

5 Palm Road

152

SFR

152

TOWN OF SEWALL'S POINT - FLORIDA

Application For Building Permit

Owner ROBERT V RICHARDSON Present Address Po Box 2545 Delray Beach Fla 33444 Phone 278-2174

Architect DAVID SCHENANDORF Address 604 N. COCONUT AVE

General Contractor DAVID SCHENANDORF Address " Phone 461-5944

Where Licensed CITY OF FT PIERCE ST. LAUCIE License No. 1312

Plumbing Contractor KEN STONE Where Licensed MARTIN ST. LAUCIE COUNTY'S No. "

Electrical Contractor LUZENDAL THOMAS Where Licensed " No. "

Property Location Palms Row Subdivision Palms Row Lot No. 14

Lot Dimensions 100' x 150' Lot Area " Sq. Ft. 15000

Purpose of Building RESIDENCE Type of Construction CBS

Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)
Outside of Walls 1358 Inside of Walls "

Street or Road building will front on PALM ROAD

Clearances - Front 36' Back 68' + Side 25' Side 24' River "

Well Location Rear (Sprinkling NIC) Septic Tank Location Front Yard

Building elevation (By Ordinance Definition) 18" above Crown of Rd.

Contract Price (Include Plumbing, Electrical, Air Conditioning) 19700.00

PERMIT FEE	New Home	Additions	Others
General (\$3.00 per \$1000 or Fraction)	<u>60.00</u>	<u>"</u>	<u>"</u>
Plumbing (Flat Fee)	<u>\$10.00</u>	<u>\$3.00</u>	<u>"</u>
Electrical (Flat Fee)	<u>\$10.00</u>	<u>\$3.00</u>	<u>"</u>
Total (To be paid by General Contractor or Owner)	<u>\$80.00</u>	<u>"</u>	<u>"</u>

SIGNED: - General Contractor or Owner David Schenandorf

Building Inspector Comments: OK Charles A. Durgens

FOR TOWN RECORDS: Date Drawings submitted 9/18/68
 Date Permit approved 9/19/68
 Date Permit Fee paid 9/23/68
 Date First Inspection "
 Date Final Inspection 12/10/68
 Date Occupancy approved "

152
9/18/68

152

922

REPLACE FENCE

922
922

Permit No. _____
Date _____

TOWN OF
SEWALL'S POINT
FLORIDA

RECEIVED
JAN 9 1979
TOWN OF SEWALL'S POINT

APPLICATION FOR BUILDING PERMIT

This application must be accompanied by three sets of complete plans, to scale (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections, plumbing and electrical layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house construction.

-Owner R.V. & L.F. RICHARDSON Present Address 5 PALM RD SEWALLS PT

Phone 287-4070
-General Contractor AMERICAN CYPRESS FENCE Address 287 SE MONTEREY RD STUART FLA.

Phone 287-7677
Where Licensed MARTIN COUNTY License No. G G C 009400

-Plumbing Contractor _____ License No. _____
-Electrical Contractor _____ License No. _____

Describe building or other structure, or alteration to existing structure.
REPLACEMENT OF FENCES AT SAME LOCATIONS
(9 BASKET WEAVE SECTIONS & 12 SECTIONS OF RAIL FENCE)

Name the street on which the building, its front building line and its front yard will face.

Subdivision PALM ROAD Lot No. 14 Area _____

-Building Area, inside walls (excluding garage, carport, porches, etc.)...square feet _____

-Contract Price (excluding land, carpeting, appliances, landscaping, etc.) \$ 1000

-Total Cost of Permit \$ 5⁰⁰

-Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building must be completed in accordance with the approved plan, and that the site will be clean and rough-graded within the 12 month period. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code.

General Contractor _____

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood.

Owner Roger J. Richardson

Note: Speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted _____

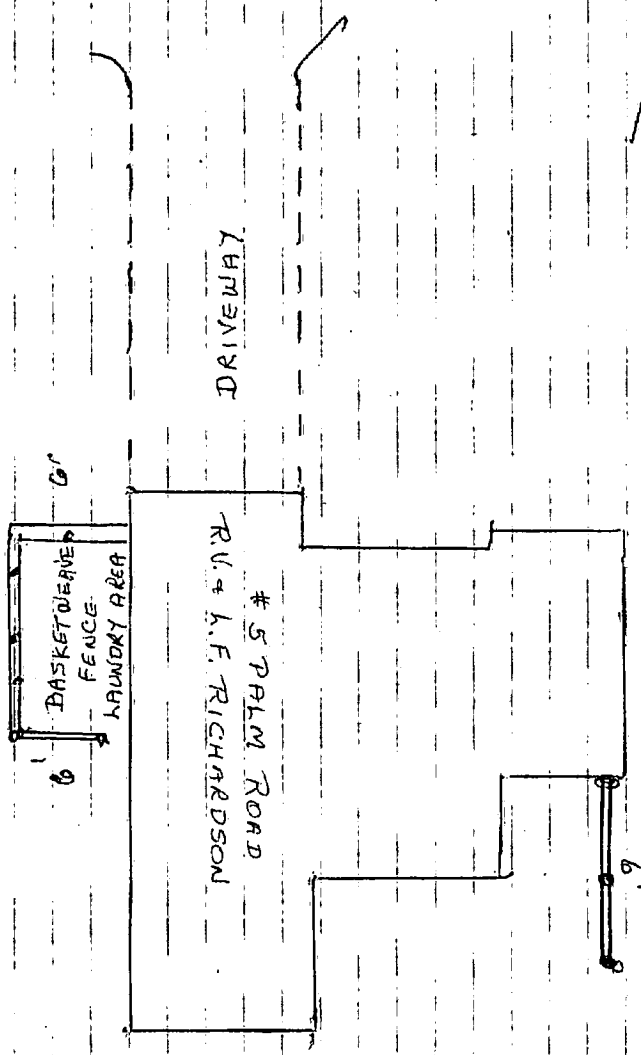
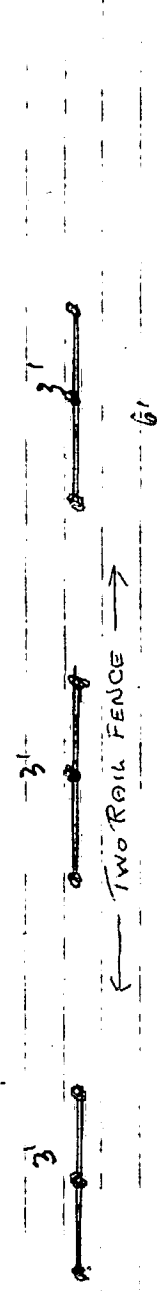
Approved: [Signature] Building Inspector Date 1/10/79

Approved: [Signature] Commissioner Date 10 Jan '79

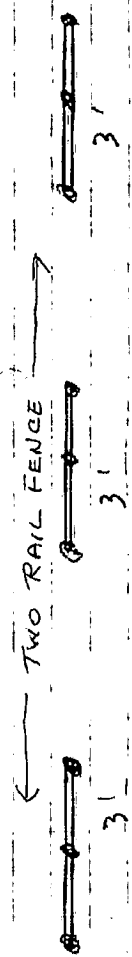
Certificate of Occupancy issued Completed (New) Date _____ #922

APPROXIMATE COST OF REPLACEMENT \$800

CM



CM



BOTH BASKETWEAVE & RAIL FENCE ARE REPLACEMENTS.

Jamaquea

RECEIVED
JAN 9 1979

CM

John Green
16 Jan 79

Approval of these plans in NO WAY
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances and the South
Florida Building Code.

CM

1251

ROOF

#1251

TOWN OF SEWALL'S POINT FLORIDA

RECEIVED DEC 8 1980

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner Rayn O. Richardson Present address 5 Palm Rd.

Phone _____

Contractor Damen Roofing Co. Address P.O. Box 207

Phone 287-6604 Stuart Fla.

Where licensed Martin Co. License number 00296

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Go Over existing roof with Shingles

State the street address at which the proposed structure will be built: _____

Subdivision Palm Row Lot No. 14

Contract price \$ 2020.80 Cost of Permit \$ 10.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Frank Peterson Jr.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner R.O. Richardson

TOWN RECORD

Date submitted

Approved: J. M. [Signature] 12/4/80
Building Inspector Date

Approved: J. C. Strubell 12/9/80
Commissioner Date

Final Approval given: [Signature] 12/16/80
Date

Certificate of Occupancy issued _____
Date

SP/1-79

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

#1251

5782

VINYL SOFFIT

TOWN OF SEWALL'S POINT

Date 4/23/02

BUILDING PERMIT NO. 5782

Building to be erected for LOUIE H. DAVIS

Type of Permit VINYL SOFFIT

Applied for by O/B (Contractor)

Building Fee 35.00

Subdivision PALM ROW Lot 14 Block _____

Radon Fee _____

Address 5 PALM ROAD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

1338410050000014030000

Electrical Fee _____

Plumbing Fee _____

Amount Paid \$43.75 Check # 3931 Cash _____

Other Fees (O/B) 8.75

Total Construction Cost \$ 350.00

Roofing Fee _____

TOTAL Fees 43.75

Signed Joqueline L. Davis
Applicant

Signed Mene Simmons / nlc
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

JS/12/2

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Owner or Titleholder Name: Louie H. Davis Building Permit Number:
City: Sewall's Point State: Fla Zip: 34996
Legal Description of Property: Plat Book 4, Pg. 68 Parcel Number: Lot 14
Location of Job Site: 5 Palm Road Type of Work To Be Done: Vinyl Soffit

CONTRACTOR/Company Name: Phone Number:
Street: City: State: Zip:
State Registration Number: State Certification Number: Martin County License Number: 2869495

ARCHITECT: Phone Number:
Street: City: State: Zip:

ENGINEER: Phone Number:
Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: ScreenedPorch:
Carpport: Total Under Roof Wood Deck: Accessory Building:
Type Sewage: Septic Tank Permit Number From Health Depart. Well Permit Number:

FLOOD HAZARD INFORMATION Flood Zone: Minimum Base Flood Elevation (BFE): NGVD
Proposed First Floor Habitable Floor Finished Elevation: NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$350.00 Estimated Fair Market Value (FMV) Prior
To Improvements: If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES NO

SUBCONTRACTOR INFORMATION
Electrical: State: License Number:
Mechanical: State: License Number:
Plumbing: State: License Number:
Roofing: State: License Number:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS,
HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE
REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION
Florida Building Code (Structural, Mechanical, Plumbing, Gas) South Florida Building Code (Structural, Mechanical, Plumbing, Gas)
National Electrical Code Florida Energy Code
Florida Accessibility Code

THEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY
KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required) Louie H. Davis
State of Florida, County of: Martin
This the 22 day of April, 2002
by Louie Davis who is personally
known to me or produced F.I. # 1.
as identification. Joant Barrow

CONTRACTOR SIGNATURE (Required)
On State of Florida, County of:
This the day of 200
by who is personally
known to me or produced
As identification.

Notary Public
Joan H. Barrow
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIR INSURANCE, INC.
Seal

Notary Public
My Commission Expires:
Seal

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Jacqueline T. Davis **Date:** 4-23-2002

Signature: Jacqueline T. Davis

Address: 5 Palm Road

City & State: Stuart, Fl 34996

Permit No. _____

This form is for all permits except electrical.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri June 17, 2002; Page of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5822	Davis	Drain/Plumb	Failed	
5782	5 Palm Rd Alumtile	Yurt Soft	Passed	close INSPECTOR: <i>[Signature]</i>
5824	Granfield	STEEL	Failed	
(2)	15 W. High Pt. Rd Schiller		Failed	INSPECTOR: <i>[Signature]</i>
TR3E	FABINSKY 10 Mandalay Rd	3 Cabbage Palms	Passed	INSPECTOR: <i>[Signature]</i>
5761	Lowell	Tie Beam	Passed	
(1)	7 W. High Pt. Rd FANIERO			INSPECTOR: <i>[Signature]</i>
5682	WANDER 24 SIMALA ST. UNITED FENCE.	FINAL FENCE. 335 2627.	Failed	no permit also: 5732 still open INSPECTOR: <i>[Signature]</i>
5828	WALKER 21 W. HIGH POINT SCOTT	FOOTING	Passed	INSPECTOR: <i>[Signature]</i>
5567	WEBER 4 MANDALAY BUFORD	CO. subj. height of	Passed Bids. Depos.	Health Doc to be final INSPECTOR: <i>[Signature]</i>

OTHER: _____

5822

RE-ROOF

TOWN OF SEWALL'S POINT

Date 6/3/02

BUILDING PERMIT NO. 5822

Building to be erected for LOUIE H. DAVIS

Type of Permit RE-ROOF

Applied for by ALUMA-TILE ROOFERS, INC. (Contractor)

Building Fee 120.00

Subdivision Palm Row Lot 14 Block _____

Radon Fee _____

Address 5 Palm Rd

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

Electrical Fee _____

1338410050000014030000

Plumbing Fee _____

Roofing Fee _____

Amount Paid 120.00 Check # 10316 Cash _____ Other Fees (_____)

Total Construction Cost \$ 16,500.00

TOTAL Fees 120.00

Signed [Signature]
Applicant

Signed [Signature] (1811)
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input checked="" type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Owner or Titleholder Name: LOUIE H. DAVIS City: SEWALLS PT. State: FL. Zip:
Legal Description of Property: PALM ROW LOT 14 Parcel Number: 1338410050000014030000
Location of Job Site: 5 PALM Rd. Sewalls Pt. Type of Work To Be Done: RE - ROOF

Building Permit Number:

CONTRACTOR/Company Name: ALUMA-TILE ROOFERS INC Phone Number: 806-999-3930
Street: 333 FAIKENBURG Rd. N. A-130 City: TAMPA State: FL Zip: 33619
State Registration Number: CCC049370 State Certification Number: Martin County License Number:

ARCHITECT: N/A Phone Number:
Street: City: State: Zip:

ENGINEER: N/A Phone Number:
Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: ScreenedPorch:
Carport: Total Under Roof 25 Sq. Wood Deck: Accessory Building:
Type Sewage: Septic Tank Permit Number From Health Depart. Well Permit Number:

FLOOD HAZARD INFORMATION Flood Zone: N/A Minimum Base Flood Elevation (BFE): NGVD
Proposed First Floor Habitable Floor Finished Elevation: NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: 16,500 Estimated Fair Market Value (FMV) Prior
To Improvements: If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES NO X

SUBCONTRACTOR INFORMATION

Electrical: State License Number:
Mechanical: State License Number:
Plumbing: State License Number:
Roofing: LEON R. NAULT / ATR State: FL. License Number: CCC 049370

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) South Florida Building Code (Structural, Mechanical, Plumbing, Gas)
National Electrical Code Florida Energy Code
Florida Accessibility Code

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required)
State of Florida, County of:
This the day of 200
by who is personally
known to me or produced
as identification.
Notary Public
My Commission Expires:

CONTRACTOR SIGNATURE (Required)
On State of Florida, County of:
This the day of 200
by who is personally
known to me or produced
As identification.
Notary Public
My Commission Expires:

Seal

Seal



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD
7960 ARLINGTON EXPRESSWAY
STE 300
JACKSONVILLE FL 32211-7467

(904) 727-6530

NAULT, LEON RICHARD
ALUMA-TILE ROOFERS INC
333 FALKENBURG RD NSTE A-130
TAMPA FL 33619-7891

STATE OF FLORIDA AC# 590686

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CC -C049370 07/11/2000 0090009

CERTIFIED ROOFING CONTRACTOR
NAULT, LEON RICHARD
ALUMA-TILE ROOFERS INC

IS CERTIFIED under the provisions of Ch. 489

Expiration Date: AUG 31, 2002

DETACH HERE

AC# 5906863

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
07/11/2000	00900092	CC -C049370

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489, FS.
Expiration date: AUG 31, 2002

NAULT, LEON RICHARD
ALUMA-TILE ROOFERS INC
333 FALKENBURG RD NSTE A-130
TAMPA FL 33619-7891

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON
SECRETARY

ACORD CERTIFICATE OF LIABILITY INSURANCE		DATE 4/4/02 CP: BG
PRODUCER: BOUCHARD INSURANCE, INC. 101 STARCREST DRIVE PO BOX 6090 CLEARWATER, FL 33758-6090 PHONE: 727-447-6461 FAX: 727-449-1267	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED: ADMINISTRATIVE CONCEPTS CORP. 1742 INDEPENDENCE BLVD, BUILDING A SARASOTA, FL 34234	INSURERS AFFORDING COVERAGE	NAIC #
	INSURER A: AMERICAN CASUALTY COMPANY OF READING, PA	
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E:	

COVERAGES
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	ADDL INSRID	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
		GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC				EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (EA OCCURRENCE) \$ MED EXP \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (EA ACCIDENT) \$ BODILY INJURY (PER PERSON) \$ BODILY INJURY (PER ACCIDENT) \$ PROPERTY DAMAGE (PER ACCIDENT) \$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTOS ONLY: AGG \$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? IF YES, DESCRIBE UNDER SPECIAL PROVISIONS BELOW	WC191265229	4/1/01	6/1/02	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$100000 E.L. DISEASE - EA EMPLOYEE \$100000 E.L. DISEASE - POLICY LIMITS \$100000
		OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS:
 COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF ALUMINILE ROOFERS CLIENT # 813 ADD ON DATE 1/9/02

CERTIFICATE HOLDER MARTIN COUNTY BOARD OF COUNTY COMMISSIONERS 2401 SE MONTERBY RD STUART, FL 34996-3397	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
--	--

CSR JD 04/04/02

CERTIFICATE OF INSURANCE: ALUMTIL

PRODUCER
NUSSEAR INSURANCE AGENCY
 2380 DREW STREET SUITE 5
 CLEARWATER FL 33765
 727-797-8603

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED
Aluma-Tile Roofers, Inc.
 Tom McGarr
 333 Falkenberg Road N., A-130
 Tampa FL 33619

COMPANIES AFFORDING COVERAGE
 COMPANY A **AUTO OWNERS INSURANCE CO**
 COMPANY B **Universal Specialty**
 COMPANY C
 COMPANY D

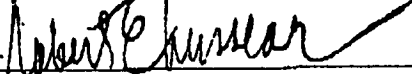
> COVERAGES <-----
 THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREBIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS, AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO/LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFF DATE (MM/DD/YY)	POLICY EXP DATE (MM/DD/YY)	LIMITS
B	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GEN LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCC. <input type="checkbox"/> OWNERS'S & CONTRACTOR'S PROTECTIVE	HGL43640001	09/12/01	09/12/02	GENERAL AGGREGATE 2,000,000 PROD-COMP/OP AGG. 2,000,000 PERS. & ADV. INJURY 1,000,000 EACH OCCURRENCE 1,000,000 FIRE DAMAGE (ANY ONE FIRE) 50,000 MED. EXPENSE (ANY ONE PERSON) 5,000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	43-383339-00	02/19/02	02/19/03	COMB. SINGLE LIMIT 500,000 BODILY INJURY (PER PERSON) 500,000 BODILY INJURY (PER ACCIDENT) 500,000 PROPERTY DAMAGE 500,000
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY (EA ACC) OTHER / AUTO ONLY: EACH ACCIDENT AGGREGATE
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE AGGREGATE
	WORKERS COMP. AND EMP. LIAB. THE PROPRIETOR/PARTNERS/ EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL. <input type="checkbox"/> EXCL.				STAT LIM () OTH EL EA ACCIDENT EL DISEASE-POL. LIM EL DISEASE-EA EMP.
A	OTHER AUTOMOBILE PHYSICAL DAMAGE	4338333900	02/19/02	02/19/03	COMP DED \$500 COLL DED \$500

-DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS-
Roofing Contractor

> CERTIFICATE HOLDER <-----
MART016
MARTIN COUNTY BUILDING DEPT
 2401 SE MONTEREY
 STUART FL 34996

CANCELLATION <-----
 SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Robert E. Nussear 

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): 5 Palm Rd.

Lot 14, Revised & Amended Plat of Palm Row

GENERAL DESCRIPTION OF IMPROVEMENT: RE-ROOF

OWNER: Louie H. Davis, Trustee

ADDRESS: 5 Palm Rd., Stuart Florida, 34996

PHONE #: (772) 286-9495

FAX #: _____

CONTRACTOR: ALUMA-TILE ROOFERS, INC.

ADDRESS: 333 Falkenburg Rd. North St. A-130 - Tampa, FL 33619

PHONE #: 1-800-999-3930
813-685-2485

FAX #: 813-654-4388

SURETY COMPANY (IF ANY) _____

ADDRESS: _____

PHONE #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

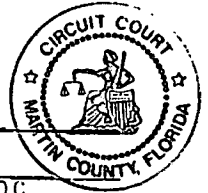
PHONE #: _____

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL

MARSHA EWING, CLERK

BY [Signature] D.C.
DATE 5.30.02



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7, FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: July 1, 2002
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE

Louie H. Davis, Trustee
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 17th DAY OF May 2002 BY L. Davis

Joan H. Barrow
NOTARY SIGNATURE

Joan H. Barrow OR
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIN INSURANCE, INC.

PERSONALLY KNOWN
PRODUCED ID
TYPE OF ID H.S.

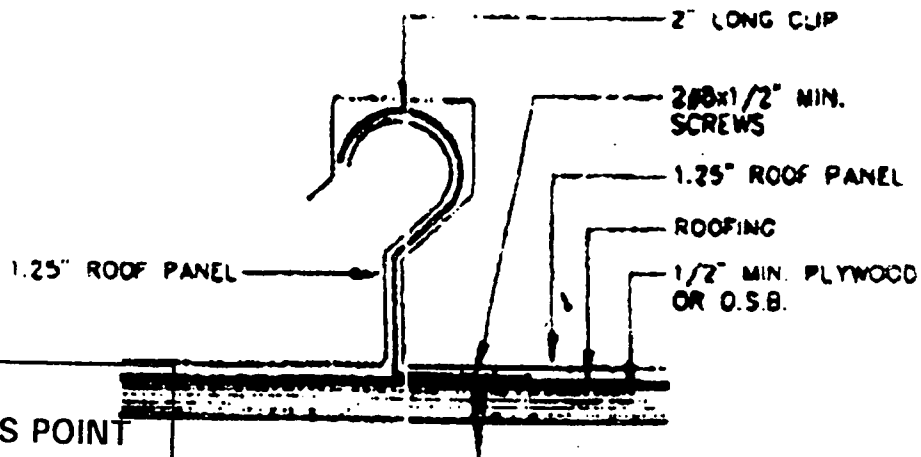
ATTN: FRANK

**ROYAL
ALUMINUM**

MIKE'S ALUMINUM INC
11401 S ORANGE BLOSSOM TR
ORLANDO FLORIDA 32837

NOTE: PANELS & CLIP ARE MADE WITH 3105-H28 OR 3105-H14
ALLOY-TEMPER. CLIPS ARE 0.026" MIN. SPECIFIED THICKNESS.
CLIPS ARE 2" LONG, MINIMUM

EDGE FASTENING: AT EAVES / OVERHANGS PROVIDE FIRST
INTERIOR CLIP AT 3" FROM ROOF EDGE.
AT GABLE ENDS SCREW DOWN PANELS
AT 12" O/C W/ #8 SCREWS WITH 3/4" diameter
WASHERS OR ANCHOR W/ FASCIA,
SCREWED AT 12" O/C



TYPICAL CLIP DETAIL

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 6/2/02
[Signature]
BUILDING OFFICIAL
Gene Simmons

NOTE: #8 SCREWS MAY BE SUBSTITUTED
WITH A 60 GALVANIZED RING SHANK NAIL

[Signature]
P. 9. 98

GRV STERLING & WILBUR
ENGINEERING GROUP

Project **FLAT DOWN ROOF-OVER**

Proj # **992009**

METALSUSA

PAGE 01/01

**ROYAL
ALUMINUM**

+20 psf ROOF LIVE LOAD

WIND UPLIFT, psf	-20	-30	-40	-50	-60	-70	-80	-90	-100	-110	-120
RP #624	60"	48"	38"	36"	36"	30"	30"	24"	24"	24"	24"
RP #622	60"	48"	48"	36"	36"	36"	36"	30"	30"	30"	24"
RPA #626	60"	48"	36"	36"	36"	30"	30"	24"	24"	24"	24"

ALUMINUM

+20 psf ROOF LIVE LOAD

WIND UPLIFT, psf	-20	-30	-40	-50	-60	-70	-80	-90	-100	-110	-120
RP 1624	60"	48"	38"	36"	36"	30"	30"	24"	24"	24"	24"
RP 1622	80"	48"	48"	38"	36"	36"	36"	30"	30"	30"	24"
RPA 1626	60"	48"	36"	38"	36"	30"	30"	24"	24"	24"	24"
RPA 1630	60"	48"	48"	36"	36"	36"	36"	30"	30"	30"	24"

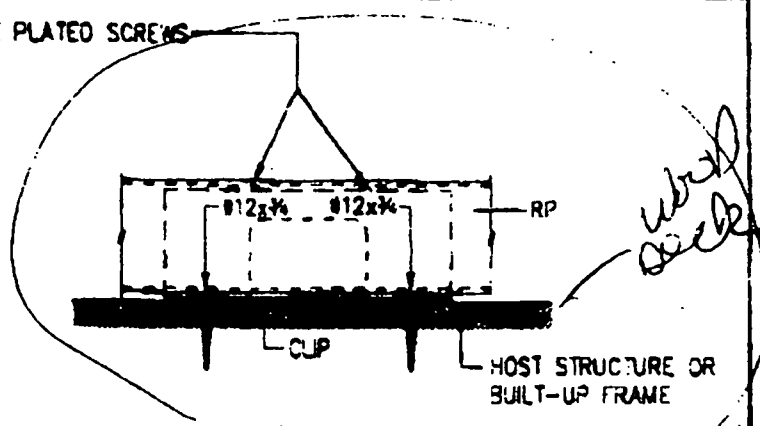
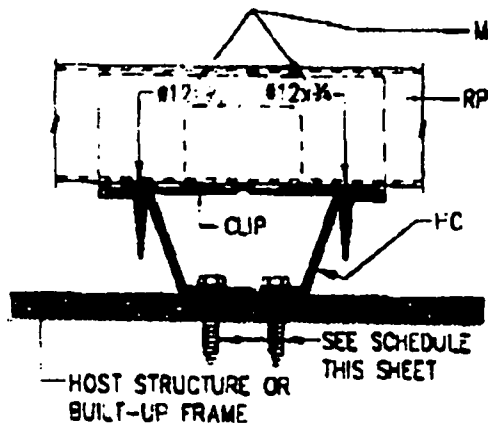
+30 psf ROOF LIVE LOAD

WIND UPLIFT, psf	-20	-30	-40	-50	-60	-70	-80	-90	-100	-110	-120
RP 1624	48"	48"	36"	36"	38"	30"	30"	24"	24"	24"	24"
RP 1622	60"	48"	48"	38"	38"	36"	36"	30"	30"	30"	24"
RPA 1626	48"	48"	36"	36"	38"	30"	30"	24"	24"	24"	24"
RPA 1630	60"	48"	48"	36"	38"	38"	38"	30"	30"	30"	24"

+40 psf ROOF LIVE LOAD

WIND UPLIFT, psf	-20	-30	-40	-50	-60	-70	-80	-90	-100	-110	-120
RP 1624	36"	36"	36"	36"	36"	30"	30"	24"	24"	24"	24"
RP 1622	48"	48"	48"	36"	38"	36"	36"	30"	30"	30"	24"
RPA 1626	36"	36"	36"	36"	36"	30"	30"	24"	24"	24"	24"
RPA 1630	48"	48"	48"	36"	36"	36"	36"	30"	30"	30"	24"

NOTE: VALUES BASED UPON SIMPLE (SINGLE) SPAN CONDITION.

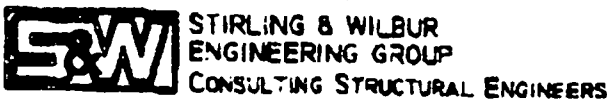


HAT CHANNEL SELECTION CHART - MAXIMUM HAT CHANNEL SPANS

(NOTE: SEE RO-2 FOR CLIP SPACING)

CHANNEL SECTIONS	CLIP SPACING				
	5'-0"	4'-0"	3'-0"	2'-6"	2'-0"
15HC20	3'-4"	---	---	---	---
15HC18	3'-11"	---	---	---	---
15HC16	4'-6"	4'-4"	---	---	---
15HC14	5'-0"	4'-10"	3'-11"	3'-8"	3'-1"
20HC16	5'-5"	5'-4"	---	---	---
20HC14	6'-1"	5'-11"	4'-9"	4'-6"	4'-9"
FASTENERS • x 1/2" LONG	3#12	3#12	4#12	4#12	4#12
LOAD **	915#	950#	1150#	1250#	1500#

* BASED ON FASTENING TO 12 GA. TOP TRACK OF BUILT-UP FRAME, PLATED FOR CORROSION PROTECTION
 ** FOR SELECTION OF FASTENERS FOR ALTERNATE MATERIALS



Project	ROOF OVER SYSTEM	Proj #:	92009
Part:	CLIP SPACING CHART	Station #:	RO-1 By: BHS
		Date:	11-28-00

Handwritten signature and date: 11.28.00

ARCHITECTURAL SPECIFICATIONS

I. MANUFACTURER:

Perfection: The Very Best in Building Products
PO Box 1524
8512 Industry Park Drive
Piqua, Ohio 45356
U.S.A.
Local: (937) 778-5117
Toll-free: (888) 788-2427
Fax: (937) 778-5116

II. SCOPE

Work includes all labor, materials and equipment necessary to complete installation of Country Manor Shake aluminum roofing.

III. PRODUCTION INFO.

A. Product Design — All panels are designed for use in residential and light commercial applications with elevations up to 30 feet (9144 mm). For applications of a different nature, contact Perfection.

Height: 12" (304.8 mm)
Width: 48" (1219 mm)
Wt./Sq.: 46 lb.

Each Country Manor Shake panel is formed into eight individual simulated shakes of varying height, width and butt thickness to duplicate the random overlap appearance and three-dimensional effect of real cedar shakeds. The product's authentic appearance is further enhanced with a deep-rugged-looking grain formed into each of the eight individual shakes.

B. Finish — Country Manor Shake panels and factory formed accessories are formed with a two-coat, high performance Kynar 500 or Hylar 5000 coating, which includes a protective primer and baked-on high-performance topcoat that resists chalking, fading and deterioration.

C. Alloy and Temper — All aluminum panels and accessories are made of 3105-H25 aluminum sheet (minimum tensile strength 26,000 psi; minimum yield strength 22,000 psi) or equivalent.

D. Thickness — All panels have a nominal thickness of 0.019" (.483 mm).

IV. INSTALLATION

A. Fastening — Country Manor Shake panels are applied over minimum ½" plywood decking or equivalent. The system may also be applied over existing composition shingles (single or multi-layered), wood shingles or wood shakes with ¾" maximum butt thickness. In any case, the entire roof must be covered with a minimum of one layer of 30-lb. felt underlayment.

Country Manor Shake panels have a continuous nailing flange to provide for easy application. Panels are installed from left to right with left-hand end cuts as required to stagger the vertical joints between successive courses, enhancing the random appearance. Country Manor Shake panels should be attached with ring or screw shank aluminum nails that have a minimum shank diameter of 0.090" and a minimum head diameter of 0.215". Nails should provide a minimum of ¾" penetration, excluding point, into a solid nailing surface.

Minimum Acceptable Roof Pitch:
4:12 (101.6:304.8 mm) or, in non-snow areas, 3:12 (76.2:304.8 mm).

For weather protection and to imitate a joint between individual shakes, panels are locked together by engaging a formed lip on the left side of panels with a modified U-shaped water stop on the right side of the preceding panel. The concealed vertical lock hides the vertical joint, making it practically impossible to discern the interlock between full panels, no matter what the angle of sight. The top lock provides a continuous hooking lip for engagement with the bottom of each panel of succeeding courses. This type of snap-lock allows the panels to be installed like siding panels.

B. Dissimilar Materials — Aluminum materials should not be installed in contact with dissimilar metals, concrete, stucco, asbestos siding, masonry or other corrosive nonmetallic materials that might be wet continually. To prevent problems with wood, use treatments such as creosote or zinc naphthanate pentachlorophenol (5% concentration).

To prevent chemical reactions from soil contaminants, do not install Country Manor Shake panels fewer than six inches above the soil line. Dissimilar materials should be painted or otherwise protected when they are in contact with aluminum or when drainage from them passes over aluminum. Do not permit water from copper flashing to drain over aluminum products.

V. CODE INFORMATION

Country Manor Shake aluminum roofing is listed with the following evaluation services:

- A. Underwriters Laboratories, Inc. listing as an approved fire-rated roof covering as Class A, B or C when applied using the specified underlayments and decking R5100(N).
- B. International Conference of Building Officials (I.C.B.O.) Report No. ER-5322
- C. Southern Building Code Congress International Report No. 9721
- D. Building Officials Code Administration (B.O.C.A.) Research File No. 96-51.
- E. Miami-Dade County Approved

Additional listings are pending with the following evaluation services:

Canadian Construction Materials Centre (CCMC)

City of Los Angeles



SBCCI PUBLIC SAFETY TESTING AND EVALUATION SERVICES INC.
900 Montclair Road, Suite A
Birmingham, Alabama 35213-1206

Evaluation Reports are the opinion of the Committee on Evaluation, based on the findings, and do not constitute or imply an approval or acceptance by any local community. The Committee, in review of the data submitted, finds that in their opinion the product, material, system, or method of construction specifically identified in this report conforms with or is a suitable alternate to that specified in the Standard Codes, **SUBJECT TO THE LIMITATIONS IN THIS REPORT.**

The Committee on Evaluation has reviewed the data submitted for compliance with the *Standard Building Code*® and the CABO One and Two Family Dwelling Code and submits to the Building Official or other authority having jurisdiction the following report. The Committee on Evaluation, SBCCI PST & ESI and its staff are not responsible for any errors or omissions to any documents, calculations, drawings, specifications, tests or summaries prepared and submitted by the design professional or preparer of record that are listed in the Substantiating Data Section of this report. Copyrighted © 1997 SBCCI PST & ESI

REPORT NO.: 9721

EXPIRES: See current SBCCI PST & ESI EVALUATION REPORT LISTING

CATEGORY: ROOF COVERINGS AND ROOF DECK CONSTRUCTION

SUBMITTED BY:

PERFECTION
A DIVISION OF CLASSIC PRODUCTS, INC. **FINAL REPORT**
P.O. BOX 1524
8512 INDUSTRY PARK DRIVE
PIQUA, OHIO 45356

1. PRODUCT TRADE NAME

Country Manor Shake

LICENSEE

Alcoa Building Products Country Cedar Aluminum
a Division of the Stolle Corp. Shakes

2. SCOPE OF EVALUATION

- 2.1 Roof Covering Fire Classification
- 2.2 Wind Uplift Resistance
- 2.3 Weather Resistance

3. USES

Country Manor Shakes are used as Class A, B, or C roof coverings for new or existing roofs.

4. DESCRIPTION

4.1 General

Country Manor Shakes and accessories are panels manufactured from 3000 series alloy; H25 temper aluminum sheet, minimum tensile strength of 26,000 psi (179,270 kPa) and minimum yield strength of 22,000 psi (151,690 kPa). The panels have a nominal 0.019 inch (0.5 mm) thickness. The panels are designed for use in residential and commercial applications. The finish on the panels and accessories is a Kynar 500 or Hylar 5000. Each is applied in a two-phase process which includes a corrosion inhibitor primer and baked-on high performance top coat that resists chalking, fading, and deterioration by chemical atmospheres.

The shakes are formed panels with a nominal width of 12 inches (305 mm) and a nominal length of 48 inches (1219mm). Each panel is formed into eight individual simulated shakes of varying widths, lengths, and thicknesses. The difference in length of each individual shake provides for a staggered butt effect duplicating the random overlap appearance of real cedar shake. The variation in butt thickness of the individual shakes on the panel produces a staggered three dimensional effect. The shake panel is produced with a low gloss coating. The Kynar 500 or Hylar 5000 low gloss finish provides the look of real wood to the shake product.

Accessories and caps are available for use with the Country Manor Shake. All accessories except for end caps and drip edge have a nominal 0.024 inch (0.6 mm) thickness. The end caps and drip edge have a nominal 0.019 inch (0.5 mm) thickness.

The vertical corner, mansard, and hip cap are adjustable and can be modified in both length and thickness permitting them

to be custom fit for better appearing installation. Ridge and hip caps are adjustable to fit roof pitches between 3:12 and 12:12, and mansard slopes between 8 and 18 degrees.

4.2 Roof Covering Fire Classification Testing

Country Manor Shakes were fire tested as roof covering assemblies under ASTM E 108 and demonstrated a Class A, B, or C roof covering rating when installed as described in Section 5.5.

5. INSTALLATION

5.1 General

The shakes may be used as either a sidewall, mansard, or roofing product. No copper, tin galvanized, terne, or other dissimilar metal parts shall be used in installing this roofing or siding. Aluminum shall be insulated from contact with existing masonry or metal by coating with bituminous paint or mastic and separate surfaces with a layer of building paper.

The manufacturer's published installation instructions and this report shall be strictly adhered to and a copy of these instructions shall be available at all times on the job site during installation.

The instructions within this report govern if there are any conflicts between the manufacturer's instructions and this report.

5.2 Materials

5.2.1 Nails: Aluminum or stainless steel having a minimum shank diameter of 0.090 inch (2 mm) and a minimum head diameter of 0.172 inch (4 mm). Panels and accessories are attached with plain or screw shank aluminum nails or stainless steel nails. Nails must penetrate through the roof sheathing or into a truss or rafter a minimum of 1/2 inch (13 mm) excluding point. Four nails per panel are required.

5.2.2 Sheathing: New roof installations require a minimum 15/32 inch (12 mm) plywood sheathing or equivalent. Pre-existing roofs shall have a minimum of 3/8 inch (10 mm) plywood or equivalent.

5.2.3 Underlayment: One layer of No. 30 felt paper laid parallel to the eaves overhanging all roof eaves by 1-1/2 inch with a minimum 2 inch (51 mm) top lap, and a 4 inch (102 mm) end lap, and nailed to the deck.

5.3 Roof Slopes

Country Manor Shakes shall not be installed on roofs with a slope less than 3:12.

Exception:

In areas subjected to snowfall, the minimum roof slope shall be 4:12.

5.4 Wind Uplift Assemblies

Country Manor Shakes shall not be used in areas where the design wind uplift pressure exceeds 30 psf (1436 Pa). The panels are attached to solid sheathing with 4 nails per panel.

5.5 Roof Covering Fire Classification Assemblies

5.5.1 Class A

Attained by applying Country Manor Shakes over one ply of ALCOA "Fire Fighter X-V6" slip sheet, 1/2 inch (13 mm) thick Type X gypsum sheathing or "Dens Deck" Overlayment Board. Suitable for installation over minimum 15/32 inch (12 mm) thick plywood decking or over existing wood shingle or wood shake roof.

5.5.2 Class B

Attained by applying Country Manor Shakes over two plies of Type G2 coated cap or base sheet, either Owens-Corning Fiberglass Corp's "No. 45 Roll Roofing" or Manville Building Material Corp's "GLASKAP". Suitable for installation over minimum 15/32 inch (12 mm) thick plywood decking or over existing wood shingle or wood shake roof.

5.5.3 Class B

Attained by applying Country Manor Shakes over three plies of Type G2 coated cap or base sheet, Manville Building Material Corp's "Glas Base". Suitable for installation over minimum 15/32 inch (12 mm) thick plywood decking or over an existing wood shingle or wood shake roof.

5.5.4 Class C

Attained by applying Country Manor Shakes over Type 30 asphalt organic felt. Suitable for installation over minimum 15/32 inch (12 mm) thick plywood decking or over existing wood shingle or wood shake roof.

6. SUBSTANTIATING DATA

- 6.1 Manufacturer's descriptive literature, specifications, and installation instructions.
- 6.2 Test report on roof covering fire classification under ASTM E 108, Underwriters Laboratories Inc., File R7440, Project 87NK5932, April 21, 1987, signed by William G. Marshal and L.A. Plencher.
- 6.3 Test report on wind uplift and penetration test for Country Manor Shakes, RADCO Resource, Applications, Design and Controls Inc., Report No. RAD-725, Project No. C-3307, issued September 1987, revised March 1988, signed by Valdimir Golod, Ph.D. and R.F. Tucker, P.E.
- 6.4 Test report on electrical continuity, wind and water, and uplift resistance, Construction Research Laboratory, Test Report No. 2199, March 25, 1974, signed by A.A. Saknovsky.

6.5 Engineering analysis of wind driven rain test, Vipin Tolat, P.E., Consulting Engineer, April 21, 1992, signed and sealed by Vipin N. Tolat, P.E.

7. CODE REFERENCES

Standard Building Code® - 1994 Edition with 1996 Revisions

- Section 103.7 Alternate Materials and Methods
- Section 1509 Roof Coverings
- Section 1509.1 General
- Section 1509.2 Fire Resistance Classification
- Section 1509.11 Metal Roofs
- App. F102.2.4 Roof Coverings in Fire District

CABO One and Two Family Dwelling Code - 1995 Edition

- Section 108 Alternate Materials and Systems
- Section 301 Design Criteria
- Section 901 Roof Coverings - General
- Section 902 Deck Preparation
- Section 905 Metal

8. COMMITTEE FINDINGS

The Committee on Evaluation in review of the data submitted finds that, in their opinion, the Country Manor Shake as described in this report conforms with or is a suitable alternate to that specified in the Standard Building Code® and the the CABO One and Two Family Dwelling Code or Supplements thereto.

9. LIMITATIONS

- 9.1 This Evaluation Report and the installation instructions, when required by the building official, shall be submitted at the time of permit application.
- 9.2 Only Perfection accessories and specified nails shall be used in the installation of the shakes on new construction or repairs and replacement.
- 9.3. The roof slopes shall not be less than those listed in Section 5.3
- 9.4 Wind uplift loads shall not exceed the allowable pressures given for the assemblies listed in Section 5.5.

10. IDENTIFICATION

Each package of Country Manor Shakes covered by this report shall be labeled with the manufacturer's name and/or trademark, the SBCCI Public Safety Testing and Evaluation Services Inc. Seal or initials (SBCCI PST & ESI), and the number of this report for field identification.

The phrase "Refer to this Evaluation Report for Code compliance" shall be printed in the manufacturer's literature and installation instructions referencing this Evaluation Report number.

11. PERIOD OF ISSUANCE

SEE CURRENT SBCCI PST & ESI EVALUATION REPORT LISTING FOR STATUS OF THIS EVALUATION REPORT.

For information on this report contact:
Woods McRoy, P.E.
205/599-9800

FINAL REPORT



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Perfection Corporation
8512 Industry Park Drive
Piqua OH 45356

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

Country Manor Shake

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 99-0811.06

Expires: 11/18/2002

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

Approved: 11/18/1999

PRODUCT CONTROL NOTICE OF ACCEPTANCE
ROOFING SYSTEM APPROVAL

Applicant:

Perfection: The Very Best in Building Products
8512 Industry Park Drive
Piqua, OH 45356

Product Control No: 99-0811.06

Approval Date: November 18, 1999

Expiration Date: November 18, 2002

Category: Prepared Roofing
Sub-Category: Panels
Type: Shake
Sub-Type: Aluminum

System Trade Name:

Country ManorShakes

Maximum Fire Classification

Deck Type

Min. 1 1/2" Plywood, or Wood Plank

Classification

See Limitation #1

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Country Manor Shakes	14 7/8" x 48 1/2"	PA 110	Corrosion resistant imitation shake panel press-formed from .019 inch thick aluminum.

TRADE NAMES OF PRODUCTS MANUFACTURED BY OTHERS

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
#30 Felt	N/A	ASTM D 226 Type II	Saturated organic felt to be used as a nailed anchor sheet.	Generic
Fire Barrier ("Roctex")	Min. 5/8" thick	N/A	Fire barrier overlayment for insulation over plywood deck prior to insulation of metal panels. For Class 'A' fire rating.	Partek Insulations, Inc.

**PERFECTION:
THE VERY BEST IN BUILDING PRODUCTS**

Product Control No.: 99-0811.06

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
Flashing Cement	Various	ASTM D 4586	Cut back, asphalt modified adhesive for flashing attachment.	generic
Roofing Nails (Underlayment attachment)	Min. 12 ga. with 3/8" head..	PA 114' Appendix E	Annular ring shank, hot dipped, electro or mechanically galv. Roofing nails for use in underlayment attachment.	generic
Roofing Nails (Shingle/Shake attachment)	Minimum shank diameter .090" and a head diameter of .215".	PA 114	Aluminum or stainless steel standard ring or screw shank nails for shake and accessory attachment.	generic
Sealant	N/A	N/A	Sealant for use at foam closure strip:	generic
Tin Caps	Min. 32 ga. Min. 1 5/8" o.d. Max. 2" o.d.	SFBC 3403.4(b)(1)(bb)	Corrosion resistant circular disc for use in underlayment attachment	generic
Valley flashing	Various	SFBC 3408.1	Corrosion resistant metal or compsite material for use in valleys.	generic
Silicone Sealant	10 tubes/carton		Silicone Sealant	generic

EVIDENCE SUBMITTED

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Center for Applied Engineering	PA-100	Wind driven raininfiltration resistance	11/25/96



Frank Zuloaga, RRC
Roofing Product Control Examiner

SYSTEM APPLICATION

Slope Range: 3":12" to <4":12"

Underlayment shall be applied in accordance with the South Florida Building Code Chapter 34: All underlayments applied at a roof pitch less than 4":12" shall be applied in a double layer of one of the following: ASTM D 226, type I or II, or ASTM D 2626 coated base sheet, or ASTM D 4869 applied in a shingle fashion with a 19" overlap or by application of a single layer of ASTM D 226, type II organic felt with a 6" overlap, and 6" head laps. Underlayment shall be installed with minimum 12 ga. x 1 1/4" corrosion resistant roofing nails and minimum 32 ga. x 1 3/8" diameter tin caps, spaced 12" o.c. in a grid pattern in the field and 6" o.c. at the laps. Nails shall penetrate through the sheathing or wood plank a minimum of 3/16" or penetrate a 1" or greater thickness of lumber a minimum of 1".

Slope Range: 4":12" and Greater

Underlayment shall be applied in accordance with the South Florida Building Code Chapter 34. Two plies of minimum ASTM D 226, Type I felt applied in a shingle fashion with a 19" overlap, or a single layer of one of the following: ASTM D 226 Type II felt, or ASTM D 2626 coated base sheet, or ASTM D 4869 applied in a shingle fashion with a 6" overlap, and 6" head lap. Underlayment shall be installed with minimum 12 ga. x 1 1/4" corrosion resistant roofing nails and minimum 32 ga. x 1 3/8" diameter tin caps, spaced 12" o.c. in a grid pattern in the field and 6" o.c. at the laps. Nails shall penetrate through the sheathing or wood plank a minimum of 3/16" or penetrate a 1" or greater thickness of lumber a minimum of 1".

Note: All flashing cement used shall be ASTM D 4586 asbestos-free flashing cement. All products shall have Miami-Dade Component Approval.

Edge Metal:

Product and installation shall be in compliance with the South Florida Building Code Chapter 34: Sections 3408.2 and 3408.3. Aluminum alloy metal edge minimum .025" 2" x 2" galvanized or other approved corrosion resistant material nailed over top of the underlayment at 4" o.c., with minimum 12 ga. x 1 1/4" corrosion resistant annular ring shank roofing nails at all perimeters. The nails shall be manufactured from similar and compatible material to the termination profile. The ends of adjoining approved drip edge shall be notched and bent around the corner. Straight lengths of approved drip edge shall be overlapped not less than 3". See Dade County Protocol RAS 111.

Note: All intersections, eaves, rakes, valleys, gable ends, and starter course shall be set in a 8" wide strip of ASTM D 4586 flashing cement.

Valleys:

Valleys may be applied in an open fashion. Install a 36" wide sheet of ASTM D 249 mineral surfaced rolled roofing; or ASTM D 224 smooth roll roofing shall be installed over the underlayment at all valleys, centered in the valley. The roll roofing shall be nailed 6" o.c. with minimum 12 ga. x 1 1/4" roofing nails at each edge. Nails shall penetrate the sheathing or wood plank a minimum of 3/16" or penetrate a 1" or greater thickness of lumber a minimum of 1". Endlaps shall be 12" and adhered with hot asphalt or ASTM D 4586 flashing cement. In open valley applications a minimum 16" x .025" thick aluminum or other corrosion resistant material shall be installed. Set valley in a bed of ASTM D 4586 flashing cement, applied in two 4" wide strips at each exterior edge, with a maximum thickness of 1/8". Fasten valley metal with minimum 12 ga. x 1 1/4" galvanized annular ring shank roofing nails 12" o.c., 1" in from each exterior edge. Nails shall penetrate the sheathing or wood plank a minimum of 3/16" or penetrate a 1" or greater

**PERFECTION:
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Product Control No.: 99-0811.06

thickness of lumber a minimum of 1". Strip in the two exterior edges with flashing cement and approved reinforcement. Overlaps shall be 12" minimum and adhered with ASTM D 4586 flashing cement.

Fire Barrier Board:

Install minimum ¼" thick Georgia Pacific Dens Deck" or one layer of Partek "Roctex" or "Rocroof" in compliance with manufacturer's installation instructions.


Flashing:

Roof planes that butt against vertical walls shall be flashed with matching pre-formed aluminum sidewall flashing. If the vertical wall extends to the eave, install sidewall flashing at the eave so it extends past the drip edge. The starter strip should be notched to allow the sidewall flashing to rest on top of the eave drip edge. Install the sidewall flashing the entire length of the vertical wall. Fasten the sidewall flashing to the roof deck with pre-formed aluminum nail clips and insert flashing under the vertical wall covering or, with masonry and stucco walls, cut a ½" deep slot into the sidewall and bend the sidewall flashing for insertion into the slot. Sidewall flashing may also be sealed to masonry or stucco walls using a non-corrosive termination bar. Seal this intersection with matching butyl sealant. Cut the panels to fit inside the flashing and fasten the panels to the roof deck per standard procedures. Do not allow the panel fasteners to penetrate to sidewall flashing.

If the vertical wall does not extend to the eave, install courses of panels up from the eave until they intersect the vertical wall. Cut the panels to fit around the vertical wall. Before installing another course of panels, form a matching aluminum flashing to extend at least 6" down past the top edge of the upper most course of panels. This flashing should extend up the front and around the corner of the vertical wall. Fasten the flashing in place. Install sidewall flashing to extend at least 3" past the lower edge of the vertical wall. Fasten sidewall flashing in place and install panels per standard procedures.

Soil Stacks and Vent Pipes:

Apply panels up to the vent pipe. Install an aluminum pipe flashing that extends over the top lock of the lower course of panels. The flashing should fit snugly around the pipe and it should extend 6" up on the roof deck. Place the flange over the pipe to lay flat on the roof and set in approved flashing cement. After the flashing is in place, resume panel application. Cut panels in successive courses to fit around the pipe. The side and upper panels shall overlap the flange. Apply color-matched butyl sealant around the cuts in the panels and the vent pipe. Do not drive fasteners close to the pipe. For ventilator and exhaust stacks, follow the same procedure.



Frank Zuloaga, RRC
Roofing Product Control Examiner

Chimneys:

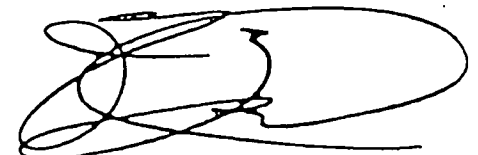
Install underlayment to extend a minimum 3" up sides of chimney and seal using butyl sealant. Install roof panels up from the eave until the top lock falls less than 6" from the face of the chimney. If the top lock falls more than 6" from the face of the chimney, install one more course of panels and cut the panels to fit around the chimney. Form a matching aluminum flashing for the low side of the chimney so it covers the top lock or cut edge of the installed panels. This flashing should extend at least 6" down on the panels, 3" past the sides of the chimney and up the chimney, covering the underlayment and any existing flashing. Bend the top of the flashing and insert it into a 1/2" deep cut in the masonry which is made parallel to the roof deck. Apply butyl sealant at the masonry flashing intersection. Install sidewall flashing to extend at least 3" past the lower edge and 3" past the high wall of the chimney. Trim and bend the flashing around the upper and lower sides of the chimney. Fasten the sidewall flashing to the roof deck with pre-formed aluminum nail clips. Above the sidewall flashing, install a counter flashing in masonry cut and seal. Form a back flashing extending up the roof at least 14" and up the high side of the chimney at least 4". To divert water, allow an additional 3" of flashing to extend past both sides of the chimney. Fasten back flashing to the sidewall flashing and roof deck. Apply sealant at the masonry flashing intersection. Install panels to fit inside the sidewall flashing and across the top of the chimney.

Metal Panels and Accessories:

Apply panels from eave to ridge. Panels may be field bent for cosmetic purposes. Full-length panels shall be attached with four (4) aluminum or stainless steel nails. Apply the first nail to the far right end of the panel. Make sure the panel is positioned and nail the left end. Then equally space two additional nails. On shorter pieces, one (1) nail per running foot of panel is required with a minimum of (3) nails per panel. All remaining panels in this course shall be nailed and installed by engaging vertical locks.

Where panels intersect with a valley, panels shall be cut at a diagonal and folded over and locked to the standing rib of the valley.

Note: The two round die-set holes on each panel are not for nailing.



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Hips and Ridges:


Apply pre-formed hip and ridge caps. Lay hip and ridge away from prevailing wind. Insure all fasteners are covered by succeeding caps.

Ventilation

Install any Miami-Dade County approved ventilation system in accordance with the manufacturer's instructions and the applicable Dade County Product Control Approval

Minimum Slope: 3":12"

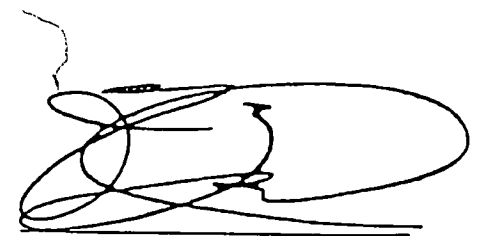
**Maximum
Fire Classification:** Class 'A' (See System Limitation #9)




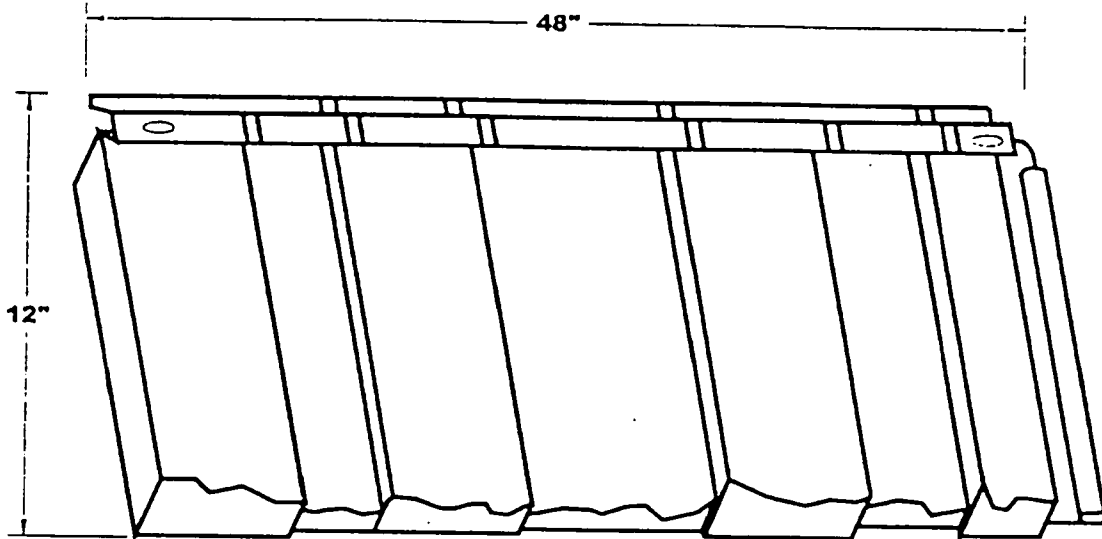
Frank Zuloaga, RRC
Roofing Product Control Examiner

LIMITATIONS:

1. Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Metal shakes or shingles may be applied as a recover over a single layer of asphalt shingles providing that the deck is solid sheathed, the existing Prepared Roof Covering is in compliance with provisions of this Code and entire metal shingle or shake system is applied as set forth in this Product Control Approval.
3. Metal shingle or shake systems shall extend beyond the roof sheathing not more than 1".
4. Metal shingle or shakes shall be installed in compliance with the attachment criteria established in this Product Control Approval, but with not less than four nails per full panel and not less than three nails per partial panel. Nails shall be the type and length detailed in the attachment criteria of this Product Control Approval.
5. System installation shall be in compliance with the system specifications outlined in this Product Control Approval
6. All panels shall bear the imprint or identifiable marking of the manufacturer's name or logo for identification in the field.
7. Applications for roofing permits shall include a completed Section II of the Uniform Building Permit, a copy of Pefection's current specifications and detailed and a copy of this Product Control Approval. Reference shall be made to appropriate data for the required fire rating.
8. All intersections shall be flashed in metal as provided in Section 3408 of the South Florida Building Code.
9. For a Class 'A' fire rating, minimum 1/4" Georgia Pacific "Dens Deck" or one layer of Partek,, "Roctex" or "Rocroof" is required.
10. For re-roof applications, 15/32" plywood is an acceptable substrate.
11. For re-roof applications, the substrate shall comply with the provisions set fourth in Section 3401.10 of the South Florida Building Code.
12. A portion of each succeeding course of shakes or shingles may be removed to provide a random appearance.



DETAIL A



Frank Zuloaga, RRC
Roofing Product Control Examiner

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Product Control No.: 99-0811.06

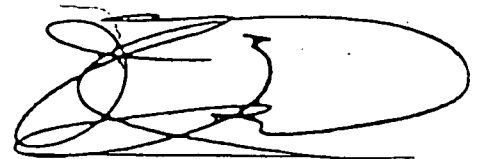
Perfection: The Very Best in Building Products
8512 Industry Park Drive
Piqua, OH 45356

ACCEPTANCE NO: 99-0811.06
APPROVED: November 18, 1999
EXPIRES: November 18, 2002

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 1 through 10.

END OF THIS ACCEPTANCE



Frank Zuloaga, RRC
Roofing Product Control Examiner

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri June 14, 2002; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5609	Hansen	Final Docks	Passed	
(10)	32 N. Sewalls Pt. Rd Blue Water Marine			INSPECTOR: [Signature]
5811	Davis	DRY END		will call re
(5)	5 Palm Rd Akuma-tile	Plywood Inspect		Fr or (No) INSPECTOR: [Signature]
5786	McGee	Shed	Passed	
(4)	2 Palm Road C/B			INSPECTOR: [Signature]
NO #	Bauer	Temp Pole	Passed	FPL 12 ¹⁵
(1)	10 Copaire Rd Seagate Bldg.			INSPECTOR: [Signature]
5790	Pampo	Steel in ground	Passed	(wash out!)
(11)	5 Paloma Way Flamingo Pools			INSPECTOR: [Signature]
5631	Hart (HART)	Roof Sheeting	Passed	
(8)	61 S. River Rd Windchip Construction	(Partial last part of house)		INSPECTOR: [Signature]
5497	Foglia	Final Bldg.	Passed	Drainage Pt (neighbor)
(6)	105 ABBIE CT Foglia			INSPECTOR: [Signature]

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(561) 287-2455

CORRECTION NOTICE

ADDRESS: 5 Palau Rd.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

Shocking / Dry in

Painted :

Need to repair decking
4" oc Scaus, rest 6" oc

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/17/2

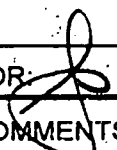
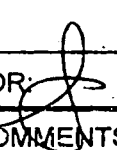


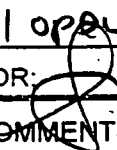
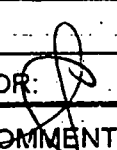
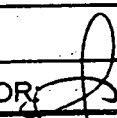
[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri June 17, 2002; Page of .








PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5822	Dov's	Dry in Plywood	Failed	
5782	5 Palm Rd Alumatile	W/air Soft		INSPECTOR: 
5824	Granfield	Steel	Passed	
2	15 W. High Pt. Rd Schiller		Failed	INSPECTOR: 
TR3E	FABINSKY 10 Mandalay Rd	3 Cabbage Palms	Passed	INSPECTOR: 
5761	Lowell	Tie Beam	Passed	
1	7 W. High Pt. Rd FANIERO			INSPECTOR: 
5682	WANDER 24 SIMARA ST. UNITED. FENCE.	FINAL FENCE. 335 2627.	Failed	no permit also: 5732 still open INSPECTOR: 
5828	WALKER 21 W. HIGH POINT. SCOTT	FOOTING	Passed	INSPECTOR: 
5567	WEBER 4 MANDALAY. BYFORD.	CO. subj. height of	Passed Bldg. Depos.	Health Doc to be found INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~Thurs~~, 200~~2~~¹ Page of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5788	HART.	POOL PLUMBING.	Passed	
(4)	61 S. RIVER RD. JACKSON POOL	(PAM) 561-746-4910		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	128 N. Sewall Pt. Rd 1 BRAZ Pepper			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	JONES	Tree rem.	Passed	
(3)	17419 Palmetto Dr. Harris Land Dev.			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5713	HOOVER	Final Additions		
(2)	175 S. Sewall Pt Rd O/B	Electrical rough	Passed	INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5722	DAMS.	SEWAGE	Passed	
(1)	5 PALM RD. ALUMA TILE			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5380	GIFFORD.	POOL FINAL	Failed	Need safety syst.
(4)	85 N. SEWALL PT RD. A+G CONCRETE POOLS.	TRACY. 878 7752		NEEDS TO CHECK RESULTS INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TR	Thurlow	Tree rem.	Passed	
(5)	18 Banyan Rd. O/B			INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri July 3, 2007; Page of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5731	Fenaro 3601 SE. Ocean Blvd McCulley + Gulick	Altn Fencel	Passal	Call# 486-6171 - P/s call BY going INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	Nancy - (see note) 5 Mandalay	T/R	Passal	New Roots! - INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5498	NOHE JL, Julie 6 N Ridge View Harbor Bay Pools	Final - Pool	Passal	P/s call BY - 220-1821 INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5579	NOHE JL, Julie 6 N Ridge View Harbor Bay Pools	Final - Deck + fence	Passal	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5822	Davis 5 Palm Rd Aluma tile	FINAL-ROOF	Passal	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5631	HART 61 S. RIVER ROAD WINCHIP.	ROOF TIN TAP.	Partial	(soft valley!) INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5689	Henderson 24 Island Rd. B. Ford	Roof sheathing	Passal partial	partial porch only to rescrew INSPECTOR: <i>[Signature]</i>

OTHER: 15 w/ High Pavers + Breezeway (Pool = O.K.) (1) ✓
 2x6 T+G 4" oc rafters 14" screw ?? (2) ?
 De Garna = clean up + barrier 220 8505 (3)
 JMC el pole + Sewalls way (4) ✓

9776

AC CHANGEOUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9776	DATE ISSUED:	MAY 2, 2011
SCOPE OF WORK:	AC CHANGEOUT		
CONDITIONS :			
CONTRACTOR:	JENSEN BEACH AC		
PARCEL CONTROL NUMBER:	133841005-000-001403	SUBDIVISION	PALM ROW - LOT 14
CONSTRUCTION ADDRESS:	5 PALM RD		
OWNER NAME:	DAVIS		
QUALIFIER:	GREG HALL	CONTACT PHONE NUMBER:	334-3200

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

9776

Date: 04-29-2011 BUILDING PERMIT APPLICATION Permit Number: 9776

OWNER/TITLEHOLDER NAME: LOUIE DAVIS Phone (Day) 280-9495 (Fax)

Job Site Address: 5 PALM RD. City: STUART State: FL Zip: 34990

Legal Description: PALM ROW REVISED & AMENDED LOT 14 Parcel Control Number: 13-38-41-005-000-0014-0-3

Owner Address (if different): 5 PALM RD. City: STUART State: FL Zip: 34990

Scope of work (please be specific): AC Changeout

WILL OWNER BE THE CONTRACTOR? YES NO
Has a Zoning Variance ever been granted on this property? YES (YEAR) NO

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 5,990.00
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$

CONTRACTOR/Company: JENSEN BEACH A/C Phone: 334-3200 Fax: 334-3201

Street: 940 NE DIXIE HWY City: JENSEN BEACH State: FL Zip: 34957

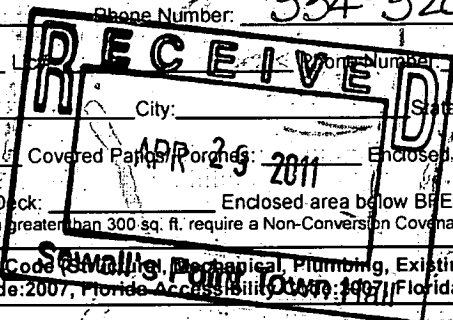
State License Number: CA014451 OR: Municipality: License Number:

LOCAL CONTACT: Greg Hall Phone Number: 334-3200

DESIGN PROFESSIONAL: Street: City: State: Zip:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Porches: Enclosed Storage:

Carpport: Total under Roof Elevated Deck Enclosed area below BFE



* Enclosed non-habitable areas below the Base Flood Elevation greater than 300-sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007

National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007 Florida Fire Prevention Code 2007

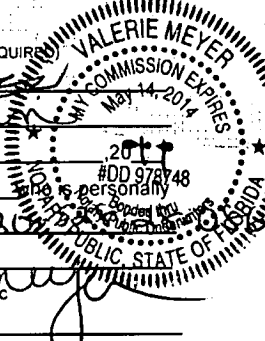
NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

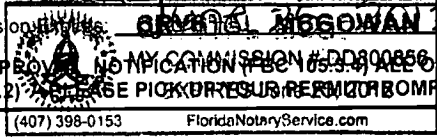
APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
LOUIE H. DAVIS
State of Florida, County of: MARTIN
This the 29 day of April 2011
by LOUIE H. DAVIS
known to me or produced by Valerie Meyer
as identification. Valerie Meyer
My Commission Expires: May 14, 2014

CONTRACTOR SIGNATURE: (required)
Greg Hall
On State of Florida, County of: MARTIN
This the 29th day of April 2011
by Greg Hall
known to me or produced by Valerie Meyer
as identification. Valerie Meyer
My Commission Expires: May 14, 2014



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2)



(407) 398-0153 FloridaNotaryService.com

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 4/29/2011 11:35:10 AM EDT

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-005-000-00140-3	27821	5 PALM RD, SEWALL'S POINT	\$255,650	4/26/2011

Owner Information

Owner(Current)	DAVIS JACQUELINE T (TR) DAVIS LOUIE H (TR)
Owner/Mail Address	5 PALM RD STUART FL 34996-6306
Sale Date	04/19/1995
Document Number	
Document Reference No.	1118 1601
Sale Price	100

Location/Description

Account #	27821	Map Page No.	SP-05
Tax District	2200	Legal Description	PALM ROW REVISED & AMENDED LOT 14
Parcel Address	5 PALM RD, SEWALL'S POINT		
Acres	.3460		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine

Assessment Information

Market Land Value	\$178,000
Market Improvement Value	\$77,650
Market Total Value	\$255,650



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

A/C PERMIT APPLICATION

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

- 1 Copy Completed permit application
- 2 Copies of the following:
 - a. Manufacturer's data sheet to include make, model, seer/eer, tonnage, electrical requirements, refrigerant piping size, and AHRI listing page.
 - b. Replacing ductwork requires Manual D layout plan with grille sizes
 - c. Replacing entire system including ductwork requires Manual J and Energy calculations.
 - d. Condenser tie down and Air Handler mounting details
 - e. A/C change out affidavit

COMMERCIAL APPLICATIONS ADDITIONALLY REQUIRE

- n/a 2 Copies A/C Stand NOA or Engineers letter to retrofit to existing mounts.
- n/a Smoke Detectors in supply duct for units over 2000 CFM



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

Air Conditioning Change out Affidavit

Residential Commercial _____
 Package Unit ___ Yes No (Use Condenser side of form below for equipment listing)
 Duct Replacement ___ Yes No - Refrigerant line replacement ___ Yes No
 Flushing Existing Refrigerant lines Yes ___ No - Adding Refrigerant Drier Yes ___ No
 Rooftop A/C Stand Installation ___ Yes No - Curb Installation ___ Yes No
 Smoke Detector in Supply (over 2000 CFM) ___ Yes No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: <u>RHEEM</u> Model# <u>RHPLHM3026</u>	Condenser: Mfg: <u>RHEEM</u> Model# <u>RPRL-030AEC</u>
Volts <u>230</u> CFM's _____ Heat Strip <u>Ø</u> Kw _____	Volts <u>230</u> SEER/EER <u>11.5</u> BTU's <u>35,400</u>
Min. Circuit Amps _____ Wire gauge _____	Min. Circuit Amps <u>23</u> Wire gauge <u>#10</u>
Max. Breaker size _____ Min. Breaker size _____	Max. Breaker size <u>35</u> Min. Breaker size <u>30</u>
Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>
Refrigerant type <u>R410A</u>	Refrigerant type <u>R410A</u>
Location: Existing <input checked="" type="checkbox"/> New _____	Location: Existing <input checked="" type="checkbox"/> New _____
Attic/Garage/Closet (specify) <u>Garage</u>	Left/Right/Rear/Front/Roof <u>West side</u>
Access: <u>Garage</u>	Condensate Location <u>West Side</u>

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: <u>Trane</u> Model# <u>TXC030C</u>	Condenser: Mfg: <u>Trane</u> Model# <u>TXC030C</u>
Volts <u>230</u> CFM's _____ Heat Strip <u>Ø</u> Kw _____	Volts <u>230</u> SEER/EER <u>12</u> BTU's <u>n/a</u>
Min. Circuit Amps _____ Wire gauge _____	Min. Circuit Amps <u>23</u> Wire gauge <u>#10</u>
Max. Breaker size _____ Min. Breaker size _____	Max. Breaker size <u>35</u> Min. Breaker size <u>30</u>
Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>	Ref. line size: Liquid <u>3/8</u> Suction <u>3/4</u>
Refrigerant type <u>R22</u>	Refrigerant type <u>R22</u>
Location: Ext. <input checked="" type="checkbox"/> New _____	Location: Ext. <input checked="" type="checkbox"/> New _____
Attic/Garage/Closet (specify) <u>Garage</u>	Left/Right/Rear/Front/Roof <u>West side</u>
Access: <u>Garage</u>	Condensate Location <u>West Side</u>

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

Signature [Handwritten Signature]

Date 04-22-2011



This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2011.

Certificate of Product Ratings

AHRI Certified Reference Number: 4050004

Date: 4/29/2011

Product: Split System: Heat Pump with Remote Outdoor Unit-Air-Source

Outdoor Unit Model Number: RPRL-036JEC

Indoor Unit Model Number: RHPL-HM3621+RCSL-H*3621

Manufacturer: RHEEM MANUFACTURING COMPANY

Trade/Brand name: RHEEM RPRL SERIES

Manufacturer responsible for the rating of this system combination is RHEEM MANUFACTURING COMPANY

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	35400
EER Rating (Cooling):	12.75
SEER Rating (Cooling):	16.50
Heating Capacity(Btuh) @ 47 F:	32000
Region IV HSPF Rating (Heating):	9.40
Heating Capacity(Btuh) @ 17 F:	20000

* Ratings followed by an asterisk (*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at www.ahridirectory.org.

TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at www.ahridirectory.org, click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



Air-Conditioning, Heating, and Refrigeration Institute

©2011 Air-Conditioning, Heating, and Refrigeration Institute

CERTIFICATE NO.: 129485527634959680

HEAT PUMPS

Comfort Control² System

Equipped with Comfort Control² System™

- Serial communication enabled
- Increased system reliability and efficiency
- 37+ on-board diagnostic and operating codes
- *Active Protection*™ with homeowner "Call for Service" alert
- Exclusive Design with dual 7-segment LED display

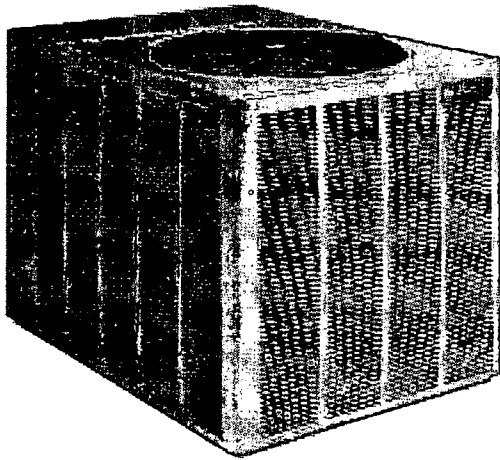
R-410A

RPRL- JEC

Two-Stage Cooling/Three Stage Heating
Efficiencies ranging up to 17 SEER/13 EER/9.8 HSPF
in certain matched systems.

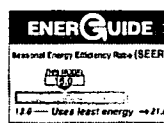
Four Models

Nominal Sizes 2, 3, 4 & 5 Tons
[7.03, 10.5, 14.07 & 17.6 kW]



The Rheem *Prestige Series*™ High Efficiency Two-Stage RPRL-JEC Heat Pump can provide year-round heating and cooling comfort. The Rheem RHPL air-handler, equipped with auxiliary heating elements for supplementary heat was designed especially for use with the *Prestige Series*™ heat pump. Together they deliver 3 stages of heat and 2 stages of cooling for precise temperature control and optimal energy efficiency.

- Industry's lowest profile design: 33" maximum height
- The *Comfort Control² System*™ provides over 37+ on-board diagnostics and fault history codes for condensing units with single-phase compressors by detecting system and electrical problems. The integrated diagnostics with *Active Protection*™ prevents compressor operation when potentially harmful conditions are detected. Sends "Call for Service" alert notification to the thermostat to alert the homeowner of required service.
- Serial Communication Enhanced – When installed with a Serial Communicating Air Handler (RHPL-HM****JC) and user interface control (RHC-TST501CMMS) Series 500 thermostat this unit offers 4 or 2 wire installation, auto-configuration, and diagnostic messaging with full communicating capability.
- Legacy Enabled – Unit can be conventionally wired using 24VAC with non-communicating Rheem air-handlers or furnaces with non-communicating thermostat.
- Features a 10-year conditional unit replacement warranty and 10-year parts warranty when properly installed with a new Rheem air handler or Rheem indoor coil with a Rheem gas furnace. See product warranty card for additional information.
- Reliable Two-Stage operation for precise temperature control and On-Demand dehumidification. When matched with ECM gas furnace or air-handler, the system adjusts airflow to help control humidity for unsurpassed comfort in the cooling mode.
- All controls are accessible by removing one service panel. Removable top grille provides access to the condenser fan motor and condenser coil.
- Attractive, louvered wrap-around jacket protects the coil from yard hazards and weather extremes. Top grille is steel reinforced for extra strength. Cabinet is powder painted for all-weather protection.
- For quiet operation and improved efficiency, models feature an ECM two-speed condenser fan motor with a 3-blade outdoor fan.
- All models meet or exceed a 1000-hour salt spray test per ASTM B117 Standard Practice for Operating Salt Spray Testing Apparatus.
- Dual Fuel capable with select thermostats.

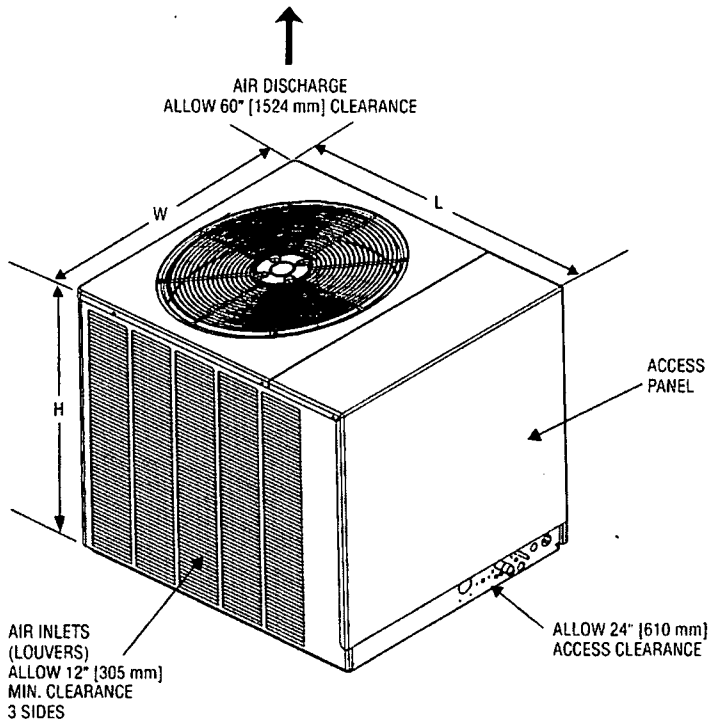


"Proper sizing and installation of equipment is critical to achieve optimal performance. Split system air conditioners and heat pumps must be matched with appropriate coil components to meet ENERGY STAR criteria. Ask your Contractor for details or visit www.energystar.gov."

Electrical and Physical Data

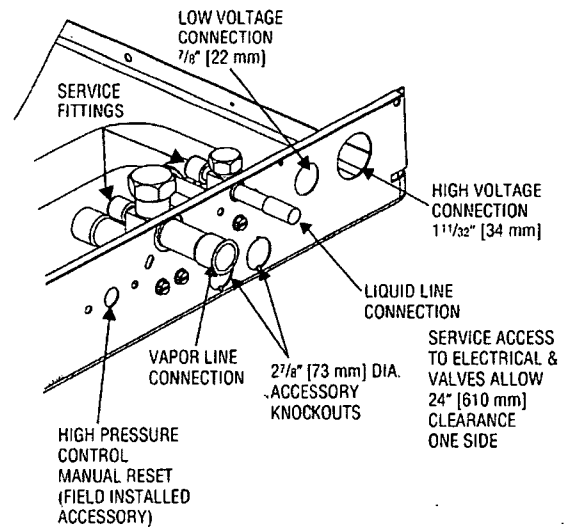
Model Number RPRL-	ELECTRICAL							PHYSICAL					
	Phase Frequency (Hz) Voltage (Volts)	Compressor		Fan Motor Full Load Amperes (FLA)	Minimum Circuit Capacity Amperes	Fuse or HACR Circuit Breaker		Outdoor Coil			Refrig. Per Circuit Oz. [g]	Weight	
		Rated Load Amperes (RLA)	Locked Rotor Amperes (LRA)			Minimum Amperes	Maximum Amperes	Face Area Sq. Ft. [m ²]	No. Rows	CFM [L/s]		Net Lbs. [kg]	Shipping Lbs. [kg]
Rev. 2/24/2010													
024JEC	1-60-208/230	10.3/10.3	52	1.0	14/14	20/20	20/20	23 [2.14]	1	2300/2800 (1085/1321)	152 (4309)	257 (116.6)	264 (119.8)
036JEC	1-60-208/230	16.7/16.7	82	1.7	23/23	30/30	35/35	22.22 [2.06]	2	2800/3700 (1321/1746)	245 (6946)	311 (141.1)	315 (142.9)
048JEC	1-60-208/230	21.2/21.2	96	2.0	29/29	40/40	45/45	22.22 [2.06]	2	2800/3500 (1321/1652)	256 (7258)	300 (136.1)	322 (146.1)
060JEC	1-60-208/230	25.6/25.6	118	2.2	35/35	45/45	50/50	22.22 [2.06]	2	3800 (1793)	284 (8051)	316 (143.3)	343 (155.6)

Unit Dimensions



Model Number RPRL-	Height "H" (Inches) [mm]	Length "L" (Inches) [mm]	Width "W" (Inches) [mm]
024JEC/036JEC/ 048JEC/060JEC	33 [838]	44 3/8 [1127]	31 1/2 [800]

[] Designates Metric Conversions



Heat Pump Refrigerant Line Size Information

R-410A System Capacity Model	Line Size Connection Size (Inch I.D.) [mm]	Line Size (Inch O.D.) [mm]	Liquid Line Size Outdoor Unit Above or Below Indoor Coil (Heat Pump Only)					
			Total Equivalent Length—Feet [m]					
			25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [38.10]	150 [45.72]
			Maximum Vertical Separation—Feet [m]					
-024	3/8" [9.53]	1/4" [6.35]*	25 [7.62]	N/A	N/A	N/A	N/A	N/A
		5/16" [7.93]	25 [7.62]	36 [10.97]	33 [10.06]	28 [8.53]	22 [6.71]	16 [4.88]
		3/8" [9.52]	25 [7.62]	41 [12.50]	40 [12.19]	39 [11.89]	37 [11.28]	36 [10.97]
-036	3/8" [9.53]	5/16" [7.93]*	25 [7.62]	22 [6.71]	9 [2.74]	N/A	N/A	N/A
		3/8" [9.52]	25 [7.62]	39 [11.89]	34 [10.36]	30 [9.14]	25 [7.62]	21 [6.40]
		1/2" [12.70]	25 [7.62]	46 [14.02]	45 [13.72]	44 [13.41]	43 [13.11]	42 [12.80]
-048	3/8" [9.53]	5/16" [7.93]*	25 [7.62]	17 [5.18]	N/A	N/A	N/A	N/A
		3/8" [9.52]	25 [7.62]	47 [14.33]	39 [11.89]	31 [9.45]	23 [7.01]	16 [4.88]
		1/2" [12.70]	25 [7.62]	50 [15.24]	58 [17.68]	56 [17.07]	54 [16.46]	53 [16.15]
-060	3/8" [9.53]	3/8" [9.52]*	25 [7.62]	18 [5.49]	11 [3.35]	N/A	N/A	N/A
		1/2" [12.70]	25 [7.62]	29 [8.84]	27 [8.23]	26 [7.93]	25 [7.62]	23 [7.01]

NOTES: N/A = Application not recommended.

*Standard line size.

SUCTION LINE SIZE - OUTDOOR UNIT ABOVE INDOOR COIL							
R-410A System Capacity Model	Line Size Connection Size (Inch I.D.) [mm]	Line Size (Inch O.D.) [mm]	Suction Line Size				
			Outdoor Unit ABOVE Indoor Coil (Heat Pumps)				
			Total Equivalent Length - Feet [m]				
			25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [45.72]
-024	3/4" [19.05]	5/8" [15.88]	Same as Liquid Line Size Table				
		3/4" [19.05]*	NA				
		7/8" [22.23]	NA				
-036	3/4" [19.05]	5/8" [15.88]	Same as Liquid Line Size Table				
		3/4" [19.05]*	NA				
		7/8" [22.23]	NA				
-048	7/8" [22.22]	5/8" [15.88]	Same as Liquid Line Size Table				
		3/4" [19.05]	Same as Liquid Line Size Table				
		7/8" [22.23]*	Same as Liquid Line Size Table				
-060	7/8" [22.22]	3/4" [19.05]	Same as Liquid Line Size Table				
		7/8" [22.23]*	Same as Liquid Line Size Table				
		1-1/8" [28.58]	NA				

NOTES: Using suction line larger than shown in chart will result in poor oil return and is not recommended. N/A = Application not recommended.

*Standard line size.

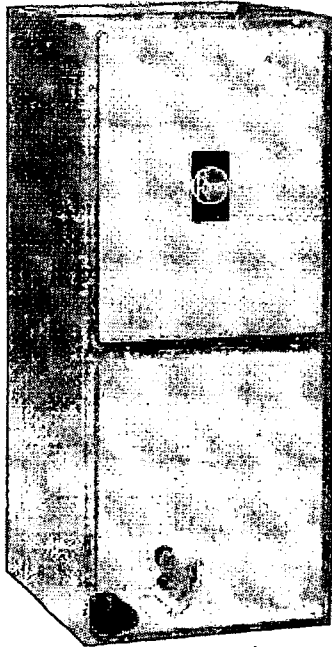
SUCTION LINE SIZE - OUTDOOR UNIT BELOW INDOOR COIL							
R-410A System Capacity Model	Line Size Connection Size (Inch I.D.) [mm]	Line Size (Inch O.D.) [mm]	Suction Line Size				
			Outdoor Unit BELOW Indoor Coil (Heat Pumps)				
			Total Equivalent Length - Feet [m]				
			25 [7.62]	50 [15.24]	75 [22.86]	100 [30.48]	125 [45.72]
-024	3/4" [19.05]	5/8" [15.88]	Same as Liquid Line Size Table				
		3/4" [19.05]*	Same as Liquid Line Size Table			N/A	
		7/8" [22.23]	N/A				
-030	3/4" [19.05]	5/8" [15.88]	Same as Liquid Line Size Table				
		3/4" [19.05]*	Same as Liquid Line Size Table				
		7/8" [22.23]	N/A				
-048	7/8" [22.23]	5/8" [15.88]	Same as Liquid Line Size Table				
		3/4" [19.05]	Same as Liquid Line Size Table				
		7/8" [22.23]*	Same as Liquid Line Size Table				
-060	7/8" [22.23]	3/4" [19.05]	Same as Liquid Line Size Table				
		7/8" [22.23]*	Same as Liquid Line Size Table				
		1-1/8" [28.58]	Same as Liquid Line Size Table				

NOTES: Using suction line larger than shown in chart will result in poor oil return and is not recommended. N/A = Application not recommended.

*Standard line size.

[] Designates Metric Conversions

AIR HANDLERS



AIR HANDLERS

RHPL- SERIES – 16 SEER

featuring Earth-Friendly

R-410A Refrigerant

R-410A

Features

- Includes an energy efficient GE[®] ECM[®] Motor, which in most applications, enhances the SEER rating of the outdoor unit. It also slowly ramps its speed up for quiet operation and enhanced customer satisfaction.
- Versatile 4-way convertible design for upflow, downflow, horizontal left and horizontal right applications.
- Nominal airflow up to 1.0" external static pressure.
- Factory-installed high efficiency indoor coil.
- Sturdy cabinet construction with 1.0 inch [25.4 mm] of foil faced insulation for excellent sound and insulating characteristics.
- Field-installed auxiliary electric heater kits provide exact heat for indoor comfort. Kits include circuit breakers which meet U.L. and cUL requirements for service disconnect.
- Dip switch settings for selectable, customized cooling airflow over a wide variety of applications.
- On-demand dehumidification terminal that adjusts airflow to help control humidity for unsurpassed comfort in cooling mode.
- External filter required.



Blower Motor Electrical Data

Nominal Cooling Capacity Tons	HP [W]	Voltage	Phase	Hertz	RPM	Circuit Amps.	Minimum Circuit Ampacity	Maximum Circuit Protector
2	1/3 [249]	208/230	1	60	300-1100	1.7	4.0	15
3	1/2 [373]	208/230	1	60	300-1100	3.4	6.0	15
4	3/4 [559]	208/230	1	60	300-1100	4.9	9.0	15
5	3/4 [559]	208/230	1	60	300-1100	4.9	9.0	15

Electric Heat Electrical Data

Installation of the UL Listed original equipment manufacturer provided heater kits listed in the table below is recommended for all auxiliary heating requirements.

Air Handler Cabinet Size/ Cooling Capacity	Manufacturer Model Number	Type Supply Circuit	Voltage	PH/HZ	Heater KW	Heater AMPS	Motor Ampacity	Maximum Circuit Protection	Minimum Circuit Ampacity
21' / 2 Ton	RXBH-24A05J	Single	208/240	1/60	3.6/4.8	17.3/20.0	1.7	25/30	24/28
	RXBH-24A07J	Single	208/240	1/60	5.4/7.2	26.0/30.0	1.7	35/40	35/40
	RXBH-24A10J	Single	208/240	1/60	7.2/9.6	34.6/40.0	1.7	50/60	46/53
21' / 3 Ton	RXBH-24A05J	Single	208/240	1/60	3.6/4.8	17.3/20.0	3.4	30/30	26/30
	RXBH-24A07J	Single	208/240	1/60	5.4/7.2	26.0/30.0	3.4	40/45	37/42
	RXBH-24A10J	Single	208/240	1/60	7.2/9.6	34.6/40.0	3.4	50/60	48/55
	RXBH-24A15J	Single	208/240	1/60	10.8/14.4	51.9/60.0	3.4	70/80	70/80
		MULTI.CKT 1	208/240	1/60	3.6/4.8	17.3/20.0	3.4	30/30	26/30
		MULTI.CKT 2	208/240	1/60	7.2/9.6	34.6/40.0	0.0	45/50	44/50
	RXBH-24A18J	Single	208/240	1/60	12.8/17	61.6/70.8	3.4	90/100	82/93
		MULTI.CKT 1	208/240	1/60	6.4/8.5	30.8/35.4	3.4	45/50	43/49
		MULTI.CKT 2	208/240	1/60	6.4/8.5	30.8/35.4	0.0	40/45	39/45
24' / 4 Ton	RXBH-24A05J	Single	208/240	1/60	3.6/4.8	17.3/20.0	4.9	30/35	28/32
	RXBH-24A07J	Single	208/240	1/60	5.4/7.2	26.0/30.0	4.9	40/45	39/44
	RXBH-24A10J	Single	208/240	1/60	7.2/9.6	34.6/40.0	4.9	50/60	50/57
	RXBH-24A15J	Single	208/240	1/60	10.8/14.4	51.9/60.0	4.9	80/90	72/82
		MULTI.CKT 1	208/240	1/60	3.6/4.8	17.3/20.0	4.9	30/35	28/32
		MULTI.CKT 2	208/240	1/60	7.2/9.6	34.6/40.0	0	45/50	44/50
	RXBH-24A18J	Single	208/240	1/60	12.8/17	61.6/70.8	4.9	90/100	84/95
		MULTI.CKT 1	208/240	1/60	6.4/8.5	30.8/35.4	4.9	45/60	45/51
		MULTI.CKT 2	208/240	1/60	6.4/8.5	30.8/35.4	0	40/45	39/45
	RXBH-24A20J	Single	208/240	1/60	14.4/19.2	69.2/80.0	4.9	100/110	93/107
		MULTI.CKT 1	208/240	1/60	7.2/9.6	34.6/40.0	4.9	50/60	50/57
		MULTI.CKT 2	208/240	1/60	7.2/9.6	34.6/40.0	0	45/50	44/50
	RXBH-24A25J (4 ton only)	Single	208/240	1/60	18.0/24.0	87.0/99.9	4.9	125/150	115/132
		MULTI.CKT 1	208/240	1/60	6.0/8.0	29.0/33.3	4.9	45/50	43/48
		MULTI.CKT 2	208/240	1/60	6.0/8.0	29.0/33.3	0	40/45	37/42
	MULTI.CKT 3	208/240	1/60	6.0/8.0	29.0/33.3	0	40/45	37/42	

• Supply circuit protective devices may be fuses or "HACR" type circuit breakers.

• Largest motor load is included in single circuit and multiple circuit 1.

• If non-standard fuse size is specified, use next size larger standard fuse size.

• J Voltage (230V) single phase air handler is designed to be used with single or three phase 230 volt electric heaters. In the case of connecting 3-phase power to the air handler terminal block without the heater, bring only two leads to the terminal block cap, insulate and fully secure the third lead.

[] Designates Metric Conversions

THE METAL SHOP

Custom Metal Manufacturer

Consulting Engineer:

Douglas W. Lowe, P.E.

FLA# 13355

1206 Millennium Parkway

Brandon, FL 33511

ANCHOR CLIPS Installer's Guide

WARNING: HAZARDOUS VOLTAGE. DISCONNECT POWER BEFORE SERVICING

PART NUMBER

#771 (4 pk)

#772 (100 box)

#770 (4 pk including hardware)

CONSTRUCTION

16 gauge galvanized steel, G-90 rated for corrosion coastal applications.

PACKAGING DETAILS

All anchor clips are supplied as per package quantities described above.

INSTALLATION

Minimum of 4 clips required per condenser unit.
Minimum of 2 #14 x 3/4" screws with neoprene washer required to fasten clip to condenser unit.
1/4" x 1 3/4" Tapcon screw required to fasten clip to condenser pad.

Locate the anchor clips to fit comfortably between condenser unit and pad.

Adjust clip accordingly to fit on condenser unit and screw together, at the same time ensuring that the base of the clip is still in contact with the pad.

All hardware must be fastened prior to connecting refrigerant lines and electrical power to the unit.

Suitable for gasket mounted units.

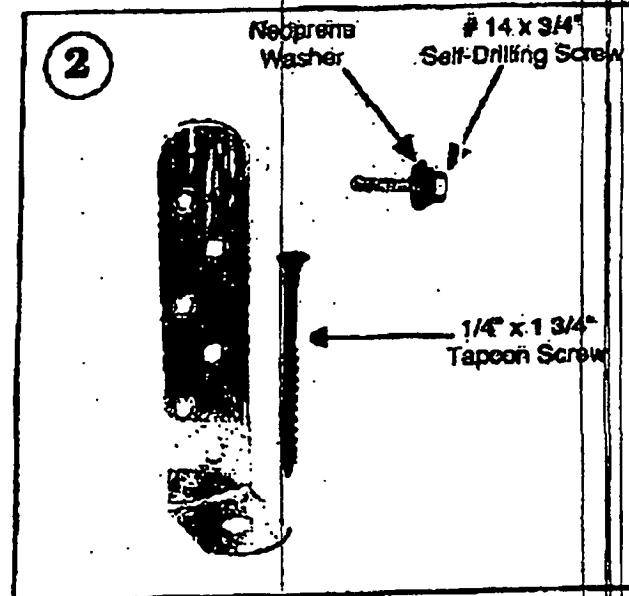
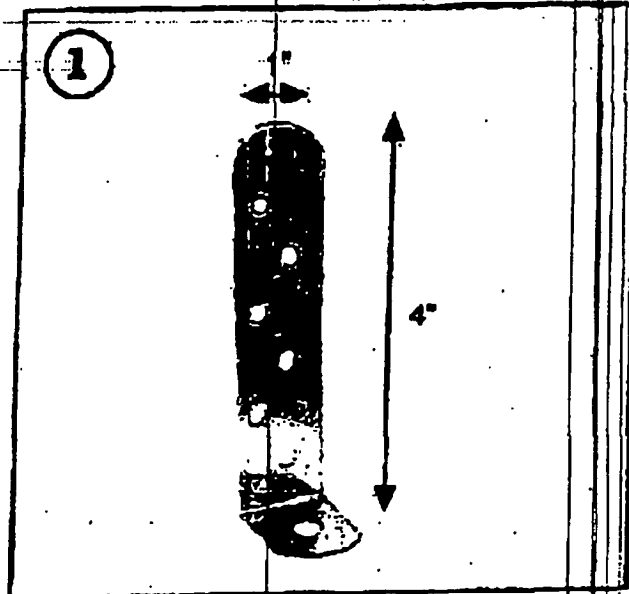
Anchor clip design meets requirements of The Florida Building Code 2007 (Building) chapter 301.12 for wind resistance up to 140 MPH.

FEATURES

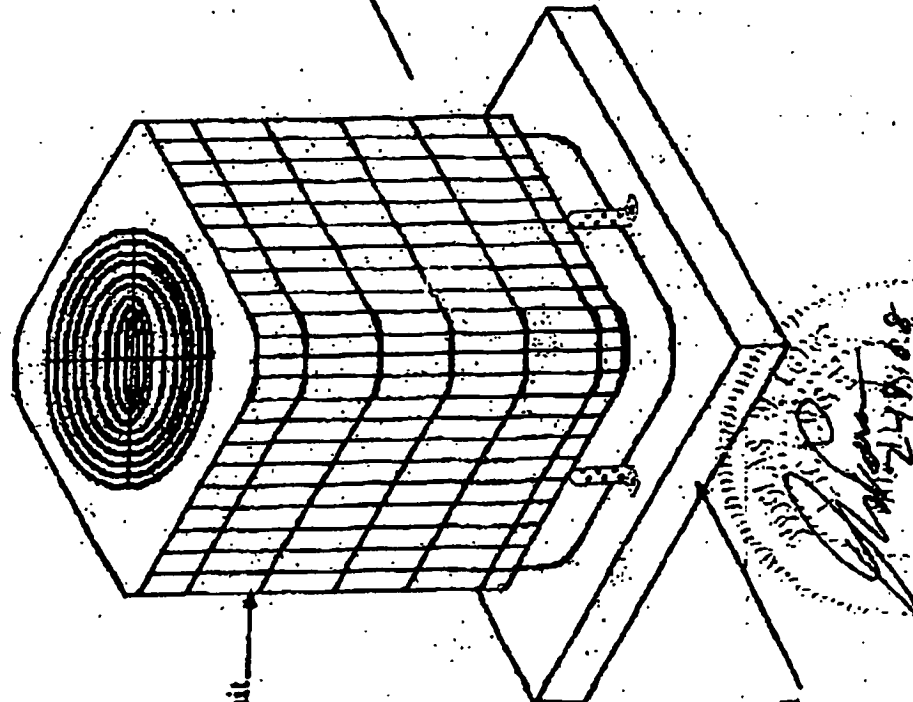
The use of "sized to fit" screw holes compared to slots means that security is never compromised. A tight, secure fit between pad and condenser ensures security for the condenser and offers great assurance during extreme weather conditions.

NOTE

Above installation instruction suitable for up to 5 ton units.

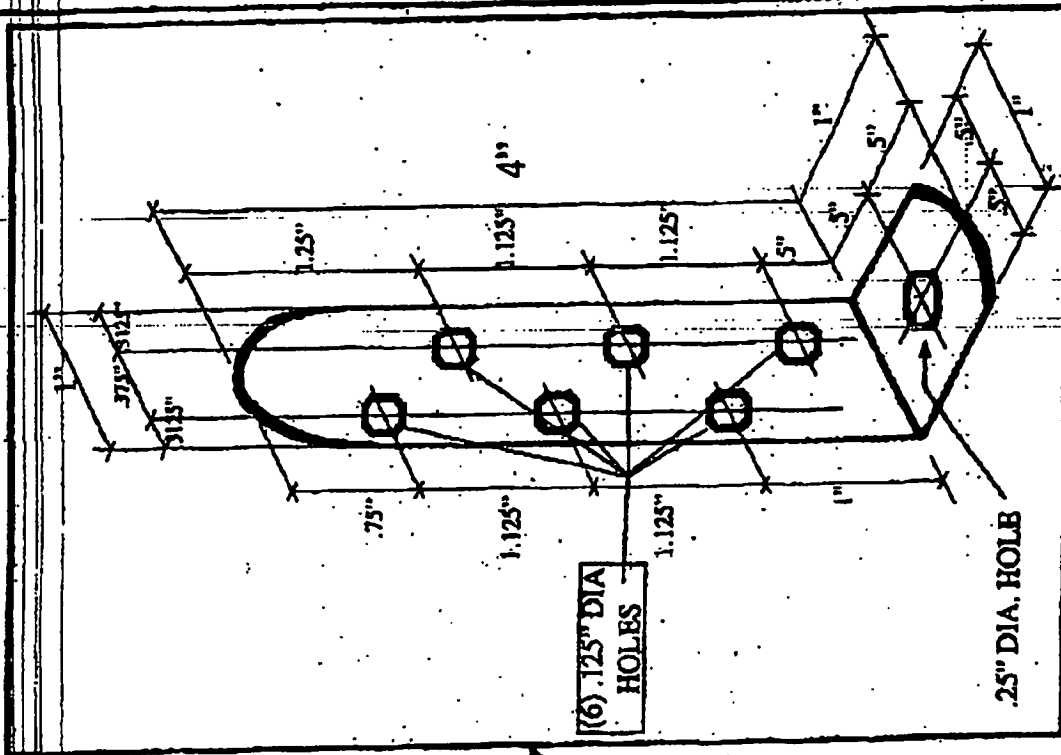


1771 441-44772 number Anchor Cup



Condenser Unit

Concrete Pad



(6) .125" DIA HOLES

.25" DIA. HOLE

Metal thickness = 16 gauge

Consulting Engineer: Douglas W. Lowe, P.E. FLA # 13955 1206 Millennium Parkway Brandon, FL 33511	Revision Dates: 2/14/08	Drawn by: K.P.R.	Page: 1 of 1
	Scale - Not to scale		

The Metal Shop
 1139 Eldridge Street
 Clearwater
 FL 33755
 Ph: (727) 441-2492
 Fax: (727) 442-8483
 Web: www.metalshop.org



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **5-4-11** Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9774	Santelli	Final AC		
11:30	8 Morgan Cir Nisler		Pass	CLOSE INSPECTOR <i>JH</i>
9573	Harte	Final AC		
930	3 E High Pt JB AIC		Pass	CLOSE INSPECTOR <i>JH</i>
9448	Naudin	Final AC	Pass	has pictures
945	19 N Ridgerview Jensen Beal AC		Pass Close	No AC P. DOOR INSPECTOR
9776	DOB	Final AC	Pass	CLOSE
	J. B. AIC			INSPECTOR <i>JH</i>
	DOB DENO			
	8 LAGOON ISLAND	FREE	OK	INSPECTOR
9679	Balfout	Final		
	103 Hillcrest Balfout Cont	Fence	Pass	CLOSE INSPECTOR <i>JH</i>
				INSPECTOR

TOWN OF SEWALL'S POINT, FLORIDA

Date 3/27/02 19____ TREE REMOVAL PERMIT No 2021

APPLIED FOR BY L.H. Davis, 5 Palm Rd. (Contractor or Owner)

Owner _____

Sub-division _____, Lot _____, Block _____

Kind of Trees Grapefruit

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS Diseased Tree

Signed, _____ Applicant Signed, [Signature] FEE \$ 0
Town Clerk
R. Lag. Dsp.

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty grid area for drawing or notes]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # 2024

Date Issued: 3/27/02

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Louie H. Davis Address 5 Palm Road Phone 286-9495

Contractor _____ Address _____ Phone _____

Number of trees to be removed (list kinds of trees) One grapefruit tree to be removed because it is in decline.
Number of trees to be relocated within 30 days (no fee) (list kinds of trees): _____

Number of trees to be replaced: _____ (list kinds of trees): _____

Permit Fee \$ 0
\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant L.H. Davis Plans approved as marked _____

Approved by Building Inspector [Signature] Date submitted: 3/27/02

Completed _____
Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

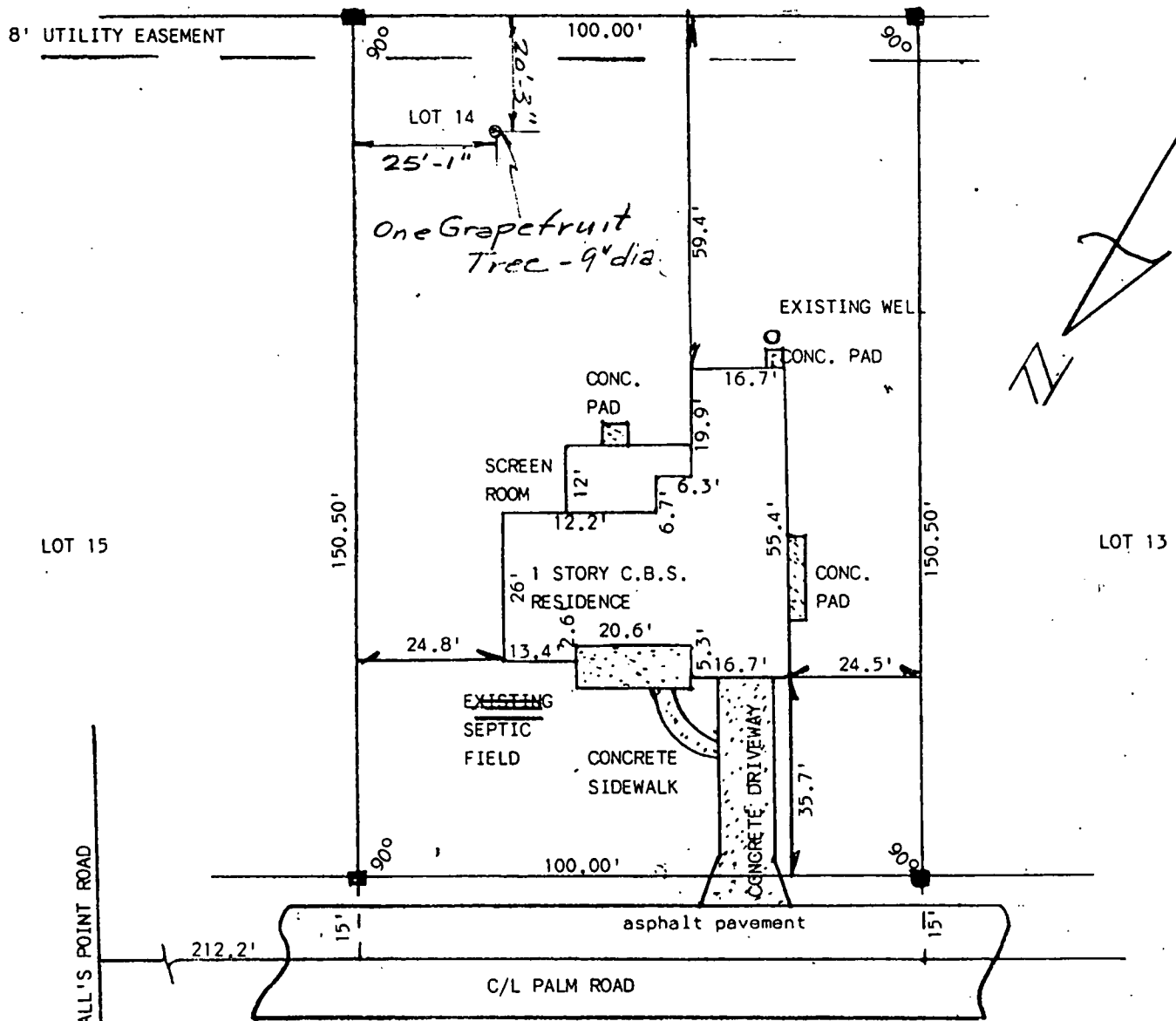
THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

See attached Tree Species List

LEGAL DESCRIPTION
 LOT 14 ~~14~~ Palm
 REVISED & AMENDED PLAT OF PARK ROW
 PLAT BOOK 4 PAGE 68
 MARTIN COUNTY, FLORIDA

This grapefruit tree is being removed because it is in decline.

UNPLATTED



AS-BUILT SURVEY
 =====

CITY WATER
 =====

FND. 4X4 CONC. MON. ALL CORNERS
 =====

LOUIE H. & JACQUELINE T. DAVIS RESIDENCE
 5 PALM ROAD, SEWALL'S POINT, FLORIDA

CERTIFY TO: CHASE FEDERAL SAVINGS & LOAN ASSO., ITS
 SUCCESSORS AND/OR ASSIGNS, & CHICAGO TITLE INSURANCE

ALL BEARINGS OR ANGLES ARE BASED ON RECORD PLAT, UNLESS OTHERWISE NOTED.

THE SURVEY OF THE PROPERTY SHOWN HEREON IS IN ACCORDANCE WITH THE DESCRIPTION FURNISHED BY

MRS. LOUIE DAVIS

NOTES: LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD. THIS SURVEY MEETS MINIMUM TECHNICAL STANDARDS (CHAPTER 21HH-6 F.A.C.)

THIS SURVEY NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

TOWN OF SEWALL'S POINT, FLORIDA

Date 11/7 2003 TREE REMOVAL PERMIT No 2138

APPLIED FOR BY DAVLS (Contractor or Owner)

Owner 5 PALM ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees HIBISCUS

No. Of Trees: REMOVE 2

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

FEE \$ 0

Signed, _____

Applicant

Signed Gene Summers (at)

Town Clerk
Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

X Owner LOUIE H. DAVIS Address 5 PALM RD Phone 286-9495

Contractor _____ Address _____ Phone _____

No. of ~~Trees~~ Shrubs REMOVE 2 Type: HIBISCUS

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

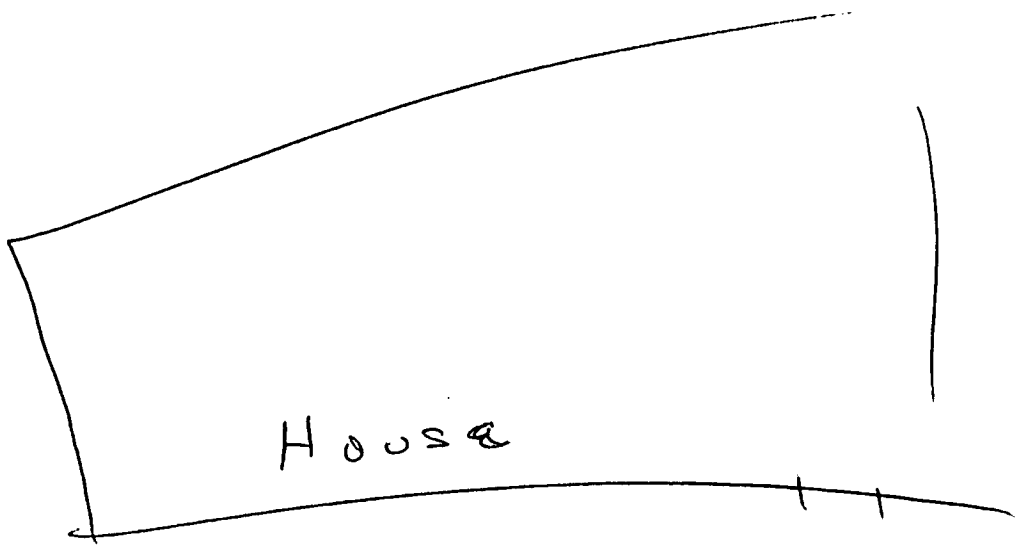
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: Ok diseased shrubs

Written statement giving reasons: want to replace with flowers

Signature of Applicant Jacobi Davis Date 11-06-03

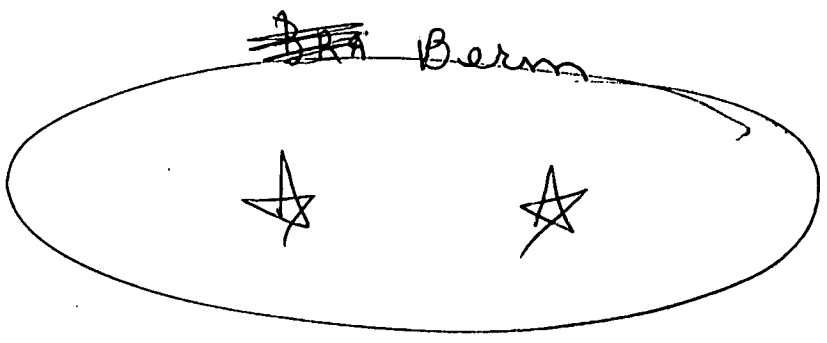
Approved by Building Inspector: [Signature] Date 11/7/2 Fee: \$

Plans approved as submitted _____ Plans approved as revised/marked: _____



House

DRIVEWAY







~~BERM~~ Berm



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11/7, 20013 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6111	GREENE	Electrical	Passing	} Passed Te down - wind - Rucke
(4)	26 ISLAND O/B	ROUGH FRAMING		
				INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	McKEIGE	TREE	Passal	
(?)	31 W High Point			
				INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	DAVIS	TREE	Passal	
(2)	5 Palm Road			
				INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6490	AREN	FINAL	Passed	
(1)	103 ABBIE	SATELLITE DISK		
	O/B	(First Phase)		
				INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR:

OTHER: _____
