

3 Palm Road

205

SFR

Application For Building Permit

Owner Hiram Watkins Present Address _____ Phone _____

Architect Kendall Const Co. Address 5414 Piquette Ave N. P. Bch

General Contractor Same Address Same Phone 25-1771

Where Licensed Martin Co. License No. 53

Plumbing Contractor Kindsey Where Licensed Martin No. OK

Electrical Contractor Reds Elec Where Licensed Martin No. AK

Property Location _____ Subdivision Palm Row Lot No. 15

Lot Dimensions 100' x 150' Lot Area _____ Sq. Ft. 15000 SFT

Purpose of Building Dwelling Type of Construction CBS

Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)

Outside of Walls _____ Inside of Walls 1540 SFT

Street or Road building will front on Palm Road

Clearances - Front 35' Back 69' Side 15' Side 25' River _____

Well Location _____ Septic Tank Location Front

Building elevation (By Ordinance Definition) 6'

Contract Price (Include Plumbing, Electrical, Air Conditioning) 26,000

<u>PERMIT FEE</u>	<u>New Home</u>	<u>Additions</u>	<u>Others</u>
General (\$3.00 per \$1000 or Fraction)	<u>78.00</u>	_____	_____
Plumbing (Flat Fee)	<u>\$10.00</u>	<u>\$3.00</u>	_____
Electrical (Flat Fee)	<u>\$10.00</u>	<u>\$3.00</u>	_____
Total (To be paid by General Contractor or Owner)	<u>\$98.00</u>	_____	_____

SIGNED: - General Contractor or Owner Charles C. Ericson

Building Inspector Comments: _____

FOR TOWN RECORDS: Date Drawings submitted March 9, 1970

Date Permit approved March 10, 1970

Date Permit Fee paid Partially #67 3/11/70

Date First Inspection _____

Date Final Inspection _____

Date Occupancy approved _____

~~#205~~

98
31
#37

399

POOL

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 399

Date 4/30/73

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner John E. McFaridge Present Address 3 Palm Road Ph 283-0660

^{Spec.} General Contractor Martin Co Custom Pools Address 257 Monterey Rd Ph 283-6363

Where licensed Martin County License No. 20

Plumbing Contractor _____ License No. _____
Electrical Contractor _____ License No. _____

Street building will front on Palm Road

Subdivision Palm Row Lot No. 15 Area Sewalls Point

Building area, inside walls (excluding garage, carport, porches) Sq ft _____

Other Construction (Pools, additions, etc.) Swimming Pool & Patio

Contract Price (excluding land, rugs, appliances, landscaping) \$ 3,995

Total cost of permit \$ 20.00

Plans approved as submitted _____ Plans approved as marked ✓

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Martin County Custom Pools Inc.
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

John E. McFaridge
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 4/30/73

Date approved 5/2/73

Certificate of Occupancy issued _____ Date

MARTIN COMPANY

CUSTOM

POOLS, INC.

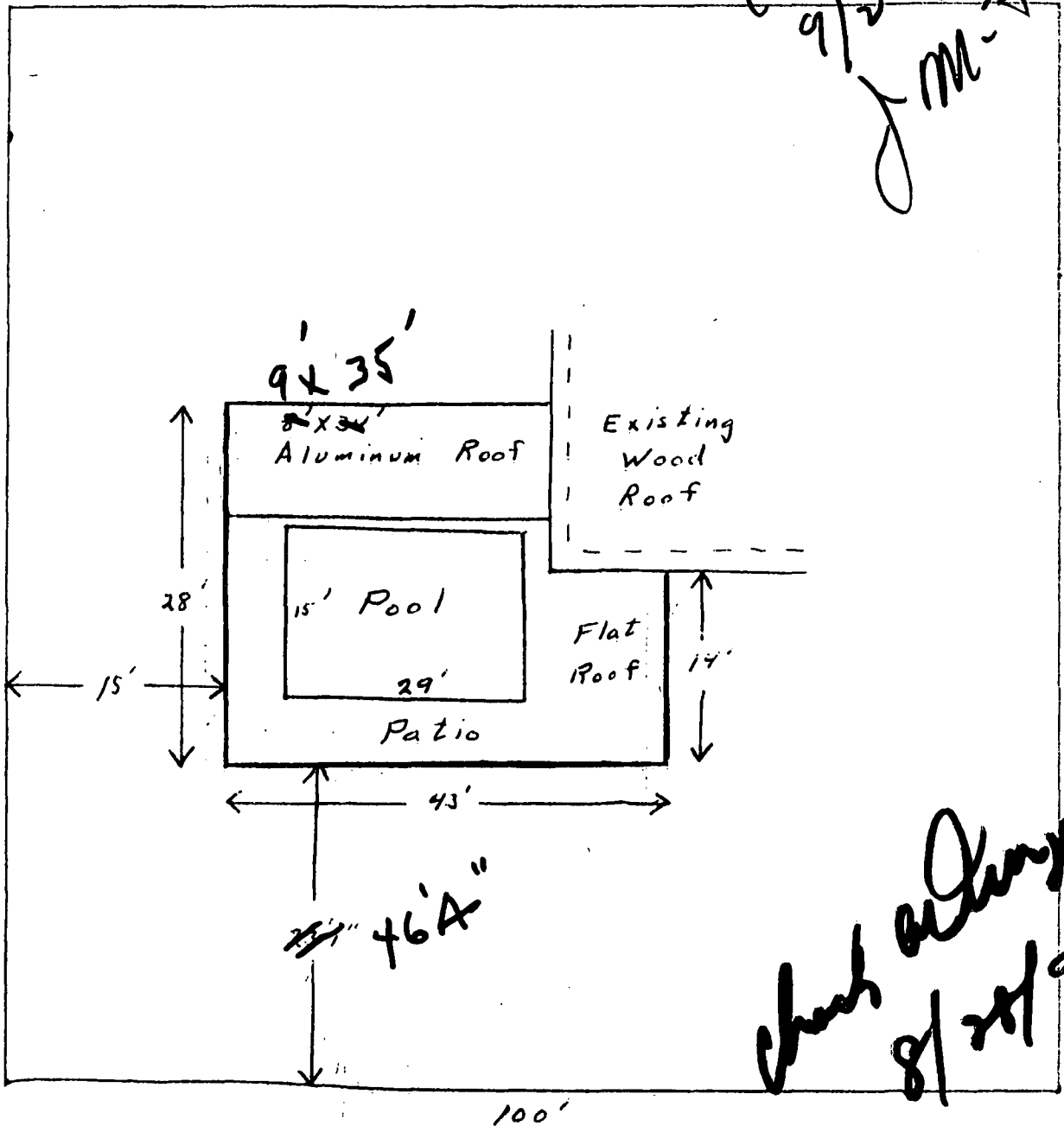


P.O. BOX 1799 STUART, FLA. 33494

285 0203

Palm Road

Corrected
9/26/73
J.M. - Fatridge



check changes
8/20/73

Screen Enclosure to be Constructed by Climatrol Corp.
for John McFatridge at 3 Palm Rd.

1,540 Sq Ft of Charcoal Screening
272 Sq Ft of Aluminum Roof

TOWN HALL COPY #424

check 8/20/73

424

SCREEN

ENCLOSURE

Bernie Tibbs - Climatrol Corp.
Cocoa Bch. TOWN OF SEWALL'S POINT, FLORIDA

283-6363

APPLICATION FOR BUILDING PERMIT

Permit No. 424

Date 9/21/73

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner Mr & Mrs John McFadrigue Present Address 3 Palm Rd. Ph 283-6660

General Contractor Martin Co Custom Pools Address P.O. Box 1799 Ph 283-6363
Climatrol Corp

Where licensed Martin Co. License No. 109

Plumbing Contractor _____ License No. _____
Electrical Contractor _____ License No. _____

Street building will front on Palm Rd

Subdivision Palm Row Lot No. 15 Area _____

Building area, inside walls (excluding garage, carport, porches) Sq ft _____

Other Construction (Pools, additions, etc.) Screen Enclosure

Contract Price (excluding land, rugs, appliances, landscaping) \$ 2000 Approx

Total cost of permit \$ 10.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Martin County Custom Pools
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

John McFadrigue
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

8/28/73 Application

Date submitted _____

Date approved 8/24/73 Chas a Dwyer

Certificate of Occupancy issued _____ Date

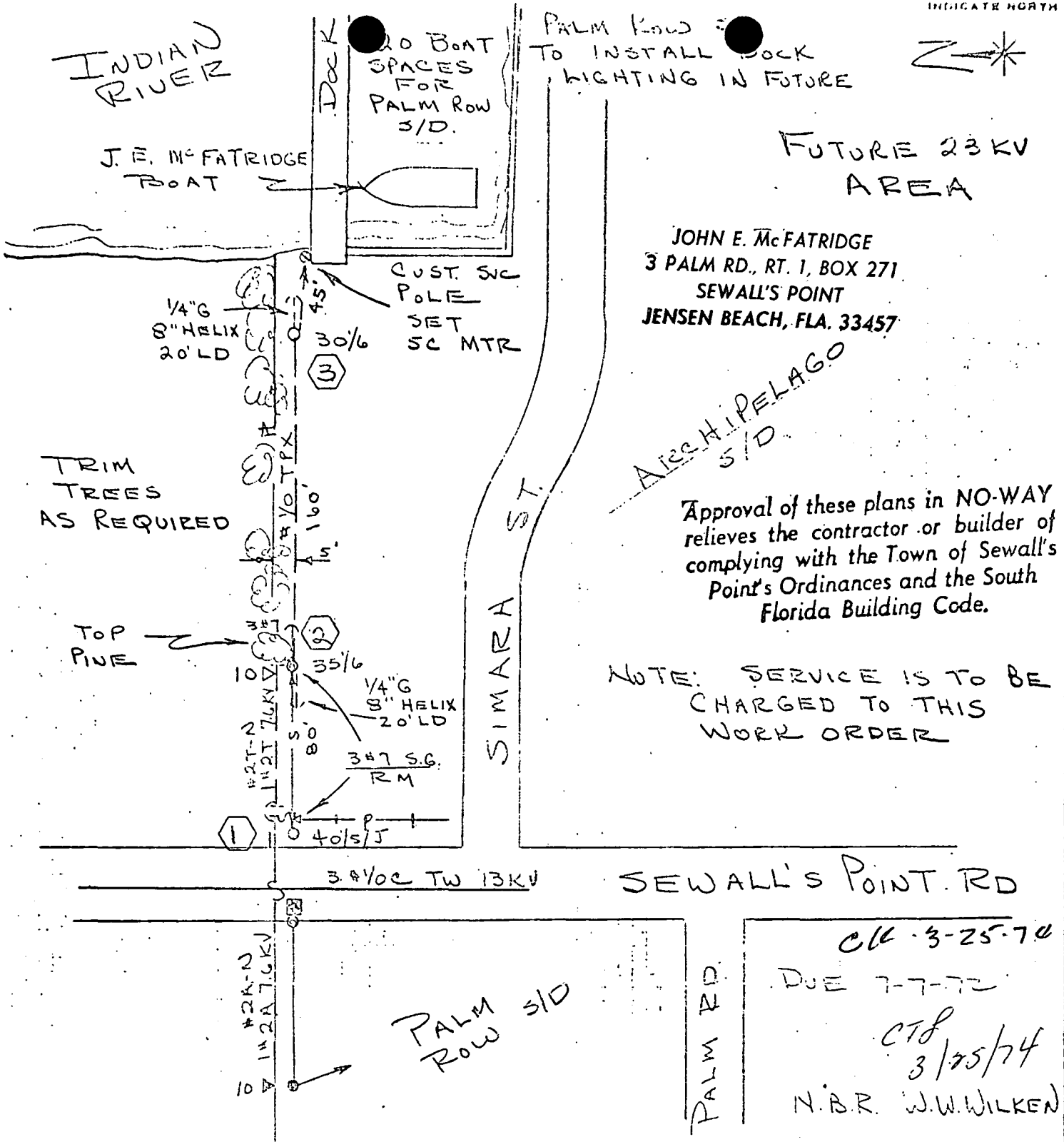
424

459

BOAT SLIP

ELECTRIC

CONNECTION



JOHN E. McFATRIDGE
 3 PALM RD., RT. 1, BOX 271
 SEWALL'S POINT
 JENSEN BEACH, FLA. 33457

Approval of these plans in NO-WAY
 relieves the contractor or builder of
 complying with the Town of Sewall's
 Point's Ordinances and the South
 Florida Building Code.

NOTE: SERVICE IS TO BE
 CHARGED TO THIS
 WORK ORDER

CLK - 3-25-70
 DUE 7-7-72
 CTR
 3/25/74
 N.B.R. W.W. WILKEN

ment Req'd. Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Survey/Stacks Req'd. Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Work Req'd. Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Permission Req'd. Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
City	County Rd.	County Air	State Rd.	FAA
FDC	RR Xing	Dr. Dist.	Transm.	
est Tel. Co. Set Poles	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Tol. Attachment Par		
est Tel. Co. Transfer	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
LINE FEET	160'	TRENCH FT.		
LINE FT. ON IM. POLES	0	DUCT BANK FT.		
RIED	600V	15KV	KV	NEUTRAL CABLE FEET
DMARINE	KV	15KV	KV	
HER	800V	15KV	KV	
osting Req'd.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Posted by		

FLORIDA POWER & LIGHT COMPANY	
SR. SEWALLS POINT PROVIDE SVC TO BOAT DOCK FOR J.E. McFATRIDGE N/O SIMARA ST	
Engineer WILKEN	Date 5-27-72
WILKEN <small>DRAWN BY</small>	Dwg. No.
Rural Location Sec. _____ TWP. _____ S. R. _____ E.	
Scale: _____	St. Lt. Map No. _____ Pri. Map No. P-4437
RWO/S/O/TWO No. 3712	ER No. 1 440

#459

DN 459

TOWN OF SEWALL'S POINT
CERTIFICATE OF OCCUPANCY

DATE April 2, 1974

This Certificate of Occupancy is issued for John E. McFatridge
on Lot No: _____, Block _____, 3 Palm Road Street,
Palm Row S/D, constructed under Building Permit
No. 459 on record in the Town of Sewall's Point Town Hall.

Construction of this building conforms to all Ordinances of
the Town.

RECORD OF INSPECTIONS

ITEM	DATE	APPROVED BY
FOOTINGS		
ROUGH PLUMBING		
PERIMETER BEAM		
ROUGH ELECTRIC		
CLOSE IN		
FINAL PLUMBING		
FINAL ELECTRIC	<u>4 2 74</u>	<u>C. Krueller</u>
PROOF OF SEPTIC TANK APPROVAL BY OTHERS, ie (COUNTY HEALTH DEPT.)		

Approved by Building Inspector _____

Approved by Town Commission C. Krueller

Utilities notified: _____ Date _____

Description: Connect installed 50 amp 220 AC electrical service
box @ boat slip #5 Palm Row Boat Dock.

Give to Mr. McFatridge 4/10/74

3033

REPAIR SOFFIT

&

FACIA

RESHINGLE ROOF

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3033

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing setbacks; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Sharon Ellis Present Address 800 N Fork Rd 10-12 Stuart

Phone 692 1953

Contractor Foundation General Address PO Box 7276 PSL FL 34985

Phone 321 2588

Where licensed State License number CGC 16983

Electrical contractor NA License number —

Plumbing contractor NA License number —

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Repair fascia and soffit. Install new shingles.

State the street address at which the proposed structure will be built:

3 Palm Rd.

Subdivision Palm Lot number — Block number —

Contract price \$ 4800.00 Cost of permit \$ 100.00

Plans approved as submitted No plans Plans approved as marked —

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Tam Covert

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Sharon Dee Ellis

TOWN RECORD

Date submitted — Approved: Dale Brown 7/17/91
Building Inspector — Date —

Approved: — Commissioner — Date — Final Approval given: — Date —

Certificate of Occupancy issued (if applicable) — Date —

SP1282 Permit No. —

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

NOTICE OF COMMENCEMENT

STATE OF Florida
COUNTY OF Martin

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13, Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT. This notice shall be void and of no force and effect if construction is not commenced within 30 days of recordation.

DESCRIPTION OF PROPERTY:

General description of improvements: Soffit, fascia, roof repair.

Owner: Sharon Lee Ellis
Address: 3 Palm Road Jewetts Point

Owner's interest in site of the improvement: _____

Contractor: Foundation General Contractors, Inc.
Address: PO Box 7216

Surety (if any): None
Address: _____
Amount of Bond: 0

Lender: Not Applicable
Address: _____

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name: _____
Address: _____

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.06(2)(b), Florida Statutes:

Name: _____
Address: _____

Sharon Lee Ellis
Sharon Lee Ellis

Sworn to and subscribed before me this 15th day
of July, 1997.

Notary Public

(NOTARY SEAL)

I am a Notary Public of the
STATE OF FL AT LARGE, and
My Commission Expires:

Notary Public, State of Florida
My Commission Exp. June 27, 1998
Bonded thru RICHARD Ins. Agency

7120

REROOF

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 12/9/04

BUILDING PERMIT NO. 7.120

Building to be erected for TR. 0110

Type of Permit REROOF

Applied for by PACIFIC ROOFING (Contractor)

Building Fee _____

Subdivision Palm Row Lot 15 Block _____

Radon Fee _____

Address 3 PALM ROAD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

13384100500000150000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee 120.00

Amount Paid 120.00 Check # 7449 Cash _____

Other Fees (_____) 1

Total Construction Cost \$ 15,000.

TOTAL Fees 120.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

Trailo

Date: 11-29-04
RECEIVED
DEC 06 2004

Permit Number: _____

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

OWNER/TITLEHOLDER NAME: Nick Trailo Phone (Day) 561-662-3431 (Fax) _____

Job Site Address: 3 Palm Rd City: Stuart State: FL Zip: 34996

Legal Description of Property: Palm Row Revised & Amended Lot 15 Parcel Number: 133841005000001500

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Re-roof Shingle - metal

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Pacific Roofing Phone: 283-7663 Fax: 283-9505

Street: P.O. Box 2897 City: Stuart State: FL Zip: 34994

State Registration Number: C-0056793 State Certification Number: _____ Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 15,000 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: PACIFIC ROOFING State: FL License Number: C-0056793

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof 3,300 sq. ft. Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER/AGENT SIGNATURE (required)
Nick Trailo

State of Florida, County of: Martin

This the 29 day of November, 2004

by Nick Trailo who is personally

known to me or produced as identification. James Nickerson

Notary Public

CONTRACTOR SIGNATURE (required)
Richard J. Gome

On State of Florida, County of: Martin

This the 29 day of November, 2004

by Richard J. Gome who is personally

known to me or produced as identification. James Nickerson

Notary Public

My Commission Expires: _____

My Commission Expires: _____

James Nickerson Seal

James Nickerson Seal

My Commission DD271437 PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY! Expires December 13, 2007



DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
PO BOX 2697
STUART

FL 34995

STATE OF FLORIDA AC#1601424
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 CCC056793 09/11/04 040233678
 CERTIFIED ROOFING CONTRACTOR
 GOMES, RICHARD JOHN
 PACIFIC ROOFING CORP
 IS CERTIFIED under the provisions of Ch.489 FS.
 Expiration date: AUG 31, 2006 L04091102194

DETACH HERE

AC#1601424

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L04091102194

DATE	BATCH NUMBER	LICENSE NBR
09/11/2004	040233678	CCC056793

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2006

GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
PO BOX 2697
STUART

FL 34995

JEB BUSH
GOVERNOR

DIANE CARR

TOTAL P.01

ACORD CERTIFICATE OF LIABILITY INSURANCE		CERTIFICATE NO. / DATE AC04-7900013-176426 12/8/2004 9:42:55 AM
PRODUCER Eisenmann Risk Placements, Inc. 14160 Dallas Parkway, Suite 500 Dallas, TX 75254 (972) 764-0965 Fax: (972) 404-4450	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURERS AFFORDING COVERAGE		
INSURED PACIFIC ROOFING CORPORATION 808 SE DIXIE HWY STUART, FL 34994 (772) 283-7663 Fax: (772) 283-9505	INSURER A: PROVIDENCE PROPERTY & CASUALTY INSURANCE COMPA INSURER B: INSURER C: INSURER D: INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

ORDER (TR)	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR <hr/> GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PER PERSON <input type="checkbox"/> LOC				EACH OCCURRENCE \$ FIRE DAMAGE (Any One Fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRE/AUTO <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <hr/> DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC0100086	12/1/2004	12/1/2005	<input checked="" type="checkbox"/> WC STATU TOY LIMITS <input type="checkbox"/> OTH LCR E.L. EACH ACCIDENT \$ 1000000 E.L. DISEASE - EA EMPLOYEE \$ 1000000 E.L. DISEASE - POLICY LIMIT \$ 1000000
	OTHER <input type="checkbox"/>				LIMITS \$ LIMITS \$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 1. Insured is afforded Workers Compensation & Employers Liability as a co-employer under the policy for employees leased from AMS Staff Leasing, Inc. 2. This certificate remains in effect, provided the client's account is in good standing with AMS. Coverage is not provided for any employee for which the client is not reporting wages to AMS. Applies to 100% of the employees of AMS leased to PACIFIC ROOFING CORPORATION, effective 12/01/2004.
 PLEASE SEE ATTACHED EMPLOYEE ROSTER.

CERTIFICATE HOLDER	ADDITIONAL INSURED, INSURER LETTER:	CANCELLATION
Sewalls Point Building Department 1 South Sewalls Point Road Sewalls Point, FL 34996		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE



Development Department
121 SW Flagler Avenue - Stuart, Florida 34994-2139
Phone (772)288-5326 Fax (772)288-5388

PACIFIC ROOFING CORP
GOMES, RICHARD J
PO BOX 2697
STUART FL, 34995

Contractor ID: AP01080463
License Type: CCC
Expires: September 30, 2005

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
11/01/2004

PRODUCER (561)746-4546 FAX (561)746-9599
Tequesta Agency, Inc.
218 S. US Highway One, Ste 300
Tequesta, FL 33469
Debra Hicks-Neumann

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED Pacific Roofing Corp., Inc.
PO Box 2697
Stuart, FL 34994

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: American Casualty Company	
INSURER B: Transportation Insurance Co.	
INSURER C:	
INSURER D:	
INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		GENERAL LIABILITY	C2020206931	10/28/2004	12/12/2004	EACH OCCURRENCE \$ 1,000,000
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000
		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 5,000
						PERSONAL & ADV INJURY \$ 1,000,000
						GENERAL AGGREGATE \$ 2,000,000
						PRODUCTS - COMP/OP AGG \$ 2,000,000
		GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				
B		AUTOMOBILE LIABILITY	C2020206945	10/28/2004	12/12/2004	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
		<input checked="" type="checkbox"/> SCHEDULED AUTOS				BODILY INJURY (Per accident) \$
		<input checked="" type="checkbox"/> HIRED AUTOS				PROPERTY DAMAGE (Per accident) \$
<input checked="" type="checkbox"/> NON-OWNED AUTOS						
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$
						AUTO ONLY: AGG \$
		EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE \$
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
						\$
		<input type="checkbox"/> DEDUCTIBLE				\$
		<input type="checkbox"/> RETENTION \$				\$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				<input type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT \$
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE \$
		OTHER				E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

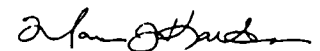
CERTIFICATE HOLDER

TOWN OF SEWALLS POINT
ATTN: ED ARNOLD
1 SOUTH SEWALLS POINT ROAD
STUART, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Mark Kasten/DEBBIE



FROM : BUILDING

FAX NO. :

Uc 1 001 01 80 11 00 14 00 00 00 00 00 00 00 00 00

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # 13384102500001500

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT:

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):
Palm Row Revised & Amended Lot 15

GENERAL DESCRIPTION OF IMPROVEMENT: Re-roof

OWNER: Nicks Trail
ADDRESS: 3 Palm Rd Seawall's Pt, FL 32996
PHONE #: 772-287-6922 FAX #: _____

INTEREST IN PROPERTY: _____

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Pacific Roofing
ADDRESS: P.O. Box 2697 Stuart, FL 32994
PHONE #: 283-7663 STATE OF FLORIDA MARTIN COUNTY FAX #: 283-7603

SURETY COMPANY (IF ANY) _____ THIS IS TO CERTIFY THAT THE
ADDRESS: _____ FOREGOING _____ PAGES IS A TRUE
PHONE # _____ AND CORRECT COPY OF THE ORIGINAL.
BOND AMOUNT: _____ MARSHA EWING, CLERK

LENDER/MORTGAGE COMPANY _____ BY: Tropis D.C.
ADDRESS: _____ DATE: 12-2-04
PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.
PHONE #: _____ FAX #: _____

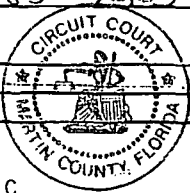
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 29 DAY OF November 2004
BY _____

PERSONALLY KNOWN OR PRODUCED ID [Signature] James Nickerson

INSTR # 1796268 OR BK 01960 PG 0798 RECD 12/02/2004 03:42:41 PM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L Wood



BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1600
MIAMI, FLORIDA 33136-1563
(305) 375-2901 FAX (305) 375-2923

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2529

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2923

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 375-2923

PRODUCT CONTROL NOTICE OF ACCEPTANCE

J.M. Metals
1505 Cox Road
Cocoa, FL 32926

Your application for Notice of Acceptance (NOA) of:
JM "SV" Crimp Architectural Metal Roof System
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0622.07
EXPIRES: 08/16/2006

PACIFIC ROOFING CORPORATION

808 SE DIXIE HIGHWAY

STUART, FLORIDA 34994-3803

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana

WARNING

Francisco J. Quintana, R.A.

THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION OWNED BY J.M. METALS. IT IS INTENDED FOR SPECIFIC USE BY J.M. METALS, AND ITS AUTHORIZED DEALERS ONLY WHEN PROVIDED IN CONJUNCTION WITH CERTIFIED J.M. METALS MATERIAL. OTHER PRODUCTS MAY NOT PERFORM THE SAME, AND ARE SPECIFICALLY OMITTED FROM COVERAGE FROM THIS DOCUMENT AND WARRANTIES AVAILABLE THRU J.M. METALS.

APPROVED: 08/16/2004

ONLY TRUE CERTIFIED COPIES OF THIS DOCUMENT BEAR THE RAISED SEAL OF J. MILA ENTERPRISES, INC. (THE PARENT COMPANY OF J.M. METALS)

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
 DATE: 12/7/04
BUILDING OFFICIAL
Gene Simmons

ROOFING SYSTEM APPROVAL:

<u>Category:</u>	Roofing	Approval Date: <u>August 16, 2001</u>
<u>Sub-Category:</u>	Metal, Panels (Non-Structural)	Expiration Date: <u>August 16, 2006</u>
<u>Material:</u>	Steel	
<u>Deck Type:</u>	Wood	
<u>Maximum Design Pressure</u>	-85 psf.	

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
5V Steel Roofing Panel	l = varies w = 26" h = 1/2" Min. Thickness 0.019"	PA 110	Metal Roof panel coated with Fluorpon®.

TRADE NAMES OF PRODUCTS MANUFACTURED BY OTHERS:

<u>Product</u>	<u>Dimensions</u>	<u>Product Description</u>	<u>Manufacturer</u>
Fasteners (Panel)	#9-15 HH	Corrosion resistant, sharp point hex-head fasteners with 1/2" EPDM Bonded Steel sealing washer.	generic

PACIFIC ROOFING CORPORATION
808 SE DIXIE HIGHWAY
STUART FLORIDA 34994-3803

EVIDENCE SUBMITTED

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
The Valspar Corporation	Lab Test Certification	ASTM B-117 ASTM G-23	
PRJ Asphalt Technologies, Inc.	JMM-001-01-01	PA 100	05/10/01
Underwriters Laboratories, Inc.	01NK5594	UL 580	01/15/01

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Page 2



Frank Zuloaga, RRC
 Roofing Product Control Examiner

APPROVED SYSTEMS:

- SYSTEM: 5V Steel Roofing Panel
- Deck Type: Wood, Non-insulated
- Deck Description: New Construction or Re-roof
1 9/32" or greater plywood or wood plank.
- Slope Range: 2":12" or greater
- Maximum Uplift Pressure: The maximum allowable design pressure -85 psf
- Deck Attachment: In accordance with applicable building code, but in no case shall it be less than 8d ring shank nails spaced 6" o.c. In reroofing, where the deck is less than 1 7/32" thick (Minimum 1 5/32") The above attachment method must be in addition to existing attachment.
- Underlayment: Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1 1/4" annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll.
- Valleys: Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with JM Metals 5V Steel Roofing Panel' current published installation instructions.
- Fire Barrier Board: For class A or B fire rating, install minimum 1/2" thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or 1/2" water resistant type X gypsum sheathing with treated core and facer.

Metal Panels and Accessories:

Install the "5V Steel Roofing Panel" and accessories in compliance with JM Metals' current published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.

5V Roofing Panels shall be fastened with a minimum of #9-15 HH corrosion resistant fasteners with sealing washer. Fasteners shall of sufficient length to penetrate through the sheathing a minimum of 3/16". Fasteners shall be place in accordance with fastener detail herein as follows:

Fasteners shall be installed at a maximum of 12" o.c. at side laps perpendicular to roof slope and at a maximum of 12" o.c. in the center of the panel at the field perpendicular to roof slope. Fastener shall be placed at high points of panel ribs.

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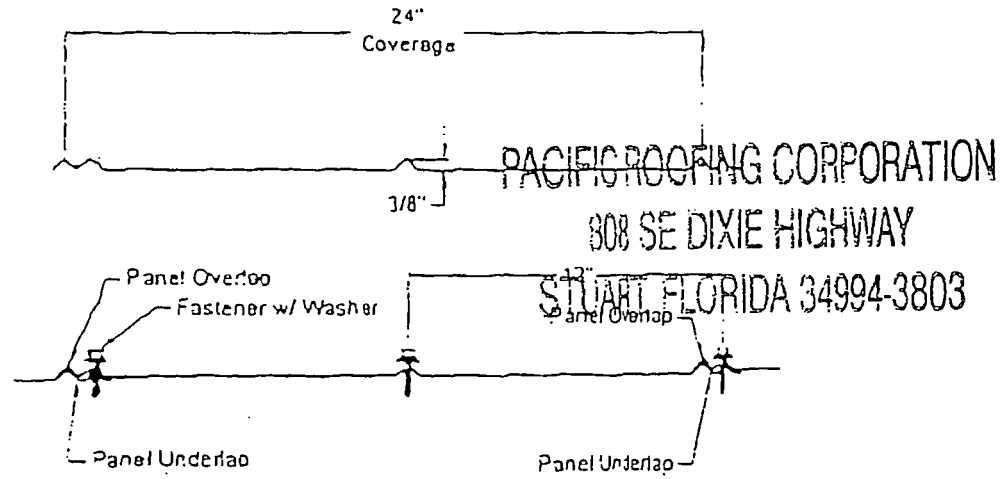
Frank Zuloaga, RRC
Roofing Product Control Examiner

SYSTEM LIMITATIONS:

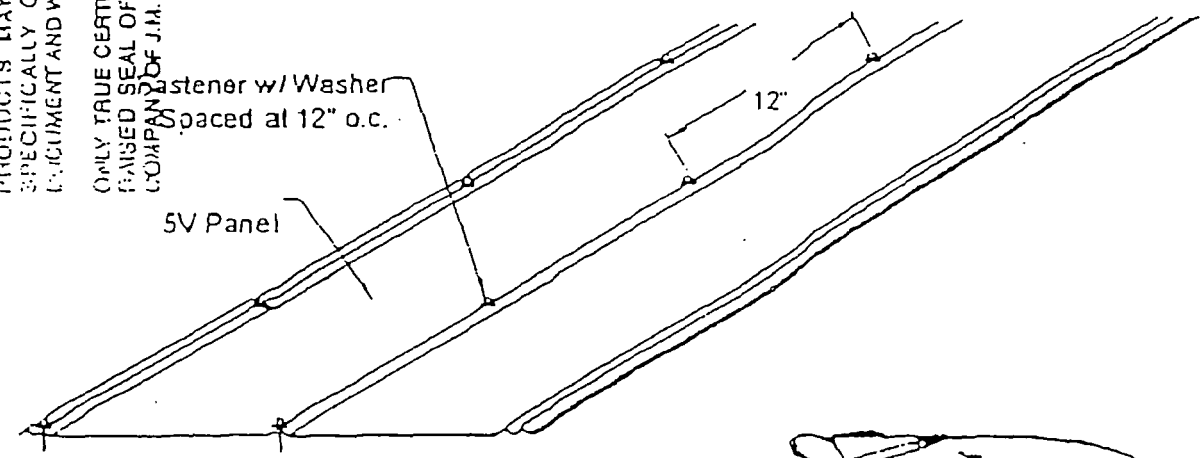
1. Increased design pressures at perimeter and corner areas, in compliance with applicable building code may be met through rational analysis by increasing the number of attachment points in these areas. The maximum fastener spacing noted in the "Systems Description" section of this approval shall not be exceeded. All rational analysis computation shall be prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant.
2. Panels shall be roll formed in continuous lengths from eave to ridge. Maximum lengths shall be as described in Miami-Dade County Roofing Application Protocol RAS 133.
3. All panels shall be permanently labeled with the manufacturer's name or logo, and the following statement: "Miami-Dade County Product Control Approved."

THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION WHICH WILL BE CONFIDENTIAL AND NOT BE DISCLOSED TO ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF J.M. METALS. IT IS INTENDED FOR SPECIFIC USE BY J.M. METALS AND ITS AUTHORIZED DEALERS ONLY. WHEN PROVIDING J.M. METALS PRODUCTS, CALCULATIONS, AND ADVICE CONTAINED HEREIN AND IS ONLY VALID WHEN USED IN CONNECTION WITH CERTIFIED J.M. METALS MATERIAL. OTHER PRODUCTS MAY NOT PERFORM THE SAME, AND ARE SPECIFICALLY OMITTED FROM COVERAGE. FROM THIS DOCUMENT AND WARRANTIES AVAILABLE THRU J.M. METALS

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5V STEEL ROOFING PANEL



(Signature)

Frank Zuloaga, RRC
Roofing Product Control Examiner

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 1 through 5.

END OF THIS ACCEPTANCE

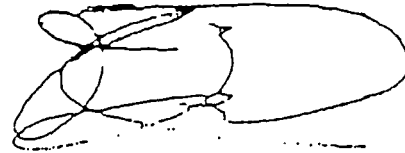
PACIFIC ROOFING CORPORATION
808 SE DIXIE HIGHWAY
STUART, FLORIDA 34994-3803

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Page 5



Frank Zuloaga, RRC
Roofing Product Control Examiner

TOWN OF SEWALL'S POINT

Building Department - Inspection Log



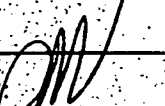

Date of Inspection: Mon Wed Fri 3/16, 20015 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONOHUE	Rght Elec ^{PT}	PASS	
1	163 S. Sewall's	Rght Plumbing ^{PT}	PASS	
	HALL-SAMMONS	FRAMING →	SCHEDULE	FOR FRI. 3/18 INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7063	BOTWINICK	FENCE FINAL	PASS	CLOSE
11	27 EMALITA			
	0/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7347	DONOHUE	RETAINING WALL	PASS	
7347	163 S. Sewall's Pt	(STEEL)		
1	HALL-SAMMONS			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7353	CHONTAS	Pool Steel De	PASS	
9	83 S. Sewall's Pt			
	ADV. POOL BLDGS			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7349	MAUD	FINAL ELEC.	CANCEL	OPEN GATE REPAIR.
14	21 N. RIVER RD.	PANEL		\$ REPAIR DOCK -
	KRAUSS/CRANE			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7325	BARRON	GAS FINAL	PASS	CLOSE
14	25 FIELDWAY			
	MARTIN COUNTY GAS			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
	KIRLINGER	FURT DECIL	PASS	
LAST.		DRY - IN		
	SQUARE ROOF			INSPECTOR: <i>[Signature]</i>
OTHER:				
3	720	3 PLY ROOF	DRY IN	<i>[Signature]</i>

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/1, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7251	BORGEN	FINAL SCR. ENCL.	PASS	CLOSE
12	21 EMERITA WAY PIONEER SCREEN			INSPECTOR: 
6705	ANDERSON	ROOF METAL	---	WILL RESCHEDULE
11	9 PALMETTO Palm Beach Crest	FRAMING		INSPECTOR:
7306	RIVER	FOOTER REVISION	---	Resch Mon
	29 S. RIVER RD LEAF DEVELOPMENT (FIRST PLEASE)			INSPECTOR:
7321	KILINGER	DOY IN	---	Resch
	143 S. RIVER RD STUART ROOF	TD METAL		INSPECTOR:
7258	BEHRINGER	FORM BOARD	FAIL	
14	18 INDIA WALK DE THOMAS	PATIO		INSPECTOR: 
	LIPSHULTZ	DOWNDRAFTS	PASS	
1	53 S. RIVER RD	PIPELINE (EARLY PLEASE)		INSPECTOR: 
7120	TRUJO	FINAL ROOF	PASS	CLOSE
4	3 Palm Road PACIFIC ROOFING			INSPECTOR: 

OTHER:

7260

SHED

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 2/2/05

BUILDING PERMIT NO. 7260

Building to be erected for TROILD

Type of Permit TEP'S SHED

Applied for by O/B (Contractor)

Building Fee 38.40

Subdivision Palm Row Lot 15 Block _____

Radon Fee _____

Address 3 PALM ROAD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

Electrical Fee _____

133841005000001500000

Plumbing Fee _____

Amount Paid 48.00 Check # 1163 Cash _____

Roofing Fee _____

Total Construction Cost \$ 4000.00

Other Fees 25%06 9.60
TOTAL Fees 48.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

BY: JAN 8 2005
BY: JAN 31 2005

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: Jan 31, 2005

OWNER/TITLEHOLDER NAME: Emily Troilo Phone (Day) 287-6922 (Fax) _____

Job Site Address: 3 Palm Rd City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Pre Fab - Ted's Sheds

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 4000.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

(If no, fill out the Contractor & Subcontractor sections below)

Is improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Emily Troilo

CONTRACTOR SIGNATURE (required)

State of Florida, County of: Martin

On State of Florida, County of: _____

This the 31st day of JANUARY, 2005

This the _____ day of _____, 2005

by Emily P. Troilo who is personally

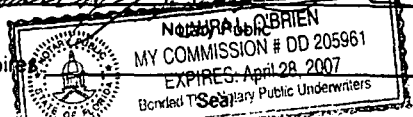
by _____ who is personally

known to me or produced FDLTD0000057845-0
as identification. 9/25/07

known to me or produced _____
As identification. _____

My Commission Expires: _____

My Commission Expires: _____



Notary Public

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Emily Troilo Date: 1-31-2005

Signature: Emily Troilo

Address: 3 Palm Rd

City & State: Stuart, FL

Permit No. _____

PERMIT # _____

TAX FOLIO # PARCEL ID # 13384100500001500000

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Palm Row Lot 15

GENERAL DESCRIPTION OF IMPROVEMENT: Ted's Shed - Pre Feb

OWNER: Emily Trillo

ADDRESS: 3 Palm Road Seawall's Point, FL 34996

PHONE #: 287-6922 **FAX #:** _____

CONTRACTOR: Owner Builder

ADDRESS: _____

PHONE #: _____ **FAX #:** _____

SURETY COMPANY (IF ANY): _____

ADDRESS: _____

PHONE #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ **FAX #:** _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ **FAX #:** _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

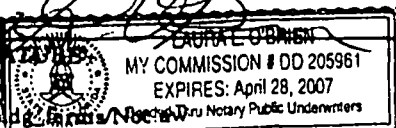
PHONE #: _____ **FAX #:** _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Emily Trillo
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 31st DAY OF JANUARY 2005 BY Emily P. Trillo

OR PERSONALLY KNOWN
PRODUCED ID 7640-216-57845-C
TYPE OF ID FDL x 9/25/07

[Signature]
NOTARY SIGNATURE

/data/gmd/bzd/bd
Notary Public Underwriters

LEGAL DESCRIPTION

Being all of Lot 15, according to the REVISED AND AMENDED PLAT OF PALM ROW, recorded in Plat Book 4, Page 68, Public Records of Martin County, Florida

SURVEYOR'S REPORT

- 1 This Survey shall not be valid unless sealed with an embossed Surveyor's seal.
- 2 No underground improvements have been located
- 3 Survey date: 05.11.01
- 4 This survey was prepared without the benefit of the p any record documents other than the Plat of record
- 5 This survey meets all requirements for accuracy as s in the Minimum Technical Standards (61G17-6FAC)
- 6 This survey shown hereon is not covered by profesio liability insurance but the Surveyor ensures financial responsibility in the amount of the survey's worth.
- 7 Resulting angles between Bearings are relative to the Plat and are based on the center line of Palm Row
- 10 Property Line locations are base and held to the mor center line of Palm Row

LEGEND

- Conc. - Concrete
- WM - Water Meter
- UB - Utility Box
- PF - Privacy Fence
- PP - Power Pole
- MS - Metal Shed
- NDF - Found Nail with Washer
- CMF - Found 4"x4" Concrete Monument
- CPH - Concrete Pad with Pool Heater
- CAC - Concrete Pad with Air Conditioning

PREPARED FOR:
First American Title Insurance Company.
Emily Ruth Troilo
GreenPoint Mortgage Funding, Inc., its successors

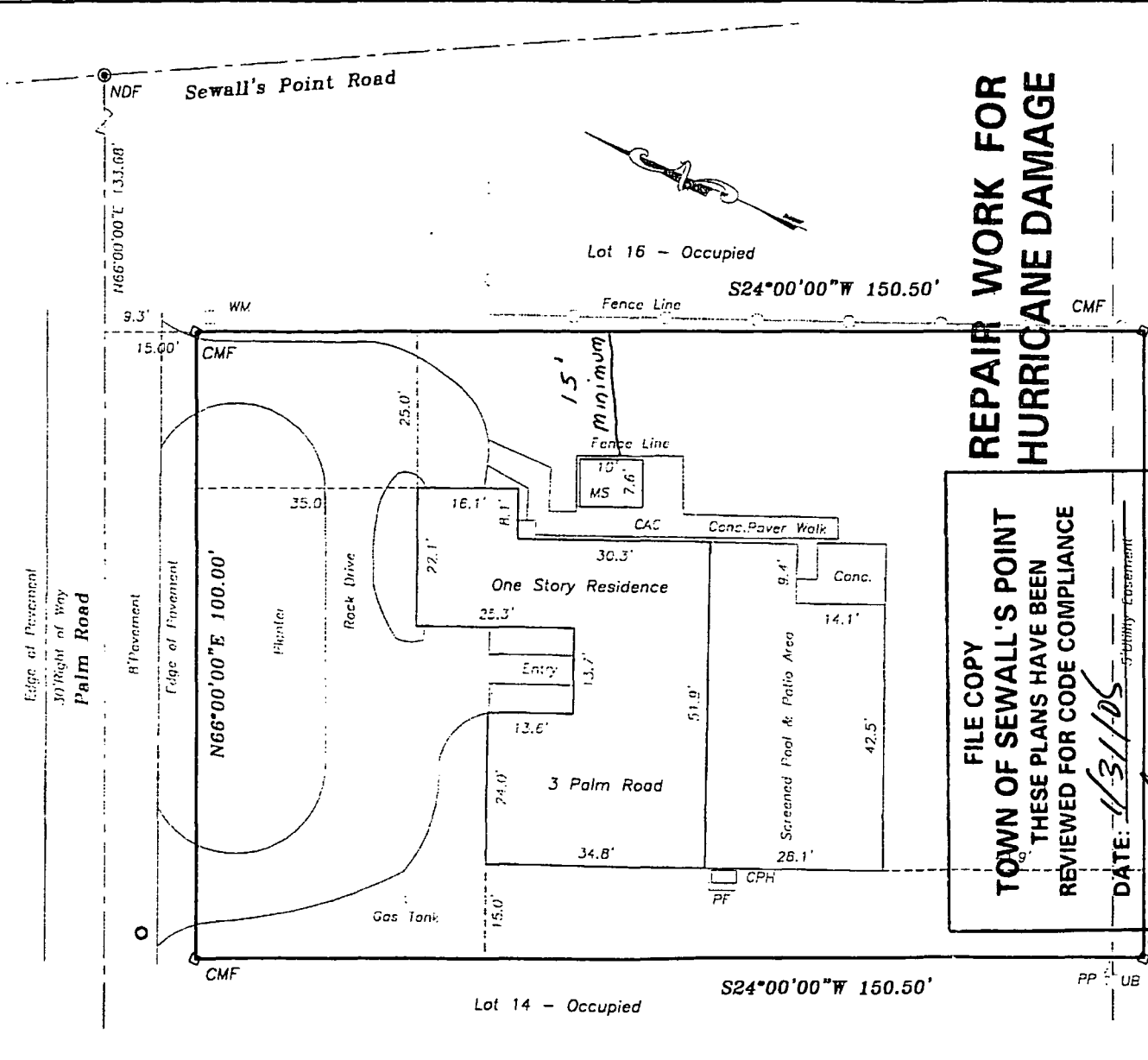
By: Regina C. Karner, PSM
Florida Registration # 4363

REPAIR WORK FOR HURRICANE DAMAGE

FILE COPY TOWN OF SEWALL'S POINT THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE

DATE: 1/31/05

BUILDING OFFICIAL
Gene Simmons



Flo
To
Co.
Pal
Sui
Dat

Prepared For:

Emily Ruth Troilo

Martin County

Florida

REGINA C. KARNER

PROFESSIONAL SURVEYOR & MAPPER

1352 SW EVERGREEN LN, PALM CITY, FL 34990

PHONE: 1-561-288 7208

FAX: 1-561-223 8181



Date	By	Revision/Description

Sheet Title
Bound
Scale = 1" = 20'
Drawn By
CAD-1
Date Plotted
0105.06

SINGLE WIDE

ANCHORING PLAN FOR
BUILDINGS MANUFACTURED BY

TED'S SHEDS INC.

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DETAIL AND DIMENSIONS. ANY DISCREPANCIES BETWEEN SUCH DETAILS AND DIMENSIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTION PROCEDURE AND SEQUENCE TO MAINTAIN THE INTEGRITY OF THE BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION.
4. THESE PLANS HAVE BEEN PREPARED PER REGULATIONS OF THE 2001 FLORIDA BUILDING CODE. THE WORK OF ALL CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE AFOREMENTIONED CODE. NO DEVIATIONS FROM THE WORK SHOWN OR REASONABLY IMPLIED SHALL BE UNDERTAKEN WITHOUT THE ENGINEER'S WRITTEN CONSENT. A COPY OF WHICH WILL BE FILED WITH THE CONSTRUCTION OFFICIAL.
5. ANY CHANGES TO OR DEVIATIONS FROM THESE DRAWINGS SHALL NOT BE MADE WITHOUT WRITTEN CONSENT FROM THE ENGINEER.
6. THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE USED WITHOUT HIS CONSENT. DRAWINGS SHALL NOT BE USED FOR ISSUE OF BUILDING PERMIT UNLESS SIGNED AND SEALED BY THE ENGINEER.
7. THE OWNER AND THE CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL LIABILITY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING LEGAL FEES ARISING OUT OF OR RESULTING FROM ERRORS OR OMISSIONS IN THE ENGINEER'S DRAWINGS AND THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. ALL WORK AND MATERIAL SHALL MEET THE REQUIREMENTS OF ALL LOCAL AND STATE BUILDING CODES AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS. THE DRAWINGS SHOW THE GENERAL ARRANGEMENTS AND EXTENT OF THE WORK AS THE WORK PROGRESSES, THE OWNER AND THE CONTRACTOR, AT NO EXTRA COSTS, SHALL MAKE MODIFICATIONS TO MAKE THE PARTS ALIGN.
8. ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF LOCAL AND STATE CODES AND THE SPECS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS. CONTRACTORS SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING CONSTRUCTION. HE SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER FOR CORRECTION PRIOR TO BEGINNING ANY WORK. THE DISCOVERY OF DISCREPANCIES AFTER THE BEGINNING OF WORK WILL BE EVIDENCE OF FAULTY WORK AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS GOVERN.
9. THE CONTRACTOR FOR THIS PROJECT SHALL INCLUDE ALL MATERIALS AND LABOR REQUIRED TO COMPLETE THE TOTAL PROJECT. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL MATERIALS, TOOLS, EQUIPMENT, LADDER, PUMPHOUSE, TRANSPORTATION, HEAT, WATER, UTILITIES, AND ALL OTHER FACILITIES AND SERVICES REQUIRED FOR THE SAFE AND PROPER EXECUTION AND COMPLETION OF THE WORK.
10. THE ENGINEER SHALL BE THE INTERPRETER OF THE CONTRACT DOCUMENTS. THE DOCUMENTS SHOW AN OVERVIEW OF THE PLAN. REQUIRED UNDER THIS CONTRACT AND RELATED REQUIREMENTS AND CONDITIONS THAT WILL IMPACT THE PROJECT. ALL DRAWINGS ARE COMPLEMENTARY. THE DRAWINGS GENERALLY SHOW THE INTENT OF THE OVERALL CORRELATION AND CONCEPTS OF THE PROJECT, AND DO NOT NECESSARILY SHOW ALL DETAILS AND CONDITIONS.
11. ALL NEW INTERIOR CONCRETE SLABS AND FOUNDATION WALLS AND FOOTINGS SHALL HAVE SOIL PILING UNDER NEW FLOOR. AND SHALL BE INSTALLED BY A LICENSED CONTRACTOR. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE AND DEPARTMENT OF AGRICULTURE, STRUCTURAL TEST CONTROL DIVISION REGULATIONS, RULES, DEFINITIONS AND REQUIREMENTS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND MAINTAINING ALL EXISTING SETBACKS, EASEMENTS, AND ANY DEED RESTRICTIONS.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CLEANUP AND SHALL INCLUDE THE SITE, AND THE BUILDING. THE ENTIRE PROJECT SHALL BE LEFT IN A NEAT, CLEAN CONDITION.

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE FOR A THREE SECOND GUST OF 110-150 MPH.

FRED S. CARDWELL, P.E., P.L.S.

F.E. #15607

1400 SOUTH BELLEVUE ROAD
BLDG. A / UNIT #1
LAKES, FLORIDA 32711
VOICE: 352-524-4025
FAX: 352-524-1200



THIS DRAWING IS NOT VALID UNLESS SIGNED IN BLUE INK.

SINGLE WIDE ANCHORING PLAN FOR BUILDINGS MANUFACTURED BY TED'S SHEDS INC.

COVER SHEET

REV.	BY	DATE

DATE	07/20/02
DRN BY	JDA
CHK. BY	FJC
SCALE	NO SCALE
HD NO.	213 024

SHEET

C-1



WIDTH x LENGTH	MINIMUM # OF SOIL ANCHORS	MINIMUM # OF CONC. PADS
1' x 6'	1	6
1' x 8'	1	6
1' x 10'	6	6
1' x 12'	6	6
1' x 14'	6	10
1' x 16'	10	10
1' x 18'	10	12
1' x 20'	12	12
1' x 22'	14	14
1' x 24'	16	14
1' x 26'	16	16
1' x 28'	18	16
1' x 30'	20	16
1' x 32'	20	16
1' x 34'	22	20
1' x 36'	24	20
1' x 38'	26	22
1' x 40'	26	22
1' x 42'	28	24
1' x 44'	30	24
1' x 46'	30	26
1' x 48'	32	26
1' x 50'	34	26

WIDTH x LENGTH	MINIMUM # OF SOIL ANCHORS	MINIMUM # OF CONC. PADS
6' x 6'	1	6
6' x 8'	1	6
6' x 10'	1	6
6' x 12'	1	6
6' x 14'	6	10
6' x 16'	6	10
6' x 18'	6	12
6' x 20'	6	12
6' x 22'	10	14
6' x 24'	10	14
6' x 26'	12	16
6' x 28'	12	16
6' x 30'	14	16
6' x 32'	14	16
6' x 34'	16	20
6' x 36'	16	20
6' x 38'	18	22
6' x 40'	18	22
6' x 42'	20	24
6' x 44'	20	24
6' x 46'	22	26
6' x 48'	22	26
6' x 50'	24	26

WIDTH x LENGTH	MINIMUM # OF SOIL ANCHORS	MINIMUM # OF CONC. PADS
8' x 6'	1	6
8' x 8'	1	6
8' x 10'	1	6
8' x 12'	1	6
8' x 14'	6	10
8' x 16'	6	10
8' x 18'	6	12
8' x 20'	6	12
8' x 22'	10	14
8' x 24'	10	14
8' x 26'	12	16
8' x 28'	12	16
8' x 30'	14	16
8' x 32'	14	16
8' x 34'	16	20
8' x 36'	16	20
8' x 38'	18	22
8' x 40'	18	22
8' x 42'	20	24
8' x 44'	20	24
8' x 46'	22	26
8' x 48'	22	26
8' x 50'	24	26

WIDTH x LENGTH	MINIMUM # OF SOIL ANCHORS	MINIMUM # OF CONC. PADS
10' x 6'	1	6
10' x 8'	1	6
10' x 10'	1	6
10' x 12'	1	6
10' x 14'	6	10
10' x 16'	6	10
10' x 18'	6	12
10' x 20'	6	12
10' x 22'	10	14
10' x 24'	10	14
10' x 26'	12	16
10' x 28'	12	16
10' x 30'	14	16
10' x 32'	14	16
10' x 34'	16	20
10' x 36'	16	20
10' x 38'	18	22
10' x 40'	18	22
10' x 42'	20	24
10' x 44'	20	24
10' x 46'	22	26
10' x 48'	22	26
10' x 50'	24	26

WIDTH x LENGTH	MINIMUM # OF SOIL ANCHORS	MINIMUM # OF CONC. PADS
12' x 6'	1	6
12' x 8'	1	6
12' x 10'	1	6
12' x 12'	1	6
12' x 14'	6	10
12' x 16'	6	10
12' x 18'	6	12
12' x 20'	6	12
12' x 22'	10	14
12' x 24'	10	14
12' x 26'	12	16
12' x 28'	12	16
12' x 30'	14	16
12' x 32'	14	16
12' x 34'	16	20
12' x 36'	16	20
12' x 38'	18	22
12' x 40'	18	22
12' x 42'	20	24
12' x 44'	20	24
12' x 46'	22	26
12' x 48'	22	26
12' x 50'	24	26

WIDTH x LENGTH	MINIMUM # OF SOIL ANCHORS	MINIMUM # OF CONC. PADS
13'6" x 6'	1	12
13'6" x 8'	1	12
13'6" x 10'	1	16
13'6" x 12'	1	16
13'6" x 14'	6	20
13'6" x 16'	6	20
13'6" x 18'	6	24
13'6" x 20'	6	24
13'6" x 22'	10	28
13'6" x 24'	10	28
13'6" x 26'	12	32
13'6" x 28'	12	32
13'6" x 30'	14	36
13'6" x 32'	14	36
13'6" x 34'	16	40
13'6" x 36'	16	40
13'6" x 38'	18	44
13'6" x 40'	18	44
13'6" x 42'	20	48
13'6" x 44'	20	48
13'6" x 46'	22	52
13'6" x 48'	22	52
13'6" x 50'	24	56

ANCHOR BLOCKING SCHEDULE
FOR STANDARD AND BARN AT 130-150 MPH

- 1 CHANGED TOTAL TO NUMBER NUMBER OF ANCHORS
- 2 CHANGED NUMBER OF PADS ON 13'6" TAB
- 3 SPELLING CORRECTION
- 4 REVISED ENTIRE SHEET

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE FOR A THREE SECOND GUST OF 130, 140, 146, & 150 MPH.

FRED S. CARDWELL, P.E., P.L.S.
1000 SOUTH BELCHER ROAD
BLDG-A / UNIT #1
LARGO, FLORIDA 33771
VOICE: 727-524-1625
FAX: 727-524-1294

THIS PRINTING IS NOT VALID UNLESS SIGNED IN PURPLE INK.
[Signature]
2-14-04

SINGLE SIDE ANCHORING PLAN FOR BLDGS MANUFACTURED BY TEEDE SHEETS INC.
ANCHOR CHART

REV	BY	DATE
1	JDA	3/27/02
2	JDA	4/6/02
3	JDA	5/16/02

DATE: 3/27/02
DRAWN BY: JDA
CHECKED BY: PSC
SEAL BY: AS NOTED
LIC NO.: 273-024

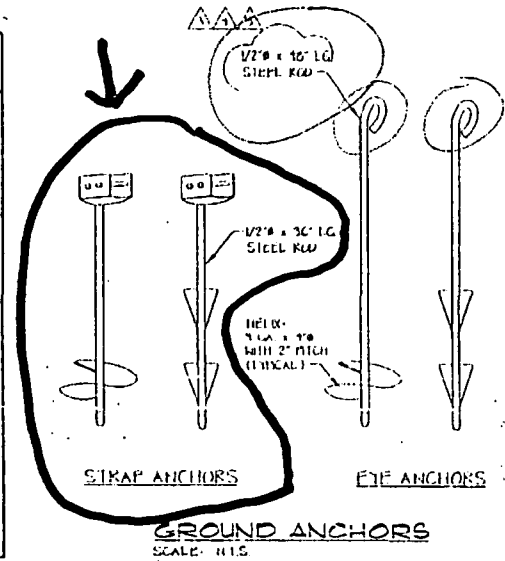
SHEET
A-1

WIDTH x DEPTH	MINIMUM # OF SOIL ANCHORS	MINIMUM # OF CONC. PADS
6' x 4'	1	6
6' x 6'	1	6
6' x 8'	1	6
6' x 10'	1	6
8' x 4'	1	6
8' x 6'	1	6
8' x 8'	1	6
8' x 10'	1	6
10' x 4'	1	8
10' x 6'	1	8
10' x 8'	1	8
10' x 10'	1	8
12' x 4'	1	8
12' x 6'	1	8
12' x 8'	1	8
12' x 10'	1	8
14' x 4'	6	10
14' x 6'	6	10
14' x 8'	6	10
14' x 10'	6	10
16' x 4'	6	10
16' x 6'	6	10
16' x 8'	6	10
16' x 10'	6	10
18' x 4'	6	12
18' x 6'	6	12
18' x 8'	6	12
18' x 10'	6	12

WIDTH x DEPTH	MINIMUM # OF SOIL ANCHORS	MINIMUM # OF CONC. PADS
20' x 4'	6	12
20' x 6'	6	12
20' x 8'	6	12
20' x 10'	6	12
22' x 4'	8	14
22' x 6'	8	14
22' x 8'	8	14
22' x 10'	8	14
24' x 4'	8	14
24' x 6'	8	14
24' x 8'	8	14
24' x 10'	8	14
26' x 4'	8	16
26' x 6'	8	16
26' x 8'	8	16
26' x 10'	8	16
28' x 4'	8	16
28' x 6'	8	16
28' x 8'	8	16
28' x 10'	8	16
30' x 4'	10	18
30' x 6'	10	18
30' x 8'	10	18
30' x 10'	10	18

WIDTH x DEPTH	MINIMUM # OF SOIL ANCHORS	MINIMUM # OF CONC. PADS
32' x 4'	10	18
32' x 6'	10	18
32' x 8'	10	18
32' x 10'	10	18
34' x 4'	10	20
34' x 6'	10	20
34' x 8'	10	20
34' x 10'	10	20
36' x 4'	10	20
36' x 6'	10	20
36' x 8'	10	20
36' x 10'	10	20
38' x 4'	12	22
38' x 6'	12	22
38' x 8'	12	22
38' x 10'	12	22
40' x 4'	12	22
40' x 6'	12	22
40' x 8'	12	22
40' x 10'	12	22
42' x 4'	12	24
42' x 6'	12	24
42' x 8'	12	24
42' x 10'	12	24

WIDTH x DEPTH	MINIMUM # OF SOIL ANCHORS	MINIMUM # OF CONC. PADS
11' x 4'	12	24
11' x 6'	12	24
11' x 8'	12	24
11' x 10'	12	24
16' x 4'	14	26
16' x 6'	14	26
16' x 8'	14	26
16' x 10'	14	26
18' x 4'	14	26
18' x 6'	14	26
18' x 8'	14	26
18' x 10'	14	26
20' x 4'	14	26
20' x 6'	14	26
20' x 8'	14	26
20' x 10'	14	26
25' x 4'	14	26
25' x 6'	14	26
25' x 8'	14	26
25' x 10'	14	26
30' x 4'	14	26
30' x 6'	14	26
30' x 8'	14	26
30' x 10'	14	26



130-150 MPH

WIDTH	MAXIMUM SPACING OF EYE ANCHORS
4'	1'-0"
6'	2'-0"
8'	2'-6"
10'	2'-7"
11'-0"	2'-7"
13'-0"	2'-8"

- NOTES
1. ANCHORS PLACED AT 10' FROM FRONT END OF BUILDING.
 2. MINIMUM OF TWO ANCHORS EACH SIDE OF BUILDING.

STRAP ANCHOR BLOCKING SCHEDULE
FOR CAPE TYPE SHED

EYE ANCHOR BLOCKING SCHEDULE

- ▲ CHANGED WEIRING "TOTAL" TO THIRTEEN NUMBER OF ANCHORS.
- ▲ NO PERMING
- ▲ ONE ANCHOR CHANGE ADDED AND EYE ANCHOR CHANGED TO ONE LONGER AND DOUBLE THE ANCHOR "TOTAL" CHANGED WEIRING "TOTAL" TO THIRTEEN NUMBER OF PADS.
- ▲ CHANGED ONE ANCHOR LENGTH TO 36"
- ▲ CHANGED ONE ANCHOR LENGTH TO 36" AS PER PLAN

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE FOR A THREE SECOND GUST OF 130, 140, 146, & 150 MPH.

FRED S. CARQUELL, P.E., PLS.
100 SOUTH BELCHER ROAD
BLDG-A / UNIT #11
LARGO, FLORIDA 33778
VOICE: 727-521-1105
FAX: 727-561-1289

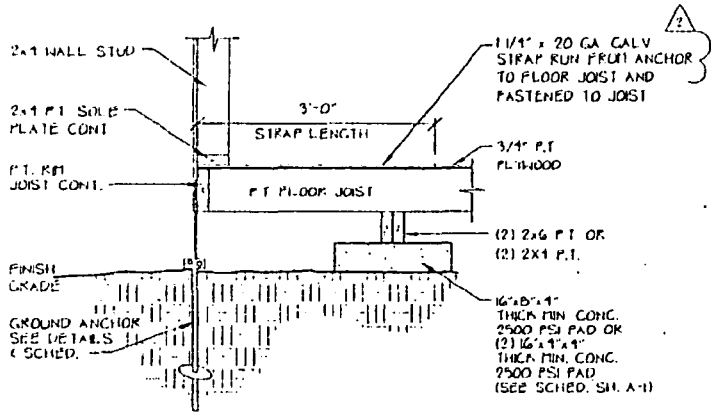
THIS DRAWING IS NOT VALID UNLESS SIGNED BY REGISTERED PROFESSIONAL ENGINEER
Fred S. Carquell
P.E. 15607

SINGLE WIDE ANCHOR BLOCKING FOR BUILDINGS MANUFACTURED BY 150'S SHEETS INC.
ANCHOR SPACING & ANCHORS

REV.	BY	DATE
1	JM	1/27/02
2	JM	1/28/02
3	JM	2/26/02
4	JM	1/27/03

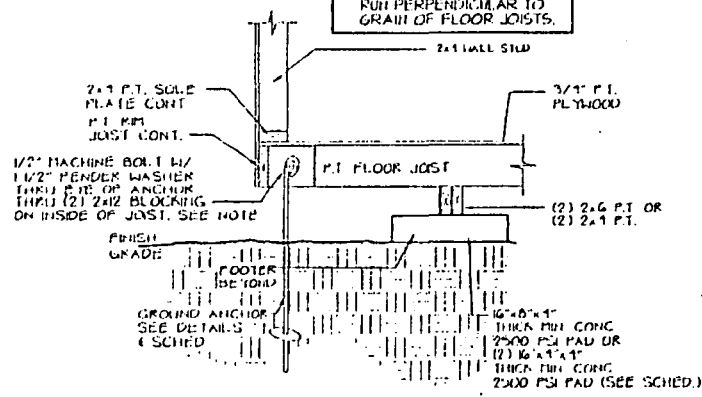
DATE: 3/22/02
DRAWN BY: JM
CHK BY: FSC
SCALE: AS NOTED
DIN NO: 2713 021

Unless going on Concrete Slab

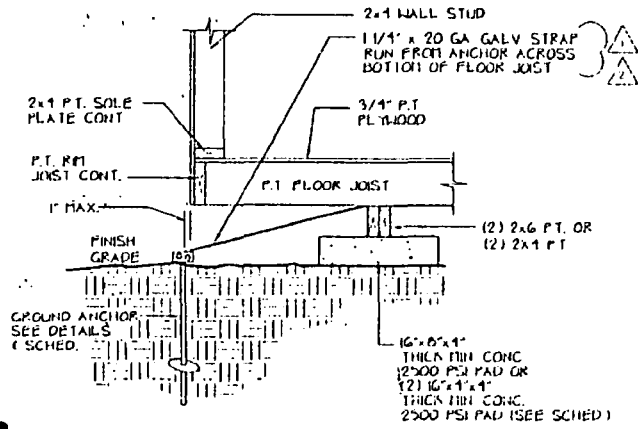


A STRAP TO ANCHOR ANCHOR/BUILDING CONNECTION
SCALE: N.T.S.

NOTE:
1. STRAP OR BLOCKING MUST RUN PERPENDICULAR TO GRAIN OF FLOOR JOISTS.

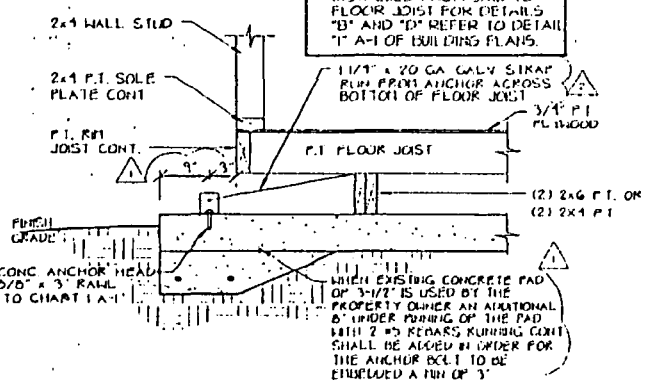


C EYE ANCHOR TO FLOOR JOIST ALTERNATE ANCHORING DETAIL
SCALE: N.T.S.



B STRAP TO ANCHOR ANCHOR/BUILDING CONNECTION
SCALE: N.T.S.

NOTE:
1. HURRICANE CLIPS MUST BE INSTALLED FROM SIDES TO FLOOR JOIST FOR DETAILS "B" AND "D" REFER TO DETAIL "A" OF BUILDING PLANS.



D STRAP TO ANCHOR ALTERNATE ANCHORING DETAIL TO SLAB
SCALE: N.T.S.

- ▲ CHANGED NOTE TO MATCH LETTER A
- ▲ REMOVED NOTE
- ▲ REVISED ENTIRE SHEET

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE FOR A THREE SECOND GUST OF 130, 140, 146, & 150 MPH.

FRED S. CARDWELL, P.E., P.L.S.
600 SOUTH BELDER ROAD
BLDG-A / UNIT #1
LARGO, FLORIDA 33771
VOICE: 727-594-9055
FAX: 727-524-1289

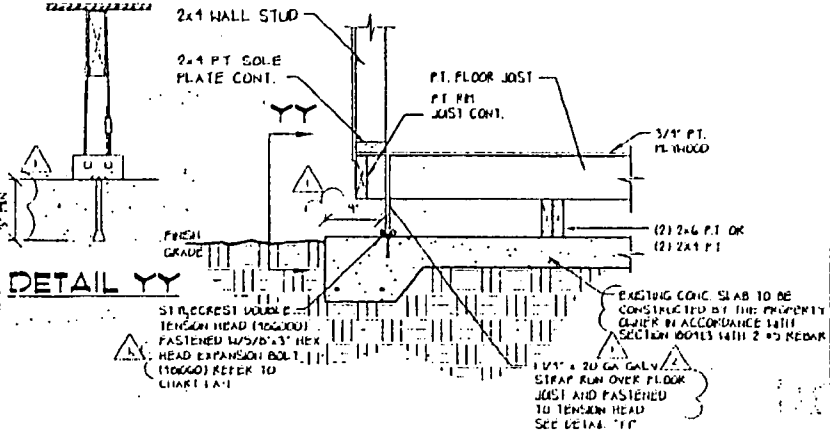
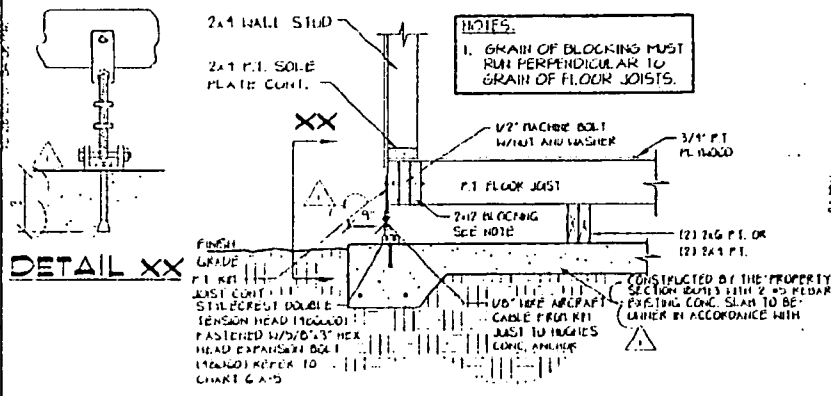
THIS DRAWING IS NOT VALID UNLESS SIGNED & PURCHASED INK
Fred S. Cardwell
10-18-01

SINGLE WIDE ANCHORING PLANS FOR BUILDINGS MANUFACTURED BY TED'S SHEDS INC.
FOUNDATION DETAILS

REV	BY	DATE
1	FC	3/7/02
2	FC	4/6/02
3	FC	5/16/02

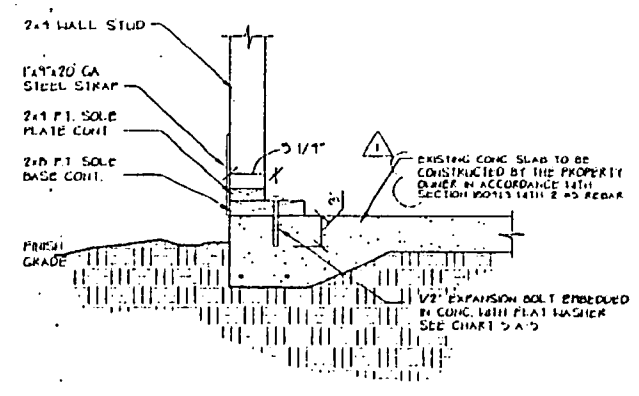
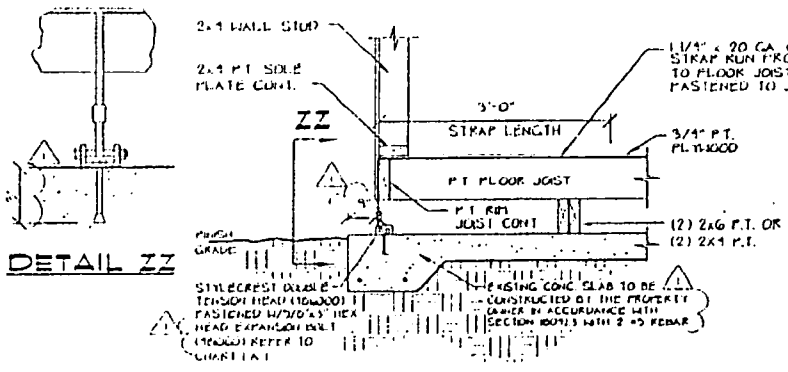
DATE:	3/12/02
DRN. D. I.:	JFA
CHA. D. I.:	FC
SCALE:	AS NOTED
HO. NO.:	273-024

SHEET
A-3



E AIRCRAFT CABLE TO ANCHOR
ALTERNATE ANCHORING DETAIL TO SLAB
 SCALE: N.T.S.

F STRAP TO ANCHOR
ALTERNATE ANCHORING DETAIL TO SLAB
 SCALE: N.T.S.



G STRAP TO ANCHOR
ALTERNATE ANCHORING DETAIL TO SLAB
 SCALE: N.T.S.

H BUILDING TO SLAB
INSTALLATION ON EXISTING CONC. SLAB
 SCALE: N.T.S.

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE FOR A THREE SECOND GUST OF 130, 140, 146, & 150 MPH.

- △ CHANGED NOTE TO MATCH DETAIL A
- △ REMOVED NOTE
- △ REUSED ENTIRE PAGE

FRED S. CARDWELL, P.E., PLS.
 100 SOUTH BELCHER ROAD
 BLDG-A / UNIT #0
 LARGO, FLORIDA 33771
 VOICE: 727-524-1005
 FAX: 727-524-1099

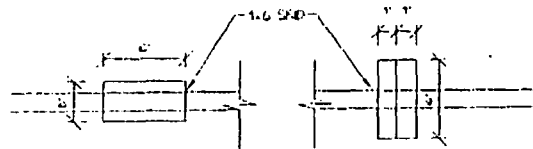
THIS DRAWING IS NOT VALID UNLESS SIGNED IN PURSUE OF THIS DRAWING
Fred S. Cardwell
 2-14-02

ANGLE WIDE ANCHORING PLANS FOR BUILDINGS MANUFACTURED BY RED'S SHEDS INC.
 FOUNDATION DETAILS

REV	BY	DATE
1	JA	1/17/02
2	JA	1/26/02
3	JA	2/26/02

DATE:	1/17/02
DRN. BY:	JA
CHK. BY:	FSC
SCALE:	AS NOTED
WD. NO.:	2/13/02

SHEET
A-4



4 16x8 PAD
DETAIL
SCALE: 1/2" = 1'-0"

3 (2) 16x4
DETAIL
SCALE: 1/2" = 1'-0"

130-150 MPH

WIDTH	MAXIMUM SPACING OF AIRCRAFT CABLE ANCHORS
4'	0'-0"
6'	1'-0"
8'	1'-0"
10'	1'-0"
12'-0"	1'-0"
14'-0"	1'-0"

NOTES:
1 ANCHORS PLACED AT 3" FROM
FREE END OF MEMBER.
2 NUMBER OF TWO ANCHORS
EACH SIDE OF BUILDING.

6 AIRCRAFT CABLE SCHEDULE
SCALE: NTS.

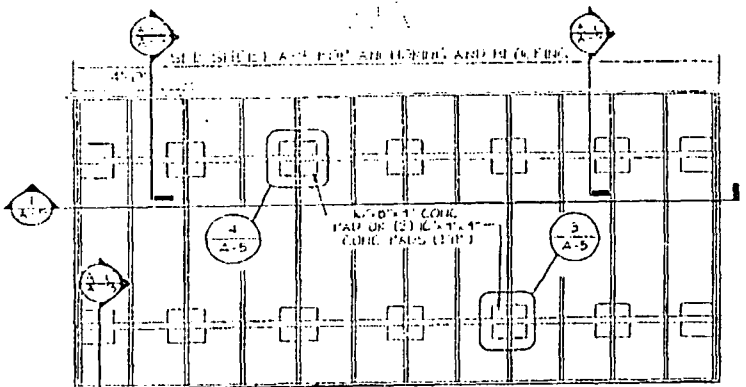
130-150 MPH

WIDTH	MAXIMUM SPACING OF HILTI NUT BOLTS
4'	1'-3"
6'	1'-10"
8'	1'-10"
10'	1'-8"
12'-0"	1'-8"
14'-0"	2'-2"

NOTES:
1 ANCHORS PLACED AT 3" FROM
FREE END OF BUILDING.
2 NUMBER OF TWO ANCHORS
EACH SIDE OF BUILDING.

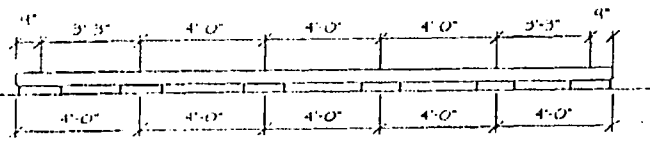
5 HILTI KWIK BOLT SCHEDULE
SCALE: NTS.

△ CHECKED BY: [Signature]
△ AIRCRAFT CABLE AND ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE.
△ REFERENCED NOTE:
△ PERMANENT MARKING SHALL BE MADE ON ALL ANCHORS TO BE INSTALLED.



1 ANCHORS FOR THE BUILDING CORNERS MUST BE 3'-0" MAX FROM THE BUILDING CORNERS.
2 CONIC PADS AND GROUND ANCHORS SHALL BE SPACED AT NO GREATER THAN 1'-0" OC.
3 PADS MUST BE LOCATED UNDER ENDS OF STRIPS.

2 ANCHORING & BLOCKING PLAN
SCALE: NTS



1 SECTION
SCALE: NTS

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE FOR A THREE SECOND GUST OF 130, 140, 146, & 150 MPH.

FRED S. CARDELL, P.E., PLS
100 SOUTH BROWDER ROAD
BUDGEE / UNIT #11
LARGO, FLORIDA 33771
VOICE: 727-824-1905
FAX: 727-524-1898

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UNLESS SIGNED BY PURPLE INK
[Signature]
10-25-2001

ANGLE WIDE ANCHORING PLAN
FOR BUILDINGS MANUFACTURED BY
TEDS SHEEPS INC.
ANCHORING & BLOCKING PLAN

REV	BY	DATE
1	JAA	3/27/01
2	JAA	3/27/01
3	JAA	3/27/01
4	JAA	6/26/01

DATE: 3/27/01
DRN. D.E.: JAA
CHK. B.T.: PSC
SCALE: AS SHOWN
DWG. NO.: 213.024

SHEET
A-5

6-25-2003 5:17:12 AM

TED'S SHEDS, INC.

9350 LAREDO AVENUE
FORT MYERS, FLORIDA 33905

MASTER PLAN FOR CARIBBEAN SHED

FRED S. CARDUELL, P.E., P.L.S.
1000 SOUTH BELCHER ROAD
BLDG-A / UNIT #11
LARGO, FLORIDA 33771
VOICE: 727-524-1905
FAX: 727-524-1286

P.E. #15607
FS

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UNLESS SIGNED IN PURPLE INK.

Fred S. Carduell
6-26-03

TED'S SHEDS, INC.
MASTER PLAN
FOR CARIBBEAN SHED
9350 LAREDO AVENUE
FORT MYERS, FLORIDA 33905

COVER SHEET

REV	BY	DATE

DATE:	6/26/03
DRN. BY:	EA
CHK. BY:	FS
SCALE:	NO SCALE
PLG. NO.:	213 062

SHEET
0-1

1606.17 INFORMATION

WIND LOADS
DISTRIBUTED AS PER THE WIND LOADS ON BOTH
WALLS AND ROOF UP TO 30 DEGREE ANGLE

WIND LOAD = 120 MPH
FOR 3 SECOND GUST

LOAD CONDITIONS, EXPOSURE "B" CASE "1"

VARIABLES

- K_z - VELOCITY PRESSURE EVALUATED AT HEIGHT
- K_t - ABOVE GROUND IN EXPOSURE B
- V - VELOCITY IN FEET PER HOUR DOWNWIND
- K_d - VELOCITY PRESSURE EXPOSURE COEFFICIENT AT HEIGHT "Z" ABOVE GROUND
- C_{st} - TOPOGRAPHY FACTOR
- K_z - WIND DIRECTIONALITY FACTOR
- I - IMPORTANCE FACTOR

- W - 0.00
- K_z - 1.00
- K_t - 0.85
- V - 120.00
- I - 0.75

3 - 1.0000 (1.0000) (1.0000) (1.0000) (1.0000)

WALLS AND AREA

SPAN IN FEET: 60.00 FT
WALL SPAN(S) IN FEET: 21.33 60.00 FT

FOR WALLS OF CONCRETE & CLADDING
(NAME & GRADE PAGE 44 ASCE 7-10)

- CCP MINUS ZONE #1 - -1.35
- CCP MINUS ZONE #2 - -1.00
- PLUS ZONE #4 & #5 - 0.85
- CCP PLUS - 0.35
- CCP MINUS - -0.35
- PRESENCE IN LB/SQ FT ZONES #4 & #5 WALL
- (1.0000-1.0000)
- 20.1 P.S.F. - ZONE #5 FOR WALLS
- 21.1 P.S.F. - ZONE #5 FOR WALLS
- 22.2 P.S.F. - ZONES #4 & #5 FOR WALLS
- 12.2 P.S.F. - ZONES #4 & #5 FOR WALLS
- 10.6 P.S.F. - ZONE #4 FOR WALLS
- 24.6 P.S.F. - ZONE #4 FOR WALLS

FOR ROOFS AT 10 DEGREES TO 30 DEGREES

(NAME & GRADE PAGE 40 ASCE 7-10)

- CCP MINUS ZONE #1 - -1.00
- CCP MINUS ZONE #2 - -1.00
- CCP MINUS ZONE #3 - -1.00
- CCP PLUS ZONE #1, #2, #3 - 0.85
- CCP PLUS - 0.35
- CCP MINUS - -0.35
- PRESENCE IN LB/SQ FT. ROOF
- 35.0 P.S.F. - ZONE #1 ROOF
- 0.0 P.S.F. - ZONE #1 ROOF
- 26.7 P.S.F. - ZONE #2 ROOF
- 27.7 P.S.F. - ZONE #2 ROOF
- 28.7 P.S.F. - ZONE #2 ROOF
- 27.7 P.S.F. - ZONE #3 ROOF
- 29.6 P.S.F. - ZONE #1, #2, #3 ROOF
- 26.4 P.S.F. - ZONE #1, #2, #3 ROOF

GENERAL NOTES

1. THIS STRUCTURE WAS DESIGNED IN ACCORDANCE WITH THE 2001 EDITION OF THE FLORIDA BUILDING CODE (F.B.C.) WIND LOADING DESIGNED IN ACCORDANCE WITH ASCE-7-98
2. ALL MATERIALS AND LABOR SHALL BE IN ACCORDANCE WITH THE ABOVE CODE AND ALL OTHER APPLICABLE LOCAL CODES AT THE TIME OF MANUFACTURE
3. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. OUTSIDE OVERALL DIMENSIONS CAN VARY BETWEEN LIMITS SHOWN BUT MEMBER SPACING SHALL NOT EXCEED LIMITS AS INDICATED.
5. LUMBER SHALL BE SOUTHERN PINE GRADE #2 12%-15% MOISTURE CONTENT. (F_b FOR 2X4 = 1500 PSI, AND FOR 2X6 = 1250 PSI)
6. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
7. TRUSS DESIGNED TO SUPPORT D.L. + I.L. 30 PSF.
8. EXTERIOR COVERINGS TO BE VINYL SIDING WITH 7/16" OSB OR 1/2" PLYWOOD BACKING.

ELECTRICAL NOTES

1. WHEN AIR CONDITIONING IS INSTALLED IN THIS BUILDING, IT SHALL BE THE RESPONSIBILITY OF THE HVAC CONTRACTOR AND ELECTRICAL CONTRACTOR TO VERIFY WIRE AND BREAKER SIZES FOR ACTUAL HVAC UNIT(S) INSTALLED. ALL WIRING TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE.
2. FLEXIBLE CONDUIT FOR LIGHT FIXTURES.
3. EACH CIRCUIT IS TO HAVE CONTINUOUS SOLID COPPER INSULATED GROUND WIRE CONNECTED TO EQUIPMENT GROUND BAR IN THE MAIN DISTRIBUTION PANEL.
4. EQUIPMENT GROUND BAR IN MAIN DISTRIBUTION PANEL IS TO BE GROUNDED TO MINIMUM 10'-0" COPPER CLAD EARTH DRIVEN ROD WITH GROUNDING CLAMP APPROVED FOR DIRECT BURIAL.
5. ALL CONDUIT TERMINATIONS OF 1" OR LARGER ARE TO HAVE PLASTIC INSULATED BUSHINGS.
6. ALL ELECTRICAL WORK IS TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC), LIFE SAFETY CODE (NFPA 101)

AGENCY APPROVAL
213-062

These plans comply with the Florida Manufacture Building Act of 1978 Construction Codes and adhere to the following criteria:

Construction: *1-1/2"*

Location: *S*

Number of Floors: *1*

Wind Velocity: *150*

Seismic Rating of Soil: *C*

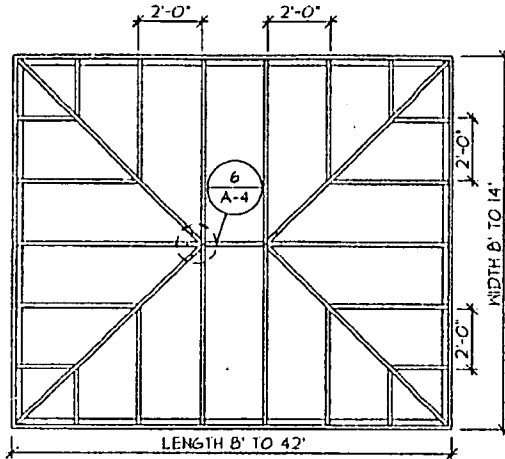
Floor Load: *10 psf*

Approval Date: *6/30/03*

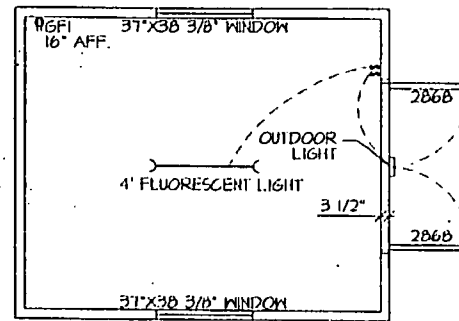
MR Inspector: _____

Date: 6/30/03 Plan No. 213-062
Approved By: Richard L. Bulluck
Modular Building Plans Examiner Florida Certificate SM1001

5/25/2003 9:16:47 AM



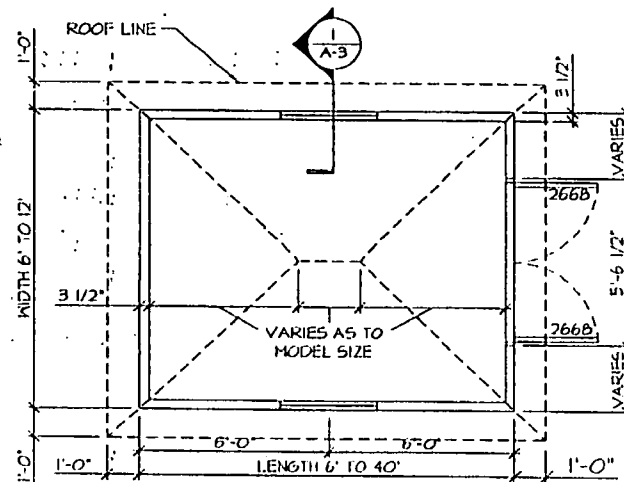
3 RAFTER PLAN
SCALE: 1/4" = 1'-0"



2 ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

Date 6/30/03 Plan No. 273-002
 Approved By [Signature]
 Richard L. Bulluck
 Modular Building Plans Examiner Florida Certificate SAIP 031

AGENCY APPROVAL	
273-002	
These prints comply with the Florida Manufactured Building Act of 1979 Construction Rules and adhere to the following criteria.	
1. Type	<u>SI</u>
2. Size	<u>5</u>
3. Code No.	<u>1</u>
4. Velocity	<u>150</u>
5. Sealing of Walls	<u>C</u>
6. Floor Load	<u>Concrete by others</u>
Approval Date	<u>6/30/03</u>
HRM Inspectors	



1 FLOOR/ROOF PLAN
SCALE: 1/4" = 1'-0"

NOTE:
 1. THESE DIMENSIONS DO NOT INCLUDE THE EXTERIOR WHICH IS NOT SHOWN HERE, AND CONSISTS OF 1/16" OSB COVERED WITH PLASTIC LAPS.
 2. LOCATION OF WINDOWS AND DOORS WILL VARY DEPENDING ON CUSTOMERS REQUEST.

FRED S. CARDWELL, P.E., P.L.S.
 1000 SOUTH BELCHER ROAD
 BLDG-A / UNIT #11
 LARGO, FLORIDA 33771
 VOICE: 727-524-1905
 FAX: 727-524-1296



THIS DRAWING IS NOT VALID UNLESS SIGNED IN PURPLE INK.

[Signature]
 6-26-03

TED'S SHEDS, INC.
 MASTER PLAN
 FOR CARIBBEAN SHED
 6950 LAREDO AVENUE
 FORT MYERS, FLORIDA 33905

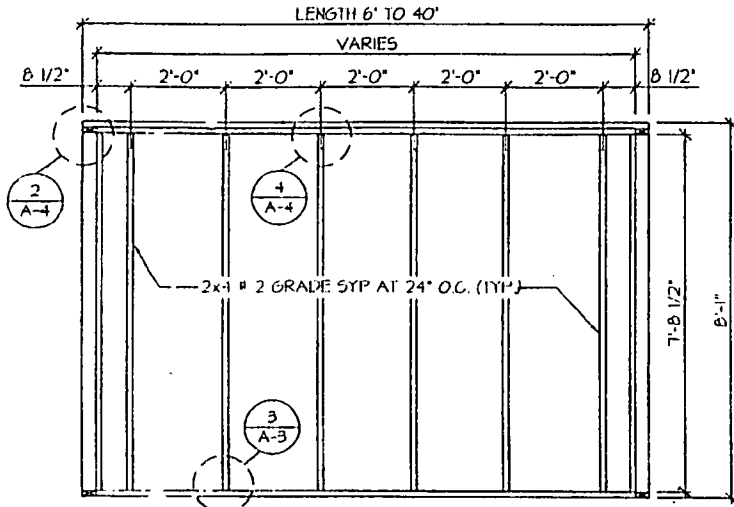
FLOOR / ROOF PLANS

REV	BY	DATE

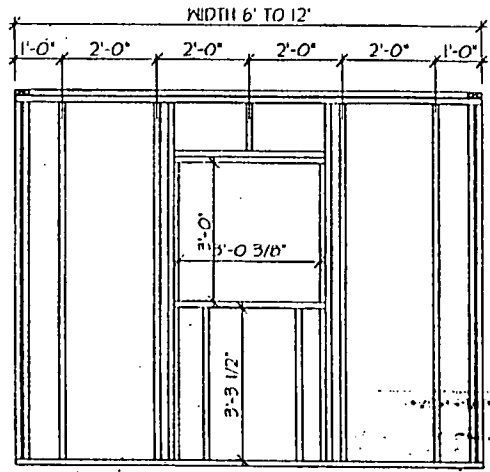
DATE: 6/26/03
 DESIGNED BY: DA
 CHECKED BY: FS
 SCALE:
 NO. NO.

SHEET
A-1

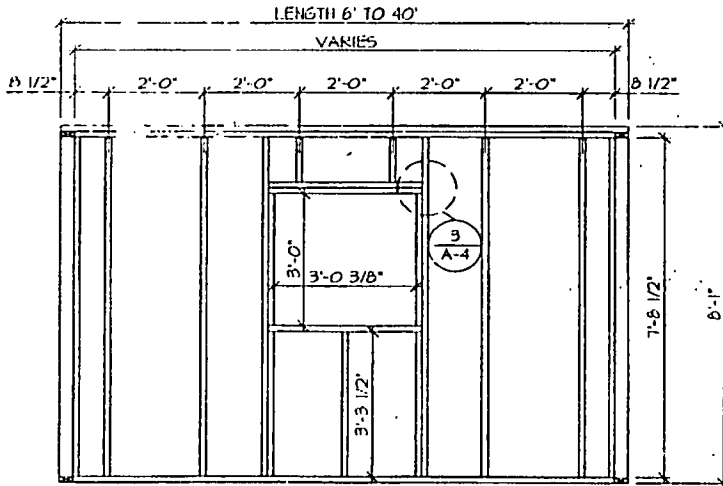
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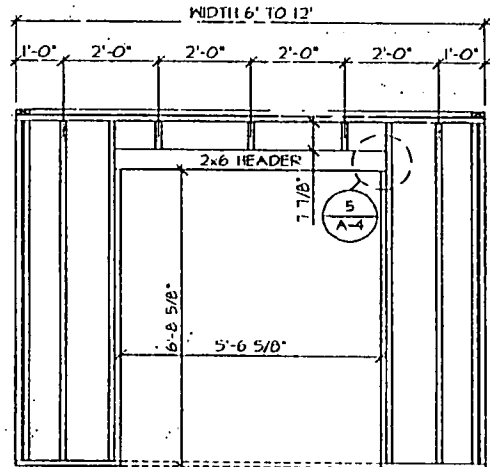
4 SIDE SECTION
SCALE: 3/8" = 1'-0"



2 REAR SECTION
SCALE: 3/8" = 1'-0"



3 SIDE SECTION
SCALE: 3/8" = 1'-0"



1 FRONT SECTION
SCALE: 3/8" = 1'-0"

Date 6/26/03 Plan No. 213-002
 Approved By [Signature]
 Richard L. Bolluck
 Modular Building Plans Examiner Florida Certificate SMP 003

FRED S. CARDWELL, P.E., P.L.S.
 1000 SOUTH BELCHER ROAD
 BLDG. A / UNIT #11
 LARGO, FLORIDA 33771
 VOICE: 727-524-1905
 FAX: 727-524-1298



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 [Signature]
 6-26-03

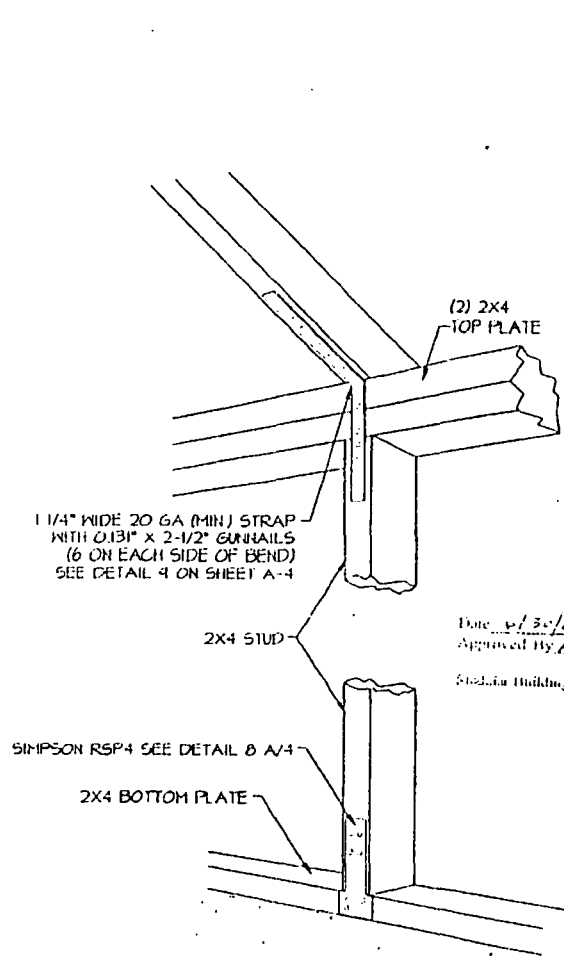
TEP'S SHEETS, INC.
 MASTER PLAN
 FOR CARIBBEAN SHED
 4950 LAREDO AVENUE
 FORT MYERS, FLORIDA 33903
 CONSTRUCTION ELEVATIONS

REV	BY	DATE

DATE: 6/26/03
 DRN BY: JJA
 CHK BY: FSC
 SCALE: AS NOTED
 NO. NO. 213-062

SHEET
A-2

6/26/2003 9:55:41 AM



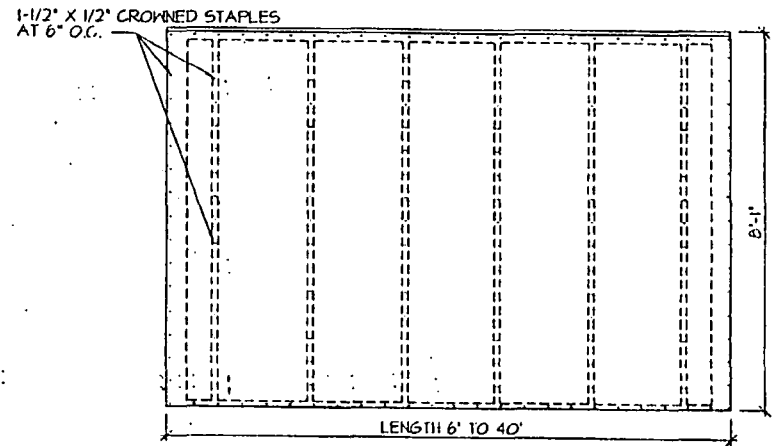
1 1/4" WIDE 20 GA (MIN) STRAP WITH 0.131" X 2-1/2" GUNNAILS (6 ON EACH SIDE OF BEND) SEE DETAIL 4 ON SHEET A-4

2X4 STUD
SIMPSON RSP4 SEE DETAIL 8 A-4
2X4 BOTTOM PLATE

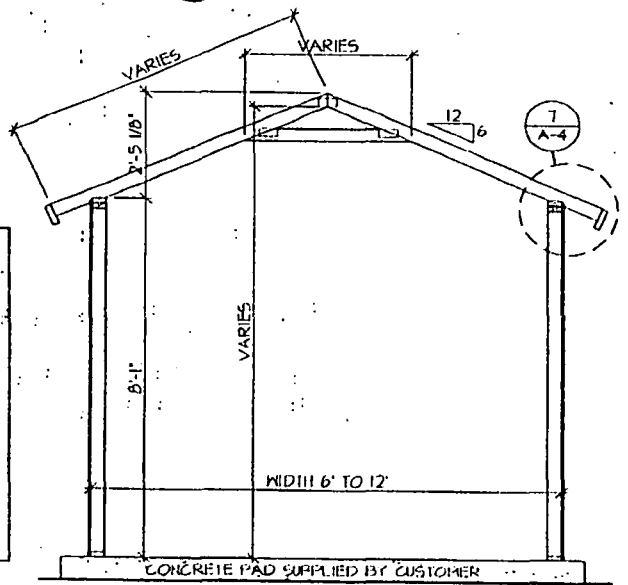
Date: 6/30/03 Plan No. 273-062
 Approved By: [Signature]
 Richard L. Bullock
 Graduate Building Plans Examiner Florida Certificate SMP1061

AGENCY APPROVAL	
273-062	
These prints comply with the Florida Manufactured Building Act of 1979 Construction Codes and adhere to the following criteria:	
Const. Type	<u>1.1</u>
Occupancy Allowable No. of Floors	<u>2</u>
Wind Velocity	<u>150</u>
Fire Rating of Ext. Walls	<u>0</u>
Floor Load	<u>condemned by others</u>
Approval Date	<u>6/30/03</u>
HRH Inspectors	

3 STRAPPING ISOMETRIC SCALE: 1" = 1'-0"



2 7/16" OSB ATTACHMENT DETAIL SCALE: 3/8" = 1'-0"



1 SECTION "A" SCALE: 3/8" = 1'-0"

FRED S. CARDWELL, P.E., P.L.S.
 1000 SOUTH BEAUCHER ROAD
 SUITE A / UNIT #11
 LARGO, FLORIDA 33771
 VOICE: 727-524-1905
 FAX: 727-524-1299



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 [Signature]
 6-76-03

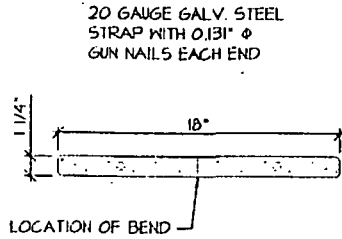
TEDE BHEDE, INC.
 MASTER PLAN FOR CARIBBEAN SHED 4850 LARGO AVENUE FORT PIERCE, FLORIDA 34909
 SECTIONS AND DETAILS

REV	BY	DATE

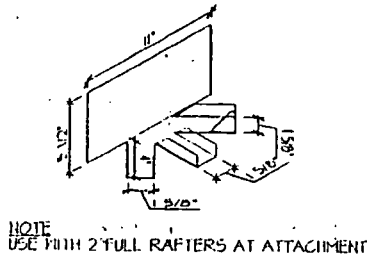
DATE: 6/26/03
 DRN BY: BJA
 CDR BY: FS
 SCALE: AS NOTED
 NO. NO: 273 062

SHEET A-3

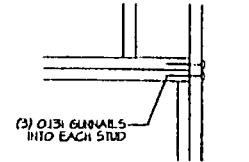
6/25/2003 9:15:21 AM



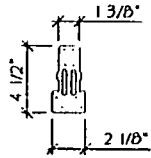
9 LSTAIB
DETAIL
SCALE: 1 1/2" = 1'-0"



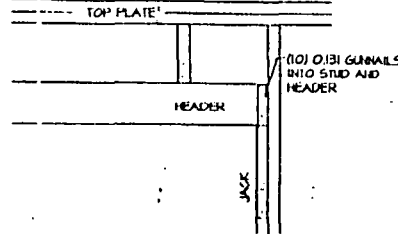
6 LTRMA
DETAIL
SCALE: 1 1/2" = 1'-0"



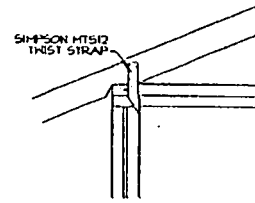
3 HEADER
DETAIL
SCALE: 1" = 1'-0"



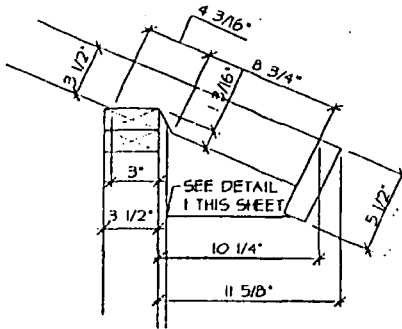
8 RSP4
DETAIL
SCALE: 1 1/2" = 1'-0"



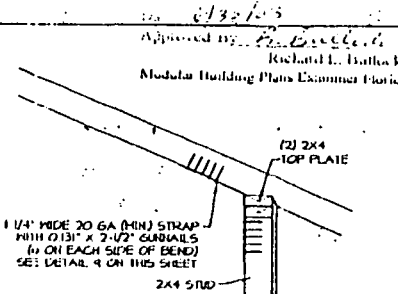
5 HEADER STRAP
DETAIL
SCALE: 1" = 1'-0"



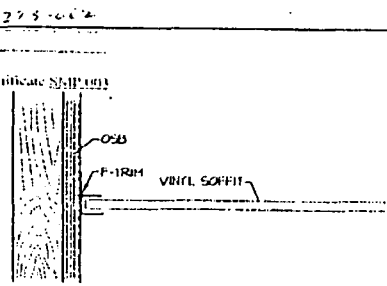
2 CORNER STRAP
DETAIL
SCALE: 1" = 1'-0"



7 OVERHANG
DETAIL
SCALE: 1" = 1'-0"



4 STRAP
DETAIL
SCALE: 1" = 1'-0"



1 SOFFIT
DETAIL
SCALE: 1" = 1'-0"

FRED S. CARDJELL, P.E., P.L.S.
1000 SOUTH BELCHER ROAD
BLDG-A / UNIT #11
LARGO, FLORIDA 33771
VOICE: 727-524-4905
FAX: 727-524-1299

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Fred S. Cardjell
6-26-03

TED'S SHEDS, INC.
MASTER PLAN
FOR CARIBBEAN SHED
4950 LAREDO AVENUE
FORT MYERS, FLORIDA 33905

DETAILS

REV	BY	DATE

DATE: 6/26/03
DRN BY: JDA
CHK BY: PSC
SCALE: AS NOTED
H.D. NO.: 275-062

SHEET
A-4

AGENCY APPROVAL
2-73-062

These Prints Comply with the Florida Manufactured Building Act of 1979 Constructed in Accordance with and adhere to the following criteria:

Contract No. 17
Occupancy 5
Allowable No. of Floors 1
Wind Velocity 150
Fire Rating of Ext. Walls C
Floor Load 271 psf
Approval Date 6/30/03




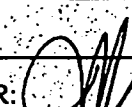
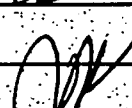
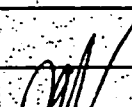
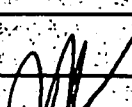
Inspector's

Approved by: *Fred S. Cardjell*
Richard L. Bullock
Modular Building Plans Examiner Florida, Certificate #11111

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/22, 2002 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7260	TROULLO	TED'S SHED	PASS	CLOSE
5	3 PALM ROAD O/B	FINAL		INSPECTOR: 
7449	FERRARO	ROUGH ELEC	PASS	
7	4 KINGSTON CT ARLINGTON ELEC			INSPECTOR: 
7486	TRUITT	A/C CHANGEOUT	FAIL	
14	39 S. RIVER RD. FLYNN'S AC			INSPECTOR: 
7335	VAN T BOSCH	ELEC	PASS	
13	36 S. RIVER RD FLORIDA'S FINEST	FRAMING	PASS	INSPECTOR: 
7278	LASKY	FINAL RET WALL	PASS	CLOSE
3	27 W. HIGH POINT WILCO CONST			INSPECTOR: 
7481	MILLARD	A/C CHANGEOUT	FAIL	
18	5 INDIA LUCIE DR O/B			INSPECTOR: 
7429	LAMB	FINAL ROOF	FAIL	
9	110 S. SEWALL ST TUTTLE ROOFING			INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

RECEIVED
MAR - 6 2000
BY: _____

Permit # 4771
Date Issued 12/21/99

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner BARRY VAN WAEKER Address 3 PALOMA Phone 624 0311

Contractor RALPH DITZ Address 5 PALMA RD Phone 283 7870

Number of trees to be removed (list kinds of trees) 4

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

3 TWO HICKORIES, 1 OAK

Number of trees to be replaced (list kinds of trees):

Permit Fee \$ ~~(\$25.00 first tree plus \$10.00 - each additional tree - not to exceed \$100.00)~~ \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved, as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted _____

Approved by Building Inspector _____ Date _____

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

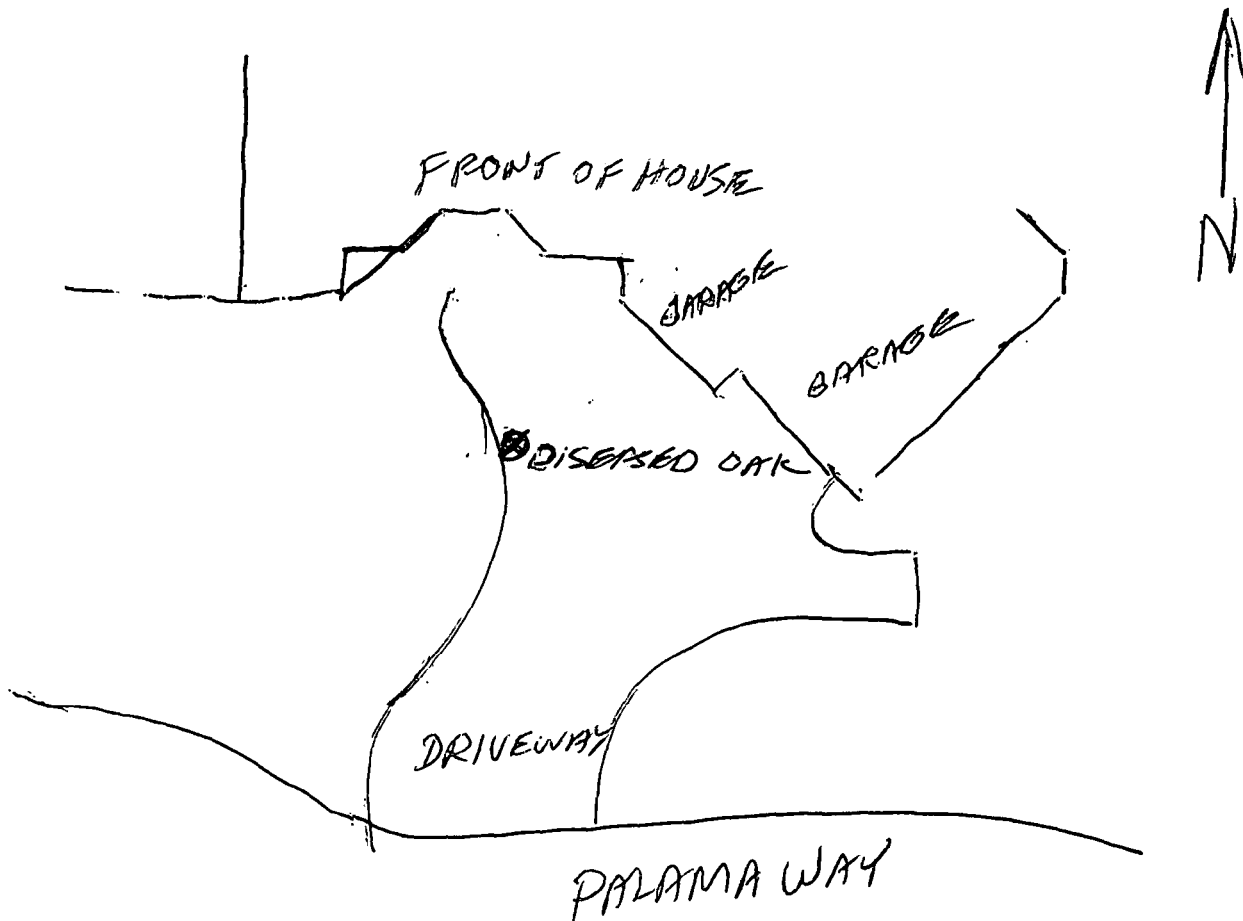
FEE.

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBTAINING A PERMIT~~. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

~~SEE BACK SIDE~~
SEE LANDSCAPE PLAN

THERE IS A HOLLOW DISEASED OAK
IN DRIVEWAY THAT OWNER WANTS TO
REMOVE



TOWN OF SEWALL'S POINT, FLORIDA

Date 03/07/00 TREE REMOVAL PERMIT No 300

APPLIED FOR BY RALPH DIAZ (Contractor or Owner)

Owner BARRY VAN WAGEN 3 PALM ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees OAK (DISEASED)

No. Of Trees: REMOVE 2 SPR UNDER CONST.

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE) FEE \$ 1500

No. Of Trees: REPLACE 2 WITHIN 30 DAYS W/ADAC 3/6/00

REMARKS _____

Signed, [Signature] Applicant

Signed, [Signature] Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Table with 10 empty rows for project details.

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT, FLORIDA

Date 03/07/00 TREE REMOVAL PERMIT No 300

APPLIED FOR BY RALPH DIAZ (Contractor or Owner)

Owner BARRY VAN WAGEN 3 PALM ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees OAK (DISEASED)

No. Of Trees: REMOVE 2 SPR UNDER CONST.

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE) FEE \$ 0

No. Of Trees: REPLACE 2 WITHIN 30 DAYS W/HIRE 3/6/00

REMARKS _____

Signed, [Signature] Applicant

Signed, [Signature] Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty grid area for notes or photos]

PROJECT DESCRIPTION _____

REMARKS _____

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BOAT SLIP #5

ELECTRIC SERVICE

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 459
Date 3-22-74

To connect installed 50 amp. 220 AC electrical service box at boat slip #5 Palm Row Boat Dock (This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner JOHN E. McFATRIDGE Present Address 283-3 PALM RD., RT. 1, BOX 271 Ph 0660

General Contractor SEWALL'S POINT Address JENSEN BEACH, FLA. 33457 Ph _____

Where licensed _____ License No. _____

Plumbing Contractor _____ License No. _____
Electrical Contractor _____ License No. _____

Street building will front on _____

Subdivision _____ Lot No. _____ Area _____

Building area, inside walls(excluding garage, carport, porches) Sq ft _____

Other Construction(Pools, additions, etc.) To connect installed 50 amp. 220 AC electrical service box at boat slip #5, Palm Row Boat Dock

Contract Price(excluding land, rugs, appliances, landscaping) \$ 2,50,00

Total cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Signed by General Contractor _____

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

John E. McFatridge
Signed by Owner of Palm Row Inc. Boat Deck #5.

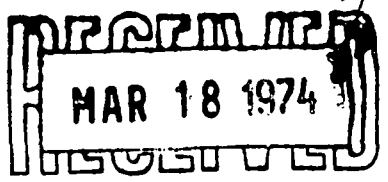
Approved
@Kwalln
3-22-74
CTF
2/25/74

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted _____

Date approved _____



Certificate of Occupancy issued _____ Date _____

#459

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