**Installation:** Install the "Series 2000 Panel" to the deck with clip rows spaced 3" from all ends and maximum 18" o.c. thereafter, along the length of the panel. Within rows, clips shall be spaced 18" o.c. across the width of the panel, at each rib. Panel ribs shall be fully engaged to form an integral snaplock. Install system in compliance with the attached installation method.



# C-BUCK Engineering

---

Specialty Structural Engineering

Certificate of Authorization # 8064

**Performance Standards:** Roof assembly tested in accordance with **UL580-94, Rev. 1998 Uplift Resistance Standards.**

**Code Compliance:** The product described herein has demonstrated compliance with the **Florida Building Code 2004, Section 1507.4.**

**Evaluation Report Scope:** This product evaluation is limited to compliance with the structural wind load requirements of the Florida Building Code, as related to Rule 9B-72.

**System Limitations:** The required design wind loads shall be determined for each project. The maximum fastener spacing listed herein shall not be exceeded. All rational analysis computations shall be prepared by a qualified design professional, as required by Florida Building Code, Section 105. This product is not approved for use in the High Velocity Hurricane Zone.

**Referenced Data:**

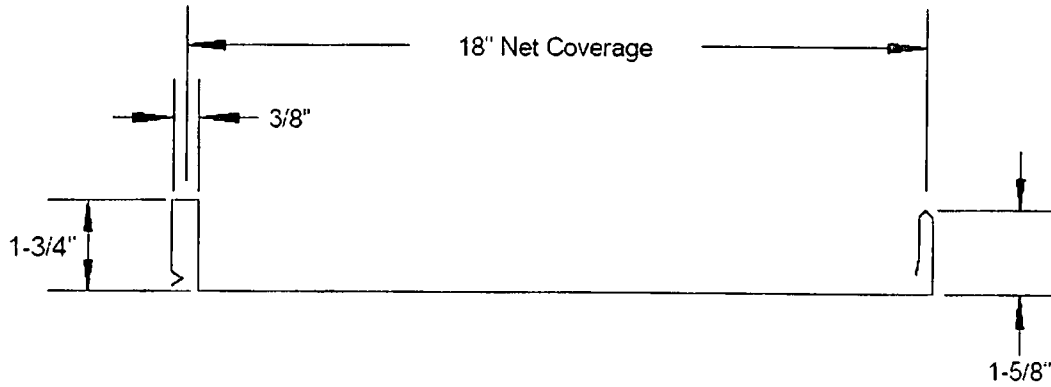
1. Certification of Independence
2. Quality Assurance  
Underwriters Laboratories, Inc. – Q.A. System ID: 1743
3. UL580 Test  
Architectural Testing, Inc.  
Report # 01-48082.01, Date: 1/19/04

# C-BUCK Engineering

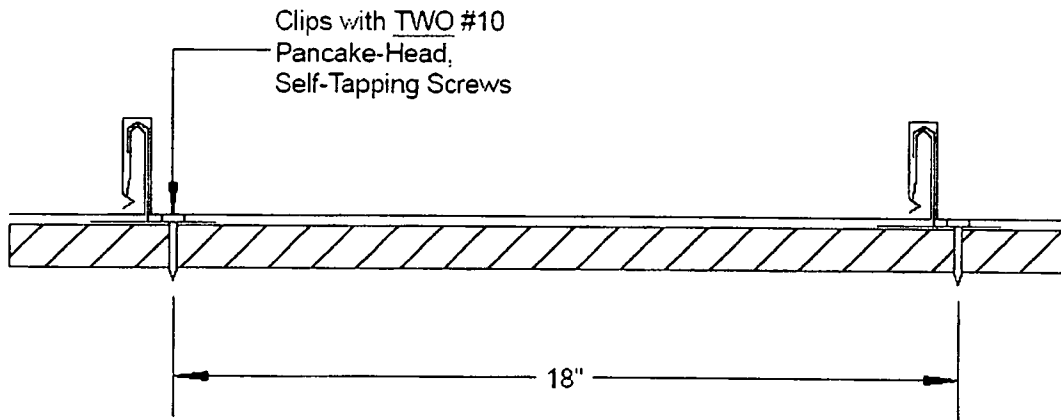
Specialty Structural Engineering

Certificate of Authorization # 8064

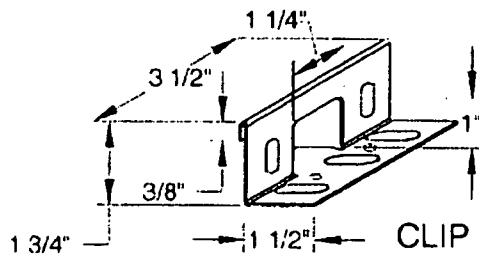
## Installation Method Englert, Inc. "Series 2000" Attached to Steel Deck



Panel Profile



Assembly Profile



Clip Detail

MARTIN COUNTY REROOF CERTIFICATION

PERMIT # \_\_\_\_\_

CONTRACTOR'S NAME: J.A. TAYLOR ROOFING PHONE: 772-466-4040 FAX: 772-468-8397

OWNER'S NAME: FRANK FENDER

CONSTRUCTION ADDRESS: 3 OAKWOOD DR. CITY: STUART STATE: FL.

REROOF:  RESIDENTIAL(SINGLE FAMILY)

\_\_\_\_ COMMERCIAL/MULTI-FAMILY \*\*\*REMOVE/REINSTALL ROOF TOP HVAC EQUIP \_\_\_\_ YES \_\_\_\_ NO  
\*\*\*DISCONNECT/RECONNECT HVAC ELECTRIC \_\_\_\_ YES \_\_\_\_ NO

\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

ROOF TYPE: \_\_\_\_ HIP \_\_\_\_ BOSTON-HIP  GABLE \_\_\_\_ FLAT \_\_\_\_ OTHER

ROOF PITCH: 6 /12 SLOPE

ROOF DECK:\*\*\* \_\_\_\_ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED SHEATHING) - REQUIRES A FLORIDA REGISTERED ENGINEER'S WRITTEN SPECIFICATIONS AND PLANS WITH DETAILS DESCRIBING ATTACHMENT REQUIREMENTS (NAIL OR SCREW LENGTH AND FASTENING PATTERN INTO FRAMING MEMBERS.) SPECIFICATIONS SHALL BE SUBMITTED AT TIME OF ROOFING PERMIT APPLICATION.

RE-SHEATH - (REMOVAL OF SPACED SHEATHING FOR APPLICATION OF PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2001". 5/8" PLYWOOD

\_\_\_\_ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2001".

\_\_\_\_ EXISTING DECK TO REMAIN

EXISTING ROOF COVERING: CEDAR SHAKE EXISTING COVERING TO BE REMOVED?  YES \_\_\_\_ NO

PROPOSED ROOF COVERING: 1 3/4" Standing Seam Metal

MANUFACTURER Engleht, INC. PRODUCT NAME SERIES 2000 PRODUCT APPR # #FL 4800-14  
(APPROVED ROOF COVERING MATERIAL FROM MARTIN COUNTY'S APPROVED ROOF COVERING LIST)  
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

\*\*\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

\*\*\*NOTE: ANY REROOFING CATEGORIES ABOVE WITH AN ASTERISK (\*) WILL REQUIRE THE PERMIT PACKAGE TO BE REVIEWED BY MARTIN COUNTY BUILDING DEPARTMENT. ALL OTHER CATEGORIES OF REROOFING WILL BE PERMITTED OVER THE COUNTER.

PROPOSED FLASHING:  GALV./STEEL \_\_\_\_ ALUMINUM \_\_\_\_ COPPER \_\_\_\_ LEAD COPPER \_\_\_\_ OTHER

RIDGEVENT TO BE INSTALLED: \_\_\_\_ YES  NO

DESCRIPTION OF WORK: Remove existing shake roof. Re-Deck using 5/8" Plywood. Install 1 3/4" Standing Seam roof panels over 30# Felt.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

[Signature]  
SIGNATURE OF CONTRACTOR

DATE: 8.9.2006



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE: 9-27-06  
BUILDING OFFICIAL

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

Birdview Skylights.  
201 Longhorn Rd.  
Fort Worth, TX 76179

**Scope:** This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Aluminum Framed Polycarbonate Domed Skylight.

**APPROVAL DOCUMENT:** Drawing No. EB696, model "6SFD-DADE ", sheets No 1 of 1, prepared by Birdview Skylights dated 07/26/00 with no revisions bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** Large & Small Missile Impact

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein and the dome shall be properly marked by GE Plastics.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 00-0524.02 it consists of this page 1 & approval document mentioned above  
The submitted documentation was reviewed by Candido F. Font, P.E.

06/05/03



NOA No 03-0303.11  
Expiration Date: July 02, 2008  
Approval Date: June 05, 2003  
Page 1

**Birdview Skylights.**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

(For File ONLY. Not part of NOA)

**A. DRAWINGS**

1. Drawing No. EB696, sheets 1 & 1, model "6SFD-DADE", prepared by Birdview Skylights, dated 07/26/00, with no revisions, signed and sealed by V. N. Tolat, P.E.

**B. TESTS**

1. Test report on Large Missile Impact Test per PA 201, Cyclic Load Test per PA 203 and Uniform Static air Pressure Test per PA 202, on "Series 6SFD-DADE Self Flashing Aluminum/Polycarbonate Skylight", prepared by Miami Testing Laboratory, report No. K-49362 issued on 09/10/96, signed and sealed by D. G. Ober, P.E.

**C. CALCULATIONS**


1. Anchor Calculation, sheets 2 through 5, dated 08/21/96 and signed by D. A. Terwilleger, PE.

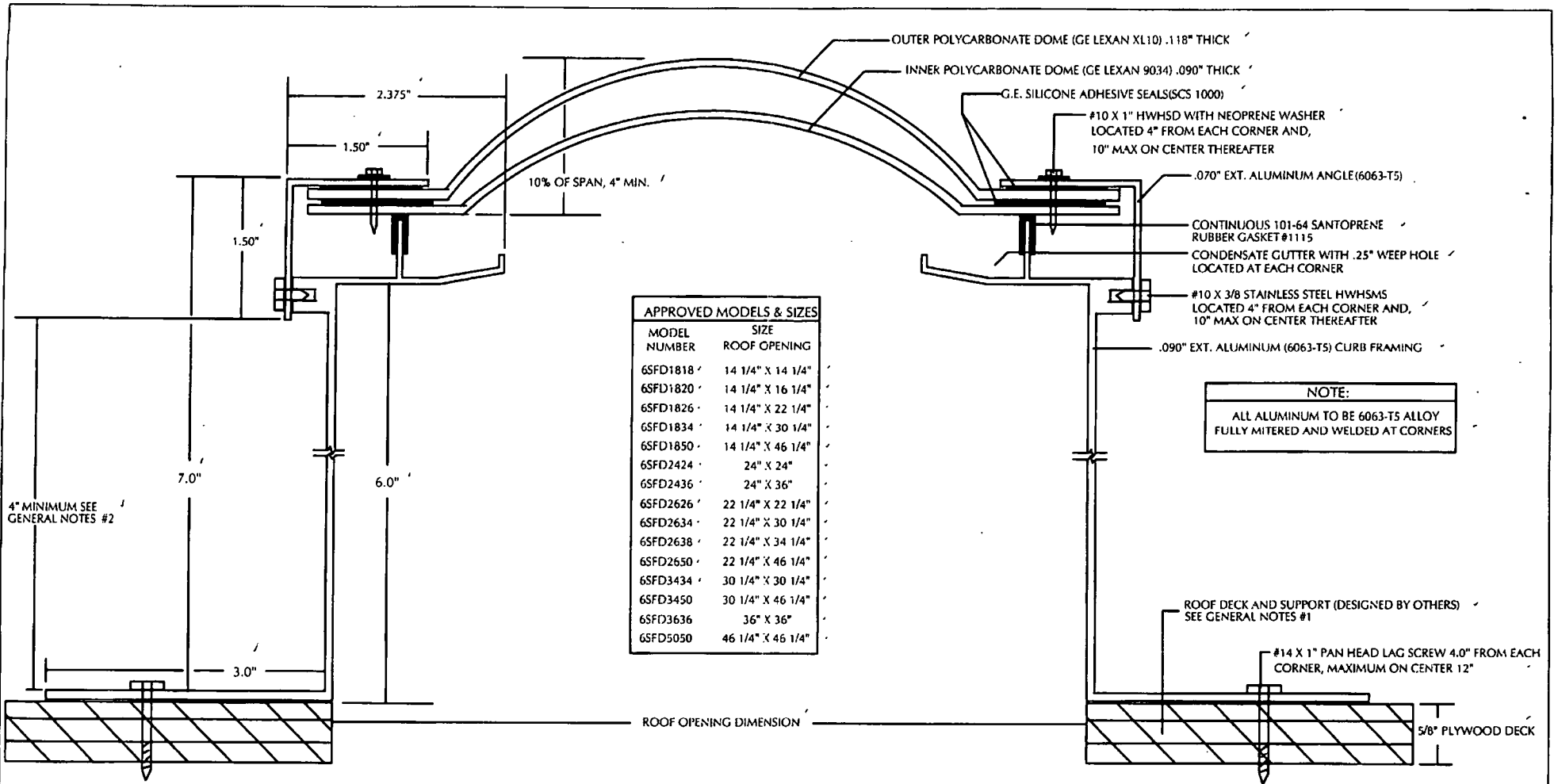
**D. MATERIAL CERTIFICATIONS**

1. Notice of Acceptance No. 00-0718.02 issued to General Electric Company on 09/08/2000, expiring on 07/02/2003.
2. Extrusion drawings No. BVS-X10947-A & BVS 8554 by Tel Tower Extrusions, LTD for Birdview Skylights.

**E. STATEMENTS**

1. No change letter issued by Birdview Skylights, on 08/10/2000 and signed by E. Bird.
2. No change letter issued by Birdview Skylights on 02/11/03 and signed by G. E. Bird.

  
Candido F. Font, P. E.  
Senior Product Control Examiner  
NOA No 03-0303.11  
Expiration Date: July 02, 2008  
Approval Date: June 05, 2003



APPROVED MODELS & SIZES	
MODEL NUMBER	SIZE ROOF OPENING
6SFD1818	14 1/4" X 14 1/4"
6SFD1820	14 1/4" X 16 1/4"
6SFD1826	14 1/4" X 22 1/4"
6SFD1834	14 1/4" X 30 1/4"
6SFD1850	14 1/4" X 46 1/4"
6SFD2424	24" X 24"
6SFD2436	24" X 36"
6SFD2626	22 1/4" X 22 1/4"
6SFD2634	22 1/4" X 30 1/4"
6SFD2638	22 1/4" X 34 1/4"
6SFD2650	22 1/4" X 46 1/4"
6SFD3434	30 1/4" X 30 1/4"
6SFD3450	30 1/4" X 46 1/4"
6SFD3636	36" X 36"
6SFD5050	46 1/4" X 46 1/4"

**NOTE:**  
ALL ALUMINUM TO BE 6063-T5 ALLOY FULLY MITERED AND WELDED AT CORNERS

DADE COUNTY ACCEPTANCE NUMBER  
00-0524.02

DESIGN PRESSURE RATING  
POSITIVE + 56 PSF & NEGATIVE - 67 PSF  
LARGE MISSILE IMPACT RESISTANT

**BIRDVIEW SKYLIGHTS**  
THE CLEAR CHOICE  
2011 LONGHORN RD. FT. WORTH TX. 76179  
Ph. 817-439-9266 Fx. 817-232-8468  
DRAWING# EB696 REV. 00 SHEET 1 OF 1  
DRAWN BY: E. BIRD DATE: 7 - 26 - 00  
MODEL: 6SFD-DADE SCALE: FULL

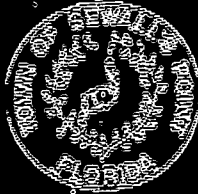
**GENERAL NOTES:**  
1. ALL ROOFING DETAILS SHALL COMPLY WITH CHAPTER 34 OF THE S.F. B.C.  
2. 4" MINIMUM DISTANCE FROM ANGLE LIP TO ROOF SURFACE IS FOR SHINGLE OR BUR WITHOUT INSULATION. FOR INSULATION AND ROOF TILES, ADD THE TILE HEIGHT AND THE INSULATION THICKNESS TO THE 4" MINIMUM HEIGHT.

PRODUCT RENEWED  
as complying with the Florida Building Code  
Acceptance No. 00-0524.02  
Expiration Date: 07/2008  
By: Mizzi Dede Product Control Division

APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE  
DATE: September 07, 2000  
BY: [Signature]  
PRODUCT CONTROL DIVISION  
BUILDING CODE COMPLIANCE OFFICE  
ACCEPTANCE NO. 00-0524.02

VIPIN N. TOLAT, P.E.  
REGISTERED CIVIL ENGINEER  
FLORIDA REG. 12847  
[Signature]  
8/7/00





11C-013

TOWN OF SEWALL'S POINT  
One South Sewall's Point Road  
Sewall's Point, Florida 34586  
(772) 257-2455

**CORRECTION NOTICE**

ADDRESS: 3 OAKWOOD

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DRY-111 PAPER

SUBMIT 2 COPIES MANUFACTURER'S  
DATA FOR NEW SKYLITES -  
INCLUDE ENGINEERING PLAN  
ATTACHMENT TO TRUSS DECK.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 9/22

[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT# \_\_\_\_\_ TAX FOLIO # 13-38-41-009-000-00080-1

# NOTICE OF COMMENCEMENT

STATE OF Florida COUNTY OF ~~DADE~~ TOWN OF SEWALL'S Pt.

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

OAKWOOD LOT 8

GENERAL DESCRIPTION OF IMPROVEMENT: RS-ROOF

OWNER: FRANK FENDER & SALLY FARGETT

ADDRESS: 3 Oakwood Drive

PHONE#: 772-287-9691

FAX#: 772-287-9691

CONTRACTOR: J.A. TAYLOR ROOFING

ADDRESS: 302 Melton Dr., Ft. Pierce FL 34982

PHONE#: 406-4040

FAX#: 408-8397

SURETY COMPANY (IF ANY): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE#: \_\_\_\_\_

FAX#: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE#: \_\_\_\_\_

FAX#: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7.. FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE#: \_\_\_\_\_

FAX#: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE#: \_\_\_\_\_

STATE OF FLORIDA  
MARTIN COUNTY

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

THIS IS TO CERTIFY THAT THE  
CORRECT COPY OF THE ORIGINAL  
AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK

[Signature]  
SIGNATURE OF OWNER

BY [Signature] D.C.


DATE 18-10-06

SWORN TO AND SUBSCRIBED BEFORE ME THIS 1 DAY OF AUGUST

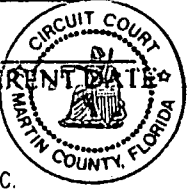
2006 BY FRANK FENDER

OR  PERSONALLY KNOWN  
PRODUCED ID ESSE D.L.  
TYPE OF ID E536-261-63-117-0

[Signature]  
NOTARY SIGNATURE

NOTARY PUBLIC-STATE OF FLORIDA  
 Karen S. Nielsen  
Commission # DD551441  
My Comm. Expires: 06/12/2010

INSTR # 1953453 DR BK 02170 PG 1956 RECD 08/10/2006 09:36:08 AM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S PHOENIX



**Evaluation Report**

*of*

**Englert, Inc.**

**"Series 2000"**

**Metal Roof Assembly**

*for*

**Florida Product Approval**

**# FL 4800.14**

**Florida Building Code 2004**

**Method: 1 - D**

**Category: Roofing**

**Sub - Category: Non-Structural Metal Roofing**

**Product:** *Series 2000*  
**Material:** *Steel*  
**Panel Thickness:** *24 Gauge Minimum*  
**Panel Width:** *18" Maximum (Net Coverage)*  
**Support Type:** *Steel Deck*

**Prepared for:**

**Englert, Inc.**

1200 Amboy Avenue  
Perth Amboy, NJ 08862

**Prepared by:**

**James L. Buckner, P.E.**

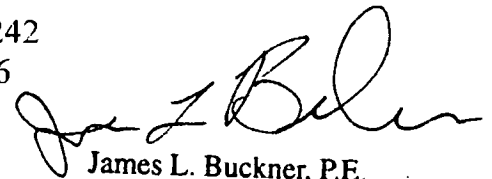
Florida Professional Engineer # 31242

Florida Evaluation ANE ID: 1916

Engineer Assistant: Gil Samson

Report No. 05-219-S2000-18-S4S

Date: 7/5/05



James L. Buckner, P.E.

Florida P.E. # 31242

7/5/05

Contents:

Evaluation Report      Pages 1 - 3  
Installation Method      Pages 4 - 5

# C-BUCK Engineering

Specialty Structural Engineering

Certificate of Authorization # 8064

**Manufacturer:** Englert, Inc.

**Product Name:** Series 2000

**Panel Type:** Steel, minimum 24 gauge, minimum yield strength 50 ksi

**Panel Material Standards:** Material shall comply with Table 1507.4.3

**Panel Width(s):** 18" Maximum (Net Coverage Width)

**Support Type:** Steel Deck  
(Design of support system is not included in this evaluation)

**Support Description:** Steel, minimum 22 gauge, minimum yield strength 50 ksi

**Slope Range:** 2 : 12 or greater

**Design Uplift Pressure:** 60 psf ( Safety Factor of 2:1 )

**Attachment To Support:** Panels shall be attached to the deck with **minimum 18 Ga clips (3 1/2" long x 2 1/2" wide x 1 3/4" tall)**. Clips shall employ **TWO #10 x minimum penetration through deck 3/16"**, pancake-head, self-tapping, corrosion resistant, wood screws, per ANSI/ASME B18.6.4.

**Underlayment:** Minimum underlayment shall be per Section 1507.4.5

**Fire Classification:** Additional approved substrates may be added for Fire Classification purposes.

**Installation:** Install the "Series 2000 Panel" to the deck with clip rows spaced 3" from all ends and maximum 18" o.c. thereafter, along the length of the panel. Within rows, clips shall be spaced 18" o.c. across the width of the panel, at each rib. Panel ribs shall be fully engaged to form an integral snaplock. Install system in compliance with the attached installation method.



# C-BUCK Engineering

---

Specialty Structural Engineering

Certificate of Authorization # 8064

**Performance Standards:** Roof assembly tested in accordance with **UL580-94, Rev. 1998 Uplift Resistance Standards.**

**Code Compliance:** The product described herein has demonstrated compliance with the **Florida Building Code 2004, Section 1507.4.**

**Evaluation Report Scope:** This product evaluation is limited to compliance with the structural wind load requirements of the Florida Building Code, as related to Rule 9B-72.

**System Limitations:** The required design wind loads shall be determined for each project. The maximum fastener spacing listed herein shall not be exceeded. All rational analysis computations shall be prepared by a qualified design professional, as required by Florida Building Code, Section 105. This product is not approved for use in the High Velocity Hurricane Zone.

**Referenced Data:**

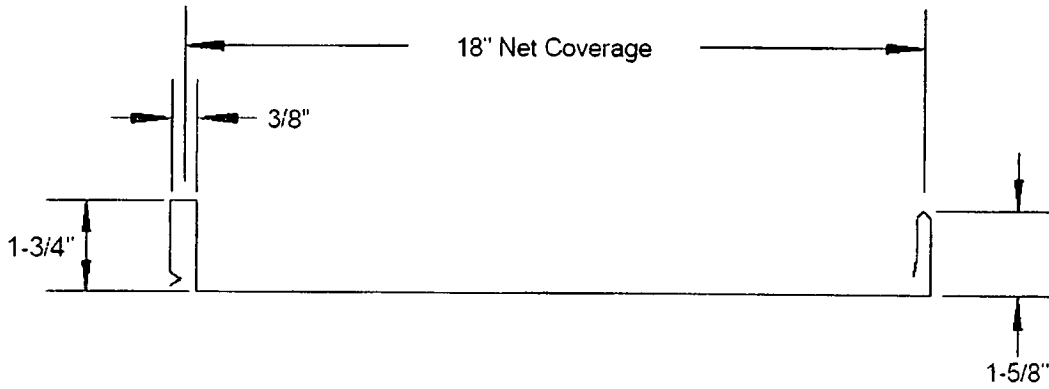
1. Certification of Independence
2. Quality Assurance  
Underwriters Laboratories, Inc. – Q.A. System ID: 1743
3. UL580 Test  
Architectural Testing, Inc.  
Report # 01-48082.01, Date: 1/19/04

# C-BUCK Engineering

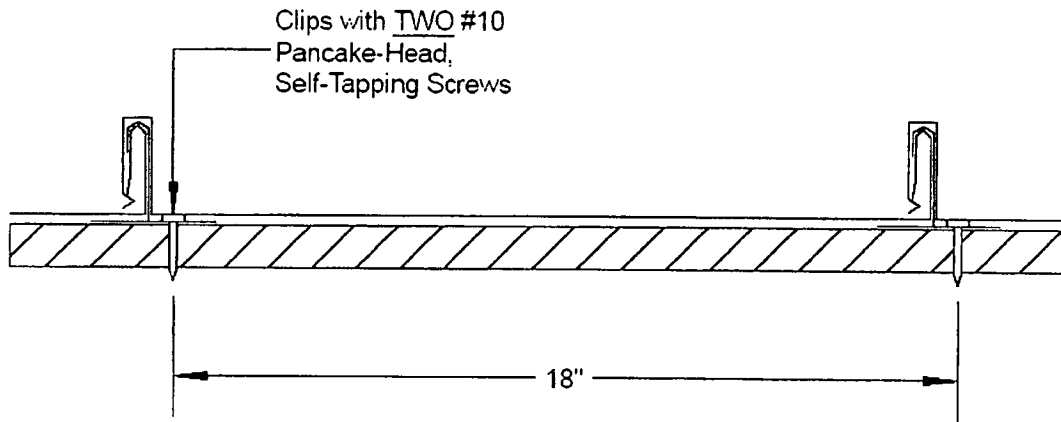
Specialty Structural Engineering

Certificate of Authorization # 8064

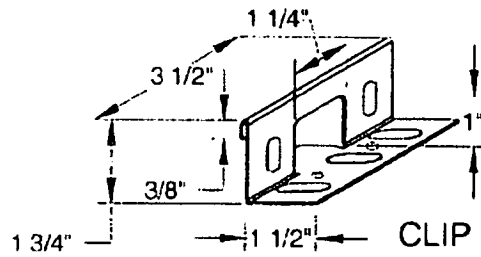
## Installation Method Englert, Inc. "Series 2000" Attached to Steel Deck



Panel Profile



Assembly Profile



Clip Detail



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 3 OAKWOOD

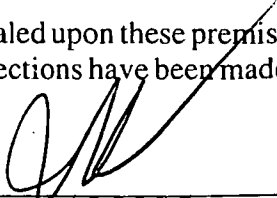
I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DRY-IN PASSED

SUBMIT 2 COPIES MANUFACTURERS  
DATA FOR NEW SKYLITES -  
INCLUDE ENGINEERING FOR  
ATTACHMENT TO TRUSS PECK.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 9/22

  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9/22, 2006

Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0016		FRAMING	PASS	
7	3 EMARITA COB4	INSULATION	PASS	INSPECTOR: <i>OM</i>
0013		FINAL DRYWALL	PASS	CLOSE
1	10 ISLAND RD	REPAIR		INSPECTOR: <i>OM</i>
<del>0113</del>	<del>FENDEL</del>	<del>DRYWALL</del>	<del>PASS</del>	
2	30AKWOOD DR			INSPECTOR: <i>OM</i>
0117	KELSO	COLUMN/BEAM	PASS	
4	18 RIO VISTA 5010	UG. PLUMBING	PASS	INSPECTOR: <i>OM</i>
0079		ROOF FINAL	FAIL	NOT READY FOR INSPECTION
3	18 RIVERVIEW DR			INSPECTOR: <i>OM</i>
0088		STEM WALL FR.	PASS	PARTIAL WEST SIDE STEM WALL
11	94 S.P.R.			INSPECTOR: <i>OM</i>
0125		GAS LINE ROUGH	FAIL	
10	11 WENDY LN. PROPANE DISCOUNT			INSPECTOR: <i>OM</i>

OTHER: \_\_\_\_\_





## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 3 OAKWOOD

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ROOF FINAL

PRODUCT APPROVAL FOR ROOF VENTS

INDICATE FOR USE WITH ASPHALT

SHINGLE ROOF SYSTEMS - NEED

LETTER FROM PANEL MANUFACTURER

STATING COMPATIBILITY OF VENTS

WITH STANDING SEAM METAL PANELS -

SUBMIT INSTALLATION DETAIL FROM

VENT MANUFACTURER FOR USE ON THIS

TYPE ROOF COVERING

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/18

  
INSPECTOR

**DO NOT REMOVE THIS TAG**



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-25, 2006 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8409	VAN FOSSEN	PPY-IN	FAIL	
1	158 S. RIVER RD.	(FIRST THING)	283-7683	
	PACIFIC	<del>285-8993</del>		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8404	Doniger	uban, SPA	FAIL	
8	27 N River Rd			
	SDH			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>0080</del>		<del>ROOF REMOVAL</del>	<del>CANCEL</del>	
2	615. ROAD			
	PACIFIC			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8162	McCormick	pool deck	FAIL	
7	59 N. River Rd			
	Advantage			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	Williams	Tree	PASS	
3	110 Henry Sewall Rd			
	OPB			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7164</del>	<del>Kucko</del>	<del>Final</del>	<del>PASS</del>	<del>SUBMIT REUSED ELEVATION CERT.</del>
5	20 N. Sewalls Pt	215-9012		
	Wasterpiece	POB		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>8143</del>	<del>3 OAKWOOD</del>	<del>ROOF FINAL</del>	<del>PASS</del>	<del>CANCEL</del>
4	<del>19</del>			
	TAYLOR			INSPECTOR: <i>[Signature]</i>
OTHER:	POOL ENCLOSURE			
0081	118 N.S. P.R.		FAIL	
6				<i>[Signature]</i>

REPORT: bldg03

MARTIN COUNTY REPORTS  
 FINALED BUILDING PERMITS WITHOUT A CERTIFICATE OF OCCUPANCY  
 Permits with Inspections of '6098' or '6099' or '8099' and Result of 'PASS'  
 Completed between: 01-MAY-2005 and 29-NOV-2006

RUN DATE: 29-NOV-2006

RUN TIME:

PAGE: 5 of 6

Permit No.	Status	Issue Date	Expiration Date	Inspection Date	Address	Notes
SP01 20060099 ✓	DONE	31-JUL-2006	18-OCT-2006	06-SEP-2006	013841010 PALMETTO PARK	Outstanding Fees
Conditions of Approval						
SP01 20080103 ✓	DONE	03-AUG-2006	18-OCT-2006	16-OCT-2006	133841003 HIGH POINT ISLE ADDITION	Outstanding Fees
Conditions of Approval						
SP01 20060104 ✓	DONE	03-AUG-2006	18-OCT-2006	08-SEP-2006	353741008 KNOWLES	Outstanding Fees
Conditions of Approval						
SP01 20060105 ✓	DONE	09-AUG-2006	18-OCT-2008	18-OCT-2006	353741000	Outstanding Fees
Conditions of Approval						
SP01 20060109 ✓	DONE	11-AUG-2006	18-OCT-2006	15-SEP-2006	013841006 HOME WOOD (SEWALL'S PT)	Outstanding Fees
Conditions of Approval						
SP01 20060113	OPEN	11-AUG-2006		25-OCT-2006	133841009 OAKWOOD	Outstanding Fees
Conditions of Approval						
PPMISC	PLAN REVIEW COMMENTS					
SP01 20060114 ✓	DONE	21-AUG-2006	18-OCT-2006	13-OCT-2006	133841000 SEWALL'S POINT HANSON GRANT LOT 1	Outstanding Fees
Conditions of Approval						
SP01 20060118 ✓	DONE	25-AUG-2006	18-OCT-2006	29-SEP-2006	353741000	Outstanding Fees
Conditions of Approval						
SP01 20060121	DONE	25-AUG-2006	29-NOV-2006	13-NOV-2006	353741002 INDIALUCIE	Outstanding Fees
Conditions of Approval						
SP01 20060123 ✓	DONE	28-AUG-2006	18-OCT-2006	29-SEP-2006	283741015 CASTLE HILL	Outstanding Fees
Conditions of Approval						
SP01 20060124 ✓	DONE	15-AUG-2006	18-OCT-2006	20-SEP-2006	133841006 WHITE FENCE ACRES REVISED	Outstanding Fees
Conditions of Approval						
SP01 20060126 ✓	DONE	14-SEP-2006	18-OCT-2006	29-SEP-2006	353741002 INDIALUCIE	Outstanding Fees
Conditions of Approval						
SP01 20060127 ✓	DONE	14-SEP-2006	18-OCT-2006	25-SEP-2006	123841002 RIO VISTA	Outstanding Fees
Conditions of Approval						

**8847**

**REPLACE GARAGE**

**DOOR**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8847	DATE ISSUED:	MARCH 27, 2008
SCOPE OF WORK:	REPLACE GARAGE DOOR		
CONDITIONS :			
CONTRACTOR:	D&D GARAGE DOORS		
PARCEL CONTROL NUMBER:	13384100900000801	SUBDIVISION	OAKWOOD, LOT 8
CONSTRUCTION ADDRESS:	3 OAKWOOD DR		
OWNER NAME:	FENDER		
QUALIFIER:	DENVER MILLER	CONTACT PHONE NUMBER:	772-460-7630

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____
UNDERGROUND MECHANICAL	_____
STEM-WALL FOOTING	_____
SLAB	_____
ROOF SHEATHING	_____
TIE DOWN /TRUSS ENG	_____
WINDOW/DOOR BUCKS	_____
ROOF DRY-IN/METAL	_____
PLUMBING ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____
FRAMING	_____
FINAL PLUMBING	_____
FINAL MECHANICAL	_____
FINAL ROOF	_____
UNDERGROUND GAS	_____
UNDERGROUND ELECTRICAL	_____
FOOTING	_____
TIE BEAM/COLUMNS	_____
WALL SHEATHING	_____
INSULATION	_____
LATH	_____
ROOF TILE IN-PROGRESS	_____
ELECTRICAL ROUGH-IN	_____
GAS ROUGH-IN	_____
METER FINAL	_____
FINAL ELECTRICAL	_____
FINAL GAS	_____
BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

RECEIVED  
DATE: 3-24-08  
TOWN OF SEWALL'S POINT

Town of Sewall's Point

Date: \_\_\_\_\_ BUILDING PERMIT APPLICATION Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Frank Fender Phone (Day) 287-9681 (Fax) \_\_\_\_\_

Job Site Address: 3 Oakwood Dr City: Sewalls Point State: FL Zip: 34916

Legal Desc. Property (Subd/Lot/Block) \_\_\_\_\_ Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work: Tear down + replace 16x7 garage door

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 900.00  
(Notice of Commencement required when over \$2500 prior to first inspection)

Has a Zoning Variance ever been granted on this property?  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

Is subject property located in flood hazard area? V A9 A8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
Fair Market Value of the Primary Structure only (Minus the land value)  
\*\*\* PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION\*\*\*

CONTRACTOR/Company: D+D Garage Doors Phone: 460-7630 Fax: 460-7635

Street: 500 Kitterman Rd City: Pt St Lucie State: FL Zip: 34952

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Municipality License Number: SP03359A

PROJECT SUPERINTENDANT: \_\_\_\_\_ CONTACT NUMBER: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQ. FOOTAGE (W /SEWER & ELECTRIC): Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

CODE EDITIONS IN EFFECT FOR THIS APPLICATION: Florida Building Code - Res., Build, Mech., Plmb., Fuel Gas: 2004 (W/2006 Rev.)  
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Prevention Code 2004

**NOTICES TO OWNERS AND CONTRACTORS:**  
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.  
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.  
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50.05

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.  
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

OWNER SIGNATURE (required)  
Frank A Fender III  
State of Florida, County of: Martin  
This the 24th day of March, 2008  
by Frank A Fender III who is personally  
known to me or produced FDL# F536-261-63-177-0  
as identification. Valerie Meyer

CONTRACTOR SIGNATURE (required)  
Denver Miller  
On State of Florida, County of: St Lucie  
This the 14 day of March, 2008  
by DENVER MILLER who is personally  
known to me or produced \_\_\_\_\_  
as identification. Valerie Meyer

My Commission Expires: \_\_\_\_\_  
**VALERIE MEYER**  
MY COMMISSION # DD0595330

My Commission Expires: \_\_\_\_\_  
**VALERIE MEYER**  
MY COMMISSION # DD0595330

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.2) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
governmentmax.com T1.11

**Summary**

print | | | | | Owner  
1 of 1

**Parcel Info**

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-009-000-00080-1	3 OAKWOOD DR	27846	Owner	0	1

- Summary**
- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

**Summary**  
**Property Location** 3 OAKWOOD DR  
**Tax District** 2200 Sewall's Point  
**Account #** 27846  
**Land Use** 101 0100 Single Family  
**Neighborhood** 120400  
**Acres** 0.394

**Legal Description**  
**Property Information**  
 OAKWOOD LOT 8

**Search By**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
 FENDER, FRANK A

**Mail Information**  
 3 OAKWOOD DR  
 STUART FL 34996-6330

**Assessment Info**  
**Front Ft.** 0.00

**Market Land Value** \$275,000  
**Market Impr Value** \$215,960  
**Market Total Value** \$490,960

**Site Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
**Sale Amount** \$370,000

**Sale Date** 5/29/2003  
**Book/Page** 1779 0317

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 03/19/2008







**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

Frank Fender  
 3 Oakwood Dr.

**TABLE 1609.6D**

**ADJUSTMENT FACTOR FOR BUILDING HEIGHT AND EXPOSURE, (C)**

MEAN ROOF HEIGHT (feet)	EXPOSURE		
	B	C	D
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.56	1.81
55	1.19	1.59	1.84
60	1.22	1.62	1.87

**FILE COPY**  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE 3-27-08  
*AA*  
**BUILDING OFFICIAL**

For SI: 1 foot = 304.8mm.

**TABLE 1609.6E**

**GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf)**

EFFECTIVE WIND AREA		Basic Wind Speed V (mph - 3 second gust)							
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150
<b>Roof Angle 0-10 degrees</b>									
8	8	10.5 -11.9	11.7 -13.3	14.5 -16.4	17.5 -19.9	20.9 -23.6	24.5 -27.7	28.4 -32.2	32.6 -36.9
10	10	10.1 -11.4	11.4 -12.7	14.0 -15.7	17.0 -19.0	20.2 -22.7	23.7 -26.6	27.5 -30.8	31.6 -35.4
14	14	10.0 -10.7	10.8 -12.0	13.3 -14.8	16.1 -17.9	19.2 -21.4	22.5 -25.1	26.1 -29.1	30.0 -33.4
<b>Roof Angle &gt; 10</b>									
9	7	11.4 -12.9	12.8 -14.5	15.8 -17.9	19.1 -21.6	22.8 -25.8	26.7 -30.2	31.0 -35.1	35.6 -40.2
16	7	10.9 -12.2	12.3 -13.7	15.2 -16.9	18.3 -20.4	21.8 -24.3	25.6 -28.5	29.7 -33.1	34.1 -38.0

For SI: 1 Square foot = 0.929 Sqm, 1mpg = 0.447 m/s, 1psf = 47.88 N/sqm.

1. For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
2. Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1606.2D.
3. Plus and minus signs signify pressures acting toward and away from the building surfaces.
4. Negative pressures assume door has 2 feet of width in building's end zone.

1609.6.5.1 Garage doors. Pressures from Table 1609.6E, for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.



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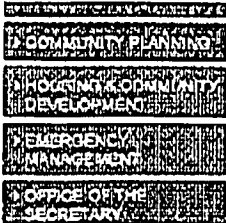
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**Product Approval**  
USER: Public User

Frank Fender

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > [Application Detail](#)



FL #	FL3026-R1
Application Type	Revision
Code Version	2004
Application Status	Approved
Comments	
Archived	<input type="checkbox"/>

Product Manufacturer	Clopay Building Products Company
Address/Phone/Email	8585 Duke Blvd. Mason, OH 45040 (513) 770-6062 mwesterfield@clipay.com

Authorized Signature	Scott Hamilton shamilton@clipay.com
----------------------	--

Technical Representative  
Address/Phone/Email

Quality Assurance Representative  
Address/Phone/Email

Category	Exterior Doors
Subcategory	Sectional Exterior Door Assemblies

Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer
	<input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received

Florida Engineer or Architect Name who developed the Evaluation Report	Gary Pfuehler
Florida License	PE- 49850
Quality Assurance Entity	Intertek Testing Services NA Inc
Quality Assurance Contract Expiration Date	
Validated By	John E. Scates, PE
	<input type="checkbox"/> Validation Checklist - Hardcopy Received

Certificate of Independence

Referenced Standard and Year (of Standard)	<u>Standard</u>	<u>Year</u>
	ANSI/DASMA 108	2002

Equivalence of Product Standards  
 Certified By

Sections from the Code

FBC 1714.5.3.1

Product Approval Method

Method 1 Option D

Date Submitted

06/03/2005

Date Validated

06/09/2005

Date Pending FBC Approval

06/16/2005

Date Approved

06/29/2005

Summary of Products		
Go to Page		Page 1 / 2
FL #	Model, Number or Name	Description
3026.1	W3-16: 1000, 183, 1001, 187, 52, P2GF, 128R	Steel pan (min. 25 ga.) Double Car (9'2" to 16'0" wide) WINDCODE@ W3 Garage Door
<b>Limits of Use (See Other)</b> Approved for use in HVHZ: Approved for use outside HVHZ: Impact Resistant: Design Pressure: +/- Other: 1) Design Pressures: +20/-21 2) For Use Outside the High Velocity Hurricane Zone		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> <a href="#">PTID_3026_R1_T_1000W3-16-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_1000W5-09-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_1000W5-16-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_4300W4-09-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_4300W4-16-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_4300W4-18-Rev03.pdf</a> <a href="#">PTID_3026_R1_T_4300W6-09-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_4300W6-16-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_4300W6-18-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_73W3-16-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_73W4-09-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_73W4-16-Rev03.pdf</a> <a href="#">PTID_3026_R1_T_73W4-18-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_73W5-09-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_73W5-16-HY-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_73W5-16-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_73W6-09-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_73W6-16-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_73W6-18-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_94W6-18-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_C11W4-16-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_C11W5-09-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_C11W5-16-Rev02.pdf</a> <a href="#">PTID_3026_R1_T_Clopay_EPS_Manual.pdf</a> <a href="#">PTID_3026_R1_T_Clopay_Semi-Custom_Reserve_Supplemental_Manual.pdf</a> <a href="#">PTID_3026_R1_T_Clopay_Shiplap_Pan_Manual.pdf</a> <a href="#">PTID_3026_R1_T_Clopay_Torsion_Spring_Manual.pdf</a> <a href="#">PTID_3026_R1_T_Clopay_Wood_Manual.pdf</a> <a href="#">PTID_3026_R1_T_FL3026R1_Statement_of_Revisions.pdf</a> <a href="#">PTID_3026_R1_T_FPA_ResiModel_Info_Rev07.pdf</a> <a href="#">PTID_3026_R1_T_RH1SW5-09-Rev03.pdf</a> <a href="#">PTID_3026_R1_T_RH1SW5-16-Rev03.pdf</a> <a href="#">PTID_3026_R1_T_WINDCODE(R)_Supplements.pdf</a> Created by Independent Third Party:
3026.2	W3-16: 73, 1500, 75, 190,	Steel Pan (min. 25 ga.) Double Car (9'2" to 16'0"

	B4A, 94, 42, 48, 55, 4RST, 6RST, 4RSF, 6RSF, 110R, 120R	wide) WINDCODE® W3 Garage Door
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other: 1) Design Pressures: +20/-21 2) For Use Outside the High Velocity Hurricane Zone</b>		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> Created by Independent Third Party:
3026.3	W4-09: 4400, 4401, HDG, HDGL, 4300, 4310, 4301, SP20, SE20, SF20, 66, 67, 68, H400, H401, H310, H300, H301	Double-skin Insulated (exterior skin 27 ga. min.; interior skin 27 ga. min.) Single-Car (up to 9'0" wide) WINDCODE® W4 Garage Door
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other: 1) Design Pressures: +28/-29 2) For Use Outside the High Velocity Hurricane Zone</b>		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> Created by Independent Third Party:
3026.4	W4-09: 73, 1500, 75, 190, 84A, 94, 76, 42, 48, 55, 4RST, 6RST, 4RSF, 6RSF, 2RST, 110R, 120R, H73, H500, H76, H94, H4ST, H6ST H2ST, H4SF, H6SF	Steel Pan (min. 25 ga.) Single-Car (up to 9'0" wide) WINDCODE® W4 Garage Door
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other: 1) Design Pressures: +25/-32 2) For Use Outside the High Velocity Hurricane Zone</b>		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> Created by Independent Third Party:
3026.5	W4-16: 4400, 4401, HDG, HDGL, 4300, 4310, 4301, SP20, SE20, SF20, 66, 67, 68, H400, H401, H310, H300, H301	Double-skin Insulated (exterior skin 27 ga. min.; interior skin 27 ga. min.) Double Car (9'2" to 16'0" wide) WINDCODE® W4 Garage Door
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other: 1) Design Pressures: +25.5/-25.5 2) For Use Outside the High Velocity Hurricane Zone</b>		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> Created by Independent Third Party:
3026.6	W4-16: 73, 1500, 75, 190, 84A, 94, 42, 48, 55, 4RST, 6RST, 4RSF, 6RSF, 110R, 120R, H73, H500, H76, H94, H4ST, H6ST H2ST, H4SF, H6SF	Steel Pan (min. 25 ga.) Double Car (9'2" to 16'0" wide) WINDCODE® W4 Garage Door
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other: 1) Design Pressures: +24/-24.5 2) For Use Outside the High Velocity Hurricane Zone</b>		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> Created by Independent Third Party:
3026.7	W4-16: C11, C12, C13, C21, C22, C23, HC11, HC12, HC13	Double Skin Insulated (exterior skin 27 ga. min.; interior skin 27ga. min.) with Overlay Double-Car (up to 16'0" wide) WINDCODE® W4 Garage Door
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b>		<b>Installation Instructions</b> Verified By:

<p><b>Approved for use outside HVHZ:</b>  <b>Impact Resistant:</b>  <b>Design Pressure: +/-</b>  <b>Other: 1) Design Pressures: +25/-25 2) For Use Outside the High Velocity Hurricane Zone</b></p>		<p>Created by Independent Third Party:  <b>Evaluation Reports</b>                  Created by Independent Third Party:</p>
3026.8	<p>W4-18: 4400, 4401, HDG, HDGL, 4300, 4310, 4301, SP20, SE20, SF20, 66, 67, 68, H400, H401, H310, H300, H301</p>	<p>Double-skin Insulated (exterior skin 27 ga. min.; interior skin 27 ga. min.) (16'2" to 18'0" wide) WINDCODE® W4 Garage Door</p>
<p><b>Limits of Use (See Other)</b>  <b>Approved for use in HVHZ:</b>  <b>Approved for use outside HVHZ:</b>  <b>Impact Resistant:</b>  <b>Design Pressure: +/-</b>  <b>Other: 1) Design Pressures: +25/-25 2) For Use Outside the High Velocity Hurricane Zone</b></p>		<p><b>Installation Instructions</b>                  Verified By:                  Created by Independent Third Party:  <b>Evaluation Reports</b>                  Created by Independent Third Party:</p>
3026.9	<p>W4-18: 73, 1500, 75, 190, 84A, 94, 42, 48, 55, 4RST, 6RST, 4RSF, 6RSF, 110R, 120R, H73, H500, H76, H94, H45T, H65T H2ST, H4SF, H6SF</p>	<p>Steel Pan (min. 25 ga.) 16'2" to 18'0" wide WINDCODE® W4 Garage Door</p>
<p><b>Limits of Use (See Other)</b>  <b>Approved for use in HVHZ:</b>  <b>Approved for use outside HVHZ:</b>  <b>Impact Resistant:</b>  <b>Design Pressure: +/-</b>  <b>Other: 1) Design Pressures: +25/-25 2) For Use Outside the High Velocity Hurricane Zone</b></p>		<p><b>Installation Instructions</b>                  Verified By:                  Created by Independent Third Party:  <b>Evaluation Reports</b>                  Created by Independent Third Party:</p>
3026.10	<p>W5-09: 1000, 183, 1001, 187, 52, P2GF, 128R</p>	<p>Steel Pan (min. 25 ga.) Single-Car (up to 9'0" wide) WINDCODE® W5 Garage Door</p>
<p><b>Limits of Use (See Other)</b>  <b>Approved for use in HVHZ:</b>  <b>Approved for use outside HVHZ:</b>  <b>Impact Resistant:</b>  <b>Design Pressure: +/-</b>  <b>Other: 1) Design Pressures: +30/-32 2) For Use Outside the High Velocity Hurricane Zone</b></p>		<p><b>Installation Instructions</b>                  Verified By:                  Created by Independent Third Party:  <b>Evaluation Reports</b>                  Created by Independent Third Party:</p>
3026.11	<p>W5-09: 73, 1500, 75, 190, 84A, 94, 76, 42, 48, 55, 4RST, 6RST, 2RST, 4RSF, 6RSF, 110R, 120R</p>	<p>Steel Pan (min. 25 ga.) Single-Car (up to 9'0" wide) WINDCODE® W5 Garage Door</p>
<p><b>Limits of Use (See Other)</b>  <b>Approved for use in HVHZ:</b>  <b>Approved for use outside HVHZ:</b>  <b>Impact Resistant:</b>  <b>Design Pressure: +/-</b>  <b>Other: 1) Design Pressures: +30/-32 2) For Use Outside the High Velocity Hurricane Zone</b></p>		<p><b>Installation Instructions</b>                  Verified By:                  Created by Independent Third Party:  <b>Evaluation Reports</b>                  Created by Independent Third Party:</p>
3026.12	<p>W5-09: C11, C12, C13, C21, C22, C23, C31, C32, C33, C34, C35, HC11, HC12, HC13, HC31, HC32, HC33, HC34, HC35</p>	<p>Double Skin Insulated (exterior skin 27 ga. min.; interior skin 27ga. min.) with Overlay Single-Car (up to 9'0" wide) WINDCODE® W5 Garage Door</p>
<p><b>Limits of Use (See Other)</b>  <b>Approved for use in HVHZ:</b>  <b>Approved for use outside HVHZ:</b>  <b>Impact Resistant:</b>  <b>Design Pressure: +/-</b>  <b>Other: 1) Design Pressures: +33/-37 2) For Use Outside the High Velocity Hurricane Zone</b></p>		<p><b>Installation Instructions</b>                  Verified By:                  Created by Independent Third Party:  <b>Evaluation Reports</b>                  Created by Independent Third Party:</p>
3026.13	<p>W5-09: RH1S, RH2S, RH3S, RH4S, RH5S, RH6S, RH1G, RH2G, RH3G, RH4G, RH5G,</p>	<p>Reserve Wood Single-Car (up to 9'0" wide) WINDCODE® W5 Garage Door</p>

	RH6G, RR1S, RR2S, RR3S, RR4S, RR5S, RR6S, RC1S, RC2S, RC3S, RC4S, RC5S, RC6S	
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other: 1) Design Pressures: +32/-36 2) For Use Outside the High Velocity Hurricane Zone</b>		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> Created by Independent Third Party:
3026.14	W5-16-HY: 73, 1500, 75, 190, 84A, 94, 4RST, 4RSF, 6RST, 6RSF	Steel Pan (min. 25 ga.) Double Car (9'2" to 16'0" wide) WINDCODE® W5 Garage Door
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other: 1) Design Pressures: +32/-32 2) For Use Outside the High Velocity Hurricane Zone</b>		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> Created by Independent Third Party:
3026.15	W5-16: 1000, 183, 1001, 187, 52, P2GF, 128R	Steel Pan (min. 25 ga.) Double Car (9'2" to 16'0" wide) WINDCODE® W5 Garage Door
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other: 1) Design Pressures: +30/-30 2) For Use Outside the High Velocity Hurricane Zone</b>		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> Created by Independent Third Party:
3026.16	W5-16: 73, 1500, 75, 190, 84A, 94, 76, 42, 48, 55, 4RST, 6RST, 4RSF, 6RSF, 2RST, 110R, 120R, H73, H500, H76, H94, H2ST, H4ST, H6ST, H4SF, H6SF	Steel Pan (min. 25 ga.) Double Car (9'2" to 16'0" wide) WINDCODE® W5 Garage Door
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other: 1) Design Pressures: +30/-30 2) For Use Outside the High Velocity Hurricane Zone</b>		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> Created by Independent Third Party:
3026.17	W5-16: C11, C12, C13, C21, C22, C23, C31, C32, C33, C34, C35, HC11, HC12, HC13, HC31, HC32, HC33, HC34, HC35	Double Skin Insulated (exterior skin 27 ga. min.; interior skin 27ga. min.) with Overlay Double-Car (up to 16'0" wide) WINDCODE® W5 Garage Door
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other: 1) Design Pressures: +30/-30 2) For Use Outside the High Velocity Hurricane Zone</b>		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> Created by Independent Third Party:
3026.18	W5-16: RH1S, RH2S, RH3S, RH4S, RH5S, RH6S, RH1G, RH2G, RH3G, RH4G, RH5G, RH6G	Reserve Wood (9'2" To 16'0" wide) WINDCODE® W5 Garage Door
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other: 1) Design Pressures: +30/-33.5 2) For</b>		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> Created by Independent Third Party:

Use Outside the High Velocity Hurricane Zone		
3026.19	W6-09: 4400, 4401, HDG, HDGL, 4300, 4310, 4301, SP20, SE20, SF20, 66, 67, 68, H400, H401, H310, H300, H301	Double-skin Insulated (exterior skin 27 ga. min.; interior skin 27 ga. min.) Single-Car (up to 9'0" wide) WINDCODE® W6 Garage Door
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other: 1) Design Pressures: +37/-40 2) For Use Outside the High Velocity Hurricane Zone</b>		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> Created by Independent Third Party:
3026.20	W6-09: 73, 75, 84A, 94, 42, 4B, 4RST, 6RST, H73, H94, H4ST, H6ST, 110R, 120R	Steel Pan (min. 25 ga.) Single-Car (up to 9'0" wide) WINDCODE® W6 Garage Door
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other: 1) Design Pressures: +38/-42 2) For Use Outside the High Velocity Hurricane Zone</b>		<b>Installation Instructions</b> Verified By: Created by Independent Third Party: <b>Evaluation Reports</b> Created by Independent Third Party:

Go to Page



Page 1 / 2

Back

Next

DCA Administration

Department of Community Affairs  
 Florida Building Code Online  
 Codes and Standards  
 2555 Shumard Oak Boulevard  
 Tallahassee, Florida 32399-2100

(850) 487-1824, Suncom 277-1824, Fax (850) 414-8436

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Product Approval Accepts:



**EVALUATION ENTITY**

Gary Pfuehler, P. E.  
5665 Green Oak Court  
Fairfield, OH 45014

## Product Evaluation Report for Florida DCA

Evaluation Report # 4300W6-16

**MANUFACTURER**

Clopay Building Products Company  
8585 Duke Blvd.  
Mason, OH 45040  
513.770.4800

**Statement of Compliance:**

The Clopay Building Products Company sectional doors as described on the drawings listed below meet the design and test pressures shown. Based on the testing and rational analysis detailed below, this product is evaluated to be in compliance with the following provisions of the Florida Building Code:

- Outside the HVHZ: Wind Loads (tested in compliance with FBC 1714.5.3.1, ref. ANSI/DASMA 108 or TAS 202)  
 Inside the HVHZ: Wind Loads for HVHZ (tested in compliance with FBC 1714.5.3.1, ref. TAS 202),  
 1625 Cyclic Tests for HVHZ (ref. TAS 203). 1626 Impact Tests for HVHZ (ref. TAS 201)

**Description of Product:**

Double-skin Insulated (exterior skin 27 ga. min.; interior skin 27 ga. min.)  
 Double Car (9'2" to 16'2" wide) WINDCODE<sup>®</sup> W6 Garage Door  
 Design Pressures: +37/-40      Test Pressures: +55.5/-60

**Specific Models and Technical Documentation:**

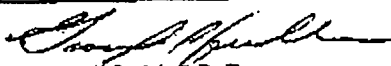
Model	Test Report	Drawing No.	Comments
4400W6, 4401W6, HDGW6, HDGLW6, 4300W6, 4310W6, 4301W6	HCN-5	101486-Rev09	Glazing approved per HCN-5A, HCN-5. Low head room track approved per HCN-126.
SP20W6, SE20W6, SF20W6	HCN-5	101486-Rev09	Glazing approved per HCN-5A, HCN-5. Low head room track approved per HCN-126.
66W6, 67W6, 68W6	HCN-5	102061-Rev04	Glazing approved per HCN-5A, HCN-5. Low head room track approved per HCN-126.
H400W6, H401W6, H310W6, H300W6, H301W6	HCN-5	102498-Rev01	Model uses horizontal reinforcement; door height does not effect performance.

**Installation requirements:** Installation must be in accordance with manufacturer's installation instructions.

**Limitations and conditions of use:** Jambs, lintels, sills or other structural elements required to prepare openings are not covered. The design of the supporting structural elements shall be the responsibility of the professional of record for the building or structure and in accordance with current building codes for the loads listed on the drawing(s) referenced above.

**Certification of Independence of Evaluation Entity:** I hereby certify that (1) I have no financial interest in Clopay Building Products Company; (2) I am an independent licensed Professional Engineer in the State of Florida; and (3) I comply with the criteria of independence as stated in 9B-72.110 F.A.C.

Signature:

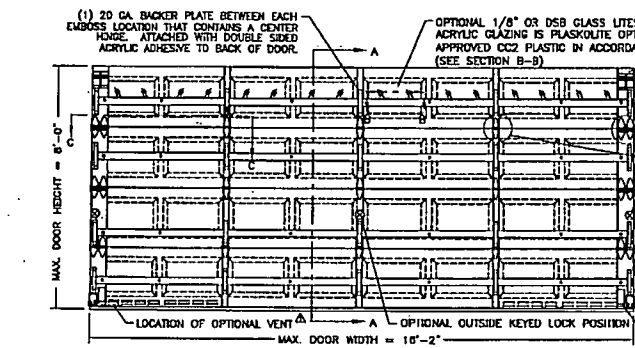
  
 Gary Pfuehler, P. E.  
 Florida P. E. No. 49850

Date:

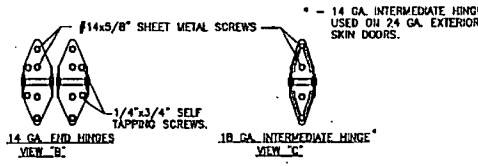
6/3/05



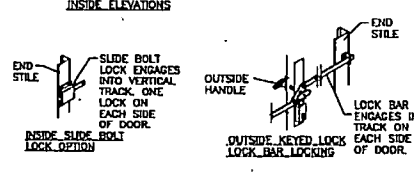
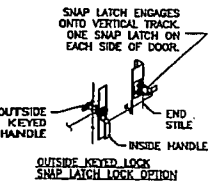
CLOPAY MODELS 4400, 4401 (24 GA. EXTERIOR SKIN)  
 CLOPAY MODELS HDG. HDGL, 4300, 4301, 4310 (27 GA. EXTERIOR SKIN)  
 IDEAL MODELS SP20, SE20, SF20 (27 GA. EXTERIOR SKIN)



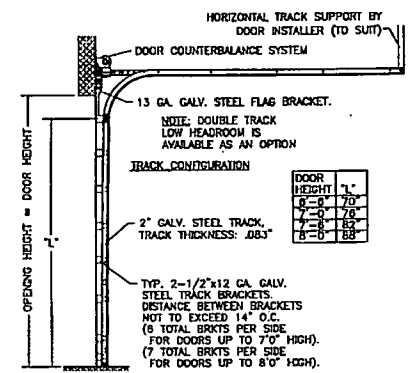
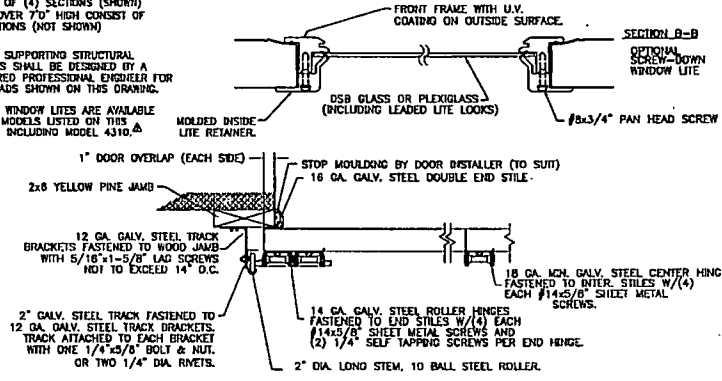
18 GA. PAINTED DOUBLE END STILES ATTACHED TO DOOR SKIN WITH PATENTED TOG-L-LOC SYSTEM (TOP, BOTTOM & CENTER).  
 NOTE 1: DOORS UP TO 7'0" HIGH CONSIST OF (4) SECTIONS (SHOWN) DOORS OVER 7'0" HIGH CONSIST OF (3) SECTIONS (NOT SHOWN)  
 NOTE 2: SUPPORTING STRUCTURAL ELEMENTS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR WIND LOADS SHOWN ON THIS DRAWING.  
 NOTE 3: WINDOW LITES ARE AVAILABLE ON ALL MODELS LISTED ON THIS DRAWING INCLUDING MODEL 4310.



REV	DATE	DESCRIPTION
3	9/10/95	ADDED MODELS 2400 AND 2401
4	3/22/2000	UPDATED JAMB ATTACHMENT, ADDED UHR TRACK NOTE
5	7/25/00	ADDED MODEL HDGL
6	11/2000	QTY. (1) WAS (2) TRACK BOLTS; REV. JAMB ATTACHMENTS
7	9/2003	DELETE M/N 2400/2401; M/N 4310/HDGL WERE 25 GA.
8	8/2004	ADD M/N SP20, SE20, SF20
9	6/2005	UPDATED CODE REF.; OPTIONAL ACRYLIC



BRACKET USED FOR BOTTOM DOUBLE END STILE



PREPARATION OF JAMBS BY OTHERS.

JAMB CONFIGURATION SECTION C-C

JAMB TO SUPPORTING STRUCTURE ATTACHMENT

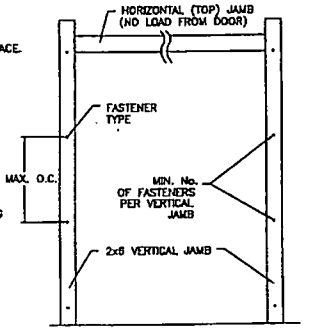
- NOTES:  
 1) ALL THE LOAD FROM THE DOOR IS TRANSFERRED TO THE TRACK AND THEN FROM THE TRACK TO THE 2x6 VERTICAL YELLOW PINE (GRADE #2 OR BETTER) JAMBS. NO LOAD FROM THE DOOR IS TRANSFERRED TO THE HORIZONTAL (TOP) JAMB.  
 2) ALL JAMB FASTENERS MAY BE (BUT NOT REQUIRED) COUNTERSUNK TO PROVIDE A FLUSH MOUNTING SURFACE.

WOOD FRAME BUILDINGS

STUD WALLS OF DOOR OPENING SHALL BE FRAMED SOLID BY NOT LESS THAN (3) 2x6 PRESSURE TREATED GRADE #2 OR BETTER WOOD STUDS OF A STRESS GRADE NOT LESS THAN 1200 PSI NOMINAL EXTREME FIBER STRESS IN BENDING (F<sub>x</sub>). STUD WALLS TO BE CONTINUOUS FROM FOOTING TO THE BEAMS.

BLOCK WALL OR 2000 PSI MIN. CONCRETE

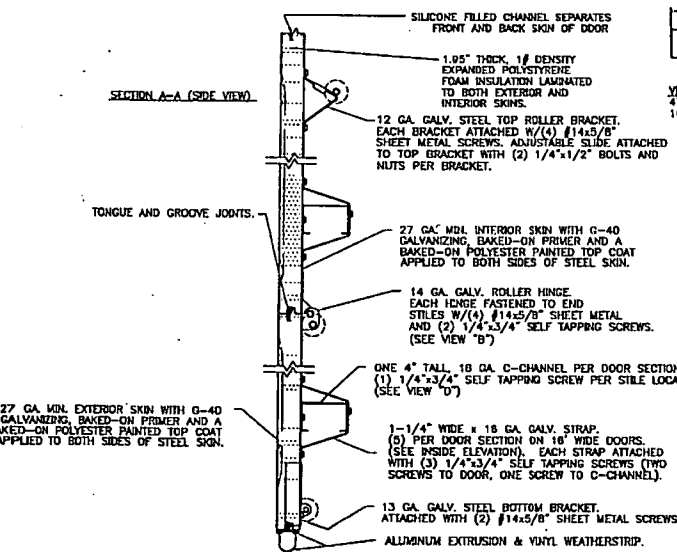
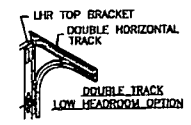
2x8 WOOD JAMB SHALL BE ANCHORED TO GROUT REINFORCED BLOCK WALL OR CONCRETE COLUMN. BLOCK WALL CELLS SHALL BE FILLED WITH CONCRETE AND REINFORCED WITH REINFORCING BARS EXTENDING INTO THE FOOTING AND INTO THE BEAMS. ALL BARS SHALL BE CONTINUOUS FROM THE BEAMS TO FOOTING PER BLOCK WALL OR CONCRETE COLUMN. BLOCK WALLS AND CONCRETE COLUMNS TO BE DESIGNED BY THE BUILDING ENGINEER OR ARCHITECT OF RECORD.



2x6 JAMB TO SUPPORTING STRUCTURE ATTACHMENT

(NOT TO BE USED FOR ATTACHMENT OF TRACK BRACKETS)

BUILDING TYPE	FASTENER TYPE	DOORS UP TO 18'2\"/>	
		MIN. No. OF FASTENERS PER VERTICAL JAMB	MAXIMUM ON CENTER DISTANCE BETWEEN FASTENERS
WOOD FRAME	1/2\"/>	6	18"
2000 PSI MIN. CONCRETE	1/4\"/>	9	11-3/4"
C-80 BLOCK	3/8\"/>	7	15-3/4"
2000 PSI MIN. CONCRETE	5/8\"/>	8	17-3/4"



THE OPTIONAL GLAZING SHOWN ON THIS DRAWING MEETS THE WIND LOAD REQUIREMENTS OF THE FLORIDA BUILDING CODE OR INTERNATIONAL BUILDING CODE BUT DOES NOT MEET THE IMPACT RESISTANT REQUIREMENT FOR WINDBORNE DEBRIS (REF. CHAPTER 15 FBC/IBC)

THIS DOOR MEETS OR EXCEEDS THE DESIGN LOADS FOR THE WIND SPEEDS LISTED BELOW ACCORDING TO THE FLORIDA BUILDING CODE OR IBC (ASSET) FOR THE FOLLOWING CONDITIONS: 1) ENCLOSED BUILDING, 2) DOOR HAS 2' OF WIDTH IN BUILDING'S END ZONE, 3) IMPORTANCE FACTOR OF 1.0, 4) ANY ROOF SLOPE AND 5) SOX SAFETY FACTOR.  
 WIND SPEED (MPH) B or C B C  
 EXPOSURE LEVEL 30' 30' 11/4'  
 MEAN ROOF HEIGHT

DESIGN ENGINEER: MARK W. HESTERBERG, FLORIDA

FLORIDA PRODUCT APPROVAL 3020R1.21 ORIGINAL DRAWINGS ARE SIGNED IN BLUE

DESIGN LOADS: 137.0 P.S.F. & 40.0 P.S.F. WIND LOADS: 65.00 P.S.F. & 30.00 P.S.F.



CLOPAY BUILDING PRODUCTS COMPANY  
 5595 DUKE BLVD.  
 MASON, OH 45040  
 (513) 770-4800

SCALE: NOTED  
 DATE: 6/7/95  
 DRAWN BY: KFH  
 CHECKED BY:

VELOC. RATING	MIN. BEAM SIZE
W6	16'2\"/>
DESCRIPTION MODELS	HDG/HDGL/4300/4301/4310/4400/4401
DRAWING NUMBER	101486
REV	9



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

## GARAGE DOOR REPLACEMENT CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

**Please make sure you have ALL required copies before submitting permit application**

- \_\_\_\_\_ 1 Copy Completed permit application including,
  - Legal Description
  - Notarized signature of owner & contractor.
  - Proof of ownership (Recorded warranty deed or tax bill)
  
- \_\_\_\_\_ 2 Copies Manufacturer's product approval w/design pressures shown.  
(\*\*Indicate the size of the proposed replacement garage)
  
- \_\_\_\_\_ 2 Copies FBC 2004 table 1609.6D & 1609.6E (attached) – Circle or Hi-light the appropriate height & exposure adjustment coefficient \*Table 1609.6D) and the appropriate +/- minimum pressures required (Table 1609.6E). (NOTE: **The values arrived in these charts are the minimum design pressures required for the replacement garage door**)
  
- \_\_\_\_\_ 1 Copy Notice of Commencement, if replacement value is over \$2500.00. Must be submitted prior to the first inspection.
  
- \_\_\_\_\_ 1 Copy Owner/Builder Application, if applicable

### SPECIFICATIONS AND PRODUCT APPROVALS

- Specs. For all garage doors must be tested by an approved testing lab and design pressures stated
  
- Garage doors cannot have any glazed openings unless the glazed openings are impact resistant glass.

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/21, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6829	KEARNEY	FINAL	PASS	CLOSE
3	12. N. RIVER JAT ROOFING			INSPECTOR: <i>[Signature]</i>
8864	Dyer	Final	PASS	CLOSE
1	9 Pineapple Lane Camps & Sons (Paw)			INSPECTOR: <i>[Signature]</i>
<del>8797</del>	<del>Fender</del>	<del>Garage Door</del>	<del>PASS</del>	<del>CLOSE</del>
2	3 OAKWOOD D+D	<del>FINAL</del>		INSPECTOR: <i>[Signature]</i>
8624	LELO	DOCK FINAL	PASS	CLOSE
	27 SIMARA ST. Harbor Bay Marina			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER:

**9932**

**AIR DUCT WORK**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9937	DATE ISSUED:	11-18-2011
SCOPE OF WORK:	REPAIR A/C DUCT S		
CONTRACTOR:	MIRANDA SALES & SERVICE		
PARCEL CONTROL NUMBER:	13-38-41-009-000-00080-1	SUBDIVISION:	OAKWOOD LOT #8
CONSTRUCTION ADDRESS:	3 OAKWOOD DRIVE		
OWNER NAME:	FRANK FENDER		
QUALIFIER:	MICHAEL M IRANDA	CONTACT PHONE NUMBER:	878-5123

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Date: 11-17-2011 Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: Frank Fender Phone (Day) 207-9681 (Fax) \_\_\_\_\_

Job Site Address: 3 Oakwood Drive City: Stuart State: FL Zip: 34996

Legal Description: Oakwood Lot B Parcel Control Number: 13-38-41-009-000000

Owner Address (if different): Same City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work (please be specific): Replace AC duct run.

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO X

Has a Zenline Variance ever been granted on this property?  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO X  
(Must include a copy of all variance approvals with application)

**COST AND VALUES:** (Required - All permit applications)  
Estimated Value of Improvements: 325.00  
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 AE9 AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, minus the land value)  
**PRIVATE APPRAISAL MUST BE SUBMITTED WITH PERMIT APPLICATION**

CONTRACTOR/Company: Miranda Sales & Service, Inc. Phone: 878-5123 Fax: 878-0803

Street: 750 NW Enterprise Dr. Seled City: Fort Lauderdale State: FL Zip: 33496

State License Number: CAC1015486 OR Municipally: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: Mike Miranda Phone Number: 784-078-5123

DESIGN PROFESSIONAL: NA License Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: NA Garage: \_\_\_\_\_ Covered Patios/Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof: NA Elevated Deck: \_\_\_\_\_ Enclosed area below GPE: \_\_\_\_\_

Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Electrical, Gas): 2007  
National Electrical Code: 2008 (2009 after 9/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

**NOTICES TO OWNERS AND CONTRACTORS:**

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 80-08.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF: FBC 2004 W/ 2005 REVISIONS SECT 7.106.4.1, 106.4.1.1.

**\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\***

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)  
OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

State of Florida, County of: Martin  
This the 17th day of November, 2011  
by Frank Fender who is personally  
known to me or produced \_\_\_\_\_  
as Identification: \_\_\_\_\_

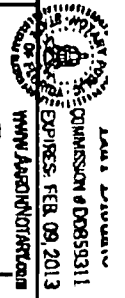
CONTRACTOR SIGNATURE: (required)

State of Florida, County of: Martin  
This the 17th day of November, 2011  
by Mike Miranda who is personally  
known to me or produced \_\_\_\_\_  
as Identification: \_\_\_\_\_

My Commission Expires: Oct 14, 2015  
Commission # EE 117431  
Banded by: ANN MARIE S. BAGLER  
Notary Public, State of Florida  
My Commission Expires: \_\_\_\_\_  
Banded by: \_\_\_\_\_  
Notary Public

My Commission Expires: 2-09-2013  
Notary Public

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida  
Laurel Kelly, C.F.A**

*generated on 11/17/2011 2:58:59 PM EST*

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-009-000-00080-1	27846	3 OAKWOOD DR, SEWALL'S POINT	\$329,620	11/12/2011

**Owner Information**

<b>Owner(Current)</b>	FENDER FRANK A PADGETT SALLY
<b>Owner/Mail Address</b>	3 OAKWOOD DR STUART FL 34996-6330
<b>Sale Date</b>	5/29/2003
<b>Document Book/Page</b>	1779 0317
<b>Document No.</b>	1668574
<b>Sale Price</b>	370000

**Location/Description**

<b>Account #</b>	27846	<b>Map Page No.</b>	
<b>Tax District</b>	2200	<b>Legal Description</b>	OAKWOOD LOT 8
<b>Parcel Address</b>	3 OAKWOOD DR, SEWALL'S POINT		
<b>Acres</b>	.3940		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine

**Assessment Information**

<b>Market Land Value</b>	\$175,000
<b>Market Improvement Value</b>	\$154,620
<b>Market Total Value</b>	\$329,620

## Air Distribution System Test Report

For use when part of an Air Distribution System has been replaced (voluntary test for use with N1100.0.2)

THE FINAL INSPECTION MUST BE APPROVED  
BEFORE THIS FORM CAN BE FILED WITH THE BUILDING DEPARTMENT  
The air distribution system leakage test may be performed before or after the final inspection date.

Owner: _____	Contractor name: _____
Street address: _____	Jurisdiction: _____
City: _____	Permit No.: _____
Zip: _____	Final inspection date: _____

### Air Distribution System Leakage Test Results

Line	System	Duct Leakage
1	System 1	cfm25 <sub>(out or tot)</sub> circle test type
2	System 2	cfm25 <sub>(out or tot)</sub> circle test type
3	System 3	cfm25 <sub>(out or tot)</sub> circle test type
4	System 4	cfm25 <sub>(out or tot)</sub> circle test type
	Use appropriate calculation method	
5		Sum lines 1-4
6	<u>Total House Duct System Leakage</u> When there is only one system or when all systems have been replaced	Divide by _____ = _____ (Qn, out or tot) (total conditioned floor area) (circle test)
OR		
7	<u>Replacement system duct system leakage</u> When there are multiple systems and only or or some of the systems have been replaced	Divide Line 5 by _____ = _____ % Leakage, (out or tot) (total rated air handler flow) (circle test)

I have tested the air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.) in accordance with methods found in:

- N1110.A.2 of the Florida Building Code-Residential
- 13-610.A.2 of the Florida Building Code: Energy
- Sub-Appendix 13-2C, C5.2.2.1.1 of the Florida Building Code: Energy

The replaced system  is leak-free and is therefore compliant with N1100.0.2 and Form 1100B  
 uses existing ductwork and is therefore compliant with N1100.0.2, exception 2

I possess the qualifications found in the selected citation to perform this work.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_

FL BERS Rater Certification #: \_\_\_\_\_

(or) DPBR Mechanical License #: \_\_\_\_\_

(or) T&B Certification # and issuing organization  
or jurisdictional recognition: \_\_\_\_\_

For Building Department use only:

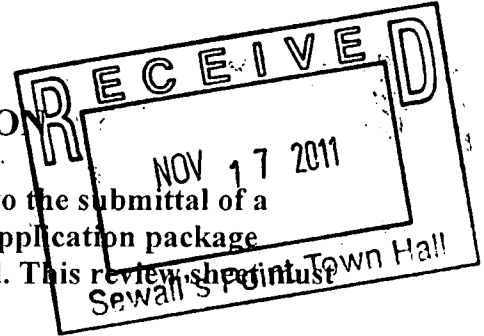
Form received by: \_\_\_\_\_ Date: \_\_\_\_/\_\_\_\_/\_\_\_\_





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

### A/C PERMIT APPLICATION



A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

\_\_\_\_\_ 1 Copy Completed permit application

\_\_\_\_\_ 2 Copies of the following:

- a. Manufacturer's data sheet to include make, model, seer/eer, tonnage, electrical requirements, refrigerant piping size, and AHRI listing page.
- b. Replacing ductwork requires Manual D layout plan ~~with grille sizes~~
- c. Replacing entire system including ductwork requires Manual J and Energy calculations.
- d. Condenser tie down and Air Handler mounting details
- e. A/C change out affidavit

### COMMERCIAL APPLICATIONS ADDITIONALLY REQUIRE

\_\_\_\_\_ 2 Copies A/C Stand NOA or Engineers letter to retrofit to existing mounts.

\_\_\_\_\_ Smoke Detectors in supply duct for units over 2000 CFM



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**Air Conditioning Change out Affidavit**

Residential  Commercial \_\_\_\_\_

Package Unit \_\_\_ Yes \_\_\_ No (Use Condenser side of form below for equipment listing)

Duct Replacement \_\_\_ Yes  No - Refrigerant line replacement \_\_\_ Yes  No

Flushing Existing Refrigerant lines \_\_\_ Yes  No - Adding Refrigerant Drier \_\_\_ Yes  No

Rooftop A/C Stand Installation \_\_\_ Yes  No - Curb Installation \_\_\_ Yes  No

Smoke Detector in Supply (over 2000 CFM) \_\_\_ Yes  No

**One form required for each A/C system installed**

**REPLACEMENT SYSTEM COMPONENTS**

**Air handler:** Mfg: N/A Model# \_\_\_\_\_  
 Volts \_\_\_ CFM's \_\_\_\_\_ Heat Strip \_\_\_\_\_ Kw  
 Min. Circuit Amps \_\_\_\_\_ Wire gauge \_\_\_\_\_  
 Max. Breaker size \_\_\_\_\_ Min. Breaker size \_\_\_\_\_  
 Ref. line size: Liquid \_\_\_\_\_ Suction \_\_\_\_\_  
 Refrigerant type \_\_\_\_\_  
 Location: Existing \_\_\_\_\_ New \_\_\_\_\_  
 Attic/Garage/Closet (specify) \_\_\_\_\_  
 Access: \_\_\_\_\_

**Condenser:** Mfg: N/A Model# \_\_\_\_\_  
 Volts \_\_\_ SEER/EER \_\_\_\_\_ BTU's \_\_\_\_\_  
 Min. Circuit Amps \_\_\_\_\_ Wire gauge \_\_\_\_\_  
 Max. Breaker size \_\_\_\_\_ Min. Breaker size \_\_\_\_\_  
 Ref. line size: Liquid \_\_\_\_\_ Suction \_\_\_\_\_  
 Refrigerant type \_\_\_\_\_  
 Location: Existing \_\_\_\_\_ New \_\_\_\_\_  
 Left/Right/Rear/Front/Roof \_\_\_\_\_  
 Condensate Location \_\_\_\_\_

**(Contractor must provide ladder if required)**

**EXISTING SYSTEM COMPONENTS**

**Air handler:** Mfg: N/A Model# \_\_\_\_\_  
 Volts \_\_\_ CFM's \_\_\_\_\_ Heat Strip \_\_\_\_\_ Kw  
 Min. Circuit Amps \_\_\_\_\_ Wire gauge \_\_\_\_\_  
 Max. Breaker size \_\_\_\_\_ Min. Breaker size \_\_\_\_\_  
 Ref. line size: Liquid \_\_\_\_\_ Suction \_\_\_\_\_  
 Refrigerant type \_\_\_\_\_  
 Location: Ext. \_\_\_\_\_ New \_\_\_\_\_  
 Attic/Garage/Closet (specify) \_\_\_\_\_  
 Access: \_\_\_\_\_

**Condenser:** Mfg: N/A Model# \_\_\_\_\_  
 Volts \_\_\_ SEER/EER \_\_\_\_\_ BTU's \_\_\_\_\_  
 Min. Circuit Amps \_\_\_\_\_ Wire gauge \_\_\_\_\_  
 Max. Breaker size \_\_\_\_\_ Min. Breaker size \_\_\_\_\_  
 Ref. line size: Liquid \_\_\_\_\_ Suction \_\_\_\_\_  
 Refrigerant type \_\_\_\_\_  
 Location: Ext. \_\_\_\_\_ New \_\_\_\_\_  
 Left/Right/Rear/Front/Roof \_\_\_\_\_  
 Condensate Location \_\_\_\_\_

**Certification:**

I herby certify that the information entered on this form accurately represents the equipment installed and further affirm that this equipment is considered matched as required by FBC - R (N)1107 & 1108

[Signature]  
 Signature

11/17/11  
 Date



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**Air Conditioning Change out Affidavit**

Residential  Commercial \_\_\_\_\_  
 Package Unit \_\_\_ Yes \_\_\_ No (Use Condenser side of form below for equipment listing)  
 Duct Replacement \_\_\_ Yes  No - Refrigerant line replacement \_\_\_ Yes  No  
 Flushing Existing Refrigerant lines \_\_\_ Yes  No - Adding Refrigerant Drier \_\_\_ Yes  No  
 Rooftop A/C Stand Installation \_\_\_ Yes  No - Curb Installation \_\_\_ Yes  No  
 Smoke Detector in Supply (over 2000 CFM) \_\_\_ Yes  No

**One form required for each A/C system installed**

**REPLACEMENT SYSTEM COMPONENTS**

<b>Air handler:</b> Mfg: <u>N/A</u> Model# _____	<b>Condenser:</b> Mfg: <u>N/A</u> Model# _____
Volts ___ CFM's _____ Heat Strip _____ Kw _____	Volts ___ SEER/EER _____ BTU's _____
Min. Circuit Amps _____ Wire gauge _____	Min. Circuit Amps _____ Wire gauge _____
Max. Breaker size _____ Min. Breaker size _____	Max. Breaker size _____ Min. Breaker size _____
Ref. line size: Liquid _____ Suction _____	Ref. line size: Liquid _____ Suction _____
Refrigerant type _____	Refrigerant type _____
Location: Existing _____ New _____	Location: Existing _____ New _____
Attic/Garage/Closet (specify) _____	Left/Right/Rear/Front/Roof _____
Access: _____	Condensate Location _____

**(Contractor must provide ladder if required)**

**EXISTING SYSTEM COMPONENTS**

<b>Air handler:</b> Mfg: <u>N/A</u> Model# _____	<b>Condenser:</b> Mfg: <u>N/A</u> Model# _____
Volts ___ CFM's _____ Heat Strip _____ Kw _____	Volts ___ SEER/EER _____ BTU's _____
Min. Circuit Amps _____ Wire gauge _____	Min. Circuit Amps _____ Wire gauge _____
Max. Breaker size _____ Min. Breaker size _____	Max. Breaker size _____ Min. Breaker size _____
Ref. line size: Liquid _____ Suction _____	Ref. line size: Liquid _____ Suction _____
Refrigerant type _____	Refrigerant type _____
Location: Ext. _____ New _____	Location: Ext. _____ New _____
Attic/Garage/Closet (specify) _____	Left/Right/Rear/Front/Roof _____
Access: _____	Condensate Location _____

**Certification:**

I herby certify that the information entered on this form accurately represents the equipment installed and further affirm that this equipment is considered matched as required by FBC - R (N)1107 & 1108

[Signature]  
 Signature

11/17/11  
 Date

**NOTICE OF COMMENCEMENT**  
*TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00*

PERMIT #: \_\_\_\_\_ TAX FOLIO #: \_\_\_\_\_

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): \_\_\_\_\_

GENERAL DESCRIPTION OF IMPROVEMENT: \_\_\_\_\_

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT  
NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
INTEREST IN PROPERTY: \_\_\_\_\_

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:  
NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
( EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

\_\_\_\_\_  
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT  
SIGNATORY'S TITLE/OFFICE \_\_\_\_\_

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

BY: \_\_\_\_\_ AS \_\_\_\_\_ FOR \_\_\_\_\_  
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN \_\_\_\_\_ OR PRODUCED IDENTIFICATION \_\_\_\_\_

TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri - 11 Page \_\_\_ of \_\_\_

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	<i>12 WENDY</i>	<i>INVESTIGATE</i>		
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	<del>3 K...</del>			
	<del>3 K...</del>	<i>DIED WONT NO PERMIT</i>		
		<i>MIRANDA</i>		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **11-30-11** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9921</del>	<del>London</del>	<del>Final</del>	<del>Pass</del>	
	<del>Dorwood</del>	<del>duct</del>	<del>Pass</del>	<del>Close</del>
	Miranda			INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9887	Czochino	Final		
<u>1st</u>	11 Rio Vista	Pathways	Pass	Close
	Glenmark			INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9873	Leason	Final		
<u>930</u>	101 N Sewalls	generator	Pass	Close
	Energized Elec	gas		INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9940	Luhow	Gas Line	Pass	
	20 E. Kason Pt			
	Seagate			INSPECTOR <i>AT</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

INSPECTOR

**10449**

**A/C CHANGEOUT**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10449	DATE ISSUED:	MAY 15, 2013
SCOPE OF WORK:	AC CHANGEOUT		
CONTRACTOR:	KRAUSS & CRANE		
PARCEL CONTROL NUMBER:	133841009-000-000801	SUBDIVISION	OAKWOOD - LOT 8
CONSTRUCTION ADDRESS:	3 OAKWOOD DR		
OWNER NAME:	FENDER/PADGETT		
QUALIFIER:	JOHN CRANE	CONTACT PHONE NUMBER:	287-1227

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



# Town of Sewall's Point

## BUILDING PERMIT APPLICATION

Date: 5/10/13 Permit Number: 10449

OWNER/LESSEE NAME: FRANK FENDER/SALLY PADGETT Phone (Day) 5619837447 (Fax) \_\_\_\_\_  
 Job Site Address: 3 OAKWOOD DR. City: STUART State: FL Zip: 34996  
 Legal Description: OAKWOOD LOT 8 Parcel Control Number: 13-38-41-009-000-00080-1  
 Fee Simple Holder Name: N/A Address: N/A  
 City: NA State: NA Zip: NA Telephone: NA

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):** Replace a/c equipment like for like change

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO   
**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES: (Required on ALL permit applications)**  
 Estimated Value of Improvements: \$ 15,081.36  
(Notice of Commencement required when over \$2500 prior to first inspection. \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10  AE9  AE8  X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only. Minus the land value)  
**PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION**

Construction Company: Krauss Crane, Inc. Phone: 8871887 Fax: 8834055  
 Qualifiers name: John H. Crane III Street: 904 S Dixie Hwy City: Stuart State: FL Zip: 34994  
 State License Number: CAC049286 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_  
**LOCAL CONTACT:** John H. Crane III Phone Number: 8871887

**DESIGN PROFESSIONAL:** \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

**AREAS SQUARE FOOTAGE:** Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof 8818 Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

**CODE EDITIONS IN EFFECT THIS APPLICATION:** Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

**OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:**  
[Signature]  
 State of Florida, County of: Martin  
 On This the 9th day of May, 2013  
 by Frank Fender who is personally known to me or produced  
 As identification: FL DC # F53626163-177-a

**CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:**  
 x [Signature]  
 State of Florida, County of: Martin  
 On This the 9th day of May, 2013  
 by John Crane who is personally known to me or produced  
 As identification: [Signature]

Notary Public  
**MICHELLE THOMAS**  
 My Commission Expires: \_\_\_\_\_  
 MY COMMISSION # DD974341  
 SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!  
 (407) 398-0153 FloridaNotaryService.com

Notary Public  
**MICHELLE THOMAS**  
 My Commission Expires: \_\_\_\_\_  
 MY COMMISSION # DD974341  
 SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!  
 (407) 398-0153 FloridaNotaryService.com

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INSTR # 2394144  
OR B.K 2650 PG 687  
(1 Pgs)  
RECORDED 05/10/2013 11:21:12 AM  
CAROLYN TIMMANN  
MARTIN COUNTY CLERK

**NOTICE OF COMMENCEMENT**

To be completed when construction value exceeds \$2,500.00

PERMIT #: \_\_\_\_\_ TAX FOLIO # 13-38-41-009-000-00080-1

STATE OF FLORIDA COUNTY OF MARTIN

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE):  
OAKWOOD LOT 8

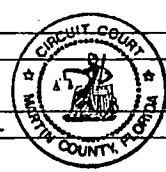
GENERAL DESCRIPTION OF IMPROVEMENT: REPLACE A/C EQUIPMENT LIKE FOR LIKE CHANGE OUT WITH OUT DUCTWORK

OWNER INFORMATION OR LESSEE INFORMATION, IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:  
Name: FRANK FENDER/SALLY PADGETT  
Address: 3 OAKWOOD DRIVE STUART, FL 34996  
Interest in property: OWNER  
Name and address of fee simple title holder (If different from Owner listed above):  
N/A

CONTRACTOR'S NAME: KRAUSS & CRANE, INC./JOHN H. CRAN, III Phone No.: (772) 287-1227  
Address: 904 SE DIXIE HWY. STUART, FL 34994

SURETY COMPANY (If applicable, a copy of the payment bond is attached)  
Name and address: N/A  
Phone No.: \_\_\_\_\_

STATE OF FLORIDA  
MARTIN COUNTY  
Bond amount: \_\_\_\_\_  
THIS IS TO CERTIFY THAT THE  
FOREGOING PAGE(S) IS/ARE TRUE  
AND CORRECT COPY OF THE ORIGINAL  
DOCUMENT AS FILED IN THIS OFFICE.  
CAROLYN TIMMANN, CLERK  
BY: \_\_\_\_\_ D.C.  
DATE: 05/10/13 Phone No.: \_\_\_\_\_



LENDER'S NAME: N/A  
Address: \_\_\_\_\_

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7, Florida Statutes:

Name: \_\_\_\_\_  
Address: \_\_\_\_\_

In addition to himself or herself, owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.  
Phone number of person or entity designated by Owner: \_\_\_\_\_

Expiration date of Notice of Commencement:  
(the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

Under penalty of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief.

*[Signature]*  
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager/Attorney-in-fact

Signatory's Title/Office \_\_\_\_\_

The foregoing instrument was acknowledged before me this 9th day of May, 2013

By: Frank Fender as \_\_\_\_\_ for \_\_\_\_\_  
Name of person Type of authority (e.g. officer, trustee) Party on behalf of whom instrument was executed

Notary's Signature Michelle Thomas Personally known  or produced identification



(Print, Type, or Stamp Commission # and Name of Notary) MY COMMISSION # DD974341 EXPIRES March 23, 2014  
F526-261-63-177-0  
FLIX

**Martin County, Florida  
Laurel Kelly, C.F.A**
*generated on 5/10/2013 1:28:24 PM EDT*
**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-009-000-00080-1	27846	3 OAKWOOD DR, SEWALL'S POINT	\$318,570	5/4/2013

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**Owner Information**

<b>Owner(Current)</b>	FENDER FRANK A PADGETT SALLY
<b>Owner/Mail Address</b>	3 OAKWOOD DR STUART FL 34996-6330
<b>Sale Date</b>	5/29/2003
<b>Document Book/Page</b>	1779 0317
<b>Document No.</b>	1668574
<b>Sale Price</b>	370000

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**Location/Description**

<b>Account #</b>	27846	<b>Map Page No.</b>	
<b>Tax District</b>	2200	<b>Legal Description</b>	OAKWOOD LOT 8
<b>Parcel Address</b>	3 OAKWOOD DR, SEWALL'S POINT		
<b>Acres</b>	.3940		

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**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	120400 Hmwd, Palm Ro, Kngstn, Okwd, Pine

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**Assessment Information**

<b>Market Land Value</b>	\$175,000
<b>Market Improvement Value</b>	\$143,570
<b>Market Total Value</b>	\$318,570



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

Air Conditioning Change out Affidavit

Residential  Commercial \_\_\_\_\_  
Package Unit \_\_\_\_\_ Yes  No (Use Condenser side of form below for equipment listing)  
Duct Replacement \_\_\_\_\_ Yes  No - Refrigerant line replacement \_\_\_\_\_ Yes  No  
Flushing Existing Refrigerant lines  Yes \_\_\_\_\_ No - Adding Refrigerant Drier  Yes \_\_\_\_\_ No  
Rooftop A/C Stand Installation \_\_\_\_\_ Yes  No - Curb Installation \_\_\_\_\_ Yes  No  
Smoke Detector in Supply (over 2000 CFM) \_\_\_\_\_ Yes  No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: Trane Model# TAMC0000  
Volts <sup>240</sup> 120 CFM's 1150 Heat Strip 10 Kw  
Min. Circuit Amps 57 Wire gauge #6  
Max. Breaker size 60 Min. Breaker size 57  
Ref. line size: Liquid 3/8 Suction 1/8  
Refrigerant type R410A  
Location: Existing  New \_\_\_\_\_  
Attic/Garage/Closet (specify) attic  
Access: pull down  
(Contractor must provide ladder if required)

Condenser: Mfg Trane Model# 4TTZ0060  
Volts <sup>240</sup> 120 SEER/EER 18 BTU's 57500  
Min. Circuit Amps 31 Wire gauge #6  
Max. Breaker size 50 Min. Breaker size 31  
Ref. line size: Liquid 3/8 Suction 1/8  
Refrigerant type R410A  
Location: Existing  New \_\_\_\_\_  
Left/Right/Rear/Front/Roof Rt side  
Condensate Location @ cond

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: AM STAND Model# TWEC00  
Volts <sup>240</sup> 120 CFM's 1150 Heat Strip 10 Kw  
Min. Circuit Amps 57 Wire gauge #6  
Max. Breaker size 60 Min. Breaker size 57  
Ref. line size: Liquid 3/8 Suction 1/8  
Refrigerant type R22  
Location: Ext.  New \_\_\_\_\_  
Attic/Garage/Closet (specify) attic  
Access: pull down

Condenser: Mfg AM STAND Model# 7ATA8000  
Volts <sup>240</sup> 120 SEER/EER 18 BTU's 60000  
Min. Circuit Amps 31 Wire gauge #6  
Max. Breaker size 50 Min. Breaker size 31  
Ref. line size: Liquid 3/8 Suction 1/8  
Refrigerant type R22  
Location: Ext.  New \_\_\_\_\_  
Left/Right/Rear/Front/Roof Rt side  
Condensate Location @ cond

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further affirm that this equipment is considered matched as required by FBC - R (N)1107 & 1108

John Lane  
Signature

\_\_\_\_\_  
Date



# Electrical Data

## TAM8 HEATER ATTRIBUTE DATA

Heater Attribute Data											
TAM8A0C48V41CC											
Heater Model No.	No. of Circuits	240 Volt					208 Volt				
		Capacity		Heater Amps per Circuit	Minimum Circuit Ampacity	Maximum Overload Protection	Capacity		Heater Amps per Circuit	Minimum Circuit Ampacity	Maximum Overload Protection
		kW	BTUH				kW	BTUH			
No Heater	0	-	-	4.2**	5	15	-	-	4.2**	5	15
BAYEVAC05++1	1	4.80	16400	20.0	30	30	3.60	12300	17.3	27	30
BAYEVAC08++1	1	7.68	26200	32.0	45	45	5.76	19700	27.7	40	40
BAYEVAC10++1	1	9.60	32800	40.0	55	60	7.20	24600	34.6	49	50
BAYEVAC10LG3	1-3 PH	9.60	32800	23.1	34	35	7.20	24600	20.0	30	30
BAYEVBC15LG3	1-3 PH	14.40	42000	34.6	48	50	10.80	36900	30.0	42	45
BAYEVBC15BK1 - Circuit 1 Ⓞ BAYEVBC15BK1 - Circuit 2	2	9.60	32800	40.0	55	60	7.20	24600	34.6	49	50
		4.80	16400	20.0	25	25	3.60	12300	17.3	22	25
BAYEVBC20BK1 - Circuit 1 Ⓞ BAYEVBC20BK1 - Circuit 2	2	9.60	32800	40.0	55	60	7.20	24600	34.6	49	50
		9.60	32800	40.0	50	50	7.20	24600	34.6	43	45
BAYEVCC25BK1 - Circuit 1 Ⓞ BAYEVCC25BK1 - Circuit 2 BAYEVCC25BK1 - Circuit 3	3	9.60	32800	40.0	55	60	7.20	24600	34.6	49	50
		9.60	32800	40.0	50	50	7.20	24600	34.6	43	45
		4.80	16400	20.0	25	25	3.60	12300	17.3	22	25

Note: \*\* Motor Amps  
 Ⓞ MCA and MOP for circuit 1 contains the motor amps

Heater Attribute Data											
TAM8B0C60V51CB											
Heater Model No.	No. of Circuits	240 Volt					208 Volt				
		Capacity		Heater Amps per Circuit	Minimum Circuit Ampacity	Maximum Overload Protection	Capacity		Heater Amps per Circuit	Minimum Circuit Ampacity	Maximum Overload Protection
		kW	BTUH				kW	BTUH			
No Heater	0	-	-	5.5**	7	15	-	-	5.5**	7	15
BAYEVAC05++1	1	4.80	16400	20.0	32	35	3.60	12300	17.3	29	30
BAYEVAC08++1	1	7.68	26200	32.0	47	50	5.76	19700	27.7	41	45
BAYEVAC10++1	1	9.60	32800	40.0	57	60	7.20	24600	34.6	50	50
BAYEVAC10LG3	1-3 PH	9.60	32800	23.1	35	35	7.20	24600	20.0	31	35
BAYEVBC15LG3	1-3 PH	14.40	42000	34.6	49	50	10.80	36900	30.0	44	45
BAYEVBC15BK1 - Circuit 1 Ⓞ BAYEVBC15BK1 - Circuit 2	2	9.60	32800	40.0	57	60	7.20	24600	34.6	50	50
		4.80	16400	20.0	25	25	3.60	12300	17.3	22	25
BAYEVBC20BK1 - Circuit 1 Ⓞ BAYEVBC20BK1 - Circuit 2	2	9.60	32800	40.0	57	60	7.20	24600	34.6	50	50
		9.60	32800	40.0	50	50	7.20	24600	34.6	43	45
BAYEVCC25BK1 Ⓞ - Circuit 1 Ⓞ BAYEVCC25BK1 - Circuit 2 BAYEVCC25BK1 - Circuit 3	3	9.60	32800	40.0	57	60	7.20	24600	34.6	50	50
		9.60	32800	40.0	50	50	7.20	24600	34.6	43	45
		4.80	16400	20.0	25	25	3.60	12300	17.3	22	25

Note: \*\* Motor Amps  
 Ⓞ MCA and MOP for circuit 1 contains the motor amps  
 Ⓞ Heater not qualified for 208V when installed in horizontal left position without Heat Pump

Notes:

1. See Product Data or Air Handler nameplate for approved combinations of Air Handlers and Heaters
2. Heater model numbers may have additional suffix digits.



**TRANE®**

# General Data

**PRODUCT SPECIFICATIONS**

MODEL	TAM8A0A24V21CC	TAM8A0B30V21CC	TAM8A0C36V31CC
<b>RATED VOLTS/PH/HZ.</b>	200-230/1/60	200-230/1/60	200-230/1/60
<b>RATINGS</b> ①	See O.D. Specifications	See O.D. Specifications	See O.D. Specifications
<b>INDOOR COIL — Type</b>	Plate Fin	Plate Fin	Plate Fin
Rows — F.P.I.	3 - 14	3 - 14	3 - 14
Face Area (sq. ft.)	3.67	5.04	5.50
Tube Size (in.)	3/8	3/8	3/8
Refrigerant Control	EEV	EEV	EEV
Drain Conn. Size (in.) ②	3/4 NPT	3/4 NPT	3/4 NPT
<b>DUCT CONNECTIONS</b>	See Outline Drawing	See Outline Drawing	See Outline Drawing
<b>INDOOR FAN — Type</b>	Centrifugal	Centrifugal	Centrifugal
Diameter-Width (In.)	11 X 8	11 X 10	11 X 10
No. Used	1	1	1
Drive - No. Speeds	Direct - Variable	Direct - Variable	Direct - Variable
CFM vs. in. w.g.	See Fan Performance Table	See Fan Performance Table	See Fan Performance Table
No. Motors — H.P.	1 - 1/2	1 - 1/2	1 - 1/2
Motor Speed R.P.M.	Variable ECM	Variable ECM	Variable ECM
Volts/Ph/Hz	208-230/1/60	208-230/1/60	208-230/1/60
F.L. Amps	3.0	3.0	3.0
<b>FILTER</b>			
Filter Furnished?	No	No	No
Type Recommended	Throwaway	Throwaway	Throwaway
No.-Size-Thickness	1 - 22 X 20 - 1 in.	1 - 20 X 20 - 1 in.	1 - 22 X 20 - 1 in.
<b>REFRIGERANT</b>	<b>R-410A</b>	<b>R-410A</b>	<b>R-410A</b>
Ref. Line Connections	Brazed	Brazed	Brazed
Coupling or Conn. Size — in. Gas	3/4	3/4	7/8
Coupling or Conn. Size — in. Liq.	3/8	3/8	3/8
<b>DIMENSIONS</b>	H x W x D	H x W x D	H x W x D
Crated (In.)	51 x 20 x 24.5	56.8 x 23.5 x 24.5	58 x 25.5 x 24.5
Uncrated	49.9 x 17.5 x 21.8	55.7 x 21.3 x 21.8	56.9 x 23.5 x 21.8
<b>WEIGHT</b>			
Shipping (Lbs.)/Net (Lbs.)	126/116	150/138	157/146

**PRODUCT SPECIFICATIONS**

MODEL	TAM8A0C42V31CC	TAM8A0C48V41CC	TAM8B0C60V51CB
<b>RATED VOLTS/PH/HZ.</b>	200-230/1/60	200-230/1/60	200-230/1/60
<b>RATINGS</b> ①	See O.D. Specifications	See O.D. Specifications	See O.D. Specifications
<b>INDOOR COIL — Type</b>	Plate Fin	Plate Fin	Plate Fin
Rows — F.P.I.	4 - 14	4 - 14	4 - 14
Face Area (sq. ft.)	5.04	5.96	5.96
Tube (in.)	3/8	3/8	3/8
Refrigerant Control	EEV	EEV	EEV
Drain Conn. Size (in.) ②	3/4 NPT	3/4 NPT	3/4 NPT
<b>DUCT CONNECTIONS</b>	See Outline Drawing	See Outline Drawing	See Outline Drawing
<b>INDOOR FAN — Type</b>	Centrifugal	Centrifugal	Centrifugal
Diameter-Width (In.)	11 X 10	11 X 10	11 X 10
No. Used	1	1	1
Drive - No. Speeds	Direct - Variable	Direct - Variable	Direct - Variable
CFM vs. in. w.g.	See Fan Performance Table	See Fan Performance Table	See Fan Performance Table
No. Motors — H.P.	1 - 1/2	1 - 3/4	1 - 1
Motor Speed R.P.M.	Variable ECM	Variable ECM	Variable ECM
Volts/Ph/Hz	208-230/1/60	208-230/1/60	208-230/1/60
F.L. Amps	3.0	4.2	5.5
<b>FILTER</b>			
Filter Furnished?	No	No	No
Type Recommended	Throwaway	Throwaway	Throwaway
No.-Size-Thickness	1 - 22 X 20 - 1 in.	1 - 22 X 20 - 1 in.	1 - 22 X 20 - 1 in.
<b>REFRIGERANT</b>	<b>R-410A</b>	<b>R-410A</b>	<b>R-410A</b>
Ref. Line Connections	Brazed	Brazed	Brazed
Coupling or Conn. Size — in. Gas	7/8	7/8	7/8
Coupling or Conn. Size — in. Liq.	3/8	3/8	3/8
<b>DIMENSIONS</b>	H x W x D	H x W x D	H x W x D
Crated (In.)	58 x 25.5 x 24.5	62.8 x 25.5 x 24.5	62.8 x 25.5 x 24.5
Uncrated	56.9 x 23.5 x 21.8	61.7 x 23.5 x 21.8	61.7 x 23.5 x 21.8
<b>WEIGHT</b>			
Shipping (Lbs.)/Net (Lbs.)	162/150	174/162	175/163

① These Air Handlers are AHRI, certified with various Split System Air Conditioners and Heat Pumps (AHRI STANDARD 210/240). Refer to the Split System Outdoor Unit Product Data Guides for performance data.

② 3/4" Male Plastic Pipe (Ref.: ASTM 1785-76)



# General Data

## Product Specifications

Model No. ①	4TTZ0024A1	4TTZ0036B1	4TTZ0048B1	4TTZ0060A1
Electrical Data V/Ph/Hz ②	200/230/1/60	208/230/1/60	200/230/1/60	200/230/1/60
Min Cir Ampacity	14	19	26	31
Max Fuse Size (Amps)	20	30	40	50
Compressors	2 - CLIMATUFF®	2 - CLIMATUFF®	2 - CLIMATUFF®	2 - CLIMATUFF®
RL AMPS - LR AMPS	8.7 - 58	13.2 - 60.0	18.6 - 93.4	22.8 - 128.7
Outdoor Fan FL Amps	2.80	2.80	2.80	2.80
Fan HP	1/3	1/3	1/3	1/3
Fan Dia (inches)	27.5	27.6	27.6	27.6
Coil	Spine Fin™	Spine Fin™	Spine Fin™	Spine Fin™
Refrigerant R-410A	10/10-LB/OZ	10/8-LB/OZ	15/7-LB/OZ	13/16-LB/OZ
Line Size - (in.) O.D. Gas ③	3/4	3/4	7/8	7/8
Line Size - (in.) O.D. Liquid ③	3/8	3/8	3/8	3/8
Dimensions H x W x D (Crated)	57.4 x 35.1 x 38.7	57.4 x 35.1 x 38.7	57.4 x 35.1 x 38.7	57.4 x 35.1 x 38.7
Weight - Shipping	385	385	470	470
Weight - Net	335	335	420	420
Start Components	YES	YES	YES	YES
Sound Enclosure	YES	YES	YES	YES
Compressor Sump Heat	YES	YES	YES	YES
<b>Optional Accessories: ④</b>				
Rubber Isolator Kit	BAYISLT101	BAYISLT101	BAYISLT101	BAYISLT101
Snow Leg - Base & Cap 4" High	BAYLEGS002	BAYLEGS002	BAYLEGS002	BAYLEGS002
Snow Leg - 4" Extension	BAYLEGS003	BAYLEGS003	BAYLEGS003	BAYLEGS003
Extreme Condition Mounting Kit	BAYECMT023	BAYECMT004	BAYECMT004	BAYECMT004
Vertical Discharge Air Kit Base 4	BAYVDTA003	BAYVDTA004	BAYVDTA004	BAYVDTA004
Auto Charge Solenoid Kit	BAYCAKT001	BAYCAKT001	BAYCAKT001	BAYCAKT001
24 Volt Wiring Harness	BAYACHP024A	BAYACHP024A	BAYACHP024A	BAYACHP024A
Refrigerant Lineset ⑤	TAYREFLN7*	TAYREFLN7*	TAYREFLN3*	TAYREFLN3*

① Certified in accordance with the Air-Source Unitary Heat Pump Equipment certification program which is based on AHRI Standard 210/240.

② Calculated in accordance with N.E.C. Only use HACR circuit breakers or fuses.

③ Standard line lengths - 80'. Standard lift - 25' Suction and Liquid line.

For Greater lengths and lifts refer to refrigerant piping software Pub# 32-3312-01. (\*denotes latest revision)

④ For accessory description and usage, see page 5.

⑤ \* = 15, 20, 25, 30, 40 and 50 foot lineset available.

### A-weighted Sound Power Level [dB(A)]

MODEL	SOUND POWER LEVEL [dB(A)]		A-WEIGHTED FULL OCTAVE SOUND POWER LEVEL dB - [dB(A)] High Stage							
	Low Stage Overall	High Stage Overall	63	125	250	500	1000	2000	4000	8000
4TTZ0024A1	59	68	44.8	54.4	60.5	57.7	61.4	61.9	55	49.1
4TTZ0036B1	67	72	50.8	55.3	64.6	67.8	64.3	63.2	57.6	51.5
4TTZ0048B1	68	76	51.3	56	68.3	71.3	65.6	69	58.9	49.6
4TTZ0060A1	70	76	51.4	59.8	67.3	68	69.6	70.1	61	51.5

Note: Tested in accordance with ARI Standard 270.95. (Not listed with ARI)

Fentler



# Certificate of Product Ratings

AHRI Certified Reference Number: 5318475

Date: 5/8/2013

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 4TTZ0060A1

Indoor Unit Model Number: \*AM8B0C60V51

Manufacturer: TRANE

Trade/Brand name: XL20I

Manufacturer responsible for the rating of this system combination is TRANE

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	57500
EER Rating (Cooling):	12.00
SEER Rating (Cooling):	18.00

\* Ratings followed by an asterisk (\*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

#### DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at [www.ahridirectory.org](http://www.ahridirectory.org).

#### TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

#### CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at [www.ahridirectory.org](http://www.ahridirectory.org), click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



Air-Conditioning, Heating, and Refrigeration Institute



## Project Information

For: Frank Fender/Sally Padgett  
 3 Oakwood Drive, Stuart, FL 34996  
 Phone: 561-923-7447

Notes:

## Design Information

Weather: West Palm Beach Intl AP, FL, US

### Winter Design Conditions

Outside db 47 °F  
 Inside db 70 °F  
 Design TD 23 °F

### Summer Design Conditions

Outside db 91 °F  
 Inside db 75 °F  
 Design TD 16 °F  
 Daily range L  
 Relative humidity 50 %  
 Moisture difference 57 gr/lb

### Heating Summary

Structure 29130 Btuh  
 Ducts 5452 Btuh  
 Central vent (0 cfm) 0 Btuh  
 Humidification 0 Btuh  
 Piping 0 Btuh  
 Equipment load 34582 Btuh

### Sensible Cooling Equipment Load Sizing

Structure 36949 Btuh  
 Ducts 7408 Btuh  
 Central vent (0 cfm) 0 Btuh  
 Blower 0 Btuh  
 Use manufacturer's data n  
 Rate/swing multiplier 0.96  
 Equipment sensible load 42760 Btuh

### Infiltration

Method Simplified  
 Construction quality Average  
 Fireplaces 0

	Heating	Cooling
Area (ft <sup>2</sup> )	2816	2816
Volume (ft <sup>3</sup> )	28160	28160
Air changes/hour	0.32	0.16
Equiv. AVF (cfm)	150	75

### Latent Cooling Equipment Load Sizing

Structure 6485 Btuh  
 Ducts 2802 Btuh  
 Central vent (0 cfm) 0 Btuh  
 Equipment latent load 9287 Btuh  
 Equipment total load 52047 Btuh  
 Req. total capacity at 0.70 SHR 5.1 ton

### Heating Equipment Summary

Make  
 Trade  
 Model  
 AHRI ref no./n/a

Efficiency 100 EFF  
 Heating input 0 Btuh  
 Heating output 34582 Btuh  
 Temperature rise 17 °F  
 Actual air flow 1889 cfm  
 Air flow factor 0.055 cfm/Btuh  
 Static pressure 0 in H2O  
 Space thermostat

### Cooling Equipment Summary

Make  
 Trade  
 Cond  
 Coil  
 AHRI ref no.  
 Efficiency 0 SEER  
 Sensible cooling 0 Btuh  
 Latent cooling 0 Btuh  
 Total cooling 0 Btuh  
 Actual air flow 1889 cfm  
 Air flow factor 0.043 cfm/Btuh  
 Static pressure 0 in H2O  
 Load sensible heat ratio 0.83

*Bold/italic values have been manually overridden*

Calculations approved by ACCA to meet all requirements of Manual J 8th Ed.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**FLORIDA ENERGY CONSERVATION CODE**

**Mandatory Duct Inspection Certification for HVAC change-out**

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: FRANK FENDER Contractor name: KRAUSS: Crane  
 Street address: 3 Oakwood Dr Jurisdiction: Town of Sewalls Pt  
 City: Stuart Permit No.: \_\_\_\_\_  
 Zip: 34996 Final inspection date: \_\_\_\_\_

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- \_\_\_\_\_ Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.
- \_\_\_\_\_ Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)
- \_\_\_\_\_ The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
- \_\_\_\_\_ System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature: John Crane Date: 5/9/13  
 Printed Name: John H. Crane  
 Contractor License #: CAC.049786

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Printed Name: \_\_\_\_\_



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

*Handwritten signature/initials*

**FLORIDA ENERGY CONSERVATION CODE**

**Mandatory Duct Inspection Certification for HVAC change-out**

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: FRANK FENDER Contractor name: Krauss: Crane  
 Street address: 300 Kwood DR Jurisdiction: Town of Sewalls Pt.  
 City: Stuart Permit No. [REDACTED]  
 Zip: 34996 Final inspection date: \_\_\_\_\_

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- \_\_\_\_\_ Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.
- \_\_\_\_\_ Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)
- \_\_\_\_\_ The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
- \_\_\_\_\_ System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature: John Crane Date: 5/9/13  
 Printed Name: John H. Crane  
 Contractor License #: CAC049286

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Printed Name: \_\_\_\_\_

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 6-27-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10482	Crawford	Framing		
1st	116 N Sewalls	rough electric rough plumbing	PASS	
	OB			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10489</del>	<del>10489</del>	<del>10489</del>	<del>10489</del>	<del>10489</del>
2-3	Krauss & Crane			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10390	Pistaino	Final		
	8 Perruwinkle Cir	dock	RESET	FOR FRI
	Structure Con			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10248</del>	<del>Barker</del>	<del>Shutters</del>		
	<del>210 Sewalls</del>	<del>Final</del>	SBE	6/25/13
	<del>Renan</del>			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10398	Luger	Final		
	9 Revenview Dr	Pool	PASS	CLOSE
	Schiller			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # 0521

Date Issued: 11/27/01

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Eva Mueller Address 3 Oakwood Phone 283-8696

Contractor Monte's Tree Service Address P.O. Box 1523 Palm City Phone 283-8828

Number of trees to be removed (list kinds of trees) \_\_\_\_\_

1 DEAD Silkoak

Number of trees to be relocated within 30 days (no fee) (list kinds of trees): \_\_\_\_\_

Number of trees to be replaced: \_\_\_\_\_ (list kinds of trees): \_\_\_\_\_

Permit Fee \$ - 0 -

\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant \_\_\_\_\_ Plans approved as marked [Signature]

Approved by Building Inspector \_\_\_\_\_ Date submitted: \_\_\_\_\_

Completed 11/26/01 [Signature]  
Date Checked by

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

See attached Tree Species List





**TOWN OF SEWALL'S POINT  
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

**Tree Defined:** Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

**No permit required for:**

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

**Permit Fee:**

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

**No removal permits will be issued for native species trees:** Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

**Application procedures:**

1. Fill out application information below to include:
  - a. applicant information
  - b. written statement giving reasons for removal, relocation, or replacement if necessary
  - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
  - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

---

Owner SALLY Address 3 OAKWOOD Phone \_\_\_\_\_

Contractor A-VISION TREE SER Address \_\_\_\_\_ Phone 475 3264

No. of Trees: REMOVE 2 Type: AUSTRALIAN PINE

No. of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

No. of Trees: REPLACE NOT SURE WITHIN 30 DAYS Type: FOX TAIL PALMS & BACARANDA

Written statement giving reasons: ROOTS UNDER DRIVEWAY O.K

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Signature of Applicant [Signature] Date 10-15-03

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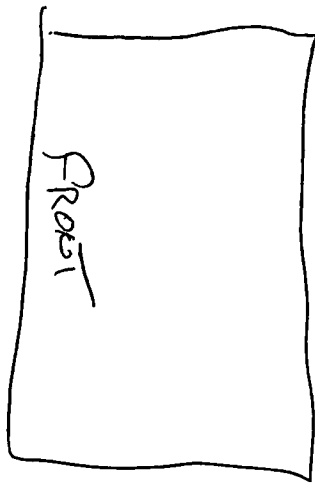
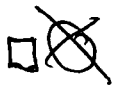
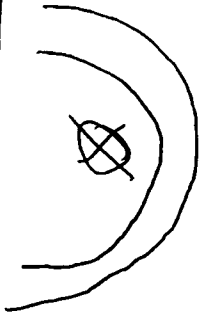
Approved by Building Inspector: [Signature] Date 10/17/3 Fee: 15-0

Plans approved as submitted \_\_\_\_\_ Plans approved as revised/marked: \_\_\_\_\_

*OK Verbal Permit*





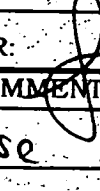
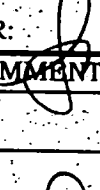
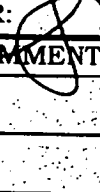

DAK wood



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10/17, 2008/3 Page      of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5919	Buell 21 RIVERVIEW O/B	COURTESY ELECTRICAL		Cancelled by Contr.  INSPECTOR: 
<del>1235</del>	<del>SALLY</del> 3 OAKWOOD	<del>TREE</del>	<del>Pass</del>	<del>    </del>  INSPECTOR: 
6429	ROBERTS 12 N. RIDGEVIEW GLEN MARIE	INSULATION	Pass	  INSPECTOR: 
6350	LUBINA 10 N. VIALUCINDIA ABACO BUILDERS	FINAL RENOV.	Pass	→ close  INSPECTOR: 
5875	MAXSON 9 S. RIVER LIBERTY ELEC	FINAL ELEC	Pass	  INSPECTOR: 
5002	SMITH 133 S. RIVER RD MACALI	FINAL STR	Pass	→ close  INSPECTOR: 
<b>OTHER:</b> <u>    </u>				

**TOWN OF SEWALL'S POINT**  
**APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

**Tree Defined:** Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

**No permit required for:**

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

**Permit Fee:**

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

**No removal permits will be issued for native species trees:** Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberrry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

**Application procedures:**

1. Fill out application information below to include:
  - a. applicant information
  - b. written statement giving reasons for removal, relocation, or replacement if necessary
  - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
  - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Frank + Sally Fender Address 3 Oakwood Drive Phone 2879681

Contractor Atlantic Nursery Address Palm City Phone \_\_\_\_\_

No. of Trees: REMOVE 2 Type: Australian Palms

No. of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

Written statement giving reasons: permit filed / approved 10/14/03 by A-Vision Tree Service

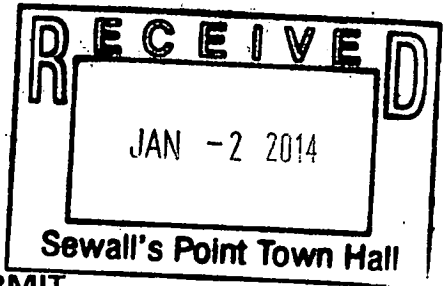
Signature of Applicant S Padgett - Fender Date 3/12/04

Approved by Building Inspector: [Signature] Date 3/12/04 Fee: 0

Plans approved as submitted \_\_\_\_\_ Plans approved as revised/marked: \_\_\_\_\_



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner FENDER Address 3 Oakwood Dr Phone 561-923-7447  
 Contractor OWNER Address 3 Oakwood Dr Phone 561-923-7447  
 No. of Trees: REMOVE 1 Species: LAUREL OAK  
 No. of Trees: RELOCATE \_\_\_\_\_ Species: \_\_\_\_\_  
 No. of Trees: REPLACE \_\_\_\_\_ Species: \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

**ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY**

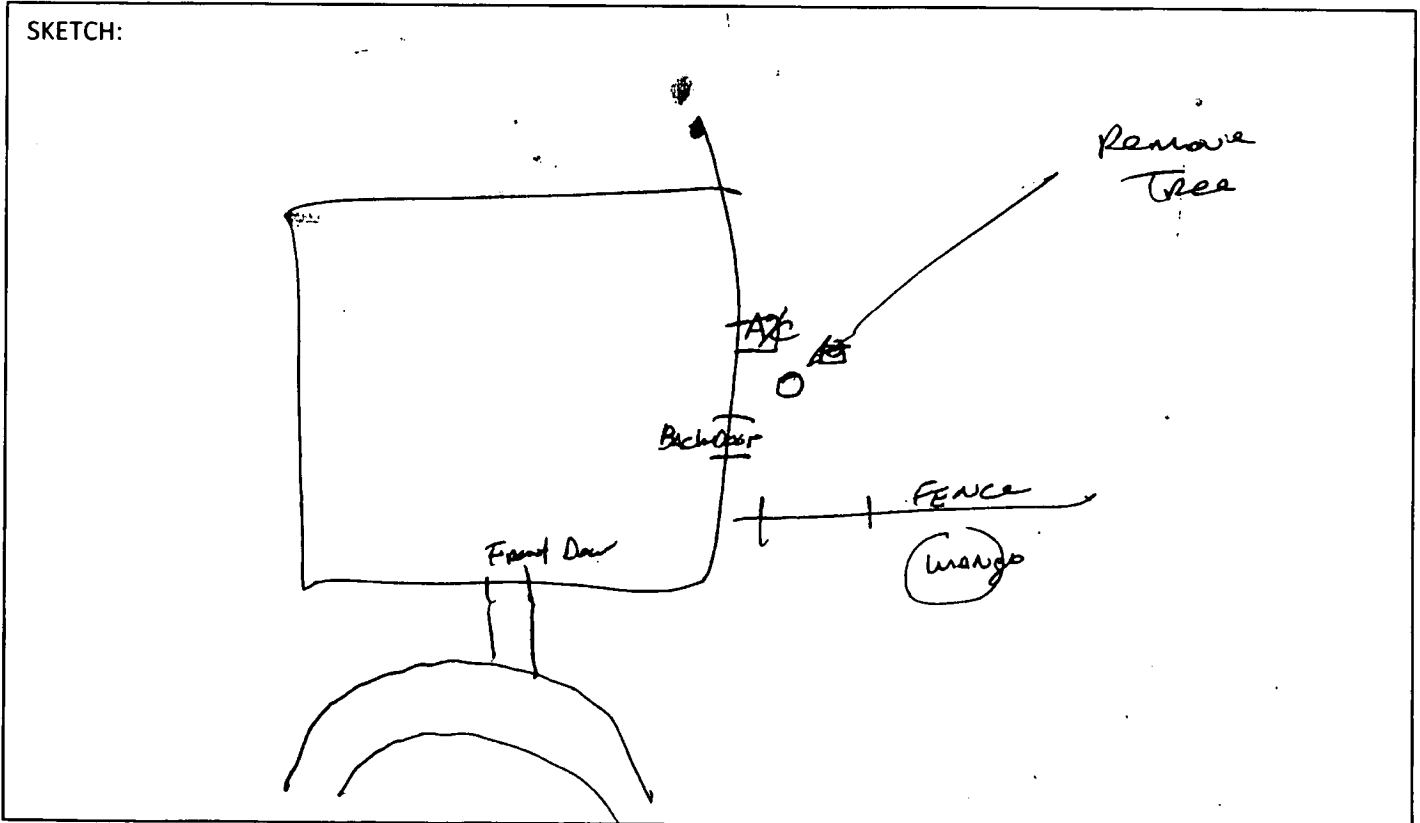
Reason for tree removal/relocation (See notice above) SON IS ALLERGIC TO IT AND  
IT IS POSITIONED RIGHT OUTSIDE HIS ROOM.

Signature of Property Owner [Signature] Date 1/2/14

Approved by Building Inspector: [Signature] Date 1-7-15 Fee: —

DENIED

NOTES: PLEASE SEE NOTICE ON SHEET 1 OF APPLICATION FOR  
APPROPRIATE CONDITIONS FOR REMOVAL



TOWN OF SEWALL'S POINT, FLORIDA

Date MARCH 12 2004 TREE REMOVAL PERMIT No 2219

APPLIED FOR BY FENDER (Contractor or Owner)

Owner 3 OAKWOOD

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees \_\_\_\_\_

No. Of Trees: REMOVE 2 AUSTRALIAN PINES

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE) REPLACING EXPIRED PERMIT #2121

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_

\_\_\_\_\_ FEE \$ Ø

Signed, \_\_\_\_\_ Applicant Signed, Gene Summers (SOS) Town Clerk Building Dept

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspect WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box for drawing or site plan.

PROJECT DESCRIPTION \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

REMARKS \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TOWN OF SEWALL'S POINT, FLORIDA

Date MAY 9 2005 TREE REMOVAL PERMIT No 2474

APPLIED FOR BY FENDER (Contractor or Owner)

Owner 3 OAKWOOD DRIVE

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees \_\_\_\_\_

No. Of Trees: REMOVE 1 AUSTRALIAN PINE

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_

FEE \$ 0

Signed, \_\_\_\_\_ Applicant

Signed

Gene Simmons (Signature)  
~~Town Clerk~~  
BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box with horizontal lines, likely for site plan or drawing.

PROJECT DESCRIPTION \_\_\_\_\_

Horizontal lines for project description details.

REMARKS \_\_\_\_\_

Horizontal lines for remarks.

**TOWN OF SEWALL'S POINT**  
**APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

**RECEIVED**  
 5/2/05  
 AHJ

**Tree Defined:** Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

**No permit required for:**

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

**Permit Fee:**

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

**No removal permits will be issued for native species trees:** Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

**Application procedures:**

1. Fill out application information below to include:
  - a. applicant information
  - b. written statement giving reasons for removal, relocation, or replacement if necessary
  - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
  - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner FRANK FENDER Address 3 Oakwood Drive Phone 287-9681

Contractor owner-builder Address " Phone "

No. of Trees: REMOVE 1 Type: Australian Pine

No. of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

No. of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

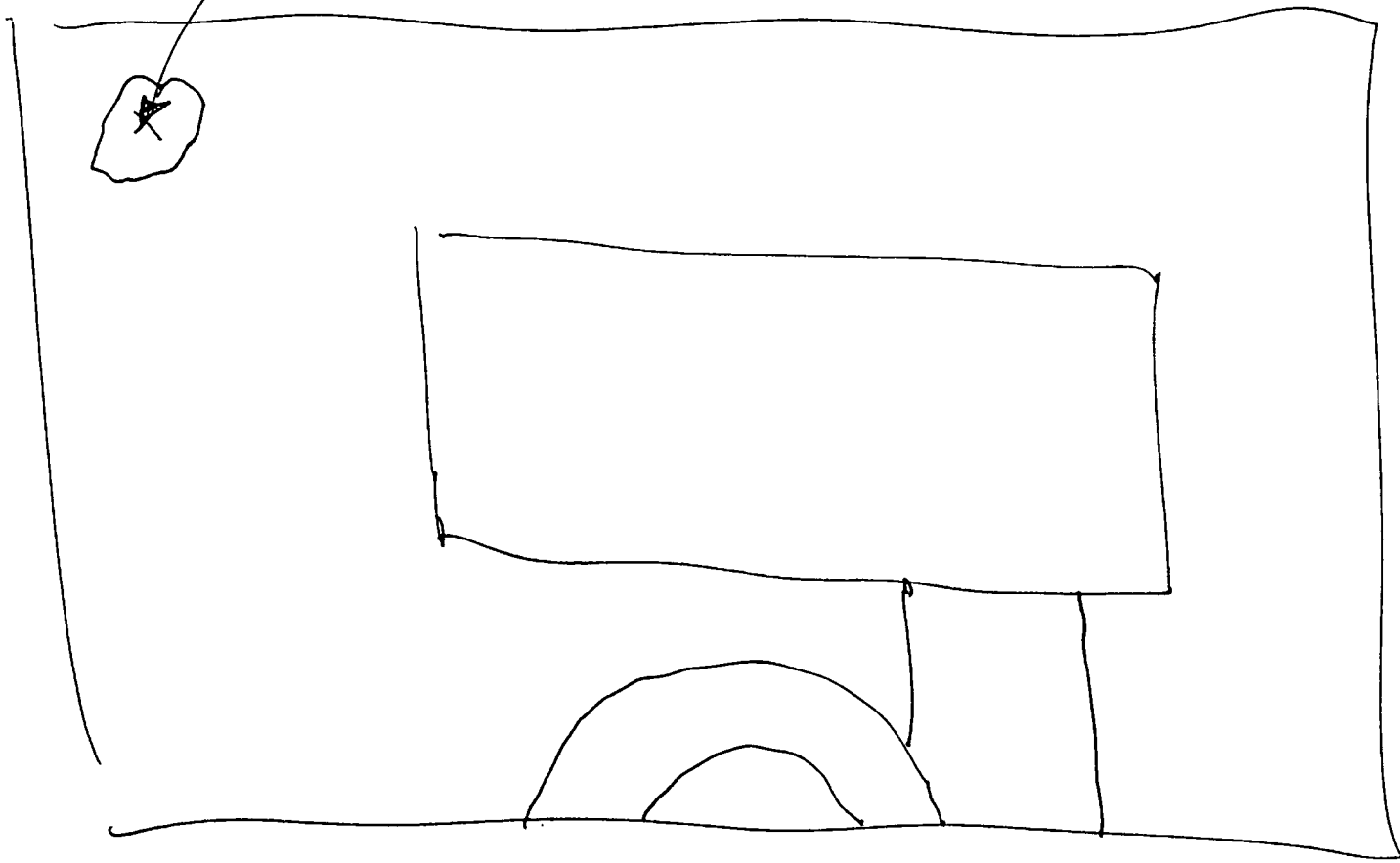
Written statement giving reasons: unresizable tree. Damaging location & Overgrown

Signature of Property Owner [Signature] Date \_\_\_\_\_

Approved by Building Inspector: [Signature] Date 5/9 Fee: 0

Plans approved as submitted \_\_\_\_\_ Plans approved as revised/marked: \_\_\_\_\_

Australian  
Pine





TOWN OF SEWALL'S POINT, FLORIDA

Date MARCH 10 ~~19~~ 2006 TREE REMOVAL PERMIT No 2647

APPLIED FOR BY FENDER (Contractor or Owner)

Owner 3 OAKWOOD DRIVE

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees \_\_\_\_\_

No. Of Trees: REMOVE 1 Australian PINE CUMPA

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_

Signed, \_\_\_\_\_ Applicant  
Signed, Gene Simmons (Signature)  
FEE \$ 0  
Town Clerk  
BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspect  
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WOR

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box for drawing or site plan.

PROJECT DESCRIPTION \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
REMARKS \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Permit Fee:**

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

**No removal permits will be issued for native species trees:** Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

**Application procedures:**

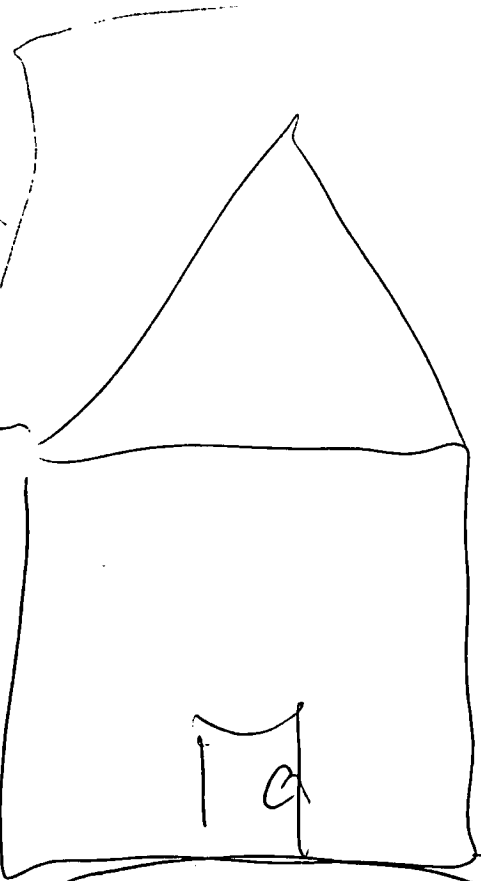
1. Fill out application information below to include:
  - a. applicant information
  - b. written statement giving reasons for removal, relocation, or replacement if necessary
  - c. for a new single family resident see above.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

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Owner Frank Bender Address #3 Oak wood Phone 486-3946  
Contractor Tropical palms Address PO Box 2104 Phone 260-2818  
No. of Trees: REMOVE 1 Clump with Ribbon Type: ~~Australian Pine~~ Clump  
No. of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS Type: Australian  
No. of Trees: REPLACE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_  
Written statement giving reasons: Tree is in bad spot in yard  
to close to Screen Room want remove for safety  
Signature of Property Owner Frank Bender Date 3/8/06  
Approved by Building Inspector: [Signature] Date 3/10 Fee: 0  
Plans approved as submitted \_\_\_\_\_ Plans approved as revised/marked: \_\_\_\_\_

Please call Contractor when permit is ready Thank you

Clump of  
Austrian  
Pines has Red  
Ribbon



#3

19

OAK wood

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/10, 2006

Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7</del>	<del>FENDER</del>	<del>TREE</del>	<del>PASS</del>	
7	3 OAKWOOD DR			INSPECTOR: <i>[Signature]</i>
6975	AUMAN	FINAL FENCE	PASS	CLOSE
8	45 RIO VISTA O/B			INSPECTOR: <i>[Signature]</i>
8075	MORROW	DEADMAN SEAWALL	FAIL	NO PERMIT POSE
10	24 S. SEWALL'S Pt HARBOR BAY MARINE	(CANCEL) 485-2298		\$40 FEE INSPECTOR: <i>[Signature]</i>
7221	CLEMENTS	FINAL RETAINING WALL	PASS	CLOSE
1	11 W. HIGH POINT RD WILCO CONS			INSPECTOR: <i>[Signature]</i>
8088	MADER	ROUGH GAS	PASS	
4	106 ABBIE COURT FERRELL GAS			INSPECTOR: <i>[Signature]</i>
8042	STECK	PLUMBING	PASS	
11	32 FIELDWAY DR O/B	ELECTRIC ?EARLY	PASS	INSPECTOR: <i>[Signature]</i>
7220	CLEMENTS	FINAL DOCK	FAIL	
1	11 W. HIGH POINT WILCO CONST.			INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_